

THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

DATE ISSUED: August 19, 2015 REPORT NO. HO-15-112

ATTENTION: Hearing Officer, Agenda of August 26, 2015

SUBJECT: INDIANA STREET APARTMENTS - PROJECT NO. 396980.

PROCESS 3.

OWNER/

APPLICANT: Indiana Street Apartments #1, LLC (Attachment 11).

SUMMARY

<u>Issue(s)</u>: Should the Hearing Officer approve a project to vacate a portion of a drain easement, preserve two existing dwelling units designated historic resource listed as HRB Site #1141, relocate three residences and two detached garages offsite and construct twenty-one apartments with deviations in the Greater North Park Community Plan area?

Staff Recommendation(s):

- Adopt the Mitigated Negative Declaration No. 396980 and Adopt the Mitigation Monitoring and Reporting Program; and
- Approve Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239.

<u>Community Planning Group Recommendation</u> - The North Park Planning Committee voted, on April 21, 2015, 10:0:0 to recommend approval of the project.

<u>Environmental Review</u> - A Mitigated Negative Declaration No. 3969800 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented to reduce, to a level below significance, all potential impacts identified in the environmental review process.

<u>Fiscal Impact Statement</u> - None. All costs associated with processing this application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact - None.

Housing Impact Statement - The Greater North Park Community Plan designates the 0.56-acre project site for Medium High Residential uses at a density range of 30-45 dwelling units per acre. Based on the area of the project site 17 to 25 dwelling units would be allowed. The proposed project would include the development of 21 apartment rental units, the preservation of two existing designated historic dwelling units on site, and the removal of two existing dwelling units and two garages which will be relocated and reconstructed as affordable housing units elsewhere. The applicant would pay an affordable housing fee pursuant to the City's Inclusionary Housing Ordinance.

BACKGROUND

The Greater North Park Community Plan Land Use map identifies the site for Medium High Residential use at a density range of 30-45 dwelling units per acre (Attachment 1). The site is located at 3537 - 3547 Indiana Street in an urbanized neighborhood of Greater North Park (Attachment 2). The surrounding neighborhood is developed with residential uses and Balboa Park is located two block south of the project site (Attachment 3).

DISCUSSION

Project Description

The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations (Attachment 4). The Project would build three new apartments in one building and eighteen new apartments in a second building.

Required Approvals

The Project requires three actions for approval; a Site Development Permit for development within the Mid-Cities Communities Planned District in compliance with San Diego Municipal Code Sections 1512.0203(b)(2) and 1512.0203(b)(4). The site contains sensitive vegetation yet is not impacting that vegetation and no mitigation is required. A Neighborhood Development Permit is required to allow tandem parking and for development of a retaining wall in the alley, and an Easement Vacation is required to vacate a portion of a storm drain easement.

Deviations

The Mid-Cities Communities Planned District, through the Site Development Permit procedures, provides applicants proposing deviations to request greater flexibility from the strict application of the regulations than would be allowed provided specific additional findings can be supported. Further, the Site Development Permit process may allow deviations for projects which include sustainable "green" building technologies. The intent is to encourage imaginative and innovative planning and to assure development would materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed

by the building and its occupants, would be consistent with the purpose of the underlying zone and the deviation(s) are appropriate for the location and would result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The Project requires six deviations from the SDMC requirements of the MCCPD-MR-1000 Zone, specifically described as:

<u>Deviation</u>	MR-1000 Zone	Proposed
Overall building height	40' & 50'	43' & 54'
 Side setbacks above second story 	3' per story to 15' max.	1'-8"
• Rear setbacks above the second story	7' per story to 14' max.	None
• Pedestrian entries	3	1
 Architectural features 	5 of 10 required	2 provided
 Retaining wall height in rear setback 	6 feet	12 feet

Sustainable Project Features

The Project proposes the following features to achieve specific goals of the City's General Plan Conservation Element. All the features below are listed on the plans for the project and would become part of the Exhibit "A" should the project be approved. These features are:

- Existing structures to be relocated for site would be re-purposed for low income housing rather than demolished and taken to the landfill,
- Roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the Project's projected energy consumption in accordance with Council Policy 900-14,
- All units would have natural ventilation to reduce cooling loads,
- Openings would be properly shaded to reduce heat gain during the summer and allow maximum daylight during the winter,
- A thermal chimney is proposed for natural ventilation of the parking garage,
- Without applying for LEED certification, the proposed buildings would be constructed to LEED Silver standards,
- CFC refrigerants would not be used,
- Low or zero VOC products would be selected when possible to improve indoor air quality,
- When possible, materials with high recycled content would be selected,
- On site space would be provided for refuse and recycling storage exceeding SDMC requirements.
- Low water plant species would be used for site landscaping,
- A white, single-ply roof membrane would be used to minimize the urban heat island effect,
- Biologically sensitive areas would largely be avoided,
- Low water use plumbing fixtures would be used throughout,
- Manual diming lighting within units would be provided to reduce power consumption.

Community Plan Analysis

The Greater North Park Community Plan designates the 0.56-acre Project site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the Project site 17 to 25 dwelling units would be allowed. The proposed Project would include the development of 21 dwelling units in addition to the preservation of two historic housing units on site. The Project site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where multi-family development is the predominant type. As proposed, the Project would implement the land use designation.

The proposed Project would meet several policies of the Urban Design Element of the Greater North Park Community Plan. The objective of the Urban Design Element for preserving and restoring unique or historic structures within the community would be met by the Project through the preservation of the two existing designated historic bungalows on site. According to the Urban Design Element, new buildings should be made sympathetic to the scale, form and texture of surrounding development and where new buildings reach exceptional height and bulk in comparison to existing structures, large surfaces should be articulated and textured to reduce their apparent size and reflect the pattern of existing development. Despite the presence of existing structures ranging from one to four stories in the immediate vicinity, the proposed Project incorporates horizontal vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to break up the bulk and scale of the structure. Planted metal mesh screens, landscaping, and decorative screening would also be utilized to enhance the facades of the lower level parking structure. The Project incorporates varying buildings heights to diminish the scale of the overall Project by maintaining a two-story facade facing the single-story bungalows to emphasize a pedestrian scale along Indiana Street. Additionally, the Project steps down from the northeast corner of the Project site from four-stories to two-stories towards the lower elevations of the site follow the sloping topography. Because of the sloping nature of the Project site, parking would be provided below the street level of Indiana Street and would be accessed from the alley to the east (Crestwood Place) within an enclosed structure to meet the guideline of screening on-site parking and making parking less visible from the street and meeting the objective in the Transportation Element for the provision of adequate off-street parking.

In order to address guidelines for enhancing the public streetscape and pedestrian environment, street tree plantings associated with the Project would consist of Queen Palms, Jacarandas, and Sweet Shade Trees along Indiana Street where there are currently no street trees along the western side of the site. Although the Project is not located within community plan designated open space, the proposed Project would limit its intrusion on the topography of the site, and would cluster development at the northern less steep portion of the Project site where development currently exists. The Transportation Element of the community plan identifies a proposed Class III bicycle route within close proximity of the Project site along Park Boulevard. In order to facilitate and encourage bicycling associated with the Project, internal bicycle storage located on the ground floor level for tenants would be included.

The proposed Project would include several Project features that would meet recommendations found in the Conservation Elements of the community plan and the General Plan related to

sustainable development. The Project would meet the recommendation of employing sustainable or green building techniques that would achieve greater energy efficiency and employ self generation of energy using renewable technology by incorporating a rooftop photo-voltaic system that would generate 50 percent of the electrical design load of the development; designing each dwelling unit to allow natural ventilation and cross ventilation with properly shaded openings to reduce heat gain and allow maximum day-lighting; and incorporating a thermal chimney as part of the design of the Project to provide ventilation for the underground parking. In order to implement the recommendation of reducing construction and demolition waste, the Project would preserve two existing designated historic bungalows on site and relocate three existing housing structures and two garages from the Project site to be reconstructed as affordable housing offsite. Additionally, the Project would meet recommendations for sustainable landscape design by incorporating low-water plant species and for reducing the heat island effect by incorporating a white, single-ply membrane to reduce the contribution of heat build-up.

Several deviations are requested as part of the development proposal related to upper-story setbacks, overall building height, retaining wall height, pedestrian entries, architectural features and retaining walls. The North Park Community Plan does not provide specific recommendations regarding these particular development requirements, except for encouraging upper-story setbacks to assist in addressing transitions and scale between new and existing development. The Project would include a 1'- 8"upper-story setback along side yard at the north elevation to allow for development of an elevator shaft and stairwell. The east elevation at the rear yard does not provide a stepback, but provides offsets, balconies, window awnings, an open staircase and changes in wall color to break up the perceived mass of the wall and as a way to transition the building height from the development across the alley.

The deviation request for the proposed Project related to building height relates to the screening of mechanical equipment and the provision of photo-voltaic equipment. Along with the deviation request to the upper story setback, the height deviation request allows the project to cluster development to the north while preserving portions of the existing slope and undeveloped areas to the south. Consequently, allowing this deviation would enable the proposed Project to meet policies for screening rooftop equipment and encouraging sustainable development contained in the General Plan. Because of the topography of the site and the Project's proposal to cluster development on the developed/level portions of the property, pedestrian access is limited to one entry along Indiana Street. Although there is only a single pedestrian entry through the northwest portion of the Project, the entrance still provides a direct pedestrian access through a courtyard design to where the residences of the Project would be clustered. The community plan does not dictate the use of specific architectural features. As proposed the Project would incorporate horizontal vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to be compatible with the context of the surrounding neighborhood. Despite these deviations, as proposed, the Project would be consistent with the policies of North Park Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore would not adversely impact the applicable land use plans.

Conclusion

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the Project (Attachments 5, 6 and 7) and draft conditions of approval (Attachments 8). Staff recommends the Hearing Officer approve the Project as proposed.

ALTERNATIVES

- 1. Approve Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239, with modifications.
- 2. Deny Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

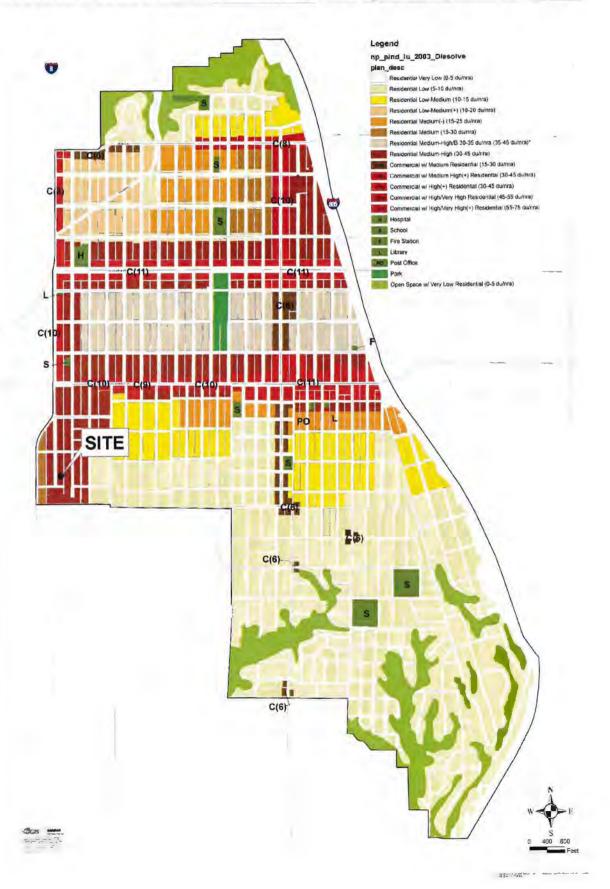
John S. Fisher

Development Project Manager Development Services Department

Attachments:

- 1. Community Plan Land Use Map
- 2. Project Location Map
- 3. Aerial Photograph
- 4. Project Site Plan
- 5. Draft Environmental Resolution with MMRP
- 6. Draft Permit Resolution with Findings
- 7. Draft Easement Vacation Resolution
- 8. Draft Permit with Conditions
- 9. Remaining Project Plans
- 10. Community Planning Group Recommendation
- 11. Ownership Disclosure Statement

Greater North Park Community Plan Land Use



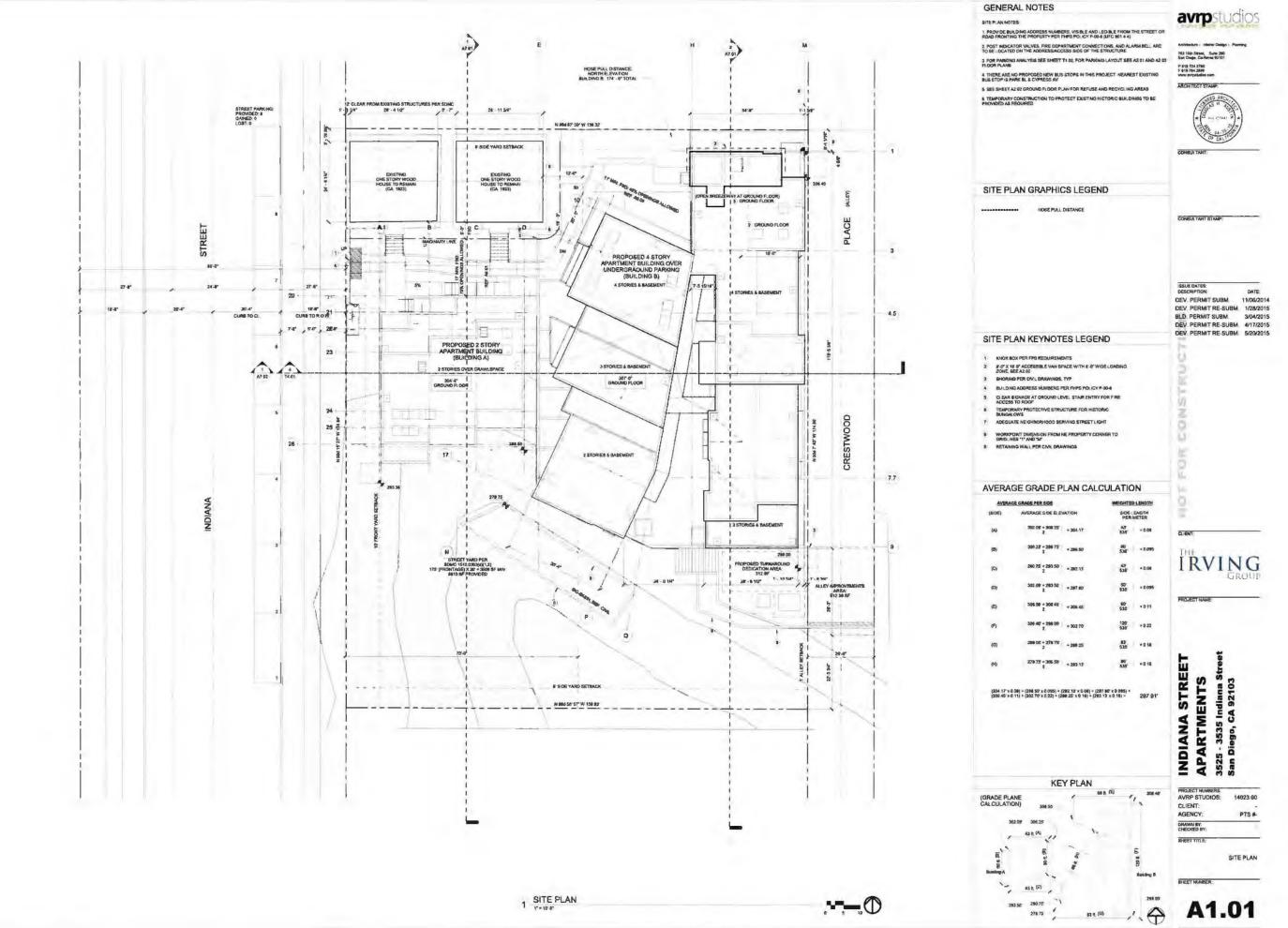




ATTACHMENT 3







RESOLUTION NUMBER R-	
ADOPTED ON	

WHEREAS, on January 28, 2015, INDIANA STREET APARTMENTS #1, LLC submitted an application to Development Services Department for a Site Development Permit, Neighborhood Development Permit and Easement Vacation for the Indiana Street Apartments (Project); and

WHEREAS, the matter was set of a public hearing to be conducted by the Hearing

Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on August 26, 2015; and WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 396980 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will

Attachment 5

have a significant effect on the environment, and therefore, that said Declaration is hereby

adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing

Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to

implement the changes to the Project as required by this Hearing Officer in order to mitigate or

avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting

the record of proceedings upon which the approval is based are available to the public at the

office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Department staff is directed

to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of

San Diego regarding the Project.

By:

John S. Fisher

Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. No. 1433239 PROJECT NO. 396980

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 396980 shall be made conditions of Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

- 1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
- 2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
- 3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: http://www.sandiego.gov/development-services/industry/standtemp.shtml
- 4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

- 5. **SURETY AND COST RECOVERY** The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.
- B. GENERAL REQUIREMENTS PART II Post Plan Check (After permit issuance/Prior to start of construction)
 - 1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10)
 WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS
 PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and
 perform this meeting by contacting the CITY RESIDENT ENGINEER (RE)
 of the Field Engineering Division and City staff from MITIGATION
 MONITORING COORDINATION (MMC). Attendees must also include
 the Permit holder's Representative(s), Job Site Superintendent and the
 following consultants:

Qualified Biologist
Qualified Archaeologist
Qualified Native American Monitor
Qualified Paleontologist

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant t is also required to call **RE and MMC at 858-627-3360**
- 2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS)
 Number 396980 and/or Environmental Document Number 396980, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be

added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

- 3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: Not Applicable
- 4. MONITORING EXHIBITS: All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST			
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes	
General	Consultant Qualification Letters	Prior to Preconstruction Meeting	

General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Paleontology	Paleontology Reports	Paleontology Site Observation
Historical Resources	Archaeology Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

<u>BIOLOGICAL RESOURCES (RESOURCE PROTECTION DURING CONSTRUCTION)</u>
To be utilized in conjunction with Biological Resources (General Bird) MMRP

I. Prior to Construction

- A. **Biologist Verification**: The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting:** The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. **Biological Documents:** The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. **Biological Construction Mitigation/Monitoring Exhibit:** The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other

- impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. Avian Protection Requirements: To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.
- F. Resource Delineation: Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. Education: Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

Attachment 5

II. During Construction

- A. Monitoring: All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. Subsequent Resource Identification: The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

BIOLOGICAL RESOURCES (RAPTORS / GENERAL BIRDS)

To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction (precon) survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is

avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the precon survey, no further mitigation is required.

HISTORICAL RESOURCES (ARCHAEOLOGY)

I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.
- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
 - 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.

- 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- 3. The PI may submit a detailed letter to MMC requesting a reduction to the $\frac{1}{4}$ mile radius.
- B. PI Shall Attend Precon Meetings
 - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 - 2. Identify Areas to be Monitored
 - Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 - When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock,

etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 - 1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PL, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.
 - 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 - The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 - The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 - 1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay

- adjacent resources and immediately notify the RE or BI, as appropriate.
- 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
- 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
 - 1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.

 Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.
- IV. Discovery of Human Remains If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section

15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

- 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
- 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

- 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
- 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
- 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains **ARE** determined to be Native American

- The Medical Examiner will notify the Native American
 Heritage Commission (NAHC) within 24 hours. By law,
 ONLY the Medical Examiner can make this call.
- 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
- 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
- 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
- 5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:

- a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
- b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
- c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
- d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
 - 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 - The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 - 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

A. If night and/or weekend work is included in the contract

- 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
- 2. The following procedures shall be followed.
 - a. No Discoveries In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries All discoveries shall be processed and documented using the existing procedures detailed in Sections III During Construction, and IV Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the

Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.

- For significant archaeological resources
 encountered during monitoring, the Archaeological
 Data Recovery Program shall be included in the
 Draft Monitoring Report.
- b. Recording Sites with State of California
 Department of Parks and Recreation
 The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources
 Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
- 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
- The PI shall submit revised Draft Monitoring Report to MMC for approval.
- 4. MMC shall provide written verification to the PI of the approved report.
- 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
 - 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 - 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 - 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery

- for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
- 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons

- involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
- 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
- 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was inhouse, a letter of verification from the PI stating that the search was completed.
 - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- B. PI Shall Attend Precon Meetings
 - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 - 2. Identify Areas to be Monitored Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 - 3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 - 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.
 - 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 - The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 - 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 - 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 - 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24

hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

- 1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground- disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVR and submit to MMC via fax by 8AM on the next business day.
 - Discoveries All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries If the PI determines that a potentially significant discovery has been made, the

- procedures detailed under Section III During Construction shall be followed.
- d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History
 Museum The PI shall be responsible for recording (on
 the appropriate forms) any significant or potentially
 significant fossil resources encountered during the
 Paleontological Monitoring Program in accordance with
 the City's Paleontological Guidelines, and submittal of
 such forms to the San Diego Natural History Museum
 with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.

- 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

HEARING OFFICER RESOLUTION NO. HO-XXXX SITE DEVELOPMENT PERMIT NO. 1433238 and NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1433237 INDIANA STREET APARTMENTS PROJECT NO. 396980 - [MMRP]

WHEREAS, INDIANA STREET APARTMENTS #1, LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to vacate a portion of a drainage easement, preserve designated historic resource listed as HRB Site #1141, relocate three residences and two detached garages offsite and construct twenty-one residential apartment units, with deviations (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1433238 and 1433237) and associated improvements, on a 0.56 acre site;

WHEREAS, the project site is located at 3537 - 3547 Indiana Street in the MR-1000 zone in the Mid-City Communities Planned District in the Greater North Park Community Plan area;

WHEREAS, the project site is legally described as all of Lot 15 and the north thirteen feet of Lot 16, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder and the south twelve feet of Lot 16, and all of Lots 17 through 21, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder;

WHEREAS, on August 26, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1433238 and Neighborhood Development Permit No. 1433237 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 26, 2015.

FINDINGS:

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building.

The Greater North Park Community Plan designates the 0.56 acre site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the site 17 to 25 dwelling units would be allowed and the proposed density is within this range. The proposed Project will include the development of 21 rental units in addition to the preservation of two designated historic housing units on site. The site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where multi-family development is the predominant type. As proposed, the Project will implement the land use designation.

The objective of the Urban Design Element for preserving and restoring unique or historic structures within the community will be met by the Project through the preservation of the two existing designated historic bungalows on site. In accordance with the Urban Design Element, the new buildings will be sympathetic to the scale, form and texture of surrounding development and will not be of an exceptional height and bulk in comparison to existing structures. The buildings will be articulated and textured to reduce their apparent size and reflect the pattern of existing development.

The proposed Project will meet several policies of the Urban Design Element of the Greater North Park Community Plan by incorporating horizontal and vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to break up the perceived bulk and scale of the structure. Planted metal mesh screens, landscaping, and decorative screening will also be utilized to enhance the facades of the lower level parking structure. The Project incorporates varying buildings heights to help diminish the perceived scale of the overall Project and will maintain a two-story façade facing at street level adjacent to the existing single-story bungalows to emphasize a pedestrian scale along Indiana Street. Additionally, the Project steps down from the northeast corner of the Project site from four-stories to two-stories towards the lower elevations of the site, which follows the sloping topography.

In order to address guidelines for enhancing the public streetscape and pedestrian environment, street tree plantings associated with the Project will consist of Queen Palms, Jacarandas, and Sweet Shade Trees along Indiana Street where there are currently no street trees along the western side of the site. Although the Project is not located within community plan designated open space, the proposed Project utilizes the existing topography of the site by terracing the buildings, minimizing grading and clustering development in order to preserve the steeper portions of the site to the south as open space.

The Transportation Element of the community plan identifies a proposed Class III bicycle route within close proximity of the Project site along Park Boulevard. In order to facilitate and encourage bicycling associated with the Project, internal bicycle storage located on the ground floor level for tenants will be included. Parking will be provided below the street level of Indiana Street and will be accessed from the alley to the east (Crestwood Place) within an enclosed structure to meet the guideline of screening on-site parking and making parking less visible from the street and meeting the objective in the Transportation Element for the provision of adequate off-street parking.

The proposed Project will include several Project features that will meet recommendations found in the Conservation Elements of the community plan and the General Plan related to sustainable development. The Project will meet the recommendation of employing sustainable or green building techniques that will achieve greater energy efficiency and employ self-generation of energy using renewable technology by incorporating a rooftop photo-voltaic system that will generate 50 percent of the electrical design load of the development; designing each dwelling unit to allow natural ventilation and cross ventilation with properly shaded openings to reduce heat gain and allow maximum day-lighting; and incorporating a thermal chimney as part of the design of the Project to provide ventilation for the underground parking. In order to implement the recommendation of reducing construction and demolition waste, the Project will preserve two designated historic bungalows on site and relocate three existing housing structures and two garages from the Project site to be reconstructed as affordable housing offsite. Additionally, the Project will meet recommendations for sustainable landscape design by incorporating low-water plant species and for reducing the heat island effect by incorporating a white, single-ply membrane to reduce the contribution of heat build-up.

Several deviations are requested as part of the development proposal related to upper-story setbacks, overall building height, retaining wall height, pedestrian entries, and architectural features. The North Park Community Plan does not provide specific recommendations regarding these particular development requirements, except for encouraging upper-story setbacks to assist in addressing transitions and scale between new and existing development. The Project will include upper-story setbacks as a way to transition the building height and add interest to the roof line. The deviation request for the proposed Project related to building height relates to the screening of mechanical equipment and the provision of photo-voltaic equipment. Consequently, allowing the deviations will enable the proposed Project to meet policies for screening rooftop equipment and encouraging sustainable development contained in the General Plan. Because of the steep topography on portions of the site and the Project's proposal to cluster development on the more level portions of the property, pedestrian access is limited to one entry along Indiana Street. Although there is only a single pedestrian entry through the northwest portion of the Project, the entrance will provide a direct pedestrian access through a courtyard design to the residences. As proposed the Project will incorporate horizontal and vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to be compatible with the context of the surrounding neighborhood. Because of the steep topography on portions of the site and the Project's proposal to cluster development on the more level portions of the property, a deviation for the retaining wall in the rear yard setback is required at twelve feet where six feet is the maximum. The over-height retaining wall is necessary to facilitate the relocation of the storm drain, to provide a turn-around at the end of the alley and is necessary to complete the project. The retaining wall will not be readily visible from neighboring properties or the public right-of-way and will be screened by landscaping. Despite these deviations, as proposed, the Project will be consistent with the policies of North Park Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore will not adversely impact the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed Project has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety and welfare. The Project is consistent with the Greater North Park Community Plan, the California Environmental Quality Act and the City's environmental regulations, landscaping and brush management requirements, the Fire Department's fire protection policies, water and sewer study recommendations and the City's affordable housing policies and regulations. In addition, prior to construction on the Project site, construction permit drawings will be reviewed to achieve conformance with all applicable construction codes to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public's health, safety and welfare. The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations. These requirements will assure the continued health, safety and general welfare of persons residing or working in the area. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Mid-Cities Community Planned District and Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. More specifically the deviations are as follows:

The Project requires the approval of six deviations from the development regulations of the MR-1000 Zone of the Mid-Cities Community Planned District. These deviations are as follows:

<u>Deviation</u>	<u>MR-1000 Zone</u>	Proposed
 Overall building height 	40' & 50'	43' & 54'
 Side setbacks above second story 	3' per story to 15' max.	1'-8''
 Rear setbacks above the second story 	7' per story to 14' max.	None
• Pedestrian entries	3	1
• Architectural features	5 of 10 required	2 provided
• Retaining wall height in rear setback	6 feet	12 feet

The deviation request to building height relates to the screening of mechanical equipment, the provision of roof-top photo-voltaic equipment, and to accommodate for grade changes. Along with the deviation request to the upper story setback, the height deviation request allows the project to cluster development to the north while preserving portions of the existing slope and undeveloped areas to the south. The majority of the building will observe the maximum allowable height.

The 1'- 8"upper-story setback along the side yard at the north elevation allows for development of an elevator shaft and stairwell. The deviation occurs for a narrow portion of the building, while the remainder of the building and the two existing structures comply with the requirement. The east elevation at the rear yard does not provide a stepback. The east and north elevations meet the intent of the setback requirement by providing offsets, balconies, window awnings, an open staircase and changes in wall color to break up the perceived mass of the wall and as a way to transition the building height from the development across the alley.

Because of the topography of the site and the Project's proposal to cluster development on the developed/level portions of the property, pedestrian access is limited to one entry along Indiana Street. Although there is only a single pedestrian entry through the northwest portion of the Project, the entrance will provide a direct pedestrian access through a courtyard design to the residences.

In regards to the Mid-City PDO architectural requirements, the project doesn't provide 5 of the required contemporary features, but has instead relied on architectural features the promote the intent, such as using vertical offsets instead of multiple pitched roofs, full height windows instead of clerestories, and entry door with integral glazing instead of a transom. The project also incorporates horizontal vertical offsets, surface articulation, and other architectural features such as balconies, varying window

arrangements, textures, and building materials to be compatible with the context of the surrounding neighborhood. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. For additional information, refer to SDP Finding #2 above.

Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present.

With the incorporation of the mitigation measures, the strategic use of retaining walls, and planting of slopes with native and drought tolerant plant materials, the Project will not result in the disturbance of environmentally sensitive lands and will not adversely affect environmentally sensitive lands. The conclusions of all the technical reports submitted by the applicant's consultants find the site is physically suitable for the type and density of the proposed development. The Owner/Permittee has agreed to all conditions in the Mitigation Monitoring and Reporting Program and the City will monitor compliance with these conditions. Therefore, the site is physically suitable for the type and density of the development.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present.

The conclusions of all the technical reports submitted by the applicant's consultants find the site is physically suitable for the type and density of the proposed development. All impacts created by the Project will be mitigated at the appropriate ratios in accordance with the City's adopted Biology Guidelines. The conceptual grading design will avoid impacts to the steepest areas of the site and develop those areas previously disturbed by construction activities. The grading design will minimize the alteration of natural lands forms. The landscape erosion control required for grading the site will protect the slopes from erosion. The geotechnical consultant will have input in the final grading design and construction to assure undue risks from geologic conditions will not exist. The risk from fire hazards will be reduced by the implementation of a brush management program and the requirements of the California Building Code Section 7A. All drainage will be directed to storm drains in a proper manner according to standards for civil engineering. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands. The Indiana Street Apartments project (Project) proposes to

create twenty-three residential apartments by preserving the two existing designated historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present.

- 4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present. The site is not located within or adjacent to the MSCP Subarea Plan Multi-Habitat Planning Area. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.
- 5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply. All stormwater runoff from the site after development and during construction will be contained in stormwater facilities designed to convey stormwater runoff at velocities low enough to avoid scouring impacts downstream. None of this runoff, which may contain some sediments or rock debris, will be at a velocity capable of creating erosion of public beaches or adversely impact local shoreline sand supplies due to the fact that there are no public beaches within seven miles of the site and San Diego bay is approximately four miles away. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.
- 6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Mitigation Monitoring and Reporting Program requires monitoring during construction for Biological Resources, Archaeology and Paleontological Resources. The biological resources mitigation is required to address the potential for birds and raptors. The requirements of the Mitigation Monitoring and Reporting Program are based on technical reports submitted specific to this site by the applicant's consultants which identified the presence or potential presence of raptor birds or native/migratory birds and the presence or potential of Archaeological or Paleontological resources. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by or which has the potential to be created by the proposed development.

Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three

buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will include a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14. In addition to the on-site electrical generation system, the Project will include several sustainable building and operational features to achieve specific goals of the City's General Plan Conservation Element, as described in detail on the Exhibit "A" drawings.

- 2. The development will not be inconsistent with the purpose of the underlying zone. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entreis, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code and will not be inconsistent with the purpose of the underlying MR-1000 zone in the Mid-City Communities Planned District which is to allow and provide for the development of multi-family development in keeping with the purpose and intent of the Mid-City Communities Planned District. For additional information, see SDP Findings #1, #2 and #3 above.
- 3. Any proposed deviations are appropriate for this location and will result in a more desirable project than will be achieved if designed in strict conformance with the development regulations of the applicable zone. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. The proposed deviations are appropriate for this location and will result in a more desirable project than will be achieved if designed in strict conformance with the development regulations of the applicable zone. For additional information, see SDP Finding #3 above.

Neighborhood Development Permit - Section 126.0404

1. The proposed development will not adversely affect the applicable land use plan. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building.

The Greater North Park Community Plan designates the 0.55-acre site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the site 17 to 25 dwelling units will be allowed. The proposed Project will include the development of 21 rental units in addition to the preservation of two historic housing units on site. The site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where

multi-family development is the predominant type. As proposed the, Project will implement the land use designation. Therefore, the proposed development will not adversely affect the applicable land use plan. For additional information, see SDP Finding #1 above.

- 2. The proposed development will not be detrimental to the public health, safety, and welfare. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare. For additional information, see SDP Finding #2 above.
- 3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. For additional information, see SDP Finding #3 above.

Findings for Mid-City Communities Development Permit Approval - Section 1512.0204

Conformance with Community Plan and Design Manuals. The proposed use and project 1. design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the following documents, as applicable to the site: the Mid-City Community Plan, the Greater North Park Community Plan, the State University Community Plan, the Uptown Community Plan, the Mid-City Design Plan (California State Polytechnic University, Pomona; Graduate studies in Landscape Architecture; June, 1983), Design Manual for the Normal Heights Demonstration Area and the City Heights Demonstration Area (HCH Associates and Gary Coad; April, 1984), The Design Study for the Commercial Revitalization of El Cajon Boulevard (Land Studio, Rob Quigley, Kathleen McCormick), The North Park Design Study, Volume 1, Design Concept and Volume 2, Design Manual (The Jerde Partnership, Inc. and Lawrence Reed Moline, Ltd.), Sears Site Development Program (Gerald Gast and Williams-Kuebelbeck and Assoc.; 1987) and will not adversely affect the Greater North Park Community Plan, the Uptown Community Plan or the General Plan of the City of San Diego. The Greater North Park Community Plan designates the 0.56 acre site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the site 17 to 25 dwelling units will be allowed. The proposed Project will include the development of 21 rental units in addition to the preservation of two designated historic housing units on site. The site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where multi-family development is the predominant type. As proposed, the Project will implement the land use designation.

The proposed Project will meet several policies of the Urban Design Element of the Greater North Park Community Plan. The objective of the Urban Design Element for preserving and restoring unique or historic structures within the community will be met by the Project through the preservation of the two existing designated historic bungalows on site. The new buildings will be sympathetic to the scale, form and texture of surrounding development and the new buildings will not reach exceptional height and bulk in comparison to existing structures, large surfaces will be articulated and textured to reduce their apparent size and reflect the pattern of existing development. The Project will be consistent with the policies of Greater North Park Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore will not adversely impact the applicable land use plans. For additional information, see SDP Findings #1 above.

- 2. Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable. The Project is an infill development in an established neighborhood which is planned for and developed with multi-family and single family uses. The single family uses are typically older homes developed prior to the current land use designation of Medium High Residential by the Greater North Park Community Plan. The Project will preserve two designated historic structures on the site. The new buildings will be sympathetic to the scale, form and texture of surrounding development and the new buildings will not reach exceptional height and bulk in comparison to existing structures, large surfaces will be articulated and textured to reduce their apparent size and reflect the pattern of existing development. As such, the Project will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved to the greatest extent possible. For additional information, see SDP Findings #1 above.
- No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity. The proposed Project has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety and welfare. The Project is consistent with the Greater North Park Community Plan, the California Environmental Quality Act and the City's environmental regulations, landscaping and brush management requirements, the Fire Department's fire protection policies, water and sewer study recommendations and the City's affordable housing policies and regulations. In addition, prior to construction on the Project site, construction permit drawings will be reviewed to achieve conformance with all applicable construction codes to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public's health, safety and welfare. The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations. For additional information, see SDP Findings #2 above.
- 4. Adequate Public Facilities. For residential and mixed residential/commercial projects within the park-deficient neighborhoods shown on Map Number B-4104 that are not exempted by Section

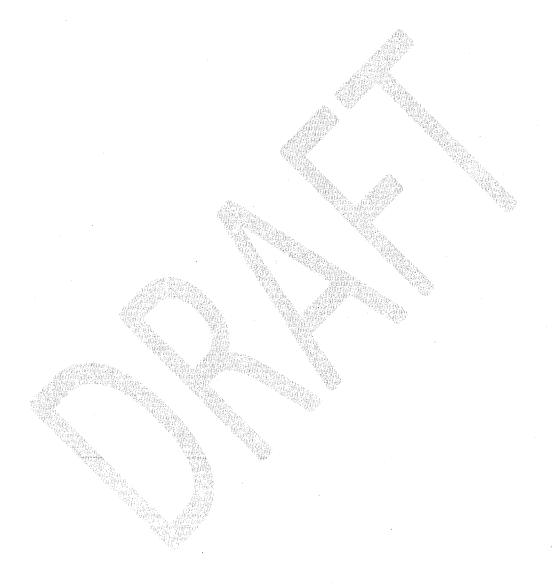
1512.0203(b)(1)(A) or (B), the proposed development provides a minimum of 750 square feet of onsite usable recreational open space area per dwelling unit. The on-site usable recreational open space area shall not be located within any area of the site used for vehicle parking, or ingress and egress, and shall be configured to have a minimum of 10 feet in each dimension. The area will be landscaped and may also include hardscape and recreational facilities. The proposed Project is located at 3537 - 3547 Indiana Street which is less than 600 feet north of Balboa Park. According to SDMC Section 1512.0203(b)(1)(B) if a site is within 600 feet of a public park the requirement of useable recreational open space area per dwelling unit is met. Therefore, the proposed Project meets the required finding for adequate public facilities.

- 5. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site. The existing neighborhood does not have any street lights within 150 feet of the property and the Project will provide adequate neighborhood-serving security lighting consistent with the regulations of the San Diego Municipal Code. The plans submitted by the applicant indicate adequate neighborhood-serving security lighting will be installed with the construction of the building closest to Indiana Street.
- 6. The proposed use will comply with the relevant regulations in the San Diego Municipal Code. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Mid-Cities Community Planned District and Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. For additional information, refer to SDP Finding #3 above.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1433238 and Neighborhood Development Permit No. 1433237 is hereby GRANTED by the Hearing-Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1433238 and 1433237, a copy of which is attached hereto and made a part hereof.

John S. Fisher Development Project Manager Development Services

Adopted on: August 26, 2015



HEARING OFFICER RESOLUTION NUMBER HO-DATE OF FINAL PASSAGE AUGUST 26, 2015

DRAINAGE EASEMENT VACATION NO. 1433239 A RESOLUTION SUMMARILY VACATING A PORTION OF A DRAINAGE EASEMENT. PROJECT NO. 396980.

WHEREAS, California Streets and Highways Code section 8311 *et seq.* and San Diego Municipal Code section 125.1001 *et seq.* provide a procedure for the vacation of public service easements; and

WHEREAS, it is proposed that Drainage Easement No. 1433239, a portion of the easement granted per Document recorded July 20, 1927 in Book 1355, Page 163 of deeds lying within lots 21 and 22, be vacated; and

WHEREAS, the easement will be superseded by relocation and there will be no other public facilities located within the easement; and

WHEREAS, the easement will not contain active public utility facilities that would be affected by the vacation; and

WHEREAS, the matter was set for public hearing on August 26, 2015, testimony having been heard, evidence having been submitted, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Hearing Officer of the City of San Diego, that with respect to a drainage easement located at the terminus of Crestwood Place, a named alley, south of Robinson Avenue, the Hearing Officer finds that:

(a) There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

The easement was created to facilitate installation of a drain pipe to safely convey storm water runoff. However, as conditioned by this Resolution, prior to the recordation of the vacation, a new drainage easement will be dedicated to the City, and a new storm drain will be constructed. Once the new drainage facility is constructed within the new easement to the satisfaction of the City Engineer, the existing easement will have no prospective public use either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated and may be vacated.

(b) The public will benefit from the action through improved utilization of the land made available by the vacation.

The vacation of an unnecessary storm drain easement after relocation of the existing storm drain in a new easement and location to the satisfaction of the City Engineer will then facilitate the development of twenty-one apartments. The development of twenty-one apartments will provide additional housing opportunities in the community and the City. The public will benefit from the development of these new apartment units made possible by the relocation and construction of a new storm drain to the satisfaction of the City Engineer. The increase of housing units in the community will help people to find necessary housing, will increase the property taxes collected from this property which in turn will support the services the City and County of San Diego provides to the public. Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

(c) The vacation is consistent with any applicable land use plan.

The Greater North Park Community Plan Land Use map identifies the site for Medium High Residential use at a density range of 30-45 dwelling units per acre. The site is within the Mid-Cities Communities Planned District and is zoned MCCPD-MR-1000 for multi-family development. The proposed Project will meet several policies of the Urban Design Element of the Greater North Park Community Plan. To cite a few of these policies, the objective of the Urban Design Element for preserving and restoring unique or historic structures within the community will be met by the Project through the preservation of the two existing historic bungalows on site and further, according to the Urban Design Element, new buildings should be made sympathetic to the scale, form and texture of surrounding development. While the vacation of the storm drain easement will not create the project, it will facilitate the project as proposed and the project as proposed cannot move forward without the vacation of the easement. In that the project is consistent with many policies contained in the Greater North Park Community

Plan, the vacation of an easement which will be replaced in a new alignment and location to the satisfaction of the City Engineer is consistent with any applicable land use plan.

(d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

The easement was created to facilitate installation of a drain pipe to safely convey storm water runoff. The project will relocate the existing storm drain in a new easement and location to the satisfaction of the City Engineer. Once the drainage facility is constructed within the new easement to the satisfaction of the City Engineer, the existing easement will have no prospective public use either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated and may be vacated. Therefore, the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that the drainage easement located within Crestwood Place, a named alley, south of Robinson Avenue in connection with Neighborhood Development Permit No. 1433237 and Site Development Permit No. 1433238, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. 38461-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that said easement vacation is conditioned upon the relocation of the storm drain and dedication of a new easement, to the satisfaction of the City Engineer. In the event this condition is not completed within three years following the adoption of this resolution, then this resolution shall become void and be of no further force or effect.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits in the office of the County Recorder.

Ву John S. Fisher Development Project Manager

Exhibit "A" LEGAL DESCRIPTION DRAINAGE EASEMENT VACATION

A portion of Lots 20 and 21, Block 251, University Heights, according to amended Map thereof made by G. A. D'Hemecourt, in Book 8 page 36 et. seq. of lis pendens, filed in the office of the County Recorder of San Diego County, said easement being six feet in width three feet on each side of the following described center line:

Beginning at a point on the east line of said Lot 20, distant 20 feet north from the southeast corner of said Lot 20; thence southwesterly on a direct line to a point on the south line of said Lot 21, distant 60 feet west from the southeast corner of said Lot 21.

Containing 0.010 acres more or less.

ATTACHED HERETO IS DRAWING NO. 38461-B LABELED EXHIBIT "B" AND BY THIS REFERENCE MADE A PART HEREOF.

Legal description prepared by:

Kappa Surveying, Inc.

By: _________date: May 15, 2015

Allen R. A. Turner III, PLS

Registration expires December 31, 2016

PTS. No. 396980



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		a.	<i>D'НЕМЕСООИRT MAP)</i>	LOT 15 APN 452-362-09	D'HEMECOURT MAP	LOT 40
-		<u> ET</u>	G. A.	LOT 18 BLOCK PG 36 BLOCK PG 36 LP 8 HEIGHTS MAP	PLACE PER G. A.	LOT 39
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	80'	V		LOT 18 APN 452-362-10	Ö	ARCH OP
	,	INDIANA		EASEMENT GRANTED TO CITY OF SAN DIEGO FOR DRAIN PIPE PURPOSES		20.00'
				REC. 7/20/27 IN BK. 1355, PG. 163 OF DEEDS LOT 21 60.00'		LOT 34
				INDICATES PORTION OF	20'	LOT 32
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RECORDING REQUESTED BY

CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005309

SITE DEVELOPMENT PERMIT NO. 1433238 and NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1433237 INDIANA STREET APARTMENTS - PROJECT NO. 396980 HEARING OFFICER

This Site Development Permit No. 1433238 and Neighborhood Development Permit No. 1433237 is granted by the Hearing Officer of the City of San Diego to INDIANA STREET APARTMENTS #1, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504, 126.0404 and 1512.0203(b). The 0.56 acre site is located at 3537-3547 Indiana Street in the MR-1000 zone in the Mid-City Communities Planned District of the Greater North Park Community Plan area. The project site is legally described as all of Lot 15 and the north thirteen feet of Lot 16, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder and the south twelve feet of Lot 16, and all of Lots 17 through 21, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to vacate a portion of a drainage easement, preserve two existing dwelling units designated historic resource listed as HRB Site #1141, relocate three residences offsite and two garages and construct twenty-one residential apartment units, with deviations, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 26, 2015, on file in the Development Services Department.

The project shall include:

a. Vacate a portion of a drainage easement, preserve two existing dwelling units designated historic resource listed as HRB Site #1141, relocate three residences and

two detached garages offsite and construct twenty-one residential apartment units, with six deviations;

b. The Project requires six deviations from the SDMC requirements of the MCCPD-MR-1000 Zone, specifically described as:

<u>Deviation</u>	MR-1000 Zone	Proposed
 Overall building height 	40' & 50'	43' & 54'
 Side setbacks above second story 	3' per story to 15' max.	1'-8"
• Rear setbacks above the second story	7' per story to 14' max.	None
• Pedestrian entries	3	1
• Architectural features	5 of 10 required	2 provided
• Retaining wall height in rear setback	6 feet	12 feet

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 11, 2018.
- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee sign and return the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
- 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- 7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
- 8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void,

challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

- 11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
- 12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 396980, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
- 13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 396980, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Biology Historical Resources (Archeaology) Paleontological Resources

AFFORDABLE HOUSING REQUIREMENT:

14. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENT:

15. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

ENGINEERING REQUIREMENTS:

- 16. The project proposes to export 3,100 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
- 17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
- 18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
- 19. Prior to the issuance of any building permits, the Owner/Permittee shall, by assure by permit and bond, to reconstruct the existing alley and proposed Public Turn Around Area as determined by the City Engineer, with current City Standards G-21 Concrete Pavement Alley Section, per approved Exhibit "A," to the satisfaction of the City Engineer.
- 20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond and As-built completion, the removal of the existing 12" CMP Public Storm Drain system and construction of a current City Standard Public Storm Drain system per approved Exhibit "A," adjacent to the site on Crestwood Place and in the City of San Diego Storm Drain Easement, satisfactory to the City Engineer.
- 21. Prior to the issuance of any building permits, the Owner/Permittee shall grant to the City a 15 foot wide storm drain easement, per Approved Exhibit "A," satisfactory to the City Engineer.
- 22. Whenever public easements are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the easement free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
- 23. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private storm drain connection into the Public storm drain system.
- 24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the curb, gutter and sidewalk with current City Standard curb, gutter and sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Indiana Street.

- 25. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
- 26. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- 27. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
- 28. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices on the final construction drawings, consistent with the approved Water Quality Technical Report.

LANDSCAPE REQUIREMENTS:

- 29. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards and Stormwater Design Manual, to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A."
- 30. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permitee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a forty square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
- 31. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A." Construction plans shall provide a forty square foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.
- 32. In the event a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A." These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'
- 33. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the

Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

- 34. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
- 35. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within thirty days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

- 36. The Brush Management Program shall be based on a standard Zone One of 35 feet and Zone Two of 65 feet consistent with the Brush Management Regulations of the Land Development Code section 142.0412. Zone One shall extend out from the structure towards the native/naturalized vegetation for a distance of 35 feet with a corresponding Zone Two varying in width from 13 feet to 42 feet to the side and/or rear property lines. The balance of Zone Two shall be provided on adjacent properties in conjunction with existing development and shall be the responsibility of the adjacent property owner.
- 37. Prior to issuance of any engineering permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."
- 38. Prior to issuance of any building permits, a complete set of Brush Management Plans shall be submitted for approval to the Development Services Department. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Landscape Standards and Brush Management Regulations as set forth under Land Development Code Section 142.0412.
- 39. Within Zone One, combustible accessory structures, including, but not limited to decks, trellises, gazebos, et cetera, shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.
- 40. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Owner/Permittee to schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."
- 41. Prior to final inspection and issuance of any Certificate of Occupancy, the approved Brush Management Program shall be implemented.

42. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

- 43. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
- 44. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.
- 45. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

- 46. The Owner/Permittee shall maintain a minimum of no fewer than 28 parking spaces, including one accessible space, two motorcycle spaces and ten bicycle spaces on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.
- 47. Prior to issuance of any building permit, the Owner/Permitee shall dedicate and assure by permit and bond construction of a turnaround area (approximately 26 feet by 13 feet) south of the garage entrance and west of the north/south alley, plus improving the alley for additional 10 feet south of it, and installing City standard barricades and signage at the south end of the alley in the approximate locations shown on Exhibit "A," satisfactory to the City Engineer.

MAPPING REQUIREMENTS:

- 48. Prior to the expiration of this permit, a Drainage Easement is to be granted and portions of the Drainage Easement granted per Document recorded July 20, 1927 in Book 1355, Page 163 of deeds lying within lots 21 and 22 are to be vacated.
- 49. Prior to recordation of the Quitclaim Deed for the vacation of the Drainage Easement, a new Drainage Easement is to be granted to the City of San Diego, satisfactory to the City Engineer.
- 50. Prior to recordation of the Quitclaim Deed for the vacation of the Drainage Easement granted per Document recorded July 20, 1927 in Book 1355, Page 163 of deeds, all facilities in the existing easement must be removed and relocated satisfactory to the City Engineer.

GEOLOGY REQUIREMENTS:

- 51. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
- 52. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and completion of the grading permit.

PUBLIC UTILITIES REQUIREMENTS:

- 53. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
- 54. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. Back flow prevention devices shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
- 55. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
- 56. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

• This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 26, 2015 by [Approved Resolution Number].

Neighborhood Development Permit No. 1433237 Site Development Permit No. 1433238 Date of Approval: August 26, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

John S. Fisher
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

INDIANA STREET APARTMENTS #1, LLC Owner/Permittee

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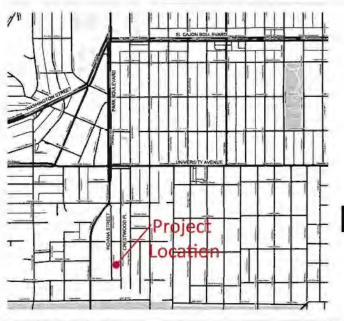
Tim Wright
General Partner

INDIANA STREET APARTMENTS #1, LLC

Owner/Permittee

By Craig Irving
General Partner

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



R-Z. S. Z.B.: TYPE VA. CONSTRUCTION - S.Z. PARKING: TYPE 14 CONSTRUCTION

GROUND LEVEL FOOTPRIKT: EAST BUILDING: \$.400 SF (\$.300 BF OVER COVERED WEST BUILDING: 1,005 BF USETING BUILDINGS: 1270 SF

MCCPD-WK-1000-MID CITY COMMUNITY PLANNED DISTRICT

24 326 SE 288 SE DEDICATION FOR TURN AROUND A 24 036 SE

IL 733.5 TRO IPORTION OF MUNDING OVER COVERED PARKING EXC

LOT COVERAGE: 3,435/24,039 = 54%

ADJUSTED WAX ALLOWED FAR: 75 - 35 - 7.70

INDIANA STREET APARTMENTS

3525-3535 INDIANA STREET SAN DIEGO, CA 92103-5201

DEVELOPMENT PERMIT SUBMITTAL

PTS# 396980



avrostudios

293 film Senet Suite 200 San Guge Conforms 22391 # #19 704 2700 # 818 704 282#



DESCRIPTION	DATE
DEV, PERMIT SUBM	11/06/20
DEV PERMIT RE-SUSM	1/28/20
BLD. PERMIT SUBM	3/04/20
DEV PERMIT RE-SUBM.	4/17/20
DEV PERMIT RE-SUBM.	5/20/20
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IRVING

STREET

INDIANA STREI APARTMENTS

AVAP STUDIOS:

CLIENT:

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FAA NO HAZZARD

FAR CALCULATION: 22.032 RF/24 038 SF SUTE ARFA = 0.00 ROJECT FAR: 0 824 MAX ALLOWED FAR: 1.10

1740 SF 2250 SF 296 SF 1715 SF

DEVELOPMENT SUMMARY

PROPOSED USE

SITE AREA

COVERAGE DATA

FLOOR AREA RATIO (FAR)

ZONNIG CLASSIFICATION

175 (ERONTAGE) X 20 = Woo SE MIN BEGUINED-SAID SE PROVIDED

PARKING ANALYSIS (PER 142.0525)

UNIT TYPE	#UNITS	PARU	UNG		
		RECURED	PROVIDED	MOTOPICYCLE	BICYCLE
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Z MEDROOMB*	4	a 176 - 7		381+14	14642
TOTAL	22	28	-	2.2 ROUNG TO 2.8	18 PROVIDED

GOVERNING CODE

SUSTAINABLE DESIGN FEATURES

PROJECT DATA

PROJECT ADDRESS

3525 3536 MDANA STREET, BAN DIEGO, CA 92103-5200

ON SITE SPACE WILL BS DROVIDED FOR DEFLIEF AND RECYCLING STORAGE SYCEROLIC BOLLS LOW-WATER PLANT SPECIES WILL BE USED FOR SITE LANDSCAPAIS ICE A 113

A WHITE, SING, E. PLY ROOF WELLBRANE WILL BE USED TO MINIM ZE THE CONTRIBUTION TO THE URBAN HEAT ISLAND EFFECT. ICE A 122 LOW WATER USE PLUMBING FUTURES WILL BE USED ON THIS PROJECT

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TITLE SHEET

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ADDITIONAL INFORMATION FROM DEVELOPMENT PERMIT SUBMITTAL

SUSTAINABLE DESIGN FEATURES

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THE REQUIREMENTS OF THE SUSTAINABLE BUILDING EXPEDITE PROGRAM AND COUNCIL POLICY 908-14

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LOW YOU OR ZERO VEC PRODUCTS YM E BE SELECTED WHEN POSSIBLE TO IMPROVE INDOOR AND CRALITY (CE-A.1)

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FIRE NOTES

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FREE CFC BECCHON BOLLY.

DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION

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FRE EXTINOUISHING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC SECTION YOU AND COMPLY WITH UBC STANDARDS 6-1 4 6 Z

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THE LOWEST LEVEL OF EXT DISCHARGE
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FACILITY
ORDUP B DOCUMENTES CONTRAINS ORDUP BAMBULATIONY HEALTH CARE
TOROUS BOCCUMENTES CONTRAINS EDUCATIONAL FACILITIES, SEE SECTION
DOCUMENT ON MANUAL FIRE ALARM BOXES ARE NOT REQUIRED WHERE THE
BUIL DING IS BOLIPPED THROUGHOUT WITH AN AUTOMATIC SPRINK ER
WHOTALLED IN ACCORDANCE WITH SECTION 2013 1 AND THE COCUMENT
CATION APPLIANCES WILL ACTIVATE THROUGHOUT THE NOTIFICATION ZOMES!

BUILDING & SPRINKLERED AND COMPLIES WITH REQUIREMENTS AS FER TABLE 705 & FOR NO LIMIT ON ALLOWARD & AREA OF EXTERIOR OPENINGS

LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CPC BOS AND THE CALIFORNIA CODE OF REGULATIONS (COR), TILE 18

DURNING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVE, AT EACH STARWAY, IR ALL STORAGE AND CONSTRUCTION BHEDS, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT 9ER CPC SECTION 3015.1

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MAI, DANGS UNDERGOING CONSTRUCTION, ALTERATION OR DEACH INON BINAL, \$1MLL CONFORM TO CPC COMPTER 33 WELDING, CUTTING AND OTHER HOT WIDER SHALL BE IN CONFORMANCE WITH CPC CHAPTER 35.

ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLANK Y VISIBLE. AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS 9 WAYN OF A PHONATE ROAD AND THE BUILDING ADDRESS COMPOT BE VIEWED FROM ADUBLE. WAY, AN APPROVED SION OR MEANS SHALL BE USED TO DENTIFY THE STRUCTURE PREMISE IDENTIFY CATOR SHALL, CONFORM TO CESS SECTION 301.2.

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KEY BOXES SHALL BE PROVIDED FOR ALL HIGH RISE BUILDINGS, POOL ENCLOSURES, GATES WITHE PATH OF FIREE GHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS CHING ACCESS TO TO ALRAM PANELS OR ANUNCATORS. AND ANY OTHER STRUCTURES OR AREAS WHERE ACCESS TO

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DPEN A AMES, FIRE, AND BURRHARS ON ALL PREMISES IS PROMBUTED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 208.

IF 907 2.2 OROUP B. A MANUAL FIRE ALARM SYSTEM SMALL BE INSTALLED IN GROUP 9. OCCUPANCIES WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:

FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE HISTAL LED AND MADE SERVICEASI E PRIOR TO AND CHARING THE OF FOR THE OFFICE SECTIONS BILLS, TOWA 2, AND ATOR 3

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LOW-WATER VIE PLUMING FIXTURES WILL BE USED ON THIS PROJECT MANAGE DIMENS OF IGNITION, WITHIN DIVITS WIT BE PROVIDED TO REDUCE FOWER CONGULAR FOR

DEFERRED SUBMITTALS UNDER SEPARATE **BUILD-OUT PERMIT**

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- SUMMITTAL DOCUMENTS FOR DEFERRED SUMMITTAL ITEMS SHALL WE SUMMITTED IN A TIME! Y MANGER THAT ALLOWS A MINIMUM OF THEFTY [38] CALENDAR GAYS FOR THE WATLE, PLAN REPURSE VIEWA ARDUND
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- PROVIDE TWO (2) COINES OF DEFERRED SUBMITTAL OCCUMENTS FOR FINAL APPRICAL.

RELATED PERMITS

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PHOJECT SHALL COMP, Y WITH ALL REQUIREMENTS OF THE STATE PERSHT; CALIFORNIA REDICINA WATER QUALTY CONTROL BOARD, SAN OLEGO, DIODER NO. 89 2001-0001, IMPOES, [Mtb/Www.ewrob ca gov/weiter mauses/programs/domestion/programs/domestion/ AAID THE CITY OF SAN DIESO (AAID DEVEL OPAIENT CIDIE) Mtb/AAID Sandieur sandieur province/programs/domesti/AID (AAID 20 violand) pdf/ Mtb/AAID 20 violand (AAID 20 violand) AND STORY WATER MANUAL

NOTES BE OW REPRESENT KEY MAISRUM RECAMEMENTS FOR CONSTRUCTION MAPS

- THE CONTRACTOR SHALL BE REPOSISE FOR DO SAND TO HORSE.

 ADJACENT STREETIS, DUE TO CONSTRUCTION VEHICLES OR ANY OTHER
 CONSTRUCTIONACTURY. AT THE BUY OF DACES WORK OAVY, OR ATTEM
 COMPRISED OF THE BUY OF THE BUY OF THE BUY OR ANY OTHER
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SEE STRUCTURAL CALCULATIONS PACKAGE

COMSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE THAT THE CONTRACTOR SHALL RESIDENCE ALL BROSHOWED MENT CONTROL DEVICES TO THE CONTRACTOR SHALL RESIDENCE FROM CHICK RANNAL, OR AFTER MY MATERIAL BEHADAY IN EFFECTIVENESS. FROM CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST RESIDENCE AND SECURITY MUST SHOULD A CANNOT RESIDENCE AND SECURITY AND SHALL RESIDENCE AND SHALL RESIDEN

BASIS FOR STRUCTURAL DESIGN

DESIGN LOADS

ALLATED PERMITS PTS STATIS DEVELOPMENT PE

CITY OF SAN DIEGO RUILDING PERMIT

SEE STRUCTURAL CALCULATIONS PACKAGE

SEE SON S REPORT

ALTERNATE DESIGNS

CARE . PROJ #

ADDITIONAL INFORMATION

DYECK EACH APPLICABLE OVERLAY ROME

AIRPORT APPROACH AMPORT DIVINOUS

ARPORT ME UNKER AREAS

COASTAL HEIGHT _ NO SENSITIVE COASTAL MORE E HOME PARK

PARKING HUPACT RESIDENTIAL TANDEN PAR TRANSIT AREA

URBAN VILLAGE MISSION TRAINS DESIGN BISTRICT CLARASST MESA PEIGHT | NAT COMMUNITY PLAN INPLEMENTATION

CHECK IF PROPOSED INTERS ON ON INJURIORITY TO SENSITIVE BIOLOGICAL RESOURCES

STEEP HALDIDES SENSITIVE COASTALLLIFFS NA TOOOT RATY OO

STRUCTURAL NOTES

ALL REQUIRED APPROVALS JUST BE DISTAINED FROM THE FIRE AND HAZARD PLEVENTION SERVICES SEFORE THE BUILDING IS DOCUMED. 2 PLAMS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANOPIPES, SPRINKLES SYSTEMS AND FIRE JAMPS SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY THE FIRE AND HAZARD PREVENTION BERVICES SEFORE THIS EQUIPMENT IS INSTAUD.

4 FFE ANDIOR SMOKE DAMPER ASSEMBLIES, INCLUTING SLEEVES, AND INSTALLATION PROCEDURES SINLE SEAPPROVED BY THE INSPECTION SERVICES DIVISION PROR TO MISTALLATION.

PROP TO HEIGHT LIMIT AREA

NOTICE TO THE APPLICANT / CONTRACTOR

SPECIAL INSPECTION & OFF-SITE FABRICATION

GPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:

SPECIAL INSPECTION SHALL BE PROVIDED FOR THE APPLICATION OF SPIRAYAPINEU PHE RESISTING MATERIALS PER ASTRESSES HIS SPECIAL RESISTING MATERIALS PER ASTRESSES HIS SPECIAL RESISTING FOR THE HIS SPECIAL RESISTING FOR THE SPECIAL R

REFER TO SHEET ST FOR ADDITIONAL INFORMATION

A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.

- AN APP, ICATION TO PERFORM OFF-SITE FABRICATION UNITS BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION
- A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FADRICATION MUST BE COMPLETED AND SUBMITTED TO THE RESPECTION SERVICES DIVISION PRIOR TO ERECTION OF

STRUCTURAL OBSERVATION

ELECTRICAL NOTES ALL BLECTRICAL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA ELECTRICAL CODE.
ALL DUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF EAN DIEGOLI CHTING POLLUTION. ORDINANCE ALL INTERIOR LIGHTING SYSTEMS SHALL COMPLY WITH CALIFORNIA ENERGY COMMASSION COMPANY

STEE CONSTRUCTION STRUCTURAL MASONING STRUCTURAL CONCRETE

STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHTECT OF RECORD RESPONSELE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHTECT RESPONSELE FOR THE ANOLHECT RESPONSELE FOR THE ANALHECT RESPONSELE FOR THE ANOLHECT RESPONSELE FOR THE ANALHECT RESPONSELE FOR THE ANALHECT RESPONSELE FOR THE ANALHECT RESPONSELE FOR THE ANALHECT RESPONSEL RESPONSELE FOR THE ANALHECT RESPONSEL RESPONSEL RESPONSELE FOR ANOTHER DESIGNATION AND THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THAT THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN STATE THE STRUCTURAL OBSERVER SHALL SUBMITT OF THE BUILDING OFFICIAL AT WRITTEN SHALL SUBMITT OF THE STRUCTURAL OBSERVER SHALL SHALL

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N I E NO DES

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NEW NORTH NOT M CONTRACT NUMBER NOT RATED NOT TO SCALE

ABBREVIATIONS

SUKC SUKC SUKC SM SGI SRG SUR

avrpstudios

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SSUE DATES DESCRIPTION DEV PERMIT SUBM. DEV. PERMIT RE-SUBM. 1/28/2015 BLD. PERMIT SUBM 3/04/2015 DEV PERMIT RE-SUBM. 4/17/2015 DEV PERMIT RE-SUBM 5/20/2015

IRVING

STRE

APARTMENTS

AVRP STUDIOS:

CLIENT

AGENCY.

5 - 3535 Ind Diego, CA

PTS#

INSIDE DIMENSION INCLUDE INSULATION INTERIOR

REQUESTED DEVIATIONS

INCA INSUA

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VERT VP VB

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About FOUNDATION FRATURES
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REQUESTS A DESIGNATION TO COME, VINTAIL THE INTENT OF THE LET WITHOUT COMES MAD WITH THE STRICT, ETTER OF

(A) MALTIPLE PITCHED ROOFS THE PROJECT ROOF HAS MULTIPLE STEPS IN THE ROOF PROFILE CREATING AN INTERESTING AND DYNAMIC FORM EVEN THOUGH ROOFS ARE NOT PITCHED.

(C) AMMINIMA OF ORE CLERESTORY WINDOW PER OF STEET OF STEET ELEVATION PROJECT PROVIDES FLU. HEIGHT WINDOWS RATHER THAN STANDARD PUNCHED WINDOWS ACCOUNTS BY A SEPARATE CLERESTORY (F) AND WINDOWS THE STANDARD PUNCHED WINDOWS ACCOUNTS WITH STEEDING AND A SEPARATE CLERESTORY CLERESTORY WITH A STANDARD STANDARD ROOFS WITH STEEDING AND A SEPARATE CLERESTORY WITH A STEET OF PROVIDED TRANSPORT AND A STANDARD GOOD WITH STEEDING AND A SEPARATE CLERESTORY WITH THE DESIGN OF THE TRANSPORT AND A SERVICE A STANDARD GOOD RAND IS MARKE CLERESTORY WITH THE DESIGN OF THE TRANSPORT AND A SERVICE A STANDARD GOOD RAND IS MARKE CLERESTORY WITH THE DESIGN OF THE TRANSPORT AND A SERVICE A STANDARD GOOD RAND IS MARKE CLERESTED WITH THE DESIGN OF THE TRANSPORT.

THE PROJECT COMPLIES WITH (F) PROVIDING AN ENTRY PORCHAMO (H) PLANTED WALL MOUNTED LATTICE WHICH ISED ON BOTH BUILDINGS A AND B NEIGHT OF RETAINING WALL IN REAR RETRACK THE RETAINING WALLE AT THE ALLEY TURN AROUND ARE HOMEN THAN 8 WITHIN THE 1" REAR SETBACK

PROJECT SUMMARY, BUILDING DEPT NOTES

T1.02

MINIMUM FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (hours):

	PRIMARY		BEARMO.	WALLS:	NON-BEARING WALLS			HOOF CONSTRUCTION	SHAFTISTAIRWAY	
	STRUCTURAL FRAME	EXTERNOR	NURSELA	EXTERIOR	AND PARTITIONS	AND RECOMBARY MEMBERS	AND SECONDARY MEMBERS	HOR ZONTAL ASSESSED Y		
TYPE IA	3	3	3	1	0	2	1.5	1*		
TYPE VA	1	1	t	1	O	1	1	2		

MECHANICAL NOTES

ALL MECHANICAL LYORK SHIN. COMPLY WITH THE 2810 CALIFORNIA MECHANICAL CODE. ALL PLUMBING WORKSHALL COMPLY WITH THE 2016 CALIFORNIA ALLABING CODE

HEATING, VENTIL, ATON, AND AIR CONDITIONING BYSTEMS SHALL COMM. Y WITH EALIFORMATENERGY COMMISSION STANDARDS

A P. LANDING PERMAT IS REQUIRED TO MISTALL A MACROTION PREVENTER A TOKEN INSPECTION IS REQUIRED WHEN A CONTRACTOR OR CHINER INSTALLS A SCINED LATERAL IN A STREET OR ALL! TOKEN INSPECTION ITXLEE 255 PLUS ENGINEERING PERMY TESS A CONTRACTORS FEES.

REFER TO SHEET BY FOR "STATEMENT OF SPECIAL INSPECTIONS" WHICH PROVIDES FURTHER DETAIL



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703 169: Sirset, Sule 200 San Diego, California 92161

| DATE | DATE | DATE | DESCRIPTION | DATE | DATE | DESCRIPTION | DATE | DATE | DEV. PERMIT RE-SUBM. | 1/28/2015 | DEV. PERMIT RE-SUBM. | 4/17/2015 | DEV. PERMIT RE-SUBM. | 5/20/2015 | DEV. PERMIT RE-SUBM. | DEV.

THE IRVING

PROJECT NAME:

INDIANA STREET
APARTMENTS
3525 - 3535 Indiana Street
San Diege, CA 92103

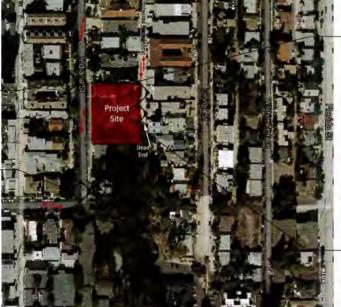
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SHEET TITLE:

T1.03

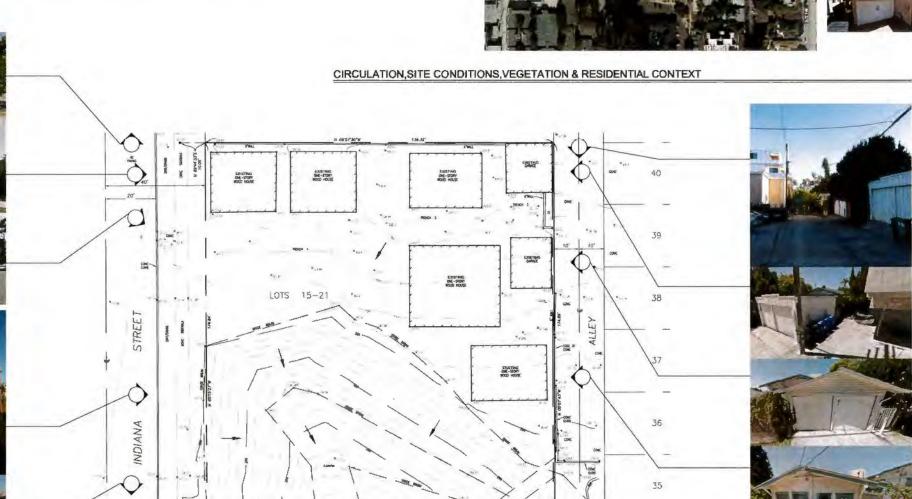






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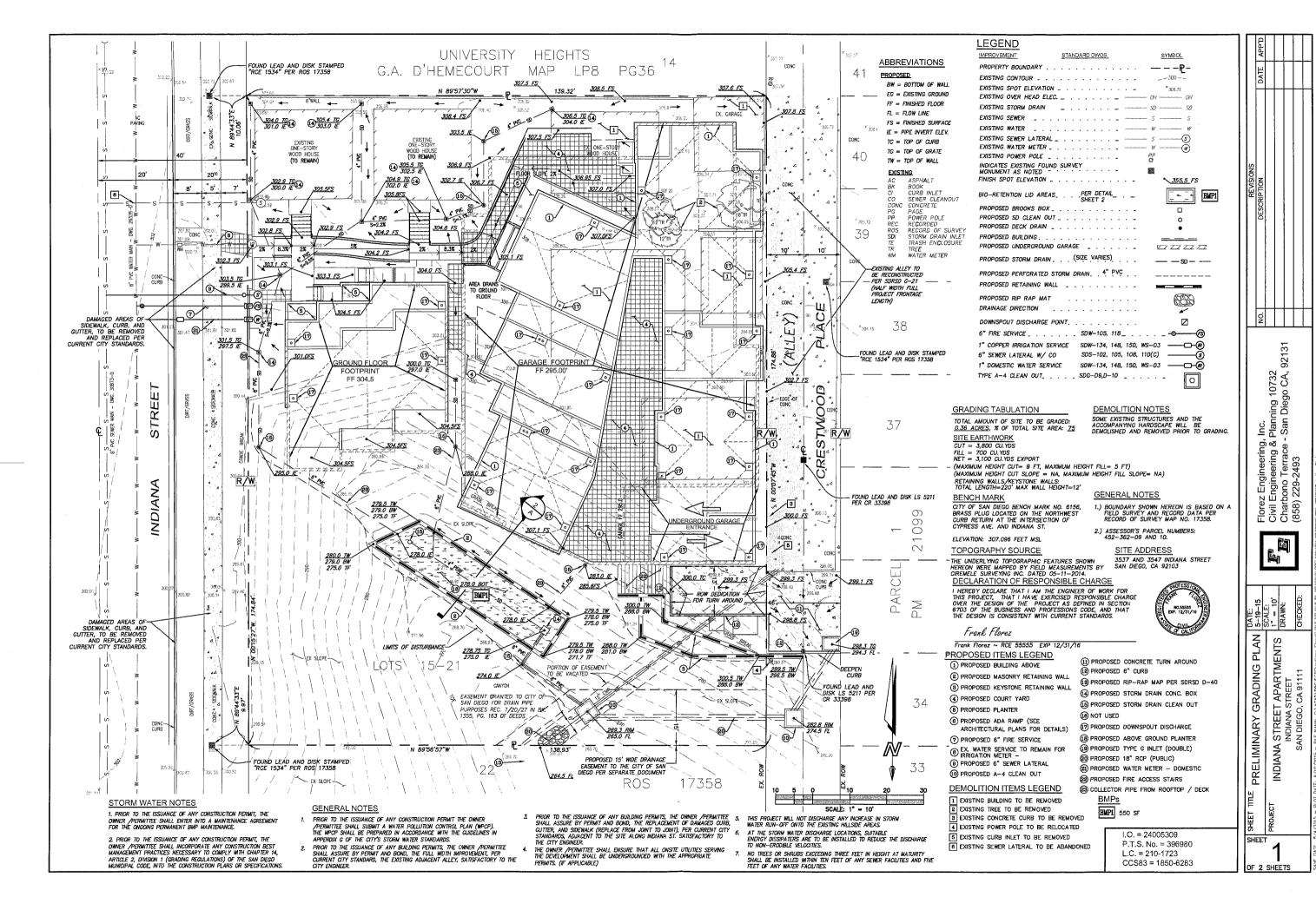




VICINITY MAP

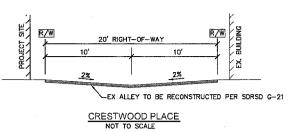
VICINITY MAPS

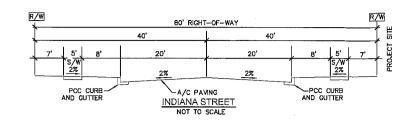
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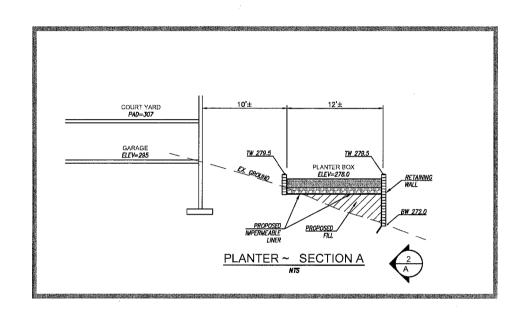


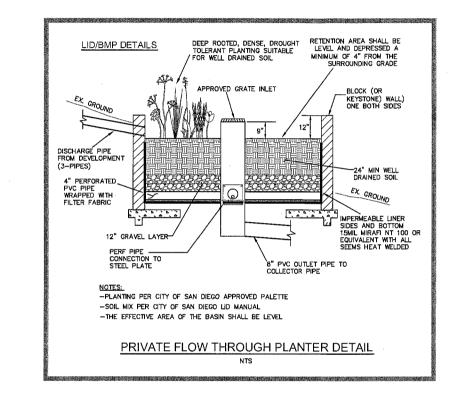
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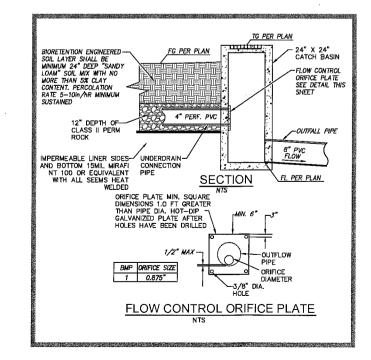
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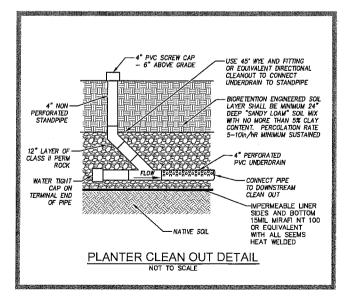












Ö 92131 Florez Engineering, Inc. Civil Engineering & Planning 10732 Charbono Terrace - San Diego CA, 93 (858) 229-2493 PRELIMINARY GRADING PLAN 5-19-15
SGALE
INDIANA STREET APARTMENTS
DRAWN: INDIANA STREET APARTMENTS INDIANA STREET SAN DIEGO, CA 91111

SHEET OF 2 SHEETS

ATTACHMENT C





IRVING GROUP

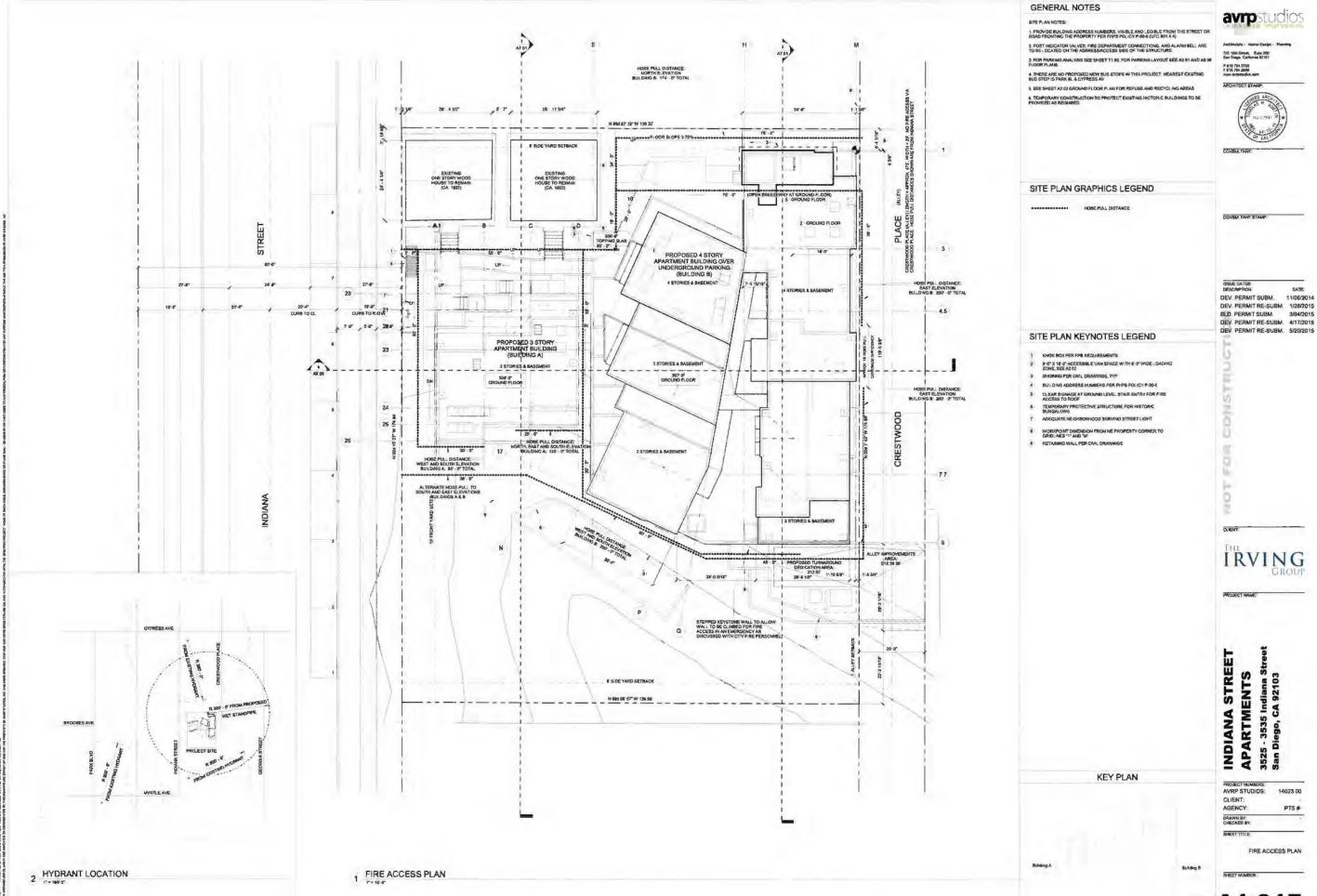
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FIRE ACCESS PLAN

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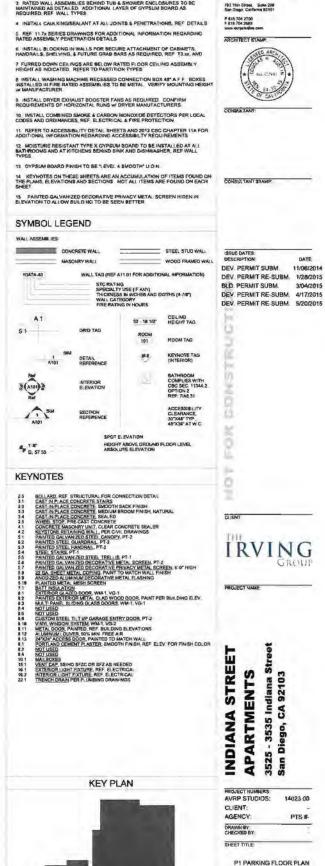
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GENERAL NOTES

1 ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD UIN O MASDINITY WALLS ARE DIMENSIONED FROM FACE OF CHULUIN O. GIP CONGRE WALLSWIJERS ARE DIMENSIONED FROM FACE OF WALLDURB UIN O.

2 INSTALL SW TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILINGS UNO. REF WALL TYPES AND ULASSEMBLIES.

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, 24 , 25 ,

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AW G1

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E SIDE YARD SETBACK

EXISTING BUNGALOW TO REMAIN ABOVE

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AB 01

A6 0 0 1

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21

22 -

23

24 25

26

1 LEVEL PT

28-534*

L L2 L8 M

II-1'FACE OF CMU WALL TO PROPERTY LINE

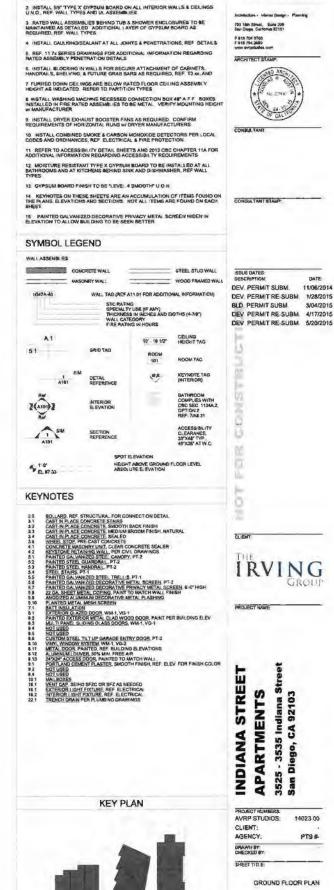
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Building B

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GENERAL NOTES



H J J2

33

1 GROUND FLOOR PLAN

STAIR 2

EXISTING ONE STORY WOOD HOUSE TO REVAIN (CA. 1823)

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A8 91 S

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A12.

L L2 (8 M

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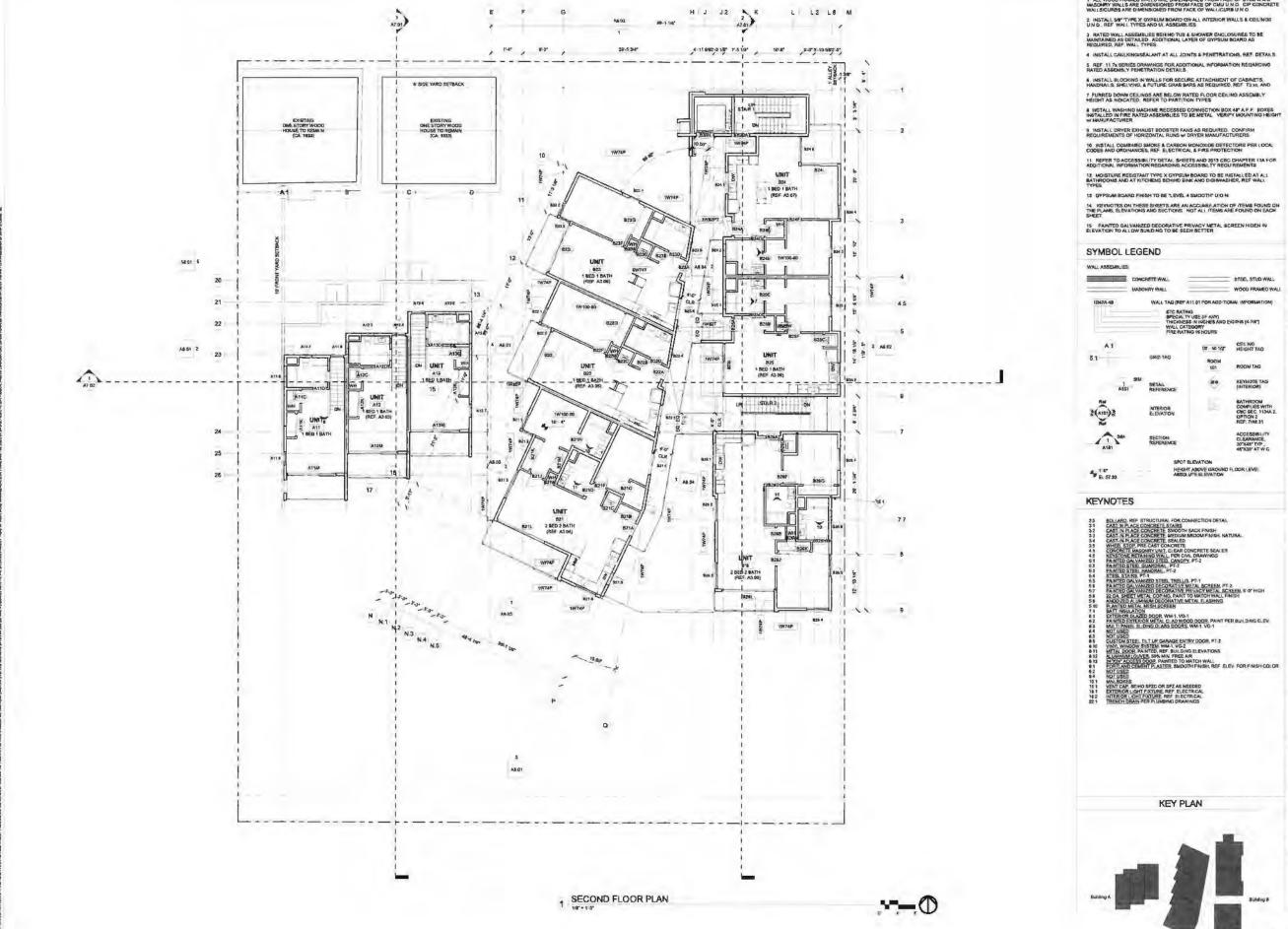
WALL AT VISIBILITY TRIANGE IS OVER 50% OPEN, REF AS 03

INSTALL DITY STANDARD BAR

-

PTS#

9 of 33



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GENERAL NOTES



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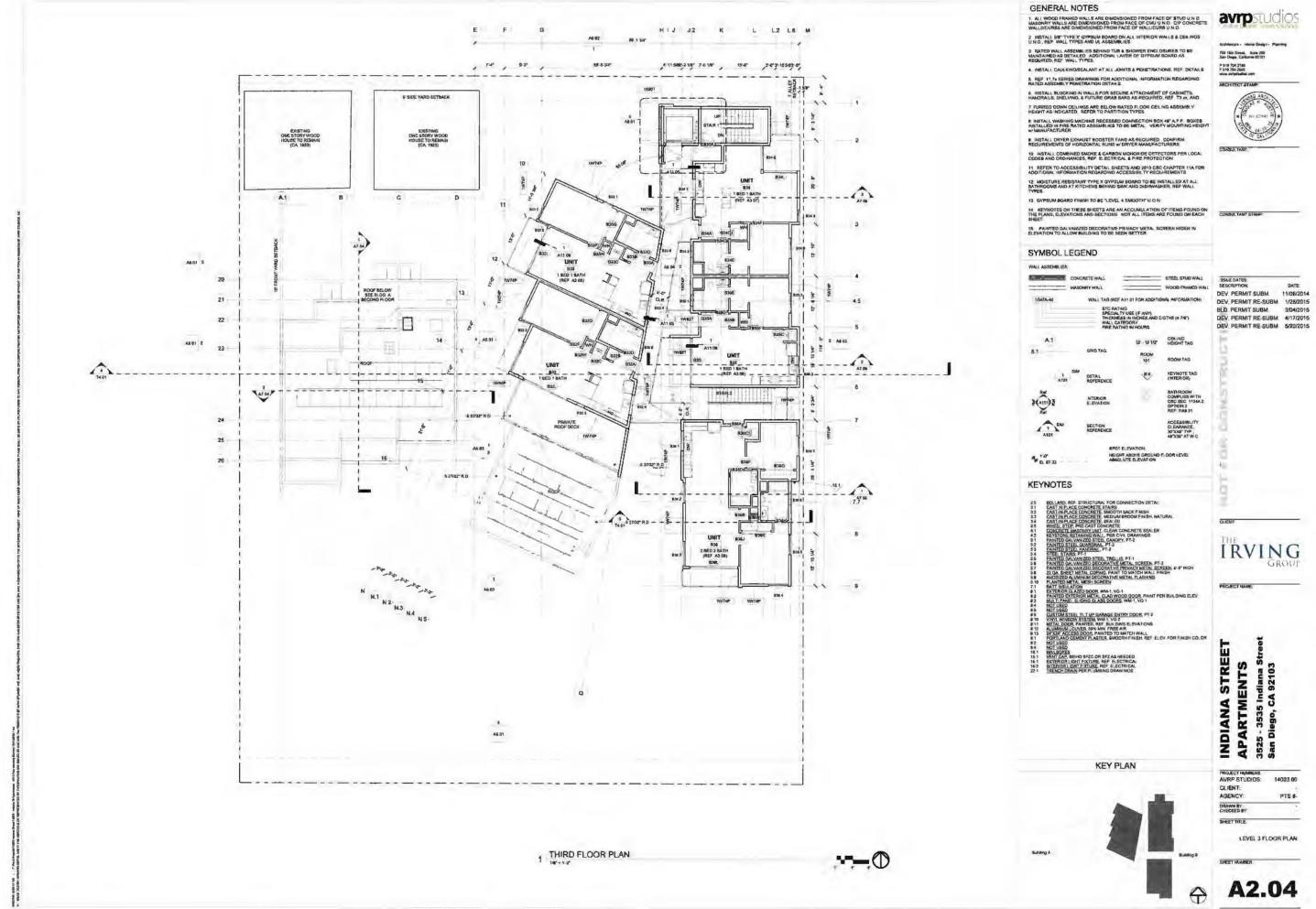
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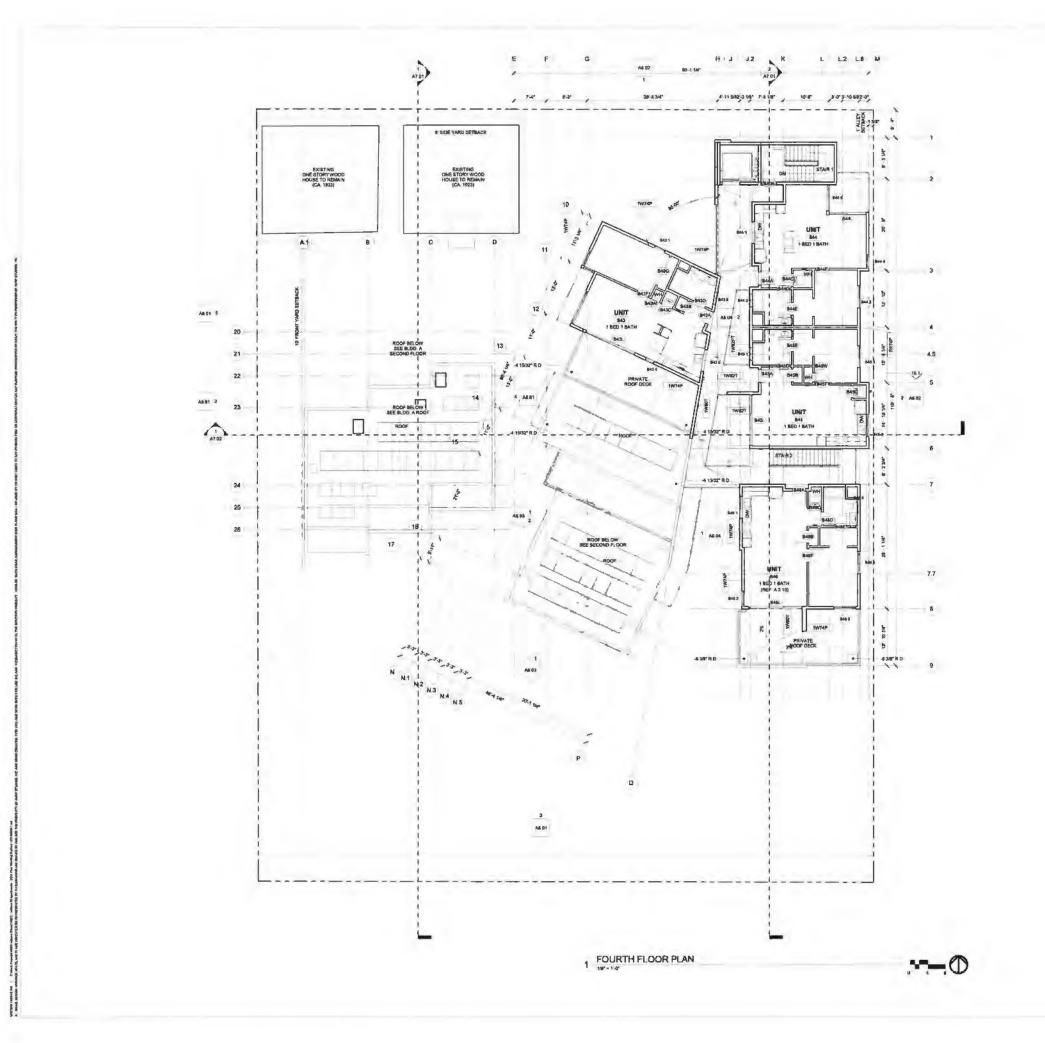


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DEV. PERMIT RE-SUBM 4/17/2016

DEV. PERMIT RE-SUBM. 5/20/2015



GENERAL NOTES

& INSTALL CAULKING/SEALANT AT ALL JOINTS & PENETRATIONS, REF DETAILS

SYMBOL LEGEND

WALL ADDEMOLIES: STEEL STUD WALL WOOD FRAMED WAL A.1

ACCESSIBILITY CLEARANCE. 30"X48" TYP., 48"X36" AT W.C.

SPOT ELEVATION
HEIGHT ABOVE GROUND FLOOR LEVEL
ABBOLUTE ELEVATION 1-0" EL 67 33

KEYNOTES

TEEL TILT I IP GARAGE ENTRY BOOR, PT-2 DOW SYSTEM, WM-1, VG-2 QS, PAINTED, REF BUILDING ELEVATIONS ILOJUARS, SON MIN. PREE AIR CESS DOOR, PAINTED TO MATCH WALL I CEMENT PLASTER, SMOOTH FINISH REF. E

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KEY PLAN

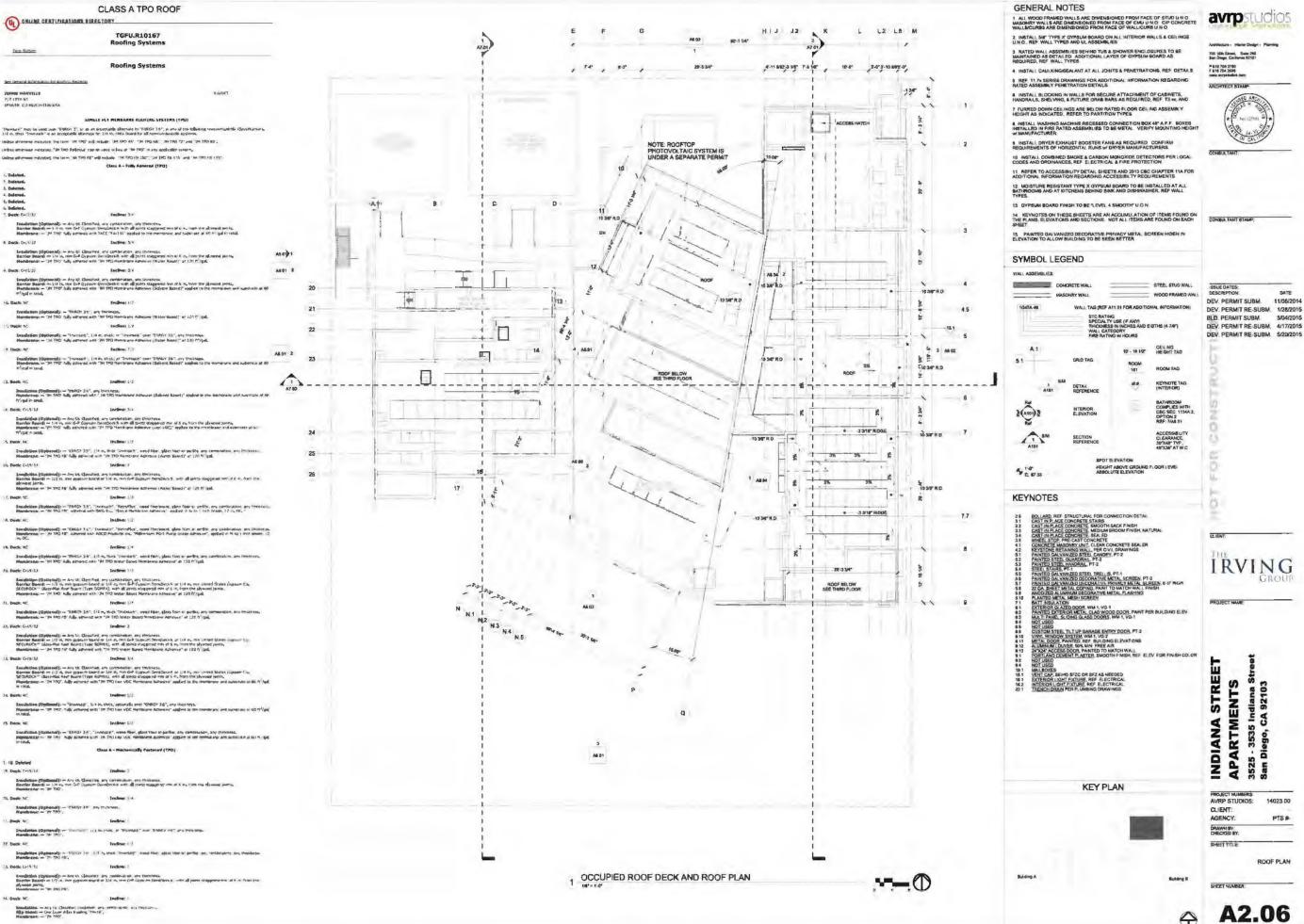


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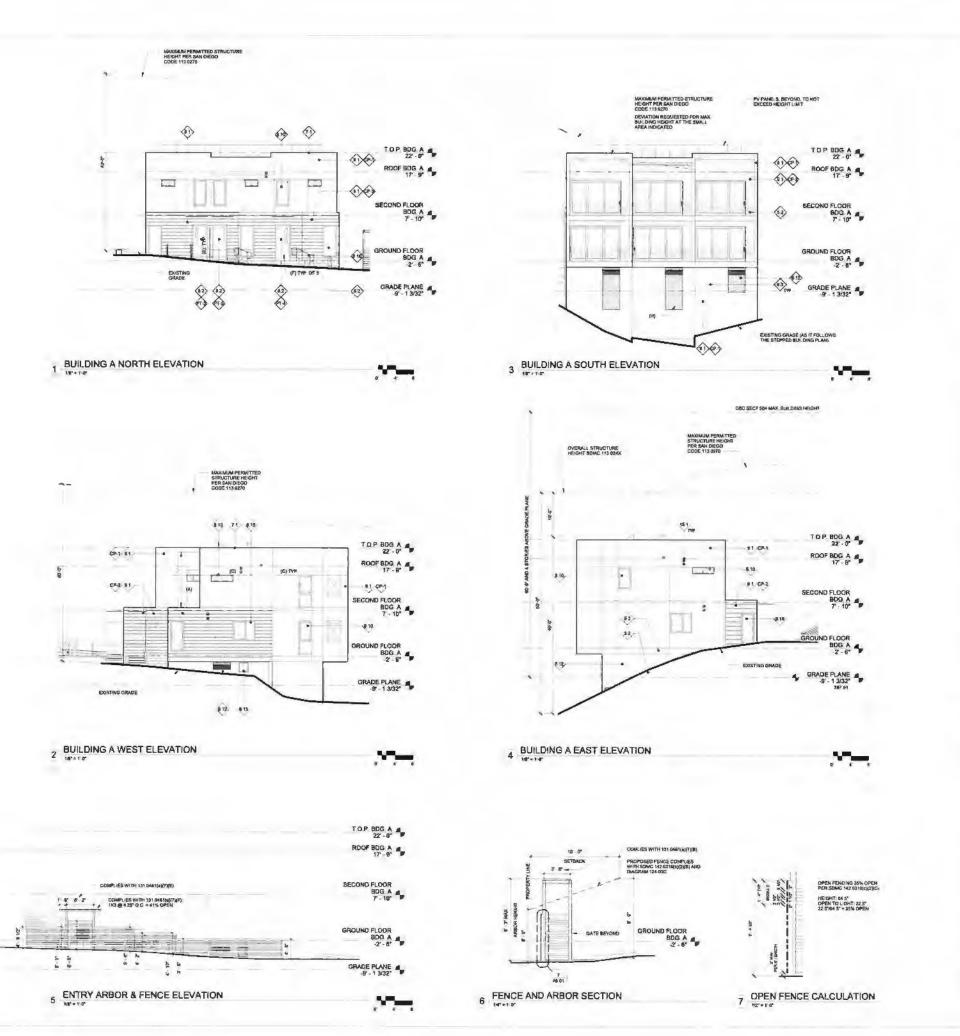
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GENERAL NOTES

- 1 GRIDLINES ARE MEASURED TO THE OUTSIDE OF STRUCTURE AT EXTERIOR WALLS
- 2 KEYNOTES ON THESE SHEETS ARE AN ACQUUIL. ATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.

- 5 REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
- 7. REFER TO MECHANICAL ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL IMPORDITION
- 3 ALL ROOFING TO BE CLASS A FIRE RATED
- TO THE PROJECT SHALL COMPLY WITH THE COUNTY OF SAN DIEGO LIG
- 11 ALL EXTERIOR WALLS TO BE MIN ONE-HOUR FIRE RATED
- 12 NOTE: HEIGHT OF THE BUILDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. (CBC. 502.1) 13 ACTUAL BUILDING HEIGHT MUST BE EQUAL TO ON LESS THAN ACTUAL BUILDING CONBUT TANT:

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DESCRIPTION:	DATE:
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BLD. PERMIT SUBM.	3/04/2019
DEV. PERMIT RE-SUBM.	4/17/2015
DEV. PERMIT RE-SUBM.	5/20/2019

ELEVATION KEYNOTES:

25	BOLLARD, REF. STRUCTURAL FOR CONNECTION DETA
31	CAST IN PLACE CONCRETE STAIRS
3.2	CAST-IN-PLACE CONCRETE, SMOOTH SACK FINISH
33	CAST-IN-PLACE CONCRETE, MEDIUM BROOM FINISH, NATURAL
34	CAST-IN-PLACE CONCRETE, SEALED
3.6	WHEEL STOP, PRE-CAST CONCRETE
41	CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER
4.2	KEYSTONE RETAINING WALL, PER CIVIL DRAWINGS
5.1	PAINTED GALVANIZED STEEL CANOPY, PT-2
52	PAINTED STEEL GUARDRAIL, PT-2
5.3	PAINTED STEEL HANDRAIL, PT-2
5.4	STEE, STAIRS, PT-1
3.5	PAINTED GALVANIZED STEEL TRELLIS, PT-1
5.8	PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT 2
5.7	PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN 6-0" HIGH
5.0	22 GA SHEET METAL COPING, PAINT TO MATCH WALL FINISH
5.0	ANODIZED ALUMINUM DECORATIVE METAL FLASHING
5.10	PLANTED METAL MESH SCREEN
7.1	BATT INSULATION
6.1	EXTERIOR GLAZED DOOR, WM-1, VG-1
8.2	PAINTED EXTERIOR META: CLAD WOOD DOOR, PAINT PER BUILDING ELEV
6.3	MULTI PANE, SLIDING GLASS DOORS, WM 1, VG-1
E4	NOT USED
8.5	NOT USED
6.6	CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2
B 10	VINY, WINDOW SYSTEM, WM-1, VG-2
B.51	METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
B 12	ALUMINUM LOUVER, 50% MIN. FREE AIR
6.13	24"X24" ACCESS DOOR, PAINTED TO MATCH WALL
9.1	PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COL
2.2	NOT USED
2.4	NOTUSED
101	MAILBOXES
	VENT CAP, SEIHO SFZC OR SFZ AS NEEDED
18.1	EXTERIOR LIGHT FIXTURE REF ELECTRICAL
16.2	INTERIOR LIGHT FIXTURE, REF. ELECTRICAL
22.1	TRENCH DRAIN PER PLUMBING DRAWINGS

ARCHITECTURAL FEATURES: SDMC 1512 0304(b)(1)

(A) MIR TIPLE PITCHED ROOFS (DEVIATION REQUESTED, REF. T1 DI) (C) A MINIMUM OF ONE CLERESTORY WINDOW PER 50' OF STREET ELEVATION (DEVATION REQUESTED REF T1 D1) (E) A MINIMUM OF ONE TRANSOM WINDOW (DE (F) AN ENTRY PORCH (H) PLANTED WALL MOUNTED LATTICE

BUILDING ELEVATION FINISH LEGEND:

- WINDOW MULLION 1 FINISH TO MATCH NATURAL ALUMINUM
- VG-1 VISION GLASS 1 CLEAR INSULATED GLASS
- CP-1 CENENT PLASTER 1, GENERAL COLOR WHITE, SMOOTH FINESH
- CF-2 GENERIT PLASTER 2, ACCENT COLOR TAN, SMOOTH FINSH
- PT-1 PANT 1, TRELLISES WHITE TO MATCH CP-1
- PT-2 PART 2, RAILING, WINDOW & DOOR SHADING DEVICES SILVER COLOR TO MATCH WINDOW MULLIONS
- PT-3 PANT 3, ENTRY DOORS OCHRE (B.O.D. SHERWIN-WILLIAMS SW 9625 TRINKET)
- PT-4 PANT 4, ENTRY DOORS ORANGE (B.O.D. SHERWIN-WILLIAMS SW 683 "RAUCOUS DRANGE")

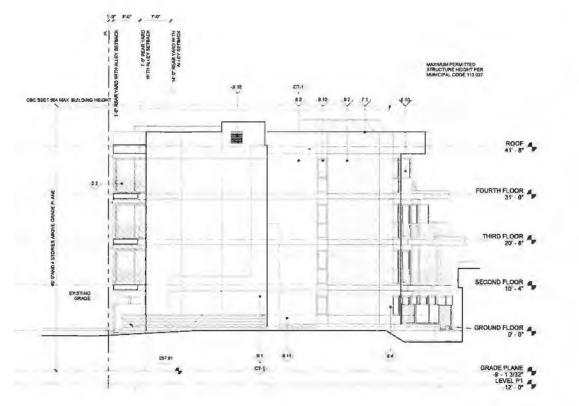
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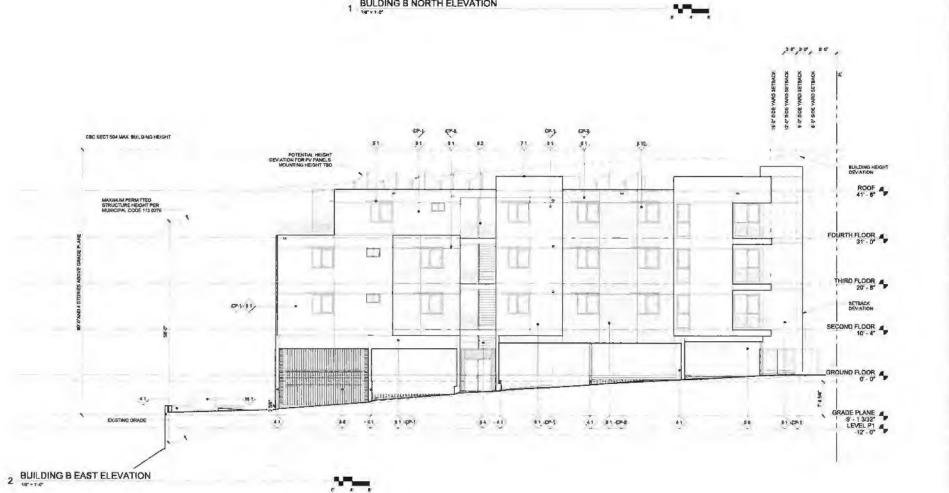
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BUILDING A EXTERIOR ELEVATIONS

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1 BULDING B NORTH ELEVATION

GENERAL NOTES

- 1 OND, MES ARE MEASURED TO THE OUTSIDE OF STRUCTURE AT EXTERIOR WALLS KEYNOTES ON THESE SHEETS ARE AN ACQUINILATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- 3 DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, UNLESS NOTED OTHERWIS
- 5 REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
- # REFER TO LANDSCAPE/RRIGATION FOR ADDITIONAL INFORMATION 7. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING BRAWINGS FOR ADDITIONAL INFORMATION
- # REFER TO WALL AND FLOOR TYPES (ATT 01) FOR INSULATION R.VALUES
- 8 ALL ROOFING TO SE CLASS A FIRE RATED
- THE PROJECT SHALL COMPLY WITH THE COUNTY OF SAN DIEGO
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- 12 NOTE: HEIGHT OF THE BULDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE (CBC. 502.1) 13. ACTUAL BUILDING HEIGHT MUST BE EQUAL TO OR LESS THAN ___ ACTUAL BUILDING HEIGHT IS

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ARCHITECT STAMP

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DEV PERMIT RE-SUBM. 1/28/2015
BLD. PERMIT SUBM. 3/04/2015
DEV. PERMIT RE-SUBM. 4/17/2015 DEV. PERMIT RE-SUBM. 6/20/2015

ELEVATION KEYNOTES:

PARTIDS STEEL HANDRALL PT2
STEEL STAINS PT2 STEEL TRELLS PT.1
PARTIDS ON WHAT DE COCKNAYME METAL SCHEEM, PT2
PARTIDS ON WHAT DE COCKNAYME METAL SCHEEM, PT2
PARTIDS ON WHAT DE DECORATIVE METAL SCHEEM, PC7 HIGH
22 ON SHEET HETAL COPING PART TO WATCH WALL PARSH
AND SHEET HETAL COPING PART TO WATCH WALL PARSH
AND HAND HAND PARTID PROPERTY OF THE PARTID HAS PARTID H NOT USED

OUT USED

OUT OF THE STATE OF THE

ARCHITECTURAL FEATURES: SDMC 1512.0304(b)(1)

BUILDING ELEVATION FINISH LEGEND:

WAS WAIDOW MILLION 1 FINISH TO MATCH NATURAL ALLMANUM

VG-1 VISION GLASS 1 CLEAR INSULATED GLASS

CP-1 CEMENT PLASTER 1, DENERAL GOLOR WHITE, SMOOTH FINISH

CP-2 CEMENT PLASTER 2, ADCENT CO. DR. TAN, BMOOTH FINSH

PT 1 PART 1, TRELLISES. WHITE TO MATCH CP 1

PT-2 PAINT 2, RAILING, WINDOW & GOOR SHADING SLIVER COLOR TO MATCH WINDOW MULLIONS

PT-4 PAINT 4. ENTRY DOORS DRANGE (B.D.). SHERWIN WILLIAMS SW 6883 "RAUCOUS DRANGE")

PT-8 PAINT 5. ENTRY DOORS RED (B O D SHERWIN WILLIAMS SW GROB "RAVE RED")

IRVING

PROJECT NAME

3525 - 3535 Indiana Street San Diego, CA 92103 INDIANA STREET APARTMENTS

PROJECT NUMBERS: AVRP STUDIOS: 14023.00 CLIENT: AGENCY:

SHEET THE

BLDG B NORTH AND EAST ELEVATIONS

A6.02

15 of 33



- 1 GROWINGS ARE MEASURED TO THE DUTS DE OF STRUCTURE AT EXTERIOR WALLS
- 2 KEYNDTES ON THESE SHEETS ARE AN ACQUABILIATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS NOT ALL ITEMS ARE FOUND ON EACH SHEET

- 7 REFER TO MECHANICAL ELECTRICAL AND PLUMBING DRAYINGS FOR ADDITIONAL INFORMATION

- 11 ALL EXTERIOR WALLS TO BE MIN ONE-HOUR FIRE RATED
- 12 NOTE HEIGHT OF THE BUILDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE (CBC 502 I)

13 ACTUAL BUILDING HEIGHT MUST BE EQUAL TO ON LESS THAN ACTUAL BUILDING



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COASULTANT STAMP

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ELEVATION KEYNOTES:

ISULATION OR GLAZED DOOR, WM-1, VG-1 D EXTERIOR METAL CLAD WOOD DOOR, PAINT PER BUILDING ELEV VANC. SLIDING GLASS DOORS, WM-1, VG-1 MALT PAME, B. DING GLASS DOORS WHILLIGHT
NOT USED
SET THE USE OF USED OF USED
NOT US

ARCHITECTURAL FEATURES: SDMC 1512.0304(b)(1)

(E) A MINIMUM OF ONE TRANSON WINDOW (DEVIATION REQUESTED, REF. T1 81)

BUILDING ELEVATION FINISH LEGEND:

- WHAT WINDOW MULLION 1 FIRSH TO MATCH NATURAL ALUMINUM
- VB-1 VISION GLASS ! CLEAR INSULATED GLASS
- CR 1 CEMENT PLASTER 1, GENERAL CO. OR WHITE, SMOOTH FINISH
- CP-2 CEMENT PLASTER 2. ACCENT CO. OR TAN, SMOOTH PINISH
- PT-1 PAINT 1, TRELLISES WHITE TO MATCH CP-1
- PT-2 PAINT 2, RAILING, WINDOW & DOOR SHADING D SILVER COLOR TO MATCH WINDOW MULLIONS

- PT-S PAINT S, ENTRY DOORS
 RED (B O D SHERWIN WILL AMS
 SW 6604 TRAVE RED')

IRVING

PROJECT NAME

INDIANA STREET
APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

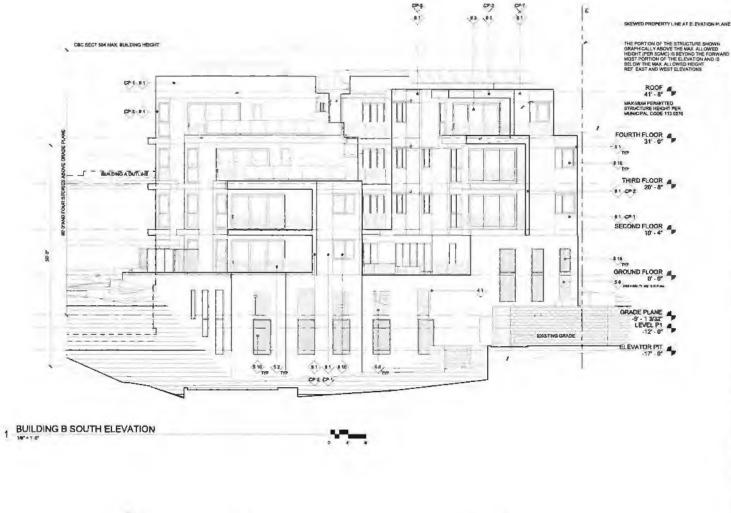
PROJECT NUMBERS AVRP STUDIOS: 14023.00 CLIENT: AGENCY:

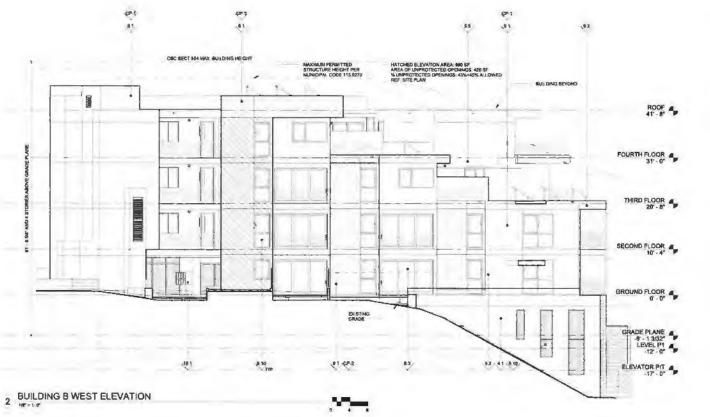
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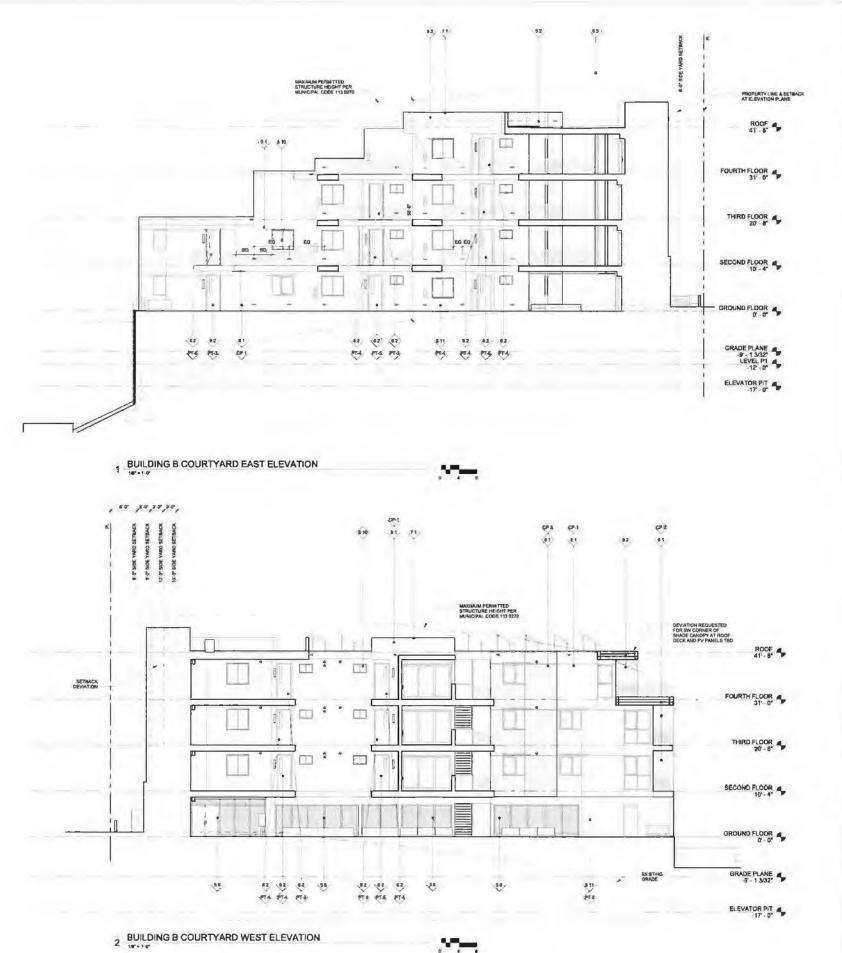
BLDG B SOUTH AND WEST ELEVATIONS

A6.03

16 of 33







GENERAL NOTES

- 1 GRIDLINES ARE MEASURED TO THE DUTSIDE OF STRUCTURE AT EXTERIOR WALLS
- 2 KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANE, E. EVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- 3 DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, UNLESS NOTED OTHERWISE
- 5 REFER TO STRUCTURAL FOR ADD TIONAL INFORMATION
- 7. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- 8 REFER TO WALL AND FLOOR TYPES (A11.01) FOR INSULATION R-VALUES & ALL ROOPING TO BE CLASS 'A' FIRE RATED
- 10 THE PROJECT SHALL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING OR 11 ALL EXTERIOR WALLS TO BE MIN. ONE-HOUR FIRE RATED
- 12. NOTE: HEIGHT OF THE BUILDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE (CBC, 502.1) 13 ACTUAL BUILDING HEIGHT MUST BE EQUAL TO OR LESS THAN ACTUAL BUILDING HEIGHT IS



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BLD. PERMIT SUBM. 3/04/2015
DEV PERMIT RE-SUBM. 4/17/2015 DEV. PERMIT RE-SUBM. 5/20/2015

ELEVATION KEYNOTES:

STEE STARS, PT-1
PAINTED GALVANEZD STEEL TREILIS, PT-1
PAINTED GALVANEZD STEED TREILIS, PT-1
PAINTED GALVANEZD SECORATIVE METAL SCREEN, PT-2
PAINTED GALVANEZD SECORATIVE METAL SCREEN, PT-2
PAINTED SELVANDEZD SECORATIVE METAL SCREEN, PT-2
HADDIZED ALMANIAM PECOFORATIVE METAL FLASHIND
PAINTED METAL MERPI SCREEN
PAITE METAL MERPI SCREEN
PAITE METAL PLASHIND
PAINTED PART DE ESTENCIA METAL CLAD WOOD DOOR, Front For All PART AND TARRES IN DAY OF ASS GOORS WM 1, VG 4 NOT USED NOT USED TO THE TOTAL PROPERTY DOOR PT 2 VIOL WHO OWN ESTERN WM 1, VG 2 VIOL WHO OWN THE TARREST OWN THE FOR THE FOR THE PART OWN THE TARREST OWN THE FOR THE FOR THIS HOUR OWN THE TARREST OWN OWN THE

IRVING

PROJECT NAME

ARCHITECTURAL FEATURES: SDMC 1512.0304(b)(1) (A) MIA TIPLE PITCHED ROOFS (DEVIATION REQUESTED, REF. T1 01)

(F) AN ENTRY PORCH (H) PLANTED WALL MOUNTED LATTICE

BUILDING ELEVATION FINISH LEGEND:

- WM-1 WINDOW MULLION 1 FINISH TO MATCH NATURAL ALUMINUM
- VO-1 VISION GLASS 1 CLEAR INSULATED GLASS
- CP-1 CEMENT PLASTER 1, GENERAL COLOR WHITE, SMOOTH PINISH
- CPUZ CEWENT PLASTER 2, ACCENT COLOR TAN, SMOOTH FALSH
- PT 1 PAINT 1, TRELLISES WHITE TO MATCH CP-1
- PT-2 PAINT 2, RAILING, WINDOW & DOOR SHADING DEVI SILVER COLOR TO MATCH WINDOW MULLIONS
- PT-1 PAINT 3, ENTRY DOORS OCHRE (B.O.D. SHERWIN-WILLIAMS SW 6805 "TRINKET")
- PT-I PAINT A ENTRY DOORS ORANGE (B.O.D. SHERWIN-WILLIAMS SW 6863 "RAUCOUS ORANGE")
- PT-5 PAINT 5, ENTRY DOORS RED (B O D SHERWIN WILLIAMS SW 8808 PAVE HELF)

INDIANA STREET
APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBERS
AVRP STUDIOS: 14023.00 PTS# AGENCY:

SHEET TITLE BLDG B COURTYARD ELEVATIONS

A6.04

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ARCHITECT STAMP

CONSULTANT STANS

DESCRIPTION: DATE:
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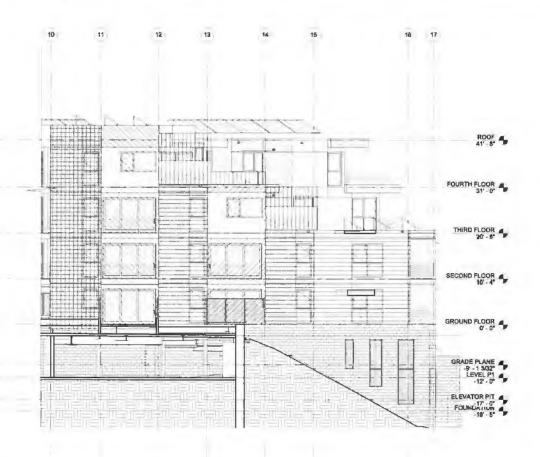
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BILD. PERMIT SUBM. 3/04/2015
DEV. PERMIT RE-SUBM. 4/17/2015
DEV. PERMIT RE-SUBM. 5/20/2015

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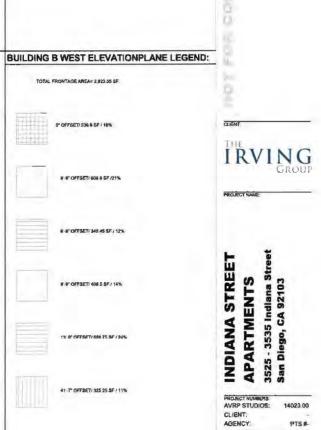
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20 21 22 23

1 BUILDING A WEST OFFSETTING ELEVATION



2 BUILDING B WEST OFFSETTING ELEVATION



BUILDING A WEST ELEVATION PLANE LEGEND:

14-5" OFFSET/ 60 SF / 4 1 %

6" OFFSET/ 56 SF / 3 8%

28'-6" OFFSET/136 SF / 8.4%

18 of 33

OFFSETTING WEST PLANE DIAGRAM

A6.05

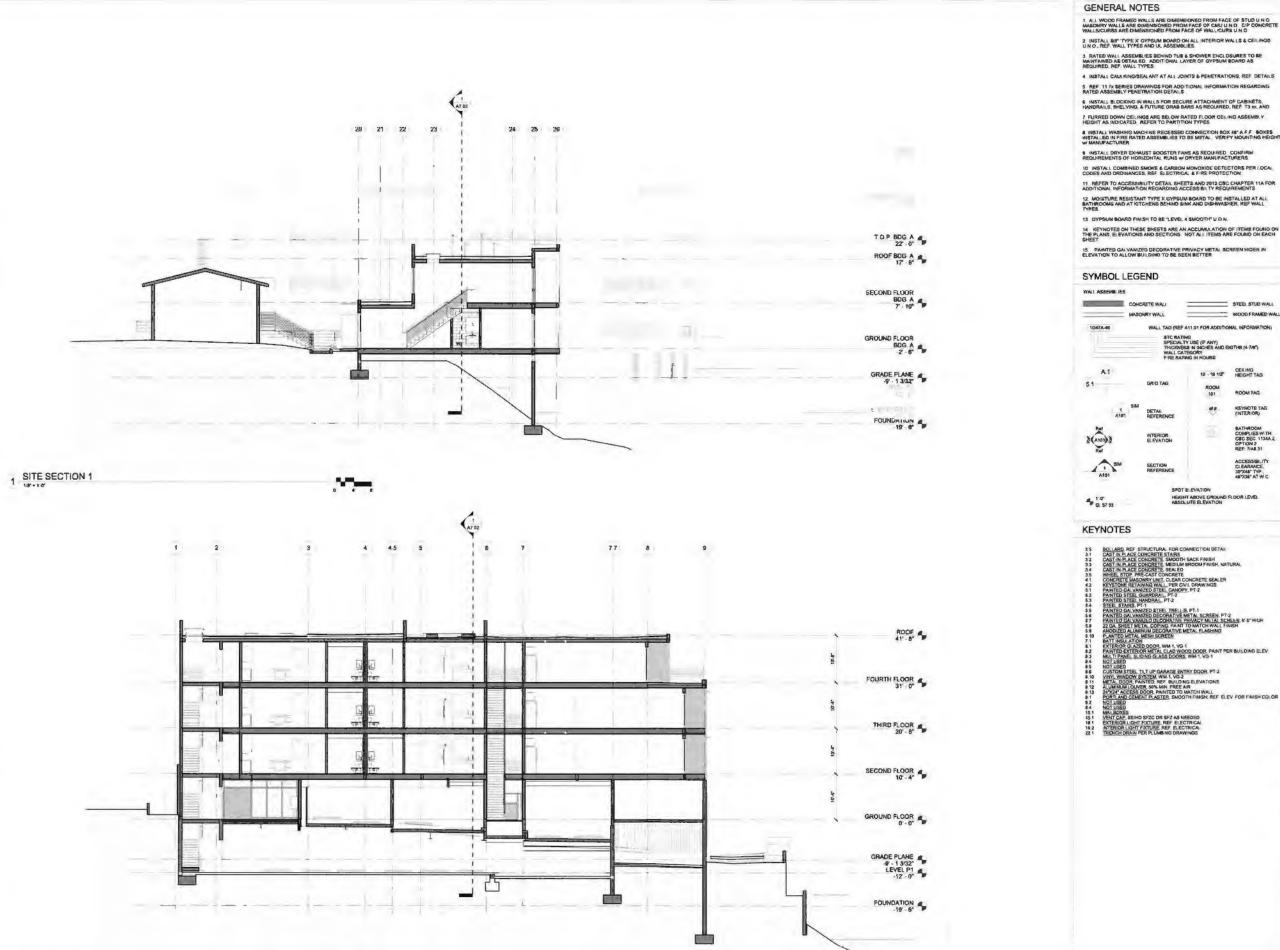
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ATTACHMENT

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2 SITE SECTION 2

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STEEL STUD WALL

RODM TAG

KEYNOTE TAG (NTERIOR)

BATHROOM COMPLIES WITH CBC SEC 1134A.2. OPTION 2 REF: 7/AB.31

ID - 18 1/2" HEIGHT TAB

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BOLLARD REF STRUCTURAL FOR CONNECTION DETAIL
CAST IN PLACE CONCRETE STARS
CAST-IN-PLACE CONCRETE STARS
CAST-IN-PLACE CONCRETE MODITH SACK FRISH
CAST-IN-PLACE CONCRETE MEDITH REPORT OF THE CAST-IN-PLACE
STOP FOR EAST CONNECTE MEDITH REPORT OF THE PLACE
CONCRETE MASONRY USET, CLEAR CONCRETE SEALER
REFISTOR BERTANNON WALL PER COVIL ORWAY OS
PARTIC DETAIL HANDRAIL PT 2
STEEL STARS, PT 1
PARTIC DETAIL HANDRAIL PT 2
STEEL STARS, PT 1
PARTIC DETAIL HANDRAIL PT 2
PARTIC DETAIL HANDRAIL PT 2
PARTIC DETAIL HANDRAIL PT 2
PARTIC DETAIL HANDRAIL PT 3
PARTIC DETAIL RESIS SCREEN
CAST DE METAL COPING PART IO MATCH HAIL FIRSH
ANDRES ALUMINUM DECORATIVE METAL ELASHING
EXTERNING LANGES SCREEN
EXTERNING ACED DOOR, WAS 1, YO 1
PARTIC DETAIL MESIS SCREEN
EXTERNING ACED DOOR, WAS 1, YO 1
PARTIC DETAIL MESIS SCREEN
EXTERNING ACED DOOR, WAS 1, YO 1
PARTIC DETAIL RESIS SCREEN
EXTERNING ACED DOORS, WAS 1, YO 1
PARTIC DETAIL RESIS SCREEN
EXTERNING ACED DOORS, WAS 1, YO 1
PARTIC DETAIL RESIS SCREEN
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PARTIC DETAIL RESIS SCREEN
EXTERNING ACED DOORS WAS 1, YO 1
PARTIC DETAIL RESIS SCREEN
EXTERNING ACED DOORS WAS 1, YO 1
PARTIC DETAIL RESIS SCREEN PASHTD EXTERIOR WETAL CLAD WOOD DOOR, PASHT FER BUILDING ELEVIAL, TEXAS, S. DIVE G. ASS DOORS, WAY, VIGT.

NOT USED

CUSTOM STEEL TIT UP GARAGE ENTRY DOOR, PT. 2

VINT, WINDOW, SYSTEM, WILL VO. 3

SEE PASTORS

LUMBHUM COURSE SAY NAM, PREE AR

27.727 ACCESS DOOR, PASHTED TO MATCH WALL

DOTH AND CENENT OF ASTER, SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

NOT USED

WHILE STEEL TIT STEEL SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

NOT USED

VISIT CAP, SEEHING STEEL OR STEEL SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

NOT USED

VISIT CAP, SEEHING STEEL OR STEEL SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

SOUTH COMMITTED TO STEEL SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

SOUTH COMMITTED TO STEEL SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

STEEL SMOOTH STEEL TITL SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

STEEL SMOOTH FOR THE STEEL SMOOTH FAMSH, REF. ELEV FOR FAMSH CO, OR

STEEL SMOOTH FOR THE SMOOTH FAMSH CO. SMOOTH FAMSH FAMSH CO. SMOOTH FAMSH FAMSH CO. SMOOTH FAMSH CO. SMOOTH FAMSH FAMSH FAMSH CO. SMOOTH FAMSH FA

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PROJECT NAME

INDIANA STREET
APARTMENTS
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AGENCY:	PTS #
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SITE SECTIONS

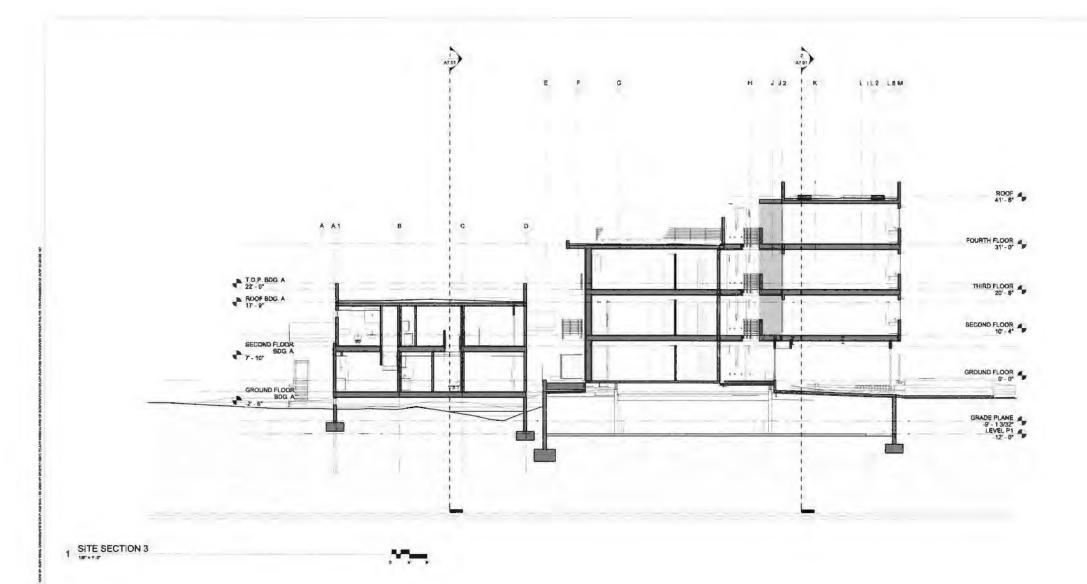
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ARCHITECT STAND



GENERAL NOTES

2 WISTALL SIE TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILINGS UND REF WALL TYPES AND UL ASSEMBLIES

3 RATED WALL ASSEMBLIES BEHIND TUB & BHOYVER ENDLOSURES TO BE MAINTAINED AS DETAILED. ADDITIONAL LAYER OF CYPSUM BOARD AS REDURED, REF. WALL TYPES. 4 INSTALL CAULKING/SEALANT AT ALL JOINTS & PENETRATIONS, REF. DETAILS

5 REF 11.7x SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DEVAILS § INSTALL BLOCKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVING, & FUTURE GRAB BARS AS REQUIRED, REF. T3 IX, AND

7. FURRED DOWN CEILINGS ARE BELOW RATED FLOOR CEILING ASSEMBLY. HEIGHT AS INDICATED. REFER TO PARTITION TYPES.

12. MOISTURE RESISTANT TYPE X GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT NOTCHENS BEHIND SINK AND DISMMASHER. REF WALL TYPES.

THE PLANS, BLEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOLIND ON THE PLANS, BLEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOLIND ON EACH SHEET.

15 PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN HIDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER

SYMBOL LEGEND

WALL ASSEABLES:			
	HCRETE WALL		STEEL STUD WAL
	SONRY WALL		WOOD FRAMED W
1G47A-40	WALL TAD DEEP A	A1) 81 FOR ADDITIO	HAL INFORMATION)
	THICKNES WALL CAT	Y USE (IF ANY) IS IN INCHES AND E	HITHS (4- INIT)
AT		10 - 10 1/2"	CELINO HEIGHT TAG
51	BRID TAD	ROOM	ROOM TAS
VS 7	DETAIL REFERENCE	101	KEYNOTE TAG (INTERIOR)
2(A0)2	ATERIOR ELEVATION	4	BATHROOM COMPLIES WITH CBC SEC, 1134A, OPTION 2 REF: 7/AB 31
A101	SECTION REFERENCE		ACCESSIBLITY CLEARANCE, 307X48* TYP, 487CSE* AT W.C.
	SPOT	ELEVATION	
5 1 F		T ABOVE GROUND	PLOOR LEVEL

KEYNOTES

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ISSUE DATES:
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DEV. PERMIT RE-SUBM. 4/17/2015

DEV PERMIT RE-SUBM 5/20/2015

PROJECT NAME

INDIANA STREET
APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT HUNDERS: AVRP STUDIOS: 14023 00 CLIENT: PTS# AGENCY: CHECKED BY SHEET TITLE

SITE SECTIONS

CHECT NUMBER

A7.02



VIEW FROM INDIANA STREET LOOKING SOUTHEAST 2



NEIGHBORHOOD SCALE AND CONTEXT



VIEW FROM INDIANA STREET LOOKING NORTHEAST



LOOKING EAST FROM INDIANA STREET

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THE IRVING

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RENDERINGS

SHEET NUMBER:

A9.01





2 VIEW FROM COURTYARD TOWARDS INDIANA STREET



LOOKING EAST FROM INDIANA STREET

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THE IRVING GROUP

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APARTMENTS
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PROJECT NUMBERS:
AVRP STUDIOS: 14023.00
CLIENT:
AGENCY: PTS II-PTS #

RENDERINGS

ATTACHMENT 9

A9.02







EXISTING ONE STORY WOOD HOUSE TO REMAIN (CA. 1929)

12

13

13

MODIFIED ZONE 2 (VARIES 13-45)

14 -

28

10

STAIR 2

10

10

BICYCLE STORAGE P108

08 X

12

14

ZONE 1 (35'-0")

MODIFIED ZONE 2 (VARIES 13-45)

MODIFIED ZONE 2 (VARIES 13-45)

OAK WOODLAND VEGETATION BOUNDARY

01 X

2 -

2-

ATTACHMENT 0

PTS #-

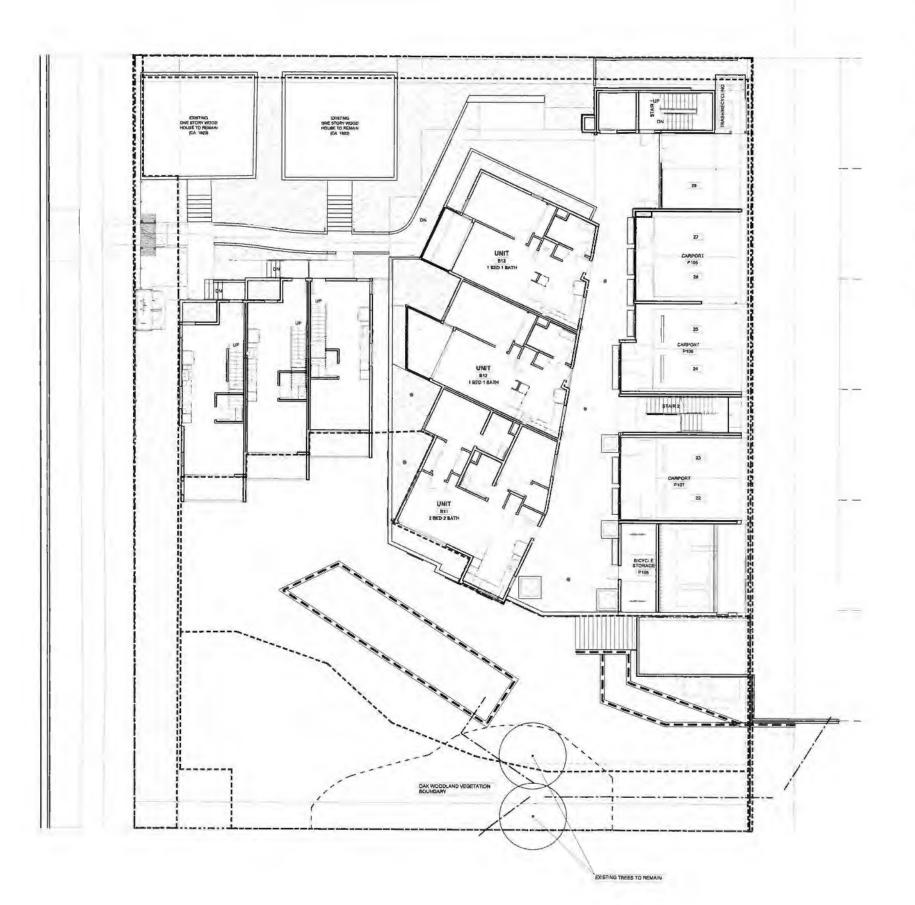
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INDIANA STREET
APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBERIL: AVRP STUDIOS: CLIENT: AGENCY: DRAWN BY: CHECKED BY:

SHEET TITLE:

L1.01



LANDSCAPE CALCULATIONS

DAMPOOCALE CALCULATIONS	
STREET TREES IN PUBLIC RIGHT OF WAY	
Length of Street Frontage	175 LF
Street Trees Required	9
Street Trens Provided	10
STREET YARD (ALL ZONES)	
Total Area	1 520 5 F
Plant Alsa Required	760 € ト
Plant Area Provided	1 263 \$ F
Phore Area as Hardric apv	251
Flant Points Required	76
Plunt Poins Provided	100
Ponte Achieved or Trees.	100
REMARKING YARD	
Planting Area Regioned (40 S.F. per required free)	5 F
Planding Area Provided (Throughout sile excl. Street Yard)	1 007 S F
Plant Points Required (60 points per building)(Baseline Red	303
Plant Points Provided	390
Punts Achenod w/ Tress (1) 15 gallon, (9) 24" (xxx (4) 36" for	380
Number of Buildings (Earsting and Proposed)	.56
Harriber of Trees Required (min. of 50% of 100pts.)	130 pts
Number of Trees Proyeed	14
EXISTING TREES	
Total Existing Trees on Site	rdn
Trees to Remain	2
Trees to be Removed	Es

AREA CALCULATION LEGEND SYMBOL

DESCRIPTION	AREA
STREET YARD	1,680 85
REMAINING PLANT AREAS	1,867 85

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mlasp McCallingh Lankage Antifesture in



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DEV. PERMIT RE-SUBM. 4/17/2015
DEV. PERMIT RE-SUBM. 5/20/2015

ATTACHMENT 9

16 GRAPHIC SCALE 32

0

ATTACHMENT 0

CONSTRUCTION NOTES

2. VISIT THE SITE PRIOR TO SUBMITTING BIDS.

2. SUBMIT A UNIT COST FOR IMPORT SOIL IN-PLACE AND BE COMPLETELY AWARE OF THE AMOUNT OF SOIL NECESSARY TO REACH THE SATISFACTORY GROUND LEVEL.

3. VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.

4. REMOVE ALL DEMOLITION ITEMS FROM THE PROJECT SITE AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE CODES AND REQULATIONS. DO NOT BURY RUBBISH OR DEBRIS ON SITE.

5. REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETG. AT NO ADDITIONAL COST TO THE OWNER.

6. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.

7. REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE FULL RESPONSIBILITY FOR ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY UNIVER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.

8. LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY UNIVER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.

8. COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER CURRENT RULES, REGULATIONS.

OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.

9. COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER CURRENT RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE ORANINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

10. LOCATIONS OF MIC. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC., ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.

11. VERIFY ALL PAVING AND HARDSCAPE CONSTRUCTION DRAWINGS WITH SOIL ENGINEER'S REPORT WITH REGARD TO BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY DWINER IMMEDIATELY IF SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS, IF MORE STRINGENT THAN THE DRAWINGS, SHALL TAKE PRECEDENCE.

12. BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS FOR PROPER AND TIMELY PLACEMENT OF SLEETING, PIPING ANDIOR CONDUIT INSTALLATION UNDER OR THROUGH LANDSCAPE ELEMENTS.

13. DO NOT SCALE DRAWINGS.

14. SEE CIVIL ENGINEER'S PLAN FOR PRECISE GRADING AND DRAINAGE INFORMATION.

15. PROVIDE A REPRESENTATIVE SAMPLE OF EACH PAINTED OR STAINED ELEMENTS TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLIYING FINISH. REFER TODETAILS AND SPECIFICATIONS FOR SPECIFIC SUBMITTAL REQUIREMENTS.

REQUIREMENTS.

16. PROVIDE A 4" X 4" SAMPLE OF EACH PAVING TYPE IN LOCATION SPECIFIED BY OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.

17. WHERE PAVING AND FINISH GRADE MEET, DEPRESS FINISH GRADE 1" IN TURF AREAS AND 1-1/2" IN GROUND COVER.

AREAS UNLESS OTHERWISE INDICATED. 18. DO NO EXCEED 3:1 SLOPE IN TURF AREAS.

FOR PROJECT WALKS DO NOT EXCEED A SLOPE OF 20:1 (5% GRADIENT) UNLESS OTHERWISE INDICATED

19 FOR PROJECT WALKS DO NOT EXCEED A SLOPE OF 20.1 (5% GRADIENT) UNLESS OTHERWISE INDICATED.
20 DO NOT EXCEED 21.3 LOPE IN PLANTED AREAS.
21 HOLD FINISH EXCEED 21.3 LOPE IN PLANTED AREAS.
22 HOLD FINISH GRADE 4 MINIMUM OF 6* BELOW FINISH FLOOR UNLESS OTHERWISE NOTED.
23 CONSTRUCT ALL CURVEY TO CURVE AND CURVE TO TANGENT LINES TO 86 NEAT, TRIM, SMOOTH AND UNIFORM.
23 CONSTRUCT ALL CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI ∰ 28 DAYS.
24. PROVIDE OWNER WITH ALL WARRANTIES, BUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.

LEGEND:

1. CONCRETE PAYING REFER TO CONSTRUCTION PLAN FOR

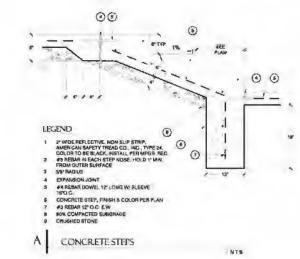
1. CONGRETE PANNUS REFER TO CONSTRUCTION PLAN FOR COLOR JAID PINCH.
2. 93 REBAR AT IS O C., EACH WAY. CENTERED IN SIZE PINGH GRADE.
4. COMPACTED SIZE DATE PER SOLUE ENGINEERS REPORT 114* TOOLE PRODUCT 14** TOOLE PRODUCT 1

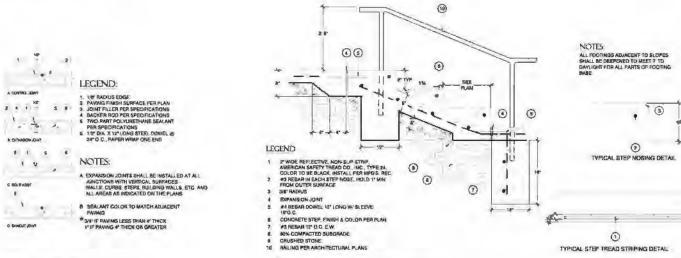
A PAVAIG THICKNESS, BASE PREPARATION AND REINFORCING ARE SHOWN FOR BILD PURPOSES DNI. Y VEREY REQUIREMENTS OF THE SOLDS REPORT AND COMPLY B PROVIDE FINISH BAMPLE PER SPECIFICATIONS

C EXPANSION JOINTS SHALL BE INSTALLED AT ALL JUNCTIONS WITH VERTICAL SURFACES. WALLS, CURBS, STEPS, BUILDING WALLS, ETC. AND AT ALL AREAS AS INDICATED ON THE PLANS

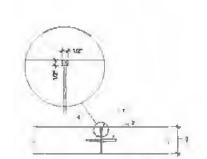
* 3 1/2" PEDESTRIAN USE CONCRETE 5 1/2" AUTOMOBILE USE CONCRETE

D CONCRETE PAVING





CONCRETE STAIRS WITH RAILING



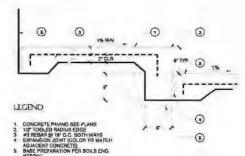
LEGEND:

CONCRETE JOINTS DETAIL

1 SAWCUT AND EMBED 1/2/C1/2/C10" METAL STRP, SET WITH THIN SET MORTAK THY DIAMOND GOWEL SYSTEM @10" O C. 3 CONCRETE BEPTH (SEE CONCRETE PANING DETAIL) 4 JUNKT PLER PER SPECIPACITIONS

METAL STRIP BY CAESAR CERAMIC, AMBIENTI SERIES (OR APPROVED EQUAL): AVAILABLE THROUGH OF THOMAS PM 619-519-3011 HIDDEN EXPANSION JOINT W/ METAL EMBED

ENTRY STOOP



NTS

703 19th Marvel, Sale 258 San Olego Collinsia 92101 # 818 704.2708 # 818 704 2888 ARCHITECT STAAP

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DEV PERMIT SUBM 11/06/2014 DEV PERMIT RE-SUBM. 1/28/2015 OLD PERMIT SUBM 3/04/2015 DEV PERMIT RE-SUBM. DEV PERMIT RE-SUBM. 5/20/2015

CHEAT:

IRVING PROJECT NAME

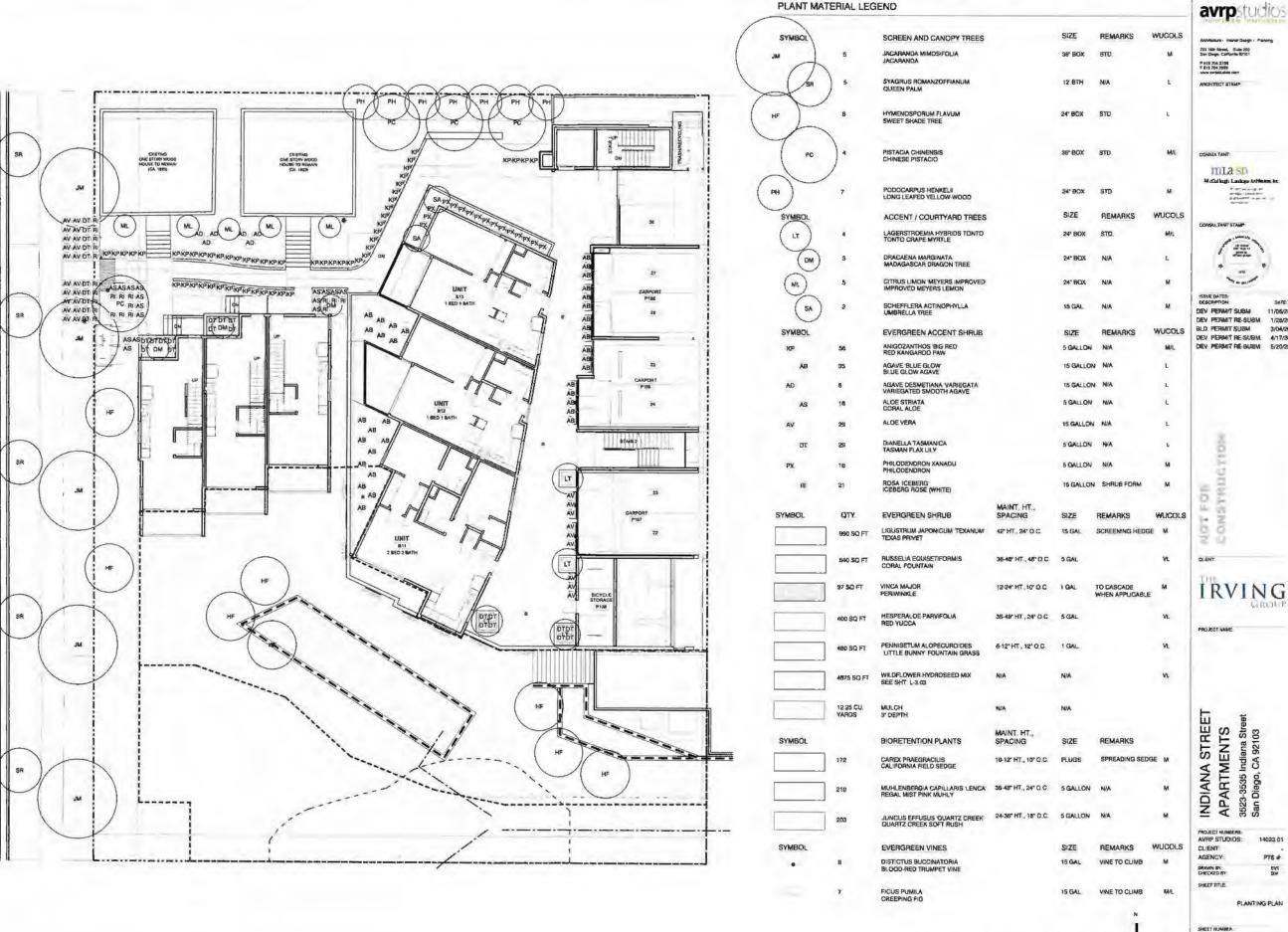
INDIANA STREET
APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103 3-3535 ir Diego, (

AVRP STUDIOS: 14023 01 QUENT: AGENCY: PIS . DRAWN BY EVT DM SMEET TITLE CONSTRUCTION

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PLANT MATERIAL LEGEND

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16 GRAPHIC SCALE 32

PLANTING PLAN

ATTACHMENT

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SSUE DATES: DEV. PERMIT SUBM. DEV PERMIT RE-SUBM 1/28/2015 BLD PERMIT SUBM. DEV PERMIT RE-SUBM. 4/17/2015 DEV PERMIT RE-SUBM. 5/20/2015

CONSTRUCTION

IRVING

INDIANA STREET
APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103

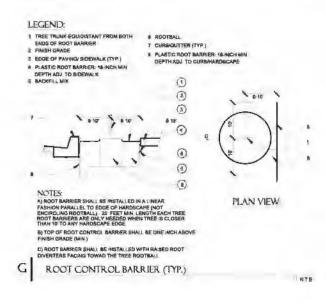
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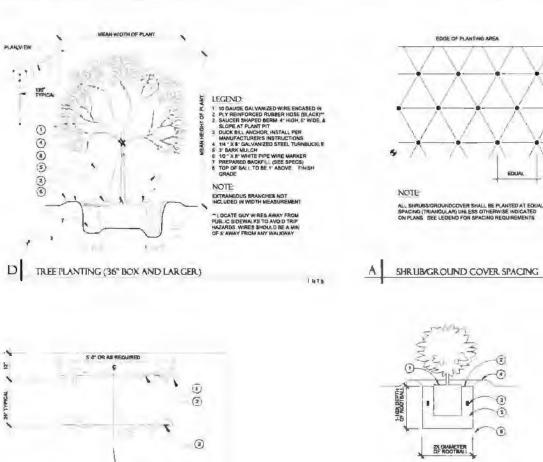
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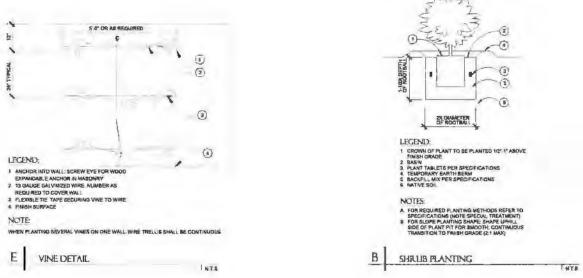
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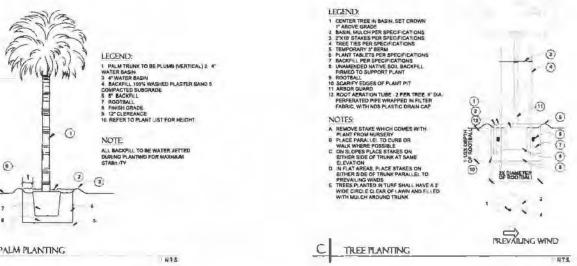
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PROVECT NAME

INDIANA STREET
APARTMENTS
3523-3535 indiana Street
San Diego, CA 92103

AVRP STUDIOS 14023 01 GLIENT AGENCY-PTS # CHECKEL ST EVT MARKET THE R

PLANTING NOTES

SINCET HUMBER

L3.02

BRUSH MANAGEMENT ZONES PLANTING LEGEND

ZONE 1 (35 4T) NATIVE GRASS AND WILDELDWER HYDROSEED MIX ON DISTURBED SLOPES (SEE 95.0W FOR CALIFORNIA NATIVE WILDELDWER MIX MODIFIED ZONE 2 (18.1° TO 50 8°). NATIVE/ADMPTIVE PLAKE MATERIAL TO BE THINNED (RICE INVESTILL 0.00 & 1.5 (4).

MADMOS	EED NO.		
CALIFOR	WAY WATER WILLIAM WIN		
MAHUL	SPECIES	MUMINANT.	PURITY!
00	ACHILI EA MILLEFOLIUM	94	170
00	CLAHKIA AMOENA	98	1 66
D4	COLUNSIA HETEROPHYLLA	94	· BS
CP.	ESCHISCHOLZIA CALIFORNICA	98	1.00
94	GILIA CAPITATA	98	100
Committee of the Commit	GLIA TRICOLOR	98	1 862
04	LAVIA PLATYGI OSSA	60	1 86
08	INUM LEWISH	ab	e mit
05	LUMNUS MICROCATPUS DENSIFICALIS	90	70
JES	I DPINUS SUCCULENTUS	98	1 86
04	MIMULUS AURANTIAGUS PUNICEUS	ap	180
96	NEMOPHILA MACULATA	95	1.75
-04	NEMOPHILA MENDESI	94	175
-00	PHACELIA CAMPANULARIA	38	199

MATIVE SLURRY MIX

PRODUCT TOWN WOOD FIBER "ECOLOGY CONTROLS" W BINDER

SEED MIX CAN BE OBTAINED THROUGH SAS SEEDS P O BOX 1275 CARPINTERA, CA 95014-1275 FIL: 805-584 D438 FAX: 805-584-2788 YOUR ALGRESTA COM

**A MATTURE OF ANNUAL AND PERENNIAL WILDR.OWERS & NATIVE SHRUBS MAY BE USED FOR IMPACATED OR NOW IMPRICATED STED. THIS MAY MILL PLOWER MOST OF THE YEAR WHICH PROPERTY IMPRICATED, EMONS 2.5 TALL BHURDED UP TO 4 TALL. MANY WORE NATIVE SHRUBS ARE AVAILABLE TO ADD TO THIS WAXTURE; IF SO DEBHED.

PLANT COMMUNITIES



Project Boundary Vagatation Communities and Habital Types Their Winnestern

RECON

FIGURE 6 Existing Biological Presources

22 VERIFIATION COMMUNITIES AND LAND COVER TYPES OBSERVED WITHIN THE SURVEY AREA ARE ARE ANODIAL THAN DISTURBED LAND (FIGURE 6). TABLE I SHOWS THE ACREAGES OF THESE VESTIATION COMMUNITIES AND LAND COVER TYPES THAT OCCUR ON THE PROJECT STITE FLANT SECRETS OSSERVED ARE PRESENTED IN ATTACHMENT I.

TABLE ! VEGETATION AND LAND COVER TYPES

VEGETATION AND LAND COVER TYPESTHURACAE ALFORA WOOGLANDS OLD STURBED LAND VEGETATION AS CAN INCODUAND A FEN INABERT FUNDER THE CITY OF EARLO FEDOS WALL OCCURS A DIANT FE ENUTYMEND AND THE EN

DISTURBED JAMON, A TIER IN HAUTIAT LIMIDER THE CITY OF SAN DIEGO'S MISCH, WHICH DOCUMES 9.22 ACIRE, COMBIST
OF THE CURRENT RESIDENTIAL GUIL UNION AND A BOUTH-RACHOL SICHTE CONSISTING OF GONALIDENTIA, HAUTHOUS,
AND HOM ANT SERCIESE, HYPOTODAMINES, AND ILL. A TIEVE MOST TERROR TOWN HIPSTONIAL BEI AMERITACIAL, AND
JAMIES BURNEL (BALICISARI JAMONE), HYBINES, TOTAL HIGH THE HAUTHOUS JAMONE, OCCUR D'IN THE ELDER THAN THE COMJAMONE BURNEL (BALICISARI JAMONE), HYBINES, TOTAL HIGH THE HAUTHOUS JAMONE BURNEL HAUTHOUS JAMONE JAMONE BURNEL HAUTHOUS JAMONE JAM

PLANTING NOTES

REFER TO PLANTING SPECIFICATIONS AND CETALE FOR SOIL PREPARATION FERTILIZATION MULCIPING AND OTHER PLANTING IMPORMATION

VERIFY ALL ENGING CONDITIONS DIMENSIONS AND ELEVATIONS REFORE PROCEEDING WATH THE WORK NOTITY LANGSCAPE ARCHITECT INMEDIATELY BHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON FLAN

REPORT DISCREPANCIES IN THE DIAWINGS OR SETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANGSCAPE ARCHITECT CORRECTED DRAWINGS OR INSTRUCTION STALL SE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES

LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY DWINER'S REPRESENTATIVE IMMEDIATELY AND ASSUME FILL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH DAMAGED LITLITIES.

LOCATION OF N IC CONSTRUCTION ELEMENTS SUCH AS LIGHTS, BIGWS, VENTS HYDRANTS. TRANSFORMERS, ETC. ARE APPRICAMATE NOTIFY THE JAMDSCAME ARCHITECT IMMEDIATELY BHOULD THE LOCATION OF THESE ITEMS INTERPERE WITH THE PROPER EXECUTION OF WORK.

OSTAM ALL SOIL FOR LANDSCAPE PLANTING AREAS OR BERMS FROM ON-SITE EXCANATIONS SHOULD IMPORT BOIL SE NEGESBARY. SUMPORT SOIL SE THE STATE OF THE STAT

ELEXENTE WHICH MAY INHIBIT OR RETAID NORMAL PLANT GROWTH
AFTER ROUGH GRADES HAVE BEEN ESTABLISHED IN PLANTING AREAS, HAVE
SOIL BAMPLES TAKEN AT THE LOCATIONE INDICATED BY DESIGNATION #
HAVE SAMPLES TESTED BY A CERTIFIED AGRONOMO SOILS TESTING LAB.
POR SOIL FRETILITY. AGRICULTURIAL SUITABLITY TEST AND SOIL
PREPARATION RECOMMENDATIONS. TAKE TWO SAMPLES AT EACH
LOCATION. IJ GROUND LEVEL TO 10 DEEP, (2) 28 TO 35 DEEP. EACH
BAMPLE SHALL CONTAIN APPROXIMATELY I QUART OF SOIL TO BE LOSELED
PER LOCATION MAD DETY! INSTALL SOIL PREPARATION AND BACK PLL. MX
TO COMPONE THESE RECOMMENDATIONS. ONLY IPON RESPIRED
TO LOCATION TO PLANTING # I GOATIONS FOR SOILS TEST
ARE NOT FOUND ON PLANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR
TO CONTRACT THE LANDSCARE ARCHITECT FOR SAIL ICCATIONS FOR SOILS TEST
ARE NOT FOUND ON PLANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR
TO CONTRACT THE LANDSCARE ARCHITECT FOR SAIL ICCATIONS FOR SOILS TEST
TO CONTRACT THE LANDSCARE ARCHITECT FOR SAIL ICCATIONS FOR SOILS TEST
OR SOILS TEST TO SEARCH SOILS TEST OR SOILS TEST TO RESEARCH SOILS TEST OR SOILS TEST TO PLANTING FOR SOILS TEST
ARE NOT FOUND ON PLANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR
TO CONTRACT THE LANDSCARE ARCHITECT FOR SAIL ICCATIONS PRIOR TO
DESIGNING ANY WORK. FOR BID PURPOSES, PROVIDE SOIL PREPARATION
AND BACKER, BID BASED ON SOILS RECOMMENDATIONS REPORT PROVIDED
BY OWNERS.

OLL AND REMOVE ALL EXISTING WEEDS FROM SITE AREAS PER SPECIFICATIONS

ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS, 2% MANIMUM

COCATE AND TAG ALL PLANT MATERIAL MATERIAL SHALL BE IN CONFORMANCE WITH PLANTING PLAN DESCRIPTIONS AND BREGIFICATIONS ALL PLANT MATERIAL 'S SUBJECT TO REVIEW AND APPROVAL PRIOR TO HISTALLATION PROVIDE PHOTOS OF REPRESENTATIVE EXAMPLES OF EACH TAGGED BLOCK TO LANDSCAPE ARCHITECT MANDUAL 21 DAYS BEFORE ANTI-PATED DELIVERY PHOTOS SHALL INCLUDE A PERSON FOR SCALE PURPOSES LANDSCAPE ARCHITECT MAY OFT TO REVIEW MATERIAL AT DRIVING MATERIAL AT DRIVING MATERIAL TO DRIVER OF TO THE SITE MAY BE REJECTED BASED ON LUMELATIFUL APPLICATIONS EVEN IF PREVIOUSLY REVIEWED BY THE LANDSCAPE ARCHITECT MAY DO WITH LANDSCAPE ARCHITECT MAY DO NON CONTROL SEVEN IF PREVIOUSLY REVIEWED BY THE LANDSCAPE ARCHITECT ON OWNER.

ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM

FINAL LOCATION OF ALL PLANT WATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE

PLANTING QUANTITIES ARE GIVEN FOR CONVENENCE ON Y PLANT SYMBOLS AND SPECIFIED SPACING SHALL TAKE PRECEDENCE

AT EDGES OF MANTING AREAS, THE CENTER LINE OF THE LAST ROW OF SHRURS AND/OR GROUND COVER SHALL BE LOCATED NO FARTHER FROM THE EDGE THAN OME-HALF THE SPECIFIED OF-CENTER SPACING

INSTALL GROUND COVER AND/OK SHRUB MASSEE WITH THIANGULAR SPACING UN ESS OTHERWISE INDICATED PROVIDE FERTILIZER TABLETS FOR EACH CONTAMER GROWN PLANT &

ALL CURVE TO CLARVE AND CURVE TO TANGENT LINES SHALL BE NEAT TRIM,

REMOVE ALL NURSERY STAKES AND ESPAUER RACKS MANEDIATELY AFTER METALLATION UPON PROVIDING SUPPORT FEN PLAN LIBT ON THE PLANT MATERIAL QUARANTEE ALL EXIBTING TREES THAT HAVE HAD WORK PERFORMED WITHIN 6 OF TRUNK

DURING THE LENGTH OF THE GUARANTEE PERIOD HE REEFONSIBLE FOR PROPER STANING AND/OR GUYING OF TREES TO ENSURE STABILITY

MIA.CH ALL LANDSCAPE AREAS (EXCLUDING TUNF) NAVING LESS THAN 2.1. SLOPE WITH A 3" DEEP LAYER OF MEDIUM GRIND BARK MU. CH

TREE PROTECTION NOTES

ARDE ELEMENTS LIKE TREES ARE SLOW TO ADJUST TO CHANGES IN THER ENVIRONMENT TYPICALLY THE MOST DAMAGINS IMPACTS TO TREES ARE FROM LOSS OF ROOTS, REDUCED WATER AVAILABILITY AND CHANGES IN SOIL LEVEL OR GRADE. THESE CHANGES RESULT IN A SLOW DECLIME OF TREES HEALT HOWER MANY YEARS AND OFTEN IS PREVERSIBLE IF A ROOT OR TREE CONFLICT OCCURS THE LANGSCAPE ARCHITECT MUST BE CONFLICT OF THE LANGSCAPE ARCHITECT MUST BE CONFLICT OF THE MANY CAPE.

CONSTRUCTION IMPACTS ARE GENERALLY AS FOLLOWS:

COMPACTION SOIL MUST BE PORQUE TO ALLOW WATER AND AIR TO SE AVAILABLE. TO ROOTS COMPACTED SOIL WHEE REQUIRED FOR STRUCTURAL BULDING DOES REDUCE OR SUMMATE THE ROOT GROWTH REQUIREMENTS OF AN EFFECTIVE ROOTING AREA.

DRAINAGE SOIL MOISTURE CAN BE AFFECTED BY ALTERED DRAINAGE RATTERNS TOO MUCH OR TOO LITTLE SOIL MOISTURE DAN HAVE A DETRIMENTAL EFFECT ON TREE ROOT GROWTH AND TREE ANCHORAGE AS WELL AS TREE HEALTH

CHANGES ADDING SOIL OVER EXISTING ROOTS OF TREES IS DETRIBENTIA. TO THEIR HEALTH REBOONED KIN, AND THE ROOTS IT CONTAINS IS A SIG DETRIBENTAL. TO TREE HEALTH THE TREES WILL DECLARE AND THE REAL OF THE TREES WILL DECLARE AND THE JAMOS HAVE NOT PROVEN EFFECTIVE AS A TREE PRESSERVATION METHOD.

PRESERVATION MEMODIA.

TREE ROOT DAMAGE URBALLY RESULTS FROM EXCAVATING, SIGIL THENCHING AND GRADE CHANGES WHEN ROOTS ARE ENCOUNTERED FOR SAIDLE ON OTHE FILLED ON TONN OUT IT THEY ARE ATTACHED TO A PRESERVED TREE ROOTS DUES 1. NOT IN DIAMETER WITHIN A ROOM OF 6 FEET OF A PROTECTED TREE WILL REQUIRE DISCUSSION WITH THE LANDSCAPE ARCHITECT TO DETERMINE IMPACT OF LOSS. WHEN ROOT PRUNNING IS REQUIRED, ROOTS SHALL BE SOLURED GROOTS SHALL BE SOLURED GROOTS HAND REPORT OF THE PROPERTY WOUND OF THE PROPERTY WOUND CONTINUE OF THE

TREE PHYSICAL INJURY -THIS OCCURS FROM DIRECT EQUIPMENT IMPACT AND CULTURAL CHANGES TO SOIL MOSTURE OR CHEMPAL I PETROL CONTAMBATION TO SOIL MANTAINING SUFFICIENT CLEANANCE MAY FROM THE TREE WILL REDUCE THE DIRECT MEACT FROM EQUIPMENT, IF DYERNEAD CLEAPAUCE IS REDUIRED CONTACT. THE LANGSCAPE ARCHITECT FOR RESOLUTION.

THE FOLLOWING GUIDELINES ARE MECESSARY TO PROTECT TREES DURING CONSTRUCTION PROJECTS:

- A) A ROOT PROTECTION ZONE SHALL BE DEFINED BY A FOUR-POOT HIGH TWO BY FOUR BARRIER CONSTRUCTED AROUND ANY POTENTIALLY IMPACTED TREE THIS BARRIER SHALL BE AT THE GREY LINE OR AT A DISTANCE FROM THE TRUME GOUAL TO B INCHES FOR EACH HIGH OF TRUME CAMETER A 12F FEET ABOVE THE GROUND IF THIS METHOD DEFINES A LARGER AREA.
- THIS METHOD DEFINES A LANGER AREA.

 8, SMULD IT DE HECESSARY TO TRENCH MITHALTHE & FT RADUS OF TREE. TERCHHES BRALL BE HAND DUEN NO ROOTS LARGEST THAN ONE MICH SMALL BE CHAND LOUGH NO ROOTS LARGEST THAN ONE MICH SMALL BE COUT SMALL BE BAW GUT IND.

 TRENCHERS FLUSH WITH THE SIDE OF THE RENCH. IF AT ANY TIME 25 PERCENT OF THE AREA WITHIN THE ROOT PROTECTION ZONE OF SEMION SEPARATED FROM THE TREES BY A TRENCH. THE LINE SMALL BE LOCATED BY BORNOO OR AN ALTERNATIVE LOCATION FOR THE TRENCH AND OF STREET THEE SMALL BE DIRECTION FOR THE TRENCH AND A STREET THEE SMALL BE DIRECTION OF SX BY THE STREET THE ST
- C) AT NO TIME SHALL ANY EQUIPMENT, MATERIALS, SUPPLIES OR FILL SE ALLOWED WITHIN THE PRESCRED ROOT PROTECTION ZONE UNLESS OTHERWISE DIRECTED. THE ROOT PROTECTION ZONE IS DEFINED AS THE LARGER OF THE DRIP LINE OF THE TREE OR THE DISTANCE FROM THE TRUNK EQUAL TO SE IN INCIDES FOR ADDITION OF TRUNK DIAMETER MEASURED AT AS FEET ABOVE EXISTING GRADE
- D.) WHEN DEALING WITH COLUMNAR TREE SPECIES THE DRIP LINE AND ROOT PROTECTION ZONE IS INNOFOLIATE AND MIST BE ADJUSTED TO REFLECT A ROOT PROTECTION RADIUS OF 40% OF THE OVERAL I TREE REGERT

WATER CONSERVATION STATEMENT

IN RECOGNITION OF WATER AS A LIMITED RESOURCE IN BOUTHERN CALIFORNIA. THE FOIL OWING MEASURES WILL
BE UNDERTAKEN TO REDUCE THE PROJECTS DEMAND ON THE CITY OF SAM DESIGN AVAILABLE WATER SUIPAY.
THE RINGATION SYSTEM WILL BE AUTOMATIC AND WILL INCOPPORATE LOW VOLUME SPANH FEMTTERS AND
COMPATIONAL. LOW ANGLE SPRAY HEADS. DIME PRAGATION SYSTEMS MAY BE EMPLOYED WEENE
CONSIDERED TO BE EFFECTIVE AND FEASIBLE PROGATION AND EXPOSURE. BE SEGREGATED TO ALLOW FOR THE
SYSTEM OPERATION IN RESPONSE TO GRENTATION AND EXPOSURE.

- 3 TURS WILL BE RESTRICTED TO HIGHLY VISIBLE STREET FRONT AMEAS AND/OR AREAS WHICH MAY RECEIVE SQUECANT AND/UNITE OF USE AND ENLOWMENT BY THE QUESTS. THE SPECIFIED TURS WILL HAVE RELATIVE. Y LOW WATER AND MAINTENANCE REQUIREMENTS.
- PLANT MATERIAL WILL BE SPECIFIED IN CONSIDERATION OF NORTH, SOUTH, EAST, AND WEST EXPOSURES
- 4. SOIL WILL DE AMENDED AND PREPARED TO PROVIDE HEALTHY PLANT GROWTH AND COVERAGE AND TO PROVIDE FOR MAKINGH WORTHER RETENTION AND PERCOLATION PLANTER RECE WILL BE MULCHED TO RETAIN SOIL MOSTURE AND REDUCE SYAPOTRANSPIRATION PROM THE ROOT ZONES.
- AN IRRIGATION SYSTEM SHALL BE PROVIDED AS RECUPRED FOR THE PROPER'S IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VIGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT OF THE VEDICTATION DELECTED.
- B. AN IMPIGATION SYNTEM SHALL BE PROVIDED AS REQUIRED FOR THE PROPER 4 IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADSOLUTE SUPPORT OF THE VEGETATION SELECTED.

ROOT BARRIER NOTE

HOW MODE GRADEABLE HOOT HARMERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES PER LDC 142 0465

DISTURBED AREA NOTE
ALL GRADED, DISTURBED ON ERODED AREAS THAT WILL NOT HE PERMANENTLY PAVED OR COVERED BY
STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGINATED AS SNOWN IN TRACE HIS ONLY IN
ACCORDINACE WITH THE STRUCTURES IN PERMANENT MANUAL (THE 9911/A).

MAINTENANCE RESPONSIBILITY

ALL REQUIRED LANDSCAPE AREAS SHALL BE WANTAINED BY THE LIMITER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DERROS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY SHOWING COMPOTION DISEASED OF DEAD PLANT MATERIAL SHALL BE SATISFACTIONLY TITEATED OR REPLACED PER THE CONDITIONS OF THIS PERIOR.

PLANT MATERIAL NEAR SEWER LINES

O TREE OR SHITUS DICCEDING 2 IN HEIGHT SHULL BE FLANTED WITHIN 10 OF ANY PUBLIC SEWER FAC... TIES

all water beview and gas unlitted brail be effectively benezened with many wateral at the time of many installation

MULCHING NOTE

ALL SEQUIRED PLANTING AREAS SHALL BE COVERED WITH MULEH TO A MINMUM DEPTH OF 2 NONES EXCLUDING SCOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER ALL EXPOSED SOL AREAS WITHOUT VESTATIONE AND AS DE MULCHES TO THIS MINMUM DEPTH. PUBLIC RIGHT OF WAY

ANY DISTING CONDETES THANKS ON DESTRINGS A DW CONCRETE SHALL BE PRESERVED IN PLACE.

ANY MISH OR REPLACEMENT OF REDRIVAL WILL MANTAIN THE SAME WIDTH, TESTURE, SCORNIC PATTERN, COLOR,

AND MATERIAL OF THE DESTRINGS SECRELLY OR BE IN SUBSTRATIAL CONFORMANCE WITH THE INSTORIC DESIGN OF

SIDEWALKS OF ADJACENT PROPERTIES. GENERAL NOTE

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY-MOR LANDSCAPE REDULATIONS, LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

EXISTING TREE MAINTENANCE NOTE CARE SHALL BE USED BURING THE DEMOL/TION AND CONSTITUCTION PROCESS TO EXEURE THAT EXISTING TREES TO REMAIN ARE PROPERLY MAINTAINED. CONTRACTION BHALL INSTALL TEMPORARY CONSTRUCTION REPICION AROUND EACH DESIGNIC TREE OT RISMAIN TREES SHALL JES PROPERLY THROUGH DETIFIES A HEALTH'S ROOM

ADDITIONAL NOTES

ALL LANDSCAPE AND IRRIGATION SHALL COMING WITH THE CITY OF SAN DIEGIES (AND DEVELOPMENT CUDE. LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL CITHER CITY AND REGULAX. STANDARDS

1 ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET INFORM THE INSIDE FACE OF PAVEMENT

EACH TREE FHALL BE PLANTED IN AN AIR AND WATER PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEBT WITH A MINIMUM PHISHED DIMENSION (MODIN) OF 5 FEST MEASURED FROM THE INSIDE FACE OF PAYEMENT THE PLANTING AREA SHALL BE UNEXCUMBERED BY UTLITIES.

3 AL: IRRUBATION DESIGN AND INSTALLATION BHALL CONFORM WITH THE LANDSCAPE STANDARDS IT IS THE ASSPONSIBILITY OF THE DESIGNER TO BE FAMILIAR WITH AND INFL. ENGIN THE LANDSCAPE STANDARDS

4 ANY CHANGES TO THE SITE ANOIGH LANDSCAPE PLANS SHALL BE SUBMITTED TO THE CITY LANDSCAPE PLANNER FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING

S ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREA OR MATERIAL SHALL BE BROUNDHY TO THE ATTENTION OF THE CITY LANDSCAPE PLANNER, THE CHANGES, AND THE DESIGNERS ARCHITECT PRIOR TO NSTALLATION.

E TREES REQUIRED BY THIS DIVISION SHALL BE SELF SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE MEIGHT AND SPREAD OF ATTLEAST IS FEET WITHIN SYLANGE OF PLANTING.

7 THE IRRIGATION SYSTEM SHALL BE INSTALLED WITH A RAIN SHUT-OFF DEVICE

A GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH NON-IRRIGATED HYDROSEED MX SHALL RECEIVE AN INTERNAL BINDERFIACHIER AS NEEDED BETWEEN AFRIL 3ND AND ALBUST 1187 FOR DISTRIBUTION CONTROL WITH SUBSEQUENT APPLICATION OF THE HYDROSEED MX DURING THE NAMES ARE SUBSECULATED OF THE SUBSECULATION OF THE HYDROSEED MX DURING THE NAME SEASON BETWEEN OCTOBER 181 AND APPLIL 181 SUPPLEMENTAL MANUAL REGISTRON WILL BE MYLLEGATED FOR THE PROJECT SOLOGIST RANDOW THE DEVELOPMENT SERVICES DEPARTMENT AND ALAY NELLOW, AND WATERWARD OR JULIZATION OF A WATERWARD FEDERAL SERVICES DEPARTMENT AND ALAY NELLOW, AND WATERWARD OR JULIZATION OF A WATERWARD FEDERAL SERVICES.

MINIMUM TREE SEPARATION DISTANCE

IMP BY YEAR STAND STAND STAND DETAMCE TO BYTHEST
TRAFFOR SHAWA STAND STAND STAND STAND DETAMCE TO BYTHEST
TRAFFOR SHAWA STAND STAND STAND STAND STAND DETAMCE TO BYTHEST
SO FEET SO FEET STAND S MANGRAN DISTANCE TO STREET THEE

CONTRACTOR SHALL REPAIR AND REPLACE ALL EXISTING LANDSCAPE, IRRIGATION, AND ANY EXISTING IMPROVEMENTS DEPLACED OR DAMAGED AS A RESULT OF PERFORMING THE WORK OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER. EXISTING JANGSCAPE AND REGATION SHALL BE EXTENDED IN WIND INTO AREAS LEFT VACANT BY DEMOLITION AT NO ADDITIONAL COST TO THE OWNER.

29 of 33

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CONSIA TART

(2) Zone One studi contain no habitable strastures, resortares dan are directly attached to habitable strastures, in other combustible romaneton itsia provides o neons for transmissible to tale laubable structures. Strastures such as Jones, with, palapus, play structures, and nonhabitable pareless that are beated within breast management. Jone One shall be of long-emblanding construction.

124 Plants within Zone Sine shall be polesarily for growing and few than 6 feet in beight with the exception of mees. Plants shall be less-fired and

Frees within Anne One shall be becared away, from sometows or a naturation of 10 feet as measured from the offer errors to the drop line of the tree at maturity in accordance with the Landscape. Secondards of the Landscape.

(5) Permanent irrigation is required for all planting areas within Zone Ober except as Judinios.

1.41 When planting areas contain only species thus do not grow tabler than 24 mules in hiright, or

(18) When planting areas contain only unified or transtabled species that are not summer-dominant and have a maximum height at plant materity of less than 24 metres.

151 - Anne One serrguston overspeny and contril shall not be allowed into

(7) Zone Une stall be maintained on a regular basis in printing and thinning plants, soutrolling woods, and maintaining irregulars assembly

(1) The required Zime Two width shall be provided fetween Zime One and the undisturbed, native or naturalized vegetation, and shall be meanized from the edge of Zime One that is tarthest from the habitable.

(3) Willias Zone Two, 50 percent of the planes over 24 trebes in headth shall be con and cleaned to a height of 6 Inches.

(4) Wirlin Zone Two, all plants remaining after 50 percent are reduced in height, shall be primed to reduce first linding in accordance with the Landscape Standards in the Land Development Manual. Non-snalive plants-shall be printed before naive plants are posted.

131 The following standards shall be used where done Two is in so area previously grounded in part of Figal development and risp and is proposed to be planted with new plant material lonical of significant visiting parties or inhumbred segectation.

At All new plant material to Zape Two shall be name, tow-fuel, and fire-restative. No mo-native plant material may be planted in Zone. Iwo other inside the MHPA or in the Crassal Overlay Zone, adjusted to use a contaming continuo biological.

(II) New plants shall be low-powerly with a maximum height at maturity of 24 inches. Single specimens of fire resistive main trees and tree from whites may exceed this limitation if they are beauted to reduce the chance of transmitting the front units or maturalized vegetation to habitable structures and if the vertical destance between the lowest branches of the trees.

and the top of adjacent plants are three times the lenght of the adjacent plants to reduce the spread of fire through habber facting.

(C) All sew Zone I we plantings shall eriganed remperately until established to the satisfaction of the City Manager. Only low-low, how gallorage upon heads may be used in Zone I we. Overpreas and mould I from the tengation shall not dieto or flow into adjacent areas of miles or naturalized vegetation. Temporary mingation specimes shall be enabled upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone I we.

allowed in Zone Two

regioner, in the edge of undistinfied segeration

(2) So describes shall be constructed in Zone Two

thi Zone Two Requirements

INSUE DATES: DESCRIPTION: DATE DEV PERMIT SUBM 11/06/2014 DEV. PERMIT RE-SUBM. 1/28/2015 3/04/2015 BLD. PERMIT SUBM. DEV PERMIT RE-SUBM. 4/17/2015 DEV. PERMIT RE-SUBM 6/20/2015

CTION GONSTRUC

> CL ENT IRVING

PROJECT WANTE

INDIANA STREET
APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBERS: AVRP STUDIOS; CHENT AGENCY CHECKED BY

SHEET TITLE BRUSH MANAGEMENT

PTS # EV? ATTACHMENT

0

DATEY NUMBER

L3.03

30 of 33

1442.0412 Brook Management

- Brisch numagement activity is permitted within condominemally sensitive tonds (except lite werlands) that are located within 100 flors of an except generative to accordance with Section (43.031 flors)). Bread-minagement in werlands may be requested with a desergency permit accordance with Section (43.0110 where the Fire Chief decres bouth management necessary association with Section (42.0140). Where brush minagement in wellands is deemed sepressary by the Fire Chief, that howels management shall not pushfif for an exception unled the Brissionmentally Sensitive Londs Regulations, Section (43.0110) (eq.7).

Diagram 142-04E



- Hoosh management Zone One is the area adjacent to the structure, abalf be least flammable; and shall typically consist of pavement and permonently trigated armanisms planting. Breast management Zone One shall not be allowed on sixpose with gradient greater than 4% 1/4 toxizoutal text to 1 vertical foot) unless the property received transmission papers as before November 15, 1999. However, within the Crossal Overlay Zone constal development which the variable of the Constanting in the Constanting that the Constanting the Constanting that the Constanting the Constanting that the Constanting t
- (E) The width of Zinne One and Zinne Two shuff nor exceed FIRE feet and shall inseed the width requirements in Tuble 142-0414 unless modified based on existing conditions presignit to Section 142-0412(i) and the following:
- 11. De establishment of husb management Zunes One and I wo for new the Adoption of shall be indirected in a site-specific plan to include all creative sile and or structural design features to intolinate imputes to indisturbed native segeration. Both Zone One and Zone Two shall be provided on the subject property index a researched exception is granulously areaffactor property switch to the worker of the subject property to establish and maintain the required breads management zone(s) ain the sdiagent property in perpectivity.

	Fest Walsh	
ing the facts.	6.8	

- 12) A submalk may be eliminated from one side of the proble right-of way and the minimum required multic replication or width may be realized by 5 feet, or
- [3] The overall inhumant governess and public right-of-way width may be reduced in accordance wild the Street Design Standards of the Land Development Manual.
- (f) The Zone Two width may be decreased by 1°, lect for each 1 foot of increase to Zone One width up to a maximum reduction of 30 feet of Zone Two width.
- (у) Zone Опс Поднителени
 - 111 The remitted Zone One width shall be provided between native or naturalized regulation and any structure and shall be recognized from the expenser of the structure to the regulation.

Break management is required in all base somes an publicly or prevalely owned proposers that are writing 100 feet of a structure and evaluate states as testimalised.

- (b) Brush Management Zones. Where brush management is required, a comprehensive program shall be lapstermented that reduces fire hazards around vitor time by providing an effective fire brush between all straingures and consigning some of notice or naturalized vegazation. This fire heads shall known to Diviging the head of management access called "Zone One" and "Fore Vivo" as shown to Diviging to 12-2-44.

- - (2) Housh namegement Zone 1 to on the area between Zone One used any area of native or materalized vegetation and expectly consists of thinned, casive or naturalized non-irrigated vegetation.
- (2) Where Zone Two is located within Uity-awared property, a Wight-of-firing, shall be executed to accordance with Section 8.0.000 prior to any lends management activity. Zone Unit by the than management is not permitted in City-awared open space for new development proporals for encoperties in the Control Overlay Zone, additional ecquarements in mess inhabitations are loaned to Section (42.04) 21m.

Table 142-0401 rment Zone Width Regi

	Cour Walshi	
Sant.	6.8	
Name .	160	

- (d) Presh management activities are grotibilised within coastal sage scrub, numitime succedent scrub, and coastal sage-chipment leibitate from Marich 1 through August 15, except where documented to the satisfaction of the City Manager than the thing award be consistent with conditions of species coverage described in the City of San Diegol's MSCP Sufanya Plan.
- (4) Where Zone One width is required adjacent to the MIIP/Lee within the Custatal Overlag Zone, any of the following medifications to development regulations of the Land Development Color or standards in the Land Development Manual are permitted to accommodate the Increase in width.
 - (1) The required from overflewheel of the base some may be enlaced by 5

BRUSH MANAGEMENT REQUIREMENTS (SDMC Section 142,0422)

Any property continuing a fabriable elementum and stative or nationalized vegetation is required to grounde (03) feet of broad management in two illustract rooms. Zone 1 and Zone 2. Special requirements may apply it is, pro-1899 development). Check with Fire-Rescate or 1950 below you begin broad management work.

Brosh Management Zone I (spleath extends 35 feet out from the habitable structure towards

- Zance I crusis he pusimitized no a regular basis by thurning and pruning trees and plumo-controlling weeds, and maintaining inrigation systems. (i.e. fearers, walls, pelapses, plus structures, gaebos, and decks) must be non-combassible under where a minimum. T-hour fire resistance rating. Personally confineing structures (legally constructed prior to enfinement may remain unless object constitute a distinct danger to life or property. Flants simulated by primarity low-growing (loss than 4 feet in beight), low-fiel, and list resistive.
- resistive.
 All postures of trees, other than the trush, which extend within ten fact of a structure or the cultor of any chances; must be out back.

 Trees rejlicated to or overhanging any bailting must be free of dead wood.

 Ree's and case junction to the or of charees, recolled, we other clear despirative growth.

Brush Munagement Zone 1 is the remaining 65 feet that extends beyond Zone 1, typically comprised of undisturbed vegetation on a slape subject to consiste biological resource protections.

- Zone 2 must be maintained on a regular hasts by controlling words and remaining invasive species. (See back of Balletin under additional information.)

 Selective thinming and pruming of inties and non-native plants is required to reduce the first-load. Do not grade or grade native plants, untils or babilists. Non-native plants must be putted loads. Do not grade or grade native plants, untils or babilists. Non-native plants must be putted loads or reasonable for resonation and misigation roots as applicable. Bulletin: Voldants will be expensible for resonation and misigation roots as applicable.

 Death participanceme activity to not allowed March 1 through August 15 in outsid age series, maritime sociulent serule, or coasial sage-chapterial labilitats, unless an exception is specifically granted.

 NO structures or perturnment artigation are allowed in Zone 2.

 A next is or possible in resonation in processing floads. Management Zone 2. Tailing to

- A permut is required to re-vegetate or reconfigure Brash Management Zone 2. Failure to obtain the required permits could result in costly corrective action.

VL BRUSH MANAGEMENT - VEGETATION

- A Thummg and Pruming, Native/Naturalized Vegetation [SDMC §142.0412(d), (g) & (h), Lindsbrape Standards §32-2.04, 3.2-301] Two key Sistors in creating a fire safe landscape are providing fluel discontinuity by the separation of the flammable plant cover (thinning) and relatection in fuel lead by cutting out flead and excess growth of the native-naturalized separation (pruming). Plants to be retained should be consistent with the allowable coverage, measured in the Brash Management Regulations and the Landscape Standards. Whenever possible, a person knowledgeable about the use and mantenance of native plants should be consulted to oversee the selection, diaming, and pruming of these plants. The propression of work should proceed as follows. 1) remove dead plants, 2) this not linear interpreted areas to the creatived coverage, 3) pruise remaining plants, 4) dispuss or much debrie and trimmings, and 5) instituta Gene Chen on a year-round basis. Some through suspensed basis. Note that brash management settivities are prohibited within countly sage seroly, marriers sucception services that the brash management settivities are prohibited within countly sage seroly, marriers sucception services of the property of th
- 1) Thursting—This first step requires identification of the native/naturalized species and a familiarity with their various characteristics such as recting depth, fuel loads, faminoshility, as well as labalist and asserbed value. Thinding about the prioritized as follows: 1) invasive non-native species with the exception of racultypins tree in teachprise Woodland areas, 2) non-native species, 3) flammable native species, 4, native species, and 3) regionally sensive species, 31 throadble native species, 4, native species, and 3) regionally sensive species, 31 throadble native species, 4, native species, and 5) regionally sensive species, 31 throadble native species, 4, native species, and 5) regionally sensive species, 31 throadble native species, and 5) regionally sensive species, 31 throadble native species, and 5) regionally sensive species, 31 throadble native species

For Escalypius Weedland areas that fall within Zone Two Boast Management, all trees 3 inches or less in dismeter at breast height (dibt) shall be removed with the exception of indigenous, native species. The removal of two (includes "discased") encolopius trees over 3 miches dibt, should only occur.

- a) when needed to remove adjacent dead troos;
 b) to achieve tree which vertical requirements;
 c) where deemed a specific liability or fine safety luzard by the Fire Chief, or
- d) on private property when athering to the horizontal spacing criteria shown in the Tree & Strub Soucine Clust under Section VI.B.

Certain native plants, such as those found in coastal sage sensb, should be cut back at within 12 orbits of the rist crown. As appointing and re-growth accuse, these plants can be restricted as low, succeeding instances became instances as low, succeeding menuth. Scampius include Arturnisis salifornica (Chisfornia Sagebruch), Saliva mellifera (Black Sage), Adenosioma fissciendatum (Chismisol and Evingonium fissciendatum (Buckwheia)).



MAN, Careary Coverage, Balai Fahago Man, with no Spaces between Plants

Pruning – After thinning of the native/maturalized vegetation, the fael load should be further reduced by pruning the plans that have not been removed. While pruning individual plants is not feasible in coastal sage scrub, it is very effective for many hard chapteral species, such as Ceanothau (Wolf Libel, Betmonnée 17syon), Rhis (Lemonade Berry, Sagarbaub), and Rhannaus (Coffeeberry, Redberry). These plants can be slaged into attractive, fire safe specimens by pruning lead and excessively beiggy growth. The figure before illustrates grunting of native drubs. Note that the firebs touching the ground there been removed, and that a large volunte of material has been taken from the canopy. The filmbs that remain should be those with young-vigorous should.





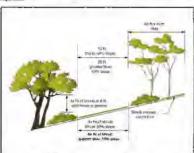


B. Thinning and France, Trees [Landsrape Standards §3,2-1.05, 1.05] — Trees are allowed within the defensible space, provided the inextantal and varietal distance between trees and shrubs masses complies with required spacing for the slope gradient shown in the following Tree and Shrub Spacing Court:

	Tree & Shrub Spo	raing Chite
		s harristell space all traces, 40-ft a 40-ft) to the edge of the next
France 1	Stope	Sparing
	17% to 50% (2:1)	10 feet
	Greater than 50% (2:1)	10 feet
	Minuteum Americantal space decrease edges of shruk	
- I	Slope	Spacing
Struby	1956 No 310% (272)	I times the linght of the sketch man
	Gregor than fors (2:1)	fi states the Acrea's of the shrain man
Space	Minimum secrical space between top of shouls and battom of lower tree bequester: 3 them the longist of the shoul source of hely whichever is quantum.	

- Train groups: than 3 period dist forcased in Facultypasis 56 walland arount size custom from the neutronous languagement.

 Infligence, neutric trains at all series are excepted despit the minimum acceptants have appearing forces.



TREE & SHELLE SPACENO

Vertical clearance between trees and shrubs can be created by prising up the tree canney, reducing height of the shrubs, or a combination thereof. Canopies of existing trees the extend to within 10 feet of any spiricture shall be peaued to insintain a minimum horizontal and vertical clearance of 10 feet. Pervious of three changing that extend within 10 feet of the

outlet of a dilensey shall be prompt to maintain a minimum hericontal and vertical character of 10 feet.

- C. Grasdanó [Laodesape: Standards §3.2-2.04, 3.01] Expanses of native/naunelized grasses should generally be cut to within 2 inches in height prior to the eral of the growing season in April or May. However, whore tothe grasses oncur in templecities with coastal sage servel, maritime sourcilers servely, and consult sage-exaperad tubitats, they should be cut prior to Murch 1 and again as necessary after Aquest 15 should re-guived received by miches in height. Note that judicials clomps of grass and other broad-leafed berfer may be maintained year-mound up to 24 inches in height when they are included from ofter fuels or where necessary to satisfiate the said and prevent crustion.
- 13. Fael Lead Mindel Report (SDMC §142.0417()1] The Fael Load Model Report referenced in the British Management Regulations is required only in situations where there is a request to exceed the standard british management requirements. It shall not be mandated for mandifications or alternative measures that shall achieve an equivalent level of fire-pentication as the standard requirements.
- I. Limits of Break Management Responsibility (SDMC \$142.0412(b)2(c)) In most cases, responsibility for the required healt management shall the coofenul in the respective covereity property. Adjacent properties that are not being property maintained shall be subject to a society of violation issued by the For-Reseau Department through the Fire Fazzard. Advisor at the contract of the properties of the properties of the properties of the properties. notice of violation issues by the rest-section bequestions in tracing the rive and analysis of the (first statistions where adjacent property is grivately owned but promanily undeveloped or adjacent property is (Fig. 4). The property is a first better to the first better to be property in the property is first first property in the first fi

avrpstudios

703 (day David, Suite 200 Suit Dage Carllerin 12:10) P 518 784 2780 F 618 704 76M

ARCHITECT STANS

CONSULTANT

mlasp McCallagh Lordage Artimenou in h home a man o

CONGULTANT STAUP



SSUE DATES: DATE DEV. PERMIT SUBM 11/06/2014 DEV. PERMIT RE-SUBM. 1/28/2015 BLD. PERMIT SUBM. 3/04/2015 DEV. PERMIT RE-SUBM. 4/17/2015

DEV. PERMIT RE-SUBM.

5/20/2015

CLIENT IRVING

INDIANA STREET APARTMENTS 3523-3535 Indiana Street San Diego, CA 92103

MOJECT NUMBERS AVRIP STUDIOS: CHIENT: AGENCY: DRAWN BY: CHECKED BY

14025,01 PTS #

ATTACHMENT

8

BRUSH MANAGEMENT REQUIREMENTS

SHIPT NUMBER

SHEET TITLE

L3.04

- COMPLETION OF WORK.

 2 PAY LEGALLY REQUIRED SALES. CONSUMER, AND USE TAXES

 3 SECURE AND PAY FOR AS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK AND AS APPLICABLE AT TIME OF RECEIPT OF BIDS:
 - a PERMITS

- A PENNITS

 6 GOVERNMENT FEES

 c. LICENSES

 5 COMPLY WITH CODES, DROIMANCES, RULES, REGULATIONS, ORDERS AND OTHER LEGAL

 REQUIREMENTS OF PUBLIC AUTHORITIES, WHICH BEAR ON PERFORMANCE OF WORK

 NOTHING IN THESE DRAWINGS OR SPECIFICATIONS IS 10 BE CONSTRUED TO PENNIT

 WORK NOT CONFORMING TO THESE CODES.

 6 PROMPTLY SUBMIT WRITEN NOTICE TO LANDSCAPE ARCHITECT OF OBSERVED

 VARIANCE OF CONTRACT DOCUMENTS FROM LEGAL RECURREMENTS IN THE EVENT

 THAT NO NOTICE IS PROVIDED, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY

 WORK PERFORMED THAT IS CONTRARY TO SUCH REQUIREMENTS.
- S CONTRACT LIMITS
 THESE DOCUMENTS ARE NOT INTENDED TO SET LIMITS BETWEEN TRADES UNLESS
 THESE DOCUMENTS ARE NOT INTENDED TO SET LIMITS BETWEEN TRADES UNLESS
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 THE DOCUMENTS ARE NOT INTENDED TO SET LIMITS BETWEEN TRADES UNLESS
 THE DOCUMENTS ARE NOT THE
- THESE COCUMENTS ARE NOT INTENDED TO SET LIMITS RETWEEN TRADES UNLESS SPECIFICALLY SO STATED THE CWINER WILL DETERMINE WHAT WORK WILL BE DIDNE AND BY WHOM.

 THE OWNER AND THE CONTRACTORS SHALL VISIT AND INSPECT THE SITE AND FAMILARIZE THEMSELVES WITH SITE CONDITIONS, AND STUDY THESE DOCUMENTS FULLY SEFORE AGREEMED TO WORK ON THE PROJECT THEM AGREEMENT TO WORK ON THE JOS CONSTITUTES VERIFICATION THAT HAS SO STUDIED THE SITE AND THE DOCUMENTS.
- THE DRAWINGS ARE NECESSARILY SCHEMATIC AND DO NOT PURPORT TO SHOW
- THE DRAWMINS ARE NECESSARILY SCHEMATIC AND DO NOT PURPORT TO SHOW
 COMPLETE STILLTIONS. THE DRAWMINS, SPECIFICATIONS, AND ADDENDA ARE
 COMPLEMENTARY, WHAT IS CALLED FOR BY CINE IS AS CALLED FOR BY ALL. THE
 DRAWMINGS, SPECIFICATIONS, AND ADDENDA MUST AL WAYS RE TOGETHER.
 DO NOTI SCALE FROM DRAWMINGS.
 EIRRORS, OMISSIONS, DISCREPANCIES, OR ADVERSE CONDITIONS.
 WHEN ERRORS, OMISSIONS OR INSCREPANCIES IN THE DOCUMENTS, OR ADVERSE JOB
 CONDITIONS BECOME APPARENT, IMMEDIATELY BRING THEM TO THE ATTENTION OF THE
 RUNDER.
- OWNER

 THE OWNER SHALL IMMEDIATELY, AND IN WRITING, BRING TO THE ATTENTION OF THE
 LANDSCAPE ARCHITECT ANY ADVERSE JOB OR SITE CONDITIONS, OR ANY ERRORS
 DMISSIONS, OR DISCREPANCIES IN THE DOCUMENTS OR OTHER LANDSCAPE
 ARCHITECTURAL SERVICES THOSE NOT SO REPORTED REMAIN THE RESPONSIBILITY OF
 THE OWNER THE LANDSCAPE ARCHITECT IS NOT NECESSARILY RESPONSIBLE FOR HOSE THAT ARE NOT REPORTED.
- THE OWNER SHALL NOTIFY THE LANDSCAPE ARCH TEUT OF CHANGES IN THE JOB AND PAY AN EXTRA FEE FOR THE LANDSCAPE ARCHITECTS ANALYSIS OF THE CHANGES AND/OR
- AW BYING YE FOR THE LANDSCAPE ANCHINECTS ANALYSIS OF THE CHANGES, AND/OR FOR CHANGES THE CHANGES, AND/OR FOR CHANGES DIRECTIONS.

 O MANUFACTUREDS DIRECTIONS
 FALLOW MANUFACTUREDS PRINTED DIRECTIONS AND DETAILED DRAWINGS IN ALL CASES WHERE THE MANUFACTURED OF ARTICLES USED IN THE WORK FUNDAMINES DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS ON DESCRIBED IN THE SPECIFICATIONS.
- MATERIALS NOT SHOWN OR SPECIFIED HEREIN SHALL BE AS SPECIFIED BY THE DWINER SUBSTITUTIONS MUST BE VERIFIED IN WRITING BY THE OWNER.
- STORE MATERIALS TO PREVENT VANDALISM OR DETERIORATION AND AS DIRECTED BY
- 2. PROTECT MATERIALS BEFORE DURING, AND AFTER INSTALLATION.
- EACH CONTRACTOR SHALL CLEAN HIS WORK, ADJACENT WORK AFFECTED BY HIS ACTIONS, AND HIS WORK AREA AS DIRECTED AND TO THE SATISFACTION OF THE OWNER

IN ADDITION TO THESE DOCUMENTS, COMPLY WITH CIVIL AND/OR STRUCTURAL ENGINEERING DOCUMENTS, INCLUDING THE SOILS REPORT, AS DIRECTED BY THE OWNER A DUST.

MOISTEN SURFACES TO CONTROL OUST TO THE OWNER'S SATISFACTION

- PINSH GRADING:

 1. TOLERNOES: 0 1 FOOT OF THE INDICATED GRADE

 2. MAKE FINISH GRADE SMOOTH, UNIFICIALLY OF FREE OF ABRUPT GRADE CHANGES AND DEPRESSIONS TO INSURE SURFACE ORAINAGE

 3. SLOPE GRADES AWAY FROM BUILDINGS AT 148 (2%) MINIMUM SLOPE FOR AT LEAST FIVE

02441 LANDSCAPE IRRIGATION SYSTEM

A EXPLANATION OF DRAWINGS.

DUE TO THE SCALE OF THE ORAWINGS, IT IS NO POSSIBLE TO INDICATE ALL OFFSETS.
FITTINGS, SLEEVES AND OTHER COMPONENTS, WHICH MAY BE REQUIRED CAREFULLY
INVESTIGATE THE STRUCTURAL AND FINISH CONDITIONS AFFECTING THE WORK AND PLAN
WORK ACCORDINGLY FINISH SUCH FITTINGS AND COMPONENTS AS MAY BE REDUIRED TO
MEET SUCH CONDITIONS.

DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED INSTALL THE WORK IN SUCH A MANNER AS TO AVOID COMPLICTS SETWEN RINGATION SYSTEMS, FINANTING, AND ARCHITECTURAL FEATURES EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY INSTALL SUCH EQUIPMENT WITHIN

DO NOT WILLFULLY INSTALL IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT LINXNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE GEEN

B RECORD AND AS-BUILT DRAWINGS PROVIDE OWNER WITH A REPRODUCIBLE SET OF "AS-BUILT DRAWINGS" B RECORD AND A SEDIC I DRAWINGS
PROVIDE OWNER WITH A REPRODUCIBLE SET OF "AS-BUILT DRAWINGS"
GUARANTEE
GUARANTEE THE LANDSCAPE IRRIGATION SYSTEM FOR A FERIOD OF ONE YEAR PROVIDE.

- A WRITTEN STATEMENT OF GUARANTEE TO INCLUDE, AT A MINIMUM
 1 IRRIGATION SYSTEM FURNISHED AND INSTALLED IS FREE FROM DEFECTS IN MATERIALS.
- AND WORKMANSHIP, AND THE WORK HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DRAWING AND SPECIFICATIONS, ORDINARY WEAR AND TEAR AND UNUSUAL ABUSE, OR
- DRAWING AND SPECIFICATIONS, ORDINARY WEAR AND TEAR AND UNUSUAL ABUSE, OR NEGLECT EXPECTED.

 AGREE TO REPAIR ON REPLACE ANY DEFECTS IN MATERIAL OR WORKMANSHIP, WHICH MAY DEVELOP DURING THE PERIOD OF FONE YEAR FROM THE DATE OF ACCEPTANCE AND ALSO TO REPAIR OR REPLACE ANY DAMAGE RESULTING FROM THE REPAIRING OR REPLACED OF SHOTH DEFECTS AT NO ADDITIONAL, COST TO THE OWNER.

 MAKE SUCH REPAIRS OR REPLACEMENT WITHIN A REASONABLE THIS AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER IF UNABLE TO MAKE SUCH REPAIRS OR REPLACEMENT SHOW THE AND THE REPAIRS OR REPLACEMENT SAID REASONABLE THE AUTORIZE THE OWNER TO PROCEED TO HAVE SAID REPAIRS OR REPLACEMENTS AND REASONABLE THEE AUTORIZE THE OWNER TO PROCEED TO HAVE SAID REPAIRS OR REPLACEMENTS MADE AT THE CONTRACTOR'S EXPENSE CONTRACTOR TO PAY THE COST AND CHARGES THEREFORE UPON DEMAND.

D. USE ALL MEANS NECESSARY TO PROTECT IRRIGATION BYSTEM MATERIALS BEFORE, DURING AND AFTER INSTALLATION, AND PROTECT THE INSTALLED WORK AND MATERIALS OF ALL OTHER TRADES IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY, TO THE APPROVAL OF THE OWNER AND AT NO ADDITIONAL COST TO THE OWNER AND AT NO ADDITIONAL COST TO THE OWNER AND AT NO ADDITIONAL COST TO THE OWNER.

ASBESTOS CEMENT: CLASS 150, AWWA CARD C CAST IRON FITTINGS FOR ACP, ANSI 21 10 AND AWWA C110

- 2 CAST-ROM FITTINGS FOR ACP, AMSI 21 10 AND AWWA C110
 5 QAL VANAZED MALLEARLE IROM RITTINGS; AMSI 8 10.3
 4 QAL VANAZED MALLEARLE IROM RITTINGS; AMSI 8 10.3
 5 HARD DRAWN COPPER TYPE K: AMSI SSE 1 AND AST'M 588
 5 WARDUCHT COPPER OR BRONZE SOI, DER FITTINGS; AMSI 6:18,22 SOLDER SOISO TIMILEAD
 7 PVC CONSTANT PRESSURE WANN LINE PPING 2: MOCHES AND LARGER. RUBBER-RIND
 JOINT, PVC CLASS 315
 8 PVC COMSTANT PRESSURE MAN LINE PPING 1: MOCHES AND SMALLER. SOLVENT WELD
 JOINT, PVC CLASS 20, SCHEDULE 40 WHERE INDICATED
 5 PVC INTERMITTENT PRESSURE LATERAL LINE PIPING. SOLVENT WELD JOINT, PVC 200
 SCHEDULE 40 WHERE INDICATED
 10 PVC TITTINGS, PVC SCHEDULE AND SCHEDULE WAS AND FACTORY MANUFACTURED
 OR SCHEDULE 40 WITH RUBBER RING JOINT
 VC PIPING.

- INSTALL PVC PURPLE PLASTIC PIPE AND FITTINGS BELOW GRADE
- 1 MEDIAL PVE FUNDE PLASTIE PURE ROD PT I IMAGE BELOW MINAUE 2 PVC PIER NES APPROVED TYPE I, GRADE I COMPOUND CONFORMING TO ASTM O 1764 3 PVC SCHEDULE 80 AND SCHEDULE 80 PPE ASTM D 2488 4 PVC CLASS 180, CLASS 200, AND CLASS 315 SOLVENT WELD AND RING-TITE PIPE: ASTM D

- 2241

 5 PVC SQL VENT CEMENT ASTAID 2554

 8 IVVR-PVC WHERE CALLED FOR, ON GRADE PIPE SHALL BE LIVR-PVC PIPE ANCHORED & 10 FEET INTERVALS, INSTAIL AS PER MANUFACTURER'S RECOMMENDATIONS

 G GATE VALVES AND VALVE BOXES

 I USE GATE VALVES OF THE SAME SIZE AS THE FIPE LINES IN WHICH THEY ARE INSTALLED.

 2 FOR SIZES ZINCHES AND SMALLER: 150 POUND SATURATED STEAM RATED, BRASS BODY ASTM B 62: SCREW JOINTS, NON-RISING STEM; SCREWED BONNET, SOLID DISC. MAILEABLE FIRON THEY HANDLE OF HAND WHERE.

 3 FOR SIZES 2 1/2 INCHES AND LARGER: 200 POUND Q W Q; IRQUIS BODY ASTM A 126 CLASS. B. EL ANGED LOURS SANDAISMAN STEM BOWET. DIVISIONED FINES TYPE SALURIPES FOR STEMP ESCHURPES.
- 5 FLANGED JOINTS: NON-RISING STEM: BOLTED BONNET: DOUBLE DISC TYPE: EQUI
- PROVIDE TWO OPERATING KEYS FOR VALVES BURIED 18 INCHES OR DEEPER. NALVE BOXES: LOCK LID TYPE, ADJUSTABLE 8 INCHES 1D. CONCRETE SLEEVE WITH CAST IRON LID IN PAVED AREAS PURPLE PLASTIC WITH BOLT DOWN LID IN PLANTED AREAS ALL SPALL BE MARKED WITH PRIV. "RVC", OR "EV", RESPECTIVELY, WITH CONTROL STATION NUMBERS FOR CONTROL VALVES STENCILED IN WHITE ON THE VALVE COVER.
- STATION NUMBERS OF THE DEADINGS

 1 USE TYPE AS INDICATED ON THE DRAWINGS

 2 USE PIPPING BETWEEN POINT OF CONNECTION AND BACKELOW PREVENTION UNIT TO BE OF MATERIAL AS REQUIRED BY LOCAL CODE AND/OR COUNTY HEALTH DEPARTMENT
- HECK VALVES:

 ANTI-DRAIN VALVES SHALL BE OF HEAVY-DUTY VIRGIN PVC OR BRASS CONSTRUCTION WITH FIP THREAD INJET AND OUTLET INTERNAL PARTS SHALL BE FIELD ADJUSTED ORGANIST OR AND OUTLET FOR FEET OF HEAD THE ANTI-DRAIN VALVE, WHERE INDICATED ON PLANS, SHALL HAVE AN EXCESS FLOW FEATURE WHICH AUTOMATICALLY STOP THE FLOW OF WATER WHEN IT EXCESS THE 9 PM PRESST BY THE MANUFACTURER THE ANTI-DRAIN VALVE SHALL AUTOMATICALLY RESET ITSELF WHEN THE WATER PRESSURE IS RELIEVED ANTI-DRAIN AND EXCESS FLOW VALVE SHALL BE SIMILAR TO VALCON ADVING RAINBIRD SM-1, OR APPROVED EQUAL
- TO VALCON AUXIAS, AUXISING 389-1, OLIVET-ROYSE SOURCE.

 1 USE DIRECT BURIAL COPPER WIRE AWG UF 800 VOLT FOR CONNECTIONS BETWEEN THE AUTOMATIC CONTROLLER AND THE ELECTRIC CONTROL VALVES NO WIRE 8/ZE LESS THAN 814 USE BLACK COLOR WIRE FOR PILOT, WHITE FOR COMMON.
 2 120 VOLT, WIRE SHALL BE PER LOCAL CODE AS TO TYPE AND QUALITY.
 3 INSTALL WIRING ALONG SAME ROUTE AS PRESSURE SUPPLY OR LATERAL LINES WHEREVER POSSIBLE.
 4 WHERE MORE THAN ONE WIRE IS PLACED IN A TRENCH, TAPE WIRING YOGETHER AT TEN FORTY. INTERVALE.
- FOOT INTERVALS.
 PROVIDE AN EXPANSION CURL WITHIN THREE FEET OF EACH WIRE CONNECTION.
- MAKE SPLICES WITH SCOTCH-LOCK #3577 CONNECTOR SEALING PACKS OR PEN-TITE WIRE CONNECTORS USE ONE SPLICE PER CONNECTOR SEALING PACK FIELD SPLICES
- WILL NOT BE PERMITTED K SPRINKLER HEADS:

 I USE SPRINKLER HEADS OF THE SAME SIZE, TYPE, AND SAME RATE OF PRECIPITATION
 WITH THE DIAMETER (OR RADIUS) OF THROW, PRESSURE, AND DISCHARGE AS SHOWN ON
 THE DRAWINGS.
- THE DRAWINGS
 2. ALL SPRINKLER HEADS OF THE SAME TYPE TO BE OF THE SAME MANUFACTURER.
 3. INSTALL IN THE RISER NIPPLE OF EACH IMPACT SPRINKLER ONE LINE GIZED VI BADV ANTI-DRAIN VALVE.
 1. WATER SUPPLY:
- SYSTEM CESIGN IS BASED ON MINIMUM OPERATING PRESSURE SHOWN AT EACH POINT OF CONNECTION MAXIMUM GPM DEMAND SPECIFIED VERIFY ALL PRESSURE ON SITE PRIOR TO CONSTRUCTION
- ECTRICAL SUPPLY
 120 VOLT ELECTRICAL POWER OUTLET FOR AUTOMATIC CONTROLLER TO BE PROVIDED
 BY OTHERS MAKE REQUIRED CONNECTION OF AUTOMATIC CONTROLLER OUTLET
- BY OTHERS MAKE REQUIRED CONNECTION OF AUTOMATIC CONTINGLES CONTROLLED WORK OF THIS INSTALLATION.

 1. PRIOR TO ALL WORK OF THIS SECTION, CAREFULLY INSPECT THE INSTALLED WORK OF ALL OTHERS TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE TO THE POINT WHERE THIS INSTALLATION MAY PROPERLY COMMENCE:
 2. VERIFY THAT THE IRRIGATION SYSTEM WILL BE INSTALLED IN STRICT ACCORDANCE WITH ALL PERTINENT CODES AND REGULATIONS, THE ORIGINAL DESIGN, THE REFERENCED STANDARDS, AND THE MANUFACTURERS RECOMMENDATIONS.
 3. VERIFY ALL PIELD CONDITIONS INCLUDING PROPERTY LINES, RIGHTS OF WAY, TRACT BOUNDARIES, EASEMENTS, AND ANY OTHER LEGAL OR PHYSICAL ELEMENT AS REQUIRED FOR THE SUCCESSFALL, COMPLETION OF THE PROJECT.
- FOR THE SUCCESSFUL COMPLETION OF THE PROJECT
- a PROVIDE A MINIMUM OF EIGHTEEN INCHES COVER FOR ALL PRESSURE SUPPLY b PROVIDE A MINIMUM OF TWELVE INCHES COVER FOR ALL INTERMITTENT PRESSURE
- D. PROVIDE A MINIMUM OF TWELVE INCHES COVER FOR ALL INTERMITTENT PRESSURE LATERAL LINES

 C. PROVIDE A MINIMUM OF EIGHTEEN INCHES COVER FOR ALL CONTROL WIRING

 d. DO NOT BACKFILL TRENCHES WITH APPROVED MATERIAL UMSUITABLE
 MATERIAL, INCLUDING CLODS AND ROCKS OVER 2 IS IN SIZE, SHALL BE REMOVED
 FROM THE PREMISES AND DISPOSED OF LEGALLY, AT NO COST TO THE OWNER
 TRENCHING AND BACKFILL UNDER PAYING.

 B. ALL PIPE UNDER PAYED AREAS TO BE PVC SCHEDULE 40 INSTALLED PRIOR TO
 PAYING.
- b IN ADDITION TO CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, INSTALL WIRE
- b. IN ADDITION TO CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, INSTALL WIRE SLEEVES OF BUFFICIENT SIZE UNDER ALL PAVED AREAS PRIOR TO PAVIND. C BACKFILL TRENCHES WITH SIX INCHES OF BAND BELOW PIPE AND THREE INCHES ABOVE PIPE AND COMPACT IN LAYERS TO 295 RELATIVE COMPACTION OF PIPE AND COMPACT IN LAYERS TO 295 RELATIVE COMPACTION OF PIPE AND COMPACT INCHES ABOVE PIPE AND COMPACT INCHES AND PIPE AND PIPE OF PAVING PIPE OF PIPE AND PIPE OF PIPE AND PIPE OF PIPE AND PIPE OF PIPE AND PIPE OF PIPE OF
- EVES OF SUPPLICENT SIZE UNDER ALL MAYED AREAS PRIOR TO PROVING ECTRIC CONTROL VALVES: A INSTALL VALVES AS SHOWN IN THE DRAWINGS. WHEN GROUPED TOGETHER, ALLOW AT LEAST TWELVE INCHES (12") BETWEEN VALVES, MINIMUM SIX INCHES (6") FROM ANY WALK OR STRUCTURE
- b INSTALL EACH VALVE IN A SEPARATE VALVE BOX VALVE BOXES INSTALLED NEAR WALKS, CURBS, HEADER BOARDS, OR PAVED AREAS SHALL ABOUT AND SET FLUS
- WALKS, CURBS, HEADER BOARDS, OR PAYED AREAS SHALL ARGUT AND SET FLUSH WITH THE TOP OF THESE SURFACES.

 C. QUICK COUPLING VALVES SHALL BE SET APPROXIMATELY TWELVE INCHES; [37] FROM WALKS, CURBS, HEADER BOARDS, OR PAYED AREAS, WHERE APPLICABLE.

 2. FLUSH IRRIGATION SYSTEM PIPING PRIOR TO INSTALLATION OF SPRINKLERS READS.

 I. INSTALL THE SPRINKLER HEADS AS DESIGNED ON THE DRAWINGS DO NOT EXCEED MAXIMUM PACKING THE MAD IN INCLUSED ON DRAWINGS AND IN NO CASE EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.
- MAXIMUM RECOMMENDED BY THE MANUFACTURER

 O FIELD DUALITY CONTROL:

 1. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND BUILDINGS AS MUCH AS POSSIBLE SELECT THE BEST DEGREE OF ARC TO FIT EXCITING SITE CONDITIONS

 2. SET ALL SPRINKLERS HEADS PERFENDICULAR TO FINISHED GRADES UNLESS OTHERWISS DESIGNATED ON THE DRAWINGS

- 3 TESTING OF PRRIGATION SYSTEM.

 B BEFORE TESTING, FILL THE LINE WITH WATER FOR A PERIOD OF AT LEAST 24 HOURS

 PERFORM COVERAGE TEST IN THE PRESENCE OF THE LANDSCAPE ARCHITECT TO VERIFY IF THE WATER COVERAGE FOR PLANTING AREAS IS COMPLETE AND
- VERIFY IF THE WATER COVERAGE FOR PLANTING AREAS IS COMPLETE AND ADDOLATE AND ADDOLATE AND ADDOLATE AND ADDOLATE AND ADDOLATE AND ADDOLATED PRESSURE OF 150 POUNDS PER SQUARE INCH. AND PRIOSE WATERTICHT, SUSTAIN PRESSURE IS UNES FOR NOT LESS THAN (2) HOURS & LEAVE DEVELOP, REPLACE JOINTS AND REPEAT YEST UNTIL ENTIRE SYSTEM IS PROVED WATERTICHTY.

 PRESSURE TEST ALL, PIPING UNDER PAVED AREAS UNDER HYDROSTATIC PRESSURE OF 150 POUNDS PER SQUARE INCH, AND PROVE WATERTICHT, PRIOR TO PAVING.

- PAYING
 ALL HYDROSTATIC TESTS SHALL BE MADE ONLY IN THE PRESENCE OF THE
 LANDSCAPE ARCHITECT OR OTHER DULY AUTHORIZED REPRESENTATIVE OF THE
 COWER DO NOT PLACE BACKFILL UNIT, IESTS HAVE BEEN APPROVED.
 FURNISH MECESSARY FORCE PLIMS AND ALL OTHER TEST EQUIPMENT
 UPON COMPLETION OF EACH PHASE OF WORK, TEST AND ADJUST ENTIRE SYSTEM
 OF THE PROPERTY OF THE P
- TO MEET SITE REQUIREMENTS

 4 THE ENTIRE SPRINKLER IRRIGATION SYSTEM SHALL BE UNDER FULL AUTOMATIC
 OPERATION FOR A PERIOD OF SEVEN (7) DAYS PRIOR TO PLANTING THE LANGSCAPE
 ARCHITECT RESERVES THE HIGHT TO WAIVE OR SHORTEN THE OPERATION PERIOD

02950 LANDSCAPE PLANTING

- D2930 LANDSCAPE PLANT ING

 1 SOIL SUPPRINT AND PERTILITY ANALYSES REPORT.

 1 IN ADDITION TO THESE DOCUMENTS, COMPLY WITH THE RECOMMENDATIONS OF THE SOIL SUTABILITY AND PERTILITY ANALYSES REPORT. AS DIRECTED BY THE OWNER.

 2 WHERE NO SOILS REPORT IS AVAILABLE, DISTAIN AN ADRONOMIC SOIL TEST AFTER ROUGH GRADING HAS BEEN COMPLETED SOIL TEST SHALL BE MADE BY THE BUTLERS.

 MILLS INC. SAN DIEGO. CA. (818) 535-5131 AT THE DWINGE EXPENSE SEND COPY OF THE SOILS REPORT AND RECOMMENDATIONS FOR:

 3 SOIL AMENDMENT FERTILIZER AND CHEMICAL CONDITIONER APPLICATIONS RATES FOR SOIL PREPARATION.
- 6 PLANT PIT BACKFILL MIX
- AUGER HOLE REQUIREMENTS (WHERE APPLICABLE)
- B. QUALITY ASSURANCE:

 1 FURNISH PLANT MATERIALS CERTIFIED BY STATE OR FEDERAL DEPARTMENT OF AGRICULTURE TO BE FREE FROM HAZARDOUS INSECTS OR APPARENT DISEASE.

 2 FURNISH PLANT MATERIALS INSPECTED BY LANDSCAPE ARCHITECT AT THE GROWING SITE AND TAGGED OR OTHERWISE APPROVED FOR DELIVERY, IMPRECTION AT GROWING SITE DOES NOT PRECLUDE RIGHT OF REJECTION AT CONSTRUCTION SITE.
- SITE DOES NOT PRECLUDE RIGHT OF REJECTION AT CONSTRUCTION SITE

 1 SUBMIT DELIVERY SLIPS FOR MATERIALS TO THE OWNER TO VERIFY SPECIFIED
 OUANTITIES OF SOIL AMENDMENTS, FERTILIZERS, MULCH OR ANY OTHER BUCK
 DELIVERIES
 2 SEED MIXTURE FURNISH DEALER'S QUARANTEE STATEMENT OF COMPOSITION,
 MIXTURE, PURITY AND BERMINATION.
 D PRODUCT DELIVERY, STORAGE AND MANDLING
 1 DELIVER FERTILIZER TO SITE IN ORIGINAL UNOPENED CONTAINERS GEARING
 MANUFACTURER'S QUARANTEED CHEMICAL ANALYSIS NAME TRADEMARK AND
 CONSEPPRIMANCE TO STATE IAW.

- CONFORMANCE TO STATE LAW

 2 DELIVER FLANT MATERIAL WITH LEGIBLE IDENTIFICATION LABELS

 3 PROTECT PLANT MATERIAL DIRING DELIVERY AND WHILE ON STE TO PREVENT DAMAGE

 TO ROOT BALL OR DESECRATION OF LEAVES

 MAINTAIN AND PROTECT FLANT MATERIAL NOT BE PLANTED WITHIN FOUR HOURS OF
- DELIVERY
 REMOVE UNAGCEPTABLE PLANT MATERIAL FROM JOG SITE IMMEDIATELY
 GOODDITIONS:
 PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CO
- PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTABLE PRACTICE
- ISSITIUTIONS:

 SUBSTITUTE PLANT MATERIAL FOR THE INDICATED PLANT MATERIAL WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED IN VERTING BY THE LANDSCAPE ARCHITECT.
- UARANTEE:

 GUARANTEE BOXED AND FIELD GROWN TREES TO "LIVE AND GROW" IN AN "ACCEPTABLE.

 JUPRIGHT POSITION" FOR A PERIOD OF ONE YEAR AFTER COMPLETION OF THE SPECIFIED
 MAINTENANCE PERIOD AND FINAL ACCEPTANCE DEFINITION OF "LIVE AND GROW" AND
 "ACCEPTABLE, LIPRIGHT POSITION" SHALL MEAN THAT THE TREE MUST, DURING THE
 GUARANTEE PERIOD, GUSTAIN A HEAL THY AND VIGOROUS APPEARANCE IF THE TREE,
 GUARANTEE PERIOD, GUSTAIN A HEAL THY AND VIGOROUS APPEARANCE IF THE TREE,
 GUARANTEE PERIOD, DOES NOT SUSTAIN THIS APPEARANCE, REMOVE AND
 REPLACE IT WITH A TREE GUAL TO THE ORIGINAL SPECIFICATIONS REPLACE OR
 REPAIR ANY DAMAGE TO CONTIGUOUS PLANTING, STRUCTURES, LIGHTING OR
 IRRIGATION SYSTEMS DURING REPLACEMENT OPERATIONS

 GUARANTEE ALL CUSTINGS SOO AND CONTAINER PLANT MATERIAL UP TO AND
 INCLUDING 15-GALLON SIZE AS TO GROWTH AND HEALTH FOR PERIOD OF 9D DAYS
 AFTER THE COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL
 ACCEPTANCE
- ACCEPTANCE
 3 REMOVE AND REPLACE ALL QUARANTEE PLANT MATERIALS FOR WHICH FOR ANY PRASSON FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE WITHIN 15 DAYS OF WRITTEN NOTIFICATION BY THE OWNER REPLACE WITH PLANT MATERIAL ORIGINALLY SPECIFIES AND PROVIDE ORIGINAL GUARANTEE
- PLANT ESTABLISHMENT PERIOD.
 MINIMUM 90 CALENDAY DAYS TO BE COMPLETED BEFORE THE LANDSCAPE ARCHITECT
 VILL RECOMMEND ACCEPTANCE BY THE DWINER
- PSOUL .

 1. USE NATURAL FRIABLE SOIL OF REGION, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, STORS, DEBRIS, VEGETATION, STONES OVER DNE NICH IN MINIMUM DIMENSION AND CONTAINING NO DISCOMPOSE STONE, SALTS, ALKALI, HERBICIDES OR NOXIQUE WEEDS 2 SILT PLUS CLAY CONTENT NOT TO EXCEED 15% BY WEIGHT
- BORON CONTENT NOT TO EXCEED 1 PPM AS MEASURED BY THE SATURATION EXTRACT BODIUM ASSIRPTION RATIO (SAR) NOT TO EXCEED SIX AND ELECTRICAL CONDUCTIVITY OF THE SATURATION EXTRACT NOT TO EXCEED 3.0 MILLIMOLES PER CENTIMETER AT 25
- DEGREES CENTIGRADE
 6 IMPORT TOPSOIL: FURNISH AND INSTALL PER RECOMMENDATIONS OF SOIL REPORT
- 6 IMPORT TOPSOIL FURNISH AND INSTALL PER NECLAMMENDATIONS OF A DISPARATION OF THE PROPERTY OF
- 3 SOLUBLE SALTS:
 a MAXIMUM 35 MILLUMOLESICENTIMETER ID: 25 DEGREES CENTIGRADE AS DETERMINED BY THE SATURATION EXTRACTION METHOD

 K ORGANIC SOLL COMDITIONER WITH FERTILIZER.
 1 UBE GOP OPWERP PLUS AS MANUFACTURED BY SOUTHERN CALIFORNIA ORGANIC FERTILIZER CO. (213) 245-8849

 COMMERCIAL FERTILIZER.
- COMMERCIAL FERTILIZER
- CHMERCIAL FERTILIZER.

 1 USE COMMERCIAL FERTILIZER UNIFORM IN COMPOSITION, FREE FLOWING, CONFORMING TO STATE AND FEDERAL LAWS, AND SUITABLE FOR APPLICATION WITH EQUIPMENT DESIGNED FOR THAT PURPOSE 12-12 IZ UNIVESS DIFFERWISE INDICATED. SWIFTER MODICATED. SWIFTER MODICATED. SAFTFORM PUBLIC 15-5, 21 GRAM TABLETS AT RATE PRESCRIBED IN MANUFACTURER'S WRITTEN SPECIFICATION.
- PLANT MATERIAL

 1. USE PLANTS OF VARIETY AND SIZE AS INDICATED ON DRAWINGS

 2. TAG ONE BACH OF EACH BUINDLE OR LOT WITH THE PLANT NAME IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN IS USE PLANTS THAT HAVE A HABIT OF GROWTH THAT IS NORMAL TO THE SPECIES, ARE SOUND, MEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES, SUN IOCALDS, FRESH ABRASIONS OF THE BASIK EXCESSIVE ABRASIONS OR OTHER DIJECT IONAL DISFIGUREMENTS TREE TRUNKS TO BE STUTDY AND WELL HARDENED OFF USE PLATS WHICH HAVE NORMALLY WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS WHICH ARE NOT ROOT OR POTROUND.

- N TREE STAKES (REFER TO DRAWINGS FOR APPROPRIATE TYPE/EDNOTHEM)

 1 COPPER NAPHTHANATE GREEN COLOR IMPREGNATED LODGE POLE PINE

 8 10 FEET LONG FOR 5 GALLON AND 18 GALLON
- b 12 FEET LONG FOR 24 BOX AND LARGER
- TEEL PIPE STAKES

 IN 2". (2-3-8" O D) SCHEDULE 40 GAL VANIZED STEEL PIPE

 IN 10 IC LONG WITH CAP PAINT FLAT BLACK
- HEE TIES.

 1 SINGLE STAKE CINCH-TIE AS MANUFACTURED BY VILT COMPANY

 1 DOUBLE STAKE TWIST BRACE AS MANUFACTURED BY VILT COMPANY
- IE TIES:

 CLEAR PLASTIC DISC WITH EYE TO RECEIVE GREEN PLASTIC COVERED VINE TIES
 SECURE DISC TO SURFACE WITH APPROVED ADHESIVE.
- SECURE DISE 10 SAFEMAN AND PROPERTY OF A LICENSED PEST CONTROL APPLIED ONLY AS PER THE RECOMMENDATIONS OF A LICENSED PEST CONTROL AGENT
- Q GRAYEL SUMPS

 1. W' YO!" DIAMETER SHARP CRUSHED ROCK GRAVEL

- R SOIL PREPARATION MIX.

 1 FOR ALL TURE AND GROUND COVER AREAS (EXCLUDING SLOPES OVER 81)

 2 MIXTURE PER 1000 5 F

 a 6 CUBIC VAROS INTROSEN STABILIZED ORGANIC AMENDMENT

 b 15 POUNDS 12-12-12 COMMERCIAL FERTILIZER

 c 20 POUNDS AGRICULTURAL GYPSUM

 5 BACKFILL SOIL MIX:

 1 TOPSOIL (USE IMPORT TOPSOIL WHEN REQUIRED BY SOILS REPORT) 5 PARTS BY
 VOLUME
- VOLUME
 2 ORGANIC AMENDMENT APARTS BY VOLUME
 3 ADRIFORM FERTILIZER TABLETS
 3 PER EACH IS GALLON PLANT 4 TABLETS
 B PER EACH IS GALLON PLANT 1 TABLETS
 C PER EACH I GALLON PLANT 1 TABLET
 S BOX TREES 1 TABLET PER 1/TRUMS CALIPER
- T PREPARATION:

 VERIFY THAT FINAL GRADES HAVE BEEN ESTABLISHED PRIOR TO BEGINNING PLANTING.
- VERHY THAT THREE DANCES BY USE AND STATE CONTENT IS SO GREAT THAT EXCESSIVE COMPACTIONS.

 2. DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESSIVE COMPACTION WILL OCCUR NOR WHEN IT IS SO DRY THAT OURT WILL FORM IN THE AIR OR THAT CLODS WILL NOT BREAK READILY. APPLY WATER AS REQUIRED TO PROVIDE IDEAL MOISTURE FOR FILLING AND FOR PLANTING.

 3. REMOVE AND DISPOSE OF ALL WEEDS AND BURIED DEBRIS FOUND UPON ANY EXCAVATION TO ANY CONVENIENT LEGAL DUMP OR OFFSITE LOCATION AT NO EXPENSE TO THE ROMBER.
- MAKE ALL SOIL AREAS SMOOTH AND EVEN WITH FINISH GRADES 1' BELOW THE SURFACE
- TO THE OWNER.

 AMARE ALL SOIL AREAS SMOOTH AND EVEN WITH FINISH GRADES 1" BELDW THE SURFACE OF WALKS, PAVED AREA AND CURBS AND SIGHTLY LESS THAN FUSH WITH CATCH BASINS, MANNOLES, CLEANOUTS, VALVE BOXES AND SIMILAR FEATURES.

 5 CULTIVATE ALL AREAS TO BE PLANTED (ENCEPT SLOPES GREATER THAN 3:1) TO A DEPTH OF AT LEAST 6" SO THAT THE SOIL IS, LOOSE AND FINISLE FOR THE TOP 2" OF SOIL IN ALL CULTIVATED AREAS, REMOVE ALL STONES, ROOTS, AND OTHER DELETERIOUS MATTER, WHICH MIGHT BE HINDRANDECT TO FLANTING AND MAINTENANCE B. FOR PLANTING AREAS, UNFORMATIVE SOF CONTROL OF THE TOP 2" OF PLANTING AREAS, UNFORMATIS BY MEANS OF ROTOTILLER OR ACCEPTED EQUIA.

 U. PLANTING:

 1 DO NOT COMMENCE PLANTING URTIL ALL CONSTRUCTION WORK, GRADING, SOIL IMPROVEMENTS AND IRRIGATION SYSTEMS INSTALLATION HAVE BEEN COMPLETED.

 2 WHEN PLANT MATERIAL IS SPACE IN BOWS, VERIFY THE TOTAL DIMENSION AND SPACE PLANTS EQUIAL "WITHIN THE DESIGNATED AREA WHERE PLANT MATERIAL IS SHOWN IN A RANDOM PATTERN, SPACE THE MATERIAL AS SHOWN IN THE DRAWNINGS AND AS DIRECTED BY THE LAND ARCHITECT SPACE GROUND COVER FLANTINGS AND AS DIRECTED BY THE LAND ARCHITECT SPACE GROUND COVER FLANTINGS AND AS DIRECTED BY THE LAND ARCHITECT SPACE GROUND COVER FLANTINGS AND AS DIRECTED BY THE LAND ARCHITECT SPACE GROUND COVER FLANTINGS AND AS DIRECTED BY THE LAND ARCHITECT SPACE GROUND COVER FLANTINGS AND AS DIRECTED BY THE LAND ARCHITECT SPACE GROUND COVER FLANTINGS AND AS DIRECTED BY THE MAINTANCE BUILDICATED IN

- DIRECTED BY THE LAND ARCHITECT SPACE GROUND COVER PLANTING AS INDICATED IN A RANDOM PATTERN AND NOT IN STRAIGHT ROWS. EXCAVATE PLANT PITS AS INDICATED ON DRAWINGS
- 3 EXCAVATE PLANT PITS AS INDICATED ON DRAWINGS
 4 PROVIDE GRAVE FILLED AUGER DRILLED DRAINAGE SUMPS FOR ALL TREES AS INDICATED ON THE DRAWINGS. SEE PLANT DETAILS FOR NUMBER AND SIZE.
 5 SET PLANTS IN PLANT PITS SO THAT THEY BEAR THE SAME ARELATION TO SOFT LEVEL WHEN PLANTED AS THEY DID WHEN IN CONTINER CENTER PLANT IN PIT 6 BACKFILL PLANT PIT WITH SPECIFIED MIX. BACKFILL PIT WITH SOIL MIX. TO HALF ITS DEPITH AND WATER THOROUGHEY, BACKFILL PLANTINGER OF PIT WITH SOIL MIX FIRM DOWN ELIMINATING ALL AIR POCKETS DO NOT PACK FORM A SHALLOW BASIN AROUND THE PLANTS IN BIMBEDIATELY AFTER PLANTING TO SATURATE THE ROOT BALL AND BACKFILL WATER PLANTS IN BIMBEDIATELY AFTER PLANTING TO WITHIN 3" OF TOP 5 IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE, ALL BEADS AND PITS SIMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETE.

- A STAKE TREES DESIGNATED TO BE STAKE AS PER DETAIL, WITH STAKE ON
- WINDWARD SIDE TO TREE

 5 SET TREES IN PLANT PIT, DRIVE ONE TREE 5TAKE 38" TO FIRM SOIL MEXT TO ROOT
 BALL, BACKFILL PIT WITH PREPARED SOIL MIX.

 5 SEQURE TREE TO STAKE WITH TWO "CINCHITIES" PER MANUFACTURER'S

 5 SECONDER TREE TO STAKE WITH TWO "CINCHITIES" PER MANUFACTURER'S

 5 SECONDER TREE TO STAKE WITH TWO "CINCHITIES" PER MANUFACTURER'S
- RECOMMENDATIONS

 2 DOUBLE STANE

 A SET TREES IN PLANT PIT, DRIVE ONE LODGEPOLE THEE STRAKE TO FIRM SOIL NEXT
 TO THE ROOT BAIL ON EACH SIDE AND BACKFILL PIT WITH PREPARED BOIL MIX.

 D SECURE TREE TO STAKES WITH TWIST-BRACE PER MANUFACTURERS
 RECOMMENDATION.
- FRUNNG

 1 PAUNE PLANTS ONLY AT THE TIME OF PLANTING AND ACCORDING TO STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT PRUNING TO BE DONE UNDER SUPERVISION OF THE LANDSCAPE ARCHITECT REMOVE DEAD WOOD, SUCKERS AND BROKEN OR BADLY BRUISED BRANCHES TREES, WHICH HAVE DAMAGE OR CROOKED LEADERS, UNLESS SPECIFIED, SHALL BE REJECTED, USE ONLY CLEAN, SHARP TOOLS, PAINT CUTS OVER 3" DIAMETER, COVERING EXPOSED AREAS WITH TREE PAINT.

avrp. adios

Tuj salpt Street Salts 200 San Dreiss Corporate 92/101

917 196 2100 F 816 724 2636

ATTACHMENT

9

BLD PERMIT GUBM

DEV PERMIT RE-SUBM

4/17/2015

AVER STUDIOS CLIENT! AGENCY

SHEET FILE

SHEET PRIMITED

32 of 33

14023.01

ATTACHMENT

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SPECIFICATIONS

L4.00

ATTACHMENT

703 Him-House Surv 300 Sear-Deeps Conforms 82101 H 010 Yes TTOO F 310 TES 3500 ofers Fritalisms for ARCOTTC: STANK

avrpstudies

miasi Melfelbegh Lorings Arthretise, ec.

They would be seen

DEV. PERMIT RE-SUBM

TEXTURED NO SUP FINISH

TEXTURED NO SUP FINISH

PROTECTIO AND CURING:

PROTECTI CONDETE ADDINST RAPID DRYING AND DAMAGE BY RAIN, KEEP MOIST
FOR AT LEAST 7 DAYS AFTER PLACING AND PROTECT BY WET BURLAP, CANVAS
COVERING OR, LIQUID CURING COUNDUIND CURING THIS PREVIOL, MAINTAIN
CONCRETE ABOVE 70 DEURSES F FOR AT LEAST 3 DAYS, OR ABOVE 50 DEGREES F
FOR AT LEAST 5 DAYS

SUBJECT FROM WHICH FORMS ARE REMOVED WITHIN 7 DAYS AFTER POURING
SHALL BE SPRAYED DURING THE CURING FERIOD AS FREQUENTY AS DRYING
CONDITIONS MAY REQUIRE CONCRETE COVERING SHALL SE A TYPE THAT I YELL NOT
3TAIN OR DISCOLOR FINISHED CONCRETE SURFACES

1 CURE CONCRETE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI MANUAL
OF CONCRETE PRACTICE
YICHMOS

"ATCHING".

FILL ROCK POCKETS, "HONEY COMBS", AND OTHER HOLES REBULTING FROM REMOVAL OF HAULS, THES AND SPIELADERS, AND LIKE ITEMS WITH MORTAR FORMED FOR CHANNES AND FILE ADDRESSANCE IN THE PROPORTION USED IN CONCRETE WITH CHANNES FOR MICH. OF CHANNES AND SOLID CONCRETE. FORMING PERPENDICULAR OR SUICELLY UNDERCUT ENGES, WATCH SURROUNDING COMPRETE BURFACES IN FOLICE.

DLEAN UP INTERESTON OF WORK UNDER THIS BEGTION, CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL SUPPLUS MATERIALS. TOOLS, EQUIPMENT, RUBSISH AND OESBIS RESULTING FROM THE WORK, A HIS OWN EXPENSE.

04000 MASONRY

CORNER RADUS

CORNER RADUS

PROVIDE JOINTS

PROVIDE JOINTS AT LOCATIONS AND INTERVALS SHOWN ON THE PLANS AND WHERE CONCRETE PAVING ABUTS BUILDINGS, CURBS OR OTHER STRUCTURES

JOINT AMERIALS SHALL BE PLACED WITH TOP EDGE 16 INCH SELDW PAVED SURFACE SECURELY HOLD IN PLACE TO PREVENT MOVEMENT

JOINTS AND OTHER EDGES SHALL BE FORMED IN THE FRESH CONCRETE USING AN EDGING AND JOINTING TOOL TO PROVIDE A SMOOTH UNIFORM BREGSSION. AND JOINTING TOOL TO PROVIDE A SMOOTH UNIFORM BREGSSION AND FILED WITH JOINT COMPOUND WHERE DETAILS BE CAREFULLY CLEANED AND FILED WITH JOINT COMPOUND WHERE DETAILS AND APPLICABLE TO 36 INCH SELDWE ADJACENT PAVED SURFACES OR OVERFLOW FROM JOINT

OVERFLOW FROM JOINT

THISHES.

© DUMPACT AND TAMP CONCRETE AS SPECIFIED HERBIN (UNLESS RETARDANT FINISH IS SPECIFIED. GEE "HASHES", TO BRING 38 INCH OF MORTAR TO SURFACE, FLOAT WITH WOOD SCREEDS AND FLOATS GNLY, AND APPLY POLLDWING FINISHES AFTER SURFACE WATER MAS DISAPPEARED. REMOVE ANY EXCESS WATER REPOUGHT TO SURFACE BY FLOATING, DO NOT USE STEEL, OR ANY PLASTIC SCREEDS, FLOATS, OR FREENS OFF INTIAL FLOATING AND SCREEDS OF OFF ANTONIONS.

D. AL CONCRETE FIRSHES SHALL BE LISTED ON THE DRAWNING.

B. SOUGH TROVEL SWILL FROM STOOD FOR DOUGH TROVEL SURFACE FINISH TO SLAB SOUGH, TROVEL SWIFT, BROWN THOSE CONTROL SURFACE SWIFT TO A LIFEORY, SMOOTH, GRANULAR TEXTURE.

LIFEORM, SMOOTH, GRANULAR TEXTURE.

LIFEORM, SMOOTH, GRANULAR TEXTURE.

LIFEORM, SMOOTH, GRANULAR TEXTURE.

LIFEORM, TOWNEL FINISH IS SOMA AS STEEL FLOAT FIRING, LOCOTE PLEFORM FINAL TROWNELING WITH CIRCULAR MOTION AND SLIGHT LIFTING OF TROWNE TO PRODUCE A UNIFICIAL TEXTURE.

02515 PORTLAND CEMENT CONCRETE PAVING

REQUIREMENTS OF REGULATORY AGENCIES:
ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST FULES AND
REGULATIONS OF SAFETY DOBERS OF DAYISION OR INDUSTRIAL SAFETY AND ALL OTHER
APPLICABLE LAWS AND REGULATIONS OF THE GOVERNING JURISDICTION

B APPLICABLE STANDARDS

ANY REFERENCE TO THE SYANDARD EPECIFICATIONS, "ASTM" OR "AC" MANUALS SHALL MEAN THE CURRENT OR LATES EDITIONS

1 STANDARD SPECIFICATIONS STANDARD SPECIFICATIONS FOR PUBLICS WORKS

CONSTRUCTION

2. STANDARDS:

a ASTAL AMERICAN COCIETY OF TERTIMS AND MATERIALS.

5. ACID AMERICAN CONCRETE INSTITUTE MANUAL OF CONCRETE PRACTICS.

5. ACID AMERICAN CONCRETE INSTITUTE MANUAL OF CONCRETE PRACTICS.

5. ASSECTION OF THE SITE:

5. EXAMINE RELATED MORN. AND SURFACES BEFORE STARTING WORK IN THIS SECTION REPORT TO THE OWNER, VERBALLY, SITE CONSITIONS WHICH MILL PREVENT THE PROPER FROMSHORS OF THIS WORK. RECINING THE WORK IN THIS SECTION WITHOUT REPORTING UNBUTTABLE CONDITIONS TO THE COWNER CONSTITUTES ACCEPTANCE OF SITE CONDITIONS BY THE CONTRACTOR ANY REQUIRED REMOVAL. REPAIR OR REPLACEMENT OF THIS WORK

CAUSED BY UNSUITABLE CONDITIONS SHALL BE DONE AT NO ADDITIONAL COST TO THE

DANGER OF CONTINUES CONDITIONS SPACE OF DOMESTING ADDITIONAL COST TO THE DANGE OF CONTECTION OF ENSTING CONDITIONS.

PROTECTION OF ENSTING CONDITIONS.
CONTRACTOR SHALL ACQUAINT HIMBELF WITH ALL SITE CONDITIONS SHOULD DANAGE BE NOURBED, THIS CONTRACTOR SHALL REPEAR DANAGE TO ITS DRIGHALL CONDITION OF FURNISH AND WISTALL EQUAL REPLACEMENT AT HIS OWN EXPENSE, TO THE SATISFACTION OF THE OWNER.

E COORDINATION.

A CONDITIONAL

CORDINATION.

1. COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS TRAFICLY AND AS EFFICIENTLY AS POSSIBLE.

2. COORDINATE WITH CORRESPOND FOR THE STATE OF DITHER TRADES TO BE PURNISHED AND SET IN PLACE SUCH PORTION OF EMBEDDED, BULLTIN, ATTACHED TO, BUILPONTED BY THE WORK SHOULD BE DESCRIBED BY THE WORK AND THE WORK AS NOT DELAYED. ANY CUTTING OF PARCHMEN AND EMBEDGED AND SET IN PLACE SUCH PORTION OF PARCHMEN AND EMBEDGED AND THE WORK AS NOT DELAYED. ANY CUTTING OF PARCHMEN AND EMBEDGED AND ASSETTING THE STATE OF THE WORK AS NOT DELAYED. ANY CUTTING OF PARCHMEN AND EMBEDGED AND THE STATE OF THE STATE OF

F APPROVAL.
WHENEVER THE TERMS APPROVE, 'APPROVAL, OR APPROVED ARE USED IN THE SPECIFICATIONS. THEY MEAN APPROVAL OF THE DWINESPONDER REPRESENTATION.

VERBALLY, OR IN WHITIMO

O SUBMITTIAN

AT LEAST 10 DAYS AFTER AWARD OF CONTRACT, CONTRACTOR SHALL SUBMIT FOR
APPROVAL SAMPLES. AND/OR MACHEROTURERS LAYEST CATALOG CUTS, AND,
SECLICATIONS OF THE FALLOWING PRICE TO RECONSING WORK, APPROVED SAMPLES
SHALL BE STANDARDS FOR COMM. STRAND WORK.

1 1) 2 X 2 X 2 SAMPLE FOR EACH 1792 OF CONCESTING WORK.

2 COLOR SAMPLES FOR EACH 1792 OF CONCESTING WORK APPROVED SAMPLES FOR EXPANSION OF CONCESTIONS

3 LL SUBMITTAL DAYS SHALL BE PORTWARD IN A SINGLE PACKAGE TO THE OWINER.

THE MANUS.

WITHIN IS DAYS OF THE AWARD OF THE CONTRACT, UNLESS CHITESTINGS AND SOVERAL THE OWNERS.

IS SUBSTITUTIONS:

IS PRECIFIC RESPRENCE TO MANUFACTURER'S NAMES AND PRODUCTS SPECIFIED IN THIS SECTION ARE USED AS STANDARDS. THIS IMPLIES NO RIGHT TO SUBSTITUTE DYNER MATERIAL OR METHODS INTRODUCT HE APPROVAL BY THE OWNER AND WITHOUT ADDITIONAL COST TO THE OWNER DUSTACTORS RESPONSIBLITY ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTIONS US CONTRACTORS RESPONSIBLITY ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF THE OWNER AND WITHOUT ADDITIONAL COST TO THE DAMAGE.

OWNER

ANALYSIS OF SAMPLES AND TESTS:

INFO OWNER BYALL SELECT A CUALIFIED TESTING LABORATORY TO TAKE SAMPLES FOR TESTING SUPPLY SELECT A CUALIFIED TESTING LABORATORY TO TAKE SAMPLES FOR TESTING SUPPLY SELECT A CUALIFIED THE SESSARY. COST OF SUCH TEST WILL BE PAID FOR BY THE OWNER, CONTRACTOR SHALL COOPERATE IN MAKING TEST AND SHALL BE RESPONSIBLE FOR NOTIFICIAL THE DESIGNATED LABORATORY IN SUPPLICIENT THAT TO ALLOW TAKING OF SAMPLES AT THAT OF POUR SHALL REMOVE ALL SUCH CONCRETE FROM THE SITE FULL COSTS OF REMOVAL OF SHALL REMOVE ALL SUCH CONCRETE FROM THE SITE FULL COSTS OF REMOVAL OF RESCRIED CONCRETE. ITS REPLACEMENT WITH CONCRETE OF SPECIFIED STRENGTH, AND RETESTING SHALL BOTHER BY THE CONTRACTOR.

WARRANTES ALL WORK SHALL BE WARRANTES OR WARRANTES, ALL WORK SHALL BE WARRANTES FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEFECTS IN MATERIALS AND WORKMANISHIP BY CONTRACTOR WARRANTY SHALL ALSO COVER REPAIR OR DAMAGE TO ANY PART. REWROTICEMENTS, OF THE PREMISES RESULTING FROM DEFECTS IN MATERIALS AND WORKMANISHIP TO THE SATISFACTION OF THE DWINER WARRANTS AND WORKMANISHIP TO THE SATISFACTION OF THE DWINER

MATERIA:

 A DEPOSIT CONCRETE CONTINUOUSLY IN LAYERS OF SUCH THICKNESS THAT NO CONCRETE WILL BE FLACED ON CONCRETE WHILE FLACED ON CONCRETE WHICH HAS HARDENED SUFFICIENTLY TO CAUSE FORMATION OF SEAMS OR FLAKES OF WEAKNESS WITHIN THE SECTION.

IF A SECTION CANNOT BE PLACED CONTINUOUSLY, PROVIDE CONSTRUCTION JOINTS.

DIF A SECTION CONTROL OF CHARGE AT SUCH A RATE THAT CONDRETE, WHICH IS BEING AT SUCH A RATE THAT CONDRETE, WHICH IS BEING INTEGRATED, WITH FRESH CONCRETE IS STILL PLASTIC.

DEPOST CONCRETE AS NEARLY AS PRACTICAL IN 1TS FINAL LOCATION SO AS TO AVIOL SEGREGATION OF REPHANDLING AND PLOWING DO NOT SUSJECT CONCRETE TO ANY PROCEDURE, WHICH WILL CAUSE GEORGEATION.

2 DO NOT USE CONCRETE, WHICH SECURISE NOTIFICATION AND UNWORKABLE, OR DOES NOT WEET REQUIRED QUALITY CONTROL LIMITS, OR HAS SEEN CONTAMINATED BY STORDERS MATERIALS.

2 PORCESS MALECULES.
2 DOMSTRUCTION JOINTS.
4 SCORE JOINTS SHALL BE AS SPECIFIED ON DRAWINGS FORM IN FRISH
CONCRETE USING A JOINTER TO CUT THE GROVE TO A SMOOTH, UNIFORM
MAPRESSION FINISH JOINTS SHALL BE NO WIDER THAN 11

ERBALLY, OR IN WRITING

TROWELING WITH CIRCLEAR MOTION AND SLIGHT IF TIME OF TROWEL TO PRODUCE A UNIFORMLY TEXTURIZED OND-SLIP FINISH.

IS SCRATCH FINISH PROVIDE SCRATCH FINISH TO SLAB SUBFACES THAT ARE TO RECEIVE MORTER SETTING BEERS FOR THE AS NOTED ON DIDAWHOS.

II, SAND FINISH RUB COMCRETE SUBFACE WITH DAMP SPONCE AND SAND OR WITH BRISTLE BRUSH AND FLOOD SUBFACE OF SAND IS EMPORE SLIGHTLY AND RESUL THAT SURFACE & SIMILAR TO MEDIUM GRIT FANDPAPER.

IS TEEL TROWEL FINISH ARTER SURFACE WATER DISAPPEARS AND FLOATED SURFACE & SUFFICIENTLY HARDERED, STEEL AND RETROWEL TO SMOOTH, DRINSE, HARD FINISH AFTER SURFACE WATER DISAPPEARS AND FLOATED SURFACE & SUFFICIENTLY HARDERED, STEEL AND RETROWEL TO SMOOTH, DRINSE, HARD FINISH AFTER CONCRETE HAS SET ENDUGH, RETROWEL TO SMOOTH, DISASCE TO THE THE PROPERTY OF A SMOOTH, UNITORN FINISH FREE OF TROWEL MARKS OR OTHER BLEMSHES AVOID EXCESSIVE TROPAGE AND THAT THOSING THE BUSINESS AVOID EXCESSIVE

IJMETORM PINISH FREE OF TROME! MARKS OR OTHER REMASHES AVOID EXCESSIVE TROMENING FIAT PROQUECES BURNED ARES SERED AGGREGATE FIASH IMMEDIATELY AFTER THE SLAB HAS BEEN SCREEDED AND. EVENTY SPREAD AGGREGATE SEED AND TAMP INTO CONCRETE 30 NOT MORE THAN 176 INCH OF STOME EXPOSED. AFTER THE CONCRETE HAS ALMOST TOMPLETELY SET, BROOM AND HOSE DOWN SURFACE TO ACHEVE FRIEND OF APPROVED SAMPLE, RECUT SCORE LINES AND SHOOTH EDGES OF SLAS. FINISH OF APPROVED SAMPLE, RECUT SCORE LINES AND SHOOTH EDGES OF SLAS. FINISH OF APPROVED SAMPLE, RECUT SCORE LINES AND SHOOTH EDGES OF SLAS. FINISH OF APPROVED SAMPLE, RECUT SCORE LINES AND SHOOTH FOWERED AND JOINTS HAVE BEEN FORMED, SPREAD ROOK SALT AT A RATE OF ONE POUND OF CRYSTALS PER 10 SIDLAR FEET OF CONCRETE SLAFFACE. TAMP CONTRALS INTO PLACE TO THE DEFITH REQUIRED TO GRITAN AND ACCEPTABLE TOKINGLAS INTO PLACE TO THE DEFITH REQUIRED TO GRITAN AND ACCEPTABLE TOKINGLAS INTO PLACE TO THE DEFITH REQUIRED TO GRITAN AND ACCEPTABLE TOKINGLAS INTO PLACE TO THE PROPER THE

THE SANDBLAST FINISH.

1 ALL SHALL CONFORM TO APPLICABLE OSHA AND EPA STANDARDS.
2 CONTRACTOR SHALL SCHEDULE IN THIS WORK TO BE EXECUTED WITH AS LITTLE CONFLICT WITH OTHER TRADES AS POSSIBLE IN RECESSARY, DONTRACTOR SHALL BE RESPONDENCE FOR THE PROTICTION OR MASKING OF ADJACENT SHALL BE RESPONDENCE FOR SAMPLES OF BLASTING WILL BUT LET EXPOSED. JANDISCAPE ARCHITECT SHALL BE PRESENT AT TIME OF SAMPLE BLASTING AND APPROVE OF DISCINES BING. BE TAKEN TO PROTECT ALL ADJACENT SUFFICES FROM DAMADE, WHICH HAR BY THE FLOWING SAMDLASTING.
5 SANDBLASTING SHALL BE ACCOMPLISHED USING GUALIFIED WORKMEN FAMILIAR WITH THE PROPER TECHNIQUE HE BY THE DRYAMON METHOD. UTILIZING APPROPRIATE GUILDPRICH AND ADEQUATE PRESSURE ASHASIVES SHALL BE WASHED SILICA SAND PYCE FROM SALT, CLLY, NO OTHER FOREIGN MATERIAL BE WASHED SILICA SAND PYCE FROM SALT, CLLY, NO OTHER FOREIGN MATERIAL BE WASHED SILICA SAND PYCE FROM SALT, CLLY, NO OTHER FOREIGN MATERIAL BE WASHED SILICA SAND PYCE FROM SALT, CLLY, NO OTHER FOREIGN MATERIAL BE WASHED SILICA SAND PYCE FROM SALT, CLLY, NO OTHER FOREIGN MATERIAL BE ALLOWED THE SANDRASTING OF THE APPROVED SAMPLES.

ALL CONDETE AREAS REQUIRING PATCHING SHALL BE PATCHED, WITH ALL ROUGH POTCH AND INEVENDESS IN CONCRETE SURFACE GROUND SKOOTH

WASH DOWN CONCRETE SANDE ASTED SURFACES PROMPTLY TO REMOVE SAND AMO DUST L'ORD COMPLICION. REMOVE FROM SITE ALL SURPLUS AND WASTE MATERIALS FROM THIS WORK

MITERALS FROM THE YOUNG.

IS STAMPED CONCRETE BOMANITE FINISH

COORDINATION: THE LICENSE CONTRACTOR AND OTHER TRADES, WHOSE WORK
MAKES IT WEEKSSAMY FOR THEM TO COORDENATE SHALL COORDINATE THER
WORK SO AS NOT INTERFERSE WITH EACH OTHER.
PATTERINE THE PATTERN SHALL SEA SHOTEON THE DRAWMOS

9 PLACING. THIS CONTRACTOR SHALL FURNISH AND PLACE THE PATTERNED
CONCRETE AND ALL WORK MEDESSAMY FOR MAKING, ENIBRING, CURING,
EXPANSION ANDORD CONTRACTOR JOINTS AND STRIPPING FORMS

APERIADON FINISH.

I RETARDANT FINISH

CONCRETE MY DESIGN AN EXTREMELY COARSE MY CONTAINING THE GREATEST POSSIBLE PERCENTAGE OF ME INCH TOP SIZE AGGREGATE AND A MINIMAL MARKED AND A MINIMAL THE CONCRETE SHOULD BE PLACED AND CONSOLIDATED SO AS TO COMPLETELY THE ALL SPACES IN THE FORMS TAMPING WILL MOT BE PERMITTED BECAUSE THE ACOPICIDATE MIST SHEAM MEAN THE RIMITARE FINISH ALTER EXPOSURE APPLY A WOOD PLOAT FAIGH, WHICH MILL PERMIT SHE NIGH BY

LATER EXPOSURE. APPLY A WOOD FLOAT FINISH, WHICH WILL PERMIT 316 HIGH DE AGGREGATE EXPOSURE.

3. APPLICATION OF RETARDER: AS SOON AS THE PALLOWING HAS BEEN COMPLETED. APPLICATION OF RETARDER HAS 11 THOTHER OF LIM SCOPIELD, (213) 755-1712. PER SCOPIELDS APPLICATION INSTRUCTION 7203 00. ONCE THE RETARDER HAS BEEN APPLIED, COVER THE SUPPLACE WITH PLASTIC SHEETING OR CURNISP PAPER TO ACHEVE DEEPER AGGREGATE REVEAL.

4. AGGREGATE EXPOSURE: THE RETARDER SHOULD BE REMOVED BETWEEN BIGHT AND TWENTY HOURS AFTER PLACEMENT BY SANDBLASTING OR WITH A COARSE FIREPER OR RUST RESUSTANT WINE SCHUL BRUSH AND JET OF WATER A CLEAN BEALER SHALL BE APPLIED SO THAT THE SURFACE SHALL BE COVERED AFTER AGGREGATE FEDORS WITH HAS THE PLANTAGE STAFF.

CLEAN SEALER SHALL BE APPLIED SO THAT THE SURFACE SHALL BE COVERED AFTER ADDRESCATE EXPOSURE WITH NEW MON STAINING PAPER.

SURFACE SEALER IF EFFLORESCENCE OR ALKAL STAINING IS EVIDENT AFTER THE SURFACE WITH YEAR SHALL BE ADDRESCENCE SURFACE WITH A SMLD MURIANC ACID. SOLUTION JUSUALLY A 10.1 DILUTIONI THAT FAME DIMERANCE ACID. SOLUTION JUSUALLY A 10.1 DILUTIONI THAT FAME SEEN FLORED WITH DUTTED LITTOCHOME FLOOR CLEANER WITH MUTTER AND CLEANER WITH DUTTED LITTOCHOMER FLOOR CLEANER BY LM. SOLOFIELD OR EQUAL NINSE ADAM AND DRY THOROUGHLY AFTER THE ADDRESCENT AS CURPLE AT LEAST DIME MORTH. THE RETARDED SURFACE SHALL BE THOROUGHLY WASHED WITH FRESH, CLEAN WATER AFTER CONCRETE IS THOROUGHLY WASHED WITH FRESH. CLEAN WATER AFTER CONCRETE IS THOROUGHLY WASHED WITH FRESH. CLEAN WATER AFTER CONCRETE IS THOROUGHLY WASHED WAS EAST OF ADJAL MIX PENETRATING SEALER (714) SELBATÍA AT THE RATE OF 200 SE PER DALLON ALLOW A HOURS BEFORE APPLYME WATER TO VERTEY WATER BEADS. IF NOT, APPLY A LIGHT SECOND COAT. REFER TO ADJALMY SPECIFICATIONS FOR COMPLETE MISTRUCTION IN MERCIA TELLY AFTER SLAB HAS BEEN SCREECED AND FLOATED. THE SURFACE SHALL BE SROOMED IN DIRECTION AND DESTTAIN STRUCTION.

ORTAR:

1 UBC TYPE 'S' WITH A MINIMUM COMPRESSIVE STRENGTH AT 26 DAYS OF 2000 PSI

2 FRESHLY PREPARED AND UNIFORMLY MIXED IN THE RATIO BY VOLUMES:

1 PART PORTLAND CEMENT

6 Y PART UNIF PUTTY

C 3-1/2 PARTS SAND a IF PLASTIC TYPE CEMENT USED, OMIT LIME PUTTY

* 1 PART PORTLAND CEMENT h 3 PARTS SAND a 9 PART PERTLAND CEMENT E 3 PARTS SAND C 3 PARTS PEA GRAVEL

C. OPICIATE OF MACHET

C. CONCIDETE UNIT MASCRAFT

GRADE A CONFORMING ASTA COD AND DIMENSION AS SHOWN ON DRAWINGS

D. SUBMIT REPRESENTATIVE SAMPLE OF EACH TYPE OF UNIT MASCRAFT OR STONE FOR

ACCEPTANCE BY DYMER PRIOR TO WISTALLATION



1/28/2015

3/04/2015

4/17/2015

STRUCTURE DATES DEV. PERMIT SLIRM 11/06/2014 DEV PERMIT RE SLIBM BLO PENMT BUSIN DEV PERMIT RE-SUMM

TOR CHARLS

IRVING

PROJECT NAVE

INDIANA STREET
APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBERS

CLIENT AGENCY 643 640 CHEET TITLE

SHEET NUMBER

L4.01

PLANT ESTABLISHMENT. THE PLANT ESTABLISHMENT PERIOD SHALL BE FOR A MINIMUM PERIOD OF 80 CALENDAR DAYS AND THE PLANT ESTIBLISHMENT PERIOD BHALL BE FOR A MINIMUM PERIOD OF BULDWAY DAYS AND SHALL BE COMMITTED BEFORE THE LANDSCAPE ARCHITECT WILL RECOMMEND ALCEPTANCE OF THE CONSTRUCTION CONTRACT BY THE OWNER 2. PLANT ESTABLISHMENT PERIOD WILL BE EXTENDED BEYOND THE SPECIFIED PERIOD WHEN PLANTINGS HAVE NOT REACHED ESTABLISHMENT IN ACCORDANCE WITH THE SPECIFICATIONS. ANY DECISIONS RECAMBLE AND END AND STABLISHMENT SHALL BE DETERMINED BY THE

02499 PLANT ESTABLISHMENT AND MAINTENANCE

DELIBITIONS RELIABILIST OF THE ESTABLISHMENT PERIOD, ORDINAL COVERS AND TURE CRUSSESS.

2. PRIOR TO COMPLETE OF THE ESTABLISHMENT PERIOD, ORDINAL COVERS AND TURE CRUSSESS.

3. PRIOR TO COMPLETE OF LINEDRIAL COVER WHITER & MIMEMIAL OF AN DEPLICATION OF THE ASPET DEPMINATION PROCESSING CERTIFIED BY THE SEED SUPPLIER HAS GERMINATED AND PRESENTS A HEALTHY, VIGORIOUS DOLOR AND SHALL EXHIBIT DROWN'TH TO A MINIMUM OF ONE HICH IN HELIOH COPPLETION OF THE ESTABLISHMENT PERIOD SHALL NOT EXHIBIT DIE BACK AT COMPLETION OF THE ESTABLISHMENT PERIOD SHALL NOT EXHIBIT DIE BACK AT COMPLETION OF THE ESTABLISHMENT PERIOD SHALL NOT ENDW DIE BACK A RAY SEEDED AREA, WHICH HAS NOT DEVELOPED ACCEPTABLY IN JUDGMENT OF THE CANDICATE ARCHITECT. SHALL BE RESEEDED STEED AS THE CONTRACTOR NO COMPRESATION SHALL BE MADE FOR RESEEDING AREAS WHERE SEED HAS NOT GERMINATED AND GROWN.

5 REVISED AS TREES, WHICH ARE DEAD OR SHOW EVIDENCE OF DIE-BACK SHALL BE REPLACE BY THE CONTRACTOR WITH NEW, VIGOROUS AND HEALTHY PLANTS.

THE CONTRACTUAL MAINTENANCE PERIOD SHALL EXTEND FOR SO CALENDAR DAYS FROM THE DAY

THE CONTRACTUAL MAINTENANCE PERIOD SHALL EXTEND FOR SO CALENDAR DAYS FROM THE DATE

OF ALCEPTANCE OF THE CONSTRUCTION CONTRACT AT THE OWNER.

OURING THE SPECIFIED MAINTENANCE PERIOD THE PROJECT WILL SE MADE AVAILABLE FOR THE
OWNERS USE THE CONTRACTOR SHALL CONDUCT HIS MAINTENANCE OPERATIONS IN SUCH A
MAINSER AS TO MENDIZE INCONTENENDE TO THE COWNER.

IT IS THE INTENT OF THIS SECTION TO PROVIDE A LEVEL OF MAINTENANCE THAT WILL PREBENT A
PLEASING AND DESIGNABLE APPEARANCE AT ALL THE TIMES

A TURK MAINTENANCE:

WHOM ALL TURK AREAS WEEKLY, OR AS NEEDED TO MAINTAIN THE NEIGHT AS SPECIFIED THE
BOTROMS SHALL BE NEATLY EDOED THAT ADDING SPRINKLER HEADS AS NEEDED TO
MAINTENANCE WHEN COMESNICE REJOYNE ALL DUTTHOSD

IN MICH COTOBER THROUGH MAY)

1 TAY (DOTOBER THROUGH MAY)

1 TAY (DOTOBER THROUGH MAY)

1 TAY (DOTOBER THROUGH MAY)

IN PRICATE TURK AS NEGEBERY TO MAINTAIN PROPER GROWTH RATE AND DEPTHALA
APPEARANCE

MAINTAIN TURK AREAS IN A WEEL-FREE CONDITION APPLY A PRE-EMERGENT GRABGRASS

APPEARANCE

MANHAN TURN AREAS IN A WEEL-FREE CONDITION APPLY A PRE-EMERGENT CRARGERS
CONTROL TO ALL TURN AREAS SETWEEN FERRUARY 16 AND APRIL 16 BEFORE SOIL EXCERDS
84-90 DIGRREES F. INITIATE CHEMICAL DOWNTROL OF BROADLEAF WEEDS AS REQUIRED TO
MAINTAN A WEED FREE TURY CONDITION.
ADJUST WATER APPLICATION TO COMPENSATE FOR CHAMBES IN THE WEATHER. CONTRACTOR
WILL BE RESPONSILE FOR CHAMBES OCCURRING DUE TO UNICER WATERING OR OVER
WATERING
1 ALL REP ACEMENTS SHALL BE MADE WITN ORIGINAL TYPE MATERIAL PROPROVED BY LANDSCAPE ARCHITECT DAMAGES.

APPROVED BY LANDSCAPE, ARCHITECT

J. REPAIR, ON REPLACEMENT OF EQUIPMENT DAMAGED AS A RESULT OF THE CONTRACTOR'S

REG. ISENCE SHALL BE REPORTED PROMPTLY TO THE OWNER

ALL SYSTEMS SHALL BE REPORTED ROMENT. YE OF THE OWNER

ALL SYSTEMS SHALL BE REPORTED FOR THE OWNER

ALL SYSTEMS SHALL BE REPORTED FOR THE OWNER BY THE OWNER ACTION A MINIMUM OF OMCE A

WEEK

RRIGATION SHALL BE ACCOMPLISHED BETWEEN 18 F M AND 7 A M IRRIGATION SCHEDULE AT

OTHER TIMES SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT

OTHER TIMES SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.

BY CREEK AMAINTENANCE:

BY VECETATION, EITHER NOW OR PREVIOUSLY EXISTING, SHALL BE PRUNED OR TRIMMED TO PREVENT OVERHANGING SIDEWALKS AT LEAST SEVEN FIRST IN HEIGHT OR AT ROADWAYS AT LESS THAN FOURTEEN FEET IN HEIGHT.

LALL OPERATIONS SHALL BE CONDUCTED SO AS TO PROVICE MAXIMUM SAFETY TO THE PUBLIC CLAVES, PAPER, RECED AND ANY OTHER DEBRIS SHALL BE REMOVED FROM LANDSCAPE AREAS AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.

A CONTRACTOR WILL CLEW SIDEWAYS, ROADWAYS, AND ANY OTHER AREAS AFFECTED BY HIS MAINTENANCE OPERATIONS.

A DOMITAGOTOR WILL CLEAN SIDEWAYS, ROADWAYS, AND ANY OTHER RIBES AFFECTED BY HIS MAINTENANCE OPPRATIONS AND THE ARMS AFFECTED BY HIS MAINTENANCE OPPRATION OF ALL TOPGOALTY TYPE" MAINTENANCE OPPRATIONS ARE OBTINED AS: FERTILIZATION, OR SPECIALTY TYPE" MAINTENANCE OPERATIONS AND OFFINED AS: FERTILIZATION, OR SPECIALTY TYPE" MAINTENANCE OPERATIONS AND OFFINED AS: FERTILIZATION, OR SPECIALTY TYPE "MAINTENANCE OPERATION, THE PERCHAPHING, PREVENTIVE AFFI LICENTING OF THE PUNCHING OF ARMS HIS OFFINED AND AND ALL TOPGOESTORY AND AND THROUGH AND TO PREVENT AND AND THROUGH AND TO PREVENT AND AND THROUGH AND TO PREVENT AND AND THROUGH AND TO PROPERTY AND AND THROUGH AND TO PROPERTY AND AND THROUGH AND TO PREVENT ANY TOXIC EXPOSURE TO PERSONS WHETHER OR NOT THEY ARE IN OR ON THE PROPERTY.

9 CONTRACTOR SHALL COMPILE AND MAINTAIN "AS BULL" DRAWN IN INK ON A REPRODUCING MAIL OF THE AND MAINTAIN "AS BULL" DRAWN IN INK ON A REPRODUCING MAIL BE DELINERED TO THE LANDSCAPE ARCHITECT SEPORE ACCEPTANCE OF THE PROPERTY.

LANDSCAPE ARCHTECT
DURING THE CONTRACT PERIOD FOR CONSTRUCTION AND MAINTENANCE. THE CONTRACTOR
SHALL PAY THE COST OF ALL WATER AND ELECTRICITY REQUIRED FREMERS FOR WATER AND
ELECTRICITY SHALL BE HELD IN THE MANE OF THE CONTRACTOR DURING THE CONSTRUCTION
AND MAINTENANCE PERIOD AT COMPLETION OF THE MAINTENANCE PÉRIOD, UTILITY BILLINGS
SHALL BE TRANSFERRED TO THE NAME OF THE OWNER AND ANY PROPORTIONATE MONTRLY
UTILITY BILLINGS SHALL BE FRANKED BASED ON METER READINGS.

03000 CONCRETE PAVING

MINIMUM MATERIAL REQUIREMENTS

1. CEMENT AST CLISS 734, TYPE II IF "LOW ALKAL!" TESTED, BUT TYPE V.IF SULFATE CONTENT OF SOIL
GREATER THAN 0.2%

45.70 \$ 16
15-30 \$ 16
03-36 \$ 100
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SEXECUTION

CONCRETE MUSTS

PROPOSITIONING AND MIXING OF CEMENT, ADDREGATE, ADMIXTURE AND WATER TO ATTAIN MEQUIRED PLASTICITY AND STRENGTH SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF COMMERCIAL TESTING

ENAMY MIL SOURCETE SHILL BE TRUE TO LINE AND GRADE AS INDICATED ON THE DRAWINGS ON THE AND CRADES WORK SHALL BE TRUE TO LINE AND GRADE AS INDICATED ON THE DRAWINGS GONTRACTOR SHALL BE RESPONSIBLE FOR PROPER OF BRANAGE ON ALL CONCRETE PAYING SUPERALES AND DISCOPERANCIES OR GONISSIONS ON DRAWINGS AND CONDITIONS OF THE WHICH WILL PREVAIL PROPER DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE OWNERS REPRESENTATIVE EITHER VERRALLY, OR WRITING, FOR CORRECTION OR RELIEF SEPONE WORK PROCEEDS.

IF HIMSHED PAYING SUPERACES SHALL NOT VARY MORE THAN SINCH MEASURED WITH A 19-FDOT METAL STRAIGHTED BE EXCEPT AT GRADE CHANGES NO "BIRDS, BATHS" ON OTHER BURFACE RIREGUL AND THE OWNER CONSTRUCTION REPRESENTATIVE.

3. BUDGRADE PRETARATION: SUBDIFACE SHALL BE GRADITION THE PRESENTATIVE.

5. BUDGRADE PRETARATION SUBDIFACE SHALL BE GRADITION. THE CONTRECTION REPRESENTATIVE.

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FORMANDAN.

FORMS SHALL BE DONSTRUCTED ACCURATELY TO DIMENSIONS, PLUMS AND TRUE TO LINE AND GRADE FORMS SHALL BE SUBSTANTIAL, MORTAN TIGHT, BRACED AND TIED BO AS TO MAINTAIN POSITION AND SHAPE DURING PLANING OF REINFORCING AND CONCRETE.

b WANY SURFACES AND BILICIED WALLS OR SLAB SURFACES RESULTING FROM SETTLEMENT OR SPRINGING OF FORMAYORS AND LES RESIDECTED.
c. RECESSES PROVIDE ALL REQUIRED RECESSES AND OPENINGS AS SHOWN ON THE DRAWNINGS OR AS MAY BE DIRECTED BY THE DYMENTS REPRESENTATIVE.
a. DETAIL WORK: CARE SHALL BE TAKEN IN ALL DETAILS OF FORMING, SETTING AND REMFORDING EXCEPT WHERE TOOLED CORNERS AND REMOCATED, ALL EXPOSED CONCRETE FINISH WORK.
HAVE SMOOTH, EVEN SURFACES OF DENSE CONCRETE WITH CLEAN, SHARP ARSES AND OUTDING DORSESSED.

OUTSIDE CORMERS

EARTH FORMS BARTH FORMS MAY BE USED FOR FOOTINGS ONLY WHERE SOL IS FIRM AND
STABLE AND CONCRETE WILL NOT BE EXPOSED. EXCAVATIONS SHALL BE CUT NEAT WITH
ACCURATE SIZES ALL EXPOSED CONCRETE SHALL HAVE FORMS EXTENDING AT LEAST 6 INCHES

ACCURACY: FORMS SHALL BE CAREFULLY VERBILED AND CHECKED FOR ALLGAMENT AND LEVEL AS THE WORK PRODECEDS:

§ COORDINATION, AFTER FORMS MAYE BEEN IF, ACED AND APPROVED, CONTRACTOR SHALL SEE THAT ALL OTHER TRADES HAVE BEEN PROPRIET VENTHER AND ARE GIVEN SUFFICIENT TIME TO COMPLETE INSTALLATION OF THEIR WORK. PLACING OF REINFORCING STEEL, SHALL PROCESS OF AS TO AVOID STURBING OF MOVING WORK ALREADY INSTALLED BY ONE TRADE TO ADMIT OF ANOTHER EACH TRADE SHALL BE CHARGES AND EACH HALL REPORT OF REPORT INSTALLATION AND SECURING OF THE WORK OURSHOLD HACHING THE CONTRACT OF ANOTHER BOTTOMS OF EXCAVATIONS FOR FOOTHINGS OR FOUNDATIONS SHALL BE INDUSTRIBLED BATTH. FREE OF WATER, PROPERLY CLEANED PER REQUIREMENTS OF ACIUMDSTURBED BATTH. FREE OF WATER, PROPERLY CLEANED PER REQUIREMENTS OF ACIUMDSTURBED BATTH. FREE OF WATER, PROPERLY CLEANED PER REQUIREMENTS OF ACIUMDSTURBED BATTH. FREE OF WATER, PROPERLY CLEANED PER REQUIREMENTS OF ACIUMDSTURBED BATTH. FREE OF WATER, PROPERLY CLEANED PER REQUIREMENTS OF ACIUMDSTURBED BATTH. FREE OF WATER, PROPERLY CLEANED PER REQUIREMENTS OF ACIUMDSTURBED BATTH. SEPARL SEMILL DING COST OF THE WORK OF ACTIVITIES OF THE PROPERLY IN NOM CASE SHALL SEPARLS OF ACIUMDS OR SHORING BE REMOVED DATE. CONCRETE TO SET PROPERLY IN NOM CASE SHALL SEPARLS OF ACIUMDS OR SHORING BE REMOVED DATE. CONCRETE THE SUPPORTED SET PROPERLY IN NOM CASE SHALL SEPARLS OF ACIUMDS OR SHORING BE REMOVED DATE. CONCRETE TO SET PROPERLY IN NOM CASE SHALL SEPARLS OF ACIUMDS OR SHORING BE REMOVED DATE. CONCRETE TO SET PROPERLY IN NOM CASE SHALL SEPARLS OF ACIUMDS OR SHORING BE REMOVED DATE. CONCRETE TO SET PROPERLY IN NOM CASE SHALL SEPARLS OF ACIUMDS.

AD LOCATION OF ELECTRICAL CIRCUIT

GREATER THAN 0.2%. 2 STREMENT A SIGN PSI AT 28 DAYE. 3. MAXIMUM BULMP (RM. 4 REBAM - STAM 615 72. GRADE 46. 30. DIAMETER LAPS IN CONCRETE, WELD WITH NOW HYDROGEN

S AGGREGATE ASTMIC 31 SIZE AND GRADED AS REQUIRED FOR DESIGNED MIX

B. CONCRETE COVER

1 2' WHIERE FORMED, 19-12' FROM TOP AND BOTTOM OF SLABS
2 MINIMUM 3' OTHERWISE
C FOOTING BEARING:
1 NATURAL OR COMPACTED SOIL AS CERTIFIED BY SOILS ENGINEER:

3 PORTLAND CEMENT, ADGREGATES AND REINFORCEMENTS EXCEPT AS MODIFIED HENEIN CONTRACTOR, SHALL COMPORM TO ALL APPLICABLE REQUIREMENTS OF THE STANDARD REPORTLAND CEMENT: CONFORM TO ASTM C150, TYPE II LOW ALKALI TESTED', TYPICAL TYPE VIF SIL, PAUX C CONTROL OF SIC. LESS THAN 3.2%.

SILEMATE CUNITION OF SIGHT 1895 THAN 1874.

DOMAINS AGGREGATE:

AGGINEGATE FOR REDULAR YEIGHT CONCRETE SMALL BE HARD, OURABLE, UNCOATED, IVASHED,
ORADIBO, LO LANGED AND SORBEINED, CRUSHED ROCK ON GRAVEL, CONFORMING TO JETH C33.

IT HE MAXIMUM SIZE AGGINEGATE ALL OVED SIGHT, ON THE SIZE OF SIZE OF THE SIZE OF SIZE OF

BETWEEN REMODRING BARS COARSE ACCREATE FOR SHALL NOT EXCEED WINCH FINE ACCRECATE CHARLES AND WITH UNCOATED FRAINS FIREF FACIN MAURIOUS AMOUNTS OF SILT LOAM CLAY OR OTHER DIE TETRIOUS MATTER CONFORM TO ASTIN CAS.

GRADING:
PERCENT PASSING SEVE SIZE
45 70 # 16
15-30 # 50

MATTER:

3 DOWELS PLAIN BILLET-STEEL BARS CONFORMING TO ASTM A615

4 COLORING AGENTS: AS MANUFACTURED BY 1 M SCOPIELD, OR APPROVED EQUAL COLOR AS SPECIFIED ON DRAWMINGS

5 DEPARISON JOINTS.

A PREMOLDED JOINT FILLER. NON-EXTRUDING AND RESILENT FILLER (BITUMINOUS TYPE) CONFORMING TO ASTALDITS!

JOHT SEALANT SONOLATIC SEALANT TWO PART MANUFACTURED BY SONNEBORN-CONTECH,
BUILDING PRODUCT DIVISION, CONTECH INC OR APPROVED EQUAL BOOKD BREAKER TAPE TO BE
AS RECOMMENDED BY SEALANT MANUFACTURE COLOR SHALL MATCH CONCRETE.

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BELOW FINISH GRADE
ACCURACY: FORMS SHALL BE CAREFULLY VERIFIED AND CHECKED FOR ALIGNMENT AND LEVEL.
AS THE WORK PROCEEDS

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a ACCURATELY AND SECURELY FASTEN OR SUPPORT REMPORCEMENTS TO PREVENT DIPLACEMENT BEFORE OR QUINING THE POURING MANG FOOTING BARS FROM FORMS SUPPORT WIRE MESH WITH SUTTALE METAL CHADLES

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6. EL EAM, BEYEL AND FIGHE FIGHT-DOLLERS.
PRACTICE
C. REINFORCEMENTS SPILICES. WELDED WIRE FABRIC. GINE MESH MINIMUM REINFORCEMENT BARS
10.0 BAR DUAMETER MINIMUM, EXCEPT AS OTHERWISE NOTED.
3. ANCHOR PLATESINISERTS. ANCHOR PLATES, INSERTS AND OTHER ITEMS EMMEDDED IN CONCRETE
BALL BE ADCIRATELY SECURED SO THAT THEY WILL NOT BE DISPLACED DURING PLACING OF
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2 PATT PORTLAN

ATTACHMENT

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SPECIFICATIONS

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NORTH PARK PLANNING COMMITTEE

Final Minutes: April 21, 2015 – 6:30 PM

www.northparkplanning.org info@northparkplanning.org

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I. Call to order: 6:35 pm

11.	Attendance	Report:
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Member	Robert Barry	Howard Blackson	Dionne Carlson	Steve Codraro	Daniel Gebreselassie	Vicki Granowitz	Peter Hill	Brandon Hilpert	Rachel Levin	Sarah McAlear	Lucky Morrison	Roger Morrison	Dang Nguyen	Rick Pyles	Rene Vidales
Attendance			1	2	3	4	5	6	7	8	9			10	11
Late														6:45	
Absences	1	1										1	1		

III. Modifications to and Adoption of the 4/21/15 Agenda

- a. Urgent Non-Agenda Action Items: none
- b. MOTION: Adopt 4/21/15 Agenda Hill/Hilpert 10-0-0

IV. Consent Agenda:

- a. 4514-4516 Utah St. Tentative Map for a 7-unit project (6 units under construction, 1 existing residence) is to create condominiums. The 7,000 sf site is within the MR-1500 zone of the Mid-City Communities Planned District & the Transit Area Overlay Zone. An affordable Housing Density Bonus allowed a density bonus of 2 units (included one very affordable, one bedroom unit through the SD Housing commission). 8 parking spaces are to be provided, of which 6 are tandem. MOTION: To deny the project as presented, due to lack of prior community input. Hill/UDPR 10-0-0 (On Consent)
- b. 3537-3547 Indiana St Apartments. 24 units on a 24,326 sf site. The project to keep two historically designated bungalows & relocation 3 other bungalows. Parking to be underground, accessed through the alley, parking for all units, including the existing bungalows included. The site is located within the MR-1000 zone of the Mid-City Communities Planned District, Transit Area Overlay Zone MOTION: To approve Indiana St Apartments Project #396980 at 3537-3547 Indiana St including a Site Development Permit, Neighborhood Use Permit, Easement Vacation for an existing drain and Deviations for:
 - required side and rear setbacks from the property lines for an elevator structure on the alley
 - 2) maximum allowable height, for an elevator equipment enclosure and solar panels
 - architectural features required, for roof, window and door treatments
 - 4) providing one pedestrian entry where the code requires two entries Hill/UDPR 10-0-0 (On Consent)
- c. Proposed Zoning Correction for 2011-2197 Haller & Rezoning of 1942 Boundary St. MOTION: To recommend rezoning of the RS-1-7 at 1942 Boundary St & 2011-2197 Haller St to multifamily medium density (14-29 dwelling units per acre), include a zoning correction on the adjacent 2011-2197 Haller St existing townhouse development to reflect its actual density. The steep hillside is remain RS 1-1 & and to preserve access to Juniper Canyon open space. Hill/UDPR 10-0-0 (On Consent)



City of San Diego **Development Services** 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000

Ownership Disclosure Statement

Project Title	Project No. For City Use Only
INDIANA STREET APARTMENTS	
Project Address:	
3537-3547 INDIANA ST SAN DIEGO, CA 92103	-5201
art I - To be completed when property is held by Ir	idividual(s)
nove, will be filed with the City of San Diego on the subject of the owner(s) and tenant(s) (if applicable) of the above no have an interest in the property, recorded or otherwise, a dividuals who own the property). A signature is required of the Assistant Executive Director of the San Diego Redevelopment Agreement (DDA) has been approved / execution anager of any changes in ownership during the time the approved the san Diego Redevelopment Agreement (DDA) has been approved the approved of any changes in ownership during the time the approved the san Diego Redevelopment and control of the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment Agreement (DDA) has been approved the san Diego Redevelopment (DDA) has been approved the san DDA (DDA) has been appro	acknowledge that an application for a permit, map or other matter, as identified property, with the intent to record an encumbrance against the property. Please list referenced property. The list must include the names and addresses of all persons and state the type of property interest (e.g., tenants who will benefit from the permit, alterest one of the property owners. Attach additional pages if needed. A signature relopment Agency shall be required for all project parcels for which a Disposition and the dealth of the city Council. Note: The applicant is responsible for notifying the Project plication is being processed or considered. Changes in ownership are to be given to nearing on the subject property. Failure to provide accurate and current ownership
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Project Title: INDIANA STREET APARTMENTS	Project No. (For City Use Only)					
Part II - To be completed when property is held by a corporation or partnership						
Legal Status (please check):						
Corporation	ntification No.					
By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application as identified above, will be filed with the City of San Diego on the subject property with the inthe property. Please list below the names, titles and addresses of all persons who have an otherwise, and state the type of property interest (e.g., tenants who will benefit from the perrinal a partnership who own the property). A signature is required of at least one of the corpor property. Attach additional pages if needed. Note: The applicant is responsible for notifying ownership during the time the application is being processed or considered. Changes in ow Manager at least thirty days prior to any public hearing on the subject property. Failure to prinformation could result in a delay in the hearing process. Additional pages attached	ntent to record an encumbrance against interest in the property, recorded or mit, all corporate officers, and all partners rate officers or partners who own the the Project Manager of any changes in nership are to be given to the Project rovide accurate and current ownership					
	Corporate/Partnership Name (type or print): Indiana Street Apartments #1, LLC					
Owner Tenant/Lessee Owner Tena	Owner Tenant/Lessee					
Street Address: Street Address: 4980 N. Harbor Drive, Suite 204 4980 N. Harbor Drive,	Suite 204					
City/State/Zip: City/State/Zip: San Diego, CA 92106 San Diego, CA 92106						
Phone No: Fax No: Phone No: (619) 222-8084 (000) 000-0000 (619) 222-8084	Fax No: (000) 000-0000					
Name of Corporate Officer/Partner (type or print): Tim Wright Name of Corporate Officer Craig Irving						
Title (type or print): General Partner Title (type or print): General Partner						
Signature: Date: Signature:	Date:					
Corporate/Partnership Name (type or print): Corporate/Partnership N	Name (type or print):					
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