

FIRST AMENDMENT
PROFESSIONAL SERVICES - CONSTRUCTION MANAGER-AT-RISK
Clerk Tracking No. 2017-00011 (16-00086)

THIS FIRST AMENDMENT (the "First Amendment") to the Contract for Professional Services is made and entered into this **15th day of February 2017** by and between the **CITY OF NAPLES**, a Florida Municipal Corporation (the "CITY"), and **MANHATTAN CONSTRUCTION (FLORIDA), INC.**, a Florida Corporation authorized to do business in Florida (the "CONTRACTOR").

WHEREAS, the CITY and the CONTRACTOR entered into that certain Agreement on June 1, 2016; **Bid No. 16-033 and Clerk Tracking No. 16-00086** (the "Original Agreement") to furnish **Construction Manager-at-Risk Pedestrian Bridge & Boardwalk** (the 'Project'); and

WHEREAS, the parties desire to amend the Original Agreement by this First Amendment so that the CONTRACTOR will provide additional services pursuant to the terms and conditions contained herein.

WHEREAS, the parties are required by **119.0701 F.S.** to amend the Original Agreement so that the CITY and CONTRACTOR will abide by the terms and conditions contained herein.

NOW, THEREFORE, for good and valuable consideration, the receipt of which is hereby acknowledged, and in consideration of the mutual covenants, promises and conditions herein set forth, it is hereby acknowledged and agreed as follows:

1. The above recitals are true and correct and are incorporated herein by this Reference.

2. "Article Three Section 3.1, Time" shall be amended for the provision of time for the Contractor to perform construction services with a completion date of 300 calendar days to substantial completion which includes being open to the public from the issuance of a Notice-to-Proceed (NTP) with construction/mobilization and 330 calendar days to final completion. City authorization to specifically purchase materials may be issued prior to the Notice-to-Proceed (NTP) and will not start the clock towards the indicated completion days. This Agreement will terminate on June 30, 2018.



3. 3.5 Liquidated Damages: Services to be rendered by the CONTRACTOR shall be commenced subsequent to the execution of this First Amendment upon written Notice-to-Proceed from the CITY for all or any designated portion of the Project must be completed by the contract dates specified within the Notice-to-Proceed for construction. Should CONTRACTOR fail to complete the project within this timeframe, daily liquidated damages in an amount consistent with the current Sec. 8-10.2 (FDOT) Florida Department of Transportation Standard Specifications will be assessed.
4. "Article Four, Compensation" shall be amended for the provision of additional fees for Project: Construction Manager-at-Risk Pedestrian Bridge & Boardwalk Services by the CONTRACTOR in the amount of **\$4,195,418** as indicated in **Attachment A-1 Basis of Compensation**, attached and made a part of this First Amendment.
5. Retainage of (10%) ten percent will be a part of said First Amendment and future payments.
6. Attached and made part of this First Amendment include the Final Construction documents, as indicated in Attachment A-2 that were developed by Cardno, Inc., and signed and sealed on January 27, 2017.
7. "**Article Five, Maintenance of Records**" shall be amended to **add Articles 5.2 and 5.3** as indicated below and made a part of this Amendment.

5.2 119.0701 F.S. CONTACT INFORMATION FOR CITY OF NAPLES CUSTODIAN OF PUBLIC RECORDS, CITY CLERK'S OFFICE.

If the CONTRACTOR has questions regarding the application of Chapter 119, Florida Statutes, to the contractor's duty to provide public records relating to this contract, contact the City Clerk, City of Naples Custodian of Public Records, at Telephone: 239-213-1015, Email: PublicRecordsRequests@naplesgov.com; Address: 735 8th Street South; Naples, Florida 34102. Mailing address: same as street address.

5.3 The CONTRACTOR shall:

1. Keep and maintain public records required by the CITY to perform the service.



2. Upon request from the CITY'S custodian of public records, provide the CITY with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in this chapter 119.0701 F.S. or as otherwise provided by law.
3. Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the contract term and following completion of the contract if the CONTRACTOR does not transfer the records to the CITY.
4. Upon completion of the contract, transfer, at no cost, to the CITY all public records in possession of the CONTRACTOR or keep and maintain public records required by the CITY to perform the service. If the CONTRACTOR transfers all public records to the CITY upon completion of the contract, the CONTRACTOR shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the CONTRACTOR keeps and maintains public records upon completion of the contract, the CONTRACTOR shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to the CITY, upon request from the CITY'S custodian of public records, in a format that is compatible with the information technology systems of the CITY.
8. The terms of this First Amendment shall control and take precedence over any and all terms, provisions and conditions of Original Agreement which might vary, contradict or otherwise be inconsistent with the terms and conditions hereof.
9. All of the other terms, provisions and conditions of Original Agreement, except as expressly amended and modified by this First Amendment, shall remain unchanged and are hereby ratified and confirmed and shall remain in full force and effect.
10. This First Amendment may be executed in any number of counterparts, each of which shall be deemed to be an original as against any part whose signature appears thereon and all of which shall together constitute one and the same instrument.

END OF PAGE



IN WITNESS WHEREOF, the CITY and the CONTRACTOR have caused this First Amendment to be duly executed by their duly authorized officers, all as of the day and year first above written.

ATTEST:

By: *Patricia L. Rambosk*
Patricia L. Rambosk, City Clerk



CITY:

CITY OF NAPLES, FLORIDA
By: *A. William Moss*
A. William Moss, City Manager

Approved as to form and legal sufficiency:

By: *Robert D. Pritt*
Robert D. Pritt, City Attorney

CONTRACTOR:

MANHATTAN CONSTRUCTION (FLORIDA), INC.
3705-1 Westview Drive; Naples, Florida 34104
Attention: **Gordon Knapp**, Sr. Vice President - FL

Kourosh Pezeshkan
Witness (Signature)

By: *Gordon Knapp*
(Signature)

Printed Name: Kourosh "KP" Pezeshkan

Printed Name: Gordon Knapp

Title: Sr. Vice President - Florida

FEI/EIN Number: On File
A Florida Profit Corporation (FL)



GORDON RIVER BRIDGE & BOARDWALK 100% CD ESTIMATE

Project Name: GORDON RIVER BRIDGE AND BOARDWALK

MCF JOB NUMBER: Nov. 16, 11
 Bid Team Captain: [Name]
 Date Created: 11/29/17
 Bid Date: 11/29/17
 Revised Bid Date: 11/29/17

BID NO	DESCRIPTION	LABOR	MATERIAL	SUB	OTHERS / EQUIPMENT	TOTAL
CONSTRUCTION						
	MOBILIZATION					52,000
	BP 01L SURVEYING					20,000
	BP 02A SITE WORK & SITE PAVING					25,570
	BP 02C PRE-STRESSED CONCRETE PILES					27,270
	BP 02C 01 TIMBER PILES					178,125
	BP 02E LANDSCAPE / SOD / GRASS					7,000
	BP 03A CAST-IN-PLACE CONCRETE / BENTS					319,000
	BP 03B PLANT PRECAST STRUCTURAL PRECAST ASHITO BEAMS					333,500
	BP 05B MISC. METAL (BOLLARDS)					10,500
	BP 05C CABLE NAILS					282,400
	BP 06A 01 HEAVY TIMBER FRAMING / WOOD DECKING / P.T. WOOD (MATERIAL)					15,600
	BP 06A 02 HEAVY TIMBER FRAMING / WOOD DECKING / P.T. WOOD (LABOR)					37,000
	BP 06A 03 FASTENERS / CONNECTIONS / BEARING PADS					35,000
	BP 19A ELECTRICAL					38,250
	BP 19A 04 PAVILION (ADD ALTERNATE)					42,000
	SUB-BOND					10,000
						26,125
	CONSTRUCTION SUMMARY					3,778,125
GENERAL REQUIREMENTS						
	Power For Offices					2,500
	Telephone Local & Long Distance					2,000
	Phone Co. Install Chrg.					600
	Temporary Toilet (2-bn)					1,500
	Misc Trailers W/Furniture					2,000
	Setup & Takedown Trailers, Incl. Transport / Demob					2,250
	ADA Signage & Ramp					400
	Job Office Equipment					500
	Office Supplies					1,500
	Postage					500
	Copy / Fax / Printer All-in-One					300
	First Aid Kits/Belts					250
	Job Sign / Temporary Signage / Safety Signage					600
	Project Cleanup / Demolition					2,000
	Pressure Washing					2,000
	Testing Lab (Allowance)					11,000
						18,000
	GENERAL REQUIREMENT SUMMARY					33,850
	CONSTRUCTION AND GENERAL REQUIREMENT TOTALS					3,811,975
	FEE					68,000
	SUBTOTAL OF CONSTRUCTION / GENERAL REQUIREMENTS / FEE					3,879,975
PROJECT MANAGEMENT						
	Project Executive/Director (1.5-day per week)					18,000
	Project Manager (Based on 5-weeks Start-up & 5-weeks Close-out)					17,000
	Superintendent					18,100
	Project Engineer (1-month)					3,000
	Sr. Safety Engineer (1.5 day per week)					4,500
	Contract Administrator / Field Office Manager (13-days per month)					34,200
	Preconstruction Services					12,000
	PROJECT MANAGEMENT SUMMARY					117,800
	SUBTOTAL OF CONSTRUCTION / GENERAL REQUIREMENTS / FEE / PROJECT MANAGEMENT					3,997,775
OTHER						
	GROSS CHECK SUBTOTAL					3,997,775
	Sales Tax					12,000
	Subcontractor Default Insurance					4,000
	Sub-Bonds (incl Above)					4,000
	SUBTOTAL					4,017,775
	General Allowance					125,000
	Bridge Lighting Allowance					20,000
	SUBTOTAL					4,162,775
	MCF Warranty Reserve					8,000
	Buy, Print & Submit Bid					4,150,775
	SUBTOTAL					4,154,775
	Construction Management Location					35,300
	Payment & Performance Bonds					4,119,475
	SUBTOTAL					4,154,775
	TOTAL					4,154,775



Florida Department of Environmental Protection

South District
Post Office Box 2549
Fort Myers, Florida 33902-2549
SouthDistrict@dep.state.fl.us

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Secretary

CORRECTED LETTER

Permittee/Authorized Entity:

City of Naples
295 Riverside Circle
Naples, FL 34102

Baker Park Bridge

Authorized Agent:

Turrell, Hall & Associates, Inc.
3584 Exchange Avenue
Naples, FL 34104
Arielle@thanaples.com

Environmental Resource Permit

**State-owned Submerged Lands Authorization – Granted Pending Document
Execution**

**U.S. Army Corps of Engineers Authorization – Separate Corps Authorization
Required**

Permit No.: 11-0341387-001
Easement No.: 110239765 (41905)

Permit Issuance Date: August 15, 2016

Permit Construction Phase Expiration Date: August 14, 2021

Consolidated Environmental Resource Permit and State-owned Submerged Lands Authorization

Permittee: City of Naples
Permit No: 11-0341387-001

PROJECT LOCATION

The activities authorized by this permit and sovereignty submerged lands authorization are located at 50 Riverside Circle (Parcel ID #: 20767004002), Naples, Florida 34102, in Section 3, Township 50 South, Range 25 East in Collier County.

PROJECT DESCRIPTION

The permittee is authorized to construct a 15,480 square foot (1,290 x 12') walkway in uplands and a 3,960 square foot (330' x 12') pedestrian bridge over the Gordon River, a Class III Water. Those activities include the use of 3,551 square feet of preemption of state-owned sovereignty submerged lands. Authorized activities are depicted on the attached exhibits.

To offset unavoidable impacts that will occur from these authorized activities, the permittee shall purchase 0.01 saltwater forested credits from Little Pine Island Mitigation Bank.

AUTHORIZATIONS

Baker Park Bridge

Environmental Resource Permit

The Department has determined that the activity qualifies for an Environmental Resource Permit. Therefore, the Environmental Resource Permit is hereby granted, pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Chapter 62-330, Florida Administrative Code (F.A.C.).

Sovereignty Submerged Lands Authorization

The activity is located on sovereignty submerged lands owned by the State of Florida. It therefore also requires authorization from the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees), pursuant to Article X, Section 11 of the Florida Constitution, and Section 253.77, F.S., as staff to the Board of Trustees under Sections 253.002, F.S., the Department has determined that the activity qualifies for and requires a public easement, as long as the work performed is located within the boundaries as described and is consistent with the terms and conditions herein.

The final documents required to execute the public easement will be sent to the permittee by the Department's Division of State Lands for execution. The Department intends to issue the public easement, upon satisfactory execution of those documents, including payment of required fees and compliance with the conditions in the previously issued Consolidated Intent to Issue public easement. **You may not begin construction of the activities described until you receive a copy of the executed public easement from the Department.**

Federal Authorization

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **may be required** from the Corps. A copy of your permit application has been forwarded to the Corps for their review. **The Corps has assigned file number 2016-550 to your project.** The Corps will issue their authorization directly to you or contact you if additional information is needed. If you have not heard from the Corps within 30 days from the date your application was received at the local FDEP Office, contact the Corps at the Fort Myers ACOE Regulatory office at 239-334-1975, for status and further information. **Failure to obtain Corps authorization prior to construction could subject you to federal enforcement action by that agency.**

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection, or Duly Authorized Designee, State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Coastal Zone Management

Issuance of this authorization also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act.

Water Quality Certification

This permit also constitutes a water quality certification under Section 401 of the Clean Water Act, 33 U.S.C. 1341

Other Authorizations

You are advised that authorizations or permits for this activity may be required by other federal, state, regional, or local entities including but not limited to local governments or municipalities. This permit does not relieve you from the requirements to obtain all other required permits or authorizations.

The activity described may be conducted only in accordance with the terms, conditions and attachments contained in this document. Issuance and granting of the permit and authorizations herein do not infer, nor guarantee, nor imply that future permits, authorizations, or modifications will be granted by the Department.

PERMIT and SOVEREIGNTY SUBMERGED LANDS CONDITIONS

The activities described must be conducted in accordance with:

- **The Specific Conditions**
- **The General Conditions**
- **The General Conditions for Sovereignty Submerged Lands Authorization**
- **The limits, conditions and locations of work shown in the attached drawings**
- **The term limits of this authorization**

You are advised to read and understand these conditions and drawings prior to beginning the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings herein. If you are using a contractor, the contractor also should read and understand these conditions and drawings prior to beginning any activity. Failure to comply with these conditions, including any mitigation requirements, shall be grounds for the Department to revoke the permit and authorization and to take appropriate enforcement action.

Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and this permit and sovereignty submerged lands authorization, as described.

SPECIFIC CONDITIONS – ADMINISTRATIVE

1. All required submittals, such as certifications, monitoring reports, notifications, etc., shall be submitted to the Florida Department of Environmental Protection, South District Office, Submerged Lands and Environmental Resource Permitting, P.O. Box 2549, Fort Myers, FL 33902-2549 or via e-mail to FTMERP_Compliance@dep.state.fl.us. All submittals shall include the project name and indicated permit number when referring to this project.

Note: In the event of an emergency, the Permittee should contact the Department by calling (800)320-0519. During normal business hours, the permittee should call (239)344-5600.

2. The project shall comply with applicable State Water Quality Standards, namely:
Rule 62-302.500, F.A.C. – Surface Waters: Minimum Criteria, General Criteria;
Rule 62-302.530, F.A.C. – Table: Surface Water Quality Criteria.

3. All storage or stockpiling of tools or materials (i.e. lumber, pilings, etc.) shall be limited to uplands or within the impact areas authorized by this project.

4. **Prior to the initiation of any work authorized by this permit**, floating turbidity screens with weighted skirts that extend to within 1 ft. of the bottom shall be placed to surround the project site. The screens shall be maintained and shall remain in place for the duration of the project construction to ensure that turbidity levels outside the construction area do not exceed 29 NTU's above background levels. The permittee shall be responsible for ensuring that turbidity control devices are inspected daily and maintained in good working order so that there are no violations of state water quality standards outside of the turbidity screens. The following measure shall be taken by the permittee whenever turbidity levels within waters of the State surrounding the project site, exceed 29 NTUs above background:

- a. Immediately cease all work contributing to the water quality violation;
- b. Stabilize all exposed soils contributing to the turbidity violation, modify the work procedures that were responsible for the violation, and install more turbidity containment devices and repair any non-functioning turbidity containment devices;
and
- c. Notify the DEP South District Office within 24 hours of the time the violation is first detected.

5. If a barge is used during construction or during dredging activities, the permittee shall ensure at least one foot of clearance is maintained between the deepest draft of the barge and the bottom at all times. The permittee shall also ensure that the barge does not impact resources during construction activities. The barge shall be equipped with self-contained spoil storage bins to prevent the dredged material from returning to waters of the state.
6. Bridge construction shall occur from uplands and the bridge deck. Prior to construction of the bridge a floating turbidity apron/curtain shall be installed around the construction area and remain in place until all pilings have been installed and until turbidity levels within the work area have returned to background levels.
7. All CCA-treated pilings associated with the permitted structure shall be wrapped with impermeable plastic or PVC sleeves in such a manner as to reduce the leaching of deleterious substances from the pilings. The sleeves shall be installed concurrently with the installation of the pilings, shall extend from at least 6" below the level of the substrate to at least 1' above the seasonal high water line, as shown in the permit drawings and shall be maintained over the life of the facility. All future replacement pilings shall be non-CCA-leaching (recycled plastic, concrete, greenheart, or wrapped with impermeable plastic or PVC sleeves).
8. The Permittee shall install and maintain reflective markers and lighted aids to navigation along the bridge. The lighted aides are required to be on at night and during limited visibility conditions.

SPECIFIC CONDITIONS – MITIGATION

9. **Prior to commencement of bridge construction**, the permittee shall mitigate for the ~~0.0-0.13~~ 0.013 acres of forested saltwater impacts through the purchase of 0.01 credits of forested saltwater wetlands from **Little Pine Island Mitigation Bank**, phone number (239) 481-2011, 13451 McGregor Boulevard, Suite 31, Fort Myers, Florida 33919. **Within 10 days of purchase**, the permittee shall provide the Department with documentation that the credits have been deducted from the credit ledger of the bank.

SPECIFIC MANATEE PROTECTION CONDITIONS

10. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with, and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
11. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels shall follow routes of deep water whenever possible.

12. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers shall not impede manatee movement.

13. All on-site project personnel are responsible for observing water-related activities for the presence of manatees. All in-water operations, including vessels, shall be shutdown if a manatee comes within 50 feet of the operation. Activities shall not resume until every manatee has moved beyond the 50-foot radius of the project operation, or until 30 minutes has elapsed wherein a manatee has not reappeared within 50 feet of the operation. Animals shall not be herded away or harassed into leaving.

14. Any collision with or injury to a manatee shall be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.

15. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used. One sign measuring at least 3 ft. by 4 ft. which reads *Caution: Manatee Area* must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shutdown of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. Please see the Florida Fish and Wildlife Conservation Commission website for information on how to obtain appropriate signs: http://www.myfwc.com/docs/WildlifeHabitats/Manatee_EducationalSign.pdf

GENERAL CONDITIONS FOR INDIVIDUAL PERMITS

The following general conditions are binding on all individual permits issued under chapter 62-330, F.A.C., except where the conditions are not applicable to the authorized activity, or where the conditions must be modified to accommodate project-specific conditions.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.

2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.

3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management

practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007)*, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008)*, which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.

4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," [October 1, 2013], which is incorporated by reference in paragraph 62-330.350(1)(d), F.A.C., indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.

5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.

6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:

- a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
- b. For all other activities "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
- c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.

7. If the final operation and maintenance entity is a third party:

- a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
- b. Within 30 days of submittal of the as-built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.

8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.

9. This permit does not:

- a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
- b. Convey to the permittee or create in the permittee any interest in real property;
- c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
- d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.

10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.

11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.

12. The permittee shall notify the Agency in writing:

- a. Immediately if any previously submitted information is discovered to be inaccurate; and
- b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.

14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.

16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.

17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.

18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with subsection 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

GENERAL CONDITIONS FOR SOVEREIGNTY SUBMERGED LANDS AUTHORIZATION

Any use of sovereignty submerged lands is subject to the following general conditions are binding upon the applicant and are enforceable under Chapter 253, F.S. and Chapter 258, F.S.

1. Sovereignty submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty submerged lands unless cured to the satisfaction of the Board of Trustees.
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty submerged lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.
3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. and Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.

5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent purposes.
10. The applicant agrees to indemnify, defend and hold harmless the Board of Trustees and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty submerged lands or the applicant's use and construction of structures on sovereignty submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
11. Failure by the Board of Trustees to enforce any violation of a provision of the authorization or waiver by the Board of Trustees of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure to enforce or a waiver prevent the Board of Trustees from enforcing the unenforced or waived provision in the event of a violation of that provision.
12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board of Trustees after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
13. All costs incurred by the Board of Trustees in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board of Trustees in writing of any change of address at least ten days before the change becomes effective.

14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant that prohibits the activity.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rule 28-106.201, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any email address, any facsimile number, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section

120.60(3), F.S., must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. Under Section 120.60(3), F.S., however, any person who has asked the Department for notice of agency action may file a petition within 14 days of receipt of such notice, regardless of the date of publication. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

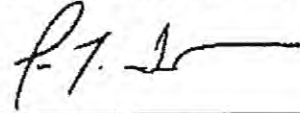
Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, M.S. 35, Tallahassee, Florida 32399-3000; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate

District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date this action is filed with the Clerk of the Department.

Executed in Lee County, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL PROTECTION



Jon M. Iglehart
District Director
South District Office

JMI/pc

Attachments:

43 project drawing(s)

Easement Survey

'Post Issuance' forms: <http://www.dep.state.fl.us/water/wetlands/erp/forms.htm>

Copies furnished to:

U.S. Army Corps of Engineers, Fort Myers Corp 2016-550

Division of State Lands, BOT # 110239765 (41905), Kathy.Griffin@dep.state.fl.us

Collier County Property Appraiser, jredding@collierappraiser.com

DEP, Office of General Counsel (agency_clerk@dep.state.fl.us)

FWC, Imperiled Species Management Section FWCConservationPlanningServices@myfwc.com;

CERTIFICATE OF SERVICE

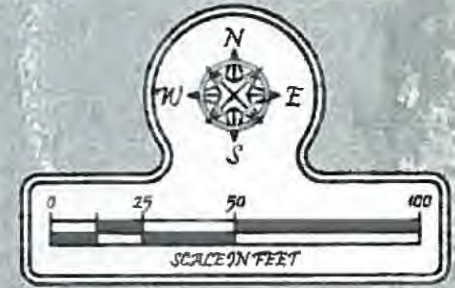
The undersigned hereby certifies that this permit and authorization to use sovereignty submerged lands, including all copies, were mailed before the close of business on August 15, 2016, to the above listed persons.

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52(7), F.S., with the designated Department clerk, receipt of which is hereby acknowledged.

Marcie Vichina
Clerk

August 17, 2016
Date



TODD T. TURRELL
 LICENSE
 NO. 39659
TODD T. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39659
 LICENSE NO. 5875
 DATE 10/21/10

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO MLW
- SURVEY COURTESY OF: "TKW" & "EF GAINES"
- SURVEY DATED: 09-29-14
- TIDAL DATUM
 - MLW (NAVD): -1.51'
 - MHW (NAVD): +0.47'



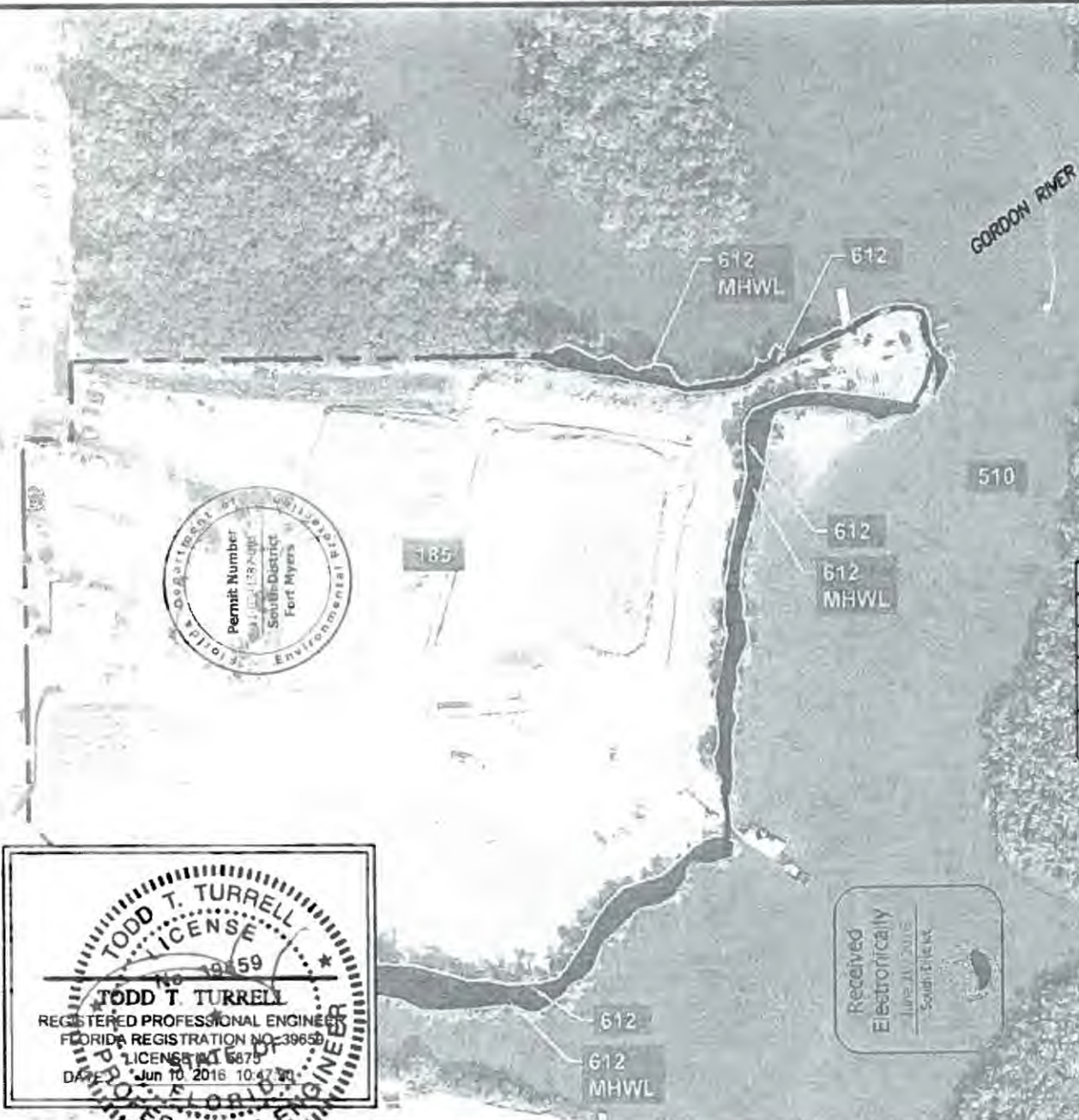
Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B. Naples, FL 34104-3732
 Email: tun@tunell-a-associates.com Phone: (239) 643-0166 Fax (239) 643-0632

NAPLES BAKER PARK BRIDGE - WEST LANDING
EXISTING AERIAL

DESIGNED	TR	DATE	BY	CHK	DATE
DRAWN BY:	RRJ	2	-	-	-
CREATED	01-13-16	3	-	-	-
JOB NO.	1425	4	-	-	-
SHEET NO.	02 OF 13	5	-	-	-

SECTION-03 TOWNSHIP- 50S RANGE- 25E

P: 1025 1 Naples Baker Park Bridge CAD PERMIT STATE RANGE WEST STATE 115 STATE RANGE WEST.dwg ORIGINAL FLUCCS 01/02/16



FLUCCS	DESCRIPTION	ACRES
185	PARKS AND ZOOS	14.72
612	MANGROVE SWAMPS	0.46
612-MHWL	MANGROVE SWAMPS (OUTSIDE OF MHWL)	1.05
TOTAL		16.23

UPLAND (ACRES):	14.72	
WETLAND (ACRES):	1.51	
PROJECT (ACRES):		16.23

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE.
- ALL DATUM SHOWN HEREON IS REFERENCED TO MLW
- SURVEY COURTESY OF "TRIV" & "EF GAINES" SURVEY DATED 09-29-14
- TIDAL DATUM:
 - MLW (NAVD) = -1.51'
 - MHW (NAVD) = +0.47'

TODD T. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39659
 LICENSE NO. 6675
 DATE: Jun 10 2016 10:47 AM

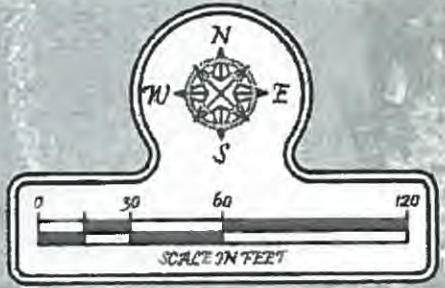
Received
 Electronically
 June 21, 2016
 South District

Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B. Naples, FL 34104-3732
 Email: turrell@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - WEST LANDING
OVERALL FLUCCS

DESIGNED	TH	1	-	-	-	-
DRAWN BY	RJA	2	-	-	-	-
CREATED	01-13-16	3	-	-	-	-
JOB NO	1425	4	-	-	-	-
SHEET NO	03 OF 13	5	-	-	-	-
SECTION-03		TOWNSHIP- 50S		RANGE- 25E		

P:\1425 Naples Baker Park Bridge\CAD\PERMIT\STATE\BRIDGE\WEST\STATE\1425 STATE BRIDGE WEST.dwg P:\005 8/10/2018



Received Electronically
June 11, 2018
South District

TODD T. TURRELL
LICENSE
No 39659
TODD T. TURRELL
REGISTERED PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 39659
LICENSE NO 8875
DATE 05/10/2017 10:47:59

FLUCCS	DESCRIPTION	ACRES
185	PARKS AND ZOOS	14.72
612	MANGROVE SWAMPS	0.46
612-MHWL	MANGROVE SWAMPS (OUTSIDE OF MHWL)	1.05
TOTAL		16.23

UPLAND (ACRES)	14.72
WETLAND (ACRES)	1.51
PROJECT (ACRES)	16.23

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO MLLW
- SURVEY COURTESY OF "TRAY" & "EF GAINES"
- SURVEY DATED: 09-29-14
- TIDAL DATUM
 - MLLW (NAVD) = -1.51'
 - MHW (NAVD) = +0.47'



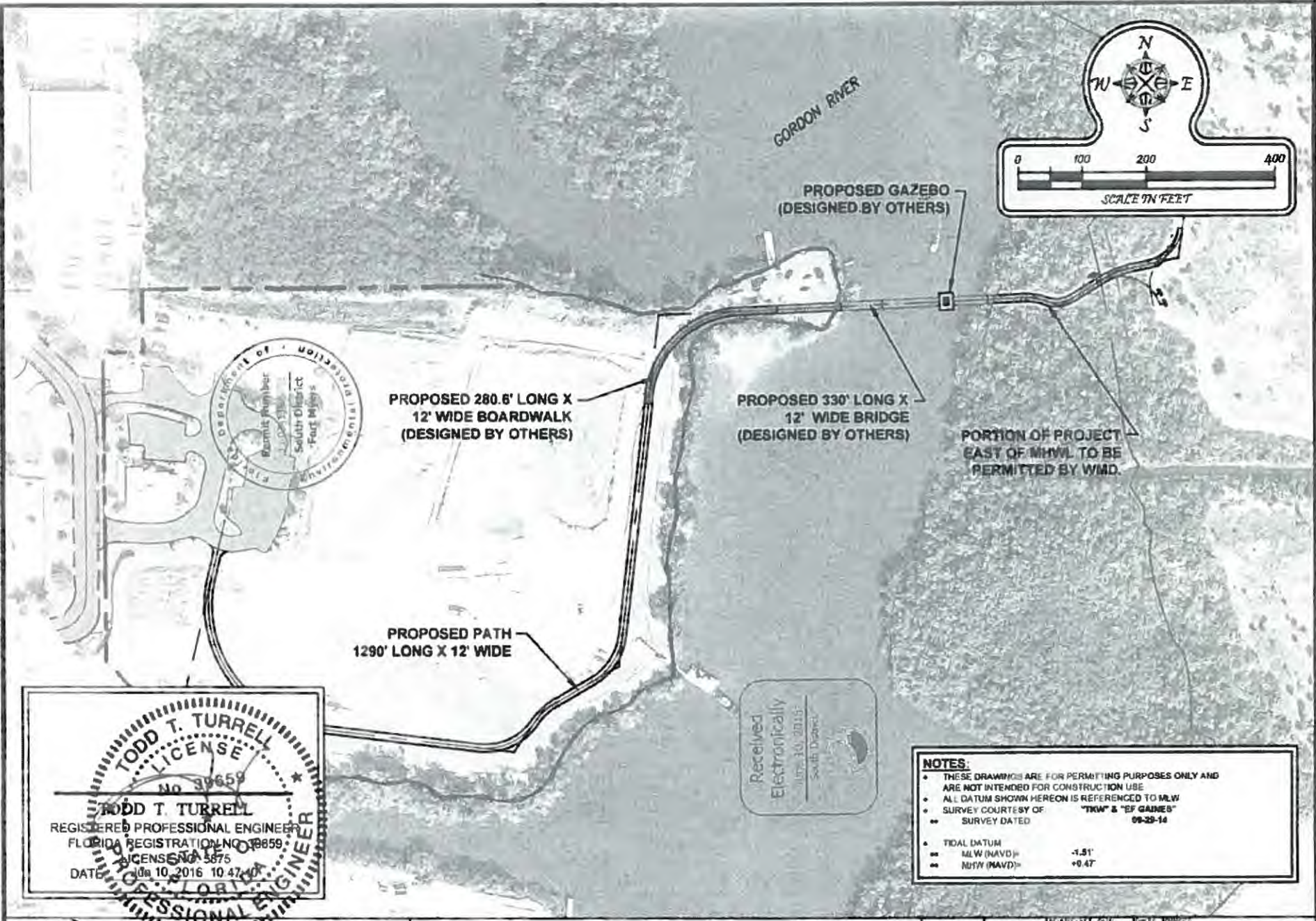
Turrell, Hall & Associates, Inc.
Marine & Environmental Consulting
3584 Exchange Ave. Suite B. Naples, FL 34104-3732
Email: turrell@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 643-6632

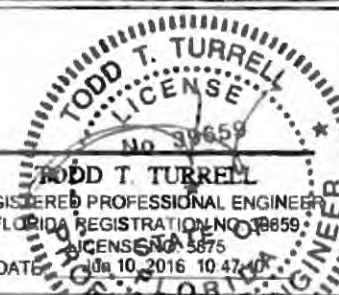
**NAPLES BAKER PARK BRIDGE - WEST LANDING
FLUCCS**

DESIGNED	TH	DATE	BY	DATE	BY
DRAWN BY	RMJ	2	-	-	-
CREATED	01/11/14	3	-	-	-
JOB NO	1425	4	-	-	-
SHEET NO	04 OF 13	5	-	-	-

SECTION-03 TOWNSHIP- 50S RANGE- 25E

D:\1425\1425 Baker Park Bridge\CAD\PERMITS\FINAL\RDCE-WEST\STATE\1425_STATE_BRIDGE-WEST.dwg OVERALL PROP SITE 6/10/2016




TODD T. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39659
 LICENSE NO. 5875
 DATE 10/10/2016 10:47:40

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO MLW
- SURVEY COURTESY OF "TKM" & "EF GAINES"
- SURVEY DATED 09-29-14

• TIDAL DATUM

- MLW (MAVD) = -1.51'
- NBW (MAVD) = +0.47'



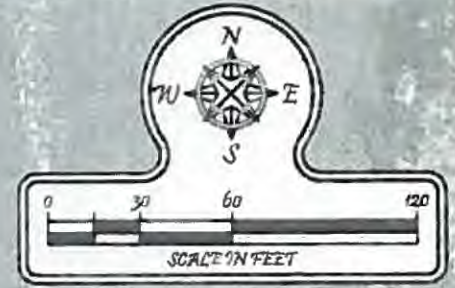
Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B. Naples, FL 34104-3732
 Email: tnt@turrell-associates.com Phone (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - WEST LANDING
PROPOSED OVERALL SITE

DESIGNED BY	TH	DATE	SCALE	REV.	DESCRIPTION
DRAWN BY	RAJ				
CREATED	10-02-14				
JOB NO	1425				
SHEET NO	05 OF 12				

SECTION-03 TOWNSHIP- 505 RANGE- 25E

1:125 Naples Baker Park Bridge CAD/DESIGN/STATE BRIDGE WEST STATIANS STATE BRIDGE WEST.dwg PRO-CAD 6/10/2016



Received Electronically
 JUN 10 2016
 Seelye Design



GORDON RIVER

EXISTING STRUCTURE TO BE REMOVED

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 9/16/14

PROPOSED 330' LONG X 12' WIDE BRIDGE
 (DESIGNED BY OTHERS)

PROPOSED GAZEBO
 (DESIGNED BY OTHERS)

PROPOSED 280.6' LONG X 12' WIDE BOARDWALK
 (DESIGNED BY OTHERS)

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 9/16/14

PORTION OF PROJECT EAST OF MHWL TO BE PERMITTED BY WMD

100' 65' 100' 65'

TODD T. TURRELL
 LICENSE
 No 39659
TODD T. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39659
 LICENSE NO. 5875
 DATE Jun 10, 2016

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO M.L.W
- SURVEY COURTESY OF: "TKW" & "EF GAINES"
- SURVEY DATED: 09-29-14
- TIDAL DATUM
 - M.L.W (NAVD) = -1.51'
 - M.H.W (NAVD) = +0.47'



Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B, Naples, FL 34104-3732
 Email: turrell@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 643-6632

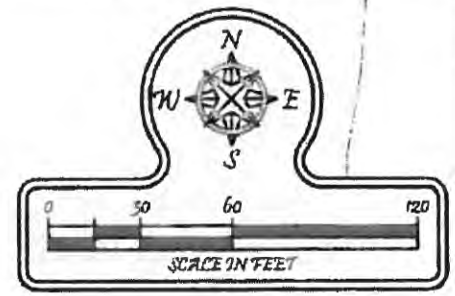
**NAPLES BAKER PARK BRIDGE - WEST LANDING
 PROPOSED AERIAL**

DESIGNED	TH	DATE	BY	CHKD	APP'D
DRAWN BY	RNJ	2	-	-	-
CREATED	01-15-16	3	-	-	-
JOB NO	1425	4	-	-	-
SHEET NO	06 OF 13	5	-	-	-

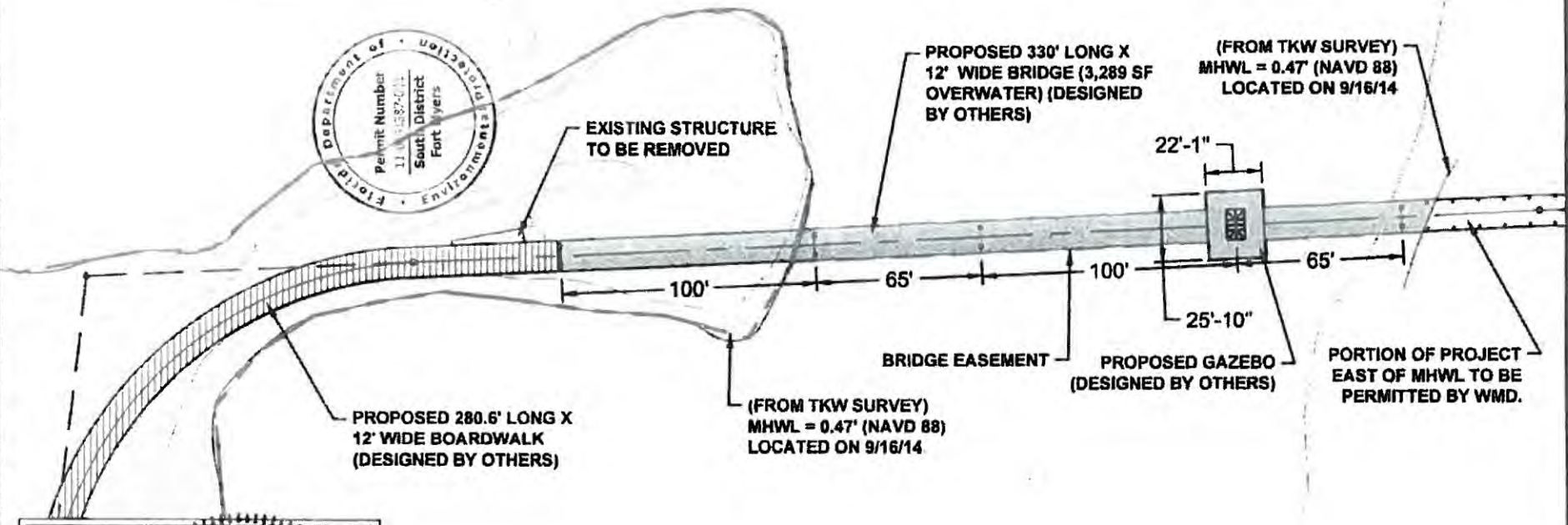
SECTION- 03 TOWNSHIP- 505 RANGE- 25E

1:250 NAPLES BAKER PARK BRIDGE WEST LANDING STATION 000 - WEST LANDING STATE BRIDGE WEST LANDING PROJECT 01020-5

Received
 Electronically
 June 10, 2014
 South District



GORDON RIVER



TODD T. TURRELL
 LICENSE No. 39659
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39659
 LICENSE NO. 5875
 DATE June 10, 2014

NOTES:
 • THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
 • ALL DATUM SHOWN HEREON IS REFERENCED TO M.L.W.
 • SURVEY COURTESY OF "TKW" & "EP GAINES"
 • SURVEY DATED: 09-29-14
 • TIDAL DATUM:
 • M.L.W. (NAVD) = -1.51'
 • M.H.W. (NAVD) = +0.47'



Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B. Naples, FL 34104-3732
 Email: turrell@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

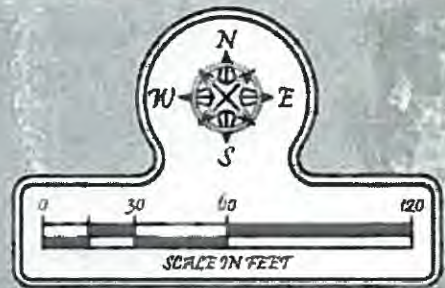
**NAPLES BAKER PARK BRIDGE - WEST LANDING
 PROPOSED SITE**

DESIGNED BY	TH	1	-	-	-	-
DRAWN BY	RMJ	2	-	-	-	-
CREATED	10/2/14	3	-	-	-	-
JOB NO	1425	4	-	-	-	-
SHEET NO	07 OF 13	5	-	-	-	-

SECTION-03 TOWNSHIP-50S RANGE-25E

P:\425 Naples Baker Park Bridge CAD\PERMIT-STATE\BRIDGE-WEST-STATE\425_STATE-BRIDGE-WEST.dwg IMPACTS 6/10/2016

Received Electronically
 June 10, 2016
 South District



GORDON RIVER



EXISTING STRUCTURE TO BE REMOVED

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 9/16/14

PROPOSED 330' LONG X
 12' WIDE BRIDGE
 (DESIGNED BY OTHERS)

PROPOSED 280.6' LONG X
 12' WIDE BOARDWALK
 (DESIGNED BY OTHERS)

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 9/16/14

PORTION OF PROJECT
 EAST OF MHWL TO BE
 PERMITTED BY WMD.

TODD T. TURRELL
 LICENSE
 No. 5875
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 5875
 LICENSE NO. 5875
 DATE: JUN 10, 2016 TO 07/04

WETLAND IMPACTS (SQ FT) **384**

SECONDARY WETLAND IMPACTS (SQ FT) **189**

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO MLW
- SURVEY COURTESY OF "TKW" & "EF GAMES"
 ** SURVEY DATED: 09-29-14
- Tidal Datum
 ** MLW (NAVD) = -1.51'
 ** MHW (NAVD) = +0.47'



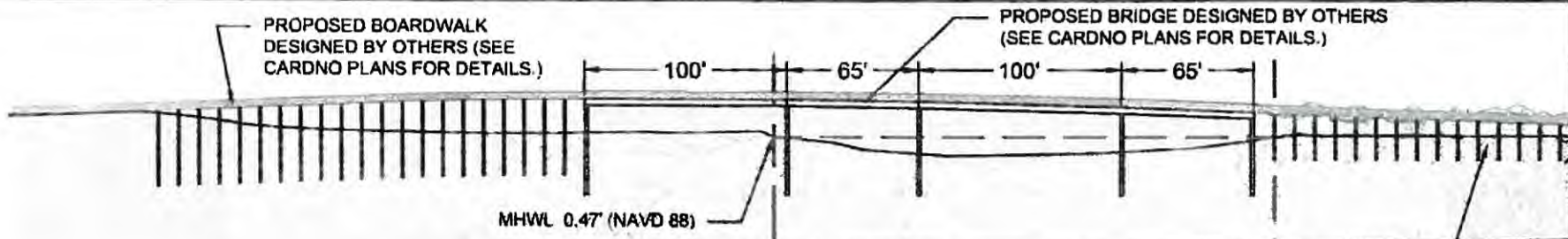
Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B. Naples, FL 34104-3732
 Email: turrell@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

**NAPLES BAKER PARK BRIDGE - WEST LANDING
 IMPACTS MAP**

DESIGNED	TH	1	-	-	-
DRAWN BY	RMJ	2	-	-	-
CREATED	01-15-10	3	-	-	-
JOB NO	1425	4	-	-	-
SHEET NO	08 OF 13	5	-	-	-

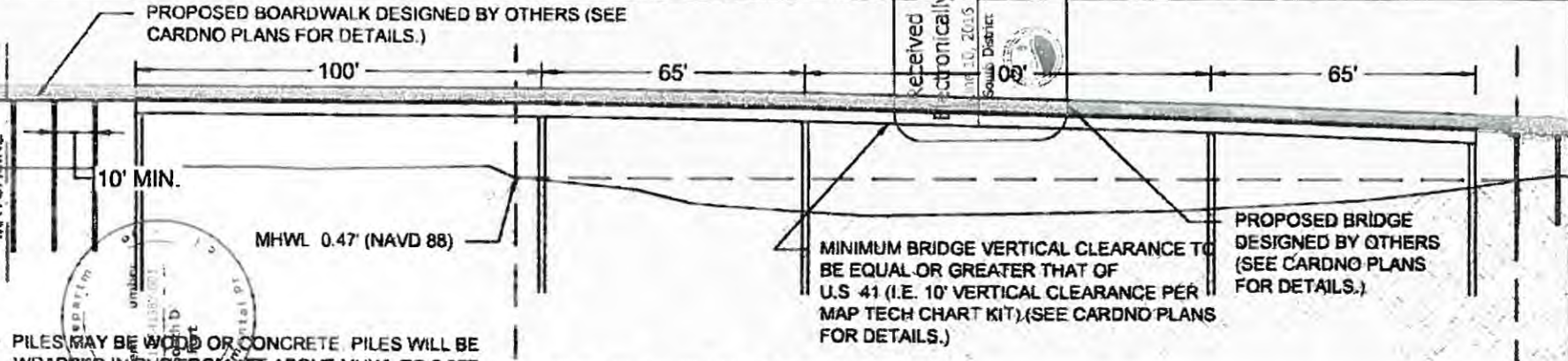
SECTION-03 TOWNSHIP- 60S RANGE- 25E

14351 Naples Baker Park Bridge CAD/PERMIT STATE/BRIDGE - WEST-STATE MAP STATE OR DEE - WEST.dwg SECTION 6/10/20 8



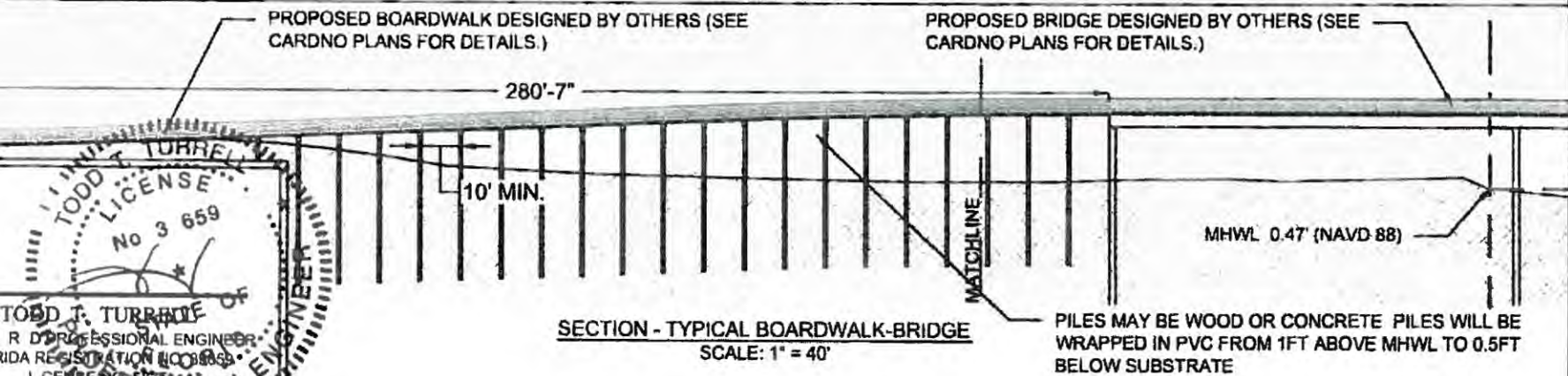
SECTION - TYPICAL BOARDWALK-BRIDGE
SCALE: 1" = 80'

PROPOSED BOARDWALK TO BE PERMITTED BY WMD



SECTION - TYPICAL BOARDWALK-BRIDGE
SCALE: 1" = 40'

MINIMUM BRIDGE VERTICAL CLEARANCE TO BE EQUAL OR GREATER THAT OF U.S. 41 (I.E. 10' VERTICAL CLEARANCE PER MAP TECH CHART KIT), (SEE CARDNO PLANS FOR DETAILS.)



SECTION - TYPICAL BOARDWALK-BRIDGE
SCALE: 1" = 40'

PILES MAY BE WOOD OR CONCRETE PILES WILL BE WRAPPED IN PVC FROM 1FT ABOVE MHWL TO 0.5FT BELOW SUBSTRATE

TODD J. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 1425
 LICENSE NO. 1425
 DATE Jun 10, 2016



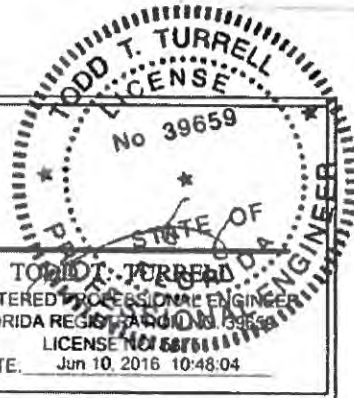
Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B. Naples, FL 34104-3732
 Email: turrell@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - WEST LANDING
SECTIONS

DESIGNED BY	TH	1	-	-	-	-
DRAWN BY	RIA1	2	-	-	-	-
CREATED BY	011516	3	-	-	-	-
JOB NO	1425	4	-	-	-	-
SHEET NO	00 OF 11	5	-	-	-	-

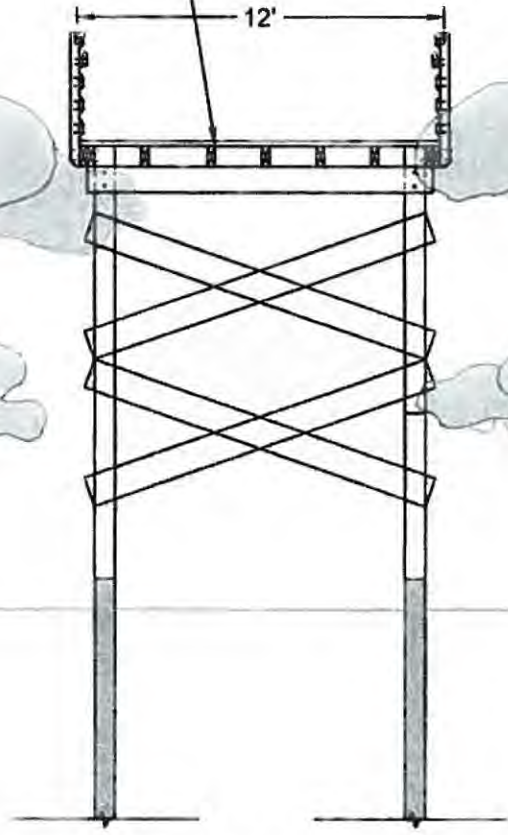
SECTION-03 TOWNSHIP- 60S RANGE- 25E

1425 - Naples Baker Park Bridge/GADP/RAIL - STA 15+00 TO STA 15+25 WEST SIDE BRIDGE - WEST LANDING DETAIL 6/10/2016



TODD TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39659
 LICENSE NO. 39659
 DATE: Jun 10, 2016 10:48:04

BOARDWALK DESIGNED BY OTHERS



SECTION - TYPICAL BOARDWALK W/ RAIL
 SCALE: 1" = 6'



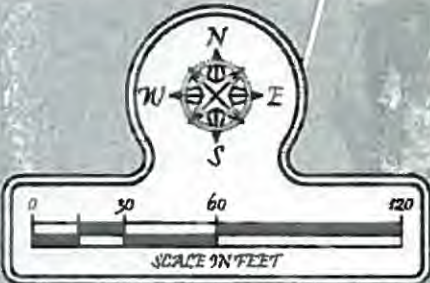
Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B. Naples, FL 34104-3732
 Email: turrell@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 643-6632

**NAPLES BAKER PARK BRIDGE - WEST LANDING
 DETAIL**

DESIGNED	T T T	1	-	-	-	-
DRAWN BY	R J J	2	-	-	-	-
CREATED	10-02-14	3	-	-	-	-
JOB NO	1495	4	-	-	-	-
SHEET NO	10 OF 10	5	-	-	-	-

SECTION-03 TOWNSHIP- 60S RANGE- 25E

P:\1125_1-Naples Baker Park Bridge\CAD\PERMIT_STA_TERRIDGE_WEST\STATE\1125_STATE-BRIDGE-WEST.dwg SOILS 6/10/2014



Permit Number: 233107-000
 District: District 1
 Date: 06/10/2014

Received Electronically
 June 10, 2014
 Soil District

TODD T. TURRELL
 LICENSE No. 39659
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39659
 LICENSE NO. 39659
 DATE: JUN 10, 2014 10:46:29

CODE	DESCRIPTION	HYDRIC
35	URBAN LAND-AQUENTS COMPLEX, ORGANIC SUBSTRATUM	
40	DURBIN AND WULFERT MUCKS, FREQUENTLY FLOODED	YES
99	WATER	

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- SURVEY COURTESY OF "TON" & "EF GAINES"
- SURVEY DATED 09-28-14
- SOIL DATA PROVIDED BY 1998 UNITED STATES DEPT OF AGRICULTURE SOIL SURVEY OF COLLIER COUNTY AREA, FL



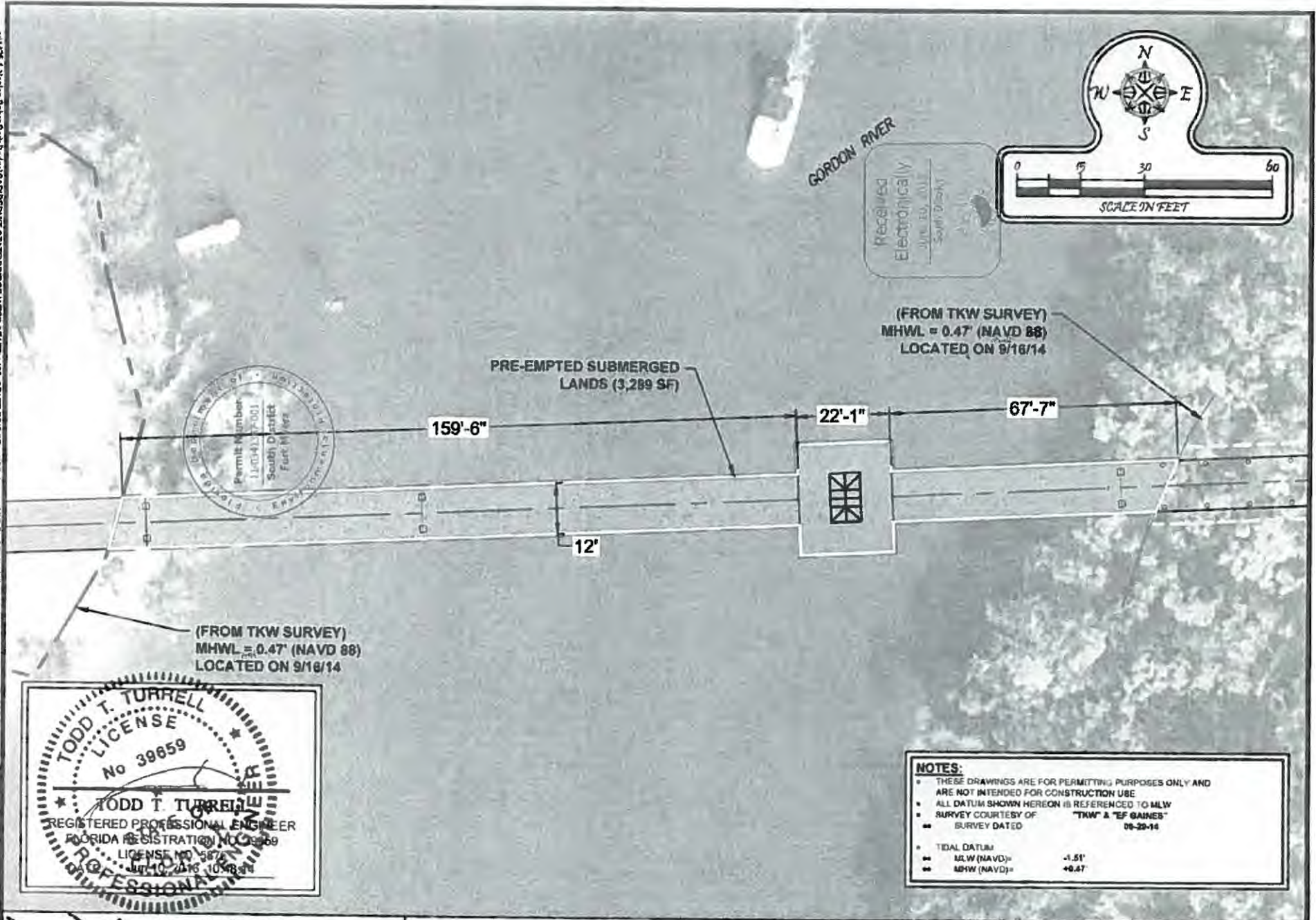
Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Funchange Ave. Suite B. Naples, FL 34104-3732
 Email: turrell@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

**NAPLES BAKER PARK BRIDGE - WEST LANDING
 SOILS MAP**

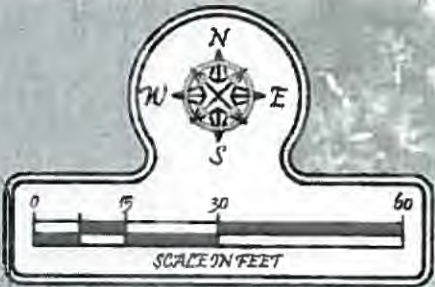
DESIGNED BY	TH	DATE	1	2	3	4	5
DRAWN BY	RHJ	2	-	-	-	-	-
CHECKED BY	01-13-14	3	-	-	-	-	-
JOB NO.	1429	4	-	-	-	-	-
SHEET NO.	11 OF 13	5	-	-	-	-	-

SECTION-03 TOWNSHIP- 50S RANGE- 25E

011425 Naples Baker Park Bridge/CA/PERMIT - STATE BRIDGE WEST - STATE 425 STATE BRIDGE WEST AND PRE-EMPTED SUB 6/10/2016



Received Electronically
 JUN 10, 2016 10:48 AM
 SOUTH DAKOTA



PRE-EMPTED SUBMERGED LANDS (3,289 SF)

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 9/16/14

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 9/16/14

TODD T. TURRELL
 LICENSE
 No 39859
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39859
 LICENSE NO. 9872
 EXP. 10/2016

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO MLW
- SURVEY COURTESY OF "TKW" & "EF GAINES"
- SURVEY DATED 09-29-14
- TIDAL DATUM
 - MLW (NAVD) = -1.51'
 - MHW (NAVD) = 0.47'



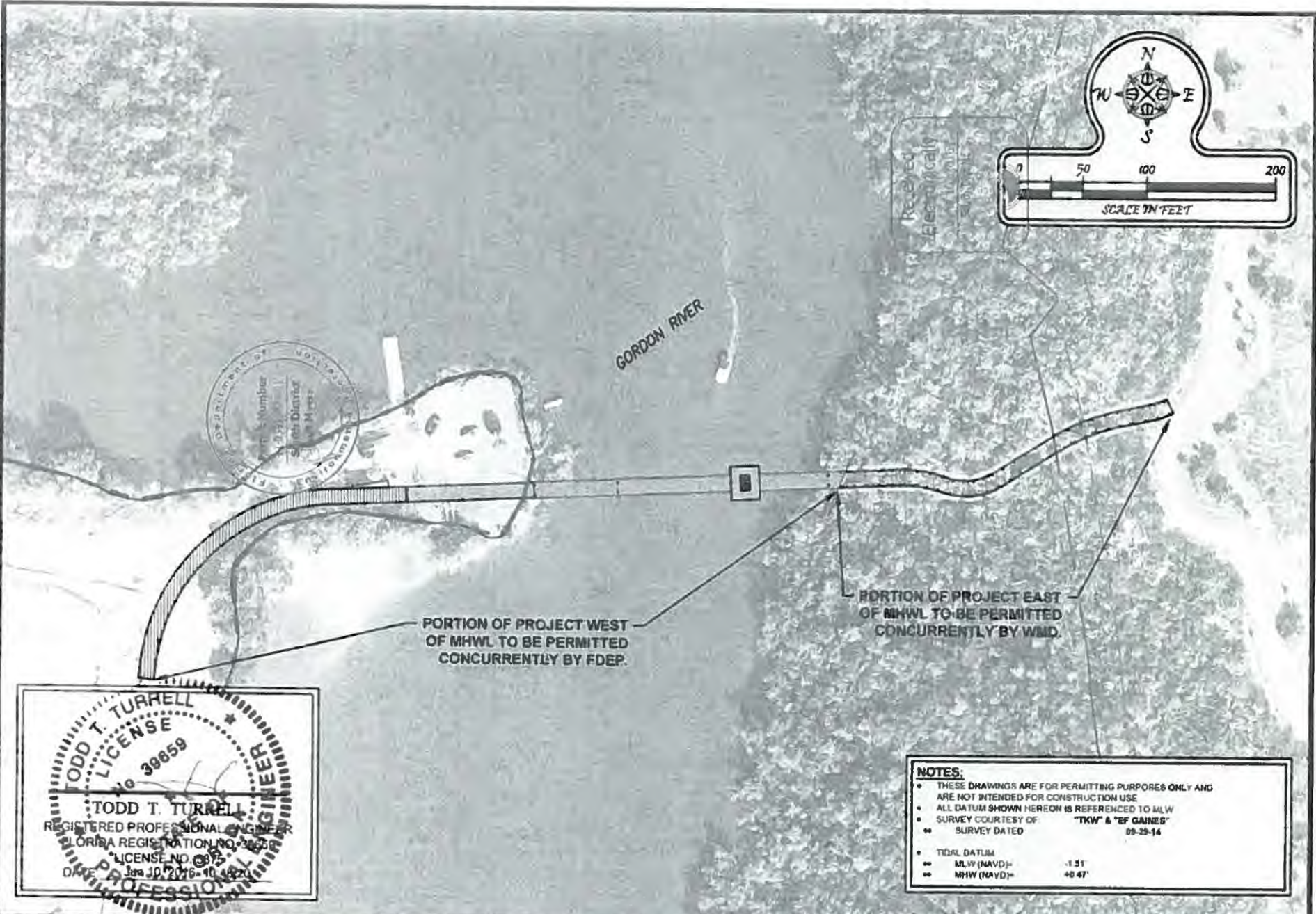
Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B, Naples, FL 34104-3732
 Email: tt@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - WEST LANDING
PRE-EMPTED SUBMERGED LANDS

DESIGNED	TH	1	2	3	4	5
DRAWN BY	KHL					
CREATED	01-13-18					
JOB NO.	1425					
SHEET NO.	12 OF 13					

SECTION-03 TOWNSHIP-50S RANGE-25E

P:\145 - Naples Baker Park Bridge\AD\PERMIT STATE BRIDGE WEST STAT\145 STATE BRIDGE WEST AND PERMIT BNDY 6/10/2018



TODD T. TURRELL
LICENSE
 No. 39859
REGISTERED PROFESSIONAL ENGINEER
TODD T. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39859
 LICENSE NO. 0875
 Issued 10/20/16 - 10/16/21
REGISTERED PROFESSIONAL ENGINEER

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO MLW
- SURVEY COURTESY OF "TKW & "EF GAINES"
- SURVEY DATED 09-29-14
- TIDAL DATUM
 - MLW (NAVD) = -1.51'
 - MHW (NAVD) = +0.47'



Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B, Naples, FL 34104-3732
 E-mail: t.turrell@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - WEST LANDING
PERMIT BOUNDARY AREAS

DES. SHEET	TW	1	2	3	4	5
DRAWN BY	RLU	?	-	-	-	-
TREATED	10-11-12	3	-	-	-	-
JOB NO	1423	4	-	-	-	-
SHEET NO	13 OF 13	5	-	-	-	-

SECTION-03 TOWNSHIP- 50S RANGE- 25E

CITY OF NAPLES PLANS FOR PROPOSED BRIDGE AND BOARDWALK IMPROVEMENTS GORDON RIVER CONNECTOR BRIDGE AND BOARDWALKS

CLERK TRACKING No. 15-01237

BRIDGE AND BOARDWALK PLANS

INDEX OF PLANS

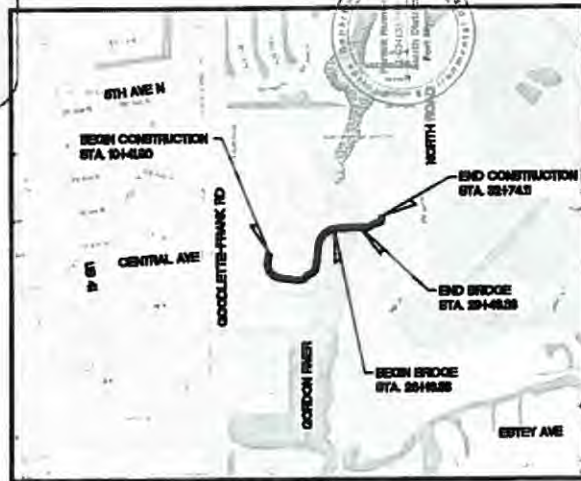
SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2	SUMMARY OF PAY ITEMS
3	TYPICAL SECTIONS
4	GENERAL NOTES
5	PROJECT LAYOUT
6-8	PLAN AND PROFILE
9-11	CROSS-SECTIONS
12-13	NAVIGATION LIGHTING PLAN

INDEX OF BRIDGE PLANS

SHEET NO.	SHEET DESCRIPTION
B1	GENERAL NOTES
B2	PLAN AND ELEVATION (1 OF 2)
B3	PLAN AND ELEVATION (2 OF 2)
B4	FOUNDATION LAYOUT (1 OF 2)
B5	FOUNDATION LAYOUT (2 OF 2)
B6-B8	REPORT OF TEST BORINGS
B9	PILE DATA TABLE
B10	BOARDWALK TYPICAL SECTION
B11	BOARDWALK PARTIAL PLAN AND ELEVATION
B12	BOARDWALK END BENT DETAILS
B13	BRIDGE TYPICAL SECTION
B14	BRIDGE PIER DETAILS (1 OF 3)
B15	BRIDGE PIER DETAILS (2 OF 3)
B16	BRIDGE PIER DETAILS (3 OF 3)
B17	PRE-STRESSED BEAM TABLE



COLLIER COUNTY, FLORIDA



LOCATION MAP



LOCATION OF PROJECT

VICINITY MAP

GOVERNING STANDARDS AND SPECIFICATIONS

DESCRIPTION

A. THE LATEST EDITIONS OF "THE MINIMUM SPECIFICATIONS FOR TRAFFIC CONTROL SIGNALS AND DEVICES" (MSTCSD) AND THE COLLIER COUNTY TRAFFIC TECHNICAL SPECIAL PROVISIONS.

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH AND ARE COVERED BY THE COLLIER COUNTY DEPARTMENT OF TRANSPORTATION, SIGNALIZATION TECHNICAL SPECIAL PROVISIONS (DATED APRIL 2010).

FOR DESIGN STANDARDS MODIFICATIONS CLICK ON "TRAFFIC TECHNICAL SPECIAL PROVISIONS" AT THE FOLLOWING WEB SITE:

<http://www.colliercounty.net/index.aspx?page=121>

B. FLORIDA DEPARTMENT OF TRANSPORTATION 2016 DESIGN STANDARDS AND REVISED BOX-CUT DRAWINGS, AS APPENDED HERON, AND DIVISIONS II AND III OF THE JULY 2016 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED BY CONTRACT DOCUMENTS.

FOR DESIGN STANDARDS CLICK ON THE "DESIGN STANDARDS" LINK AT THE FOLLOWING WEB SITE: <http://www.dot.state.fl.us/rddesign/>

FOR THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION CLICK ON THE "SPECIFICATIONS" LINK AT THE FOLLOWING WEB SITE: <http://www.dot.state.fl.us/specificationsoffice/>

C. SOUTH FLORIDA WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMITTING (ERP) INFORMATION MANUAL, LATEST EDITION

UTILITY WARNING NOTE

ABOVE GROUND AND / OR UNDERGROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT -- PROCEED WITH CAUTION -- THE CONTRACTOR SHALL CALL SUNSHINE STATE "ONE CALL" AT 1-800-432-4770 AND THE UTILITY OWNERS IN ADVANCE OF BEGINNING WORK, IN ACCORDANCE WITH CHAPTER 356, FLORIDA STATUTES.



REVISIONS	
DATE	BY

PLANS PREPARED BY:

Cardno 380 Park Place Blvd, Suite 300, Clearwater, Florida, 33759
www.cardno.com - 727.531.3505
Certificate of Authorization No. 29915

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

60% Plans

JANUARY 2016

BRIDGE & BOARDWALK PLANS _____ DATE _____
ENGINEER OF RECORD MIGUEL A. VILLEGAS, P.E. NO. 96786
CARDNO

TRAIL PLANS _____ DATE _____
ENGINEER OF RECORD SHARI K. BARNWELL, P.E. NO. 71367
CARDNO

CITY OF NAPLES PROJECT MANAGER: RONY JOEL, P.E.

FISCAL YEAR	SHEET NO.
16	1

SUMMARY OF QUANTITIES

ITEM NO.	ITEM	UNIT	QUANTITY
ROADWAY			
101-1	MOBILIZATION	LS	1
102-1	MAINTENANCE OF TRAFFIC	LS	1
104-10-3	SEDIMENT BARRIER	LF	--
104-11	FLOATING TURBIDITY BARRIER	LF	--
104-12	STAKED TURBIDITY BARRIER	LF	--
104-15	SOIL TRACKING PREVENTION DEVICE	EA	--
104-18	INLET PROTECTION SYSTEM	LS	--
110-1-1	CLEARING & GRUBBING	CY	--
120-1	REGULAR EXCAVATION	CY	--
120-6	EMBANKMENT	SY	--
285-701	OPTIONAL BASE GROUP 1	CY	--
287-1	ASPHALT TREATED PERMEABLE BASE	BY	--
670-1-2	PERFORMANCE TURF, 900		
LIGHTING			
630-2-11	CONDUIT, F&I, OPEN TRENCH	LF	--
630-2-12	CONDUIT, F&I, DIRECTIONAL BORE	LF	--
630-2-14	CONDUIT, F&I, ABOVEGROUND	LF	--
630-2-16	CONDUIT, F&I, BRIDGE MOUNT	EA	--
630-2-1	PULL AND SPLICE BOX, F&I, (13 X 24)	EA	--
630-3-11	ELECTRICAL SERVICE DISCONNECT, F&I, PIER MOUNT	EA	--
715-1-12	LIGHTING CONDUCTORS, F&I, NO. 8	LF	--
715-1-13	LIGHTING CONDUCTORS, F&I, NO. 3	EA	--
715-11-125	LUMINAIRE, F&I, PIER MOUNT, 180 DEGREE RED	EA	--
715-11-126	LUMINAIRE, F&I, BRIDGE MOUNT, 360 DEGREE GREEN	EA	--
MISCELLANEOUS			
999-999	SIGNED AND SEALED AS-BUILT RECORD DRAWINGS	EA	

PAY ITEM NOTES

- 102-1: MAINTENANCE OF TRAFFIC INCLUDES ALL COST ASSOCIATED WITH MOT AND INCLUDES ALL WORK ZONE SIGNS, BARRICADES, ADVANCED WARNING ARROW PANEL, AND HIGH INTENSITY FLASHING LIGHTS.
- 999-999: SIGNED AND SEALED RECORD DRAWINGS. AS A CONDITION PRECEDENT TO FINAL ACCEPTANCE OF THE PROJECT, SUBMIT TO THE ENGINEER THREE COPIES OF AS-BUILT DRAWINGS AND A CERTIFIED SURVEY VERIFYING THE AS-BUILT CONDITIONS FOR ALL INSTALLED AND CONSTRUCTED CONDITIONS. THE AS-BUILT DRAWINGS AND CERTIFIED SURVEY MUST BE SIGNED AND SEALED BY AN APPROPRIATELY LICENSED PROFESSIONAL REGISTERED IN THE STATE OF FLORIDA.



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

340 Park Plaza Blvd., Suite 200, Clearwater, Florida 34718
www.gardco.com - 727 531 3225
Certificate of Authorization No. 29915

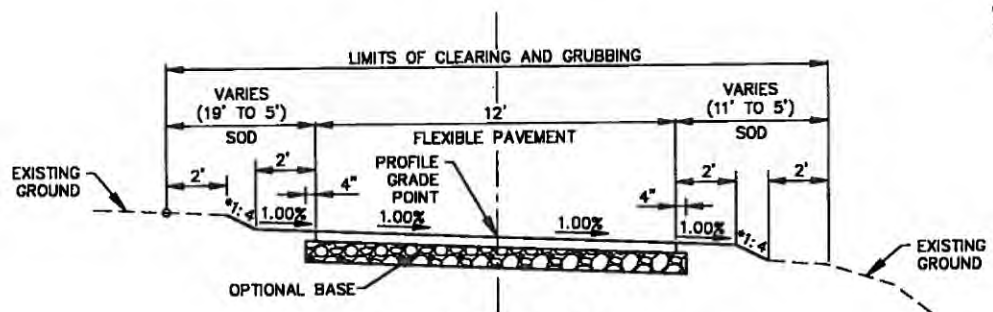
60% PLANS

THOMAS BARNWELL, P.E. DATE
LIC. NO. 11157

DESIGNED: BJS
DRAWN: JAE
CHECKED:
APPROVED: BJS

SUMMARY OF PAY ITEMS

PROJECT NO.
00026070.00
DATE
1/15/2018
SHEET NO.
2



TYPICAL SECTION NO. 1
PEDESTRIAN/BICYCLE TRAIL
 STA 10+41.90 TO STA 23+88.70
 NTS

FLEXIBLE PAVEMENT DETAIL
OPTIONAL BASE GROUP 1
2" ASPHALT TREATED PERMEABLE BASE

PATH SPEED = 18 MPH

* SEE CROSS SECTIONS FOR SIDE SLOPES (NON-TYPICAL)

Received
 Electronically
 May 17, 2016
 South District

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK**

340 Park Plaza Blvd. Suite 300, Clearwater, Florida, 34718
 www.cardno.com • 727.531.3525
 CardNo. of Authorization No. 3543

60% PLANS

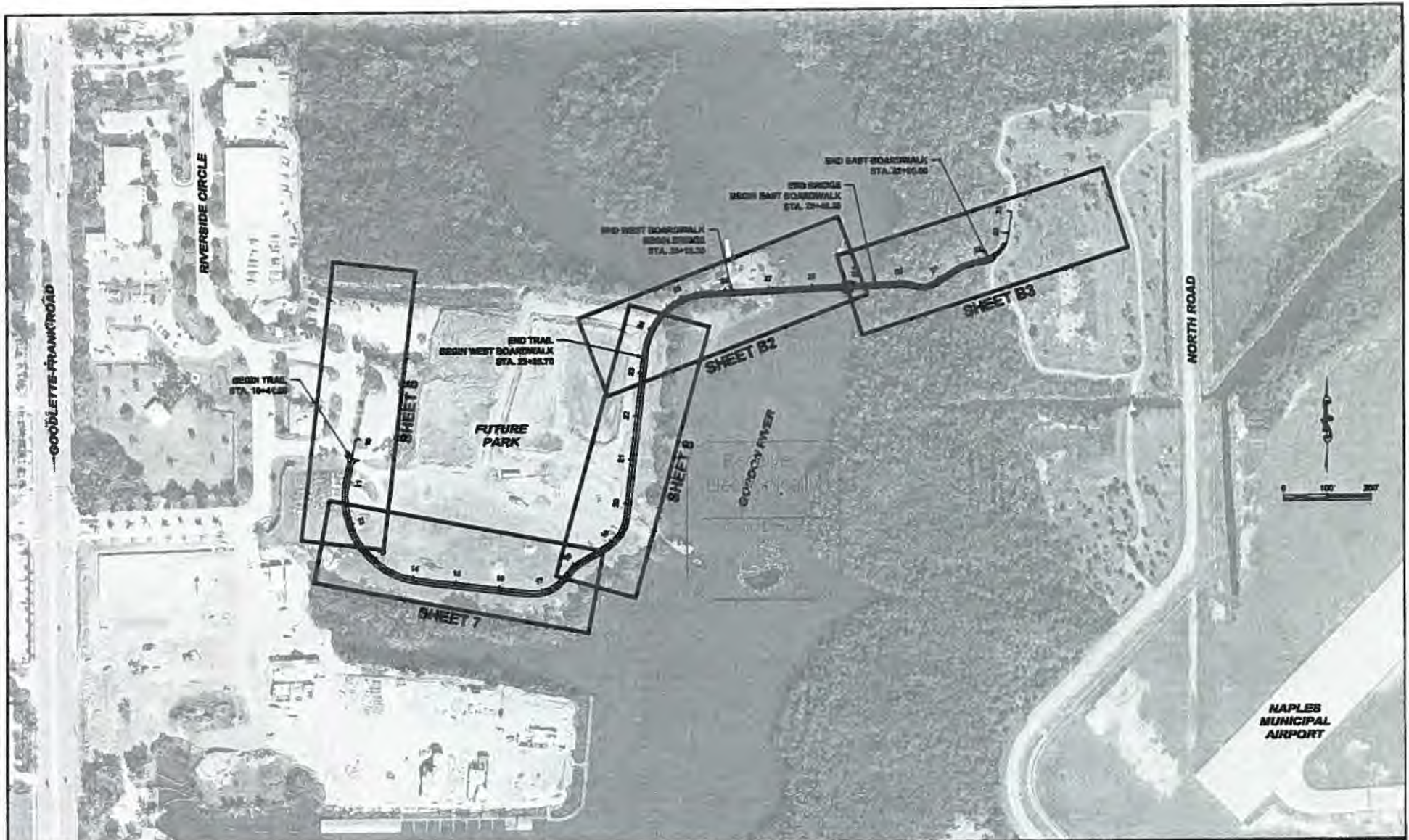
GUAN K. BARNWELL, P.E. DATE
 LIC. NO. 71357

TYPICAL SECTIONS

PROJECT NO.
 00028070.00

DATE
 1/15/2016

SHEET NO.
 3



NO	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

Cardno
 340 Park Place Blvd., Suite 300, Clearwater, Florida 34628
 www.cardno.com - 727.531.3525
 Certificate of Registration No. 22815

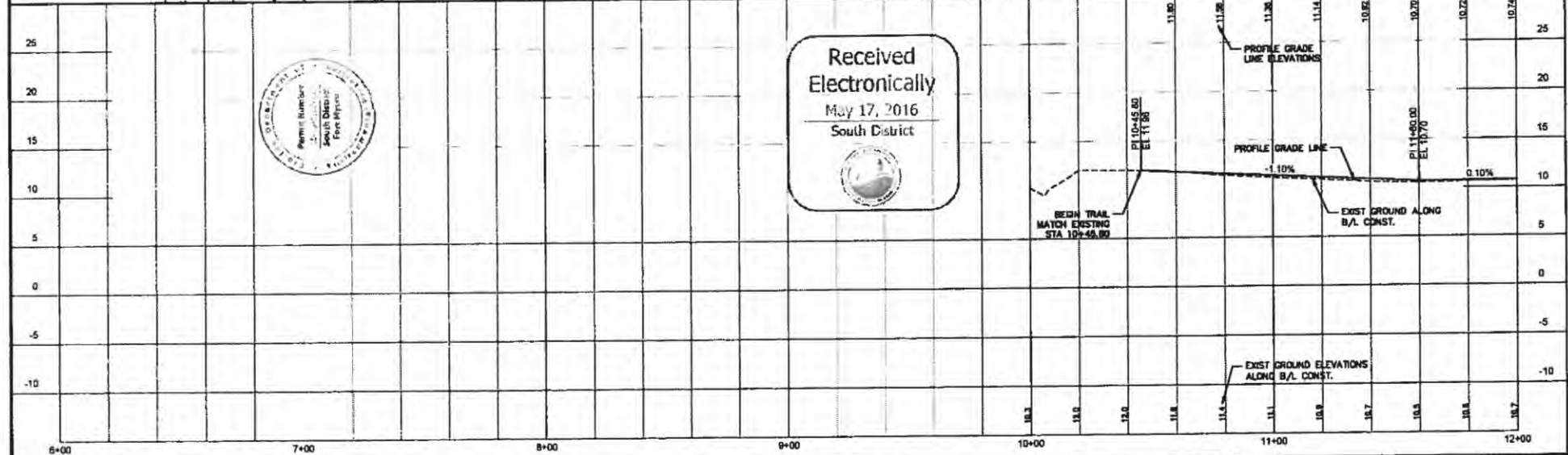
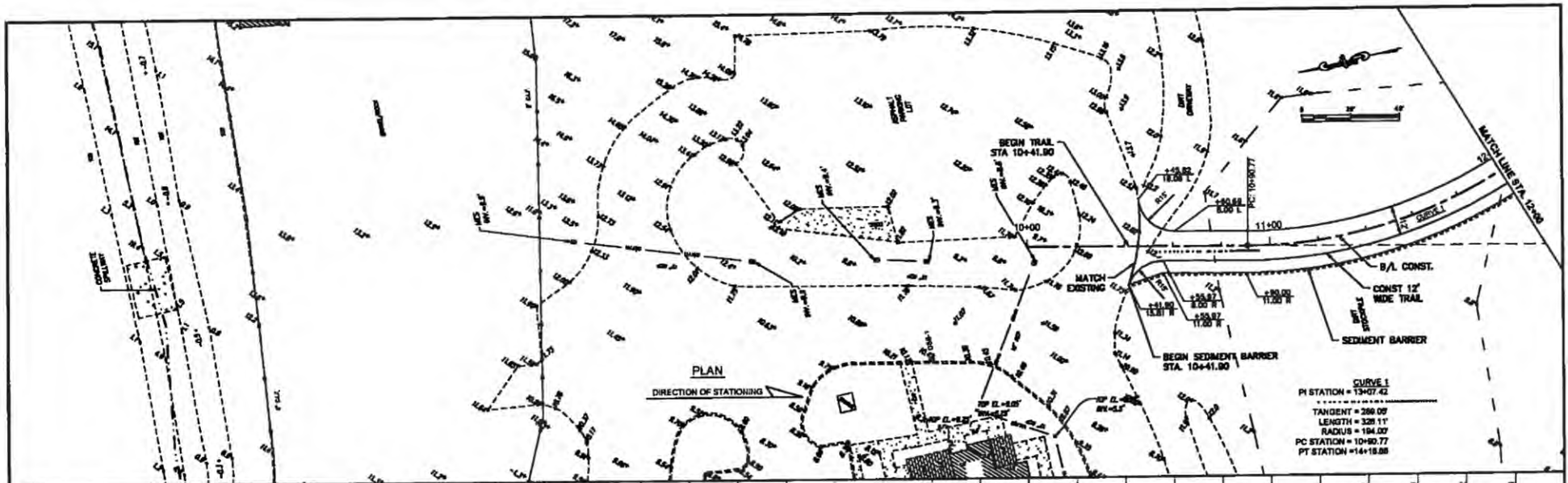
60% PLANS

BRANK BRUNZELL P.E. DATE
 LIC. NO. 71257

DESIGNED	SKB
DRAWN	TAB
ITC	
APPROVED	SKB

PROJECT LAYOUT

PROJECT NO.	0000070.00
DATE	1/15/2016
SHEET NO.	5



Received
Electronically
May 17, 2016
South District

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

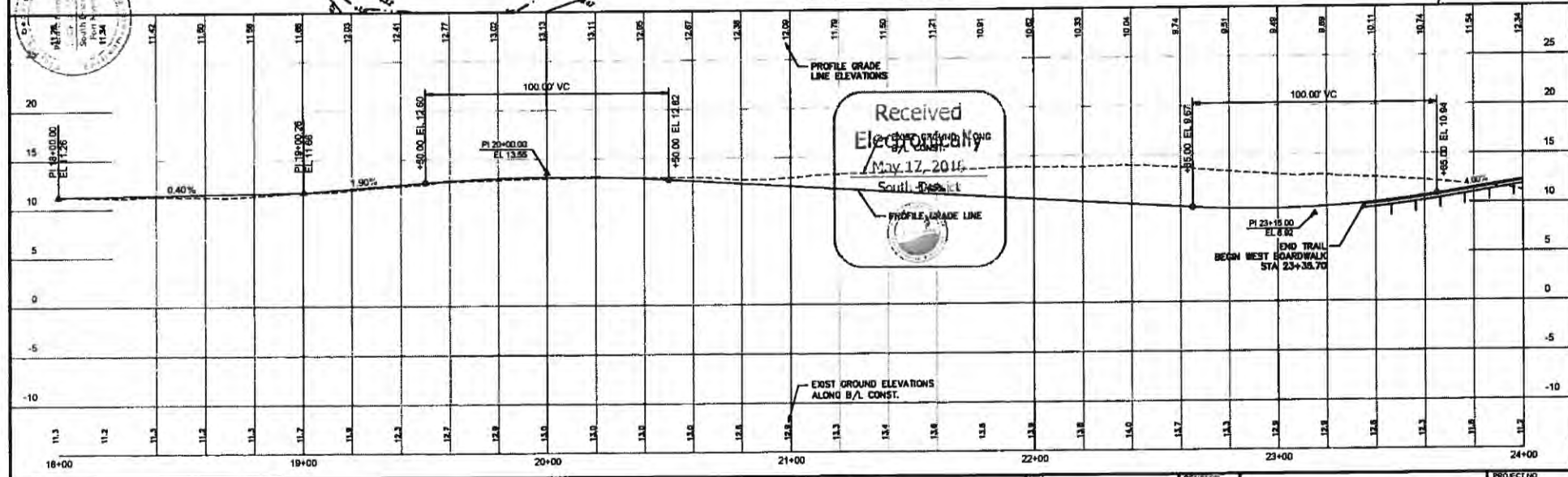
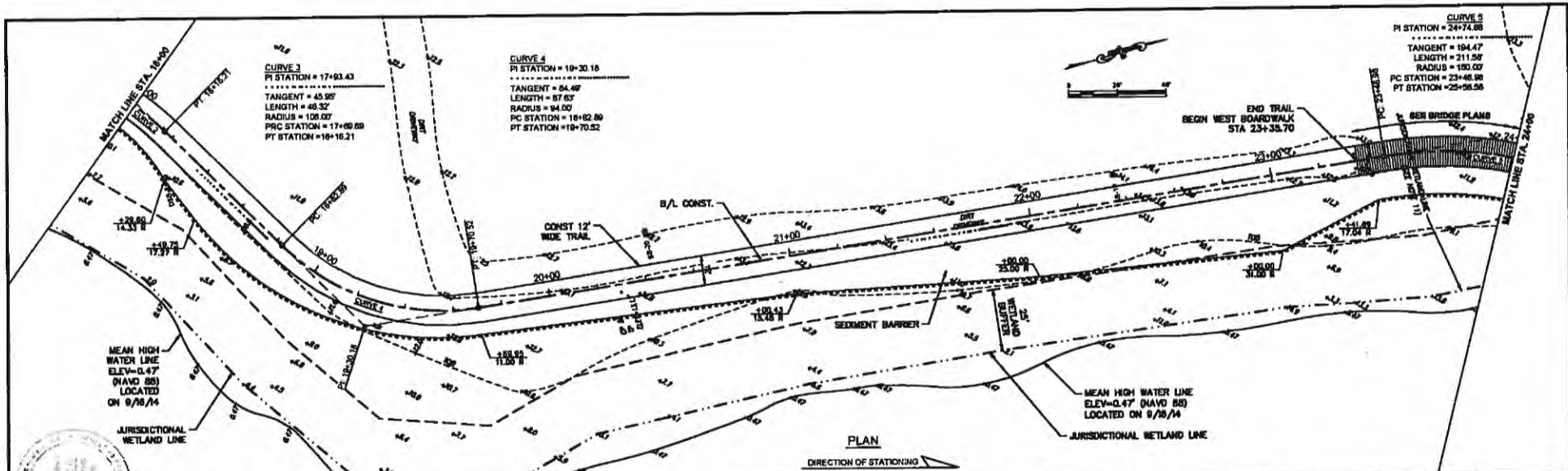
**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

Cardno
380 Park Plaza Blvd, Suite 300, Clearwater, Florida 34619
www.cardno.com - 727.831.3208
Certificate of Authorization No. 20018

60% PLANS
DESIGNED: **BAJ**
DRAWN: **TAB**
CHECKED: **BAJ**
APPROVED: **BAJ**
DATE: 1/15/2018
LIC. NO.: 71357

PLAN AND PROFILE (1)

PROJECT NO:
00028070.00
DATE:
1/15/2018
SHEET NO:
6



Received
 Elevation.com
 May 17, 2016
 South District

NO.	DESCRIPTION	BY	DATE
1-3			

CITY OF NAPLES

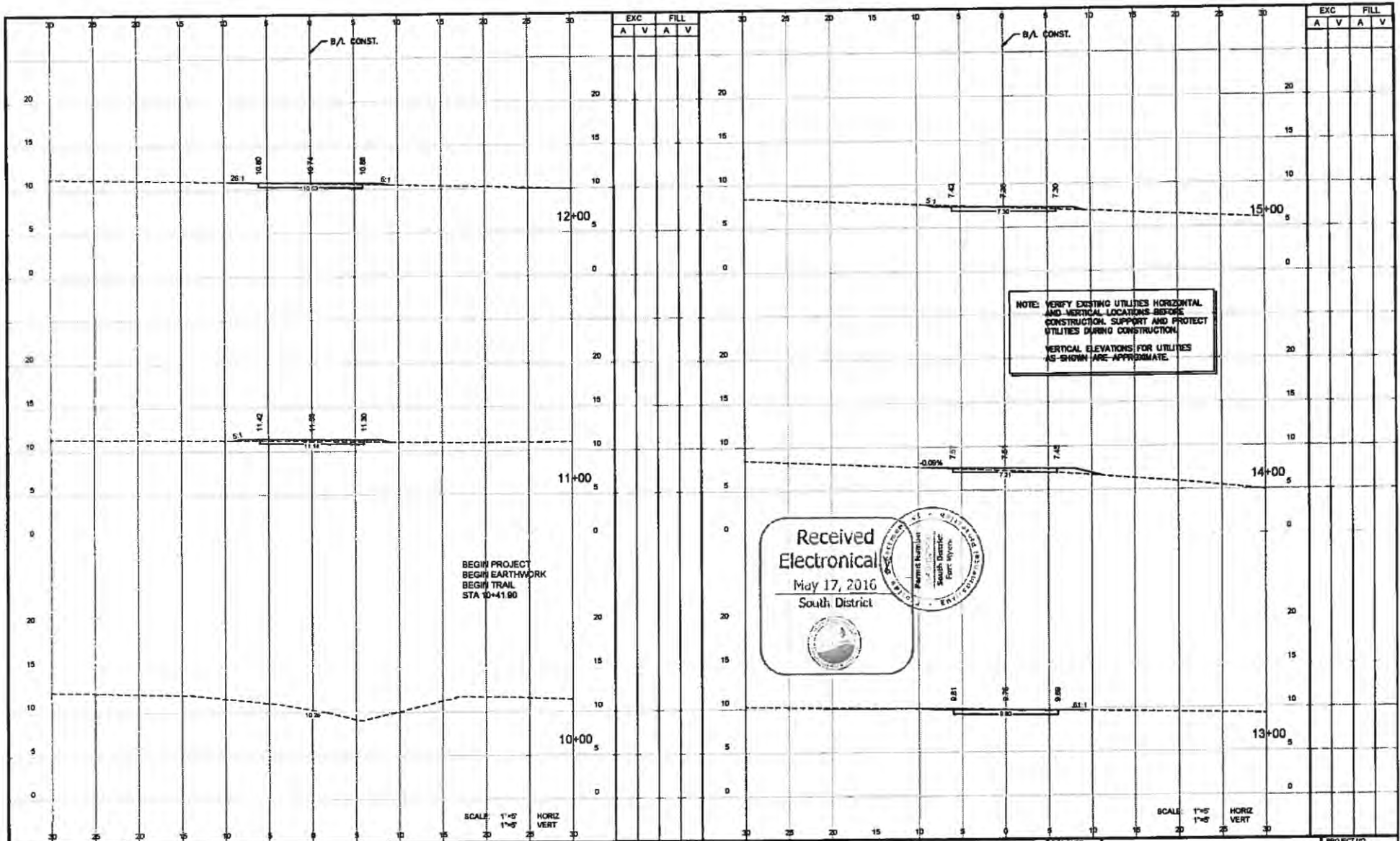
**GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK**

Gardno
 380 Park Plaza Blvd., Suite 300, Clearwater, Florida 33798
 www.gardno.com • 727.331.3505
 Certificate of Authorization No. 29018

00% PLANS
 DESIGNED: BKB
 DRAWN: T.M.
 CHECKED: BKB
 APPROVED: BKB

PLAN AND PROFILE (3)

PROJECT NO: 00028070.00
 DATE: 1/15/2016
 SHEET NO: 8



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

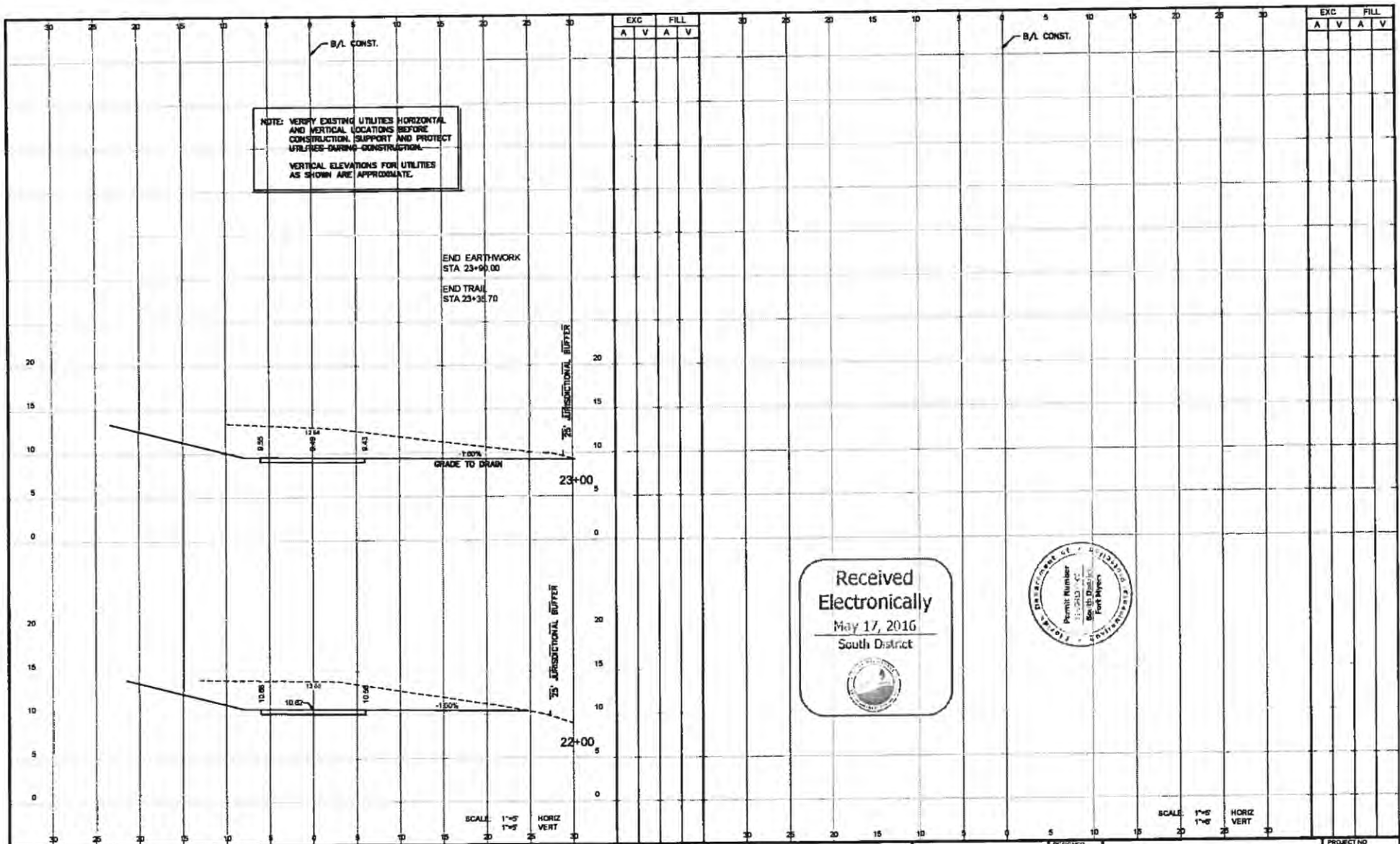
330 Park Plaza Blvd., Suite 302, Clearwater, Florida 33739
www.cardno.com - 727-831-3325
Certificate of Authorization No. 29218

60% PLANS

DESIGNED: **BNB**
DRAWN: **TAB**
CHECKED:
APPROVED:
DATE:
LIC. NO.: **71257**

CROSS SECTIONS (1)

PROJECT NO.	00226070.00
DATE	1/15/2016
SHEET NO.	8



EXC		FILL	
A	V	A	V

EXC		FILL	
A	V	A	V

NOTE: VERIFY EXISTING UTILITIES HORIZONTAL AND VERTICAL LOCATIONS BEFORE CONSTRUCTION. SUPPORT AND PROTECT UTILITIES DURING CONSTRUCTION. VERTICAL ELEVATIONS FOR UTILITIES AS SHOWN ARE APPROXIMATE.

END EARTHWORK
STA 23+90.00
END TRAIL
STA 23+35.70

Received
Electronically
May 17, 2016
South District



SCALE: 1"=5'
1"=5'
HORIZ
VERT

SCALE: 1"=5'
1"=5'
HORIZ
VERT

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

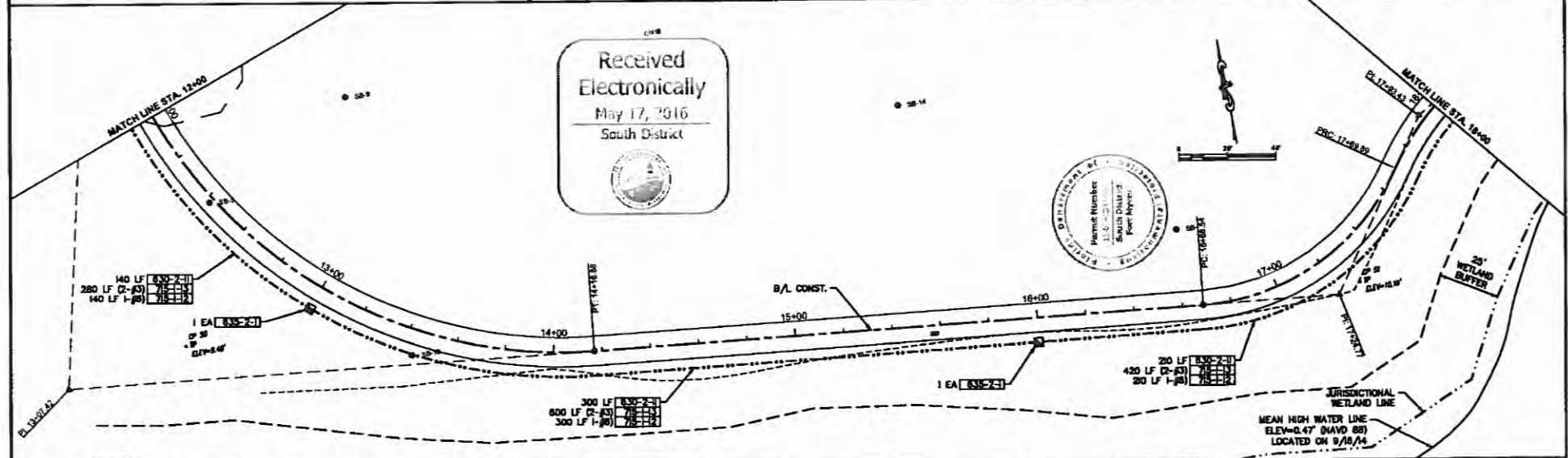
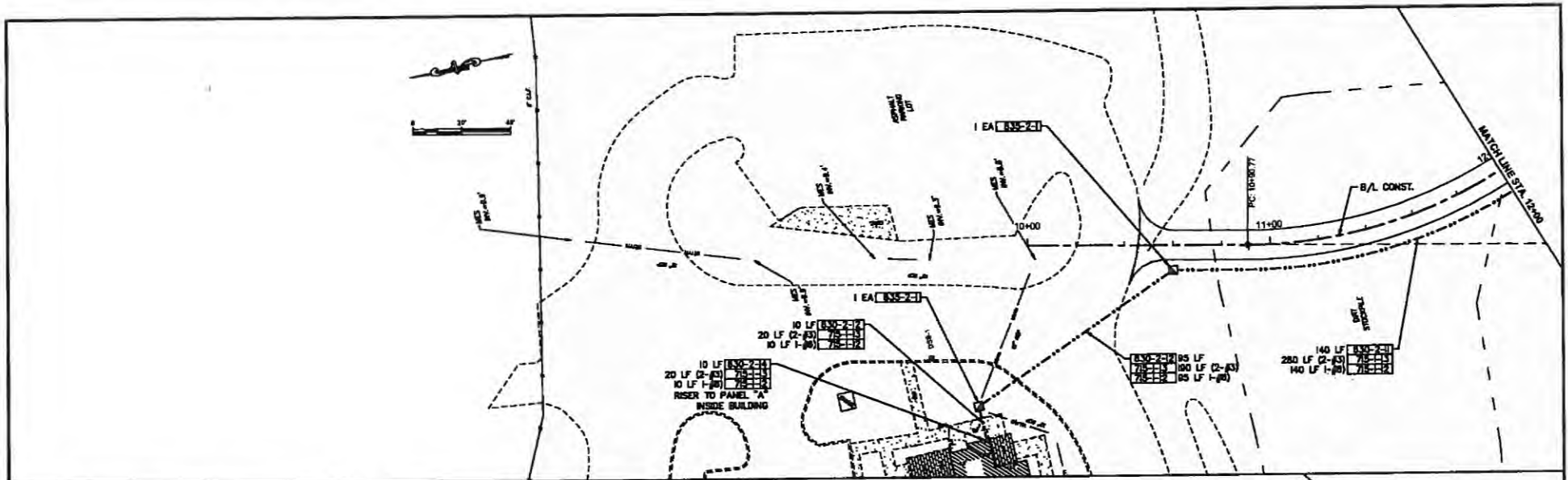
Cardno
300 Park Plaza Blvd., Suite 300, Clearwater, Florida, 33760
www.cardno.com - 727.531.3505
Certificate of Authorization No. 25018

60% PLANS

DESIGNED BY
DRAWN T.B.
CHECKED
APPROVED: SPURK BARTWELL, P.E. DATE 1/15/2016
LIC. NO. 71387

CROSS SECTIONS (3)

PROJECT NO. 02020070.00
DATE 1/15/2016
SHEET NO. 11



Received
Electronically
May 17, 2016
South District



NO	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

Cardno
300 Park Plaza Blvd., Suite 300, Clearwater, Florida 34616
www.cardno.com • 727 531 3028
Certificate of Authorization No. 29018

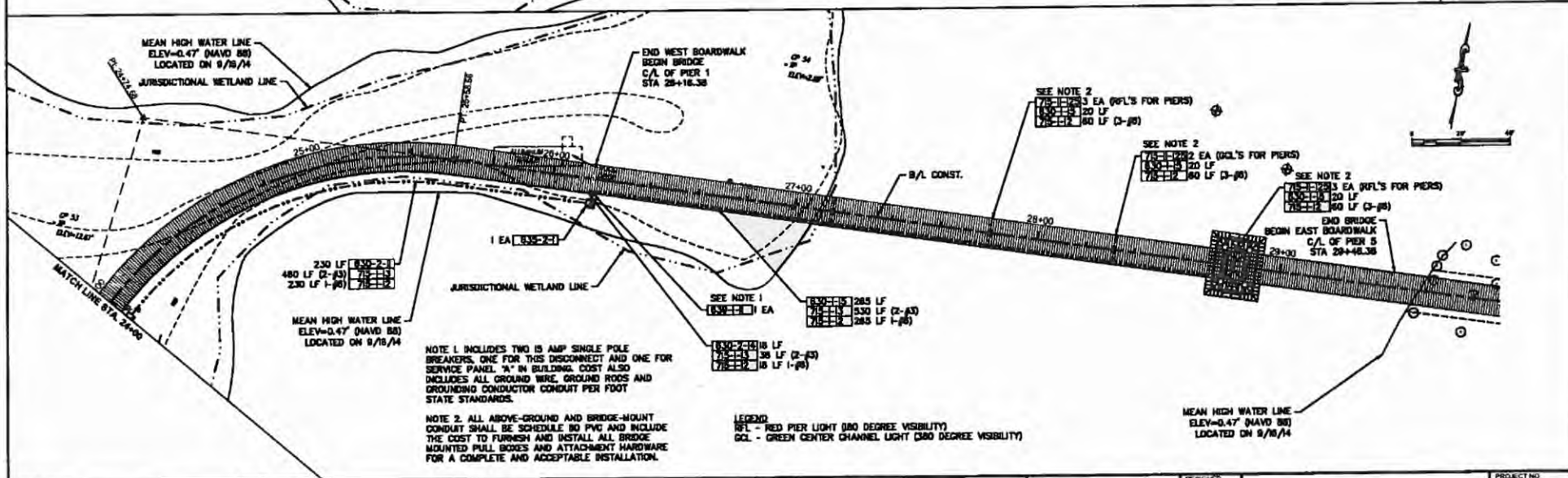
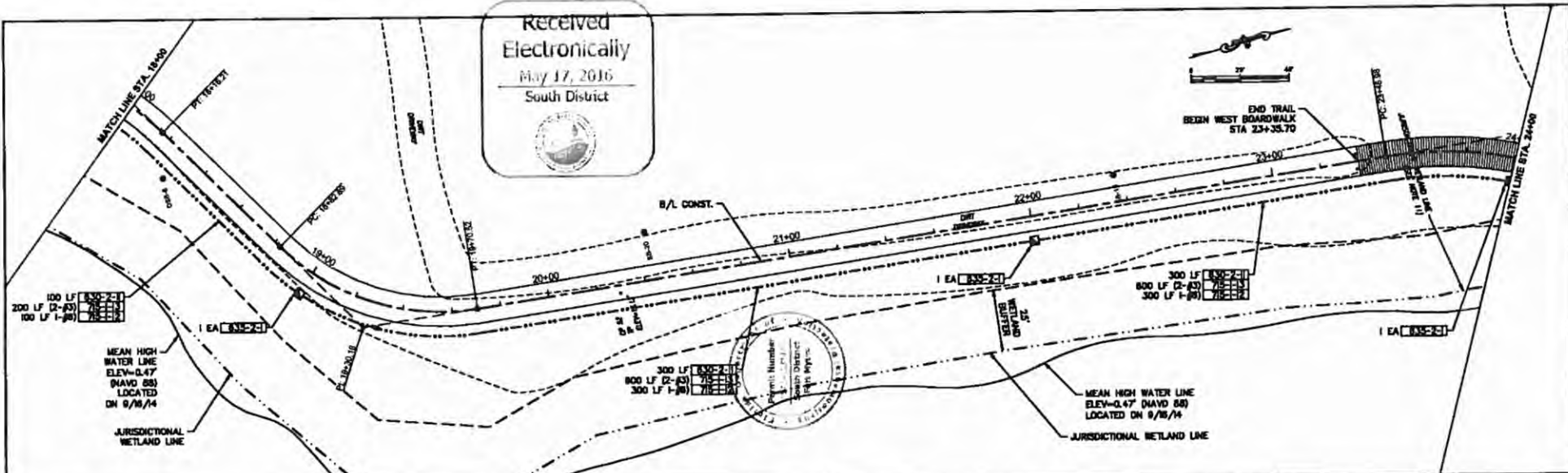
60% PLANS
WORK PROGRESS P.E. DATE
LIC. NO. 54238

DESIGNED: MVM
DRAWN: JMI
ETC
APPROVED: MVM

**NAVIGATION LIGHTING
PLAN (1)**

PROJECT NO:
00020707.00
DATE:
1/15/2018
SHEET NO:
12

Received
Electronically
May 17, 2016
South District



NOTE 1 INCLUDES TWO 15 AMP SINGLE POLE BREAKERS, ONE FOR THIS DISCONNECT AND ONE FOR SERVICE PANEL 'A' IN BUILDING COST ALSO INCLUDES ALL GROUND WIRE, GROUND RODS AND GROUNDING CONDUCTOR CONDUIT PER FOOT STATE STANDARDS.

NOTE 2. ALL ABOVE-GROUND AND BRIDGE-MOUNT CONDUIT SHALL BE SCHEDULE 80 PVC AND INCLUDE THE COST TO FURNISH AND INSTALL ALL BRIDGE MOUNTED PULL BOXES AND ATTACHMENT HARDWARE FOR A COMPLETE AND ACCEPTABLE INSTALLATION.

LEGEND:
RFL - RED PIER LIGHT (80 DEGREE VISIBILITY)
GCL - GREEN CENTER CHANNEL LIGHT (360 DEGREE VISIBILITY)

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

Carcano
340 Park Plaza Blvd., Suite 300, Clearwater, Florida, 34616
www.carcano.com 727.531.3525
Certificate of Authorization No. 28615

60'S PLANS
WORKW/BOARDWALK P/1-1/2
LIC. NO. 8438

DESIGNED: MVM
DRAWN: JEM
DATE: 1/15/2016
APPROVED: MVM

NAVIGATION LIGHTING
PLAN (2)
PROJECT NO: 00026070.00
DATE: 1/15/2016
SHEET NO: 13

GENERAL NOTES

GENERAL SPECIFICATIONS:

FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2016 EDITION) WITH SUPPLEMENTS THERETO.

DESIGN SPECIFICATIONS:

1. AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO), LRFD BRIDGE DESIGN SPECIFICATIONS (7TH EDITION, 2014) WITH APPROVED INTERIMS THERETO.
2. AASHTO LRFD GUIDE SPECIFICATIONS FOR THE DESIGN OF PEDESTRIAN BRIDGES, DECEMBER 09.
3. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE AMERICAN FORREST & PAPER ASSOCIATION, 2005 EDITION, LRFD.
4. FDOT STRUCTURES MANUAL (JANUARY 2016 EDITION).

DESIGN METHOD:

LOAD AND RESISTANCE FACTOR DESIGN METHOD (LRFD) FOR ALL ELEMENTS.

DESIGN LOADING:

1. PEDESTRIAN LOADING: 90 PSF.
2. VEHICULAR LOADING: 4000 LBF MAINTENANCE VEHICLE.
3. WIND LOAD: BASE WIND SPEED = 130 MPH (COLLIER COUNTY).
4. SEISMIC LOADING: IN ACCORDANCE TO AASHTO LRFD 3.10 AND 4.7.4 FOR ZONE 1 SATISFYING MINIMUM BEARING SUPPORT DIMENSION REQUIREMENTS.
5. CONSTRUCTION LOADING (PILES ONLY) H-10 TRUCK (20,000 LBS).

TEMPERATURE EFFECTS:

STRUCTURE MATERIAL	MEAN	RISE FROM MEAN	FALL FROM MEAN	RANGE
CONCRETE	70	+35	-35	70
TIMBER	70	+35	-35	70

COEFFICIENT OF THERMAL EXPANSION: 0.000008 PER °F.

ENVIRONMENT:

SUPERSTRUCTURE: MODERATELY AGGRESSIVE
SUBSTRUCTURE: MODERATELY AGGRESSIVE

CONCRETE:

CONCRETE SHALL BE IN ACCORDANCE WITH SECTION 346 OF THE FDOT SPECIFICATIONS.

CLASS	MINIMUM 28-DAY COMPRESSIVE STRENGTH (psi)	LOCATION OF CONCRETE IN STRUCTURE
II	$f_c = 3,400$	DIAPHRAGMS
IV	$f_c = 6,000$	PRESTRESSED BEAMS
IV	$f_c = 5,500$	SUBSTRUCTURE: PIER CAPS, CHEEK WALLS, END BENTS

CONCRETE COVER:

CONCRETE COVER SHOWN IN PLANS DOES NOT INCLUDE PLACEMENT AND FABRICATION TOLERANCES UNLESS SHOWN AS "MINIMUM COVER". SEE FDOT STANDARD SPECIFICATIONS FOR ALLOWABLE TOLERANCES.

GEOMETRY:

FOR VERTICAL AND HORIZONTAL ALIGNMENT REFER TO ROADWAY PLANS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.

CHAMFERS:

PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES, EXCEPT AS OTHERWISE NOTED.

CONSTRUCTION JOINTS:

CONSTRUCTION JOINTS WILL ONLY BE ALLOWED AT LOCATIONS INDICATED ON THE PLANS. ADDITIONAL CONSTRUCTION JOINTS OR ALTERATIONS OF THOSE SHOWN ON THE PLANS REQUIRE THE APPROVAL OF THE ENGINEER.

SURFACE FINISH:

A CLASS 4 FINISH SHALL BE USED ON ALL EXPOSED CONCRETE SURFACES.

REINFORCING STEEL:

ALL REINFORCING STEEL SHALL BE ASTM A615, GRADE 60. ALL DIMENSIONS PERTAINING TO LOCATIONS OF REINFORCING ARE TO CENTERLINE OF BARS EXCEPT WHERE THE CLEAR DIMENSION IS SHOWN TO FACE OF CONCRETE.

STRUCTURAL FASTENERS:

THE CONTRACTOR SHALL USE STAINLESS STEEL BOLTS, WOOD SCREWS AND NAILS IN ALL WOOD/TIMBER CONNECTIONS FOR THE BOARDWALK AND BRIDGE DECKING. ALL BOLT ASSEMBLIES SHALL HAVE WASHERS UNDER BOTH THE BOLT HEAD AND NUTS. SPIKES AND SCREWS SHALL BE COUNTERSUNK AND INSTALLED IN HOLES DRILLED WITH A COUNTERSUNK DRILL BIT. ALL BOLTS, NUTS, WASHERS, SHALL BE STAINLESS STEEL ACCORDANCE WITH ASTM A193.

CHANGES:

ALL PROPOSED CHANGES MUST BE APPROVED BY THE ENGINEER OF RECORD.

MATERIAL PRODUCTS:

EXCEPT FOR THOSE MATERIAL PRODUCTS SPECIFICALLY CALLED FOR IN THE PLANS AND SPECIFICATIONS, ALL MATERIAL PRODUCTS SPECIFIED FOR THIS PROJECT SHALL BE ON THE FDOT APPROVED PRODUCT LIST.

PAY ITEM NOTES:

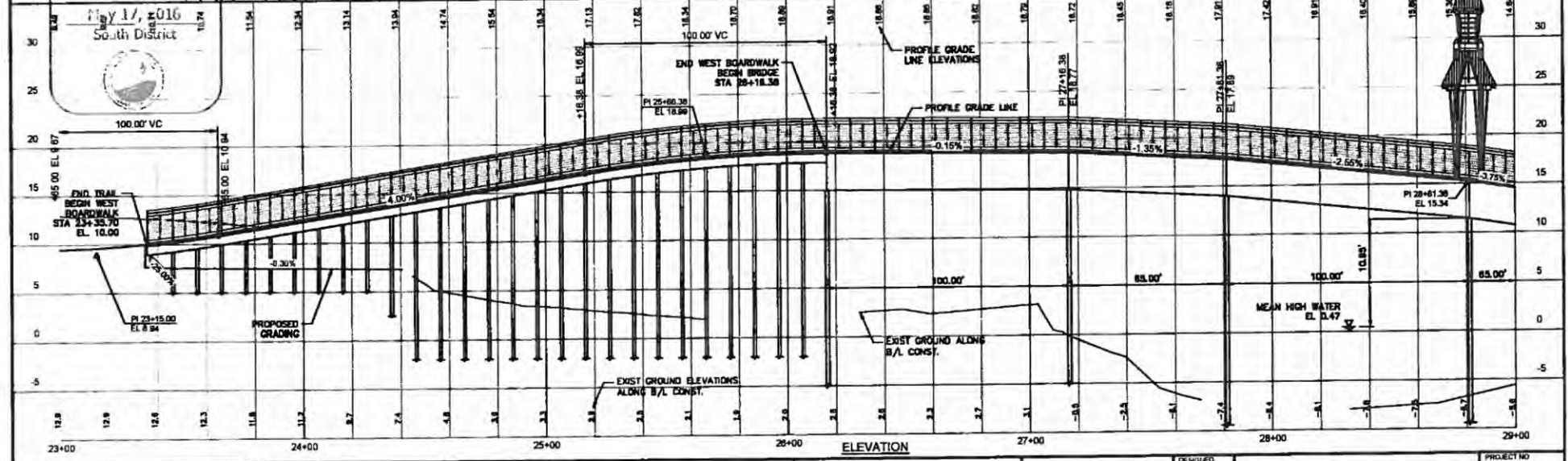
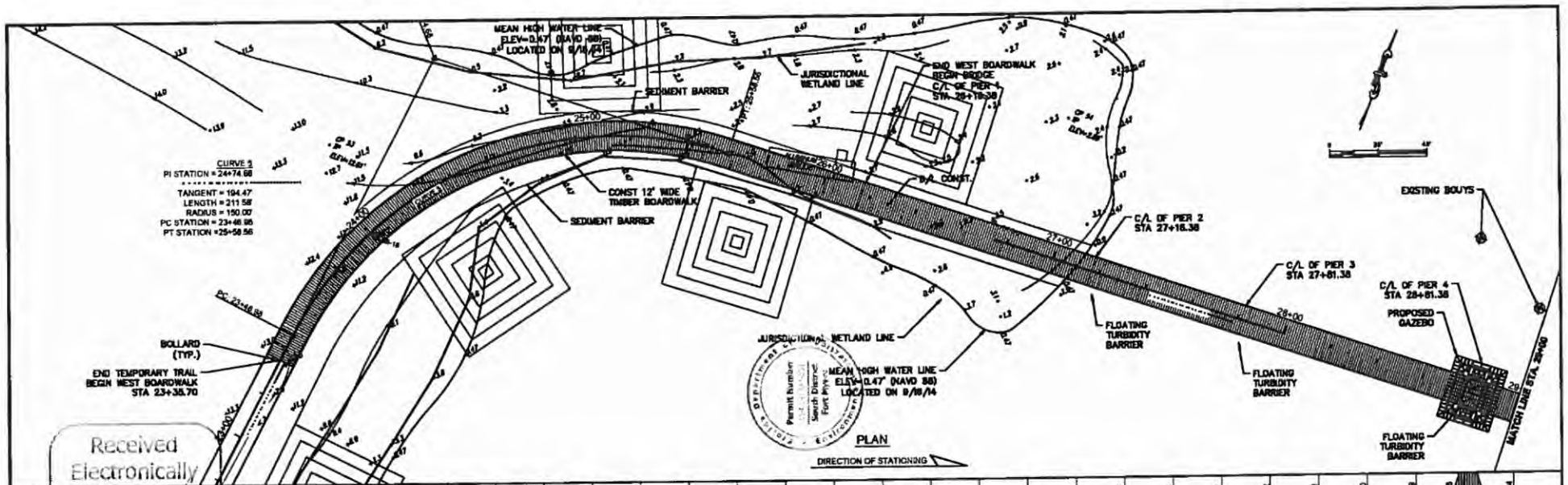
PAYMENT FOR INCIDENTAL ITEMS NOT SPECIFICALLY COVERED IN THE INDIVIDUAL PAY ITEMS SHALL BE INCLUDED IN THE CONTRACT PRICES FOR PAY ITEMS.

TIMBER AND PILES:

1. LUMBER SIZES SHOWN ARE NOMINAL SIZES. LUMBER SHALL BE FURNISHED IN SIZES MEETING THE REQUIREMENTS OF THE NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION, 2005 EDITION OF THE AMERICAN FOREST AND PAPER ASSOCIATION.
2. ALL NON-IPE LUMBER (TIMBER BEAMS & PILES) SHALL BE TREATED IN ACCORDANCE WITH STANDARD SPECIFICATION 955. ALL NON-IPE STRUCTURAL TIMBER SHALL BE TREATED FOR BRACKISH ENVIRONMENT.
3. TIMBER RAILING, RAILING POSTS, TIMBER DECK AND 2X8 TIMBER BOARDS ON PRESTRESSED BEAMS SPECIES SHALL BE IPE WOOD.
 $F_b = 4100 \text{ PSI}$ $E = 3,010,000 \text{ PSI}$
4. TIMBER BEAM SPECIES SHALL BE SOUTHERN PINE "DENSE SELECT STRUCTURAL".
 $F_b = 1800 \text{ PSI (MIN.)}$ $E = 1,700,000 \text{ PSI}$
5. TIMBER PILE SPECIES SHALL BE SOUTHERN PINE WITH COMMERCIAL GRADE "DENSE SELECT STRUCTURAL" WITH THE FOLLOWING MINIMUM PROPERTIES:
 $F_b = 1750 \text{ PSI}$ $F_c = 1100 \text{ PSI}$ $E = 1,800,000 \text{ PSI}$
6. ALL PILES SHALL HAVE A MINIMUM 12 INCH BUTT DIAMETER.
7. SCOUR WAS CONSIDERED IN PILE LENGTH DETERMINATION.
8. SHOP DRAWINGS FOR RAILINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.



CITY OF NAPLES		GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK		 380 Park Place Blvd., Suite 300 Clearwater, Florida, 34738 www.cardno.com - 727 531 3525 Certificate of Authorization No. 3549		60% PLANS		TIGHE BOND & ASSOCIATES, P.A. LIC. NO. 66754		PROJECT NO. 00028070.00	
						DESIGNED: FJH		PROJECT NO.		DATE	
						DRAWN: FJH		GENERAL NOTES		1/15/2016	
						CHECKED: MAM				SHEET NO.	
						APPROVED: MAM				81	



NO	DESCR. PHON	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

300 Park Plaza Blvd., Suite 300, Clearwater, Florida, 33709
www.cardno.com - 727-531-3520
Certificate of Authorization No. 3449

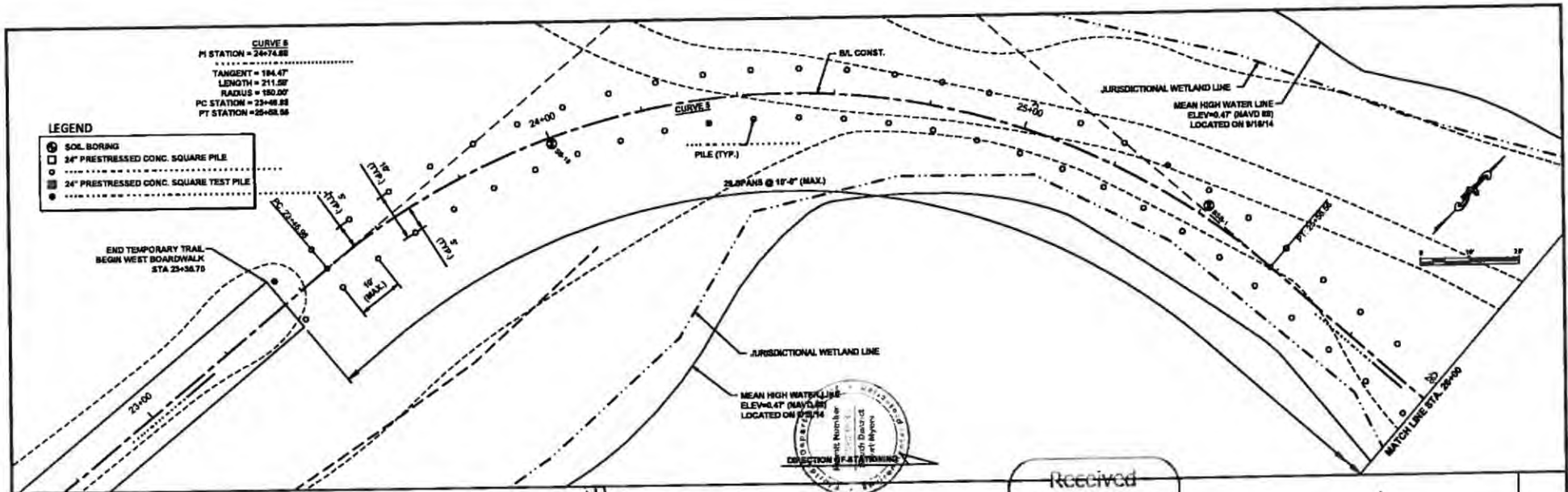
60% PLANS
PROJECT & VENDOR'S DATE
LIC NO. 68768

DESIGNED	MAY
DRAWN	JHM
CHECKED	MAY
APPROVED	MAY

**PLAN AND ELEVATION
(1 OF 2)**

PROJECT NO	0002070.00
DATE	1/15/2016
SHEET NO	82

Received
Electronically
May 17, 2016
South District

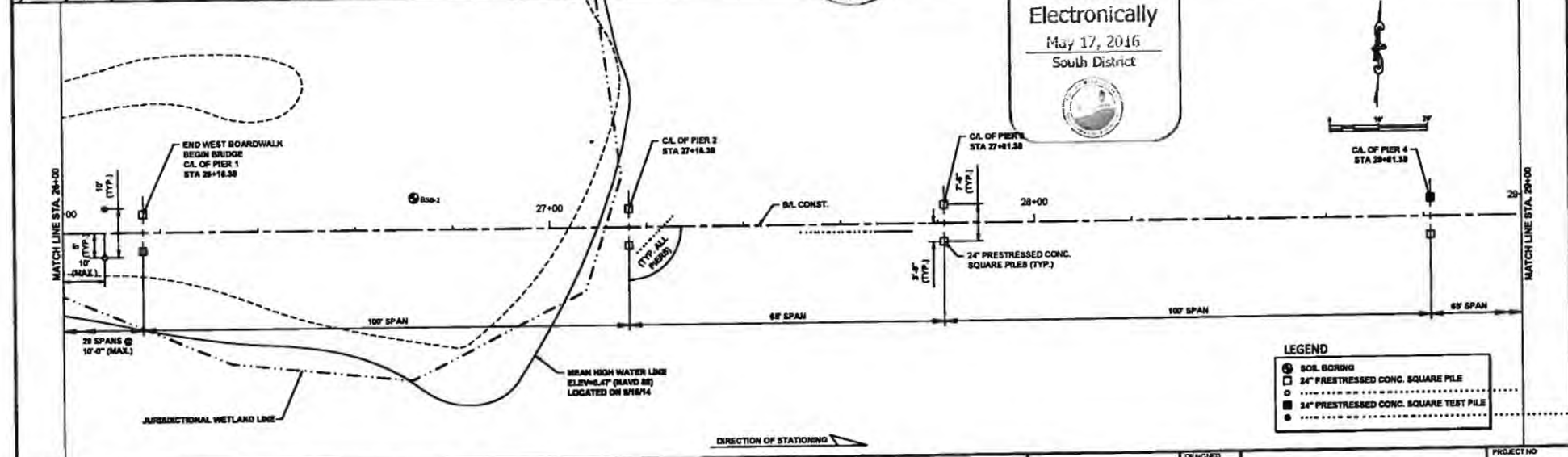


CURVE 3
 PI STATION = 23+74.88
 TANGENT = 184.47'
 LENGTH = 211.50'
 RADIUS = 180.00'
 PC STATION = 23+49.88
 PT STATION = 25+08.56

- LEGEND**
- ⊙ SOIL BORING
 - 24" PRESTRESSED CONC. SQUARE PILE
 - ⋯ 24" PRESTRESSED CONC. SQUARE TEST PILE



Received
 Electronically
 May 17, 2016
 South District



- LEGEND**
- ⊙ SOIL BORING
 - 24" PRESTRESSED CONC. SQUARE PILE
 - ⋯ 24" PRESTRESSED CONC. SQUARE TEST PILE

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK**

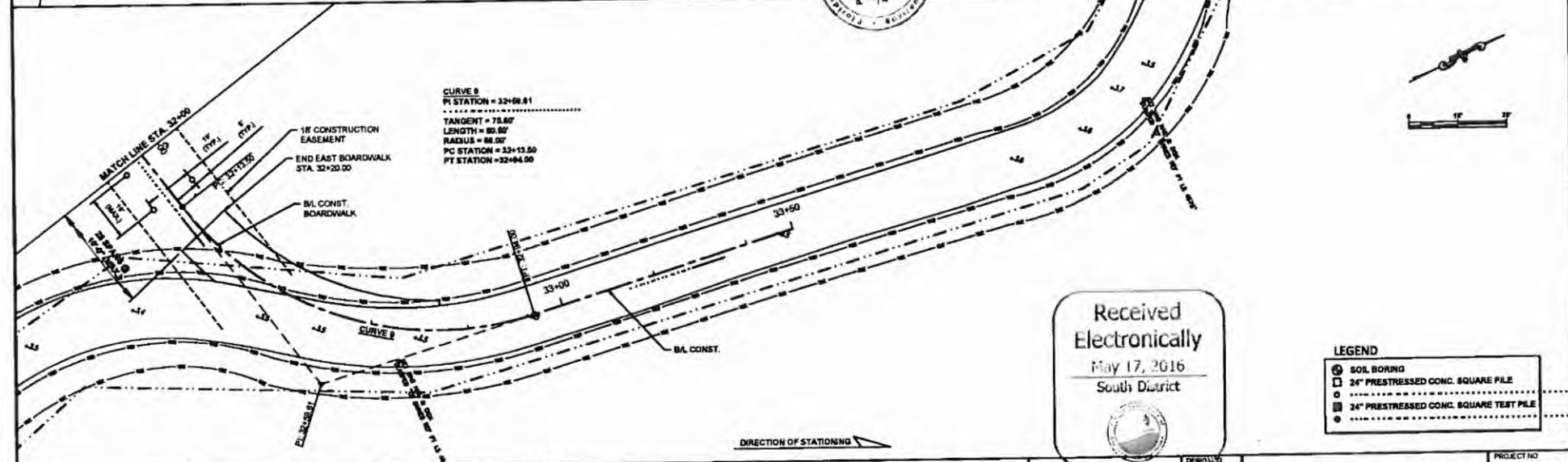
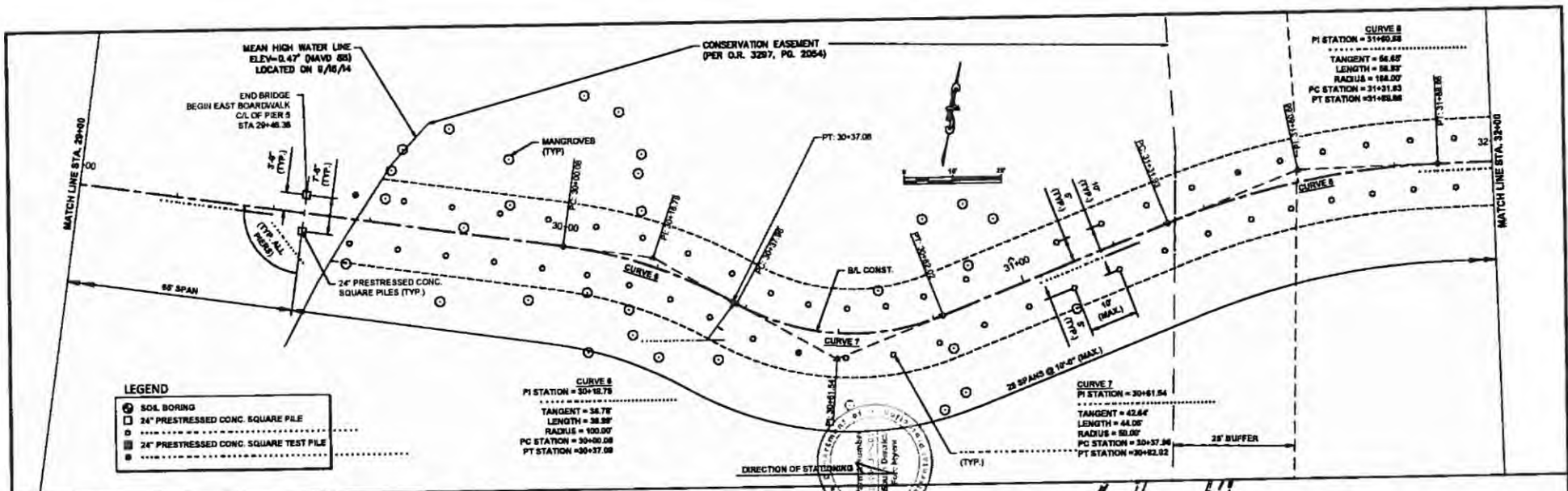
Cardno
 345 Park Plaza Blvd., Suite 300, Clearwater, Florida, 33709
 www.cardno.com • 727 531 3325
 Certificate of Authorization No. 3443

60% PLANS
 UNDER A LEGAL T.E. DATE
 LIC. NO. 68768

DESIGNED MAY
 DRAWN JEN
 CHECKED MAY
 APPROVED MAY

**FOUNDATION LAYOUT
 (1 OF 2)**

PROJECT NO.
 00026070.00
 DATE
 1/15/2018
 SHEET NO.
 B4



Received
Electronically
May 17, 2016
South District

LEGEND

- ⊙ SOL BORING
- 24" PRESTRESSED CONC. SQUARE PILE
- ⊠ 24" PRESTRESSED CONC. SQUARE TEST PILE

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

Cardno
333 Park Plaza Blvd., Suite 300, Clearwater, Florida 33709
www.cardno.com - 727 531 3028
Certificate of Registration No. 3843

60% PLANS
PROJECT & VILLAGE TYPE DATE
LIC NO. 88768

DESIGNED MAY
DRAWN JIM
CHECKED MAY
APPROVED MAY

FOUNDATION LAYOUT
(2 OF 2)

PROJECT NO.
00028070.00
DATE
1/15/2016
SHEET NO.
88

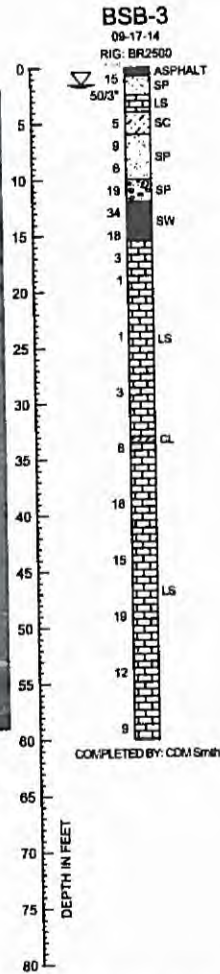
TEST LOCATION PLAN



NOTES: SPT BORING LOCATION
 BASE MAP OBTAINED FROM GOOGLE EARTH
 SCALE IS AN APPROXIMATION AND MAY NOT BE ACCURATE



SOIL PROFILES



SOIL LEGEND

- SAND (SP)
- SAND WITH GRAVEL (SP)
- SAND WITH GRAVEL (SW)
- SAND WITH SILT (SP-SM)
- SILT (ML)
- PEAT (PT)
- CLAYEY SAND (SC)
- CLAY (CL)
- LIMESTONE (LS)

SOIL PROFILE LEGEND NOTES

B-X = BOUND NUMBER
 N = SPT TEST VALUE
 0 = GROUND WATER LEVEL
 H = INDICATES PRACTICAL RESISTANCE TO PULLING EQUIPMENT
 H = INDICATES GRADUAL TRANSITION IN SOIL TYPES

N - STANDARD PENETRATION RESISTANCE TEST (SPT) VALUE. NUMBERS TO THE LEFT OF BORINGS INDICATE SPT VALUE FOR 12 INCHES OF PENETRATION (UNLESS OTHERWISE NOTED).
 ALL ELEVATIONS BASED ON EXISTING GROUND LEVEL.
 WOH = WEIGHT OF HAMMER
 LFC = LOSS OF DRILLING FLUID CIRCULATION

SOIL DESCRIPTION
 CORRELATION OF N-VALUES WITH RELATIVE DENSITY AND CONSISTENCY -

GRANULAR MATERIALS -

SPT N-VALUES	RELATIVE DENSITY
BLow/FOOT	VERY LOOSE
3 - 8	LOOSE
9 - 24	MEDIUM DENSE
25 - 40	DENSE
GREATER THAN 40	VERY DENSE

APPROXIMATE FINES CONTENT

PERCENTAGE	MODIFIERS
5% TO 15%	SLIGHTLY SILTY OR SLIGHTLY CLAYEY
16% TO 25%	SILTY OR CLAYEY
26% TO 49%	VERY SILTY OR VERY CLAYEY

SILTS AND CLAYS -

SPT N-VALUES	CONSISTENCY
BLow/FOOT	VERY SOFT
1 - 3	SOFT
4 - 8	FIRM
7 - 12	STIFF
13 - 24	VERY STIFF
GREATER THAN 24	HARD

APPROXIMATE SAND/GRAVEL CONTENT

PERCENTAGE	MODIFIERS
5% TO 15%	SLIGHTLY SANDY OR SLIGHTLY GRAVELLY
16% TO 25%	SANDY OR GRAVELLY
26% TO 49%	VERY SANDY OR VERY GRAVELLY

CORRELATION OF N-VALUES WITH HARDNESS OF LIMESTOCK -

SPT N-VALUES	HARDNESS
BLow/FOOT	VERY SOFT
20 - 49	SOFT
50 - 100	MEDIUM HARD
50 FOR 2 TO 5"	MODERATELY HARD
50 FOR 6 TO 7"	HARD

APPROXIMATE ROOT CONTENT

PERCENTAGE	MODIFIERS
5% - 10%	TRACE
11% - 20%	TRACE TO SOME
21% - 45%	SOME
41% - 80%	AND



Received Electronically
 May 17, 2016

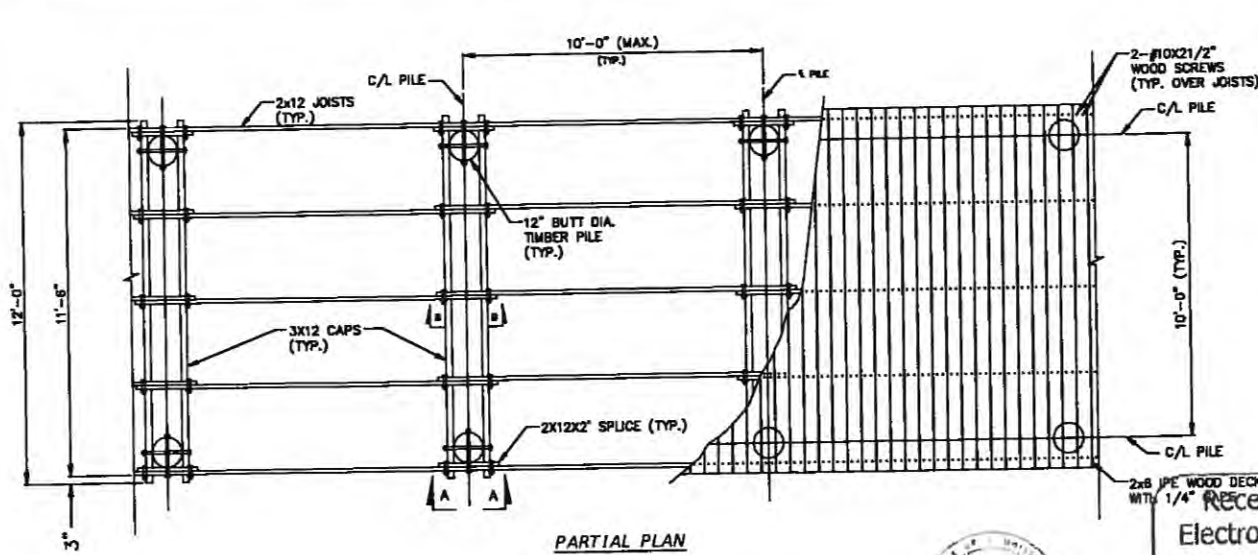
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

GFA INTERNATIONAL, INC.
 5851 COUNTRY LAKES DRIVE
 FORT MYERS, FLORIDA 33905
 DENNIS F. MCCOY P.E. #54834

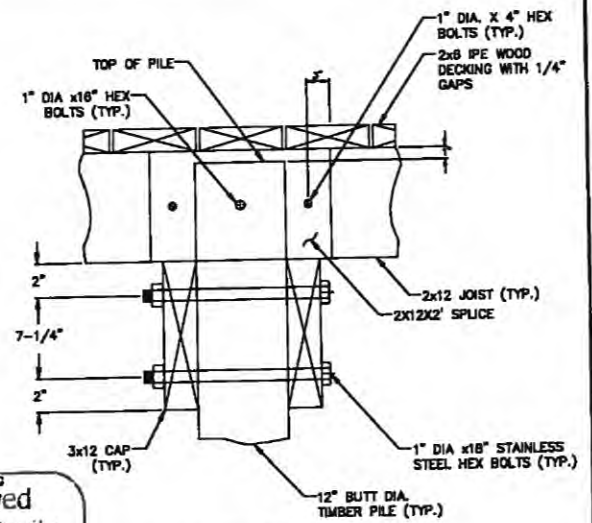
COLLIER COUNTY DEPARTMENT OF TRANSPORTATION		
ROAD NAME	COUNTY NAME	PROJECT ID
RIVERSIDE CIRCLE	COLLIER	15-1635

REPORT OF TEST BORINGS
 GORDON RIVER GREENWAY
 BS, COLLIER COUNTY, FLORIDA

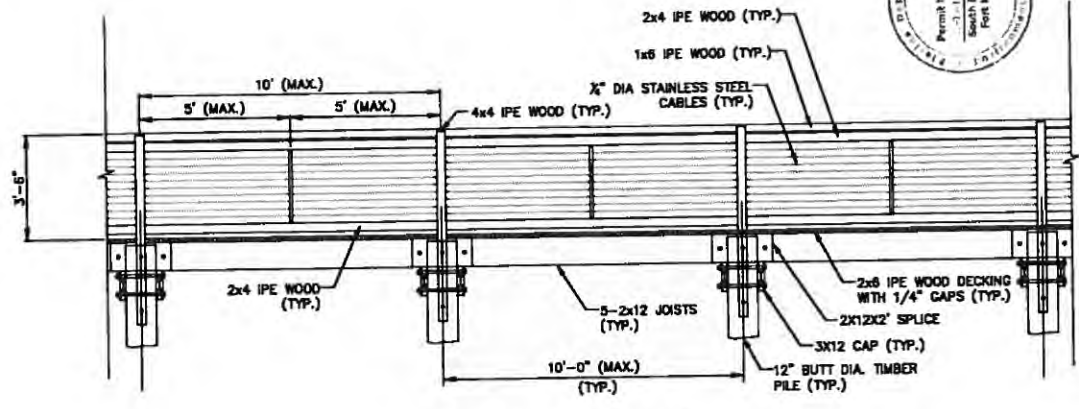
SHEET NO.
88



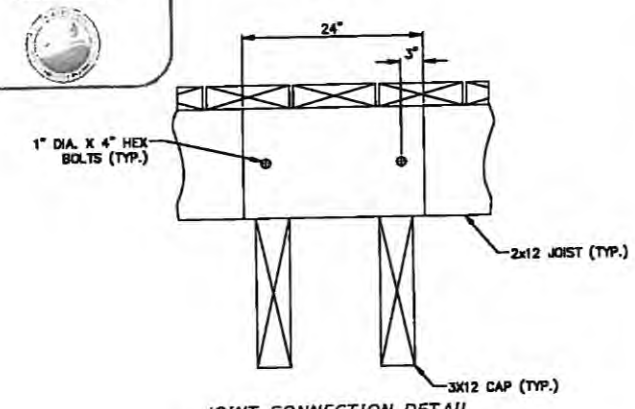
PARTIAL PLAN



TIMBER PILE CONNECTION DETAIL SECTION A-A N.T.S.



PARTIAL ELEVATION



JOINT CONNECTION DETAIL SECTION B-B N.T.S.

Received Electronically
 May 17, 2016
 South District



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK

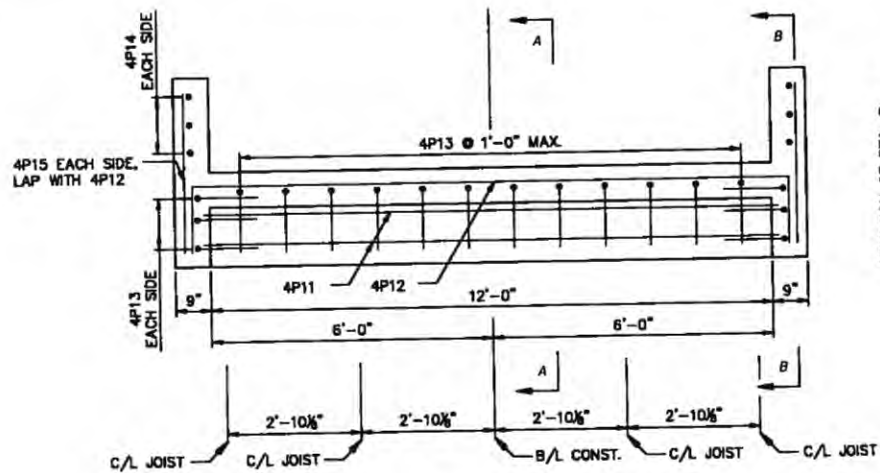
Cardno
 340 Park Place Blvd., Suite 300 Clearwater, Florida, 33759
 www.cardno.com - 727 591 3325
 Certificate of Authorization No. 2443

60% PLANS
 PROJECT VENDOR P.E. DATE
 LIC. NO. 94718

DESIGNED: [Signature]
 DRAWN: [Signature]
 C.E.: [Signature]
 APPROVED: [Signature]

BOARDWALK PARTIAL PLAN AND ELEVATION

PROJECT NO. 00028070.00
 DATE: 1/15/2018
 SHEET NO. B11



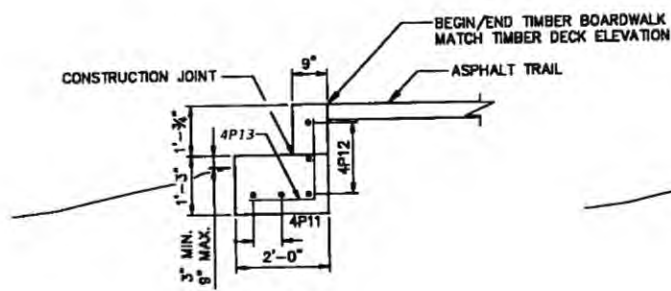
END BENT PLAN

DIRECTION OF STA. @
BEGIN TIMBER BOARDWALK

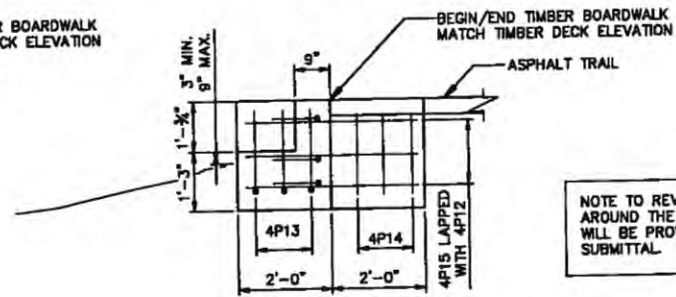
DIRECTION OF STA. @
END TIMBER BOARDWALK



Received
Electronically
May 17, 2016
South District



SECTION A-A



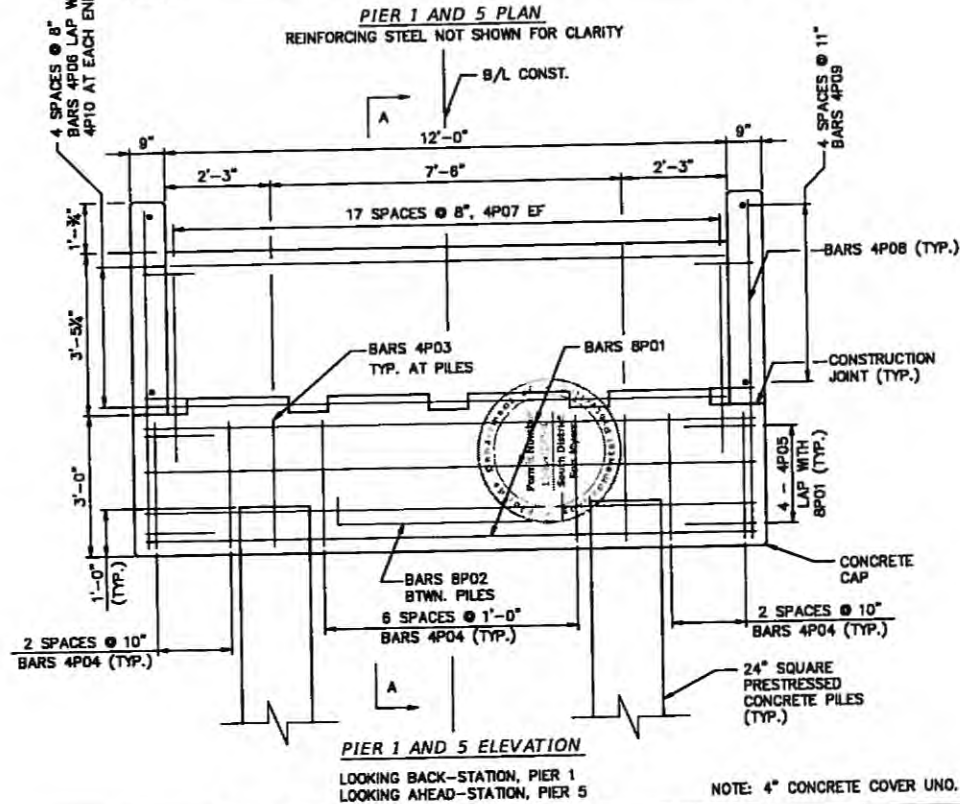
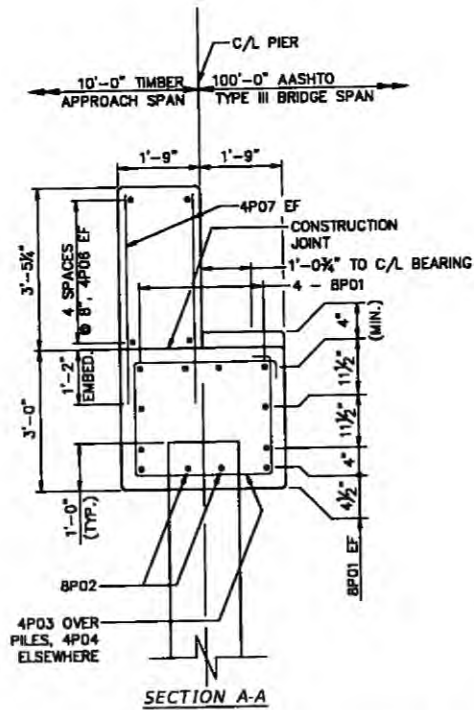
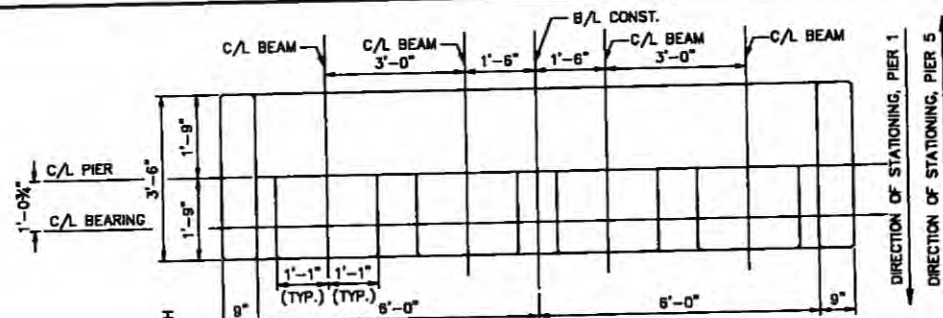
SECTION B-B

NOTE TO REVIEWER: FINAL GRADING
AROUND THE BOARDWALK ENDBENTS
WILL BE PROVIDED IN THE NEXT
SUBMITTAL.

NOTE: 4" CONCRETE COVER UNO.

CITY OF NAPLES			GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK		 300 Park Place Blvd, Suite 300, Clearwater, Florida 33798 www.cardno.com - 727 531 3325 Certificate of Authorization No. 3443		60% PLANS		BOBBA VALLERIE, P.E. DATE LIC. NO. 52769		DESIGNED: FJM DRAWN: FJM CHECKED: JMM APPROVED: JMM		PROJECT NO. 00026070.00 DATE 1/15/2016 SHEET NO. B12	
NO.	DESCRIPTION	BY	DATE											

Received
Electronically
May 17, 2016
South District



10	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK



60% PLANS

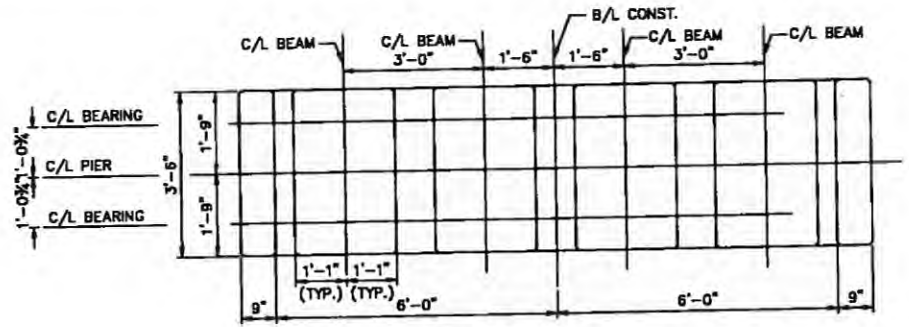
TERESA A. VELLESE, P.E. DATE
LIC. NO. 54768

DESIGNED
DRAWN
CHECKED
APPROVED

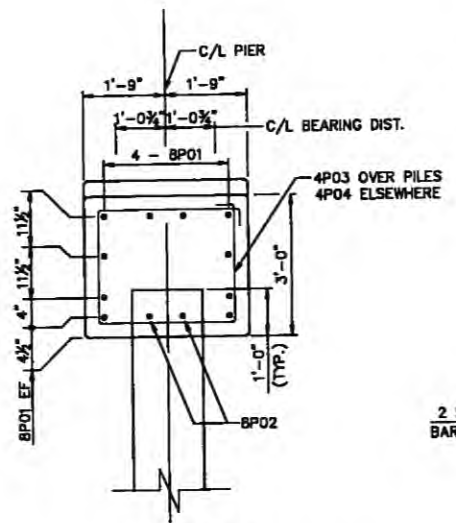
BRIDGE PIER DETAILS
(1 OF 3)

PROJECT NO.
00028070.00
DATE
1/15/2016
SHEET NO.
B14

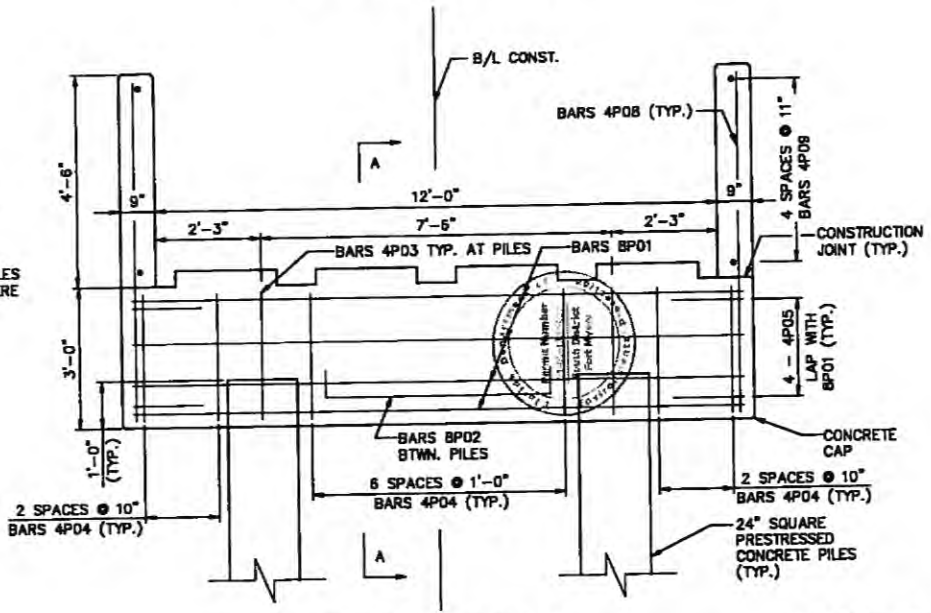
Received
Electronically
May 17, 2016
South District

PIER 2 AND 3 PLAN
REINFORCING STEEL NOT SHOWN FOR CLARITY



SECTION A-A



PIER 2 AND 3 ELEVATION

NOTE: 4" CONCRETE COVER UNO.

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK



300 Park Plaza Blvd. S., 4th Floor, Clearwater, FL 34616
www.cardno.com - 727-531-3225
Certificate of Authorization No. 3545

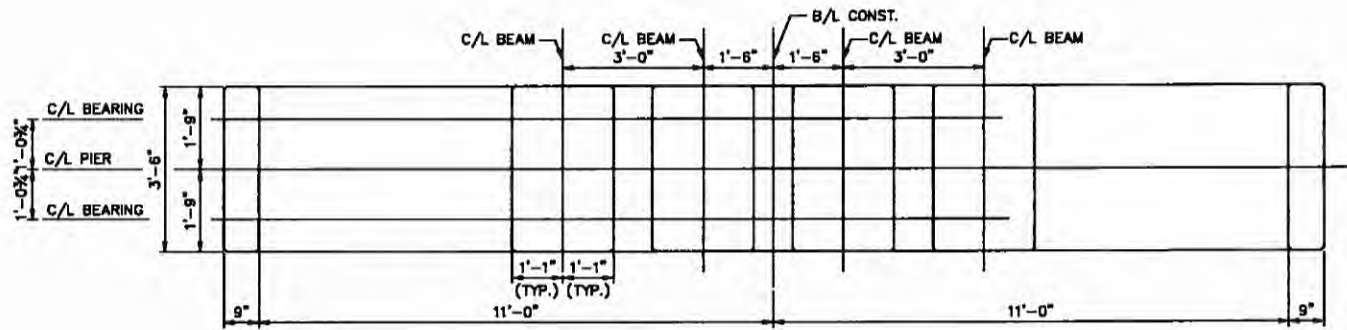
60% PLANS

MODEL A VALLEJO P.E. DATE
LIC. NO. 56768

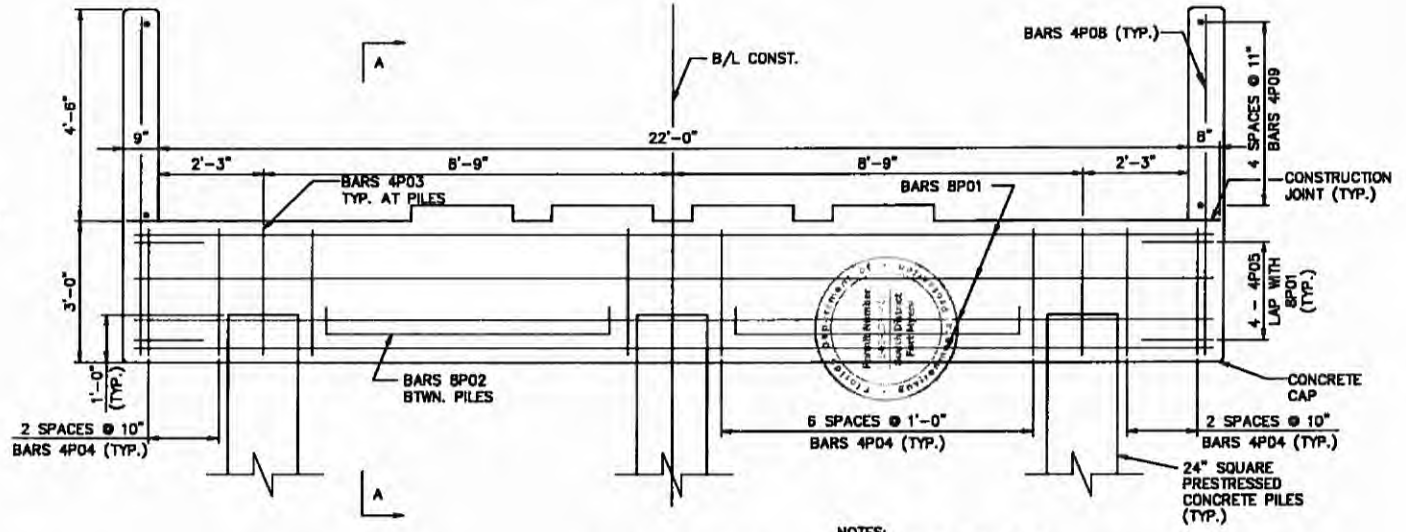
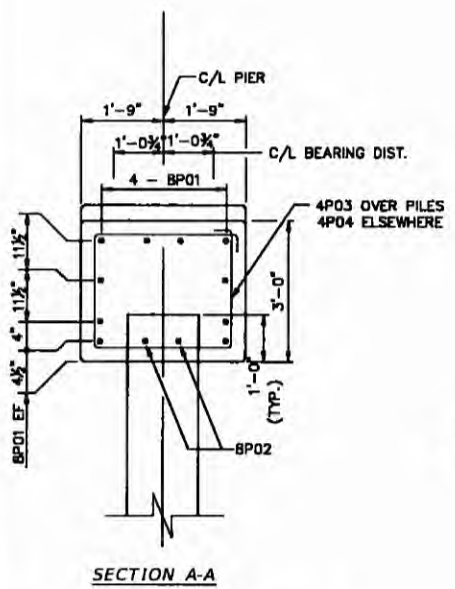
DESIGNED: FZH
DRAWN: FZH
CHECKED: FZH
APPROVED: MAY

BRIDGE PIER DETAILS
(2 OF 3)

PROJECT NO.
00028070.00
DATE
1/15/2018
SHEET NO.
B16



PIER 4 PLAN
REINFORCING STEEL NOT SHOWN FOR CLARITY



PIER 4 ELEVATION

- NOTES:
- 4" CONCRETE COVER UNO.
 - GAZEBO-PIER CONNECTIONS NOT SHOWN FOR CLARITY.
 - ALL GAZEBO-PIER CONNECTION DETAILS WILL BE PROVIDED ON THE NEXT SUBMITTAL.

NO	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

60% PLANS
MICHELA VILLEGAS, P.E. DATE
LIC. NO. 68769

DESIGNED	FJM
DRAWN	FJM
CHECKED	
APPROVED	

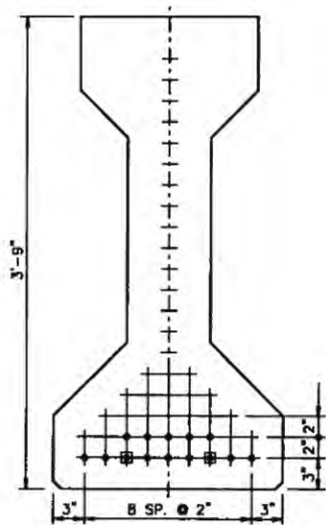
**BRIDGE PIER DETAILS
(3 OF 3)**

PROJECT NO.	00028070.00
DATE	1/15/2016
SHEET NO.	B18

PEDESTRIAN BRIDGE

AASHTO TYPE III BEAM - TABLE OF BEAM VARIABLES

SPAN NO.	BEAM NO.	CLASS	CONCRETE PROPERTIES		STND. PTRN. TYPE	END ELEV. COND.	PLAN VIEW CASE		BRG. PLATE MARK ***		END OF BEAM & BEARING DIMENSIONS **				BEAM DIMENSIONS *			REINFORCING STEEL																
			28 Day	Release			END 1	END 2	END 1	END 2	END 1	END 2	ANGLE °	DIM P	DIM J	DIM K1	DIM K2	DIM L	DIM R	B	Length	B	Length	B	Length	5K NO.	OF SPACES BARS 5K				SPACING BARS 5K *			
																											S1	S2	S3	S4	V1	V2	V3	V4
1, 3	1-4	IV	6000	4800	1	1	1	1	-	-	90°00'00"	90°00'00"	0"	7½"	9"	9"	99'-3"	1/4"	1'-6"	4'-10"	1'-6"	4'-10"	184	35	11	14	4	6"	9"	12"	18"			
2, 4	1-4	IV	6000	4800	2	1	1	1	-	-	90°00'00"	90°00'00"	0"	7½"	9"	9"	64'-3"	1/4"	1'-6"	4'-10"	1'-6"	4'-10"	128	18	12	7	2	6"	9"	12"	18"			



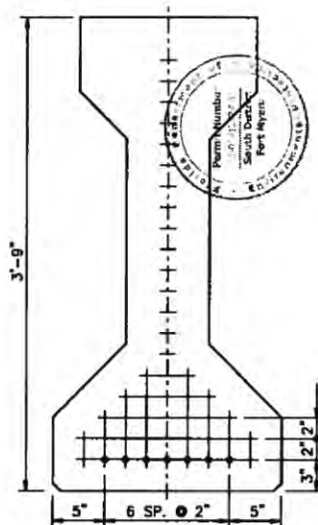
STRAND TYPE 1: 14 STRANDS

STRAND DESCRIPTION: USE 0.5" DIAMETER, GRADE 270, LOW RELAXATION STRANDS STRESSED AT 31.0 KIPS EACH. AREA PER STRAND EQUALS 0.153 SQ. IN.

STRAND PATTERNS

STRAND DEBONDING LEGEND

- - FULLY BONDED STRANDS.
- - STRANDS DEBONDED 2'-0" FROM END OF BEAM.



STRAND TYPE 2: 7 STRANDS

STRAND DESCRIPTION: USE 0.5" DIAMETER, GRADE 270, LOW RELAXATION STRANDS STRESSED AT 31.0 KIPS EACH. AREA PER STRAND EQUALS 0.153 SQ. IN.

STRAND PATTERNS

STRAND DEBONDING LEGEND

- - FULLY BONDED STRANDS.



NOTES:

1. WORK THIS SHEET WITH FDOT 2010 DESIGN STANDARDS INDEX NOS. 20110 AND 20130.
2. WORK THIS SHEET WITH FDOT 2016 DESIGN STANDARDS INDEX NOS. 20199.

DIMENSION NOTES

* ALL LONGITUDINAL BEAM DIMENSIONS SHOWN ON THIS SHEET WITH A SINGLE ASTERISK (*) ARE MEASURED ALONG THE TOP OF BEAM AT THE CENTERLINE OF BEAM.

** END OF BEAM BEARING DIMENSIONS "J" AND "K" ARE MEASURED ALONG THE BOTTOM OF THE BEAM.

BEARING PLATES

*** MARK INDICATES BEVELED BEARING PLATE AND EMBEDDED BEARING PLATE REQUIRED. SEE INDEX NO. 20501 FOR DETAILS.

CITY OF NAPLES		GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK		 300 Park Plaza Blvd. S. Ft. Lauderdale, Florida 33308 www.cardno.com 727.831.2525 Certificate of Authorization No. 3243		60% PLANS		DESIGNED: MAV DRAWN: MAV CHECKED: PSH APPROVED: MAV		PROJECT NO: 00028070.00 DATE: 1/15/2018 SHEET NO: B17	
----------------	--	---	--	---	--	-----------	--	--	--	---	--

This Instrument Prepared By:
Tiana D. Brown
Bureau of Public Land Administration
3900 Commonwealth Boulevard
Mail Station No. 125
Tallahassee, Florida 32399

BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND
OF THE STATE OF FLORIDA

SOVEREIGNTY SUBMERGED LANDS EASEMENT

EASEMENT NO. 41905
BOT FILE NO. 110239765
PA NO. 11-0341387-001

THIS EASEMENT is hereby granted by the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida, hereinafter referred to as the Grantor.

WITNESSETH: That for the faithful and timely performance of and compliance with the terms and conditions stated herein, the Grantor does hereby grant to City of Naples, Florida, hereinafter referred to as the Grantee, a nonexclusive easement on, under and across the sovereignty lands, if any, contained in the following legal description:

A parcel of sovereignty submerged land in Section 03, Township 50 South, Range 25 East, in Gordon River, Collier County, Florida, as is more particularly described and shown on Attachment A, dated March 6, 2016.

TO HAVE THE USE OF the hereinabove described premises for a period of 25 years from August 15, 2016, the effective date of this easement. The terms and conditions on and for which this easement is granted are as follows:

1. **USE OF PROPERTY:** The above described parcel of land shall be used solely for a pedestrian bridge and Grantee shall not engage in any activity related to this use except as described in the State of Florida Department of Environmental Protection Consolidated Environmental Resource Permit No. 11-0341387-001, dated August 15, 2016, incorporated herein and made a part of this easement by reference. All of the foregoing subject to the remaining conditions of this easement.

2. **EASEMENT CONSIDERATION:** In the event the Grantor amends its rules related to fees and the amended rules provide the Grantee will be charged a fee or an increased fee for this activity, the Grantee agrees to pay all charges required by such amended rules within 90 days of the date the amended rules become effective or by a date provided by an invoice from the Department, whichever is later. All fees charged under this provision shall be prospective in nature; i.e. they shall begin to accrue on the date that the amended rules become effective.

3. WARRANTY OF TITLE/GUARANTEED SUITABILITY OF USE OF LAND: Grantor neither warrants title to the lands described herein nor guarantees the suitability of any of the lands for any particular use.

4. RIGHTS GRANTED: The rights hereby granted shall be subject to any and all prior rights of the United States and any and all prior grants by the Grantor in and to the submerged lands situated within the limits of this easement.

5. DAMAGE TO EASEMENT PROPERTY AND INTERFERENCE WITH PUBLIC AND PRIVATE RIGHTS: Grantee shall not damage the easement lands or unduly interfere with public or private rights therein.

6. GRANTOR'S RIGHT TO GRANT COMPATIBLE USES OF THE EASEMENT PROPERTY: This easement is nonexclusive, and the Grantor, or its duly authorized agent, shall retain the right to enter the property or to engage in management activities not inconsistent with the use herein provided for and shall retain the right to grant compatible uses of the property to third parties during the term of this easement.

7. RIGHT TO INSPECT: Grantor, or its duly authorized agent, shall have the right at any time to inspect the works and operations of the Grantee in any matter pertaining to this easement.

8. LIABILITY/INVESTIGATION OF ALL CLAIMS: The Grantee shall investigate all claims of every nature at its expense. Each party is responsible for all personal injury and property damage attributable to the negligent acts or omissions of that party and the officers, employees and agents thereof. Nothing herein shall be construed as an indemnity or a waiver of sovereign immunity enjoyed by any party hereto, as provided in Section 768.28, Florida Statutes, as amended from time to time, or any other law providing limitations on claims.

9. ASSIGNMENT OF EASEMENT: This easement shall not be assigned or otherwise transferred without prior written consent of the Grantor or its duly authorized agent and which consent shall not be unreasonably withheld. Any assignment or other transfer without prior written consent of the Grantor shall be null and void and without legal effect.

10. TERMINATION: The Grantee, by acceptance of this easement, binds itself, its successors and assigns, to abide by the provisions and conditions herein set forth, and said provisions and conditions shall be deemed covenants of the Grantee, its successors and assigns. In the event the Grantee fails or refuses to comply with the provisions and conditions herein set forth or in the event the Grantee violates any of the provisions and conditions herein, this easement may be terminated by the Grantor upon 30 days written notice to the Grantee. If terminated, all of the above-described parcel of land shall revert to the Grantor. Any costs or expenses incurred by the Grantor in removing the Grantee or its property from the easement area shall be paid by the Grantee. All notices required to be given to the Grantee by this easement or applicable law or administrative rules shall be sufficient if sent by U.S. Mail to the following address:

City of Naples, Florida
735 8th Street South
Naples, Florida 34102

The Grantee agrees to notify the Grantor by certified mail of any changes to this address at least ten (10) days before the change is effective.

11. TAXES AND ASSESSMENTS: The Grantee shall assume all responsibility for liabilities that accrue to the subject property or to the improvements thereon, including any and all drainage or special assessments or taxes of every kind and description which are now or may be hereafter lawfully assessed and levied against the subject property during the effective period of this easement which result from the grant of this easement or the activities of Grantee hereunder.

12. REMOVAL OF STRUCTURES/ADMINISTRATIVE FINES: If the Grantee does not remove said structures and equipment occupying and erected upon the premises after expiration or cancellation of this easement, such structures and equipment will be deemed forfeited to the Grantor, and the Grantor may authorize removal and may sell such forfeited structures and equipment after ten (10) days written notice by certified mail addressed to the Grantee at the address specified in paragraph 10 or at such address on record as provided to the Grantor by the Grantee. However, such remedy shall be in addition to all other remedies available to Grantor under applicable laws, rules and regulations including the right to compel removal of all structures and the right to impose administrative fines.

13. ENFORCEMENT OF PROVISIONS: No failure, or successive failures, on the part of the Grantor to enforce any provision, nor any waiver or successive waivers on its part of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Grantor to enforce the same upon any renewal thereof or in the event of subsequent breach or breaches.

14. AMENDMENT/MODIFICATIONS: This easement is the entire and only agreement between the parties. Its provisions are not severable. Any amendment or modification to this easement must be in writing and must be accepted, acknowledged and executed by the Grantee and Grantor.

15. USACE AUTHORIZATION: Prior to commencement of construction and/or activities authorized herein, the Grantee shall obtain the U.S. Army Corps of Engineers (USACE) permit if it is required by the USACE. Any modifications to the construction and/or activities authorized herein that may be required by the USACE shall require consideration by and the prior written approval of the Grantor prior to the commencement of construction and/or any activities on sovereign, submerged lands.

16. ADDITIONAL STRUCTURES OR ACTIVITIES/EMERGENCY STRUCTURAL REPAIRS: No additional structures shall be erected and/or activities undertaken, including but not limited to, dredging, relocation/realignment or major repairs or renovations made to authorized structures, on, in or over sovereignty, submerged lands without the prior written consent from the Grantor, with the exception of emergency repairs. Unless specifically authorized in writing by the Grantor, such activities or structures shall be considered unauthorized and a violation of Chapter 253, Florida Statutes, and shall subject the Grantee to administrative fines under Chapter 18-14, Florida Administrative Code. If emergency repairs are required to be undertaken in the interests of public health, safety or welfare, the Grantee shall notify the Grantor of such repairs as quickly as is practicable; provided, however, that such emergency activities shall not exceed the activities authorized by this easement.

17. UPLAND RIPARIAN PROPERTY INTEREST: During the term of this easement, Grantee must have satisfactory evidence of sufficient upland interest as defined in subsection 18-21.003(60), Florida Administrative Code, to the extent required by paragraph 18-21.004(3)(b), Florida Administrative Code, in order to conduct the activity described in this easement. If at any time during the term of this easement, Grantee fails to comply with this requirement, use of sovereignty, submerged lands described in this easement shall immediately cease and this easement shall terminate and title to this easement shall revert to and vest in the Grantor immediately and automatically.

IN WITNESS WHEREOF, the Grantor and the Grantee have executed this instrument on the day and year first above written.

WITNESSES:

BOARD OF TRUSTEES OF THE INTERNAL
IMPROVEMENT TRUST FUND OF THE STATE
OF FLORIDA

Original Signature

(SEAL)

Print/Type Name of Witness

BY: _____
Cheryl C. McCall, Chief, Bureau of Public Land Administration,
Division of State Lands, State of Florida Department of
Environmental Protection, as agent for and on behalf of the
Board of Trustees of the Internal Improvement Trust Fund of the
State of Florida

Original Signature

Print/Type Name of Witness

"GRANTOR"

STATE OF FLORIDA
COUNTY OF LEON

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Cheryl C. McCall, Chief, Bureau of Public Land Administration, Division of State Lands, State of Florida Department of Environmental Protection, as agent for and on behalf of the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida. She is personally known to me.

APPROVED AS SUBJECT TO PROPER EXECUTION:

DEP Attorney
9/18/16
Date

Notary Public, State of Florida

Printed, Typed or Stamped Name

My Commission Expires: _____

Commission/Serial No. _____

WITNESSES:

Stephanie Bleau
Original Signature

Stephanie Bleau
Typed/Printed Name of Witness

Karla Gibbs
Original Signature

Karla Gibbs
Typed/Printed Name of Witness

STATE OF Florida

COUNTY OF Collier

City of Naples, Florida (SEAL)

BY: Bill Barnett
Original Signature of Executing Authority

Bill Barnett
Typed/Printed Name of Executing Authority

Mayor
Title of Executing Authority

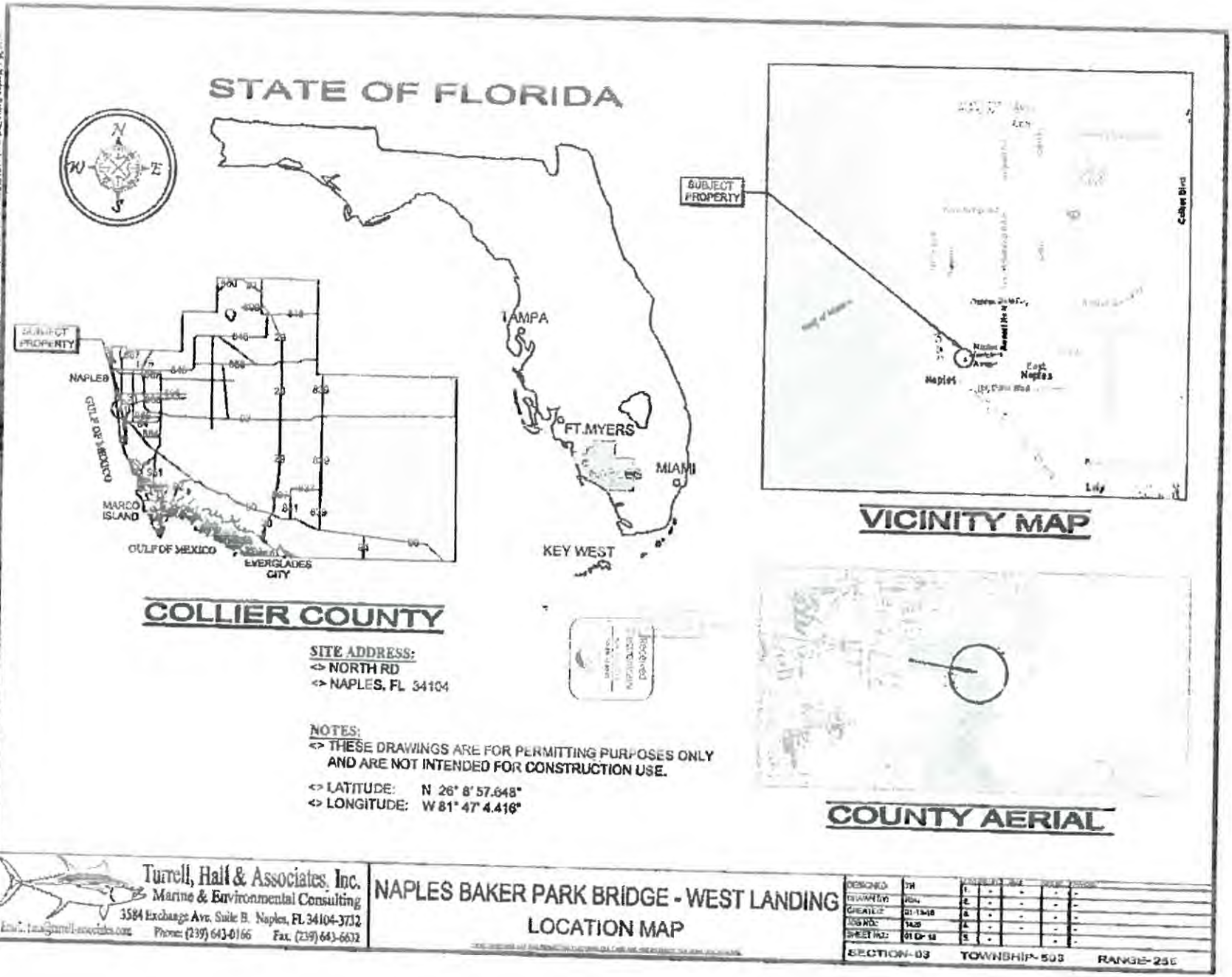
"GRANTEE"

The foregoing instrument was acknowledged before me this 3rd day of October, 20 16 by Bill Barnett as Mayor, for and on behalf of City of Naples, Florida. He is personally known to me or who has produced _____, as identification.

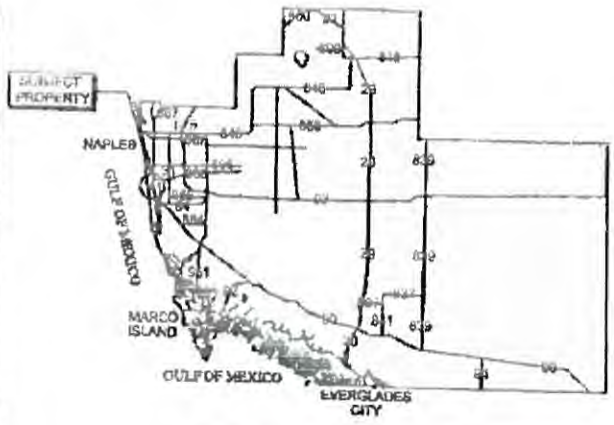
My Commission Expires:
11/19/2016
Commission/Serial No. EE852566

Stephanie Bleau
Notary Public, State of Florida
Stephanie Bleau
Printed, Typed or Stamped Name





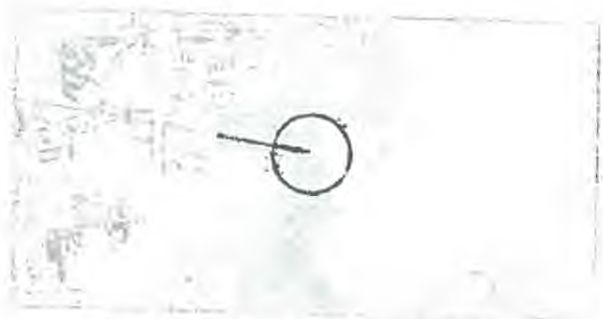
VICINITY MAP



COLLIER COUNTY

SITE ADDRESS:
 <> NORTH RD
 <> NAPLES, FL 34104

NOTES:
 <> THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY
 AND ARE NOT INTENDED FOR CONSTRUCTION USE.
 <> LATITUDE: N 26° 8' 57.648"
 <> LONGITUDE: W 81° 47' 4.416"



COUNTY AERIAL

Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B, Naples, FL 34104-3732
 Email: t.hall@turrell-associates.com Phone: (239) 643-6166 Fax: (239) 643-6632

**NAPLES BAKER PARK BRIDGE - WEST LANDING
 LOCATION MAP**

DESIGNED BY	DATE	REVISION	BY	DATE
TR	11/11/10	1		
TR	11/11/10	2		
TR	11/11/10	3		
TR	11/11/10	4		
TR	11/11/10	5		
TR	11/11/10	6		
TR	11/11/10	7		
TR	11/11/10	8		
TR	11/11/10	9		
TR	11/11/10	10		

SECTION-03 TOWNSHIP-503 RANGE-25E



E.F. GAINES SURVEYING SERVICES, INC.



GORDON RIVER BRIDGE EASEMENT
Located in Section 3, Township 50 South, Range 25 East, Collier County, Florida

All that part of Section 3, Township 50 South, Range 25 East, Collier County, Florida being more particularly described as follows:

COMMENCING at the North Quarter Corner of Section 3, Township 50 South, Range 25 East, Collier County, Florida; thence along the west line of the North Half (N 1/2) of the Northeast Quarter (NE 1/4) of said Section 3 S.00°24'03"E. for 1344.61 feet to the south line of the North Half (N 1/2) of the Northeast Quarter (NE 1/4) of said Section 3; thence along said south line N.89°26'19"E. for 1712.77 feet to the Mean High Water Line of the west side of the Gordon River; thence along said Mean High Water Line S.14°13'58"E. for 14.05 feet; thence continue along said Mean High Water Line S.14°54'04"W. for 18.43 feet to the POINT OF BEGINNING of the Parcel herein described; thence N.87°26'25"E. for 158.69 feet; thence N.02°33'35"W. for 7.06 feet; thence N.87°26'25"E. for 23.12 feet; thence S.02°33'35"E. for 7.06 feet; thence N.87°26'25"E. for 67.29 feet to the Mean High Water Line of the east side of the Gordon River; thence along said Mean High Water Line S.23°07'10"W. for 9.28 feet; thence continue along said Mean High Water Line S.21°46'56"W. for 5.09 feet; thence S.87°26'25"W. for 61.18 feet; thence S.02°33'35"E. for 7.06 feet; thence S.87°26'25"W. for 23.12 feet; thence N.02°33'35"W. for 7.06 feet; thence S.87°26'25"W. for 162.78 feet to the Mean High Water Line of the west side of the Gordon River; thence along said Mean High Water Line N.14°54'04"E. for 13.63 feet to the Point of Beginning of the Parcel herein described;

Parcel contains 3551 square feet, more or less;
Bearings are based on the west line of the North 1/2 of the Northeast 1/4 of Section 3, Township 50 South, Range 25 East, Collier County, Florida being S.0°24'03"E.
Subject to easements, restrictions and reservations of record;

Prepared by:

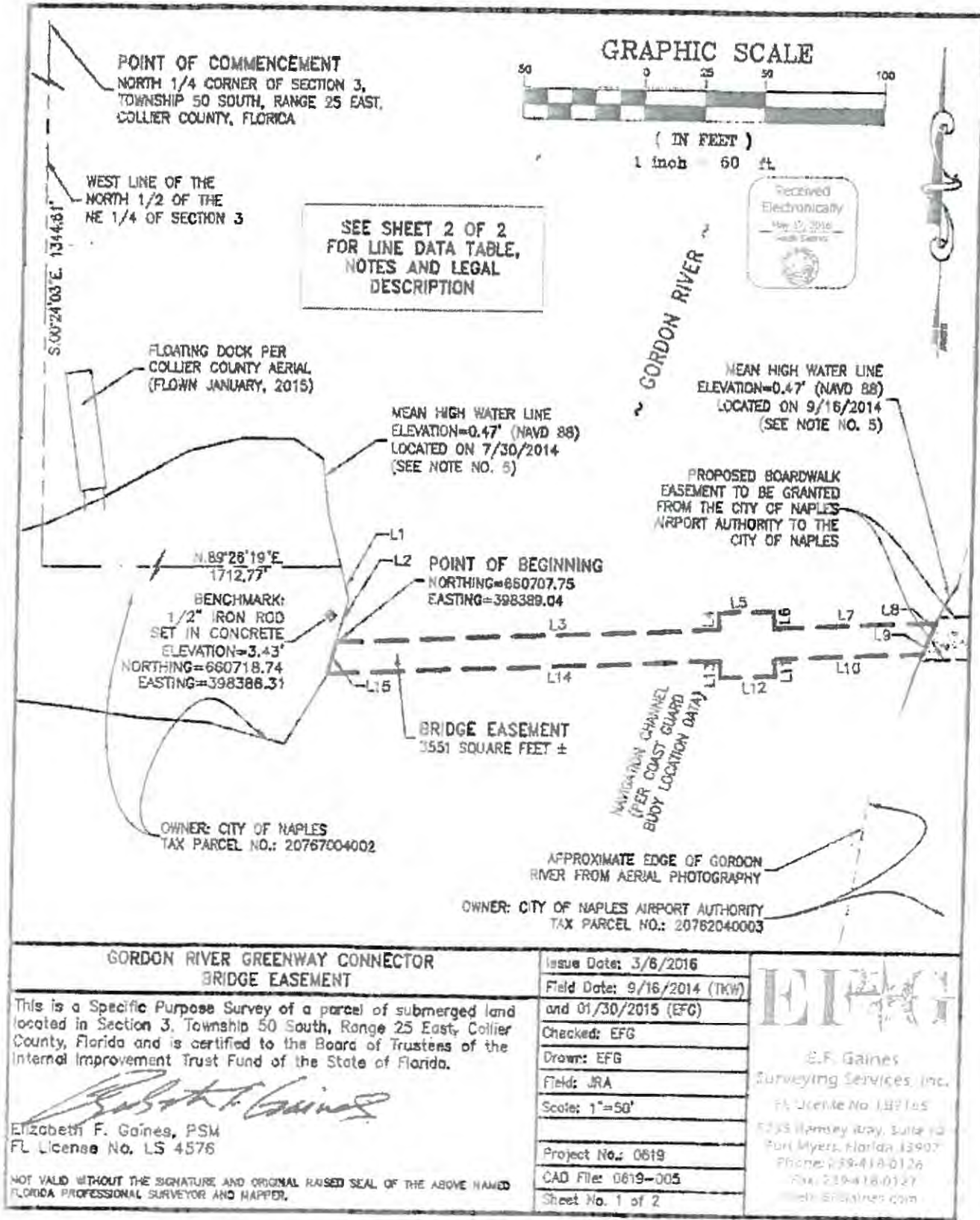
E.F. Gaines Surveying Services, Inc.

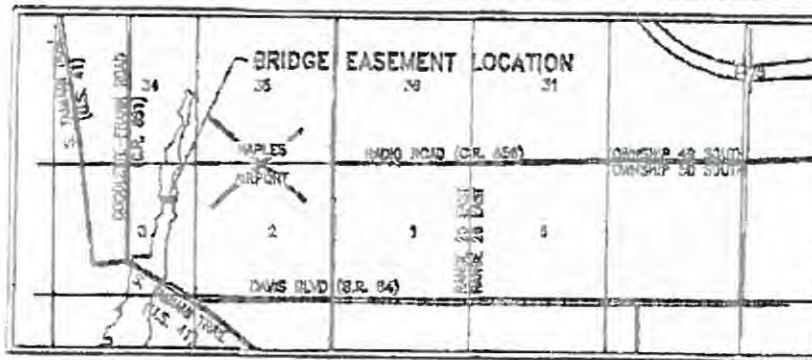

Elizabeth F. Gaines, PSM
Florida License No. 4576

3/6/2016
Date

Not valid without the signature and original raised seal of the above named Florida Professional Surveyor and Mapper

Sketch: EFG Drawing No. 0619-005





VICINITY MAP

DESCRIPTION:


All that part of Section 3, Township 50 South, Range 25 East, Collier County, Florida being more particularly described as follows:

COMMENCING at the North Quarter Corner of Section 3, Township 50 South, Range 25 East, Collier County, Florida; thence along the west line of the North Half (N 1/2) of the Northeast Quarter (NE 1/4) of said Section 3 S.00°24'03"E, for 1544.61 feet to the south line of the North Half (N 1/2) of the Northeast Quarter (NE 1/4) of said Section 3; thence along said south line N.89°26'19"E, for 1712.77 feet to the Mean High Water Line on the west side of the Gordon River; thence along said Mean High Water Line S.14°13'58"E, for 14.05 feet; thence continue along said Mean High Water Line S.14°54'04"W, for 18.43 feet to the POINT OF BEGINNING of the Parcel herein described; thence N.87°26'25"E, for 158.69 feet; thence N.02°33'35"W, for 7.06 feet; thence N.87°26'25"E, for 23.12 feet; thence S.02°33'35"E, for 7.06 feet; thence N.87°26'25"E, for 67.29 feet to the Mean High Water Line on the east side of the Gordon River; thence along said Mean High Water Line S.23°07'10"W, for 9.28 feet; thence continue along said Mean High Water Line S.21°46'56"W, for 5.09 feet; thence S.87°26'25"W, for 81.18 feet; thence S.02°33'35"E, for 7.06 feet; thence S.87°26'25"W, for 23.12 feet; thence N.02°33'35"W, for 7.06 feet; thence S.87°26'25"W, for 162.78 feet to the Mean High Water Line on the west side of the Gordon River; thence along said Mean High Water Line N.14°54'04"E, for 13.63 feet to the Point of Beginning of the Parcel herein described;

NOTES:

1. Distances shown hereon are in feet and decimals thereof.
2. Bearings and coordinates shown hereon are based on the State Plane Coordinate System, Florida East Zone, North American Datum of 1983 (NAD 83) NSRS with the West line of the North 1/2 of the NE 1/4 of Section 3 being S.0°24'03"E.
3. Elevations shown hereon reference the North American Vertical Datum of 1988 (NAVD 88) and are based on NGS Benchmark "NAPLES RESET (AD7841)".
4. This is a Field Survey.
5. The Mean High Water Line shown hereon is per a Boundary Survey prepared by TKW Consulting Engineers (Project No. 14191.00 dated 09/15/2014) and verified by E.F. Gaines Surveying Services on January 30, 2015.

Line Data Table		
Line #	Length	Direction
L1	14.05'	S14°13'58"E
L2	18.43'	S14°54'04"W
L3	158.69'	N87°26'25"E
L4	7.06'	N2°33'35"W
L5	23.12'	N87°26'25"E
L6	7.06'	S2°33'35"E
L7	67.29'	N87°26'25"E
L8	9.28'	S23°07'10"W
L9	5.09'	S21°46'56"W
L10	81.18'	S87°26'25"W
L11	7.06'	S2°33'35"E
L12	23.12'	S87°26'25"W
L13	7.06'	N2°33'35"W
L14	162.78'	S87°26'25"W
L15	13.63'	N14°54'04"E

<p>GORDON RIVER GREENWAY CONNECTOR BRIDGE EASEMENT</p>	<p>Issue Date: 03/07/2016 Field Date: N/A</p>	 <p>E.F. Gaines Surveying Services, Inc. FL License No. LD7135 4335 Ramsey Way, Suite 10 Fort Myers, Florida 33907 Phone: 239-418-0754 Fax: 239-418-0125 Web: EFGaines.com</p>
<p>VICINITY MAP, LEGAL DESCRIPTION, NOTES AND LINE DATA TABLE (SEE SHEET 1 OF 2 FOR SURVEY MAP)</p>	<p>Checked: EFG Drawn: EFG Field: N/A Scale: N/A</p> <p>Project No.: 0619 CAD File: 0619-005 Sheet No. 2 of 2</p>	



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE PERMIT NO. 11-01743-P
DATE ISSUED: January 13, 2017**

PERMITTEE: CITY OF NAPLES, ATTENTION: GREG
STRAKALUSE, P.E.
295 RIVERSIDE CIRCLE
NAPLES, FL 34102

NAPLES AIRPORT AUTHORITY
ATTN: THEODORE SOLIDAY
160 AVIATION DR.
NAPLES, FL 34104

PROJECT DESCRIPTION: This Environmental Resource Permit authorizes construction and operation of a boardwalk for a project known as Naples Baker Park Boardwalk.

PROJECT LOCATION: COLLIER COUNTY, SEC 3 TWP 50S RGE 25E

PERMIT DURATION: See Special Condition No:1.

This is to notify you of the District's agency action for Permit Application No. 160228-21, dated February 29, 2016. This action is taken pursuant to the provisions of Chapter 373, Part IV, Florida Statutes (F.S.).


Based on the information provided, District rules have been adhered to and an Environmental Resource Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 18 General Conditions (See Pages : 2 - 4 of 6),
3. the attached 13 Special Conditions (See Pages : 5 - 6 of 6) and
4. the attached 3 Exhibit(s)

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY THAT this written notice has been mailed or electronically transmitted to the Permittee (and the persons listed in the attached distribution list) this 13th day of January, 2017, in accordance with Section 120.60(3), F.S. Notice was also electronically posted on this date through a link on the home page of the District's website (my.sfwmd.gov/ePermitting).

BY: 
Melissa M. Roberts, P.E.
Regulatory Administrator
Lower West Coast Service Center

NOTICE OF RIGHTS

As required by Sections 120.569 and 120.60(3), Fla. Stat., the following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all of the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

RIGHT TO REQUEST ADMINISTRATIVE HEARING

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on a SFWMD decision which affects or may affect their substantial interests shall file a petition for hearing with the Office of the District Clerk of the SFWMD, in accordance with the filing instructions set forth herein, within 21 days of receipt of written notice of the decision, unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Fla. Stat.; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, or posting that the SFWMD has or intends to take final agency action, or publication of notice that the SFWMD has or intends to take final agency action. Any person who receives written notice of a SFWMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action which materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional Rule 28-106.111, Fla. Admin. Code, point of entry.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Fla. Stat., shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The SFWMD may, for good cause, grant the request. Requests for extension of time must be filed with the SFWMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the SFWMD and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

FILING INSTRUCTIONS

A petition for administrative hearing must be filed with the Office of the District Clerk of the SFWMD. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at SFWMD headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day. Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, 3301 Gun Club Road, West Palm Beach, Florida 33406.

- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the SFWMD's security desk does not constitute filing. It will be necessary to request that the SFWMD's security officer contact the Office of the District Clerk. An employee of the SFWMD's Clerk's office will receive and file the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at clerk@sfwmd.gov. The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document. A party who files a document by e-mail shall (1) represent that the original physically signed document will be retained by that party for the duration of the proceeding and of any subsequent appeal or subsequent proceeding in that cause and that the party shall produce it upon the request of other parties; and (2) be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed.

INITIATION OF AN ADMINISTRATIVE HEARING

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Fla. Stat., and Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the SFWMD in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, SFWMD file number or any other SFWMD identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the SFWMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the SFWMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the SFWMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the SFWMD to take with respect to the SFWMD's proposed action.

MEDIATION

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401–.405, Fla. Admin. Code. The SFWMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

RIGHT TO SEEK JUDICIAL REVIEW

Pursuant to Section 120.68, Fla. Stat., and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal with the Office of the District Clerk of the SFWMD in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the clerk of the appropriate district court of appeal.

GENERAL CONDITIONS

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, Florida Administrative Code (F.A.C.). Any deviations that are not so authorized shall subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the "State of Florida Erosion and Sediment Control Designer and Reviewer Manual" (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the "Florida Stormwater Erosion and Sedimentation Control Inspector's Manual" (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice" indicating the expected start and completion dates. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex- "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
 - b. For all other activities- "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
 - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Applicant's Handbook Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 - b. Within 30 days of submittal of the as-built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that

GENERAL CONDITIONS

require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.

9. This permit does not:
 - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
 - a. Immediately if any previously submitted information is discovered to be inaccurate; and
 - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other

GENERAL CONDITIONS

uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.

17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on January 13, 2022.
2. Operation and maintenance of the stormwater management system shall be the responsibility of the permittee.
3. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
4. The following are exhibits to this permit. Exhibits noted as incorporated by reference are available on the District's ePermitting website (<http://my.sfwmd.gov/ePermitting>) under this application number.

Exhibit No. 1.0 Location Map

Exhibit No. 2.0 Plans

Exhibit No. 3.0 FLUCCS Map

Exhibit No. 3.1 Wetland Impact Map

Exhibit No. 3.2 Letter of Credit Reservation

Exhibit No. 3.3 Work Schedule

Exhibit No. 3.4 Amendment of Conservation Easement

5. Prior to initiating construction activities associated with this Environmental Resource Permit (ERP), the permittee is required to hold a pre-construction meeting with field representatives, consultants, contractors, District Environmental Resource Compliance (ERC) staff, and any other local government entities as necessary.

The purpose of the pre-construction meeting is to discuss construction methods, sequencing, best management practices, identify work areas, staking and roping of preserves where applicable, and to facilitate coordination and assistance amongst relevant parties.

To schedule a pre-construction meeting, please contact ERC staff from the Lower West Coast Service Center at (239) 338-2929 or via e-mail at: pre-con@sfwmd.gov. When sending a request for a pre-construction meeting, please include the application number, permit number, and contact name and phone number.

6. Mangrove trimming is limited to activities detailed in the plan attached as Exhibit 2.0 (page 6 of 8). All mangrove trimming activities shall be accomplished by a certified professional mangrove trimmer and in accordance with the Mangrove Trimming and Preservation Act (Sections 403.9321-403.9333 Florida Statutes).
7. Endangered species, threatened species and/or species of special concern have been observed onsite and/or the project contains suitable habitat for these species. It shall be the permittee's responsibility to coordinate with the Florida Fish and Wildlife Conservation Commission and/or the U.S. Fish and Wildlife Service for appropriate guidance, recommendations and/or necessary permits to avoid impacts to listed species.
8. Prior to commencement of construction and in accordance with the work schedule in Exhibit No. 3.3, the permittee shall submit documentation from Little Pine Island Mitigation Bank that 0.09 saltwater forested credits have been deducted from the official agency ledger.
9. Activities associated with the implementation of the mitigation, monitoring and maintenance plan(s) shall be completed in accordance with the work schedule attached as Exhibit No. 3.3. Any deviation from these time frames must be coordinated with the District's Environmental Resource Compliance staff, and may

SPECIAL CONDITIONS

require a minor modification to this permit. Such requests must be made in writing and shall include (1) reason for the change, (2) proposed start/finish and/or completion dates; and (3) progress report on the status of the project development or mitigation effort.

10. The District reserves the right to require remedial measures to be taken by the permittee if monitoring or other information demonstrates that adverse impacts to onsite or offsite wetlands, upland conservation areas or buffers, or other surface waters have occurred due to project related activities.
11. Prior to February 13, 2017 and prior to the commencement of construction, whichever occurs first, the permittee shall submit the following via ePermitting or to the Environmental Compliance staff at the local District office:
 - One certified copy of the recorded amendment to conservation easement document, including exhibits. The recorded easement shall utilize the form attached as Exhibit No. 3.4. This Exhibit may not be modified. The easement must be free of mortgages, liens, easements or other encumbrances or interests in the easement which District staff states are contrary to the intent of the easement. In the event it is later determined that there are encumbrances or interests in the easement which the District determines are contrary to the intent of the easement, the permittee shall be required to provide release or subordination of such encumbrances or interests.
12. A turbidity control plan shall be implemented in accordance with Exhibit No. 2.0. Prior to the commencement of construction in the Gordon River, floating turbidity curtains with weighted skirts that extend to the bottom of the Gordon River shall be properly installed to isolate adjacent waters from the work area. The floating turbidity curtains shall be maintained and shall remain in place until all construction is complete and turbidity levels in the project area are within 29 NTUs of background levels. The permittee shall be responsible for ensuring that turbidity control devices are inspected daily and maintained in good working order so that there are no violations of state water quality standards outside of the turbidity screens.
13. Prior to the commencement of construction, the perimeter of protected on-site wetland preservation areas shall be staked/roped/fenced to prevent encroachment into the protected areas. Using Global Positioning System (GPS) technology, the perimeter of the preserve areas shall be identified for future reference. The data shall be differentially corrected and accurate to less than a meter (+/- one meter or better). Electronic copies of the GPS data shall be provided to the District's Environmental Resource Compliance staff in accordance with Exhibit 3.6. The permittee shall notify the District's Environmental Resource Compliance staff in writing upon completion of staking/roping/fencing and schedule an inspection of this work. The staking/roping/fencing shall be subject to District staff approval. The permittee shall modify the staking/roping/fencing if District staff determines that it is insufficient or is not in conformance with the intent of this permit. The staking/roping/fencing shall remain in place until all adjacent construction activities are complete.

Last Date For Agency Action: January 15, 2017

INDIVIDUAL ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT

Project Name: Naples Baker Park Boardwalk
Permit No.: 11-01743-P
Application No.: 160229-21
Application Type: Environmental Resource (Construction/Operation Modification)
Location: Collier County, S3/T50S/R25E
Permittee : City of Naples
Naples Airport Authority
Operating Entity : City of Naples
Project Area: 0.13 acres
Permit Area: 738.60 acres
Project Land Use: Recreational
Special Drainage District: NA

Total Acres Wetland Onsite: .09
Total Acres Impacted Onsite : .07
Offsite Mitigation Credits-Mit.Bank: .09 Little Pine Island
Conservation Easement To District : Yes
Sovereign Submerged Lands: No

PROJECT SUMMARY:

This Environmental Resource Permit authorizes construction and operation of a boardwalk for a project known as Naples Baker Park Boardwalk.

The project consists of the construction of a 12-foot wide boardwalk within an 18-foot wide easement. The total area of the boardwalk is 3,220 square feet. The western end of the project area ends at the Mean High Water Line of the Gordon River. The boardwalk will connect to a bridge to be constructed over the Gordon River west of the Mean High Water Line that was permitted by the Florida Department of Environmental Protection (FDEP Permit No. 11-0341387-001, issued August 15, 2016). The applicant proposes to amend a portion of the existing conservation easement from a Standard Conservation Easement to a Passive Recreation Conservation Easement to accommodate the footprint of the boardwalk. Site development plans are attached as Exhibit 2.0. This application does not include any changes to the previously permitted surface water management system.

Issuance of this permit constitutes certification of compliance with state water quality standards in accordance with Rule 62-330.062 Florida Administrative Code (F.A.C.).

PROJECT EVALUATION:

PROJECT SITE DESCRIPTION:

The site is located in the west quadrant of the existing Naples Municipal Airport, west of the West Quad Pond (Application No. 140507-19). The Naples Municipal Airport is located between Airport Pulling Road and the Gordon River and between Enterprise Avenue Extension and North Road in the City of Naples in Collier County. Refer to Exhibit 1 for a location map.

The site contains hydric disturbed lands with young mangroves and a conservation easement/mitigation area consisting of mangroves associated with Application No. 990407-8. For information on the wetlands and surface waters within the project, please refer to the Wetlands and Surface Waters section of this staff report.

WETLANDS:

Wetlands And Other Surface Waters:

The project consists of the construction of a 12-foot wide boardwalk within an eighteen (18) foot wide passive recreational conservation easement area consisting of a total of 0.13-acres of wetlands. The construction footprint of the boardwalk contains 0.07 acres of wetlands. The remaining wetlands within the 18-foot wide boardwalk easement are not directly impacted within the conservation easement and will continue to be maintained per the permit. Please see Exhibit 3.0 for wetland locations. The wetlands can be generally described as mangrove swamp and disturbed hydric land with recruiting mangroves and saltwater tolerant groundcover. Additional wetland descriptions are located in the epermitting file. The on-site conservation easement is also an existing mitigation area for the Naples Municipal Airport.

The boardwalk will connect to the west with a bridge over the Gordon River that is being permitted by FDEP. The related bridge connects to a City of Naples Park on the western side of the Gordon River. The boardwalk will connect to the east to existing paved recreation trails on the Naples Airport Authority property. The project will result in impacts to 0.07 acres of wetlands as described in the table below. Exhibit 3.1 identifies the locations of wetlands that will be impacted. Please note that only the western portion of the boardwalk is located within the permitted conservation easement, while the eastern portion of the boardwalk is within wetlands not currently encumbered by a conservation easement. The construction of the 12-ft wide boardwalk will be from the top down to avoid impacts to wetlands outside of the construction footprint. Impacts to mature mangroves will be avoided wherever possible, and in some instances large branches will be tied back during construction. Turbidity curtains will be utilized along the shoreline to maintain water quality to the adjacent waterway (Gordon River).

Future mangrove trimming will consist of lateral branches 1-ft outside of the boardwalk footprint, and will be conducted only as needed by a Professional Mangrove Trimmer (Special Condition No. 6).

Secondary impacts include minor mangrove trimming alongside the boardwalk. Secondary impacts total 0.02 acres. The passive recreation facilities include litter disposal facilities to minimize impacts from users.

To mitigate for the wetland impacts, the applicant will purchase 0.09 saltwater forested mitigation bank credits from Little Pine Island Bank, as depicted in Exhibits 3.2-3.3. The amount of mitigation was determined by using the Little Pine Island Assessment Method. The final scores can be found in the permit file. The direct and secondary impacts to the mangroves within the conservation easement area utilized a 1:1 ratio.

Cumulative Impact Assessment:

Since the mitigation is not located within the same basin as the wetland impacts, a cumulative impact analysis was conducted of the saltwater forested wetlands within the West Collier Basin pursuant to Rule 10.2.8 of Volume I. This analysis can be found in the permit file.

All impacts from the proposed boardwalk will be to a small portion of the mangrove habitat on site. The boardwalk is a passive use structure, and does not involve filling wetlands.

Little Pine Island Mitigation Bank offers saltwater mitigation credits, which results in mitigation that is similar habitat type to the impacted wetlands. In addition, the Naples Airport has preserved intact mangrove forest along the Gordon River as part of their previously permitted mitigation. The percentage of saltwater wetland habitat impacts going offsite is small in comparison to the overall onsite permitted airport mitigation.

Based on the analysis provided and available information, the District has determined that the project will not result in unacceptable cumulative impacts to the West Collier Basin. This conclusion is project-specific and does not necessarily apply to any other application.

Wetland Inventory:

The 600 FLUCCS habitat code in the table below represents hydric disturbed land. Direct and secondary wetland impacts within the conservation easement total approximately 0.06 acres (western segment of project). Direct and secondary wetlands impacts outside of the conservation easement total approximately 0.037 acres (eastern segment of project). The table below combines both the secondary impact acreage that is located inside and outside of the conservation easement.

The wetland impacts on the front page of the staff report does not include the 0.02 acres of secondary impacts.

Wetland Inventory :

CONSTRUCTION MOD -Naples Baker Park

Site Id	Site Type	Pre-Development					Post-Development					
		Pre Fluc cs	AA Type	Acreage (Acres)	Current Wo Pres	With Project	Time Lag (Yrs)	Risk Factor	Pres. Adj. Factor	Post Fluc cs	Adj Delta	Functional Gain / Loss
W1	ON	612	Direct	.04							.000	.000
W2	ON	600	Direct	.03							.000	.000
Ws	ON	600	Secondary	.02							.000	.000
Total:				.09								.00

<u>Fluc cs Code</u>	<u>Description</u>
600	Wetlands
612	Mangrove Swamps

MITBANK		LITTLE PINE ISLAND	
Type Of Credits		Number Of Credits	
		Mitigation Bank Cr Used	
Salt Water Forested		.09	
Total:		.09	

Fish And Wildlife Issues:

The wetlands or surface waters to be impacted provide habitat for wetland-dependent species including wading birds. Although the project is located adjacent to the Gordon River, it is also within the City of Naples Airport Property which may limit the use of the area by listed species. In addition, the project is for passive recreation within a relatively small portion of the available mangrove habitat, and therefore is not anticipated to result in adverse impacts to wildlife. The proposed mitigation is anticipated to provide or improve habitat for wetland-dependent/ aquatic species. No aquatic or wetland-dependent listed species or species having special protection were observed to be using the adjacent uplands within the project for nesting or denning. The permittee has coordinated with both the US Fish and Wildlife Service and the National Marine Fisheries Service regarding this project via the Army Corps of Engineers (ACOE) (see epermitting file for a copy of the March 25, 2016 coordination letter from the ACOE).

This permit does not relieve the applicant from complying with all applicable rules and any other agencies' requirements if, in the future, endangered/threatened species or species of special concern are discovered on the site.

LEGAL ISSUES:

The existing recorded conservation easement for the Naples Airport Authority is a standard conservation easement (no passive recreation facilities are allowed). In addition to the South Florida Water Management District, the Conservancy of Southwest Florida is a grantee of the conservation easement. This permit authorizes an amendment to the Conservation Easement to allow the passive recreation facilities within an 18-foot wide portion of the conservation easement, as outlined on the attached plans and exhibits. The remainder of the conservation easement will remain a standard conservation easement. Please see Special Condition No. 11 regarding the amendment of conservation easement and Exhibit No. 3.4 for the amendment of conservation easement form.

CERTIFICATION, OPERATION, AND MAINTENANCE:

Pursuant to Chapter 62-330.310 Florida Administrative Code (F.A.C.), Individual Permits will not be converted from the construction phase to the operation phase until construction completion certification of the project is submitted to and accepted by the District. This includes compliance with all permit conditions, except for any long term maintenance and monitoring requirements. It is suggested that the permittee retain the services of an appropriate professional registered in the State of Florida for periodic observation of construction of the project.

For projects permitted with an operating entity that is different from the permittee, it should be noted that until the construction completion certification is accepted by the District and the permit is transferred to an acceptable operating entity pursuant to Sections 12.1-12.3 of the Applicant's Handbook Volume I and Section 62-330.310, F.A.C., the permittee is liable for operation and maintenance in compliance with the terms and conditions of this permit.

In accordance with Section 373.416(2), F.S., unless revoked or abandoned, all stormwater management systems and works permitted under Part IV of Chapter 373, F.S., must be operated and maintained in

perpetuity.

The efficiency of stormwater management systems, dams, impoundments, and most other project components will decrease over time without periodic maintenance. The operation and maintenance entity must perform periodic inspections to identify if there are any deficiencies in structural integrity, degradation due to insufficient maintenance, or improper operation of projects that may endanger public health, safety, or welfare, or the water resources. If deficiencies are found, the operation and maintenance entity will be responsible for correcting the deficiencies in a timely manner to prevent compromises to flood protection and water quality. See Section 12.4 of Applicant's Handbook Volume I for Minimum Operation and Maintenance Standards.

RELATED CONCERNS:

Water Use Permit Status:

The applicant has indicated that irrigation and dewatering are not required for this project.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

CERP:

The proposed project is not located within or adjacent to a Comprehensive Everglades Restoration Project component.

Right-Of-Way Permit Status:

A District Right-of-Way Permit is not required for this project.

Historical/Archeological Resources:

The District has received correspondence from the Florida Department of State, Division of Historical Resources indicating that there is some potential for undiscovered archeological sites to occur within the property. Please refer to General Condition No. 14 regarding fortuitous finds or unexpected discoveries during ground disturbing activities on the project site. This permit does not release the permittee from compliance with any other agencies' requirements in the event that historical and/or archaeological resources are found on the site.

DEO/CZM Consistency Review:

The issuance of this permit constitutes a finding of consistency with the Florida Coastal Management Program.

Third Party Interest:

No third party has contacted the District with concerns about this application.

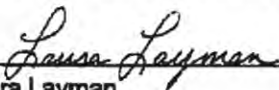
Enforcement:

There has been no enforcement activity associated with this application.

STAFF REVIEW:

DIVISION APPROVAL:

NATURAL RESOURCE MANAGEMENT:



Laura Layman

DATE: 1/13/17

SURFACE WATER MANAGEMENT:



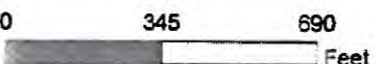



Brian Rose, P.E.

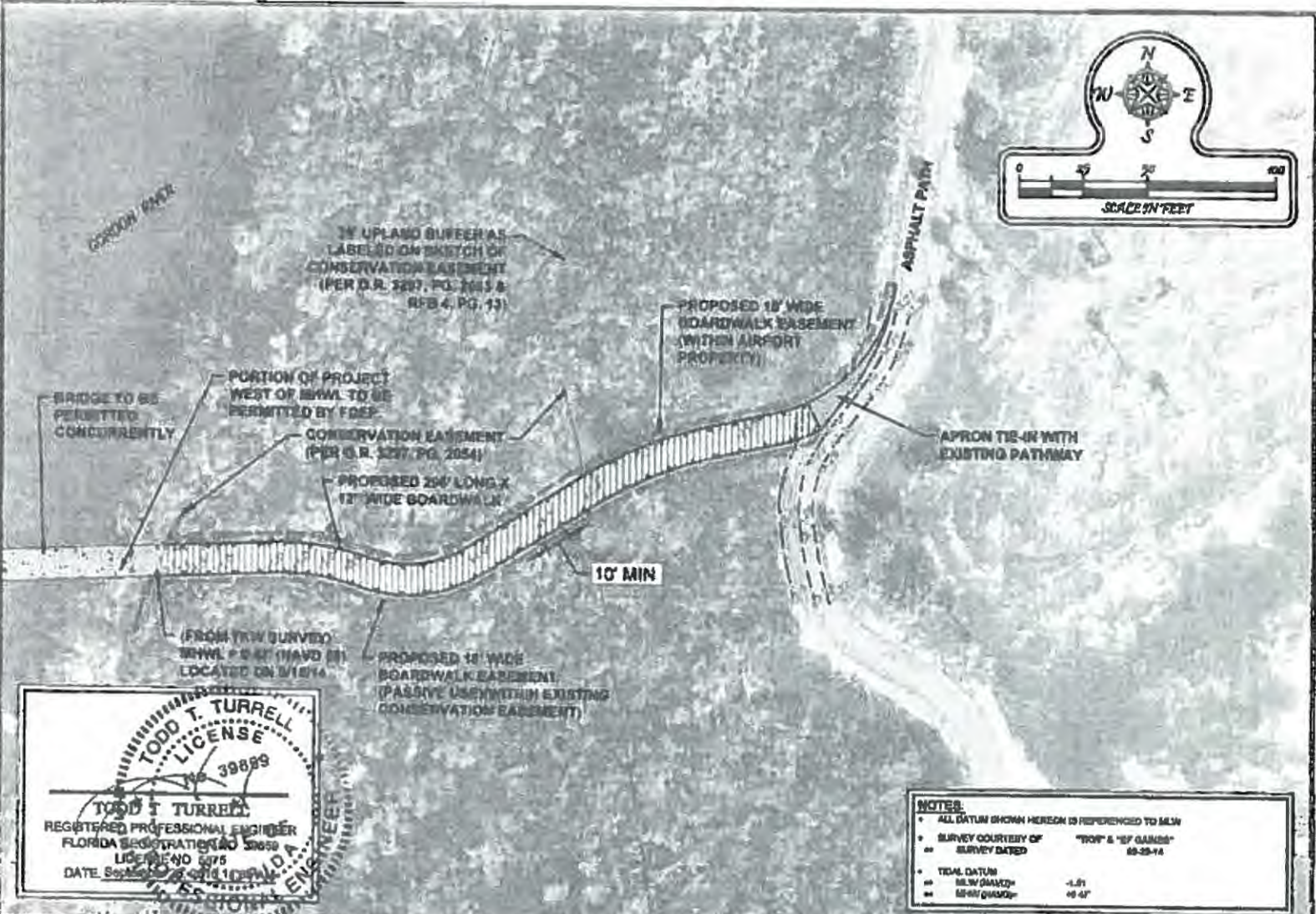
DATE: 1/13/17



Entire contents to Collier County, Florida, Department of Public Works, Engineering Division, 1500 Highway 1, Naples, Florida 34104. All rights reserved. No part of this publication may be reproduced without the prior written permission of the publisher.

Exhibit No: 1	Exhibit Created On: 2016-03-01	COLLIER COUNTY, FL	 Application
REGULATION DIVISION Project Name: NAPLES BAKER PARK BRIDGE EASTERN LANDING AND BOARDWALK			Permit No: 11-01743-P Application Number: 160229-21
		 South Florida Water Management District	

1:\NCS 1\Aerials\Baker Park\BakerParkAerial.dwg 11/13/2014 10:54:47 AM 11/13/2014 10:54:47 AM 11/13/2014 10:54:47 AM 11/13/2014 10:54:47 AM



TODD T. TURRELL
 LICENSE
 No. 39889
TODD T. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 39889
 LICENSE NO. 5075
 DATE September 2, 2010
 STATE OF FLORIDA

NOTES:

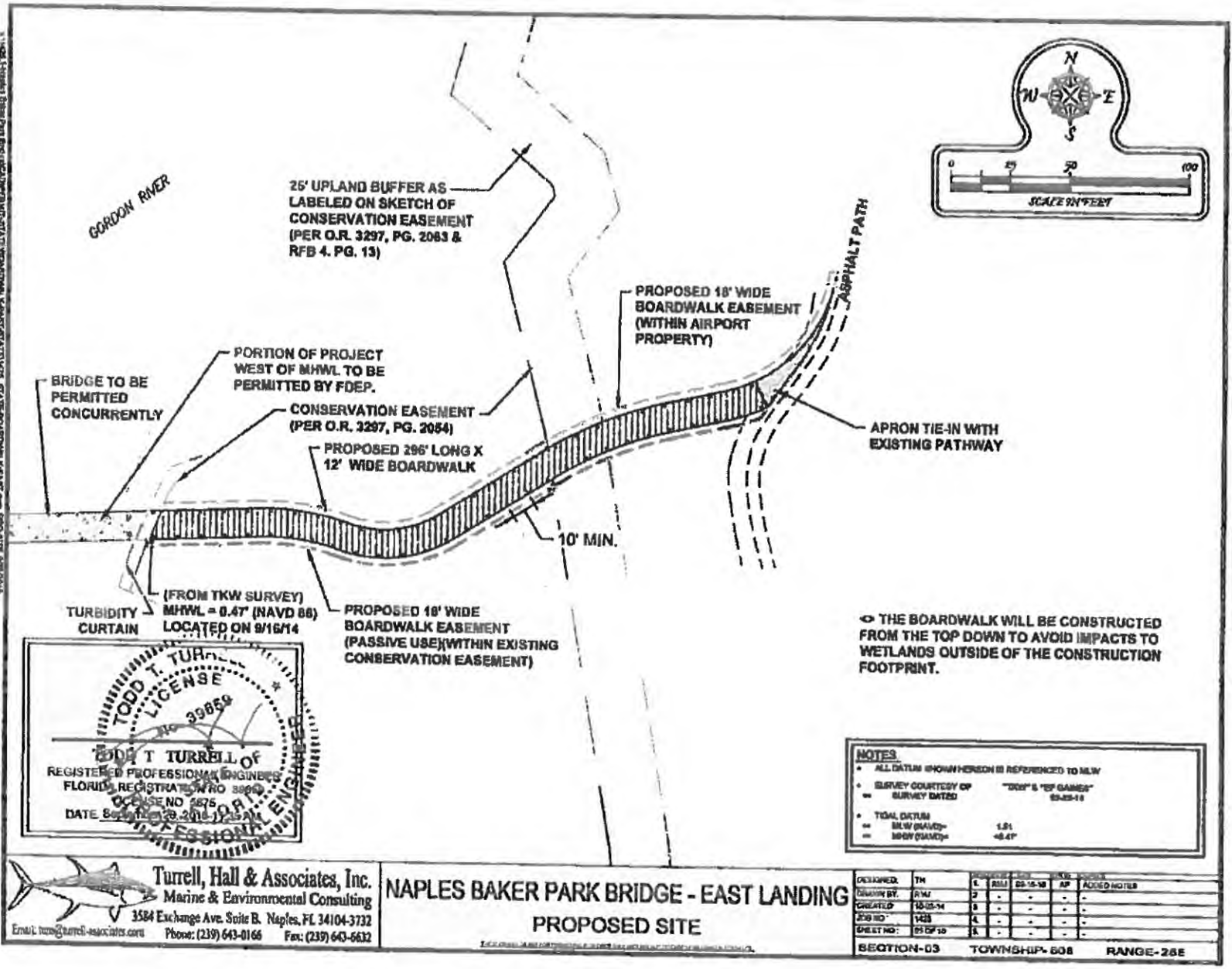
- ALL DATUM SHOWN HEREON IS REFERENCED TO MSLN
- SURVEY COURTESY OF "TOPP & HOF GANGES"
 ** SURVEY DATED 03-29-14
- TIDAL DATUM
 ** MSLN (GAMCO) -1.01
 ** MSLN (GAMCO) -10.47

Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 1584 Exchange Ave. Suite B, Naples, FL 34104-3732
 Email: ttaa@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

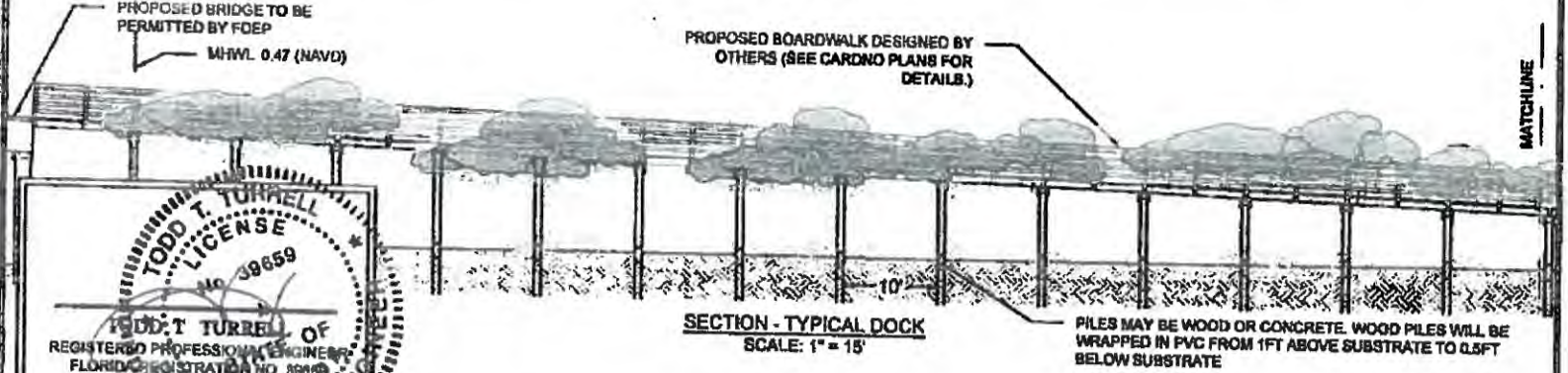
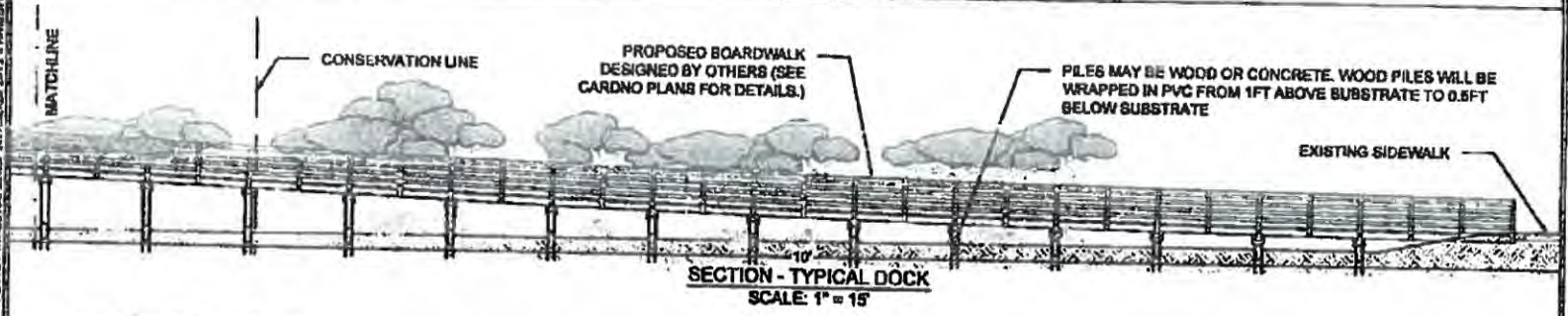
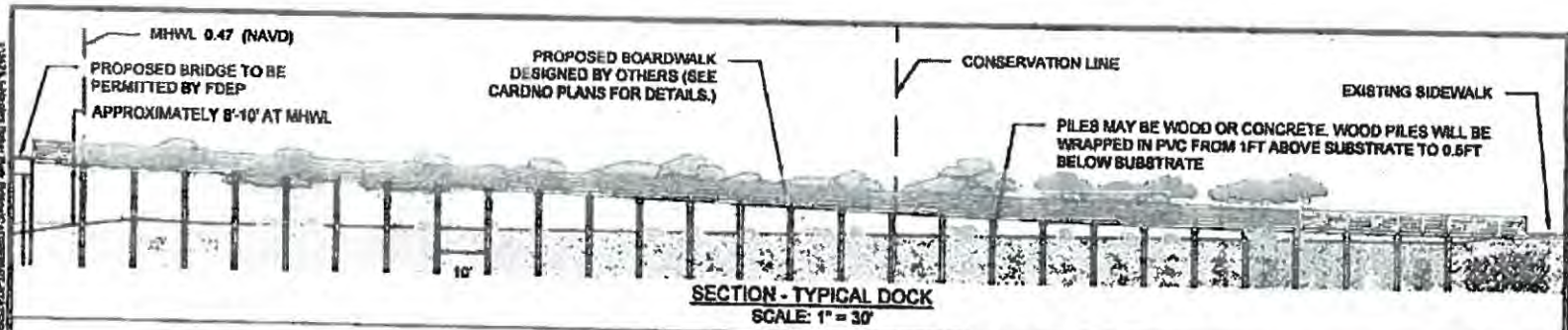
NAPLES BAKER PARK BRIDGE - EAST LANDING
PROPOSED AERIAL

DESIGNED BY	DATE	BY	DATE	BY	DATE
TH	11-13-14				
DRAWN BY	11-13-14				
CHECKED BY	09-13-14				
JOB NO.	123				
DRAWING NO.	01 OF 12				

SECTION-03 TOWNSHIP- 50S RANGE-25E



1:1000 Scale
 1/16" = 1'-0"
 1/8" = 2'-0"
 1/4" = 4'-0"
 1/2" = 8'-0"
 3/4" = 12'-0"
 1" = 16'-0"
 1 1/4" = 20'-0"
 1 1/2" = 24'-0"
 1 3/4" = 28'-0"
 2" = 32'-0"
 2 1/4" = 36'-0"
 2 1/2" = 40'-0"
 2 3/4" = 44'-0"
 3" = 48'-0"
 3 1/4" = 52'-0"
 3 1/2" = 56'-0"
 3 3/4" = 60'-0"
 4" = 64'-0"
 4 1/4" = 68'-0"
 4 1/2" = 72'-0"
 4 3/4" = 76'-0"
 5" = 80'-0"
 5 1/4" = 84'-0"
 5 1/2" = 88'-0"
 5 3/4" = 92'-0"
 6" = 96'-0"
 6 1/4" = 100'-0"
 6 1/2" = 104'-0"
 6 3/4" = 108'-0"
 7" = 112'-0"
 7 1/4" = 116'-0"
 7 1/2" = 120'-0"
 7 3/4" = 124'-0"
 8" = 128'-0"
 8 1/4" = 132'-0"
 8 1/2" = 136'-0"
 8 3/4" = 140'-0"
 9" = 144'-0"
 9 1/4" = 148'-0"
 9 1/2" = 152'-0"
 9 3/4" = 156'-0"
 10" = 160'-0"
 10 1/4" = 164'-0"
 10 1/2" = 168'-0"
 10 3/4" = 172'-0"
 11" = 176'-0"
 11 1/4" = 180'-0"
 11 1/2" = 184'-0"
 11 3/4" = 188'-0"
 12" = 192'-0"
 12 1/4" = 196'-0"
 12 1/2" = 200'-0"
 12 3/4" = 204'-0"
 13" = 208'-0"
 13 1/4" = 212'-0"
 13 1/2" = 216'-0"
 13 3/4" = 220'-0"
 14" = 224'-0"
 14 1/4" = 228'-0"
 14 1/2" = 232'-0"
 14 3/4" = 236'-0"
 15" = 240'-0"
 15 1/4" = 244'-0"
 15 1/2" = 248'-0"
 15 3/4" = 252'-0"
 16" = 256'-0"
 16 1/4" = 260'-0"
 16 1/2" = 264'-0"
 16 3/4" = 268'-0"
 17" = 272'-0"
 17 1/4" = 276'-0"
 17 1/2" = 280'-0"
 17 3/4" = 284'-0"
 18" = 288'-0"
 18 1/4" = 292'-0"
 18 1/2" = 296'-0"
 18 3/4" = 300'-0"
 19" = 304'-0"
 19 1/4" = 308'-0"
 19 1/2" = 312'-0"
 19 3/4" = 316'-0"
 20" = 320'-0"
 20 1/4" = 324'-0"
 20 1/2" = 328'-0"
 20 3/4" = 332'-0"
 21" = 336'-0"
 21 1/4" = 340'-0"
 21 1/2" = 344'-0"
 21 3/4" = 348'-0"
 22" = 352'-0"
 22 1/4" = 356'-0"
 22 1/2" = 360'-0"
 22 3/4" = 364'-0"
 23" = 368'-0"
 23 1/4" = 372'-0"
 23 1/2" = 376'-0"
 23 3/4" = 380'-0"
 24" = 384'-0"
 24 1/4" = 388'-0"
 24 1/2" = 392'-0"
 24 3/4" = 396'-0"
 25" = 400'-0"
 25 1/4" = 404'-0"
 25 1/2" = 408'-0"
 25 3/4" = 412'-0"
 26" = 416'-0"
 26 1/4" = 420'-0"
 26 1/2" = 424'-0"
 26 3/4" = 428'-0"
 27" = 432'-0"
 27 1/4" = 436'-0"
 27 1/2" = 440'-0"
 27 3/4" = 444'-0"
 28" = 448'-0"
 28 1/4" = 452'-0"
 28 1/2" = 456'-0"
 28 3/4" = 460'-0"
 29" = 464'-0"
 29 1/4" = 468'-0"
 29 1/2" = 472'-0"
 29 3/4" = 476'-0"
 30" = 480'-0"
 30 1/4" = 484'-0"
 30 1/2" = 488'-0"
 30 3/4" = 492'-0"
 31" = 496'-0"
 31 1/4" = 500'-0"
 31 1/2" = 504'-0"
 31 3/4" = 508'-0"
 32" = 512'-0"
 32 1/4" = 516'-0"
 32 1/2" = 520'-0"
 32 3/4" = 524'-0"
 33" = 528'-0"
 33 1/4" = 532'-0"
 33 1/2" = 536'-0"
 33 3/4" = 540'-0"
 34" = 544'-0"
 34 1/4" = 548'-0"
 34 1/2" = 552'-0"
 34 3/4" = 556'-0"
 35" = 560'-0"
 35 1/4" = 564'-0"
 35 1/2" = 568'-0"
 35 3/4" = 572'-0"
 36" = 576'-0"
 36 1/4" = 580'-0"
 36 1/2" = 584'-0"
 36 3/4" = 588'-0"
 37" = 592'-0"
 37 1/4" = 596'-0"
 37 1/2" = 600'-0"
 37 3/4" = 604'-0"
 38" = 608'-0"
 38 1/4" = 612'-0"
 38 1/2" = 616'-0"
 38 3/4" = 620'-0"
 39" = 624'-0"
 39 1/4" = 628'-0"
 39 1/2" = 632'-0"
 39 3/4" = 636'-0"
 40" = 640'-0"
 40 1/4" = 644'-0"
 40 1/2" = 648'-0"
 40 3/4" = 652'-0"
 41" = 656'-0"
 41 1/4" = 660'-0"
 41 1/2" = 664'-0"
 41 3/4" = 668'-0"
 42" = 672'-0"
 42 1/4" = 676'-0"
 42 1/2" = 680'-0"
 42 3/4" = 684'-0"
 43" = 688'-0"
 43 1/4" = 692'-0"
 43 1/2" = 696'-0"
 43 3/4" = 700'-0"
 44" = 704'-0"
 44 1/4" = 708'-0"
 44 1/2" = 712'-0"
 44 3/4" = 716'-0"
 45" = 720'-0"
 45 1/4" = 724'-0"
 45 1/2" = 728'-0"
 45 3/4" = 732'-0"
 46" = 736'-0"
 46 1/4" = 740'-0"
 46 1/2" = 744'-0"
 46 3/4" = 748'-0"
 47" = 752'-0"
 47 1/4" = 756'-0"
 47 1/2" = 760'-0"
 47 3/4" = 764'-0"
 48" = 768'-0"
 48 1/4" = 772'-0"
 48 1/2" = 776'-0"
 48 3/4" = 780'-0"
 49" = 784'-0"
 49 1/4" = 788'-0"
 49 1/2" = 792'-0"
 49 3/4" = 796'-0"
 50" = 800'-0"
 50 1/4" = 804'-0"
 50 1/2" = 808'-0"
 50 3/4" = 812'-0"
 51" = 816'-0"
 51 1/4" = 820'-0"
 51 1/2" = 824'-0"
 51 3/4" = 828'-0"
 52" = 832'-0"
 52 1/4" = 836'-0"
 52 1/2" = 840'-0"
 52 3/4" = 844'-0"
 53" = 848'-0"
 53 1/4" = 852'-0"
 53 1/2" = 856'-0"
 53 3/4" = 860'-0"
 54" = 864'-0"
 54 1/4" = 868'-0"
 54 1/2" = 872'-0"
 54 3/4" = 876'-0"
 55" = 880'-0"
 55 1/4" = 884'-0"
 55 1/2" = 888'-0"
 55 3/4" = 892'-0"
 56" = 896'-0"
 56 1/4" = 900'-0"
 56 1/2" = 904'-0"
 56 3/4" = 908'-0"
 57" = 912'-0"
 57 1/4" = 916'-0"
 57 1/2" = 920'-0"
 57 3/4" = 924'-0"
 58" = 928'-0"
 58 1/4" = 932'-0"
 58 1/2" = 936'-0"
 58 3/4" = 940'-0"
 59" = 944'-0"
 59 1/4" = 948'-0"
 59 1/2" = 952'-0"
 59 3/4" = 956'-0"
 60" = 960'-0"
 60 1/4" = 964'-0"
 60 1/2" = 968'-0"
 60 3/4" = 972'-0"
 61" = 976'-0"
 61 1/4" = 980'-0"
 61 1/2" = 984'-0"
 61 3/4" = 988'-0"
 62" = 992'-0"
 62 1/4" = 996'-0"
 62 1/2" = 1000'-0"
 62 3/4" = 1004'-0"
 63" = 1008'-0"
 63 1/4" = 1012'-0"
 63 1/2" = 1016'-0"
 63 3/4" = 1020'-0"
 64" = 1024'-0"
 64 1/4" = 1028'-0"
 64 1/2" = 1032'-0"
 64 3/4" = 1036'-0"
 65" = 1040'-0"
 65 1/4" = 1044'-0"
 65 1/2" = 1048'-0"
 65 3/4" = 1052'-0"
 66" = 1056'-0"
 66 1/4" = 1060'-0"
 66 1/2" = 1064'-0"
 66 3/4" = 1068'-0"
 67" = 1072'-0"
 67 1/4" = 1076'-0"
 67 1/2" = 1080'-0"
 67 3/4" = 1084'-0"
 68" = 1088'-0"
 68 1/4" = 1092'-0"
 68 1/2" = 1096'-0"
 68 3/4" = 1100'-0"
 69" = 1104'-0"
 69 1/4" = 1108'-0"
 69 1/2" = 1112'-0"
 69 3/4" = 1116'-0"
 70" = 1120'-0"
 70 1/4" = 1124'-0"
 70 1/2" = 1128'-0"
 70 3/4" = 1132'-0"
 71" = 1136'-0"
 71 1/4" = 1140'-0"
 71 1/2" = 1144'-0"
 71 3/4" = 1148'-0"
 72" = 1152'-0"
 72 1/4" = 1156'-0"
 72 1/2" = 1160'-0"
 72 3/4" = 1164'-0"
 73" = 1168'-0"
 73 1/4" = 1172'-0"
 73 1/2" = 1176'-0"
 73 3/4" = 1180'-0"
 74" = 1184'-0"
 74 1/4" = 1188'-0"
 74 1/2" = 1192'-0"
 74 3/4" = 1196'-0"
 75" = 1200'-0"
 75 1/4" = 1204'-0"
 75 1/2" = 1208'-0"
 75 3/4" = 1212'-0"
 76" = 1216'-0"
 76 1/4" = 1220'-0"
 76 1/2" = 1224'-0"
 76 3/4" = 1228'-0"
 77" = 1232'-0"
 77 1/4" = 1236'-0"
 77 1/2" = 1240'-0"
 77 3/4" = 1244'-0"
 78" = 1248'-0"
 78 1/4" = 1252'-0"
 78 1/2" = 1256'-0"
 78 3/4" = 1260'-0"
 79" = 1264'-0"
 79 1/4" = 1268'-0"
 79 1/2" = 1272'-0"
 79 3/4" = 1276'-0"
 80" = 1280'-0"
 80 1/4" = 1284'-0"
 80 1/2" = 1288'-0"
 80 3/4" = 1292'-0"
 81" = 1296'-0"
 81 1/4" = 1300'-0"
 81 1/2" = 1304'-0"
 81 3/4" = 1308'-0"
 82" = 1312'-0"
 82 1/4" = 1316'-0"
 82 1/2" = 1320'-0"
 82 3/4" = 1324'-0"
 83" = 1328'-0"
 83 1/4" = 1332'-0"
 83 1/2" = 1336'-0"
 83 3/4" = 1340'-0"
 84" = 1344'-0"
 84 1/4" = 1348'-0"
 84 1/2" = 1352'-0"
 84 3/4" = 1356'-0"
 85" = 1360'-0"
 85 1/4" = 1364'-0"
 85 1/2" = 1368'-0"
 85 3/4" = 1372'-0"
 86" = 1376'-0"
 86 1/4" = 1380'-0"
 86 1/2" = 1384'-0"
 86 3/4" = 1388'-0"
 87" = 1392'-0"
 87 1/4" = 1396'-0"
 87 1/2" = 1400'-0"
 87 3/4" = 1404'-0"
 88" = 1408'-0"
 88 1/4" = 1412'-0"
 88 1/2" = 1416'-0"
 88 3/4" = 1420'-0"
 89" = 1424'-0"
 89 1/4" = 1428'-0"
 89 1/2" = 1432'-0"
 89 3/4" = 1436'-0"
 90" = 1440'-0"
 90 1/4" = 1444'-0"
 90 1/2" = 1448'-0"
 90 3/4" = 1452'-0"
 91" = 1456'-0"
 91 1/4" = 1460'-0"
 91 1/2" = 1464'-0"
 91 3/4" = 1468'-0"
 92" = 1472'-0"
 92 1/4" = 1476'-0"
 92 1/2" = 1480'-0"
 92 3/4" = 1484'-0"
 93" = 1488'-0"
 93 1/4" = 1492'-0"
 93 1/2" = 1496'-0"
 93 3/4" = 1500'-0"
 94" = 1504'-0"
 94 1/4" = 1508'-0"
 94 1/2" = 1512'-0"
 94 3/4" = 1516'-0"
 95" = 1520'-0"
 95 1/4" = 1524'-0"
 95 1/2" = 1528'-0"
 95 3/4" = 1532'-0"
 96" = 1536'-0"
 96 1/4" = 1540'-0"
 96 1/2" = 1544'-0"
 96 3/4" = 1548'-0"
 97" = 1552'-0"
 97 1/4" = 1556'-0"
 97 1/2" = 1560'-0"
 97 3/4" = 1564'-0"
 98" = 1568'-0"
 98 1/4" = 1572'-0"
 98 1/2" = 1576'-0"
 98 3/4" = 1580'-0"
 99" = 1584'-0"
 99 1/4" = 1588'-0"
 99 1/2" = 1592'-0"
 99 3/4" = 1596'-0"
 100" = 1600'-0"
 100 1/4" = 1604'-0"
 100 1/2" = 1608'-0"
 100 3/4" = 1612'-0"
 101" = 1616'-0"
 101 1/4" = 1620'-0"
 101 1/2" = 1624'-0"
 101 3/4" = 1628'-0"
 102" = 1632'-0"
 102 1/4" = 1636'-0"
 102 1/2" = 1640'-0"
 102 3/4" = 1644'-0"
 103" = 1648'-0"
 103 1/4" = 1652'-0"
 103 1/2" = 1656'-0"
 103 3/4" = 1660'-0"
 104" = 1664'-0"
 104 1/4" = 1668'-0"
 104 1/2" = 1672'-0"
 104 3/4" = 1676'-0"
 105" = 1680'-0"
 105 1/4" = 1684'-0"
 105 1/2" = 1688'-0"
 105 3/4" = 1692'-0"
 106" = 1696'-0"
 106 1/4" = 1700'-0"
 106 1/2" = 1704'-0"
 106 3/4" = 1708'-0"
 107" = 1712'-0"
 107 1/4" = 1716'-0"
 107 1/2" = 1720'-0"
 107 3/4" = 1724'-0"
 108" = 1728'-0"
 108 1/4" = 1732'-0"
 108 1/2" = 1736'-0"
 108 3/4" = 1740'-0"
 109" = 1744'-0"
 109 1/4" = 1748'-0"
 109 1/2" = 1752'-0"
 109 3/4" = 1756'-0"
 110" = 1760'-0"
 110 1/4" = 1764'-0"
 110 1/2" = 1768'-0"
 110 3/4" = 1772'-0"
 111" = 1776'-0"
 111 1/4" = 1780'-0"
 111 1/2" = 1784'-0"
 111 3/4" = 1788'-0"
 112" = 1792'-0"
 112 1/4" = 1796'-0"
 112 1/2" = 1800'-0"
 112 3/4" = 1804'-0"
 113" = 1808'-0"
 113 1/4" = 1812'-0"
 113 1/2" = 1816'-0"
 113 3/4" = 1820'-0"
 114" = 1824'-0"
 114 1/4" = 1828'-0"
 114 1/2" = 1832'-0"
 114 3/4" = 1836'-0"
 115" = 1840'-0"
 115 1/4" = 1844'-0"
 115 1/2" = 1848'-0"
 115 3/4" = 1852'-0"
 116" = 1856'-0"
 116 1/4" = 1860'-0"
 116 1/2" = 1864'-0"
 116 3/4" = 1868'-0"
 117" = 1872'-0"
 117 1/4" = 1876'-0"
 117 1/2" = 1880'-0"
 117 3/4" = 1884'-0"
 118" = 1888'-0"
 118 1/4" = 1892'-0"
 118 1/2" = 1896'-0"
 118 3/4" = 1900'-0"
 119" = 1904'-0"
 119 1/4" = 1908'-0"
 119 1/2" = 1912'-0"
 119 3/4" = 1916'-0"
 120" = 1920'-0"
 120 1/4" = 1924'-0"
 120 1/2" = 1928'-0"
 120 3/4" = 1932'-0"
 121" = 1936'-0"
 121 1/4" = 1940'-0"
 121 1/2" = 1944'-0"
 121 3/4" = 1948'-0"
 122" = 1952'-0"
 122 1/4" = 1956'-0"
 122 1/2" = 1960'-0"
 122 3/4" = 1964'-0"
 123" = 1968'-0"
 123 1/4" = 1972'-0"
 123 1/2" = 1976'-0"
 123 3/4" = 1980'-0"
 124" = 1984'-0"
 124 1/4" = 1988'-0"
 124 1/2" = 1992'-0"
 124 3/4" = 1996'-0"
 125" = 2000'-0"
 125 1/4" = 2004'-0"
 125 1/2" = 2008'-0"
 125 3/4" = 2012'-0"
 126" = 2016'-0"
 126 1/4" = 2020'-0"
 126 1/2" = 2024'-0"
 126 3/4" = 2028'-0"
 127" = 2032'-0"
 127 1/4" = 2036'-0"
 127 1/2" = 2040'-0"
 127 3/4" = 2044'-0"
 128" = 2048'-0"
 128 1/4" = 2052'-0"
 128 1/2" = 2056'-0"
 128 3/4" = 2060'-0"
 129" = 2064'-0"
 129 1/4" = 2068'-0"
 129 1/2" = 2072'-0"
 129 3/4" = 2076'-0"
 130" = 2080'-0"
 130 1/4" = 2084'-0"
 130 1/2" = 2088'-0"
 130 3/4" = 2092'-0"
 131" = 2096'-0"
 131 1/4" = 2100'-0"
 131 1/2" = 2104'-0"
 131 3/4" = 2108'-0"
 132" = 2112'-0"
 132 1/4" = 2116'-0"
 132 1/2" = 2120'-0"
 132 3/4" = 2124'-0"
 133" = 2128'-0"
 133 1/4" = 2132'-0"
 133 1/2" = 2136'-0"
 133 3/4" = 2140'-0"
 134" = 2144'-0"
 134 1/4" = 2148'-0"
 134 1/2" = 2152'-0"
 134 3/4" = 2156'-0"
 135" = 2160'-0"
 135 1/4" = 2164'-0"
 135 1/2" = 2168'-0"
 135 3/4" = 2172'-0"
 136" = 2176'-0"
 136 1/4" = 2180'-0"
 136 1/2" = 2184'-0"
 136 3/4" = 2188'-0"
 137" = 2192'-0"
 137 1/4" = 2196'-0"
 137 1/2" = 2200'-0"
 137 3/4" = 2204'-0"
 138" = 2208'-0"
 138 1/4" = 2212'-0"
 138 1/2" = 2216'-0"
 138 3/4" = 2220'-0"
 139" = 2224'-0"
 139 1/4" = 2228'-0"
 139 1/2" = 2232'-0"
 139 3/4" = 2236'-0"
 140" = 2240'-0"
 140 1/4" = 2244'-0"
 140 1/2" = 2248'-0"
 140 3/4" = 2252'-0"
 141" = 2256'-0"
 141 1/4" = 2260'-0"
 141 1/2" = 2264'-0"
 141 3/4" = 2268'-0"
 142" = 2272'-0"
 142 1/4" = 2276'-0"
 142 1/2" = 2280'-0"
 142 3/4" = 2284'-0"
 143" = 2288'-0"
 143 1/4" = 2292'-0"
 143 1/2" = 2296'-0"
 143 3/4" = 2300'-0"
 144" = 2304'-0"
 144 1/4" = 2308'-0"
 144 1/2" = 2312'-0"
 144 3/4" = 2316'-0"
 145" = 2320'-0"
 145 1/4" = 2324'-0"
 145 1/2" = 2328'-0"
 145 3/4" = 2332'-0"
 146" = 2336'-0"
 146 1/4" = 2340'-0"
 146 1/2" = 2344'-0"
 146 3/4" = 2348'-0"
 147" = 2352'-0"
 147 1/4" = 2356'-0"
 147 1/2" = 2360'-0"
 147 3/4" = 2364'-0"
 148" = 2368'-0"
 148 1/4" = 2372'-0"
 148 1/2" = 2376'-0"
 148 3/4" = 2380'-0"
 149" = 2384'-0"
 149 1/4" = 2388'-0"
 149 1/2" = 2392'-0"
 149 3/4" = 2396'-0"
 150" = 2400'-0"
 150 1/4" = 2404'-0"
 150 1/2" = 2408'-0"
 150 3/4" = 2412'-0"
 151" = 2416'-0"
 151 1/4" = 2420'-0"
 151 1/2" = 2424'-0"
 151 3/4" = 2428'-0"
 152" = 2432'-0"
 152 1/4" = 2436'-0"
 152 1/2" = 2440'-0"
 152 3



TODD T. TURRELL
 LICENSE
 No. 39859

TODD T. TURRELL OF
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 88609
 LICENSED 07/75
 DATE: September 25, 1988

Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B, Naples, FL 34104-3732
 Email: thall@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

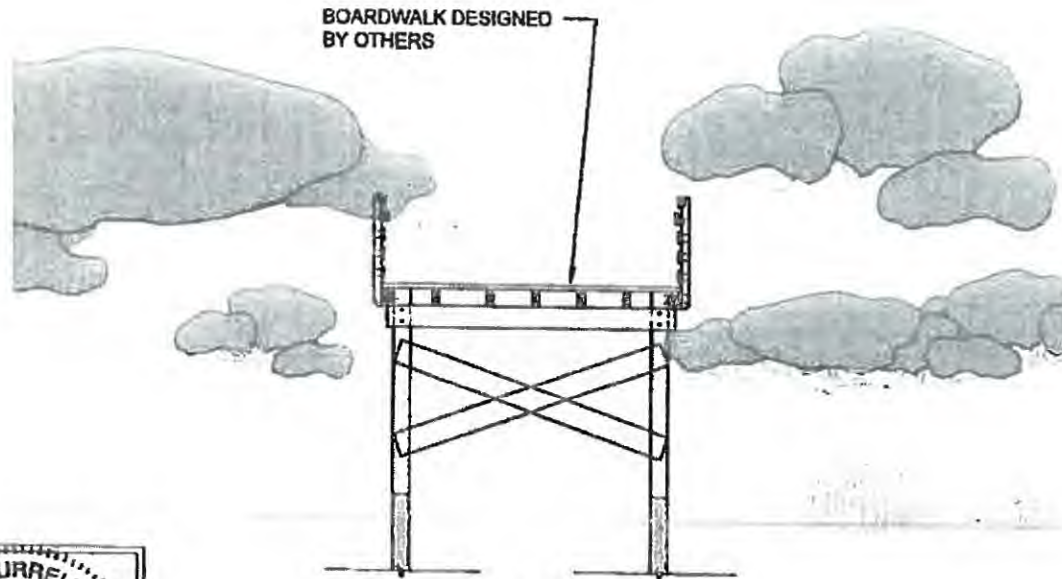
NAPLES BAKER PARK BRIDGE - EAST LANDING
SECTIONS

DESIGNED BY	TH	DATE	SCALE	SECTION
DRAWN BY	TH	1	-	-
CHECKED BY	TH	01-17-18	-	-
JOB NO.	1438	1	-	-
SHEET NO.	07 OF 18	2	-	-

SECTION-03 TOWNSHIP-50S RANGE-25E

01/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM 10/23/2018 10:45 AM

- ◊ BRANCHES WILL BE LATERAL TRIMMED TO 1 FOOT OUTSIDE THE BOARD WALK FOOTPRINT.
- ◊ MANGROVE TRIMMING TO BE CONDUCTED BY A PMT.



SECTION - TYPICAL BOARDWALK W/ RAIL
SCALE 1" = 6'



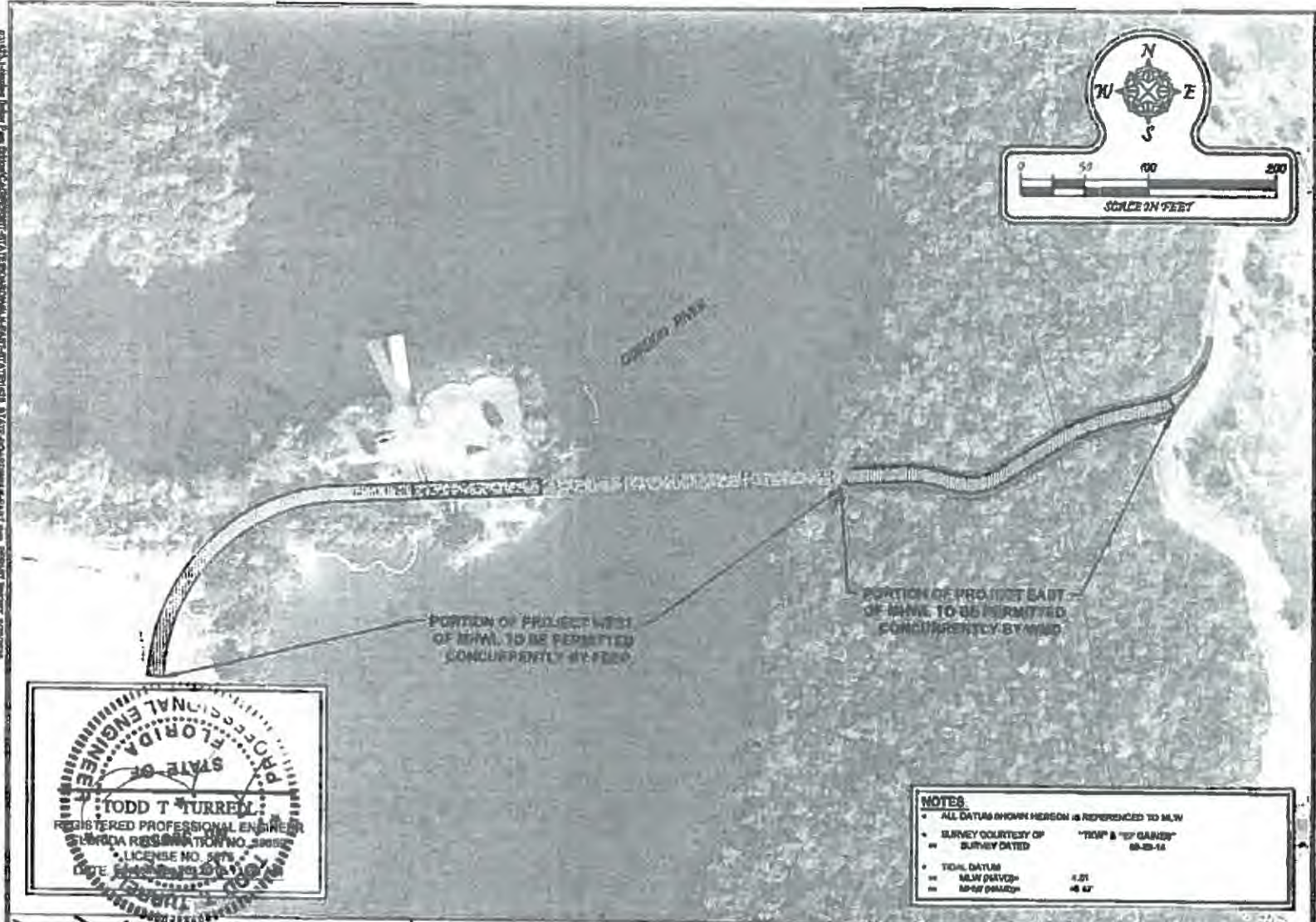
Turrell, Hall & Associates, Inc.
Marine & Environmental Consulting
3584 Exchange Ave, Suite B, Naples, FL 34104-3732
Email: info@turrell-associates.com Phone: (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - EAST LANDING
DETAIL

DESCRIPTION	DATE	BY	CHKD	DATE	APPROVED	NOTES
DRAWN BY	RMH	T	RMH	08-16-18	AP	ADDED NOTES
CHECKED	08-16-18	T	-	-	-	-
DATE	08-16-18	T	-	-	-	-
BY	08-16-18	T	-	-	-	-

SECTION-03 TOWNSHIP-508 RANGE-25E

PROJECT LOCATION: Baker Park Bridge, Baker Park, Naples, FL. PROJECT NO.: 160229-21. DATE: 08-23-11.



NOTES

- ALL DATUMS KNOWN HEREON IS REFERENCED TO MHWL
- SURVEY COURTESY OF "TROP & '07 GAMES" 08-23-11
- TIDAL DATUM
 - MHW DATUM: +1.01
 - MSL DATUM: +6.67


Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B, Naples, FL 34104-3732
 Email: turrell@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - EAST LANDING
PERMIT BOUNDARY AREAS

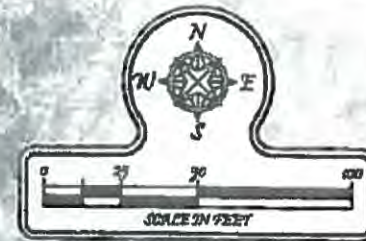
DESCRIPTION	TH	1	2	3	4
DRAWN BY:	THL	-	-	-	-
CHECKED BY:	THL	-	-	-	-
DATE:	08-23-11	-	-	-	-
JOB NO.:	1438	-	-	-	-
SHEET NO.:	19 OF 28	-	-	-	-

SECTION-03 TOWNSHIP- 09S RANGE- 20E

SECONDARY IMPACTS WITHIN CONSERVATION EASEMENT		
FLUCCS	DESCRIPTION	IMPACTS (SF)
812	MANGROVE SWAMPS	853
TOTAL		853

SECONDARY IMPACTS OUTSIDE OF CONSERVATION EASEMENT		
FLUCCS	DESCRIPTION	IMPACTS (SF)
812	MANGROVE SWAMPS	81
740H	DISTURBED LAND-HYDRIC	359
TOTAL		410

SECONDARY OTHER IMPACTS OUTSIDE OF CONSERVATION EASEMENT		
FLUCCS	DESCRIPTION	IMPACTS (SF)
740	DISTURBED LAND	22
TOTAL		22

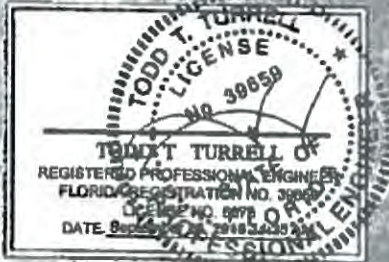


IMPACTS WITHIN CONSERVATION EASEMENT		
FLUCCS	DESCRIPTION	IMPACTS (SF)
812	MANGROVE SWAMPS	1882
TOTAL		1882

IMPACTS OUTSIDE OF CONSERVATION EASEMENT		
FLUCCS	DESCRIPTION	IMPACTS (SF)
812	MANGROVE SWAMPS	182
740H	DISTURBED LAND-HYDRIC	1108
TOTAL		1258

OTHER IMPACTS OUTSIDE OF CONSERVATION EASEMENT		
FLUCCS	DESCRIPTION	IMPACTS (SF)
740	DISTURBED LAND	35
TOTAL		35

WETLAND IMPACTS (SQ FT) 3,220
 SECONDARY WETLAND IMPACTS (SQ FT) 1,083



NOTES:
 - ALL DATUM KNOWN HEREON IS REFERENCED TO MLLW
 - SURVEY COURTESY OF "D&P & '80 SURVEY"
 - SURVEY DATED 08-29-14
 - TIDAL DATUM = MLLW (DAVID) = -4.81'
 - MHW BRAND = -4.87'

Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave. Suite B, Naples, FL 34104-3732
 Email: todd@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 643-6632

NAPLES BAKER PARK BRIDGE - EAST LANDING
IMPACTS MAP

REVISION	BY	DATE	DESCRIPTION
1	TH	11/14/14	ISSUED FOR PERMIT
2	TH	01-15-15	REVISED
3	TH	01-15-15	REVISED
4	TH	01-15-15	REVISED
5	TH	01-15-15	REVISED

SHEET NO. 18 OF 10
SECTION-03 TOWNSHIP-008 RANGE-258



November 29, 2016

Karyn Allman
Environmental Analyst 3
South Florida Water Management District
2301 McGregor Boulevard
Fort Myers, Florida 33901

**Re: Project Name: Naples Baker Park Bridge Eastern Landing and Boardwalk
SFWMD Permit Application No. 160229-21
Little Pine Island Mitigation Bank Letter of Reservation**

Dear Ms. Allman

This is to confirm that the City of Naples is purchasing 0.09 saltwater forested mitigation bank credits from the Little Pine Island Mitigation Bank for the above referenced project. These credits are reserved accordingly.

Please do not hesitate to call if you have any questions or need further information.

Sincerely,

A handwritten signature in black ink, appearing to read "Desmond Duke", is written over a faint circular stamp.

Desmond Duke

cc: Sheila O'Connor, Little Pine Island Mitigation Bank
Arielle Poulos, Turrell, Hall & Associates, Inc.

Mariner Properties Development, Inc. • 13041-2 McGregor Blvd • Fort Myers, FL 33919
PHONE 239/481-2011 • FAX 239/481-8283 • LP1@marinerproperties.com • www.littlepineisland.com

**South Florida Water Management District
Work Schedule Requirements**

Application No : 160229-21

Page 1 of 1

Mitigation Plan ID: NAPLES BAKER PARK
Activity

Due Date

SUBMIT RECORDED AMENDED CONSERVATION EASEMENT

13-FEB-17

SUBMIT MITIGATION BANK DOCUMENTATION

13-MAR-17

Return original or certified recorded document to SFWMD:

Lower West Coast Service Center
2301 McGregor Boulevard
Fort Myers, FL 33901

AMENDMENT OF CORRECTIVE DEED OF CONSERVATION EASEMENT

This Amendment of Corrective Deed of Conservation Easement (this "Amendment") is made this _____ day of _____, 20____ by the **SOUTH FLORIDA WATER MANAGEMENT DISTRICT**, a public corporation of the State of Florida ("District") having an address of 3301 Gun Club Road, West Palm Beach, Florida 33406 and a mailing address of Post Office Box 24680, West Palm Beach, Florida 33416-4680, the **CONSERVANCY OF SOUTHWEST FLORIDA, INC.**, a Florida not-for-profit corporation ("Conservancy") having a mailing address of 1495 Smith Preserve Way, Naples, Florida 34102 and the **CITY OF NAPLES AIRPORT AUTHORITY**, a political subdivision of the State of Florida ("Grantor") having a mailing address of 160 Aviation Drive North, Naples, Florida 34104.

WITNESSETH:

WHEREAS, the Grantor granted a conservation easement in favor of the District and the Conservancy evidenced by that certain Deed of Conservation Easement dated January 13, 2000 and recorded in Official Record Book 2677 at Page 3127 of the Public Records of Collier County, Florida, as corrected and modified by that certain Corrective Deed of Conservation Easement dated May 15, 2003 and recorded in Official Record Book 3297 at Page 2054 of the Public Records of Collier County, Florida (hereinafter collectively referred to as the "Conservation Easement") encumbering the real property described on Exhibit "A" attached to this Amendment and made a part hereof (hereinafter referred to as the "Original Premises"); and

WHEREAS, the Grantor, District and Conservancy have been requested and have agreed to modify the Conservation Easement to allow passive recreational public use and access within a specific portion of the Original Premises in accordance with the terms and conditions of this Amendment.

NOW, THEREFORE, for good and valuable consideration, the adequacy and receipt of which are hereby acknowledged, the Grantor, District and Conservancy hereby agree as follows:

1. Passive Recreational Facilities. The Conservation Easement is hereby amended to permit and accommodate passive recreational facilities and public use and access within that

certain portion of the Original Premises described on Exhibit "B" attached to this Amendment and made a part hereof (hereinafter referred to as the "Passive Recreational Facilities Premises"). Grantor reserves all rights as owner or lessee of the Original Premises, including the right to engage in uses of the Original Premises that are not prohibited herein and that are not inconsistent with any District rule, criteria, Permit Number 11-01743-P and the intent and purposes of the Conservation Easement. The Conservation Easement is hereby further amended to include all of the following terms and conditions:

a. The Grantor (and any authorized agent or designee of the Grantor) may conduct limited land clearing for the purpose of constructing and maintaining such passive recreational facilities as docks, boardwalks or mulched walking trails within the Passive Recreational Facilities Premises; and

b. The access to, construction within and maintenance and use of the Passive Recreational Facilities Premises shall be subject to the following conditions:

i. The Grantor (and any authorized agent or designee of the Grantor) shall minimize and avoid, to the fullest extent possible, impact to any wetland or upland buffer areas within the Passive Recreational Facilities Premises and shall avoid materially diverting the direction of the natural surface water flow in such area;

ii. Such passive recreational facilities and improvements within the Passive Recreational Facilities Premises shall be constructed and maintained utilizing reasonable Best Management Practices to mitigate any adverse impacts on water quality or native vegetation;

iii. Adequate containers for litter disposal shall be situated adjacent to such passive recreational facilities and improvements and reasonable periodic inspections shall be instituted by the entity responsible for maintenance to clean any litter from the area surrounding the passive recreational facilities and improvements; and

iv. The Conservation Easement, as amended by this Amendment, shall not constitute a permit authorization for any works including the construction and operation of the passive recreational facilities. Any such work shall be subject to all applicable federal, state, District or local permitting requirements.

2. Miscellaneous. All terms of the Conservation Easement not specifically referenced in or amended by this Amendment shall and do remain in full force and effect. The priority of the recording of the Conservation Easement is not affected by this Amendment. To the extent that there is any inconsistency or conflict with any of the provisions contained in this Amendment with the Conservation Easement, the provisions set forth in this Amendment shall govern the understanding between the Grantor, District and Conservancy.

IN WITNESS WHEREOF, the South Florida Water Management District has caused this Amendment to be executed in its name hereto, this _____ day of _____, 20_____.

**SOUTH FLORIDA WATER
MANAGEMENT DISTRICT**

Witness #1 Name: _____

Witness #2 Name: _____

By: _____
Title: _____

(Regulatory Service Center Administrator or Bureau Chief)

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20_____, by _____ of the South Florida Water Management District, a public corporation of the State of Florida, on behalf of the corporation, who is personally known to me or has produced _____ as identification.

Notary Public: _____
Print: _____
My Commission Expires: _____

LEGAL FORM APPROVED
BY OFFICE OF COUNSEL

IN WITNESS WHEREOF, the Conservancy of Southwest Florida, Inc. has caused this Amendment to be executed in its name hereto, this _____ day of _____, 20____.

**CONSERVANCY OF
SOUTHWEST FLORIDA, INC.**

Witness #1 Name: _____

By: _____

Witness #2 Name: _____

Title: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____ of the Conservancy of Southwest Florida, Inc., a Florida not-for-profit corporation, on behalf of the corporation, who is personally known to me or who has produced _____ as identification.

Notary Public: _____

Print: _____

My Commission Expires: _____

LEGAL FORM APPROVED
BY OFFICE OF COUNSEL

IN WITNESS WHEREOF, the City of Naples Airport Authority has caused this Amendment to be executed in its name hereto, this _____ day of _____, 20_____.

**CITY OF NAPLES
AIRPORT AUTHORITY**

Witness #1 Name: _____

By: _____
Title: _____

Witness #2 Name: _____

Approved as to form and legal sufficiency:

William L. Owens
Counsel to the Authority

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20_____, by _____ of the City of Naples Airport Authority, a political subdivision of the State of Florida, on behalf of the political subdivision, who is personally known to me or who has produced _____ as identification.

Notary Public: _____
Print: _____
My Commission Expires: _____

EXHIBIT A – ORIGINAL PREMISES

(Original legal description from the original Conservation Easement)

Description: Parcel "A" (Conservation Easement Containing 55.15 Acres)

A portion of sections 2 and 3, Township 50 South, Range 25 East, Collier County, Florida, being more particularly described as follows:

All that portion of Section 3, Township 50 South, Range 25 East, Collier County, Florida, lying south of the south line of the north 1/2 of Government Lot 1, east of the Gordon River, and north of Rock Creek, and all of Section 2, Township 50 South, Range 25 East, lying North of Rock Creek and west of the East line of Government Lot 2, Section 2, Less and Except the following described parcel.

Commence at the Northeast corner of Section 3, Township 50 South, Range 25 East, Collier County, Florida; thence South $00^{\circ}49'27''$ East, along the east line of said Section 3, for a distance of 655.36 feet, to its intersection with the north line of the south 1/2 of Government Lot 1, Section 3 and the POINT OF BEGINNING of the herein described parcel; thence South $89^{\circ}47'43''$ West, along said north line of south half, for a distance of 656.55 feet; thence $S.42^{\circ}14'59''$ West, a distance of 65.08 feet; thence South $13^{\circ}11'18''$ East, a distance of 78.90 feet; thence South $31^{\circ}15'11''$ West, a distance of 62.41 feet; thence South $61^{\circ}42'00''$ East, a distance of 96.87 feet; thence South $52^{\circ}39'36''$ East, a distance of 74.96 feet; thence South $62^{\circ}22'23''$ East, a distance of 102.29 feet; thence South $11^{\circ}30'08''$ West, a distance of 14.15 feet; thence South $15^{\circ}20'00''$ West, a distance of 208.74 feet; thence South $48^{\circ}54'56''$ East, a distance of 56.96 feet; thence South $15^{\circ}01'49''$ East, a distance of 4.58 feet; thence South $37^{\circ}45'45''$ West, a distance of 34.88 feet; thence South $14^{\circ}08'12''$ East, a distance of 71.92 feet; thence South $09^{\circ}28'15''$ East, a distance of 176.20 feet; thence South $05^{\circ}06'54''$ East, a distance of 35.22 feet; thence South $08^{\circ}02'54''$ East, a distance of 44.50 feet; thence South $18^{\circ}22'46''$ East, a distance of 39.42 feet; thence South $37^{\circ}56'50''$ East, a distance of 16.00 feet; thence South $24^{\circ}24'14''$ West, a distance of 35.56 feet; thence South $32^{\circ}37'50''$ East, a distance of 42.45 feet; thence South, a distance of 23.99 feet; thence South $46^{\circ}47'41''$ East, a distance of 15.66 feet; thence South $07^{\circ}36'01''$ West, a distance of 32.26 feet; thence South $08^{\circ}23'20''$ East, a distance of 46.52 feet; thence South $17^{\circ}18'10''$ East, a distance of 43.54 feet; thence South $19^{\circ}00'41''$ East, a distance of 52.92 feet; thence South $36^{\circ}15'12''$ East, a distance of 28.76 feet; thence South $12^{\circ}34'47''$ East, a distance of 21.33 feet; thence South $09^{\circ}19'17''$ East, a distance of 34.69 feet; thence South, a distance of 61.40 feet; thence South $63^{\circ}55'22''$ East, a distance of 39.59 feet; thence South $10^{\circ}08'21''$ East, a distance of 18.42 feet; thence South $01^{\circ}04'36''$ West, a distance of 65.08 feet; thence South $48^{\circ}29'39''$ East, a distance of 82.43 feet; thence South $77^{\circ}23'10''$ East, a distance of 19.91 feet; thence South $20^{\circ}35'28''$ East, a distance of 15.86 feet; thence South $76^{\circ}00'35''$ East, a distance of 14.17 feet to the to a point of intersection with the westerly Right of Way line of Realigned North Road; thence South $44^{\circ}34'02''$ West, along said westerly line, for a distance of 78.96 feet; thence continue south $44^{\circ}34'02''$ west, along said westerly line, for a distance of 67.52 feet to the beginning of a tangential circular curve, concave Easterly; thence run southerly, along said westerly line, along the arc of said curve to the left, having a radius of 220.00 feet, through a central angle of $90^{\circ}00'00''$, subtended by a chord of 311.13 feet at a bearing of South $00^{\circ}25'58''$ East, for an arc length of 345.58 feet to the end of said curve; thence South $45^{\circ}25'58''$ East, along said westerly Right of Way line, for a distance of 103.67 feet; thence South $08^{\circ}25'34''$ West, for a distance of 14.50 feet; thence South $00^{\circ}08'37''$ West, for a distance of 31.29 feet; thence South $59^{\circ}40'58''$ West, for a distance of 29.21 feet; thence South $40^{\circ}21'15''$ West, for a distance of 30.81 feet; thence South $63^{\circ}26'28''$ East, for a distance of 119.26 feet; thence South $11^{\circ}51'40''$ East, for a distance of 116.72 feet; thence South $70^{\circ}14'17''$ West, for a distance of 25.84 feet; thence South $30^{\circ}28'16''$ West, for a distance of 111.80 feet; thence South $29^{\circ}05'57''$ East, for a distance of 47.60 feet; thence South $60^{\circ}08'46''$ East,

for a distance of 33.25 feet; thence south 44°20'46" East, for a distance of 42.53 feet; thence south 68°31'51" East, for a distance of 31.39 feet; thence south 84°35'55" East, for a distance of 60.72 feet; thence north 86°55'46" East, for a distance of 61.86 feet; thence south 59°07'38" East, for a distance of 39.11 feet; thence north 60°28'12" East, for a distance of 33.74 feet; thence north 75°47'35" East, for a distance of 37.51 feet; thence south 47°54'27" East, for a distance of 73.93 feet; thence south 05°36'30" East, for a distance of 46.55 feet; thence south 05°11'52" West, for a distance of 29.15 feet; thence south 28°49'24" East, for a distance of 27.16 feet; thence south 08°01'16" East, for a distance of 48.34 feet; thence south 28°15'45" East, for a distance of 42.57 feet; thence south 49°34'04" East, for a distance of 48.39 feet; thence south 83°45'43" East, for a distance of 44.08 feet; thence south 88°46'23" East, for a distance of 55.18 feet; thence north 70°05'02" East, for a distance of 62.13 feet; thence north 72°15'07" East, for a distance of 77.18 feet; thence north 84°10'53" East, for a distance of 53.33 feet; thence north 84°46'53" East, for a distance of 39.12 feet; thence north 73°21'40" East, for a distance of 86.55 feet; thence north 75°12'30" East, for a distance of 39.61 feet; thence south 84°01'18" East, for a distance of 41.56 feet; thence north 85°45'54" East, for a distance of 48.72 feet; thence south 85°58'26" East, for a distance of 82.18 feet; thence north 81°08'34" East, for a distance of 76.60 feet; thence north 59°23'35" East, for a distance of 59.53 feet; thence north 48°19'29" East, for a distance of 123.66 feet; thence north 41°34'46" East, for a distance of 8.72 feet; thence north 54°39'30" East, for a distance of 55.45 feet; thence north 82°49'52" East, for a distance of 71.65 feet; thence north 87°57'20" East, for a distance of 48.19 feet; thence south 89°36'23" East, for a distance of 113.82 feet; thence south 80°54'22" East, for a distance of 9.76 feet, to an intersection with the east line of Government Lot 2, Section 2; thence north 01°33'05" West, along said east line, for a distance of 506.71 feet, to a point of intersection with the south line of the North half of said Section 2; thence south 89°37'04" West, along said South line of the North half Section 2, for a distance of 1,314.05 feet, to the West 1/4 corner of said Section 2; thence north 00°49'27" West, along said west line of section 2, for a distance of 2,017.60 feet, to the POINT OF BEGINNING; less and except parcel containing 43.49 acres, more or less, conservation easement contains net 55.15 acres more or less.

EXHIBIT B – PASSIVE RECREATIONAL FACILITIES PREMISES

(Attach the legal description of this area as Exhibit “B”)

481229.6



GORDON RIVER EAST EASEMENT "A"
(within Conservation Easement)

Located in Section 3, Township 50 South, Range 25 East, Collier County, Florida

All that part of Section 3, Township 50 South, Range 25 East, Collier County, Florida being more particularly described as follows:

COMMENCING at the southeast corner of the Northeast 1/4 of Section 3, Township 50 South, Range 25 East, Collier County, Florida;

thence along the east line of said Northeast 1/4 of Section 3 N.0°49'27"W for 1356.17 feet;

thence S.89°10'33"W. for 414.81 feet to the beginning of a non-tangential curve;

thence southwesterly 12.61 feet along the arc of a non-tangential circular curve concave to the northwest, having a radius of 75.00 feet, through a central angle of 09°37'54" and being subtended by a chord which bears S.72°59'18"W. for a distance of 12.59 feet;

thence S.77°48'15"W. for a distance of 24.64 feet to the beginning of a curve,

thence southwesterly 53.84 feet along the arc of a circular curve concave to the southeast, having a radius of 157.00 feet, through a central angle of 19°39'00" and being subtended by a chord which bears S.67°58'45"W. for a distance of 53.58 feet;

thence S.58°09'15"W. for a distance of 2.21 feet to the westerly line of those lands as described in Official Record Book 3297, Page 2054, Public Records of Collier County, Florida and the Point of Beginning of the Parcel herein described;

thence continue S.58°09'15"W. for a distance of 47.70 feet to the beginning of a curve;

thence southwesterly and westerly 51.98 feet along the arc of a circular curve concave to the northwest, having a radius of 59.00 feet, through a central angle of 50°28'51" and being subtended by a chord which bears S.83°23'40"W. for a distance of 50.32 feet;

thence N.71°21'54"W. for a distance of 0.89 feet to the beginning of a curve;

thence westerly 33.66 feet along the arc of a circular curve concave to the south, having a radius of 91.00 feet, through a central angle of 21°11'41" and being subtended by a chord which bears N.81°57'45"W. for a distance of 33.47 feet;

thence S.87°26'25"W. for a distance of 47.10 feet to the Mean High Water line of the Gordon River as located on September 16, 2014 along the 0.47 foot (NAVD 88) contour line;

thence along said Mean High Water line N.21°46'56"E. for a distance of 7.84;

thence continue along said Mean High Water line N.23°07'10"E. for a distance of 12.05 feet;

thence N.87°26'25"E. for a distance of 38.64 feet to the beginning of a curve;

thence easterly 33.66 feet along the arc of a circular curve concave to the south, having a radius of 109.00 feet, through a central angle of 21°11'41" and being subtended by a chord which bears S.81°57'45"E. for a distance of 40.09 feet;

thence S.71°21'54"E. for a distance of 0.89 feet to the beginning of a curve;

thence easterly and northeasterly 36.12 feet along the arc of a circular curve concave to the northwest, having a radius of 41.00 feet, through a central angle of 50°28'51" and being subtended by a chord which bears N.83°23'40"E. for a distance of 34.97 feet;

FFG Gaines Surveying Services, Inc.
© 2009-2018 0126

2235 Ramsey Way, Suite 10 - Fort Myers, Florida 33907
P. 239-418-0127 - www.FFGaines.com



thence N.58°09'15"E. for a distance of 49.91 feet to the beginning of a curve;
 thence northeasterly 5.17 feet along the arc of a circular curve concave to the southeast, having a
 radius of 175.00 feet, through a central angle of 01°41'34" and being subtended by a chord which
 bears N.59°00'02"E. for a distance of 5.17 feet to the aforesaid westerly line of those lands as
 described in Official Record Book 3297, Page 2054, Public Records of Collier County, Florida;
 thence along said westerly line S.09°28'15"E. for a distance of 19.38 feet to the Point of
 Beginning of the Parcel herein described;

Parcel contains 3173 square feet, more or less;
 Bearings are based on the east line of the northeast 1/4 of Section 3, Township 50 South, Range 25 East,
 Collier County, Florida being N.0°49'27"W.
 Subject to easements, restrictions and reservations of record;

Prepared by:

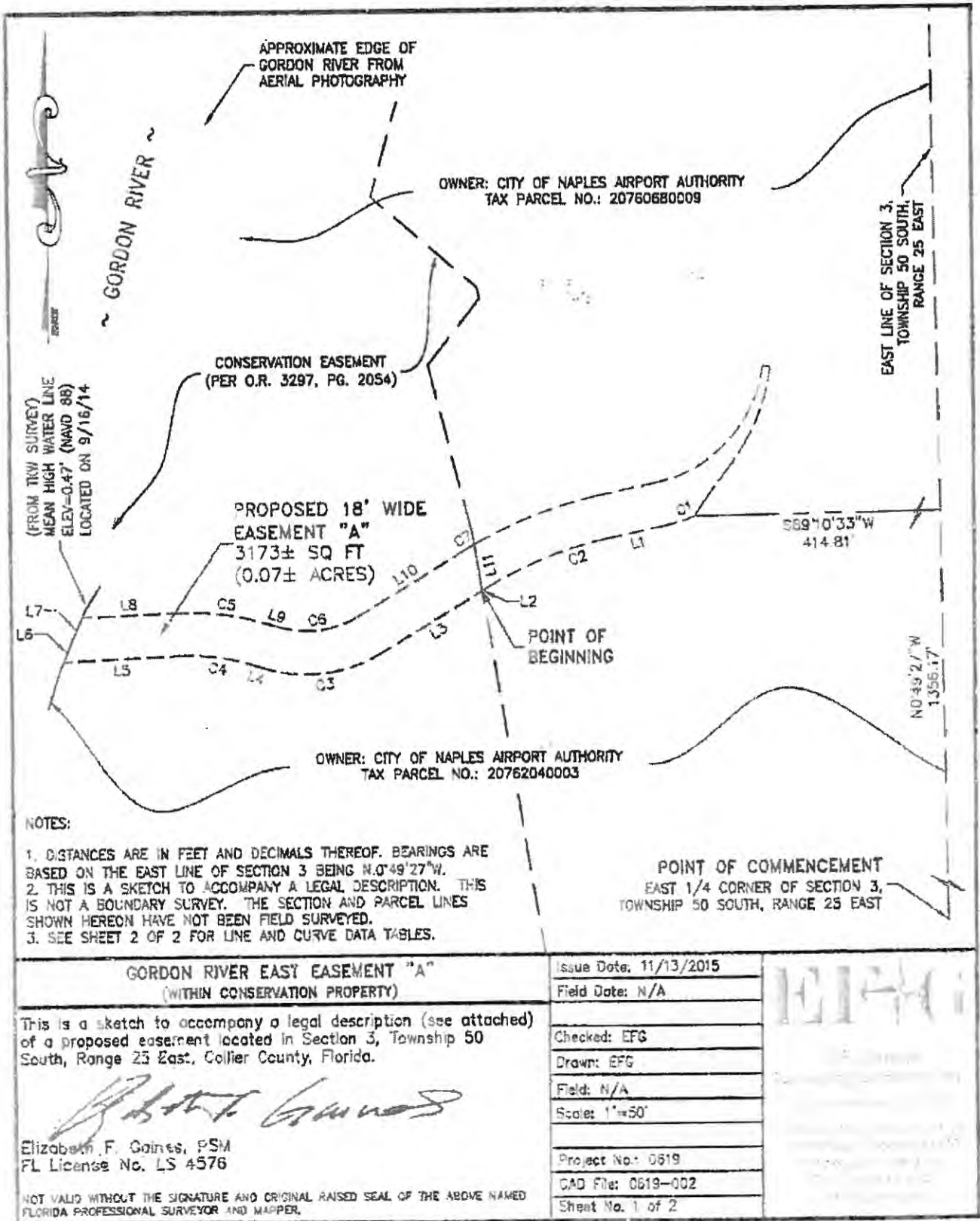
E.F. Gaines Surveying Services, Inc.

Elizabeth F. Gaines, PSM
 Florida License No. 4576

11/13/15
 Date

Not valid without the signature and original raised seal of the above named Florida Professional
 Surveyor and Mapper

Sketch: EFG Drawing No. 0619-002



Parcel Line Table		
Line #	Length	Direction
L1	24.84'	S77°48'15"W
L2	2.21'	S58°09'15"W
L3	47.70'	S58°09'15"W
L4	0.89'	N71°21'54"W
L5	47.10'	S87°28'25"W
L6	7.84'	N21°46'56"E
L7	12.05'	N23°07'10"E
L8	38.64'	N87°26'25"E
L9	0.89'	S71°21'54"E
L10	49.91'	N58°09'15"E
L11	19.38'	S9°28'15"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	12.61'	75.00'	9°37'54"	S72°59'18"W	12.59'
C2	53.84'	157.00'	19°39'00"	S67°58'45"W	53.58'
C3	51.98'	59.00'	50°28'51"	N83°23'40"E	50.32'
C4	33.86'	91.00'	21°11'41"	N81°57'45"W	33.47'
C5	40.32'	109.00'	21°11'41"	S81°57'45"E	40.09'
C6	38.12'	41.00'	50°28'51"	N83°23'40"E	34.97'
C7	5.17'	175.00'	1°41'34"	N59°00'02"E	5.17'

GORDON RIVER EAST EASEMENT "A"
(WITHIN CONSERVATION EASEMENT)

Issue Date: 11/13/2015

Field Date: N/A

Checked: EFG

Drawn: EFG

Field: N/A

Scale: 1"=50'

Project No.: 0619

CAD File: 0619-002

Sheet No. 2 of 2



J.F. Gaines
Surveying Services, Inc.

Fl. License No. LB7166
235 Ramsey Way, Suite 110
Fort Myers, Florida 33902
Phone: 39-418-0128
Fax: 39-418-0127
Web: FFGaines.com

LINE AND CURVE DATA TABLES
(SEE SHEET 1 OF 2 FOR CORRESPONDING LINE WORK)

STAFF REPORT DISTRIBUTION LIST

NAPLES BAKER PARK BRIDGE EASTERN LANDING AND BOARDWALK

Application No: 160229-21

Permit No: 11-01743-P

INTERNAL DISTRIBUTION

- X Carmen Quan, P.E.
- X Karyn Allman
- X Laura Layman
- X Brian Rose, P.E.
- X A. Waterhouse, P.E.

EXTERNAL DISTRIBUTION

- X Permittee - City Of Naples
- X Env Consultant - Turrell Hall & Associates, Inc.
- X Other Interested Party - Naples Airport Authority
- X Other Interested Party - The Conservancy Of S W Florida
- X Other Interested Party - The Conservancy Of S W Florida

GOVERNMENT AGENCIES

- X Div of Recreation and Park - District 4 - Chris Becker, FDEP

OTHER INTERESTED PARTIES

- X Audubon of Florida - Charles Lee

STAFF REPORT DISTRIBUTION LIST

ADDRESSES

City Of Naples
295 Riverside Circle
Naples FL 34102
gstrakaluse@naplesgov.com

The Conservancy Of S W Florida
1495 Smith Preserve Way Merrihue Dr.
Naples FL 34102
nicolej@conservancy.org

Naples Airport Authority
160 Aviation Dr.
Naples FL 34104
tsollday@flynaples.com

Div of Recreation and Park - District 4 - Chris Becker,
FDEP
1843 South Tamiami Trail
Osprey FL 34229
chris.becker@dep.state.fl.us

Audubon of Florida - Charles Lee
1101 Audubon Way
Maitland FL 32751
chlee2@earthlink.net

Turrell Hall & Associates, Inc.
3584 Exchange Avenue
Naples FL 34104
thall@turrell-associates.com

The Conservancy Of S W Florida
1248 Frank Whiteman Blvd.
Naples FL 34103
mwoloklaw@gmail.com

Agenda Item 13-a
Meeting of 6/01/16

RESOLUTION 16-13806

A RESOLUTION APPROVING A MEMORANDUM OF UNDERSTANDING BETWEEN CITY OF NAPLES, CONSERVANCY OF SOUTHWEST FLORIDA, INC. AND CITY OF NAPLES AIRPORT AUTHORITY FOR THE GORDON RIVER GREENWAY EAST BOARDWALK SECTION FOR THE MODIFICATION OF A CONSERVATION EASEMENT AND USE OF LAND OWNED BY THE CITY OF NAPLES AIRPORT AUTHORITY TO ALLOW FOR A PUBLIC BOARDWALK AS PART OF THE GORDON RIVER GREENWAY; AUTHORIZING THE CITY MANAGER TO EXECUTE THE MEMORANDUM OF UNDERSTANDING; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City desires to construct a bridge and boardwalk (collectively the "Boardwalk") to connect the existing Gordon River Greenway to the Future Jay and Patty Baker Park with continuance through to the Gulf of Mexico; and

WHEREAS, the Airport Authority owns lands upon which the City desires to build a Boardwalk upon for public use; and

WHEREAS, the Airport Authority previously granted a conservation easement (the "Conservation Easement") in favor of the South Florida Water Management District, a public corporation of the State of Florida ("SFWMD"), Conservancy of Southwest Florida, Inc., a Florida not-for-profit corporation ("Conservancy"), and City over approximately 61.12-acres of property owned or leased by the Airport Authority, through which the Boardwalk is proposed to be located; and

WHEREAS, the Conservation Easement is evidenced by that certain Corrective Deed of Conservation Easement, dated May 15, 2003, recorded in Official Records Book 3297, Page 2054, Public Records of Collier County, Florida; and

WHEREAS, the Memorandum of Understanding, attached hereto and incorporated herein as Attachment A, includes the legal sketch and description for an area (hereinafter referred to as "East Boardwalk Section") totaling approximately 0.07 acres encumbered by the Conservation Easement; and

WHEREAS, the City, the Conservancy and the Airport Authority have entered into a Memorandum of Understanding, dated the Effective Date, pursuant to which the East Boardwalk Section can be conditionally impacted for the construction and maintenance of the Boardwalk for purposes of passive recreational public use and access; and

WHEREAS, the Parties have determined that it is beneficial to enter into this MOU setting forth responsibilities and commitments to establish, build, and maintain the Boardwalk within the East Boardwalk Section while protecting the environment through which it passes;

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NAPLES, FLORIDA:

Resolution 16-13806

Section 1. That the Memorandum of Understanding between City of Naples, Conservancy of Southwest Florida, Inc. and City of Naples Airport Authority for the Gordon River Greenway East Boardwalk section for the use of lands to allow for a public boardwalk as part of the Gordon River Greenway is hereby approved, a copy of which is attached hereto and made a part hereof.

Section 2. That the City Manager is hereby authorized to execute the Memorandum of Understanding.

Section 3. That this resolution shall take effect immediately upon adoption.

PASSED IN OPEN AND REGULAR SESSION OF THE CITY COUNCIL OF THE CITY OF NAPLES, FLORIDA, THIS 1ST DAY OF JUNE, 2016.

Attest:


Patricia L. Rambosk
Patricia L. Rambosk, City Clerk

Bill Barnett
Bill Barnett, Mayor

Approved as to form and legality:

Robert D. Pritt
Robert D. Pritt, City Attorney

M:\REF\COUNCIL\RES\2016\16-13806

Date filed with City Clerk: 6-2-16

**MEMORANDUM OF UNDERSTANDING
BETWEEN CITY OF NAPLES, CONSERVANCY OF SOUTHWEST FLORIDA, INC.
AND CITY OF NAPLES AIRPORT AUTHORITY
FOR THE
GORDON RIVER GREENWAY EAST BOARDWALK SECTION**

This Memorandum of Understanding (this "MOU") is entered into this 1ST day of JUNE, 2016 ("Effective Date"), by and between the City of Naples, a political subdivision of the State of Florida whose post office address is 735 8th Street South, Naples, Florida 34102, hereinafter referred to as "City," Conservancy of Southwest Florida, Inc., a Florida not-for-profit corporation whose post office address is 1495 Smith Preserve Way, Naples, Florida 34102, hereinafter referred to as "Conservancy", and the City of Naples Airport Authority, a political subdivision of the State of Florida whose post office address is 160 Aviation Drive, Naples FL 34104, hereinafter referred to as "Airport Authority" (the City, Conservancy and Airport Authority collectively stated as the "Parties").

RECITALS:

WHEREAS, the City desires to construct a bridge and boardwalk (collectively the "Boardwalk") to connect the existing Gordon River Greenway to the future Jay and Patty Baker Park with continuance through to the Gulf of Mexico; and

WHEREAS, the Airport Authority previously granted a conservation easement (the "Conservation Easement") in favor of the South Florida Water Management District, a public corporation of the State of Florida ("SFWMD"), Conservancy and City over approximately 61.12-acres of property owned or leased by the Airport Authority, through which the Boardwalk is proposed to be located; and

WHEREAS, the Conservation Easement is evidenced by that certain Corrective Deed of Conservation Easement, dated May 15, 2003, recorded in Official Records Book 3297, Page 2054, Public Records of Collier County, Florida, and is attached hereto and incorporated herein as Exhibit "A";

-

WHEREAS, the Parties have worked over a period of several months to determine the most limited and least-intrusive area over which the connecting Boardwalk to the Gordon River Greenway can be built; and

WHEREAS, Exhibit "B" attached hereto and incorporated herein includes the legal sketch and description for the area (hereinafter referred to as "East Boardwalk Section") totaling 0.07 acres within the Conservation Easement which the Parties agree can be impacted as agreed hereto for the construction and maintenance of the Boardwalk for purposes of passive recreational public use and access; and

WHEREAS, Exhibit "C" attached hereto and incorporated herein depicts features and boundaries within the East Boardwalk Section which the Parties recognize; and

WHEREAS, the Conservancy and Airport Authority desire to ensure protection of the environment and ecology within and adjacent to the East Boardwalk Section; and

WHEREAS, the Parties have determined that it is beneficial to enter into this MOU setting forth responsibilities and commitments to establish, build, and maintain the Boardwalk within the East Boardwalk Section while protecting the environment through which it passes.

NOW THEREFORE, in consideration of this MOU and other good and valuable consideration, the Parties agree as follows:

Section 1. The CONSERVANCY hereby:

- 1. Agrees to an amendment of the existing Conservation Easement to accommodate passive recreational public use and access within the East Boardwalk Section (depicted in Exhibit "B") in a written form reasonably acceptable to the Parties and SFWMD;**
- 2. Shall notify the City and Airport Authority in writing of conditions occurring since and including the Effective Date of this MOU that have impaired or damaged or are impairing or damaging the environment or ecology within or adjacent to the**

East Boardwalk Section to the extent the Conservancy observes any such conditions; and

3. May enjoin any activity or use of the East Boardwalk Section inconsistent with this MOU or the Conservation Easement, as amended, and enforce the restoration of such areas or features of the East Boardwalk Section that has been damaged by any activity which is inconsistent with this MOU or the Conservation Easement, as amended. The Parties acknowledge and agree that monetary damages cannot be ascertained with any degree of certainty.

Section 2. The CITY hereby:

1. Agrees to an amendment of the existing Conservation Easement to accommodate passive recreational public use and access within the East Boardwalk Section (depicted in Exhibit "B") in a written form reasonably acceptable to the Parties and SFWMD;
2. Agrees to construct a maximum 12-foot-wide Boardwalk within the East Boardwalk Section with a maximum 3-foot buffer area on either side of the Boardwalk. The Boardwalk will be constructed by way of "top-down" construction methods and built commencing from the west (i.e., Gordon River) to the east, thereby minimizing impacts to ground surface conditions during construction; provided, however, the City agrees that the plans and specifications for construction of the Boardwalk shall be reviewed and approved in writing by the Airport Authority within 15-calendar days of receipt;
3. Agrees to maintain the Boardwalk (including, without limitation, security and custodial service) within the East Boardwalk Section in perpetuity. Nothing in this MOU prohibits the City from working with private third-party groups or volunteers to maintain the Boardwalk so long as such third parties and volunteers act in strict compliance with this MOU and the Conservation Easement, as amended.
4. Agrees to promptly correct damage to or impairment of the ecology, habitat, native vegetation, and native vegetation community within and adjacent to the East Boardwalk Section caused by the public's use of the Boardwalk or by construction, repair, or maintenance activities which are inconsistent with this

MOU or the Conservation Easement, as amended, with or without notice from the Conservancy or the Airport Authority.

5. Agrees to strictly adhere to all of the following:
 - a. All restrictions contained in the Conservation Easement, as amended;
 - b. Except to the extent necessary for construction and maintenance of the Boardwalk, native vegetation shall not be disturbed or impacted within the East Boardwalk Section; but in no event shall mangrove trees be impacted or removed except those mangrove trees identified in Exhibit "C" which are located within the proposed Boardwalk footprint or have grown into the Boardwalk footprint and except for trimming of mangroves if unavoidable within the 3-foot buffer areas on either side of the Boardwalk as depicted in Exhibit "C", in accordance with State of Florida mangrove trimming statutes and regulations. All other existing mangrove trees shall be accommodated and not impacted by the City's construction and maintenance activities and equipment permitted hereunder;
 - c. Maintenance and repair activities and equipment shall be permitted, but native vegetation shall not be impacted except as specified in Section 2-4(b) hereinabove, and maintenance and repair activities and equipment inside the 3-foot buffer areas on either side of the Boardwalk shall be limited to disturbance and only if unavoidable;
 - d. Safety, directional, instructional, and educational signs shall be permitted to be erected, maintained, and replaced on the Boardwalk structure; provided, however, the City agrees that the plans and specifications for all such signs shall be reviewed and approved in writing by the Airport Authority within 15-calendar days of receipt;
 - e. Public lighting on the Boardwalk structure shall be consistent with lighting elsewhere along the Gordon River Greenway; provided, however, the City agrees that the plans and specifications for all such lighting shall be reviewed and approved in writing by the Conservancy and Airport Authority;
 - f. In connection with the activities permitted herein within the East Boardwalk Section, the City shall ensure that this MOU and the Conservation Easement,

and any amendments thereto, are attached to and incorporated into each contract it enters into with any third party for the construction or maintenance of the Boardwalk affecting the East Boardwalk Section, including a provision in each such contract that this MOU and the Conservation Easement, as amended, shall be attached to and incorporated into each contract between the third party and any subcontractors, materialmen and suppliers that will physically enter the East Boardwalk Area. The City will further ensure that all such contracts are consistent with the permits issued by governmental entities regarding construction within the East Boardwalk Section, and the City will further ensure that construction activities occur in a top-down manner commencing from the west (i.e., Gordon River) to the east;

- g. The City will investigate issue(s) of concern and provide a response summarizing the City's inspection and detailing the action(s) necessary that the City would take to correct confirmed deficiencies, all within 14 days of written notice from the Conservancy or Airport Authority, or within 14 days from the date the City discovers or is otherwise informed of any such issues, and the City will commence to cure said issue(s) within 7 days thereafter; and
- h. The City shall record this MOU at its sole cost in the Public Records of Collier County.

Section 3. The AIRPORT AUTHORITY hereby:

- 1. Agrees to an amendment of the existing Conservation Easement to accommodate passive recreational public use and access within the East Boardwalk Section (depicted in Exhibit "B") in a written form reasonably acceptable to the Parties and SFWMD;
- 2. Shall notify the City in writing of conditions occurring since and including the Effective Date of this MOU that have impaired or damaged or are impairing or damaging the environment or ecology within or adjacent to the East Boardwalk Section to the extent the AIRPORT AUTHORITY actually observes any such conditions; and

May enjoin any activity or use of the East Boardwalk Section inconsistent with this MOU or the Conservation Easement, as amended, and enforce the restoration of such areas or features of the East Boardwalk Section that has been damaged by any activity which is inconsistent with this MOU or the Conservation Easement, as amended. The Parties acknowledge and agree that monetary damages cannot be ascertained with any degree of certainty.

Section 4. General Provisions:


1. The Conservancy and Airport Authority shall not be responsible for any costs or liabilities related to the operation, upkeep or maintenance of the Boardwalk or East Boardwalk Section. The City hereby holds the Conservancy and Airport Authority harmless from and indemnifies them against any and all costs, claims, liabilities, administrative complaints and lawsuits arising from or in any way relating to the construction, maintenance, repair, access and use of the Boardwalk and East Boardwalk Section by any person, including the public and employees and agents of the City, except employees and agents of the Conservancy or Airport Authority acting in their official capacity. Indemnification hereunder shall include costs and attorney's fees associated with any such cost, claim, liability, complaint or lawsuit.
2. This MOU is subject to regulation by the FAA, Florida Department of Transportation, SFWMD and any and all other applicable governmental or quasi-governmental entities having authority over the Parties or East Boardwalk Section.
3. This MOU shall be recorded in the Public Records of Collier County, Florida, and the Airport Authority, as the owner of the East Boardwalk Section, acknowledges the same.
4. This MOU shall be modified or amended only by the written agreement of all of the Parties hereto.
5. This MOU is intended by the Parties to modify the Conservation Easement solely to restrict activities related to construction and maintenance of the Boardwalk and passive recreational public use and access within the East Boardwalk Section.

- This MOU is intended to modify paragraph 2.C. of the Conservation Easement within the East Boardwalk Section only and only in the manner described herein.**
- 6. Any further amendment of the Conservation Easement hereafter entered into shall incorporate or attach this MOU and any failure to do so explicitly shall not diminish the enforceability of this MOU as between the Parties.**
 - 7. This MOU merges any prior written and oral understanding and agreements, if any, between the Parties with respect to the matters set forth herein.**
 - 8. This MOU shall be governed by and construed in accordance with the laws of the State of Florida.**

**THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK.
SIGNATURE PAGE TO FOLLOW.**

IN WITNESS WHEREOF, the Parties have executed this MOU as of the Effective Date.

Attest:

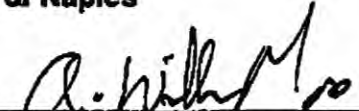

Patricia St. Bam, City Clerk

Approved as to form and legal sufficiency:


Robert D. Pritt, City Attorney



City of Naples

By: 
A. William Moss, City Manager

Attest:


Print Name and Title: Victoria Fallock
CFO

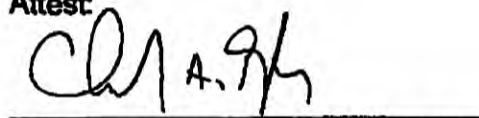
Approved as to form and legal sufficiency:


Mimi Wolok, Esq.

Conservancy of Southwest Florida, Inc.

By: 
Rob Moher, President and CEO

Attest:


Christopher A. Rozansky, Executive Director

Approved as to form and legal sufficiency:


William L. Owens, Airport Authority Counsel

City of Naples Airport Authority

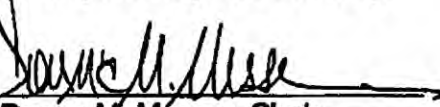
By: 
Donna M. Messer, Chair

EXHIBIT "A"

CONSERVATION EASEMENT

See the Deed of Conservation Easement dated January 13, 2000, by the City of Naples airport Authority to the South Florida Water Management District, the City of Naples Conservation Trust Fund, and the Conservancy of Southwest Florida attached.

RECEIVED
MAR 11 2000
BY:.....

DEED OF CONSERVATION EASEMENT

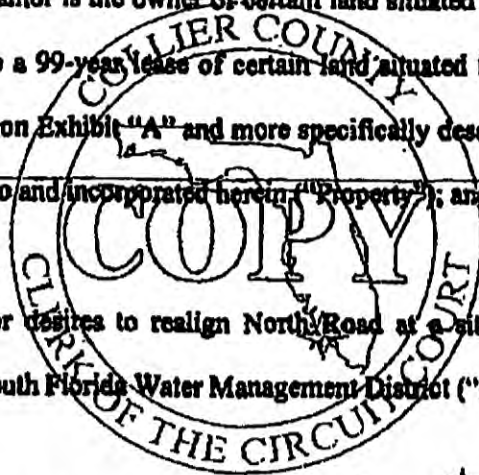
THIS DEED OF CONSERVATION EASEMENT is given this 13 day of JANUARY, 2000, by the City of Naples Airport Authority, 160 Aviation Drive North, Naples, Florida 34104 ("Grantor") to the South Florida Water Management District, the City of Naples Conservation Trust Fund, and the Conservancy of Southwest Florida ("Grantee").

WHEREAS, the Grantor is the owner of certain land situated in Collier County, Florida, and the Lessee, pursuant to a 99-year lease of certain land situated in Collier County, Florida, both of which are depicted on Exhibit "A" and more specifically described in Exhibit "B", both of which are attached hereto and incorporated herein ("Property"); and

WHEREAS, Grantor desires to realign North Road at a site which is subject to the regulatory jurisdiction of South Florida Water Management District ("District"); and

WHEREAS, the District operates under a Permit Number ~~990407-0~~ ^{11-01743-P} which requires that the Grantor preserve, enhance, restore and mitigate wetlands and/or uplands; and

WHEREAS, the Grantor in consideration of the consent granted by the Permit is agreeable to granting a perpetual Conservation Easement as defined in Florida Statute 704.06.



FILED: DOB HARRIS
CITY OF NAPLES AIRPORT AUTHORITY
160 AVIATION DRIVE
NAPLES FL 34104
2638283 OR: 2677 PG: 3127
RECORDED IN THE OFFICIAL RECORDS OF COLLIER COUNTY, FL
05/19/2000 AT 03:07PM BRIGITT I. SHOCK, CLERK

REC FVN 37.50
DOC-.70
COPIES 4.00
MISC 1.00

NOW, THEREFORE, in consideration of the issuance of a Permit to construct and operate the permitted activities, and as inducement to District to issue the Permit, the adequacy and receipt of such consideration being hereby acknowledged, Grantor grants, creates, and establishes a Conservation Easement for and in favor of the Grantee upon the property which shall run with the land and be binding upon the Grantor and shall remain in full force and effect to the extent authorized by law.

The scope, nature and character of the Easement shall be as follows:

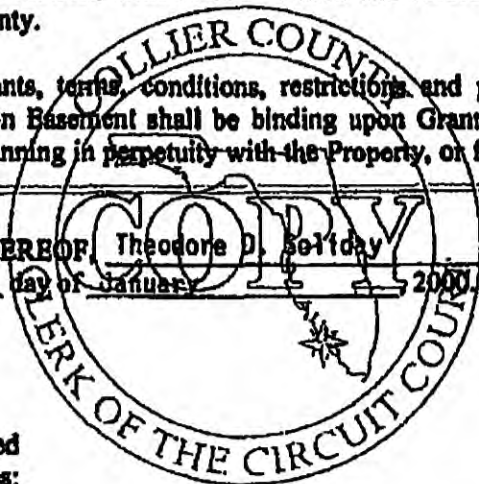
1. It is the intent of this Easement to retain land or water areas in their natural state to the extent which is consistent with interests of the safety of the aviation community.
2. To carry out this purpose, the following rights are conveyed to Grantee:
 - a. To enter upon the property at reasonable times with any necessary equipment or vehicles to enforce the rights herein granted in a manner that will not unreasonably interfere with the use and quiet enjoyment of the property by Grantor; and
 - b. To enjoy any activity or use of the property inconsistent with this easement and to enforce the restoration of such areas or features of the property that may be damaged by any illegal activity or use.
 - c. Except as otherwise provided in the Permit or in this Conservation Easement, and except for activities approved by the District that are conducted in order to aid navigation or enhance public safety, and except for activities related to the construction of North Road as permitted by the District, the following activities are prohibited on the property:
 1. Construction or placing of buildings, signs, billboards or other advertising, or other structures on or above the ground.
 2. Dumping or placing of soil or other substance or material as landfill, or dumping of trash, waste or offensive material, the removal or destruction of trees, shrubs, or other vegetation, except for removal of exotic or nuisance vegetation or trimming.

pruning or removal of vegetation that is required in order to comply with a requirement of the Federal Aviation Administration, provided such trimming, pruning or cropping is conducted in accordance with a vegetation maintenance plan approved by the District.

3. Acts or uses detrimental to preservation of any features of the property having historical or archaeological significance.
4. It is expressly agreed and understood that Grantor is a body politic and corporate, which operates a municipal airport, and is subject to regulation by the Federal Aviation Administration and Florida Department of Transportation. Notwithstanding the provisions of this Conservation Easement, the District shall not unreasonably withhold authorization for activities required by the FAA for enhancement of public safety.
3. Grantor reserves all rights as owner of the Property, including the right to engage in uses of the Property that are not prohibited herein and which are not inconsistent with any District rule, criteria, permit and the intent and purposes of this Conservation Easement. Grantor specifically reserves the right to install an approach and guidance system, remove obstructions, install NAVAIDS and conduct other activities necessary for protection of public safety, as authorized by the District.
4. No right of access by the general public to any portion of the Property is conveyed by this Conservation Easement.
5. Grantee shall not be responsible for any costs or liabilities related to the operation, upkeep or maintenance of the Property.
6. Any costs incurred in enforcing, judicially or otherwise, the terms, provisions and restrictions of this Conservation Easement shall be borne by and recoverable against the nonprevailing party in such proceedings.
7. Enforcement of the terms, provisions and restrictions of this Conservation Easement shall be at the reasonable discretion of Grantee, and any forbearance on behalf of Grantee to exercise its rights hereunder in the event of any breach hereof by Grantor, shall not be deemed or construed to be a waiver of Grantee's rights hereunder.
8. Grantee will hold this Conservation Easement exclusively for conservation purposes. Grantee will not assign its rights and obligations under this Conservation Easement.

- 9. If any provision of this Conservation Easement or the application thereof to any person or circumstances is found to be invalid, the remainder of the provisions of this Conservation Easement shall not be affected thereby, as long as the purpose of the conservation easement is preserved.
- 10. Grantor shall insert the terms and restrictions of this Conservation Easement in any subsequent deed or other legal instrument by which Grantor divests itself of any interest in the Property.
- 11. All notices, consents, approvals or other communications hereunder shall be in writing and shall be deemed properly given if sent by United States certified mail, return receipt requested, addressed to the appropriate party or successor-in-interest.
- 12. This Conservation Easement may be amended, altered, released or revoked only by written agreement between the parties hereto or their heirs, assigns or successor-in-interest, which shall be filed and recorded in the public records in Collier County.
- 13. The covenants, terms, conditions, restrictions and purpose imposed with this Conservation Easement shall be binding upon Grantor, and shall continue as a servitude running in perpetuity with the Property, or for the duration of Grantor's tenancy.

IN WITNESS WHEREOF, Theodore D. Solodich, has hereunto set its authorized hand this 13 day of January 2000.



Signed, sealed and delivered in the presence as witnesses:

KARENTULLO
 Print Name
Karentullo
 A Florida corporation

By: Theodore D. Solodich
 Print Name: Theodore D. Solodich
 Title: Executive Director

Approved as to form and legal sufficiency:

Frank Cavablu
 NAA Counsel

STATE OF FLORIDA
COUNTY OF Collier

On this 13 day of January, 2000 before me, the undersigned notary public, personally appeared Theodore D. Soliday, personally know to me to be the person who subscribed to the foregoing instrument and did not take an oath, as the (position) Executive Director of (corporation) Naples Airport Authority,

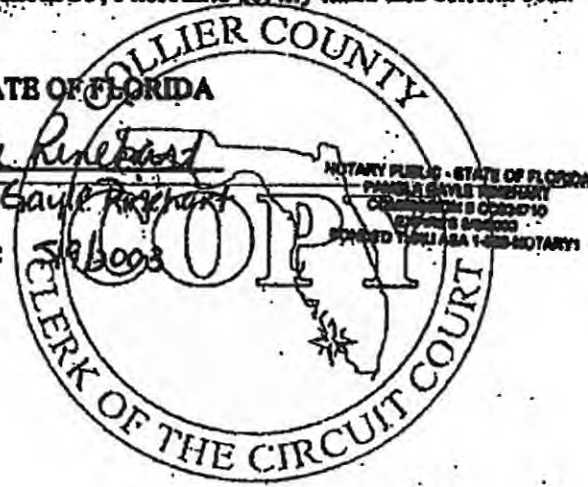
Florida corporation, and acknowledged that he executed the same on behalf of said corporation and that he was duly authorized to do so.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

NOTARY PUBLIC, STATE OF FLORIDA

Pamela Gayle Reinhard
Print Name: Pamela Gayle Reinhard

My Commission Expires: 5/1/00



-NAP-1042_1-

LEGAL FORM APPROVED
SFWMDC OFFICE OF COUNSEL
BY M. [Signature] DATE 2/2/00

DESCRIPTION

A tract or parcel of land lying in the south half (S-1/2) of Section 35, Township 60 South, Range 28 East and Section 2, Township 60 South, Range 28 East and Section 3, Township 60 South, Range 28 East LESS the right-of-way of Airport-Pulling Road, more particularly described as follows:

From the southwest corner of said Section 35 run N 00° 05' 10" W for 660.21 feet along the west line of said Section 35 to the point of beginning.

From said point of beginning continue along said west line N 00° 05' 10" W for 1968.61 feet to the west quarter corner of said Section 35; thence run N 49° 34' 17" E along the east-west quarter section line of said Section 35 for 1289.03 feet to a point of intersection with the westerly right-of-way line of Airport-Pulling Road (State Road No. 31); thence run S 00° 37' 00" W along said westerly right-of-way line for 1796.27 feet to a point of curvature; thence run southeasterly along said westerly right-of-way line, along the arc of a curve to the left of radius 2914.93 feet (chord bearing S 02° 34' 30" E) (chord 324.65 feet) (delta 06° 23' 19") for 325.02 feet to a point of tangency; thence run S 05° 46' 10" E along said westerly right-of-way line for 3.13 feet to a point of curvature; thence run southeasterly along said westerly right-of-way line, along the arc of a curve to the right of radius 1860.08 feet (chord bearing S 02° 34' 30" E) (chord 207.23 feet) (delta 06° 23' 12") for 207.23 feet to a point of tangency; thence run S 00° 37' 00" W along said westerly right-of-way line for 312.00 feet to an intersection with the northerly line of said Section 2; thence continue along said westerly right-of-way line S 00° 30' 15" W for 99.18 feet to a non-tangent curve; thence run southeasterly along said westerly right-of-way line, along the arc of a curve to the left of radius 1272.83 feet (chord bearing S 02° 49' 41" E) (chord 214.74 feet) (delta 02° 07' 54") for 214.76 feet to a point of reverse curvature; thence continue along said westerly right-of-way line southeasterly along the arc of a curve to the right of radius 1200.23 feet (chord bearing S 03° 12' 47" E) (chord 118.06 feet) (delta 01° 21' 40") for 118.06 feet to a non-tangent line; thence run S 00° 46' 31" E along said westerly right-of-way line for 734.30 feet; thence run S 00° 30' 15" W along said westerly right-of-way line for 1442.79 feet; thence run S 00° 30' 15" W for 21.27 feet to an intersection with a northerly right-of-way line of North Road (60 feet wide); thence run S 89° 37' 04" W along said northerly right-of-way line for 8224.61 feet to a point of intersection with the easterly right-of-way line of a 60 foot wide county road; thence run N 00° 49' 27" W parallel with the west line of said Section 2, along said easterly right-of-way line for 2642.97 feet to a point on the north line of said Section 2; thence run N 00° 06' 10" W parallel with the west line of said Section 35, along said easterly right-of-way line for 659.69 feet; thence run S 90° 54' 50" W for 88.88 feet to the Point of Beginning.

Containing 137.04 acres, more or less.

Bearings hereinabove mentioned are based on the Florida High Precision Geodetic Network NAD 83/1986 Adjustments, Florida East Zone.

AND

All of Government Lot 6, Section 3, Township 60 South, Range 28 East, together with Parcels "C" and "D" as described in Official Record Book 29 at Page 22, Public Records of Collier County.

AND

All of Government Lot 7, Section 3, Township 60 South, Range 28 East, together with Parcel "E" as described in Official Record Book 29 at Page 22 of said public records.

AND

All of Government Lot 2, Section 2, Township 60 South, Range 28 East.

RECORDERS MEMO: Legibility of writing, Typing or Printing unsatisfactory in this document when received.

Lands lying in Section 3, Township 50 South, Range 25 East, Collier County, Florida, described as follows:

1. The South 1/2 of Government Lot 1, together with Parcel "A" as described in O.R. Book 29, page 22;
2. All that part of Government Lot 2, Section 3, Township 50 South, Range 25 East, Collier County, Florida, being more particularly described as follows:

Commencing at the northeast corner of the South 1/2 of said Government Lot 1; thence westerly along the north line of the South 1/2 of Government Lot 1 and the westerly extension thereof 887.4 feet to the mean high water line of the Gordon River and the Point of Beginning of the parcel herein being described;

thence southerly perpendicular to the north line of the South 1/2 of Government Lot 1 extended to the mean high water line of the Gordon River;

thence southerly along the mean high water line of the Gordon River easterly to an intersection with the easterly boundary of Government Lot 2;

thence North 7°45' East along said easterly line a distance of 140 feet more or less to an intersection with the north line of the South 1/2 of Government Lot 1;

thence westerly along said northerly line to the Point of Beginning of the parcel herein described;

3. All of Government Lot 3 lying East of the Gordon River;
4. All of Government Lot 4, together with parcels "C" and "D" as described in O.R. Book 29, page 22;
5. All of Government Lot 7, together with parcel "E" as described in O.R. Book 29, page 22;
6. All of Government Lot 8 lying East of the Gordon River.
7. All of Government Lot 9 lying East of the Gordon River and North of Rock Creek.

OR: 2677 PG: 3133

Approved and
filed in the
Office of the
Recorder of Deeds
Collier County, Florida
this 1st day of
August, 1954

EXHIBIT "B"

001581
OR BOOK

001357
PAGE

REAL PROPERTY

LEGAL DESCRIPTION:

A parcel of land lying in Section 2, Township 50S, Range 28E Collier County, Florida, consisting of 24.33 acres more or less described as follows:

Beginning (POB) at the NW corner of the SW 1/4 of Section 2, Township 50 South, Range 28 East, and run South along the West Line of SW 1/4 of said Section 2 for 1100.31 feet to the Point of Beginning of the Bulkhead line, as shown on Bulkhead Line Plat Book No. 2, Pg. 28, Florida, run the following courses along the Bulkhead line, said Bulkhead line being along the Northerly side of Rock Creek in SW 1/4 of SW 1/4 of said Section 2: N58° 10' 37"E for 164.90 feet to a Point; Thence N 42° 15' 13"E for 177.82 feet to a Point of Curvature; Thence 90.16 feet along the Arc of a curve, concave to the Northeast, having a radius of 250 feet, and subtended by a chord having a bearing of N72° 36' 29"E and a Length of 49.87 feet to a Point of Tangency; thence N82° 02' 48"E for 288.17 feet to a Point; thence N70° 14' 36"E for 312.44 feet to a point; thence N77° 59' 33"E for 187.73 feet to the point of ending of the Bulkhead line, said point being on the East Line of the NE 1/4 of the SW 1/4 of SW 1/4 of said Section 2, and being S0° 04' 54"E and 653.02 feet from the Northeast corner of the NE 1/4 of NW 1/4 of SW 1/4 of said Section 2, as measured along the East Line thereof; thence N0° 04' 54"W for 633.02 feet along the east line of the NE 1/4 of NW 1/4 of SW 1/4 of said Section 2, to the NE corner of the NE 1/4 of the NW 1/4 of SW 1/4 of said Section 2; thence S89° 54' 40"W for 1320.33 feet along the north line of the NE 1/4 of the SW 1/4 of said Section 2 to the NW corner of the SW 1/4 of said Section 2, the point of beginning.



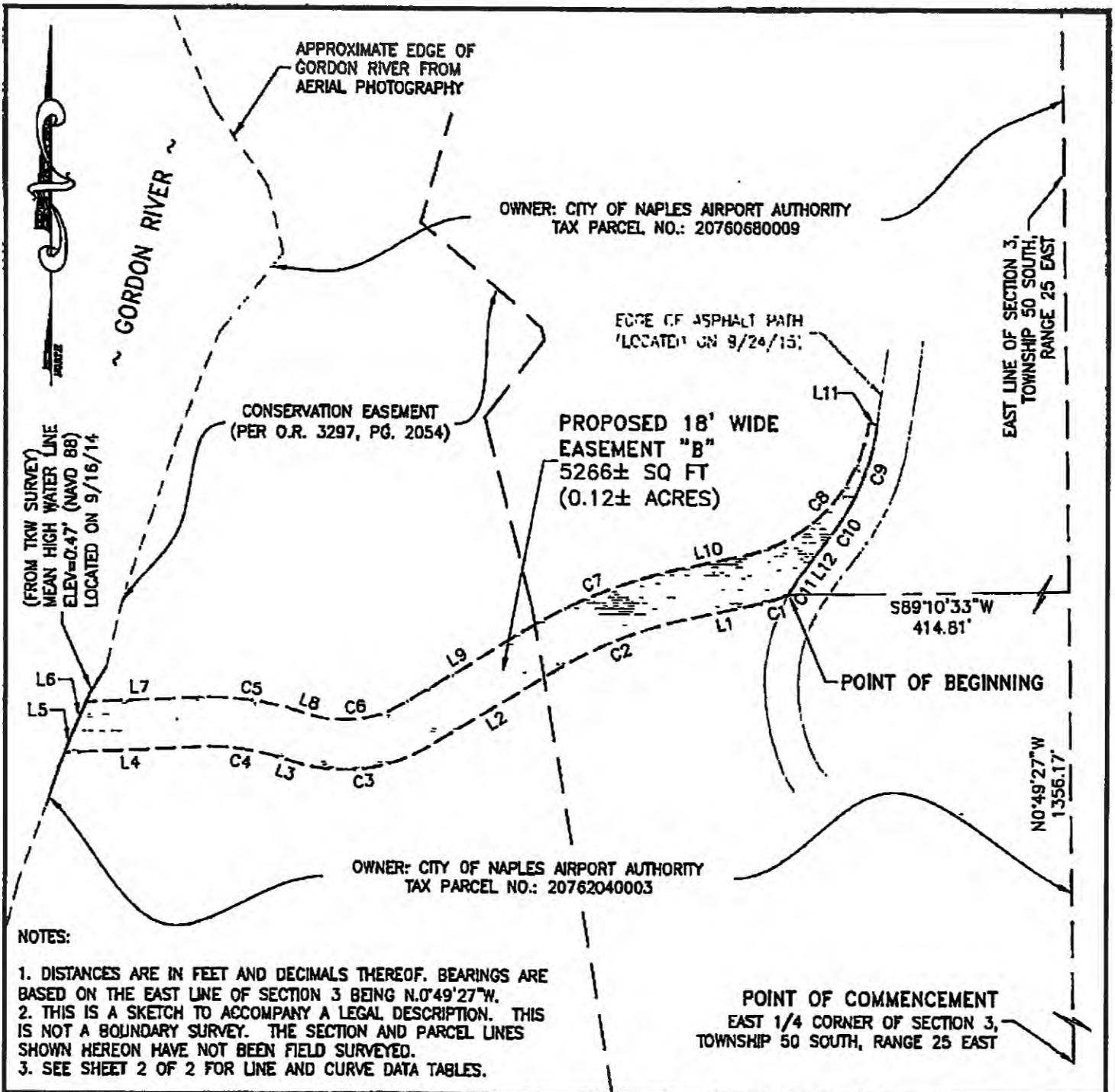
*** OR: 2677 PG: 3134 ***

Recorded and Indexed
to Public Records of
COLLIER COUNTY, FLORIDA
MAR 20 2019

EXHIBIT "B"

EAST BOARDWALK SECTION LEGAL SKETCH & DESCRIPTION

See attached two documents marked "Gordon River East Easement "B" (Within Airport Property) dated November 13, 2015 by E.F. Gaines Surveying Services, Inc.



NOTES:

1. DISTANCES ARE IN FEET AND DECIMALS THEREOF. BEARINGS ARE BASED ON THE EAST LINE OF SECTION 3 BEING N.0°49'27\"W.
2. THIS IS A SKETCH TO ACCOMPANY A LEGAL DESCRIPTION. THIS IS NOT A BOUNDARY SURVEY. THE SECTION AND PARCEL LINES SHOWN HEREON HAVE NOT BEEN FIELD SURVEYED.
3. SEE SHEET 2 OF 2 FOR LINE AND CURVE DATA TABLES.

POINT OF COMMENCEMENT
 EAST 1/4 CORNER OF SECTION 3,
 TOWNSHIP 50 SOUTH, RANGE 25 EAST

GORDON RIVER EAST EASEMENT "B"
 (WITHIN AIRPORT PROPERTY)

This is a sketch to accompany a legal description (see attached) of a proposed easement located in Section 3, Township 50 South, Range 25 East, Collier County, Florida.

Elizabeth F. Gaines
 Elizabeth F. Gaines, PSM
 FL License No. LS 4576

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE ABOVE NAMED FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.

Issue Date: 11/13/2015
Field Date: N/A
Checked: EFG
Drawn: EFG
Field: N/A
Scale: 1"=50'
Project No.: 0619
CAD File: 0619-003
Sheet No. 1 of 2

EFG

E.F. Gaines
 Surveying Services, Inc.
 FL License No. LB7165
 5235 Ramsey Way, Suite 10
 Fort Myers, Florida 33907
 Phone: 239-418-0126
 Fax: 239-418-0127
 Web: EFGaines.com.

Parcel Line Table		
Line #	Length	Direction
L1	24.64'	S77°48'15"W
L2	49.91'	S58°09'15"W
L3	0.89'	N71°21'54"W
L4	47.10'	S87°26'25"W
L5	7.84'	N21°46'56"E
L6	12.05'	N23°07'10"E
L7	38.64'	N87°26'25"E
L8	0.89'	S71°21'54"E
L9	49.91'	N58°09'15"E
L10	24.64'	N77°48'15"E
L11	3.00'	S81°44'56"E
L12	17.25'	S36°48'20"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	12.61'	75.00'	9°37'54"	S72°59'18"W	12.59'
C2	53.84'	157.00'	19°39'00"	S67°58'45"W	53.58'
C3	51.98'	59.00'	50°28'51"	S83°23'40"W	50.32'
C4	33.66'	91.00'	21°11'41"	N81°57'45"W	33.47'
C5	40.32'	109.00'	21°11'41"	S81°57'45"E	40.09'
C6	36.12'	41.00'	50°28'51"	N83°23'40"E	34.97'
C7	60.02'	175.00'	19°39'00"	N67°58'45"E	59.72'
C8	69.52'	57.00'	69°53'06"	N42°51'42"E	65.29'
C9	33.52'	82.40'	23°18'30"	S18°45'51"W	33.29'
C10	11.72'	102.90'	6°31'40"	S33°40'55"W	11.72'
C11	7.43'	67.00'	6°21'18"	S32°34'36"W	7.43'

GORDON RIVER EAST EASEMENT "B"
(WITHIN AIRPORT PROPERTY)

LINE AND CURVE DATA TABLES
(SEE SHEET 1 OF 2 FOR CORRESPONDING LINE WORK)

Issue Date: 11/13/2015

Field Date: N/A

Checked: EFG

Drawn: EFG

Field: N/A

Scale: 1"=50'

Project No.: 0619

CAD File: 0619-003

Sheet No. 2 of 2



E.F. Gaines
Surveying Services, Inc.

FL License No. LB7165
5235 Ramsey Way, Suite 10
Fort Myers, Florida 33907
Phone: 239-418-0126
Fax: 239-418-0127
Web: EFGaines.com



E.F. GAINES SURVEYING SERVICES, INC.

GORDON RIVER EAST EASEMENT "B"

(within Airport Property)

Located in Section 3, Township 50 South, Range 25 East, Collier County, Florida

All that part of Section 3, Township 50 South, Range 25 East, Collier County, Florida being more particularly described as follows:

COMMENCING at the southeast corner of the Northeast 1/4 of Section 3, Township 50 South, Range 25 East, Collier County, Florida;

thence along the east line of said Northeast 1/4 of Section 3 N.0°49'27"W. for 1356.17 feet;

thence S.89°10'33"W. for 414.81 feet to the beginning of a non-tangential curve and the Point of Beginning of the Parcel herein described;

thence southwesterly 12.61 feet along the arc of a non-tangential circular curve concave to the northwest, having a radius of 75.00 feet, through a central angle of 09°37'54" and being subtended by a chord which bears S.72°59'18"W. for a distance of 12.59 feet;

thence S.77°48'15"W. for a distance of 24.64 feet to the beginning of a curve,

thence southwesterly 53.84 feet along the arc of a circular curve concave to the southeast, having a radius of 157.00 feet, through a central angle of 19°39'00" and being subtended by a chord which bears S.67°58'45"W. for a distance of 53.58 feet;

thence S.58°09'15"W. for a distance of 49.91 feet to the beginning of a curve;

thence southwesterly and westerly 51.98 feet along the arc of a circular curve concave to the northwest, having a radius of 59.00 feet, through a central angle of 50°28'51" and being subtended by a chord which bears S.83°23'40"W. for a distance of 50.32 feet;

thence N.71°21'54"W. for a distance of 0.89 feet to the beginning of a curve;

thence westerly 33.66 feet along the arc of a circular curve concave to the south, having a radius of 91.00 feet, through a central angle of 21°11'41" and being subtended by a chord which bears N.81°57'45"W. for a distance of 33.47 feet;

thence S.87°26'25"W. for a distance of 47.10 feet to the Mean High Water line of the Gordon River as located on September 16, 2014 along the 0.47 foot (NAVD 88) contour line;

thence along said Mean High Water line N.21°46'56"E. for a distance of 7.84;

thence continue along said Mean High Water line N.23°07'10"E. for a distance of 12.05 feet;

thence N.87°26'25"E. for a distance of 38.64 feet to the beginning of a curve;

thence easterly 33.66 feet along the arc of a circular curve concave to the south, having a radius of 109.00 feet, through a central angle of 21°11'41" and being subtended by a chord which bears S.81°57'45"E. for a distance of 40.09 feet;

thence S.71°21'54"E. for a distance of 0.89 feet to the beginning of a curve;

thence easterly and northeasterly 36.12 feet along the arc of a circular curve concave to the northwest, having a radius of 41.00 feet, through a central angle of 50°28'51" and being subtended by a chord which bears N.83°23'40"E. for a distance of 34.97 feet;

thence N.58°09'15"E. for a distance of 49.91 feet to the beginning of a curve;

thence northeasterly 60.02 feet along the arc of a circular curve concave to the southeast, having a radius of 175.00 feet, through a central angle of 19°39'00" and being subtended by a chord which bears N.67°58'45"E. for a distance of 59.72 feet;



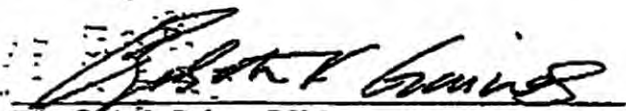
E.F. GAINES SURVEYING SERVICES, INC.

thence N.77°48'15"E. for a distance of 24.64 feet to the beginning of a curve;
 thence northeasterly 69.52 feet along the arc of a circular curve concave to the northwest, having a radius of 57.00 feet, through a central angle of 69°53'06" and being subtended by a chord which bears N.42°51'42"E. for a distance of 65.29 feet to a point of intersection with a non-tangential line;
 thence S.81°44'56"E. for a distance of 3.00 feet to the beginning of a non-tangential curve;
 thence southwesterly 33.52 feet along the arc of a non-tangential circular curve concave to the northwest, having a radius of 82.40 feet, through a central angle of 23°18'30" and being subtended by a chord which bears S.18°45'51"W. for a distance of 33.29 feet to the beginning of a non-tangential curve;
 thence southwesterly 11.72 feet along the arc of a non-tangential circular curve concave to the northwest, having a radius of 102.90 feet, through a central angle of 06°31'40" and being subtended by a chord which bears S.33°40'55"W. for a distance of 11.72 feet to a point of intersection with a non-tangential line;
 thence S.36°48'20"W. a distance of 17.25 feet to the beginning of a non-tangential curve;
 thence southwesterly 7.43 feet along the arc of a non-tangential circular curve concave to the southeast, having a radius of 67.00 feet, through a central angle 06°21'18" and being subtended by a chord which bears S.32°34'36"W. for a distance of 7.43 feet to the Point of Beginning of the Parcel herein described;

Parcel contains 5266 square feet, more or less;
 Bearings are based on the east line of the northeast 1/4 of Section 3, Township 50 South, Range 25 East, Collier County, Florida being N.0°49'27"W.
 Subject to easements, restrictions and reservations of record;

Prepared by:

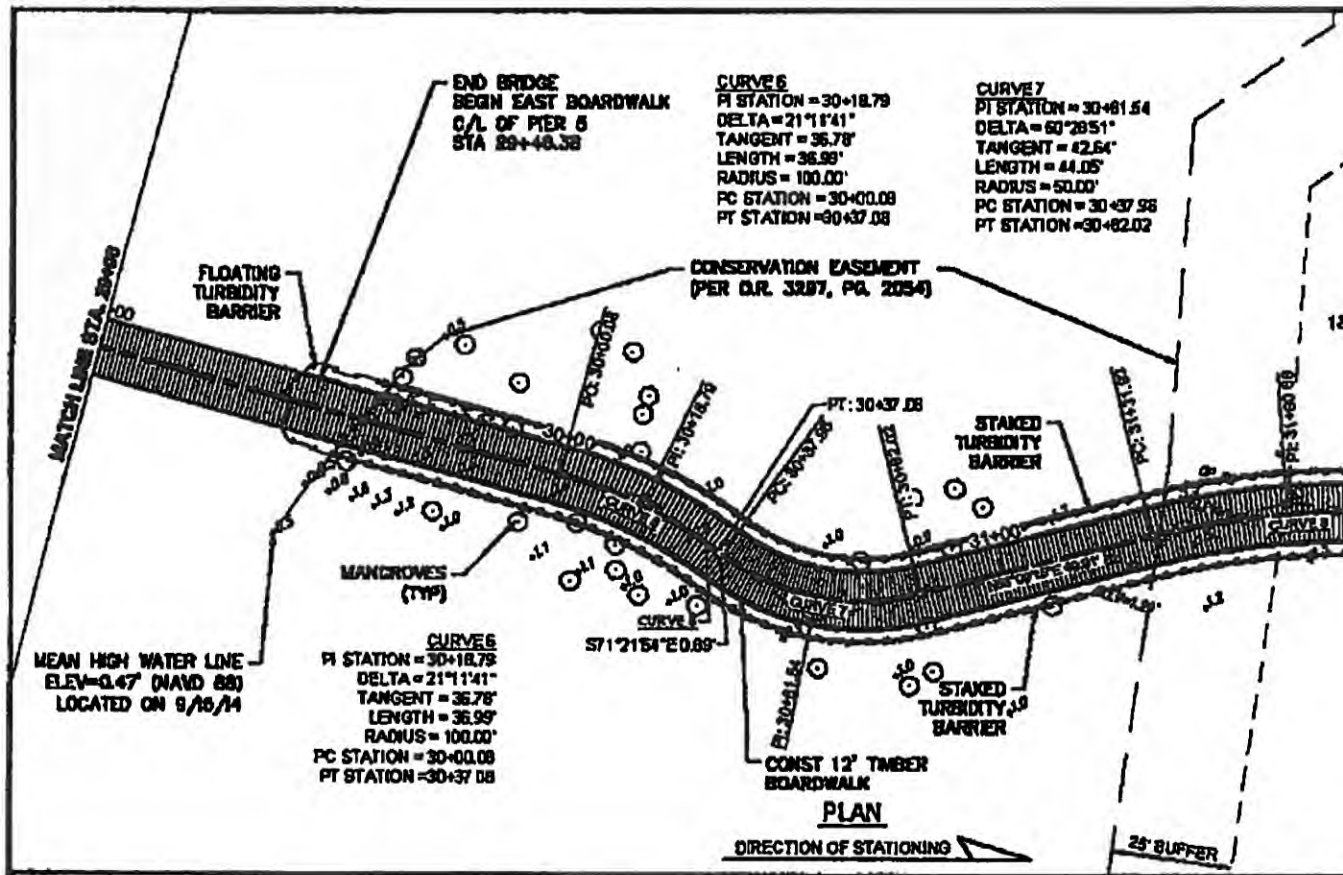
E.F. Gaines Surveying Services, Inc.


 Elizabeth F. Gaines, PSM
 Florida License No. 4576

11/13/15
 Date

Not valid without the signature and original raised seal of the above named Florida Professional Surveyor and Mapper

Sketch: EFG Drawing No. 0619-003



EAST BOARDWALK FEATURES & BOUNDARIES

EXHIBIT "C"

U.S. Department of
Homeland Security

United States
Coast Guard



Commander
United States Coast Guard
Seventh District

909 S. E. First Avenue
Miami, FL 33131
Staff Symbol: (dpg)
Phone: (305) 415-6936
Fax: (305) 415-6763
Email: randall.d.overton@uscg.mil

16591/3626
P(8-16-7)
29 November 2016

Mr. Greg Strakaluse
City of Naples
295 Riverside Circle
Naples, Florida 34102

Dear Mr. Strakaluse:

Enclosed is Bridge Permit P(8-16-7) dated 28 November 2016 approving the location and plans for construction of the Baker Park pedestrian bridge across the Gordon River mile 0.8 at Naples, Florida.

Permanent navigational lights shall be installed in accordance with Part 118 of Title 33, Code of Federal Regulations. Please submit, to this office, the proposed navigational lighting plan with a cover letter to the Coast Guard for review and approval. Permanent navigational lighting shall be operational upon completion of bridge.

During the periods of construction each pier, abutment or other obstruction may be required to be lighted for the safety of navigation. This office shall be contacted during construction plan development for a determination of any temporary lighting needs.

Please review the conditions of your permit carefully, especially those concerning the requirement to remove the bridge when it is no longer used for transportation purposes, and the time limits for commencement and completion of construction.

This office shall be notified 60 days prior to the actual commencement and completion of the bridge work so that appropriate announcements may be prepared for our Local Notice to Mariners publication. As stated in your bridge permit, prior approval is required from the District Commander for any false work, cofferdams, or other temporary obstruction. Your request for approval should describe your contractor's plan and schedule and when the obstruction would be removed. The plans shall be submitted to Mr. Michael Lieberum (305) 415-6744 of this office at least 60 days prior to the commencement of construction. **Also, inform Mr. Michael Lieberum of any pre-construction meetings for the proposed project.**

You shall notify LT Ashley Holm of Coast Guard Sector St. Petersburg, Waterway Management, at (813) 228-2191 X8105 prior to the placement of any floating construction equipment in the waterway. You shall notify the Sector not less than 60 days in advance of actions, during bridge construction, which could potentially affect waterway users.

When the bridge project is completed, the enclosed **Owner's Certification of Bridge Completion Form (D7-1106)** must be signed by the bridge owner or authorized agent and submitted to the District Commander to certify that the work authorized by the permit is complete.

If you should have any questions concerning your permit, please call Mr. Randall Overton at (305) 415-6936.

Sincerely,



RANDALL D. OVERTON
Bridge Management Specialist
U. S. Coast Guard District

Encl: (1) Coast Guard Bridge Permit P(8-16-7) dated 28 November 2016 w/approved plans
(2) Certification of Bridge Completion form (D7-1106-09)

Copy: Sector St. Petersburg (e-copy), Ashley.e.holm@uscg.mil
NOAA Nav Charting, MD (e-copy) allison.wittrock@noaa.gov
Arielle Poulos, Turrell, Hall & Associates, Inc. (e-copy) Arielle@thanaples.com



28 Nov 2016

BRIDGE PERMIT (8-16-7)

WHEREAS by Title V of an act of Congress approved August 2, 1946, entitled "General Bridge Act of 1946," as amended (33 U.S.C. 525-533), the consent of Congress was granted for the construction, maintenance and operation of bridges and approaches thereto over the navigable waters of the United States;

AND WHEREAS the Secretary of Homeland Security has delegated the authority of Section 502(b) of that act to the Commandant, U.S. Coast Guard by Department of Homeland Security Delegation Number: 0170.1;

AND WHEREAS before construction is commenced, the Commandant must approve the location and plans of any such bridge and may impose any specific conditions relating to the construction, maintenance and operation of the structure deemed necessary in the interest of public navigation, such conditions to have the force of law;

AND WHEREAS the Commandant of the Coast Guard has further delegated to the District Commanders, by Section 1.01-60(b) of Title 33, Code of Federal Regulations, authority to issue permits for the construction, reconstruction, or alteration of bridges across navigable waters of the United States;

AND WHEREAS the - CITY OF NAPLES - has submitted for approval the location and plans of a bridge to be constructed across the Gordon River at Naples, Florida;

NOW THEREFORE, This is to certify that the location and plans dated 16 August 2016 are hereby approved by the Commander, Seventh Coast Guard District, subject to the following conditions:

1. No deviation from the approved plans may be made either before or after completion of the structure unless the modification of said plans has previously been submitted to and received the approval of the District Commander.

2. The construction of falsework, pilings, cofferdams or other obstructions, if required, shall be in accordance with plans submitted to and approved by the District Commander, prior to construction of the bridge. All work shall be so conducted that the free navigation of the waterway is not unreasonably interfered with and the present navigable depths are not impaired. Timely notice of any and all events that may affect navigation shall be given to the District Commander during construction of the bridge. The channel or channels through the structure shall be promptly cleared of all obstructions placed therein or caused by the construction of the bridge to the satisfaction of the District Commander, when in the judgment of the District Commander

the construction work has reached a point where such action should be taken, but in no case later than 90 days after the bridge has been opened to traffic.

3. Issuance of this permit does not relieve the permittee of the obligation or responsibility for compliance with the provisions of any other law or regulation as may be under the jurisdiction of any federal, state or local authority having cognizance of any aspect of the location, construction or maintenance of said bridge.

4. A bridge fendering system shall be installed and maintained in good condition by and at the expense of the owner of the bridge when so required by the District Commander. Said installation and maintenance shall be for the safety of navigation and be in accordance with plans submitted to and approved by the District Commander prior to its construction.

5. Clearance gauges shall be installed and maintained in a good and legible condition by and at the expense of the owner of the bridge when so required by the District Commander. The type of gauges and the locations in which they are to be installed will be submitted to the District Commander for approval.

6. When the proposed bridge is no longer used for transportation purposes, it shall be removed in its entirety or to an elevation deemed appropriate by the District Commander and the waterway cleared to the satisfaction of the District Commander. Such removal and clearance shall be completed by and at the expense of the owner of the bridge upon due notice from the District Commander.

7. The approval hereby granted shall cease and be null and void unless construction of the bridge is commenced within three years and completed within five years after the date of this permit.



S. A. BUSCHMAN
Rear Admiral, U. S. Coast Guard
Commander Seventh Coast Guard District

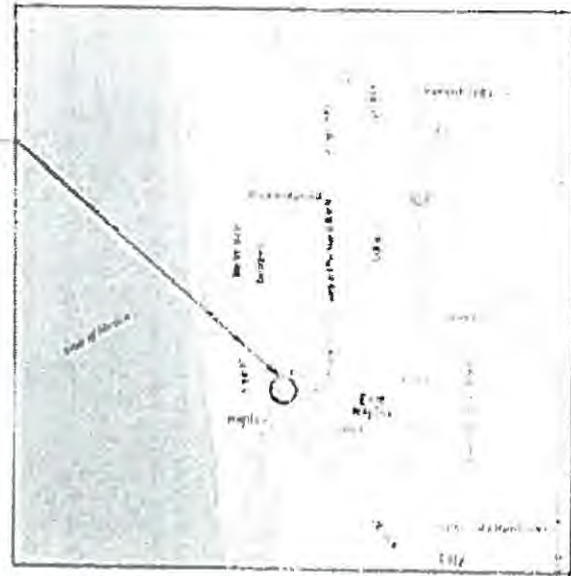
APPROVED

28 Nov 2016
P(8-16-7)



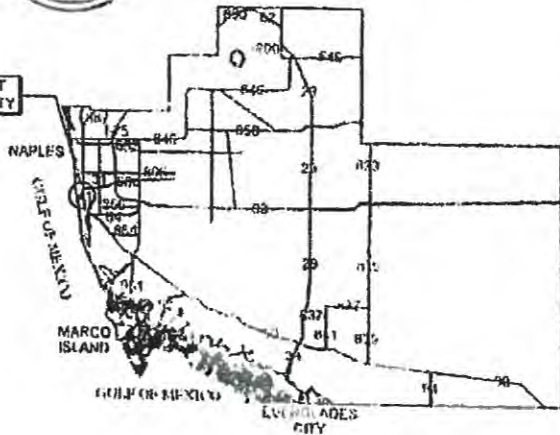
STATE OF FLORIDA

SUBJECT PROPERTY



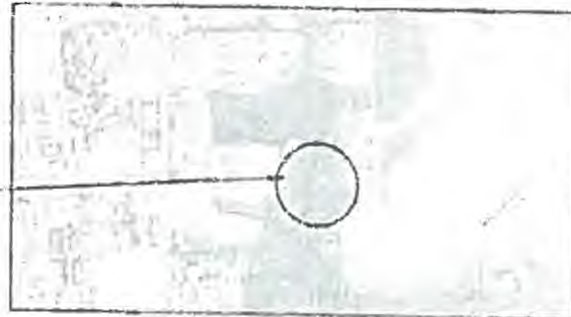
VICINITY MAP

SUBJECT PROPERTY



COLLIER COUNTY

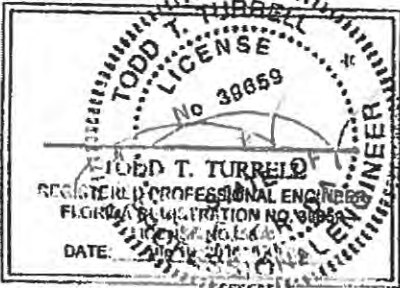
SUBJECT PROPERTY



COUNTY AERIAL

SITE ADDRESS:
◊ NORTH RD
◊ NAPLES, FL 34104

NOTES:
◊ THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE



NOTES:
• CITY OF NAPLES
• SUBJECT PROPERTY IS LOCATED IN THE UNINCORPORATED AREA OF THE CITY OF NAPLES
• THE PROPERTY IS SUBJECT TO THE CITY OF NAPLES ZONING ORDINANCES
• THE PROPERTY IS SUBJECT TO THE CITY OF NAPLES DEVELOPMENT ORDINANCES
• THE PROPERTY IS SUBJECT TO THE CITY OF NAPLES UTILITIES ORDINANCES

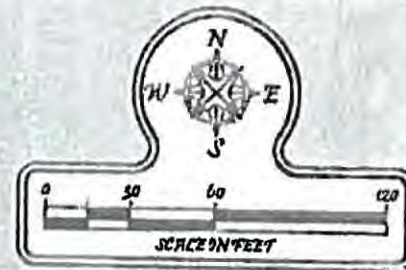
Turrell, Hall & Associates, Inc.
Marine & Environmental Consulting
3584 Exchange Ave. Suite B, Naples, FL 34104-3732
Phone (239) 643-0166 Fax (239) 643-6532

**NAPLES BAKER PARK BRIDGE - WEST LANDING
LOCATION MAP**

SECTION-03	TOWNSHIP-00C	RANGE-26E
------------	--------------	-----------

APPROVED
 28 Nov 2016
 P(8-16-7)
 U.S.
 COAST GUARD

GORDON RIVER



OWNER: CITY OF NAPLES
 PARCEL NO: 20767004002

EXISTING STRUCTURE
 TO BE REMOVED

PROPOSED 330' LONG X
 12' WIDE BRIDGE
 (DESIGNED BY OTHERS)

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 8/16/14

330'

100' MIN.
 HORIZONTAL
 CLEARANCE

CHANNEL
 AXIS

PROPOSED 280.6' LONG X
 12' WIDE BOARDWALK
 (DESIGNED BY OTHERS)

(FROM TKW SURVEY)
 MHWL = 0.47' (NAVD 88)
 LOCATED ON 8/16/14

PORTION OF PROJECT
 EAST OF MHWL TO BE
 PERMITTED BY WMD.

OWNER: NAPLES AIRPORT AUTHORITY
 PARCEL NO. 20762040003

TODD T. TURRELL
 LICENSE
 No. 39859
TODD T. TURRELL
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 20983
 LICENSE NO. 5823
 DATE: AUG 18 2010 8:30:40

WETLAND IMPACTS (SQ FT) 384

SECONDARY WETLAND IMPACTS (SQ FT) 189

NOTES:

- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE
- ALL DATUM SHOWN HEREON IS REFERENCED TO MHW
- SURVEY COURSES BY "TKW" & "EF BARBER"
- SURVEY DATED: 11/02/14

TOTAL DATUM: -1.81'
 MHW SURVEY: -1.81'
 MHW SURVEY: -1.81'

NOTES:

- CITY OF NAPLES
- TOWN OF NAPLES AND AREA OF
- GORDON RIVER AND WEST LANDING
- CONFINED BY WATER WALL & DRY
- LOT 020 & 021, LOMA VISTA #4 ADD
- BAKER PARK CEMETERY
- HILLSBOROUGH COUNTY FL

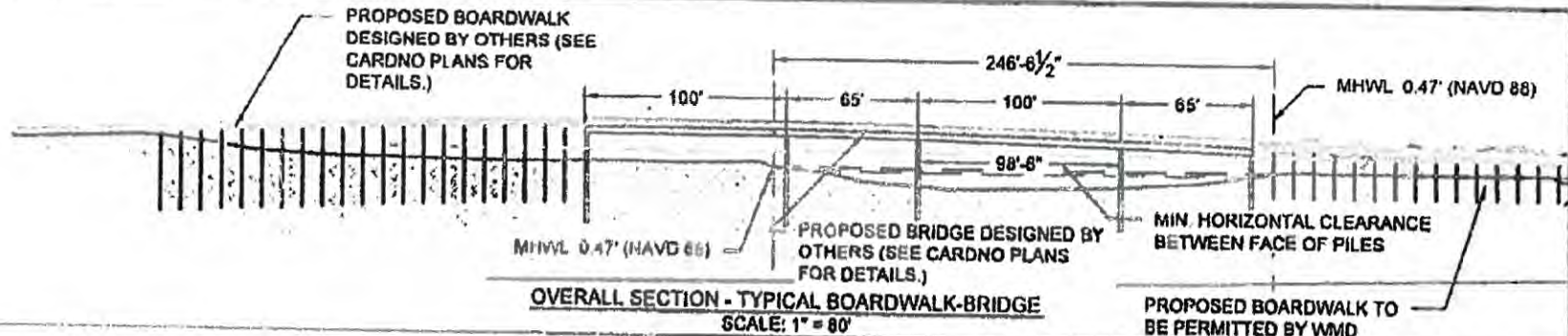


Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3584 Exchange Ave, Suite D, Naples, FL 34104-3732
 Phone: (239) 643-0166 Fax: (239) 643-6632

**NAPLES BAKER PARK BRIDGE - WEST LANDING
 IMPACTS MAP**

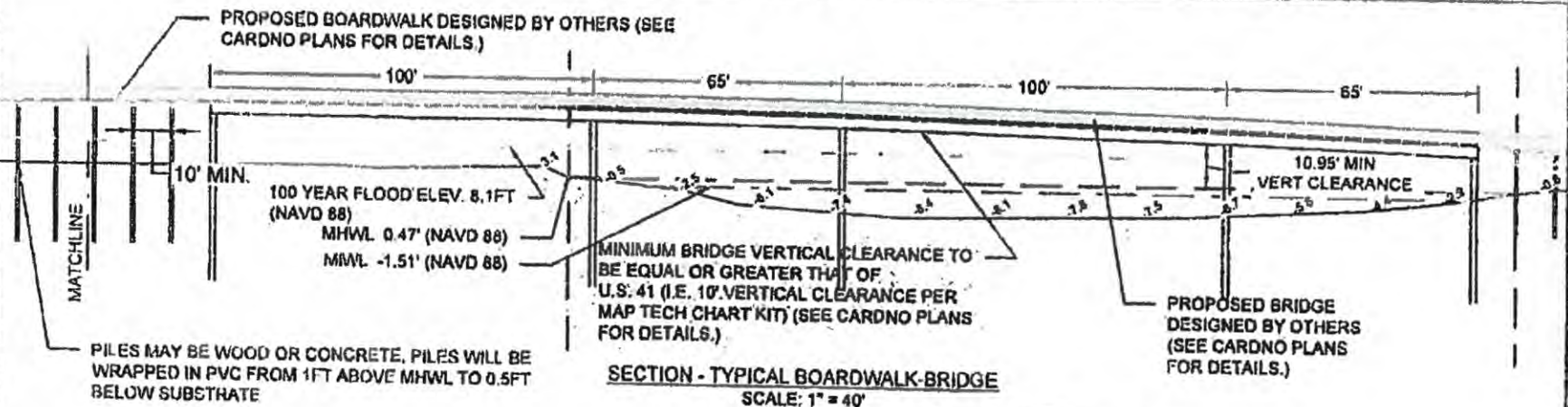
DATE	BY	NO.	REV.	DESCRIPTION
08/16/14	TKW	1	1	ISSUE FOR PERMIT
08/16/14	TKW	2	1	REVISION
08/16/14	TKW	3	1	REVISION
08/16/14	TKW	4	1	REVISION
08/16/14	TKW	5	1	REVISION

SECTION-03 TOWNSHIP-508 RANGE-25E



OVERALL SECTION - TYPICAL BOARDWALK-BRIDGE
SCALE: 1" = 80'

PROPOSED BOARDWALK TO BE PERMITTED BY WMD



SECTION - TYPICAL BOARDWALK-BRIDGE
SCALE: 1" = 40'

PILES MAY BE WOOD OR CONCRETE. PILES WILL BE WRAPPED IN PVC FROM 1FT ABOVE MHWL TO 0.5FT BELOW SUBSTRATE



- NOTES:**
- CITY OF NAPLES
 - TURRELL HALL CONSULTING
 - PROJECT NO. 15-16-7
 - DATE: 11/28/16
 - DRAWN BY: T. HALL
 - CHECKED BY: T. HALL
 - APPROVED BY: T. HALL

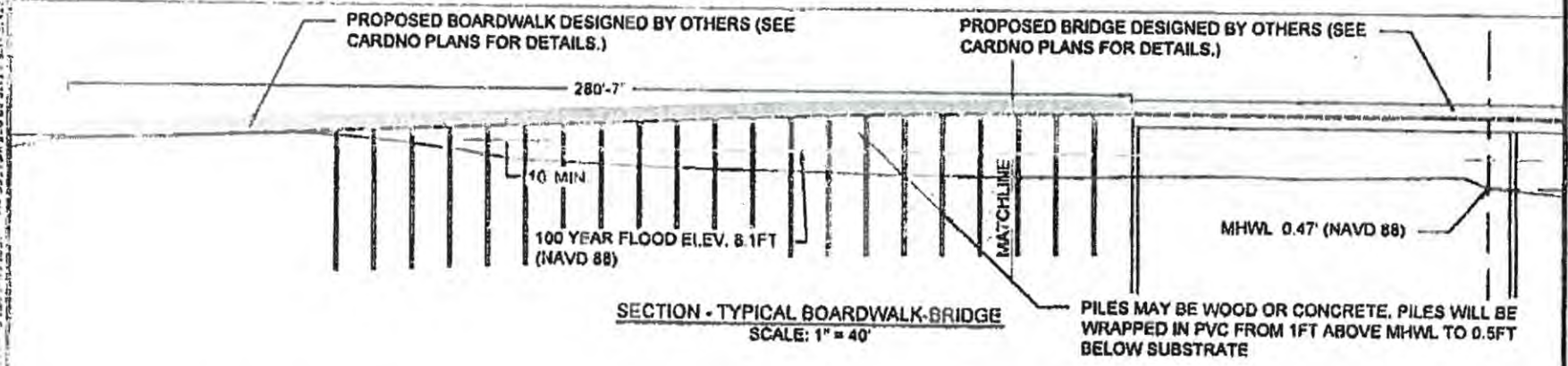
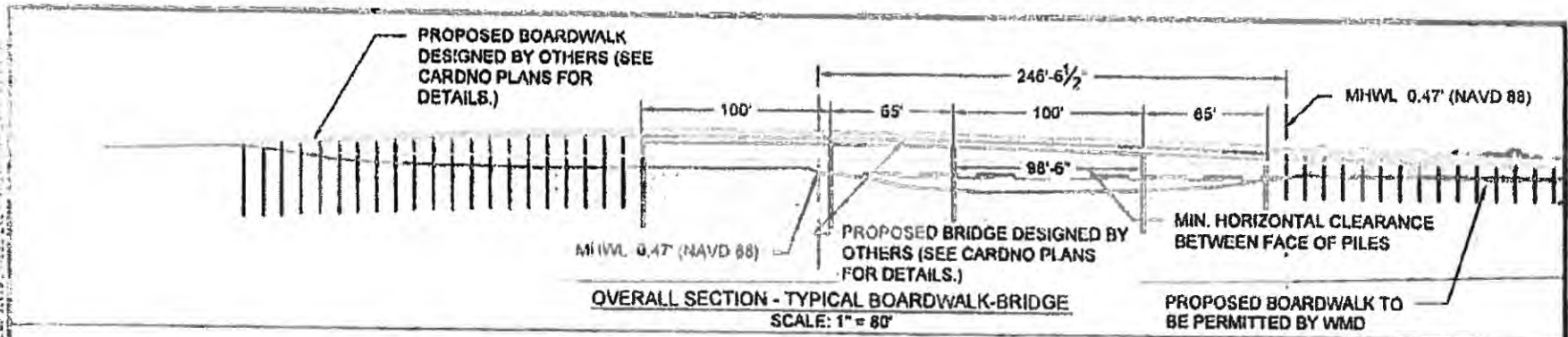


Turrell, Hall & Associates, Inc.
Marine & Environmental Consulting
3584 Exchange Ave. Suite B Naples, FL 34104-3732
Phone: (239) 641-0166 Fax: (239) 647-6632

NAPLES BAKER PARK BRIDGE - WEST LANDING
SECTION EAST

DESIGNED BY	TR	DATE	REV	BY	REASON
1	MMJ	08-16-16	AP		
2					
3					
4					
5					

SECTION-03 TOWNSHIP- 50S RANGE- 25E



TURRELL
TODD T. TURRELL
 LICENSE
 No 39059
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 12567
 DATE: 12/15/16

APPROVED
 28 Nov 2016
 P(8-16-7)
 U.S.
 COAST GUARD

NOTES:

- CITY OF NAPLES
- TURRELL HALL AND ASSOC
- GONDOLI RIVER IN 0.8 MI 0.8 BECAUSE THIS IS CONFLUENCE WITH NAPLES BAY
- 1ST N 28° 0' 57" 44" E LONG W 01° 47' 4 41"
- BAYVIEW PARK PEDESTRIAN BRIDGE
- NAPLES COLLEGE COUNTY FL

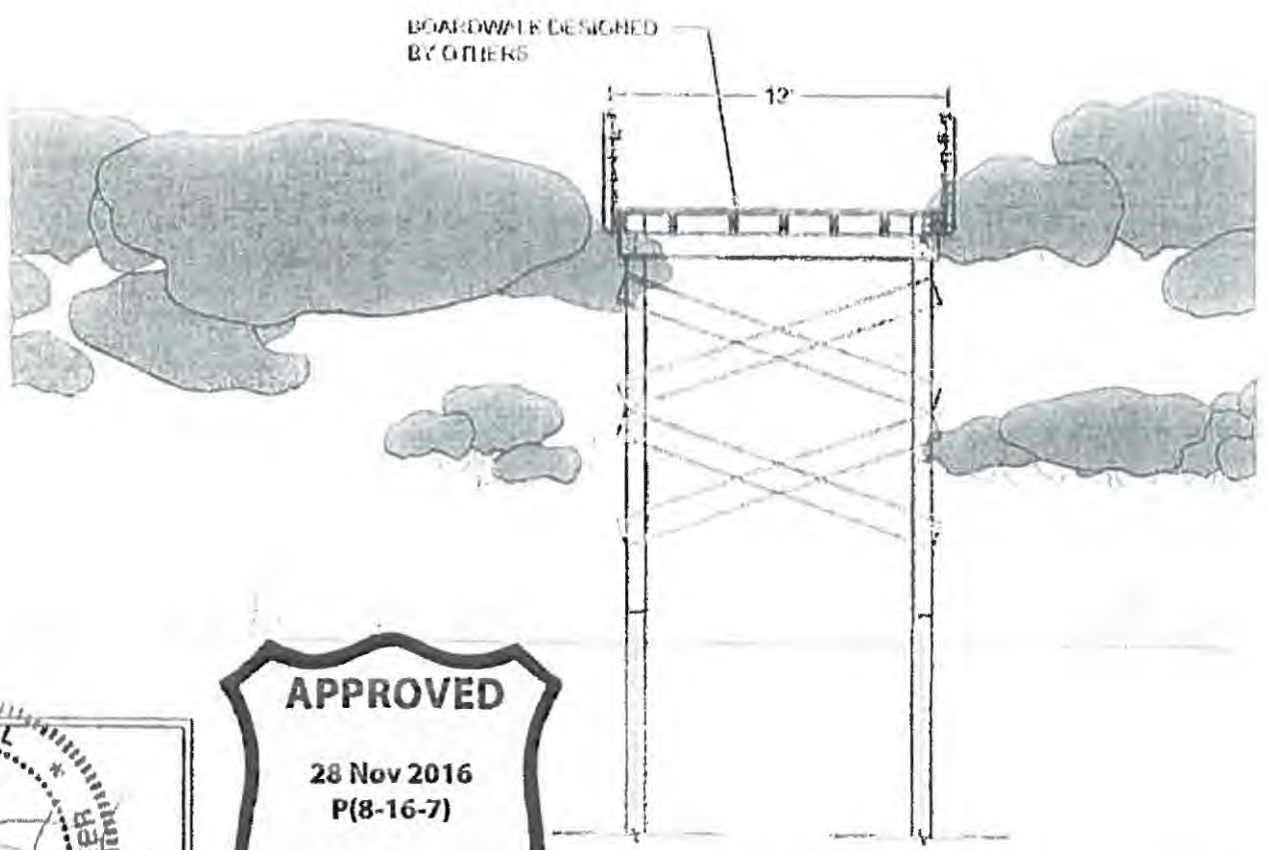
 **Turrell, Hall & Associates, Inc.**
 Marine & Environmental Consulting
 3584 Exchange Ave Suite B, Naples, FL 34104-3732
 Phone: (239) 643-0166 Fax: (239) 643-6637

NAPLES BAKER PARK BRIDGE - WEST LANDING
SECTION WEST

DESIGNED BY	DATE	SCALE	PROJECT	NO.	TOTAL SHEETS	SHEET NO.
TH	1	1" = 80'	OLV 10	AP	10	1
DRWN BY	TH	2				
CHK'D BY	TH	3				
APP'D BY	TH	4				
DATE	11/25/16					
SHEET NO.	14 OF 18					

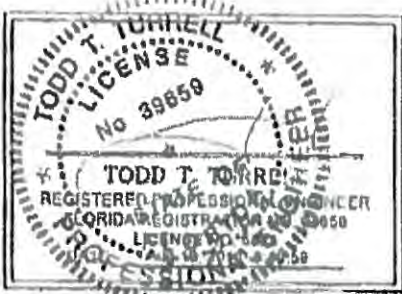
SECTION-03 TOWNSHIP-60E RANGE-26E

81220-14 NOV 16 08:58 AM



APPROVED
 28 Nov 2016
 P(8-16-7)
 U.S.
 COAST GUARD

SECTION - TYPICAL BOARDWALK W/ RAIL
 SCALE: 1" = 6'



- NOTES:**
- CITY OF NAPLES
 - TURRELL HALL ASSOCIATES
 - CONTRACT NO. 1309 (M) 08/16/16
 - CONSTRUCTION PERMITS DAY
 - SAT 11:30 - 12:00 PM NOV 16 2016
 - 641 BERRY AVE. NAPLES FL 34102
 - NAPLES COUNTY FL


Turrell, Hall & Associates, Inc.
 Marine & Environmental Consulting
 3384 Exchange Ave. Suite D, Naples, FL 34104-3732
 Email: turrell@turrell-hall.com Phone: (239) 643-0166 Fax: (239) 641-6632

**NAPLES BAKER PARK BRIDGE - WEST LANDING
 DETAIL**

NO.	REV.	DATE	BY	CHKD.	DESCRIPTION
1					ISSUED FOR PERMITS
2					REVISED PER COMMENTS
3					REVISED PER COMMENTS
4					REVISED PER COMMENTS
5					REVISED PER COMMENTS
6					REVISED PER COMMENTS
7					REVISED PER COMMENTS
8					REVISED PER COMMENTS

SECTION-03 TOWNSHIP-005 RANGE-25P

Return original or certified recorded document to SFWMD:

Lower West Coast Service Center
2301 McGregor Boulevard
Fort Myers, FL 33901

AMENDMENT OF CORRECTIVE DEED OF CONSERVATION EASEMENT

This Amendment of Corrective Deed of Conservation Easement (this "Amendment") is made this ____ day of _____, 20____ by the **SOUTH FLORIDA WATER MANAGEMENT DISTRICT**, a public corporation of the State of Florida ("District") having an address of 3301 Gun Club Road, West Palm Beach, Florida 33406 and a mailing address of Post Office Box 24680, West Palm Beach, Florida 33416-4680, the **CONSERVANCY OF SOUTHWEST FLORIDA, INC.**, a Florida not-for-profit corporation ("Conservancy") having a mailing address of 1495 Smith Preserve Way, Naples, Florida 34102 and the **CITY OF NAPLES AIRPORT AUTHORITY**, a political subdivision of the State of Florida ("Grantor") having a mailing address of 160 Aviation Drive North, Naples, Florida 34104,

WITNESSETH:

WHEREAS, the Grantor granted a conservation easement in favor of the District and the Conservancy evidenced by that certain Deed of Conservation Easement dated January 13, 2000 and recorded in Official Record Book 2677 at Page 3127 of the Public Records of Collier County, Florida, as corrected and modified by that certain Corrective Deed of Conservation Easement dated May 15, 2003 and recorded in Official Record Book 3297 at Page 2054 of the Public Records of Collier County, Florida (hereinafter collectively referred to as the "Conservation Easement") encumbering the real property described on Exhibit "A" attached to this Amendment and made a part hereof (hereinafter referred to as the "Original Premises"); and

WHEREAS, the Grantor, District and Conservancy have been requested and have agreed to modify the Conservation Easement to allow passive recreational public use and access within a specific portion of the Original Premises in accordance with the terms and conditions of this Amendment.

NOW, THEREFORE, for good and valuable consideration, the adequacy and receipt of which are hereby acknowledged, the Grantor, District and Conservancy hereby agree as follows:

1. Passive Recreational Facilities. The Conservation Easement is hereby amended to permit and accommodate passive recreational facilities and public use and access within that

certain portion of the Original Premises described on Exhibit "B" attached to this Amendment and made a part hereof (hereinafter referred to as the "Passive Recreational Facilities Premises"). Grantor reserves all rights as owner or lessee of the Original Premises, including the right to engage in uses of the Original Premises that are not prohibited herein and that are not inconsistent with any District rule, criteria, Permit Number 11-01743-P and the intent and purposes of the Conservation Easement. The Conservation Easement is hereby further amended to include all of the following terms and conditions:

a. The Grantor (and any authorized agent or designee of the Grantor) may conduct limited land clearing for the purpose of constructing and maintaining such passive recreational facilities as docks, boardwalks or mulched walking trails within the Passive Recreational Facilities Premises; and

b. The access to, construction within and maintenance and use of the Passive Recreational Facilities Premises shall be subject to the following conditions:

i. The Grantor (and any authorized agent or designee of the Grantor) shall minimize and avoid, to the fullest extent possible, impact to any wetland or upland buffer areas within the Passive Recreational Facilities Premises and shall avoid materially diverting the direction of the natural surface water flow in such area;

ii. Such passive recreational facilities and improvements within the Passive Recreational Facilities Premises shall be constructed and maintained utilizing reasonable Best Management Practices to mitigate any adverse impacts on water quality or native vegetation;

iii. Adequate containers for litter disposal shall be situated adjacent to such passive recreational facilities and improvements and reasonable periodic inspections shall be instituted by the entity responsible for maintenance to clean any litter from the area surrounding the passive recreational facilities and improvements; and

iv. The Conservation Easement, as amended by this Amendment, shall not constitute a permit authorization for any works including the construction and operation of the passive recreational facilities. Any such work shall be subject to all applicable federal, state, District or local permitting requirements.

2. Miscellaneous. All terms of the Conservation Easement not specifically referenced in or amended by this Amendment shall and do remain in full force and effect. The priority of the recording of the Conservation Easement is not affected by this Amendment. To the extent that there is any inconsistency or conflict with any of the provisions contained in this Amendment with the Conservation Easement, the provisions set forth in this Amendment shall govern the understanding between the Grantor, District and Conservancy.

IN WITNESS WHEREOF, the South Florida Water Management District has caused this Amendment to be executed in its name hereto, this _____ day of _____, 20_____.

**SOUTH FLORIDA WATER
MANAGEMENT DISTRICT**

Witness #1 Name: _____

Witness #2 Name: _____

By: _____

Title: _____

(Regulatory Service Center Administrator or Bureau Chief)

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20_____, by _____ of the South Florida Water Management District, a public corporation of the State of Florida, on behalf of the corporation, who is personally known to me or has produced _____ as identification.

Notary Public: _____

Print: _____

My Commission Expires: _____

LEGAL FORM APPROVED
BY OFFICE OF COUNSEL

IN WITNESS WHEREOF, the Conservancy of Southwest Florida, Inc. has caused this Amendment to be executed in its name hereto, this 12th day of Jan, 20 17.

[Signature]
Witness #1 Name: Susan Scott

[Signature]
Witness #2 Name: Karen MacArthur

CONSERVANCY OF
SOUTHWEST FLORIDA, INC.

By: [Signature]
Title: President & CEO

STATE OF FLORIDA
COUNTY OF Collier

The foregoing instrument was acknowledged before me this 12th day of Jan, 20 17, by Rob Melen of the Conservancy of Southwest Florida, Inc., a Florida not-for-profit corporation, on behalf of the corporation, who is personally known to me or who has produced _____ as identification.

Notary Public: Margaret Ann Dardis
Print: Margaret Ann Dardis
My Commission Expires: _____

LEGAL FORM APPROVED
BY OFFICE OF COUNSEL



IN WITNESS WHEREOF, the City of Naples Airport Authority has caused this Amendment to be executed in its name hereto, this 15th day of January, 2017.

[Signature]
Witness #1 Name: Shirley D. DeGou

[Signature]
Witness #2 Name: Diane Terrill

CITY OF NAPLES
AIRPORT AUTHORITY

By: [Signature]
Title: Executive Director

Approved as to form and legal sufficiency:

[Signature]
William L. Owens
Counsel to the Authority

STATE OF FLORIDA
COUNTY OF Collier

The foregoing instrument was acknowledged before me this 15th day of January, 2017, by Christopher Rozarsky of the City of Naples Airport Authority, a political subdivision of the State of Florida, on behalf of the political subdivision, who is personally known to me or who has produced _____ as identification.



Notary Public: [Signature]
Print: Pamela G. Rinehart
My Commission Expires: 5/9/19

EXHIBIT A – ORIGINAL PREMISES

(Original legal description from the original Conservation Easement)

CR: 3297 PG: 2059

Description: parcel "A" (Conservation Easement Containing 55.15 Acres)

A portion of Sections 2 and 3, Township 50 South, Range 25 East, Collier County, Florida, being more particularly described as follows:

All that portion of Section 3, Township 50 South, Range 25 East, Collier County, Florida, lying south of the south line of the north 1/2 of Government Lot 1, east of the Gordon River, and north of Rock Creek, and all of Section 2, Township 50 South, Range 25 East, lying North of Rock Creek and west of the East line of Government lot 2, Section 2, Less and Except the following described parcel.

Commence at the Northeast corner of Section 3, Township 50 south, Range 25 East, Collier County, Florida; thence South 00°49'27" East, along the east line of said Section 3, for a distance of 655.36 feet, to its intersection with the north line of the South 1/2 of Government Lot 1, Section 3 and the POINT OF BEGINNING of the herein described parcel; thence South 89°47'41" west, along said north line of south half, for a distance of 656.55 feet; thence S.42°14'59" West, a distance of 65.08 feet; thence South 13°11'18" East, a distance of 78.90 feet; thence South 31°15'11" West, a distance of 62.41 feet; thence South 61°42'00" East, a distance of 96.87 feet; thence South 52°39'36" East, a distance of 74.96 feet; thence South 62°22'23" East, a distance of 102.29 feet; thence South 11°30'08" West, a distance of 14.15 feet; thence South 15°20'00" West, a distance of 208.74 feet; thence South 48°54'56" East, a distance of 56.96 feet; thence South 15°01'49" East, a distance of 4.58 feet; thence South 37°45'45" West, a distance of 34.88 feet; thence South 14°08'12" East, a distance of 71.92 feet; thence South 09°28'15" East, a distance of 176.20 feet; thence South 05°06'54" East, a distance of 35.22 feet; thence South 08°02'54" East, a distance of 44.50 feet; thence South 18°22'46" East, a distance of 39.42 feet; thence South 37°56'50" East, a distance of 16.00 feet; thence South 24°24'14" West, a distance of 35.56 feet; thence South 32°37'50" East, a distance of 42.45 feet; thence South, a distance of 23.99 feet; thence South 46°47'41" East, a distance of 15.66 feet; thence South 07°36'01" West, a distance of 32.26 feet; thence South 08°23'20" East, a distance of 46.52 feet; thence South 17°18'10" East, a distance of 43.54 feet; thence South 19°00'41" East, a distance of 52.92 feet; thence South 36°15'12" East, a distance of 28.76 feet; thence South 12°34'47" East, a distance of 21.33 feet; thence South 09°19'17" East, a distance of 34.69 feet; thence South, a distance of 61.40 feet; thence South 63°55'22" East, a distance of 39.59 feet; thence South 10°08'21" East, a distance of 18.42 feet; thence South 01°04'36" West, a distance of 65.08 feet; thence South 48°29'38" East, a distance of 82.43 feet; thence South 77°23'10" East, a distance of 19.91 feet; thence South 20°35'28" East, a distance of 15.86 feet; thence South 76°00'35" East, a distance of 14.17 feet to the to a point of intersection with the westerly Right of Way line of Realigned North Road; thence South 44°34'02" West, along said westerly line, for a distance of 78.96 feet; thence continue South 44°34'02" West, along said westerly line, for a distance of 67.52 feet to the beginning of a tangential circular curve, concave Easterly; thence run southerly, along said westerly line, along the arc of said curve to the left, having a radius of 220.00 feet, through a central angle of 90°00'00", subtended by a chord of 311.13 feet at a bearing of South 00°25'58" East, for an arc length of 345.58 feet to the end of said curve; thence South 45°25'58" East, along said westerly Right of Way line, for a distance of 103.67 feet; thence South 08°25'34" West, for a distance of 14.50 feet; thence South 00°08'37" West, for a distance of 31.29 feet; thence South 59°40'58" West, for a distance of 29.21 feet; thence South 40°21'15" West, for a distance of 30.81 feet; thence South 63°26'28" East, for a distance of 119.26 feet; thence South 11°51'40" East, for a distance of 116.72 feet; thence South 70°14'17" West, for a distance of 25.84 feet; thence South 30°28'15" West, for a distance of 111.80 feet; thence South 29°05'57" East, for a distance of 47.60 feet; thence South 60°08'46" East,

OR: 3297 PG: 2060

for a distance of 33.25 feet; thence South 44°20'46" East, for a distance of 42.53 feet; thence South 68°31'51" East, for a distance of 31.39 feet; thence South 84°35'55" East, for a distance of 60.72 feet; thence North 86°55'46" East, for a distance of 61.86 feet; thence South 59°07'38" East, for a distance of 39.11 feet; thence North 60°28'12" East, for a distance of 33.74 feet; thence North 75°47'35" East, for a distance of 37.51 feet; thence South 47°54'27" East, for a distance of 73.93 feet; thence South 05°36'30" East, for a distance of 46.55 feet; thence South 05°11'52" West, for a distance of 29.15 feet; thence South 28°49'24" East, for a distance of 27.16 feet; thence South 08°01'16" East, for a distance of 48.34 feet; thence South 28°15'45" East, for a distance of 42.57 feet; thence South 49°34'04" East, for a distance of 48.39 feet; thence South 83°45'43" East, for a distance of 44.08 feet; thence South 88°46'23" East, for a distance of 55.18 feet; thence North 70°05'02" East, for a distance of 62.13 feet; thence North 72°15'07" East, for a distance of 77.16 feet; thence North 84°10'53" East, for a distance of 53.33 feet; thence North 84°46'53" East, for a distance of 39.12 feet; thence North 73°21'40" East, for a distance of 86.55 feet; thence North 75°12'30" East, for a distance of 39.61 feet; thence South 84°01'18" East, for a distance of 41.56 feet; thence North 85°45'54" East, for a distance of 48.71 feet; thence South 85°58'26" East, for a distance of 82.18 feet; thence North 81°08'34" East, for a distance of 76.60 feet; thence North 53°23'35" East, for a distance of 69.53 feet; thence North 48°19'29" East, for a distance of 123.66 feet; thence North 41°34'46" East, for a distance of 8.72 feet; thence North 54°39'30" East, for a distance of 55.45 feet; thence North 82°49'52" East, for a distance of 71.65 feet; thence North 87°57'20" East, for a distance of 48.19 feet; thence South 89°36'23" East, for a distance of 113.82 feet; thence South 80°54'22" East, for a distance of 9.76 feet, to an intersection with the east line of Government Lot 2, Section 2; thence North 01°33'05" West, along said east line, for a distance of 506.71 feet, to a point of intersection with the south line of the North Half of said Section 2; thence South 89°37'04" West, along said South line of the North half Section 2, for a distance of 1,314.05 feet, to the West 1/4 corner of said Section 2; thence North 00°49'27" West, along said west line of section 2, for a distance of 2,017.60 feet, to the POINT OF BEGINNING; Less and except parcel containing 43.49 acres, more or less, conservation easement contains net 55.15 acres more or less.

OR: 3297 PG: 2051

Description: Parcel "B" (Conservation Easement Containing 2.00 Acres)

A portion of the southwest one-quarter of section 35, Township 49 South, Range 25 East, Collier County, Florida, being more particularly described as follows:

Commence at the West one-quarter corner of section 35, Township 49 South, Range 25 East, Collier County, Florida; thence South 00°05'10" East, along the West Line of said Section 35, for a distance of 1,980.61 feet; thence North 89°54'50" East, for a distance of 60.00 feet; thence South 00°05'10" East, for a distance of 186.60 feet, to the POINT OF BEGINNING of the herein described parcel; thence South 56°06'04" East, a distance of 9.27 feet; thence South 79°33'27" East, a distance of 35.95 feet; thence North 86°18'50" East, a distance of 26.90 feet; thence North 77°38'52" East, a distance of 28.94 feet; thence North 51°34'19" East, a distance of 17.62 feet; thence South 86°09'03" East, a distance of 86.36 feet; thence South 61°59'54" East, a distance of 14.31 feet; thence South 66°37'26" East, a distance of 38.74 feet; thence South 50°55'06" East, a distance of 24.94 feet; thence South 62°00'22" East, a distance of 20.37 feet; thence South 49°39'39" East, a distance of 25.85 feet; thence South 16°25'45" East, a distance of 122.26 feet; thence South 14°38'36" West, a distance of 5.60 feet; thence South 15°29'53" East, a distance of 24.66 feet; thence South 19°48'59" West, a distance of 29.76 feet; thence South 55°42'29" West, a distance of 19.89 feet; thence South 69°57'45" West, a distance of 33.14 feet; thence South 81°04'46" West, a distance of 32.20 feet; thence South 52°12'32" West, a distance of 44.37 feet; thence South 59°22'44" West, a distance of 30.79 feet; thence North 59°37'26" West, a distance of 29.75 feet; thence South 83°46'18" West, a distance of 21.77 feet; thence North 75°37'31" West, a distance of 31.67 feet; thence North 85°08'24" West, a distance of 44.06 feet; thence South 77°01'59" West, a distance of 31.96 feet; thence North 88°21'19" West, a distance of 25.30 feet; thence North 50°51'42" West, a distance of 17.24 feet; thence North 00°05'10" West, for a distance of 278.89 feet; to the POINT OF BEGINNING; Containing 2.00 acres, more or less.

*** OR: 3297 PG: 2062 ***

Description: Parcel "C" (Conservation Easement Containing 3.97 Acres)

A portion of the Southwest one-quarter of Section 35, Township 49 South, Range 25 East, Collier County, Florida, being more particularly described as follows:

Beginning at the West one-quarter corner of Section 35, Township 49 South, Range 25 East, Collier County, Florida; thence North 89°34'17" East, along the the North Line of the South one-half of said Section 35, for a distance of 67.73 feet; thence South 48°16'37" East, a distance of 27.81 feet; thence South 83°00'30" East, a distance of 48.30 feet; thence East, a distance of 29.96 feet; thence South 83°59'05" East, a distance of 75.13 feet; thence South 61°12'26" East, a distance of 58.96 feet; thence South 24°16'06" East, a distance of 26.34 feet; thence South 42°48'06" West, a distance of 40.31 feet; thence South 44°07'55" West, a distance of 93.08 feet; thence South 26°47'02" West, a distance of 82.16 feet; thence South 01°42'58" West, a distance of 87.10 feet; thence South 09°30'45" West, a distance of 70.89 feet; thence South 00°48'31" East, a distance of 49.57 feet; thence South 20°00'37" East, a distance of 50.25 feet; thence South 21°23'06" West, a distance of 78.24 feet; thence South 87°23'43" West, a distance of 89.68 feet; thence South 21°12'48" West, a distance of 41.91 feet; thence South 58°53'44" East, a distance of 143.01 feet; thence South 52°44'24" East, a distance of 234.73 feet; thence South 25°20'04" West, a distance of 22.49 feet; thence North 89°17'23" West, a distance of 252.99 feet; thence South 50°04'09" West, a distance of 35.96 feet; thence South 16°06'19" West, a distance of 134.56 feet; thence South 42°47'38" West, a distance of 36.62 feet to a point of intersection with the west line of said Section 35; thence North 00°05'10" West, along said west line, for a distance of 1,036.07 feet, to the POINT OF BEGINNING; containing 3.97 acres, more or less.

EXHIBIT B – PASSIVE RECREATIONAL FACILITIES PREMISES

(Attach the legal description of this area as Exhibit “B”)



FLORIDA DEPARTMENT OF NATURAL RESOURCES

GORDON RIVER EAST EASEMENT "A"
(within Conservation Easement)

Located in Section 3, Township 50 South, Range 25 East, Collier County, Florida

All that part of Section 3, Township 50 South, Range 25 East, Collier County, Florida being more particularly described as follows:

COMMENCING at the southeast corner of the Northeast 1/4 of Section 3, Township 50 South, Range 25 East, Collier County, Florida;

thence along the east line of said Northeast 1/4 of Section 3 N.0°49'27"W for 1356.17 feet;

thence S.89°10'33"W. for 414.81 feet to the beginning of a non-tangential curve;

thence southwesterly 12.61 feet along the arc of a non-tangential circular curve concave to the northwest, having a radius of 75.00 feet, through a central angle of 09°37'54" and being subtended by a chord which bears S.72°59'18"W. for a distance of 12.59 feet;

thence S.77°48'15"W. for a distance of 24.64 feet to the beginning of a curve;

thence southwesterly 53.84 feet along the arc of a circular curve concave to the southeast, having a radius of 157.00 feet, through a central angle of 19°39'00" and being subtended by a chord which bears S.67°58'45"W. for a distance of 53.58 feet;

thence S.58°09'15"W. for a distance of 2.21 feet to the westerly line of those lands as described in Official Record Book 3297, Page 2054, Public Records of Collier County, Florida and the Point of Beginning of the Parcel herein described;

thence continue S.58°09'15"W. for a distance of 47.70 feet to the beginning of a curve;

thence southwesterly and westerly 51.98 feet along the arc of a circular curve concave to the northwest, having a radius of 59.00 feet, through a central angle of 50°28'51" and being subtended by a chord which bears S.83°23'40"W. for a distance of 50.32 feet;

thence N.71°21'54"W. for a distance of 0.89 feet to the beginning of a curve;

thence westerly 33.66 feet along the arc of a circular curve concave to the south, having a radius of 91.00 feet, through a central angle of 21°11'41" and being subtended by a chord which bears N.81°57'45"W. for a distance of 33.47 feet;

thence S.87°26'25"W. for a distance of 47.10 feet to the Mean High Water line of the Gordon River as located on September 16, 2014 along the 0.47 foot (NAVD 88) contour line;

thence along said Mean High Water line N.21°46'56"E. for a distance of 7.84;

thence continue along said Mean High Water line N.23°07'10"E. for a distance of 12.05 feet;

thence N.87°26'25"E. for a distance of 38.64 feet to the beginning of a curve;

thence easterly 33.66 feet along the arc of a circular curve concave to the south, having a radius of 109.00 feet, through a central angle of 21°11'41" and being subtended by a chord which bears S.81°57'45"E. for a distance of 40.99 feet;

thence S.71°21'54"E. for a distance of 0.89 feet to the beginning of a curve;

thence easterly and northeasterly 36.12 feet along the arc of a circular curve concave to the northwest, having a radius of 41.00 feet, through a central angle of 50°28'51" and being subtended by a chord which bears N.83°23'40"E. for a distance of 34.97 feet;



ENGINEERING SURVEYING SERVICES, INC.

thence N.58°09'15"E. for a distance of 49.91 feet to the beginning of a curve;
thence northeasterly 5.17 feet along the arc of a circular curve concave to the southeast, having a
radius of 175.00 feet, through a central angle of 01°41'34" and being subtended by a chord which
bears N.59°00'02"E. for a distance of 5.17 feet to the aforesaid westerly line of those lands as
described in Official Record Book 3297, Page 2054, Public Records of Collier County, Florida;
thence along said westerly line S.09°28'15"E. for a distance of 19.38 feet to the Point of
Beginning of the Parcel herein described:

Parcel contains 3173 square feet, more or less;

Bearings are based on the east line of the northeast 1/4 of Section 3, Township 50 South, Range 25 East,
Collier County, Florida being N.0°49'27"W.

Subject to easements, restrictions and reservations of record;

Prepared by:

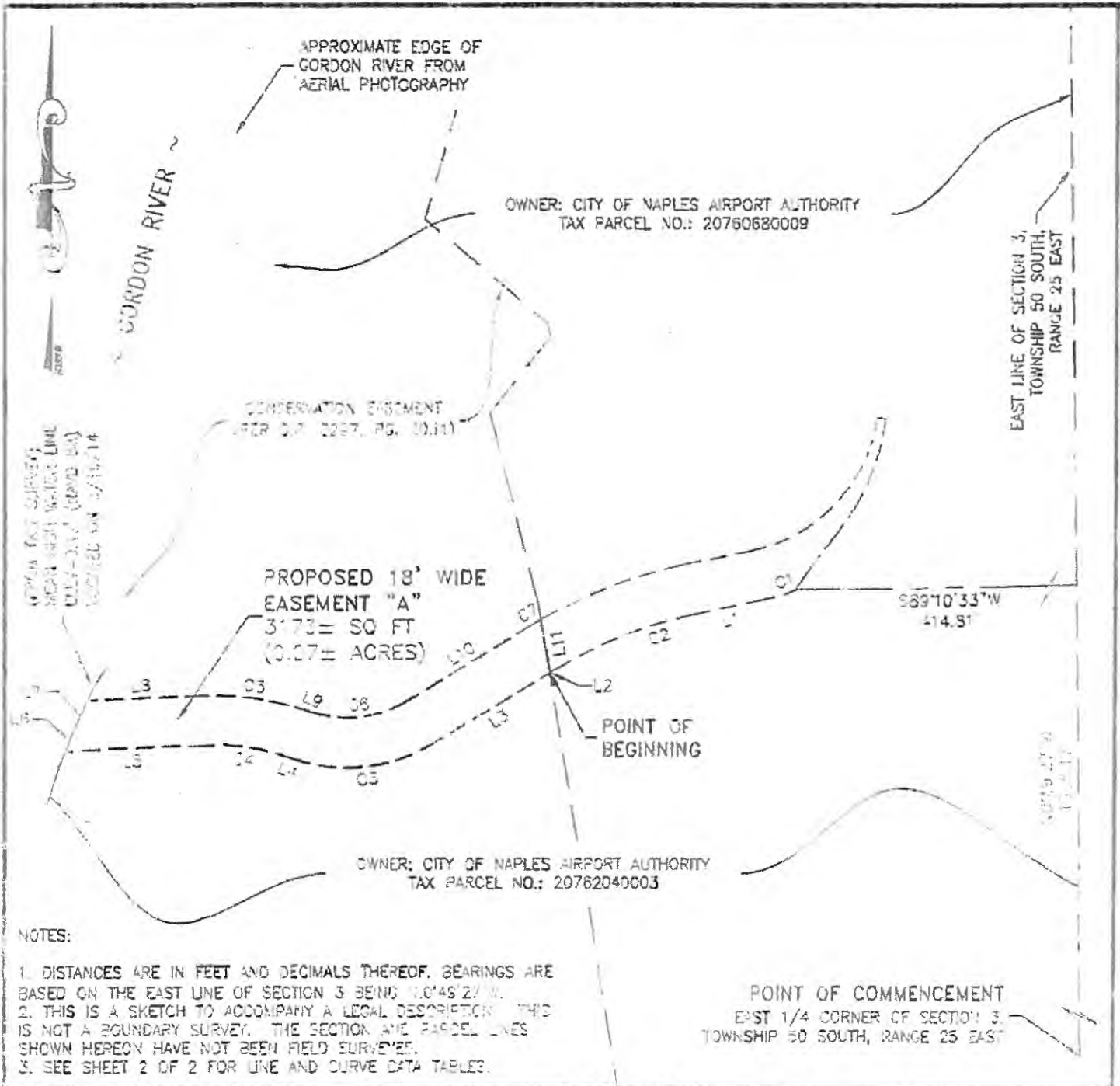
E.F. Gaines Surveying Services, Inc.

Elizabeth F. Gaines, PSM
Florida License No. 4576

4/13/15
Date

Not valid without the signature and original raised seal of the above named Florida Professional
Surveyor and Mapper

Sketch: EFG Drawing No. 0619-002



GORDON RIVER EAST EASEMENT "A"
(WITHIN CONSERVATION PROPERTY)

This is a sketch to accompany a legal description (see attached) of a proposed easement located in Section 3, Township 50 South, Range 25 East, Collier County, Florida.

Elizabeth F. Gaines

Elizabeth F. Gaines, PSM
FL License No. 13-4376

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE ABOVE NAMED FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.

Issue Date: 11/13/2015

Field Date: N/A

Checked: EFG

Drawn: EFG

Field: N/A

Scale: 1"=50'

Project No.: 0619

CAD File: 0619-002

Sheet No. 1 of 2

Parcel Line Table		
Line #	Length	Direction
L1	24.64'	S77°48'15"W
L2	2.21'	S58°09'15"W
L3	47.70'	S58°09'15"W
L4	0.89'	N71°21'54"W
L5	47.10'	S87°26'25"W
L6	7.84'	N21°46'56"E
L7	12.05'	N23°07'10"E
L8	38.64'	N87°26'25"E
L9	0.89'	S71°21'54"E
L10	49.91'	N58°09'15"E
L11	19.38'	S9°28'15"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	12.61'	75.00'	9°37'54"	S72°59'18"W	12.59'
C2	53.84'	157.00'	19°39'00"	S67°58'45"W	53.58'
C3	51.98'	59.00'	50°28'51"	N83°23'40"E	50.32'
C4	33.66'	91.00'	21°11'41"	N81°57'45"W	33.47'
C5	40.32'	109.00'	21°11'41"	S81°57'45"E	40.09'
C6	36.12'	41.00'	50°28'51"	N83°23'40"E	34.97'
C7	5.17'	175.00'	1°41'34"	N59°00'02"E	5.17'

GORDON RIVER EAST EASEMENT "A"
(WITHIN CONSERVATION EASEMENT)

Issue Date: 11/13/2015

Field Date: N/A

Checked: EFG

Drawn: EFG

Field: N/A

Scale: 1"=50'

Project No.: 0619

CAD File: 0619-002

Sheet No. 2 of 2

LINE AND CURVE DATA TABLES
(SEE SHEET 1 OF 2 FOR CORRESPONDING LINE WORK)

CITY OF NAPLES PLANS FOR PROPOSED BRIDGE AND BOARDWALK IMPROVEMENTS GORDON RIVER CONNECTOR BRIDGE AND BOARDWALKS

CLERK TRACKING No. 15-01237

BRIDGE AND BOARDWALK PLANS COLLIER COUNTY, FLORIDA

INDEX OF PLANS

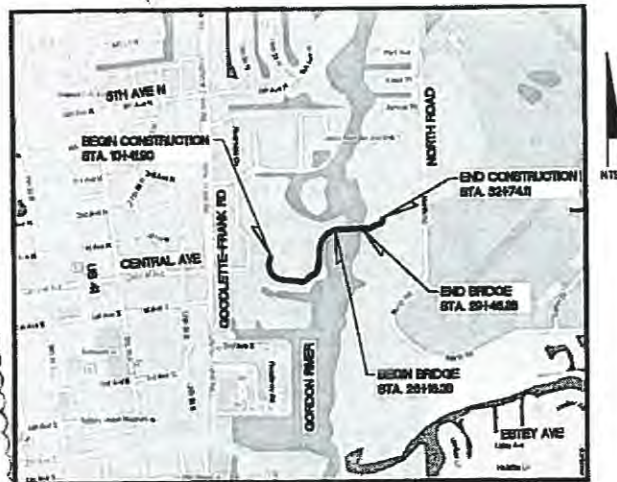
SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2	SUMMARY OF PAY ITEMS
3	TYPICAL SECTIONS
4	GENERAL NOTES
5	PROJECT LAYOUT
6-8	PLAN AND PROFILE
9-11	CROSS-SECTIONS
12	CONSTRUCTION DETAILS
L1 - L4	LIGHTING

INDEX OF BRIDGE PLANS

SHEET NO.	SHEET DESCRIPTION
B-1	GENERAL NOTES
B-2	PLAN AND ELEVATION (1 OF 2)
B-3	PLAN AND ELEVATION (2 OF 2)
B-4	FOUNDATION LAYOUT (1 OF 2)
B-5	FOUNDATION LAYOUT (2 OF 2)
B-6 THRU B-8	REPORT OF TEST BORINGS
B-9	PILE DATA TABLE
B-10	PILE ELEVATION TABLE
B-11	BOARDWALK TYPICAL SECTION
B-12	BOARDWALK PARTIAL PLAN AND ELEVATION
B-13	BOARDWALK END BENT DETAILS
B-14	BOARDWALK APPROACH SLABS
B-15	BOARDWALK APPROACH SLABS
B-16	BRIDGE TYPICAL SECTION (1 OF 2)
B-17	BRIDGE TYPICAL SECTION (2 OF 2)
B-18	PAVILION DECK DETAILS
B-19	BENTS 1 & 5 DETAILS
B-20	BENTS 1 & 3 DETAILS
B-21	BENTS 2 & 3
B-22	BENTS 2 & 3 DETAILS
B-23	BENTS 4
B-24	BENTS 4 DETAILS
B-25	PRE-STRESSED BEAM TABLE
B-26	AASHTO TYPE III BEAM DETAILS (SPANS 1 & 2)
B-27	AASHTO TYPE III BEAM DETAILS (SPANS 3 & 4)
A1.1	PAVILION ARCHITECTURAL SHEET
20.1 THRU 21.1	PAVILION STRUCTURAL SHEETS

GOVERNING STANDARDS, SPECIFICATIONS, PERMITS AND AGREEMENTS

- A. FLORIDA DEPARTMENT OF TRANSPORTATION, FY2016-17 DESIGN STANDARDS EBOOK (DSEB) AND APPLICABLE DESIGN STANDARDS REVISIONS (DSRs) AT THE FOLLOWING WEBSITE:
<http://www.fdot.gov/roadway/DesignStandards/Standards.shtm>
- FLORIDA DEPARTMENT OF TRANSPORTATION, JULY 2016 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WEBSITE:
<http://www.fdot.gov/programmanagement/implemented/SpecBooks>
- B. SOUTH FLORIDA WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMITTING (ERP) INFORMATION MANUAL, LATEST EDITION.
- C. CITY OF NAPLES UTILITY STANDARDS MANUAL, LATEST EDITION.
- D. PERMITS
 1. U.S. ARMY CORPS OF ENGINEERS (CORPS)
PERMIT NO. SAJ-2016-00530 (NW-ACM)
 2. FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT NO. 11-0341307-001
EASEMENT NO. 110239785 (41905)
 3. SOUTH FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE PERMIT NO. 11-01743-P
 4. U.S. COAST GUARD - P(6-18-7)
- E. AGREEMENTS
 1. MEMORANDUM OF UNDERSTANDING BETWEEN CITY OF NAPLES, CONSERVANCY OF SOUTHWEST FLORIDA, INC. AND CITY OF NAPLES AIRPORT AUTHORITY FOR THE GORDON RIVER GREENWAY EAST BOARDWALK SECTION, DATED JUNE 1, 2016.
 2. AMENDMENT OF CORRECTIVE DEED OF CONSERVATION EASEMENT, DATED JANUARY 2017.



LOCATION MAP



REVISIONS	
DATE	DESCRIPTION
2017	MAJ A SHEETS 1, 8-1, 8-2, 8-3, 8-4, 8-10, 8-11



VICINITY MAP

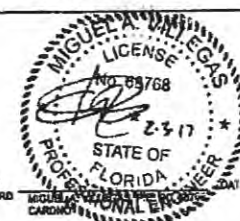
PLANS PREPARED BY:

Cardno 300 Park Place Blvd, Suite 300, Clearwater, Florida, 33759
www.cardno.com - 727.631.3505
Certificate of Authorization No. 29915

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

Final Plans

JANUARY, 2017



BRIDGE & BOARDWALK PLANS
ENGINEER OF RECORD
MIGUEL A. VALLEJOS
CARDNO

UTILITY WARNING NOTE

ABOVE GROUND AND / OR UNDERGROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT - PROCEED WITH CAUTION - THE CONTRACTOR SHALL CALL SUNSHINE STATE "ONE CALL" AT 1-800-432-4770 AND THE UTILITY OWNERS IN ADVANCE OF BEGINNING WORK, IN ACCORDANCE WITH CHAPTER 556, FLORIDA STATUTES.

FISCAL YEAR	SHEET NO.
16	1

SUMMARY OF PAY ITEMS

ITEM NO.	ITEM	UNIT	QUANTITY
ROADWAY			
101-1	MOBILIZATION	LS	-
102-1	MAINTENANCE OF TRAFFIC	LS	-
104-10-3	SEDIMENT BARRIER	LF	-
104-11	FLOATING TURBIDITY BARRIER	LF	-
104-12	STAKED TURBIDITY BARRIER	LF	-
104-15	SOIL TRACKING PREVENTION DEVICE	EA	-
104-18	INLET PROTECTION SYSTEM	EA	-
110-1-1	CLEARING & GRUBBING	LS	-
120-1	REGULAR EXCAVATION	CY	-
120-6	EMBANKMENT	CY	-
283-701	OPTIONAL BASE GROUP I	SY	-
334-1-12	SUPERPAVE ASPHALTIC CONC., TRAFFIC B	TN	-
519-78	BOLLARDS	EA	-
570-1-2	PERFORMANCE TURF, 500	SY	-
LIGHTING			
830-2-11	CONDUIT, UNDERGROUND (F&I)	LF	-
830-2-14	CONDUIT, ABOVEGROUND (F&I)	LF	-
830-2-15	CONDUIT, BRIDGEMOUNT (F&I)	LF	-
834-8-1	MESSANGER WIRE (1/4") (F&I)	LF	-
835-2-11	PULL BOX (F&I)	EA	-
843-1	GUYING WOOD STRAIN POLES	EA	-
843-130	WOOD STRAIN POLES (30') (F&I)	EA	-
715-1-11	LIGHTING CONDUCTORS (# 10) (F&I)	LF	-
715-1-12	LIGHTING CONDUCTORS (#8) (F&I)	LF	-
715-1-18	LIGHTING CONDUCTORS (# 4/0) (F&I)	LF	-
715-4-019	LIGHT POLE COMPLETE (CUSTOM) (F&I)	EA	-
715-11-2	LUMINAIRE, PAVILION LIGHT (DO NOT BID)	EA	-
715-11-7	LUMINAIRE, NAVIGATION LIGHT (F&I)	EA	-
715-11-9	LUMINAIRE, BRIDGE HANDRAIL LIGHTING (DO NOT BID)	EA	-
715-11-11	LOAD CENTER (SECONDARY) (F&I) (120/240 V. 50 AMP)	EA	-
999-99	ELECTRICAL DUPLEX OUTLET (F&I)	EA	-
MISCELLANEOUS			
899-999	SIGNED AND SEALED AS-BUILT RECORD DRAWINGS	EA	-

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

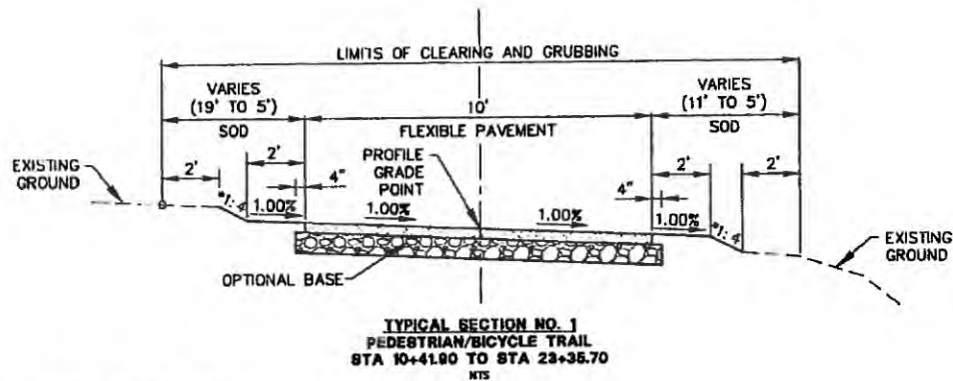
**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**



DESIGNED	BAR
DRAWN	TJB
CHK	
APPROVED	

SUMMARY OF PAY ITEMS

PROJECT NO.	00026078.00
DATE	12/18/2018
SHEET NO.	2

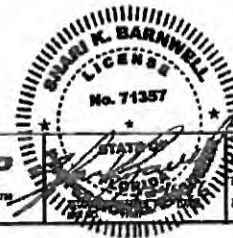


**TYPICAL SECTION NO. 1
PEDESTRIAN/BICYCLE TRAIL
STA 10+41.80 TO STA 23+35.70
RTS**

* SEE CROSS SECTIONS FOR SIDE SLOPES (NON-TYPICAL)

**PAVEMENT DETAIL
OPTIONAL BASE GROUP 1 (8" LIMEROCK BASE)
1-1/2" SUPERPAVE ASPHALTIC CONC., TRAFFIC B**

PATH SPEED = 18 MPH



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**



TYPICAL SECTIONS

PROJECT NO.	00028070.00
DATE	12/18/2016
SHEET NO.	3

GENERAL NOTES

1. ALL STATIONS AND OFFSETS REFER TO B/L OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FIELD VERIFY ANY AND ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER PROMPTLY OF ANY DISCREPANCIES.
3. THE CONTRACTOR SHALL FIELD VERIFY ANY AND ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER PROMPTLY OF ANY DISCREPANCIES.
4. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME THESE DRAWINGS WERE PREPARED, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION, DIMENSION AND EXTENT OF ALL UNDERGROUND AND OVERHEAD FACILITIES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO PROCEEDING WITH ANY CONSTRUCTION ACTIVITY THAT MAY AFFECT SUCH FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION OF CONSTRUCTION SCHEDULING BETWEEN THE CONTRACTOR AND ALL UTILITY OWNERS. THIS INCLUDES MEETING WITH UTILITY AGENCIES PRIOR TO THE PRE-CONSTRUCTION CONFERENCE TO ADJUST THEIR SCHEDULES TO COINCIDE WITH THE CONTRACTOR'S CONSTRUCTION SCHEDULE.
6. EXCEPT WHERE THE PLANS AND SPECIFICATIONS PROVIDE THAT SUCH WORK SHALL BE PERFORMED UNDER THE CONTRACT FOR THIS PROJECT, ALL UTILITIES INTERFERING WITH CONSTRUCTION SHALL BE RELOCATED, RELOCATED OR ADJUSTED BY THEIR OWNERS, AT THEIR EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RELATED STRUCTURES. THE FOLLOWING UTILITIES MAY HAVE LINES AND FACILITIES WITHIN THE PROJECT AREA:
 - 1) CENTRAL I&E
 - 2) CITY OF NAPLES
 - 3) COLLIER COUNTY TRAFFIC OPERATIONS
 - 4) COLLIER COUNTY TRAFFIC OPERATIONS
 - 5) COLLIER COUNTY STAKE & LOCATES
 - 6) COMCAST
 - 7) FLORIDA POWER & LIGHT
 - 8) FPL FIBERNET, LLC
 - 9) SUMMIT BROADBAND
 - 10) TECO PEOPLES GAS
7. CALL SUNSHINE AT (800) 432-4770 2 FULL BUSINESS DAYS IN ADVANCE FOR UTILITY LOCATES. ALL UTILITY OWNERS MAY NOT BE A MEMBER, REQUIRING DIRECT CONTACT. THE CONTRACTOR SHALL FURTHER COORDINATE WITH UTILITY OWNERS TO RESOLVE CONFLICTS THAT MAY ARISE IN THE FIELD DURING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S FAILURE TO CALL "SUNSHINE STATE ONE CALL" AND THE UTILITY OWNERS.
8. ALL EXISTING AND PROPOSED UTILITY AND STORM SEWER STRUCTURES WHOSE TOPS WILL BE EXPOSED WITHIN ANY TRAIL OR PAVED AREA SHALL BE ADJUSTED SO THAT THE TOP SURFACE OF COVERS OR FRAMES SHALL BE FLUSH WITH THE SIDEWALK OR PAVEMENT SURFACE. ALL EXISTING AND PROPOSED UTILITY AND STORM SEWER STRUCTURES WHOSE TOPS WILL BE EXPOSED WITHIN UNPAVED AREAS SUBJECT TO VEHICULAR, BICYCLE, OR PEDESTRIAN TRAFFIC SHALL BE ADJUSTED SO THAT THE TOP SURFACE OF COVERS OR FRAMES SHALL BE NO MORE THAN ONE FOOT ABOVE THE FINISHED GRADE. WHERE SODDING IS APPLIED, FINISHED GRADES SHALL BE THE NOMINAL HEIGHT OF GRASS AFTER THE SOO IS FINELY PLACED.
9. THE CONTRACTOR SHALL HAVE A FOREMAN, OR RESPONSIBLE PARTY, ON SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. ALL WORKERS ON THE JOB SITE WILL BE COORDINATE TO THE PUBLIC AT ALL TIMES, AND SHALL REFER ANY QUESTIONS OR CONCERNS TO THE CONTRACTOR'S FOREMAN OR THE ENGINEER. THE FOREMAN SHALL SPEAK AND UNDERSTAND ENGLISH AND SHALL BE AVAILABLE AT ALL TIMES FOR TIMELY RESOLUTION OF PROJECT-RELATED ISSUES.
10. ALL EXISTING STORM PIPES WITHIN THE AFFECTED RIGHT-OF-WAY CORRIDOR ARE TO REMAIN UNLESS OTHERWISE NOTED IN THE PLAN VIEW OR IN THE CROSS SECTIONS TO BE REMOVED.

GENERAL NOTES-CONTINUED

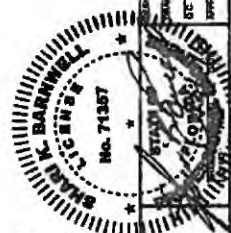
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE RESTORATION EFFORTS THAT MAY BE REQUIRED AS A RESULT OF CONSTRUCTION. THE CONTRACTOR SHALL USE WATERED METHODS, CONFORMING TO APPLICABLE STATE REGULATIONS, TO PREVENT EROSION AND SILTATION AS MAY BE REQUIRED FOR THE PROJECT.
12. ALL EROSION CONTROL FENCES, BARRIERS, AND SILTATION DEVICES SHALL BE ERRECTED PRIOR TO ANY LAND ALTERATIONS, SHALL BE MAINTAINED IN GOOD WORKING ORDER DURING CONSTRUCTION, AND REMOVED FOLLOWING SOIL STABILIZATION AND FINAL DRESSING. BUILT-UP SODDING WILL BE REMOVED FROM SILT FENCES AND STAKED TURBIDITY BARRIERS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE/BARRIER. STODDIPLE AREAS SHALL INCLUDE SILT FENCE AROUND THE PERIMETER.
13. THE CONTRACTOR SHALL NOT RESTRICT OR BLOCK THE EXISTING DRAINAGE FLOW OVERLAND OR WITHIN THE RESHAPED SLOPE. FLOW WITHIN EXISTING DRAINAGE PIPES SHALL BE MAINTAINED AT ALL TIMES. STORMWATER WILL BE CONVEYED VIA EXISTING SWALES, DITCHES, PROPOSED DITCHES, AND EXISTING AND PROPOSED STORM SEWERS.
14. CONTRACTOR SHALL CHECK ALL EROSION AND SILTATION CONTROL DEVICES WEEKLY, AND AFTER EACH RAINFALL AND WINDY AND WINDY AS REQUIRED. MAINTENANCE RECORDS OF THE CONTROL AND MAINTENANCE OF EROSION AND WATER POLLUTION CONTROL SHALL BE INCLUDED IN THE COST OF PAY ITEMS LISTED.
15. ALL AREAS OF EXPOSED EARTH RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE SODDED AS DIRECTED BY THE ENGINEER. SEEDING AND MULCHING SHALL BE APPLIED ONLY WHERE SPECIFICALLY CALLED FOR IN THE PLANS, OR WHERE SPECIFICALLY DIRECTED BY THE ENGINEER.
16. UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED ON-SITE AS DIRECTED BY THE ENGINEER. ANY GARBAGE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE.
17. BORROW MATERIAL REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PROVIDED BY THE CONTRACTOR, FROM BORROW AREAS PROVIDED BY THE CONTRACTOR.
18. THE CONTRACTOR SHALL EMPLOYERS TO PROTECT PRIVATE PROPERTY. ANY PRIVATELY OWNED FEATURES LOCATED ON PRIVATE PROPERTY AND OUTSIDE THE DESIGNATED AREA OF CONSTRUCTION WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED IN A TIMELY MANNER AT THE EXPENSE OF THE CONTRACTOR. PAYMENT SHALL NOT BE MADE FOR THIS WORK.
19. THE CONTRACTOR SHALL DISTURB NO MORE GROUND THAN WHAT IS NECESSARY FOR THE CONSTRUCTION. NO OPEN EXCAVATED TRENCH, OR OTHER UNSAFE CONDITION, WILL BE LEFT OPEN. ALL WORK SITES WILL BE CLOSED TO THE PUBLIC AND TRAFFIC AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTY AND SHALL INCLUDE REINFORCING FORMS, FILLING HOLES, GRADING, AND REMOVAL OF DEBRIS.
20. UPON WRITTEN APPROVAL FROM CITY, THE CONTRACTOR MAY CLOSE TO THROUGH-TRAFFIC THAT PORTION OF SIDE STREETS WITHIN THE LIMITS OF CONSTRUCTION. ACCESS FOR LOCAL TRAFFIC WITH DESTINATIONS WITHIN THE PROJECT LIMITS SHALL BE MAINTAINED. IF IT BECOMES NECESSARY DURING CONSTRUCTION FOR LOCAL TRAFFIC TO OCCASION, NOTIFY ALL AFFECTED PROPERTY OWNERS AND AREA EMERGENCY SERVICES AT LEAST THREE DAYS (72 HOURS) IN ADVANCE.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE STAKE-OUT OF THE PROJECT, I.E., LINE, GRADE, SLOPE, UTILITY RELOCATIONS OR ANY OTHER STAKE-OUT THAT MAY BE REQUIRED TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE PLANS. ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR OTHER ITEMS. NO ADDITIONAL PAYMENT SHALL BE MADE FOR THIS WORK.
22. ANY DAMAGE TO STATE, COUNTY, OR LOCAL ROADS CAUSED BY THE CONTRACTOR'S HAULING OR EXCAVATION EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER. PAYMENT SHALL NOT BE MADE FOR THIS WORK.

GENERAL NOTES-CONTINUED

23. ANY U.S.C. AND C.S. VIOLATION WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHALL NOTIFY:
 - DIRECTOR, CHARTING AND GEODETTIC SERVICES
 - 6001 EXECUTIVE BLVD
 - ATM CITY
 - ROCKVILLE, MARYLAND 20853
 - PHONE: (301) 443-8319
24. ANY WATER WELLS FOUND WITHIN THE LIMITS OF PROPOSED RIGHT-OF-WAY SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REFER TO THE FOLLOWING LOCAL ORDINANCES, WHICH ALSO REFER TO 400-10.301(1)(f) F.A.C. THE COST OF ABANDONING ANY WELLS SHALL BE INCLUDED IN THE COST OF CLEARING AND GRUBBING.
25. AT LEAST 21 DAYS PRIOR TO THE COMMENCEMENT OF ANY DOWATERING ACTIVITY, THE CONTRACTOR SHALL SUBMIT A DOWATERING PLAN TO THE CITY AND TO THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT. THE DOWATERING PLAN SHALL INCLUDE DESCRIPTIONS AND GRAPHS AS NEEDED TO IDENTIFY THE LOCATION OF THE DOWATERING SITES AND THE SEDIMENT PUMP, DETAILED DISCHARGE METHODS OF ISOLATING THE DOWATERING AREAS, FLOW PATH AND POINTS OF DISCHARGE OF THE WATER. THIS PLAN SHALL INCLUDE DESIGN COMPUTATIONS, LAYOUT, TYPE, AND SPACING OF DOWATERING DEVICES, NUMBER AND SIZE OF PUMPS AND OTHER EQUIPMENT, WITH A BASIS OF DESIGN. THE PLAN SHALL BE CONTROLLED TO PREVENT EROSION, UNDERMINING, AND ALL OTHER DAMAGE, AND BE PIPED TO APPROVED LOCATIONS.
26. DURING DOWATERING OPERATIONS, THE CONTRACTOR SHALL NOT DISCHARGE DIRECTLY TO RECEIVING WATERS, EXISTING CONDUITS, OR SILLIATION REDUCTION DEVICES SHALL BE UTILIZED TO COLLECT THE DISCHARGE FROM DOWATERING DEVICES TO ELIMINATE THE POTENTIAL FOR OFFSITE SEDIMENT TRANSPORT AND TO ENSURE THAT DIRECT DISCHARGE DOES NOT OCCUR.
27. THE CONTRACTOR SHALL COMPLY WITH ANY AND ALL APPLICABLE REGULATIONS GOVERNING THE DISCHARGE OF WATERS OR POLLUTANTS TO RECEIVING WATERS. DISCHARGE PERMITS MAY BE REQUIRED FOR DOWATERING. REFER TO 400-4-.301(1) (E), F.A.C.
28. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION AND EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT.
29. THE CONTRACTOR SHALL SUE OUT EXISTING PAVEMENT JOINTS AT ALL PROPOSED DRIVEWAY AND SIDEWALK CONNECTIONS.
30. THE APPROVED EMBANKMENT OF THE EAST BOUNDARY.

PAY ITEM NOTES

1. 102-11: MAINTENANCE OF BOAT TRAFFIC MUST MEET HOOD PERMIT.
2. 890-995: SIGNED AND SEALED RECORD DRAWINGS. AS A CONDITION PRECEDENT TO FINAL ACCEPTANCE OF THE PROJECT, SUBMIT TO THE ENGINEER THREE COPIES OF AS-BUILT DRAWINGS AND A CERTIFIED SURVEY VERIFYING THE AS-BUILT CONDITIONS OF THE PROJECT. THE AS-BUILT DRAWINGS AND THE AS-BUILT SURVEY MUST BE SIGNED AND SEALED.



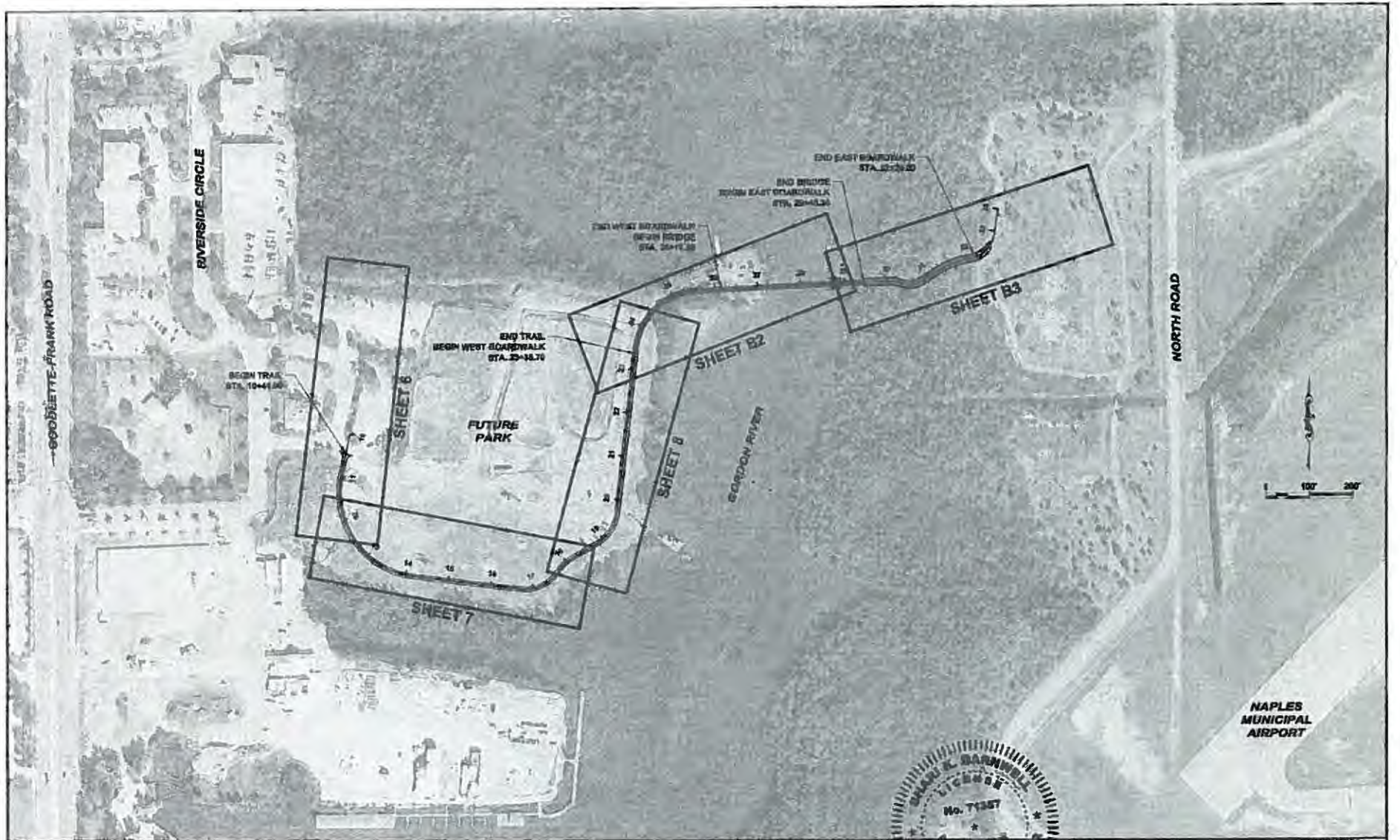
GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK

CITY OF NAPLES

NO.	DESCRIPTION	BY	DATE

PROJECT NO.	0008070100
DATE	12/16/2015
SHEET NO.	4

GENERAL NOTES



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

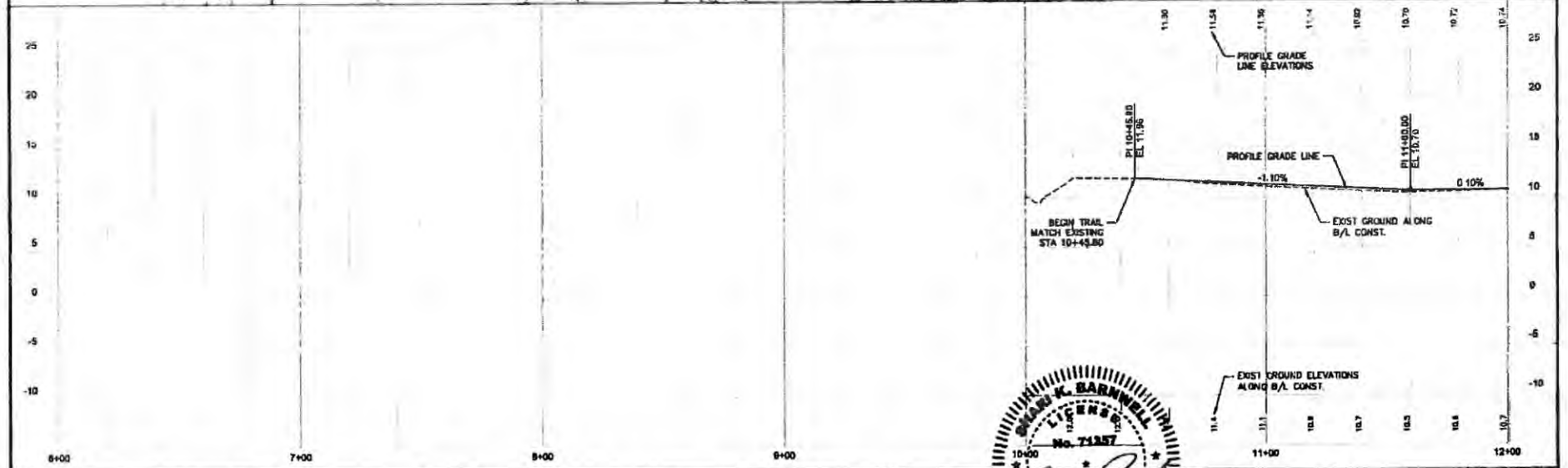
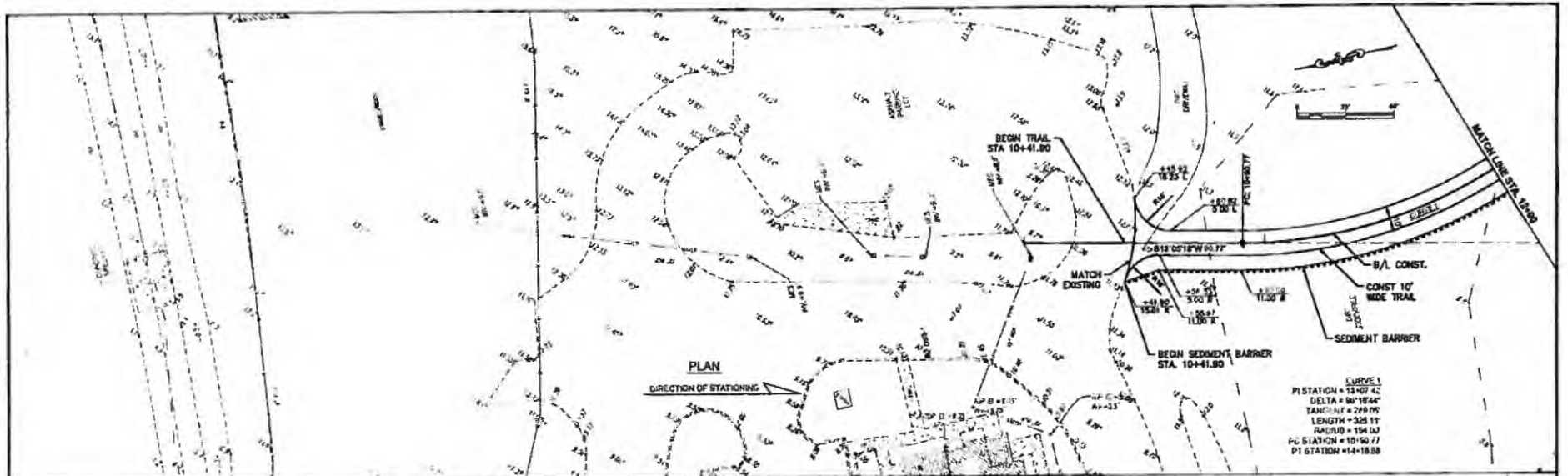
Cardno
 380 Park Plaza Blvd., Suite 205, Collier County, Florida 34116
 www.cardno.com • 732.871.5405
 Certificate of Authorization No. 20018

SHARLEK BARNWELL
 LICENSE
 No. 71357
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 License No. 71357

REVISION	NO.	DATE	BY

PROJECT LAYOUT

PROJECT NO. 00028070.D0
 DATE 12/18/2018
 SHEET NO. 6



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

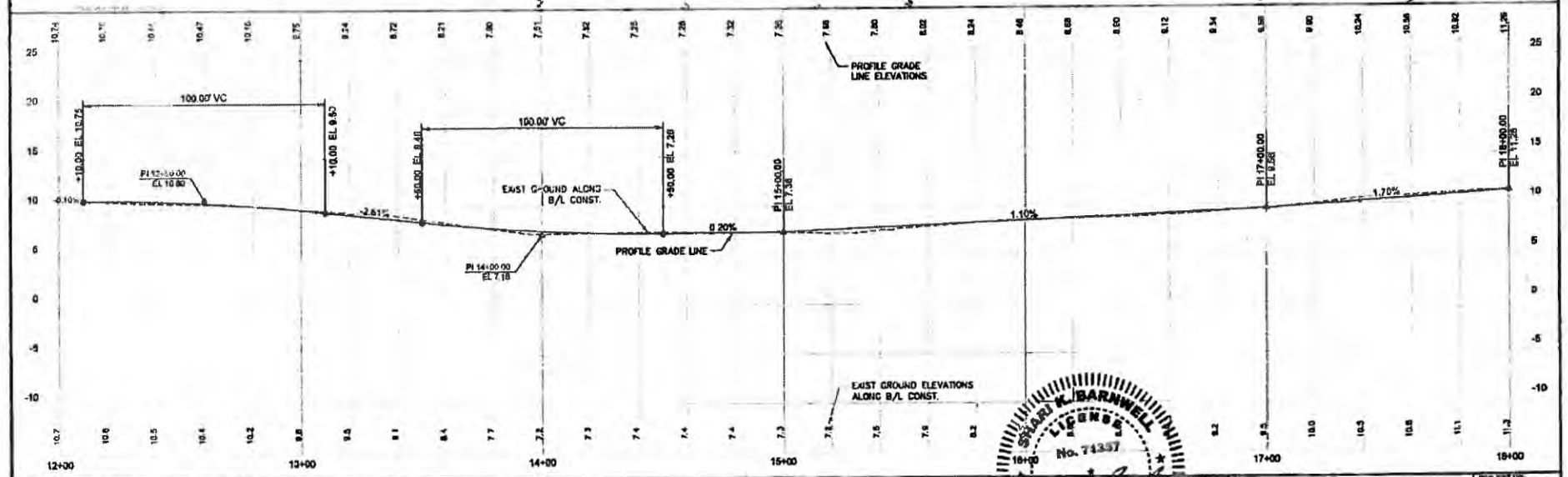
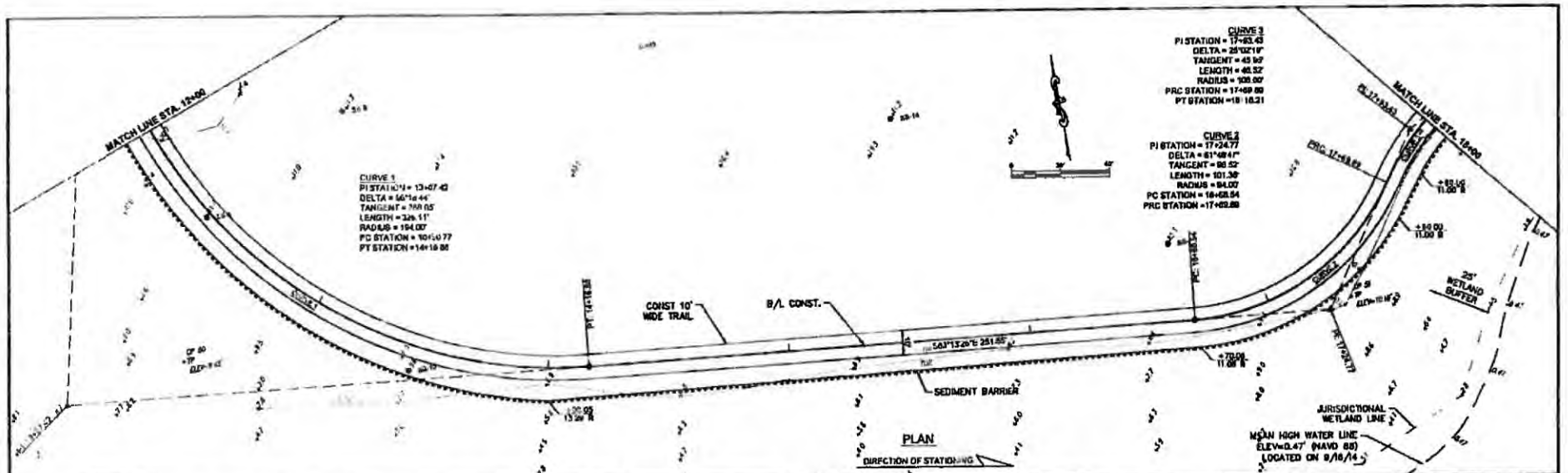
**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**



DESIGNED	MR
CHECKED	LR
APPROVED	BR

PLAN AND PROFILE (1)

PROJECT NO.
00228070 00
DATE:
12/18/2018
SHEET NO.
8

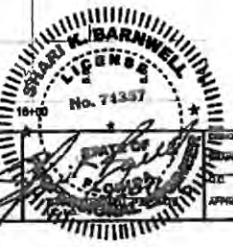


NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

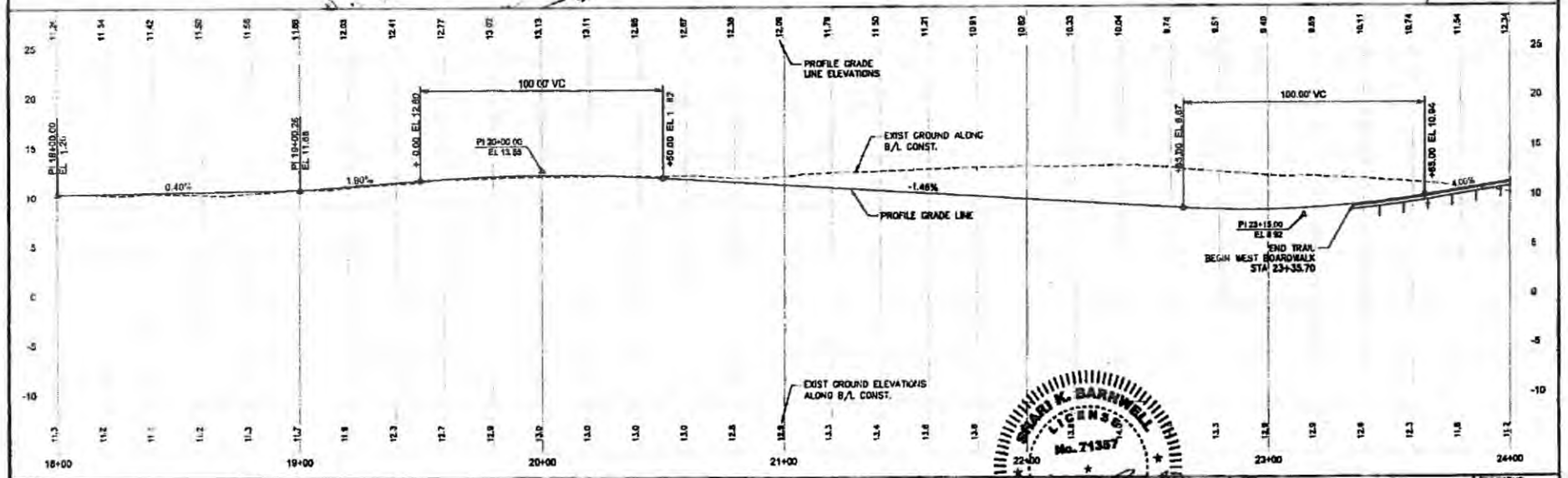
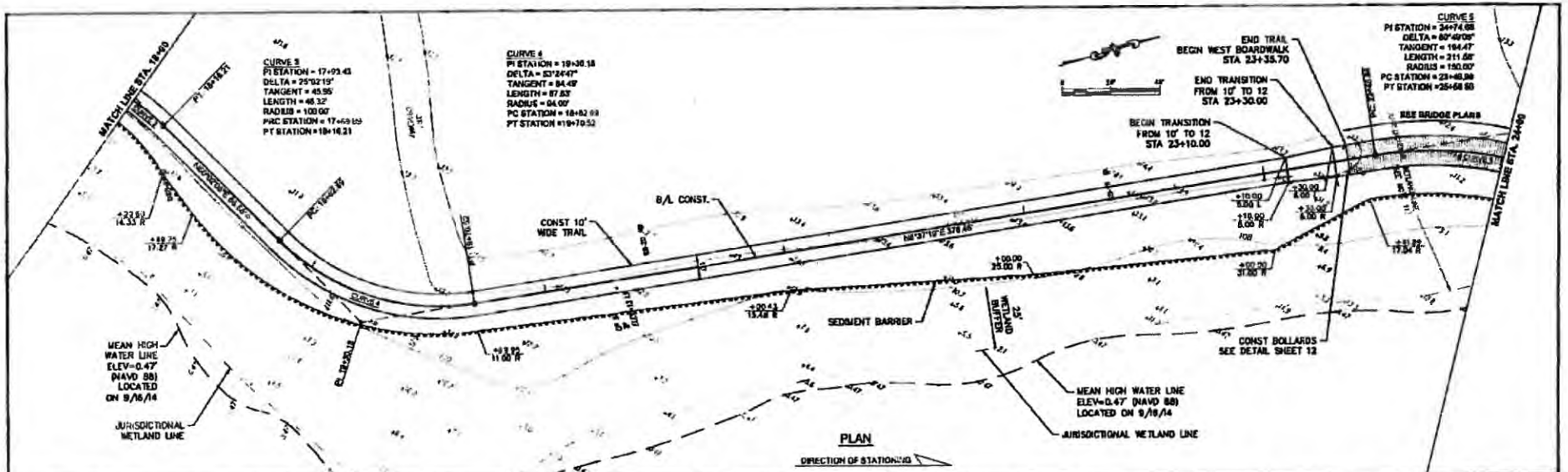
**GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK**

Cardno
 340 Park Plaza Blvd., Suite 300, Clearwater, Florida 34625
 www.cardno.com - 727.851.2525
 Certificate of Authorization No. 20882



PLAN AND PROFILE (2)

PROJECT NO.: 00056770.00
 DATE: 12/16/2016
 SHEET NO.: 7



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK**

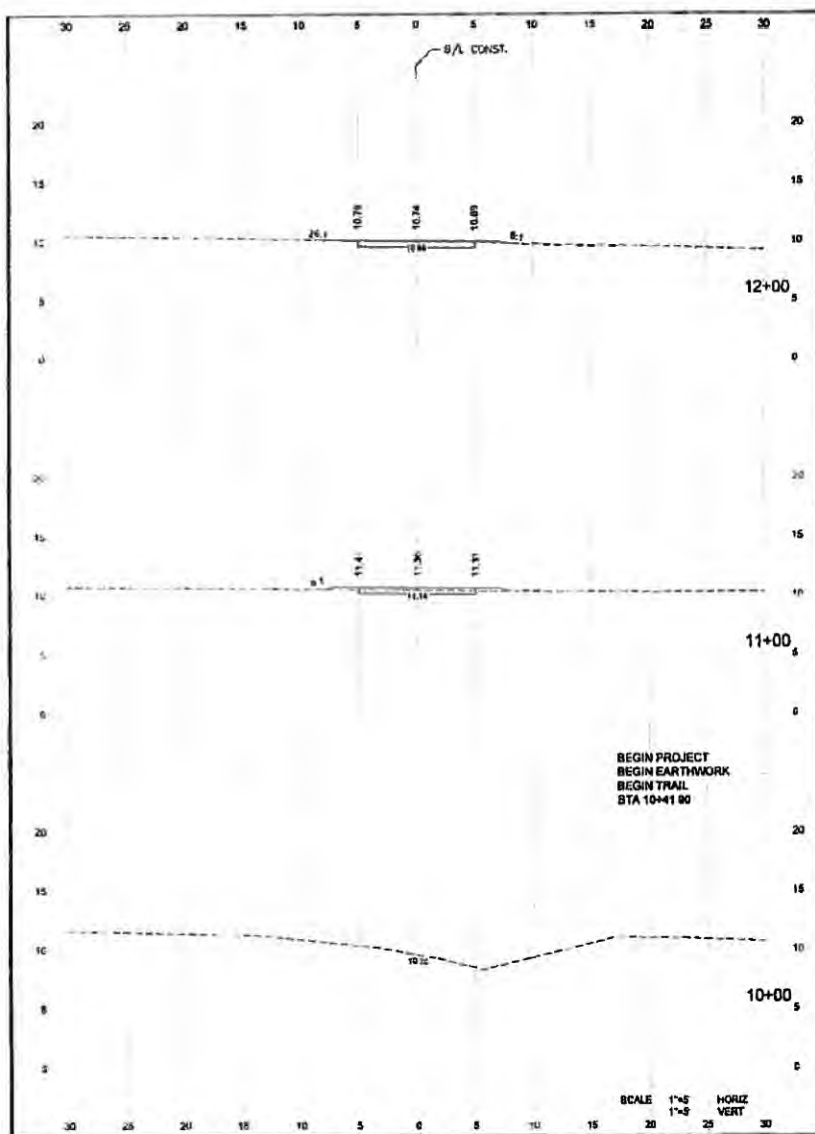
Cardno
 300 Park Plaza Blvd., Suite 200, Clearwater, Florida, 34616
 www.cardno.com - 771-841-3000
 Certificate of Accreditation No. 28915



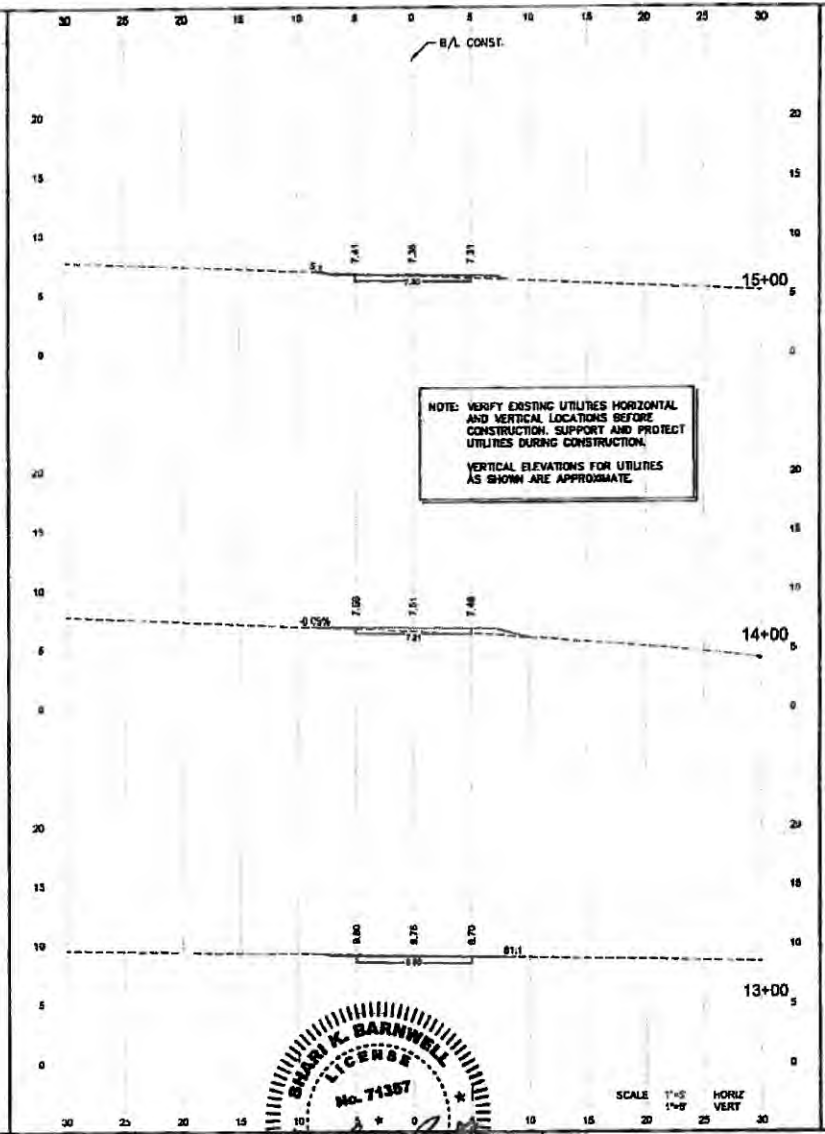
APPROVED
 DATE
 BY

PLAN AND PROFILE (3)

PROJECT NO.
 00029070.00
 DATE
 12/18/2018
 SHEET NO.
 8



EXC
A V
FILL
A V



EXC
A V
FILL
A V

NOTE: VERIFY EXISTING UTILITIES HORIZONTAL AND VERTICAL LOCATIONS BEFORE CONSTRUCTION. SUPPORT AND PROTECT UTILITIES DURING CONSTRUCTION. VERTICAL ELEVATIONS FOR UTILITIES AS SHOWN ARE APPROXIMATE.

SCALE 1"=5' HORIZ
1"=5' VERT

SCALE 1"=5' HORIZ
1"=5' VERT

NO.	REVISION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

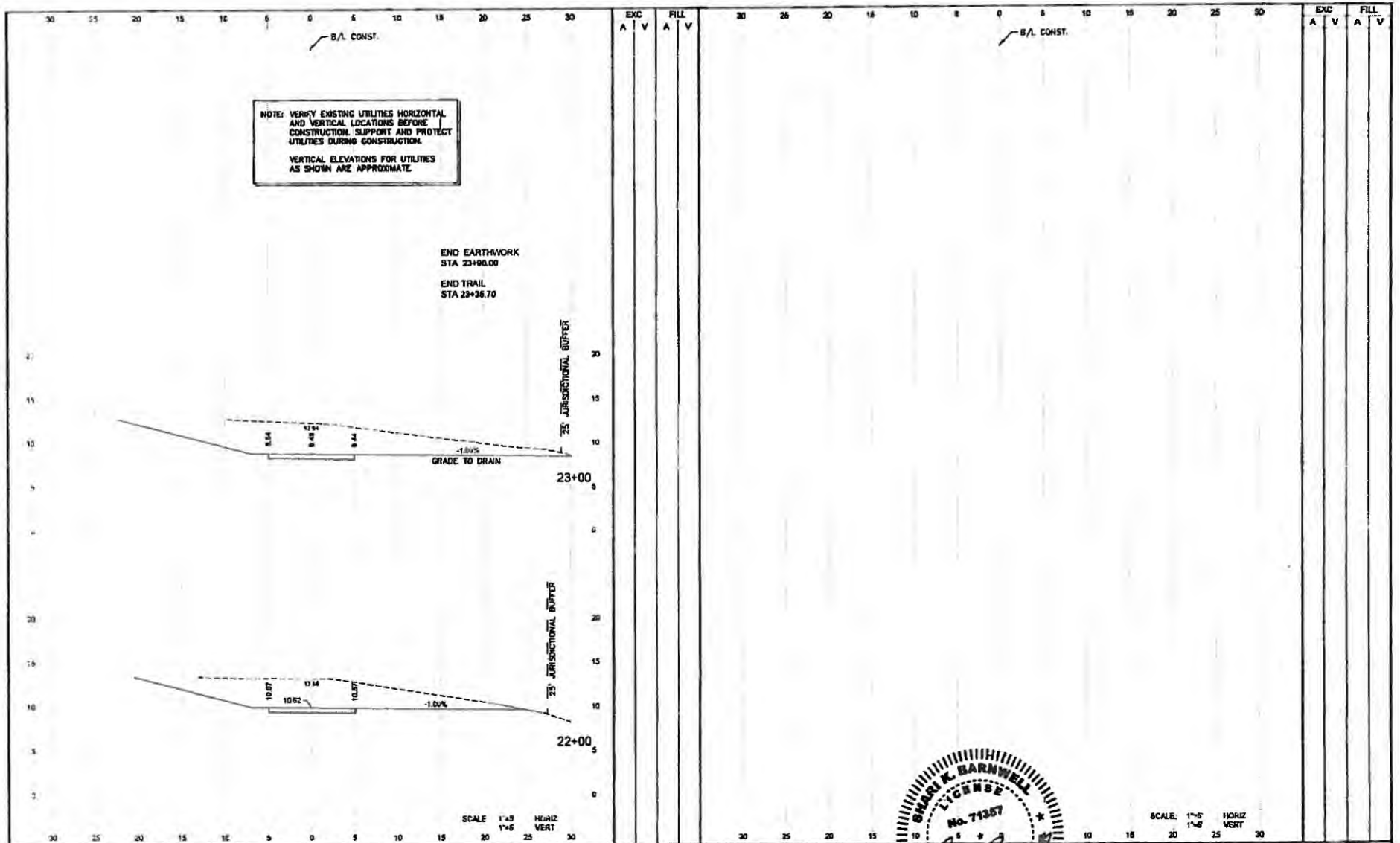
Cardno
380 Park Plaza Blvd., Suite 300, Clearwater, Florida 34616
www.cardno.com - 727.851.3100
Certificate of Authorization No. 29918



DESIGNED	MSB
DRAWN	TJB
CHECKED	
APPROVED	MSB

CROSS SECTIONS (1)

PROJECT NO.	00025070.00
DATE	12/16/2016
SHEET NO.	9



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

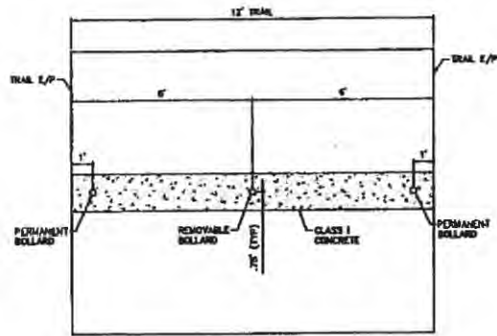
**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

Cardno
 340 Park Place Blvd., Suite 202, Clearwater, Florida, 34615
 www.cardno.com | 727.831.3822
 Certificate of Accreditation No. 20615

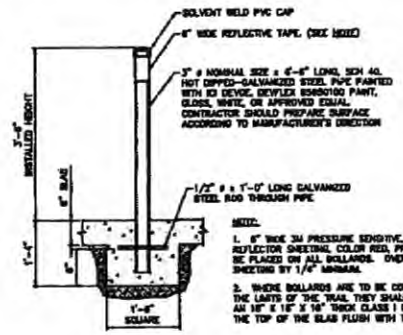


CROSS SECTIONS (3)

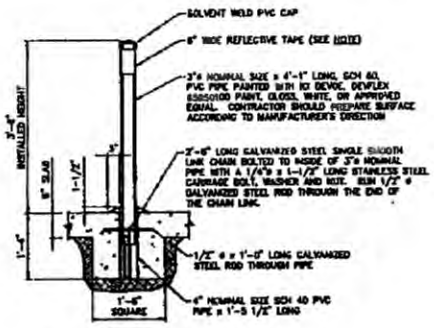
PROJECT NO.	00026270.00
DATE:	12/16/2016
SHEET NO.	11



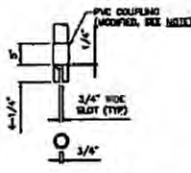
BOLLARDS LOCATION DETAIL



PERMANENT BOLLARD DETAIL



REMOVABLE BOLLARD DETAIL



SLOT AND COUPLING DETAIL

NOTE:
 1. 4" WIDE 3M PRESSURE SENSITIVE, HIGH-INTENSITY GRADE REFLECTOR SHEETING, COLOR RED, PRODUCT #8072, TO BE PLACED ON ALL BOLLARDS. OVERLAP THE ENDS OF SHEETING BY 1/4" MINIMUM.
 2. WHERE BOLLARDS ARE TO BE CONSTRUCTED OUTSIDE THE LIMITS OF THE TRAIL, THEY SHALL BE CENTERED IN 48" HP X 4" X 1/4" THICK CLASS I CONCRETE SLAB WITH THE TOP OF THE SLAB FLUSH WITH THE PROPOSED GROUND.



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

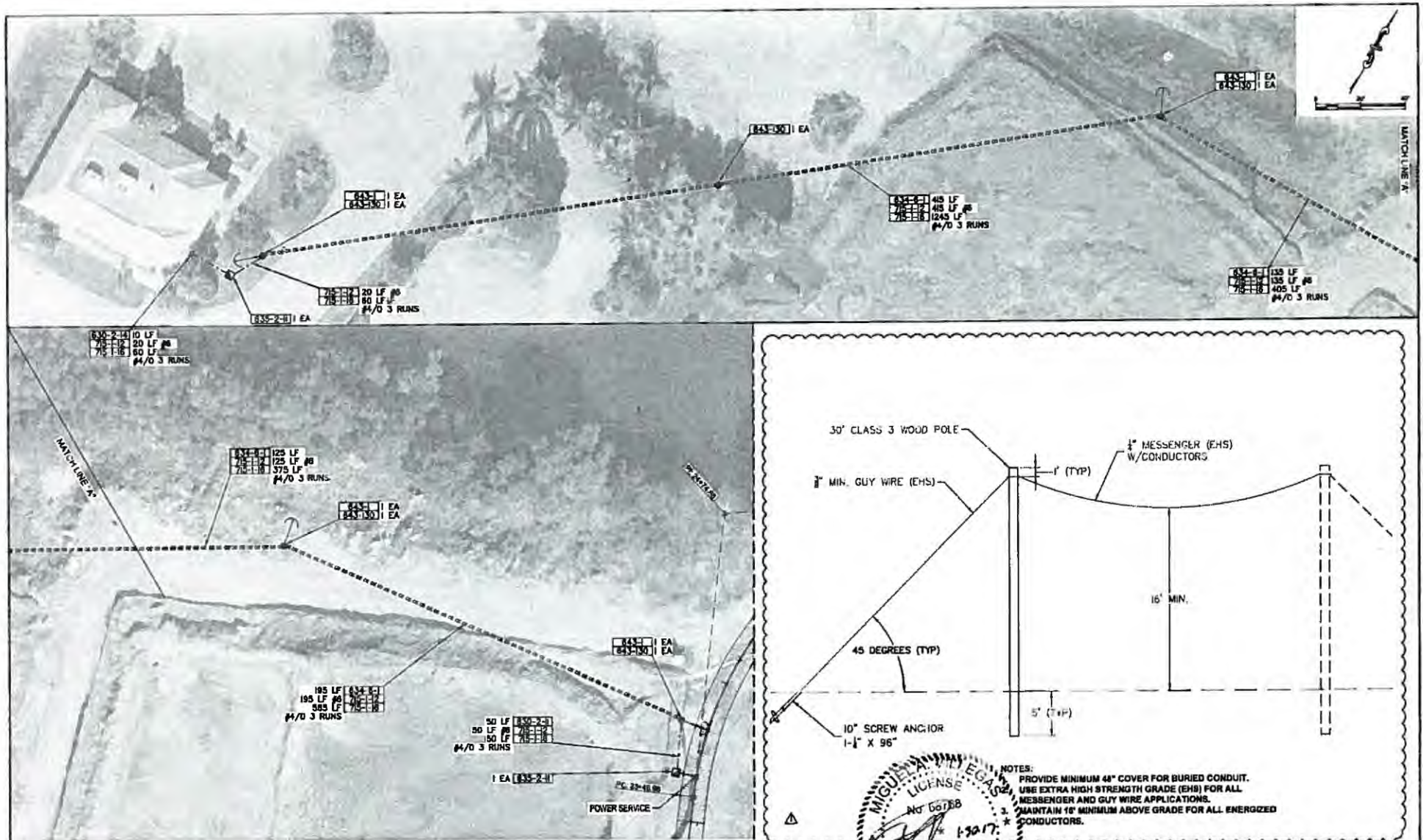
**GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK**

Cardno
 360 Park Place Blvd, Suite 300, Cape Coral, Florida, 33914
 www.cardno.com - 737.631.2345
 Certificate of Authorization No. 9663

APPROVED: [Signature]
 DATE: 12/16/2016

CONSTRUCTION DETAILS

PROJECT NO.	00004070.00
DATE	12/16/2016
SHEET NO.	12



ADD POLE AND MESSENGER DETAIL	HBH 1/30/17
REVISE NOTES	
DATE	BY DATE

CITY OF NAPLES

**GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK**

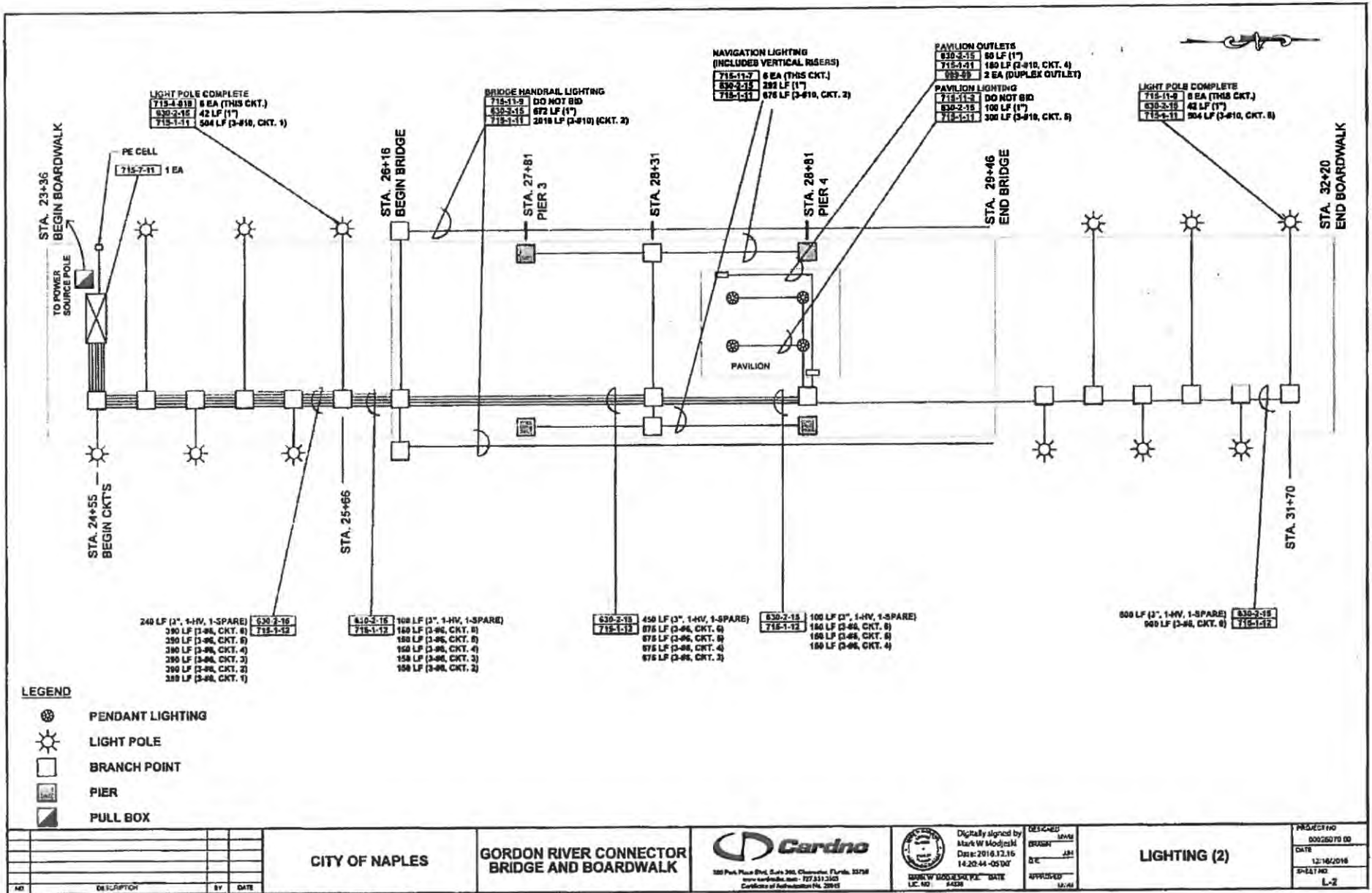
Cardno
 380 Pine Park Blvd., Ft. 300 Clearwater, Florida 34622
 www.cardno.com 774.811.5228
 Division of Accreditation No. 26815

MIGUEL A. VILLALBA, P.E.
 LICENSE NO. 60788
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 1-30-17

DESIGNED BY: HSH
 DRAWN BY: HSH
 CHECKED BY: HSH
 APPROVED BY: HSH

LIGHTING (1)

PROJECT NO.	00026070.00
DATE	12/16/2018
SHEET NO.	L-1



LEGEND

- PENDANT LIGHTING
- LIGHT POLE
- BRANCH POINT
- PIER
- PULL BOX

240 LF (1/2", 1-HV, 1-SPARE) 630-2-16
 390 LF (3/4", CKT. 4) 715-1-12
 390 LF (3/4", CKT. 3)
 390 LF (3/4", CKT. 2)
 390 LF (3/4", CKT. 1)

610-5-16 100 LF (3", 1-HV, 1-SPARE)
 715-1-12 180 LF (3/4", CKT. 4)
 150 LF (3/4", CKT. 3)
 150 LF (3/4", CKT. 2)

630-2-16 450 LF (3", 1-HV, 1-SPARE)
 715-1-12 676 LF (3/4", CKT. 4)
 676 LF (3/4", CKT. 3)
 676 LF (3/4", CKT. 2)

630-2-16 100 LF (3", 1-HV, 1-SPARE)
 715-1-12 180 LF (3/4", CKT. 4)
 150 LF (3/4", CKT. 3)
 150 LF (3/4", CKT. 2)

600 LF (3", 1-HV, 1-SPARE) 630-2-16
 900 LF (3/4", CKT. 4) 715-1-12

CITY OF NAPLES

**GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK**

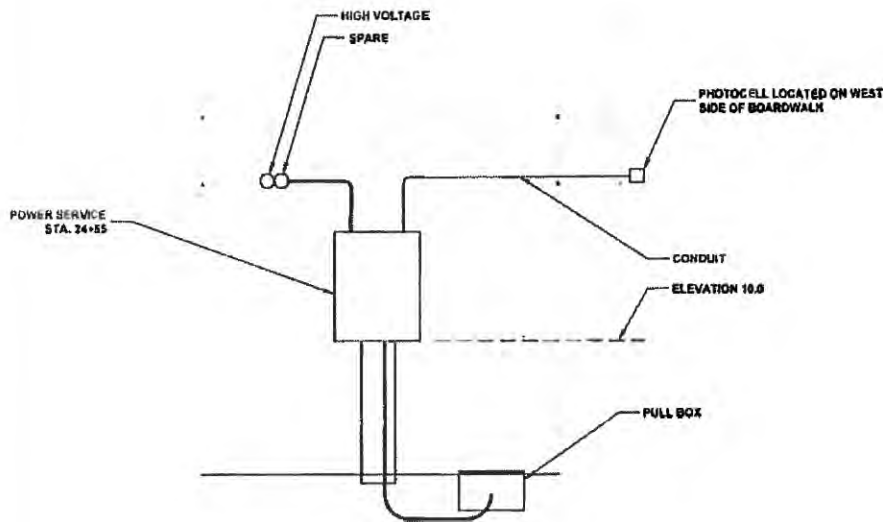
380 Park Place Blvd, Suite 300, Clearwater, Florida 33768
 www.cardno.com 727.331.2300
 Certificate of Registration No. 20951

Digitally signed by Mark W. Woodruff
 Date: 2018.12.16 14:20:44 -0500

DESIGNED: MWS
 DRAWN: JAH
 DATE: 12/16/2018
 SHEET NO: 47001500
 OF: 48

LIGHTING (2)

PROJECT NO: 00026070 00
 DATE: 12/16/2018
 SHEET NO: 4-117 NO
 OF: 2



SEE FOOT INDEX 17504 FOR LIGHTING SERVICE DETAILS

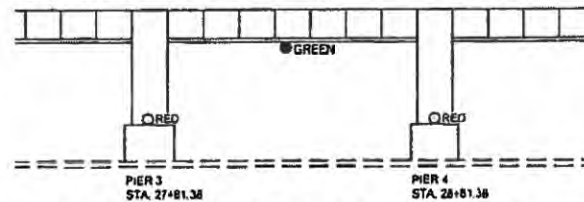
LIGHTING GENERAL NOTES

LIGHTING SHEETS L-1 THROUGH L-4 SHALL FOLLOW FLORIDA DEPARTMENT OF TRANSPORTATION 2016 DESIGN STANDARDS AND JULY 2016 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED BY CONTRACT DOCUMENTS.

FOR DESIGN STANDARDS CLICK ON THE "DESIGN STANDARDS" LINK AT THE FOLLOWING WEB SITE: [HTTP://WWW.DOT.STATE.FL.US/PROGRAMMANAGEMENT](http://www.dot.state.fl.us/programmanagement)

LIGHTING PAY ITEM NOTES

- 830 2-15: ALL BRIDGE MOUNT CONDUIT SHALL BE SCHEDULE 80 PVC. THE COST TO FURNISH AND INSTALL THE BRIDGE MOUNT CONDUIT SHALL INCLUDE THE COST TO FURNISH AND INSTALL ALL BRIDGE MOUNTED JUNCTION BOXES, CONDULETS AND FITTINGS FOR A COMPLETE AND ACCEPTABLE INSTALLATION. THE CONDUIT LENGTH SHALL NOT EXCEED 200 FEET WITHOUT AN INSTALLED JUNCTION BOX.
- 715-11-8: NAVIGATION LIGHTING SHALL INCLUDE FOUR RED FENDER LIGHTS WITH 180 DEGREE VISIBILITY MOUNTED TO THE ENDS OF THE PIER FENDERS 3 AND 4. THE CENTERLINE SHALL INCLUDE TWO GREEN CENTERLINE LIGHTS WITH 360 DEGREE VISIBILITY MOUNTED MIDSPAN BETWEEN PIERS 3 AND 4.



- 715-4-019: LIGHT POLE COMPLETE SHALL BE INSTALLED IN A 40-FOOT STAGGERED LAYOUT. THIS PAY ITEM SHALL INCLUDE THE COST OF A PULL BOX FOR PULLING AT THE BASE OF THE POLE.
- 715 7-11: SECONDARY LIGHTING POWER SERVICE CIRCUITS FOR THE NAVIGATION PIER LIGHTING AND THE PAVILION OUTLETS SHALL BYPASS THE PHOTOCELL.

NO	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK



Digitally signed by
Mark W. McGehee
Date: 2018.12.15
14:22:24 -0500

DESIGNED: **MM**
DRAWN: **AM**
BY: **AM**
APPROVED: **MM**

LIGHTING (3)

PROJECT NO:
0002670-00
DATE:
12/15/2018
SHEET NO:
L-3

1. GENERAL NOTES

1. GENERAL SPECIFICATIONS:

FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2018 EDITION) WITH SUPPLEMENTS THERETO.

2. DESIGN SPECIFICATIONS:

1. AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO), LRFD BRIDGE DESIGN SPECIFICATIONS (7TH EDITION, 2014) WITH APPROVED INTERIMS THERETO.
2. AASHTO LRFD GUIDE SPECIFICATIONS FOR THE DESIGN OF PEDESTRIAN BRIDGES, DECEMBER 09.
3. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST & PAPER ASSOCIATION, 2005 EDITION, LRFD.
4. FDOT STRUCTURES MANUAL (JANUARY 2016 EDITION).

3. DESIGN METHOD:

LOAD AND RESISTANCE FACTOR DESIGN METHOD (LRFD) FOR ALL ELEMENTS.

4. DESIGN LOADING:

1. PEDESTRIAN LOADING: 90 PSF.
2. VEHICULAR LOADING: 4000 LBF MAINTENANCE VEHICLE.
3. WIND LOAD: BASE WIND SPEED = 150 MPH (COLLIER COUNTY).
4. SEISMIC LOADING: IN ACCORDANCE TO AASHTO LRFD 3.10 AND 4.7.4 FOR ZONE 1 SATISFYING MINIMUM BEARING SUPPORT DIMENSION REQUIREMENTS.
5. CONSTRUCTION LOADING (PILES ONLY) H-10 TRUCK (20,000 LBS).

5. TEMPERATURE EFFECTS:

STRUCTURE MATERIAL	MEAN RISE FROM MEAN	FALL FROM MEAN	MEAN RANGE
CONCRETE	70	+35	-35 70
TIMBER	70	+35	-35 70

COEFFICIENT OF THERMAL EXPANSION: 0.000006 PER °F.

6. ENVIRONMENT:

SUPERSTRUCTURE: MODERATELY AGGRESSIVE
SUBSTRUCTURE: MODERATELY AGGRESSIVE

7. CONCRETE:

CONCRETE SHALL BE IN ACCORDANCE WITH SECTION 346 OF THE FDOT SPECIFICATIONS.

CLASS	MINIMUM 28-DAY COMPRESSIVE STRENGTH (psi)	LOCATION OF CONCRETE IN STRUCTURE
IV	$f'c = 5,500$	PAVILION CONCRETE DECK, DIAPHRAGMS
V (SPECIAL)	$f'cl = 4,800$ $f'c = 6,000$	PRESTRESSED BEAMS
IV	$f'c = 5,500$	SUBSTRUCTURE, PIER CAPS, CHEEK WALLS, END BENTS

8. CONCRETE COVER:

CONCRETE COVER SHOWN IN PLANS DOES NOT INCLUDE PLACEMENT AND FABRICATION TOLERANCES UNLESS SHOWN AS "MINIMUM COVER". SEE FOUR STANDARD SPECIFICATIONS FOR ALLOWABLE TOLERANCES.

9. GEOMETRY:

FOR VERTICAL AND HORIZONTAL ALIGNMENT REFER TO ROADWAY PLANS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.

10. CHAMFERS:

PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES, EXCEPT AS OTHERWISE NOTED.

11. CONSTRUCTION JOINTS:

CONSTRUCTION JOINTS WILL ONLY BE ALLOWED AT LOCATIONS INDICATED ON THE PLANS. ADDITIONAL CONSTRUCTION JOINTS OR ALTERATIONS OF THOSE SHOWN ON THE PLANS REQUIRE THE APPROVAL OF THE ENGINEER.

12. SURFACE FINISH:

A CLASS 4 FINISH SHALL BE USED ON ALL EXPOSED CONCRETE SURFACES.

13. REINFORCING STEEL:

ALL REINFORCING STEEL SHALL BE ASTM A615, GRADE 60. ALL DIMENSIONS PERTAINING TO LOCATIONS OF REINFORCING ARE TO CENTERLINE OF BARS EXCEPT WHERE THE CLEAR DIMENSION IS SHOWN TO FACE OF CONCRETE.

14. STRUCTURAL FASTENERS:

ALL METAL ASSEMBLIES INCLUDING CONNECTING PLATES, HURRICANE CLIPS, BRACKETS, BOLTS, NUTS, WASHERS SHALL BE STAINLESS STEEL GRADE 316, WITH THE EXCEPTION OF SCREWS AND TOE NAILS WHICH SHALL BE STAINLESS STEEL GRADE 304. ALL BOLT ASSEMBLIES SHALL HAVE WASHERS UNDER BOTH THE BOLT HEAD AND NUTS. SPIKES AND SCREWS SHALL BE COUNTERSUNK AND INSTALLED IN HOLES DRILLED WITH A COUNTERSUNK DRILL BIT.

15. CHANGES:

ALL PROPOSED CHANGES MUST BE APPROVED BY THE ENGINEER OF RECORD.

16. MATERIAL PRODUCTS:

EXCEPT FOR THOSE MATERIAL PRODUCTS SPECIFICALLY CALLED FOR IN THE PLANS AND SPECIFICATIONS, ALL MATERIAL PRODUCTS SPECIFIED FOR THIS PROJECT SHALL BE ON THE FDOT APPROVED PRODUCT LIST.

17. PAY ITEM NOTES:

PAYMENT FOR INCIDENTAL ITEMS NOT SPECIFICALLY COVERED IN THE INDIVIDUAL PAY ITEMS SHALL BE INCLUDED IN THE CONTRACT PRICES FOR PAY ITEMS.

18. TIMBER AND PILES:

1. LUMBER SIZES SHOWN ARE NOMINAL SIZES UNLESS OTHERWISE NOTED. LUMBER SHALL BE FURNISHED IN SIZES MEETING THE REQUIREMENTS OF THE NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION, 2005 EDITION OF THE AMERICAN FOREST AND PAPER ASSOCIATION.

2. ALL LUMBER (TIMBER BEAMS & PILES) SHALL BE TREATED IN ACCORDANCE WITH STANDARD SPECIFICATION 955. ALL STRUCTURAL TIMBER SHALL BE TREATED FOR BRACKISH ENVIRONMENT. ALL PILING WILL BE MANUFACTURED IN ACCORDANCE WITH SECTION 953 TIMBER PILING AND PRODUCED BY FDOT CERTIFIED PLANTS.

- ALL BEAMS WILL BE TREATED TO A 0.6 P.C.F. RETENTION OF CCA (CHROMATED COPPER ARSENATE).
- ALL PILING WILL BE TREATED TO A 2.50 P.C.F. RETENTION OF CCA.
- TREATING WILL BE IN ACCORDANCE WITH THE AWWA (AMERICAN WOOD PRESERVERS ASSOCIATION).

3. ALL TIMBER PILING WILL BE WRAPPED WITH PRIME HIGH DENSITY POLYETHYLENE PILES WILL BE WRAPPED AT THE MUD LINE EXTENDING AT LEAST 2 FEET BELOW THE MUD LINE AND FOUR FEET ABOVE THE MUD LINE. PILE WRAP WILL BE INSTALLED FOLLOWING MANUFACTURER'S RECOMMENDATION.

4. TIMBER RAILING, RAILING POSTS, TIMBER DECK AND 3X8 TIMBER BOARDS ON PRESTRESSED BEAMS SPECIES SHALL BE IPE WOOD.

$F_b = 4,100 \text{ PSI}$ $E = 3,010,000 \text{ PSI}$

5. EAST SIDE BOARDWALK:

TIMBER BEAM SPECIES (2x12 STRINGERS AND 3X12 PILE CAP BEAMS SHALL BE SOUTHERN PINE "DENSE SELECT STRUCTURAL" WITH THE FOLLOWING PROPERTIES:

$F_b = 2050 \text{ PSI (MIN.)}$ $E = 1,900,000 \text{ PSI}$

6. WEST SIDE BOARDWALK:

TIMBER BEAM SPECIES (2x12 STRINGERS AND 3X12 PILE CAP BEAMS SHALL BE SOUTHERN PINE "DENSE SELECT STRUCTURAL" WITH THE FOLLOWING PROPERTIES:

$F_b = 1900 \text{ PSI (MIN.)}$ $E = 1,700,000 \text{ PSI}$

7. TIMBER PILES:

TIMBER PILE SPECIES SHALL BE SOUTHERN PINE WITH COMMERCIAL GRADE "DENSE SELECT STRUCTURAL" WITH THE FOLLOWING MINIMUM PROPERTIES:

$F_b = 1750 \text{ PSI}$ $F_c = 1100 \text{ PSI}$ $E = 1,800,000 \text{ PSI}$

8. ALL PILES SHALL HAVE A MINIMUM 12 INCH BUTT DIAMETER.

9. SCOURING WAS CONSIDERED IN PILE LENGTH DETERMINATION.

19. RAILING CONNECTION DETAILS

1. BOARD TO BOARD CONNECTIONS AT RAILINGS SHALL BE SHIPLAP CONNECTIONS.

2. SHOP DRAWINGS FOR RAILINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

20. PERMITS AND AGREEMENTS

ANY AND ALL CONSTRUCTION MUST ADHERE TO THE RESTRICTIONS AND LIMITATIONS REQUIRED BY THE PROJECT PERMITS, EASEMENTS, AND AGREEMENTS.



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

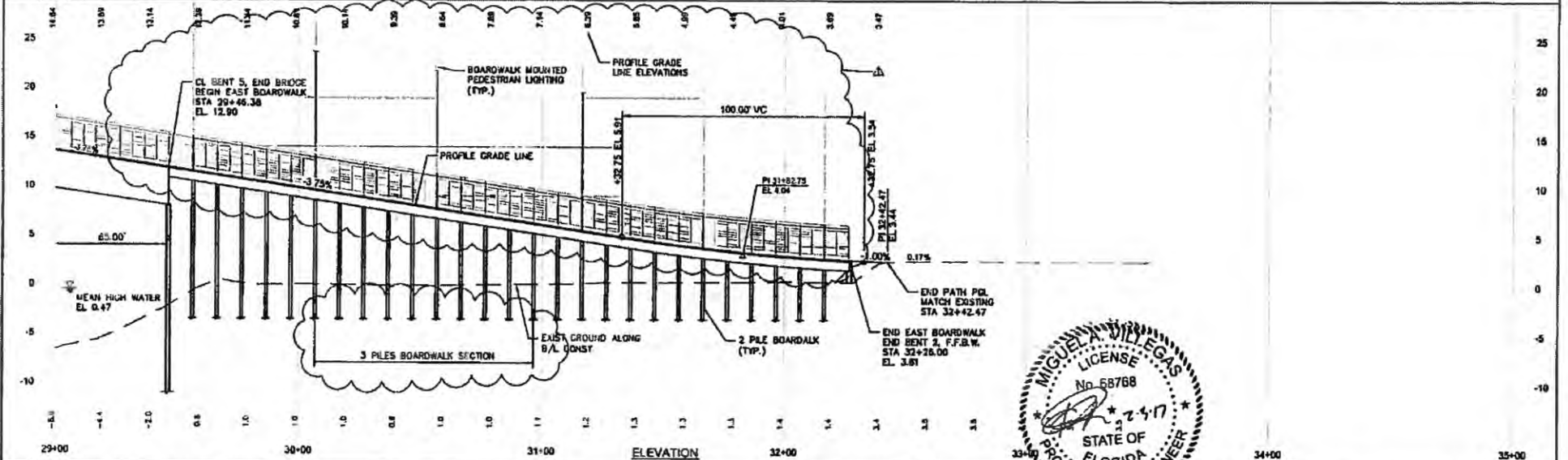
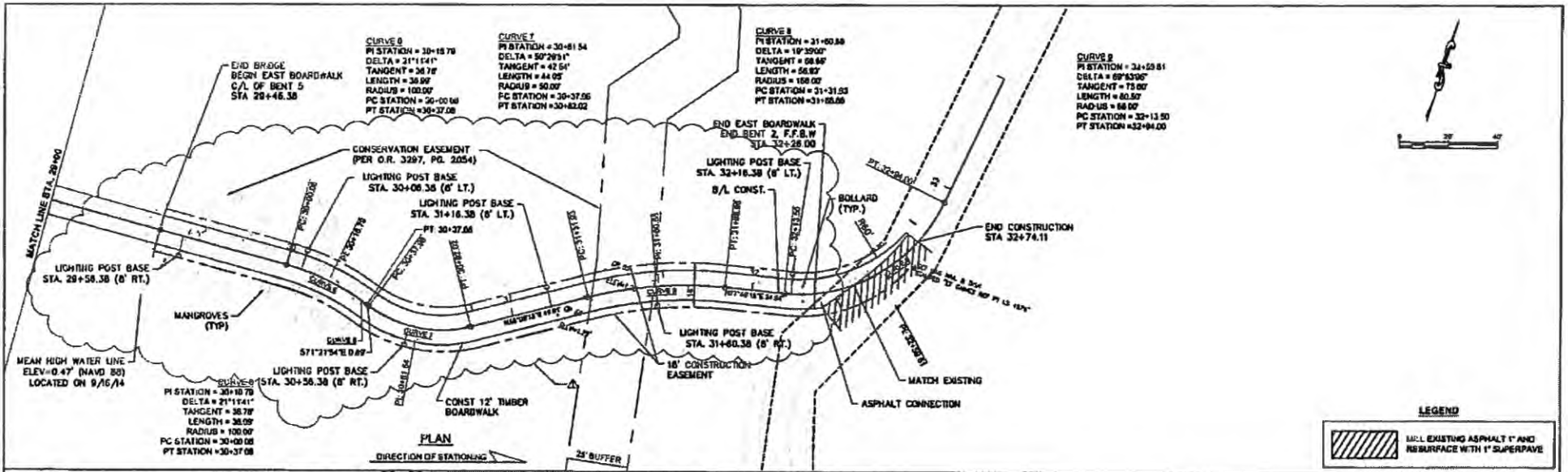
GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK



DATE	BY	REVISION

GENERAL NOTES

PROJECT NO.	06020070 00
DATE	2/3/17
SHEET NO.	B-1



NO	DESCRIPTION	BY	DATE
1	ADDED LIGHTING PILES ADDED THIRD PILE TO SECTION ON EAST SIDE BOARDWALK	MAV	3/18/17

CITY OF NAPLES

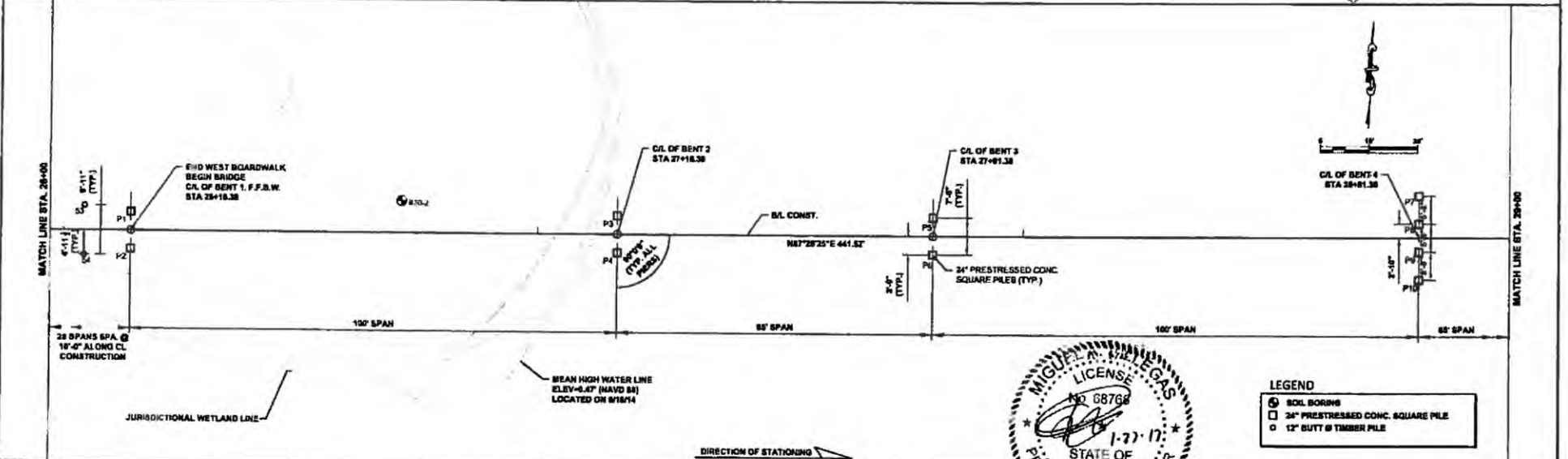
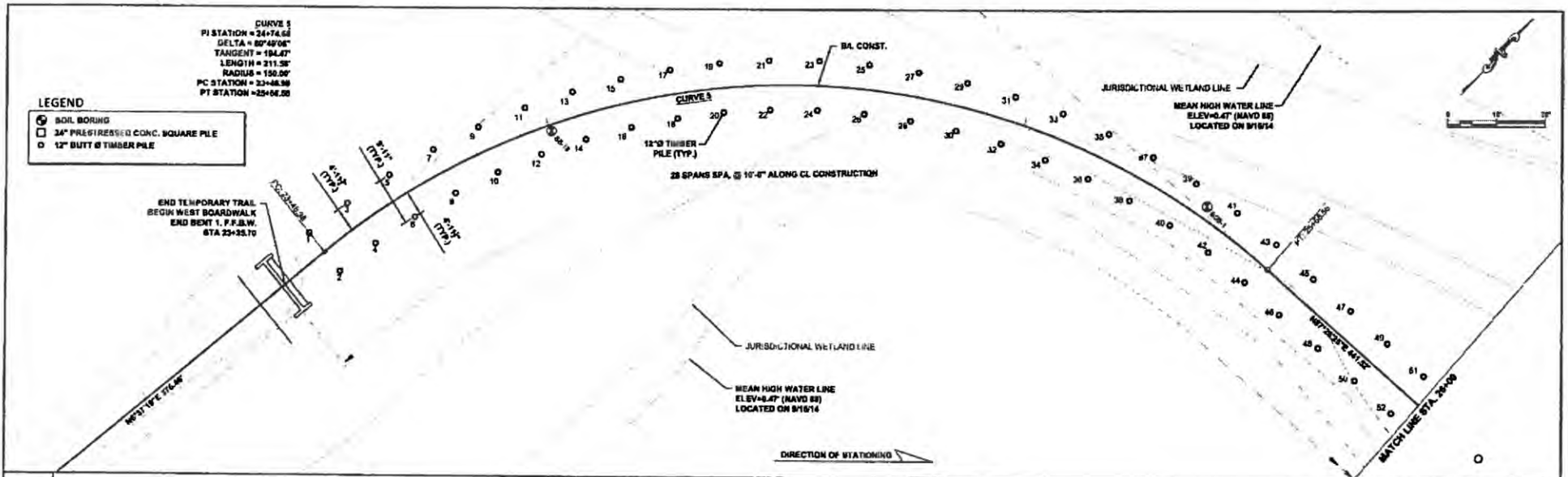
GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK



MIGUEL A. VILLEGAS, P.E. DATE
 LIC. NO.: 68768

PLAN AND ELEVATION
 (2 OF 2)

PROJECT NO.
 00028070.00
 DATE
 2/3/17
 SHEET NO.
 B-3



LEGEND
 ○ SOIL BORING
 □ 24" PRESTRESSED CONC. SQUARE PILE
 ◻ 12" BUTT & TIMBER PILE

NO.	DESCRIPTION	BY	DATE	CITY OF NAPLES GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK	 300 Pkwy Plaza Blvd., Suite 300, Clearwater, Florida, 34729 www.cardno.com • 727.931.3225 Certificate of Authorization No. J-643	 MIGUEL A. VALLECALLE LICENSE NO. 68768 STATE OF FLORIDA PROFESSIONAL ENGINEER 1-27-17	DESIGNED: MAM DRAWN: JAC IFC: MAM APPROVED: MAM	FOUNDATION LAYOUT (1 OF 2)	PROJECT NO. 00026070.00
									DATE 12/19/2018

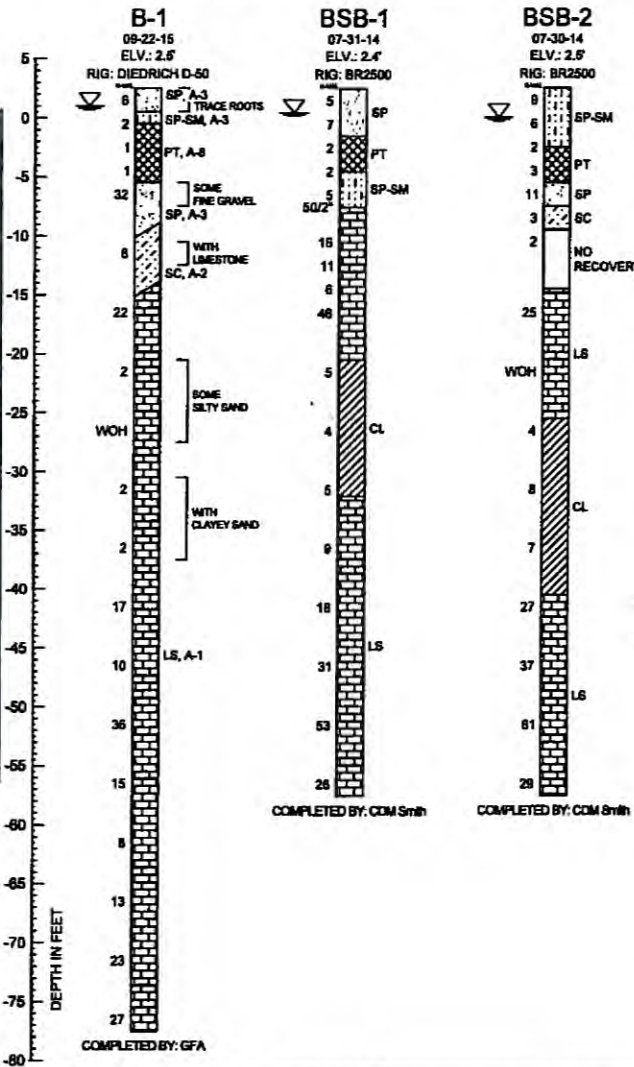
TEST LOCATION PLAN



NOTES: SPT BORING LOCATION
 BASE MAP OBTAINED FROM GOOGLE EARTH
 SCALE IS AN APPROXIMATION AND MAY NOT BE ACCURATE



SOIL PROFILES



SOIL LEGEND (GFA)

- Gray, light brown to brown, SAND, loose to dense (SP), A-3
- Gray SAND WITH SILT, very loose (SP-SM), A-3
- Dark gray PEAT (PT), A-6
- Gray CLAYEY SAND, loose (SC), A-2
- Light gray to gray, light green to green, LIMESTONE, very soft to soft (LS), A-1

SOIL LEGEND (CDM Smith)

- SAND (SP)
- SAND with GRAVEL (SP)
- SAND with GRAVEL (SW)
- SAND with SILT (SP-SM)
- SILT (ML)
- PEAT (PT)
- CLAYEY SAND (SC)
- CLAY (CL)
- LIMESTONE (LS)

SOIL PROFILE LEGEND NOTES

B-X = BORING NUMBER
 N = SPT TEST VALUE
 SOIL TYPE X
 GROUND WATER LEVEL
 INDICATES PRACTICAL REFERENCE TO BORING EQUIPMENT
 H = INDICATES GRADUAL TRANSITION IN SOIL TYPES
 N = STANDARD PENETRATION RESISTANCE TEST (SPT) VALUE NUMBERS TO THE LEFT OF BORINGS INDICATE SPT VALUE FOR 12-INCHES OF PENETRATION (UNLESS OTHERWISE NOTED).
 ALL ELEVATIONS BASED ON EXISTING GROUND LEVEL.
 WOH = WEIGHT OF HAMMER
 LFC = LOSS OF DRILLING FLUID CIRCULATION
SOIL DESCRIPTION
 CORRELATION OF N-VALUES WITH RELATIVE DENSITY AND CONSISTENCY -
 GRANULAR MATERIALS -
 SPT N-VALUES
 BLOWFOOT
 LESS THAN 3
 3 - 8
 9 - 24
 25 - 40
 GREATER THAN 40
 RELATIVE DENSITY
 VERY LOOSE
 LOOSE
 MEDIUM DENSE
 DENSE
 VERY DENSE
 APPROXIMATE FINES CONTENT
 PERCENTAGE
 0% TO 10%
 10% TO 20%
 20% TO 40%
 MODIFIERS
 SLIGHTLY SILTY OR SLIGHTLY CLAYEY
 SILTY OR CLAYEY
 VERY SILTY OR VERY CLAYEY
 SILTS AND CLAYS -
 SPT N-VALUES
 BLOWFOOT
 LESS THAN 1
 1 - 3
 4 - 6
 7 - 12
 13 - 24
 GREATER THAN 24
 CONSISTENCY
 VERY SOFT
 SOFT
 FIRM
 STIFF
 VERY STIFF
 HARD
 APPROXIMATE SAND/GRAVEL CONTENT
 PERCENTAGE
 0% TO 10%
 10% TO 25%
 25% TO 40%
 MODIFIERS
 SLIGHTLY SANDY OR SLIGHTLY GRAVELLY
 SANDY OR GRAVELLY
 VERY SANDY OR VERY GRAVELLY
 CORRELATION OF N-VALUES WITH HARDNESS OF LIMESTONE -
 LIMESTONE -
 SPT N-VALUES
 BLOWFOOT
 LESS THAN 20
 20 - 40
 50 - 100
 50 FOR 2 TO 8"
 50 FOR 8 TO 2"
 HARDNESS
 VERY SOFT
 SOFT
 MEDIUM HARD
 MODERATELY HARD
 HARD
 APPROXIMATE ROOT CONTENT
 PERCENTAGE
 0% - 10%
 10% - 20%
 20% - 40%
 MODIFIERS
 TRACE
 TRACE TO SOME
 SOME
 AND

DENNIS F. MCCOY
 LICENSE
 No. 54834
 12/10/16

REVISIONS	
DATE	DESCRIPTION

GFA INTERNATIONAL, INC.
 8851 COUNTRY LAKES DRIVE
 FORT MYERS, FLORIDA 33905
 DENNIS F. MCCOY P.E. #54834

CITY OF NAPLES		
ROAD NAME	COUNTY NAME	PROJECT ID
RIVERSIDE CIRCLE	COLLIER	15-1836

REPORT OF TEST BORINGS
 GORDON RIVER GREENWAY
 NAPLES, COLLIER COUNTY, FLORIDA

SHEET NO.
 B-6

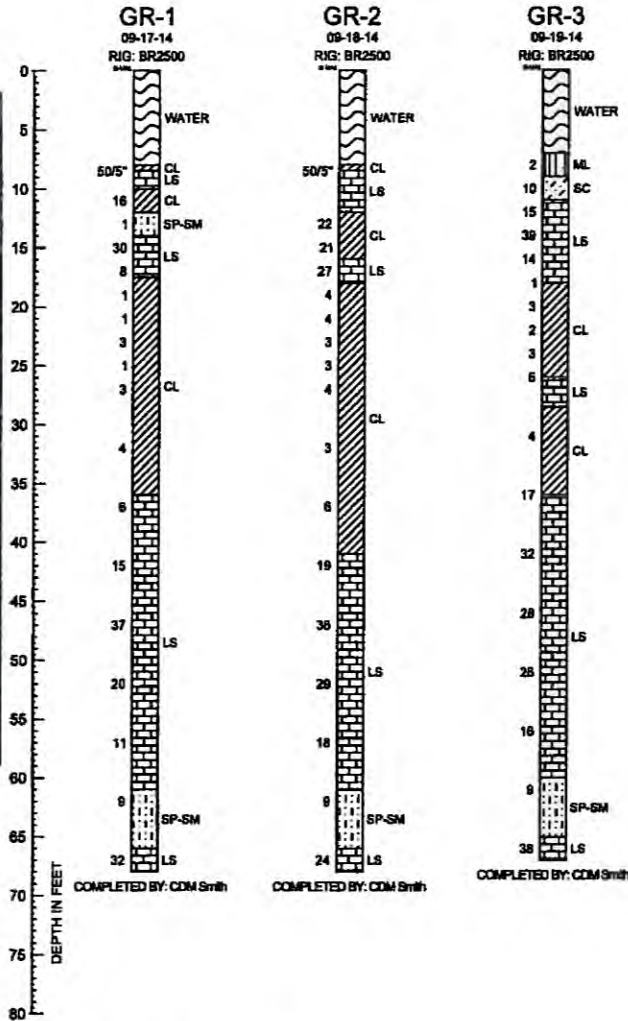
TEST LOCATION PLAN



NOTES: SPT BORING LOCATION
 BASE MAP OBTAINED FROM GOOGLE EARTH
 SCALE IS AN APPROXIMATION AND MAY NOT BE ACCURATE



SOIL PROFILES



SOIL LEGEND

- SAND (SP)
- SAND WITH GRAVEL (SP)
- SAND WITH GRAVEL (SW)
- SAND WITH SILT (SP-SM)
- SILT (ML)
- PEAT (PT)
- CLAYEY SAND (SC)
- CLAY (CL)
- LIMESTONE (LS)

SOIL PROFILE LEGEND NOTES

B-X = BORING NUMBER
 N = SPT TEST VALUE
 SOIL TYPE X
 INDICATES PRACTICAL REFERENCE TO BORING EQUIPMENT
 H = INDICATES GRADUAL TRANSITION IN SOIL TYPES

N - STANDARD PENETRATION RESISTANCE TEST (SPT) VALUE NUMBERS TO THE LEFT OF BORINGS INDICATE SPT VALUE FOR 12-INCHES OF PENETRATION (UNLESS OTHERWISE NOTED).
 ALL ELEVATIONS BASED ON EXISTING GROUND LEVEL
 WCH = WEIGHT OF HAMMER
 LFC = LOSS OF DRILLING FLUID CIRCULATION

SOIL DESCRIPTION
 CORRELATION OF N-VALUES WITH RELATIVE DENSITY AND CONSISTENCY -

GRANULAR MATERIALS - SPT N-VALUES	RELATIVE DENSITY
BLOWFOOT LESS THAN 3	VERY LOOSE
3 - 8	LOOSE
9 - 24	MEDIUM DENSE
25 - 40	DENSE
GREATER THAN 40	VERY DENSE

APPROXIMATE FINES CONTENT

PERCENTAGE	MODIFIER
3% TO 15%	SLIGHTLY SILTY OR SLIGHTLY CLAYEY
16% TO 25%	SILTY OR CLAYEY
26% TO 49%	VERY SILTY OR VERY CLAYEY

SILTS AND CLAYS - SPT N-VALUES

BLOWFOOT	CONSISTENCY
LESS THAN 1	VERY SOFT
1 - 3	SOFT
4 - 6	FRM
7 - 12	STIFF
13 - 24	VERY STIFF
GREATER THAN 24	HARD

APPROXIMATE SAND/GRAVEL CONTENT

PERCENTAGE	MODIFIER
5% TO 15%	SLIGHTLY SANDY OR SLIGHTLY GRAVELLY
16% TO 25%	SANDY OR GRAVELLY
26% TO 49%	VERY SANDY OR VERY GRAVELLY

CORRELATION OF N-VALUES WITH HARDNESS OF LIMESTOCK - LIMESTOCK -

SPT N-VALUES	HARDNESS
BLOWFOOT LESS THAN 20	VERY SOFT
20 - 49	SOFT
50 - 100	MEDIUM HARD
50 FOR 2 TO 6"	MODERATELY HARD
40 FOR 6 TO 2"	HARD

APPROXIMATE ROOT CONTENT

PERCENTAGE	MODIFIER
0% - 10%	TRACE
11% - 20%	TRACE TO SOME
21% - 40%	SOME
41% - 60%	SAND

DENNIS F. MCCOY
 No. 54834
 12-16-14
 STATE OF FLORIDA
 REGISTERED PROFESSIONAL ENGINEER

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

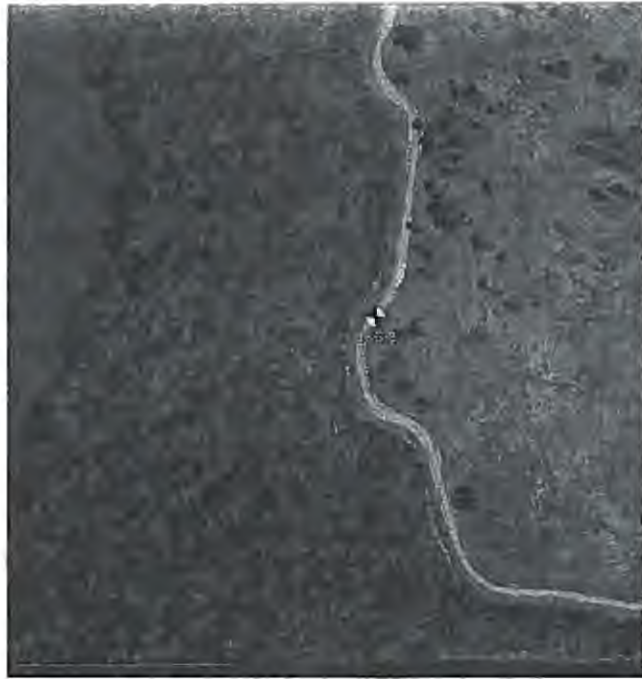
GFA INTERNATIONAL, INC.
 8851 COUNTRY LAKES DRIVE
 FORT MYERS, FLORIDA 33905
 DENNIS F. MCCOY P.E. #54834

CITY OF NAPLES		
ROAD NAME	COUNTY NAME	PROJECT ID
RIVERSIDE CIRCLE	COLLIER	15-1536

REPORT OF TEST BORINGS
 GORDON PARK GREENWAY
 NAPLES, COLLIER COUNTY, FLORIDA

SHEET NO.
 B-7

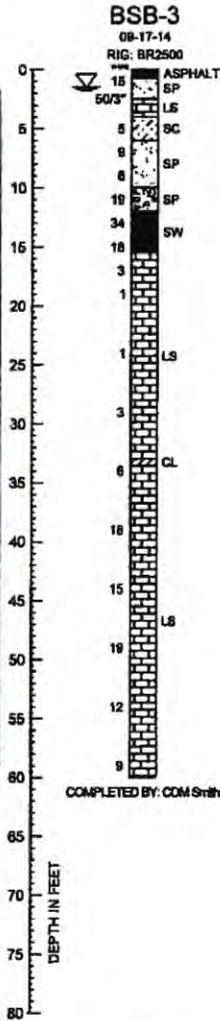
TEST LOCATION PLAN



NOTES: SPT BORING LOCATION
 BASE MAP OBTAINED FROM GOOGLE EARTH
 SCALE IS AN APPROXIMATION AND MAY NOT BE ACCURATE



SOIL PROFILES



SOIL LEGEND

- SAND (SP)
- SAND with GRAVEL (SP)
- SAND with GRAVEL (SW)
- SAND with SILT (SP-SM)
- SILT (ML)
- PEAT (PT)
- CLAYEY SAND (SC)
- CLAY (CL)
- LIMESTONE (LS)

SOIL PROFILE LEGEND NOTES

B-X = BORING NUMBER
 N = SPT TEST VALUE
 SOIL TYPE X

GROUND WATER LEVEL

INDICATES PRACTICAL REFERENCE TO BORING EQUIPMENT

H = INDICATES GRADUAL TRANSITION IN SOIL TYPES

N - STANDARD PENETRATION RESISTANCE TEST (SPT) VALUE. NUMBERS TO THE LEFT OF BORINGS INDICATE SPT VALUE FOR 12-INCHES OF PENETRATION (UNLESS OTHERWISE NOTED). ALL ELEVATIONS BASED ON EXISTING GROUND LEVEL. WDH = WEIGHT OF HAMMER. LFC = LOSS OF DRILLING FLUID CIRCULATION

SOIL DESCRIPTION
 CORRELATION OF N-VALUES WITH RELATIVE DENSITY AND CONSISTENCY -

GRANULAR MATERIALS -

SPT N-VALUES	RELATIVE DENSITY
BLOWFLOOD	VERY LOOSE
LESS THAN 3	LOOSE
3 - 8	MEDIUM DENSE
9 - 24	DENSE
25 - 40	VERY DENSE

APPROXIMATE FINES CONTENT

PERCENTAGE	MODIFIERS
5% TO 15%	SLIGHTLY SILTY OR SLIGHTLY CLAYEY
15% TO 25%	SILTY OR CLAYEY
25% TO 45%	VERY SILTY OR VERY CLAYEY

SILTS AND CLAYS -

SPT N-VALUES	CONSISTENCY
BLOWFLOOD	VERY SOFT
LESS THAN 1	SOFT
1 - 3	FRM
4 - 8	STIFF
7 - 12	VERY STIFF
13 - 24	HARD

APPROXIMATE SAND/GRAVEL CONTENT

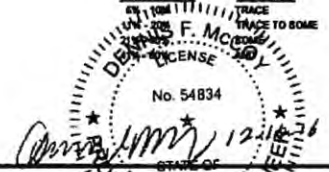
PERCENTAGE	MODIFIERS
5% TO 15%	SLIGHTLY SANDY OR SLIGHTLY GRAVELLY
15% TO 25%	SANDY OR GRAVELLY
25% TO 45%	VERY SANDY OR VERY GRAVELLY

CORRELATION OF N-VALUES WITH HARDNESS OF LIMESTONE -

SPT N-VALUES	HARDNESS
BLOWFLOOD	VERY SOFT
LESS THAN 20	SOFT
20 - 45	MEDIUM HARD
50 - 100	MODERATELY HARD
50 FOR 2 TO 3"	HARD
50 FOR 0 TO 2"	

APPROXIMATE ROOT CONTENT

PERCENTAGE	MODIFIERS
0%	TRACE
1% TO 10%	TRACE TO SOME
10% TO 20%	SOME
20% TO 40%	MODERATE



DATE		BY		DESCRIPTION	

GFA INTERNATIONAL, INC.
 8851 COUNTRY LAKES DRIVE
 FORT MYERS, FLORIDA 33905

DENNIS F. MCCOY P.E. #54834

CITY OF NAPLES		
ROAD NAME	COUNTY NAME	PROJECT ID
RIVERSIDE CIRCLE	COLLIER	15-1636

REPORT OF TEST BORINGS
 GORDON RIVER CONCOURSE
 NAPLES, COLLIER COUNTY, FLORIDA

SHEET NO.
 B-8

INSTALLATION CRITERIA

BENT NUMBER	PILE SIZE (in.)	NOMINAL BEARING RESISTANCE (tons)	TENSION RESISTANCE (tons)	MINIMUM TIP ELEVATION (ft.)	PILE LENGTH (ft.)	REQUIRED JET ELEVATION (ft.)	REQUIRED PREFORM ELEVATION (ft.)	FACTORED DESIGN LOAD (tons)	DOWN DRAG (tons)	TOTAL SCOUR RESISTANCE (tons)	NET SCOUR RESISTANCE (tons)	100-YEAR SCOUR ELEVATION (ft.)	LONG TERM SCOUR ELEVATION (ft.)	RESISTANCE FACTOR-Ø
1	24	210	0	-45	80	N/A	-20	137	N/A	0	0	-5.0	N/A	0.65
2	24	233	0	-45	80	N/A	-20	152	N/A	0	0	-13.0	N/A	0.65
3	24	233	0	-45	80	N/A	-20	152	N/A	0	0	-12.5	N/A	0.65
4	24	240	0	-45	80	N/A	-20	156	N/A	0	0	-12.5	N/A	0.65
5	24	197	0	-45	80	N/A	-20	128	N/A	0	0	-7.7	N/A	0.65
West Boardwalk*	12	18	0	-40	70	N/A	-20	12	N/A	0	0	-5.0	N/A	0.65
East Boardwalk*	12	16	0	-40	70	N/A	-20	12	N/A	0	0	-7.7	N/A	0.65

* 12 INCH MINIMUM BUTT DIAMETER TIMBER PILE.

$$\text{Factored Design Load} + \text{Net Scour Resistance} + \text{Down Drag} \leq \text{Nominal Bearing Resistance}$$

TENSION RESISTANCE - The ultimate side friction capacity that must be obtained below the 100 year scour elevation to resist pullout of the pile (Specify only when design requires tension capacity).

TOTAL SCOUR RESISTANCE - An estimate of the ultimate static side friction resistance provided by the scourable soil.

NET SCOUR RESISTANCE - An estimate of the ultimate static side friction resistance provided by the soil from the required preform or jetting elevation to the scour elevation.

100-YEAR SCOUR ELEVATION - Estimated elevation of scour due to the 100 year storm event.

LONG TERM SCOUR ELEVATION - Estimated elevation of scour used in design for extreme event loading.

NOTES:

1. Perform dynamic load tests as outlined in the "Embedded Data Collector Dynamic Load Test Requirements" Developmental Specification Section 455. Per Section 455, At least one tested pile must be located approximately every 200 feet of bridge length with a minimum of two test piles per bridge structure. These requirements apply for each size and pile type in the bridge except at the end bents.
2. GFA recommends Embedded Data Collector (EDC) instrumentation should be implemented in a minimum of one concrete pile per pier. Refer to "Embedded Data Collector and Dynamic Load Test Requirements" Developmental Specification Section 455 and Standard Index 20602.

PILE DATA TABLE

DESIGN CRITERIA

BENT NUMBER	PILE SIZE (in.)	NOMINAL BEARING RESISTANCE (tons)	TENSION RESISTANCE (tons)	MINIMUM TIP ELEVATION (ft.)	PILE LENGTH (ft.)	REQUIRED JET ELEVATION (ft.)	REQUIRED PREFORM ELEVATION (ft.)	FACTORED DESIGN LOAD (tons)	DOWN DRAG (tons)	TOTAL SCOUR RESISTANCE (tons)	NET SCOUR RESISTANCE (tons)	100-YEAR SCOUR ELEVATION (ft.)	LONG TERM SCOUR ELEVATION (ft.)	RESISTANCE FACTOR-Ø
1	24	210	0	-45	80	N/A	-20	137	N/A	0	0	-5.0	N/A	0.65
2	24	233	0	-45	80	N/A	-20	152	N/A	0	0	-13.0	N/A	0.65
3	24	233	0	-45	80	N/A	-20	152	N/A	0	0	-12.5	N/A	0.65
4	24	240	0	-45	80	N/A	-20	156	N/A	0	0	-12.5	N/A	0.65
5	24	197	0	-45	80	N/A	-20	128	N/A	0	0	-7.7	N/A	0.65
West Boardwalk*	12	18	0	-40	70	N/A	-20	12	N/A	0	0	-5.0	N/A	0.65
East Boardwalk*	12	16	0	-40	70	N/A	-20	12	N/A	0	0	-7.7	N/A	0.65

Table Date 11/10/2018

PILE CUT-OFF ELEVATIONS

PILE NO. 1	PILE NO. 2	PILE NO. 3	PILE NO. 4
12.18	12.18	N/A	N/A
11.85	11.95	N/A	N/A
11.12	11.12	N/A	N/A
8.61	8.61	8.81	8.81
6.25	6.25	N/A	N/A

REFER TO PILE ELEVATION SHEET
REFER TO PILE ELEVATION SHEET

PILE INSTALLATION NOTES:
 Contractor to verify location of all utilities prior to any pile driving.
 Minimum Tip Elevation is required for lateral stability.
 No jetting will be allowed without the approval of the Engineer.
 The Contractor should not anticipate being allowed to jet piles below the minimum tip elevation.
 At each Bent, pile driving is to commence at the center of the Bent and proceed outward.



DESIGNED BY: [Signature]	CITY OF NAPLES	GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK	<p>380 Park Plaza Blvd. Suite 200 Clearwater, Florida 34615 www.cardno.com 727.521.5028 Cardno is a subsidiary of Fluor Corp. © 2015</p>	APPROVED BY: [Signature] DATE: 11/27/17	PROJECT NO: [Blank] DRAWING NO: [Blank] DATE: 12/18/2018 SHEET NO: B-8
--------------------------	----------------	---	--	--	--

BOARDWALK PILE ELEVATION TABLE

WEST SIDE BOARDWALK				EAST SIDE BOARDWALK							
PILE NUMBER	PILE CUT-OFF ELEVATIONS	PILE NUMBER	PILE CUT-OFF ELEVATIONS	PILE NUMBER	PILE CUT-OFF ELEVATIONS			PILE NUMBER	PILE CUT-OFF ELEVATIONS		
					LEFT	CENTER	RIGHT		LEFT	CENTER	RIGHT
1-2	10.00	29-30	15.53	55-56	12.23	-	12.23	92-93-94	6.98	6.21	6.98
3-4	10.32	31-32	15.93	57-58	11.86	-	11.86	95-96	6.61	-	6.61
5-6	10.73	33-34	16.33	59-60	11.48	-	11.48	97-98	6.23	-	6.23
7-8	11.13	35-36	16.41	61-62	11.11	-	11.11	99-100	5.86	-	5.86
9-10	11.53	37-38	16.79	63-64	10.73	-	10.73	101-102	5.21	-	5.21
11-12	11.93	39-40	17.13	65-66-67	10.36	9.59	10.36	103-104	4.85	-	4.85
13-14	12.33	41-42	17.43	68-69-70	9.98	9.21	9.98	105-106	4.53	-	4.53
15-16	12.73	43-44	17.68	71-72-73	9.61	8.84	9.61	107-108	4.24	-	4.24
17-18	13.13	45-46	17.89	74-75-76	9.23	8.46	9.23	109-110	3.97	-	3.97
19-20	13.53	47-48	18.06	77-78-79	8.86	8.09	8.86	111-112	3.73	-	3.73
21-22	13.93	49-50	18.19	80-81-82	8.48	7.71	8.48	113-114	3.51	-	3.51
23-24	14.33	51-52	18.28	83-84-85	8.11	7.34	8.11	115-116	3.33	-	3.33
25-26	14.73	53-54	18.33	86-87-88	7.73	6.96	7.73	117-118	3.17	-	3.17
27-28	15.13			89-90-91	7.36	6.59	7.36				



NO.	DESCRIPTION	BY	DATE
01	MODIFIED TABLE, ADDED ELEVATIONS	AAH	2/3/17

CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

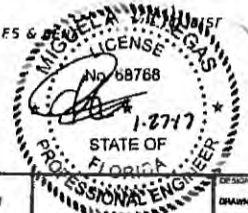
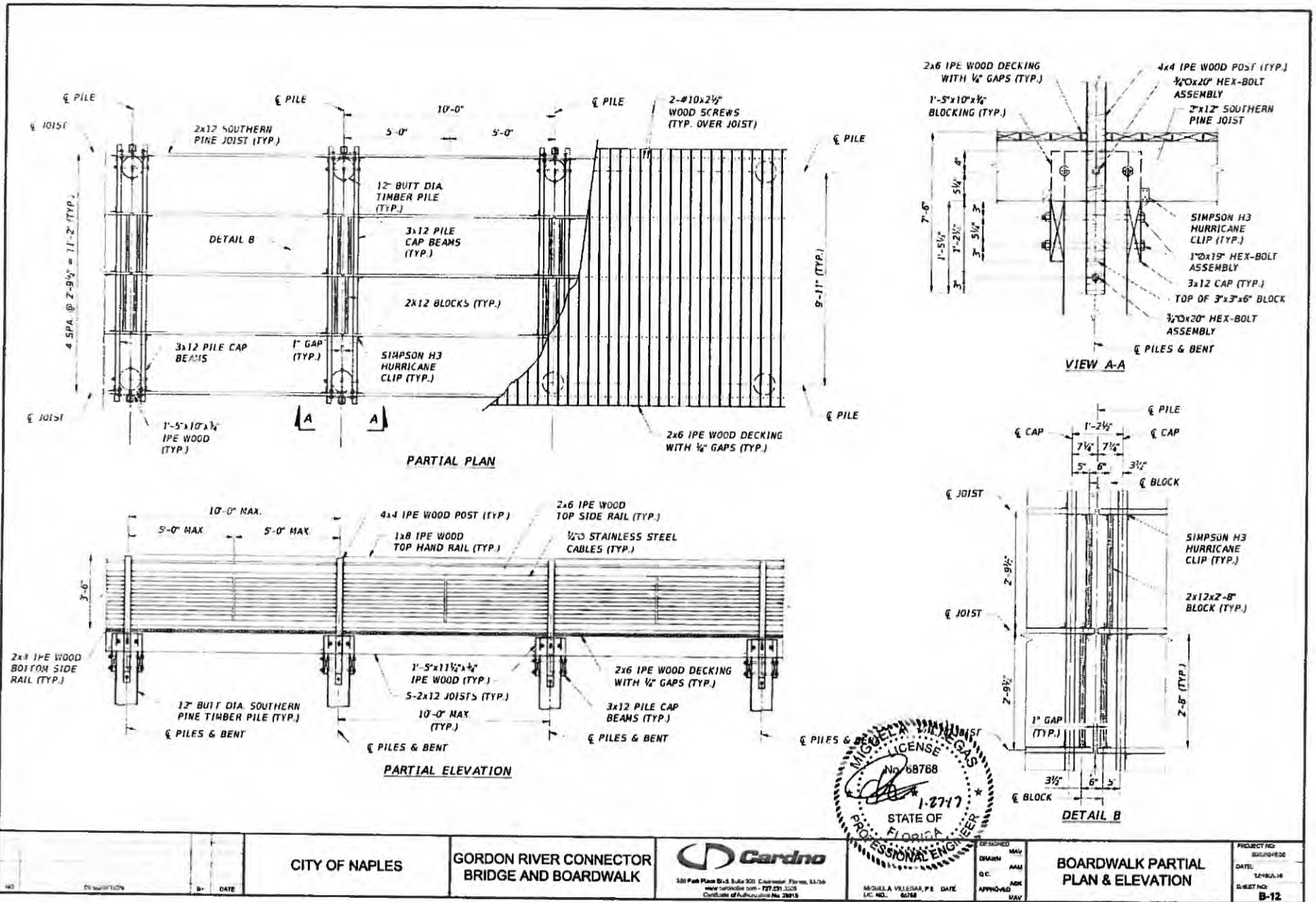


MIGUEL A. VILLEGAS, P.E. DATE
LIC. NO. 68768

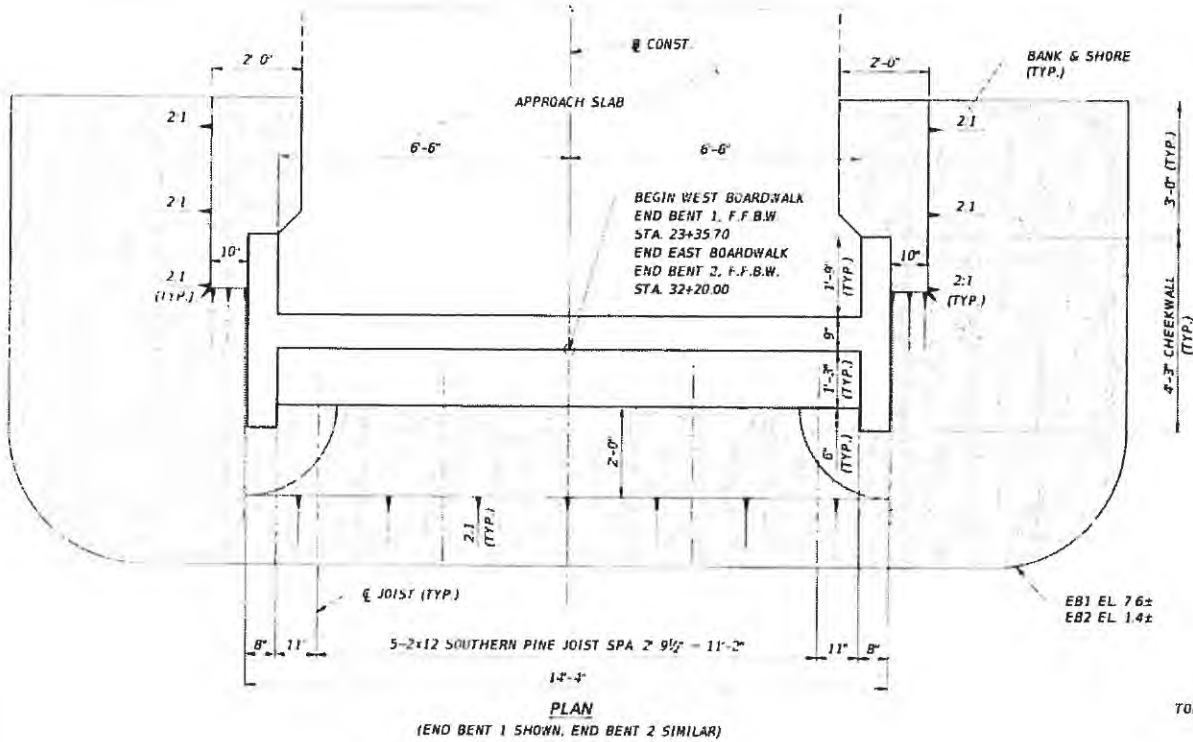
DESIGNED BY
DRAWN BY
CHECKED BY
APPROVED BY

PILE ELEVATION TABLE

PROJECT NO.
00028079-00
DATE
3/3/2017
SHEET NO.
B-10

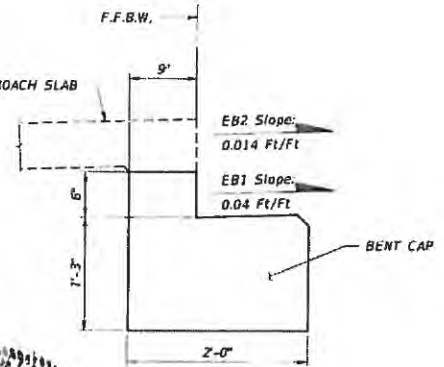
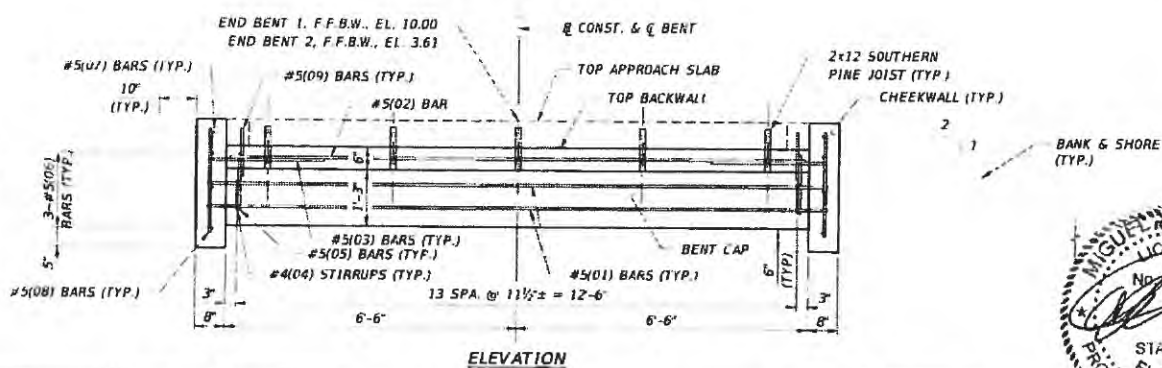


NO.	REVISION	DATE	CITY OF NAPLES	GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK	 <small>381 Park Place Blvd. Suite 300 Clearwater, FL 34616 727.439.1100 Cardno.com</small>	DESIGNED: MAY DRAWN: AM D.C.: APPROVED: MAY	BOARDWALK PARTIAL PLAN & ELEVATION	PROJECT NO.: B-12 DATE: 12/18/18 SHEET NO.: B-12
-----	----------	------	----------------	---	--	--	---	--

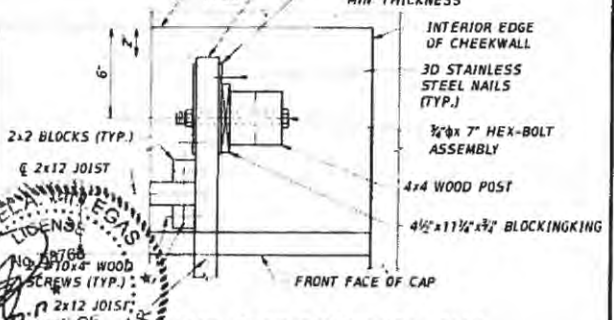
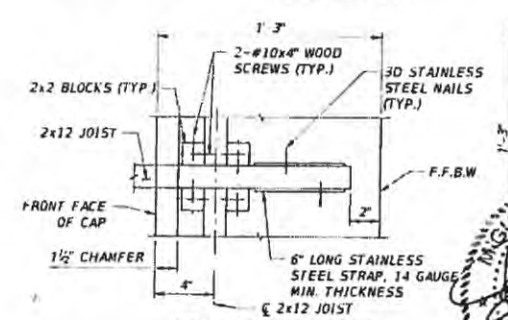
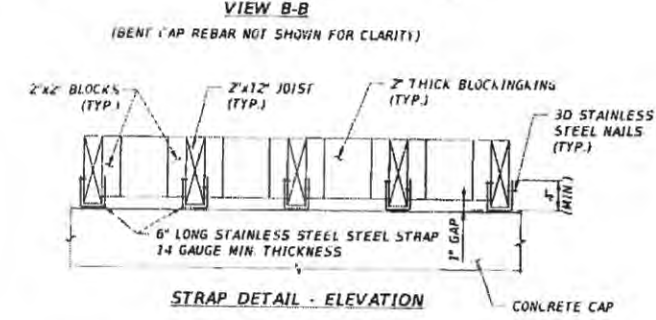
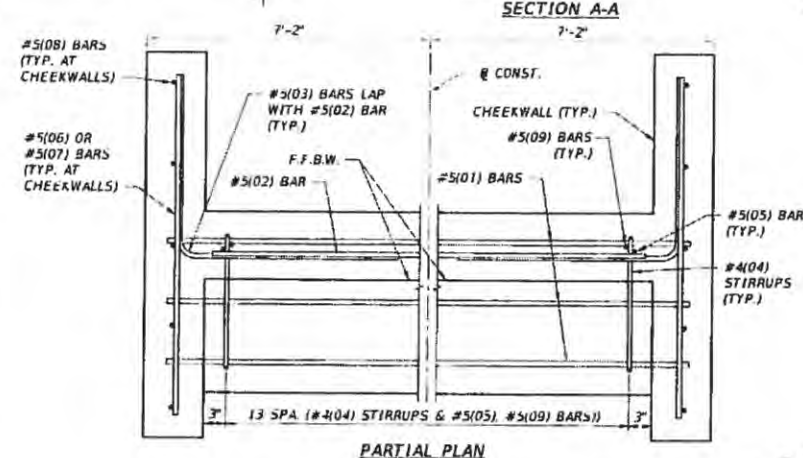
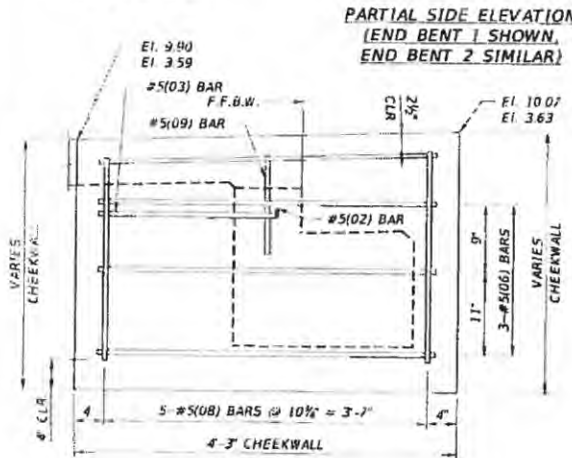
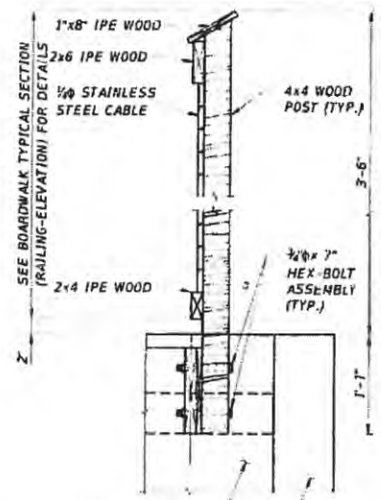
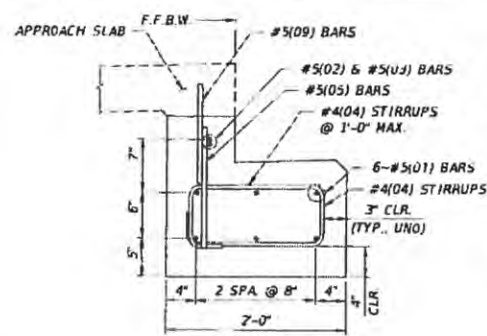
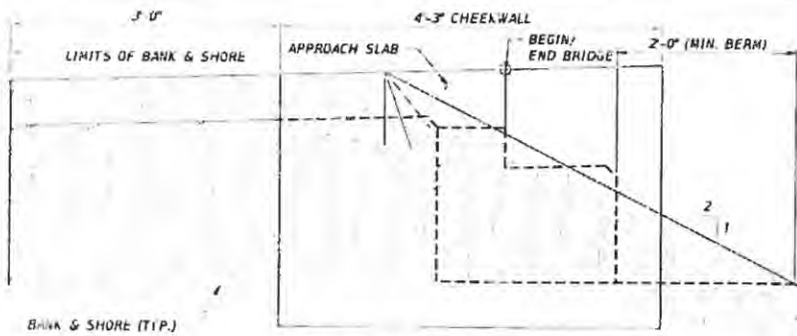


NOTES:
 1 1/4" CHAMFER UNLESS OTHERWISE NOTED.
 2. 3" CONCRETE COVER UNO.

NOTATION:
 #B(01) # BAR SIZE
 () BAR NUMBER



NO.	REVISION	DATE	CITY OF NAPLES	GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK	 350 Palm Beach Blvd., Suite 302, West Palm Beach, FL 33411 www.cardno.com - TEL: 561-552-5522 Certificate of Accreditation No. 28818	DESIGNED	RAY	PROJECT NO. 60228019 DR
						DRAWN	AMM	
						APPROVED	AVB	SHEET NO. B-13



NOTES:
 1. 3/4\"/>

NOTATION:
 #5(01) # BAR SIZE
 () BAR NUMBER



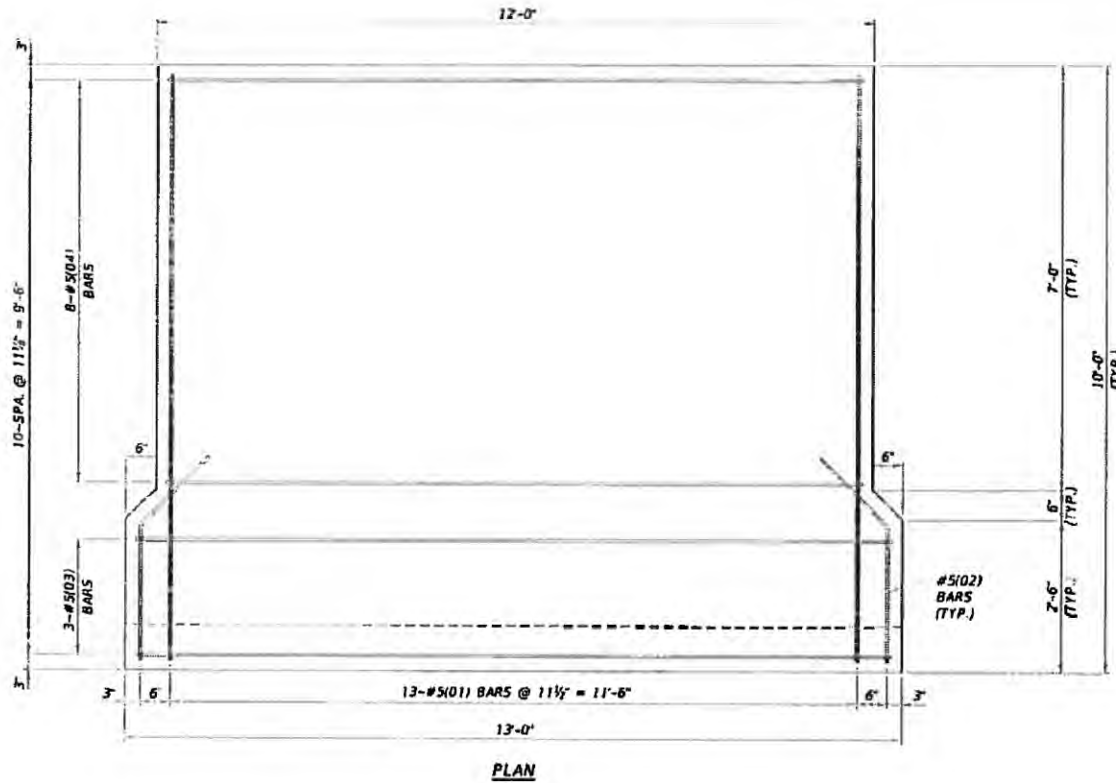
CITY OF NAPLES

GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK



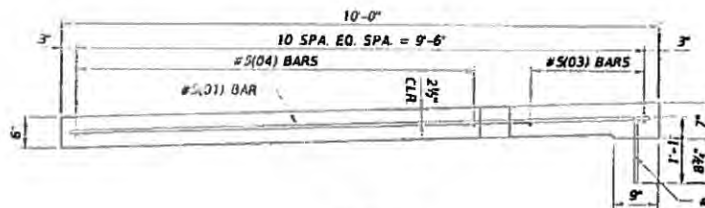
BOARDWALK
 END BENT DETAILS

PROJECT NO. 00028673 04
 DATE 12/01/2010
 SHEET NO. B-14



Direction of Stationing
END BENT 1

Direction of Stationing
END BENT 2



NOTES:

- 3#4" CHAMFER UNLESS OTHERWISE NOTED
- 2" CONCRETE COVER UNO.

NOTATION:

#8(01) # BAR SIZE
() BAR NUMBER



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

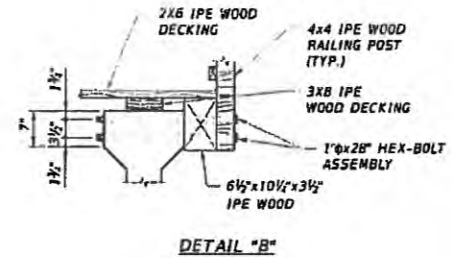
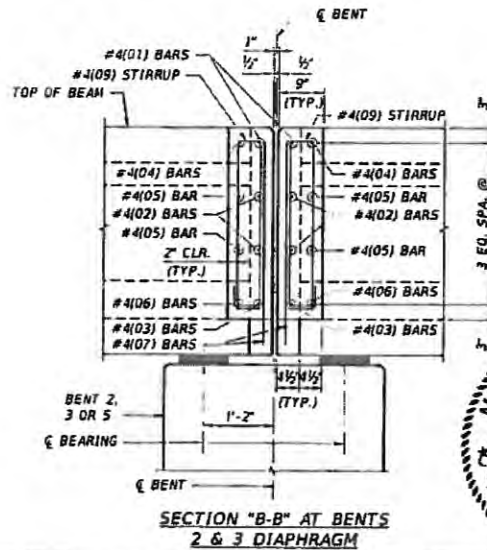
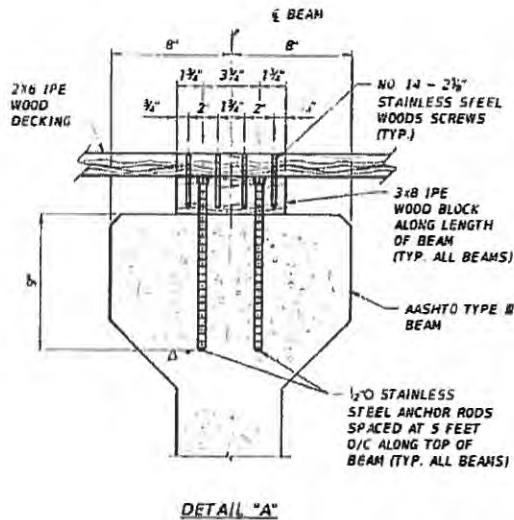
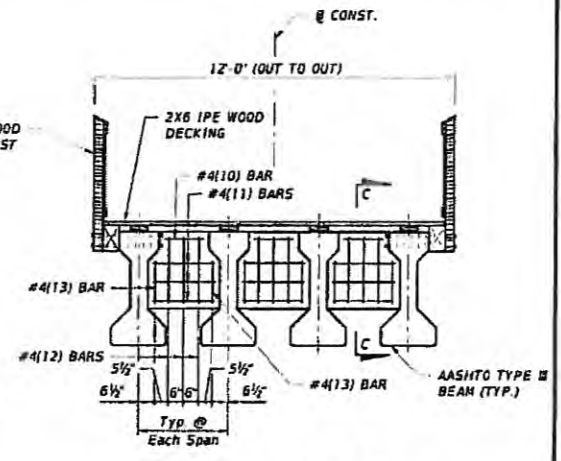
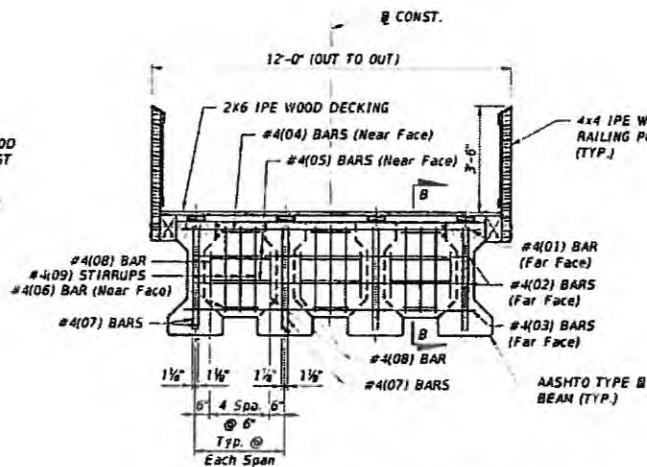
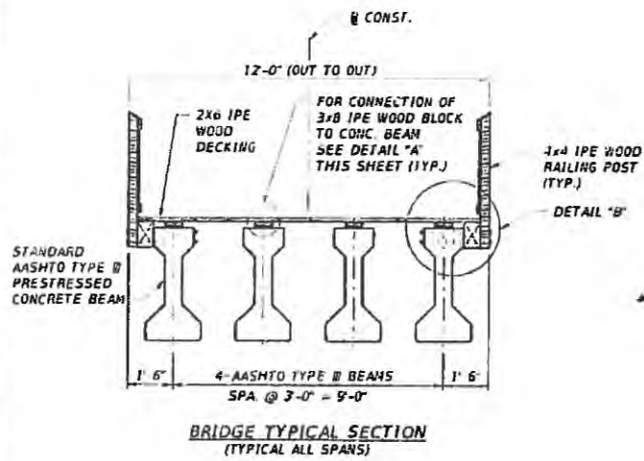
GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK



MOORE, A. VELEZAK, P.E. DATE
LIC. NO. 88788

BOARDWALK
APPROACH SLABS

PROJECT NO:	03230970 00
DATE:	12/18/2016
SHEET NO:	B-15

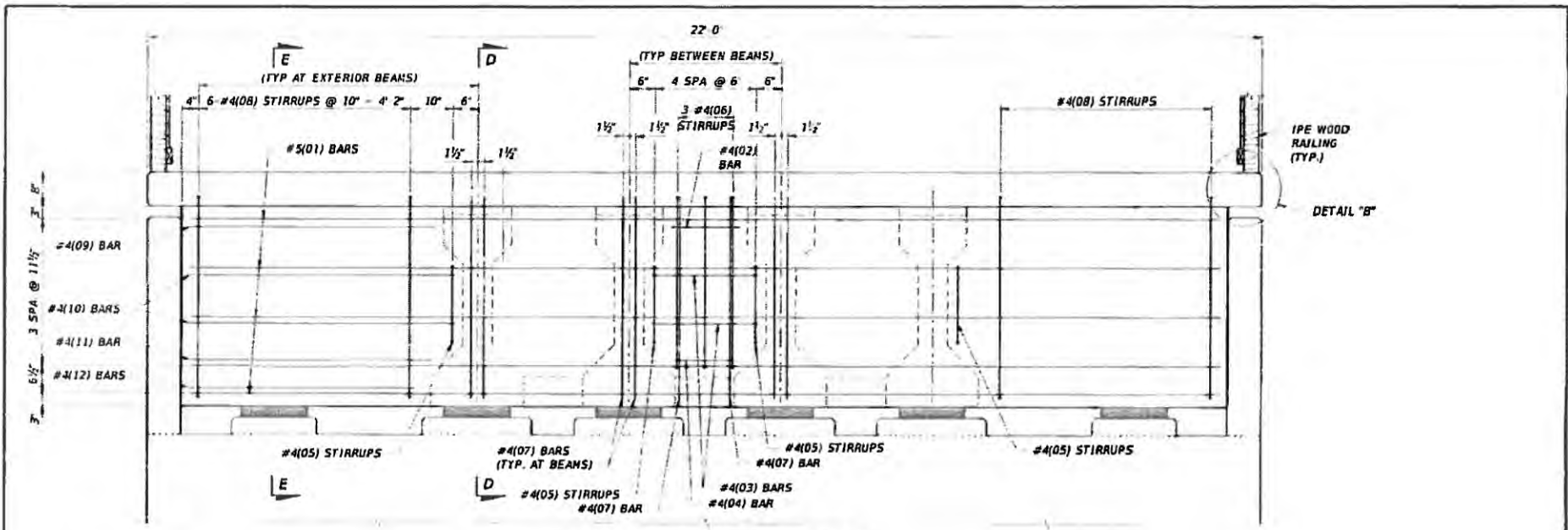


- NOTES:
- 1/2" CHAMFER UNLESS OTHERWISE NOTED.
 - 2" CONCRETE COVER UNO.

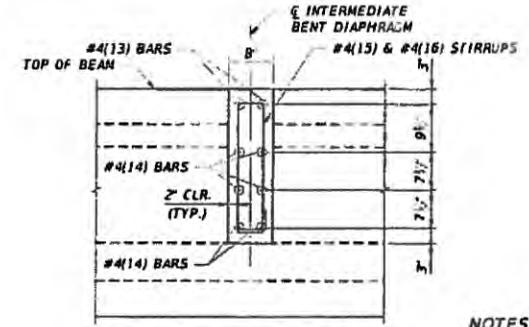
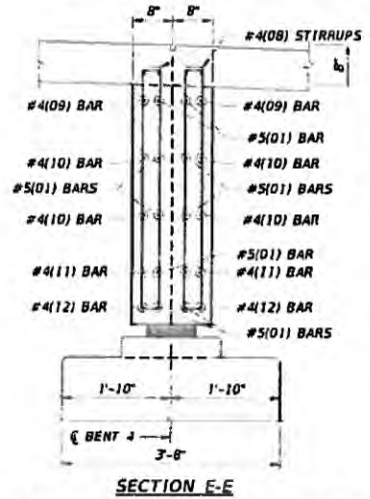
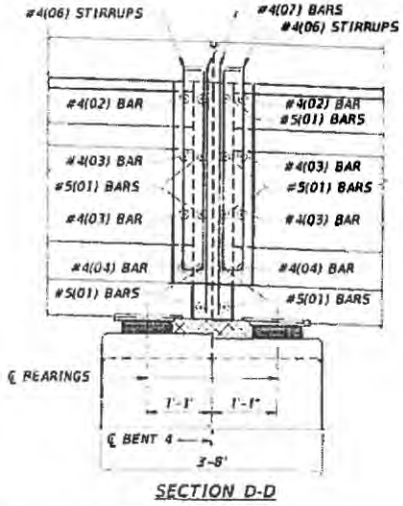
- NOTATION:
- #4(01) # BAR SIZE
- () BAR NUMBER



DESCRIPTION	BY	DATE	CITY OF NAPLES	GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK	 380 Park Plaza Blvd. Suite 200, Clearwater, FL 34616 www.cardno.com - 727.541.1545 Certificate of Professional No. 25119	DESIGNED MAY DRAWN MAY C.C. MAY APPROVED MAY	PROJECT NO. 0810019-00 DATE 12/18/18 SHEET NO. 8-16
BRIDGE TYPICAL SECTIONS (1 OF 2)							



SECTION THRU DIAPHRAGM AT BENT 4



- NOTES:**
- 1/2" CHAMFER UNLESS OTHERWISE NOTED
 - 2" CONCRETE COVER UNO.

NOTATION:

#4(01) # BAR SIZE
() BAR NUMBER



NO.	DESCRIPTION	BY	DATE

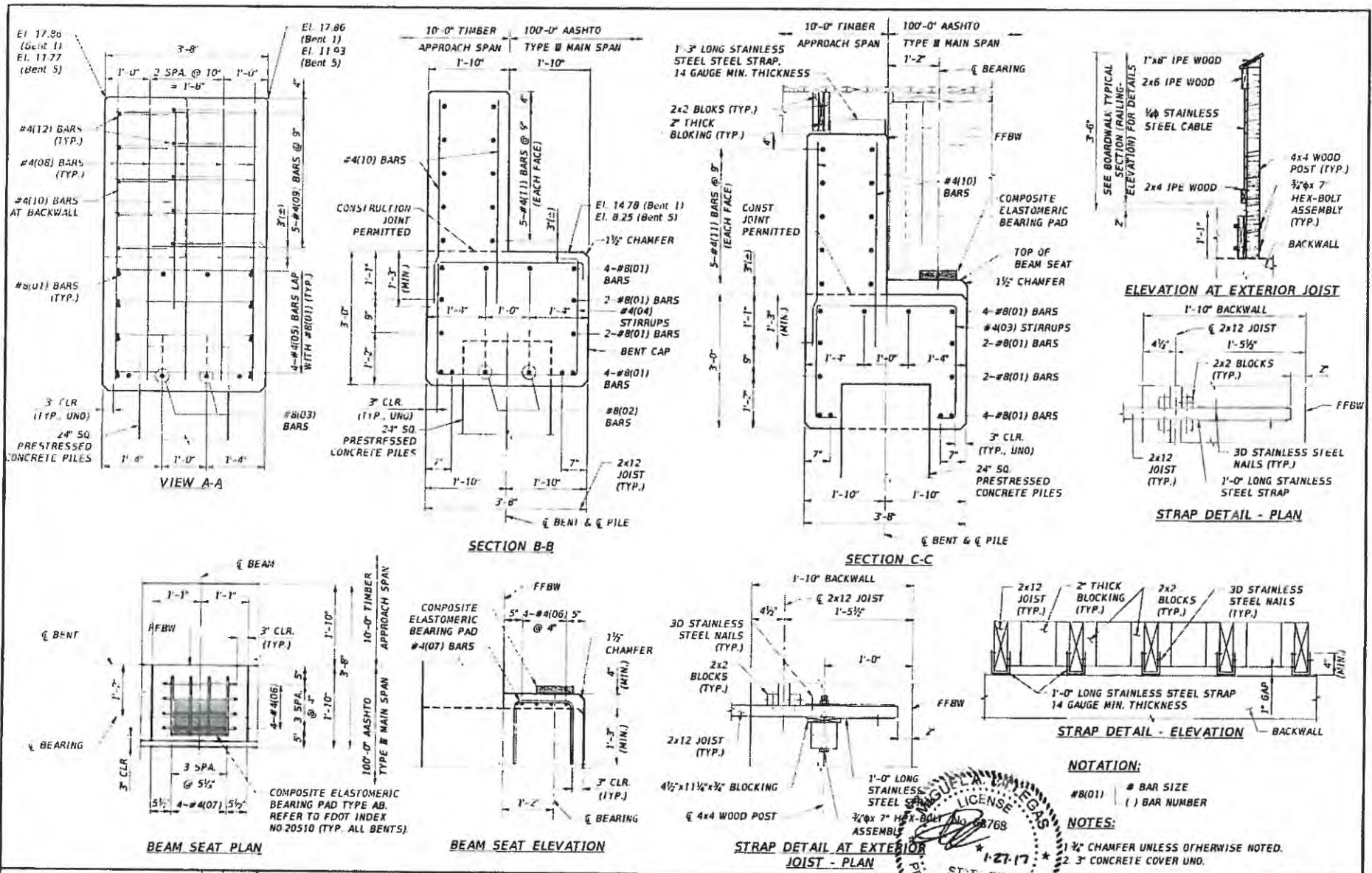
CITY OF NAPLES

GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

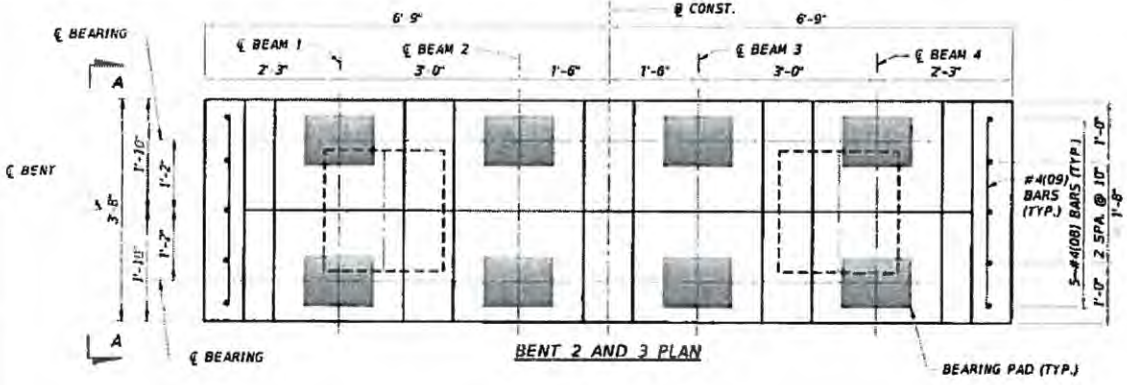


BRIDGE TYPICAL SECTIONS
(2 OF 2)

PROJECT NO.
10000078 DD
DATE
10/19/2014
SHEET NO.
B-17



NO	DESCRIPTION	BY	DATE	CITY OF NAPLES	GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK	 300 Park Place Blvd., Suite 307, Clearwater, Florida, 34616 Phone: (727) 331-3025 Certificate of Authorization No. 29018	 STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 68768 1-27-17	PROJECT NO. 140007800030010010 DATE: 12/11/2018 SHEET NO. B-20
----	-------------	----	------	----------------	---	--	---	--

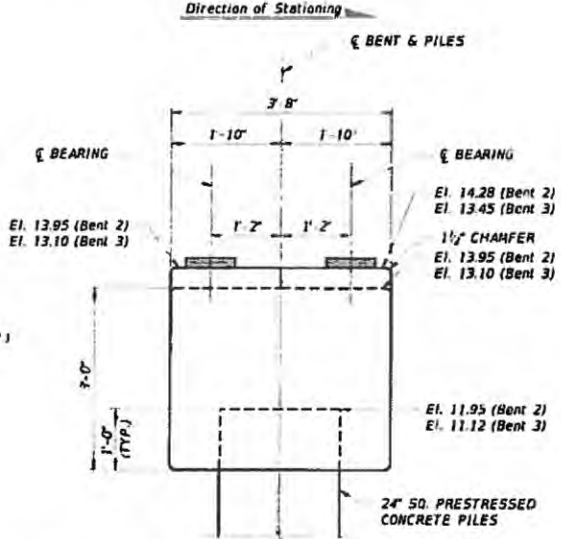
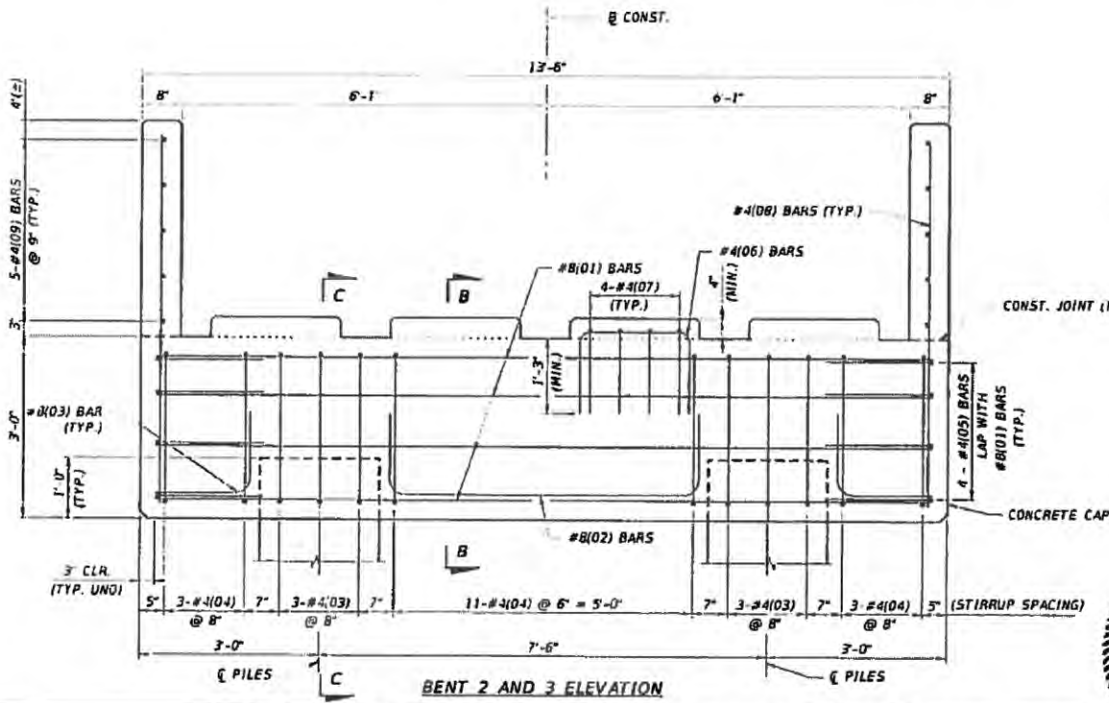


Direction of Stationing

- NOTES:**
- 3#4" CHAMFER UNLESS OTHERWISE NOTED.
 - 3" CONCRETE COVER UNL

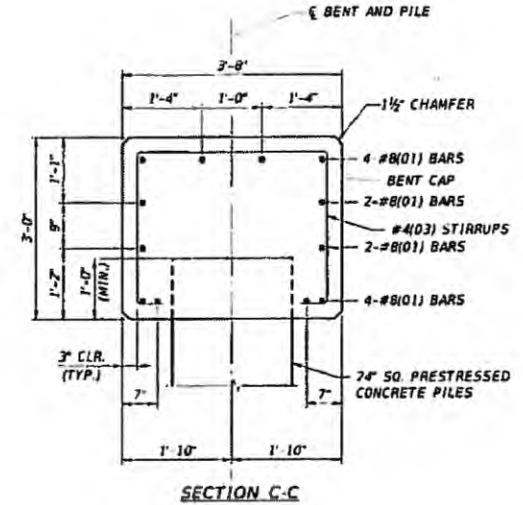
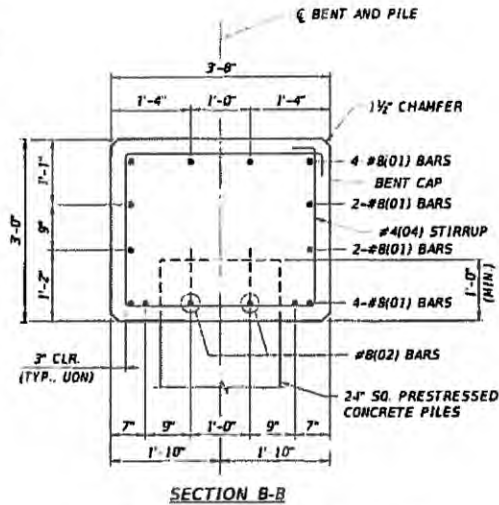
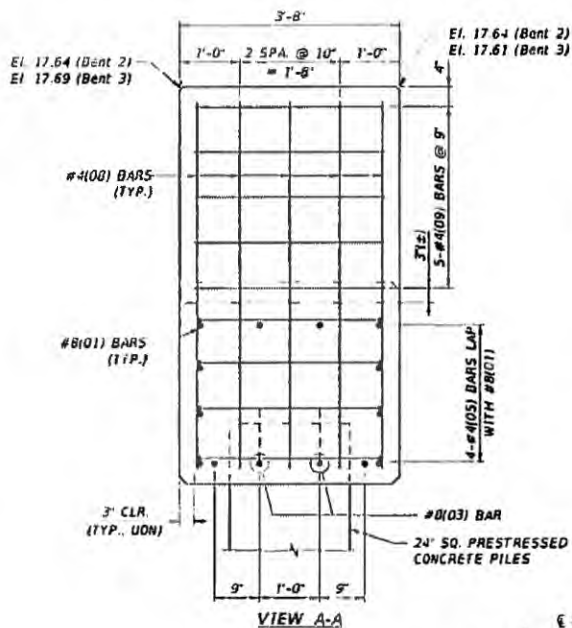
NOTATION:

#B(01) # BAR SIZE
() BAR NUMBER

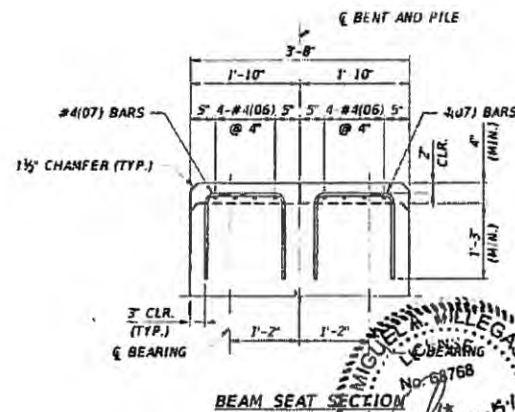
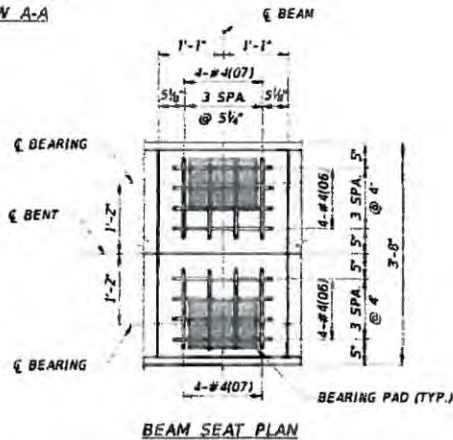


BENT 2 AND 3 TYPICAL SECTION

CITY OF NAPLES		GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK		 200 Park Place Blvd, Suite 300, Clearwater, Florida, 34616 www.cardno.com 727.891.3333 Certificate of Authority License No. 20015		PROJECT NO. 20020100 DATE 12/10/2019 SHEET NO. B-21	
NO.	DESCRIPTION	BY	DATE	DESIGNED BY	APP. AM	BENTS 2 & 3	
				D.C.	APP. AM		
				APPROVED	DATE		

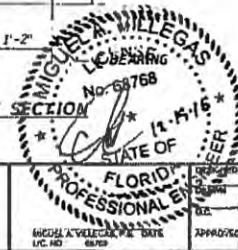


NOTE: SEE BENT 4 FOR SECTIONS LOCATIONS



NOTES:
 1. 3/4" CHAMFER UNLESS OTHERWISE NOTED
 2. 3" CONCRETE COVER UNO.

NOTATION:
 #8(01) # BAR SIZE
 () BAR NUMBER



NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

GORDON RIVER CONNECTOR
 BRIDGE AND BOARDWALK

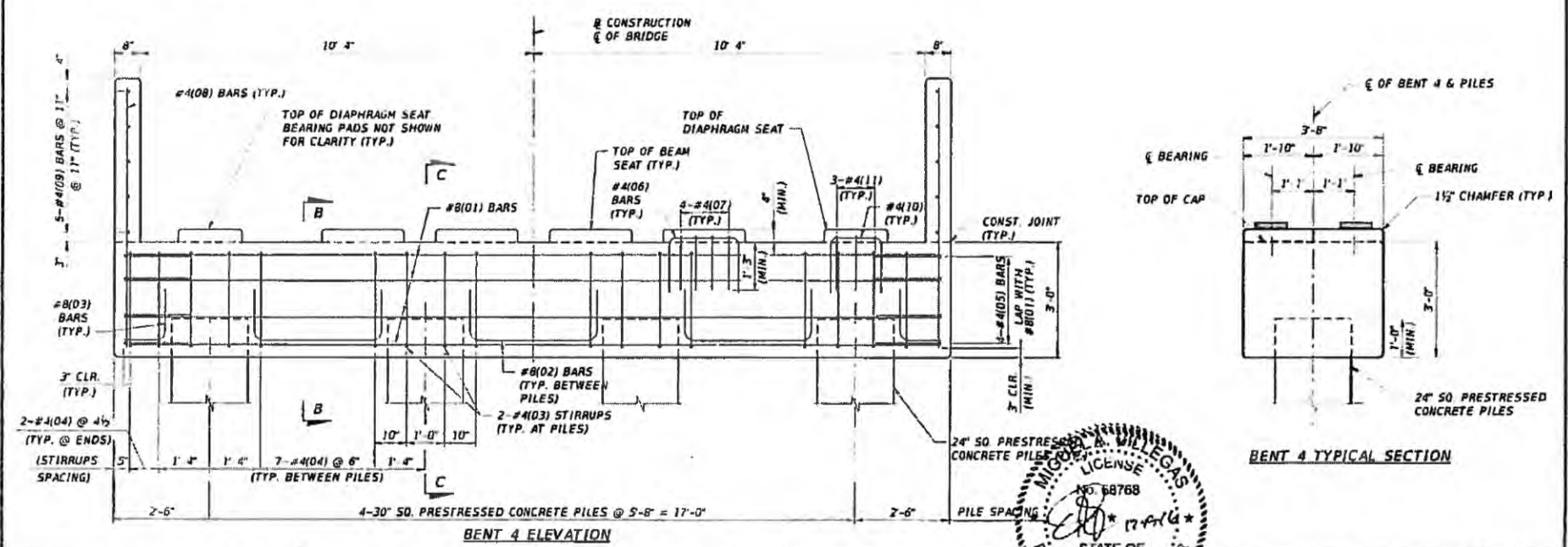
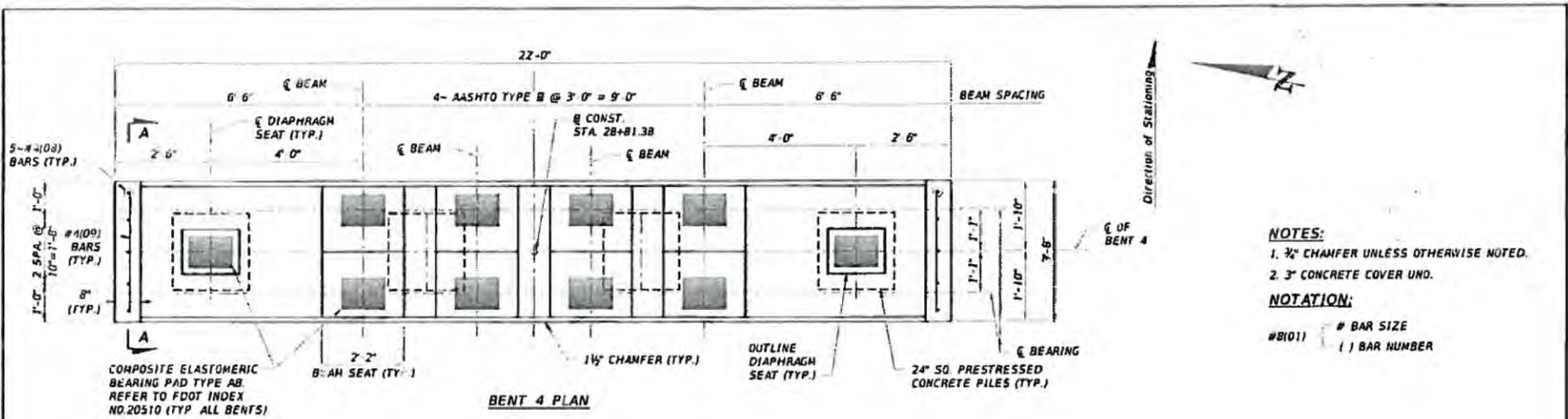


380 Pda Plaza Blvd., Suite 300, Clearwater, Florida 34616
 www.cardno.com - 727.231.2525
 Conditions of Authorization No. 22818

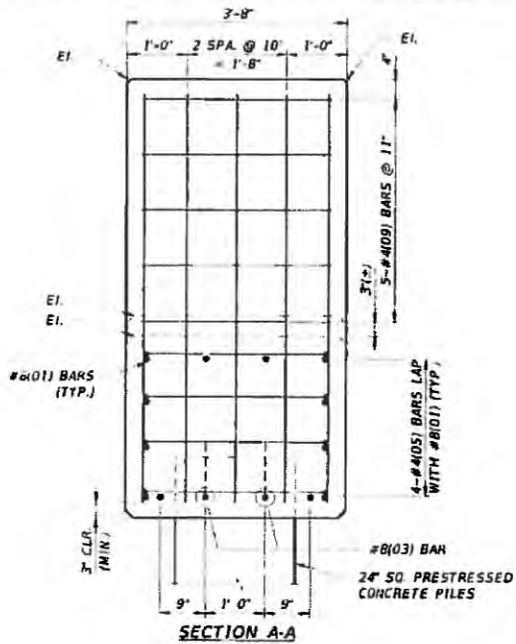
REGISTERED PROFESSIONAL ENGINEER
 FLORIDA
 No. 68768
 11-15-16

BENTS 2 & 3 DETAILS

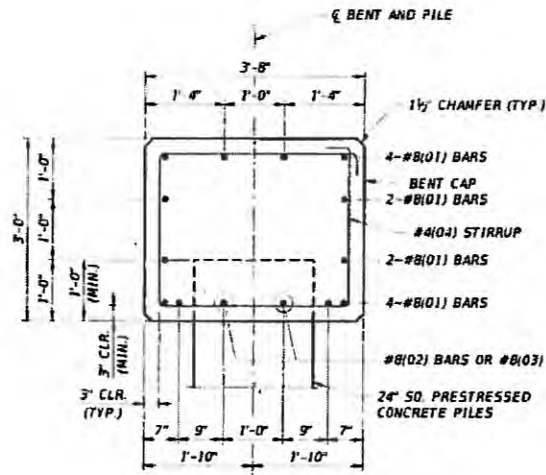
PROJECT NO.	1500296.00
DATE	12/18/2018
DESIGN NO.	B-22



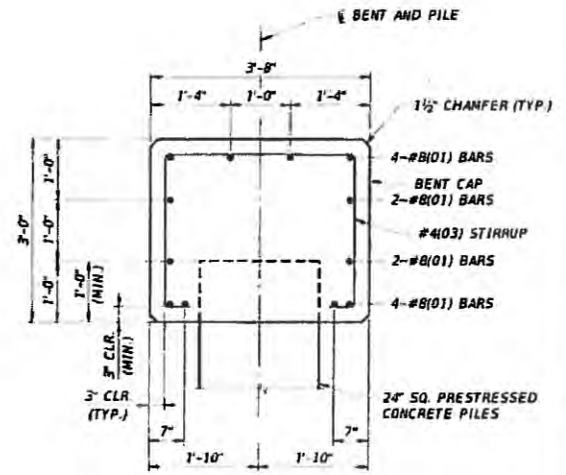
CITY OF NAPLES		GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK		 288 Park Plaza Blvd., Suite 300, Clearwater, Florida, 33768 www.cardno.com • 727.851.3525 Certificate of Authorization No. 22418				BENT 4		PROJECT NO. 000007088 DATE: 03/18/18 SHEET NO. B-23	
----------------	--	---	--	--	--	--	--	--------	--	---	--



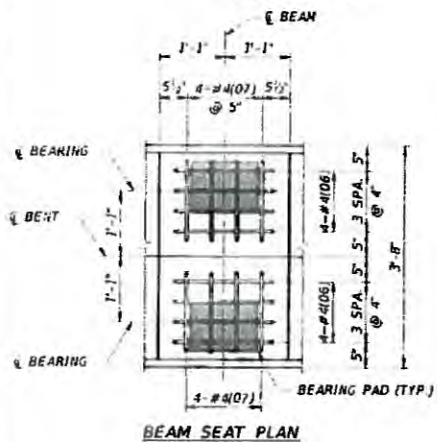
SECTION A-A



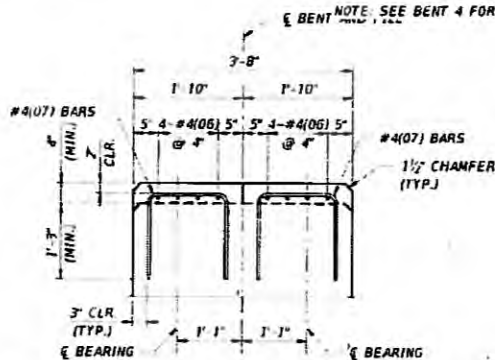
SECTION B-B



SECTION C-C

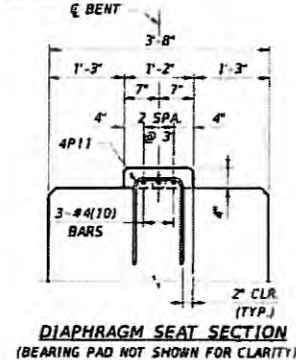
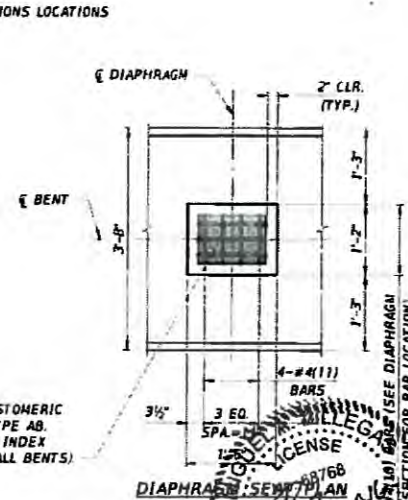


BEAM SEAT PLAN



BEAM SEAT SECTION
(BEARING PADS NOT SHOWN FOR CLARITY)

COMPOSITE ELASTOMERIC BEARING PAD TYPE AB. REFER TO FDOT INDEX NO 20510 (TYP. ALL BENTS).



DIAPHRAGM SEAT SECTION
(BEARING PAD NOT SHOWN FOR CLARITY)

- NOTES:
- 3#4 CHAMFER UNLESS OTHERWISE NOTED.
 - 3" CONCRETE COVER UNO.

NOTATION:

#8(01) () BAR SIZE
() BAR NUMBER

CITY OF NAPLES

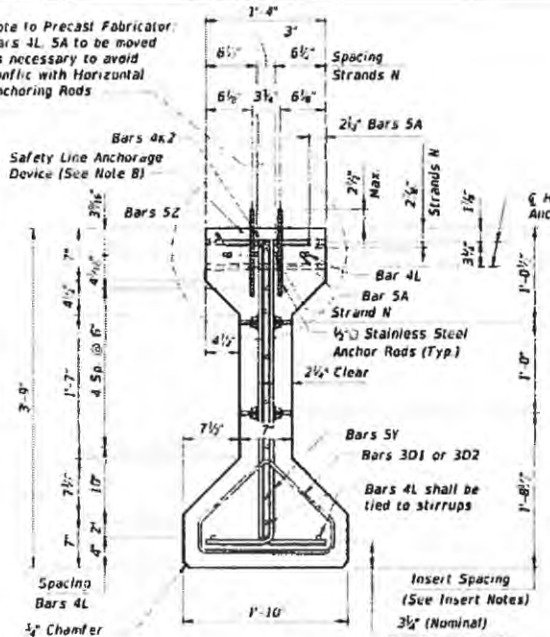
GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK



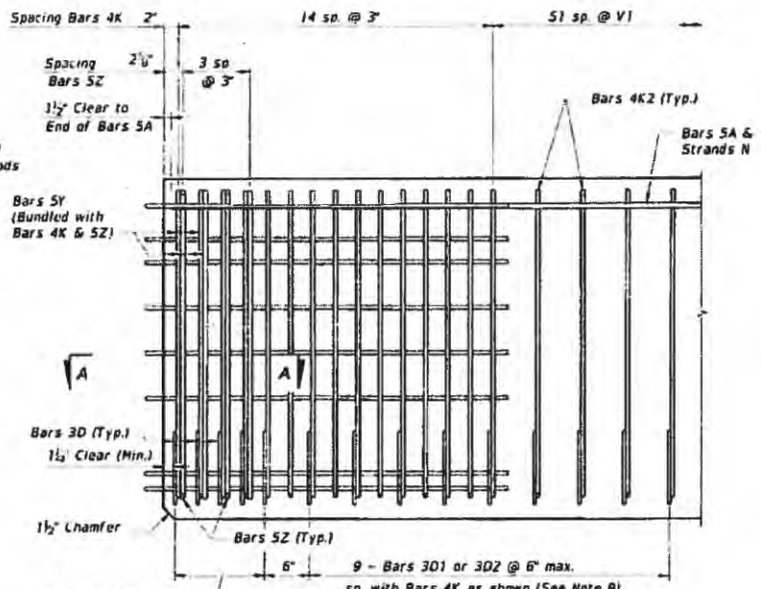
BENT 4 DETAILS

PROJECT NO. 0026210 00
DATE 12/18/2014
SHEET NO. B-24

Note to Precast Fabricator:
Bars 4L, 5A to be moved
as necessary to avoid
conflict with Horizontal
Anchoring Rods

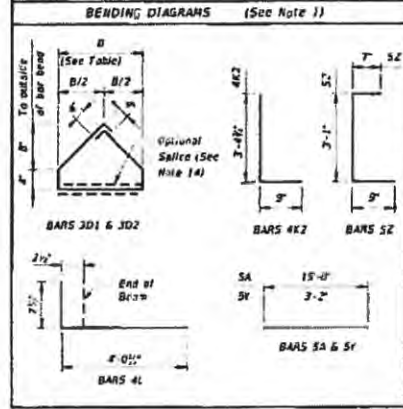


END VIEW
TYPICAL BEAM SECTION



ELEVATION AT END OF BEAM
(Flanges Not Shown For Clarity)

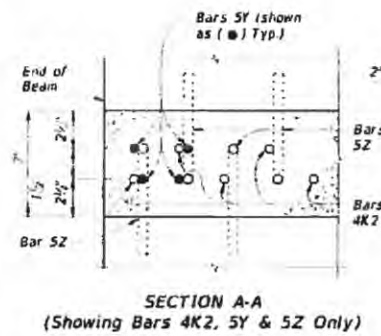
BILL OF REINFORCING STEEL FOR ONE BEAM ONLY				
MARK	NOTE NUMBERS	SIZE	NUMBER REQUIRED	LENGTH (NOTE 1)
A	—	5	4	15'-0"
D1	9, 11 & 14	3	12	See Table
D2	9, 11 & 14	3	12	See Table
K2	2, 9, 11 & 13	4	See Table	4'-13"
N	3 & 5	3/8" O Strand	2	DIM L x 5"
Y	9 & 11	4	8	3'-2"
Z	2, 9, 11 & 13	5	8	4'-5"



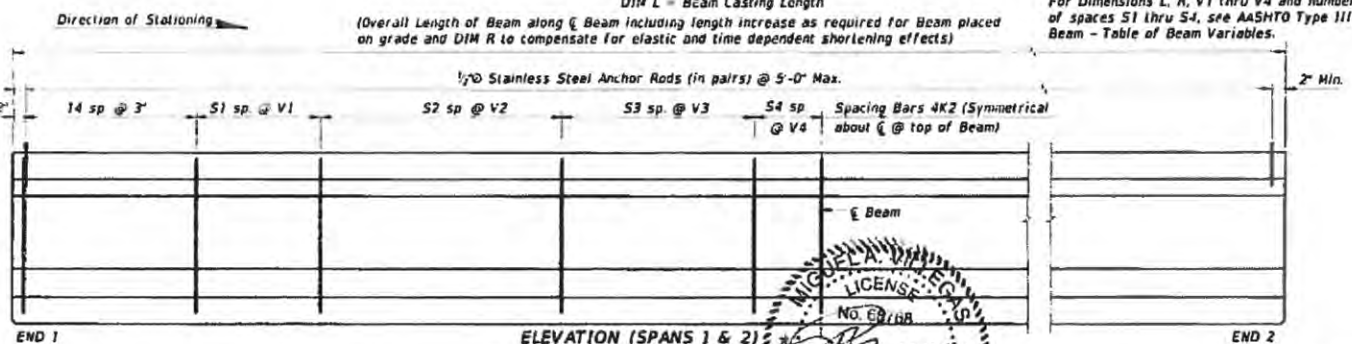
NOTES:
Work this Index with Index FDOT 2011D (2010)
- Typical AASHTO and Bulb-T Beam Details and
Notes and AASHTO Type III Beam - Table of
Beam Variables in Structures Plans.

For referenced notes, see FDOT 2011D (2010).

For Dimensions L, R, V1 thru V4 and number
of spaces S1 thru S4, see AASHTO Type III
Beam - Table of Beam Variables.



SECTION A-A
(Showing Bars 4K2, 5Y & 5Z Only)



ELEVATION (SPANS 1 & 2)
See Beam Table

NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES

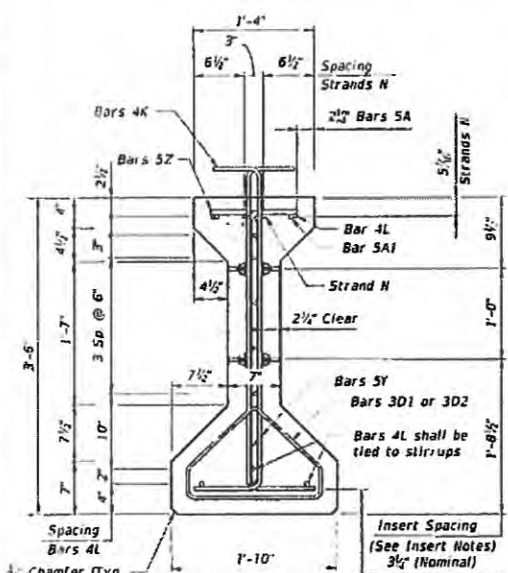
GORDON RIVER CONNECTOR
BRIDGE AND BOARDWALK

Cardno
200 Park Plaza Blvd., Suite 200, Clearwater, Florida, 33768
www.cardno.com - 727.831.3528
Certificate of Authorization No. 20918

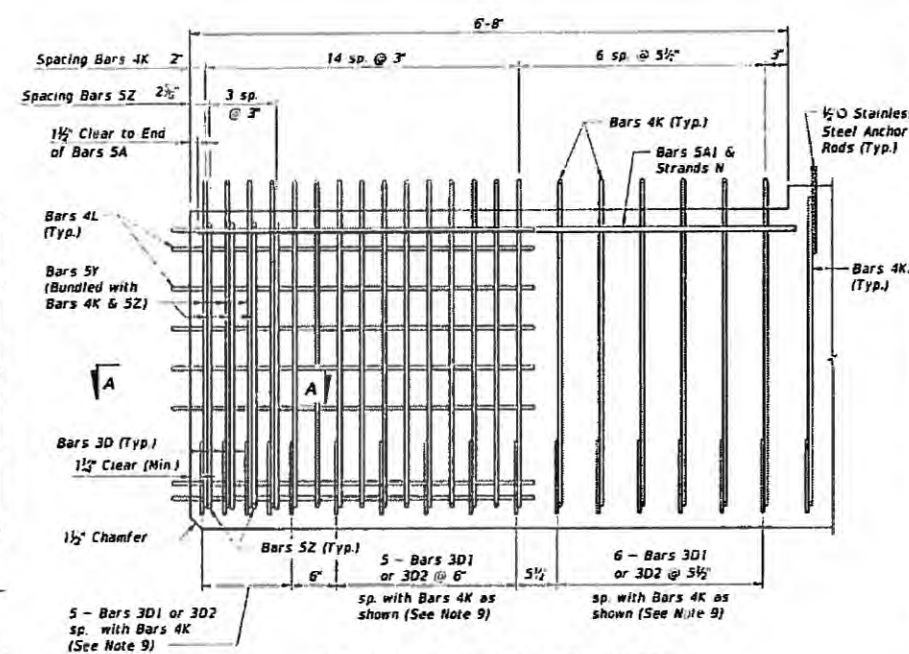
STATE OF FLORIDA
PROFESSIONAL ENGINEER
NO. 68188
12/19/2016 2:14:53 PM

AASHTO TYPE III BEAM
DETAILS (SPANS 1 & 2)

PROJECT NO: 20080018 06
DATE: 01/18/2016
SHEET NO: B-26

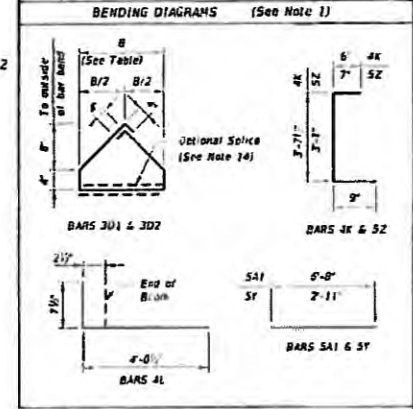


END VIEW
MODIFIED BEAM SECTION UNDER PAVILION
 FOR THE OPPOSITE END VIEW REFER TO SHEET B-26

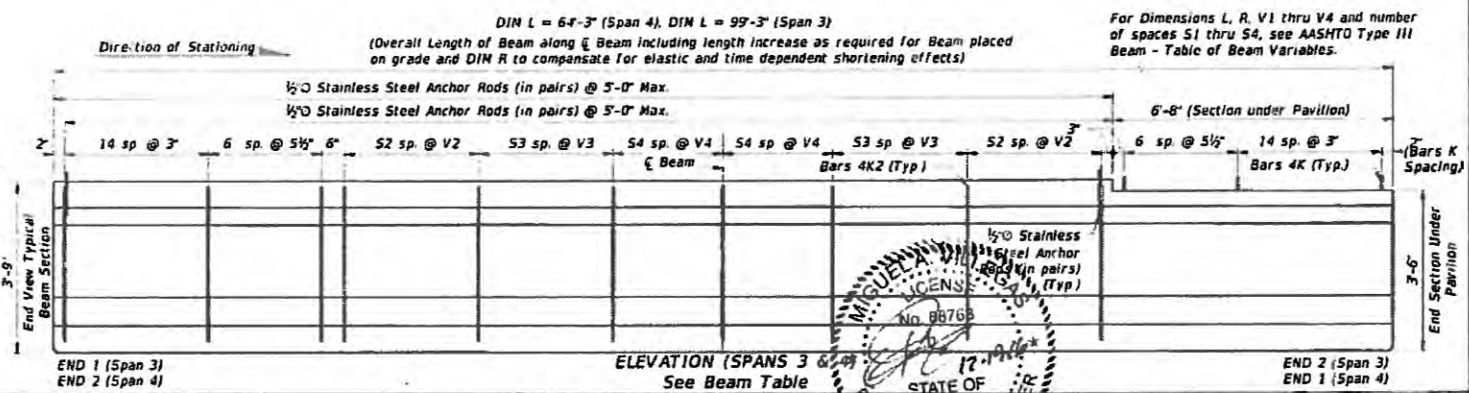
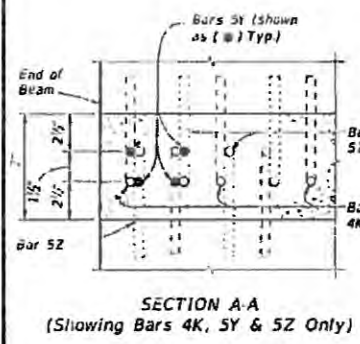


ELEVATION AT END OF MODIFIED BEAM
 (Flanges Not Shown For Clarity)

BILL OF REINFORCING STEEL FOR ONE BEAM ONLY				
MARK	NOTE NUMBERS	SIZE	NUMBER REQUIRED	LENGTH (NOTE 1)
A1		5	4	6'-8"
D1	9, 11 & 14	3	12	See Table
D2	9, 11 & 14	3	12	See Table
K	2, 9, 11 & 13	4	See Table	4'-10"
N	3 & 5	0 Strand	2	DIM L+S
Y	9 & 11	4	8	2'-11"
Z	2, 9, 11 & 13	5	8	4'-5"



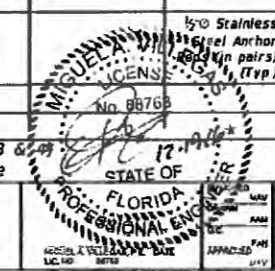
NOTES:
 Work this Index with Index FDOT 20110 (2010) - Typical AASHTO and Bulb T Beam Details and Notes and AASHTO Type III Beam - Table of Beam Variables in Structures Plans
 For referenced notes, see FDOT 20110 (2010)
 For Dimensions L, R, V1 thru V4 and number of spaces S1 thru S4, see AASHTO Type III Beam - Table of Beam Variables.

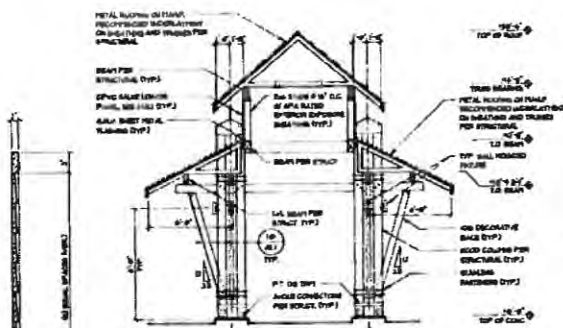


ELEVATION (SPANS 3 & 4)
 See Beam Table

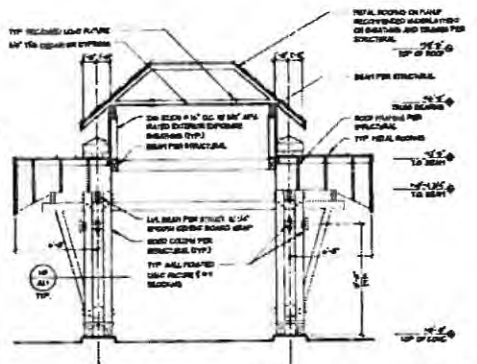
NO.	DESCRIPTION	BY	DATE

CITY OF NAPLES GORDON RIVER CONNECTOR BRIDGE AND BOARDWALK **Cardno** 350 Park Place Blvd., Suite 302, Clearwater, Florida, 33768 www.cardno.com • 727.321.3243 PROJECT NO. 12-1182016 DATE: 12-18-2016 SHEET NO. B-27

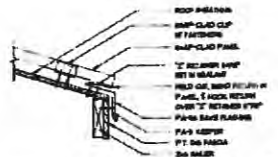




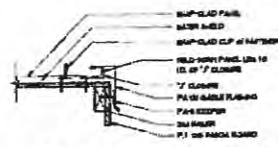
BUILDING SECTION 9
SCALE 1/4" = 1'-0"



SOUTH ELEVATION 7
SCALE 1/4" = 1'-0"



ROOF EDGE DETAIL 4
SCALE 1/4" = 1'-0"



ROOF GABLE DETAIL 3
SCALE 1/4" = 1'-0"

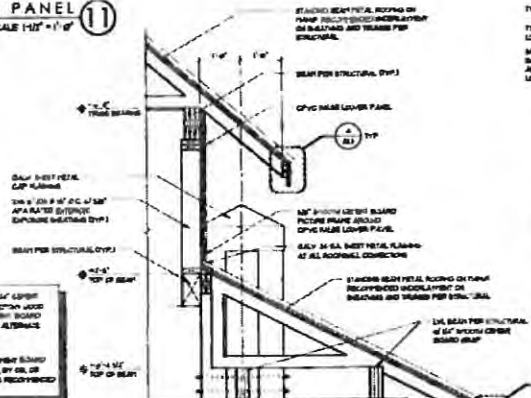
GENERAL NOTES

- DO NOT SCALE DRAWINGS, USE ONLY WRITTEN DIMENSIONS.
- ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS, CODE REQUIREMENTS, MATERIALS, AND SPECIAL AND OTHER CONDITIONS INDICATED BY THESE DRAWINGS PRIOR TO PROCEEDING WITH THE PROJECT.
- IF CONDITIONS AT THE JOB SITE ARE DIFFERENT FROM THOSE SHOWN IN THE CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING.

- WELD-CLAD LIGHT FIXTURE**
- 2X LIGHTING FIXTURE TO BE SUPPLIED
 - LED TYPE RECESSED
 - CHROME AND BURN
 - FROM TOP "OLD CUPPER"
- ROOFING AND PANELS**
- 2X LIGHTING FIXTURE TO BE SUPPLIED
 - LED TYPE RECESSED
 - CHROME AND BURN
 - FROM TOP "OLD CUPPER"

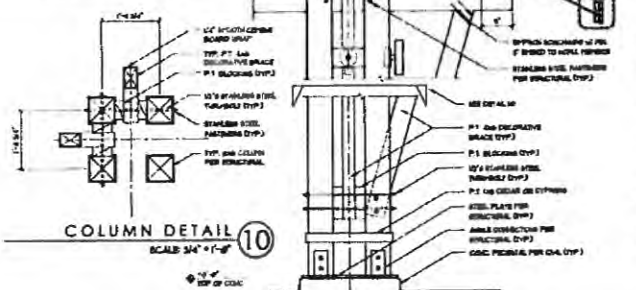
- METAL ROOFING BY PATENTOR SUPPLIER IS ALL**
- 48" WIDE PANELS 24" HIGH AND BY
 - TYP. SUBSTRATE: METAL OVER PLY 5 PLY,
 - UNPAINTED, RECESSED RIBS, BRIDGE
 - APPROXIMATE 1/4" R-VALUE LIGHT COLOR
 - TO BE MANUFACTURER'S BALANCE PER 1994

FALSE LOUVER PANEL 11
SCALE 1/4" = 1'-0"

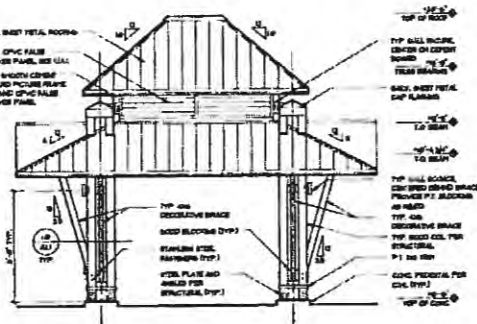


CALL ALL SPACED JOINTS OF 6\"/>

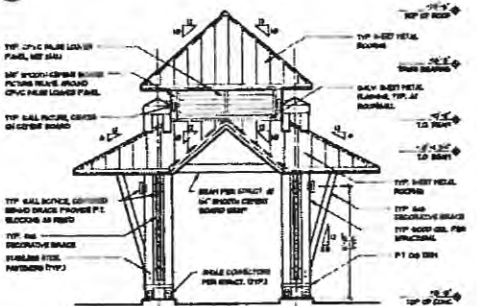
COLUMN DETAIL 10
SCALE 1/4" = 1'-0"



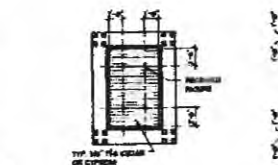
WALL SECTION 8
SCALE 1/4" = 1'-0"



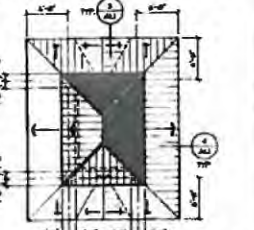
SOUTH ELEVATION 6
SCALE 1/4" = 1'-0"



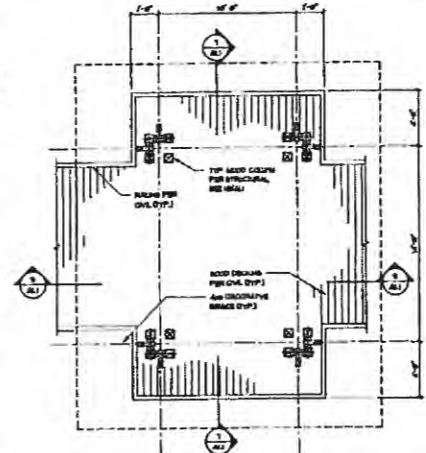
NORTH ELEVATION 5
SCALE 1/4" = 1'-0"



CEILING PLAN 12
SCALE 1/2" = 1'-0"



ROOF PLAN 2
SCALE 1/2" = 1'-0"



FLOOR PLAN 1
SCALE 1/4" = 1'-0"

MHK
ARCHITECTURE
& PLANNING

103 CHADWICK SOUTH
HIALEES PLAZA, SUITE 1000
P.O. BOX 11111
MIAMI, FL 33101
PHONE: (305) 531-7100
FAX: (305) 531-0223
WWW.MHKAP.COM

PROFESSIONAL SEAL AND EXPIRATION DATE

**NEW VIEWING PAVILION for
GORDON RIVER BRIDGE & BOARDWALKS
CITY OF NAPLES
COLLIER COUNTY, FLORIDA**



DATE:	
SCALE:	
PROJECT:	
DRAWN BY:	

PHASE: P/UNT
PR. NO: 15124
DRAWN BY: BKS

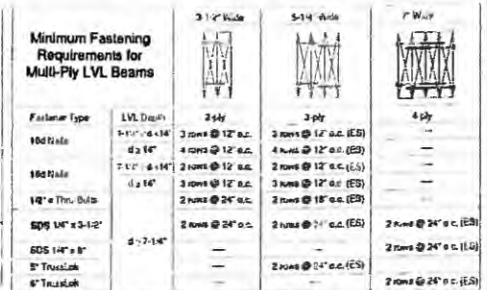
A1.1

... (Detailed technical notes and specifications for the bridge pavilion project, including material requirements and construction details.)

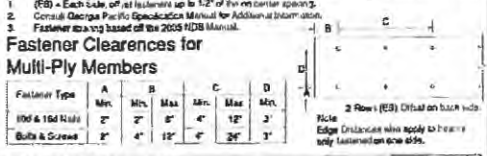
... (Additional technical notes and specifications, including details for the exterior ceiling and soffit.)

TABLE 1 - MINIMUM FASTENING REQUIREMENTS FOR MULTI-PLY LVL BEAMS

FASTENER TYPE	MINIMUM SPACING (IN)	MINIMUM EDGE DISTANCE (IN)	MINIMUM END DISTANCE (IN)	MINIMUM END DISTANCE (IN)	MINIMUM END DISTANCE (IN)	MINIMUM END DISTANCE (IN)
16d Nails	12"	1 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
18d Nails	12"	1 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
19d x 1 1/4" Tru. Nails	12"	1 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
60S 1 1/4" x 3-1/2"	12"	1 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
60S 1 1/4" x 6"	12"	1 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
6" Tru. Nails	12"	1 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"
6" Tru. Nails	12"	1 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"



1. Minimum fastener spacing shall be 12" on center.
2. Consult Georgia Pacific Specification Manual for Additional Information.
3. Fastener spacing based on the 2005 NDS Manual.



DESIGN PARAMETERS:

PARAMETER	VALUE
Material	...
Fastener	...
...	...

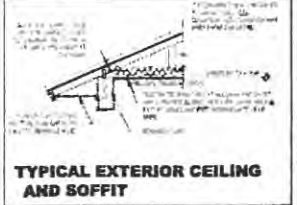
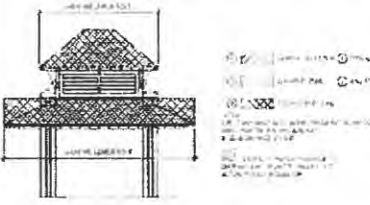


TABLE 2 - CONCRETE ANCHOR SPECIFICATIONS

Anchor	Min. Embedment	Min. Spacing	Min. Edge Dist.	Min. End Dist.	Min. End Dist.	Min. End Dist.
3/8" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1/2" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
3/4" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1 1/4" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1 1/2" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1 3/4" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
2" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"

Concrete Anchor Specifications

Anchor	Min. Embedment	Min. Spacing	Min. Edge Dist.	Min. End Dist.	Min. End Dist.	Min. End Dist.
3/8" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1/2" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
3/4" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1 1/4" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1 1/2" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
1 3/4" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"
2" x 6" Stud Bolt	5-1/2"	8SP	2-1/2"	2-1/2"	2-1/2"	2-1/2"



ATLAS DESIGN & ENGINEERING, INC.
 Civil / Structural / Plumbing / Electrical / Mechanical Engineering
 6800 University Dr., Ste 402
 Fort Myers, Florida 33907
 Tel: (239) 262-7432
 Cell: (239) 262-7470
 Fax: (239) 262-4704
 Email: info@atlasdesign.com

PROJECT INFORMATION
 PROJECT: GORDON RIVER BRIDGE PAVILION
 DRAWING: S.0.1

REVISIONS
 NO. 1: Initial Design
 NO. 2: Final Design

GORDON RIVER BRIDGE PAVILION
 DRAWINGS
 S.0.1

DATE: 10/10/10
 DRAWN BY: [Signature]

SCALE: 1/8" = 1'-0"
 [Signature]



ATLAS DESIGN & ENGINEERING, INC.
 Civil / Structural /
 Plumbing / Electrical /
 Mechanical Engineering

2200 University Dr. Ste 402
 Fort Myers, Florida 33907
 Tel: (239) 267-7432
 Cell: (239) 262-7870
 Fax: (239) 267-8704
 Email: info@atlasdesign.com

MECHANICAL DESIGN PER TYPICAL 2000

NOTED:
 1. See Notes on Plans
 2. See Notes on Specifications
 3. See Notes on Schedule

PRINT	REVISION
01/10/10	01/10/10
02/10/10	02/10/10
03/10/10	03/10/10
04/10/10	04/10/10
05/10/10	05/10/10
06/10/10	06/10/10
07/10/10	07/10/10
08/10/10	08/10/10
09/10/10	09/10/10
10/10/10	10/10/10
11/10/10	11/10/10
12/10/10	12/10/10

PROJECT INFORMATION

PROJECT NO: 1010
GORDON RIVER BRIDGE PAVILION
 PROJECT LOCATION: 1010
 DATE: 10/10/10

DRAWINGS NTS

DATE: 10/10/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DESIGNED BY: [Name]

S 1.1

[Signature]
 1010
 10/10/10

LEGEND

[Symbol]	[Description]
[Symbol]	[Description]
[Symbol]	[Description]

KEYNOTES

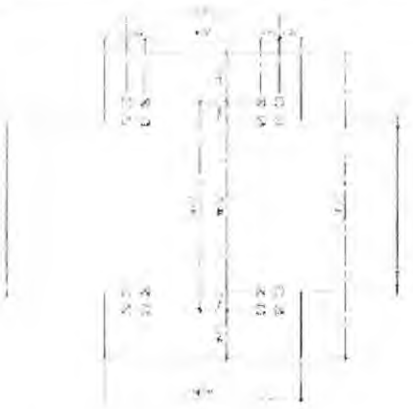
1. See Notes on Plans
 2. See Notes on Specifications
 3. See Notes on Schedule

COLUMN SCHEDULE

NO.	TYPE	SECTION
1	CONCRETE	12" x 12"
2	CONCRETE	12" x 12"
3	CONCRETE	12" x 12"

BEAM SCHEDULE

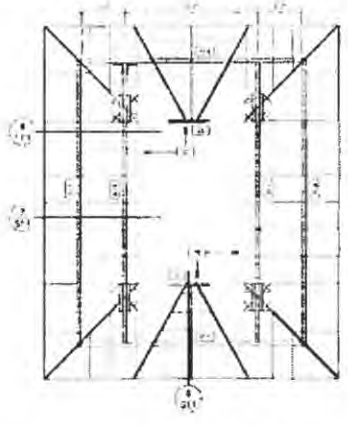
NO.	TYPE	SECTION
1	CONCRETE	12" x 12"
2	CONCRETE	12" x 12"
3	CONCRETE	12" x 12"



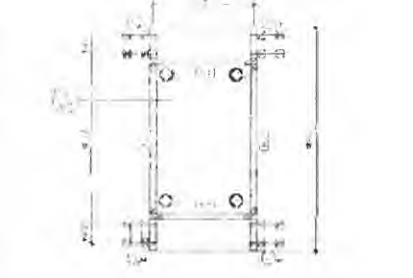
1 **Column Base Plan**
S1.1



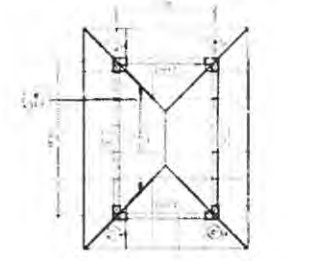
2 **1st Level Beam Plan**
S1.1



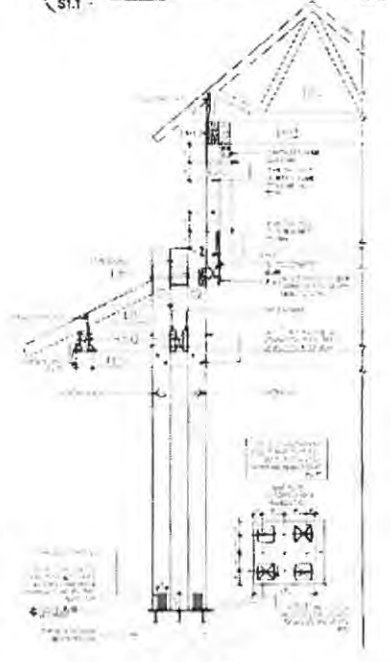
3 **Lower Roof Framing Plan**
S1.1



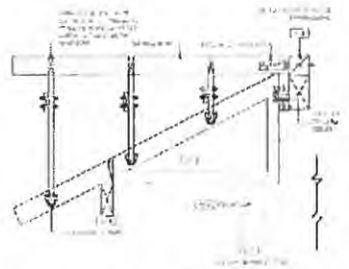
4 **3rd Level Beam Plan**
S1.1



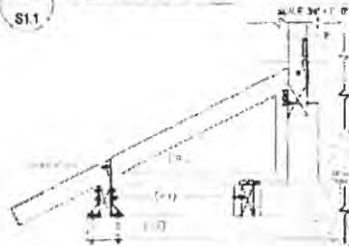
5 **Upper Roof Framing Plan**
S1.1



6 **Section Detail**
S1.1



8 **Gable End Detail**
S1.1



7 **Truss Framing Detail**
S1.1

Technical Special Provisions

1. STAINLESS STEEL CABLE RAILINGS SYSTEM

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. RailEasy™ Cable Railing: Pre-engineered, component-based, horizontal cable infill and natural IPE wood as shown on contract plans and as specified in section 2 of this Technical Special Provisions.

1.2 RELATED SECTIONS

- A. Section 03 30 00 - Cast-in-Place Concrete.
- B. Section 06 20 00 - Finish Carpentry.
- C. Section 06 43 13 - Wood Stairs.

1.3 REFERENCES

- A. ASTM E 985 - Standard Specification for Permanent Metal Railing Systems and Rails for Buildings.
- B. ASTM A 276 - Stainless Steel Bars and Shapes.
- C. ASTM A 314 - Stainless Steel Billets and Bars for Forging.
- D. ASTM A 492 - Standard Specification for Stainless Steel Rope Wire.
- E. ASTM A 554 - Welded Stainless Steel Mechanical Tubing.
- F. ASTM A 582 - Free-Machining Stainless and Heat-Resisting Steel Bars.
- G. ANSI A 1264.1 - Safety Requirements for Workplace Floor and Wall Openings, Stairs, and Railing Systems.
- H. ANSI/ASCE 7 - Minimum Design Loads for Buildings and Other Structures.
- I. 29 CFR 1910.23 - Guarding floor and wall openings; Occupational Safety and Health Administration.
- J. BOCA National Building Code; Building Officials and Code Administrators International, Inc.
- K. ICBO Uniform Building Code; International Conference of Building Officials.
- L. SBCCI Standard Building Code; Southern Building Code Congress International, Inc.
- M. ICC - International Code Council (2003 International Codes).

1.4 DESIGN / PERFORMANCE REQUIREMENTS

- A. Structural Performance: Provide handrails and railings systems, including top rail, bottom rail, end posts, intermediate posts, cables, and cable hardware capable of withstanding the following structural loads without exceeding allowable design working stress of materials for

handrails, railings, anchors and connections in conformance with applicable codes:

1. Top Rail of Guards: Shall withstand the following loads:
 - a. Concentrated load of 200 lbf (0.89kN) applied at any point and in any direction.
 - b. Uniform load of 50 lbf-ft (0.07kN-m) applied horizontally and concurrently with uniform load of 100 lbf-ft (0.14kN-m) applied vertically downward.
 - c. Concentrated and uniform loads above need not be assumed to act concurrently.
2. Hand rails Not Serving As Top Rails: Shall withstand the following loads:
 - a. Concentrated load of 200 lbf (0.89 kN) applied at any point and in any direction.
 - b. Uniform load of 50 lbf-ft (0.07kN-m) applied in any direction
 - c. Concentrated and uniform loads above need not be assumed to act concurrently.
3. Guard Infill Area: Shall withstand the following loads:
 - a. Concentrated horizontal load of 200 lbf (0.89 kN) applied to 1 sq ft at any point in system, including panels, intermediate rails, balusters, or other elements composing infill area. Loads need not be assumed to act concurrently with loads on top rails in determining stress on guard.

B. Corrosion Resistance: Separate incompatible materials to prevent galvanic corrosion.

1.5 SUBMITTALS

- A. Product Data: Manufacturer's data sheets on each product to be used, including:
 1. Preparation instructions and recommendations.
 2. Storage and handling requirements and recommendations.
 3. Installation instructions and methods.
 4. Description of materials, components, fabrication, and finishes.
 5. Structural test reports provided by the manufacturer evidencing compliance with the specifications.
- B. Shop Drawings: Submit manufacturer's shop drawings, including plans, elevations, sections, and details, indicating materials, components, sizes, dimensions, tolerances, hardware, finishes, options, accessories, and installation. Show details of attaching railing system to supports.
- C. Verification Samples: For each finish product specified, two samples, adequate in size, representing actual product, workmanship, and finishes.
 1. Railing frame components.
 2. Cables.
 3. Cable hardware.
- D. Manufacturer's Certificates: Certify products meet or exceed specified requirements.
- E. Maintenance Instructions: Submit manufacturer's maintenance and cleaning instructions.

1.6 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with minimum five years documented experience.
- B. Installer Qualifications: Manufacturer's trained installers or an installer acceptable to the manufacturer

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Deliver and store materials to site in manufacturer's original, unopened containers and packaging, with labels clearly identifying product name and manufacturer.

- B. Store products in clean, dry area indoors until ready for installation. Store materials in accordance with manufacturer's instructions.
- C. Protect materials and finish from damage during handling and installation.

1.8 SEQUENCING

- A. Ensure that locating templates and other information required for installation of products of this section are furnished to affected trades in time to prevent interruption of construction progress.
- B. Ensure that products of this section are supplied to affected trades in time to prevent interruption of construction progress.

1.9 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.
- B. Verify actual openings by field measurements before fabrication; show recorded measurements on shop drawings.
- C. Coordinate field measurements and fabrication schedule with construction progress to avoid construction delays.

1.10 PRE-INSTALLATION MEETING

- A. Convene a pre-installation meeting approximately two weeks before start of fabrication of railing frame components and construction of railing frame component mounting surfaces. Require attendance of parties directly affecting work of this section, including Contractor, Architect and Installer. Review the following:
 1. Specific method of installation of components into mounting surfaces.
 2. Installation, adjusting, cleaning, and protection of railing system.
 3. Coordination with other work.

1.11 COORDINATION

- A. Coordinate Work with other operations and installation of adjacent materials to avoid damage.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable Manufacturer: Atlantis Rail or approved equal. Atlantis Rail is located at: 70 Armstrong Rd.; Plymouth, MA 02360; Toll Free Tel: 800-541-6829; Tel: 508-732-9191; Fax: 508-732-9798; Email: info@atlantisrail.com; Web: www.atlantisrail.com
- B. Requests for substitutions will be considered in accordance with Product Requirements.

2.2 MATERIALS

- A. Stainless Steel Structural Tubing: ASTM A 554, Type 316, minimum tensile strength 70,000 psi; 2 inch (50 mm) diameter.
- B. Wire Rope: ASTM A 492, Type 316 stainless steel wire; 5/32 inch (4 mm) diameter, 1x19 configuration, conforming to dimensional properties specified in MIL-W-87161.

- C. Wood Railing Frame Components: IPE wood as shown on contract plans; and as specified in section 1 of this Technical Special Provisions.

2.3 ORNAMENTAL RAILING SYSTEM

- A. RailEasy™ Cable Railing System: Pre-engineered, component-based, horizontal cable infill and natural IPE wood as shown on contract plans and as specified in section 1 of this Technical Special Provisions.
- B. Wood Railing Frame Components: IPE wood as shown on contract plans; and as specified in section 1 of this Technical Special Provisions.
- C. Wire Rope: ASTM A 492, Type 316 stainless steel wire; 5/32 inch (4 mm) diameter, 1x19 configuration, conforming to dimensional properties specified in MIL-W-87161.
 - a. Orientation: Horizontal.
 - b. Spacing: 3 inches (76 mm) O.C.
 - c. Finish: Passivated.
 - d. Tensioner Assemblies: RailEasy™ stainless steel tensioners with mechanical swaging capability. Slotted base has capability of making up to 45 degree angles.
 - e. Orientation: Vertical.
 - f. Spacing: 4 inches (102 mm) OC.

2.4 FABRICATION:

- A. Fabricate systems in accord with approved shop drawings and the manufacturer's instructions.
- B. Preassemble items in shop to greatest extent practicable to minimize assembly at project site. Disassemble units only to extent necessary for shipping and handling limitations. Mark units for reassembly.
- C. Field connections may be done using manufacturer's recommended methods.
- D. Coordinate fabrication of railing system components.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. Verify field measurements are acceptable to suit stair assembly tolerances.
- C. Verify supports and anchors are correctly positioned.
- D. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

3.2 PREPARATION

- A. Take field measurements after permanent end terminations are in place and prior to preparation of shop drawings and fabrication, to ensure fitting of work.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the

best result for the substrate under the project conditions.

- C. Coordinate installation of railing system components.

3.3 INSTALLATION

- A. Install railing system in accordance with manufacturer's instructions.
- B. Install railing system plumb, level, square, true to line, and rigid.
- C. Ensure that wire ropes are parallel to each other, free of kinks, sags or other defects, and clean.
- D. Attach railing system securely in place using fasteners supplied or approved by manufacturer. Embedded anchor plates and supporting steel shall be provided by another trade and coordinated with the railing supplier.
- E. Attach railing system to supports approved by manufacturer.
- F. Use manufacturer's supplied hardware.
- G. Repair minor damages to finish in accordance with manufacturer's instructions and as approved by the City of Naples.
- H. Remove and replace defective or damaged components that cannot be successfully repaired as determined by City of Naples.

3.4 CLEANING

- A. Remove temporary coverings and protection of adjacent work areas.
- B. Clean railing system promptly after installation in accordance with manufacturer's instructions.
- C. Do not use harsh cleaning materials or methods that would damage glass or finish.
- D. Do not use abrasive cleaners.

3.5 PROTECTION

- A. Protect installed products until completion of project.
- B. Replace defective or damaged components as directed by Architect.
- C. Touch-up, repair or replace damaged products before Substantial Completion.

3.6 METHOD OF PAYMENT

- A. The pay quantities for the work specified in this Section shall be the number of lineal feet of boardwalk railing and bridge railing including the railing around the perimeter of the Pavilion, actually constructed and accepted. Payment for this quantity shall constitute full compensation for all work specified under this Section.

END OF SECTION

IPE Wood

PART 1 – GENERAL

1. SUMMARY

- a. Provide labor, materials and equipment necessary to complete the work of this Section, including the following:
 - 1) IPE Wood for the following applications:
 - a) Boardwalk deck
 - b) Main bridge deck
 - c) Boardwalk railing boards and railing posts
 - d) Main bridge railing boards and railing posts
 - e) Pavilion railing boards and railing posts
- b. Reference Standards: Comply with applicable requirements of the following:
 - 1) ASTM D143 – Standard Test Methods for Small Clear Specimens of Timber.
 - 2) ASTM E84 – Standard Test Method for Surface Burning Characteristics of Building Materials.
 - 3) U.S. Lacey Act.
 - 4) U.S. Buy American Act.

2. SUBMITTALS

- a. Product Literature: Manufacturer's product literature describing all components. Include installation recommendations and instructions.
- b. Verification Samples: For IPE decking and railing boards and posts.
- c. Certificate of Compliance, Green By Nature: Controlled Wood, Chain of Custody, Life Cycle Impact and Due Care Policies and Procedures. Submit Vendor documented, comprehensive and verifiable Policies and Procedures outlining step by step a process of verification and accountability related to Environmental Compliance Submittals.
- d. Certificate of Compliance, Green by Nature: Submit a certificate confirming compliance with "Green By Nature – Controlled Wood, Chain of Custody, Verification of Legal Origin, Verification of Legal Compliance, Life Cycle Impact, CITES, Buy American Act and U.S. Lacey Act "Due Care" Environmental Compliance.

Certificate of Compliance, Verification of Legal Origin / Verification of Legal Compliance.:
Submit Third Party Environmental NGO confirming audit of legal chain of custody and legal compliance from harvest source to importer as verification of U.S. Lacey Act Due Care Compliance.

- e. USGBC LEED Submittals Only, Certified Wood: Submit chain-of-custody certificates signed by manufacturer certifying that wood products comply with LEED forest certification and chain-of-custody requirements. Include evidence that mill and fabricator is certified for chain-of-custody or that outsourcing agreements are in place approved by an FSC-accredited certification body. Include statement indicating costs for each certified wood product.

- f. Certificates of Compliance. Submit documentation of the following:
 - 1) Certificate of Compliance "Inspection": A vendor certificate confirming product compliance with grade and quality requirements.
 - 2) Certificate of Compliance "Technical": A vendor certificate confirming product compliance with minimum specified Physical, Mechanical and Technical performance requirements as defined by the specification.
 - 3) MSDS (Material Safety Data Sheet) – Submit a Material Safety and Data Sheet for the wood products supplied on the project.

3. QUALITY ASSURANCE

- a. Manufacturer/Vendor Qualifications: Products covered under this Section shall be supplied by a single manufacturer/vendor unless otherwise specified with a minimum of fifteen years proven production or supply experience.
- b. Installer Qualifications: Installer shall have a minimum of three years proven construction experience and be capable of estimating and building from drawings and details, determining elevations, in addition to proper material handling.
- c. Pre-installation Conference: Conduct conference at Project site to comply with requirements.

4. DELIVERY, STORAGE, AND HANDLING

- a. Protect materials during shipment, storage and construction against damage. If material is air dried, stickers of a minimum of 10mm shall be placed between each layer of boards when packed. If material is kiln dried, material shall be dense packed and wrapped.
- b. All units shall be individually strapped to wood pallets or blocking of a minimum thickness to allow the egress of lift forks using high strength strapping with a minimum of 4 straps per crate.
- c. Store a minimum of 4 inches off the ground in a dry location and cover with polyethylene to protect from contact with materials which would cause staining or discoloration.

PART 4 PRODUCTS

1. Manufacturer

- a. Basis-of-Design: Iron Woods™ Ipe, Tabebuia spp. Lapacho Group species by Timber Holdings USA LLC, Tel 888-932-9663, www.ironwoods.com or approved equal.
 - 1) Moisture Content:
 - a) Air Dried, moisture content of 18 to 25 percent; all dimensions when net thickness is over 1 inch.
 - b) Kiln Dried, moisture content of 12 to 18 percent; all dimensions when net thickness is 1 inch or less.
 - 2) Surface:
 - a) S4S (surfaced four sides), E4E (eased four edges). Edges shall be eased to a radius of 1/8 inch.

- b) Rough Sawn. Edges shall be square.
 - c) Custom profiled. Profiles shall be as per plans and specifications.
 - 3) Dimensions on Drawings: Nominal and Actual Size shall be listed.
 - 4) Length:
 - a) Lumber shall be supplied over specified length for final fit in the field.
 - b) Lumber shall be supplied precision trimmed to specified lengths only when specified in writing.
 - 5) Dimensional Tolerance: Plus or minus 0.125 inch in width and 0.0625 in thickness, measured at 25 percent moisture content.
 - 6) End Coating: Supply lumber with ends sealed with Anchorseal[®], Paraffin "Or Equal" wax end sealer. Lumber shall be resealed after cutting to reduce end splits.
- b. Grade Option/Requirements: Iron Woods or approved equal Premium Select structural Grade (First 4 Faces 4 Edges) Inspected and Hand Selected for Serviceable appearance on 4 faces and 4 Edges (reversible).
 - 1) Grading Face, Back Face, and Edges – Clear All Heart.
 - a) Include - Appearance characteristics.
 - b) Include - Physical characteristics which can be removed using normal installation methods, tools, or sanding.
 - c) Exclude - Sound defects.
 - d) Exclude - Unsound defects.
 - e) Exclude - Milling defects.
- c. Grade Option/Requirements: Iron Woods FEQ Commercial Grade (First One Face and Better) Inspected for serviceable appearance on 1 face and two edges.
 - 1) Grading Face, Back Face, and Edges.
 - a) Include - Appearance characteristics.
 - b) Include - Physical characteristics which can be removed using normal installation methods, tools, or sanding.
 - c) Include - Sound defects.
 - 2) Grading Face – Clear All Heart: Exclude unsound defects and milling defects.
 - 3) Back Face and Edges: Include unsound defects and milling defects.
- d. Mechanical Properties: Meet or exceed the following when tested in accordance with ASTM D143:
 - 1) Bending Strength: 22,445 psi
 - 2) Modulus of Elasticity: 3,145,000 psi/
 - 3) Compression Parallel to Grain: 13,140 psi.
 - 4) Compression Perpendicular to Grain: 3,595 psi.
 - 5) Average Air-Dry Density: Ranges from 56.7 to 59.3pcf.
 - 6) Basic Specific Gravity: Ranges from 0.85-0.97.
- e. Coefficient of Friction: Meet or exceed the Static Coefficient of Friction for both Neolite and Leather in accordance with ASTM C1028 standard testing method:
 - 1) Neolite: Dry .55 FP / Wet .79 FP.
 - 2) Leather: Dry .73 FP / Wet .69 FP.
- f. Decay Resistance: Meet or exceed International Building Code/International Residential Code requirements for "Naturally Durable Wood" being durability rated by the U.S Forest Products Laboratory or the Forest Research Laboratory Oregon State University as Class 2 or better. Ipe (Tabebuia spp, Lapacho Group) – Class 1.

- g. **Screw Pull Out:** Meet or exceed a minimum average screw pull out of 1102 pounds at maximum load.
- h. **Fire Rating, Acute Inhalation, Combustion Toxicity Requirements:** Meet or exceed the following.
 - 1) Lumber supplied shall be naturally fire resistant without the use of any fire resistant treatments to meet NFPA Class A, 1989 edition, NFPA Class B, 2007 edition in accordance with ASTM E-84 standard test methods.
 - 2) Lumber supplied shall be approved by CalFire Wildlife Urban Interface Areas – Materials and Construction Methods, Exterior Wildlife Exposure: Decking Code Section Chapter 7A(CSFM 12-7A-4).
 - 3) Lumber supplied shall be approved as per San Francisco Building Code Section 1511.5 (rooftop decks).
 - 4) Lumber supplied shall be approved as per City of NY Dept. of buildings, Fire Retardant Wood Code Sections 27-328 and carry a valid MEA#.
 - 5) Lumber Supplied shall meet International Building Code / International Residential Code minimum requirements for "Fire Resistant Wood".
 - 6) Lumber Supplied shall have an Acute Inhalation Combustion Toxicity testing result of LC 50 of 63.60g. (Pass (19.7g or greater) as per NYS Modified Pittsburg Protocol NYSUFPBC, Art. 15, Part 1120,9 NYCRR 1120.
- i. **Environmental Compliance:**
 - 1) **Green by Nature Compliance:** All lumber shall meet minimum environmental requirements as defined under Green By Nature...Build With Conscience™ Controlled Wood, Chain of Custody, Life Cycle Impact and Due Care – Environmental Compliance Standards, Policies and Procedures.
 - 2) **USGBC LEED Compliance Only: Certified Wood:** Materials shall be produced from wood obtained from forests certified by an FSC-accredited certification body to comply with FSC STD-01-001, "FSC Principles and Criteria for Forest Stewardship."

PART 5 EXECUTION

1. EXAMINATION

- a. Prior to starting work inspect the substrate to ensure that it has been properly prepared to accept materials specified in this Section. Commencement of work shall imply acceptance of surfaces and deck conditions.
 - 1) Review drawings for items such as planters, hot tubs, sculptures or equipment that will be installed on top of wood decking, lumber and timbers. Verify with manufacturer whether additional supports are required.
 - 2) If preparation is the responsibility of another installer, notify Architect in writing of deviations from manufacturer's recommended installation tolerances and conditions.
 - 3) Proceed with installation only after unsatisfactory conditions have been corrected.

2. INSTALLATION

- a. Install in accordance with manufacturer's instructions and approved submittals including the following:
 - 1) Install materials plumb, true to line, cut and fitted.

- 2) Scribe and cope as required for accurate fit to adjacent construction.
- 3) Use manufacturer's recommended fasteners.
- 4) Fasten tight to supports. Provide shims if there are variations in framing.

3. **CLEANING AND PROTECTION**

- a. Protect from damage during construction operations. Promptly repair any damaged surfaces. Remove and replace work which cannot be satisfactorily repaired.
- b. Clean using materials recommended by the manufacturer to remove stains, dirt and debris prior to final acceptance.

4. **METHOD OF PAYMENT**

- a. The pay quantities for the work specified in this Section shall be the number of square feet of IPE decking actually constructed and accepted. Payment for this quantity shall constitute full compensation for all work specified under this Section.

END OF SECTION

Technical Special Provisions

1. IPE Wood

PART 1 – GENERAL

1.1 SUMMARY

- A. Provide labor, materials and equipment necessary to complete the work of this Section, including the following:
 - 1. IPE Wood for the following applications:
 - a. Boardwalk deck
 - b. Main bridge deck
 - c. Boardwalk railing boards and railing posts
 - d. Main bridge railing boards and railing posts
 - e. Pavilion railing boards and railing posts
- B. Reference Standards: Comply with applicable requirements of the following:
 - 1. ASTM D143 – Standard Test Methods for Small Clear Specimens of Timber.
 - 2. ASTM E84 – Standard Test Method for Surface Burning Characteristics of Building Materials.
 - 3. U.S. Lacey Act.
 - 4. U.S. Buy American Act.

1.2 SUBMITTALS

- A. Product Literature: Manufacturer's product literature describing all components. Include installation recommendations and instructions.
- B. Verification Samples: For IPE decking and railing boards and posts.
- C. Certificate of Compliance, Green By Nature: Controlled Wood, Chain of Custody, Life Cycle Impact and Due Care Policies and Procedures. Submit Vendor documented, comprehensive and verifiable Policies and Procedures outlining step by step a process of verification and accountability related to Environmental Compliance Submittals.
- D. Certificate of Compliance, Green by Nature: Submit a certificate confirming compliance with "Green By Nature – Controlled Wood, Chain of Custody, Verification of Legal Origin, Verification of Legal Compliance, Life Cycle Impact, CITES, Buy American Act and U.S. Lacey Act "Due Care" Environmental Compliance.

Certificate of Compliance, Verification of Legal Origin / Verification of Legal Compliance.:
Submit Third Party Environmental NGO confirming audit of legal chain of custody and legal compliance from harvest source to importer as verification of U.S. Lacey Act Due Care Compliance.

**Technical Special Provisions
City of Naples, Gordon River Bridge**

- E. **USGBC LEED Submittals Only, Certified Wood:** Submit chain-of-custody certificates signed by manufacturer certifying that wood products comply with LEED forest certification and chain-of-custody requirements. Include evidence that mill and fabricator is certified for chain-of-custody or that outsourcing agreements are in place approved by an FSC-accredited certification body. Include statement indicating costs for each certified wood product.
- F. **Certificates of Compliance.** Submit documentation of the following:
 - 1. **Certificate of Compliance "Inspection":** A vendor certificate confirming product compliance with grade and quality requirements.
 - 2. **Certificate of Compliance "Technical":** A vendor certificate confirming product compliance with minimum specified Physical, Mechanical and Technical performance requirements as defined by the specification.
 - 3. **MSDS (Material Safety Data Sheet) –** Submit a Material Safety and Data Sheet for the wood products supplied on the project.

1.3 QUALITY ASSURANCE

- A. **Manufacturer/Vendor Qualifications:** Products covered under this Section shall be supplied by a single manufacturer/vendor unless otherwise specified with a minimum of fifteen years proven production or supply experience.
- B. **Installer Qualifications:** Installer shall have a minimum of three years proven construction experience and be capable of estimating and building from drawings and details, determining elevations, in addition to proper material handling.
- C. **Pre-installation Conference:** Conduct conference at Project site to comply with requirements.

1.4 DELIVERY, STORAGE, AND HANDLING

- A. **Protect materials during shipment, storage and construction against damage.** If material is air dried, stickers of a minimum of 10mm shall be placed between each layer of boards when packed. If material is kiln dried, material shall be dense packed and wrapped.
- B. **All units shall be individually strapped to wood pallets or blocking of a minimum thickness to allow the egress of lift forks using high strength strapping with a minimum of 4 straps per crate.**
- C. **Store a minimum of 4 inches off the ground in a dry location and cover with polyethylene to protect from contact with materials which would cause staining or discoloration.**

PART 2 - PRODUCTS

2.1 Manufacturer

- A. **Basis-of-Design:** Iron Woods™ Ipe, Tabebuia spp. Lapacho Group species by Timber Holdings USA LLC, Tel 888-932-9663, www.ironwoods.com or approved equal.

**Technical Special Provisions
City of Naples, Gordon River Bridge**

1. **Moisture Content:**
 - a. Air Dried, moisture content of 18 to 25 percent; all dimensions when net thickness is over 1 inch.
 - b. Kiln Dried, moisture content of 12 to 18 percent; all dimensions when net thickness is 1 inch or less.
 2. **Surface:**
 - a. S4S (surfaced four sides), E4E (eased four edges). Edges shall be eased to a radius of 1/8 inch.
 - b. Rough Sawn. Edges shall be square.
 - c. Custom profiled. Profiles shall be as per plans and specifications.
 3. **Dimensions on Drawings: Nominal and Actual Size shall be listed.**
 4. **Length:**
 - a. Lumber shall be supplied over specified length for final fit in the field.
 - b. Lumber shall be supplied precision trimmed to specified lengths only when specified in writing.
 5. **Dimensional Tolerance: Plus or minus 0.125 inch in width and 0.0625 in thickness, measured at 25 percent moisture content.**
 6. **End Coating: Supply lumber with ends sealed with Anchorseal", Paraffin "Or Equal" wax end sealer. Lumber shall be resealed after cutting to reduce end splits.**
- B. Grade Option/Requirements: Iron Woods or approved equal Premium Select structural Grade (First 4 Faces 4 Edges) Inspected and Hand Selected for Serviceable appearance on 4 faces and 4 Edges (reversible).**
1. **Grading Face, Back Face, and Edges – Clear All Heart.**
 - a. Include - Appearance characteristics.
 - b. Include - Physical characteristics which can be removed using normal installation methods, tools, or sanding.
 - c. Exclude - Sound defects.
 - d. Exclude - Unsound defects.
 - e. Exclude - Milling defects.
- C. Grade Option/Requirements: Iron Woods FEQ Commercial Grade (First One Face and Better) Inspected for serviceable appearance on 1 face and two edges.**
1. **Grading Face, Back Face, and Edges.**
 - a. Include - Appearance characteristics.
 - b. Include - Physical characteristics which can be removed using normal installation methods, tools, or sanding.
 - c. Include - Sound defects.
 2. **Grading Face – Clear All Heart: Exclude unsound defects and milling defects.**
 3. **Back Face and Edges: Include unsound defects and milling defects.**

**Technical Special Provisions
City of Naples, Gordon River Bridge**

- D. **Mechanical Properties:** Meet or exceed the following when tested in accordance with ASTM D143:
1. Bending Strength: 22,445 psi
 2. Modulus of Elasticity: 3,145,000 psi/
 3. Compression Parallel to Grain: 13,140 psi.
 4. Compression Perpendicular to Grain: 3,595 psi.
 5. Average Air-Dry Density: Ranges from 56.7 to 59.3pcf.
 6. Basic Specific Gravity: Ranges from 0.85-0.97.
- E. **Coefficient of Friction:** Meet or exceed the Static Coefficient of Friction for both Neolite and Leather in accordance with ASTM C1028 standard testing method:
1. Neolite: Dry .55 FP / Wet .79 FP.
 2. Leather: Dry .73 FP / Wet .69 FP.
- F. **Decay Resistance:** Meet or exceed International Building Code/International Residential Code requirements for "Naturally Durable Wood" being durability rated by the U.S Forest Products Laboratory or the Forest Research Laboratory Oregon State University as Class 2 or better. Ipe (Tabebuia spp, Lapacho Group) – Class 1.
- G. **Screw Pull Out:** Meet or exceed a minimum average screw pull out of 1102 pounds at maximum load.
- H. **Fire Rating, Acute Inhalation, Combustion Toxicity Requirements:** Meet or exceed the following.
1. Lumber supplied shall be naturally fire resistant without the use of any fire resistant treatments to meet NFPA Class A, 1989 edition, NFPA Class B, 2007 edition in accordance with ASTM E-84 standard test methods.
 2. Lumber supplied shall be approved by CalFire Wildlife Urban Interface Areas – Materials and Construction Methods, Exterior Wildlife Exposure: Decking Code Section Chapter 7A(CSFM 12-7A-4).
 3. Lumber supplied shall be approved as per San Francisco Building Code Section 1511.5 (rooftop decks).
 4. Lumber supplied shall be approved as per City of NY Dept. of buildings, Fire Retardant Wood Code Sections 27-328 and carry a valid MEA#.
 5. Lumber Supplied shall meet International Building Code / International Residential Code minimum requirements for "Fire Resistant Wood".
 6. Lumber Supplied shall have an Acute Inhalation Combustion Toxicity testing result of LC 50 of 63.60g. (Pass (19.7g or greater) as per NYS Modified Pittsburg Protocol NYSUFPBC, Art. 15, Part 1120,9 NYCRR 1120.
- I. **Environmental Compliance:**
1. **Green by Nature Compliance:** All lumber shall meet minimum environmental requirements as defined under Green By Nature...Build With Conscience™ Controlled Wood, Chain of Custody, Life Cycle Impact and Due Care – Environmental Compliance Standards, Policies and Procedures.

**Technical Special Provisions
City of Naples, Gordon River Bridge**

2. USGBC LEED Compliance Only: Certified Wood: Materials shall be produced from wood obtained from forests certified by an FSC-accredited certification body to comply with FSC STD-01-001, "FSC Principles and Criteria for Forest Stewardship."

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Prior to starting work inspect the substrate to ensure that it has been properly prepared to accept materials specified in this Section. Commencement of work shall imply acceptance of surfaces and deck conditions.
 1. Review drawings for items such as planters, hot tubs, sculptures or equipment that will be installed on top of wood decking, lumber and timbers. Verify with manufacturer whether additional supports are required.
 2. If preparation is the responsibility of another installer, notify Architect in writing of deviations from manufacturer's recommended installation tolerances and conditions.
 3. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. Install in accordance with manufacturer's instructions and approved submittals including the following:
 1. Install materials plumb, true to line, cut and fitted.
 2. Scribe and cope as required for accurate fit to adjacent construction.
 3. Use manufacturer's recommended fasteners.
 4. Fasten tight to supports. Provide shims if there are variations in framing.

3.3 CLEANING AND PROTECTION

- A. Protect from damage during construction operations. Promptly repair any damaged surfaces. Remove and replace work which cannot be satisfactorily repaired.
- B. Clean using materials recommended by the manufacturer to remove stains, dirt and debris prior to final acceptance.

END OF SECTION

Supplemental Specifications

Alteration of Plans or of Character of Work.

The work specified under this Section consists of the alteration of plans or of character of work. All work specified under this Section must conform to the requirements of Section 4.3 of the FDOT Specifications, except as amended herein.

4-3.2.1 Allowable Costs for Extra Work: The Engineer may direct in writing that extra work be done and, at the Engineer's sole discretion, the Contractor will be paid pursuant to an agreed Supplemental Agreement or in the following manner: 1. Labor and Burden: The Contractor will receive payment for actual costs of direct labor and burden for the additional or unforeseen work. Labor includes foremen actually engaged in the work; and will not include project supervisory personnel nor necessary on-site clerical staff, except when the additional or unforeseen work is a controlling work item and the performance of such controlling work item actually extends completion of the project due to no fault of the Contractor. Compensation for project supervisory personnel, but in no case higher than a Project Manager's position, shall only be for the pro-rata time such supervisory personnel spent on the contract. In no case shall an officer or director of the Company, nor those persons who own more than 1% of the Company, be considered as project supervisory personnel, direct labor or foremen hereunder. Payment for burden shall be limited solely to the following: Table 4-3.2.1

Item	Rate
FICA	Rate established by Law
FUTA/SUTA	Rate established by Law
Medical Insurance	Actual
Holidays, Sick & Vacation benefits	Actual
Retirement benefits	Actual
Workers Compensation	Rates based on the National Council on Compensation Insurance basic rate tables adjusted by Contractor's actual experience modification factor in effect at the time of the additional work or unforeseen work.
Per Diem	Actual but not to exceed State of Florida's rate
Insurance*	Actual

*Compensation for Insurance is limited solely to General Liability Coverage and does not include any other insurance coverage (such as, but not limited to, Umbrella Coverage, Automobile Insurance, etc.).

At the Pre-construction conference, certify to the Engineer the following:

- A listing of on-site clerical staff, supervisory personnel and their pro-rated time assigned to the contract,
- Actual Rate for items listed in Table 4-3.2.1,
- Existence of employee benefit plan for Holiday, Sick and Vacation benefits and a Retirement Plan, and,
- Payment of Per Diem is a company practice for instances when compensation for Per Diem is requested.

Such certification must be made by an officer or director of the Contractor with authority to bind the Contractor. Timely certification is a condition precedent to any right of the Contractor to recover compensations for such costs, and failure to timely submit the certification will constitute a full, complete, absolute and irrevocable waiver by the Contractor of any right to recover such costs. Any

subsequent changes shall be certified to the Engineer as part of the cost proposal or seven calendar days in advance of performing such extra work.

2. **Materials and Supplies:** For materials accepted by the Engineer and used on the project, the Contractor will receive the actual cost of such materials incorporated into the work, including Contractor paid transportation charges (exclusive of equipment as hereinafter set forth). For supplies reasonably needed for performing the work, the Contractor will receive the actual cost of such supplies.

3. **Equipment:** For any machinery or special equipment (other than small tools), including fuel and lubricant, the Contractor will receive 100% of the "Rental Rate Blue Book" for the actual time that such equipment is in operation on the work, and 50% of the "Rental Rate Blue Book" for the time the equipment is directed to standby and remain on the project site, to be calculated as indicated below. The equipment rates will be based on the latest edition (as of the date the work to be performed begins) of the "Rental Rate Blue Book for Construction Equipment" or the "Rental Rate Blue Book for Older Construction Equipment," whichever is applicable, as published by Machinery Information Division of PRIMEDIA Information, Inc. (version current at the time of bid), using all instructions and adjustments contained therein and as modified below. On all projects, the Engineer will adjust the rates using regional adjustments and Rate Adjustment Tables according to the instructions in the Blue Book.

Allowable Equipment Rates will be established as set out below:

a. Allowable Hourly Equipment Rate = $\text{Monthly Rate} / 176 \times \text{Adjustment Factors} \times 100\%$.

b. Allowable Hourly Operating Cost = $\text{Hourly Operating Cost} \times 100\%$.

c. Allowable Rate Per Hour = Allowable Hourly Equipment Rate + Allowable Hourly Operating Cost.

d. Standby Rate = Allowable Hourly Equipment Rate \times 50%.

The Monthly Rate is The Basic Machine Rate Plus Any Attachments. Standby rates will apply when equipment is not in operation and is directed by the Engineer to standby at the project site when needed again to complete work and the cost of moving the equipment will exceed the accumulated standby cost. Standby rates will not apply on any day the equipment operates for eight or more hours. Standby payment will be limited to only that number of hours which, when added to the operating time for that day equals eight hours. Standby payment will not be made on days that are not normally considered work days on the project.

The City will allow for the cost of transporting the equipment to and from the location at which it will be used. If the equipment requires assembly or disassembly for transport, the City will pay for the time to perform this work at the rate for standby equipment.

Equipment may include vehicles utilized only by Labor, as defined above.

4. **Indirect Costs, Expenses, and Profit:** Compensation for all indirect costs, expenses, and profit of the Contractor, including but not limited to overhead of any kind, whether jobsite, field office, division office, regional office, home office, or otherwise, is expressly limited to a mark-up of 5% on the payments in (1) through (3), above.

1. **Bond:** The Contractor will receive compensation for any premium for acquiring a bond for such additional or unforeseen work at the original Contract bond rate paid by the Contractor. No compensation for bond premium will be allowed for additional or unforeseen work paid by the City via initial contingency pay item.

2. The Contractor will be allowed a markup of 5% on any subcontract directly related to the additional or unforeseen work. Any such subcontractor mark-up will be allowed only by the prime Contractor and a first tier subcontractor, and the Contractor must elect the markup for any eligible first tier subcontractor to do so.

3. No management fee will be authorized for any additional work or changes in work.

Contract Time

The work specified under this Section defines the project contract time. All work specified under this Section must conform to the requirements of Section 8-7 of the FDOT Specifications, except as amended herein.

8-7.1 General: Perform the contracted work fully, entirely, and in accordance with the Contract Documents within the Contract Time specified below, or as may be extended in accordance with the provisions herein below.

Work shall start on the date specified in the official Notice to Proceed.

Substantial completion shall be achieved not later than 300 days following the Notice to Proceed.

Final completion shall be achieved not later than 330 days following the Notice to Proceed.

The City considers in the computation of the Contract Time the effect that utility relocation and adjustments have on job progress and the scheduling of construction operations required in order to adequately maintain traffic, as detailed in the Plans or as scheduled in the Special Provisions.