

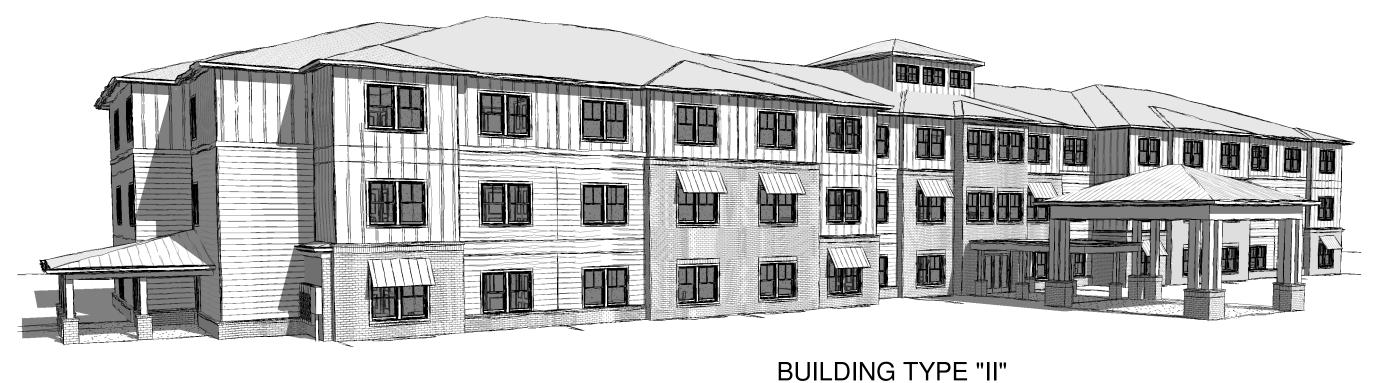
KNIGHT'S COURT

SENIOR APARTMENTS

LYNNWOOD ROAD KNIGHTDALE, NC 27545



BUILDING TYPE "I"



DEVELOPER

BEACON MANAGEMENT CORPORATION

NCHFA PRELIMINARY APPLICATION NOT FOR CONSTRUCTION

EFINCIA ENGINEERING, PC eric.dickinson@efincia.net

CIVIL

STOCKS ENGINEERING 801 EAST WASHINGTON ST. NASHVILLE, NC 27856 252.459.8196 kvarnell@stocksengineering.com

LANDSCAPE

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ARCHITECTURAL

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STRUCTURAL

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STRUCTURAL

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PLUMBING

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MECHANICAL

EFINCIA ENGINEERING, PC 603-A EASTCHESTER DR. HIGH POINT, NC 27282 336.886.0081 eric.dickinson@efincia.net

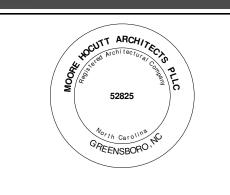
ELECTRICAL

603-A EASTCHESTER DR. HIGH POINT, NC 27282 336.886.0081

3300 BATTLEGROUND AVE GREENSBORO, NC 27410

WEAVERCOOKE

the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without



COVER SHEET

01/19/21

MHA-P21-17

REVISIONS

Designed By

Checked By

Project No.

Date

TITLE

No. Description

G100

SHEET SHEET NAME

G100

G101

G107

G109

G110

G111

COVER SHEET

DRAWING INDEX

ARCHITECTURAL INFORMATION

NCHFA DESIGN QUALITY STANDARDS

NCHFA DESIGN QUALITY STANDARDS

ACCESSIBILITY INFORMATION

AND REQUIREMENTS

AND REQUIREMENTS

PROJECT DATA

SKETCH PRELIMINARY PLAN

ENLARGED UNITS

ENLARGED UNITS

ENLARGED UNITS

A102 FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I")

FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I")

FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")

FLOOR PLAN - LEVEL 1 (BUILDING TYPE "II")

FLOOR PLAN - LEVEL 2 (BUILDING TYPE "II")

FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")

EXTERIOR ELEVATIONS (BUILDING TYPE "I")

EXTERIOR ELEVATIONS (BUILDING TYPE "I")

EXTERIOR ELEVATIONS (BUILDING TYPE "II")

EXTERIOR ELEVATIONS (BUILDING TYPE "II")

LIFE SAFETY

SHEET SHEET NAME

SUITE 306 GREENSBORO, NC 27410 P 336.897.0305 www.mharchitects.us

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SENIOR APARTMEI KNIGHT'S

KE	VISIONS	
No.	Description	Date
Des	signed By	MLM
Dra	wn By	_
Che	ecked By	JRH
Dat	e	01/19/21
Pro	ject No.	MHA-P21-17

DRAWING INDEX

G101

	UNIT INFORMATION	UNIT SQUA	RE FOOTAGE		LEVEL 1			LEVEL 2			LEVEL 3			BUILDING TYPE I		
UNIT MARK	UNIT TYPE	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	
1BDR "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	753	817	1	753	817	0	0	0	0	0	0	1	753	817	_ m
1BDR "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	817	0	0	0	0	0	0	1	753	817	1	753	817	1
1BDR "B"	1 BEDROOM, 1 BATH, TYPE "B" WITH TUB	753	817	1	753	817	2	1506	1634	1	753	817	4	3012	3268	ַ פַ
2BDR "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	921	998	1	921	998	0	0	0	0	0	0	1	921	998	
2BDR "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	998	0	0	0	1	921	998	0	0	0	1	921	998	
2BDR "B1"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	5	4605	4990	5	4605	4990	6	5526	5988	16	14736	15968	l Ä
					0	0		0	0		0	0	0	0	0	1 O >
																۾ م
			UNIT TOTALS	8	7032	7622	8	7032	7622	8	7032	7622	24	21096	22866	
													48	42192	45732	2
	COMMON/AMENITY SPACE					3169			3169			3169			19014	
	EXTERIOR ROOF AREAS		1594												3188	
													BUII	LDING GROSS TOTAL	67934	

BUILDING TYPE II

	UNIT INFORMATION	UNIT SQUAR	RE FOOTAGE		LEVEL 1			LEVEL 2			LEVEL 3			BUILDING TYPE II	
UNIT MARK	UNIT TYPE	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF	# OF UNITS	HEATED SF	GROSS SF
1BDR "AS"	1 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	753	817	1	753	817	1	753	817	0	0	0	2	1506	1634
1BDR "AT"	1 BEDROOM, 1 BATH, TYPE "A" WITH TUB	753	817	0	0	0	0	0	0	0	0	0	0	0	0
1BDR "B"	1 BEDROOM, 1 BATH, TYPE "B" WITH TUB	753	817	3	2259	2451	3	2259	2451	4	3012	3268	10	7530	8170
2BDR "AS"	2 BEDROOM, 1 BATH, TYPE "A" WITH SHOWER	921	998	1	921	998	0	0	0	1	921	998	2	1842	1996
2BDR "AT"	2 BEDROOM, 1 BATH, TYPE "A" WITH TUB	921	998	0	0	0	1	921	998	1	921	998	2	1842	1996
2BDR "B1"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	5	4605	4990	5	4605	4990	4	3684	3992	14	12894	13972
2BDR "B2"	2 BEDROOM, 1 BATH, TYPE "B" WITH TUB	921	998	2	1842	1996	2	1842	1996	2	1842	1996	6	5526	5988
			UNIT TOTALS	12	10380	11252	12	10380	11252	12	10380	11252	36	31140	33756
													36	31140	33756
	COMMON/AMENITY SPACE					4348			4348			4348			13044
	EXTERIOR ROOF AREAS		1790												1790
													BUI	LDING GROSS TOTAL	48590

NCHFA PROJECT AMENITIES

OUTDOOR SITTING AREAS (REQUIRED)

MULTI-PURPOSE ROOM (REQUIRED)

GAZEBO (REQUIRED)

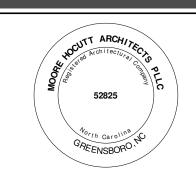
COVERED DROP-OFF (ELECTIVE)

COVERED PICNIC AREA (ELECTIVE)

RESIDENT COMPUTER CENTER (ELECTIVE)

			_
PRO.	JECT	TOTAL:	5

	11.032011017.23						
BUILDING I	48	42192	67934				
BUILDING II	36	31140	48590				
TOTAL	84	73332	116524				



KNIGHT'S COURT SENIOR APARTMENTS

No.	Description	Date
		N 41 N 4
De	signed By	IVILIV
	signed By wn By	IVILIVI
Dra		MLM - JRH
Dra	ecked By	-

PROJECT DATA

DENOTES FIRST LETTER IN THE GROUP

ABBR DESCRIPTION

NUMBER

APPROXIMATELLY

AND

ANGLE

DIAMETER

COMPT

CONC

COND

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CONN

CONT

CONTR

COORD

CORR

CONSTR

DESCRIPTION

CONDITION, CONDENSATE

CONNECT, CONNECTION

CONTINUE, CONTINUOS

COMPARTMENT

CONFERENCE

CONSTRUCTION

CONTRACTOR

COORDINATE

CORRIDOR

CONCRETE

A/C UNIT	AIR CONDITIONING UNIT	CPT	CARPET	FOF	FACE OF FINISH	LIN	LINEAR	PRE-W	PRE-ENGINEERED WALL	SYM	SYMBOL
AB	ANCHOR BOLT	CRCMF	CIRCUMREFERENCE	FOM	FACE OF MASONRY	LKR	LOCKER	PREFAB	PREFABRICATE(D)	SYMM	SYMMETRICAL
ABV	ABOVE	CRES	CORROSIVE RESISTANCE STEEL	FOS	FACE OF STUD	LLD	LEAD-LINED DOOR	PREFIN	PREFINISHED	SYS	SYSTEM
ACC	ACCESSIBLE	CRS	COURSE(S)	FOW	FACE OF WOOD / WALL	LLH	LONG LEG HORIZONTAL	PREFMD	PREFORMED		
ACI	AMERICAN CONCRETE INSTITUTE	CS	CAST STONE	FP	FIRE PARTITION, FIREPROOF	LLO	LONG LEG OUT	PRELIM	PRELIIMINARY	(T)	
ACPL	ACOUSTICAL PLASTER	CSK	COUNTERSUNK	FPRF	FIREPROOF(ED)(ING)	LLV	LONG LEG VERTICAL	PRKG	PARKING	T&G	TONGUE AND GROOVE
ACS DR	ACCESS DOOR	CSMT	CASEMENT	FR	FIRE RESISTANT, FRAME	LNTL	LINTEL	PRM	PRIMER(ED)	TAN	TANGENT
ACS PNL	ACCESS PANEL	CT	CERAMIC TILE	FRMG	FRAMING	LONG	LONGITUDINAL	PROJ	PROJECT	TB	TOWEL BAR
ACT	ACOUSTICAL CEILING TILE	CTP	CERAMIC TILE PANEL	FRP	FIBERGLASS REINFORCED PLASTIC	LR	LIVING ROOM	PT	PRESSURE TREATED, POINT	TEL	TELEPHONE
ADA	AMERICANS W/ DISABILITIES ACT	CTR	CENTER	FRT	FIRE RETARDANT	LS	LOWN SPRINKLER	PTD	PAPER TOWEL DISPENSER	TEMP	TEMPERED, TEMPORARY
ADDM	ADDENDUM	CTS	COUNTER SINK	FS	FULL SIZE	LT	LIGHT	PTN	PARTITION	TER	TERRAZZO
ADH	ADHESIVE	CUB	CUBICLE	FSF	FIRE SAFETY	LT WT	LIGHTWEIGHT	PTR	PAPER TOWEL RECEPTICLE	TH	TRUSS HEAD
ADJ	ADJACENT, ADJOINING	CV	CEILING VENT	FSP	FIRE STAND PIPE	LTG	LIGHTING	PVC	POLYVINYL CHLORIDE	THK	THICK(NESS)
ADMIN	ADMINISTRATION	CVH	CONDUCTIVE VINYL HOMOGENEOUS	FSTNR	FASTEN(ER)	LTNG	LIGHTNING	PVMT	PAVEMENT	THRES	THRESHOLD
ADO	AUTOMATIC DOOR OPERATOR	CW	CASEWORK	FT	FEET	LVR	LOUVER	PW	PASS WINDOW	TO	TOP OF
AFF	ABOVE FINISHED FLOOR	CYL	CYLINDER	FTG	FOOTING	LWC	LIGHTWEIGHT CONCRETE	1 ***	17100 WINDOW	TOB	TOP OF BEAM
AGGR	AGGREGATE	OIL	OTEMBER	FURG	FURRING	LVVO	EIGHT WEIGHT GONORETE	(Q)		TOC	TOP OF CURB, (CONCRETE)
AHU	AIR HANDLING UNIT	(D)		FURN	FURNITURE	(M)		QT	QUERY TILE	TOF	TOP OF SLAB
	AIR INFILTRATION BARRIER	(D)	DEPTH			(IVI) M	MEN'S				
AIB		Ŋ		FUT	FUTURE	•••	MACHINE	QTR	QUARTER	TOIL	TOLET
ALT	ALTERNATE	O DAT	PENNY (AS IN NAIL-10d)	FW	FIRE WATER	MACH		QTY	QUANTITY	TOL	TOLERANCE
ALUM	ALUMINUM	DAT	DATUM	FWC	FABRIC WALL COVERING	MAINT	MAINTENANCE	(D)		TOP	TOP OF PEDESTAL, (PARAPET)
ANOD	ANODIZE(D)	DBL	DOUBLE DOUBLE ACTIVIO DOOR	(0)		MAS	MASONRY	(R)	DADILIO DANIOE	TOPO	TOPOGRAPHY
APPD	APPROVED	DBL ACT DR	DOUBLE ACTING DOOR	(G)	0.10=	MATL	MATERIAL(S)	R	RADIUS, RANGE	TOS	TOP OF STEEL, (SLAB)
APPROX	APPROXIMATE	DEG	DEGREE	GA	GAGE	MAX	MAXIMUM	RAB	RABBETED	TOW	TOP OF WALL
ARCH	ARCHITECTURAL, ARCHITECT	DEMO	DEMOLITION	GALV	GALVANIZED	MB	MARKER BOARD, MACHINE BOLTS	RB	RUBBER BASE, RESILIENT BASE	TPD	TOILET PAPER DISPENSER
ASB	ASBESTOS	DEPR	DEPRESSION	GALV STL	GALVANIZED STEEL	MC	MEDICAL CABINET	RBR	RUBBER	TPTN	TOILET PARTITION
ASC	ABOVE SUSPENDED CEILING	DEPT	DEPARTMENT	GB	GRAB BAR	MCJ	MASONRY CONTROL JOINT	RCP	REFLECTED CEILING PLAN	TR	TOILET ROOM
ASPH	ASPHALT	DET	DETAIL	GC	GENERAL CONTRACTOR	MCO	METAL-CASED OPENING	RD	ROOF DRAIN	TRANS	TRANSOM, (TRANSVERSE)
ATC	ACOUSTICAL TILE CEILING	DF	DRINKING FOUNTAIN	GCSB	GYPSUM CORE SHEATING BOARD	MDF	MEDIUM DENSITY FIBERBOARD	RDGE	RIDGE	TRTD	TREATED
AVG	AVERAGE	DH	DOUBLE HUNG	GEN	GENERAL	MDS	METAL DIVIDER STRIP	REC	RECESSED	TS	TAPPED & SANDED, TUBE STEEL
AWT	ACOUSTICAL WALL TREATMENT	DIA	DIAMETER	GFE	GOVERNMENT FURN. EQUIPMENT	MECH	MECHANICAL	REC RM	RECREATIONAL ROOM	TSTAT	THERMOSTAT
1		DIAG	DIAGONAL	GFE/CI	GFE CONTRACTOR INSTALLED	MECH RM	MECHANICAL ROOM	REF	REFERENCE	TT	TERRAZZO TILE RESINOUS MATRIX
(B)		DIM	DIMENSION	GFR CONC	GLASS FIBER REINFORCED CONC.	MED	MEDIUM	REFL	REFLECT	TV	TELEVISION
BALC	BALCONY	DISP	DISPENSER	GFR GYP	GLASS FIBER REINFORCED GYPSUM	MEMB	MEMBRANE	REFR	REFRIGERATION	TYP	TYPICAL
	BATT INSULATION	DIST	DISTRIBUTION, DISTANCE	GIP	GALVANIZED IRON PIPE	MES	METAL EDGE STRIP	REG	REGISTER, REGLECT		
BD	BOARD	DIV	DIVISION	GKT	GASKET(ED)	MEZ	MEZZANINE	REINF	REINFORCE(D)(ING)(MENT)	(U)	
BDRY	BOUNDARY	DMPF	DAMPPROOFING	GL	GLASS	MFG	MANUFACTURING	REM	REMOVE(ABLE)	UCNTR	UNDERCOUNTER
BEV	BEVEL	DMT	DEMOUNTABLE	GL BLK	GLASS BLOCK	MFR	MANUFACTURER	REQD	REQUIRED	UL	UNDERWRITERS LABARATORIES
BG	BUMPER GUARD	DN	DOWN	GLF	GLASS FIBER	MGT	MATTE-GLAZED TILE	RESIL	RESILIENT	UNFIN	UNFINISHED
ВНМА	BUILDER'S HARDW. MFG'S ASSOC.	DR	DOOR, DRAIN	GLZ	GLAZING	MH	MANHOLE	REST RM	RESTROOM	UNO	UNLESS NOTED OTHERWISE
BITUM	BITUMINOUS	DR CL	DOOR CLOSER	GLZ CMU	GLAZED CONC. MASONRY UNITS	MIN	MINIMUM	RET	RETURN	UR	URINAL
BJT	BED JOINT	DRB	DRAIN BOARD	GND	GROUND	MIRR	MIRROR	REV	REVISION	UTIL	UTILITY
BKR	BACKER	DS	DOWNSPOUT, DOUBLE STRENGT	GOVT	GOVERNMENT	MISC	MISCELLANEOUS	RFG	ROFFING	OTIL	OTILITY
BLDG	BUILDING	DT DT	DRAIN TILE	GPL	GOVERNIMENT GYPSUM LATH	ML	METAL LATH, MONOLITHIC	RGH	ROUGH	(V)	
BLKG	BLOCKING	DWG(S)	DRAWING(S)	GPT	GYPSUM TILE	MLDG	MOULDING	RH	ROOF HATCH, RIGHT HAND	(v) VAB	VAPOR BARRIER
	BELOW	DWG(S) DWLS	DOWELS	GR LN	GRADE LINE	MLWK	MILLWORK	nп RHR	RIGHT HAND REVERSE	VAD	VARIES, VARNISH
BLW											,
BM	BEAM, BENCH MARK	DWR	DRAWER	GRAN	GRANITE	MO	MASONRY OPENING	RK	RACK	VB	VINYL BASE
BO	BOTTOM OF	DWTR	DUMBWAITER	GRTG	GRATING	MOD	MODULAR, MODIFIY, MODIFIED	RLG	RAILING	VCT	VINYL COMPOSITION TILE
BOT	BOTTOM	DX	DIRECT EXPANSION	GT	GROUT	MRB	MARBLE	RM	ROOM	VENT	VENTILATOR(TION)
BR	BEDROOM	(-)		GUT	GUTTER	MRD	METAL ROOF DECKING	RND	ROUND	VERT	VERTICAL
BRCG	BRACING	(E)		GVL	GRAVEL	MT	METAL TRESHOLD, MOUNT	RO	ROUGH OPENING	VEST	VESTIBULE
BRG PL	BEARING PLATE	E	EAST	GWT	GYPSUM WALL TILE	MTD	MOUNTED	ROW	RIGHT OF WAY	VF	VINYL FABRIC
BRK	BRICK	EA	EACH	GYP	GYPSUM	MTFR	METAL FURRING	RP	RETRACTABLE PARTITION	VG	VERTICAL GRAIN
BRKT	BRACKET	EB	EXPANSION BOLT	GYP BD	GYPSUM BOARD	MTL	METAL	RPRT	RAISED PATTERN RUBBER TILE	VH	VINYL HOMOGENEOUS, (SEAMLESS)
BS	BOTH SIDES	EF	EACH FACE	GYP PLAS	GYPSUM PLASTER	MULL	MULLION	RS	RESILIENT SHEET	VIF	VERIFY IN FIELD
BSMT	BASEMENT	EIFS	EXTERIOR INSUL. & FINISH SYSTEM			MVBL	MOVABLE	RSR	RISER	VIN	VINYL
BTWN	BETWEEN	EJ	EXPANSION JOINT	(H)		MWF	MEMBRANE WALL FLASHING	RT	RESILIENT TILE	VJ	V-JOINT(ED)
BUR	BUILT-UP ROOFING	EL	ELEVATION GRADE OR BUILDING	HB	HOSE BIB			RTF	RUBBER TILE FLOOR	VOL	VOLUME
BW	BOTH WAYS	ELEV	ELEVATOR, ELEVATION BUILDING	HC	HOLLOW CORE	(N)		RUBB	RUBB(ED) CONCRETE	VP	VENEER PLASTER
		EMBMT	EMBEDMENT	HCP	HANDICAPPED	N	NORTH	RVS	REVERSE	VS	VENT STACK
(C)		EMER	EMERGENCY	HD	HEAD, HEAVY DUTY	N'REQD	NOT REQUIRED	RVT	RIVET	VT	VINYL TILE
C/C	CENTER TO CENTER	ENCL	ENCLOSE(URE)	HDBD	HARDBOARD	NA	NOT APPLICABLE	RWC	RAINWATER CONDUCTOR	VTR	VENT THRU ROOF
CAB	CABINET	ENGR	ENGINEER(ING)	HDJT	HEAD JOINT	NAT	NATURAL			VWC	VINYL WALL COVERING
СВ	CATCH BASIN, CONTROL BOX	ENTR	ENTRANCE, ENTERING	HDPE	HIGH DENSITY POLYETHYLENE	NFPA	NATIONAL FIRE PROT. ASSOCIATION	(S)			
CBB	CEMENTITIOUS (BACKER) BOARD	EP	ELECTRIC PANEL BOARD	HDR	HEADER	NIC	NOT IN CONTRACT	S	SOUTH	(W)	
CBP	COMPOSITE BUILDING PANEL	EPRF	EXPLOSION PROOF	HDW	HARDWARE	NL	NAILABLE	SAFB	SOUND ATTENUATION FIRE BLANKET	W	WEST, WATT
CD	CONSTRUCTION DOCUMENTS	EPY	EPOXY COATING	HDWD	HARDWOOD	NO	NUMBER, NORMALLY OPEN	SAN	SANITARY	W'S	WOMEN'S
CDR	CARD READER	EQ	EQUAL	HES	HIGH EARLY-STRENGTH CEMENT	NOM	NOMINAL	SB	SPLASH BLOCK	W/	WITH
CEM	CEMENT	EQUIP	EQUIPMENT	HGT	HEIGHT	NSF	NET SQUARE FEET	SC.	SOLID CORE	W/C	WHEELCHAIR
CEM PLAS	CEMENT PLASTER	ESCAL	ESCALATOR	HK	HOOK(S)	NTS	NOT TO SCALE	SCHED	SCHEDULE	W/O	WITHOUT
CER	CERAMIC	ESCAL	ESTIMATE(D)	HK HM	HOUK(S) HOLLOW METAL	NIO	NOT TO JUNE	SCRED	SCREW	W/W	WALL TO WALL
			` ,			(0)		SCR SCRN	SCREEN		
CFE	CONTRACTOR FURN. & INSTALLED	EWC	EACH WAY	HNDRL	HANDRAIL	(O)	ORSCHIRE			WBL	WOOD BLOCKING
CFI	CONTRACTOR FURN. & INSTALLED	EWC	ELECTRIC-WATER COOLER	HORIZ	HORIZONTAL	OBSC	OBSCURE	SCT	STRUCTURAL CLAY TILE	WC	WATER CLOSET
CFL	CONDUCTIVE FLOORING	EXC	EXCAVATE	HR	HOUR	00	ON CENTER	SCUT	SCUTTLE	WCO	WOOD CASED OPENING
CFLG	COUNTERFLASHING	EXD	EXIT DEVICE	HS	HIGH STRENGTH	OD	OUTSIDE DIAMETER	SD	STORM DRAIN, SMOKE DETECTOR	WD	WOOD, WOOD DOOR
CG	CORNER GUARD	EXIST	EXISTING	HSGYP	HIGH STRENGTH GYPUM PLASTER	OF	OUTSIDE FACE	SECT	SECTION	WDSP	WASTE DISPOSER
CHBD	CHALKBOARD	EXP	EXPANSION	HSKPG	HOUSEKEEPING	OFCI	OWNER FURN. CONTR. INSTALLED	SECY	SECRETARY	WDW	WINDOW
CHFR	CHAMFER	EXP	EXPOSED	HT	HEIGHT	OFD	OVERFLOW DRAIN	SFGL	SAFETY GLASS	WF	WIRE FLANGE, WIDE FLANGE
CHIM	CHIMNEY	EXP BT	EXPANSION BOLT	HVAC	HEATING, VENTIL. & AIR CONDIT.	OFF	OFFICE	SG	SHEET GLASS	WG	WIRE GLASS
CHK	CHECK	EXT	EXTERIOR	HWH	HOT WATER HEATER	OFOI	OWNER FURNISHED & INSTALLED	SGL	SINGLE	WH	WALL HUNG
CIP	CAST-IN-PLACE	EXTR	EXTRUDED			OH	OVERHEAD	SHR	SHOWER	WKSH	WORK SHOP
CIRC	CIRCULAR, CIRCULATION			(1)		OJ	OPEN-WEB JOIST	SHT	SHEET	WM	WIRE MESH, WALK OFF MAT
CJ	CONTROL, (CONSTRUCTION) JOINT	(F)		IBC	INTERNATIONAL BUILDING CODE	OPH	OPPOSITE HAND	SHTHG	SHEATHING	WP	WEATHERPROOF(ING), WALL PROTECTION
CK'D	CHECKERED	F BRK	FIRE BRICK	IC	INTERCOM	OPNG	OPENING	SHV	SHELVING	WR	WASTE RECEPTACLE
CL RM	CLASSROOM	FA	FIRE ALARM, FRESH AIR	ID	INSIDE DIAMETER	OPP	OPPOSITE	SIM	SIMILAR	WRB	WARDROBE
CL, C/L	CENTER LINE	FAAP	FIRE ALARM ANNUNCIATOR PANEL	IN	INCH	OPQ	OPAQUE	SKLT	SKYLIGHT	WSCT	WAINSCOT
CLG	CEILING	FAC	FIRE APPARATUS CLOSET	INCL	INCLUDED			SLNT	SEALANT	WT	WEIGHT, WINDOW TREATMENT
CLG HT	CEILING HEIGHT	FBD	FIBERBOARD	INSF	INSULATIING FILL	(P)		SLV	SLEEVE	WTH	WIDTH
CLGL	CLEAR GLASS	FBO	FURNISHED BY OTHERS	INSUL	INSULATION (INSULATED)	P	POLE	SM	SHEET METAL	WWF	WELDED WIRE FABRIC
CLKG	CAULKING	FC BRK	FACE BRICK	INT	INTERIOR	PAR	PARAPET, PARALLEL	SP FIN	SPECIAL FINISH	WWM	WOVEN WIRE MESH
CLL	CONTRACT LIMIT LINE	FCJ	FLOOR CONSTRUCTION JOINT	INV	INVERT	PASS	PASSAGE, PASSENGER	SPC	SPACER	*******	
CLO	CLOSET	FCO FCO	FLOOR CLEANOUT	IIV IP	IRON PIPE	PB	PANIC BAR	SPCL	SPECIAL(TIES)	(X)	
				П.	HIONI II L		PARTICLE BOARD			(X) XFMR	TRANSCORMED
CLOS	CLEAR(ANICE)	FD EDTN	FLOOR DRAIN	/ I\		PBD		SPD	SOUNDPROOF DOOR	XFINIK	TRANSFORMER
CLR	CLEAR(ANCE)	FDTN	FOUNDATION FIRE EXTINGUISHED	(J)	ILINOTION BOY	PBS	PUSH BUTTON STATION	SPEC	SPECIFICATION	0.0	
CLWG	CLEAR WIRED GLASS	FE	FIRE EXTINGUISHER	J-BOX	JUNCTION BOX	PC	PIECE	SPF	SOUNDPROOF	(Y)	VADD
CMP	CORRUGATED METAL PIPE	FEB	FIRE EXTINGUISHER BRACKET	JAN CLO	JANITOR'S CLOSET	PCC	PRECAST CONCRETE	SPH	SPACE HEATER	YD	YARD
CMPST	COMPOSITE	FEC	FIRE EXTINGUISHER CABINET	JF	JOINT FILLER	PCP	PORTLAND CEMENT PLASTER	SPKR	SPEAKER	YD	YARD DRAIN
CMPTR	COMPUTER	FF	FACTORY FINISH	JST	JOIST	PERF	PERFORATE(D)	SQ	SQUARE		
CIVIFIN	CERAMIC MOSAIC (TILE)	FF	FINISH FLOOR		JOINT	PERIM	PERIMETER	SS	SERVICE SINK STANDING SEAM		•

DESCRIPTION

FLASHING

FOLDING

FLEXIBLE

FLORING

FLOOR

FLOOR PLATE

FLOOR MAT

FENCE

FLUORESCENT

FACE OF CONCRETE

FLASH

FLDG

FLEX

FLG

FLR

FLR PL

FLUOR

FM

FOC

DESCRIPTION

LADDER

LAUNDRY

LAVATORY

POUND

LABEL

LUMBER

LENGTH

LAMINATE(D)(ION)

LOADING, LANDING

LEFT HAND(ED)

LAD

LAM

LAU

LAV

LBL

LBR

LDG

GENERAL CONSTRUCTION NOTES

DESCRIPTION

STORAGE

STRINGER

STAIRWAY

SUBFLOOR

SUPPORT

SURFACE

SUSPENDED

SHEET VINYL

SIDEWALK, SWITCH

STRUCTURAL

STOR

STR

STRUCT

STWY

SUB FL

SUPP

SURF

SUSP

SV

DESCRIPTION

PLATFORM

PLYWOOD

PLANK

PANEL

PAINT(D)

POLISHED

PORCELAIN

PORTABLE

PAIR

PUSH / PULL PLATE

SERVICE SINK, STANDING SEAM

NOT USED

STAINLESS STEEL

STAGGERED

STANDARD

SEATING

STEEL

STONE

STIFFENER

SOLID SURFACE(ING)

SSURF

STAGG

STD

STG

STIFF

STL

STN

PLAT

PLK

PLYWD

PORC

PORT

PP PL

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS. FIELD CONDITIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DIMENSION IN QUESTION SHALL BE CLARIFIED BY ARCHITECT.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, AND LABOR NECESSARY TO AFFECT ALL INSTALLATIONS INDICATED ON THE DRAWINGS. THE WORK SHALL ALSO INCLUDE ALL MATERIALS, DETAILS, AND LABOR NECESSARY FOR THE SUCCESSFUL INSTALLATION OF WORK AS DESCRIBED HEREIN.
- INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL WORK PERFORMED AND MATERIAL INSTALLED SHALL BE IN STRICT ACCORDANCE AS A MINIMUM STANDARD WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH U.L. LISTED OR F.M. APPROVED MATERIALS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES. SEQUENCES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.
- DETAILS ARE INTENDED TO SHOW END RESULT OR DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK UNDER THIS CONTRACT.
- CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. THE WORK OF EACH TRADE SHALL CONFORM TO ALL NATIONAL STANDARDS PUBLISHED BY THAT
- CONTRACTOR SHALL PROVIDE AT THE JOBSITE A FULL SET OF CONSTRUCTION DOCUMENTS ANNOTATED WITH THE LATEST REVISIONS AND CLARIFICATIONS FOR THE USE BY ALL.
- 10. THE DRAWINGS AND GENERAL NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. WORK SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- 11. THE ARCHITECT HAS MADE EVERY EFFORT TO SET FORTH IN THE CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS AND DISCREPANCIES IN THE DRAWINGS SHALL NOT EXCUSE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE
- 12. SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS, PREPARED BY THE CONTRACTOR, SUBCONTRACTOR SUPPLIER, OR DISTRIBUTOR. REPRODUCTION OF DRAWINGS CONTAINED IN THE CONTRACT DOCUMENTS SHALL NOT BE PREMITTED.
- 13. SHOP DRAWINGS SHALL CONTAIN THE CONTRACTOR'S STAMP CERTIFYING: (A) HIS REVIEW PRIOR TO SUBMITTAL AND, (B) VERIFICATION OF PRODUCTS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA, AND COORDINATION WITH ASSOCIATED AREAS OF WORK.

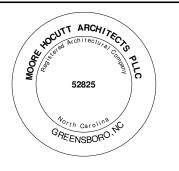


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KNIGHT SENIOR

REVISIONS No. Description Designed By Drawn By Checked By 01/19/21 Date MHA-P21-17

> ARCHITECTURAL **INFORMATION**

> > G108

CERAMIC MOSAIC (TILE)

COUNTER

CLEAN OUT

COMMON

COLUMN, (COLOR)

CONCRETE MASONRY UNIT

COMBUSTION, COMBASTABLE

COMMERCIAL, (COMMUNICATION)

FINISH FLOOR

FIBER GLASS

FIRE HYDRANT, FLAT HEAD

FIRE HOSE CABINET

FIRE HOSE RACK

FINISH

FIXTURE

FLUSH JOINT

FIRE HOSE STATION

FGL

JOINT

KOP

KITCHEN

KICK PLATE

LABARATORY

KNOCKOUT PANEL

PERIMETER

PHARMACY

PLATE GLASS

PLASTER

PLASTIC LAMINATE

PHASE

PL GL

PLAM

PLAS

PERPENDICULAR

POST INDICATING VALVE

PROPERTY LINE, PLATE

CNTR

COMB

- AS PER ICC ANSI 117.1 2009 SECTION 1003.5, ALL PRIMARY ENTRY DOORS AND OTHER DOORS INTENDED FOR USER PASSAGE WITHIN A FULLY ACCESSIBLE UNIT ('TYPE A') AND 'TYPE B' ENTRY DOORS MUST HAVE 18" CLEAR ON THE PULL SIDE OF THE DOOR. DOORS TO HABITABLE ROOMS MUST HAVE A MIN. 3'-0" DOOR & INCLUDE LEVER HARDWARE PER NCHFA 2019 QAP REQ'S.
- IN TYPE "A" (HC) UNITS, WHERE OPERABLE WINDOWS ARE PROVIDED IN THE LIVING ROOM, DINING ROOM AND BEDROOMS, 11. ALL OPERABLE WINDOW IN EACH AREA MUST BE ACCESSIBLE WITH OPERATING CONROLS AT 48" MAX AFF PER ICC ANSI 117.1 2009 SECTION 308. WINDOW SILLS MUST BE 24" AFF WHERE OVER 72" DROP TO AREA BELOW.
- ALL OPERABLE PARTS (SWITCHES, OUTLETS, CONTROLS) IN TYPE "A" ACCESSIBLE DWELLING UNITS SHALL COMPLY WITH SECTION 1003.9 & TYPE "B" ACCESSIBLE UNITS SHALL COMPLY WITH SECTION 1004.9 OF THE ICC/ANSI A117.1-2009. SWITCHES AND
- OUTLETS ARE PROVIDED AT SIDE WALLS AND/OR BASE CABINET FRONTS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS. TYPE "A" UNIT OVENS - THE LOCATION OF THE CONTROLS SHALL NOT REQUIRE REACHING ACROSS BURNERS. HOOD LIGHT & VENT 15.
- TO BE ON SEPARATE SWITCHES WITHIN ACCESSIBLE REACH WORKSPACES IN TYPE "A" KITCHENS TO BE 34" AFF MEASURED
- FROM THE FLOOR TO THE COUNTER OR SINK RIM, WHICHEVER IS
- ALL DOOR HARDWARE IS TO BE LEVER TYPE AND CABINET HARDWARE TO BE LOOP OR D SHAPE HANDLES.
- SOME ABBREVIATIONS, SYMBOLS OR CONDITIONS SHOWN ON THIS 19. SHEET MAY NOT APPLY TO THIS PROJECT.
- GRAB BAR REINFORCEMENT MUST BE SUFFICIENT TO PERMIT THE INSTALLATION OF REAR AND SIDE WALL GRAB BARS THAT FULLY MEET ALL ADA REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, REQ'D LENGTH, INSTALLATION HEIGHT, AND STRUCTURAL

HAND OPERATED METERING FAUCETS AT LAVATORIES & SINKS SHALL REMAIN OPEN FOR MIN. 10 SECONDS.

HINGED DOOR, HINGE

APPROACH, PULL SIDE

HINGED DOOR, HINGE

APPROACH, PULL SIDE

HINGED DOOR, LATCH

APPROACH, PULL SIDE

HINGED DOOR, LATCH APPROACH, PULL

SIDE, DOOR PROVIDED WITH CLOSER

HINGED DOOR, FRONT

_ ,APPROACH, PULL SIDE,

HINGED DOOR, FRONT

APPROACH, PULL SIDE,

FOLDING DOOR,

FRONT APPROACH

SLIDING DOOR,

POCKET OR HINGE APPROACH

SLIDING DOOR,

STOOP OR LATCH APPROACH

SUPPORT (TYP.)

-T.P. DISPENSER

LOCATION AREA

DOORWAY W/O DOOR,

FRONT APPROACH

DOORWAY W/O DOOR,

SIDE APPROACH

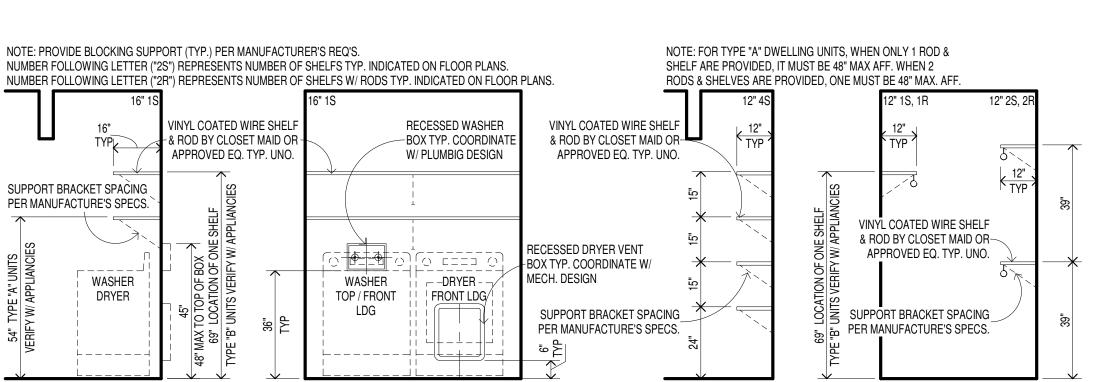
HINGED DOOR, FRONT

APPROACH, PULL SIDE

HINGED DOOR, FRONT

APPROACH, PULL SIDE,

- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES & SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES & SINKS.
- FLUSH VALVE CONTROLS & FLUSH TANK CONTROLS POSITION SHALL BE ON THE OPEN SIDE OF THE WATER CLOSET.
- WASHING MACHINES & DRYERS: TOP LOADING MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT LOCATED 36" MAX. A.F. FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT LOCATED MIN 15" & MAX. 36" A.F. FLOOR.
- TYPE "B" KITCHENS TO MEET ICC/ANSI A117.1-2009 SECTION 1004.12. STANDARD CABINETS AND STANDARD APPLIANCES MAY BE USED
- TYPE "A" ACCESSIBLE KITCHENS TO MEET ICC/ ANSI A117.1 2009 SECTION 1003.12.
- EXPOSED PIPES UNDER SINK SHALL BE PROTECTED OR INSULATED AGAINST CONTACT. NO SHARP OR ABRASIVE SURFACES ALLOWED. PROVIDE RANGE / OVEN WITH FRONT PANEL CONTROLS.
- REFRIGERATOR / FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE WITHIN 54" MAX. AFF.
- CABINETRY SHALL BE PERMITTED UNDER SINK PROVIDED IT CAN BE REMOVED WITHOUT REMOVING THE SINK; THE FLOOR FINISH EXTENDS UNDERNEATH & THE WALLS BEHIND & SURROUNDING THEM ARE FINISHED. (PER ICC A117.1 2009 1003.12.4.1 EXCEPTION 2)



PANTRY / LINEN

CLOSETS

LAUNDRY ROOM

FRONT VIEW

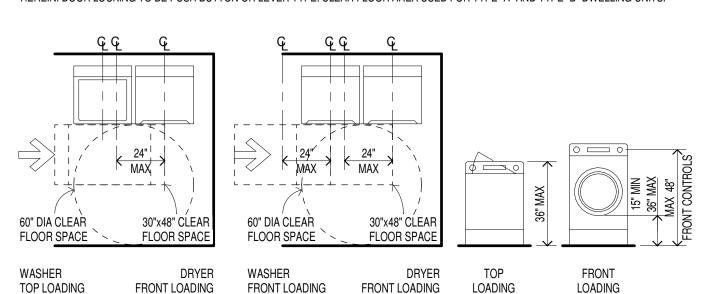
SHELF HEIGHTS TYP.

NOT TO SCALE

LAUNDRY ROOM

SECTION

WASHER AND DRYER MAY BE EITHER TOP LOADING, FRONT LOADING OR ANY COMBINATION. USE HEIGHT REQUIREMNTS AS SHOWN HEREIN. DOOR LOCKING TO BE PUSH BUTTON OR LEVER TYPE. CLEAR FLOOR AREA USED FOR TYPE "A" AND TYPE "B" DWELLING UNITS.



LAUNDRY ROOM TYP.

WASHER / DRYER PLAN

CLOTHES & WALK-IN

CLOSETS

NOT TO SCALE

NCHFA PRELIMINARY APPLICATION NOT FOR CONSTRUCTION

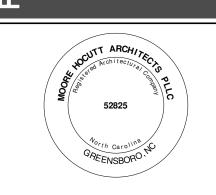
WASHER / DRYER PLAN WASHER / DRYER ELEV.

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SENIOR KNIGH KNIGH

REVISIONS No. Description Designed By Drawn By Checked By Date 01/19/21 MHA-P21-17 Project No.

> **ACCESSIBILITY INFORMATION**

NCHFA

Design Quality Standards and Requirements

II. BUILDING AND UNIT DESIGN PROVISIONS

A. EXTERIOR DESIGN AND MATERIALS

- 1. Building design must use different roof planes and contours to break up roof lines. Wide window and door trim must be used to better accent siding. If horizontal banding is used between floor levels, use separate color tones for upper and lower levels. If possible, use horizontal and vertical siding applications to add detail to dormers, gables, and extended front facade areas.
- 2. The use of no or very low maintenance materials is required for exterior building coverings on all new construction projects. These include high quality vinyl siding, brick, or fiber cement siding. The use of metal siding is prohibited. Vinyl siding must have a .044 inch thickness or greater and a limited lifetime warranty. Where band boards attach to and are part of the vinyl siding application, metal z-flashing must be installed behind, on top of, and below bands.
- 3. All exterior trim, including fascia and soffits, window and door trim, gable vents, etc. must also be constructed of no or very low maintenance materials.
- 4. All buildings must include seamless gutters and aluminum drip edge on all gable rakes and fascia boards. Drip edge must extend a minimum of 2 inches under the shingles. Downspouts must be installed so as not to drain across pedestrian path of travel.
- 5. All building foundations must have a minimum of 12 inches exposed brick or masonry veneer above finished grade level (after landscaping).
- 6. Breezeway and stairwell ceilings must be constructed of materials rated for exterior exposure.
- 7. A minimum 48-inch path of travel is required through building breezeways. 8. Buildings and units must be identified using clearly visible signage and numbers. Building and unit identification signage must be well lit from dusk till dawn and meet ANSI A117.1, Section

9. Omitted

703 standards.

- 10. Stairs in breezeways and building stairwells (not to include unit interiors) must have a minimum clear width of 40 inches between handrails and be completely under roof cover. Handrails must be $1 \frac{1}{4}$ to $1 \frac{1}{2}$ inches in diameter.
- 11. Exterior railings must be made of vinyl, aluminum or steel (no wood).
- 12. Anti-fungal dimensional (architectural) shingles with a minimum 30-year warranty are required for all shingle roof applications. All other types of roof coverings or installations must have a minimum 30-year warranty.
- 13. Covered drop-offs must have a minimum 13-foot vehicle headroom clearance.
- 14. In vinyl siding applications all exterior penetrations must be installed in plastic J-boxes. 15. Weep holes must be below finished slab elevation and not covered with sod, mulch, finished
- 16. All property entrances must have a monument sign with brick or stone columns and lighting.
- 17. All HVAC condensate drain lines may not drain on brick veneers or siding materials.
- 18. Exterior hallways, corridors or breezeways and interior hallways and corridors may not have a
- slope greater than 2% in any direction. 19. The Agency will not approve any four-story residential buildings without an elevator where parking is only provided on the 1st floor.

B. DOORS AND WINDOWS

- 1. All primary unit entries must either be within a breezeway or have a minimum roof covering of 3 feet deep by 5 feet wide, including a corresponding porch or concrete pad.
- 2. High durability, insulated doors (such as steel and fiberglass) are required at all exterior locations. Single lever deadbolts and eye viewers are required on all main entry doors to residential units.
- 3. Exterior doors for Type A units must include spring hinges.
- 4. Insulated, double pane, vinyl windows meeting current North Carolina Model Energy Code are
- required for new construction and rehabilitation projects (if replacing windows). 5. Windows must not be located over tub or shower units.
- 6. Install a continuous bead of silicone caulk behind all nail fins before installing new vinyl windows per manufacturer's specifications.

C. INTERIOR DESIGN AND MATERIALS

1. All residential units must meet minimum unit size requirements. The square footage measurements below will be for heated square feet only, measured interior wall to interior wall, and do not include exterior wall square footage. Unheated areas such as patios, decks, porches, stoops, or storage rooms cannot be included.

ngle Room Occupancy (SRO)	250 square feet
udio	375 square feet
ficiency	450 square feet
Bedroom	660 square feet
Bedroom	900 square feet
Bedroom	1,100 square feet

- 1,250 square feet 4 Bedroom For additional requirements see the Definitions section at the end of this Appendix
- 2. All units must have a separate dining area, except for SRO, Studio, and Efficiency units (see Definitions for description). Dining areas may not be positioned in kitchens within a 60-inch clear floor space of any cabinets or appliances. Dining areas may not be positioned close to hallway openings or where walking paths of travel is used by the residents.
- 3. Newly constructed residential units must have an exterior storage closet (interior common area only for congregate) with a minimum of 16 unobstructed square feet. Storage closets may not have any dimension smaller than 36 inches in width or depth. Water heaters may not be installed
- 4. Carpet and pad must meet FHA minimum standards. Carpets in Type A units must be glue-down type without padding.
- 5. Kitchens, dining areas, and entrance areas must have vinyl, VCT or other non-carpet flooring. 6. The minimum width of interior hallways in residential units is 40 inches.
- 7. For new construction, interior doors must be constructed of two, four or six panel hardboard,
- solid core birch or solid core lauan. Hollow core, flat-panel doors are prohibited. 8. Interior doors must have a minimum of three (3) hinges.
- 9. Bi-fold, pocket, louvered, and by-pass doors are prohibited.
- 10. Residential floors and common tenant walls must have sound insulation batts.
- 11. All bedroom closets, interior storage rooms, coat closets, and laundry rooms/closets must have a 4-inch-tall by 8-inch-wide minimum pass-thru grille above doors for air circulation in those areas that do not get conditioned. Closets or rooms deeper than 48 inches must be served by heating and cooling systems with its own supply diffuser.
- 12. There must be a minimum of ³/₄ inch air space under all interior doors measured from finished floor for air circulation.
- 13. All interior and exterior mechanical and storage closets must have finished floor coverings. Interior closets must have either carpet, sheet vinyl or VCT flooring. Exterior storage closets may have sealed, painted concrete floors.
- 14. Signage for designated common areas and all units must be in Braille and meet ANSI A117.1,

Section 703 standards.

- 15. The following areas must contain moisture resistant drywall: ceilings and walls of bathrooms, laundry rooms, mechanical closets, exterior storage closets, and behind kitchen sink base.
- 16. One elevator must be provided for every 60 units on a per building basis with a minimum of 48 units in a building. The elevator(s) must be centrally located within a given building and sized to be 60 inches x 60 inches minimum. This provision does not apply to buildings with a breezeway.
- 17. All interior stair handrails must be mounted on a continuous wood backer board. 18. Accessible cabinets with removable fronts must be manufactured to be removable with only a
- 19. Shoe molding must be installed in areas where glue-down or laminate flooring is installed.
- Vinyl/rubber base can only be installed on walls with metal framing or masonry/block walls. 20. In all Type A units, a 60-inch minimum turning radius is required into and throughout all usable areas of the kitchen, in accessible bathroom, in laundry rooms, and in closets that exceed 48
- 21. All interior common areas, hallways, and enclosed corridors must be served by heating and cooling systems. All enclosed building stairwells must be served with heating and air
- 22. Seal all penetrations through walls and ceiling with appropriate and like sealants to prevent moisture and air leakage

D. BEDROOMS

- 1. The primary bedroom must have at least 130 square feet, excluding the closet(s).
- 2. Secondary bedrooms must have at least 110 square feet, excluding the closet(s). 3. Every bedroom must have a closet with a shelf, closet rod and door. The average size of all
- bedroom closets in each unit type must be at least 7 linear feet.
- 4. In Type A units, a hard-wired call for aid station is required in all bedrooms.

- 1. A recessed medicine cabinet must be installed in every full bathroom in each residential unit. A glass door on the medicine cabinet may not have sharp edges that may cause bodily injury.
- 2. The average size of all vanities in each unit type must be at least 36 inches. Type A units must have a code compliant removable vanity base below sink for storage. Floors and walls under vanities must be finished. Removal of bases must be done so with a screwdriver only. Vanities with removable fronts must be manufactured for that purpose. The Agency will not allow field
- 3. Mirrors in bathrooms must be low enough to reach the counter backsplashes.
- 4. All full bathrooms must have an overhead ceiling light and exhaust fan on the same switch.
- Vanity lights must be provided and be on a separate switch.
- 5. All bathrooms must include an exhaust fan rated at 70 CFM (minimum) vented to the exterior of the building using hard ductwork along the shortest run possible.
- 6. All new construction and adaptive re-use projects must comply with QAP Section IV(F)(4) and Appendix B Section VIII regarding additional Type A bathrooms, including roll-in showers. All roll-in showers must have a collapsible water dam or beveled threshold that meets code. All rollin showers must have a flat, usable minimum floor space of 36 inches by 60 inches and have an adjustable shower rod and weighted curtain installed before occupancy. Shower floor may not be used for code required 60-inch clear floor space in bathrooms.
- 7. Approaches to roll-in showers must be level, not sloped.
- 8. All domestic water line cut off valves must have metal handles, not plastic.
- 9. In all Type A units, the grab bars must be installed per ANSI A117.1 specifications around toilets and in the tubs/showers. In roll-in showers the shower head with wand must be installed on a sliding bar and within code required reach ranges by the seat. An additional diverter must be installed to provide water to a shower head on the short shower wall in front of the seat, mounted
- 80 inches above finished floor 10. In Type A units, a hard-wired call for aid station is required in all bathrooms.
- 11. Offset toilet flanges are prohibited.
- 12. Wood blocking must be installed for bathroom accessories, including towel bars, towel rings, toilet tissue holders, robe hooks, etc.

F. KITCHENS

- 1. New cabinets must include dual side tracks on drawers. Door fronts, styles, and drawer fronts must be made with solid wood or wood/plastic veneer products. Particle board or hardboard doors, stiles, and drawer fronts are prohibited.
- 2. The minimum aisle width between cabinets and/or appliances is 42 inches.
- 3. A pantry cabinet or closet in or near each kitchen must be provided (does not include SRO, studio or efficiency units). Pantry cabinet or closet door must be 24 inches minimum width and depth. Shelving must be 20 inches deep minimum.
- 4. All residential units must have either a dry chemical fire extinguisher mounted and readily visible and accessible in every kitchen, including kitchen in community building if present, an automatic fire suppression canister mounted in each range hood, or heat limiting devices permanently installed on ranges that limit burners from reaching temperatures high enough to ignite grease,
- 5. Each kitchen must have at the least the following minimum linear footage of countertop that are at or below 36 inches in height above finished floor, excluding the sink and range space:

SRO	4.5 linear feet
Studio	5.0 linear feet
Efficiency	5.0 linear feet
1 Bedroom	8.0 linear feet
2 Bedroom	10.0 linear fee
3 Bedroom	11.0 linear fee
4 Bedroom	13.0 linear fee

Bar tops may not be counted.

6. All residential units must have a frost-free Energy Star rated refrigerator with a freezer compartment and factory provided ice maker. Ice maker boxes must be installed with cold water supply line in the wall and centered behind the refrigerator only. iIce maker must be connected and operational. For Type A units the refrigerator must be side by side or bottom freezer drawer type. Water and ice dispensers in the doors, if installed, may not have any controls over 48 inches above finished floor. Doors must open beyond 90 degrees to allow bin removal. The

following are the minimum sizes: 0-2 Bedroom 14 cubic feet 3 Bedroom 16 cubic feet

- 4 Bedroom 18 cubic feet 7. All residential units must have an Energy Star rated dishwasher and be installed beside the
- 8. All residential units must have a double bowl kitchen sink.
- 9. In Type A units:
 - kitchen sinks must be rear-draining and have sink bottoms insulated if bottom of sink is at or below 29 inches above finished floor;

- pull-out worktops are prohibited;
- workstations must be installed beside the range with no wall to the left or right of the
- Removable fronts are required on accessible sink base cabinets and work station cabinets. Floors and walls under sink base and work station must be finished. Removal of door fronts must be done so with a screwdriver only. Cabinets with removable fronts must be manufactured for that purpose. The Agency will not allow field altered vanities. Cutting side panels, cabinet bottoms or backs and removal of plumbing pipes and/or electrical wires will not
- the wall cabinet mounted over the work station must be 48 inches maximum above finished floor to the top of the bottom shelf; and
- both the range hood fan and light must have separate remote switches mounted over the work
- Pantry cabinets/closets must have 30 inches x 48 inches clear floor space centered on the door. 10. In Type A units and common areas, kitchen ranges with cooktop can be no higher than 34 inches
- 11. Anti-tip devices must be installed on all kitchen ranges and be securely fastened to the floor. Walls behind or directly beside ranges must be covered with a splash panel. The panel should span from the range to the hood and be plastic, laminate or aluminum. Ranges must be installed to fit flush to the wall. Range cord receptacles must be recessed in the wall behind the range.
- 12. Base and shoe molding must be installed behind all ranges and refrigerators. No exposed subfloor should be visible between flooring products and sides of cabinets and walls.

G. LAUNDRY ROOM CLOSETS

- 1. If providing laundry hookups, a laundry room closet is required which must have a 36-inch minimum depth measured from back wall to back of closet doors, must accommodate a full sized (27 inches to 30 inches) clothes washer and dryer adjacent to each other, and cannot be designed for "stacked" appliances.
- 2. Dryer vent connection box must be galvanized metal and be 2 inches maximum above finished
- 3. Washer water shutoff valves must be installed right side up with the hose connection below the
- 4. In Type A and Type B units, each clothes washer and dryer must be centered for a side approach only in a four foot clear floor space area. The washer and dryer clear floor space areas may overlap. The clear floor spaces at each appliance may not use door openings or the ability to remove laundry room/closet doors in achieving the required parallel approach clear floor space. All electrical, plumbing, and venting rough-ins must be centered behind each washer and dryer.
- 5. Laundry rough-ins or equipment may not be installed in bedroom closets or in non-doored areas within a bathroom.

H. PROVISIONS FOR ALL SENIOR HOUSING

- 1. All senior residential units must be equipped with a hard-wired call for aid station in all bedrooms and full bathrooms. The aid station must be wired to an exterior warning device which consists of a strobe light and an audible alarm.
- 2. Provide loop or "D" shaped handles on cabinet doors and drawers.
- 3. Exhaust vents and lighting above ranges must be wired to remote switches for both the light and fan near the range in an accessible location.
- 4. Provide solid blocking at all toilets and tub/shower units for grab bar installation.
- 5. Provide a minimum 18 inch grab bar in all tub/shower units. The grab bar must be installed centered vertically at 48 inches A.F.F. on the wall opposite the controls.

PROVISIONS FOR SIGHT AND HEARING-IMPAIRED UNITS

Two percent of the total number of units constructed, or a minimum of one, must be able to be equipped for residents with sight and hearing impairments. These requirements include the

- 1. The unit(s) must be roughed in to allow for smoke alarms with strobe lights in every bedroom,
- bathroom, and living area. 2. The units must have a receptacle next to telephone jacks in units for future installation of TTY

two percent (2%) of all units are properly equipped to serve persons with sight and or hearing

- 3. The unit must be Type A. 4. Lighted doorbell button connected to an audible and strobe alarm installed in each bathroom, bedroom, and common area is required for each sight and hearing-impaired unit. The requirements of this provision can be satisfied by adding the elements described above to the additional Accessible units with roll-in showers required by QAP Section IV(F)(4) such that at least

III. MECHANICAL, SITE AND INSULATION PROVISIONS

A. PLUMBING PROVISIONS

- 1. All rental units require at least one full bathroom. 2. Three bedroom units require at least 1.75 bathrooms (including one bath with upright shower and one bath with full tub).
- 3. Four bedroom units require at least two (2) full bathrooms.
- 4. All tubs and showers must have slip resistant floors. For new construction projects, all tubs and
- showers must be one-piece and a minimum of 32 inches in width and 58 inches in length. 5. All electric water heaters must have a Uniform Energy Factor of 0.92 efficiency or an Energy Factor of at least 0.95 efficiency and be a minimum of 40 gallons (50-gallon minimum for 3 bedroom and larger). This cannot be achieved by using an insulated water heater jacket.
- 6. In new construction and adaptive re-use projects, all water heater tanks must be placed in an overflow pan piped to the exterior of the building, regardless of location and floor level unless a primed p-trap is installed. The temperature and relief valve must also be piped to the exterior. Water heaters must be placed in closets to allow for their removal and inspection by or through the closet door, may not be installed over the clothes washer or dryer space. Water heaters required to be elevated above the finished floor must have a water heater stand or wood platform designed for that installation and be professionally finished/painted. Water heaters may not be installed in exterior storage closets or in unconditioned spaces.
- 7. A frost-proof exterior faucet must be installed on an exterior wall of the community/office buildin 8. All tub/shower control knobs must be single lever handled and offset towards the front of the
- 9. Provide lever faucet controls for the kitchen and bathroom sinks.

- 10. All bathroom faucets, shower heads, and toilets must be EPA WaterSense rated.
- 11. Domestic water lines are not allowed in unconditioned spaces, including breezeways and community building attics.
- 12. In all Type A and Type B units, tubs and showers must have wood blocking installed on the bathing fixture.
- 13. In all Type A units, the toilets, tubs, and showers must have grab bars installed. See ANSI A117.1 for mounting heights and locations. The grab bar installed behind the toilet must be a minimum of 36 inches in length.
- 14. All plumbing pipes must be installed inside wall cavities. Connections to water and sewer lines may not be made through floors or cabinet bottoms.
- 15. Unit water shut-off valves must be located 16 inches to 48 inches above floor and in a reachable location to the resident and be clearly marked with signage.
- 16. All wall-hung sinks must have solid blocking behind fixture and the fixture mounted to plywood rather than sheetrock. Wall hung sinks may not be installed in residential units.
- 17. Step-in showers (36 inches x 60 inches) may be installed in residential units. For one-bedroom and two-bedroom units with only one bathroom, fifty percent (50%) of the bathing fixtures may be step-in showers. For units having two full bathrooms, one bathing fixture may be a step-in shower while the other bathroom must have a tub/shower fixture. You may not have a step-in shower in both bathrooms. The above guidance does not apply to Type A units.

3. ELECTRICAL PROVISIONS

- 1. Provide overhead lighting, a ceiling fan, telephone jack, and a cable connection in every bedroom and living room. If using ceiling fans with light kits, the fan and light must have separate switches.
- 2. Any walk-in closets must also have a switched overhead light. A walk-in closet is defined as any
- closet deeper than 36 inches from the back wall to the back of the closet door in the closed position. 3. Switches and thermostats must not be located more than 48 inches above finished floor height.
- 4. Receptacles, telephone jacks, and cable jacks must not be located less than 16 inches above finished floor height.
- 5. Switched exterior lighting is required at each unit entry door for resident use on buildings with porches and breezeways.
- 6. Additional exterior light fixtures not specific to a unit must be wired to a "house" panel. The fixtures must be activated by a photo cell placed on the east or north side of the buildings.
- 7. All exterior stairways must have light fixtures wired to a "house" panel and activated by a photo cell placed on the east or north side of the buildings. 8. Projects with gas heating and/or appliances must provide a hard-wired carbon monoxide detector
- with a battery back-up in each residential unit.
- 9. All non-residential and residential spaces must have separate electrical systems. 10. Initially-installed bulbs in residential units and common areas must be compact fluorescent, LED
- or pin-based lighting in 80% of all fixtures.
- 11. All telephone lines must be toned and tagged properly to each unit. 12. All exterior storage closets must have a switched overhead light.
- 13. All call for aid devices must be installed beside or below ceiling light switches in bedrooms and
- 14. Each building must have a cable termination and demarcation box for cable vendor connection.

. HEATING, VENTILATING AND AIR CONDITIONING PROVISIONS

- 1. All non-residential areas and residential units must have their own separate heating and air
- 2. Through the wall HVAC units are prohibited in all but Studio, Efficiency, and SRO units. They are allowed in laundry rooms and management offices where provided.
- 3. HVAC interior air handlers must be enclosed from return air grille to blower motor/filter. 4. The use of duct board is prohibited. Galvanized metal must be used for plenums and mixing
- 5. Connections in duct system must be sealed with mastic and fiberglass mesh.
- 6. All openings in duct work at registers and grilles must be covered after installation to keep out
- debris during construction. 7. Fresh air returns must be a minimum of 12 inches above the floor.
- 8. Electric mechanical condensate pumps are not allowed. 9. Supply ducts in unconditioned attics must be insulated with an R-8 or greater value.
- 10. Range hoods and micro-hoods must be vented to the exterior of the building with galvanized sheet metal using the shortest possible run.
- 11. All hub drains serving HVAC condensate lines must be piped to the outside. Piping to the sanitary sewer is not allowed unless a primed p-trap is installed.
- 12. Exterior exhaust vents must be mechanically secured to siding and/or brick veneers.
- 13. Venting for exhaust fans may not terminate in roof soffits. 14. Total dryer vent run may not exceed 35 feet, including deductions for elbows.
- 15. Dryer exhaust ducts may not be vented through the roof. 16. Clothes washer and dryer connections must be centered behind the appliance. 17. All units 1,100 square feet or greater which use heat pumps must use a minimum of 2-ton

equipment.

SITEWORK AND LANDSCAPING

- D. BUILDING ENVELOPE AND INSULATION 1. Framing must provide for complete building insulation including the use of insulated headers on all exterior walls, framing roofs, and ceilings to allow the full depth of ceiling insulation to extend over the top plate of the exterior walls of the building, and framing all corners and wall
- intersections to allow for insulation. 2. Seal at doors, windows, plumbing and electrical penetrations to prevent moisture and air leakage.

1. Provide positive drainage at all driveways, parking areas, ramps, walkways and dumpster pads to

- 2. No sidewalks may exceed a 2% cross slope regardless of where located. Provide a non-skid finish to all walkways.
- in new construction projects. 4. All water from roof and gutter system must be piped away from buildings and discharged no less than 6 feet from building foundation.

6. No part of the disturbed site may be left uncovered or unstabilized once construction is complete.

3. Switchbacks are not permitted from handicap parking spaces or access aisles to building entrance

- 5. Lots must be graded so as to drain surface water away from foundation walls. The grade away from foundation walls must fall a minimum of 6 inches within the first 10 feet.
- 7. Minimum landscaping budgets of \$300 per residential unit are required. This allowance is for plants and trees only and may not be used for fine grading, seeding and straw or sod.

8. Sitework changes after application award are not permitted without Agency approval.

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The Instruments of Service shall not be used by the

owner for future additions or alterations to this Project or

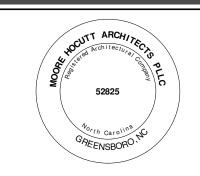
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for other projects, without the prior written agreement of

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REQUIREMENTS

NCHFA DESIGN QUALITY

STANDARDS AND

9. All new construction and rehab properties must have lighted entry sign with brick or stone

https://www.epa.gov/sites/default/files/2014-08/documents/north_carolina.pdf These systems reduce soil gas entry into the buildings by venting the gases to the outdoors and must include the following components.

- 1. Gas Permeable Layer of Aggregate: This layer is placed beneath the slab or flooring system to allow the soil gas to move freely underneath the house and enter an exhaust pipe. In many cases, the material used is a 4-inch layer of clean gravel.
- 2. <u>Plastic Sheeting/Soil Gas Retarder:</u> This is the primary soil gas barrier and serves to support any cracks that may form after the basement slab is cured. The retarder is usually made of 6 mil polyethylene sheeting, overlapped 12 inches at the seams, fitted closely around all pipe, wire, or other penetrations, and placed over the gas permeable layer of aggregate.
- 3. PVC Vent Pipe: A straight (no elbows) vertical PVC vent pipe of 3-inch diameter must be connected to a vent pipe "T" which is installed below the slab in the aggregate. The straight vent pipe runs from the gas permeable layer (where the "T" is) through the apartment to the roof to safely vent radon and other soil gases above the roof. A 12-inch perforated PVC pipe must be attached to the "T" on both ends in the aggregate to allow radon gas to easily enter the piping. The straight vent pipe runs vertically through the building and terminates at least 12 inches above the roof's surface in a location at least 10 feet from windows or other openings and adjoining or adjacent buildings. On each floor of the apartment, the pipe should be labeled as a "Radon Reduction System". Sealing and caulking with polyurethane or silicone on all openings in the concrete foundation floor must be used.

Check applicable federal, state, and local building codes to see if more stringent codes apply.

IV. ENERGY STAR CERTIFICATION

New construction projects must achieve ENERGY STAR Multifamily New Construction Program certification as verified by an independent, third party expert who assists with project design, verifies construction quality, and tests completed units. Adaptive re-use and rehabilitation projects must comply to the extent doing so is economically feasible and as allowed by historic preservation rules.

Third party accredited energy professional raters must perform blower door tests on the greater of 10% of the total number of units or 8 units. The units tested must be different unit types and in different building locations. Units that fail the blower door tests must be reported to the Agency at the time of failure. Additional testing may be required at owner's expense.

V. COMMON AREA AND SITE AMENITY PROVISIONS

All common use areas must be fully accessible to those with disabilities in compliance with all applicable State and Federal laws and regulations.

A. REQUIRED SITE AMENITIES

All new construction projects are required to include a minimum of six (6) tenant amenities. There are three (3) amenities that are mandatory and the additional three (3) can be selected from the list below. The required amenities vary by project type:

> Indoor or Outdoor Sitting Areas (minimum of 3 locations) Multi-Purpose Room (250 sq. ft.)

In addition to the required amenities, projects must also include at least three (3) of the following additional amenities and be on an accessible route:

- covered drive-thru or drop-off at entry
- covered patio with seating (150 sq. ft.) Senior projects only.
- covered picnic area with two tables and one grille (150 sq. ft.) One table must be ADA approved. • outdoor sitting areas with benches (minimum of 3 locations)
- exercise room (must include new equipment)
- raised bed garden plots (50 sq. ft. per plot, 24 inches deep, one plot per 10 residents, senior projects only) served by a water stand pipe for watering plants
- gazebo (100 sq. ft.; door must accommodate a 36-inch minimum clear opening).
- resident computer center (minimum of 2 computers)
- sunroom with chairs (150 sq. ft.).
- screened porch (150 sq. ft.) • tot lot (family projects only)
- walking trails (4 ft. wide paved and continuous around property)

Dimensions listed are the minimum required. Amenities must be located on the project site. Projects with multiple sites separated by a road, street, stream, or other similar property must have dumpsters and mailboxes at each site. Swimming pools are prohibited for 9% credit projects.

PLAYGROUND AREAS

- 1. Wherever possible tot lots and playgrounds must be located away from areas of frequent automobile traffic and situated so that the play area is visible from the office and maximum
- 2. A bench must be provided at playgrounds to allow a child's supervisor to sit. The bench must be anchored permanently, weather resistant and have a back.
- 3. Playground surface conditions and materials must meet certain guidelines and standards which
- ASTM F1951 (Specification for Determination of Accessibility of Surface Systems)
- ASTM F1292 (Specification for Impact Determination)
- ASTM F1487 (Standard Consumer Safety Performance Specification) • ASTM F2020 (Standard Specification for Engineered Wood Fiber
- ASTM F2479 (Specification Guide for Products and Installation of Poured-In-Place Surfaces 4. A letter from the playground floor material provider stating the material meets or exceeds the above ASTM requirements is required. A certificate from a third-party firm licensed to perform playground surface testing stating the installation of approved floor coverings was installed per
- manufacturer's requirements and that the finished floor surface(s) meet the above ASTM standards is also required.

5. All playgrounds and tot lots must each contain at least four play stations/activities.

. POSTAL FACILITIES

1. Postal facilities must be located adjacent to available parking and sited such that tenants will not

- obstruct traffic while collecting mail.
- 2. On-site postal facilities must have a roof covering which offers residents ample protection from the rain while gathering mail.
- 3. Postal facilities must have adequate lighting functioning from dusk to dawn.
- 4. Mailboxes may not be installed higher than 48 inches above finished floor and must be centered with a 48-inch clear floor space for a parallel approach.
- 5. All mail collection areas must have a 60-inch minimum turning radius.

D. LAUNDRY FACILITIES

- 1. Laundry facilities are required for all projects.
- 2. There must be a minimum of one washer and one dryer per twelve (12) residential units if
- washer/dryer hookups are not available in each unit. If hookups are available in each unit, there must be a minimum of one washer and one dryer per twenty-five (25) units.
- 3. The entrance must have a minimum roof covering of 20 square feet.
- 4. A "folding" table or countertop must be installed. The working surface must be 30 to 34 inches above the floor, and must have a 27-inch high clear knee space below. The working surface must be a minimum 48 inches long, and have a 30 by 48 inch clear floor space around it.
- 5. The primary entrance door to the laundry must be of solid construction and include a full height
- tempered glassed panel to allow residents a view of the outside/inside. 6. The laundry room must be positioned on the site to allow for a high level of visibility from
- residential units or the community building/office. 7. The laundry room must have adequate entrance lighting functioning from dusk to dawn.
- 8. If the project has only one laundry facility, it must be adjacent to the community building/office (if provided) to allow easy access and provide a handicap parking space(s).
- 9. One washer and one dryer must be front loading and usable by residents with mobility impairments (front loading), including at least a 30 by 48 inch clear floor space in front of each.

E. COMMUNITY / OFFICE SPACES

- 1. All projects must have an office on site of at least 200 square feet (inclusive of handicapped toilet facility) and a maintenance room of at least 150 square feet. This includes subsequent phases of a multi-phase development.
- 2. The community building/space must contain both a handicapped toilet facility and a kitchen area that includes a refrigerator and sink.
- 3. The community building/space, including toilet facilities and kitchenette but excluding maintenance room and site office, must contain a minimum of seven (7) square feet for each
- 4. The office must be situated as to allow the site manager a prominent view of the residential units, playground, entrances/exits, and vehicular traffic.
- 5. The office must be clearly marked as such by exterior signage, placed at a visible location close to C. Applicants must submit the following: the building. The signage must use contrasting colors and large letters and numbers.

F. PARKING

- 1. Family projects require a minimum of 1.75 parking spaces per unit.
- 2. Omitted
- 3. If local guidelines mandate parking to less than the Agency requires or if the site limits parking to less than the Agency requires, the number of parking spaces required by the Agency may be reduced upon receiving Agency approval prior to the preliminary application deadline. If the local parking requirements are not known until zoning approval, the Applicant must seek Agency approval prior to the full application deadline.
- 4. There must be at least one handicap parking space for each designated Type A unit and must be the nearest available parking space to the unit. All handicap parking spaces and associated aisles
- 5. Handicap ramps may not protrude into parking lot. Handicap parking spaces and access aisles may not exceed 2% slope in any direction. Access aisles cannot be installed through vehicular
- 6. All non-handicap parking spaces must be an asphalt or concrete solid surface with a minimum dimension of 8 feet wide and 18 feet long. Compact parking spaces may be included in addition to those required to meet Agency requirements but will not count towards the minimum required in 1 or 2 above.

G. REFUSE COLLECTION AREAS

- 1. Fencing consistent with the appearance of the residential buildings must screen the collection area. The fencing must be made of PVC or treated lumber and constructed for permanent use.
- 2. The pad for the refuse collection area, including the approach area, must be concrete (not asphalt). The approach area must be a minimum 18 feet in length.
- 3. The refuse collection area(s) may not be at the entrances or exits of the project and should be reasonably located amongst all buildings.
- 4. A minimum of two painted pipe bollards must be installed behind dumpsters. Pedestrian paths of accessible travel must be marked/identified (painted in yellow or white) on dumpster slab surfaces.

VI. ADDITIONAL PROVISIONS FOR REHABILITATION OF EXISTING HOUSING

The following requirements apply to rehabilitation of existing units. Other than as described below, existing apartments do not need to be physically altered to meet new construction standards.

- A. Design documents must show all proposed changes to existing and proposed buildings, parking, utilities, and landscaping. An architect or engineer must prepare the design drawings.
- 3. Any replacement of existing materials or components must comply with the design standards for new construction. In addition to needs identified by the Agency, the rehabilitation scope of work must include/address the following:

- All mechanical and storage closets must have painted, moisture resistant drywall and finished
- All bi-fold and accordion doors must be replaced with hinged doors.
- Shoe molding must be installed in areas where glue down or laminate flooring is/was installed.
- Splash panels must be installed behind all ranges. • Stair handrails must have continuous wood backer board.
- Anti-tip devices secured to the floor must be installed under all ranges.
- Clothes washer and dryer connections must be centered behind the appliance.
- Interior painting must include the entire unit.

• All water heaters must be in an overflow pan and piped to the outside (where possible).

- All units must have individual water shut off valves in the unit.
- Water heaters under kitchen countertops must be relocated.
- All polybutylene ("Quest") piping must be replaced. • All original cast iron p-traps must be replaced.
- Tub/shower valves over twenty-five years old must be replaced.

- All receptacles, switches and cover plates must be replaced. • All units must have looped smoke alarms.
- In bathrooms, overhead ceiling light must be switched with the exhaust fan and the vanity light wired to a separate switch. If the vanity light is the only light source, it then must be switched to
- Ceiling fans with lights must be installed in all living rooms and bedrooms. Fan and light must
- be wired to a separate switch.

• Cable and telephone jacks must be installed in all living rooms and bedrooms.

- Heating and Air • If range hoods were previously vented to the outside, the replacement hoods must be similar. • Hard duct all new and existing bathroom exhaust fans where possible (in attics).
- Existing HVAC air handlers must have a secondary condensate overflow line or cutoff switch. • Clothes dryer venting must be hard ducted to the exterior and concealed in a wall. • Replacement air handlers must have enclosed air returns where possible. Top distribution collars
- All outdoor HVAC condensers must have 410A refrigerant and properly sized line sets.

- Site Work • Existing site lighting must be adequate and functioning.
- Property entrance must have a monument sign with brick or stone columns.
- Sewer lines must be scoped and repaired/replaced as needed. • Painted pipe bollards must be installed behind all dumpsters.

Miscellaneous

- Attic insulation must meet R-30 minimum value.
- All Type A accessible units must be brought to current building standards to the greatest extent
- Existing fire walls in attics between units must be intact and solid. • Attic access panels must be lockable with keys available.

- 1. For properties built prior to 1978, a hazardous material report that provides the results of testing for asbestos containing materials, lead based paint, Polychlorinated Biphenyls (PCBs), underground storage tanks, petroleum bulk storage tanks, Chlorofluorocarbons (CFCs), and other hazardous materials. Professionals licensed to do hazardous materials testing must perform the testing. A report written by an architect, building contractor or developer will not suffice. A plan
- and projected costs for removal of hazardous materials must also be included. 2. A report assessing the structural integrity of the building(s) being renovated from an architect or engineer. Report must be dated no more than six (6) months from the full application deadline.
- 3. A current termite inspection report. Report must be dated no more than six (6) months from the full application deadline.

conditions not being replaced or addressed during rehabilitation.

D. Demonstrate replacement reserve is adequate to maintain and replace any existing systems and

VII. ADDITIONAL PROVISIONS FOR ADAPTIVE RE-USE OF EXISTING STRUCTURES A. Mechanical Systems: All mechanical systems (including HVAC, plumbing, electrical, fire suppression, security system, etc.) must be completely enclosed and concealed. This may be achieved by utilizing existing spaces in walls, floors, and ceilings, constructing mechanical chases or soffits, dropping ceilings in portions of units, or other means. Where structural or other significant

limitations make complete enclosure and concealment impossible, the applicant must secure approval

- from the Agency prior to installation of affected systems. Windows: Retain original window sashes, frames, and trim where possible. All original sashes must be repaired and otherwise upgraded to insure that all gaps and spaces are sealed so as to be weather tight. All damaged or broken window panes must be replaced. Where original window sashes cannot be retained, install replacement sashes be installed into existing frames. In all cases, windows must be finished with a complete coating of paint.
- C. Floors: All wood flooring is to be restored as closely to original condition as possible. Where repairs are necessary, flooring salvaged from other areas of the building must be utilized as fill material. If salvaged wood is not available, flooring of similar dimension and species must be used. All repairs must be made by feathering in replacement flooring so as to make the repair as discreet as possible. Cutting out and replacing square sections of flooring is prohibited. Where original flooring has gaps in excess of 1/8 inch, the gaps must be filled with an appropriate filler material prior to the application

D. Applicants must submit the following:

- 1. For structures built prior to 1978, a hazardous material report that provides the results of testing for asbestos containing materials, lead based paint, Polychlorinated Biphenyls (PCBs), underground storage tanks, petroleum bulk storage tanks, Chlorofluorocarbons (CFCs), and other hazardous materials. Professionals licensed to do hazardous materials testing must perform the testing. A report written by an architect or building contractor or developer will not suffice. A plan and projected costs for removal of hazardous materials must also be included.
- 2. A report assessing the structural integrity of the building(s) being renovated from an architect or engineer. Report must be dated no more than six (6) months from the full application deadline. 3. A current termite inspection report. Report must be dated no more than six (6) months from the

full application deadline. VIII. QUALIFIED ALLOCATION PLAN

- Five percent (5%) of all units in new construction and adaptive re-use projects must:
- 1. be a Type A unit according to the standards set forth in Chapter 11 of the North Carolina State
- Building Code and ANSI A117.1, Section 103, 2. have at least one bathroom with a toilet located in a five foot by five foot clear floor space (may overlap with the five foot turning diameter described in ANSI A117.1, with no overlapping elements or fixtures; the toilet must be positioned in a corner with the centerline of the toilet bowl
- 3. have at least one bathroom with a 36 inch by 60-inch roll-in shower as described in Appendix B. Such showers must also meet the requirements for accessible controls and clear floor spaces as

required by ANSI A117.1, Section 103, and 4. have a 5 foot by 5-foot clear floor space within the usable kitchen floor area with no overlapping

At least one unit in each class of Type A units must meet the above requirements. Unit classes are measured by the number of bedrooms. THESE UNITS ARE IN ADDITION TO MOBILITY IMPAIRED UNITS REQUIRED BY FEDERAL AND STATE LAW (INCLUDING BUILDING CODES). If laws or codes do not require mobility impaired units for a project, a total of ten percent (10%) of the units must be Type A units. In congregate buildings served by an elevator, these units must be on each residential floor.

DEFINITIONS

sink, full size refrigerator).

two bedrooms and full bathroom.

full tub and one bath with an upright shower stall.

Efficiency Apartment: A unit with a minimum of 450 heated square feet (assuming new construction or adaptive re-use) in which the bedroom and living area are contained in the same room. Each unit has a full bathroom (bathing fixture, lavatory, toilet) and full kitchen (stove top/oven, sink, full size refrigerator) that is located in a separate room.

Heated Square Feet: The floor area of a unit, measured interior wall to interior wall, not including exterior wall square footage. Interior walls are not to be deducted, and the area occupied by a staircase may only be counted once.

One Bedroom Apartment: A unit with a minimum of 660 heated square feet (assuming new construction or adaptive re-use) containing at least four separate rooms including a living/dining room, full kitchen, a bedroom and full bathroom.

Four Bedroom Apartment: A unit with a minimum of 1,250 heated square feet (assuming new

construction or adaptive re-use) containing at least eight separate rooms including a living/dining room, full kitchen, four bedrooms and two full bathrooms containing a tub/shower combination unit. Single Room Occupancy (SRO) Unit: A single room unit with a minimum of 250 heated square feet

(assuming new construction or adaptive re-use) that is the primary residence of its occupant(s). The unit

must contain either a full bathroom (bathing fixture, lavatory, toilet) or a full kitchen (stove top/oven,

sink, full size refrigerator) but not both. There are shared common areas in each building that contain

elements of food preparation and/or sanitary facilities that are missing in the individual units. Studio Apartment: A unit with a minimum of 375 heated square feet (assuming new construction or adaptive re-use) in which the bedroom, living area and full kitchen are contained in the same room. Each unit has components of a full bathroom (bathing fixture, lavatory, toilet) and full kitchen (stove top/oven,

Three Bedroom Apartment: A unit with a minimum of 1,100 heated square feet (assuming new construction or adaptive re-use) containing at least seven separate rooms including a living/dining room, full kitchen, three bedrooms and 1.75 bathrooms, with each unit including a minimum of one bath with a

Two Bedroom Apartment: A unit with a minimum of 900 heated square feet (assuming new construction

or adaptive re-use) containing at least five separate rooms including a living/dining room, full kitchen,

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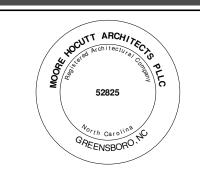
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Service shall be at the Owner's sole risk and without

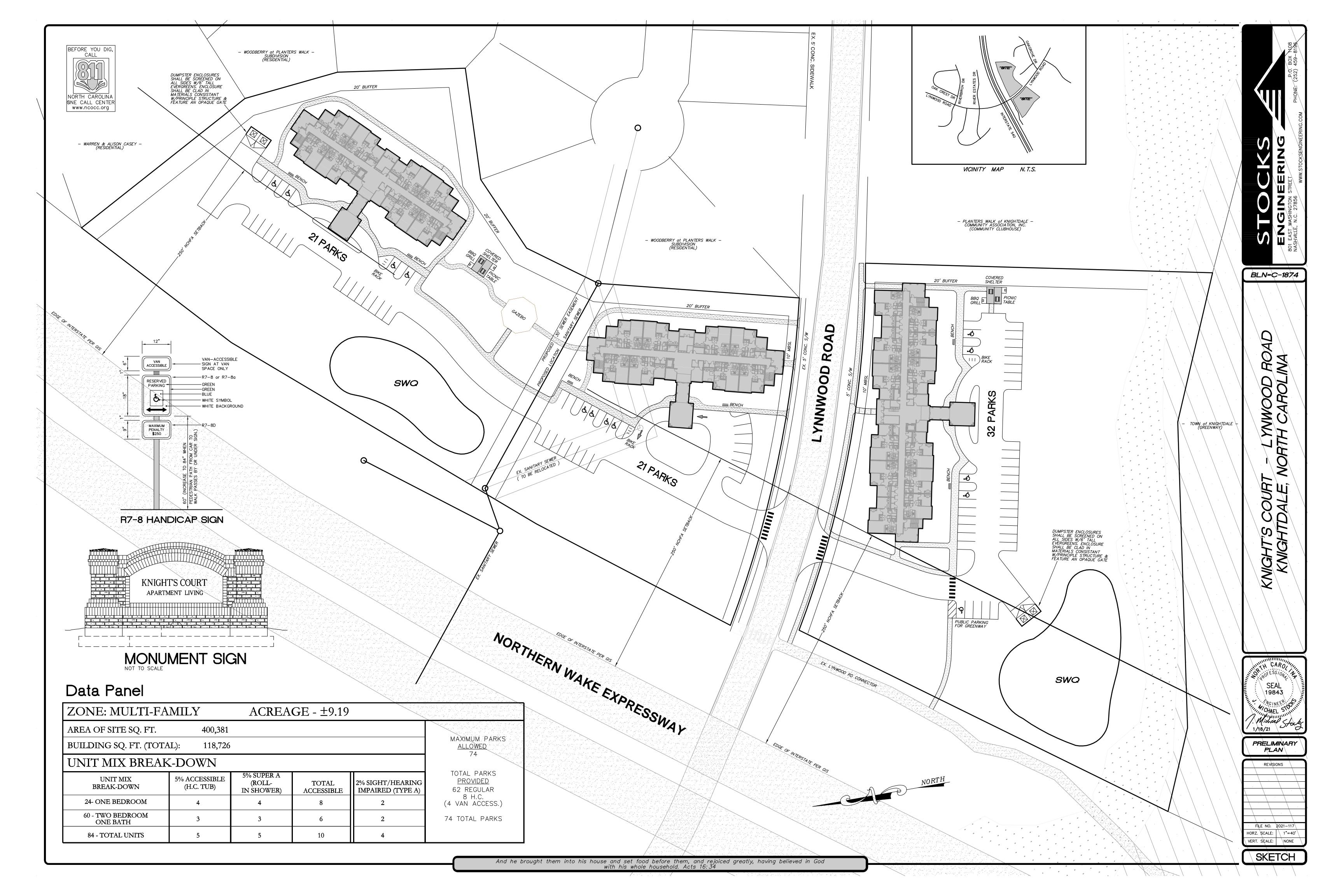
liability to the DP.



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REVISIONS No. Description Designed B Drawn By Checked By 01/19/21 MHA-P21-17

NCHFA DESIGN QUALITY STANDARDS AND REQUIREMENTS



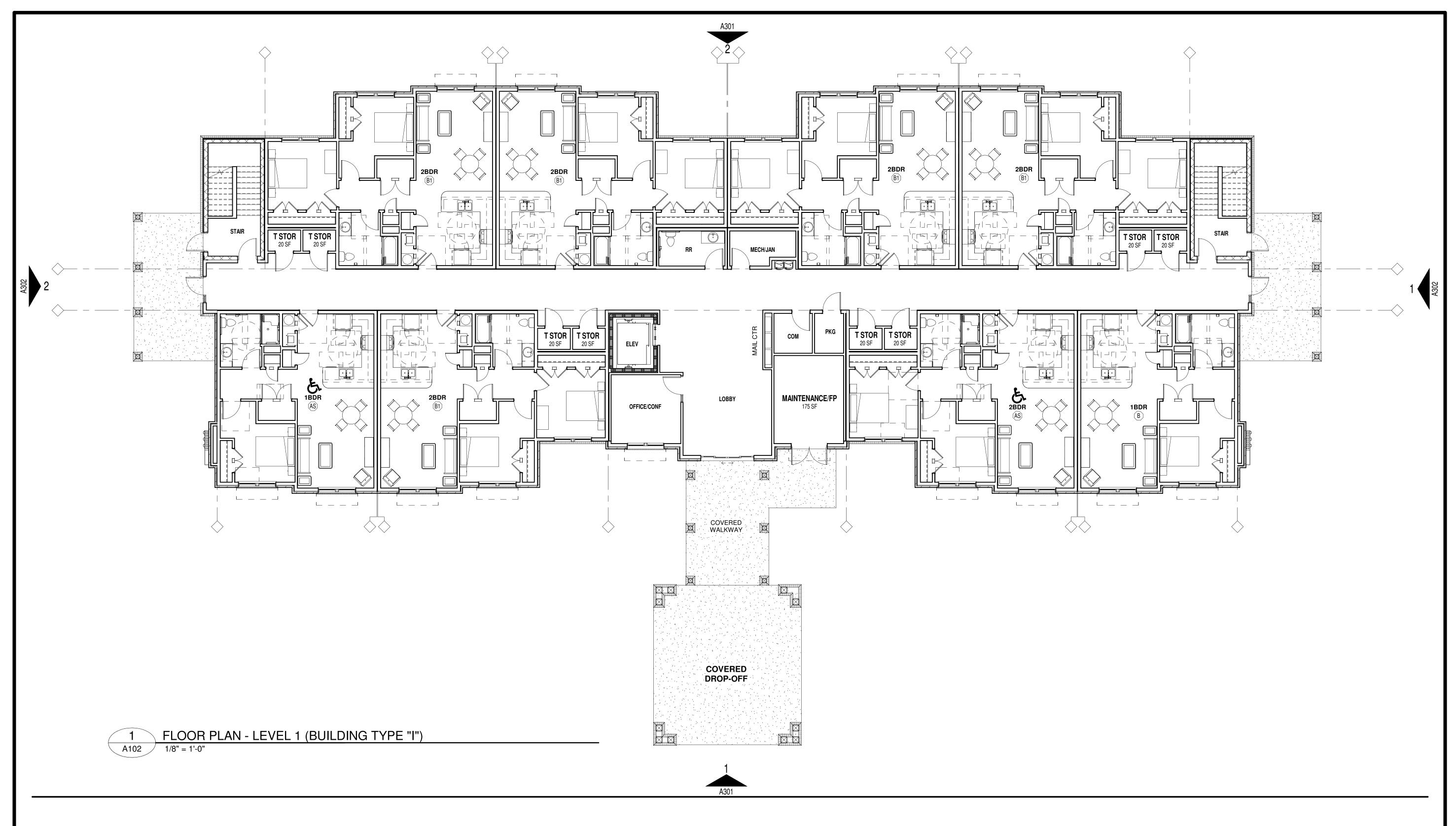
SENIOR APARTMEI

FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I")

A102

NCHFA PRELIMINARY APPLICATION

NOT FOR CONSTRUCTION
01/19/21



MOORE HOCUTT

3300 BATTLEGROUND AVE.

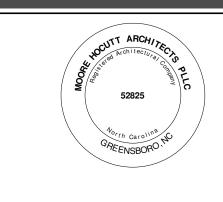
SUITE 306

GREENSBORO, NC 27410
P 336.897.0305
www.mharchitects.us

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SENIOR APARTMEI

3300 BATTLEGROUND AVE.

SUITE 306 GREENSBORO, NC 27410

P 336.897.0305 www.mharchitects.us

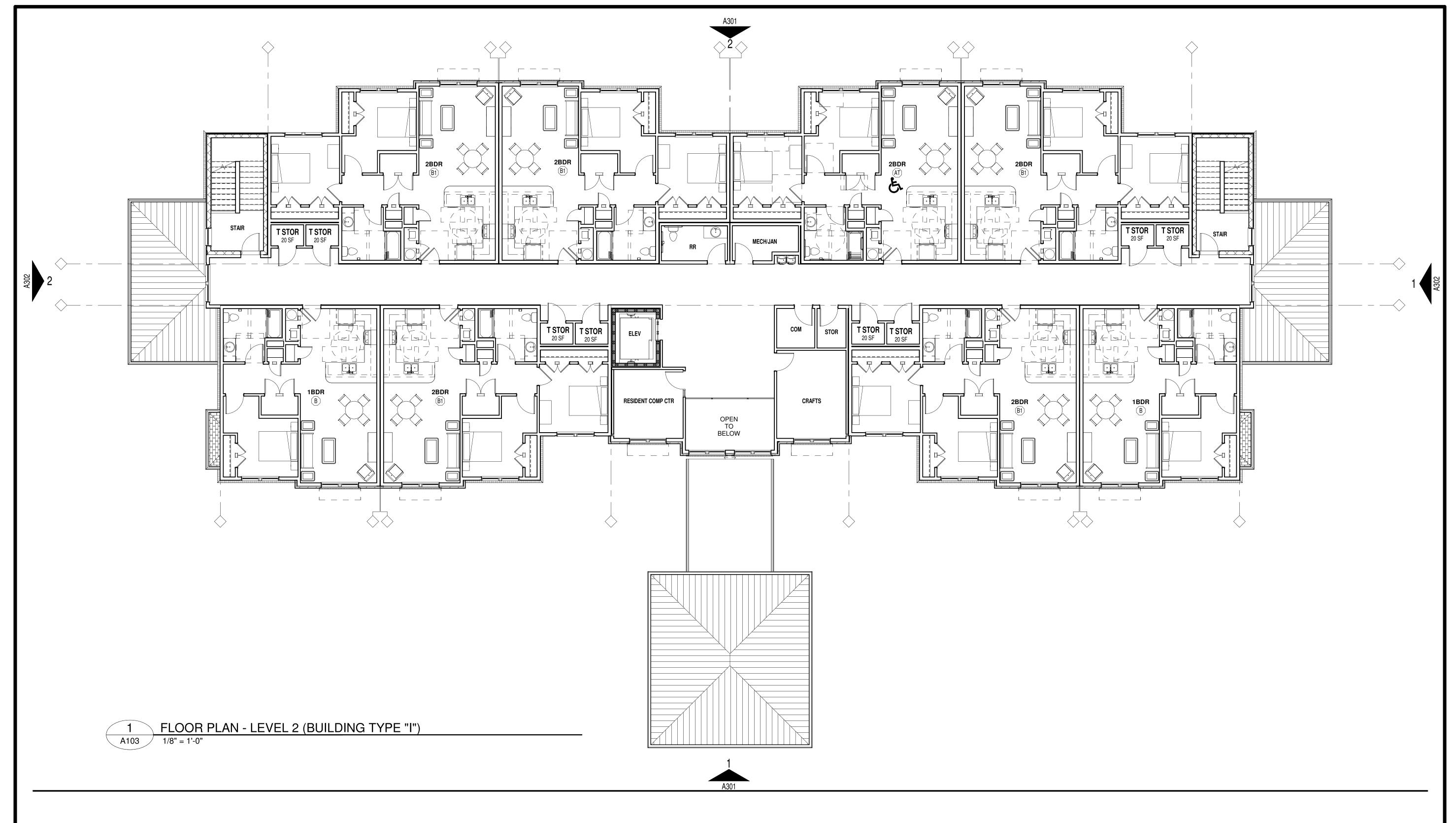
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WEAVERCOOKE

FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I")

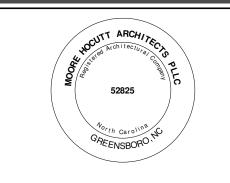
A103



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WEAVERCOOKE



KNIGHT'S

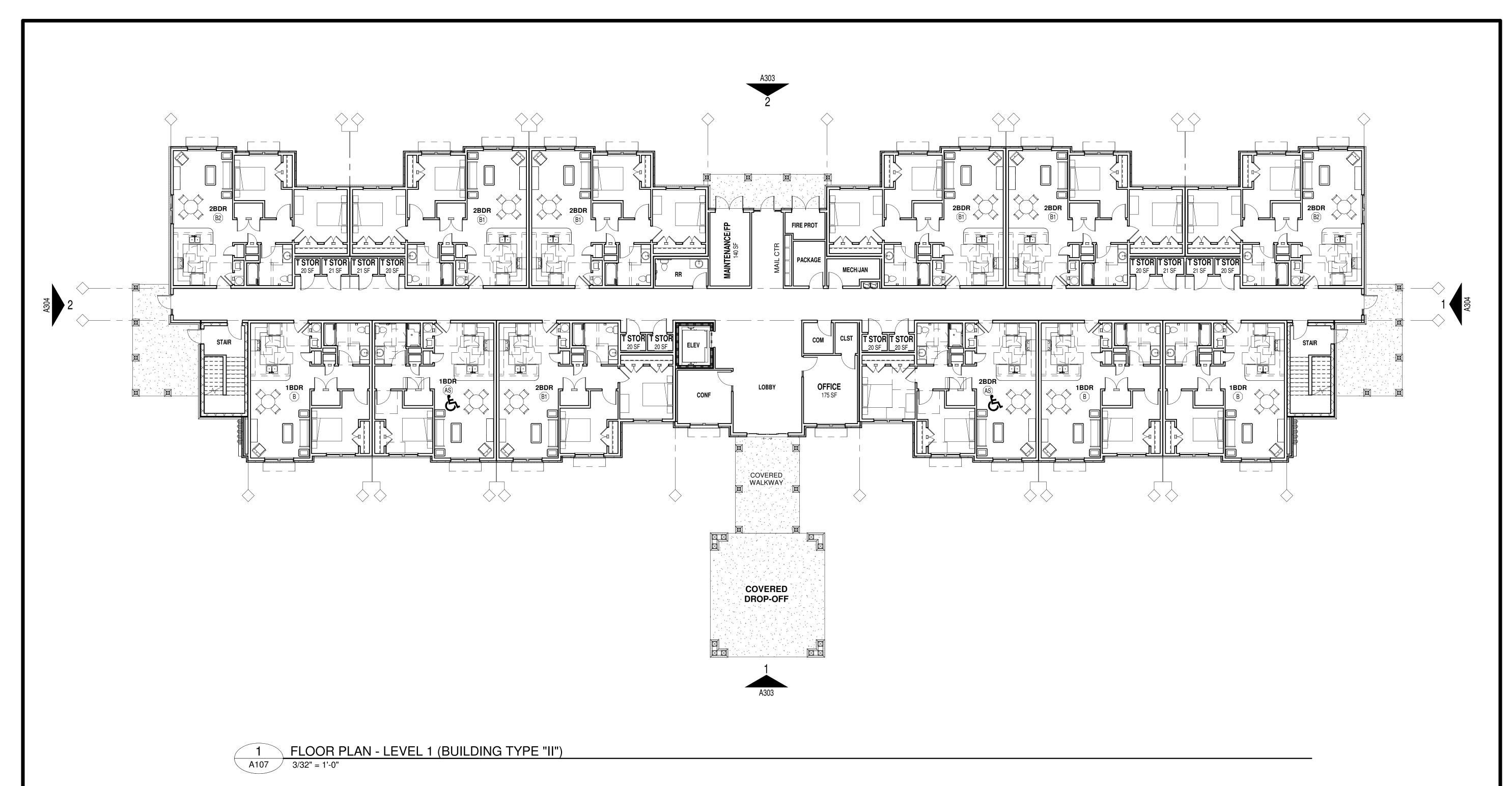
SENIOR APARTMEI

No.	Description	Date
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	-	
De	signed By	MLN
	signed By	MLN
Dra		
Dra	wn By ecked By	MLN JRI 01/19/2

FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")

A104

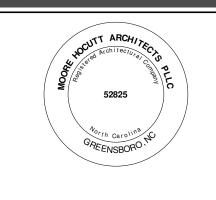
FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")



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| WEAVERCOOKE

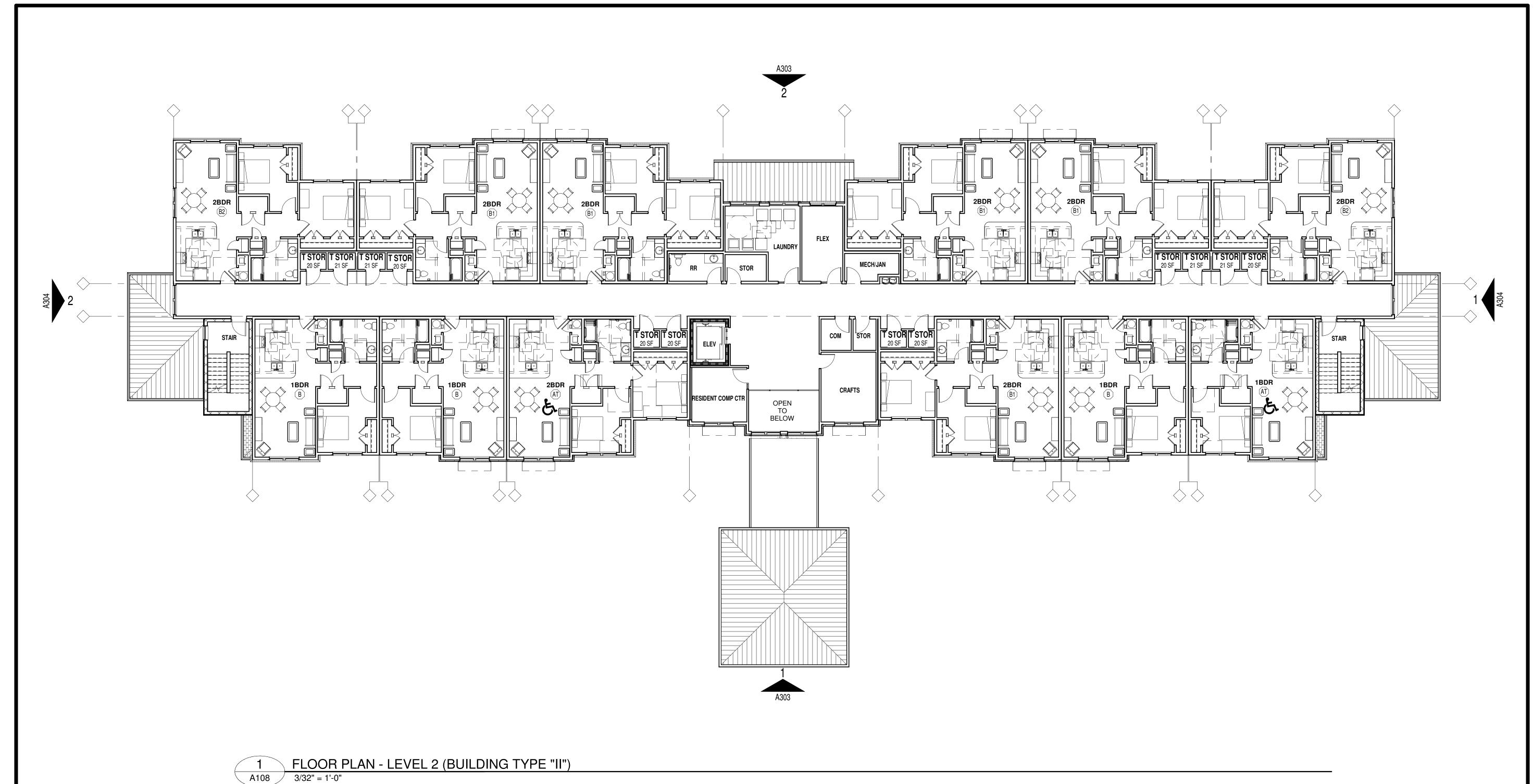


SENIOR APARTMEI

SENIOR APARTMEI

FLOOR PLAN - LEVEL 2 (BUILDING TYPE "II")

A108

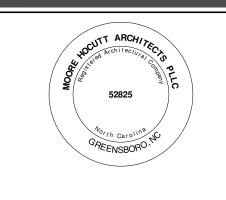


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Checked By 01/19/21 MHA-P21-17

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SUITE 306 GREENSBORO, NC 27410

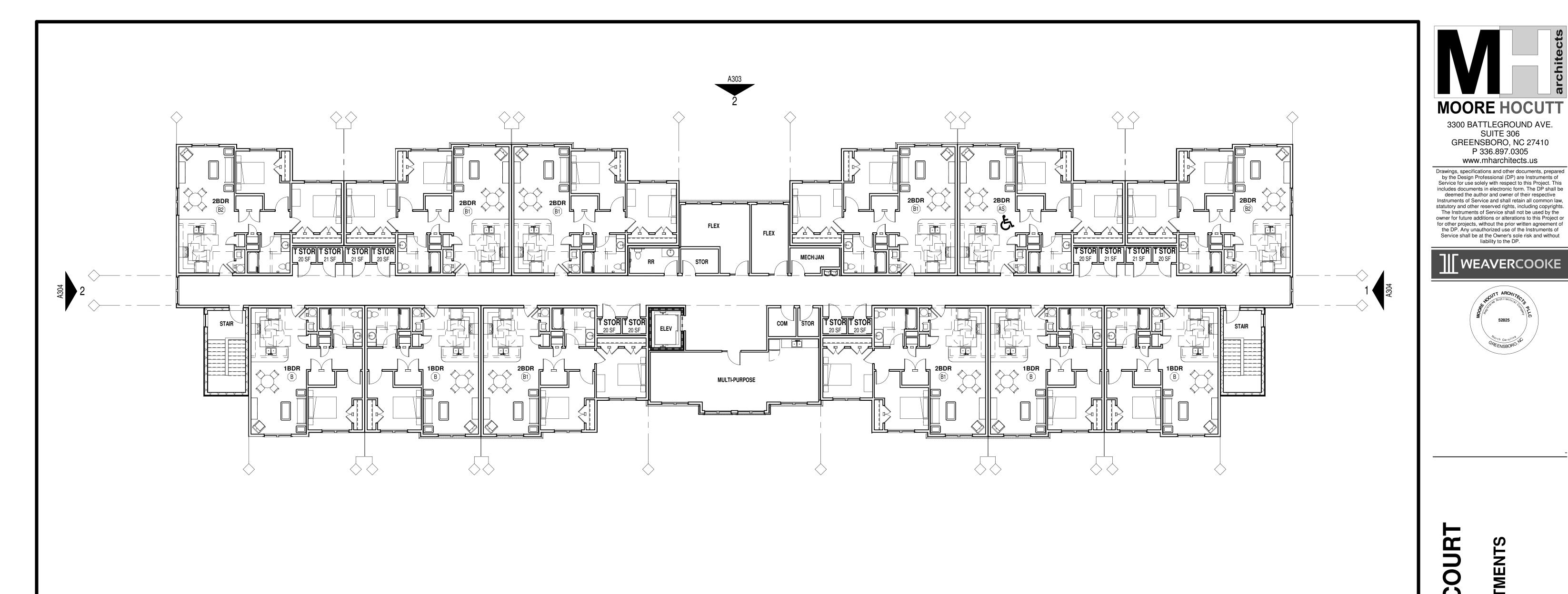
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deemed the author and owner of their respective

| WEAVERCOOKE

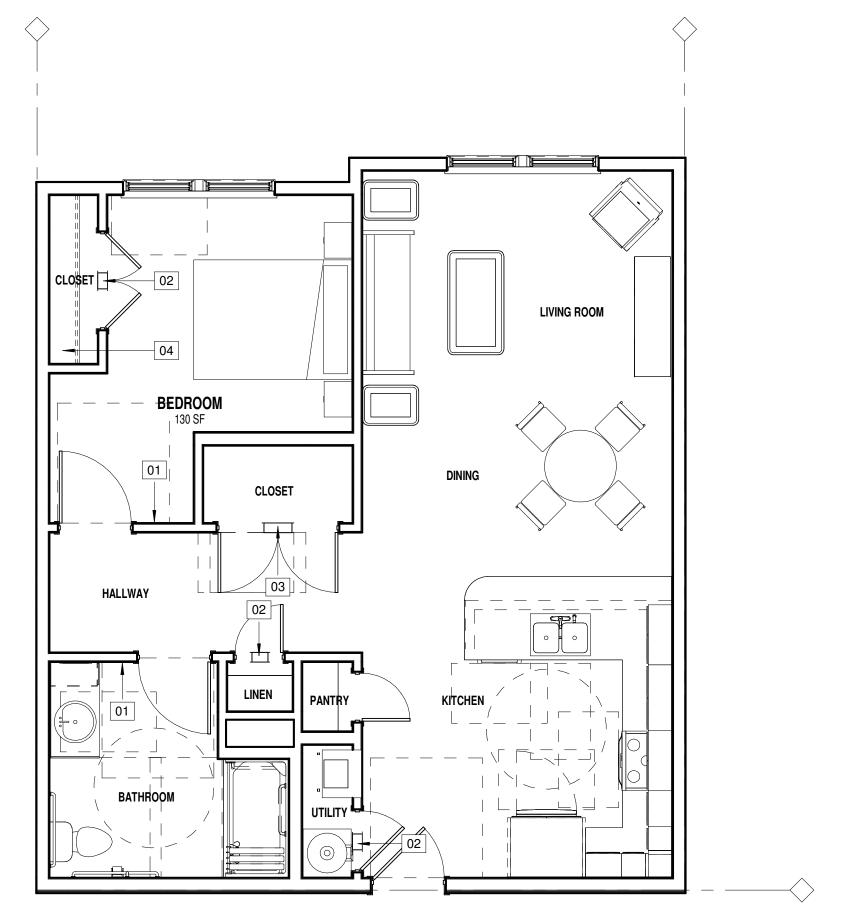
FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")

A109



FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II") A109 3/32" = 1'-0"

HALLWAY



ENLARGED UNIT PLAN KEYNOTES

MARK KEYNOTE

01 CALL FOR AID STATION.

02 TRANSFER GRILLE (8"x4"). 03 TRANSFER GRILLE (14"x8").

04 CLOSET SHELF AND ROD (MIN. 7LF).

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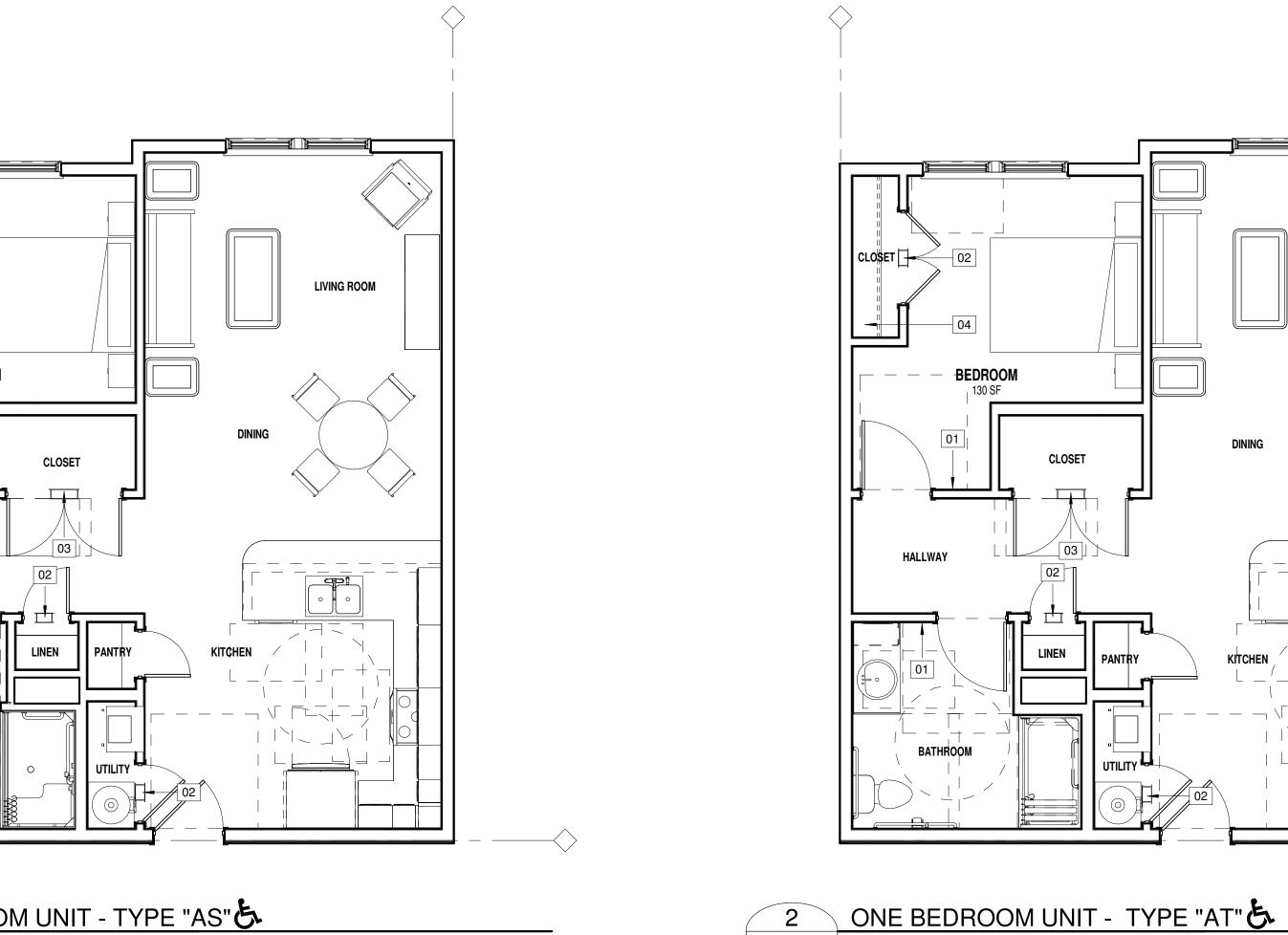


RE	VISIONS	
No.	Description	Date
Des	signed By	MLM
	wn By	-
Checked By		JRH
Dat	re	01/19/21
Pro	ject No.	MHA-P21-17

ENLARGED UNITS

A201

KNIGHT'S SENIOR



MARK KEYNOTE

01 CALL FOR AID STATION.

02 TRANSFER GRILLE (8"x4").

03 TRANSFER GRILLE (14"x8"). 04 CLOSET SHELF AND ROD (MIN. 7LF).

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KNIGHT'S SENIOR

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ENLARGED UNITS

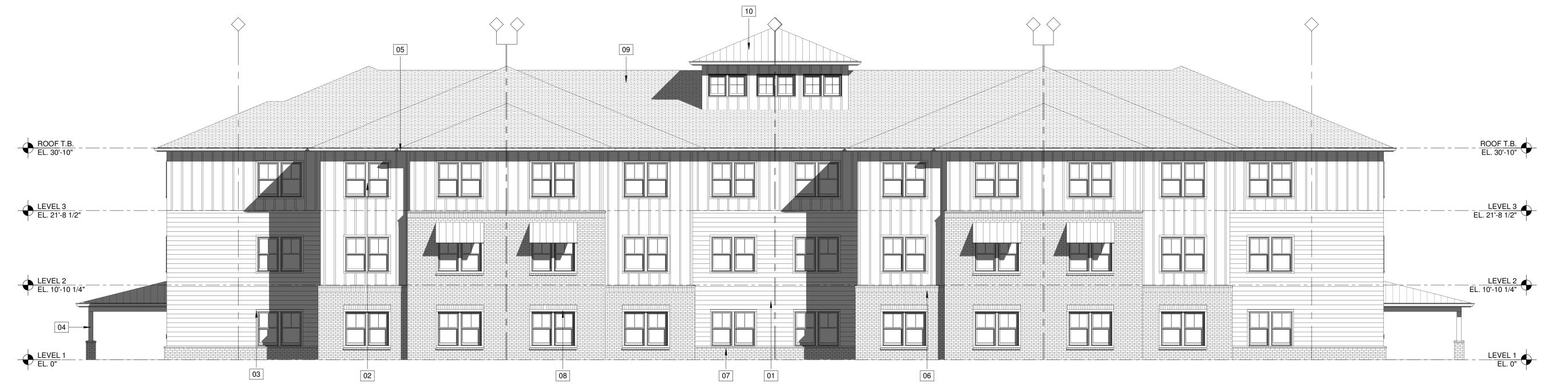
A202

NCHFA PRELIMINARY APPLICATION

NOT FOR CONSTRUCTION







KEYNOTES - EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS (BUILDING TYPE "I")

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET MARK KEYNOTES

- FIBER CEMENT CLAPBOARD SIDING.
- FIBER CEMENT VERTICAL BOARD BATTEN SIDING. FIBER CEMENT TRIM.
- FIBER CEMENT COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER. 4. BRICK VENEER WITH ROWLOCK.
- BRICK ROWLOCK WINDOW SILL.
- BRICK SOLDIER WINDOW HEAD.
- ARCHITECTURAL FIBERGLASS SHINGLES.
- STANDING SEAM METAL ROOF.
- VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT). VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
- ALUMINUM STOREFRONT DOOR.
- 14 STEEL DOOR.

A102 A301 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW
- DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN
- BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.

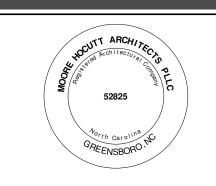
WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.

- 10. ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.

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SENIOR

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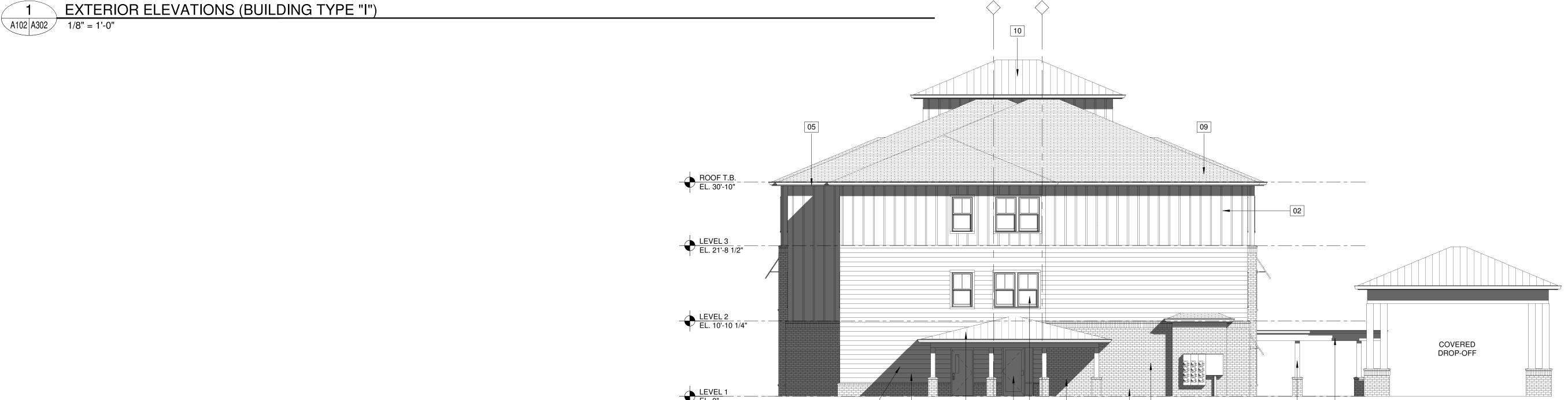
EXTERIOR ELEVATIONS (BUILDING TYPE "I")

A301

NCHFA PRELIMINARY APPLICATION

NOT FOR CONSTRUCTION





A102 A302 1/8" = 1'-0"

EXTERIOR ELEVATIONS (BUILDING TYPE "I")

06 01

04

13 12

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

- MARK KEYNOTES
- FIBER CEMENT CLAPBOARD SIDING.
- FIBER CEMENT VERTICAL BOARD BATTEN SIDING. FIBER CEMENT TRIM.
- FIBER CEMENT COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER. BRICK VENEER WITH ROWLOCK.
- BRICK ROWLOCK WINDOW SILL.
- BRICK SOLDIER WINDOW HEAD.
- ARCHITECTURAL FIBERGLASS SHINGLES.
- STANDING SEAM METAL ROOF.
- VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT). 12 VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
- 13 ALUMINUM STOREFRONT DOOR.
- 14 STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
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- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- 10. ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
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KNIGHT

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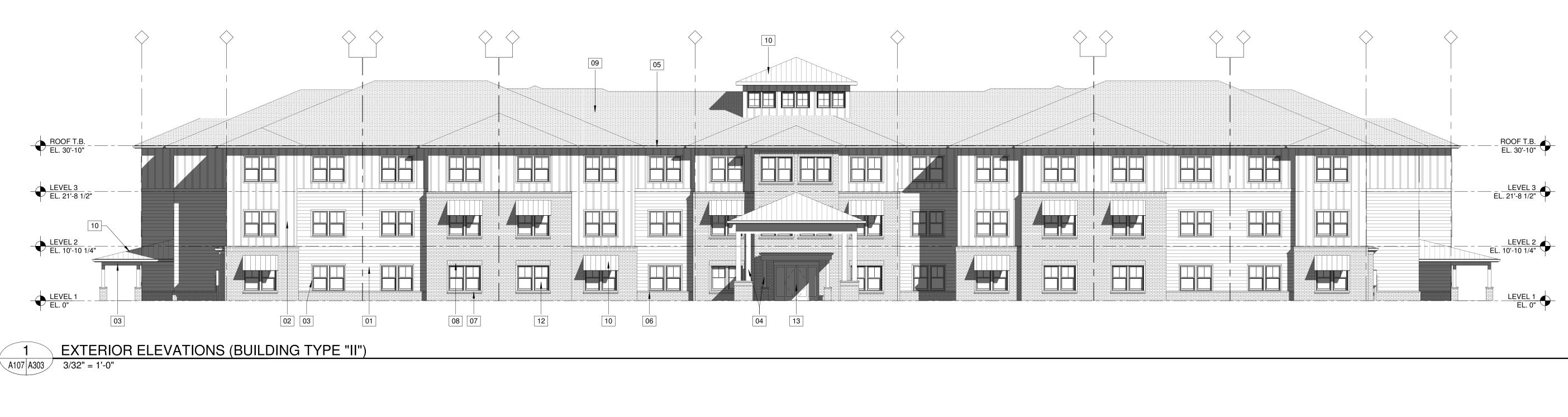
SENIOR

EXTERIOR ELEVATIONS (BUILDING TYPE "I")

A302

NCHFA PRELIMINARY APPLICATION

NOT FOR CONSTRUCTION





EXTERIOR ELEVATIONS (BUILDING TYPE "II") A107 A303 3/32" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

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- FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
- FIBER CEMENT TRIM. FIBER CEMENT COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
- BRICK VENEER WITH ROWLOCK. BRICK ROWLOCK WINDOW SILL.
- BRICK SOLDIER WINDOW HEAD. ARCHITECTURAL FIBERGLASS SHINGLES.
- STANDING SEAM METAL ROOF.
- VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
- VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT). ALUMINUM STOREFRONT DOOR.
- STEEL DOOR.

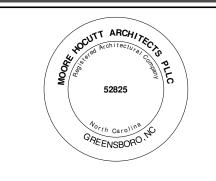
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- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
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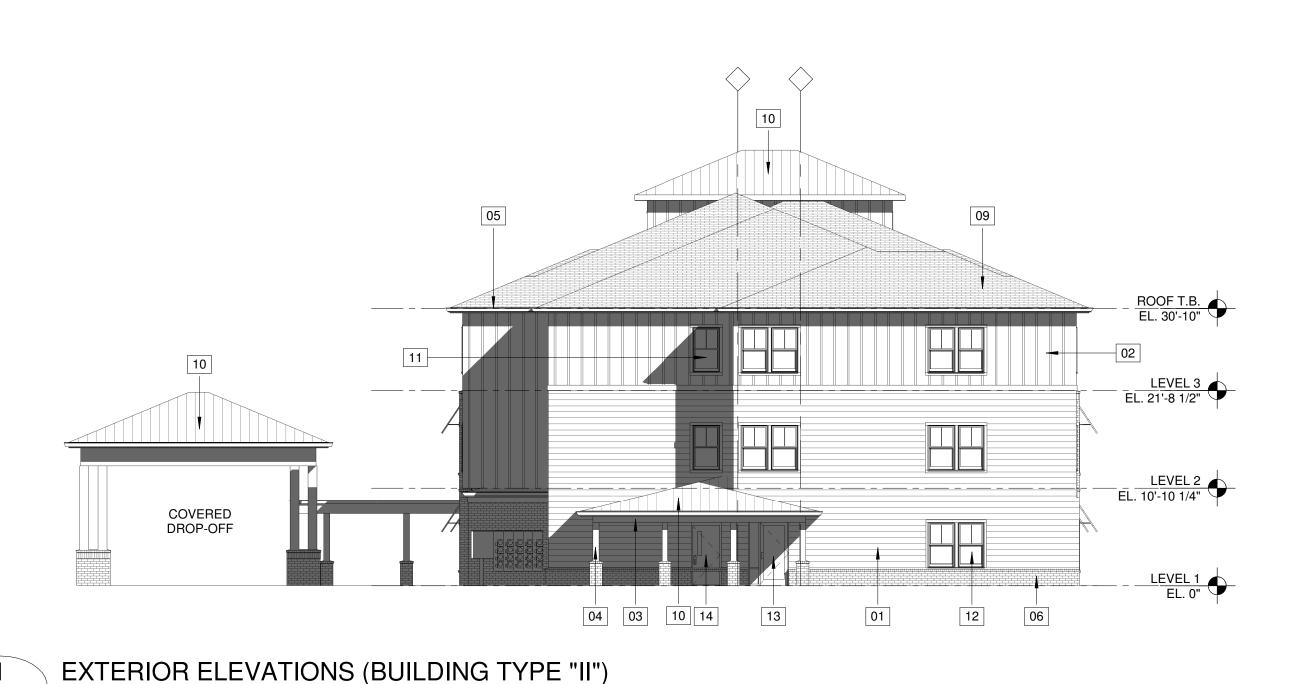


KNIGH SENIOR

REVISIONS No. Description Designed By Drawn By Checked By 01/19/21 MHA-P21-17 Project No.

EXTERIOR ELEVATIONS (BUILDING TYPE "II")

A303





EXTERIOR ELEVATIONS (BUILDING TYPE "II") A107 A304 3/32" = 1'-0"

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SENIOR

EXTERIOR ELEVATIONS (BUILDING TYPE "II")

NCHFA PRELIMINARY APPLICATION

NOT FOR CONSTRUCTION

KEYNOTES - EXTERIOR ELEVATIONS SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

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- FIBER CEMENT TRIM.
- FIBER CEMENT COLUMN WRAP.
- FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER. BRICK VENEER WITH ROWLOCK.
- BRICK ROWLOCK WINDOW SILL. BRICK SOLDIER WINDOW HEAD.
- ARCHITECTURAL FIBERGLASS SHINGLES.
- STANDING SEAM METAL ROOF. VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
- VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
- ALUMINUM STOREFRONT DOOR.
- STEEL DOOR.

A107 A304 3/32" = 1'-0"

GENERAL ELEVATION NOTES

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- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
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- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.