

CHANGE IN CONDITIONS APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Lynn Nehez</u>	NAME: <u>Educational Alternatives, Inc</u> <u>dba oak Meadow Montessori School</u>
ADDRESS: <u>2145 Collins Hill Rd.</u>	ADDRESS: <u>2145 Collins Hill Rd.</u>
CITY: <u>Lawrenceville</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30043</u>	STATE: <u>GA</u> ZIP: <u>30043</u>
PHONE: <u>770-963-8303</u> <u>Cell 404-697-2337</u>	PHONE: <u>770-963-8303</u>
CONTACT PERSON: <u>Lynn Nehez</u> PHONE: <u>404-697-2337</u>	
CONTACT'S E-MAIL: <u>lnehez@hotmail.com</u>	

APPLICANT IS THE:	
<input type="checkbox"/> OWNER'S AGENT	<input checked="" type="checkbox"/> PROPERTY OWNER
<input type="checkbox"/> CONTRACT PURCHASER	
ZONING DISTRICTS(S): <u>4</u>	PRIOR ZONING CASE: <u>SUP-99-075</u>
PARCEL NUMBER(S): <u>R7 108 002</u>	ACREAGE: <u>5.31</u>
ADDRESS OF PROPERTY: <u>2145 Collins Hill Rd. Lawrenceville, GA 30043</u>	
PROPOSED CHANGE IN CONDITIONS: <u>allow the addition of a modular classroom space with non-brick siding</u>	

RESIDENTIAL DEVELOPMENT:	NON-RESIDENTIAL DEVELOPMENT:
NO. OF LOTS/DWELLING UNITS: _____	NO. OF BUILDINGS/LOTS: <u>1</u>
DWELLING UNIT SIZE (Sq. Ft.): _____	TOTAL GROSS SQUARE FEET: <u>1792</u>
GROSS DENSITY: _____	DENSITY: <u>This is a modular classroom; an addition of space to the existing building.</u>
NET DENSITY: _____	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

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APR 1 0 2017

BK53399 PG0866

EXHIBIT "A"

LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 108 of the 7th District, Gwinnett County, Georgia, being Tract 1, containing 5.31 acres, as shown on that certain Survey for Dempsey Auction Co., as per plat recorded in Plat Book 27, Page 274, Gwinnett County, Georgia Records, which plat is hereby incorporated herein by reference.

CIC '17 0 15

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COLLINS HILL ROAD
80' R/W

COLLINS HILL PARK
GWINNETT COUNTY

N 31°19'24"E
145.20'

N 78°09'41"W 376.09'

S 66°12'34"E 502.45'

Proposed
Modular
Classroom

753.05' N 58°50'48"E

150.00'
N 33°39'32"W



S 58°27'48"W 987.82'

CIC 17015

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REVISIONS
1 MARCH 08, 2017 TO SHOW IMPROVEMENTS

Arton & Associates
Professional Surveying
1400 Mountain Street, Lawrenceville, Georgia 30045
770-963-7754



SURVEY FOR:
EDUCATIONAL ALTERNATIVES, INC.

5.6893 ACRES (247,827 S.F.)
LAND LOT 108 of the 7th DISTRICT
GWINNETT COUNTY, GEORGIA

DATE: NOVEMBER 29, 1999 SCALE: 1" = 40'



DEED RECORDS
GWINNETT COUNTY

SURVEY NOTES:
1. THIS SURVEY WAS MADE IN ACCORDANCE WITH THE SURVEYING ACT OF 1997.
2. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
3. ALL ANGLES ARE IN DEGREES, MINUTES AND SECONDS.
4. THIS SURVEY WAS MADE BY THE METHOD OF TRIANGULATION.
5. THE SURVEY WAS MADE ON A CLEAR DAY.
6. THE SURVEY WAS MADE AT THE TIME OF DAY WHEN THE SUN WAS IN THE SOUTHERN PART OF THE HEAVENS.
7. THE SURVEY WAS MADE AT THE PLACE WHERE THE SUN WAS IN THE SOUTHERN PART OF THE HEAVENS.
8. THE SURVEY WAS MADE AT THE PLACE WHERE THE SUN WAS IN THE SOUTHERN PART OF THE HEAVENS.
9. THE SURVEY WAS MADE AT THE PLACE WHERE THE SUN WAS IN THE SOUTHERN PART OF THE HEAVENS.
10. THE SURVEY WAS MADE AT THE PLACE WHERE THE SUN WAS IN THE SOUTHERN PART OF THE HEAVENS.

SHREVEBURY AT CANNON CREEK, UNIT 1
PLAT BOOK 77, PAGE 282
R-100 ZONING

N/2 MERRA & PATRICIA BLEEM
R-100 ZONING

N/2 KAREN L. UTES ETAL
R-100 ZONING

N/2 DAN LAN LEE ETAL
R-100 ZONING

N/2 MERRA & PATRICIA BLEEM
R-100 ZONING

N/2 KAREN L. UTES ETAL
R-100 ZONING

N/2 DAN LAN LEE ETAL
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R-100 ZONING

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R-100 ZONING

N/2 DAN LAN LEE ETAL
R-100 ZONING

N/2 MERRA & PATRICIA BLEEM
R-100 ZONING

CHANGE IN CONDITIONS APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY: This addition would be in keeping with the existing use of the property. The addition would not be in view of nearby homes.
- (B) WHETHER A PROPOSED CHANGE IN CONDITIONS WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY: It will not adversely affect the existing use.
- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED CHANGE IN CONDITIONS HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED: Yes.
- (D) WHETHER THE PROPOSED CHANGE IN CONDITIONS WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS: No, classroom will be used to ease the use of space in existing building, maybe 8-10 additional students will be added.
- (E) WHETHER THE PROPOSED CHANGE IN CONDITIONS IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN: Yes.
- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED CHANGE IN CONDITIONS: Current Special use Permit allows for our small, private Montessori school to operate. We purchased land at 2165 Collins Hill Rd., so now we are adjacent to Collins Hill Park, a positive use of the property.

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April 7, 2017

Letter of Intent

on behalf of
Educational Alternatives, Inc.
DbA Oak Meadow Montessori School
2145 Collins Hill Rd.
Lawrenceville, GA 30043
(770) 963-8303

To Whom It May Concern:

Oak Meadow Montessori School is a private Montessori school operating in Lawrenceville, Ga. The school is 24 years old and has been in operation at its current location for 16 years. The school operates under a Special Use Permit (No. SUP-99-075) and is zoned R-100. The school has operated successfully while adhering to the SUP and has been a good neighbor to those living nearby.

The school has decided it would like to have more room to accommodate its growing elementary classroom. It would like to add a modular classroom space to the property, to be located on an existing playground that is very near the main building. While it would allow for more children, the main purpose is to allow more space per child, as Oak Meadow Montessori is now Quality Rated under DECAL and would like to add materials to the classroom without taking away space from children's work places. We anticipate we will add 8 – 10 children net to our current 125 children enrolled. We do not anticipate needing additional parking or more teachers. We are simply spreading out a bit to allow our elementary students more space.

Our current acreage is 5.72 acres. We believe our current sewer, electrical, and water utilities, along with our stormwater detention pond, would not be adversely affected. We will position the building to allow underground pipes to be laid. We will add access ramps as directed and those plans will be supplied if the SUP change is approved. Also, note that the school bought the property at 2165 Collins Hill Rd. adjacent to its site as a buffer between the school and the park, therefore reducing the impact on the neighborhood even further.

We are requesting that our Special Use Permit be amended to allow for Hardi-siding or other residential siding that would be compatible with our attached proposed modular classroom. We will paint the siding in the same colors as the existing building. We request that we be allowed to add this modular space to our site. The zoning would remain the same.

Sincerely,

A handwritten signature in black ink that reads "Lynn Nehez".

Lynn Nehez
Executive Director

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CHANGE IN CONDITIONS APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Lynn Nehez

Signature of Applicant

4/7/17

Date

Lynn Nehez Executive Director

Type or Print Name and Title

Louanne H Huffman

Signature of Notary Public

4/7/17

Date



Notary Seal

CIC '17 015

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CHANGE IN CONDITIONS PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Lynn Nehez 4/7/17
Signature of Property Owner Date

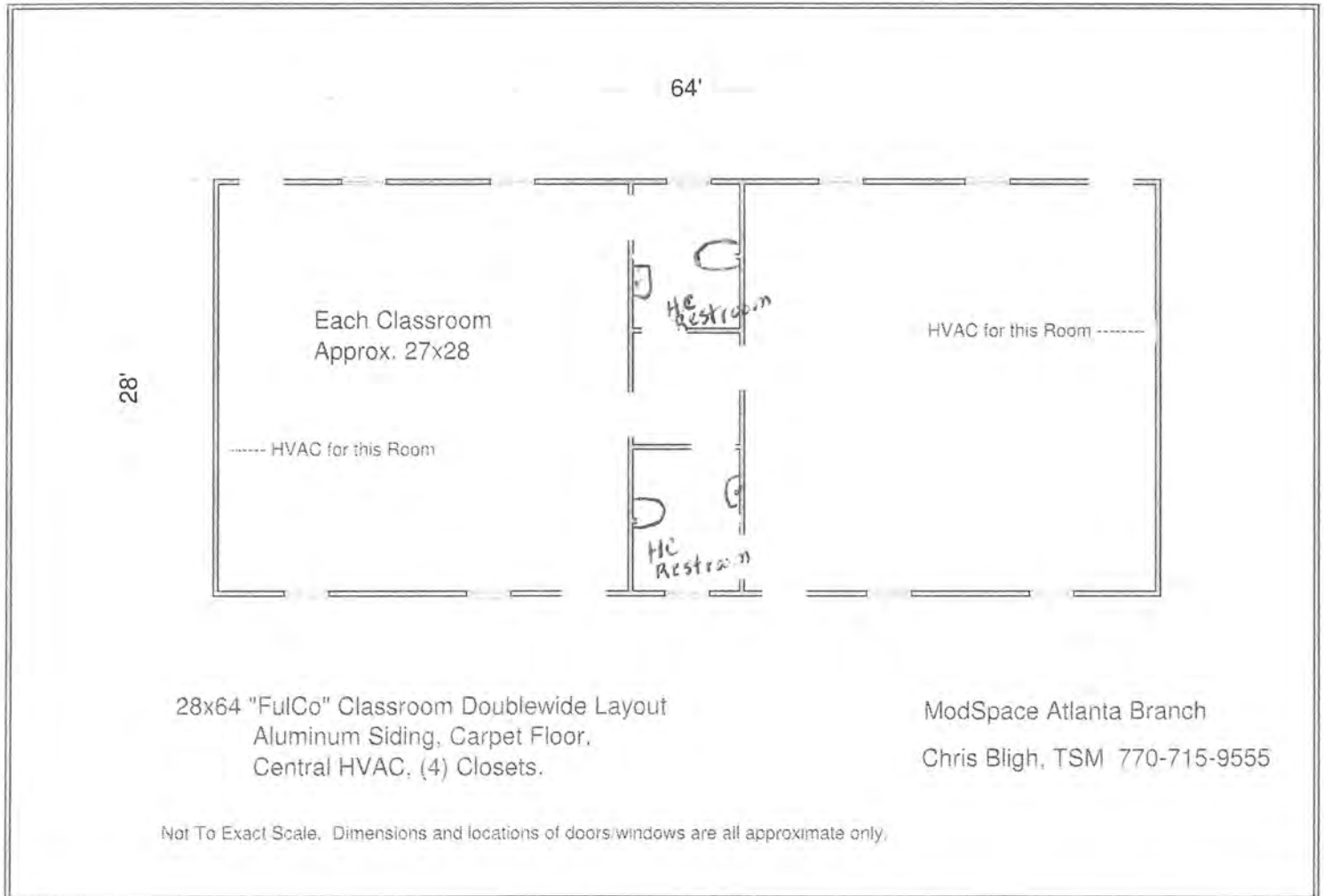
Lynn Nehez Executive Director
Type or Print Name and Title

Louanne H Huffman 4/7/17
Signature of Notary Public Date



Dak Meadow Montessori School

Proposed Modular Space for Additional Classroom

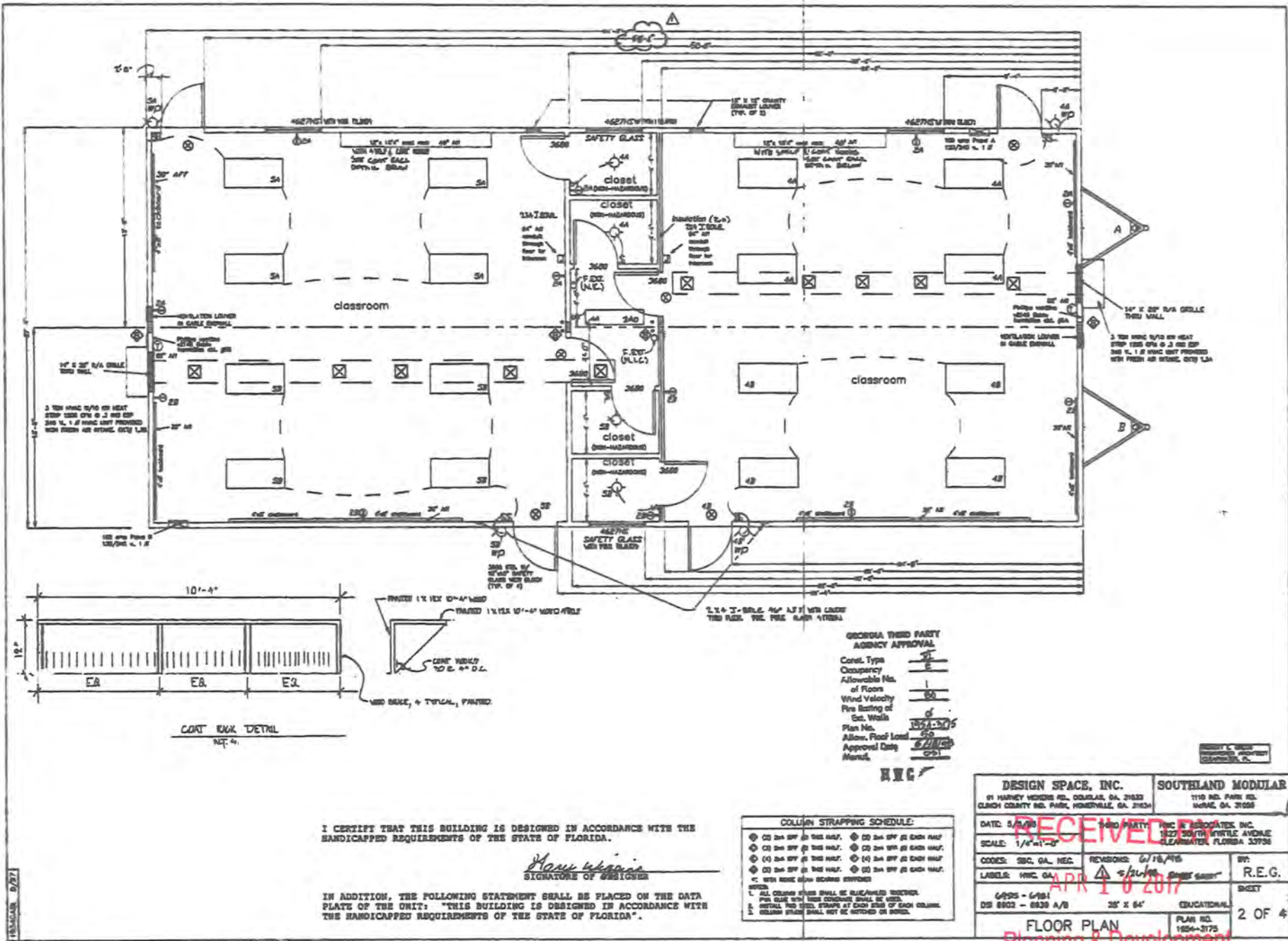


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GEORGIA THIRD PARTY AGENCY APPROVAL

Const. Type	SE
Occupancy	E
Allowable No. of Floors	100
Wind Velocity	150
Fire Rating of Ext. Walls	1/2
Plan No.	100-100
Allow. Floor Load	50
Approval Date	5/1/15
Method	CS

COLUMN STRAPPING SCHEDULE:

1. ALL COLUMN STRAPS SHALL BE BLACK/PAVED THERMOPLASTIC RUBBER WITH NEOPRENE SHALL BE USED.	2. INSTALL TWO STRAP STAYS AT EACH END OF EACH COLUMN.
3. COLUMN STRAPS SHALL NOT BE NOTCHED OR BORED.	

DESIGN SPACE, INC. 81 HARVEY WOODS RD. DOUGLAS, GA. 31023 CLYDE COUNTY RD. PARK, HENRIETTA, GA. 31034	SOUTHLAND MODULAR 1110 N. PARK RD. MARIETTA, GA. 30066
DATE: 5/1/15 SCALE: 1/8" = 1'-0" CODES: SEC. GA. REC. LABELS: HVC, GA.	REVISIONS: 6/16/15 6/22/15 6/25/15 6/29/15 6/30/15 7/1/15 7/2/15 7/3/15 7/4/15 7/5/15 7/6/15 7/7/15 7/8/15 7/9/15 7/10/15 7/11/15 7/12/15 7/13/15 7/14/15 7/15/15 7/16/15 7/17/15 7/18/15 7/19/15 7/20/15 7/21/15 7/22/15 7/23/15 7/24/15 7/25/15 7/26/15 7/27/15 7/28/15 7/29/15 7/30/15 7/31/15 8/1/15 8/2/15 8/3/15 8/4/15 8/5/15 8/6/15 8/7/15 8/8/15 8/9/15 8/10/15 8/11/15 8/12/15 8/13/15 8/14/15 8/15/15 8/16/15 8/17/15 8/18/15 8/19/15 8/20/15 8/21/15 8/22/15 8/23/15 8/24/15 8/25/15 8/26/15 8/27/15 8/28/15 8/29/15 8/30/15 8/31/15 9/1/15 9/2/15 9/3/15 9/4/15 9/5/15 9/6/15 9/7/15 9/8/15 9/9/15 9/10/15 9/11/15 9/12/15 9/13/15 9/14/15 9/15/15 9/16/15 9/17/15 9/18/15 9/19/15 9/20/15 9/21/15 9/22/15 9/23/15 9/24/15 9/25/15 9/26/15 9/27/15 9/28/15 9/29/15 9/30/15 10/1/15 10/2/15 10/3/15 10/4/15 10/5/15 10/6/15 10/7/15 10/8/15 10/9/15 10/10/15 10/11/15 10/12/15 10/13/15 10/14/15 10/15/15 10/16/15 10/17/15 10/18/15 10/19/15 10/20/15 10/21/15 10/22/15 10/23/15 10/24/15 10/25/15 10/26/15 10/27/15 10/28/15 10/29/15 10/30/15 10/31/15 11/1/15 11/2/15 11/3/15 11/4/15 11/5/15 11/6/15 11/7/15 11/8/15 11/9/15 11/10/15 11/11/15 11/12/15 11/13/15 11/14/15 11/15/15 11/16/15 11/17/15 11/18/15 11/19/15 11/20/15 11/21/15 11/22/15 11/23/15 11/24/15 11/25/15 11/26/15 11/27/15 11/28/15 11/29/15 11/30/15 12/1/15 12/2/15 12/3/15 12/4/15 12/5/15 12/6/15 12/7/15 12/8/15 12/9/15 12/10/15 12/11/15 12/12/15 12/13/15 12/14/15 12/15/15 12/16/15 12/17/15 12/18/15 12/19/15 12/20/15 12/21/15 12/22/15 12/23/15 12/24/15 12/25/15 12/26/15 12/27/15 12/28/15 12/29/15 12/30/15 12/31/15
6/225 - 6/101 DS 8902 - 8930 A/B	30' X 64' EDUCATIONAL PLAN NO. 1904-3175

I CERTIFY THAT THIS BUILDING IS DESIGNED IN ACCORDANCE WITH THE HANDICAPPED REQUIREMENTS OF THE STATE OF FLORIDA.

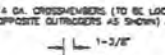
Howe Wilson
SIGNATURE OF DESIGNER

IN ADDITION, THE FOLLOWING STATEMENT SHALL BE PLACED ON THE DATA PLATE OF THE UNIT: "THIS BUILDING IS DESIGNED IN ACCORDANCE WITH THE HANDICAPPED REQUIREMENTS OF THE STATE OF FLORIDA".

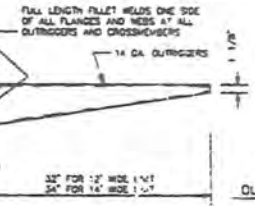
FLOOR PLAN
Planning & Development

CIC 17015

NOTE:
8" AND 10" WIDE UNITS REQUIRE NO OUTRIGGERS.
INSTALL (1) 3/8" x 1" LAG SCREW AND FLANGE CLIP
INTO JOISTS @ 16" O.C. ON OUTSIDE FLANGE OF EACH
I-BEAM FOR 8" AND 10" WIDE UNITS.



CROSSMEMBER SECTION

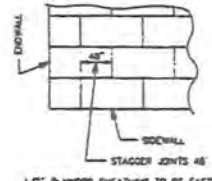


OUTRIGGER SECTION

***: OPTIONAL**
RIDGE BEAM CONSTRUCTION

1. MINIMUM R_g = 200 PSI
2. MINIMUM JOIST BE SPACED WITH 16" ON CENTER.
3. SPACING EXPOSED BY GENERAL, EXPOSED MUST BE SPACED WITH 16" ON CENTER.
4. FASTENERS MUST BE LOCATED WITH TOP EDGE OF MINIMUM TO PREVENT OVERSTRESS.
5. MINIMUM R_g IS A 1/2" THICK OVER THE ENTIRE LENGTH OF THE RIDGE BEAM AND MUST BE FASTENED TO THE JOISTS WITH 3/8" x 1" LAG SCREWS AND FLANGE CLIPS. THE JOISTS MUST BE FASTENED TO THE BEAMS WITH 3/8" x 1" LAG SCREWS AND FLANGE CLIPS. THE JOISTS MUST BE FASTENED TO THE BEAMS WITH 3/8" x 1" LAG SCREWS AND FLANGE CLIPS. THE JOISTS MUST BE FASTENED TO THE BEAMS WITH 3/8" x 1" LAG SCREWS AND FLANGE CLIPS.

GEORGIA THIRD PARTY AGENCY APPROVAL
Contract Type: _____
Community Allowable No.: _____
Wind Velocity: _____
Fire Rating of Ext. Walls: _____
Plan No.: _____
Allow. Floor Load: _____
Approval Date: _____
Manual: _____



ROOF SHEATHING DETAIL

CA DCA APPROVED TRUSS DESIGN
TRUSS # 960092
PAGE # F-317

HWC

3.0 SQUARE FEET NET FREE AREA OF ATTIC VENTILATION TO BE PROVIDED BY GABLE AND/OR ROOF MONTS. EACH MODULE.

SEE MECHANICAL NOTES FOR CEILING DUCT SPECIFICATIONS.

RM MEMBER 2x4 SPP#3 MINIMUM

SEE APPROVED PACKAGE FOR CEILING TO WALL FASTENING REQUIREMENTS.

30 GA. 1-1/2" STEEL STRIP FROM TRUSS TO WALL STUD FASTENED W/ (7) 16 GA. 1" STAPLES PER STRIP END (TYPICAL SIDEWALLS & ENDWALLS).
NOTE: TRUSSES WHICH DO NOT FALL DIRECTLY OVER WALL STUDS SHALL BE STRAPPED TO TOP PLATE AND TOP PLATE SHALL BE STRAPPED TO NEAREST ADJACENT STUD W/ EQUIVALENT FASTENING.

CHIMNEY STUDS 2x4 SPP#2 @ 16" O.C.

2x HEADER PER APPROVED STRUCTURAL PACKAGE

5/8" PLATE 3/4 SPP#2

CHIMNEY STUDS 2x4 SPP#2 @ 8" O.C.

3/4" PLYWOOD STUDS - FLOOR, EP - 1, 24" O.C.

BOTTOM PLATE 2x4 SPP#3

30 GA. 1-1/2" STEEL STRIP FROM WALL STUD TO FLOOR JOIST @ SPACING STUDS AND 16" O.C. W/ (7) 16 GA. 1" STAPLES PER STRIP END (TYPICAL SIDEWALLS & ENDWALLS).

1/2" x 1/4" x 3" LAG SCREWS THROUGH 1-1/2" INTO JOIST @ 16" O.C. TRUSSER SCREWS W/ FLANGE CLIP FROM I-BEAM TO AT LEAST ONE FLOOR JOIST BETWEEN ALL OUTRIGGERS (TYP).

OUTRIGGER AND CROSSMEMBER SPACING 8" O.C. MAXIMUM. 2x4 TOPPLATE OUTRIGGERS.

NOTE: ALTERNATE TRUSS AND WALL TIE-DOWN METHODS MAY BE USED IN ACCORDANCE WITH THE APPROVED STATE PACKAGE.

FASTEN RIDGE BEAM TO EACH TRUSS W/ NO LESS THAN (8) 15 GA. STAPLES W/ 1" PENETRATION INTO TRUSS KING POST OR EQUIVALENT FASTENING.

LISTED TRUSSES @ 8" O.C. OR 24" O.C. (SEE APPROVED TRUSS DETAIL FOR SPACING). LISTED ROOF TRUSS DESIGN LOADS: LIVE LOAD 20 PSF TOP CHORD, DEAD LOAD 6 PSF TOP CHORD, DEAD LOAD 6 PSF BOTTOM CHORD.

SITE INSTALL 3/8" LAG SCREWS STAGGERED FROM SIDE TO SIDE @ 16" O.C. MAXIMUM. LAG SCREWS MUST PENETRATE 1 1/2" MINIMUM INTO ADJACENT MODULE RIDGE BEAM OR TRUSS.

CEILING INTERIOR FINISH

SHOULDER TOP PLATE 3/4 SPP#2 WHEN TRUSSES ARE 16" O.C. DOUBLE TOP PLATE 2x4 SPP#2 WHEN TRUSSES ARE 24" O.C. (LISTED TRUSSES MUST BE LOCATED DIRECTLY OVER WALL STUDS WHEN SHOULDER TOP PLATE IS USED).

TYPICAL BRIDGE, SEE FLOOR PLAN FOR SPECIFICATIONS

MODULE C

37-3/4" (10" x 12" WIDE UNITS) 47-3/4" (14" WIDE UNIT)

ROOF OFF EXCESS FLOOR SHEATHING

15-1/2" (16" x 12" WIDE UNITS) 10-1/2" (14" WIDE UNIT)

1" x 6" JOIST

PRESSURE TREATED 1/2" PLATE (TYP)

TYPICAL I-BEAM MEMBER

SITE INSTALL 3/8" LAG SCREWS STAGGERED FROM SIDE TO SIDE @ 16" O.C. MAXIMUM. LAG SCREWS MUST PENETRATE 1 1/2" MINIMUM INTO ADJACENT MODULE RIDGE BEAM.

I-BEAM - 12" x 12" OR HIGHER (OPTIONAL MEMBER FOR MODULE LENGTHS NOT EXCEEDING 48 FEET)

INSTALL 2x4 SPP#2 MINIMUM BEARING BLOCK BETWEEN FLOOR JOISTS UNDER ALL COLLARS HAVING A TRIANGULAR LOAD DISTANCE OF GREATER THAN 12 FEET MEASURED ALONG HARRAGE LINE.

RIDGE BEAM CONSTRUCTION:

- 3 LAYERS 3/4" x 24" PLYWOOD, RATED SHEATHING, EP-1, STRUCT-1, 5 PLY/3 LAYER 1/2" EACH HALF CONTINUOUS ENTIRE LENGTH OF BUILDING. SEE GENERAL MECHANICAL SCHEDULE (SEE GENERAL MECHANICAL SCHEDULE (SEE GENERAL MECHANICAL SCHEDULE)).
1. PLYWOOD FACE GRAIN MUST BE PARALLEL TO THE RIDGE BEAM.
 2. ALL PLYWOOD BUTT JOINTS MUST BE STAGGERED 24" MINIMUM.
 3. ALL RIDGE BEAM PLYWOOD LAMINATIONS MUST BE THE SAME DEPTH, THICKNESS AND GRADE OF PLYWOOD. NO LAMINATE OR PLYWOOD PLAINES ARE PERMITTED.
 4. PLYWOOD MUST BE MANUFACTURED IN ACCORDANCE W/ PS 1-183.
 5. PLYWOOD LAMINATIONS IN EACH HALF OF THE UNITS MUST BE GLUE NAILED TO ADJACENT LAYERS IN ACCORDANCE W/ PS1 SUPPLEMENT (S. W/ AN ANCHORING COMPLYING W/ ASTM D3224, D3226, OR C423-4).
 6. PLYWOOD NAILED MUST BE TREATED BY A FAN RETARDANT PROCESS.
 7. MOISTURE CONTENT MUST BE LESS THAN 18%.
 8. BEAMS SUPPORTED BY ENDWALL COLLARS MUST EXTEND CONTINUOUS OVER COLLARS TO EXTERIOR FACE OF ENDWALL.
 9. INST. ALL (2x4) x 2" SPP#3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLLARS, WHICH SPECIFIED ON FLOOR PLAN, FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM W/ 100# GLUE OR ADHESIVE AND (8) 15 GA. 1 1/2" x 7/2" STAPLES.

INTERIOR FINISH MATERIAL

CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS (SEPARATE FINISH).

WALL - 5/8" MIN. MINIMUM GYPSUM BOARD (W/16' CONCRETE) THROUGHOUT WITH DRYVIE BRN VAPOR BARRIER.

FLOOR -

CARPET SHALL BE FULLY LINED ENDSIDE 2x2x4 OR EQUIVALENT.

EXTERIOR FINISH MATERIAL

ROOF - 30 GAUGE GALVANIZED STEEL ROOF COVERING INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

WALL - 018 INCH ALUMINUM SIDING (OVER ALL APPROVED MASTERS BRICKS).

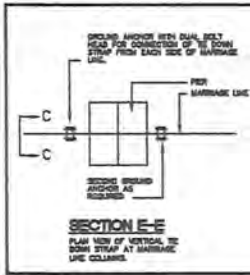
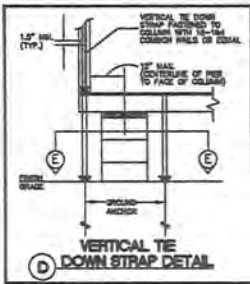
FIELD AREA SHALL BE CALUMINAL WHITE & BLUE TRIM AND TRIM TO EXTERIOR BRICK & GOOD

GENERAL CROSS-SECTION NOTES:

1. UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY W/ ASTM A36. YIELD STRENGTH = 36 KSI.
2. ALL LAG SCREWS MUST COMPLY W/ AWS/AISC A325.1. S_h = 80 KSI MINIMUM.
3. SEE FOUNDATION PLAN FOR PER AND TIE-DOWN STRAPPING LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.

DESIGN SPACE, INC.		SOUTHLAND MODULAR	
81 HARVEY MOORE RD. DUBLIN, GA 31021	1180 W. 90th RD. OKLAHOMA CITY, OK 73166	DATE: 5/5/98	THIRD PARTY: HWC & ASSOCIATES, INC.
CLAYTON COUNTY, GA PERMIT NO. 214	1627 SOUTH MYRTLE AVENUE CLEARWATER, FLORIDA 33756	SCALE: -NTS-	BY: RE-60
CODES: SDC, CA, IBC, IRC, IBC, IBC, IBC	REVISION: 0 & 1/1/98	LABELS: HWC, CA	SHEET
DSI Code - 16994 & 165-1681 2nd Ed. Engineering Planning & Development OF 4			

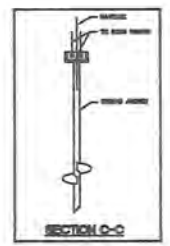
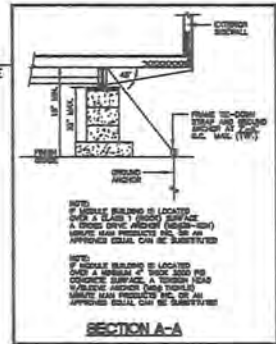
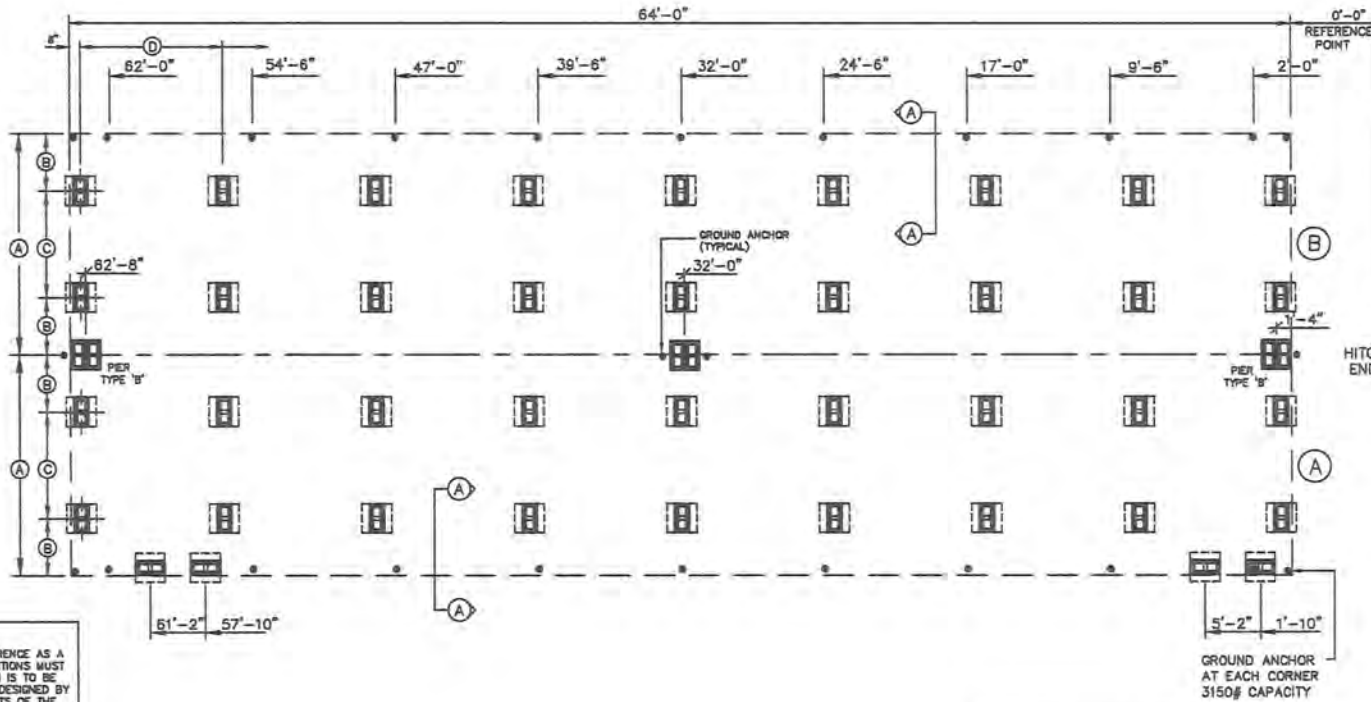
ROBERT E. GREEN
REG. ARCHITECT
CLEARWATER, FL.



NOTE:
THIS FOUNDATION PLAN IS PROVIDED FOR REFERENCE AS A TYPICAL STANDARD. ACTUAL FOUNDATION CONDITIONS MUST BE EVALUATED FOR APPLICABILITY IF THIS PLAN IS TO BE USED. ALTERNATE FOUNDATION PLANS MAY BE DESIGNED BY OTHERS IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY.

FOUNDATION NOTES:

- ALL FOUNDATION CONSTRUCTION MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
- TE-DOWN STRAPS TO BE 1/2" DIA. J55T TYPE-1, FURNISH & GRADE 1 ZINC COATED STEEL STRAPPING CONFORMING TO A RECOMMENDED STANDARD OR ARCHITECT AS CONFORMING WITH ASTM A630-02. TE-DOWN STRAPS AND CORROSION RESISTANT SHALL HAVE 2000 LB MINIMUM TENSILE CAPACITY.
- EACH GROUND ANCHOR SHALL HAVE A TENSILE CAPACITY NO LESS THAN THE SUM OF THE REQUIRED TENSILE CAPACITIES OF ALL TE-DOWN STRAPS CONNECTED TO THE GROUND ANCHOR, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DESIGN OF GROUND ANCHORS INCLUDING STRAP LENGTH, NUMBER AND DIAMETER OF BOLDS, ETC., TO BE AS SPECIFIED BY THE GROUND ANCHOR MANUFACTURER FOR THE ACTUAL SOIL TYPE DETERMINED. IF THE NUMBER OF PULLOUT CAPACITIES OF GROUND ANCHORS ARE BELOW THE ABOVE DESIGN VALUES, THE ARCHITECT/ENGINEER MUST BE CONSULTED FOR AN ALTERNATE ANCHORING DESIGN.
- THE FIRST TE-DOWN STRAP FROM EXTERIOR SHALL NOT EXCEED 1/2 THE MAXIMUM SPACING INDICATED.
- INSTALL BLOCK PIERS ON EACH SIDE OF ALL EXTERIOR DOOR OPENINGS. (MANUFACTURER'S RECOMMENDATION ONLY - OPTIONAL, WHICH NOT SHOWN) SUBMIT ADJUSTMENT MAY BE REQUIRED TO ENSURE SMOOTHLY AFTER INSTALLATION OF BUILDING COMPLETE.
- SOIL BEARING CAPACITY SHOWN ON THIS PLAN IS ASSUMED. IF THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN SHOWN, THE ARCHITECT/ENGINEER MUST BE CONSULTED FOR REQUIRED ALTERNATE FOUNDATION DESIGN. FOOTINGS SHALL BE PLACED ON NON-COHSIVE SOILS ONLY.
- THE OWNER AND CONTRACTOR SHALL HOLD HAZARDOUS THE ENGINEER/ARCHITECT FROM AND REMOVE ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM BREACH OF CONTRACT OR IN THE CONTRACTOR/ARCHITECT'S PERFORMANCE OF THE WORK BY THE CONTRACTOR. ALL WORK AND MATERIAL SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE BUILDING CODES SPECIFICATIONS.
- THE FOUNDATION PLAN IS DESIGNED AND APPROVED FOR ASIZE 7-10
- SEE SHEET 1 OF 2 FOR BUILDING DESIGN LOADS.



FOUNDATION DIMENSIONS		
A MODULE WIDTH 12'-0"	B PIER TO MODULE EDGE 24'-1/4"	C STEEL BEAM SPACING 12 1/2"
D MAXIMUM PIER SPACING 5'-0"	FLOOR LIVE LOAD 40 PSF	MINIMUM SOIL BEARING CAPACITY 2000 PSF

● CHECK OUTRIGGER AND I-BEAM SPACING PRIOR TO THE PLACING OF PIERS AND GROUND ANCHORS

NOTE:
THE NUMBER OF PIERS SHOWN ON THIS FOUNDATION PLAN IS NO INDICATION OF THE AMOUNT OF PIERS REQUIRED AND NEEDED FOR THIS BUILDING. SEE MAXIMUM PIER SPACING CHART TO THE LEFT FOR THE CORRECT NUMBER OF PIERS REQUIRED FOR EACH SOIL BEARING CAPACITY.

MAX PIER LOADS IN POUNDS BASED ON SOIL VALUES					
1,000 LB SOIL 1,000	1,500 LB SOIL 2,250	2,000 LB SOIL 3,000	2,500 LB SOIL 3,750	3,000 LB SOIL 4,500	REMARKS MAX 5,250

PIER TYPE 'A'

PIER TYPE 'B'

PERIMETER PIERS ALONG I-BEAMS

NOTE: PIER MAY BE EITHER (1) 12"x12"x12" (CONC) OR (2) 12"x12"x12" (CONC) PIER AS SHOWN HERE, OPTIONAL, SEE ALSO

12"x12"x12" AND PIER OPTION 12"x12"x12" (CONC) PIER AS SHOWN HERE, SEE 24"-1" OR 24"x12"-5 (OR AN APPROVED EQUAL)



JOHN A. BODZIAK
ARCHITECT, AIA, P.A.
ARCHITECTURE, DESIGN AND CONSTRUCTION MANAGEMENT
GEORGIA REGISTRATION No. RA010759
EMAIL: jbob@jbobod.com
2325 ULMERTON ROAD
SUITE 21, CLEARWATER, FLORIDA 33782
TEL: (727) 327-1888 FAX: (727) 885-5118

QAI
QUALITY APPROVALS AND INSPECTIONS
1233 KEENE ROAD
DUNEDIN, FLORIDA
TEL: (727) 733-3614
FAX: (727) 953-3110

MOD SPACE INC.
6870 NORTH PARKWAY LAKECITY, GA. 30286
(770) 961-2887

DATE: 7-3-14
SCALE: NO SCALE
CODER: SEE NOTES
REVISIONS:
STATES: GA.
K049723745 A/B 28 x 64 EDUCATION
FOUNDATION PLAN
ATLANTA
DESTINATION: QAI NO. MS200419
4 OF 5

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J.B.
SHEET

CIC '17015

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View 1 Photo of proposed site for modular classroom



CIC '17015

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View 2 Photo of proposed site for modular classroom



CIC 17015

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2/20/17

Development

CASE NUMBER SUP-99-075

BOARD OF COMMISSIONERS

GWINNETT COUNTY

LAWRENCEVILLE, GEORGIA

RESOLUTION

READING AND ADOPTION:

At the regular meeting of the Gwinnett County Board of Commissioners, held in the Justice and Administration Center Auditorium, 75 Langley Drive, Lawrenceville, Georgia.

<u>Present</u>	<u>VOTE</u>
Wayne Hill, Chairman	<u>AYE</u>
Tommy Hughes, District 1	<u>AYE</u>
Patti Muise, District 2	<u>AYE</u>
Judy Waters, District 3	<u>AYE</u>
Kevin Kenerly, District 4	<u>AYE</u>

On motion of COMM. HUGHES, which carried 5-0, the following resolution was adopted:

A RESOLUTION TO GRANT A SPECIAL USE PERMIT

WHEREAS, the Municipal-Gwinnett County Planning Commission has held a duly advertised public hearing and has filed a formal recommendation with the Gwinnett County Board of Commissioners upon an Application for a Special Use Permit by EDUCATIONAL ALTERNATIVES, INC. for the proposed use of PRIVATE SCHOOL on a tract of land described by the attached legal description, which is incorporated herein and made a part hereof by reference; and

WHEREAS, notice to the public regarding said Special Use Permit Application has been duly published in THE GWINNETT DAILY POST, the Official News Organ of Gwinnett County; and

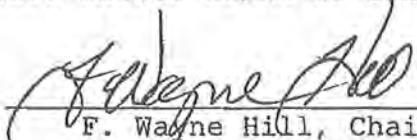
WHEREAS, a public hearing was held by the Gwinnett County Board of Commissioners on AUGUST 24, 1999, and objections were filed.

NOW, THEREFORE, BE IT RESOLVED by the Gwinnett County Board of Commissioners this the 24TH day of AUGUST, 1999 that the aforesaid application for a Special Use Permit is hereby APPROVED subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
 - A. Private school and accessory uses.
2. To satisfy the following site development considerations:
 - A. Provide a ten-foot wide landscaped strip outside the dedicated right-of-way of Collins Hill Road and along the northern and southern property line adjacent to residential zoning. Provide a solid, opaque fence, at least six-feet in height, adjacent to the northern and southern property lines in the vicinity of the parking area, building and play areas.
 - B. Buildings shall be residential in appearance, with a pitched roof (minimum 4/12 visible pitch) and finished with architectural treatments of brick and/or glass. Final building plans shall be submitted to the Director of Planning for review and approval.

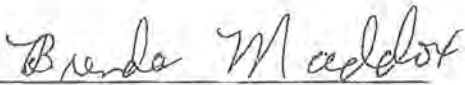
- C. Dumpsters shall be screened by a 100% opaque fence or wall at least six feet in height. Dumpster pickup shall be limited to between the hours of 7:00 a.m. and 7:00 p.m.
 - D. Outdoor lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to reflect into adjacent residential properties. Outdoor playgrounds may not be lit.
 - E. Provide sidewalks, a minimum of 5 feet in width, adjacent to Collins Hill Road.
 - F. Ground signs shall be limited to a single monument type sign with a masonry base matching the building. Signage shall not exceed the requirements of the 1985 Zoning Resolution.
3. To abide by the following requirements, dedications and improvements:
- A. Coordinate with the Department of Public Utilities regarding the NRCS Lake Dam. Placement of any structures within the dam breach zone is prohibited.
 - B. Prior to the issuance of a development permit, a sight distance certification shall be provided.

GWINNETT COUNTY BOARD OF COMMISSIONERS

By: 
F. Wayne Hill, Chairman

Date Signed: September 1, 1999

ATTEST:


County Clerk

AFTER RECORDING RETURN TO:
RANDOLPH H. SCHNEIDER
MORRIS & SCHNEIDER, P.C.
2781 WHITLEY ROAD
ATLANTA, GA 30339

BK 12584 PG0275

46L0607T

WARRANTY DEED

STATE OF GEORGIA
COUNTY OF GWINNETT

This Indenture made this 18th day of April, in the year One Thousand Nine Hundred Ninety-Six, between ROGER WAYCASTER, and JOAN TATE F/K/A JOAN M. WAYCASTER, of the County of GWINNETT, State of GEORGIA, as party or parties of the first part, hereinafter called Grantor, and MITCH ROYALTY, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 108 OF THE 7TH DISTRICT OF GWINNETT COUNTY, GEORGIA, BEING KNOWN AS TRACT 2 AND CONTAINING 5.72 ACRES ON A PLAT OF SURVEY FOR DEMPSEY AUCTION CO. BY W.T. DUNAHOO AND ASSOCIATES, INC., DATED AUGUST 13, 1984 AND FILED OF RECORD IN CLERK'S OFFICE OF GWINNETT COUNTY, GEORGIA ON OCTOBER 10, 1984 IN PLAT BOOK 27, PAGE 274.

Address: 2145 Collins Hill Rd.

SUP-99-075

SPECIAL USE PERMIT APPLICATION

AN APPLICATION TO AMEND THE OFFICIAL ZONING MAP OF GWINNETT COUNTY, GA.

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Lynn Nehez</u>	NAME: <u>Educational Alternatives, Inc.</u>
ADDRESS: <u>2145 Collins Hill Rd.</u>	ADDRESS: <u>dba Oak Meadow Montessori School</u> <u>2145 Collins Hill Rd.</u>
CITY: <u>Lawrenceville</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30043</u>	STATE: <u>GA</u> ZIP: <u>30043</u>
PHONE: <u>770-963-8303</u> <u>cell 404-697-2337</u>	PHONE: <u>770-963-8303</u>
CONTACT PERSON: <u>Lynn Nehez</u> PHONE: <u>404-697-2337</u>	
CONTACT'S E-MAIL: <u>lnehez@hotmail.com</u>	

*Include any person having a property interest and any person having a financial interest in any business entity having property interest (use additional sheets if necessary).

APPLICANT IS THE:	
<input type="checkbox"/> OWNER'S AGENT	<input checked="" type="checkbox"/> PROPERTY OWNER
<input type="checkbox"/> CONTRACT PURCHASER	
EXISTING/PROPOSED ZONING: <u>R-100</u>	BUILDING/LEASED SQUARE FEET: <u>9436</u>
PARCEL NUMBER(S): <u>R7 108 002</u>	ACREAGE: <u>5.31</u>
ADDRESS OF PROPERTY: <u>2145 Collins Hill Rd. Lawrenceville, GA 30043</u>	
SPECIAL USE REQUESTED: <u>use as a private Montessori school</u> <u>requesting addition of a modular classroom space</u>	

PLEASE ATTACH A LETTER OF INTENT EXPLAINING WHAT IS PROPOSED

SUP '17 029

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BK53399 PG0866

EXHIBIT "A"

LEGAL DESCRIPTION

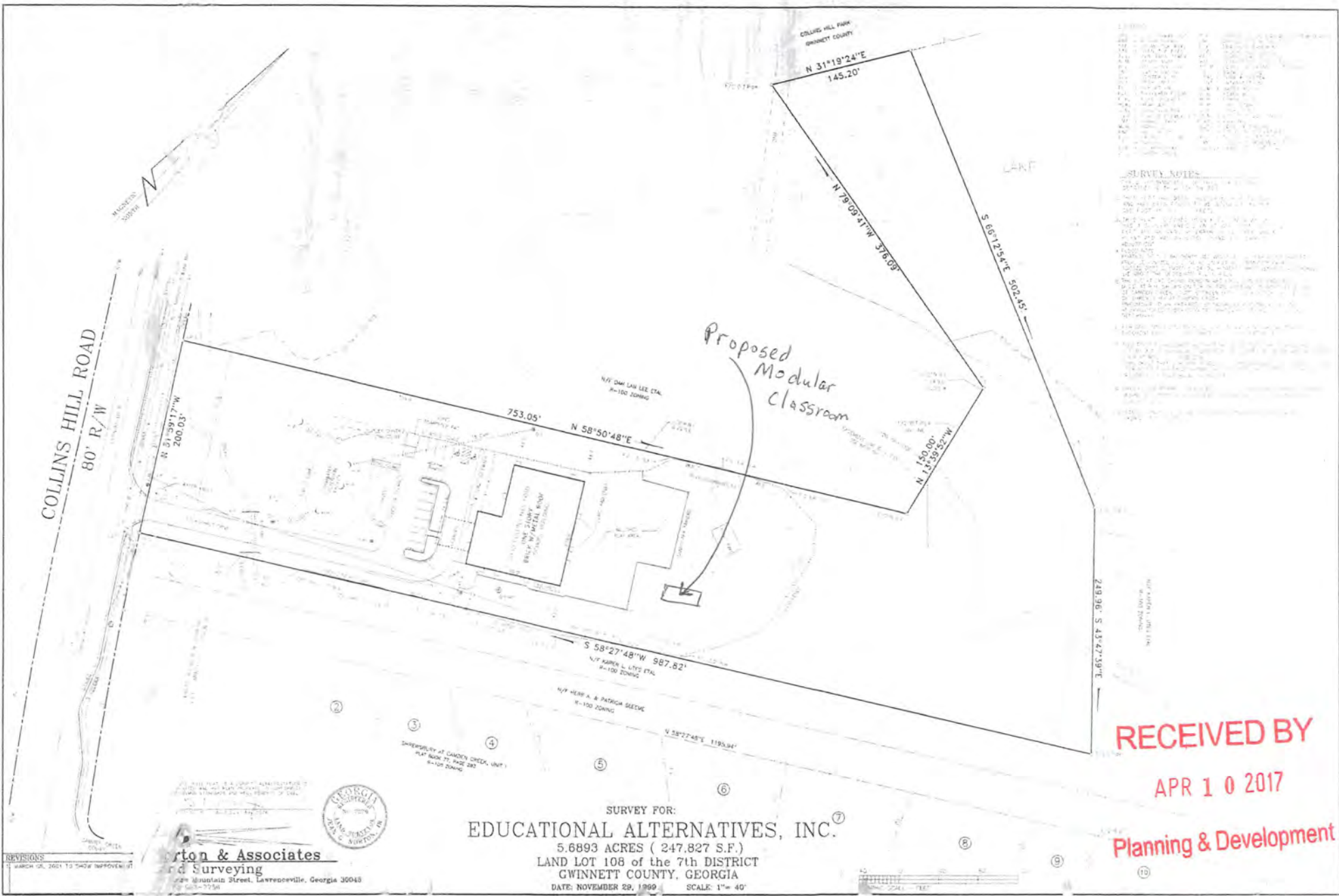
ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 108 of the 7th District, Gwinnett County, Georgia, being Tract I, containing 5.31 acres, as shown on that certain Survey for Dempsey Auction Co., as per plat recorded in Plat Book 27, Page 274, Gwinnett County, Georgia Records, which plat is hereby incorporated herein by reference.

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SURVEY NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH THE SURVEYING ACT OF 1909 AND THE SURVEYING ACT OF 1933.

2. THE BOUNDARIES SHOWN ON THIS SURVEY ARE BASED ON THE FOLLOWING DATA:

3. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

4. ALL BEARINGS ARE TRUE BEARINGS.

5. THE AREA OF THIS SURVEY IS 5.6893 ACRES (247,827 S.F.).

6. THE PROPOSED MODULAR CLASSROOM IS SHOWN ON THIS SURVEY.

7. THE SURVEY WAS MADE BY THE SURVEYOR ON THE DATE INDICATED ON THIS SURVEY.

8. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED TO HIM BY THE CLIENT.

9. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED TO HIM BY THE CLIENT.

10. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED TO HIM BY THE CLIENT.

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REVISIONS
 1 MARCH 08, 2017 TO SHOW IMPROVEMENTS

Stanton & Associates
 Surveying
 200 Mountain Street, Lawrenceville, Georgia 30048
 770-962-7738



SURVEY FOR:
EDUCATIONAL ALTERNATIVES, INC.
 5.6893 ACRES (247,827 S.F.)
 LAND LOT 106 of the 7th DISTRICT
 GWINNETT COUNTY, GEORGIA
 DATE: NOVEMBER 29, 1999 SCALE: 1" = 40'



SUP '17029

SPECIAL USE PERMIT APPLICANT'S RESPONSE
STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWER

PURSUANT TO REQUIREMENT OF THE UNIFIED DEVELOPMENT ORDINANCE, THE BOARD OF COMMISSIONERS FINDS THAT THE FOLLOWING STANDARDS ARE RELEVANT IN BALANCING THE INTEREST IN PROMOTING THE PUBLIC HEALTH, SAFETY, MORALITY OR GENERAL WELFARE AGAINST THE RIGHT TO THE UNRESTRICTED USE OF PROPERTY AND SHALL GOVERN THE EXERCISE OF THE ZONING POWER.

PLEASE RESPOND TO THE FOLLOWING STANDARDS IN THE SPACE PROVIDED OR USE AN ATTACHMENT AS NECESSARY:

- (A) WHETHER A PROPOSED SPECIAL USE PERMIT WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTY:

This addition would be in keeping with the existing use of the property. The addition would not be in view of nearby homes.

- (B) WHETHER A PROPOSED SPECIAL USE PERMIT WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY:

It will not adversely affect the existing use.

- (C) WHETHER THE PROPERTY TO BE AFFECTED BY A PROPOSED SPECIAL USE PERMIT HAS REASONABLE ECONOMIC USE AS CURRENTLY ZONED:

Yes.

- (D) WHETHER THE PROPOSED SPECIAL USE PERMIT WILL RESULT IN A USE WHICH WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS:

No, the classroom will be used to ease the use of space in existing building, maybe 8-10 additional students will be added.

- (E) WHETHER THE PROPOSED SPECIAL USE PERMIT IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE LAND USE PLAN:

Yes.

- (F) WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY WHICH GIVE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE PROPOSED SPECIAL USE PERMIT:

We are asking for permission to add a modular classroom to our existing campus. We would like to propose a change to residential appearance to include hardi type siding or Stucco look siding.

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April 7, 2017

Letter of Intent

on behalf of
Educational Alternatives, Inc.
Dbas Oak Meadow Montessori School
2145 Collins Hill Rd.
Lawrenceville, GA 30043
(770) 963-8303

To Whom It May Concern:

Oak Meadow Montessori School is a private Montessori school operating in Lawrenceville, Ga. The school is 24 years old and has been in operation at its current location for 16 years. The school operates under a Special Use Permit (No. SUP-99-075) and is zoned R-100. The school has operated successfully while adhering to the SUP and has been a good neighbor to those living nearby.

The school has decided it would like to have more room to accommodate its growing elementary classroom. It would like to add a modular classroom space to the property, to be located on an existing playground that is very near the main building. While it would allow for more children, the main purpose is to allow more space per child, as Oak Meadow Montessori is now Quality Rated under DECAL and would like to add materials to the classroom without taking away space from children's work places. We anticipate we will add 8 – 10 children net to our current 125 children enrolled. We do not anticipate needing additional parking or more teachers. We are simply spreading out a bit to allow our elementary students more space.

Our current acreage is 5.72 acres. We believe our current sewer, electrical, and water utilities, along with our stormwater detention pond, would not be adversely affected. We will position the building to allow underground pipes to be laid. We will add access ramps as directed and those plans will be supplied if the SUP change is approved. Also, note that the school bought the property at 2165 Collins Hill Rd. adjacent to its site as a buffer between the school and the park, therefore reducing the impact on the neighborhood even further.

We are requesting that our Special Use Permit be amended to allow for Hardi-siding or other residential siding that would be compatible with our attached proposed modular classroom. We will paint the siding in the same colors as the existing building. We request that we be allowed to add this modular space to our site. The zoning would remain the same.

Sincerely,

A handwritten signature in blue ink that reads "Lynn Nehez".

Lynn Nehez
Executive Director

SUP '17029

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SPECIAL USE PERMIT APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Lynn Nehez 4/7/17
Signature of Applicant Date

Lynn Nehez Executive Director
Type or Print Name and Title

Louanne H Huffman 4/7/17
Signature of Notary Public Date Notary



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SPECIAL USE PERMIT PROPERTY OWNER'S CERTIFICATION

THE UNDERSIGNED BELOW, OR AS ATTACHED, IS THE OWNER OF THE PROPERTY CONSIDERED IN THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 12 MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS UNLESS WAIVED BY THE BOARD OF COMMISSIONERS. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION BE ACTED UPON IN LESS THAN SIX (6) MONTHS FROM THE DATE OF LAST ACTION BY THE BOARD OF COMMISSIONERS.

Lynn Nehez 4/7/17
Signature of Property Owner Date

Lynn Nehez Executive Director
Type or Print Name and Title

Louanne H Huffman 4/7/17
Signature of Notary Public Date



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**SPECIAL USE PERMIT IN A
RESIDENTIAL DISTRICT**

(Only submit with Special Use Permit Application for a use within a residence)

I, the undersigned applicant, understand and agree that the Special Use Permit, if approved, shall automatically terminate in the event that this property is sold, transferred or otherwise conveyed to any other party, or the business which operates the special use is sold, transferred, otherwise conveyed or discontinued.

Lynn Nehez
Signature of Applicant

Lynn Nehez
Type or Print Name

4/7/17
Date

Louanne H Huffman 4/7/17
Signature of Notary Public Date



CONFLICT OF INTEREST CERTIFICATION FOR SPECIAL USE PERMIT

The undersigned below, making application for a Special Use Permit, has complied with the Official Code of Georgia Section 36-67A-1, et. seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on the forms provided.

Lynn Nehez 4/7/17 Lynn Nehez Executive Director
 SIGNATURE OF APPLICANT DATE TYPE OR PRINT NAME AND TITLE

 SIGNATURE OF APPLICANT'S DATE TYPE OR PRINT NAME AND TITLE
 ATTORNEY OR REPRESENTATIVE

Louanne H Huffman 4/7/17
 SIGNATURE OF NOTARY PUBLIC DATE



DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Board of Commissioners or a member of the Gwinnett County Planning Commission?

YES NO Lynn Nehez
 YOUR NAME

If the answer is yes, please complete the following section:

NAME AND OFFICAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions.

VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL GWINNETT COUNTY PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION OR REAPPLICATION FOR REZONING BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

***Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.**

PARCEL I.D. NUMBER: R7 - 108 - 002
(Map Reference Number) District Land Lot Parcel

 Lynn Neher 4/7/17
Signature of Applicant Date

 Lynn Neher
Type or Print Name and Title

*****PLEASE TAKE THIS FORM TO THE TAX COMMISSIONERS OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.*****

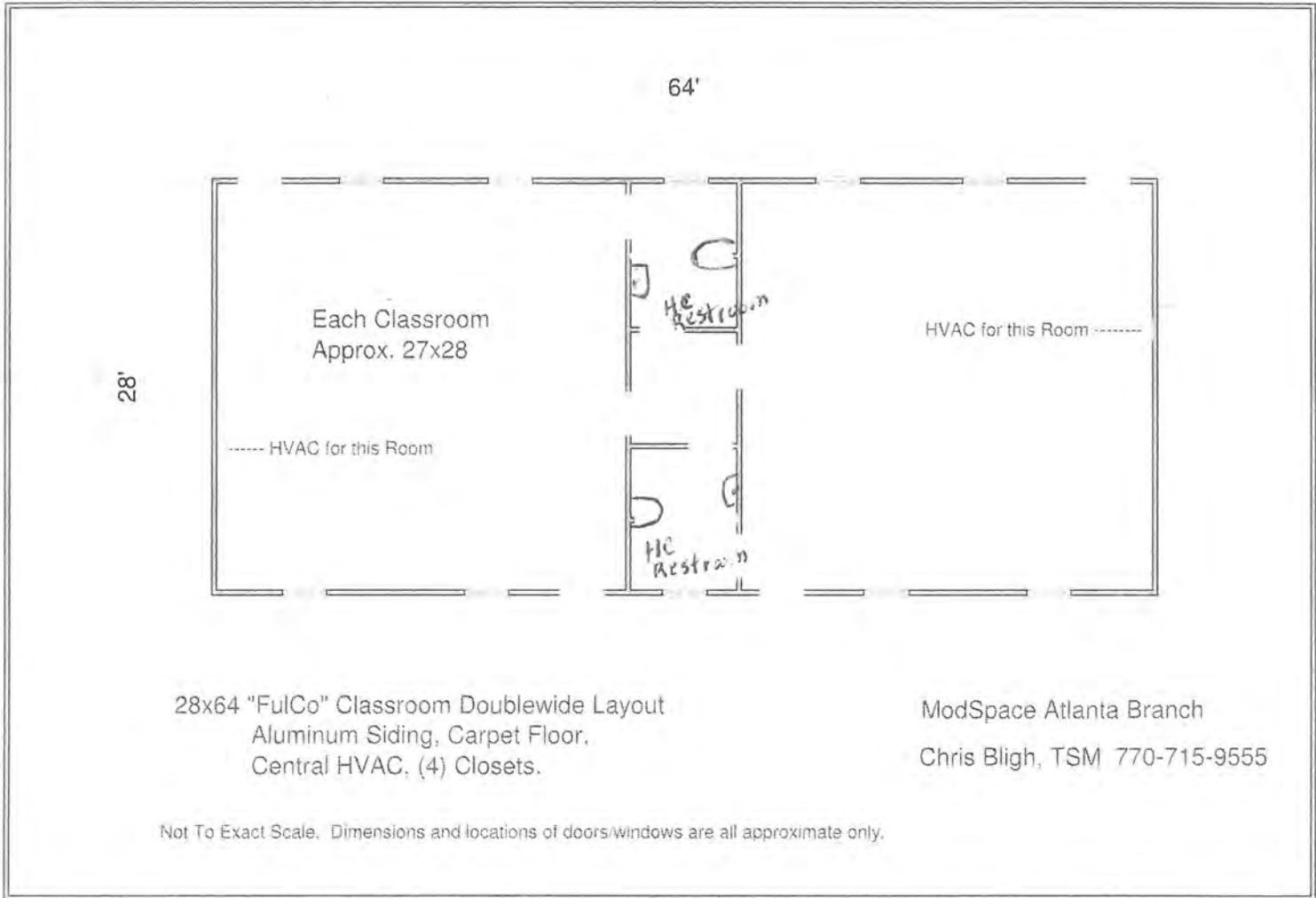
TAX COMMISSIONERS USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

 J. Hayes TSA II
NAME TITLE

 4-10-17
DATE

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GENERAL NOTES: 1994 SBC
1991 NFPA 101

- ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESIGNED BY AND FIELD BUILT BY OWNER AND SUBJECT TO LOCAL JURISDICTION. THE PRIMARY ENTRANCE MUST BE ACCESSIBLE.
- ALL DOORS SHALL BE OBTAINABLE FROM THE EXTERIOR SIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. HANDMAUL OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED.
- ALL GLAZING WITHIN A 24 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 36 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY GLAZING OR ACROLYLIC PLASTIC SHEET.
- FLOOR DESIGN LIVE LOAD = 40 PSF (MAXIMUM FLOOR LIVE LOAD OF 50 PSF).
- MAXIMUM WIND SPEED = 100 MPH.
- SEISMIC PERFORMANCE CATEGORY C.
- OCUPANT LOAD IS EDUCATIONAL (4 PER 100 SQ FT).
- OCUPANT LOAD IS BASED ON 1 PERSON PER 20 SQUARE FEET OF FLOOR AREA FOR AREAS OF LIMITED PURPOSES.
- ALL STEEL STRIPS REFERENCED ON FLOOR PLAN SHALL BE 1/2 INCH X 3/8 INCH GALV. CO. WITH 1/8 INCH CORNER X 1/8 INCH STAPLES EACH END OF STRIP OR EQUIVALENT FROM RIDGE BEAM TO COLUMN AND COLUMN TO COLUMN.
- PORTABLE FIRE EXTINGUISHER PER NFPA - 10 INSTALLED BY OTHERS ON SITE AND SUBJECT TO LOCAL JURISDICTION.
- THE USE OF THIS BUILDING WITHOUT ADEQUATE PLUMBING FACILITIES (ALL OR PARTIAL) IS SUBJECT TO LOCAL JURISDICTION APPROVAL.
- DELIVERED.
- PROVISION FOR EXIT DISCHARGE LIGHTING ARE THE RESPONSIBILITY OF THE BUILDING OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL, WHEN NOT SHOWN ON THE FLOOR PLAN.
- IF FIRE DETECTION SYSTEMS PER NFPA-72, AND FIRE DETECTION SYSTEMS SHALL BE DESIGNED AND SITE INSTALLED BY OTHERS SUBJECT TO LOCAL JURISDICTION APPROVAL.

11. A OWNER ON SITE INSPECTION AND MAINTENANCE SHOULD BE PERFORMED BY QUALIFIED PERSONNEL ON A 90-DAY - ANNUAL BASIS. GENERAL MAINTENANCE INSPECTIONS MUST BE OBTAINED FROM THE FACTORY, OR COMPONENT MANUFACTURERS.

ELECTRICAL NOTES: 1996 NEC

- ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
- WHEN LIGHT FIXTURES ARE INSTALLED IN CEILING THEY SHALL BE SURFACE MOUNTED OR RECESSED. RECESSED FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 8 INCHES FROM STORAGE AREA AS DEFINED BY NEC 410-6(B).
- WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
- HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNGROUNDED CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
- PROVIDE TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DETERMINED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
- THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
- ALL CIRCUITS CROSSING OVER WALKWAY LIMITED SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONDUITORS.
- FIRE ALARM PULL STATION OPERABLE DEVICE SHALL BE LOCATED 12 TO 45 INCHES ABOVE THE FLOOR. FIRE ALARM HOOD/STROBE DEVICE SHALL BE WALL MOUNTED WITH THE BOTTOM EDGE 20 INCHES ABOVE THE FLOOR.

MECHANICAL NOTES: 1994 SMC

- ALL SUPPLY AIR RECEPTORS SHALL BE 18 INCHES X 18 INCHES ADJUSTABLE WITH 4 INCHES X 18 INCHES (ADJUSTABLE) FIBERGLASS DUCT, UNLESS OTHERWISE SPECIFIED. DUCTS SHALL HAVE R-5 MINIMUM INSULATION.
- INTERIOR DOORS SHALL BE UNDERCUT 1.5 INCHES ABOVE FINISHED FLOOR FOR AIR RETURN AS/OR AS NOTED ON FLOOR PLAN.
- HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 7.5 CFM FOR EACH OCCUPANT.
- MECHANICAL SYSTEM DESIGNED FOR:
 - A. A FRESH OCCUPANT LOAD OF FIVE OCCUPANTS.
- EACH TYPE UNIT SHALL APPLY THE CLEAN ROOM AIR FLOW RATE FLOOR AREA:
 - 1. THROUGHOUT SHALL BE MINIMUM 100 CFM/1000 SQ. FT. FLOOR AREA.
 - 2. HEAVY LABOR LABORATORY SHALL BE 150 CFM/1000 SQ. FT. FLOOR AREA.
- SEE THE UNLIT UNLIT AND WALL.

ACCESSIBILITY NOTES: ADA / ANSI A117.1

- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. ACCESSIBLE ENTRANCES SHALL HAVE DIRECTIONAL SIGNS INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.
- ACCESSIBLE DRINKING FOUNTAINS SHALL HAVE A SPOUT HEIGHT NO HIGHER THAN 36 INCHES ABOVE THE FLOOR AND EDGE OF BASIN NO HIGHER THAN 34 INCHES ABOVE THE FLOOR FOR INDIVIDUALS IN WHEELCHAIRS. ADDITIONALLY, DRINKING WATER PROVISIONS SHALL BE MADE FOR INDIVIDUALS WHO HAVE DIFFICULTY IN BENDING.
- WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS, AND DRAWERS ARE PROVIDED AT LEAST ONE OF EACH TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH THE FOLLOWING: DOORS, ETC. TO SUCH SPACES SHALL BE ACCESSIBLE. IN TOUCH LATCHES, U-SHAPED PULLS, SPACES SHALL BE WITHIN 15 INCHES MINIMUM AND 48 INCHES MAXIMUM OF THE FLOOR FOR SOME REACH. CLEARANCE ROAD SHALL BE A MAXIMUM OF 34 INCHES ABOVE THE FLOOR. 148 INCHES MAXIMUM WHEN DISTANCE FROM WHEELCHAIR TO REACH EXCEEDS 10 INCHES.
- CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48 INCHES ABOVE THE FLOOR FOR FRONT APPROACH OR 54 INCHES ABOVE THE FLOOR FOR SIDE APPROACH. RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR. EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTACLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.
- WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT INCLUDING RESTROOMS AND PLACED 80 INCHES ABOVE THE FLOOR OR 4 INCHES BELOW CEILING, WHICHEVER IS LOWER.
- DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HANDLES (4 INCH LEVEL-OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.
- FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE BEVELLED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE TRAMPERS. CURB PILE THICKNESS SHALL BE 0.5 INCH MAX. GRATING IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.8 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT.

SYMBOLS

- SMOKE DETECTOR
- DUPLICATED RECEPTACLE 180 V
- SMOKE RECEPTACLE 240 V
- INCANDESCENT LIGHT WITH 1-00 W. BULB
- FLUORESCENT LIGHT
- CONVEYOR FAN & LIGHT
- SUPPLY AIR REGISTER
- RETURN AIR REGISTER
- FIRE ALARM PULL STATION
- FIRE ALARM HOORN/STROBE
- FIRE ALARM STROBE LIGHT
- THERMOSTAT
- FLUORESCENT FIXTURE WITH 2-40W TUBES
- JUNCTION BOX (NON-POWERED UNLESS INDICATED)
- TELEPHONE JACK
- SWITCH 2-3 WAY SWITCH
- FLUORESCENT FIXTURE WITH 4-30 W. BULBS

ELECTRICAL SCHEDULE 'A'

CIRCUIT	DESCRIPTION	BREAKER (AMPS)	WIRE (CU)	SIZE PER MFG. SPECS.
1, 5A	HVAC			
2A	RECEPTACLES	20 A (1P)	12-2 AWG	
4, 5A	LIGHTING	20 A	12-2 AWG	
6A	DISCONNECT CASE (180V/120V, 1P)	20 A (1P)	12-2 AWG	

ELECTRICAL PANEL SIZING:

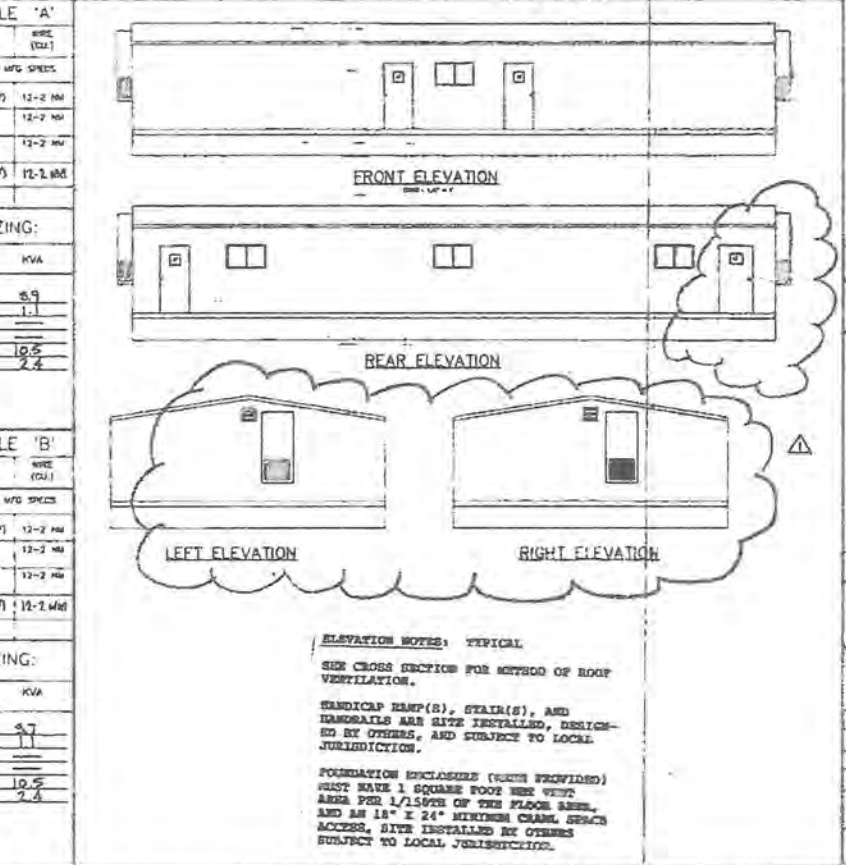
DESCRIPTION	PANEL 'A'	KVA
GENERAL LIGHTING	00.35 KW/SF X 960 SF X 1.25 =	39
RECEPTS AT 180VA/1000 =		1.1
WATER HEATER 1.8 KW X 1.25 =		
FANS AT 3 KW X 1.25 =		10.5
HVAC	DEVELOPED CAP. 19 KW X 1.25 =	24
TOTAL	75 AMP	
TOTAL/240 X 1000 =		
INSTALL 100 AMP PANEL		
120/240 V 1P		

ELECTRICAL SCHEDULE 'B'

CIRCUIT	DESCRIPTION	BREAKER (AMPS)	WIRE (CU)	SIZE PER MFG. SPECS.
1, 5B	HVAC			
2B	RECEPTACLES	20 A (1P)	12-2 AWG	
4, 5B	LIGHTING	20 A	12-2 AWG	
6B	DISCONNECT CASE (180V/120V, 1P)	20 A (1P)	12-2 AWG	

ELECTRICAL PANEL SIZING:

DESCRIPTION	PANEL 'B'	KVA
GENERAL LIGHTING	00.35 KW/SF X 849 SF X 1.25 =	37
RECEPTS AT 180VA/1000 =		1.1
WATER HEATER 1.8 KW X 1.25 =		
FANS AT 3 KW X 1.25 =		10.5
HVAC	DEVELOPED CAP. 19 KW X 1.25 =	24
TOTAL	74 AMP	
TOTAL/240 X 1000 =		
INSTALL 100 AMP PANEL		
120/240 V 1P		



PLUMBING NOTES: 1994 SPC

- CUSTOMER ASSUMES ALL RESPONSIBILITY FOR PROVIDING WATER FACILITIES WHICH NOT SHOWN ON FLOOR PLAN.

GEORGIA THIRD PARTY AGENCY APPROVAL:

DATE: 05/05/08
 DRAWN BY: J
 CHECKED BY: J
 APPROVED BY: J
 PROJECT NO: 08121515
 SCALE: 1/8\"/>

HWG

ROBERT C. GREGG
REG. ARCHITECT
CLEARWATER, FL

DESIGN SPACE, INC.
15 HAWKEYE WOODS RD., DUBLAKE, GA. 31133
ELMCH COUNTY REG. BUREAU, ROSELVILLE, GA. 31343

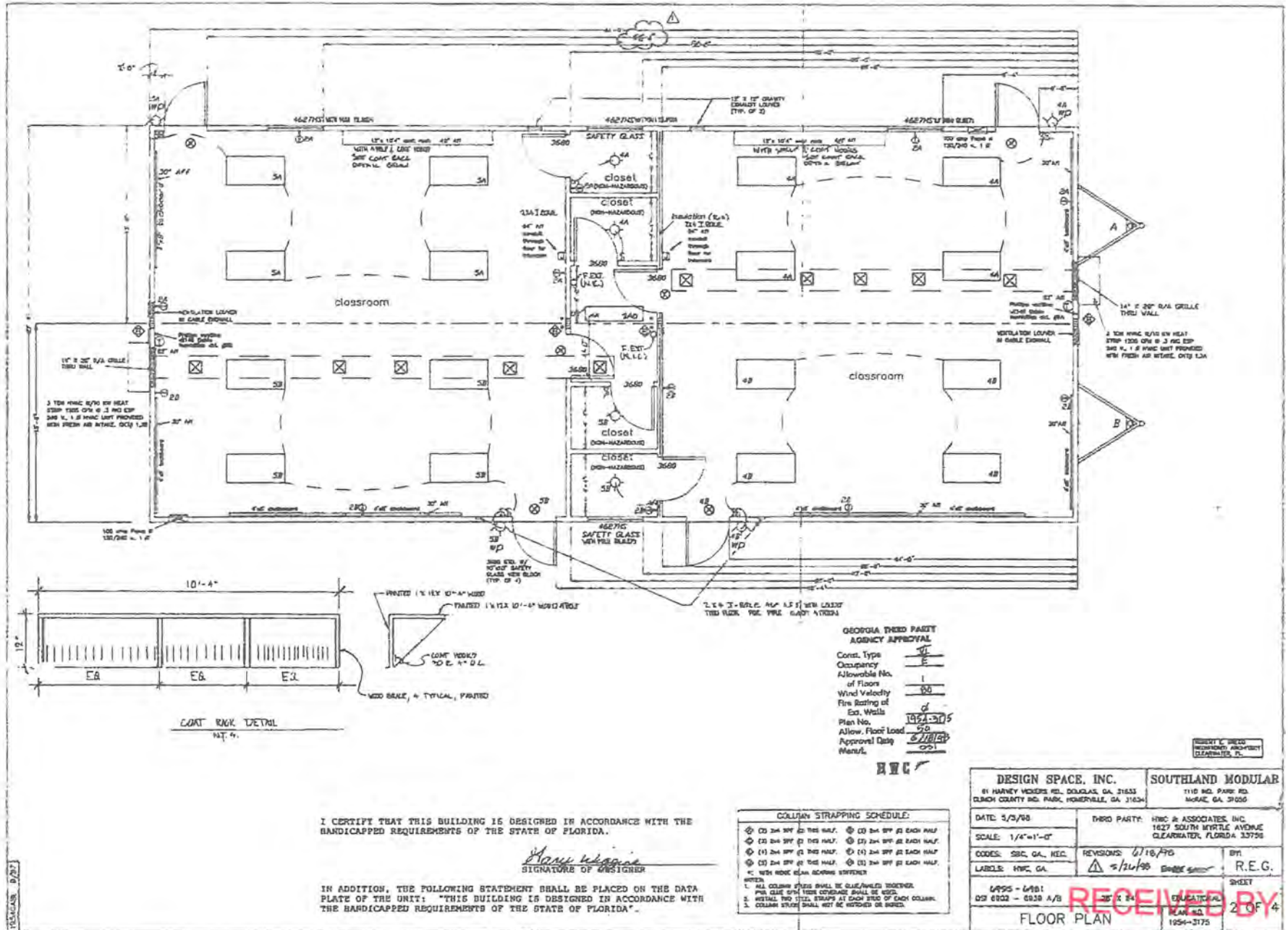
SOUTHLAND MODULAR
1110 W. PARK RD.
MARIETTA, GA. 30067

DATE: 05/05/08
 CODES: SEE NOTES
 STATE LABEL(S): GA. H.W.C.
 SCALE: -NYS-
 DSI 1602-16911995-001 28'x40'

THIRD PARTY: HWG & ASSOCIATES, INC.
1037 SOUTH WYTHE AVE.
CLEARWATER, FLORIDA 34616

RECEIVED BY: R.E.G.
5/12/08

SHEET 01 OF 047
 COVER SHEET
 1954-SYMS



I CERTIFY THAT THIS BUILDING IS DESIGNED IN ACCORDANCE WITH THE HANDICAPPED REQUIREMENTS OF THE STATE OF FLORIDA.

Steve Wilson
SIGNATURE OF DESIGNER

IN ADDITION, THE FOLLOWING STATEMENT SHALL BE PLACED ON THE DATA PLATE OF THE UNIT: "THIS BUILDING IS DESIGNED IN ACCORDANCE WITH THE HANDICAPPED REQUIREMENTS OF THE STATE OF FLORIDA."

GEORGIA THIRD PARTY AGENCY APPROVAL

Const. Type II

Occupancy E

Allowable No. of Floors 1

Wind Velocity 50

Fire Rating of Ext. Walls 0

Plan No. 1951-375

Allow. Floor Load 50

Approved Date 5/11/90

Manual 001

HWC

COLLUM STRAPPING SCHEDULE:

⊗ 2x4 STR @ THIS HALF.	⊗ 2x4 STR @ EACH HALF.
⊗ 2x4 STR @ THIS HALF.	⊗ 2x4 STR @ EACH HALF.
⊗ 1x4 STR @ THIS HALF.	⊗ 1x4 STR @ EACH HALF.
⊗ 2x4 STR @ THIS HALF.	⊗ 2x4 STR @ EACH HALF.
⊗ 2x4 STR @ THIS HALF.	⊗ 2x4 STR @ EACH HALF.

NOTES:

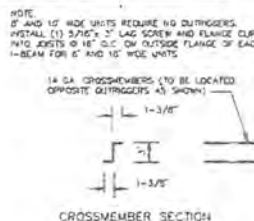
- ALL COLLUM STUDS SHALL BE CLAMPED TOGETHER PER CODE WITH THESE STRAPS SHALL BE USED.
- METAL TIE STR. STRAPS AT EACH END OF EACH COLLUM.
- COLLUM STUDS SHALL NOT BE NOTCHED OR SIZED.

DESIGN SPACE, INC. 61 HARVEY VICKERS RD. DOUGLAS, GA. 31633 CLUMCH COUNTY REG. PARK, HOMERVILLE, GA. 31634		SOUTHLAND MODULAR 1110 SO. PARK RD. MORALE, GA. 31056	
DATE: 5/3/90	THIRD PARTY: HWC & ASSOCIATES, INC. 1627 SOUTH MYRTLE AVENUE CLEARWATER, FLORIDA 33706	REVISIONS: 0/10, PFD 2/24/90	BY: R.E.G.
SCALE: 1/4"=1'-0"	CODES: SEC. GA., REC.	LABEL: HWC, GA.	SHEET 2 OF 4
L955-6781 007 6802 - 6828 A/B		FLOOR PLAN	

APR 10 2017

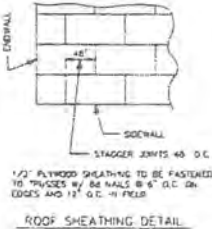
Planning & Development

SUP '17029



***: OPTIONAL**
RIDGE BEAM CONSTRUCTION
 1. LAGS 1 1/2\"/>

GEORGIA THIRD PARTY AGENCY APPROVAL
 Const. Type:
 Occupancy:
 Allowable No. of Floors:
 Wind Velocity:
 Fire Rating of Ext. Walls:
 Plan No.:
 Allow. Floor Load:
 Approval Date:
 Mem'l:



SEA APPROVED TRUSS DESIGN
 TRUSS # 960492
 PAGE # E-17

HWC

3.4 SQUARE FEET NET FREE AREA OF ATIC VENTILATION TO BE PROVIDED BY GABLE AND OR ROOF VENTS EACH MODULE

SEE MECHANICAL NOTES FOR CEILING DUCT SPECIFICATIONS

R/W MEMBER 2x4 SPS#2 MINIMUM

SEE APPROVED PACKAGE FOR CEILING TO WALL FASTENING REQUIREMENTS

30 GA. 1-1/2\"/>

2-HEADER PER APPROVED STRUCTURAL PACKAGE

SILL PLATE 2x4 SPS#2

CRANKLE STUDS 2x4 SPS#2 @ 16\"/>

3/4\"/>

30 GA. 1-1/2\"/>

2-1\"/>

1\"/>

OUTRIGGER AND CROSSMEMBER SPACING 30\"/>

2x4 KTYMAZ BOTTOM JOISTS

NOTE: ALTERNATE TRUSS AND WALL TE-DOWN METHODS MAY BE USED IN ACCORDANCE WITH THE APPROVED STATE PACKAGE.

FASTEN ROOF BEAM TO EACH TRUSS W/ NO LESS THAN (8) 10 GA STAPLES W/ 1\"/>

LISTED TRUSSES @ 16\"/>

LISTED ROOF TRUSS DESIGN LOADS: LIVE LOAD 20 PSF TOP CHORD, DEAD LOAD 4 PSF TOP CHORD, DEAD LOAD 4 PSF BOTTOM CHORD

2\"/>

OPTION 3/8\"/>

ROOF COVERING OVER 1/2\"/>

BRACING INSTALLATION: STRUCTURAL SHEATHING SHALL CONSIST OF 4\"/>

BRACING MATERIAL: 1/2\"/>

BRACING MATERIAL: 3/8\"/>

BRACING INSTALLATION: STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUSLY FROM TOP OF TRUSS TOP CHORD TO 2\"/>

BRACING MATERIAL: 3/8\"/>

BRACING MATERIAL: 1/2\"/>

BRACING MATERIAL: 3/8\"/>

BRACING MATERIAL: 1/2\"/>

BRACING MATERIAL: 3/8\"/>

BRACING MATERIAL: 1/2\"/>

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BRACING MATERIAL: 1/2\"/>

BRACING MATERIAL: 3/8\"/>

BRACING MATERIAL: 1/2\"/>

BRACING MATERIAL: 3/8\"/>

RIDGE BEAM CONSTRUCTION:
 3 LAYERS 3/4\"/>

INTERIOR FINISH MATERIAL
 CEILING: 1/2\"/>

EXTERIOR FINISH MATERIAL
 ROOF: 30 GAUGE GALVANIZED STEEL ROOF COVERING INSTALLED PER MANUFACTURER'S SPECIFICATIONS

GENERAL CROSS-SECTION NOTES:

- UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY W/ ASTM A36, FIELD STRENGTH = 36 KSI.
- ALL LAG SCREWS MUST COMPLY W/ AWS/ A516 2.1 S₆₀ = 60 KSI MINIMUM ORIENTATIONS AND SPECIFICATIONS.
- SEE FOUNDATION PLAN FOR PER AND TE-DOWN STRAPPING LOCATIONS, ORIENTATIONS AND SPECIFICATIONS.

DESIGN SPACE, INC. 81 HARVEY VICKERS RD. DOUGLAS, GA 31533 CLAYTON COUNTY PARK, HUNTERVILLE, GA 28834		SOUTHLAND MODULAR 1110 AND PARK RD WYKE, GA 30090	
DATE: <u>5/5/98</u>	REVISIONS: <u> </u>	BY: <u> </u>	DATE: <u> </u>
SCALE: <u>-N/T-</u>	REVISIONS: <u> </u>	BY: <u> </u>	DATE: <u> </u>
CODES: <u>SBC, GA, MECL</u>	REVISIONS: <u> </u>	BY: <u> </u>	DATE: <u> </u>
LABELS: <u>HWC, CA</u>	REVISIONS: <u> </u>	BY: <u> </u>	DATE: <u> </u>
D51 6022-6024 6955-6961 28'x40'		ECCO/COMMERCIAL	
TYPICAL CROSS-SECTION		4 OF 4	

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View 1 - Photo of site for proposed modular classroom



SUP '17 029

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View 2 - Photo of site for proposed modular classroom



SUP 17029

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