

Re-submittal Form

Case Name/ Number: PRC2020-00010 & PLT2020-00015

Case Manager: Alan Sielaff

Re-submitted Items:

- Development Plan/ Site Plan
- Plat
- Parking/ Landscape Plan
- Engineering Documents
- Subdivision Improvements Agreement
- Other: Plat Correction (PLT2020-00015)

*** All re-submittals must have this cover sheet and a cover letter addressing review comments.**

Please note the re-submittal review period is 21 days.

The cover letter must include the following information:

- Restate each comment that requires a response
- Provide a response below the comment with a description of the revisions
- Identify any additional changes made to the original document

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active: ~~Addressing, Building Safety, Neighborhood Services,~~

Engineering, ~~Environmental, Parks, Planner, ROW, STA~~ Finance, ~~STA~~ Attorney



Development Review Team Comments

Date: November 12, 2020

Project Number: PRC2020-00010

Project Name: Sherrelwood Village Filing No. 2

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to epermitcenter@adcogov.org. For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where "Section" or "DSR" is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>

Commenting Division: Planning Review **Name of Reviewer:** Alan Sielaff, Planner II **Email:** ASielaff@adcogov.org / 720-523-6817 **Review Status: Resubmittal Required**

Only remaining or new comments will be noted below. References to applicant response will be included as necessary.

PLN01: Application Formatting and General Comments

1. (New) With resubmittal for the plat now constituting only 2 lots for a common lot attached single family concept, the proposal qualifies as a Minor Subdivision as 4 or less lots are now proposed and the development overall comprises less than 20 acres. Any outstanding comments on the Plat Correction to the existing Sherrelwood Village Subdivision, and the current Sherrelwood Village Filing No. 2 proposal, can be addressed at time of final review as a Minor Subdivision (processed as a combined preliminary and final plat) in conjunction with the Final Development Plan (FDP) of the Major PUD Amendment. The preliminary plat will be provided for context with the Rezone and Preliminary Development Plan (PDP) of the PUD, so it is encouraged to address any major outstanding issues, but no preliminary approval is granted unless the applicant chooses to continue with the separate Preliminary and Final Plat review process. **RESPONSE: We understand the minor subdivision will not be approved until the FDP process, but will be submitting the document as part of this PDP process to address any correction the County has at this time.**
2. (New) With the proposal now consisting of only two lots, please provide information on the envisioned management of the new development. Will it be maintained under common ownership and rented? Will the site be condominiumized? This information will be helpful to understand at time of FDP, the Final Plat, and for consideration with review of a Subdivision Improvement Agreement (SIA) at time of final platting to ensure the site has clear delineation of maintenance and improvement responsibilities. **RESPONSE: The Townhome landscape area will be maintained by the HOA/Metro district. It is yet to be determined if**

these will be for sale products or rentals.

3. (New) Please provide the existing legal description of the two parcels to be rezoned to PUD (7996 and 8000 Pecos St.). These separate legal descriptions are required at time of noticing for the rezoning as only these two properties are specifically being rezoned, while the rest of the existing PUD is only being amended. **RESPONSE: Legal descriptions provided for 2 parcels being rezoned**

PLN02: Plat Correction – Specific Comments

1. (Repeat with revision) Staff will recommend a condition of approval that this Plat Correction is not recorded until the Final Plat of filing 2 is approved, as this Plat Correction removes required emergency access and drainage Tract B into a Lot. This Tract is only rededicated as part of the proposed filing 2. **RESPONSE: Noted that Plat Correction will not be recorded until Final Plat approval.**
 - a. Please confirm allowance for continuation of emergency access and drainage. Will it be in a separate Tract or easement on Filing 2? It appears to only be easements in filing 2. **RESPONSE: Emergency access and drainage provided via separate easement.**
2. (Repeat) See any specific comments to the plat document in redlined .pdf once review comments are ready. **RESPONSE: Redlines addressed. The 26' Wide Emergency Access and 20' Water Easement will continue to run across the south part of Lot 2. Drainage will be added to the Emergency Access Easement.**

PLN03: Major Subdivision - Preliminary Plat – Specific Comments

1. (Repeat for with revision reference) Whether plat process continues as a Major Subdivision or as a combined Minor Subdivision, final engineering review and required reports will be required following Preliminary PUD approval. Subdivision Improvements Agreement (SIA) and construction plans for any required public improvements will be determined with the Final Development Plan (FDP). **RESPONSE: This is now a minor subdivision.**
2. the Planning Commission and Board of County Commissioners: 2-02-19-03-05 CRITERIA FOR APPROVAL. Preliminary review finds outstanding approval criteria issues have largely been addressed through confirmation of utility service providers, conformance with subdivision standards, and no remaining development engineering review is requested until time of Final Plat. Criteria # 9 is open to more subjective interpretation, but largely meets the standards for adequate demonstration of compatibility. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant. **RESPONSE: Per criteria 9 this development incorporates the required amount of open space as well as an active open space area for residents. The buildings are also oriented in a way to take advantage of the existing open space of Sherrelwood Park. This plan also improves the transportation system of the community by improving the signalized intersection where residents can safely cross Pecos. Cars also have a safer way of entering and exiting the community with a controlled intersection. Mass transit is being improved as well with a bus stop location. A visual opening onto the park is provided for at the main entry between buildings. Active open space is also provided for between the park and structures which help with the transition between uses. Roads and parking also help separate the single family and townhome uses on site. This development will have minimal impact on the existing County services.**

PLN04: Rezoning – Specific Comments

1. (Repeat for reference with revision) Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-15-06 CRITERIA FOR APPROVAL. Preliminary staff review finds the request meets most criteria through

conformance with County long range planning documents and the Comprehensive Plan, however, Criteria # 4 is open to more subjective interpretation as substantial community opposition still exists. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant. **RESPONSE: We believe the zoning change is compatible with the surrounding residential uses and not detrimental to the community and future development of the area**

PLN05: Major PUD Amendment - Preliminary PUD – Specific Comments

1. (New) PDP approval title blocks:
 - a. Planning Commission should be updated to read “Approved by the Adams County Planning Commission”. **RESPONSE: Revised**
 - b. Board of County Commissioners should be updated to read “Approved by the Adams County Board of County Commissioners”. **RESPONSE: Revised**
2. (New) PDP title block includes old legal description which references Perl-Mack Manor. This is a remnant of the previous PDP which was accurate at the time before the Sherrelwood Subdivision had been recorded. This should be updated to the current legal descriptions. **RESPONSE: Titleblock and legal description updated.**
3. (New) PDP Sheets 2 and 3 should both capture the full extent of the PUD area (existing and new). Please also more clearly delineate the boundaries of the entire PUD area. Southern boundary is obscured or has been removed. Additional dashed utilities lines throughout, especially along eastern boundary, obscures project boundary. **RESPONSE: Sheet revised for clarity.**
4. (New) PDP General Notes, Sheet 4
 - a. Note G includes references to Tracts A-D while the overall site plan (sheet 3) does not clearly locate all of these, and the open space plan (sheet 7) includes a Tract H. The new result of the plat correction to the existing Sherrelwood Village Subdivision looks to only include a Tract A and C, and the proposed filing 2 does not include any Tracts. Please review for consistency and include all tracts on the preliminary plat to ensure correct PUD references. **RESPONSE: Tracts A&C shown on site plan to match recorded plat. Open space sheet also revised. Note G on sheet 5 revised to read Tracts A & C.**
 - b. Note F also references landscape maintenance of townhomes falls to property owner, suggesting notes remain from previous individual lot proposal. **RESPONSE: Notes revised to reflect that landscape tracts and townhome landscape to be maintained by HOA. Landscape on private single family lots to be maintained by property owner.**
 - c. Note H should be updated to include footer note on Development Standards table on Sheet 5, “any standards and allowances not explicitly listed in this PUD shall follow R-3 zoning”. **RESPONSE: Note H revised on sheet 5.**
5. (New) PDP Development Standards, sheet 6, lists 15 ft. front setback and 10 ft. side on street setback (side corner for consistency with County zoning language). It is suggested these match at 15 ft. as the proposed northeast intersection at Osage St. and 79th Way appears to provide a matching setback line between the side of one building and the front of another. **RESPONSE: These setbacks have been specifically chosen for certain locations on the site plan. We are going to keep the proposed setbacks as this allows for buildings in a couple tight spots.**
6. (New) Reference to additional parking availability in Sherrelwood Park should be removed from project narrative as parking demands need to be met onsite. The discussion of 62 additional spaces above the 2 spaces in each garage means the new units will have more than 3 spaces per unit, well exceed parking requirements. **RESPONSE: Parking at Sherrelwood park has been removed.**
7. (Repeat with revision) 4-07-02-02-01 MAXIMUM LOT COVERAGE – Please provide sample lot coverages subject to principal structure maximum of 70% for townhome/single-family

attached housing products. Specific table with proposal in light of new two lot configuration is not identified. **RESPONSE: Maximum lot coverage added to tables of the PDP on sheet 6.**

8. Landscaping Standards, Section 4-16
 - a. (Repeat) Minimum Landscape Area, Section 4-16-07: All developments shall be required to landscape a minimum of ten (10) percent of the lot area. At least fifty (50) percent of the required landscape area shall be placed so it abuts adjoining public rights-of-way, excluding alleys and drives. This will be calculated at time of FDP. **RESPONSE: Landscape calculations shown in PDP**
 - b. (New) Additionally, arterial street landscaping should meet on the five options available in Section 4-16-07-01 STREET FRONTAGE LANDSCAPING, with sufficient detail to confirm calculations for trees and landscape depth along Pecos St. **RESPONSE: Landscape calculations shown in PDP**
 - c. (New) Specific landscaping for townhome dwelling is included in Section 4-16-09-01-03. This includes minimum tree and shrub counts per 1,500 s. ft. of landscaping. **RESPONSE: Landscape calculations shown in PDP**
 - d. (New) Trash Can label on sheet 14 overlaps with detail outline box
RESPONSE: Revised

9. (New) Though RTD did not respond to this submittal request, they had previously requested a bus stop boarding area to be installed along the new development. Previous comments are provided, please address feasibility in resubmittal. Any final improvements in the public right-of- way can be determined at time of Final Plat and SIA. **RESPONSE: General location of bus stop shown in PDP**

10. (Repeat for reference with revision) Approval criteria to be reviewed by the Planning Commission and Board of County Commissioner: 2-02-11-03-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request largely meets most criteria through response and revision to original staff comments. Criteria #3, 6, and 8 is open to more subjective interpretation as substantial community opposition still exists. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant. **RESPONSE: Noted. Agreed that this is subjective in nature.**

Commenting Division: Development Engineering Review

Name of Review: Greg Labrie, Senior Civil Engineer

Email: GLabrie@adcogov.org / 720-523-6824

Review Status: Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required. **RESPONSE: Noted**

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required. **RESPONSE: Noted**

ENG3: The project site is within the County's MS4 Stormwater Permit area. The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The disturbed area of the site exceeds 1 acre; therefore, the applicant is responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. **RESPONSE: SWMP plan to be submitted with Civil CD's at FDP stage.**

ENG4: The applicant plans to subdivide the property. In a subdivision case, the developer should know that prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall also enter into a Subdivision Improvement Agreement (SIA) with the County and provide a security bond for all public improvements. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, electronic copies of all construction documents and the SIA. The development review fee for this project shall be in accordance to the fee schedule as described on the Adams County website. **RESPONSE: Noted**

ENG5: The traffic study shall utilize information from the trip generation analysis, and it is required to be signed and stamped by a professional engineer with the state of Colorado. The traffic impact study must be submitted to the Adams County Community and Economic Department for review and approval. The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter, and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study. **RESPONSE: Noted. Traffic Study has been revised and submitted.**

ENG6: The existing drainage report and the existing traffic impact study must be revised to incorporate the proposed amendment to the PUD and the proposed infrastructure improvements. The final studies should provide information that addresses the concerns of the citizens who have commented on drainage and traffic issues and live in the immediate area. **RESPONSE: Traffic Study has been revised accordingly.**

ENG7: No certificate of occupancy will be issued until all public improvements have been constructed, inspected, and preliminarily accepted by the County's Public Works Department. **RESPONSE: Noted**

Commenting Division: Addressing and Right-of-Way Review

Name of Review: Holden Pederson, Planner II

Email: HPederson@adcogov.org / 720-523-6847

Review Status: Incomplete

Separate comments and redlines for both the Plat Correction (PLT2020-00015) and Filing 2 (PRC2020-00010) provided in following pages. **RESPONSE: Subdivision comments received and addressed.**

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: ACFR, CDWR, RTD and Xcel Energy. All except CDWR request revision with the next submittal. Agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved. **Response: We have worked with external agencies to provide the easement widths satisfactory to them. The plat for Sherrelwood Village #2 has the new widths shown.**

Commenting Division: Public Comment

Review Status: Response Optional

PC1: As of the date of this comment letter, 21 public comments have been received since the previous review period closed and are provided in the following pages. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. Staff encourages the applicant work to address any identified issues to the

best of their ability. **RESPONSE: Responses to public comments have been provided in a spreadsheet addressing each comment to the best of our ability.**

Commenting Division: ROW Review 2nd Review
Name of Review: Holden Pederson, Planner II
Email: HPederson@adcogov.org/ 720-523-6847

Filing 2 (PRC2020-00010)

ROW1: Applicant must provide a Title Commitment that was prepared within 30 days of the initial application submittal. The provided Title was prepared in 2019 and needs to be updated.

a. All easements, deeds, ditch company agreements, or right-of-way agreements included in Schedule B of the updated Title must be depicted on the Plat with the applicable book/page or recording number. If any of these items are included in the Title but not shown on the Plat, please provide a written response to these staff comments describing why.

i. Easements: Book and page and/or reception number for all existing and newly created easements must be provided on the Plat drawing.

ii. Easements: All easements as required by Adams County and other public and quasipublic agencies. Said easements shall be clearly labeled to include width, use and identification as public or private, if necessary. Tie to property lines and annotate with bearings and distances as necessary. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.

b. Owner information and legal description from the Title must match on Sheet 1 of the Plat.

c. Update note #2 on Sheet 5 to describe the Title used.

Response: an updated title commitment was not available at time of submittal

ROW2: Applicant must include a label for each sheet underneath the title heading. For example, "Sheet 1," "Sheet 2," etc. **Response: Added sheet x at bottom of all top headers for the plat.**

ROW3: Modify the heading of each sheet so that it is consistent. Heading should be: "Sherrelwood Village Filing No.2". **Response: Plat title revised on all sheets.**

ROW4: Right-of-Way to be dedicated is labeled on Sheets 3 and 4. Need to provide the same label for the area depicted on Sheet 2 as well. **Response: R.O.W. to be dedicated label added to sheet 2.**

ROW5: Change Planning Commission signature line to read "Chair" so that it matches the Board of County Commissioners signature line. **Response: Planning Commission Block revised as directed**

ROW6: Add the following Access Provisions note to Sheet 5:

Statement Restricting Access: A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval. **Response: Note has been added**

Plat Correction (PLT2020-00015)

ROW1: Applicant must provide a Title Commitment that was prepared within 30 days of the initial application submittal. The provided Title was prepared in 2019 and needs to be updated.

a. All easements, deeds, ditch company agreements, or right-of-way agreements included in Schedule B of the updated Title must be depicted on the Plat with the applicable book/page or recording number. If any of these items are included in the Title but not shown on the Plat, please provide a written response to these staff comments describing why.

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ii. Easements: All easements as required by Adams County and other public and quasipublic agencies. Said easements shall be clearly labeled to include width, use and identification as public or private, if necessary. Tie to property lines and annotate with bearings and distances, as necessary. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.

b. Owner information and legal description from the Title must match on Sheet 1 of the Plat.

c. Update note #2 on Sheet 5 to describe the Title used.

Response: an updated title commitment was not available at time of submittal

ROW2: Tracts B and D that are being removed through this Plat Correction are designated on the original Sherrelwood Village Plat as being platted for open space, utilities, and emergency access. Applicant must verify that none of these functions will be impeded by consolidating the tracts into the new Lot 1, Block 4. **Response: Easements for emergency access and utilities are still in place for these uses.**

ROW3: Include the Access Provisions and Storm Drainage Facilities Statement on Sheet 3 as Plat Notes, which are listed as items #5 and 6 on the "Plat Correction, Replat, and Vacation of Recorded Plat or Easement – Plat Document Requirements" document.

a. Access Provisions – Statement Restricting Access: A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval. **Response: Note added to sheet 3**

b. Storm Drainage Facilities Statement: The policy of the County requires that maintenance access shall be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owners shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the subdivision development agreement. Should the owner fail to maintain said facilities, the County shall have the right to enter said land for the sole purpose of operations and maintenance. All such maintenance cost will be assessed to the property owners. **Response: Note added to sheet 3**

ROW4: In order to be consistent with PRC2020-00010, please change the heading or title on each sheet to "Sherrelwood Village Filing No.1 Plat Correction". **Response: Revised all sheets**

Carla Gutierrez (Adams County Fire Rescue)

We need additional information on the emergency access connecting Tract A to North Pecos Street. Will Tract A connect all the way to North Pecos Street? Plans show a sidewalk and turf landscaping. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus {i.e., 85,000 lbs.}, and must have a surface that provides all- weather driving capabilities.

We would need more detailed information on the emergency fire access. The information provided does not specify the width or height of driveway cuts and the landscaped turf area does not meet the fire access requirements. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus {i.e., 85,000 lbs.}, and must have a surface that provides all-weather driving capabilities. **RESPONSE: Additional detail to the emergency access has been provided.**

Joanna Williams, P.E. (Water Resources Engineer)

We have reviewed the above-referenced proposal to rezone two parcels located at 7996 and 8000 Pecos St from residential to planned unit development (PUD), a preliminary major subdivision, and a

preliminary major PUD amendment to the Sherrelwood Village PUD to accommodate the new development into the existing PUD (located at 7840 Pecos St). The land area subject of this proposal is 3.29 acres, including 2.2 acres of additional land to the existing PUD (the combined land area being 10.351 acres). The proposal involves subdividing the subject land into two tracts, Tracts A and B, and 45 lots to allow for the development of 47 new townhomes. Our office previously commented on this subdivision proposal on June 17, 2020. **RESPONSE: Noted**

Water Supply Demand

Estimated water requirements and proposed uses were not provided for this subdivision. **RESPONSE: Typically this is included in the Utility Report which is part of the Civil CD submittal at final plat/FDP. We've gone ahead and included the water requirements as a 1 page exhibit in the PDP submittal.**

Source of Water Supply

There are no permitted wells on the subject property. The proposed water supply source is service provided by the City of Thornton ("City"). A letter from the City dated July 10, 2017 was previously provided in the referral materials for Sherrelwood Village Filing No. 1 (PRC2016-00008). The letter indicates that the City has adequate capacity to provide water to the development; however the City reserves the right to suspend issuance of new water taps and connections indefinitely due to drought, emergency, or lack of available water resources. Another letter from the City dated September 14, 2020 confirms that service is available for the proposed development provided that service connections are paid for by the developer and that the property owner comply with the City's ordinances. **RESPONSE: Noted**

According to an April 5, 2018 letter from the City they have numerous water rights that divert from the South Platte River and Clear Creek as well as transmountain and native rights from the Cache la Poudre River. They also operate several reservoirs along the South Platte River that are utilized to store and regulate these water rights. According to the letter, the Clear Creek and South Platte water rights provide an annual firm yield of approximately 32,500 acre-feet. In addition, they are currently working on a project to transport their Cache la Poudre rights to Thornton. Once this project is complete Thornton estimates an annual firm yield of approximately 51,000 acre-feet total. In 2017, Thornton's total annual demand was approximately 25,000 acre-feet and the estimated annual demand for all existing commitments within the City service area is 30,000 acre- feet. **RESPONSE: Noted**

State Engineer's Office Opinion

Based upon the above and pursuant to sections 30-28-136(1)(h)(I) and 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights, **as long as the City is committed to supply water to the lots.** **RESPONSE: Noted**

According to the submitted material, there is a pond on the subject property that will be expanded as part of the development to receive drainage from this development. The applicant should be aware that unless the structure(s) meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), C.R.S., the structure may be subject to administration by this office. The applicant should review [DWR's Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado](#), to ensure that the notification, construction and operation of the proposed structure(s) meet statutory and administrative requirements. The applicant is encouraged to use [Colorado Stormwater Detention and Infiltration Facility Notification Portal](#) to meet the notification requirements. **RESPONSE: Noted**

Donna George (Public Service Company of Colorado dba Xcel Energy)

Public Service Company of Colorado's (PSCO) Right of Way & Permits Referral Desk has reviewed the documentation for **Sherrelwood Village F2** and requests minimum 10' wide dry utility easements along all public rights-of-way. Please note that anything less will not accommodate all dry utilities which can include multiple feeder lines. **RESPONSE: A 10' easement has been provided on the east side of Osage for both gas and electric. A 10' esmt on the west side of Osage is problematic with the building corners. We propose splitting gas and electric to reduce the width of said easements. 6' easement along Osage for gas, and 6' easement along Pecos St.**

Please also note that the will-serve letter is *not a referral response* to this case. **RESPONSE: Noted**

Please be aware PSCO owns and operates existing underground and overhead electric distribution facilities within the rezone area and has no objection to this proposed rezone, contingent upon PSCO's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities. **RESPONSE: Noted**

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or *modification* to existing facilities including relocation and/or removal via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities. **RESPONSE: Noted**

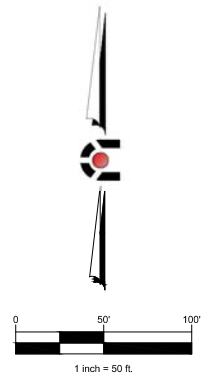
Clayton Woodruff (Regional Transport District)

I have attached a drawing with our comment and also our standard bus boarding area diagrams for your use. **RESPONSE: Noted. Bus location has been added to site plan.**

END OF RESPONSES

PRELIMINARY DEVELOPMENT PLAN 7996 & 8000 PECOS STREET

PART OF THE NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
ADAMS COUNTY, STATE OF COLORADO
PROJECT NO.: EGR 2020-00XX

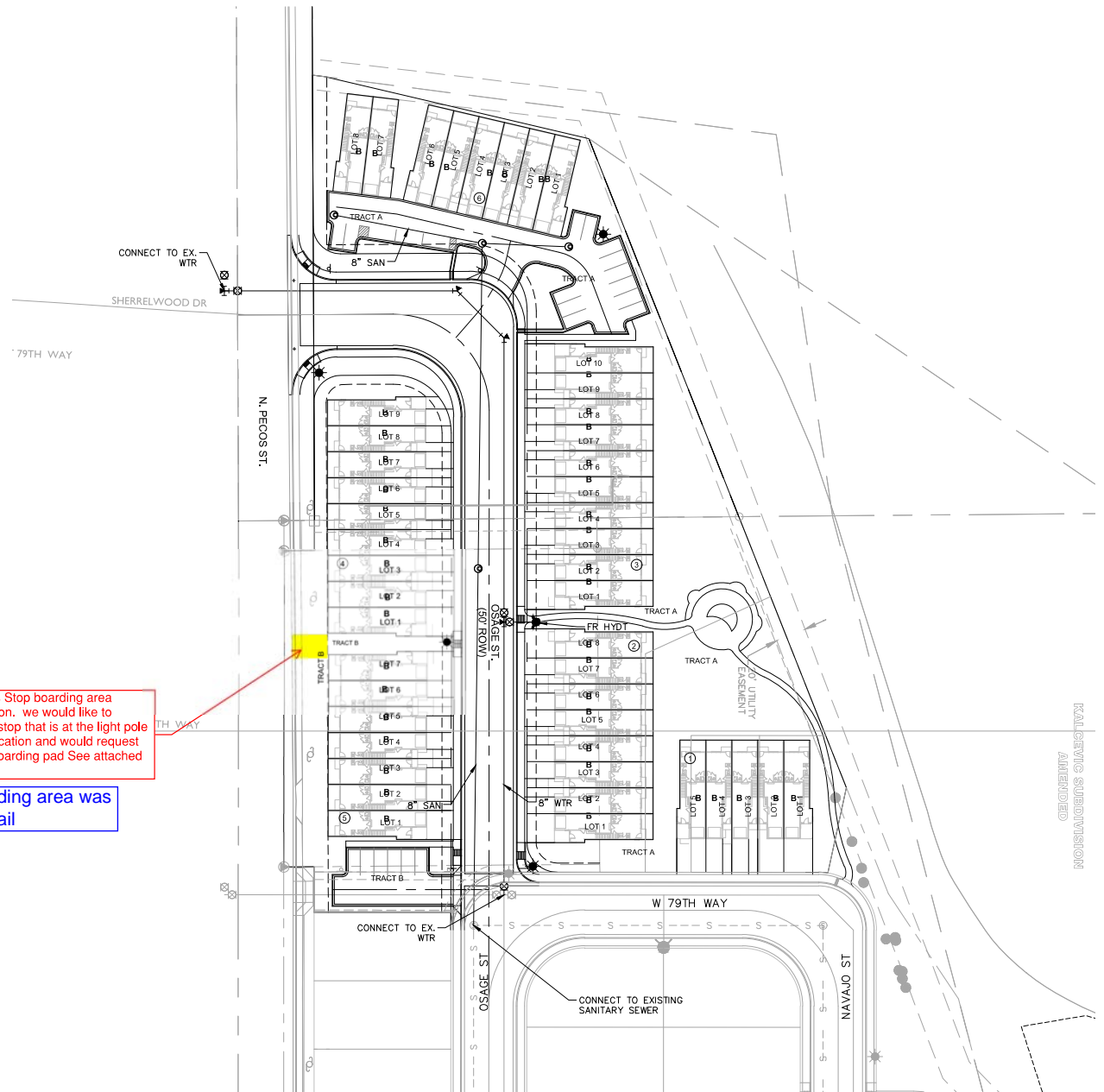


- LEGEND, EXISTING**
- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
 - SET NAIL AND TAG PLS 38151
 - FOUND 1.5" ALUMINUM CAP STAMPED AS SHOWN
 - FOUND #4 REBAR, NO CAP
 - FOUND NAIL AND BRASS TAG PLS 34579
 - ⊕ FOUND CHISELED CROSS
 - DECIDUOUS TREE & DIAMETER
 - COMM. UTILITY MARKING
 - ELECTRIC UTILITY MARKING
 - GAS UTILITY MARKING
 - ⊕ GAS VALVE
 - OH OVERHEAD UTILITY LINE
 - ⊕ UTILITY POLE
 - ⊕ LIGHT POLE
 - ⊕ SANITARY SEWER MANHOLE
 - WATER UTILITY MARKING
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ SIGN
 - CLF CHAINLINK FENCE
 - WF WOOD FENCE
 - AOC AREA OF CONCERN

- LEGEND PROPOSED**
- PROPOSED WATER
 - PROPOSED SANITARY
 - PROPOSED STORM

RTD would like a bus Stop boarding area installed at this location. we would like to relocate the existing stop that is at the light pole to the south to this location and would request the installation of a boarding pad See attached Diagrams.

Bus stop boarding area was added per detail



REVISIONS	Description
Date	FIRST SUBMITTAL
Date	12/15/2015
7996 & 8000 PECOS STREET MAJOR PUD AMENDMENT OVERALL SITE & UTILITY PLAN	
SCALE	AS NOTED
DATE	03/19/2020
SHEET	4 OF 11

revised

SHERRELWOOD VILLAGE 1ST AMENDMENT

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

CASE NO. PRC2020-00010

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 NATURAL RESOURCES
 303.703.4444
 1850 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120



SHERRELWOOD VILLAGE AMENDED
 NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
 ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
 PROJ ENG: DF
 CAD: JAG
 DATE: 10/10/2020

SHEET
1 OF **5**
 15-018

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;
 THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3254 AT PAGE 139;
 THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.12 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;
 THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:
 1. S 76°46'56" E, A DISTANCE OF 178.56 FEET;
 2. S 21°38'59" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED IN BOOK 3254 AT PAGE 139 AND SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1, SAID SHERRELWOOD VILLAGE PLAT;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY AND ALONG THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING THREE (3) COURSES:
 1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;
 2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
 3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B;
 THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:
 1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;
 2. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:
 1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
 2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
 3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 143,370 SQUARE FEET OR 3.291 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF SHERRELWOOD VILLAGE AMENDED. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENT TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

Sheet 1 added

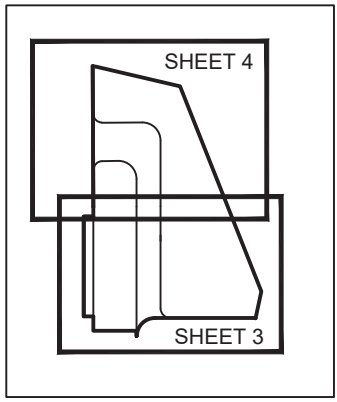
VICINITY MAP



LAND USE TABLE

TYPE	AREA (SF)	AREA (AC)
LOTS (2)	111,052	2.549
R.O.W DEDICATED	32,318	0.742
TOTAL	143,370	3.291

KEY MAP



SHEET INDEX

- SHEET 1 COVER
- SHEET 2 OVERALL BOUNDARY
- SHEET 3 DETAIL
- SHEET 4 DETAIL
- SHEET 5 NOTES AND TABLES

CITY OF THORNTON NOTES

WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

OWNER

7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
 COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY

OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION ON THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

CHAIRPERSON revised

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

CHAIR

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED IN APRIL 2020

THOMAS M. GIRARD
 COLORADO PLS 38151
 FOR AND ON BEHALF OF
 CORE CONSULTANTS, INC



ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY

CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M. ON THE ____

DAY OF _____, 20____.

COUNTY CLERK AND RECORDER

BY DEPUTY: _____

RECEPTION NO. _____

PUBLIC SERVICE COMPANY OF COLORADO NOTES

THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COSTS TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCo) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCo AN EASEMENT ON ITS STANDARD FORM.

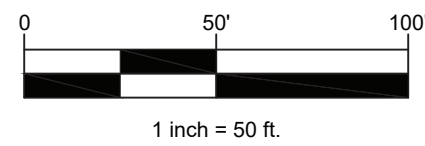
SHERRELWOOD VILLAGE AMENDED

revised

CASE NO. PRC2020-00010

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

Sheet 2 added



1 inch = 50 ft.

LEGEND

- FOUND SECTION CORNER, AS NOTED
- FOUND 3-1/4" ALUMINUM CAP, AS NOTED
- FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
- SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
- U.E. UTILITY EASEMENT

SE 1/4
SEC. 28

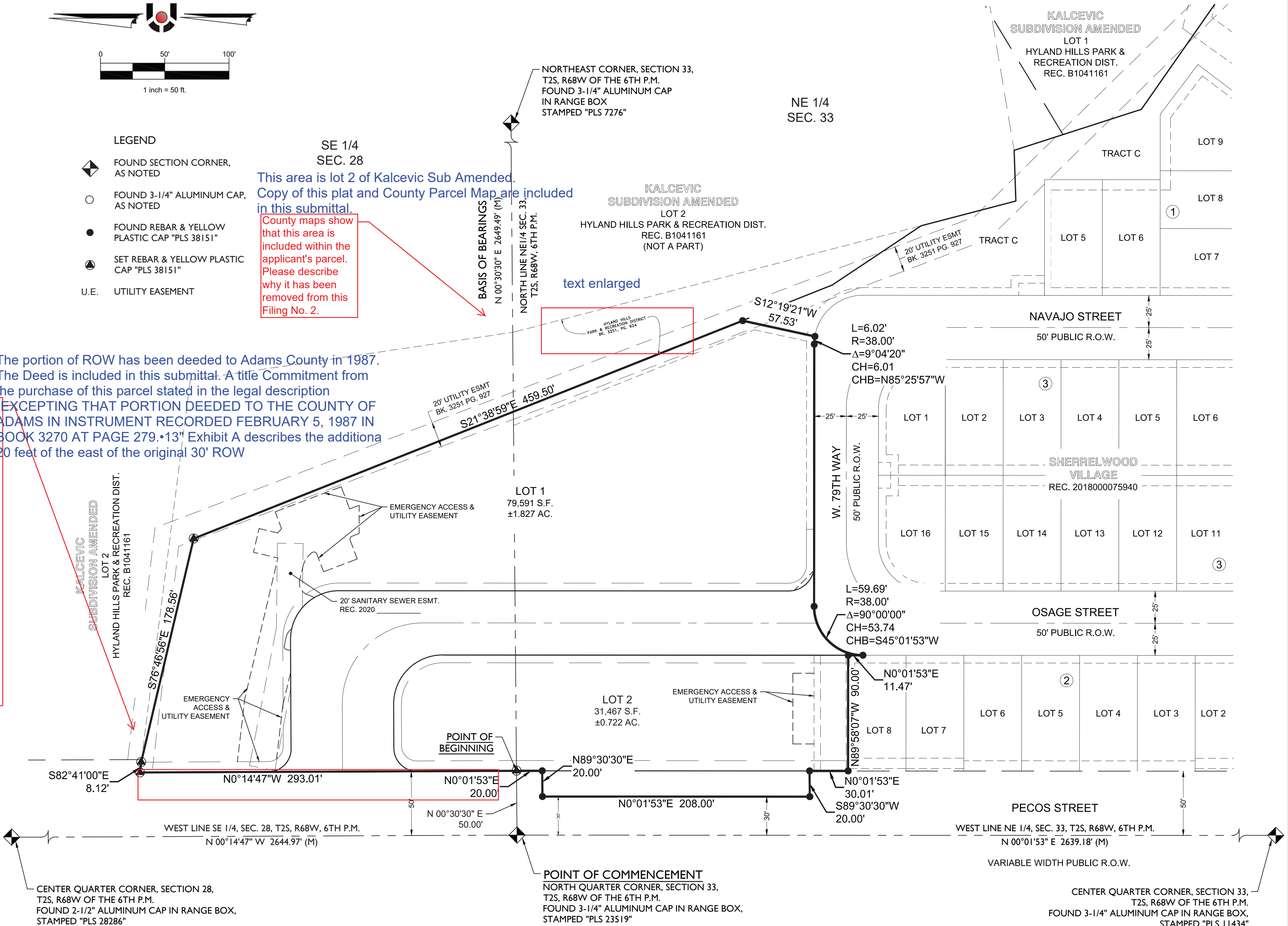
This area is lot 2 of Kalcevic Sub Amended.
Copy of this plat and County Parcel Map are included
in this submittal.

County maps show
that this area is
included within the
applicant's parcel.
Please describe
why it has been
removed from this
Filing No. 2.

text enlarged

The portion of ROW has been deeded to Adams County in 1987.
The Deed is included in this submittal. A title Commitment from
the purchase of this parcel stated in the legal description
"EXCEPTING THAT PORTION DEEDED TO THE COUNTY OF
ADAMS IN INSTRUMENT RECORDED FEBRUARY 5, 1987 IN
BOOK 3270 AT PAGE 279. •13" Exhibit A describes the addition
20 feet of the east of the original 30' ROW

County maps show that this
area along
Pecos Street
has not yet
been
dedicated.
Please
confirm if this
is true or not.
If the area
has not been
dedicated, it
should be
dedicated by
this Plat.



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
NATURAL RESOURCES
303.703.4444
1850 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRELWOOD VILLAGE AMENDED
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

SHEET
2 OF 5
15-018

SHERRELWOOD VILLAGE AMENDED

revised

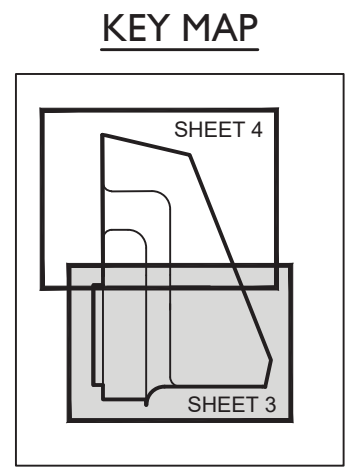
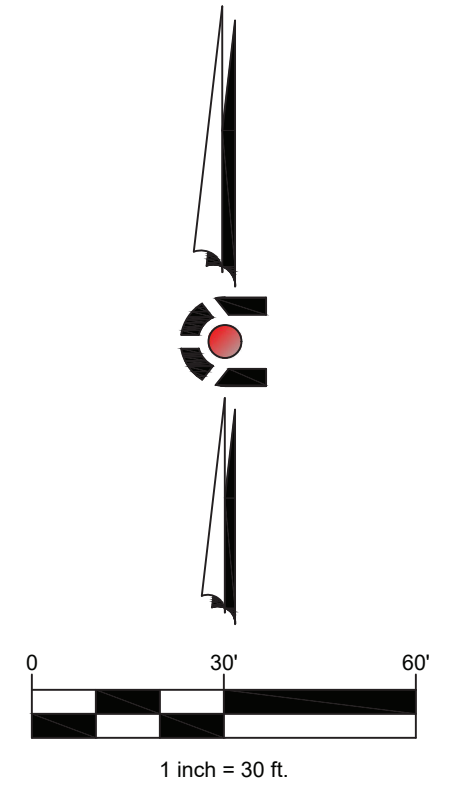
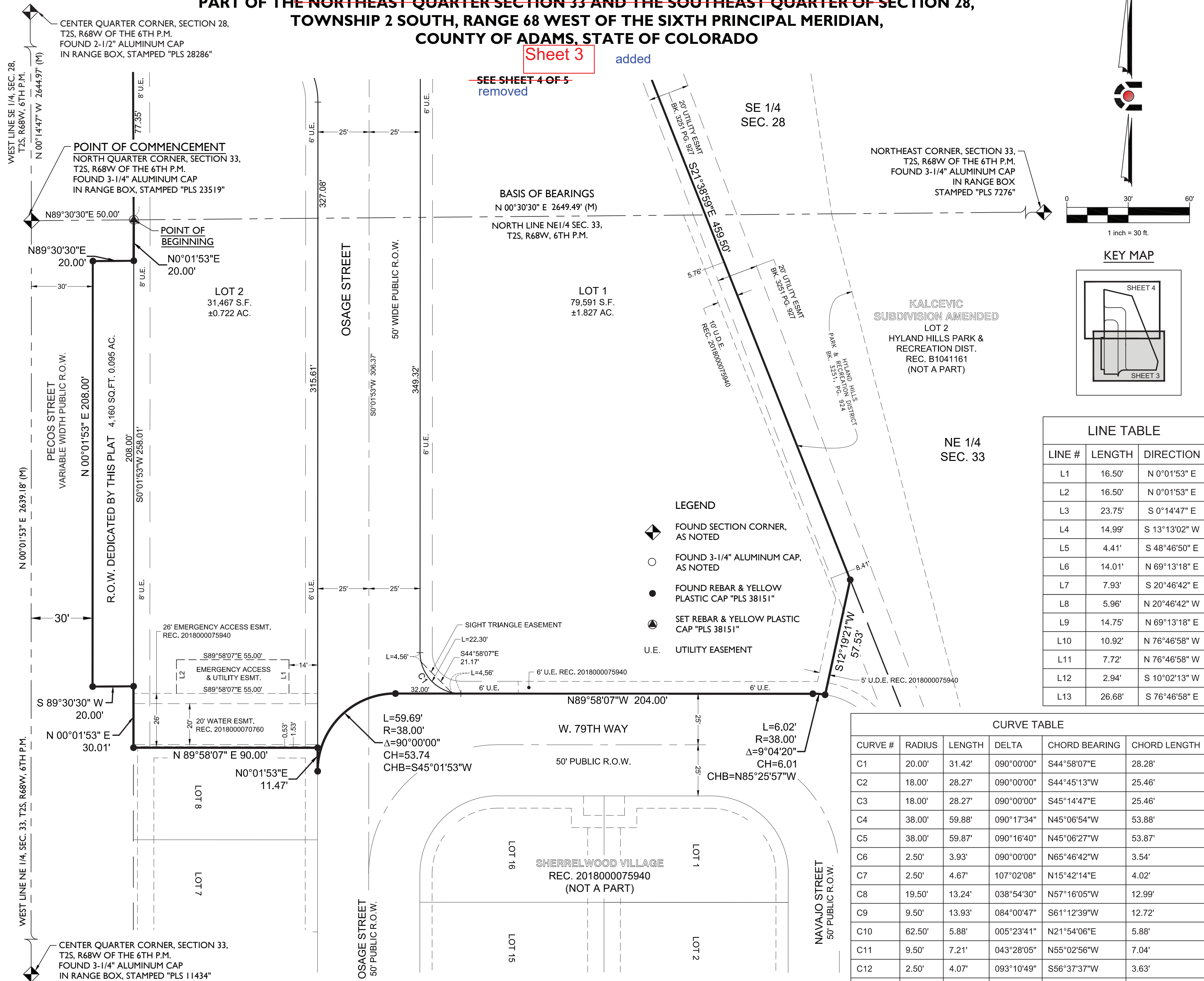
CASE NO. PRC2020-00010

**PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO**

Sheet 3

added

SEE SHEET 4 OF 5
removed



LINE TABLE

LINE #	LENGTH	DIRECTION
L1	16.50'	N 0°01'53" E
L2	16.50'	N 0°01'53" E
L3	23.75'	S 0°14'47" E
L4	14.99'	S 13°13'02" W
L5	4.41'	S 48°46'50" E
L6	14.01'	N 69°13'18" E
L7	7.93'	S 20°46'42" E
L8	5.96'	N 20°46'42" W
L9	14.75'	N 69°13'18" E
L10	10.92'	N 76°46'58" W
L11	7.72'	N 76°46'58" W
L12	2.94'	S 10°02'13" W
L13	26.68'	S 76°46'58" E

CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
C4	38.00'	59.88'	090°17'34"	N45°06'54"W	53.88'
C5	38.00'	59.87'	090°16'40"	N45°06'27"W	53.87'
C6	2.50'	3.93'	090°00'00"	N65°46'42"W	3.54'
C7	2.50'	4.67'	107°02'08"	N15°42'14"E	4.02'
C8	19.50'	13.24'	038°54'30"	N57°16'05"W	12.99'
C9	9.50'	13.93'	084°00'47"	S61°12'39"W	12.72'
C10	62.50'	5.88'	005°23'41"	N21°54'06"E	5.88'
C11	9.50'	7.21'	043°28'05"	N55°02'56"W	7.04'
C12	2.50'	4.07'	093°10'49"	S56°37'37"W	3.63'
C13	12.00'	7.14'	034°06'03"	S17°17'48"E	7.04'

CIVIL ENGINEERING
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SHERRELWOOD VILLAGE AMENDED
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

SHEET
3 OF 5
15-018

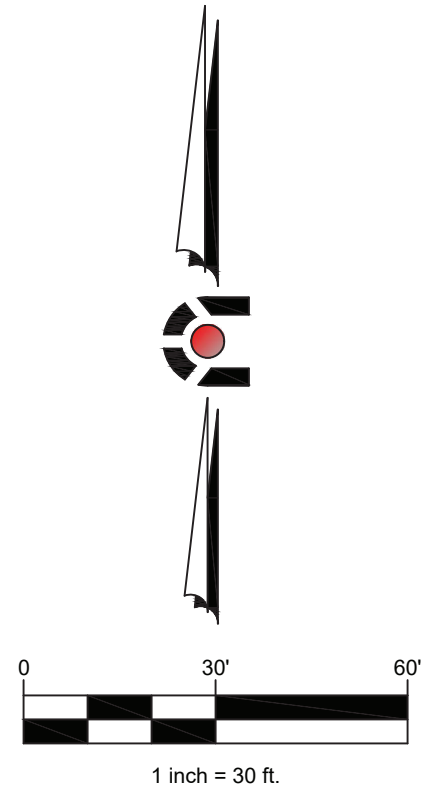
SHERRELWOOD VILLAGE AMENDED revised

CASE NO. PRC2020-00010

**PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO**

Sheet 4

CENTER QUARTER CORNER, SECTION 28,
T2S, R68W OF THE 6TH P.M.
FOUND 2-1/2" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 28286"



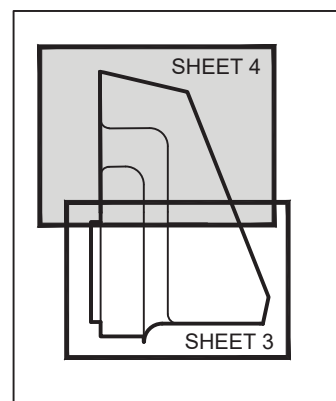
FOUND REBAR W/ 3-1/4" ALUMINUM CAP
IN RANGEBOX, ILLEGIBLE STAMPING

LEGEND

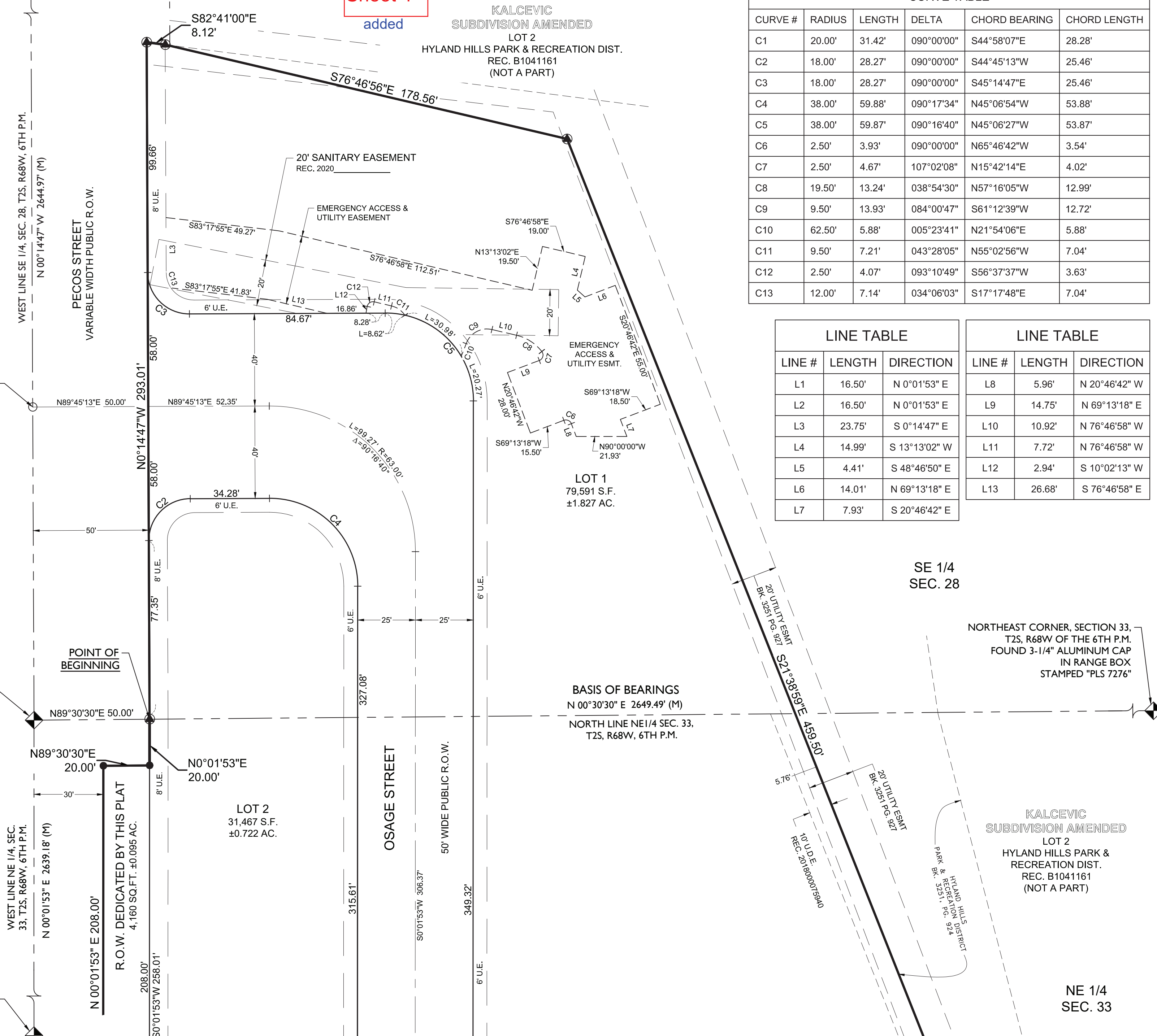
- FOUND SECTION CORNER, AS NOTED
- FOUND 3-1/4" ALUMINUM CAP, AS NOTED
- FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
- SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
- U.E. UTILITY EASEMENT

POINT OF COMMENCEMENT
NORTH QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 23519"

KEY MAP



CENTER QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 11434"



CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
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LINE TABLE		
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L3	23.75'	S 0°14'47" E
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L5	4.41'	S 48°46'50" E
L6	14.01'	N 69°13'18" E
L7	7.93'	S 20°46'42" E

LINE TABLE		
LINE #	LENGTH	DIRECTION
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L9	14.75'	N 69°13'18" E
L10	10.92'	N 76°46'58" W
L11	7.72'	N 76°46'58" W
L12	2.94'	S 10°02'13" W
L13	26.68'	S 76°46'58" E

SEE SHEET 3 OF 5

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SHERRELWOOD VILLAGE AMENDED
NE 1/4 SECTION 33, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

SHEET
4 OF 5
15-018

SHERRELWOOD VILLAGE AMENDED revised

CASE NO. PRC2020-00010

**PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO**

Sheet 5 added

NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES. CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. 01330-55373, PREPARED BY STEWART TITLE GUARANTY COMPANY, WITH AN EFFECTIVE DATE OF FEBRUARY 20, 2015 AT 5:30 PM
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, STAMPED "PLS 23519", TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
5. THE LINEAL UNIT USED IN THE PREPARATION OF THIS ALTA/NSPS LAND TITLE SURVEY IS THE U.S. SURVEY FOOT. PURSUANT TO C.R.S. 38-52-103(2) METRIC CONVERSION IS: ONE METER EQUALS 3937 / 1200 FEET.
6. DATE OF FIELD SURVEY: APRIL 9, 2020
7. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 143,370 SQUARE FEET, OR 3.291 ACRES, MORE OR LESS.
8. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
9. THE PROPERTY LIES WITHIN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 08001C0584H, PANEL 584, REVISED MARCH 5, 2017.
10. REFER TO THE OPERATION AND MAINTENANCE MANUEL RECORDED _____ AT RECEPTION NO. _____ FOR ADDITIONAL DRAINAGE GUIDELINES.
11. SIX-FOOT (6') WIDE UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, EIGHT-FOOT (8') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.
12. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.






Add Access Provisions note that is listed as item #6 on the Preliminary Plat Subdivision Checklist Requirements" document.

access note added per Subdivision Checklist

Need to update prior to finalizing Plat

an updated title commitment was not available at the time of this submittal. Once received, we will forward the updated title commitment to the County.

LEGEND

-  FOUND SECTION CORNER, AS NOTED
-  FOUND 3-1/4" ALUMINUM CAP, AS NOTED
-  FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
-  SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
-  UTILITY EASEMENT

CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
C4	38.00'	59.88'	090°17'34"	N45°06'54"W	53.88'
C5	38.00'	59.87'	090°16'40"	N45°06'27"W	53.87'
C6	2.50'	3.93'	090°00'00"	N65°46'42"W	3.54'
C7	2.50'	4.67'	107°02'08"	N15°42'14"E	4.02'
C8	19.50'	13.24'	038°54'30"	N57°16'05"W	12.99'
C9	9.50'	13.93'	084°00'47"	S61°12'39"W	12.72'
C10	62.50'	5.88'	005°23'41"	N21°54'06"E	5.88'
C11	9.50'	7.21'	043°28'05"	N55°02'56"W	7.04'
C12	2.50'	4.07'	093°10'49"	S56°37'37"W	3.63'
C13	12.00'	7.14'	034°06'03"	S17°17'48"E	7.04'

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	16.50'	N 0°01'53" E
L2	16.50'	N 0°01'53" E
L3	23.75'	S 0°14'47" E
L4	14.99'	S 13°13'02" W
L5	4.41'	S 48°46'50" E
L6	14.01'	N 69°13'18" E
L7	7.93'	S 20°46'42" E

LINE TABLE

LINE #	LENGTH	DIRECTION
L8	5.96'	N 20°46'42" W
L9	14.75'	N 69°13'18" E
L10	10.92'	N 76°46'58" W
L11	7.72'	N 76°46'58" W
L12	2.94'	S 10°02'13" W
L13	26.68'	S 76°46'58" E

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1850 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRELWOOD VILLAGE AMENDED
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

SHEET
5 OF 5
15-018

revised

SHERRELWOOD VILLAGE, FILING I, PLAT CORRECTION I

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

CASE NO. PLT2020-00015

Sherrelwood
Village Filing No. 1
Plat Correction

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NATURAL RESOURCES
LAND SURVEYING
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1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRELWOOD VILLAGE PLAT CORRECTION
NORTHEAST 1/4 SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST, 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 3

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF ALL LOTS AND TRACTS OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, SITUATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 23519 TO THE NORTHEAST CORNER OF SAID SECTION 33 BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276 WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG SAID NORTH LINE, A DISTANCE OF 30.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AND THE POINT OF BEGINNING;

THENCE N 89°30'30" E, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, ALSO BEING THE SOUTH LINE OF THAT PARCEL OF LAND RECORDED IN RECEPTION NO. 2019000075343, IN RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, A DISTANCE OF 299.36 FEET TO A POINT ON THE WEST LINE OF THAT PARCEL OF LAND RECORDED IN BOOK 3251 AT PAGE 924, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINES OF SAID PARCEL OF LAND, THE FOLLOWING TWO (2) COURSES:

1. S 21°38'59" E, A DISTANCE OF 266.92 FEET;
2. S 33°40'19" E, A DISTANCE OF 83.13 FEET TO A POINT ON THE WEST LINE OF LOT 2, KALCEVIC SUBDIVISION AMENDED, AS RECORDED AT RECEPTION NO. B1041161, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINES OF LOT 2 AND LOT 1, SAID KALCEVIC SUBDIVISION AMENDED, THE FOLLOWING FOUR (4) COURSES:

1. S 14°37'52" E, A DISTANCE OF 76.08 FEET;
2. N 88°03'04" E, A DISTANCE OF 39.50 FEET;
3. S 17°49'46" E, A DISTANCE OF 104.05 FEET;
4. S 55°05'47" E, A DISTANCE OF 112.26 FEET;

THENCE S 01°01'29" E, A DISTANCE OF 259.37 FEET TO A POINT ON THE NORTH LINE OF THE ELMWOOD PARK SUBDIVISION, AS RECORDED AT RECEPTION NO. CO184761, SAID ADAMS COUNTY RECORDS;

THENCE S 89°32'44" W, ALONG THE NORTH LINE OF SAID ELMWOOD PARK SUBDIVISION, A DISTANCE OF 631.65 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY;

THENCE N 00°01'53" E, ALONG SAID EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, A DISTANCE OF 586.61 FEET TO THE SOUTHWEST CORNER OF THAT EXCEPTION PARCEL RECORDED AT RECEPTION NO. 2019000073502 OF SAID ADAMS COUNTY RECORDS;

THENCE N 89°30'30" E, ALONG THE SOUTH LINE OF SAID EXCEPTION PARCEL, A DISTANCE OF 208.00 FEET TO THE SOUTHEAST CORNER OF SAID EXCEPTION PARCEL;

THENCE N 00°01'53" E, ALONG A LINE BEING PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE S 89°30'30" W, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO THE NORTHWEST CORNER OF SAID EXCEPTION PARCEL AND A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY;

THENCE N 00°01'53" E, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THOSE PORTIONS OF RIGHT-OF-WAY, AS DEDICATED BY SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT 2018000075940, CONTAINING 346,058 SQUARE FEET, OR 7.944 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, TRACTS AND BLOCKS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF SHERRELWOOD VILLAGE CORRECTION PLAT AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE STREETS AND EASEMENTS AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.

PUBLIC SERVICE COMPANY OF COLORADO NOTES

THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COSTS TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCo) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCo AN EASEMENT ON ITS STANDARD FORM.



VICINITY MAP
1" = 2000'

OWNER

ELMWOOD POINTE LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY
OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

OWNER

7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY
OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PURPOSE OF PLAT CORRECTION

THE PURPOSE OF THIS PLAT CORRECTION IS TO REMOVE TRACTS B AND D; AND RECONFIGURE LOTS 1, 2, 3 & 4 OF BLOCK 1 AND A PORTION OF LOT 8, BLOCK 2 OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, INTO ONE, CONTIGUOUS LOT.

LAND USE TABLE

TYPE	AREA (SF)	AREA (AC)
TRACTS A & C	30,019	0.689
LOTS (42)	231,957	5.325
INTERNAL R.O.W.	84,082	1.930
TOTAL	346,058	7.944

TRACT USE TABLE

TRACT	USE	OWNERSHIP	MAINTENANCE
A	OPEN SPACE, UTILITY	OWNER	OWNER
C	OPEN SPACE, UTILITY, DRAINAGE & ACCESS	OWNER	OWNER

TRACT NOTE

TRACTS B AND D HAVE BEEN REMOVED BY THIS PLAT CORRECTION. TRACTS A AND C, THEIR USES AND OWNERSHIP REMAIN UNCHANGED.

CITY OF THORNTON NOTES

WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

COMMUNITY AND ECONOMIC DEVELOPMENT APPROVAL

APPROVED BY THE ADAMS COUNTY COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT THIS ____ DAY

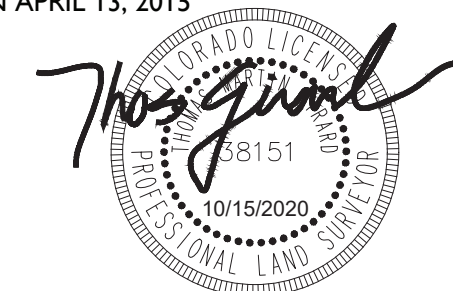
OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

DEVELOPMENT SERVICES MANAGER

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED ON APRIL 13, 2015

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC



ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY

CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M. ON THE ____

DAY OF _____, 20____.

COUNTY CLERK AND RECORDER

BY DEPUTY: _____

RECEPTION NO. _____

revised

Need to update to
match heading.

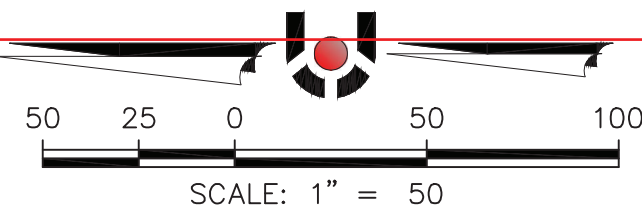
PROJ MGR: TMG
PROJ ENG: DF
CAD: JCA
DATE: 10/15/2020

SHEET
1 OF 3
15-018

SHERRELWOOD VILLAGE, FILING I, PLAT CORRECTION I

CASE NO. PLT2020-00015

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, revised
 RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 3



LEGEND

- SET REBAR & YELLOW PLASTIC CAP PLS 38151
- FOUND 1.5" ALUMINUM CAP PLS 5768
- FOUND 2" ALUMINUM CAP PLS 20155
- FOUND YELLOW PLASTIC CAP PLS 18475
- FOUND MONUMENT, AS NOTED
- ② BLOCK NUMBER
- (R) RECORD DIMENSION
- ◆ FOUND SECTION CORNER, AS NOTED
- D.E. DRAINAGE EASEMENT
- U.E. UTILITY EASEMENT
- L.E. LANDSCAPE EASEMENT
- SEE SHEET 3 OF 3 FOR CURVE TABLE

NORTHEAST CORNER, SECTION 33, T2S, R68W OF THE 6TH P.M. FOUND 3-1/4" ALUMINUM CAP IN RANGE BOX STAMPED "PLS 7276"

KALCEVIC SUBDIVISION AMENDED
 (NOT A PART OF)
 LOT 2
 HYLAND HILLS PARK & RECREATION DISTRICT
 REC. B1041161

BASIS OF BEARINGS
 N89°30'30"E 2649.49'
 NORTH LINE NE 1/4 SEC. 33,
 T2S, R68W, 6TH P.M.

HYLAND HILLS PARK & RECREATION DISTRICT
 BK. 3251, PG. 924
 20' U.E. BK. 3251 PG. 927

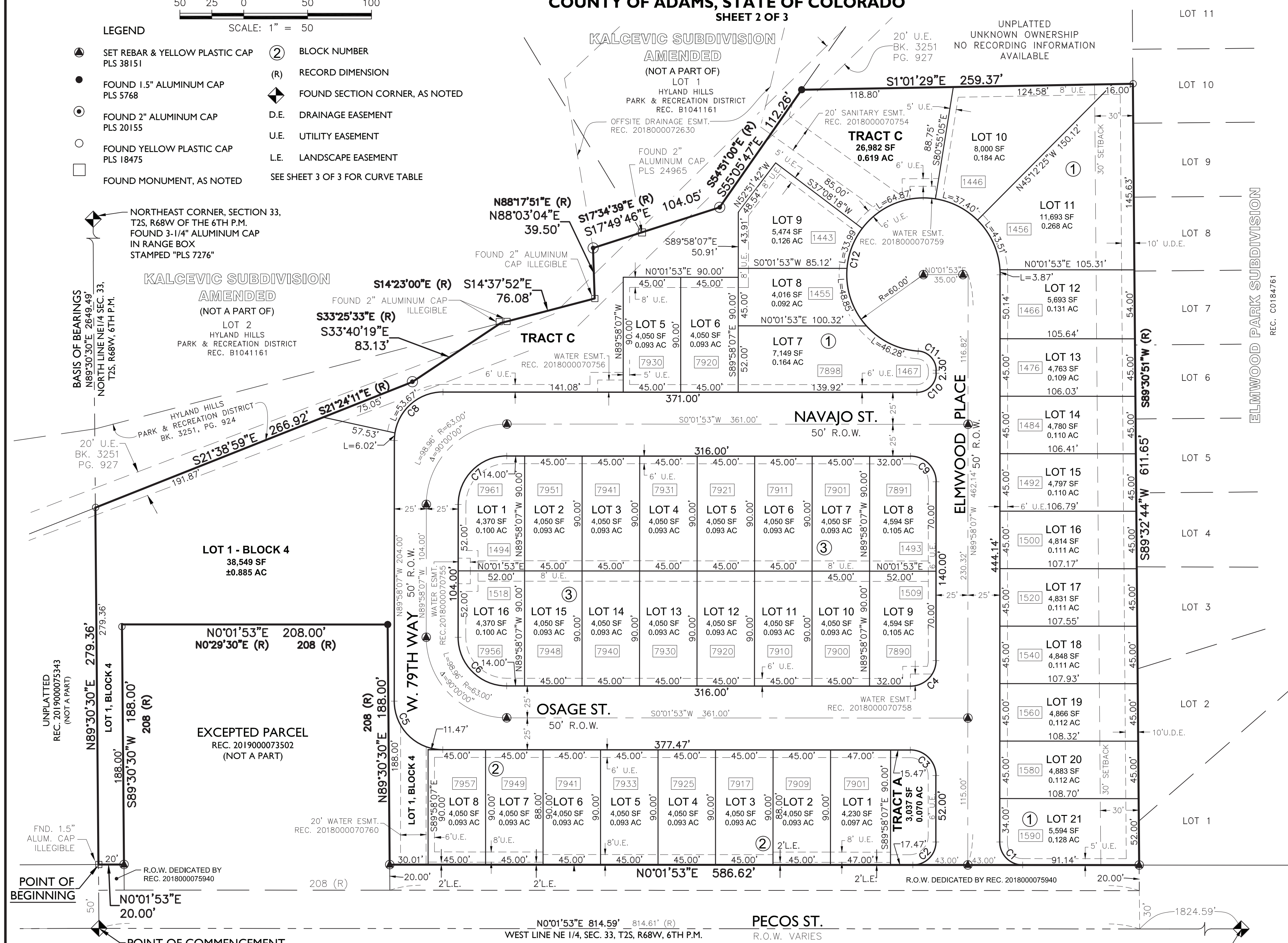
UNPLATTED REC. 201900075343 (NOT A PART)

FND. 1.5" ALUM. CAP ILLEGIBLE

R.O.W. DEDICATED BY REC. 2018000075940

POINT OF COMMENCEMENT
 NORTH QUARTER CORNER, SECTION 33, T2S, R68W OF THE 6TH P.M. FOUND 3-1/4" ALUMINUM CAP IN RANGE BOX, STAMPED "PLS 23519"

UNPLATTED UNKNOWN OWNERSHIP NO RECORDING INFORMATION AVAILABLE



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 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120



SHERRELWOOD VILLAGE PLAT CORRECTION
 NORTHEAST 1/4 SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST, 6TH P.M.
 COUNTY OF ADAMS, STATE OF COLORADO

PROJ MGR: TMG
 PROJ ENG: DF
 CAD: JCA
 DATE: 10/15/2020

SHERRELWOOD VILLAGE, FILING I, PLAT CORRECTION I

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 3

CASE NO. PLT2020-00015

CIVIL ENGINEERING
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 NATURAL RESOURCES
 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120



NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES, CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. I6000310377-AMENDMENT NO. 1, PREPARED BY STEWART TITLE GUARANTY COMPANY, WITH AN EFFECTIVE DATE OF MAY 11, 2018 AT 5:30 PM.
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, STAMPED "PLS 23519", TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
5. THE LINEAL UNIT USED IN THIS SURVEY IS THE U.S. SURVEY FOOT.
6. DATE OF FIELD SURVEY: APRIL 13, 2015
7. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 346,058 SQUARE FEET, OR 7.944 ACRES, MORE OR LESS.
8. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
9. THE PROPERTY LIES WITHIN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 08001C0584H, PANEL 584, REVISED MARCH 5, 2017.
10. THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 2018000026268
11. THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE ON TRACTS A & C, AS SHOWN HEREON.
12. ADAMS COUNTY IS HEREBY GRANTED ACCESS ACROSS TRACT C FOR ACCESS AND MAINTENANCE PURPOSES RELATED TO DRAINAGE AND OFF SITE DRAINAGE FACILITIES.
13. THE TWO-FOOT LANDSCAPE EASEMENTS LYING WITHIN LOTS 1, 2, 7 AND 8, BLOCK 2, AS SHOWN HEREON, ARE FOR LANDSCAPING PURPOSES ONLY AND ARE HEREBY DEDICATED TO THE OWNER(S) FOR OPERATION AND MAINTENANCE.

updated title commitment not available at the time of this submittal. Will forward updated title to the County when received.

Revise to provide updated Title information.

Add Statement Restricting Access and Storm Drainage Facilities Statement as Plat notes.

requested notes added.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	28.27	18.00	90°00'00"	25.46	S45°01'53"W
C2	28.27	18.00	90°00'00"	25.46	S44°58'07"E
C3	31.42	20.00	90°00'00"	28.28	N45°01'53"E
C4	31.42	20.00	90°00'00"	28.28	S44°58'07"E
C5	59.69	38.00	90°00'00"	53.74	S45°01'53"W
C6	59.69	38.00	90°00'00"	53.74	S45°01'53"W
C7	59.69	38.00	90°00'00"	53.74	S44°58'07"E
C8	59.69	38.00	90°00'00"	53.74	N44°58'07"W
C9	31.42	20.00	90°00'00"	28.28	S45°01'53"W
C10	23.56	15.00	90°00'00"	21.21	S44°58'07"E
C11	22.56	15.00	86°10'39"	20.49	N46°56'34"E
C12	278.77	60.00	266°12'24"	87.61	N43°02'33"W

SHERRELWOOD VILLAGE PLAT CORRECTION
 NORTHEAST 1/4 SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST, 6TH P.M.
 COUNTY OF ADAMS, STATE OF COLORADO

PROJ MGR: TMG
 PROJ ENG: DF
 CAD: JCA
 DATE: 10/15/2020

Summary of Public Comments with Responses

12/16/2020

NAME	COMMENTS	RESPONSE
Angel Garcia	what are the plans to remove the old dump. Is Delwest willing to pay to ensure that the neighbors do not get sick	We are not aware of any dump in this area.
	will gasses be monitored in the area	We are not aware of any gases on site
	knocking down the building will be a dusty filthy mess for people to breathe.	We agree that knocking dow the building will be messy and will do everything we can to minimize pollution.
	why do sketches only show white people. Are you trying to push out latinos	Sketches shown are not meant to only depict one race. This is simply a graphic showing people, not races. All races are of course welcome to our communities.
Arilyn Starling	Already too much traffic on Pecos	Traffic on Pecos St is consistent with the arterial classification of this road. Additional traffic from elmwood Estates is negligible. Signal timing is currently optimal while also providing for safe crossing of Pecos St for the community. This signal also allows residents to go south on Pecos much more easily.
	Already too crowded on street parking	Each unit will have a tandem 2 car garage. 39 Off street parkingspaces are also provided for in driveway in front of most units. 22 additional guest parking spots are provided. Parking is also allowed on Pecos Street for additional guest parking. All of this well exceeds the requirement of 24 off street spaces
Clarissa Burkland	Already over run with the amount of traffic and cars parked for each house	Per Adams County code, this plan meets and exceeds the parking requirements for this type of housing.
	Limited options for shopping in the area already and this will only make it worse	This proposal for residential is an extension of the residential to the south which we feel is consistent with the neighborhood.
	Proposed zoning changes not acceptable to the neighborhood. Originally slated for individual homes now want to increase to high density living	Large homes on large lots would not be attainable to most people. These townhomes will be much more affordable to the community
	Sherrrelwood park has remained clean and only source for a park. New proposal will cause this to change.	This proposal in no way reduces the park space available. In fact, we are working with Hyland Hills to improve the park with an additional gathering space that the whole community can enjoy.
	Clean up what we have and makit it safer. Get Delwest out of area.	We have worked with the community in cleaning up the park already and will continue to do so. Building townhomes adjacent to the park will brings eyes onto the park which helps reduce any potential crime.
Janet Vigil	no control over drugs and break ins and more housing will make it worse	We try to build communities where residents feel safe. We do not believe this will make problems worse. In fact, having homes against the park will have more eyes on the park to monitor potential crime.
	Terrible Traffic on Pecos	Traffic on Pecos St is consistent with the arterial classification of this road. Additional traffic from elmwood Estates is negligible.
	Greed of Del west	Market rate townhomes are much more attainable than large single family homes.
	get the feeling what people want doesn't matter. Just lining the pockets of Del West	People also want more options of attainably priced housing which this provides. This brings in more taxes to the County as well versus only building a few homes on large lots.
	Consider the neighborhood and people. What are you doing to clean it up?	We have worked with the community in cleaning up the park already and will continue to do so. In fact, we are working with Hyland Hills to improve the park with an additional gathering space that the whole
John and Esther Pacheco	So much congestion in area already on Pecos and conifer blvd due to new schools being built.	Traffic increases are negligible on Pecos St.
	No more housing needed. Need restaurants or businesses but not on Pecos	A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
	Del West Doesn't complete what they promise	Without know specifically what wasnt finished, here is an example that came up during the Neighborhood meeting. In Clear Lake Estates we installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is there.
	Against housing on Federal and 84th and it went through anyways causing more congestion.	Increase in traffic from 47 townhomes is negligible per traffic report.
	Completely object to anymore projects on Pecos.	Any opportunity for infill with a bias towards open space, density, and farer traffic conditions is a win for everyone.

Joseph Velasquez	Area is already too heavily populated with 7222.5 per square mile and only 2520.9 homes.	Increase in population with 47 townhomes is negligible to overall density of Adams County.
	Gentrification of the area. Not "affordable" properties and will be pushing out the oldest unable to afford increase in taxes	Market rate townhomes are much more attainable than large single family homes. This will also increase property values of the surrounding community.
	Del West stated using Sherrelwood park for overflow parking and private developers using city property for financial gain is deplorable. If delwest expects overflow parking they should accommodate.	Parking in Sherrelwood park was viewed as an opportunity at one point in this process, but certainly not a necessity. Any plan for overflow parking in the park is off the table since there is enough parking on site for the townhomes.
	Unplanned and and unregulated populations will add to pollution and crime.	New energy efficient homes actually produces less pollution per unit than older homes. Crime fluctuates is is not associated with new development.
	Will cause a 6% population increase in what is barely one city block.	Any infill development on this site will cause an increase in population. Cities historically grow over time.
Kathy Swift	House built on prior garbage dump site. Ground full of bentonite which swells and shrinks in wet weather causing foundation cracks	That's unfortunate to hear.
	Property value increased which increased our property taxes. We are seniors living on a fixed income.	Property values rise when a low supply of homes for sale meets strong buyer demand, as buyers compete in bidding wars to secure a home from the limited inventory. Additional homes in this community will increase the available inventory and hopefully slow dow the increase in property values.
	All for growth, feel we are being over taxed due to algorithms. Willing to pay fair share, but not what is happening.	We like lower taxes as well.
	Over charged for water service. Having to pay a rainwater fee also.	Stormwater fees are common and help pay for the construction of storm lines, ponds, and other features.
Ron and Kathleen Swift	Over crowding turning suburban area into out of control urban area. Too many multiple families in single family dwellings	This is an affordable way for families to live in some neighborhoods.
	Totally inadequate parking. Not unusual to have 5-9 vehicles for each property	Per county code, this development meets and exceeds the parking requirements.
	Sewer, open spaces, parks seem to be forgotten	We are working with Hyland Hills to improve Sherrelwood Park.
	Adams county has become tax happy and new complexes and services being proposed only serve to raise property taxes.	If no homes are built there is an increase in demand for housing. With this increased demand, home prices increase. This in turn increases property taxes. Unfortunately with an increase in demand for housing throughour the greater metro Denver area, property values will continue to increase.
	Midtown houses not built to fire codes so gave a variance for fire proof windows? Solution is for a nearby fire station, then what next, a new police station?	As population increases, so do the services required. New fire stations and additional police are beneficial to the community.
Liz Mancha	Del west houses on osage street are complete crap. Terrible foundation issues. Del west never responds.	We'd be happy to continue to work with you regarding any construction defects.

Marilyn Shea	Adams county not taking into account the impact these developments have on the current residents.	We cannot speak to the thought process of Adams County
	Water in gutter at Shoshone St. from clear lake estates seems constant, very deep and looks like sewage. Why was Del West not required to connect to county drainage system.	In Clear Lake Estates we installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban Drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is installed by Urban Drainage
	Government quick to approve Delwest developments without considering impact on current residents. Promise date of installing proper drainage by 2025 is unacceptable.	DelWest has installed its share of Stormwater improvements. Its now up to Urban Drainage to install their portion of this system to complete it.
	Residents downhill from Clear Lake will experience flooding of basements, disintegration of pavement, and a real hazard to pedestrians who must navigate through treacherous slime filled with chemicals.	The Clear Lake drainage system and facilities, approved by Adams County, have been designed so that residents downstream are not negatively affected by storm events due to the development.
	New construction on Pecos called Elmwood Estates depicts racist imagery with only white family showing people of color are not welcome here.	Thank you for bringing this to our attention. There was no intention to depict only one race in of the graphics. People of all races, colors, national origin, religion, sex, gender, age and disability are welcome in our communities.
	Delwest wants to increase traffic, noise, and congestion along pecos with high density dwelling.	Our goal is to build on 2 vacant lots an infill project consisting of market rate townhomes. Our goal is to never increase traffic, noise, or congestion, but with any type of development, there is bound to be negligible amounts of each.
	Sherrelwood park needs more benches, shade, and picnic tables. Enjoy the wildlife and doubt there will be any left after the installation of 45 homes next to it.	No portion of Sherrelwood Park is being removed as part of this proposal. In fact, we are working with Hylands Hills to improve Sherrelwood Park with an additional gathering space, shade structure, benches, etc. We look forward to working with both Hyland Hills and the community to improve this park.
	Resent the characterization that the neighborhood is derelict and bad. The park is already safe but who knows with more people moving in.	The vacant parcels DelWest wishes to build townhomes on are currently derelict and vandalized. The surrounding neighborhood is not derelict or bad. More people living adjacent to the park brings more people watching the park. This in turn helps reduce any potential crime. This doesnt mean there is a lot of crime currently though.
	Delwest is not out neighbors. They have no qualms with giving an unsustainable amount of new neighbors then moving on to destroy the next bit of open space while they pocket millions by exploiting us.	No amount of park space is being removed as park of this proposal. A few existing trees will be removed from vacant lots, but new trees will be installed as part of the project.
	would much rather see amenities such as bike path, rec center, closed street shopping mall within walking distance of homes.	We are working with Hylands Hills to improve the park amenities. We love closed street shopping malls as much as everyone else, but DelWest is a homebuilder.
	Please consider refurbishing the dome instead of destroying it.	Unfortunately anything of value in the building has been taken. Repurposing the building is just not financially possible.
	Inadequate parking proposed and sherrwelwood park cannot accommodate overflow parking. Peope will use neighboring streets across Pecos exacerbating an already intense parking situation.	Each unit will have a tandem 2 car garage. 39 Off street parkingspaces are also provided for in driveway in front of most units. 22 additional guest parking spots are provided. Parking is also allowed on Pecos Street for additional guest parking. All of this well exceeds the requirement of 24 off street spaces. Any connection to Sherrelwood Park for parking has been removed.
Roger and Pat Hall	Do you suppose a single mother can afford these new townhomes? Or all these people who have been unemployed since march?	Single mothers and those who have been unemployed will have a hard time purchasing any home in these tough economic times. These will be market rate townhomes which are more attainable than a brand new single family homes.
	If this should get approved, we think there should be at 10 units reserved for low income people who need housing.	We're currently building affordable units in various projects throughout Denver. More than half in last 10 yrs have been affordable. There is no requirement for affordable housing.
	Traffic on pecos is going to be terrible with additional homes and a new fire station that has to share the same street	Traffic increases on Pecos are marginal per Traffic Report provided.
	Craig not taking into consideration the population increase. More like 90 more families using the park, adding emergency services, more kids who need more teachers?	47 townhomes will bring in more people. This inevitably increases the need for more public services. Its hard to determine the number of children in this neighborhood, but in general the demand for school teachers has possibly gone down in this area. Clear Lake, for example, shut down.
	Still opposed to Delwest calling this blighted community, and feel there is no need for new townhomes on Pecos St.	The bubble building and vavant lot are blighted, not the neighborhood.
RMCS	Turn spaceship into public community center or commercial amenity which could net anywhere between \$500k to a million annually.	Due to Covid shutdowns and social distancing requirements, a recreation center is not feasible or needed.
	Suggest adams county how unique structure is and consider it a destination venue. Already popular due to nostalgic factor and rare construction.	The bubble building is truly unique. We attempted to get the COP (Children's Opportunity Project) relocated to a space to grow as a part of this project as the building did not fit their need and was in disrepair. Sadly, they had to shudder due to lack of funding. The building went into disrepair and most things of value were removed from the structure.

Robert Aguiniga	Area cannot handle that amount of extra traffic. Cannot even pave existing roads.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	Use to be beautiful and envied part of westminster. Now being destroyed by greed, missappropriations of public monies, corruption, and downright horrible decisions.	Market rate townhomes that are more affordable than single family homes fill a need in the community.
	At least construct brick homes that are consistent with the beauty of our community. Already added bunch of eyesores to our neighborhood next door	There are many materials other than brick that make homes look beautiful and unique.
	If you have ANY sense of pride left, no high density building.	Pride is found in higher density building every day by people living in cities across this state.
Robin Hannon	We do not want zoning change. High density housing is ruining the feel of the neighborhood. Want/need to know our neighbors and that is already difficult.	Adams County will continue to grow to meet the needs of its current residents and future residents
	Don't have enough parking and stores are already crowded. Moved away from Denver for this reason.	Unfortunately many communities in the Denver Metro area are experiencing increases in population.
	More people and housing will equal more crime.	New housing doesn't always equal more crime
	No more big beautiful open spaces due to developers putting up cookie cutter houses through It marring the landscape.	No amount of Sherrelwood Park is being removed. Vacant lots are not considered a part of the Hyland Hills open space system.
Sarah Garner	Don't want to tear down spaceship-esque looking building. Trying to get it registered as local landmark.	Please keep us informed
	Community very concerned about the debris released in air upon demo causing serious health issues.	We will do our best to reduce air pollution during demo and construction
	Would like to ask county to reject rezoning and reclaim property since it was a government entity when owend by district. Better served as a unique hub for economic relief and community benefits.	DelWest now owns the property and the County cannot reclaim it. Converting the bubble building to an economic hub is just not feasible at this time.
	Maybe relocate building to regain confidence in the process and recognize county cares about plight of individual residents. Could help mitigate pollution of taken apart carefully and relocated.	Refurbishing the bubble building is just not economically feasible for any entity as its just too expensive. Vandals and thieves have either destroyed or stolen anything of value in the structure.
	Delwest said we could design homage we wanted. Collected a few sketches from people on their ideas and Delwest hasn't responded.	We are working with Hylands Hills to improve the park amenities. We'd love the communities input as we move forward with that process
Sarah Spica	Need to preserve our suburban area and open space, not sell out to more development and urbanization.	Demand for housing this close to Denver is quite high. Adams County will inevitably grow to meet these demands. No amount of open space has been lost as part of this proposal.
	If approved would substantially increase parked traffic in neighborhood and traffic on Pecos.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	Would be excellent to expand existing park. Increase community space where we can meet our neighbors and enjoy green space.	Neither Hyland Hills or Adams County were interested in using this as open space.
Sharon Ramirez-Jiminez	Do not need more townhomes in the area. Plenty of vacancy and will overcrowd our neighborhood.	A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
Sierra Sanchez	Single mother of 3 and very hard to make a living as it is in federal heights.	Instead of single family homes, market rate townhomes are planned for this area which are more affordable.
	Kids are falling behind in education and need alternative stimulus. Don't need housing, need food education and recreation programs.	This a privately funded project and no amount of public funds is being taken away from schools.
	New homes are too expensive and will slowly but surely force us out.	Market rate townhomes that are more affordable than single family homes fill a need in the community.
	Need inclusive safe space for all people	We are working with Hylands Hills to improve the park amenities including a gathering space for all. We'd love the communities input as we move forward with that process
Steve Navarre	Traffic on Pecos is already terrible.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	Crime level has already increased espeially in neighborhoods across the street from Pecos as read on nextdoor. It was never like this and obvious Adam's County Sherriff is already overwhelmed.	We're sorry to hear about the increase in crime in the neighborhood.
	Already enough new housing development on the old elementary school grounds crowding the area	The higher density of townhomes take up less space than the same number of units in a single family development. This helps preserve open space.
	How about adding to the adacent Sherrelwood park instead	Neither Hyland Hills or Adams County were interested in using this as open space.

Susan Frauenfeld	Changes proposed do not include enough parking. Already have overflow parking on our residential streets from other developments.	Each unit will have a tandem 2 car garage. 39 Off street parkingspaces are also provided for in driveway in front of most units. 22 additional guest parking spots are provided. Parking is also allowed on Pecos Street for additional guest parking. All of this well exceeds the requirement of 24 off street spaces. Any connection to Sherrelwood Park for parking has been removed.
	Will increase car and foot traffic on Pecos.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	Delwest is a bad actor in development. Not planning for storm drainage in other developments in Adams County, which is ruining sidewalks and public property. Bringing resale values down.	In Clear Lake Estates we installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban Drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is installed by Urban Drainage
Susan M. Woodmansee	Do not want zoning to change from residential.	The zoning being proposed (PUD) is for residential.
	Extremely concerned regarding increase in traffic.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	new townhomes being built at midtown and that is enough for this neighborhood	A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
	The impact on local schools.	Its hard to predict the impact on schools since the demand for schools has beendropping in this area. Clar Lake shut down for example.

Mike Weiher

Subject: FW: Sherrelwood Park Hill the way to the national anthem for national anthem

From: Yvonne Fischbach <YFischbach@hylandhills.org>

Date: October 12, 2020 at 10:48:47 AM MDT

To: W Craig Fitchett <cfitchett@me.com>

Cc: Joe Demers <JDeMers@hylandhills.org>

Subject: Sherrelwood Park

Good morning Craig,

I was able to connect with the folks at Mile High Flood Control District regarding the dam area at Sherrelwood Park. They have indicated that we could likely use some of the parking area on top of the dam for improvements as long as they are not buildings where somebody could get trapped in a flood event. So, we should be able to add a shelter and potentially a playground structure, as long as it was designed correctly.

Can you please share this information with your team and then we can talk about next steps on getting community involvement. Thank you.

Yvonne Fischbach, Executive Director
Hyland Hills Park and Recreation District
www.hylandhills.org

Mike Weiher

From: Mike Weiher
Sent: Wednesday, December 16, 2020 4:31 PM
To: Mike Weiher
Subject: FW: Meeting follow-up
Attachments: image.png

From: **Derrell Schreiner** <derrell@delwest.com>
Date: Wed, Dec 2, 2020 at 2:28 PM
Subject: Re: Meeting follow-up
To: Yvonne Fischbach <YFischbach@hylandhills.org>
Cc: W Craig Fitchett <cfitchett@me.com>, Joe Demers <JDeMers@hylandhills.org>, Mike Weiher <mweiher@terracinadesign.com>

Thanks Yvonne. Great talking with you! These are good!

Regards,

Derrell
Delwest
303-570-0910-Cell

On Wed, Dec 2, 2020 at 2:23 PM Yvonne Fischbach <YFischbach@hylandhills.org> wrote:

Gentlemen,

I just found this in my email drafts – apparently I neglected to hit the send button.

=====

Hi Craig and Derrell,

It was good catching up with you today. We are excited to partner with you to bring some great amenities to the Sherrelwood Park community. Our representative for Poligon shelters is below:

Eric Anderson

Churchich Recreation, LLC

eric@churchichrecreation.net

phone: 303-530-4414 x 12

And here is Poligon's website link:

[Steel Shade Structures - Poligon Open Air Shade Shelters](#)

Our master plan recommendations for the park were as follows:

Sherrelwood	Add playground equipment	\$200,000
	Add shade structure	\$60,000
	Add benches - 5	\$12,500

Joe will provide you with the approximate size of shelter we would need for about 40 people as well as confirming the amount of parking spaces we will have if we take out 1/3 to 1/2 of that southern parking lot.

Finally, here are some photos of shelters for ideas from Poligon's website:





Yvonne Fischbach, Executive Director

Hyland Hills Park and Recreation District

www.hylandhills.org

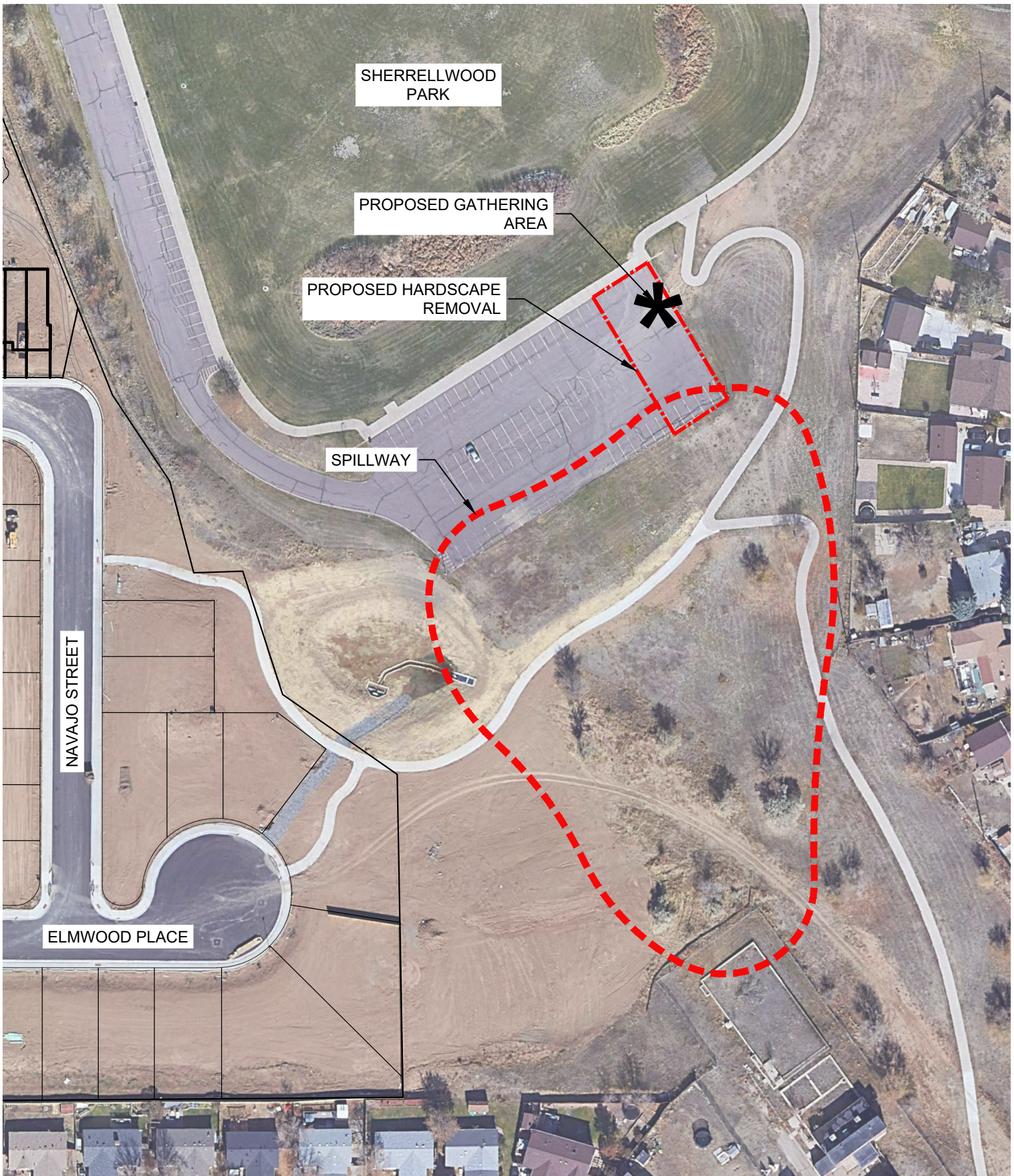


December 16, 2020

Re: The Proposed Construction of a Community Gathering Area in Sherrelwood Park

Delwest has been working diligently with officials from Adams County, neighbors, and the Hyland Hills Park & Recreation District to determine how best to build a community gathering area in Sherrelwood Park. While the details have yet to be finalized, Delwest has made a firm commitment to donate \$50,000 towards the Sherrelwood Park improvements, as identified in the new Hyland Hills Master Plan.

155 South Madison Street, Suite 326
Denver, Colorado 80209
720.708.4065 | delwest.com



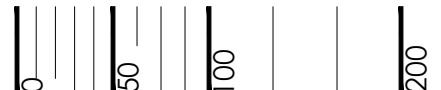
HYLAND HILLS
PROPOSED GATHERING AREA

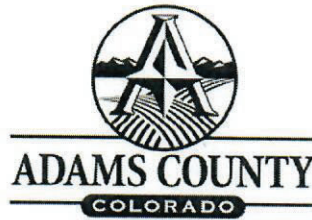
terraccina
design
10200 E. Girard Ave, A-314
Denver, CO 80231
ph: 303.632.8867



Scale: 1"=100'

October 16, 2020





DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input checked="" type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME: Sherrelwood Village Filing No. 2

APPLICANT

Name(s): Delwest Development Corp/Craig Fitchett Phone #: 720-708-4065
Address: 155 S Madison St. Suite 326
City, State, Zip: Denver, CO 80209
2nd Phone #: 720-276-6098 Email: cfitchett@delwest.com

OWNER

Name(s): Joseph DelZotto Phone #: 720-708-7065
Address: 155 S Madison St., Suite 326
City, State, Zip: Denver, CO 80209
2nd Phone #: 303-888-8048 Email: jad@delwest.com

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Tom Girard Phone #: 303-829-9005
Address: 1950 W Littleton Blvd. Suite 109
City, State, Zip: Littleton, CO 80120
2nd Phone #: 303-730-5976 Email: girard@corecivil.com

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Date:

Owner's Printed Name

Name:

Owner's Signature



Narrative Rezoning

Delwest Development Corporation is proposing to amend their current Sherrelwood Village PUD-PDP to include approximately 47 new townhomes on 3.3 Acres of additional land adjacent and to the north of the single-family homes we are currently building.

7996 and 8000 Pecos St were purchased to offer a lower, more “workforce” focused priced housing solution for the community than a new traditional single-family home. Delwest has repurposed several Westminster Schools blighted properties. We will be demolishing a vacant, blighted building, the former Children’s Outreach Project, and building new attainable housing stock.

In order to build the proposed townhomes, we are proposing to rezone 7996 and 8000 Pecos Street from R-1-C to PUD. PUD zoning will allow for the proposed higher density of townhomes that R-1-C zoning would not allow. By combining the single-family PUD zoning with the townhomes, we will be allowed certain setbacks and other standards as outlined in the PUD-PDP document that the townhomes require.

We at Delwest are excited to have the opportunity to enhance this neighborhood and bring market rate housing to the area. We look forward to working with the community and staff moving forward.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest

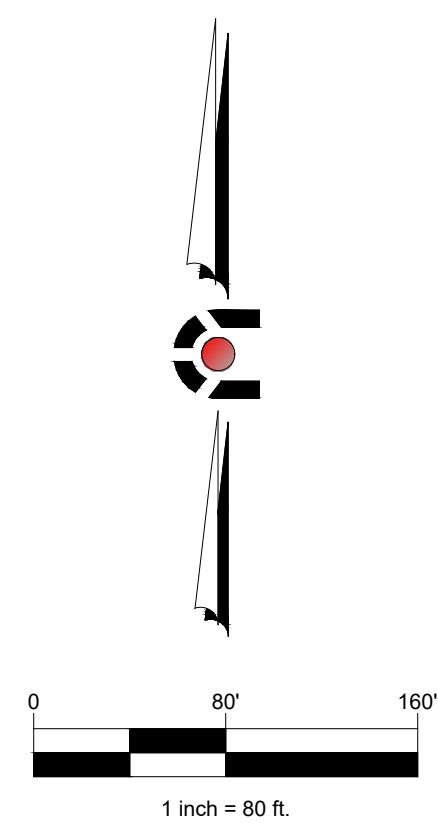
SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

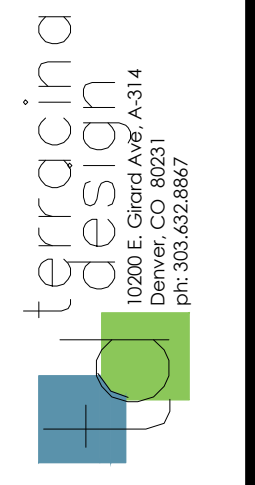
LOT 16, BLOCK 51, PERL-MACK MANOR, EIGHTH FILING AND PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
PROJECT NO: PRC2020-00010

- ### LEGEND, EXISTING
- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
 - ▲ SET NAIL AND TAG PLS 38151
 - FOUND 1.5" ALUMINUM CAP STAMPED AS SHOWN
 - FOUND #4 REBAR, NO CAP
 - FOUND NAIL AND BRASS TAG PLS 34579
 - ⊕ FOUND CHISELED CROSS
 - ⊙ DECIDUOUS TREE & DIAMETER
 - FO— COMM. UTILITY MARKING
 - E— ELECTRIC UTILITY MARKING
 - G— GAS UTILITY MARKING
 - ⊗ GAS VALVE
 - OH— OVERHEAD UTILITY LINE
 - ⊕ UTILITY POLE
 - ⊙ LIGHT POLE
 - ⊙ SANITARY SEWER MANHOLE
 - W— WATER UTILITY MARKING
 - ⊙ WATER METER
 - ⊗ WATER VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ SIGN
 - CLF CHAINLINK FENCE
 - WF WOOD FENCE
 - AOC AREA OF CONCERN

- ### LEGEND PROPOSED
- PROPOSED WATER
 - PROPOSED SANITARY
 - PROPOSED STORM



SHEET TITLE
OVERALL SITE PLAN
SHEET NUMBER
3 OF 18



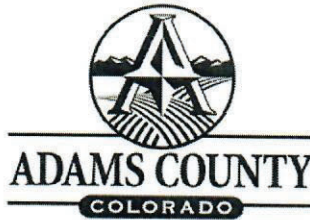
PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

NOT FOR CONSTRUCTION

x:\19-165 elmwood estates\civil\cad\plans\pud\overall site plan - overall.dwg



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Application Type:

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<input checked="" type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
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Name: Tom Girard Phone #: 303-829-9005
Address: 1950 W Littleton Blvd. Suite 109
City, State, Zip: Littleton, CO 80120
2nd Phone #: 303-730-5976 Email: girard@corecivil.com

DESCRIPTION OF SITE

Address: 7840 Pecos, 7996 Pecos and 8000 Pecos

City, State, Zip: Denver, CO 80221

Area (acres or square feet): 450,875 sq ft/ 10.351 acres

Tax Assessor Parcel Number: 7840 Pecos - 017193310016; 7996 Pecos - 0171933100009 and 8000 Pecos St. - 0171928400003

Existing Zoning: 7996 and 8000 Pecos - R-1-C; 7840 Pecos- PUD

Existing Land Use: 7996 Pecos - Vacant; 8000 Pecos - abandoned school; 7840 Pecos PUD

Proposed Land Use: PUD with 48 additional townhomes

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#: 201900091

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Joe Delzotto Date: 5/14/20

Owner's Printed Name

Name: 

Owner's Signature



Narrative Subdivision

Delwest Development Corporation is proposing to amend their current Sherrelwood Village PUD-PDP to include approximately 47 new townhomes on 3.3 Acres of additional land adjacent and to the north of the single-family homes we are currently building.

7996 and 8000 Pecos St were purchased to offer a lower, more “workforce” focused priced housing solution for the community than a new traditional single-family home. Delwest has repurposed several Westminster Schools blighted properties. We will be demolishing a vacant, blighted building, the former Children’s Outreach Project, and building new attainable housing stock.

In order to plat the townhomes, we are proposing a subdivision that combines Lot 1:Block 4 from the plat correction of Sherrelwood Village Filing 1 with the properties of 7996 and 8000 Pecos St. This creates a 3.3 Ac parcel that include 2 lots and right of way for Osage St and Sherrelwood Dr. Large lots is the preferred format of the Subdivision per our partners at Housing and Urban Development (HUD). HUD will be assisting on the financing side of things and have requirements that need to be met including this lot layout.

We at Delwest are excited to have the opportunity to enhance this neighborhood and bring market rate housing to the area. We look forward to working with the community and staff moving forward.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest

SHERRELWOOD VILLAGE FILING NO. 2

CASE NO. PRC2020-00010

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET I

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3254 AT PAGE 139;

THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.12 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

- S 76°46'56" E, A DISTANCE OF 178.56 FEET;
- S 21°38'59" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED IN BOOK 3254 AT PAGE 139 AND SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1, SAID SHERRELWOOD VILLAGE PLAT;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY AND ALONG THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING THREE (3) COURSES:

- ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;
- N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
- ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

- N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;
- N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:

- S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
- N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
- N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 143,370 SQUARE FEET OR 3.291 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF SHERRELWOOD VILLAGE FILING NO. 2. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENT TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

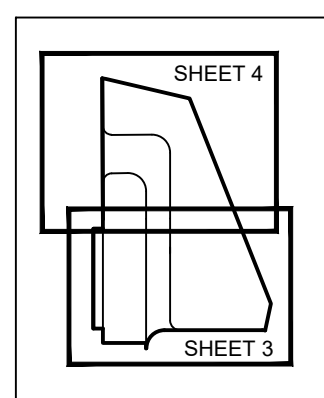
VICINITY MAP



LAND USE TABLE

TYPE	AREA (SF)	AREA (AC)
LOTS (2)	111,052	2.549
R.O.W DEDICATED	32,318	0.742
TOTAL	143,370	3.291

KEY MAP



SHEET INDEX

SHEET 1	COVER
SHEET 2	OVERALL BOUNDARY
SHEET 3	DETAIL
SHEET 4	DETAIL
SHEET 5	NOTES AND TABLES

PUBLIC SERVICE COMPANY OF COLORADO NOTES

THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COSTS TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCo) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCo AN EASEMENT ON ITS STANDARD FORM.

CITY OF THORNTON NOTES

WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

OWNER

7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY

OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION ON THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

CHAIR _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

CHAIR _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED IN APRIL 2020

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC



ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY

CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M. ON THE ____

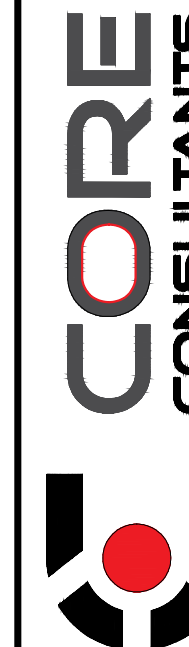
DAY OF _____, 20____.

COUNTY CLERK AND RECORDER

RECEPTION NO. _____

BY DEPUTY: _____

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
NATURAL RESOURCES
308.703.4444
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113



SHERRELWOOD VILLAGE FILING NO. 2
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

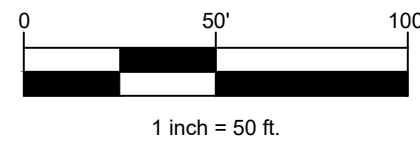
PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 12/15/2020

SHEET
1 OF 5
15-018

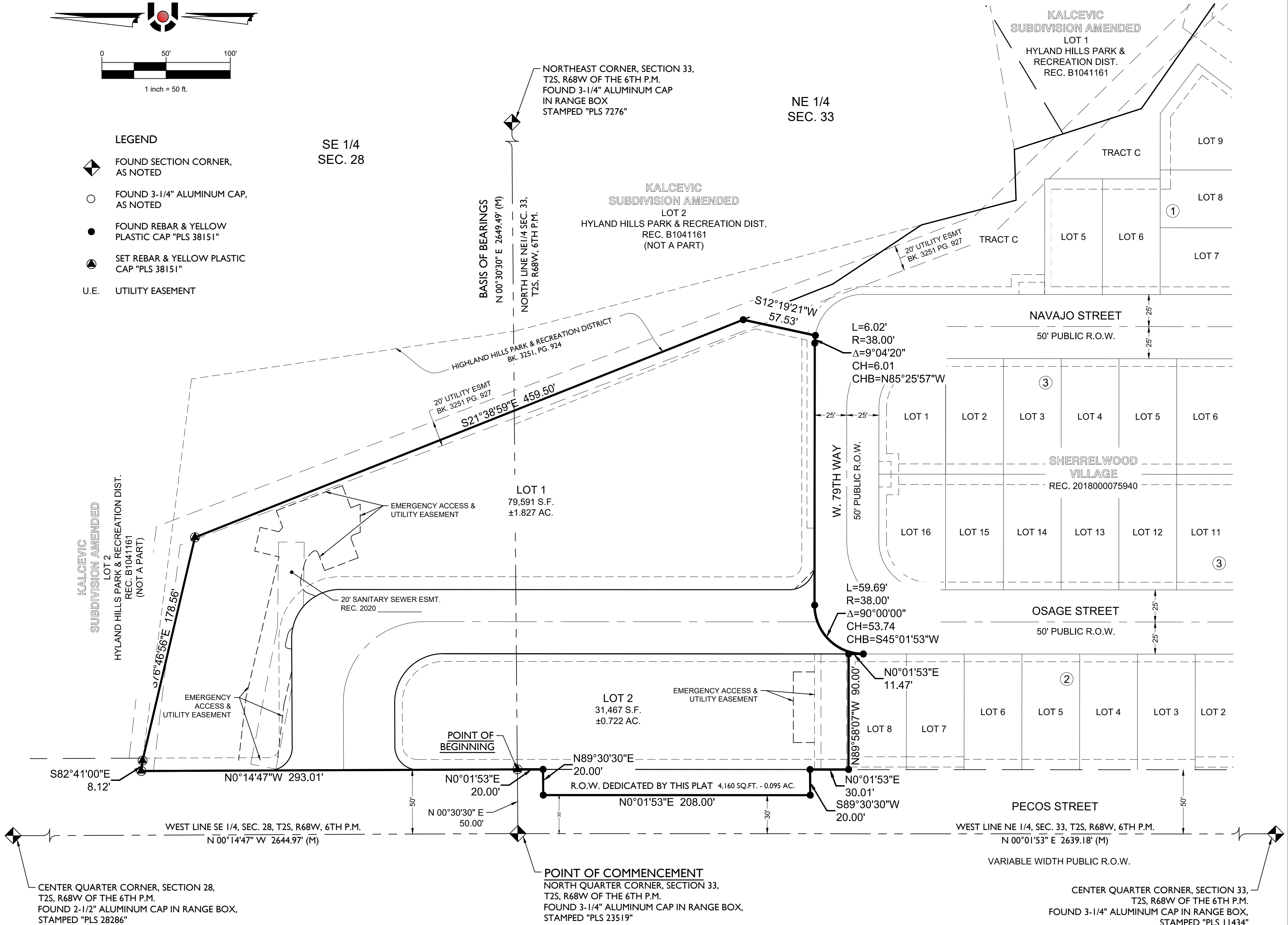
SHERRELWOOD VILLAGE FILING NO. 2

CASE NO. PRC2020-00010

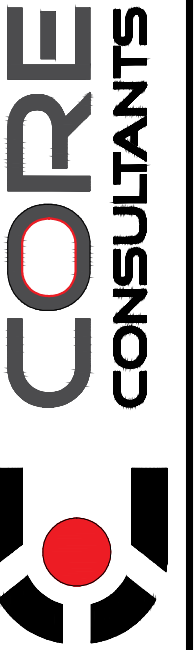
PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2



- LEGEND**
- FOUND SECTION CORNER, AS NOTED
 - FOUND 3-1/4" ALUMINUM CAP, AS NOTED
 - FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - U.E. UTILITY EASEMENT



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
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NATURAL RESOURCES
308.703.4444
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113



SHERRELWOOD VILLAGE FILING NO. 2
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ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
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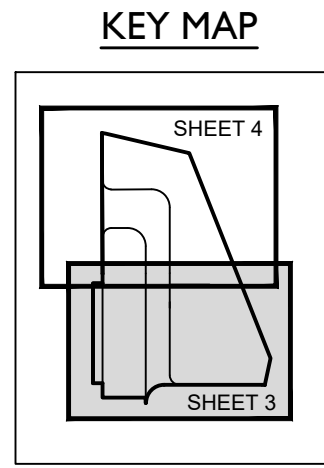
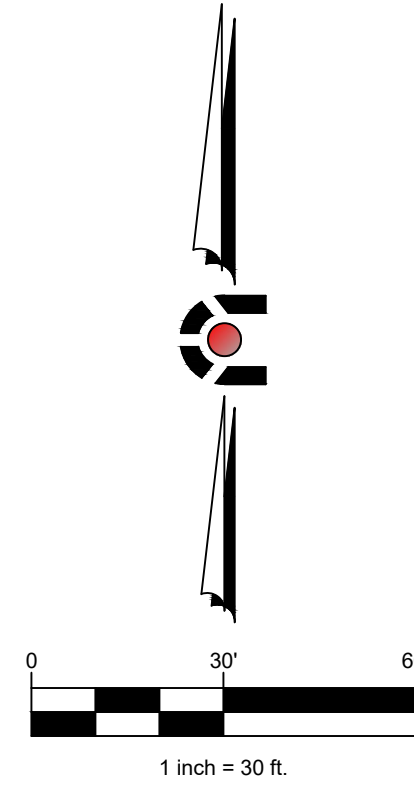
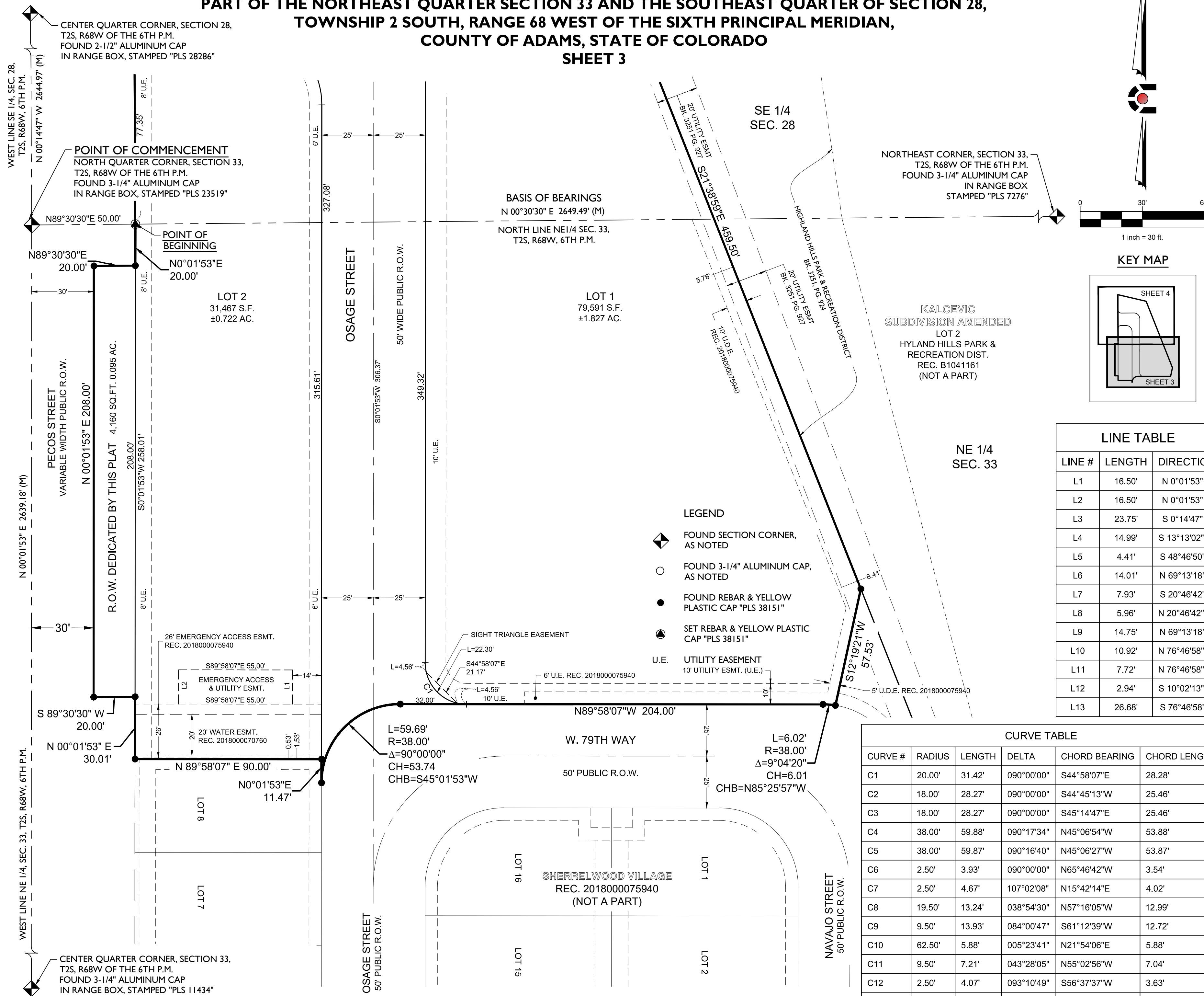
SHEET
2 OF 5
15-018

SHERRELWOOD VILLAGE FILING NO. 2

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 3

CASE NO. PRC2020-00010



LINE TABLE

LINE #	LENGTH	DIRECTION
L1	16.50'	N 0°01'53" E
L2	16.50'	N 0°01'53" E
L3	23.75'	S 0°14'47" E
L4	14.99'	S 13°13'02" W
L5	4.41'	S 48°46'50" E
L6	14.01'	N 69°13'18" E
L7	7.93'	S 20°46'42" E
L8	5.96'	N 20°46'42" W
L9	14.75'	N 69°13'18" E
L10	10.92'	N 76°46'58" W
L11	7.72'	N 76°46'58" W
L12	2.94'	S 10°02'13" W
L13	26.68'	S 76°46'58" E

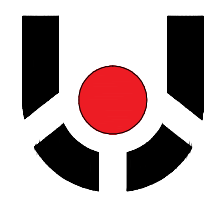
CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
C4	38.00'	59.88'	090°17'34"	N45°06'54"W	53.88'
C5	38.00'	59.87'	090°16'40"	N45°06'27"W	53.87'
C6	2.50'	3.93'	090°00'00"	N65°46'42"W	3.54'
C7	2.50'	4.67'	107°02'08"	N15°42'14"E	4.02'
C8	19.50'	13.24'	038°54'30"	N57°16'05"W	12.99'
C9	9.50'	13.93'	084°00'47"	S61°12'39"W	12.72'
C10	62.50'	5.88'	005°23'41"	N21°54'06"E	5.88'
C11	9.50'	7.21'	043°28'05"	N55°02'56"W	7.04'
C12	2.50'	4.07'	093°10'49"	S56°37'37"W	3.63'
C13	12.00'	7.14'	034°06'03"	S17°17'48"E	7.04'

- LEGEND**
- FOUND SECTION CORNER, AS NOTED
 - FOUND 3-1/4" ALUMINUM CAP, AS NOTED
 - FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - U.E. UTILITY EASEMENT
10' UTILITY ESMT. (U.E.)

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
NATURAL RESOURCES
308.703.4444
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113

CORE
CONSULTANTS



SHERRELWOOD VILLAGE FILING NO. 2
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 12/15/2020

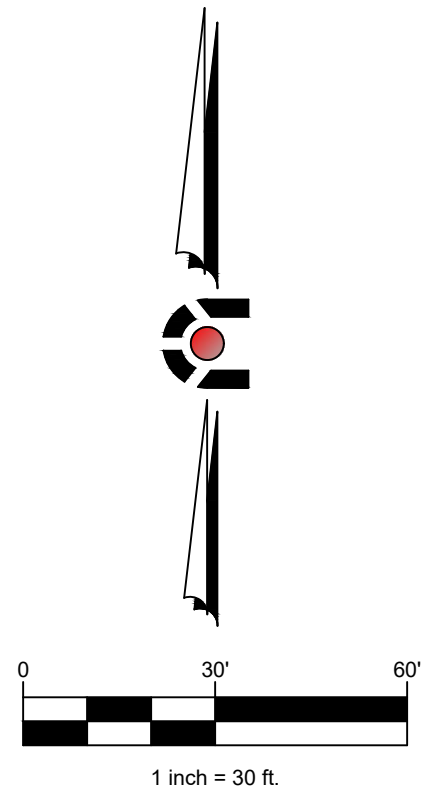
SHEET
3 OF **5**
15-018

SHERRELWOOD VILLAGE FILING NO. 2

CASE NO. PRC2020-00010

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4

CENTER QUARTER CORNER, SECTION 28,
T2S, R68W OF THE 6TH P.M.
FOUND 2-1/2" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 28286"



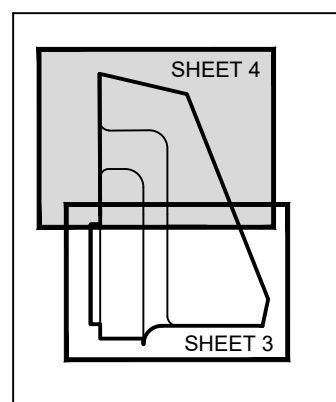
FOUND REBAR W/ 3-1/4" ALUMINUM CAP
IN RANGEBOX, ILLEGIBLE STAMPING

LEGEND

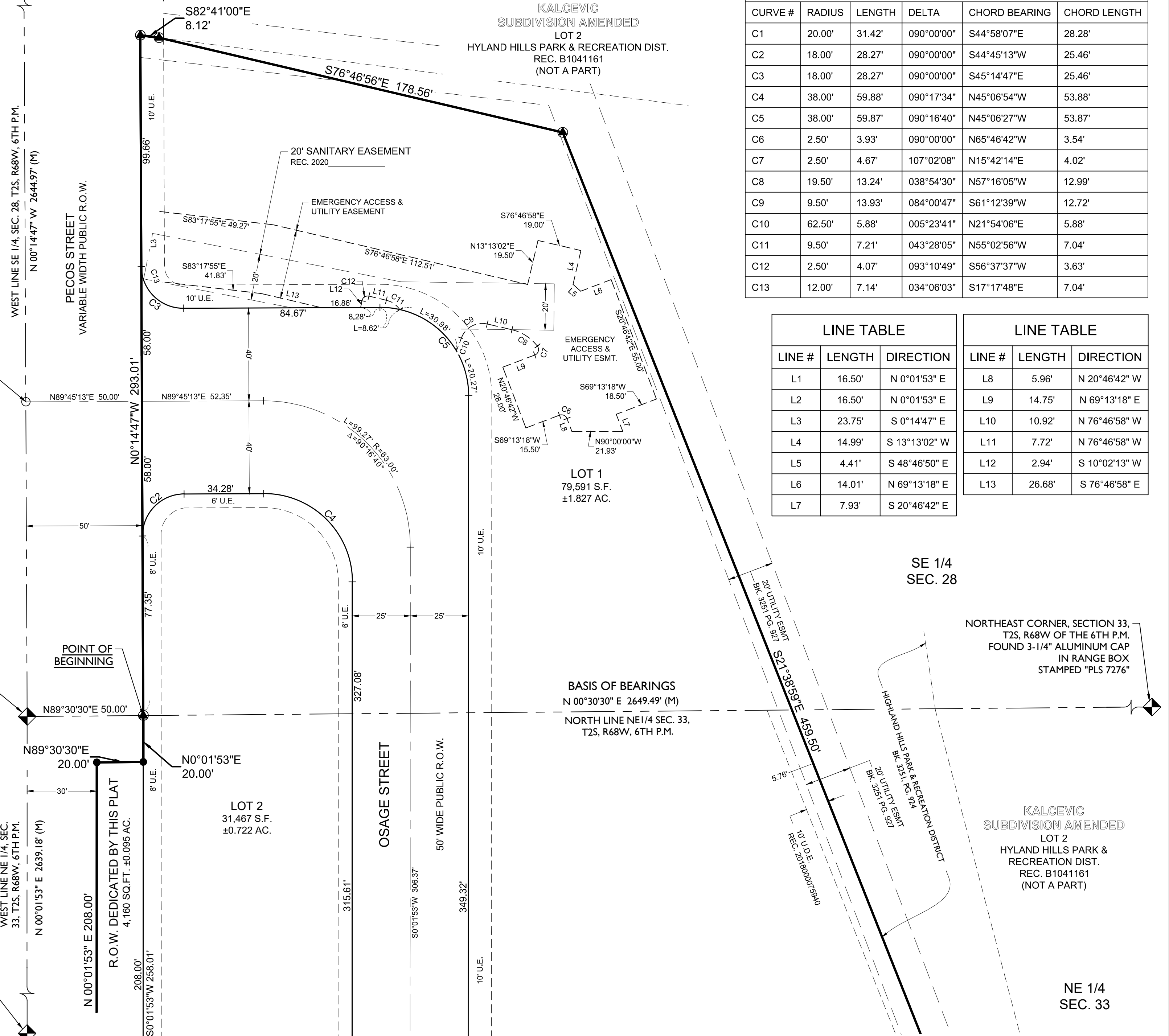
- ◆ FOUND SECTION CORNER, AS NOTED
- FOUND 3-1/4" ALUMINUM CAP, AS NOTED
- FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
- SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
- U.E. UTILITY EASEMENT

POINT OF COMMENCEMENT
NORTH QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 23519"

KEY MAP



CENTER QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 11434"



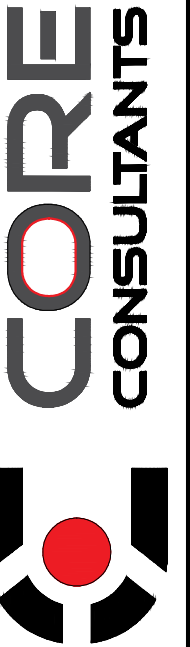
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L12	2.94'	S 10°02'13" W
L13	26.68'	S 76°46'58" E

SEE SHEET 3 OF 5

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
NATURAL RESOURCES
303.703.4444
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113



SHERRELWOOD VILLAGE FILING NO. 2
NE 1/4 SECTION 33, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 12/15/2020

SHEET
4 OF 5
15-018

SHERRELWOOD VILLAGE FILING NO. 2

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5

CASE NO. PRC2020-00010

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 NATURAL RESOURCES
 303.703.4444
 3475 SOUTH BROADWAY
 ENGLEWOOD, CO 80113

CORE
 CONSULTANTS



SHERRELWOOD VILLAGE FILING NO. 2
 NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
 ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
 PROJ ENG: DF
 CAD: JAG
 DATE: 12/15/2020

SHEET
5 OF 5
 15-018

NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES, CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. RND70700124, PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF 12/09/2020 AT 5:00 PM
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, STAMPED "PLS 23519", TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
5. THE LINEAL UNIT USED IN THE PREPARATION OF THIS ALTA/NSPS LAND TITLE SURVEY IS THE U.S. SURVEY FOOT. PURSUANT TO C.R.S. 38-52-103(2) METRIC CONVERSION IS: ONE METER EQUALS 3937 / 1200 FEET.
6. DATE OF FIELD SURVEY: APRIL 9, 2020
7. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 143,370 SQUARE FEET, OR 3.291 ACRES, MORE OR LESS.
8. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
9. THE PROPERTY LIES WITHIN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 08001C0584H, PANEL 584, REVISED MARCH 5, 2017.
10. REFER TO THE OPERATION AND MAINTENANCE MANUEL RECORDED _____ AT RECEPTION NO. _____ FOR ADDITIONAL DRAINAGE GUIDELINES.
11. TEN-FOOT (10') WIDE UTILITY EASEMENTS ALONG THE EAST SIDE OF THE OSAGE STREET RIGHT-OF-WAY AND ALONG THE NORTH SIDE OF THE W. 79TH WAY RIGHT-OF-WAY; SIX-FOOT (6') WIDE UTILITY EASEMENTS ALONG THE WEST SIDE OF THE OSAGE STREET RIGHT-OF-WAY; EIGHT-FOOT (8') WIDE UTILITY EASEMENTS ALONG THE EAST SIDE OF THE PECOS STREET RIGHT-OF-WAY ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, EIGHT-FOOT (8') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.
12. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
13. STATEMENT RESTRICTING ACCESS: ACCESS RIGHTS ACROSS THE RIGHT-OF-WAY LINES OF MAJOR HIGHWAYS, PARKWAYS, STREETS OR FREEWAYS, ARE RESTRICTED WHERE REQUIRED AS A PROVISION OF APPROVAL.

LEGEND

- FOUND SECTION CORNER, AS NOTED
- FOUND 3-1/4" ALUMINUM CAP, AS NOTED
- FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
- SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
- U.E. UTILITY EASEMENT

CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
C4	38.00'	59.88'	090°17'34"	N45°06'54"W	53.88'
C5	38.00'	59.87'	090°16'40"	N45°06'27"W	53.87'
C6	2.50'	3.93'	090°00'00"	N65°46'42"W	3.54'
C7	2.50'	4.67'	107°02'08"	N15°42'14"E	4.02'
C8	19.50'	13.24'	038°54'30"	N57°16'05"W	12.99'
C9	9.50'	13.93'	084°00'47"	S61°12'39"W	12.72'
C10	62.50'	5.88'	005°23'41"	N21°54'06"E	5.88'
C11	9.50'	7.21'	043°28'05"	N55°02'56"W	7.04'
C12	2.50'	4.07'	093°10'49"	S56°37'37"W	3.63'
C13	12.00'	7.14'	034°06'03"	S17°17'48"E	7.04'

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	16.50'	N 0°01'53" E
L2	16.50'	N 0°01'53" E
L3	23.75'	S 0°14'47" E
L4	14.99'	S 13°13'02" W
L5	4.41'	S 48°46'50" E
L6	14.01'	N 69°13'18" E
L7	7.93'	S 20°46'42" E

LINE TABLE

LINE #	LENGTH	DIRECTION
L8	5.96'	N 20°46'42" W
L9	14.75'	N 69°13'18" E
L10	10.92'	N 76°46'58" W
L11	7.72'	N 76°46'58" W
L12	2.94'	S 10°02'13" W
L13	26.68'	S 76°46'58" E



Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature



Narrative PUD-PDP Amendment 1

Delwest Development Corporation is proposing to amend their current Sherrelwood Village PUD-PDP to include approximately 47 new townhomes on 3.3 Acres of additional land adjacent and to the north of the single-family homes we are currently building.

7996 and 8000 Pecos St were purchased to offer a lower, more “workforce” focused priced housing solution for the community than a new traditional single-family home. Delwest has repurposed several Westminster Schools blighted properties. We will be demolishing a vacant, blighted building, the former Children’s Outreach Project, and building new attainable housing stock.

Within this PUD amendment, several features of the site exhibit superior design over County requirements as described below:

With the addition of Townhomes to the PUD, we are required to provide 3.3 Acres of open space with 25% of that being active open space. This PUD now provides 4.4 Ac of open space with 1.0 Ac of that being active open space which exceeds the requirements. Within the active open space we are providing a play structure and seating areas by the townhomes for family gathering. This is in addition to the shade structure and seating provided near the single-family homes. Walkways connect both active open space areas to the rest of the neighborhood.

To the east of the project site sits Sherrelwood Park which is a fantastic community amenity. To enhance this park even further we have been working with Hyland Hills to create an outdoor amenity space within the park itself in exchange for using offsite detention. This amenity will be an additional gathering place for the community that everybody can use. Ongoing coordination with Hyland Hills and neighbors will determine the final amenity, whether it be a shade structure, playground, or other type of activity area.

The townhome addition to the PUD will have little to no impact on public infrastructure. Delwest is responsible for all onsite infrastructure and associated costs. This includes the stoplight at Sherrelwood Dr which connects into the townhomes area and down into the single-family portion. This improves access to the current subdivision by creating a loop, with 2 access points on Pecos St and especially enhances ingress and egress to and from southbound traffic. Residents will also have a safe location to cross Pecos Dr.



Additional parking will be provided as part of the townhome addition to the PUD. Each unit will have a 2-car tandem garage which meets the minimum parking requirement of parking. This townhome addition also provides 22 guest spaces in parking lots and 40 driveways spaces in front of units for a total of 62 guest spaces. This an improvement over the required 24 guest spaces.

We at Delwest are excited to have the opportunity to enhance this neighborhood and bring market rate housing to the area. We look forward to working with the community and staff moving forward.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
PROJECT NO: PRC2020-00010

LEGAL DESCRIPTION

LEGAL DESCRIPTION: ELMWOOD NORTH OVERALL BOUNDARY

A PARCEL OF LAND BEING SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000075343 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000073502 ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;
THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED AT RECEPTION NO. 2019000075343;
THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.10 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;
THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING THREE (3) COURSES:

1. S 76°46'55" E, A DISTANCE OF 178.58 FEET;
2. S 21°38'59" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED AT RECEPTION NO. 2019000075343 AND SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 534.54 FEET;
3. S 33°40'19" E, ALONG THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 83.13 FEET;

THENCE ALONG THE EAST AND SOUTH LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING SIX (6) COURSES:

1. S 14°37'52" E, A DISTANCE OF 76.08 FEET;
2. N 88°03'04" E, A DISTANCE OF 39.50 FEET
3. S 17°49'46" E, A DISTANCE OF 104.05 FEET;
4. S 55°05'47" E, A DISTANCE OF 112.26 FEET;
5. S 01°01'29" E, A DISTANCE OF 259.37 FEET, TO A POINT ON THE NORTH LINE OF ELMWOOD PARK SUBDIVISION, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. C0184761, SAID ADAMS COUNTY RECORDS;
6. S 89°32'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 611.65 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 586.62 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

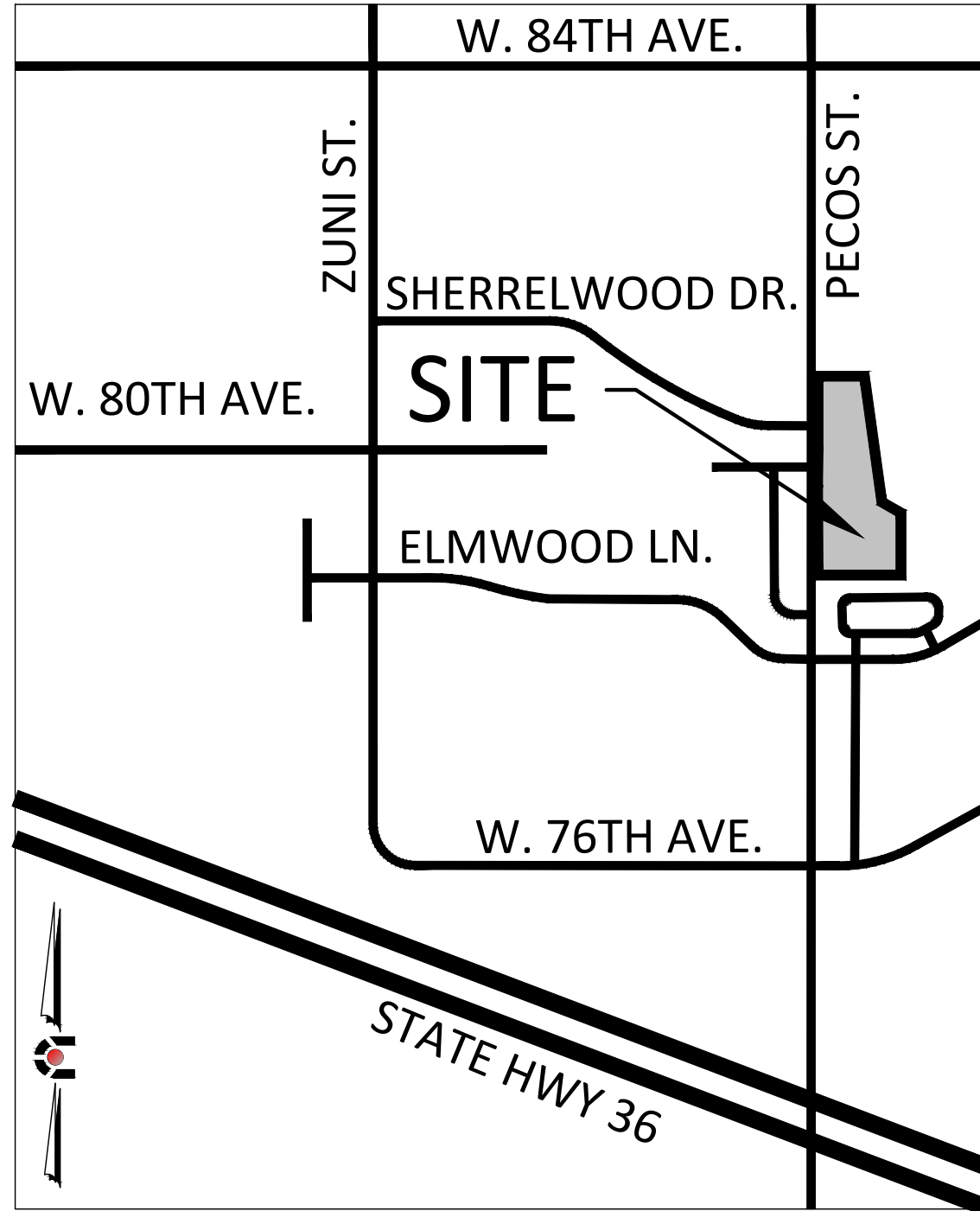
CONTAINING AN AREA OF 450,875 SQUARE FEET OR 10.351 ACRES, MORE OR LESS.

STAFF REVIEW

Approved as to form by:

Director of Community and Economic Development

County Attorney



VICINITY MAP

SCALE: 1"= 1000'

PLANNER

Terracina Design
10200 E. Girard Avenue, Ste. A314
Denver, Colorado 80231
Contact: Layla Rosales
(303) 632-8867

ARCHITECT

Lawrence Architecture Inc.
2686 Alamo Avenue
Littleton, Colorado 80120
Contact: Rick Lawrence
(303) 794-8798

APPLICANT

DelWest Development Corp.
155 South Madison St. Ste. 326
Denver, Colorado 80209
Contact: Derrell Schreiner
(720) 708-4065

ENGINEER/SURVEY

Core Consultants
1950 W Littleton Blvd. Ste. 109
Littleton, Colorado 80120
Contact: Dave Forbes
(303) 703-4444

SHEET INDEX

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CERTIFICATE OF OWNERSHIP

7840 Pecos Investments LLC being the owner of Sherrelwood Village located in the county of Adams, State of Colorado, hereby submit this Planned Unit Development - Preliminary Development Plan and agree to perform under the terms noted hereon.

Owner's Signature _____

State of _____)
County _____) ss
City _____)

The foregoing ownership certificate was acknowledged before me this _____ day of _____, 20__.

Notary Public _____

My Commission Expires: _____

PLANNING COMMISSION APPROVAL

Approved by the Adams County Planning Commission
this _____ day of _____, 20__

Chair _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

Approved by the Adams County Board of County Commissioners
this _____ day of _____, 20__

Chair _____

CLERK & RECORDERS CERTIFICATE

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____, 20__.

County Clerk and Recorder _____

By Deputy _____

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

SHEET TITLE

COVER SHEET

SHEET NUMBER

1 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

12-16-2020

NOT FOR CONSTRUCTION

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

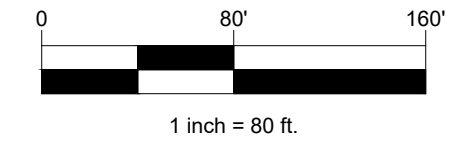
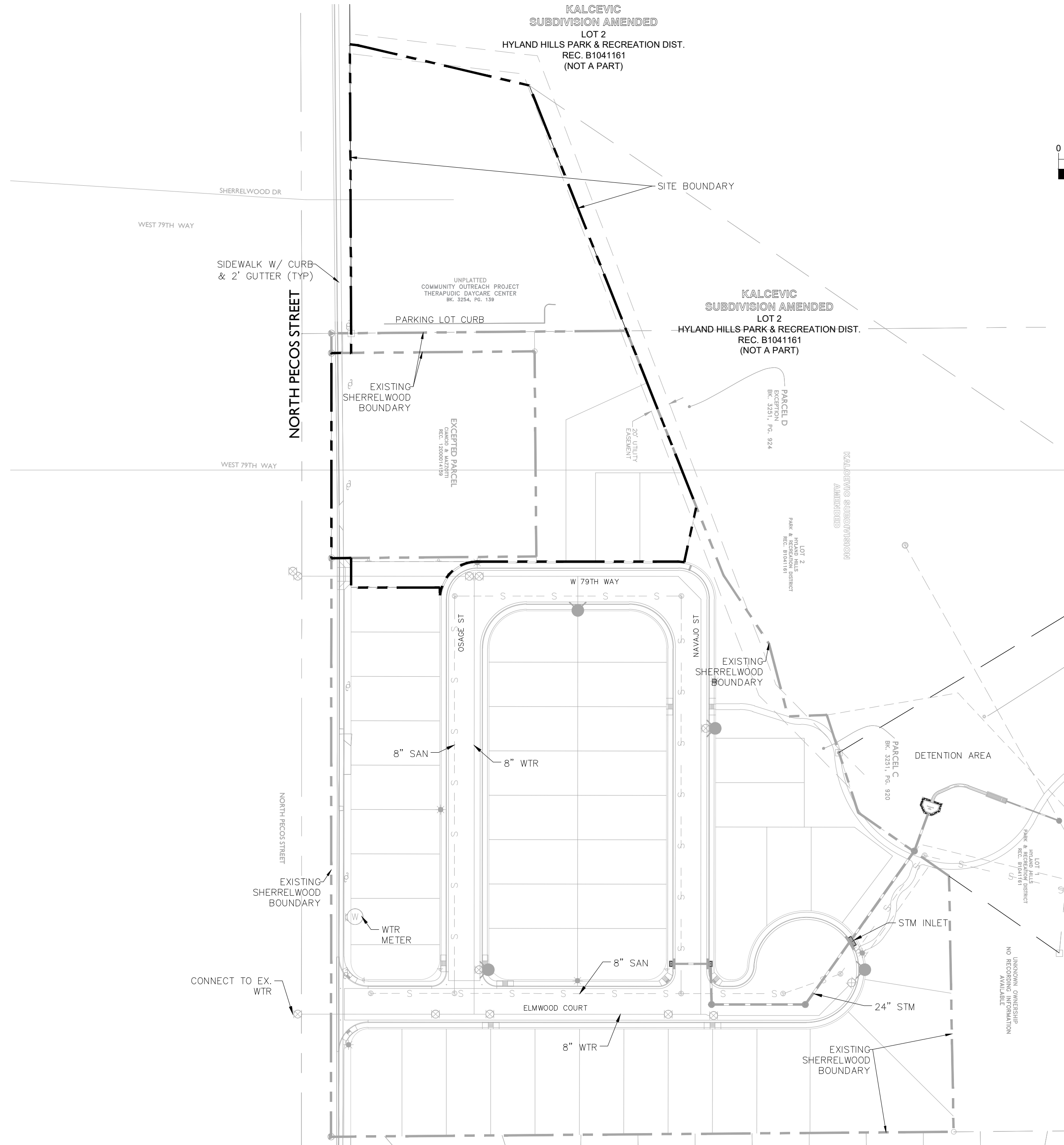
LOT 16, BLOCK 51, PERL-MACK MANOR, EIGHTH FILING AND PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
PROJECT NO: PRC2020-00010

LEGEND, EXISTING

- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
- SET NAIL AND TAG PLS 38151
- FOUND 1.5" ALUMINUM CAP STAMPED AS SHOWN
- FOUND #4 REBAR, NO CAP
- FOUND NAIL AND BRASS TAG PLS 34579
- ⊕ FOUND CHISELED CROSS
- ⊙ DECIDUOUS TREE & DIAMETER
- FO— COMM. UTILITY MARKING
- E— ELECTRIC UTILITY MARKING
- G— GAS UTILITY MARKING
- ⊗ GAS VALVE
- OH— OVERHEAD UTILITY LINE
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ SANITARY SEWER MANHOLE
- W— WATER UTILITY MARKING
- ⊙ WATER METER
- ⊗ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ SIGN
- CLF CHAINLINK FENCE
- WF WOOD FENCE
- AOC AREA OF CONCERN

LEGEND PROPOSED

- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED STORM

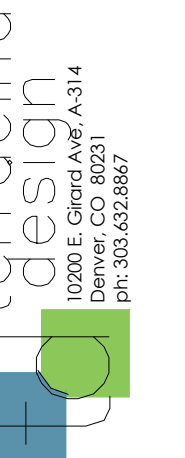


SHEET TITLE

EXISTING SITE

SHEET NUMBER

2 OF 18



PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

NOT FOR CONSTRUCTION

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

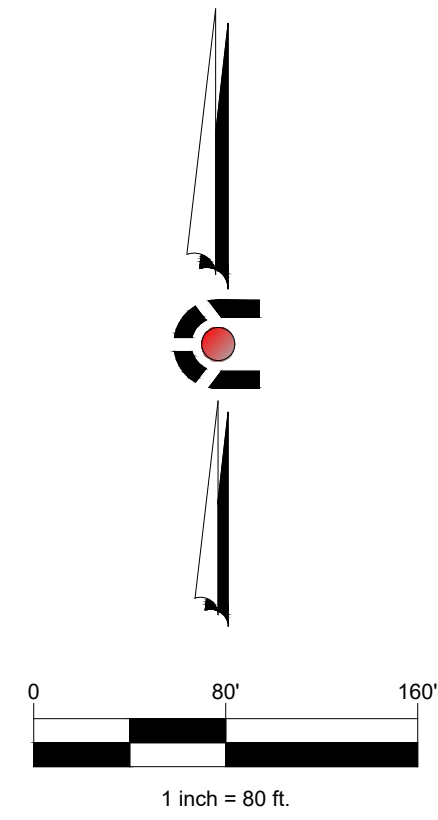
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LEGEND PROPOSED

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- PROPOSED STORM

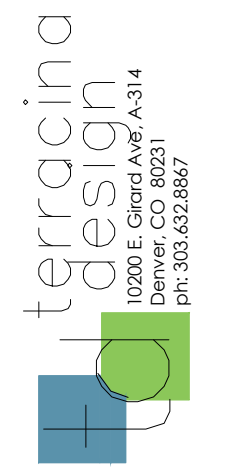


SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

3 OF 18



PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

NOT FOR CONSTRUCTION

x:\19-165 elmwood estates\civil\cad\plans\pud\overall site plan - overall.dwg

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

GENERAL NOTES

A. SITE COMPLIANCE NOTE:

1. A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED BY ADAMS COUNTY UNTIL ALL ON-SITE AND PUBLIC IMPROVEMENTS SUCH AS GRADING, DRAINAGE, SIDEWALKS, CURB AND GUTTER, SPECIALTY PAVING AND ALLOTHER FEATURES THAT APPEAR ON THE APPROVED SITE PLAN ARE COMPLETED.
2. SURFACED ACCESS ROADS OR STREETS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
3. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PROVIDED DRIVES.
4. ADAMS COUNTY IS NOT RESPONSIBLE FOR PRIVATE LANDSCAPING, STRUCTURES AND FACILITIES (WALLS, FENCES, ETC.) WITHIN STORM AND SANITARY SEWER EASEMENTS.
5. ON-SITE STORM DRAINAGE FACILITIES AND LANDSCAPING SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER; ITS SUCCESSORS AND/OR ASSIGNS.

B. LIGHTING NOTE:

1. IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHERE IT ORIGINATES.
2. OPERATIONS AND MAINTENANCE OF ALL STREET LIGHTS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION, DEVELOPER, OR THEIR ASSIGNS.

C. MAINTENANCE RESPONSIBILITY NOTES:

1. THE OWNERS OF THE SINGLE FAMILY LOTS, THEIR SUCCESSORS, HEIRS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO AN APPROVED SITE PLAN. THAT AREA SHALL BE DEEMED TO INCLUDE AN AREA MEASURED FROM THE BACK OF THE CURB LINE TO, AND INCLUDING ALL AREAS SUBJECT TO THE APPROVED SITE PLAN AND DRAINAGE REPORT.
2. THE TOWNHOME LANDSCAPE AREA WITHIN LOTS 1 AND 2 OF SHERRELWOOD VILLAGE FIRST AMENDMENT OF THE PLAT WILL BE MAINTAINED BY THE HOA.
3. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN; FOR EXAMPLE A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, A GROUND COVER MUST REPLACE A GROUND COVER, ETC.. REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, SUCH REPLACEMENT TIME SHALL NOT EXCEED ONE (1) YEAR. ANY REPLACEMENT WHICH CONFORMS TO THE REQUIREMENTS OF THIS SECTION, SHALL NOT BE CONSIDERED AN AMENDMENT TO THE SITE PLAN.

D. SIGNAGE NOTE:

1. APPROVAL OF A SIGN PERMIT IS REQUIRED WHICH WILL INCLUDE A SITE PLAN TO VERIFY ANY POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND UTILITY EASEMENTS.

E. DOWNSPOUT NOTE:

1. NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY PEDESTRIAN ROUTE.

F. MAILBOX LOCATION:

1. MAILBOXES SHALL BE LOCATED ON OSAGE STREET, ADJACENT TO TRACT A FOR SINGLE FAMILY HOMES. MAILBOXES WILL BE CENTRALLY LOCATED FOR THE TOWNHOMES. EXACT LOCATION AND CONFIGURATION TO BE DETERMINED BY UNITED STATES POSTAL SERVICE REQUIREMENTS AND GUIDELINES.

G. FENCING:

1. SIX FOOT HEIGHT PRIVACY FENCE IS PROVIDED ON THE PDP. HOWEVER, HOMEOWNERS ADJACENT TO OPEN SPACE MAY INSTALL 42" HEIGHT OPEN RAIL OR OPAQUE FENCING.
2. PRIVATE LOT OWNERS WILL BE ALLOWED TO INSTALL SIX FOOT HEIGHT PRIVACY FENCE ALONG SIDE AND REAR LOT LINES WHERE ADJACENT TO NEIGHBORING LOTS. WING WALL PRIVACY FENCE MAY BE INSTALLED FROM THE SIDE YARD FENCE TO THE FRONT CORNER OF THE HOUSE. FENCING MAY NOT BE PLACED ANY FURTHER FORWARD ON THE LOT THAN THE FRONT CORNERS OF THE MAIN LIVING AREA OF THE HOME, INCLUDING THE GARAGE
3. FENCING MAY NOT BE PAINTED ANY COLORS. ONLY A SEALANT PRODUCT TO PROTECT THE WOOD MAY BE USED AS LONG AS IT DOES NOT ALTER THE NATURAL COLOR OF THE WOOD.

H. PUBLIC LAND DEDICATION FEE.

1. PER CHAPTER 5 OF THE COUNTY'S DEVELOPMENT STANDARDS AND REGULATIONS, THE DEVELOPER IS REQUIRED TO DEDICATE LAND TO SUPPORT NEW OR EXPANDED PARKS AND SCHOOLS TO SERVE THE RESIDENTS OF THE PROPOSED SUBDIVISION. AS AN ALTERNATIVE TO LAND DEDICATION, THE BOARD OF COUNTY COMMISSIONERS MAY REQUIRE THE PAYMENT OF CASH-IN-LIEU. PER THE MARKET VALUE CALCULATIONS IN CHAPTER 5 OF THE COUNTY'S SUBDIVISION REGULATIONS, \$33,199.20, OR 0.9 ACRES OF LAND, IS REQUIRED TO SATISFY THE NEIGHBORHOOD PARK REQUIREMENT. THE DEVELOPER AGREES TO CONSTRUCT AN OFF-SITE TRAIL CONNECTION TO AN EXISTING HIGHLAND HILLS PARKS AND RECREATION TRAIL ON PROPERTY ADJACENT TO THE PROPOSED SUBDIVISION. A CREDIT IN THE AMOUNT OF \$10,951.00 FOR THE CONSTRUCTION OF 233 SY OF A SIX (6) FOOT WIDE CONCRETE TRAIL LOCATED IN SHERRELWOOD PARK SHALL BE APPLIED TO THE REQUIRED PUBLIC LAND DEDICATION REQUIREMENTS (CASH-IN-LIEU) FOR NEIGHBORHOOD PARKS.

I. TRASH NOTE:

1. TRASH SHALL BE LOCATED IN INDIVIDUAL UNITS VIA TRASH CONTAINERS.

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

4 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

12-16-2020

NOT FOR CONSTRUCTION

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SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

NARRATIVE

A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD AND ITS POTENTIAL IMPACT ON THE SURROUNDING AREA:

SHERRELWOOD VILLAGE PUD CONSISTS OF APPROXIMATELY 10.4 ACRES IN ADAMS COUNTY, COLORADO. THE SITE IS BOUNDED BY RESIDENTIAL HOMES TO THE WEST AND SOUTH, SHERRELWOOD ELEMENTARY AND PARK TO THE EAST AND VACANT LAND AND PRIVATE BUSINESS TO THE NORTH. SHERRELWOOD VILLAGE IMPROVEMENTS INCLUDE 41 SINGLE FAMILY DETACHED HOMES, 47 TOWNHOME UNITS, ROADWAYS AND OPEN SPACE. THE CONDITION OF THIS SITE IS SUITABLE FOR BOTH SINGLE FAMILY RESIDENTIAL UNITS AND TOWNHOME UNITS WITHOUT ANY LIMITATIONS OR RESTRICTIONS.

B. EXPECTED DENSITIES AND LAND COVERAGE:

SHERRELWOOD VILLAGE CONSISTS OF 41 SINGLE FAMILY DETACHED LOTS AND 47 TOWNHOMES UNITS ON 10.4 ACRES FOR A MAXIMUM DENSITY OF 8.5 DU/AC.

C. NUMBER, TYPE AND SIZE OF BUILDING UNITS:

FORTY-ONE (41) SINGLE FAMILY DETACHED LOTS AND FORTY-SEVEN (47) TOWNHOMES ARE PROPOSED IN THE SHERRELWOOD VILLAGE PDP. THE HOMES WILL BE ONE AND TWO STORY FRONT LOADED WITH A STANDARD TWO CAR GARAGE. THE SIZES OF THE HOMES WILL VARY FROM 1,300 TO 2,000 SQUARE FEET FOR SINGLE FAMILY AND 1,700 TO 2,300 SQUARE FEET FOR TOWNHOMES.

D. PROVISIONS FOR PARKING:

EACH SINGLE FAMILY HOME WILL HAVE A TWO CAR ATTACHED GARAGE AND AN OFF-STREET DRIVEWAY. EACH TOWNHOME UNIT WILL HAVE A 2 CAR TANDEM GARAGE. MOST TOWNHOME UNITS HAVE DRIVEWAYS ALONG WITH (22) OFF STREET PARKING SPACES FOR GUESTS. THESE FRONT ACCESSED GARAGES AND DRIVEWAYS WILL EASILY ACCOMMODATE THE MINIMUM REQUIRED TWO (2) PARKING SPACES PER HOME AND (1) GUEST SPACE FOR EVERY 2 TOWNHOMES.

E. CIRCULATION AND ROAD PATTERNS:

TWO (2) PUBLIC LOCAL STREETS, A LOOP ROAD AND ONE WITH A CUL-DE-SAC ARE PROVIDED ALLOWING EASY ACCESS TO ALL HOMES. TWO PRIMARY ACCESSES ARE PROVIDED OFF OF PECOS STREET ELMWOOD LANE AND SHERRELWOOD DRIVE. ACCESS TO REGIONAL TRANSPORTATION ROUTES IS VIA PECOS. ALL STREETS WILL HAVE ATTACHED CONCRETE SIDEWALKS AND WILL MEET THE CURRENT STANDARDS FOR STREET CONSTRUCTION WITHIN ADAMS COUNTY. A CONCRETE TRAIL CONNECTION WILL BE PROVIDED TO CONNECT THE DEVELOPMENT TO THE PARK AND PUBLIC SCHOOL TO THE EAST.

F. OWNERSHIP AND MAINTENANCE OF COMMON AREAS:

LANDSCAPE EASEMENT ALONG PECOS ST WILL BE OWNED AND MAINTAINED BY THE HOA

 TRACTS A AND C, INCLUDING THE LANDSCAPE WITHIN TOWNHOME LOTS WILL BE OWNED AND MAINTAINED BY THE HOA, ITS SUCCESSORS AND/OR ASSIGNS.

G. TYPE, LOCATION, EXAMPLES OF COPY AND CONSTRUCTION SIGNS.

PERMANENT SIGNS
 THE COMMUNITY MAY HAVE ONE ENTRY MONUMENT SIGN LOCATED WITHIN TRACT A; SETBACK AT LEAST EIGHT (8) FEET FROM THE FRONT PROPERTY LINE (ROW) AND EQUAL TO THE HEIGHT OF THE SIGN FROM SIDE AND REAR PROPERTY LINES. THE MONUMENT WILL BE A MAXIMUM OF SIX (6) FEET IN HEIGHT AND TEN(10) FEET IN LENGTH WITH A MAX SIGN AREA OF THIRTY (30) SQUARE FEET PER SIGN FACE. THE MONUMENT MAY BE INTERNALLY LIGHTED OR HAVE ACCENT LANDSCAPE LIGHTING AND INCLUDE LANDSCAPING OF 2.5 SQUARE FEET PER SQUARE FOOT OF SIGN AREA. THE ENTRY MONUMENT WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER, ITS SUCCESSORS AND/OR ASSIGNS.

TEMPORARY MARKETING SIGNS:
 INTERIM PROJECT ID - ONE (1) THIRTY-TWO (32) SF (PER SIGN FACE) FREESTANDING MARKETING SIGN, NOT EXCEEDING TWELVE (12) FEET IN HEIGHT IS PERMITTED WITHIN TRACT A. THE SIGN WILL BE REMOVED UPON BUILD OUT OF THE DEVELOPMENT.

MARKETING BANNERS:
 UP TO TWO (2) MARKETING BANNERS WITH A MAXIMUM OF THIRTY-TWO (32) SF OF SIGN AREA TO BE MOUNTED ON TEMPORARY OR PERMANENT SITE WALLS. SIGNS MAY NOT BE MOUNTED ON FENCES. MARKETING BANNERS MAY BE INCORPORATED INTO CONSTRUCTION SCREENING.

H. TYPE AND ALLOCATION OF ALL USES INCLUDING PERMITTED USES, USE AS PERMITTED AFTER AMENDMENT TO THE PUD AND PROHIBITED USES:

PERMITTED USES WITHIN SHERRELWOOD VILLAGE INCLUDE SINGLE FAMILY DETACHED RESIDENTIAL, TOWNHOMES, OPEN SPACE AND HOME BASED OCCUPATIONS AS PERMITTED BY ADAMS COUNTY. TEMPORARY USES INCLUDE OPEN SPACE AND LANDSCAPE IMPROVEMENTS, CONSTRUCTION OFFICES, SALES CENTER AND RELATED IMPROVEMENTS. SALES CENTERS AND TEMPORARY CONSTRUCTION TRAILERS REQUIRE PERMITS FROM ADAMS COUNTY PRIOR TO LOCATING ON THE PROPERTY.
 ANY STANDARDS AND ALLOWANCES FOR TOWNHOMES NOT EXPLICITLY LISTED IN THIS PUD SHALL FOLLOW R-3 ZONING

I. LOCATION AND TYPES OF LANDSCAPING AND MAINTENANCE PROVISIONS:

PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY. ADAMS COUNTY IS NOT RESPONSIBLE FOR REPAIRING OR MAINTAINING LANDSCAPING THAT IS DAMAGED AS A RESULT OF ROADWAY MAINTENANCE ACTIVITIES, INCLUDING BUT NOT LIMITED TO DE-ICING CHEMICALS AND STREET REPAIRS.

J. DESCRIPTION OF BUILDING ENVELOPES INCLUDING SQUARE FOOTAGE AND/OR MINIMUM SETBACKS, HEIGHT AND GENERAL EXTERNAL CHARACTERISTICS:

THERE ARE 41 SINGLE FAMILY DETACHED RESIDENTIAL AND 47 TOWNHOME UNITS IN THIS PDP. SETBACKS, BUILDING HEIGHT AND SQUARE FOOTAGES SHALL BE CONSISTENT WITH THE DEVELOPMENT STANDARDS TABLE ON SHEET 6.

K. COVENANTS, CONDITIONS & RESTRICTIONS TO BE IMPOSED ON THE PUD:

ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES WILL BE DEVELOPED FOR SHERRELWOOD VILLAGE THROUGH THE COVENANTS, CONDITIONS & RESTRICTIONS (CC&R'S); TO BE ADMINISTERED BY THE ESTABLISHED ASSOCIATION OR DISTRICT.

L. ADDITIONAL CONTROLS SUCH AS ARCHITECTURAL CONTROL COMMITTEE OF A PROPERTY OWNER'S ASSOCIATION:

THE COMMUNITY WILL HAVE AN ASSOCIATION OR DISTRICT THAT WILL ENFORCE THE DESIGN STANDARDS THROUGH THE CC&RS.

M. UTILITY SERVICE PROVIDERS:

THE CITY OF THORNTON WILL PROVIDE WATER AND SANITARY SEWER; XCEL ENERGY PROVIDES GAS AND ELECTRIC SERVICES TO THE SITE.

N. ESTIMATED TIMETABLE FOR DEVELOPMENT:

THE ESTIMATED LENGTH OF TIME FOR BUILD-OUT IS BETWEEN TWO (2) AND THREE (3) YEARS.

O. ANY OTHER PERTINENT FACTORS CONCERNING DEVELOPMENT:

ADAMS COUNTY FIRE PROTECTION DISTRICT SERVICES THE PROPERTY.

SHEET TITLE

NARRATIVE

SHEET NUMBER

5 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE

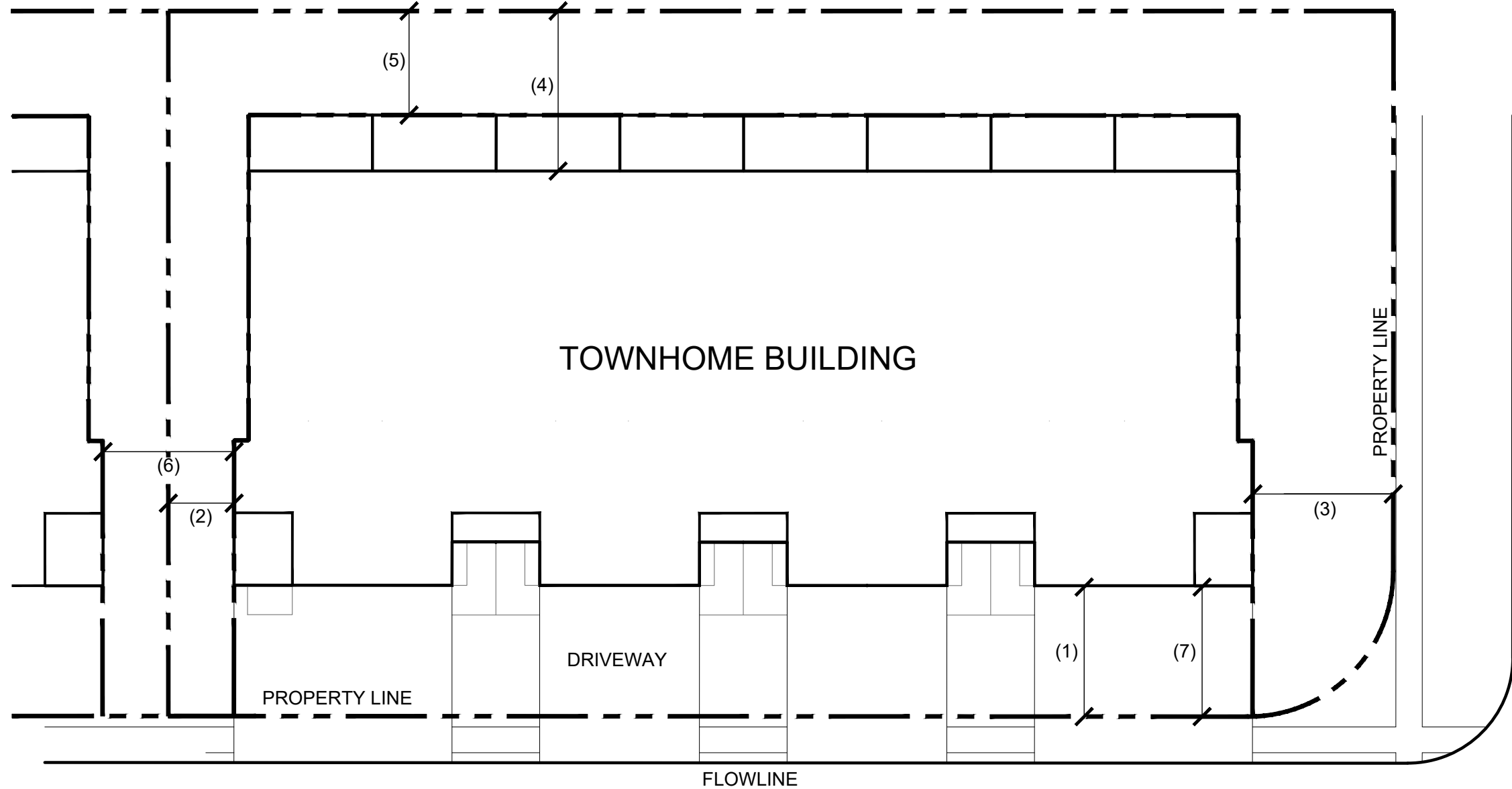
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SHERRELWOOD VILLAGE

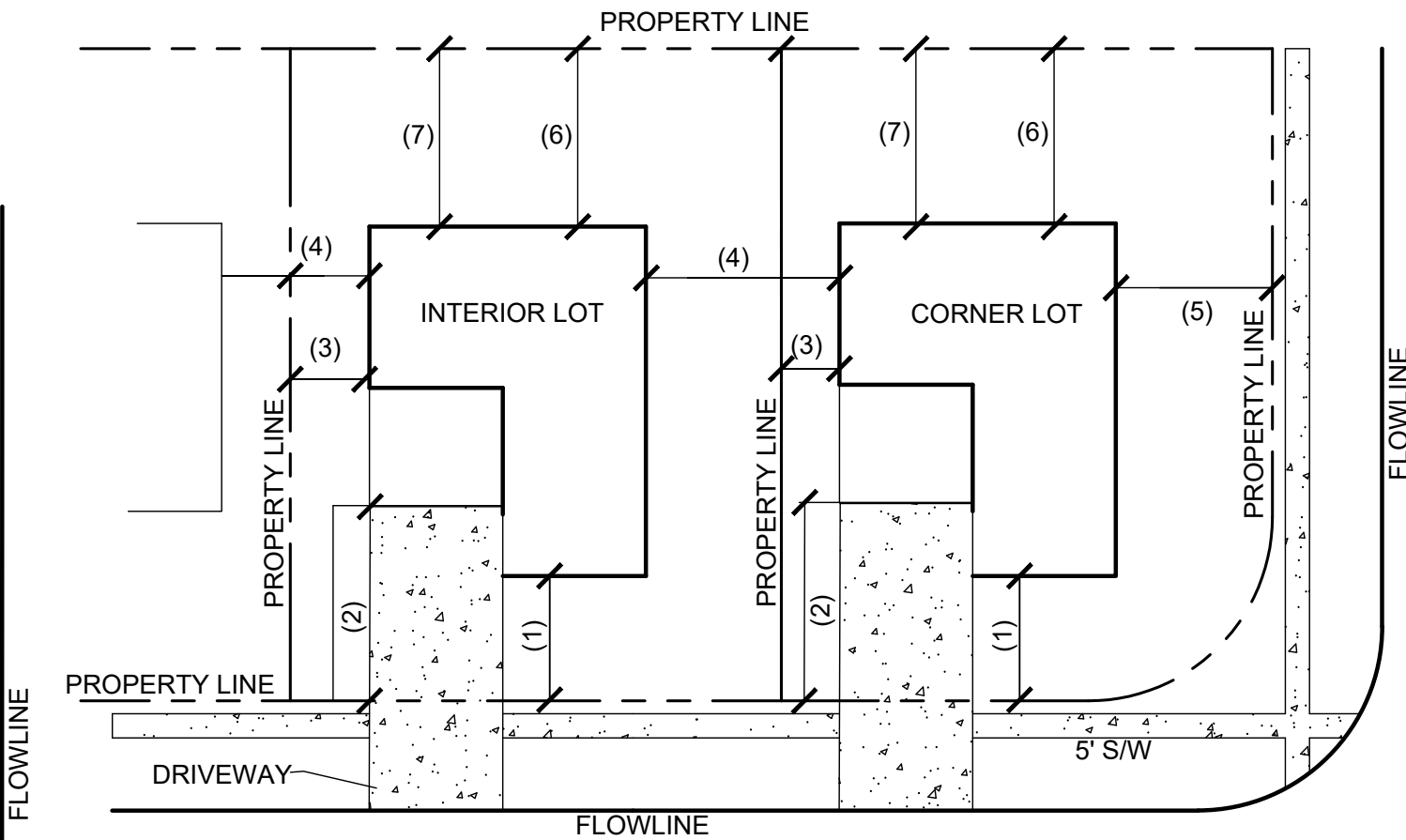
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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010



TYPICAL TOWNHOME SETBACK DETAIL
NTS

TOWNHOME LOT SETBACKS

- (1) 15' FRONT SETBACK
- (2) 5' SIDE SETBACK
- (3) 10' SIDE ON STREET SETBACK
- (4) 10' REAR SETBACK
- (5) REAR PORCH - MAY ENCROACH INTO REAR SETBACK BY 8'
- (6) 10' BUILDING SEPARATION
- (7) 8' PORCH SETBACK



TYPICAL SINGLE FAMILY SETBACK DETAIL
NTS

SINGLE FAMILY LOT SETBACKS

- (1) 10' FRONT SETBACK
- (2) 18' GARAGE SETBACK
- (3) 5' SIDE SETBACK
- (4) 10' BUILDING SEPARATION
- (5) 10' SIDE ON STREET SETBACK
- (6) 10' REAR SETBACK
- (6) 30' REAR SETBACK (BLOCK 1: LOTS 11-21)
- (7) REAR PORCH SETBACK - MAY ENCROACH INTO REAR SETBACK BY 8'. CANNOT BE LOCATED OVER AN EASEMENT.

SINGLE FAMILY ACCESSORY STRUCTURE SETBACKS

- 5' REAR SETBACK
- 5' SIDE SETBACK
- 10' SIDE ON STREET SETBACK

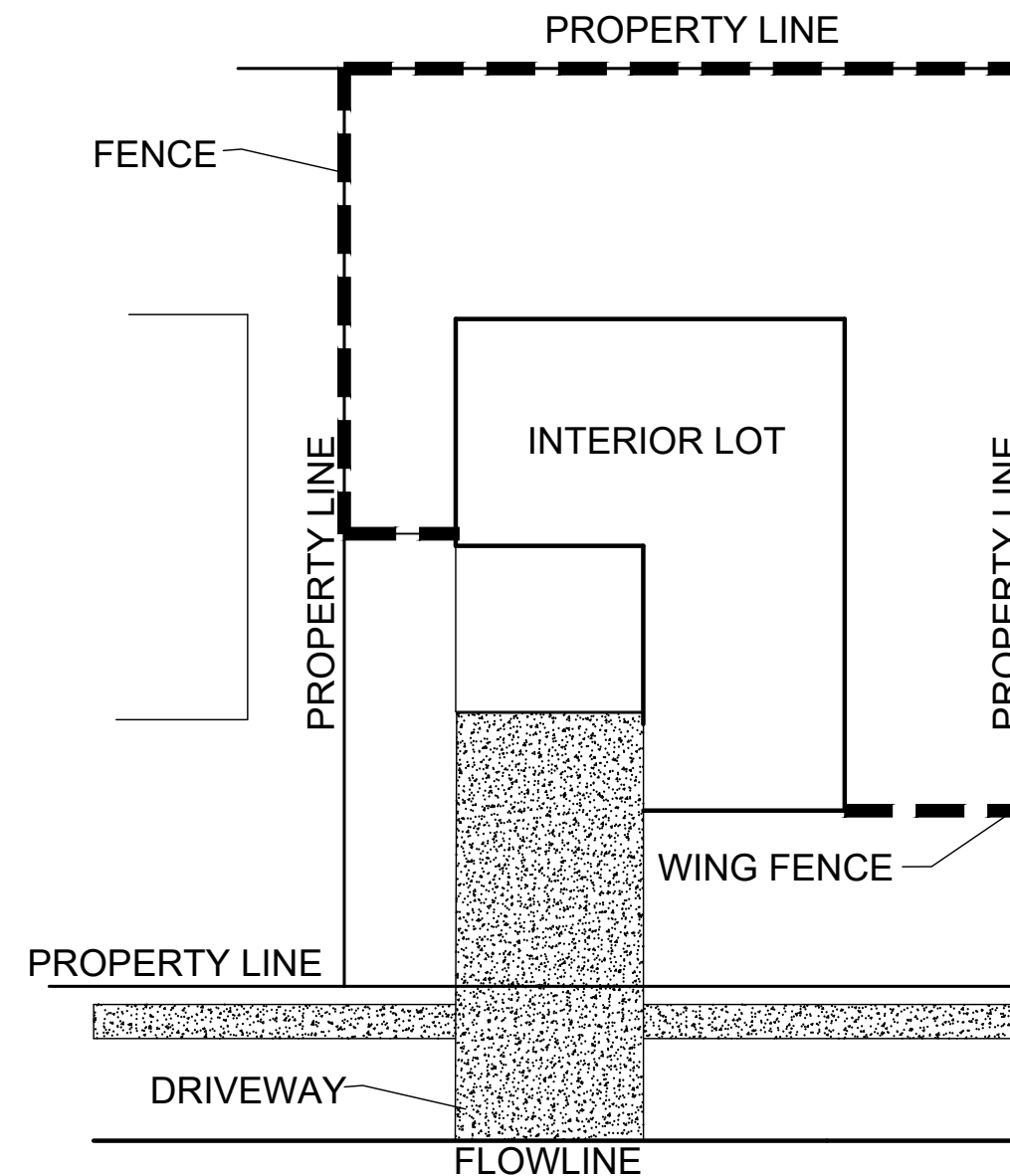
DEVELOPMENT SUMMARY				
LAND USE	ACRES	% ACRES	UNITS	DU/AC
SINGLE FAMILY RESIDENTIAL	4.4	42.9%	41	
TOWNHOMES	1.5	14.4%	47	
OPEN SPACE - TRACTS	1.7	16.9%		
OPEN SPACE - RIGHT OF WAY	2.7	25.8%		
TOTAL	10.4	100.0%	88	8.5

DEVELOPMENT STANDARDS		
USE	SINGLE FAMILY DETACHED HOME	TOWNHOMES
MINIMUM LOT AREA	4,000 S.F.	N/A
MINIMUM FLOOR AREA	1,500 S.F.	1,700 S.F.
MINIMUM LOT WIDTH, (CORNER LOT)	45' (50')	N/A
MAXIMUM LOT COVERAGE	70%	70%
BUILDING COVERAGE		70% MAX
MAXIMUM DENSITY	41 LOTS	47 LOTS
MAXIMUM BUILDING HEIGHT:		
PRIMARY (ACCESSORY)	30' (18')	40' (N/A)

* ANY STANDARDS AND ALLOWANCES NOT EXPLICITLY LISTED IN THIS PUD SHALL FOLLOW R-3 ZONING

NOTES:

- (A) BAY WINDOWS, CANTILEVERS, CHIMNEYS, EXTERIOR POSTS, SOLAR PANELS, MECHANICAL EQUIPMENT, LIGHT FIXTURES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH TWO (2) FEET INTO SETBACKS. IN NO INSTANCE MAY AN ENCROACHMENT CROSS A PROPERTY LINE OR UTILITY EASEMENT.
- (B) SETBACKS ARE MEASURED TO RIGHT OF WAY OR PROPERTY LINE.
- (C) ACCESSORY STRUCTURES ARE NOT PERMITTED IN FRONT YARDS
- (D) 'FRONT YARD' SHALL BE CONSIDERED THAT AREA DEFINED BY THE WIDTH OF THE LOT AND THE DEPTH FROM THE RIGHT-OF-WAY LINE TO FRONT WALL OF THE PRINCIPAL STRUCTURE.



TYPICAL SINGLE FAMILY FENCE DETAIL
NTS

SHEET TITLE

DEVELOPMENT STANDARDS

SHEET NUMBER

6 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
 ADAMS COUNTY, COLORADO

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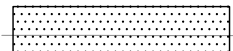


SHERRELWOOD VILLAGE

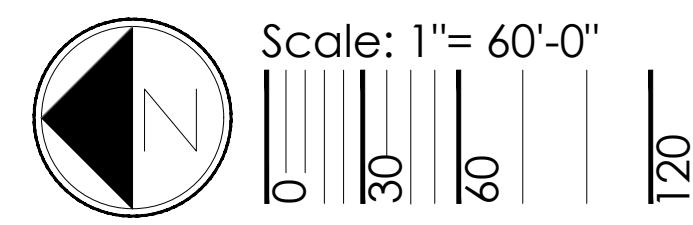
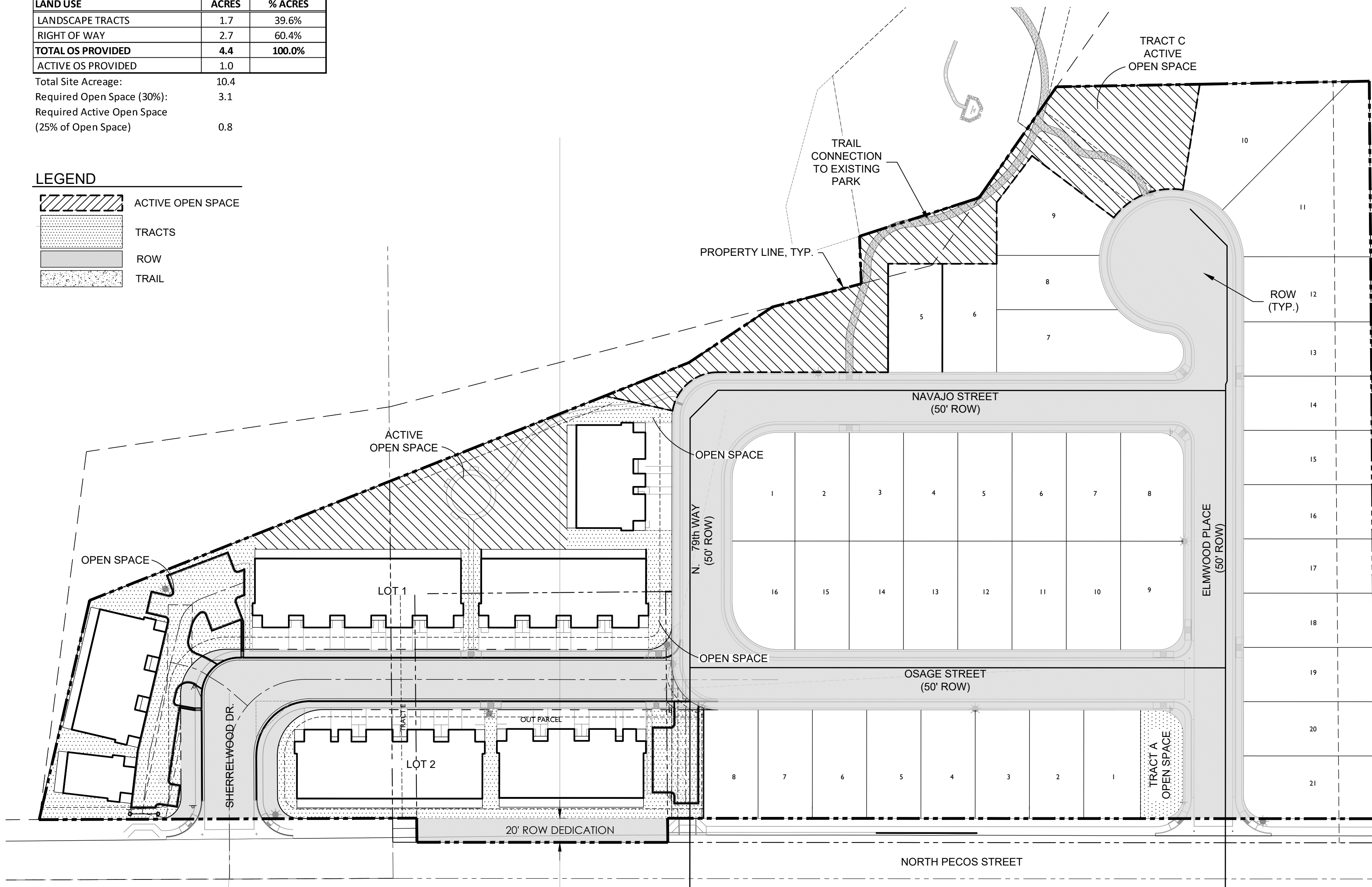
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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

OPEN SPACE SUMMARY		
LAND USE	ACRES	% ACRES
LANDSCAPE TRACTS	1.7	39.6%
RIGHT OF WAY	2.7	60.4%
TOTAL OS PROVIDED	4.4	100.0%
ACTIVE OS PROVIDED	1.0	

Total Site Acreage: 10.4
 Required Open Space (30%): 3.1
 Required Active Open Space (25% of Open Space): 0.8

LEGEND

-  ACTIVE OPEN SPACE
-  TRACTS
-  ROW
-  TRAIL



SHEET TITLE
 OPEN SPACE PLAN
 SHEET NUMBER
 7 OF 20

tterraccina
 design
 10200 E. Girard Ave., A-314
 Denver, CO 80231
 ph: 303.632.8867

PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
 ADAMS COUNTY, COLORADO

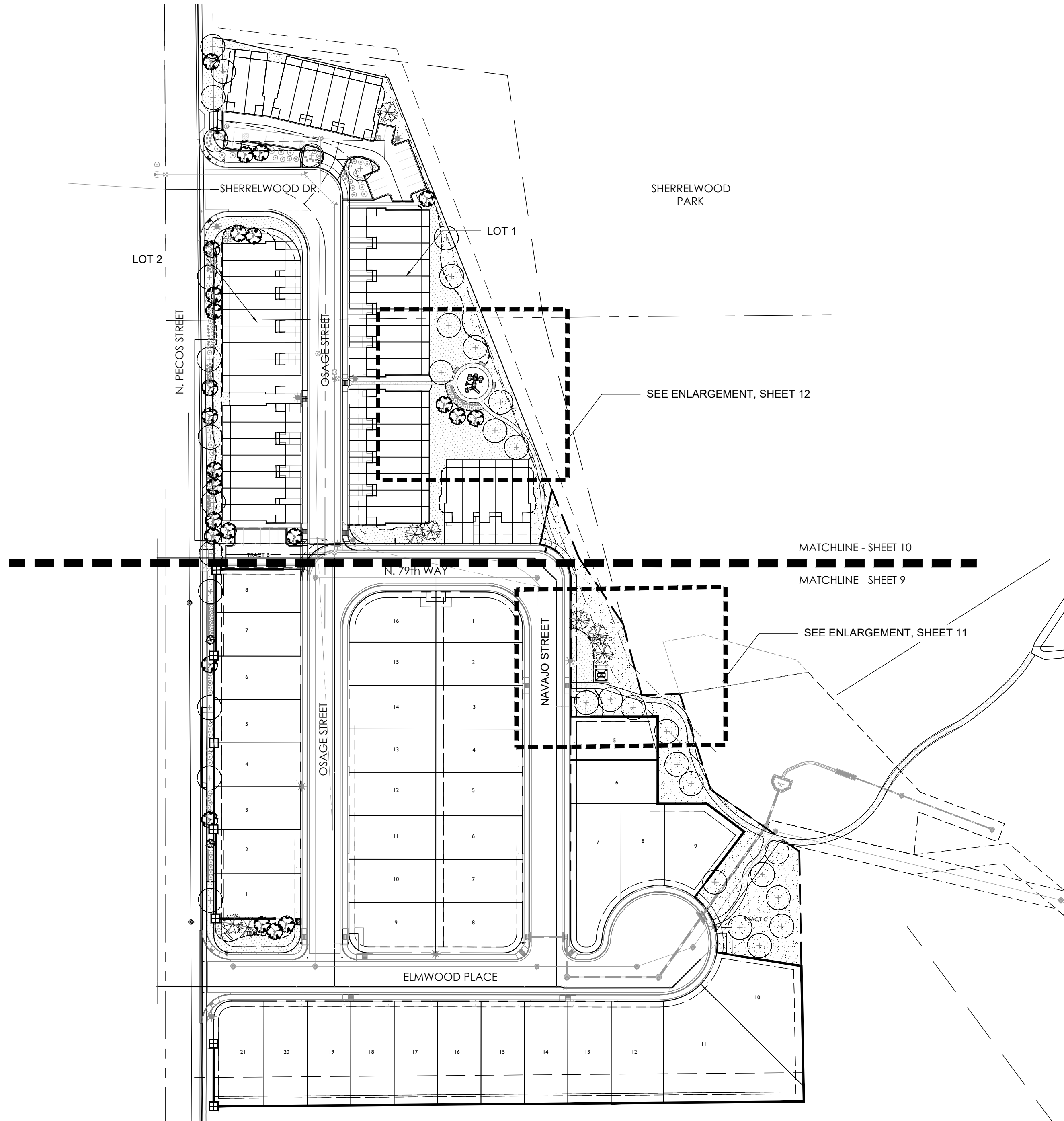
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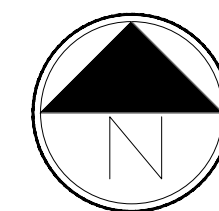
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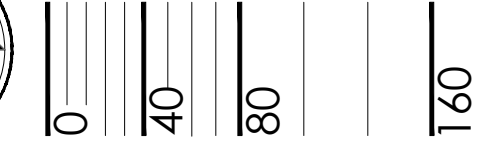


LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- NATIVE SEED
- CRUSHER FINES TRAIL
- CONCRETE WALK
- TURF
- STEEL EDGER
- STREET LIGHT
- FENCE
- FENCE COLUMN



Scale: 1" = 80'-0"



SHEET TITLE

OVERALL LANDSCAPE PLAN

SHEET NUMBER

8 OF 20

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PROJECT NAME

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SHERRELWOOD VILLAGE

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 PROJECT NO: PRC2020-00010

SHEET TITLE
 LANDSCAPE PLAN
 SHEET NUMBER
 9 OF 20

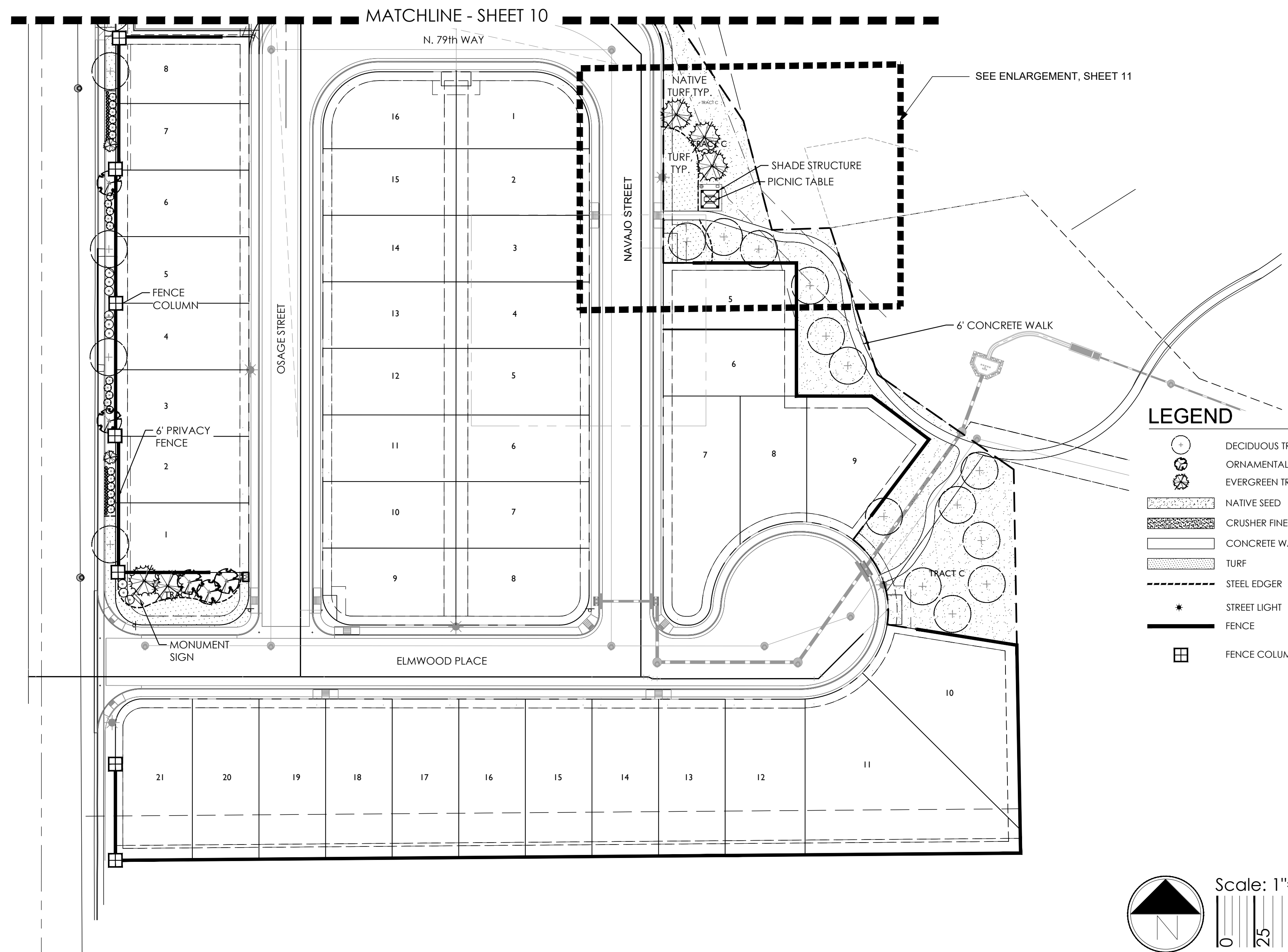
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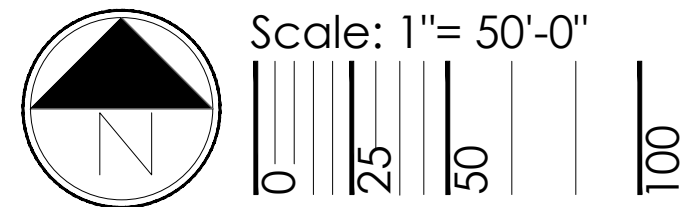
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 ADAMS COUNTY, COLORADO

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- LEGEND**
- DECIDUOUS TREE
 - ORNAMENTAL TREE
 - EVERGREEN TREE
 - NATIVE SEED
 - CRUSHER FINES TRAIL
 - CONCRETE WALK
 - TURF
 - STEEL EDGER
 - STREET LIGHT
 - FENCE
 - FENCE COLUMN



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SHERRELWOOD VILLAGE

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SHEET TITLE
 LANDSCAPE PLAN
 SHEET NUMBER
 10 OF 20

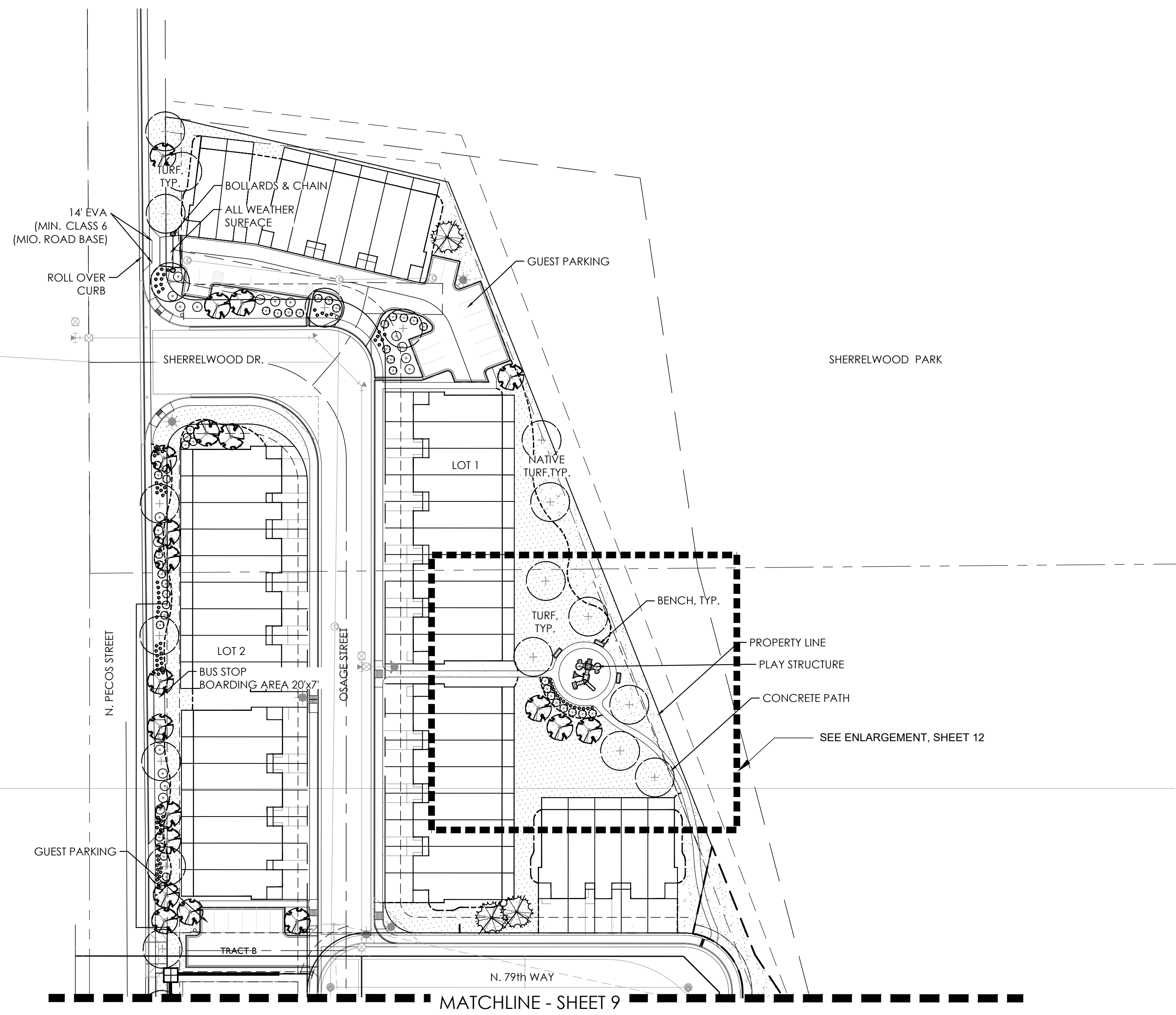
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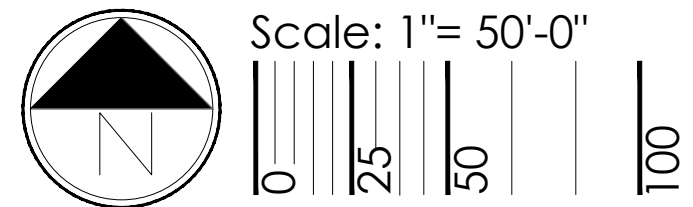
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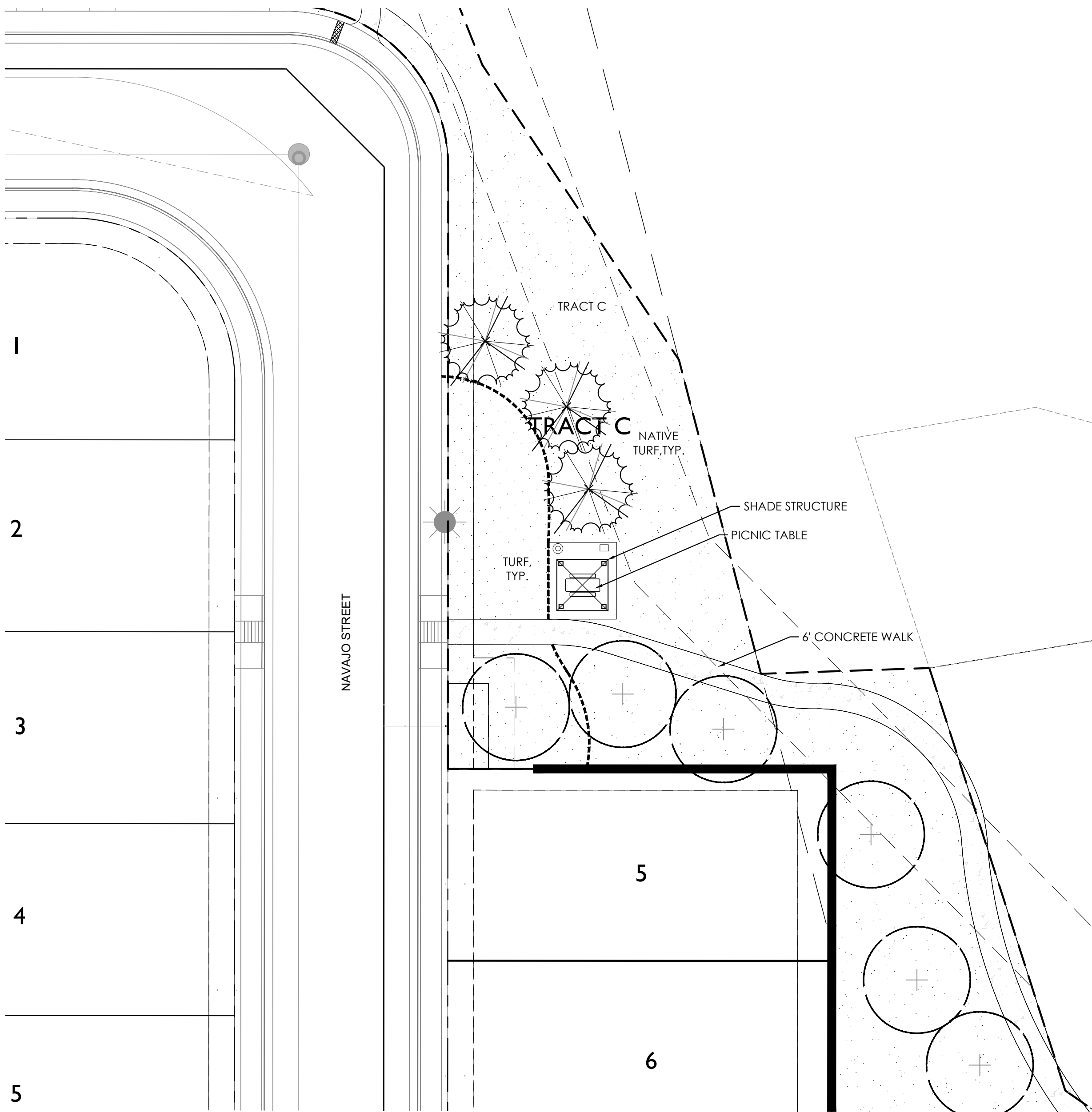
- LEGEND**
- DECIDUOUS TREE
 - ORNAMENTAL TREE
 - EVERGREEN TREE
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 - TURF
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 - FENCE
 - FENCE COLUMN



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SHERRELWOOD VILLAGE

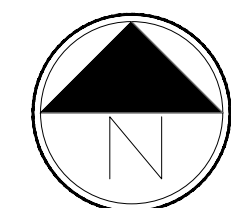
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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010



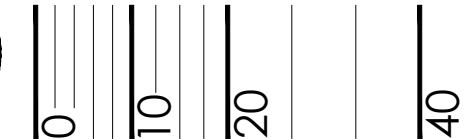
LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- NATIVE SEED
- CRUSHER FINES TRAIL
- CONCRETE WALK
- TURF
- STEEL EDGER
- STREET LIGHT
- FENCE
- FENCE COLUMN

A SINGLE FAMILY ACTIVE OPEN SPACE DETAIL



Scale: 1" = 20'-0"



SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

11 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE

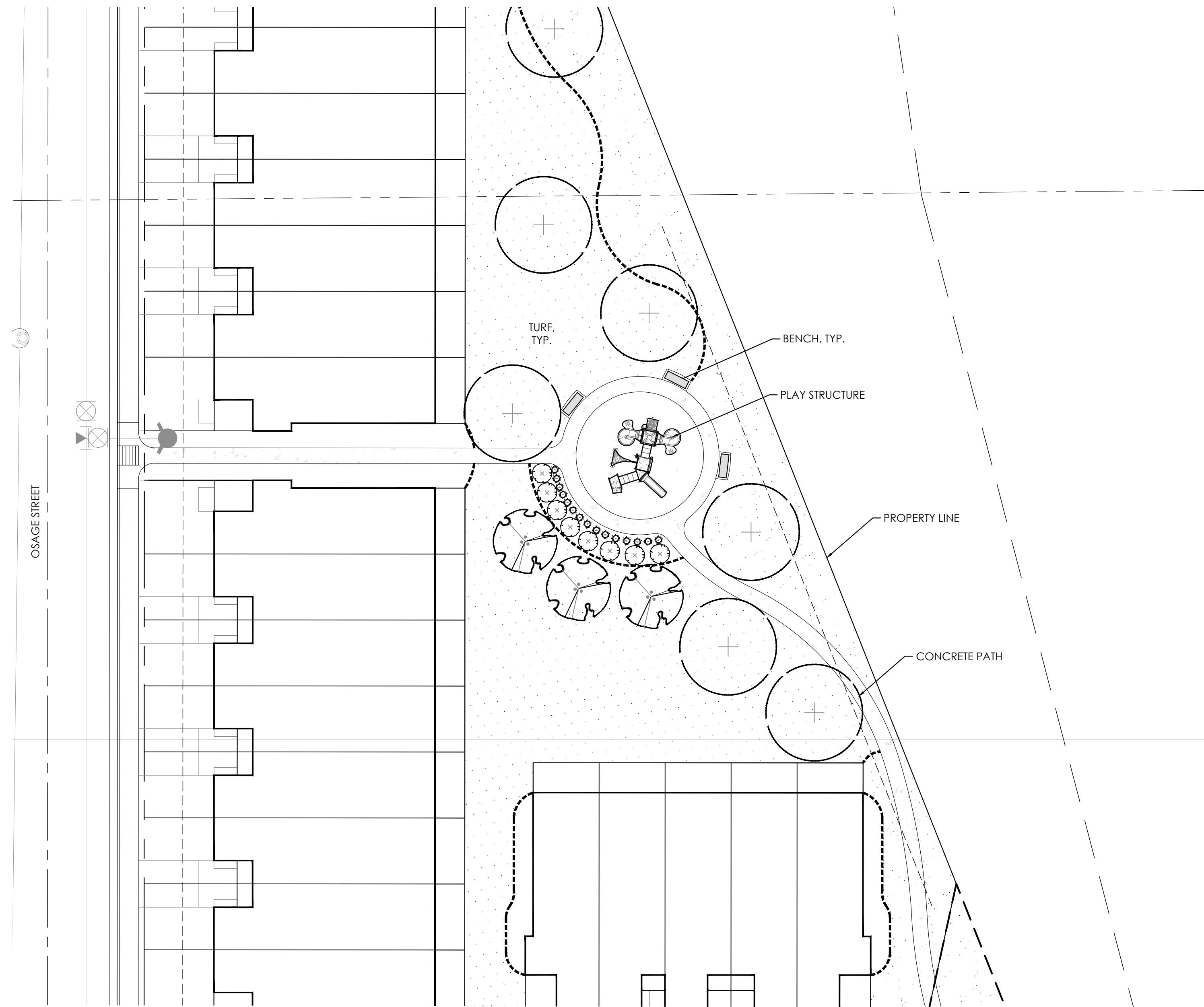
10-16-2020

12-16-2020

NOT FOR CONSTRUCTION

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
 PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
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LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- NATIVE SEED
- CRUSHER FINES TRAIL
- CONCRETE WALK
- TURF
- STEEL EDGER
- STREET LIGHT
- FENCE
- FENCE COLUMN

SHEET TITLE

ENLARGED
TRACT XX
LANDSCAPE
PLAN

SHEET NUMBER

12 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
 ADAMS COUNTY, COLORADO

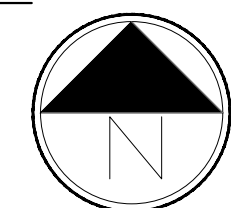
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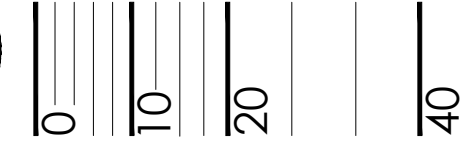
12-16-2020

NOT FOR
CONSTRUCTION

A TOWNHOME ACTIVE OPEN SPACE DETAIL



Scale: 1"= 20'-0"



SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH

PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO

PROJECT NO: PRC2020-00010

SHEET TITLE

LANDSCAPE
DETAILS

SHEET NUMBER

13 OF 20

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design
10200 E. Grand Ave., A-314
Denver, CO 80231
ph: 303.632.8867

PROJECT NAME

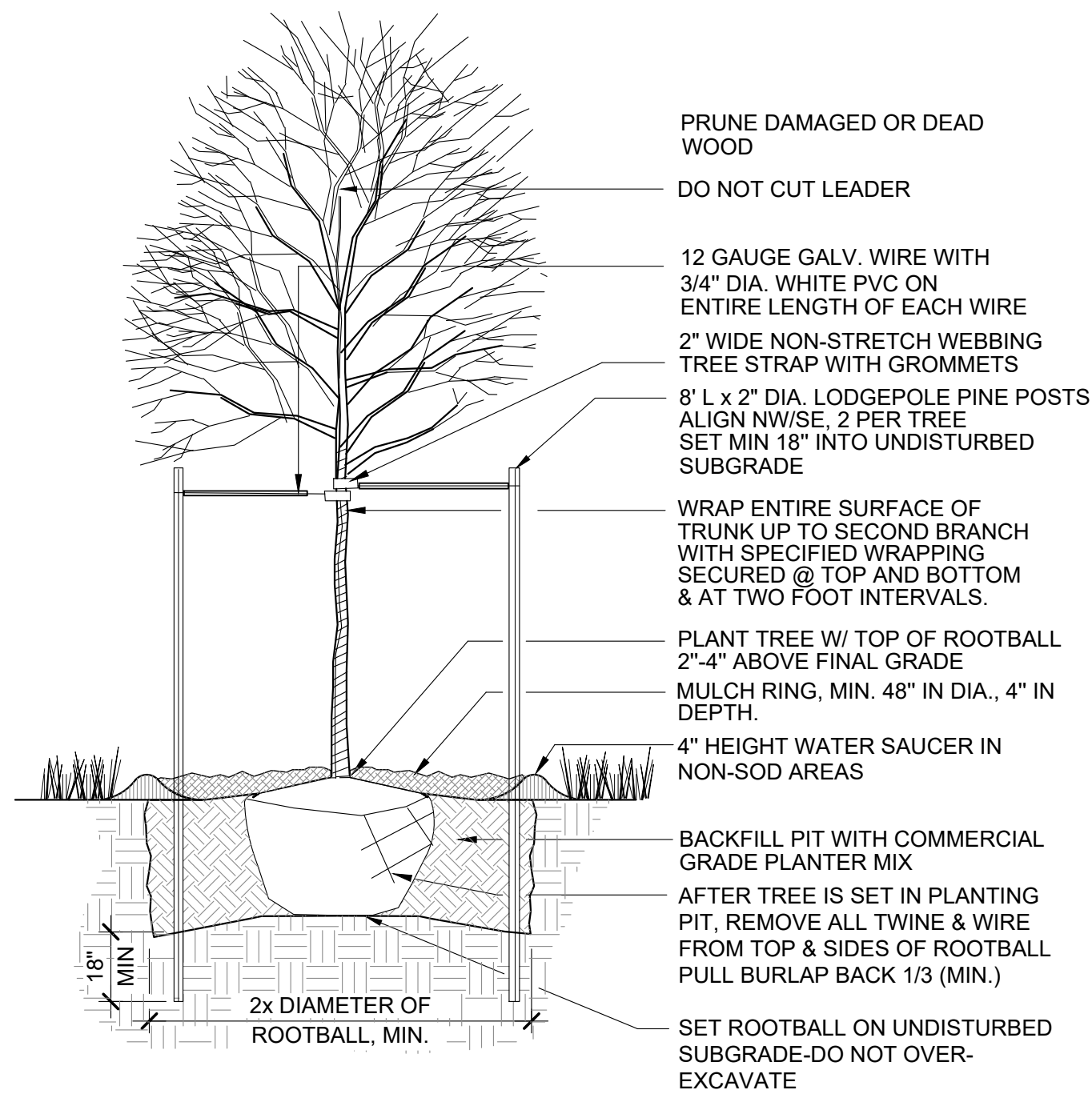
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PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

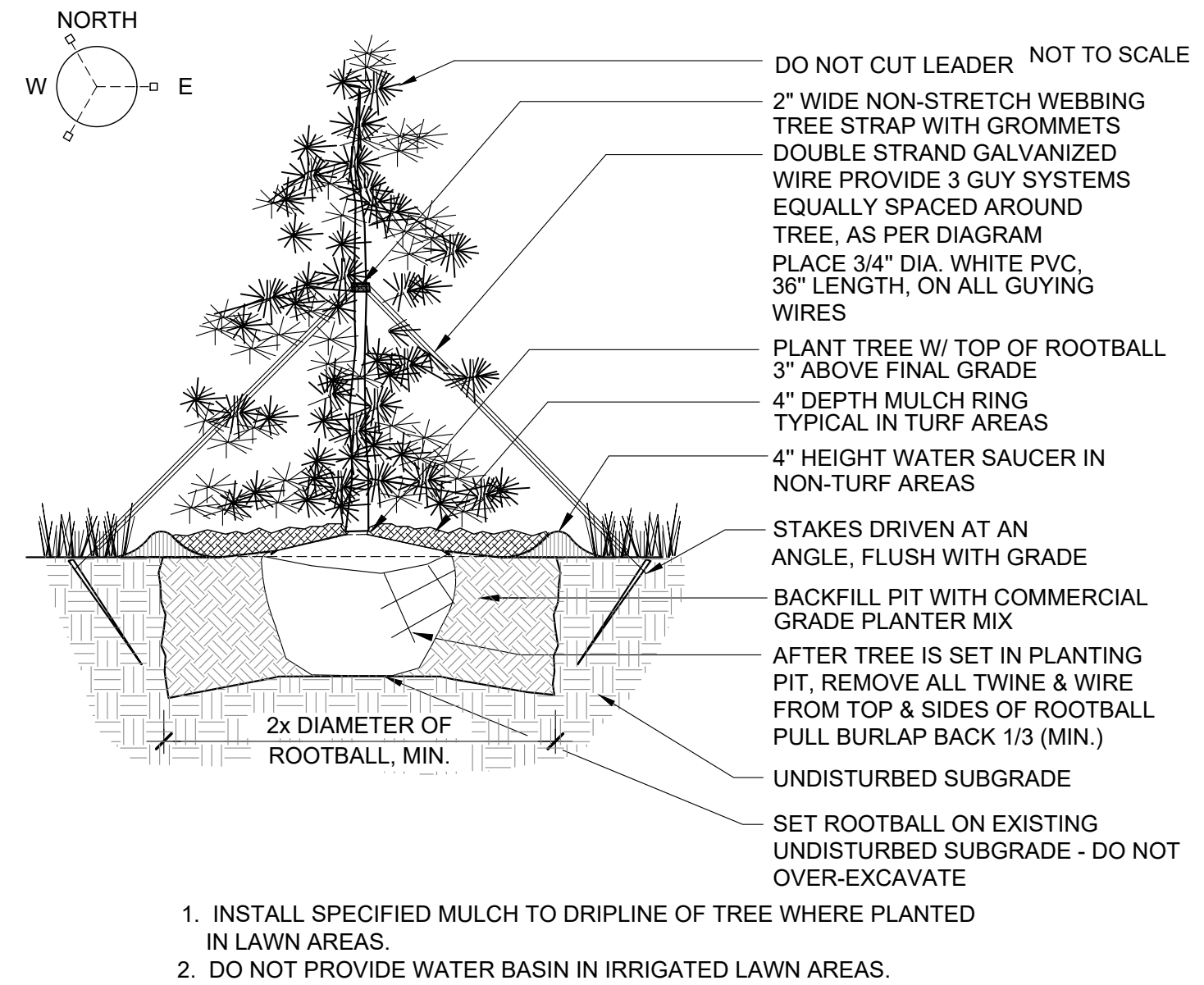
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NOT FOR
CONSTRUCTION



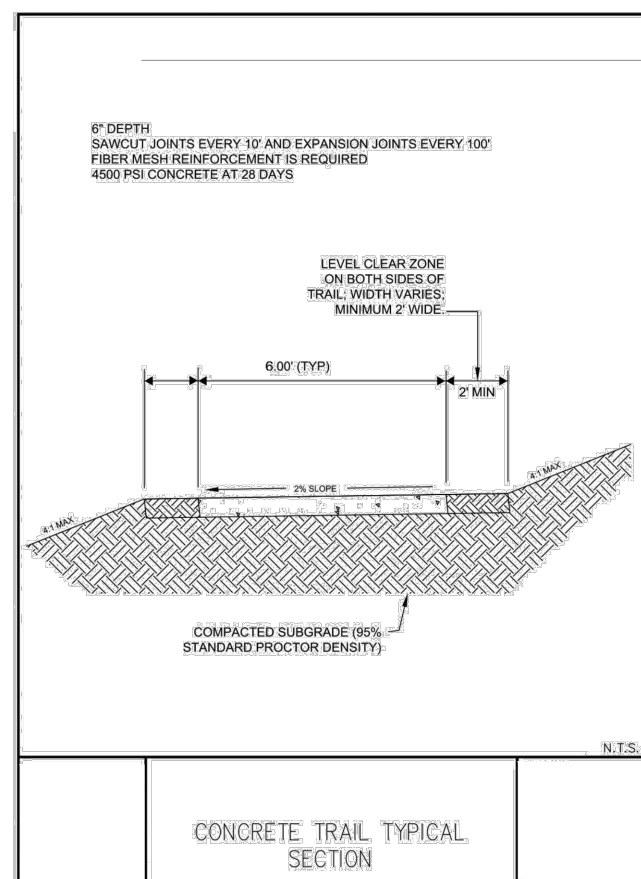
1 DECIDUOUS TREE PLANTING

NOT TO SCALE



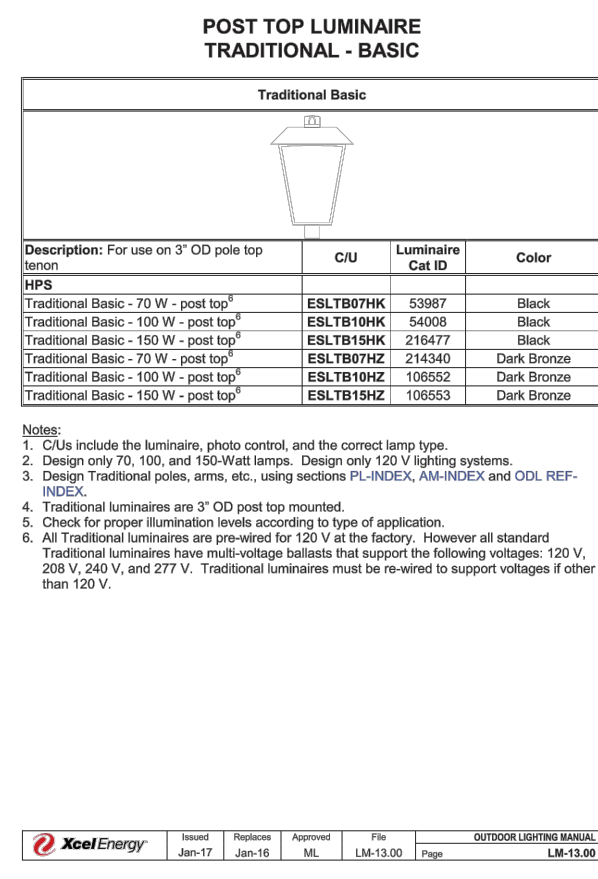
2 EVERGREEN TREE PLANTING

NOT TO SCALE



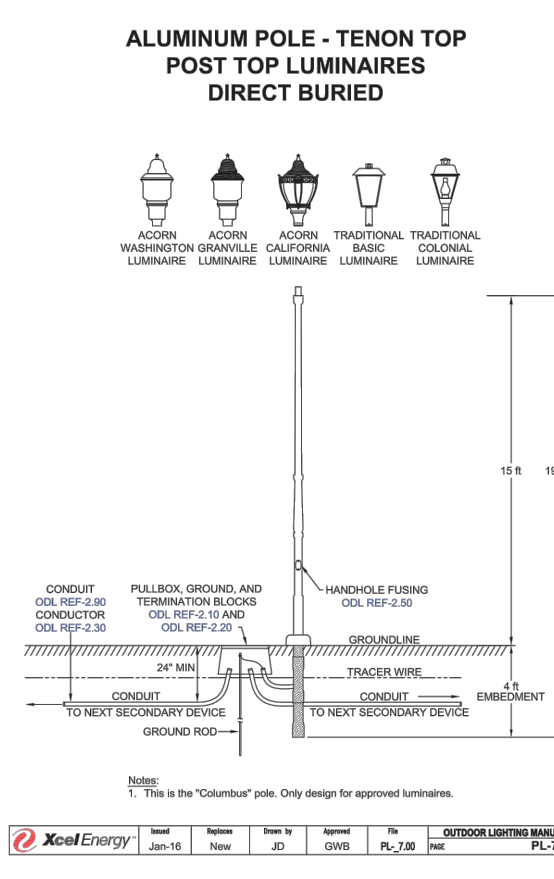
3 6' CONCRETE TRAIL

NOT TO SCALE



4 STREET LIGHTING DETAIL

NOT TO SCALE



5 6 HT. PRIVACY FENCE

NOT TO SCALE

* ALL IMAGES ARE CONCEPTUAL. FINAL STRUCTURES TO BE DETERMINED

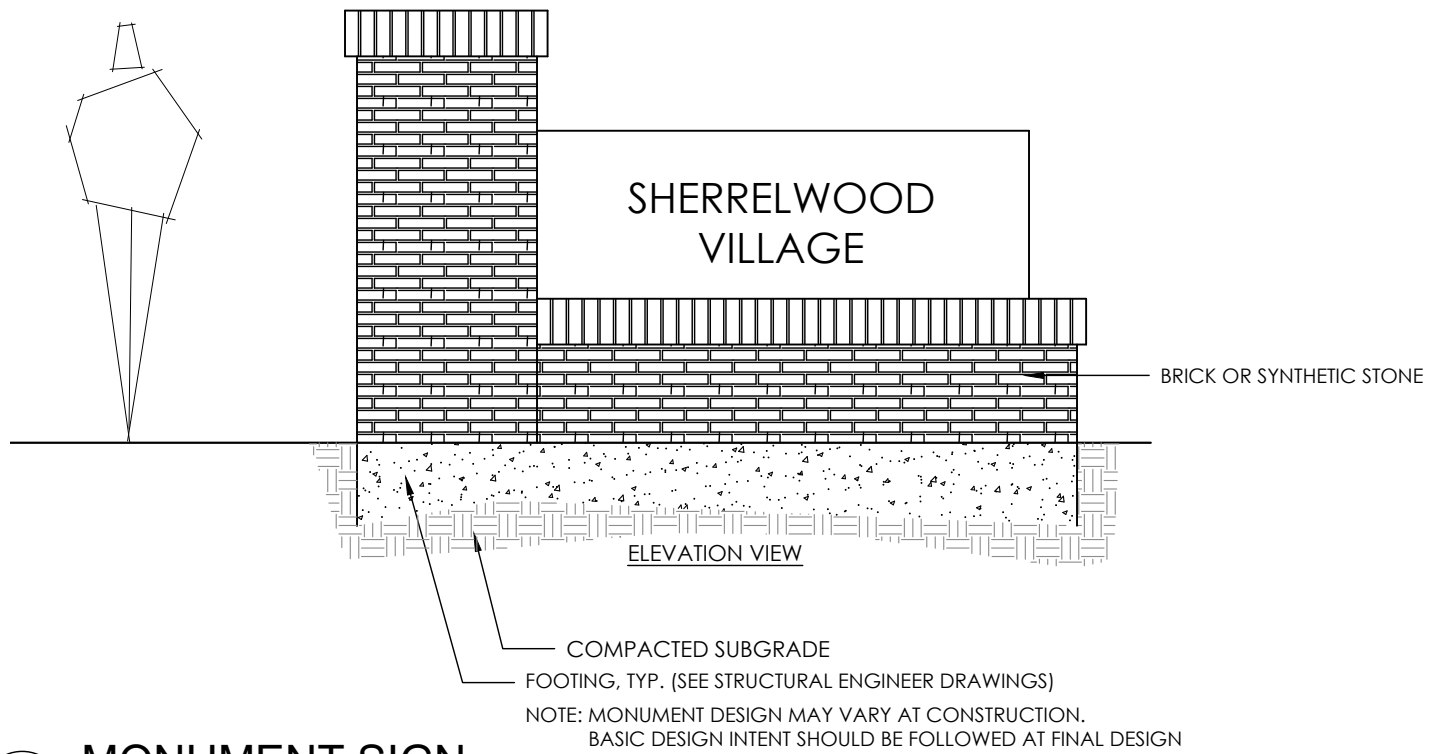
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PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

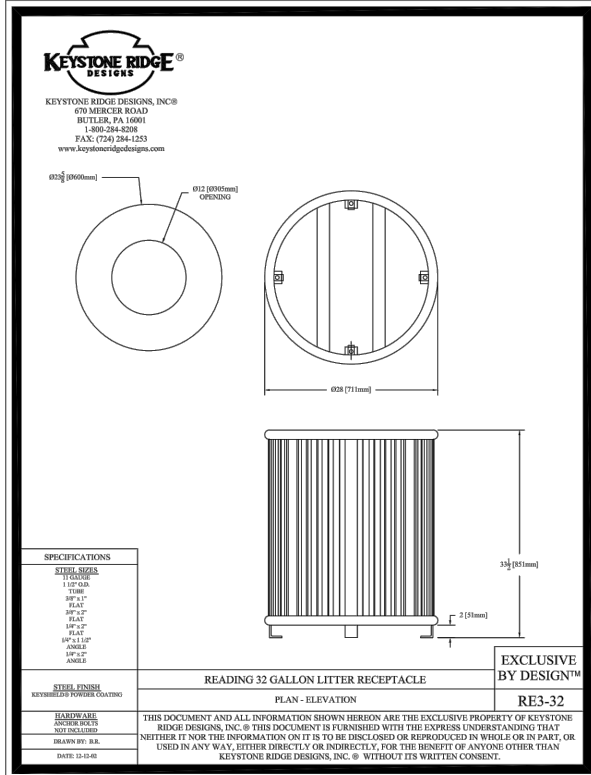
PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH

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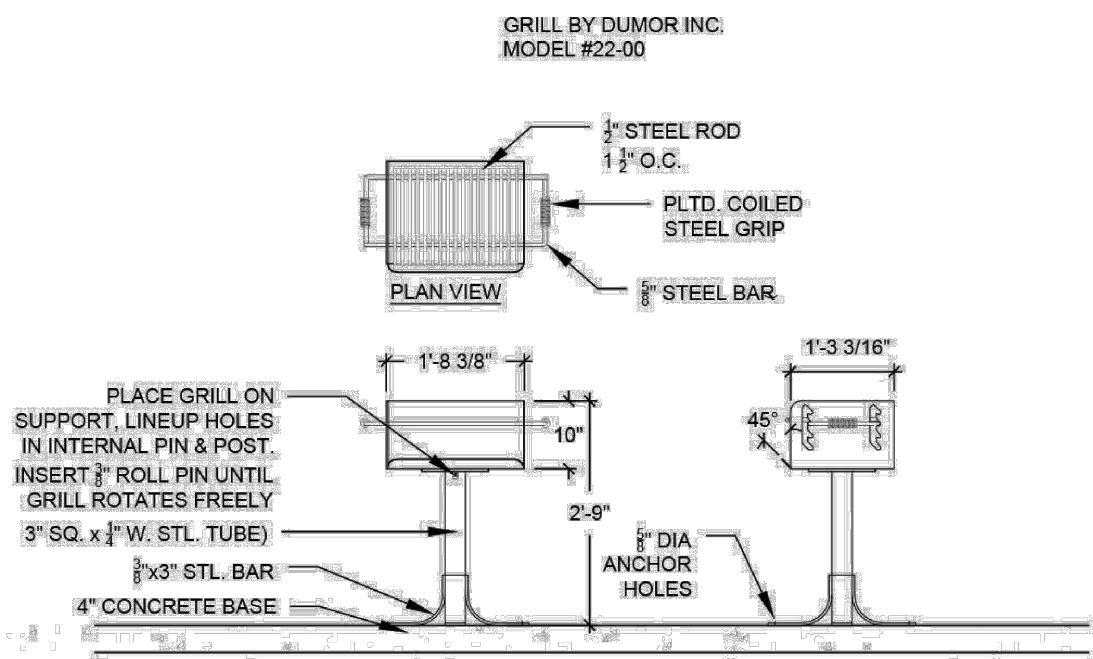
PROJECT NO: PRC2020-00010



1 MONUMENT SIGN
SCALE: 3/8" = 1'



2 TRASH CAN
TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE



3 BBQ
TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE



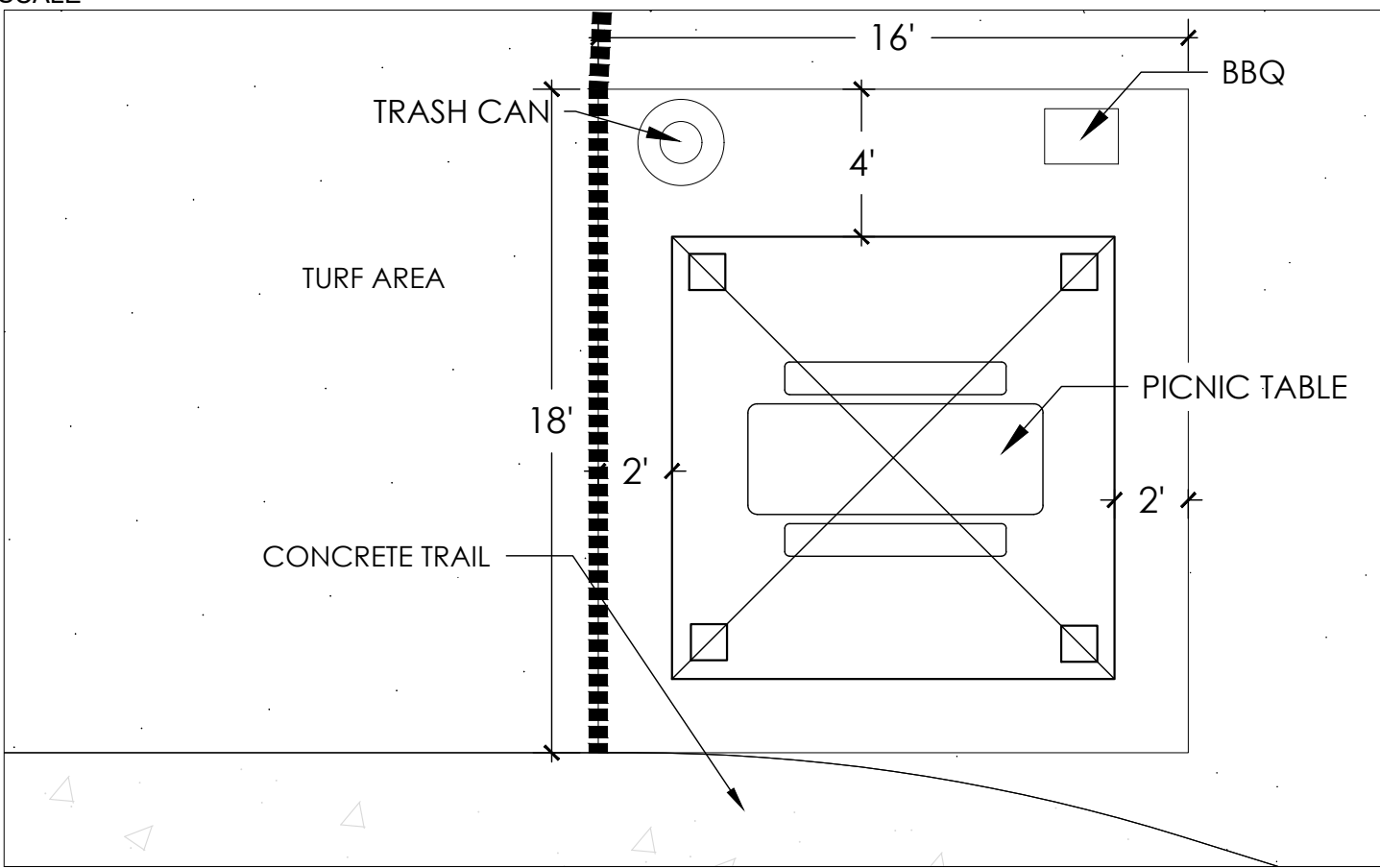
4 PICNIC SHELTER
TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE

Icon Shelter System
Model: SQ12M-P6
Pole Color: Surrey Beige
Roof Color: Evergreen
Roof Type: 24 gauge pre cut metal

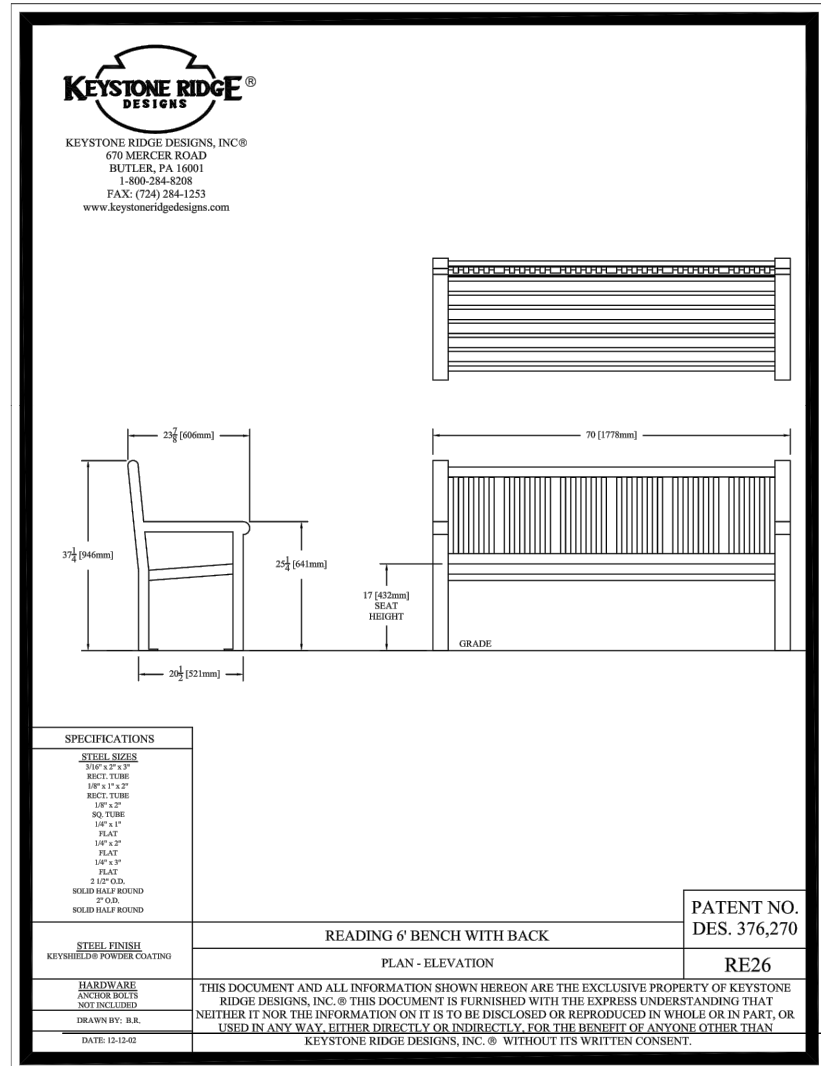


Wausau Table MF1059
Contact: Wausau Made
wile@wausautile.com
PH: (715) 359-3121
FAX: (715) 355-4627

5 PICNIC TABLE
TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE



6 ACTIVE RECREATION DETAIL AT PICNIC SHELTER
TYPICAL, BUT SUBJECT TO CHANGE SCALE: 1" = 5'



6 6' BENCH
NOT TO SCALE

* ALL IMAGES ARE CONCEPTUAL. FINAL STRUCTURES TO BE DETERMINED

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

14 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

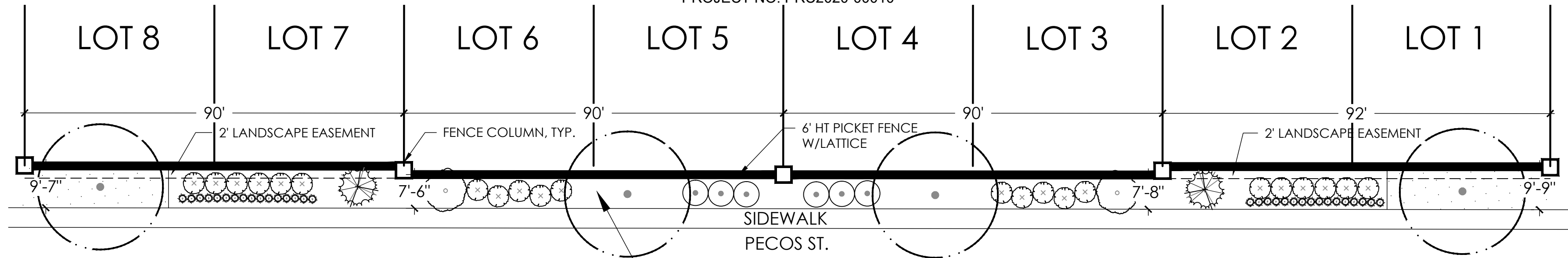
12-16-2020

NOT FOR CONSTRUCTION

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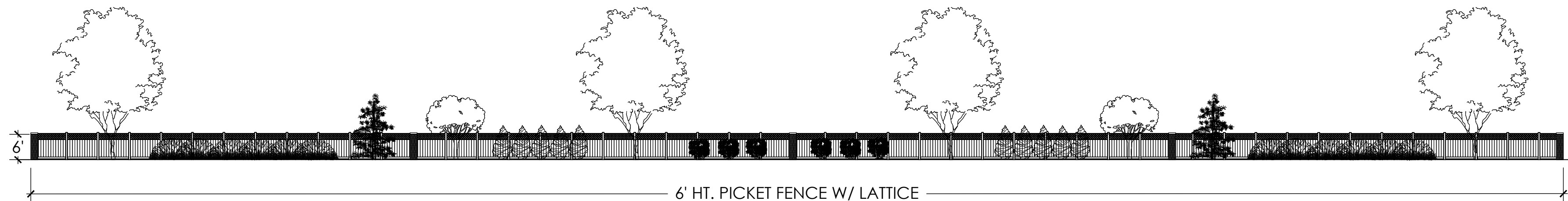
SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010



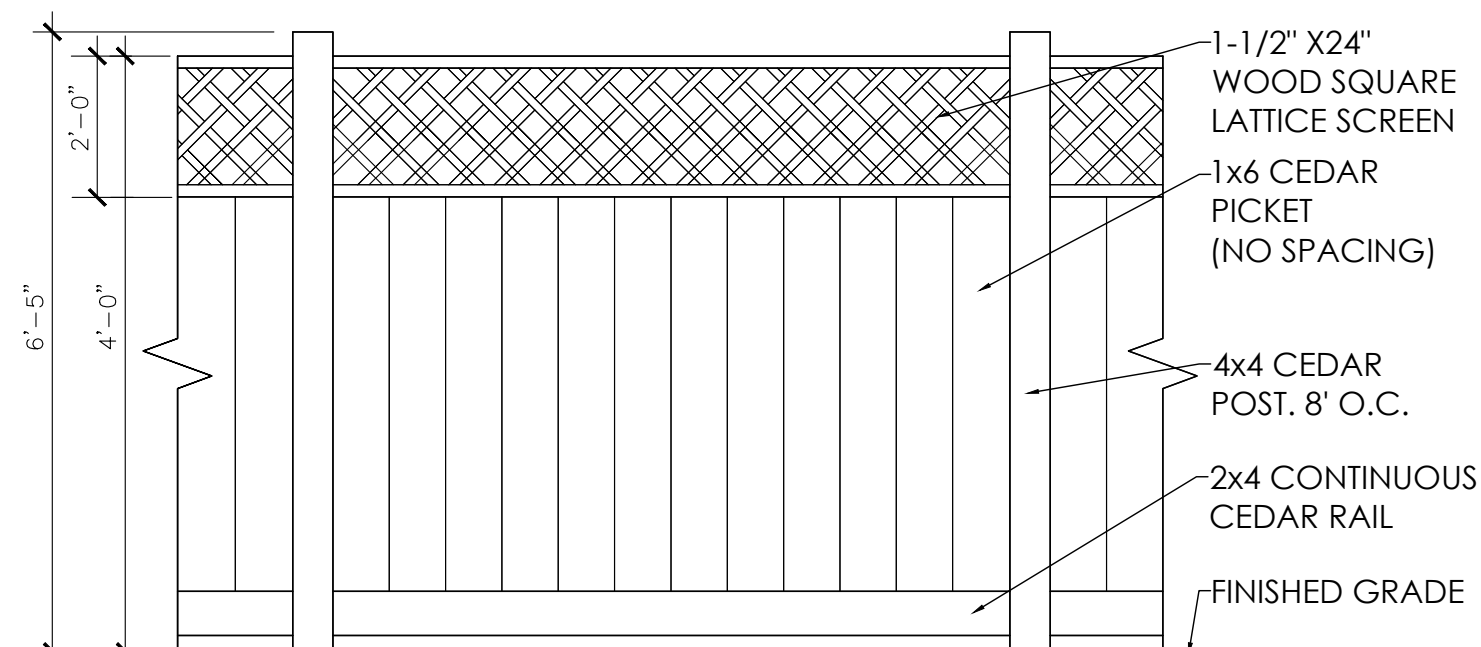
1 PLAN VIEW ALONG PECOS ST.

NOT TO SCALE



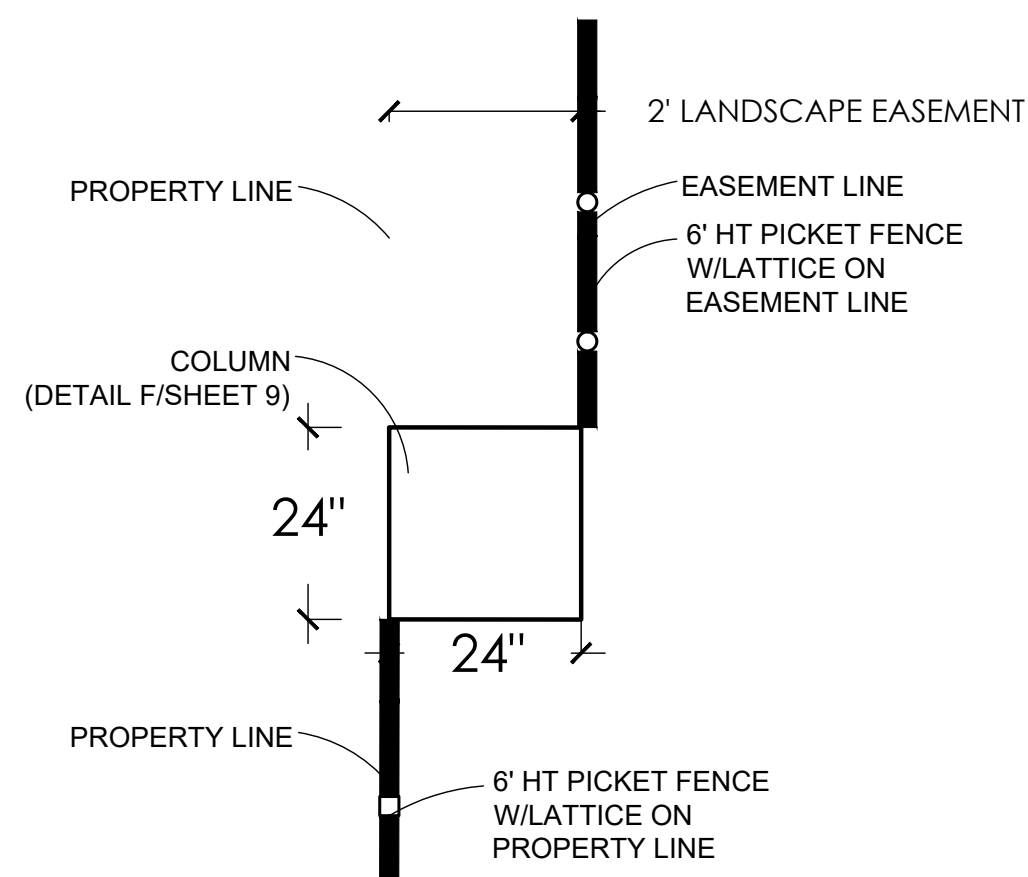
2 ELEVATION FACING PECOS ST.

NOT TO SCALE



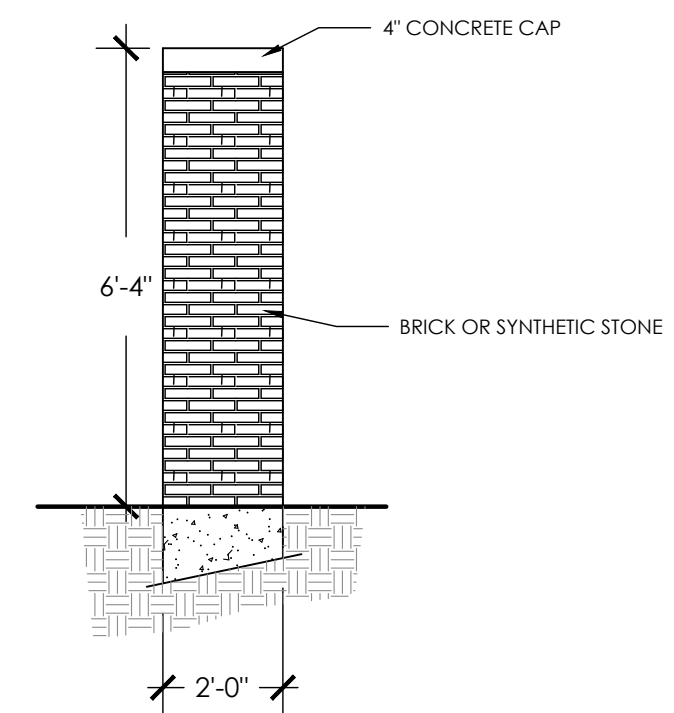
3 6' HT. PICKET FENCE W/LATTICE

NOT TO SCALE



4 6' HT. PICKET FENCE W/LATTICE CONNECTION - PLAN VIEW

NOT TO SCALE



5 FENCE COLUMN

TYPICAL, BUT SUBJECT TO CHANGE

NOT TO SCALE

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

15 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
 ADAMS COUNTY, COLORADO

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SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
PROJECT NO: PRC2020-00010

LANDSCAPE NOTES

- THE HOMEOWNERS OR THEIR SUCCESSORS AND ASSIGNS SHALL MAINTAIN ALL IRRIGATION AND LANDSCAPING WITHIN EACH RESPECTIVE LOT. SEE ALSO 'GENERAL NOTES' 'C' INCLUSIVE.
- FRONT AND SIDE SETBACKS: THE ENTIRE FRONT AND SIDE SETBACKS SHALL BE LANDSCAPED, EXCEPT FOR DRIVEWAYS.
- BACK YARD SETBACK: A MINIMUM OF THIRTY PERCENT (30%) OF THE BACK YARD SHALL BE LANDSCAPED IN SINGLE FAMILY LOTS
- REQUIRED GROUND COVER: A MINIMUM OF THIRTY PERCENT (30%) OF THE REQUIRED FRONT AND SIDE LANDSCAPE AREA MUST BE COVERED BY LIVING GROUND MATERIAL, SUCH AS LOW GROWING GROUND COVER, SHRUBS, OR GRASS, WITHIN ONE (1) YEAR FOLLOWING OCCUPANCY AND THEREAFTER.
- REQUIRED TREES AND SHRUBS: A MINIMUM OF ONE (1) LARGE TREE AND FIVE (5) SHRUBS, OR TWO (2) ORNAMENTAL TREES AND FIVE (5) SHRUBS, SHALL BE REQUIRED FOR EACH SINGLE FAMILY LOT. EVERGREENS SHALL BE CONSIDERED ORNAMENTAL.
- MINIMUM SIZE REQUIREMENTS: MINIMUM SIZE REQUIREMENTS FOR TREES AND SHRUBS SHALL BE:

PLANT TYPE	MATURE HEIGHT	MINIMUM PLANT SIZE AT PLANTING
ORNAMENTALS	LESS THAN 20'	1" TO 1-1/2"
LARGE DECIDUOUS	OVER 20'	2" TO 2-1/2"
EVERGREENS (SM.)	LESS THAN 20'	5' TALL
EVERGREENS (LG.)	OVER 20'	6' TALL
LOW SHRUBS	1' TO 3'	5 GALLON
UPRIGHT SHRUBS	3' TO 10'	5 GALLON

- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS, OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE LANDSCAPE CONTRACTOR IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL SHRUB BEDS TO BE CONTAINED WITH GREEN 4" DEPTH, 3/16" THICK PRO STEEL EDGING.
- INSTALL 3" DEPTH OF 3/4" CRUSHED GRANITE MULCH OVER SPUNBOND POLYESTER FABRIC IN ALL SHRUB BEDS.
- BLUEGRASS TURF AREAS, NATIVE GRASS AREAS AND SHRUB BEDS SHALL BE PREPARED WITH ASPEN RICH COMPOST OR AN APPROVED EQUAL AT A RATE OF 3 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
- TURF AND SHRUB BEDS SHALL BE IRRIGATED WITH AN UNDERGROUND AUTOMATED IRRIGATION SYSTEM AND SHALL PROVIDE HEAD TO HEAD COVERAGE. NATIVE SEED AREAS DO NOT REQUIRE PERMANENT IRRIGATION.

LANDSCAPE INSTALLATION & MAINTENANCE CHART

INSTALLATION AND MAINTENANCE		
AREA	INSTALLATION	MAINTENANCE
TOWNHOME LOTS 1-2	OWNER/DEVELOPER	HOA
TRACT A AND C	OWNER/DEVELOPER	HOA
LANDSCAPE ADJACENT TO:		
BLOCK 1: LOTS 1-21	BUILDER	HOMEOWNER
BLOCK 2: LOTS 1-8	BUILDER	HOMEOWNER
BLOCK 3: LOTS 1-16	BUILDER	HOMEOWNER
NORTH PECOS STREET	OWNER/DEVELOPER	HOA
LANDSCAPE EASEMENT ALONG PECOS ST	OWNER/DEVELOPER	HOA

PLANT LIST

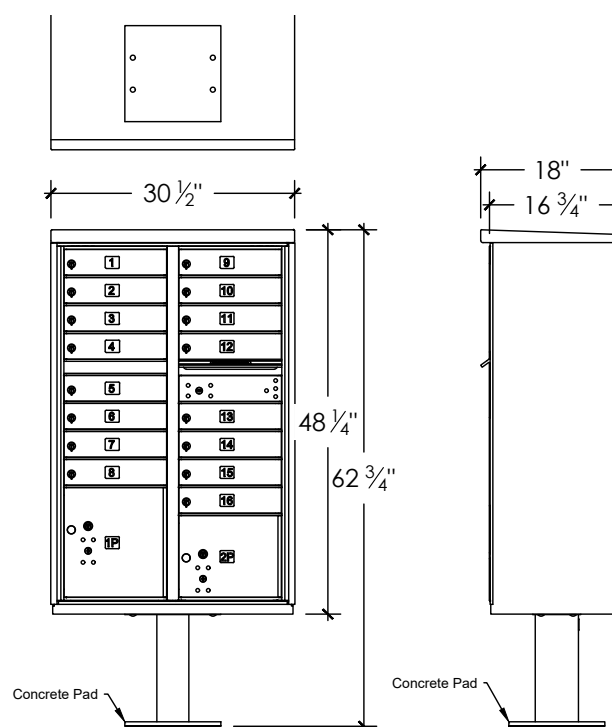
SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS SHADE TREES				
CS	WESTERN CATALPA	CATALPA SPECIOSA	2.5" CAL	B&B, SPECIMEN QUALITY
QR	ENGLISH OAK	QUERCUS ROBUR	2.5" CAL	B&B, SPECIMEN QUALITY
QM	BUR OAK	QUERCUS MACROCARPA	2.5" CAL	B&B, SPECIMEN QUALITY
PA	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	2.5" CAL	B&B, SPECIMEN QUALITY
DECIDUOUS ORNAMENTAL TREES				
AGA	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL	B&B, SPECIMEN QUALITY
MSS	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	2" CAL	B&B, SPECIMEN QUALITY
EVERGREEN TREES				
PN	AUSTRIAN PINE	PINUS NIGRA	8' HT	B&B, SPECIMEN QUALITY
PE	PINON PINE	PINUS EDULIS	8' HT	B&B, SPECIMEN QUALITY
EVERGREEN SHRUBS				
JSM	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	5 GAL	CONT.
PAR	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL	CONT.
PCP	PURPLE-LEAF SAND CHERRY	PRUNUS X CISTENA	5 GAL	CONT.
SJM	SPIREA, MAGIC CARPET	SPIREA JAPONICA, MAGIC CARPET	5 GAL	CONT.
PAH	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	5 GAL	CONT.
PVS	SWITCHGRASS, SHENANDOAH	PANNICUM VIRGATUM, SHENANDOAH	5 GAL	CONT.

* ALL IMAGES ARE CONCEPTUAL. FINAL STRUCTURES TO BE DETERMINED



1 PLAY STRUCTURE

IMAGES FOR REFERENCE ONLY



- NOTES:
- MODEL # 3300 SERIES "F" CBU OR APPROVED EQUAL
 - COLOR TO BE SANDSTONE
 - (16) MAILBOXES, (1) OUTGOING, (2) PARCEL LOCKERS
 - MANUFACTURER: SALSBUURY INDUSTRIES
1010 E. 62ND STREET
LOS ANGELES, CA 90001
P: (800) 624-5269
ENGINEERING@MAILBOXES.COM

2 MAIL KIOSK

NOT TO SCALE

TOWNHOME LANDSCAPE REQUIREMENTS

TOWNHOME LANDSCAPING AREA						
AREA (SF)	TREES REQUIRED (1/1500SF)	TREES PROVIDED	SHRUBS REQUIRED (2/1500 SF)	SHRUBS PROVIDED		
44,926	30	31	60	64		
REQUIRED LOT LANDSCAPING						
AREA	LOT AREA	REQUIRED LANDSCAPING (10% OF LOT AREA)	TOTAL LANDSCAPE AREA PROVIDED	ROW REQUIRED LANDSCAPING (50% OF REQUIRED LANDSCAPE)	ROW LANDSCAPE AREA PROVIDED	
TOWNHOMES	111,000	11,100	44,926	5,550	8,100	
STREE FRONTAGE LANDSCAPING						
AREA	LENGTH (LF)	DEPTH OF LANDSCAPE (LF)	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
TOWNHOME LOTS (OPTION 3)	408	17	20	20	51	54

- NOTES:
- OPTION 3 REQUIRES 2 TREES AND 5 SHRUBS EVERY 40 LF
 - SHRUB EQUIVALENT: (1) 5 GAL SHRUB = (3) 1 GAL GRASSES

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

16 OF 20

terracina
design
10200 E. Girard Ave., A-314
Denver, CO 80231
ph: 303.632.8867

PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

12-16-2020

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SHERRELWOOD VILLAGE

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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

SHEET TITLE

SAMPLE HOUSE EXHIBIT

SHEET NUMBER

17 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
 ADAMS COUNTY, COLORADO

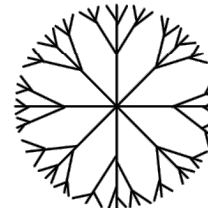
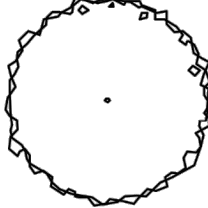




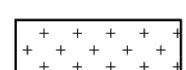

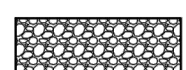
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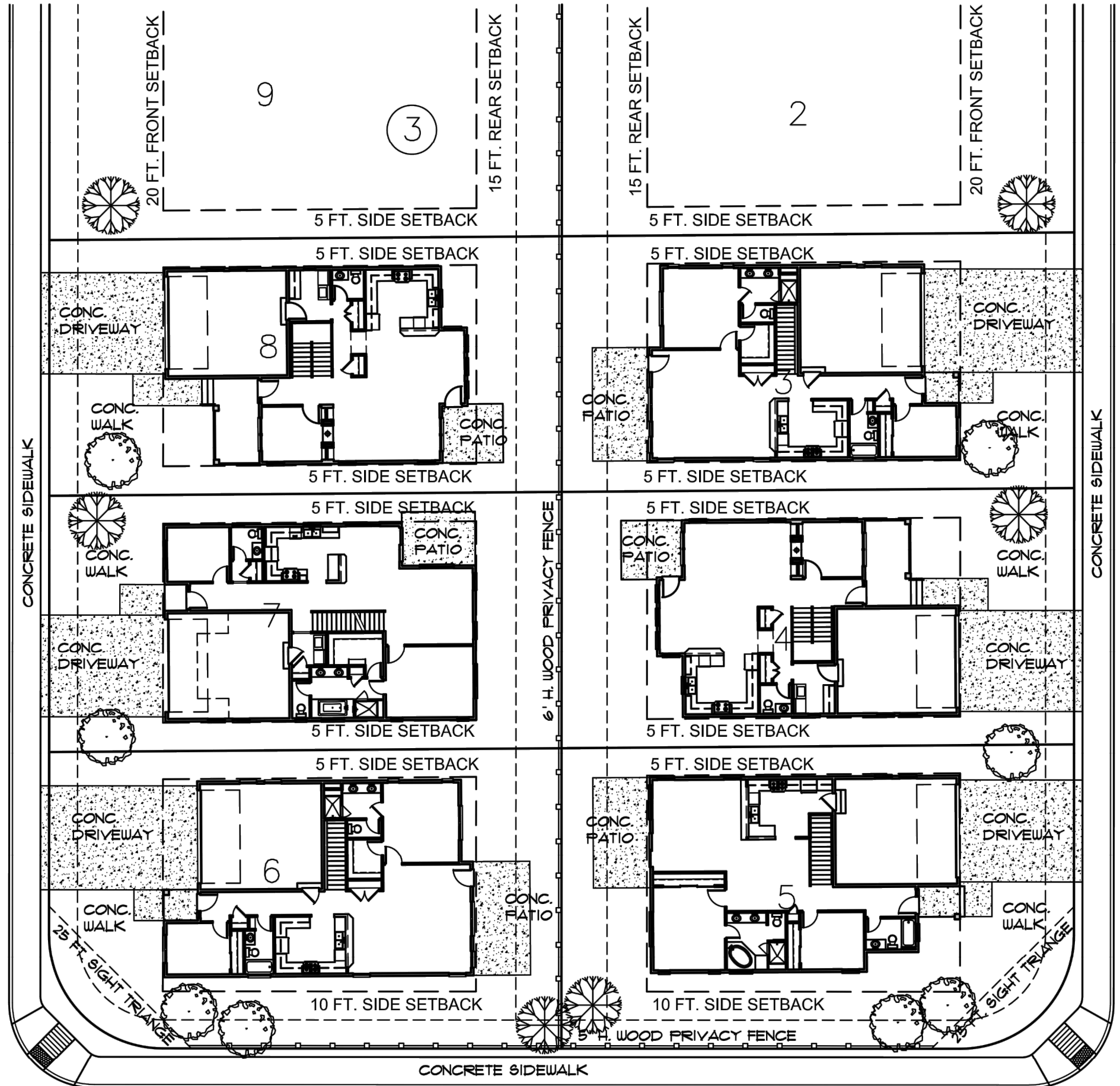
10-16-2020

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LANDSCAPE LEGEND:

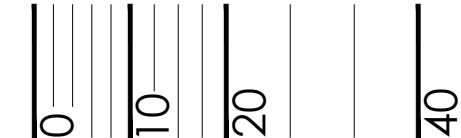
-  EVERGREEN TREE
-  DECIDUOUS TREE
-  EVERGREEN SHRUB
-  DECIDUOUS SHRUB
-  DECORATIVE BOULDERS
-  CONCRETE PAVING
-  SOD
-  BARK MULCH
-  RIP-RAP (ROCK)



1 SAMPLE HOUSE LAYOUT

DISCLAIMER:
 ACTUAL HOUSE PLANS AND ELEVATIONS MAY VARY FROM THOSE REPRESENTED ON THIS DRAWING.

Scale: 1" = 20'-0"






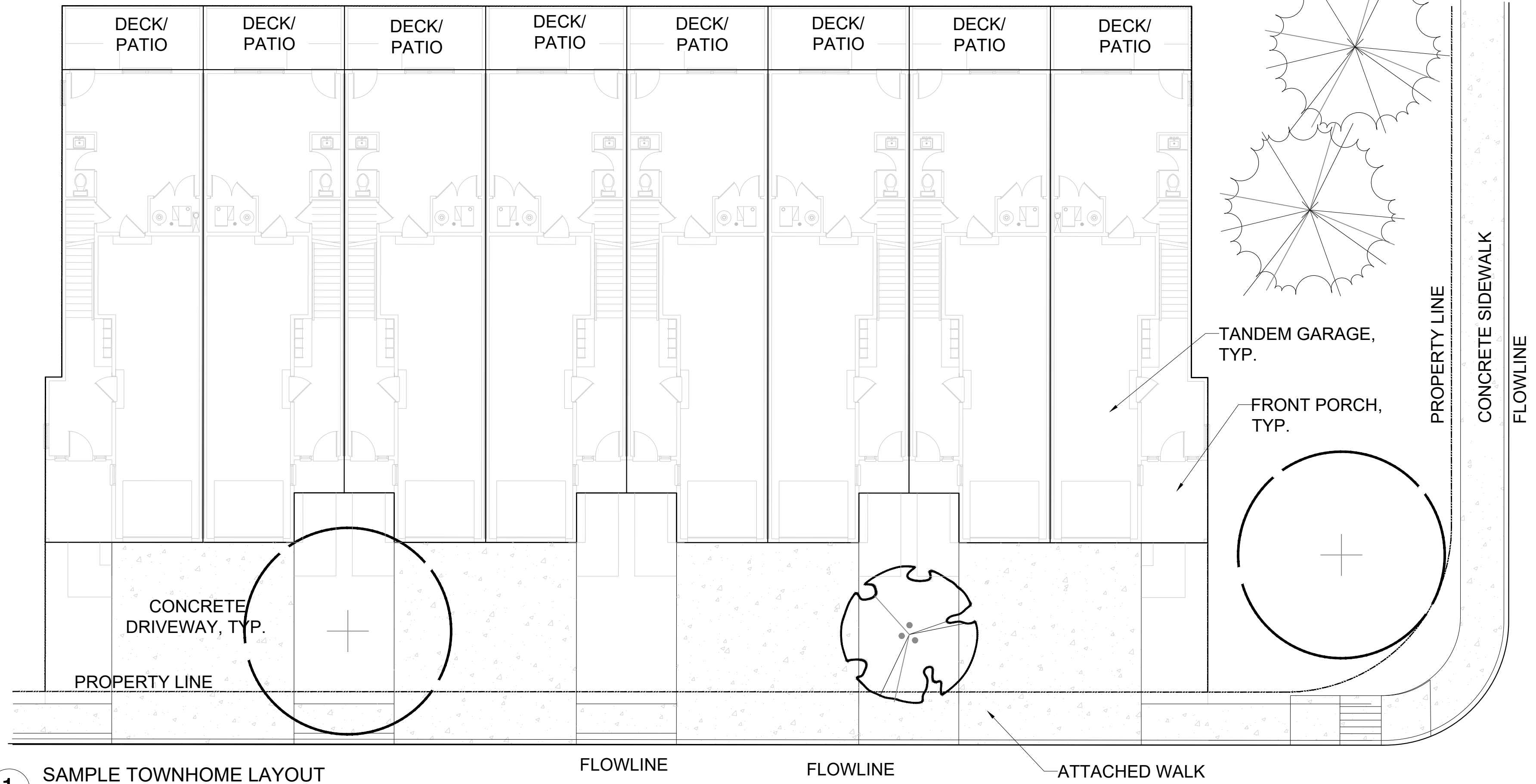
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SHERRELWOOD VILLAGE

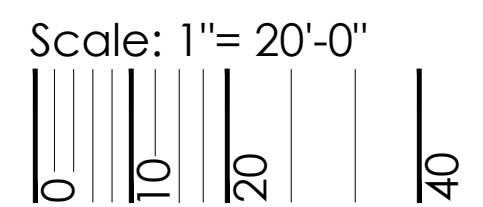
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LANDSCAPE LEGEND

-  DECIDUOUS TREE
-  ORNAMENTAL TREE
-  EVERGREEN TREE



1 SAMPLE TOWNHOME LAYOUT
 *ACTUAL PLANS MAY VARY & WILL COMPLY WITH THE STANDARDS HEREON



SHEET TITLE	SHERRELWOOD VILLAGE
SAMPLE HOUSE EXHIBIT	
SHEET NUMBER	18 OF 20
PROJECT NAME	SHERRELWOOD VILLAGE PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1 ADAMS COUNTY, COLORADO
ISSUE DATE	10-16-2020 12-16-2020
NOT FOR CONSTRUCTION	

t terracina design
 10200 E. Girard Ave., A-314
 Denver, CO 80231
 ph: 303.632.8867

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SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
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SINGLE FAMILY ARCHITECTURAL STANDARDS

- 1.1 Facades
- A minimum of thirty percent (30%) of the homes in Roush Village (14 homes) shall have an area equivalent to at least 20 percent of the first floor front façade elevation (excluding window and door areas and related trim areas) clad in brick, stone, stucco, or other approved masonry materials.
 - All facades shall have durable siding materials which may include vinyl, cement fiber, engineered wood composite, stucco, rust resistant architectural metals or a combination of the above.
 - Material diversity is required. A minimum of two different materials shall be incorporated in each elevation. Variations of the same material (scallops, fish-scale, lap siding, board and batten) of the same or different color will be considered different materials. The coverage of the second material does not need to be evenly distributed.
 - Each elevation shall have a minimum window area of 20 square feet. Garage, basement or entry door windows shall not be used to satisfy the window requirement. There shall be no windowless elevations.
- 1.2 Roofs
- The homes shall have a minimum pitch on the predominant roof planes of at least 4:12 (excluding dormers, porch roofs, and other extensions).
 - Acceptable roofing materials includes architectural grade composition roofing.
 - All rooftop equipment, including without limitation HVAC units, swamp coolers and antennas, shall not be placed on the street facing portion of the roof. This standard does not apply to those items listed below.
 - Piping, venting, flashing, solar panel frames, and other rooftop equipment exposed to view shall be finished to match the roof surface color or otherwise designed to blend with the roof surface.
- 1.3 Windows and Doors
- Each window that is not located in a portion of the wall clad in masonry shall have either:
 - A minimum four-inch nominal wide wood trim border.
 - Shutters a minimum of 12-inches wide.
 - Window frames other than wood shall be either anodized, electrostatically-painted, vinyl clad or vinyl. Unpainted aluminum window frames are prohibited except for basement windows. Wood frames shall be painted, sealed or stained.
 - Each door that is not located in a portion of the wall clad in masonry shall have a minimum four-inch nominal wide wood trim border.



1 MODEL 1 ELEVATION A
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON



2 MODEL 1 ELEVATION B
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

SINGLE FAMILY (MODEL 1)

- 1,480 S.F.
- 3 BEDROOMS
- 2.5 BATHROOMS
- 2 GARAGE STALLS (TANDEM)



3 MODEL 2 ELEVATION A
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

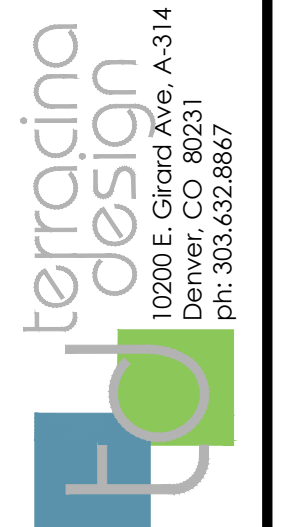


4 MODEL 2 ELEVATION B
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

SINGLE FAMILY (MODEL 2)

- 1,950 S.F.
- 4 BEDROOMS
- 2.5 BATHROOMS
- 2 GARAGE STALLS

SHEET TITLE	SINGLE FAMILY ARCHITECTURAL STANDARDS
SHEET NUMBER	19 OF 20
PROJECT NAME	SHERRELWOOD VILLAGE PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1 ADAMS COUNTY, COLORADO
ISSUE DATE	10-16-2020 12-16-2020
NOT FOR CONSTRUCTION	



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SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
 PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

TOWNHOME ARCHITECTURAL STANDARDS

- 1.1 Facades
- Each unit shall have 75 percent of the first floor front façade elevation (excluding window and door areas and related trim areas) clad in brick, stone, stucco, or other approved masonry materials.
 - All facades shall have durable siding materials which may include vinyl, cement fiber, engineered wood composite, stucco, rust resistant architectural metals or a combination of the above.
 - Material diversity is required. A minimum of two different materials shall be incorporated in each elevation. Variations of the same material (scallops, fish-scale, lap siding, board and batten) of the same or different color will be considered different materials. The coverage of the second material does not need to be evenly distributed.
 - Each unit elevation shall have a minimum window area of 100 square feet. Garage, basement or entry door windows shall not be used to satisfy the window requirement. There shall be no windowless elevations.
- 1.2 Roofs
- Each unit shall have a minimum pitch on the predominant roof planes of at least 1:7 (excluding dormers, porch roofs, and other extensions).
 - Acceptable roofing materials includes architectural grade composition roofing.
 - All rooftop equipment, including without limitation HVAC units, swamp coolers and antennas, shall not be placed on the street facing portion of the roof. This standard does not apply to those items listed below.
 - Piping, venting, flashing, solar panel frames, and other rooftop equipment exposed to view shall be finished to match the roof surface color or otherwise designed to blend with the roof surface.
- 1.3 Windows and Doors
- Each window that is not located in a portion of the wall clad in masonry shall have:
 - A minimum two-inch nominal wide wood trim border.
 - Window frames other than wood shall be either anodized, electrostatically-painted, vinyl clad or vinyl. Unpainted aluminum window frames are prohibited. Wood frames shall be painted, sealed or stained.
 - Each door that is not located in a portion of the wall clad in masonry shall have a minimum two-inch nominal wide border.



TYPICAL TOWNHOME UNIT

- 1,700-2,300 S.F.
- 3 BEDROOMS
- 2.5 BATHROOMS
- 2 GARAGE STALLS

1 TYPICAL FRONT ELEVATION
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON



2 TYPICAL SIDE ELEVATION
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

SHEET TITLE

TOWNHOME ARCHITECTURAL STANDARDS

SHEET NUMBER

20 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

12-16-2020

NOT FOR CONSTRUCTION



Neighborhood Meeting Summary Elmwood Estates of Sherrelwood Village

The following is a summary of the virtual neighborhood meeting held on August 25, 2020.

The mailed notice informing residents of the neighborhood meeting was sent on August 14, 2020. Additional residents were notified via email if they had previously commented on the submittal. The notice outlined how residents could email an email address to get the virtual meeting link and other information if requested.

8 residents requested to participate in the Virtual format, and the following questions/answers were:

Marilyn Shea

- Have the Townhomes been approved yet or are they still under review?
- I would like to discourage the use of high-density residences in this area because parking in the area is already limited.
- I am not impressed with how the storm water was dealt with in Clear Water Estates (another Delwest project). It seems to be a temporary fix and not completed. I'm concerned that stormwater structures will be an issue in the Elmwood Estates, and we will have to foot the bill in the future.
- This will lead to increased traffic congestion in the area. I've seen a lot of bad traffic situations in this area and I do not believe a three-way stop will make the situation any better.

Andrew Dauernheim

- Agrees with the previous points made by Marilyn especially with her statements on the traffic standpoint.
- Concerned with the gathering area/park amenity. In the presentation it seemed like an afterthought.

Craig Fitchett of Delwest (response to Marilyn & Andrew)

- I wanted to clarify Marilyn's comment about the Clear Lake Estates. We installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is there.

terraccina design

Landscape Architecture & Planning

10200 E. Girard Ave, Suite A-314 Denver, CO 80231 Phone: 303.632.8867

- As far as parking, we do have a successful subdivision and I have not heard any complaints from any of the residents about parking. We are almost sold out there and we feel like we have parked this site adequately.
- The park to the east will allow for overflow parking. We will have integrated sidewalks that will allow pedestrian access from parking at the park to our neighborhood.
- One thing we were trying to do in Sherrelwood was to create an outdoor amenity and identify the park as a place to meet and create an annual outdoor activity. Whether it's a festival or music nights or something similar,
- We've partnered with Hyland Hills who owns Sherrelwood park. We are going to work with them to create the correct amenity. However, with Covid we've been thwarted in our efforts in designing the proper amenity there as of yet.
- I agree it feels as though it was a little bit of an afterthought. But we haven't truly designed that amenity space, we are working with Hyland Hills to do that. As soon as we get something, I promise it will be on the website and you will be the first to know about it.
- We look for your input to help us design what we are doing in the future and we will hopefully work with you to create community input that will help guide our design to create what you are looking for in a meeting place like that.

Kelly & Mike Adolf

- Why in our outdoor amenity space do we need to pay homage to the "bubble building"? Is there a group of people that requested homage be paid?
- I know that Covid has been an issue, but is there an expectation as to when the Children's Outreach Center ("Bubble building") will be torn down?
- Is Adams County/ Hyland Hills prepared to address the higher density/ use of the park area? Especially in terms of garbage and safety concerns?
- Will any of the existing trees be saved?

Craig Fitchett of Delwest (Kelly & Mike Adolf)

- We are working with the city council, community, and Hyland Hills to create neighborhood identity and a "rebirth" in some of these older communities and Sherrelwood Park gives us the perfect opportunity to do that.
- There is no proposal just yet for any events or festivals, but we are working on bringing an annual or quarterly event to the park.
- A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
- Any opportunity for infill with a bias towards open space, density, and farer traffic conditions is a win for everyone.
- We attempted to get the COP (Children's Opportunity Project) relocated to a space to grow as a part of this project as the building did not fit their need and was in disrepair. Sadly, they had to shutter due to lack of funding.
- We've had a lot vandalism to the building and have paid at least \$6-\$7K on clean up. Anything of value has been taken by vandals and sold. Though some

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want to save and repurpose the building there isn't the budget to do that. It would take millions of dollars to get that building up to code and wouldn't be the best use of the site.

- We are going to map the site and attempt to save any trees possible, we have an green space area to the east that we should be able to keep existing trees. No promises but we will do our best to preserve as many of the existing trees as possible.

Joesph Valasquez

- Not everyone has open distain for the Children's Outreach Center ("Bubble building. I know that not everybody likes to see an old building standing and some would rather see progress than history last.
- I would like to make a counter point to Ms.Adolfs opinion: a building that is a bit beat up does not mean it's not decrepit. I've been in the building multiple times over the years and Its really sad to hear people talk about the building in a way that its disposable.
- If you are upset someone is throwing bottles, yell at them, call the cops. We have to protect our own communities and this is what this meeting is about.
- The development that went up south of Pecos had promises of a Recreation center that did not come through. How will we know you will fulfil all these promises without anything on paper?
- Also, I would like to support Marilyn's statements on traffic and density. I can't see how adding a stoplight and 40 families will relieve traffic congestion.
- I personally live in a townhome development and its packed; there are more than 3 cars per home.
- You using the city park area for overflow parking seems like you are using city tax dollars to fund extra parking for you guys which does not sound fair to me.
- You are buying/ using old school district 12 property. They would refuse to sell to anyone until you came along. I don't know if you taking the position that you are the stars of the neighborhood when the owners refused to sell it to anyone else is accurate.
- So are you really trying to leverage community space for private profits?
- 43 homes in that little area is crappy. Do you want 200 people living across from you. I've been in that area and its smaller than a city block and you are putting 40 homes.
- Finally, I am offended that you are talking like my community like some type of slum like it's a craphole. I would appreciate it if you didn't tear down the park to put another 200 people.

Craig (response to Joesph)

- Delwest has had a relationship with the previous owner, Adams county school district 50 (not district 12 as stated by Joseph), for 5 years now. We give money every time we sell a home to the Westminster foundation.
- We work with Westminster public schools. For example we used Westminster public school artwork in our new affordable project at Baker school apartments

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in the project we worked with elementary, middle, and high school students in creating the art on site.

- We asked the district to sell 3-4 years ago, and they were unable to sell it. It wasn't just us, everyone else did not get a chance to buy it. We did actively go after it but we were being told no by the district.
- We are not going to try to tear down the park we are going to enhance it with new structures. We believe the park is a fantastic community amenity.
- When you have a vacant building with weeds growing out of control, with nobody entering it and no controls over that from a security standpoint you get vandalism, breaking and entering, you get all sorts of crime. That happens because people break into a vacant building and take things from it.
- Unfortunately, COP (Children's Opportunity Project) wasn't able to stay in business and the building in the interim has been vandalized.

Joesph Valasquez

- I would like to ask how you came to own the property? I was personally interested in buying and building a single-family unit. I couldn't even get a hold of anyone to talk to me about selling it. I was told its unavailable, no one could buy the property, then all of sudden Delwest owns the property.
- You buy these properties for prime values and now you are going to make millions of dollars off of these 40 units. How does that work?

Craig Fitchett of Delwest (response to Joesph)

- We pay a lot more in property taxes.

Joesph Valasquez

- But how do you get ahead of me in purchasing this property?

Craig Fitchett of Delwest (response to Joesph)

- I don't know how that happened, but this is my job and I'm good at it. I apologize you didn't get to get an offer to the school district. I know many offers were made and we made a competitive offer.

Joesph Valasquez

- Do you know if this information is public information?

Craig Fitchett of Delwest (response to Joesph)

- I'm sure it is, I'm not sure how many offers were made.
- We don't just build single family homes; we build apartments where we bring in affordable housing. I have many housing choice vouchers for people that are unfortunately able to afford different locations throughout the city.
- Communication is the answer right now as we move forward, we would love your input. I know our intention is not to save the building, but to create community. So, help me build community by giving us your input.

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Joesph Valasquez

- How many people do you think will be living in this space once it is fully built out at 43 units?

Craig Fitchett of Delwest (response to Joesph)

- I am not totally sure, but it is close to 2.8 people per unit. The site would not be able to accommodate much more than that.

Joesph Valasquez

- I do not think it will be great to add 200 people to the community. There is no yards or place for the kids to play.

Craig Fitchett of Delwest (response to Joesph)

- I think there is a misconception that we are taking away from the park. When people say there is no place to play there is a 17AC park.
- We will try and enhance the park so we can get more utility from the park. Right now, the 17 ac will be maintained as a park as long as we know.

Sarah Garner

- My personal issue is that a development company that has only been Denver based since 1993 is going to come in and destroy one of the few nostalgic buildings in the area. I do want it known that the community doesn't feel like the "spaceship house" is a blighted building or ugly.
- The only reason it is vacant is because the Westminster School District refused to sell to a private party. I was told verbatim that they were waiting on "Developer money".
- I live across the street from the spaceship house and we keep eyes on the "bubble building" You mention its being vandalized, but I haven't seen it. All the windows are intact and there are security cameras on the outside of the building so if there are people throwing bottles at the building please call the cops and keep our neighborhood safe.
- Craig, you have a daughter from what I understand, what kind of community can our children have when every block is corner to corner with concrete and siding? They need outdoor recreation, outdoor space and parks. There are plenty of development complexes around the area
- I personally feel like you are trying to gentrify our neighborhoods with the sole intention of lining your pockets. I'm not personally comfortable with it. If you sell each unit for \$300k that would be \$14.5 million.
- I feel like you are trying to raise our property taxes and tear down our old buildings.
- As Joseph stated before, I attempted to buy the property and was told it's not a possibility, it was a commercial deal. I don't know, I just don't think its fair either.

Craig Fitchett of Delwest (response to Sarah)

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- We've been in business for a long time, 1993 seems like a long time to me. We've seen a lot of ups and downs in the building industry and we've pivoted in the last 5 years. We build affordable housing for people.
- With the average house going for \$600k we can offer housing for less than \$400k. We are going to open up opportunities for a massive supply of buyers that have nowhere to go.
- We didn't create the buyers or the traffic, but what we do is say there's a great amenity, lets take advantage of it. Let's make it better, lets make it safer and let's make this vacant land into something that will enrich lives and enrich the community.
- You bring up my daughter, she is an architectural student at CU, and she loves going on city walks with me. We really appreciate cities like NY where you can get to central park, you see these great pocket parks that are great gathering areas and a place to commune but they are surrounded by these high rises. It gives people a great way to live in the sense that they have a place to walk and gather.
- As we move forward, I really want to work with the community to create the best options for everyone.

Pat Hall (Messaged Questions/Comments)

- Listeners need to know this is a zoning change request to the County as a first effort.
- I want to know who is paying for the playground?
- No housing shortages in this neighborhood...
- Just build 4 new houses on this property.
- This is NOT blighted property and I have not heard of any vandalism...Is this a scare tactic?
- Where is this affordable housing?
- This is not NY City
- You won't be living here right?

-End of Meeting-

In attendance were Layla Rosales and Mike Weiher from Terracina Design, Craig Fitchett, Derrell Schreiner, and Bree Neely from Delwest, Alan Sielaff from Adams County, and local residents Marilyn Shea, Andrew Dauernheim, Kelly & Mike Adolf, Joseph Valasquez, Sarah Garner, and Pat Hall.

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Landscape Architecture & Planning

10200 E. Girard Ave, Suite A-314 Denver, CO 80231 Phone: 303.632.8867

March 11, 2020

Adams County Planning & Development Department
4430 South Adams County Parkway
Brighton, CO 80601-8216



To Whom It May Concern:

RE: Proposed Development at 8300 North Pecos: Sherrelwood Village/Elmwood North

The District welcomes both residential and commercial development within its boundaries and, while the District takes no position on the specific plans presented by Delwest Development Corp., we believe that a vibrant community should include a wide choice of housing options. This project proposes to provide additional housing options to the community.

In reviewing the Delwest proposal for the development of the site, an extension to the single family homes in Roush Estates, we have determined that the proposed development would have no additional impact on the District. Using an average number of students generated by housing type, based on information provided by Delwest, the District has conservatively calculated the following student yield:

Townhomes

Number of Bedrooms	Number of New Units of that Size	Average Number of School-Aged Residents Per Unit	New School-Aged Residents
1-3	48	x 0.25	=12 (low end estimate)
1-3	48	x 0.49	= 24 (high end estimate)

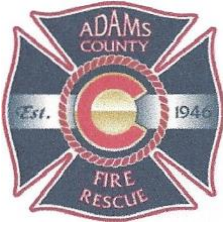
Estimated Total Number of Students Generated by Proposed Development:

12 to 24

In considering the minimal impact to the District by new students who may reside in the development, the District believes it is important to focus on the quality of the development and the degree to which it will revitalize the community in the years ahead. The District believes development on the southeast side of the District will provide economic benefit for the citizens of the community and, in general, will have an overall positive impact on the existing neighborhood.

Sincerely,


James Duffy, Ed.D.
Chief Operating Officer
Westminster Public Schools



ADAMS COUNTY FIRE RESCUE

FIRE PREVENTION BUREAU

7980 Elmwood Lane
Denver, CO 80221
(303) 539-6862 / email: :fireprevention@acfpd.org

Melissa Hale
155 South Madison St Suite 326
Denver, CO 80209
720-819-1004
melissa@delwest.com

May 13, 2020

RE: 7840, 7996, and 8000 Pecos St
Denver, CO 80221

Ms. Hale,

The addresses of 7840, 7996, and 8000 Pecos St Denver, CO 80221 are within the Adams County Fire Protection District's jurisdiction and will be covered by its services. We will need to complete a site development plan review to go along with this letter. The site development plan review needs to include a full set of civil plans and an auto turn exhibit. If you have any questions regarding this location, please call 303-539-6862 and we will be able to answer your questions.

Sincerely,

Chris Wilder
Fire Marshal
Adams County Fire Protection District

EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2015000053449 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3254 AT PAGE 139, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;
THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3254 AT PAGE 139;

THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.10 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING THREE (3) COURSES:

1. S 76°46'55" E, A DISTANCE OF 178.58 FEET;
2. S 21°38'57" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED IN BOOK 3254 AT PAGE 139 AND SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 534.54 FEET;
3. S 33°40'19" E, ALONG THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 83.14 FEET;

THENCE ALONG THE EAST AND SOUTH LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING SIX (6) COURSES:

1. S 14°37'52" E, A DISTANCE OF 76.07 FEET;
2. N 88°03'04" E, A DISTANCE OF 39.50 FEET
3. S 17°49'46" E, A DISTANCE OF 104.05 FEET;
4. S 55°05'47" E, A DISTANCE OF 112.26 FEET;
5. S 01°01'29" E, A DISTANCE OF 259.37 FEET, TO A POINT ON THE NORTH LINE OF ELMWOOD PARK SUBDIVISION, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. C0184761, SAID ADAMS COUNTY RECORDS;
6. S 89°32'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 611.65 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION

PROJECT: 15-018
DATE: 11/05/2019
SHEET 1 OF 4

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



CORE
CONSULTANTS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION CONTINUED:

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 586.62 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID WARRANTY DEED RECORDED AT RECEPTION NO. 2015000053449;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 450,875 SQUARE FEET OR 10.351 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION

PROJECT: 15-018
DATE: 11/05/2019
SHEET 2 OF 4

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD

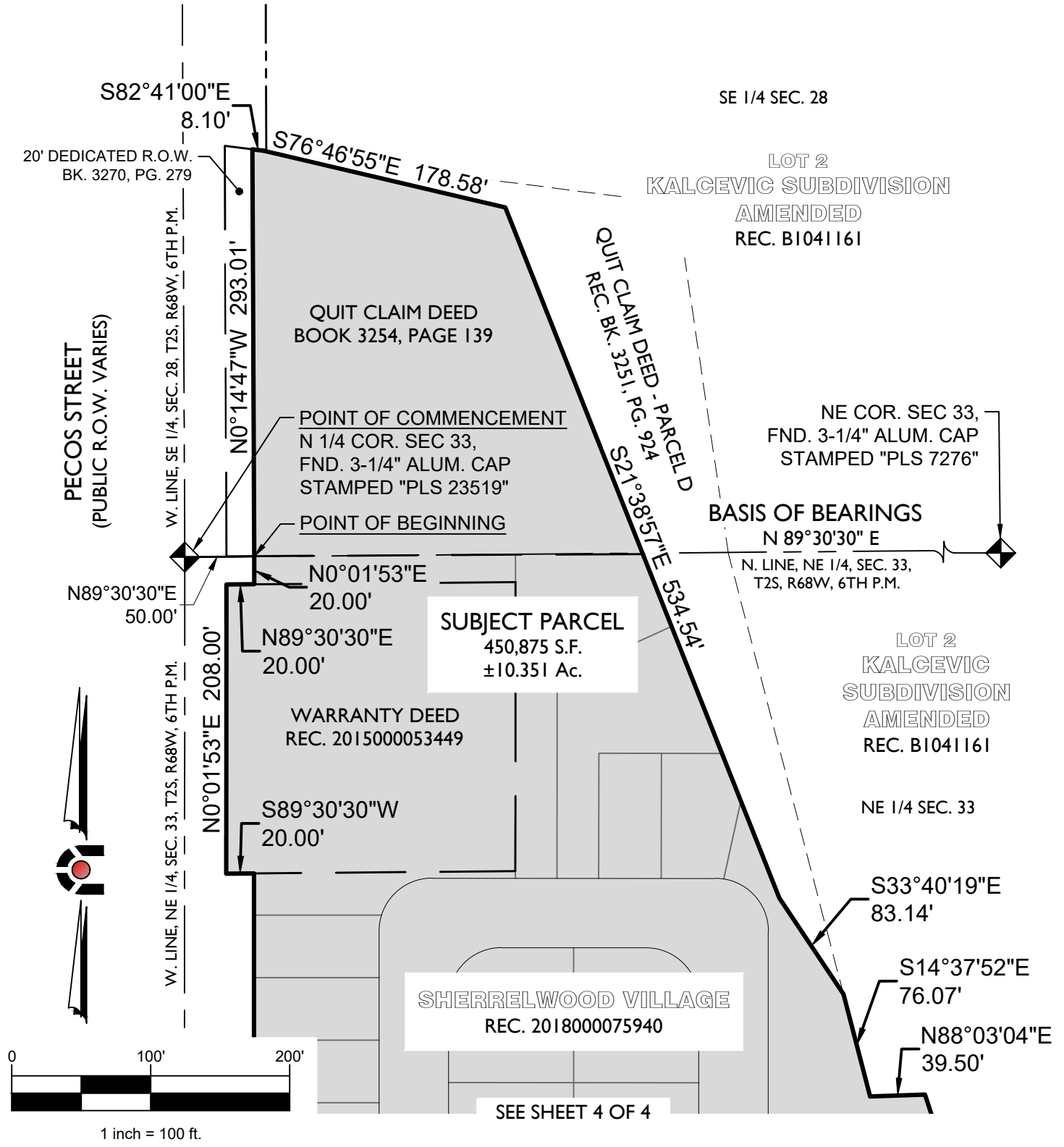


CORE
CONSULTANTS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
DATE: 11/05/2019
SHEET 3 OF 4

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD

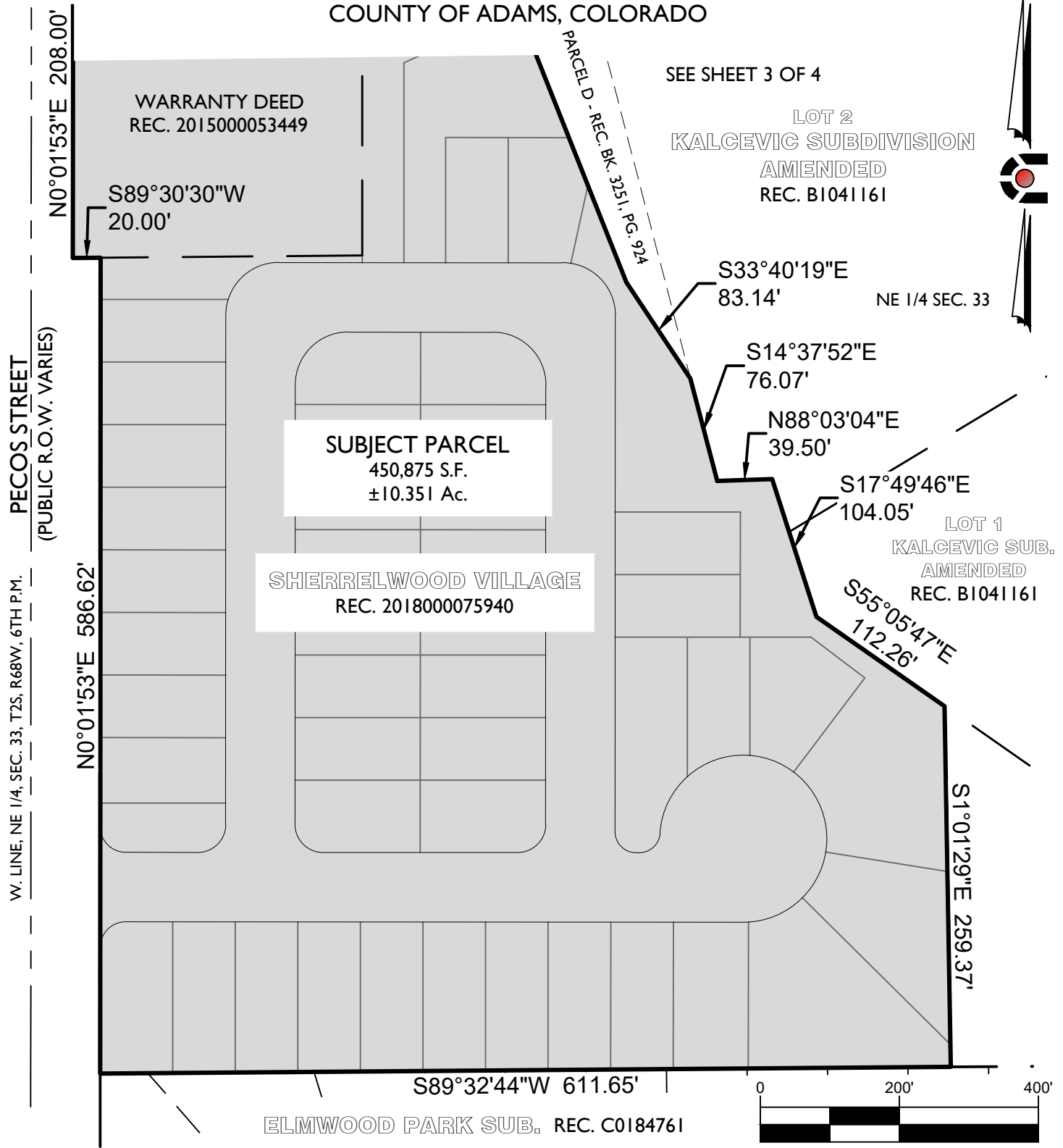


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1950 W. Littleton Blvd., Ste. 109
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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION

PROJECT: 15-018
DATE: 11/05/2019
SHEET 4 OF 4

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS, ALSO BEING THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT AND THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED, RECEPTION NO. 2019000075343 AND THE POINT OF BEGINNING;
THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND THE WEST LINE OF SAID DEED, RECEPTION NO. 2019000075343, ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO THE NORTHWEST CORNER OF SAID DEED, RECEPTION NO. 2019000075343;
THENCE S 82°41'00" E, CONTINUING ALONG THE PECOS STREET ROW AND THE NORTH LINE OF SAID DEED, A DISTANCE OF 8.10 FEET TO A POINT ON THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY AND THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924, SAID COUNTY RECORDS;
THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D THE FOLLOWING THREE (3) COURSES:
1. S 76°46'55" E, A DISTANCE OF 178.58 FEET;
2. S 21°38'59" E, ALONG THE EAST LINES OF SAID DEED, RECEPTION NO. 2019000075343 AND THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, BLOCK 1, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION
PROJECT: 15-018
DATE: 05/05/2020
SHEET 1 OF 4
DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION CONTINUED:

2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B, SHERRELWOOD VILLAGE;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY;
2. N 00°01'53" E, ALONG SAID WEST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED AT RECEPTION NO. 2019000073502;

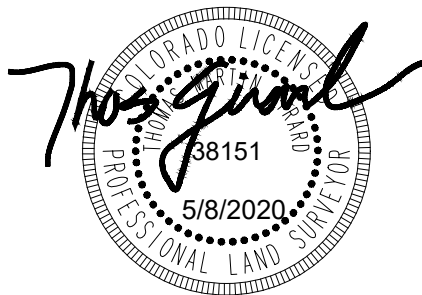
THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID DEED, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N 00°01'53" E, ALONG SAID EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT, AND THE POINT OF BEGINNING.

CONTAINING AN AREA OF 143,370 SQUARE FEET OR 3.291 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION
PROJECT: 15-018 DR: J. ANTON
DATE: 05/05/2020 DS: T. GIRARD
SHEET 2 OF 4 P.M. T. GIRARD

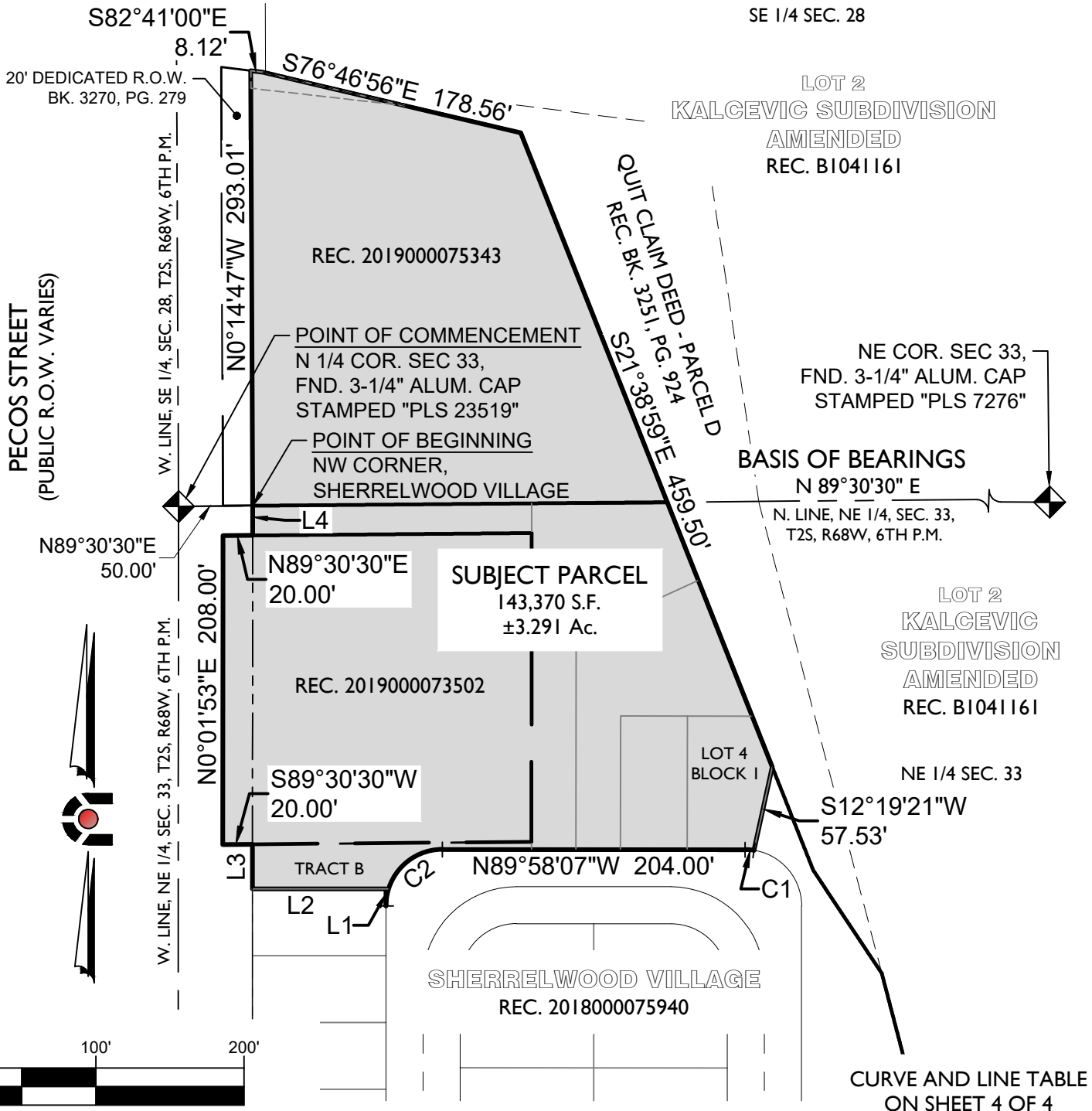


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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
DATE: 05/05/2020
SHEET 3 OF 4

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	11.47'	N 0°01'53" E
L2	90.00'	N 89°58'07" W
L3	30.01'	N 0°01'53" E
L4	20.00'	N 0°01'53" E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	6.02'	38.00'	9°04'20"	N85°25'57"W	6.01'
C2	59.69'	38.00'	90°00'00"	S45°01'53"W	53.74'

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018 DR: J. ANTON
DATE: 05/05/2020 DS: T. GIRARD
SHEET 4 OF 4 P.M. T. GIRARD



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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, ALSO BEING THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT AND THE POINT OF BEGINNING;

THENCE ALONG THE NORTH AND EAST LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING TWO (2) COURSES:

1. N 89°30'30" E, A DISTANCE OF 279.36 FEET;
2. S 21°38'59" E, A DISTANCE OF 191.87 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, BLOCK 1, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF SAID WEST 79TH WAY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;
2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET TO A POINT ON THE WEST LINE OF SAID LOT 8;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B; THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;
2. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NO. 2019000073502;

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
DATE: 05/05/2020
SHEET 1 OF 3

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION CONTINUED:

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND,, THE FOLLOWING THREE (3) COURSES:

1. N 89°30'30" E, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 188.00 FEET TO A POINT ON THE WEST LINE OF LOT 1, BLOCK 1 SAID SHERRELWOOD VILLAGE PLAT;
2. N 00°01'53" E, ALONG SAID WEST LINE, A DISTANCE OF 208.00 FEET TO THE SOUTHEAST CORNER OF SAID TRACT D;
3. S 89°30'30" W, ALONG THE SOUTH LINE OF SAID TRACT D, A DISTANCE OF 188.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, AND THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N 00°01'53" E, ALONG SAID EAST LINE, BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT, AND THE POINT OF BEGINNING.

CONTAINING AN AREA OF 38,549 SQUARE FEET OR 0.885 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



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PROJECT: 15-018 DR: J. ANTON
DATE: 05/05/2020 DS: T. GIRARD
SHEET 2 OF 3 P.M. T. GIRARD

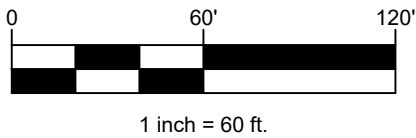
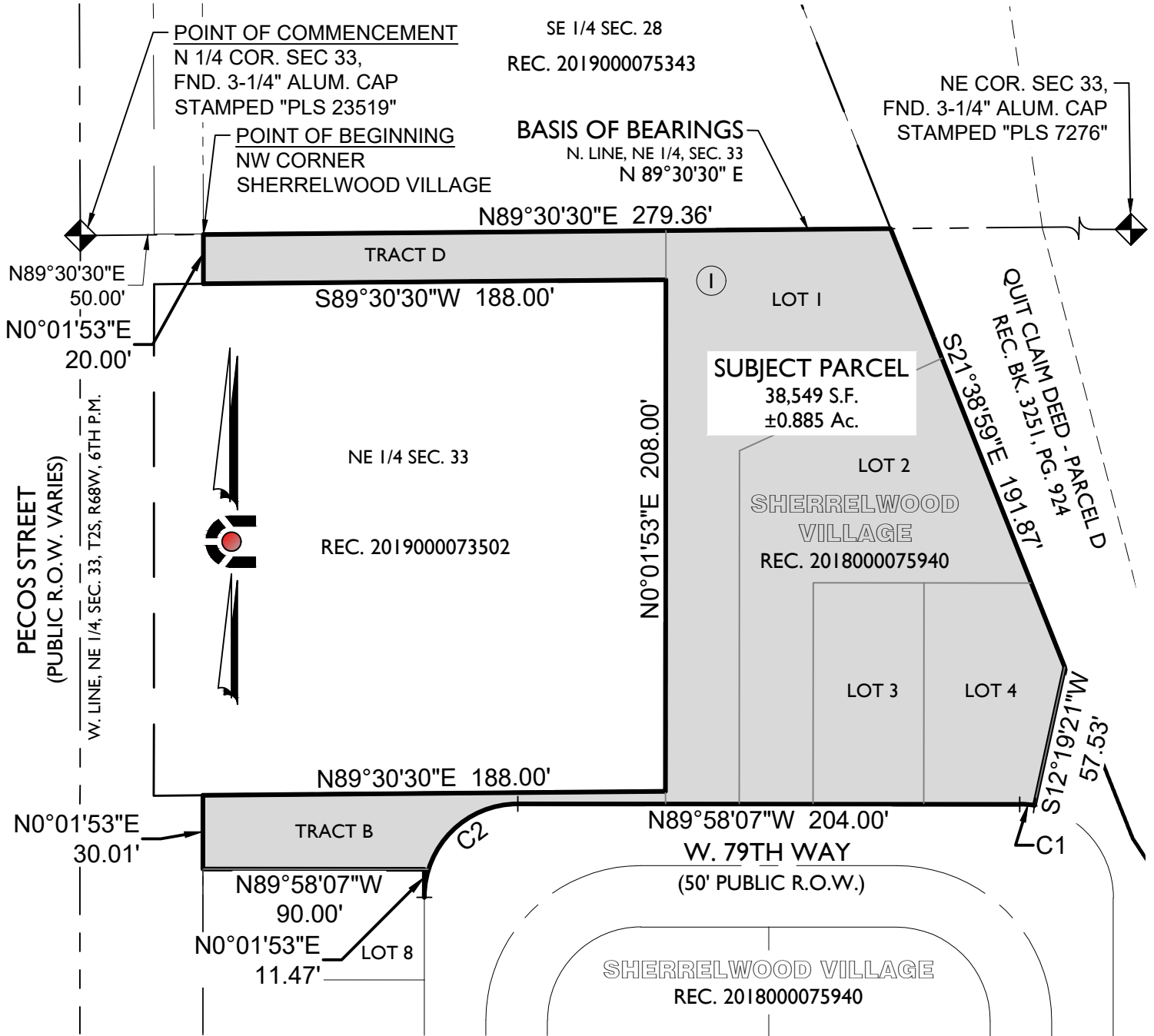


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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	6.02'	38.00'	9°04'20"	N85°25'57"W	6.01'
C2	59.69'	38.00'	90°00'00"	S45°01'53"W	53.74'

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
DATE: 05/05/2020
SHEET 3 OF 3

DR: J. ANTON
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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE S 10°57'17" E, A DISTANCE OF 262.37 FEET TO THE NORTHWEST CORNER OF LOT 8, BLOCK 2, SAID SHERRELWOOD VILLAGE PLAT AND THE POINT OF BEGINNING;

THENCE S 89°58'07" E, ALONG THE NORTH LINE OF SAID LOT 8, A DISTANCE OF 90.00 FEET;

THENCE S 00°01'53" W, A DISTANCE OF 11.47 FEET TO A POINT ON THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY AND ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET, THE CHORD OF WHICH BEARS N 45°01'53" E, A DISTANCE OF 53.74 FEET;
2. S 89°58'07" E, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET TO THE SOUTHEAST CORNER OF LOT 4, BLOCK 1, SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 12°19'21" E, ALONG THE SOUTHEAST LINE OF SAID LOT 4, A DISTANCE OF 57.53 FEET TO A POINT ON THE EAST LINE SAID SHERRELWOOD VILLAGE PLAT;

THENCE ALONG THE EAST, SOUTH AND WEST LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING NINE (9) COURSES:

1. S 21°38'59" E, A DISTANCE OF 75.05 FEET;
2. S 33°40'19" E, A DISTANCE OF 83.13 FEET;
3. S 14°37'52" E, A DISTANCE OF 76.08 FEET;
4. N 88°03'04" E, A DISTANCE OF 39.50 FEET;
5. S 01°01'29" E, A DISTANCE OF 259.37 FEET TO A POINT ON THE NORTH LINE OF THE ELMWOOD PARK SUBDIVISION, RECORDED AT RECEPTION NO. C0184761, SAID COUNTY RECORDS;
6. S 89°32'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 611.65 FEET TO THE SOUTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT, AND THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;
7. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 556.60 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 307,507 SQUARE FEET OR 7.059 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
DATE: 05/05/2020
SHEET 1 OF 3

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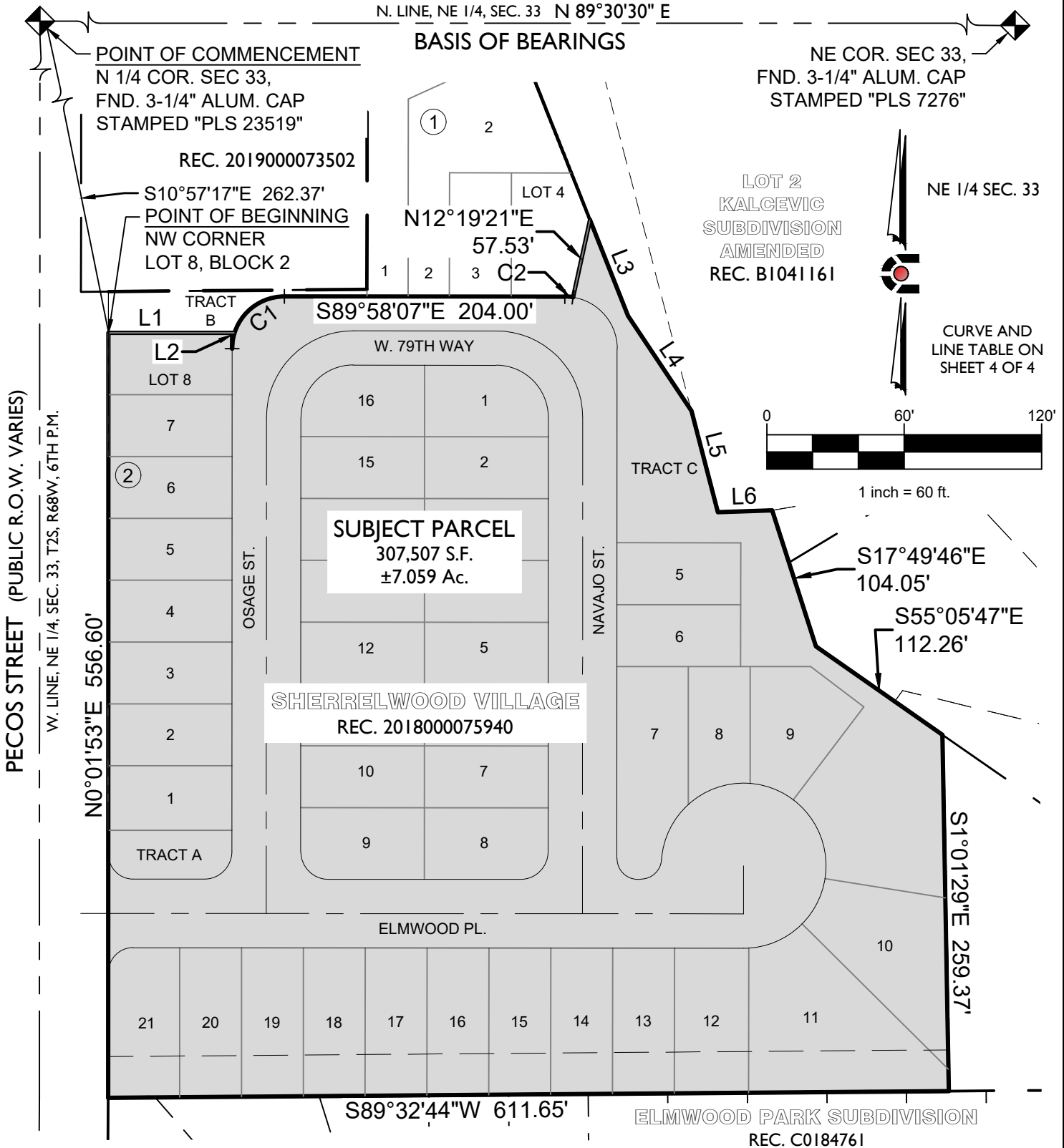


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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



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PROJECT: 15-018
DATE: 05/05/2020
SHEET 2 OF 3

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	90.00'	S 89°58'07" E
L2	11.47'	S 0°01'53" W
L3	75.05'	S 21°38'59" E
L4	83.13'	S 33°40'19" E
L5	76.08'	S 14°37'52" E
L6	39.50'	N 88°03'04" E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	59.69'	38.00'	90°00'00"	N45°01'53"E	53.74'
C2	6.02'	38.00'	9°04'20"	S85°25'57"E	6.01'

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION
PROJECT: 15-018 DR: J. ANTON
DATE: 05/05/2020 DS: T. GIRARD
SHEET 3 OF 3 P.M. T. GIRARD



CORE
CONSULTANTS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



LAND TITLE GUARANTEE COMPANY

Date: October 08, 2019

Subject: Attached Title Policy DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION for 8000 PECOS ST, DENVER, CO 80221

Enclosed please find the Owner's Title Insurance Policy for your purchase of the property listed above.

This title policy is the final step in your real estate transaction, and we want to take a moment to remind you of its importance. Please review all information in this document carefully and be sure to safeguard this policy along with your other legal documents.

Your owner's policy insures you as long as you own the property and requires no additional premium payments.

Please feel free to contact any member of our staff if you have questions or concerns regarding your policy, or you may contact Land Title Policy Team at (303) 850-4158 or finals@ltgc.com

As a Colorado-owned and operated title company for over 50 years, with offices throughout the state, we take pride in serving our customers one transaction at a time. We sincerely appreciate your business and welcome the opportunity to assist you with any future real estate needs. Not only will Land Title be able to provide you with the title services quickly and professionally, but you may also be entitled to a discount on title premiums if you sell or refinance the property described in the enclosed policy.

Thank you for giving us the opportunity to work with you on this transaction. We look forward to serving you again in the future.

Sincerely,

Land Title Guarantee Company



OWNER'S POLICY OF TITLE INSURANCE

ANY NOTICE OF CLAIM AND ANY OTHER NOTICE OR STATEMENT IN WRITING REQUIRED TO BE GIVEN TO THE COMPANY UNDER THIS POLICY MUST BE GIVEN TO THE COMPANY AT THE ADDRESS SHOWN IN SECTION 18 OF THE CONDITIONS.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, a Minnesota corporation, (the "Company"), insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the title; This covered Risk includes but is not limited to insurance against loss from
 - a. A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - b. The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - c. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A. The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

Issued by:

Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
(303)321-1880

Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By *C. Monroe* President
Attest *David Wold* Secretary



EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (1)(a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- (2) Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- (3) Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- (4) Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
- (5) Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b) or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured.
 - (2) if the grantee wholly owns the named Insured.
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes
 - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenue, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A. "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be

liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligation to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance. To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay. Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in the subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

(i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay. Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

(i) the Amount of Insurance; or

(ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

- (i) the Amount of Insurance shall be increased by 10%, and
- (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons, Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim or loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.

(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

(a) Choice of Law; The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum; Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: 400 Second Avenue South, Minneapolis, Minnesota 55401 (612)371-1111.

ANTI-FRAUD STATEMENT: Pursuant to CRS 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed to and made a part of this policy.

Old Republic National Title Insurance Company
Schedule A

Order Number: ABJ70617395

Policy No.: OX70617395.1610342

Amount of Insurance: \$400,000.00

Property Address:

8000 PECOS ST, DENVER, CO 80221

1. Policy Date:

September 10, 2019 at 5:00 P.M.

2. Name of Insured:

DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION

3. The estate or interest in the Land described in this Schedule and which is covered by this policy is:

A Fee Simple

4. Title to the estate or interest covered by this policy at the date is vested in:

DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION

5. The Land referred to in this Policy is described as follows:

BEGINNING AT THE NORTH ONE-QUARTER CORNER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO;

THENCE NORTH 89° 55' 33" EAST, A DISTANCE OF 30.00 FEET TO A POINT, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE THE FOLLOWING COURSES AND DISTANCES:

NORTH 0° 00' 00" EAST, 295.42 FEET;
SOUTH 82° 26' 14" EAST, 20.18 FEET;
SOUTH 82° 26' 14" EAST, 8.04 FEET;
SOUTH 76° 32' 09" EAST, 178.58 FEET;
SOUTH 21° 24' 11" EAST, 268.24 FEET;
SOUTH 89° 55' 33" WEST 299.53 FEET
TO THE TRUE POINT OF BEGINNING.

EXCEPTING THAT PORTION DEEDED TO THE COUNTY OF ADAMS IN INSTRUMENT RECORDED FEBRUARY 5, 1987 IN BOOK 3270 AT PAGE [279](#).

(THE BEARINGS AND DISTANCES ARE DERIVED FROM THE KALCEVIC SUBDIVISION PLAT AS RECORDED AUGUST 23, 1984, UNDER RECEPTION NO. [B523787](#), COUNTY OF ADAMS, STATE OF COLORADO)

Old Republic National Title Insurance Company

(Schedule B)

Order Number: ABJ70617395

Policy No.: OX70617395.1610342

This policy does not insure against loss or damage by reason of the following:

- 1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
- 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
6. TAXES AND ASSESSMENTS FOR THE YEAR 2019 AND SUBSEQUENT YEARS.
7. EXISTING LEASES AND TENANCIES, IF ANY.
8. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EXCLUSIVE EASEMENT FOR PIPELINE RECORDED DECEMBER 29, 1986 UNDER RECEPTION NO. [B705776](#).



**Land Title Guarantee Company
Customer Distribution**



PREVENT FRAUD - Please remember to call a member of our closing team when initiating a wire transfer or providing wiring instructions.

Order Number: **RND70700124**

Date: **12/16/2020**

Property Address: **7996 AND 8000 PECOS STREET AND 7957 OSAGE , DENVER, CO 80221**

PLEASE CONTACT YOUR CLOSER OR CLOSER'S ASSISTANT FOR WIRE TRANSFER INSTRUCTIONS

For Closing Assistance

For Title Assistance

SANDY JOHNSON
5975 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
(303) 850-4126 (Work)
sajohnson@ltgc.com

Agent for Seller

TERRACINA DESIGN
Attention: MICHAEL WEIHER
10200 E GIRARD AVE #A314
DENVER, CO 80231
(303) 632-8867 (Work)
mweiher@terracinadesign.com
Delivered via: Electronic Mail



**Land Title Guarantee Company
Estimate of Title Fees**

Order Number: **RND70700124** Date: **12/16/2020**

Property Address: **7996 AND 8000 PECOS STREET AND 7957 OSAGE , DENVER, CO 80221**

Parties: **DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION**

DELWEST DEVELOPMENT CORP, A COLORADO CORPORATION, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEEDS RECORDED SEPTEMBER 5, 2019 UNDER RECEPTION NO. 2019000073502 AND SEPTEMBER 10, 2019 UNDER RECEPTION NO. 2019000075343 AND ELMWOOD POINTE LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN QUIT CLAIM DEED RECORDED JUNE 10, 2019 UNDER RECEPTION NO. 2019000044105 AND SHIRLEY DUNOMES, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEED RECORDED MARCH 31, 2020 UNDER RECEPTION NO. 2020000029034 AND 7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN SPECIAL WARRANTY DEED RECORDED DECEMBER 16, 2018 UNDER RECEPTION NO. 20150000104930

Visit Land Title's Website at www.ltgc.com for directions to any of our offices.

Estimate of Title insurance Fees	
"TBD" Commitment	\$423.00
RESEARCH INCOME-COMML	\$270.00
	Total \$693.00
If Land Title Guarantee Company will be closing this transaction, the fees listed above will be collected at closing.	
Thank you for your order!	

Note: The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the effect of these documents on your property.

Chain of Title Documents:

[Adams county recorded 06/10/2019 under reception no. 2019000044105](#)

[Adams county recorded 09/05/2019 under reception no. 2019000073502](#)

[Adams county recorded 09/10/2019 under reception no. 2019000075343](#)

[Adams county recorded 12/16/2015 under reception no. 20150000104930](#)

[Adams county recorded 03/31/2020 under reception no. 2020000029031](#)

Plat Map(s):

[Adams county recorded 09/18/2018 under reception no. 2018000075940](#)

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: RND70700124

Property Address:

7996 AND 8000 PECOS STREET AND 7957 OSAGE , DENVER, CO 80221

1. Effective Date:

12/09/2020 at 5:00 P.M.

2. Policy to be Issued and Proposed Insured:

"TBD" Commitment

\$0.00

Proposed Insured:

DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION

3. The estate or interest in the land described or referred to in this Commitment and covered herein is:

A FEE SIMPLE

4. Title to the estate or interest covered herein is at the effective date hereof vested in:

DELWEST DEVELOPMENT CORP, A COLORADO CORPORATION, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEEDS RECORDED SEPTEMBER 5, 2019 UNDER RECEPTION NO. 2019000073502 AND SEPTEMBER 10, 2019 UNDER RECEPTION NO. 2019000075343 AND ELMWOOD POINTE LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN QUIT CLAIM DEED RECORDED JUNE 10, 2019 UNDER RECEPTION NO. 2019000044105 AND SHIRLEY DUNOMES, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEED RECORDED MARCH 31, 2020 UNDER RECEPTION NO. 2020000029034 AND 7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN SPECIAL WARRANTY DEED RECORDED DECEMBER 16, 2018 UNDER RECEPTION NO. 20150000104930

5. The Land referred to in this Commitment is described as follows:

A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1 AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING ASSUMED TO BEAR N 89° 30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER OF SAID SECTION 33, THENCE N 89° 30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS, ALSO BEING

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: RND70700124

THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT AND THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED, RECEPTION NO. 2019000075343 AND THE POINT OF BEGINNING;

THENCE N 00° 14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND THE WEST LINE OF SAID DEED, RECEPTION NO. 2019000075343, ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO THE NORTHWEST CORNER OF SAID DEED, RECEPTION NO. 2019000075343;

THENCE S 82° 41'00" E, CONTINUING ALONG THE PECOS STREET RIGHT-OF-WAY AND THE NORTH LINE OF SAID DEED, A DISTANCE OF 8.10 FEET TO A POINT ON THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY AND THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924, SAID COUNTY RECORDS;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D THE FOLLOWING THREE (3) COURSES:

1. S 76° 46'55" E, A DISTANCE OF 178.58 FEET;

2. S 21° 38'59" E, ALONG THE EAST LINES OF SAID DEED, RECEPTION NO. 2019000075343 AND THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1;

THENCE S 12° 19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, BLOCK 1, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09° 04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85° 27'57" W, A DISTANCE OF 6.01 FEET;

2. N 89° 58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;

3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90° 00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00° 01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B, SHERRELWOOD VILLAGE;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

1. N 89° 58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY;

2. N 00° 01'53" E, ALONG SAID WEST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED AT RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID DEED, ALSO BEING THE SOUTH LINE OF THE PECOS STREET RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. S 89° 30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

2. N 00° 01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

3. N 89° 30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N 00° 01'53" E, ALONG SAID EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: RND70700124

33, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT,
AND THE POINT OF BEGINNING.

LEGAL DESCRIPTION PREPARED BY:
THOMAS M GIRARAD
COLORADO PLS 38151
FOR AND ON BEHALF OF CORE CONSULTANTS, INC.
1950 W LITTLETON BLVD., STE. 109
LITTLETON, CO 80120

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ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part I

(Requirements)

Order Number: RND70700124

All of the following Requirements must be met:

This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.

Pay the agreed amount for the estate or interest to be insured.

Pay the premiums, fees, and charges for the Policy to the Company.

Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

THIS COMMITMENT IS FOR INFORMATION ONLY, AND NO POLICY WILL BE ISSUED PURSUANT HERETO.

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

- 1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
- 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
- 5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.**
- 6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.**
- 7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
- 8. EXISTING LEASES AND TENANCIES, IF ANY.**
- 9. RIGHTS OF THE PUBLIC IN AND TO ANY PORTION OF THE SUBJECT PROPERTY LYING WITHIN THE RIGHT OF WAY OF PECOS STREET.**
- 10. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EXCLUSIVE EASEMENT FOR PIPELINE RECORDED DECEMBER 29, 1986 UNDER RECEPTION NO. [B705776](#).**
- 11. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS OF EASEMENT DESCRIBED WARRANTY DEED RECORDED APRIL 10, 1963 IN BOOK 1058 AT PAGE [371](#).**
- 12. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS OF EASEMENTS DESCRIBED IN DEED RECORDED DECEMBER 29, 1986 IN BOOK 3251 AT PAGE [924](#).**
- 13. TERMS, CONDITIONS AND PROVISIONS OF OPERATION AND MAINTENANCE MANUAL RECORDED APRIL 02, 2018 AT RECEPTION NO. [20180000026268](#).**
- 14. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION 2018-533 RECORDED AUGUST 16, 2018 AT RECEPTION NO. [2018000066629](#).**

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part II

(Exceptions)

Order Number: RND70700124

15. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION 20108-534 RECORDED AUGUST 16, 2018 AT RECEPTION NO. [2018000066681](#).
16. TERMS, CONDITIONS AND PROVISIONS OF PERMANENT DRAINAGE EASEMENT RECORDED SEPTEMBER 06, 2018 AT RECEPTION NO. [2018000072630](#) AND RECORDED APRIL 9, 2019 UNDER RECEPTION NO. [2019000025839](#).
17. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF SHERRELWOOD VILLAGE RECORDED SEPTEMBER 18, 2018 UNDER RECEPTION NO. [2018000075940](#).

AFFIDAVIT OF PLAT CORRECTION RECORDED SEPTEMBER 4, 2019 UNDER RECEPTION NO. [2019000073330](#).
18. TERMS, CONDITIONS AND PROVISIONS OF SHERRELWOOD VILLAGE PLANNED UNIT DEVELOPMENT-FINAL DEVELOPMENT PLAN RECORDED SEPTEMBER 18, 2018 AT RECEPTION NO. [2018000075941](#).
19. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN COUNSTRUCTION AND DRAINAGE EASEMENT AGREEMENT RECORDED AUGUST 07, 2019 UNDER RECEPTION NO. [2019000063643](#).
20. RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN INSTRUMENT RECORDED NOVEMBER 08, 2019, UNDER RECEPTION NO. [2019000096873](#) AND FIRST SUPPLEMENTAL DECLARATION RECORDED MARCH 23, 2020 UNDER RECEPTION NO. [2020000024705](#).
21. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN LIMITED AMENDMENT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ELMWOOD ESTATES (A PLANNED COMMUNITY) RECORDED MAY 07, 2020 UNDER RECEPTION NO. [2020000041819](#).
22. DEED OF TRUST, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT AND FIXTURE FILING, FROM ELMWOOD POINTE, LLC, A COLORADO LIMITED LIABILITY COMPANY TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MIDFIRST BANK, A FEDERALLLY CHARTERED SAVINGS ASSOCIATION AND ITS SUCCESSORS AND ASSIGNS TO SECURE THE SUM OF \$12,202,280.00 RECORDED JUNE 10, 2019, UNDER RECEPTION NO. [2019000044106](#).
23. DEED OF TRUST TO THE PUBLIC TRUSTEE, SECURITY AGREEMENT, AND FINANCING STATEMENT DATED DECEMBER 26, 2019, FROM DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MERCY LOAN FUND, A A COLORADO NON-PROFIT CORPORATION TO SECURE THE SUM OF \$1,250,000.00 RECORDED DECEMBER 30, 2019, UNDER RECEPTION NO. [2019000114918](#).

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124

24. DEED OF TRUST DATED MARCH 27, 2020 FROM SHIRLEY DUNOMES TO THE PUBLIC TRUSTEE OF ADAMS COUNTY FOR THE USE OF MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC. UNITED WHOLESAL MORTGAGE TO SECURE THE SUM OF \$459,900.00, AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS THEREOF, RECORDED MARCH 31, 2020, UNDER RECEPTION NO. [202000029032](#).



LAND TITLE GUARANTEE COMPANY DISCLOSURE STATEMENTS

Note: Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

Note: Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.



**JOINT NOTICE OF PRIVACY POLICY OF
LAND TITLE GUARANTEE COMPANY,
LAND TITLE GUARANTEE COMPANY OF SUMMIT COUNTY
LAND TITLE INSURANCE CORPORATION AND
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
 - your transactions with, or from the services being performed by us, our affiliates, or others;
 - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.



Commitment For Title Insurance

Issued by Old Republic National Title Insurance Corporation

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.

- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.



Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By  *C Monroe* President
Attest  *David Wold* Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Land Title Insurance Corporation. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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5325 Zuni, Room 728
Denver, CO, 80221
September 29, 2020

Rose Gallucci
Delwest Development Corp
155 South Madison St. Suite 326
Denver, CO 80209
D: 720-708-4065
F: 303-974*5239
E: rose@delwest.com
W: www.delwest.com

RE: 7996 N. Pecos St and 8000 N. Pecos St. in Unincorporated Adams County, State of Colorado.

Recently you approached CenturyLink about providing a “Will Serve” letter to serve 7996 N. Pecos St and 8000 N. Pecos St. in Unincorporated Adams County, State of Colorado. CenturyLink appreciates the opportunity to provide Delwest Development Corp. with its future communication needs.

In response to the request for a commitment to serve, CenturyLink will work with Delwest Development Corp. on determining what the needs will be. Upon such determination, CenturyLink will undertake an analysis of the construction required and the cost to complete that construction. It is only at that point and given the prevailing Tariffs that CenturyLink will make a determination on whether it can or cannot provide service.

As you may or may not know, many of the telecommunications services provided by CenturyLink are regulated and the services you request will be provided for under the tariffs on file with the Colorado Public Utilities Commission.

If there are any further questions, or if I can be of any help, please do not hesitate to call me on 720-578-3560.

Regards,

Robert Davis
Sr. Local Network Engineer
5325 Zuni Street, Room 728
Denver, CO 80221
720-548-3560
Robert.Davis@CenturyLink.com



September 29, 2020

**Delwest Development Corporation
C/O Derrell Schreiner
155 S Madison St Suite 326
Denver CO 80209**

RE: Elmwood North
7996 N Pecos St., 8000 N Pecos St
Denver, CO 80221

Dear Derrell Schreiner:

Please accept this letter as confirmation of Comcast Cable Corporation ability to provide cable service to the captioned location. The project consists of 50 townhomes. The provision of service is contingent upon successful negotiations of an agreement between the developer and Comcast Cable Corporation.

If you have any questions at all, please contact Brian Jones at (303) 603-5661, or me with the information below.

Sincerely,

Sean Hofer
Xfinity Communities
303-603-2019
Sean_hofer@cable.comcast.com

This letter is not intended to give rise to binding obligations for either party. Any contractual relationship between the parties will be the result of formal negotiations and will only become effective upon execution of the contract by representatives of the parties authorized to enter into such agreements. During any negotiations, each party will bear its own costs and will not be responsible for any costs or expenses of the other party, unless separately agreed to in writing.



City Hall
9500 Civic Center Drive
Thornton, Colorado 80229-4326

City Development Department
303-538-7295
FAX 303-538-7373
www.cityofthornton.net

September 14, 2020

Rose Gallucci
Delwest Development Corp
155 South Madison Street, Suite 326
Denver, CO 80209

Re: City Water and Wastewater Service for 8000 N Pecos St and 7996 N Pecos St

Dear Mrs. Gallucci,

This letter is to confirm that currently there is adequate capacity in the City of Thornton (City) water and wastewater systems to serve the above-identified proposed development subject to the limitations stated below. However, please be aware that the City does not guarantee capacity for proposed developments indefinitely or capacity for future developments. System capacity must be verified at the time of development.

The extension of City water and wastewater mains and service connections necessary to serve this property shall be installed at the expense of the property owner/developer. The design and installation of all water and wastewater improvements shall conform to all ordinances and regulations, codes and specifications in effect at the time of development. Also, the property owner shall comply with the requirements of any utility extension agreements or other agreements that may affect this property. This property will need to comply with the most current ordinances applicable to water and sewer rates and charges.

System capacity is based on a use consistent with development plans and can be affected by drought, emergency or lack of available water resources. The City has the authority to and may suspend the issuance of new water taps and connections to the City water mains for an indefinite period of time for these reasons, and/or take other emergency measures that may affect the availability of water service.

This letter is valid for a period of one (1) year from the date of this letter.

If you have any questions, please call me at 303-538-7207.

Sincerely,

A handwritten signature in blue ink that reads "Cassie Free".

Cassie Free
Development Engineering Manager

CF/hc

cc: Ralph Mitchell, Utilities Operations Manager
Emily Hunt, Water Resources Manager



WILL SERVE LETTER

October 1, 2020

Derrell Schreiner
Delwest Development Corp
155 S. Monroe St Suite 326
Denver CO 80209.

Re: Sherrelwood Village

Dear Derrell,,

This letter is to confirm that Xcel Energy is your utility provider for natural gas and electrical service. In accordance with our tariffs, on file with and approved by the Colorado Public Utilities Commission, gas and electric facilities can be made available to serve the project at Sherrelwood Village.

Your utility service(s) will be provided after the following steps are completed:

- ***Application submitted to Public Service's "Builders Call Line (BCL)"*** – once your application is accepted you will be assigned a design department representative who will be your primary point of contact
- ***Utility design is completed*** – you must provide your design representative with the site plan, the one line diagrams, and panel schedules for electric and gas loads if applicable
- ***All documents provided by design representative are signed and returned***
- ***Payment is received***
- ***Required easements are granted*** - you must sign and return applicable easement documents to your Right-of-Way agent
- ***Site is ready for utility construction***

A scheduled in-service date will be provided once these requirements have been met.

It is important to keep in mind that the terms and conditions of utility service, per our tariffs, require that you provide adequate space and an easement on your property for all gas and electric facilities required to serve your project, including but not limited to gas and electrical lines and meters, transformers, and pedestals. General guidelines for these requirements can be found at [Site Requirements. https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed Documents & PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf](https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed_Documents_&PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf) Easement requirements can be found at [Utility Design and Layout](#).

Xcel Energy looks forward to working with you on your project and if I can be of further assistance, please contact me at the phone number or email listed below.

Sincerely,

Patrick Quinn
Xcel Energy Designer

Mailing address: Public Service Company of Colorado
5460 W 60th Ave
Arvada, CO 80003



ADAMS COUNTY TREASURER

Certificate Of Taxes Due

Account Number R0060226
 Parcel 0171928400003
 Assessed To
 CHILDRENS OUTREACH PROJECT
 C/O:THERAPUTIC DAYCARE CENTER
 8000 PECOS
 DENVER, CO 80221

Certificate Number 2019-121043
 Order Number 153730/ab70617395
 Vendor ID 43
 COLORADO COUNTY RECORD SYSTEMS LLC
 PO BOX 12102
 DENVER, CO 80212

Legal Description

Situs Address

SECT,TWN,RNG:28-2-68 DESC: PT OF SE4 OF SEC 28 DESC AS FOLS BEG AT N4 COR OF SEC 33 TH E 30 FT TO TRUE POB TH N 295/42 FT TH S 82D 26M E 20/18 FT TH S 82D 26M E 8/04 FT TH S 76D 32M E 178/58 FT TH S 21D 24M E 268/24 FT TH W 299/53 FT TO TRUE POB EXC RD 1/48A 8000 PECOS ST

Year	Tax	Interest	Fees	Payments	Balance
Special Assessment: STORMWATER UTILITY FEE					
2018	\$499.86	\$0.00	\$0.00	\$0.00	\$499.86
Total Special Assessment: STORMWATER UTILITY FEE					\$499.86
Special Assessment: TREASURERS FEE SWU					
2018	\$49.99	\$0.00	\$0.00	\$0.00	\$49.99
Total Special Assessment: TREASURERS FEE SWU					\$49.99
GRAND TOTAL					\$549.85
Grand Total Due as of 04/19/2019					\$549.85

STORMWATER UTILITY FEE **\$499.86**
TREASURERS FEE SWU **\$49.99**

Tax Billed at 2018 Rates for Tax Area 490 - 490

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6660000	\$0.00	CHAR SOC SERV LND	\$161,172	\$11,600
ADAMS COUNTY FIRE PROTECTIO	16.6500000	\$0.00	CHAR SOC SERV	\$919,685	\$66,220
ADAMS COUNTY	26.8640000	\$0.00	IMPROV		
HYLAND HILLS PARK & RECREAT	5.4130000	\$0.00	Total	\$1,080,857	\$77,820
SD 50	66.5140000	\$0.00			
URBAN DRAINAGE SOUTH PLATTE	0.0940000*	\$0.00			
URBAN DRAINAGE & FLOOD CONT	0.7260000*	\$0.00			
Taxes Billed 2018	119.9270000	\$0.00			

* Credit Levy

ALL TAX SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRAINT WARRANT FEES. CHANGES MAY OCCUR AND THE TREASURER'S OFFICE WILL NEED TO BE CONTACTED PRIOR TO REMITTANCE AFTER AUGUST 1. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIERS CHECK. SPECIAL TAXING DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE ON FILE WITH THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK, OR THE COUNTY ASSESSOR.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax or misc. tax collected on behalf of other entities, special or local improvement district assessments or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption are as noted herein. In witness whereof, I have hereunto set my hand and seal.

TREASURER, ADAMS COUNTY, Lisa L. Culpepper J.D..

Treasurer, Adams County, Lisa L. Culpepper J.D.

4430 S. Adams County Parkway
 Brighton, CO 80601



Account	As of Date	Parcel Number	Owner
R0067193	08/06/2019	0171933100009	LA JEUNESSE ROBERT MARTIN
Legal:	SECT,TWN,RNG:33-2-68 DESC: BEG AT A PT ON E LN N PECOS ST 20 FT S OF N LN SEC 33 TH S ALG E LN PECOS ST 208 FT TH E 208 FT TH N AT R/A 208 FT M/L TO A PT 20 FT S OF N LN SD SEC TH W 208 FT M/L TO POB 1A		
Situs Address:	7996 PECOS ST		
Year		Tax	Total Due
Total		\$0.00	\$0.00

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, Delwest Development Corp.
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:

Physical Address: 7996 Pecos St. Denver, CO 80221

Legal Description: SECT, TWN, RNG: 33-2-68 DESC: BEG AT A PT ON E LN N PECOS ST 20 FT S OF N LN SEC 33 TH S ALG E LN
— PECOS ST 208 FT TH E 208 FT TH N AT R/A 208 FT M/L TO A PT 20 FT S OF N LN SD SEC TH W 208 FT M/L TO
POB 1A

Parcel #(s): 0171933100009

(PLEASE CHECK ONE):

 On the day of , 20 , which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;

 X or I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: 12/23/19 Applicant: Delwest Development Corp.

By: _____
Print Name: Craig Fitchett
Address: 155 S Madison St. Suite 326
Denver, CO 80209

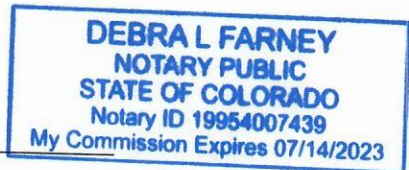
STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this day of , 20 , by
_____.

Witness my hand and official seal.

My Commission expires: 7-14-23

Debra L Farney
Notary Public



After Recording Return To: _____ Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, Delwest Development Corp.

_____, (the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address: 7996 Pecos St. Denver, CO 80209

Legal Description: SECT,TWN,RNG:33-2-68 DESC: BEG AT A PT ON E LN N PECOS ST 20 FT S OF N LN
~~SEC 33 TH S ALG E LN PECOS ST 208 FT TH E 208 FT TH N AT R/A 208 FT M/L TO A PT~~
~~20 FT S OF N LN SD SEC TH W 208 FT M/L TO POB 1A~~

Parcel #(s): _____

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

x _____ No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

_____ The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

_____ The application for development provides:
(i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
(ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
(iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 12/23/19

Applicant: Delwest Development Corp

After Recording Return To:

By: 
Print Name: Craig Fitchett
Address: 155 S Madison St. Suite 326
Denver, CO 80209

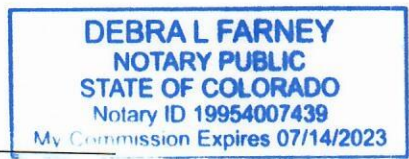
STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this _____ day of _____, 20____, by
_____.

Witness my hand and official seal.

My Commission expires: 7-14-23

Debra L Farney
Notary Public



Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, Delwest Development Corp.
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:

Physical Address: 8000 Pecos St. Denver, CO 80221

Legal Description: SUB:PERL MACK MANOR SEVENTH FILING BLK:37 DESC: N 24 FT OF LOT 21 ALL LOTS 22 THRU 24

Parcel #(s): 0171928400003

(PLEASE CHECK ONE):

 On the day of , 20 , which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;

 X OR
I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: 12/23/19

Applicant: Delwest Development Corp.

By: *[Signature]*

Print Name: Craig Fitchett

Address: 155 S Madison St. Suite 326
Denver, CO 80209

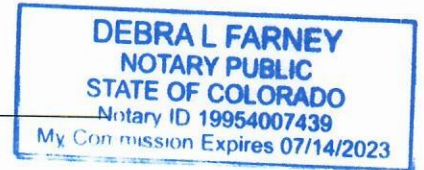
STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this 23 day of DECEMBER, 2019, by W CRAIG FITCHETT.

Witness my hand and official seal.

My Commission expires: 7-14-23

[Signature]
Notary Public



After Recording Return To:

Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, Delwest Development Corp.

_____, (the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address: 8000 Pecos St. Denver, CO 80209

Legal Description: SUB:PERL MACK MANOR SEVENTH FILING BLK:37 DESC: N 24 FT OF LOT 21 ALL LOTS 22 THRU
24

Parcel #(s): 0171928400003

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

The application for development provides:

- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 12/23/19

Applicant:

Delwest Development Corp

After Recording Return To:

By:

Print Name:

Craig Fitchett

Address:

155 S Madison St. Suite 326

Denver, CO 80209

STATE OF COLORADO)
)
COUNTY OF ADAMS)

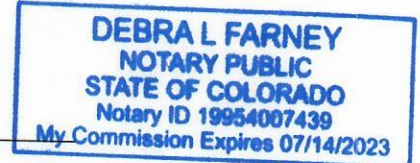
Subscribed and sworn to before me this _____ day of _____, 20____, by
_____.

Witness my hand and official seal.

My Commission expires:

7-14-23

Debra L Farney
Notary Public



Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, Delwest Development Corp., (the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address: 8000 Pecos St. Denver, CO 80209
 Legal Description: SUB:PERL MACK MANOR SEVENTH FILING BLK:37 DESC: N 24 FT OF LOT 21 ALL LOTS 22 THRU 24

Parcel #(s): 0171928400003

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

The application for development provides:

- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 12/23/19 Applicant: Delwest Development Corp

After Recording Return To: By: Craig Fitchett
 Print Name: 155 S Madison St. Suite 326
 Address: Denver, CO 80209

STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this _____ day of _____, 20____, by
_____.

Witness my hand and official seal.

My Commission expires:

7-14-23

Debra L Farney
Notary Public



Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.



December 6, 2020

Ms. Melissa Hale
Delwest Development Corp.
155 South Madison Street
Suite 326
Denver, CO 80209

Re: Elmwood North Traffic Study
Adams County, Colorado

Dear Ms. Hale:

This letter documents a traffic study prepared for a proposed Elmwood North residential neighborhood project to be located at the Pecos Street and 79th Way intersection in Adams County, Colorado. The development is located along the east side of Pecos Street, approximately halfway between US-36 and 84th Avenue. The residential neighborhood development currently proposes 41 single family detached homes and 48 multi-family townhome units. A vicinity map illustrating the location of the project site is attached in **Figure 1**.

The surrounding area primarily consists of single-family residences with a multifamily building located on the northwest corner of the 79th Way and Pecos Street intersection. Sherrelwood Park and Sherrelwood Elementary School are located to the northeast of the project. The proposed development is located approximately 0.7 miles north of US Highway 36 and 1.8 miles west of Interstate 25. The site area within the project study area is shown in the aerial of attached **Figure 2**. A site plan for the proposed development is also attached.

The purpose of this letter is to identify the amount of traffic associated with this proposed development based on the expected trip generation, trip distribution, and traffic assignment. An operational analysis and vehicle queue calculations for the proposed Elmwood North project were performed. Project traffic was assigned to the key intersections and project driveways within the study limits. It is expected that project construction will be completed within the next year; therefore, analysis was performed for the 2022 short term build out horizon as well as the 2040 long-term twenty-year horizon.

Existing Roadway Network and Traffic Counts

Regional access to the Elmwood North project is provided by Interstate 25 and US Highway 36. Primary access will be provided by Pecos Street. Direct access to the site will be provided by two full movements accesses on the east side of Pecos Street, one to align with existing Sherrelwood Drive, and the other is already constructed approximately halfway between 79th Way and Elmwood Lane. The following intersections were analyzed in this traffic study letter in accordance with Adams County standards and requirements:

- Sherrelwood Drive and Pecos Street (Northern Access)
- 79th Way and Pecos Street
- Elmwood Place and Pecos Street (Southern Access)

Pecos Street extends north-south with a two-way left turn lane and two through lanes in each direction with a speed limit of 35 miles per hour adjacent to the site. Sherrelwood Drive extends east-west with one through lane in each direction and has a posted speed limit of 25 miles per hour in the vicinity of the site. 79th Way extends east-west with one through lane in each direction and a posted speed limit of 25 miles per hour in the vicinity of the site. The intersection of Sherrelwood Drive and Pecos Street is signalized, which operates with permitted only left turn phasing in the northbound approach. The intersection of 79th Way and Pecos Street operates with stop control on the eastbound approach. The existing lane configuration and control of the key intersections is shown in attached **Figure 3**

Morning and afternoon peak hour turning movement counts were performed at the key intersections on Tuesday, March 10, 2020. The weekday counts were conducted in 15-minute intervals during the morning and afternoon peak hours of adjacent street traffic from 7:00 AM to 9:00 AM and 4:00 PM to 6:00 PM. The existing peak hour counts of the key intersections are shown in attached **Figure 4**, with count sheets attached as well.

Trip Generation

Site-generated traffic estimates are determined through a process known as trip generation. Rates and equations are applied to the proposed land use to estimate traffic generated by the development during a specific time interval. The acknowledged source for trip generation rates is the *Trip Generation Manual* published by the Institute of Transportation Engineers (ITE). ITE has established trip rates in nationwide studies of similar land uses. Trip generation is based on the ITE Trip Generation, 10th Edition (most current edition) fitted curve equations for Single-Family Detached Housing (ITE Code 210), and Multifamily Housing (Low-Rise) (ITE 220).

The following summarizes the anticipated trip generation for the proposed development (trip generation calculations are attached). Project generated traffic volumes are identified on a weekday daily as well as on a morning peak hour and afternoon peak hour basis. The morning peak hour is the highest one-hour time period of adjacent street traffic during four consecutive 15-minute intervals during the morning rush hour, between 7:00 am and 9:00 am. The afternoon peak hour is the highest one-hour time period of four consecutive 15-minute intervals between the hours of 4:00 pm and 6:00 pm representing the afternoon rush hour. As summarized in **Table 1**, the proposed Elmwood North project is anticipated to generate 780 weekday daily trips with 58 trips (13 in and 45 out) occurring during the morning peak hour, and 74 trips (47 in and 27 out) occurring during the afternoon peak hour.

Table 1 – Elmwood North Trip Generation

Land Use and Size	Daily Vehicle Trips	Weekday Vehicle Trips					
		AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Single-Family Detached Housing (210) – 41 Dwelling Units	458	7	27	34	27	16	43
Multifamily Housing (Low-Rise) (220) – 48 Dwelling Units	322	6	18	24	20	11	31
Total Trips	780	13	45	58	47	27	74

Project Access

Primary access will be provided by two full movements accesses, both along the east side of Pecos Street. The proposed northern access will align with the existing Sherrelwood Drive and Pecos Street signalized intersection. The proposed southern driveway along Pecos Street is already constructed, named Elmwood Place, and is approximately 550 feet south of 79th Way.

Distribution, Assignment, and Total Traffic

Trip distribution of the anticipated project traffic was identified based on the area street system characteristics, surrounding demographic information, and the access system for the project. Traffic assignment was obtained by applying the project trip distribution to the estimated full project traffic generation of the proposed development. Attached **Figure 5** illustrates the expected trip distribution, while **Figure 6** illustrates the traffic assignment for the proposed Elmwood North project on the surrounding street network and key intersections. Site traffic volumes were added to the 2022 and 2040 background volumes to represent estimated build-out year and long-term traffic conditions. These total traffic volumes for 2022 and 2040 are illustrated in **Figure 7** and **Figure 8**.

Traffic Operations Analysis

Kimley-Horn’s analysis of traffic operations in the site vicinity was conducted to determine potential capacity deficiencies at the project key intersections for the 2022 build-out and 2040 long term horizons. The acknowledged source for determining overall capacity is the *Highway Capacity Manual*¹. Capacity analysis results are listed in terms of Level of Service (LOS). LOS is a qualitative term describing operating conditions a driver will experience while traveling on a particular street or highway during a specific time interval. It ranges from A (very little delay) to F (long delays and congestion). For intersections and roadways in this study area, typical traffic study practice identifies overall intersection LOS D and movement or approach LOS E as the minimum thresholds for acceptable operations. The following **Table 2** shows the definition of level of service for signalized and unsignalized intersections.

Table 2 – Level of Service Definitions

Level of Service	Signalized Intersection Average Total Delay (sec/veh)	Unsignalized Intersection Average Total Delay (sec/veh)
A	≤ 10	≤ 10
B	> 10 and ≤ 20	> 10 and ≤ 15
C	> 20 and ≤ 35	> 15 and ≤ 25
D	> 35 and ≤ 55	> 25 and ≤ 35
E	> 55 and ≤ 80	> 35 and ≤ 50
F	> 80	> 50

Definitions provided from the Highway Capacity Manual, Sixth Edition, Transportation Research Board, 2016.

¹ Transportation Research Board, *Highway Capacity Manual*, Sixth Edition, Washington DC, 2016.

Project Intersections Operational Analysis

With the configuration of the project intersection in the opening year of 2022, the signalized intersection of Sherrelwood Drive and Pecos Street operates at LOS A, and all movements at the stop-controlled intersections are anticipated to operate acceptably with LOS C or better during the weekday peak hours with the addition of Elmwood North project traffic. By 2040, the signalized intersection of Sherrelwood Drive and Pecos Street is anticipated to continue operating at LOS A, and all movements at the stop-controlled intersections are expected to continue to operate acceptably with LOS D or better during the peak hours.

The traffic signal at the Sherrelwood Drive/Pecos Street intersection is operating at optimized traffic signal timing today. The cycle length is two (2) minutes (120 seconds) which is typical throughout the Denver Metro Area. There is very little eastbound Sherrelwood Drive traffic, so the time allocated for overall intersection in the two (2) minutes (120 seconds) is 100 seconds to northbound and southbound Pecos Street and 20 seconds to eastbound Sherrelwood Drive. This timing is appropriate and best for this intersection, and we would not recommend any changes to the timing. Further, actuation is present, and it is working based on observations. The operational analysis is shown in **Table 3**.

Single shared movement lanes are expected to be sufficient for traffic exiting both project driveways. The northern access at the intersection of Sherrelwood Drive and Pecos Street will be incorporated into the existing signal. The exiting approach at the intersection of Elmwood Place and Pecos Street should provide a R1-1 “STOP” sign. Also, although the current eastbound approach at the intersection of Sherrelwood Drive and Pecos Street operates acceptably as a shared left/right turn lane, the eastbound approach could be striped to include a shared left turn/through lane and an exclusive right turn lane if desired. This is how the eastbound approach is operating in the field and it would keep the possibility of a left turning vehicle from a blocking a driver wishing to turn right.

Table 3 – Project Intersections LOS Results

Access and Movement	2020 Existing Traffic				2022 Total Traffic				2040 Total Traffic			
	AM Peak Hour		PM Peak Hour		AM Peak Hour		PM Peak Hour		AM Peak Hour		PM Peak Hour	
	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS
Sherrelwood Dr & Pecos St	5.5	A	4.2	A	4.8#	A#	3.1#	A#	4.7#	A#	3.2#	A#
79th Way & Pecos St												
Eastbound Approach	10.8	B	11.8	B	10.9	B	11.9	B	11.0	B	12.5	B
Northbound Left	8.4	A	7.9	A	8.4	A	7.9	A	8.6	A	8.0	A
Elmwood Place & Pecos St												
Westbound Approach	-	-	-	-	9.8	A	22.7	C	9.9	A	25.8	D
Southbound Left					8.2	A	12.2	B	8.4	A	13.0	B

Proposed full movement westbound leg included

Vehicle Queuing Analysis

Queuing analysis was conducted for the study area intersections per Adams County standards and requirements. Results were obtained from the 95th percentile queue lengths obtained from the Synchro analysis. Queue length calculations are provided within the level of service operational sheets attached for the unsignalized intersections and in separate reports for the signalized intersection. Results of the queuing analysis and recommendations at the study area intersections are provided in **Table 4**.

Table 4 – Turn Lane Queuing Analysis Results

Intersection Turn Lane	Existing Turn Lane Length (feet)	2022 Calculated Queue (feet)	2022 Recommended Length (feet)	2040 Calculated Queue (feet)	2040 Recommended Length (feet)
Sherrelwood Dr & Pecos St					
Eastbound Approach	C	31'	C	18'	C
Westbound Approach	DNE	0'	C	0'	C
Northbound Left	TWLTL	31'	TWLTL	37'	TWLTL
Southbound Left	TWLTL	9'	TWLTL	9'	TWLTL
79th Way & Pecos St					
Eastbound Approach	C	25'	C	25'	C
Northbound Left	TWLTL	25'	TWLTL	25'	TWLTL
Elmwood Place & Pecos St					
Westbound Approach	DNE	25'	C	25'	C
Southbound Left	TWLTL	25'	TWLTL	25'	TWLTL

C = Continuous Lane, DNE = Does Not Exist, TWLTL = Two-Way Left Turn Lane

As shown in **Table 4** representing the queuing results, all anticipated queues are accommodated or managed within existing turn bay lengths with project traffic in the 2040 project build out year and long-term horizon.

Conclusion and Recommendations

The two project driveways, with the northern access being the east leg of the Sherrelwood Drive/Pecos Street intersection and southern access being Elmwood Place/Pecos Street are expected to operate acceptably during the peak hours in 2022 and 2040. Single shared movement lanes are expected to be sufficient for exiting both project driveways. The exiting approach at the intersection of Sherrelwood Drive and Pecos Street should be incorporated in the existing signal, which may require a new signal pole on the northwest corner of the intersection with a mast arm across the east leg. The exiting approach at Elmwood Place and Pecos Street should provide a R1-1 “STOP” sign. The recommended intersection lane configurations and control for the project buildout and long-term horizon are illustrated in **Figure 9**.

Likewise, it is recommended that the existing RTD Route 6 bus stop located along project frontage of northbound Pecos Street at 79th Way be maintained with development of the project.

In summary, this traffic study letter provides project traffic generation estimates, trip distribution, traffic assignment, and future traffic volume projections operational analysis to

identify potential Elmwood North project traffic related impacts on the local street system. Based on the analysis presented in this study, Kimley-Horn believes the proposed Elmwood North project will be incorporated acceptably in the existing and proposed surrounding street network. If you have any questions or require anything further, please feel free to call.

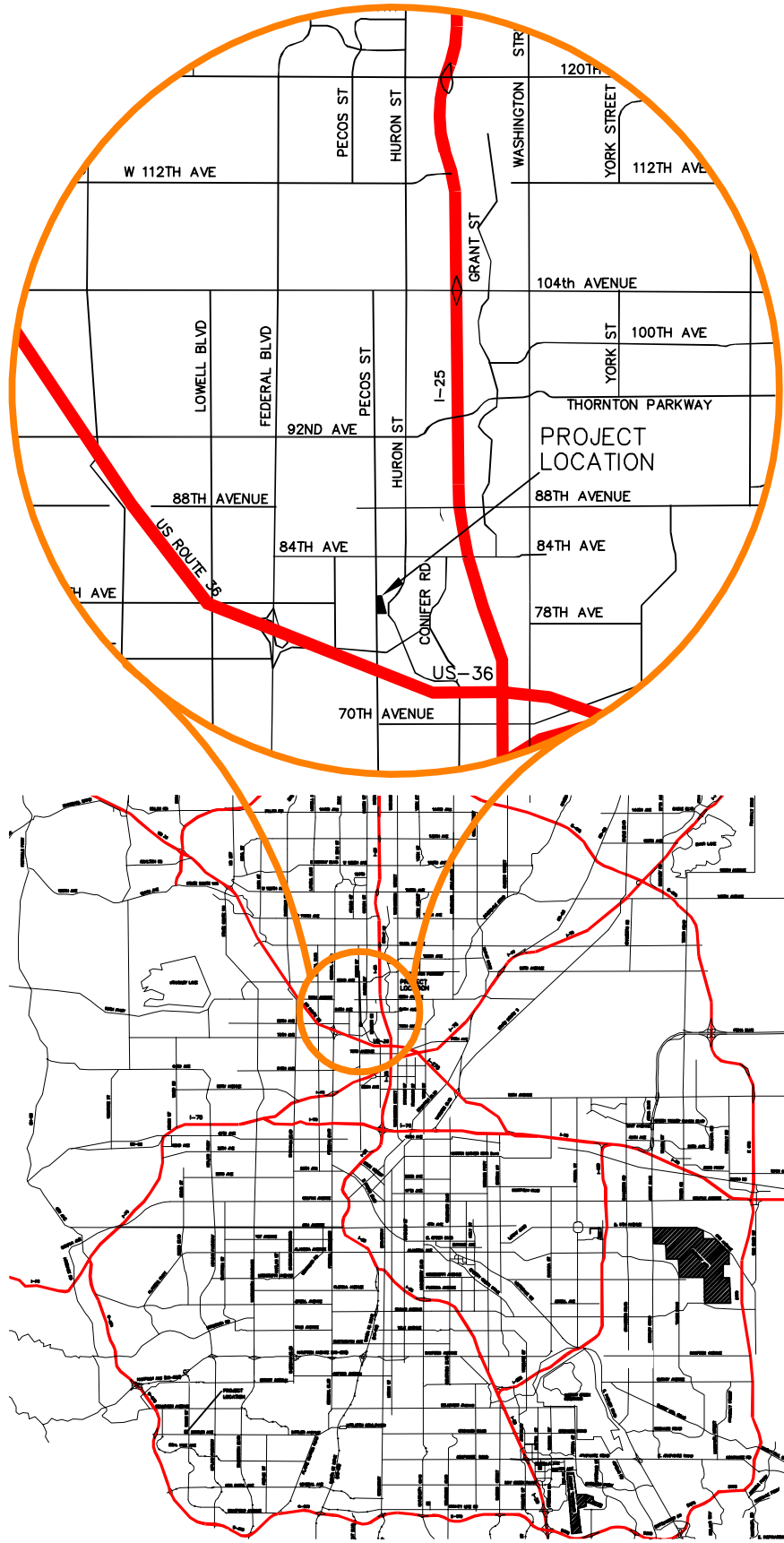
Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Curtis D. Rowe, P.E., PTOE
Vice President





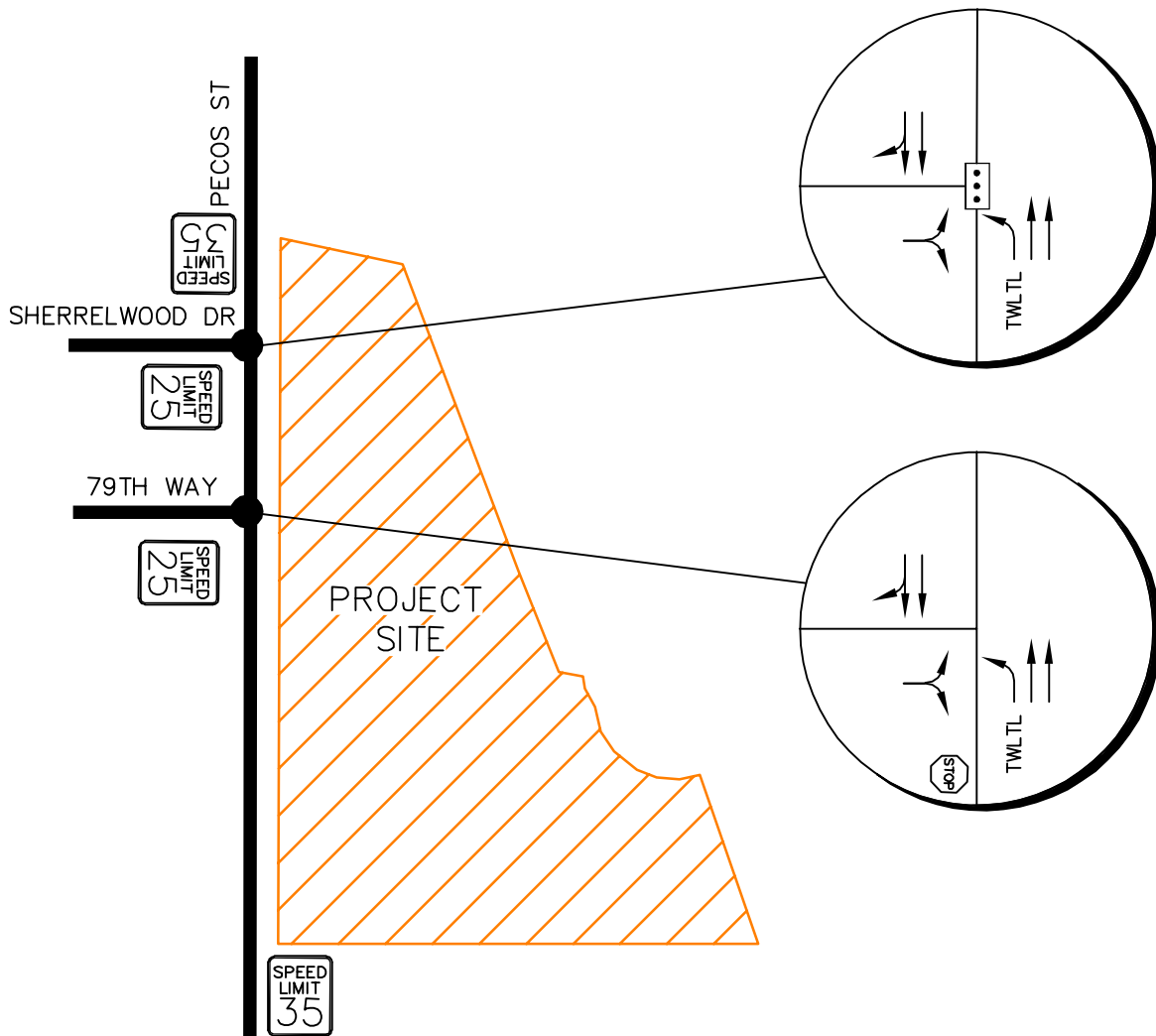
ELMWOOD NORTH
ADAMS COUNTY, COLORADO
VICINITY MAP

FIGURE 1



ELMWOOD NORTH
ADAMS COUNTY, COLORADO
SITE AREA

FIGURE 2

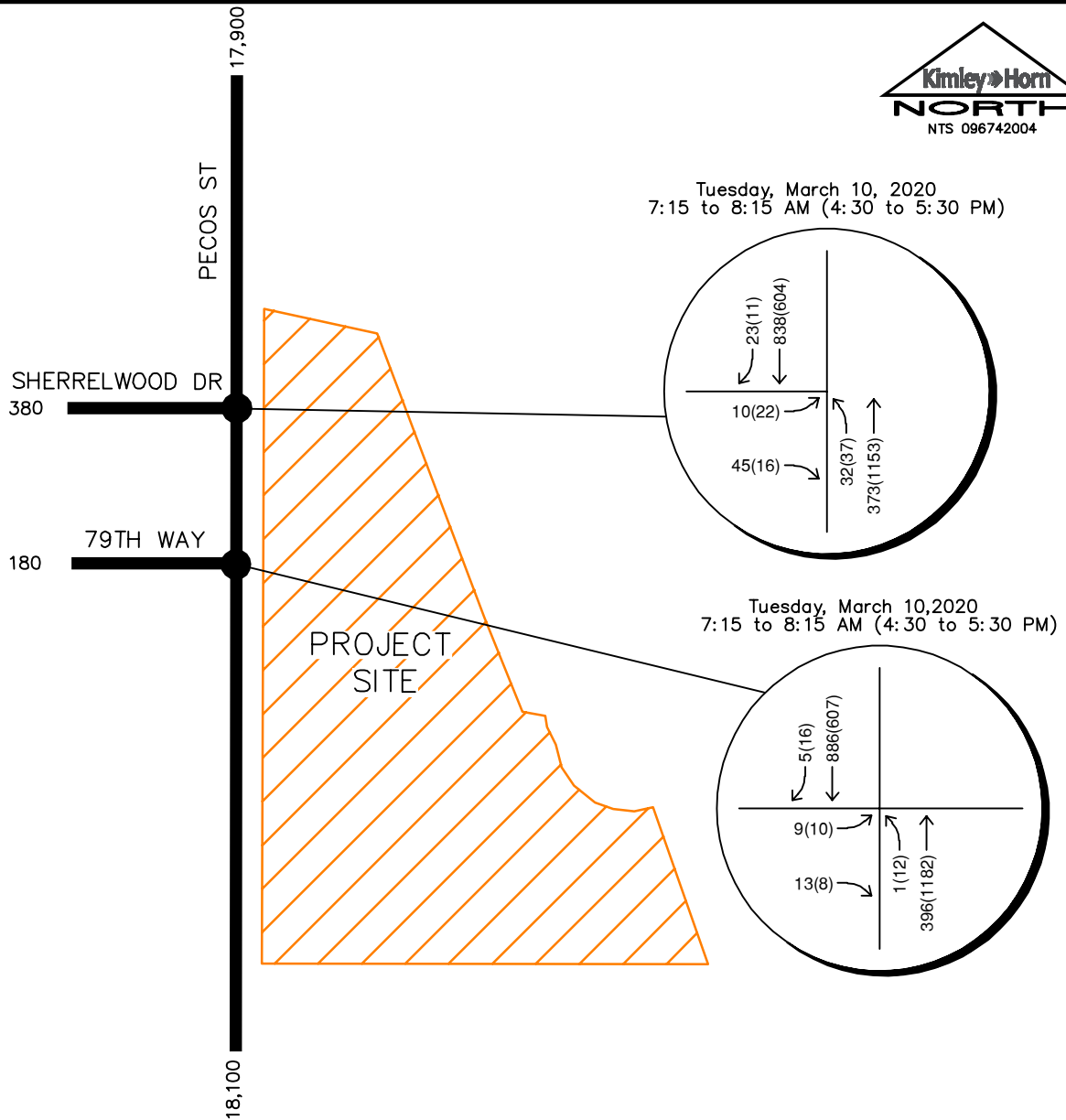


LEGEND

- Study Area Key Intersection
- ⋮ Signalized Intersection
- STOP Stop Controlled Approach
- SPEED LIMIT 45 Roadway Speed Limit
- 100' Turn Lane Length (feet)
- TWLTL Two-Way Left Turn Lane

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 EXISTING LANE CONFIGURATIONS

FIGURE 3

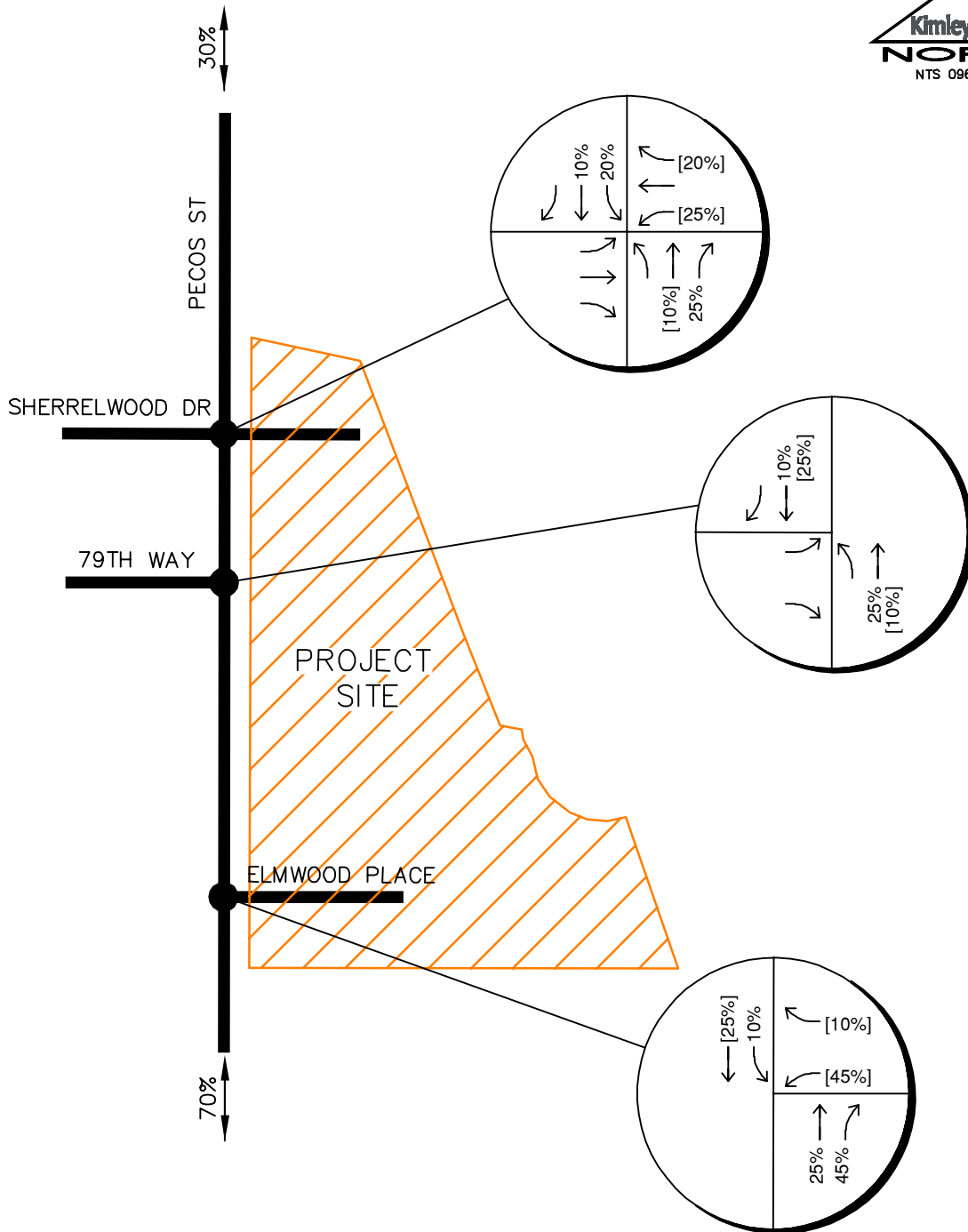


LEGEND

- Study Area Key Intersection
- XXX(XXX) Weekday AM(PM)
Peak Hour Traffic Volumes
- XX,X00 Estimated Daily Traffic Volume

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 2020 EXISTING TRAFFIC VOLUMES

FIGURE 4

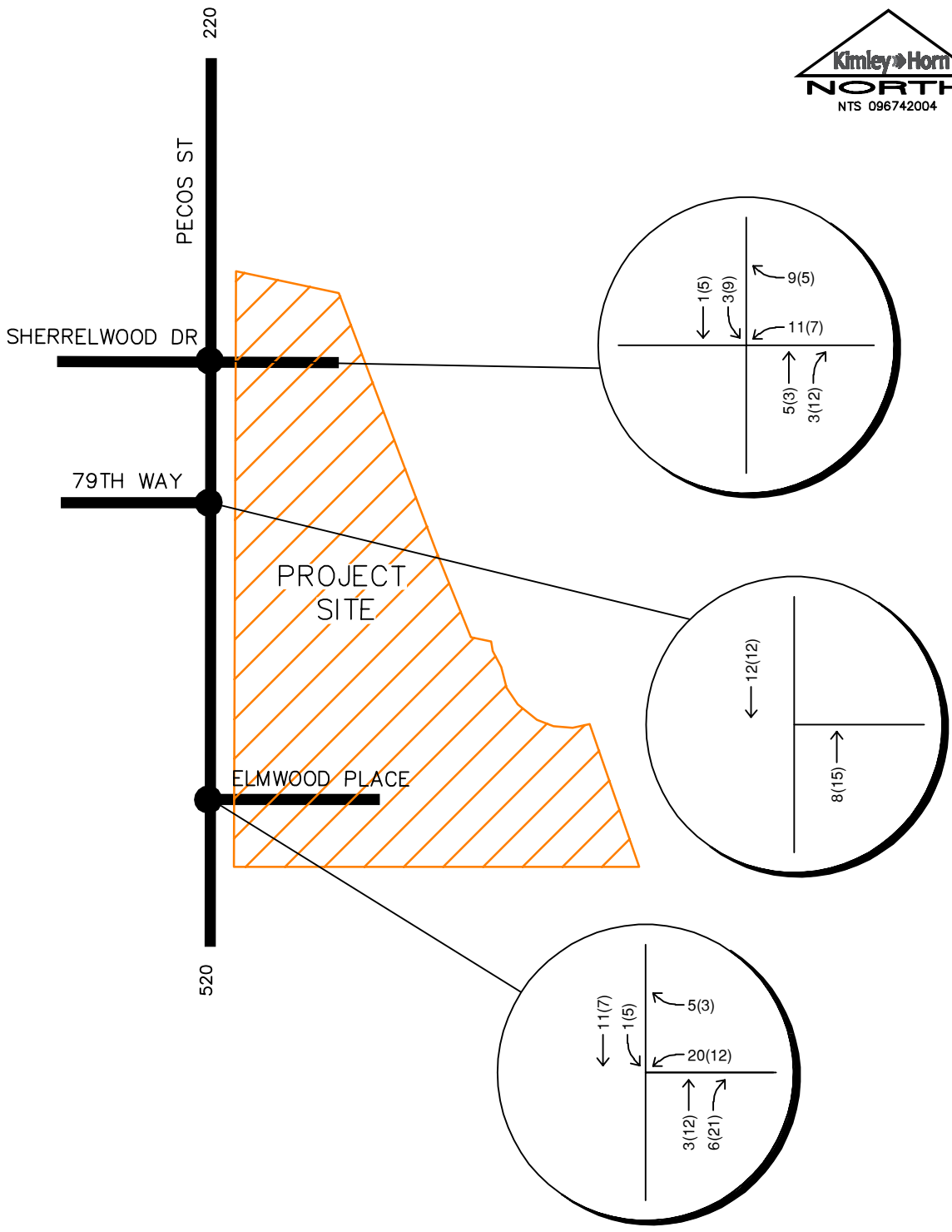


LEGEND

- Study Area Key Intersection
- XX% External Trip Distribution Percentage
- XX%[XX%] Entering[Exiting] Trip Distribution Percentage

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 PROJECT TRIP DISTRIBUTION

FIGURE 5

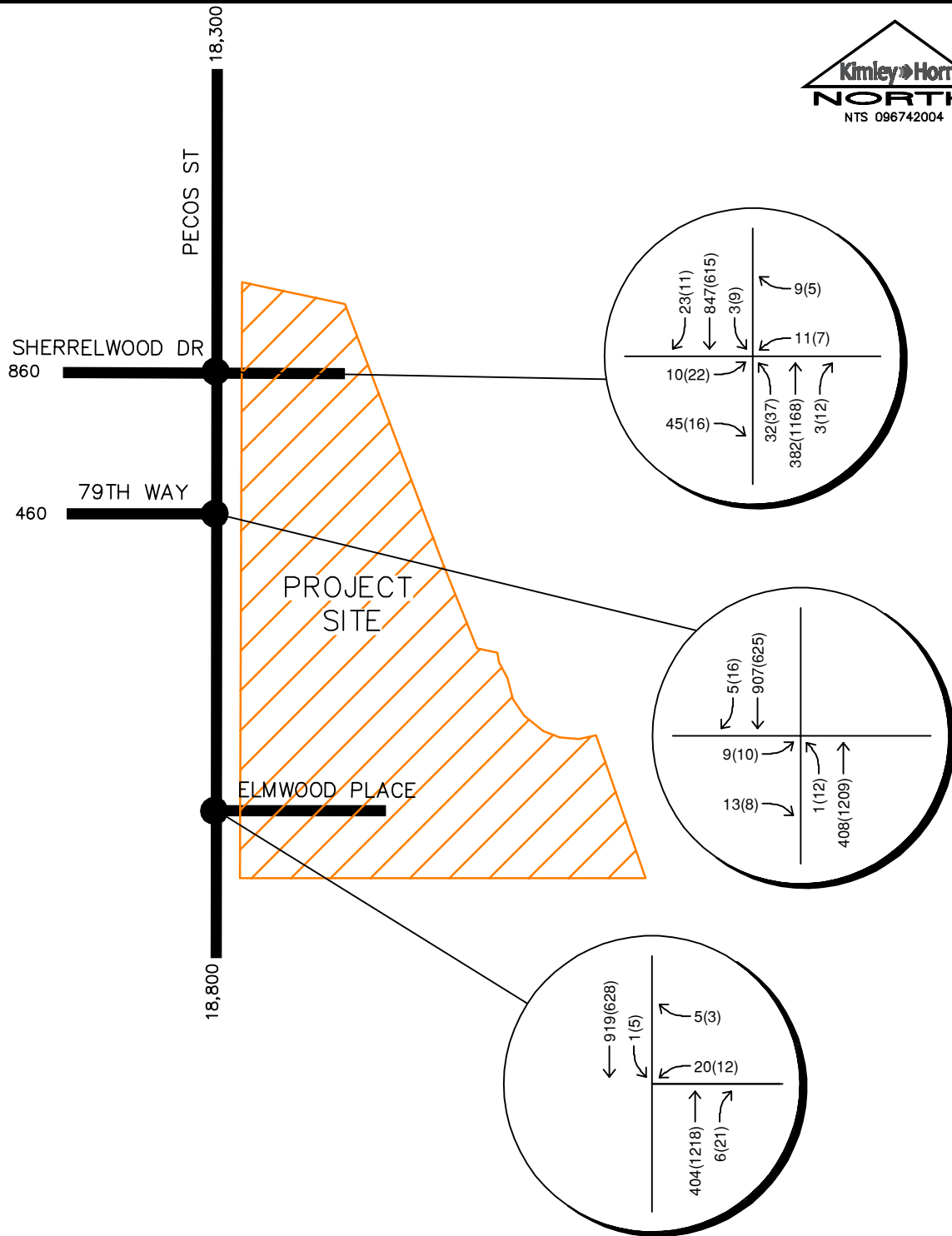


LEGEND

- Study Area Key Intersection
- XXX(XXX) Weekday AM(PM) Peak Hour Traffic Volumes
- XX,X00 Estimated Daily Traffic Volume

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 TRIP ASSIGNMENT

FIGURE 6

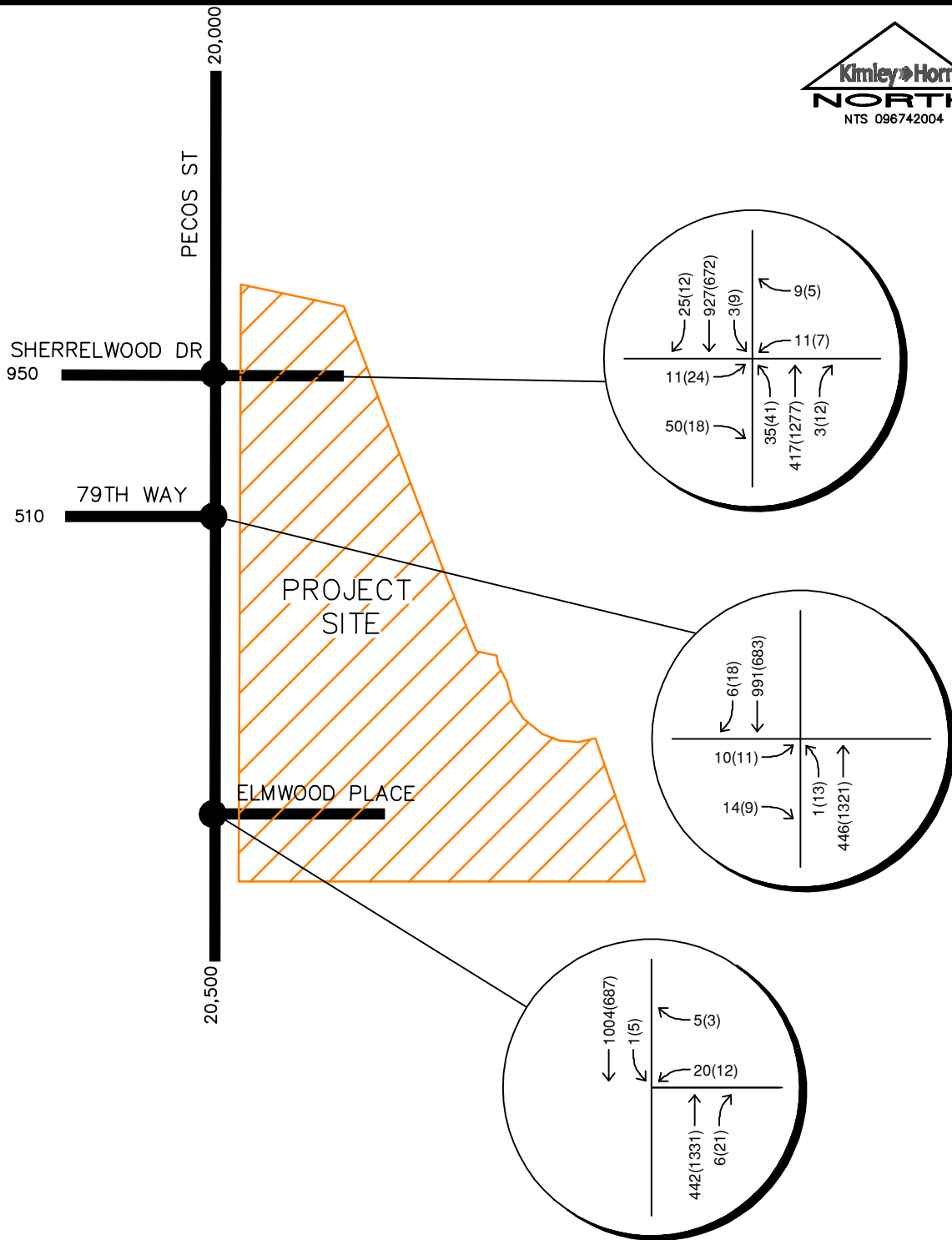


LEGEND

- Study Area Key Intersection
- XXX(XXX) Weekday AM(PM) Peak Hour Traffic Volumes
- XX,X00 Estimated Daily Traffic Volume

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 2022 BACKGROUND
 PLUS PROJECT TRAFFIC VOLUMES

FIGURE 7

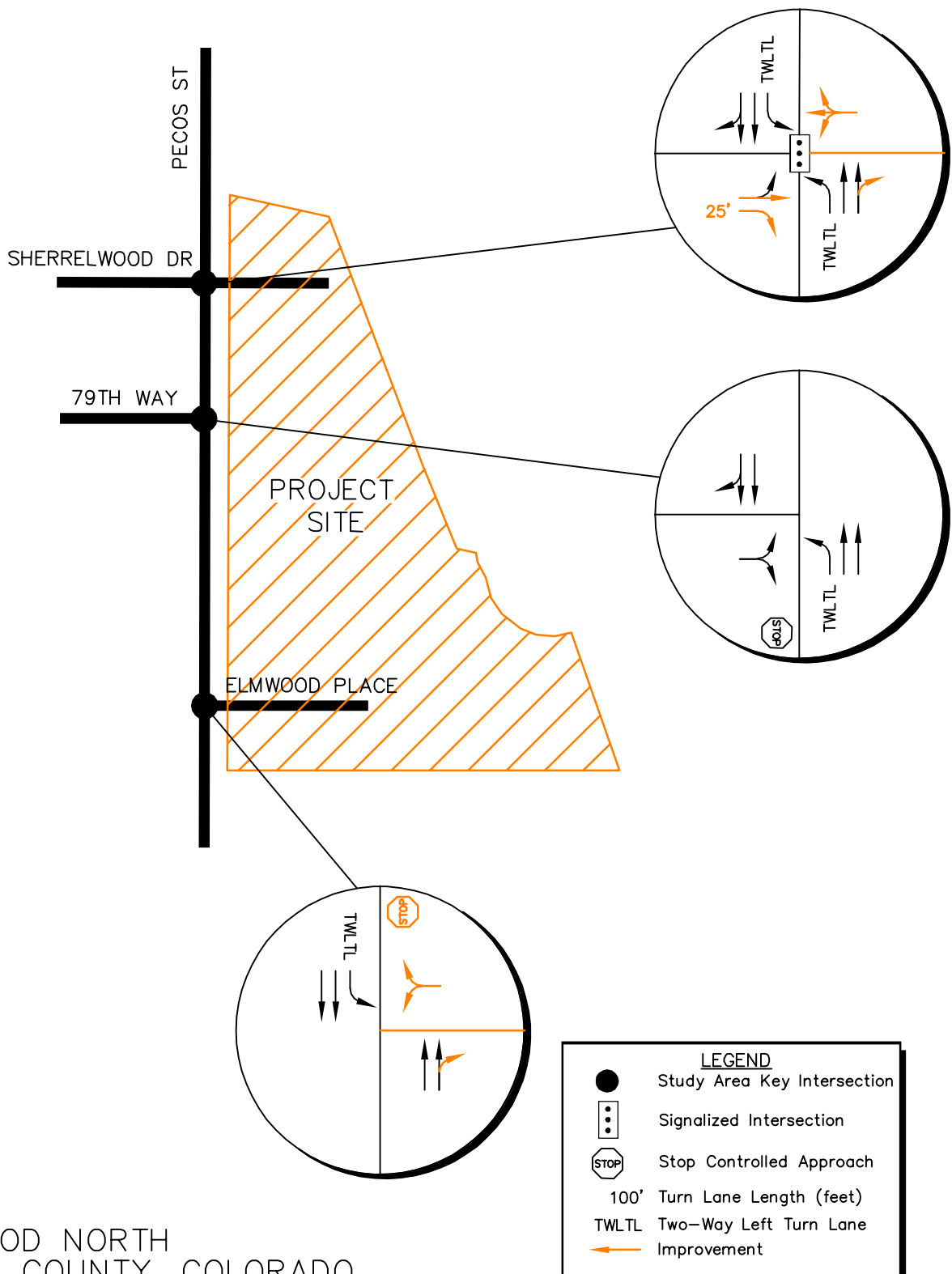


LEGEND

- Study Area Key Intersection
- XXX(XXX) Weekday AM(PM)
Peak Hour Traffic Volumes
- XX,X00 Estimated Daily Traffic Volume

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 2040 BACKGROUND
 PLUS PROJECT TRAFFIC VOLUMES

FIGURE 8



ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 2022 & 2040 RECOMMENDED
 LANE CONFIGURATIONS AND CONTROL

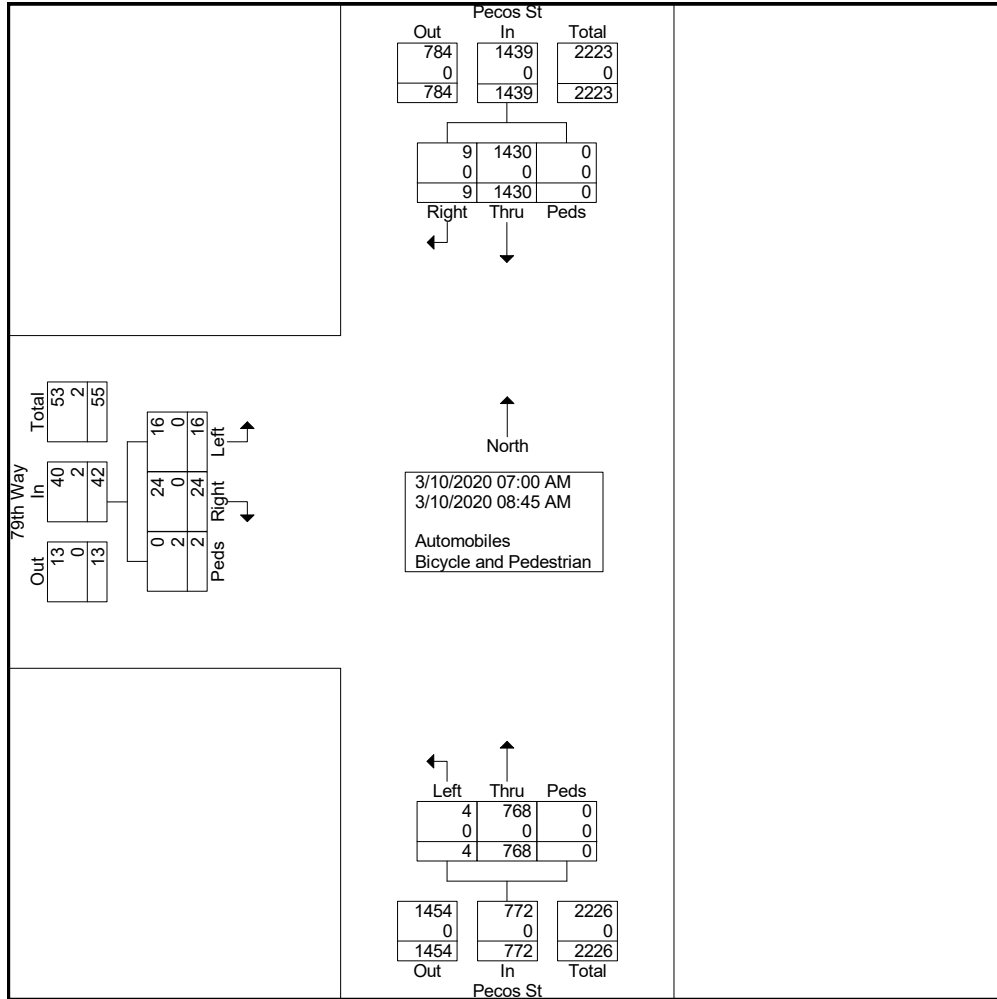
FIGURE 9



Ridgeview Data
Collection

Adams, CO
Elmwood North
AM Peak
79th Way and Pecos St

File Name : 79th and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 2



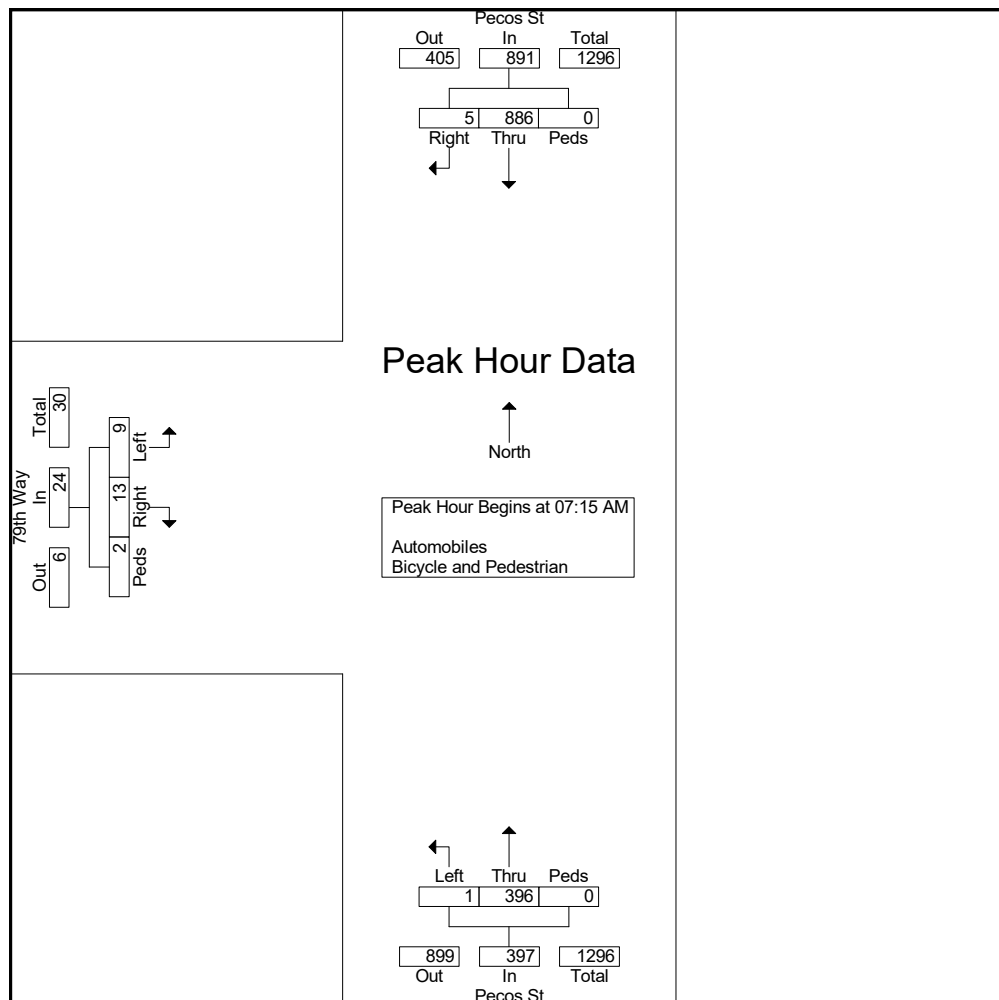


Ridgeview Data
Collection

Adams, CO
Elmwood North
AM Peak
79th Way and Pecos St

File Name : 79th and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 3

Start Time	79th Way Eastbound				Pecos St Northbound				Pecos St Southbound				Int. Total
	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 07:15 AM													
07:15 AM	1	3	0	4	0	78	0	78	216	1	0	217	299
07:30 AM	4	4	0	8	1	97	0	98	225	0	0	225	331
07:45 AM	2	2	2	6	0	111	0	111	233	1	0	234	351
08:00 AM	2	4	0	6	0	110	0	110	212	3	0	215	331
Total Volume	9	13	2	24	1	396	0	397	886	5	0	891	1312
% App. Total	37.5	54.2	8.3		0.3	99.7	0		99.4	0.6	0		
PHF	.563	.813	.250	.750	.250	.892	.000	.894	.951	.417	.000	.952	.934

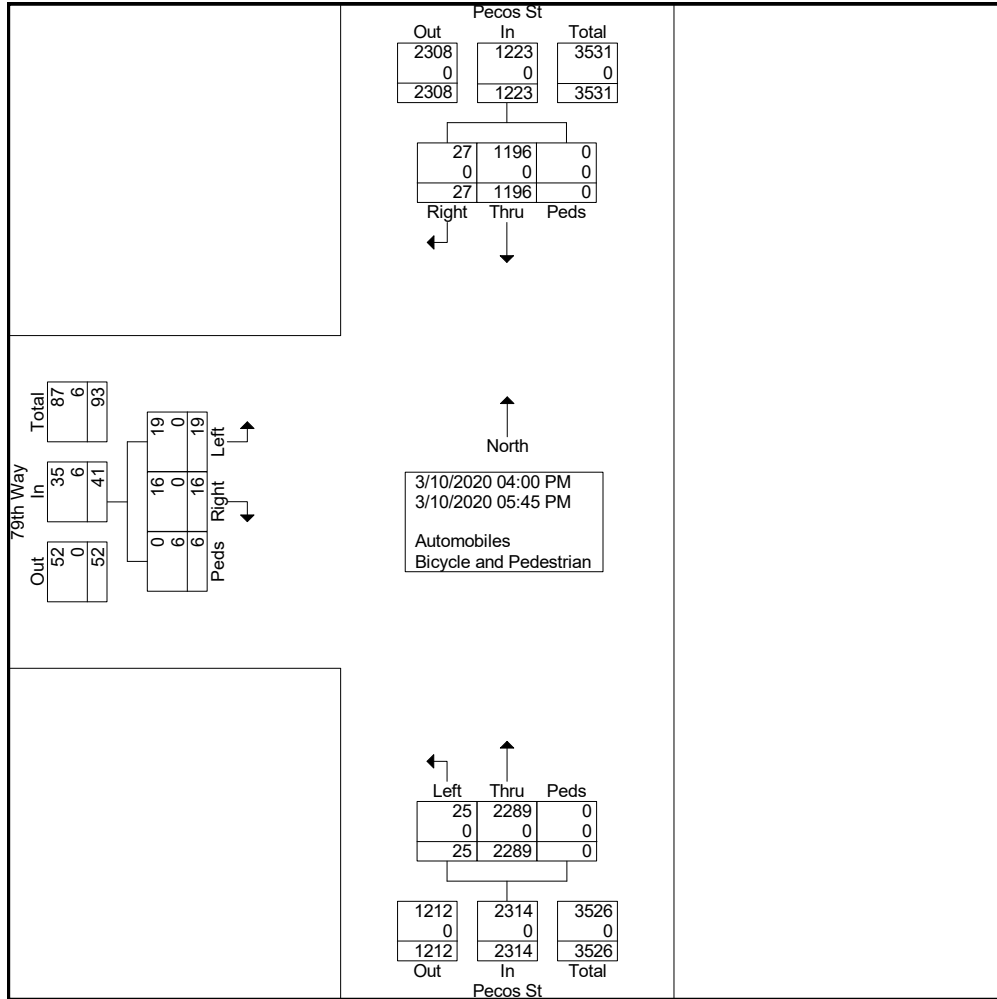




Ridgeview Data
Collection

Adams, CO
Elmwood North
PM Peak
79th Way and Pecos St

File Name : 79th and Pecos PM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 2



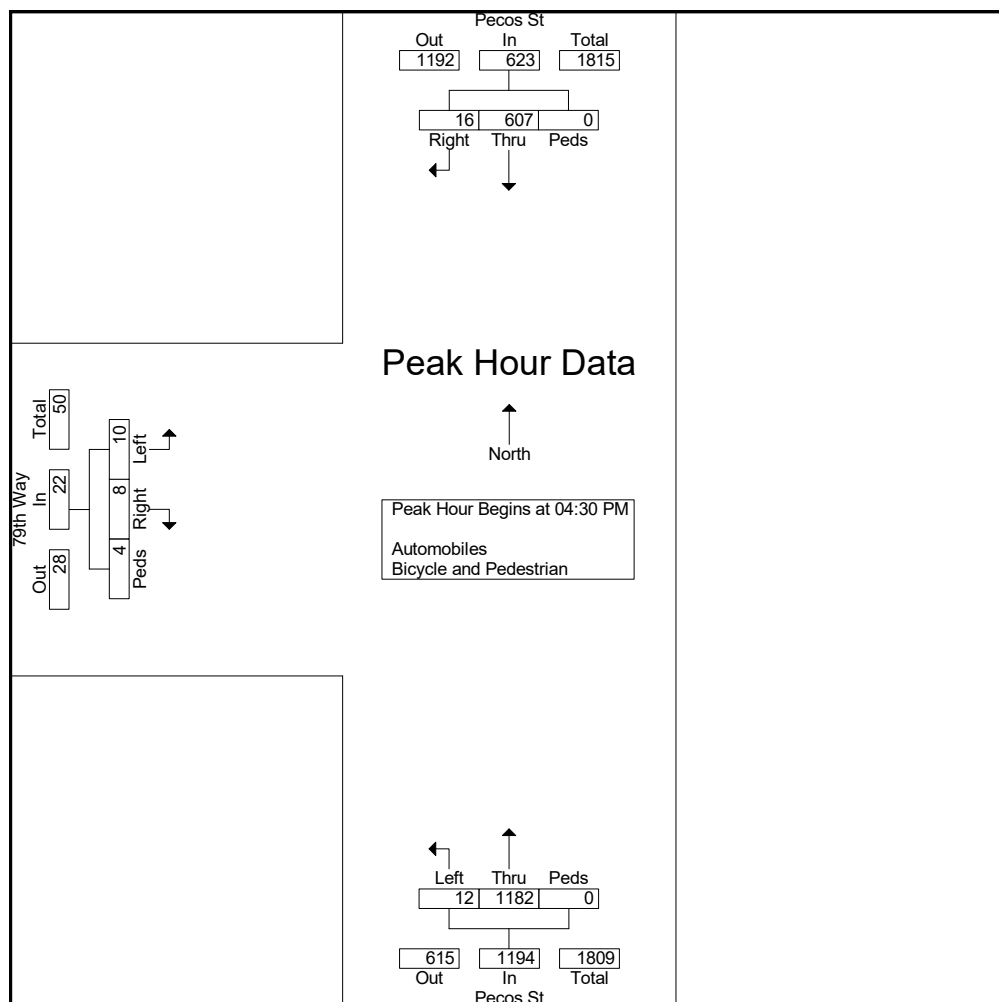


Ridgeview Data
Collection

Adams, CO
Elmwood North
PM Peak
79th Way and Pecos St

File Name : 79th and Pecos PM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 3

Start Time	79th Way Eastbound				Pecos St Northbound				Pecos St Southbound				Int. Total
	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 04:30 PM													
04:30 PM	0	5	3	8	4	282	0	286	153	6	0	159	453
04:45 PM	3	3	1	7	4	274	0	278	141	3	0	144	429
05:00 PM	3	0	0	3	2	288	0	290	156	3	0	159	452
05:15 PM	4	0	0	4	2	338	0	340	157	4	0	161	505
Total Volume	10	8	4	22	12	1182	0	1194	607	16	0	623	1839
% App. Total	45.5	36.4	18.2		1	99	0		97.4	2.6	0		
PHF	.625	.400	.333	.688	.750	.874	.000	.878	.967	.667	.000	.967	.910





Ridgeview Data
Collection

Adams, CO
Elmwood North
AM Peak
Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 1

Groups Printed- Automobiles - Bicycle and Pedestrian

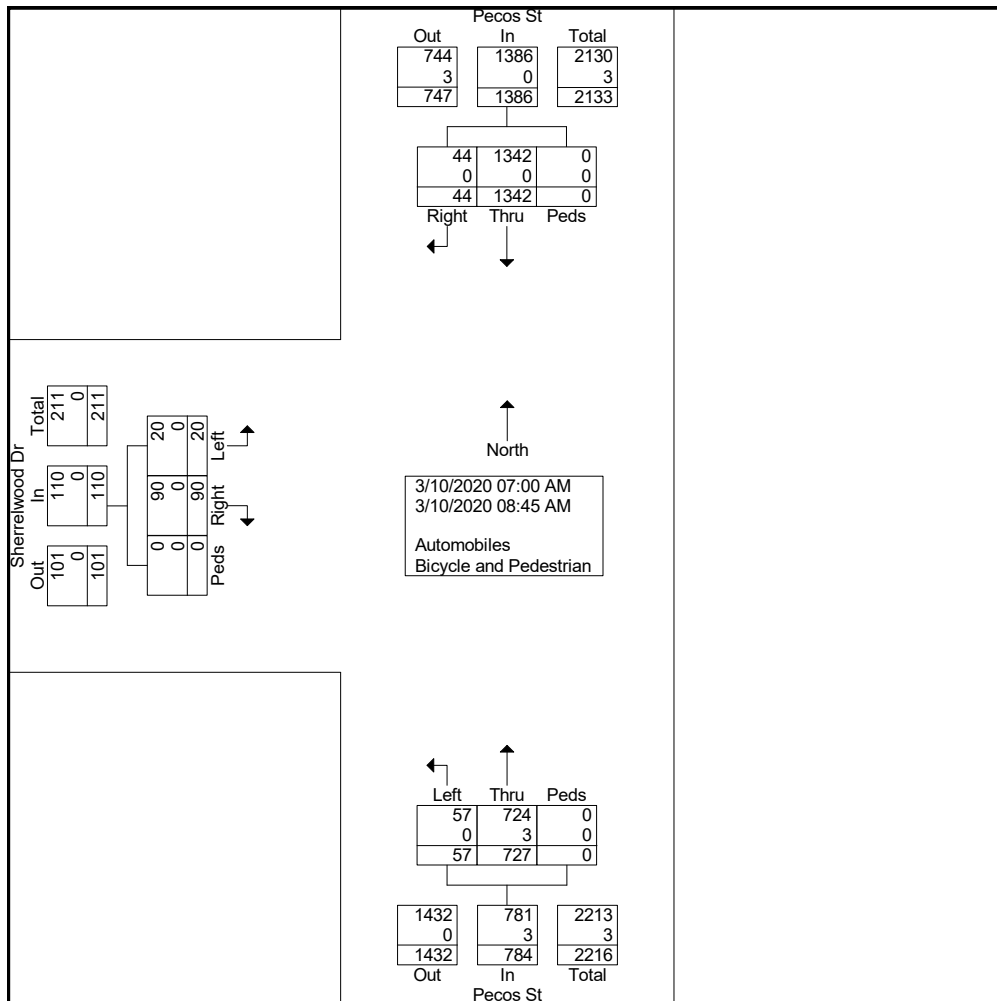
Start Time	Sherrelwood Dr Eastbound				Pecos St Northbound				Pecos St Southbound				Int. Total
	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
07:00 AM	0	11	0	11	0	59	0	59	178	6	0	184	254
07:15 AM	2	14	0	16	4	77	0	81	201	4	0	205	302
07:30 AM	2	8	0	10	5	96	0	101	218	4	0	222	333
07:45 AM	2	10	0	12	11	101	0	112	214	6	0	220	344
Total	6	43	0	49	20	333	0	353	811	20	0	831	1233
08:00 AM	4	13	0	17	12	99	0	111	205	9	0	214	342
08:15 AM	2	10	0	12	5	113	0	118	123	6	0	129	259
08:30 AM	7	14	0	21	16	93	0	109	123	8	0	131	261
08:45 AM	1	10	0	11	4	89	0	93	80	1	0	81	185
Total	14	47	0	61	37	394	0	431	531	24	0	555	1047
Grand Total	20	90	0	110	57	727	0	784	1342	44	0	1386	2280
Apprch %	18.2	81.8	0		7.3	92.7	0		96.8	3.2	0		
Total %	0.9	3.9	0	4.8	2.5	31.9	0	34.4	58.9	1.9	0	60.8	
Automobiles	20	90	0	110	57	724	0	781	1342	44	0	1386	2277
% Automobiles	100	100	0	100	100	99.6	0	99.6	100	100	0	100	99.9
Bicycle and Pedestrian	0	0	0	0	0	3	0	3	0	0	0	0	3
% Bicycle and Pedestrian	0	0	0	0	0	0.4	0	0.4	0	0	0	0	0.1



Ridgeview Data
Collection

Adams, CO
Elmwood North
AM Peak
Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 2



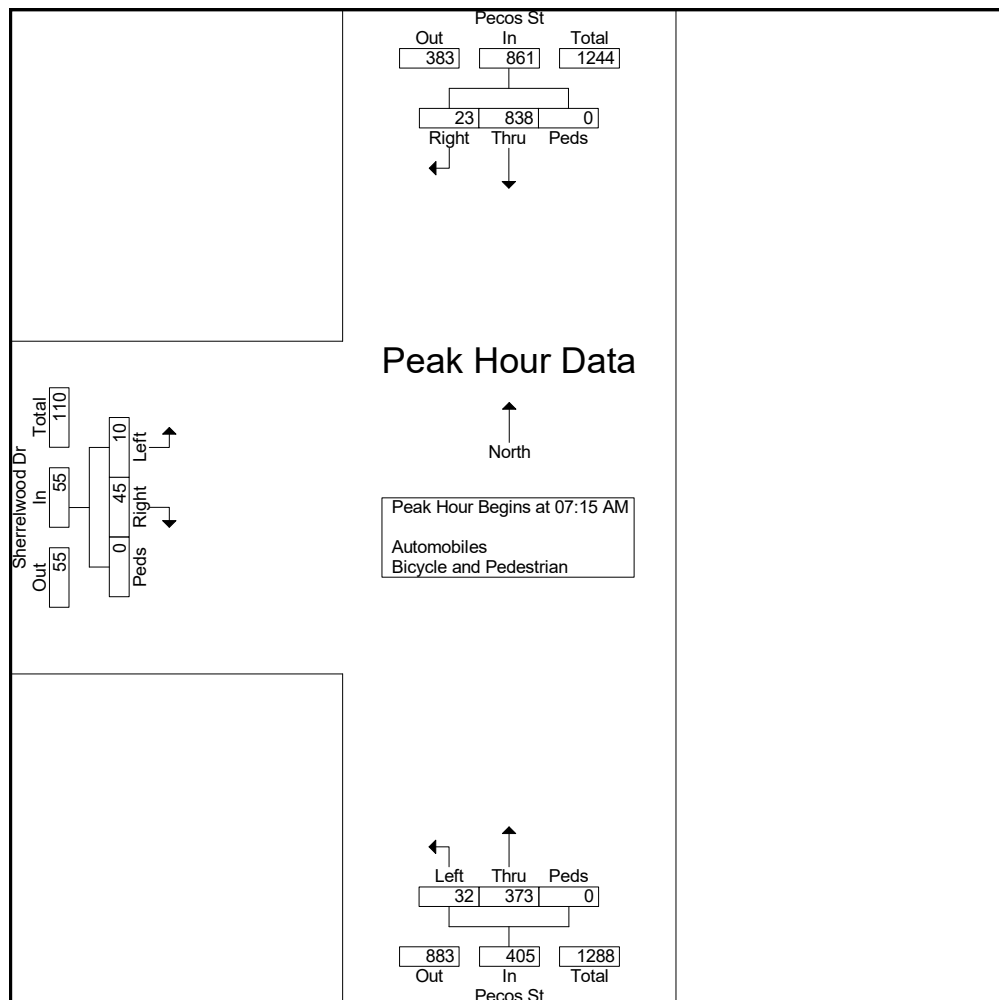


Ridgeview Data
Collection

Adams, CO
Elmwood North
AM Peak
Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 3

Start Time	Sherrelwood Dr Eastbound				Pecos St Northbound				Pecos St Southbound				Int. Total
	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 07:15 AM													
07:15 AM	2	14	0	16	4	77	0	81	201	4	0	205	302
07:30 AM	2	8	0	10	5	96	0	101	218	4	0	222	333
07:45 AM	2	10	0	12	11	101	0	112	214	6	0	220	344
08:00 AM	4	13	0	17	12	99	0	111	205	9	0	214	342
Total Volume	10	45	0	55	32	373	0	405	838	23	0	861	1321
% App. Total	18.2	81.8	0		7.9	92.1	0		97.3	2.7	0		
PHF	.625	.804	.000	.809	.667	.923	.000	.904	.961	.639	.000	.970	.960





Ridgeview Data
Collection

Adams, CO
Elmwood North
PM Peak
Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos PM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 1

Groups Printed- Automobiles - Bicycle and Pedestrian

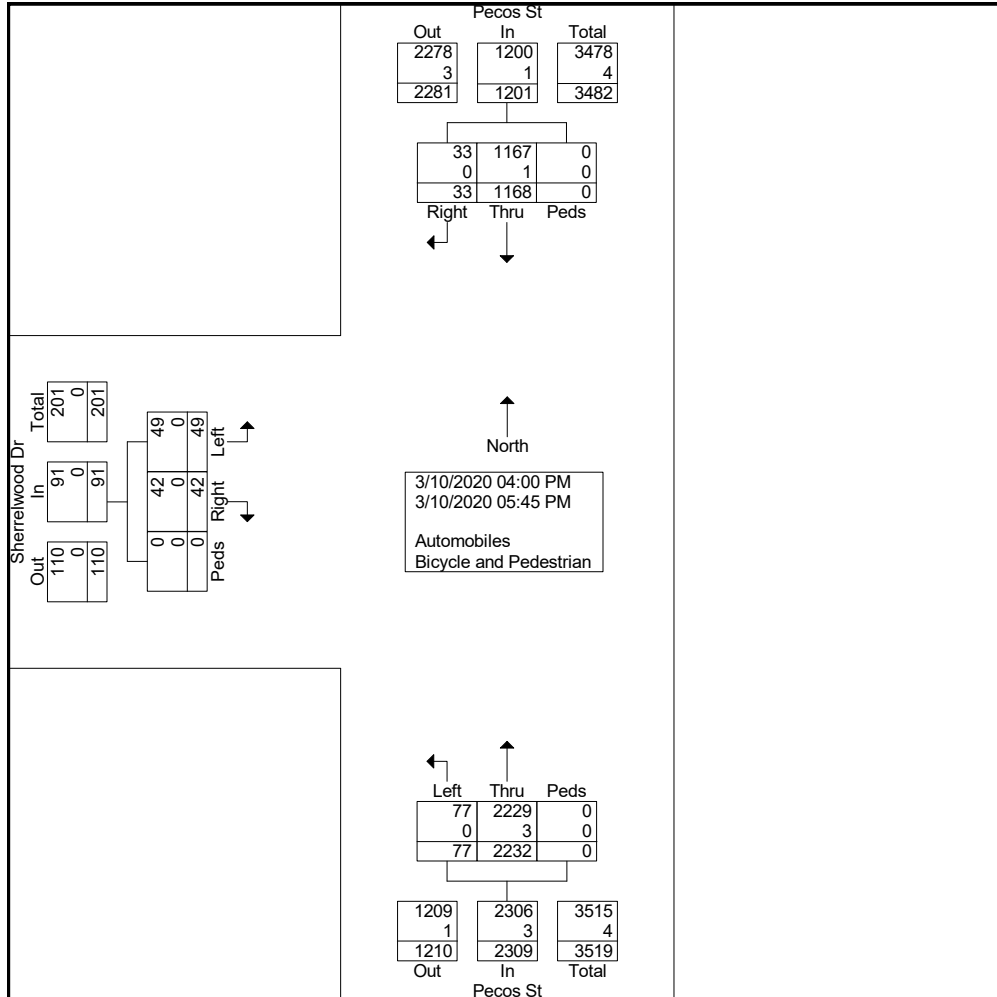
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	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
04:00 PM	12	13	0	25	13	279	0	292	160	11	0	171	488
04:15 PM	11	5	0	16	9	300	0	309	127	3	0	130	455
04:30 PM	5	4	0	9	9	274	0	283	158	6	0	164	456
04:45 PM	5	5	0	10	8	268	0	276	135	1	0	136	422
Total	33	27	0	60	39	1121	0	1160	580	21	0	601	1821
05:00 PM	5	6	0	11	11	280	0	291	153	2	0	155	457
05:15 PM	7	1	0	8	9	331	0	340	158	2	0	160	508
05:30 PM	1	3	0	4	11	242	0	253	142	3	0	145	402
05:45 PM	3	5	0	8	7	258	0	265	135	5	0	140	413
Total	16	15	0	31	38	1111	0	1149	588	12	0	600	1780
Grand Total	49	42	0	91	77	2232	0	2309	1168	33	0	1201	3601
Apprch %	53.8	46.2	0		3.3	96.7	0		97.3	2.7	0		
Total %	1.4	1.2	0	2.5	2.1	62	0	64.1	32.4	0.9	0	33.4	
Automobiles	49	42	0	91	77	2229	0	2306	1167	33	0	1200	3597
% Automobiles	100	100	0	100	100	99.9	0	99.9	99.9	100	0	99.9	99.9
Bicycle and Pedestrian	0	0	0	0	0	3	0	3	1	0	0	1	4
% Bicycle and Pedestrian	0	0	0	0	0	0.1	0	0.1	0.1	0	0	0.1	0.1



Ridgeview Data Collection

Adams, CO
Elmwood North
PM Peak
Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos PM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 2



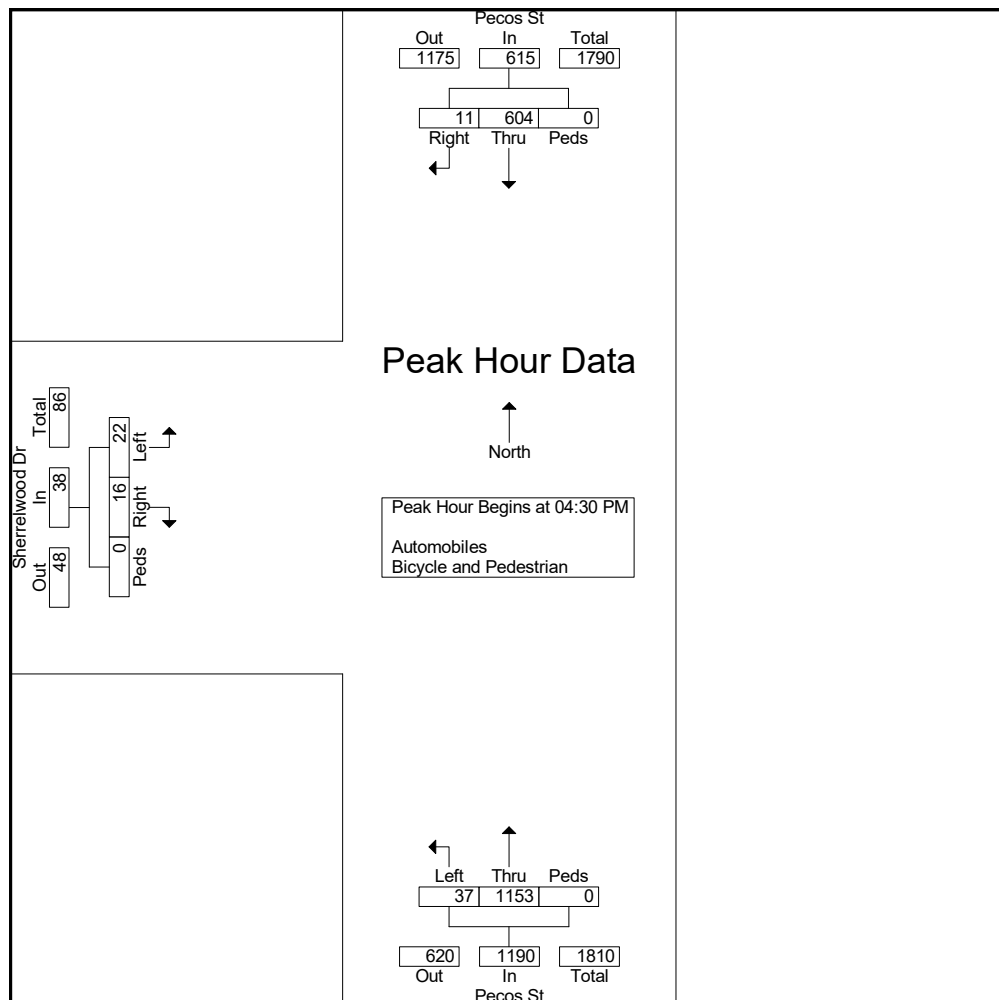


Ridgeview Data
Collection

Adams, CO
Elmwood North
PM Peak
Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos PM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 3

Start Time	Sherrelwood Dr Eastbound				Pecos St Northbound				Pecos St Southbound				Int. Total
	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 04:30 PM													
04:30 PM	5	4	0	9	9	274	0	283	158	6	0	164	456
04:45 PM	5	5	0	10	8	268	0	276	135	1	0	136	422
05:00 PM	5	6	0	11	11	280	0	291	153	2	0	155	457
05:15 PM	7	1	0	8	9	331	0	340	158	2	0	160	508
Total Volume	22	16	0	38	37	1153	0	1190	604	11	0	615	1843
% App. Total	57.9	42.1	0		3.1	96.9	0		98.2	1.8	0		
PHF	.786	.667	.000	.864	.841	.871	.000	.875	.956	.458	.000	.938	.907



Project Elmwood North
 Subject Trip Generation for Single-Family Detached Housing
 Designed by TES Date April 01, 2020 Job No. 96742004.000
 Checked by _____ Date _____ Sheet No. _____ of _____

TRIP GENERATION MANUAL TECHNIQUES

ITE Trip Generation Manual 10th Edition, Fitted Curve Equations

Land Use Code - Single-Family Detached Housing (210)

Independent Variable - Dwelling Units (X)

$$X = 41$$

T = Average Vehicle Trip Ends

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m. (200 Series Page 3)

Average Weekday	Directional Distribution:	25% ent.	75% exit.
(T) = 0.71 (X) + 4.80	T = 34	Average Vehicle Trip Ends	
(T) = 0.71 * (41) + 4.80	7 entering	26	exiting
	7 + 27 = 34		

Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m. (200 Series Page 4)

Average Weekday	Directional Distribution:	63% ent.	37% exit.
Ln(T) = 0.96 Ln(X) + 0.20	T = 43	Average Vehicle Trip Ends	
Ln(T) = 0.96 * Ln(41) + 0.20	27 entering	16	exiting
	27 + 16 = 43		

Peak Hour of Generator, Saturday (200 Series Page 8)

Average Saturday	Directional Distribution:	54% ent.	46% exit.
(T) = 0.84 (X) + 17.99	T = 52	Average Vehicle Trip Ends	
(T) = 0.84 * (41) + 17.99	28 entering	24	exiting
	28 + 24 = 52		

Weekday (200 Series Page 2)

Average Weekday	Directional Distribution:	50% entering, 50% exiting	
Ln(T) = 0.92 Ln(X) + 2.71	T = 458	Average Vehicle Trip Ends	
Ln(T) = 0.92 * Ln(41) + 2.71	229 entering	229	exiting
	229 + 229 = 458		

Project Elmwood North
 Subject Trip Generation for Multifamily Housing (Low-Rise)
 Designed by TES Date April 01, 2020 Job No. 96742004.000
 Checked by _____ Date _____ Sheet No. 1 of 1

TRIP GENERATION MANUAL TECHNIQUES

ITE Trip Generation Manual 10th Edition, Fitted Curve Equations

Land Use Code - Multifamily Housing (Low-Rise) (220)

Independent Variable - Dwelling Units (X)

$$X = 48$$

T = Average Vehicle Trip Ends

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m. (Series 200 Page 32)

$\ln(T) = 0.95 \ln(X) - 0.51$	Directional Distribution:	23% ent.	77% exit.
$\ln(T) = 0.95 * \ln(48.0) - 0.51$	T = 24	Average Vehicle Trip Ends	
	6 entering	18	exiting
	6 + 18	=	24

Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m. (Series 200 Page 33)

$\ln(T) = 0.89 \ln(X) - 0.02$	Directional Distribution:	63% ent.	37% exit.
$\ln(T) = 0.89 * \ln(48.0) - 0.02$	T = 31	Average Vehicle Trip Ends	
	20 entering	11	exiting
	20 + 11	=	31

Weekday (Series 200 Page 31)

$(T) = 7.56*(X) - 40.86$	Directional Distribution:	50% ent.	50% exit.
$(T) = 7.56 * 48 - 40.86$	T = 322	Average Vehicle Trip Ends	
	161 entering	161	exiting
	161 + 161	=	322

Peak Hour of Generator, Saturday (Series 200 Page 37)

$(T) = 1.08*(X) - 33.24$	Directional Distribution:	50% ent.	50% exit.
$(T) = 1.08 * 48 - 33.24$	T = 19	Average Vehicle Trip Ends	
	8 entering	10	exiting
	8 + 10	=	not ok

Timings
1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	10	32	373	838
Future Volume (vph)	10	32	373	838
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	30.0	60.0	60.0	60.0
Total Split (%)	33.3%	66.7%	66.7%	66.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	7.1	73.6	73.6	73.6
Actuated g/C Ratio	0.08	0.82	0.82	0.82
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
LOS	C	A	A	A
Approach Delay	21.8		2.6	3.1
Approach LOS	C		A	A

Intersection Summary

Cycle Length: 90
 Actuated Cycle Length: 90
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green
 Natural Cycle: 50
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.40
 Intersection Signal Delay: 3.9
 Intersection Capacity Utilization 41.6%
 Analysis Period (min) 15

Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr

2020 Existing AM.syn
 04/02/2020



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	10	45	32	373	838	23
Future Volume (veh/h)	10	45	32	373	838	23
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	16	56	48	405	873	36
Peak Hour Factor	0.63	0.80	0.67	0.92	0.96	0.64
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	20	71	528	2837	2777	115
Arrive On Green	0.06	0.06	0.80	0.80	0.80	0.80
Sat Flow, veh/h	357	1249	614	3647	3571	143
Grp Volume(v), veh/h	73	0	48	405	446	463
Grp Sat Flow(s),veh/h/ln	1628	0	614	1777	1777	1845
Q Serve(g_s), s	4.0	0.0	2.1	2.3	6.1	6.1
Cycle Q Clear(g_c), s	4.0	0.0	8.1	2.3	6.1	6.1
Prop In Lane	0.22	0.77	1.00			0.08
Lane Grp Cap(c), veh/h	93	0	528	2837	1419	1473
V/C Ratio(X)	0.78	0.00	0.09	0.14	0.31	0.31
Avail Cap(c_a), veh/h	425	0	528	2837	1419	1473
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	41.9	0.0	3.5	2.1	2.4	2.4
Incr Delay (d2), s/veh	13.4	0.0	0.3	0.1	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	0.5	1.4	1.4
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	55.2	0.0	3.9	2.2	3.0	3.0
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	73			453	909	
Approach Delay, s/veh	55.2			2.4	3.0	
Approach LOS	E			A	A	
Timer - Assigned Phs		2		4		6
Phs Duration (G+Y+Rc), s		78.4		11.6		78.4
Change Period (Y+Rc), s		6.5		6.5		6.5
Max Green Setting (Gmax), s		53.5		23.5		53.5
Max Q Clear Time (g_c+l1), s		10.1		6.0		8.1
Green Ext Time (p_c), s		3.4		0.2		6.7
Intersection Summary						
HCM 6th Ctrl Delay			5.5			
HCM 6th LOS			A			
Notes						
User approved volume balancing among the lanes for turning movement.						

Timings
1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	22	37	1153	604
Future Volume (vph)	22	37	1153	604
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	28.0	92.0	92.0	92.0
Total Split (%)	23.3%	76.7%	76.7%	76.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	7.7	103.0	103.0	103.0
Actuated g/C Ratio	0.06	0.86	0.86	0.86
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
LOS	D	A	A	A
Approach Delay	41.7		3.2	2.2
Approach LOS	D		A	A

Intersection Summary

Cycle Length: 120
 Actuated Cycle Length: 120
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.44
 Intersection Signal Delay: 3.8
 Intersection Capacity Utilization 46.9%
 Analysis Period (min) 15
 Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr

2020 Existing PM.syn
 04/01/2020



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	22	16	37	1153	604	11
Future Volume (veh/h)	22	16	37	1153	604	11
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	28	24	44	1325	629	24
Peak Hour Factor	0.79	0.67	0.84	0.87	0.96	0.46
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	36	31	698	3026	2972	113
Arrive On Green	0.04	0.04	0.85	0.85	0.85	0.85
Sat Flow, veh/h	892	764	779	3647	3584	133
Grp Volume(v), veh/h	53	0	44	1325	320	333
Grp Sat Flow(s),veh/h/ln	1688	0	779	1777	1777	1846
Q Serve(g_s), s	3.7	0.0	1.3	10.6	3.9	3.9
Cycle Q Clear(g_c), s	3.7	0.0	5.2	10.6	3.9	3.9
Prop In Lane	0.53	0.45	1.00			0.07
Lane Grp Cap(c), veh/h	68	0	698	3026	1513	1572
V/C Ratio(X)	0.78	0.00	0.06	0.44	0.21	0.21
Avail Cap(c_a), veh/h	302	0	698	3026	1513	1572
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.1	0.0	2.1	2.1	1.6	1.6
Incr Delay (d2), s/veh	17.4	0.0	0.2	0.5	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	2.1	0.9	0.9
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	74.4	0.0	2.3	2.6	1.9	1.9
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	53			1369	653	
Approach Delay, s/veh	74.4			2.6	1.9	
Approach LOS	E			A	A	
Timer - Assigned Phs		2		4		6
Phs Duration (G+Y+Rc), s		108.7		11.3		108.7
Change Period (Y+Rc), s		6.5		6.5		6.5
Max Green Setting (Gmax), s		85.5		21.5		85.5
Max Q Clear Time (g_c+I1), s		12.6		5.7		5.9
Green Ext Time (p_c), s		15.2		0.1		4.4
Intersection Summary						
HCM 6th Ctrl Delay			4.2			
HCM 6th LOS			A			
Notes						
User approved volume balancing among the lanes for turning movement.						

Timings
1: Pecos St & Sherrelwood Dr

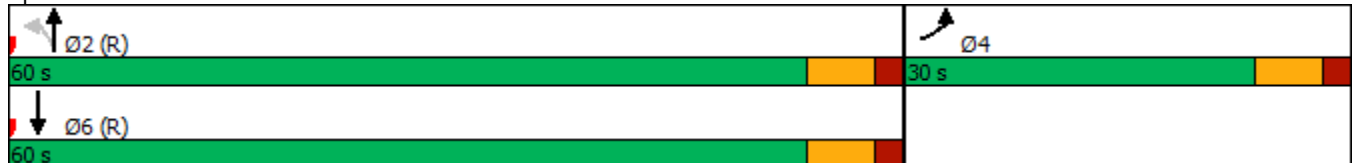


Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	10	32	377	846
Future Volume (vph)	10	32	377	846
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	30.0	60.0	60.0	60.0
Total Split (%)	33.3%	66.7%	66.7%	66.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	7.1	73.6	73.6	73.6
Actuated g/C Ratio	0.08	0.82	0.82	0.82
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
LOS	C	A	A	A
Approach Delay	21.8		2.6	3.1
Approach LOS	C		A	A

Intersection Summary

Cycle Length: 90
 Actuated Cycle Length: 90
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green
 Natural Cycle: 50
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.40
 Intersection Signal Delay: 3.9
 Intersection LOS: A
 Intersection Capacity Utilization 41.6%
 ICU Level of Service A
 Analysis Period (min) 15

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	10	45	32	377	846	23
Future Volume (veh/h)	10	45	32	377	846	23
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	16	56	48	410	881	36
Peak Hour Factor	0.63	0.80	0.67	0.92	0.96	0.64
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	20	71	525	2837	2778	114
Arrive On Green	0.06	0.06	0.80	0.80	0.80	0.80
Sat Flow, veh/h	357	1249	609	3647	3573	142
Grp Volume(v), veh/h	73	0	48	410	450	467
Grp Sat Flow(s),veh/h/ln	1628	0	609	1777	1777	1845
Q Serve(g_s), s	4.0	0.0	2.1	2.4	6.2	6.2
Cycle Q Clear(g_c), s	4.0	0.0	8.2	2.4	6.2	6.2
Prop In Lane	0.22	0.77	1.00			0.08
Lane Grp Cap(c), veh/h	93	0	525	2837	1419	1473
V/C Ratio(X)	0.78	0.00	0.09	0.14	0.32	0.32
Avail Cap(c_a), veh/h	425	0	525	2837	1419	1473
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	41.9	0.0	3.6	2.1	2.4	2.4
Incr Delay (d2), s/veh	13.4	0.0	0.3	0.1	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	0.5	1.4	1.4
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	55.2	0.0	3.9	2.2	3.0	3.0
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	73			458	917	
Approach Delay, s/veh	55.2			2.4	3.0	
Approach LOS	E			A	A	
Timer - Assigned Phs		2		4		6
Phs Duration (G+Y+Rc), s		78.4		11.6		78.4
Change Period (Y+Rc), s		6.5		6.5		6.5
Max Green Setting (Gmax), s		53.5		23.5		53.5
Max Q Clear Time (g_c+l1), s		10.2		6.0		8.2
Green Ext Time (p_c), s		3.5		0.2		6.8
Intersection Summary						
HCM 6th Ctrl Delay			5.4			
HCM 6th LOS			A			
Notes						
User approved volume balancing among the lanes for turning movement.						

Timings
1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	22	37	1165	610
Future Volume (vph)	22	37	1165	610
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	28.0	92.0	92.0	92.0
Total Split (%)	23.3%	76.7%	76.7%	76.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	7.7	103.0	103.0	103.0
Actuated g/C Ratio	0.06	0.86	0.86	0.86
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
LOS	D	A	A	A
Approach Delay	41.7		3.2	2.2
Approach LOS	D		A	A

Intersection Summary

Cycle Length: 120
 Actuated Cycle Length: 120
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.44
 Intersection Signal Delay: 3.8
 Intersection Capacity Utilization 47.2%
 Analysis Period (min) 15

Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr

2022 Background PM.syn

04/01/2020



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	22	16	37	1165	610	11
Future Volume (veh/h)	22	16	37	1165	610	11
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	28	24	44	1339	635	24
Peak Hour Factor	0.79	0.67	0.84	0.87	0.96	0.46
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	36	31	694	3026	2973	112
Arrive On Green	0.04	0.04	0.85	0.85	0.85	0.85
Sat Flow, veh/h	892	764	775	3647	3585	132
Grp Volume(v), veh/h	53	0	44	1339	323	336
Grp Sat Flow(s),veh/h/ln	1688	0	775	1777	1777	1847
Q Serve(g_s), s	3.7	0.0	1.3	10.8	4.0	4.0
Cycle Q Clear(g_c), s	3.7	0.0	5.3	10.8	4.0	4.0
Prop In Lane	0.53	0.45	1.00			0.07
Lane Grp Cap(c), veh/h	68	0	694	3026	1513	1572
V/C Ratio(X)	0.78	0.00	0.06	0.44	0.21	0.21
Avail Cap(c_a), veh/h	302	0	694	3026	1513	1572
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.1	0.0	2.1	2.1	1.6	1.6
Incr Delay (d2), s/veh	17.4	0.0	0.2	0.5	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	2.2	0.9	0.9
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	74.4	0.0	2.3	2.6	1.9	1.9
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	53			1383	659	
Approach Delay, s/veh	74.4			2.6	1.9	
Approach LOS	E			A	A	
Timer - Assigned Phs		2		4		6
Phs Duration (G+Y+Rc), s		108.7		11.3		108.7
Change Period (Y+Rc), s		6.5		6.5		6.5
Max Green Setting (Gmax), s		85.5		21.5		85.5
Max Q Clear Time (g_c+I1), s		12.8		5.7		6.0
Green Ext Time (p_c), s		15.5		0.1		4.4
Intersection Summary						
HCM 6th Ctrl Delay			4.2			
HCM 6th LOS			A			
Notes						
User approved volume balancing among the lanes for turning movement.						

Timings
1: Pecos St & Sherrelwood Dr

2022 Total AM.syn
04/02/2020

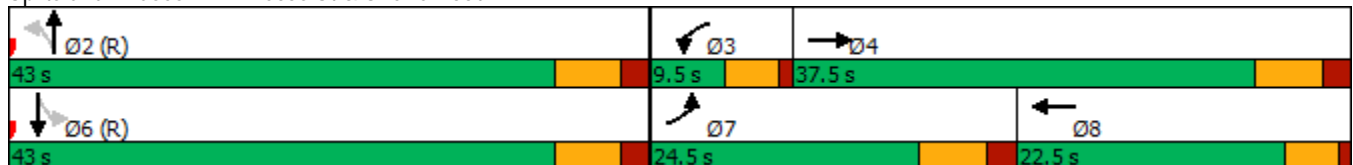


Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↕	↕	↙	↕	↙	↕		
Traffic Volume (vph)	0	0	32	382	3	847		
Future Volume (vph)	0	0	32	382	3	847		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	24.5
Total Split (s)	37.5	22.5	43.0	43.0	43.0	43.0	9.5	24.5
Total Split (%)	41.7%	25.0%	47.8%	47.8%	47.8%	47.8%	11%	27%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	4.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	68.2	68.2	68.2	68.2		
Actuated g/C Ratio	0.00	0.00	0.76	0.76	0.76	0.76		
v/c Ratio	0.60	0.11	0.11	0.16	0.00	0.34		
Control Delay	23.1	1.1	10.0	6.7	10.3	7.9		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	23.1	1.1	10.0	6.7	10.3	7.9		
LOS	C	A	A	A	B	A		
Approach Delay	23.1	1.1		7.1		7.9		
Approach LOS	C	A		A		A		

Intersection Summary

Cycle Length: 90
 Actuated Cycle Length: 90
 Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
 Natural Cycle: 75
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.60
 Intersection Signal Delay: 8.3
 Intersection Capacity Utilization 41.6%
 Analysis Period (min) 15
 Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary

2022 Total AM.syn

1: Pecos St & Sherrelwood Dr

04/02/2020



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Volume (veh/h)	10	0	45	11	0	9	32	382	3	3	847	23
Future Volume (veh/h)	10	0	45	11	0	9	32	382	3	3	847	23
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	16	0	56	12	0	10	48	415	3	3	882	36
Peak Hour Factor	0.63	0.92	0.80	0.92	0.92	0.92	0.67	0.92	0.92	0.92	0.96	0.64
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	83	0	0	83	528	2905	21	833	2795	114
Arrive On Green	0.00	0.00	0.05	0.00	0.00	0.05	0.80	0.80	0.80	0.80	0.80	0.80
Sat Flow, veh/h	0	0	1585	0	0	1585	609	3616	26	969	3480	142
Grp Volume(v), veh/h	0	0	56	0	0	10	48	204	214	3	450	468
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	609	1777	1866	969	1777	1845
Q Serve(g_s), s	0.0	0.0	3.1	0.0	0.0	0.5	2.0	2.3	2.3	0.1	6.0	6.0
Cycle Q Clear(g_c), s	0.0	0.0	3.1	0.0	0.0	0.5	8.0	2.3	2.3	2.4	6.0	6.0
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.01	1.00		0.08
Lane Grp Cap(c), veh/h	0	0	83	0	0	83	528	1427	1499	833	1427	1482
V/C Ratio(X)	0.00	0.00	0.68	0.00	0.00	0.12	0.09	0.14	0.14	0.00	0.32	0.32
Avail Cap(c_a), veh/h	0	0	546	0	0	317	528	1427	1499	833	1427	1482
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	41.9	0.0	0.0	40.7	3.4	2.0	2.0	2.2	2.3	2.3
Incr Delay (d2), s/veh	0.0	0.0	9.3	0.0	0.0	0.6	0.3	0.2	0.2	0.0	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	1.4	0.0	0.0	0.2	0.2	0.5	0.5	0.0	1.3	1.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	51.2	0.0	0.0	41.3	3.7	2.2	2.2	2.2	2.9	2.9
LnGrp LOS	A	A	D	A	A	D	A	A	A	A	A	A
Approach Vol, veh/h		56			10			466			921	
Approach Delay, s/veh		51.2			41.3			2.3			2.9	
Approach LOS		D			D			A			A	
Timer - Assigned Phs		2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s		78.8	0.0	11.2		78.8	0.0	11.2				
Change Period (Y+Rc), s		6.5	4.5	6.5		6.5	6.5	* 6.5				
Max Green Setting (Gmax), s		36.5	5.0	31.0		36.5	18.0	* 18				
Max Q Clear Time (g_c+I1), s		10.0	0.0	5.1		8.0	0.0	2.5				
Green Ext Time (p_c), s		2.9	0.0	0.3		6.4	0.0	0.0				
Intersection Summary												
HCM 6th Ctrl Delay			4.8									
HCM 6th LOS			A									
Notes												
* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.												

Timings
1: Pecos St & Sherrelwood Dr

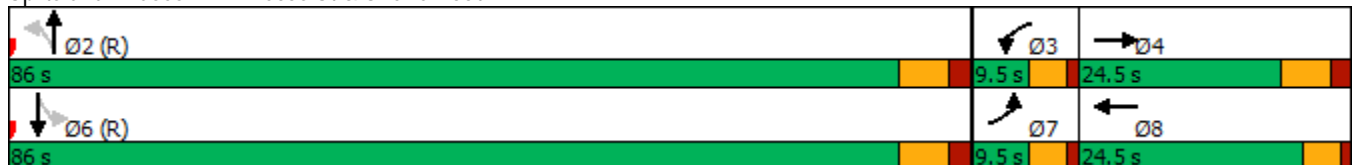


Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↔	↔	↙	↕	↘	↕		
Traffic Volume (vph)	0	0	37	1168	9	615		
Future Volume (vph)	0	0	37	1168	9	615		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	9.5
Total Split (s)	24.5	24.5	86.0	86.0	86.0	86.0	9.5	9.5
Total Split (%)	20.4%	20.4%	71.7%	71.7%	71.7%	71.7%	8%	8%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	3.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	100.8	100.8	100.8	100.8		
Actuated g/C Ratio	0.00	0.00	0.84	0.84	0.84	0.84		
v/c Ratio	0.60	0.14	0.09	0.43	0.03	0.22		
Control Delay	29.8	3.2	4.3	4.7	4.8	3.5		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	29.8	3.2	4.3	4.7	4.8	3.5		
LOS	C	A	A	A	A	A		
Approach Delay	29.8	3.3		4.7		3.5		
Approach LOS	C	A		A		A		

Intersection Summary

Cycle Length: 120
 Actuated Cycle Length: 120
 Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
 Natural Cycle: 65
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.60
 Intersection Signal Delay: 5.0
 Intersection LOS: A
 Intersection Capacity Utilization 47.7%
 ICU Level of Service A
 Analysis Period (min) 15

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr

2022 Total PM.syn
 04/01/2020



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↗	↕↗		↗	↕↗	
Traffic Volume (veh/h)	22	0	16	7	0	5	37	1168	12	9	615	11
Future Volume (veh/h)	22	0	16	7	0	5	37	1168	12	9	615	11
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	35	0	20	8	0	5	55	1270	13	10	641	17
Peak Hour Factor	0.63	0.92	0.80	0.92	0.92	0.92	0.67	0.92	0.92	0.92	0.96	0.64
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	57	0	0	57	699	3083	32	395	3026	80
Arrive On Green	0.00	0.00	0.04	0.00	0.00	0.04	0.86	0.86	0.86	0.86	0.86	0.86
Sat Flow, veh/h	0	0	1585	0	0	1585	776	3604	37	431	3537	94
Grp Volume(v), veh/h	0	0	20	0	0	5	55	626	657	10	322	336
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	776	1777	1864	431	1777	1853
Q Serve(g_s), s	0.0	0.0	1.5	0.0	0.0	0.4	1.6	9.4	9.4	0.6	3.8	3.8
Cycle Q Clear(g_c), s	0.0	0.0	1.5	0.0	0.0	0.4	5.5	9.4	9.4	10.1	3.8	3.8
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.02	1.00		0.05
Lane Grp Cap(c), veh/h	0	0	57	0	0	57	699	1520	1595	395	1520	1586
V/C Ratio(X)	0.00	0.00	0.35	0.00	0.00	0.09	0.08	0.41	0.41	0.03	0.21	0.21
Avail Cap(c_a), veh/h	0	0	238	0	0	264	699	1520	1595	395	1520	1586
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	56.5	0.0	0.0	55.9	2.0	1.9	1.9	3.1	1.5	1.5
Incr Delay (d2), s/veh	0.0	0.0	3.6	0.0	0.0	0.7	0.2	0.8	0.8	0.1	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	0.7	0.0	0.0	0.2	0.2	2.0	2.1	0.1	0.8	0.8
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	60.1	0.0	0.0	56.6	2.2	2.8	2.7	3.2	1.8	1.8
LnGrp LOS	A	A	E	A	A	E	A	A	A	A	A	A
Approach Vol, veh/h		20			5			1338			668	
Approach Delay, s/veh		60.1			56.6			2.7			1.9	
Approach LOS		E			E			A			A	
Timer - Assigned Phs		2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s		109.2	0.0	10.8		109.2	0.0	10.8				
Change Period (Y+Rc), s		6.5	4.5	6.5		6.5	4.5	* 6.5				
Max Green Setting (Gmax), s		79.5	5.0	18.0		79.5	5.0	* 20				
Max Q Clear Time (g_c+I1), s		11.4	0.0	3.5		12.1	0.0	2.4				
Green Ext Time (p_c), s		12.8	0.0	0.0		4.6	0.0	0.0				
Intersection Summary												
HCM 6th Ctrl Delay			3.1									
HCM 6th LOS			A									
Notes												
* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.												

Timings
1: Pecos St & Sherrelwood Dr

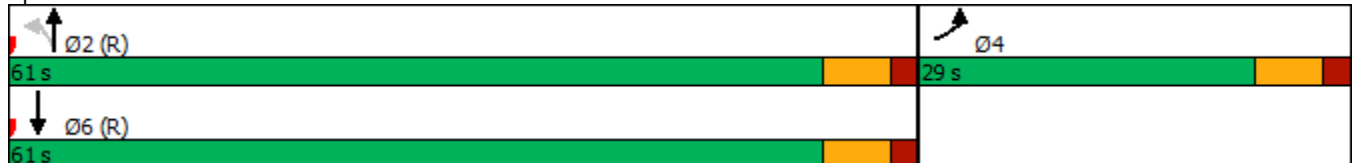


Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	11	35	412	926
Future Volume (vph)	11	35	412	926
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	29.0	61.0	61.0	61.0
Total Split (%)	32.2%	67.8%	67.8%	67.8%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	6.9	73.8	73.8	73.8
Actuated g/C Ratio	0.08	0.82	0.82	0.82
v/c Ratio	0.38	0.09	0.15	0.34
Control Delay	20.9	3.3	2.5	3.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	20.9	3.3	2.5	3.2
LOS	C	A	A	A
Approach Delay	20.9		2.6	3.2
Approach LOS	C		A	A

Intersection Summary

Cycle Length: 90
 Actuated Cycle Length: 90
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green
 Natural Cycle: 50
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.38
 Intersection Signal Delay: 3.8
 Intersection Capacity Utilization 44.1%
 Analysis Period (min) 15
 Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr

2040 Background AM.syn
 04/02/2020



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	11	50	35	412	926	25
Future Volume (veh/h)	11	50	35	412	926	25
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	12	54	38	448	965	27
Peak Hour Factor	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	15	69	494	2854	2835	79
Arrive On Green	0.05	0.05	0.80	0.80	0.80	0.80
Sat Flow, veh/h	290	1306	568	3647	3624	99
Grp Volume(v), veh/h	67	0	38	448	486	506
Grp Sat Flow(s),veh/h/ln	1621	0	568	1777	1777	1853
Q Serve(g_s), s	3.7	0.0	1.7	2.6	6.7	6.7
Cycle Q Clear(g_c), s	3.7	0.0	8.4	2.6	6.7	6.7
Prop In Lane	0.18	0.81	1.00			0.05
Lane Grp Cap(c), veh/h	85	0	494	2854	1427	1488
V/C Ratio(X)	0.79	0.00	0.08	0.16	0.34	0.34
Avail Cap(c_a), veh/h	405	0	494	2854	1427	1488
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	42.1	0.0	3.5	2.0	2.4	2.4
Incr Delay (d2), s/veh	14.7	0.0	0.3	0.1	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.8	0.0	0.2	0.5	1.5	1.5
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	56.9	0.0	3.8	2.1	3.0	3.0
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	67			486	992	
Approach Delay, s/veh	56.9			2.2	3.0	
Approach LOS	E			A	A	
Timer - Assigned Phs		2		4		6
Phs Duration (G+Y+Rc), s		78.8		11.2		78.8
Change Period (Y+Rc), s		6.5		6.5		6.5
Max Green Setting (Gmax), s		54.5		22.5		54.5
Max Q Clear Time (g_c+I1), s		10.4		5.7		8.7
Green Ext Time (p_c), s		3.7		0.1		7.6
Intersection Summary						
HCM 6th Ctrl Delay			5.1			
HCM 6th LOS			A			
Notes						
User approved volume balancing among the lanes for turning movement.						

Timings
1: Pecos St & Sherrelwood Dr



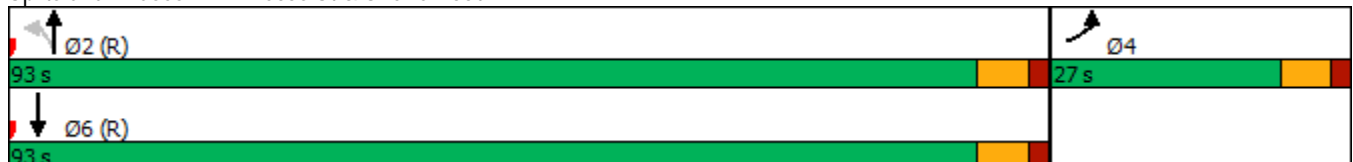
Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	24	41	1274	667
Future Volume (vph)	24	41	1274	667
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	27.0	93.0	93.0	93.0
Total Split (%)	22.5%	77.5%	77.5%	77.5%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	7.6	103.1	103.1	103.1
Actuated g/C Ratio	0.06	0.86	0.86	0.86
v/c Ratio	0.37	0.07	0.46	0.23
Control Delay	42.5	2.5	3.2	2.3
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	42.5	2.5	3.2	2.3
LOS	D	A	A	A
Approach Delay	42.5		3.2	2.3
Approach LOS	D		A	A

Intersection Summary

Cycle Length: 120
 Actuated Cycle Length: 120
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.46
 Intersection Signal Delay: 3.7
 Intersection Capacity Utilization 50.2%
 Analysis Period (min) 15

Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	24	18	41	1274	667	12
Future Volume (veh/h)	24	18	41	1274	667	12
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	26	20	45	1385	695	13
Peak Hour Factor	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	33	26	668	3043	3055	57
Arrive On Green	0.04	0.04	0.86	0.86	0.86	0.86
Sat Flow, veh/h	937	721	741	3647	3662	67
Grp Volume(v), veh/h	47	0	45	1385	346	362
Grp Sat Flow(s),veh/h/ln	1694	0	741	1777	1777	1858
Q Serve(g_s), s	3.3	0.0	1.4	11.0	4.2	4.2
Cycle Q Clear(g_c), s	3.3	0.0	5.6	11.0	4.2	4.2
Prop In Lane	0.55	0.43	1.00			0.04
Lane Grp Cap(c), veh/h	60	0	668	3043	1521	1591
V/C Ratio(X)	0.78	0.00	0.07	0.46	0.23	0.23
Avail Cap(c_a), veh/h	289	0	668	3043	1521	1591
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.4	0.0	2.0	2.0	1.5	1.5
Incr Delay (d2), s/veh	19.5	0.0	0.2	0.5	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.8	0.0	0.2	2.1	0.9	0.9
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	76.9	0.0	2.2	2.5	1.9	1.9
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	47			1430	708	
Approach Delay, s/veh	76.9			2.5	1.9	
Approach LOS	E			A	A	
Timer - Assigned Phs		2		4		6
Phs Duration (G+Y+Rc), s		109.2		10.8		109.2
Change Period (Y+Rc), s		6.5		6.5		6.5
Max Green Setting (Gmax), s		86.5		20.5		86.5
Max Q Clear Time (g_c+l1), s		13.0		5.3		6.2
Green Ext Time (p_c), s		16.6		0.1		4.9

Intersection Summary

HCM 6th Ctrl Delay	3.9
HCM 6th LOS	A

Notes

User approved volume balancing among the lanes for turning movement.

Timings
1: Pecos St & Sherrelwood Dr

2040 Total AM.syn
04/02/2020

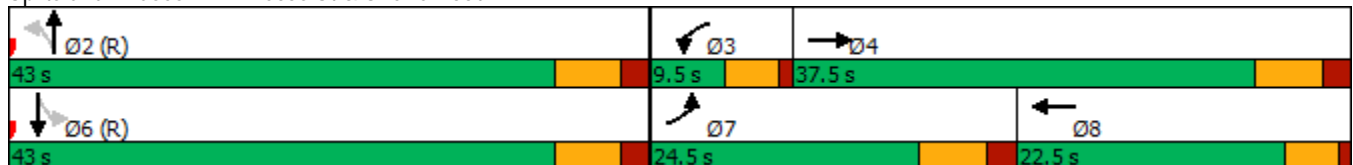


Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↕	↕	↙	↕	↙	↕		
Traffic Volume (vph)	0	0	35	417	3	927		
Future Volume (vph)	0	0	35	417	3	927		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	24.5
Total Split (s)	37.5	22.5	43.0	43.0	43.0	43.0	9.5	24.5
Total Split (%)	41.7%	25.0%	47.8%	47.8%	47.8%	47.8%	11%	27%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	4.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	68.2	68.2	68.2	68.2		
Actuated g/C Ratio	0.00	0.00	0.76	0.76	0.76	0.76		
v/c Ratio	0.55	0.11	0.10	0.17	0.00	0.37		
Control Delay	18.5	1.1	10.1	6.8	10.3	8.1		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	18.5	1.1	10.1	6.8	10.3	8.1		
LOS	B	A	B	A	B	A		
Approach Delay	18.5	1.1		7.0		8.2		
Approach LOS	B	A		A		A		

Intersection Summary

Cycle Length: 90
 Actuated Cycle Length: 90
 Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
 Natural Cycle: 75
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.55
 Intersection Signal Delay: 8.1
 Intersection LOS: A
 Intersection Capacity Utilization 44.1%
 ICU Level of Service A
 Analysis Period (min) 15

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary

2040 Total AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↗	↕↔		↗	↕↔	
Traffic Volume (veh/h)	11	0	50	11	0	9	35	417	3	3	927	25
Future Volume (veh/h)	11	0	50	11	0	9	35	417	3	3	927	25
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	12	0	54	12	0	10	38	453	3	3	966	27
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	79	0	0	79	495	2916	19	808	2845	80
Arrive On Green	0.00	0.00	0.05	0.00	0.00	0.05	0.81	0.81	0.81	0.81	0.81	0.81
Sat Flow, veh/h	0	0	1585	0	0	1585	567	3619	24	935	3531	99
Grp Volume(v), veh/h	0	0	54	0	0	10	38	222	234	3	486	507
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	567	1777	1866	935	1777	1853
Q Serve(g_s), s	0.0	0.0	3.0	0.0	0.0	0.5	1.7	2.5	2.5	0.1	6.6	6.6
Cycle Q Clear(g_c), s	0.0	0.0	3.0	0.0	0.0	0.5	8.3	2.5	2.5	2.6	6.6	6.6
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.01	1.00		0.05
Lane Grp Cap(c), veh/h	0	0	79	0	0	79	495	1432	1504	808	1432	1493
V/C Ratio(X)	0.00	0.00	0.68	0.00	0.00	0.13	0.08	0.16	0.16	0.00	0.34	0.34
Avail Cap(c_a), veh/h	0	0	546	0	0	317	495	1432	1504	808	1432	1493
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	42.1	0.0	0.0	40.9	3.4	1.9	1.9	2.2	2.3	2.3
Incr Delay (d2), s/veh	0.0	0.0	10.0	0.0	0.0	0.7	0.3	0.2	0.2	0.0	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	1.4	0.0	0.0	0.2	0.2	0.5	0.6	0.0	1.4	1.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	52.0	0.0	0.0	41.6	3.8	2.2	2.2	2.2	3.0	3.0
LnGrp LOS	A	A	D	A	A	D	A	A	A	A	A	A
Approach Vol, veh/h		54			10			494			996	
Approach Delay, s/veh		52.0			41.6			2.3			3.0	
Approach LOS		D			D			A			A	
Timer - Assigned Phs		2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s		79.0	0.0	11.0		79.0	0.0	11.0				
Change Period (Y+Rc), s		6.5	4.5	6.5		6.5	6.5	* 6.5				
Max Green Setting (Gmax), s		36.5	5.0	31.0		36.5	18.0	* 18				
Max Q Clear Time (g_c+I1), s		10.3	0.0	5.0		8.6	0.0	2.5				
Green Ext Time (p_c), s		3.1	0.0	0.3		7.0	0.0	0.0				
Intersection Summary												
HCM 6th Ctrl Delay			4.7									
HCM 6th LOS			A									
Notes												
* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.												

Timings
1: Pecos St & Sherrelwood Dr

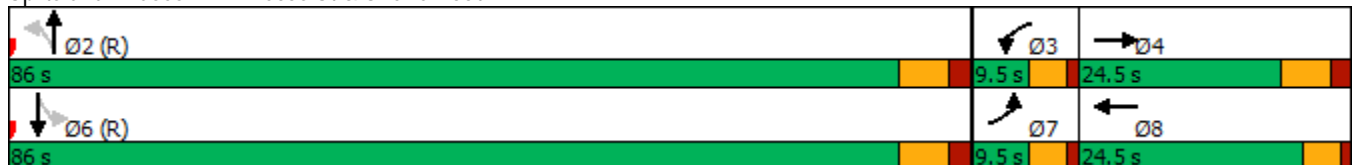


Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↔	↔	↙	↕	↘	↕		
Traffic Volume (vph)	0	0	41	1277	9	672		
Future Volume (vph)	0	0	41	1277	9	672		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	9.5
Total Split (s)	24.5	24.5	86.0	86.0	86.0	86.0	9.5	9.5
Total Split (%)	20.4%	20.4%	71.7%	71.7%	71.7%	71.7%	8%	8%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	3.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	100.8	100.8	100.8	100.8		
Actuated g/C Ratio	0.00	0.00	0.84	0.84	0.84	0.84		
v/c Ratio	0.51	0.14	0.08	0.47	0.04	0.24		
Control Delay	19.4	3.2	4.3	5.0	4.9	3.6		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	19.4	3.2	4.3	5.0	4.9	3.6		
LOS	B	A	A	A	A	A		
Approach Delay	19.4	3.3		5.0		3.6		
Approach LOS	B	A		A		A		

Intersection Summary

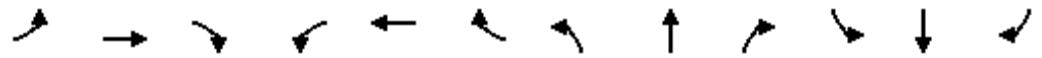
Cycle Length: 120
 Actuated Cycle Length: 120
 Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
 Natural Cycle: 70
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.51
 Intersection Signal Delay: 4.8
 Intersection Capacity Utilization 50.7%
 Analysis Period (min) 15
 Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



HCM 6th Signalized Intersection Summary
 1: Pecos St & Sherrelwood Dr

2040 Total PM.syn
 04/01/2020



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↗	↕		↗	↕	
Traffic Volume (veh/h)	24	0	18	7	0	5	41	1277	12	9	672	12
Future Volume (veh/h)	24	0	18	7	0	5	41	1277	12	9	672	12
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	26	0	20	8	0	5	45	1388	13	10	700	13
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	54	0	0	54	667	3094	29	356	3061	57
Arrive On Green	0.00	0.00	0.03	0.00	0.00	0.03	0.86	0.86	0.86	0.86	0.86	0.86
Sat Flow, veh/h	0	0	1585	0	0	1585	737	3607	34	385	3569	66
Grp Volume(v), veh/h	0	0	20	0	0	5	45	683	718	10	348	365
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	737	1777	1864	385	1777	1858
Q Serve(g_s), s	0.0	0.0	1.5	0.0	0.0	0.4	1.4	10.7	10.7	0.7	4.2	4.2
Cycle Q Clear(g_c), s	0.0	0.0	1.5	0.0	0.0	0.4	5.6	10.7	10.7	11.4	4.2	4.2
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.02	1.00		0.04
Lane Grp Cap(c), veh/h	0	0	54	0	0	54	667	1524	1599	356	1524	1594
V/C Ratio(X)	0.00	0.00	0.37	0.00	0.00	0.09	0.07	0.45	0.45	0.03	0.23	0.23
Avail Cap(c_a), veh/h	0	0	238	0	0	264	667	1524	1599	356	1524	1594
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	56.7	0.0	0.0	56.2	2.0	2.0	2.0	3.3	1.5	1.5
Incr Delay (d2), s/veh	0.0	0.0	4.2	0.0	0.0	0.7	0.2	1.0	0.9	0.1	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	0.7	0.0	0.0	0.2	0.2	2.2	2.3	0.1	0.9	0.9
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	60.9	0.0	0.0	56.9	2.2	2.9	2.9	3.4	1.9	1.8
LnGrp LOS	A	A	E	A	A	E	A	A	A	A	A	A
Approach Vol, veh/h		20			5			1446			723	
Approach Delay, s/veh		60.9			56.9			2.9			1.9	
Approach LOS		E			E			A			A	
Timer - Assigned Phs		2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s		109.4	0.0	10.6		109.4	0.0	10.6				
Change Period (Y+Rc), s		6.5	4.5	6.5		6.5	4.5	* 6.5				
Max Green Setting (Gmax), s		79.5	5.0	18.0		79.5	5.0	* 20				
Max Q Clear Time (g_c+I1), s		12.7	0.0	3.5		13.4	0.0	2.4				
Green Ext Time (p_c), s		15.0	0.0	0.0		5.1	0.0	0.0				
Intersection Summary												
HCM 6th Ctrl Delay			3.2									
HCM 6th LOS			A									
Notes												
* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.												

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔		↔	↑↑	↑↑	
Traffic Vol, veh/h	9	13	1	396	886	5
Future Vol, veh/h	9	13	1	396	886	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	56	81	25	89	95	42
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	16	4	445	933	12

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1170	473	945	0	-	0
Stage 1	939	-	-	-	-	-
Stage 2	231	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*479	*720	*1077	-	-	-
Stage 1	*679	-	-	-	-	-
Stage 2	*785	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*477	*720	*1077	-	-	-
Mov Cap-2 Maneuver	*603	-	-	-	-	-
Stage 1	*676	-	-	-	-	-
Stage 2	*785	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.8	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1077	-	656	-	-
HCM Lane V/C Ratio	0.004	-	0.049	-	-
HCM Control Delay (s)	8.4	-	10.8	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	W		W	↑↑	↑↑	
Traffic Vol, veh/h	10	8	12	1182	607	16
Future Vol, veh/h	10	8	12	1182	607	16
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	63	40	75	87	97	67
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	20	16	1359	626	24

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1350	325	650	0	-	0
Stage 1	638	-	-	-	-	-
Stage 2	712	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*221	*846	*1265	-	-	-
Stage 1	*798	-	-	-	-	-
Stage 2	*447	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*218	*846	*1265	-	-	-
Mov Cap-2 Maneuver	*402	-	-	-	-	-
Stage 1	*788	-	-	-	-	-
Stage 2	*447	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.8	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1265	-	568	-	-
HCM Lane V/C Ratio	0.013	-	0.063	-	-
HCM Control Delay (s)	7.9	-	11.8	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑↑	
Traffic Vol, veh/h	9	13	1	400	895	5
Future Vol, veh/h	9	13	1	400	895	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	56	81	25	89	95	42
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	16	4	449	942	12

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1181	477	954	0	-	0
Stage 1	948	-	-	-	-	-
Stage 2	233	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*468	*720	*1077	-	-	-
Stage 1	*679	-	-	-	-	-
Stage 2	*784	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*466	*720	*1077	-	-	-
Mov Cap-2 Maneuver	*600	-	-	-	-	-
Stage 1	*676	-	-	-	-	-
Stage 2	*784	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.8	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1077	-	655	-	-
HCM Lane V/C Ratio	0.004	-	0.049	-	-
HCM Control Delay (s)	8.4	-	10.8	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑↑	
Traffic Vol, veh/h	10	8	12	1194	613	16
Future Vol, veh/h	10	8	12	1194	613	16
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	63	40	75	87	97	67
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	20	16	1372	632	24

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1362	328	656	0	-	0
Stage 1	644	-	-	-	-	-
Stage 2	718	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*216	*846	*1265	-	-	-
Stage 1	*798	-	-	-	-	-
Stage 2	*444	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*214	*846	*1265	-	-	-
Mov Cap-2 Maneuver	*399	-	-	-	-	-
Stage 1	*788	-	-	-	-	-
Stage 2	*444	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.8	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1265	-	566	-	-
HCM Lane V/C Ratio	0.013	-	0.063	-	-
HCM Control Delay (s)	7.9	-	11.8	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑↑	
Traffic Vol, veh/h	9	13	1	408	907	5
Future Vol, veh/h	9	13	1	408	907	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	56	81	25	89	95	42
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	16	4	458	955	12

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1198	484	967	0	-	0
Stage 1	961	-	-	-	-	-
Stage 2	237	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*484	*703	*1051	-	-	-
Stage 1	*663	-	-	-	-	-
Stage 2	*780	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*482	*703	*1051	-	-	-
Mov Cap-2 Maneuver	*596	-	-	-	-	-
Stage 1	*660	-	-	-	-	-
Stage 2	*780	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.9	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1051	-	645	-	-
HCM Lane V/C Ratio	0.004	-	0.05	-	-
HCM Control Delay (s)	8.4	-	10.9	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑↑	
Traffic Vol, veh/h	10	8	12	1209	625	16
Future Vol, veh/h	10	8	12	1209	625	16
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	63	40	75	87	97	67
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	20	16	1390	644	24

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1383	334	668	0	-	0
Stage 1	656	-	-	-	-	-
Stage 2	727	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*208	*846	1252	-	-	-
Stage 1	*798	-	-	-	-	-
Stage 2	*439	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*205	*846	1252	-	-	-
Mov Cap-2 Maneuver	*394	-	-	-	-	-
Stage 1	*788	-	-	-	-	-
Stage 2	*439	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.9	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1252	-	561	-	-
HCM Lane V/C Ratio	0.013	-	0.064	-	-
HCM Control Delay (s)	7.9	-	11.9	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	W		W	↑↑	↑↑	
Traffic Vol, veh/h	10	14	1	438	979	6
Future Vol, veh/h	10	14	1	438	979	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	95	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	15	1	476	1031	7

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1275	519	1038	0	-	0
Stage 1	1035	-	-	-	-	-
Stage 2	240	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*472	*668	*1000	-	-	-
Stage 1	*631	-	-	-	-	-
Stage 2	*777	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*471	*668	*1000	-	-	-
Mov Cap-2 Maneuver	*575	-	-	-	-	-
Stage 1	*630	-	-	-	-	-
Stage 2	*777	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1000	-	626	-	-
HCM Lane V/C Ratio	0.001	-	0.042	-	-
HCM Control Delay (s)	8.6	-	11	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑↑	
Traffic Vol, veh/h	11	9	13	1306	671	18
Future Vol, veh/h	11	9	13	1306	671	18
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	97	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	12	10	14	1420	692	20

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1440	356	712	0	-	0
Stage 1	702	-	-	-	-	-
Stage 2	738	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*198	*820	*1227	-	-	-
Stage 1	*774	-	-	-	-	-
Stage 2	*434	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*196	*820	*1227	-	-	-
Mov Cap-2 Maneuver	*387	-	-	-	-	-
Stage 1	*765	-	-	-	-	-
Stage 2	*434	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.4	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1227	-	508	-	-
HCM Lane V/C Ratio	0.012	-	0.043	-	-
HCM Control Delay (s)	8	-	12.4	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	W		W	↑↑	↑↑	
Traffic Vol, veh/h	10	14	1	446	991	6
Future Vol, veh/h	10	14	1	446	991	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	95	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	15	1	485	1043	7

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1292	525	1050	0	-	0
Stage 1	1047	-	-	-	-	-
Stage 2	245	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*454	*668	*1000	-	-	-
Stage 1	*631	-	-	-	-	-
Stage 2	*773	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*453	*668	*1000	-	-	-
Mov Cap-2 Maneuver	*570	-	-	-	-	-
Stage 1	*630	-	-	-	-	-
Stage 2	*773	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1000	-	623	-	-
HCM Lane V/C Ratio	0.001	-	0.042	-	-
HCM Control Delay (s)	8.6	-	11	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑↑	
Traffic Vol, veh/h	11	9	13	1321	683	18
Future Vol, veh/h	11	9	13	1321	683	18
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	97	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	12	10	14	1436	704	20

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1460	362	724	0	-	0
Stage 1	714	-	-	-	-	-
Stage 2	746	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*191	*820	*1227	-	-	-
Stage 1	*774	-	-	-	-	-
Stage 2	*430	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*189	*820	*1227	-	-	-
Mov Cap-2 Maneuver	*383	-	-	-	-	-
Stage 1	*765	-	-	-	-	-
Stage 2	*430	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.5	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1227	-	504	-	-
HCM Lane V/C Ratio	0.012	-	0.043	-	-
HCM Control Delay (s)	8	-	12.5	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		↑↑		Y	↑↑
Traffic Vol, veh/h	20	5	404	6	1	919
Future Vol, veh/h	20	5	404	6	1	919
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	5	439	7	1	999

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	945	223	0	0	446	0
Stage 1	443	-	-	-	-	-
Stage 2	502	-	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22	-
Pot Cap-1 Maneuver	*662	780	-	-	1111	-
Stage 1	*614	-	-	-	-	-
Stage 2	*663	-	-	-	-	-
Platoon blocked, %	1	-	-	-	-	-
Mov Cap-1 Maneuver	*662	780	-	-	1111	-
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	*614	-	-	-	-	-
Stage 2	*662	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9.8	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	780	1111
HCM Lane V/C Ratio	-	-	0.035	0.001
HCM Control Delay (s)	-	-	9.8	8.2
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.1	0

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T		T	T
Traffic Vol, veh/h	12	3	1218	21	5	628
Future Vol, veh/h	12	3	1218	21	5	628
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	13	3	1324	23	5	683

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1688	674	0	0	1347
Stage 1	1336	-	-	-	-
Stage 2	352	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	*116	397	-	-	507
Stage 1	*210	-	-	-	-
Stage 2	*798	-	-	-	-
Platoon blocked, %	1	-	-	-	-
Mov Cap-1 Maneuver	*114	397	-	-	507
Mov Cap-2 Maneuver	*198	-	-	-	-
Stage 1	*210	-	-	-	-
Stage 2	*790	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	22.7	0	0.1
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	220	507
HCM Lane V/C Ratio	-	-	0.074	0.011
HCM Control Delay (s)	-	-	22.7	12.2
HCM Lane LOS	-	-	C	B
HCM 95th %tile Q(veh)	-	-	0.2	0

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		↑↓		Y	↑↑
Traffic Vol, veh/h	20	5	442	6	1	1004
Future Vol, veh/h	20	5	442	6	1	1004
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	5	480	7	1	1091

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1032	244	0	0	487
Stage 1	484	-	-	-	-
Stage 2	548	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	*630	757	-	-	1072
Stage 1	*585	-	-	-	-
Stage 2	*631	-	-	-	-
Platoon blocked, %	1	-	-	-	-
Mov Cap-1 Maneuver	*630	757	-	-	1072
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	*585	-	-	-	-
Stage 2	*630	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9.9	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	757	1072
HCM Lane V/C Ratio	-	-	0.036	0.001
HCM Control Delay (s)	-	-	9.9	8.4
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.1	0

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T		T	T
Traffic Vol, veh/h	12	3	1331	21	5	687
Future Vol, veh/h	12	3	1331	21	5	687
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	13	3	1447	23	5	747

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1843	735	0	0	1470
Stage 1	1459	-	-	-	-
Stage 2	384	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	*89	362	-	-	455
Stage 1	*180	-	-	-	-
Stage 2	*774	-	-	-	-
Platoon blocked, %	1	-	-	-	-
Mov Cap-1 Maneuver	*88	362	-	-	455
Mov Cap-2 Maneuver	*169	-	-	-	-
Stage 1	*180	-	-	-	-
Stage 2	*765	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	25.8	0	0.1
HCM LOS	D		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	189	455
HCM Lane V/C Ratio	-	-	0.086	0.012
HCM Control Delay (s)	-	-	25.8	13
HCM Lane LOS	-	-	D	B
HCM 95th %tile Q(veh)	-	-	0.3	0

Notes
 -: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Queues

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	72	48	405	909
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
Queue Length 50th (ft)	9	5	22	58
Queue Length 95th (ft)	24	11	41	99
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	471	475	2895	2880
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.10	0.14	0.32

Intersection Summary

Queues

2020 Existing PM.syn

1: Pecos St & Sherrelwood Dr

04/01/2020



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	52	44	1325	653
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
Queue Length 50th (ft)	21	5	111	41
Queue Length 95th (ft)	51	12	159	66
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	324	646	3036	3019
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.16	0.07	0.44	0.22
Intersection Summary				

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	72	48	410	917
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
Queue Length 50th (ft)	9	5	22	59
Queue Length 95th (ft)	24	11	41	100
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	471	471	2895	2880
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.10	0.14	0.32

Intersection Summary

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	52	44	1339	659
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
Queue Length 50th (ft)	21	5	113	42
Queue Length 95th (ft)	51	12	162	67
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	324	641	3036	3023
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.16	0.07	0.44	0.22

Intersection Summary

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	72	22	48	418	3	918
v/c Ratio	0.60	0.11	0.11	0.16	0.00	0.34
Control Delay	23.1	1.1	10.0	6.7	10.3	7.9
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	23.1	1.1	10.0	6.7	10.3	7.9
Queue Length 50th (ft)	0	0	5	21	0	56
Queue Length 95th (ft)	#28	0	31	117	6	280
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	121	200	422	2679	715	2666
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.60	0.11	0.11	0.16	0.00	0.34

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Queues

2022 Total PM.syn

04/01/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	55	13	55	1283	10	658
v/c Ratio	0.60	0.14	0.09	0.43	0.03	0.22
Control Delay	29.8	3.2	4.3	4.7	4.8	3.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	29.8	3.2	4.3	4.7	4.8	3.5
Queue Length 50th (ft)	0	0	5	92	1	36
Queue Length 95th (ft)	#31	0	22	308	9	129
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	91	91	629	2967	314	2962
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.60	0.14	0.09	0.43	0.03	0.22

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	66	38	448	992
v/c Ratio	0.38	0.09	0.15	0.34
Control Delay	20.9	3.3	2.5	3.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	20.9	3.3	2.5	3.2
Queue Length 50th (ft)	7	4	24	65
Queue Length 95th (ft)	44	13	44	109
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	451	433	2901	2891
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.09	0.15	0.34

Intersection Summary

Queues

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	46	45	1385	708
v/c Ratio	0.37	0.07	0.46	0.23
Control Delay	42.5	2.5	3.2	2.3
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	42.5	2.5	3.2	2.3
Queue Length 50th (ft)	20	5	119	45
Queue Length 95th (ft)	57	13	177	72
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	308	611	3040	3032
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.07	0.46	0.23

Intersection Summary

Queues

2040 Total AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	66	22	38	456	3	993
v/c Ratio	0.55	0.11	0.10	0.17	0.00	0.37
Control Delay	18.5	1.1	10.1	6.8	10.3	8.1
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	18.5	1.1	10.1	6.8	10.3	8.1
Queue Length 50th (ft)	0	0	4	23	0	63
Queue Length 95th (ft)	#18	0	37	127	6	310
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	121	200	385	2679	690	2672
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.55	0.11	0.10	0.17	0.00	0.37

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	46	13	45	1401	10	713
v/c Ratio	0.51	0.14	0.08	0.47	0.04	0.24
Control Delay	19.4	3.2	4.3	5.0	4.9	3.6
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	19.4	3.2	4.3	5.0	4.9	3.6
Queue Length 50th (ft)	0	0	4	106	1	40
Queue Length 95th (ft)	#8	0	26	353	9	142
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	91	91	596	2970	273	2964
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.51	0.14	0.08	0.47	0.04	0.24

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.




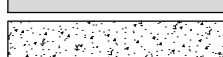

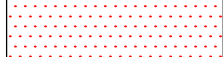

SHERRELWOOD VILLAGE

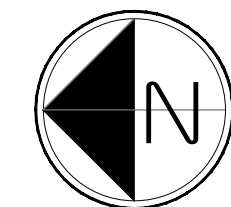
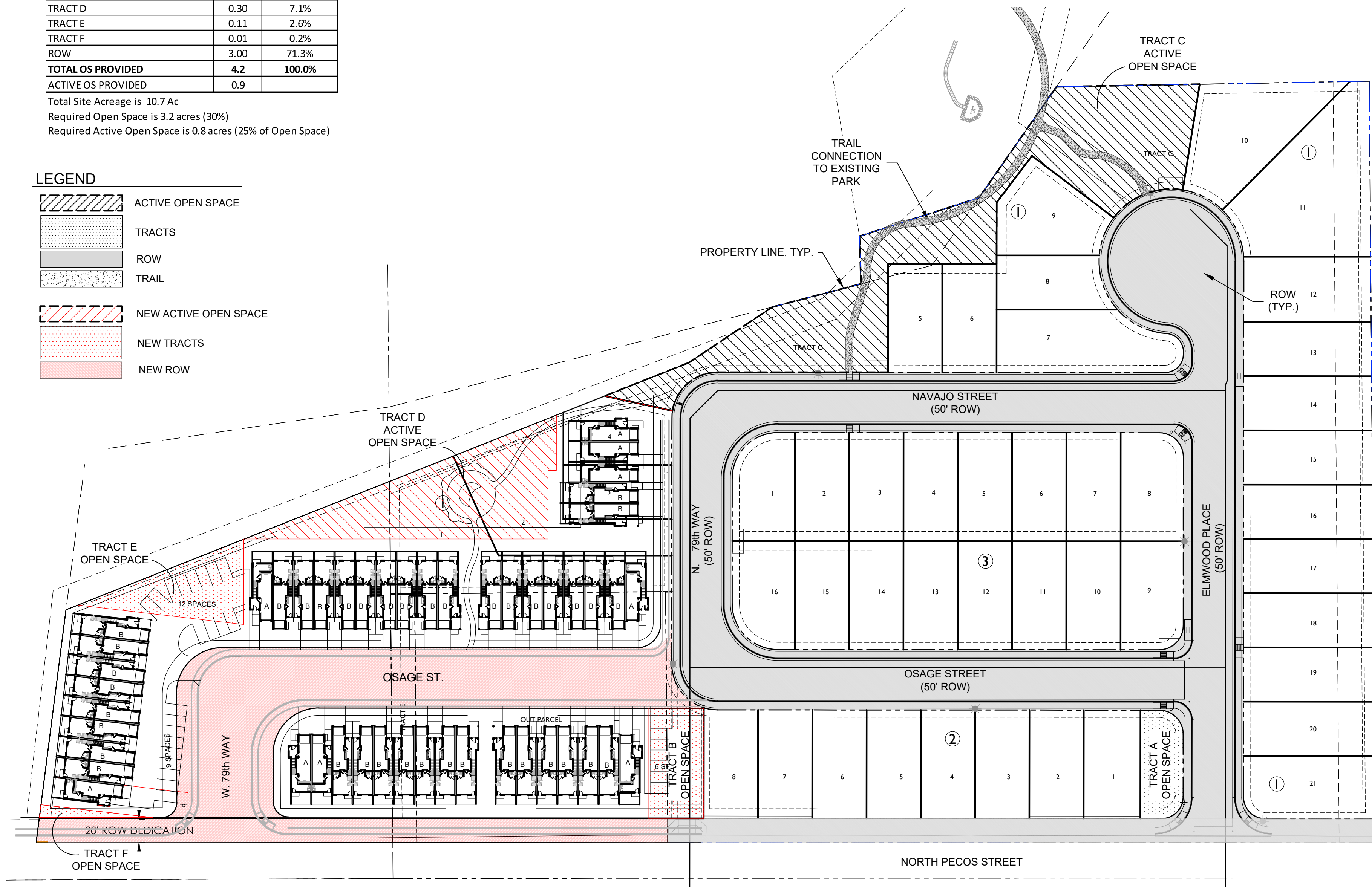
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, COLORADO

OPEN SPACE SUMMARY		
LAND USE	ACRES	% ACRES
TRACT A	0.07	1.7%
TRACT B	0.10	2.4%
TRACT C	0.62	14.7%
TRACT D	0.30	7.1%
TRACT E	0.11	2.6%
TRACT F	0.01	0.2%
ROW	3.00	71.3%
TOTAL OS PROVIDED	4.2	100.0%
ACTIVE OS PROVIDED	0.9	

Total Site Acreage is 10.7 Ac
Required Open Space is 3.2 acres (30%)
Required Active Open Space is 0.8 acres (25% of Open Space)

LEGEND

	ACTIVE OPEN SPACE
	TRACTS
	ROW
	TRAIL
	NEW ACTIVE OPEN SPACE
	NEW TRACTS
	NEW ROW



Scale: 1" = 60'-0"
0 30 60 120

Case No. PRC2016-00008

SHEET TITLE

OPEN SPACE PLAN

SHEET NUMBER

5



PROJECT NAME

SHERRELWOOD VILLAGE
FINAL DEVELOPMENT PLAN
ADAMS COUNTY, COLORADO

ISSUE DATE

- 06-20-2016
- 06-02-2017
- 07-21-2017
- 12-19-2017
- 02-06-2018
- 03-23-2018
- 04-26-2018
- 05-14-2018
- 06-11-2018
- 06-26-2018

NOT FOR CONSTRUCTION

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PRELIMINARY DRAINAGE REPORT

ELMWOOD ESTATES ADAMS COUNTY, COLORADO

Prepared for:

Delwest Development Corporation
155 South Madison Street
Denver, CO 80209
Phone: 303.632.6755
Contact: Derrell Schreiner

Prepared by:

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Phone: 303-703-4444
Contact: Justin Simpson
CORE Project Number: 19-165

December, 2019



CERTIFICATIONS

I. Engineer's Statement:

I hereby certify that this report and plan for the Preliminary Drainage Design of Elmwood Estates was prepared by me or under my direct supervision in accordance with the provisions of Adams County Storm Drainage Design and Technical Criteria for the owners thereof. I understand that Adams County does not and will not assume liability for drainage facilities designed by others.

Justin R. Simpson, PE.
Colorado Professional Engineer No. 54251

II. Owner / Developer's Statement:

Delwest Development Corporation hereby certifies that the drainage facilities for Elmwood Estates shall be constructed according to the design presented in this report. I understand that Adams County does not and will not assume liability for the drainage facilities designed and/ or certified by my engineer. I understand that Adams County reviews drainage plans pursuant to Colorado Revised Statutes Title 30, Article 28; but cannot, on behalf of Elmwood Estates, guarantee that final drainage design review will absolve Delwest Development Corporation and/ or their successors and/ or assigns the future liability for improper design. I further understand that approval of the Final Plat and/ or Final Development Plan does not imply approval of my engineer's drainage design.

Derrell Schreiner
Owner Representative

Date

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Appendices

Appendix A - Hydrologic Calculations

- Vicinity Map
- Firm Map
- SCS Soils Map
- SF-2 and SF-3 Forms

Appendix B - Hydraulic Calculations

- Detention Storage Calculations
- Street Capacity

Appendix C – Reference Information

- Excerpts from Previous Drainage Reports

Appendix D – Proposed Maps

- Overall Drainage plan

I INTRODUCTION

1.1 Purpose

This report was prepared as a preliminary analysis of Elmwood Estates (Elmwood) to meet the regulatory requirements as outlined in the Adams County Storm Drainage Design and Technical Criteria for Final Drainage analysis purposes and volumes 1-3 of the Urban Drainage and Flood Control District Criteria Manuals. This report provides preliminary drainage analysis that encompasses both Elmwood Estates and an existing single-family development to the south called Sherrelwood Village.

1.2 General Location & Description of Property

Elmwood is located within the SE $\frac{1}{4}$, Section of 28 and NE $\frac{1}{4}$, Section 33, T2S, R68W of the 6th Principal meridian. The 10 +/- acre site is bordered on the north by Kalcevic Reservoir, on the east by Sherrelwood Park, on the south by Sherrelwood Village and the west by North Pecos Street.

Ultimately the property will follow natural drainage patterns to the southeast at an approximate 2.25% slope. An existing pond designed, approved and as-built with the Sherrelwood Village Final Plat will be utilized as the primary drainage infrastructure for Elmwood.

The site receives no offsite runoff.

Soils within the site are identified by the National Cooperative Soil Survey as Platner Loam (PIB), Samsil-Shingle complex (ShF) and Ulm Loam (UIC). These soil types are a part of Type C and D hydrologic soil group. A soils map has been provided and can be found in Appendix A.

2 MAJOR DRAINAGE BASINS

2.1 Drainage Basins

The existing drainage patterns for the Elmwood site will remain historic with runoff from the northwest flowing to the southeast. An existing 100-yr detention pond in the southeast corner of the Sherrelwood Village site will be increased in size to accommodate the addition developed flow from the Elmwood site. Along with a volume increase of the existing pond the existing WQ Plate will be replaced to ensure the WQ and EURV events drain in the required time.

2.2 FIRM

The site falls within Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel 08001C0584H. A copy of the FIRM map can be found in Appendix A.

3 DRAINAGE DESIGN CRITERIA

The subsurface storm infrastructure for the Sherrelwood Village project was designed to carry the 5-yr storm event (minor) within the pipe and to keep the 100-yr (major) hydraulic grade line below the finish grade surface. The existing storm sewer infrastructure is adequately designed to carry the maximum flow each inlet can capture at any given time and no modifications are needed. Additional flow from the minor

and major events from Elmwood will be captured by an existing 5' inlet at DP-2 and an existing 10' inlet at DP-5. By-pass flow during the minor event will not spread past the back of the sidewalk and during the major event the street crown will not have more than 6" of water. If any of the 3 existing inlets are clogged water will overflow through Tract C and reach the existing detention pond.

4 DRAINAGE FACILITY DESIGN

Elmwood will consist of 48 townhomes broken into pods of 5-9 units.

4.1 North Sub-Basins

There are 2 sub-basins that ultimately drain to the existing pond on the southwest corner of Sherrelwood Village. For this preliminary analysis a conservative imperviousness value of 70% was assumed.

4.2 Finish Floor Analysis

No structures will be inundated at the ground line during either the minor or major storm events. Further analysis will be conducted during the final drainage report phase of the Elmwood Estates project.

5 WATER QUALITY BEST MANAGEMENT PRACTICES

5.1 Non-Structural BMP's

Non-structural best management practices BMP's may include grass buffers and swales and permanent seeding. These will be designed as part of the final design of the site. The landscaping around the impervious areas will create buffers for water quality benefit.

5.2 Structural BMP's

The existing Sherrelwood Village detention pond will be expanded to capture the increased developed runoff from Elmwood. The as-built pond currently has 0.779 acre-ft of volume. During the Final Phase of the Elmwood project the pond will be expanded to a total volume of 0.958 per MHFD-Detention, Version 4.00 spreadsheet developed by UDFCD. Along with a volume increase the WQ plate will be replaced within the existing outlet structure.

5.3 Source Controls

Existing Sherrelwood Village pond requires regular maintenance and cleaning to function properly and provide adequate water quality.

6 CONCLUSION

6.1 Compliance with Standards

The design of drainage facilities for Elmwood Estates follows the Urban Drainage and Flood Control District's Drainage Criteria Manual and the Adams County Storm Drainage Design and Technical Criteria.

6.2 Variance

No variances will need to be granted.

6.3 Drainage Concept

The Rational Method was used to determine the developed runoff values for the minor drainage basins throughout the site. These basins were delineated based on the natural site topography and the developed site plan. Once the runoff values were identified, storm sewer pipes and other drainage conveyances were designed to capture and transport runoff towards the existing detention pond. The storm sewer system has been designed to capture the minor (5-year) storm event. The drainage design included herein will control damage to proposed structures. The proposed improvements do not negatively affect any upstream or downstream drainage facilities or other structures.

7 REFERENCES

1. *Chapter 9 – Storm Drainage Design and Stormwater Quality Regulations*, Adams County Development Standards and Regulations, August 15, 2017.
2. *Urban Storm Drainage Criteria Manuals*, Urban Drainage and Flood Control District.
 - a. Volume 1, Revised August 2018
 - b. Volume 2, Revised September 2017.
 - c. Volume 3 Revised April 2018

APPENDIX A

HYDROLOGIC CALCULATIONS

VICINITY MAP
7840 PECOS STREET
(NOT TO SCALE)

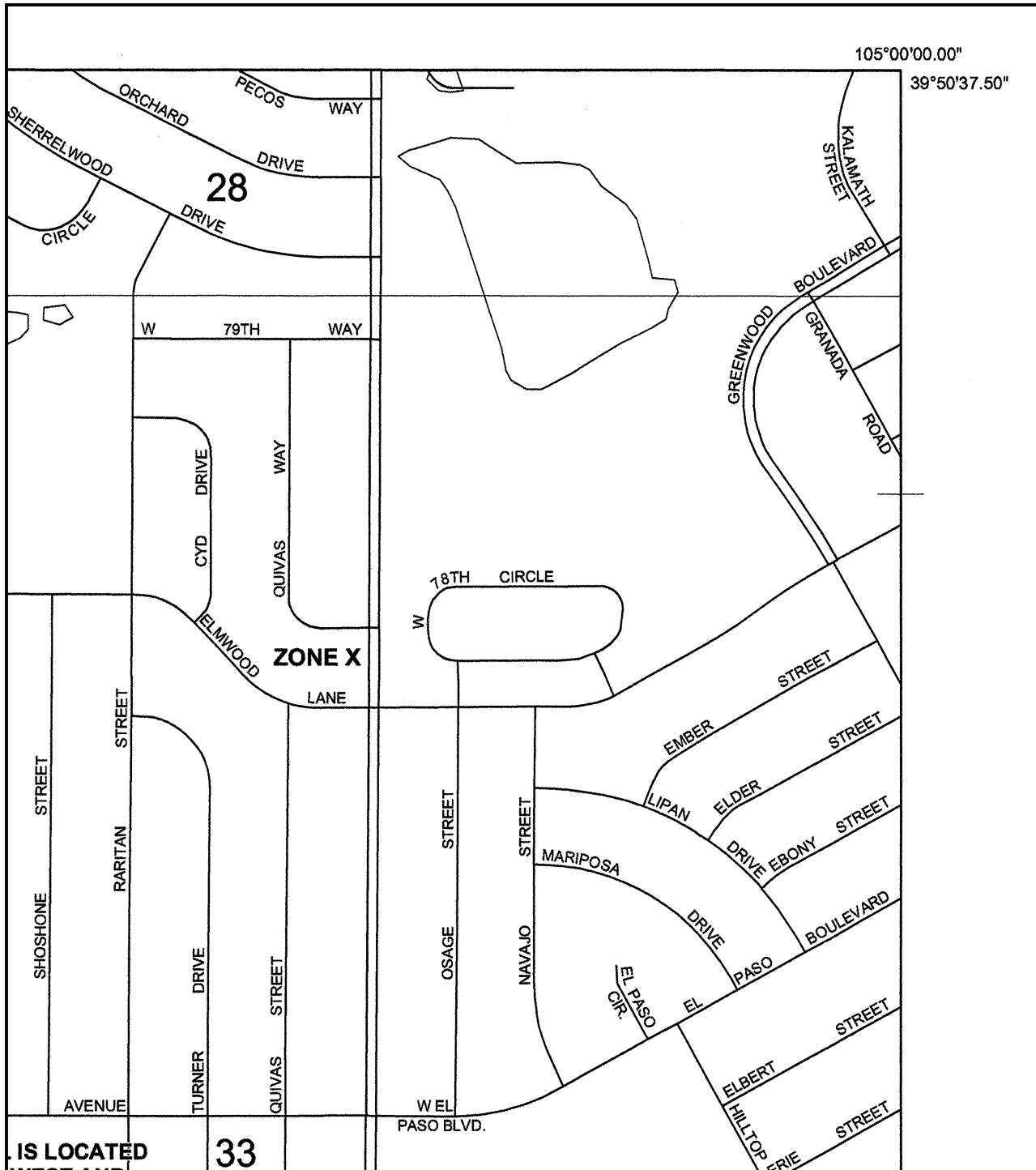


PROJECT: 7840 PECOS STREET
VICINITY MAP
DATE: 12/13/2019



CORE
CONSULTANTS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.702.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



MAP SCALE 1" = 500'



FIRM
FLOOD INSURANCE RATE MAP
ADAMS COUNTY,
COLORADO
AND INCORPORATED AREAS

ANEL 584 OF 1150

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ADAMS COUNTY	080001	0584	H

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
08001C0584H

MAP REVISED
MARCH 5, 2007

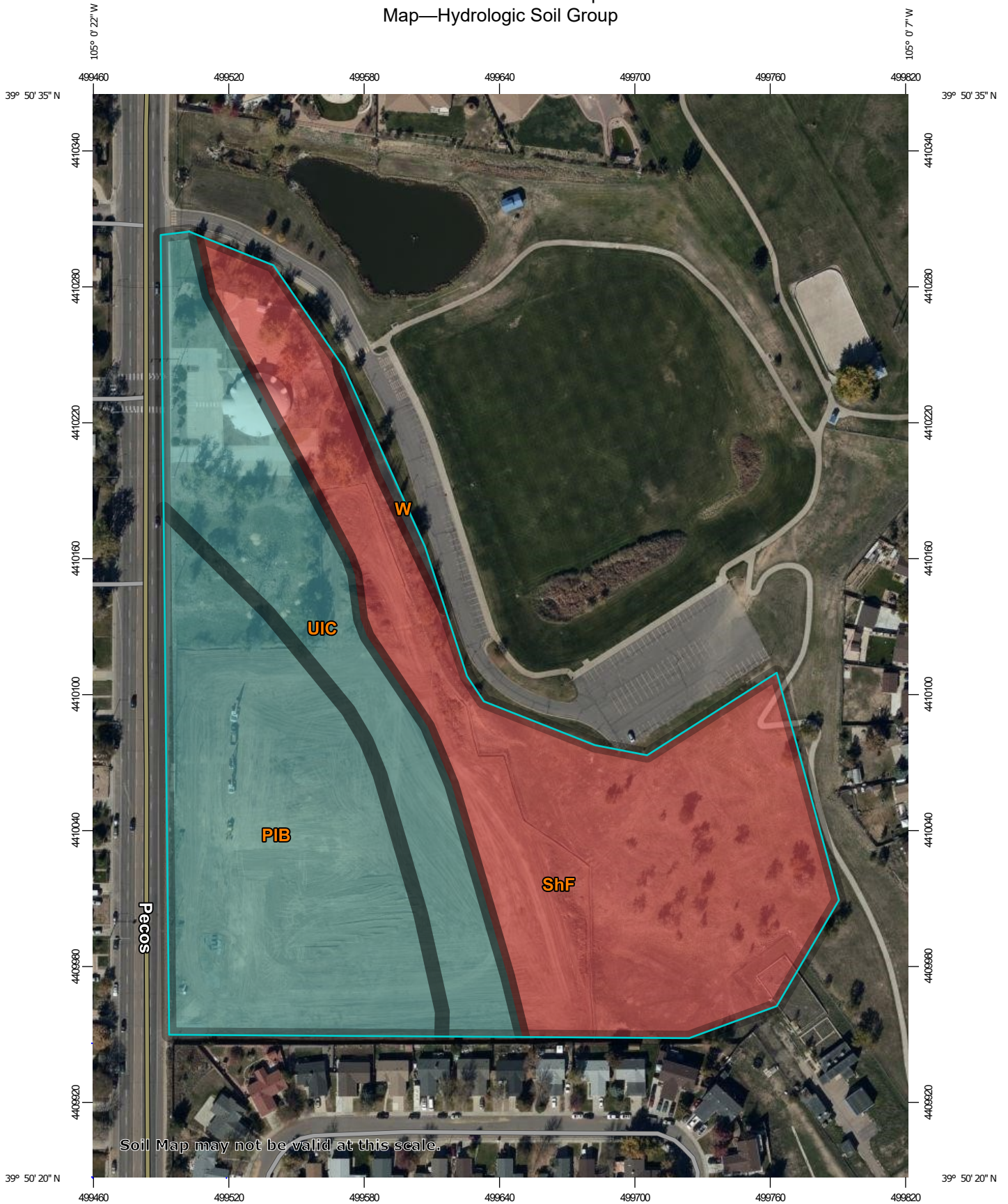
Federal Emergency Management Agency

IS LOCATED

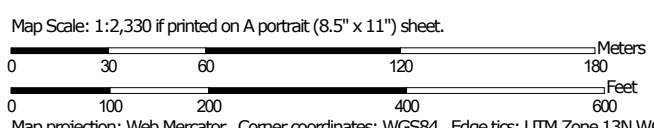
33

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Custom Soil Resource Report Map—Hydrologic Soil Group




Soil Map may not be valid at this scale.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84

MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Lines


-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Points






-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available


Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado
 Survey Area Data: Version 16, Sep 12, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 20, 2018—Oct 26, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background

Table—Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
PIB	Platner loam, 0 to 3 percent slopes	C	4.7	31.5%
ShF	Samsil-Shingle complex, 3 to 35 percent slopes	D	6.8	45.7%
UIC	Ulm loam, 3 to 5 percent slopes	C	3.3	22.3%
W	Water		0.1	0.6%
Totals for Area of Interest			15.0	100.0%

Rating Options—Hydrologic Soil Group

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

PROJECT NAME

CORE Project #: 19-165

Prepared By: JRS

COMPOSITE BASIN - WEIGHTED "C" CALCULATIONS

-REFERENCE UDFCD Vol.1 RUNOFF Table 6-3

		Residential				Lawns							
		Single Family			Multi-Unit	Roof	Streets: Paved	Gravel	Clay Soil		Historic	Total	Percent
		0.25 acres	6 DU's/Ac	N/A	Townhomes				2-7% Slope	>7% Slope		Area	Impervious
% Imperv.	Design	45.00%	48.00%	50.00%	70.00%	90.00%	100.00%	40.00%	2.00%	2.00%	2.00%		
BASIN	Point	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area
EA-1	EA	-	-	-	0.38	-	-	-	-	-	-	0.38	70.0%
EA-2	EB	-	-	-	3.02	-	-	-	-	-	-	3.02	70.0%
B	2	-	0.86	-	-	-	-	-	-	-	-	0.86	48.0%
C	3	-	1.43	-	-	-	-	-	-	-	-	1.43	48.0%
D	4	-	2.17	-	-	-	-	-	-	-	-	2.17	48.0%
E	5	-	0.53	-	-	-	-	-	-	-	-	0.53	48.0%
H	8	-	0.68	-	-	-	-	-	-	-	-	0.68	48.0%
		-	-	-	-	-	-	-	-	-	-	-	
		-	-	-	-	-	-	-	-	-	-	-	
TOTAL		0.00	5.68	0.00	3.40	0.00	0.00	0.00	0.00	0.00	0.00	9.08	56.2%

PROJECT NAME

CORE Project #: 19-165

Prepared By: JRS

COMPOSITE DEVELOPED BASIN -WEIGHTED "C" CALCULATIONS

-REFERENCE UDFCD Vol.1 RUNOFF Table 6-4

i = % imperviousness/100 expressed as a decimal

C_A = Runoff coefficient for NRCS HSG A soils

C_B = Runoff coefficient for NRCS HSG B soils

C_{CD} = Runoff coefficient for NRCS HSG C and D soils.

Natural Resource Conservation Service (NRCS)

Table 6-4. Runoff coefficient equations based on NRCS soil group and storm return period

NRCS Soil Group	Storm Return Period						
	2-Year	5-Year	10-Year	25-Year	50-Year	100-Year	500-Year
A	$C_A = 0.84i^{1.302}$	$C_A = 0.86i^{1.276}$	$C_A = 0.87i^{1.232}$	$C_A = 0.84i^{1.124}$	$C_A = 0.85i+0.025$	$C_A = 0.78i+0.110$	$C_A = 0.65i+0.254$
B	$C_B = 0.84i^{1.169}$	$C_B = 0.86i^{1.088}$	$C_B = 0.81i+0.057$	$C_B = 0.63i+0.249$	$C_B = 0.56i+0.328$	$C_B = 0.47i+0.426$	$C_B = 0.37i+0.536$
C/D	$C_{C/D} = 0.83i^{1.122}$	$C_{C/D} = 0.82i+0.035$	$C_{C/D} = 0.74i+0.132$	$C_{C/D} = 0.56i+0.319$	$C_{C/D} = 0.49i+0.393$	$C_{C/D} = 0.41i+0.484$	$C_{C/D} = 0.32i+0.588$

Basin ID	% Imperv.	<i>i</i>	Soil Type	Runoff Coefficients, C				Basin Area	Total Area	Weighted Runoff Coefficients, C			
				2-Year	5-Year	10-Year	100-Year			2-Year	5-Year	10-Year	100-Year
EA-1	70.0%	0.70	A	0.53	0.55	0.56	0.66	0.38	0.38	0.56	0.61	0.65	0.77
			B	0.55	0.58	0.62	0.76						
			C or D	0.56	0.61	0.65	0.77						
EA-2	70.0%	0.70	A	0.53	0.55	0.56	0.66	3.02	3.02	0.56	0.61	0.65	0.77
			B	0.55	0.58	0.62	0.76						
			C or D	0.56	0.61	0.65	0.77						
B	48.0%	0.48	A	0.32	0.34	0.35	0.48	0.86	0.86	0.36	0.43	0.49	0.68
			B	0.36	0.39	0.45	0.65						
			C or D	0.36	0.43	0.49	0.68						
C	48.0%	0.48	A	0.32	0.34	0.35	0.48	1.43	1.43	0.36	0.43	0.49	0.68
			B	0.36	0.39	0.45	0.65						
			C or D	0.36	0.43	0.49	0.68						
D	48.0%	0.48	A	0.32	0.34	0.35	0.48	2.17	2.17	0.36	0.43	0.49	0.68
			B	0.36	0.39	0.45	0.65						
			C or D	0.36	0.43	0.49	0.68						
E	48.0%	0.48	A	0.32	0.34	0.35	0.48	0.53	0.53	0.36	0.43	0.49	0.68
			B	0.36	0.39	0.45	0.65						
			C or D	0.36	0.43	0.49	0.68						
H	48.0%	0.48	A	0.32	0.34	0.35	0.48	0.68	0.68	0.36	0.43	0.49	0.68
			B	0.36	0.39	0.45	0.65						
			C or D	0.36	0.43	0.49	0.68						
									-	-	-	-	
										-	-	-	-

PROJECT NAME

CORE Project #: 19-165

Prepared By: JRS

RATIONAL METHOD PEAK RUNOFF

5-Year STORM Rainfall Depth-Duration-Frequency (1-hr) = 1.42

SF-3

-REFERENCE UDFCD Vol.1 EQ 5-1 & EQ 6-1

BASIN INFORMATON				DIRECT RUNOFF			
DESIGN POINT	DRAIN BASIN	AREA ac.	5yr Runoff COEFF	T(c) min	C x A	I in/hr	Q cfs
EA	EA-1	0.38	0.61	11.7	0.23	3.60	0.8
EB	EA-2	3.02	0.61	8.8	1.84	4.03	7.4
2	B	0.86	0.43	9.1	0.37	3.98	1.5
3	C	1.43	0.43	10.9	0.61	3.71	2.3
4	D	2.17	0.43	14.0	0.93	3.33	3.1
5	E	0.53	0.43	8.8	0.23	4.04	0.9
8	H	0.68	0.43	10.2	0.29	3.81	1.1

PROJECT NAME

CORE Project #: 19-165

Prepared By: JRS

RATIONAL METHOD PEAK RUNOFF

100-YR STORM

SF-3 Rainfall Depth-Duration-Frequency (1-hr) = 2.71

-REFERENCE UDFCD Vol.1 EQ 5-1 & EQ 6-1

BASIN INFORMATON				DIRECT RUNOFF			
DESIGN POINT	DRAIN BASIN	AREA ac.	100yr RUNOFF COEFF C	T(c) min	C x A	I in/hr	Q cfs
EA	EA-1	0.38	0.77	11.71	0.29	6.87	2.01
EB	EA-2	3.02	0.77	8.85	2.33	7.68	17.89
2	B	0.86	0.68	9.11	0.59	7.60	4.45
3	C	1.43	0.68	10.93	0.98	7.07	6.90
4	D	2.17	0.68	14.03	1.48	6.35	9.38
5	E	0.53	0.68	8.78	0.36	7.70	2.79
8	H	0.68	0.68	10.20	0.46	7.27	3.37

APPENDIX B

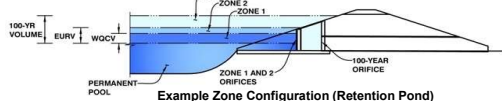
HYDRAULIC CALCULATIONS

DETENTION BASIN STAGE-STORAGE TABLE BUILDER

MHFD-Detention, Version 4.00 (December 2019)

Project: **Sherrilwood Village + Elmwood Estates**

Basin ID: **Overall Site - All Tributary Basins**



Watershed Information

Selected BMP Type =	EDB	
Watershed Area =	9.08	acres
Watershed Length =	1,500	ft
Watershed Length to Centroid =	750	ft
Watershed Slope =	0.020	ft/ft
Watershed Imperviousness =	56.20%	percent
Percentage Hydrologic Soil Group A =	0.0%	percent
Percentage Hydrologic Soil Group B =	0.0%	percent
Percentage Hydrologic Soil Groups C/D =	100.0%	percent
Target WQCV Drain Time =	40.0	hours
Location for 1-hr Rainfall Depths =	Denver - Capitol Building	

After providing required inputs above including 1-hour rainfall depths, click "Run CUHP" to generate runoff hydrographs using the embedded Colorado Urban Hydrograph Procedure.

Optional User Overrides

Water Quality Capture Volume (WQCV) =	0.170	acre-feet	
Excess Urban Runoff Volume (EURV) =	0.487	acre-feet	
2-yr Runoff Volume (P1 = 1 in.) =	0.418	acre-feet	1.00
5-yr Runoff Volume (P1 = 1.42 in.) =	0.713	acre-feet	1.42
10-yr Runoff Volume (P1 = 1.68 in.) =	0.909	acre-feet	1.68
25-yr Runoff Volume (P1 = 2.35 in.) =	1.459	acre-feet	2.35
50-yr Runoff Volume (P1 = 2.5 in.) =	1.579	acre-feet	2.50
100-yr Runoff Volume (P1 = 2.71 in.) =	1.769	acre-feet	2.71
500-yr Runoff Volume (P1 = 3.14 in.) =	2.114	acre-feet	
Approximate 2-yr Detention Volume =	0.364	acre-feet	
Approximate 5-yr Detention Volume =	0.596	acre-feet	
Approximate 10-yr Detention Volume =	0.690	acre-feet	
Approximate 25-yr Detention Volume =	0.907	acre-feet	
Approximate 50-yr Detention Volume =	0.886	acre-feet	
Approximate 100-yr Detention Volume =	0.958	acre-feet	

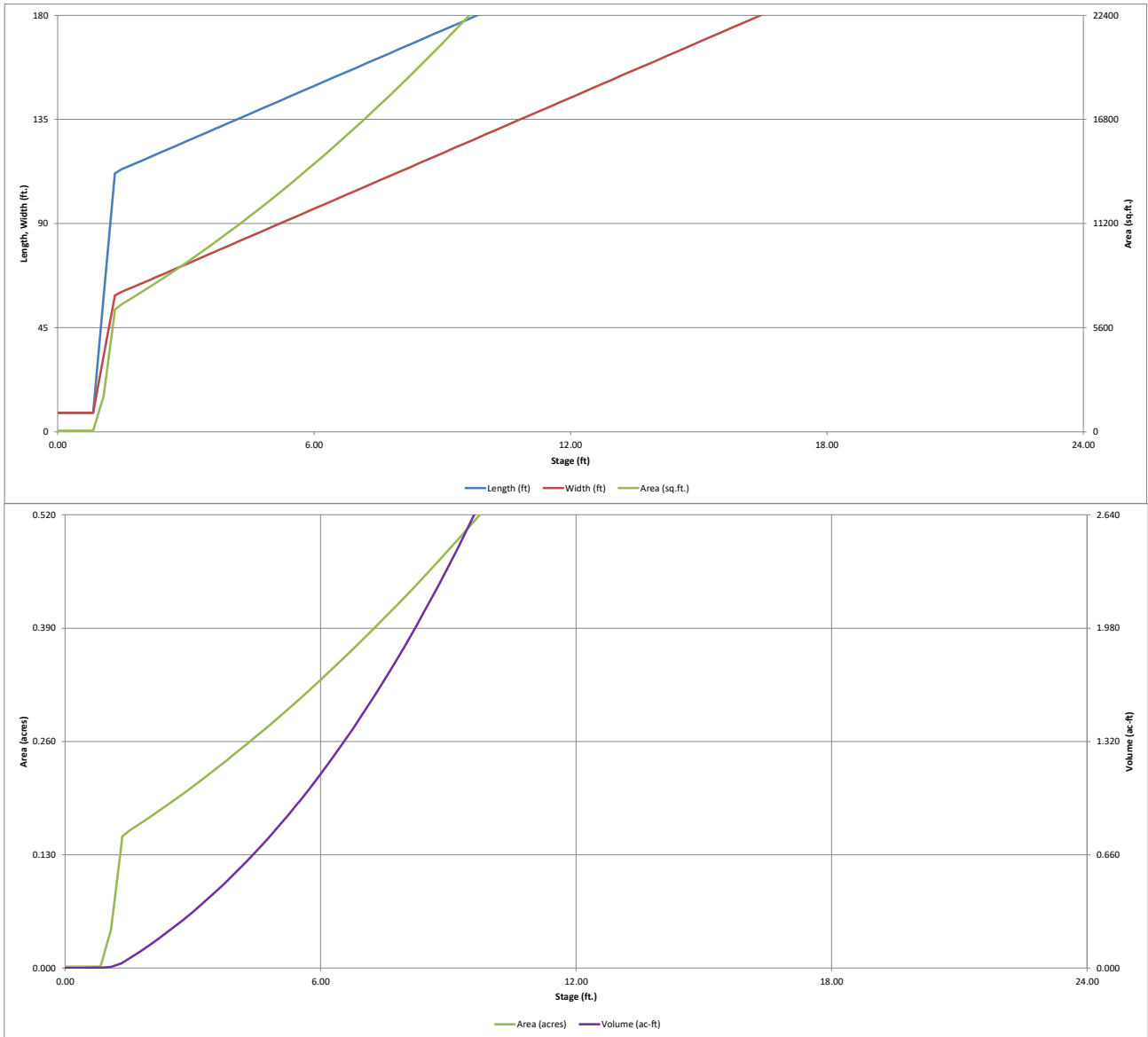
Define Zones and Basin Geometry

Zone 1 Volume (WQCV) =	0.170	acre-feet
Zone 2 Volume (EURV - Zone 1) =	0.318	acre-feet
Zone 3 Volume (100-year - Zones 1 & 2) =	0.471	acre-feet
Total Detention Basin Volume =	0.958	acre-feet
Initial Surcharge Volume (ISV) =	22	ft ³
Initial Surcharge Depth (ISD) =	0.33	ft
Total Available Detention Depth (H _{total}) =	5.50	ft
Depth of Trickle Channel (H _{TC}) =	0.50	ft
Slope of Trickle Channel (S _{TC}) =	0.005	ft/ft
Slopes of Main Basin Sides (S _{main}) =	4	H:V
Basin Length-to-Width Ratio (L _{LW}) =	2	
Initial Surcharge Area (A _{ISV}) =	67	ft ²
Surcharge Volume Length (L _{ISV}) =	8.2	ft
Surcharge Volume Width (W _{ISV}) =	8.2	ft
Depth of Basin Floor (H _{FLOOR}) =	0.51	ft
Length of Basin Floor (L _{FLOOR}) =	112.2	ft
Width of Basin Floor (W _{FLOOR}) =	59.2	ft
Area of Basin Floor (A _{FLOOR}) =	6,637	ft ²
Volume of Basin Floor (V _{FLOOR}) =	1,253	ft ³
Depth of Main Basin (H _{MAIN}) =	4.16	ft
Length of Main Basin (L _{MAIN}) =	145.5	ft
Width of Main Basin (W _{MAIN}) =	92.4	ft
Area of Main Basin (A _{MAIN}) =	13,442	ft ²
Volume of Main Basin (V _{MAIN}) =	40,910	ft ³
Calculated Total Basin Volume (V _{total}) =	0.969	acre-feet

Stage - Storage Description	Stage (ft)	Optional Override Stage (ft)	Length (ft)	Width (ft)	Area (ft ²)	Optional Override Area (ft ²)	Area (acre)	Volume (ft ³)	Volume (ac-ft)
Top of Micropool	0.00		8.2	8.2	67		0.002		
	0.33		8.2	8.2	67		0.002	22	0.001
	0.58		8.2	8.2	67		0.002	39	0.001
	0.83		8.2	8.2	67		0.002	55	0.001
	1.08		58.5	32.9	1,924		0.044	250	0.006
	1.33		109.5	57.9	6,338		0.145	1,230	0.028
Floor	1.50		111.6	58.9	6,567		0.151	1,294	0.030
	1.50		113.5	60.4	6,854		0.157	2,373	0.054
	1.75		115.5	62.4	7,206		0.165	4,130	0.095
	2.00		117.5	64.4	7,565		0.174	5,976	0.137
Zone 1 (WQCV)	2.19		119.0	65.9	7,844		0.180	7,440	0.171
	2.25		119.5	66.4	7,933		0.182	7,913	0.182
	2.50		121.5	68.4	8,309		0.191	9,943	0.228
	2.75		123.5	70.4	8,693		0.200	12,068	0.277
	3.00		125.5	72.4	9,084		0.209	14,290	0.328
	3.25		127.5	74.4	9,484		0.218	16,611	0.381
	3.50		129.5	76.4	9,892		0.227	19,033	0.437
Zone 2 (EURV)	3.72		131.2	78.2	10,257		0.235	21,249	0.488
	3.75		131.5	78.4	10,307		0.237	21,558	0.495
	4.00		133.5	80.4	10,731		0.246	24,187	0.555
	4.25		135.5	82.4	11,163		0.256	26,924	0.618
	4.50		137.5	84.4	11,603		0.266	29,769	0.683
	4.75		139.5	86.4	12,050		0.277	32,726	0.751
	5.00		141.5	88.4	12,506		0.287	35,795	0.822
	5.25		143.5	90.4	12,970		0.298	38,980	0.895
Zone 3 (100-year)	5.47		145.2	92.2	13,385		0.307	41,879	0.961
	5.50		145.5	92.4	13,442		0.309	42,281	0.971
	5.75		147.5	94.4	13,921		0.320	45,701	1.049
	6.00		149.5	96.4	14,409		0.331	49,242	1.130
	6.25		151.5	98.4	14,905		0.342	52,906	1.215
	6.50		153.5	100.4	15,408		0.354	56,695	1.302
	6.75		155.5	102.4	15,920		0.365	60,611	1.391
	7.00		157.5	104.4	16,440		0.377	64,656	1.484
	7.25		159.5	106.4	16,968		0.390	68,832	1.580
	7.50		161.5	108.4	17,503		0.402	73,141	1.679
	7.75		163.5	110.4	18,047		0.414	77,584	1.781
	8.00		165.5	112.4	18,599		0.427	82,165	1.886
	8.25		167.5	114.4	19,159		0.440	86,884	1.995
	8.50		169.5	116.4	19,726		0.453	91,745	2.106
	8.75		171.5	118.4	20,302		0.466	96,748	2.221
	9.00		173.5	120.4	20,886		0.479	101,896	2.339
	9.25		175.5	122.4	21,478		0.493	107,192	2.461
	9.50		177.5	124.4	22,077		0.507	112,636	2.586
	9.75		179.5	126.4	22,685		0.521	118,231	2.714
	10.00		181.5	128.4	23,301		0.535	123,979	2.846
	10.25		183.5	130.4	23,924		0.549	129,882	2.982
	10.50		185.5	132.4	24,556		0.564	135,942	3.121
	10.75		187.5	134.4	25,196		0.578	142,161	3.264
	11.00		189.5	136.4	25,844		0.593	148,541	3.410
	11.25		191.5	138.4	26,499		0.608	155,083	3.560
	11.50		193.5	140.4	27,163		0.624	161,791	3.714
	11.75		195.5	142.4	27,835		0.639	168,665	3.872
	12.00		197.5	144.4	28,515		0.655	175,709	4.034
	12.25		199.5	146.4	29,202		0.670	182,923	4.199
	12.50		201.5	148.4	29,898		0.686	190,311	4.369
	12.75		203.5	150.4	30,602		0.703	197,873	4.543
	13.00		205.5	152.4	31,313		0.719	205,614	4.720
	13.25		207.5	154.4	32,033		0.735	213,530	4.902
	13.50		209.5	156.4	32,761		0.752	221,630	5.088
	13.75		211.5	158.4	33,497		0.769	229,912	5.278
	14.00		213.5	160.4	34,240		0.786	238,379	5.472
	14.25		215.5	162.4	34,992		0.803	247,032	5.671
	14.50		217.5	164.4	35,752		0.821	255,875	5.874
	14.75		219.5	166.4	36,520		0.838	264,909	6.081
	15.00		221.5	168.4	37,295		0.856	274,136	6.293
	15.25		223.5	170.4	38,079		0.874	283,557	6.510
	15.50		225.5	172.4	38,871		0.892	293,176	6.730
	15.75		227.5	174.4	39,670		0.911	302,993	6.956
	16.00		229.5	176.4	40,478		0.929	313,012	7.186
	16.25		231.5	178.4	41,294		0.948	323,233	7.420
	16.50		233.5	180.4	42,118		0.967	333,659	7.660
	16.75		235.5	182.4	42,949		0.986	344,293	7.904
	17.00		237.5	184.4	43,789		1.005	355,135	8.153
	17.25		239.5	186.4	44,637		1.025	366,188	8.407
	17.50		241.5	188.4	45,493		1.044	377,454	8.665
	17.75		243.5	190.4	46,356		1.064	388,935	8.929
	18.00		245.5	192.4	47,228		1.084	400,633	9.197
	18.25		247.5	194.4	48,108		1.104	412,549	9.471
	18.50		249.5	196.4	48,995		1.125	424,687	9.749
	18.75		251.5	198.4	49,891		1.145	437,048	10.033
	19.00		253.5	200.4	50,795		1.166	449,634	10.322
	19.25		255.5	202.4	51,707		1.187	462,446	10.616
	19.50		257.5	204.4	52,626		1.208	475,488	10.916
	19.75		259.5	206.4	53,554		1.229	488,760	11.220
	20.00		261.5	208.4	54,490		1.251	502,265	11.530
	20.25		263.5	210.4	55,434		1.273	516,006	11.846
	20.50		265.5	212.4	56,385		1.294	529,983	12.167
	20.75		267.5	214.4	57,345		1.316	544,199	12.493
	21.00		269.5	216.4	58,313		1.339	558,656	12.825
	21.25		271.5	218.4	59,289		1.361	573,356	13.162
	21.50		273.5	220.4	60,272		1.384	588,301	13.506
	21.75		275.5	222.4	61,2				

DETENTION BASIN STAGE-STORAGE TABLE BUILDER

MHFD-Detention, Version 4.00 (December 2019)



78th Pecos Ex. Pond Modification

<u>POND CALCULATIONS</u>				
Tributary Area, A (acres) =		9.08		
Water Quality Capture Volume (acre-ft) =		0.170		
Excess Urban Runoff Volume (acre-ft) =		0.488		
100 year Volume plus WQCV (acre-ft) =		0.958		
Prismoidal Method				
Elevation	Area (ft²)	Volume (ft³)	Volume_{sum} (ft³)	Volume_{sum} (Ac-ft)
5318.0	50	0	0	0.000
5319.0	1,275	526	526	0.012
5320.0	12,077	5,759	6,284	0.144
5321.0	14,256	13,151	19,436	0.446
5322.0	16,615	15,420	34,856	0.800
5323.0	19,181	17,882	52,739	1.211
5324.0	21,951	20,550	73,289	1.682
5325.0		7,317	80,606	1.850
Water Quality Capture Volume Elevation (ft) =		5320.19		
WQCV Depth (ft) =		2.19		
Excess Urban Runoff Volume Elevation (ft) =		5321.12		
Excess Urban Runoff Depth (ft) =		3.12		
100 year Elevation (ft) =		5322.38		
100 year Depth (ft) =		4.38		
Top Emergency Overflow Elevation (ft) =		5323.38		

Channel Report

Navajo Street Capacity

User-defined

Invert Elev (ft) = 99.54
Slope (%) = 2.00
N-Value = 0.013

Highlighted

Depth (ft) = 0.41
Q (cfs) = 9.700
Area (sqft) = 2.39
Velocity (ft/s) = 4.06
Wetted Perim (ft) = 18.63
Crit Depth, Yc (ft) = 0.49
Top Width (ft) = 18.53
EGL (ft) = 0.67

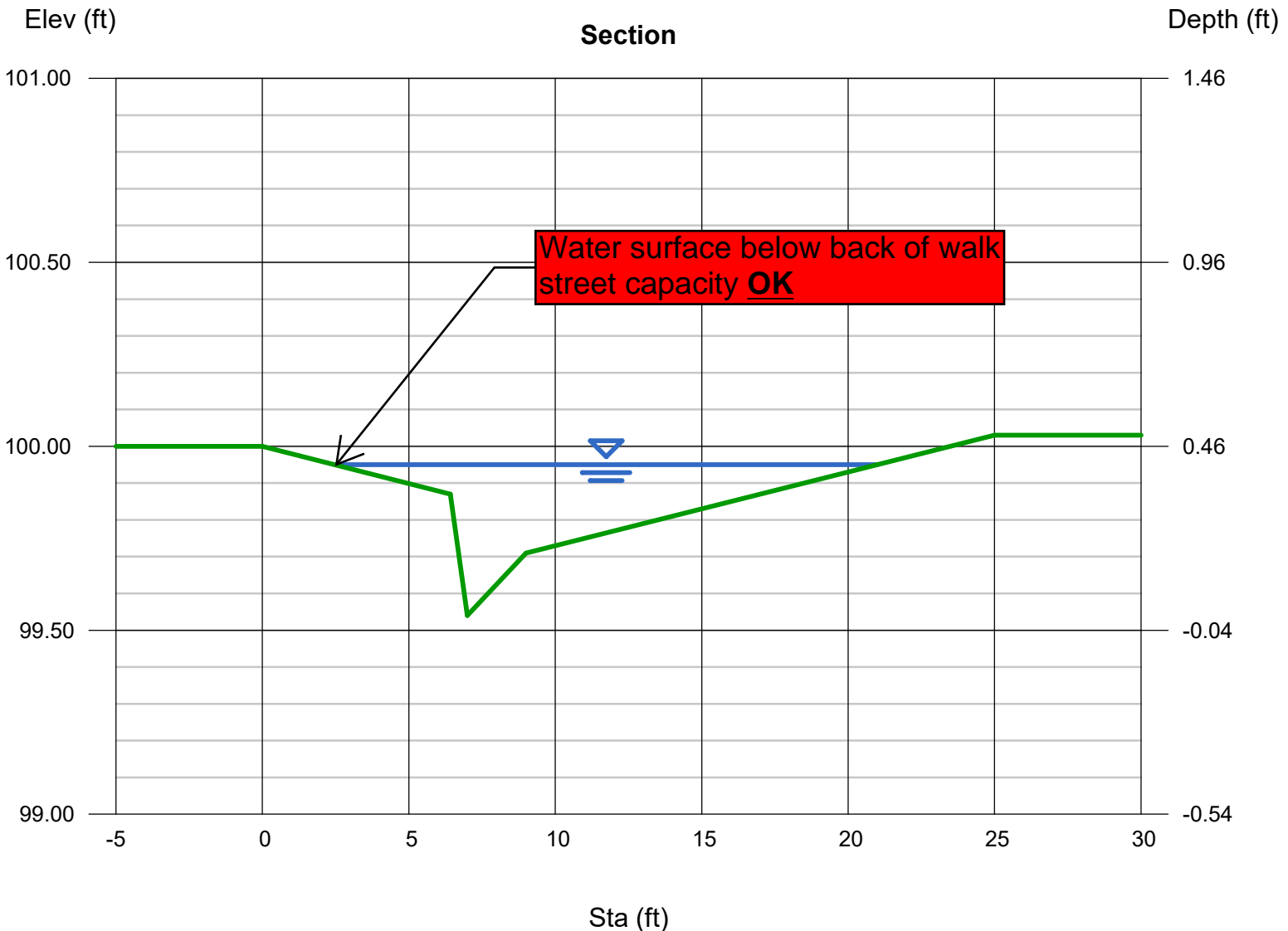
Calculations

Compute by: Known Q
Known Q (cfs) = 9.70

(Sta, El, n)-(Sta, El, n)...

(0.00, 100.00)-(6.42, 99.87, 0.013)-(7.00, 99.54, 0.013)-(9.00, 99.71, 0.013)-(25.00, 100.03, 0.013)

Sub-Basins:
EA-1 + EA-2 + B = 9.7 cfs (5-yr)



Channel Report

Navajo Street Capacity - 100-YR

0.51' - 0.33' = 0.18' above back of walk

User-defined

Invert Elev (ft) = 99.54
 Slope (%) = 2.00
 N-Value = 0.013

Highlighted

Depth (ft) = 0.51
 Q (cfs) = 24.35
 Area (sqft) = 4.67
 Velocity (ft/s) = 5.22
 Wetted Perim (ft) = 25.17
 Crit Depth, Yc (ft) = 0.64
 Top Width (ft) = 25.00
 EGL (ft) = 0.93

Calculations

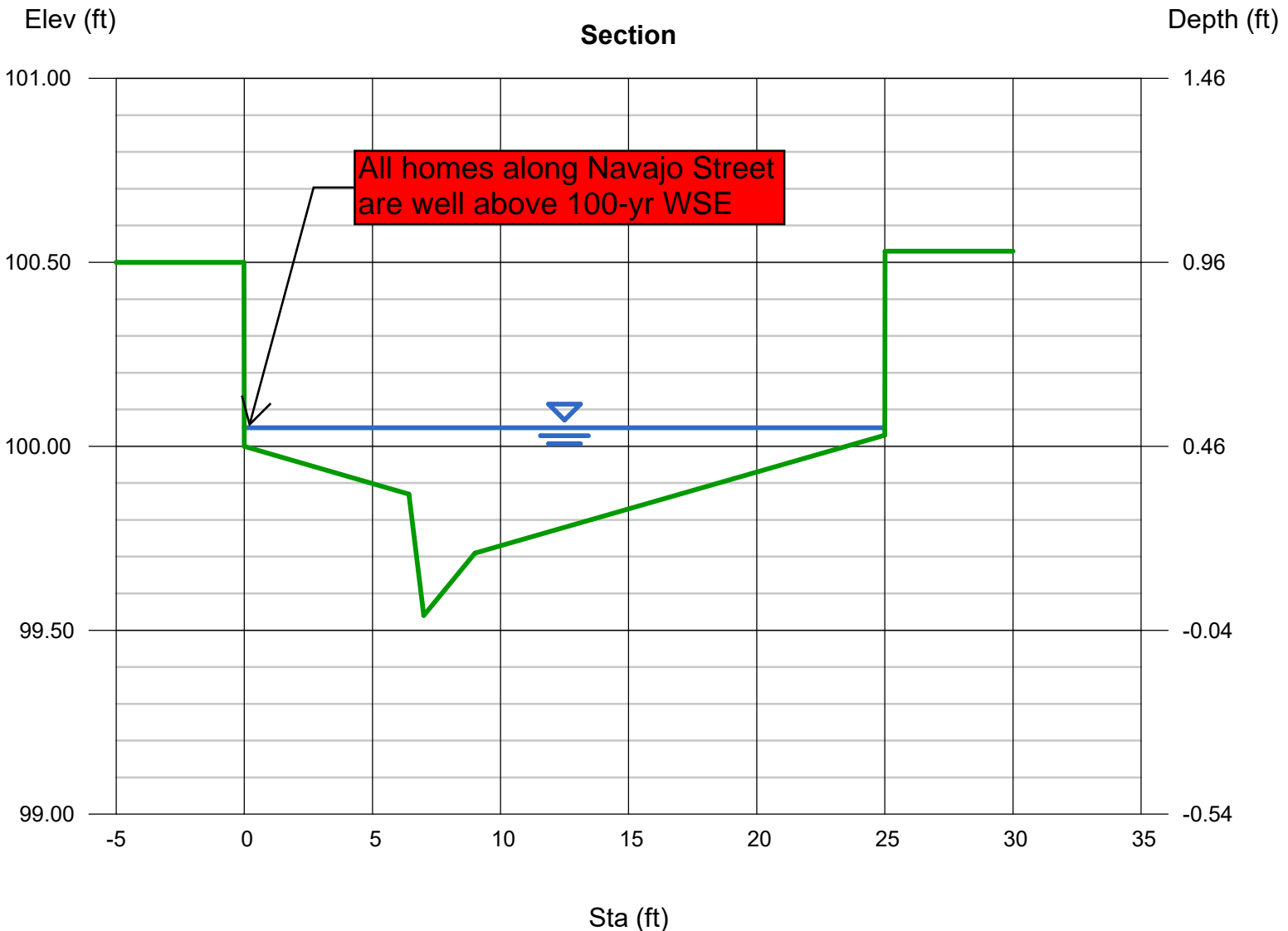
Compute by: Known Q
 Known Q (cfs) = 24.35

(Sta, El, n)-(Sta, El, n)...

(-0.01, 100.50)-(6.42, 99.87, 0.013)-(7.00, 99.54, 0.013)-(9.00, 99.71, 0.013)-(25.00, 100.03, 0.013)-(25.01, 100.53, 0.013)

Sub-Basins:

EA-1 + EA-2 + B = 24.35 cfs
 (100-yr)



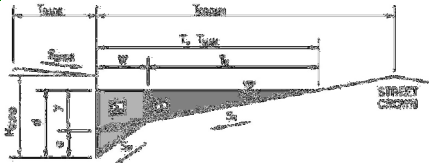
APPENDIX C

REFERENCE INFORMATION

ALLOWABLE CAPACITY FOR ONE-HALF OF STREET (Minor & Major Storm)

(Based on Regulated Criteria for Maximum Allowable Flow Depth and Spread)

Project: 78TH & PECOS
 Inlet ID: BASIN A&B

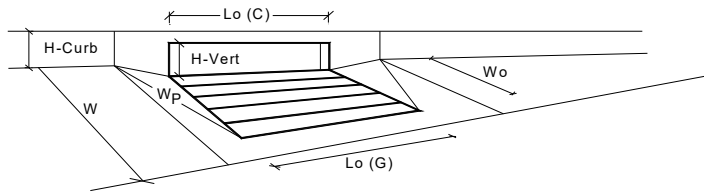


Existing DP-2

Gutter Geometry (Enter data in the blue cells)																	
Maximum Allowable Width for Spread Behind Curb	T _{BACK} = <input style="width: 50px;" type="text" value="6.0"/> ft																
Side Slope Behind Curb (leave blank for no conveyance credit behind curb)	S _{BACK} = <input style="width: 50px;" type="text" value="0.020"/> ft/ft																
Manning's Roughness Behind Curb (typically between 0.012 and 0.020)	n _{BACK} = <input style="width: 50px;" type="text" value="0.012"/>																
Height of Curb at Gutter Flow Line	H _{CURB} = <input style="width: 50px;" type="text" value="4.00"/> inches																
Distance from Curb Face to Street Crown	T _{CROWN} = <input style="width: 50px;" type="text" value="18.0"/> ft																
Gutter Width	W = <input style="width: 50px;" type="text" value="2.00"/> ft																
Street Transverse Slope	S _X = <input style="width: 50px;" type="text" value="0.020"/> ft/ft																
Gutter Cross Slope (typically 2 inches over 24 inches or 0.083 ft/ft)	S _W = <input style="width: 50px;" type="text" value="0.083"/> ft/ft																
Street Longitudinal Slope - Enter 0 for sump condition	S _O = <input style="width: 50px;" type="text" value="0.000"/> ft/ft																
Manning's Roughness for Street Section (typically between 0.012 and 0.020)	n _{STREET} = <input style="width: 50px;" type="text" value="0.012"/>																
Max. Allowable Spread for Minor & Major Storm	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;"></th> <th style="width: 25%; text-align: center;">Minor Storm</th> <th style="width: 25%; text-align: center;">Major Storm</th> <th style="width: 10%;"></th> </tr> </thead> <tbody> <tr> <td>T_{MAX} =</td> <td style="text-align: center;"><input style="width: 40px;" type="text" value="18.0"/></td> <td style="text-align: center;"><input style="width: 40px;" type="text" value="18.0"/></td> <td style="text-align: right;">ft</td> </tr> <tr> <td>d_{MAX} =</td> <td style="text-align: center;"><input style="width: 40px;" type="text" value="4.0"/></td> <td style="text-align: center;"><input style="width: 40px;" type="text" value="12.0"/></td> <td style="text-align: right;">inches</td> </tr> <tr> <td></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: right;">check = yes</td> </tr> </tbody> </table>		Minor Storm	Major Storm		T _{MAX} =	<input style="width: 40px;" type="text" value="18.0"/>	<input style="width: 40px;" type="text" value="18.0"/>	ft	d _{MAX} =	<input style="width: 40px;" type="text" value="4.0"/>	<input style="width: 40px;" type="text" value="12.0"/>	inches		<input type="checkbox"/>	<input type="checkbox"/>	check = yes
	Minor Storm	Major Storm															
T _{MAX} =	<input style="width: 40px;" type="text" value="18.0"/>	<input style="width: 40px;" type="text" value="18.0"/>	ft														
d _{MAX} =	<input style="width: 40px;" type="text" value="4.0"/>	<input style="width: 40px;" type="text" value="12.0"/>	inches														
	<input type="checkbox"/>	<input type="checkbox"/>	check = yes														
Max. Allowable Depth at Gutter Flowline for Minor & Major Storm																	
Allow Flow Depth at Street Crown (leave blank for no)																	
MINOR STORM Allowable Capacity is based on Depth Criterion																	
MAJOR STORM Allowable Capacity is based on Depth Criterion																	
Q _{allow} =	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;"></th> <th style="width: 25%; text-align: center;">Minor Storm</th> <th style="width: 25%; text-align: center;">Major Storm</th> <th style="width: 10%;"></th> </tr> </thead> <tbody> <tr> <td></td> <td style="text-align: center;"><input style="width: 40px;" type="text" value="SUMP"/></td> <td style="text-align: center;"><input style="width: 40px;" type="text" value="SUMP"/></td> <td style="text-align: right;">cfs</td> </tr> </tbody> </table>		Minor Storm	Major Storm			<input style="width: 40px;" type="text" value="SUMP"/>	<input style="width: 40px;" type="text" value="SUMP"/>	cfs								
	Minor Storm	Major Storm															
	<input style="width: 40px;" type="text" value="SUMP"/>	<input style="width: 40px;" type="text" value="SUMP"/>	cfs														

INLET IN A SUMP OR SAG LOCATION

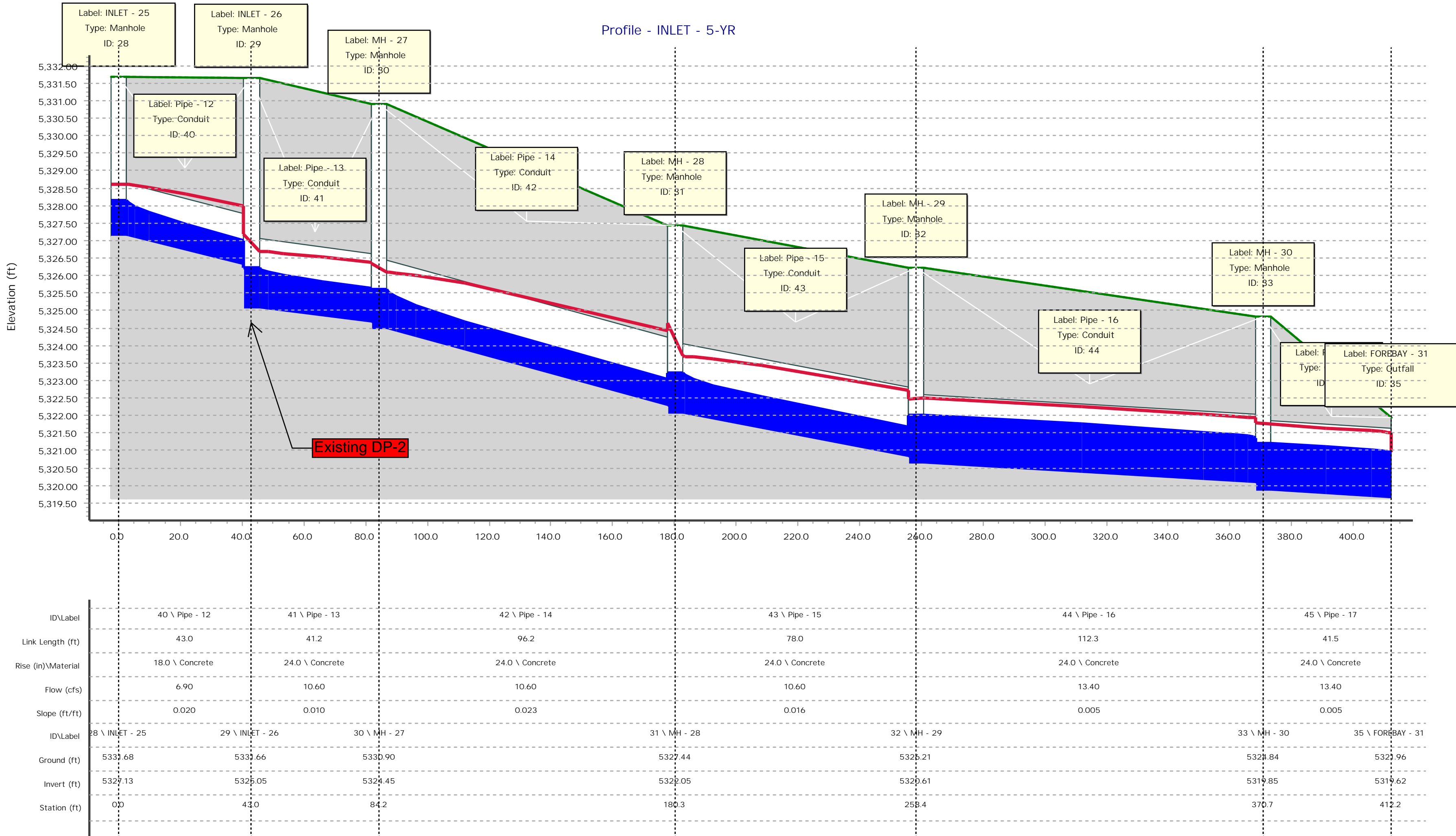
Version 4.04 Released November 2016



Design Information (Input)	CDOT Type R Curb Opening	
Type of Inlet	Type = CDOT Type R Curb Opening	
Local Depression (additional to continuous gutter depression 'a' from 'Q-Allow')	$a_{local} = 5.00$	5.00 inches
Number of Unit Inlets (Grate or Curb Opening)	No = 1	1
Water Depth at Flowline (outside of local depression)	Ponding Depth = 5.2	10.0 inches
Grate Information	MINOR	MAJOR
Length of a Unit Grate	$L_o (G) = N/A$	N/A feet
Width of a Unit Grate	$W_o = N/A$	N/A feet
Area Opening Ratio for a Grate (typical values 0.15-0.90)	$A_{ratio} = N/A$	N/A
Clogging Factor for a Single Grate (typical value 0.50 - 0.70)	$C_r (G) = N/A$	N/A
Grate Weir Coefficient (typical value 2.15 - 3.60)	$C_w (G) = N/A$	N/A
Grate Orifice Coefficient (typical value 0.60 - 0.80)	$C_o (G) = N/A$	N/A
Curb Opening Information	MINOR	MAJOR
Length of a Unit Curb Opening	$L_o (C) = 5.00$	5.00 feet
Height of Vertical Curb Opening in Inches	$H_{vert} = 6.00$	6.00 inches
Height of Curb Orifice Throat in Inches	$H_{throat} = 6.00$	6.00 inches
Angle of Throat (see USDCM Figure ST-5)	Theta = 63.40	63.40 degrees
Side Width for Depression Pan (typically the gutter width of 2 feet)	$W_p = 2.00$	2.00 feet
Clogging Factor for a Single Curb Opening (typical value 0.10)	$C_r (C) = 0.10$	0.10
Curb Opening Weir Coefficient (typical value 2.3-3.7)	$C_w (C) = 3.60$	3.60
Curb Opening Orifice Coefficient (typical value 0.60 - 0.70)	$C_o (C) = 0.67$	0.67
Low Head Performance Reduction (Calculated)	MINOR	MAJOR
Depth for Grate Midwidth	$d_{grate} = N/A$	N/A ft
Depth for Curb Opening Weir Equation	$d_{curb} = 0.27$	0.67 ft
Combination Inlet Performance Reduction Factor for Long Inlets	$RF_{Combination} = 0.67$	1.00
Curb Opening Performance Reduction Factor for Long Inlets	$RF_{Curb} = 1.00$	1.00
Grated Inlet Performance Reduction Factor for Long Inlets	$RF_{Grate} = N/A$	N/A
Total Inlet Interception Capacity (assumes clogged condition)	MINOR	MAJOR
Inlet Capacity IS GOOD for Minor and Major Storms(>Q PEAK)	$Q_a = 3.9$	12.3 cfs
	$Q_{PEAK REQUIRED} = 3.7$	11.1 cfs

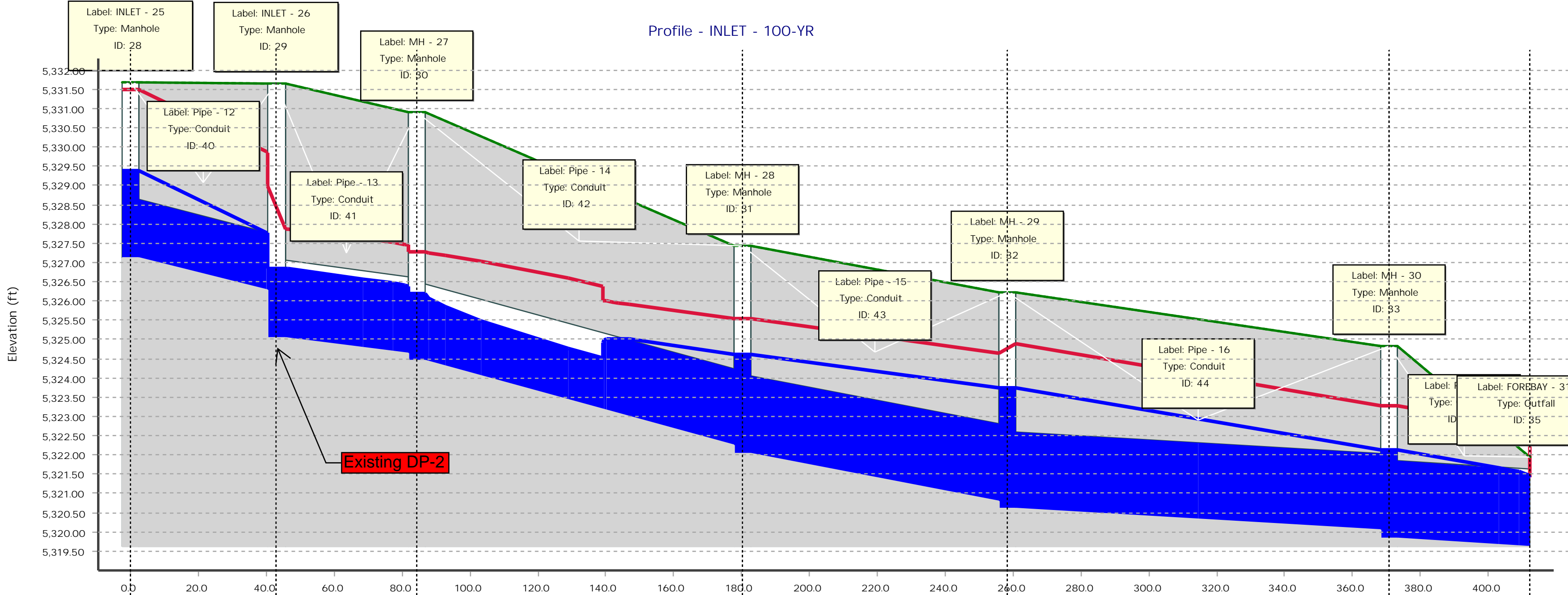
Existing storm pipes were designed for maximum interception

Profile - INLET - 5-YR

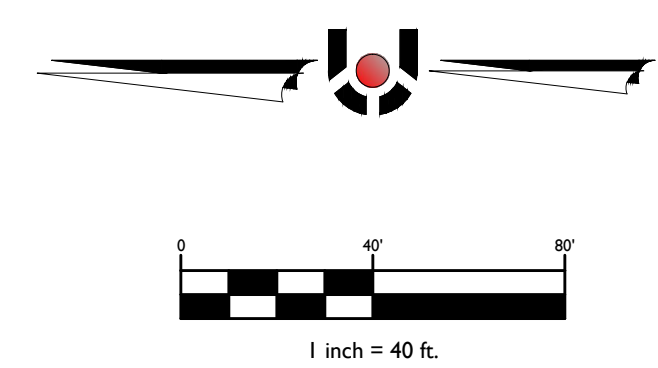
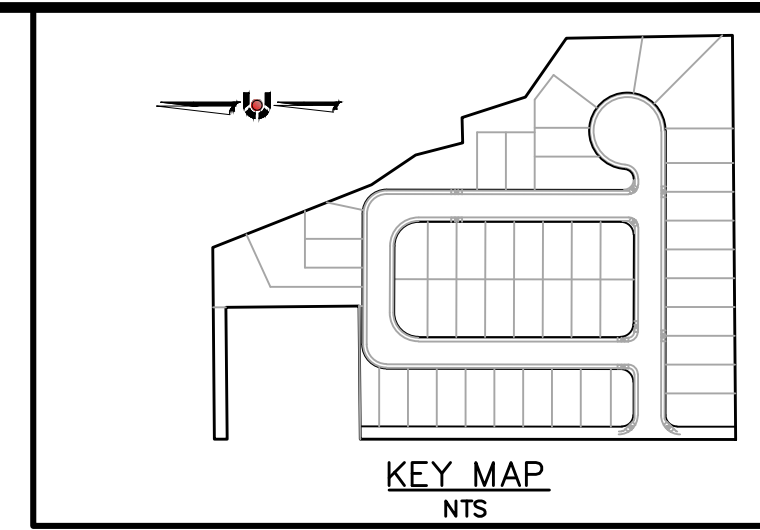


ID\Label	40 \ Pipe - 12	41 \ Pipe - 13	42 \ Pipe - 14	43 \ Pipe - 15	44 \ Pipe - 16	45 \ Pipe - 17	
Link Length (ft)	43.0	41.2	96.2	78.0	112.3	41.5	
Rise (in)\Material	18.0 \ Concrete	24.0 \ Concrete	24.0 \ Concrete	24.0 \ Concrete	24.0 \ Concrete	24.0 \ Concrete	
Flow (cfs)	6.90	10.60	10.60	10.60	13.40	13.40	
Slope (ft/ft)	0.020	0.010	0.023	0.016	0.005	0.005	
ID\Label	28 \ INLET - 25	29 \ INLET - 26	30 \ MH - 27	31 \ MH - 28	32 \ MH - 29	33 \ MH - 30	35 \ FOREBAY - 31
Ground (ft)	5331.68	5331.66	5330.90	5327.44	5325.21	5321.84	5321.96
Invert (ft)	5327.13	5325.05	5324.45	5322.05	5320.61	5319.85	5319.62
Station (ft)	0.0	43.0	84.2	180.3	258.4	370.7	412.2

Profile - INLET - 100-YR



ID\Label	40 \ Pipe - 12		41 \ Pipe - 13		42 \ Pipe - 14		43 \ Pipe - 15		44 \ Pipe - 16		45 \ Pipe - 17			
Link Length (ft)	43.0		41.2		96.2		78.0		112.3		41.5			
Rise (in)\Material	18.0 \ Concrete		24.0 \ Concrete		24.0 \ Concrete		24.0 \ Concrete		24.0 \ Concrete		24.0 \ Concrete			
Flow (cfs)	20.50		24.20		24.20		24.20		27.00		27.00			
Slope (ft/ft)	0.020		0.010		0.023		0.016		0.005		0.005			
ID\Label	28 \ INLET - 25		29 \ INLET - 26		30 \ MH - 27		31 \ MH - 28		32 \ MH - 29		33 \ MH - 30		35 \ FOREBAY - 31	
Ground (ft)	5331.68		5331.66		5330.90		5327.44		5325.21		5321.84		5321.96	
Invert (ft)	5327.13		5325.05		5324.45		5322.05		5320.61		5319.85		5319.62	
Station (ft)	0.0		43.0		84.2		180.3		258.4		370.7		412.2	



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- FLOWLINE W/ TBC
- PROPOSED STORM SEWER
- PROPOSED TYPE R INLET
- PROPOSED FES
- BLOCK NUMBER
- LOT NUMBER
- BASIN DESIGNATION
- 5 YEAR COEFFICIENTS
- 100 YEAR COEFFICIENTS
- BASIN BOUNDARY
- DIRECTIONAL FLOW ARROW
- DESIGN POINT

RUNOFF SUMMARY TABLE

DESIGN POINT	BASIN	AREA (AC)	5-YEAR RUNOFF (CFS)	100-YEAR RUNOFF (CFS)
1	A	0.83	1.6	5.0
2	B	0.86	1.7	5.3
3	C	1.43	2.5	7.4
4	D	2.17	3.8	11.4
5	E	1.51	2.5	7.6
6	F	0.78	1.3	3.8
7	G	0.33	0.6	1.9
8	H	0.32	0.6	1.8
O-1	OS-1	0.99	0.2	2.9
O-2	OS-2	0.69	1.1	3.4

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1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

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811
Know what's below.
Call before you dig.

REVISIONS

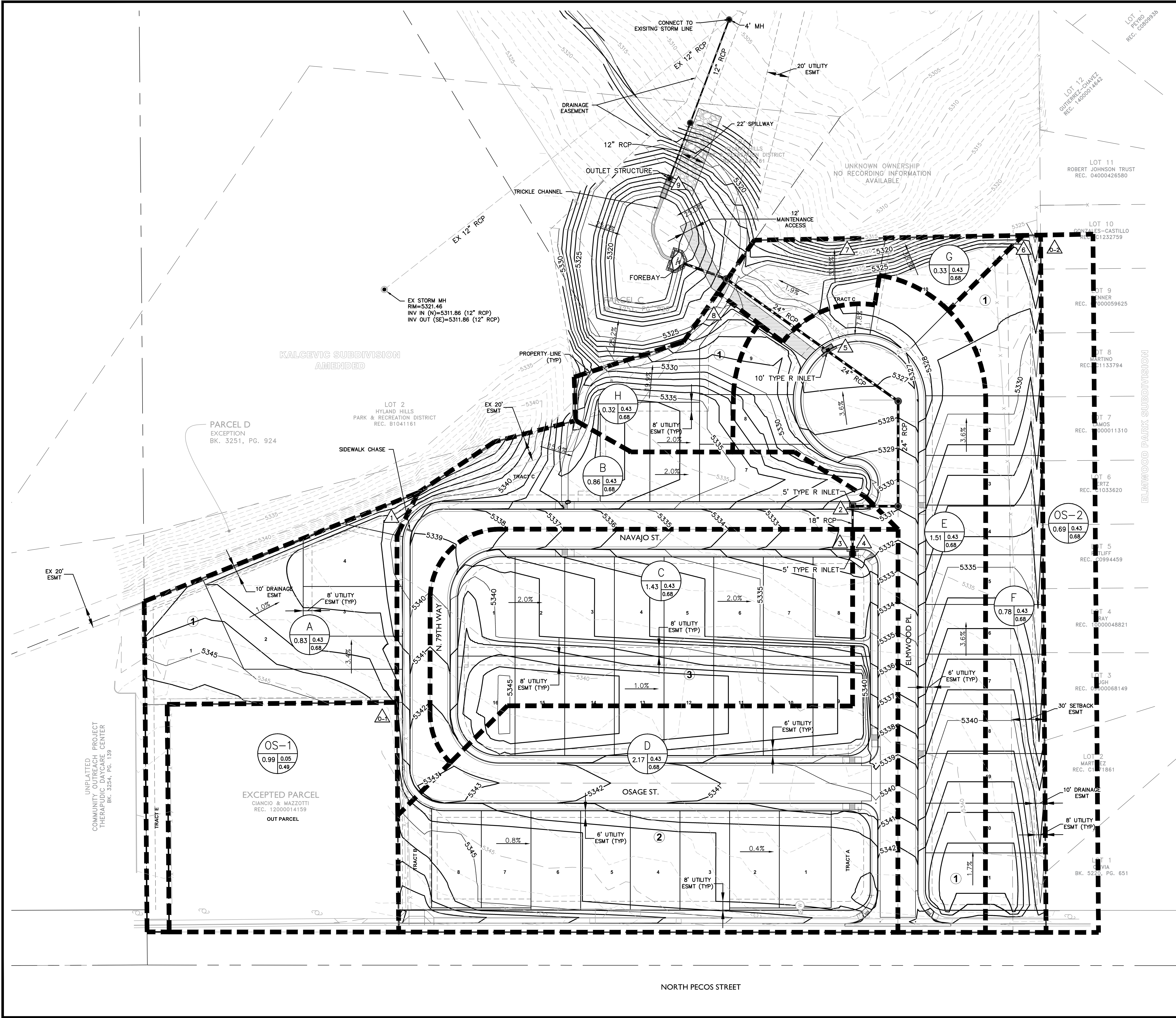
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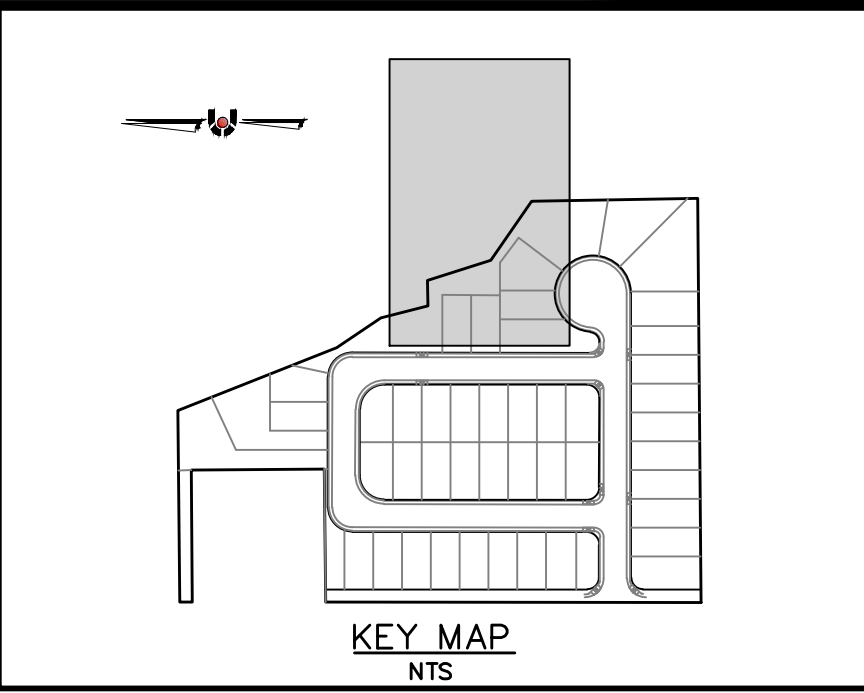
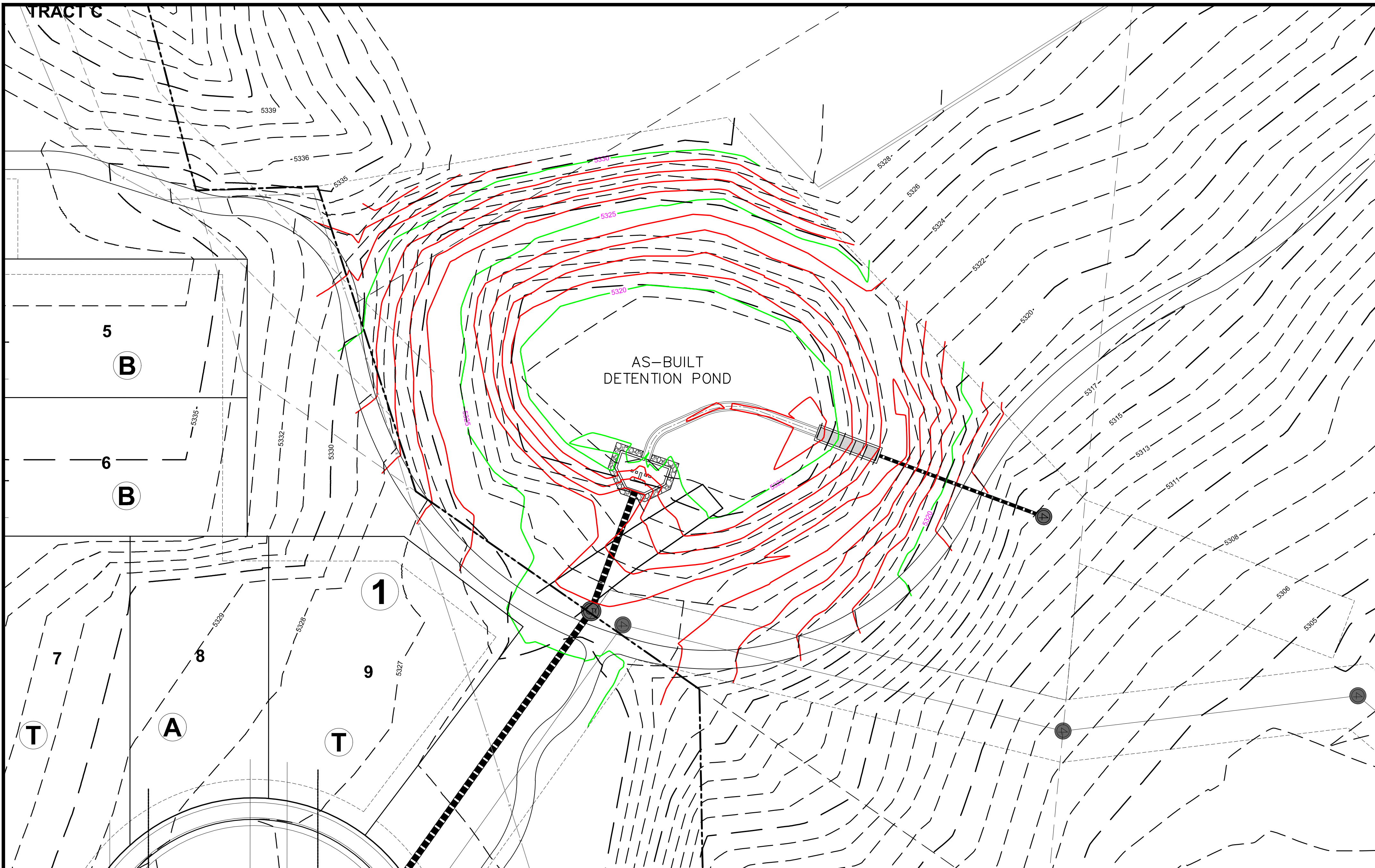
78TH AND PECOS
CONSTRUCTION DOCUMENTS
DRAINAGE PLAN
ADAMS COUNTY, COLORADO

INITIAL PLAN
RELEASE: 5/16/2016
DESIGNED BY: JAF
DRAWN BY: JAF
CHECKED BY: DCF

JOB NO.
15-018

SHEET
1 OF 1





PROPOSED POND VOLUME

POND CALCULATIONS				
Tributary Area A (acres) =	8.23			
Water Quality Capture Volume (acre-ft) =	0.138			
Excess Urban Runoff Volume (acre-ft) =	0.373			
100 year Volume plus WQCV (acre-ft) =	0.779			

Prismoidal Method				
Elevation	Area (ft ²)	Volume (ft ³)	Volume _{sum} (ft ³)	Volume _{sum} (Ac-ft)
5318.0	50	0	0	0.000
5319.0	4,945	1,831	1,831	0.042
5320.0	6,165	5,544	7,375	0.169
5321.0	7,535	6,839	14,213	0.326
5322.0	9,093	8,302	22,515	0.517
5323.0	10,860	9,963	32,478	0.746
5324.0	12,850	11,841	44,319	1.017
5325.0		4,283	48,603	1.116

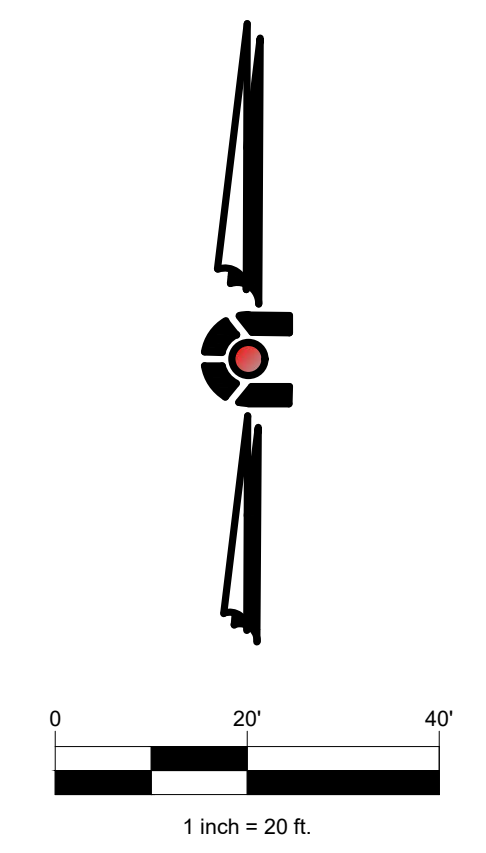
Water Quality Capture Volume Elevation (ft) =	5319.75
WQCV Depth (ft) =	1.75
Excess Urban Runoff Volume Elevation (ft) =	5321.25
Excess Urban Runoff Depth (ft) =	3.25
100 year Elevation (ft) =	5323.15
100 year Depth (ft) =	5.15
Top Emergency Overflow Elevation (ft) =	5324.15

AS-BUILT POND VOLUME

POND CALCULATIONS				
Tributary Area A (acres) =	8.23			
Water Quality Capture Volume (acre-ft) =	0.138			
Excess Urban Runoff Volume (acre-ft) =	0.373			
100 year Volume plus WQCV (acre-ft) =	0.779			

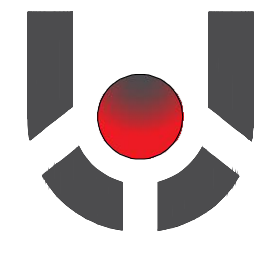
Prismoidal Method				
Elevation	Area (ft ²)	Volume (ft ³)	Volume _{sum} (ft ³)	Volume _{sum} (Ac-ft)
5318.0	50	0	0	0.000
5319.0	1,275	526	526	0.012
5320.0	7,356	3,898	4,424	0.102
5321.0	8,263	7,805	12,229	0.281
5322.0	9,964	9,100	21,329	0.490
5323.0	11,687	10,814	32,143	0.738
5324.0	13,115	12,394	44,537	1.022
5325.0		4,372	48,909	1.123

Water Quality Capture Volume Elevation (ft) =	5320.41
WQCV Depth (ft) =	2.41
Excess Urban Runoff Volume Elevation (ft) =	5321.44
Excess Urban Runoff Depth (ft) =	3.44
100 year Elevation (ft) =	5323.17
100 year Depth (ft) =	5.17
Top Emergency Overflow Elevation (ft) =	5324.17



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CALL 24 HOURS AHEAD IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS OR CONDITIONS AND DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE USER'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

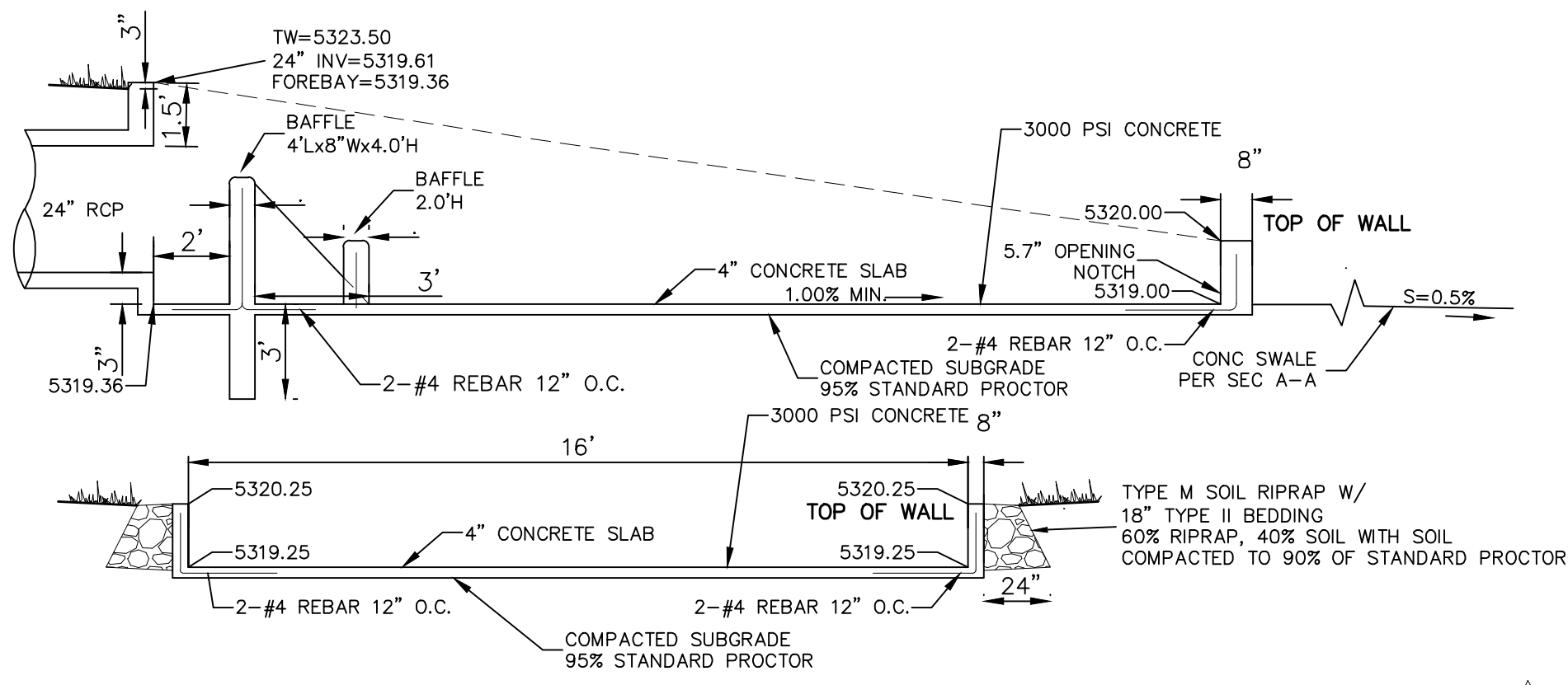


#	REVISIONS	DESCRIPTION	DATE	BY

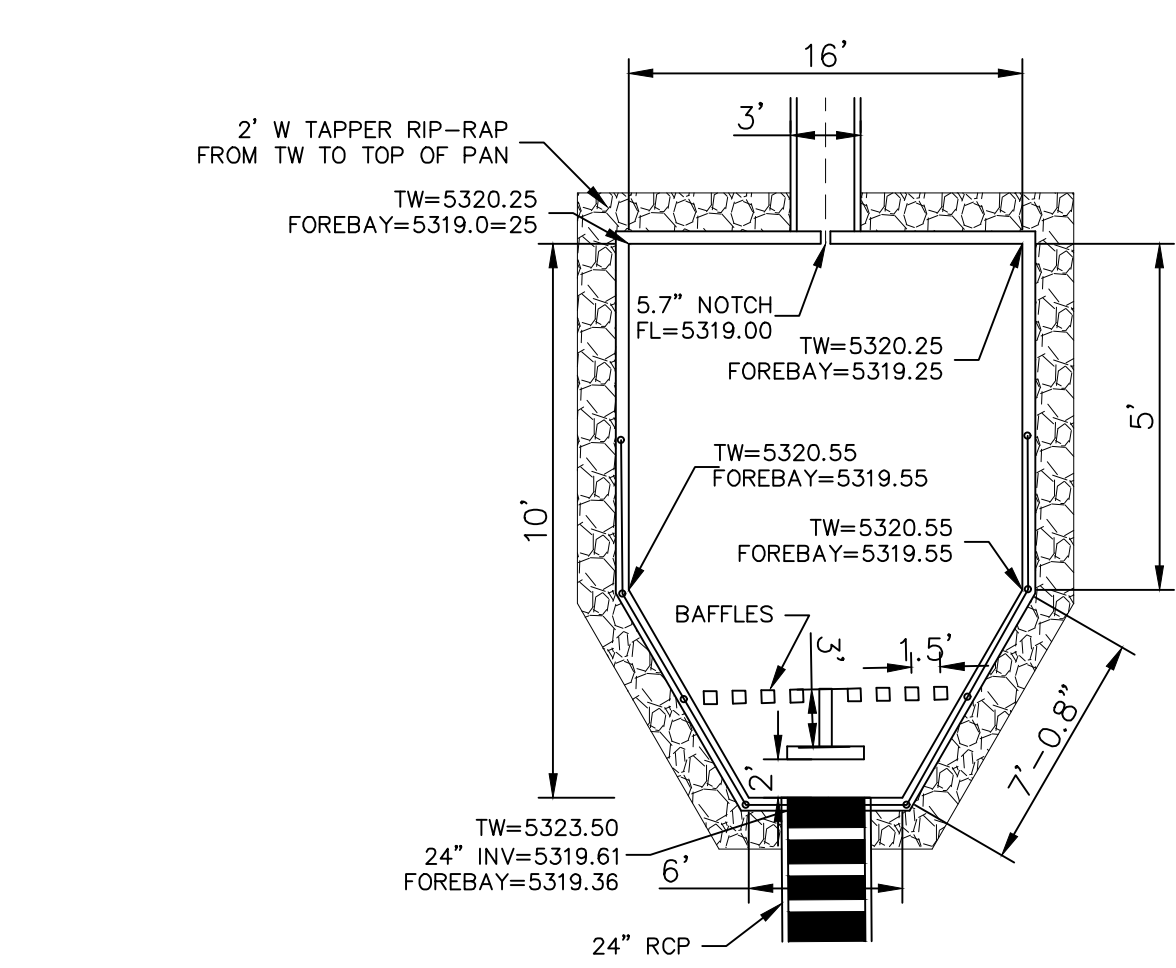
SHERRELWOOD VILLAGE
CONSTRUCTION DOCUMENTS
POND CERTIFICATION
ADAMS COUNTY, COLORADO

INITIAL PLAN
RELEASE: 8/19/2019
DESIGNED BY: JRS
DRAWN BY: JRS
CHECKED BY: DCF

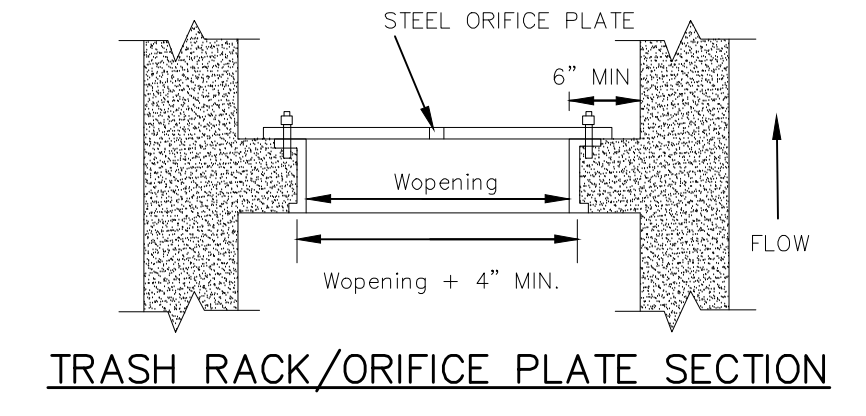
JOB NO.
15-018
SHEET
1 OF 1



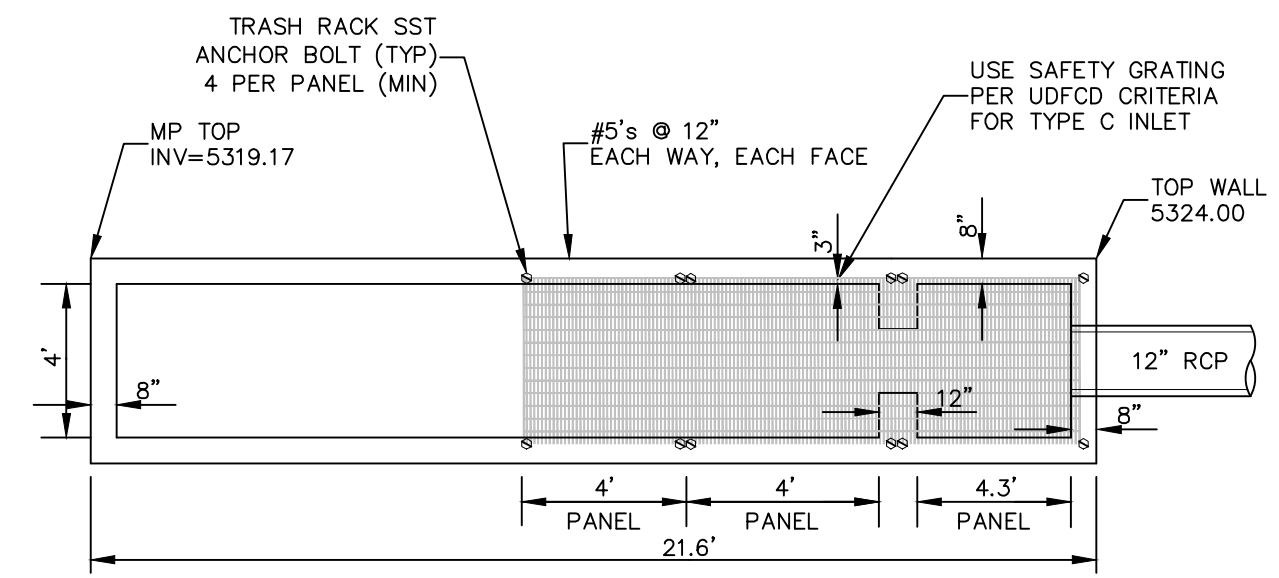
FOREBAY 1
UDFCD FIG. HS-16A AND B



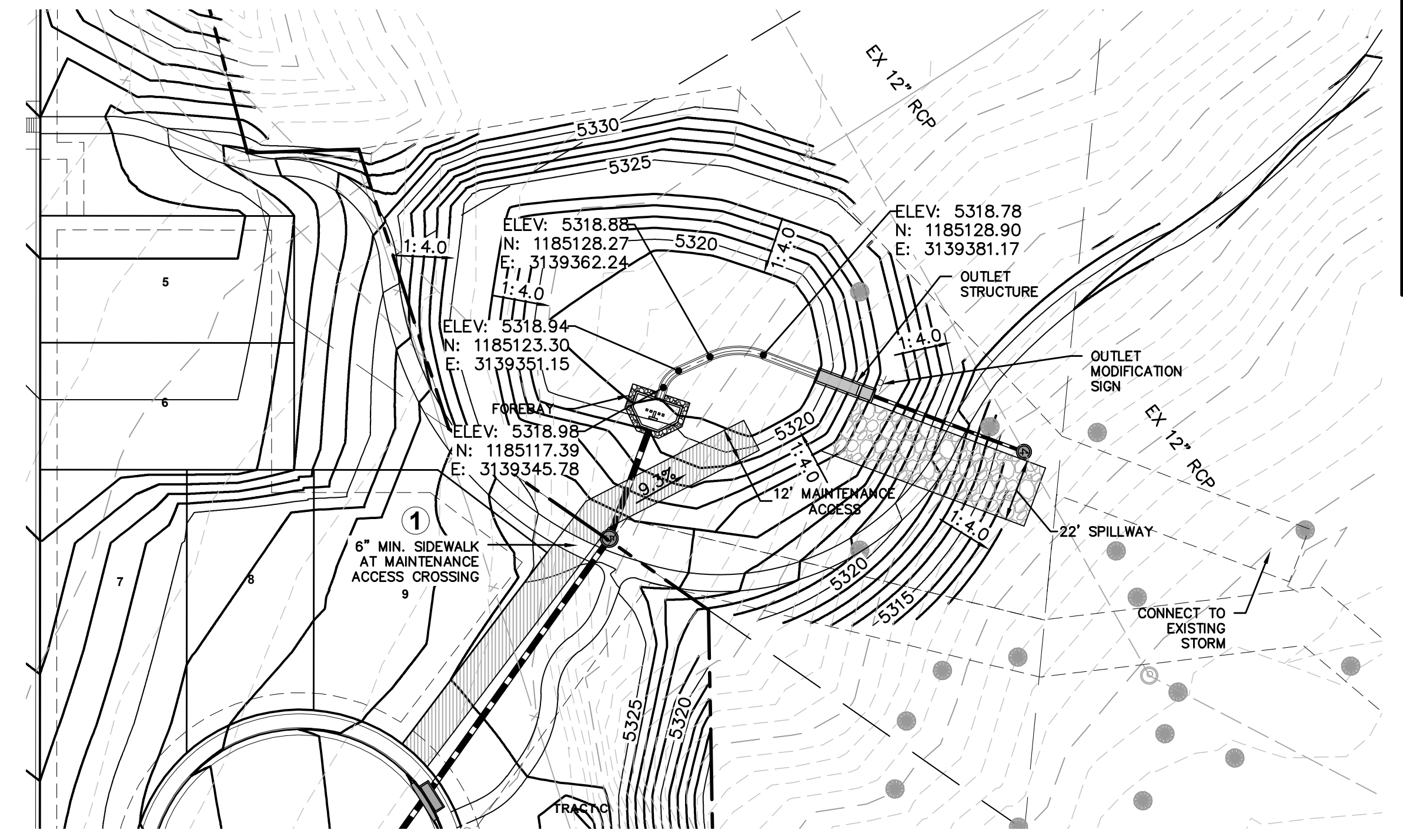
FOREBAY 1 DETAIL



TRASH RACK/ORIFICE PLATE SECTION



OUTLET BOX - PLAN



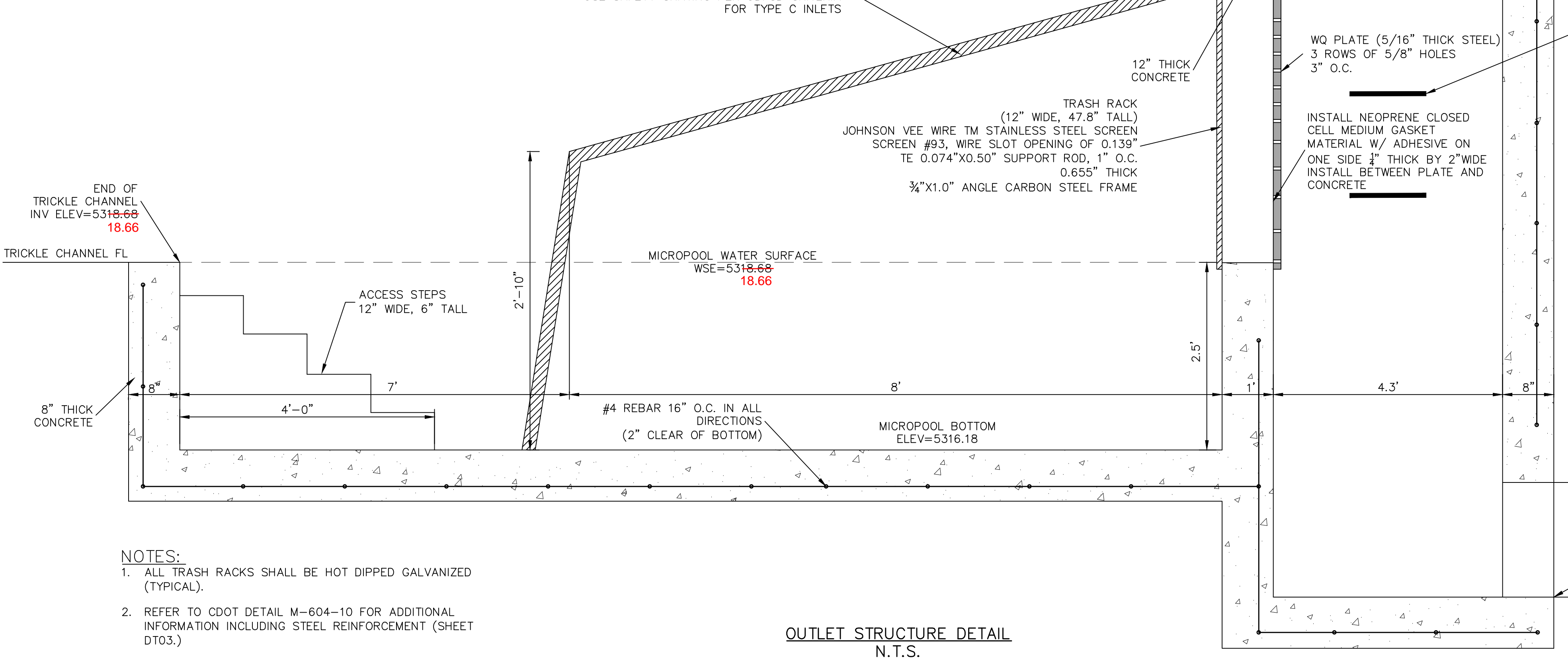
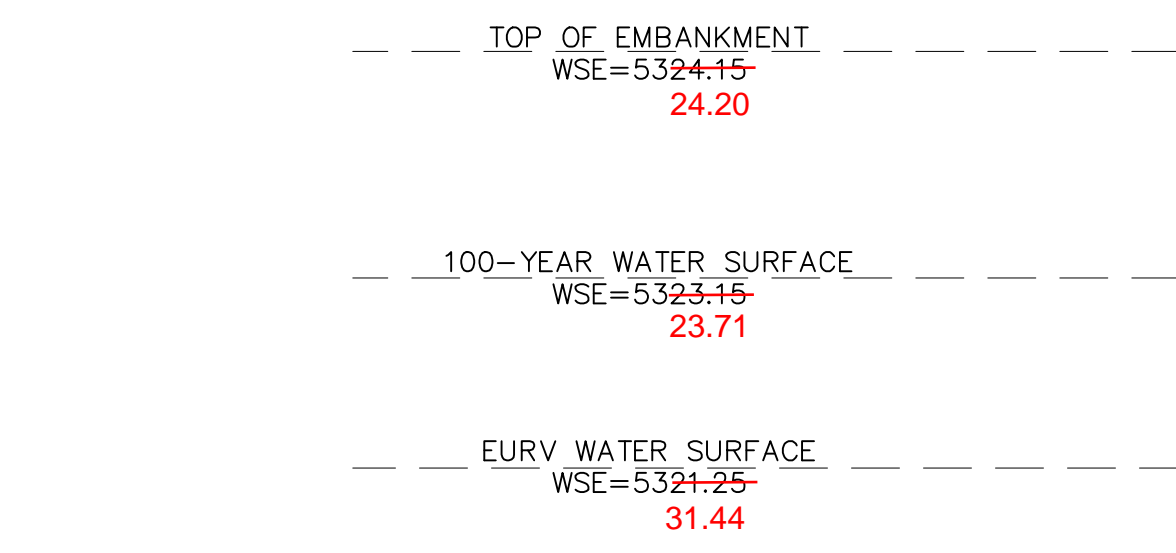
MAINTENANCE ACCESS CROSS SECTION
N.T.S.

WARNING
UNAUTHORIZED MODIFICATION OF
THIS OUTLET IS AN ARAPAHOE
COUNTY ZONING VIOLATION

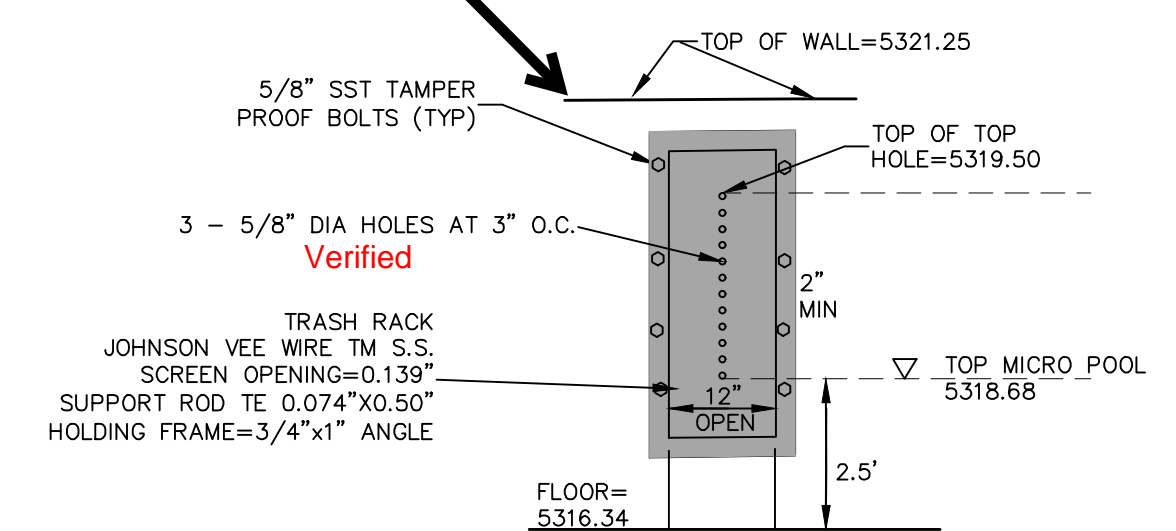
NOTE:
SIGN SHALL HAVE A MINIMUM AREA OF 0.75 SQUARE FEET
AND SHALL BE ATTACHED TO THE OUTLET STRUCTURE OR
POSITIONED NEARBY

OUTLET MODIFICATION SIGN
N.T.S.

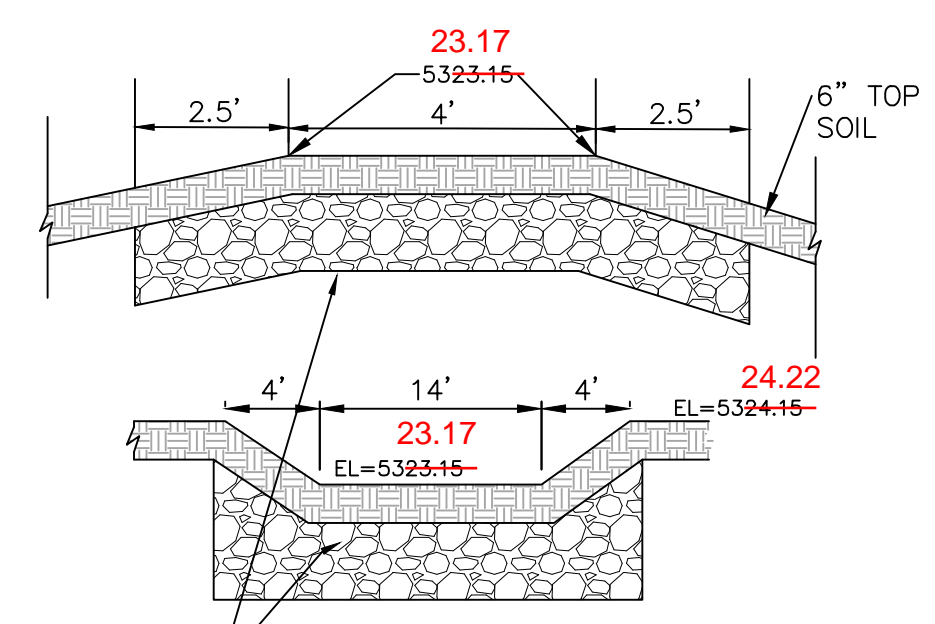
**WQ Plate modification
required for Elmwood
Estates development**



OUTLET STRUCTURE DETAIL
N.T.S.



NOTES:
1. ALL EXPOSED CONCRETE EDGES SHALL BE
CONSTRUCTED WITH 1/2" RADIUS CHAMFER

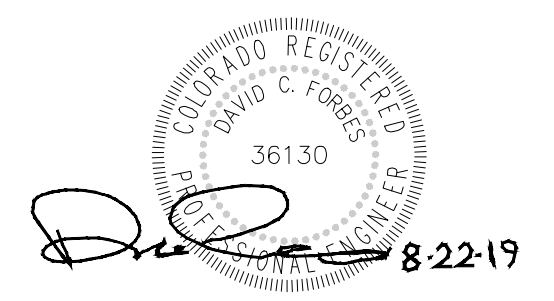


SPILLWAY SECTION

TYPE M @ 24" DEEP SOIL RIPRAP W/
TYPE II BEDDING
60% RIPRAP, 40% SOIL WITH SOIL
COMPACTED TO 90% OF STANDARD PROCTOR

AS-BUILT MEASUREMENTS
COMPLETED ON 08/16/2019

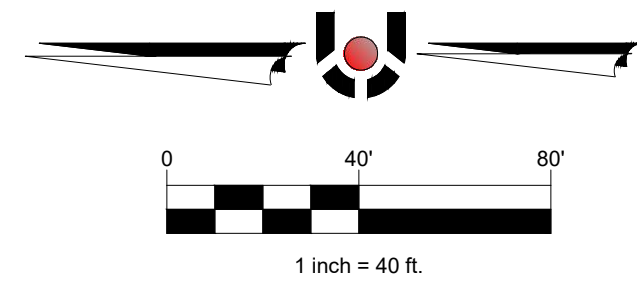
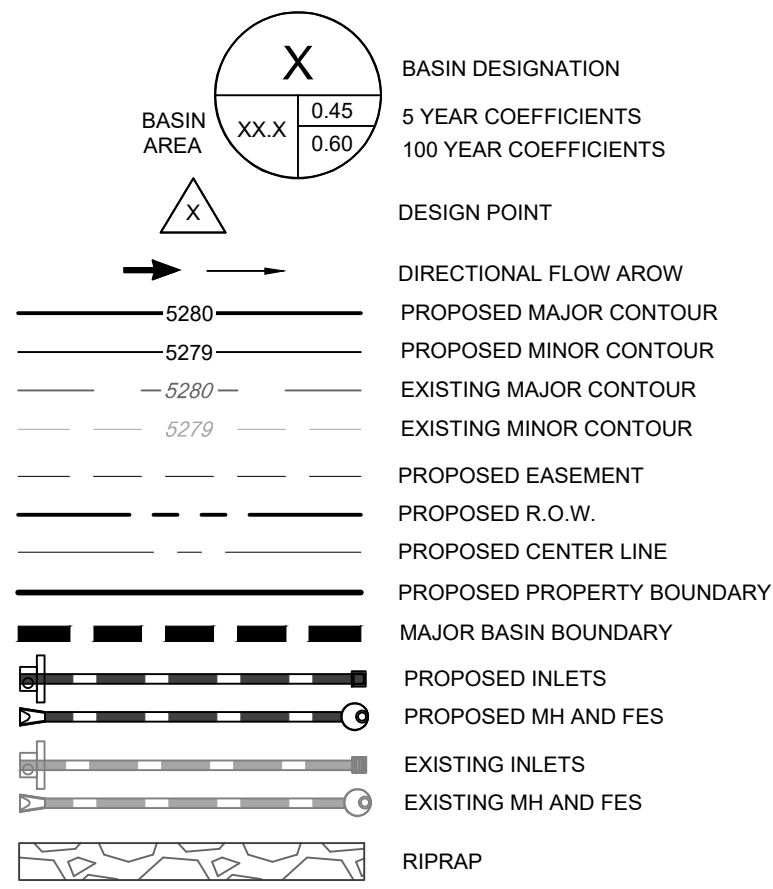
NOTES:
1. ALL TRASH RACKS SHALL BE HOT DIPPED GALVANIZED
(TYPICAL).
2. REFER TO CDOT DETAIL M-604-10 FOR ADDITIONAL
INFORMATION INCLUDING STEEL REINFORCEMENT (SHEET
DT03.)



REVISIONS	DATE	BY
#	DESCRIPTION	

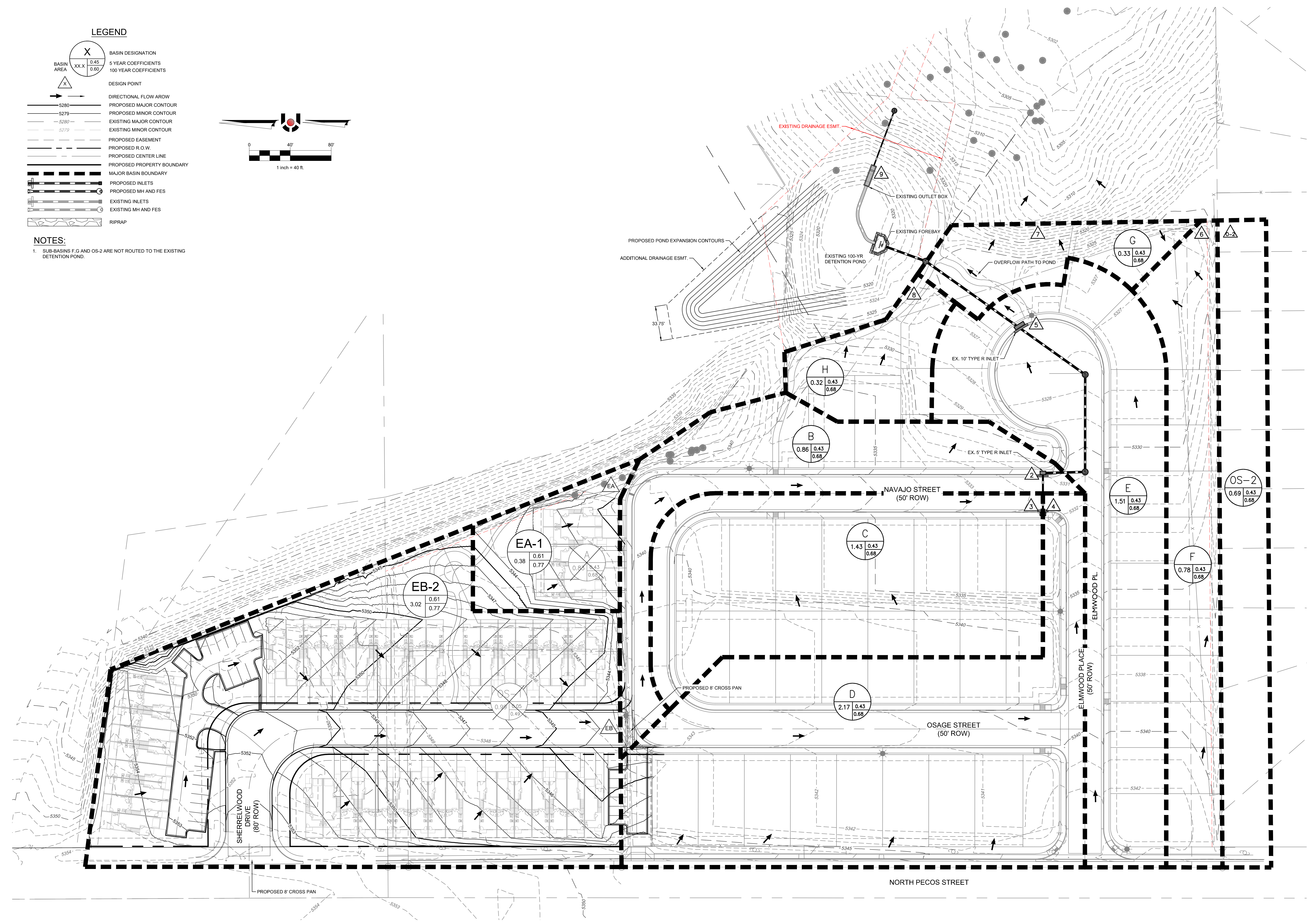
APPENDIX D PROPOSED MAPS

LEGEND



NOTES:

- SUB-BASINS F, G AND OS-2 ARE NOT ROUTED TO THE EXISTING DETENTION POND.



12/16/2015 10:54 AM -X19-165 ELMWOOD ESTATES CIVIL REPORTS/DRAINAGE/ROAD PLAN/DRAINAGE MAP.DWG.

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 NATURAL RESOURCES CONSULTING
 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120



CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG, GRADE OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND MEMBER UTILITIES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
 LOCATIONS OR CONDITIONS AND WILL ONLY BE PROVIDING
 FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,
 THE LOCATION OF ALL UTILITIES FROM TO THE SURVEY
 COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY

ELMWOOD ESTATES
 DELWEST
 ENGINEERING PLANS
 DRAINAGE MAP

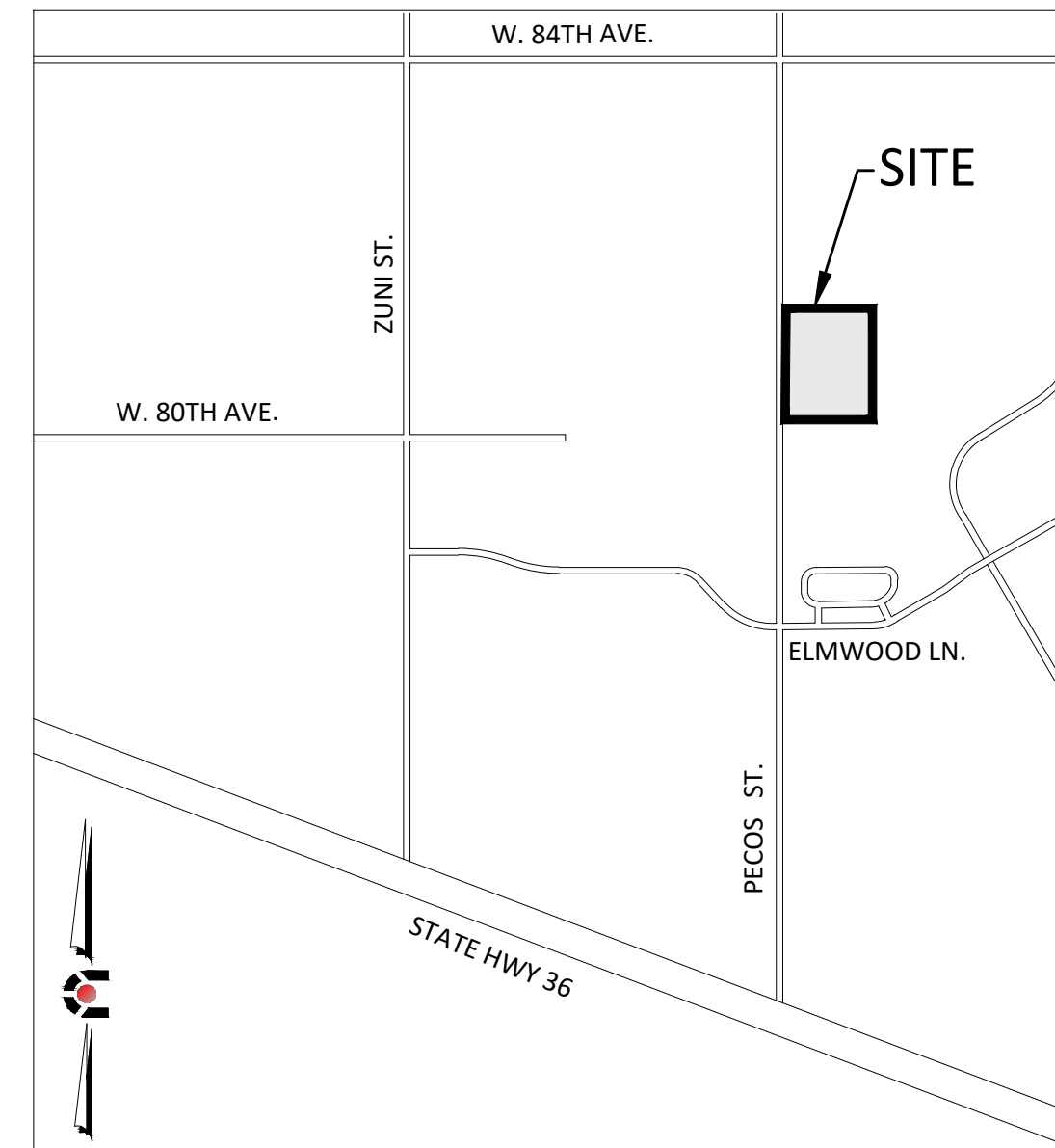
DESIGNED BY: RM
 DRAWN BY: RM
 CHECKED BY: JRS

JOB NO.
 19-165
 SHEET
 1 OF 1

ELMWOOD ESTATES

EROSION AND SEDIMENT CONTROL PLANS

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO



VICINITY MAP
NTS

Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	INITIAL EROSION CONTROL PLAN
4	INTERIM EROSION CONTROL PLAN
5	FINAL EROSION CONTROL PLAN
6	EROSION CONTROL DETAILS

OWNER
DELWEST CAPITAL DEVELOPMENT CORP.
155 S. MADISON ST.
DENVER, COLORADO 80209
(720) 708-4065
CONTACT: DERRELL SCHREINER

ENGINEER
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 113
CONTACT: DAVID FORBES

LANDSCAPE
TERRACINA DESIGN
10200 E. GIRARD AVENUE, SUITE A-314
DENVER, CO 80231
(303) 632-8867
CONTACT: LAYLA ROSALES

SURVEY
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 119
CONTACT: TOM GIRARD

DISTRICT MANAGER
CITY DEVELOPMENT
9500 CIVIC CENTER DRIVE
THORNTON, CO 80229
(303) 538-7295
CONTACT: TBD

CITY ENGINEER
ADAMS COUNTY
4430 S. ADAMS COUNTY PARKWAY, W2000B
BRIGHTON, CO 80601
(720) 523-6826
CONTACT: MATT EMMENS

NOTE
PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY STANDARDS AND SPECIFICATIONS AND LATEST EDITION OF COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NOTICE TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY THE SEARCH OF AVAILABLE RECORDS. THE ENGINEER ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OR AND ANY DAMAGE TO SAID FACILITIES.

NOTICE
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, CORE CONSULTANTS, INC. APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

BASIS OF BEARINGS
BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6th P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX, PLS 23519 TO THE NORTHEAST CORNER OF SAID SECTION 33 BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276 WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK DESCRIPTION
NGS MONUMENT 547, P.I.D. "DJ8173, ADAMS COUNTY"
HAVING A PUBLISHED ELEVATION OF 5286.29 FEET. (NAVD 88)

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CORE
CONSULTANTS



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OR AND ANY DAMAGE TO SAID FACILITIES.



#	REVISION DESCRIPTION	DATE BY
1	DRAFT	JX/XXXX/XXXX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
COVER

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

SHEET
1 OF 6

EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES:

- OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STATE OF COLORADO, COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY COR-030000 PRIOR TO CONSTRUCTION (CDPS STORMWATER CONSTRUCTION PERMIT).
- THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS CDPS STORMWATER CONSTRUCTION PERMIT LETTER OF APPROVAL AND CERTIFICATION FROM THE STATE PRIOR TO RECEIVING A COUNTY CONSTRUCTION/BUILDING PERMIT. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THIS CDPS STORMWATER CONSTRUCTION PERMIT.
- A COPY OF THE CDPS STORMWATER CONSTRUCTION PERMIT FROM CDPHE AND THE APPROVED STORMWATER MANAGEMENT PLAN (SWMP) WITH AN EROSION AND SEDIMENT PLAN SHALL BE KEPT ON SITE AND UPDATED AT ALL TIMES IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
- OWNER/CONTRACTOR IS RESPONSIBLE FOR FILING A CDPHE INACTIVATION NOTICE - CONSTRUCTION STORMWATER DISCHARGE GENERAL PERMIT CERTIFICATION; ONCE THE CONSTRUCTION SITE HAS BEEN FINALLY STABILIZED IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
- THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS INACTIVATION NOTICE. THERE WILL BE NO FEE CHARGED TO ADAMS COUNTY FOR THE INACTIVATION NOTICE OR IF THE CONTRACTOR NEGLECTS TO FILE THIS NOTICE.
- THE SWMP ADMINISTRATOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE SWMP SHALL BE MODIFIED IN COMPLIANCE TO THE CDPS STORMWATER CONSTRUCTION PERMIT.
- STANDARD INSPECTIONS - A THOROUGH INSPECTION OF THE BEST MANAGEMENT PRACTICES (BMPs) SHALL BE PERFORMED EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE EROSION.
- USE BIODEGRADABLE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER AND IN SWALES OR LONG CHANNELS.
- ALL SOIL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT THE LOSS OF MATERIAL DURING TRANSPORT. HAUL ROUTES MUST BE PERMITTED BY THE COUNTY. NO MATERIAL SHALL BE TRANSPORTED TO ANOTHER SITE WITHOUT FIRST OBTAINING A HAULING PERMIT FROM ADAMS COUNTY PLANNING.
- THE CONCRETE WASHOUT CONTAINMENT STRUCTURE SHALL CONTAIN ALL CONCRETE WASHOUT WATER. STORMWATER SHALL NOT CARRY WASTES FROM THE DESIGNATED CONCRETE WASHOUT LOCATION AND SHALL BE LOCATED A MINIMUM OF FIFTY (50) FEET HORIZONTAL FROM WATERS OF THE STATE.
- THE ACTUAL SCHEDULE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS. DOWN SLOPE PROTECTIVE MEASURES (I.E. SEDIMENT CONTROL BARRIERS) MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED.
- INSTALL SEDIMENT CONTROL BARRIERS DOWN SLOPE FROM CONSTRUCTION THAT DISTURBS SITE SOIL. SEDIMENT CONTROL BARRIERS SHOULD BE INSTALLED IN THE LOCATIONS SHOWN ON THE EROSION AND SEDIMENT CONTROL DRAWINGS, AS WELL AS OTHER LOCATIONS AS DEEMED NECESSARY BY THE CONTRACTOR, INSPECTOR OR OWNER."

BMP MAINTENANCE NOTES:

- IT IS ANTICIPATED THAT THE BMPs IMPLEMENTED AT THE SITE WILL HAVE TO BE MODIFIED TO ADAPT TO CHANGING CONDITIONS OR TO ENSURE THAT POTENTIAL POLLUTANTS ARE BEING PROPERLY MANAGED AT THE SITE. WHEN BMPs ARE MODIFIED, THE SWMP MUST BE MODIFIED TO ACCURATELY REFLECT THE ACTUAL FIELD CONDITIONS.
- THE OWNER/CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL SILT FENCING SO THAT IT FUNCTIONS PROPERLY DURING CONSTRUCTION AND WORK SUSPENSIONS. ALL SILT FENCING SHALL BE REMOVED BY THE CONTRACTOR UPON SUBSTANTIAL PERMANENT STABILIZATION UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
- SILT FENCE SHALL BE INSTALLED ALONG CONTOURS AND PRIOR TO ANY GRUBBING OR GRADING ACTIVITY. IT SHALL BE LOCATED TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS IN WHICH IT SHALL BE INSTALLED AT A FAIRLY LEVEL GRADE.
- IT IS RECOMMENDED THAT SILT FENCE SHALL BE INSTALLED FIVE (5) FEET AWAY FROM THE TOE OF THE SLOPE OR STOCKPILE, AND EVERY SEVENTY FIVE (75) TO ONE HUNDRED TWENTY FIVE (125) FEET APART ON LONG SLOPES.
- DO NOT PLACE SILT FENCE IN OR ADJACENT TO EXISTING WETLANDS WHERE TRENCHING IMPACTS WETLANDS.
- ALL INLET/OUTLET PROTECTION WILL BE CHECKED FOR MAINTENANCE AND FAILURE DAILY. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE IT HAS ACCUMULATED TO HALF THE DESIGN OF THE TRAP OR DAILY DURING PERIODS OF CONSISTENT PRECIPITATION.
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VEHICLE TRACKING CONTROL DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL SHALL BE REMOVED AT THE COMPLETION OF THIS PROJECT UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
- TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE TAKES PLACE IN THE DRAINAGE AREA. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ALL VEGETATION AND ROOT MAT. SEDIMENT SHALL BE REMOVED WHEN NO LONGER FUNCTIONAL AND DISPOSED OF AT AN APPROVED LOCATION.
- ALL SEDIMENT FROM STORMWATER INFRASTRUCTURE (I.E. DETENTION PONDS, STORM SEWER PIPES, OUTLETS, INLETS, ROADSIDE DITCHES, ETC.) SHALL BE REMOVED PRIOR TO INITIAL ACCEPTANCE. THIS SEDIMENT SHALL NOT BE FLUSHED OFF-SITE BUT SHALL BE CAPTURED ON-SITE AND DISPOSED OF AT AN APPROVED LOCATION.
- TEMPORARY ROCK CHECK DAM - THE MAXIMUM HEIGHT OF THE CHECK DAM AT THE CENTER SHOULD NOT EXCEED ONE HALF THE DEPTH OF THE DITCH OR SWALE. THE MAXIMUM SPACING BETWEEN DAMS SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
- CONSTRUCTION SAFETY BARRIER FENCING (ORANGE CONSTRUCTION FENCE) MUST BE USED TO PROTECT WETLANDS AND OTHER SENSITIVE AREAS AND TO PREVENT ACCESS.
- WATER FROM DEWATERING OPERATIONS SHALL NOT BE DIRECTLY DISCHARGED INTO ANY WATERS CONVEYANCE SYSTEMS INCLUDING WETLANDS, IRRIGATION DITCHES, CANALS, RIVERS, STREAMS OR STORM SEWER SYSTEMS, UNLESS ALLOWED BY A STATE CONSTRUCTION DEWATERING PERMIT.

PERFORMANCE NOTES:

- TEMPORARY AND/OR PERMANENT BMPs INTENDED TO CONTROL EROSION OF AN EARTH DISTURBANCE OPERATION SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS TAKE PLACE IN SEQUENCE WITH PROPER PHASING.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES, SOIL AND VEGETATION.
- PERSONS ENGAGED IN EARTH DISTURBANCES SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS ADOPTED BY ADAMS COUNTY AND IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
- EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
- SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH DISTURBANCE.
- EXCAVATED MATERIAL AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE STOCKPILED WITHIN THE ROADWAY SECTION. BACKFILL MATERIALS UP TO A MAXIMUM OF 130 CY MAY BE STOCKPILED, WITH APPROPRIATE EROSION CONTROL MEASURE, BUT MUST BE REMOVED OR PLACED BY THE END OF EACH WORK WEEK.
- ANY CONSTRUCTION AREAS, NOT GRADED TO FINAL GRADE, REQUIRE TEMPORARY BMPs FOR SITE STABILIZATION.
- AS NECESSARY, CONSTRUCT A TEMPORARY FACILITY DESIGNATED FOR CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE CONSTRUCTION SITE.
- PERMANENT EROSION AND SEDIMENT CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
- CONCRETE WASHOUTS SHALL NOT BE PLACED IN LOW AREAS, DITCHES OR ADJACENT TO STATE WATERS.
- THE OWNER/CONTRACTOR SHALL CHECK THE CAPACITY FOR ALL CONCRETE WASHOUT AREAS. WASTE MATERIALS MUST BE REMOVED BY THE CONTRACTOR AND LEGALLY DISPOSED OF WHEN ACCUMULATIONS AMOUNT TO TWO-THIRDS (2/3) OF THE WET STORAGE CAPACITY OF THE STRUCTURE.
- ALL CONCRETE WASHOUT AREAS SHALL BE CLEARLY MARKED. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE WILL INCLUDE A 2'X3' SIGN POSTED WITH THE WORDS "CONCRETE WASHOUT". THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF. CONCRETE WASHOUT WASTE MUST NOT BE BURIED.
- DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE SHALL BE TEMPORARILY STABILIZED IMMEDIATELY AFTER INTERIM GRADING.
- FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAS BEEN EMPLOYED.
- RECORDS OF SPILLS, LEAKS, OR OVERFLOWS THAT RESULT IN THE DISCHARGE OF POLLUTANTS MUST BE DOCUMENTED AND MAINTAINED. SOME SPILLS MAY NEED TO BE REPORTED TO THE DIVISION IMMEDIATELY; SPECIFICALLY, A RELEASE OF ANY CHEMICAL, OIL, PETROLEUM PRODUCT, SEWAGE, ETC., WHICH MAY ENTER WATERS OF THE STATE, MUST BE REPORTED. MORE GUIDANCE IS AVAILABLE ON THE WEB AT WWW.CDPHE.STATE.CO.US/EMP/SPILLSANDRELEASED.HTM THE DIVISION'S TOLL FREE 24-HOUR ENVIRONMENTAL EMERGENCY SPILL REPORTING LINE IS 1-877-518-5608. ALSO IMMEDIATELY CALL ADAMS COUNTY AT 303-523-6400 AND THE TRI-COUNTY HEALTH DEPARTMENT AT 303-220-9200"

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DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Litchford Blvd., Ste. 109
LITTLETON, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY THE BEST AVAILABLE INFORMATION TO SHOW THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

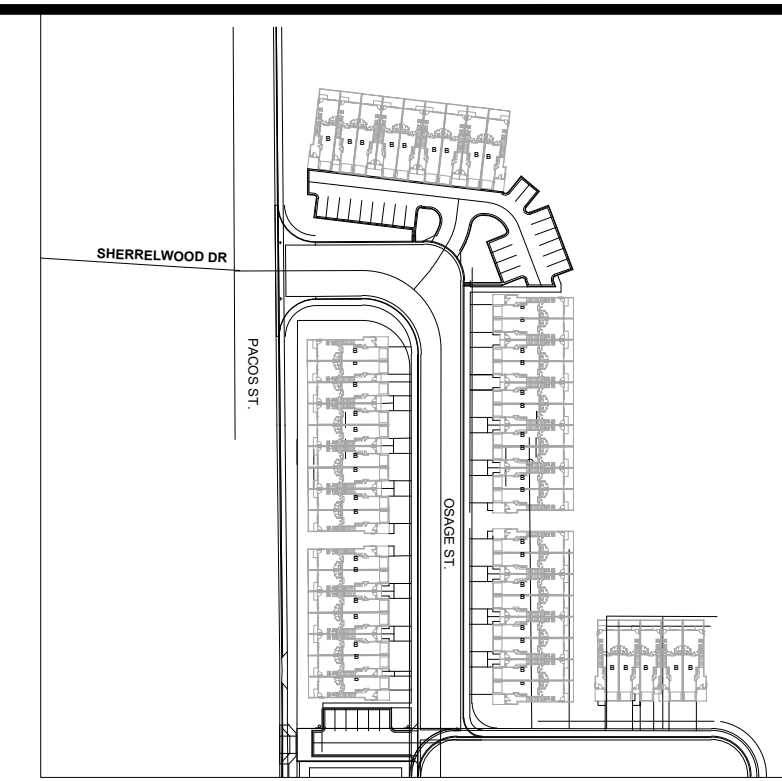
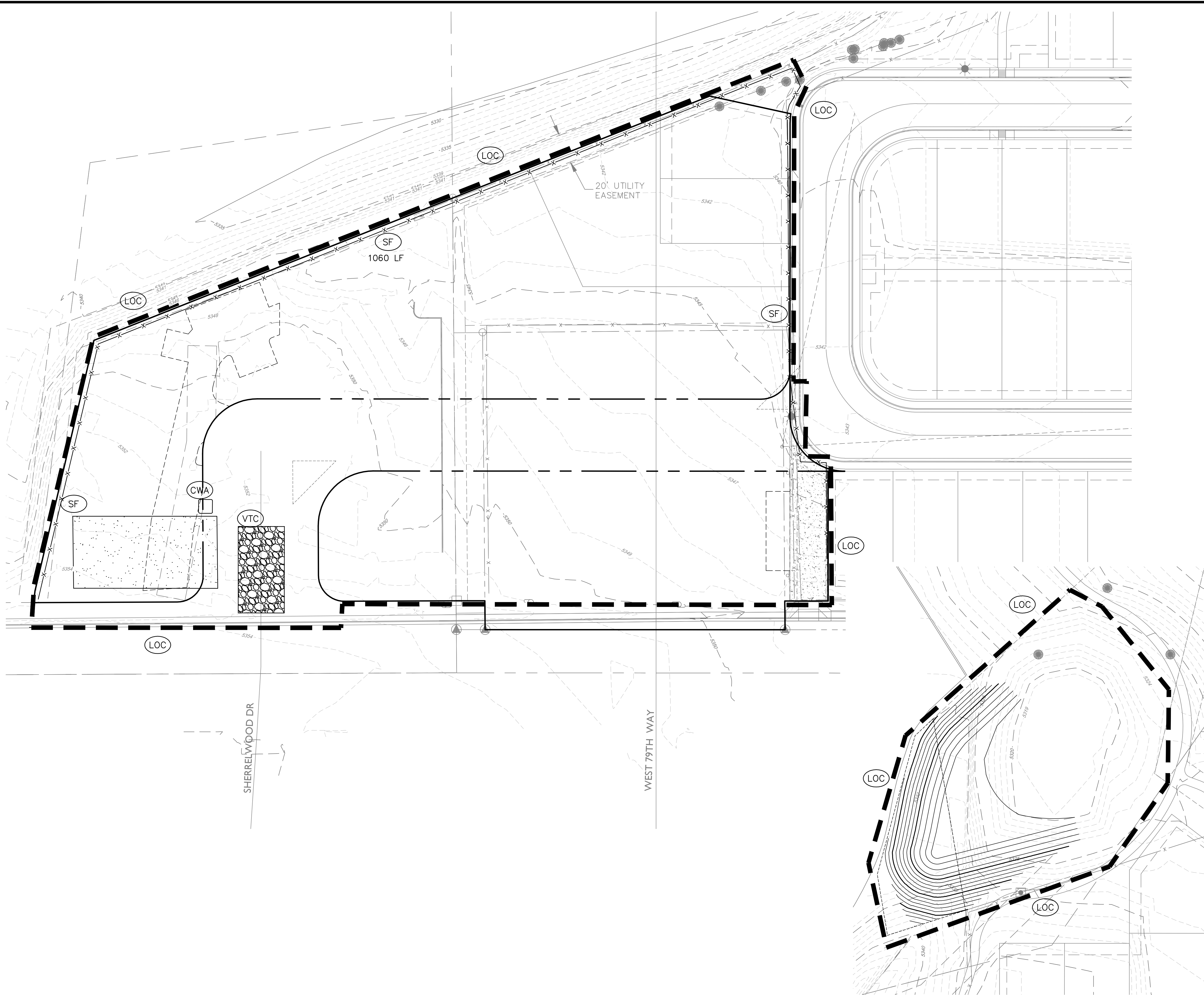


#	REVISION DESCRIPTION	DATE	BY
1	DRAFT	XX/XX/XX	XXX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
NOTES

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165
SHEET
2 OF 6

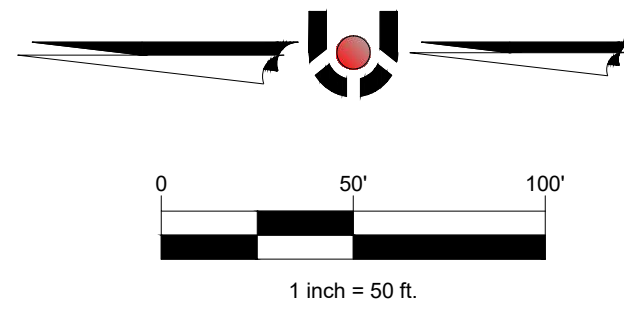


MAPPING LEGEND

- 5610--- EXISTING MAJOR CONTOUR
 - 5610--- EXISTING MINOR CONTOUR
 - 5610--- PROPOSED MAJOR CONTOUR
 - 5610--- PROPOSED MINOR CONTOUR
 - 5610--- PROPERTY LINE
 - 5610--- DIRECTIONAL FLOW ARROW
 - 5610--- OVERFLOW DIRECTION
- BMP LEGEND**
- (CD) CHECK DAM
 - (CB) COMPOST BLANKET
 - (CFB) COMPOST FILTER BERM
 - (CWA) CONCRETE WASHOUT AREA
 - (CF) CONSTRUCTION FENCE
 - (CM) CONSTRUCTION MARKER
 - (DW) DEWATERING
 - (DD) DIVERSION DITCH
 - (ECB) EROSION CONTROL BLANKET
 - (IP) INLET PROTECTION
 - (RCD) REINFORCED CHECK DAM
 - (RRB) REINFORCED ROCK BERM
 - (RRC) RRB FOR CULVERT PROTECTION
 - (SB) SEDIMENT BASIN
 - (SCL) SEDIMENT CONTROL LOG
 - (ST) SEDIMENT TRAP
 - (SM) SEEDING AND MULCHING
 - (SF) SILT FENCE
 - (SSA) STABILIZED STAGING AREA
 - (SR) SURFACE ROUGHENING
 - (TSD) TEMPORARY SLOPE DRAIN
 - (TSC) TEMPORARY STREAM CROSSING
 - (TER) TERRACING
 - (VTC) VEHICLE TRACKING CONTROL
 - (VW) VTC WITH WHEEL WASH
 - (RW) ROCK AND RIPRAP GRADATIONS
 - (LOC) LIMITS OF CONSTRUCTION

NOTES

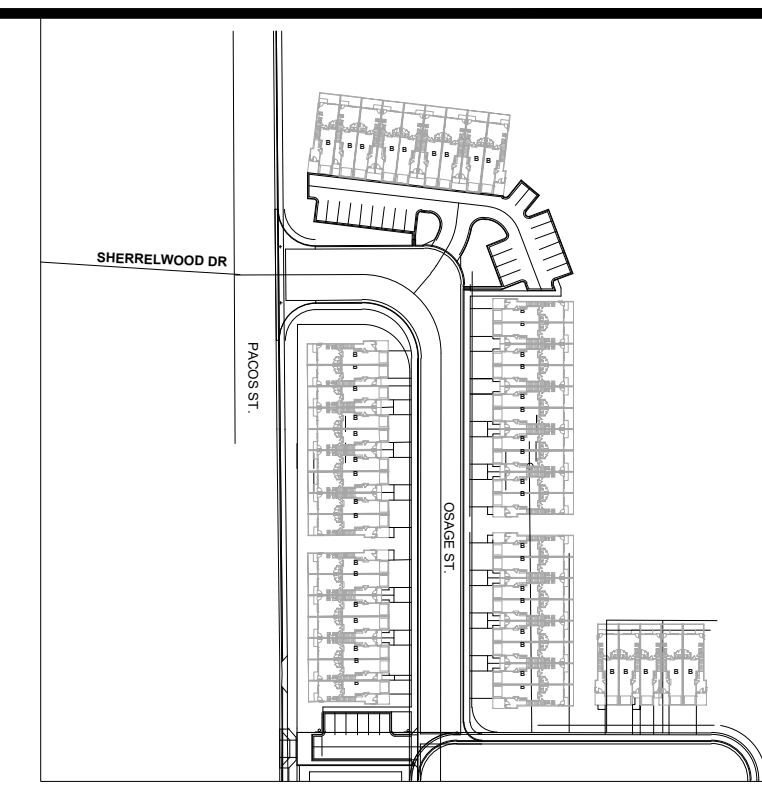
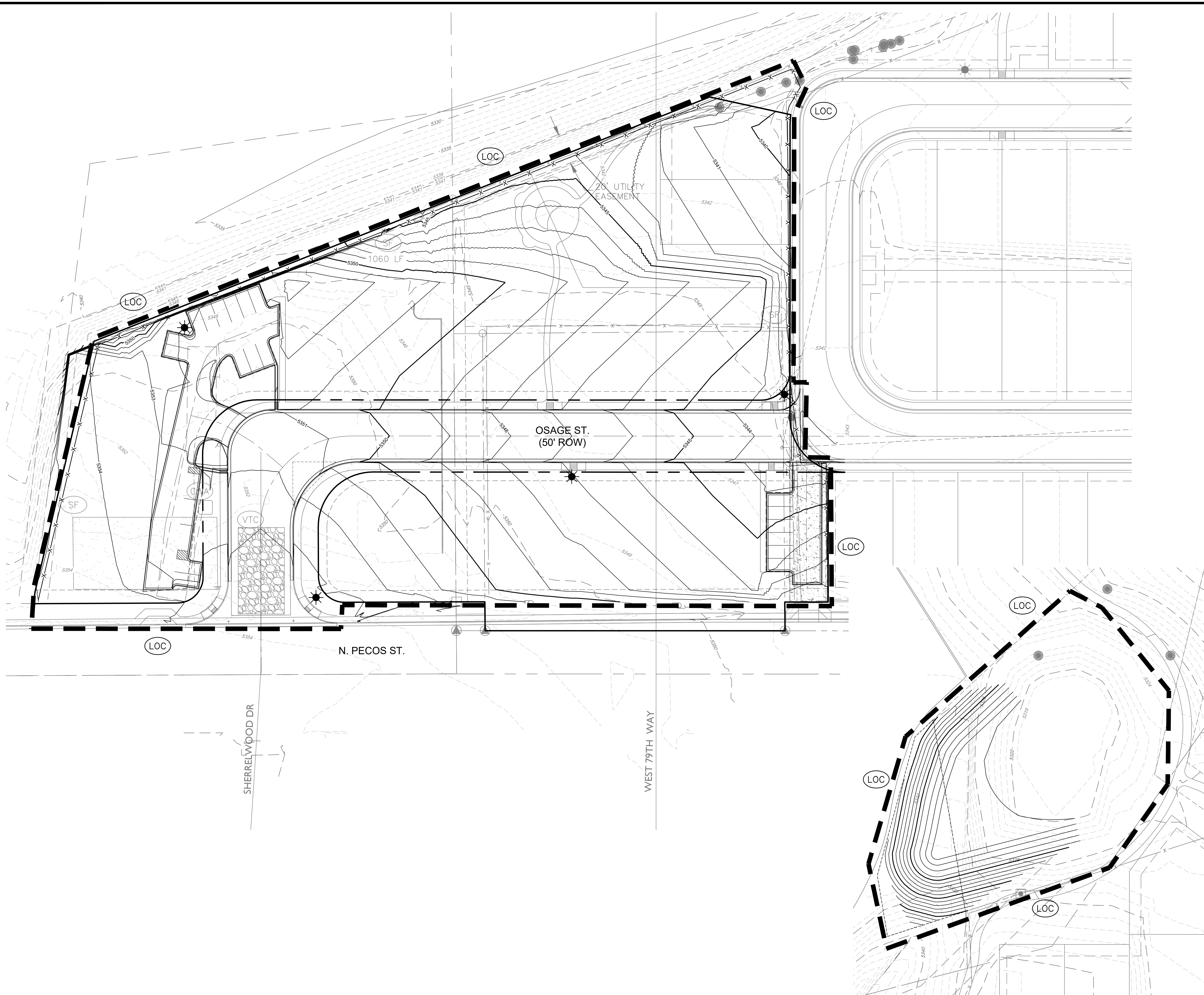
1. ADDITIONAL BMPs AT CURBSIDE & SIDEWALKS SHALL BE INSTALLED ABOVE THE CURB ONCE PAVEMENT IS INSTALLED.
2. SEDIMENTS ACCUMULATED DURING CONSTRUCTION SHALL BE REMOVED AND ANY DISTURBED AREAS SHALL BE STABILIZED.



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES SHOWN ON THIS DRAWING HAVE BEEN LOCATED FROM THE BEST AVAILABLE INFORMATION. TO THE MAXIMUM EXTENT OF THE INFORMATION TO THE BEST OF OUR KNOWLEDGE, BELIEF AND OPINION, THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE BY
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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
INITIAL EROSION CONTROL PLAN

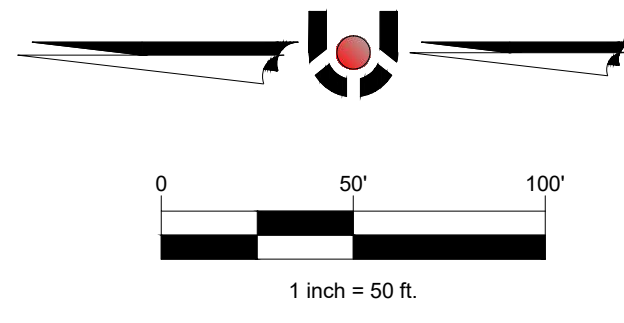


MAPPING LEGEND

- 5610--- EXISTING MAJOR CONTOUR
 - 5610--- EXISTING MINOR CONTOUR
 - 5610--- PROPOSED MAJOR CONTOUR
 - 5610--- PROPOSED MINOR CONTOUR
 - 5610--- PROPERTY LINE
 - 5610--- DIRECTIONAL FLOW ARROW
 - 5610--- OVERFLOW DIRECTION
-
- BMP LEGEND**
- (CD) CHECK DAM
 - (CB) COMPOST BLANKET
 - (CFB) COMPOST FILTER BERM
 - (CWA) CONCRETE WASHOUT AREA
 - (CF) CONSTRUCTION FENCE
 - (CM) CONSTRUCTION MARKER
 - (DW) DEWATERING
 - (DD) DIVERSION DITCH
 - (ECB) EROSION CONTROL BLANKET
 - (IP) INLET PROTECTION
 - (RCD) REINFORCED CHECK DAM
 - (RRB) REINFORCED ROCK BERM
 - (RRC) RRB FOR CULVERT PROTECTION
 - (SB) SEDIMENT BASIN
 - (SCL) SEDIMENT CONTROL LOG
 - (ST) SEDIMENT TRAP
 - (SM) SEEDING AND MULCHING
 - (SF) SILT FENCE
 - (SSA) STABILIZED STAGING AREA
 - (SR) SURFACE ROUGHENING
 - (TSD) TEMPORARY SLOPE DRAIN
 - (TSC) TEMPORARY STREAM CROSSING
 - (TER) TERRACING
 - (VTC) VEHICLE TRACKING CONTROL
 - (VTC) VTC WITH WHEEL WASH
 - (VTC) ROCK AND RIPRAP GRADATIONS
 - (LOC) LIMITS OF CONSTRUCTION

NOTES

1. ADDITIONAL BMPs AT CURBSIDE & SIDEWALKS SHALL BE INSTALLED ABOVE THE CURB ONCE PAVEMENT IS INSTALLED.
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REVISION DESCRIPTION
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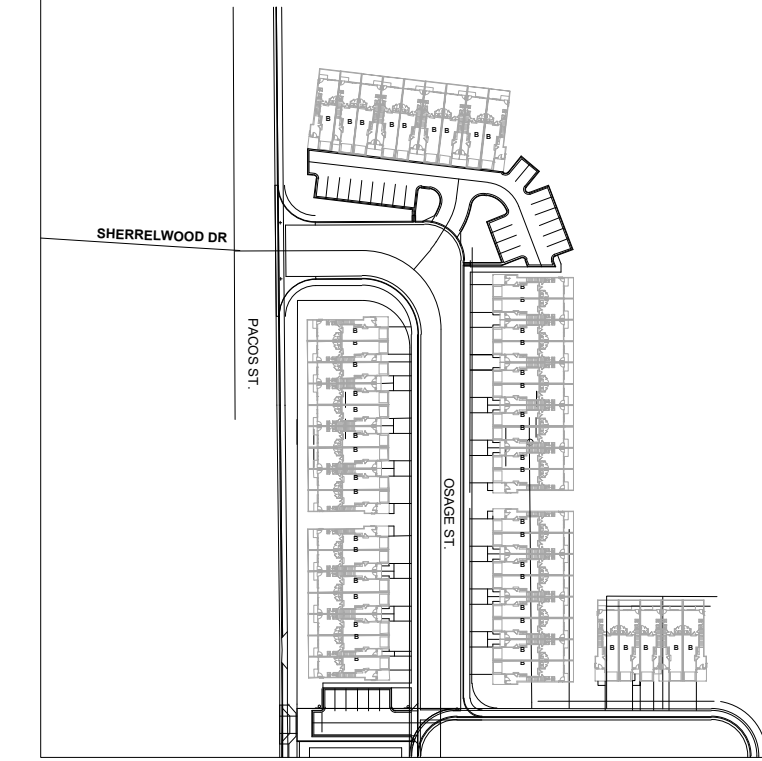
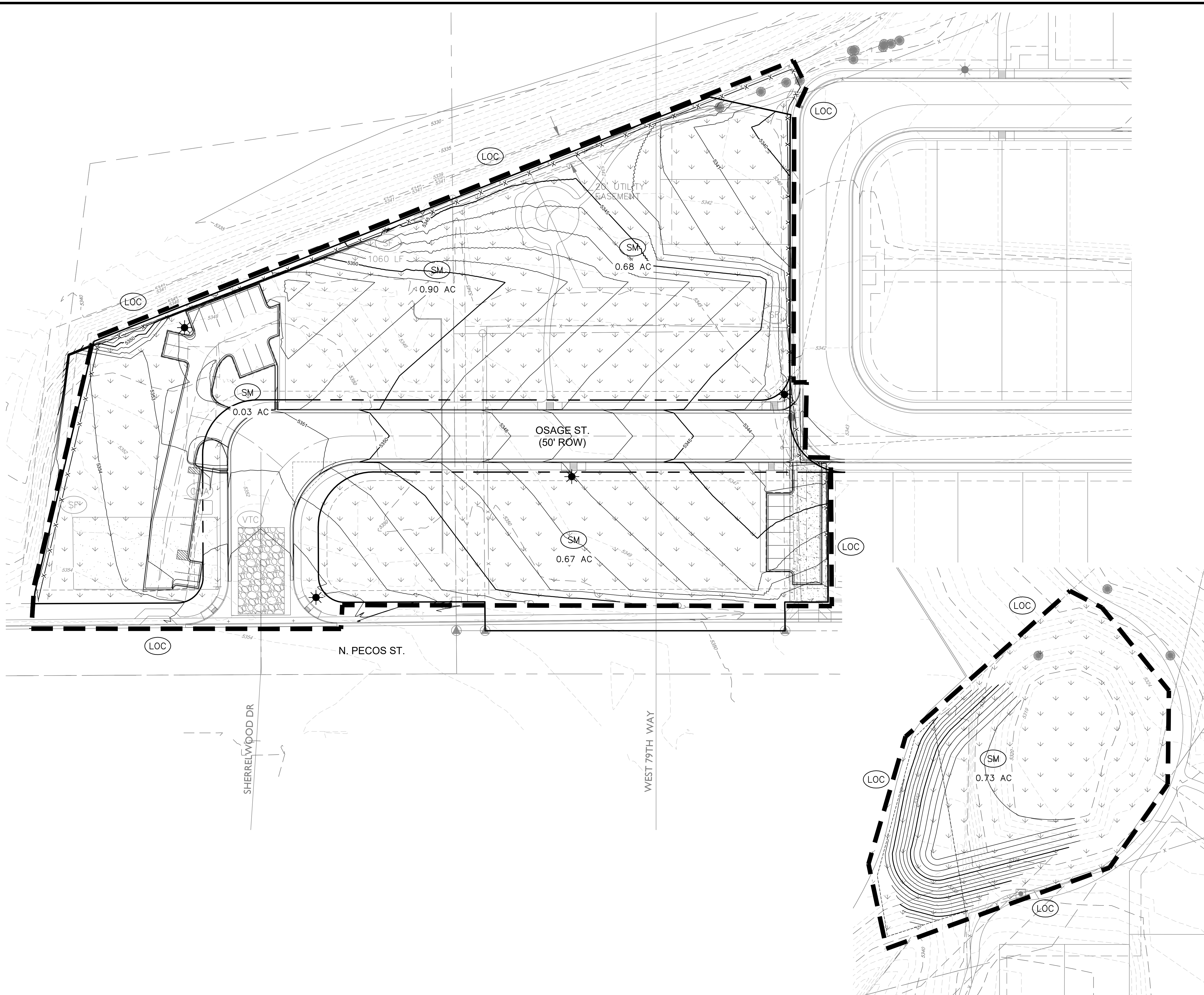
ELMWOOD ESTATES
 ADAMS COUNTY, COLORADO
 EROSION CONTROL PLANS
 INTERIM EROSION CONTROL PLAN

DESIGNED BY: NW
 DRAWN BY: NW
 CHECKED BY: JS

JOB NO.
 19-165

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 4 OF 6

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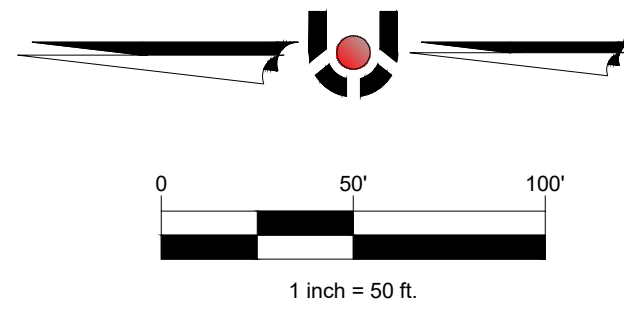


MAPPING LEGEND

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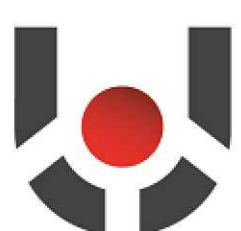
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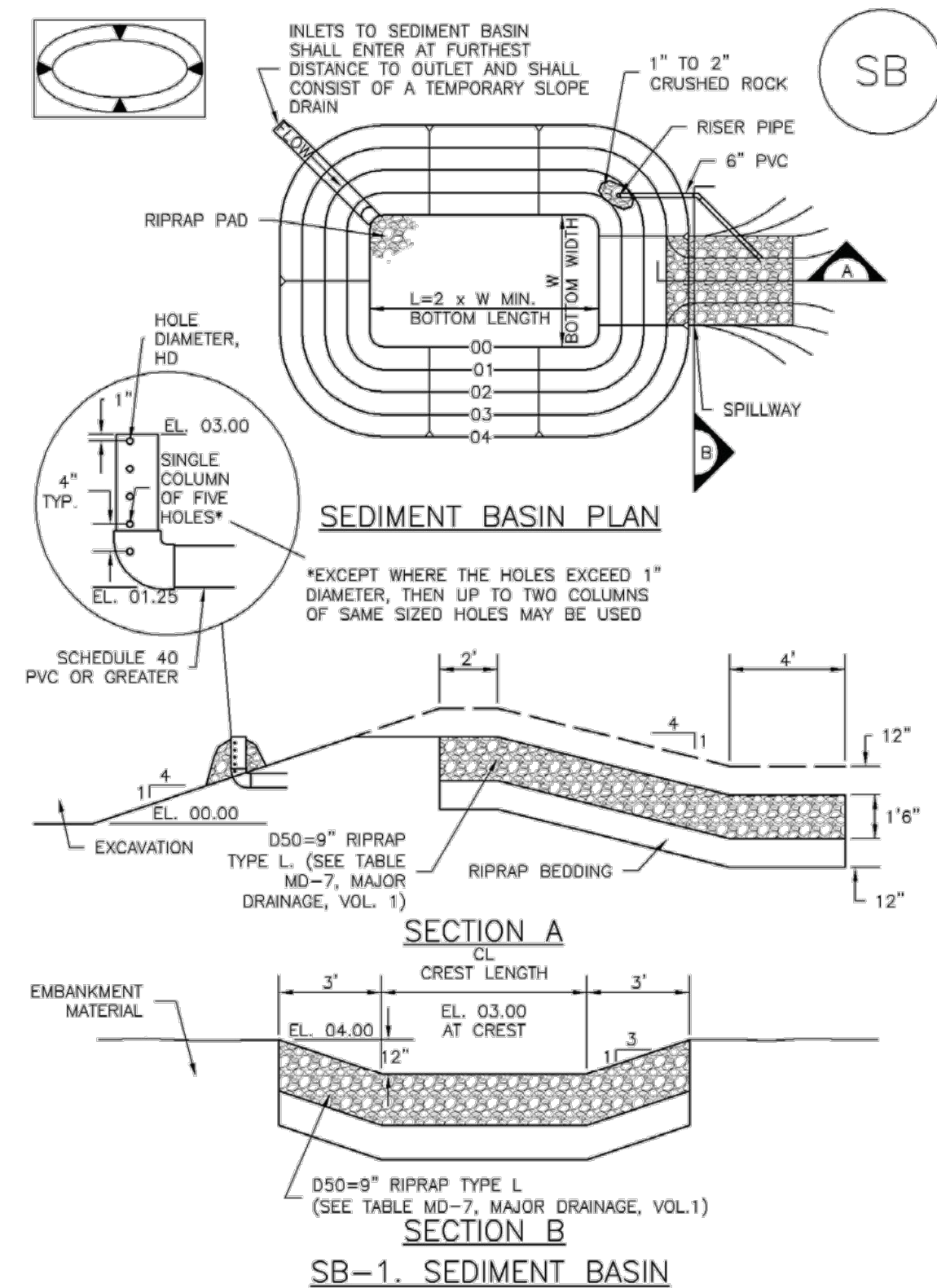
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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
FINAL EROSION CONTROL PLAN

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CHECKED BY: JS

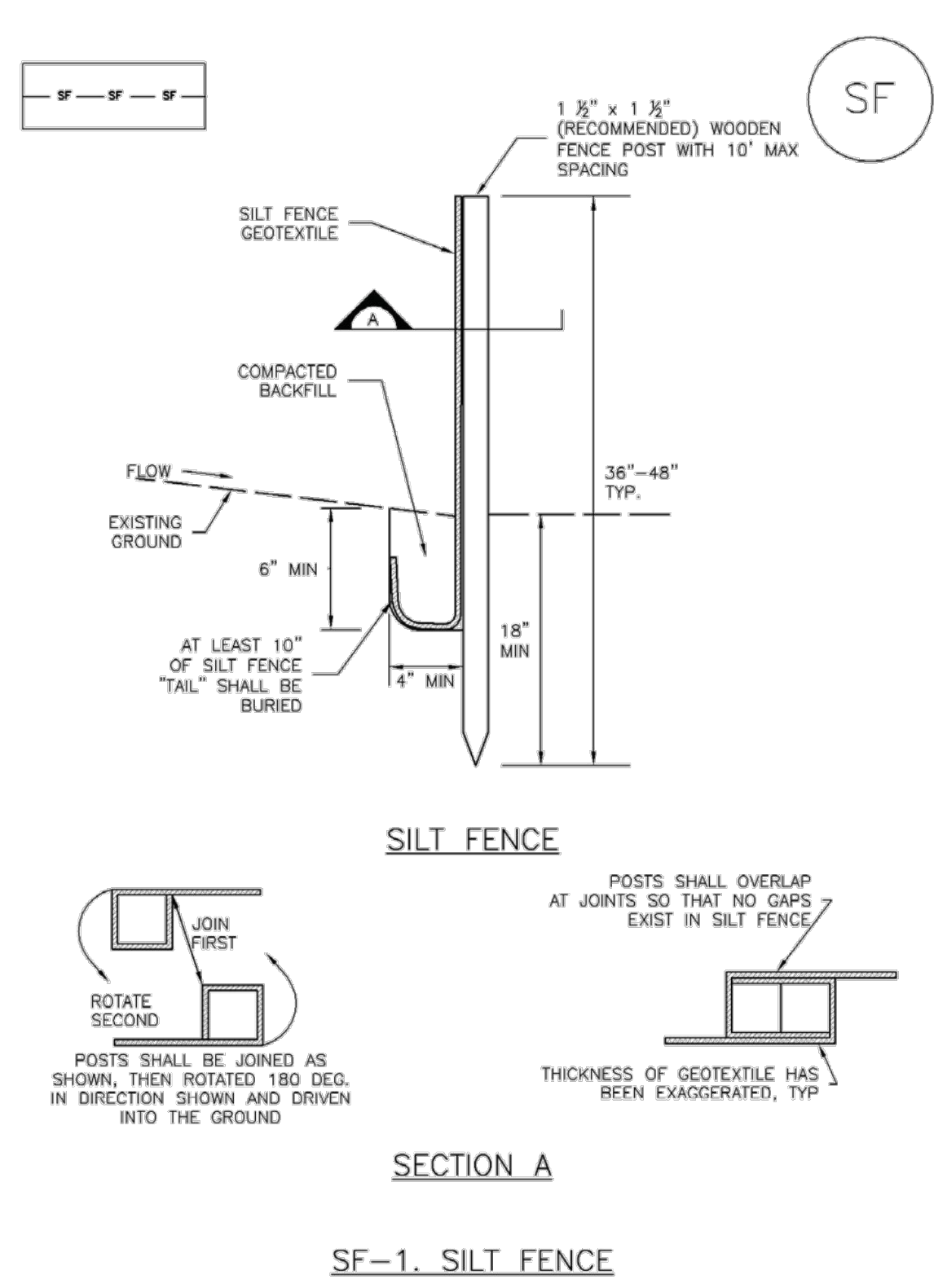
JOB NO.
19-165
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5 OF 6

Sediment Basin (SB) SC-7



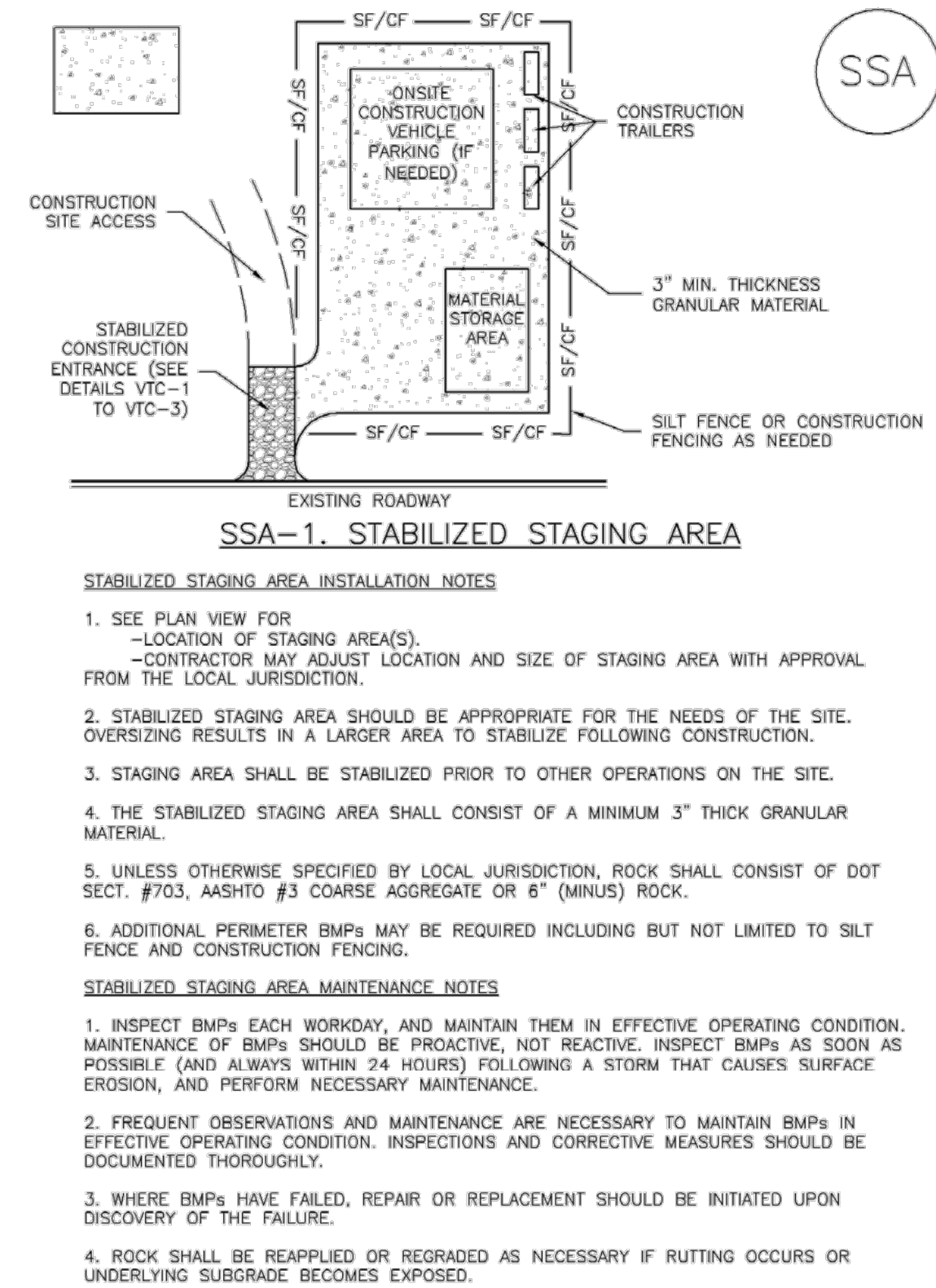
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SB-5

Silt Fence (SF) SC-1



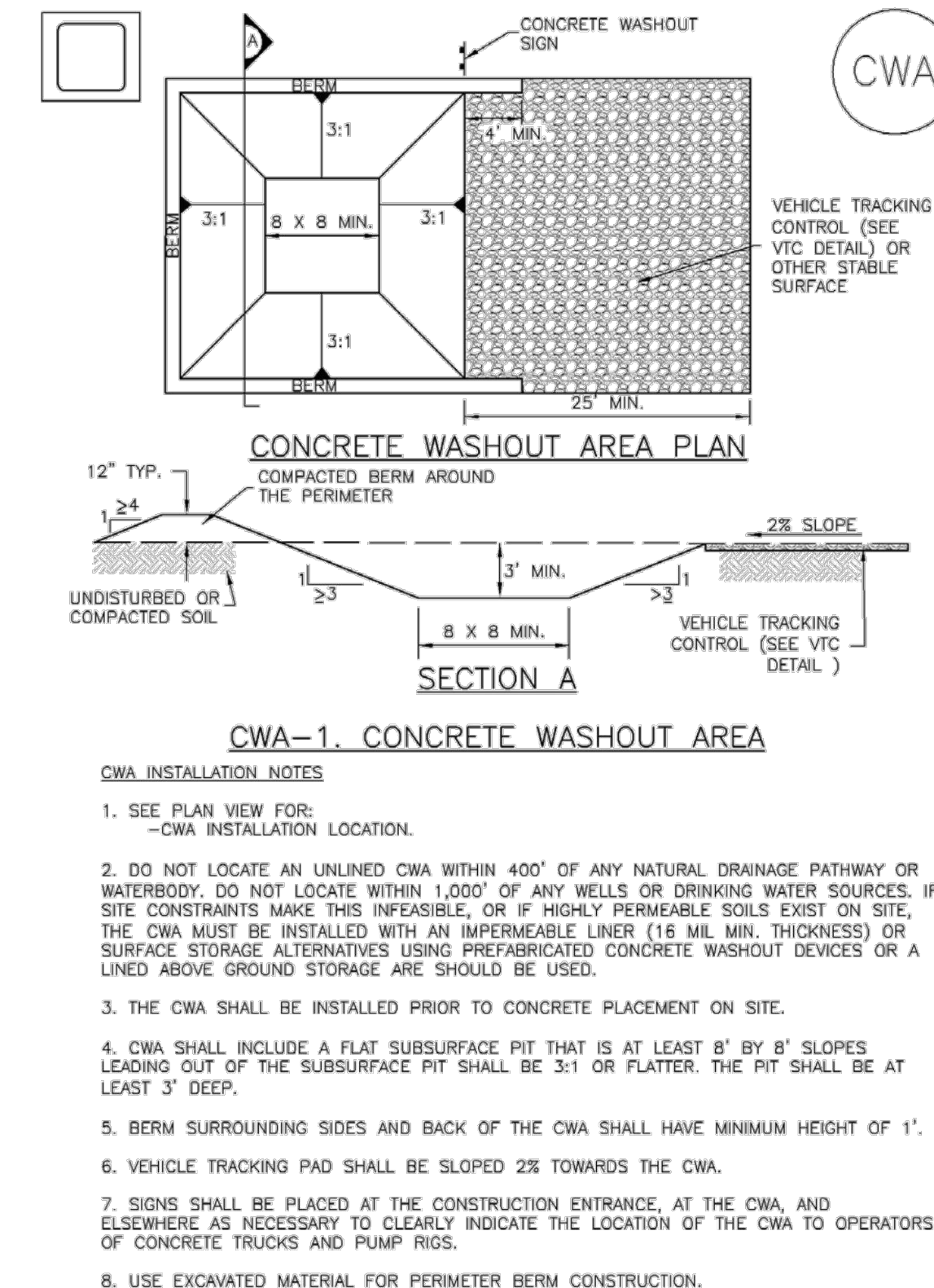
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

Stabilized Staging Area (SSA) SM-6



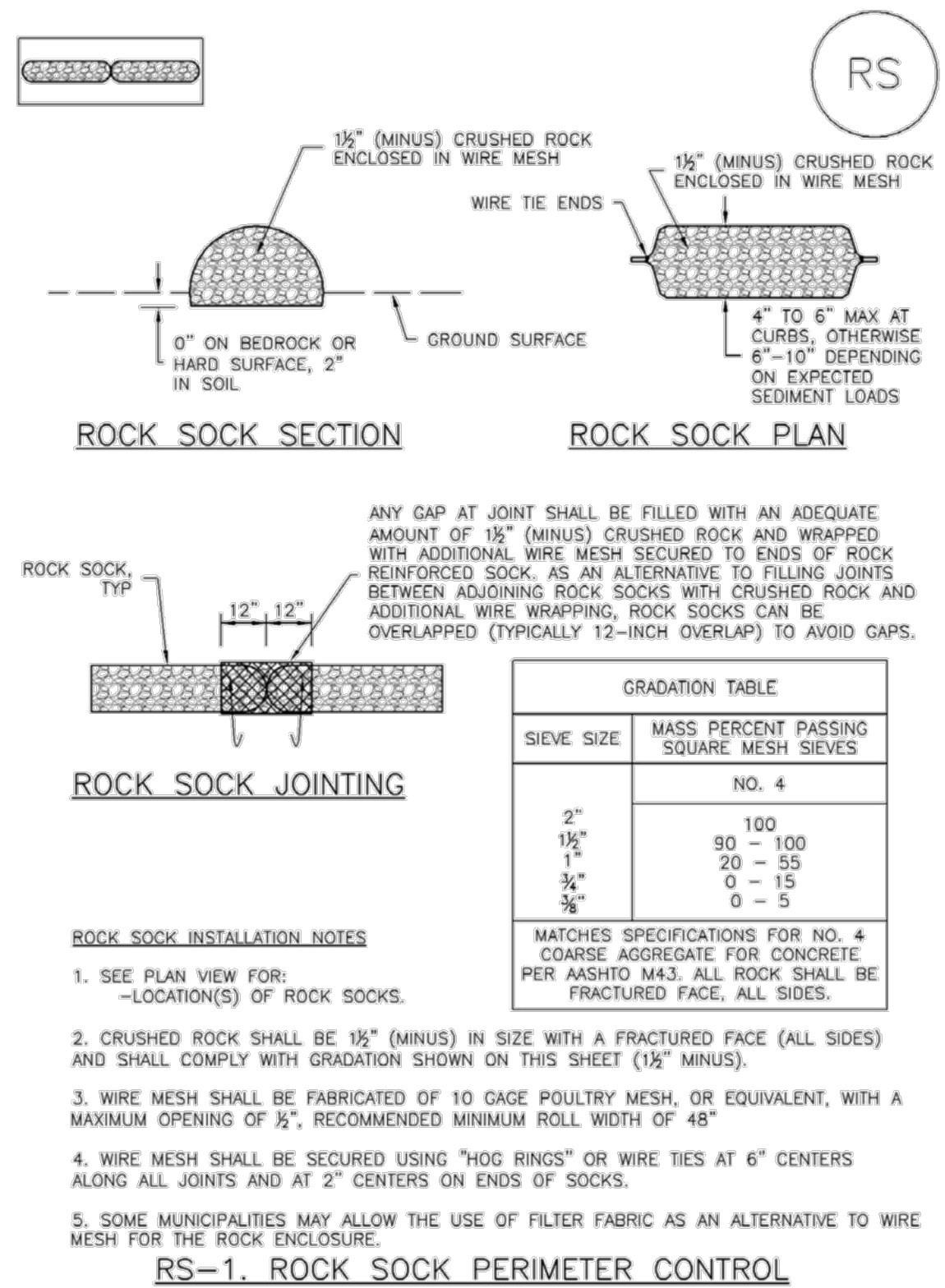
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SSA-3

Concrete Washout Area (CWA) MM-1



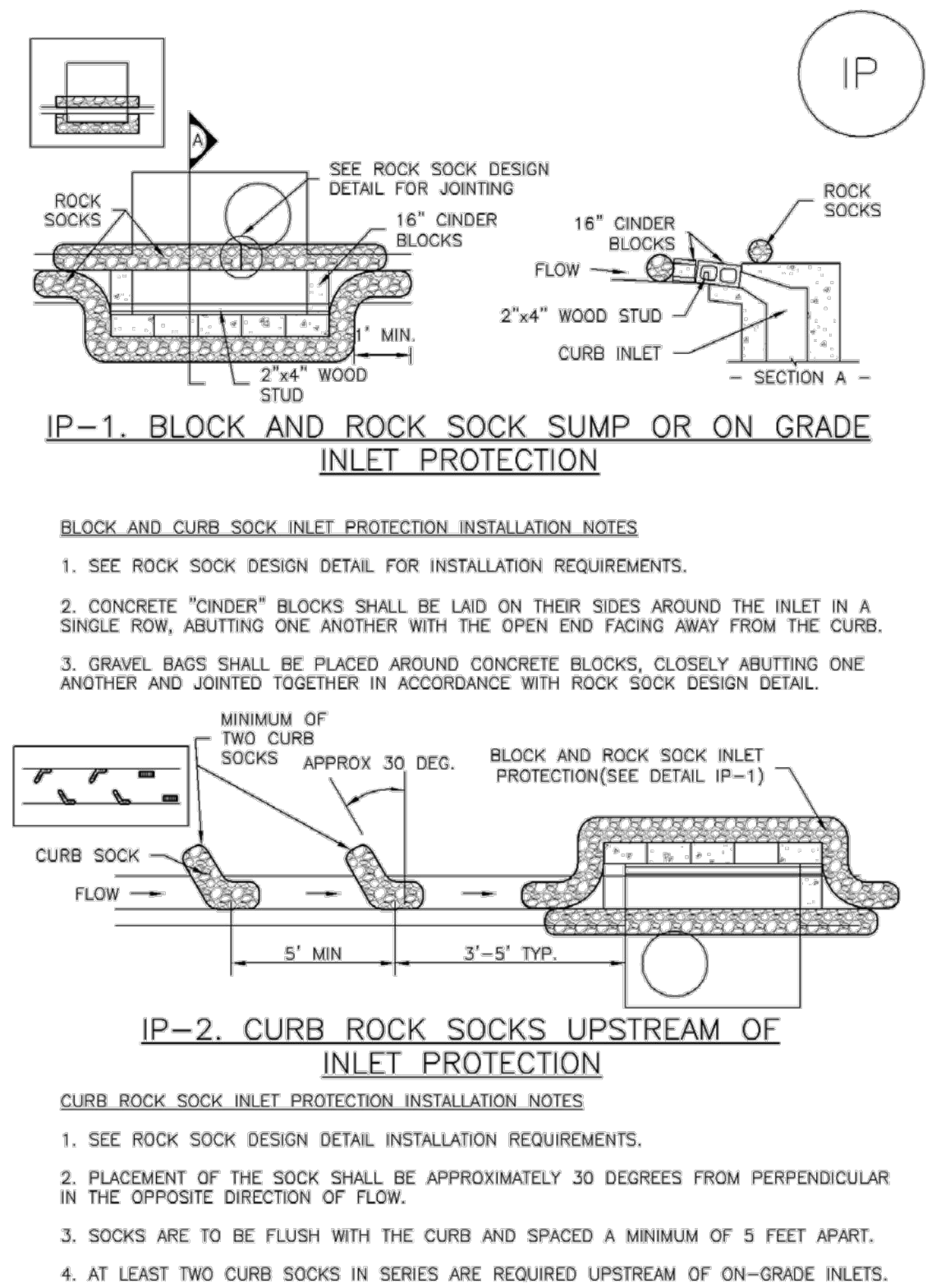
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

Rock Sock (RS) SC-5



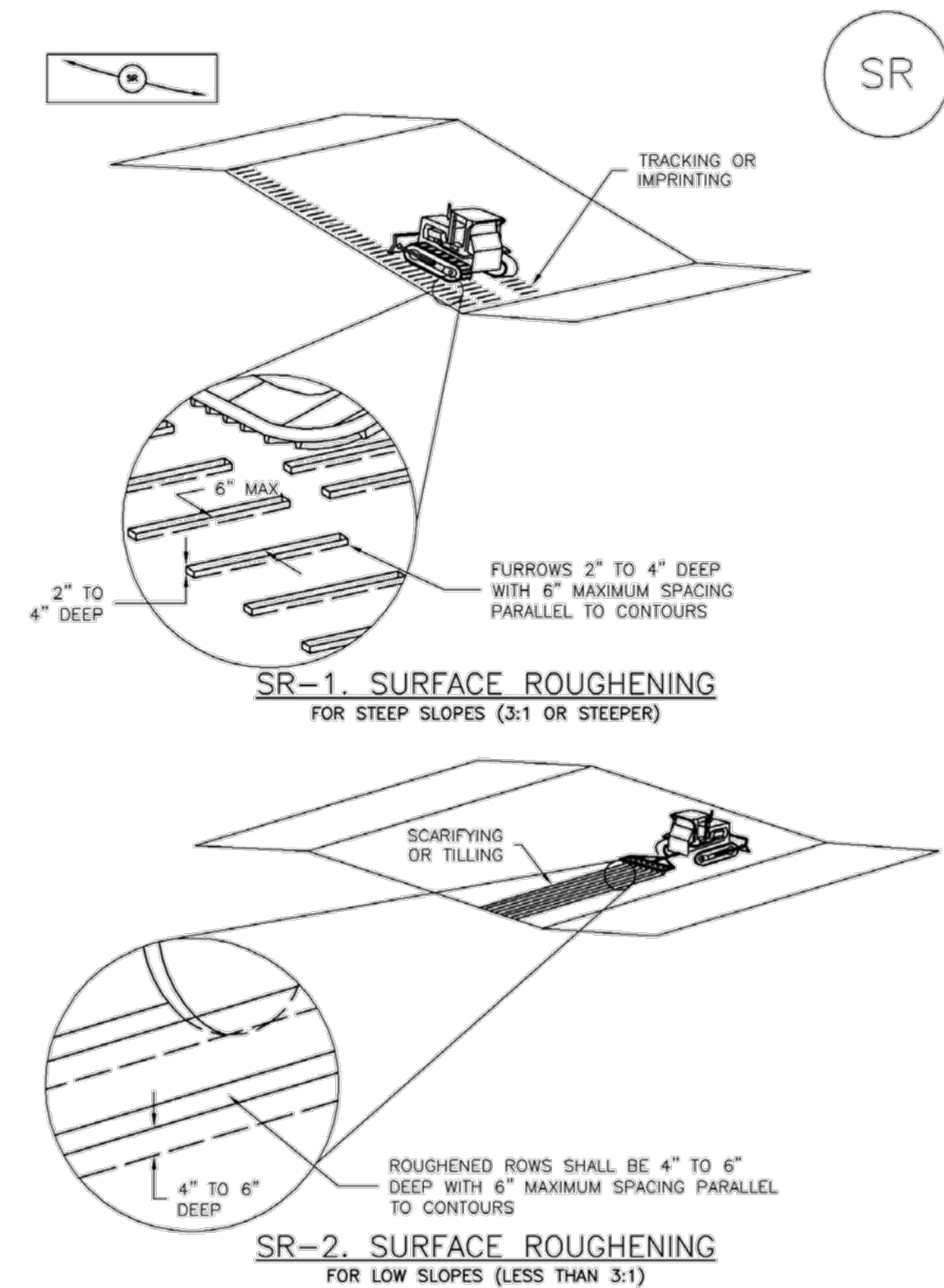
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 RS-2

Inlet Protection (IP) SC-6



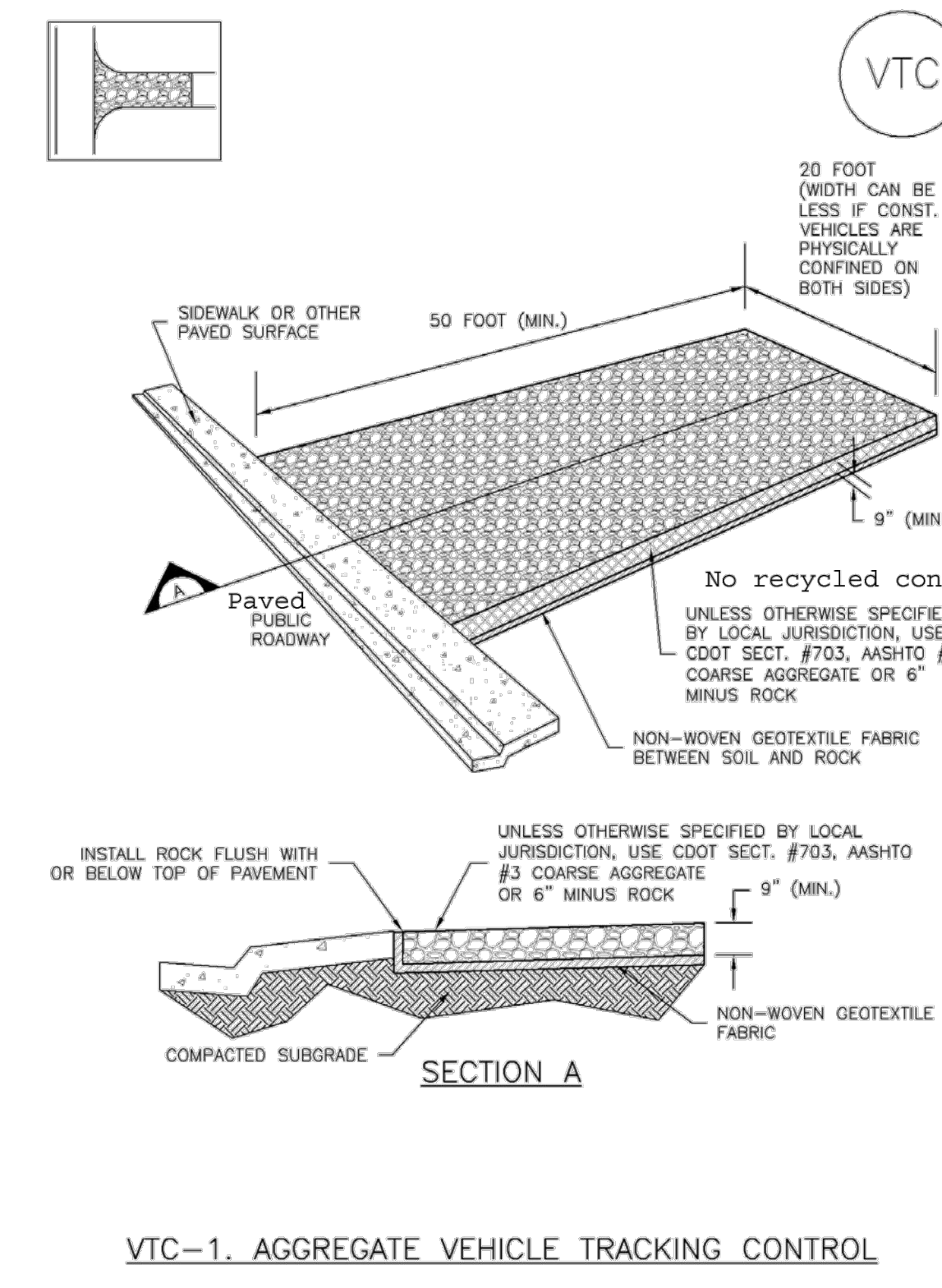
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 IP-4

Surface Roughening (SR) EC-1



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SR-3

Vehicle Tracking Control (VTC) SM-4



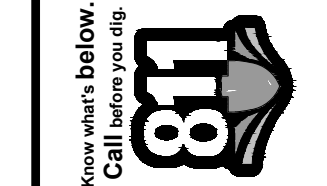
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
EROSION CONTROL DETAILS

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SHEET 6 OF 6

ELMWOOD ESTATES CIVIL CONSTRUCTION PLANS

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

OWNER
DELWEST DEVELOPMENT CORP.
155 S. MADISON ST.
DENVER, COLORADO 80209
(720) 708-4065
CONTACT: DERRELL SCHREINER

ENGINEER
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 113
CONTACT: DAVID FORBES

LANDSCAPE
TERRACINA DESIGN
10200 E. GIRARD AVENUE, SUITE A-314
DENVER, CO 80231
(303) 632-8867
CONTACT: LAYLA ROSALES

SURVEY
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 119
CONTACT: TOM GIRARD

DISTRICT MANAGER
CITY DEVELOPMENT
9500 CIVIC CENTER DRIVE
THORNTON, CO 80229
(303) 538-7295
CONTACT: TBD

CITY ENGINEER
ADAMS COUNTY
4430 S. ADAMS COUNTY PARKWAY, W2000B
BRIGHTON, CO 80601
(720) 523-6826
CONTACT: MATT EMMENS

NOTE
PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY STANDARDS AND SPECIFICATIONS AND LATEST EDITION OF COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NOTICE TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY THE SEARCH OF AVAILABLE RECORDS. THE ENGINEER ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OR AND ANY DAMAGE TO SAID FACILITIES.

NOTICE
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, CORE CONSULTANTS, INC. APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

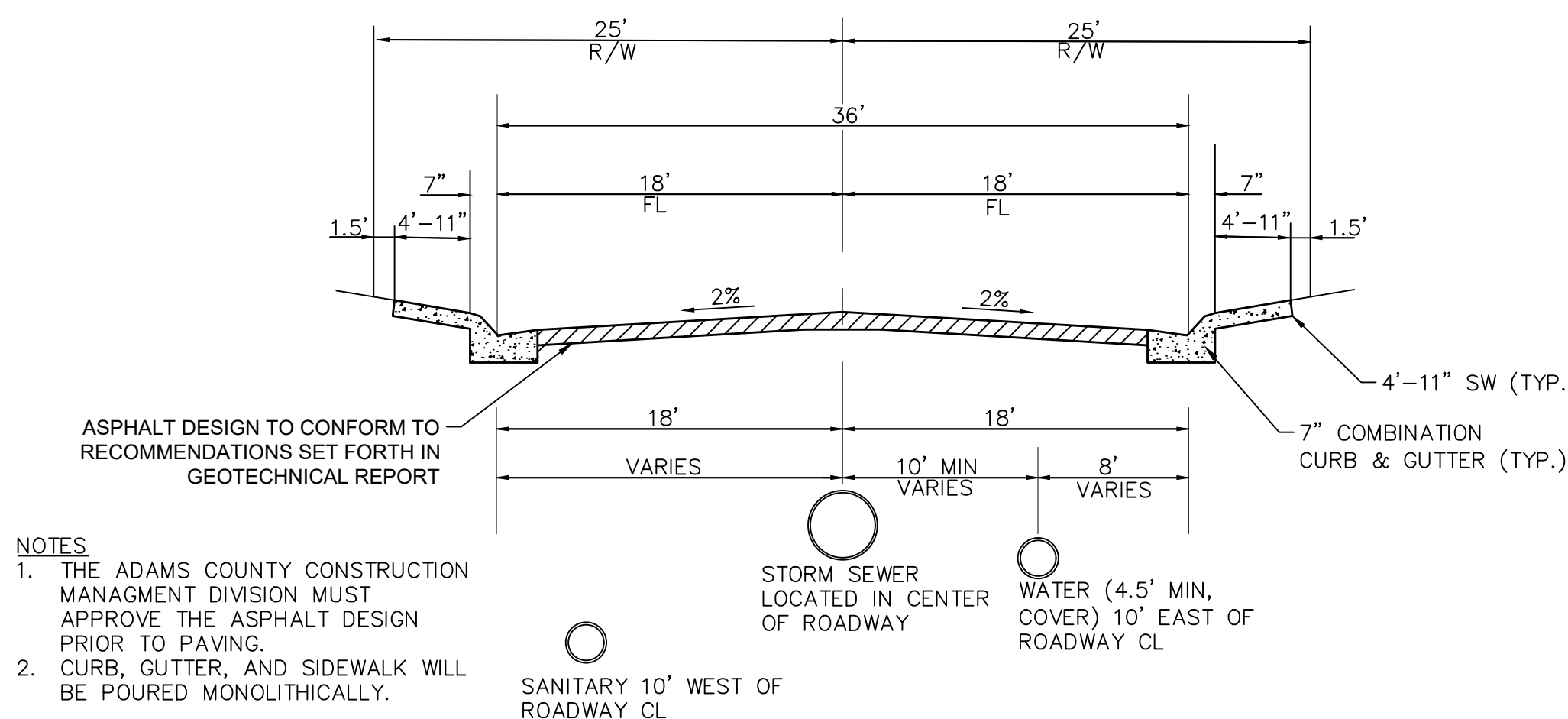
BASIS OF BEARINGS
BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6th P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX, PLS 23519 TO THE NORTHEAST CORNER OF SAID SECTION 33 BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276 WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK DESCRIPTION
NGS MONUMENT 547, P.I.D. "DJ8173, ADAMS COUNTY"
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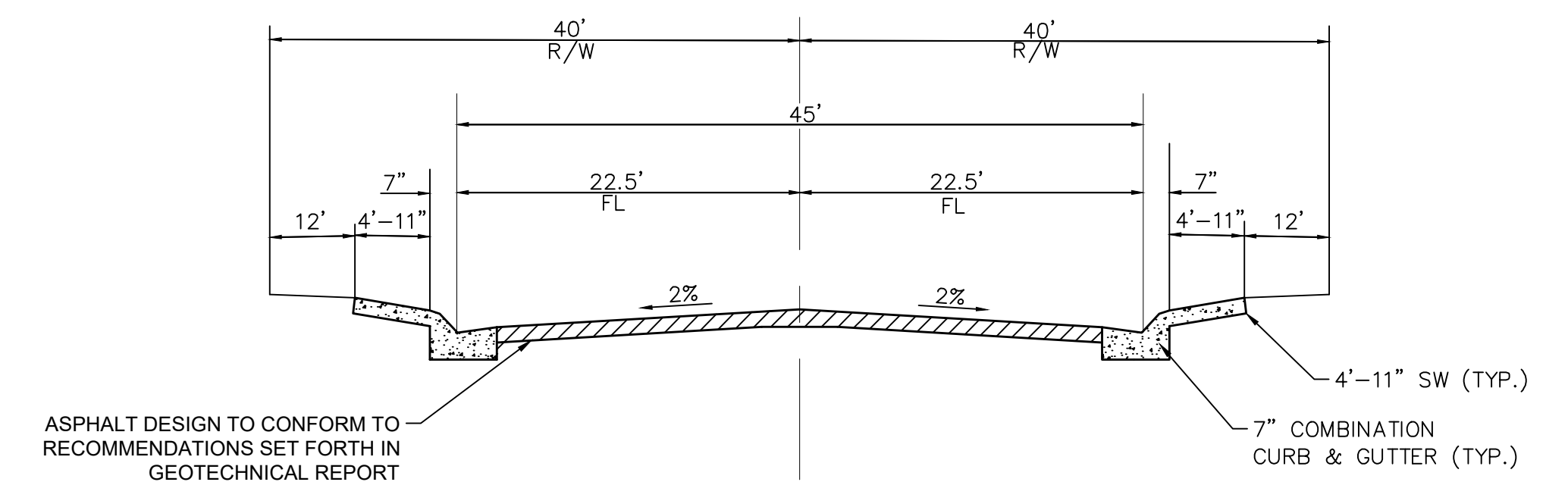


VICINITY MAP
NTS

Sheet Number	Sheet Title
1	COVER
2	NOTES
3	OVERALL SITE & UTILITY PLAN
4	GRADING PLAN
5	SIGNAGE PLAN
6	INITIAL EROSION CONTROL PLAN
7	INTERIM EROSION CONTROL PLAN
8	FINAL EROSION CONTROL PLAN
9	EROSION CONTROL DETAILS
10	OSAGE STREET PLAN & PROFILE
11	POND DETAIL
12	SITE DETAILS
13	SITE DETAILS



TYPICAL LOCAL NTS.



ENTRY ROAD NTS.

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#	REVISION DESCRIPTION	DATE	BY
1	DRAFT	XX/XX/XX	XXX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
COVER

DESIGNED BY: NW
DRAWN BY: NW
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1 OF 13

EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES:

- OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STATE OF COLORADO, COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY COR-030000 PRIOR TO CONSTRUCTION (CDPS STORMWATER CONSTRUCTION PERMIT).
- THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS CDPS STORMWATER CONSTRUCTION PERMIT LETTER OF APPROVAL AND CERTIFICATION FROM THE STATE PRIOR TO RECEIVING A COUNTY CONSTRUCTION/BUILDING PERMIT. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THIS CDPS STORMWATER CONSTRUCTION PERMIT.
- A COPY OF THE CDPS STORMWATER CONSTRUCTION PERMIT FROM CDPHE AND THE APPROVED STORMWATER MANAGEMENT PLAN (SWMP) WITH AN EROSION AND SEDIMENT PLAN SHALL BE KEPT ON SITE AND UPDATED AT ALL TIMES IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
- OWNER/CONTRACTOR IS RESPONSIBLE FOR FILING A CDPHE INACTIVATION NOTICE - CONSTRUCTION STORMWATER DISCHARGE GENERAL PERMIT CERTIFICATION; ONCE THE CONSTRUCTION SITE HAS BEEN FINALLY STABILIZED IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
- THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS INACTIVATION NOTICE. THERE WILL BE NO FEE CHARGED TO ADAMS COUNTY FOR THE INACTIVATION NOTICE OR IF THE CONTRACTOR NEGLECTS TO FILE THIS NOTICE.
- THE SWMP ADMINISTRATOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE SWMP SHALL BE MODIFIED IN COMPLIANCE TO THE CDPS STORMWATER CONSTRUCTION PERMIT.
- STANDARD INSPECTIONS - A THOROUGH INSPECTION OF THE BEST MANAGEMENT PRACTICES (BMPs) SHALL BE PERFORMED EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE EROSION.
- USE BIODEGRADABLE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER AND IN SWALES OR LONG CHANNELS.
- ALL SOIL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT THE LOSS OF MATERIAL DURING TRANSPORT. HAUL ROUTES MUST BE PERMITTED BY THE COUNTY. NO MATERIAL SHALL BE TRANSPORTED TO ANOTHER SITE WITHOUT FIRST OBTAINING A HAULING PERMIT FROM ADAMS COUNTY PLANNING.
- THE CONCRETE WASHOUT CONTAINMENT STRUCTURE SHALL CONTAIN ALL CONCRETE WASHOUT WATER. STORMWATER SHALL NOT CARRY WASTES FROM THE DESIGNATED CONCRETE WASHOUT LOCATION AND SHALL BE LOCATED A MINIMUM OF FIFTY (50) FEET HORIZONTAL FROM WATERS OF THE STATE.
- THE ACTUAL SCHEDULE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS. DOWN SLOPE PROTECTIVE MEASURES (I.E. SEDIMENT CONTROL BARRIERS) MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED.
- INSTALL SEDIMENT CONTROL BARRIERS DOWN SLOPE FROM CONSTRUCTION THAT DISTURB SITE SOIL. SEDIMENT CONTROL BARRIERS SHOULD BE INSTALLED IN THE LOCATIONS SHOWN ON THE EROSION AND SEDIMENT CONTROL DRAWINGS, AS WELL AS OTHER LOCATIONS AS DEEMED NECESSARY BY THE CONTRACTOR, INSPECTOR OR OWNER."

BMP MAINTENANCE NOTES:

- IT IS ANTICIPATED THAT THE BMPs IMPLEMENTED AT THE SITE WILL HAVE TO BE MODIFIED TO ADAPT TO CHANGING CONDITIONS OR TO ENSURE THAT POTENTIAL POLLUTANTS ARE BEING PROPERLY MANAGED AT THE SITE. WHEN BMPs ARE MODIFIED, THE SWMP MUST BE MODIFIED TO ACCURATELY REFLECT THE ACTUAL FIELD CONDITIONS.
- THE OWNER/CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL SILT FENCING SO THAT IT FUNCTIONS PROPERLY DURING CONSTRUCTION AND WORK SUSPENSIONS. ALL SILT FENCING SHALL BE REMOVED BY THE CONTRACTOR UPON SUBSTANTIAL PERMANENT STABILIZATION UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
- SILT FENCE SHALL BE INSTALLED ALONG CONTOURS AND PRIOR TO ANY GRUBBING OR GRADING ACTIVITY. IT SHALL BE LOCATED TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS IN WHICH IT SHALL BE INSTALLED AT A FAIRLY LEVEL GRADE.
- IT IS RECOMMENDED THAT SILT FENCE SHALL BE INSTALLED FIVE (5) FEET AWAY FROM THE TOE OF THE SLOPE OR STOCKPILE, AND EVERY SEVENTY FIVE (75) TO ONE HUNDRED TWENTY FIVE (125) FEET APART ON LONG SLOPES.
- DO NOT PLACE SILT FENCE IN OR ADJACENT TO EXISTING WETLANDS WHERE TRENCHING IMPACTS WETLANDS.
- ALL INLET/OUTLET PROTECTION WILL BE CHECKED FOR MAINTENANCE AND FAILURE DAILY. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE IT HAS ACCUMULATED TO HALF THE DESIGN OF THE TRAP OR DAILY DURING PERIODS OF CONSISTENT PRECIPITATION.
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VEHICLE TRACKING CONTROL DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL SHALL BE REMOVED AT THE COMPLETION OF THIS PROJECT UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
- TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE TAKES PLACE IN THE DRAINAGE AREA. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ALL VEGETATION AND ROOT MAT. SEDIMENT SHALL BE REMOVED WHEN NO LONGER FUNCTIONAL AND DISPOSED OF AT AN APPROVED LOCATION.
- ALL SEDIMENT FROM STORMWATER INFRASTRUCTURE (I.E. DETENTION PONDS, STORM SEWER PIPES, OUTLETS, INLETS, ROADSIDE DITCHES, ETC.) SHALL BE REMOVED PRIOR TO INITIAL ACCEPTANCE. THIS SEDIMENT SHALL NOT BE FLUSHED OFF-SITE, BUT SHALL BE CAPTURED ON-SITE AND DISPOSED OF AT AN APPROVED LOCATION.
- TEMPORARY ROCK CHECK DAM - THE MAXIMUM HEIGHT OF THE CHECK DAM AT THE CENTER SHOULD NOT EXCEED ONE HALF THE DEPTH OF THE DITCH OR SWALE. THE MAXIMUM SPACING BETWEEN DAMS SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
- CONSTRUCTION SAFETY BARRIER FENCING (ORANGE CONSTRUCTION FENCE) MUST BE USED TO PROTECT WETLANDS AND OTHER SENSITIVE AREAS AND TO PREVENT ACCESS.
- WATER FROM DEWATERING OPERATIONS SHALL NOT BE DIRECTLY DISCHARGED INTO ANY WATERS CONVEYANCE SYSTEMS INCLUDING WETLANDS, IRRIGATION DITCHES, CANALS, RIVERS, STREAMS OR STORM SEWER SYSTEMS, UNLESS ALLOWED BY A STATE CONSTRUCTION DEWATERING PERMIT.

PERFORMANCE NOTES:

- TEMPORARY AND/OR PERMANENT BMPs INTENDED TO CONTROL EROSION OF AN EARTH DISTURBANCE OPERATION SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS TAKE PLACE IN SEQUENCE WITH PROPER PHASING.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES, SOIL AND VEGETATION.
- PERSONS ENGAGED IN EARTH DISTURBANCES SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS ADOPTED BY ADAMS COUNTY AND IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
- EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
- SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH DISTURBANCE.
- EXCAVATED MATERIAL AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE STOCKPILED WITHIN THE ROADWAY SECTION. BACKFILL MATERIALS UP TO A MAXIMUM OF 130 CY MAY BE STOCKPILED, WITH APPROPRIATE EROSION CONTROL MEASURE, BUT MUST BE REMOVED OR PLACED BY THE END OF EACH WORK WEEK.
- ANY CONSTRUCTION AREAS, NOT GRADED TO FINAL GRADE, REQUIRE TEMPORARY BMPs FOR SITE STABILIZATION.
- AS NECESSARY, CONSTRUCT A TEMPORARY FACILITY DESIGNATED FOR CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE CONSTRUCTION SITE.
- PERMANENT EROSION AND SEDIMENT CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURE'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
- CONCRETE WASHOUTS SHALL NOT BE PLACED IN LOW AREAS, DITCHES OR ADJACENT TO STATE WATERS.
- THE OWNER/CONTRACTOR SHALL CHECK THE CAPACITY FOR ALL CONCRETE WASHOUT AREAS. WASTE MATERIALS MUST BE REMOVED BY THE CONTRACTOR AND LEGALLY DISPOSED OF WHEN ACCUMULATIONS AMOUNT TO TWO-THIRDS (2/3) OF THE WET STORAGE CAPACITY OF THE STRUCTURE.
- ALL CONCRETE WASHOUT AREAS SHALL BE CLEARLY MARKED. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE WILL INCLUDE A 2'X3' SIGN POSTED WITH THE WORDS "CONCRETE WASHOUT". THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF. CONCRETE WASHOUT WASTE MUST NOT BE BURIED.
- DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE SHALL BE TEMPORARILY STABILIZED IMMEDIATELY AFTER INTERIM GRADING.
- FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAS BEEN EMPLOYED.
- RECORDS OF SPILLS, LEAKS, OR OVERFLOWS THAT RESULT IN THE DISCHARGE OF POLLUTANTS MUST BE DOCUMENTED AND MAINTAINED. SOME SPILLS MAY NEED TO BE REPORTED TO THE DIVISION IMMEDIATELY; SPECIFICALLY, A RELEASE OF ANY CHEMICAL OIL, PETROLEUM PRODUCT, SEWAGE, ETC., WHICH MAY ENTER WATERS OF THE STATE, MUST BE REPORTED. MORE GUIDANCE IS AVAILABLE ON THE WEB AT WWW.CDPHE.STATE.CO.US/EMP/SPILLSANDRELEASED.HTM THE DIVISION'S TOLL FREE 24-HOUR ENVIRONMENTAL EMERGENCY SPILL REPORTING LINE IS 1-877-518-5608. ALSO IMMEDIATELY CALL ADAMS COUNTY AT 303-453-8787 AND THE TRI-COUNTY HEALTH DEPARTMENT AT 303-220-9200"

CONSTRUCTION NOTES

GENERAL CONSTRUCTION NOTES:

- A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT THE ADAMS COUNTY CONSTRUCTION INSPECTOR SUPERVISOR AT 720-523-6965.
- ALL CONCRETE CURB, GUTTER AND WALK MUST BE POURED MONOLITHICALLY USING 4,500 PSI CONCRETE WITH FIBER MESH.
- ALL MATERIAL SUBMITTALS MUST BE APPROVED, STAMPED AND SIGNED, BY THE ENGINEER OF RECORD AND, SUBMITTED TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR FOR APPROVAL PRIOR TO CONSTRUCTION/INSTALLATION.
- THE CONTRACTOR IS REQUIRED TO SUBMIT COPIES OF ALL CONCRETE AND ASPHALT TICKETS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING AND, IS REQUIRED TO SUBMIT ALL TEST RESULTS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
- THE CONTRACTOR IS REQUIRED TO REMOVE A MINIMUM OF TWO (2) FEET OF EXISTING ASPHALT FOR ALL CURB AND GUTTER REPLACEMENT.
- ALL UTILITY CUTS IN EXISTING STREETS ARE REQUIRED TO BE BACKFILLED WITH FLOWFILL AND, PATCHED WITH A MINIMUM OF 9-INCH ASPHALT PATCH.
- A COPY OF THE GEOTECHNICAL REPORT SPECIFYING THE PAVEMENT THICKNESS DESIGN MUST BE SUBMITTED FOR REVIEW.
- PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL UTILITIES. THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE LINEAL FOOTAGES AND THE NUMBER OF SERVICE CUTS REQUIRED FOR ALL UTILITIES.
- PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL CONCRETE AND ASPHALT FACILITIES. PRIOR TO THE ISSUANCE OF THESE PERMITS, THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE SQUARE YARDAGE/SQUARE FOOTAGES OF ALL CONCRETE AND ASPHALT BEING INSTALLED.
- THE SIA MUST BE COMPLETED WITH APPROPRIATE COLLATERAL, ALONG WITH THE PROPOSED PLAT, PRIOR TO THE ISSUANCE OF ANY ROW ACCESS/CONSTRUCTION PERMIT.
- NO C.O.'S WILL BE ISSUED FOR ANY BUILDING CONSTRUCTION UNTIL ALL ROW IMPROVEMENTS HAVE BEEN COMPLETED AND HAVE BEEN GRANTED PRELIMINARY ACCEPTANCE.
- UPON COMPLETION OF ALL CONSTRUCTION, A DRAINAGE CERTIFICATION LETTER, AND APPROPRIATE AS-BUILT CONSTRUCTION DRAWINGS AND INFORMATION WILL BE REQUIRED. THIS LETTER WILL BE STAMPED AND SIGNED BY THE ORIGINAL DESIGN ENGINEER.

STORMWATER GENERAL NOTE:

- PER COLORADO REVISED STATUTE 37-92-602(8), ALL STORMWATER FACILITIES THAT RETAIN OR DETAIN STORMWATER MUST BE REGISTERED WITH THE STATEWIDE NOTIFICATION COMPLIANCE PORTAL (SNCP). IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO REGISTER THE STORMWATER FACILITY ON THE SNCP. THE FACILITY MUST BE REGISTERED WITH THE SNCP WITHIN TEN (10) DAYS OF THE COUNTY RECEIVING THE FINAL POND CERTIFICATION FROM THE ENGINEER OF RECORD. THE COUNTY IS REQUIRED TO VERIFY THE REGISTRATION OF THE STORMWATER FACILITY WITHIN 30 DAYS OF POSTING. THE STATEWIDE NOTIFICATION COMPLIANCE PORTAL CAN BE FOUND AT THE FOLLOWING WEB ADDRESS:

[HTTPS://MAPATURE.DIGITALDATASERVICES.COM/GWH/?MEWER=CSWDF](https://MAPATURE.DIGITALDATASERVICES.COM/GWH/?MEWER=CSWDF)

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR HITTING UTILITY LINES. THE USER OF THIS DRAWING HAS BEEN ADVISED OF THE BEST PRACTICES FOR IDENTIFYING AND MARKING THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

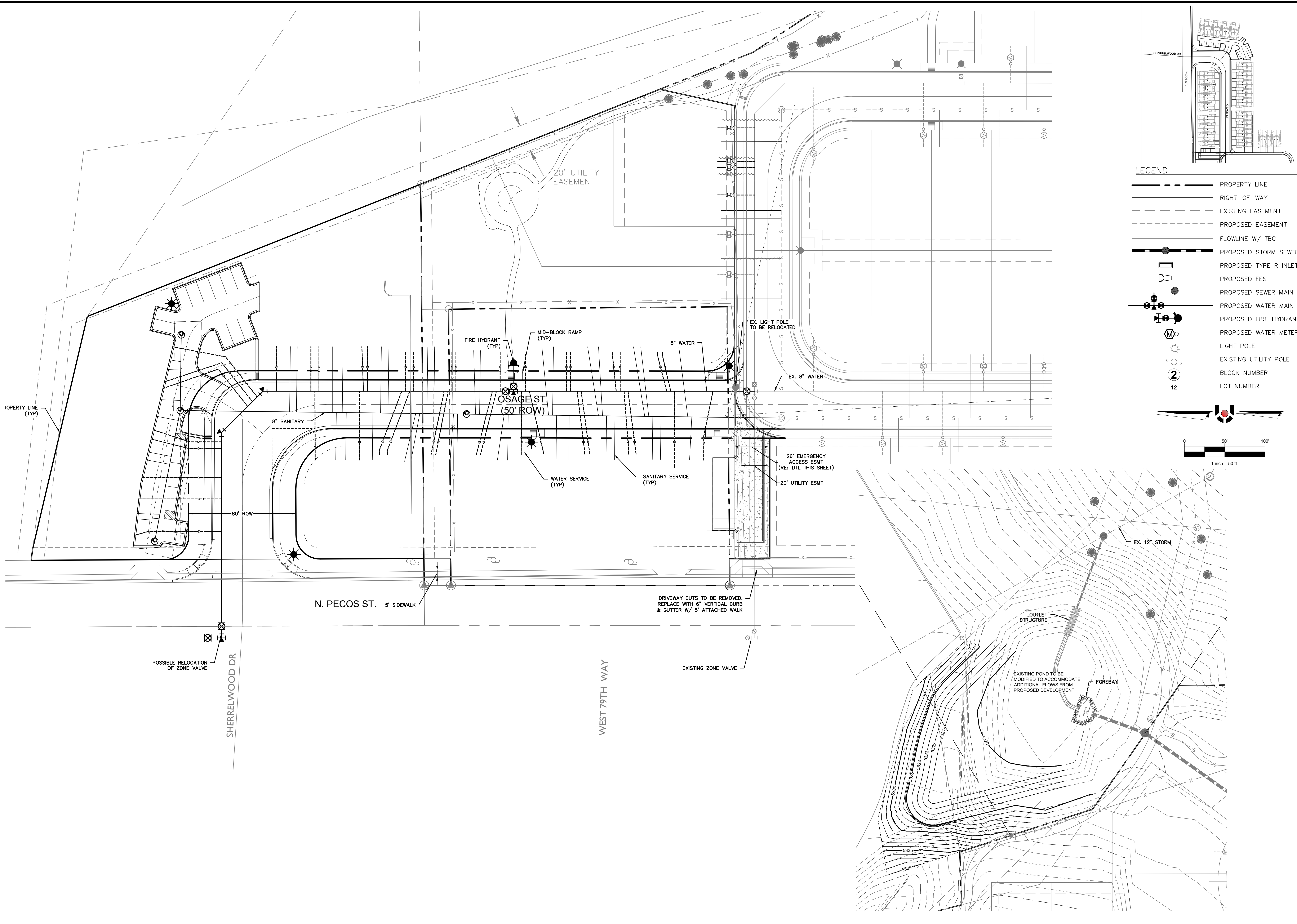
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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
NOTES

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165
SHEET
2 OF 13

10/16/2020 11:30 AM - X:\19-165 ELMWOOD ESTATES\CIVIL\DWG\PLANS\ELING - OVERALL SITE-UTILITY.DWG



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- FLOWLINE W/ TBC
- PROPOSED STORM SEWER
- PROPOSED TYPE R INLET
- PROPOSED FES
- PROPOSED SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- LIGHT POLE
- EXISTING UTILITY POLE
- BLOCK NUMBER
- LOT NUMBER

12

1 inch = 50 ft.

CORE CONSULTANTS

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NATURAL RESOURCES CONSULTING
LAND SURVEYING

303.703.4444
1950 W. Litchton Blvd., Ste. 109
Litchton, CO 80120

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES. CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES. PERMISSION HAS BEEN OBTAINED FROM THE CITY OF DENVER TO SHOW EXISTING UTILITY LINES SHOWN ON THIS DRAWING HAVE BEEN LOCATED FOR THE BEST AVAILABLE INFORMATION. TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO

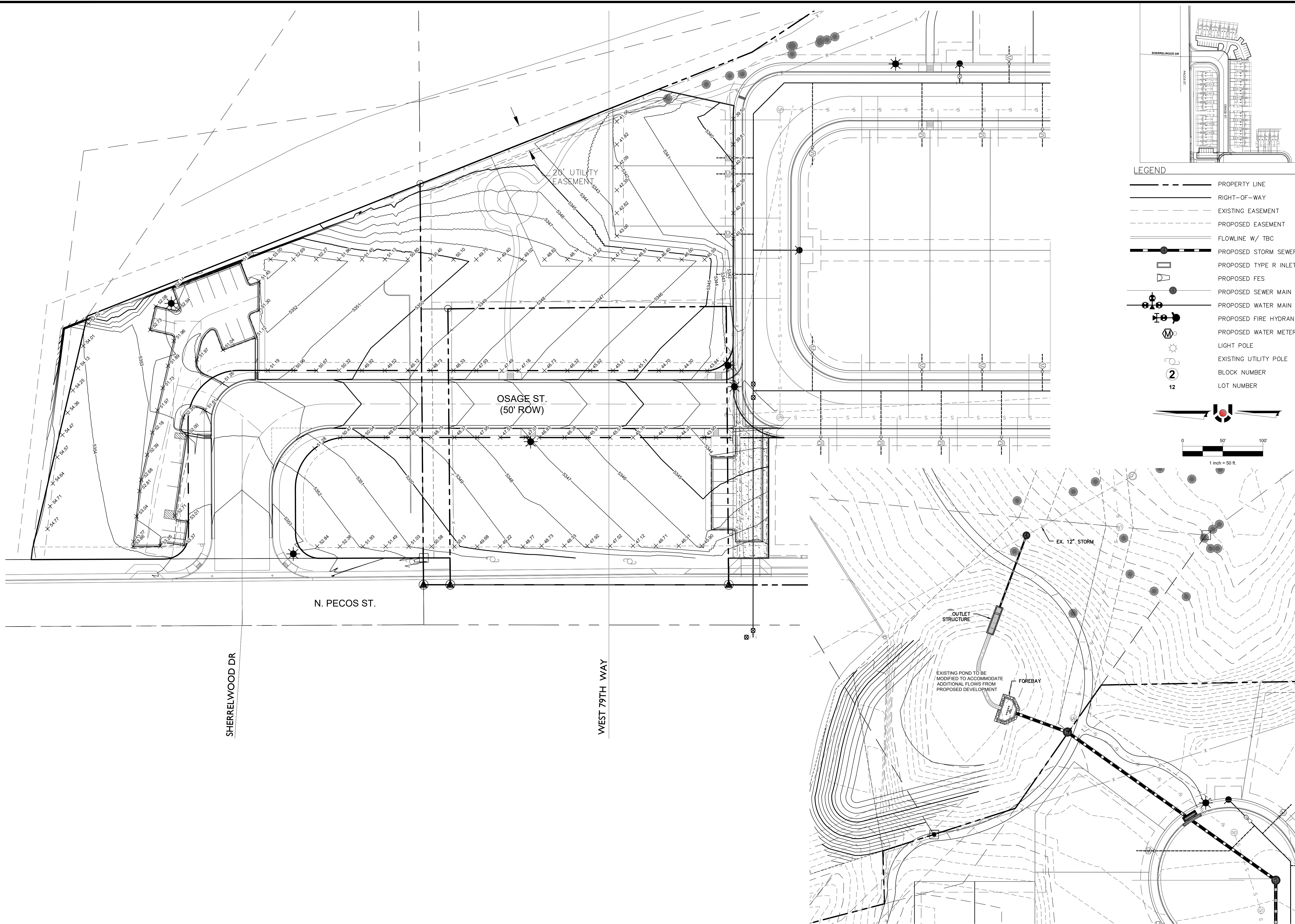
CONSTRUCTION DRAWINGS
OVERALL SITE & UTILITY PLAN

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

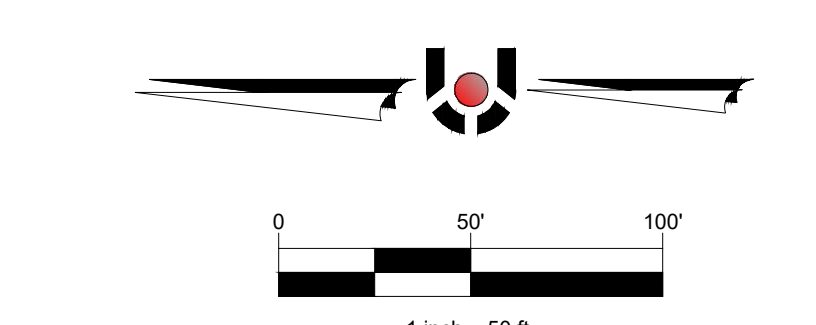
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19-165

SHEET
3 OF 13

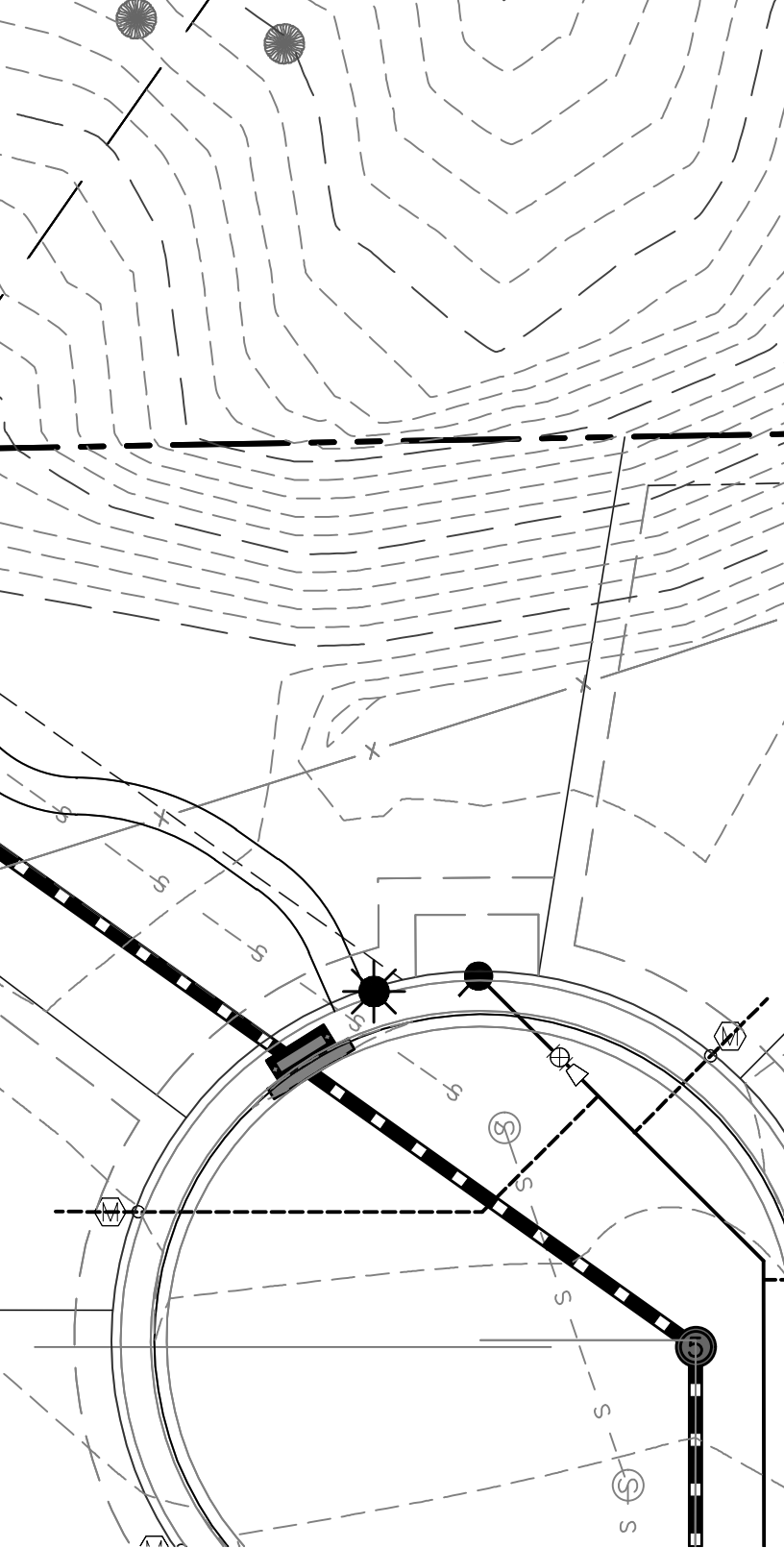
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- LEGEND**
- PROPERTY LINE
 - - - RIGHT-OF-WAY
 - - - EXISTING EASEMENT
 - - - PROPOSED EASEMENT
 - FLOWLINE W/ TBC
 - PROPOSED STORM SEWER
 - PROPOSED TYPE R INLET
 - PROPOSED FES
 - PROPOSED SEWER MAIN
 - PROPOSED WATER MAIN
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER METER
 - LIGHT POLE
 - EXISTING UTILITY POLE
 - 12 BLOCK NUMBER
 - 12 LOT NUMBER



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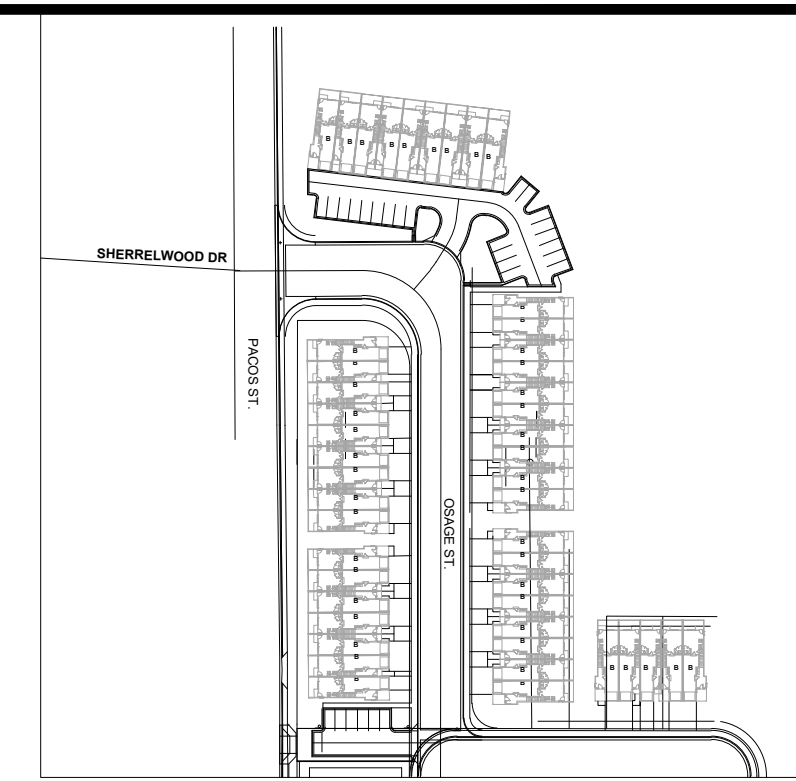
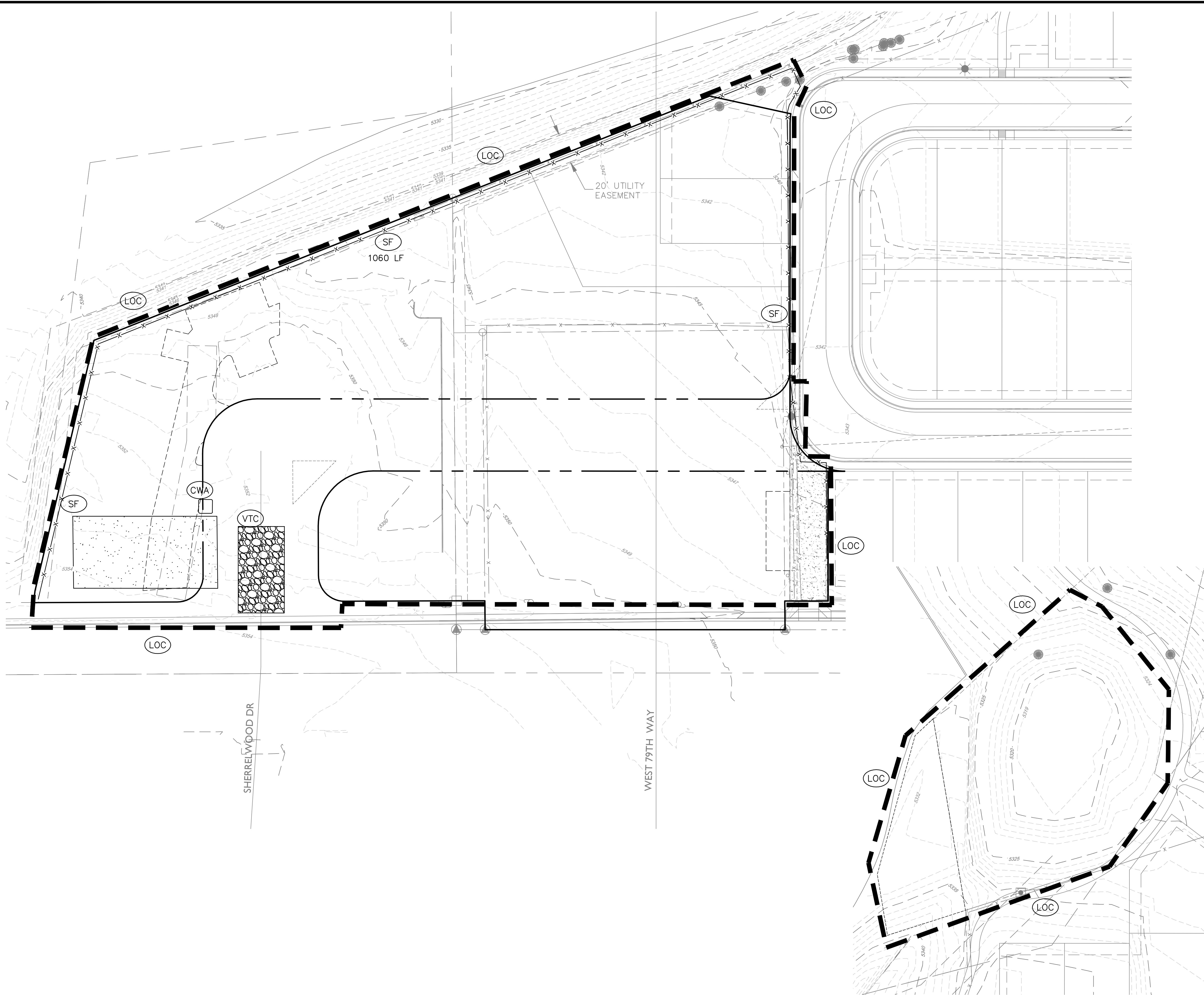
CORE
 CONSULTANTS

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND UTILITY LINES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
 LINES SHOWN ON THIS DRAWING HAVE BEEN LOCATED
 FOR THE BEST COPY OF THE INFORMATION TO BE OBTAINED
 THE LOCATION OF ALL UTILITIES PRIOR TO THE
 COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

ELWOOD ESTATES
 ADAMS COUNTY, COLORADO
 CONSTRUCTION DRAWINGS
 GRADING PLAN

DESIGNED BY: NW
 DRAWN BY: NW
 CHECKED BY: JS

JOB NO.
 19-165
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 4 OF 13

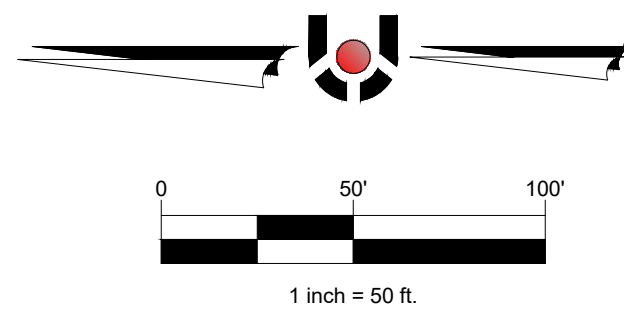


MAPPING LEGEND

- 5610--- EXISTING MAJOR CONTOUR
 - 5610--- EXISTING MINOR CONTOUR
 - 5610--- PROPOSED MAJOR CONTOUR
 - 5610--- PROPOSED MINOR CONTOUR
 - 5610--- PROPERTY LINE
 - 5610--- DIRECTIONAL FLOW ARROW
 - 5610--- OVERFLOW DIRECTION
- BMP LEGEND**
- (CD) CHECK DAM
 - (CB) COMPOST BLANKET
 - (CFB) COMPOST FILTER BERM
 - (CWA) CONCRETE WASHOUT AREA
 - (CF) CONSTRUCTION FENCE
 - (CM) CONSTRUCTION MARKER
 - (DW) DEWATERING
 - (DD) DIVERSION DITCH
 - (ECB) EROSION CONTROL BLANKET
 - (IP) INLET PROTECTION
 - (RCD) REINFORCED CHECK DAM
 - (RRB) REINFORCED ROCK BERM
 - (RRC) RRB FOR CULVERT PROTECTION
 - (SB) SEDIMENT BASIN
 - (SCL) SEDIMENT CONTROL LOG
 - (ST) SEDIMENT TRAP
 - (SM) SEEDING AND MULCHING
 - (SF) SILT FENCE
 - (SSA) STABILIZED STAGING AREA
 - (SR) SURFACE ROUGHENING
 - (TSD) TEMPORARY SLOPE DRAIN
 - (TSC) TEMPORARY STREAM CROSSING
 - (TER) TERRACING
 - (VTC) VEHICLE TRACKING CONTROL
 - (VTC) VTC WITH WHEEL WASH
 - (VTC) ROCK AND RIPRAP GRADATIONS
 - (LOC) LIMITS OF CONSTRUCTION

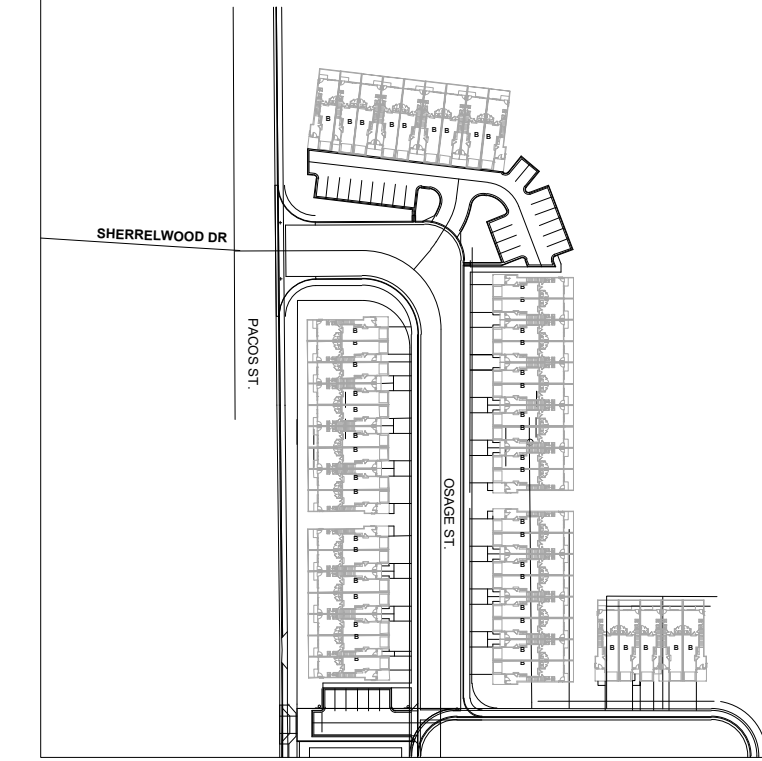
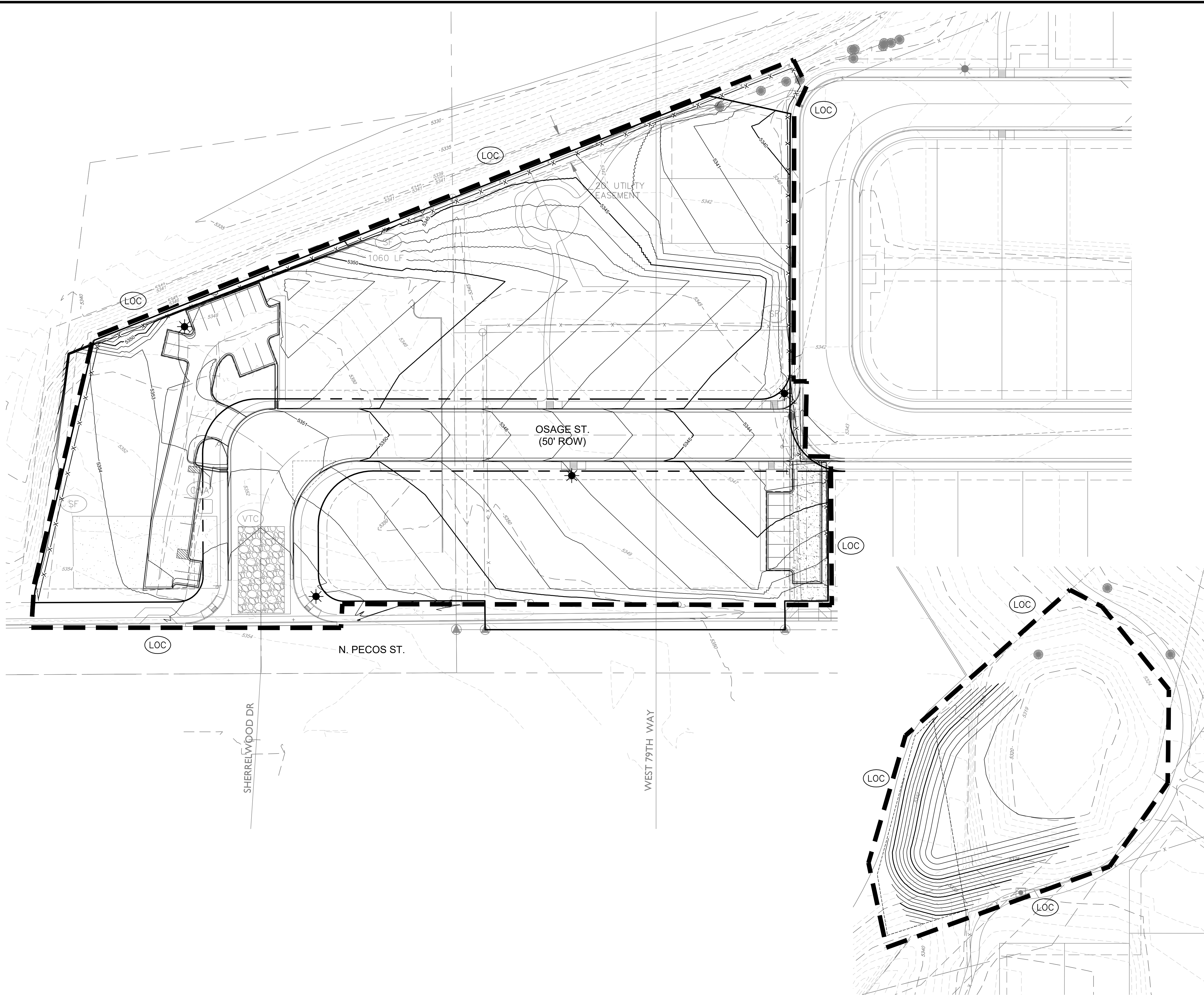
NOTES

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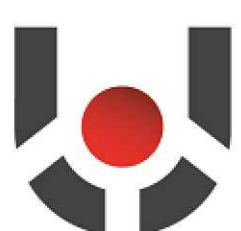
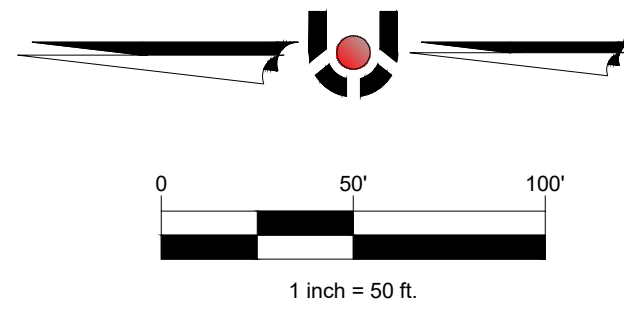


MAPPING LEGEND

- 5610--- EXISTING MAJOR CONTOUR
 - 5610--- EXISTING MINOR CONTOUR
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 - 5610--- PROPOSED MINOR CONTOUR
 - 5610--- PROPERTY LINE
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 - (VTC) VEHICLE TRACKING CONTROL
 - (VW) VTC WITH WHEEL WASH
 - (RW) ROCK AND RIPRAP GRADATIONS
 - (LOC) LIMITS OF CONSTRUCTION

NOTES

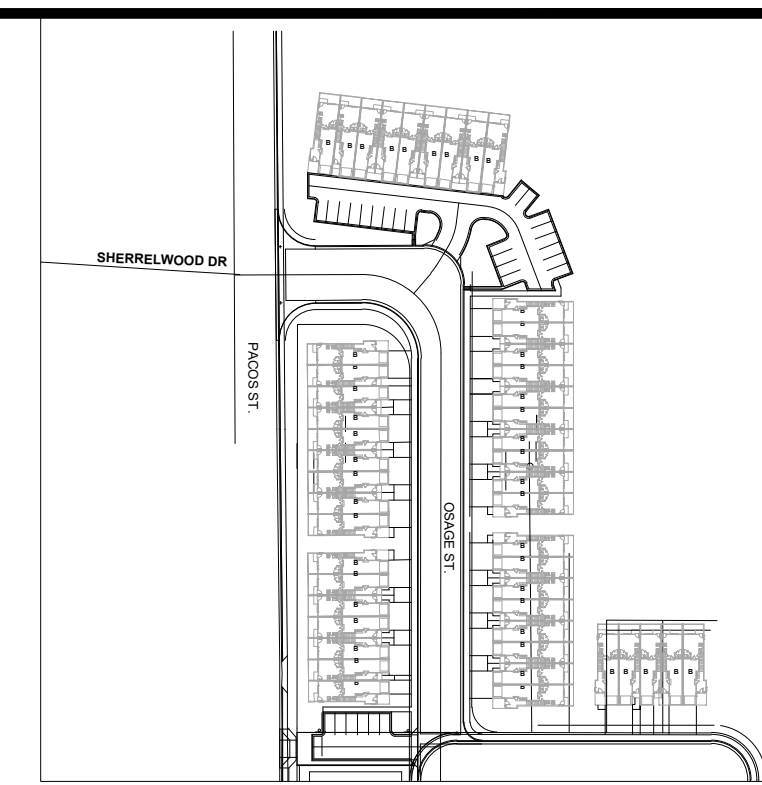
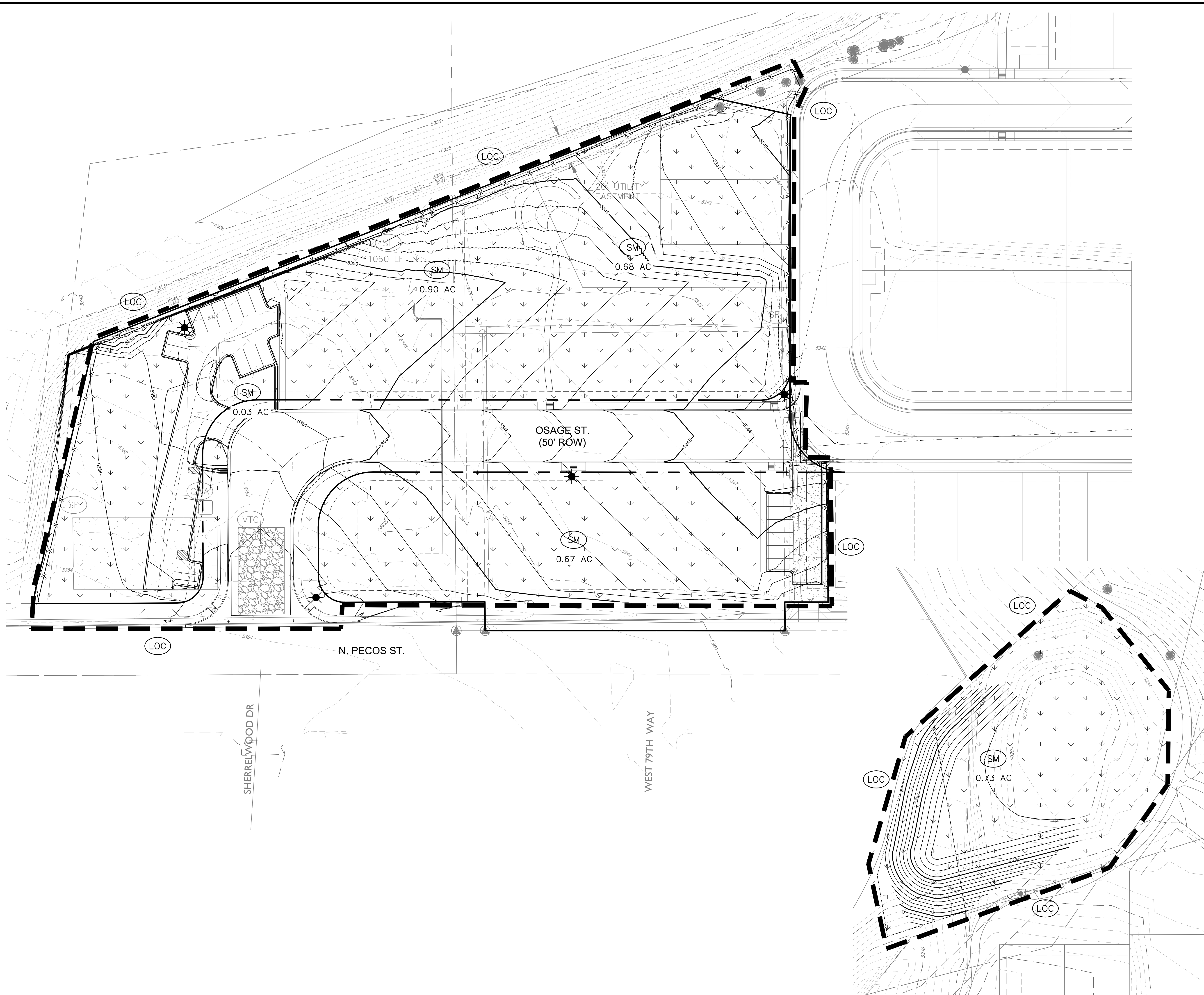
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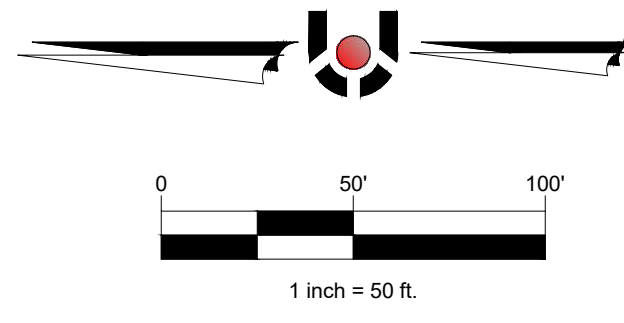


MAPPING LEGEND

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 - 5610--- PROPOSED MAJOR CONTOUR
 - 5610--- PROPOSED MINOR CONTOUR
 - 5610--- PROPERTY LINE
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 - 5610--- OVERFLOW DIRECTION
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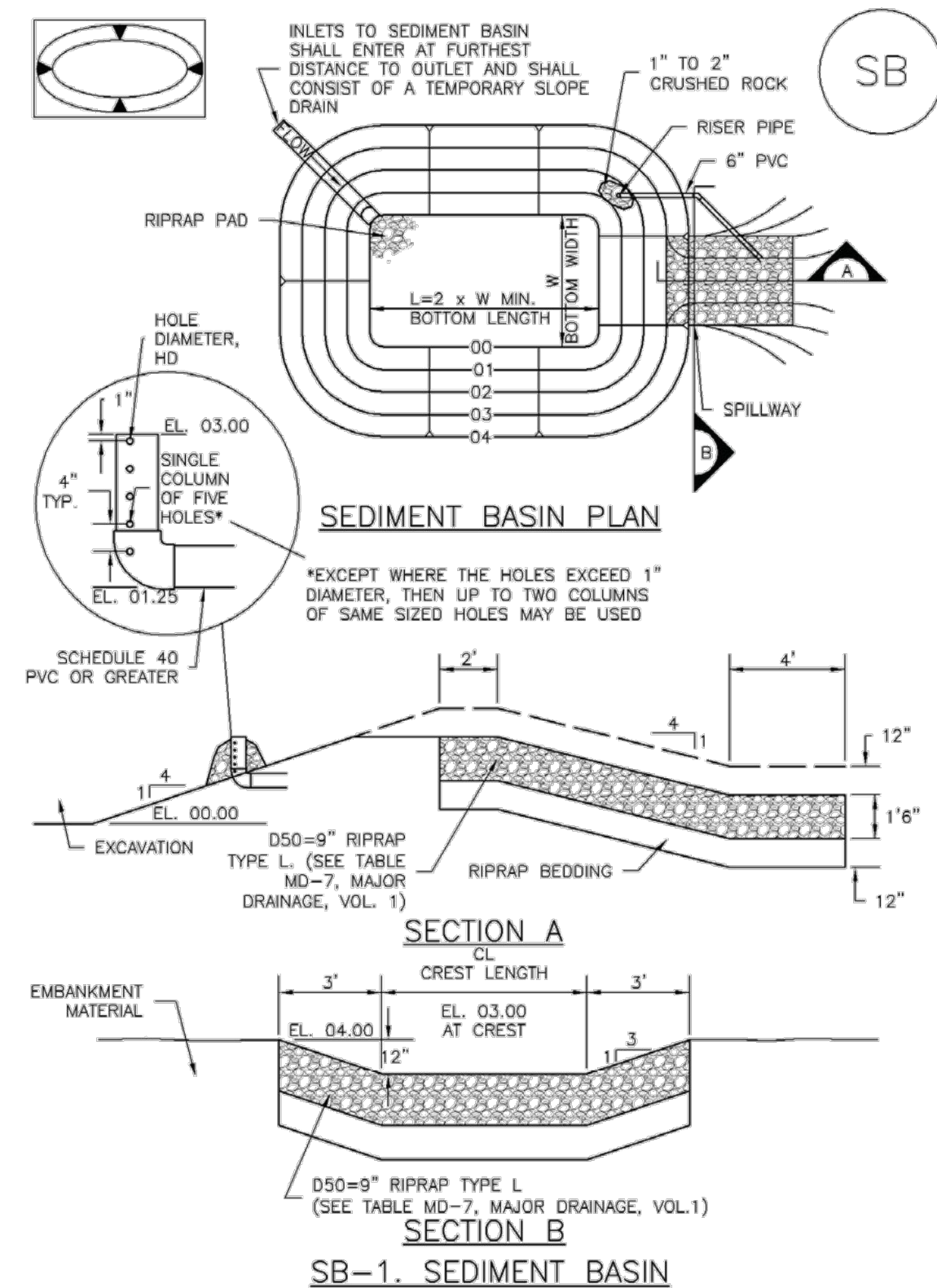
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ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
INTERIM EROSION CONTROL PLAN

DESIGNED BY: NW
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CHECKED BY: JS

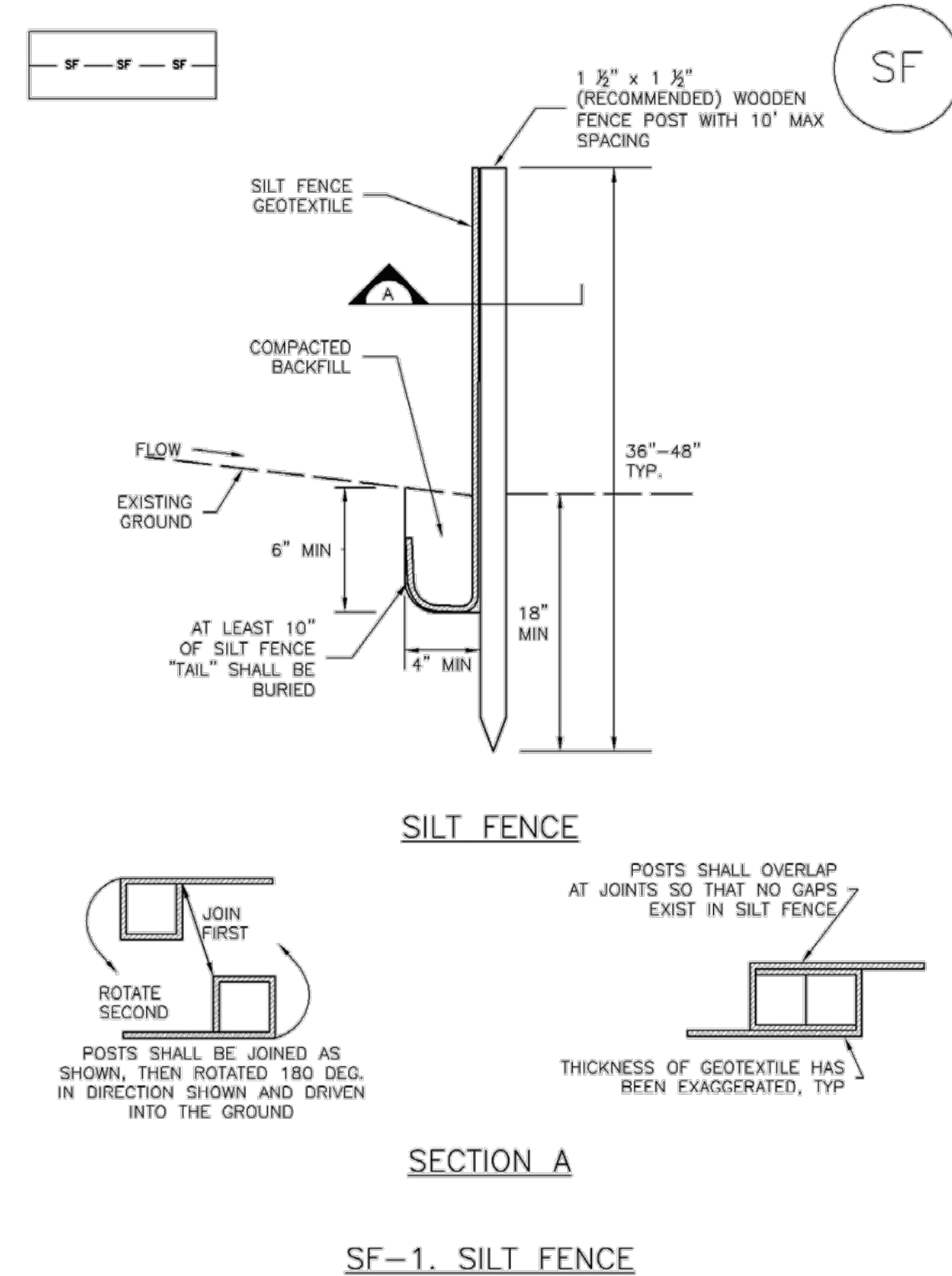
JOB NO.
19-165
SHEET
7 OF 13

Sediment Basin (SB) SC-7



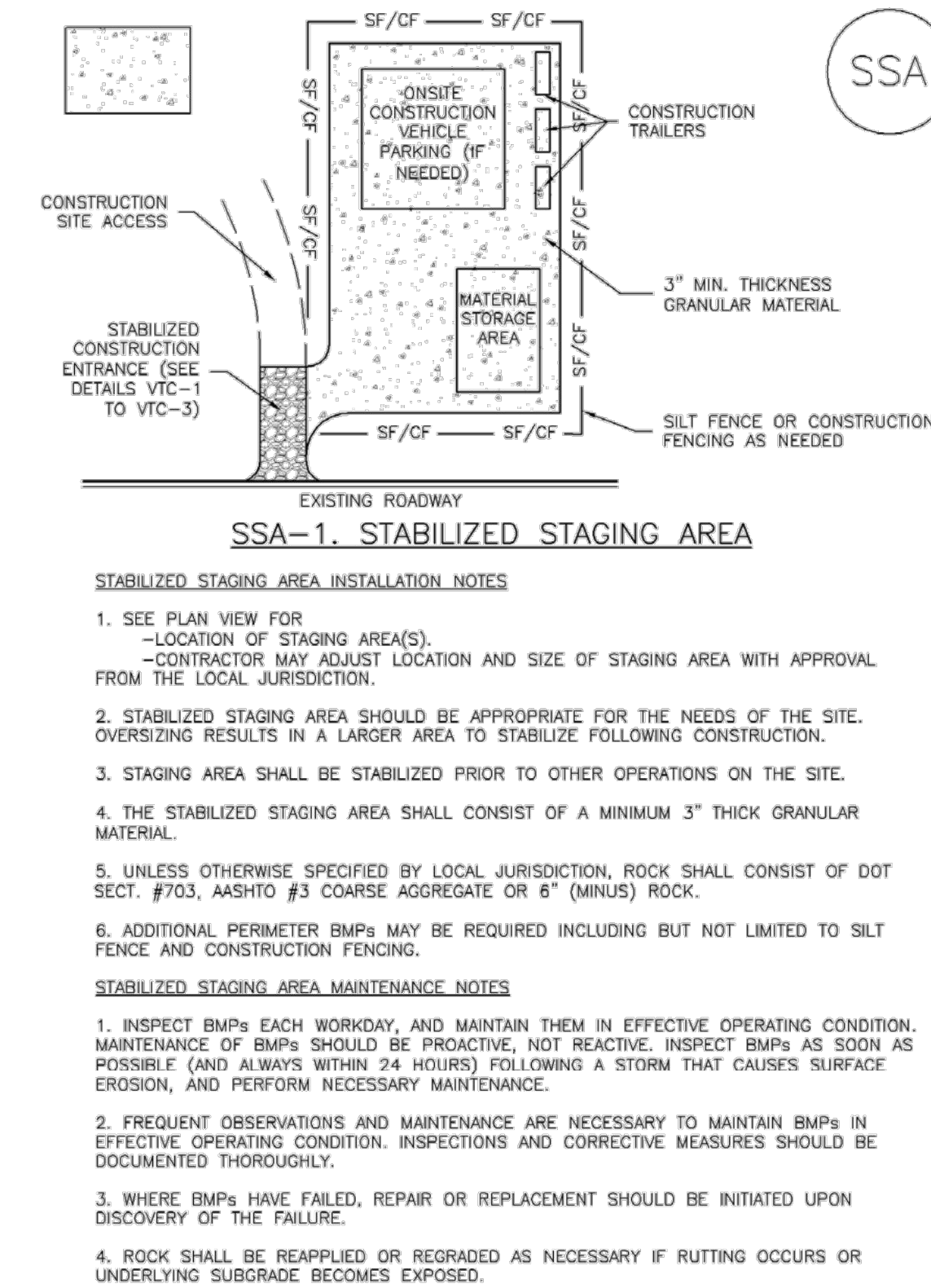
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SB-5

Silt Fence (SF) SC-1



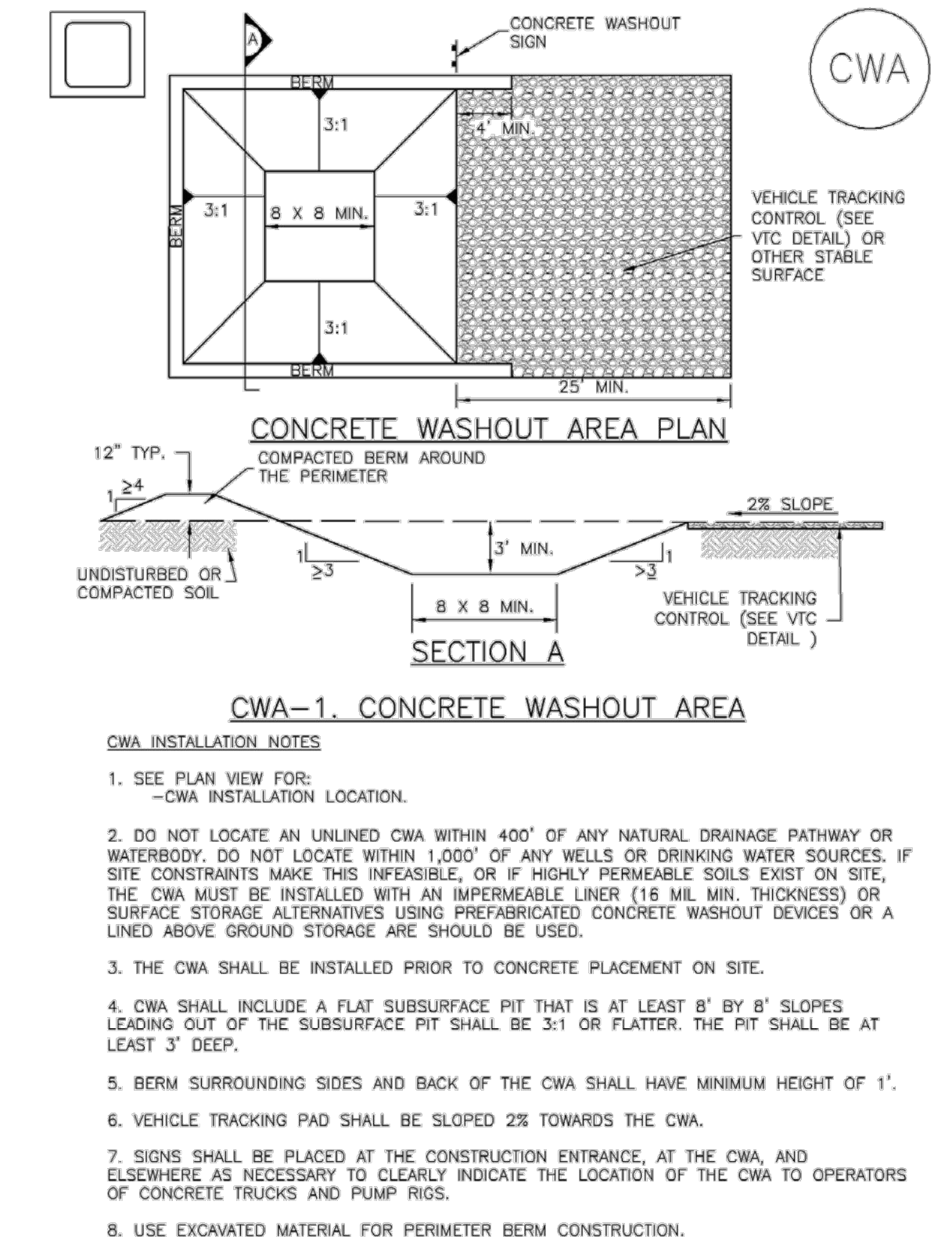
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

Stabilized Staging Area (SSA) SM-6



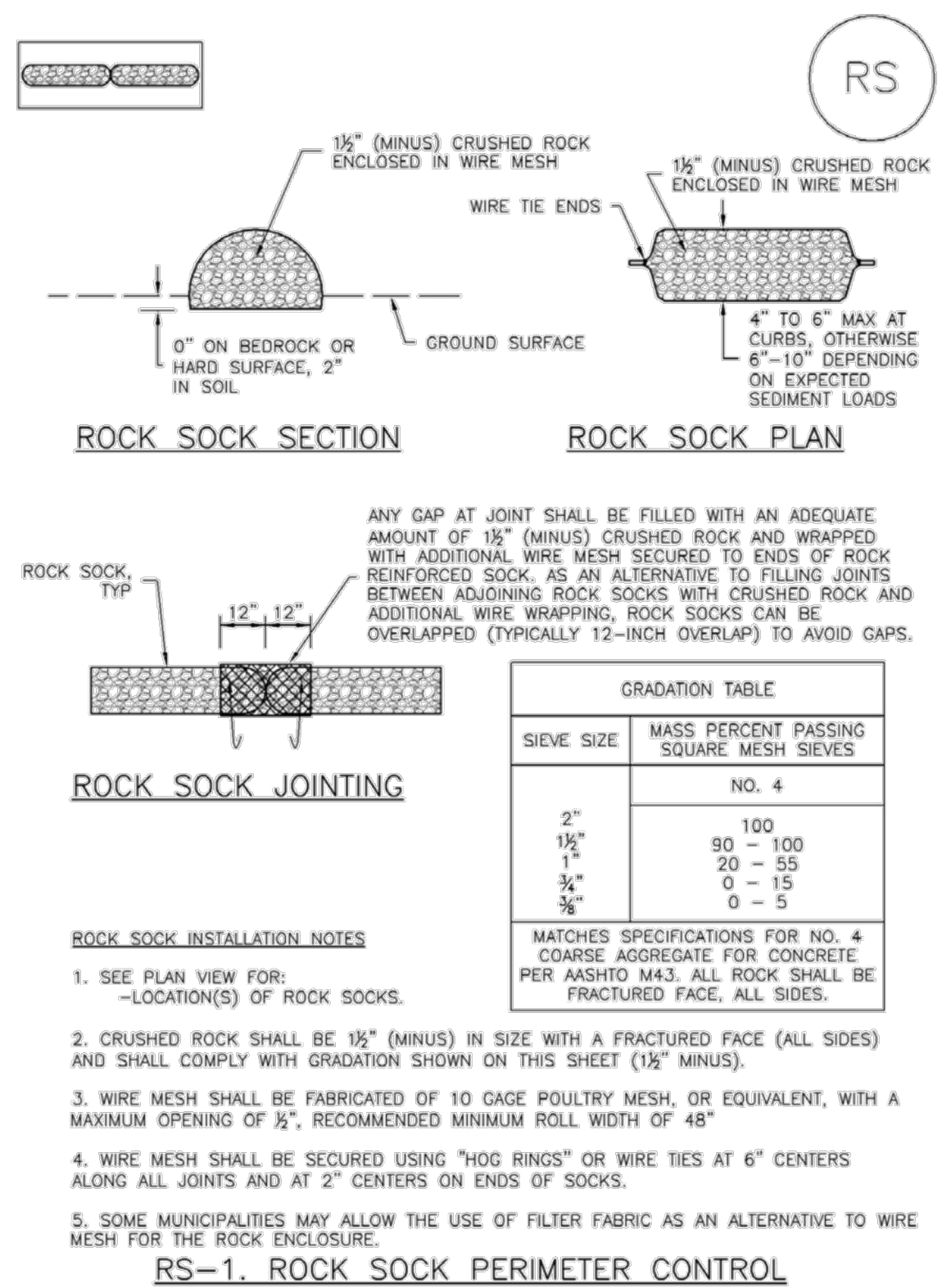
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SSA-3

Concrete Washout Area (CWA) MM-1



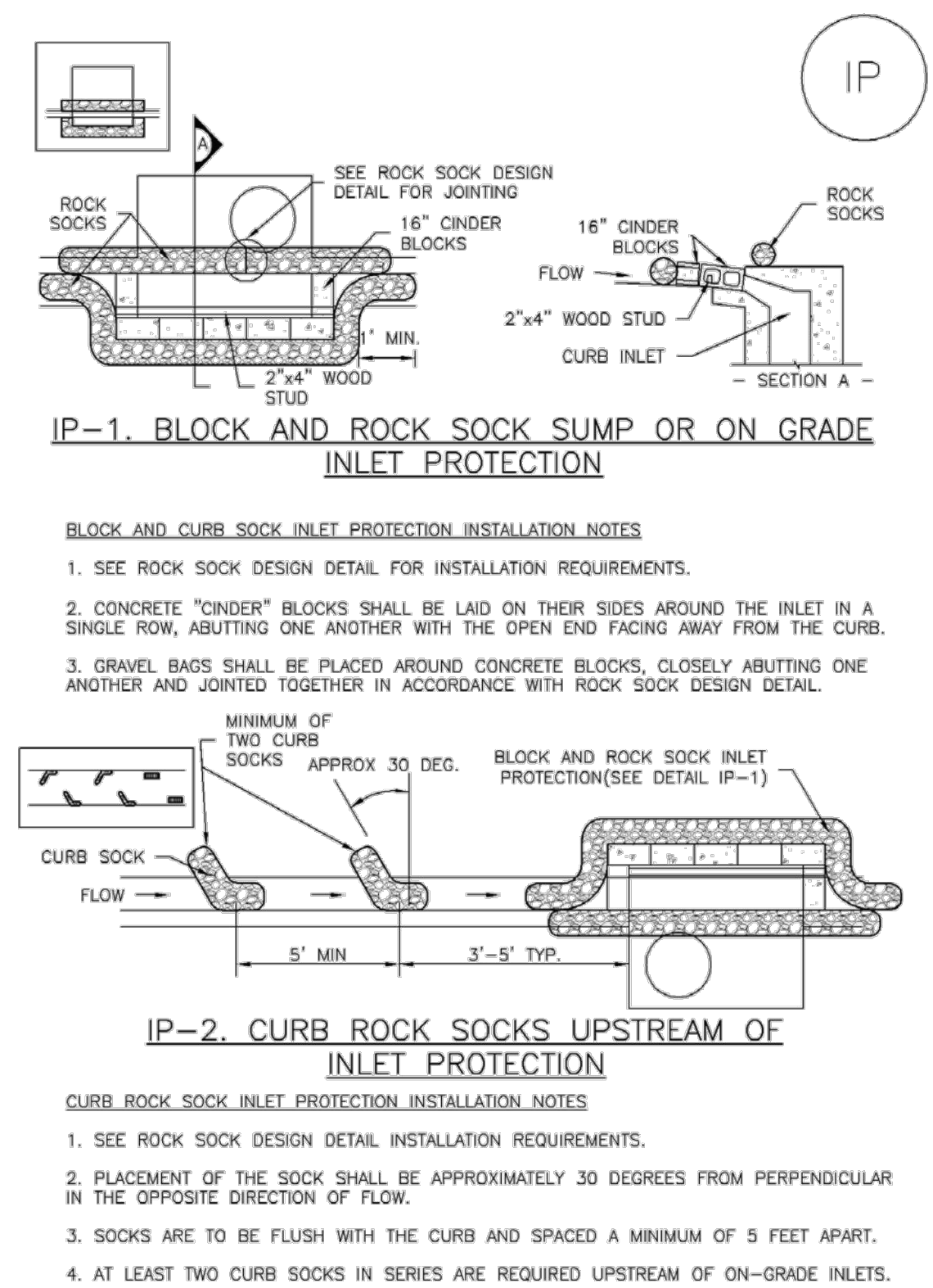
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

Rock Sock (RS) SC-5



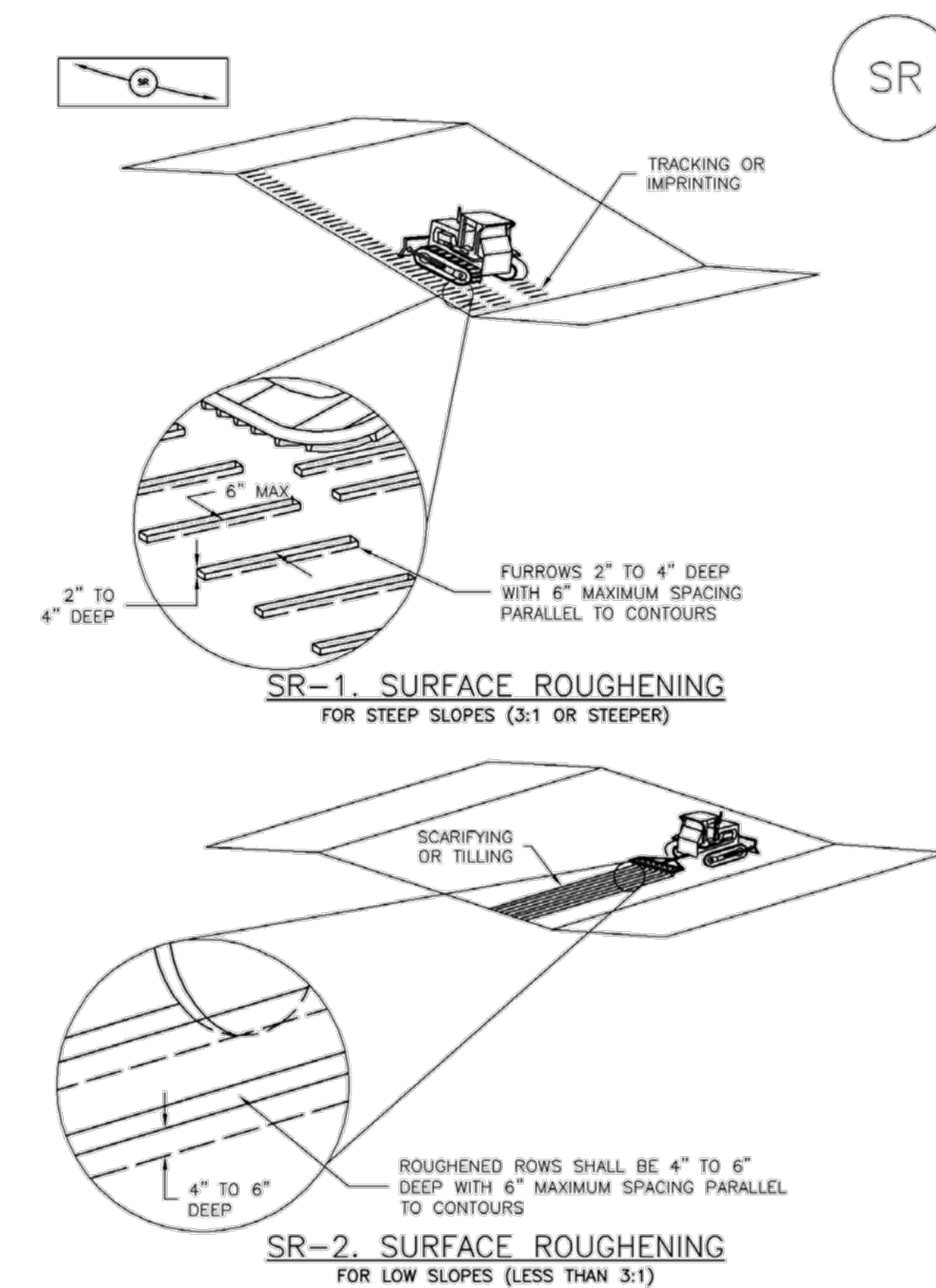
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 RS-2

Inlet Protection (IP) SC-6



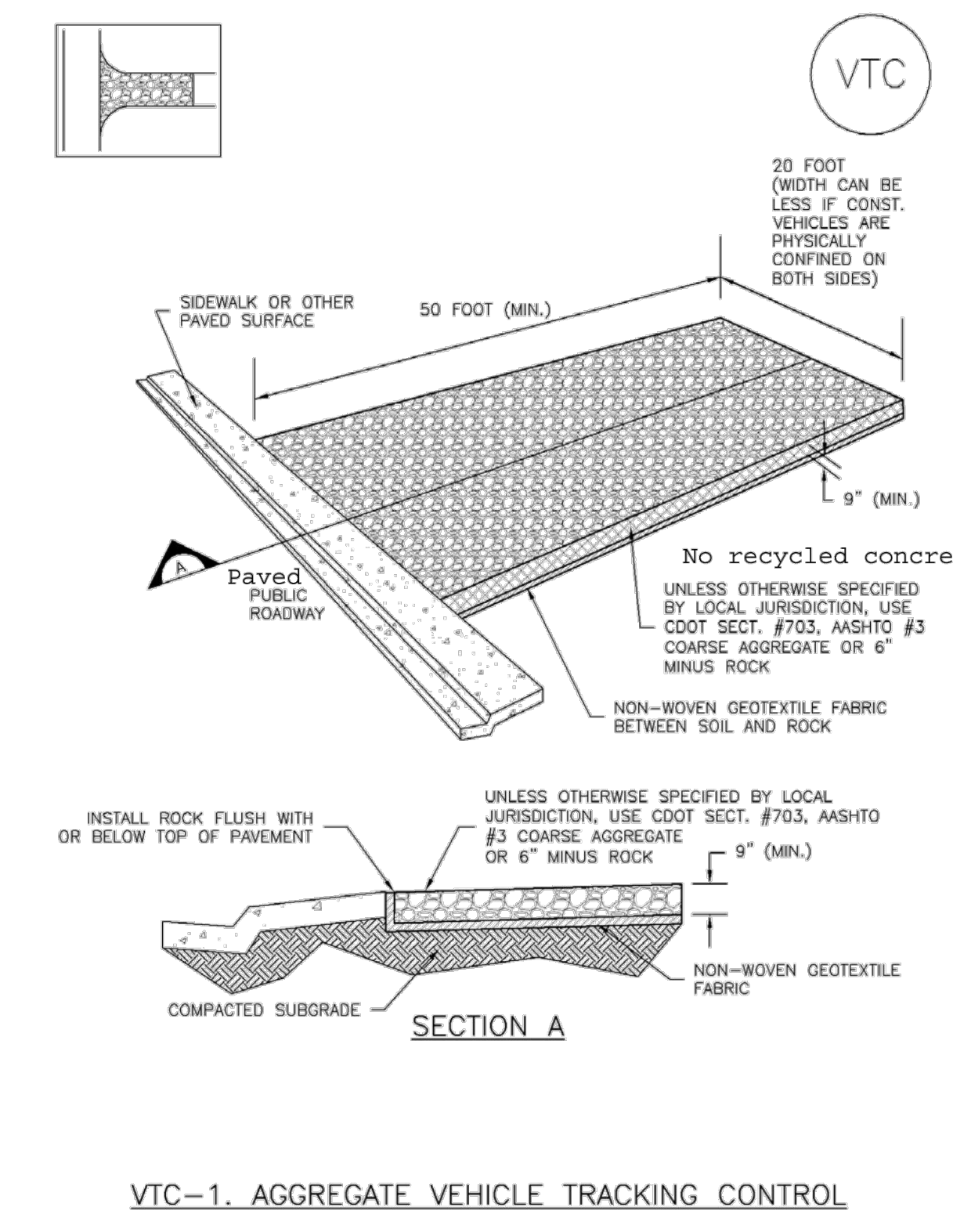
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 IP-4

Surface Roughening (SR) EC-1



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SR-3

Vehicle Tracking Control (VTC) SM-4



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

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LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL US BEFORE YOU ADVANCE THESE YOU
CALL BEFORE YOU DIG OR EXCAVATE FOR THE MARKING OF
UNDERGROUND UTILITY UTILITIES.

WE ASSUME NO RESPONSIBILITY FOR EXISTING UTILITY
LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING
UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE THE BEST
AVAILABLE INFORMATION. IT IS ADVISED THAT THE
THESE LOCATIONS ARE NOT GUARANTEED TO BE THE
CORRECT LOCATION OF ALL UTILITIES PROXIMATE TO THE
CORNER/SECTION OF ANY CONSTRUCTION ACTIVITIES.



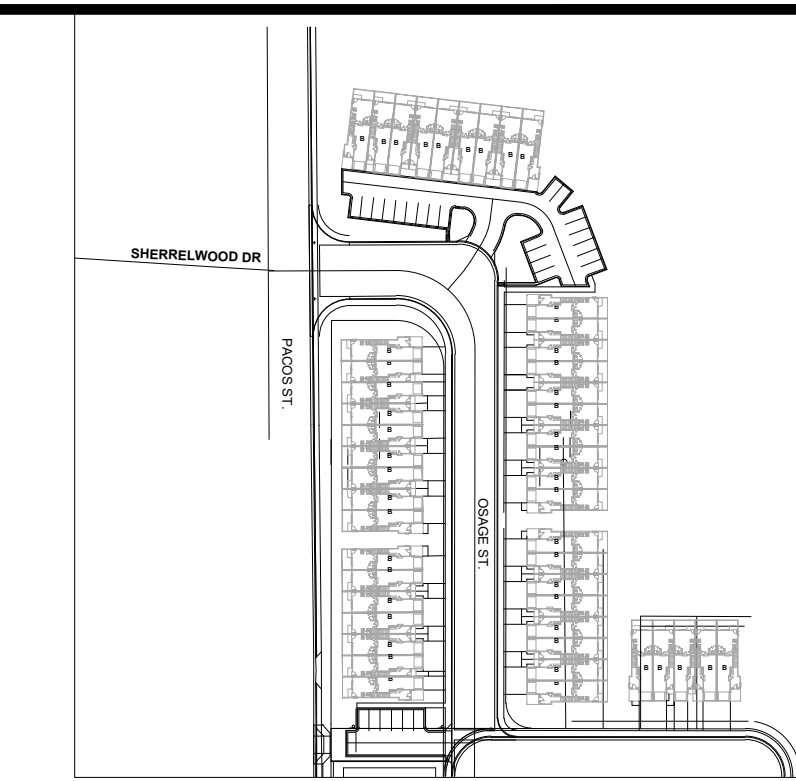
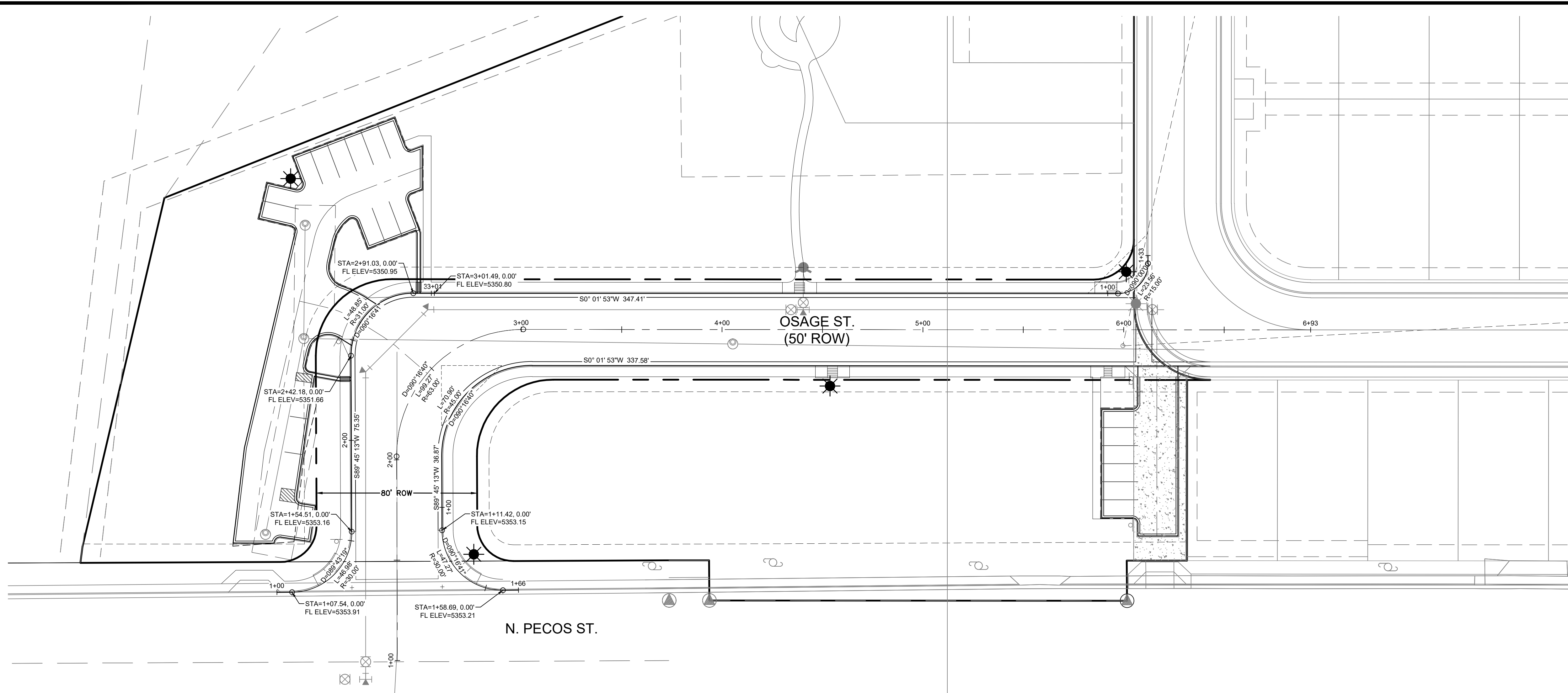
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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
EROSION CONTROL DETAILS

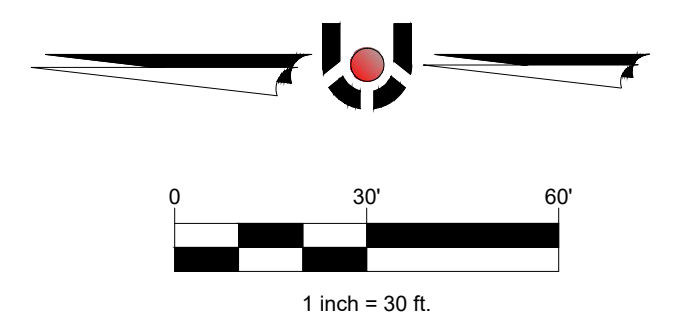
DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

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9 OF 13

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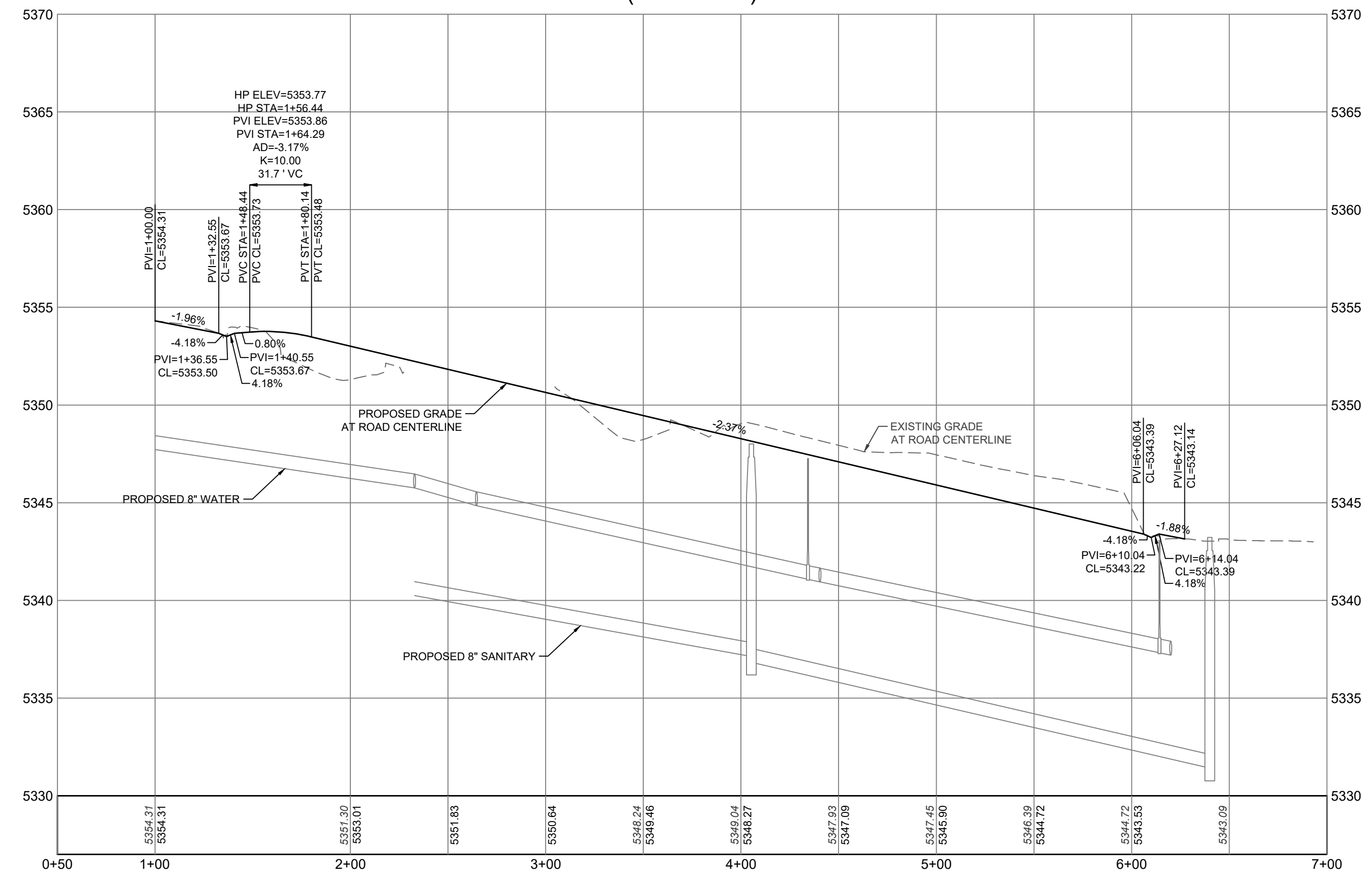


- LEGEND**
- PROPERTY LINE
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 - - - EXISTING EASEMENT
 - - - PROPOSED EASEMENT
 - FLOWLINE W/ TBC
 - PROPOSED STORM SEWER
 - PROPOSED TYPE R INLET
 - PROPOSED FES
 - PROPOSED SEWER MAIN
 - PROPOSED WATER MAIN
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER METER
 - LIGHT POLE
 - EXISTING UTILITY POLE
 - 12 BLOCK NUMBER
 - 12 LOT NUMBER

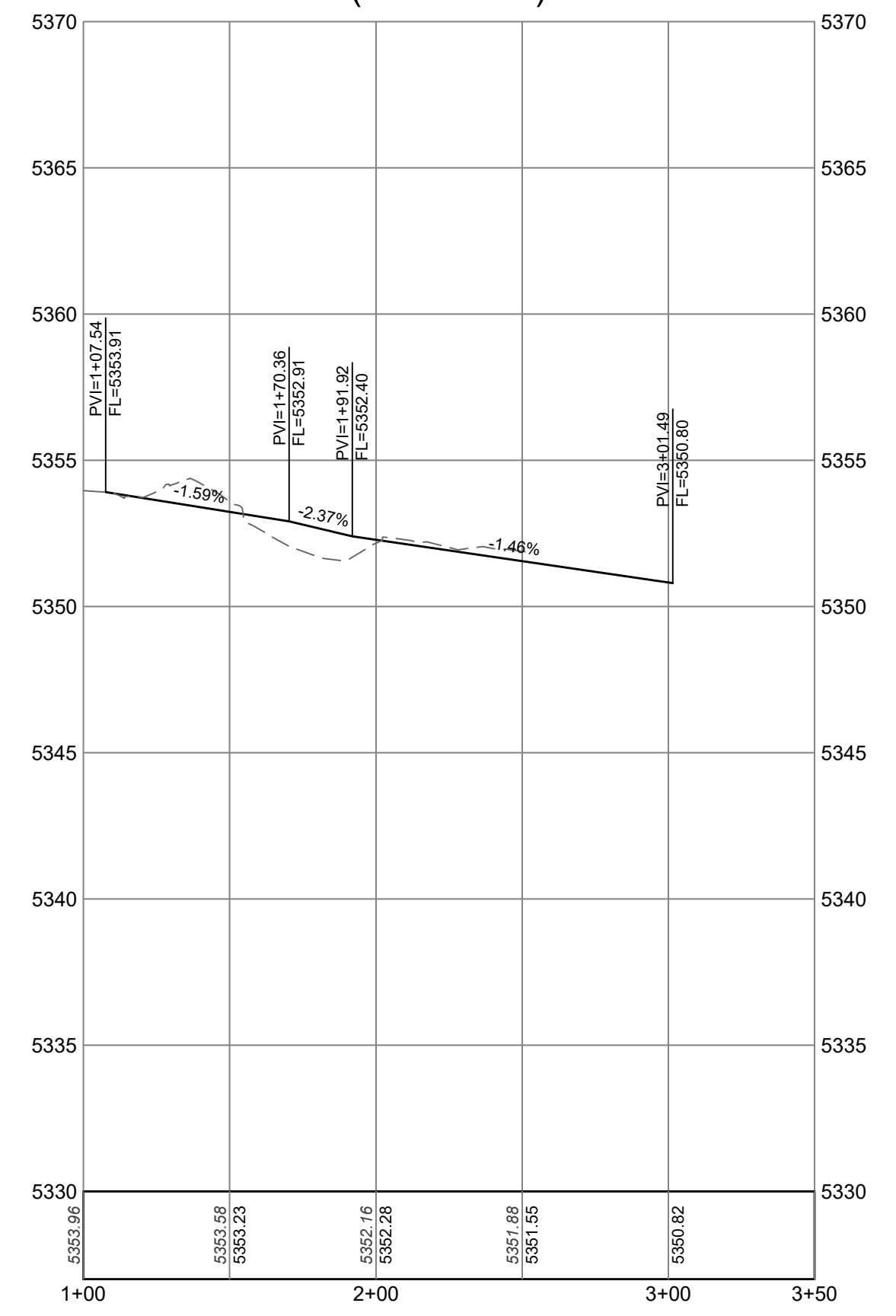


PROFILE
HORIZ: 1" = 50'
VERT: 1" = 5'

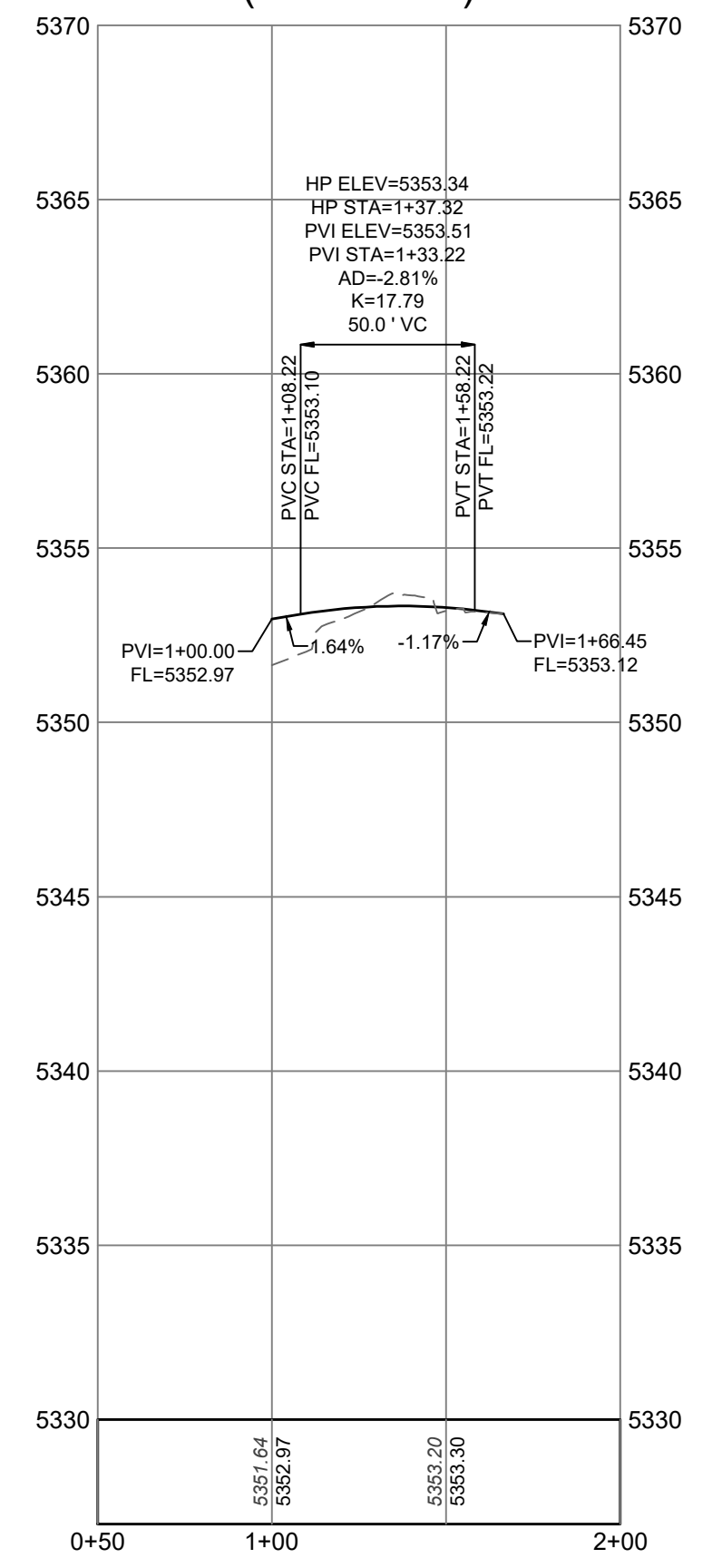
OSAGE STREET NORTH
(0+50-7+00)



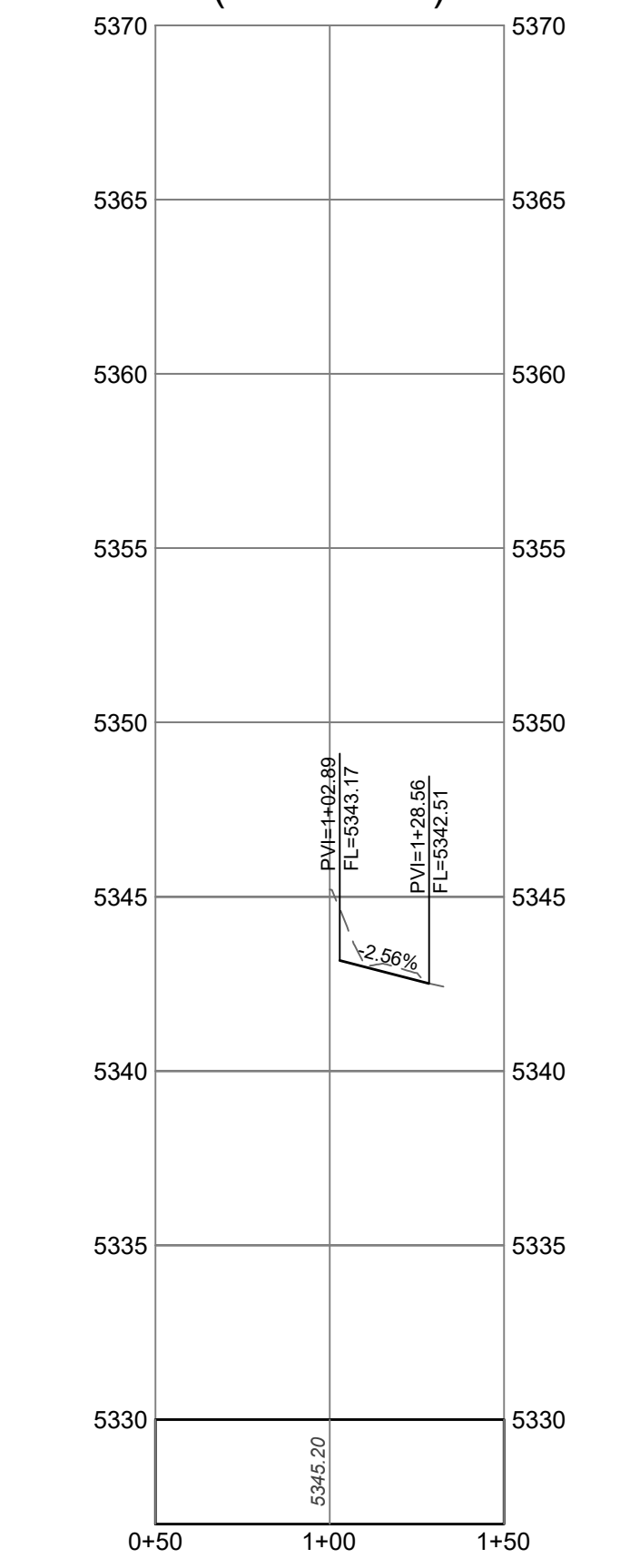
CURB RETURN 1 & KNUCKLE
(1+00-3+50)



CURB RETURN 2
(0+50-2+00)



CURB RETURN 3
(0+50-1+50)



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Litchton Blvd., Ste. 109
Litchton, CO 80120

CORE
CONSULTANTS

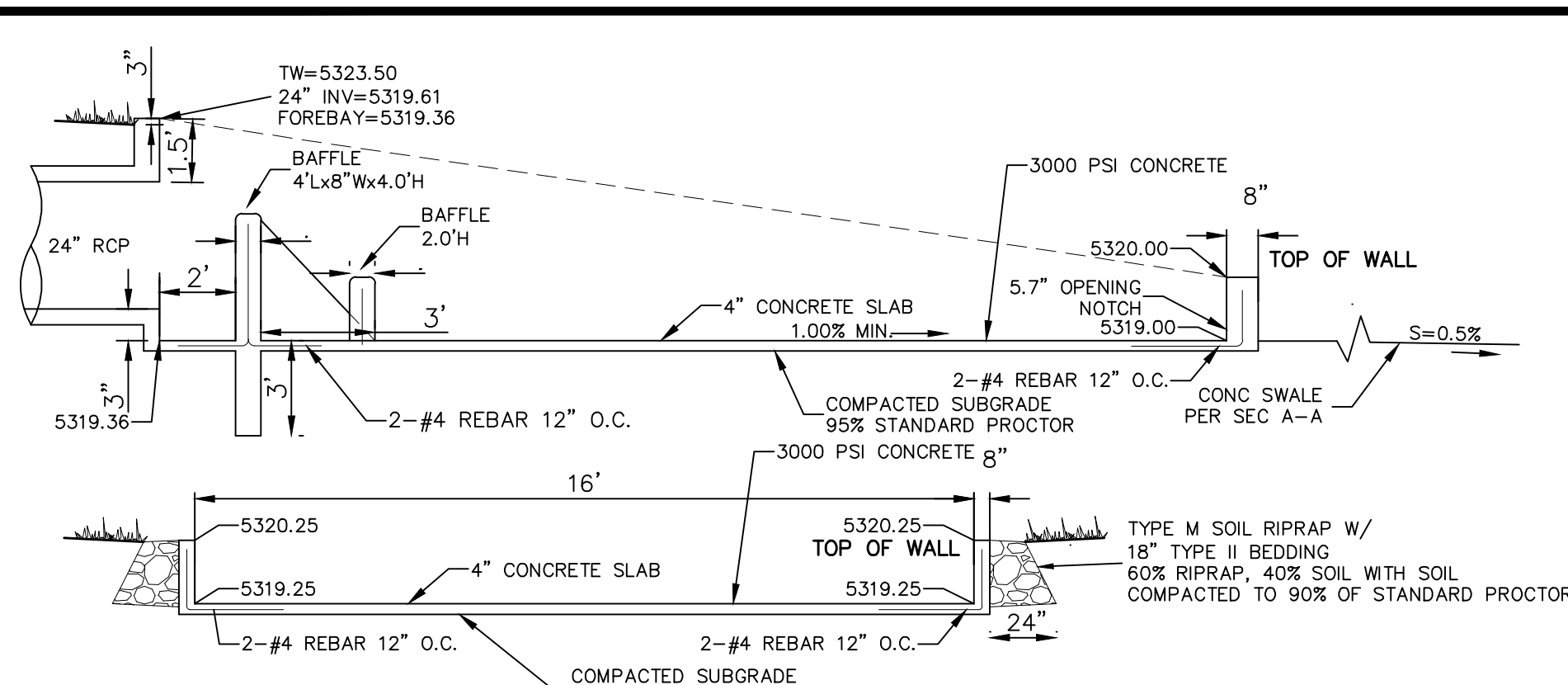
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED FROM THE BEST AVAILABLE INFORMATION TO SHOW THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

DATE BY: XX/XX/XX
REVISION DESCRIPTION
1 DRAFT

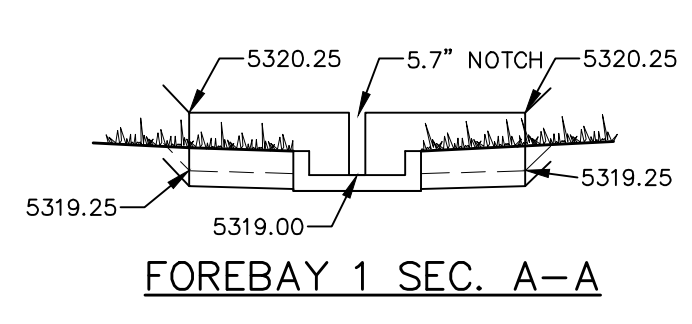
DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

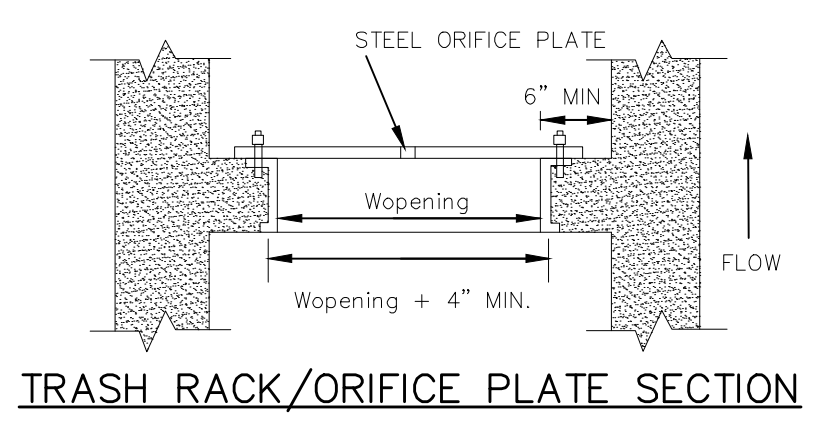
SHEET
10 OF 13



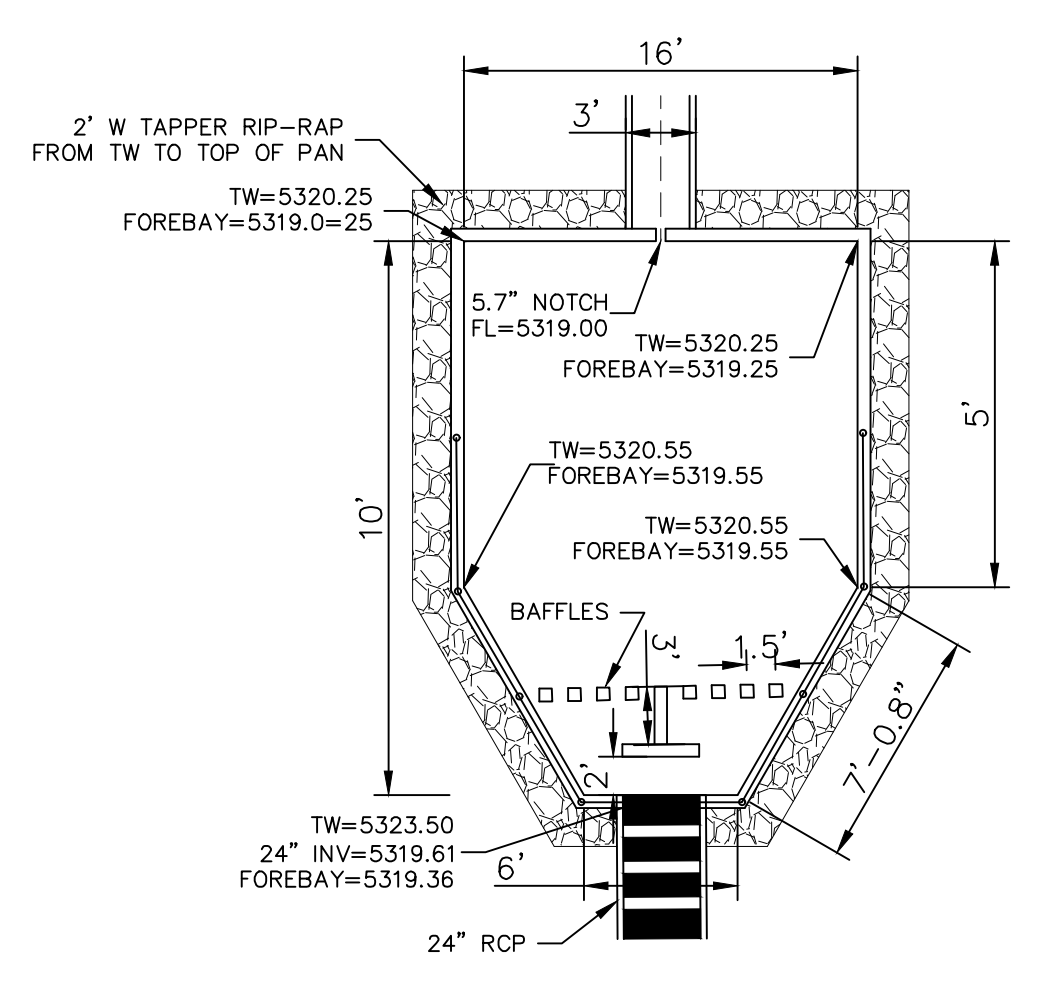
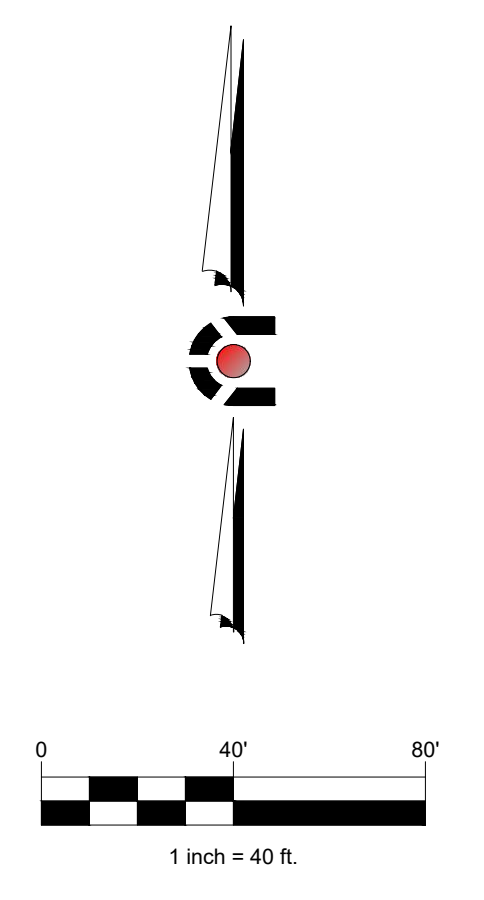
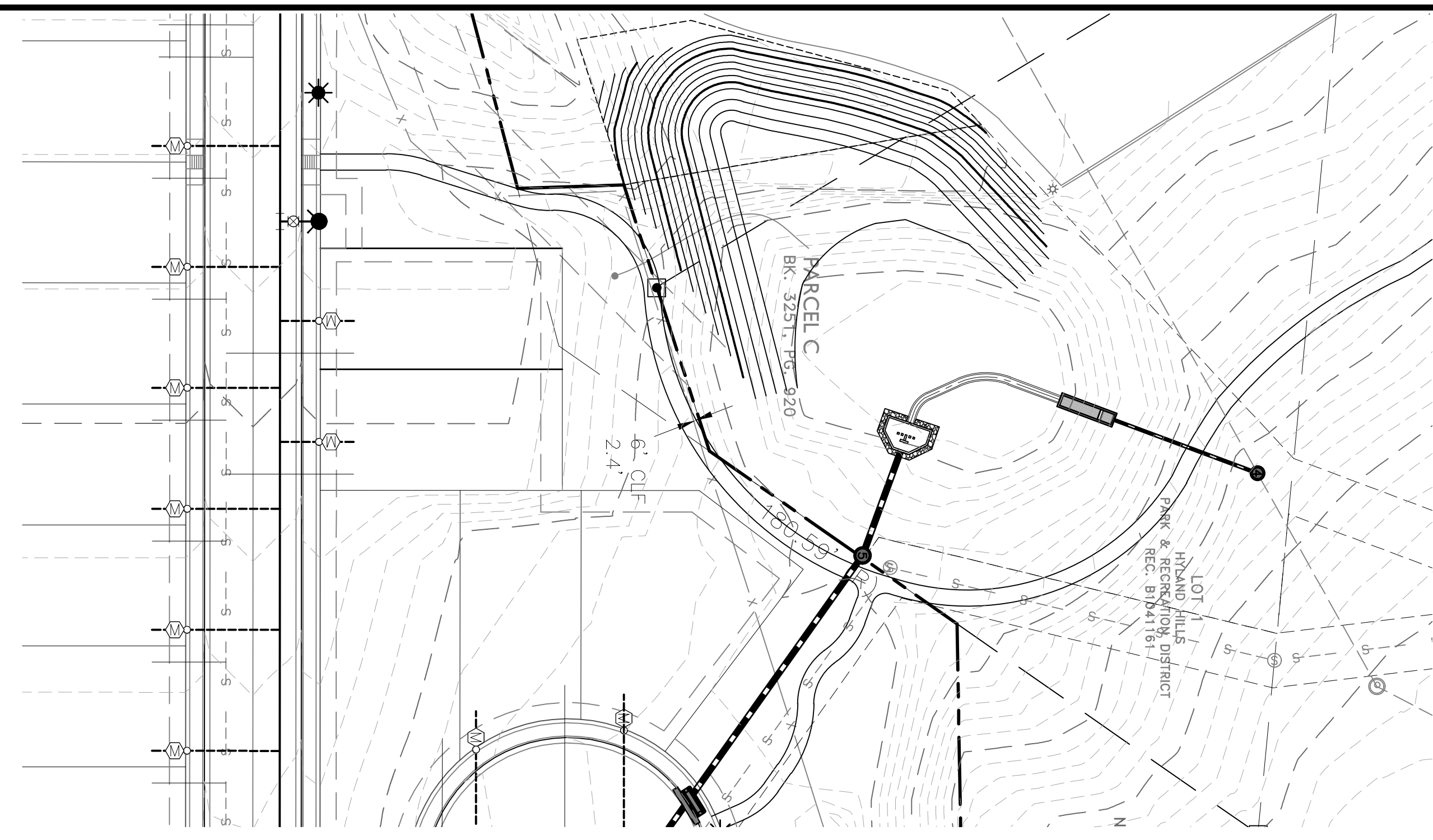
FOREBAY 1
UDFCD FIG. HS-16A AND B



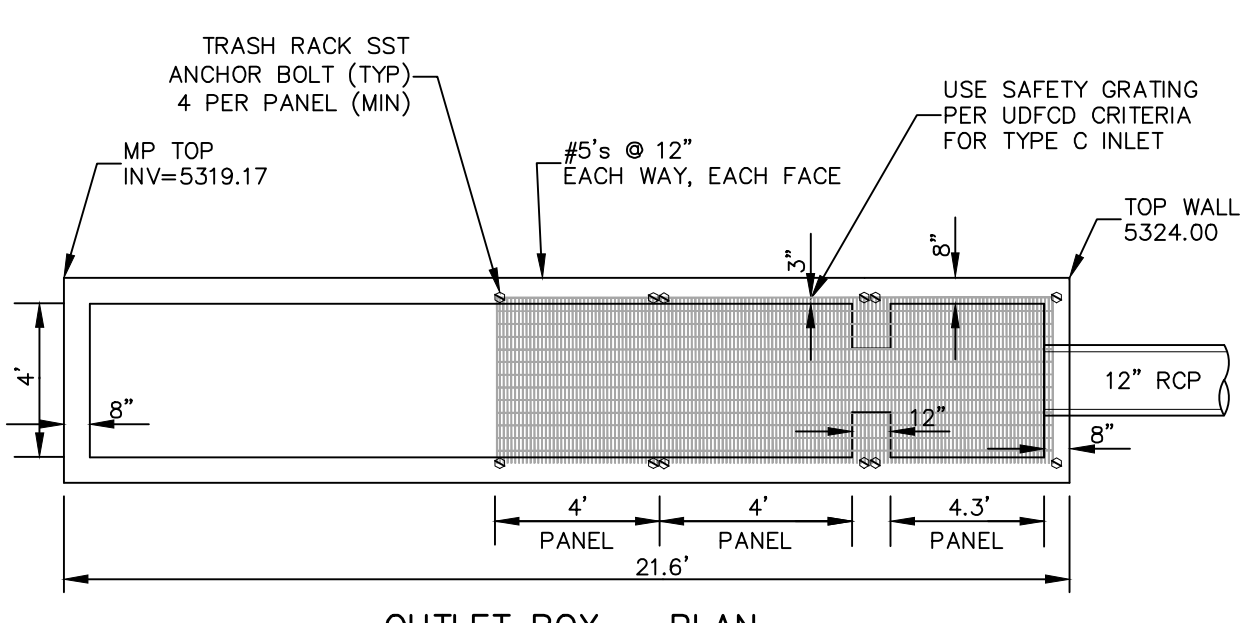
FOREBAY 1 SEC. A-A



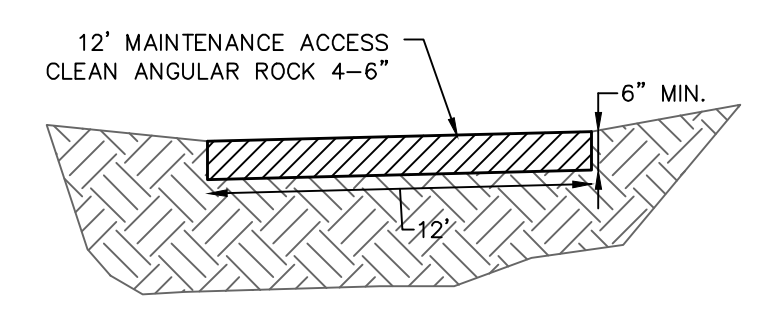
TRASH RACK/ORIFICE PLATE SECTION



FOREBAY 1 DETAIL



OUTLET BOX - PLAN

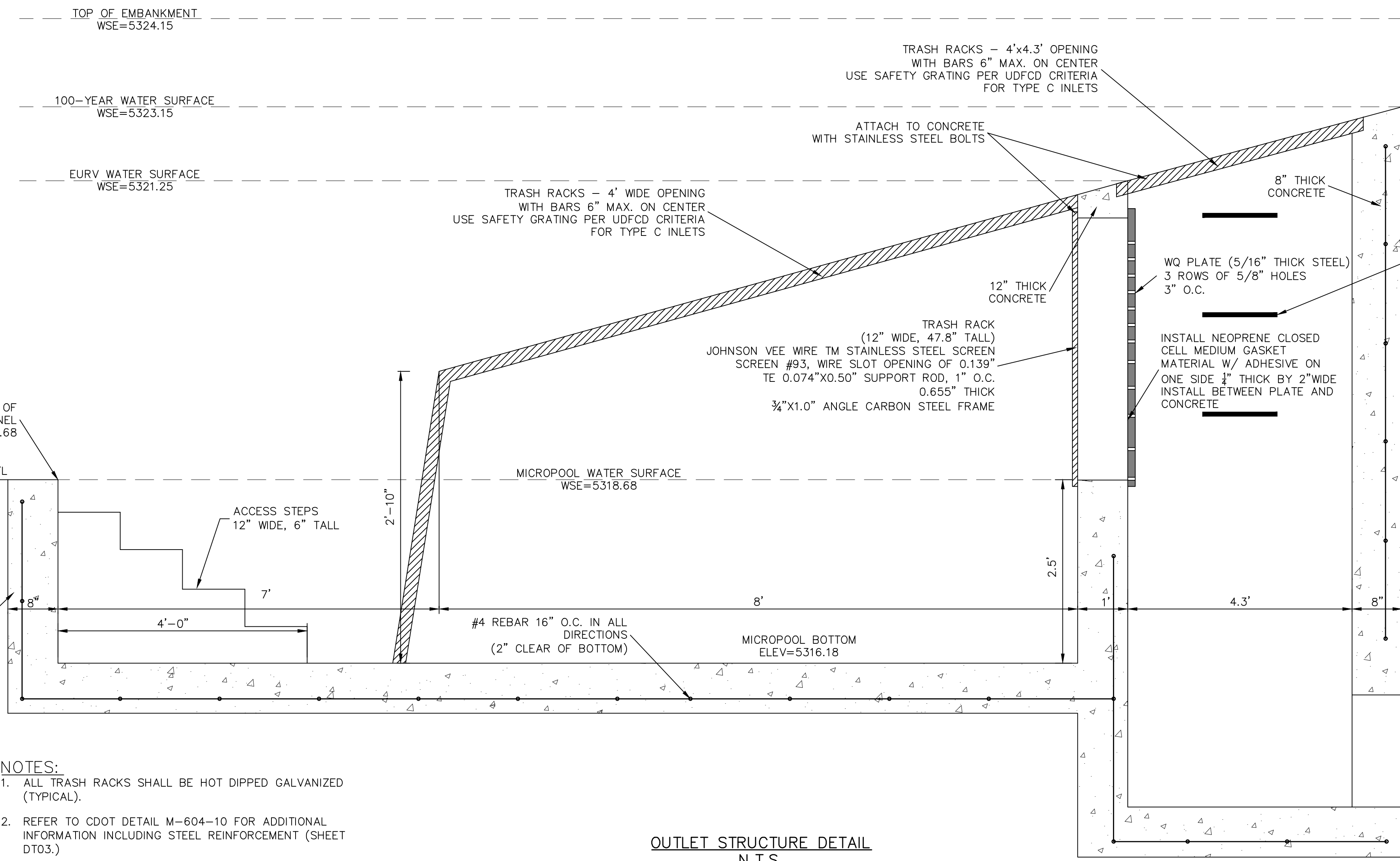


MAINTENANCE ACCESS CROSS SECTION
N.T.S.

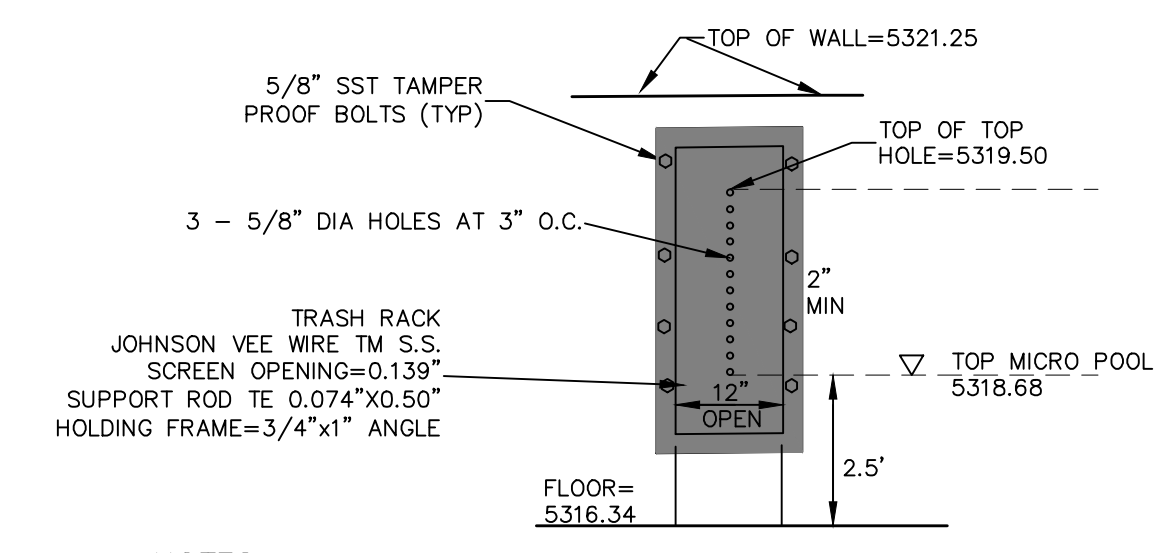
WARNING
UNAUTHORIZED MODIFICATION OF
THIS OUTLET IS AN ARAPAHOE
COUNTY ZONING VIOLATION

NOTE:
SIGN SHALL HAVE A MINIMUM AREA OF 0.75 SQUARE FEET
AND SHALL BE ATTACHED TO THE OUTLET STRUCTURE OR
POSITIONED NEARBY

OUTLET MODIFICATION SIGN
N.T.S.



OUTLET STRUCTURE DETAIL
N.T.S.



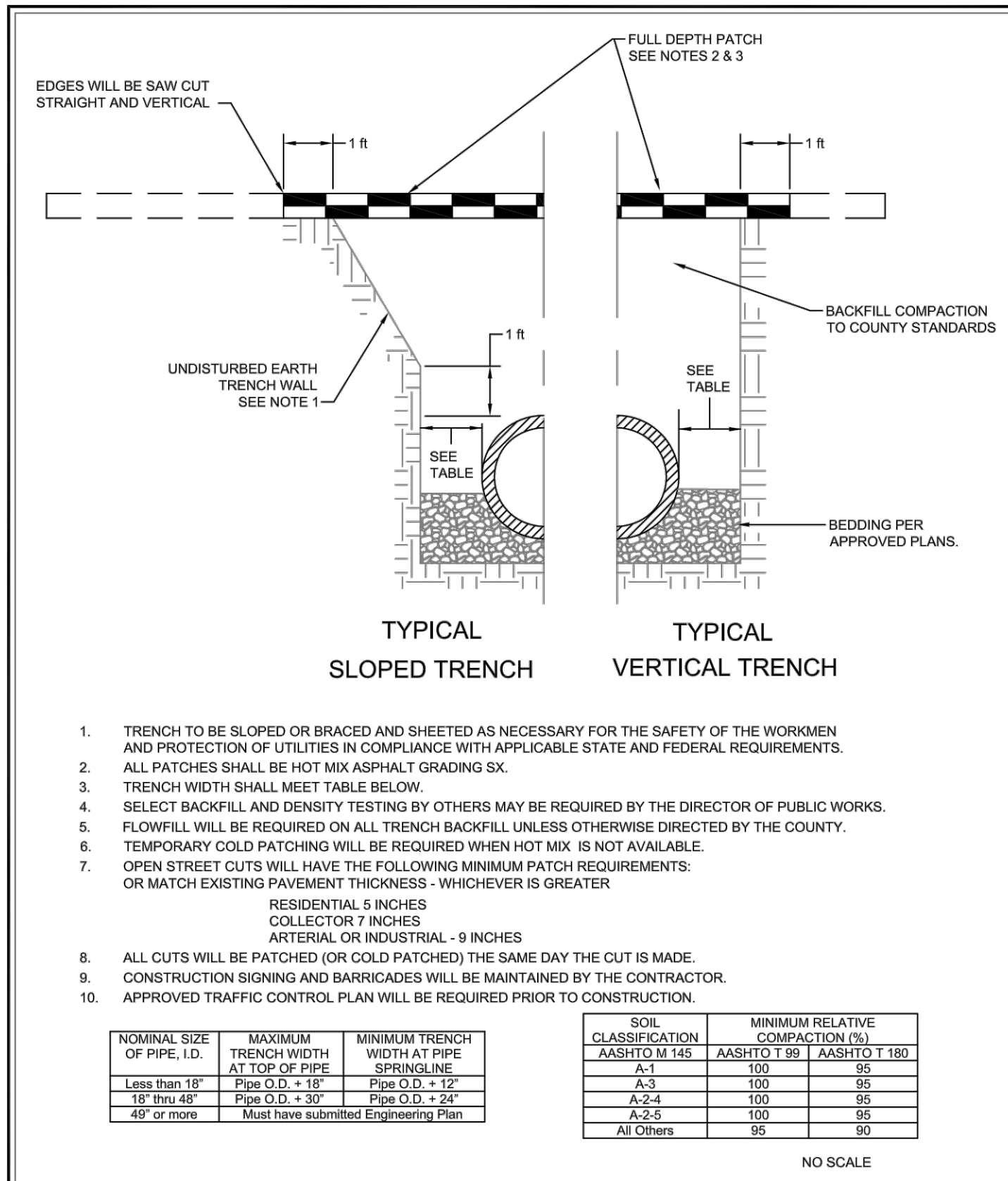
NOTES:
1. ALL EXPOSED CONCRETE EDGES SHALL BE
CONSTRUCTED WITH 1/2\"/>

SPILLWAY SECTION

NOTES:
1. ALL TRASH RACKS SHALL BE HOT DIPPED GALVANIZED (TYPICAL).
2. REFER TO CDOT DETAIL M-604-10 FOR ADDITIONAL INFORMATION INCLUDING STEEL REINFORCEMENT (SHEET DT03.)

#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXX/XX/XX

10/26/2020 11:51 AM: X:\19-165 ELMWOOD ESTATES\CIVIL\CDP\PLANS\PIPING_IIPOND DETAIL.DWG



- TRENCH TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND PROTECTION OF UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- ALL PATCHES SHALL BE HOT MIX ASPHALT GRADING SK.
- TRENCH WIDTH SHALL MEET TABLE BELOW.
- SELECT BACKFILL AND DENSITY TESTING BY OTHERS MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS.
- FLOWLINE WILL BE REQUIRED ON ALL TRENCH BACKFILL UNLESS OTHERWISE DIRECTED BY THE COUNTY.
- TEMPORARY COLD PATCHING WILL BE REQUIRED WHEN HOT MIX IS NOT AVAILABLE.
- OPEN STREET CUTS WILL HAVE THE FOLLOWING MINIMUM PATCH REQUIREMENTS:
OR MATCH EXISTING PAVEMENT THICKNESS - WHICHEVER IS GREATER

MINIMUM RELATIVE COMPACTION (%)		
SOIL CLASSIFICATION	AASHTO M 145	AASHTO T 99
A-1	100	95
A-2	100	95
A-2.5	100	95
All Others	95	90

ADAMS COUNTY TRANSPORTATION DEPARTMENT /ENGINEERING

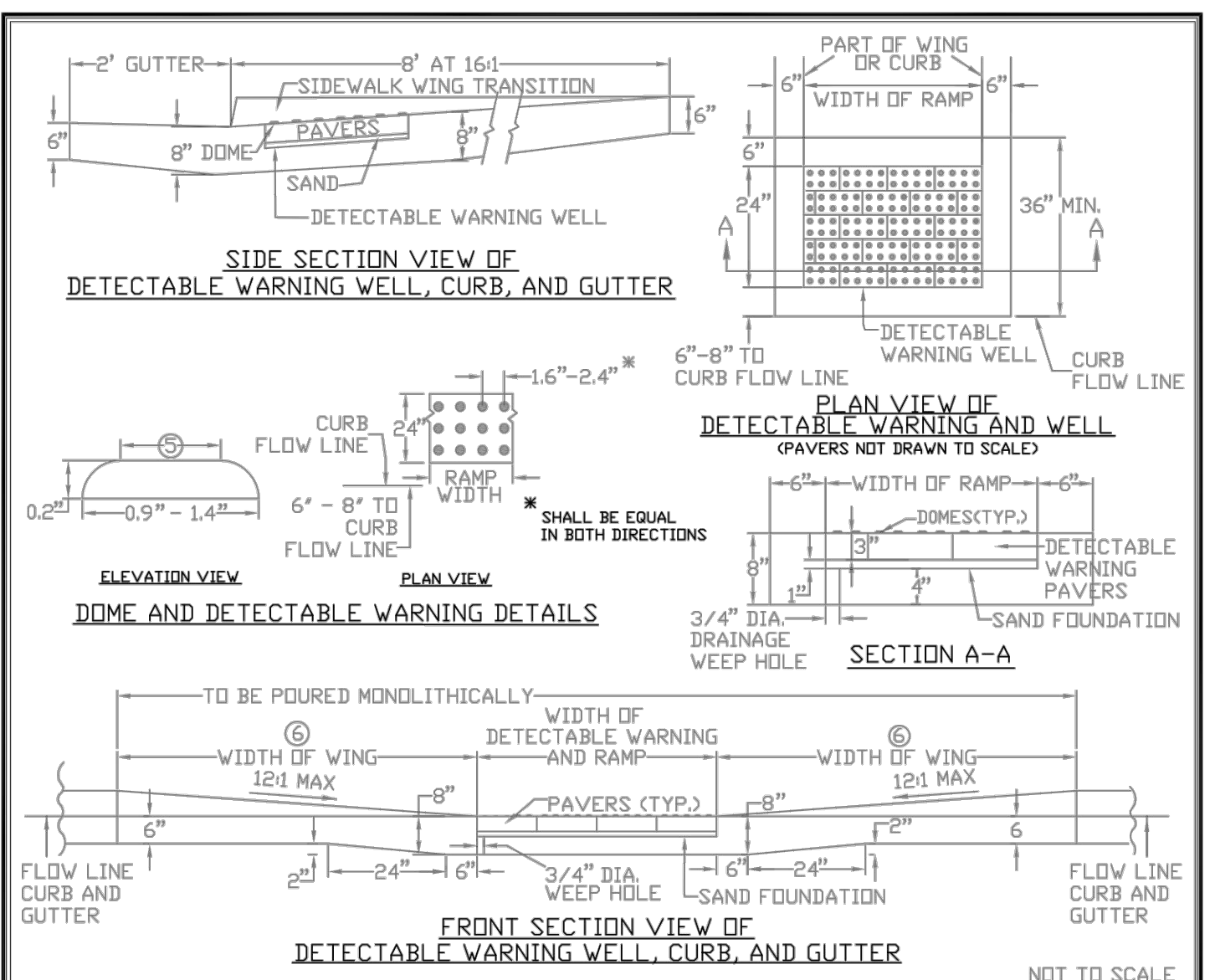
TRENCH PATCHING DETAIL

ADAMS COUNTY TRANSPORTATION DEPARTMENT /CONSTRUCTION INSPECTION

4430 S. ADAMS COUNTY PKWY, BRIGHTON, CO 80601

REVISION DATE: 06/02/14

FILE NAME: TRENCHPATCH_REV.DWG



- NOTES:
- THE DETECTABLE WARNINGS SHALL BE INSTALLED AT SIDEWALK/STREET TRANSITIONS. THEY SHALL BE MADE IN PAVEMENT FORM WITH A TRUNCATED DOME SURFACE. THE DOMES SHALL BE PLACED IN A SQUARE GRID, ALIGNED IN THE DIRECTION OF TRAVEL.
 - THE TOP OF THE DRAINAGE WEEP HOLE SHALL BE LOCATED AT THE LOWEST POINT OF THE DETECTABLE WARNING WELL AND AT THE LOWEST EDGE OF THE RAMP.
 - ALL DETECTABLE WARNING AREAS SHALL START A MINIMUM OF 6 INCHES FROM THE FLOW LINE OF THE CURB AND EXTEND BACK 24 INCHES, AND COVER THE COMPLETE WIDTH OF THE RAMP AREA ONLY.
 - THE DETECTABLE WARNING AREA SHALL BE INCLUDED IN THE COST OF THE CONCRETE CURB RAMP.
 - THE TOP DIAMETER OF THE TRUNCATED DOMES SHALL BE 50% TO 65% OF THE BASE DIAMETER.
 - WIDTH OF WING, 6' FOR COMBINATION AND 8' FOR VERTICAL CURB AND GUTTER.

ADAMS COUNTY TRANSPORTATION DEPARTMENT /ENGINEERING

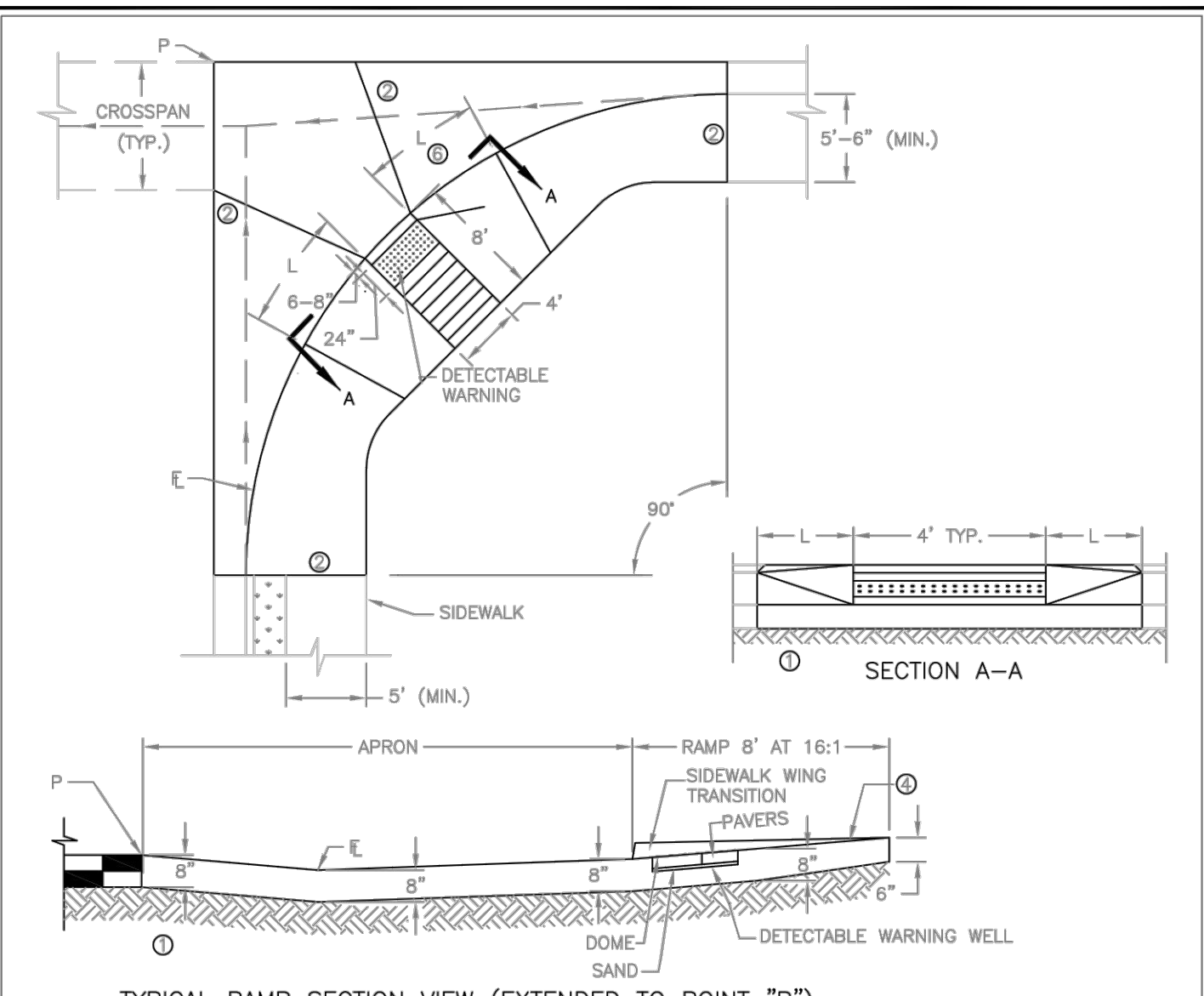
VIEWS AND DETAILS OF THE DETECTABLE WARNING

ADAMS COUNTY TRANSPORTATION DEPARTMENT /CONSTRUCTION INSPECTION

4430 S. ADAMS COUNTY PKWY, BRIGHTON, CO 80601

REVISION DATE: 06/02/14

FILE NAME: TRUNC_DOMES.DWG



- NOTES:
- COMPACTED SUBGRADE
 - 1/8" WIDE CONTROL JOINT WITH 3/4" MINIMUM DEPTH
 - A 1/2" EXPANSION JOINT SHALL BE REQUIRED WHERE THE CONCRETE RAMP JOINS ANY RIGID PAVEMENT OR STRUCTURE
 - TOOLED JOINT 8" O.C.
 - RAMP SURFACE SHALL HAVE A COURSE BROOM FINISH WITH STRIATIONS PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE.
 - L = 6' FOR COMBINATION AND 8' FOR VERTICAL CURB & GUTTER
 - SEE TYPICAL SECTIONS FOR CURB, GUTTER AND WALK FOR DIMENSIONS
 - SPECIAL DESIGNS ARE REQUIRED WHEN GRADES ARE OVER 4% OR WHERE THE ANGLE OF THE INTERSECTION IS LESS THAN 75° OR MORE THAN 105°.
 - RADIUS SHALL BE POURED MONOLITHICALLY.
 - NEW DRAINAGE STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
 - SEE ALSO STANDARD DETAIL ENTITLED, "VIEWS AND DETAILS OF THE DETECTABLE WARNING"

ADAMS COUNTY TRANSPORTATION DEPARTMENT /ENGINEERING

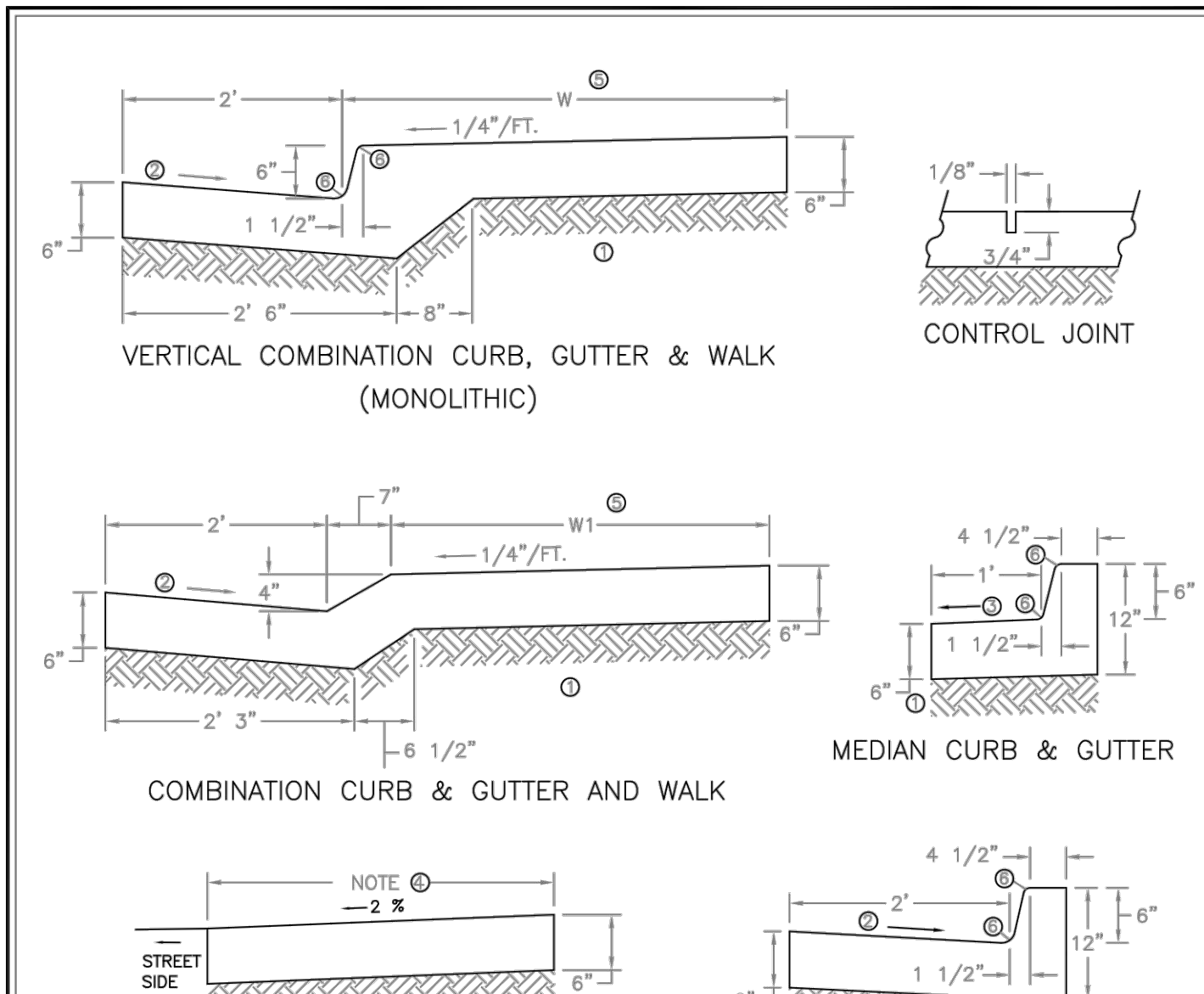
RADIUS RETURN W/ APRON, TYPE 1

ADAMS COUNTY TRANSPORTATION DEPARTMENT /CONSTRUCTION INSPECTION

4430 S. ADAMS COUNTY PKWY, BRIGHTON, CO 80601

REVISION DATE: 06/02/14

FILE NAME: RADWAPR1_D_REV.DWG



- NOTES:
- COMPACTED SUBGRADE
 - GUTTER CROSS SLOPE SHALL BE 1"/ft
 - GUTTER CROSS SLOPE SHALL BE 1/2"/ft
 - DETACHED SIDEWALK WIDTH SHALL BE 5'-0" FOR NEW CONSTRUCTION
 - W=5'-6" AND W1=4'-11" TYPICAL (MIN. REQUIRED FOR NEW CONSTRUCTION)
 - 1 1/2" RADIUS

ADAMS COUNTY TRANSPORTATION DEPARTMENT /ENGINEERING

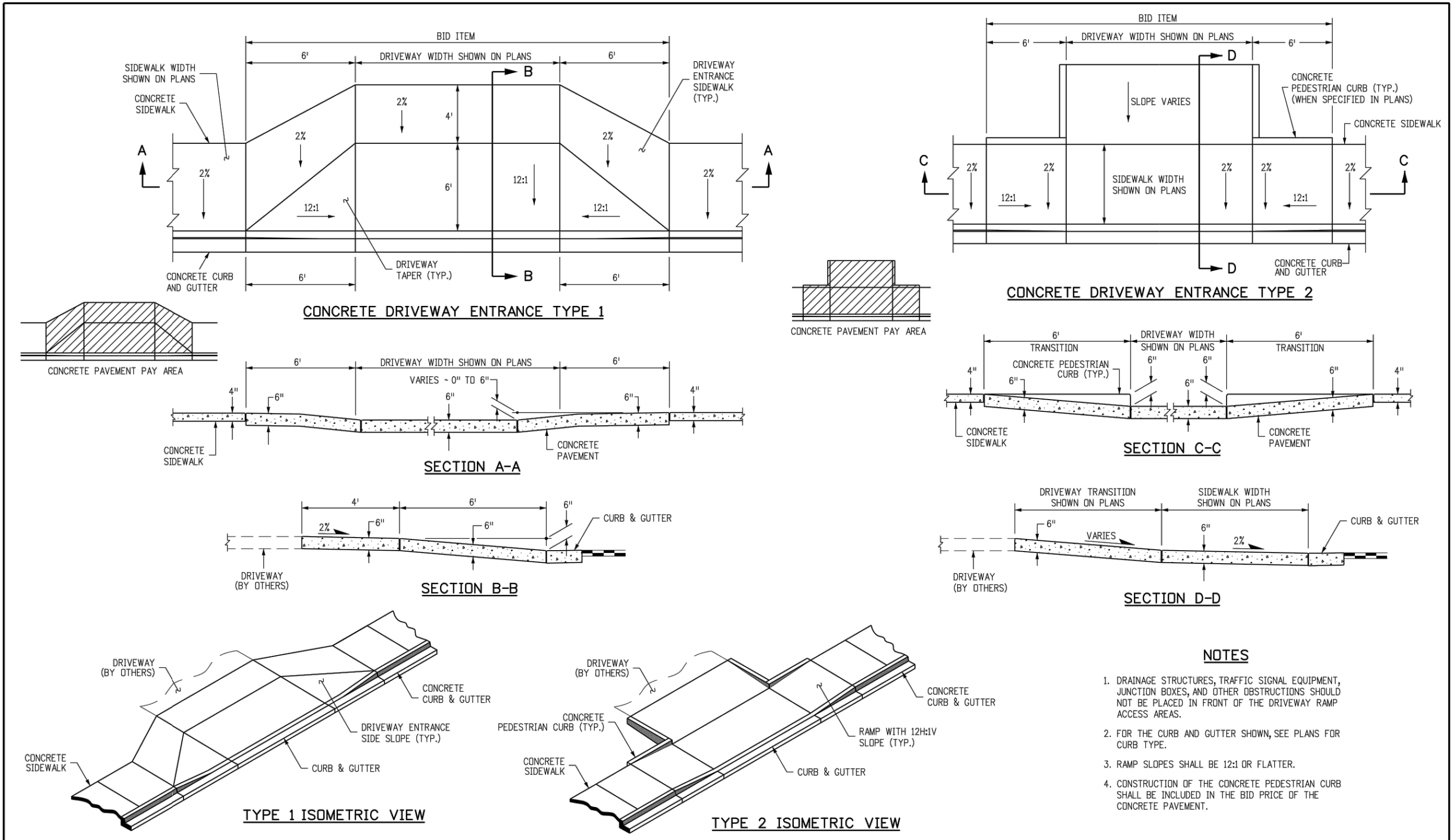
CURB, GUTTER & WALK

ADAMS COUNTY TRANSPORTATION DEPARTMENT /CONSTRUCTION INSPECTION

4430 S. ADAMS COUNTY PKWY, BRIGHTON, CO 80601

REVISION DATE: 06/02/14

FILE NAME: CG&W_D.DWG



- NOTES:
- DRAINAGE STRUCTURES, TRAFFIC SIGNAL EQUIPMENT, JUNCTION BOXES, AND OTHER OBSTRUCTIONS SHOULD NOT BE PLACED IN FRONT OF THE DRIVEWAY RAMP ACCESS AREAS.
 - FOR THE CURB AND GUTTER SHOWN, SEE PLANS FOR CURB TYPE.
 - RAMP SLOPES SHALL BE 12:1 OR FLATTER.
 - CONSTRUCTION OF THE CONCRETE PEDESTRIAN CURB SHALL BE INCLUDED IN THE BID PRICE OF THE CONCRETE PAVEMENT.

Computer File Information

Creation Date: 07/04/12

Last Modification Date: 07/04/12

Initials: LTA

Full Path: \\www.coloradodot.info\business\designsupport

Drawing File Name: 609010304.dgn

CAD Ver.: MicroStation V8

Scale: Not to Scale

Units: English

Sheet Revisions

Date:	Comments:

Colorado Department of Transportation

4201 East Arkansas Avenue

Denver, Colorado 80222

Phone: (303) 757-9083

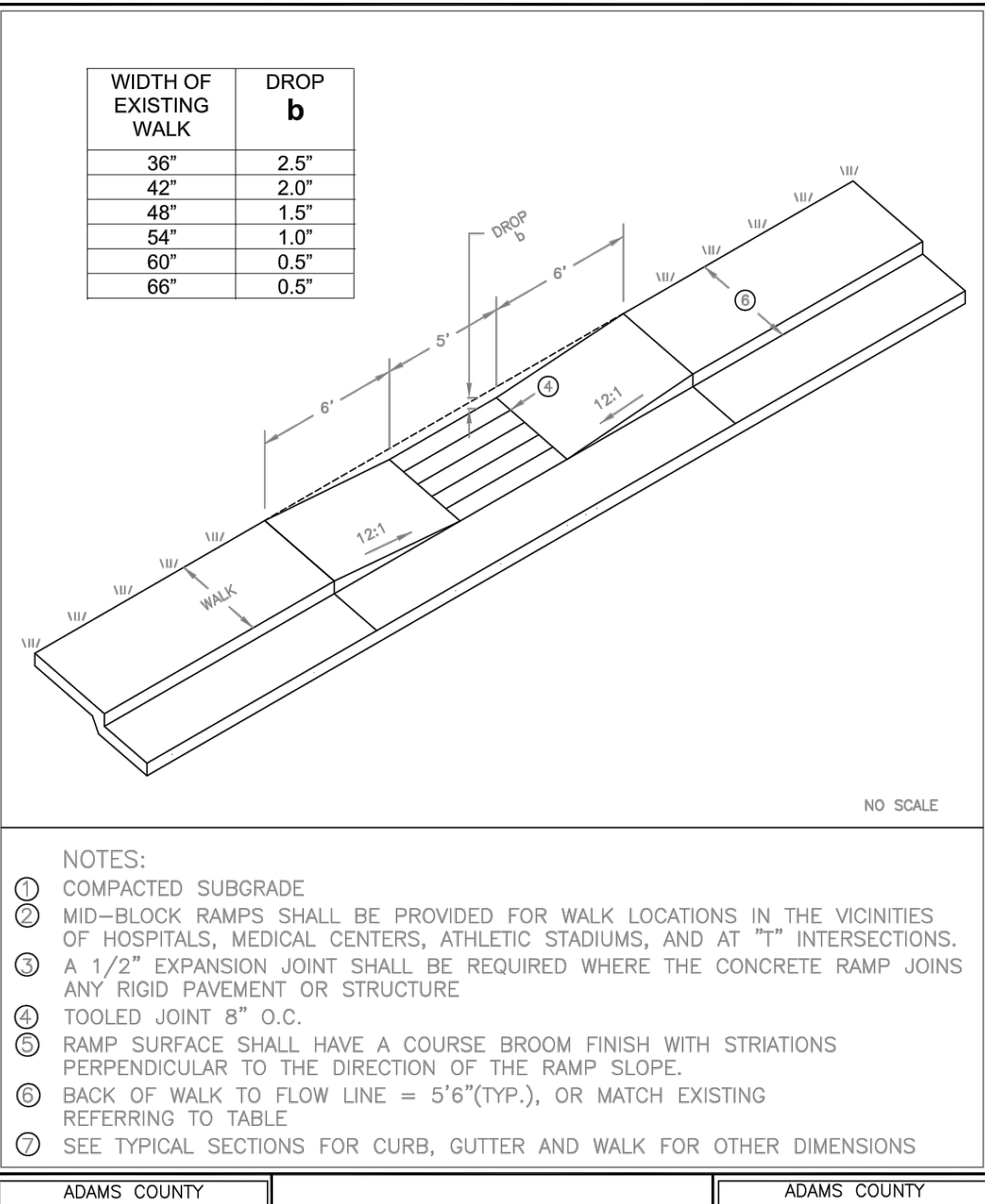
Fax: (303) 757-9820

Project Development Branch DD/LTA

CURB, GUTTERS, AND SIDEWALKS

STANDARD PLAN NO. M-609-1

Sheet No. 3 of 4



ADAMS COUNTY TRANSPORTATION DEPARTMENT /ENGINEERING

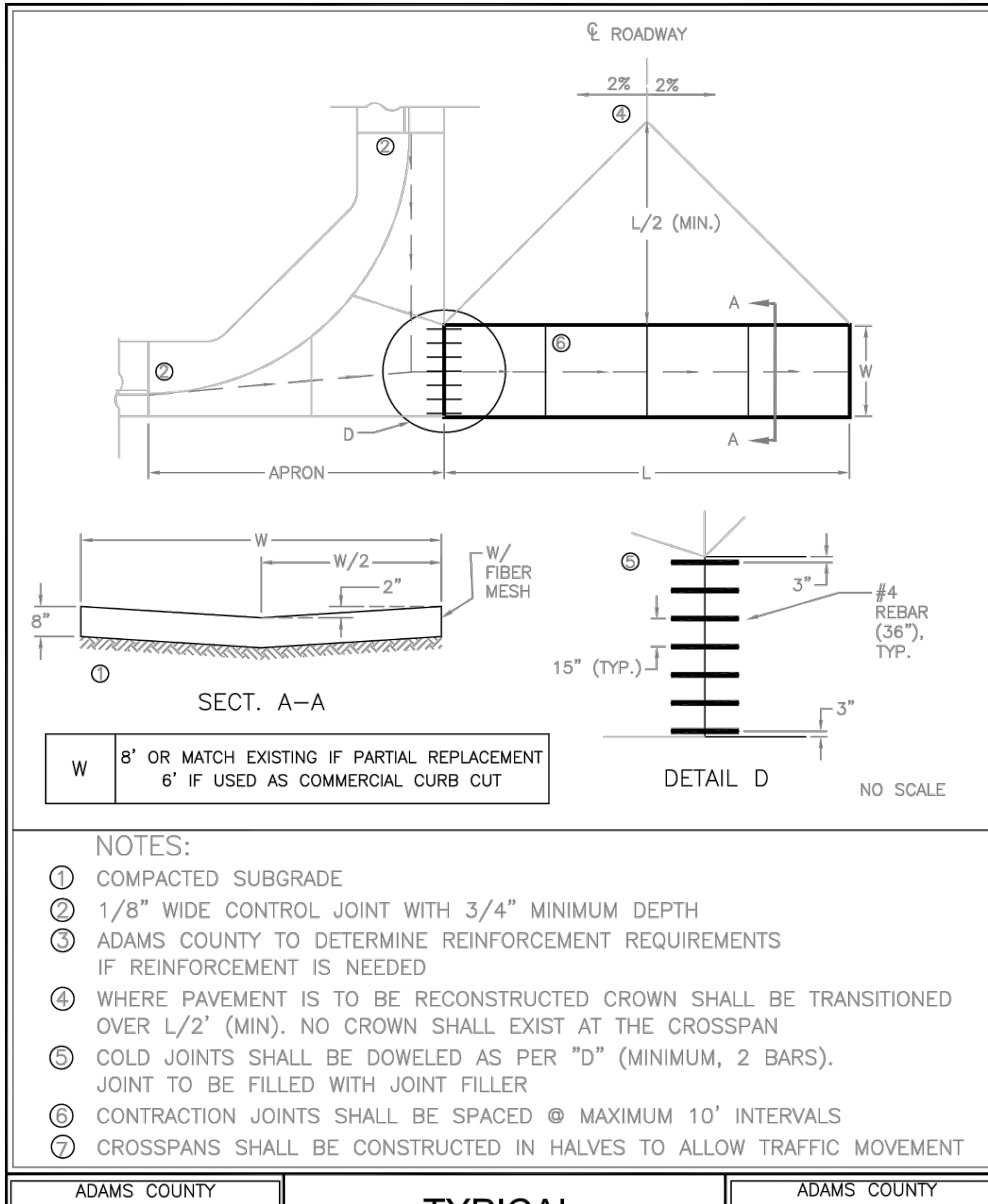
MID-BLOCK RAMP

ADAMS COUNTY TRANSPORTATION DEPARTMENT /CONSTRUCTION INSPECTION

4430 S. ADAMS COUNTY PKWY, BRIGHTON, CO 80601

REVISION DATE: 06/02/14

FILE NAME: MID_BLOCK_D.DWG



ADAMS COUNTY TRANSPORTATION DEPARTMENT /ENGINEERING

TYPICAL CROSSSPAN

ADAMS COUNTY TRANSPORTATION DEPARTMENT /CONSTRUCTION INSPECTION

4430 S. ADAMS COUNTY PKWY, BRIGHTON, CO 80601

REVISION DATE: 06/02/14

FILE NAME: TYP_XPAN_D.DWG

10/16/2020 11:52 AM X:\19-165 ELMWOOD ESTATES\W\LOADING\ANS\FILING - ISIT\DETAILS.DWG

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DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL & REQUEST AN ADVANCE RECONSTRUCTION OF UNDERGROUND UTILITIES FOR THE MARKING OF LOCATIONS. CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. THE BEST AVAILABLE INFORMATION IS PROVIDED FROM THE BEST AVAILABLE INFORMATION. THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



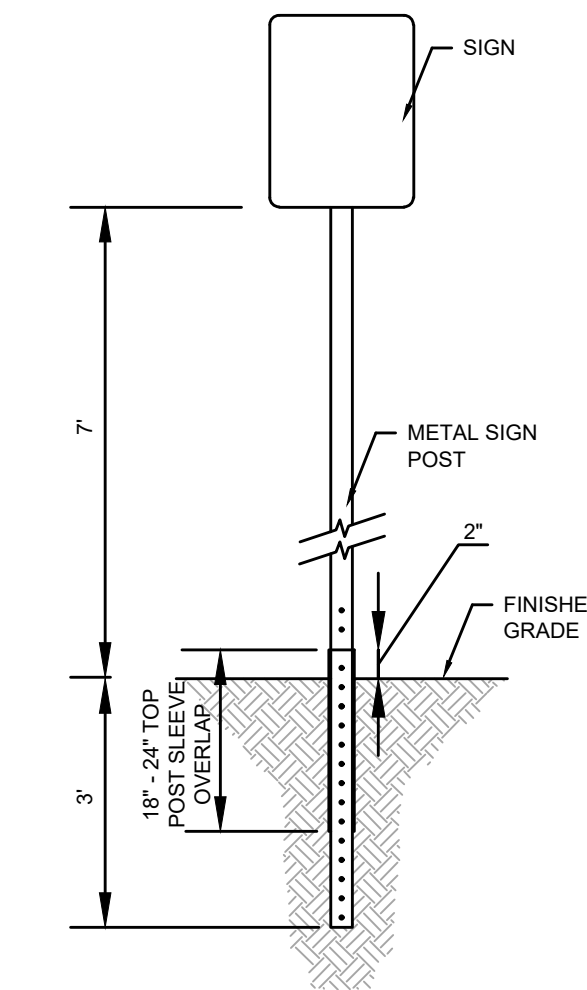
DATE BY	REVISION DESCRIPTION
XX/XX/XX	1 DRAFT

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
SITE DETAILS

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

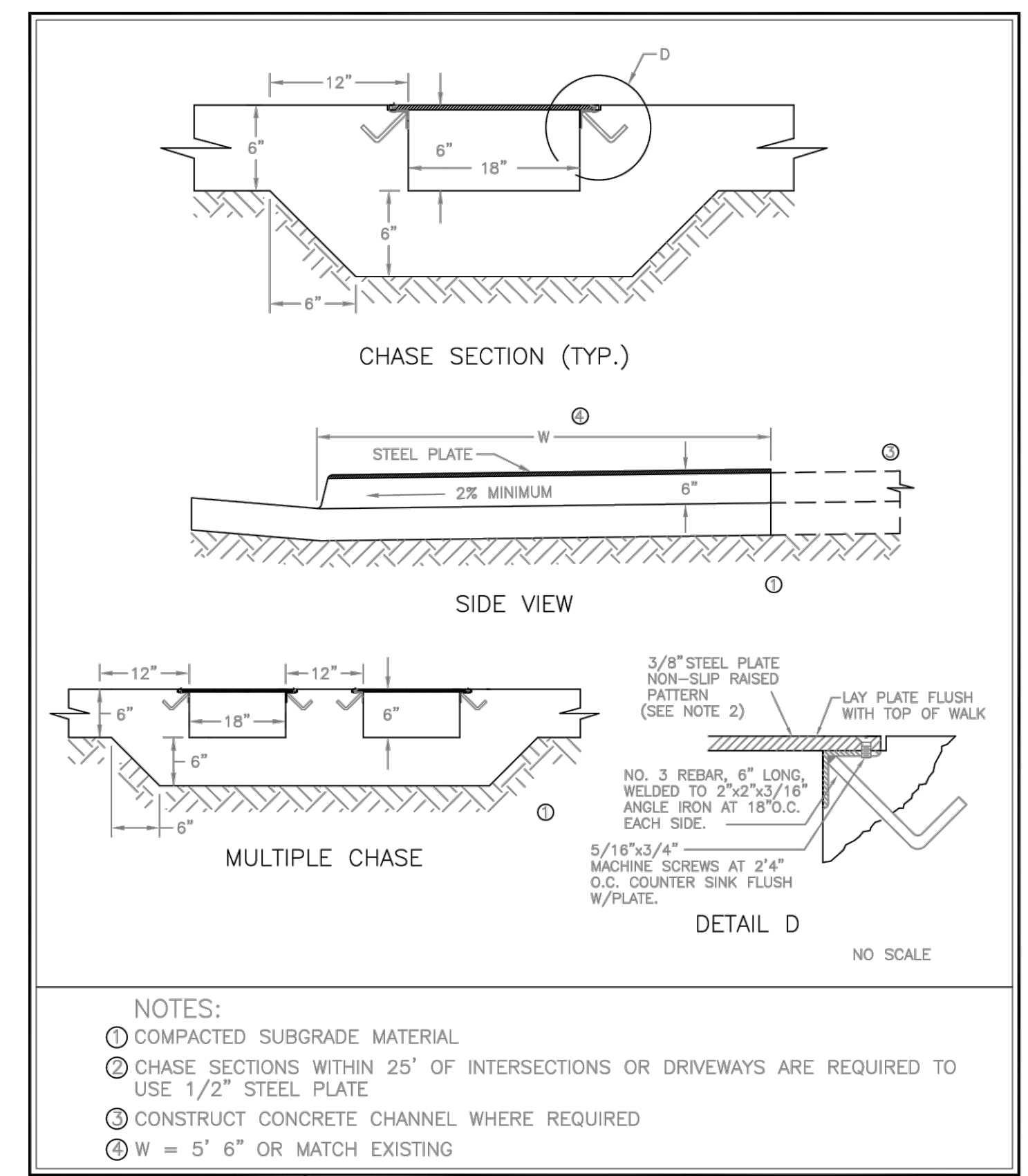
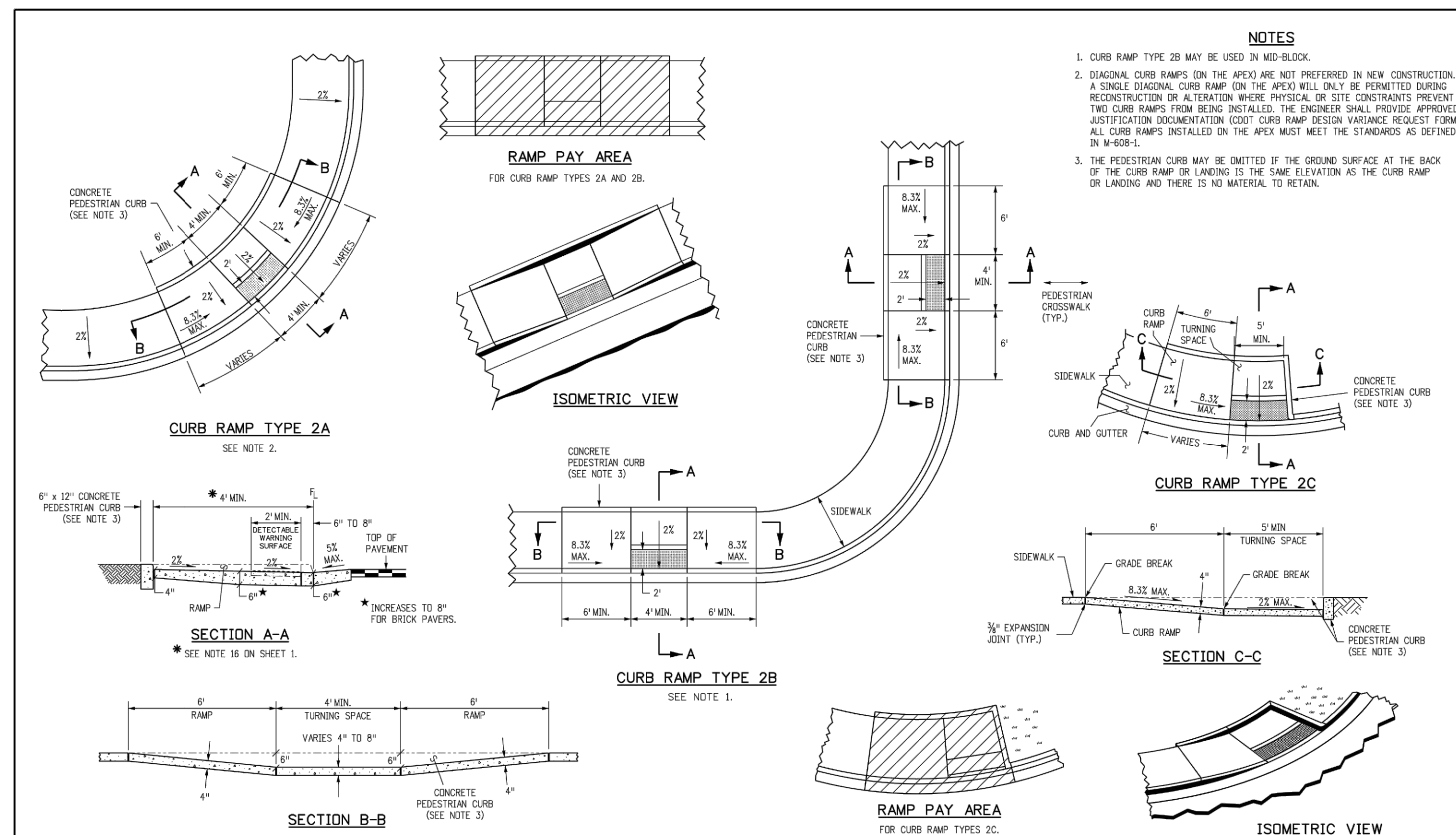
JOB NO. 19-165
SHEET 12 OF 13

10/16/2020 11:52 AM X:\19-165 ELMWOOD ESTATES\DWG\CAD\PLANS\DRAWING\ISBIST DETAILS.DWG



- NOTES:
1. PROVIDE SIGN IN CONFORMANCE WITH LATEST MUTCD SPECIFICATIONS.
 2. WHEN A SIGN BASE FALLS WITHIN A HARDSCAPED AREA, A 3" PVC SLEEVE SHALL BE INSTALLED AT THE SIGN LOCATION PRIOR TO PLACEMENT OF THE CONCRETE.
 3. SIGN POSTS SHALL BE 1.75" X 1.75", SIGN BASES SHALL BE 2" X 2" WHEN SIGNS ARE SMALLER THAN 36" X 36".
 4. SIGN POSTS SHALL BE 2" X 2", SIGN BASES SHALL BE 2.25" X 2.25" WHEN SIGNS ARE 36" X 36" OR BIGGER.
 5. SIGN POSTS AND BASES SHALL BE STEEL PERFORATED SQUARE TUBING AS SUPPLIED BY UNISTRUT, OR APPROVED EQUAL.

SIGN POST DETAIL
NTS



Computer File Information		Sheet Revisions		<p>4201 East Alameda Avenue Denver, Colorado 80222 Phone: (303) 757-9021 Fax: (303) 757-9820</p> <p>Project Development Branch JBK/LTA</p>	<p>CURB RAMPS</p> <p>Issued By: Project Development Branch on July 4, 2012</p>	<p>STANDARD PLAN NO.</p> <p>M-608-1</p> <p>Sheet No. 2 of 10</p>
Creation Date: 12/01/16	Initials: JBK	Date:	Comments:			
Last Modification Date: 02/23/17	Initials: LTA	02/23/17	Added and revised the curb ramp details and dimensions.			
Full Path: www.coloradodot.info/business/designsupport/						
Drawing File Name: 6080102010.dgn						
CAD Ver: MicroStation V8	Scale: Not to Scale	Units: English				

<p>ADAMS COUNTY TRANSPORTATION DEPARTMENT /ENGINEERING</p> <p>4430 S. ADAMS COUNTY PKWY. BRIGHTON, CO 80601</p>	<p>SIDEWALK CHASE DETAILS</p> <p>REVISION DATE: 06/02/14</p> <p>FILE NAME: SWLK_CHASE_D.DWG</p>	<p>ADAMS COUNTY TRANSPORTATION DEPARTMENT /CONSTRUCTION INSPECTION</p> <p>4430 S. ADAMS COUNTY PKWY. BRIGHTON, CO 80601</p>
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DESIGNED BY: NW	<p>ELMWOOD ESTATES ADAMS COUNTY, COLORADO</p> <p>CONSTRUCTION DRAWINGS SITE DETAILS</p>
DRAWN BY: NW	
CHECKED BY: JS	
JOB NO: 19-165	
SHEET 13 OF 13	



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DEVELOPMENT CONSULTING
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CALL US BEFORE YOU DIG. WE'LL ADVISE YOU IN ADVANCE BEFORE YOU CALL. WE'LL ADVISE YOU IN ADVANCE BEFORE YOU CALL. WE'LL ADVISE YOU IN ADVANCE BEFORE YOU CALL.

811

DATE	BY	REVISION DESCRIPTION
XX/XX/XX		1 DRAFT



Elmwood Estates
Final Utility Report
Potable Water Demand Calculation

CORE # 19-165
 12/15/2020
 NDW

Water Demand

PARCEL NO.	USE	DWELLING UNITS	ACRES	EQUIVALENT (SFE/DU)	SFE (DU)	DEMAND			
						AVG DAY (GPD/DU)	AVG DAY (GPM/SFE)	AVG DAY (GPM)	
<u>RESIDENTIAL</u>									
Domestic Water Demand	SFD	48		2.45	117.60	150	0.10	12.25	
Irrigation Water Demand	Irrigation		0		0.00	150	0.10	0.00	
				SUB-TOTAL	117.60		SUB-TOTAL	12.25	
					FILING TOTAL	117.60	FILING TOTAL	12.25	

PEAKING FACTOR

MAX DAY (MDD)	3.2	39.20	GPM
PEAK HOUR (PHD)	5.76	70.56	GPM

TOTAL RESIDENTIAL & IRRIGATION

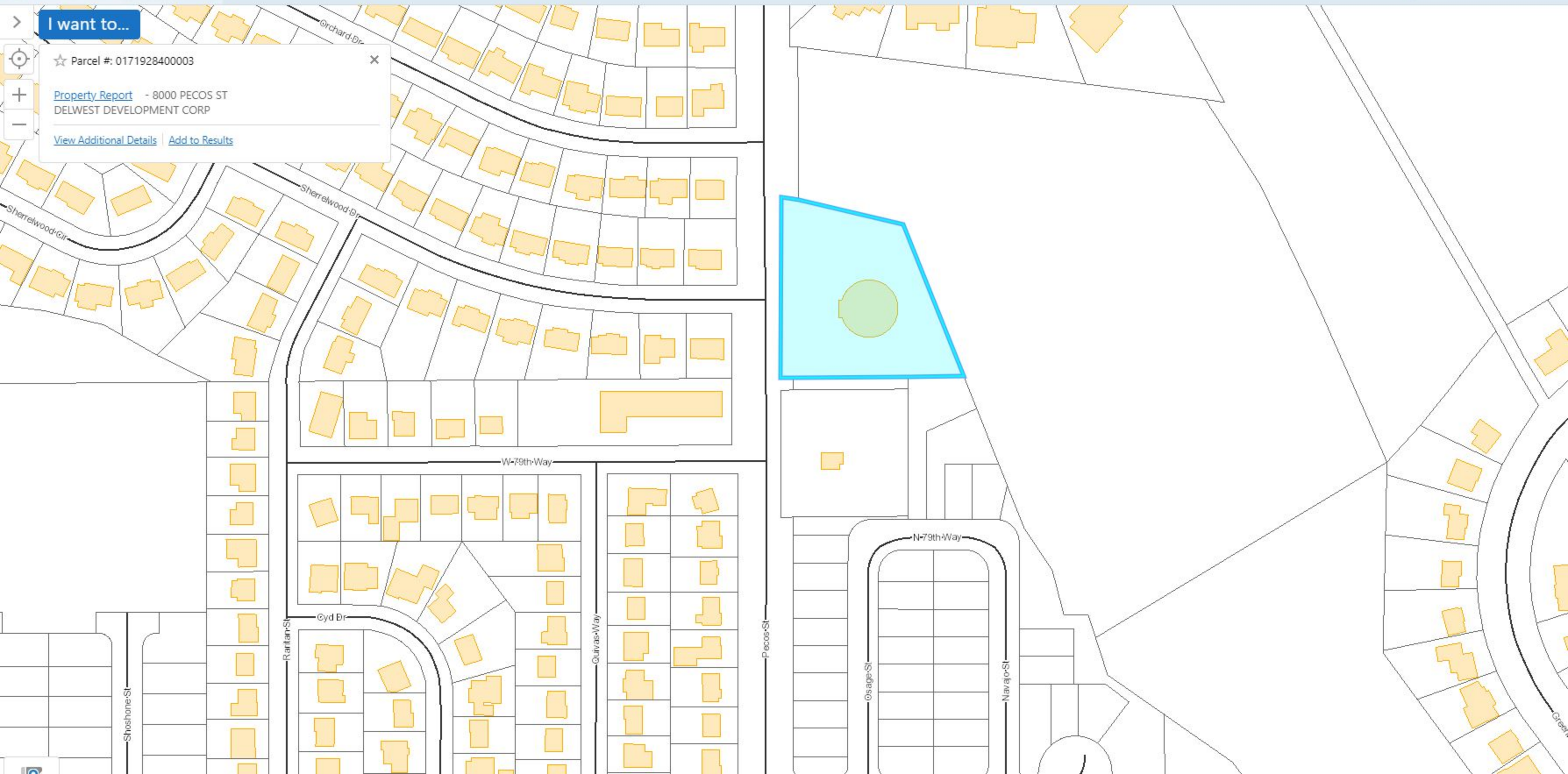
AVERAGE DAY (ADD)	12.25	17,640	19.8
MAX DAY (MDD)	39.20	56,448	63.2
PEAK HOUR (PHD)	70.56	101,606	113.8

I want to...

☆ Parcel #: 0171928400003

[Property Report](#) - 8000 PECOS ST
DELWEST DEVELOPMENT CORP

[View Additional Details](#) | [Add to Results](#)

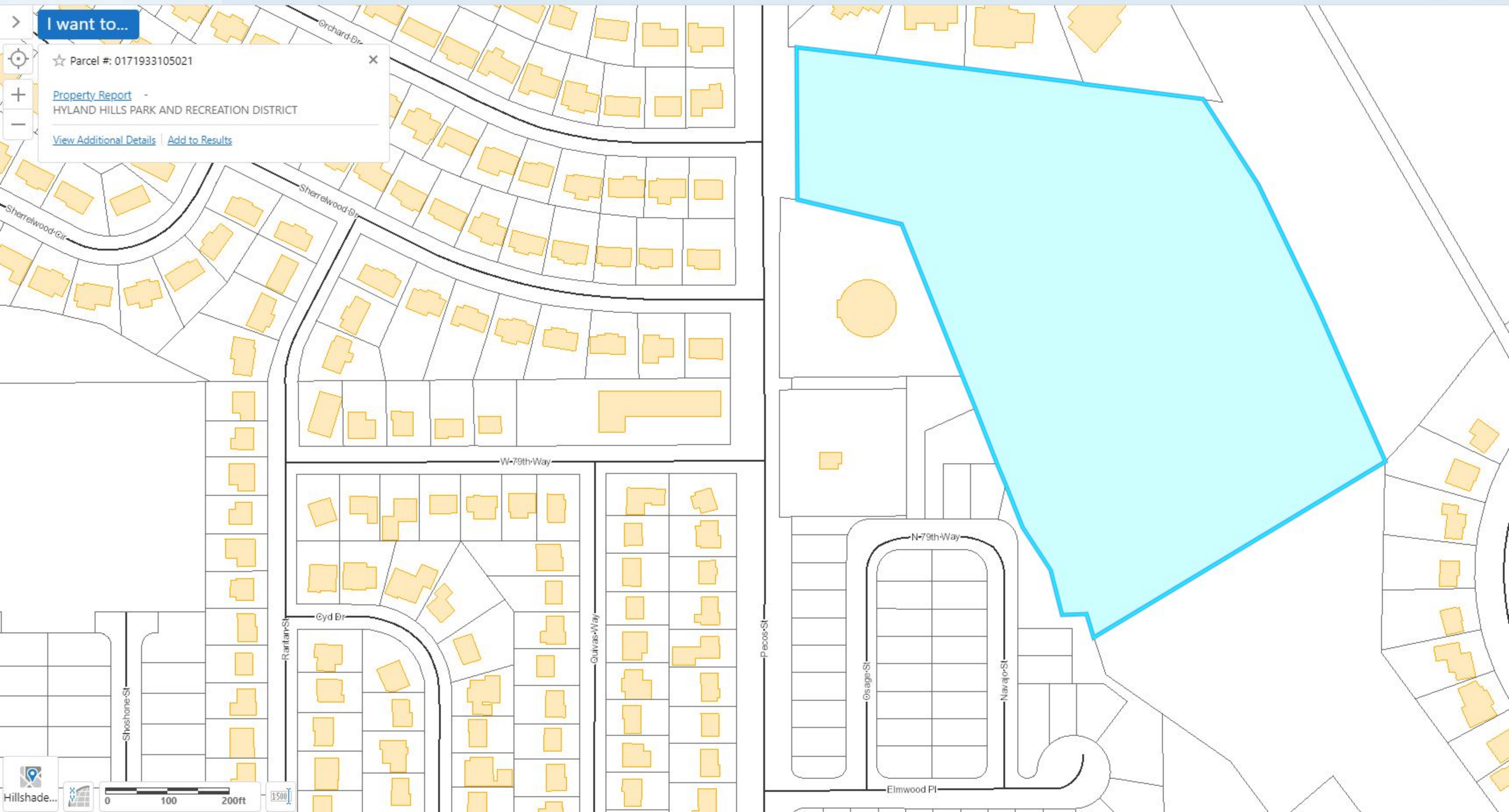


I want to...

☆ Parcel #: 0171933105021

[Property Report](#) -
HYLAND HILLS PARK AND RECREATION DISTRICT

[View Additional Details](#) | [Add to Results](#)



Hillshade...

0 100 200ft 1:500

QUIT CLAIM DEED 705775

THIS DEED, Made this 9th day of September, 1986,
between the City of Thornton

a corporation duly organized and existing under and by virtue of the laws of the State of Colorado
District No. 50, grantor, and Adams County School

a corporation duly organized and existing under and by virtue of the laws of the State of Colorado
of the County of Adams and State of Colorado, grantee, whose legal address is 4476 W. 68th Avenue

WILLIAM SOKOL
COUNTY RECORDER
ADAMS COUNTY, COLO.
Dec 29 10 30 AM '86

8705775

WITNESS That the grantor, for and in consideration of the sum of Ten dollars and other good and valuable consideration

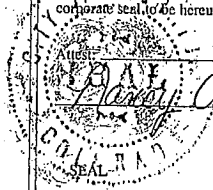
the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold, conveyed and QUIT CLAIMED, and by these presents does remise, release, sell, convey and QUIT CLAIM unto the grantee; its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the County of Adams and State of Colorado, described as follows:

See Exhibit A, Parcel C, attached hereto and by this reference incorporated herein.

~~XXXXXXXXXXXXXXXXXXXX~~

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever, of the grantor, either in law or equity, to the only proper use, benefit and behoof of the grantee, its successors and assigns forever.

IN WITNESS WHEREOF, The grantor has caused its corporate name to be hereunto subscribed by its President, and its Secretary, the day and year first above written.



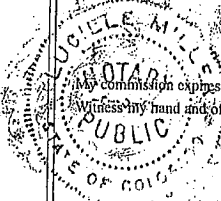
GRANTOR: City of Thornton

By Margaret W. Carpenter
Margaret W. Carpenter, Mayor

STATE OF COLORADO
County of Adams

} ss.

The foregoing instrument was acknowledged before me this 4th day of November, 1986, by Margaret W. Carpenter as Mayor, President and Nancy d. Vincent as City Clerk, Secretary of the City of Thornton a corporation.



Lucille Miller
Notary Public

My commission expires September 17, 1989
Witness my hand and official seal.

EXHIBIT A

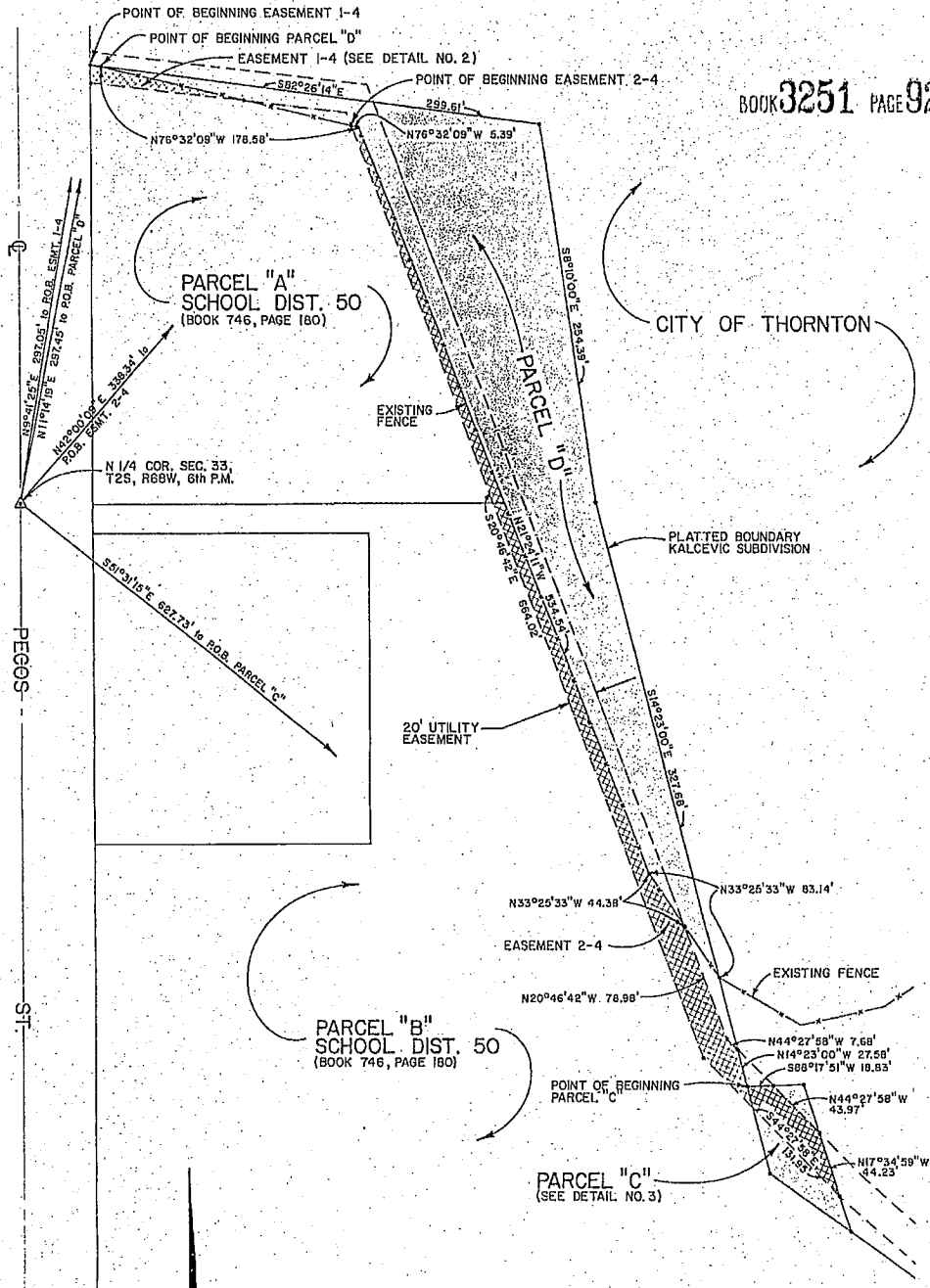
PARCEL C

Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence South 51°31'15" East, a distance of 627.73 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

North 88°17'51" East, 39.50 feet;
South 17°34'59" East, 104.05 feet;
North 54°51'00" West, 68.33 feet;
North 14°23'00" West, 60.58 feet to the True Point of Beginning.

The above parcel contains 0.076 acres more or less (3,319.97 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Maps Number 1 and 3).



DETAIL NO. 1



N1/4 COR.
SEC. 33, T2S,
R68W, 61h P.M.

PARCEL "D"

CITY OF THORNTON

EXISTING FENCE

EASEMENT 2-4

POINT OF BEGINNING PARCEL "C"

PARCEL "C"

PARCEL "B"
SCHOOL DIST. 50
(BOOK 746, PAGE 180)

20' UTILITY EASEMENT

DETAIL NO. 3

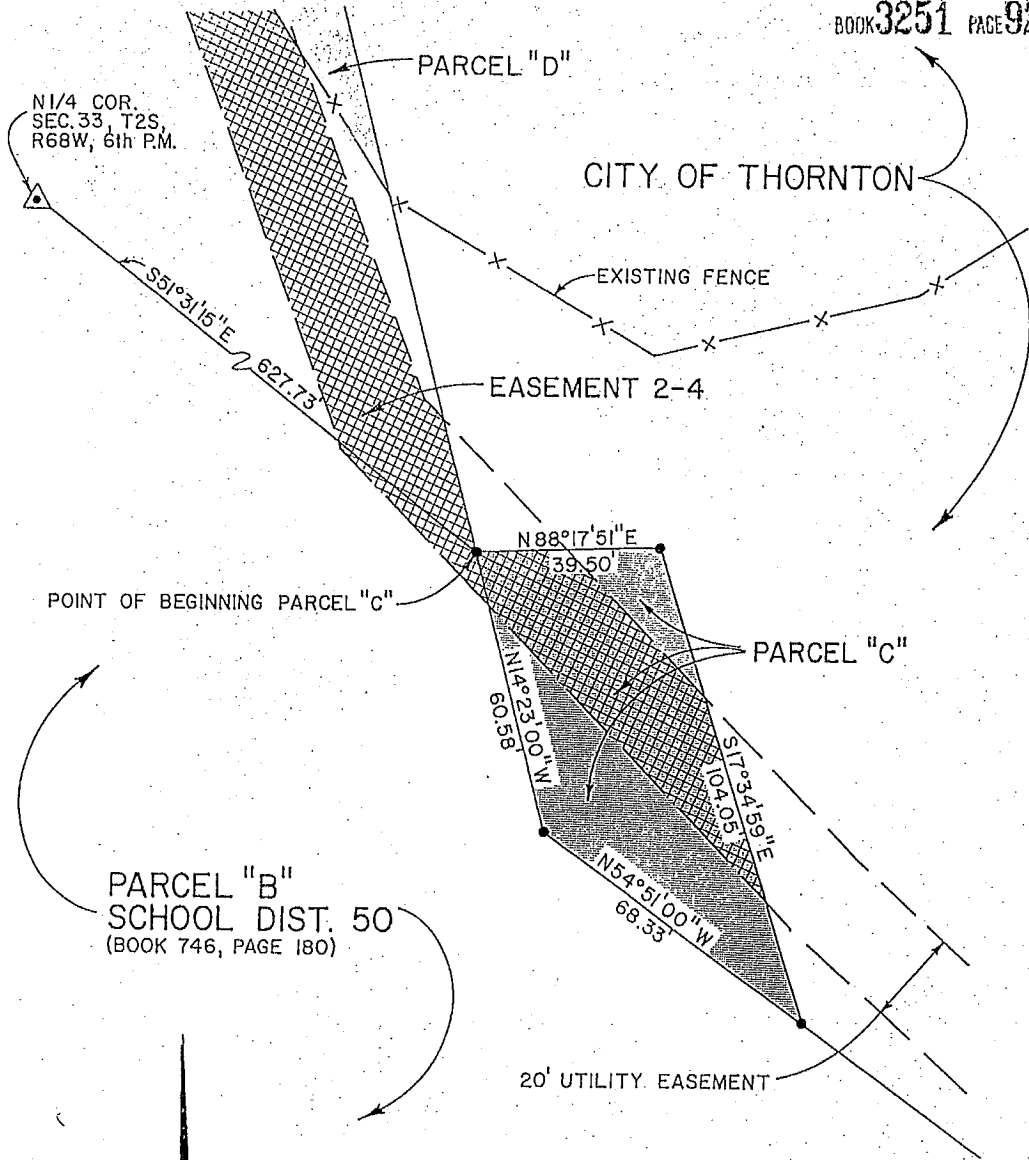
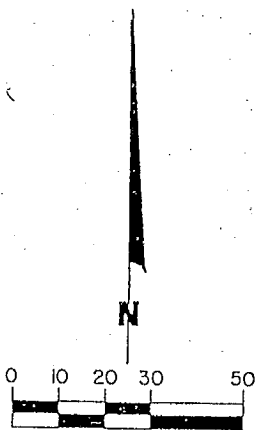


EXHIBIT A

PARCEL D

Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence North $11^{\circ}14'19''$ East, a distance of 297.45 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

South $82^{\circ}26'14''$ East, 299.61 feet;
South $08^{\circ}10'00''$ East, 254.39 feet;
South $14^{\circ}23'00''$ East, 327.68 feet;
North $33^{\circ}25'33''$ West, 83.14 feet;
North $21^{\circ}24'11''$ West, 534.54 feet;
North $76^{\circ}32'09''$ West, 178.58 feet to the True Point of Beginning.

The above parcel contains 0.875 acres more or less (38,093.28 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Map Number 1).

EXHIBIT A

EASEMENT 1-4

Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence North 9°41'25" East, a distance of 297.05 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

South 82°26'14" East, 8.04 feet;
South 76°32'09" East, 98.36 feet;
North 83°17'55" West, 104.34 feet;
North 00°00'01" East, 11.78 feet to the True Point of Beginning.

The above easement contains 0.015 acres more or less (651.27 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Maps Number 1 and 2).

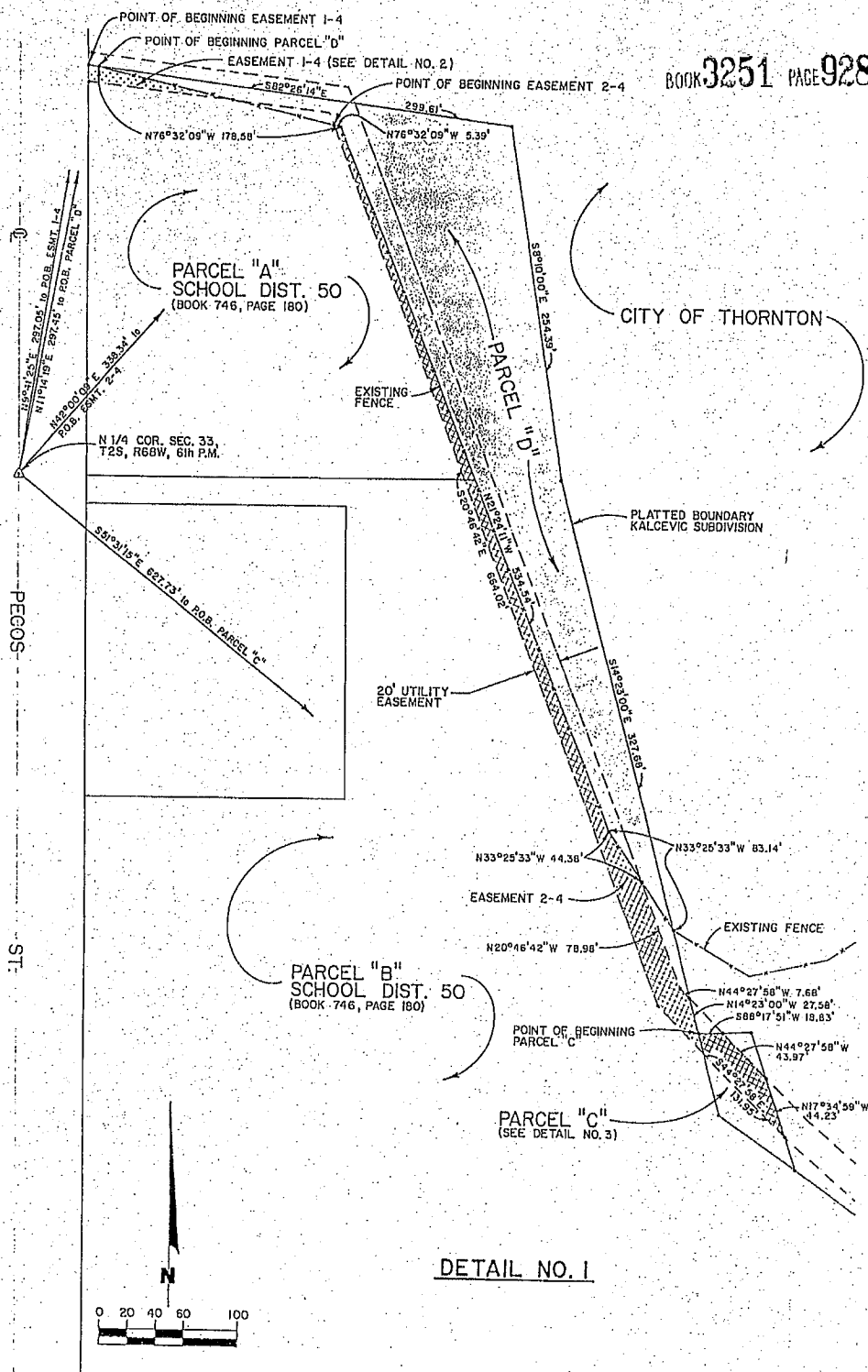
EXHIBIT AEASEMENT 2-4

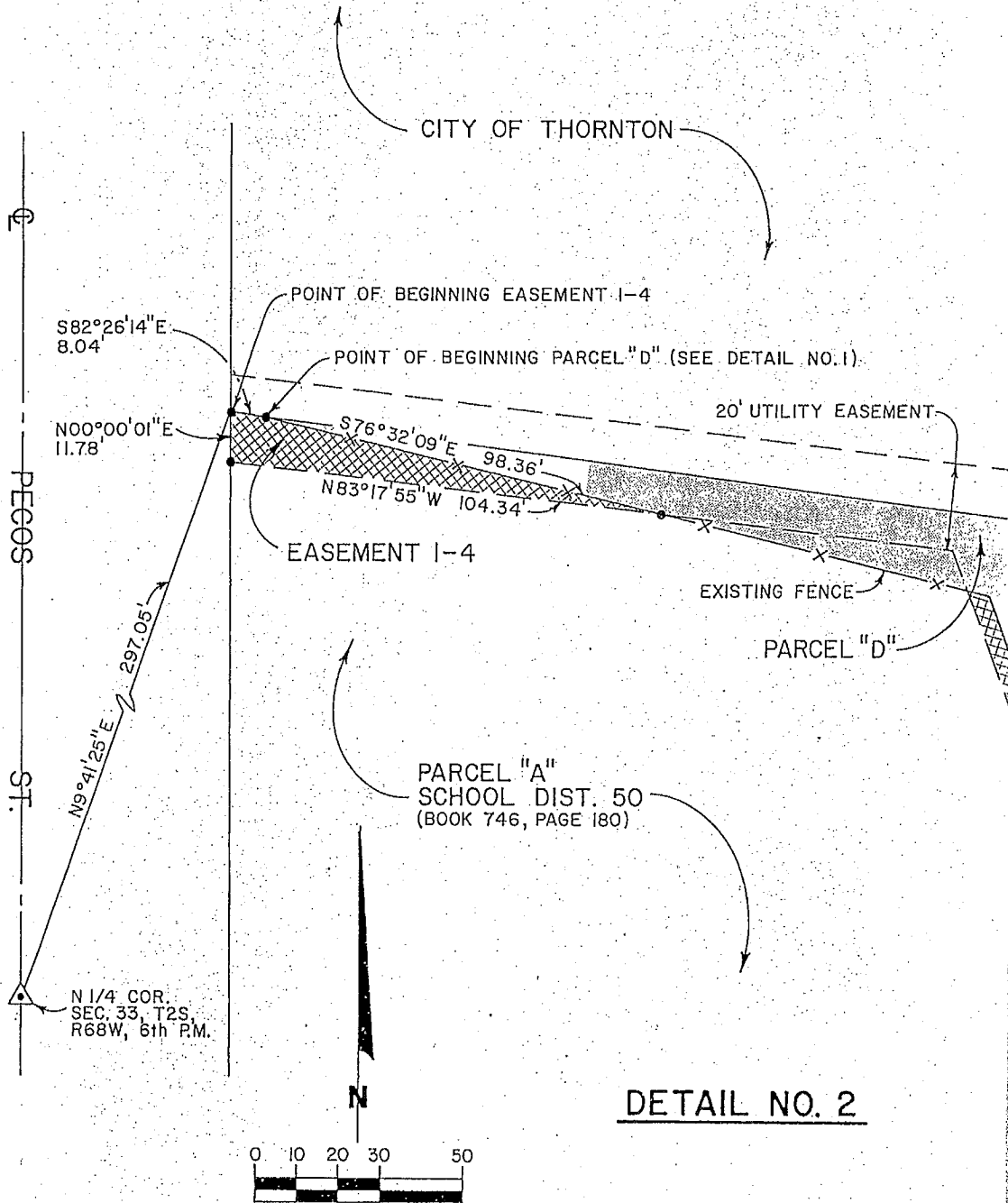
Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence North 42°00'09" East, a distance of 338.34 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

South 20°46'42" East, 664.02 feet;
South 44°27'58" East, 131.95 feet;
North 17°34'59" West, 44.23 feet;
North 44°27'58" West, 43.97 feet;
South 88°17'51" West, 18.83 feet;
North 14°23'00" West, 27.58 feet;
North 44°27'58" West, 7.68 feet;
North 20°46'42" West, 78.98 feet;
North 33°25'33" West, 44.38 feet;
North 21°24'11" West, 534.54 feet;
North 76°32'09" West, 5.39 feet to the True Point of Beginning.

The above easement contains 0.188 acres more or less (8,171.00 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Map Number 1).





N1/4 COR.
SEC. 33, T2S,
R68W, 6th P.M.

CITY OF THORNTON

PARCEL "D"

EXISTING FENCE

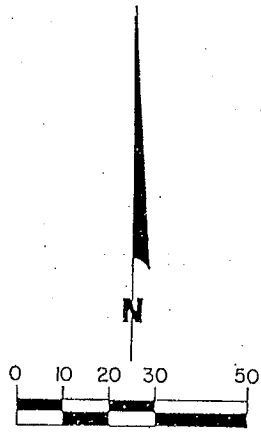
EASEMENT 2-4

POINT OF BEGINNING PARCEL "C"

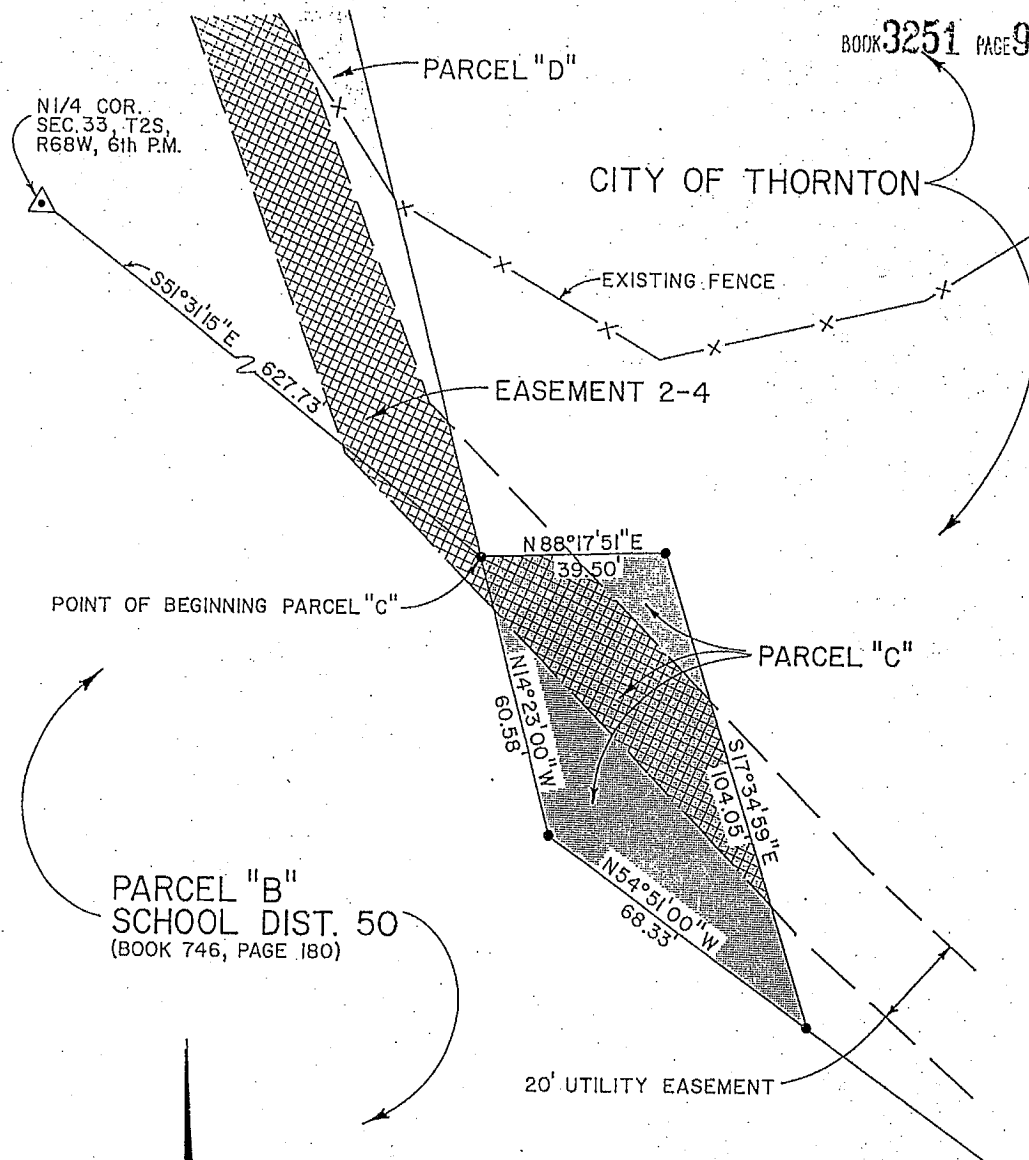
PARCEL "C"

PARCEL "B"
SCHOOL DIST. 50
(BOOK 746, PAGE 180)

20' UTILITY EASEMENT



DETAIL NO. 3



Project No. _____

Parcel No. _____

EXCLUSIVE EASEMENT FOR PIPELINE

KNOW ALL MEN BY THESE PRESENTS:

1. That the undersigned Adams County School District No. 50

(hereinafter referred to as "Grantor"), in consideration of the sum of \$5.00, receipt of which is hereby acknowledged, and of further agreements and considerations herein stated does hereby grant to the City of Thornton, acting by and through its Utilities Board, a Municipal corporation of the State of Colorado (hereinafter referred to as "Grantee"), its successors and assigns, the permanent right to enter, reenter, occupy and use the hereinafter described property to construct, maintain, repair, replace, remove, enlarge, and operate one or more pipelines and all underground and surface appurtenances thereto, together with a temporary construction easement during the period of construction of such pipelines in, over, under, through, and across the real property described on Exhibit "A", attached hereto and incorporated herein by reference. The easement hereby granted includes the right of necessary use of the surface and subsurface of such land for the construction, laying, maintenance, repair, removal, and replacement of such pipelines.

2. Grantee shall have and exercise the right of ingress and egress into, over, through, and across the above described property for any purpose needful for the full enjoyment of any other right of occupancy or use provided for herein.

3. Grantor shall not construct or place any structure or building, street light, power pole, yard light, or plant any shrub, trees, wooden plant or nursery stock in any part of the above described right of way. Any structure, building, street light, power pole, yard light, shrub, tree, wooden plant or nursery stock situated on the above-described right of way as of the date of this Agreement, except the existing baseball backstop, may be removed by the Grantee without liability for damages arising therefrom. If Grantee must remove or damage such baseball backstop Grantee agrees to replace it at Grantee's sole expense.

4. Existing fencing disturbed or destroyed by the Grantee in constructing the facilities contemplated hereby shall be replaced

by Grantee to its original condition as near as may be, however Grantor shall not construct new fencing across or within the right of way herein described without the prior written approval of the Grantee.

5. Grantee shall have and exercise the right of subjacent and lateral support to whatever extent is necessary or desirable for the full, complete and unmolested enjoyment of the rights hereinabove described. The Grantor shall take no action which would impair the earth cover over, or the lateral or subjacent support for any pipeline or lines and appurtenances within the right of way without obtaining the specific written permission of the Grantee. Any modification undertaken by the Grantor would be upon terms which would provide for reimbursement to the Grantee of the cost of any alterations to any pipeline facility made necessary by the change. In the event the terms of this paragraph are violated by the Grantor or by any person in privity with him or her, such violation shall be corrected and eliminated immediately upon receipt of notice from Grantee and in the alternative Grantee shall have right to correct and eliminate such violation, and the Grantor, his or her heirs, administrators, successors, and assigns, shall promptly pay the actual cost thereof.

6. Grantor retains the right to undisturbed use and occupancy of the subject property insofar as such use and occupancy is consistent with and does not impair any grant herein contained and except as otherwise herein provided.

7. In case the Grantee shall abandon its rights herein and cease to use the right of way herein described, all right, title and interest of the Grantee shall cease and terminate and all rights of the Grantee so abandoned shall cease and terminate and the Grantor shall hold the premises as the same may then be free from the rights so abandoned but nothing herein shall be construed as working a forfeiture or abandonment if any interest described hereunder is owned by Grantee at the time of abandonment of Grantee's rights.

8. After construction of any pipeline, the general surface of the ground, except as necessarily modified to accommodate appurtenances shall be restored as near as may reasonably be, to the graded condition it was in immediately prior to construction. Top soil shall be replaced in cultivated and agricultural areas and excess earth resulting from installations by the Grantee shall be removed from the right of way at the sole expense of Grantee.

CITY OF THORNTON, acting by and through its Utilities Board

By Leonard Boulas
Chairman

ATTEST:

Karen Wirft
Secretary

APPROVED AS TO FORM:

JAMS
Utilities Attorney

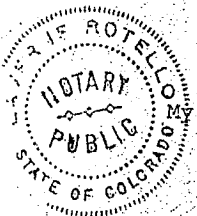
STATE OF COLORADO)
) ss.
COUNTY OF ADAMS)

The within and foregoing instrument was acknowledged before me by Leonard Boulas, this 11th day of Sept. 1986.

Aguero Rotello
Notary Public

My commission expires: 9-20-89

9500 Civic Center Dr.
Thornton, CO 80229



A PART OF THE S 1/2 OF THE NW 1/4, OF THE NE 1/4, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 2

ELMWOOD PARK

CASE NO. 199-95-F

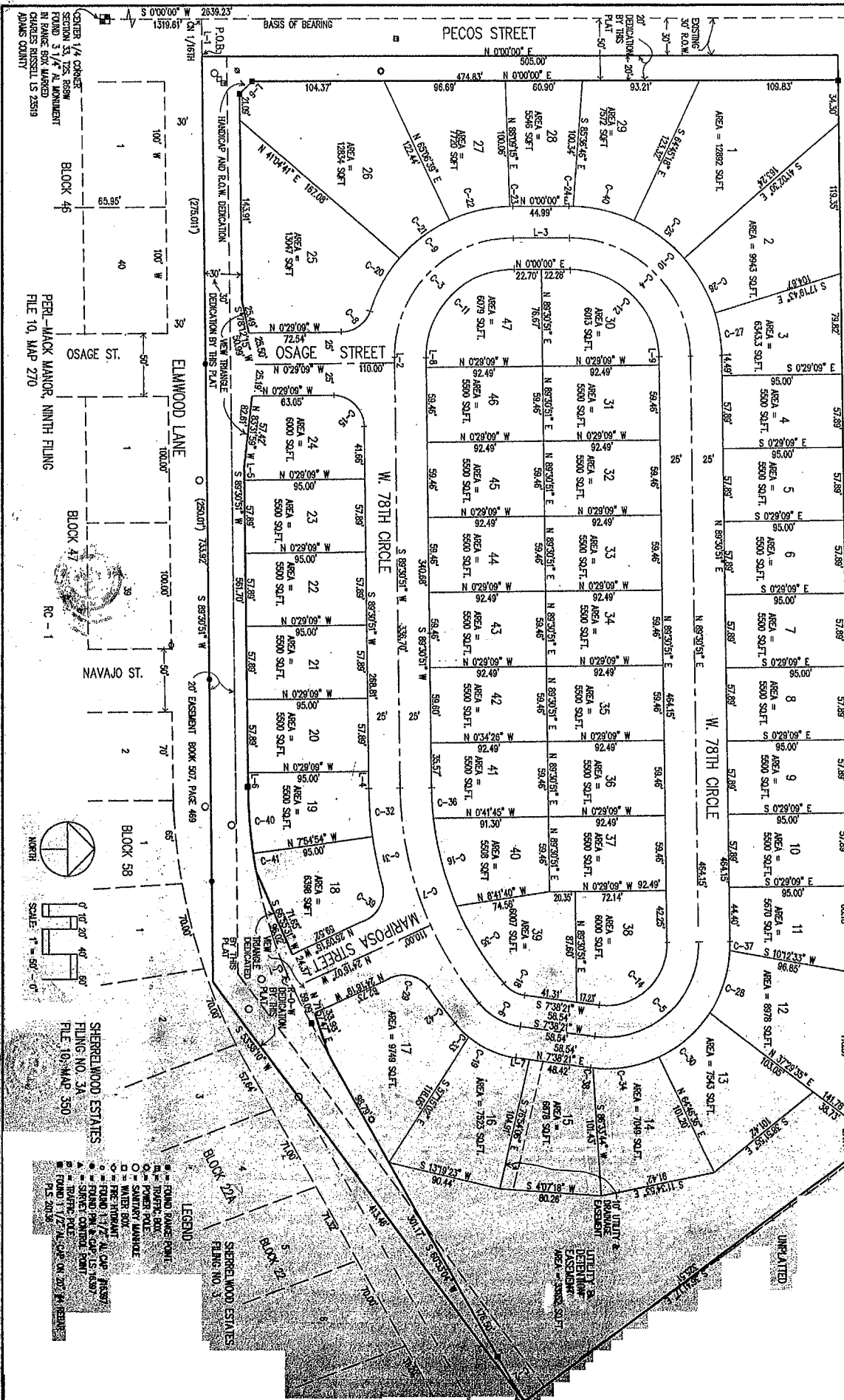
F17-537 212

NORTH 1/4 CORNER
 SEC. 33, T2S, R68W
 FOUND 3" AL. CAP IN RANGE BOX

UNPLATTED
 BK 746, PAGE 180
 (PARCEL B)

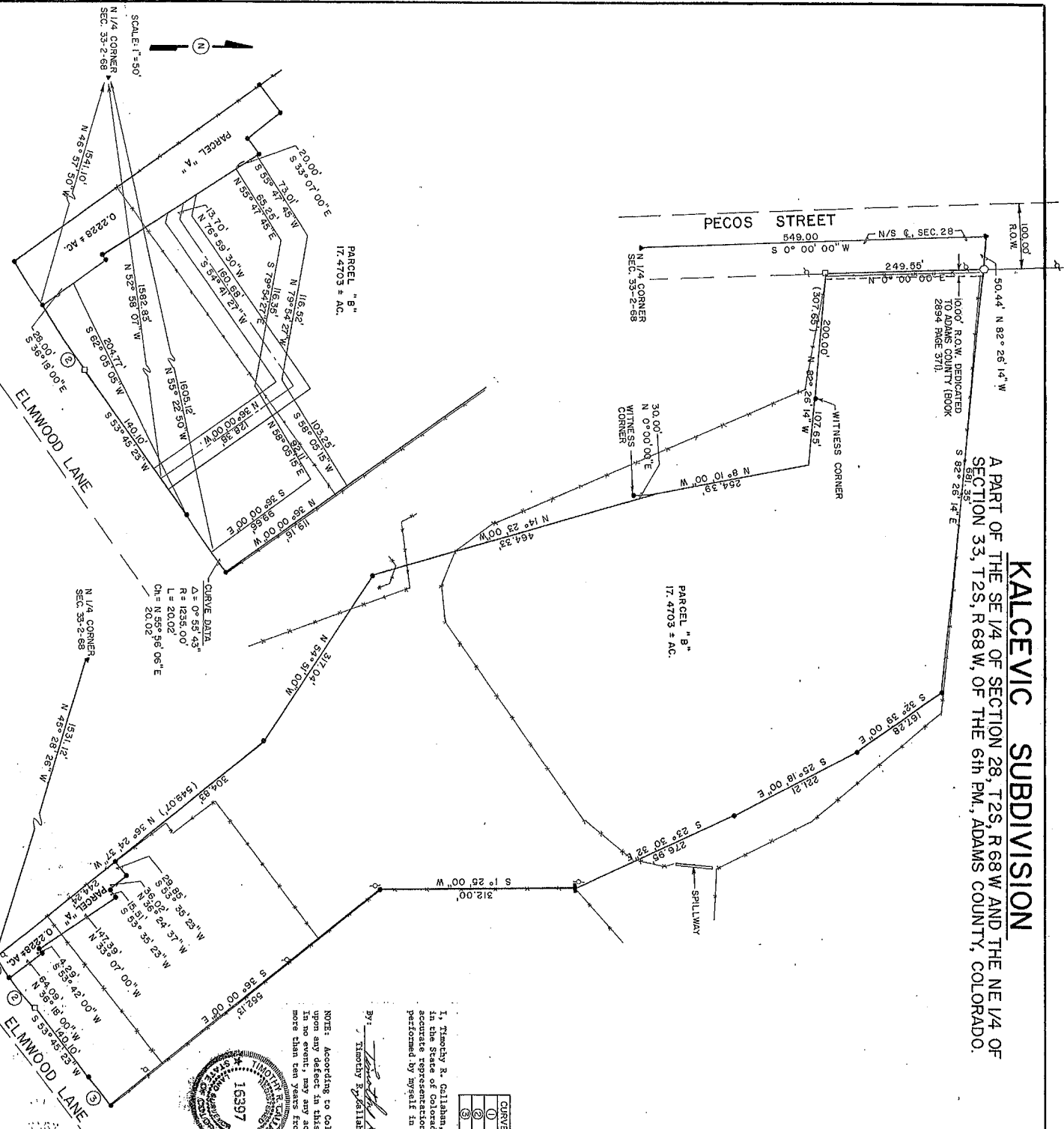
EXISTING FENCE LINE

EXISTING FENCE LINE



KALCEVIC SUBDIVISION

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W AND THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6th PM, ADAMS COUNTY, COLORADO.



- LEGEND**
- EXIST. FENCE LINE
 - PIN & CAP FOUND, LS # 2730
 - ◇ PIN & CAP FOUND, LS # 16823
 - ◇ 1/4" PIN FOUND IN ASPHALT
 - ALUMINUM CAP PLACED ON FOUND REBAR, LS # 16397
 - SET PIN & CAP LS # 16397
 - ⚡ POWER POLE.

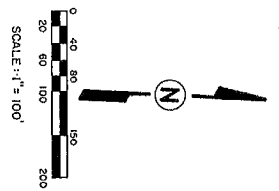
CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	CHORD
①	2° 00' 18"	1176.49	41.17'	S 57° 48' 13" W 41.17'
②	3° 02' 41"	1176.49	62.52'	S 55° 16' 44" W 62.51'
③	2° 38' 34"	1235.00	58.96'	S 55° 04' 40" W 58.96'

I, Timothy R. Callahan, do hereby certify that I am a registered land surveyor in the State of Colorado. I also certify that this plat is a complete and accurate representation, to the best of my knowledge and belief, of a survey performed by myself in Harlan and Agull, 1984.

By: *Timothy R. Callahan*
 Timothy R. Callahan, LS#16397
 Date: *May 14, 1984*

NOTE: According to Colorado Law, you must commence and legal action based on any defect in this survey within ten years from the date of certification shown hereon.



CITY OF THORNTON
 UTILITIES DEPARTMENT

KALCEVIC SUBDIVISION

DESIGN: TRC	DRAWN: C. RARNELL	CHECKED: TRC
REV: DATE	DESCRIPTION	JOB NO.:
		HORIZ. AS SHOWN
		VERT. AS SHOWN
		SHEET 2 OF 2

KALCEVIC SUBDIVISION
AMENDED

A PART OF THE SE 1/4 OF SECTION 29, T2S, R68W, AND
THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M.,
ADAMS COUNTY, STATE OF COLORADO
SHEET 1 OF 3



Certification of Dedication and Ownership

Know all men by these presents that the City of Thornton, a municipality, being the owner of that part of the Kalcevic Subdivision, as it is recorded in File 16 Map 142, of the Adams County Clerk and Recorder's Office, located in the southeast 1/4 of Section 29 and the northeast 1/4 of Section 33, Township 29 North, Range 68 West of the Sixth Principal Meridian Adams County, State of Colorado, said parcel being more particularly described as follows:

Commencing at the south 1/4 corner of said Section 29; thence, coincident with the north/south center line of said Section 29, North 00° 00' 00" East a distance of 549.00 feet; thence South 82° 26' 14" East a distance of 60.53 feet to the east right-of-way line of Pecora Street and the south line of a parcel recorded in Book 2278 at Page 538 of said office, said point being the Point of Beginning; thence, coincident with said south line, South 82° 26' 14" East a distance of 61.26 feet to the Point of Beginning; thence, coincident with the north/south center line of the third filing of Sherwood Estates as recorded in File 10 as Map 335 of said office; thence, coincident with said west line, the following courses and distances:

South 32° 36' 00" East a distance of 167.28 feet;
South 25° 18' 00" East a distance of 221.21 feet;
South 23° 30' 32" East a distance of 276.95 feet;
South 01° 25' 00" West a distance of 312.00 feet;
South 38° 00' 00" East a distance of 552.13 feet; to the north right-of-way line of Elmwood Lane, a curve to the left having a radius of 1235.00 feet, through a central angle of 02° 38' 34", an arc distance of 56.98 feet, whose chord bears South 55° 04' 40" West a chord distance of 56.98 feet to a point of tangency;
thence, coincident with said north right-of-way line, South 53° 45' 23" West a distance of 140.10 feet;
thence, coincident with said north right-of-way line, along a curve to the right having a radius of 1176.49 feet, through a central angle of 05° 02' 59" an arc distance of 103.89 feet, whose chord bears South 56° 18' 53" West a chord distance of 103.86 feet to the east line of a parcel owned by the Archdiocese of Denver; thence, coincident with said east line, North 56° 24' 37" West a distance of 549.07 feet;
thence, coincident with the east line of a parcel recorded in Book 746 at Page 180 of said office, North 14° 23' 00" West a distance of 76.07 feet to the west line of a parcel recorded in Book 3251 at Page 828 of said office;
thence, coincident with said west line and the east line of a parcel described in Book 3254 at Page 139 of said office, the following courses and distances:
North 33° 25' 33" West a distance of 83.14 feet;
North 21° 24' 11" West a distance of 534.54 feet;
North 76° 32' 09" West a distance of 176.49 feet to said east right-of-way line of Pecora Street;
thence, coincident with said east right-of-way line, North 00° 00' 00" East a distance of 229.17 feet to the south line of said parcel recorded in Book 2278 at Page 538 of said office, said point being the POINT OF BEGINNING, containing 16.45 acres more or less.

have by these presents laid out, platted and subdivided the same into lots and blocks as shown on this plat under the name and style of "Kalcevic Subdivision Amended", and do hereby dedicate to the County of Adams, State of Colorado, for public use all streets and other public ways and easements which are labeled on utility maps and shown on this plat, including but not limited to electric lines, gas lines, telephone lines, water lines, sewer lines, together with the right to trim interfering trees and brush, installation, maintenance, and replacement of such lines; said easements and rights are to be utilized in a responsible and prudent manner. Executed this 19th day of August, 1991.

John Bluff
City of Thornton (Owner)
Scott Ehringer (City Manager)

Acknowledgement
State of Colorado)
City of Thornton) ss
The foregoing plat and dedication was acknowledged before me this 19th day of August, 1991, by *Scott Ehringer*
Charles J. Wilson
Notary Public

My commission expires July 29, 1995
My address is: 5500 Olive Cir. Dr.

SURVEYOR'S CERTIFICATE

I, Kerry A. Perkins, a licensed professional Land Surveyor in the State of Colorado, do hereby state that the survey of this plat was made under my direct supervision and that the accompanying plat accurately and properly shows said subdivision in conformance with Title 38, Article 51 of the Colorado Revised Statutes as amended.



Kerry A. Perkins
KERRY A. PERKINS PLS 24965
Acting City Surveyor
For and on behalf of the
City of Thornton
Job No. 879660 91

SURVEYOR'S NOTICE
C.R.S. Section 13-80-105

NOTICE: According to Colorado law, any legal action based upon any defect in this survey must be commenced within three years after discovering such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

Notes and Restrictions
The following notes and restrictions shall apply to Kalcevic Subdivision Amended:
None

Planning Commission Approval:
Approved by the Adams County Planning Commission this 10th day of October, 1991.

Bill Lippert
Chairman

Board of County Commissioners Approval:
Approved by the Adams County Board of County Commissioners this 19th day of October, 1991.

Robert Beck
Chairman

Clerk and Recorder's Certificate

This plat and dedication was filed for record in the office of the Adams County Clerk and Recorder, in the State of Colorado, at 10:00 A.M. on the 6th day of June, 1991.

Robert Beck
County Clerk and Recorder

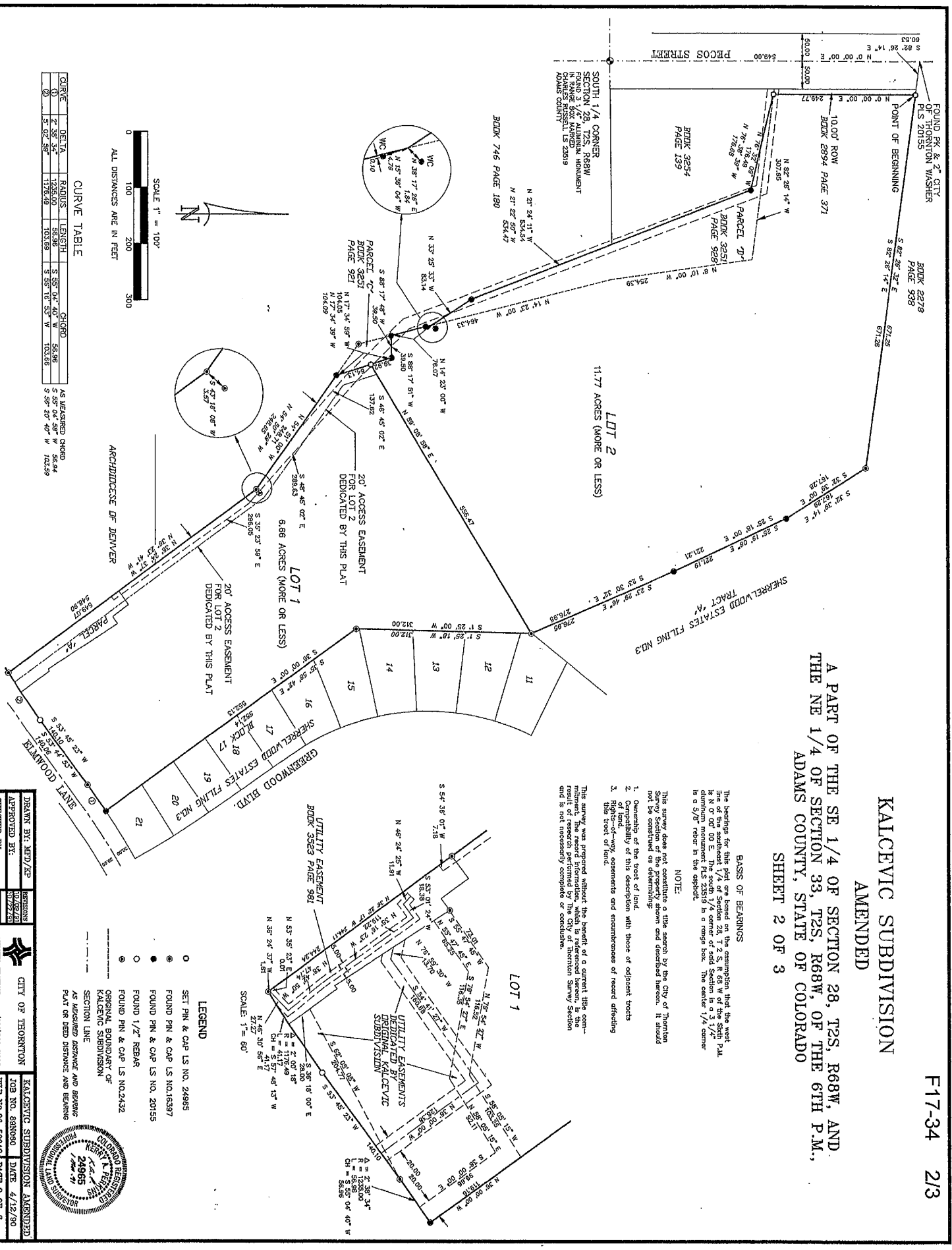
By: *Leann J. Rasmussen*
Deputy

File No. 17
Map No. 34
Reception No. B1041161

DRAWN BY: <u>MBP/RC</u>	REVISIONS:	CITY OF THORNTON	KALCEVIC SUBDIVISION AMENDED
APPROVED BY: <u>04/28/91</u>	<u>07/22/91</u>	JOB NO. 889960	DATE 4/12/90
CHECKED BY: <u>RCM</u>		SURVEY SECTION: <u>CR03938-7938</u>	FILE NO. 88-50042 PAGE 1 OF 3

**KALCEVIC SUBDIVISION
AMENDED**

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M., ADAMS COUNTY, STATE OF COLORADO
SHEET 2 OF 3



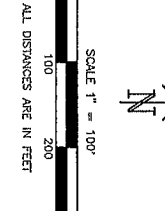
BASIS OF BEARINGS
The bearings for this plat are based on the assumption that the west line of the southeast 1/4 of Section 28, T. 2 S., R. 68 W. of the Sixth P.M. is N 0° 00' 00" E. The south 1/4 corner of said Section is a 3 1/2" diameter monument PLS 23519 in a range box. The center 1/4 corner is a 9/8" rod in the spirit.

NOTE:
This survey does not constitute a title search by the City of Thornton. The record information, which is referenced herein, is the responsibility of the owner of the property shown and described herein. It should not be construed as determining:
1. Ownership of the tract of land.
2. Competibility of this description with those of adjacent tracts.
3. Rights-of-way, easements and encumbrances of record affecting the tract of land.

This survey was prepared without the benefit of a current title commitment. The record information, which is referenced herein, is the responsibility of the owner of the property shown and described herein. It is not necessarily complete or conclusive.

CURVE TABLE

CURVE	DATA	RADIUS	LENGTH	CHORD	AS MEASURED	CHORD	AS MEASURED
1	2° 38' 54"	1235.00	55.89	5.55	0.4'	56.95	0.5'
2	5° 02' 59"	1176.49	103.89	5.56	1.6'	103.86	1.6'



LEGEND

- SET PIN & CAP LS NO. 24965
- FOUND PIN & CAP LS NO.16397
- FOUND PIN & CAP LS NO. 20155
- FOUND 1/2" REBAR
- FOUND PIN & CAP LS NO.2432

ORIGINAL BOUNDARY OF KALCEVIC SUBDIVISION
SECTION LINE
AS MEASURED DISTANCE AND BEARINGS
PLAT OR DEED DISTANCE AND BEARINGS

DRAWN BY: MTD/KSP
APPROVED BY: [Signature]
CHECKED BY: [Signature]

REVISIONS
10/09/23
06/22/23

CITY OF THORNTON
SURVEY SECTION (403)958-7988

KALCEVIC SUBDIVISION AMENDED
JOB NO. 680980 DATE 4/12/20
SITE NO. 68-40042 PAGE 2 OF 3

24965
KALCEVIC SUBDIVISION
SECTION 28, T2S, R68W
ADAMS COUNTY, COLORADO
PLAT NO. 174-0000-0000

KALCEVIC SUBDIVISION AMENDED

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M., ADAMS COUNTY, STATE OF COLORADO

SHEET 1 OF 3



VICINITY MAP
SCALE: 1" = 2000'

Certification of Dedication and Ownership

Know all men by these presents that the City of Thornton, a municipality, being the owner of that part of the Kalcevic Subdivision, as it is recorded in File 16 Map 142 at the Adams County Clerk and Recorder's Office, located in the southeast 1/4 of Section 28 and the northeast 1/4 of Section 33 Township 2 South, Range 68 West of the Sixth Principal Meridian, Adams County, State of Colorado, said parcel being more particularly described as follows:

Commencing at the south 1/4 corner of said Section 28; thence, coincident with the north/south center line of said Section 28, North 00° 00' 00" East a distance of 549.00 feet; thence South 82° 26' 14" East a distance of 60.53 feet to the east right-of-way line of Pecos Street and the south line of a parcel recorded in Book 2278 at Page 938 at said office, said point being the Point of Beginning; thence, coincident with said south line, South 82° 26' 14" East a distance of 671.26 feet to a point on the west line of the third filing of Sherrelwood Estates as recorded in File 10 as Map 335 at said office; thence, coincident with said west line, the following courses and distances:

- South 32° 39' 00" East a distance of 167.28 feet;
- South 25° 18' 00" East a distance of 221.21 feet;
- South 23° 30' 32" East a distance of 276.95 feet;
- South 01° 25' 00" West a distance of 312.00 feet;
- South 36° 00' 00" East a distance of 552.13 feet to the

north right-of-way line of Elmwood Lane; thence, coincident with said north right-of-way line, along a curve to the left having a radius of 1235.00 feet, through a central angle of 02° 38' 34" an arc distance of 56.96 feet, whose chord bears South 55° 04' 40" West a chord distance of 56.96 feet to a point of tangency; thence, coincident with said north right-of-way line, South 53° 45' 23" West a distance of 140.10 feet; thence, coincident with said north right-of-way line, along a curve to the right having a radius of 1176.49 feet, through a central angle of 05° 02' 59" an arc distance of 103.69 feet, whose chord bears South 56° 16' 53" West a chord distance of 103.66 feet to the east line of a parcel owned by the Archdiocese of Denver; thence, coincident with said east line, North 36° 24' 37" West a distance of 549.07 feet; thence, coincident with the east line of a parcel recorded in Book 746 at Page 180 at said office, North 54° 51' 00" West a distance of 248.71 feet to the east line of a parcel recorded in Book 3251 at Page 921 at said office; thence, coincident with said east line, North 17° 34' 59" West a distance of 104.05 feet to the north line of said parcel; thence, coincident with said north line, South 88° 17' 51" West a distance of 39.50 feet to the east line of said parcel described in Book 746 at Page 180; thence, coincident with said east line, North 14° 23' 00" West a distance of 76.07 feet to the west line of a parcel recorded in Book 3251 at Page 928 at said office; thence, coincident with said west line and the east line of a parcel described in Book 3254 at Page 139 at said office, the following courses and distances:

- North 33° 25' 33" West a distance of 83.14 feet;
- North 21° 24' 11" West a distance of 534.54 feet;
- North 76° 32' 09" West a distance of 176.49 feet to said

east right-of-way line of Pecos Street; thence, coincident with said east right-of-way line, North 00° 00' 00" East a distance of 249.77 feet to the south line of said parcel described in Book 2278 at Page 938, said point being the POINT OF BEGINNING, containing 18.43 acres more or less;

have by these presents laid out, platted and subdivided the same into lots and blocks as shown on this plat under the name and style of "Kalcevic Subdivision Amended", and do hereby dedicate to the County of Adams, State of Colorado, for public use all streets and other public ways and lands as shown on this plat, forever, and also reserve those real property which are labeled as utility easements on this plat for the installation and maintenance of utilities and drainage facilities, including but not limited to electric lines, gas lines, telephone lines, water lines, sewer lines; together with the right to trim interfering trees and brush, together with a perpetual right of ingress and egress for installation, maintenance, and replacement of such lines; said easements and rights are to be utilized in a responsible and prudent manner. Executed this 5th day of November 1991.

Jack Ethredge
City of Thornton (Owner)
Jack Ethredge (City Manager)

Acknowledgement

State of Colorado)
) SS
City of Thornton)

The foregoing plat and dedication was acknowledged before me this 5th day of November 1991 by JACK ETHREDGE

Paula J. Meier
Notary Public

My commission expires July 29, 1995

My address is: 9500 Civic Ctr. Dr.

SURVEYOR'S CERTIFICATE

I, Kerry A. Perkins, a licensed professional Land Surveyor in the State of Colorado, do hereby state that the survey of this plat was made under my direct supervision and that the accompanying plat accurately and properly shows said subdivision in conformance with Title 38, Article 51 of the Colorado Revised Statutes as amended.



Kerry A. Perkins
KERRY A. PERKINS PLS 24965
Acting City Surveyor
For and on behalf of the
City of Thornton
Date 1 November 91
Job No. 89N060

SURVEYOR'S NOTICE C.R.S. Section 13-80-105

NOTICE: According to Colorado law, any legal action based upon any defect in this survey must be commenced within three years after discovering such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

Notes and Restrictions

The following notes and restrictions shall apply to Kalcevic Subdivision Amended:

None

Planning Commission Approval:
Approved by the Adams County Planning Commission this 10th day of OCTOBER, 1991.

Ed Laska
Chairman

Board of County Commissioners Approval:
Approved by the Adams County Board of County Commissioners this 21st day of OCTOBER, 1991.

Harold Ethredge
Chairman

Clerk and Recorder's Certificate

This plat and dedication was filed for record in the office of the Adams County Clerk and Recorder, in the State of Colorado, at 8:00 A.M. on the 6 day of Jan, 1992.

Robert Laska
County Clerk and Recorder

By: *Jenise L. Reasoner*
Deputy

File No. 17

Map No. 34

Reception No. B1041161

DRAWN BY: MFD/KP	REVISIONS		CITY OF THORNTON		KALCEVIC SUBDIVISION AMENDED	
APPROVED BY:	10/09/91 10/22/91		JOB NO. 89N060	DATE 4/12/90	FILE NO. 86-500A2	PAGE 1 OF 3
CHECKED BY: <i>MD</i>			SURVEY SECTION (303)538-7398			

KALCEVIC SUBDIVISION AMENDED

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND
THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M.,
ADAMS COUNTY, STATE OF COLORADO

SHEET 2 OF 3

BASIS OF BEARINGS

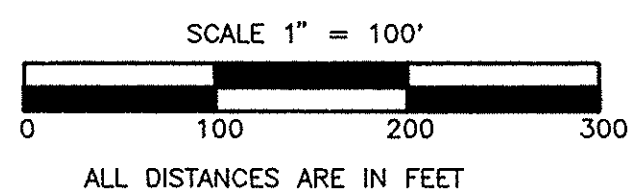
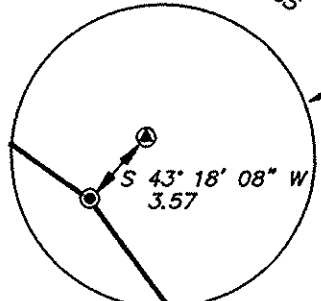
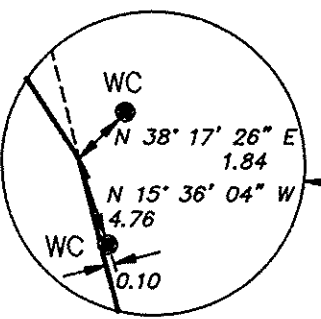
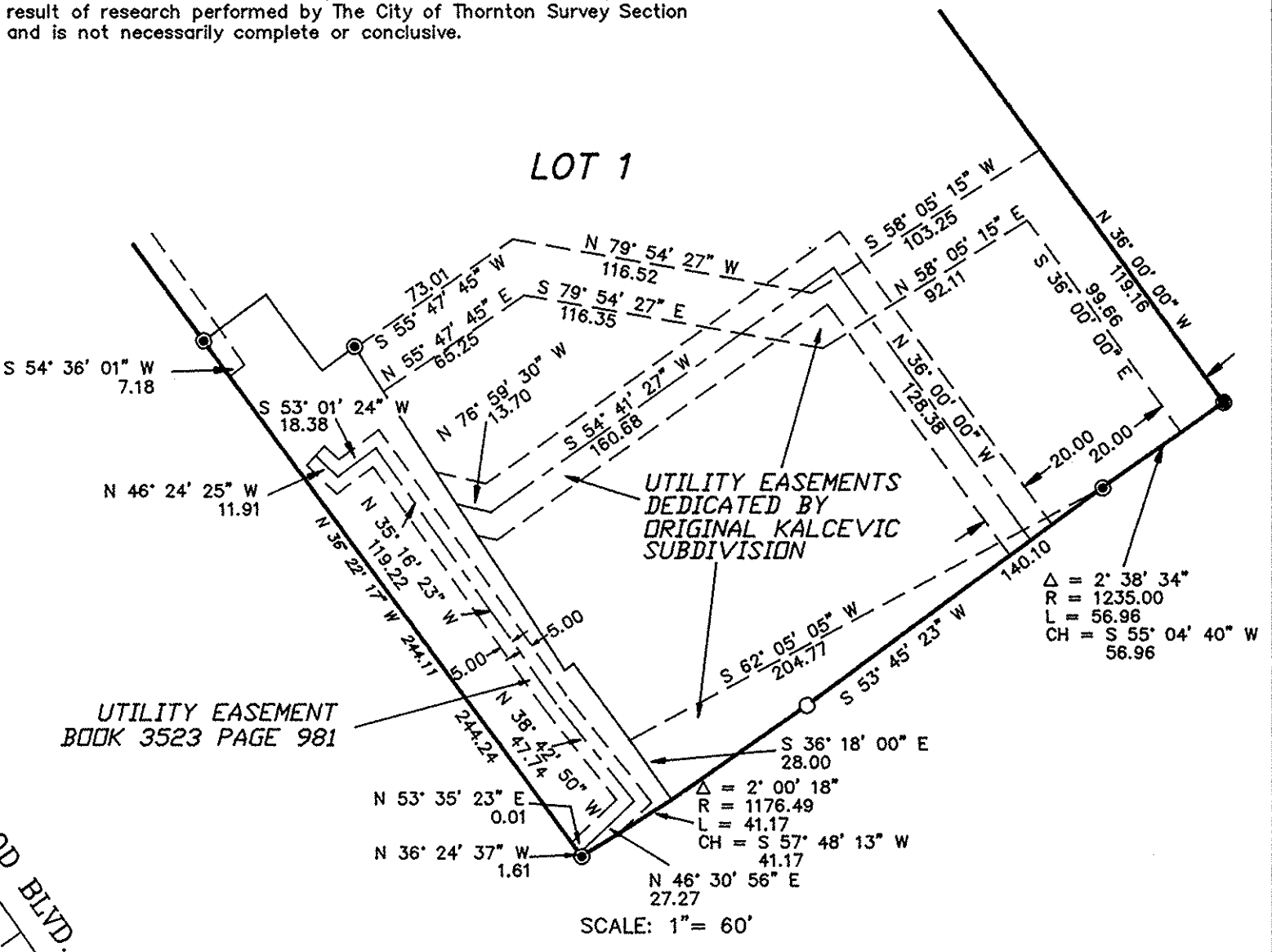
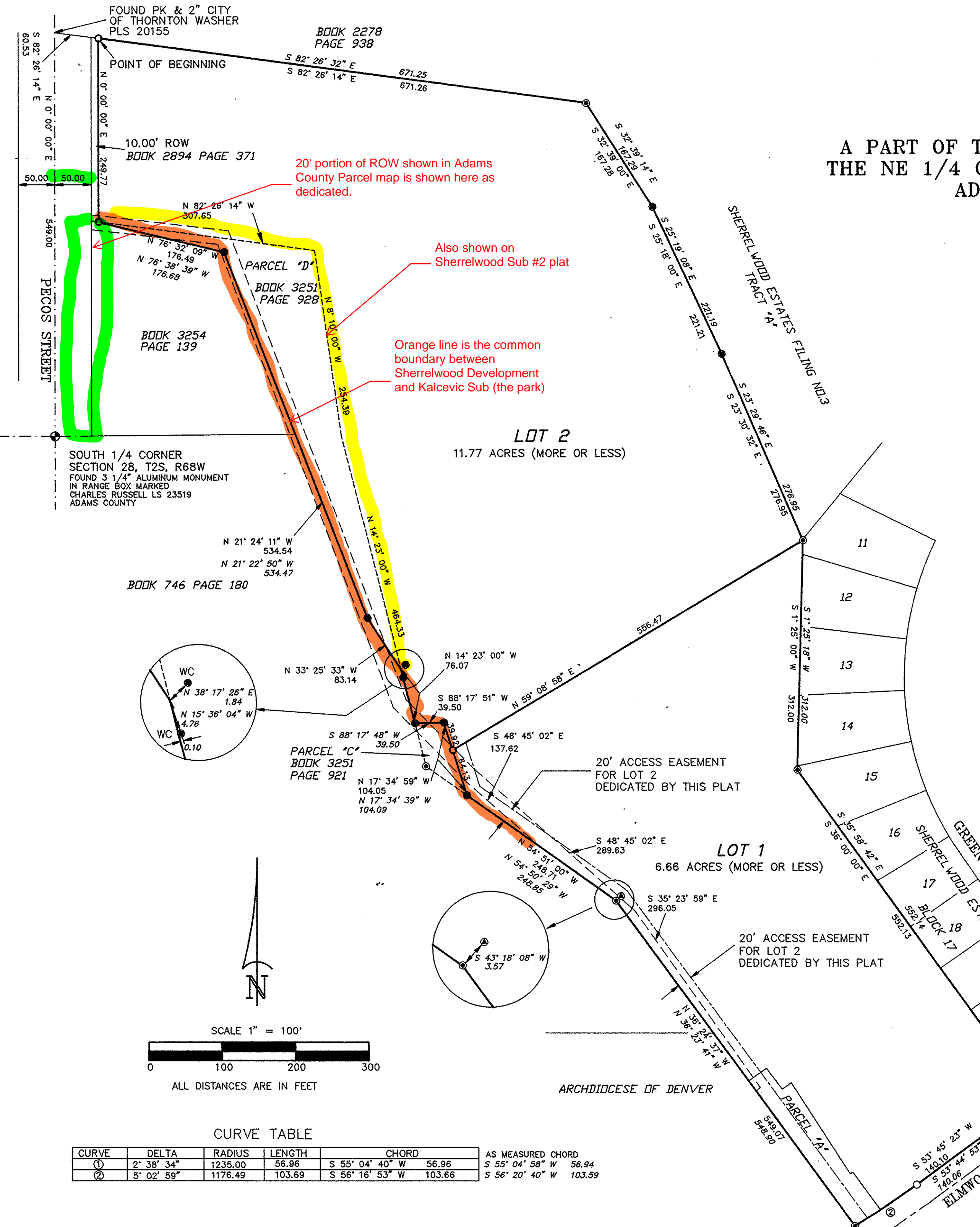
The bearings for this plat are based on the assumption that the west line of the southeast 1/4 of Section 28, T 2 S, R 68 W of the Sixth P.M. is N 0° 00' 00" E. The south 1/4 corner of said Section is a 3 1/4" aluminum monument PLS 23519 in a range box. The center 1/4 corner is a 5/8" rebar in the asphalt.

NOTE:

This survey does not constitute a title search by the City of Thornton Survey Section of the property shown and described hereon. It should not be construed as determining:

1. Ownership of the tract of land.
2. Compatibility of this description with those of adjacent tracts of land.
3. Rights-of-way, easements and encumbrances of record affecting this tract of land.

This survey was prepared without the benefit of a current title commitment. The record information, which is referenced hereon, is the result of research performed by The City of Thornton Survey Section and is not necessarily complete or conclusive.



CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD	AS MEASURED CHORD
①	2° 38' 34"	1235.00	56.96	S 55° 04' 40" W 56.96	S 55° 04' 58" W 56.94
②	5° 02' 59"	1176.49	103.69	S 56° 16' 53" W 103.66	S 56° 20' 40" W 103.59

LEGEND

- SET PIN & CAP LS NO. 24965
- ⊙ FOUND PIN & CAP LS NO.16397
- FOUND PIN & CAP LS NO. 20155
- FOUND 1/2" REBAR
- ⊙ FOUND PIN & CAP LS NO.2432
- ORIGINAL BOUNDARY OF KALCEVIC SUBDIVISION
- - - SECTION LINE
- AS MEASURED DISTANCE AND BEARING
- PLAT OR DEED DISTANCE AND BEARING



DRAWN BY: MFD/KP	REVISIONS	CITY OF THORNTON	KALCEVIC SUBDIVISION AMENDED	
APPROVED BY:	10/09/91		JOB NO. 89N060	DATE 4/12/90
CHECKED BY:	10/22/91		FILE NO.86-500A2	PAGE 2 OF 3
		SURVEY SECTION (303)538-7398		

At a regular meeting of the Board of County Commissioners for Adams County, Colorado, held at the Administration Bldg. in Brighton on Wednesday, the 4th day of February, A.D. 1987, there were present:

- Leo M. Younger, Commissioner Chairman
- Steven E. Cramer, Commissioner
- Harold E. Kite, Commissioner
- Mike Kaminski, County Attorney
- Wilma Thatcher, Deputy Clerk of the Board

when the following proceedings, among others were held and done, to-wit:

RESOLUTION ACCEPTING DEED FROM COMMUNITY OUTREACH PROJECT THERAPEUTIC DAYCARE CENTER

WHEREAS, the Adams County Planning Commission has considered the advisability of accepting deed from Community Outreach Project Therapeutic Daycare Center to Adams County, a body politic, for the following described property:

Legal Description as set forth in Exhibit "A" attached hereto and incorporated by this reference.

WHEREAS, this property is being dedicated for street right-of-way and is approximately located east of Pecos Street between West 79th Way and Orchard Way; and,

WHEREAS, the Adams County Planning Commission has recommended by Resolution of January 22, 1987, that the Board of County Commissioners accept said Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that the Deed from Community Outreach Project Therapeutic Daycare Center is hereby accepted.

WILLIAM SOKOL
COUNTY RECORDER
ADAMS COUNTY, COLO.
FEB 5 8 00 AM '87

E 7 1 5 2 0 0

Upon motion duly made and seconded the foregoing Resolution was adopted by the following vote:

- Younger Aye
- Cramer Aye
- Kite Aye

Commissioners

I, William Sokol, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, this 4th day of February, A.D. 1987

County Clerk and ex-officio Clerk of the Board of County Commissioners

William Sokol

By *Wilma Thatcher* Deputy



THIS DEED, Made this 8th day of OCTOBER, 1986, between Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation

a corporation duly organized and existing under and by virtue of the laws

of the State of Colorado of the first part, and Adams County, a body politic, 450 South 4th Avenue, Brighton, Colorado 80601

of the County of Adams and State of Colorado of the second part:

Recorder's Stamp

WITNESSETH, That the said party of the first part, for and in consideration of the sum of Good and Valuable Considerations DOLLARS, to the said party of the first part in hand paid by the said party of the second part, the receipt whereof is hereby confessed and acknowledged, hath granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm unto the said party of the second part, its successors heirs, and assigns forever, all of the following described lot or parcel of land, situate, lying and being in the County of Adams and State of Colorado, to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated by this reference.

Dedicated for Pecos Street

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion or reversions, remainders, rents, issues and profits thereof; and all the estate, right, title, interest, claim and demand whatsoever of the said party of the first part, either in law or equity, of, in and to the above bargained premises with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances unto the said party of the second part its successors heirs and assigns forever. And the said Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation party of the first part, for itself, and its successors, doth covenant, grant, bargain, and agree to and with the said party of the second part, its successors heirs and assigns, that at the time of the ensealing and delivery of these presents it is well seized of the premises above conveyed, as of a good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and hath good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and incumbrances of whatever kind or nature soever; with no exceptions.

and the above bargained premises in the quiet and peaceable possession of the said party of the second part its successors heirs and assigns, against all and every person or persons lawfully claiming or to claim the whole or any part thereof, the said party of the first part shall and will WARRANT AND FOREVER DEFEND.

IN WITNESS WHEREOF, The said party of the first part hath caused its corporate name to be hereunto subscribed by its President, and its corporate seal to be hereunto affixed, attested by its Secretary, the day and year first above written.

Attest: Timothy E. Glasgow Secretary

Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation By Gordon P. Schick President

STATE OF COLORADO, County of Adams ss.

The foregoing instrument was acknowledged before me this 8th day of October, 1986, by Gordon P. Schick as President and Timothy E. Glasgow as Secretary of Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation.

My notarial commission expires Witness my hand and official seal.

My address is: 1010 Depot Hill Road, Suite 104, Broomfield, CO 80020 Notary Public Martha S. Hall

Community Outreach Project
Therapeutic Daycare Center

Exhibit "A"

That part of the Southeast 1/4 of Section 28, Township 2 South, Range 68 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

Beginning at the South 1/4 corner of said Section 28; thence N89°55'33"E a distance of 30.00 feet to the True Point of Beginning; thence N00°00'00"E parallel with the west line of said Southeast 1/4 a distance of 295.42 feet; thence S82°26'14"E a distance of 20.18 feet to a point 50.00 feet East of the west line of said Southeast 1/4; thence S00°00'00"E parallel with the west line of said Southeast 1/4 a distance of 292.74 feet; thence S89°55'33"W a distance of 20.00 feet to the True Point of Beginning.

Contains 5,881.58 square feet or 0.135 acres more or less.

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado in File 16, Map Number 142, Reception Number B 523787.)

At a regular meeting of the Planning Commission for Adams County, Colorado, held at the Administration Building in Brighton on Thursday, the 22nd day of January, 1987 A.D., the following proceedings, among others, were had and done; to wit:

WHEREAS, The Adams County Planning Commission has considered the advisability of accepting a deed from Community Outreach Project Therapeutic Daycare Center to Adams County, a body politic, for the following described property:

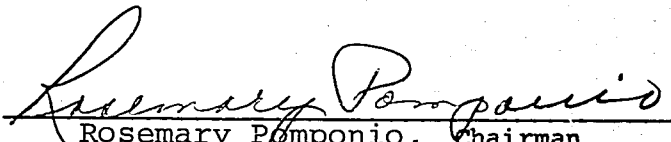
Legal description as set forth in Exhibit "A" attached hereto and incorporated by this reference.

AND WHEREAS this property is being dedicated for street right-of-way and is approximately located east of Pecos Street between West 79th Way and Orchard Way,

NOW, THEREFORE, BE IT RESOLVED that the Adams County Planning Commission recommends to the Board of County Commissioners that said deed be accepted by the Board of County Commissioners.

Upon motion duly made and seconded the foregoing resolution was adopted.

I, Rosemary Pomponio, Chairman of the Adams County Planning Commission do hereby certify that the annexed and foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Rosemary Pomponio, Chairman
Adams County Planning Commission

LEGAL DESCRIPTION:

A PARCEL OF LAND AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000075343, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE SOUTH QUARTER CORNER OF SAID SECTION 28, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE SOUTHEAST CORNER OF SAID SECTION 28, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 28, THENCE N 89°30'30" E, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, SAID ADAMS COUNTY RECORDS, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN RECEPTION NO. 2019000075343;

THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.12 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

1. S 76°46'56" E, A DISTANCE OF 178.56 FEET;
2. S 21°38'59" E, ALONG THE EAST LINE OF SAID PARCEL DESCRIBED IN BOOK RECEPTION NO. 2019000075343, A DISTANCE OF 267.62 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28 ALSO BEING THE NORTHEAST CORNER OF SAID SHERRELWOOD VILLAGE PLAT;

THENCE S 89°30'30" W, ALONG THE NORTH LINE OF SAID SHERRELWOOD VILLAGE PLAT AND ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 279.36 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 61,556 SQUARE FEET OR 1.413 ACRES, MORE OR LESS.

LEGAL DESCRIPTION:

A PARCEL OF LAND AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000073502, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE S 56°38'28" E, A DISTANCE OF 35.90 FEET TO THE NORTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED AT SAID RECEPTION NO. 2019000073502, BEING A POINT 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 AND 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 AND THE POINT OF BEGINNING;

THENCE N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, AND ALONG THE SOUTH LINE OF TRACT D, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, SAID ADAMS COUNTY RECORDS, A DISTANCE OF 208.00 FEET TO THE SOUTHEAST CORNER OF SAID TRACT D; THENCE S 00°01'53" W, ALONG THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 208.00 FEET TO THE NORTHEAST CORNER OF TRACT B, SAID SHERRELWOOD VILLAGE PLAT; THENCE S 89°30'30" W, ALONG THE NORTH LINE OF SAID TRACT B, A DISTANCE OF 208.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 43,262 SQUARE FEET OR 0.993 ACRES, MORE OR LESS.