

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
ANTHONY TAM,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. 17-193

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on December 12, 2017, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on November 27, 2017 to Steve Huang, of a Site Permit (two-story horizontal addition to existing rear side of building; total addition area is 689sf; interior remodel at second floor and third floor; add second unit to existing building) at 566 29th Avenue.

APPLICATION NO. 2013/08/23/5160S

FOR HEARING ON February 21, 2018

Address of Appellant(s):

Address of Other Parties:

Anthony Tam, Appellant 568 29th Avenue San Francisco, CA 94122	Steve Huang, Permit Holder 4212 Castlemaine Lane Plano, TX 75793
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BOARD OF APPEALS

Date Filed:

DEC 21 2017

CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS

APPEAL # 17-193

PRELIMINARY STATEMENT OF APPEAL

I / We, **Anthony Tam**, hereby appeal the following departmental action: **ISSUANCE of Site Permit No. 2013/08/23/5160S** by the **Department of Building Inspection** which was issued or became effective on: **November 27, 2017**, to: **Steve Huang**, for the property located at: **566 29th Avenue**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **February 01, 2018, (no later than three Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible. V.T.

Respondent's and Other Parties' Briefs are due on or before: **February 15, 2018, (no later than one Thursday prior to hearing date)**, up to 12 pages in length, doubled-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible.

Only photographs and drawings may be submitted by the parties at hearing.

Hearing Date: **Wednesday, February 21, 2018, 5:00 p.m., City Hall, Room 416**, One Dr. Carlton B. Goodlett Place.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit eleven (11) copies of all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

If you have any questions please call the Board of Appeals at 415-575-6880

The reasons for this appeal are as follows:

See attached statement.

Appellant or Agent (Circle One):

Signature: 

Print Name: ^{for} Anthony Tam

PRELIMINARY STATEMENT OF APPEAL

Date 12
Filed **BOARD OF APPEALS**

DEC 21 2017

APPEAL # 17-193

SUMMARY OF REASONS OR GROUNDS FOR APPEAL CONTINUED:

The reason I am appealing is because the ground floor extension is way too deep. Their extension is built way too deep and is blocking our view from the window

APPROVED
Dept. of Building Insp.

SFUSD FEE
506 \$
stabil 134
BOARD OF APPEALS
DEC 21 2017
APPEAL # 17-193

NOV 27 2017
Capacity Charges
\$ 2020.00
Wm. J. P. Johnson
1010 M. C. B. S.E.
DC
DEPT. OF BUILDING INSPECTION

BLDG. FORM 318
SEP 19 2017
APPROVED FOR ISSUANCE
DESCRIPTION
 VERTICAL
 HORIZONTAL
SITE PERMIT
AUG 23 2013

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

2 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

DATE FILED AUG 26 2013	FILING FEE RECEIPT NO. 13084587	(1) STREET ADDRESS OF JOB 566 29th AVE	BLOCK & LOT 1516/024
PERMIT NO. 144542a	ISSUED NOV 27 2017	(2A) ESTIMATED COST OF JOB \$ 109000.00	(2B) REVISED COST: BY PH \$ 514,990 DATE 5/30/17

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. I-B	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS: 0	(7A) PRESENT USE: SINGLE FAMILY DWELLING	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS: 1
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. I-B	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) TWO FAMILY DWELLING	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS: 2
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
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(14) GENERAL CONTRACTOR FBE WINTER BUILDER	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
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(15) OWNER - LESSEE (CROSS OUT ONE) STEVE MURPHY	ADDRESS 566 29th AVE S.F. CA 94121	ZIP 40	BTRC#	PHONE (FOR CONTACT BY DEPT.)
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(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

TWO STORY HORIZONTAL ADDITION TO BUILDING REAR SIDE OF BUILDING.
TOTAL ADDITION AREA IS 689.42 SQ FT. INTERIOR REMODEL @ 2ND FLOOR & THIRD FLOOR. ADD (W) BEDROOM, FAMILY ROOM & HALF BATH @ FIRST FLOOR.
ADD SECOND UNIT TO EXISTING BUILDING.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA 1305 SQ. FT.
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(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON LOT PLAN) NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
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(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION) SNG DESIGN 3649 LANTON ST # 629 S.F. CA 94122 415-388-1295	ADDRESS	CALIF. CERTIFICATE NO.
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(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
No portion of building or structure or scaffolding used during construction is to be closer than 5'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

- CHECK APPROPRIATE BOX
- OWNER
 - LESSEE
 - CONTRACTOR
 - ARCHITECT
 - AGENT
 - ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

- I hereby affirm under penalty of perjury one of the following declarations:
- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 - () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
 - () III. The cost of the work to be done is \$100 or less.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent _____ Date 8/26/13
OFFICE COPY

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED: <u>B. Howard</u> Brett Howard, DBI JUL 14 2017 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <i>to construct vertical and horizontal additions to the existing residential building, interior modifications and grade modifications, addition of a second dwelling unit.</i> <u>Sharon Wong</u> 5/22/17 DEPARTMENT OF CITY PLANNING <i>SHARON WONG</i>	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <i>N/A</i> BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: _____ MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: _____ CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input checked="" type="checkbox"/>	APPROVED: <i>By Blaine 8/1/17</i> Bernice T. Gaine, DPW/BSM BSM SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (415) 554-7149 TO SCHEDULE BUREAU OF ENGINEERING	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <i>N/A</i> DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input checked="" type="checkbox"/>	APPROVED: SFPUC Capacity Charges See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges. PUC SFPUC 8/1/17 <u>Diana Chung</u> REDEVELOPMENT AGENCY	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <i>N/A</i> HOUSING INSPECTION DIVISION	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

Bernice T. Gaine
OWNER'S AUTHORIZED AGENT

BRETT GLADSTONE
PARTNER
REAL ESTATE/CONSTRUCTION
DIRECT DIAL (415) 995-5065
DIRECT FAX (415) 995-3517
E-MAIL BGLadstone@hansonbridgett.com



February 15, 2018

President Honda and Board Members
Board of Appeals
1650 Mission Street, Suite 304
San Francisco, CA 94103

Re: 566 – 29th Avenue
Appeal No. 17-193 for Hearing on February 21, 2018
Building Permit Application No. 2013/08/23/5160S

Dear President Honda and Board Members:

We represent Mr. and Mrs. Huang, the owners of 566 – 29th Avenue (the "Project Site"). The Huangs purchased the Project Site with the intent to convert the single-family home into two units for themselves and their grown children. As long ago as 2013, they filed Building Permit Application No. 2013/08/23/5160S involving vertical and horizontal additions to the home in order to add the new unit, which recently was issued and now is the subject of this Appeal (the "Permit"). The Huang's neighbor situated immediately to the south has filed this Appeal of the Permit on the basis that the project would block his view. View is not a protected property right in the City. Furthermore, the project involves the addition of new housing, which is of vital importance to the City. Therefore, we respectfully request that the Board uphold the Permit.

Description of Project Site and Project. The Project Site is located on the east side of 29th Avenue, which slopes uphill toward the south. The Appellant's property is situated immediately south and uphill from the Project Site. The Project Site contains a two-story over basement single family home with two parking spaces.

The Huangs propose to expand the size of their home through vertical and horizontal additions that will provide space for the creation of a second unit and a larger living area in the

main unit. It is their desire to have a house with enough space so that their children, who are currently living separate from each other, can live under the same roof. When the project was originally proposed, the concerns raised by the adjacent neighbors were about privacy and access to views. In response, the first floor rear addition has been setback from the side property lines more than originally proposed, on both the south and the north sides (to minimize impacts to privacy). Also, the addition on the second floor has been changed so that it does not project beyond the adjacent building on the north side, and the existing rear wall on the south half was kept to maintain alignment with the Appellant's building. The bay window on the third floor was widened, but the angled wall at the corner was repeated to provide view access to the Appellant at his request. (See Exhibit A containing the plans.)

Meetings with the Appellant to Address His Concerns. The Huangs' architects have been regularly communicating with the Appellant, including meeting with him on three occasions. Most recently, the Appellant obtained a half-size set of drawings prior to the end of the Building Permit's appeal period and on February 7, 2018, the architects again met with the Appellant. The Huangs have offered several solutions to the Appellant to address his concerns about the loss of view from his first floor window. However, none of those solutions were acceptable to the Appellant.

Even without Appellant's withdrawal of his objections, the Huangs nonetheless incorporated the following changes into the design to address the Appellant's concern:

1. The Huangs reduced the size of the deck by setting it back from the side property line by four feet. The Appellant's building also is set back from the side property line in this location by approximately 3.5 feet. Therefore, there is a distance of approximately 7.5 feet between the Appellant's building and the proposed deck. In addition, the depth of the deck was further reduced by five feet by setting it back from the rear of the addition.

2. The deck railing is now open rather than a solid wall. This open railing will improve the view from the Appellant's window.

Appellant's Basis for the Appeal is Without Merit. The Appellant states in the Preliminary Statement of Appeal that the rear extension is too deep and will block the view from the Appellant's window. The Appellant did not submit a letter to the Board that explains the basis for the Appeal in more detail. However, based on the Huang's architect's meetings with the Appellant, including at the Appellant's home, we know the Appellant is seeking to protect the view from a window that is located in a rear extension on the Appellant's home. The window faces the Project Site and currently looks over the existing deck on the Project Site. The project would partially block the view from this window. Of course, views are not protected.

Attached at Exhibit B is a photograph of the Appellant's rear extension. We have attached the portion of the Elevation Plan at Exhibit C (and also found in Plan page A2.4 in Exhibit A) that shows the proposed addition in comparison to the Appellant's residence. The Appellant's building is outlined in blue (without diagonal lines), including the window that the Appellant seeks to protect in this Appeal. The window in question is shown in dotted lines at the very rear of our client's extension (at ground floor). **We do not understand the reason the Appellant believes he should have a rear extension but the Huangs should not be granted the same right.** Further, the Appellant's building is a single-family home. The Huangs wish to add a second unit to their home and need the additional space. Finally, the Project is within the permitted building area under the Planning Code and does not require any variances.

The Appellant's claim that the Project should be denied because it will block the view from the side window in his own rear yard extension is unwarranted. Attached at Exhibit D is a "mock up" showing the side window view that will be blocked by the Project. The Project will only partially block this window; however, the Appellant will still have a view of the Golden Gate

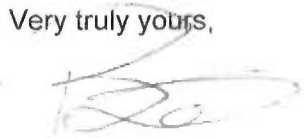
Board of Appeals
February 15, 2018
Page 4

Bridge. He will still have an abundance of light and air from the rear facing sliding doors that serve his extension. Furthermore, views are not a protected property right.

For the foregoing reasons, we respectfully request the Board of Appeals uphold the Permit and deny the Appeal.

Thank you for your consideration.

Very truly yours,

A handwritten signature in black ink, appearing to read "Brett Gladstone", is written over the closing "Very truly yours,".

Brett Gladstone

cc: Anthony Tam, Appellant
Steve Huang
John Lum and Khoan Duong

Exhibit A
Plans

HUANG RESIDENCE - REMODEL

566 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

SFPW/BSM shall not release construction addenda until following permits have been obtained.
 • Minor Sidewalk Encroachment Permit
 • Street Improvement Permit
 • Inspection Conformity
 • Other: *Tree*
 Call (415) 554-5810 for information

SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (415) 554-7149 TO SCHEDULE
 By *Blaine 8/21/17*
 Bethaine T. Gains, DPW/BSM



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 558 8550 FAX: 415 558 8554

2013 0823 5160 skr7

ABBREVIATIONS:

&	AND
∠	ANGLE
#	NUMBER
CL	CENTER LINE
PL	PROPERTY LINE
(E)	EXISTING
(N)	NEW
(R)	REPLACE
ABV.	ABOVE
ADJ.	ADJACENT
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD.	BOARD
BASE BD.	BASE BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BOTM.	BOTTOM
BM.	BEAM
B.U.	BUILT-UP
CLG.	CILING
CNTL.	CONTROL
CONT.	CONTINUOUS
CTR.	CENTER
CLR.	CLEAR
C.L.	CENTER LINE
DBL.	DOUBLE
D.F.	DOUGLAS FIR
DM.	DIMENSION
DN.	DOWN
D.P.	DOUBLE POLE
D.S.	DOWN SPOUT
DWG.	DRAWING
E.	EACH
EL. OR ELEV.	ELEVATION
ELC.	ELECTRICAL
EQ.	EQUAL
EXP.	EXPOSED
EXT.	EXTERIOR
F.A.U.	FORCED-AIR-UNIT
FDN.	FOUNDATION
FF.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
FIN.	FINISH
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
F.P.	FIRE PLACE
FURN.	FURNACE
G.	GALVE
GALV.	GALVANIZED
GND.	GROUND
GYP.BD.	GYP.SUM BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARD WOOD
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING
ID.	INSIDE DIMENSION
INSUL.	INSULATION
INT.	INTERIOR
JST.	JUNCTION
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MANUF.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N.	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OC.	ON CENTER
OPNG.	OWNER FURNISHED, CONTRACTOR INSTALLED
O.D.	OPENING
OD.	OUTSIDE DIMENSION
PL.	PLUMBING CHASE
PL.	PLATE
PLYWD.	PLYWOOD
PT.	PRESSURE TREATED
PT.	POINT
PTD.	PAINTED
R.	RADIUM
RET. AIR.	RETURN AIR
RM.	ROOM
RDWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.	SOUTH
S.S.D.	SEE STRUCTURAL DRAWINGS
SQ. FT.	SQUARE FOOT
SHT.	SHEET
SHTG.	SHEATHING
SM.	SIMPLE
S.P.	SINGLE POLE
SQ.	SQUARE
S.S.T.	STAINLESS STEEL
ST.	STEEL
STD.	STANDARD
SUP. AIR.	SUPPLY AIR
T&G.	TONGUE AND GROOVE
TBD.	TO BE DETERMINED
THK.	THICK
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.F.F.	TOP OF FINISHED FLOOR
T.O.W.	TOP OF WALL
T.P.	TOILET PAPER HOLDER
T.R.	TOWEL RACK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VAR.	VARIABLE
V.D.C.	VERIFY DURING CONSTRUCTION
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W.	WEST
W.	WITH
W.C.	WATER CLOSET
WD.	WOOD
WP.	WATER PROOF
WH.	WATER HEATER

SYMBOLS:

EXISTING WALL	
NEW WALL	
NEW RATED WALL	
DEMO WALL	
LINE OVERHEAD OR HIDDEN	
CENTERLINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO CL OF STUD	
DATUM LINE	
WINDOW SYMBOL	
DOOR SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
3. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
4. CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
5. CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
6. SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
7. DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
8. ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
9. CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISUOSEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
10. IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
11. WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
12. DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
13. "SIM" OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
14. "TYP" OR "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
15. DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
16. CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
17. ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
18. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
19. WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
20. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALLS AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
21. ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
22. SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
23. ALL LATTICES, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
24. PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
25. MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 A. MINIMUM ROOF/CEILING INSULATION R-19
 B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
 C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
 D. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 E. INFILTRATION CONTROL
 1. DOORS AND WINDOWS WEATHER-STRIPPED.
 2. EXHAUST SYSTEMS DAMPENED.
 3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 F. DUCTS CONSTRUCTED AND INSTALLED PER UMC.
 G. ELECTRICAL OUTLET PLATE/GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
26. SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
27. GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES.
28. LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2409)

PROJECT DATA:

CODES:
 2013 CALIFORNIA BUILDING CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2013 CALIFORNIA PLUMBING CODE
 2013 CALIFORNIA FIRE CODE
 2013 CALIFORNIA RESIDENTIAL CODE
 2013 CALIFORNIA ENERGY CODE
 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
 APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS:
 566 29TH AVENUE
 SAN FRANCISCO, CA 94121

PROJECT DESCRIPTION:
 - RENOVATION OF AND ADDITION TO (E) SINGLE-FAMILY RESIDENCE.
 - ADDITION OF NEW SECOND DWELLING UNIT BEHIND THE GARAGE: (N) BEDROOM, BATHROOM, KITCHEN, LIVING/DINING ROOM.
 - RELOCATION AND EXPANSION OF GARAGE DOOR. ADDITION OF (N) POWDER ROOM IN GARAGE.
 - REMODEL OF 2ND FLOOR: (N) STAIR, BATHROOM, LIVING, KITCHEN & DINING ROOM. REMODEL OF REAR FACADE. (N) EXTERIOR ROOF DECK.
 - REMODEL OF 3RD FLOOR: ADDITION OF (N) MASTER SUITE, ADDITION OF (N) STAIR GOING TO NEW ATTIC/4TH FLOOR. (N) EXTERIOR DECK. RELOCATE (E) BEDROOM AND BATHROOM.
 - EXPANSION OF (E) ATTIC/4TH FLOOR: (N) SITTING ROOM, (N) BATHROOM, & (N) BALCONIES.

PLANNING INFORMATION:
 BLOCK / LOT: 1516 / 24
 ZONING DISTRICT: RH-2
 LOT SIZE: 3,000 SQ. FT.
 BUILDING HEIGHT: 40-X FEET MAX. 37'-0" (NO CHANGE)
 NO. OF STORIES: 4
 SETBACKS / YARD REQMENTS: FRONT: 15'-0" MIN.
 REAR: 25'-0" MIN.

GROSS FLOOR AREA:
 EXISTING GARAGE: 800 SQ.FT. (UNCONDITIONED)
 EXISTING 2ND FLOOR: 848 SQ.FT. (CONDITIONED)
 EXISTING 3RD FLOOR: 842 SQ.FT. (CONDITIONED)
 TOTAL EXISTING: 1,790 SQ.FT. (CONDITIONED)
 800 SQ.FT. (UNCONDITIONED)
 PROPOSED GARAGE/SUITE: 779 SQ.FT. (UNCONDITIONED)
 781 SQ.FT. (CONDITIONED)
 PROPOSED 2ND FLOOR: 1,085 SQ.FT. (CONDITIONED)
 PROPOSED 3RD FLOOR: 916 SQ.FT. (CONDITIONED)
 PROPOSED 4TH FLOOR: 386 SQ.FT. (CONDITIONED)
 TOTAL PROPOSED: 3,088 SQ.FT. (CONDITIONED)
 779 SQ.FT. (UNCONDITIONED)
 NET CHANGE: 1,257 SQ.FT. (CONDITIONED)
 (21) SQ.FT. (UNCONDITIONED)

BUILDING INFORMATION:
 OCCUPANCY: GROUP R, DIVISION 3
 CONSTRUCTION TYPE: TYPE 5B (PER C.B.C. TABLE 601)
 MINIMUM ROOF CLASS: CLASS B ROOF
 SPRINKLER: BUILDING TO BE FULLY SPRINKLERED W/ NFPA 13R SYSTEM. UNDER SEPARATE PERMIT.

PROJECT PARTICIPANTS:

OWNER:
 STEVE HUANG
 566 29TH AVENUE
 SAN FRANCISCO, CA 94121

ARCHITECT:
 JOHN LUM ARCHITECTURE
 3246 17TH STREET
 SAN FRANCISCO, CA 94110

PROJECT MANAGER:
 KHOAN DUONG
 415 558 8550 x13
 415 558 8554

GENERAL CONTRACTOR:
 T.B.T.

STRUCTURAL ENGINEER:
 T.B.T.

DRAWING INDEX:

- ARCHITECTURAL**
- A00 TITLE SHEET
 - A01 SITE PHOTOS
 - A02 SITE & ROOF PLANS
 - A03 DEMOLITION CALCULATION
 - A04 DEMOLITION CALCULATION
 - A05 DEMOLITION CALCULATION
 - A11 GARAGE / FIRST FLOOR PLANS
 - A12 SECOND FLOOR PLANS
 - A13 THIRD FLOOR PLANS
 - A14 ROOF / ATTIC / FOURTH FLOOR PLANS
 - A21 EXTERIOR ELEVATIONS 1
 - A22 EXTERIOR ELEVATIONS 2
 - A23 EXTERIOR ELEVATIONS 3
 - A24 EXTERIOR ELEVATIONS 4
 - A31 SECTIONS
 - A92 AB-05

SFPUC - Please be advised
 Your plans and fixtures count indicate a larger water meter is required. Please apply for a water meter upgrade at SFPUC New Service Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102, Telephone: (415) 551-2900.

SFPUC Capacity Charges
 See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges.

Capacity Charges
 Date: 8/15/17
 DL: 8/17
 SFPUC
 Diana

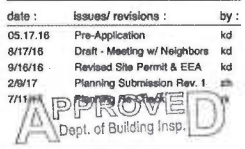
VICINITY MAP:



HUANG RESIDENCE - REMODEL
 566 29TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK 1516 - LOT 024

client: *Steve Huang*
 566 29th Ave
 San Francisco, CA 94121

7/14/17
 Brett Howard, DBI
 JUL 14 2017



project name:
 HUANG RESIDENCE - REMODEL

TITLE SHEET

A0.0

Blaine 8/21/17
Sky 8/21/17



FRONT FACADE OF SUBJECT PROPERTY



ADJACENT BUILDINGS SAME SIDE OF STREET



ADJACENT BUILDINGS FACING SIDE OF STREET



REAR FACADE OF SUBJECT PROPERTY



REAR VIEW ADJACENT BUILDING (564 29TH AVE)



REAR VIEW ADJACENT BUILDING (568 29TH AVE)



566 29th Avenue, Block/Lot 1516/024

NEIGHBORHOOD MAP

LUMI

JOHN LUM ARCHITECTURE, INC.
3208 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 556 9500 FAX 415 556 0554



HUANG RESIDENCE - REMODEL

566 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

sheva huang
566 29th ave
san francisco, ca 94121

client :

B. Howard
Brett Howard, DBI
JUL 14 2017

date: 05.17.16
8/17/16
9/16/16

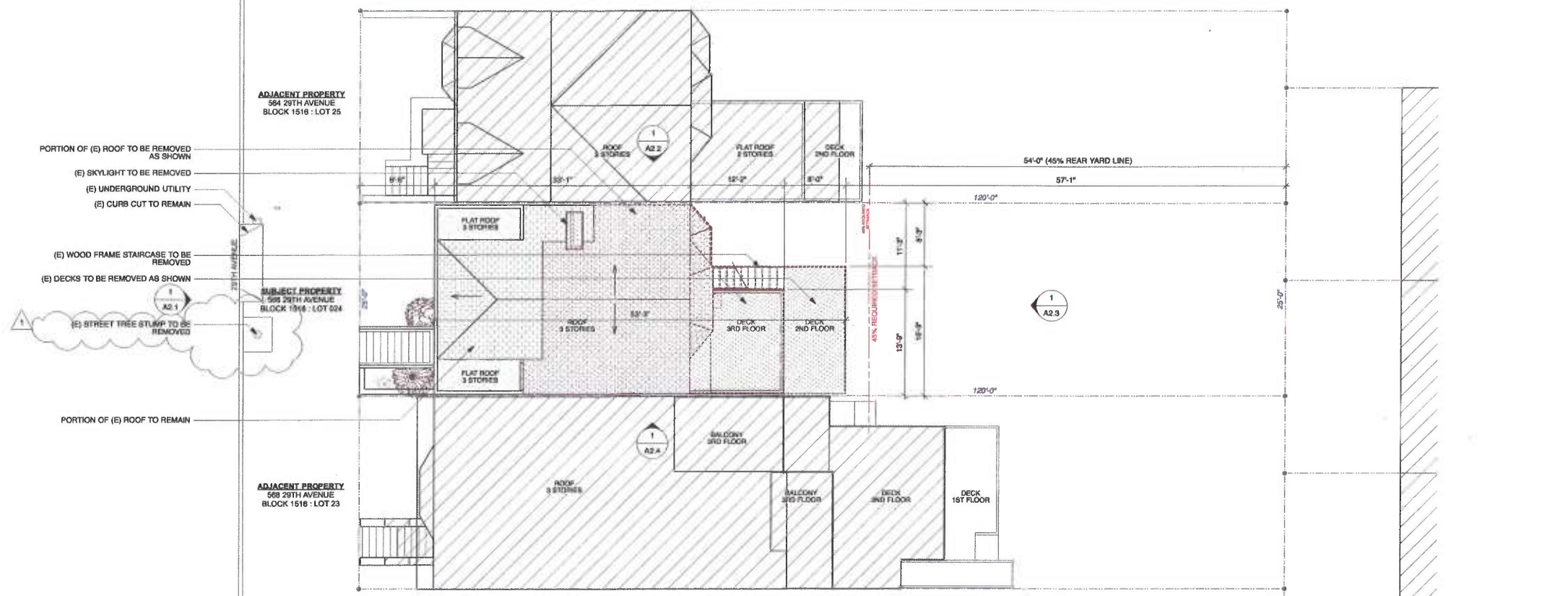
APPROVED
NOV 27 2017
Tom C. Huie
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT
FEB 09 2017

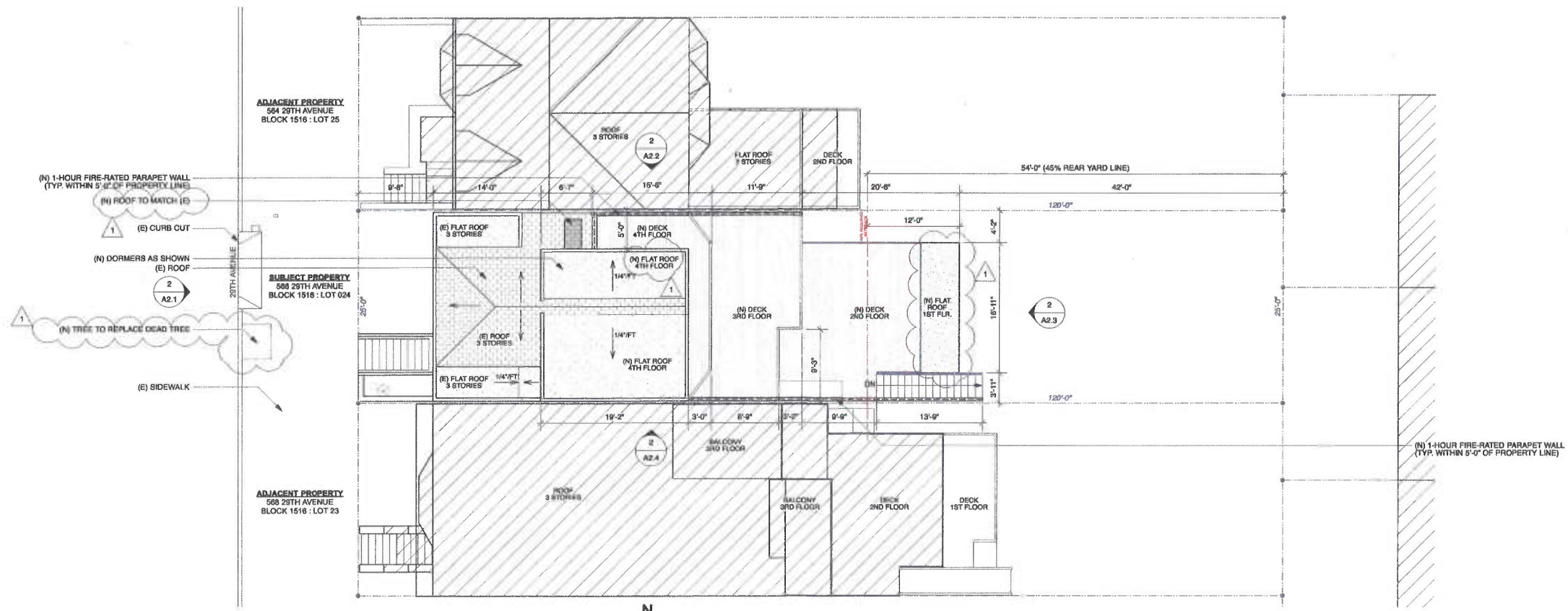
project name :
HUANG RESIDENCE - REMODEL

SITE PHOTOS

A0.1



1 SITE & ROOF PLAN - EXISTING
Scale: 1/8" = 1'-0"



2 SITE & ROOF PLAN - PROPOSED
Scale: 1/8" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 559 9550 FAX: 415 559 0554



client:
588 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

HUANG RESIDENCE - REMODEL

Brett Howard, DBI
JUL 14 2017

date :	issues/ revisions :	by :
05.17.16	Pre-Application	kd
07/17/16	Draft - Meeting w/ Neighbors	kd
09/16/16	Revised Site Permit & EEA	kd
2/9/17	Planning Submission Rev. 1	ch



project name: HUANG RESIDENCE - REMODEL
DEPT. OF BUILDING INSPECTION

SITE & ROOF PLANS

A0.2

APPROVED
JUL 14 2017



HUANG RESIDENCE - REMODEL

568 28TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

client:

John Lum
568 28th Ave
San Francisco, CA 94121

date	issues/ revisions	by
05.17.16	Pre-Application	jd
8/17/16	Draft - Meeting w/ Neighbors	jd
9/16/16	Revised Site Permit & EEA	jd



NOV 27 2017

Tom C. Hsu
DIRECTOR
DEPT. OF BUILDING INSPECTION
HUANG RESIDENCE - REMODEL

LINEAR DEMO CALCULATIONS

A0.3

SUMMARY DEMOLITION CALCULATIONS PER SECTION 317 (b) (2)

SUMMARY SHEETS A03, A04, A05

LINEAR CALCULATIONS

1/A0.3	EXTERIOR WALL AT FRONT AND REAR FACADES	TOTAL LINEAR FEET:	49'-0"
		TOTAL TO BE REMOVED:	27'-8" 56.5%
		TOTAL TO BE RETAINED:	21'-4" 43.5%
2/A0.3	ALL EXTERIOR WALLS	TOTAL LINEAR FEET:	115'-2"
		TOTAL TO BE REMOVED:	30'-6" 26.5%
		TOTAL TO BE RETAINED:	84'-8" 83.5%

PASSED

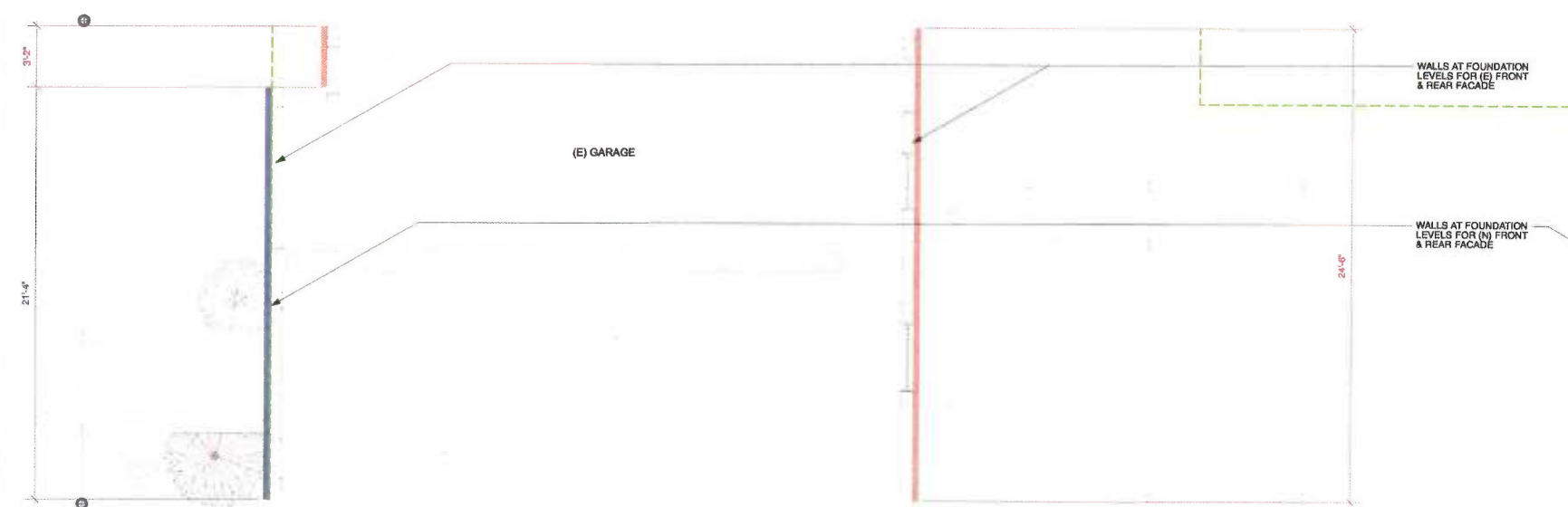
PLANNING CODE §317(b)(2)(B):
A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FAÇADE AND REAR FAÇADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL.

AREA CALCULATIONS

1-4/A0.4	VERTICAL ELEMENTS	TOTAL VERTICAL ELEMENTS:	3,529 SQ. FT.
		TOTAL VERT. ELEMENTS REMOVED: <td>1,374 SQ. FT. 39%</td>	1,374 SQ. FT. 39%
		TOTAL VERT. ELEMENTS RETAINED: <td>2,155 SQ. FT. 61%</td>	2,155 SQ. FT. 61%
1-3/A0.5	HORIZONTAL ELEMENTS	TOTAL HORIZONTAL ELEMENTS:	3,194 SQ. FT.
		TOTAL HORZ. ELEMENTS REMOVED: <td>952 SQ. FT. 30%</td>	952 SQ. FT. 30%
		TOTAL HORZ. ELEMENTS RETAINED: <td>2,242 SQ. FT. 70%</td>	2,242 SQ. FT. 70%

PASSED

PLANNING CODE §317(b)(2)(C):
A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.



1 FRONT & REAR FACADE CALCULATION - FIRST FLOOR DIAGRAM
A0.3 Scale: 1/4" = 1'-0"

SYMBOLS:

TO BE RETAINED	Blue line
TO BE REMOVED	Red line
NEW	Green dashed line

SEC. 317 (b) (2) (B) - PART 1
REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL.

SUM OF FRONT FACADE AND REAR FACADE

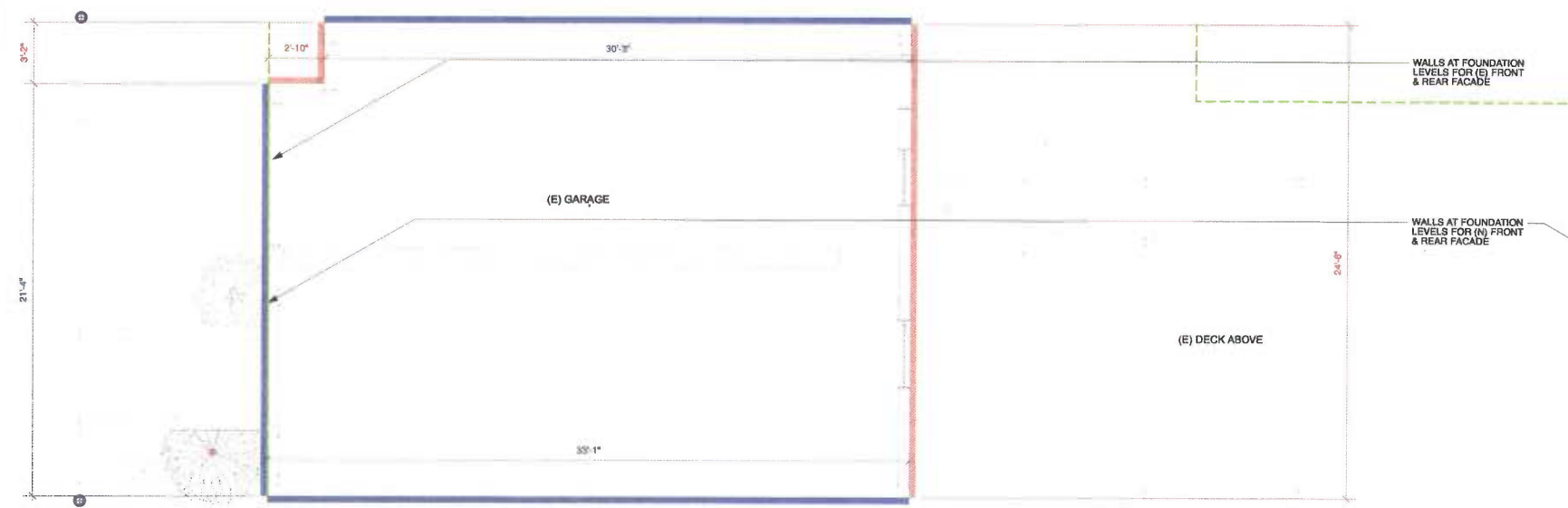
ELEMENT	(E) LENGTH (ft.)	TO BE REMOVED (ft.)	% TO BE REMOVED	TO BE RETAINED (ft.)	% TO BE RETAINED
A: FRONT(WEST) FACADE	24'-6"	3'-2"		21'-4"	
C: REAR(EAST) FACADE	24'-6"	24'-6"		0'-0"	
TOTALS:	49'-0"	27'-8"	56.5%	21'-4"	43.5%

DETERMINATION:

PASSED SEC. 317 (b) (2) (B)

"A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL."

PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65%. (SEE 2/A0.3)



2 EXTERIOR WALL CALCULATION - FIRST FLOOR DIAGRAM
A0.3 Scale: 1/4" = 1'-0"

SYMBOLS:

TO BE RETAINED	Blue line
TO BE REMOVED	Red line
NEW	Green dashed line

SEC. 317 (b) (2) (B) - PART 2
REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL.

SUM OF ALL EXTERIOR WALLS

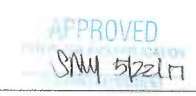
ELEMENT	(E) LENGTH (ft.)	TO BE REMOVED (ft.)	% TO BE REMOVED	TO BE RETAINED (ft.)	% TO BE RETAINED
A: FRONT(WEST) FACADE	24'-6"	3'-2"		21'-4"	
C: REAR(EAST) FACADE	24'-6"	24'-6"		0'-0"	
B: SIDE 1(NORTH) FACADE	33'-1"	2'-10"		30'-3"	
D: SIDE 2(SOUTH) FACADE	33'-1"	0'-0"		33'-1"	
TOTALS:	115'-2"	30'-6"	26.5%	84'-8"	83.5%

DETERMINATION:

PASSED SEC. 317 (b) (2) (B)

"A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL."

PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65% (SHEET A0.7)





HUANG RESIDENCE - REMODEL
 666 29TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK 1516 - LOT 024

client: sheng huang
 566 29th ave
 san francisco, ca 94121

Brett Howard, DBI
 JUL 14 2017

date: issues/ revisions: by:

05/17/16	Pre-Application	td
8/17/16	Draft - Meeting w/ Neighbors	td
9/16/16	Revised Site Permit & EEA	td
2/6/17	Planning Submission Rev. 1	ch



project name: DIRECTOR OF BUILDING INSPECTION
 HUANG RESIDENCE - REMODEL

VERTICAL AREA
 DEMO CALCULATIONS

A0.4



1 EXISTING ELEVATION - WEST
 Scale: 1/4" = 1'-0"

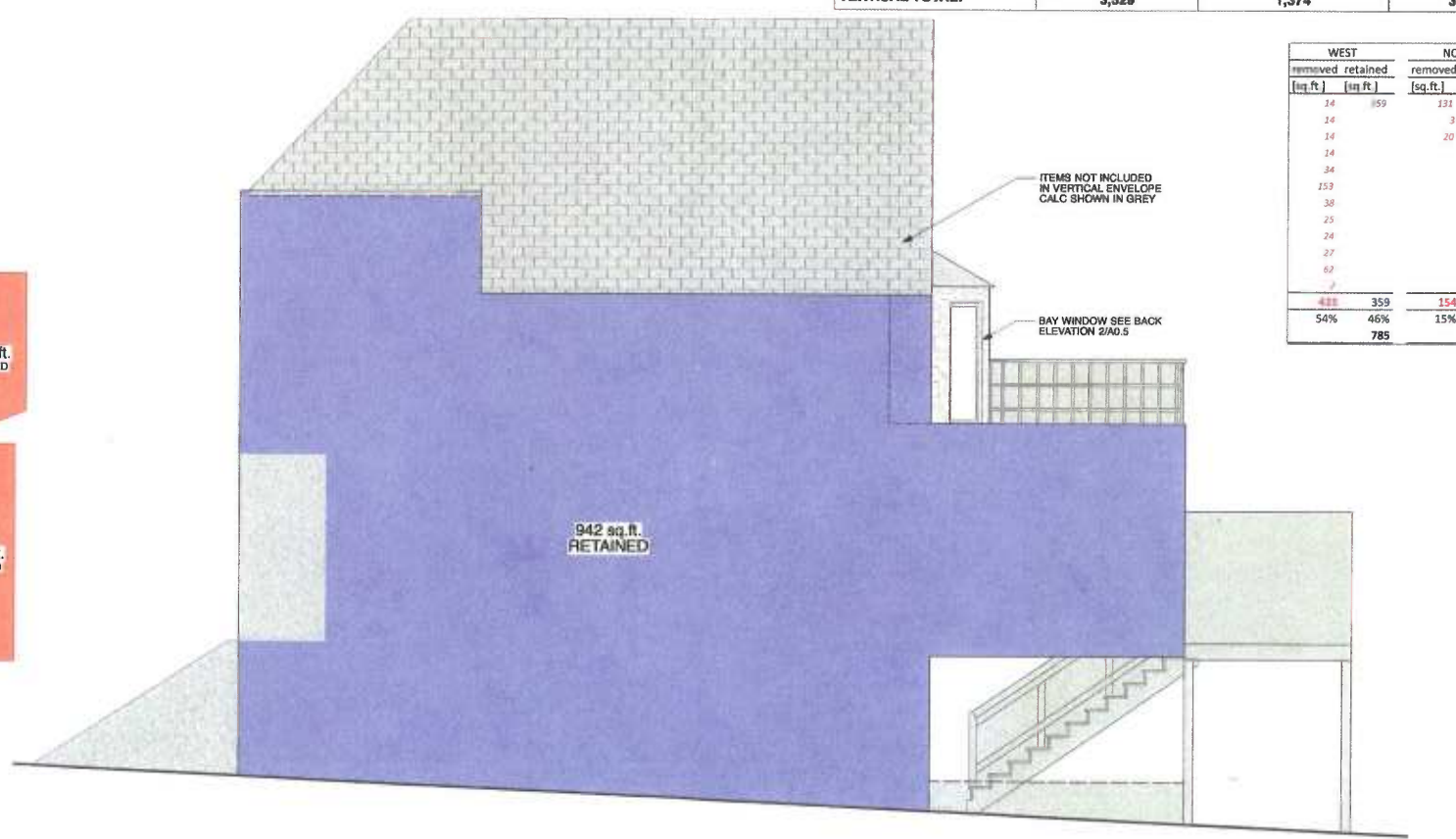


3 VERTICAL ENVELOPE CALCULATION - NORTH ELEVATION
 Scale: 1/4" = 1'-0"

VERTICAL ELEMENTS	(E) AREA (sq. ft.)	TO BE REMOVED (sq. ft.)	% TO BE REMOVED	TO BE RETAINED (SQ. FT.)	% TO BE RETAINED
A: FRONT (WEST) FACADE	785	426		359	
B: SIDE 1 (NORTH) FACADE	1,008	154		854	
C: REAR (EAST) FACADE	794	794		0	
D: SIDE 2 (SOUTH) FACADE	942	0		942	
VERTICAL TOTAL:	3,529	1,374	39%	2,155	61%



2 VERTICAL ENVELOPE CALCULATION - EAST ELEVATION
 Scale: 1/4" = 1'-0"

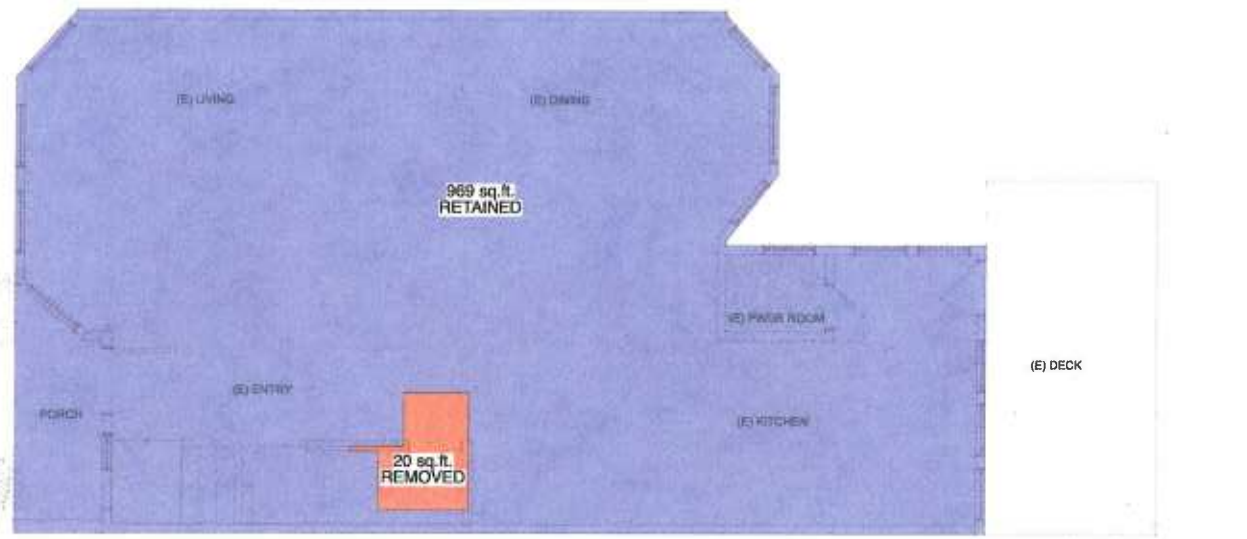


4 VERTICAL ENVELOPE CALCULATION - SOUTH ELEVATION
 Scale: 1/4" = 1'-0"

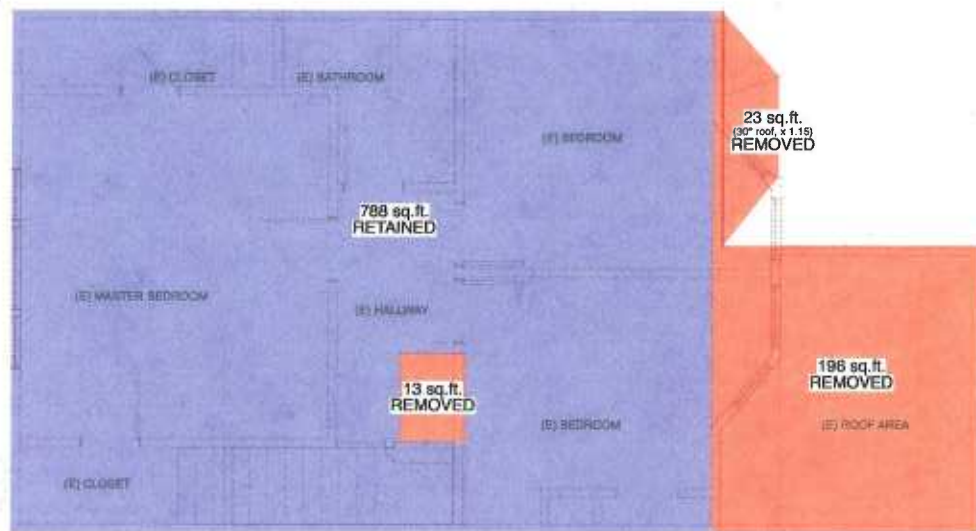
WEST		NORTH		EAST		SOUTH		TOTALS	
removed	retained	removed	retained	removed	retained	removed	retained	removed	retained
[sq. ft.]	[sq. ft.]	[sq. ft.]	[sq. ft.]	[sq. ft.]	[sq. ft.]	[sq. ft.]	[sq. ft.]	[sq. ft.]	[sq. ft.]
14	359	131	854	652	0	0	942	1,374	2,155
14		3		32					
14		20		31					
14				41					
34				38					
153									
38									
25									
24									
27									
62									
7									
426	359	154	854	794	0	0	942	1,374	2,155
54%	46%	15%	85%	100%	0%	0%	100%	39%	61%
785		1,008		794			942		3,529

DETERMINATION:
PASSED SEC. 317 (b) (2) (C)
 "A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA"
 PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (SHEET A0.4)
 PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (SHEET A0.5)

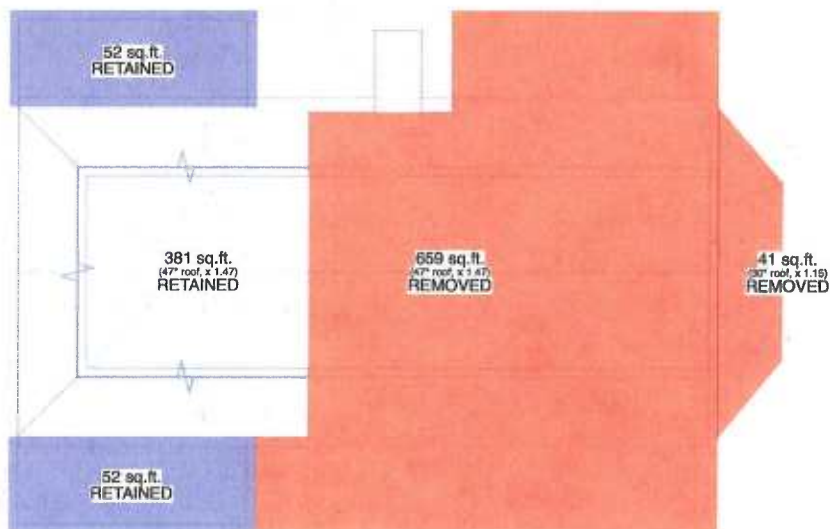




1 HORIZONTAL AREA CALCULATION - SECOND FLOOR DIAGRAM
Scale: 1/4" = 1'-0"



2 HORIZONTAL AREA CALCULATION - THIRD FLOOR DIAGRAM
Scale: 1/4" = 1'-0"



3 HORIZONTAL AREA CALCULATION - FOURTH FLOOR DIAGRAM
Scale: 1/4" = 1'-0"

SYMBOLS

TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (b) (2) (C) - PART 2
REMOVAL OF MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

HORIZONTAL ELEMENTS	(E) AREA (SF)	TO BE REMOVED (SF)	% TO BE REMOVED	TO BE RETAINED (SF)	% TO BE RETAINED
A: 1ST FLOOR	0	0		0	
B: 2ND FLOOR	969	20		969	
C: 3RD FLOOR	1,020	232		788	
C: ROOF	1,185	700		485	
HORIZONTAL TOTAL:	3,194	952	30%	2,242	70%

2nd Floor		3rd Floor		Roof		TOTALS	
removed	retained	removed	retained	removed	retained	removed	retained
[sq.ft.]	[sq.ft.]	[sq.ft.]	[sq.ft.]	[sq.ft.]	[sq.ft.]	[sq.ft.]	[sq.ft.]
20	969	13	788	659	381		
		23		41	52		
		196			52		
20	969	232	788	700	485	952	2,242
2%	98%	23%	77%	59%	41%	30%	70%
	989		1,020		1,185		3,194

DETERMINATION:

PASSED SEC. 317 (b) (2) (C)

"A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA"

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (SHEET A0.4)
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (SHEET A0.5)



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 559 8550 FAX 415 559 0554



client:
HUANG RESIDENCE - REMODEL
569 20TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 1516 - LOT 024

Steve Huang
569 20th Ave
San Francisco, CA 94116

Brett Howard, DBI
JUL 14 2017

date:	issues/ revisions:	by:
05/17/16	Pre-Application	kd
8/17/16	Draft - Meeting w/ Neighbors	kd
9/16/16	Revised Site Permit & EEA	kd



NOV 27 2017
Tom C. Choi
DIRECTOR OF BUILDING INSPECTION
HUANG RESIDENCE - REMODEL

HORIZONTAL AREA DEMO CALCULATIONS



A0.5

DEMOLITION LEGEND

EXISTING WALL
 DEMO. WALL
 AREA TO BE DEMOLISHED

WALL TYPE

EXISTING WALL

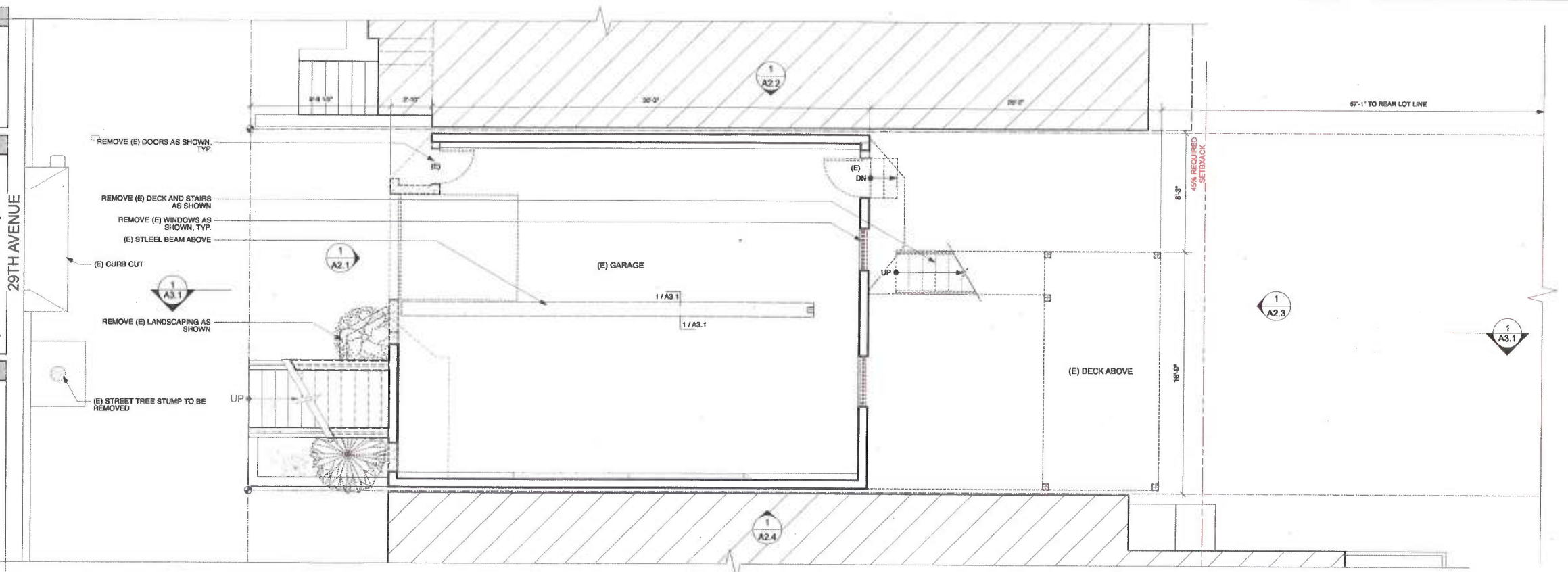
NEW EXTERIOR WALL (NON-RATED):
 (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
 O/ 2 LAYERS GRADE D' BUILDING PAPER,
 O/ EXTERIOR GRADE PLYWOOD,
 O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 O/ 5/8" GYPSUM BOARD (INTERIOR FACE)

NEW INTERIOR WALL:
 5/8" GYPSUM BOARD,
 O/ 2X4 WD. STUDS,
 O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 O/ 5/8" GYPSUM BOARD

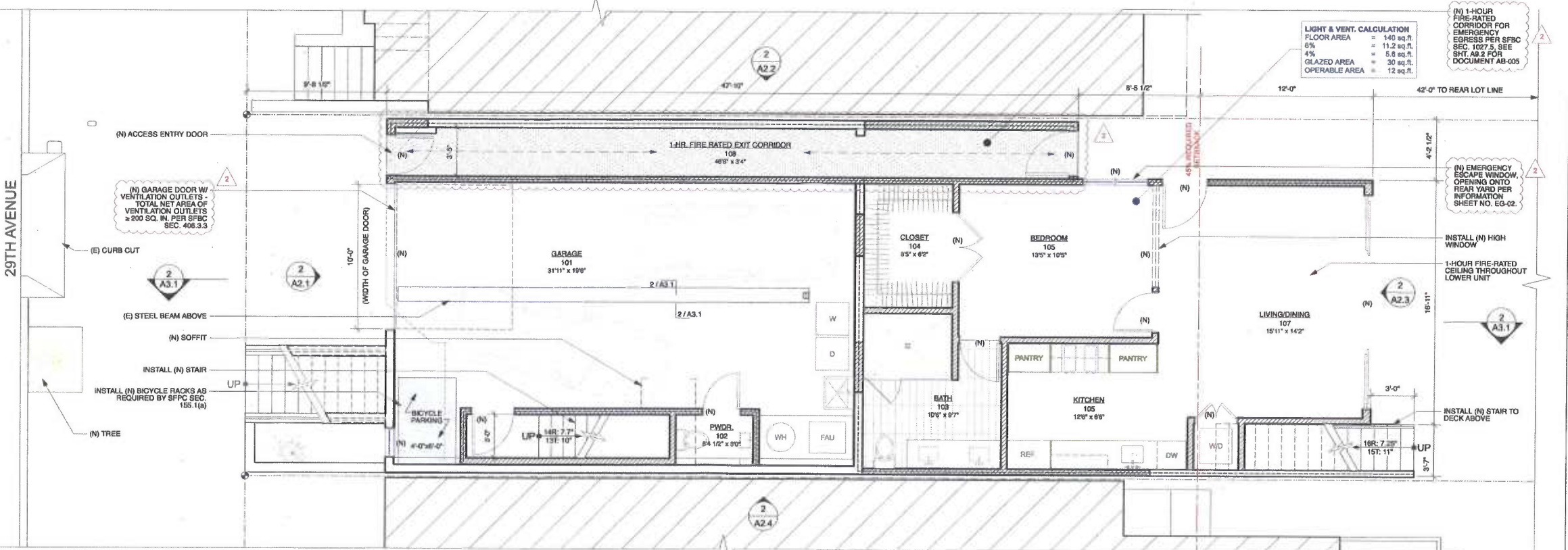
NEW 1-HOUR FIRE-RATED WALL:
 (N) FINISH MATERIAL (REFER TO EXT. ELEV.)
 O/ 2 LAYERS GRADE D' BUILDING PAPER,
 O/ 5/8" TYPE 'X' GYPSUM SHEATHING,
 O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
 O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
 O/ 5/8" TYPE 'X' GYPSUM BOARD

CONSTRUCTION NOTES

- CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
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- ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
- ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
- CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 FIRST / GARAGE FLOOR PLAN - EXISTING
 Scale: 1/4" = 1'-0"



2 FIRST / GARAGE FLOOR PLAN - PROPOSED
 Scale: 1/4" = 1'-0"

LUMI

JOHN LIM ARCHITECTURE INC.
 3246 SEVENTEENTH STREET, SAN FRANCISCO, CA 94110
 TEL. 415 558 9550 FAX 415 558 0554



HUANG RESIDENCE - REMODEL

566 29TH AVENUE
 SAN FRANCISCO, CA 94121
 BLOCK 1516 - LOT 024

client: Steve Huang
 566 29th Ave
 San Francisco, CA 94121

date: issues/ revisions: by:

05.17.16 Pre-Application kd
 8/17/16 Draft - Meeting w/ Neighbors kd
 9/16/16 Revised Site Permit & EEA kd
 2/9/17 Planning Submission Rev. ch
 7/11/17

APPROVED
 Dept. of Building Insp.
 NOV 27 2017
 Tom C. Hsu
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

RECEIVED
 JUL 14 2017
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING ACCEPTED

project name: HUANG RESIDENCE - REMODEL

FIRST FLOOR PLANS

A1.1

DEMOLITION LEGEND

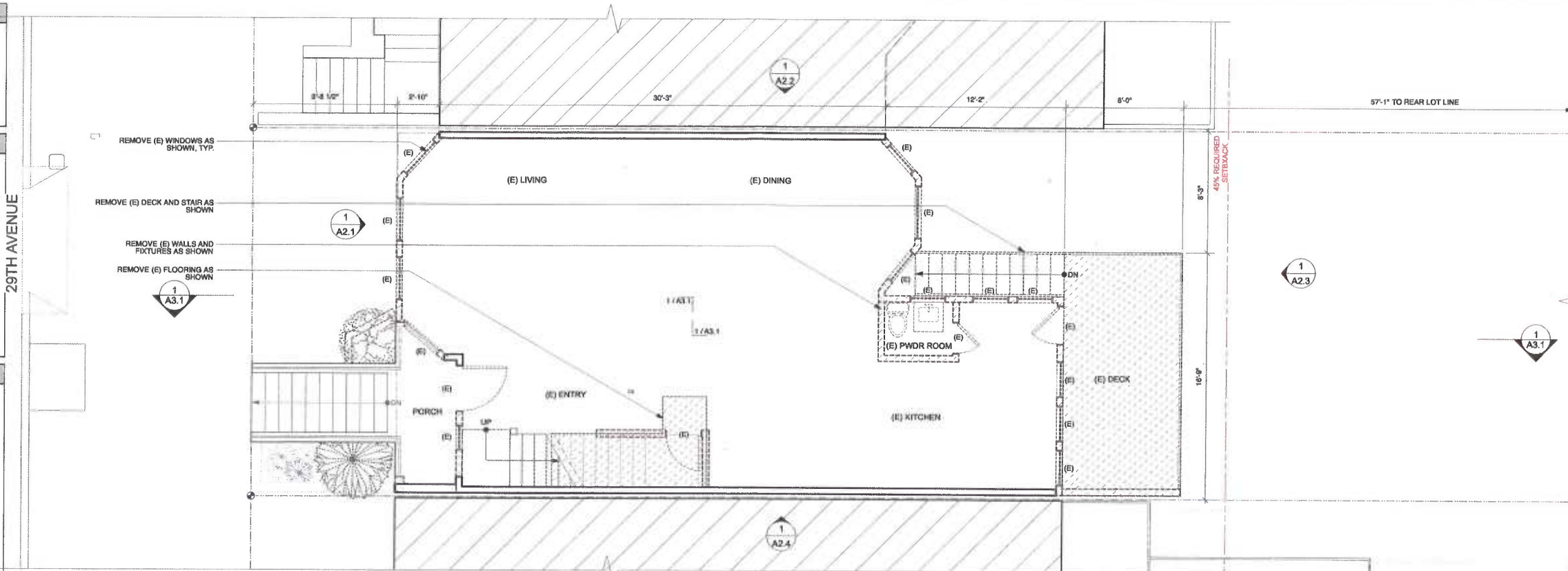
- EXISTING WALL
- DEMO. WALL
- AREA TO BE DEMOLISHED

WALL TYPE

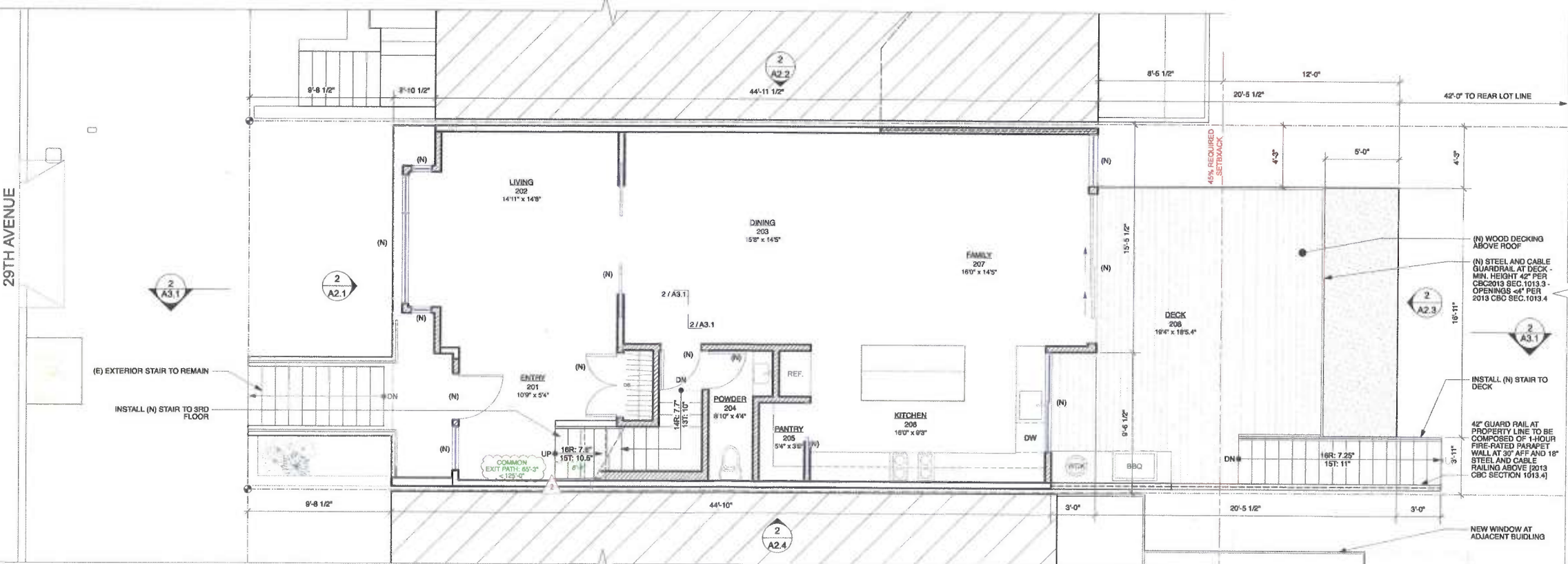
- EXISTING WALL
- NEW EXTERIOR WALL (NON-RATED):
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
O/2 LAYERS GRADE D' BUILDING PAPER,
O/ EXTERIOR GRADE PLYWOOD,
O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
O/ 5/8" GYPSUM BOARD,
O/ 2x4 WD. STUDS
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED WALL:
(N) FINISH MATERIAL (REFER TO EXT. ELEV.)
O/ 2 LAYERS GRADE D' BUILDING PAPER,
O/ 5/8" TYPE X GYPSUM SHEATHING,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/ 5/8" TYPE X GYPSUM BOARD

CONSTRUCTION NOTES

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10. CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 SECOND FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

LUMI
JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL. 415 658 9550 FAX. 415 658 0554



HUANG RESIDENCE - REMODEL
568 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

client:
John Huang
568 29th Avenue
San Francisco, CA 94121

PH
Drew Howard, DBI
JUL 11 2017

date	issues/ revisions	by
05.17.16	Pre-Application	kl
6/17/16	Draft - Meeting w/ Neighbors	kl
9/16/16	Revised Site Permit & EEA	kl
7/11/17	Revised Permits	kl

APPROVED
Dept. of Building Insp.
NOV 27 2017
Tom C. Hsu
TOM C. HSU, P.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION



project name:
HUANG RESIDENCE - REMODEL

SECOND FLOOR PLANS

A1.2

DEMOLITION LEGEND

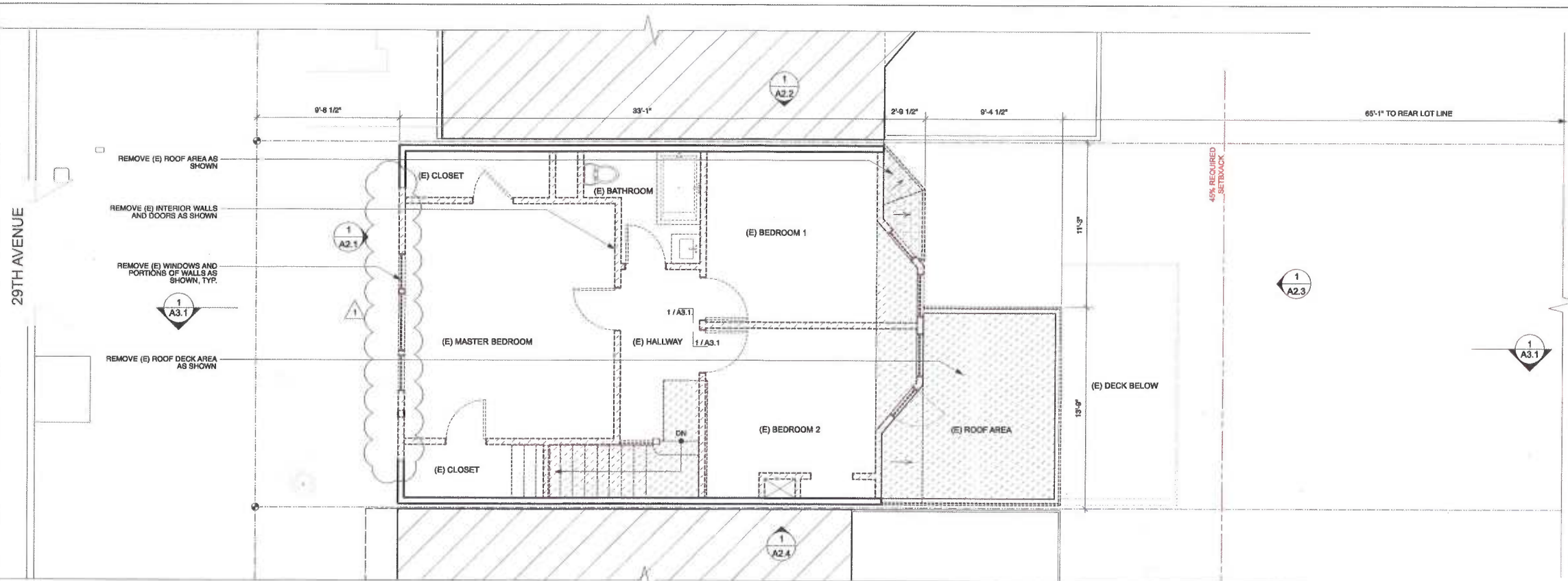
- EXISTING WALL
- - - DEMO. WALL
- AREA TO BE DEMOLISHED

WALL TYPE

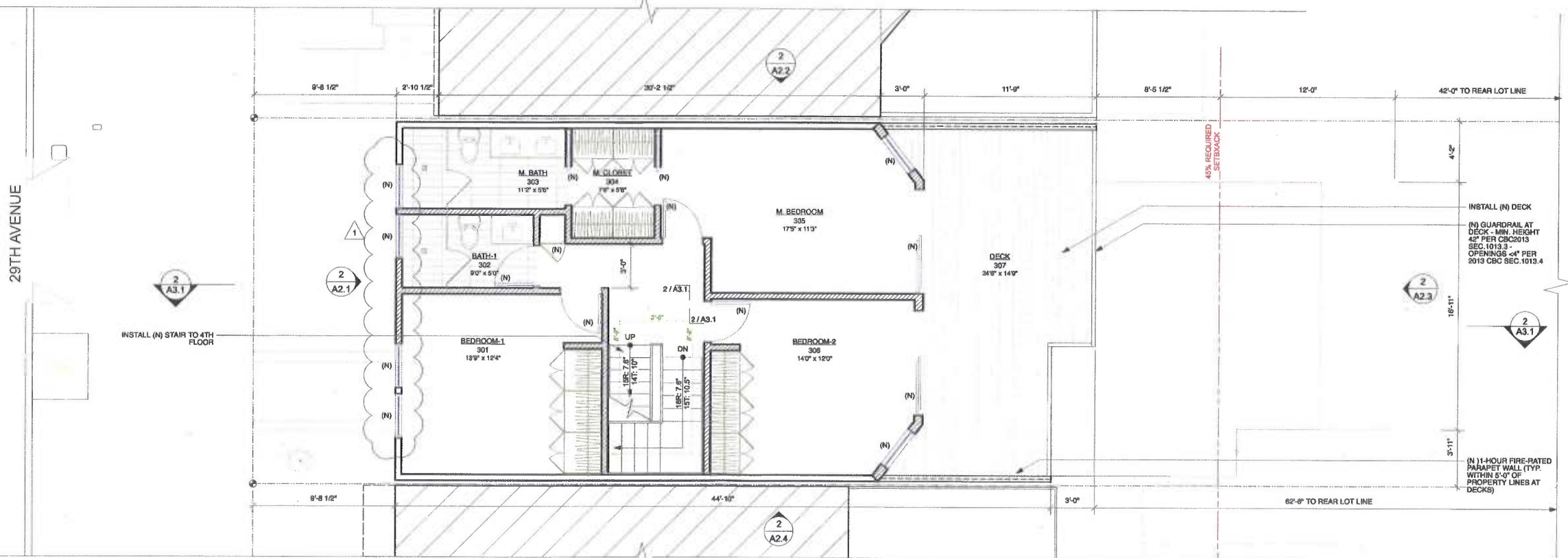
- EXISTING WALL
- ▨ NEW EXTERIOR WALL (NON-RATED):
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
O 2 LAYERS GRADE 'D' BUILDING PAPER,
O 2" WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O 5/8" GYPSUM BOARD (INTERIOR FACE)
- ▨ NEW INTERIOR WALL:
5/8" GYPSUM BOARD,
O 2X4 WD. STUDS,
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1 THIRD FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"



2 THIRD FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



APPROVED
SMY 02/2017

LUMI

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL. 415 559 9550 FAX 415 558 0554



HUANG RESIDENCE - REMODEL
566 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

client:
Steve Huang
566 29th Ave
San Francisco, CA 94121

Brett Howard, DBI
JUL 14 2017

date	issues/ revisions	by
05.17.16	Pre-Application	td
8/17/16	Draft - Meeting w/ Neighbors	td
9/16/16	Revised Site Permit & EEA	td
2/9/17	Planning Submission Rev. 1	ch



NOV 27 2017
Inspector
project name: HUANG RESIDENCE - REMODEL

THIRD FLOOR PLANS

A1.3

DEMOLITION LEGEND

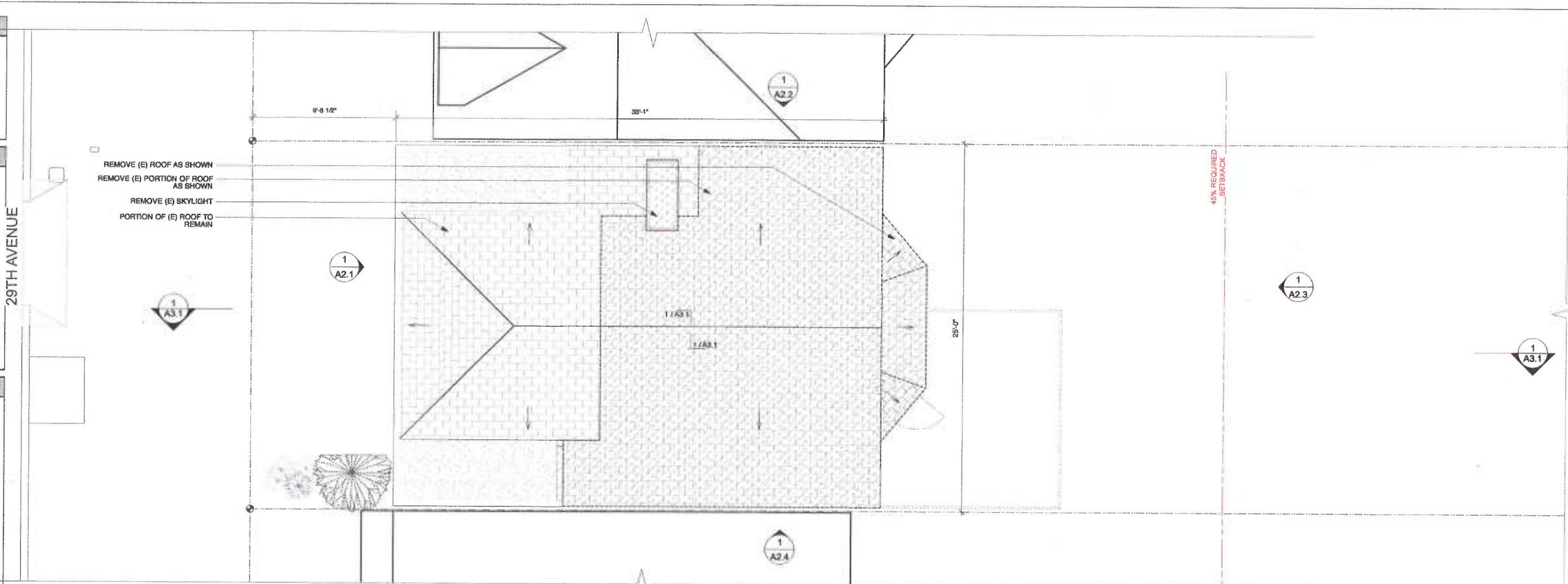
- EXISTING WALL
- DEMO. WALL
- AREA TO BE DEMOLISHED

WALL TYPE

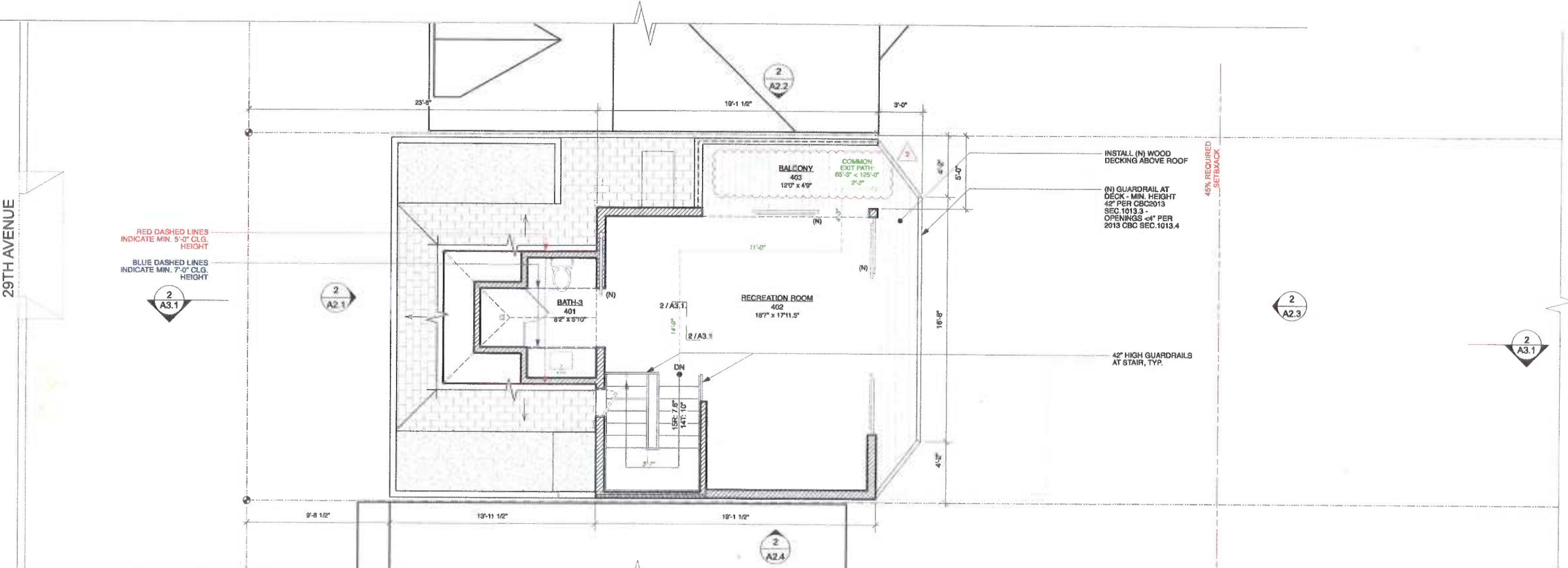
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O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
5/8" GYPSUM BOARD,
O/ 2 1/2" WD. STUDS,
O/ STRUCTURAL FLYWD. (WHERE OCCURS, S.S.D.)
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(N) FINISH MATERIAL (REFER TO EXT. ELEV.)
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1 ROOF PLAN - EXISTING
Scale: 1/4" = 1'-0"



2 ATTIC/FOURTH FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

LUMI
JOHN LUM ARCHITECTURE INC.
3249 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL. 415 558 9550 FAX 415 558 0564



HUANG RESIDENCE - REMODEL
566 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024
Client: slava huang
566 29th ave
san francisco, ca 94121

Plot
Brett Howard, DBI
JUL 14 2017

date	issues/ revisions	by
05.17.16	Pre-Application	kd
8/17/16	Draft - Meeting w/ Neighbors	kd
9/16/16	Revised Site Permit & EEA	kd
7/11/17	Planning Re-Check	rk



NOV 27 2017
Tom C. Hill, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION



project name :
HUANG RESIDENCE - REMODEL

ROOF/ATTIC FLOOR PLANS

A1.4

APPROVED
SMY 8/21/17



HUANG RESIDENCE - REMODEL
566 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

client:
Steve Huang
566 29th Ave
San Francisco, CA 94121

Brett Howard
Brett Howard, DBI
JUL 14 2017

date	issues/ revisions	by
05.17.16	Pre-Application	kd
8/17/16	Draft - Meeting w/ Neighbors	kd
9/16/16	Revised Site Permit & EEA	kd
2/9/17	Planning Submission Rev. 1	ch



project name: HUANG RESIDENCE - REMODEL

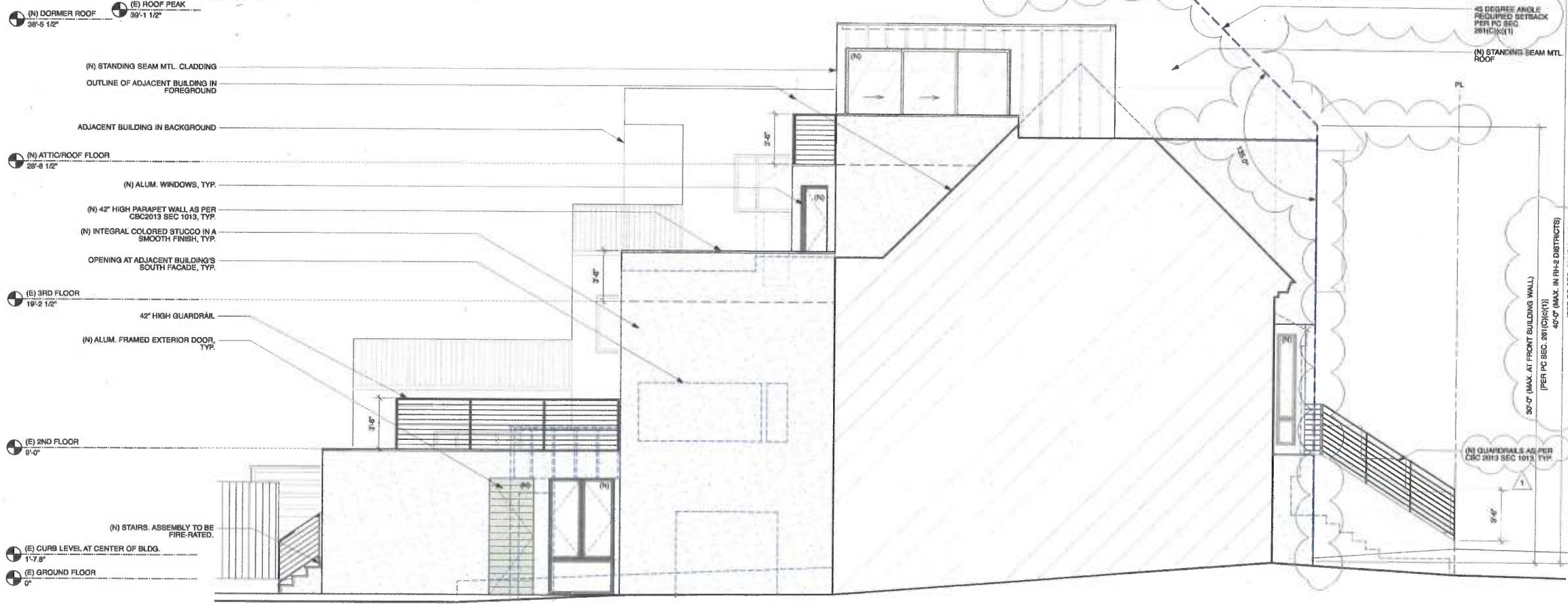
EXTERIOR ELEVATIONS I
- EXISTING/DEMO & PROPOSED

A2.1





1 EXISTING ELEVATION - NORTH
Scale: 1/4" = 1'-0"



2 PROPOSED ELEVATION - NORTH
Scale: 1/4" = 1'-0"

LUMI

JOHN LUM ARCHITECTURE INC.
3248 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL. 415 556 8550 FAX 415 556 0554



HUANG RESIDENCE - REMODEL
566 20TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

client:
Steve Huang
566 20th Ave
San Francisco, CA 94121

Bill
Brett Howard, DBI
JUL 14 2017

date:	Issues/ revisions:	by:
05/17/16	Pre-Application	kd
8/17/16	Draft - Meeting w/ Neighbors	kd
9/18/16	Revised Site Permit & EEA	kd
2/9/17	Planning Submission Rev. 1	ch



NOV 27 2017
Tom C. Hua
DIRECTOR
DEPARTMENT OF BUILDING INSPECTION
HUANG RESIDENCE - REMODEL

EXTERIOR ELEVATIONS I
- EXISTING/DEMO &
EXTERIOR ELEVATIONS 2

A2.2

APPROVED
JUL 27 2017



1 EXISTING ELEVATION - EAST
Scale: 1/4" = 1'-0"



2 PROPOSED ELEVATION - EAST
Scale: 1/4" = 1'-0"

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JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL. 415 658 8650 FAX 415 658 0564



HUANG RESIDENCE - REMODEL
566 29TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 1516 - LOT 024

client: shoua huang
566 29th ave
san francisco, ca 94121

Brett Howard, DBI
Brett Howard, DBI
JUL 14 2017

date	issues/ revisions	by
05.17.16	Pre-Application	kd
8/17/16	Draft - Meeting w/ Neighbors	kd
9/16/16	Revised Site Permit & EEA	kd

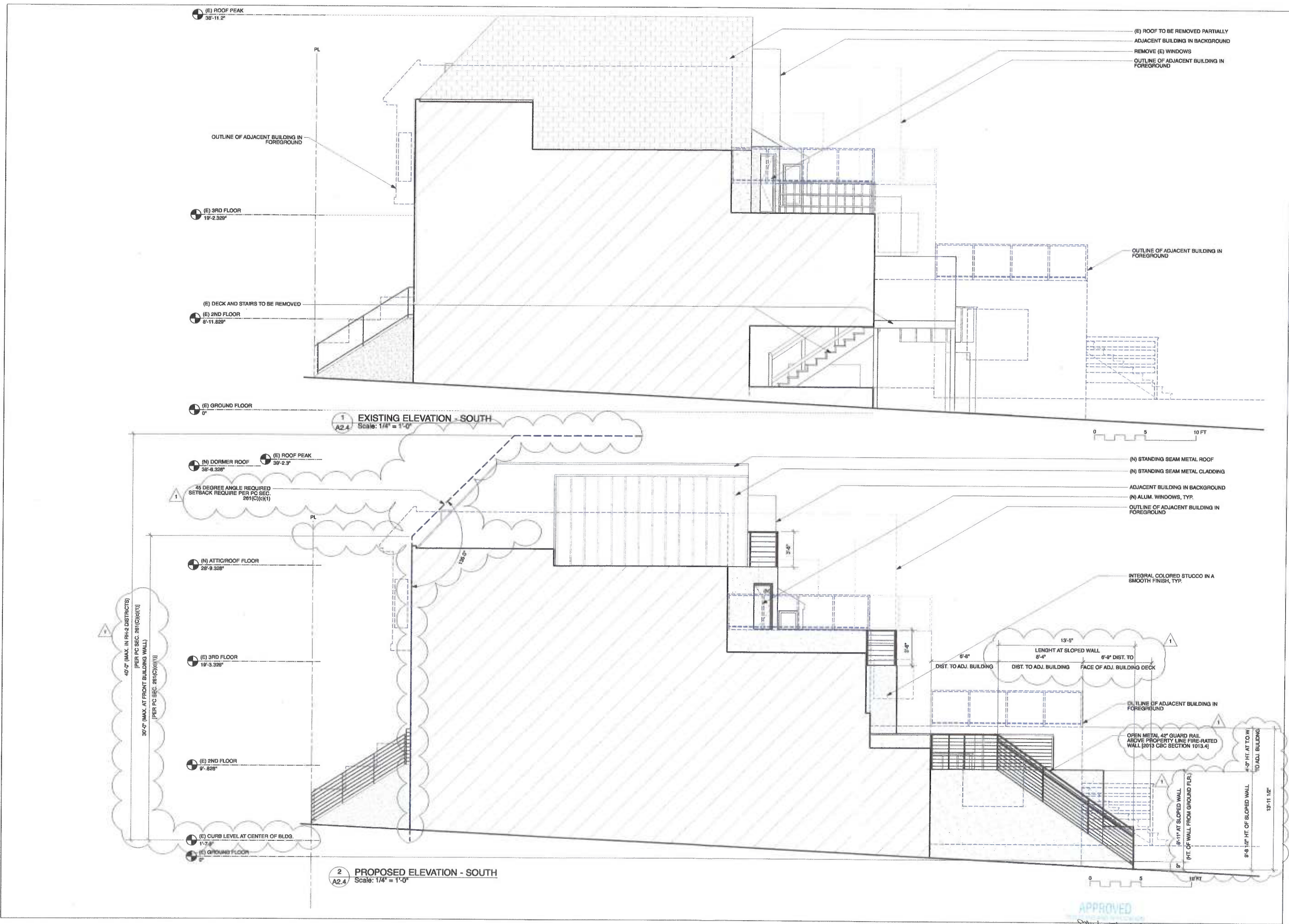


project name: HUANG RESIDENCE REMODEL

EXTERIOR ELEVATIONS I
- EXISTING/DEMO &
PROPOSED

A2.3

APPROVED
shoua huang



LUMI

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL. 415 558 9550 FAX 415 558 0554



HUANG RESIDENCE - REMODEL

566 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 034

client:

John Lum
566 29th Ave
San Francisco, CA 94121

Brett Howard, DBI
JUL 14 2017

date	issues/ revisions	by
05.17.16	Pre-Application	ld
8/17/16	Draft - Meeting w/ Neighbors	ld
9/16/16	Revised Site Permit & EEA	ld
2/9/17	Planning Submission Rev. 1	ch

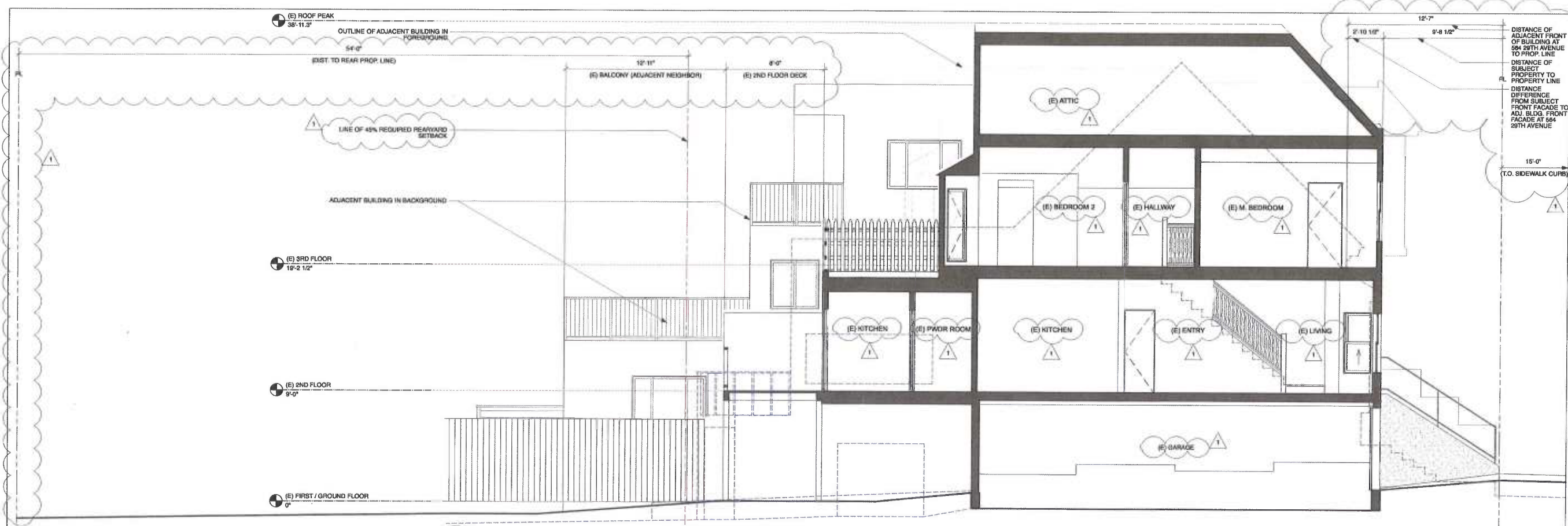


project name: TOM C. PULS, S.E.
HUANG RESIDENCE - REMODEL

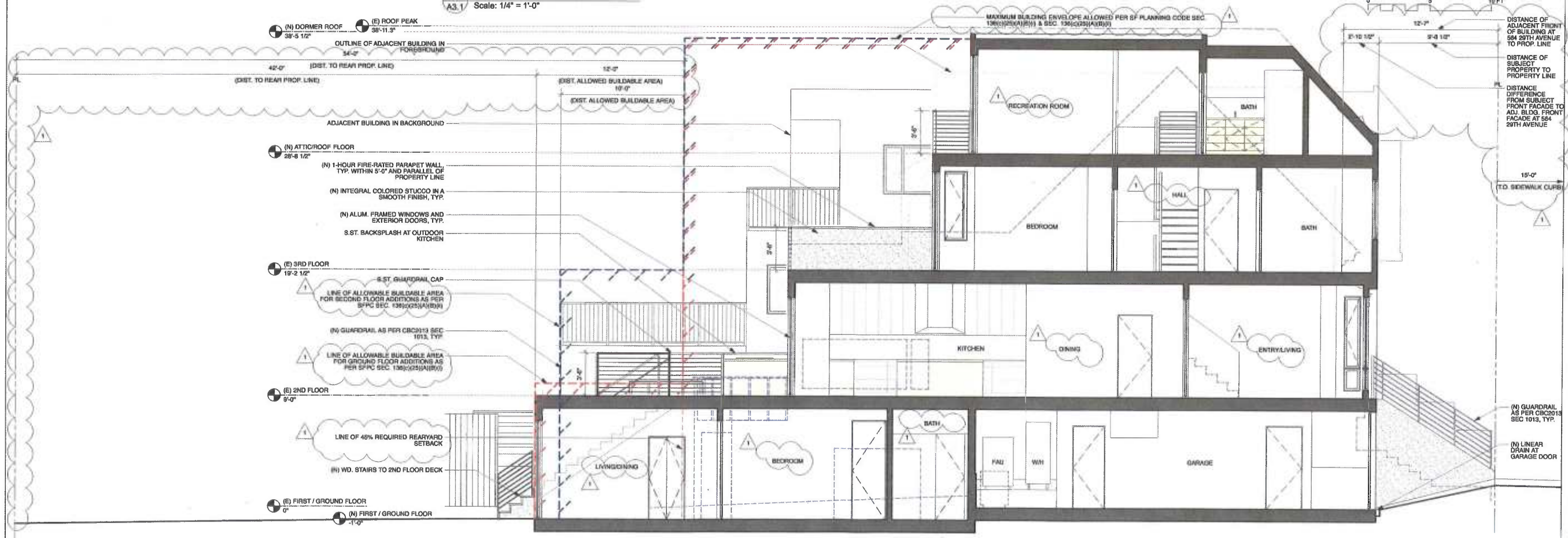
EXTERIOR ELEVATIONS I
- EXISTING/DEMO & PROPOSED

A2.4

APPROVED
Study 5/22/17



1 LONGITUDINAL SECTION: EXISTING
A3.1 Scale: 1/4" = 1'-0"



2 LONGITUDINAL SECTION: PROPOSED
A3.1 Scale: 1/4" = 1'-0"

LUMI

JOHN LUM ARCHITECTURE INC.
3248 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL. 415 558 0550 FAX 415 558 0554



HUANG RESIDENCE - REMODEL
568 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

client:
Steve Huang
568 29th Ave
San Francisco, CA 94121

Preit Howard, DBI
JUL 14 2017

date	Issues/ revisions	by
05.17.16	Pre-Application	kd
8/17/16	Draft - Meeting w/ Neighbors	kd
9/16/16	Revised Site Permit & EEA	kd
2/9/17	Planning Submission Rev. 1	ch



project name: HUANG RESIDENCE REMODEL
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED
SMY 5/24/17

SECTIONS
A3.1

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION
OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED _____ [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table IA-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2013-0823-5160

Property Address: 566 29th Avenue

Block and Lot: 1516 / 024 Occupancy Group: R-3 Type of Construction: V No. of Stories: 4

Describe Use of Building: 2-Unit Residential Dwelling

Under the authority of the 2013 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2013 San Francisco Mechanical Code, Section 103.0; the 2013 San Francisco Electrical Code, Section 89.117; and the 2013 San Francisco Plumbing Code, Section 301.2; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

2013 California Building Code Sec. 1027.5: "The exit discharge shall provide direct and unobstructed access to a public way. Exception: Where access to a public way cannot be provided, a safe dispersal area shall be provided...at least 50 feet away from the building requiring egress."

Proposed Modification or Alternate

The length of the proposed rear yard will be 42'-0" less than the minimum 50'-0" required to use the rear yard as a safe dispersal area for egress purposes. A dedicated, fire-rated egress corridor will be provided giving protected direct access from the 42'-0" rear yard to the public way at the front of the property.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

Both the existing and proposed structures have no side setbacks isolating the rear yard from the public way. The rear yard is instead given access to the public way through the proposed dedicated, fire-rated egress corridor along the North side of the basement level.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER

Print Name: Khoan Quang / Authorized Agent John Lum

Signature: [Signatures]

Telephone: 415-558-9550 ext. 0013 415-558-9550 ext. 0016



PLAN REVIEWER COMMENTS:
RECOMMENDATIONS: Approve Approve with conditions Disapprove
Plan Reviewer: [Signatures]
Division Manager: [Signature]
for Director of Bldg. Inspection
for Fire Marshal:
CONDITIONS OF APPROVAL or OTHER COMMENTS



JOHN LUM ARCHITECTURE INC.
3286 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 558 9550 FAX: 415 558 0554



HUANG RESIDENCE - REMODEL
566 29TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK 1516 - LOT 024

Steve Huang
566 29th Ave
San Francisco, CA 94121

client:

[Signature]
Brett Howard, DBI
JUL 14 2017

Table with 3 columns: date, issues/ revisions, by:
05.17.16 Pre-Application kd
8/17/16 Draft Copy-Response to kd
9/16/16 Neighbors' Comments kd



NOV 27 2017

Tom C. Hui
DIRECTOR
DEPT. OF BUILDING INSPECTION



project name :
HUANG RESIDENCE - REMODEL

Exhibit B



Appellant's Rear Extension



Appellant's Rear Extension on the left in Relation to Huang's Existing Building

Exhibit C

(E) GROUND FLOOR
0"

1 EXISTING ELEVATION - SOUTH
A2.4 Scale: 1/4" = 1'-0"

(N) DORMER ROOF
38'-6.328"

(E) ROOF PEAK
39'-2.3"

45 DEGREE ANGLE REQUIRED
SETBACK REQUIRE PER PC SEC.
281(C)(1)

(N) ATTIC/ROOF FLOOR
28'-9.328"

(E) 3RD FLOOR
19'-3.328"

(E) 2ND FLOOR
9'-8.828"

(E) CURB LEVEL AT CENTER OF BLDG.
1'-7.8"

(E) GROUND FLOOR
0"

2 PROPOSED ELEVATION - SOUTH
A2.4 Scale: 1/4" = 1'-0"

- (N) STANDING SEAM METAL ROOF
- (N) STANDING SEAM METAL CLADDING
- ADJACENT BUILDING IN BACKGROUND
- (N) ALUM. WINDOWS, TYP.
- OUTLINE OF ADJACENT BUILDING IN FOREGROUND

INTEGRAL COLORED STUCCO IN A SMOOTH FINISH, TYP.

13'-6"
LENGTH AT SLOPED WALL
8'-4"
6'-8" DIST. TO
6'-9" DIST. TO
FACE OF ADJ. BUILDING DECK

OUTLINE OF ADJACENT BUILDING IN FOREGROUND

OPEN METAL 42" GUARD RAIL
ABOVE PROPERTY LINE FIRE-RATED
WALL [2013 CBC SECTION 1013.4]

8'-11" AT SLOPED WALL
(HT. OF WALL FROM GROUND FLR.)

4'-9" HT. AT T.O.W.
TO ADJ. BUILDING

8'-5 1/2" HT. OF SLOPED WALL
19'-11 1/2"



APPROVED
SMY 5/22/17

40'-0" (MAX. IN RH-2 DISTRICTS)
[PER PC SEC. 281(C)(1)]
30'-0" (MAX. AT FRONT BUILDING WALL)
[PER PC SEC. 281(C)(1)]

125'-0"

3'-0"

6'-8"

DIST. TO ADJ. BUILDING

8'-4"

DIST. TO ADJ. BUILDING

6'-9" DIST. TO
FACE OF ADJ. BUILDING DECK

OUTLINE OF ADJACENT BUILDING IN FOREGROUND

OPEN METAL 42" GUARD RAIL
ABOVE PROPERTY LINE FIRE-RATED
WALL [2013 CBC SECTION 1013.4]

8'-11" AT SLOPED WALL
(HT. OF WALL FROM GROUND FLR.)

4'-9" HT. AT T.O.W.
TO ADJ. BUILDING

8'-5 1/2" HT. OF SLOPED WALL
19'-11 1/2"

Exhibit D



View of Appellant's Window with Project