

**Application no.:** S/2012/0505

town

Refurbishment and conversion of existing keyworker accommodation into self-contained units comprising: 17 studio units, 5 two-bedroomed flats and 1 one-bedroomed flat, including a new access drive to Scarisbrick New Road and external alterations

**Decision date:** 18/10/2012

**Site address:** Y Blocks, Southport and Formby District Hospital, Town Lane, Southport

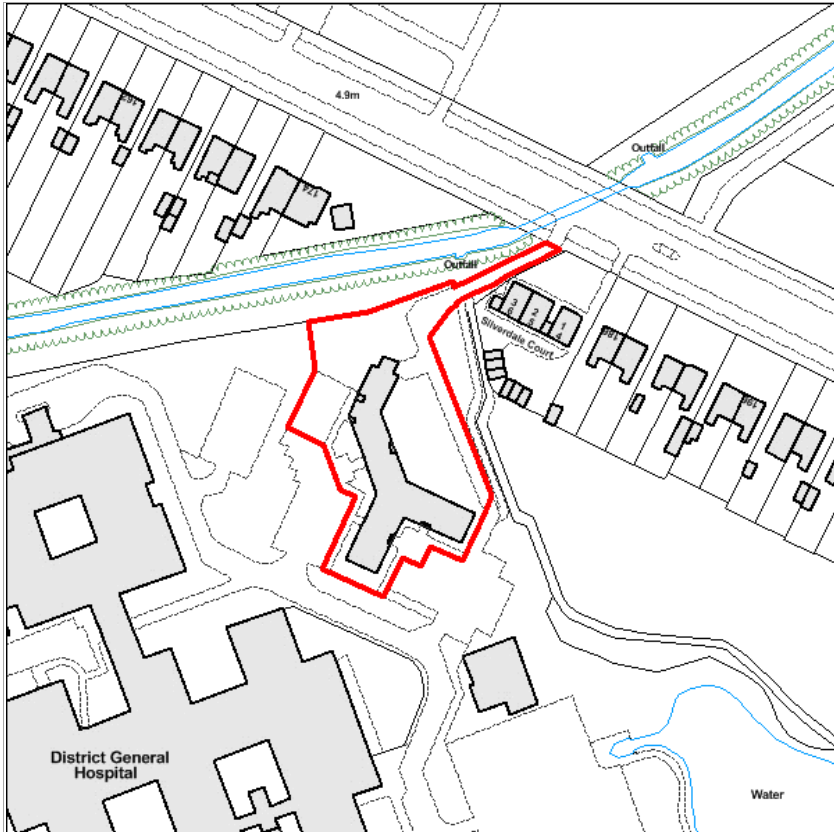
**Development started?** No

**Total dwellings:** 22

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

2015/16: 0

2016/17:

2017/18:

2018/19:

2019/20:

2020/21:

2021/22:

2022/23:

2023/24:

2024/25:

2025/26:

2026/27:

2027/28:

2028/29:

2029/30:

**Availability:**

Owner has confirmed this permission will not be implemented.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Owner has confirmed that this permission will not be implemented. The site is therefore excluded from the identified housing supply.

**Application no.:** **N/2007/0889**

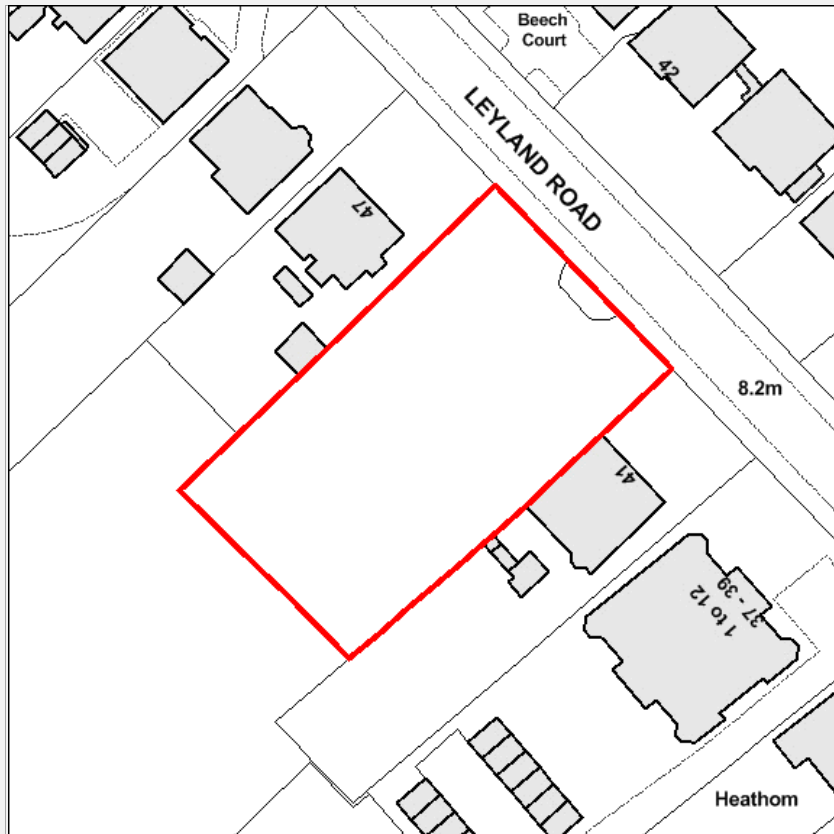
S955

Erection of 2, three storey blocks of 9 self contained flats (18 in total) involving the layout of car parking to the front and rear of the premises.

**Decision date:** 15/11/2007

**Site address:** 43/45, Leyland Road, Southport

**Development started?**  Yes



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**Total dwellings:** **18**

**Completions to date:** 0

**Total demolitions:** 13

**Demolitions to date:** 13

**Forecast Completions**

|          |   |
|----------|---|
| 2015/16: |   |
| 2016/17: |   |
| 2017/18: |   |
| 2018/19: |   |
| 2019/20: |   |
| 2020/21: | 9 |
| 2021/22: | 9 |
| 2022/23: |   |
| 2023/24: |   |
| 2024/25: |   |
| 2025/26: |   |
| 2026/27: |   |
| 2027/28: |   |
| 2028/29: |   |
| 2029/30: |   |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Cleared site with extant planning permission for apartments dating from 2007. However, the market for apartments in this location has deteriorated since then and the site is now stalled. The developer has confirmed their intention to implement the scheme in the medium term. Phasing assumes delivery outside of the 0-5 year period.

**Application no.:** S/2012/0400

S11

Part (A) Erection of 668 houses and apartments; an extra care development comprising of 126 homes and 44 bed respite and dementia care building; a unit comprising 216 sq m retail; associated hard and soft landscaping and new access and highways.

**Decision date:** 25/07/2012

**Site address:** Land to west and south of, Town Lane, Southport

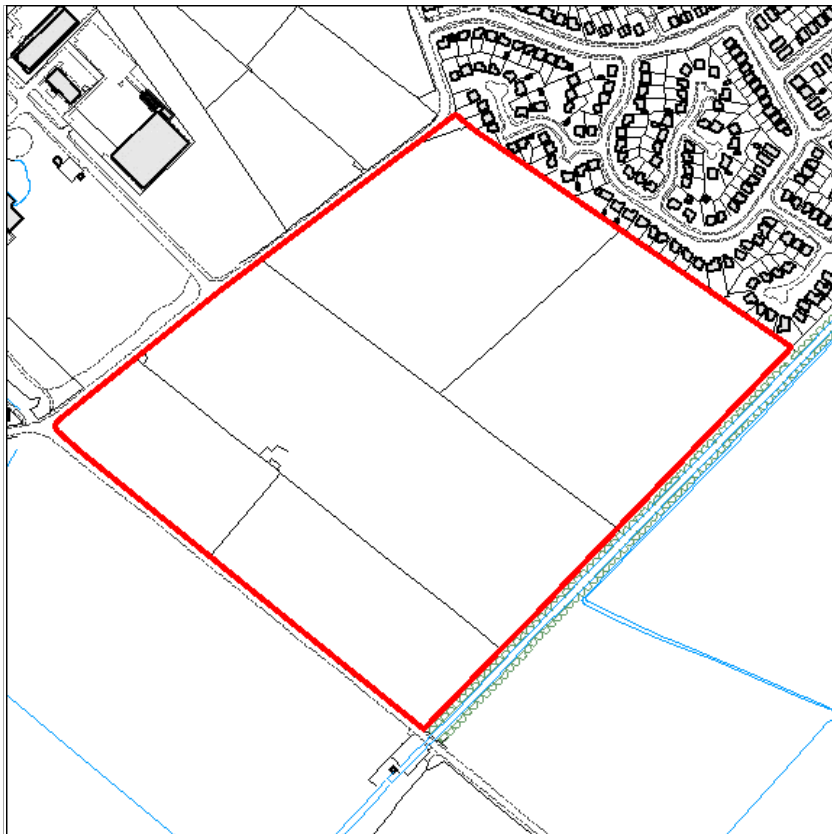
**Development started?** No

**Total dwellings:** 668

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: | 15 |
| 2017/18: | 30 |
| 2018/19: | 30 |
| 2019/20: | 30 |
| 2020/21: | 30 |
| 2021/22: | 30 |
| 2022/23: | 30 |
| 2023/24: | 30 |
| 2024/25: | 30 |
| 2025/26: | 30 |
| 2026/27: | 30 |
| 2027/28: | 30 |
| 2028/29: | 30 |
| 2029/30: | 30 |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site owned by a national house builder and is in the process of being developed. Phasing assumptions confirmed by the developer.

**Application no.:** DC/2014/01022

S0221

Erection of a part two, part three storey block of 32 retirement apartments after demolition of existing building

**Decision date:** 20/10/2014

**Site address:** Ainsdale Car Sales, Mill Road, Ainsdale

**Development started?** No



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**Total dwellings:** 32

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: | 32 |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| <hr/>    |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| <hr/>    |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site recently granted planning permission for retirement apartments. Phasing assumptions confirmed by the developer.

**Application no.:** S/2013/0658

S0201

Construction of a mixed use scheme comprising: three A1 retail units to the ground floor, 56 self-contained apartments above in two connected blocks of three and five storeys, landscaped courtyard at first floor level and basement car parking area, after demolition of the existing retail units

**Decision date:** 11/09/2013

**Site address:** Iceland Foods, 5-19 King Street, Southport

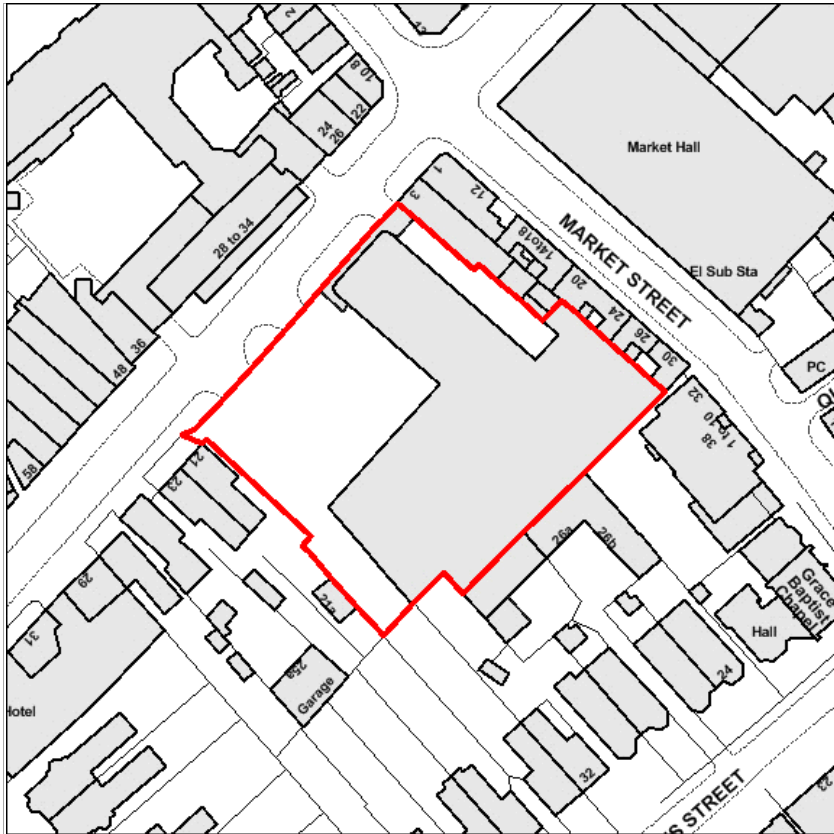
**Development started?** No

**Total dwellings:** 56

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |  |
|----------|--|
| 2015/16: |  |
| 2016/17: |  |
| 2017/18: |  |
| 2018/19: |  |
| 2019/20: |  |
| <hr/>    |  |
| 2020/21: |  |
| 2021/22: |  |
| 2022/23: |  |
| 2023/24: |  |
| 2024/25: |  |
| <hr/>    |  |
| 2025/26: |  |
| 2026/27: |  |
| 2027/28: |  |
| 2028/29: |  |
| 2029/30: |  |

**Availability:**

Not available for residential development.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Planning permission secured in 2013 by the landowner. However, the lease for the current retail use has recently been extended for 10 years. Excluded from the identified housing supply.

**Application no.:** S/2012/0400

S0155

Part (A) Erection of 668 houses and apartments; an extra care development comprising of 126 homes and 44 bed respite and dementia care building; a unit comprising 216 sq m retail; associated hard and soft landscaping and new access and highways.

**Decision date:** 25/07/2012

**Site address:** Land to north of, Town Lane, Southport

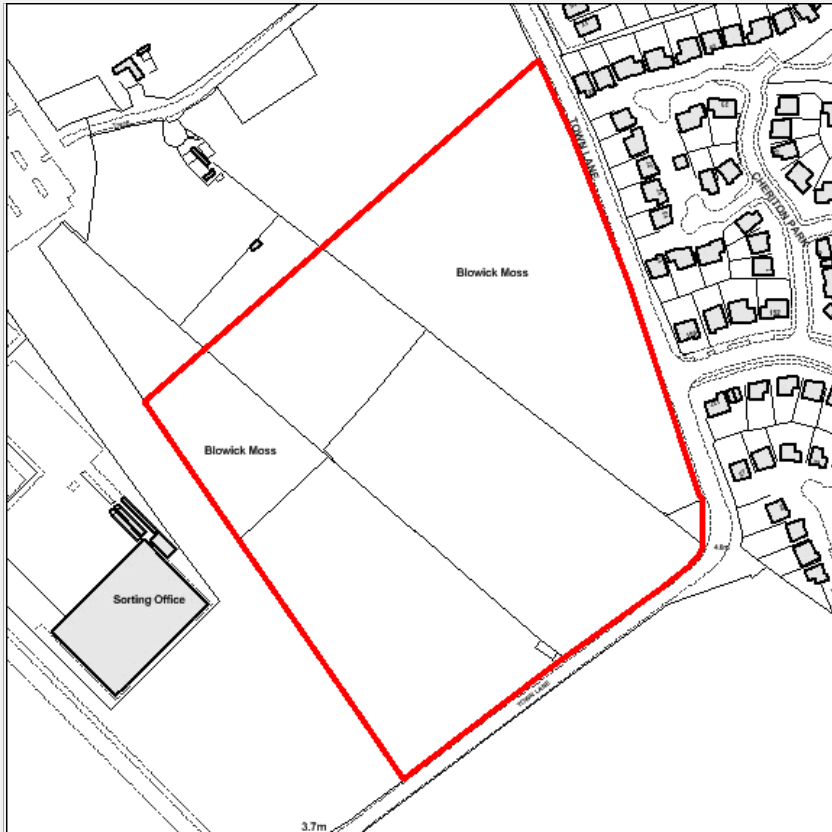
**Development started?** No

**Total dwellings:** 126

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: |    |
| 2017/18: | 46 |
| 2018/19: | 60 |
| 2019/20: | 20 |
| <hr/>    |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| <hr/>    |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site with planning permissions for an extra care facility. The developer has confirmed that the development is a C3 use, and will deliver 30% affordable housing. Phasing assumptions confirmed by the developer.



**Application no.:** S/2013/0850

S0153

Site re-plan to change house types on selected plots and increase the total number of dwellings from 96 to 107 of 96 two and three storey residential dwellings, including layout of open space, landscaping and other associated works after demolition of the existing buildings

**Decision date:** 13/06/2011

**Site address:** St Thomas More Centre,  
Liverpool Road, Southport

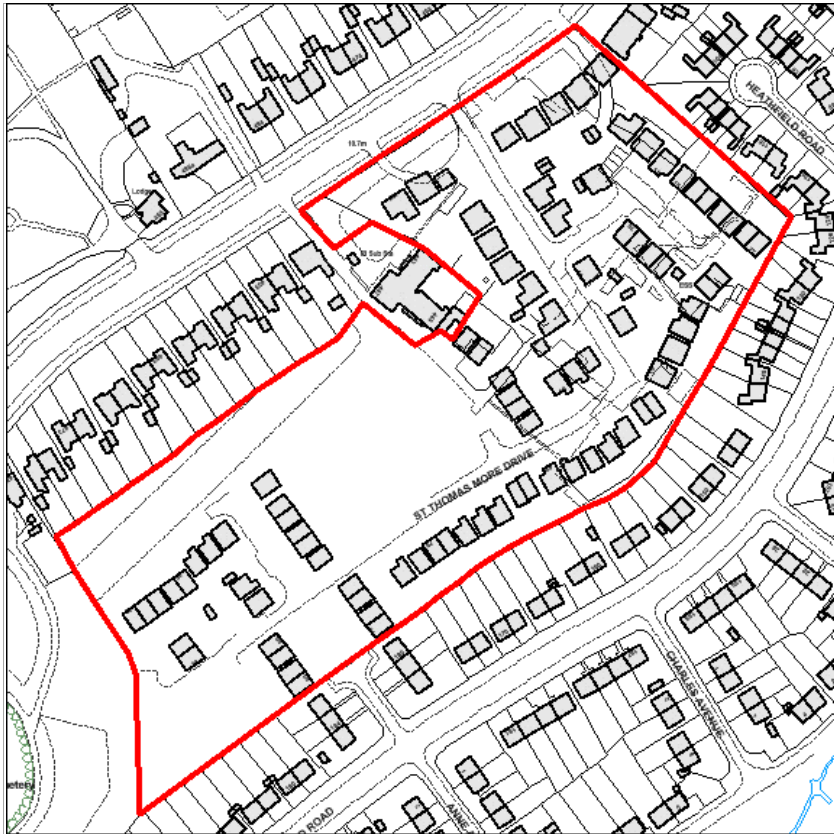
**Development started?** Yes

**Total dwellings:** 107

**Completions to date:** 81

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 26 |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site owned by a national house builder. Currently under construction and now mostly completed. Phasing assumptions confirmed by the developer.

**Application no.:** N/2003/0636

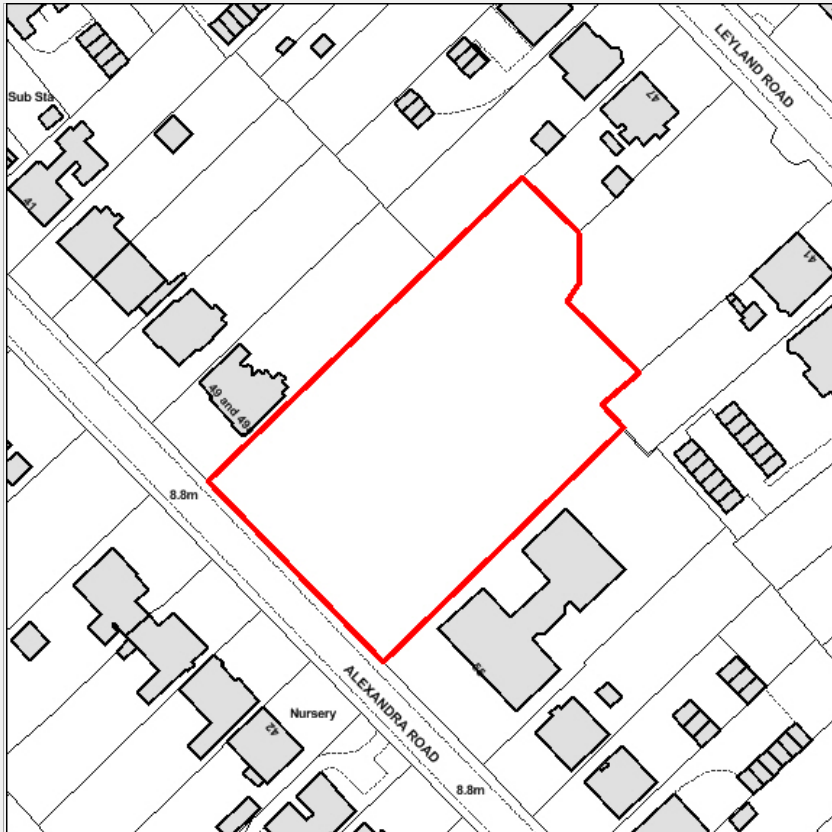
S0120

Erection of a four-storey block of 12 apartments, a part three part four storey block of 11 apartments and a three-storey block of 9 apartments (32 in total) involving layout of car parking after demolition of the existing buildings

**Decision date:** 30/09/2004

**Site address:** 51-53 Alexandra Road, Southport

**Development started?** Yes



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**Total dwellings:** 32

**Completions to date:** 0

**Total demolitions:** 22

**Demolitions to date:** 22

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: | 16 |
| 2021/22: | 16 |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Cleared site with extant planning permission for apartments dating from 2003. However, the market for apartments in this location has deteriorated since then and the site is now stalled. The developer has confirmed their intention to implement the scheme in the medium term. Phasing assumes delivery outside of the 0-5 year period.



**Application no.:** S/2012/0008

S0112

Construction of 110 residential units comprising: 99 two / two-and-a-half storey houses for sale, 1 block containing 8 special care apartments, 2 wheelchair access bungalows and 1 five bedroom supported living house, including the layout of roadways, exte

**Decision date:** 07/03/2013

**Site address:** Land west of Southport & Formby DGH, Town Lane, Southport

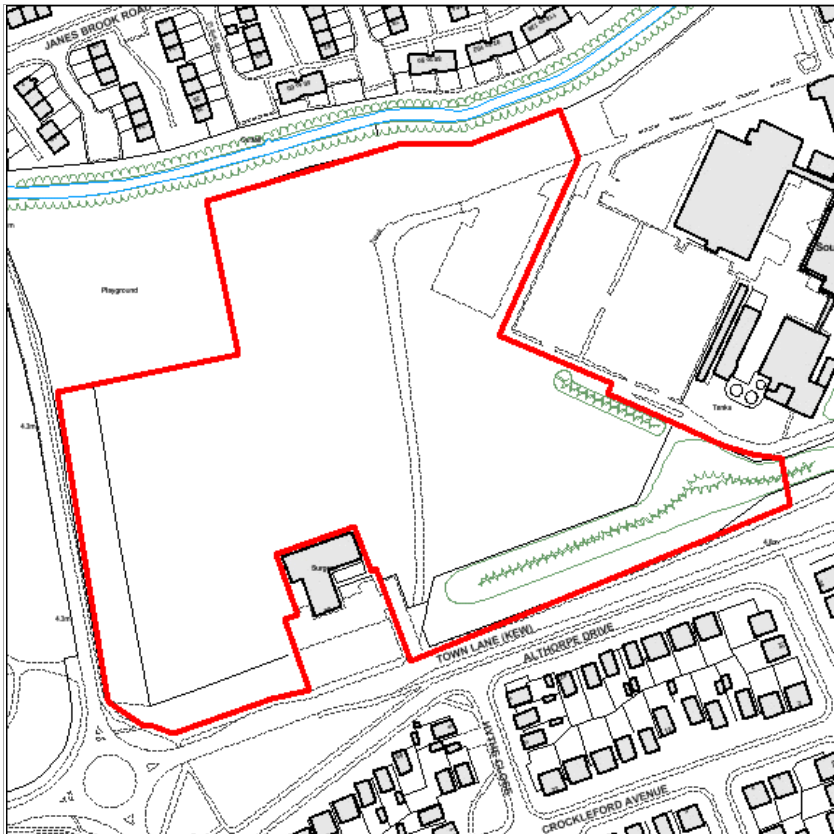
**Development started?** Yes

**Total dwellings:** 110

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |  |
|----------|--|
| 2015/16: |  |
| 2016/17: |  |
| 2017/18: |  |
| 2018/19: |  |
| 2019/20: |  |

|          |    |
|----------|----|
| 2020/21: | 20 |
| 2021/22: | 30 |
| 2022/23: | 30 |
| 2023/24: | 30 |
| 2024/25: |    |

|          |  |
|----------|--|
| 2025/26: |  |
| 2026/27: |  |
| 2027/28: |  |
| 2028/29: |  |
| 2029/30: |  |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie). Site is subject to contamination.

**Conclusion:**

Site owned by a national house builder. Granted planning permission in 2013 but the site has subsequently stalled. Phasing assumes delivery outside of the 0-5 year period.

**Application no.:** S/2008/0038

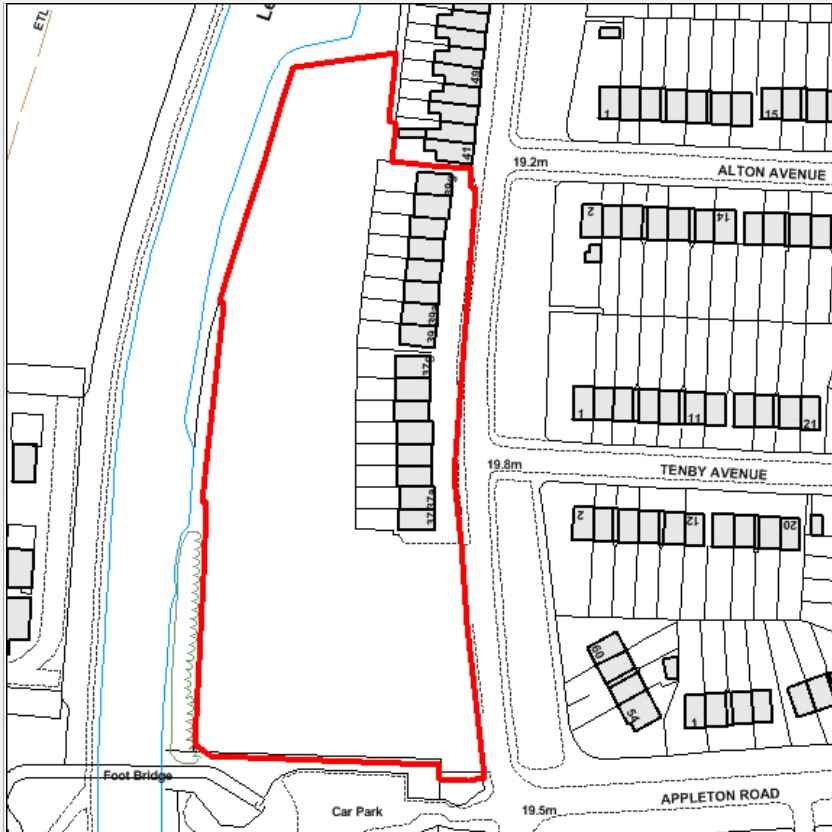
L238

Full planning application for the erection of a two / three storey residential development of 55 units, consisting of 43 town houses and 12 apartments

**Decision date:** 13/03/2008

**Site address:** Site of Sefton Works, Field Lane, Litherland

**Development started?** Yes



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**Total dwellings:** 55

Completions to date: 16

Total demolitions:

Demolitions to date:

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: | 13 |
| 2021/22: | 13 |
| 2022/23: | 13 |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available, albeit not necessarily in the short term.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site was partially developed in 2009-10 following the grant of planning permission. However, the site has subsequently stalled. The developer has confirmed their intention to implement the scheme in the medium term. Phasing assumes delivery outside of the 0-5 year period.

**Application no.:** DC/2014/01509

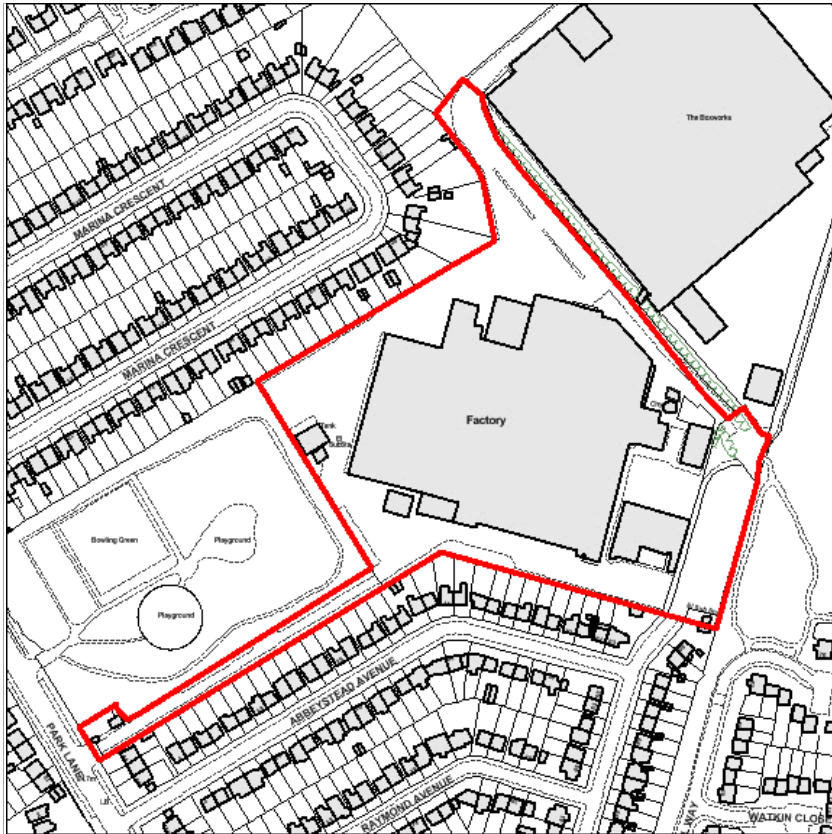
B0135

Residential Development of 96 two storey dwellings, landscaping and all associated works

**Decision date:** 12/12/2014

**Site address:** Crown Speciality Packaging UK, Heysham Road, Netherton

**Development started?** No



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**Total dwellings:** 96

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 36 |
| 2016/17: | 36 |
| 2017/18: | 24 |
| 2018/19: |    |
| 2019/20: |    |

|          |  |
|----------|--|
| 2020/21: |  |
| 2021/22: |  |
| 2022/23: |  |
| 2023/24: |  |
| 2024/25: |  |

|          |  |
|----------|--|
| 2025/26: |  |
| 2026/27: |  |
| 2027/28: |  |
| 2028/29: |  |
| 2029/30: |  |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site owned by a national house builder and has recently been granted full permission. Phasing assumptions confirmed by the developer.

**Application no.:** DC/2014/00980

M0039

Outline planning permission is sought for residential development comprising up to 370 dwellings, including recreational open space; together with landscaping, related infrastructure, and the safeguarding of land for a future railway station

**Decision date:** 14/11/2014

**Site address:** Former Ashworth Hospital Site (South), School Lane, Maghull

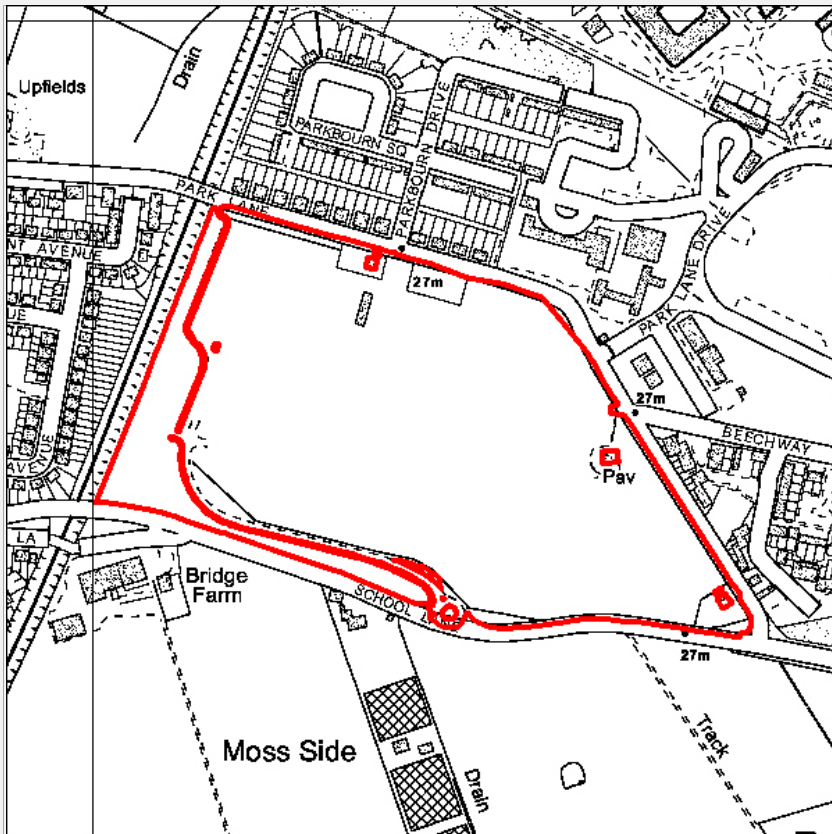
**Development started?** No

**Total dwellings:** 370

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: | 30 |
| 2017/18: | 50 |
| 2018/19: | 50 |
| 2019/20: | 50 |
| 2020/21: | 50 |
| 2021/22: | 50 |
| 2022/23: | 50 |
| 2023/24: | 40 |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site with outline planning permission for housing and has recently been acquired by a national house builder. Phasing assumptions confirmed by the developer.

**Application no.:** S/2013/0245

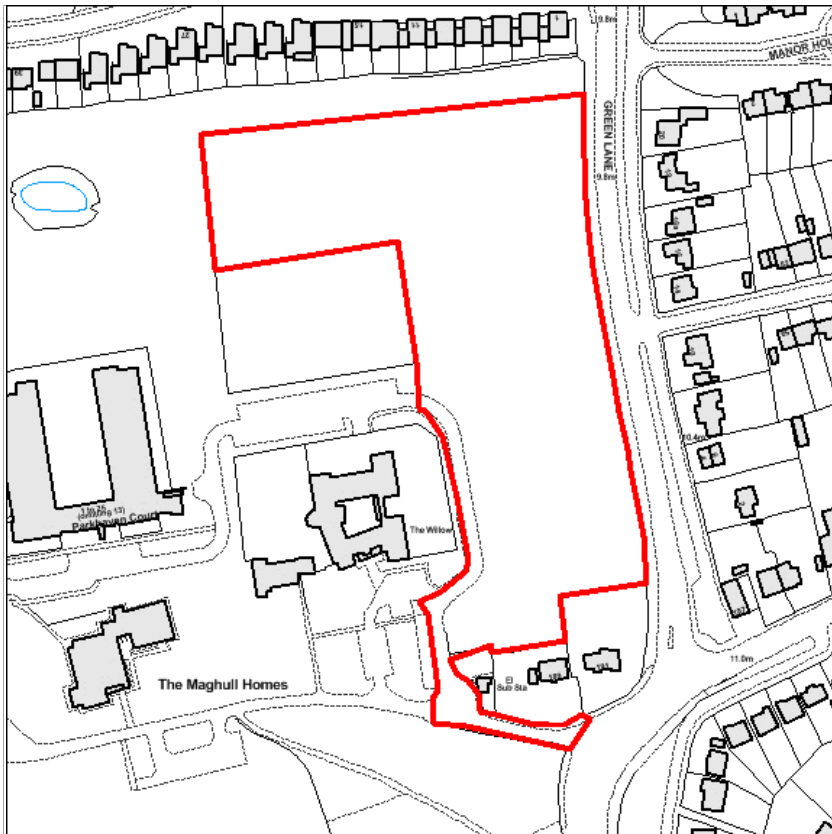
M0030

Outline planning application for the erection of up to 24 dwellings, up to 28 number extra care units and associated parking

**Decision date:** 26/07/2013

**Site address:** Park Haven Trust, Liverpool Road South, Maghull

**Development started?** No



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**Total dwellings:** 52

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: |    |
| 2017/18: | 26 |
| 2018/19: | 26 |
| 2019/20: |    |
| <hr/>    |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| <hr/>    |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site granted outline planning permission in 2013. Assumed to complete in years 3 and 4 to allow for a reserved matters application to be submitted and preparatory works to be undertaken.



**Application no.:** S/2012/0550

M0027

Extra Care Development comprising a four storey 90 unit extra care housing facility with basement parking, a two storey 44 bedroom dementia/respite facility, 15 independent living lodges, landscaping, parking, access and enhancement of existing greenspace

**Decision date:** 08/11/2013

**Site address:** Land to East of, Damfield Lane, Maghull

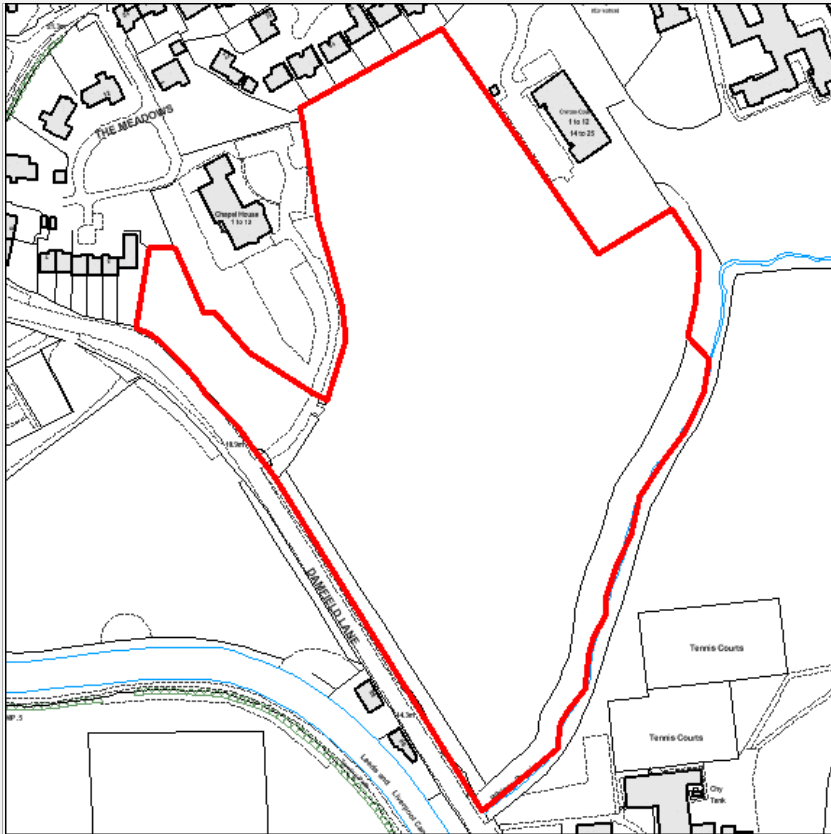
**Development started?** No

**Total dwellings:** 105

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 8  |
| 2016/17: | 63 |
| 2017/18: | 20 |
| 2018/19: | 14 |
| 2019/20: |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site with planning permissions for an extra care facility. The developer has confirmed that the development is a C3 use, and will deliver 30% affordable housing. Phasing assumptions confirmed by the developer.

Application no.: S/2013/0584

F0140

Demolition of the existing Powerhouse building and erection of 75 dwellings with access roads, car parking, landscaping and public open space, including the demolition of 127 & 129 Park Road to facilitate the creation of site access

Decision date: 06/12/2013

Site address: Former Powerhouse, Hoggs Hill Lane, Formby

Development started? Yes

Total dwellings: 75

Completions to date: 15

Total demolitions: 2

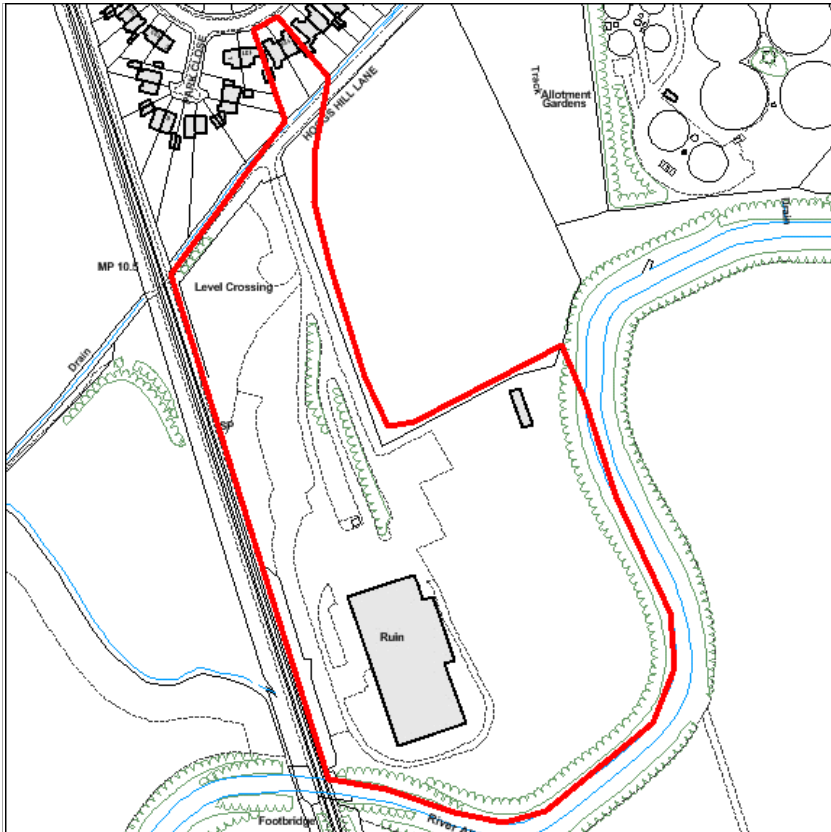
Demolitions to date: 2

Forecast Completions

|          |    |
|----------|----|
| 2015/16: | 33 |
| 2016/17: | 27 |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |

|          |  |
|----------|--|
| 2020/21: |  |
| 2021/22: |  |
| 2022/23: |  |
| 2023/24: |  |
| 2024/25: |  |

|          |  |
|----------|--|
| 2025/26: |  |
| 2026/27: |  |
| 2027/28: |  |
| 2028/29: |  |
| 2029/30: |  |



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Availability:

Site confirmed to be available.

Achievability:

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

Conclusion:

Site owned by a national house builder and currently under construction. Phasing assumptions confirmed by the developer.

**Application no.:** N/2006/0705

F142

layout of a road to the rear and erection of 34 two and a half storey dwellinghouses and 3 two storey dwellinghouses fronting onto Cable Street (total of 37 dwellings) ( Alternative to N/2005/1191 granted 13/01/2006)

**Decision date:** 21/09/2006

**Site address:** Mushroom Farm, 8-10 Cable Street, Formby

**Development started?** Yes

**Total dwellings:** 37

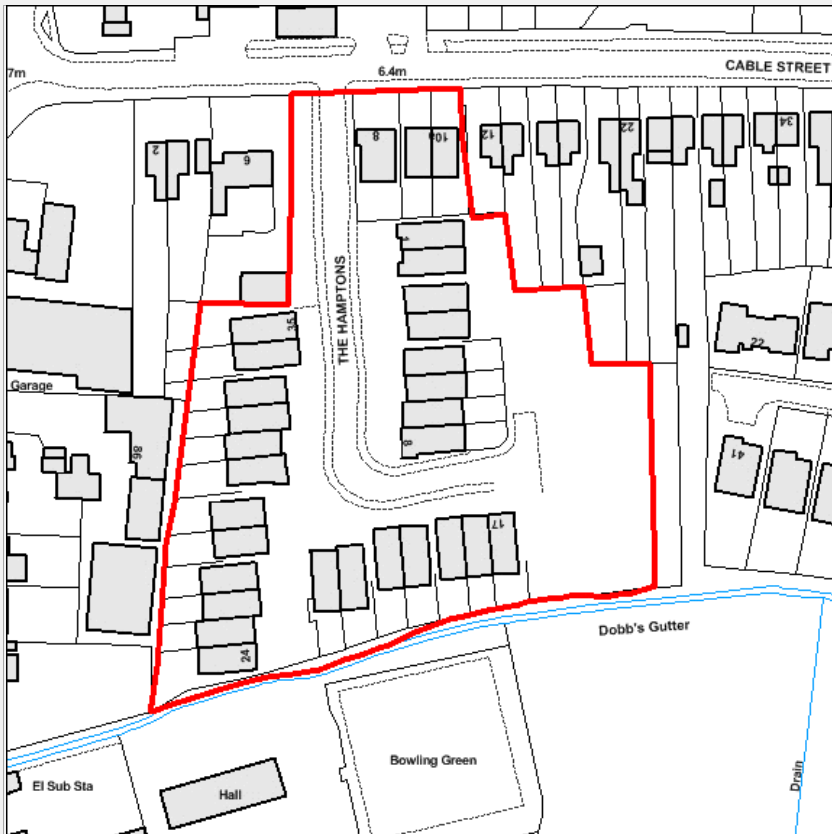
**Completions to date:** 30

**Total demolitions:**

**Demolitions to date:**

**Forecast Completions**

|          |   |
|----------|---|
| 2015/16: |   |
| 2016/17: |   |
| 2017/18: | 7 |
| 2018/19: |   |
| 2019/20: |   |
| <hr/>    |   |
| 2020/21: |   |
| 2021/22: |   |
| 2022/23: |   |
| 2023/24: |   |
| 2024/25: |   |
| <hr/>    |   |
| 2025/26: |   |
| 2026/27: |   |
| 2027/28: |   |
| 2028/29: |   |
| 2029/30: |   |



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**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site owned by a developer. Construction of the remaining 7 units is dependent on sale of the finished properties. Placed in year 4 to allow for this to take place.

**Application no.:** S/2011/1338

C139

Approval of Reserved Matters in respect of - Appearance, Landscaping, Layout and Scale for the construction of a residential development comprising 83 dwellings and associated infrastructure (details pursuant to outline planning permission S/2005/0688 gra

**Decision date:** 08/03/2012

**Site address:** Littlewoods Site, Kershaw Avenue, Crosby

**Development started?** Yes

**Total dwellings:** 83

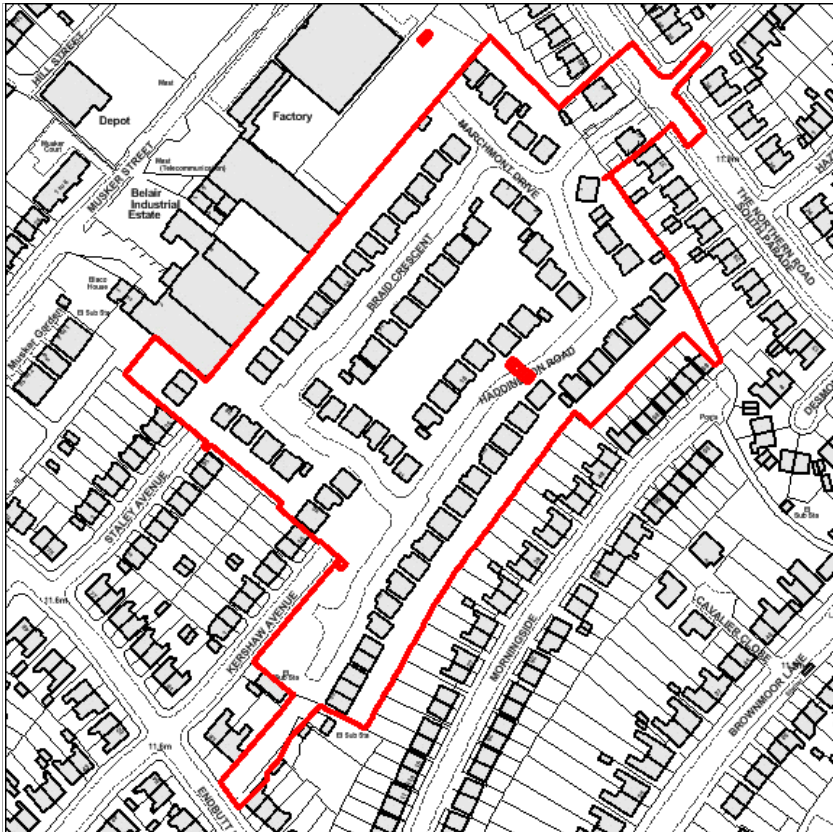
**Completions to date:** 80

**Total demolitions:** 4

**Demolitions to date:** 4

**Forecast Completions**

|          |   |
|----------|---|
| 2015/16: | 3 |
| 2016/17: |   |
| 2017/18: |   |
| 2018/19: |   |
| 2019/20: |   |
| 2020/21: |   |
| 2021/22: |   |
| 2022/23: |   |
| 2023/24: |   |
| 2024/25: |   |
| 2025/26: |   |
| 2026/27: |   |
| 2027/28: |   |
| 2028/29: |   |
| 2029/30: |   |



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**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site owned by a national house builder. Currently under construction and now mostly completed. Phasing assumptions confirmed by the developer.

**Application no.:** DC/2014/00662

C0144

Erection of a three storey development of 46 retirement flats with associated car parking after the demolition of existing buildings and the siting of an electricity sub-station.

**Decision date:** 18/12/2014

**Site address:** 16-24 Moor Lane, Crosby

**Development started?** No

**Total dwellings:** 46

**Completions to date:** 0

**Total demolitions:** 13

**Demolitions to date:** 0

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: | 46 |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| <hr/>    |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| <hr/>    |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |



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**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site recently granted planning permission for retirement apartments. Phasing assumptions confirmed by the developer.



**Application no.:** DC/2014/02135

C0130

Erection of a two storey block of 12 self-contained flats and erection of 4 pairs of semi-detached two storey dwellinghouses

**Decision date:** 05/03/2015

**Site address:** Land Adjacent To 28-30 Hillary Drive, Crosby

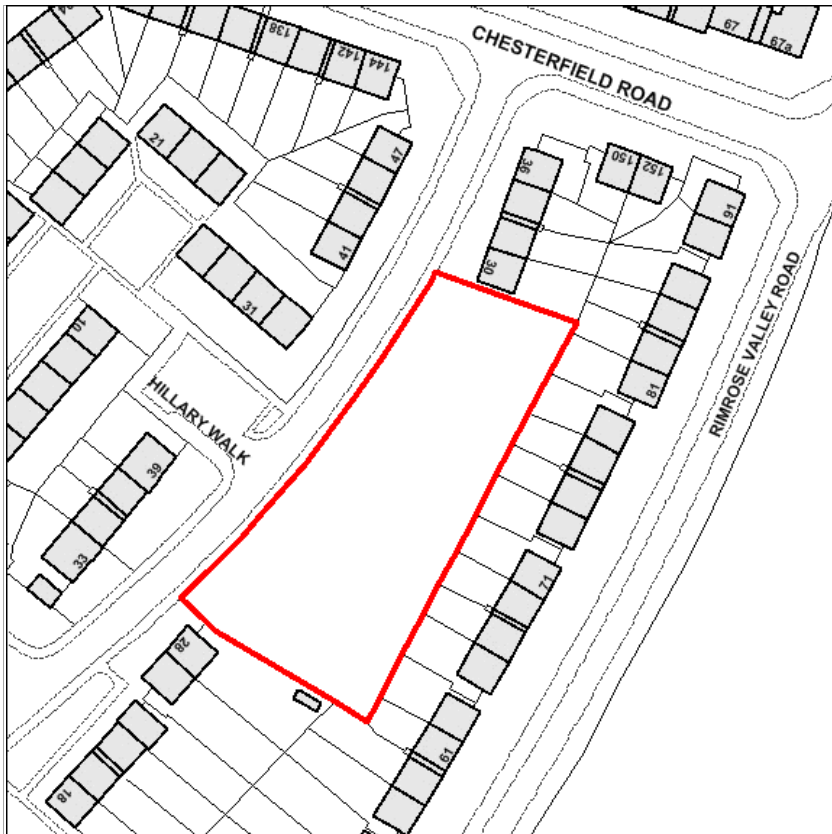
**Development started?** No

**Total dwellings:** 20

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 20 |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site recently acquired from the Council by a local Housing Association. Phasing assumptions confirmed by the Housing Association.

**Application no.:** S/2013/0530

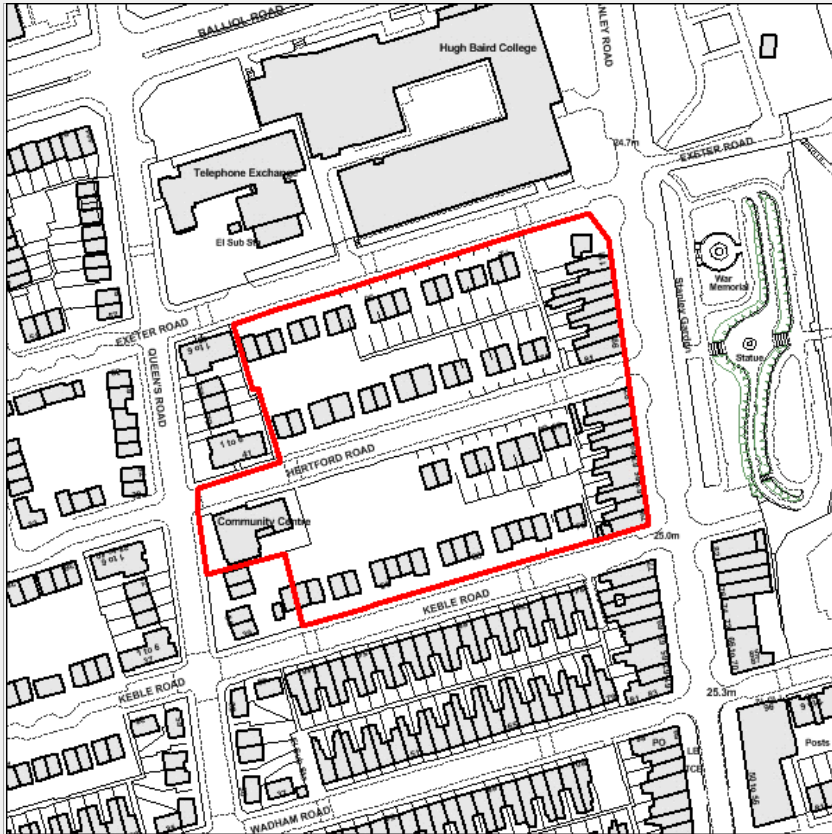
B0111

Erection of 65 dwellings with associated works

**Decision date:** 30/07/2013

**Site address:** Land between Exeter Road and Keble Road, Bootle

**Development started?** Yes



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**Total dwellings:** 65

**Completions to date:** 50

**Total demolitions:** 134

**Demolitions to date:** 134

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 15 |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability (for larger sites) in the 2014 Economic Viability Study (Keppie Massie). Site is supported by grant funding.

**Conclusion:**

Site owned by a national house builder and is in the process of being developed. Phasing assumptions confirmed by the developer.

**Application no.:** S/2012/1279

B89

To alter and extend the existing Block B in order to allow the construction of a nursing home and completion of the apartments

**Decision date:** 05/02/2013

**Site address:** Land, prems between Litherland Rd &, Well Lane, Bootle

**Development started?** Yes



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**Total dwellings:** 54

**Completions to date:** 41

**Total demolitions:** 1

**Demolitions to date:** 1

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: | 13 |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Developer has ceased trading.

**Achievability:**

In an area identified as having positive viability (for larger sites) in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site is partially constructed. However, development has stopped and the developer has ceased trading. Accordingly, it is unclear when the remaining units will be completed. Phasing assumes delivery outside of the 0-5 year period.

**Application no.:** S/2010/1227

B1218

Extension of time to planning application S/2007/0752 for the conversion and extension of existing building to provide retail floorspace and 141 apartments together with 34 new build apartments and 55 houses

**Decision date:** 18/01/2011

**Site address:** Former Johnsons Cleaners, Mildmay Road, Bootle

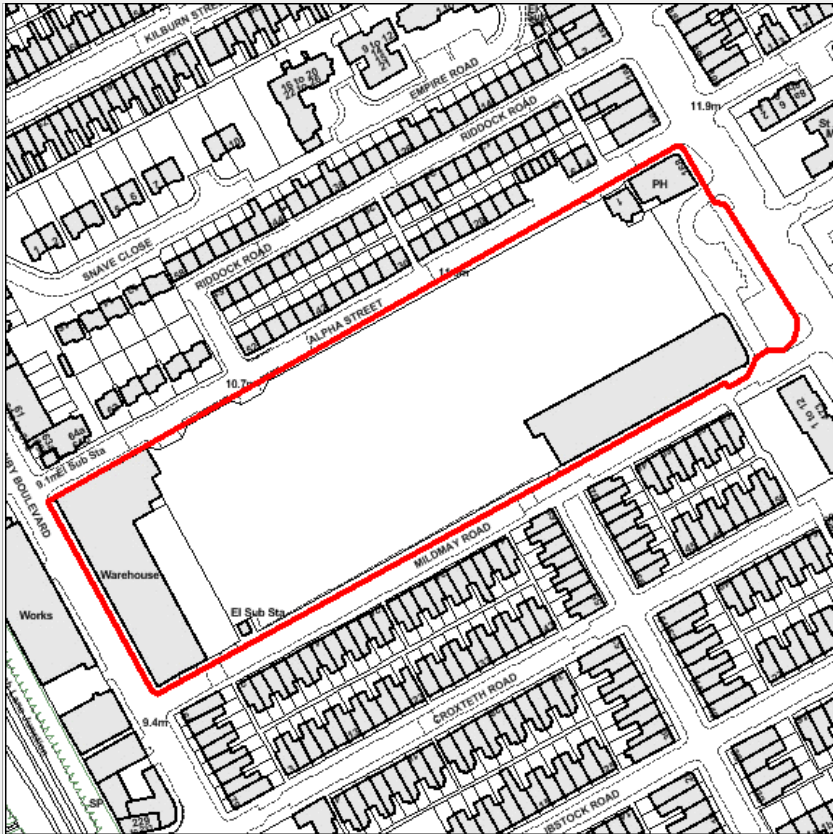
**Development started?** Yes

**Total dwellings:** 230

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: | 70 |
| 2021/22: | 71 |
| 2022/23: | 34 |
| 2023/24: | 30 |
| 2024/25: | 25 |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability (for larger sites) in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site recently acquired by a new owner who has confirmed their intention to implement the consented scheme. Site has been fully remediated. Whilst the site may complete in part within the 0-5 year period, this is uncertain at this stage.

**Application no.:** DC/2014/00605

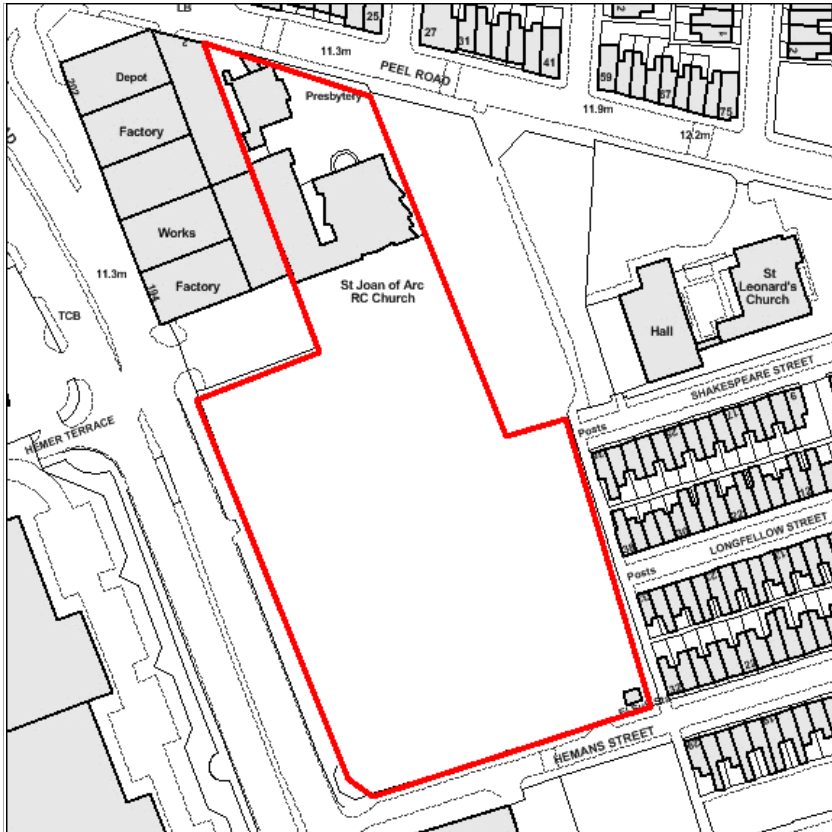
B0144

Residential development comprising the erection of 51 two storey houses with garages and/or parking places, together with associated road and drainage works

**Decision date:** 25/07/2014

**Site address:** Site Of Former St Joan Of Arc R C Church, Peel Road, Bootle

**Development started?** Yes



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**Total dwellings:** 51

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 30 |
| 2016/17: | 21 |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability (for larger sites) in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site currently under construction, and development is well advanced. Phasing assumptions confirmed by the developer.



**Application no.:** DC/2014/00153 + DC/2014/00154

B0140

Demolition of the former Youth Training Centre and the creation of 30 affordable dwellings, access, landscaping and associated infrastructure / Creation of 6 affordable dwellings (reduced from 11 affordable dwellings) and associated access, landscaping and infrastructure (Phase 2 Site B)

**Decision date:** 16/07/2014

**Site address:** Akenside Street Phases 2 and 3, Bootle

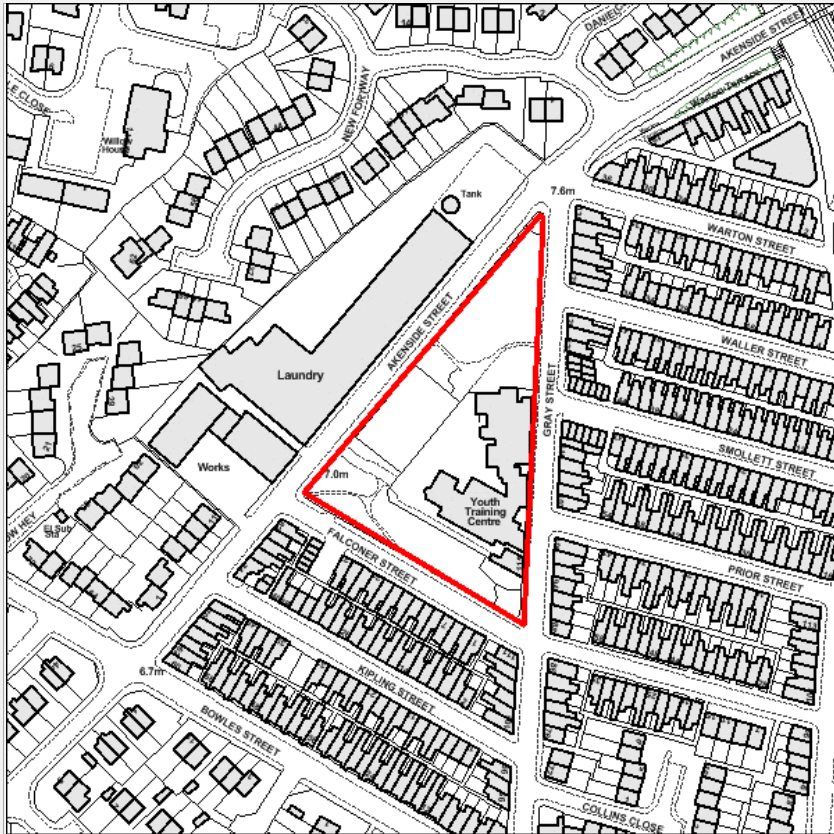
**Development started?** No

**Total dwellings:** 36

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 36 |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability (for larger sites) in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site being built on behalf of a local Housing Association, following completion of the adjacent site. Phasing assumptions confirmed by the developer.

**Application no.:** DC/2013/00046

B0136

Erection of a part three, part four storey block of 12 apartments and three pairs of semi-detached two storey dwellinghouses on the corner of Hawthorne Road and Linacre Lane

**Decision date:** 12/12/2013

**Site address:** Orrell School Phase 3, Linacre Lane, Bootle

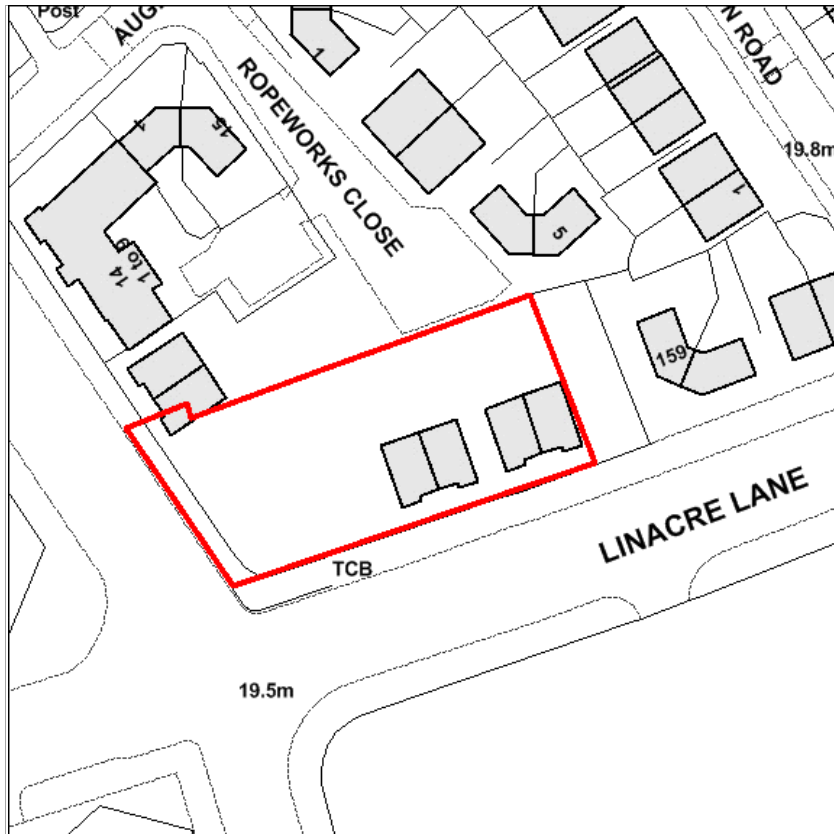
**Development started?** Yes

**Total dwellings:** 18

**Completions to date:** 0

**Total demolitions:**

**Demolitions to date:**



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**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: | 18 |
| 2016/17: |    |
| 2017/18: |    |
| 2018/19: |    |
| 2019/20: |    |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having weaker viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Housing Association scheme currently under construction, and nearing completion.

**Application no.:** DC/2014/02098

trin

Prior notification application for a proposed change of use from office (Class B1) to 180 dwellings comprising: studios, one-bed and two-bed flats (Class C3)

**Decision date:** 29/01/2015

**Site address:** Daniel House, Trinity Road, Bootle

**Development started?**

**Total dwellings:**

**Completions to date:**

**Total demolitions:**

**Demolitions to date:**

**Forecast Completions**

2015/16:

2016/17:

2017/18:

2018/19:

2019/20:

2020/21:

2021/22:

2022/23:

2023/24:

2024/25:

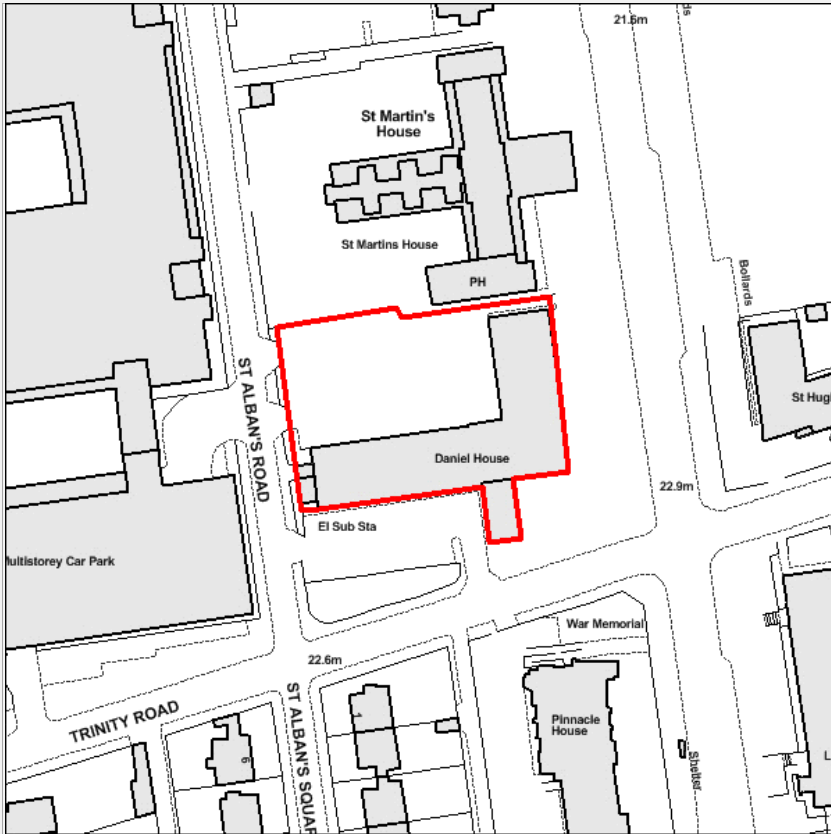
2025/26:

2026/27:

2027/28:

2028/29:

2029/30:



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**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability (for larger sites) in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site owned by a developer, and conversion works have commenced post-1 April 2015. Phasing confirmed by the developer for completion in 2015/16.

**Application no.:** DC/2014/00642

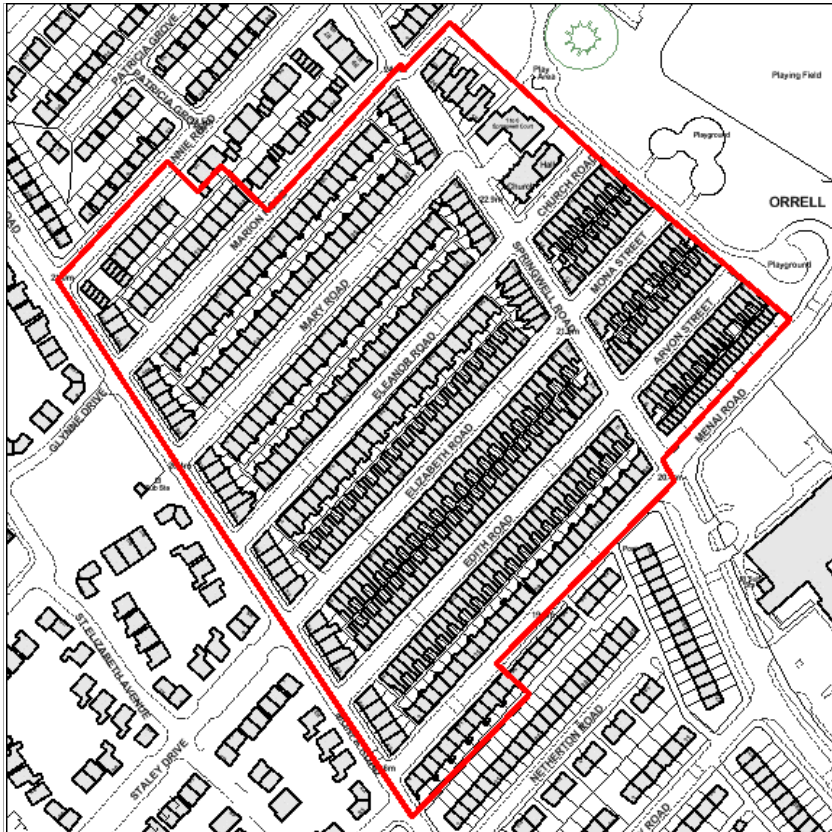
B0115

Demolition of existing buildings and construction of 142 dwellings and associated access roads, landscape works and the provision of public open space.

**Decision date:** 14/07/2014

**Site address:** Land at Menai Rd / Monfa Rd / Springwell Rd, Bootle

**Development started?** Yes



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**Total dwellings:** 142

**Completions to date:** 0

**Total demolitions:** 481

**Demolitions to date:** 141

**Forecast Completions**

|          |    |
|----------|----|
| 2015/16: |    |
| 2016/17: | 35 |
| 2017/18: | 35 |
| 2018/19: | 35 |
| 2019/20: | 37 |
| 2020/21: |    |
| 2021/22: |    |
| 2022/23: |    |
| 2023/24: |    |
| 2024/25: |    |
| 2025/26: |    |
| 2026/27: |    |
| 2027/28: |    |
| 2028/29: |    |
| 2029/30: |    |

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability (for larger sites) in the 2014 Economic Viability Study (Keppie Massie). Site is supported by grant funding.

**Conclusion:**

Site owned by a national house builder and is in the process of being developed. Phasing assumptions confirmed by the developer.



**Application no.:** S/2012/0650

L0013

Erection of 88 two storey dwellinghouses involving the layout of access roads, landscape treatment and associated works

**Decision date:** 20/09/2012

**Site address:** Former Hugh Baird College Site, Church Road, Litherland

**Development started?** Yes



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**Total dwellings:** 88

**Completions to date:** 70

**Total demolitions:**

**Demolitions to date:**

**Forecast Completions**

2015/16: 18

2016/17:

2017/18:

2018/19:

2019/20:

2020/21:

2021/22:

2022/23:

2023/24:

2024/25:

2025/26:

2026/27:

2027/28:

2028/29:

2029/30:

**Availability:**

Site confirmed to be available.

**Achievability:**

In an area identified as having positive viability in the 2014 Economic Viability Study (Keppie Massie).

**Conclusion:**

Site owned by a national house builder. Currently under construction and now mostly completed. Phasing assumptions confirmed by the developer.



## Small sites (less than 20 dwellings) with planning permission for housing at 01-04-2015

| Site ref         | Address   | Planning Application Number | Application description   | PJ Dwellings 2014-15 | PJ Dwellings 2015-16 | PJ Dwellings 2016-17 | PJ Dwellings 2017-18 | PJ Dwellings 2017-18 |
|------------------|---|-----------------------------|---|----------------------|----------------------|----------------------|----------------------|----------------------|
| <b>Southport</b> |   |                             |   |                      |                      |                      |                      |                      |
| S0100            | Site of Royal British Legion, 66 West Street, Southport PR8 1QS | S/2012/1278                 | Erect 5 three-storey dwellings with landscaping reserved  |                      | 5                    |                      |                      |                      |
| S0102            | 249 Liverpool Road, Southport PR8 4PJ                           | N/2009/0306                 | Erect detached 2 storey dwellinghouse   |                      | 1                    |                      |                      |                      |
| S0124            | 18a Shaws Road, Southport PR8 4LP                               | S/2013/0448                 | Alterations to the existing dwelling to form a bungalow together with single storey extension to side (alt to N/2009/0314 granted 15/10/09) | 1                    |                      |                      |                      |                      |
| S0125            | Land to rear of 226-228 Duke Street, Southport PR8 5EN          | S/2009/0864                 | Erect one pair of 2 storey semi-det dwellings after demolition of existing buildings (re-sub of N/2009/0137 R 04/06/09)                     | 2                    |                      |                      |                      |                      |
| S0126            | Broadlands Nursing Home, 90 Windsor Road, Southport PR9 9BY     | S/2009/0766                 | Erect 3 storey block of 8 self-contained flats with accommodation in roofspace after demolition of existing building                        |                      | 8                    |                      |                      |                      |
| S0128            | 31 Rotten Row, Southport PR8 2DA                                | N/2009/0154                 | Erect 4 of 3 storey dwellings after demolition of existing bungalow   | 4                    |                      |                      |                      |                      |
| S0131            | 20-22 Walmer Road, Southport PR8 4ST                            | N/2009/0205                 | Erect 3 detached 2 st houses after demolition of the existing (alt to N/2009/0125 W 18/5/09)  | 2                    |                      |                      |                      |                      |
| S0133            | 58 Palace Road, Southport PR8 2BE                               | S/2012/0305                 | Extension of Time to N/2009/0070 granted 29/04/09 to erect detached 2-storey dwelling in garden adj 58 Palace Road                          |                      | 1                    |                      |                      |                      |
| S0136            | 22 Henley Drive, Southport PR9 7JU                              | S/2012/1107                 | Erect one detached dormer bungalow and one detached two-storey dwelling   | 1                    |                      |                      |                      |                      |
| S0138            | 1a & Bowling Green to rear                                      | S/2013/0057                 | Extension of time to replace S/2009/1167 granted  |                      | 11                   |                      |                      |                      |

|       |   |             |   |   |    |  |  |  |
|-------|---|-------------|---|---|----|--|--|--|
|       | Virginia Street, Southport PR8 6RZ                        |             | 11/02/10 to erect 5 pairs of semi-det dwellings and 1 detached bungalow after demolition of existing premises and outbuildings                                |   |    |  |  |  |
| S0140 | 17 Shore Road, Southport PR8 2PU                          | S/2010/0533 | Erect 5 detached dwellinghouses (three fronting onto Shore Road and two to the rear) after demolition of existing building                                    | 2 |    |  |  |  |
| S0141 | Land at end of Faulkner Close, Southport PR8 3JJ          | S/2010/1268 | Erect two-storey detached dwelling on land off Faulkner Close   | 1 |    |  |  |  |
| S0145 | 61-63 Albert Road, Southport PR9 9LN                      | S/2013/0923 | Extension of time to replace S/2010/0801 granted 20/08/10 to erect 4 and a half storey block of 14 dwellings after demolition of existing detached properties |   | 14 |  |  |  |
| S0148 | Land to the rear of 10 Queens Road, Southport PR9 9HN     | S/2010/1293 | Erect detached bungalow on land adj 10a & 10b Queens Road   | 1 |    |  |  |  |
| S0150 | Land adj 12 Douglas Road, Southport PR9 8LT               | S/2012/0888 | Erect 1 new dwelling (Alterations to approval S/2010/1747)  | 1 |    |  |  |  |
| S0172 | 5a Manchester Road, Southport PR9 9EP                     | S/2012/0375 | Erect detached two-storey dwelling after demolition of existing garage  |   | 1  |  |  |  |
| S0173 | Land at High Park Road, Southport PR9 7QL                 | S/2012/1224 | Approval of Reserved Matters in relation to appearance, landscaping and scale pursuant to S/2012/0306 (OUT) granted 07/06/12 to erect 12 dwellings            |   | 12 |  |  |  |
| S0178 | 144 Janes Brook Road, Southport PR8 6NA                   | S/2012/0837 | Erect two-storey end of terrace dwelling  |   | 1  |  |  |  |
| S0181 | Rear of 14-16 Shaws Road, Southport PR8 4LP               | S/2012/1458 | Erect one detached bungalow after demolition of existing buildings  | 1 |    |  |  |  |
| S0182 | Land adj 30 Shore Road, Southport PR8 2PX                 | S/2013/0104 | Erect one detached 2-storey dwelling and new vehicular access to front after demolition of existing detached garage   |   | 1  |  |  |  |
| S0187 | London Hotel, 14 Windsor Road, Southport PR9 0SQ          | S/2013/0106 | Erect four pairs of semi-detached two-storey dwellings (8 total) after demolition of existing building  |   | 8  |  |  |  |
| S0188 | Land to rear of 11-15a Devonshire Road, Southport PR9 7BX | S/2013/0254 | Erect two dwellings   |   | 2  |  |  |  |
| S0189 | 141b Hart Street, Southport PR8                           | S/2013/0168 | Erect three pairs of semi-detached two-storey dwellings   |   | 7  |  |  |  |

|       |   |               |   |    |    |   |  |  |
|-------|---|---------------|---|----|----|---|--|--|
|       | 6DY   |               | and one detached two-storey dwelling after demolition of existing buildings   |    |    |   |  |  |
| S0191 | Land adjacent to 11 St Annes Road, Southport PR9 9TQ    | S/2013/0666   | construct 10 dwellings and new access from Fylde Road   |    | 10 |   |  |  |
| S0192 | Plough Hotel Rufford Road, Southport PR9 8JH            | S/2013/0766   | Erect 14 dwellings with associated landscaping works and access road after demolition of existing premises  | 14 |    |   |  |  |
| S0193 | 12 Saunders Street, Southport PR9 0HP                   | S/2013/0959   | Erect a block of 6 self-contained flats   | 1  |    |   |  |  |
| S0194 | Land adj 85 Pinfold Lane, Southport PR8 3QL             | DC/2013/00095 | Erect one pair of semi-detached houses  | 2  |    |   |  |  |
| S0195 | 84 High Park Road, Southport PR9 7BY                    | DC/2013/00386 | Erect one and a half storey dwelling (ground floor and part first floor) replacing former outbuilding attached to existing prems                        |    | 1  |   |  |  |
| S0196 | 66 Folkestone Road, Southport PR8 5PH                   | DC/2013/00333 | Erect 9 dwellings with new access onto Folkestone Road after demolition of former medical centre  |    | 9  |   |  |  |
| S0197 | 157 Hart Street, Southport PR8 6DY                      | DC/2013/00247 | Erect detached building to be used as self-contained dwelling at rear of dwellinghouse after demolition of existing garages and carports (see comments) |    | 1  |   |  |  |
| S0199 | Land to rear of 35-39 Linaker Street, Southport PR8 8RP | DC/2013/00297 | Erect block of 4 linked two-storey dwellings with associated car park and landscaping after demolition of existing warehouse buildings                  | 4  |    |   |  |  |
| S0200 | 29 Selworthy Road, Southport PR8 2NS                    | DC/2013/00109 | Erect detached two-storey dwelling with accommodation in roofspace after demolition of existing detached dwelling                                       |    | 1  |   |  |  |
| S0210 | 20 Granville Road, Southport PR8 2HU                    | DC/2014/00606 | Outline application for the erection of 2 detached two storey dwellinghouses after demolition of existing bungalow                                      |    |    | 2 |  |  |
| S0211 | 113A Norwood Road, Southport PR8 6EL                    | DC/2013/00634 | Construction of 14 dwellings following demolition of existing commercial unit at 113a Norwood Rd and existing residential properties 115-117 Norwood Rd |    | 14 |   |  |  |
| S0212 | 48 Trafalgar Road, Southport PR8 2NP                    | DC/2014/00657 | Erection of a detached two storey dwelling with accommodation in the roofspace after demolition of the existing property                                | 1  |    |   |  |  |

|       |   |               |  |   |    |   |  |  |
|-------|---|---------------|--|---|----|---|--|--|
| S0213 | 45A Everton Road, Southport PR8 4BT                         | DC/2014/00906 | Erection of one detached two storey dwellinghouse after demolition of existing building  |   | 1  |   |  |  |
| S0214 | Land adj 31A Devonshire Road, Southport PR9 7BZ             | DC/2014/01011 | Erection of a detached two storey dwelling   |   | 1  |   |  |  |
| S0215 | 31A Trafalgar Road, Southport PR8 2HF                       | DC/2014/01159 | Outline planning application for the erection of a detached dwelling   |   |    | 1 |  |  |
| S0216 | 3 Trafalgar Road, Southport PR8 2EA                         | DC/2014/00714 | Erection of a detached two storey dwelling incorporating a new vehicular access onto Trafalgar Road  |   | 1  |   |  |  |
| S0217 | 65 Leyland Road, Southport PR9 9JA                          | DC/2014/01396 | Outline Planning Permission with some matters reserved for the erection of a detached dwelling in the rear garden area of the existing property    |   |    | 1 |  |  |
| S0218 | Rear of 58-60 Brook Street, Southport PR9 8HY               | DC/2014/01270 | Construction of 14 dwellings and layout of a new access road after demolition of the existing industrial buildings and number 56 Brook Street      |   | 14 |   |  |  |
| S0219 | 140 Scarisbrick New Road, Southport PR8 6LR                 | DC/2014/01546 | Erection of a detached two storey dwelling to rear of existing residential property  |   | 1  |   |  |  |
| S0220 | 78 Knob Hall Lane, Southport PR9 9QS                        | DC/2014/01217 | Erection of a detached dwelling on land to the side of 78 Knob Hall Lane   |   | 1  |   |  |  |
| S0222 | Rear of F 47-49 Guildford road, Southport PR8 4JU           | DC/2014/01363 | Erection of two three bedroomed semi-detached houses and two three bedroomed detached houses on land to the rear of 47-49 Guildford Road Southport | 4 |    |   |  |  |
| S0223 | Rear of 26 Trafalgar Road, Southport PR8 2EN                | DC/2014/02146 | Erection of one detached dormer bungalow   |   | 1  |   |  |  |
| S0224 | Land to be severed from 100 Station Road, Southport PR8 3HL | DC/2014/01583 | Erection of a two storey dwellinghouse after demolition of the existing double garage  |   | 1  |   |  |  |
| S1141 | Land at Warren Court, Southport PR8 1RU                     | S/2013/0351   | Erect 8 dwellings  |   | 8  |   |  |  |
| S280  | Rear of 33 Guildford Road, Southport PR8 4JU                | 91/0319/N     | Erect one detached two-storey dwellinghouse  | 1 |    |   |  |  |
| S446  | 8 Oxford Road, Southport PR8 2JR                            | N/2006/0304   | Erect 2,3,4 storey block of 12 flats after demolition of existing bldg   |   | 12 |   |  |  |
| S489  | 34 Alexandra Road, Southport PR9 9HH                        | N/2006/0963   | Erect part-3, part-4 storey block of 7 self-contained flats with block of 7 garages after demolition of existing bldg                              |   | 7  |   |  |  |

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| S496    | Site of 12-14 Sandon Road, Southport PR8 4QH                     | S/2013/0874   | Erect one detached bungalow and 4 detached two-storey dwellings with accom in roofspace  |    | 5 |  |  |  |  |
| S521    | Site of 21 Argyle Road, Southport PR9 9LG                        | 98/0549/N     | Erect four-storey block of 7 flats & 10 garages after demolition of existing   |    | 7 |  |  |  |  |
| S986    | Land & premises known as 141a Boundary Street, Southport PR8 5EH | N/2004/0481   | Erect two detached 2 storey dwellings & detached garages after demolition of existing bldgs  | 2  |   |  |  |  |  |
| S987    | Land to rear of 17 Clifford Road, Southport PR8                  | N/2004/0672   | Erect one detached 2 storey dwellinghouse with accommodation in roof space   | 1  |   |  |  |  |  |
| ASHL12A | 12A Ashley Road, Southport PR9 ORB                               | DC/2014/02164 | Change of use and conversion of an existing vacant retail unit into a one bedroom residential dwelling.  |    | 1 |  |  |  |  |
| ashl20  | 20 Ashley Road, Southport PR9 ORB                                | S/2013/0899   | Change of use from retail to one self-contained flat on the ground floor involving alts to elevations  | 1  |   |  |  |  |  |
| ashl3   | 3A-3D Ashley Road, Southport PR9 ORB                             | DC/2014/01570 | Change of use of retail units to residential with the addition of one self contained flat involving alterations to the elevations                      | 1  |   |  |  |  |  |
| augh4   | 4b Aughton Road, Southport PR8 2AF                               | S/2009/0690   | convert building to residential  | 1  |   |  |  |  |  |
| augh44a | 44 Aughton Road, Southport PR8 2AL                               | DC/2013/00329 | Conversion of existing photography shop to two self-contained apartments on the ground and first floor, including a first floor extension to the front | 1  |   |  |  |  |  |
| avon52  | 52 Avondale Road North, Southport PR9 ONE                        | DC/2014/01166 | Change of use No.52 Avondale Road North (C1) and 99 Leyland Road (C3) to a residence for the Daughters of Charity of St Vincent De Paul (Sui-Generis)  | -1 |   |  |  |  |  |
| bath54  | 54 Bath Street, Southport PR9 ODH                                | S/2013/0651   | convert office premises to HMO and ss extension to side  | 1  |   |  |  |  |  |
| bath63a | 63 Bath Street, Southport PR9 ODN                                | N/2008/0866   | convert 3 flats to 6 self-contained flats  | 3  |   |  |  |  |  |
| bedf147 | 147 Bedford Road, Southport PR8 4HR                              | S/2013/0248   | Lawful Development Certificate for continuation of use of premises as single dwelling  | -1 |   |  |  |  |  |
| bedf23a | 23 Bedford Road, Southport PR8 4HY                               | S/2011/1496   | convert existing cafe to residential together with a single storey extension to the front and side of the premises                                     | 1  |   |  |  |  |  |
| brid10  | 10 Bridge Street, Southport PR8                                  | S/2011/1494   | Change of use from single dwelling to 2 self-contained   | 1  |   |  |  |  |  |



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|---------|---|---------------|---|----|----|----|--|--|
|         | 1BW   |               | flats   |    |    |    |  |  |
| CAMB4A  | 4 Cambridge Road, Southport PR9 9NG                       | DC/2014/02011 | Conversion of existing hotel into 11 self-contained two bedroom apartments including alterations to the elevations  |    |    | 11 |  |  |
| cham30a | 30 Chambres Road, Southport PR8 6JQ                       | S/2013/0381   | convert existing 5 self-contained flats into 6 self-contained flats   | 4  |    |    |  |  |
| ches114 | 20-22 Old Park Lane & 114 Chester Road, Southport L20 3EF | S/2013/0961   | Change of use of part of ground floor and part of first floor from office to one self-contained apartment   | 1  |    |    |  |  |
| coro10  | 10 Coronation Walk, Southport PR8 1RE                     | DC/2014/00340 | Change of use vacant amusement arcade, cafe and flat to: gf retail units and hotel reception, first, second and third floor to hotel accomm   | -1 |    |    |  |  |
| CROW18  | Crown Inn 18-20 Coronation Walk, Southport PR8 1RE        | DC/2014/01554 | Conversion of existing public house to restaurant at ground floor level, seven self-contained apartments at first, second floor and loft levels   |    | 7  |    |  |  |
| crow2   | 2A Crown Buildings Liverpool Road, Southport PR8 3BY      | DC/2014/00673 | Change of use from Office accommodation to retail at ground and residential above, together with the installation of a new shop front   | 1  |    |    |  |  |
| duke33  | 33 Duke Street, Southport PR8 1JE                         | DC/2014/00665 | Change of use from a single private dwellinghouse to two self-contained flats involving alterations to the elevations   | 1  |    |    |  |  |
| DUKE50  | 50 Duke Street, Southport PR8 1JE                         | DC/2014/01936 | Conversion of first floor flat into two flats   |    | 1  |    |  |  |
| east66  | 66 Eastbank Street, Southport PR8 1ES                     | S/2013/0546   | convert first and second floors to 2 self-contained flats and install new shop front  | 2  |    |    |  |  |
| east76  | 76 Eastbank Street, Southport PR8 1EF                     | N/2008/0384   | convert to form 3 self-contained flats alts to shop front to create new access to flats   | 2  |    |    |  |  |
| glou11  | Eskdale, 11 Gloucester Road, Southport PR8 2AU            | S/2011/1218   | Extension of time to N/2009/0020 G 09/04/09 for change of use of former Nursing Home to 10 self-contained flats involving part-single, part 3 storey extension to rear after demolition of existing extns | 10 |    |    |  |  |
| gord12  | 12 Gordon Street, Southport PR9 0BG                       | S/2012/1167   | Certificate of lawfulness for use of dwelling as a House in Multiple Occupation for 8 tenants   | 0  |    |    |  |  |
| gord22  | 22-24 Gordon Street, Southport PR9 0BG                    | S/2013/0682   | convert existing building into apartments (generally as plan app S/2012/1418 W 25/02/13)  |    | 12 |    |  |  |

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|---------|---|---------------|---|----|---|--|--|--|
| high84  | 84 High Park Road, Southport PR9 7BY                      | S/2012/0571   | convert to 6 self-contained flats involving external alts and layout of car park  | 6  |   |  |  |  |
| hogh    | 32 Hoghton Street, Southport PR9 0PA                      | DC/2014/00746 | Change of use of rear annex from residential (Class C3) to office use (Class B1)  | -1 |   |  |  |  |
| king72  | 72 King Street, Southport PR8 1LG                         | DC/2014/00978 | Prior notification for change of use from offices to apartments   |    | 5 |  |  |  |
| king78  | 78-80 King Street, Southport PR8 1LG                      | S/2012/1419   | Change of use from guest house to single dwelling   | 1  |   |  |  |  |
| lanc6   | 6 Lancaster Road, Southport PR8 2LE                       | S/2012/0833   | LDC pursuant to N/2009/0226 for confirmation that the works have commenced prior to expiry of approval                              | 0  |   |  |  |  |
| leam7   | 7 Leamington Road, Southport PR8 3LB                      | DC/2014/01391 | Change of Use from dental surgery back to semi-detached dwellinghouse involving alterations to the elevations                       | 1  |   |  |  |  |
| leth39  | 39 Lethbridge Road, Southport PR8 6JA                     | S/2013/1089   | Change of use to a residential family assessment unit (mother & baby unit)  | -1 |   |  |  |  |
| lina35  | Land to rear 35, 37, 39 Linaker Street, Southport PR8 6RP | S/2012/0733   | convert premises to create a 2 storey town house and 3 self-contained flats after demolition of existing single storey outbuildings | 4  |   |  |  |  |
| live3   | 3 Liverpool Road, Southport PR8 4AT                       | S/2013/0510   | convert first and second floors to 2 self-contained flats   | 2  |   |  |  |  |
| live630 | 630 Liverpool Road, Southport PR8 3BH                     | S/2011/1113   | Change of use of ground floor from social club to restaurant/wine bar and 1st & 2nd floors to self-contained apartment              | 1  |   |  |  |  |
| lord203 | 203-205 Lord Street, Southport PR8 1PF                    | S/2012/1351   | convert vacant floorspace above shop to 5 self-contained flats  | 5  |   |  |  |  |
| lord225 | 225-233 Lord Street, Southport PR8 1PS                    | S/2013/0054   | convert first and second floor to 6 apartments  | 6  |   |  |  |  |
| lord335 | 335-337 Lord Street, Southport PR8 1NH                    | S/2013/0576   | convert first and second floors to create 4 apartments inc alterations to elevations  | 4  |   |  |  |  |
| lord399 | 399 Lord Street, Southport PR9 0AS                        | S/2013/0025   | Change of use to one self-contained flat on the first and second floor outrigger  | 1  |   |  |  |  |
| lord435 | 435-437 Lord Street, Southport PR9 0AQ                    | S/2012/0984   | Change of use of first, second and third floors to 3 self-contained flats, inc alts to side and rear elevations                     | 3  |   |  |  |  |

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|---------|---|---------------|--|----|---|--|--|--|
| lord581 | 581a Lord Street, Southport PR9 0BB   | S/2013/0444   | convert existing storeroom/showroom to residential   | 1  |   |  |  |  |
| lord86  | 86-88 Lord Street, Southport PR8 1JR  | DC/2014/00196 | Approval of Details reserved by Conditions 8a b, 9, 10a and 11a pursuant to planning application S/2013/0882 approved 19/12/2013                             | 7  |   |  |  |  |
| MANC57A | 57 Manchester Road, Southport PR9 9BN   | DC/2014/02207 | Change of use Medical Centre to four self-contained flats including the erection of a single storey extension to the side elevation. (Resub DC/2014/01774 W) |    | 4 |  |  |  |
| nevi14  | 14-22 Nevill Street, Southport PR9 0BX  | S/2011/0291   | convert commercial space on first and second floors to 4 self-contained flats  | 4  |   |  |  |  |
| nevi27  | 27 Nevill Street, Southport PR9 0DE   | N/2008/0779   | convert 1st floor to form 2 self-contained flats and install new shop front  | 2  |   |  |  |  |
| nevi54  | 54-56 Nevill Street, Southport PR9 0DR  | DC/2014/00043 | Conversion of the first floor to residential together with the erection of a two storey extension to the rear of the property                                | 1  |   |  |  |  |
| pala45  | 45 Palace Road, Southport PR8 2BY   | DC/2014/01640 | Conversion of existing detached garage to provide ancillary residential accommodation  | 1  |   |  |  |  |
| PARK42  | 42 Park Avenue, Southport PR9 9EF   | DC/2014/01781 | Conversion of the basement to one self-contained flat incorporating an access ramp to the side of the building   |    | 1 |  |  |  |
| PORT202 | Rear of 202 Portland Street, Southport PR8 6LU  | DC/2014/02008 | Conversion of existing single storey building to a detached dormer bungalow  |    | 1 |  |  |  |
| port7   | 7 Portland Street, Southport PR8 1LJ  | DC/2013/00546 | Change of Use of the premises from residential (C3) to a 5 bed childrens home (C2)   | -1 |   |  |  |  |
| prin44a | 44 Princes Street, Southport PR8 1EQ  | DC/14/00232   | Conversion of the existing dwellings to a cattery with ancillary accommodation   | -1 |   |  |  |  |
| sand111 | Pumping Station & Electricity Sub-Station, adj 111a Sandbrook Road, Southport PR8 3JF | S/2012/0625   | convert former pump house to form 1 dwelling inc 1st floor extension at rear   | 1  |   |  |  |  |
| saun8   | 8 Saunders Street, Southport PR9 0HP  | DC/2014/00631 | Conversion of the existing basement to two self contained flats (resubmission of planning application DC/2013/00306 refused 06/01/14)                        | 2  |   |  |  |  |
| seft11a | 11A Sefton Street, Southport PR8  | DC/2014/01206 | Conversion of Coach House to provide ancillary   | 1  |   |  |  |  |

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|               | 6SL   |               | accommodation to 13A Sefton Street, Southport   |    |    |  |  |  |
| shak53        | 53-55 Shakespeare Street, Southport PR8 5AB | DC/2014/00637 | Conversion of the first floor premises to two self-contained flats  | 2  |    |  |  |  |
| stat108       | 108-110 Station Road, Southport PR8 3HL     | N/2008/0460   | Change of use of flats at first floor to A3/A4 - (Restaurant/Wine Bar).   | -1 |    |  |  |  |
| stat24a       | 24 Station Road, Southport PR8 3HS          | S/2012/1416   | convert existing premises to private dwellinghouse  | 1  |    |  |  |  |
| talb32a       | F2 32 Talbot Street, Southport PR8 1HS      | DC/2014/01731 | Continuation of use as two self-contained flats   |    | 1  |  |  |  |
| uppe120       | 120 Upper Aughton Road, Southport PR8 5EX   | DC/2014/01161 | Conversion of single dwellinghouse to two self-contained flats with single storey extension to rear.  | 1  |    |  |  |  |
| <b>Formby</b> |   |               |   |    |    |  |  |  |
| F0110         | 36 Argarmeols Road, Formby L37 7DA          | S/2012/1170   | Erect detached dwellinghouse and detached garage to rear (alt to S/2012/0133 W 19/04/12)  | 1  |    |  |  |  |
| F0117         | 43 & 43a Freshfield Road, Formby L37 3HL    | S/2012/1053   | Erect two detached dwellings after demolition of the existing house and attached bungalow at no. 43 and no. 43a Freshfield Road   |    | 2  |  |  |  |
| F0129         | Former Dairy, 5 Marsh Brows, Formby L37 3PD | S/2013/0112   | Extension of time to replace S/2009/1011 granted 09/02/10 to erect 4 storey block of 12 flats and associated car parking & amenity space after demolition of existing buildings |    | 12 |  |  |  |
| F0130         | 86 Victoria Road, Formby L37 1LP            | DC/2014/01008 | Erection of 2 detached dwellinghouses with accommodation in the roof space and one detached double garage   |    | 2  |  |  |  |
| F0136         | 2 Lighthouse Lane, Formby L37 6BY           | S/2011/0122   | Erect 2-storey detached dwelling with dormer to front at 1st floor level after demolition of existing dwelling  |    | 1  |  |  |  |
| F0137         | 32 Timms Lane, Formby L37 7DN               | S/2012/1229   | Erect detached dwelling (alt to S/2009/0406 granted 23/07/09)   | 1  |    |  |  |  |
| F0141         | Land adj 52 Freshfield Road, Formby L37 3HW | S/2011/1572   | Erect detached 2 storey dwelling with accommodation in roofspace on land to be severed from 52 Freshfield Road (alt to S/2011/1029 granted 22/09/11)                            |    | 1  |  |  |  |
| F0146         | 81 Church Road, Formby L37 3NB              | S/2011/0687   | Erect 2-storey block of 8 self-contained flats  | 1  |    |  |  |  |

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|-------|--|---------------|--|----|----|---|--|--|
| F0148 | 6-8 York Road, Formby L37 8BA                | S/2012/0277   | Erect part two, part three-storey block of ten self-contained flats with detached single storey block of ten garages to rear                             | 10 |    |   |  |  |
| F0149 | Garden to rear 54 Elson Road, Formby L37 2EQ | S/2011/1521   | Erect detached two-storey dwelling with accommodation in roofspace and basement area   |    | 1  |   |  |  |
| F0156 | 5 Argarmeols Road, Formby L37 7BU            | S/2012/1360   | Erect four-bed detached dwelling after demolition of existing detached bungalow  |    | 1  |   |  |  |
| F0157 | 24 Rimmers Avenue, Formby L37 7AR            | DC/2014/01744 | Erection of a detached dormer bungalow after demolition of existing dwelling   |    |    | 1 |  |  |
| F0160 | Firwood Alexandra Road, Formby L37 2ED       | DC/2013/00636 | Erection of a detached dwellinghouse including accom in the roofspace (alt to S/2012/1429)   | 1  |    |   |  |  |
| F0162 | 36 Victoria Road, Formby L37 7DD             | S/2013/1016   | Erect detached two-storey dwelling after demolition of existing dwelling   |    | 1  |   |  |  |
| F0166 | 49 Massams Lane, Formby                      | DC/2014/01937 | Erection of 2 detached two storey dwellinghouses (alternative to DC/2013/00263 granted 15 April 2014)  |    |    | 2 |  |  |
| F0167 | 34 Timms Lane, Formby L37 7DN                | DC/2014/00468 | Erection of a detached, two storey dwelling with accommodation in the roof space following demolition of the existing                                    |    | 1  |   |  |  |
| F0168 | 1 School Avenue, Formby L37 3LP              | DC/2014/01016 | Erection of a two storey dwelling to the side of the existing dwellinghouse and a part single part two storey extension to the rear of the existing      |    | 1  |   |  |  |
| F0169 | Land adj 58 Church Road, Formby L37 3NG      | DC/2014/01007 | Erection of one detached two storey dwellinghouse  |    | 1  |   |  |  |
| F0170 | 33A Old Mill Lane, Formby L37 3PE            | DC/2014/01074 | Erection of a detached two storey dwelling detached dormer bungalow and one pair of semi detached dormer bungalows after demolition of existing dwelling |    | 4  |   |  |  |
| F0171 | 23 Shireburn Road, Formby L37 1LR            | DC/2014/00582 | Outline planning application with all matters reserved, for the erection of a detached two storey dwelling with detached garage to the side              |    |    | 1 |  |  |
| F0172 | Former Ambulance Station Church Road, Formby | DC/2014/01573 | Erection of a part two, part three storey block of 10 self-contained apartments after demolition of existing building                                    |    | 10 |   |  |  |
| F0174 | 50 Massams Lane, Formby L37 7BE              | DC/2014/01403 | Erection of two detached dwellinghouses after demolition of existing dwellinghouse   |    |    | 2 |  |  |



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|--------------------|--|---------------|--|----|---|---|--|--|--|
| F0175              | 13A Brows Lane, Formby L37 3HY                               | DC/2014/01707 | Erection of a detached two storey dwellinghouse including new boundary wall and gates after demolition of the existing bungalow            |    |   | 1 |  |  |  |
| F0176              | 120 Carr House Lane, Formby L38 1QQ                          | DC/2014/01968 | Erection of one detached two storey dwellinghouse with a detached garage after demolition of the existing derelict buildings               |    | 1 |   |  |  |  |
| F132               | 8 Shireburn Road, Formby L37 1LR                             | S/2009/0519   | Erect 6 detached dwellings with 2 separate gated access drives, after demolition of nos. 72 & 76 Victoria Road                             |    | 6 |   |  |  |  |
| F15                | Rear of 53 Gores Lane, Formby L37                            | DC/2014/01196 | Erection of one detached dwellinghouse and retention of a detached double garage   | 1  |   |   |  |  |  |
| F368               | Land adj 39a Victoria Rd & rear 1 College Avenue, Formby L37 | S/2011/1252   | Erect detached two-storey dwelling with sunken courtyard after demolition of existing single-storey extensions to rear of 1 College Avenue | 1  |   |   |  |  |  |
| F449               | 61 Victoria Road, Formby L37 1LN                             | DC/2014/00533 | 8 detached dwellings with car parking, garaging, gardens and landscaping. New access road and stopping up of exg                           |    | 8 |   |  |  |  |
| S0161              | Ravens Bank Moss Side, Formby L37 0AE                        | S/2013/0264   | Erect detached dormer bungalow after demolition of dwellinghouse and garage  |    | 1 |   |  |  |  |
| altc89             | 89 Altcar Road, Formby L37                                   | S/2011/0343   | Change of use from residential to builders merchants   | -1 |   |   |  |  |  |
| <b>Sefton East</b> |  |               |  |    |   |   |  |  |  |
| M0013              | Land to side and rear of Oak Hey Lambshear Lane, Lydiat L31  | S/2009/0061   | Erect 3 detached dormer bungalows  | 1  |   |   |  |  |  |
| M0017              | 9 Lambshear Lane, Maghull & Aintree L31 2JU                  | S/2013/0641   | Extension of time to replace S/2010/0402 granted on 04/06/10   |    | 2 |   |  |  |  |
| M0021              | 46 Highfield Park, Maghull L31 6EA                           | S/2012/0659   | Erect detached dormer bungalow after demolition of existing (alt to S/2011/0670 granted 29/09/11)  | 1  |   |   |  |  |  |
| M0024              | 153 Liverpool Road South, Maghull L31 8AA                    | S/2012/0340   | Erect three detached dwellings after demolition of existing with all matters reserved apart from layout and access                         | 3  |   |   |  |  |  |
| M0025              | 17 Brook Road, Maghull L31 3EG                               | S/2012/0676   | Erect detached dwelling with accommodation in attic and basement after demolition of exg   |    | 1 |   |  |  |  |
| M0026              | Barn adj 183 Liverpool Road, Maghull L31 2LY                 | S/2012/0641   | Retrospective application for demolition of existing barn and erect new two-storey dwelling together with new                              | 1  |   |   |  |  |  |

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|---------|--|---------------|---|---|---|---|--|--|
|         |  |               | boundary fencing  |   |   |   |  |  |
| M0029   | The Chesterfield Prescott Road, Melling L31 1AT                  | S/2013/0377   | Erect detached dwelling with detached garage, new front boundary wall and access gates after demolition of existing premises                    |   | 1 |   |  |  |
| M0031   | Smithy Brow Farm Eager Lane, Lydiate L31 4HT                     | S/2013/0922   | Erect one detached dwelling with all matters reserved after demolition of existing barn   |   | 1 |   |  |  |
| M0032   | 345 Southport Road, Lydiate L31 4EE                              | S/2013/1076   | Erect detached two-storey dwelling and detached garage with new access onto Southport Road after demolition of existing warehouse building      |   | 1 |   |  |  |
| M0033   | Land to rear of 4 Coniston Road, Maghull L31 6BU                 | S/2013/1059   | Erect one detached bungalow with accommodation in roofspace   |   | 1 |   |  |  |
| M0035   | 59 Hall Lane, Maghull L31 3DZ                                    | DC/2014/01273 | Construction of a two storey terraced dwellinghouse   | 1 |   |   |  |  |
| M0036   | Land at Hayes Drive, Melling L31 1BH                             | DC/2014/01609 | Erection of two detached dwellings on vacant land at the junction of Hayes Drive and Satinwood Crescent, Melling                                |   | 2 |   |  |  |
| M0037   | Greenbank Bells Lane, Lydiate L31 4ER                            | DC/2014/01402 | Construction of a detached dwelling after demolition of the original dormer bungalow. (Alternative to DC/2014/00601 refused 10/06/2014)         |   | 1 |   |  |  |
| M0038   | Rosehill Farm Pygons Hill Lane, Lydiate L31 4JF                  | DC/2014/00720 | Erection of a detached two storey dwelling following the demolition of the existing barn together with the erection of a detached double garage |   | 1 |   |  |  |
| M0040   | 5 Rock Lane, Melling L31 1EN                                     | DC/2014/01582 | Erection of one pair of semi-detached two storey dwellinghouses on land adjacent to 5 Rock Lane   |   |   | 2 |  |  |
| M232    | 41 Spencers Lane, Melling L31                                    | S/2011/0282   | Retention of detached 2-storey dwelling with accommodation in roofspace   | 1 |   |   |  |  |
| M254    | Land to rear of 101 Liverpool Road, Maghull L31 2JX              | S/2011/0431   | Erect detached dormer bungalow on land to rear of 101 Liverpool Road  | 1 |   |   |  |  |
| S0198   | Dental Surgery 20 Liverpool Road, Maghull L31 2LZ                | DC/2014/00085 | Erect detached two-storey dwelling with new access onto Liverpool Road after demolition of existing dental surgery                              |   | 1 |   |  |  |
| aint4   | Station Cottage 4a Aintree Railway Ormskirk Road, Aintree L9 5AA | DC/2013/00330 | Continuation of use to self-contained flats at ground and first floor   | 1 |   |   |  |  |
| live185 | 185 Liverpool road South, Maghull L31 8AA                        | DC/2014/01358 | Change of use from offices to chiropody clinic on the ground floor and reinstatement of a flat to the first floor                               | 1 |   |   |  |  |

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|------------------------------|---|---------------|---|----|----|--|--|--|
|                              |   |               | of the property   |    |    |  |  |  |
| live236b                     | Highway Farm Barn Liverpool road, Lydiate L31 2ND                       | DC/2014/00818 | Conversion of the existing barn to residential incorporating a boundary wall and access gate following partial demolition of the barn | 1  |    |  |  |  |
| mossb                        | Barns adj Moss Nook Farm Moss Nook Lane, Melling L31 1BG                | S/2009/0597   | convert redundant barn to 1 three-bed dwelling and 1 four-bed dwelling  | 2  |    |  |  |  |
| nort40                       | 40 Northway, Maghull L31 5LJ  | S/2008/0249   | Change of use from residential to physiotherapy practice.   | -1 |    |  |  |  |
| sand55                       | 55 Sandy Lane, Lydiate L31 4DN  | S/2011/1311   | Change of use of existing outbuilding to residential dwelling   | 1  |    |  |  |  |
| schoa                        | The Old School School Lane, Melling L31 1EH                             | DC/2014/00480 | Conversion of the existing stable building to a bungalow incorporating the erection of a single storey extension to the rear          | 1  |    |  |  |  |
| tith                         | Barnes Farm Tithebarn Lane, Melling L31 1EQ                             | S/2012/0139   | convert office building to 2 dwellings  | 2  |    |  |  |  |
| <b>Crosby &amp; Hightown</b> |   |               |   |    |    |  |  |  |
| C0110                        | 39a St Johns Road, Crosby & Hightown L22 9QB                            | DC/2014/01354 | Outline Application for the erection of 11 dwellings  |    | 11 |  |  |  |
| C0125                        | 4 Park View, Crosby & Hightown L23 4TD                                  | S/2012/0107   | Erect detached two-storey dwelling with accommodation in roofspace after demolition of exg  | 1  |    |  |  |  |
| C0127                        | 7 Sunningdale Drive, Crosby & Hightown L23 7XA                          | S/2012/0780   | Erect detached dormer bungalow after demolition of existing and detached garage to side   | 1  |    |  |  |  |
| C0128                        | Land adj 6 Park Drive, Crosby & Hightown L23 6TW                        | S/2013/0005   | Erect detached two-storey dwelling with accommodation in roofspace and detached outbuilding at rear (alt to S/2012/0679 R 24/09/12)   |    | 1  |  |  |  |
| C0137                        | Land in Byron Road, Crosby & Hightown L23 8TH                           | S/2013/0834   | Erect terrace of three dwellings on land to the rear of Byron Terrace after demolition of existing buildings                          | 3  |    |  |  |  |
| C0138                        | Land to the rear of 20 Chesterfield Road, Crosby & Hightown L23 9XW     | DC/2014/01018 | Erection of a detached two storey dwelling fronting on to Maunders Court (Alternative to S/2013/0758, approved 19/09/2013)            |    | 1  |  |  |  |
| C0140                        | Land rear Moor Ln Methodist Church Moor Lane, Crosby & Hightown L23 2UH | DC/2013/00580 | Construct 4 semi-detached houses on land to rear of existing church   |    | 4  |  |  |  |

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| C0141   | 51 Glenwyllin Road, Crosby & Hightown L22 4RN                   | S/2013/1052   | Erect 2 pairs of semi-detached two-storey dwellings with accommodation in roofspace after demolition of existing dwellinghouse                                       | 4  |    |  |  |  |
| C0142   | 8 Dowhills Drive, Crosby & Hightown L23 8SU                     | DC/2014/00159 | Erection of a detached two storey dwelling   |    | 1  |  |  |  |
| C0143   | 11 St Michaels Road, Crosby & Hightown L23 8SD                  | DC/2014/01290 | Erection of two detached dwellinghouses  |    | 2  |  |  |  |
| C0145   | 17 Mersey Road, Crosby & Hightown L23 3AF                       | DC/2015/00167 | Erection of two pairs of semi-detached two storey dwellinghouses and one detached two storey dwelling after demolition of existing Church Hall (alt DC/2014/00879 R) |    | 5  |  |  |  |
| C106    | Land to rear of 17-27 Far Moss Road, Crosby & Hightown L23      | S/2004/0631   | Approval of Reserved Matters for the erection of 3 dwellinghouses  | 2  |    |  |  |  |
| C144    | Central Buildings Church Road, Crosby & Hightown L23            | S/2005/0821   | Erect 4-storey building inc retail, offices & apartments after demolition of exg   |    | 10 |  |  |  |
| F0143   | Land adj 3 Village Way, Crosby & Hightown L38 9EH               | DC/2014/01527 | Erection of a detached two-storey dwelling on land adjacent to 3 Village Way, Hightown   |    | 1  |  |  |  |
| F0159   | Land adj 22 Alton Close, Crosby & Hightown L38 9GE              | DC/2014/01325 | Erection of one detached two storey dwellinghouse  |    | 1  |  |  |  |
| F0161   | Land off Kerslake Way and Lower Alt Road, Crosby & Hightown L38 | S/2013/0030   | Erect 13 two-storey detached dwellings   | 13 |    |  |  |  |
| F0163   | Land adj The Hightown Hotel Alt Road, Crosby & Hightown L38 OBA | S/2013/1024   | Erect three detached residential dwellings   |    | 3  |  |  |  |
| L0009   | 9-11 Hereford Road, Crosby & Hightown L21 1EG                   | S/2012/0860   | Erect three 2.5 storey townhouses  | 3  |    |  |  |  |
| blun2   | 2 Blundellsands Road East, Crosby & Hightown L23 8SQ            | DC/13/00096   | convert existing premises to 10 self-contained flats incorporating ss extension to side and ss extension to side of coach house                                      |    | 9  |  |  |  |
| brig21a | 21-23 Brighton Road, Crosby & Hightown L22 5NG                  | S/2013/0954   | Change of use to 4 self-contained flats inc ss extensions at rear and alterations to elevations  | 4  |    |  |  |  |
| coll14a | 14 College Avenue, Crosby & Hightown L23 0SS                    | S/2012/1329   | convert property from 4 self-contained flats to 6 self-contained flats and alts to elevations  | 2  |    |  |  |  |

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| coll157 | 157A College Road, Crosby & Hightown L23 3AS                              | DC/2014/00094 | Change of use from office to self-contained flat to the first and second floors  | 1  |   |  |  |  |
| CROS32  | 32 Crosby Road North, Crosby & Hightown L22 4QF                           | DC/2014/02114 | Prior notification application for a proposed change of use from office (Class B1) to three self-contained flats (Class C3)                    |    | 3 |  |  |  |
| cro40   | 40 Crosby Road North, Crosby & Hightown L22 4QQ                           | DC/2014/01184 | Change of use of ground floor from offices to retail use, first and second floors from offices and storage to two self-contained flats         | 2  |   |  |  |  |
| cro5    | Welsh Presbyterian Church, 5 Crosby Road South, Crosby & Hightown L22 1RG | S/2009/0041   | convert from church to 3 dwellings and 7 self-contained flats  | 10 |   |  |  |  |
| john63a | 63 St Johns Road, Crosby & Hightown L22 9QB                               | S/2012/1108   | convert existing garage to self-contained flat inc first floor extension   | 1  |   |  |  |  |
| litt27  | White House Farm, 27a Little Crosby Road, Crosby & Hightown L23 4TS       | S/2012/1290   | convert vacant farm buildings to 3 single storey dwellings and 1 two storey dwelling with assoc landscaping after demolition of existing sheds | 4  |   |  |  |  |
| live37b | 37-39 Liverpool Road, Crosby & Hightown L23 5SD                           | DC/2014/02202 | Change of Use of first and second floors from Retail (A1) to self contained flats (C3) and alterations to the front elevation.                 |    | 2 |  |  |  |
| live95  | 95-97 Liverpool Road, Crosby & Hightown L23 5TD                           | S/2010/0054   | Change of use from retail to restaurant on ground floor with self-contained flat on second floor   | -1 |   |  |  |  |
| mari13  | 13 Marine Crescent, Crosby & Hightown L22 8QP                             | S/2012/0199   | Change of use of ancillary accom to create independent dwelling  | 1  |   |  |  |  |
| merr2   | 2 Merrilocks Green, Crosby & Hightown L23 6XR                             | DC/2014/01726 | Conversion of the dwellinghouse into two dwellings   | 1  |   |  |  |  |
| park1b  | 1 Park Terrace, Crosby & Hightown L22 3XB                                 | S/2010/1713   | convert second floor flat to 2 self-contained flats with additional accommodation in the roof  | 1  |   |  |  |  |
| quee    | Waterloo Tavern Queen Street, Crosby & Hightown L22 5PA                   | S/2013/0066   | convert public house with living accom to 15 self-contained flats, erect rear extn, alts to elevs & roof, car park & landscaping               | 15 |   |  |  |  |
| raws146 | Doric Hotel 146 Rawson Road, Crosby & Hightown L21 1HR                    | S/2013/0710   | convert first and second floors of Public House into 4 self-contained flats  | 3  |   |  |  |  |
| rothe   | Lydiat Farm Rothwells Lane,   | S/2008/0947   | convert existing farm outbuilding/workshop into single   | 1  |   |  |  |  |



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|                  | Crosby & Hightown L23 1TN                                |               | storey residential dwelling   |    |    |  |  |  |
| runn84           | 84 Runnells Lane, Crosby & Hightown L23 1TR              | DC/2014/01458 | Change of Use from House in Multiple Occupation to Bed and Breakfast.   | -1 |    |  |  |  |
| sout113          | 113 South Road, Crosby & Hightown L22 0LT                | S/2011/0694   | convert part ground floor, first and second floors to three self-contained apartments and installation of a new shop front  | 2  |    |  |  |  |
| sout132          | 132 South Road, Crosby & Hightown L22 0ND                | S/2012/1388   | continuation of use of 2 self-contained flats to second floor   | 1  |    |  |  |  |
| sout46b          | 46a South Road, Crosby & Hightown L22 5PQ                | S/2012/0750   | convert 1st and 2nd floors to create 2 self-contained flats   | 1  |    |  |  |  |
| stua9            | 9-11 Stuart Road, Crosby & Hightown L22 4QR              | DC/2014/01925 | Prior Notification Procedure for change of use from plumbing and heating merchants to two self-contained flats  |    | 2  |  |  |  |
| vale1a           | 1a Vale Road, Crosby & Hightown L23 5TY                  | S/2012/1271   | Erect two-storey dwelling, convert existing workshops to tuition rooms and repair workshop and replace existing static unit                                       | 2  |    |  |  |  |
| <b>Netherton</b> |  |               |   |    |    |  |  |  |
| B0096            | Former Service Station, 146 Park Lane, Netherton L30 1RW | S/2013/0827   | Erect a two and a half storey block of 10 apartments with associated car parking  |    | 10 |  |  |  |
| B0125            | Bleak House Chapel Lane, Netherton L30 7PF               | DC/2014/01060 | Approval of all Reserved Matters for the erection of six two storey dwellings after demolition of existing house & outbuildings (details pursuant to S/2013/0838) |    | 6  |  |  |  |
| B0146            | Land adj 19 Orrell Road, Netherton L20 6DU               | DC/2014/00416 | Erection of 2 no. two storey dwellings with accommodation in the roofspace  | 2  |    |  |  |  |
| L0021            | 9 Alexandra Mount, Netherton L21 7PN                     | S/2013/0483   | Erect detached two-storey dwelling after demolition of existing garage  |    | 1  |  |  |  |
| L0022            | 61-67 Field Lane, Netherton L21 9LY                      | S/2013/0884   | Erect 3 pairs of two-storey semi-detached dwellings and 1 detached two-storey dwelling after demolition of existing building                                      | 7  |    |  |  |  |
| L0026            | 1 Field Lane, Netherton L21 9LT                          | DC/2014/01951 | Demolition and reconstruction of former coach house with additional single storey extensions and alteration of plot position, to form a dwellinghouse             |    | 1  |  |  |  |

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|---------------|--|---------------|--|----|---|--|--|--|
| L232          | Litherland Methodist Church<br>Wilsons Lane, Netherton L21 7LP | S/2013/0429   | Erect 6 semi-detached houses and 1 detached house with garage, appearance and landscaping reserved.  |    | 7 |  |  |  |
| alex3         | 3 Alexandra Drive, Netherton L20 0EE                           | DC/2014/00061 | Conversion of the existing property to a 7 bed residential care home in conjunction with the existing premises at 1 Alexandra Drive                    | -1 |   |  |  |  |
| lich41        | 41 Lichfield Close, Netherton L30 1PU                          | DC/13/00377   | convert premises to two self-contained apartments and erect ss extension to rear of property   | 1  |   |  |  |  |
| moss18        | 18 Moss Lane, Netherton L20 0ED                                | DC/2014/00388 | Conversion of the existing residential property to a seven bed residential care home   | -1 |   |  |  |  |
| orre19        | The Walnut Tree, 19 Orrell Road, Netherton L20 6DU             | S/2011/0166   | convert public house to 1 dwelling on ground floor, 2 self-contained flats on 1st floor (plus addl PP for 1 more flat see orre19a)                     | 2  |   |  |  |  |
| orre19a       | The Walnut Tree, 19 Orrell Road, Netherton L20 6DU             | S/2013/0063   | convert part of ground floor to provide 1 additional sc flat   | 1  |   |  |  |  |
| <b>Bootle</b> |  |               |  |    |   |  |  |  |
| B0121         | 4 Langdale Street, Bootle L20 3BX                              | S/2008/0797   | Erect one semi and one detached house after demolition of existing   | 2  |   |  |  |  |
| B0133         | 81a Thornton Road, Bootle L20 5AW                              | DC/2014/00270 | Erect one pair of semi-detached dwellings on land adj 81a  |    | 2 |  |  |  |
| B0134         | Land adj 4 Prior Street, Bootle L20 4PS                        | S/2012/1050   | Erect two-storey dwellinghouse attached to the existing terrace  |    | 1 |  |  |  |
| B0145         | 1A Rawson Road, Bootle L21 1BS                                 | DC/2014/01145 | Erection of a two storey block of 8 apartments after demolition of the existing building (re-submission of planning application ref DC/2013/00052 (W)) |    | 8 |  |  |  |
| B1215         | 66a Gray Street, Bootle L20 4RZ                                | S/2013/0154   | Erect 2-storey building with accommodation in roofspace to be used as dwellinghouse and one self-contained flat after demolition of existing bldg      | 1  |   |  |  |  |
| B37           | 38-58 Litherland Road, Bootle L20 3HZ                          | S/2010/1718   | Erect 8 three-storey dwellings comprising 1 pair semi-detached and 2 blocks of 3 properties  | 8  |   |  |  |  |
| C0122         | St Thomas Church Hall Seaforth Road, Bootle L21 4PX            | S/2011/0709   | Erect part-two, part-three storey block of five town houses with rooms in roofspace and six self-contained flats after demolition of existing building | 6  |   |  |  |  |

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| L0017    | 6-8 Lime Grove, Bootle L21 3TT                      | DC/2014/01743 | Layout of a new residential development of 14 dwellings comprising: a terrace of 6 two-storey houses, 2 two-storey blocks of 4 self-cont apts     |   | 14 |    |  |  |
| L0024    | 451-455 Stanley Road, Bootle L20 5DN                | DC/2014/00597 | Erection of two pairs of two storey semi detached dwellings with associated hard and soft landscape works   | 4 |    |    |  |  |
| L0025    | Church Hall Orrell Road, Bootle L21 8NG             | DC/2014/00027 | Erection of five pairs of two storey semi-detached dwellinghouses after demolition of St Philips Church Hall                                      |   | 10 |    |  |  |
| L1212    | Former garages, 51-55 Eaton Avenue, Bootle L21 6NG  | S/2013/0206   | Erect 2 dwellings   |   | 2  |    |  |  |
| aint2    | 2 Aintree Road & 478 Hawthorne Road, Bootle L20 9DN | DC/2014/01235 | Change of use from a doctors surgery to two dwellinghouses  | 2 |    |    |  |  |
| ash32    | 32 Ash Street, Bootle L20                           | S/2012/0665   | Change of use to a café/bistro and shop on ground floor and 2 self-contained flats on first floor inv alts to shop front and dormers in rear elev | 2 |    |    |  |  |
| hawt16   | Ground Floor, 16 Hawthorne Road, Bootle L20 2DN     | DC/14/00212   | Change of use from retail premises to self-contained flat   | 1 |    |    |  |  |
| know229  | 229 Knowsley Road, Bootle L20                       | S/2012/1390   | Change of use of first floor offices to 7 unit HMO  | 1 |    |    |  |  |
| lina29   | 29 Linacre Road, Bootle L21 8NJ                     | DC/2014/00926 | Change of use from a residential dwellinghouse to two self-contained flats  | 1 |    |    |  |  |
| mars238  | 238 Marsh Lane, Bootle L20 5BW                      | S/2012/0273   | Change of use of former public house and assoc accom to pharmacy and restaurant at ground floor and 5 self-contained flats at first floor         | 4 |    |    |  |  |
| mars350a | 350 Marsh Lane, Bootle L20 9BX                      | S/2013/0111   | Convert existing storage unit to residential  | 1 |    |    |  |  |
| mars362  | 362 Marsh Lane, Bootle L20 9BX                      | S/2012/0601   | Convert premises to 3 self-contained flats and office space to rear and alts to front elev  | 2 |    |    |  |  |
| mert43   | 43-45 Merton Road, Bootle L20 7AP                   | DC/2014/01639 | Prior Notification for a change of use from offices to 10 No. flats   |   |    | 10 |  |  |
| mert51   | 51-53 Merton Road, Bootle L20 7AP                   | DC/2014/00696 | Change of use B1 office to Sui Generis HMO to allow an increase in the number of bedrooms from 20 to 26 (alternative S/2013/0061)                 |   | 7  |    |  |  |
| mert55   | 55-57 Merton Road, Bootle L20                       | S/2013/0319   | Change of use to 20 letting unit HMO (self-contained)   |   | 18 |    |  |  |
| pemb35   | 35 Pembroke Road, Bootle L20                        | DC/2014/01492 | Conversion of existing house into four self-contained flats   |   | 4  |    |  |  |

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|         | 7BB   |               | and conversion of former coach house into one two bed dwelling  |   |   |  |  |  |
| quee38a | 38 Queens Road, Bootle L20 7BS                  | S/2012/0886   | Change of use on ground floor from office to 2 flats  | 2 |   |  |  |  |
| seaf72  | 72 Seaforth Road, Bootle L21 4LF                | S/2012/0967   | convert former public house to 9 self-contained flats together with new access gate to Rossini St and alts to elevs | 8 |   |  |  |  |
| stan244 | 244 Stanley Road, Bootle L20 3ER                | DC/2014/02000 | Conversion of first, second and third floors to create three self-contained apartments                              |   | 3 |  |  |  |
| stan395 | Mainland House 395 Stanley Road, Bootle L20 3EF | DC/2014/00461 | Prior Notification for the Change of Use from Offices to Apartments   |   | 9 |  |  |  |