



Planning & Development Services

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Boise, Idaho 83701-0500

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4

4a

4b

CAR17-00003, PUD17-00005 & SUB17-00012 / A Team Land Consultants

Summary

The applicant is requesting to rezone approximately 0.93 acres from R-1B (Single Family Residential-4.8 Units/Acre) to R-2D (Medium Density Residential-14.5 Units/Acre with Design Review) located at 3091 N Maple Grove Road. There is an associated request for a conditional use permit for a 16-unit planned residential development comprised of two apartment buildings with a four-lot subdivision.

Prepared By

Céline Acord, Associate Planner

Recommendation

Approval with conditions

Reason for the Decision

Rezone

The parcel is designated as “Mixed Use” in the Land Use Map of *Blueprint Boise*. This designation allows a zone change to R-2. This zone exists to the south along Maple Grove and the proposal of R-2D will maintain and preserve the compatibility of the surrounding zoning and development. The rezone of this property is in the best interest of the public convenience and general welfare. A residential use would be the best use of this property due to it being setback from Maple Grove Rd and surrounded by other residential uses and zoning districts.

Maple Grove is an arterial roadway with an existing transit route. Higher density is encouraged along arterial roadways and will act as a buffer for the lower density residential to the west. Higher density that is within 0.25 miles of existing transit stops is highly encouraged to promote increased ridership over time (*Principle GDP-MU.2* and *GDP-MU.6*). The neighborhood plan for the area, the *Ustick Concept Master Plan*, anticipates some redevelopment in the area and also recommends R-2 zoning along Maple Grove.

PUD

The project is in compliance with the criteria of *BCC 11-03-04.7.C(7)* and *BCC 11-06-03.2*. It is compatible with the adjacent properties as there is already multi-family residential in the area. The parcel is currently vacant and is considered an infill project which is supported by *Goal PDP1.1* and *Goal CC1.1*. Within the West Bench Planning Area, this site anticipates significant new development within the Areas of Change map and *Goal WB-CCN 2.2* supports this type of infill. This project also utilizes the multi-family density bonus which is encouraged by *Goal PDP1.2* and will encourage residents to utilize the nearby transit system. With the attached conditions of approval, the project will be in compliance with the *Citywide Design Standards and Guidelines* and will not adversely impact other properties in the vicinity.

Subdivision

As conditioned, the submitted preliminary plat is consistent with the Development Code and the Comprehensive Plan.

CAR17-00003 & PUD17-00005

1" : 300'



Aerial Map

N Peppe

N Patricia Pl

N Yonkers Ln

N Dalton Ln

N Jackie Ln

W Toni St

Ustick
Rd ROW

W Ustick Rd

W Midland St

N Welford Ave

N Welford Ave

N Kingswood Way

W Midland St

N Rugby Way

Echelburger
Lateral

4
4a
4b

N Rugby Way

Fitz Lateral

W Tudor Ct

N Maple Grove Rd

W Michele Ct

W Lancelot Ct

W Kingsgate Ct

W Humanity Ln

W Lancelot St

N Kimball St

North Slough

W Woodland Dr

N Jeremy Ave

COLE VALLEY
CHRISTIAN
ELEM

HILLVIEW
PRESCHOOL

N Maywood Ave

N Maywood Ave

W Lancelot St

W Canterbury St

N Welford Pl

W De Witt Ct

CAR17-00003 & PUD17-00005
1" : 300'



Zoning Map

R-2D

C-1D

4
4a
4b

Echelburger Lateral

Ustick Rd ROW

W Ustick Rd

R-2D

N-OD

A-1

R-1B

R-1C

COLE VALLEY
CHRISTIAN
ELEM

HILLVIEW
PRESCHOOL

Fitz Lateral

R-1B

R-2D

W Lancelot St

North Slough

W Woodland Dr

R-1C

R-1C

W Kingsgate Ct

R-1B

R-1C

W Humanity Ln

W Canterbury St

W De Witt Ct

N Maywood Ave

N Maywood Ave

W Lancelot St

N Dalton Ln

W Michele Ct

W Lancelot Ct

W Tudor Ct

N Maple Grove Rd

N Welford Ave

N Welford Ave

N Kingswood Way

N Rugby Way

N Rugby Way

W Midland St

W Midland St

W Toni St

N Yonkers Ln

N Dalton Ln

N Jackie Ln

N Pepp

N Patricia Pl

N Kimball St

N Jeremy Ave

N Welford Pl

CAR17-00003 & PUD17-00005
1" : 300'



Land Use Map

4
4a
4b

Echelburger Lateral

N Rugby Way

N Kingswood Way

N Welford Ave

W Midland St

W Toni St

N Jackie Ln

N Dalton Ln

N Yonkers Ln

N Patricia Pl

N Pep

Ustick Rd ROW

W Ustick Rd

Mixed Use

Compact

COLE VALLEY
CHRISTIAN
ELEM

HILLVIEW
PRESCHOOL

N Maywood Ave

W Lancelot St

Suburban

W Canterbury St

W De Witt Ct

N Welford Pl

W Humanity Ln

W Kingsgate Ct

W Lancelot Ct

W Michele Ct

W Tudor Ct

N Maple Grove Rd

Fitz Lateral

N Kimball St

W Woodland Dr

North Slough

N Jeremy Ave

Looking East
at North Property Line



Looking Southeast
at Northwest Property Line



Looking East



Looking East
at South Property Line



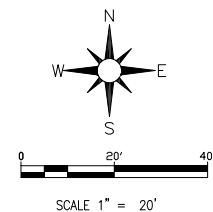
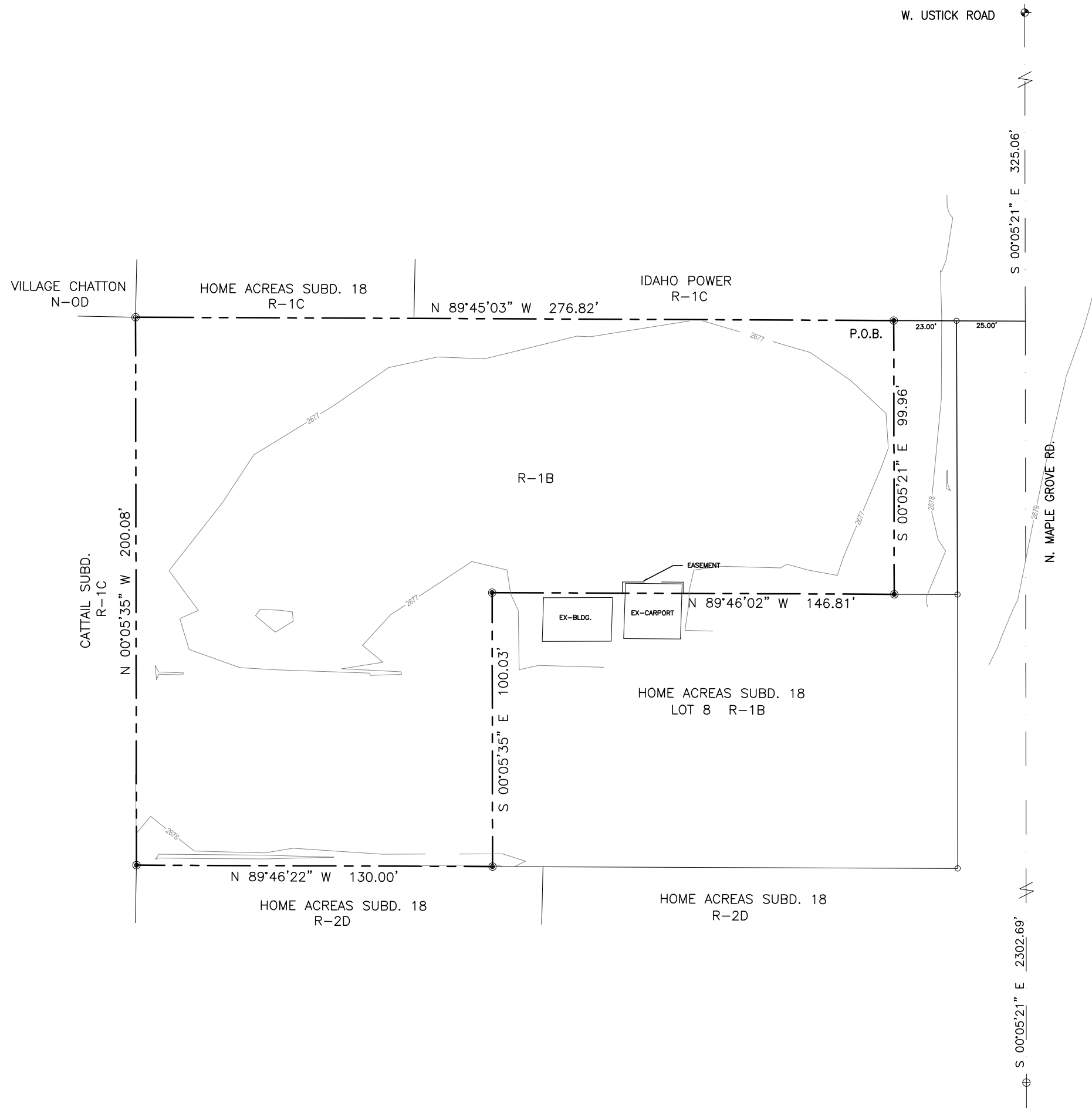
Looking North
at East Property Line



Looking South
at Northwest Property Line



4
4a
4b

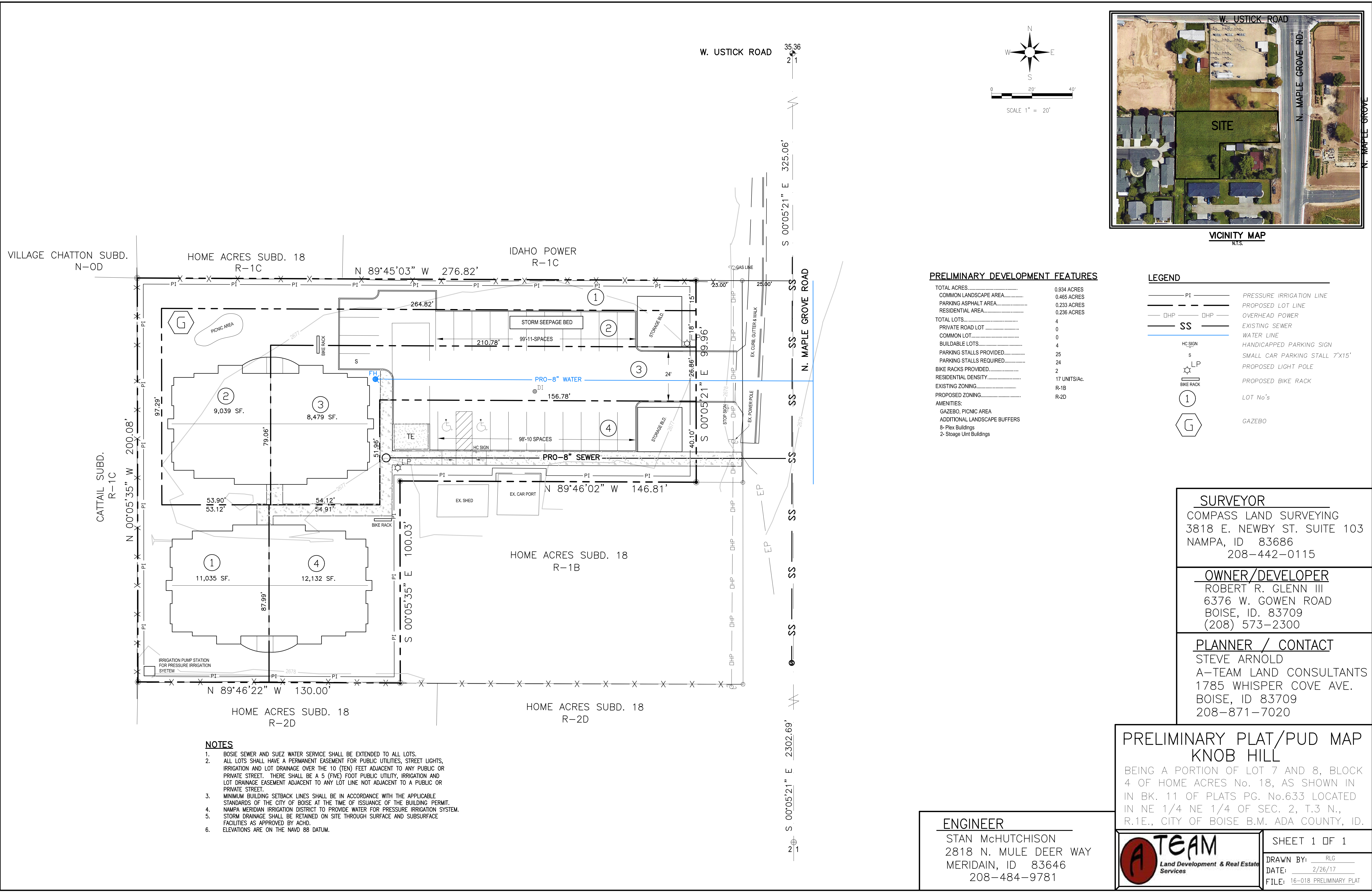


LEGEND
- - - - - SITE BOUNDARY LINE

SURVEYOR COMPASS LAND SURVEYING 3818 E. NEWBY ST. SUITE 103 NAMPA, ID 83686 208-442-0115
OWNER/DEVELOPER ROBERT R. GLENN III 6376 W. GOWEN ROAD BOISE, ID. 83709 (208) 573-2300
PLANNER / CONTACT STEVE ARNOLD A-TEAM LAND CONSULTANTS 1785 WHISPER COVE AVE. BOISE, ID 83709 208-871-7020

REZONE MAP NOB HILL BEING A PORTION OF LOT 7 AND 8, BLOCK 4 OF HOME ACRES No. 18, AS SHOWN IN IN BK. 11 OF PLATS PG. No.633 LOCATED IN NE 1/4 NE 1/4 OF SEC. 2, T.3 N., R.1E., CITY OF BOISE B.M. ADA COUNTY, ID.	
A-TEAM Land Development & Real Estate Services	SHEET 1 OF 1 DRAWN BY: RLK DATE: 2/26/17 FILE: 16-018 PRELIMINARY PLAT

ENGINEER STAN McHUTCHISON 2818 N. MULE DEER WAY MERIDAIN, ID 83646 208-484-9781
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- NOTES**
1. BOSE SEWER AND SUEZ WATER SERVICE SHALL BE EXTENDED TO ALL LOTS.
 2. ALL LOTS SHALL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, STREET LIGHTS, IRRIGATION AND LOT DRAINAGE OVER THE 10 (TEN) FEET ADJACENT TO ANY PUBLIC OR PRIVATE STREET. THERE SHALL BE A 5 (FIVE) FOOT PUBLIC UTILITY, IRRIGATION AND LOT DRAINAGE EASEMENT ADJACENT TO ANY LOT LINE NOT ADJACENT TO A PUBLIC OR PRIVATE STREET.
 3. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE CITY OF BOISE AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT.
 4. NAMPA MERIDIAN IRRIGATION DISTRICT TO PROVIDE WATER FOR PRESSURE IRRIGATION SYSTEM.
 5. STORM DRAINAGE SHALL BE RETAINED ON SITE THROUGH SURFACE AND SUBSURFACE FACILITIES AS APPROVED BY ACHD.
 6. ELEVATIONS ARE ON THE NAVD 88 DATUM.

PRELIMINARY DEVELOPMENT FEATURES

TOTAL ACRES.....	0.934 ACRES
COMMON LANDSCAPE AREA.....	0.465 ACRES
PARKING ASPHALT AREA.....	0.233 ACRES
RESIDENTIAL AREA.....	0.236 ACRES
TOTAL LOTS.....	4
PRIVATE ROAD LOT	0
COMMON LOT.....	0
BUILDABLE LOTS.....	4
PARKING STALLS PROVIDED.....	25
PARKING STALLS REQUIRED.....	24
BIKE RACKS PROVIDED.....	2
RESIDENTIAL DENSITY.....	17 UNITS/AC.
EXISTING ZONING.....	R-1B
PROPOSED ZONING.....	R-2D
AMENITIES:	
GAZEBO, PICNIC AREA	
ADDITIONAL LANDSCAPE BUFFERS	
8-Plex Buildings	
2-Storage Unit Buildings	

LEGEND

PI	PRESSURE IRRIGATION LINE
PROPOSED LOT LINE	
DHP	OVERHEAD POWER
SS	EXISTING SEWER
WATER LINE	
HC SIGN	HANDICAPPED PARKING SIGN
S	SMALL CAR PARKING STALL 7'X15'
LP	PROPOSED LIGHT POLE
BIKE RACK	PROPOSED BIKE RACK
1	LOT No's
G	GAZEBO

SURVEYOR
COMPASS LAND SURVEYING
3818 E. NEWBY ST. SUITE 103
NAMPA, ID 83686
208-442-0115

OWNER/DEVELOPER
ROBERT R. GLENN III
6376 W. GOWEN ROAD
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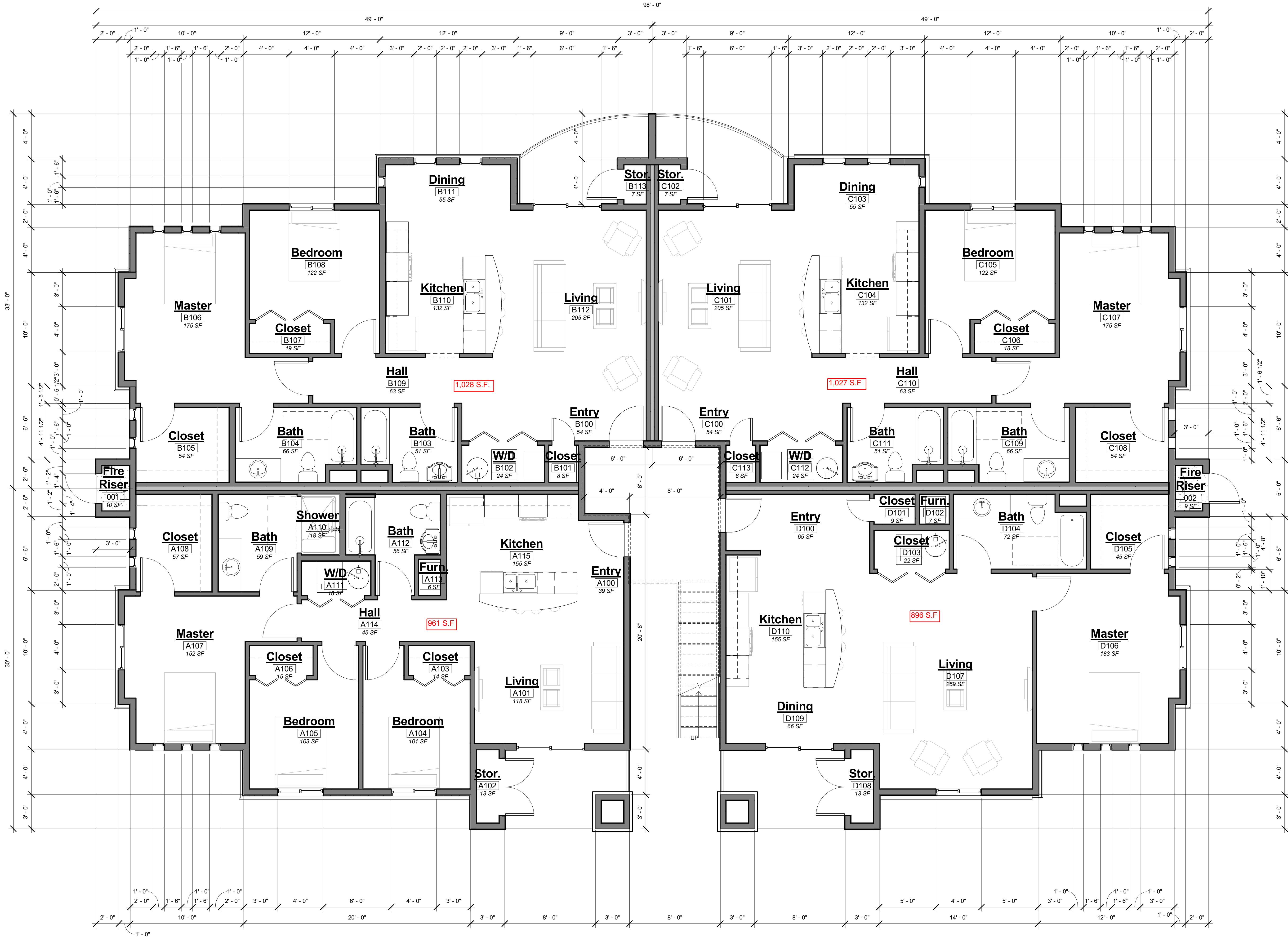
PLANNER / CONTACT
STEVE ARNOLD
A-TEAM LAND CONSULTANTS
1785 WHISPER COVE AVE.
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PRELIMINARY PLAT/PUD MAP KNOB HILL
BEING A PORTION OF LOT 7 AND 8, BLOCK 4 OF HOME ACRES No. 18, AS SHOWN IN IN BK. 11 OF PLATS PG. No.633 LOCATED IN NE 1/4 NE 1/4 OF SEC. 2, T.3 N., R.1E., CITY OF BOISE B.M. ADA COUNTY, ID.

ENGINEER
STAN McHUTCHISON
2818 N. MULE DEER WAY
MERIDAIN, ID 83646
208-484-9781

A-TEAM
Land Development & Real Estate Services
SHEET 1 OF 1
DRAWN BY: RLG
DATE: 2/26/17
FILE: 16-018 PRELIMINARY PLAT

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1 First Floor Plan
1/4" = 1'-0"

Design Development

CLIENT:
Kyle Enzler - Maddyn Homes, LLC.

NO.	DESCRIPTION	DATE
A	Design Development	06.07.16
PROFESSIONAL SEAL		
DO NOT SCALE DRAWINGS		
DRAWN BY	DATE	
PMG	05.16.16	
SCALE @ 24"x36"	JOB NUMBER	
1/4" = 1'-0"	16156	
SHEET		
A-111		
First Floor		



725 E 2nd St

Meridian, ID 83642

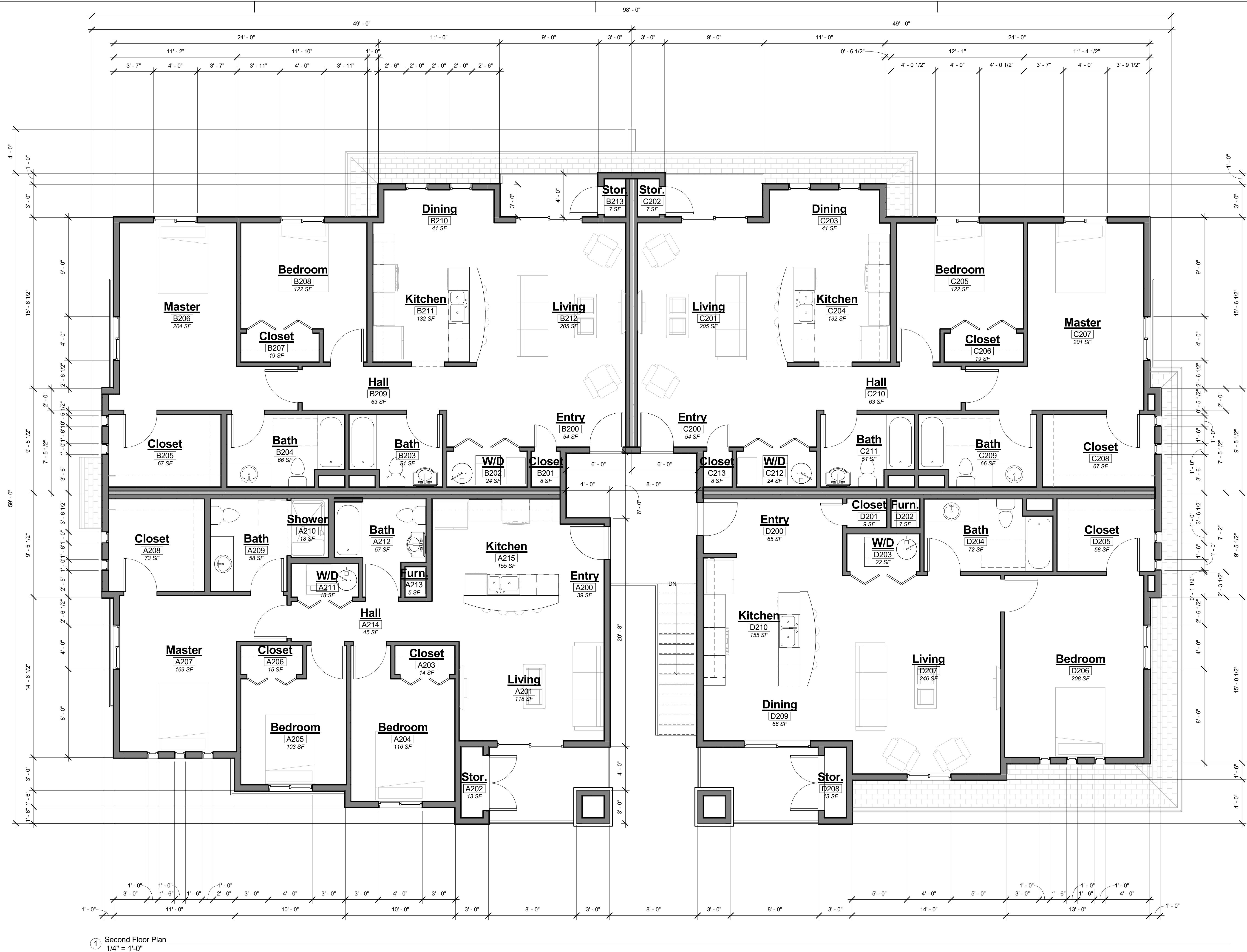
Meridian Rd., Meridian ID 83642

Sweet 8-Plex

06.07.16

6/13/2016 4:42:58 PM

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1 Second Floor Plan
1/4" = 1'-0"

Design Development

CLIENT:
Kyle Enzler - Maddyn Homes, LLC.

NO.	DESCRIPTION	DATE
A	Design Development	06.07.16

PROFESSIONAL SEAL

06.07.16

DO NOT SCALE DRAWINGS

DRAWN BY	DATE
PMG	05.16.16

SCALE @ 24"x36"
1/4" = 1'-0" JOB NUMBER 16156


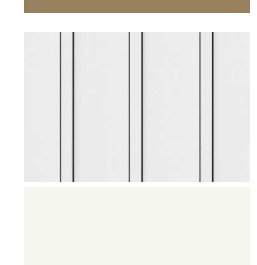
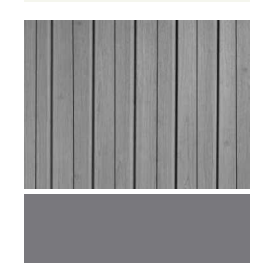
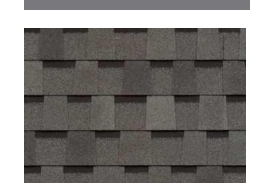

SHEET **A-112**

Second Floor

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EXTERIOR FINISH LEGEND

-  1 HARDIPLANK CEMENT LAP SIDING - 6" LAP HORIZONTAL
PAINT INFO:
MFR: SHERWIN WILLIAMS
COLOR NAME: ROOKWOOD CLAY
COLOR NO: SW2823
-  2 BOARD AND BATTEN - OUTERBANKS - VERTICAL BATTENS 2'-0" O.C.
PAINT INFO:
MFR: SHERWIN WILLIAMS
COLOR NAME: HIGH REFLECTIVE WHITE
COLOR NO: SW7757
-  3 HARDIPLANK CEMENT VERTICAL SIDING - 4" PLANKS VERTICAL
PAINT INFO:
MFR: SHERWIN WILLIAMS
COLOR NAME: SPECIAL GRAY
COLOR NO: SW 6277
-  4 30 YEAR ARCHITECTURAL ROOFING SHINGLE
-  5 CULTURED STONE VENEER - ERIE - HERITAGE VENEER STONE



NO.	DESCRIPTION	DATE
A	Design Development	06.07.16

PROFESSIONAL SEAL

06.07.16

DO NOT SCALE DRAWINGS

DRAWN BY	DATE
PMG	05.16.16
SCALE @ 24"x36"	JOB NUMBER
As indicated	16156

SHEET A-211

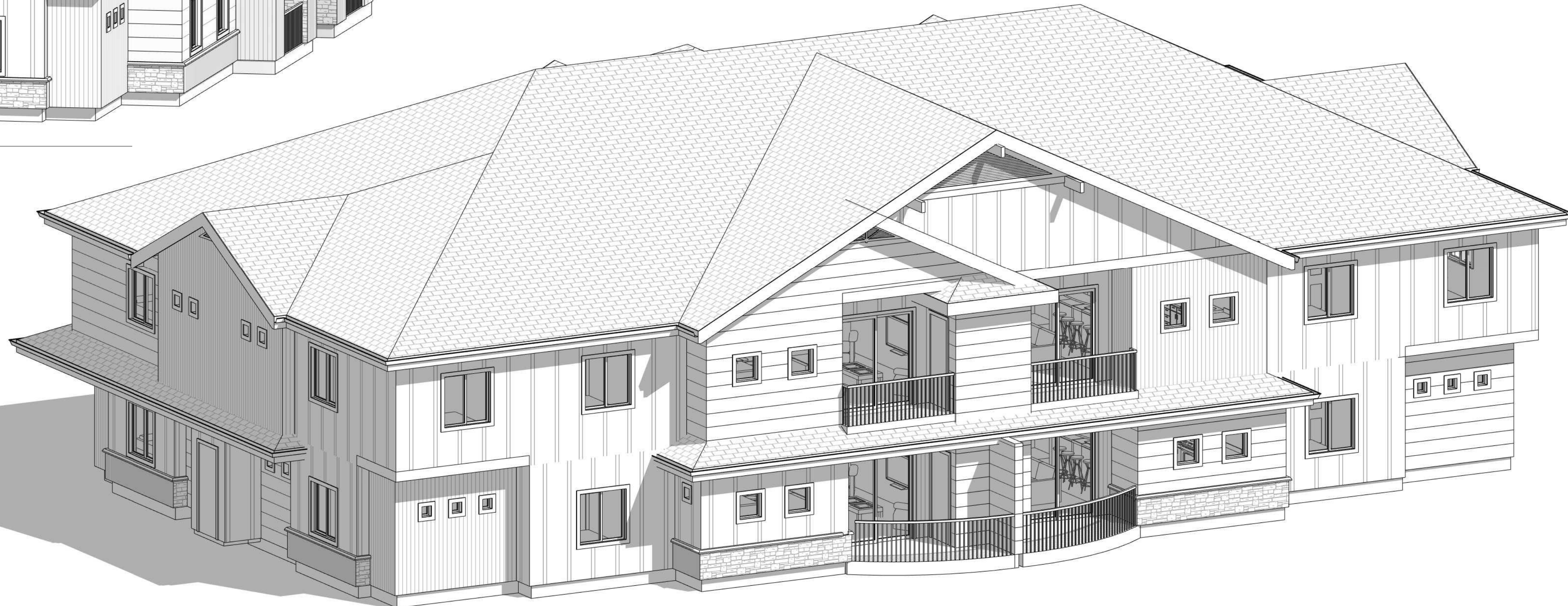
Exterior Elevations

Design Development

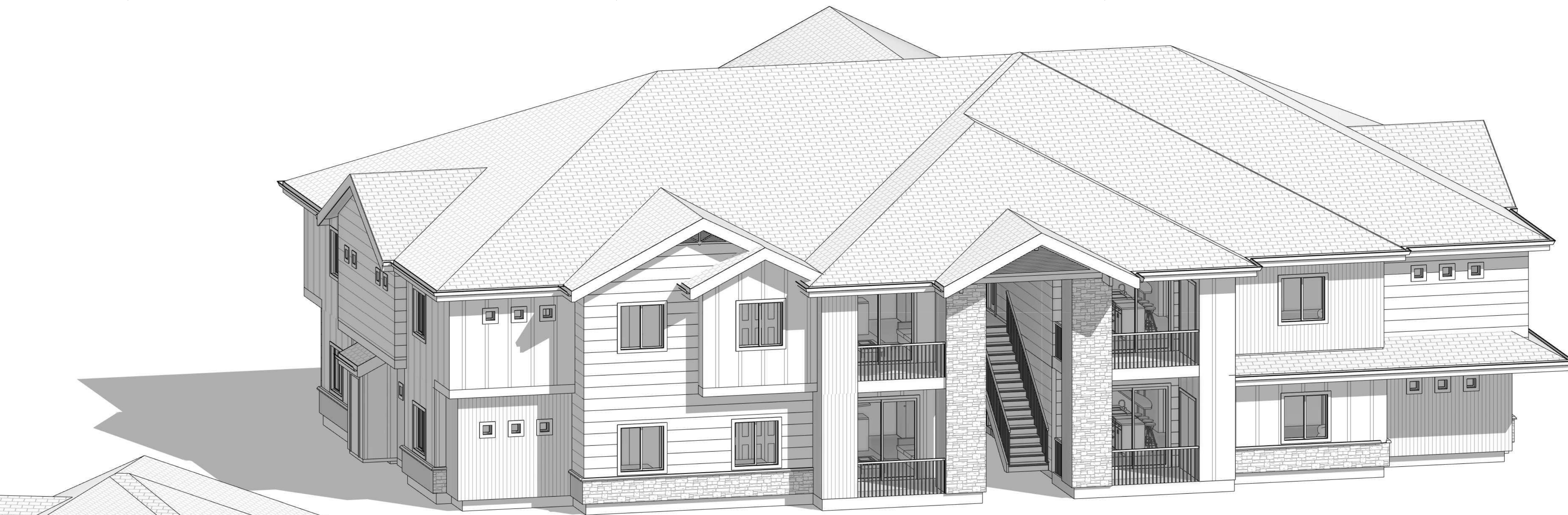
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3 End



1 Entry



2 Rear

Design Development

CLIENT:
KyleENZler - Maddyn Homes, LLC.

Sweet 8-Plex

Meridian Rd., Meridian ID 83642

NO.	DESCRIPTION	DATE
A	Design Development	06.07.16
PROFESSIONAL SEAL		
06.07.16		

DO NOT SCALE DRAWINGS	
DRAWN BY	DATE
PMG	05.16.16
SCALE @ 24"x36"	JOB NUMBER
	16156

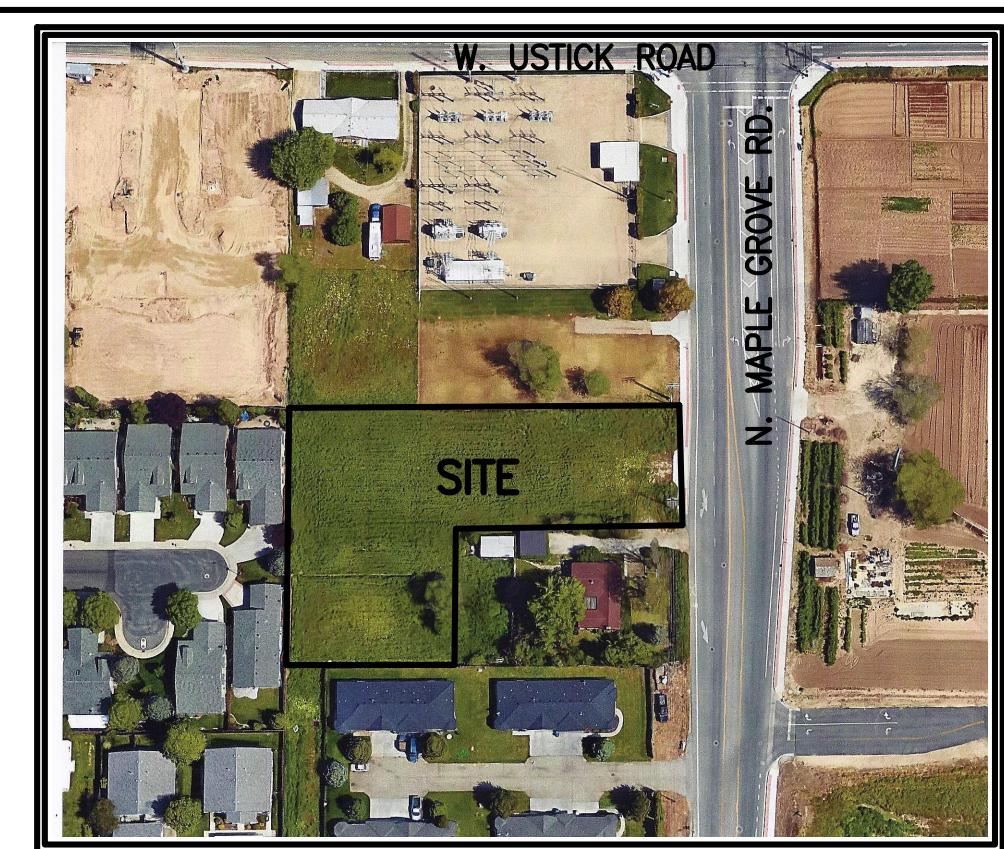
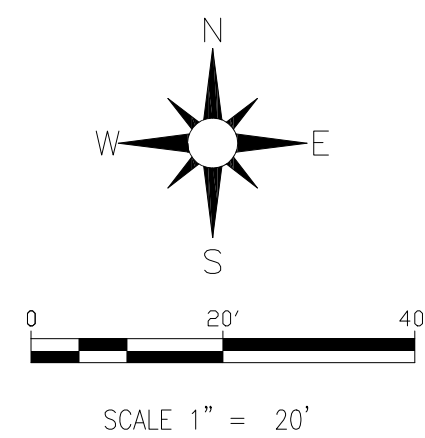
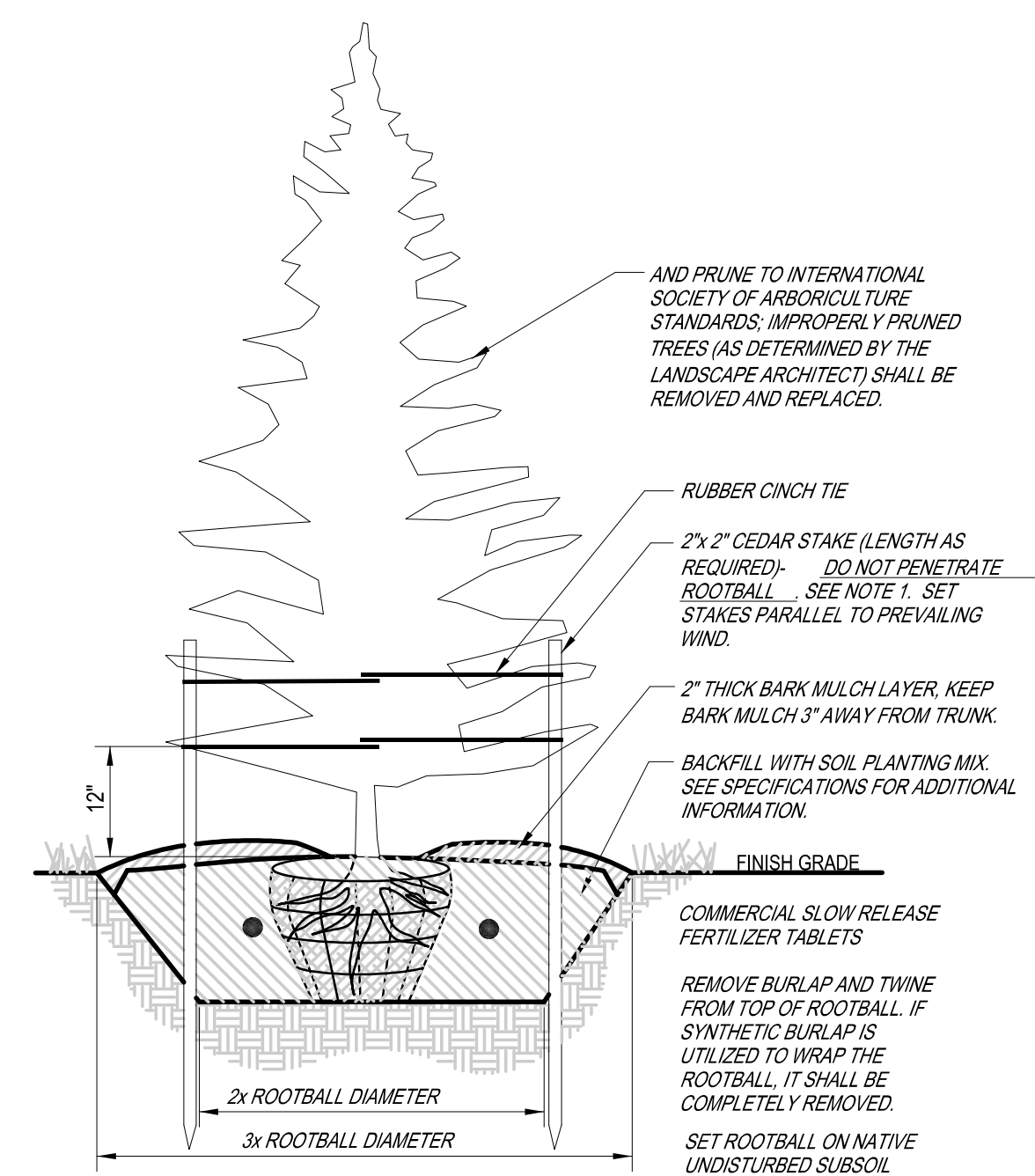
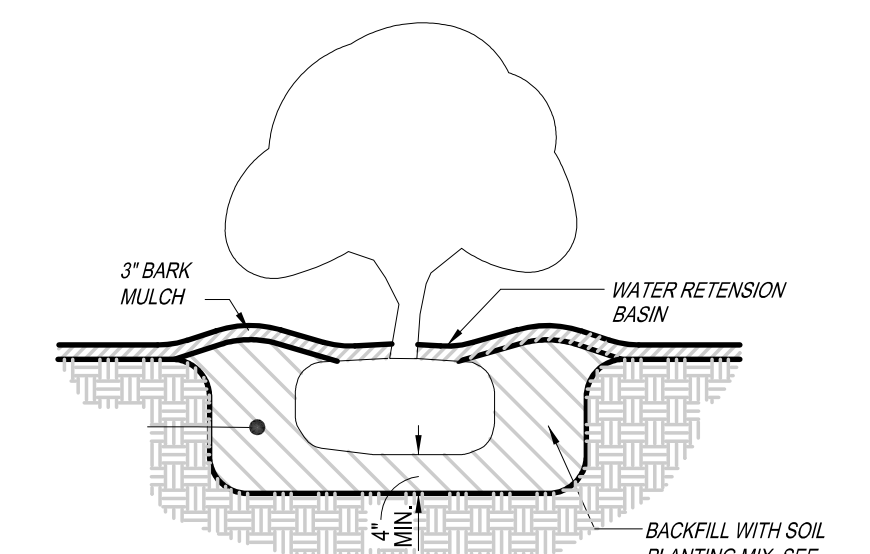
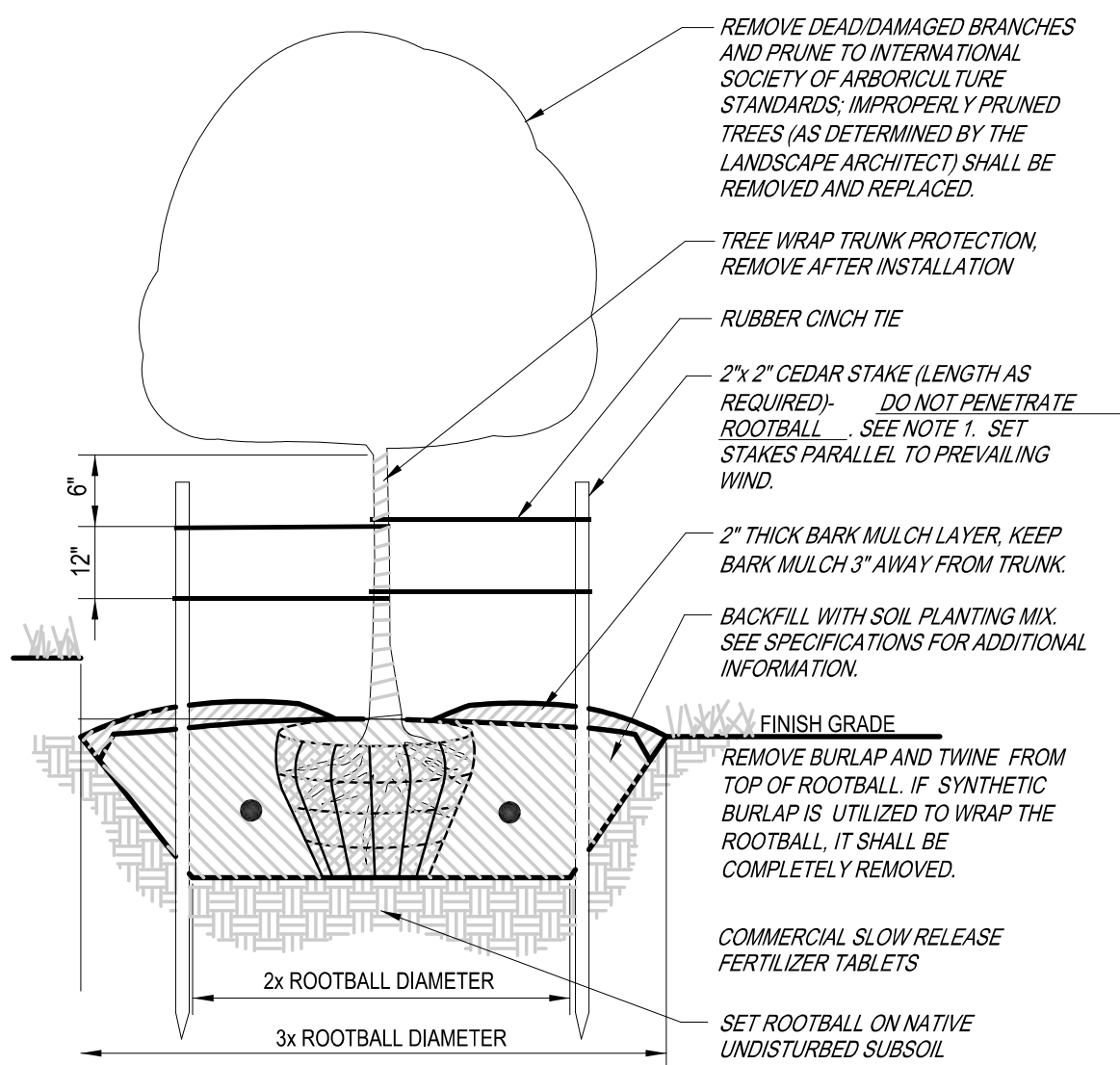
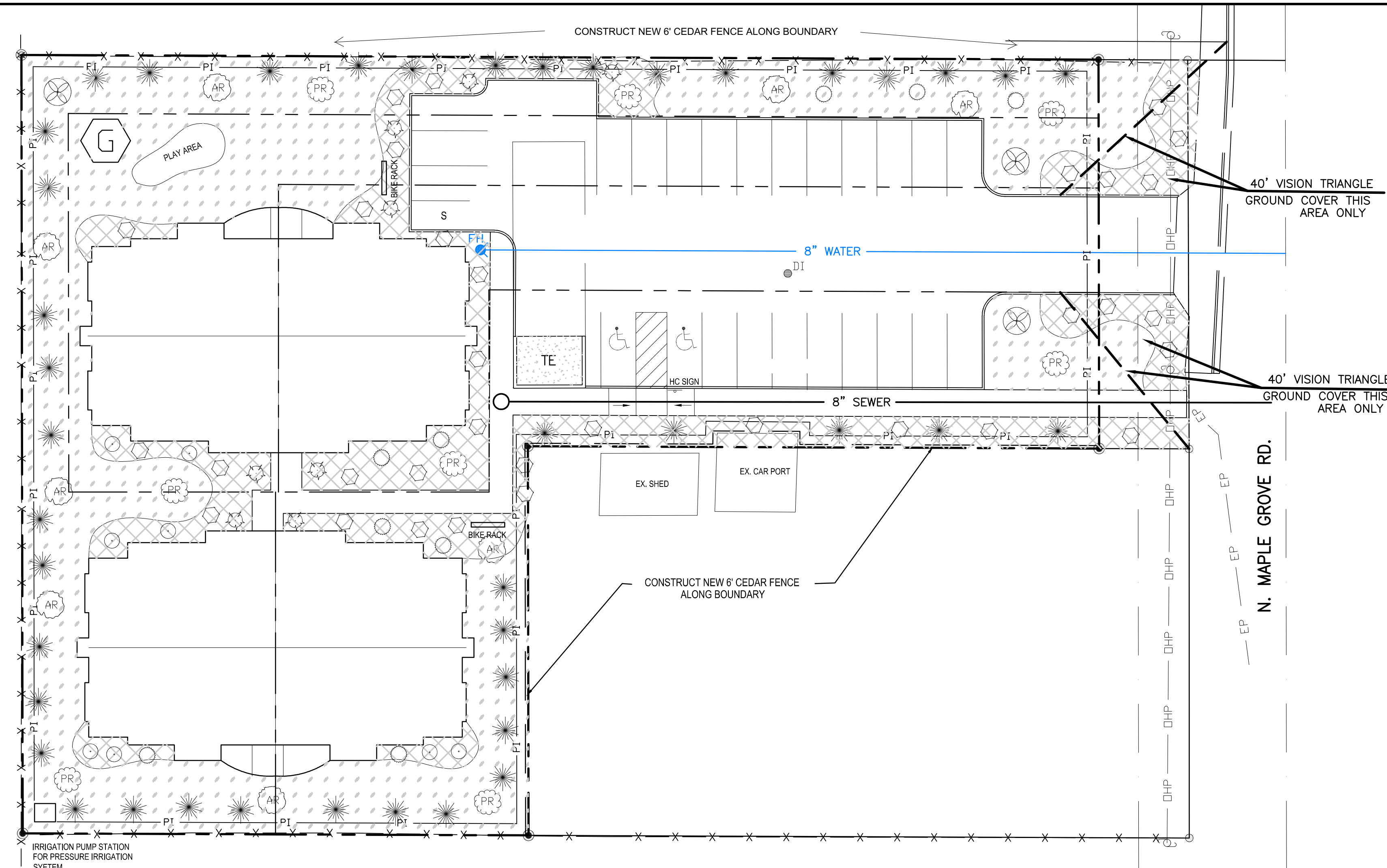
SHEET	A-901
Renderings	



neudesign
ARCHITECTURE

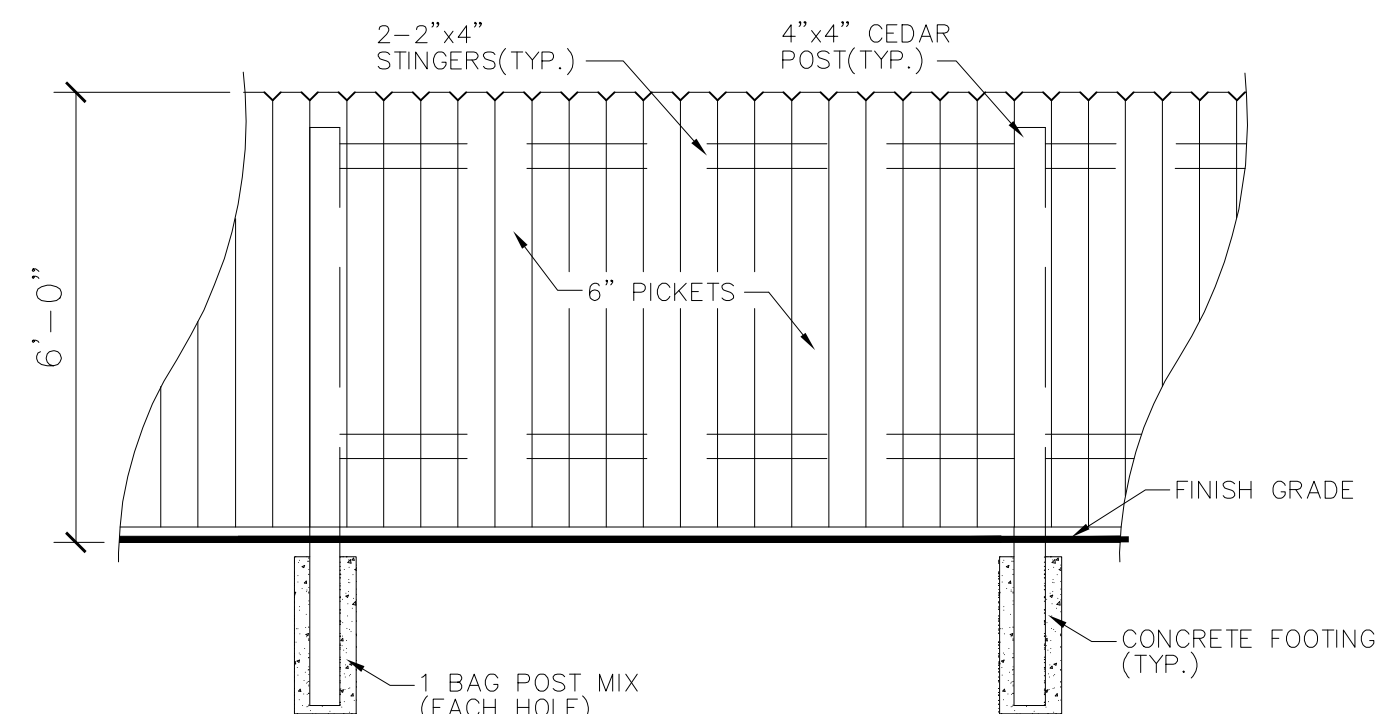
725 E 2nd St
Meridian, ID 83642
208 984-2824

CONSULTANT



LANDSCAPE LEGEND:

— X — X — X — X —	EXISTING FENCE
— P1 —	PRESSURE IRRIGATION LINE
— — — — —	PROPOSED LOT LINE
— DHP — DHP —	OVERHEAD POWER
— SS —	EXISTING SEWER
	WATER LINE
TE	TRASH ENCLOSURE
HC SIGN	HANDICAPPED PARKING SIGN
LP	PROPOSED LIGHT POLE
BIKE RACK	PROPOSED BIKE RACK
①	LOT No's
G	GAZEBO
	PLASTER AREA
	GRASS AREA



TREE PLANTING NOTES

- The staking of trees is to be the contractor's option; however, the contractor is responsible to insure that all trees are planted straight and that they remain straight for a minimum of 1 year. All staking shall be removed at the end of the one year warranty period.
- Removal of burlap and twine from top of rootball may be postponed for 90 days at contractor's option.
- In the event of a question or lack of clarity on the drawings, the contractor is to notify the landscape architect before proceeding.
- Landscape contractor is to notify the landscape architect and owner prior to installation of plant material.
- Wrap rubber cinch ties around the tree trunks and stakes using either the standard or figure eight tying method. Secure the ties to the stakes with galvanized nails to prevent slippage.
- Deep soak tree twice within the first 24 hours.
- In the event handpans soils prevent tree planting as detailed, notify the landscape architect immediately.

PLANT SCHEDULE

TREES (GRADE #1)				SHRUBS			
KEY	COMMON/BOTANICAL NAME	PLANTING SIZE	CLASS	KEY	COMMON/BOTANICAL NAME	PLANTING SIZE	
AA	COLUMNAR NORWAY MAPLE Acer Platanoides 'Columnar'	2' B&B	I	★	DWARF BURNING BUSH Euonymus Alatus 'Compactus'	2' B&B	2 Gal.
AR	ROYAL RED MAPLE Acer Platanoides 'Royal Red'	2' B&B	II	○	CRIMSON PYGMY JAPANESE BARBERRY Crimson Pygmy Japanese Barberry	2' B&B	2 Gal.
BN	RIVER BIRCH Betula Nigra	2' B&B	II	○	IVORY HALO DOGWOOD Cornus Alba 'Bailhato'	2' B&B	2 Gal.
CC	GOLD DECIDAR CEDAR Cedrus Scedora 'Aurea'	5'-6' hgt. B&B	Conifer	○	BLUE CHIP JUNIPER Juniperus Horizontalis 'Blue Chip'	2' B&B	2 Gal.
FP	CIMMAMIN ASH Fraxinus Pennsylvania 'Cimnzan'	2' B&B	II	○	GOLD STAR POTENTILLA Potentilla Fruticosa 'Gold Star'	2' B&B	2 Gal.
SK	SKYLINE HONEYLOCUST Gleditsia Triacanthos Inermis 'Skycole'	2' B&B	II	○	EMERALD ARBORVITEA Thuja Occidentalis 'Emerald'	4'-6' B&B	
MR	RED BARRON CRABAPPLE Malus X 'Red Barron'	2' B&B	I	○	WHITE GROUNDCOVER ROSE Rosa X 'Naoschnee'	2' B&B	2 Gal.
MS	RED JEWEL CRABAPPLE Malus X 'Jewelscole'	2' B&B	I	○	MERLOT FLOWER CARPET ROSE Rosa X 'Flower Carpet'	2' B&B	2 Gal.
PB	BACHERI SPRUCE Picea Pungens 'Bacheri'	5'-6' hgt. B&B	Conifer	○	NEON FLASH SPIRAEA Spiraea Japonica 'Neon Flash'	2' B&B	2 Gal.
BS	BLUE SHAG EASTERN WHITE PINE Pinus Strobus 'Blue Shag'	5 Gal.	Conifer	GROUND COVERS/GRASSES/PERENNIALS			
DS	Dwarf Globe Blue Spruce Picea Pungens 'Globoosa'	5 Gal.	Conifer	COMMON/BOTANICAL NAME			
PR	COLUMNAR SARGENT CHERRY Prunus Sargentii 'Columnaris'	2' B&B	I	○	DWARF FEATHER GRASS Calamagrostis X. Acutiflora 'Overdam'	1 Gal. @ 36" D.C.	
CS	COLORADO BLUE SPRUCE Picea Pungens 'Globoosa'	6' B&B	Conifer	○	MOONBEAM THREADLEAF TICKSEED Coreopsis Verticillata 'Moonbeam'		
TC	GREENSPIRE LINDEN Tilia Cordata 'Greenspire'	2' B&B	II	○	ELIJAH BLUE FESCUE Festuca Divina Glaucia 'Elijah'		
				○	STELLA DE ORO DAYLILLY Hemerocallis X 'Stella De Oro'		
				○	DILLY DILLY ENGLISH LAVENDER Lavandula Angustifolia 'Dilly Dilly'		
				★	LITTLE BUNNY DWARF FOUNTAIN GRASS Pennisetum Alopecuroides 'Little Bunny'		
				○	FRANCEE PLANTAIN LILY Hosta 'Francee'		
				○	GOLDSTRUM BLACK EYED SUSAN Rudbeckia Fulgida 'Goldstrum'		

LANDSCAPE & IRRIGATION NOTES:

- Contractor shall report to landscape architect all conditions which impair and/or prevent the proper execution of this work, prior to beginning work.
- Coordinate work schedule and observations with landscape architect prior to construction start-up.
- New conifer and deciduous tree planting, see detail B and C/L1.0. Contractor shall stake all trees deemed necessary, i.e., from being blown over, planted with loose root ball, etc. Contractor's option.
- New shrub planting, see detail A/L1.0.
- All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition.
- All planting beds shall be covered with a minimum of 3" of small (1" minus) bark chips. Submit for approval.
- All plant material shall be guaranteed for a period of one year beginning at the date of acceptance by Owner. Replace all plant material found dead or not in a healthy condition immediately with the same size and species and at no cost to the Owner.
- Finish grades to be smooth and even gradients with positive drainage in accordance with site grading plan.
- In all planter bed and lawn areas, the top 6 inches of topsoil will be amended at a ratio of 3 cubic yards of organic matter per 1000 square feet. Robo-til organic matter a minimum of 6 inches into topsoil.
- Fertilize all trees and shrubs with AgriForm® planting tablets. Quantity per manufacturer's recommendations.
- All planting beds shall have a minimum of 18" of topsoil. Lawn areas shall have a minimum of 12" topsoil. Spread, compact and fine grade topsoil to a smooth and uniform grade 3" below surface of walks and curbs in planting bed areas, 1" 10' and lawn areas, and 1" at seed lawn areas.
- Reuse existing surface topsoil stockpiled on the site. Verify suitability of surface soil to produce topsoil meeting requirements and amend when necessary. Topsoil shall be a loose, friable, sandy loam, clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign material and a pH of 6.5 to 7.0. If on-site topsoil does not meet these minimum standards, contractors are responsible to either: a) provide approved imported topsoil, or b) improve on-site topsoil with methods approved by landscape architect. Supplement with imported topsoil when quantities are insufficient. Clean topsoil of roots, plants, sods, stones, clay lumps and other extraneous materials harmful to plant growth. If imported topsoil from off-site sources is required, provide new topsoil that is fertile, friable, natural loam, surface soil, reasonably free of subsoil, clay lumps, brush, weeds and other filler, and free of roots, stumps, stones larger than 2 inches in any dimension, and other extraneous or toxic matter harmful to plant growth.
 - Obtain topsoil from local sources or from areas having similar soil characteristics to that found at project site. Obtain topsoil only from naturally, well-drained sites where topsoil occurs in a depth of not less than 4 inches.
 - Representative samples shall be tested for acidity, fertility and general texture by a recognized commercial or government agency and copies of the testing agency's findings and recommendations shall be furnished to the Architect representative by the contractor. No topsoil shall be delivered in a frozen or muddy condition. Acidity/alkalinity range - pH 5.5 to 7.6.
- Immediately clean up any topsoil or other debris on the site created from landscape operations and dispose of properly off site.
- Provide individual station lining.
- Run time capabilities for extremes in precipitation rates.
- At least one program for each hydrozone.
- Sufficient multiple cycles to avoid water run-off.
- Power failure backup for all programmed individual valved watering stations will be designed and installed to provide water to respective hydro-zones.

LANDSCAPE DESIGNER

POWER ENTERPRISES
16131 FRANKLIN BLVD.
NAMPA, ID. 83687

LANDSCAPE PLAN PRE. KNOB HILL

BEING A PORTION OF LOT 7 AND 8, BLOCK 4 OF HOME ACRES No. 18, AS SHOWN IN BK. 11 OF PLATS PG. No.633 LOCATED IN NE 1/4 NE 1/4 OF SEC. 2, T.3 N., R.1E., CITY OF BOISE B.M. ADA COUNTY, ID.



SHEET 1 OF 1
DRAWN BY: RLG
DATE: 2/26/17
FILE: 16-018 PRELIMINARY PLAT

PLANNER / CONTACT

STEVE ARNOLD
A-TEAM LAND CONSULTANTS
1785 WHISPER COVE AVE.
BOISE, ID 83709
208-871-7020



neUdesign
ARCHITECTURE
725 E 2nd St
Meridian, ID 83642
208.884.2824

CONSULTANT

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CLIENT:
KYLE ENZLER
KNOB HILL - STORAGE FACILITY
USTICK AND MAPLE GROVE

PROFESSIONAL SEAL

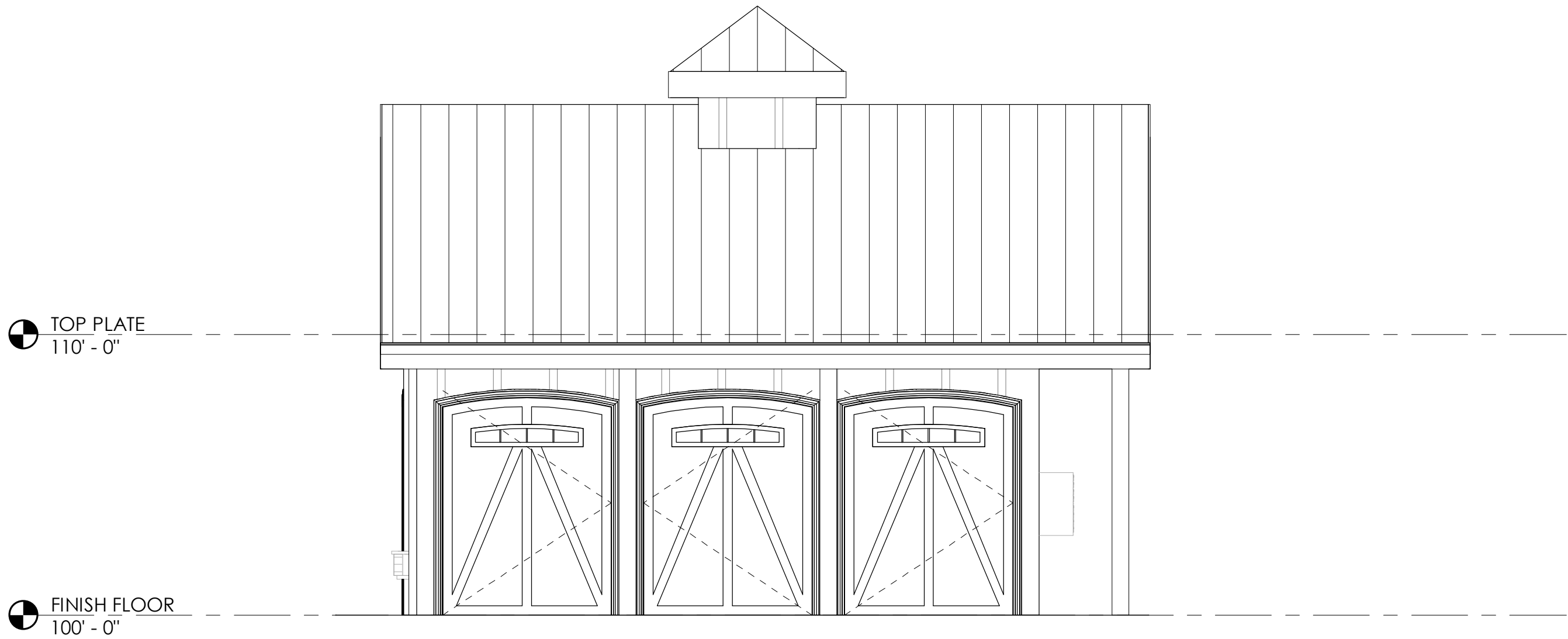
NOT FOR PERMIT

NO.	DESCRIPTION	DATE
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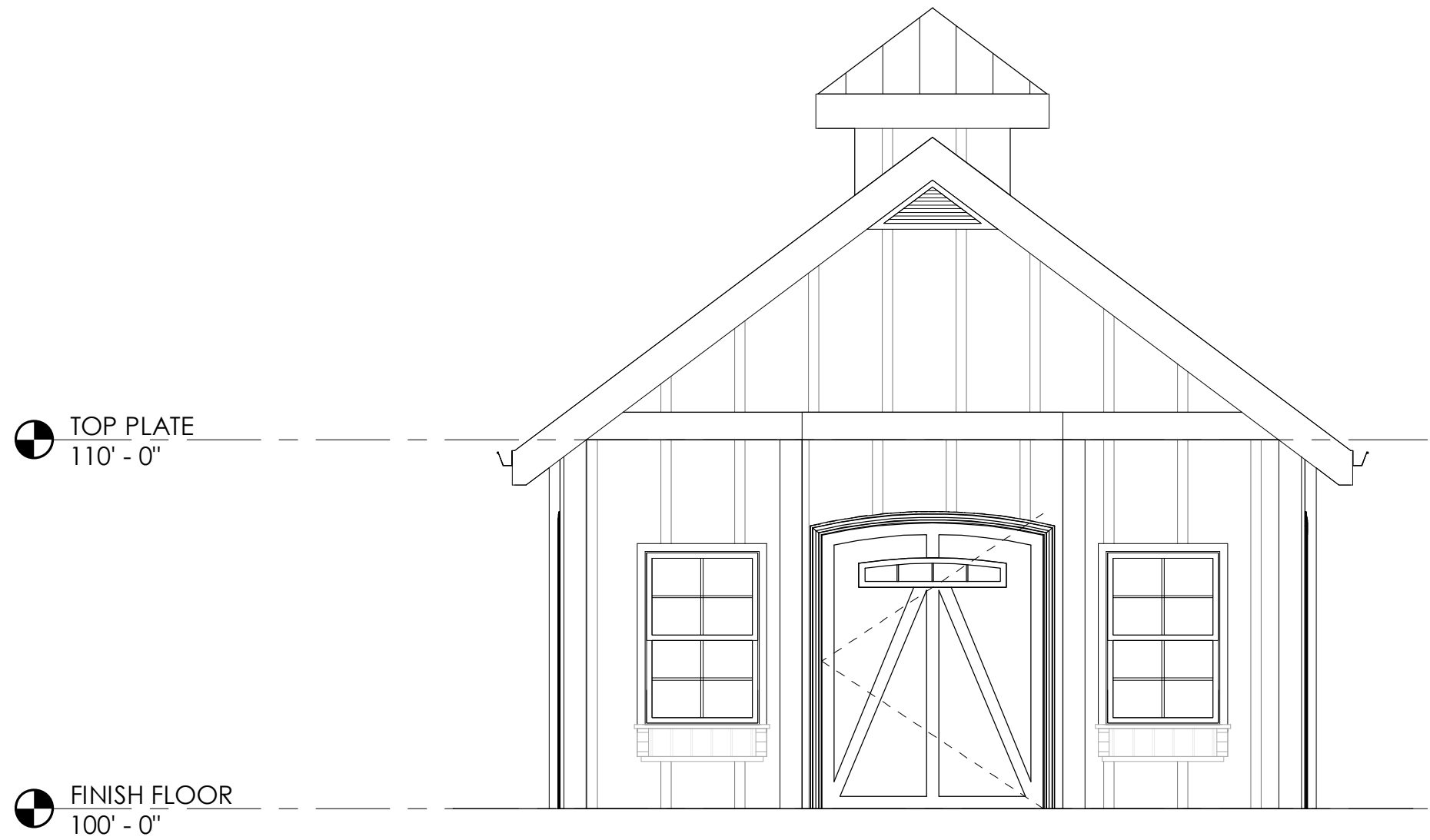
EXTERIOR
ELEVATIONS

A-211

DATE	2.13.2017
JOB NUMBER	16156
DRAWN BY	ALB



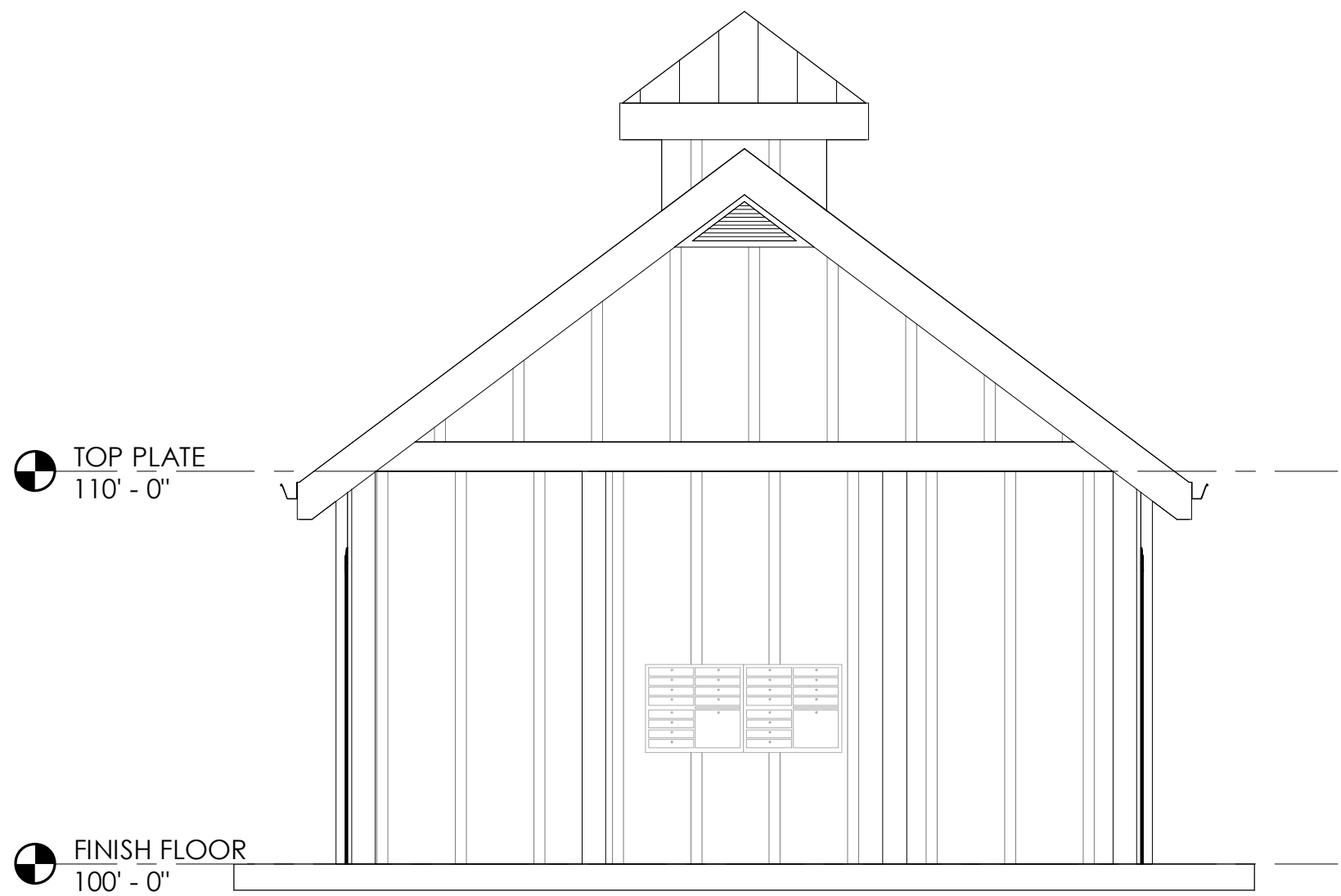
1 North
1/4" = 1'-0"



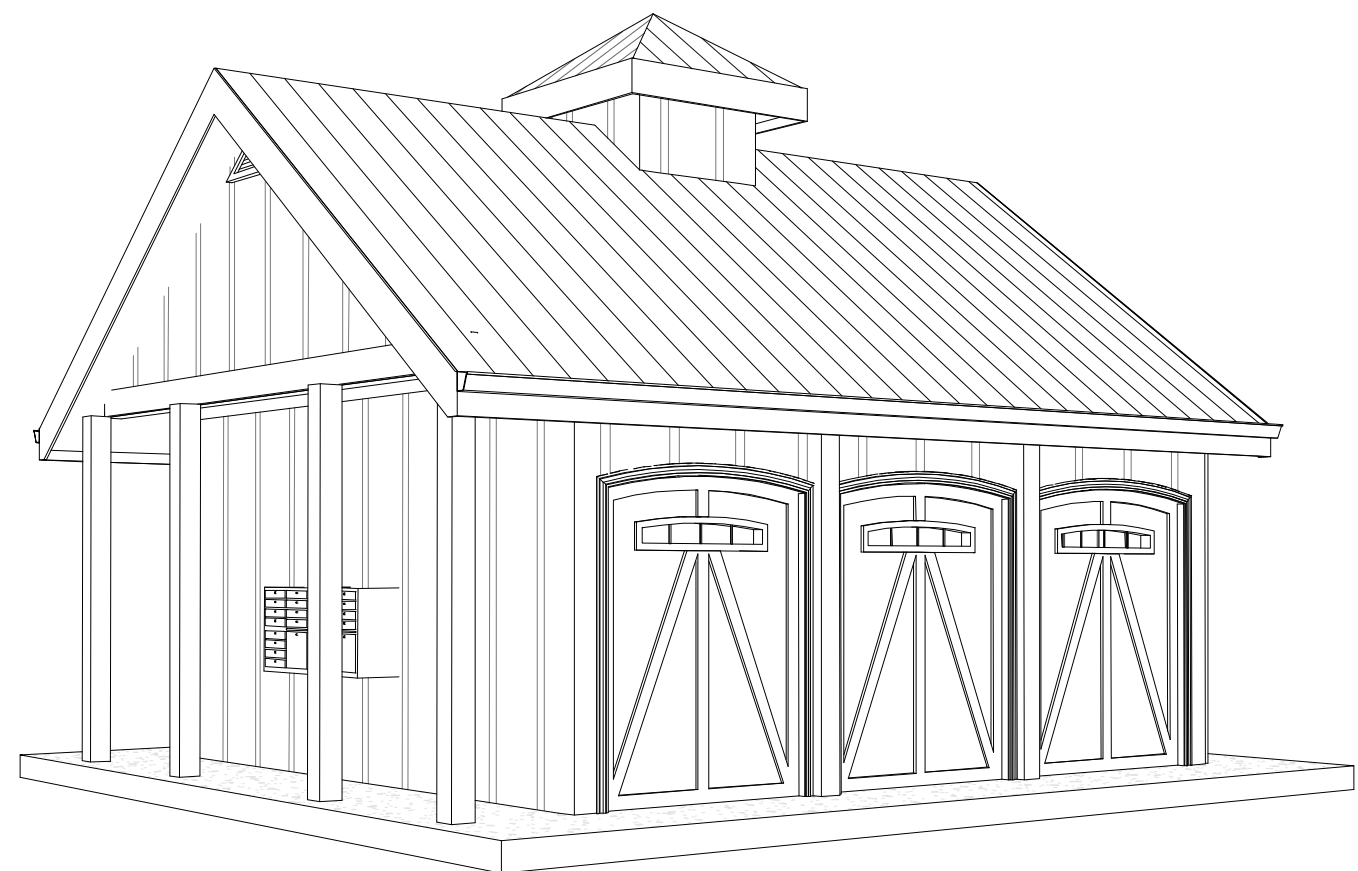
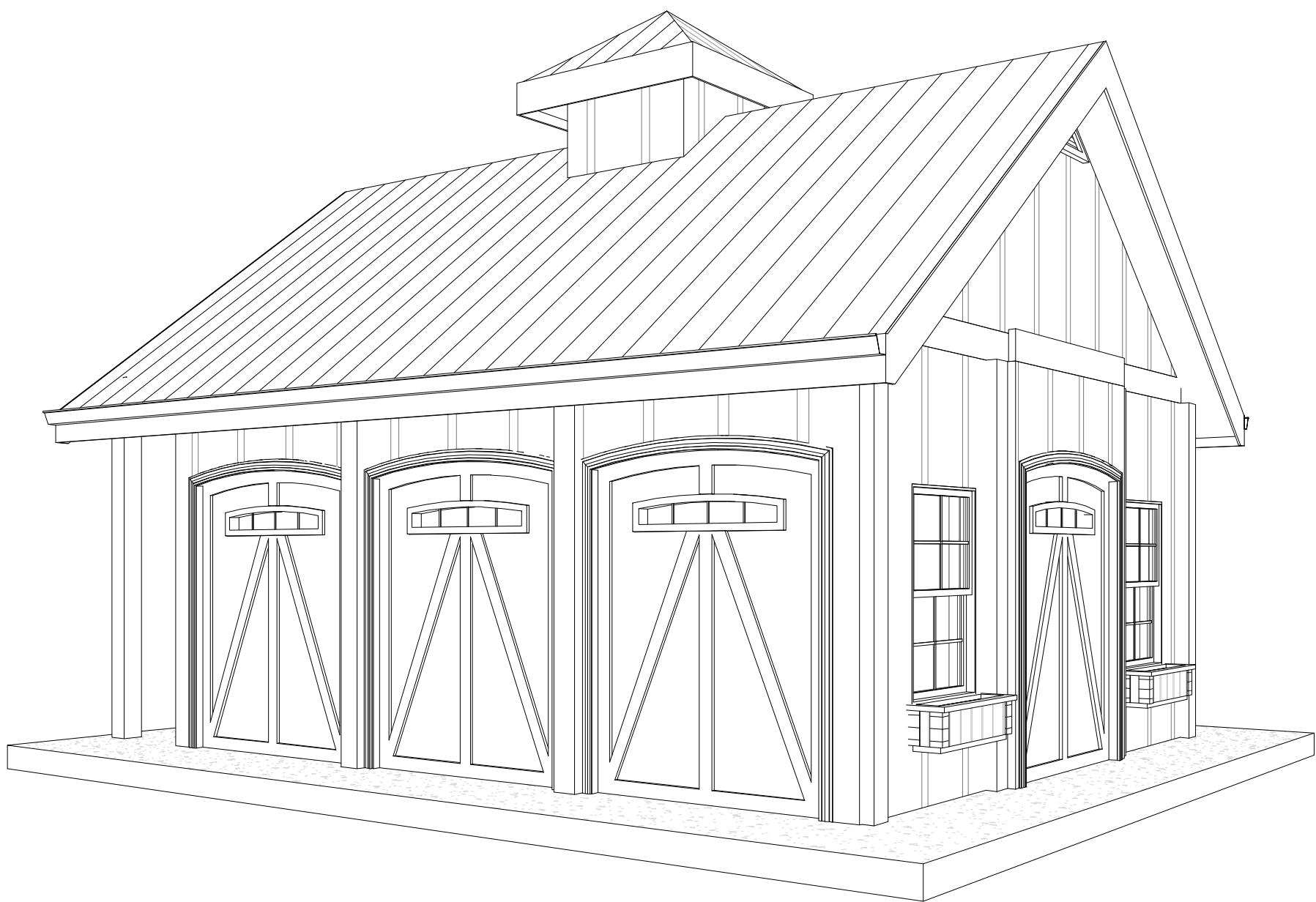
2 East
1/4" = 1'-0"



3 South
1/4" = 1'-0"



4 West
1/4" = 1'-0"





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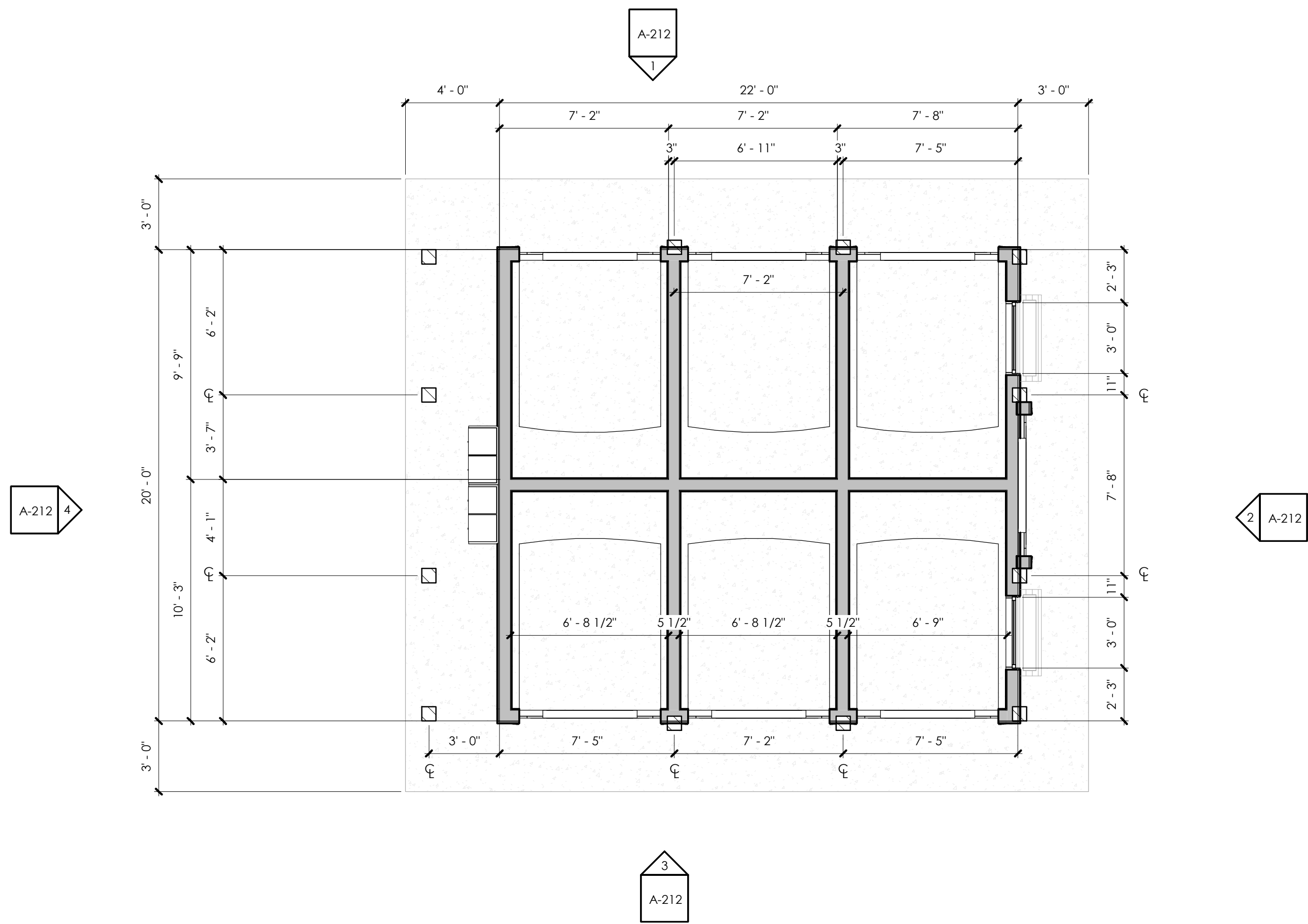
NO.	DESCRIPTION	DATE
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FIRST FLOOR
PLAN

A-111

DATE 2.13.2017
JOB NUMBER 16156
DRAWN BY ALB

1 First Floor Plan - New
1/4" = 1'-0"





February 26, 2017

4
4a
4b

Mr. Cody Riddle, Current Planning Manager
City of Boise
150 N. Capitol Boulevard
Boise, Idaho 83701

Dear Cody:

Subject: Knob Hill Subdivision

On behalf of Maddyn Homes LLC, A Team Land Consultants presents to the City of Boise a preliminary Plat, Planned Unit Development, and Rezone applications for the proposed Knob Hill Subdivision. The subject property is located at 3091 N Maple Grove Road, generally near the intersection of Maple Grove and Ustick Roads. The property contains .94 total acres, and is identified as Ada County Assessor's Tax Parcel Number R3719185632.

Project Summary

The applicant is proposing two 8-plex buildings, which will be subdivided on four lots. The site is currently zoned R-1B, with the rezone City Code (11-01-10.3), will allow this site up to 18 units. The City of Boise's Comprehensive Plan Future Land Use Map designates this site as general mixed use. The gross density of the residential area is calculated at 17.2 units per acre.

Access and Roads

The only access to the proposed development is a private drive isle off Maple Grove Road. There are no stub streets adjacent to the site or any other locations to access the public street system. The drive isle will be constructed to City and Fire standards. There will be an easement provided along the drive isle for all lots to access Maple Grove Road. Maple Grove Road is currently improved as a three-lane minor arterial, with curbs, gutters, and a seven-foot sidewalk within 126-feet of right-of-way; 48-feet adjacent to this site.

A traffic study was not included with this application due to the minimal amount of trips this site generates per day; approximately 112 trips per day or less than one in the am and pm peak hour. South of Ustick Road, Maple Grove Road was counted on 3/7/13 of having 14,917 trips per day. There is adequate capacity in Maple Grove Road to accommodate the traffic from this site.

This site is neighbored by existing residential lots to the west, multifamily units to the south, and an Idaho Power Substation to the north. Those developments were built without stub street connections to this site, therefore, we are not proposing any public or private stub streets or roadway connections to the north, south or west. There will be adequate access to Maple Grove Road via the private drive isle.

Proposed Buildings

As part of the application we are submitting color photographs of the proposed buildings. The color combination for the buildings will be a mixture of earth tones as shown on the submitted pictures. The fascia and trim will be designed in such a way as to better accent the earth tones. Variations in wall panels and rooflines are provided to also add architectural amenities to the buildings appearance. All the buildings will be constructed to a minimum of a Silver LEED standard, thus providing energy efficiency. This in turn allows the mechanical units to be constructed smaller. Two-foot fencing will be provided to screen the mechanical units.

The buildings and the facades are architecturally attractive and help function to promote a higher end rental unit. Pathways to the entrances are provided from the parking area to each unit, thus giving the owner or renter the feel of a private entrance.

Landscaping and Amenities

A landscape plan has been prepared in accordance with the City standards. There is a proposed 15-foot buffer along all the sides, and a 30-foot buffer adjacent to Maple Grove Road. All the landscaping will be maintained by a subdivision owner's association. Extensive screening will be provided to give the residence a private feel to the site.

A picnic area and gazebo will be provided in the common area for all the residence to utilize. A trash enclosures will be provided and designed to City standards with extensive landscaping to screen and reduce its visibility. There will be sidewalks provided throughout the site, and they will be extended to Maple Grove Road. In addition to the sidewalks, bike racks are provided to promote alternatives to vehicular traffic. There is an existing 6-foot cedar fence to the west and south, we will extend that to our east, where it abuts the single-family dwelling and north abutting Idaho Power and the single-family dwelling. It is the intention of the developer to install landscaping that exceeds the City requirements and provide very nice screening for our residents and adjoining properties.

Utilities, Irrigation, Storm Drainage and Parking Facilities

There are existing wet and dry utilities adjacent to this site's east property line. The developer is proposing to extend both sewer and water from the east into this development. Dry utilities will also be extended into this site to all building

Page 3

lots. Portions of the common areas will be utilized for storm drain; subsurface seepage beds will dispose of the storm water. Pressurized irrigation is proposed to all common areas.

There are 25 required parking stalls and one ADA required. There will be two bike racks provided to encourage alternatives to vehicular use. The drive isles will be designed to City and Fire standards. All storm drain will be designed to accommodate the 100 year event. During the construction of the site, a storm water pollution prevention plan will be provided and best management practices will be implemented.

Neighborhood Meetings

There was a neighborhood meeting conducted prior to submitting this application on February 21, 2017. The property owner immediately to our west showed up and expressed concern with second story windows looking down into there lots. We agreed to address this concern by providing additional landscape screening and provide smaller widows on the west side of our building that would be for lighting purposes only. There was also discussion about upgrading the Cattail's Subdivision's irrigation pump station to accommodate our site's needs. That will be pursued further when this site goes to final design. No property owners showed up immediately adjacent to the south boundary.

Vision Statement

Our vision is to promote a multifamily development to increase housing choices and enhance the community. This site is centrally with entertainment and employment centers very close. The landscape entrance at the intersection of Maple Grove Road will create a very nice appeal as you enter this site.

The building types provided are superior to the majority of multifamily developments of this nature. With the landscaping and screening provided the residents of this development will have a private feel, and the neighboring uses will have little impact from this development.

It is anticipated that the applications comply with all applicable plans and codes adopted by the City. Please notify us as early as possible if you should need additional clarification or information regarding this application. The proposed development will be a great addition to the City. I look forward to working with the City as this development moves forward in the process.

Sincerely,
A Team Land Consultants



Steve Arnold
Project & Real Estate Manager
Cc: Maddyn Homes, Kyle Enzler

Steve Arnold

From: Jerry Hastings <jhastings@adaweb.net>
Sent: Wednesday, December 7, 2016 11:45 AM
To: Steve Arnold
Subject: Knob Hill Village Subdivision Name Reservation

December 7, 2016

Steve Arnold, A Team Land Development

RE: Subdivision Name Reservation: **Knob Hill Village Subdivision**

At your request, I will reserve the name **Knob Hill Village Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



Jerry L. Hastings, PLS 5359
County Surveyor
Deputy Clerk Recorder
Ada County Development Services
 200 W. Front St., Boise, ID 83702
 (208) 287-7912 office
 (208) 287-7909 fax

From: Steve Arnold [<mailto:steve@ateamboise.com>]
Sent: Wednesday, November 30, 2016 2:20 PM
To: Sub Name Mail
Subject: RE: [EXTERNAL] Subdivision Name

Jerry,

Let's do Knob Hill Village Subdivision.

Thanks,



Steve Arnold, Project Manager
 (208) 871-7020
 1785 S Whisper Cove, Boise, Idaho 83709
steve@ateamboise.com



From: Sub Name Mail [<mailto:subnamemail@adaweb.net>]
Sent: Wednesday, November 30, 2016 2:00 PM
To: Steve Arnold <steve@ateamboise.com>
Subject: RE: [EXTERNAL] Subdivision Name

Steve;

Village has been used several times, but Knob Hill is available.

Knob Hill Village could be approved, but Village at Knob Hill could not.



Jerry L. Hastings, PLS 5359
County Surveyor
Deputy Clerk Recorder
Ada County Development Services
200 W. Front St., Boise, ID 83702
(208) 287-7912 *office*
(208) 287-7909 *fax*

From: Steve Arnold [<mailto:steve@ateamboise.com>]
Sent: Wednesday, November 30, 2016 10:15 AM
To: Jerry Hastings
Subject: [EXTERNAL] Subdivision Name

Jerry,

We would like to reserve the following name for the attached site plan:

"The Village at Knob Hill"

I do not have a surveyor yet but when we do I will send you their name. Also, we will be redesigning the concept plan to a townhouse lot project.

Thanks,



Steve Arnold, Project Manager

(208) 871-7020

1785 S Whisper Cove, Boise, Idaho 83709

steve@ateamboise.com



#105 - Annexation and Rezone

Case #: CAR17-00003

Property Information

Address

Street Number: 3091	Prefix: N	Street Name: MAPLE GROVE RD	Unit #: 			
Subdivision name: W'LY POR LOT 08 BLK 04	Block: 0	Lot: 07	Section: E2	Township: 3	Range: 1	Zoning: R-1B
Parcel Number: R3719185632	Additional Parcel Numbers: R3719185632					

Primary Contact

Who is responsible for receiving e-mail, uploading files and communicating with Boise City?

☐ Agent/Representative ☒ Applicant ☐ Owner

Applicant Information

First Name: Steve	Last Name: Arnold		
Company: A Team Land Consultants			
Address: 1785 Whisper Cove Avenue	City: Boise	State: ID	Zip: 83709
E-mail: steve@ateamboise.com	Phone Number: (208) 321-0525	Cell: (208) 871-7020	Fax: (208) 401-0977

Agent/Representative Information

Role Type: ☐ Architect ☒ Land Developer ☐ Engineer ☐ Contractor ☐ Other

First Name: Steve	Last Name: Arnold		
Company: A Team Land Consultants			
Address: 1785 Whisper Cove Avenue	City: Boise	State: ID	Zip: 83709
E-mail: steve@ateamboise.com	Phone Number: (208) 321-0525	Cell: (208) 871-7020	Fax: (208) 401-0977

Owner Information

Same as Applicant? ☒ No ☐ Yes (If yes, leave this section blank)

First Name: Robert	Last Name: Glenn III		
Company: Glenn Electric			
Address: 6376 W. Gowen Road	City: Boise	State: ID	Zip: 83709
E-mail: glennelectric1@gmail.com	Phone Number: (208) 573-2300	Cell: (208) 871-7020	Fax: (208) 401-0977

1. Neighborhood Meeting Held (Date):

2. Neighborhood Association:

3. Comprehensive Planning Area:

4. This application is a request to construct, add or change the use of the property as follows:

The applicant is requesting a rezone for the construction of two 8-plex buildings.

5. Type of Request:

☒ Rezone ☐ Annexation & Rezone

6. Current Zone:

7. Requested Zone::

8. Size of Property:

☒ Acres☐ Square Feet

9. Existing uses and structures on the property are as follows:

Vacant Land

10. Are there any existing land uses in the general area similar to the proposed use?

If so, describe them and give their locations:

Yes, to the south is multifamily and adjacent to this sites northwest corner is multifamily. To the north is an Idaho Power substation.

11. On what street(s) does the property have frontage?

Maple Grove Road

12. Adjacent property information:

Uses:

Zone:

North: Single & Multi Fa North: (R-1C) Single Family Residential

South: Multifamily South: (R-2D)Combined Residential w/Desig

East: Church Property East: (R-1C) Single Family Residential

West: Townhouse/S.F West: (R-1C) Single Family Residential

13. Why are you requesting annexation into the City of Boise?

Requesting a rezone for multifamily purposes.

14. What use, building or structure is intended for the property?

Multifamily, 8-plex buildings.

15. What changes have occurred in the area that justify the requested rezone?

Widening of Maple Grove and Ustick Roads, an increase in commercial development with a need for work force housing.

16. What Comprehensive Plan policies support your request?

Boise City's new in-fill plan that has been recently adopted (11-1-10). WB-CCN 1.3: Ustick Corridor-encourage a mix of small-scale pedestrian-oriented mixed use development within designated activity centers along the Ustick Corridor. WB-CCN 1.4: Ustick Center-promote development of the Ustick Center with mixed use and high density residential while preserving the historic character of the West Bench. WB-CCN 2.2: Compact neighborhoods, mix of housing type. WB-CCN 3.2- Boise Towne Square Mall, work force housing.

The undersigned declares that the above provided information is true and accurate.

The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

Agent/Representative Signature:

Date:

#117: Planned Unit Development

Case #: PUD17-00005

Property Information

Address

Street Number: 3091	Prefix: N	Street Name: MAPLE GROVE RD	Unit #: 			
Subdivision name: W'LY POR LOT 08 BLK 04	Block: 0	Lot: 07	Section: E2	Township: 3	Range: 1	Zoning: R-1B
Parcel Number: R3719185632	Additional Parcel Numbers: 					

Primary Contact

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Agent/Representative Information

Role Type: ☐ Architect ☒ Land Developer ☐ Engineer ☐ Contractor ☐ Other

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Owner Information

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E-mail: glennelectric1@gmail.com	Phone Number: (208) 573-2300	Cell: (208) 871-7020	Fax: (208) 401-0977

Is this a Modification application?

☐ Yes☒ No

File number being modified:

1. Neighborhood Meeting Held (Date):**2. Neighborhood Association:****3. Comprehensive Planning Area:****4. This application is a request to construct, add or change the use of the property as follows:****5. Size of Property:**☒ Acres☐ Square Feet**6. Water Issues:**

A. What are you fire flow requirements? (See International Fire Code):

gpm

B. Number of hydrants (show location on site plan):

Note: Any new hydrants/hydrant piping require United Water approval.

Number of Existing:

Number of Proposed:

C. Is the building "sprinklered"?

☒ Yes☐ No

D. What volume of water is available? (Contact United Water of Idaho at 362-7330):

gpm

7. Existing uses and structures on the property are as follows:**8. Are there any hazards on the property?**

(Such as canals, hazardous material spills, soil or water contamination.) If so, describe them and give their locations:

9. Adjacent property information:

	Building types and/or uses	Number of Stories	Zone
North:	Power Station/SF	<input type="text" value="1"/>	(R-1C) Single Family Resider
South:	Multifamily	<input type="text" value="2"/>	(R-2D) Combined Residential
East:	Church	<input type="text" value="1"/>	(R-1C) Single Family Resider
West:	Townhouse	<input type="text" value="1"/>	(R-1C) Single Family Resider

10. Non-Residential Structures:

A. Number of **Proposed** non-residential structures: 0

Square footage of proposed non-residential structures or additions (if 5+ floors, attach narrative with chart):

	Gross Square Feet	Net Leasable Square Feet
1st Floor	0	0
2nd Floor	0	0
3rd Floor	0	0
4th Floor	0	0

B. Maximum Proposed Height: C. Number of stories: D. Number of **EXISTING** non-residential structures to remain:

Square footage of existing non-residential structures or additions (If 5+ floors, attach narrative with chart):

	Gross Square Feet	Net Leasable Square Feet
1st Floor	0	0
2nd Floor	0	0
3rd Floor	0	0
4th Floor	0	0

E. Existing Structure Height(s): F. Number of Stories:

11. Residential Structures:

A. Number of **Proposed** residential units (if applicable):: 16

B. Size of Proposed residential structures (if applicable):

	Number of Units	Square Foot per Unit	Total Square Feet
One-Bedroom:	4	995	3980
Two-Bedroom:	8	1186	9488
Three-Bedroom:	4	1122	4488
Other:	0	0	0
Total Number:	16	4489	17956

C. Number of **Existing** units to remain: D. Maximum Proposed Structure Height(s): E. Number of Stories:

4b Site Design:

A. Percentage of site devoted to building coverage: 25

B. Percentage of site devoted to landscaping: 49

C. Percentage of site devoted to paving: 26

D. Percentage of site devoted to other uses: 0

E. Describe other use:

13. Loading Facilities, if proposed (For Commercial uses only):

Number: 0 Location: N/A

Size: N/A Screening: N/A

14. Parking:

	Required		Proposed
A. Handicapped Spaces:	1	Handicapped Spaces:	2
B. Parking Spaces:	24	Parking Spaces:	25
C. Bicycle Spaces:	16	Bicycle Spaces:	16
D. Proposed Compact Spaces:	1		
E. Restricted (assigned, garage, reserved spaces) parking spaces proposed:			0
F. Are you proposing off-site parking?	<input type="radio"/> Yes <input checked="" type="radio"/> No	If yes, how many spaces?	
G. Are you requesting shared parking or a parking reduction?	<input type="radio"/> Yes <input checked="" type="radio"/> No	If yes, how many spaces?	

Note: If you are requesting shared parking or a parking reduction, you must submit a survey of persons using and working on the premises and any additional information demonstrating that use by the regular employees and visitors to the premises will require fewer off-street parking spaces than required by the Zoning Ordinance.

15. Setbacks (Plans that are not graphically dimensioned will not be accepted.)

	Building		Parking	
	Proposed	Required	Proposed	Required
Front:	10	10	25	24
Rear:	20	20	25	24
Side 1:	15	15	25	24
Side 2:	15	15	25	24

16. Waivers Requested:

A. Lot size: ☐ Yes ☒ No Description:

B. Internal Setbacks: ☐ Yes ☒ No Description:

C. Frontage: ☐ Yes ☒ No Description:

17. Sidewalks:

Proposed: ☐ Attached ☒ Detached
Adjacent: ☒ Attached ☐ Detached

18. Amenities:

Number:
Description:

19. Density:

Allowed Density:
Proposed Density:

20. Building Exterior:

	Materials	Colors
Roof:	<input type="text" value="Asphalt Shingles"/>	<input type="text" value="Black"/>
Walls:	<input type="text" value="Horizontal lap wood grain"/>	<input type="text" value="Mix of earth tones"/>
Windows/Doors:	<input type="text" value="Vinyl single hung"/>	<input type="text" value="White and beige"/>
Fascia, Trim etc.:	<input type="text" value="Wood grain w/horizontal trim"/>	<input type="text" value="Mix of earth tones"/>

21. Drainage (Proposed method of on-site retention):**22. Floodways & Hillside:**

A. Is any portion of this property located in a Floodway or a 100-year Floodplain? ☐ Yes ☒ No

B. Does any portion of this parcel have slopes in excess of 15%? ☐ Yes ☒ No

Note: If the answer to either of the above is yes, you will be required to submit an additional Floodplain and/or Hillside application and additional fee. You must submit the additional required application(s) for review at the same time as this request.

23. Airport Influence Area:

Is the subject site located within the Airport Influence Area? (If yes, please mark which area.)

☒ No ☐ Area A ☐ Area B ☐ Area B1 ☐ Area C

A. PUBLIC Street Layout Review

The impacts of proposed development on adjacent land uses and transportation facilities must be considered. A "Traffic Impact Study" (TIS) will be generally required by the Ada County Highway District, if the proposed development contains no more than 100 dwelling units (includes hotels and motels as well as private dwelling units), more than 30,000 square feet of commercial use, or more than 50,000 square feet of industrial or institutional use, or has associated it with special circumstances deemed by ACHD to warrant an impact study. A copy of this study must be submitted with this application.

Is a Traffic Impact Study required?

☐ Yes ☒ No

B. PRIVATE Street Layout Review

The impacts of proposed development on adjacent land uses and transportation facilities must be considered. A "Traffic Impact Study" (TIS) prepared by a traffic engineer will be required by Public Works and Planning & Development Services for the interior roadway and parking system. This requirement may be waived when it can be shown by the applicant that no section of on-site roadway will exceed 240 vehicle trips per day.

Is a Traffic Impact Study required?

☐ Yes ☒ No

Are you proposing public street connection to adjacent properties?

☐ Yes ☒ No

25. Solid Waste:

A. Type of trash receptacles:

☐ Individual Can/Residential ☐ 3 Yd Dumpster ☒ 6 Yd Dumpster ☐ 8 Yd Dumpster ☐ Compactor

B. Number of trash receptacles:

1

C. Proposed screening method:

Block wall and landscaping

D. Is the proposed location accessible for collection? (Contact Boise Public Works at 384-3901.)

☒ Yes ☐ No

E. Is recycling proposed?

☐ Yes ☒ No

Verification of Legal Lot or Parcel Status

Acceptance of this application does not validate the legal status of any lot or parcel. Prior to submitting for a Building Permit you must have a Verification of Legal Parcel Status form signed by the Boise City Subdivision Department. It is the applicant's responsibility to provide deeds and/or other documentation to the Subdivision Department. See Verification of Legal Lot or Parcel Worksheet for submittal requirements.

The undersigned declares that the above provided information is true and accurate.

The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

Agent/Representative Signature:

Date:

Property Information

Address

Street Number: 3091	Prefix: N	Street Name: MAPLE GROVE RD	Unit #: 			
Subdivision name: W'LY POR LOT 08 BLK 04	Block: 0	Lot: 07	Section: E2	Township: 3	Range: 1	Zoning: R-1B
Parcel Number: R3719185632	Additional Parcel Numbers: 					

Primary Contact

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☐ Agent/Representative ☒ Applicant ☐ Owner

Applicant Information

First Name: Steve	Last Name: Arnold		
Company: A Team Land Consultants			
Address: 1785 Whisper Cove Avenue	City: Boise	State: ID	Zip: 83709
E-mail: steve@ateamboise.com	Phone Number: (208) 321-0525	Cell: (208) 871-7020	Fax: (208) 401-0977

Agent/Representative Information

Role Type: ☐ Architect ☒ Land Developer ☐ Engineer ☐ Contractor ☐ Other

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E-mail: steve@ateamboise.com	Phone Number: (208) 321-0525	Cell: (208) 871-7020	Fax: (208) 401-0977

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E-mail: glennelectric1@gmail.com	Phone Number: (208) 573-2300	Cell: (208) 871-7020	Fax: (208) 401-0977

1. Type of Application:

☒ Preliminary ☐ Final ☐ Preliminary/Final

2. Proposed Subdivision/Condominium Name:

Knob Hill Subdivision

Note: Must be approved by the Ada County Surveyor.

3. Cross Reference Files:

Please list all previously approved or currently associated file(s):

N/A

4. Subdivision/Condominium Features:

Number of buildable lots/units:

4

Buildable lots/units per acre:

17

Number of common lots/units:

0

Zoning Classification:

R-1B, Requesting R-2D

Total acres in subdivision:

.934

5. Building Program:

Number of Existing Buildings:

0

Number of Existing Buildings to Remain:

0

Type of Existing Buildings:

☐ Residential☐ Commercial☐ Industrial☐ Mixed Use

If Residential What Type?

☐ Single Family☐ Townhouse☐ Duplex☐ Multi-Family

Type of Proposed Buildings:

☒ Residential☐ Commercial☐ Industrial☐ Mixed Use

If Residential What Type?

☐ Single Family☐ Townhouse☐ Duplex☒ Multi-Family

6. Waivers or Modifications:

Are any waivers/modifications being requested from the Subdivision Ordinance?

☐ Yes☒ No

If yes, please include a detailed explanation in your letter.

An additional waiver/modification review fee must be paid at the time of submittal.

7. Private Streets:

Are private streets proposed?

☐ Yes☒ No

If yes, please provide justification in the letter of explanation.

An additional private street review fee must be paid at the time of submittal.

8. Public Streets:Number of new public
streets proposed:**9. Floodways & Hillsides:**Is any portion of this property located in a Floodway or a 100-
year Floodplain?☐ Yes☒ No

Does any portion of this parcel have slopes in excess of 15%?

☐ Yes☒ No**Note:** If the answer to either of the above is yes, you will be required to submit an additional #112 Floodplain and/or #114 Hillside application and additional fee.**11. Airport Influence Area:**

Is the subject site located within the Airport Influence Area? (If yes, please mark which area.)

☒ No☐ Area A☐ Area B☐ Area B1☐ Area C

The undersigned declares that the above provided information is true and accurate.

The undersigned acknowledges that failure to provide true and accurate information may result in rejection of this application, possible revocation of the permit where wrongfully issued and subject the undersigned any applicable civil and/or criminal penalties.

Agent/Representative Signature:**Date:**



Planning & Development Services

Boise City Hall, 2nd Floor
150 N Capitol Boulevard
P.O. Box 500
Boise, Idaho 83701-0500

Phone: 208/608-7100
Fax: 208/384-3867
TDD/TTY: 800/377-3529
Website: www.cityofboise.org/pds

4
4a
4b

Planning Division Project Report

File Numbers	CAR17-00003, PUD17-00005 & SUB17-00012
Applicant	Steve Arnold / A Team Land Consultants
Property Address	3091 N Maple Grove Rd
Public Hearing Date	April 3, 2017
Heard by	Planning and Zoning Commission
Analyst	Céline Acord, Associate Planner
Reviewed by	Cody Riddle, Current Planning Manager

Public Notification

Neighborhood meeting conducted:	February 21, 2017
Staff posted notice on site on:	March 17, 2017
Radius notices mailed to properties within 300 feet on:	March 17, 2017
Newspaper notification published on:	March 18, 2017

Table of Contents

1. Project Data and Facts.....	2
2. Land Use.....	2
3. Project Proposal.....	3
4. Development Code.....	4
5. Comprehensive Plan.....	4
6. Transportation Data	4
7. Analysis.....	5
8. Findings.....	8
9. Recommended Conditions of Approval.....	11

Exhibits

Agency Comments

1. Project Data and Facts

Project Data	
Owner	Robert Glenn
Representative	Steve Arnold / A Team Land Consultants
Location of Property	3091 N Maple Grove Rd
Size of Property	0.93 acres
Current Zoning	R-1B (Single Family Residential)
Requested Zoning	R-2D (Medium Density Residential with Design Review Overlay)
Comprehensive Plan Designation	Mixed Use
Planning Area	West Bench
Neighborhood Association/Contact	West Valley / Jim Szatkowski
Procedure	The Planning and Zoning Commission is a recommending body on the Rezone and Subdivision and renders a final decision (absent an appeal) on the Planned Unit Development.

Current Land Use
The property is currently vacant.

Description of Applicant's Request
The applicant is seeking to rezone the property from R-1B to R-2D. Also included is a conditional use permit for a 16-unit planned residential development comprised of two apartment buildings with a four-lot subdivision.

2. Land Use

Description and Character of Surrounding Area
The site is located near the intersection of Maple Grove and Ustick. The area has a variety of residential uses, including small and large lot detached single-family, attached townhomes, multi-family, and a manufactured home community. There are a few office and commercial uses at the intersection and existing transit stops, approximately 250 feet from the site.

Adjacent Land Uses and Zoning	
North:	Single-Family Dwelling and Vacant Parcel / R-1C
South:	Single-Family Dwelling and Multi-Family Residential / R-1B and R-2D
East:	Maple Grove Rd, then a Vacant Lot, Urban Farm, and Church / R-1C
West:	Attached and Detached Townhomes / R-1C

Site Characteristics
There is an existing easement along the south property line that allows the neighbor's carport to encroach into the site.

History	
A-14-94	Annexation into Boise City (Approved)
CAR99-00066	Rezone from R-1B to R-2 (Denied)
CAR02-00032	Rezone from R-1B to R-2 (Denied)

3. Project Proposal

Structure(s) Design

Number and Proposed Use of Structures
2 apartment buildings each with 8 units and 2 storage buildings
Number of Stories
Apartment Buildings: 2-story, approx. 28' tall / Storage Buildings: 1-story, approx. 14' tall
Amenities
The project is 0.93 acres in size and is not required to provide amenities. However, the project includes a picnic area and a gazebo.

R-2 Perimeter Setbacks

Yard	Residential Building		Storage Buildings		Parking	
	Required	Proposed	Required	Proposed	Required	Proposed
Front (Maple Grove)	20'	160'	20'	7'*	20'	30'
Side (north)	15'	39'	5'	7'*	5'	5.5'
Side (south)	15'	15'	5'	14'	5'	15'
Side (east)	15'	14'*	5'	N/A	15'	N/A
Rear (west)	15'	14'*	15'	N/A	15'	100'

* A recommended condition of approval will require these structures comply with the setbacks.

Parking

Proposed		Required	
Total parking spaces proposed:	25	Total parking spaces required:	22*
Accessible spaces proposed:	2	Accessible spaces required:	1
Number of compact spaces proposed:	1	Number of compact spaces allowed:	8
Bicycle parking spaces proposed:	**	Bicycle parking spaces required:	16
Parking Reduction requested?	No	Off-site Parking requested?	No

* A parking reduction of 10% is allowed per the Multi-Family Standards (*BCC 11-06-03.2*).

** Two bicycle racks are shown on the submitted plans. They do not meet the standards of *BCC 11-07-03.3(B)*. A recommended condition of approval will require a minimum of 16 bicycle spaces in compliance with the Code.

Density

The R-2 zone allows 14.5 units per acre. The density allowed for this site is 13 units. However, the Multi-Family Standards (*BCC 11-06-03.2*) allows a density bonus for properties located adjacent to an arterial roadway with existing transit services. Maple Grove has existing transit, so 18 units are allowed. The applicant is proposing 16 units.

4. Development Code

Section	Description
11-03-04.3	Rezone Specific Procedures
11-03-04.4	Subdivision Plat Specific Procedures
11-03-04.7	Planned Unit Development Specific Procedures
11-04-03	Residential Districts
11-06-03.2	Multi-Family Standards
11-07-03	Off-Street Parking and Loading Standards
11-07-05	Landscaping, Fences, Walls, and Screening
11-07-06.5	Planned Unit Development Standards
11-09-03	Subdivision Design Standards

5. Comprehensive Plan

Chapter	Principles, Goals and Policies
Chapter 2: Citywide Policies	Goal PDP1.1 and 1.2: Infill Priority Areas and Incentives Goal CC1.1: Reduce Vehicle Miles Traveled
Chapter 3: Community Structure & Design	Principle GDP-MU.2: Housing Principle GDP-MU.6: Transit Access
Chapter 4: Planning Area Policies (West Bench Planning Area)	Goal WB-CCN 2.2: Compact Neighborhoods Goal WB-NC 3: Neighborhood Plans
Ustick Neighborhood Plan	Land Use Zoning Concept Master Plan

6. Transportation Data

This development is estimated to generate 93 vehicle trips per day; 8 vehicle trips per hour in the PM peak hour, based on the *Institute of Transportation Engineers Trip Generation Manual, 9th edition*.

Condition of Area Roadways

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service (LOS)
Maple Grove Rd	100-feet	Minor Arterial	734	"F"

*Acceptable level of service for a three-lane principle arterial is "E" (720 VPH). The average daily traffic count for Maple Grove Rd, south of Ustick Rd, was 15,426 on July 9, 2015.

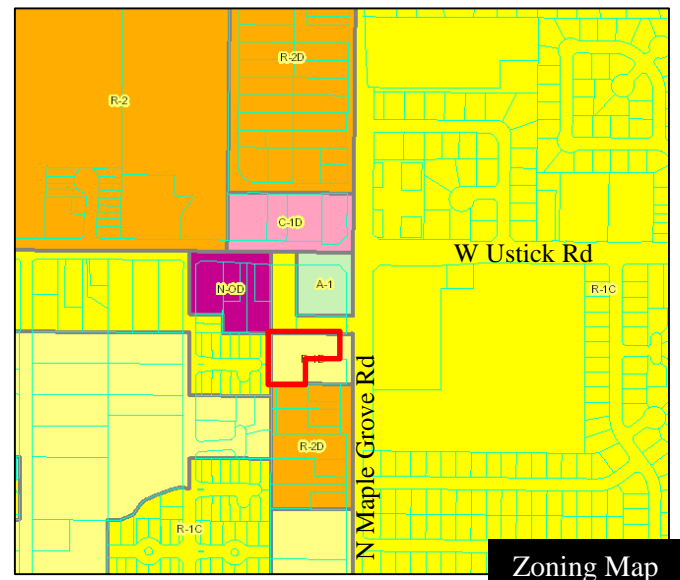
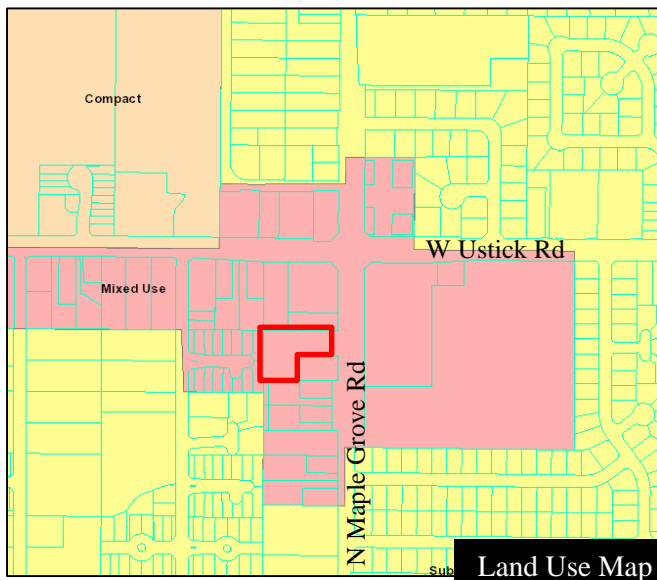
ACHD (Ada County Highway District) Staff Comments/Recommendations:

Maple Grove Road is listed as an existing 5-lane deficiency in the CIP. The intersection of Maple Grove Road/Ustick Road operates at acceptable LOS "D" and the Maple Grove Road/Fairview Avenue intersection operates at acceptable LOS "E". Maple Grove Road is listed in the CIP, and is planned for future widening. The costs associated with widening Maple Grove Road (\$3,500,000) make it infeasible for the applicant to construct the improvements, and the right-of-way for this corridor has not yet been acquired so the road cannot be widened. Based on the findings above, staff recommends a waiver of District Policy 7106.4.1 Level of Service Standards.

7. Analysis

Rezone

The parcel is designated as “Mixed Use” in the Land Use Map of *Blueprint Boise*. This designation allows a zone change to R-2, and would also allow A-1, R-1A, R-1B, R-1C, R-1M, R-3, L-O, N-O, R-O, C-1, C-2, C-3, C-4, C-5, PC, H-S, M-1, M-2, M-4, and T-1. The area is surrounded mostly by residential uses within the “Suburban” land use designation. The industrial or technological zoning districts would be inappropriate adjacent to so many residential zones and uses. Commercial or office zoning could be suitable in a mixed-use area that is seemingly becoming an activity center. However, the main area for this parcel is in the rear and setback away from Maple Grove Rd. The uses allowed within commercial or office zones may be too intense adjacent to the variety of existing residential uses. Other zones such as the PC or H-S are more appropriate for a pedestrian-friendly environment and health services. These zones are not present in the area nor is the parcel large enough to truly provide for such uses.



Other applicable zones within the “Mixed Use” designation are residential zones. Although any of the lower density residential zones would be compatible, Maple Grove is an arterial roadway with an existing transit route. Low density residential would be an underutilization of the site and would likely not increase transit ridership. The higher density zones, such as R-1M or R-3, would be suitable options, however, the *Ustick Concept Master Plan* calls for R-2 zoning. The proposal for R-2D zoning complies with the Comprehensive Plan and the adopted neighborhood plan. Also, the addition of the “D” for a Design Review overlay district will ensure the appearance of buildings and site improvements are consistent with the goals of the City.

The property owner has requested R-2 zoning twice in the past and both have been denied. However, the rezone requests were not accompanied with a development proposal. Although rezone requests have been approved without proposals, Maple Grove Rd was operating at a LOS “F” and the intersections of Maple Grove/Ustick and Maple Grove/Fairview were not expanded at the time. For this application, a specific product type is proposed and ACHD can now approve it with its associated trip generation.

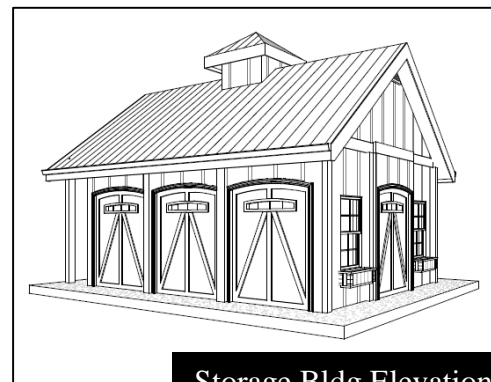
Planned Unit Development

The proposal includes two apartment buildings each with eight units, for a total of 16 units, with an associated parking lot. Also on site is a gazebo and picnic area with a landscape buffer surrounding the buildings. The apartment buildings include four 1-bedroom units, eight 2-bedroom units and four 3-bedroom units. Each unit has a private porch area. They vary in size from 36 to 68 square feet. Usually 100 square feet is required, however, with the inclusion of a gazebo and picnic area that serve as amenities for the residents, a waiver can be granted for the size of the private open space.



Apartment Elevation

The initial design only included the two apartment buildings set in the rear of the property with the parking lot along Maple Grove Rd. The *Citywide Design Standards & Guidelines* require buildings to be placed along the street. The applicant stated that with minimum dimensional requirements for a two-way service drive and setbacks for 2-story multi-family structures there was little room to design marketable livable space. As a compromise, the applicant proposed two storage buildings at the entrance of the site. Each structure has 6 storage bays, 68 square feet in size, for a total of 12 storage bays to be used by the residents. Also included in the rear of the storage buildings is a covered awning to house cluster mailboxes for the units. Although these buildings are not considered living space along the street frontage, they have adorned façades that include two windows, hanging planter boxes and a door with windows. Each side has three doors for the storage bays and there is also a decorative cupola atop the gabled roof. With these stylized façades, this is an acceptable compromise in order to comply with the standards for buildings fronting the street.



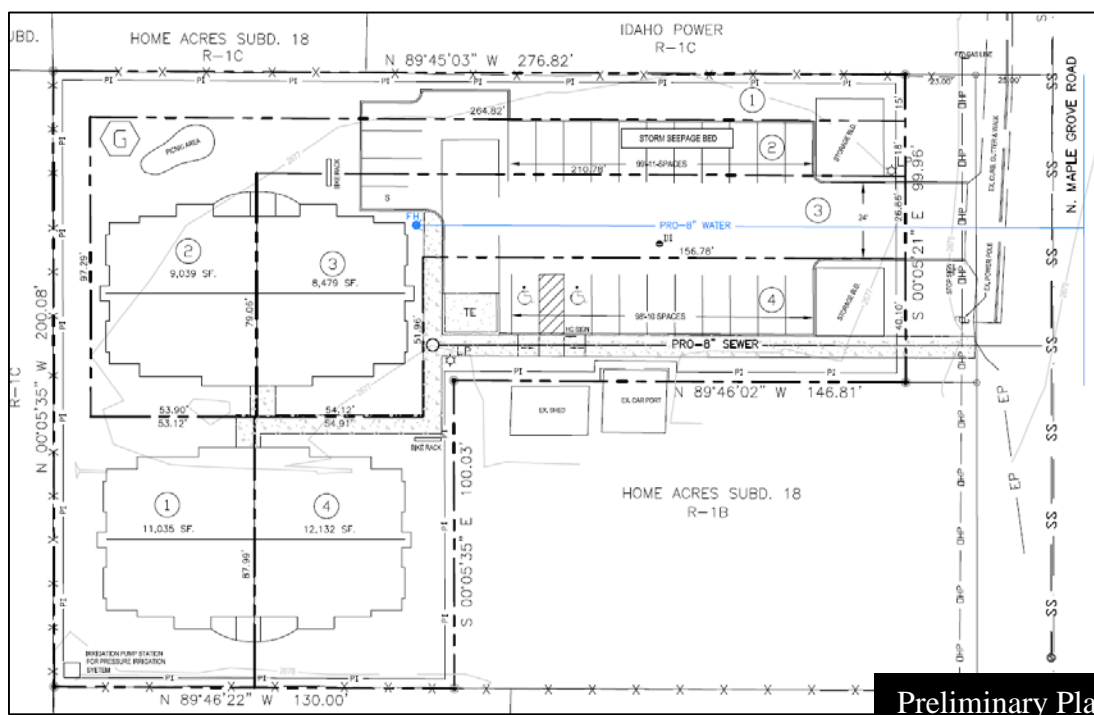
Storage Bldg Elevation

The storage buildings are currently seven feet away from the east property line. A recommended condition of approval will require the structures comply with the 20-foot setback. This will require the removal of parking spaces. Currently, 25 parking spaces are proposed. The minimum required parking spaces for 16 units is 22 spaces. However, since the project is located within 1,320 feet of an existing transit line, the Multi-Family Standards (*BCC 11-06-03.2*) allows for a 10% reduction of parking. The minimum number of required parking spaces is 20 (with a maximum of 8 compact spaces allowed). As long as the number of parking spaces does not go below 20, with the shifting of the storage buildings to the west, this can be allowed.

Within the setbacks, the applicant has proposed lawn with a perimeter line of trees. The Parks & Recreation Department has made recommendations on the selection and placement of the plant materials, as well as the procedure of planting. A recommended condition of approval will require the applicant to comply with these comments. The perimeter of the project will be fenced, which will include a bump out around the neighbor's carport along the south property line. There is an existing easement that allows for this encroachment. Lastly, the proposed bike racks are located within the planter beds. This does not meet the standards listed in *BCC 11-07-03(B)*. A recommended condition of approval will require bicycle parking to be in compliance with the Code. With the rezone to R-2D, what is proposed for the exterior façade and site improvements will also be reviewed by the Design Review Team prior to issuance of a building permit.

Subdivision

The applicant has also submitted a Preliminary Plat for a four-lot subdivision. As shown below, the property boundary lines divide each 8-plex in half and cut across the parking lot, storage buildings and service drive to gain street frontage along Maple Grove Rd. However, the PUD application can provide a waiver to the required street frontage. The proposed lots are oddly shaped and jog around buildings and will create oddities for addressing. A recommended condition of approval will require the applicant to provide five lots: Lot 1 would encompass the parking lot, service drive and storage buildings, and Lots 2-5 would still divide the 8-plexes in half. With this redesign, Lot 1 would be a private street for the multi-family residential development. The applicant will be required to comply with these standards listed in *BCC 11-09-03.5*.



The access point into the site does not currently meet ACHD policies. It will be approved for the time being but may very well be restricted to right-in/right-out in the future. With regards to connectivity, all nearby subdivisions have cul-de-sacs or have shared or common driveways that create no opportunity for connection. However, if the property to the south ever redevelops, a condition of approval requires this site to provide cross access.

8. Findings

Rezoned: Section 11-03-04.3(7)(c)

(i) *Is in compliance with the Comprehensive Plan.*

The Planning Team's review supports this finding. The site is designated as "Mixed Use" per the Boise City Comprehensive Plan Land Use Map and R-2 is one of the permissible implementing zones. Almost every zoning district is allowed, however, most would be inappropriate for this particular site. The area is surrounded by a variety of residential uses and adding to the mix of residential types would be better suited for this particular parcel due to its configuration setback from the street.

The property is identified as an Area of Significant New Development in *Blueprint Boise*. This neighborhood is intended to accommodate a mix of housing types, while maintaining the design principles of a compact neighborhood (*Goal WB-CNN 2*). Higher density that is within 0.25 miles of existing transit stops is highly encouraged to promote increased ridership over time (*Principle GDP-MU.2 and GDP-MU.6*).

Blueprint Boise also supports the implementation of adopted neighborhood plans (*Goal WB-NC 3*). The neighborhood plan for the area, the *Ustick Concept Master Plan*, anticipates some redevelopment in the area. The Plan recommends R-2 zoning along Maple Grove. This is consistent with the overall vision for the area and evolving development pattern. Much of the adjacent and surrounding neighborhood is developing with duplexes, attached townhomes and multi-family residential.

(ii) *Is in the best interests of the public convenience and general welfare.*

The rezoned of this property to R-2D is in the best interest of the public convenience and general welfare. A residential use would be the best use of this property due to it being setback from Maple Grove Rd and surrounded by other residential uses and zoning districts.

If future development occurs at the intersection of Maple Grove and Ustick Roads or on the large vacant parcel to the east, a higher density residential zone would be encouraged in order to support the potential office or commercial businesses that could develop. Furthermore, there is an existing transit stop 250 feet away from the site. It is in the best interest to locate higher density residential next to transit routes in order to increase ridership for the Valley Regional Transit system.

(iii) *Maintains and preserves compatibility of surrounding zoning and development.*

The proposed R-2D zoning district would maintain and preserve the compatibility of the surrounding zoning and development. R-2D zoning exists to the south along Maple Grove. Higher density is encouraged along arterial roadways and will act as a buffer for the lower density residential to the west. Meanwhile, the area surrounding the intersection of Maple Grove and Ustick Roads are designated "Mixed Use" which will continue to encourage higher density and a mix of zoning districts and uses.

Planned Unit Development: Section 11-03-04.7.C(7)

The PZC shall approve, approve with modifications, or deny each application pursuant to section 11-03-03.4 and according to the following criteria:

a) The location is compatible to other uses in the general neighborhood;

The project is compatible with the surrounding zoning and development. The adjacent zones are low and medium density residential and office zoning with residential uses. The adjacent properties include a variety of housing types such as four-plexes, attached and detached townhomes, and duplexes, all either 1- or 2-stories in height. Introducing 2-story apartment buildings will maintain compatibility while providing more residential to an existing transit route.

b) The proposed use will not place an undue burden on transportation and other public facilities in the vicinity;

Correspondence has been received from commenting agencies. The Public Works Department submitted standard comments and conditions of approval regarding street lights, pressure irrigation, sewer and pretreatment. However, solid waste noted that there needs to be at least 50 feet of clearance in front of the trash enclosure. Compliance for this can be reviewed during the Design Review application. The Fire Department also approved the proposal with standard conditions.

ACHD submitted their comments in a draft staff approval report received on March 21, 2017, although the approval is subject to the ACHD Commission public hearing on April 5, 2017. They noted that the section of Maple Grove Rd from Ustick Rd to Fairview Ave exceeds the acceptable level of service for a three-lane minor arterial. However, the intersections north and south of the site are signalized and function at an acceptable level of service. The report also mentions that this site may be restricted to right-in/right-out in the future when Maple Grove Rd is widened.

c) The site is large enough to accommodate the proposed use and all yards, open spaces, pathways, walls, fences, parking, loading, landscaping, and such other features as are required by this Code;

The site is large enough to accommodate the proposed use. The project is utilizing and complying with the Multi-Family standards. The residential structures are 2-stories in height and require increased setbacks as a multi-family product but requesting reduced internal setbacks which can be granted. Also, a density increase is allowed as the project is near an existing transit stop. The R-2 zone allows 14.5 units per acre. The density allowed for this site is 13 units. However, the Multi-Family Standards (BCC 11-06-03.2) allows a density bonus for up to 18 units. The applicant is proposing 16 units.

Amenities and private open space are proposed with the project, as well as two storage buildings that are available for tenant use. As conditioned, there is also adequate parking available for the project. The subject site will be fenced around the perimeter, including the bump out around the neighbor's carport where an easement exists for this encroachment.

- d) ***The proposed use, if it complies with all conditions imposed, will not adversely affect other property in the vicinity;***

With the attached conditions of approval, the project will not adversely impact other properties in the vicinity. The residential portion of the development will operate in a similar manner to the existing multi-family buildings located to the north and south, and be compatible with the single-family homes to the west. There will be a six-foot tall fence along the project boundary that will help mitigate the impact of vehicle noise and headlights to the adjacent neighbor to the south. The storage buildings along Maple Grove Rd will be compatible with the overall development and provide building presence along the street. In addition, all perimeter setbacks, building heights, and parking requirements are in compliance with the Development Code.

- e) ***The proposed use is in compliance with the Comprehensive Plan;***

The project is in compliance with the Comprehensive Plan. The parcel is currently vacant and is considered an infill project which is supported by *Goal PDPI.1* and *Goal CCI.1*. Within the West Bench Planning Area, this site anticipates significant new development within the Areas of Change map, *Goal WB-CCN 2.2* also supports this type of infill.

Although the intersection of Maple Grove and Ustick is not considered an activity center, the “Mixed Use” designation and existing transit certainly deems the start of a new activity center. Higher density residential is highly encouraged in these types of areas. This project utilizes density bonuses within City Code which is encouraged by *Goal PDPI.2*. Likewise, *Principle GDP-MU.2* and *Principle GDP-MU.6* supports higher density near transit stops in order to promote increased ridership over time.

- f) ***A multi-family building (any building containing more than two residential units) is designed to comply with the Citywide Design Standards and Guidelines.***

Much of the project is in compliance with the *Citywide Design Standards and Guidelines*. There is building presence along the right-of-way in the form of two storage buildings. Although not considered living space for the project, 26% of the façade is comprised of windows and doors. The building materials will match the two residential buildings, which include hardi-plank siding, vertical board and batten and cultured stone veneer. Additionally, the Parks & Recreation Department provided recommendations regarding plant selection. Similar standards are required of the *Guidelines* and the applicant will need to comply with these comments. Lastly, the currently proposed parking lot requires a landscape planter every 10 spaces. However, with the attached conditions of approval, this configuration may very well change and not require the landscape planter. With the proposed zoning of R-2D, the Design Review Team will also review the project.

9. Recommended Conditions of Approval

Site Specific

1. Compliance with plans and specifications submitted to and on file in the Planning and Development Services Department dated received **February 28, 2017**, and the storage building plans and revised preliminary plat received on **March 13, 2017**, except as expressly modified by the Design Review Committee or the following conditions:
2. **Planned Unit Development**
 - a. The storage buildings along Maple Grove Rd shall comply with the front setback of 20 feet.
 - b. The residential structures may have a reduced internal side yard setback of zero feet and shall comply with the Multi-Family Standard (*BCC 11-06-03.2*) perimeter setbacks of 15 feet.
 - c. The minimum parking allowed for 16 residential units is 20 standard spaces with at least 1 ADA space and can include no more than 8 compact spaces.
 - d. Bicycle parking for this project shall comply with the standards of *BCC 11-07-03.3(B)*.
 - e. Provide a six-foot high solid fence around the perimeter of the property where it does not currently exist.
 - f. A Design Review Permit shall be approved prior to the issuance of a Building Permit.
 - g. The applicant shall provide cross access on reasonable terms and conditions with the adjacent property to the south (R3719185660) if the property redevelops to include a compatible use.
3. **Subdivision**
 - a. Adjust the lot lines in order to create five lots which will separate the parking lot, service drive and storage buildings from the residential buildings. The service drive will be required to comply with *BCC 11-09-03.5*.
 - b. The streetlight fixtures shall be of a design that will focus the light down to prevent light to trespass from the subdivision.
 - c. A note on the face of the Final Plat shall state: *"The development of this property shall be in compliance with the Boise City Development Code or as specifically approved by PUD17-00005."*

-
- d. A note on the face of the Final Plat shall designate that any Common Lots shall be owned and maintained by the Knob Hill Village Subdivision Homeowner's Association. These lots cannot be developed for residential purposes in the future. The common lots shall be designated by Lot and Block.
 - e. Covenants, homeowners' association by-laws or other similar deed restrictions which provide for the use, control and maintenance of all common areas, private streets, shared access and shared parking, shall be consistent with the Fair Housing Act of 1968, as amended from time to time, shall be reviewed and approved by the Boise City Attorney. After recordation of the final plat and CC&R's, no building permit shall be accepted until a copy of the recorded CC&R's has been submitted to the Boise City Attorney.
 - f. Prior to submitting the Mylar of the Final Plat for the City Engineer's signature, all the conditions of approval must be satisfied. Approvals must be provided on agency letterhead.
 - g. The Mylar shall include the following endorsements or certifications: signatures of owners or dedicators and acknowledgment, certificate of the surveyor, certificate of the Ada County Surveyor, certificate of the Central District Health Department, certificate of the Boise City Engineer, certificate of the Boise City Clerk, signature of the Commissioners of ACHD and the Ada County Treasurer (IC Title 50-17). The signatures of the owners or dedicator, certificate of the surveyor, certificate of the Central District Health Department and acceptance of the Commissioners of ACHD must be executed prior to submittal of the Mylar for the City Engineer's signature.
 - h. Prior to the City Engineer's Certification of the Final Plat and prior to earth disturbing activities, an erosion and sediment control (ESC) permit must be obtained. An ESC plan conforming to the requirements *BCC 8-17*, is to be submitted to the Director of Planning and Development Services for review and approval. No grading or earth disturbing activities may start until an approved ESC permit has been issued.
 - i. An individual who has attended the Boise City Responsible Person (RP) certification class, or has obtained Interim Certification for Responsible Person is not identified for this project. A permit will not issue until such time as the name and certification number of the RP has been provided to Boise City. Contact Erosion Control with this information at 208-608-7100 or via fax at 208-388-4735.
 - j. No Building Permit for the construction of any new structure shall be accepted until the Final Plat has been recorded pursuant to the requirements of the *BCC 11-09-04.1*.
 - k. The developer shall make arrangements to comply with all requirements of the Boise City Fire Department and verify in one of the following ways:
 - i. A letter from the Boise City Fire Department stating that all conditions for water, access, and/or other requirements have been satisfied,

OR

- ii. A non-build agreement has been executed and recorded with a note on the face of the Final Plat identifying the instrument number.

NOTE: "No Parking" signs and curb painting shall be required on streets having a width less than 36-feet, back of curb to back of curb. Contact the Boise City Fire Department for sign placement and spacing. Developer may either construct prior to final platting or post bond in the amount of 110% of the estimated costs with the Boise City Planning and Development Services Department.

- l. The name, **Knob Hill Village Subdivision**, is reserved and shall not be changed unless there is a change in ownership, at which time, the new owner(s) shall submit their new name to the Ada County Engineer for review and reservation. Should a change in name occur, applicant shall submit, in writing, from the Ada County Engineer, the new name to the Department of Planning and Development Services and re-approval by the Council of the "revised" Final Plat shall be required. Developer and/or owner shall submit all items including fees, as required by the Planning and Development Services Department, prior to scheduling the "revised" Final Plat for hearing.
- m. Correct street names as approved by the Ada County Street Name Committee shall be placed on the plat (*BCC 9-06-05.M*).
- n. A letter of acceptance for water service from the utility providing same is required (*BCC 11-09-04.3*).
- o. Developer shall provide utility easements as required by the public utility providing service (*BCC 11-09-04.12*).
- p. Developer shall provide a letter from the United States Postal Service stating, "The Developer and/or Owner has received approval for location of mailboxes by the United States Postal Service."

Contact: Dan Frasier, Postmaster
770 S 13th Street
Boise, ID 83708-0001
Phone: 208-433-4301

- q. Prior to submitting the Final Plat for recording, the following endorsements or certifications must be executed: Signatures of owners or dedicators, Certificate of the Surveyor, Certificate of the Ada County Surveyor, Certificate of the Central District Health Department, Certificate of the Boise City Engineer, Certificate of the Boise City Clerk, signatures of the Commissioners of the Ada County Highway District and the Ada County Treasurer (IC Title 50, Chapter 13).
- r. Developer shall comply with *BCC 11-03-04.4* which specifies the limitation on time for filing and obtaining certification. Certification by the Boise City Engineer shall be made within two years from date of approval of the Final Plat by the Boise City Council.

- i. The developer may submit a request for a time extension, including the appropriate fee, to the Boise City Planning and Development Services Department for processing. Boise City Council may grant time extensions for a period not to exceed one year provided the request is filed, in writing, at least twenty working days prior to the expiration of the first two-year period, or expiration date established thereafter.
- ii. If a time extension is granted, the Boise City Council reserves the right to modify and/or add condition(s) to the original preliminary or Final Plat to conform with adopted policies and/or ordinance changes.
- iii. The Final Plat shall be recorded with the Ada County Recorder within one year from the date of the Boise City Engineer's signature. If the Final Plat is not recorded within the one-year time frame it shall be deemed null and void.

Agency Requirements

4. The applicant shall comply with the requirements of the draft ACHD staff approval report dated **March 21, 2017**, which is subject to the decision of the ACHD Commission on **April 5, 2017**.
5. The applicant shall comply with the requirements of the Boise City Public Works Department (BCPW). The following is a list of department comments by division:

PUD

Sewer – **March 1, 2017**

Pre-Treatment – **March 2, 2017**

Street Lights – **March 2, 2016**

Solid Waste – **March 3, 2017**

Subdivision

Street Lights – **March 2, 2017**

Sewer & Pressure Irrigation – **March 2, 2017**

Solid Waste – **March 3, 2017**

Please contact BCPW at 208-608-7150. All items required by BCPW shall be included on the plans/specifications that are submitted for a Building Permit. Please note that any changes or modifications by the owner to the approved plans must be submitted to the Public Works Department for approval.

6. The applicant shall comply with all requirements of the Boise Fire Department from the memo dated **March 16, 2017**. Any deviation from this plan is subject to Fire Department approval. For additional information, contact Ron Johnson at 208-570-6500.
7. The applicant shall comply with the requirements of the Boise Parks & Recreation Forestry Specialist identified in the memo dated **March 17, 2017**.
8. The applicant shall comply with the requirements of the PDS Building Department Plan Review comments dated **March 16, 2017**.

9. The applicant shall comply with the requirements of the Independent School District of Boise City #1 comments dated **March 6, 2017**.
10. The applicant shall comply with the requirements of the Central District Health Department comments dated **March 7, 2017**.
11. The applicant shall comply with the requirements of the Central District Health Department comments dated **March 14, 2017**.

Standard Conditions of Approval

12. All landscaping areas shall be provided with an underground irrigation system. Landscaping shall be maintained according to current accepted industry standards to promote good plant health, and any dead or diseased plants shall be replaced. All landscape areas with shrubs shall have approved mulch, such as bark or soil aid.
13. Swales/retention/detention areas shall not be located along the streets, unless it can be shown that landscaped berms/shrubs will screen the swales.
14. In compliance with Title 9, Chapter 16, Boise City Code, anyone planting, pruning, removing or trenching/excavating near any tree(s) on ACHD or State right-of-ways must obtain a permit from Boise City Community Forestry at least one (1) week in advance of such work by calling 208-608-7700. Species shall be selected from the Boise City Tree Selection Guide.
15. Deciduous trees shall be not less than 2" to 2 1/2" inch caliper size at the time of planting, evergreen trees 5' to 6' in height, and shrubs 1 to 5 gallons, as approved by staff. All plants are to conform to the American Association of Nurseryman Standards in terms of size and quality.
16. Any outside lighting shall be reflected away from adjacent property and streets. The illumination level of all light fixtures shall not exceed two (2) footcandles as measured one (1) foot above the ground at property lines shared with residentially zoned or used parcels.
17. Trash receptacles and on-grade and rooftop mechanical fixtures and equipment shall be concealed from public view by use of an approved sight-obscuring method. All screening materials shall be compatible with the building materials/design.
18. Utility services shall be installed underground.
19. An Occupancy Permit will not be issued by the Planning and Development Services Department until all of these conditions have been met. In the event a condition(s) cannot be met by the desired date of occupancy, the Planning Director will determine whether the condition(s) is bondable or should be completed, and if determined to be bondable, a bond or other surety acceptable to Boise City will be required in the amount of 110% of the value of the condition(s) that is incomplete.

-
20. No change in the terms and conditions of this approval shall be valid unless in writing and signed by the applicant or his authorized representative and an authorized representative of Boise City. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon Boise City.
 21. Any change by the applicant in the planned use of the property, which is the subject of this application, shall require the applicant to comply with all rules, regulations, ordinances, plans, or other regulatory and legal restrictions in force at the time the applicant, or successors of interest, advise Boise City of intent to change the planned use of the property described herein, unless a variance in said requirements or other legal relief is granted pursuant to the law in effect at the time the change in use is sought.
 22. This approval shall be valid for a period not to exceed two years from the date of approval by the Planning and Zoning Commission. Within this period, the holder of the permit must commence the use permitted by the permits in accordance with the conditions of approval.
 23. Prior to the expiration of this Conditional Use Permit, the Commission may, upon written request by the holder, grant a two-year time extension. A maximum of two extensions may be granted.
 24. To reduce the noise impact of construction on nearby residential properties, all exterior construction activities shall be limited to the hours between 7:00 am to 7:00 pm Monday through Friday and 8:00 am to 6:00 pm on Saturday and Sunday. Any activity that constitutes excessive noise as defined by Boise City Code must occur in the stated construction hours. Low noise impact activities such as surveying, layout and weather protection may be performed at any time. After each floor of the structure or building is enclosed with exterior walls and windows, interior construction of the enclosed floors can be performed at any time.



Project/File: **Knob Hill Subdivision/ BPP17-0004/ SUB17-00012/PUD17-00005/CAR17-00003**
The applicant is requesting approval of a preliminary plat, planned unit development, and a rezone for Knob Hill Subdivision. The proposed subdivision consists of 4-buildable lots on 0.94 acres located at 3091 N. Maple Grove Road.

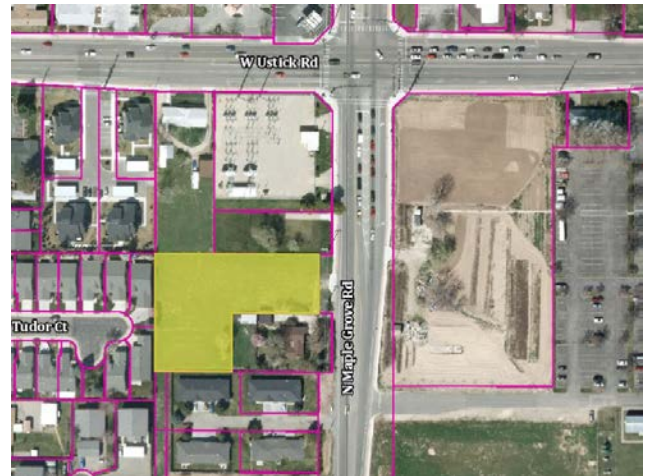
Lead Agency: City of Boise

Site address: 3091 N. Maple Grove Road

Commission Hearing: April 5, 2017

Applicant: Steve Arnold
A Team Land Consultants
1785 Whisper Cove Avenue
Boise, ID 83709

Owner: Robert Glenn III
Glenn Electric
6376 W. Gowen Road
Boise, ID 83709



Staff Contact: Dawn Battles
Phone: 387-6218
E-mail: dbattles@achdidaho.org

A. Findings of Fact

- Description of Application:** The applicant is requesting approval of a preliminary plat, planned unit development, and a rezone for Knob Hill Subdivision. The applicant is proposing two 8-plex buildings, which will be subdivided on four lots. The site is currently zoned R-1B and the request is to rezone to R-2D which is consistent with the City of Boise Comprehensive Plan.

2. Description of Adjacent Surrounding Area:

Direction	Land Use	Zoning
North	Single Family Residential	R-1C
South	Single Family Residential & Medium Density Residential	R-1B & R-2D
East	Single Family Residential	R-1C
West	Single Family Residential	R-1C

- Site History:** ACHD has not previously reviewed this site for a development application.
- Transit:** Transit services are available to serve this site.

5. **New Center Lane Miles:** The proposed development includes no new centerline miles of new public road.
6. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time.
7. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**

There are currently no roadways, bridges or intersections in the general vicinity of the project that are currently in the Integrated Five Year Work Plan (IFYWP).

 - Maple Grove Road is listed in the CIP to be widened to 5-lanes from Fairview Avenue to Ustick Road between 2031 and 2035.

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 93 vehicle trips per day; 8 vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 9th edition.
2. **Condition of Area Roadways**

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Maple Grove Road	100-feet	Minor Arterial	734	"F"

* Acceptable level of service for a three-lane minor arterial is "E" (720 VPH)

3. **Average Daily Traffic Count (VDT)**

Average daily traffic counts are based on ACHD's most current traffic counts.

 - The average daily traffic count for Maple Grove Road south of Ustick Road was 15,426 on July 9, 2015.

C. Findings for Consideration

1. Area Roadway Level of Service – Maple Grove Road

- a. **Existing Conditions:** Maple Grove Road between Ustick Road and Fairview Avenue currently exceeds the acceptable LOS "E" for a 3-lane minor arterial.
- b. **Staff Comments/Recommendations:** Maple Grove Road is listed as an existing 5-lane deficiency in the CIP. The intersection of Maple Grove Road/Ustick Road operates at acceptable LOS "D" and the Maple Grove Road/Fairview Avenue intersection operates at acceptable LOS "E". Maple Grove Road is listed in the CIP, and is planned for future widening. The costs associated with widening Maple Grove Road (\$3,500,000) make it infeasible for the applicant to construct the improvements, and the right-of-way for this corridor has not yet been acquired so the road cannot be widened.

This site is projected to generate less than 100 new vehicle trips per day and less than 10 trips in the PM peak hour.

Based on the findings above, staff recommends a waiver of District Policy 7106.4.1 Level of Service Standards.

2. Maple Grove Road

- a. **Existing Conditions:** Maple Grove Road is improved with 5-lanes on the south leg of the Maple Grove Road/Ustick Road intersection, transitioning to 3-travel lanes abutting the site. There is vertical curb, gutter, and 7-foot wide sidewalk abutting a portion of the site, and there is approximately 20-feet of frontage with no curb, gutter, or sidewalk. There is 125-feet of right-of-way for Maple Grove Road (47-feet from the section line). Maple Grove Road is not centered on the section line, and when the road is widened in the future the widening will occur to the west.

b. **Policy:**

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Maple Grove Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 96-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is not proposing any improvements to Maple Grove Road.
- d. **Staff Comments/Recommendations:** The applicant should construct a 5-foot wide concrete sidewalk on Maple Grove Road to extend the sidewalk to the south property line. No

additional right-of-way is required, as ACHD previously obtained right-of-way abutting this parcel for the future 5-lane section.

3. Driveways

Maple Grove Road

- a. **Existing Conditions:** There is an existing 24-foot wide curb cut type driveway on Maple Grove Road located 373-feet south of Ustick Road (measured centerline-to-centerline).
- b. **Policy**
 - Access Points Policy:** District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.
 - Access Policy:** District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.
 - Driveway Location Policy:** District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.
 - District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a dual left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 710-feet from the intersection for a full-movement driveway.
 - Successive Driveways:** District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 35 MPH to align or offset a minimum of 330-feet from any existing or proposed driveway.
 - Driveway Width Policy:** District policy 7205.4.8 restricts low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.
 - Driveway Paving Policy:** Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.
 - Cross Access Easements/Shared Access Policy:** District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.
- c. **Applicant's Proposal:** The applicant is proposing to use the existing 24-foot wide driveway on Maple Grove Road located 373-feet south of Ustick Road.
- d. **Staff Comments/Recommendations:** The applicant's proposal does not meet District Access Management, Successive Driveway, and Driveway Location policies because Maple Grove Road is a minor arterial; and the distance between the proposed driveway does not meet minimum separation standards from existing driveways (on both sides of Maple Grove Road), and the signalized intersection. The site does not have access to a lesser classified

street, cross access with adjacent parcels is not available, and there is not enough frontage to meet the minimum separation standards. Therefore, staff recommends a modification of policy to allow the driveway to be located as proposed, as a temporary full access driveway that may be restricted to right-in/right-out in the future. The driveway may be relocated and/or restricted if the land use intensifies, changes, or the property redevelops or as necessary for safety and traffic operation needs as determined by ACHD.

The applicant should reconstruct the curb cut type driveway as a 24 to 30-foot wide curb return type driveway with 15-foot radii. Pave the driveway its entire width and at least 30-feet into the site beyond the edge of pavement.

4. **Tree Planters**

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

5. **Landscaping**

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

6. **Other Access**

Maple Grove Road is classified as a minor arterial roadway. Other than the access specifically approved with this application, direct lot access is prohibited to this roadway and should be noted on the final plat.

D. Site Specific Conditions of Approval

1. The driveway located 373-feet south of Ustick Road is approved as a temporary full access driveway. The driveway may be restricted to right-in/right-out operations in the future, as determined by ACHD.
2. Reconstruct the curb cut type driveway as a 24 to 30-foot wide curb return type driveway with 15-foot radii. Pave the driveway its entire width and at least 30-feet into the site beyond the edge of pavement and install pavement tapers with a minimum 15-foot radii.
3. Construct a 5-foot wide concrete sidewalk on Maple Grove Road to extend to the south property line.
4. Direct lot access is prohibited to Maple Grove Road and shall be noted on the plat.
5. Payment of impacts fees are due prior to issuance of a building permit.
6. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).

2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

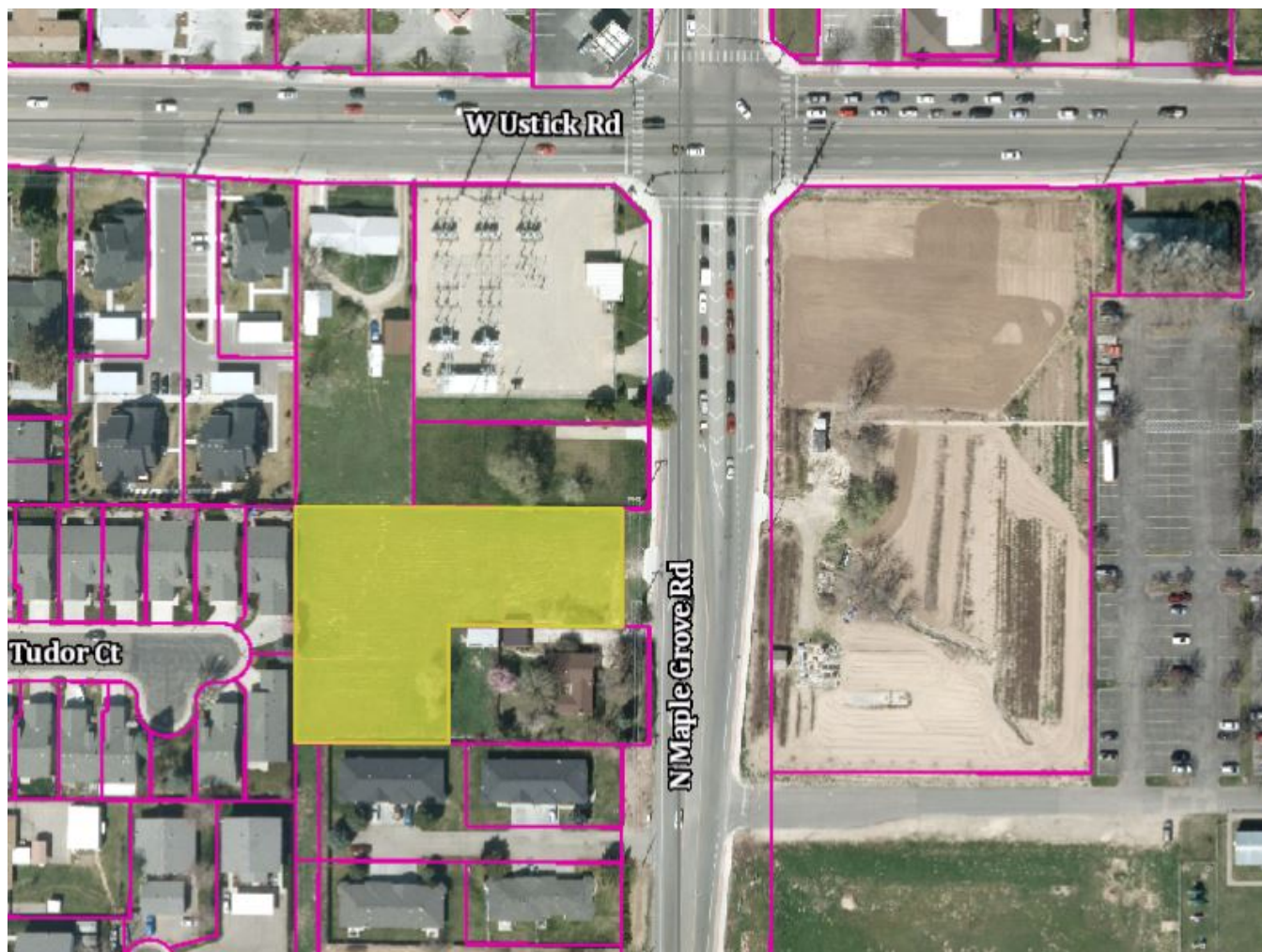
F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

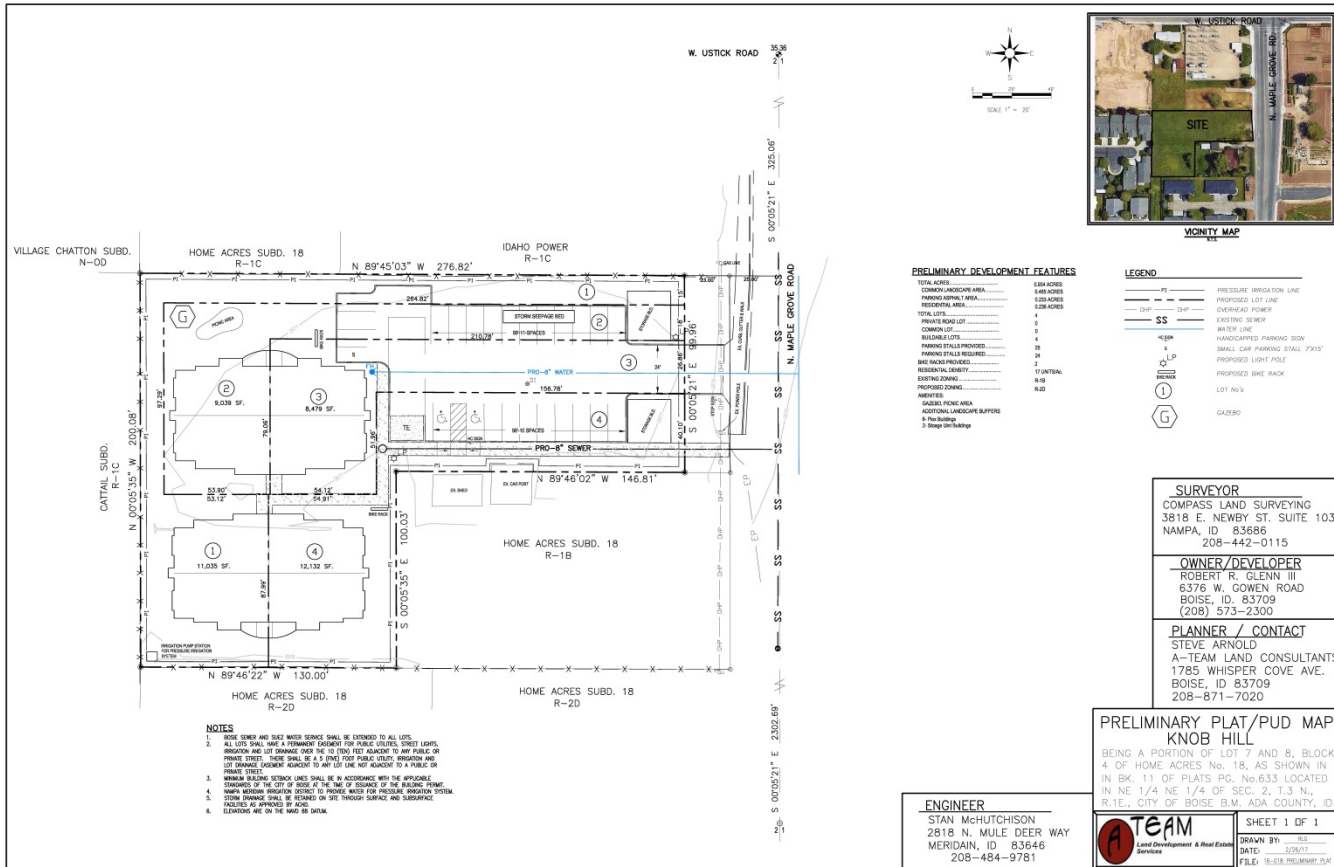
G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Appeal Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- ☒ Submit a development application to a City or to Ada County
- ☒ The City or the County will transmit the development application to ACHD
- ☒ The ACHD **Planning Review Section** will receive the development application to review
- ☒ The **Planning Review Section** will do one of the following:
 - ☐ Send a **"No Review"** letter to the applicant stating that there are no site specific conditions of approval at this time.
 - ☒ Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - ☒ Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- ☐ For **ALL** development applications, including those receiving a **"No Review"** letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- ☐ Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

☐ **Driveway or Property Approach(s)**

- Submit a "Driveway Approach Request" form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

☐ **Working in the ACHD Right-of-Way**

- Four business days prior to starting work have a bonded contractor submit a "Temporary Highway Use Permit Application" to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50' or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

☐ **Sediment & Erosion Submittal**

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

☐ **Idaho Power Company**

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

☐ **Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary of Highway Systems, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



Dennis Doan
Chief

City Hall West
333 N. Mark Stall Place
Boise, Idaho 83704-0644

Phone
208/570-6500

Fax
208/570-6586

TDD/TTY
800/377-3529

Web
www.cityofboise.org/fire



Mayor
David H. Bieter

City Council
President
Maryanne Jordan

Council Pro Tem
David Eberle

Elaine Clegg
Lauren McLean
TJ Thomson
Ben Quintana

Fire Department

March 13, 2017

Celine Acord
PDS – Current Planning

Re: Knob Hill Subdivision - SUB17-00012; PUD17-00005
3091 N Maple Grove

Dear Celine,

This is a request for a Subdivision and Planned Unit Development with 2 8-Plex Buildings.

The Boise Fire Department has reviewed and can approve the application subject to compliance with all of the following code requirements and conditions of approval. Any deviation from this plan is subject to Fire Department approval. Please note that unless stated otherwise, this memo represents the requirements of the International Fire Code (IFC) as adopted and amended by Ordinance 6308.

Comments:

1. The proposed fire hydrant is too close to the building. The fire hydrant shall be installed at the entrance to the parking lot.

General Requirement:

Fire Department required fire hydrants, access, and street identification shall be installed prior to construction or storage of combustible materials on site. Provisions may be made for temporary access and identification measures.

Specific building construction requirements of the International Building Code, International Fire Code and Boise City Code will apply. However, these provisions are best addressed by a licensed Architect at time of building permit application.

Regards,

Ron L. Johnson
Division Chief – Assistant Fire Marshal
Boise Fire Department

4

4a

4b



Derick O'Neill
Director

Boise City Hall
150 N. Capitol Boulevard

Mailing Address
P. O. Box 500
Boise, Idaho 83701-0500

Phone
208/384-3830

Fax
208/384-3814

TDD/TTY
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Web
www.cityofboise.org/pds

Mayor
David H. Bieter

City Council
President
Maryanne Jordan

Council Pro Tem
David Eberle

Elaine Clegg
Lauren McLean
TJ Thomson
Ben Quintana

Planning & Development Services

March 16, 2017

PDS Building Department Plan Review:

The subdivision preliminary plat, SUB17-00012, has been reviewed.

The existing carport and shed located in Home Acres Subdivision 18 appear in non-compliance with proper required distances to property lines set by the City of Boise ordinance section 4-02-131. Proper demolition and/or permits to move the structure(s) must be obtained or easement recorded with Ada County prior to any sign off from the building plan review division.

The proposed storage building spanning across lots 1 and 2 is in non-compliance with proper required distances to property lines per 2012 IBC, Chapter 6. A 3-hour fire-resistant rated fire wall is required in compliance with 2012 IBC section 706. If the property line is relocated, the structure must comply with required distance to property lines per 2012 IBC, Table 601.

Please note, utilities shall not cross property lines without an easement recorded with the Ada County Recorder's office.

Letitia Gallop
Plans Examiner I
Planning & Development Services

208/608-7102
208/608-7100
208/384-3753 Fax
lgallop@cityofboise.org

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4b

Interoffice

MEMORANDUM

DATE: March 17, 2017

TO: Boise Planning & Development

FROM: Matthew Perkins, Forestry Specialist
Boise Parks & Recreation Department

SUBJ: **PUD17-00005**
3091 N MAPLE GROVE RD

The following recommendations are provided to assist the property owner with selection, placement, maintenance and protection of trees private property.

Recommended Actions may be included as a condition of approval, modified or excluded at the request of the Boise Development Services staff.

Required Actions reflect provisions of Boise City Code Title 9, Chapter 16 (Boise Tree Ordinance). Questions relating to these required actions should be directed to this office at (208) 608-7700.

Recommended Actions:

- Ash trees, White or Green (*Fraxinus pennsylvanica* or *F. americana*) are under the threat of being destroyed. A highly destructive insect pest known as the “Emerald Ash Borer” causes devastating losses to all species of Ash trees. The pest has not reared its head in Idaho yet, but the Department of agriculture is closely monitoring this pest and their migration, it has been found as far west as Colorado so far, and it is only a matter of time before they arrive in Idaho. Therefore, the city has been moving away from and/or limiting the use of Ash species in new plantings, especially in our parks and right of ways. We recommend finding a replacement species such as *Ginkgo biloba* or *Ostrya virginiana*, *Liquidambar styraciflua*, or *Catalpa speciosa* etc.... etc.
- Norway Maple (*Acer platanoides*) varieties have increasingly been struggling in the Boise area for as of yet unknown reasons, it is suspected that the climactic conditions are somewhat unfavorable for the long term health of the species. Therefore, the city is moving away from using the species wherever possible and planting instead a variety that is more suited to the hot dry

climate in the area. We have found that *Acer truncatum* varieties are proving to be a very suitable replacement for the *platanoides* species. *Acer truncatum* X *platanoides* 'Keithsform' Norwegian Sunset or Crimson Sunset for example are an excellent replacement. We strongly recommend the use of these species instead of the *platanoides*.

- Under the section "Tree Planting Notes" it has been noted that "Removal of Burlap and Twine from Top of Root Ball may be postponed for 90 days at contractor's option" this is a BAD idea... this poor practice often leads to trees being planted too deeply and ultimately results in the death of the trees, and often after the warranty period. It is **STRONGLY** recommended that burlap and twine is removed **AT** the time of planting in order to more readily identify the correct planting depth for trees in order to avoid planting too deep. The City **STRONGLY URGES** the Architect to change this specification in not only this plan, but also in future plans moving forward, as trees that are planted too deeply in landscapes on public Right of Way and in future City Parks will be rejected. Refer to ANSI A300 Part 6 Best Management Practices Tree Planting for current standards.
- In regards to the Colorado Spruce specified in this plan, a minimum of 20' planting space between trees is acceptable, any less would potentially be too close and cause interlacing canopies which could lead to unacceptable, excessive dieback in the canopies between trees, as well as increased disease incidence.

Thank you for the opportunity to comment.

Sincerely,

Matthew Perkins

Forestry Specialist

Boise Community Forestry

208-608-7704

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 3/2/2017

To: Planning and Development Services

From: Terry Alber, Pretreatment Coordinator, 208-608-7523
Public Works

Subject: **PUD17-00005**; 3091 N MAPLE GROVE RD; Pretreatment Comments

Public Works, Pretreatment offers NO COMMENT.

CITY OF BOISE

INTER-DEPARTMENT
CORRESPONDENCE

Date: March 1, 2017

To: Planning and Development Services

From: Mike Sheppard, Civil Engineer
Public Works

Subject: PUD17-00005; 3091 N. Maple Grove; Sewer Comments

Connection to central sewer is required. Sanitary sewers are available in N. Maple Grove.

Prior to granting of final sewer construction plan approval, all requirements by Boise City Planning and Development Services must be met.

If you have any further questions, please contact Mike Sheppard at 608-7504.

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: March 2, 2017

To: Planning and Development Services

From: Mike Sheppard, P.E., Civil Engineer II
Public Works Department

Subject: SUB17-00012; address; Sewer Irrigation Sub Comments

1. STANDARD IRRIGATION CONDITIONS

REV 5/1/14

- a. Comply with B.C.C. 11-09-04.11 concerning pressure irrigation requirements prior to signing of the final plat by the Boise City Engineer.
 1. The owner, person, firm or corporation filing the subdivision plat shall provide a pressurized irrigation system. The system must conform to the minimum design standards and specifications of Boise City, or of the entity that will operate and maintain the system, if that entity has published standards; or
 2. The owner, person, firm or corporation filing the subdivision plat shall provide written documentation that a valid waiver of the requirement to provide a pressure irrigation system and that Idaho Code 31-3805(1)(a) regarding transfer of water rights, has been complied with.
- b. Prior to either commencing construction or signing of the final plat by the Boise City Engineer, developer shall:
 1. Submit for approval by the Department of Public Works, construction plans and specifications for the pressurized system, stamped by a registered engineer.
 2. Provide written assurance that provisions have been made for ownership, operation, and maintenance of the system.
 3. Delineate all necessary irrigation easements on the final plat (B.C.C. 11-09-03.6).
- c. Developer shall provide for an independent inspection of the installation of irrigation facilities and written certification by the design or project engineer that the system was installed according to the approved plans. In addition, the Department of Public Works must be present for the system pressure test and participate in a final inspection.
- d. Developer may construct prior to final platting or bond in the amount of 110% of the estimated construction costs based on the approved plans.

- e. **Fees:** Developer and/or owner shall pay the current inspection and plan review fees applicable to the proposed subdivision prior to signing of the final plat by the Boise City Engineer (B.C.C. 11-03-03.3.B.).

2. STANDARD SEWER CONDITIONS

REV 5/1/14

City Subdivision Conditions

- a. Wetline sewers are required (B.C.C. 11-09-04.4., *Required Improvements; Sanitary Sewer*).
1. Plans shall be submitted to and approved by the Boise City Department of Public Works prior to commencing with construction. Developer and/or owner may either construct improvements prior to final platting or execute a performance agreement and provide surety in the amount of 110% of the estimated costs. The developer and/or owner shall coordinate with the Department of Public Works for construction inspection prior to and during construction. Unless otherwise approved by the Public Works Department, all sewer construction shall be completed and accepted within 90 days of plat recordation, or within 30 days of issuance of the first building permit within the subdivision, whichever comes first.
- NOTE:** All bonding shall conform to Boise City Code 1-19, *Surety Bonds*.
2. Developer and/or owner shall pay the current sewer inspection fees for the proposed subdivision prior to signing of the final plat by the Boise City Engineer.
 3. Developer and/or owner shall be responsible for repairs of any failures that occur within one (1) year of the project acceptance by the appropriate sewer entity (Boise City Code 11-09-04.2F, *Subdivision Standards; Required Improvements*).
- b. Developer and/or owner shall delineate all necessary Boise City sanitary sewer easements on the final plat prior to signing of the final plat by the Boise City Engineer (Boise City Code 11-09-03.6A, *Subdivision Design Standards; Easements*).
- c. Unless previously paid, developer and/or owner shall pay a sewer assessment along N Maple Grove Road and/or as may be approved by the Boise City Public Works Commission prior to signing of the final plat by the Boise City Engineer. Contact the Department of Public Works for specific costs.
- d. Developer and/or owner shall comply with all provisions of the Boise City "Sewer Tap" Ordinances.
1. Developer and/or owner may either construct prior to final platting or post bond/agreement in the amount of 110% of the estimated costs. Please contact the Public Works Department for specifications and inspections during construction.

NOTE: All bonding shall conform to B.C.C. 11-09-04.2., *Required Improvements; Filing of Plans and Bonding Surety*, which specifies that the improvements to be made shall be done in a time period not to exceed one year from the date of approval of the final plat.

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4b

Memo

To: Planning and Development Services
From: Evan Carpenter
Environmental Analyst
Public Works Department
Date: 3/3/17
Re: Solid Waste Comments – PUD17-00005

City of Boise Solid Waste staff has reviewed the application for this project and has the following comments:

There must be at least 50' of clearance in front of the enclosure so it can be reached by the collection vehicle.

The plan needs to provide the collection vehicle forward access to a public street after collection. The current plan forces the vehicle to back onto N Maple Grove Rd.

The link below provides information regarding trash enclosure design and location requirements:

<http://curbit.cityofboise.org/media/2299/CommercialEnclosureRequirements.pdf>

Please contact me with any questions at 388-4712.

Memo

To: Planning and Development Services
From: Evan Carpenter
Environmental Analyst
Public Works Department
Date: 3/3/17
Re: Solid Waste Comments – SUB17-00012

City of Boise Solid Waste staff has reviewed the application for this project and has the following comments:

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Please contact me with any questions at 388-4712.

CITY OF BOISE

INTER-DEPARTMENT CORRESPONDENCE

Date: 2 March 2017

To: Planning and Development Services

From: Tom Marshall, Street Light Technician
Public Works

Subject: PUD17-00005; 3091 N Maple Grove Rd; Street Light Comments

Street lights are required. Contact Public Works for required facilities and location prior to submission of a building permit. (Final approved plans must accompany submitted building plans at time of permitting.)

Street lights are required at the following locations:

1. At the entrance to the development a 30' Davit pole with a Class B light fixture, or a 41A light fixture mounted to one of Idaho Power utility pole.

The Power Source relocation plan must be submitted for approval by the Public Works Department for service to the metered lighting circuit for the following circuit and roadway:

As per Idaho Power requirements the lights along the following street frontages must be installed on a metered service. Meter service cabinet location to be in the right of way or in a developer designated City Street Light Easement. They shall meet the requirements of the Idaho Standards for Public Works Construction, Standard Drawings, and the Boise City Standard Revisions for ISPWC Division 1102 Street Lights. See Attachment A, Boise Standard Revisions for a list of approved meter service cabinets.

1. N Maple Grove Rd

New Street Light installations shall conform to the 2015 version of the Boise Standard Revisions, Idaho Standards for Public Works Construction (ISPWC)

using approved LED fixtures listed in Attachment A to the Boise Standard Revisions.

Developer shall not connect, or allow any subcontractor to connect any irrigation timers, decorative lighting, entrance lighting, outlets or other electrical devices to any street lighting circuits. Any and all irrigation timers, decorative lighting, entrance lighting, outlets or other electrical devices shall be connected directly to Idaho Power at an Idaho Power approved location.

If you have any further questions contact Tom Marshall at 388-4719 or tmarshall@cityofboise.org.

I:\PWA\Subjects\Review Comments\CUs\CU street light comment template.doc

CITY OF BOISE

INTER-DEPARTMENT
CORRESPONDENCE

Date: 2 March 2017

To: Planning and Development Services

From: Tom Marshall, Street Light Technician Public Works

Subject: SUB17-00012; 3091 N Maple Grove Rd; Street Light Subdivision Comments

City Subdivision Conditions

- a. Developer shall delineate on the face of the final plat a Boise City street light easement, acceptable to the Boise City Department of Public Works, for the purpose of installing and maintaining city-owned street light fixtures, conduit, and wiring lying outside the dedicated public right-of-way (B.C.C. 11-09-03.6.).
- b. The developer shall be required to install, at their expense, street lights in accordance with Boise City Public Works specifications and standards at locations designated by the Public Works Department (B.C.C. 11-09-04.9.). Plans shall be reviewed and approved by the Boise City Public Works Department prior to commencement of construction or bonding.
- c. **Fees:** Developer shall pay the current street light inspection and plan review fees on the proposed subdivision (B.C.C. 11-03-03.3.B.).
- d. Developer shall not connect, or allow any subcontractor to connect any irrigation timers, decorative lighting, entrance lighting, outlets or other electrical devices to any street lighting circuits. Any and all irrigation timers, decorative lighting, entrance lighting, outlets or other electrical devices shall be connected directly to Idaho Power at an Idaho Power approved location.
- e. The street lights shall be installed and accepted by the Boise City Public Works Department at the following locations. Unless otherwise noted, street lights shall be installed at a 30-foot minimum mounting height, Class "B" LED fixture (see Attachment A, Boise Standard Revisions for a list of approved fixtures)
 - i) Light Locations:
 - At the driveway entrance off of N Maple Grove Rd, or a 41A light mounted on an Idaho Power utility pole.
- f. If approval for bonding is granted by the Boise City Public Works Department, developer may bond in the amount of 110% of the estimated street light costs. Street lights shall be installed within 90 days of the issuance of the first building permit in the development, if building permits are obtained prior to completion of street light improvements.
- g. As per Idaho Power requirements the lights along following street frontages must be installed on a metered service. Meter service cabinet location to be in the right of way or in a developer designated City Street Light Easement and shall meet the requirements of the Idaho Standards for Public Works Construction, Standard Drawings SD-1125 or SD-1126, and SD-

1127, and the Boise City Standard Revisions for ISPWC Division 1102 Street Lights. See Attachment A, Boise Standard Revisions for a list of approved metered service cabinets.

- h. Developer, engineer, or electrical contractor shall submit a street light plan using the Boise City Street Light Design Check List to public works for approval. Once approved three copies are required.

Special Conditions: two different lighting options.

If you have any further questions, contact Tom Marshall at (208) 608-7526 or tmarshall@cityofboise.org.

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CENTRAL DISTRICT HEALTH DEPARTMENT

Environmental Health Division

Return to:

- ☐ ACZ
☒ Boise
☐ Eagle
☐ Garden City
☐ Kuna
☐ Meridian
☐ Star

RECEIVED

MAR 10 2017

Rezone # SUB17-00012

Conditional Use # _____

DEVELOPMENT
SERVICES

Preliminary / Final / Short Plat _____

Knob Hill

- ☐ 1. We have No Objections to this Proposal.
- ☐ 2. We recommend Denial of this Proposal.
- ☐ 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- ☐ 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- ☐ 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
- | | |
|--|---|
| <input type="checkbox"/> high seasonal ground water | <input type="checkbox"/> waste flow characteristics |
| <input type="checkbox"/> bedrock from original grade | <input type="checkbox"/> other _____ |
- ☐ 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- ☐ 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- ☒ 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> central sewage | <input type="checkbox"/> community sewage system | <input type="checkbox"/> community water well |
| <input type="checkbox"/> interim sewage | <input checked="" type="checkbox"/> central water | |
| <input type="checkbox"/> individual sewage | <input type="checkbox"/> individual water | |
- ☒ 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> central sewage | <input type="checkbox"/> community sewage system | <input type="checkbox"/> community water |
| <input type="checkbox"/> sewage dry lines | <input checked="" type="checkbox"/> central water | |
- ☐ 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- ☐ 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- ☐ 12. We will require plans be submitted for a plan review for any:
- | | | |
|---|---|--|
| <input type="checkbox"/> food establishment | <input type="checkbox"/> swimming pools or spas | <input type="checkbox"/> child care center |
| <input type="checkbox"/> beverage establishment | <input type="checkbox"/> grocery store | |
- ☐ 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.
- ☐ 14. _____ Reviewed By: Doni Boddy
- _____ Date: 3/7/17



Independent School District of Boise City #1

Boundaries, Transportation, and Traffic Safety
8169 W Victory Rd - Boise, ID 83709
(208) 854-4167 Fax (208) 854-4011

RESPONSE TO PLANNING & DEVELOPMENT SERVICES

DATE: March 6, 2017

TO: PDSTransmittals@cityofboise.org

FROM: Lanette Daw, Supervisor Traffic Safety and Transportation

RE: PUD17-00005 & SUB17-00012 – Knob Hill Subdivision

At the present time, the Developer and/or Owner have made arrangements to comply with all requirements of the Boise School District.

The schools currently assigned to the proposed project area are:

Elementary School: **Valley View**
Junior High School: **Fairmont**
High School: **Capital**

Comments Regarding Traffic Impact: **None**

Comments Regarding Safe Routes to School Impact: **None**

If you have any further questions, please feel free to contact this office.

RECEIVED

MAR 20 2017

DEVELOPMENT
SERVICES

ORGANIZED 1904

*Nampa & Meridian Irrigation District*1503 FIRST STREET SOUTH
FAX #208-463-0092NAMPA, IDAHO 83651-4395
nmid.orgOFFICE: Nampa 208-466-7861
SHOP: Nampa 208-466-0663

March 14, 2017

Boise City Planning & Development Services
P.O. Box 500
Boise, ID 83701**RE: PUD17-00005/ Two 8-Plex Buildings; 3091 N. Maple Grove Road**

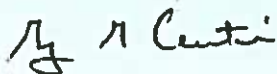
Dear Planning & Development Services:

Nampa & Meridian Irrigation District (NMID) has no comment on the above-referenced application as it lies outside of our district boundaries.

All private laterals and waste ways must be protected. All municipal surface drainage must be retained on-site. If any surface drainage leaves the site, Nampa & Meridian Irrigation District (NMID) must review drainage plans. Developers must comply with Idaho Code 31-3805.

Should you have any further questions, please feel free to give me a call.

Sincerely,



Greg G. Curtis
Water Superintendent
Nampa & Meridian Irrigation District
GGC/gnf

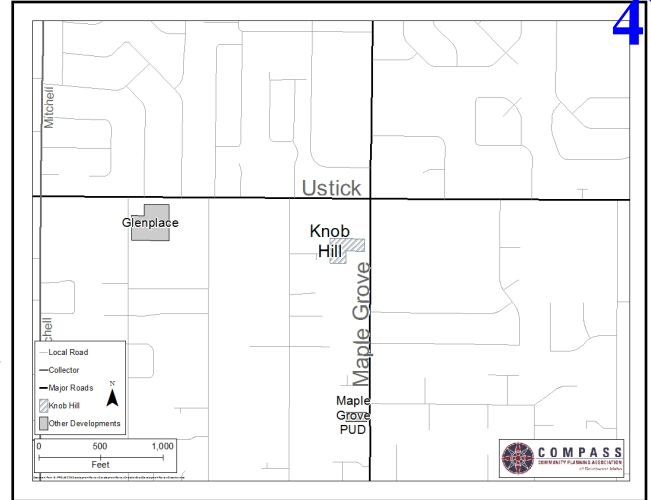
PC: Office/File



Communities in Motion 2040 Development Checklist

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this checklist as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040* (CIM 2040), the regional long-range transportation plan for Ada and Canyon Counties. CIM 2040 was developed through a collaborative approach with COMPASS member agencies and adopted by the COMPASS Board on **July 21, 2014**.

This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2040 goals, objectives, and performance measures. A checklist user guide is available [here](#); and more information about the CIM 2040 goals can be found [here](#); and information on the CIM 2040 Vision can be found [here](#).



[Click to enlarge map.](#)

Name of Development: _____

Summary: _____

Land Use

In which of the [CIM 2040 Vision Areas](#) is the proposed development? (**Goal 2.1**)?

- ☐ Downtown ☐ Employment Center ☐ Existing Neighborhood ☐ Foothills
☐ Future Neighborhood ☐ Mixed Use ☐ Prime Farmland ☐ Rural
☐ Small Town ☐ Transit Oriented Development

☐ Yes ☐ No ☐ N/A The proposal is within a CIM 2040 Major Activity Center. (**Goal 2.3**)

Neighborhood (Transportation Analysis Zone) Demographics

Existing		Existing TAZ + Proposal		2040 Forecast	
Households	Jobs	Households	Jobs	Households	Jobs

☐ Yes ☐ No ☐ N/A The number of jobs and/or households in this development is consistent with jobs/households in the CIM 2040 Vision in this neighborhood. (**Goal 2.1**)

Area (Adjacent Transportation Analysis Zone) Demographics

Existing		Existing TAZs + Net Proposed		2040 Forecast	
Households	Jobs	Households	Jobs	Households	Jobs

☐ Yes ☐ No ☐ N/A The number of jobs and/or households in this development is consistent with jobs/households in the CIM 2040 Vision in this area. (**Goal 2.1**)



More information on COMPASS and *Communities in Motion 2040* can be found at:

www.compassidaho.org

Email: info@compassidaho.org

Telephone: (208) 475-2239



COMPASS
COMMUNITY PLANNING ASSOCIATION
of Southwest Idaho

Communities in Motion 2040 Development Checklist

Transportation

- ☐ Attached ☐ N/A An Area of Influence Travel Demand Model Run is attached.
- ☐ Yes ☐ No ☐ N/A There are relevant projects in the current Regional [Transportation Improvement Projects](#) (TIP) within one mile of the development.

Comments:

- ☐ Yes ☐ No ☐ N/A The proposal uses appropriate access management techniques as described in the [COMPASS Access Management Toolkit](#).

Comments:

- ☐ Yes ☐ No ☐ N/A This proposal supports Valley Regional Transit's [valleyconnect](#) plan. See [Valley Regional Transit Amenities Development Guidelines](#) for additional detail.

Comments:

The **Complete Streets Level of Service (LOS) scoring** based on the proposed development will be provided on an separate worksheet (**Goals [1.1](#), [1.2](#), [1.3](#), [1.4](#), [2.4](#)**):

- ☐ Attached ☐ N/A Complete Streets LOS scorecard is attached.
- ☐ Yes ☐ No ☐ N/A The proposal maintains or improves current automobile LOS.
- ☐ Yes ☐ No ☐ N/A The proposal maintains or improves current bicycle LOS.
- ☐ Yes ☐ No ☐ N/A The proposal maintains or improves current pedestrian LOS.
- ☐ Yes ☐ No ☐ N/A The proposal maintains or improves current transit LOS.
- ☐ Yes ☐ No ☐ N/A The proposal is in an area with a [Walkscore](#) over 50.

Housing

- ☐ Yes ☐ No ☐ N/A The proposal adds [compact housing](#) over seven residential units per acre. (**Goal [2.3](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is a mixed-use development or in a mixed-use area. (**Goal [3.1](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is in an area with lower transportation costs than the [regional average](#) of 26% of the median household income. (**Goal [3.1](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal improves the jobs-housing balance by providing housing in employment-rich areas. (**Goal [3.1](#)**)

Community Infrastructure

- ☐ Yes ☐ No ☐ N/A The proposal is infill development. (**Goals [4.1](#), [4.2](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is within or adjacent to city limits. (**Goals [4.1](#), [4.2](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is within a city area of impact. (**Goals [4.1](#), [4.2](#)**)

Health

- ☐ Yes ☐ No ☐ N/A The proposal is within 1/4 mile of a transit stop. (**Goal [5.1](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is within 1/4 mile of a public school. (**Goal [5.1](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is within 1/4 mile of a grocery store. (**Goal [5.1](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is within 1 mile of a park and ride location. (**Goal [5.1](#)**)

Economic Development

- ☐ Yes ☐ No ☐ N/A The proposal improves the jobs-housing balance by providing employment in housing-rich areas. (**Goal [3.1](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal provides grocery stores or other retail options for neighborhoods within 1/2 mile. (**Goal [6.1](#)**)

Open Space

- ☐ Yes ☐ No ☐ N/A The proposal is within a 1/4 mile of a public park. (**Goal [7.1](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal provides at least 1 acre of parks for every 35 housing units. (**Goal [7.1](#)**)

Farmland

- ☐ Yes ☐ No ☐ N/A The proposal is outside "Prime Farmland" in the CIM 2040 Vision. (**Goals [4.1](#), [8.2](#)**)
- ☐ Yes ☐ No ☐ N/A The proposal is outside prime farmland. (**Goal [8.2](#)**)

