

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 15 Briggs St		Owner: Kelly, Carol L.		Phone: 828-0810		Permit No: 990104	
Owner Address: 20 Taylor St		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name:		Address:		Phone:		Permit Issued: FEB 11 1999	
Past Use: 1-fan		Proposed Use: Same		COST OF WORK: \$ 8,000.00		PERMIT FEE: \$ 60.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group A9 Type: 5B BOCA 46 Signature: [Signature]	
Proposed Project Description: Construct dormers, new bath on third floor				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm	
Permit Taken By: UB		Date Applied For: 28 January 1999		Signature:		Date:	



PERMIT ISSUED WITH REQUIREMENTS

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

28 January 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

Zone: CBL: 057-J-008

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: 3

CEO DISTRICT 3

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**



Location/Address of Construction: 15 Briggs St.

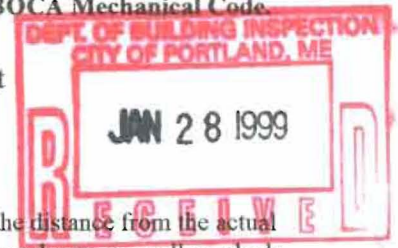
Tax Assessor's Chart, Block & Lot Number Chart# <u>57</u> Block# <u>J</u> Lot# <u>8</u>		Owner: <u>Carol L. Kelly</u>	Telephone#: <u>828-0810</u>
Owner's Address: <u>20 Taylor St.</u>		Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$ 8000.</u> Fee: <u>\$ 60.</u>
Proposed Project Description:(Please be as specific as possible) <u>Two dormers, New bath on third floor</u>			<u>Single Family home</u>
Contractor's Name, Address & Telephone <u>None</u>		Rec'd By: <u>UB</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)



If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction.

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment. HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 1/27/99

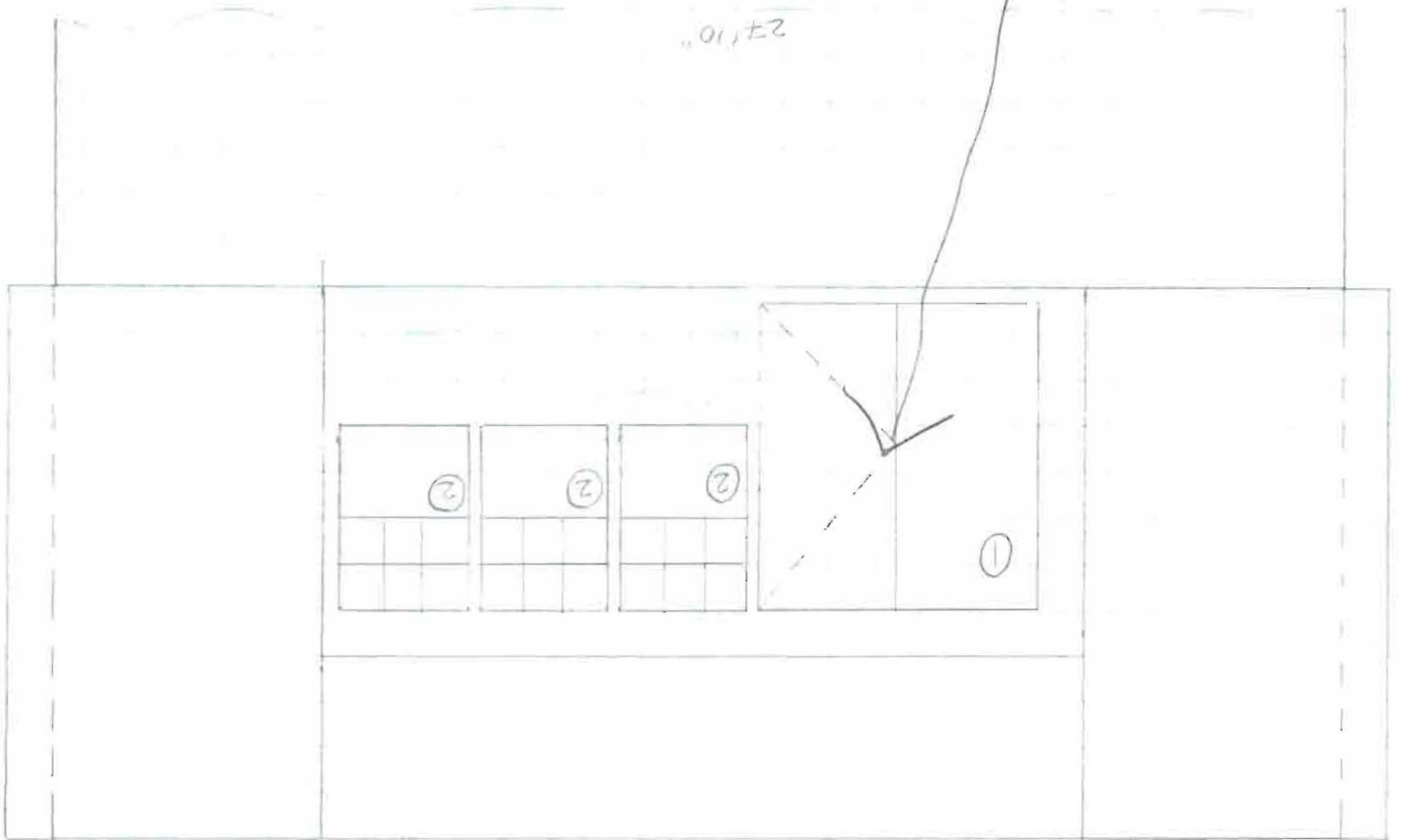
Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

0AINSP\CORRESP\MINUGENT\APADSFD.WPD

Area 3

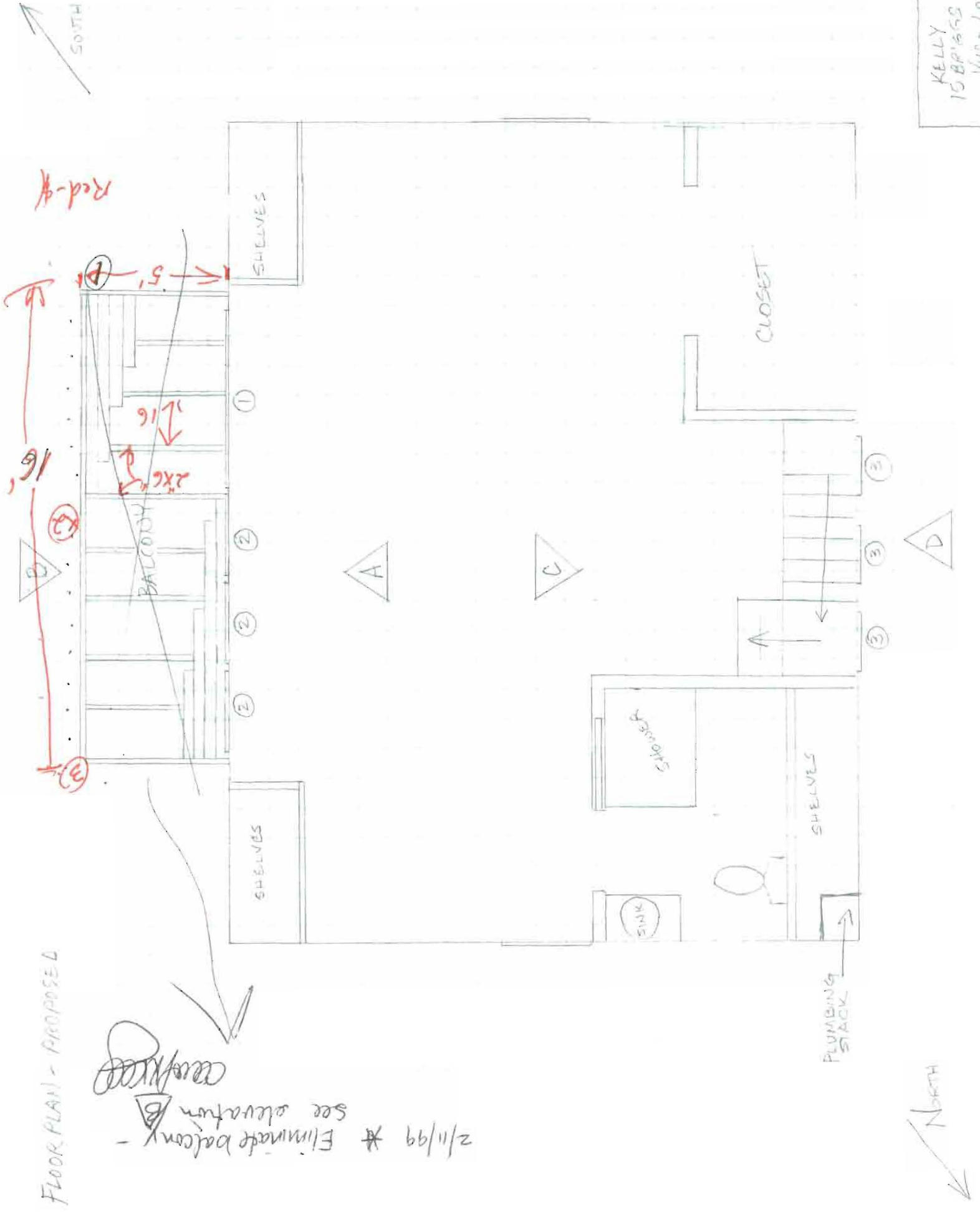
KELLY
15 BRIDGE ST.
1/4" = 1'-0"

2/11/99 * Eliminate door and replace with two windows
of same size as the three shown
~~canopy~~



△ SOUTH/SOUTHEAST ELEVATION - EXTERIOR
NO BALCONY SHOWN

KELLY
15 BR'ESS ST.
1/4" = 1.0'



FLOOR PLAN - PROPOSED

2/11/99 * Eliminate balcony -
see elevation B

[Handwritten signature]

MAINE REVENUE SERVICES

Property Tax Division
24 State House Station
Augusta, Maine 04333



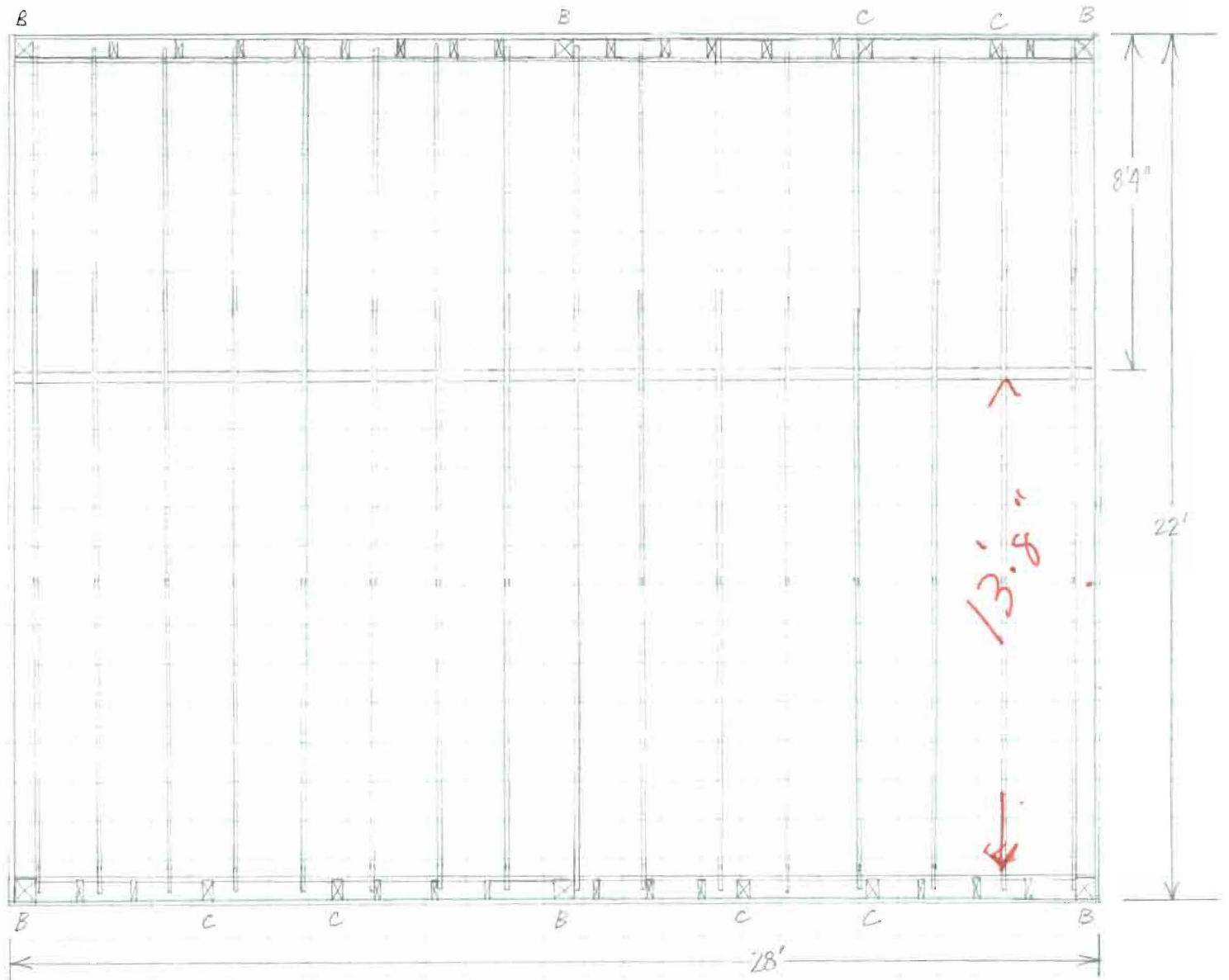
FILE BOTH COPIES
OF THIS FORM WITH
COUNTY REGISTRY OF DEEDS
DO NOT DETACH!

PLEASE READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING DECLARATION

REAL ESTATE TRANSFER TAX DECLARATION TITLE 36, M.R.S.A., SECTIONS 4641 through 4641-N

1. MUNICIPALITY OR TOWNSHIP	COUNTY	BOOK	PAGE <small>(REGISTRY USE ONLY)</small>
GRANTEE (BUYER)			
2. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S) <div style="display: flex; justify-content: space-between;"> Kelly, Carol L. ▶ 132 44 4089 </div>			
3. NUMBER AND STREET 20 Taylor Street	CITY OR TOWN Portland	STATE AND ZIP CODE ME 04102	
GRANTOR (SELLER)			
4. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S) <div style="display: flex; justify-content: space-between;"> Wallace, Charles T. ▶ 565 88 0933 </div>			
5. NUMBER AND STREET 15	CITY OR TOWN Briggs Street	STATE AND ZIP CODE ME 04102	
PROPERTY	6. TAX MAP & LOT NUMBER (Required) <div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;">Map 57 Block J Lot 8</div> <input type="checkbox"/> MUNICIPALITY DOES NOT HAVE TAX MAPS (Please describe property)		<p style="text-align:center; margin-top: 0;">Warning to Buyer!</p> <p style="font-size: small;">If the property is classified as Farmland, Open Space, or Tree Growth, a substantial financial penalty could be triggered by development, subdivision, partition, or change in use of the property.</p> <p style="text-align: right; margin-top: 10px;"> <input type="checkbox"/> Applicable <input type="checkbox"/> Not Applicable </p>
	7. DATE OF TRANSFER MO. DAY YR. (Use numerals) ▶ 11 12 98		
	8. Consideration meaning total amount or price paid, or required to be paid, for real property valued in money, whether received in money or otherwise and shall include the amount of any mortgage, liens or encumbrances thereon. If a gift or nominal consideration only is paid, consideration is based on the value of the property. Value is the estimated price the property would bring in the open market. (Tax will be collected at the registry when the deed is recorded. The tax rate is \$2.20 per \$500, or fractional part thereof, of consideration or value. The tax is equally divided between the buyer and the seller.) If exempt, complete line 9		
CONSIDERATION	FULL CONSIDERATION ▶ \$ 82,700.00 .00	TAXABLE CONSIDERATION	\$ 82,700.00 .00
EXEMPTION	9. EXPLAIN BASIS FOR EXEMPTION (Complete only if transfer is claimed to be fully or partially exempt pursuant to M.R.S.A. 36 §4641-C)		
SPECIAL CIRCUMSTANCES	10. Were there special circumstances in the transfer which suggest that the price of the property was either more or less than its fair market value. (Such as the fact that transfer was a forced sale, foreclosure, intercorporate sale, exchange, or transfer tax was based on estimate value.) PLEASE EXPLAIN. ▶ <input type="checkbox"/> YES <input type="checkbox"/> NO		
INCOME TAX WITHHELD	11. <input type="checkbox"/> Buyer(s) certify that they have withheld Maine income tax from the purchase price as required by § 5250-A and will remit to Maine Revenue Services within 30 days after date of transfer.		
<input checked="" type="checkbox"/> Buyer(s) not required to withhold Maine income tax because: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> seller has qualified as a Maine resident, <input type="checkbox"/> a waiver has been received from the State Tax Assessor, <input type="checkbox"/> consideration for the property is less than \$50,000, <input type="checkbox"/> foreclosure sale: exempt per 36 MRSA §5250-A, sub§ 3-A 			
OATH	12. Aware of penalties as set forth by Title 36, Section 4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete.		
GRANTEE(S) or AUTHORIZED AGENT		DATE	GRANTOR(S) or AUTHORIZED AGENT
		11/12/98	11/12/98
PREPARER	13. Name and address of person or firm preparing this form		

FLOOR JOISTS & WALL FRAMING INSIDES



A: All wall framing material is $1\frac{7}{8}$ " wide x $3\frac{3}{4}$ " thick, except as noted. Floor joists are $1\frac{7}{8}$ " x $5\frac{3}{4}$ ".
 Ribbon board is $\frac{3}{4}$ " x $5\frac{3}{4}$ "

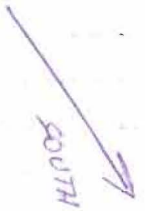
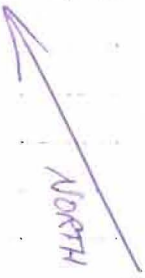
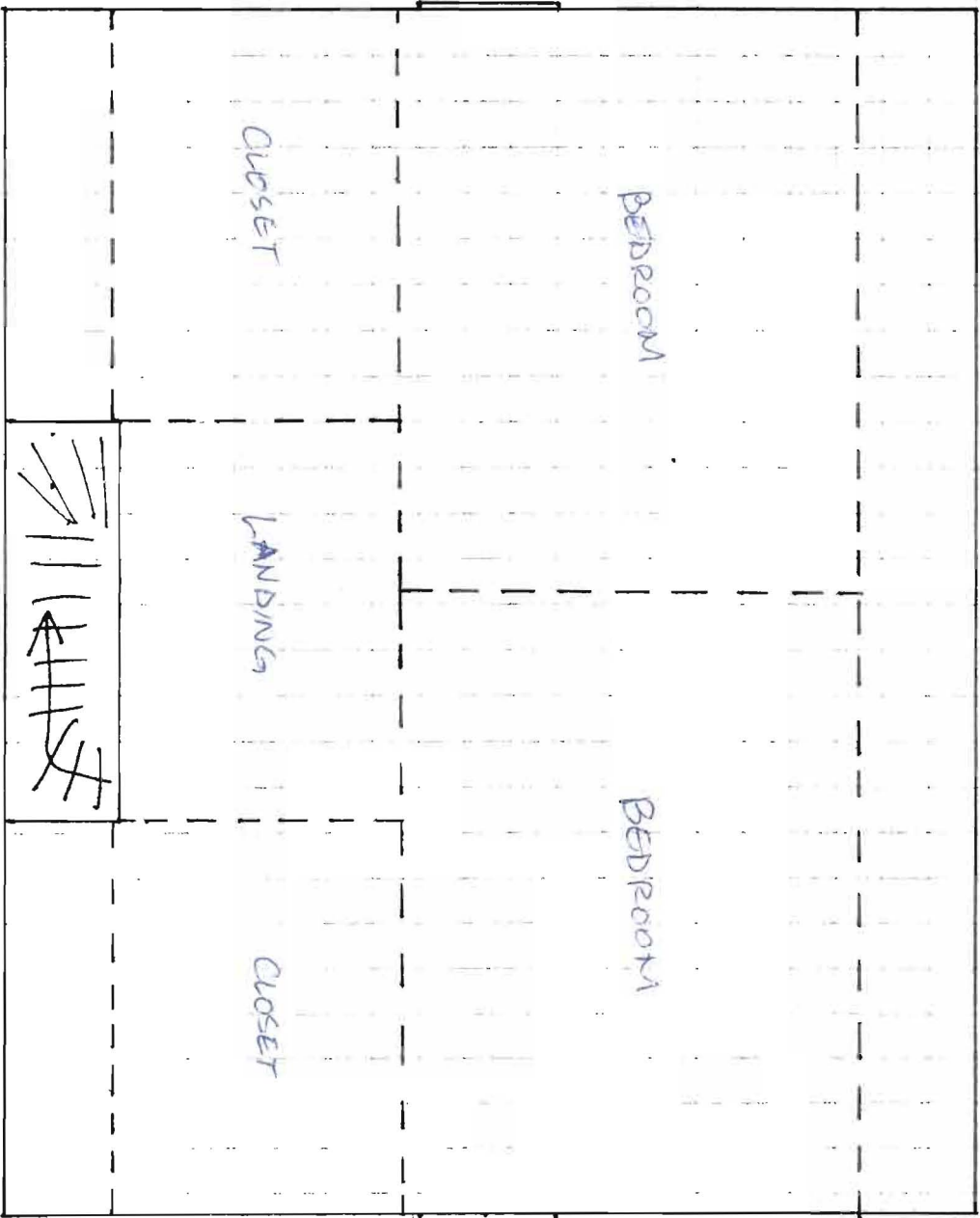
B: Noted wall framing is $5\frac{3}{4}$ " x $3\frac{3}{4}$ "

C: Noted wall framing is 3" x $3\frac{3}{4}$ "

KELLY
 15 BRIGGS ST.
 $\frac{1}{4}$ " = 1'

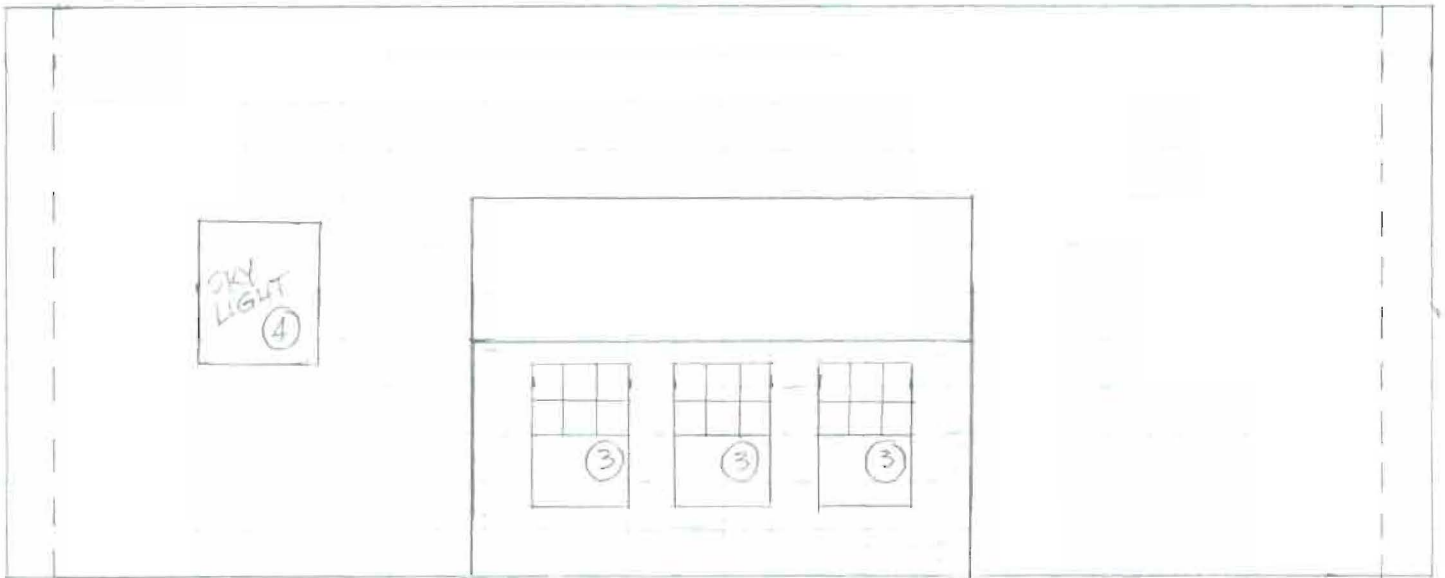
3rd FLOOR

CURRENT WALLS SHOWN AS DOTTED LINES



KEVIN
15 BRIGGS ST.

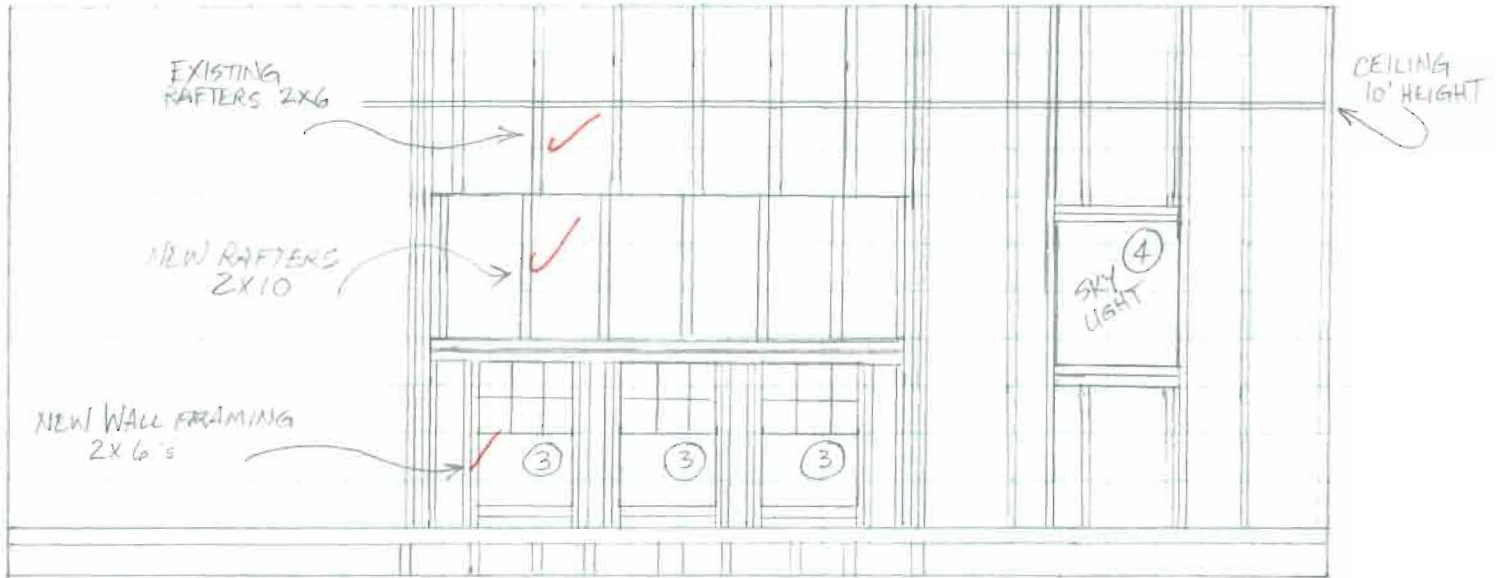
NORTH / NORTH WEST ELEVATION - EXTERIOR



left side

KELLY
15 BRIGGS ST.
1/4" = 10'

NORTH/NORTHWEST ELEVATION - INTERIOR - NO WALLS SHOWN
DORMER & SKYLIGHT ONLY



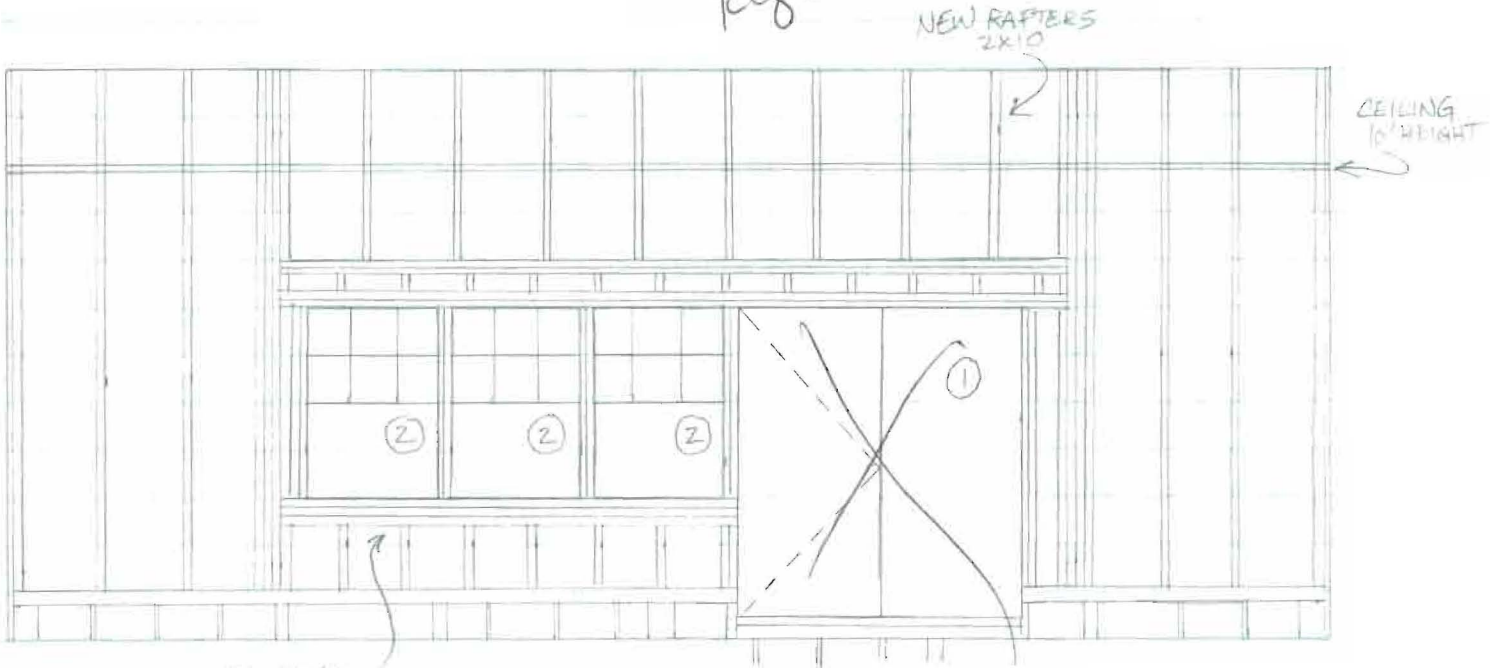
KELLY
15 BRIGGS ST

1/4" = 1.0'

SOUTH/SOUTHEAST ELEVATION INTERIOR



Right side



NEW WALL
FRAMING
2x6

NEW RAFTERS
2x10

CEILING
10' HEIGHT

See note
on other drawings

KELLY
15 BR' EGGS ST
1/4" = 1.0'

DOOR & WINDOW SCHEDULE

- ① Hinged Patio Door 6' wide x 6'8" high
- ② Window 2'9" wide x 4' high Double Hung
- ③ Window 2' wide x 3' high Double Hung
- ④ Skylight - Venting 30" wide x 48" wide

Kelly
15 Briggs St.

Carol Kelly
15 Briggs St.

PERMIT APPLICATION

Pages Enclosed :

PROPOSED VIEW FROM STREET SIDE

FLOOR JOISTS & WALL FRAMING ✓ ✓

EXISTING 3rd FLOOR FLOOR PLAN ✓

PROPOSED 3rd FLOOR FLOOR PLAN ✓

ELEVATION A, SOUTH/SOUTHEAST INTERIOR FRAMING ✓

ELEVATION B, SOUTH/SOUTHEAST EXTERIOR ✓

ELEVATION C, NORTH/NORTHWEST INTERIOR FRAMING ✓

ELEVATION D, NORTH/NORTHWEST EXTERIOR ✓

DOOR & WINDOW SCHEDULE

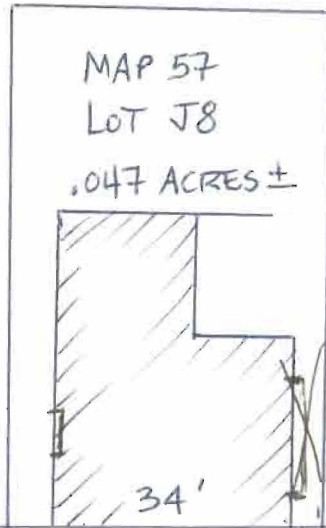
PLOT PLAN

PROOF OF OWNERSHIP



PLOT PLAN

FROM ASSESSOR'S MAP
NO SCALE



60'
balcony not included -

BRIGGS ST.

← 150' TO DANFORTH ST. →

Kelly
15 Briggs St.

BUILDING PERMIT REPORT

DATE: 8 February 1999 ADDRESS: 15 Briggs Street CBL 057-J-008
REASON FOR PERMIT: To Construct dormers, New bath on Third Floor
BUILDING OWNER: Carol L. Kelly
CONTRACTOR: _____
PERMIT APPLICANT: Owner
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5-B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *6, *8, *9, *11, *12, *16, *24, *26, *27, *29, *30, *31, *33 (#20)

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- X 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- X 8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- X 9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.(Section 1014.0)
- X 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4
- X 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special

COMMENTS

2-18-99 Did Pre construction Talked about Mead Room 3rd Floor Stairs she is not moving the stairs. the Balcony is not going to be Built. She noted this in the Plan with her Suture. Guard Rail will be 36" with hand Rails I am asking for Smoke detectors on all 3 Floors as the 2nd Floor walls are going to be striped. I Reminded Mrs Kelly about Egress windows and I asked her an Inspection Before Insulating (T.R.)
3-15/99 Need to Install Fire Blocking 2nd Floor and additional in Smoke Alarm on 2nd Floor, Sky Light Not Framed in yet. OK to Insulate 3rd Floor
3-20-99 checked Sky light Framing on 3rd Floor She will add 4 Hangers to the corners. (TR)

Inspection Record

Type

Foundation: _____
Framing: _____
Plumbing: _____
Final: _____
Other: _____

Date

knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1

14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0

15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1

X16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

A24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

25. All requirements must be met before a final Certificate of Occupancy is issued.

A26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

X27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)

X28. Please read and implement the attached Land Use-Zoning report requirements. *It is understood the balcony is not included in construction*

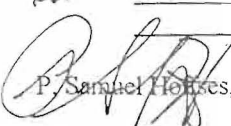
X29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.

X30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.

X31. The proposed balcony, from your plans, shows this balcony to be cantilevered and braced at ends and middle - IF this is NOT true please re-submit your plan for approval

X32. The bracing must be bolted NOT nailed, and the weight limit of max. 40PSF 15 places on this proposed balcony.

X32. This permit does NOT authorize any additional dwelling units.


P. Samuel Holmes, Building Inspector

cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator