

We encourage everyone to view the meeting live via YouTube.

*Leavenworth County*  
*Board of County Commissioners*

*Regular Meeting Agenda*  
300 Walnut Street, Suite 225  
Leavenworth, KS 66048  
February 23, 2023  
9:00 a.m.

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE/MOMENT OF SILENCE
- III. ROLL CALL
- IV. PUBLIC COMMENT: Public Comment shall be limited to 15 minutes at the beginning of each meeting for agenda items **only** and limited to three minutes per person. Comments at the end of the meeting shall be open to any topic of general interest to the Board of County Commissioners and limited to five minutes per person. There should be no expectation of interaction by the Commission during this time.  
  
Anyone wishing to make comments either on items on the agenda or not are encouraged to provide their comments in writing no later than 8:00 AM the Monday immediately preceding the meeting. These comments will be included in the agenda packet for everyone to access and review. This allows the Commission to have time to fully consider input and request follow up if needed prior to the meeting.
- V. ADMINISTRATIVE BUSINESS:
- VI. CONSENT AGENDA: The items on the Consent Agenda are considered by staff to be routine business items. Approval of the items may be made by a single motion, seconded, and a majority vote with no separate discussion of any item listed. Should a member of the Governing Body desire to discuss any item, it will be removed from the Consent Agenda and considered separately.
  - a) Approval of the minutes of the meeting of February 15, 2023
  - b) Approval of the schedule for the week February 27, 2023

- c) Approval of the check register
- d) Approve and sign the OCB's
- e) Approve Case Number DEV-22-163/164 Sarlls 2<sup>nd</sup> Addition
- f) Approve Case Number DEV-23-003 Kansas Red Tail Ridge 2<sup>nd</sup>

VII. FORMAL BOARD ACTION:

- a) Consider a motion to approve Case Number DEV-22-167 & 168, a preliminary and final plat for Oak Ridge Estates 2<sup>nd</sup> edition.
- b) Consider a motion to award bid to ISG for the server virtualization project in an amount not to exceed \$289,658.32.

VIII. PRESENTATIONS AND DISCUSSION ITEMS: presentations are materials of general concern where no action or vote is requested or anticipated.

- a) Executive session to discuss attorney/client privileges

IX. ADDITIONAL PUBLIC COMMENT IF NEEDED

X. ADJOURNMENT

# LEAVENWORTH COUNTY COMMISSIONERS MEETING SCHEDULE

**Monday, February 20, 2023 THE COURTHOUSE WILL BE CLOSED IN OBSERVANCE OF PRESIDENT'S DAY**

**Tuesday, February 21, 2023**

- 11:00 a.m. Little Stranger Church Soup Social  
• The Grange Hall, 25563 Tonganoxie Rd., Leavenworth, KS
- 11:30 a.m. NEK-CAP Ribbon-Cutting Ceremony  
• 1104 Industrial St., Lansing, KS
- 12:00 p.m. LCPA meeting
- 4:00 p.m. Centennial Bridge Replacement Project Public Open House  
• 123 South Esplanade St., Leavenworth, KS

**Wednesday, February 22, 2023**

**Thursday, February 23, 2023**

- 9:00 a.m. Leavenworth County Commission meeting  
• Commission Meeting Room, 300 Walnut, Leavenworth KS

**Friday, February 24, 2023**

ALL SUCH OTHER BUSINESS THAT MAY COME BEFORE THE COMMISSION

ALL MEETINGS ARE OPEN TO THE PUBLIC

COMMENTS SHOULD BE OF GENERAL INTEREST OF THE PUBLIC AND SUBJECT TO THE RULES OF DECORUM

\*\*\*\*\*February 15, 2023 \*\*\*\*\*

The Board of County Commissioners met in a regular session on Wednesday, February 15, 2023. Commissioner Kaaz, Commissioner Doug Smith, Commissioner Mike Smith, Commissioner Culbertson and Commissioner Stieben are present; Also present: Mark Loughry, County Administrator; David Van Parys, Senior County Counselor; Connie Harmon, Council on Aging Director; Bill Noll, Infrastructure and Construction Services; Edd Hingula, Leavenworth City Commissioner; John Richmeier, Leavenworth Times

Residents: John Matthews, Wes Baker, Sean Britz, Joe Herring

**PUBLIC COMMENT:**

There were no public comments.

**ADMINISTRATIVE BUSINESS:**

Bill Noll briefed the Board regarding a possible grant through KDOT that would realign the intersection of 175<sup>th</sup> and Dempsey Road with an approximate cost to the County of \$295,000.00 that was not budgeted.

***A motion was made by Commissioner Mike Smith and seconded by Commissioner Culbertson to approve the HSIP fund.***

***Motion passed, 5-0.***

Commissioner Kaaz corrected information about her being the first woman chair. She indicated minutes reflect Dollie Scheller was appointed chair on January 10, 1983.

***A motion was made by Commissioner Culbertson and seconded by Commissioner Mike Smith to accept the consent agenda for Wednesday, February 15, 2023 as presented.***

***Motion passed, 5-0.***

Connie Harmon requested approval of a dining center contract with Florence Riford Senior Center and the Council on Aging.

***A motion was made by Commissioner Mike Smith and seconded by Commissioner Culbertson to approve the dining center contract with Florence Riford Senior Center and the Council on Aging as presented.***

***Motion passed, 5-0.***

***A motion was made by Commissioner Doug Smith and seconded by Commissioner Culbertson that this Board recess for a closed executive meeting for the discussion of litigation involving the legal interests of the County as justified by K.S.A. 75-4319(B)(2) for consultation with legal counsel for the Board which would be deemed privileged in the attorney-client relationship and that Board resume open meeting at 9:50 a.m. in the meeting room of the Board. Present in the executive meeting will be Commissioners Culbertson, Kaaz, Mike Smith, Doug Smith and Commissioner Stieben, Senior County Counselor David Van Parys and County Administrator Mark Loughry.***

***Motion passed, 5-0.***

The Board has returned to regular session at 9:50 a.m. No action was taken and no decisions were made. The subject was limited to the legal interests of the County.



Commissioner Mike Smith reminded everyone of the ribbon-cutting ceremony for Council on Aging and K-State Extension Office this afternoon.

Commissioner Doug Smith will attend the Basehor City Council meeting, the Little Stranger Church Soup Social on February 21<sup>st</sup> and the MARC meeting next Tuesday.

Commissioner Stieben will attend the Elephant Club meeting and a Property Tax Force meeting.

Commissioner Kaaz attended a KCATA meeting and met with Frank White III to tour the Richard Allen Cultural Center. She also attended the Leavenworth City Commission meeting and will attend the Workforce Partnership meeting next week via Zoom.

Commissioner Kaaz inquired if anyone would like to attend the NEK-CAP ribbon-cutting ceremony on Tuesday as she will not be available.

Commissioner Kaaz reminded everyone that next week's Commission meeting will be held on Thursday.

*A motion was made by Commissioner Mike Smith and seconded by Commissioner Doug Smith to adjourn.*

*Motion passed, 5-0.*

The Board adjourned at 9:58 a.m.

# LEAVENWORTH COUNTY COMMISSIONERS MEETING SCHEDULE

## Monday, February 27, 2023

## Tuesday, February 28, 2023

8:00 a.m. Workforce Partnership meeting

12:00 p.m. MARC meeting

## Wednesday, March 1, 2023

9:00 a.m. Leavenworth County Commission meeting  
• Commission Meeting Room, 300 Walnut, Leavenworth KS

## Thursday, March 2, 2023

## Friday, March 3, 2023

ALL SUCH OTHER BUSINESS THAT MAY COME BEFORE THE COMMISSION

ALL MEETINGS ARE OPEN TO THE PUBLIC

COMMENTS SHOULD BE OF GENERAL INTEREST OF THE PUBLIC AND SUBJECT TO THE RULES OF DECORUM

START DATE: 02/11/2023 END DATE: 02/17/2023

TYPES OF CHECKS SELECTED: \* ALL TYPES

			P.O.NUMBER	CHECK#						
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-213	EMS VEH MAINT & MAINT SUPPLIES		1,794.89	
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-213	EMS VEH MAINT & MAINT SUPPLIES		1,310.39	
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-213	EMS VEH MAINT & MAINT SUPPLIES		242.19	
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-213	EMS VEH MAINT & MAINT SUPPLIES		275.89	
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-306	EMS VEH MAINT & MAINT SUPPLIES		5,861.97	
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-306	EMS VEH MAINT & MAINT SUPPLIES		4,955.86	
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-306	EMS VEH MAINT & MAINT SUPPLIES		254.66	
1513	ADVANCED AUTOMOTIVE	ADVANCED AUTOMOTIVE	332949	102183 AP	02/17/2023	3-001-5-05-306	EMS VEH MAINT & MAINT SUPPLIES		916.57	
							*** VENDOR	1513 TOTAL		15,612.42
1537	ARV - PARTS	AMERICAN RESPONSE VEHICLE INC	332951	102185 AP	02/17/2023	3-001-5-05-306	EMS AMBULANCE PARTS		91.50	
1537	ARV - PARTS	AMERICAN RESPONSE VEHICLE INC	332951	102185 AP	02/17/2023	3-001-5-05-306	EMS AMBULANCE PARTS		450.10	
							*** VENDOR	1537 TOTAL		541.60
665	BLUEJACKET EMERGENCY	BLUEJACKET EMERGENCY PHYSICIAN	332897	102146 AP	02/15/2023	3-001-5-07-219	INMATE MEDICAL BILL		100.76	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		2,671.40	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		315.60	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		27.57	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		360.20	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		88.50	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		559.80	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		777.12	
23537	BOUND TREE	BOUND TREE MEDICAL LLC	332952	102186 AP	02/17/2023	3-001-5-05-381	113712 FIELD SUPPLIES EMS		540.00	
							*** VENDOR	23537 TOTAL		5,340.19
36	CAHILL PAT	PATRICK J CAHILL	332953	102187 AP	02/17/2023	3-001-5-09-231	COURT APPOINTED ATTORNEY		3,000.00	
25101	CANON U S	CANON U S A INC	332954	102188 AP	02/17/2023	3-001-5-19-204	1865950 DIST CT CLERKS FRONT C		160.29	
362	CASAD BENJAMIN	BENJAMIN CASAD	332955	102189 AP	02/17/2023	3-001-5-09-231	COURT APPOINTED ATTORNEY		3,000.00	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-02-211	KTA JANUARY CHARGES		3.00	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-02-212	IRON MOUNTAIN SHREDDING 300 WA		32.31	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-05-210	AT&T FIRSTNET - EMS		280.40	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-07-208	WASTE MGMT - LVSO SHERIFF DUMP		605.83	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-07-210	AT&T LVSO 1313		264.13	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-11-205	KTA JANUARY CHARGES		15.65	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-14-210	SPECTRUM - COMMUNICATION FEES		2,023.95	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-14-210	SPECTRUM COMMUNICATION FEES		2,019.66	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-14-210	SPECTRUM, ACCESS AND COMMUNICA		362.57	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-18-213	SPECTRUM, ACCESS AND COMMUNICA		2,500.00	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-23-209	COSTAR-2 MONTHS - REALTY DB& A		800.00	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-001-5-28-301	IRON MOUNTAIN SHREDDING 300 WA		14.98	
							*** VENDOR	648 TOTAL		8,922.48
156	CONVERGEONE	CONVERGEONE INC	332898	102147 AP	02/15/2023	3-001-5-18-220	AOSLVCO0001 PROFESSIONAL SVCS		1,687.50	
5362	DIAMOND DRUGS	DIAMOND DRUGS, INC	332899	102148 AP	02/15/2023	3-001-5-07-219	KSLV INMATE PRESCRIPTIONS MON		1,809.60	
21300	DIST CT EMPL REIMB	MIRIAM ANDERSON	332939	102182 AP	02/15/2023	2-001-5-19-213	REPLACE CHECK 102149		304.75	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-001-5-06-222	2-44 516725A FEBRUARY VEHICLE		266.28	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-001-5-11-253	2-44 516725A FEBRUARY VEHICLE		413.25	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-001-5-31-230	2-44 516725A FEBRUARY VEHICLE		1,399.77	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-001-5-41-271	2-44 516725A FEBRUARY VEHICLE		1,771.33	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-001-5-53-220	2-44 516725A FEBRUARY VEHICLE		395.97	
							*** VENDOR	516725 TOTAL		4,246.60
86	EVERGY	EVERGY KANSAS CENTRAL INC	332901	102150 AP	02/15/2023	3-001-5-07-223	ELECTRIC SVC TO SIRENS		1,216.94	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-001-5-06-222	2-43 FEB CAMERA SERVICE		39.90	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-001-5-11-253	2-43 FEB CAMERA SERVICE		19.95	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-001-5-31-230	2-43 FEB CAMERA SERVICE		59.85	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-001-5-41-271	2-43 FEB CAMERA SERVICE		140.00	



START DATE: 02/11/2023 END DATE: 02/17/2023

TYPES OF CHECKS SELECTED: \* ALL TYPES

		P.O.NUMBER	CHECK#							
19903	LANGUAGE L	LANGUAGE LINE SERVICES INC	332909	102158 AP	02/15/2023	3-001-5-19-221	DIST CT INTERPRETER (PHONE) 90	154.87		
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	332968	102202 AP	02/17/2023	3-001-5-19-301	DIST CT CLERK SUPPLIES	2,066.42		
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	332968	102202 AP	02/17/2023	3-001-5-19-301	DIST CT CLERK OFFICE SUPPLIES	53.26		
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	332968	102202 AP	02/17/2023	3-001-5-19-301	DIST CT CSO OFFICE SUPPLIES	1,481.06		
4755	LEAV PAPER	LEAVENWORTH PAPER AND OFFICE S	332968	102202 AP	02/17/2023	3-001-5-19-301	DIST CT OFFICE SUPPLIES	7.99		
							*** VENDOR	4755 TOTAL	3,608.73	
17677	LEXISNEXIS RISK DATA	LEXISNEXIS RISK DATA MGMT (ACC	332910	102159 AP	02/15/2023	3-001-5-09-203	1314401 MIN COMMITMENT SINCE C	63.50-		
17677	LEXISNEXIS RISK DATA	LEXISNEXIS RISK DATA MGMT (ACC	332910	102159 AP	02/15/2023	3-001-5-09-203	1314401 MIN COMMITMENT SINCE C	50.00		
17677	LEXISNEXIS RISK DATA	LEXISNEXIS RISK DATA MGMT (ACC	332910	102159 AP	02/15/2023	3-001-5-09-203	1314401 MIN COMMITMENT SINCE C	50.00		
17677	LEXISNEXIS RISK DATA	LEXISNEXIS RISK DATA MGMT (ACC	332910	102159 AP	02/15/2023	3-001-5-09-203	1314401 MIN COMMITMENT SINCE C	50.00		
							*** VENDOR	17677 TOTAL	86.50	
4141	MANAGE ENGINE	ZOHO CORPORATION	332969	102203 AP	02/17/2023	3-001-5-07-208	ANNUAL SUB - MANAGEENGINE TO 4	1,195.00		
4141	MANAGE ENGINE	ZOHO CORPORATION	332969	102203 AP	02/17/2023	3-001-5-18-254	ANNUAL SUB - MANAGEENGINE TO 4	3,000.00		
							*** VENDOR	4141 TOTAL	4,195.00	
17197	MIAMI CO A	MIAMI COUNTY ATTORNEY	332970	102204 AP	02/17/2023	3-001-5-19-222	REVIEW 2/9/23 ROBINSON LV19CR4	50.00		
61	MIAMI CO DIST CT	DISTRICT COURT OF MIAMI COUNTY	332971	102205 AP	02/17/2023	3-001-5-19-222	ATTORNEY FEES	75.00		
1962	MOTOROLA	MOTOROLA SOLUTIONS CREDIT	332911	102160 AP	02/15/2023	3-001-5-07-264	678-0024799-000 ANNUAL LEASE P	173,586.16		
2612	QUALITY REPORTING	QUALITY REPORTING	332912	102161 AP	02/15/2023	3-001-5-19-251	TRANSCRIPT FEES-PRELIM 2020CR4	1,739.50		
7098	QUILL CORP	QUILL CORP	332972	102206 AP	02/17/2023	3-001-5-28-301	5367908 HUMAN RESOURCES OFFICE	214.98		
7098	QUILL CORP	QUILL CORP	332972	102206 AP	02/17/2023	3-001-5-28-301	5367908 HUMAN RESOURCES OFFICE	99.74		
							*** VENDOR	7098 TOTAL	314.72	
14	REFLECTIONS MEMORIAL	REFLECTIONS MEMORIAL SERVICES	332913	102162 AP	02/15/2023	3-001-5-13-215	CREMATION FEES - INDIGENTS	775.00		
14	REFLECTIONS MEMORIAL	REFLECTIONS MEMORIAL SERVICES	332913	102162 AP	02/15/2023	3-001-5-13-215	CREMATION FEES - INDIGENTS	775.00		
							*** VENDOR	14 TOTAL	1,550.00	
316	SMART	PACIFIC SATELLITE SYSTEMS INC	332974	102208 AP	02/17/2023	3-001-5-07-208	ADVANTAGE PLAN ANNUAL SUBSCRIP	348.00		
1793	ST JOHN 956430	ST JOHN HOSPITAL	332914	102163 AP	02/15/2023	3-001-5-07-219	INMATE MEDICAL BILL	119.35		
248	SUMMIT FOOD	ELIOR, INC	332975	102209 AP	02/17/2023	3-001-5-07-261	C741000 INMATE MEALS	5,527.75		
248	SUMMIT FOOD	ELIOR, INC	332975	102209 AP	02/17/2023	3-001-5-07-261	C741000 INMATE MEALS	5,437.71		
248	SUMMIT FOOD	ELIOR, INC	332975	102209 AP	02/17/2023	3-001-5-07-261	C741000 INMATE MEALS	5,525.35		
248	SUMMIT FOOD	ELIOR, INC	332975	102209 AP	02/17/2023	3-001-5-07-261	C741000 INMATE MEALS	5,536.42		
							*** VENDOR	248 TOTAL	22,027.23	
41	UNDERGROUN	UNDERGROUND VAULTS & STORAGE	332977	102211 AP	02/17/2023	3-001-5-19-214	100492 FILE RETRIEVAL - DIST C	48.78		
6909	UNIV KS CONTINUING	UNIVERSITY OF KANSAS	332978	102212 AP	02/17/2023	3-001-5-07-202	ADV SRO TRAINING	250.00		
2	WATER DEPT	WATER DEPT	332979	102213 AP	02/17/2023	3-001-5-05-215	WATER SVC EMS 9103	55.29		
100	WITNESS LIST									
							*** VENDOR	100 TOTAL	321.40	
							TOTAL FUND 001		284,164.61	
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648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-108-5-00-219	AT&T MOBILITY - HEALTH DEPT	165.11		
							TOTAL FUND 108		165.11	

warrants by vendor

TYPES OF CHECKS SELECTED: \* ALL TYPES

		P.O.NUMBER	CHECK#						
1532	KERIT	KERIT	332922	102171 AP	02/15/2023	3-112-5-00-240	KERIT01 WORKERS COMPENSATION	245,475.00	
								TOTAL FUND 112	245,475.00
24545	CDW GOVERN	CDW GOVERNMENT INC	332956	102190 AP	02/17/2023	3-115-5-00-409	3773122 CABLES, RAIL KIT (IS)	203.44	
24545	CDW GOVERN	CDW GOVERNMENT INC	332956	102190 AP	02/17/2023	3-115-5-00-409	3773122 CABLES, RAIL KIT (IS)	103.28	
								*** VENDOR 24545 TOTAL	306.72
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-115-5-00-436	2-43 FEB CAMERA SERVICE	40.00	
667	LANSING AUTO MART IN	LANSING AUTO MART INC	332967	102201 AP	02/17/2023	3-115-5-00-418	2022 MASSIMO UTV TO REPL SOLID	11,679.00	
								TOTAL FUND 115	12,025.72
2404	USD 409 AT RISK PROG	USD 409 AT RISK PROGRAM	332923	102172 AP	02/15/2023	3-121-5-00-206	REIMB 2ND QUARTER	5,000.00	
								TOTAL FUND 121	5,000.00
113	SUMNERONE INC	SUMNERONE INC	332976	102210 AP	02/17/2023	3-123-5-00-301	50ULC08 JUV CRIME PREV - COPIE	23.61	
								TOTAL FUND 123	23.61
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-126-5-00-221	2-44 516725A FEBRUARY VEHICLE	14.77	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-126-5-00-221	2-43 FEB CAMERA SERVICE	20.00	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-126-5-00-221	LEAV01 DECEMBER GPS SERVICES	16.33	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-126-5-00-221	LEAV01 JANUARY GPS CHARGES	16.33	
								*** VENDOR 243 TOTAL	32.66
113	SUMNERONE INC	SUMNERONE INC	332924	102173 AP	02/15/2023	3-126-5-00-321	50COL COPIR - COMM CORR ADT	89.27	
								TOTAL FUND 126	156.70
2505	INTRINSIC INTERVENTI	INTRINSIC INTERVENTIONS	332925	102174 AP	02/15/2023	3-127-5-00-3	CORDANT LAB SERVICES	25.00	
								TOTAL FUND 127	25.00
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-133-5-00-210	2-4 AT&T MOBILITY PW/COLE	393.24	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-133-5-00-229	2-44 516725A FEBRUARY VEHICLE	16,917.66	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-133-5-00-229	2-43 FEB CAMERA SERVICE	1,097.36	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-133-5-00-229	2-43 FEB CAMERA SERVICE	55.00	
								*** VENDOR 605 TOTAL	1,152.36
243	GEOTAB	GEOTAB USA INC	332926	102175 AP	02/15/2023	3-133-5-00-229	2- MISSED ON PRIOR PAYMENT	18.00	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-133-5-00-229	LEAV01 DECEMBER GPS SERVICES	846.90	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-133-5-00-229	LEAV01 JANUARY GPS CHARGES	958.53	
								*** VENDOR 243 TOTAL	1,823.43
								TOTAL FUND 133	20,286.69
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-136-5-00-221	2-44 516725A FEBRUARY VEHICLE	269.88	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-136-5-00-221	2-43 FEB CAMERA SERVICE	40.00	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-136-5-00-221	LEAV01 DECEMBER GPS SERVICES	16.33	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-136-5-00-221	LEAV01 JANUARY GPS CHARGES	32.66	
								*** VENDOR 243 TOTAL	48.99
113	SUMNERONE INC	SUMNERONE INC	332976	102210 AP	02/17/2023	3-136-5-00-223	50ULC08 JUV COMM CORR COPIES	11.81	
113	SUMNERONE INC	SUMNERONE INC	332976	102210 AP	02/17/2023	3-136-5-00-301	50ULC08 JUV COMM CORR COPIES	11.80	
								*** VENDOR 113 TOTAL	23.61
								TOTAL FUND 136	382.48
113	SUMNERONE INC	SUMNERONE INC	332976	102210 AP	02/17/2023	3-138-5-00-203	50ULC08 COMM CORR COPIES	23.62	
								TOTAL FUND 138	23.62

START DATE: 02/11/2023 END DATE: 02/17/2023

TYPES OF CHECKS SELECTED: \* ALL TYPES

			P.O.NUMBER	CHECK#					
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-145-5-00-208	IRON MOUNTAIN SHREDDING - CO O	55.95	
664	EMERGI-MEALS,LLC	EMERGI-MEALS,LLC	332927	102176 AP	02/15/2023	3-145-5-00-256	SHELF STABLE MEALS C2 HOMEBOUN	3,951.74	
664	EMERGI-MEALS,LLC	EMERGI-MEALS,LLC	332927	102176 AP	02/15/2023	3-145-5-06-201	SHELF STABLE MEALS C2 HOMEBOUN	898.13	
664	EMERGI-MEALS,LLC	EMERGI-MEALS,LLC	332927	102176 AP	02/15/2023	3-145-5-06-221	SHELF STABLE MEALS C2 HOMEBOUN	598.75	
664	EMERGI-MEALS,LLC	EMERGI-MEALS,LLC	332927	102176 AP	02/15/2023	3-145-5-07-201	SHELF STABLE MEALS C2 HOMEBOUN	538.88	
							*** VENDOR	664 TOTAL	5,987.50
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-145-5-00-230	2-44 516725A FEBRUARY VEHICLE	16,941.71	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-145-5-00-230	2-43 FEB CAMERA SERVICE	678.85	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-145-5-00-230	2-43 FEB CAMERA SERVICE	12.00	
							*** VENDOR	605 TOTAL	690.85
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-145-5-00-230	LEAV01 DECEMBER GPS SERVICES	538.89	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-145-5-00-230	LEAV01 JANUARY GPS CHARGES	538.89	
							*** VENDOR	243 TOTAL	1,077.78
345	OLIVER PACKING	OLIVER PACKING & EQUIPMENT CO	332928	102177 AP	02/15/2023	3-145-5-00-345	TRAYS,CUPS,FILM	2,439.94	
345	OLIVER PACKING	OLIVER PACKING & EQUIPMENT CO	332928	102177 AP	02/15/2023	3-145-5-00-345	TRAYS,CUPS,FILM	6,840.79	
345	OLIVER PACKING	OLIVER PACKING & EQUIPMENT CO	332928	102177 AP	02/15/2023	3-145-5-05-301	TRAYS,CUPS,FILM	1,056.10	
345	OLIVER PACKING	OLIVER PACKING & EQUIPMENT CO	332928	102177 AP	02/15/2023	3-145-5-06-301	TRAYS,CUPS,FILM	1,554.73	
345	OLIVER PACKING	OLIVER PACKING & EQUIPMENT CO	332928	102177 AP	02/15/2023	3-145-5-06-321	TRAYS,CUPS,FILM	1,036.49	
345	OLIVER PACKING	OLIVER PACKING & EQUIPMENT CO	332928	102177 AP	02/15/2023	3-145-5-07-302	TRAYS,CUPS,FILM	145.67	
345	OLIVER PACKING	OLIVER PACKING & EQUIPMENT CO	332928	102177 AP	02/15/2023	3-145-5-07-321	TRAYS,CUPS,FILM	932.84	
							*** VENDOR	345 TOTAL	14,006.56
							TOTAL FUND 145		38,760.35
20588	ADVANTAGE	ADVANTAGE PRINTING	332950	102184 AP	02/17/2023	3-146-5-00-301	ACCT 168 TREAS WINDOW ENVELOPE	1,783.00	
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-146-5-00-218	IRON MOUNTAIN SHREDDING 300 WA	64.62	
							TOTAL FUND 146		1,847.62
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-155-5-00-403	2-43 FEB CAMERA SERVICE	200.00	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-155-5-00-403	LEAV01 DECEMBER GPS SERVICES	188.70	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-155-5-00-403	LEAV01 JANUARY GPS CHARGES	188.70	
							*** VENDOR	243 TOTAL	377.40
							TOTAL FUND 155		577.40
26195	ADVANCE AUTO PARTS	GENERAL PARTS DISTRIBUTION	332929	102178 AP	02/15/2023	3-160-5-00-213	670030 SOLID WASTE- EQUIP MAIN	33.68	
26195	ADVANCE AUTO PARTS	GENERAL PARTS DISTRIBUTION	332929	102178 AP	02/15/2023	3-160-5-00-213	670030 SOLID WASTE- EQUIP MAIN	178.54	
26195	ADVANCE AUTO PARTS	GENERAL PARTS DISTRIBUTION	332929	102178 AP	02/15/2023	3-160-5-00-304	670030 SOLID WASTE- EQUIP MAIN	96.55	
							*** VENDOR	26195 TOTAL	308.77
648	COMMERCE BANK-COMMER	COMMERCE BANK-COMMERCIAL CARDS	332957	102191 AP	02/17/2023	3-160-5-00-204	HAMM - JANUARY LANDFILL CHARGE	70,306.32	
516725	ENTERPRISE (ACH)	ENTERPRISE FM TRUST	332983	49	02/17/2023	3-160-5-00-215	2-44 516725A FEBRUARY VEHICLE	936.76	
605	FLEET HOSTER	FLEET HOSTER LLC	332959	102193 AP	02/17/2023	3-160-5-00-215	2-43 FEB CAMERA SERVICE	59.85	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-160-5-00-215	LEAV01 DECEMBER GPS SERVICES	48.99	
243	GEOTAB	GEOTAB USA INC	332963	102197 AP	02/17/2023	3-160-5-00-215	LEAV01 JANUARY GPS CHARGES	48.99	
							*** VENDOR	243 TOTAL	97.98
17209	REDDI SERV	REDDI SERVICES	332930	102179 AP	02/15/2023	3-160-5-00-263	SOLID WASTE TRANSFER STATION -	325.00	
							TOTAL FUND 160		72,034.68
8466	KDHE PERMITS	KDHE - IPS	332931	102180 AP	02/15/2023	3-182-5-00-2	1-2 BR E-18 ANNUAL PERMIT CONS	60.00	
							TOTAL FUND 182		60.00
1867	REDWOOD TOXICOLOGY	REDWOOD TOXICOLOGY LABORATORY	332973	102207 AP	02/17/2023	3-196-5-00-201	ACCT 112368 CONFIRMATION TESTS	69.00	
							TOTAL FUND 196		69.00

warrants by vendor

START DATE: 02/11/2023 END DATE: 02/17/2023

TYPES OF CHECKS SELECTED: \* ALL TYPES

			P.O.NUMBER	CHECK#					
86	EVERGY	EVERGY KANSAS CENTRAL INC	332958	102192 AP	02/17/2023	3-218-5-00-2	ELEC SVC SEWER DIST 5	125.28	
							TOTAL FUND 218		125.28
8466	KDHE PERMITS	KDHE-BUREAU OF WTERTH & ENVIRO	332966	102200 AP	02/17/2023	3-219-5-00-4	DEPT SERVICE SEMI-ANNUAL PMT 3	11,959.11	
							TOTAL FUND 219		11,959.11
2570	BOND ESCROW REFUND	MEGAN MCMILLEN &	332932	102181 AP	02/15/2023	3-503-5-00-2	REFUND ENTRANCE PERMIT BAUSERM	100.00	
							TOTAL FUND 503		100.00
							TOTAL ALL CHECKS		693,261.98



TYPES OF CHECKS SELECTED: \* ALL TYPES

FUND SUMMARY

001	GENERAL	284,164.61
108	COUNTY HEALTH	165.11
112	EMPLOYEE BENEFIT	245,475.00
115	EQUIPMENT RESERVE	12,025.72
121	JUVENILE JUSTICE AUTHORITY	5,000.00
123	JUVENILE CRIME PREVENTION	23.61
126	COMM CORR ADULT	156.70
127	COMM CORR ADULT NON GRANT	25.00
133	ROAD & BRIDGE	20,286.69
136	COMM CORR JUVENILE	382.48
138	JUV INTAKE & ASSESSMENT	23.62
145	COUNCIL ON AGING	38,760.35
146	COUNTY TREASURER SPECIAL	1,847.62
155	LSR CAPITAL EQUIP RESERVE	577.40
160	SOLID WASTE MANAGEMENT	72,034.68
182	EASTON TWP TRAFFIC IMPACT	60.00
196	DRUG TEST & SUPERVISION FEES	69.00
218	SEWER DIST #5	125.28
219	SEWER DIST #7: CEDAR LAKE SUB (FAIRMOUN	11,959.11
503	ROAD & BRIDGE BOND ESCROW	100.00
	TOTAL ALL FUNDS	693,261.98

CONSENT AGENDA 2/23/23  
CKS 02/11 - 02/17

\_\_\_\_\_  
\_\_\_\_\_

**Leavenworth County  
Request for Board Action  
Case No. DEV-22-163/164  
Final Plat for Sarlls 2<sup>nd</sup> Addition**

**Date:** February 23, 2023  
**To:** Board of County Commissioners  
**From:** Planning & Zoning Staff

**Department Head Review:** Amy Allison, Reviewed

**Additional Reviews as needed:**

**Budget Review**  **Administrator Review**  **Legal Review**

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**Action Requested:** The applicants are requesting a Preliminary and Final Plat for a two lot subdivision. Proposed Lots 1 and 2 will be approximately 14.98 acres.

**Analysis:** The applicant is proposing to plat one tract of land and one lot into Lots 1-2 of the Sarlls 2<sup>nd</sup> Addition. Proposed Lot 1 is a part of the Sarlls Addition subdivision and Lot 2 is an un-platted tract of land. Both lots will be approximately 14.98 acres in size and meet the standards of the Zoning and Subdivision Regulations. The proposed layout will fix an irregular shaped lot. Both lots contain existing single-family residences and some accessory structures, which will remain in compliance.

**Recommendation:** The Planning Commission voted 6-0 to recommend approval of Case No.DEV-22-163/164, Preliminary and Final Plat for Sarlls 2<sup>nd</sup> Addition subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-22-163/164, Preliminary and Final Plat for Sarlls 2<sup>nd</sup> Addition, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-22-163/164, Preliminary and Final Plat for Sarlls 2<sup>nd</sup> Addition, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-22-163/164, Preliminary and Final Plat for Sarlls 2<sup>nd</sup> Addition, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:**

\$0.00

**Additional Attachments:** Staff Report, Plat, Planning Commission Minutes

**LEAVENWORTH COUNTY  
BOARD OF COUNTY COMMISSIONERS  
STAFF REPORT**

CASE NO: DEV-22-163/164 Sarlls 2<sup>nd</sup> Addition

February 23, 2023

REQUEST: **Consent Agenda**

Preliminary/Final Plat

**STAFF REPRESENTATIVE:**

AMY ALLISON  
DEPUTY DIRECTOR

**SUBJECT PROPERTY: 12051 & 12101 214<sup>TH</sup> STREET**



**APPLICANT/APPLICANT AGENT:**

ATLAS LAND CONSULTING  
14500 PARALLEL ROAD UNIT R  
BASEHOR, KS 66007

**PROPERTY OWNER:**

LARRY D & JANICE L SARLLS  
12101 214<sup>TH</sup> ST  
LINWOOD, KS 66052

**CONCURRENT APPLICATIONS:**

NONE

**LAND USE**

ZONING: RR-5

FUTURE LAND USE DESIGNATION:  
RESIDENTIAL (2.5 ACRE MIN)

**LEGAL DESCRIPTION:**

Lot 3, Sarlls Addition AND a tract in the East Half of the Northeast Quarter of Section 21, Township 12, Range 21 East of the 6th P.M., in Leavenworth County Kansas.

SUBDIVISION: SARLLS ADDITION

FLOODPLAIN: N/A

**PLANNING COMMISSION RECOMMENDATION: APPROVAL WITH CONDITIONS**

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

1. Approve Case No. DEV-22-163/164, Preliminary and Final Plat for Sarlls 2nd Addition, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-22-163/164, Preliminary and Final Plat for Sarlls 2nd Addition, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-22-163/164, Preliminary and Final Plat for Sarlls 2nd Addition, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

PARCEL SIZE:

29.97 ACRES

PARCEL ID NO:

225-21-0-00-00-012.04 & 225-21-0-00-00-010.00

BUILDINGS:

TWO SINGLE-FAMILY RESIDENCES  
AND ACCESSORY STRUCTURES

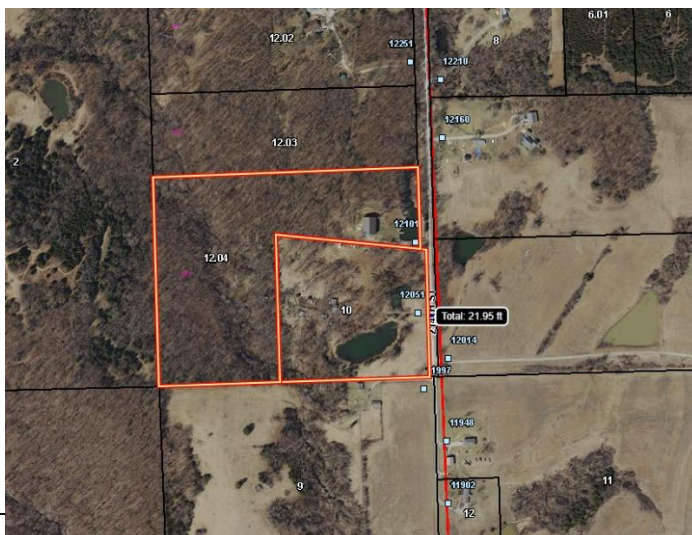
**PROJECT SUMMARY:**

Request for a preliminary and final plat approval to subdivide property located at 12051 & 12101 214<sup>th</sup> Street as Lot 1 - 2 of the Sarlls 2<sup>nd</sup> Addition subdivision.

ACCESS/STREET:

214<sup>TH</sup> STREET - LOCAL, GRAVEL ± 20'

**Location Map:**



**UTILITIES**

SEWER: PRIVATE SEPTIC SYSTEM

FIRE: RENO FD

WATER: RWD 10

ELECTRIC: EVERGY

**NOTICE & REVIEW:**

STAFF REVIEW:

1/4/2023

NEWSPAPER NOTIFICATION:

1/31/2023

NOTICE TO SURROUNDING  
PROPERTY OWNERS:

N/A

<b>STANDARDS TO BE CONSIDERED:</b>			
<i>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</i>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b>	X	
41-6.B.a-c.	<b>Entrance Spacing</b>	X	
41-6.C.	<b>Public Road Access Management Standards</b>	X	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b>	X	
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to plat one tract of land and one lot into Lots 1-2 of the Sarlls 2<sup>nd</sup> Addition. Proposed Lot 1 is a part of the Sarlls Addition subdivision and Lot 2 is an un-platted tract of land. Both lots will be approximately 14.98 acres in size and meet the standards of the Zoning and Subdivision Regulations. The proposed layout will fix an irregular shaped lot. Both lots contain existing single-family residences and some accessory structures, which will remain in compliance. Staff is supportive of the layout and all comments have been addressed.

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary infrastructure is available.
5. The developer must comply with the following memorandums:
  - a. Memo – Emergency Management, 12.27.2022

**ATTACHMENTS:**

- A: Application & Narrative
- B: Zoning Map
- C: Memorandums



**FINAL PLAT APPLICATION**

Leavenworth County Planning and Zoning Department,  
300 Walnut St., Suite 212  
County Courthouse  
Leavenworth, Kansas 66048  
913-684-0465

**SCANNED**

**DEC 06 2022**

*Remo*  
*458*  
*Energy*  
*no water*

Office Use Only  
Township: Remo Planning Commission Meeting Date: \_\_\_\_\_  
Case No. DEV-22-163 Date Received/Paid: 12.06.2022  
Zoning District RR 5 Comprehensive Plan Land Use Designation: \_\_\_\_\_

APPLICANT/AGENT INFORMATION	OWNER INFORMATION
NAME: <u>Austin Thompson / Atlas Land Consulting</u>	NAME: <u>Larry D &amp; Janice L Sarlls</u>
MAILING ADDRESS: <u>14500 Parallel Road Unit R</u>	MAILING ADDRESS: <u>12101 214th Street</u>
CITY/ST/ZIP: <u>Basehor, Ks 66007</u>	CITY/ST/ZIP: <u>Linwood, KS 66052</u>
PHONE: <u>913-702-8916</u>	PHONE: _____
EMAIL: <u>austin@alconsult-llc.com</u>	EMAIL: _____

**GENERAL INFORMATION**

Proposed Subdivision Name: Sarlls 2nd Addition  
Address of Property: 12101 214th Street Linwood, KS 66052  
PID: 2252100000012040 Urban Growth Management Area: \_\_\_\_\_

SUBDIVISION INFORMATION		
Gross Acreage: <u>28.84 ac</u>	Number of Lots: <u>2</u>	Minimum Lot Size: <u>14.42 ac</u>
Maximum Lot Size: <u>14.42 ac</u>	Proposed Zoning: <u>RR-5</u>	Density: _____
Open Space Acreage: _____	Water District: <u>NA</u>	Proposed Sewage: _____
Fire District: _____	Electric Provider: <u>Evergy</u>	Natural Gas Provider: _____
Covenants: <input type="checkbox"/> Yes <input type="checkbox"/> No	Road Classification: <u>Local</u> - Collector - Arterial - State - Federal	
	Cross-Access Easement Requested: <input type="checkbox"/> Yes <input type="checkbox"/> No	

Is any part of the site designated as Floodplain?  Yes  No if yes, what is the panel number: \_\_\_\_\_

I, the undersigned, am the owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a final plat approval as indicated above.

Signature: Austin Thompson Date: 11/14/2022

*lot 3 Sarlls Addition*

*225-21 010.00*

OWNER AUTHORIZATION

I/WE Larry & Janice Sarkis, hereby referred to as the "Undersigned", being of lawful age, do hereby on this 2<sup>nd</sup> day of December, 2022, make the following statements, to wit:

- 1. I/We the Undersigned, on the date first above written, am the lawful, owner(s) in fee simple absolute of the following described real property  
See Attachment "A" attached hereto and incorporated herein by reference.
- 2. I/We the undersigned, have previously authorized and hereby authorize Austin Thompson (Hereinafter referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of Leavenworth County, Kansas, 12101 214th Street Linwood, KS 66052 (common address) the subject real property, or portion thereof, and which authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.
- 3. I/We the Undersigned, hereby agree to protect, defend, indemnify and hold the Board of County Commissioners of Leavenworth County, Kansas, its officers employees and agents (hereinafter collectively referred to as the "County"), free and harmless from and against any and all claims, losses, penalties, damages, settlements, costs, charges, professional fees or other expenses or liabilities, whether false, fraudulent, meritless or meritorious, of every kind and character arising out of or relating to any and all claims, liens, demands, obligations, actions, proceedings, or causes of action of every kind and character (hereinafter "claims"), in connection with, relating to, or arising directly or indirectly out of this authorization and the actions taken by the Applicant and the County in reliance thereof. I, the Undersigned, hereby further agree to investigate, handle, respond to, provide defense for and defend any such claims at my sole expense and agree to bear all other costs at my sole expense and agree to bear all other costs and expenses related thereto, even if such claims are groundless, false or fraudulent.
- 4. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

[Signature]  
Owner

[Signature]  
Owner

STATE OF KANSAS  
COUNTY OF LEAVENWORTH

The foregoing instrument was acknowledge before me on this 2 day of Dec, 2022  
by Christina Marie Mastro

My Commission Expires:

[Signature]  
Notary Public



ATTACHMENT B



OWNER AUTHORIZATION

I/WE Larry & Janice Sarlls, hereby referred to as the "Undersigned", being of lawful age, do hereby on this 2nd day of December, 2022, make the following statements, to wit:

- 1. I/We the Undersigned, on the date first above written, am the lawful, owner(s) in fee simple absolute of the following described real property  
See Attachment "A" attached hereto and incorporated herein by reference.
- 2. I/We the undersigned, have previously authorized and hereby authorize Austin Thompson (Hereinafter referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of Leavenworth County, Kansas, 12101 214th Street Linwood, KS 66052 (common address) the subject real property, or portion thereof, and which authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.
- 3. I/We the Undersigned, hereby agree to protect, defend, indemnify and hold the Board of County Commissioners of Leavenworth County, Kansas, its officers employees and agents (hereinafter collectively referred to as the "County"), free and harmless from and against any and all claims, losses, penalties, damages, settlements, costs, charges, professional fees or other expenses or liabilities, whether false, fraudulent, meritless or meritorious, of every kind and character arising out of or relating to any and all claims, liens, demands, obligations, actions, proceedings, or causes of action of every kind and character (hereinafter "claims"), in connection with, relating to, or arising directly or indirectly out of this authorization and the actions taken by the Applicant and the County in reliance thereof. I, the Undersigned, hereby further agree to investigate, handle, respond to, provide defense for and defend any such claims at my sole expense and agree to bear all other costs at my sole expense and agree to bear all other costs and expenses related thereto, even if such claims are groundless, false or fraudulent.
- 4. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Larry Sarlls  
Owner

Janice Sarlls  
Owner

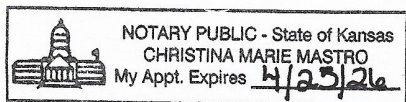
STATE OF KANSAS  
COUNTY OF LEAVENWORTH

The foregoing instrument was acknowledge before me on this 2 day of Dec, 2022

by Christina Marie Mastro

My Commission Expires:

Christina Marie Mastro  
Notary Public

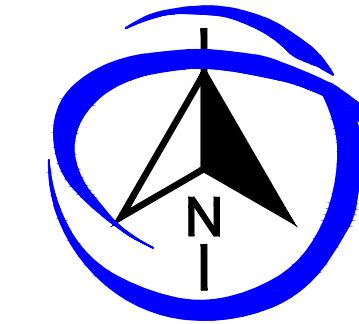


ATTACHMENT B



# SARLLS 2ND ADDITION

A REPLAT OF LOT 3, SARLLS ADDITION & A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, OF THE 6TH P.M., IN LEAVENWORTH COUNTY, KANSAS



**ALC**  
ATLAS LAND CONSULTING  
SURVEYING | ENGINEERING | DRONE | CAD  
14500 Parallel Road, Unit R, Basehor KS 66007  
ANDREA@ALCONSULT-LLC.COM

KS ENG COA. #3315  
KS SUR COA. #283  
MO ENG COA. #202014084  
MO SUR COA. #202014231

## PRELIMINARY PLAT

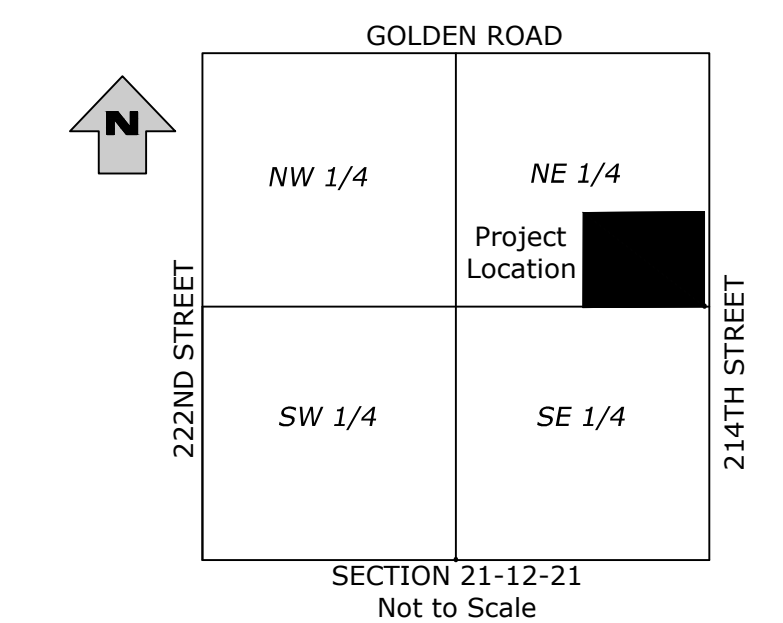
## LEGEND

- △ DENOTES FOUND MONUMENT AS NOTED
- DENOTES SET 1/2" REBAR IN CONCRETE WITH LS# 1408 CAP
- DENOTES FOUND PROPERTY CORNER AS NOTED
- B/L BUILDING LINE
- U/E UTILITY EASEMENT
- D/E DRAINAGE EASEMENT

## GENERAL NOTES

- The basis for the bearing system for this plat is the Kansas North Zone U.S. State Plane 1983, the East line of the Northeast Quarter of Sec 21-12-21 N01°32'24"W
- All distances shown hereon are ground distances in U.S. Survey feet.
- Floodplain Note: According to "FIRM" Map Community Panel Numbers 20103C0400G, effective July 16, 2015, this plat is located in Zones "X".
- Ks One Call was not called at the time of survey.
- The minimum Front Yard Setback for Single Family Lot shall be 105 feet from the centerline of the road.
- The minimum Side Yard Setback for Single Family Lot shall be 15 feet from each side of structure.
- The minimum Rear Yard Setback for Single Family Lot shall be 40 feet from the structure to the property line.
- Benchmark: NGS JE1011 - Elev. 794.64
- Current Use - Residential / Proposed Use - Residential
- Current Zoning RR-5 / Proposed Zoning RR 5
- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations.
- All lots will be on septic sewer systems.
- Title Commitment via Secured Title Of Kansas City - Wyandotte -No. SKC0072890 & No. SKC0072890
- Erosion and sediment control measures shall be used when designing and construction of driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- Blanket Oil and Gas Lease agreement per Book 563 Page 1183 dated March 28, 1983.
- Referenced Survey: Sarlls Addition Final Plat dated May 15, 2017 by Atlas Surveyors - Doc #2018P00008
- Lots are subject to the current Access Management Policy.
- An Engineer Waste Disposal System may be required due to poor soil conditions.
- There are no off-plat restrictions in place.

## VICINITY MAP



This is to certify on this 9TH day of NOVEMBER, 2022 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for boundary surveys pursuant to K.S.A. 74-7037.

ROGER B. DILL LS 1408  
JOB NO:22-1154

SCALE 80 40 0 80 SCALE IN FEET	PREPARED FOR SARLLS FAMILY ADDRESS: 12101 214TH STREET LINWOOD, KS 66052
SEC-TWN-RNG 21-12-21	DATE NOVEMBER 8, 2022

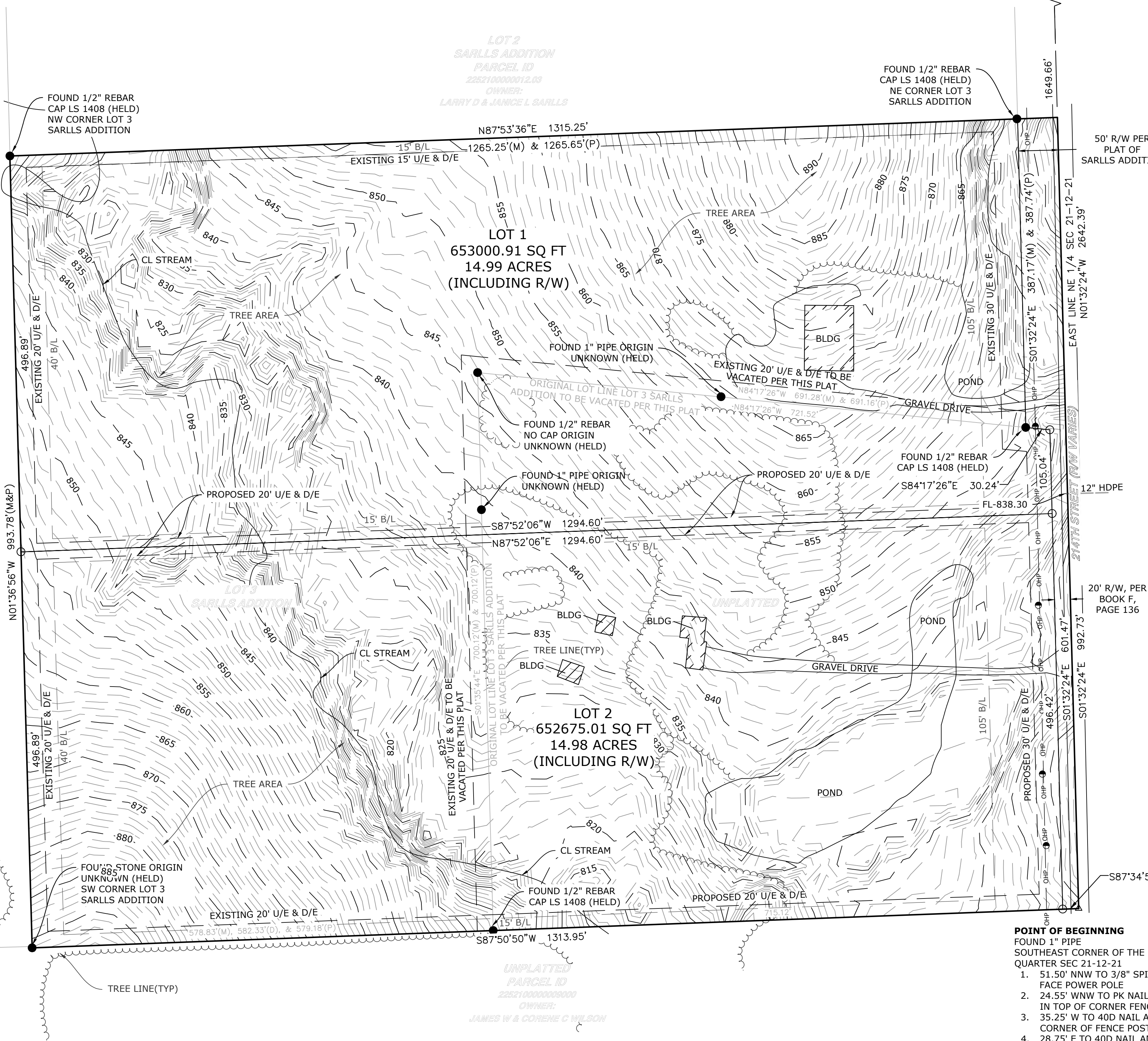
- FOUND 1/2" REBAR  
NORTHEAST CORNER OF THE  
NORTHEAST QUARTER SEC 21-12-21
- 41.40' SW TO 8" SPIKE IN TELEPHONE POST
  - 42.90' NW TO 30D NAIL IN TOP CORNER POST
  - 33.15' NE TO 60D NAIL IN TOP OF CORNER POST
  - 34.10' SE TO 40D NAIL IN POWER POLE

### DESCRIPTION

DEED 2018R08818 & 2022R08601  
LOT 3, IN SARLLS ADDITION IN LEAVENWORTH COUNTY, KANSAS  
&  
A TRACT IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 12, RANGE 21, DESCRIBED AS FOLLOWS:  
COMMENCING AT A POINT ON THE WEST SIDE OF THE TOWNSHIP ROAD, 20 FEET WEST OF THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 21, THENCE SOUTH 89 DEGREES 57 MINUTES 46 SECONDS WEST 739 FEET TO A POINT, THENCE NORTH 0 DEGREES 45 MINUTES 00 SECONDS EAST 700 FEET TO A POINT, THENCE SOUTH 82 DEGREES 14 MINUTES 40 SECONDS EAST 744.68 FEET TO A POINT ON THE WEST SIDE OF TOWNSHIP ROAD, THENCE SOUTH ON WEST SIDE OF ROAD 0 DEGREES 45 MINUTES 00 SECONDS WEST TO THE PLACE OF BEGINNING, IN LEAVENWORTH COUNTY, KANSAS, LESS THAT PART TAKEN OR USED FOR ROAD PURPOSES.

### SURVEYORS SUGGESTED

A REPLAT OF LOT 3, SARLLS ADDITION & A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, OF THE 6TH P.M., IN LEAVENWORTH COUNTY, KANSAS, DESCRIBED BY ROGER B. DILL PS 1408, ON NOVEMBER 8TH, 2022, AS FOLLOWS:  
BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE S87°50'50"W, A DISTANCE OF 1313.95 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE N01°36'56"W, ALONG THE WEST LINE OF SAID LOT 3, A DISTANCE OF 993.78 FEET TO THE NORTHWEST CORNER OF SAID LOT 3; THENCE N87°53'36"E, ALONG THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 1315.25 FEET TO A POINT ON THE EAST LINE OF SAID NORTHEAST QUARTER; THENCE S01°32'24"E, ALONG SAID EAST LINE, A DISTANCE OF 992.73 FEET TO THE POINT OF BEGINNING.  
CONTAINING 1,305,675.92 SQUARE FEET MORE OR LESS OR 29.97 ACRES  
PRECISION: 1 PART IN 11,539,295.000



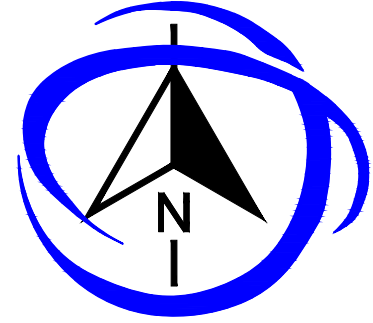
- POINT OF BEGINNING**  
FOUND 1" PIPE  
SOUTHWEST CORNER OF THE NORTHEAST QUARTER SEC 21-12-21
- 51.50' NNW TO 3/8" SPIKE IN SOUTHWEST FACE POWER POLE
  - 24.55' WNW TO PK NAIL IN LS 655 WASHER IN TOP OF CORNER FENCE POST
  - 35.25' W TO 40D NAIL AND WASHER IN TOP CORNER OF FENCE POST
  - 28.75' E TO 40D NAIL AND WASHER IN SOUTH SIDE CORNER FENCE POST

**UTILITIES**  
EVERGY - 800-383-1183  
RURAL WATER DISTRICT 10 - 913-723-3452  
KANSAS GAS SERVICE - 1-800-794-4780

UNPLATTED  
PARCEL ID  
225110000012.03  
OWNER:  
ALEXANDER D & JILLIAN J DEMORO

UNPLATTED  
PARCEL ID  
225110000012.03  
OWNER:  
JAMES W & CORINNE C WILSON

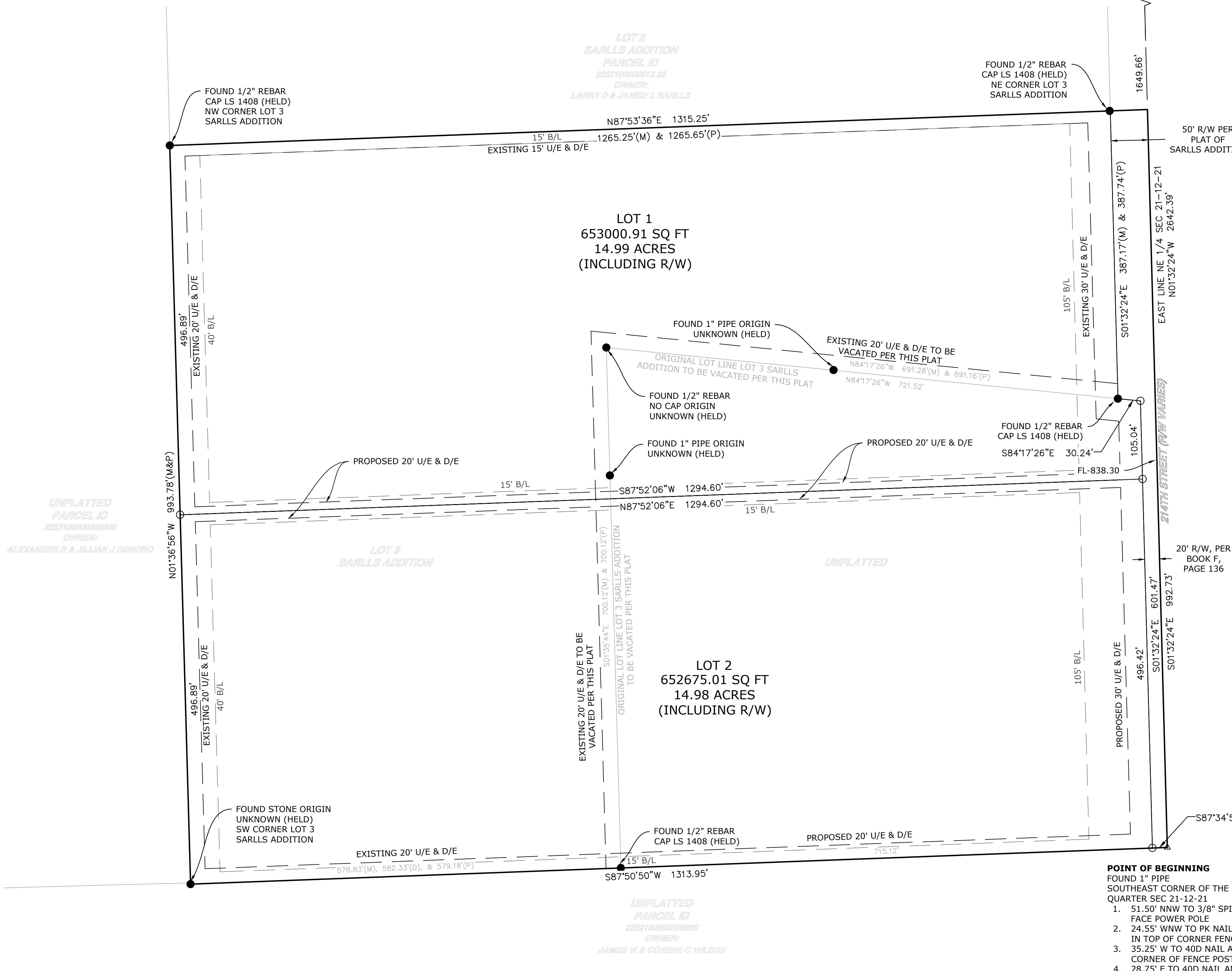




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 CONTAINING 1,305,675.92 SQUARE FEET MORE OR LESS OR 29.97 ACRES  
 PRECISION: 1 PART IN 11,539,295.000

### DEDICATION

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "SARLLS 2ND ADDITION".

The streets and roads shown on this plat and not heretofore dedicated to public use, are hereby so dedicated.  
 The undersigned proprietor of the above described tract of land does hereby certify that all prior existing easement rights on land to be dedicated for the public use running to any person, utility, or corporation have been absorbed except that same person, utility or corporation shall retain whatever rights they would have as if located in a public street.

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction, or maintenance and use of conduits, water, gas, electrical, sewer pipes, poles, wires, drainage facilities, ducts and cables, and similar utility facilities upon, over, and under these areas outlined and designated on this plat as "Utility Easement" or "U/E", is hereby granted to the Leavenworth County, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

The use of all lots in this subdivision shall hereafter be subject to the restrictions which will be executed as a separate instrument of writing and will be recorded in the Office of the Register of Deeds of Leavenworth County, Kansas, said restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein.

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Building Lines are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

OWNER

LARRY D SARLLS

JANICE L SARLLS

STATE OF KANSAS )  
 ) SS  
 COUNTY OF LEAVENWORTH )

BE IT REMEMBERED, that on this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_ before me, a Notary Public in and for said County and State, came LARRY D SARLLS & JANICE L SARLLS to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal the day and year above written.

My Commission Expires: \_\_\_\_\_

Notary Public

This plat of SARLLS 2ND ADDITION has been submitted and approved by Leavenworth County Planning Commission, this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

CHAIRMAN - STEVEN ROSENTHAL

SECRETARY

This plat approved by the Governing Body of Leavenworth County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

CHAIRMAN - MIKE SMITH ATTEST - COUNTY CLERK - JANET KLASINSKI

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy or adequacy of the design, dimensions, elevations, and quantities.

COUNTY ENGINEER

State of Kansas, County of Leavenworth, SS.

This is to certify that this instrument was filed for record in the Register of Deeds office on the \_\_\_\_\_ day of \_\_\_\_\_, 2022, in Book \_\_\_\_\_, Page \_\_\_\_\_.

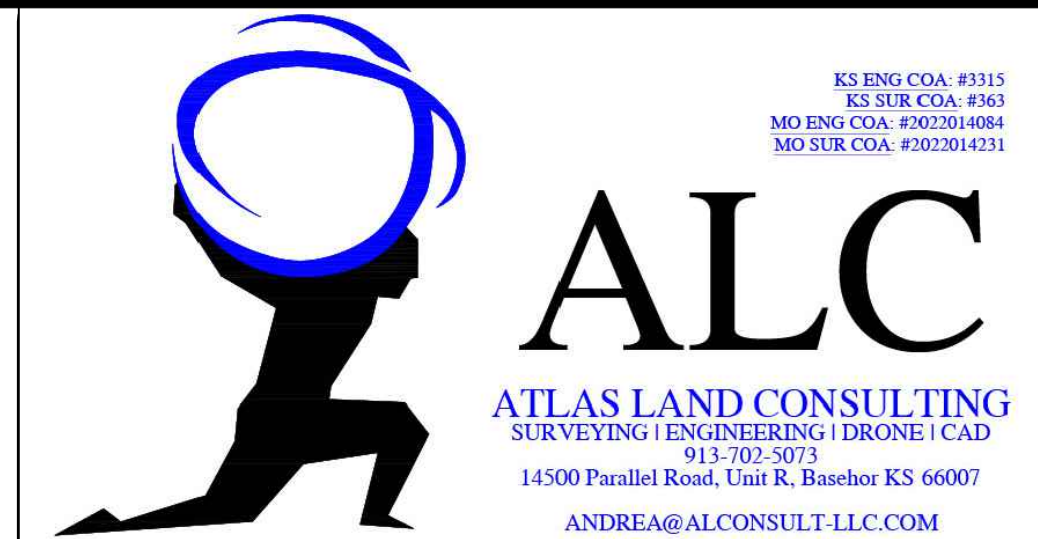
REGISTER OF DEEDS, TERRILOIS G. MASHBURN

I hereby certify this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary surveys. No field verification is implied. This review is for survey information only.

LEAVENWORTH COUNTY SURVEYOR  
 DANIEL BAUMCHEN, PS-1363

### UTILITIES

ENERGY - 800-383-1183  
 RURAL WATER DISTRICT 10 - 913-723-3452  
 KANSAS GAS SERVICE - 1-800-794-4780



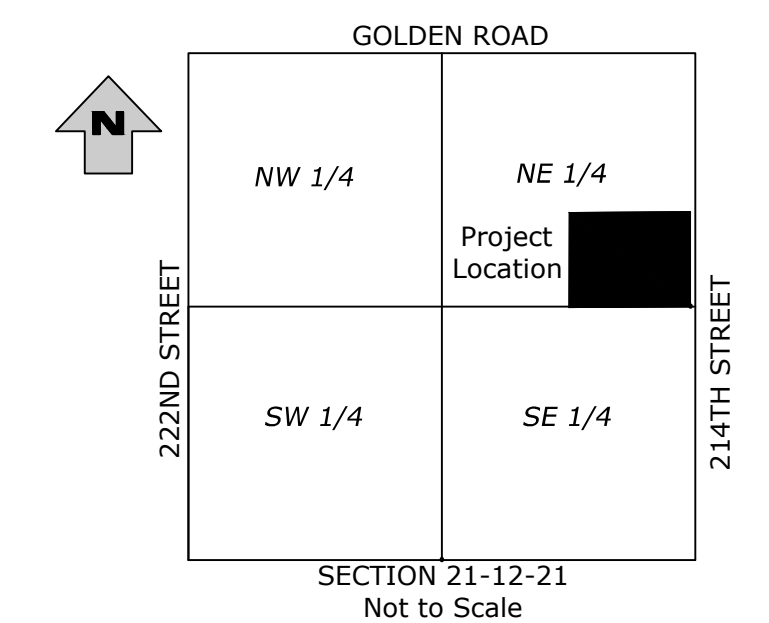
## FINAL PLAT LEGEND

- △ DENOTES FOUND MONUMENT AS NOTED
- DENOTES SET 1/2" REBAR IN CONCRETE WITH LS# 1408 CAP
- DENOTES FOUND PROPERTY CORNER AS NOTED
- B/L BUILDING LINE
- U/E UTILITY EASEMENT
- D/E DRAINAGE EASEMENT

## GENERAL NOTES

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- Benchmark  
 - NGS JE1011 - EIV-794.64
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## VICINITY MAP



This is to certify on this 9TH day of NOVEMBER, 2022 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for boundary surveys pursuant to K.S.A. 74-7037.

ROGER B. DILL LS 1408  
 JOB NO: 22-1154

SCALE PREPARED FOR

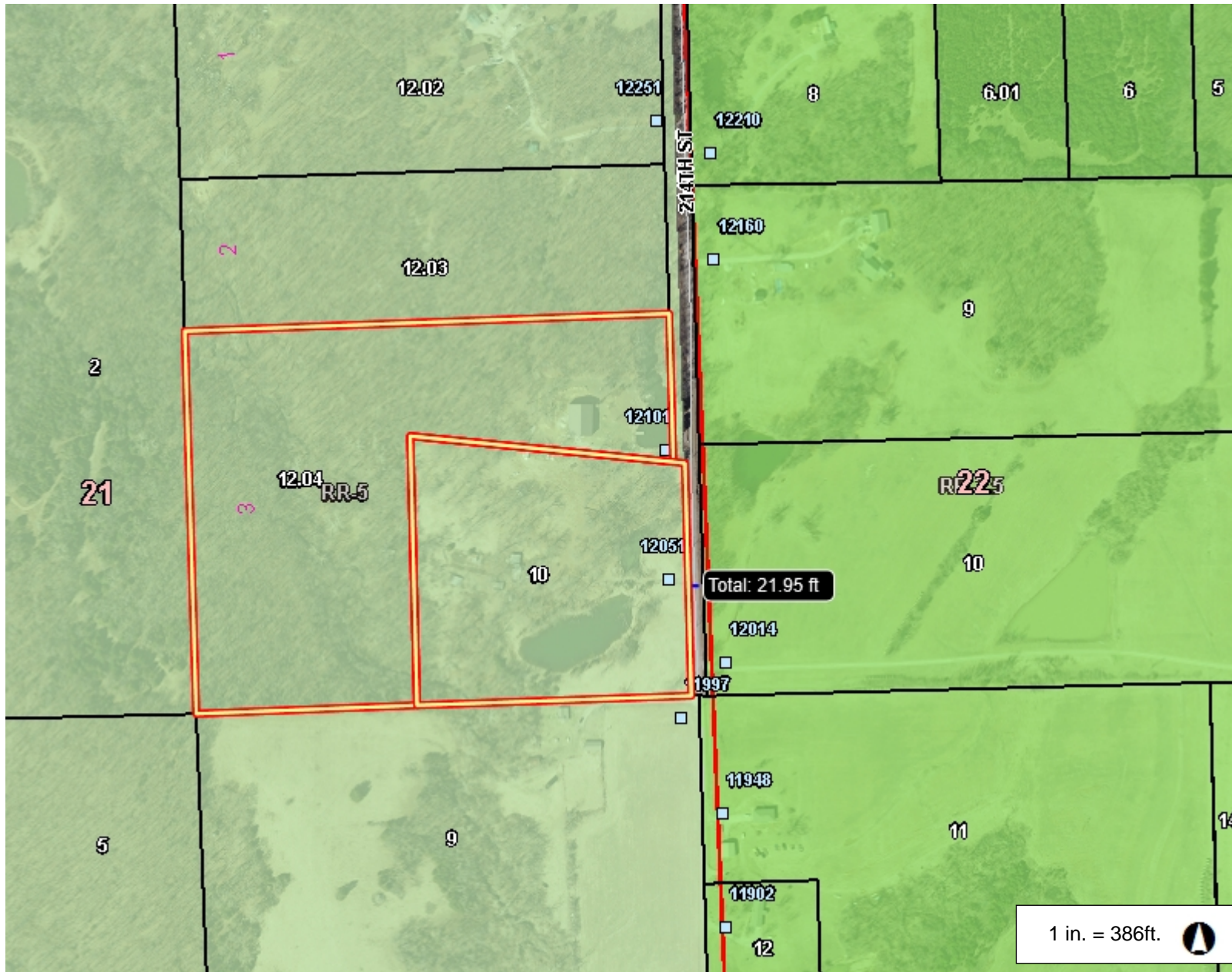
80 40 0 80  
 SCALE IN FEET

SEC-TWN-RNG  
 21-12-21 SARLLS FAMILY  
 ADDRESS: 12101 214TH STREET  
 LINWOOD, KS 66052

DATE  
 NOVEMBER 8, 2022



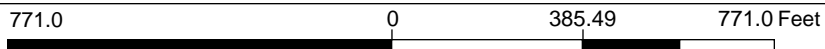
# DEV-22163/164 SARLLS 2ND ADDITION



### Legend

- Address Point
- Parcel Number
- Lot Line
- Parcel
- ⋮ City Limit Line
- Major Road
- <all other values>
- 70
- Road
- + Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
- B-1
- B-2
- B-3
- I-1
- I-2
- I-3
- MXD
- PC
- PI
- PR-1
- PR-2
- PR-3

1 in. = 386ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes

## Allison, Amy

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**From:** Boone Heston <Boone.Heston@evergy.com>  
**Sent:** Wednesday, December 14, 2022 3:18 PM  
**To:** Ross Harris; Allison, Amy  
**Subject:** RE: DEV-22-163/164 Replat– Sarlls 2nd Addition

Internal Use Only

Good afternoon Allison,

I don't see that this would hurt us in any way. Our existing infrastructure does not cross the property to go feed another property so we should be good.

Thank you,

Boone Heston  
Evergy  
Supervisor, Field Design  
Lawrence Service Center  
[Boone.Heston@evergy.com](mailto:Boone.Heston@evergy.com)  
O 785-508-2590

---

**From:** Ross Harris <Ross.Harris@evergy.com>  
**Sent:** Wednesday, December 14, 2022 10:27 AM  
**To:** Boone Heston <Boone.Heston@evergy.com>  
**Subject:** FW: DEV-22-163/164 Replat– Sarlls 2nd Addition

Internal Use Only

Boone, this is in regards to the info you requested from Leavenworth county and the proposals. Just wanted to forward you what Amy had said.

### Ross Harris

Evergy  
TD Designer IV, Lawrence  
O: 785-865-4857  
[ross.harris@evergy.com](mailto:ross.harris@evergy.com)

---

**From:** Allison, Amy <[AAllison@leavenworthcounty.gov](mailto:AAllison@leavenworthcounty.gov)>  
**Sent:** Wednesday, December 14, 2022 9:43 AM

# MEMO

**To:** Krystal Voth  
**From:** Chuck Magaha  
**Subject:** Sarlls 2<sup>nd</sup> addition  
**Date:** December 27, 2022

Krystal, I have reviewed the preliminary plat of the Sarlls 2<sup>nd</sup> Addition Subdivision presented by Larry and Janice Sarlls. The subdivision meets the requirements for a fire hydrant and supported with a 6" water line as stated in the subdivision guidelines. The area in which the subdivision is proposed along 214<sup>th</sup> Street a fire hydrant placed between Lot 1 and Lot 2 . I have no further recommendation for this subdivision.

If you have any questions please call me 684-0455.



# Summary of Comments on 24X36

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Page: [1] 24X36

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- Number: 1      Author: AutoCAD SHX Text      Date: Indeterminate  
80

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- Number: 2      Author: AutoCAD SHX Text      Date: Indeterminate  
40

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- Number: 3      Author: AutoCAD SHX Text      Date: Indeterminate  
0

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- Number: 4      Author: AutoCAD SHX Text      Date: Indeterminate  
80

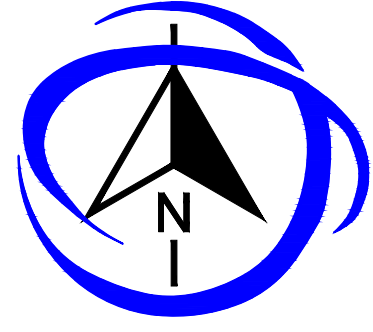
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- Number: 5      Author: AutoCAD SHX Text      Date: Indeterminate  
SCALE IN FEET

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- Number: 6      Author: dbaumchen      Subject: Text Box      Date: 12/29/2022 4:14:09 PM  
**Reviewed 2022.12.29 No Comments**





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  - 34.10' SE TO 40D NAIL IN POWER POLE

LOT 2  
SARLLS ADDITION  
PARCEL ID  
225210000012.03  
OWNER:  
LARRY D & JANICE L SARLLS

LOT 1  
653000.91 SQ FT  
14.99 ACRES  
(INCLUDING R/W)

LOT 2  
652675.01 SQ FT  
14.98 ACRES  
(INCLUDING R/W)

UNPLATTED  
PARCEL ID  
225210000012.03  
OWNER:  
ALEXANDER D & JILLIAN J DEMORO

LOT 3  
SARLLS ADDITION

UNPLATTED

**01-03-2023  
OLSSON REVIEW  
No Further Comment**

## DESCRIPTION

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The undersigned proprietor of the above described tract of land does hereby certify that all prior existing easement rights on land to be dedicated for the public use running to any person, utility, or corporation have been absorbed except that same person, utility or corporation shall retain whatever rights they may have as if located in a public street.

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction, or maintenance and use of conduits, water, gas, electrical, sewer pipes, poles, wires, drainage facilities, ducts and cables, and similar utility facilities upon, over, and under these areas outlined and designated on this plat as "Utility Easement" or "U/E", is hereby granted to the Leavenworth County, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

The use of all lots in this subdivision shall hereafter be subject to the restrictions which will be executed as a separate instrument of writing and will be recorded in the Office of the Register of Deeds of Leavenworth County, Kansas, said restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein.

The use of all lots in this subdivision shall hereafter be subject to the restrictions which will be executed as a separate instrument of writing and will be recorded in the Office of the Register of Deeds of Leavenworth County, Kansas, said restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein. RECORDED: DATE BOOK PAGE

Building Lines are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

OWNER

LARRY D SARLLS

JANICE L SARLLS

STATE OF KANSAS) JSS  
COUNTY OF LEAVENWORTH)

BE IT REMEMBERED, that on this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_, before me, a Notary Public in and for said County and State, came LARRY D SARLLS & JANICE L SARLLS to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal the day and year above written.

My Commission Expires: \_\_\_\_\_

Notary Public

This plat of SARLLS 2ND ADDITION has been submitted and approved by Leavenworth County Planning Commission, this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

CHAIRMAN - STEVEN ROSENTHAL

SECRETARY

This plat approved by the Governing Body of Leavenworth County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

CHAIRMAN - MIKE SMITH ATTEST - COUNTY CLERK - JANET KLASINSKI

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy or adequacy of the design, dimensions, elevations, and quantities.

COUNTY ENGINEER

State of Kansas, County of Leavenworth, KS.

This is to certify that this instrument was filed for record in the Register of Deeds office on the \_\_\_\_\_ day of \_\_\_\_\_, 2022, in Book \_\_\_\_\_, Page \_\_\_\_\_.

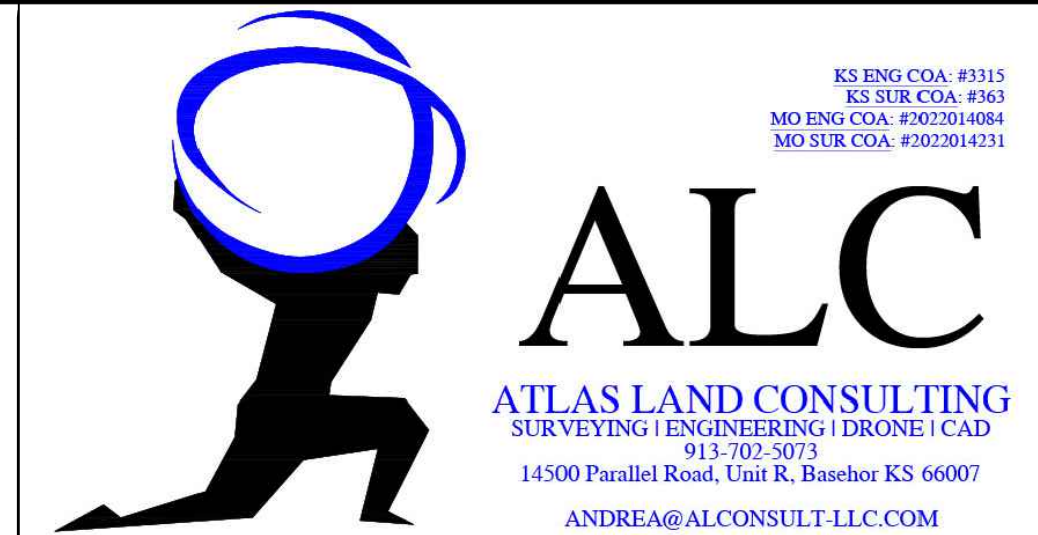
REGISTER OF DEEDS, TERRILLOIS G. MASHBURN

I hereby certify this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

LEAVENWORTH COUNTY SURVEYOR  
DANIEL BAUMCHEN, PS-1363

## UTILITIES

ENERGY - 800-383-1183  
RURAL WATER DISTRICT 10 - 913-723-3452  
KANSAS GAS SERVICE - 1-800-794-4780



## FINAL PLAT

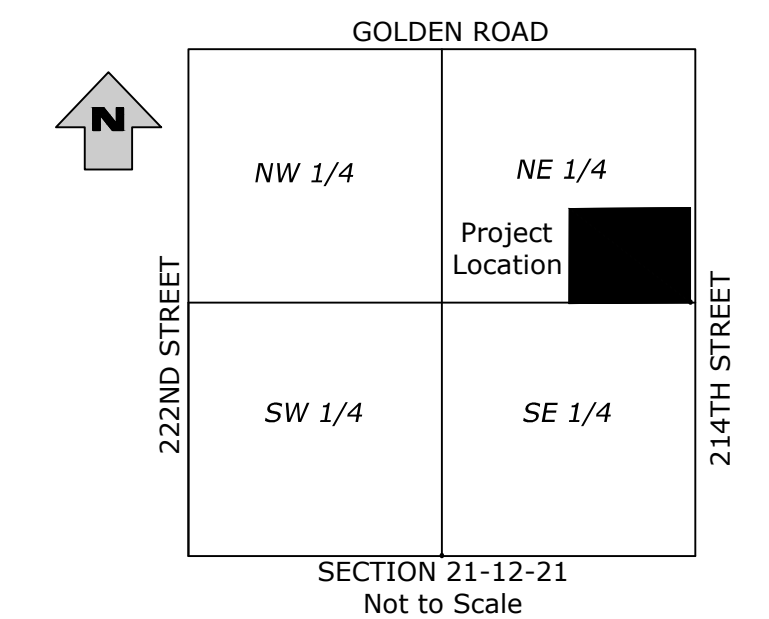
## LEGEND

- △ DENOTES FOUND MONUMENT AS NOTED
- DENOTES SET 1/2" REBAR IN CONCRETE WITH LS# 1408 CAP
- DENOTES FOUND PROPERTY CORNER AS NOTED
- B/L BUILDING LINE
- U/E UTILITY EASEMENT
- D/E DRAINAGE EASEMENT

## GENERAL NOTES

- The basis for the bearing system for this plat is the Kansas North Zone U.S. State Plane 1983, the East line of the Northeast Quarter of Sec 21-12-21 N01°32'24"W.
- All distances shown hereon are ground distances in U.S. Survey feet.
- Floodplain Note: According to "FIRM" Map Community Panel Numbers 20103C0400G, effective July 16, 2015, this plat is located in Zones "X".
- Ks One Call was not called at the time of survey.
- The minimum Front Yard Setback for Single Family Lot shall be 105 feet from the centerline of the road.
- The minimum Side Yard Setback for Single Family Lot shall be 15 feet from each side of structure.
- The minimum Rear Yard Setback for Single Family Lot shall be 40 feet from the structure to the property line.
- Benchmark  
- NGS JE1011 - EIV-794.64
- Current Use - Residential / Proposed Use - Residential
- Current Zoning RR-5 / Proposed Zoning RR 5
- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations.
- All lots will be on septic sewer systems.
- Title Commitment via Secured Title Of Kansas City - Wyandotte  
-No. SKC0072889 & No. SKC0072890
- Erosion and sediment control measures shall be used when designing and construction of driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- Blanket Oil and Gas Lease agreement per Book 563 Page 1183 dated March 28, 1983.
- Referenced Survey  
- Sarlls Addition Final Plat dated May 15, 2017 by Atlas Surveyors - Doc #2018P00008
- Lots are subject to the current Access Management Policy.
- An Engineer Waste Disposal System may be required due to poor soil conditions.
- There are no off-plat restrictions in place.

## VICINITY MAP



This is to certify on this 9TH day of NOVEMBER, 2022 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for boundary surveys pursuant to K.S.A. 74-7037.

ROGER B. DILL LS 1408  
JOB NO: 22-1154

SCALE

PREPARED FOR

80 40 0 80  
SCALE IN FEET

SEC-TWN-RNG

SARLLS FAMILY

21-12-21

ADDRESS: 12101 214TH STREET  
LINWOOD, KS 66052

DATE

NOVEMBER 8, 2022







**01-04-2023**  
**OLSSON REVIEW**  
**No Further Comment**



**ALC**  
 ATLAS LAND CONSULTING  
 SURVEYING | ENGINEERING | DRONE | CAD  
 913-702-5073  
 606 Jefferson Hills Court, Lawrence, Kansas 66044

606 Jefferson Hills Court  
 Lawrence, KS 66044

# DRAINAGE STUDY

For:

## Sarlls Addition

12101 214 Street,  
 Linwood, Ks 66052

Prepared for:

Larry D and Janice L Sarlls  
 12101 214 Street,  
 Linwood, Ks 66052



Prepared by:

**ATLAS LAND CONSULTING, LLC**  
 14500 Parallel Rd R  
 Basehor, Ks 66007  
 913-702-5073

November 21<sup>st</sup>, 2022

Revision	Date	By	Description
1	12/27/22	TAE	OLSSON REVIEW 1
2	01/04/23	TAE	OLSSON REVIEW 2
3			



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TABLE OF CONTENTS

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PROPOSED CONDITION ANALYSIS ..... 8

WATER QUALITY ..... 9

SUMMARY ..... 10

ATTACHMENTS

Existing/Proposed Drainage Area Map (Figure 1)  
Parcel Maps  
HydroCAD Report  
Soil Report

## GENERAL INFORMATION

### Description

The Sarlls Addition project is a 2-lot split located in a tract of land in the east half of the northeast quarter of section 21, Township 12 South, Range 21 East of the 6<sup>th</sup> P.M. in Leavenworth County, Kansas.

### Project Location

The project is located in Linwood, Leavenworth County, Kansas. The site is located within FEMA FIRM Panel 20103C0400G (Effective date: 7/16/2015). The entire site is located in Flood Zone X (Area of minimal flood hazard).

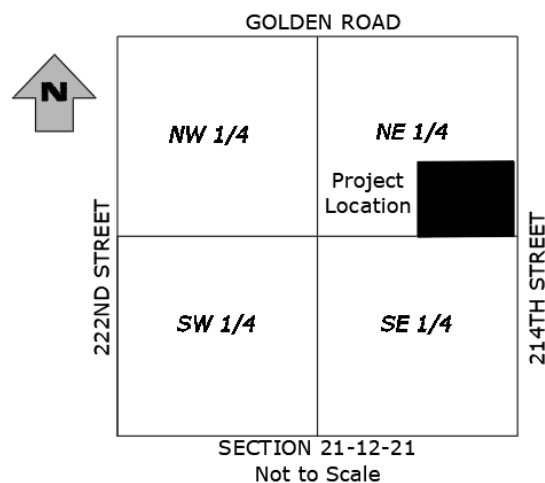
### Watershed

The site is located within the County of Leavenworth – Kansas River (Hydrologic Unit Code 102901040505) [per EPA WATERS GeoViewer – <https://www.epa.gov/waterdata/waters-geoviewer>]. Runoff from the site discharges to the creek bed on the site which discharges to Kansas River.

### Site Acreage

The development includes 28.83 acres.

### Location Map



### LOCATION MAP



## Soils

Soil on this site is made up of a combination of soils summarized in Table A.

<b>Table A. Soil Data</b>			
Soil Name	Acres on Lot	Percent of Lot	HSG Rating
Marshall silt loam, 5-9% slopes	28.83	100%	D

See the attached Soil Report.

## Curve Numbers

The Curve numbers used for this project came from the USDA Urban Hydrology for Small Watersheds (TR-55) Document, Table 2-2.

## METHODOLOGY

### Hydrologic Calculations

Calculations were performed utilizing HydroCAD 10.10 (<http://www.hydrocad.net>). The following formula was used by HydroCAD to compute the composite CN values for the drainage areas:

$$CN_C = \frac{CN_1A_1 + CN_2A_2 \dots CN_nA_n}{A_1 + A_2 \dots A_n} \quad \text{Eq. 11.1}$$

$CN_C$ =Composite (weighted) CN value  
 $CN_1$ - $CN_n$ =Individual CN values  
 $A_1$ - $A_n$ =Area associated with each CN value

The following formula was used by HydroCAD to compute peak runoff:

$$Q = CiA \quad \text{Eq. 15.1}$$

$Q$ =Peak Runoff  
 $C$ =Runoff Coefficient  
 $i$ =Rainfall intensity  
 $A$ =Area

Please see HydroCAD's Technical Reference Manual for any concerns or questions about computational methods.

### Runoff

HydroCAD was configured to utilize the SCS TR-20 runoff method (SCS Unit Hydrograph Method).

### Time of Concentration

The Time of Concentration methods outlined in APWA 5602.7 were used to calculate the Time of Concentration. When flow lengths were very short, the APWA 5600 minimum Time of Concentration of 5 minutes was utilized.

### Rainfall Data

24 hour rainfall amounts for the following events were utilized (Leavenworth County, KS):

Table B. Rainfall Data

Event	Depth (in.)
2-Year (50% annual chance)	3.53
10-Year (10% annual chance)	5.25
100-Year (1% annual chance)	8.30

## EXISTING CONDITION ANALYSIS

### On-site Drainage Area

The entirety of the existing developed 28.83-acre site currently drains to the creek bed on the western side of the property that flows into the Kansas River. Thus, there exists only one drainage area. There are no existing detention or water treatment facilities onsite. See attached Drainage Area Map (Figure 1)

### Land Use and Curve Number

The current property exists as a developed area of two residential lots, primarily with a Hydrologic Soil Group (HSG) classification of D. The existing woods are unmaintained thus are assigned a curve number for a “fair” condition.

Table C. Existing Ground Cover

Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D
28.833	80	Weighted Average
27.595		95.71% Pervious Area
1.238		4.29% Impervious Area
0.154		12.44% Unconnected

### Time of Concentration

The time of concentration for the drainage area was calculated as 54.6 minutes. See the attached HydroCAD report.

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
45.8	297	0.0940	0.11		<b>Sheet Flow, Segment 1</b> Woods: Dense underbrush n= 0.800 P2= 3.53"
5.5	440	0.0720	1.34		<b>Shallow Concentrated Flow, Segment 2</b> Woodland Kv= 5.0 fps
3.3	1,046	0.0050	5.27	569.24	<b>Channel Flow, Segment 3</b> Area= 108.0 sf Perim= 38.0' r= 2.84' n= 0.040 Winding stream, pools & shoals
54.6	1,783	Total			

### Runoff



The following is a summary of the existing Drainage Area's runoff. The drainage areas are analyzed separately because they contribute to separate watersheds.

Table D. Existing Drainage Area Runoff (cfs)

	Storm Event		
	2-yr	10-yr	100-yr
Drainage Area	26.64	50.43	94.85

See the attached HydroCAD report.





## PROPOSED CONDITION ANALYSIS

### On-site Drainage Area

The proposed development will re-arrange the lot lines on two existing single-family residential lots, both lots will be 14.42 acres. This development does not alter the existing drainage area's boundary, nor does it change the use of the lots. See the attached Drainage Area Map (Figure 2).

### Land Use and Curve Number

The proposed development will have no changes to the current site. The existing woods are to remain undisturbed by development. The existing buildings are to remain undisturbed. The existing ponds are to remain undisturbed. It is assumed that the proposed lots will continue to be the same as they currently are. Below is a table summarizing the proposed ground cover.

Table E. Proposed Ground Cover

Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D
28.833	80	Weighted Average
27.595		95.71% Pervious Area
1.238		4.29% Impervious Area
0.154		12.44% Unconnected

### Time of Concentration

The time of concentration for the drainage area was calculated as 54.6 minutes. See the attached HydroCAD report.



Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
45.8	297	0.0940	0.11		<b>Sheet Flow, Segment 1</b> Woods: Dense underbrush n= 0.800 P2= 3.53"
5.5	440	0.0720	1.34		<b>Shallow Concentrated Flow, Segment 2</b> Woodland Kv= 5.0 fps
3.3	1,046	0.0050	5.27	569.24	<b>Channel Flow, Segment 3</b> Area= 108.0 sf Perim= 38.0' r= 2.84' n= 0.040 Winding stream, pools & shoals
54.6	1,783	Total			

### Runoff

Table F is a summary of the proposed site's runoff.

Table F. Proposed Drainage Area Runoff (cfs)

	Storm Event		
	2-yr	10-yr	100-yr
North Drainage Area P1	26.64	50.43	94.85

The proposed site's outflow is required to be less than its existing runoff rate. Table G shows the comparison of the proposed site's runoff and the site's existing runoff rate.

Table G. Runoff Flow Summary (cfs)

Event	Existing Peak Discharge	Proposed Peak Discharge	Difference
2-Year	26.64	26.64	0.00
10-Year	50.43	50.43	0.00
100-Year	94.85	94.85	0.00

See attached HyrdoCAD report

## **WATER QUALITY**

Because the site's composite Curve Number was unchanged, no BMP's are required per the MARC manual worksheet 1.



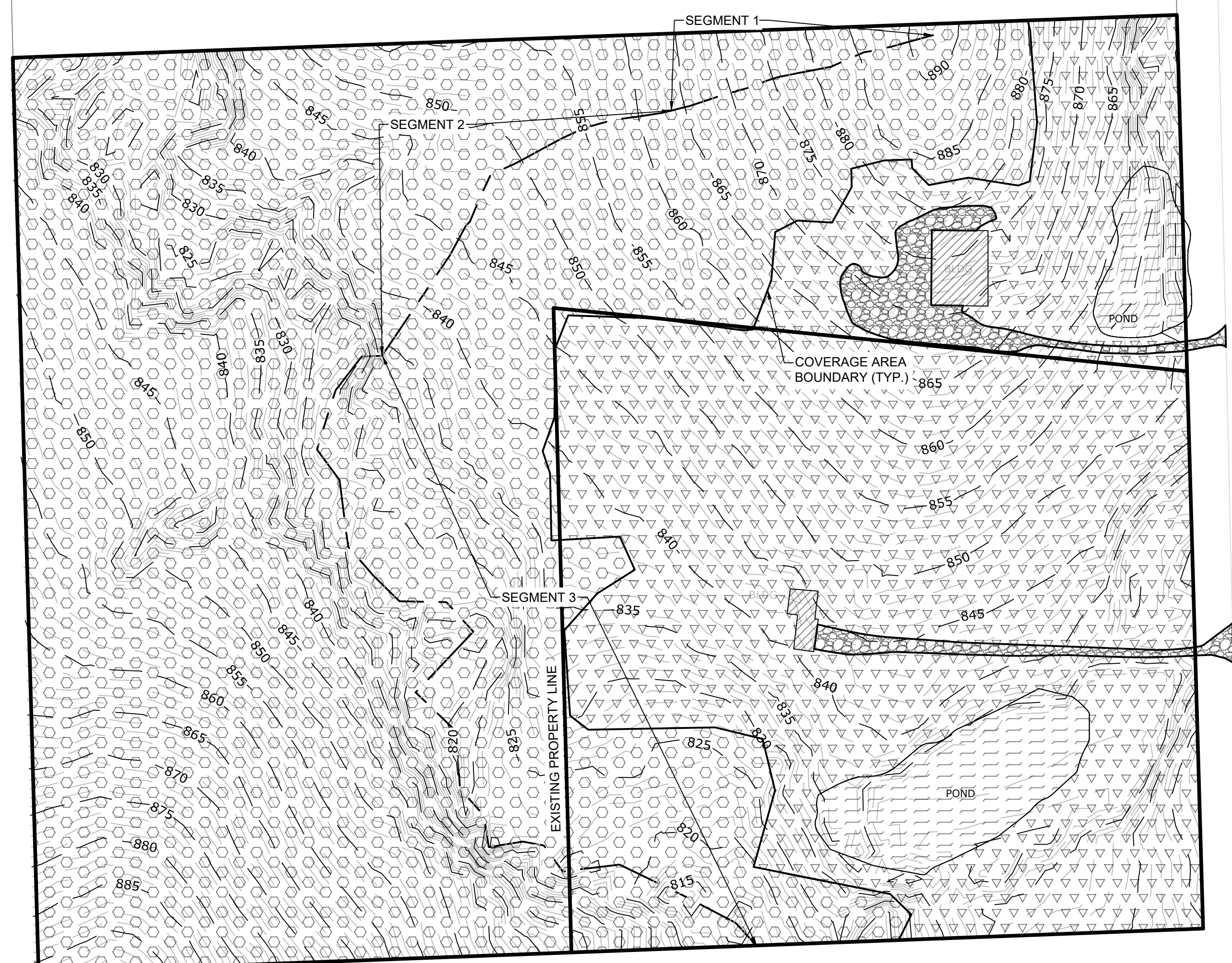
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## SUMMARY

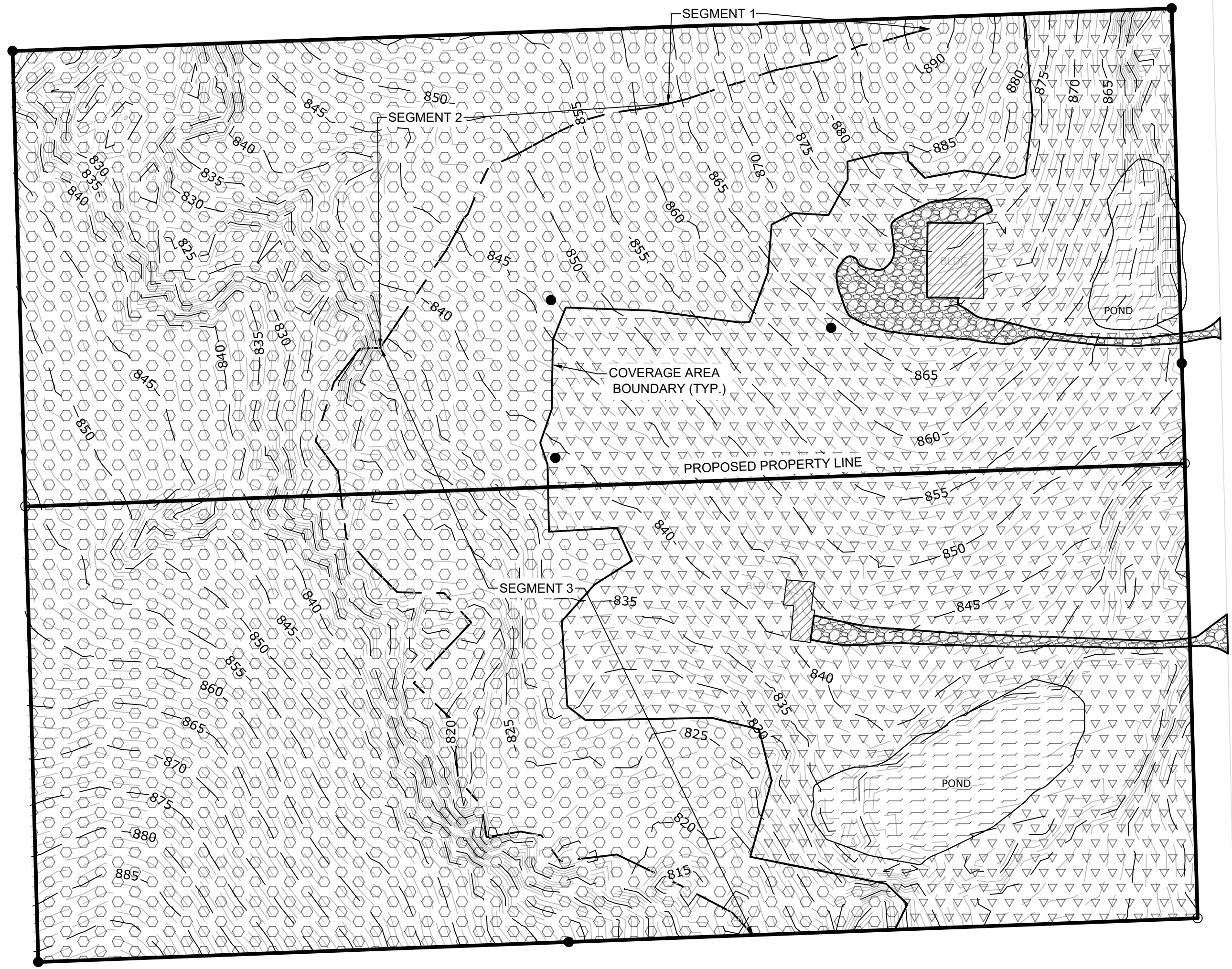
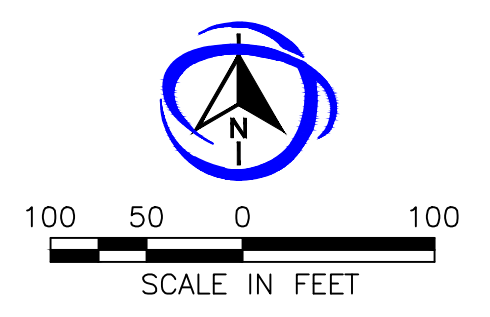
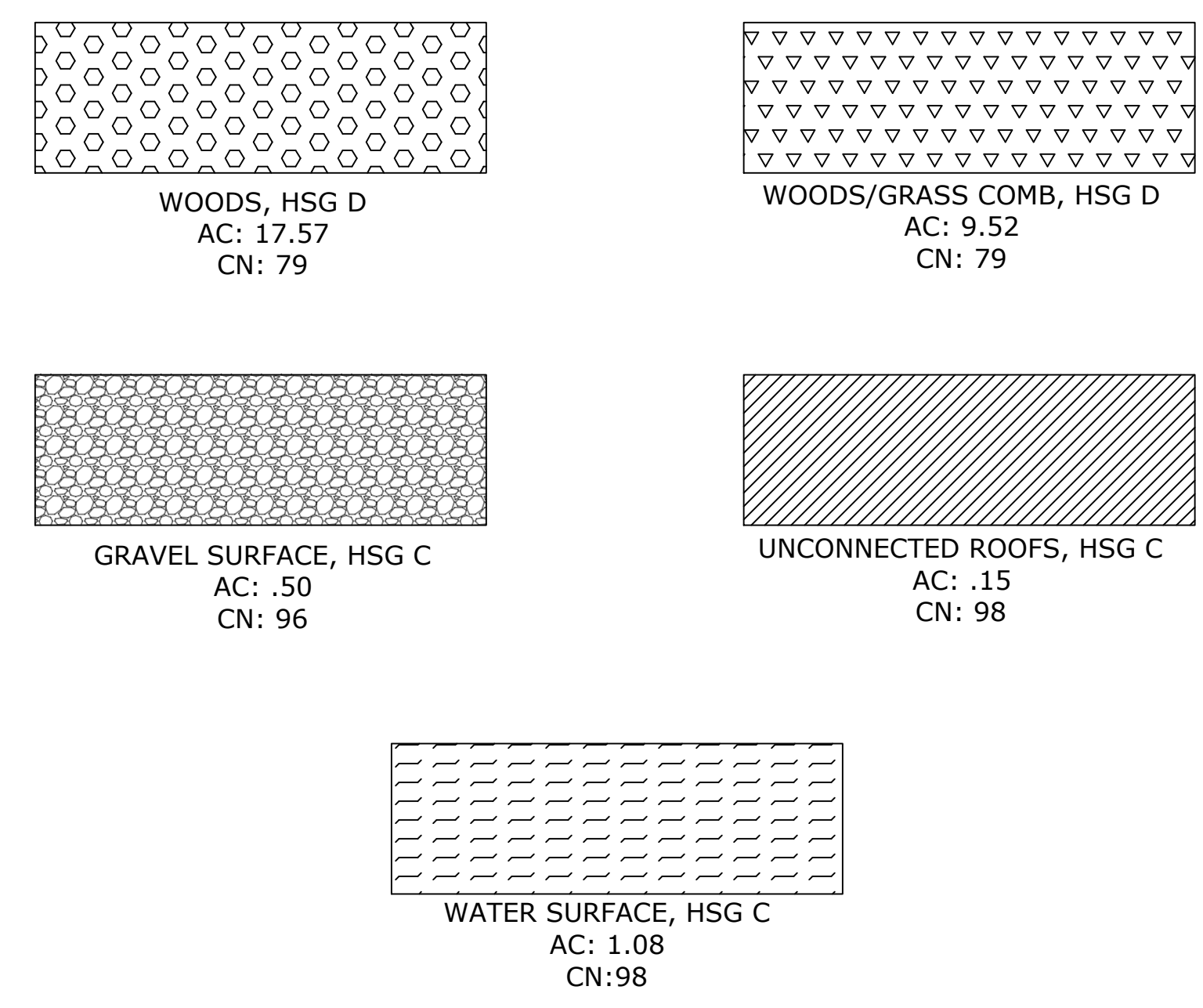
The proposed development for the Sarlls Addition is an existing 2-lot site that will be replatted into a 2-lot site. The proposed re-plat does will not change the use or add any buildings or any other impervious area, thus the runoff from the site will not increase. Because the project will not negatively affect the downstream system, we recommend that the project be developed as designed.



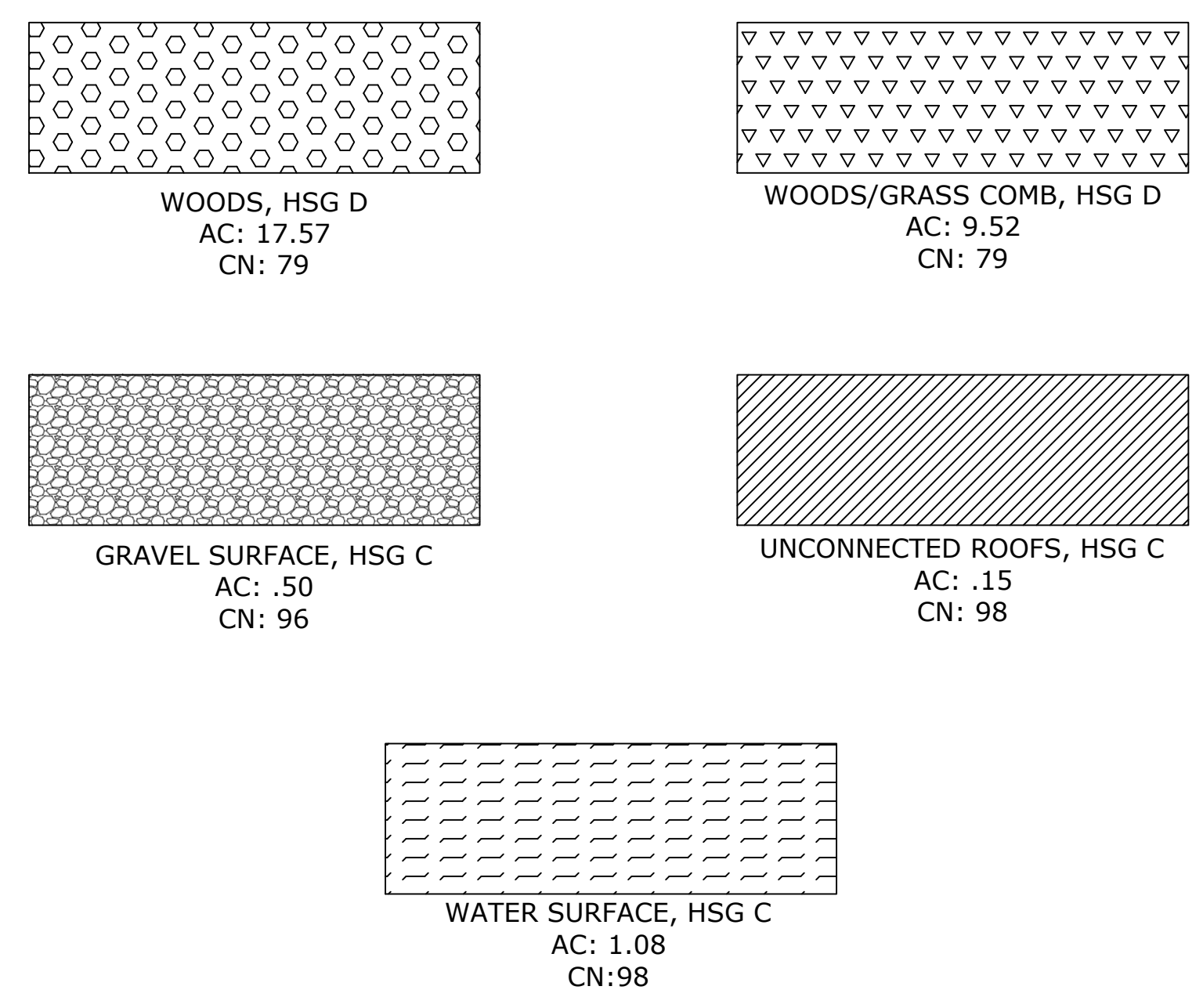
11/22/2022 10:14 AM LANDO  
 CAD FILE :O:\Atlas Land Consulting\2022\22-0070 Sarlls Drainage Study\22-0070 Drainage Study.dwg



**EXISTING**



**PROPOSED**



ALC  
 ATLAS LAND CONSULTING  
 SURVEYING ENGINEERING DRAINAGE CAD  
 913-702-3073  
 14500 Paruldr Road, Unit R, Bluebonnet, KS 66607  
 ANDREA@ALCONSOLETT.LLC.COM

STEVE WARGER, PE

**DRAINAGE MAP**

12101 214TH STREET  
 LINWOOD, KS 66052

NO.	BY	DATE	REVISION

FOR PERMIT

PREPARED FOR:  
 LARRY AND JANICE SARLLS  
 SARLLS ADDITION  
 12101 124TH STREET  
 LINWOOD KS, 66052

PROJECT #: 22-0070  
 ISSUE DATE: 11/21/2022



# Leavenworth County, KS

## Property Report Card

**Parcel Number: 2252100000010000**

**Quick Ref ID: R29312**

Owner Name SARLLS,LARRY D & JANICE L

Property Address: 12051 214TH ST, Linwood, KS 66052

Owner Address: 12283 214TH ST  
LINWOOD, KS 66052

School District: USD458

Sq. Ft.: 468,545.62                      Acres: 10.8 Ac.

Tax Unit: 101.00

Legal Description:

Section: 21	Block
Township: 12	Lot:
Range: 21	Sub Lot Range:
Plat:	Subdivision Plat:

# Leavenworth County, KS

## Property Report Card

Parcel Number: 2252100000012040

Quick Ref ID: R307402

Owner Name SARLLS,LARRY D & JANICE L

Property Address: 12101 214TH ST, Linwood, KS 66052

Owner Address: 12283 214TH ST  
LINWOOD, KS 66052

School District: USD458

Sq. Ft.: 811,144.59

Acres: 18.6 Ac.

Tax Unit: 101.00

Legal Description:

Section: 21

Block

Township: 12

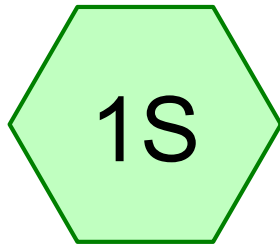
Lot: 3

Range: 21

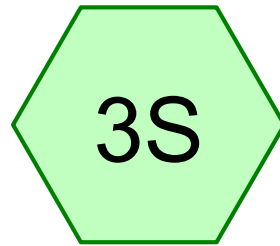
Sub Lot Range:

Plat: SG6

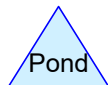
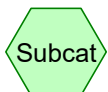
Subdivision Plat: SARLLS ADDITION



Existing



Proposed



**Routing Diagram for Sarlls 2nd Addn.**

Prepared by {enter your company name here}, Printed 11/18/2022  
HydroCAD® 10.10-5a s/n 11890 © 2020 HydroCAD Software Solutions LLC

**Sarlls 2nd Addn.**

MSE 24-hr 4 2-Year Rainfall=3.53"

Prepared by {enter your company name here}

Printed 11/18/2022

HydroCAD® 10.10-5a s/n 11890 © 2020 HydroCAD Software Solutions LLC

Page 2

**Summary for Subcatchment 1S: Existing**

Runoff = 26.64 cfs @ 12.77 hrs, Volume= 3.698 af, Depth> 1.54"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=3.53"

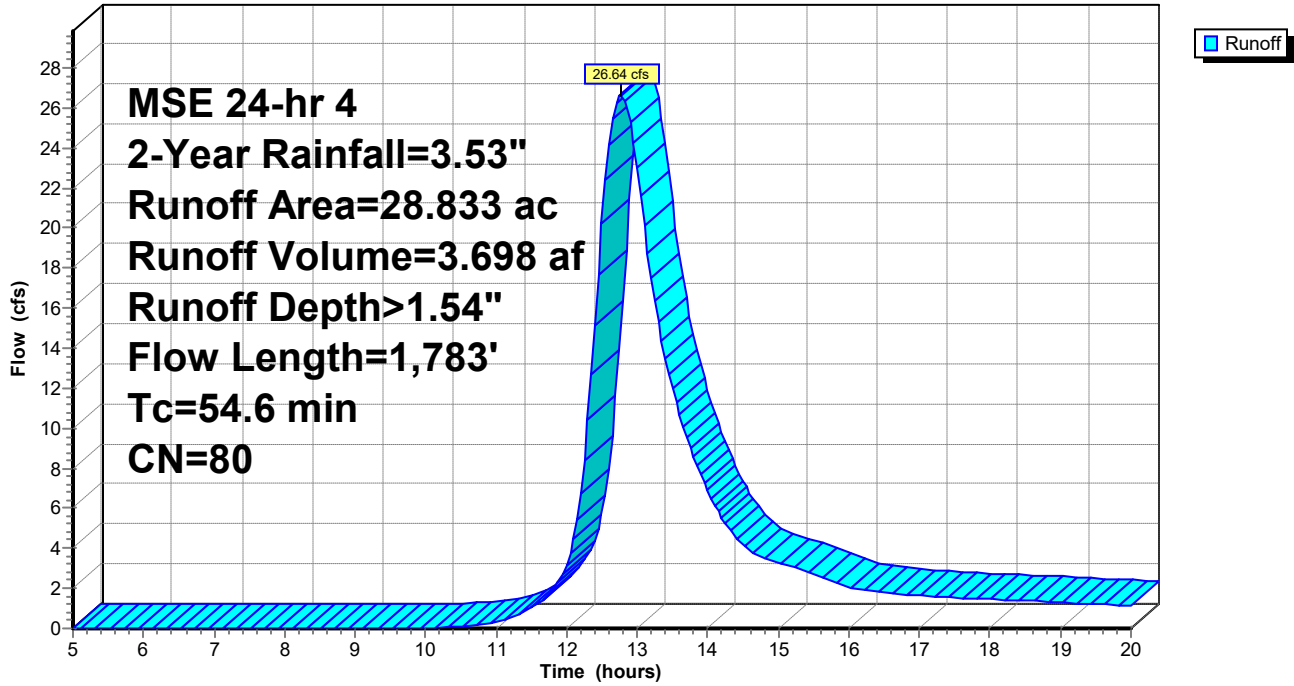
Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D
28.833	80	Weighted Average
27.595		95.71% Pervious Area
1.238		4.29% Impervious Area
0.154		12.44% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
45.8	297	0.0940	0.11		<b>Sheet Flow, Segment 1</b> Woods: Dense underbrush n= 0.800 P2= 3.53"
5.5	440	0.0720	1.34		<b>Shallow Concentrated Flow, Segment 2</b> Woodland Kv= 5.0 fps
3.3	1,046	0.0050	5.27	569.24	<b>Channel Flow, Segment 3</b> Area= 108.0 sf Perim= 38.0' r= 2.84' n= 0.040 Winding stream, pools & shoals
54.6	1,783	Total			



### Subcatchment 1S: Existing

Hydrograph



**Summary for Subcatchment 3S: Proposed**

Runoff = 26.64 cfs @ 12.77 hrs, Volume= 3.698 af, Depth> 1.54"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 2-Year Rainfall=3.53"

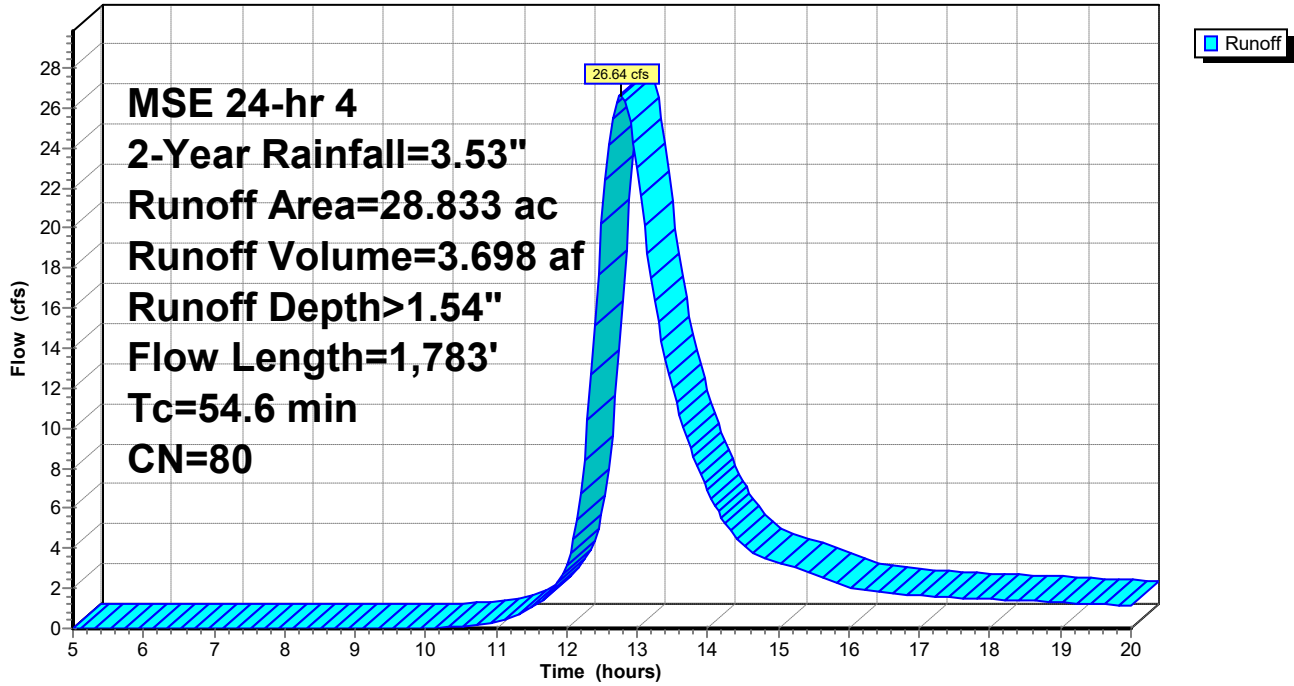
Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D

28.833	80	Weighted Average
27.595		95.71% Pervious Area
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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
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3.3	1,046	0.0050	5.27	569.24	<b>Channel Flow, Segment 3</b> Area= 108.0 sf Perim= 38.0' r= 2.84' n= 0.040 Winding stream, pools & shoals
54.6	1,783	Total			

### Subcatchment 3S: Proposed

Hydrograph



**Sarlls 2nd Addn.**

MSE 24-hr 4 10-Year Rainfall=5.25"

Prepared by {enter your company name here}

Printed 11/18/2022

HydroCAD® 10.10-5a s/n 11890 © 2020 HydroCAD Software Solutions LLC

Page 6

**Summary for Subcatchment 1S: Existing**

Runoff = 50.43 cfs @ 12.75 hrs, Volume= 6.996 af, Depth> 2.91"

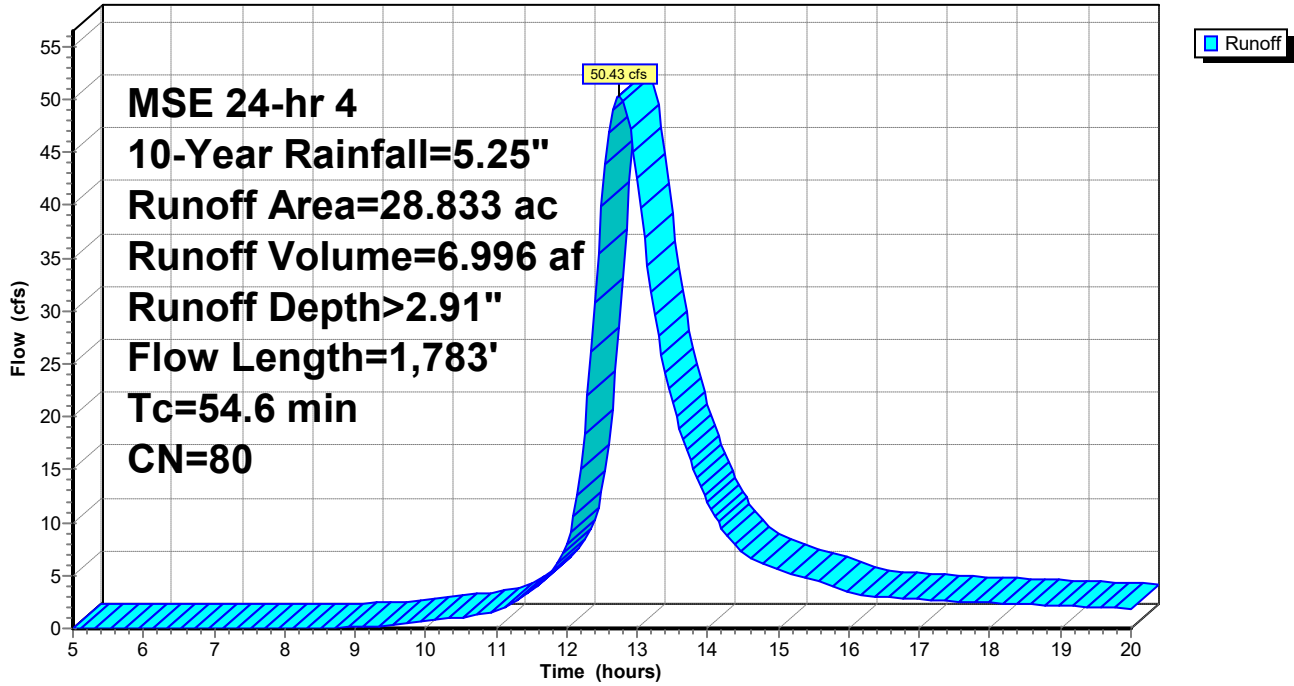
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=5.25"

Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D
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45.8	297	0.0940	0.11		<b>Sheet Flow, Segment 1</b> Woods: Dense underbrush n= 0.800 P2= 3.53"
5.5	440	0.0720	1.34		<b>Shallow Concentrated Flow, Segment 2</b> Woodland Kv= 5.0 fps
3.3	1,046	0.0050	5.27	569.24	<b>Channel Flow, Segment 3</b> Area= 108.0 sf Perim= 38.0' r= 2.84' n= 0.040 Winding stream, pools & shoals
54.6	1,783	Total			

### Subcatchment 1S: Existing

Hydrograph



**Summary for Subcatchment 3S: Proposed**

Runoff = 50.43 cfs @ 12.75 hrs, Volume= 6.996 af, Depth> 2.91"

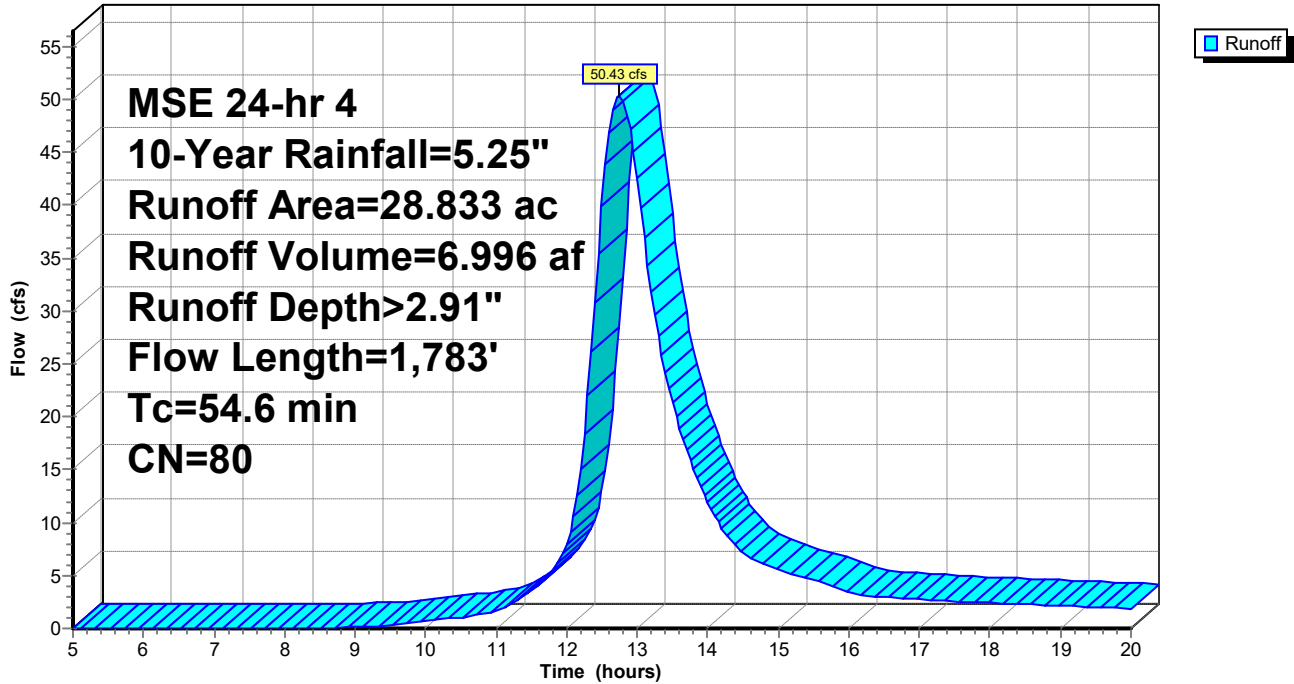
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 10-Year Rainfall=5.25"

Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D
28.833	80	Weighted Average
27.595		95.71% Pervious Area
1.238		4.29% Impervious Area
0.154		12.44% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
45.8	297	0.0940	0.11		<b>Sheet Flow, Segment 1</b> Woods: Dense underbrush n= 0.800 P2= 3.53"
5.5	440	0.0720	1.34		<b>Shallow Concentrated Flow, Segment 2</b> Woodland Kv= 5.0 fps
3.3	1,046	0.0050	5.27	569.24	<b>Channel Flow, Segment 3</b> Area= 108.0 sf Perim= 38.0' r= 2.84' n= 0.040 Winding stream, pools & shoals
54.6	1,783	Total			

### Subcatchment 3S: Proposed

Hydrograph



**Summary for Subcatchment 1S: Existing**

Runoff = 94.85 cfs @ 12.73 hrs, Volume= 13.378 af, Depth> 5.57"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 100-Year Rainfall=8.30"

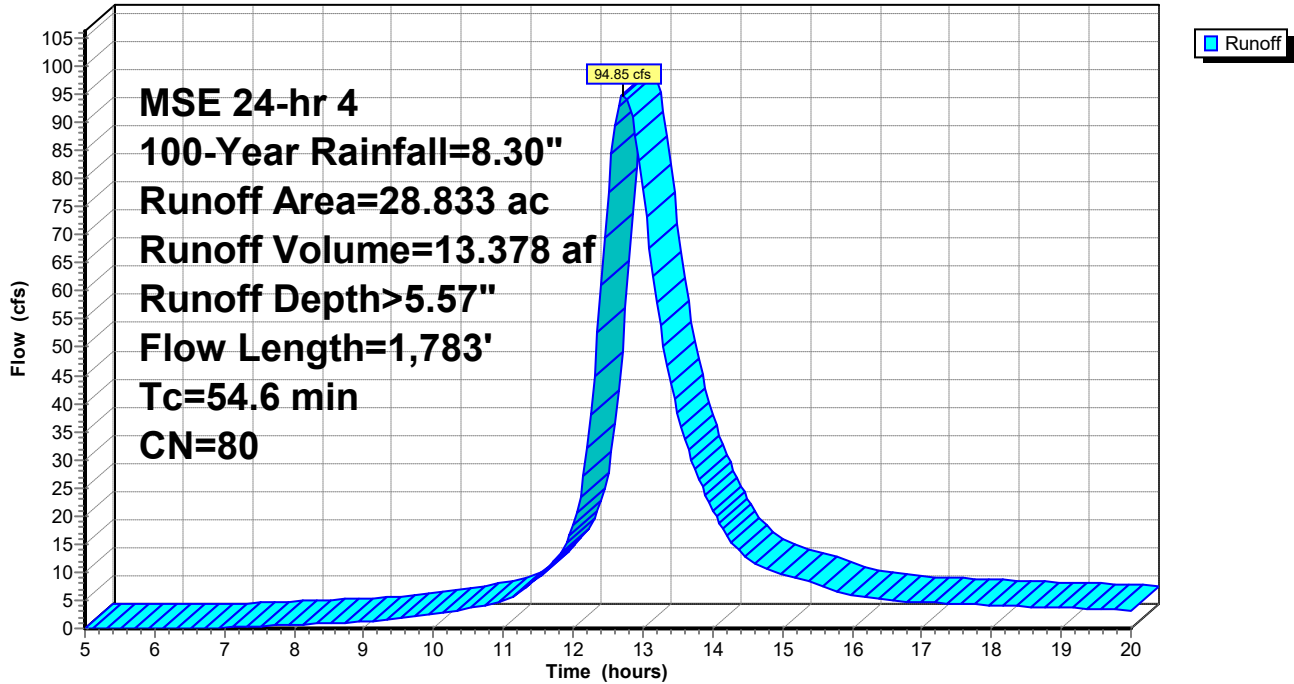
Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D
28.833	80	Weighted Average
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5.5	440	0.0720	1.34		<b>Shallow Concentrated Flow, Segment 2</b> Woodland Kv= 5.0 fps
3.3	1,046	0.0050	5.27	569.24	<b>Channel Flow, Segment 3</b> Area= 108.0 sf Perim= 38.0' r= 2.84' n= 0.040 Winding stream, pools & shoals
54.6	1,783	Total			



### Subcatchment 1S: Existing

Hydrograph



**Summary for Subcatchment 3S: Proposed**

Runoff = 94.85 cfs @ 12.73 hrs, Volume= 13.378 af, Depth> 5.57"

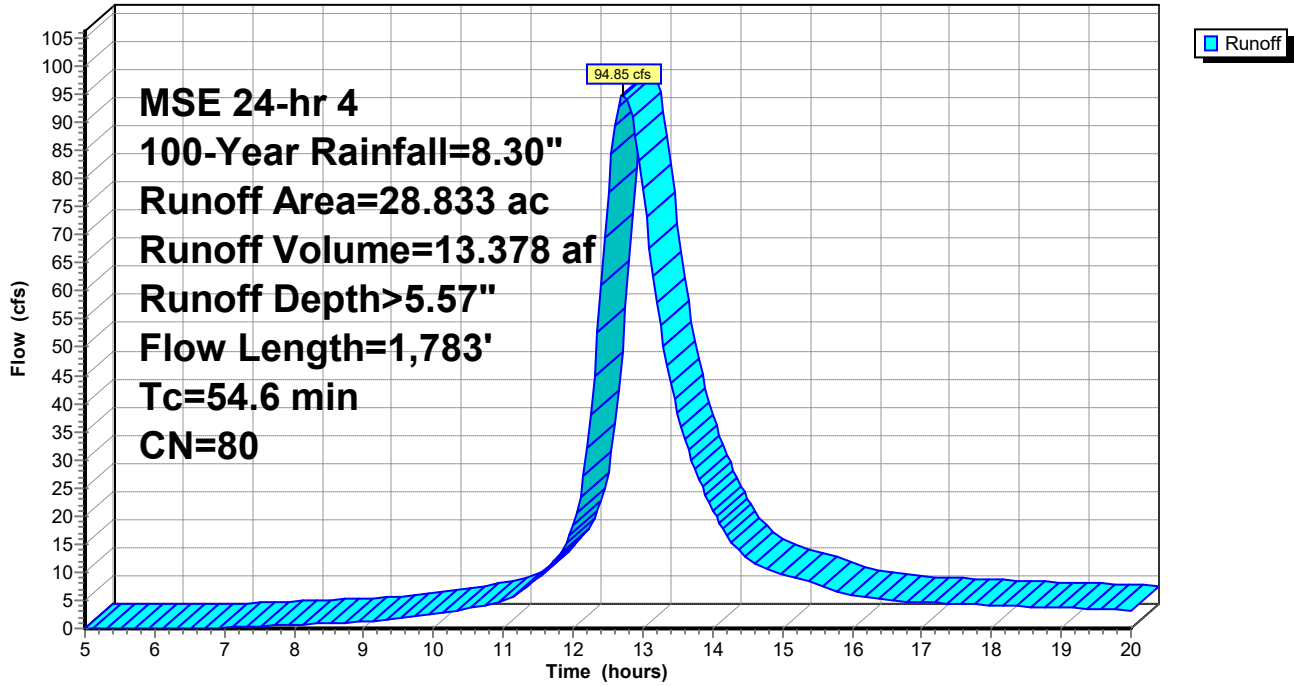
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 100-Year Rainfall=8.30"

Area (ac)	CN	Description
1.084	98	Water Surface, HSG C
17.567	79	Woods, Fair, HSG D
0.154	98	Unconnected roofs, HSG C
0.503	96	Gravel surface, HSG C
9.525	79	Woods/grass comb., Good, HSG D
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54.6	1,783	Total			

Subcatchment 3S: Proposed

Hydrograph



# Custom Soil Resource Report for Leavenworth County, Kansas



# Preface

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Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 720-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD). USDA is an equal opportunity provider and employer.

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- Soil Information for All Uses..... 5**
  - Soil Properties and Qualities..... 5
  - Soil Qualities and Features..... 5
  - Hydrologic Soil Group..... 5

# Soil Information for All Uses

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## Soil Properties and Qualities

The Soil Properties and Qualities section includes various soil properties and qualities displayed as thematic maps with a summary table for the soil map units in the selected area of interest. A single value or rating for each map unit is generated by aggregating the interpretive ratings of individual map unit components. This aggregation process is defined for each property or quality.

## Soil Qualities and Features

Soil qualities are behavior and performance attributes that are not directly measured, but are inferred from observations of dynamic conditions and from soil properties. Example soil qualities include natural drainage, and frost action. Soil features are attributes that are not directly part of the soil. Example soil features include slope and depth to restrictive layer. These features can greatly impact the use and management of the soil.

## Hydrologic Soil Group

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.



## Custom Soil Resource Report

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

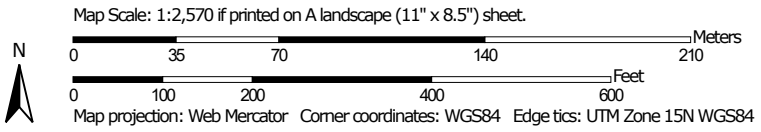
Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Custom Soil Resource Report  
Map—Hydrologic Soil Group




Soil Map may not be valid at this scale.



### MAP LEGEND

**Area of Interest (AOI)**









 Area of Interest (AOI)

**Soils**

**Soil Rating Polygons**





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Lines**


-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Points**






-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available


**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Leavenworth County, Kansas  
 Survey Area Data: Version 17, Sep 12, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 16, 2019—Apr 29, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

**Table—Hydrologic Soil Group**

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
7210	Basehor complex, 5 to 30 percent slopes	D	31.8	100.0%
7674	Welda silt loam, 4 to 8 percent slopes	C	0.0	0.0%
<b>Totals for Area of Interest</b>			<b>31.8</b>	<b>100.0%</b>

**Rating Options—Hydrologic Soil Group**

*Aggregation Method: Dominant Condition*

*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*

**Leavenworth County  
Request for Board Action  
Case No. DEV-23-003  
Replat Kansas Red Tail Ridge 2<sup>nd</sup>**

**Date:** February 23, 2023  
**To:** Board of County Commissioners  
**From:** Planning & Zoning Staff

**Department Head Review:** Amy Allison, Reviewed

**Additional Reviews as needed:**

**Budget Review**  **Administrator Review**  **Legal Review**

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**Action Requested:** The applicants are requesting a Replat of Lot 1 of the Kansas Red Tail Ridge subdivision for a 17-lot subdivision. Proposed Lots will range in size from 3.03 to 5.69 acres.

**Analysis:** All lots meet the standards of the Zoning and Subdivision Regulations. All lots will access from the proposed extension of 163rd Street. The applicant has provided a future roadway easement to the un-developed property located to the east. Applicant has also provided specifications and timing for the planting schedule of the 50' buffer strip along I-70. The property is zoned RR-2.5. The proposed subdivision meets the minimum requirements.

**Recommendation:** The Planning Commission voted 6-0 to recommend approval of Case No.DEV-23-003, Replat for Kansas Red Tail Ridge 2<sup>nd</sup> subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-23-003, Replat for Kansas Red Tail Ridge 2<sup>nd</sup>, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-23-003, Replat for Kansas Red Tail Ridge 2<sup>nd</sup>, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-23-003, Replat for Kansas Red Tail Ridge 2<sup>nd</sup> with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** \$0.00

**Additional Attachments:** Staff Report, Plat, Planning Commission Minutes



**LEAVENWORTH COUNTY  
BOARD OF COUNTY COMMISSIONERS  
STAFF REPORT**

CASE NO: DEV-23-003 Kansas Red Tail Ridge 2nd

February 23, 2023

REQUEST: **Consent Agenda**

Final Plat

**STAFF REPRESENTATIVE:**

AMY ALLISON  
DEPUTY DIRECTOR

**SUBJECT PROPERTY:** 00000 Kansas Ave.

**APPLICANT/APPLICANT AGENT:**

HERRING SURVEYING COMPANY  
315 N 5<sup>TH</sup> STREET  
LEAVENWORTH, KS 66048

**PROPERTY OWNER:**

DAPS LLC.  
15395 BRIAR RD, STE A  
BASEHOR, KS 66007

**CONCURRENT APPLICATIONS:**

NONE

**LAND USE**

ZONING: RR-2.5

FUTURE LAND USE DESIGNATION:  
RESIDENTIAL (3 UNITS/ACRE)

**LEGAL DESCRIPTION:**

Lot 1, Kansas Red Tail Ridge, a subdivision in Leavenworth County Kansas.

SUBDIVISION: KANSAS RED TAIL  
RIDGE

FLOODPLAIN: N/A

**PLANNING COMMISSION RECOMMENDATION:** APPROVAL WITH CONDITIONS

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

1. Approve Case No. DEV-23-003, Replat for Kansas Red Tail Ridge 2nd, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-23-003, Replat for Kansas Red Tail Ridge 2nd, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-23-003, Replat for Kansas Red Tail Ridge 2nd with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**PARCEL SIZE:**

56.57 ACRES

**PARCEL ID NO:**

185-22-0-00-00-009.00

**BUILDINGS:**

NONE

**PROJECT SUMMARY:**

Request for final plat approval to subdivide property located at 00000 Kansas Ave (PID 185-22-0-00-00-009.00) as Lot 1 - 17 of the Kansas Red Tail Ridge 2nd subdivision.

**ACCESS/STREET:**

KANSAS AVE - COLLECTOR, GRAVEL ± 26'

**Location Map:**



**UTILITIES**

**SEWER:** PRIVATE SEPTIC SYSTEM

**FIRE:** FAIRMOUNT

**WATER:** SUBURBAN WATER

**ELECTRIC:** EVERGY

**NOTICE & REVIEW:**

**STAFF REVIEW:**

2/1/2023

**NEWSPAPER NOTIFICATION:**

N/A

**NOTICE TO SURROUNDING  
PROPERTY OWNERS:**

N/A



<b>STANDARDS TO BE CONSIDERED:</b>			
<i>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</i>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b>	X	
41-6.B.a-c.	<b>Entrance Spacing</b>	X	
41-6.C.	<b>Public Road Access Management Standards</b>	X	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b>	X	
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to re-plat Lot 1 of the Kansas Red Tail Ridge subdivision into 17 lots. The lots range in size from 3.03 to 5.69 acres. All lots meet the standards of the Zoning and Subdivision Regulations. All lots will access from the proposed extension of 163<sup>rd</sup> Street. The applicant has provided a future roadway easement to the un-developed property located to the east. Applicant has also provided specifications and timing for the planting schedule of the 50' buffer strip along I-70. The zoning district of the area is RR-2.5. The proposed subdivision exceeds the minimum requirements. Staff is generally in support of the application.

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary infrastructure is available.
5. Construction record drawings shall be submitted to the County Engineer upon completion of the project and prior to final acceptance of the project by the County Engineer. The engineer shall provide the County one complete set of prints showing the project as-built.
6. Upon completion of the project and prior to final acceptance of the project, the contractor shall certify in writing: (1) that the project was constructed to the lines, grades, and dimensions shown on the approved plans, (2) that sufficient AB-3, asphalt, rock, oil concrete and hot mix were incorporated into the work to construct the project as designed, and (3) existing structure was removed per approved plans. Before final acceptance of the project the owner/developer, or his/her contractor shall furnish a Maintenance Bond in the form that approved in the amount equal to 100 percent of the amount estimated for the improvements and agreeable to the County Engineer.
7. The contractor is responsible for obtaining a qualified independent testing agency to provide all necessary testing per KDOT Specifications and testing frequencies (current edition). Prior to construction, the contractor shall furnish an inspection schedule with descriptions and frequencies to the County Engineer for review and approval. Such testing agency shall provide a sealed report with all testing documentation certifying the project was constructed to County and KDOT specifications. Such report shall be accepted by the County Engineer prior to project acceptance.

8. To pursue individual building permits before the acceptance of the vegetation and stabilization within the right-of-way, Owner/Developer may submit a 150% cash bond in the value of the vegetation and stabilization improvements. The Owner/Developer shall contact the Construction Engineer once the project is completely vegetated and stabilized for inspection. Once accepted by the Construction Engineer, the County will concur with those findings and issue the cash bond back to the Owner/Developer.
9. Once the plat is recorded, it is the responsibility of the applicant for setting a preconstruction conference with the Leavenworth County Public works Department prior to any construction activities. The Contractor, Owner, Design Engineer, and Surveyor are required to attend this conference. Please contact Bill Noll, at [Bnoll@leavenworthcounty.gov](mailto:bnoll@leavenworthcounty.gov) to set up a preconstruction conference.
10. The developer must comply with the following memorandums:
  - a. Email – Fairmount FD, 11.05.2022 & 1.09.2023
  - b. Memo – Suburban Water District, 12.02.2022
  - c. Memo – Emergency Management, 12.07.2022

**ATTACHMENTS:**

- A: Application & Narrative
- B: Zoning Map
- C: Memorandums





January 30, 2023

Re – Kansas Red Tail Ridge Development  
163<sup>rd</sup> Street Construction

To whom it may concern,

As requested by the Leavenworth County Public Works Department, I acknowledge the following items -

- Owner/Developer/Contractor shall provide the County with a Stormwater Pollution Prevention Plan (SWPPP) and NOI before construction.
- Owner/Developer/Contractor shall acknowledge and comply with the Roadway Inspection Policy, adopted January 18, 2023.

Sincerely,

Gerald St. Peter





# KANSAS RED TAIL RIDGE 2nd PLAT

A Replat of Lot 1, KANSAS RED TAIL RIDGE, Leavenworth County, Kansas.

## FINAL PLAT

RECORD DESCRIPTION: Doc # 2022R05616  
Lot 1, KANSAS RED TAIL RIDGE, a subdivision in Leavenworth County, Kansas.

PREPARED FOR:  
DAPS, LLC  
15395 Briar Road Suite A  
Basehor, Kansas 66007  
PID # 185-22-00-00-009

### CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: KANSAS RED TAIL RIDGE 2nd PLAT.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated by easement.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

### IN TESTIMONY WHEREOF,

We, the undersigned owners of KANSAS RED TAIL RIDGE 2nd PLAT, have set our hands this day of \_\_\_\_\_, 2023.

Gerald St.Peter, Member of DAPS, LLC

### NOTARY CERTIFICATE:

Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2023, before me, a notary public in and for said County and State came Gerald St.Peter, Member of DAPS, LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

### NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_ (seal)

### APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of KANSAS RED TAIL RIDGE 2nd PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Secretary  
Amy Allison

Chairman  
Steven Rosenthal

### COUNTY ENGINEER'S APPROVAL:

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

### COUNTY COMMISSION APPROVAL:

We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of KANSAS RED TAIL RIDGE 2nd PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Chairman  
Michael Smith

County Clerk  
Attest: Janet Klasinski

### FUTURE ROADWAY NOTE:

Intent of the shown future roadway is to protect an area and allow access to the ground directly east of this development. Owners of Lot 11 will not bear any inherent cost for said future road. Maintenance for the right of way of Future Road shall be the responsibility of the owner of Lots 11 until such a time that the roadway is built.

### NOTES:

- This survey does not show ownership or easements, per agreement with client
- All distances are calculated from measurements or measured this survey, unless otherwise noted.
- All record and measured distances are the same, unless otherwise noted.
- Error of Closure - See Surveyor's Description
- Basis of Bearing - KS SPC North Zone 1501 North Line Northwest Quarter
- Monument Origin Unknown, unless otherwise noted.
- Proposed Lots are for Residential use.
- County Road Record - as shown hereon.
- Benchmark - Northwest Corner Northwest Quarter Elevation - 987'
- Easements, if any, are created hereon or listed in referenced title commitment.
- Reference Recorded Deed Doc # 2022R05616
- Utility Companies -
  - Water - Suburban
  - Electric - Evergy
  - Sewer - Septic / Lagoon
  - Gas - Propane / Natural Gas
- First American Title Insurance Company Policy # 3008634 updated November 25, 2022
- Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- Building Setback Lines as shown hereon or noted below
  - All side yard setbacks - 15' (Accessory - 15')
  - All rear yard setbacks - 40' (Accessory - 15')
- Distances to and of structures, if any, are + - 1'
- Easements as per referenced Title Commitment are shown hereon, if any.
- Fence Lines do not necessarily denote the boundary line for the property.
- Referenced Surveys -
  - LO-MAR ESTATES No. 3 SUBDIVISION - Book S-14 #39, 2001 HIGH PLAINS SUBD. Book S-11 #99, 1989
  - STONER SUBD. Phase 1 Book S-11 #15, 1986
  - GOLDEN PLAINS TRACTS Book S-14 #52, 1991
  - JAH - J.A.Herring Survey Doc # 2022S018
  - KANSAS RED TAIL RIDGE Doc # 2022P00038
- 50' Buffer Strip - Planting Schedule to be determined by owner of affected Lot - Trees (type according to the Kansas Forest Service Chart) will be planted every 50' of open area within said strip prior to building.

### REGISTER OF DEED CERTIFICATE:

Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

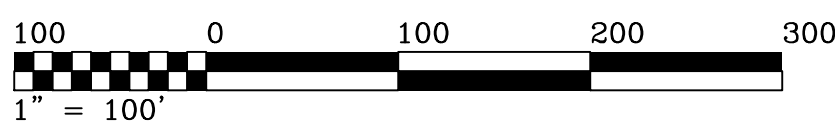
Register of Deeds - TerriLois G. Mashburn



Scale 1" = 100'

I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor



1" = 100'



VICINITY MAP  
NOT TO SCALE

### ZONING:

RR 2.5 - Rural Residential 2.5

### LEGEND:

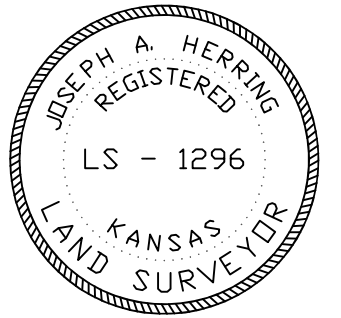
- - 1/2" Rebar Set with Cap No. 1296
- - 1/2" Rebar Found, unless otherwise noted.
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement
- BM - Benchmark
- PDB - Point of Beginning
- PDC - Point of Commencing
- NS - Not Set This Survey per agreement with client
- //// - No Vehicle Entrance Access

### RESTRICTIONS:

- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning jurisdiction.
- An Engineered Waste Disposal System may be required due to poor soil conditions.
- Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- Lots are subject to the current Access Management Policy
- Driveways crossing engineered channel within Lots 11 and 12 for the purposes of accessing a dwelling shall be designed by a licensed engineer to not restrict storm water conveyance per the intent of the engineered channel. Design to be submitted to the County at the time of building permit application.
- No off-plat restrictions.

I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of May through June 2022 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296



Job # K-22-1597  
November 2, 2022 Rev. 2/1/23



315 North 5th Street, Leav., KS 66048  
Ph. 913.651.3858 Fax 913.674.5381  
Email - survey@eamash.com



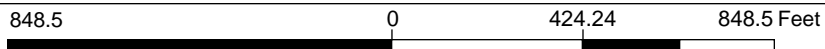
# DEV-22-150 Kansas Red Tail Ridge No. 2



**Legend**

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
- Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
  - B-1
  - B-2
  - B-3
  - I-1
  - I-2
  - I-3
  - MXD
  - PC
  - PI
  - PR-1
  - PR-2
  - PR-3
  - PUD
  - R-1

1 in. = 424ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**Notes**



## Allison, Amy

---

**From:** Kyle Burkhardt <Kyle.Burkhardt@evergy.com>  
**Sent:** Friday, January 6, 2023 3:29 PM  
**To:** Allison, Amy; Magaha, Chuck; Miller, Jamie; Patzwald, Joshua; 'lingenfelserm@fairmountfd.org'; Design Group Shawnee; 'Travis@suburbanwaterinc.com'; Steven Taylor [KDOT]; 'Andrew Holder'  
**Cc:** PZ  
**Subject:** RE: DEV-23-003 Final Plat – Kansas Red Tail Ridge 2nd

Internal Use Only

Evergy has no issues with the following request.

Thank you

### Kyle Burkhardt

Evergy  
TD Designer II  
📞 785-508-2408  
[Kyle.Burkhardt@evergy.com](mailto:Kyle.Burkhardt@evergy.com)



---

**From:** Allison, Amy <AAllison@leavenworthcounty.gov>  
**Sent:** Friday, January 6, 2023 3:26 PM  
**To:** Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Patzwald, Joshua <jpatzwald@lvsheriff.org>; 'lingenfelserm@fairmountfd.org' <lingenfelserm@fairmountfd.org>; Design Group Shawnee <DesignGroupShawnee@evergy.com>; 'Travis@suburbanwaterinc.com' <Travis@suburbanwaterinc.com>; Steven Taylor [KDOT] <Steven.Taylor@ks.gov>; 'Andrew Holder' <aholder@fpsslaw.com>  
**Cc:** PZ <PZ@leavenworthcounty.gov>  
**Subject:** RE: DEV-23-003 Final Plat – Kansas Red Tail Ridge 2nd

**\*\*WARNING:** This email originated from an external source outside of Evergy. Think before you click on links or attachments!\*\*

---

Good Afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Final Plat for of a 17-lot subdivision at 00000 Kansas Ave (PID 185-22-0-00-00-009.00).

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by Friday, January 13, 2023.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [Aallison@LeavenworthCounty.org](mailto:Aallison@LeavenworthCounty.org).

## Allison, Amy

---

**From:** Mike Lingenfelser <lingenfelserm@fairmountfd.org>  
**Sent:** Monday, January 9, 2023 12:40 PM  
**To:** Allison, Amy  
**Subject:** Re: DEV-23-003 Final Plat – Kansas Red Tail Ridge 2nd

**Notice:** This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Amy  
Fairmount Township Fire Department would like to have fire hydrants installed in the cul-de-sac and midway between the cul-de-sac and Kansas Ave.

*Mike Lingenfelser, Fire Chief*  
*Fairmount Township Fire Department*  
2624 N 155th St  
Basehor, Kansas 66007  
Work-[913-724-4911](tel:913-724-4911)  
Cell [913-306-0258](tel:913-306-0258)

On Fri, Jan 6, 2023 at 3:25 PM Allison, Amy <[AAllison@leavenworthcounty.gov](mailto:AAllison@leavenworthcounty.gov)> wrote:

Good Afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Final Plat for of a 17-lot subdivision at 00000 Kansas Ave (PID 185-22-0-00-00-009.00).

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by Friday, January 13, 2023.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [Aallison@LeavenworthCounty.org](mailto:Aallison@LeavenworthCounty.org).

Thank you,

Amy Allison, AICP

Deputy Director

Planning & Zoning

**12-13-2022**  
**OLSSON REVIEW**  
**No Comment**

Kansas Red Tail Ridge Phase 2

Leavenworth County Kansas

Drainage Report

October 19, 2022

Revised November 17, 2022

Revised November 30, 2022

Note - The only change made to this report from the 11/17/22 report is the assumed location of the future home on the SE lot of the development was moved closer to the cul-de-sac, see exhibit #1.



**Parcel Information** - The 56.57-acre (+/-) parcel is located on the south side of Kansas Avenue west of 158<sup>th</sup> Street in Leavenworth County KS. The parcel I Lot #1 of Kansas Red Tail Ridge Subdivision. The property is zoned RR 2.5.

**Existing Conditions** – The parcel is used as crop ground. There is no floodplain on the property.

**Storm Water Runoff**

The drainage calculations include 10,000 sq ft of impervious area for each building lot. This impervious area is for the driveway, house, outbuildings, and any other impervious area that may be added to each lot. It is assumed that all lots will be maintained as grass lawns after development. Calculations are only prepared for drainage areas where impervious area is assumed to be added.

**Drainage Area #1** – This drainage area covers the north west corner of the parcel. It is assumed that three new homesite will be built in this drainage area.

A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and land use, see Exhibits #1, #2, and #3.

DA #1	c value	Acres in each Drainage Area			
		Existing	Developed		
Wooded	0.30	0.00	0.00		
Pasture	0.30	0.00	0.00		
Crops	0.50	11.74	0.00		
New Road	0.90	0.00	0.23		
Impervious	0.90	0.00	0.69		
Grass	0.20	0.00	10.82		
Composite c		0.50	0.25		

$$\text{composite c} = \frac{(\text{Wooded Acres} * \text{c value} + \text{Pasture Acres} * \text{c value} + \text{Crops Acres} * \text{c value} + \text{Gravel Acres} * \text{c value} + \text{Impervious Acres} * \text{c value} + \text{Grass Acres} * \text{c value})}{\text{Total Acres}}$$



The storm water runoff for existing and developed conditions is summarized in the following table. Calculations for the storm water runoff are included with the report.

DA #1		
	Q10 cfs	Q100 cfs
Existing	32.3	57.3
Developed	14.4	25.6
Change	-55%	-55%

**Drainage Area #2** – This drainage area encompasses most of the parcel. It is assumed that fourteen new homesites will be built in this drainage area.

A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and land use, see Exhibits #1, #2, and #3.

DA #2	c value	Acres in each Drainage Area			
		Existing	Developed		
Wooded	0.30	0.00	0.00		
Pasture	0.30	0.00	0.00		
Crops	0.50	32.49	0.00		
New Road	0.90	0.00	1.01		
Impervious	0.90	0.00	3.21		
Grass	0.20	0.00	28.27		
Composite c		0.50	0.29		

$$\text{composite c} = \frac{(\text{Wooded Acres} * \text{c value} + \text{Pasture Acres} * \text{c value} + \text{Crops Acres} * \text{c value} + \text{Gravel Acres} * \text{c value} + \text{Impervious Acres} * \text{c value} + \text{Grass Acres} * \text{c value})}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following table. Calculations for the storm water runoff are included with the report.

<b>DA #2</b>		
	<b>Q10 cfs</b>	<b>Q100 cfs</b>
<b>Existing</b>	85.8	152.3
<b>Developed</b>	44.6	79.4
<b>Change</b>	-48%	-48%

### **Drainage Areas #3 and #4**

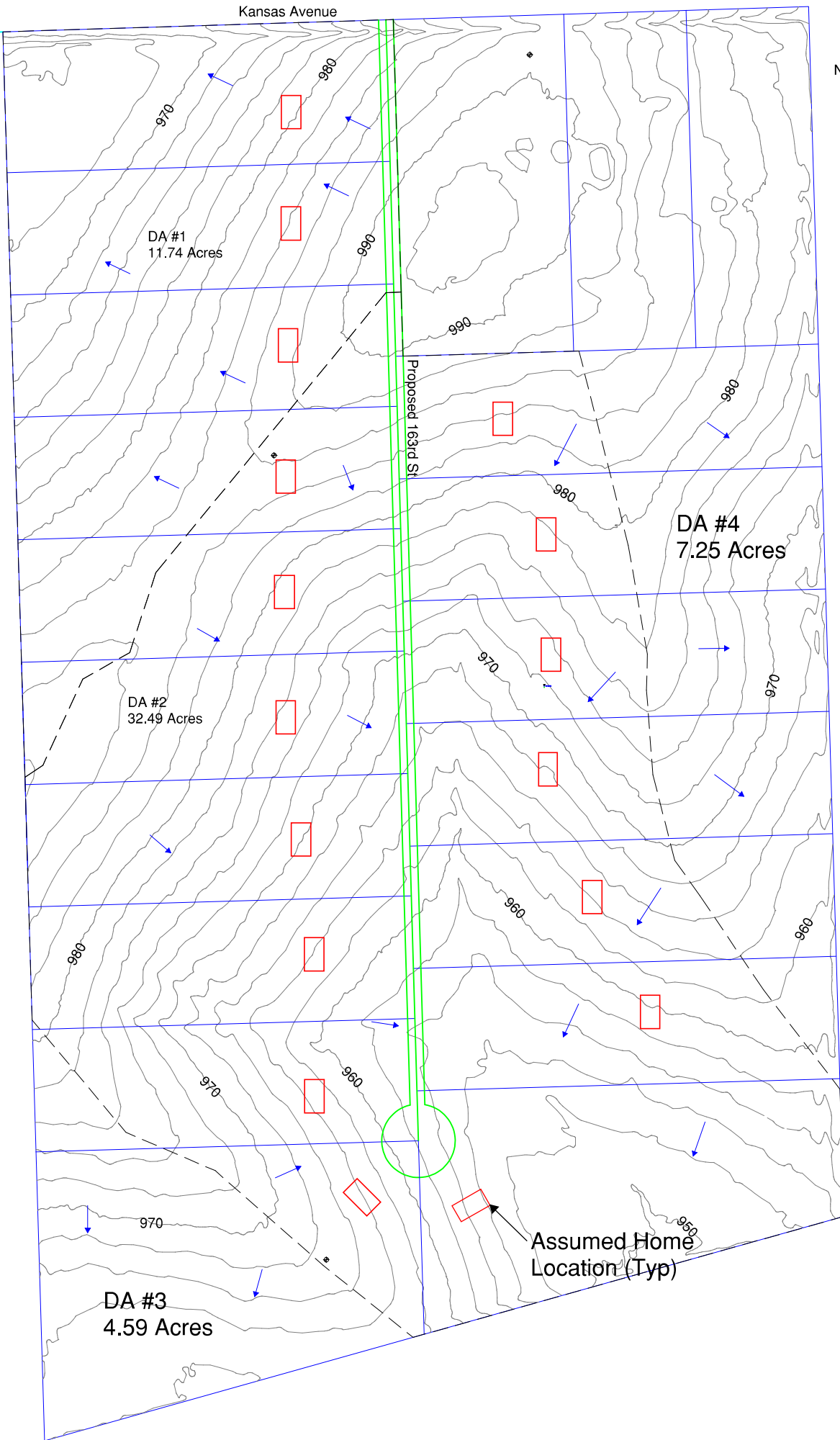
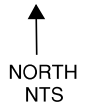
The County requested that drainage calculations be provided for these two drainage areas even though no new impervious area is expected to be constructed in the drainage areas. It is assumed that the land use will change from row crops to grass lawn. A c value of 0.50 was used for the existing condition, see exhibit #3. A c value of 0.20 was used for the developed condition, see exhibit #3. The runoff from these drainage areas is summarized in the following tables. Calculations for the storm water runoff are included with the report.

<b>DA #3</b>		
	<b>Q10 cfs</b>	<b>Q100 cfs</b>
<b>Existing</b>	12.9	22.8
<b>Developed</b>	4.4	7.9
<b>Change</b>	-66%	-65%

<b>DA #4</b>		
	<b>Q10 cfs</b>	<b>Q100 cfs</b>
<b>Existing</b>	19.7	34.9
<b>Developed</b>	6.8	12.2
<b>Change</b>	-66%	-65%

**Conclusion** – The change in land use for this parcel of ground results in a decrease in the storm water runoff from all the drainage areas on the site.

Kansas Avenue



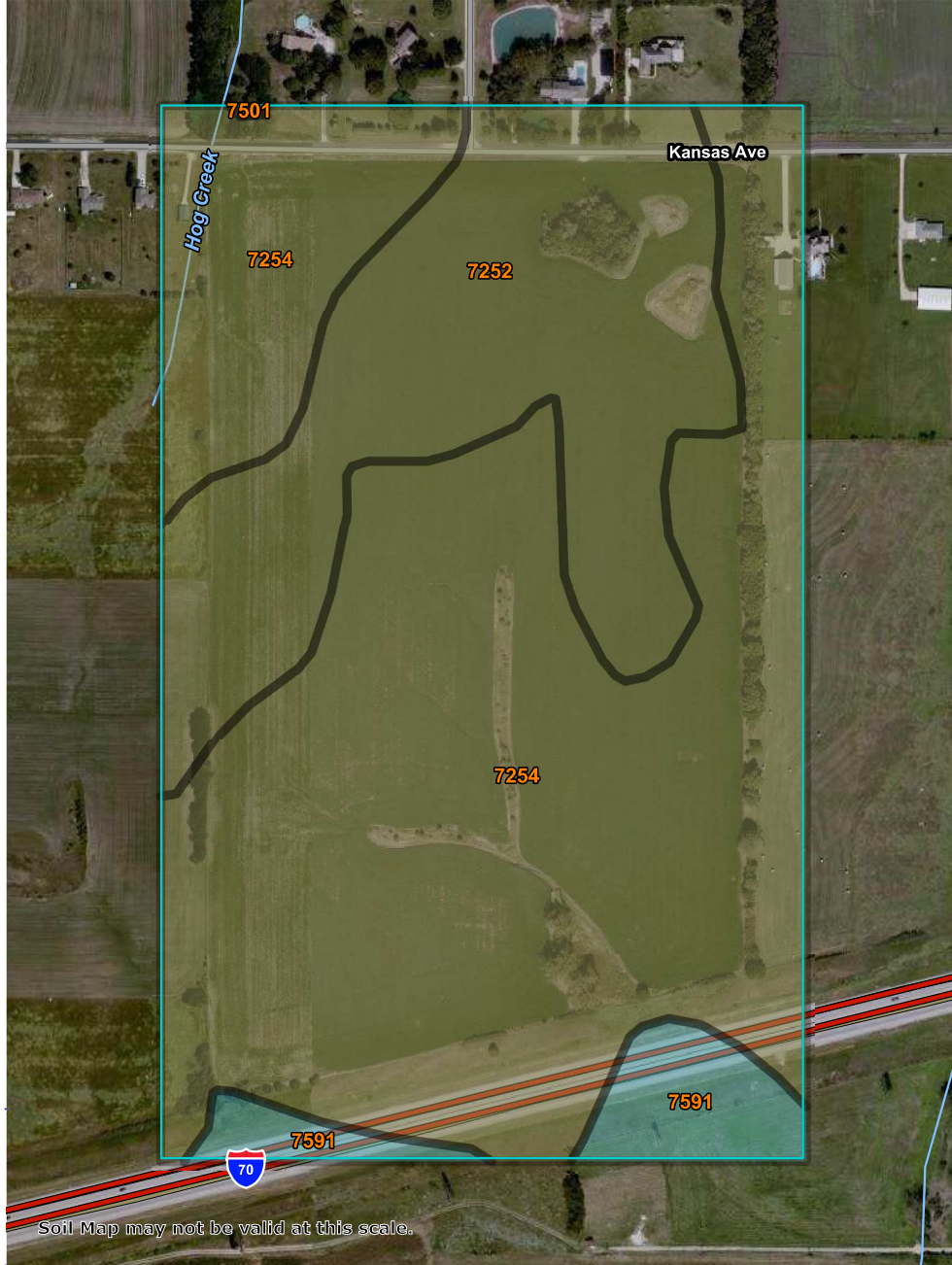
Hydrologic Soil Group—Leavenworth County, Kansas

94° 57' 41" W

94° 57' 12" W

39° 5' 17" N

39° 5' 17" N

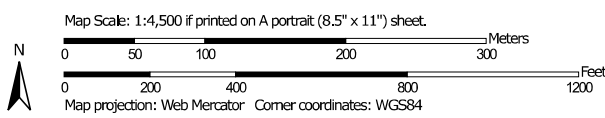


































39° 4' 47" N

39° 4' 47" N

94° 57' 41" W

94° 57' 12" W



<b>MAP LEGEND</b>	<b>MAP INFORMATION</b>
<p><b>Area of Interest (AOI)</b></p> <p> Area of Interest (AOI)</p> <p><b>Soils</b></p> <p><b>Soil Rating Polygons</b></p> <p> A</p> <p> A/D</p> <p> B</p> <p> B/D</p> <p> C</p> <p> C/D</p> <p> D</p> <p> Not rated or not available</p> <p><b>Soil Rating Lines</b></p> <p> A</p> <p> A/D</p> <p> B</p> <p> B/D</p> <p> C</p> <p> C/D</p> <p> D</p> <p> Not rated or not available</p> <p><b>Soil Rating Points</b></p> <p> A</p> <p> A/D</p> <p> B</p> <p> B/D</p>	<p> C</p> <p> C/D</p> <p> D</p> <p> Not rated or not available</p> <p><b>Water Features</b></p> <p> Streams and Canals</p> <p><b>Transportation</b></p> <p> Rails</p> <p> Interstate Highways</p> <p> US Routes</p> <p> Major Roads</p> <p> Local Roads</p> <p><b>Background</b></p> <p> Aerial Photography</p>
	<p>The soil surveys that comprise your AOI were mapped at 1:24,000.</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p><b>Warning: Soil Map may not be valid at this scale.</b></p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p> </div> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service                  Web Soil Survey URL:                  Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: Leavenworth County, Kansas                  Survey Area Data: Version 16, Sep 14, 2021</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: Jul 16, 2019—Sep 23, 2019</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>



## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating
7252	Grundy silty clay loam, 1 to 3 percent slopes	C/D
7254	Grundy silty clay loam, 3 to 7 percent slopes, eroded	C/D
7501	Pawnee clay loam, 4 to 8 percent slopes, eroded	D
7591	Shelby-Pawnee complex, 3 to 7 percent slopes	C
<b>Totals for Area of Interest</b>		

## Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Higher

TABLE 1 Values of Runoff Coefficient C

URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course  
[https://www.nrcs.usda.gov/Internet/FSE\\_DOCUMENTS/stelprdb1083019.pdf](https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf)

# Exhibit #3

### Drainage Area #1- 10 year

Existing Conditions

Area = 11.74 acres  
C= 0.50  
L= 1150  
S= 4.8  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 11.1$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.92$$

$$T_c = 13.0$$

$$i_{10} = 5.50$$

$$Q = KCiA$$

$$Q = 32.3 \text{ cfs}$$

Developed Conditions

Area = 11.74 acres  
C= 0.25  
L= 1150  
S= 4.8  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 15.6$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.92$$

$$T_c = 17.5$$

$$i_{10} = 4.82$$

$$Q = KCiA$$

$$Q = 14.4 \text{ cfs}$$

**Drainage Area #1 - 100 year**

Existing Conditions

Area = 11.74 acres  
C= 0.50  
L= 1150  
S= 4.8  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T<sub>c</sub> < 15

C= 0.50

$$T_i = 11.1$$

$$i_{100} = 331/(T_c + 30)$$

15 < T<sub>c</sub> < 60

L= 1150

S= 4.8

$$T_t = 1.92$$

$$T_c = 13.0$$

$$i_{100} = 7.80$$

$$Q = KCiA$$

$$Q = 57.3 \text{ cfs}$$

Developed Conditions

Area = 11.74 acres  
C= 0.25  
L= 1150  
S= 4.8  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T<sub>c</sub> < 15

C= 0.25

$$T_i = 15.6$$

$$i_{100} = 331/(T_c + 30)$$

15 < T<sub>c</sub> < 60

L= 1150

S= 4.8

$$T_t = 1.92$$

$$T_c = 17.5$$

$$i_{100} = 6.86$$

$$Q = KCiA$$

$$Q = 25.6 \text{ cfs}$$



## Drainage Area #2- 10 year

Existing Conditions

Area = 32.49 acres  
C= 0.50  
L= 1800  
S= 4.5  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 11.3$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 3.00$$

$$T_c = 14.3$$

$$i_{10} = 5.28$$

$$Q = KCiA$$

$$Q = 85.8 \text{ cfs}$$

Developed Conditions

Area = 32.49 acres  
C= 0.29  
L= 1800  
S= 4.5  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 15.3$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 3.00$$

$$T_c = 18.3$$

$$i_{10} = 4.72$$

$$Q = KCiA$$

$$Q = 44.6 \text{ cfs}$$

### Drainage Area #2 - 100 year

Existing Conditions

Area = 32.49 acres  
C= 0.50  
L= 1800  
S= 4.5  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T<sub>c</sub> < 15

$$T_i = 11.3$$

$$i_{100} = 331/(T_c + 30)$$

15 < T<sub>c</sub> < 60

$$T_t = 3.00$$

$$T_c = 14.3$$

$$i_{100} = 7.50$$

$$Q = KCiA$$

$$Q = 152.3 \text{ cfs}$$

Developed Conditions

Area = 32.49 acres  
C= 0.29  
L= 1800  
S= 4.5  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T<sub>c</sub> < 15

$$T_i = 15.3$$

$$i_{100} = 331/(T_c + 30)$$

15 < T<sub>c</sub> < 60

$$T_t = 3.00$$

$$T_c = 18.3$$

$$i_{100} = 6.72$$

$$Q = KCiA$$

$$Q = 79.4 \text{ cfs}$$

### Drainage Area #3- 10 year

Existing Conditions

Area = 4.59 acres  
C= 0.50  
L= 670  
S= 4.6  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 11.2$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.12$$

$$T_c = 12.4$$

$$i_{10} = 5.62$$

$$Q = KCiA$$

$$Q = 12.9 \text{ cfs}$$

Developed Conditions

Area = 4.59 acres  
C= 0.20  
L= 670  
S= 4.6  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 16.9$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.12$$

$$T_c = 18.0$$

$$i_{10} = 4.79$$

$$Q = KCiA$$

$$Q = 4.4 \text{ cfs}$$

**Drainage Area #3 - 100 year**

Existing Conditions

Area = 4.59 acres  
C= 0.50  
L= 670  
S= 4.6  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 11.2$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 1.12$$

$$T_c = 12.4$$

$$i_{100} = 7.96$$

$$Q = KCiA$$

$$Q = 22.8 \text{ cfs}$$

Developed Conditions

Area = 4.59 acres  
C= 0.20  
L= 670  
S= 4.6  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 16.9$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 1.12$$

$$T_c = 18.0$$

$$i_{100} = 6.90$$

$$Q = KCiA$$

$$Q = 7.9 \text{ cfs}$$

### Drainage Area #4- 10 year

Existing Conditions

Area = 7.25 acres  
C= 0.50  
L= 1200  
S= 4.4  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 11.4$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 2.00$$

$$T_c = 13.4$$

$$i_{10} = 5.43$$

$$Q = KCiA$$

$$Q = 19.7 \text{ cfs}$$

Developed Conditions

Area = 7.25 acres  
C= 0.20  
L= 1200  
S= 4.4  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{max} = 300$$

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 17.1$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 2.00$$

$$T_c = 19.1$$

$$i_{10} = 4.67$$

4.589614555

$$Q = KCiA$$

$$Q = 6.8 \text{ cfs}$$



**Drainage Area #4 - 100 year**

Existing Conditions

Area = 7.25 acres  
C= 0.50  
L= 1200  
S= 4.4  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 11.4$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 2.00$$

$$T_c = 13.4$$

$$i_{100} = 7.71$$

$$Q = KCiA$$

$$Q = 34.9 \text{ cfs}$$

Developed Conditions

Area = 7.25 acres  
C= 0.20  
L= 1200  
S= 4.4  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{\max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 17.1$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 2.00$$

$$T_c = 19.1$$

$$i_{100} = 6.74$$

$$Q = KCiA$$

$$Q = 12.2 \text{ cfs}$$

## Allison, Amy

---

**From:** Mitch Pleak <mpleak@olsson.com>  
**Sent:** Wednesday, February 1, 2023 1:46 PM  
**To:** Allison, Amy  
**Cc:** Noll, Bill  
**Subject:** RE: Letter of intent and noi  
**Attachments:** Screenshot\_20230201\_113240\_Office.jpg

**Notice:** This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Amy,  
Olsson has no comment on the letter.  
Thanks,

Mitch

---

**From:** Allison, Amy <AAllison@leavenworthcounty.gov>  
**Sent:** Wednesday, February 1, 2023 1:39 PM  
**To:** Mitch Pleak <mpleak@olsson.com>  
**Subject:** FW: Letter of intent and noi

---

**From:** Gerald St. Peter <[fix4u@live.com](mailto:fix4u@live.com)>  
**Sent:** Wednesday, February 1, 2023 1:37 PM  
**To:** Allison, Amy <[AAllison@leavenworthcounty.gov](mailto:AAllison@leavenworthcounty.gov)>; Noll, Bill <[BNoll@leavenworthcounty.gov](mailto:BNoll@leavenworthcounty.gov)>  
**Subject:** Letter of intent and noi

**Notice:** This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

See attached letter

Thank you

Sent from my Sprint Samsung Galaxy Note10+.  
Get [Outlook for Android](#)



# KANSAS RED TAIL RIDGE 2nd PLAT

A Replat of Lot 1, KANSAS RED TAIL RIDGE, Leavenworth County, Kansas.

## FINAL PLAT

02-01-2023  
OLSSON REVIEW  
No Further  
Comment

RECORD DESCRIPTION: Doc # 2022R05616  
Lot 1, KANSAS RED TAIL RIDGE, a subdivision in Leavenworth County, Kansas.

PREPARED FOR:  
DAPS, LLC  
15395 Briar Road Suite A  
Basehor, Kansas 66007  
PID # 185-22-00-00-009

### CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: KANSAS RED TAIL RIDGE 2nd PLAT.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated by easement.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

### IN TESTIMONY WHEREOF,

We, the undersigned owners of KANSAS RED TAIL RIDGE 2nd PLAT, have set our hands this day of \_\_\_\_\_, 2023.

Gerald St.Peter, Member of DAPS, LLC

### NOTARY CERTIFICATE:

On this \_\_\_\_\_ day of \_\_\_\_\_, 2023, before me, a notary public in and for said County and State came Gerald St.Peter, Member of DAPS, LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

### NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_ (seal)

### APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of KANSAS RED TAIL RIDGE 2nd PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

### SECRETARY

Amy Allison

### CHAIRMAN

Steven Rosenthal

### COUNTY ENGINEER'S APPROVAL:

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

### COUNTY COMMISSION APPROVAL:

We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of KANSAS RED TAIL RIDGE 2nd PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

### CHAIRMAN

Michael Smith

### COUNTY CLERK

Attest: Janet Klasinski

### FUTURE ROADWAY NOTE:

Intent of the shown future roadway is to protect an area and allow access to the ground directly east of this development. Owners of Lot 11 will not bear any inherent cost for said future road. Maintenance for the right of way of Future Road shall be the responsibility of the owner of Lots 11 until such a time that the roadway is built.

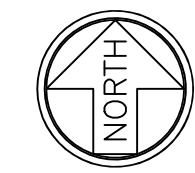
### NOTES:

- This survey does not show ownership or easements, per agreement with client
- All distances are calculated from measurements or measured this survey, unless otherwise noted.
- All record and measured distances are the same, unless otherwise noted.
- Error of Closure - See Surveyor's Description
- Basis of Bearing - KS SPC North Zone 1501 North Line Northwest Quarter
- Monument Origin Unknown, unless otherwise noted.
- Proposed Lots are for Residential Use.
- County Road Record - as shown hereon.
- Benchmark - Northwest Corner Northwest Quarter Elevation - 987'
- Easements, if any, are created hereon or listed in referenced title commitment.
- Reference Recorded Deed Doc # 2022R05616
- Utility Companies - Water - Suburban - Electric - Every - Sewer - Septic / Lagoon - Gas - Propane / Natural Gas
- First American Title Insurance Company Policy # 3008634 updated November 25, 2022
- Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- Building Setback Lines as shown hereon or noted below - All side yard setbacks - 15' (Accessory - 15') - All rear yard setbacks - 40' (Accessory - 15')
- Distances to and of structures, if any, are + - 1'
- Easements as per referenced Title Commitment are shown hereon, if any.
- Fence Lines do not necessarily denote the boundary line for the property.
- Referenced Surveys - LO-MAR ESTATES No. 3 SUBDIVISION - Book S-14 #39, 2001 HIGH PLAINS SUBD. Book S-11 #99, 1989 STONER SUBD. Phase 1 Book S-11 #15, 1986 GOLDEN PLAINS TRACTS Book S-14 #52, 1991 JAH - J.A.Herring Survey Doc # 2022S018 KANSAS RED TAIL RIDGE Doc # 2022P00038
- 50' Buffer Strip - Planting Schedule to be determined by owner of affected Lot - Trees (type according to the Kansas Forest Service Chart) will be planted every 50' of open area within said strip prior to building.

### REGISTER OF DEED CERTIFICATE:

Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

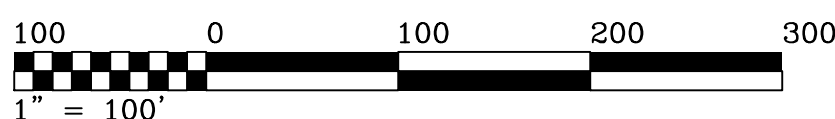
Register of Deeds - TerriLois G. Mashburn



Scale 1" = 100'

I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor



1" = 100'



VICINITY MAP NOT TO SCALE

### ZONING:

RR 2.5 - Rural Residential 2.5

### LEGEND:

- - 1/2" Rebar Set with Cap No. 1296
- - 1/2" Rebar Found, unless otherwise noted.
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement
- BM - Benchmark
- PDB - Point of Beginning
- POC - Point of Commencing
- NS - Not Set This Survey per agreement with client
- //// - No Vehicle Entrance Access

### RESTRICTIONS:

- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning jurisdiction.
- An Engineered Waste Disposal System may be required due to poor soil conditions.
- Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- Lots are subject to the current Access Management Policy
- Driveways crossing engineered channel within Lots 11 and 12 for the purposes of accessing a dwelling shall be designed by a licensed engineer to not restrict storm water conveyance per the intent of the engineered channel. Design to be submitted to the County at the time of building permit application.
- No off-plat restrictions.

I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of May through June 2022 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296





# STATE OF KANSAS LEAVENWORTH COUNTY 163rd STREET PROJECT PUBLIC ROAD PLANS

02-01-2023  
Olsson Review

**Sheet Index**

- 1. Title Sheet
- 2. Typical Section and General Notes
- 3-6 Plan & Profile Sheets
- 7. Drainage Plan
- 8-11 Grading and Erosion Control Plan
- 12. Intersection & Cul-De-Sac Details
- 13-14 Details
- 15-19 Cross Sections

UTILITY COMPANIES

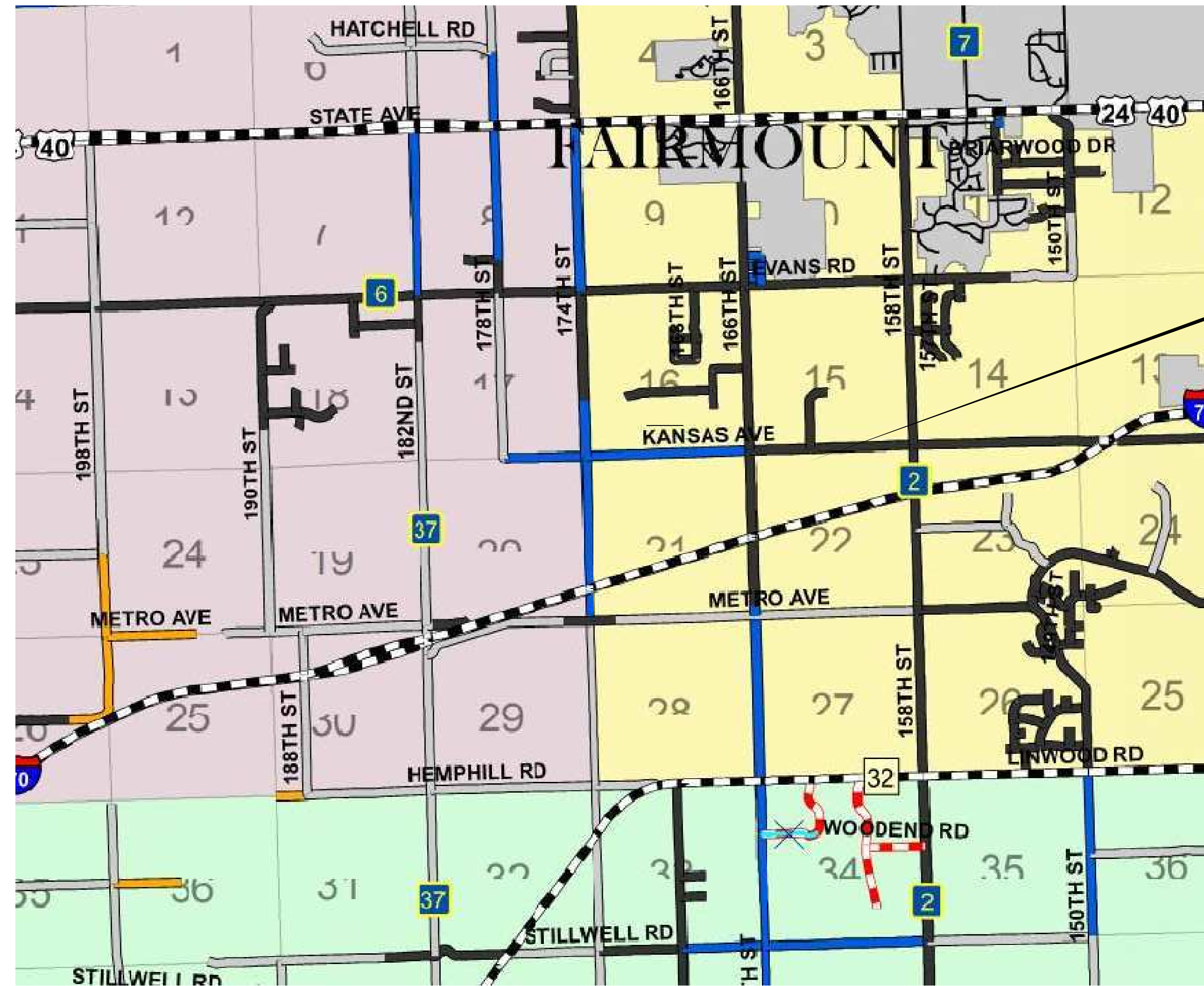
Everygy  
AT&T  
Suburban Water  
Kansas Dig Safe 1-800-344-7233

Design Speed 30 MPH  
Posted Speed 30 MPH

Benchmarks & Control Points

	Northing	Easting	Elevation
BM #1 Iron Bar	289017.60	2176006.73	994.92
BM #2 Iron Bar	288363.39	2175588.94	986.87
BM #3 Iron Bar	287986.83	2176030.46	972.55
BM #4 Iron Bar	287049.79	2175674.34	968.20

KS SPC North Zone 1501



Owner: PCDI Homes  
15395 Briar Road Suite A  
Basehor, KS 66007

Surveyor: Herring Surveying  
315 N. 5th Street  
Leavenworth, KS 66048

Engineer: David Lutgen  
15554 Elm Street  
Basehor, KS 66007

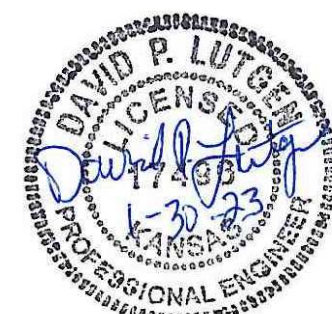
These plans have been prepared in accordance with Leavenworth County's Road and Storm Water Drainage Standards, 2003 Edition. I hereby hold harmless Leavenworth County for errors or omissions in these plans.

*David P. Lutgen*

01/30/23

David P. Lutgen, P.E.

Date



These plans are approved for one year, after which they automatically become void. The County Engineer's review is only for general conformance with road and storm water drainage standards adopted by Leavenworth County. The County did not check, and is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer

Date

NO.	DATE	REVISIONS	BY	APPD
5				
4				
3				
2				
1				

Designed By \_\_\_\_\_  
Drawn By \_\_\_\_\_  
Checked By \_\_\_\_\_  
Issue Date: \_\_\_\_\_  
Job No. \_\_\_\_\_

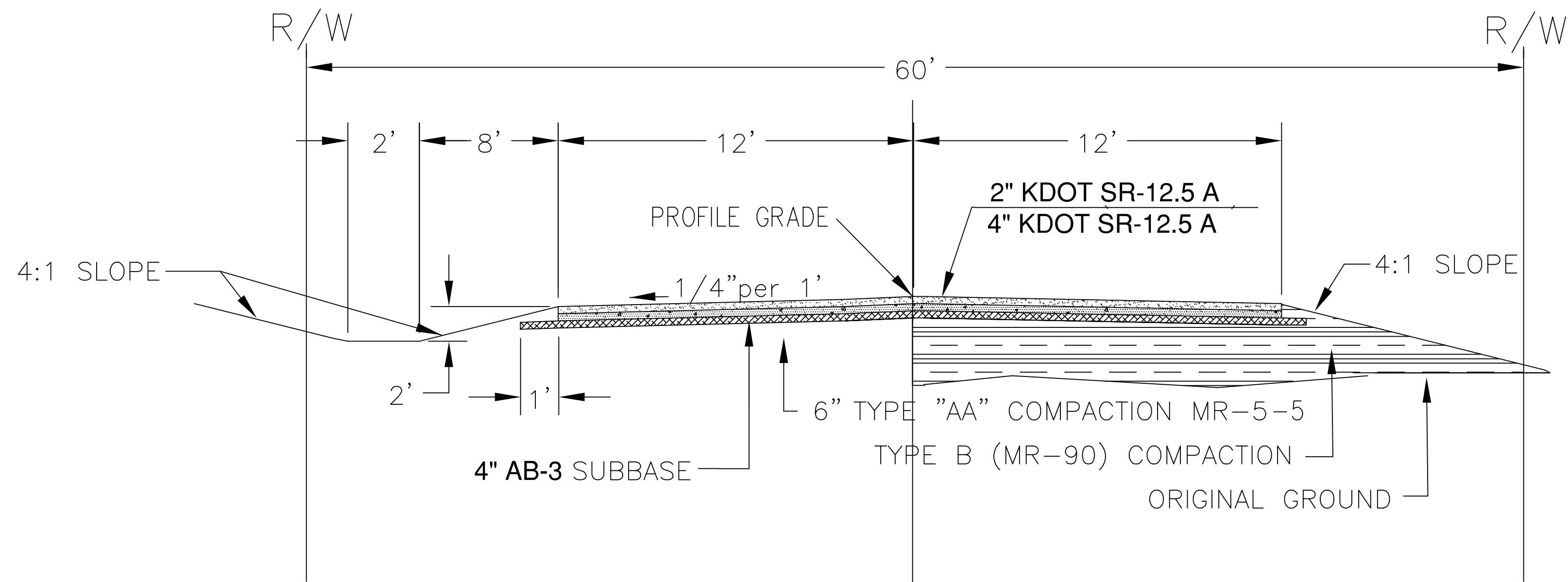
163rd STREET PROJECT  
LEAVENWORTH COUNTY KS

TITLE SHEET

SHEET NO.  
1

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XREF DWG3: NONE XREF DWG4: NONE

# 163rd Street



Item	Unit	Quantity
Staking	LS	1
Mobilization	LS	1
Clearing & Grubbing	LS	1
Excavation	LS	1
Compaction	LS	1
15" CMP	LF	40
30" CMP	LF	50
15" End Sections	Each	2
30" End Sections	Each	2
Rip Rap 18"	Sq Yd	50
Rip Rap 12"	Sq Yd	50
Asphalt Base	Ton	1250
Asphalt Surface	Ton	625
Erosion Control	LS	1
Seed and Mulch	Acre	5.0

Contractor shall verify all quantities

### General Notes:

- Utilities shown are based upon information available to the Engineer. Contractor shall verify all utility locations before digging.
- Contractor will post a one year maintenance bond with Leavenworth County upon acceptance of new road.
- All trees, shrubs, and/or bushes shall be removed including root structure per the intent of the improvements unless noted.
- Contractor shall provide adequate traffic control signing as outlined in the latest edition of the MUTCD.
- Prior to placing subbase contractor shall proof roll subgrade and obtain approval of County Engineer to proceed.
- Contractor to obtain all necessary permits prior to construction.
- All excavation is unclassified.
- Contractor responsible for compliance with NPDES regulations.
- Traffic control shall be in conformance with the latest edition of the MUTCD.
- Contractor shall obtain all necessary permits from all agencies with jurisdiction over the project.
- All workmanship and materials shall be subject to inspection and approval by the County.
- Contractor to coordinate all necessary relocations for ditch reshaping per plan along Kansas Ave. Overhead utilities within above Kansas Ave right-of-way to be adjusted for adequate height to accommodate vehicles including emergency vehicles.
- All pavement sawcuts shall be full depth. Sawcuts shall be inspected by the County prior to AB-3 subbase improvements. Contractor shall coordinate an inspection with the County.
- Contractor shall not change or deviate from the plans without first obtaining written approval from the County and Engineer.
- Owner/Developer/contractor shall provide the County with a Stormwater Pollution Prevention Plan (SWPPP) and NOI before construction. The site shall comply with all requirements of the NPDES general permit.
- Construction record drawings shall be submitted to the County Engineer upon completion of the project and prior to the final acceptance of the project by the County Engineer. The engineer shall provide the County one complete set of prints showing the project as-builts
- All areas disturbed by the construction of said improvements shall be fertilized, seeded, and mulched in accordance with Leavenworth County Requirements. If seeding doesn't take, Contractor/Developer is responsible for reseeding until there is a mowable good stand of grass. Vegetation acceptance shall meet the minimum NOI requirements and approval from the County Public Works Department. Vegetation requires a uniform perennial vegetative cover with a density of 70% over 100% of all disturbed areas.
- All swales shall be staked prior to Construction.
- Contractor is responsible for obtaining a qualified independent testing agency to provide all necessary testing per KDOT specifications and testing frequencies. Prior to construction, the contractor shall furnish an inspection schedule with descriptions and frequencies to the County Engineer for review and approval. Such testing agency shall provided a sealed report with all testing documentation certifying the project was constructed to County and KDOT specifications. Such report shall be accepted by the County Engineer prior to project acceptance.
- Access to existing homes and property shall be maintained at all times.
- All construction and materials shall conform to the Leavenworth County Department of Public Works Road Construction and Storm Water Drainage Standards 2003 Edition. References made to KDOT standards and specifications shall be current edition.

5	NO.	DATE	REVISIONS	BY	APPD
4					
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1					

Designed By	_____
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Checked By	_____
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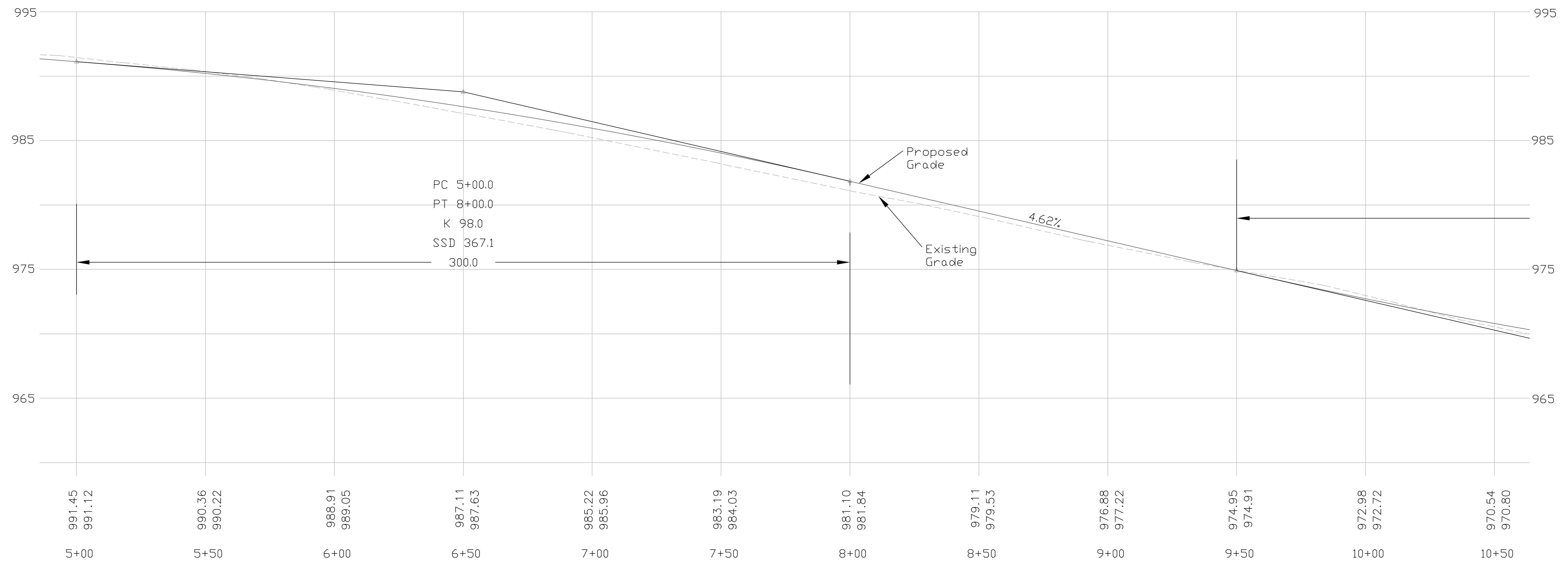
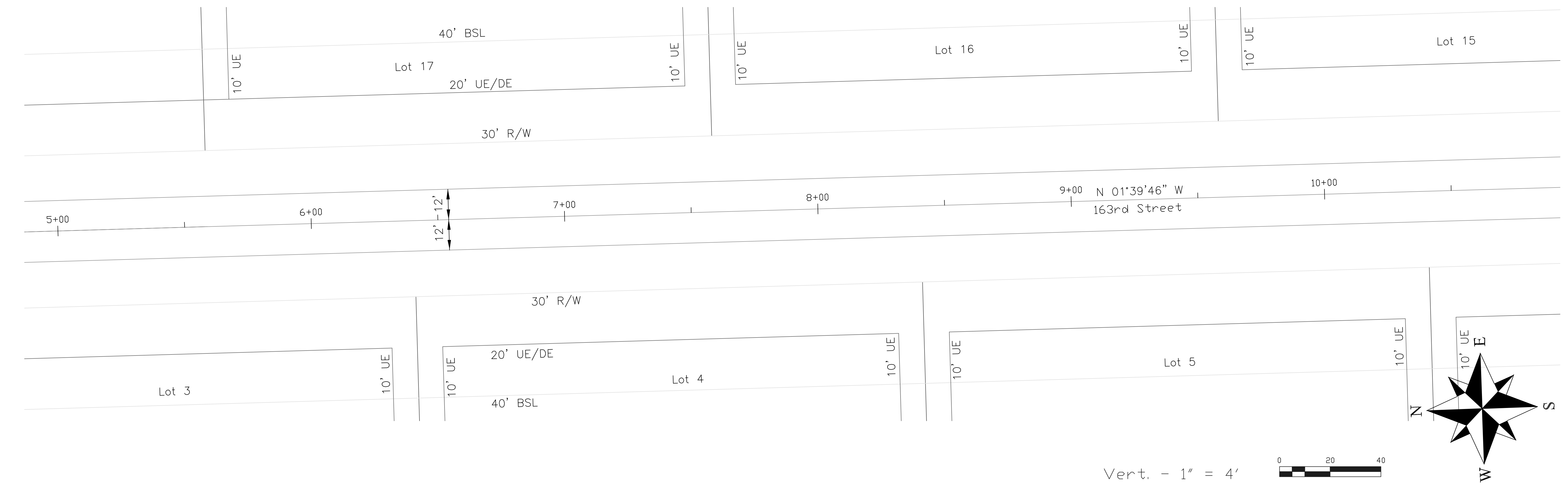
163rd STREET PROJECT  
LEAVENWORTH COUNTY KS  
TYPICAL SECTION AND QUANTITIES

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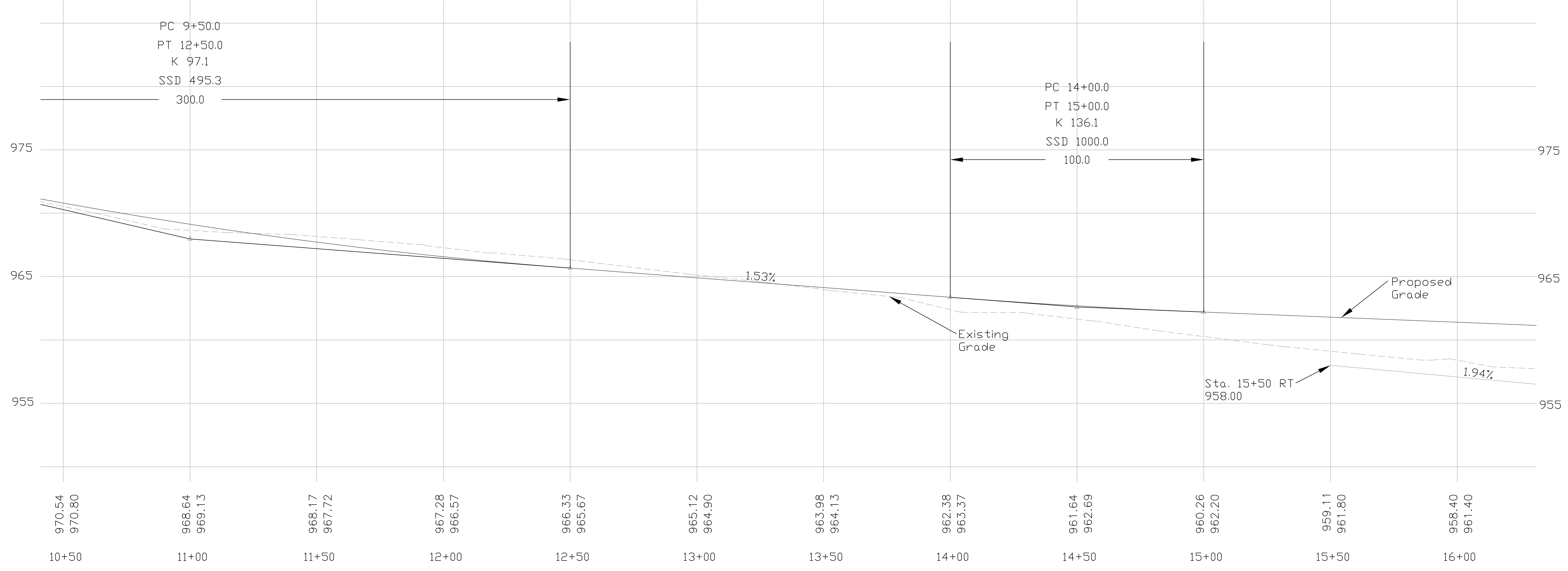
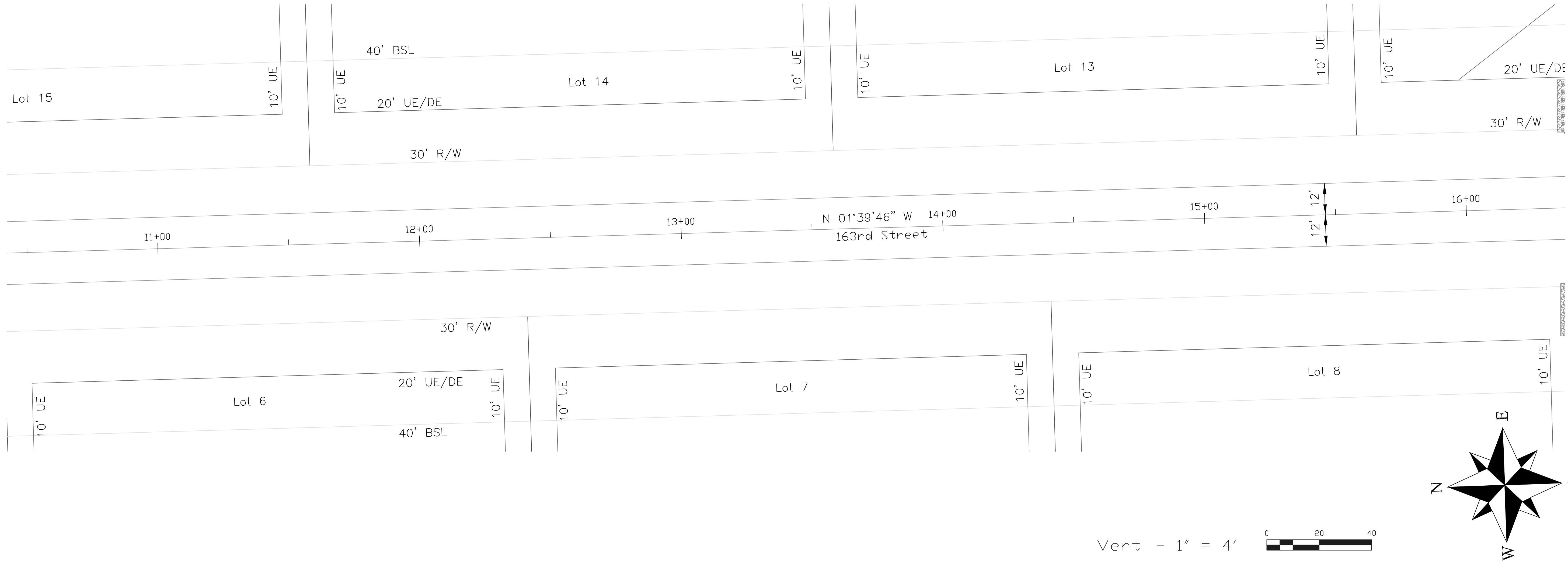
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	REVISIONS	
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163rd STREET PROJECT  
 LEAVENWORTH COUNTY KS

PLAN & PROFILE

SHEET NO.  
 4

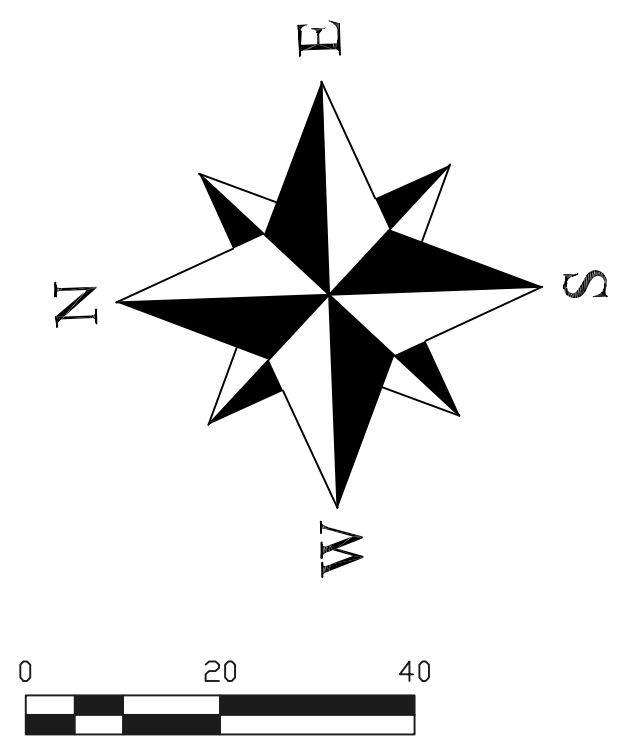
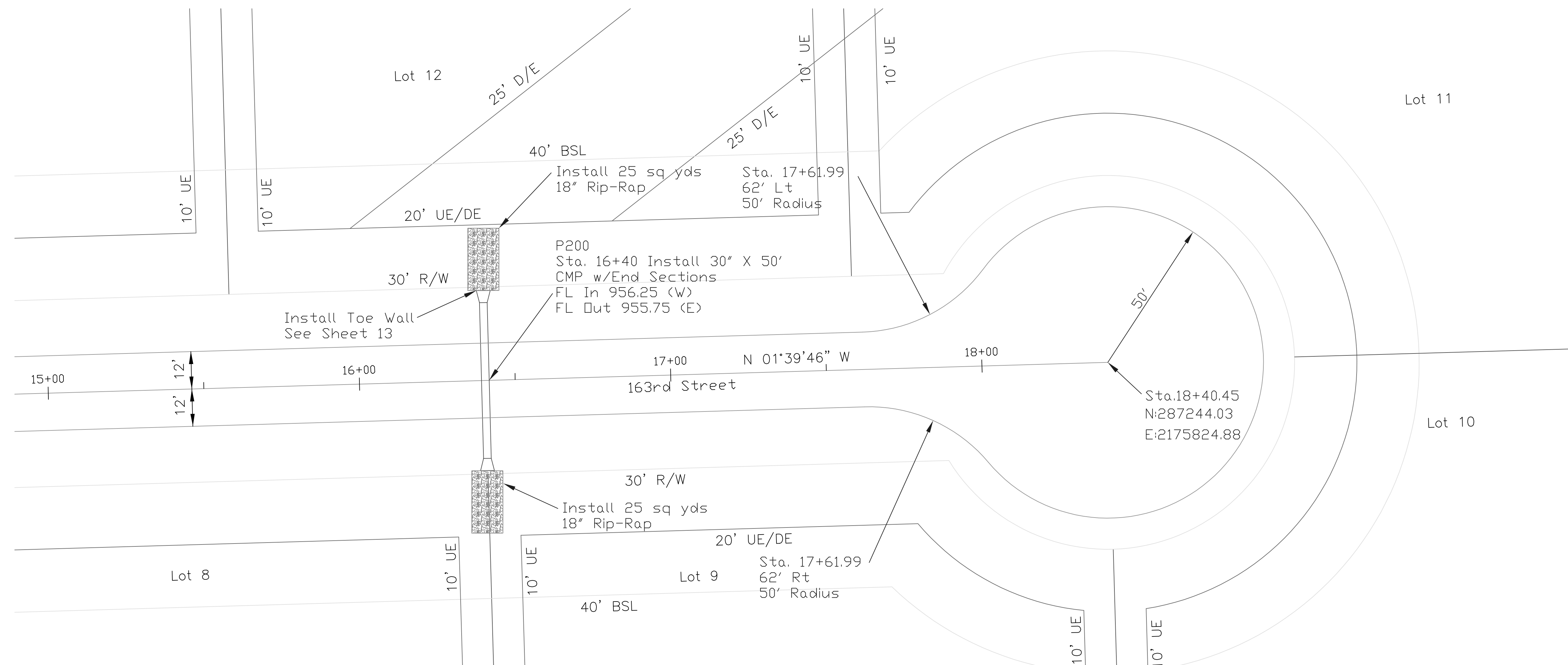
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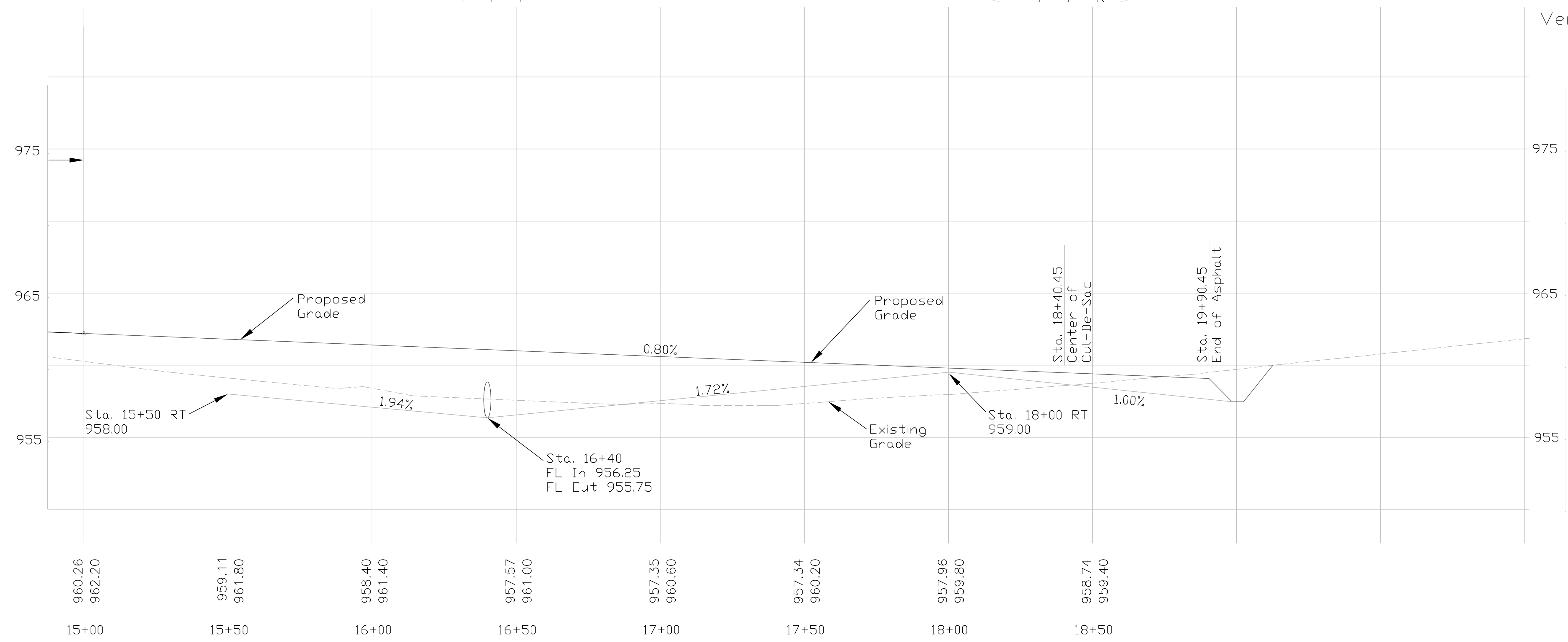
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	REVISIONS	BY
		APP'D

163rd STREET PROJECT LEAVENWORTH COUNTY KS
PLAN & PROFILE
SHEET NO. 5



Vert. - 1" = 4'



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XREF DWG3: NONE	XREF DWG4: NONE

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3					
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Designed By	
Drawn By	
Checked By	
Issue Date	
Jr. No.	

163rd STREET PROJECT  
LEAVENWORTH COUNTY KS

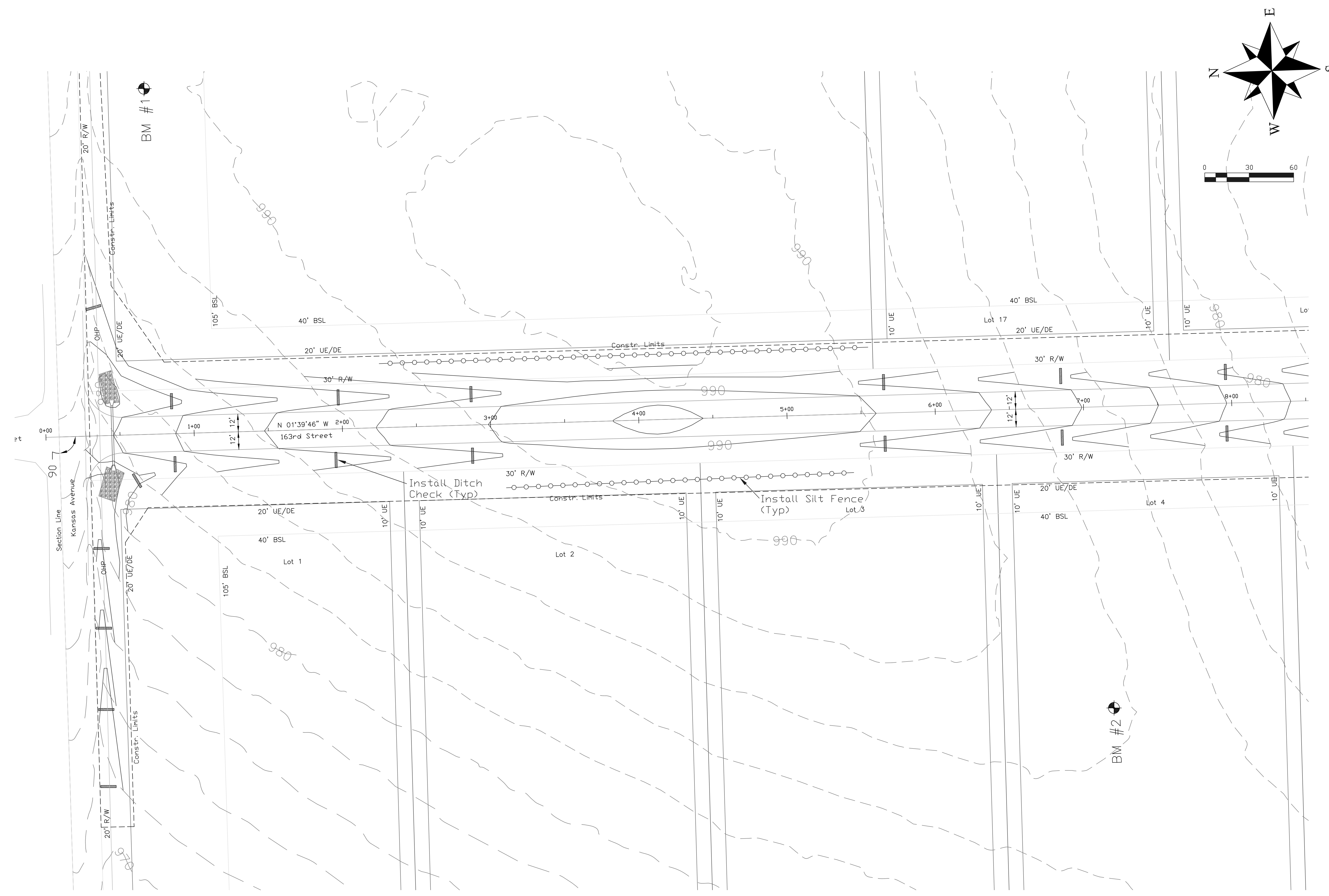
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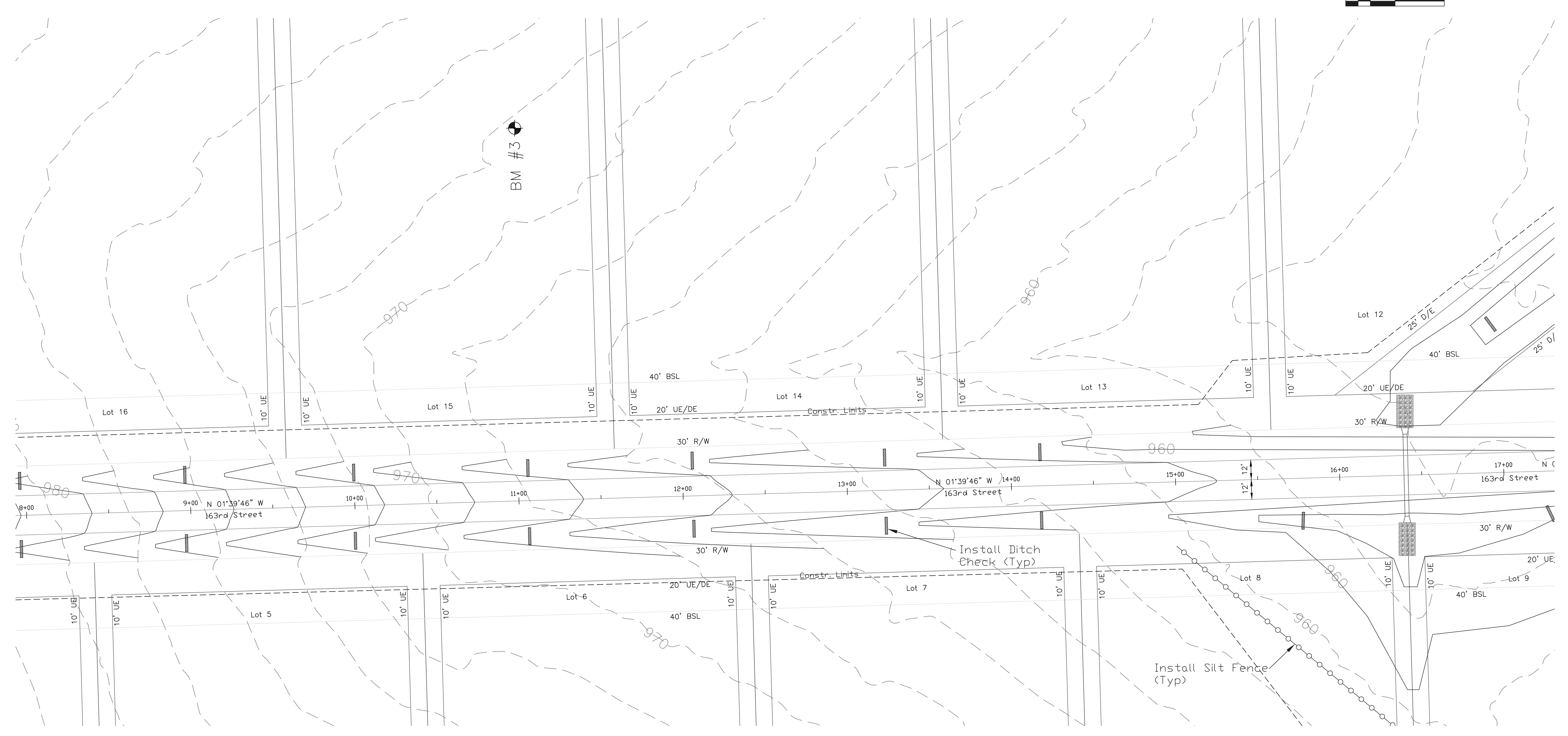
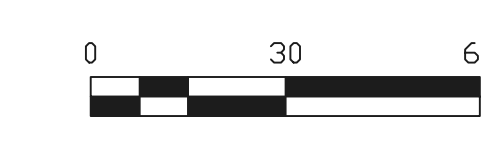
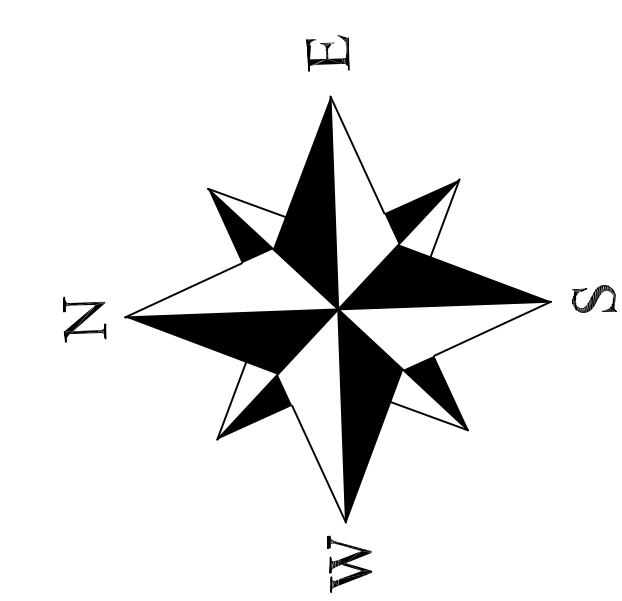


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See plan & profile sheets for information on special ditches.

163rd STREET PROJECT LEAVENWORTH COUNTY KS		GRADING																																				
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163rd STREET PROJECT  
LEAVENWORTH COUNTY KS

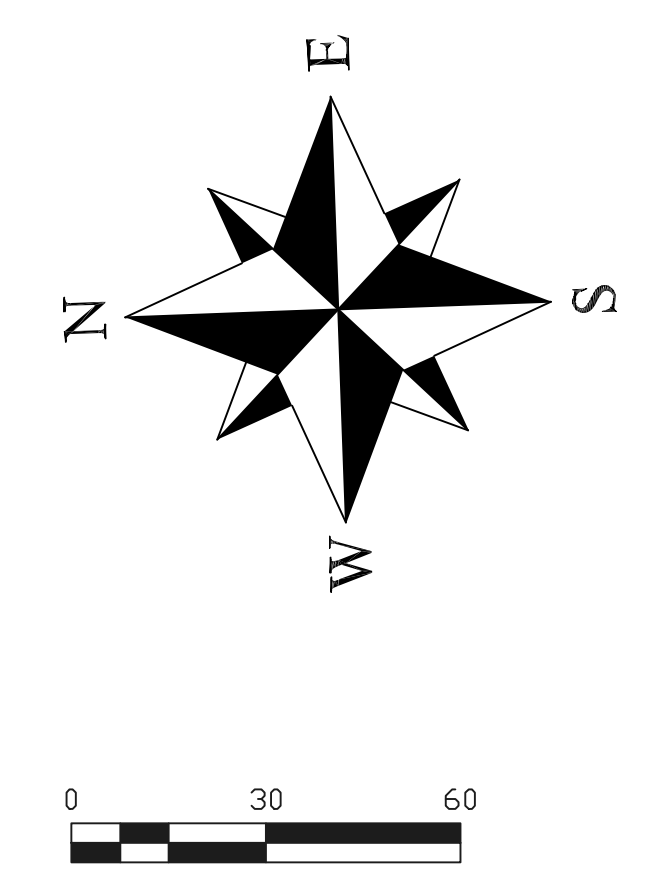
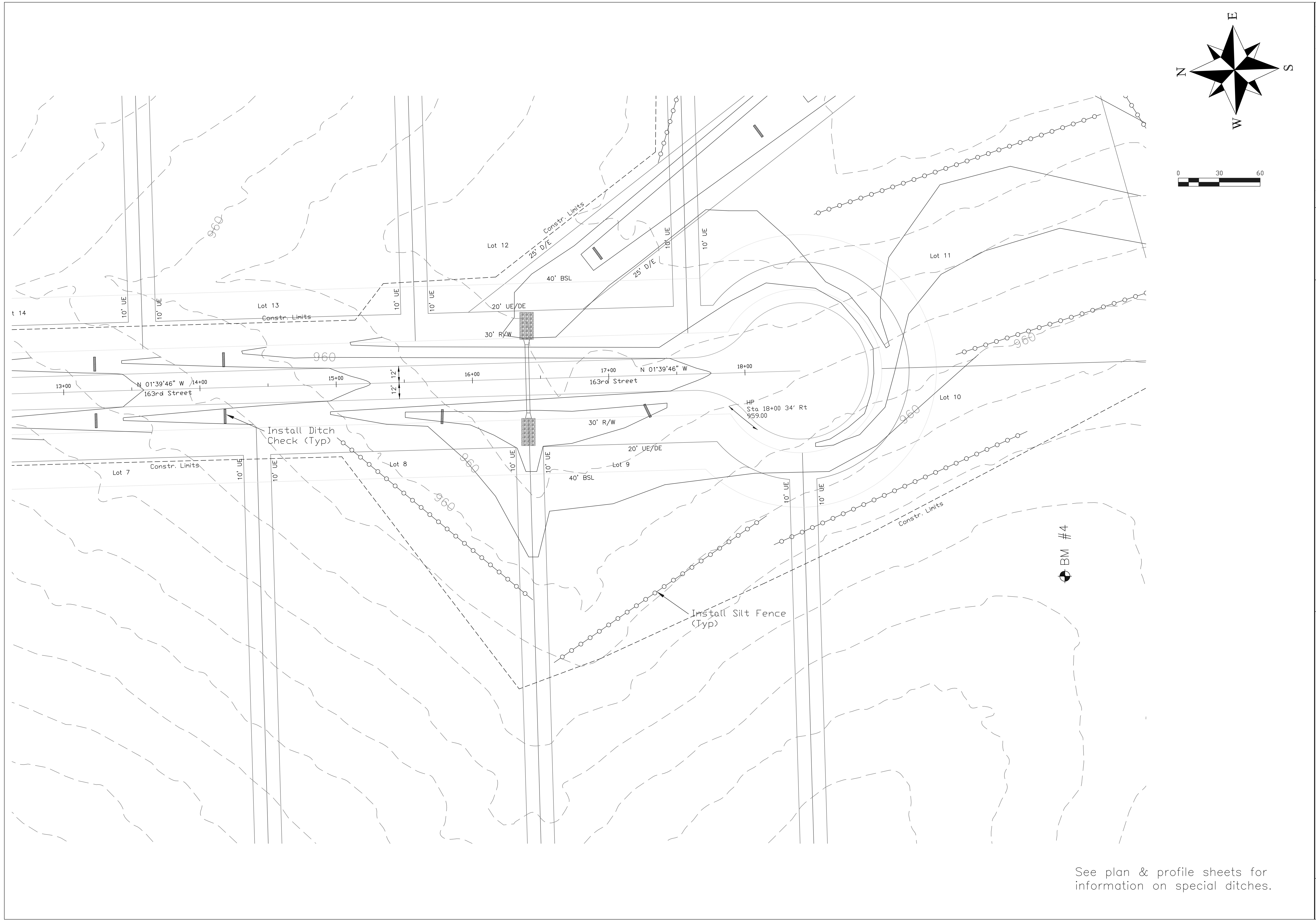
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See plan & profile sheets for information on special ditches.

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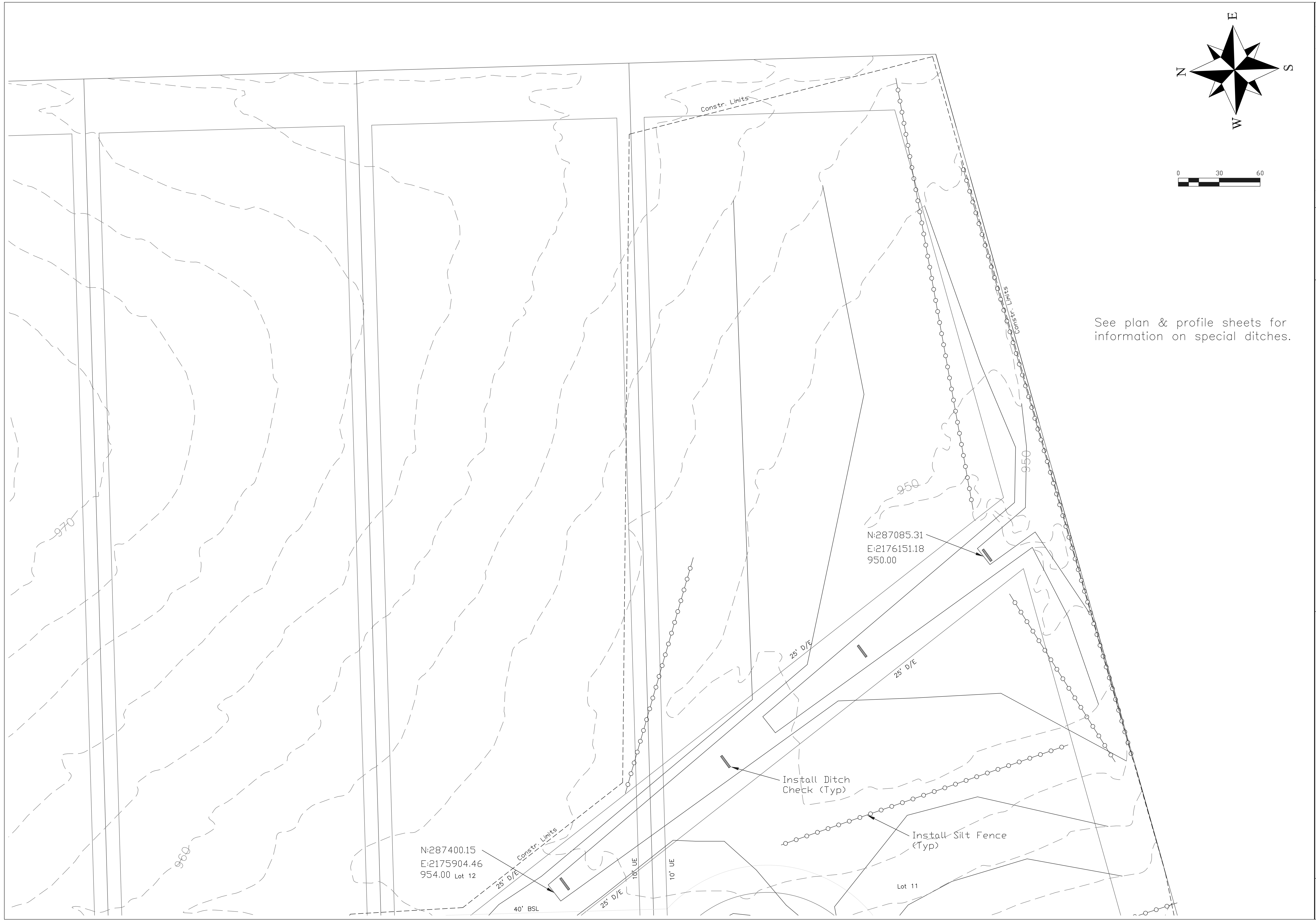
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See plan & profile sheets for information on special ditches.

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See plan & profile sheets for information on special ditches.

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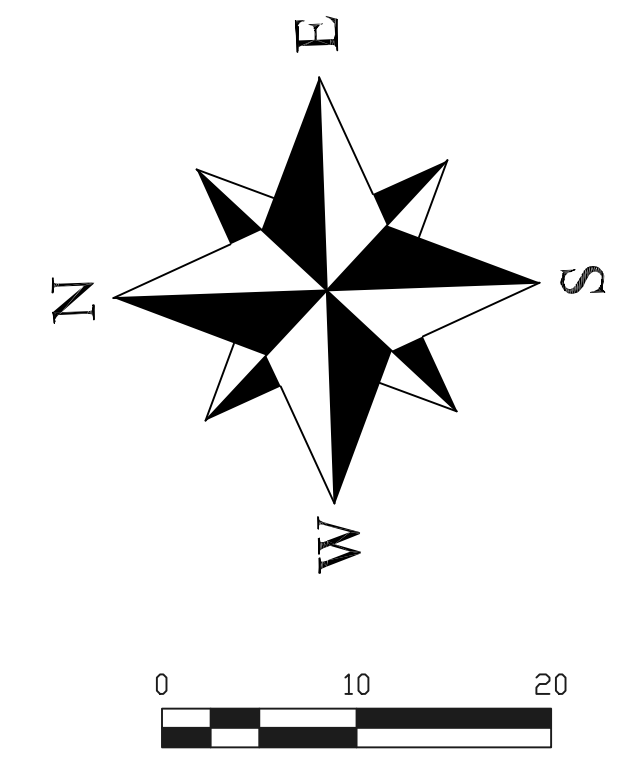
163rd STREET PROJECT LEAVENWORTH COUNTY KS
GRADING

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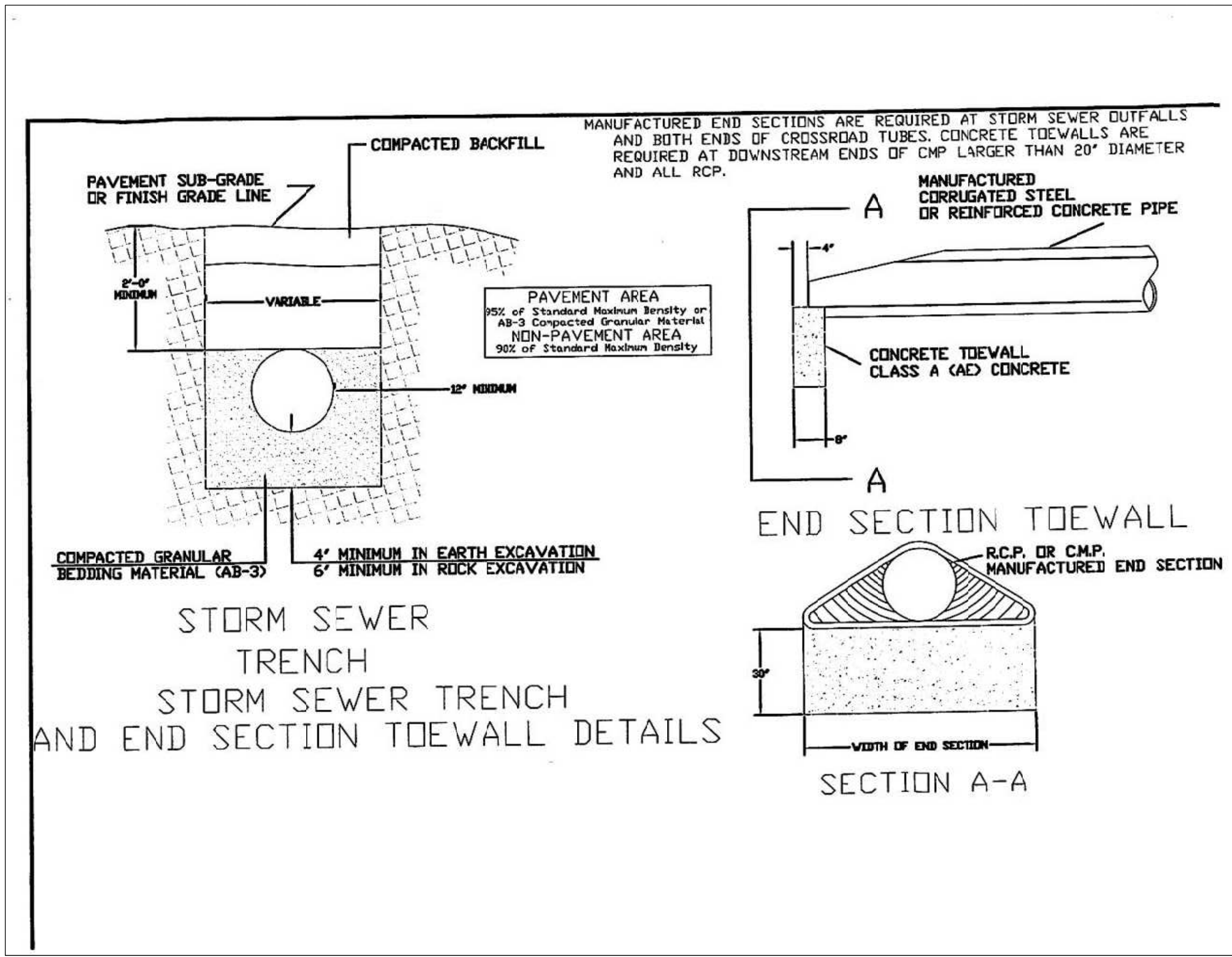
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See grading plan sheets for information on grading for drainage around intersection and cul-de-sac.



163rd STREET PROJECT LEAVENWORTH COUNTY KS		INTERSECTION & CUL-DE-SAC DETAILS	
SHEET NO. 12		DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ ISSUE DATE: _____ JOB NO.: _____	
		NO. DATE REVISIONS BY APP'D 5 _____ 4 _____ 3 _____ 2 _____ 1 _____	





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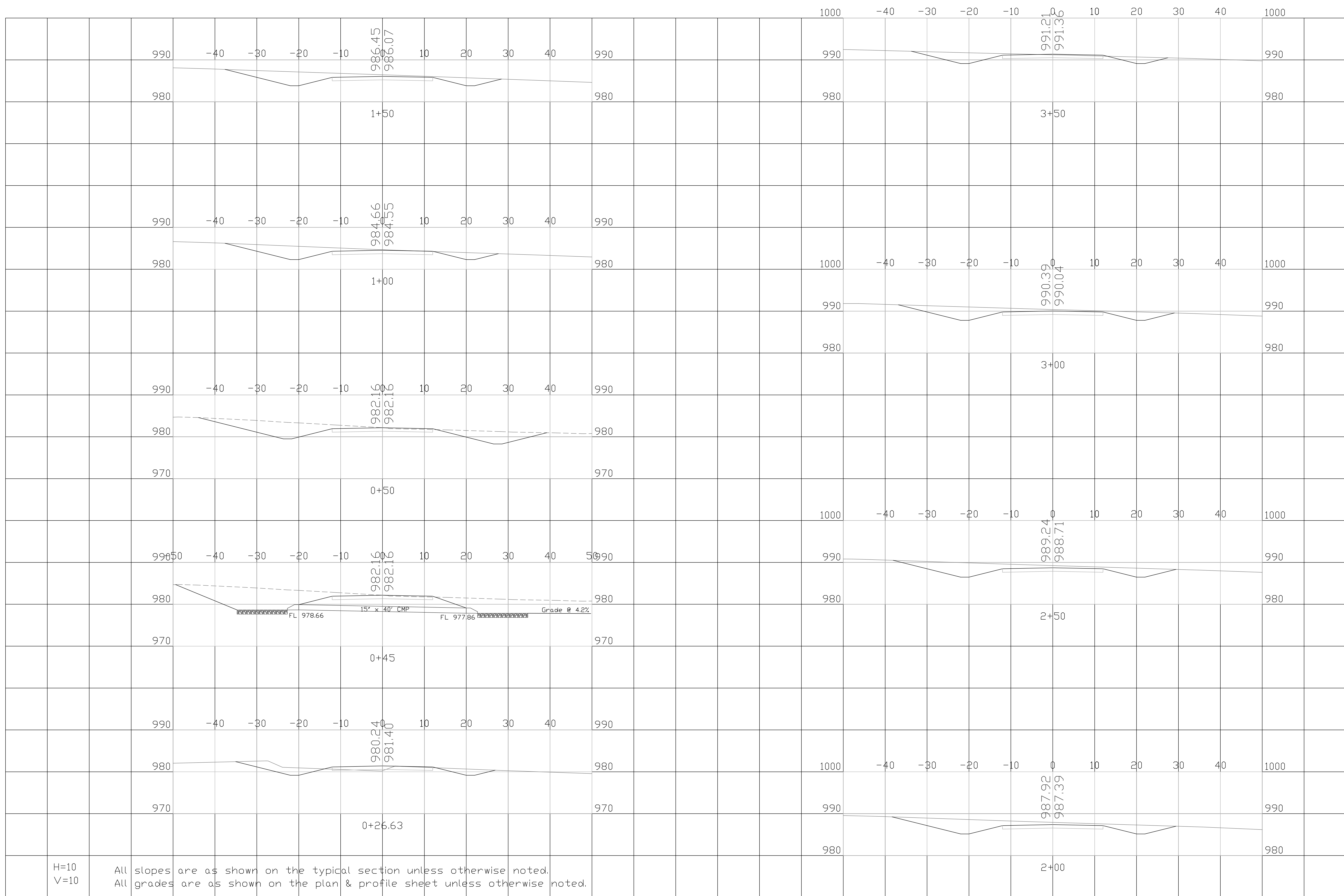
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163rd STREET PROJECT  
 LEAVENWORTH COUNTY KS

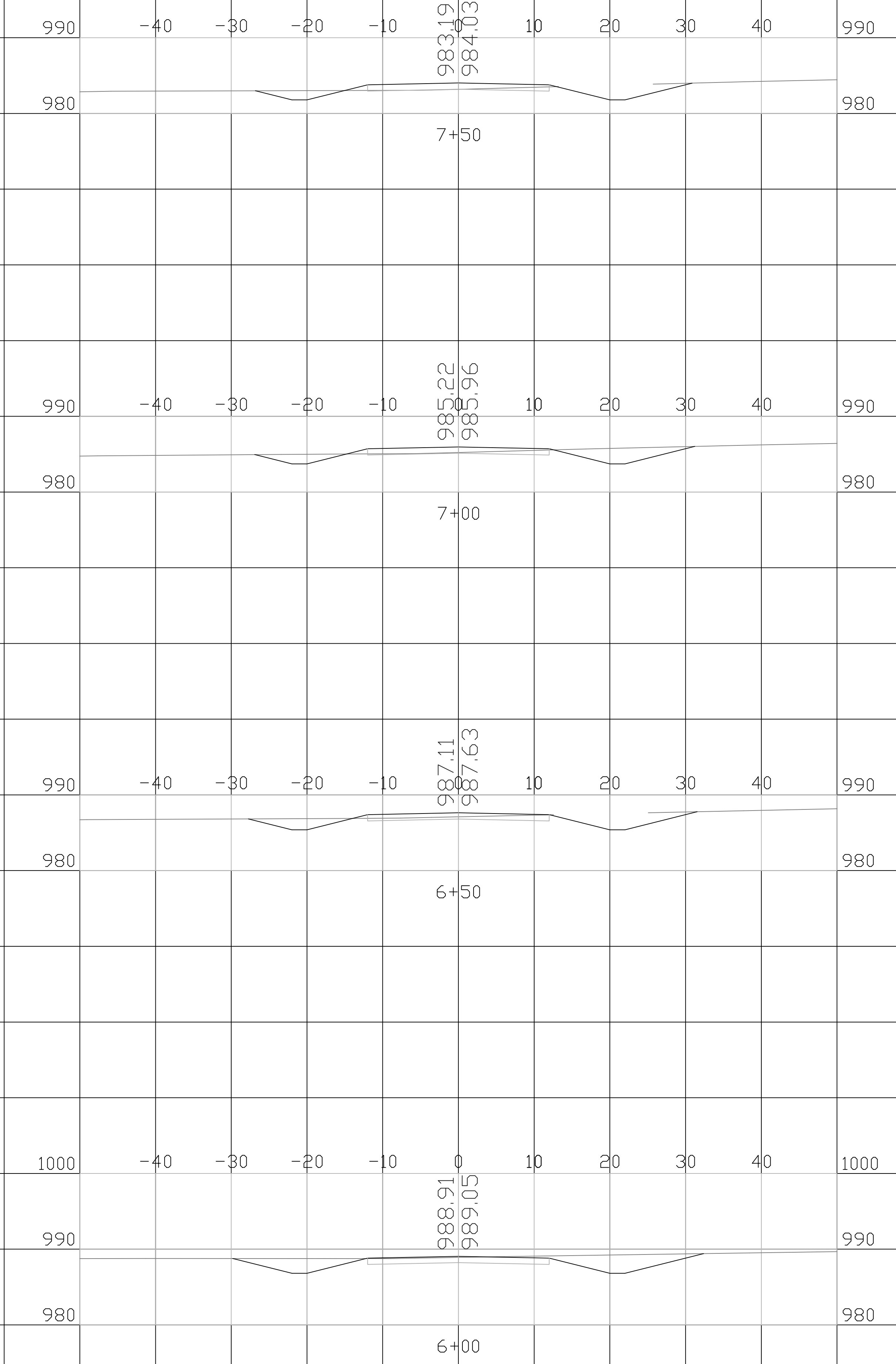
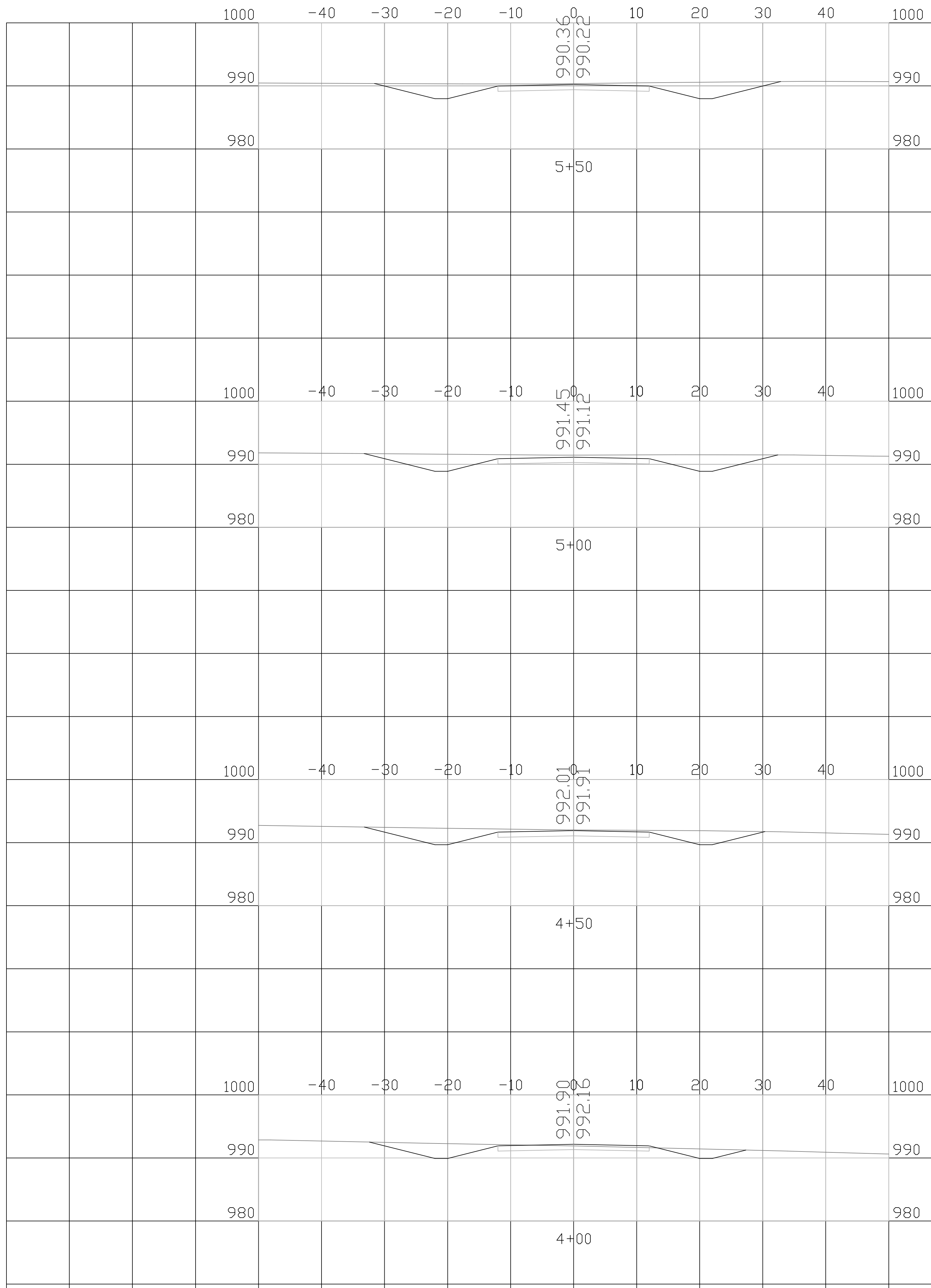
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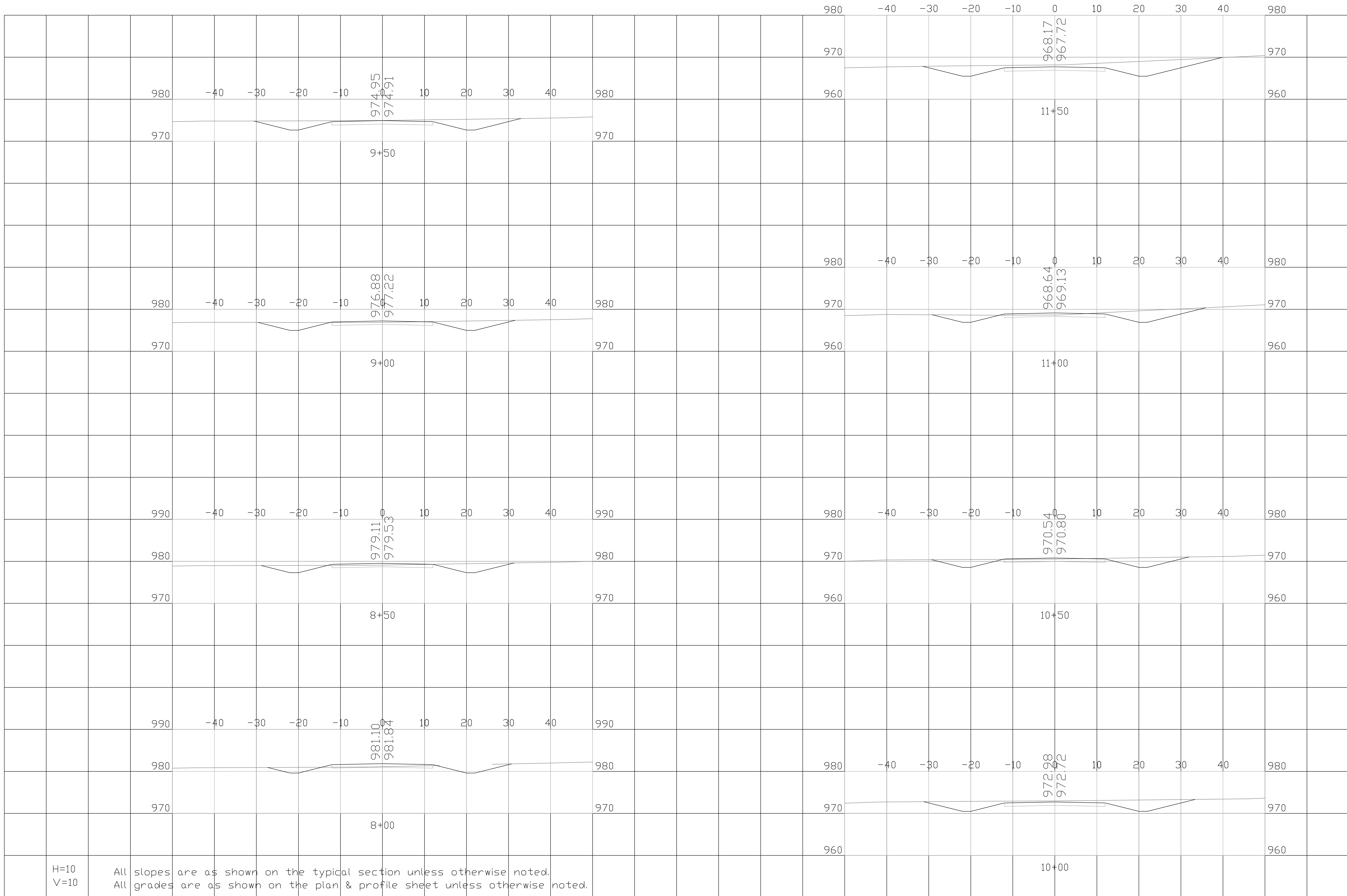




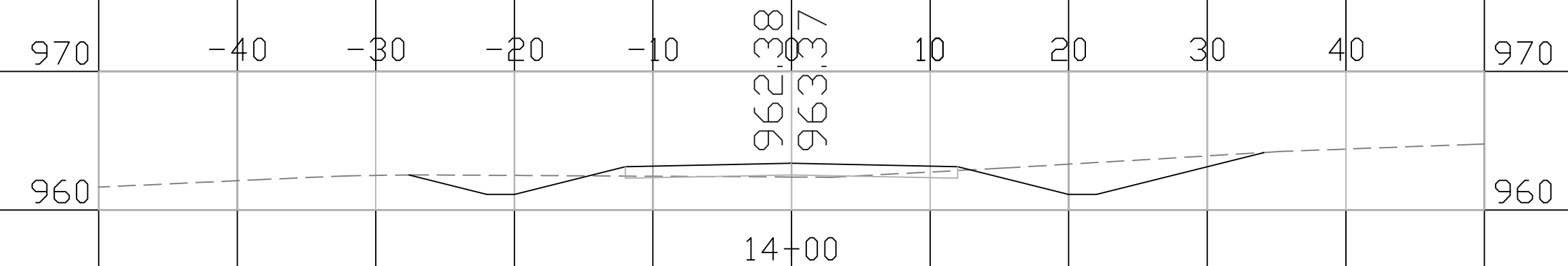
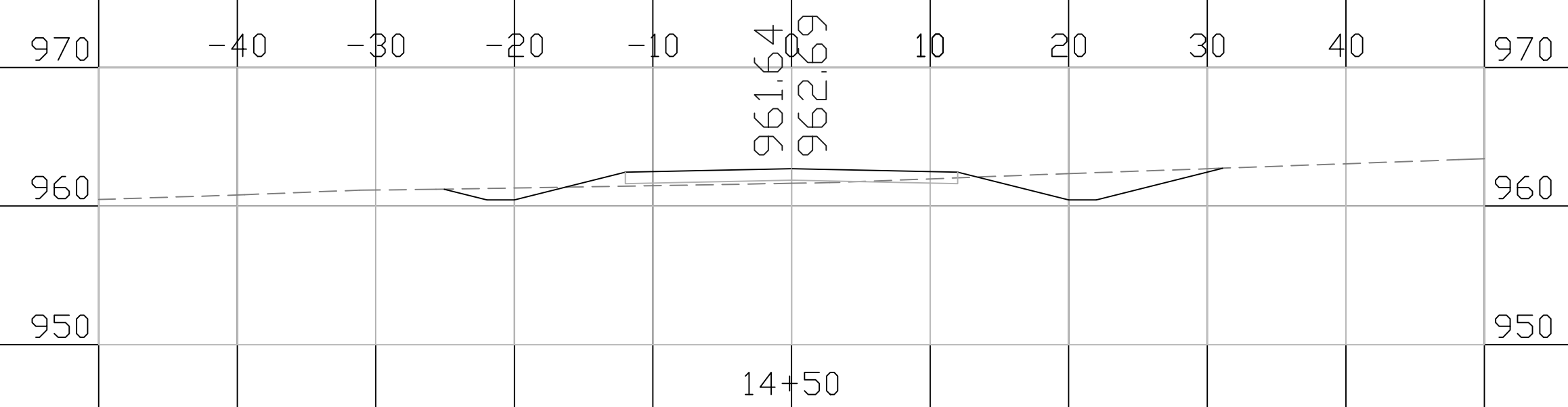
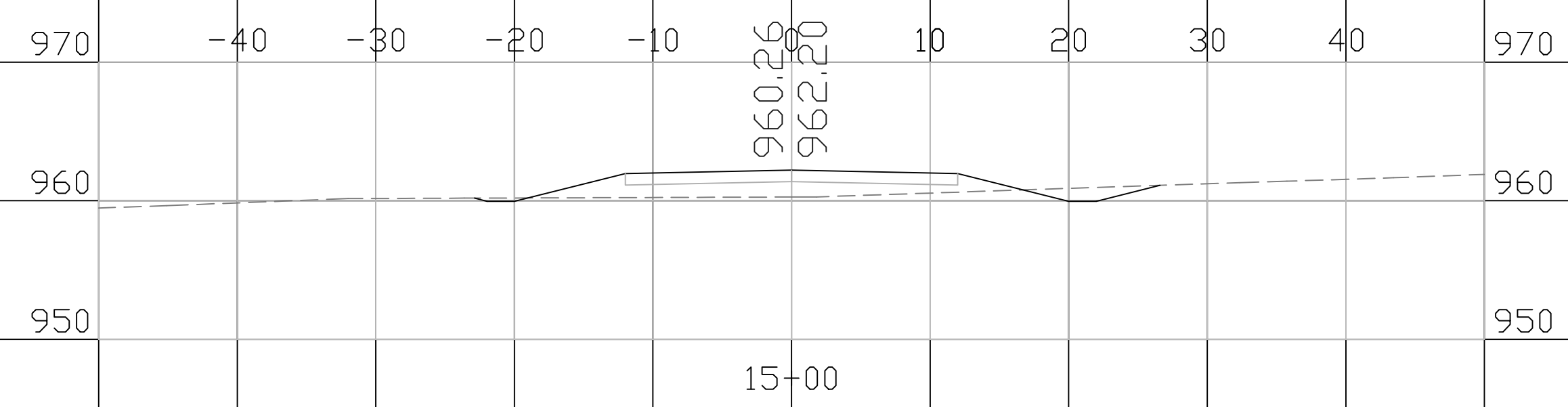
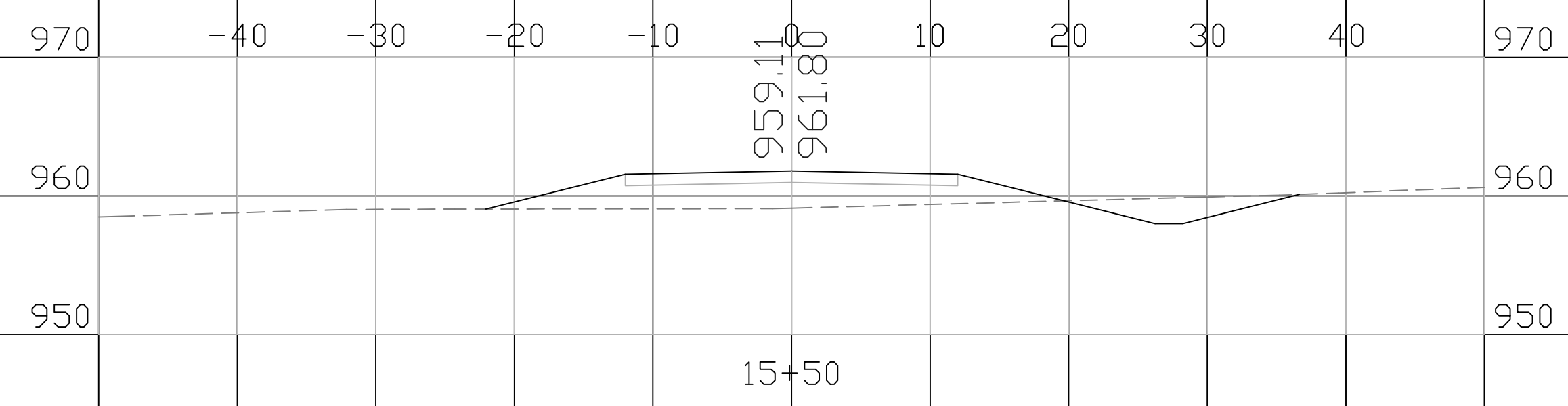
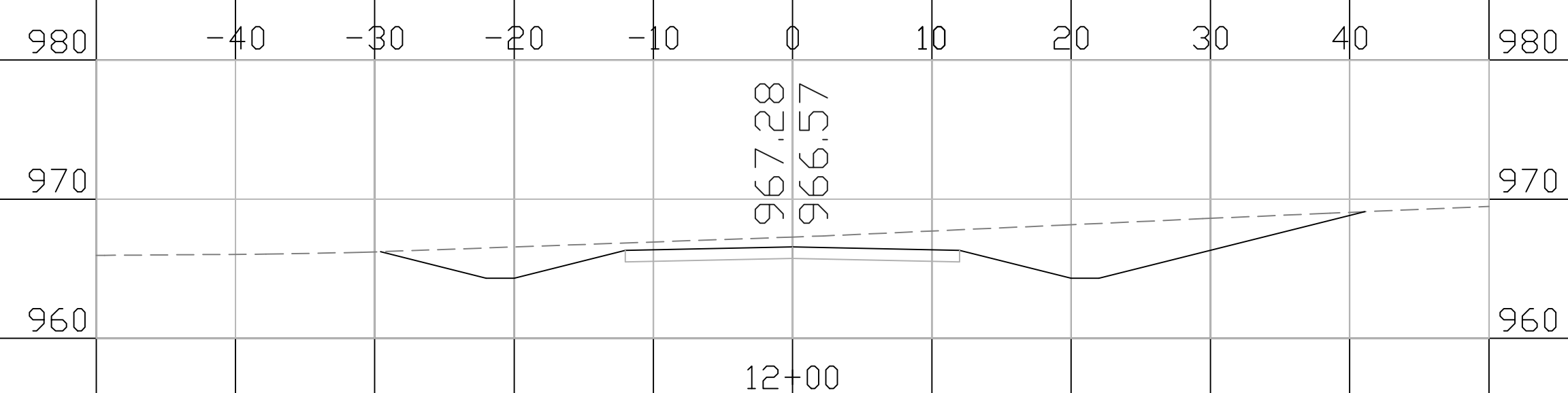
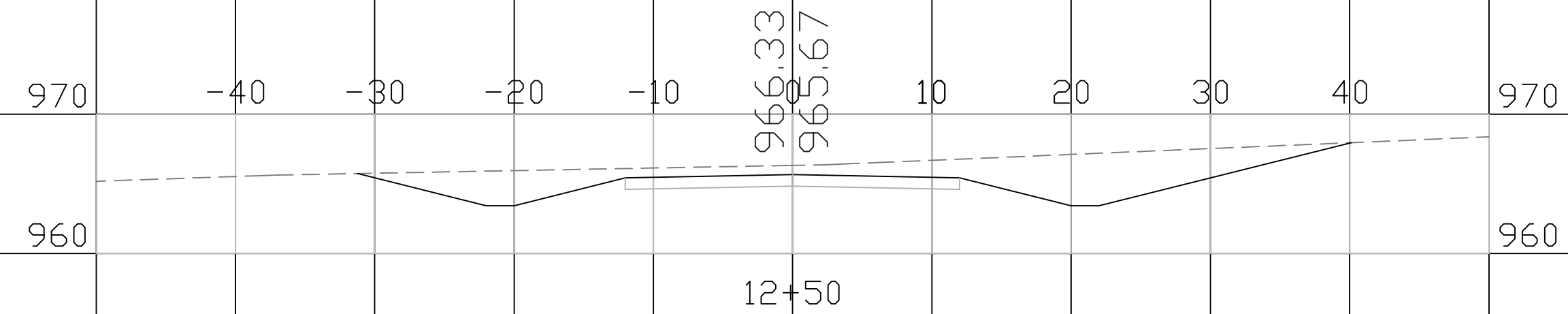
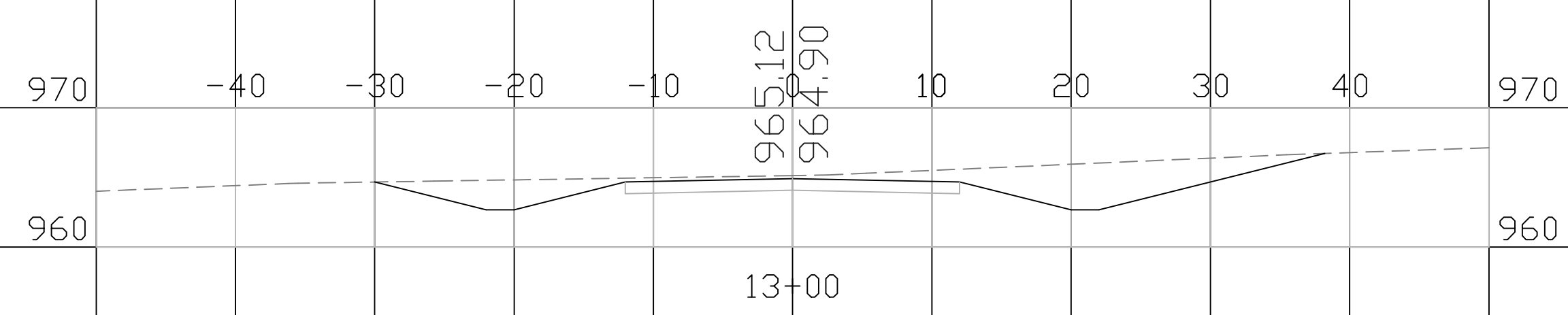
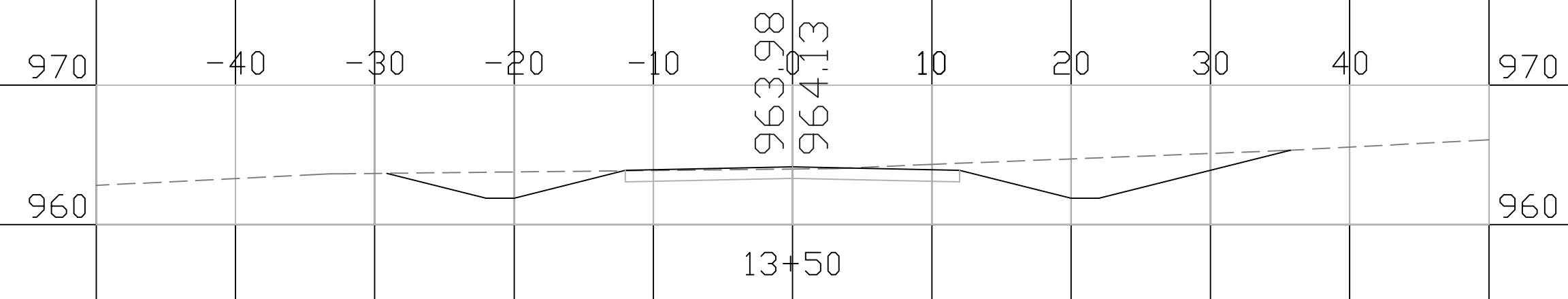
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All grades are as shown on the plan & profile sheet unless otherwise noted.



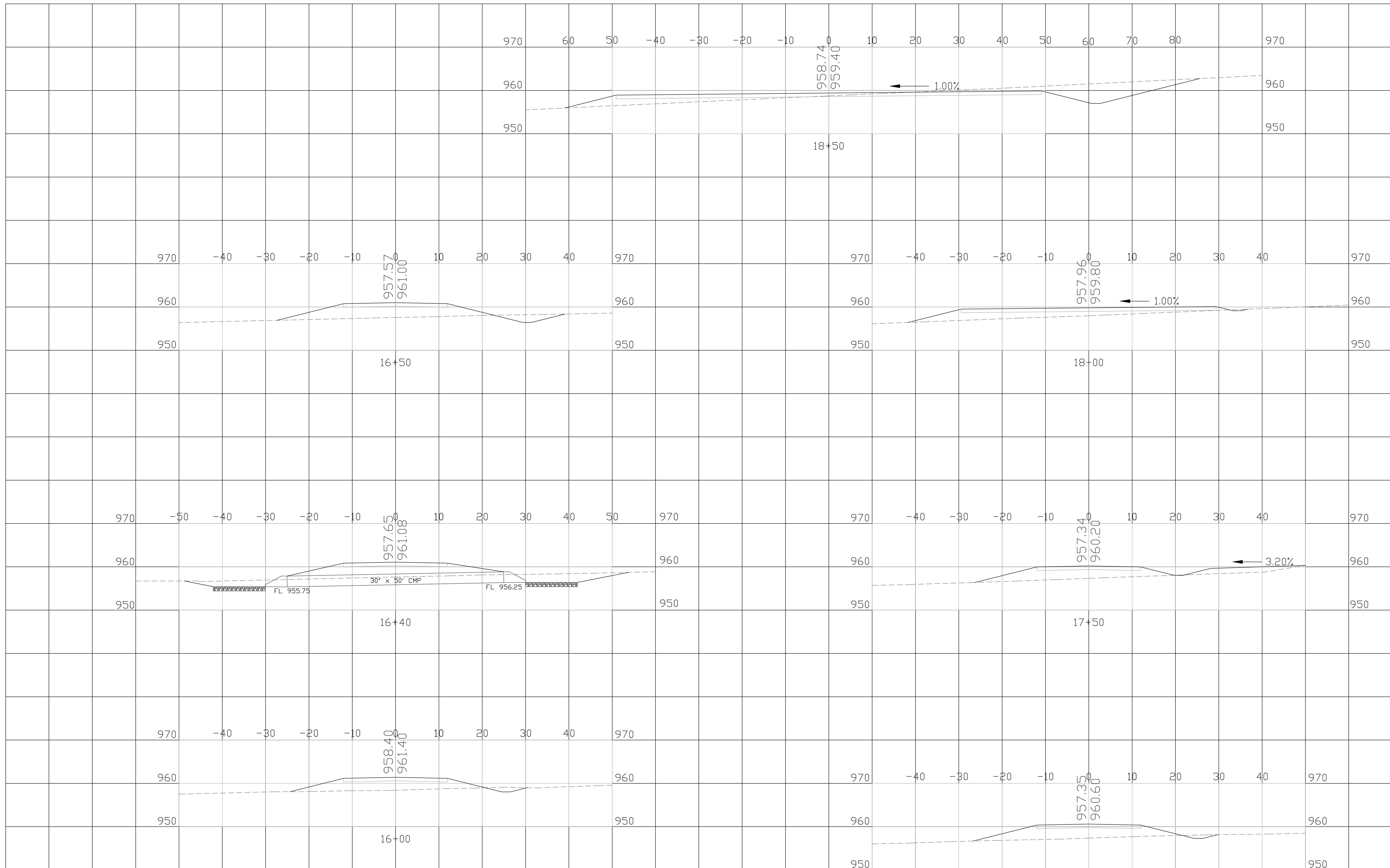
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 All grades are as shown on the plan & profile sheet unless otherwise noted.







H=10  
V=10  
All slopes are as shown on the typical section unless otherwise noted.  
All grades are as shown on the plan & profile sheet unless otherwise noted.



H=10  
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All slopes are as shown on the typical section unless otherwise noted.  
All grades are as shown on the plan & profile sheet unless otherwise noted.

# Summary of Comments on KANSAS RED TAIL RIDGE REPLAT FINAL SOLID 24x36Port

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Page: 1

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Number: 1 Author: dbaumchen Subject: Text Box Date: 2/1/2023 3:17:19 PM  
[Reviewed 2023.02.01 No Comments](#)



# Leavenworth County Planning and Zoning Preliminary and Final Plat

DATE: 2022.12.02  
RE: DEV-21-150 Preliminary and Final Plat – Red Tail Ridge No. 2  
PID: 185-22-0-00-00-009.00  
To: Travis Miles, Suburban Water District  
 Rural Water District # : Suburban Water District

The Department of Planning and Zoning has received a request for a Preliminary and Final Plat for Red Tail Ridge No. 2.

### Please address the following comments:

- Does the water district have existing service lines in the vicinity of the proposed plat boundary to provide potable water to the lots of the subdivision?
  - a. Suburban Water has an existing 4" PVC water main located on the south side of Kansas Avenue.
  
- What is the size and location of the water line(s) and fire hydrants that are adjacent to this property?
  - a. Suburban Water has an existing 4" PVC water main located on the south side of Kansas Avenue. Closets Fire Hydrant is located at the corner of 163<sup>rd</sup> Street and Kansas Avenue.
  
- Would the water district allow fire hydrants to be installed on the existing service line(s) in the area of the proposed plat boundary?
  - a. The current 4" PVC water main does have sufficient capacity to support minimum fire flow standards, along with maintaining minimum domestic service, while both services are in use. To allow the installation of fire hydrants in the new development, it will require offsite improvements to the district's water system to obtain the adequate fire protection, along with maintaining minimum domestic service. Further, evaluation would be required to determine what offsite improvements would be required, along with input from the local fire district regarding what flow rate and pressure they need for minimum fire protection standards.
  
- Does the water district have plans to upgrade the service in this vicinity to such a level that fire hydrants can be installed in the foreseeable future, or within a set number of years? If so, what would the improvements consist of?
  - a. Suburban does not have any plans at this time to make improvements to the rural area that this development is being placed within.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by **Wednesday, November 16, 2022.**

Leavenworth County Planning and Zoning Department  
Leavenworth County Courthouse  
300 Walnut Suite 212 Leavenworth, Kansas 66048

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [aallison@leavenworthcounty.Gov](mailto:aallison@leavenworthcounty.Gov).

Sincerely,

Amy Allison  
Deputy Director  
Planning and Zoning  
Leavenworth County



**Leavenworth County  
Request for Board Action  
Case No. DEV-22-167/168  
Preliminary & Final Plat Oak Ridge Estates 2<sup>nd</sup>**

**Date:** February 23, 2023  
**To:** Board of County Commissioners  
**From:** Planning & Zoning Staff

**Department Head Review:** Amy Allison, Reviewed

**Additional Reviews as needed:**

**Budget Review**  **Administrator Review**  **Legal Review**

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**Action Requested:** The applicants are requesting a Preliminary and Final Plat for a two lot subdivision. Proposed Lot 1 is approximately 3.16 acres and Lot 2 is approximately 23.14 acres.

**Analysis:** The applicant is proposing to plat a 36-acre tract of land into Lots 1-2 of the Oakridge Estates 2<sup>nd</sup> Addition. The proposed lots received a variance from the maximum lot size (10,000 sf) in the PR-1 district on February 8, 2023. The proposed plat will also need an exception from the lot-depth to lot-width requirement for Lot 2 and for the non-perpendicular property line separating lots 1 and 2.

The parcel is currently vacant. The property abuts the City of Tonganoxie and accesses off of a City street. The City of Tonganoxie has waived the sewer requirement as the parcels both meet their policy for private septic systems.

**Recommendation:** The Planning Commission voted 6-0 to recommend approval of Case No.DEV-22-167/168, Preliminary and Final Plat for Oak Ridge Estates 2<sup>nd</sup> subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-22-167/168, Preliminary and Final Plat for Oak Ridge Estates 2<sup>nd</sup>, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-22-167/168, Preliminary and Final Plat for Oak Ridge Estates 2<sup>nd</sup>, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-22-167/168, Preliminary and Final Plat for Oak Ridge Estates 2<sup>nd</sup>, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** \$0.00

**Additional Attachments:** Staff Report, Plat, Planning Commission Minutes

**LEAVENWORTH COUNTY  
BOARD OF COUNTY COMMISSIONERS  
STAFF REPORT**

CASE NO: DEV-22-167/168 Oakridge Estates 2<sup>nd</sup>

February 23, 2023

REQUEST: **Regular Agenda**

Preliminary/Final Plat

**STAFF REPRESENTATIVE:**

AMY ALLISON  
DEPUTY DIRECTOR

**SUBJECT PROPERTY:** 00000 W Washington Street

**APPLICANT/APPLICANT AGENT:**

HERRING SURVEYING CO.  
315 N 5<sup>TH</sup> STREET  
LEAVENWORTH, KS 66048

**PROPERTY OWNER:**

ROBERTI NIENIECKI  
300 W WASHINGTON ST  
TONGANOXIE KS 66086

**CONCURRENT APPLICATIONS:**

DEV-23-005

**LAND USE**

ZONING: PR-1

FUTURE LAND USE DESIGNATION:

COUNTY ROAD 1

**LEGAL DESCRIPTION:**

A tract of land located in the Northeast Quarter (NE ¼) of Section 17, Township 11 South, Range 21 East of the 6th P.M., in Leavenworth County Kansas.

SUBDIVISION: N/A

FLOODPLAIN: N/A

**PLANNING COMMISSION RECOMMENDATION:** APPROVAL WITH CONDITIONS

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

1. Approve Case No. DEV-22-167/168, Preliminary and Final Plat for Oak Ridge Estates 2nd, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-22-167/168, Preliminary and Final Plat for Oak Ridge Estates 2nd, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-22-167/168, Preliminary and Final Plat for Oak Ridge Estates 2nd, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**PARCEL SIZE:**

36.3 ACRES

**PARCEL ID NO:**

194-17-0-00-00-002.00

**BUILDINGS:**

N/A

**PROJECT SUMMARY:**

Request for a preliminary and final plat approval to subdivide property located at 00000 W Washington St (PID 194-17-0-00-00-002.00) as Lot 1 - 2 of the Oakridge Estates 2<sup>nd</sup> subdivision.

**ACCESS/STREET:**

WASHINGTON ST – TONGANOXIE  
CITY STREET, PAVED ± 24'

**Location Map:**



**UTILITIES**

SEWER: PRIVATE SEPTIC SYSTEM

FIRE: TONGANOXIE TWSHP FD

WATER: CITY OF TONGANOXIE

ELECTRIC: EVERGY

**NOTICE & REVIEW:**

STAFF REVIEW:

1/24/2023

NEWSPAPER NOTIFICATION:

1/31/2023

NOTICE TO SURROUNDING

PROPERTY OWNERS:

N/A

<b>STANDARDS TO BE CONSIDERED:</b>			
<i>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</i>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b>	X	
41-6.B.a-c.	<b>Entrance Spacing</b>	X	
41-6.C.	<b>Public Road Access Management Standards</b>	X	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b>		X
	Article 50 – Section 40.3.d. & Article 50 – Section 40.3.i.		
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to plat a 36-acre tract of land into Lots 1-2 of the Oakridge Estates 2<sup>nd</sup> subdivision. The parcel is adjacent to the City of Tonganoxie and will access off a City street, Washington Street. The property is zoned PR-1 which requires lots to be a minimum of 6,000 sf and a maximum of 10,000 sf. A variance was granted by the Board of Zoning Appeals for the maximum lot size in the PR-1 District on February 8, 2023. Lot 1 is proposed to be 3.16 acres and Lot 2 23.14 acres. Both lots will need a variance from the maximum lot size prior to subdivision action being taken. Additionally, since the property is located within 660' of the City of Tonganoxie, sanitary sewer requirements must apply unless waived by the City of Tonganoxie. Per the email dated January 24, 2023, the City of Tonganoxie has agreed to waive the City Sewer requirements as the proposed lots meet the standards for city waiver policy. The applicant is proposing to build a single-family house on Lot 1. Lot 2 will remain vacant with the intention to be developed at a higher density once utilities have been extended to the property. Lot 2 will require an exception to Article 50 – Section 40.3.i. Lot-Depth to Lot-width due to the minimum frontage requested. The lot is laid out in such a manner as to allow for a roadway to be extended from Washington St. to the remainder of the property. Additionally, an exception must also be granted from Article 50 – Section 40.3.d.90-degree lot lines, due to the angled property line between Lot 1 and Lot 2. Staff was not in support of the request.

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary infrastructure is available.
5. An exception to Article 50 – Section 40.3.d. has been granted for Lots 1 & 2.
6. An exception to Article 50 – Section 40.3.i. has been granted for Lot 2.
7. A variance from Article 18, Section 1.1 has been granted and notation placed on the face of the plat.
8. The developer must comply with the following memorandums:
  - a. Memo – Emergency Management, 12.27.2022
  - b. Memo – Tonganoxie Water, 12.15.2022
  - c. Email – City of Tonganoxie, 1.24.2023

**ATTACHMENTS:**

A: Application & Narrative

B: Zoning Map

C: Memorandums

PRELIMINARY &  
**FINAL PLAT APPLICATION**

Leavenworth County Planning and Zoning Department,  
300 Walnut St., Suite 212  
County Courthouse  
Leavenworth, Kansas 66048  
913-684-0465

Office Use Only

PID: \_\_\_\_\_  
Township: \_\_\_\_\_  
Planning Commission Meeting Date: \_\_\_\_\_  
Case No. \_\_\_\_\_ Date Received/Paid: \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Comprehensive Plan land use designation \_\_\_\_\_

**APPLICANT/AGENT INFORMATION**

**OWNER INFORMATION**

NAME: Herring Surveying Company                      NAME: Robert Bieniecki  
MAILING ADDRESS: 315 N. 5th Street                      MAILING ADDRESS 300 W Washington Street  
CITY/ST/ZIP: Leavenworth, KS 66048                      CITY/ST/ZIP Tonganoxie KS 66086  
PHONE: 913-651-3858                      PHONE: N/A  
EMAIL : herringsurveying@outlook.com                      EMAIL N/A

**GENERAL INFORMATION**

Proposed Subdivision Name: OAKRIDGE ESTATES 2ND  
Address of Property: 00000 West Washington - Tonganoxie, KS  
Urban Growth Management Area: Tonganoxie

**SUBDIVISION INFORMATION**

Gross Acreage: 26 Acres	Number of Lots: 2	Minimum Lot Size: 3 Acres
Maximum Lot Size: 3 Acres	Proposed Zoning: PR-1	Density: N/A
Open Space Acreage: N/A	Water District: Tonganoxie	Proposed Sewage: Spetic
Fire District: Tonganoxie	Electric Provider: Evergy	Natural Gas Provider: Propane/Atmos
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Road Classification: Local - Collector - Arterial - State - Federal	

Is any part of the site designated as Floodplain?  Yes  No if yes, what is the panel number:

I, the undersigned, am the owner duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a final plat approval as indicated above.

Signature: Joe Herring - digitally signed 12/12/2022                      Date: 12-12-22

ATTACHMENT A



AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner

COUNTY OF LEAVENWORTH

STATE OF KANSAS

We/I Robert Bieniecki, and \_\_\_\_\_

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at - 0000 W. Washington St Topeka KS, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

1) Joseph A. Herring – Herring Surveying Company 315 N. 5<sup>th</sup> Street, Leavenworth, KS 66048, 913-651-3858

2)

Signed and entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Robert Bieniecki, 300 W. Washington St. Topeka KS 66096  
Print Name, Address, Telephone 913-680-8647

[Signature]

Signature

STATE OF KANSAS )

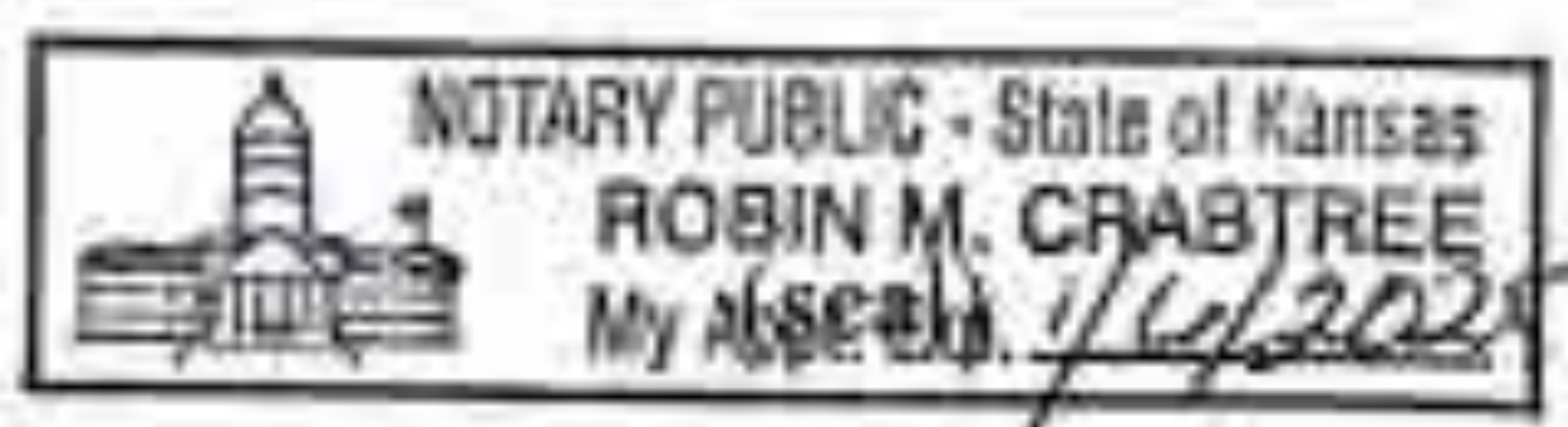
) SS

COUNTY OF LEAVENWORTH )

Be it remember that on this 21 day of September 2020 before me, a notary public in and for said County and State came Robert Bieniecki to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal ~~the~~ day and year above written.

NOTARY PUBLIC [Signature]

My Commission Expires: 1/6/2025





AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner  
COUNTY OF LEAVENWORTH  
STATE OF KANSAS

We/I Deborah Bieniecki and \_\_\_\_\_

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at -  
0000 W. Washington St, Tonganoxie KS, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

1) Joseph A. Herring – Herring Surveying Company 315 N. 5<sup>th</sup> Street, Leavenworth, KS 66048, 913-651-3858

2)

Signed and entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Deborah Bieniecki 300 W. Washington St, Tonganoxie KS 66096  
Print Name, Address, Telephone 913-680-8521

Deborah Bieniecki

Signature

STATE OF KANSAS )

) SS

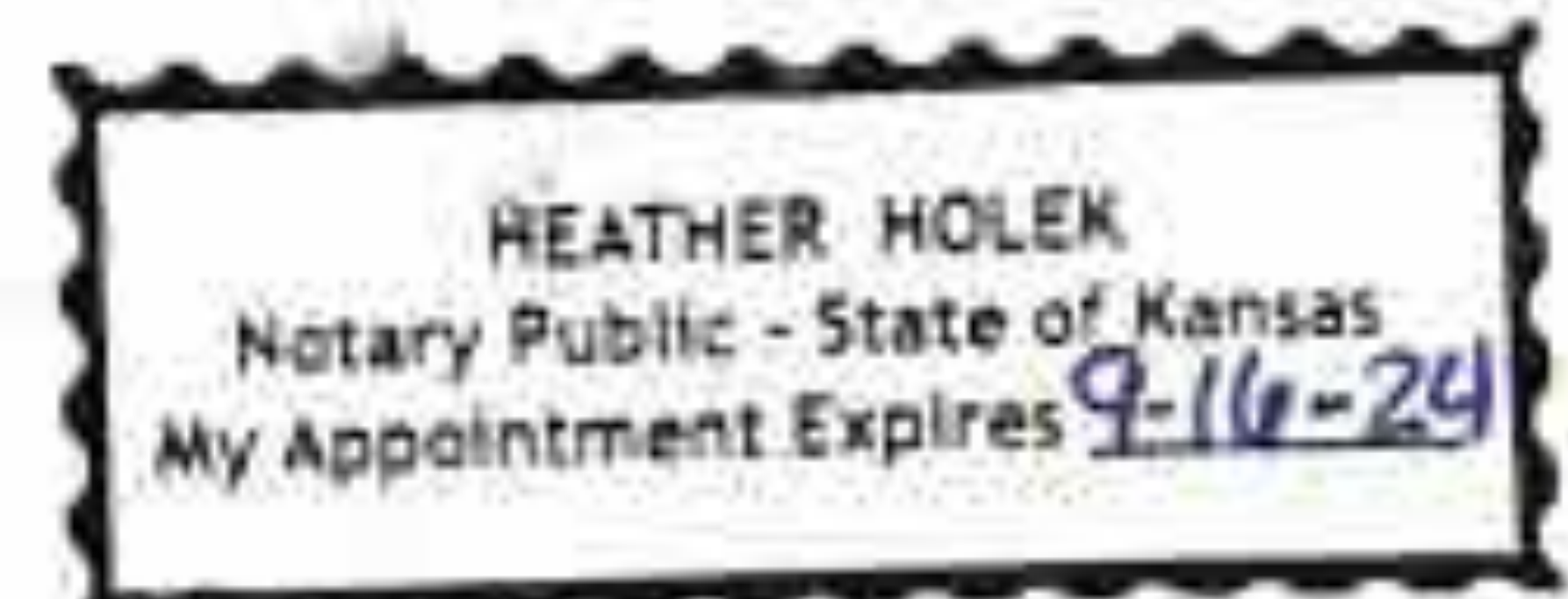
COUNTY OF LEAVENWORTH )

Be it remember that on this 23 day of September 2022 before me, a notary public in and for said County and State came Leavenworth, KS to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC Heather Holek

My Commission Expires: 9-16-24

(seal)



Heather Holek



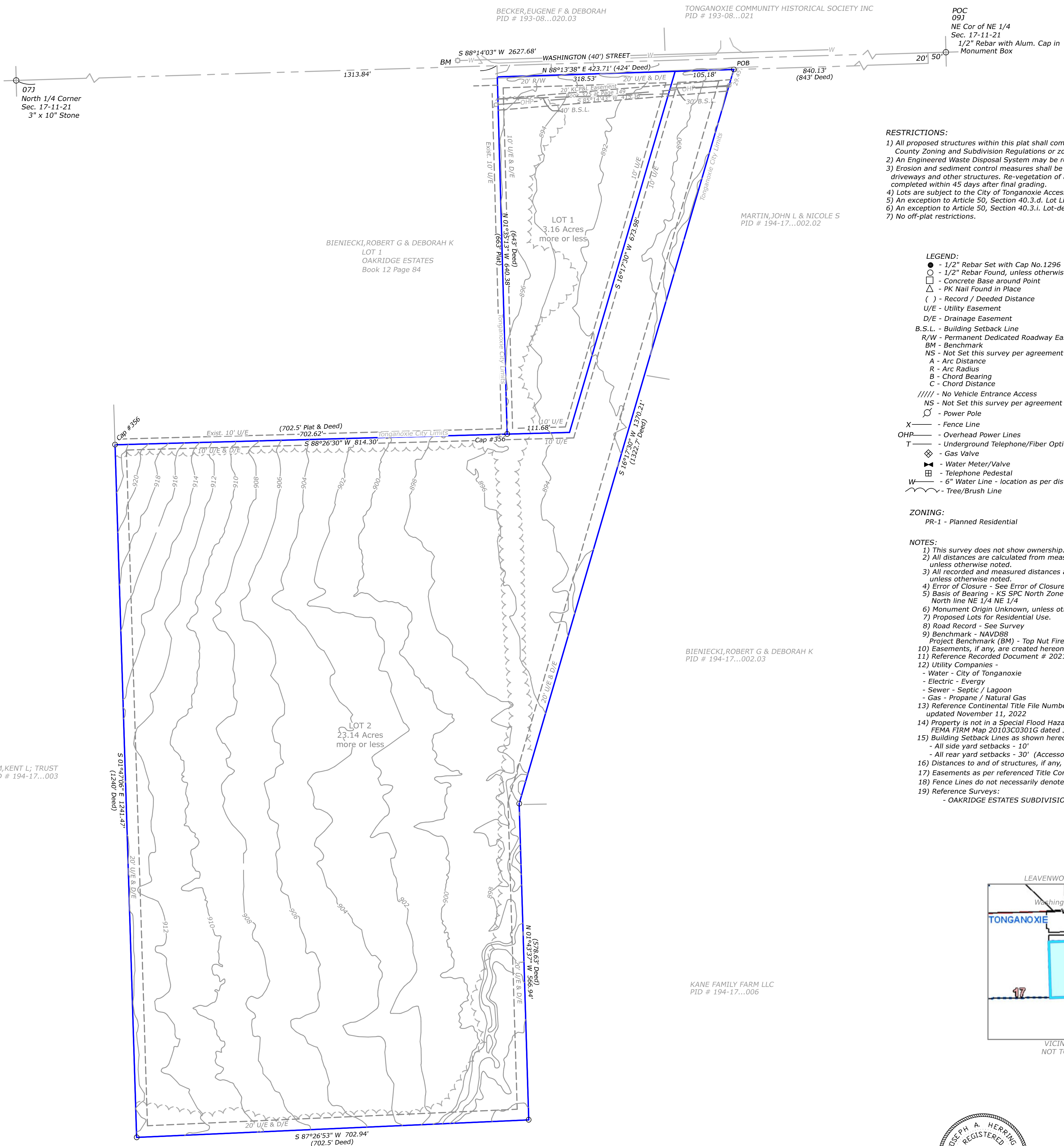
# OAKRIDGE ESTATES 2ND PLAT

A Minor Subdivision in the Northeast Quarter of Section 17, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## PRELIMINARY PLAT

PREPARED FOR:  
BIENIECKI, ROBERT G & DEBORAH K  
300 W WASHINGTON  
TONGANOXIE, KS 66086  
PID # 194-17-0-00-002

RECORD DESCRIPTION:  
Tract No. 2 per Title Commitment:  
A tract of land located in the Northeast Quarter (NE 1/4) of Section 17, Township 11 South, Range 21 East of the 6th P.M., described as follows: Beginning 50 feet West of the NE corner, thence South 20 feet, thence West 843 feet, thence Southwesterly 1322.7 feet, thence South 578.63 feet, thence West 702.5 feet, thence North 1240 feet, thence East 702.5 feet, thence North 643 feet, thence East 424 feet to point of beginning in Leavenworth County, Kansas.  
Record Description does not mathematically close.

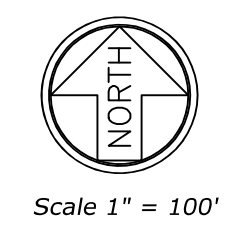
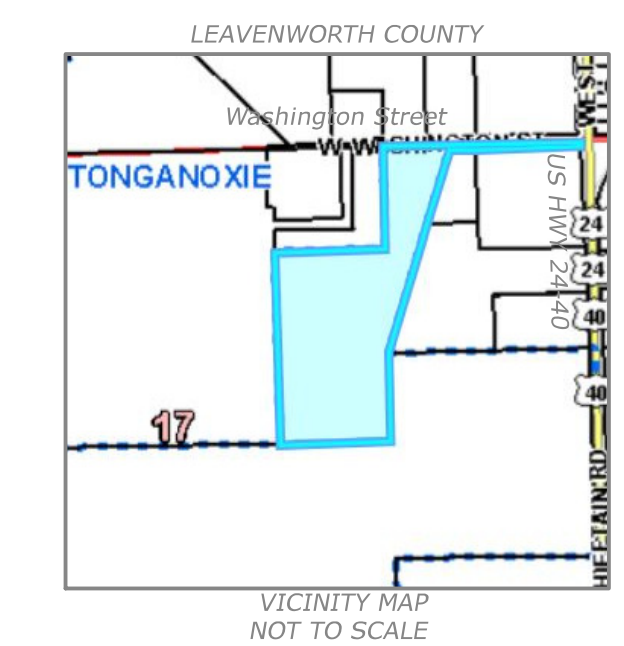


- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) Lots are subject to the City of Tonganoxie Access Management Policy
  - 5) An exception to Article 50, Section 40.3.d. Lot Lines has been granted for the internal Lot Lines 1 & 2.
  - 6) An exception to Article 50, Section 40.3.i. Lot-depth to lot-width requirement for Lot 2.
  - 7) No off-plat restrictions.

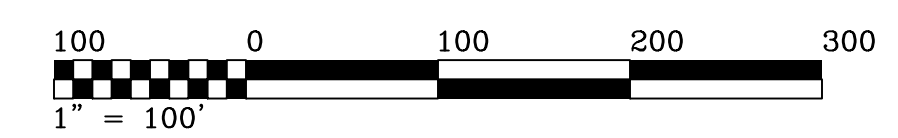
- LEGEND:**
- - 1/2" Rebar Set with Cap No.1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Permanent Dedicated Roadway Easement
  - BM - Benchmark
  - NS - Not Set this survey per agreement with client
  - A - Arc Distance
  - R - Arc Radius
  - B - Chord Bearing
  - C - Chord Distance
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client
  - ⊙ - Power Pole
  - X - Fence Line
  - OHP - Overhead Power Lines
  - T - Underground Telephone/Fiber Optic Line
  - ⊕ - Gas Valve
  - ⊕ - Water Meter/Valve
  - ⊕ - Telephone Pedestal
  - W - 6" Water Line - location as per district
  - ~ - Tree/Brush Line

**ZONING:**  
PR-1 - Planned Residential

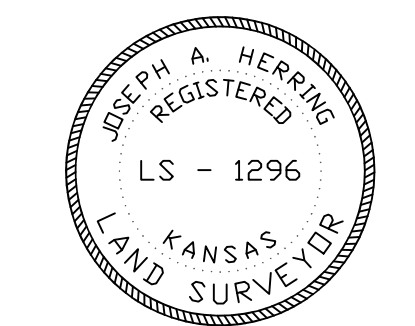
- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - See Error of Closure Calculations
  - 5) Basis of Bearing - KS SPC North Zone 1501 North line NE 1/4 NE 1/4
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Proposed Lots for Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88 Project Benchmark (BM) - Top Nut Fire Hydrant - Elev. 901'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.
  - 11) Reference Recorded Document # 2021R12060
  - 12) Utility Companies -  
- Water - City of Tonganoxie  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - 13) Reference Continental Title File Number 22443869 updated November 11, 2022
  - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0301G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
- All side yard setbacks - 10'  
- All rear yard setbacks - 30' (Accessory - 15')
  - 16) Distances to and of structures, if any, are +- 1'.
  - 17) Easements as per referenced Title Commitment are shown hereon, if any.
  - 18) Fence Lines do not necessarily denote the boundary line for the property.
  - 19) Reference Surveys:  
- OAKRIDGE ESTATES SUBDIVISION Bk. 12 Page 84



Job # K-22-1639  
December 3, 2022 Rev. 1/22/23  
J. HERRING, INC. (dba)  
SURVEYING & COMPANY  
315 North 5th Street, Leav., KS 66048  
Ph. 913.651.3858 Fax 913.674.5361  
Email - survey@jeamcsh.com



KANE FAMILY FARM LLC  
PID # 194-17-...006



I hereby certify that this survey was made by me, or under my direct supervision, on the ground between October through December 2022 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296



# OAKRIDGE ESTATES 2ND PLAT

A Minor Subdivision in the Northeast Quarter of Section 17, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
BIENIECKI, ROBERT G & DEBORAH K  
300 W WASHINGTON  
TONGANOXIE, KS 66086  
PID # 194-17-0-00-002

RECORD DESCRIPTION:  
Tract No. 2 per Warranty Deed Book 749 Page 190  
A tract of land located in the Northeast Quarter (NE 1/4) of Section 17, Township 11 South, Range 21 East of the 6th P.M., described as follows: Beginning 50 feet West of the NE corner, thence South 20 feet, thence West 843 feet, thence Southwesterly 1322.7 feet, thence South 578.63 feet, thence West 702.5 feet, thence North 1240 feet, thence East 702.5 feet, thence North 643 feet, thence East 424 feet to point of beginning in Leavenworth County, Kansas.  
Record Description does not mathematically close.

CERTIFICATION AND DEDICATION  
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: OAKRIDGE ESTATES 2ND PLAT.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,  
We, the undersigned owners of OAKRIDGE ESTATES 2ND PLAT, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Robert G. Bieniecki Deborah K. Bieniecki

NOTARY CERTIFICATE:  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2023, before me, a notary public in and for said County and State came Robert G. Bieniecki and Deborah K. Bieniecki, a married couple, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_ (seal)

APPROVALS  
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of OAKRIDGE ESTATES 2ND PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Secretary Amy Allison Chairman Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

COUNTY COMMISSION APPROVAL:  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of OAKRIDGE ESTATES 2ND PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

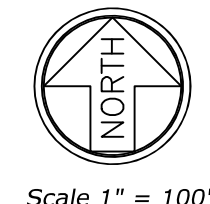
Chairman Vicki Kaaz County Clerk Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn

I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor

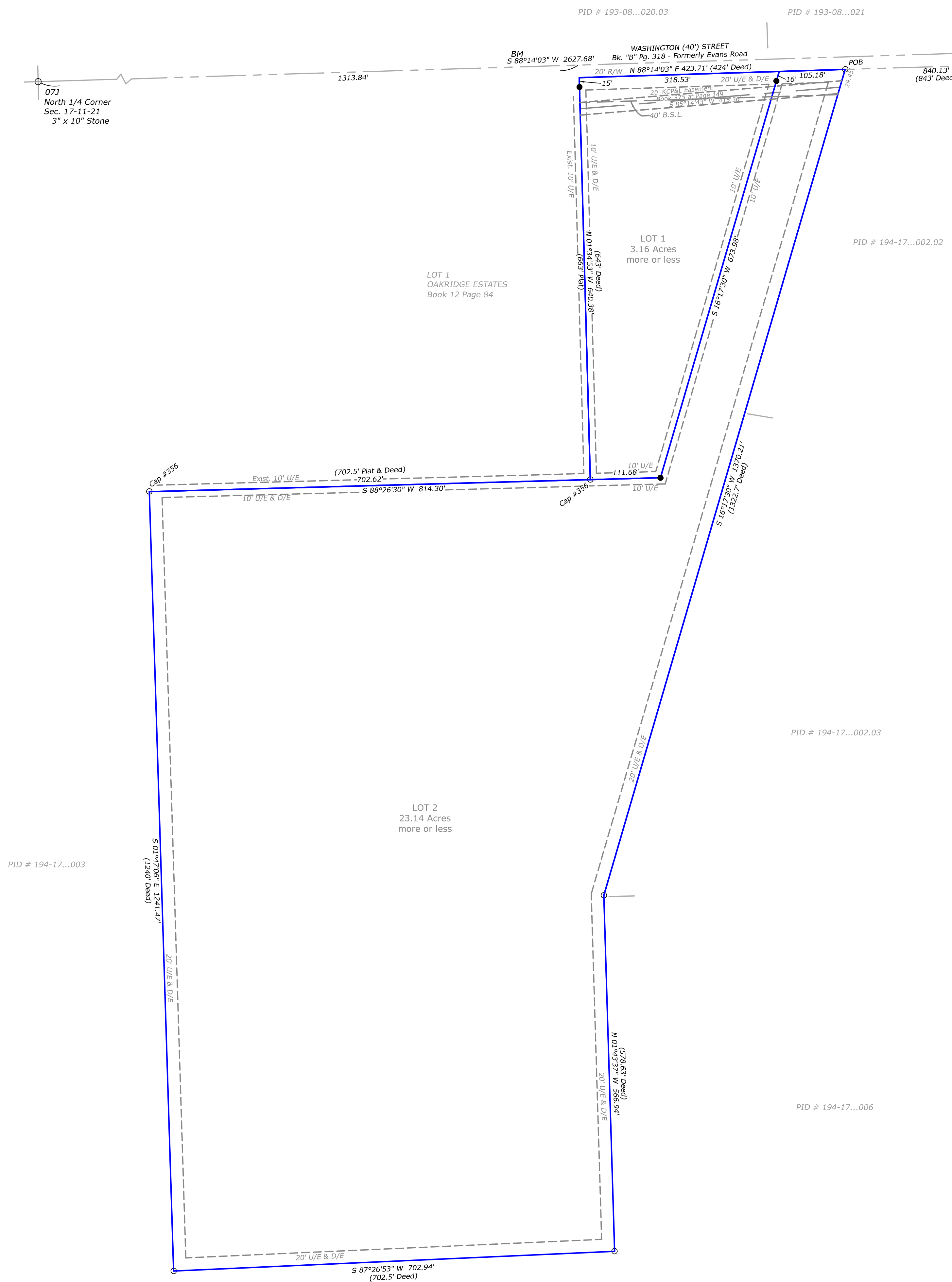
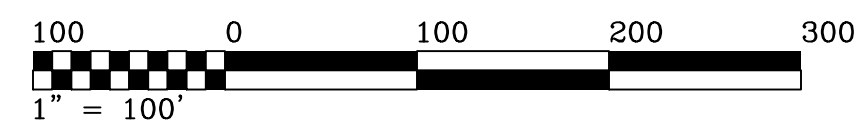


Scale 1" = 100'

Job # K-22-1639  
December 3, 2022 Rev. 1-24-23



315 North 5th Street, Leav., KS 66048  
Ph. 913.651.3858 Fax 913.674.5361  
Email - survey@herringcash.com

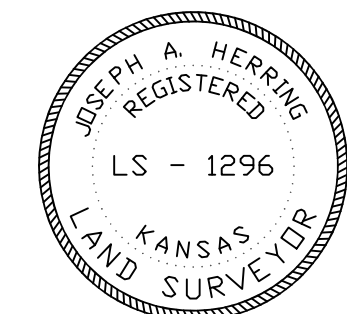
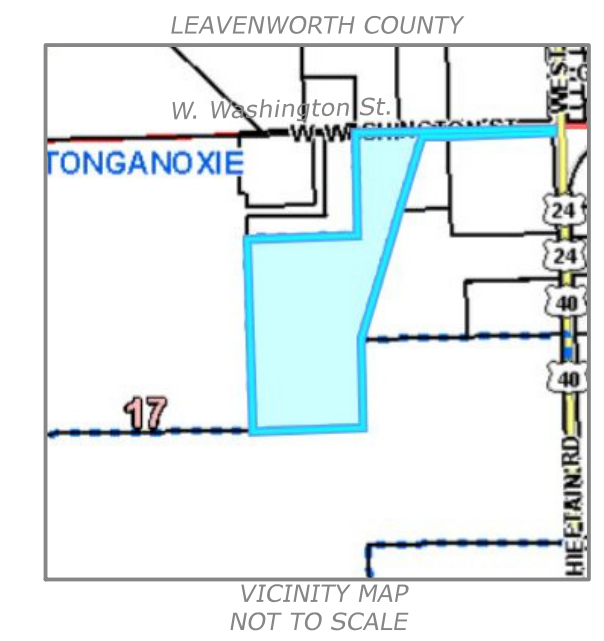


- RESTRICTIONS:
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
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  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) Lots are subject to the current City of Tonganoxie Access Management Policy
  - 5) An exception to Article 50, Section 40.3.d. Lot Lines have been granted for internal Lot Lines 1 & 2.
  - 6) An exception to Article 50, Section 40.3.i. Lot-depth to Lot-width requirement for Lot 2.
  - 7) No off-plat restrictions.

- LEGEND:
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  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Permanent Dedicated Roadway Easement
  - BM - Benchmark
  - NS - Not Set this survey per agreement with client
  - A - Arc Distance
  - R - Arc Radius
  - B - Chord Bearing
  - C - Chord Distance
  - ////// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client

ZONING:  
PR-1 - Planned Residential

- NOTES:
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - 1 : 1276792, 26.3 Acres, more or less
  - 5) Basis of Bearing - KS SPC North Zone 1501 North line NE 1/4 NE 1/4
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Proposed Lots for Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88 Project Benchmark (BM) - Top Nut Fire Hydrant - Elev. 901'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.
  - 11) Reference Recorded Document # 2021R12060
  - 12) Utility Companies -  
- Water - City of Tonganoxie  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - 13) Reference Continental Title File Number 22443869 updated November 11, 2022
  - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0301G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
- All side yard setbacks - 10'  
- All rear yard setbacks - 30' (Accessory - 15')
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  - 19) Reference Surveys:  
- OAKRIDGE ESTATES SUBDIVISION Bk. 12 Page 84

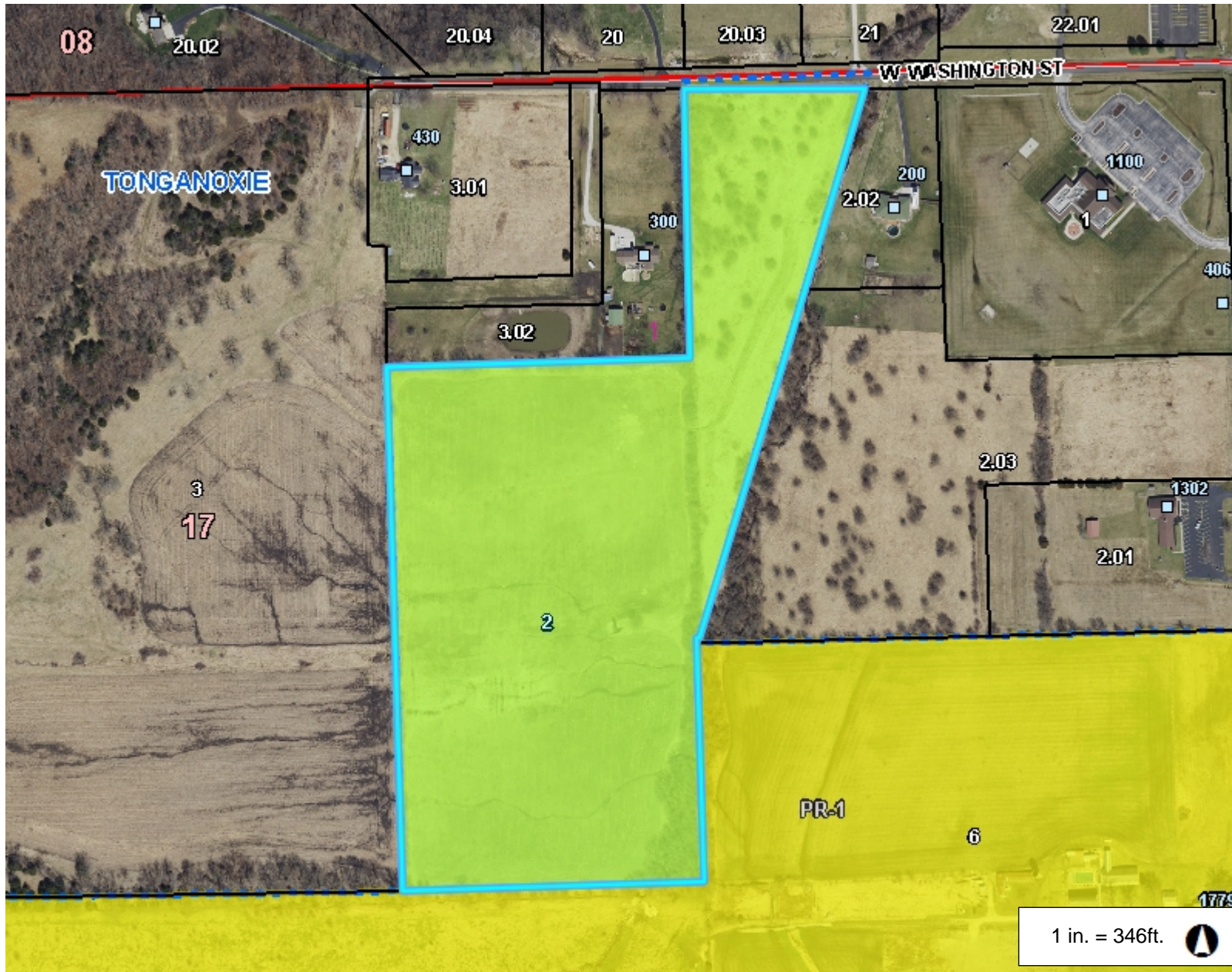


I hereby certify that this survey was made by me, or under my direct supervision, on the ground between October through December 2022 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296



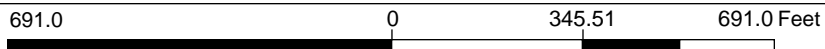
# DEV-22-167/168 Oakridge Estates 2nd



### Legend

- Address Point
- Parcel Number
- Lot Line
- Parcel
- ⋮ City Limit Line
- Major Road
- <all other values>
- 70
- Road
- + Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
- B-1
- B-2
- B-3
- I-1
- I-2
- I-3
- MXD
- PC
- PI
- PR-1
- PR-2
- PR-3

1 in. = 346ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes



## Allison, Amy

---

**From:** Ross Harris <Ross.Harris@evergy.com>  
**Sent:** Thursday, December 15, 2022 1:18 PM  
**To:** Allison, Amy  
**Cc:** Boone Heston  
**Subject:** FW: DEV-22-167 Preliminary and Final Plat – Oakridge Estates 2nd Plat  
**Attachments:** OAKRIDGE 2ND LVCOUNTY PRELIM FINAL PLAT HERRING.pdf; OAKRIDGE ESTATES 2ND Final Review.pdf; OAKRIDGE ESTATES 2ND Prelim Review.pdf

Internal Use Only

Amy,

Everything looked good to me.

Thanks

-Ross Harris  
Evergy

---

**From:** Allison, Amy <AAllison@leavenworthcounty.gov>  
**Sent:** Thursday, December 15, 2022 12:26 PM  
**To:** Design Group Lawrence Service Center <designgrouplawrenceservicecenter@evergy.com>; Magaha, Chuck <cmagaha@lvsheriff.org>; Miller, Jamie <JMiller@leavenworthcounty.gov>; Patzwald, Joshua <jpatzwald@lvsheriff.org>; Van Parys, David <DVanParys@leavenworthcounty.gov>; 'chief1860@ttrfd.com' <chief1860@ttrfd.com>; 'George Brajkovic' <gbrajkovic@tonganoxie.org>; Lindsay Huntington <lhuntington@tonganoxie.org>; 'dporter@tonganoxie.org' <dporter@tonganoxie.org>  
**Cc:** PZ <PZ@leavenworthcounty.gov>  
**Subject:** RE: DEV-22-167 Preliminary and Final Plat – Oakridge Estates 2nd Plat

**\*\*WARNING:** This email originated from an external source outside of Evergy. Think before you click on links or attachments!\*\*

---

Good Afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary and Final Plat for a 2-lot subdivision at 00000 W Washington St, Tonganoxie, KS (PID: 194-17-0-00-00-002.00).

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by Friday, December 23, 2022.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [Aallison@LeavenworthCounty.org](mailto:Aallison@LeavenworthCounty.org).

Thank you,  
Amy Allison, AICP

**12-17-2022**  
**OLSSON REVIEW**  
**NO COMMENT**

Oakridge Estates

Leavenworth County Kansas

Drainage Report

December 12, 2022



**Parcel Information** - The 26.33-acre (+/-) parcel is located on the south side of Washington Street west of Highway 24-40 in Leavenworth County KS. The property is zoned PR-1.

**Existing Conditions** – The parcel is used as hay ground/pasture. There is no floodplain on the property.

**Storm Water Runoff**

The drainage calculations include 10,000 sq ft of impervious area for each building lot. This impervious area is for the driveway, house, outbuildings, and any other impervious area that may be added to each lot. Calculations are only prepared for drainage areas where impervious area is assumed to be added. It is assumed that no change use in land use will occur in drainage areas that are not included in this report.

**Drainage Area #1** – It is assumed that two homesites will be constructed in this drainage area. It is assumed that the remainder of the lots will be maintained as a grass lawn.

A composite c value was calculated for the drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and land use, see Exhibits #1, #2, and #3.

	c value	Acres in each Drainage Area			
		Existing	Developed		
Wooded	0.30	0.00	0.00		
Pasture	0.30	26.33	0.00		
Crops	0.50	0.00	0.00		
Gravel Drive	0.60	0.00	0.00		
Impervious	0.90	0.00	0.46		
Grass	0.20	0.00	25.87		
Composite c		0.30	0.21		

$$\text{composite c} = \frac{(\text{Wooded Acres} * \text{c value} + \text{Pasture Acres} * \text{c value} + \text{Crops Acres} * \text{c value} + \text{Gravel Acres} * \text{c value} + \text{Impervious Acres} * \text{c value} + \text{Grass Acres} * \text{c value})}{\text{Total Acres}}$$



The storm water runoff for existing and developed conditions is summarized in the following table. Calculations for the storm water runoff are included with the report.

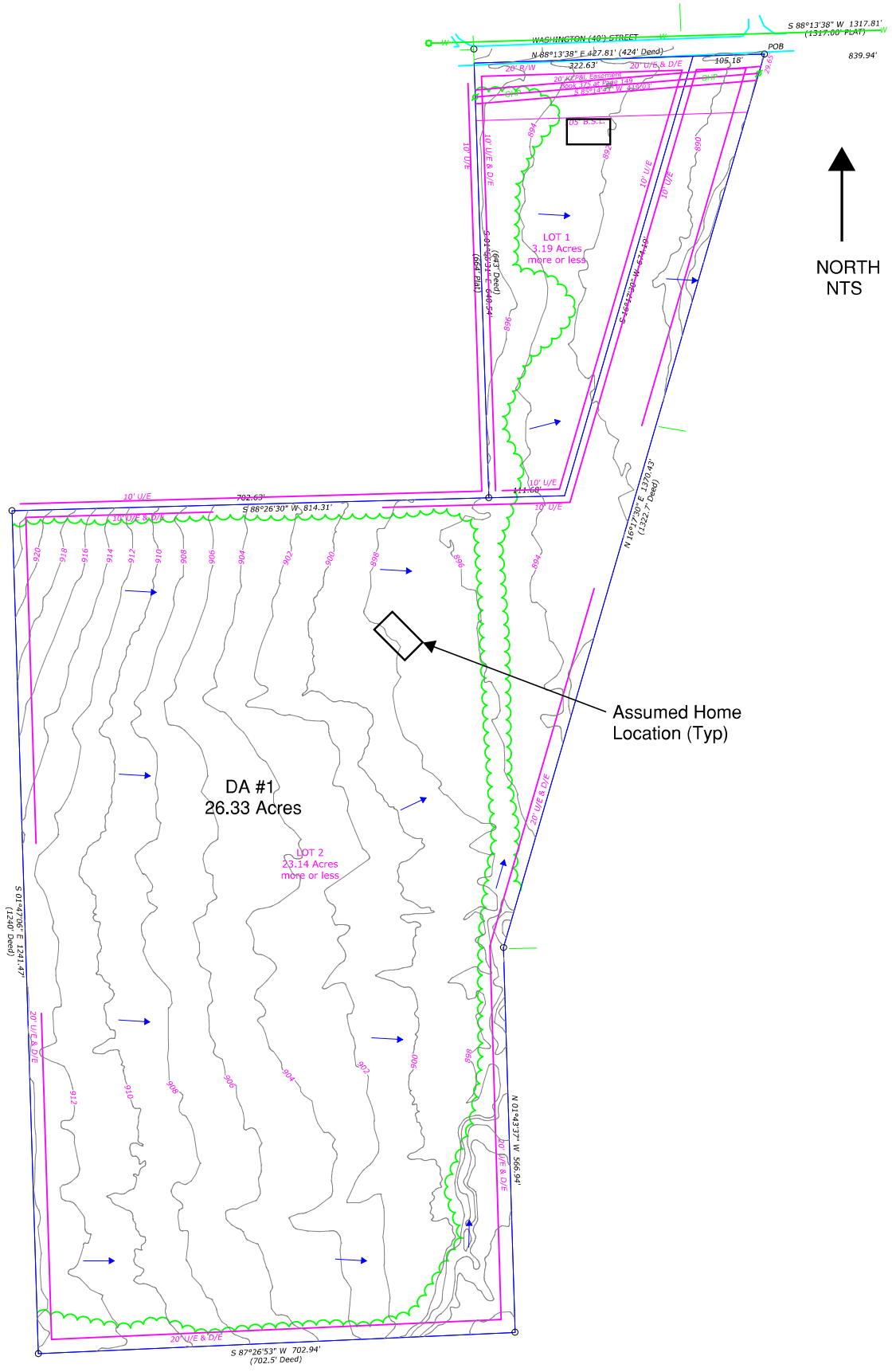
<b>DA #1</b>		
	<b>Q10 cfs</b>	<b>Q100 cfs</b>
<b>Existing</b>	36.15	65.28
<b>Developed</b>	24.49	44.35
<b>Change</b>	-32.3%	-32.1%

**Conclusion** – The change in land use for this parcel of ground results in a decrease in the storm water runoff from the affected drainage area on the site.

# OAKRIDGE ESTATES 2ND PLAT

A Minor Subdivision in the Northeast Quarter of Section 17, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

PREPARED FOR:  
BENJAMIN B. GIBSON & COMPANY, P.C.  
SURVEYORS  
TOPEKA, KS 66608  
FOR # 17-01-00-000



95° 6' 6" W

95° 5' 42" W

39° 6' 10" N

39° 6' 10" N



Soil Map may not be valid at this scale.

39° 5' 45" N

39° 5' 45" N

95° 6' 6" W

95° 5' 42" W










































Map Scale: 1:3,630 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84



## MAP LEGEND

	Area of Interest (AOI)		C
	Area of Interest (AOI)		C/D
	<b>Soils</b>		D
	<b>Soil Rating Polygons</b>		Not rated or not available
	A/D		<b>Water Features</b>
	B		Streams and Canals
	B/D		<b>Transportation</b>
	C		Rails
	C/D		Interstate Highways
	D		US Routes
	Not rated or not available		Major Roads
			Local Roads
	<b>Soil Rating Lines</b>		<b>Background</b>
	A		Aerial Photography
	A/D		
	B		
	B/D		
	C		
	C/D		
	D		
	Not rated or not available		
	<b>Soil Rating Points</b>		
	A		
	A/D		
	B		
	B/D		

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Leavenworth County, Kansas  
 Survey Area Data: Version 17, Sep 12, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 16, 2019—Sep 23, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating
7234	Elmont silt loam, 3 to 7 percent slopes, eroded	C
7301	Martin silty clay loam, 1 to 3 percent slopes	C/D
7303	Martin silty clay loam, 3 to 7 percent slopes, eroded	C/D
7305	Martin silty clay loam, 7 to 12 percent slopes, eroded	C/D
<b>Totals for Area of Interest</b>		

## Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Higher

TABLE 1 Values of Runoff Coefficient C

URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course  
[https://www.nrcs.usda.gov/Internet/FSE\\_DOCUMENTS/stelprdb1083019.pdf](https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf)

# Exhibit #3

### Drainage Area #1- 10 year

Existing Conditions

Area = 26.33 acres  
C= 0.300  
L= 700  
S= 2.3  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 18.90$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.17$$

$$T_c = 20.06$$

$$i_{10} = 4.58$$

$$Q = KCiA$$

$$Q = 36.1 \text{ cfs}$$

Developed Conditions

Area = 26.33 acres  
C= 0.212  
L= 700  
S= 2.3  
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 20.97$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 1.17$$

$$T_c = 22.13$$

$$i_{10} = 4.38$$

$$Q = KCiA$$

$$Q = 24.5 \text{ cfs}$$



### Drainage Area #1 - 100 year

Existing Conditions

Area = 26.33 acres  
C= 0.30  
L= 700  
S= 2.3  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T<sub>c</sub> < 15

C= 0.30

$$T_i = 18.90$$

$$i_{100} = 331/(T_c + 30)$$

15 < T<sub>c</sub> < 60

L= 700

S= 2.3

$$T_t = 1.17$$

$$T_c = 20.06$$

$$i_{100} = 6.61$$

$$Q = KCiA$$

$$Q = 65.3 \text{ cfs}$$

Developed Conditions

Area = 26.33 acres  
C= 0.21  
L= 700  
S= 2.3  
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T<sub>c</sub> < 15

C= 0.21

$$T_i = 20.97$$

$$i_{100} = 331/(T_c + 30)$$

15 < T<sub>c</sub> < 60

L= 700

S= 2.3

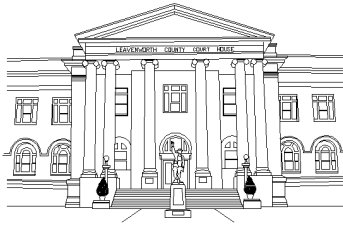
$$T_t = 1.17$$

$$T_c = 22.13$$

$$i_{100} = 6.35$$

$$Q = KCiA$$

$$Q = 44.3 \text{ cfs}$$



# Leavenworth County Planning and Zoning Preliminary and Final Plat

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DATE: 2022.12.15  
RE: DEV-22-167/168 Preliminary and Final Plat – Oakridge Estates 2<sup>nd</sup> Plat  
PID: 194-17-0-00-00-002.00  
To: Tonganoxie Water

The Department of Planning and Zoning has received a request for a Preliminary and Final Plat for a 2-lot subdivision at 00000 W Washington St. Tonganoxie, KS.

**Please address the following comments:**

- a. Does the water district have existing service lines in the vicinity of the proposed plat boundary to provide potable water to the lots of the subdivision? Yes, A water main is located along the north side of W. Washington.
- b. What is the size and location of the water line(s) and fire hydrants that are adjacent to this property? The water main is 8 inch PVC SDR 21. There is a fire hydrant 100 ft west of the west property boundary.
- c. Would the water district allow fire hydrants to be installed on the existing service line(s) in the area of the proposed plat boundary? Additional fire hydrants could be installed at the developers cost.
- d. Does the water district have plans to upgrade the service in this vicinity to such a level that fire hydrants can be installed in the foreseeable future, or within a set number of years? If so, what would the improvements consist of? No system upgrades in this area are planned.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by Friday, December 23, 2022.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [Aallison@leavenworthcounty.Gov](mailto:Aallison@leavenworthcounty.Gov).

Sincerely,

Amy Allison  
Deputy Director  
Planning and Zoning  
Leavenworth County

# OAKRIDGE ESTATES 2ND PLAT

A Minor Subdivision in the Northeast Quarter of Section 17, Township 11 South, Range 23 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
 BENECKE ROBERT G & DEBORAH K  
 507 S BRIDGEMONT  
 LEAVENWORTH, KS 66049  
 FOR # 194-17-002-02

RECORD DESCRIPTION:  
 Book No. 2 per Burrows Deed Book 748 Page 190  
 A tract of land located in the Northeast Quarter (NE 1/4) of Section 17, Township 11 South, Range 23 East of the 6th P.M., Leavenworth County, Kansas, containing 23.16 acres, more or less, being the Northeast 1/4 of Section 17, Township 11 South, Range 23 East of the 6th P.M., Leavenworth County, Kansas, as shown on the plat of Oakridge Estates 2nd Plat, recorded in Burrows Deed Book 748, Page 190, of the records of Leavenworth County, Kansas, and as shown on the plat of Oakridge Estates 1st Plat, recorded in Burrows Deed Book 748, Page 190, of the records of Leavenworth County, Kansas. Record description does not mathematically close.

CERTIFICATION AND DEDICATION  
 The undersigned preparators state that all taxes of the above described tract of land have been paid and that they have caused the same to be tabulated in the manner shown on the accompanying plat, which tabulation shall be known as OAKRIDGE ESTATES 2ND PLAT.

Assessments shown on this plat are hereby dedicated for public use, the rights of any which are shown with dashed lines on the accompanying plat, and said assessments may be employed to locate and maintain sewers, water lines, gas lines, police and fire and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on the plat are hereby dedicated for the purpose of constructing, using, maintaining and repairing a sewer, storm sewer, drainage ditch, or other drainage facility or utility connections, including service facilities, and appurtenant thereto, including the right to maintain, install and replace the drainage facility and any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be the best form of easements that insure the strength or integrity with the use and/or maintenance of sewer drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots abutting said Easements and Easements are dedicated. Leavenworth County shall have no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat are not heretofore dedicated for public use are hereby so dedicated.

Building lines or setback lines (B.S.L.) are hereby established or shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,  
 We, the undersigned preparators of OAKRIDGE ESTATES 2ND PLAT, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Robert G. Benecke Deborah K. Benecke

NOTARY CERTIFICATE:  
 I, a Notary Public in and for the State of Kansas, do hereby certify that on this \_\_\_\_\_ day of \_\_\_\_\_, 2022, before me, a Notary Public in and for said County and State of Kansas, Robert G. Benecke and Deborah K. Benecke, a married couple, in her personal capacity, presented the foregoing instrument of writing, and they acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

NOTARY PUBLIC:  
 My Commission Expires: \_\_\_\_\_ (date)

APPROVALS  
 We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of OAKRIDGE ESTATES 2ND PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Secretary Any Address Chairman Steven Heston

COUNTY ENGINEER'S APPROVAL:  
 The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer: Justin Fiske

COUNTY COMMISSION APPROVAL:  
 We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of OAKRIDGE ESTATES 2ND PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Chairman County Clerk Albert Janet Heston

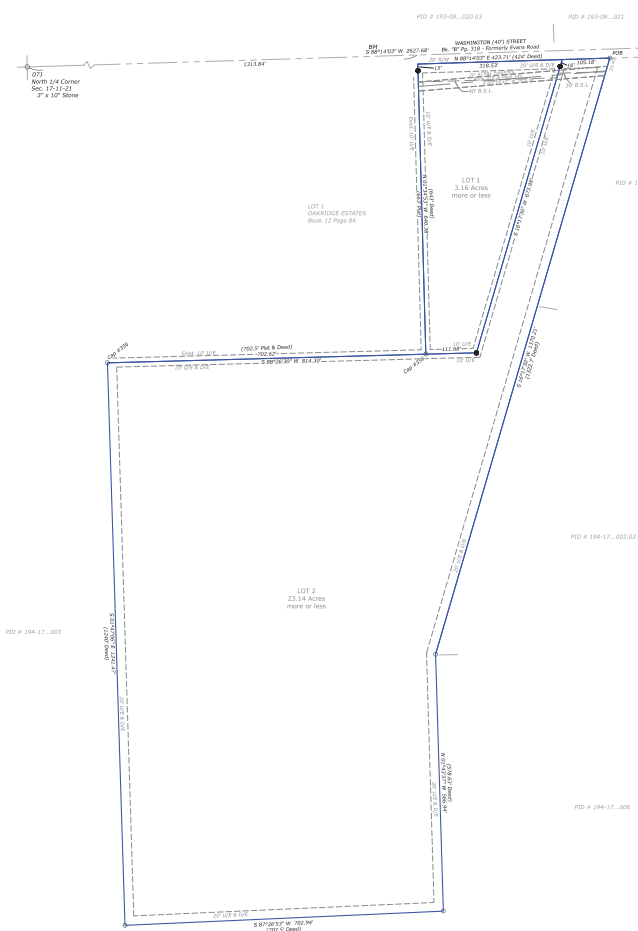
REGISTER OF DEED CERTIFICATE:  
 I have certified that this plat meets the requirements of K.S.A. 86-0305. The fee of this plat was received for recording with the Leavenworth County Register of Deeds. No fee verification is required. The amount of fee is as shown on the plat.

Reviewed 2023-01-23 No Comments  
 Debra Heston, Register of Deeds  
 County Surveyor

I hereby certify that this plat meets the requirements of K.S.A. 86-0305. The fee of this plat was received for recording with the Leavenworth County Register of Deeds. No fee verification is required. The amount of fee is as shown on the plat.

Reviewed 2023-01-23 No Comments  
 Debra Heston, Register of Deeds  
 County Surveyor

Scale 1" = 100'



- RESTRICTIONS:
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Riprap Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when clearing and constructing ditches and other structures. The vegetation of all disturbed areas shall be restored within 60 days after final grading.
  - 4) All lots are subject to the Leavenworth County Stormwater Management Policy.
  - 5) An exception to Article 50, Section 40, I.C.R. has been granted for certain Lot Lines 1 & 2.
  - 6) An exception to Article 50, Section 40, I.C.R. has been granted for certain Lot Lines 1 & 2.
  - 7) No off-pole restrictions.

- LEGEND:
- U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Right-of-Way Easement
  - BM - Benchmark
  - AW - Aerial Witness
  - A - Aerial Witness
  - C - Check Distance
  - NS - Not Set this survey per agreement with client

ZONING:  
 R-3 - Planned Residential

- NOTES:
- 1) This survey does not show easements.
  - 2) All distances are measured from measurements or measured this survey.
  - 3) All distances are measured from measurements or measured this survey.
  - 4) All distances are measured from measurements or measured this survey.
  - 5) Error of Closure = 1/20,792, 26.1 ACRES, more or less
  - 6) North the NE 1/4 NE 1/4
  - 7) Proposed Lots for Residential Use.
  - 8) Road Right-of-Way - See Survey
  - 9) Reference to Notes
  - 10) Project Benchmark (BM) - Top Air Flow System - Elevation 8011
  - 11) Easements, if any, are created herein or shown in referenced plat commission.
  - 12) Utility Commission:
    - Electric - Power
    - Water - Septic / Cesspool
    - Gas - Propane / Natural Gas
  - 13) Independent Contour Interval File Number 22443869
  - 14) Property is not in a Special Flood Hazard Area per FEMA Flood Insurance Study 1910-0116
  - 15) Building Setback Lines as shown herein or noted below
  - 16) All lots are subject to the Leavenworth County Stormwater Management Policy
  - 17) Distances to and of structures as shown.
  - 18) Distances to and of structures as shown.
  - 19) Reference to Notes
  - 20) Reference to Notes
  - 21) OAKRIDGE ESTATES SUBDIVISION No. 12 Page 04



I hereby certify that this survey was made by me, or under my direct supervision, on the ground between October through December 2022 and this map or plat is correct to the best of my knowledge.

Justin A. Fiske  
 Surveyor  
 No. 1296  
 Commission Expires 12/31/2023

Plat # 194-17-002

# Summary of Comments on OAKRIDGE ESTATES 2ND Final Copy 24x36LS

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Page: 1

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Number: 1 Author: dbaumchen Subject: Text Box Date: 1/23/2023 9:47:55 AM

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Reviewed 2023.01.23 No Comments



## Allison, Amy

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**From:** George Brajkovic <[gbrajkovic@tonganoxie.org](mailto:gbrajkovic@tonganoxie.org)>  
**Sent:** Tuesday, January 24, 2023 4:37 PM  
**To:** Allison, Amy  
**Cc:** Dan Porter; Lindsay Huntington  
**Subject:** RE: DEV-22-167/168 Oakridge Estates 2nd Review Comments  
**Attachments:** Sewer and Drain Regulations 10-8-2001 (2).pdf

**Notice:** This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Amy,

In the attached City Sewer and Drain regulations, please see the following:

- Article II. Infrastructure, Section 4: "... provided that said public sewer is within six hundred (600) feet of the property line." (requires connection)
- Article III. Alternate Systems, Section 4: "... No permit shall be issued for any private sewage disposal system employing sub-surface soil absorption facilities where the area of the lots is less than 130,000 square feet."

There is not an existing public sanitary sewer line within 600' of this property, and the site is proposed to be 3.16 acres, or approximately 137,650 sqft, which exceeds the minimum requirement for alternate systems. Therefore, the sanitary sewer can be waived.

Thank you,  
George

---

**From:** Allison, Amy <[AAllison@leavenworthcounty.gov](mailto:AAllison@leavenworthcounty.gov)>  
**Sent:** Tuesday, January 24, 2023 4:19 PM  
**To:** George Brajkovic <[gbrajkovic@tonganoxie.org](mailto:gbrajkovic@tonganoxie.org)>  
**Cc:** Dan Porter <[dporter@tonganoxie.org](mailto:dporter@tonganoxie.org)>; Lindsay Huntington <[lhuntington@tonganoxie.org](mailto:lhuntington@tonganoxie.org)>  
**Subject:** RE: DEV-22-167/168 Oakridge Estates 2nd Review Comments

It is scheduled to go on the February 8, 2023 LVCO Planning Commission meeting. We will need to know if they sanitary sewer can be waived.

Amy

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**From:** George Brajkovic <[gbrajkovic@tonganoxie.org](mailto:gbrajkovic@tonganoxie.org)>  
**Sent:** Tuesday, January 24, 2023 4:08 PM  
**To:** Allison, Amy <[AAllison@leavenworthcounty.gov](mailto:AAllison@leavenworthcounty.gov)>  
**Cc:** Dan Porter <[dporter@tonganoxie.org](mailto:dporter@tonganoxie.org)>; Lindsay Huntington <[lhuntington@tonganoxie.org](mailto:lhuntington@tonganoxie.org)>  
**Subject:** RE: DEV-22-167/168 Oakridge Estates 2nd Review Comments

**Notice:** This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

I've asked the City Planner to weigh in on the need to go before City PC. When do you need to know by?

# OAKRIDGE ESTATES 2ND PLAT

A Minor Subdivision in the Northeast Quarter of Section 17, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
BIENIECKI, ROBERT G & DEBORAH K  
300 W WASHINGTON  
TONGANOXIE, KS 66086  
PID # 194-17-0-00-002

RECORD DESCRIPTION:  
Tract No. 2 per Warranty Deed Book 749 Page 190  
A tract of land located in the Northeast Quarter (NE 1/4) of Section 17, Township 11 South, Range 21 East of the 6th P.M., described as follows: Beginning 50 feet West of the NE corner, thence South 20 feet, thence West 843 feet, thence Southwesterly 1322.7 feet, thence South 578.63 feet, thence West 702.5 feet, thence North 1240 feet, thence East 702.5 feet, thence North 643 feet, thence East 424 feet to point of beginning in Leavenworth County, Kansas.  
Record Description does not mathematically close.

CERTIFICATION AND DEDICATION  
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: OAKRIDGE ESTATES 2ND PLAT.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,  
We, the undersigned owners of OAKRIDGE ESTATES 2ND PLAT, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Robert G. Bieniecki Deborah K. Bieniecki

NOTARY CERTIFICATE:  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2023, before me, a notary public in and for said County and State came Robert G. Bieniecki and Deborah K. Bieniecki, a married couple, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_ (seal)

APPROVALS  
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of OAKRIDGE ESTATES 2ND PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Secretary Amy Allison Chairman Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

COUNTY COMMISSION APPROVAL:  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of OAKRIDGE ESTATES 2ND PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Chairman Vicki Kaaz County Clerk Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn

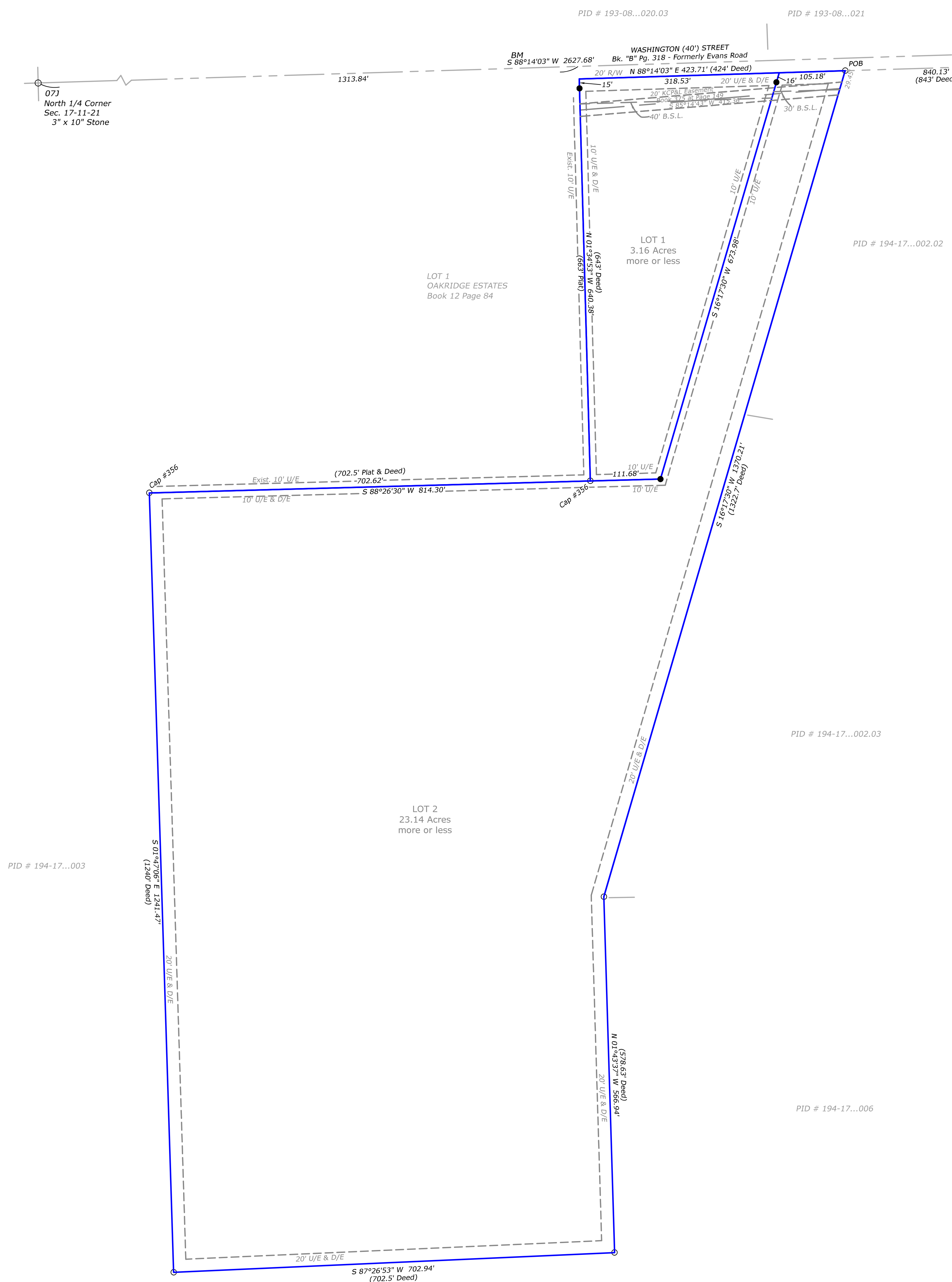
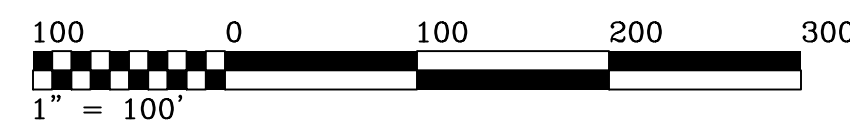
I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor



Scale 1" = 100'

Job # K-22-1639  
December 3, 2022 Rev. 1-22-23

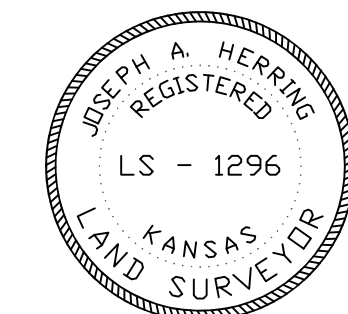
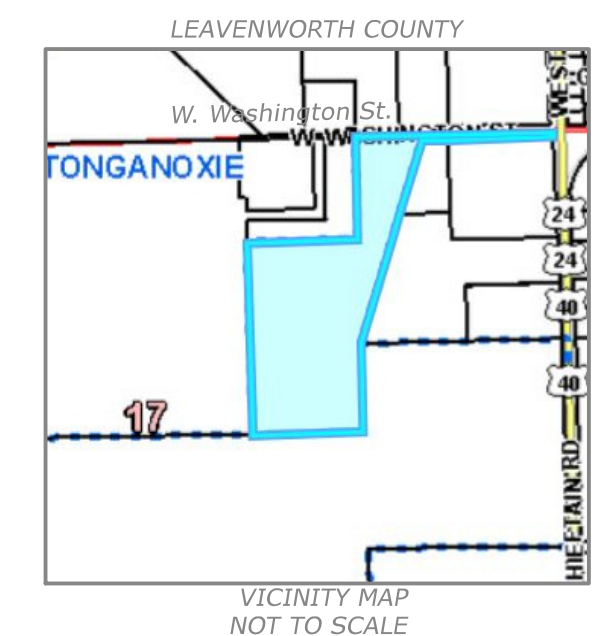


- RESTRICTIONS:
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) Lots are subject to the current City of Tonganoxie Access Management Policy
  - 5) An exception to Article 50, Section 40.3.d. Lot Lines have been granted for internal Lot Lines 1 & 2.
  - 6) An exception to Article 50, Section 40.3.i. Lot-depth to Lot-width requirement for Lot 2.
  - 7) No off-plat restrictions.

- LEGEND:
- - 1/2" Rebar Set with Cap No.1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Permanent Dedicated Roadway Easement
  - BM - Benchmark
  - NS - Not Set this survey per agreement with client
  - A - Arc Distance
  - R - Arc Radius
  - B - Chord Bearing
  - C - Chord Distance
  - ////// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client

ZONING:  
PR-1 - Planned Residential

- NOTES:
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - 1 : 1276792, 26.3 Acres, more or less
  - 5) Basis of Bearing - KS SPC North Zone 1501 North line NE 1/4 NE 1/4
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Proposed Lots for Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88 Project Benchmark (BM) - Top Nut Fire Hydrant - Elev. 901'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.
  - 11) Reference Recorded Document # 2021R12060
  - 12) Utility Companies -  
- Water - City of Tonganoxie  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - 13) Reference Continental Title File Number 22443869 updated November 11, 2022
  - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0301G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
- All side yard setbacks - 10'  
- All rear yard setbacks - 30' (Accessory - 15')
  - 16) Distances to and of structures, if any, are +- 1'.
  - 17) Easements as per referenced Title Commitment are shown hereon, if any.
  - 18) Fence Lines do not necessarily denote the boundary line for the property.
  - 19) Reference Surveys:  
- OAKRIDGE ESTATES SUBDIVISION Bk. 12 Page 84



I hereby certify that this survey was made by me, or under my direct supervision, on the ground between October through December 2022 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

01-24-2023  
OLSSON REVIEW  
No Further  
Comment



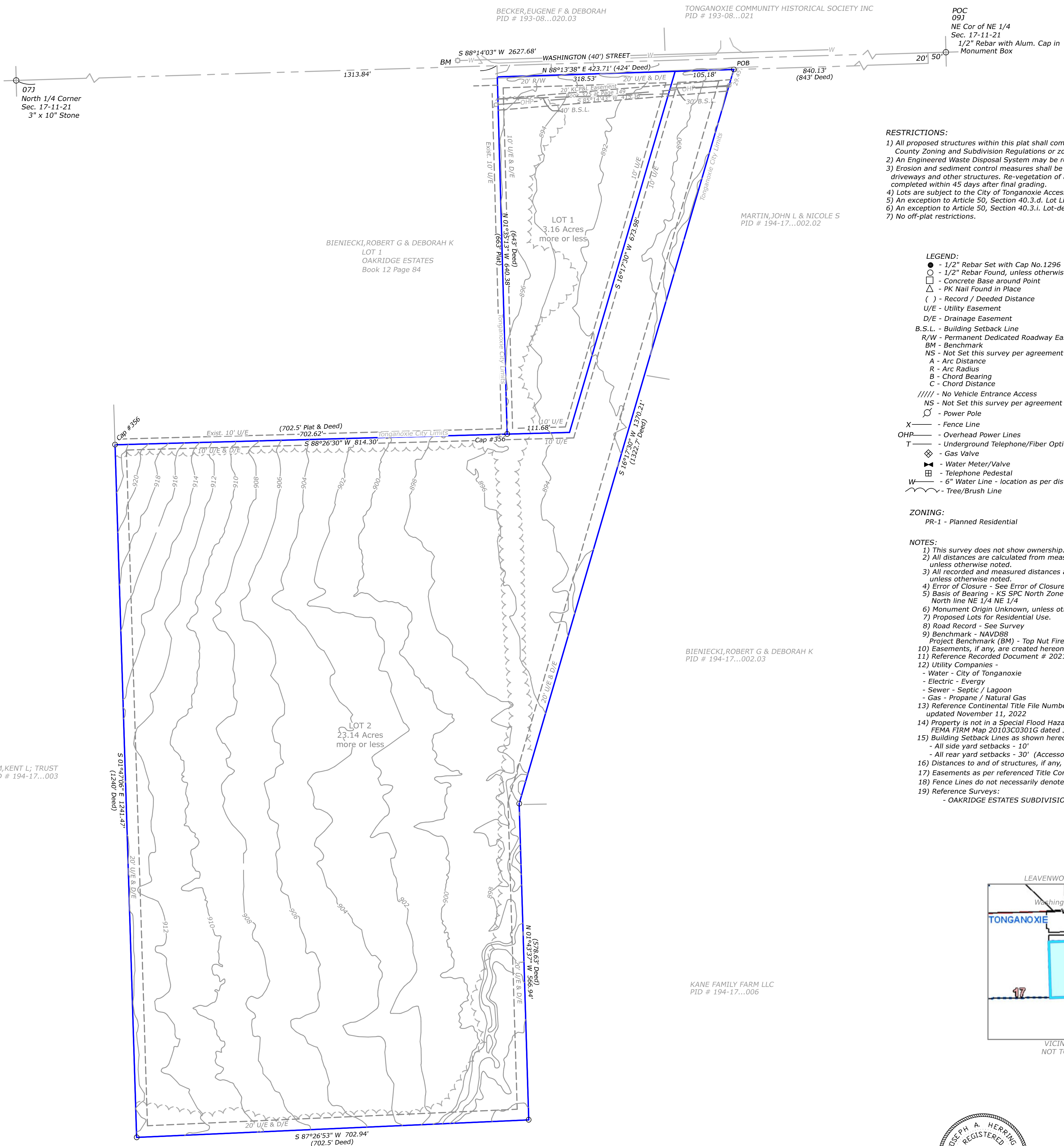
# OAKRIDGE ESTATES 2ND PLAT

A Minor Subdivision in the Northeast Quarter of Section 17, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## PRELIMINARY PLAT

PREPARED FOR:  
BIENIECKI, ROBERT G & DEBORAH K  
300 W WASHINGTON  
TONGANOXIE, KS 66086  
PID # 194-17-0-00-002

RECORD DESCRIPTION:  
Tract No. 2 per Title Commitment:  
A tract of land located in the Northeast Quarter (NE 1/4) of Section 17, Township 11 South, Range 21 East of the 6th P.M., described as follows: Beginning 50 feet West of the NE corner, thence South 20 feet, thence West 843 feet, thence Southwesterly 1322.7 feet, thence South 578.63 feet, thence West 702.5 feet, thence North 1240 feet, thence East 702.5 feet, thence North 643 feet, thence East 424 feet to point of beginning in Leavenworth County, Kansas.  
Record Description does not mathematically close.



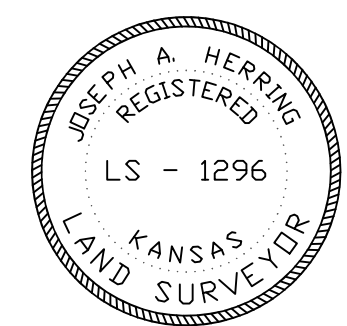
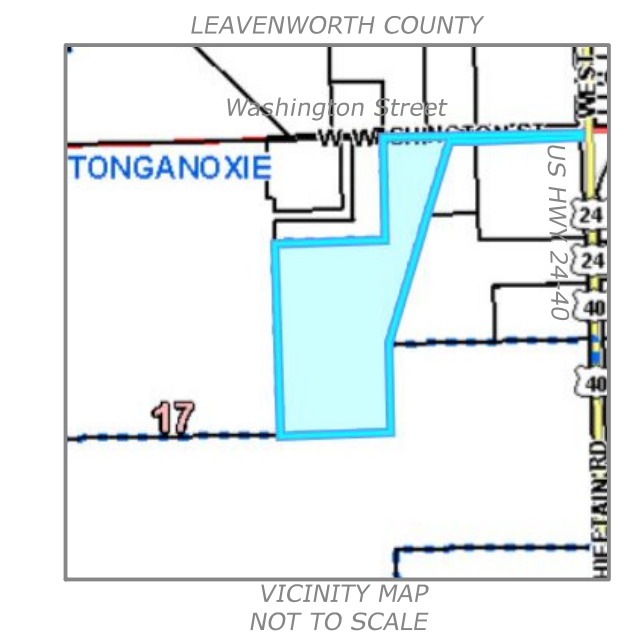
**01-24-2023**  
**OLSON REVIEW**  
**No Further**  
**Comment**

- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) Lots are subject to the City of Tonganoxie Access Management Policy
  - 5) An exception to Article 50, Section 40.3.d. Lot Lines has been granted for the internal Lot Lines 1 & 2.
  - 6) An exception to Article 50, Section 40.3.i. Lot-depth to lot-width requirement for Lot 2.
  - 7) No off-plat restrictions.

- LEGEND:**
- - 1/2" Rebar Set with Cap No.1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Permanent Dedicated Roadway Easement
  - BM - Benchmark
  - NS - Not Set this survey per agreement with client
  - A - Arc Distance
  - R - Arc Radius
  - B - Chord Bearing
  - C - Chord Distance
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client
  - ⊙ - Power Pole
  - X - Fence Line
  - OHP - Overhead Power Lines
  - T - Underground Telephone/Fiber Optic Line
  - ⊕ - Gas Valve
  - ⊕ - Water Meter/Valve
  - ⊕ - Telephone Pedestal
  - W - 6" Water Line - location as per district
  - ~ - Tree/Brush Line

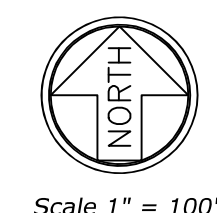
**ZONING:**  
PR-1 - Planned Residential

- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - See Error of Closure Calculations
  - 5) Basis of Bearing - KS SPC North Zone 1501 North line NE 1/4 NE 1/4
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Proposed Lots for Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88 Project Benchmark (BM) - Top Nut Fire Hydrant - Elev. 901'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.
  - 11) Reference Recorded Document # 2021R12060
  - 12) Utility Companies -  
- Water - City of Tonganoxie  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - 13) Reference Continental Title File Number 22443869 updated November 11, 2022
  - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 2010C0301G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
- All side yard setbacks - 10'  
- All rear yard setbacks - 30' (Accessory - 15')
  - 16) Distances to and of structures, if any, are +- 1'.
  - 17) Easements as per referenced Title Commitment are shown hereon, if any.
  - 18) Fence Lines do not necessarily denote the boundary line for the property.
  - 19) Reference Surveys:  
- OAKRIDGE ESTATES SUBDIVISION Bk. 12 Page 84



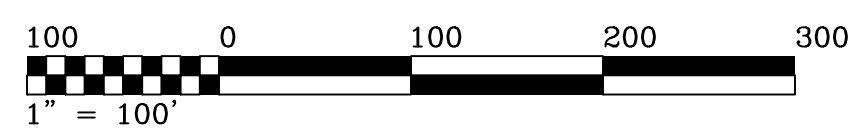
I hereby certify that this survey was made by me, or under my direct supervision, on the ground between October through December 2022 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296



Scale 1" = 100'

Job # K-22-1639  
December 3, 2022 Rev. 1/22/23



KANE FAMILY FARM LLC  
PID # 194-17-0-006

# Leavenworth County Request for Board Action

**Date:** February 16, 2023

**To:** Board of County Commissioners

**From:** Larry Malbrough, Director of Information Systems

## Additional Reviews as needed:

Administrator

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## Server Virtualization Project

### Action Requested:

Award the High Availability Server Virtualization Project.

### Recommendation:

Award the Server Virtualization Project to ISG in an amount not to exceed \$289,658.32.

### Background:

In 2022, the County sought to migrate on premise physical servers located within the courthouse to a virtual environment. The project was bid and awarded to ISG. ISG completed that project in October of 2022.

As stated during that project's briefing report, "The solution we use at the courthouse will set the standard for what the County should use at the future disaster recovery site, once the facility is completed and suitably connectivity is established".

It is in the interests of the County to utilize the same equipment, where possible, in the high availability site as we have deployed to the primary site (the courthouse).

It is also recommended to use the same company as they are intimately knowledgeable of the existing deployment as they completed that work recently and we can get the same engineers to perform this work.

ISG's proposal from March 2022 was very competitive, i.e. the low bid by a significant margin. A quote for the same equipment was requested and received. With the exception of some additional requirements in order to operate as a secondary/redundant site, the quote contains the same hardware and licensing as the 2022 project. This quote is approximately \$30,000 higher than the one received in March of 2022. There is additional labor costs involved with setting up this high availability environment, however inflation is also involved.



**Analysis:**

ISG:

This proposal includes the same HPE hardware for the head-end systems and an HPE Nimble SAN solution and includes the appropriate licensing for required software as our current primary site.

The Veeam licensing, which is the backup and replication software, of this proposal is the source of a significant increase in the cost compared to the original project from 2022. The licensing of Veeam is significantly more expensive when you intend to use it for high availability/disaster recovery implementations.

ISG staff performed adequately during the 2022 deployment, lending confidence that we can expect the same level of performance on this project.

I.S. Department staff have been working with the equipment on a daily basis since deployment and have no complaints at this time.

Staff recommends awarding the project to ISG in an amount not to exceed \$289,658.32.

**Alternatives:**

Accept the risks of utilizing one primary site and not invest in a high-availability site. This is how the County has operated up to this point and can be a viable option if the County wishes to maintain accepting that risk.

Seek additional proposals.

**Budgetary Impact:**

- Not Applicable
- Depreciation items with available depreciation funds
- Non-Budgeted item with available funds through prioritization
- Budgeted item with available funds
- Requesting ARPA funds

**Total Amount Requested:**

\$289,658.32

**Additional Attachments:**

ISG Proposal



# *Virtualization Project – HA Site*

## Statement of Work

Prepared for:

Leavenworth County

Presented By:

**Mike Reece**

ISG Technology LLC

**Rev: 2**

**Date: 2/9/2023**



## ***ISG Overview***

ISG Technology is an industry leading information technology firm delivering business solutions to organizations of all types. ISG specializes in all areas of communication and IP technology, including Virtualization and Storage, Unified Communications, Managed Services, Physical Security, Networking and Cloud and Data Center offerings. Founded in 1982, ISG serves businesses throughout the Midwest, with nine locations in Kansas, Missouri and Oklahoma and more than 160 employees company-wide.

## ***Contacts***

<b><i>ISG Technology LLC</i></b> <b><i>8201 E 34<sup>th</sup> Circle N Ste 807</i></b> <b><i>Wichita, KS 67226</i></b>	
<b><i>Account Manager</i></b>	<b><i>Mike Reece</i></b> Phone: 785-380-2493 Email: mreece@isgtech.com
<b><i>Technical Services Director</i></b>	<b><i>Chad Workizer</i></b> Phone: 913-826-6023 Email: cworkizer@isgtech.com
<b><i>Systems Engineer</i></b>	<b><i>Brandon Rambo</i></b> Phone: 417-447-1671 Email: brambo@isgtech.com
<b><i>Leavenworth County</i></b>	
<b><i>Primary Customer Contact</i></b>	<b><i>Larry Malbrough</i></b> Phone: 913-684-1067 Email: lmalbrough@leavenworthcounty.gov

## ***Confidentiality***

This document contains a proposal of services by ISG Technology LLC for Leavenworth County. The information in this proposal is proprietary and confidential and should be shared only with those at Leavenworth County responsible for the evaluation and execution of this document. Neither the document nor its contents may be distributed or disclosed outside of the organization without the expressed consent of ISG Technology LLC.



## ***Executive Summary***

ISG Technology recently completed a project for Leavenworth County installing new servers, configuring vCenter, and installing a Veeam Backup environment.

Leavenworth County has contacted ISG to build out a High Availability site with a matching configuration to that installed in production in the courthouse basement. While the servers themselves are redundant of another, having all servers in a single location creates a single point of failure. Should a disaster occur at this facility, it could hamper or disable Leavenworth County IT services that provide police, fire, and safety related services.

ISG proposes a solution comprised of (3) HPE DL365 Gen10+ Servers, a Nimble HF40 Storage Array, Aruba InstantON Switches, and VMware Site Recovery Manager to accomplish the need for High Availability and physical redundancy requested by the client.





## ***Project Information***

This document outlines the activities that will be required for successful completion of the Virtualization Project – HA Site. The purpose of this document is to include project initiation & planning, project execution, and project closure activities. It represents a joint effort between the employees of Leavenworth County and ISG Technology. The content of this document is to include, at minimum, the key deliverables (i.e. services and equipment) that are identified herein. This plan will be used by the project team as guidance on how the project is to be executed, controlled, and communicated.

## ***Project Objectives***

To ensure a successful implementation and completion of the proposed Virtualization Project – HA Site, the following objective(s) will be completed by ISG for Leavenworth County:

- Installation and configuration of Nimble HF40 array
- Installation and configuration of new VMware ESXi host servers
- Deployment of VMware vCenter to manage the HA site virtual environment
- Verify connectivity between sites
- Configure production and HA storage array to accommodate Nimble Replication
- VMotion production VM's to new replicated datastores
- Configure VMware Site Recovery Manager
- Test failover process

## ***Project Assumptions***

The services and hardware proposed in this document are developed based on the information provided by Leavenworth County. The configuration and technical details set forth in this document are intended to provide Leavenworth County with a solution designed to meet the current and future needs of the company. ISG assumes:

- Client will grant ISG consultants and engineers reasonable access to facilities, IT systems, and administrative access rights needed to complete this project
- Client will provide adequate workspace for ISG personnel
- Client will make available all participating client personnel so as to facilitate timely completion of this project and the knowledge transfer process
- Client will execute the timely review and approval of deliverables and project completion documentation in support of the overall project plan and objectives
- Any and all training provided as a part of the project scope is designed to give clients an initial exposure to the systems involved. It is not designed to be a replacement for the comprehensive material offered by the manufacturer's education services.



- Active vendor support contracts must be in place prior to upgrading any production hardware and software.
- CAT6a and Direct Attach cables will be provided as part of this scope of work to connect servers and storage.
- Client will provide fiber optic cables to connect network switches to private fiber ring.
- Client will ensure network is configured to handle failover between the sites.

### ***Additional Software Licensing Requirements Provided by the Client***

VMware Site Recovery Manager – 25 VM license

VMware vSphere Essentials to Standard Acceleration Kit Upgrade for Production Site

VMware vSphere Standard Acceleration Kit for HA Site

### ***Change Management Process***

Any requested changes or provisions to the project at any time must be in writing with authorization by all parties. Note: Changes to the project scope may affect project pricing and time frames.

### ***Payment Terms***

Invoices for service will be partial billed based on work performed at the end of the month and generated at the conclusion of the project. Payment shall be due within 30 days of the invoice date.

### ***Proposal Validity Period***

Unless otherwise indicated, this statement of work, estimates and hourly rates expire 30 days after the revision date listed.



## ***Scope of Engineering Work***

The following is an overview of the engineering work to be performed and outlines ISG responsibilities for the successful completion of this project:

### ***Phase 1 – Internal Change Control***

- Review Customer Services under Configurations
  - Schedule Internal Kick-Off Call
  - Invite DCS, MSP, PS - CAB
- Internal Project Kick off (DCS, MSP, PS)
  - Review Statement of Work
  - Set Project expectations and Timelines
  - Set Project owners/engineers for each team (MSP/DCS/PS)
  - Change Control Requests submitted

### ***Phase 2 – Planning and Prep***

- Customer Kick off Call
  - Review Statement of Work
  - Align expectations on project, timelines and documentation deliverables

### ***Phase 3 – Equipment Installation and Initial Configuration***

- Physical rack and stack of all servers, switches, and storage
- Run all necessary cables for management, storage and networking
- Work with client on proper IP Schema for all servers and storage within existing subnet
- Install latest SPP/Firmware on all servers and switches
- Two Aruba Instant ON 1960 12XT switches will be configured as iSCSI and data switches. This configuration will match the production site.

### ***Phase 4 – VMware ESXi and VMware vCenter Installation***

- Installation of latest HPE OEM VMware ESXi version on to Raid 1 SSD array on host
- Deploy and install latest versions of software on Nimble HF40
  - Configure necessary management and internal diagnostic Ips
  - Configure storage side iSCSI network and document
- Setup iSCSI storage access on all vSphere Hosts
- Present storage from Nimble arrays to vSphere hosts
- Deploy new vCenter appliance and enroll all hosts and storage into central management – apply licensing to all hardware
- Configure HA vCenter in Enhanced Linked Mode with Production vCenter instance
- Setup all necessary phone home functionality for hosts and repositories for future updates



### ***Phase 5 – Nimble Configuration***

- Create new storage LUN's for VM's based on customer tiered replication requirements. Ex. 1 LUN for each protected VM.
- Create test datastore to host a dedicated test VM.
- Present new storage to vSphere hosts
- Storage vMotion virtual machines to new storage LUNs on production HF40
- Verify connectivity to HA HF40 array
- Create HA site HF40 as replication partner on production HF40 array
- Create protection schedule within new storage LUN's to replicate to HA HF40 array, initial schedule set at 1 hour, reduce time once initial synchronization has completed
- VMotion Secondary domain controller to HA site OR create new domain controller VM at HA site.

### ***Phase 6 – Virtual Machine Creation***

- Deploy 1 new Windows Server 2022 VM to facilitate SRM testing, demonstration, and training.
- Deploy new VM from clone of first VM, join server to existing domain
  - Load all Microsoft Datacenter licensing into KMS instance for future VMs
- Update first VM with KMS information, power off and clone as template

### ***Phase 7 – VMware Site Recovery Manager Configuration***

- Confirm client recovery plan
- Deploy VMware Site Recovery Manager – Light VA <1000 VM's
- Configure SRM appliance
- Configure Site Recovery Manager within vCenter
  - Create Protection Groups
  - Create Recovery Plans

### ***Phase 8 – Failover Testing***

- Within Recovery Plans – Test the plan to ensure recovered VM boots in a test environment and validates that VMware tools is loaded
- Executing Recovery Plan – execute the recovery plan and switch workload to the recovery environment
- Reprotect and failback – reverse recovery plan which fails virtual machine back to its original site

### ***Phase 9 – End-User Systems Training***

- End User training on management of HA vSphere environment
  - To include Life Cycle Manager, basic explanation of VMotion, HA, vSwitches, creating new VMFS LUNs, SRM





***Phase 10 – Documentation and Project Completion***

- Update configuration documentation, secure, and provide a copy to the customer
- Provide client with helpful information links for any desired future knowledge/training
- Document the recovery steps needed to successfully initiate a VMware Site Recovery Manager Failover
- Internal Change requests closed out
  - Decommissioning/Commissioning review
  - MRR Team(s) Project Sign off
- Customer Project sign-off

***Equipment and Licensing Deliverables***

See Attached Bill of Materials



## ***Project Pricing***

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### ***Time and Materials***

This project is based on a Time and Materials pricing model. The total estimated hours to complete the project is **160** hours. Plus, travel and expenses.

<b>Resource Description</b>	<b>Hourly Rate</b>
<b>Senior Engineer</b>	<b>\$255p/hr.</b>
<b>Senior Architect</b>	<b>\$290p/hr.</b>

Any estimate listed above is for planning purposes only as all hours and expenses will be billed in total.

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Please Note the following:

- Changes to the project scope may affect pricing and time frames.
  - ISG cannot be held responsible for delays beyond our control such as manufacturer back orders or delayed response by 3<sup>rd</sup> Party providers such as Telco or Internet.
  - After hours rates will be at time and a half. Weekend hour rates will be at double the rate.
  - Any service delivery that is delayed more than 90 days after the execution of this proposal may be subject price changes.
- 

We look forward to working with Leavenworth County on this project. If you have any questions or need clarification about any item mentioned in this scope, please feel free to contact your ISG Account Manager Mike Reece.



***Acceptance and Authorization***

Should this scope of work meet with your acceptance, please authorize by signing below and return one copy to ISG Technology. Upon execution of this contract, the project will begin in the terms and conditions that are stated in this document. Any requested changes or provisions to the project at any time must be in writing with authorization by all parties.

The terms and conditions of the **Scope of Work** apply in full to the services and products provided herein.

<i>Leavenworth County</i>	<i>ISG Technology LLC</i>
_____	_____
Authorized Signature	Authorized Signature
<b>Vicky Kaaz</b>	
_____	_____
Name	Name
Chairperson, Board of County Commissioners	
_____	_____
Title	Title
_____	_____
Effective Date	Effective Date



## Scope of Work - Terms and Conditions

1. **Services to Be Performed.** In consideration for the payment by Customer to ISG of the amount stated in this agreement, ISG agrees to provide to Customer the services as outlined in this Scope of Work (SOW). If, at any time through ISG's performance of the services, ISG discovers a problem with any aspect of Customer's IT system, ISG shall notify Customer and, at Customer's request, shall diagnose the source of the problem and, if possible, propose a solution. Customer understands that the time needed by ISG personnel to diagnose and potentially solve the problem will be billed by ISG to Customer at ISG's standard service rates.
2. **Payment.** Customer agrees to remit payment for the total amount due for the services selected within 30 days of invoice date (per SOW).
3. **Personnel.** ISG and the Customer are responsible for the supervision, direction, and control of their respective personnel. ISG reserves the right to determine the assignment of its personnel.
4. **Termination.** Either party may cancel the Services outlined in this Agreement at any time, for any reason. No matter which party cancels this Agreement, or for whatever reason, Customer shall pay ISG for all services provided by ISG through the termination date, and for any materials delivered to Customer by ISG through the termination date. All other relevant terms outlined in this agreement will remain in effect in a situation when either party terminates the services.
5. **Confidentiality.** ISG agrees at all times during the Term of this Agreement and thereafter, to hold in strictest confidence, and not to use, except in connection with ISG's performance of services, and not to disclose to any person or entity without written authorization of the Customer, any Confidential Information of the Customer. "Confidential Information" means any of the Customer's proprietary information, technical data, trade secrets or know-how, including, but not limited to, any research, product plans, products, services, customer lists and customers, markets, software, developments, inventions, processes, formulas, technology, designs, drawings, engineering, marketing, distribution and sales methods and systems, sales and profit figures, finances and other business information disclosed to ISG by the Customer, either directly or indirectly in writing, orally, or by drawings or inspection of documents or other tangible property. However, Confidential Information does not include any information that may become publicly known and made generally available through no wrongful act of ISG, and independent of ISG's relationship with the Customer.
6. **Employee Solicitation.** Client acknowledges that ISG's business is dependent upon being able to attract and keep qualified persons and adequately utilize its employees and independent contractors. Client shall not, directly or indirectly, for itself, or on behalf of any other person, firm, corporation or other entity, solicit, participate in or promote the solicitation of ISG's employees to leave the employ of ISG, or hire or retain as a direct employee or as an independent contractor ISG employees or independent contractors, during the period such person is performing services for ISG and for one (1) year immediately following the period for which such person last performed services for ISG. In the event that Client violates this section, Client shall immediately pay to ISG an amount equal to 75% of the total first year compensation paid to such personnel as a fee for the additional benefit obtained in violation hereof. The parties agree that, given the scarcity of qualified technical personnel in the labor market, and given the high cost of training replacement personnel, such amount represents a reasonable estimate of the minimum damages that are likely to accrue to ISG in the event of a violation of this section. Such amount shall be in addition to, and not in lieu of, any other damages that ISG may be able to demonstrate.
7. **Default by Either Party.** Except as otherwise stated in this Agreement, if ISG or the Customer materially defaults in their obligations to each other under this Agreement for a period in excess of 30 days after receiving notice from the other to remedy the default, the non-defaulting party may terminate this Agreement and pursue against the defaulting party any action available to it, at law or in equity, pursuant to the laws of the State of Kansas, including the right to recover reasonable attorneys' fees and costs incurred in remedying any breach; subject however, to the Limitation of Damages provision of this Agreement.
8. **Independent Contractors.** ISG is an independent contractor of the Customer. There is not now, nor will there be, a partnership, joint venture, or employment relationship between ISG and the Customer. No individual who is assigned by ISG to perform services within the scope of the service relationship referenced by this Agreement will be considered an employee of the Customer. Said individual will not be entitled to participate in or receive any benefit or right as an employee of the Customer under any employee benefit or welfare plans sponsored by the Customer, including, without limitation, employee insurance, pension, or savings and security plans as a result of ISG entering into and performing services for the Customer.
9. **Limitation of Damages.** Circumstances may arise where, because of ISG's default or other liability, Customer is entitled to recover damages from ISG. In such an instance, regardless of the basis by which Customer is entitled to claim. Damages from ISG, whether for breach of this Agreement, negligence, misrepresentation, or other claim, ISG shall be liable to Customer for no more than the amount Customer pays, or has paid, ISG for services rendered. Further, under no circumstances shall ISG be liable to Customer for any of the following:
  - Third-party claims against the Customer for damages, other than those for violation of patents and copyrights;
  - Loss of, or damage to, the Customer's records or data; or Special, incidental, or indirect damages, or for any other economic, or consequential damages (including lost profits or savings), even if ISG is informed of such possibility.
10. **Warranty for ISG Services.** ISG warrants that the services provided to the Customer under this Agreement will be performed using reasonable care and skill, and according to its current description, including any completion criteria contained in this Agreement, any attachment, or any other document that might be in effect. **THIS WARRANTY IS THE CUSTOMER'S EXCLUSIVE WARRANTY AND REPLACES ALL OTHER WARRANTIES OR CONDITIONS, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, THE IMPLIED WARRANTIES OR CONDITIONS OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.** ISG does not warrant uninterrupted or error-free operation of any machine or service, or that ISG will successfully correct all defects. Unless ISG specifies otherwise, ISG provides materials and non-ISG created supplies **WITHOUT WARRANTIES OF ANY KIND.** However, non-ISG suppliers may provide their own warranties to the Customer.





11. **Assignment.** This Agreement may not be assigned by either party, other than to another entity within the enterprise of which either ISG or Customer is a part, or to a successor organization by merger or acquisition, without the consent of the other party. For purposes of this paragraph, "enterprise" refers to any domestic legal entity and its subsidiaries.
12. **Miscellaneous.** The following miscellaneous provisions shall apply to this agreement.
- (a) **Insurance and Workers Compensation Coverage.** ISG personnel are covered by workers compensation insurance, and ISG shall provide proof of coverage upon request.
- (b) **Severability of Provisions.** If any provision(s) of this Agreement shall be held to be invalid, illegal or unenforceable, the validity, legality and enforceability of the remaining provisions shall not in any way be affected or be impaired thereby.
- (c) **Governing Law.** This Agreement shall be governed and construed in accordance with the laws of the State of Kansas. If there is any dispute regarding any of the provisions of this Agreement, such dispute shall be litigated in the District Court of Saline County, Kansas.
- (d) **Entire Agreement.** This Agreement, along with any attachments or schedules that are incorporated herein by reference, sets forth the complete and exclusive statement of the agreement between the parties, and supersedes all proposals and agreements, oral or written, and all other communications between the parties related to the subject matter of this Agreement.
- (e) **Waivers.** A waiver of a breach or default under this Agreement shall not be a waiver of any other or subsequent breach or default. The failure or delay by either party in enforcing compliance with any term or condition of this Agreement shall not constitute a waiver of such term or condition unless such term or condition is expressly waived in writing.
- (f) **Force Majeure.** Neither party shall be deemed to have breached this Agreement by reason of any delay or failure in its performance arising from events beyond its control. Such events shall include by way of example, but not limitation, acts of God, acts of war, riot, epidemic, fire, flood or other disaster, acts of government, including governmental regulations superimposed after the fact, strikes, lockouts, telecommunications failure, or power failure.
- (g) **Agreement Binding.** This Agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and permitted assigns. This Agreement shall become effective only upon acceptance and approval in writing by authorized representatives of ISG and the Customer.
- (h) **Notices.** All notices that are required to be given or submitted pursuant to this Agreement shall be in writing and shall be delivered by hand, sent by electronic mail, or registered or certified mail, return receipt requested, to the address set forth in the first paragraph of this Agreement, or to such other address as ISG or the Customer may from time to time designate by written notice delivered to the other party.
- (i) **Authority.** Each party represents that it has full power and authority to enter into and perform this Agreement, and the person signing this Agreement on behalf of it has been properly authorized and empowered to enter into this Agreement.
- (j) **Survival.** The parties' obligations under this Agreement, which by their nature would continue beyond the termination, cancellation, or expiration of this Agreement, shall survive termination, cancellation or expiration of this Agreement as per the written terms of this Agreement



T E C H N O L O G Y

## County of Leavenworth - Virtualization Project with VMware SRM - Round 2

Quote #TO-MR-174346 v7

## Prepared For:

**Leavenworth County**

Larry Malbrough  
300 Walnut  
Leavenworth, KS 66048-2725

P: (913) 684-1067

E: LMalbrough@leavenworthcounty.gov

## Prepared by:

**Topeka**

Michael Reece  
400 SE Jefferson St  
Topeka, KS 66607

P: 785.266.2585

E: mreece@isgtech.com

## Date Issued:

**02.08.2023**

## Expires:

**01.31.2023**

HPE DL365 Servers - Qty 3		Price	Qty	Ext. Price
P38578-B21	HPE DL365 Gen10+ 8SFF CTO Svr	\$1,146.00	3	\$3,438.00
P38699-B21	AMD EPYC 72F3 CPU for HPE	\$3,250.00	6	\$19,500.00
P07646-B21	HPE 32GB 2Rx4 PC4-3200AA-R Smart Kit	\$381.00	24	\$9,144.00
P26429-B21	HPE DL360G10+ 8SFF x4Tmode U.3 BC BP Kit	\$191.00	3	\$573.00
P40496-B21	HPE 240GB SATA RI SFF BC MV SSD	\$132.00	6	\$792.00
P26471-B21	HPE DL36x Gen10+ LP Riser Kit	\$34.00	3	\$102.00
P51178-B21	BCM 5719 1Gb 4p BASE-T Adapter	\$106.00	3	\$318.00
P08437-B21	HPE 10GbE 2P BaseT QL41132 Adapter	\$439.00	6	\$2,634.00
P26325-B21	Broadcom MR216i-a Cntrl for HPE Gen10+	\$354.00	3	\$1,062.00
P08449-B21	INT I350 1GbE 4p BASE-T OCP3 Adapter	\$210.00	3	\$630.00
P26477-B21	HPE DL36x Gen10+ High Perf Fan Kit	\$142.00	3	\$426.00
P38995-B21	HPE 800W FS Plat Ht Plg LH Pwr Sply Kit	\$115.00	6	\$690.00
P38995-B21 0D1	HPE 800W II FS Plat HtPlg Pwr Supply Kit	\$0.00	6	\$0.00
BD505A	HPE iLO Adv 1-svr Lic 3yr Support	\$189.00	3	\$567.00
P26451-B21	HPE DL36X Gen10+ 8SFF Tri-Mode Cbl Kit	\$119.00	3	\$357.00
867998-B21	HPE 1U Gen10 Bezel Kit	\$17.00	3	\$51.00
P13771-B21	HPE Gen10 Plus TPM BR Module Kit	\$21.00	3	\$63.00
P14604-B21	HPE Gen10+ Intrusion Detection Kit	\$22.00	3	\$66.00
P07818-B21	HPE DDR-4 DIMM Blanks Kit	\$49.00	3	\$147.00
P19368-B21	HPE DL385 G10 1U High Perf Heat Sink Kit	\$69.00	6	\$414.00
P26485-B21	HPE DL300 G10+ 1U SFF Easy Inst Rail Kit	\$164.00	3	\$492.00
HU4B3A5 ZSE	HPE Proliant DL365 Gen10 Plus Support - 5Y Tech Care Basic wDMR SVC	\$1,970.00	3	\$5,910.00
HU4B3A5 R2M	HPE iLO Advanced Non Blade Support - 5Y Tech Care Basic wDMR SVC	\$40.00	3	\$120.00
			Subtotal:	<b>\$47,496.00</b>



T E C H N O L O G Y

HPE Nimble SAN		Price	Qty	Ext. Price
Q8H39A	HPE NS HF40 Hybrid CTO Base Array	\$22,648.00	1	\$22,648.00
R3Q00A	HPE NS 2x25GbE 2p SFP28 FIO Adptr Kit	\$2,106.00	1	\$2,106.00
Q8B55B	HPE NS HF40/60 Hybrid 84TB FIO HDD Bndl	\$15,790.00	1	\$15,790.00
Q8G27B	HPE Tier 1 Storage OS Default FIO SW	\$1.00	1	\$1.00
Q8J27A	HPE NS C13 to C14 FIO Power Cord	\$1.00	2	\$2.00
R0P04A	HPE NS HF40/60 8.64TB FIO Cache Bndl	\$17,078.00	1	\$17,078.00
R3P91A	HPE Tier 1 Storage Array Standard Trk	\$1.00	1	\$1.00
HU4B0A5 ZDW	HPE NS 2x25GbE 2p SFP28 FIO Adp Kit Support - HPE 5Y TC Essential Exch	\$1,123.00	1	\$1,123.00
HU4B0A5 T6U	HPE NS HF40/60 8.64TB FIO CacheBndl Support - HPE 5Y TC Essential Exch	\$8,140.00	1	\$8,140.00
HU4B0A5 ZFG	HPE NS HF40 Hybrid Base Array Supp	\$14,924.00	1	\$14,924.00
HU4B0A5 ZFR	HPE NS HF40/60 Hybrid 84TB HDD Bndl Supp	\$8,664.00	1	\$8,664.00
			Subtotal:	<b>\$90,477.00</b>

Aruba Switch's		Price	Qty	Ext. Price
JL805A	Aruba IOn 1960 12XT 4XF Sw	\$1,770.00	3	\$5,310.00
J9151E-AX	Aruba 10G SFP+ LC LR 10km SMF Transceiver - For Data Networking, Optical Network - 1 x LC 10GBase-LR Network - Optical Fiber - Single-mode - 10 Gigabit Ethernet - 10GBase-LR	\$285.00	6	\$1,710.00
LCLCSD9Y-3M-AX	Axiom LC/LC Singlemode Duplex OS2 9/125 Fiber Optic Cable 3m - Fiber Optic for Network Device - 9.84 ft - 2 x LC Male Network - 2 x LC Male Network	\$17.50	5	\$87.50
			Subtotal:	<b>\$7,107.50</b>

VMware		Price	Qty	Ext. Price
Q0K30AAE	VMware vSphere Essentials Plus Kit - vSphere Standard Upgrade 6 Processors - 5y (upgrade of current VMware)	\$23,405.00	1	\$23,405.00
BD534A	VMware vCntr SRM Std 25VM - 5yr SW	\$7,180.00	1	\$7,180.00
P9U09A	VMware vSphere Std Accerlation Kit 6 Proccerssors - 5yr SW	\$25,813.00	1	\$25,813.00
			Subtotal:	<b>\$56,398.00</b>

Microsoft Licensing		Price	Qty	Ext. Price
DG7GMGF0D65N: 0002	Windows Server 2022 Datacenter - 16 Core (Perp Pre-Paid)	\$6,085.25	3	\$18,255.75
DG7GMGF0D5VX: 0007	Windows Server 2022 - 1 User CAL (Perp Pre-Paid)	\$46.00	450	\$20,700.00
DG7GMGF0FLR2:0 002	SQL Server 2019 Standard Core - 2 Core License Pack (NCE) SQL Server 2019 Standard Core	\$3,586.00	2	\$7,172.00
			Subtotal:	<b>\$46,127.75</b>



T E C H N O L O G Y

Virtualization Professional Services		Price	Qty	Ext. Price
ISG-LABOR-SRENG-SYS	<b>Estimated ISG Professional Services - Senior Systems Engineer</b>	\$250.00	120	\$30,000.00
ISG-LABOR-SRARCH-SYS	<b>Systems Sr. Architect - Virtualization/Storage</b> Systems Sr. Architect - Virtualization/Storage	\$290.00	40	\$11,600.00
			Subtotal:	<b>\$41,600.00</b>

Shipping		Price	Qty	Ext. Price
Freight	<b>Estimated shipping and handling charge - Servers</b>	\$271.68	1	\$271.68
Freight	<b>Estimated shipping and handling charge - SAN</b>	\$180.39	1	\$180.39
			Subtotal:	<b>\$452.07</b>

Quote Summary	Amount
HPE DL365 Servers - Qty 3	\$47,496.00
HPE Nimble SAN	\$90,477.00
Aruba Switch's	\$7,107.50
VMware	\$56,398.00
Microsoft Licensing	\$46,127.75
Virtualization Professional Services	\$41,600.00
Shipping	\$452.07
	Total: <b>\$289,658.32</b>

Taxes, shipping, handling and other fees may apply. We reserve the right to cancel orders arising from pricing or other errors.