

**AGENDA**  
**EAST GOSHEN TOWNSHIP**  
**BOARD OF SUPERVISORS**

Tuesday, January 16, 2018

7:00 PM

6:00 PM Executive Session – Personnel Matter

1. Call to Order
2. Pledge of Allegiance
3. Moment of Silence – Supervisor Carmen Battavio
4. Ask if anyone is recording the meeting
5. Chairman’s Report
  - a. Announce that the Board met in executive session prior to tonight’s meeting to discuss a personnel matter.
6. Public Hearing - none
7. Emergency Services Reports
  - WEGO – Chief Brenda Bernot
  - Goshen Fire Co – none
  - [Malvern Fire Co – 2017 EMS Statistics](#)
  - Fire Marshal – none
8. [Financial Report – 4<sup>th</sup> Quarter 2017](#)
9. Old Business - none
10. New Business
  - a. [Consider installing temporary speed humps in Wylpen Farms.](#)
  - b. [Consider approval of the Land Development Plan for East Goshen Elementary School](#)
  - c. [Consider 1665 E. Boot Road Dimensional Variance.](#)
  - d. [Consider approval of the Paoli Pike Trail Easement Plan.](#)
  - e. [Consider 2018 Group Bids](#)
  - f. [Consider Stormwater Management Agreements for 1551 Colonial Lane and 907 Madison Drive.](#)
  - g. Consider the appointment of Thornbury Township Supervisor Jim Benoit as the Member-at-Large on the Police Commission.
11. Any Other Matter
12. Approval of Minutes
  - a. [January 2, 2018](#)
  - b. [January 6, 2018](#)
  - c. [January 9, 2018](#)
13. [Treasurer’s Report – January 11, 2018](#)
14. Liaison Reports -none
15. Correspondence, Reports of Interest
  - a. [December 22, 2017 – Letter from FEMA](#)
  - b. [4<sup>th</sup> Quarter Right to Know Report](#)
16. Public Comment
17. Adjournment

## Meetings & Dates of Importance

Jan 15, 2018	Martin Luther King Jr Day	Office Closed
Jan 16, 2018	Pension Committee	10:00am
Jan 16, 2018	Board of Supervisors	7:00 pm
Jan 17, 2018	Planning Commission	7:00 pm
	Malvern Institute Special Exception & Variance	
Jan 22, 2018	Futurist Committee	7:00pm
Jan 22, 2018	Municipal Authority (meeting was rescheduled)	7:00 pm
Jan 23, 2018	Board of Supervisors	7:00 pm
	Malvern Institute Special Exception & Variance	

The Chairperson, in his or her sole discretion, shall have the authority to rearrange the agenda accommodate the needs of other board members, the public or an applicant.

**Public Comment** – Pursuant to Section 710.1 of the Sunshine Act the Township is required to include an opportunity for public comment agenda which is intended to allow residents and/or taxpayers to comment on matters of concern, official action or deliberation which are or may be before the Board of Supervisors. Matters of concern which merit additional research will be placed on the agenda for the next meeting.

**Constant Contact** - Want more information about the latest news in the Township and surrounding area? East Goshen Township and Chester County offer two valuable resources to stay informed about important local issues. East Goshen communicates information by email about all Township news through Constant Contact. To sign up, go to [www.eastgoshen.org](http://www.eastgoshen.org), and click the “E-notification & Emergency Alert” button on the left side of the homepage. Chester County offers an emergency notification system called ReadyChesco, which notifies residents about public safety emergencies in the area via text, email and cell phone call. Signing up is a great way to keep you and your loved ones safe when disaster strikes. Visit [www.readychesco.org](http://www.readychesco.org) to sign up today!

**Smart 911** - Smart911 is a new service in Chester County that allows you to create a Safety Profile at [www.smart911.com](http://www.smart911.com) that includes details you want the 9-1-1 center and public safety response teams to know about your household in an emergency. When you dial 9-1-1, from a phone associated with your Safety Profile that information automatically displays to the 9-1-1 call taker allowing them to send responders based on up-to-date location and emergency information. With your Safety Profile, responders can arrive aware of many details they would not otherwise know. Fire crews can arrive knowing exactly how many people live in your home and where the bedrooms are located. EMS personnel can know family members’ allergies or specific medical conditions. And police can access a photo of a missing family member in seconds rather than minutes or hours, helping the search start faster.

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## Malvern Fire Company

424 East King Street  
Malvern, PA 19355

Main 610-647-0693  
Fax 610-647-0249  
[www.malvernfireco.com](http://www.malvernfireco.com)

### East Goshen Township 2017 EMS Statistics

December:

54 Calls; 7 BLS (5 Transports); 47 ALS (36 Transports)

November:

39 Calls; 3 BLS (1 Transport); 36 ALS (24 Transports)

October:

45 Calls; 5 BLS (5 Transports); 40 ALS (28 Transports)

September:

44 Calls; 9 BLS (6 Transports); 35 ALS (28 Transports)

August:

36 Calls; 6 BLS (6 Transports); 30 ALS (26 Transports)

July:

37 Calls; 2 BLS (1 Transport); 35 ALS (22 Transports)

June:

48 Calls; 5 BLS (4 Transports); 42 ALS (28 Transports)

May:

37 Calls; 5 BLS (4 Transports); 32 ALS (24 Transports)

April:

41 Calls; 5 BLS (4 Transports); 36 ALS (20 Transports)

March:

44 Calls; 5 BLS (5 Transports); 39 ALS (33 Transports)

February:

43 Calls; 8 BLS (7 Transports); 35 ALS (22 Transports)

January:

37 Calls; 8 BLS (6 Transports); 29 ALS (23 Transports)

# Memo

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To: Board of Supervisors  
From: Jon Altshul  
Re: 2017 Year-End Financial Report  
Date: January 8, 2017

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Net of pass-through accounts, as of December 31<sup>st</sup>, the general fund had revenues of \$10,972,558 and expenses of \$10,542,983 for a surplus of \$429,576. Compared to the YTD budget, revenues were \$645,342 over budget and expenses were \$222,945 under budget for a favorable budget variance of \$868,288. As of December 31<sup>st</sup>, the general fund balance was \$5,531,289.

On the expense side, Public Works was under budget by \$115,323 on account of the mild snowfall and lower than expected storm water expenses. Administration was \$85,722 under budget due to deferring the vehicle wash bay and storefront projects until 2018. Emergency Services was \$12,763 over budget due to higher than expected workers compensation costs for volunteer firefighters, which we are required to pay for pursuant to Section 1512 of the Second Class Township Code. Codes was \$27,237 over budget due to lower than expected permit revenue. Parks & Recreation was \$53,223 over budget due to park maintenance personnel costs.

On the revenue side, Real Estate Transfer Tax finished \$684,969 over budget due to the sale of a large commercial building in March and continued strong residential sales throughout the year; Earned Income Tax finished the year \$63,500 over budget. Other Income, which includes interest income, finished the year \$29,354 over budget due to rising interest rates.

## Other funds

- The **State Liquid Fuels Fund** had \$531,073 in revenues and \$530,873 in expenses. The fund balance was \$502.
- The **Sinking Fund** had \$1,162,633 in revenues and \$1,217,877 in expenses. The fund balance is \$6,024,031.
- The **Transportation Fund** had \$6,881 in revenues and \$2,583 in expenses. The fund balance is \$1,079,157.
- The **Sewer Operating Fund** had \$3,730,640 in revenues and \$3,396,144 in expenses. This surplus is a one-time anomaly due to having five due dates in 2017. The fund balance is \$886,672.
- The **Refuse Fund** had \$1,053,086 in revenues and \$1,055,865 in expenses, despite the fact that we did not receive any Act 101/Section 904 funding from the state this year. The fund balance is \$614,128.
- The **Bond Fund** had \$8,126,213 in revenues and \$789,890 in expenses. The fund balance is \$7,336,323.
- The **Sewer Sinking Fund** had \$223,438 in revenues and \$144,623 in expenses. The fund balance is \$2,162,678.
- The **Operating Reserve Fund** had \$13,751 in revenues and no expenses. The fund balance is \$2,504,354.

## 2017 Series GO Bonds

As of December 31<sup>st</sup>, \$789,900 had been drawn down on the 2017 bond proceeds, or 9.41% of the total proceeds. Note that we must have drawn down 10% of the proceeds by mid-February to be eligible for an exemption from the interest rate arbitrage requirement. However, even if we meet this threshold—which is very likely—it is much less likely that we will have spent 45% of the proceeds by August 15<sup>th</sup>,



2018 (the one-year anniversary of the closing), which is the next benchmark. Breaching the arbitrage exemption threshold isn't a problem per se, but it will require us to work closely with PLGIT to calculate any arbitrage refund that might be due to the IRS in the future.

**Accounts Receivable**

Utilities receivables stood at \$232,782 as of December 31st, which is essentially unchanged from three months earlier. Real estate tax receivables were \$9,652, which is somewhat higher than what's it's been over the last 3 years.

**Yield**

The average yield on Township funds is 1.05%. Rates have been on a steady upwards trajectory, with one-year CDs and term deposits yielding 1.8%-1.9%. The yield curve is very flat right now and 6-month rates are only nominally lower than 12-month rates.

**EAST GOSHEN TOWNSHIP**  
**2017 YEAR-END UNAUDITED GENERAL FUND SUMMARY**  
**As of December 31, 2017**

Account Title	2017 Budget	2017 Actual	Variance
EMERGENCY SERVICES EXPENSES	4,520,632	4,543,688	(23,056)
PUBLIC WORKS EXPENSES	2,615,463	2,435,170	180,293
ADMINISTRATION EXPENSES	1,883,346	1,796,221	87,125
CODES EXPENSES	413,748	424,069	(10,321)
PARK AND RECREATION EXPENSES	682,542	675,456	7,086
<b>TOTAL CORE FUNCTION EXPENSES</b>	<b>10,115,731</b>	<b>9,874,603</b>	<b>241,128</b>
EMERGENCY SERVICES REVENUES	61,480	71,773	10,293
PUBLIC WORKS REVENUES	1,005,147	940,177	(64,970)
ADMINISTRATION REVENUES	377,720	376,317	(1,403)
CODES REVENUES	279,875	262,958	(16,917)
PARK AND RECREATION REVENUES	272,435	212,125	(60,310)
<b>TOTAL CORE FUNCTION REVENUES</b>	<b>1,996,657</b>	<b>1,863,351</b>	<b>(133,307)</b>
<b>NET EMERGENCY SERVICES</b>	<b>4,459,152</b>	<b>4,471,915</b>	<b>(12,763)</b>
<b>NET PUBLIC WORKS</b>	<b>1,610,316</b>	<b>1,494,993</b>	<b>115,323</b>
<b>NET ADMINISTRATION</b>	<b>1,505,626</b>	<b>1,419,904</b>	<b>85,722</b>
<b>NET CODES</b>	<b>133,873</b>	<b>161,110</b>	<b>(27,237)</b>
<b>NET PARK AND RECREATION</b>	<b>410,107</b>	<b>463,330</b>	<b>(53,223)</b>
<b>CORE FUNCTION NET SUBTOTAL</b>	<b>8,119,074</b>	<b>8,011,253</b>	<b>107,821</b>
DEBT - PRINCIPAL	520,999	521,000	(1)
DEBT - INTEREST	129,198	147,380	(18,182)
<b>TOTAL DEBT</b>	<b>650,197</b>	<b>668,380</b>	<b>(18,183)</b>
<b>TOTAL CORE FUNCTION NET</b>	<b>8,769,271</b>	<b>8,679,632</b>	<b>89,639</b>
<b>NON-CORE FUNCTION REVENUE</b>			
EARNED INCOME TAX	4,916,400	4,979,900	63,500
REAL ESTATE PROPERTY TAX	2,027,128	2,028,636	1,508
REAL ESTATE TRANSFER TAX	525,000	1,209,969	684,969
CABLE TELEVIS.FRANCHISE	473,690	476,562	2,872
LOCAL SERVICES TAX	348,000	344,447	(3,553)
OTHER INCOME	40,341	69,695	29,354
<b>TOTAL NON CORE FUNCTION REVENUE</b>	<b>8,330,559</b>	<b>9,109,208</b>	<b>778,649</b>
<b>NET RESULT</b>	<b>(438,712)</b>	<b>429,576</b>	<b>868,288</b>

SUMMARY OF FUNDS REPORT (AKA "JOE REPORT")  
 ALL FUNDS DECEMBER 2017  
 \* NOTE: GENERAL FUND INCLUDES PASS-THROUGH ACCOUNTS

	GENERAL FUND*	LIQUID FUELS STATE FUND	SINKING FUND	TRANSPORT. FUND	SEWER OP. FUND	REFUSE FUND	SEWER SINK FUND	OPERATING RESERVE	EVENTS FUND	TOWNSHIP FUNDS	MUNICIPAL AUTHORITY	BOND FUND
01/01/17 BEGINNING BALANCE	\$5,099,106	\$302	6,079,275	1,074,859	552,175	616,907	\$2,083,864	\$2,490,604	\$60,027	\$18,057,119	\$1,415,651	0
<b>RECEIPTS</b>												
310 TAXES	\$9,089,293	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$9,089,293	\$0	\$0
320 LICENSES & PERMITS	\$32,697	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$32,697	\$0	\$0
330 FINES & FORFEITS	\$44,375	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$44,375	\$0	\$0
340 INTERESTS & RENTS	\$167,719	\$5,562	\$48,310	\$5,296	\$1,084	\$5,481	\$223,438	\$13,751	\$31	\$470,671	\$10,361	\$28,728
350 INTERGOVERNMENTAL	\$137,931	\$525,511	\$291,005	\$0	\$0	\$0	\$0	\$0	\$0	\$954,447	\$0	\$0
360 CHARGES FOR SERVICES	\$614,748	\$0	\$0	\$0	\$3,660,602	\$1,047,605	\$0	\$0	\$0	\$5,322,955	\$9,128	\$0
380 MISCELLANEOUS REVENUES	\$1,542,148	\$0	\$10,000	\$1,585	\$12,967	\$0	\$0	\$0	\$0	\$1,566,700	\$564	\$0
390 OTHER FINANCING SOURCES	\$960,455	\$0	\$813,318	\$0	\$55,988	\$0	\$0	\$0	\$0	\$1,829,761	\$185,000	\$8,097,485
	\$12,589,367	\$531,073	\$1,162,633	\$6,881	\$3,730,640	\$1,053,086	\$223,438	\$13,751	\$31	\$19,310,900	\$205,053	\$8,126,213
<b>EXPENDITURES</b>												
400 GENERAL GOVERNMENT	\$1,414,610	\$0	\$309,072	\$0	\$0	\$0	\$144,623	\$0	\$0	\$1,868,305	\$0	\$0
410 PUBLIC SAFETY	\$6,303,178	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$6,303,178	\$0	\$0
420 HEALTH & WELFARE	\$6,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$6,000	\$0	\$0
426 SANITATION & REFUSE	\$109,985	\$0	\$0	\$0	\$2,220,194	\$1,055,865	\$0	\$0	\$0	\$3,386,043	\$1,422,384	\$0
430 HIGHWAYS,ROADS & STREETS	\$2,117,648	\$530,873	\$217,759	\$2,583	\$0	\$0	\$0	\$0	\$0	\$2,868,862	\$0	\$0
450 CULTURE-RECREATION	\$609,037	\$0	\$485,664	\$0	\$0	\$0	\$0	\$0	\$0	\$1,094,701	\$0	\$789,890
460 CONSERVATION & DEVELOPMENT	\$4,283	\$0	\$205,382	\$0	\$0	\$0	\$0	\$0	\$0	\$209,666	\$0	\$0
470 DEBT SERVICE	\$691,345	\$0	\$0	\$0	\$990,950	\$0	\$0	\$0	\$0	\$1,682,296	\$55,988	\$0
480 MISCELLANEOUS EXPENDITURES	\$902,086	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$902,086	\$0	\$0
490 OTHER FINANCING USES	\$0	\$0	\$0	\$0	\$185,000	\$0	\$0	\$0	\$60,058	\$245,058	\$0	\$0
	\$12,158,174	\$530,873	\$1,217,877	\$2,583	\$3,396,144	\$1,055,865	\$144,623	\$0	\$60,058	\$18,566,196	\$1,478,372	\$789,890
2017 SURPLUS/(DEFICIT)*	431,193	\$201	(\$55,244)	\$4,298	\$334,496	(\$2,779)	\$78,815	\$13,751	(\$60,027)	\$744,704	(\$1,273,319)	\$7,336,323
CLEARING ACCOUNT ADJUSTMENTS	\$990											
12/31/2017 ENDING BALANCE	\$5,531,289	\$502	\$6,024,031	\$1,079,157	\$886,671	\$614,128	\$2,162,678	\$2,504,354	\$0	\$18,802,812	\$142,331	\$7,336,323

# Memo

## East Goshen Township

Date: January 11, 2018  
To: Board of Supervisors  
From: Rick Smith, Township Manager  
Re: Wyllpen Farms - Speed Humps

On January 11, 2018 the County of Chester closed Dutton Mill Road between East Strasburg Road and Manley Road in order to make repairs to their bridge over the Ridley Creek. The official detour is posted for East Strasburg Road, North Chester Road, and West Chester Pike. However, most of the local residents and commuters that use that section of Dutton Mill Road are aware that you can get around the bridge by cutting thru Wyllpen Farms and they do not follow the posted detour.

Several residents of Wyllpen Farms have expressed concerns about the additional traffic. I have asked the police the increase their presence in Wyllpen Farms especially during the morning and evening peak traffic periods. However, the police can only control the speed of the motorists, and they not able to be there all of the time.

I would suggest that the Board authorize the purchase and installation of six temporary speed humps in Wyllpen Farms. The speed humps are \$100 each. While we will have to purchase some additional signs, they will be able to be used at the other locations at which we have permanent speed humps.

I would add that sometime this year PennDOT will close Morstein Road in order to make repairs to the bridge that goes over Route 202. While the official PennDOT detour will use state roads, motorists will quickly find out they can get around the bridge by cutting thru Charter Chase or using Hershey Mill Road. We would able to reuse the temporary humps on those streets when that bridge is closed.

The Township Code contains a provision that allows for the installation of traffic control measures on a temporary basis.

**Suggest Motion:** I move that we purchase and pursuant to Section 225-4 of the Code of East Goshen authorize the installation of six temporary speed humps in Wyllpen Farms for the duration of the Dutton Mill Road bridge project.



# Memorandum

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East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380  
Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

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Date: 1/10/2018  
To: Board of Supervisors  
From: Mark Gordon, Township Zoning Officer *mlb*  
Re: East Goshen Elementary Land Development Application

Dear Board Members,

The WCASD has submitted a LD application for review and approval for the East Goshen Elementary School Property. The district proposes to renovate the entire school to including a new two story addition for additional classrooms, a complete fire suppression system and a single story addition on the rear of the school for a reading resource lab.

This application has been reviewed by the Township Engineer, CCPC, and the Township Conservancy Board; resulting in minor comments.

The District is requesting nine separate waivers from the Land Development Ordinance and the Stormwater Management Ordinance which are all acceptable to the Township Engineer and Staff.

**Items to be discussed:**

The CCPC Recommends adding sidewalks to the N. Chester Road frontage of the property. The applicant can discuss their opinion on this recommendation however the Township has not identified this stretch of N. Chester Rd. for any enhanced bicycle or pedestrian access. Additionally the School District policy prohibits students to walk to the East Goshen Elementary School. The East Goshen Elementary School property will have access to the future Paoli Pike Trail along Paoli Pike. This pedestrian access is a safer option rather than installing sidewalks along N. Chester Road.

The CCPC has also commented on the existence of wet soils n the property which the applicant has also identified as a limiting factor for the management of stormwater. The proposed project actually results in a net reduction of impervious coverage on the property. This is why the Township engineer and staff have no issue with their request for waivers from two sections of the SWM ordinance.

**Recommendation:**

The Township engineer has reviewed the final plan and has no further concerns and believes the waivers requested are appropriate. Staff is confident that the conditions below can and will be addressed by the applicant and will insure that they are accomplished over the course of the project.

**Draft Motion:**

Mr. Chairman, I move that we approve the waiver requests and the Land Development Plan for the East Goshen Elementary School dated 4/28/2017 last revised 1/5/2018 with the following conditions:

1. In an effort to address the parking shortages for special events at the school, the Applicant shall begin conversations with the Township to use the Township Building parking lot for overflow parking during special school events.
2. The Applicant shall petition PennDOT to relocate and supplement the "School Zone" flashing lights on N. Chester Rd. and E. Boot Rd. to improve safety at the school entrances on North Chester Rd.
3. The Applicant shall follow all applicable Federal, State and Local laws and ordinances.

EAST GOSHEN TOWNSHIP  
PLANNING COMMISSION

1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

January 5, 2018

East Goshen Township  
Board of Supervisors  
1580 Paoli Pike  
West Chester, Pa. 19380

Re: WCASD Land Development for East Goshen Elementary School

Dear Board Members:

At their meeting on January 3, 2018 the Planning Commission voted unanimously in favor of the following motion:

Mr. Chairman, I move that the Planning Commission support the waiver requests and recommend approval of the Land Development Plan for the East Goshen Elementary School dated 4/28/2017 last revised 11/28/2017 with the following conditions:

1. The Applicant shall address all comments in the Township Engineers' review letter dated December 19<sup>th</sup>, 2017 and submit revised plans to the Township.
2. The Applicant shall follow all applicable Federal, State and Local laws and ordinances.
3. In an effort to address the parking concerns for special events at the school, the Applicant shall begin conversations with the Township to use the Township Building parking lot for overflow parking during special school events.
4. The Applicant shall petition PennDOT to relocate and supplement the "School Zone" flashing lights on N. Chester Rd. and E. Boot Rd. to improve safety at the school entrances on North Chester Rd.

Sincerely,



Mark A. Gordon  
Township Zoning Officer



EAST GOSHEN TOWNSHIP  
CHESTER COUNTY, PA

FILE

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: 10/28/2017

Application for (Circle one):

Subdivision  Land Development  Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: West Chester Area School District c/o Kevin Campbell

Address: 782 Springdale Drive, Exton, PA 19341 Phone: (484) 266-1260

Fax: \_\_\_\_\_ Email: KCAMPBELL@wcasd.k12.pa.us

2. Name and address of present owner (if other than 1. above)

Name: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

3. Location of plan: 800 N. Chester Road, West Chester, PA 19830

4. Proposed name of plan: Proposed Building Addition (East Goshen Elementary School)

5. County Tax Parcel No.: 53-4-78.0E Zoning District: R-2; Low Density Residential District

6. Area of proposed plan (ac.): 18.085 Acres Number of lots: 1

7. Area of open space (ac.): Maintained as existing

8. Type of structures to be constructed: Building Addition

9. What provisions are to be made for water supply and sanitary sewer? Only building

additions are proposed and will be serviced by existing sanitary sewer and water.

10. Linear feet of road to be constructed: N/A

11. Name of Engineer: Bohler Engineering PA, LLC c/o George J. Hartman III, P.E.

Phone Number: (215) 996-9100 Fax: (215) 996-9102

Email address: ghartman@bohlereng.com



EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

12. Name of Land Planner: Bohler Engineering PA, LLC c/o George J. Hartman III, P.E.  
Phone Number: (215) 996-9100 Fax: (215) 996-9102  
Email address: ghartman@bohlereng.com

- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

**NOTICE**

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.

*George J. Hartman III*  
Owner Signature  
West Chester Area School District

*George J. Hartman III*  
Applicant Signature

**Administrative Use**

Fees received from applicant \$ 350<sup>00</sup> basic fee, plus \$ — per lot

For — lots = \$ 350<sup>00</sup>

Application and plan received by: *Michelle L. ...* Date: 11/29/2017  
(Signature)

Application accepted as complete on: 11/29/2017  
(Date)

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

\* Review the formal Planning Commission review procedure on page five.

Application for (Circle all appropriate):     Subdivision  Land Development

**Applicant Information:**

Name of Applicant: West Chester Area School District c/o Kevin Campbell

Address: 782 Springdale Drive, Exton, PA 19341

Telephone Number: (484) 266-1260 Fax: \_\_\_\_\_

Email Address: KCAMPBELL@wcasd.k12.pa.us

Property Address: 800 N. Chester Road, West Chester, PA 19830

**Property Information:**

Owner's Name: West Chester Area School District

Address: 800 N. Chester Road, West Chester, PA 19830

Tax Parcel Number: 53-4-78.0E Zoning District: R-2, Low Density Residential District Acreage: 18.085

**Description of proposed subdivision and or land Development:**

The West Chester Area School District proposes to demolish a portion of the existing East Goshen Elementary School and replace it with a 1-story, 2,240 sq addition in an alternate location. An additional 1-story portion of the existing building is proposed to be demolished and replaced with a 2-story, 21,248 sf (Gross) addition in place.

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

**Application Process Checklist (Administrative use only):**

<u>Item</u>	<u>Date Complete</u>
1. Completed Township Application Form: .....	<u>11-23-17</u>
2. Township application and review fees paid:.....	<u>11</u>
3. County Act 247 Form complete: .....	<u>11</u>
4. Appropriate County Fees included: .....	<u>11</u>
5. 11 Copies of sealed Sub / LD plans: .....	<u>11</u>
6. 11 copies of other required plans:	
a. Landscape: (sealed).....	<u>11</u>
b. Conservancy: (sealed).....	<u>NA</u>
c. Stormwater Management: (sealed).....	<u>11</u>
7. Three copies of the stormwater report and calculations: .....	<u>11</u>
8. Copies of supplementary studies, if required:	
a. Traffic Impact Study:.....	<u>NOT INCLUDED</u>
b. Water Study: .....	<u>NOT INCLUDED</u>

Application accepted on 11/29/2017 by MARL A. GORDON

Official Signature  Title Zoning Officer

**Review Process Checklist (Administrative use only)**

<u>Item</u>	<u>Date Complete</u>
1. Date of first formal Planning Commission Meeting following complete submission of application, (Day 1):.....	<u>12-6-17</u>
Date Abutting property letter sent: .....	<u>11-30-17</u>
2. Date presented to Planning Commission: .....	<u>12-6-2017</u>
3. Date submitted to CCPC: .....	<u>11-30-2017</u>
4. Date submitted to Township Engineer: .....	<u>11-30-2017</u>
5. Date by which the PC must act, (Day 70): .....	<u>2-14-2018</u>
6. Date by which Board of Supervisors must act, (Day 90): .....	<u>3-6-2018</u>
7. Date sent to CB: .....	<u>11-30-17</u>
8. Date sent To MA: .....	<u>11</u>
9. Date sent to HC: .....	<u>NA</u>
10. Date sent to PRB: .....	<u>11-30-17</u>
11. Date sent to TAB: .....	<u>11</u>

January 10, 2018

EGOST 00125

Mark Miller  
Director of Public Works  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

**RE: East Goshen Elementary School Expansion  
School Speed Limit Flasher Upgrades**

Dear Mark:

As requested, we have reviewed the existing 15-mph School Speed Limit Flasher (Permit S-1413). We offer the following recommendations:

1. Current school flashers along N. Chester Road (SR 0352) are pedestal mounted. These should be replaced with overhead mast arm mounted school flashers. In addition, "YOUR SPEED RADAR SPEED DISPLAY" indicators should be provided;
2. The northbound N. Chester Road (SR 0352) flasher should be relocated approximately 150 feet south of the intersection of N. Chester Road (SR 0352) and Boot Road;
3. A pedestal mounted school flasher should be added along Boot Road approximately 200 feet east of the intersection of N. Chester Road (SR 0352) and Boot Road;
4. Due to proximity of historic structures, mast arms and pedestals should be powder coated black; and
5. All "END SCHOOL ZONE" signs should be replaced with new signs located across from each flasher support.

A revised flasher permit plan incorporating the above comments should be submitted to the Township for review prior to submission to PennDOT. Note, PennDOT may require an updated TE-160 application and accompanying resolution.

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

**PENNONI**



Nathan M. Cline, PE  
Township Engineer

cc: Rick Smith, Township Manager (via e-mail)



January 11, 2018

EGOST 00125

Mark A. Gordon  
Director of Code Enforcement/Zoning Officer  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

**RE: East Goshen Elementary School Expansion  
Preliminary/Final Land Development – 2<sup>nd</sup> Submission**

Dear Mark:

As requested, we have reviewed the following information, prepared by Bohler Engineering, regarding the referenced submission:

- *“Proposed Building Addition (East Goshen Elementary School)”* (seven sheets) dated April 28, 2017, last revised January 05, 2018;
- *“General Project Description and Preliminary Stormwater Management Calculations”* dated November 28, 2017;
- Subdivision and Land Development application; and
- Response letter dated January 9, 2018.

The owner/applicant, West Chester Area School District c/o Kevin Campbell, proposes to demolish a 1-story portion of the existing school and replace it with a 2-story addition (21,792 SF). Further, they propose to demolish a 2,863 SF portion of the existing school and replace it with a 1-story, 2,221 SF addition in an alternate location. The parcel (UPI No. 53-4-78) is located on the west side of North Chester Road (SR 352) approximately 700 feet south of its intersection with Paoli Pike, within the R-2 Low Density Residential District. The school is currently served by public water and sanitary sewer.

The applicant has requested the following nine (9) waivers:

1. From §195-20.C – requiring infiltration for a redevelopment;
2. From §195-22.A – requiring peak runoff rates for redevelopment to be reduced in the post-development to the pre-development peak rates for the same storm event;
3. From §205-28 – requiring a separate preliminary and final plan submission;
4. From §205-30.B(5) – requiring preliminary plans to show the names of all abutting property owners;
5. From §205-30.B(10) – requiring preliminary plans to show all existing features within 50 feet of the property line;
6. From §205-31 – requiring a separate preliminary and final plan submission;
7. From §205-33.B(5) – requiring a final plan to show the names of all abutting property owners;
8. From §205-33.B(10) – requiring a final plan to show all existing features within 50 feet of the property line; and
9. From §240-38.10 – requiring a Historic Resource Impact Study.

*We have discussed the proposed work and our previous comments with the applicant's engineer and Township staff and all comments from our December 19, 2017 review letter have been adequately addressed.*

Should you have any further questions or comments, please contact the undersigned.

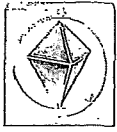
Sincerely,

**PENNONI**



Nathan M. Cline, PE  
Township Engineer

cc: George Hartmann, PE, Bohler Engineers (via e-mail)  
Kevin Campbell, West Chester Area School District (via e-mail)  
Rick Smith, Township Manager (via e-mail)  
Mark Miller, Public Works Director (via e-mail)



**BOHLER**<sup>TM</sup>  
ENGINEERING

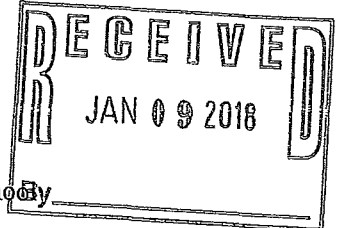
1600 Manor Drive, Suite 200  
Chalfont, PA 18914  
PHONE 215.996.9100  
FAX 215.996.9102

January 9, 2018  
Via Courier

East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Attention: Mark Gordon

Re: Proposed Building Addition  
East Goshen Elementary School  
800 N. Chester Road  
East Goshen Township  
Chester County, PA  
PC161321



Dear Mark:

Regarding the above referenced project, enclosed please find the following:

- Eight (8) copies of the *Proposed Building Addition (East Goshen Elementary School) Plans*, dated 4/28/17, Revision 2, dated 1/5/18, sheets 1-7 of 7.
- Eight (8) copies of the *Proposed Floor Plan with Faculty Count*, dated 1/3/18, prepared by Blackney Hayes Architects.

The enclosed items have been revised in accordance with the following consultant's review letters: Pennoni's review letter, dated 12/19/17; and The County of Chester's review letter dated 12/15/17.

**Pennoni's review letter, dated 12/19/17:**

1. *The applicant has indicated that the project will result in a net decrease in impervious area on the site. The practical application of this reduction results in a decrease in the volume and rate of stormwater leaving the site. The applicant has also provided infiltration testing results that demonstrate unfavorable subsurface conditions. As an alternative to subsurface infiltration, the applicant proposes soil amendments in accordance with the Pennsylvania Department of Environmental Protection's Best Management Practices Manual. It is our opinion that for this project, the combination of impervious area reduction and amended soils will meet the intent of the Stormwater Management Ordinance and preserve the integrity of the downstream waterways.*

**No plan revisions required.**

2. *Per §195-39, the Township requests a note be added to the plans stating the following:*

*"A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement."*

**Per conversations with the Township Engineer, a stormwater management easement is not required for this project as the only best management practice that is proposed is soil amendments which will not require maintenance after installation.**

3. *The applicant is reminded that an O&M Agreement must be executed with the Township. (§195-27.F(2))*

**Per conversations with the Township Engineer, a stormwater management O&M Agreement is not required for this project as the only best management practice that is proposed is soil amendments which will not require maintenance after installation.**

**The County of Chester's review letter, dated 12/15/17:**

**LANDSCAPES:**

1. *The project site is located within the Suburban and Natural Landscape designations of Landscapes2, the 2009 County Comprehensive Plan. The proposed land development is consistent with the objectives of the Suburban Landscape.*

**No plan revisions required.**

**WATERSHEDS:**

2. *Watersheds, the water resources component of Landscapes2, indicates the proposed development is located within the Ridley Creek watershed. Watersheds' highest priority land use objectives within this watershed are: reduce stormwater runoff, protect vegetated riparian corridors, and protect/enhance water-based recreation, cultural, historic resources and public access. Watersheds can be accessed at [www.chesco.org/water](http://www.chesco.org/water).*

**Impervious cover is being reduced as part of this development and soil amendments are proposed to provide volume attenuation for stormwater. No increase in runoff from the site is anticipated.**

**PRIMARY ISSUES:**

3. *We recommend that the applicant extend the existing sidewalk network to the adjoining parcels along Chester Road. In addition to sidewalks being an essential design element in the Suburban Landscape, Landscapes2 recommends that a safe network of bicycle and pedestrian links be provided within and between residential, employment, commercial, educational, public, and recreational land uses (Transportation Policy T2.1). Furthermore, the project site is located within the Town Center designation of the Future Land Use Plan map in the Township's 2015 Comprehensive Plan; one of the key elements of the Township's Future Land Use Plan is to transform the Town Center into a viable, walkable, visitable place.*

**Per discussion at the East Goshen Township Planning Commission meeting on 1/3/18, it was discussed that no sidewalks would be provided as part of this project since the school district does not allow students to walk to this school. Additionally it was discussed that the Township would not require sidewalk to be provided for consistency with the township master plan.**

4. *The site plan depicts an existing 40 foot wide right-of-way on Chester Road (Route 352). The County Planning Commission's Multi-Modal Circulation Handbook (2016 Update), which is available online at [www.chescoplanning.org/resources/PubsTransportation.cfm](http://www.chescoplanning.org/resources/PubsTransportation.cfm), classifies Route 352 as a minor arterial road. The Handbook (page 183) recommends a 100 foot-wide right-of-way for minor arterial roads in suburban areas to accommodate future road and infrastructure improvements. We recommend that the applicant and the contact PennDOT to determine the appropriate right-of-way to be reserved for this section of Route 352. We suggest that this area be identified as a dedicated right-of-way, and be offered for dedication to the appropriate agency.*

**Per discussion at the East Goshen Township Planning Commission meeting on 1/3/18, it was discussed that no additional right-of-way should be offered for dedication at this time. It was discussed, however, that should PennDOT require additional right-of-way in the future for any improvements to Chester Road that the school district may be required to dedicate additional right-of-way at such time.**



5. *The site contains areas of hydric (wet) soils (GdB Gladstone and Ha Haiboro) which have limitations to development. These limitations include drainage problems due to low permeability, low runoff rates and sub-surface saturation. When construction takes place on these soils, it interferes with the natural drainage of the land. On-site alterations to existing drainage patterns should be carefully inspected by the Township Engineer to insure that off-site drainage conditions are not negatively affected.*

**No alterations to existing drainage patterns are proposed as part of this project.**

ADMINISTRATIVE ISSUES:

6. *The applicant is requesting two waivers from Chapter 195-Stormwater Management of the Township Code, six waivers from the provisions of the Township Subdivision and Land Development Ordinance, and a waiver from the historic resource impact study requirements in Section 240-38.10 of the Township Zoning Ordinance (we acknowledge that Section 240-38.10 states that the impact study requirements can be waived by the Board of Supervisors in the situations specified in this section of the Code). Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage. Additionally, the Township should ensure that proposed stormwater waiver requests can technically be granted under the requirements of the Stormwater Management Ordinance.*

**Per the Township Engineer's review letter, the proposed stormwater management approach for this development meets the intent of the Township's Stormwater Management Ordinance.**

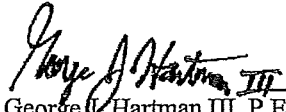
7. *A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.*

**Four (4) copies of the final plan will be provided to the Chester County Planning Commission prior to recording.**

Should you have any questions or require additional information, please contact our office.

Sincerely,

**BOHLER ENGINEERING PA, LLC**

  
George W. Hartman III, P.E.  
Project Manager

CC/af

encs.

cc: Nate Cline – Pennoni (via Newforma)  
Kevin Campbell – West Chester Area School District (via Newforma)  
Mark Groves – West Chester Area School District (via Newforma)  
Darin Jellison – Blackney Hayes Architects (via Newforma)  
Tim O'Kane – Blackney Hayes Architects (via Newforma)  
Bob McCullen – Snyder Hoffman Associates Inc. (via Newforma)  
Fred Reese – Snyder Hoffman Associates Inc. (via Newforma)

JOHN MILNER ARCHITECTS  
DESIGN & PRESERVATION



December 12, 2017

Mr. Mark A. Groves  
Facilities & Operations  
West Chester Area School District  
1181 McDermott Drive  
West Chester, PA 19380

Re: East Goshen Elementary School

Dear Mr. Groves:

It was my pleasure to meet with you and Mr. Burns at the school site and to review the plans for renovations to the building and immediate site. Based on the Township Zoning Ordinance, I understand that consideration must be given to the impact such renovations may have on any designated historic resources within a 250-foot radius of the school's property line. It is further understood that there are five (5) historic resources within this radius. Four (4) of these are Class I Resources that comprise the Goshenville Historic District at 724, 734, 810 and 814 North Chester Road. The other one is a Class II Historic Resource at 732 North Chester Road, but which is non-contributing to this Historic District.

Given that East Goshen Elementary has been an active (and evolving) entity since the 1960s, the context of the Historic District and adjacent non-contributing resource has already been compromised in this regard. The buildings themselves, however, have not been impacted by the construction of the school.

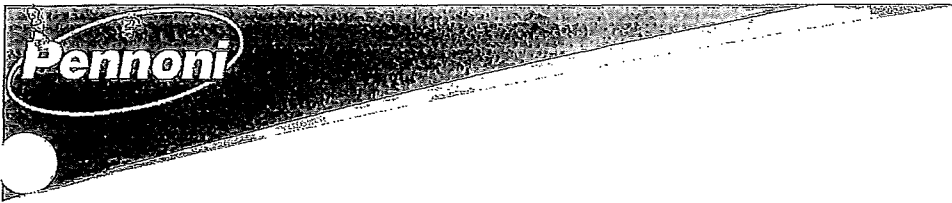
It is my opinion, therefore, in reviewing your currently proposed plans (dated November 7, 2017) for the additions and renovations, that there would be no negative impact on the surrounding historic buildings. Should the Township Planning Commission require a landscape buffer be installed along the southern property, I would certainly be in agreement. Please contact me if you require further input on my part.

Sincerely yours,

A handwritten signature in cursive script that reads "Mary W. DeNadai".

Mary Werner DeNadai, FAIA  
Principal

MWD/m



One South Church Street  
Second Floor  
West Chester, PA 19382  
T: 610-429-8907  
F: 610-429-8918

[www.pennoni.com](http://www.pennoni.com)

December 19, 2017

EGOST 00125

Mark A. Gordon  
Director of Code Enforcement/Zoning Officer  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

**RE: East Goshen Elementary School Expansion  
Preliminary/Final Land Development**

Dear Mark:

As requested, we have reviewed the following information, prepared by Bohler Engineering, regarding the referenced submission:

- *"Proposed Building Addition (East Goshen Elementary School)"* (six sheets) dated April 28, 2017, last revised November 28, 2017;
- *"General Project Description and Preliminary Stormwater Management Calculations"* dated November 28, 2017; and
- Subdivision and Land Development application.

The owner/applicant, West Chester Area School District c/o Kevin Campbell, proposes to demolish a 1-story portion of the existing school and replace it with a 2-story addition (21,248 SF). Further, they propose to demolish a 2,863 SF portion of the existing school and replace it with a 1-story, 2,240 SF addition in an alternate location. The parcel (UPI No. 53-4-78) is located on the west side of North Chester Road (SR 352) approximately 700 feet south of its intersection with Paoli Pike, within the R-2 Low Density Residential District. The school is currently served by public water and sanitary sewer.

The applicant has requested the following nine (9) waivers:

1. From §195-20.C – requiring infiltration for a redevelopment;
2. From §195-22.A – requiring peak runoff rates for redevelopment to be reduced in the post-development to the pre-development peak rates for the same storm event;
3. From §205-28 – requiring a separate preliminary and final plan submission;
4. From §205-30.B(5) – requiring preliminary plans to show the names of all abutting property owners;
5. From §205-30.B(10) – requiring preliminary plans to show all existing features within 50 feet of the property line;
6. From §205-31 – requiring a separate preliminary and final plan submission;
7. From §205-33.B(5) – requiring a final plan to show the names of all abutting property owners;
8. From §205-33.B(10) – requiring a final plan to show all existing features within 50 feet of the property line; and
9. From §240-38.10 – requiring a Historic Resource Impact Study.

We offer the following comments:

1. The applicant has indicated that the project will result in a net decrease in impervious area on the site. The practical application of this reduction results in a decrease in the volume and rate of stormwater leaving the site. The applicant has also provided infiltration testing results that demonstrate unfavorable subsurface conditions. As an alternative to subsurface infiltration, the applicant proposes soil amendments in accordance with the Pennsylvania Department of Environmental Protection's Best Management Practices Manual. It is our opinion that for this project, the combination of impervious area reduction and amended soils will meet the intent of the Stormwater Management Ordinance and preserve the integrity of the downstream waterways.
2. Per §195-39, the Township requests a note be added to the plans stating the following:  
  
*"A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement."*
3. The applicant is reminded that an O&M Agreement must be executed with the Township. (§195-27.F(2))

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

**PENNONI**



Nathan M. Cline, PE  
Township Engineer

cc: George Hartmann, PE, Bohler Engineers (via e-mail)  
Kevin Campbell, West Chester Area School District (via e-mail)  
Rick Smith, Township Manager (via e-mail)  
Mark Miller, Public Works Director (via e-mail)

# EAST GOSHEN CONSERVANCY

December 14, 2017

East Goshen Township  
Planning Commission  
1580 Paoli Pike  
West Chester, Pa. 19380

Re: WCASD / East Goshen Elementary Land Development Plan  
Landscaping

Dear Commission Members:

At their meeting on December 13, 2017 the Conservancy Board voted unanimously in favor of the following motion:

“Madame Chairman, I move that we recommend approval of the landscape plan presented as part of the WCASD Land Development plans for the proposed renovations to East Goshen Elementary school. “

Sincerely,



Mark A. Gordon  
Zoning Officer



# THE COUNTY OF CHESTER



## COMMISSIONERS

Michelle Kichline  
Kathi Cozzone  
Terence Farrell

Brian N. O'Leary, AICP  
Executive Director

## PLANNING COMMISSION

Government Services Center, Suite 270  
601 Westtown Road  
P. O. Box 2747  
West Chester, PA 19380-0990  
(610) 344-6285 Fax (610) 344-6515

December 15, 2017

Louis F. Smith, Jr., Manager  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Re: Preliminary/Final Land Development - Proposed Building Addition (East Goshen Elementary School)  
# LD-12-17-15205 - East Goshen Township

Dear Mr. Smith:

A Preliminary/Final Land Development Plan entitled "Proposed Building Addition (East Goshen Elementary School)", prepared by Bohler Engineering, and dated April 28, 2017, and last revised on November 28, 2017, was received by this office on November 30, 2017. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

### PROJECT SUMMARY:

Location:	the west side of North Chester Road (Route 352), south of Paoli Pike
Site Acreage:	18.08
Lots/Units:	1 lot
Non-Res. Square Footage:	25,013
Proposed Land Use:	Additions to Existing School Building
Municipal Land Use Plan Designation:	Town Center
UPI#:	53-4-78-E

### PROPOSAL:

The applicant proposes the construction of two additions totaling 25,013 square feet to the existing elementary school building. The project site, which is served by public water and public sewer, is located in the R-2 Low Density Suburban Residential zoning district.

**RECOMMENDATION:** The County Planning Commission recommends that the issues raised in this letter should be addressed and all East Goshen Township issues should be resolved before action is taken on this land development plan.



Page: 2

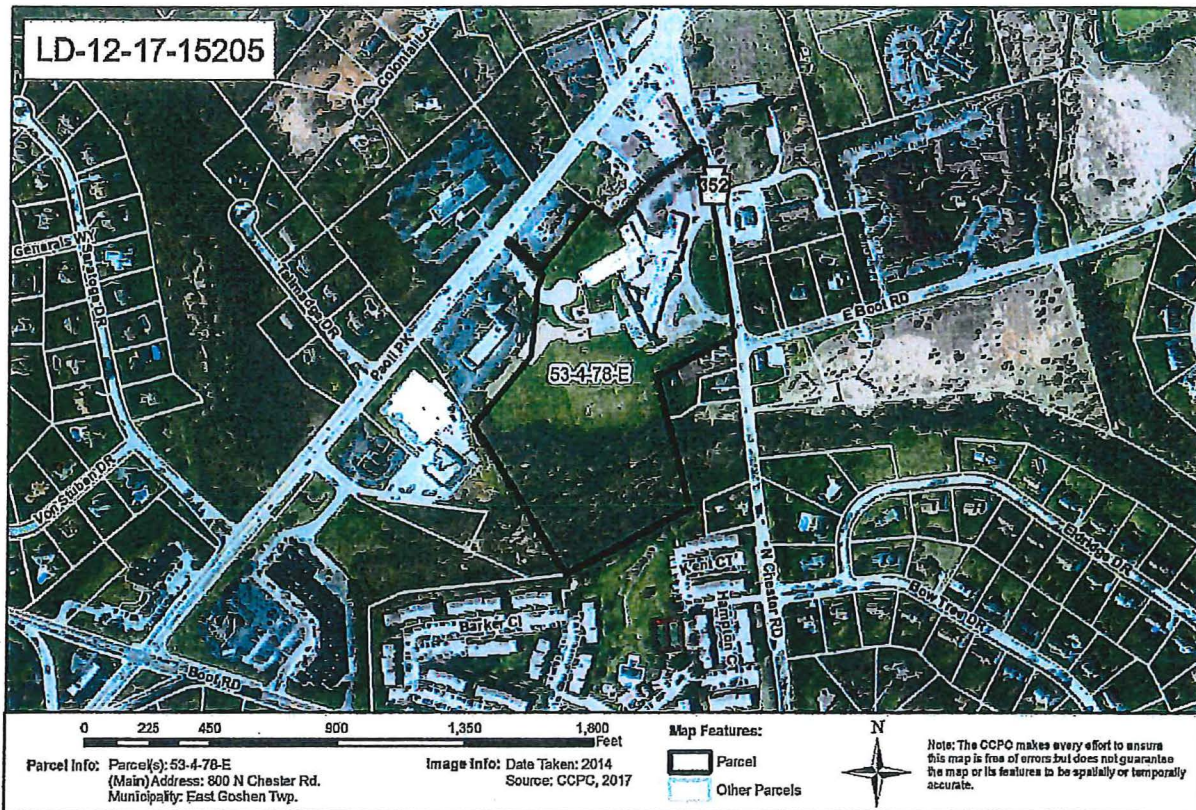
Re: Preliminary/Final Land Development - Proposed Building Addition (East Goshen Elementary School)

# LD-12-17-15205 - East Goshen Township

**COUNTY POLICY:**

**LANDSCAPES:**

1. The project site is located within the **Suburban** and **Natural Landscape** designations of *Landscapes2*, the 2009 County Comprehensive Plan. The proposed land development is consistent with the objectives of the **Suburban Landscape**.



**WATERSHEDS:**

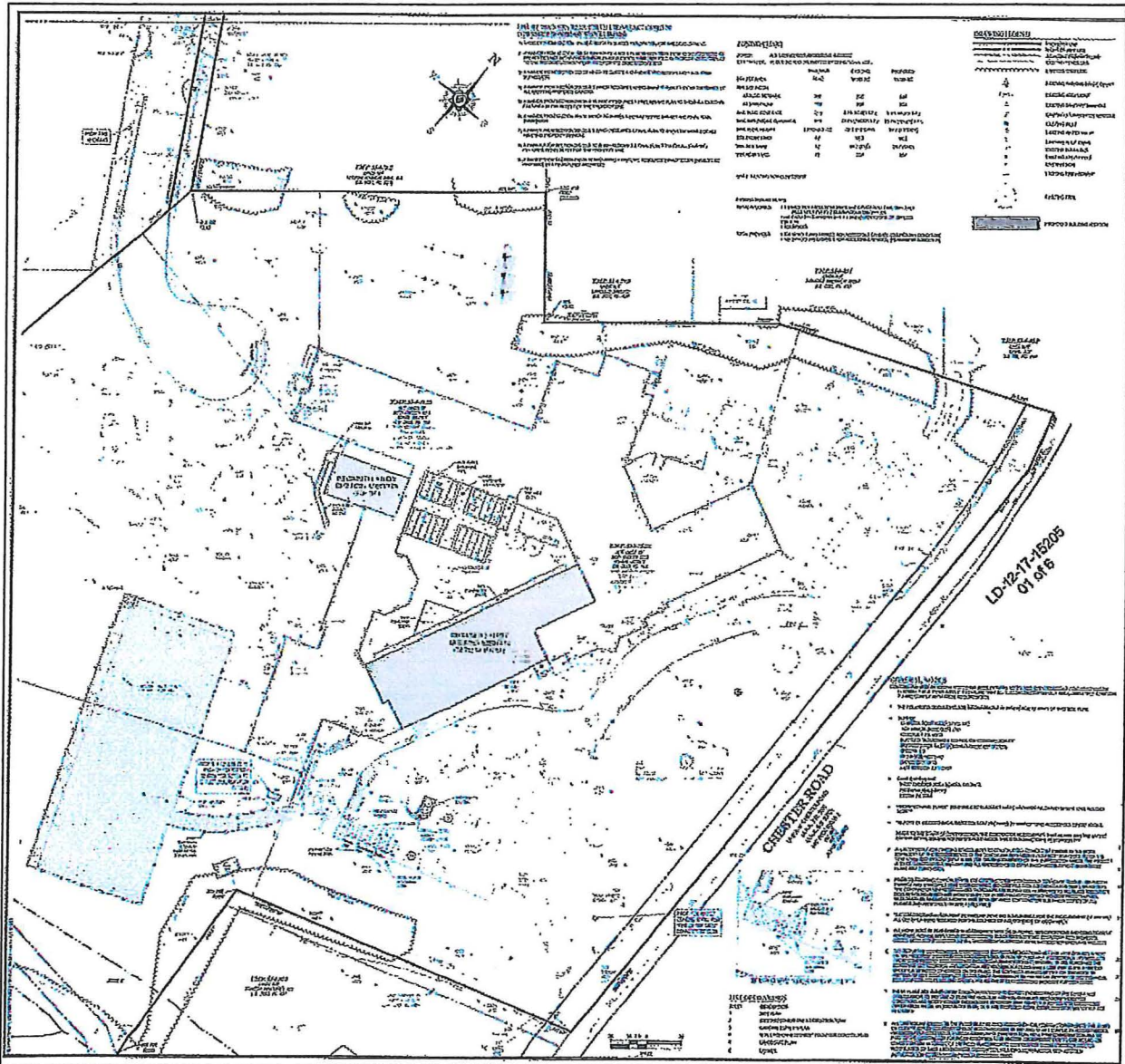
2. *Watersheds*, the water resources component of *Landscapes2*, indicates the proposed development is located within the Ridley Creek watershed. *Watersheds'* highest priority land use objectives within this watershed are: reduce stormwater runoff, protect vegetated riparian corridors, and protect/enhance water-based recreation, cultural, historic resources and public access. *Watersheds* can be accessed at [www.chesco.org/water](http://www.chesco.org/water).

**PRIMARY ISSUES:**

3. We recommend that the applicant extend the existing sidewalk network to the adjoining parcels along Chester Road. In addition to sidewalks being an essential design element in the Suburban Landscape, *Landscapes2* recommends that a safe network of bicycle and pedestrian links be provided within and between residential, employment, commercial, educational, public, and recreational land uses (Transportation Policy T2.1). Furthermore, the project site is located within



the Town Center designation of the Future Land Use Plan map in the Township's 2015 Comprehensive Plan; one of the key elements of the Township's Future Land Use Plan is to transform the Town Center into a viable, walkable, visitable place.



Plan Detail, Sheet 1 - Proposed Building Addition (East Goshen Elementary School)

4. The site plan depicts an existing 40 foot wide right-of-way on Chester Road (Route 352). The County Planning Commission's Multi-Modal Circulation Handbook (2016 Update), which is available online at [www.chescoplanning.org/resources/PubsTransportation.cfm](http://www.chescoplanning.org/resources/PubsTransportation.cfm), classifies Route 352 as a minor arterial road. The Handbook (page 183) recommends a 100 foot-wide right-of-way for minor arterial roads in suburban areas to accommodate future road and infrastructure improvements. We recommend that the applicant and the contact PennDOT to determine the appropriate right-of-way to be reserved for this section of Route 352. We suggest that this area be identified as a dedicated right-of-way, and be offered for dedication to the appropriate agency.



Page: 4

Re: Preliminary/Final Land Development - Proposed Building Addition (East Goshen Elementary School)

# LD-12-17-15205 - East Goshen Township

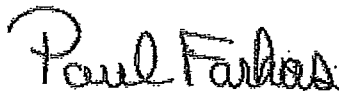
5. The site contains areas of hydric (wet) soils (GdB Gladstone and Ha Hatboro) which have limitations to development. These limitations include drainage problems due to low permeability, low runoff rates and sub-surface saturation. When construction takes place on these soils, it interferes with the natural drainage of the land. On-site alterations to existing drainage patterns should be carefully inspected by the Township Engineer to insure that off-site drainage conditions are not negatively affected.

ADMINISTRATIVE ISSUES:

6. The applicant is requesting two waivers from Chapter 195-Stormwater Management of the Township Code, six waivers from the provisions of the Township Subdivision and Land Development Ordinance, and a waiver from the historic resource impact study requirements in Section 240-38.10 of the Township Zoning Ordinance (we acknowledge that Section 240-38.10 states that the impact study requirements can be waived by the Board of Supervisors in the situations specified in this section of the Code). Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage. Additionally, the Township should ensure that proposed stormwater waiver requests can technically be granted under the requirements of the Stormwater Management Ordinance.
7. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas  
Senior Review Planner

cc: West Chester Area School District  
Bohler Engineering  
Matthew Miele, District Permits Manager, PennDOT  
Francis J. Hanney, P.E., PennDOT  
Chester County Conservation District

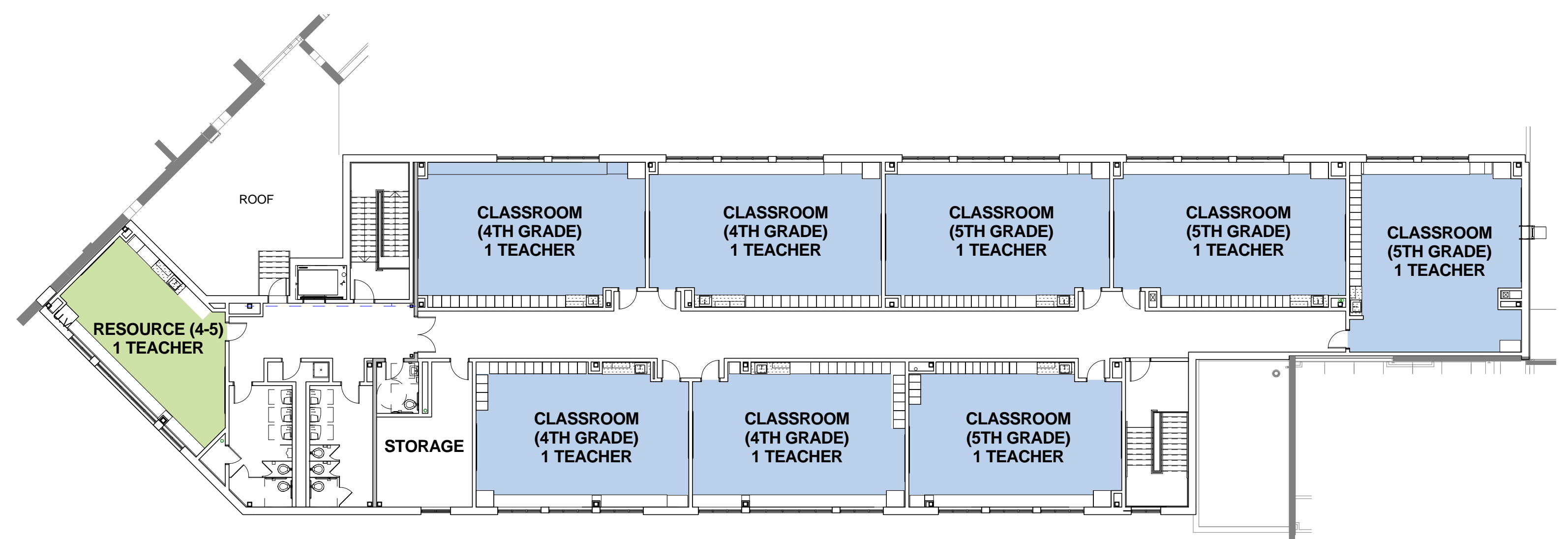
**LEGEND**

CLASSROOM	23
FACULTY/SUPPORT SPACE (OFFICES)	14
SPECIAL EDUCATION	27
SPECIAL PULL-OUT CLASSROOM	15

79 TOTAL FACULTY/STAFF MEMBERS

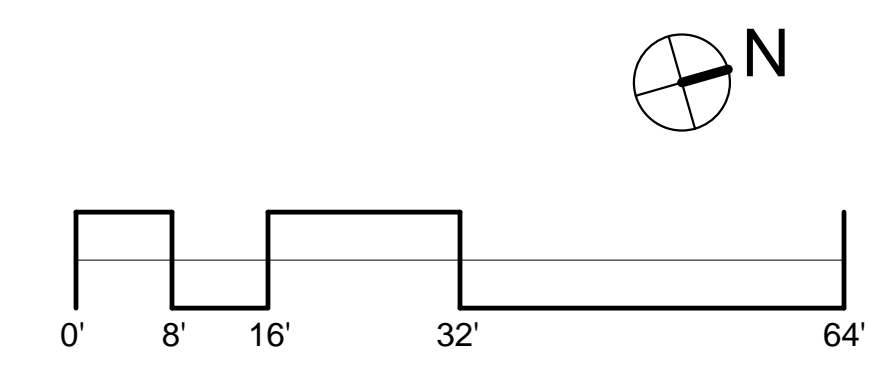


**OVERALL FIRST FLOOR PLAN**



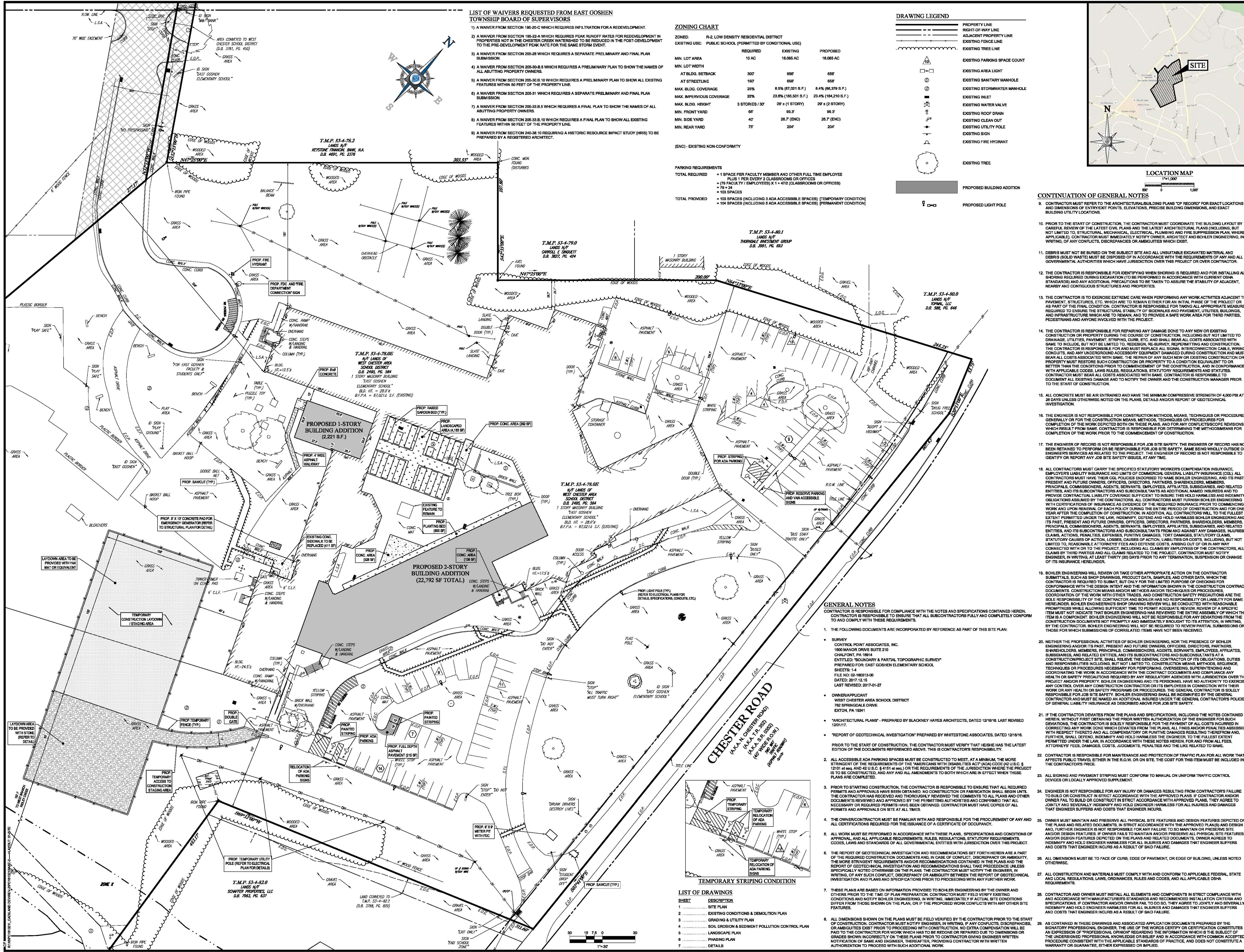
**PARTIAL SECOND FLOOR PLAN**

Renovations & Additions to East Goshen  
Elementary School  
prepared for:  
WEST CHESTER AREA  
SCHOOL DISTRICT  
01/03/18



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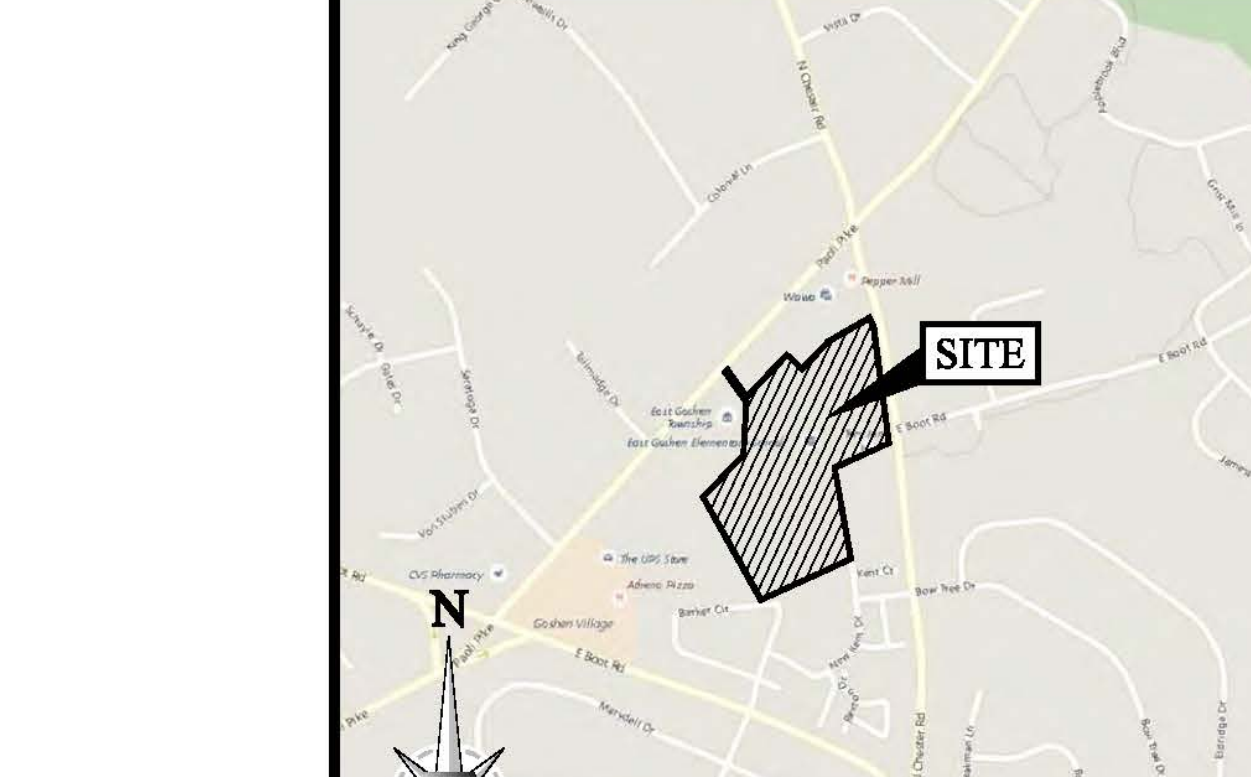
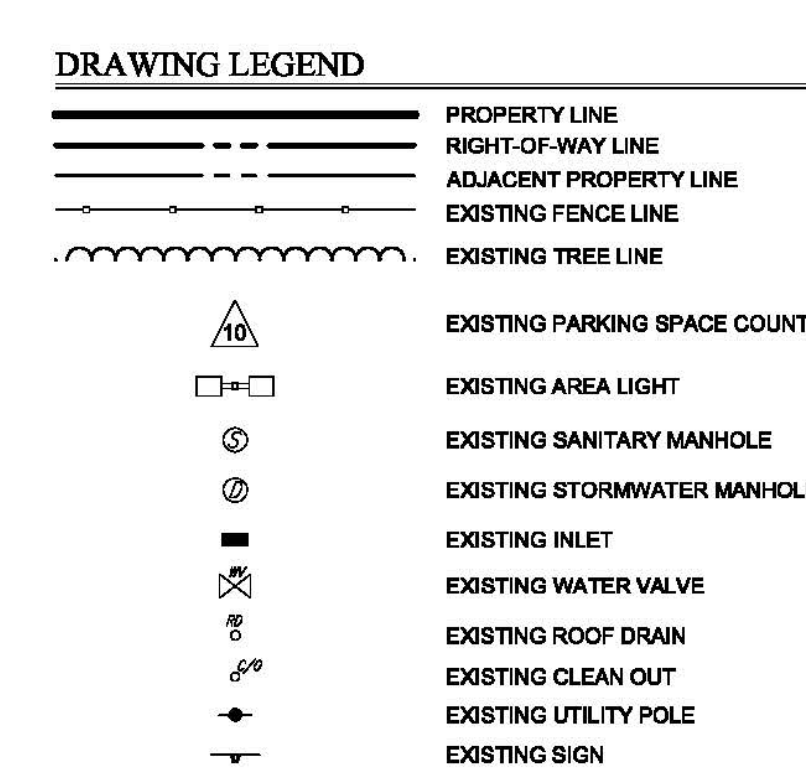


- LIST OF WAIVERS REQUESTED FROM EAST GOSHEN TOWNSHIP BOARD OF SUPERVISORS**
- 1) A WAIVER FROM SECTION 186-20-C WHICH REQUIRES INFILTRATION FOR A REDEVELOPMENT.
  - 2) A WAIVER FROM SECTION 186-22-A WHICH REQUIRES PEAK RUNOFF RATES FOR REDEVELOPMENT IN PROPERTIES NOT IN THE CHESTER CREEK WATERSHED TO BE REDUCED IN THE POST-DEVELOPMENT TO THE PRE-DEVELOPMENT PEAK RATE FOR THE SAME STORM EVENT.
  - 3) A WAIVER FROM SECTION 206-26 WHICH REQUIRES A SEPARATE PRELIMINARY AND FINAL PLAN SUBMISSION.
  - 4) A WAIVER FROM SECTION 205-30-B.5 WHICH REQUIRES A PRELIMINARY PLAN TO SHOW THE NAMES OF ALL ADJUTING PROPERTY OWNERS.
  - 5) A WAIVER FROM SECTION 205-30-B.10 WHICH REQUIRES A PRELIMINARY PLAN TO SHOW ALL EXISTING FEATURES WITHIN 90 FEET OF THE PROPERTY LINE.
  - 6) A WAIVER FROM SECTION 205-31 WHICH REQUIRES A SEPARATE PRELIMINARY AND FINAL PLAN SUBMISSION.
  - 7) A WAIVER FROM SECTION 206-33-B.5 WHICH REQUIRES A FINAL PLAN TO SHOW THE NAMES OF ALL ADJUTING PROPERTY OWNERS.
  - 8) A WAIVER FROM SECTION 206-33-B.10 WHICH REQUIRES A FINAL PLAN TO SHOW ALL EXISTING FEATURES WITHIN 90 FEET OF THE PROPERTY LINE.
  - 9) A WAIVER FROM SECTION 240-38.10 REQUIRING A HISTORIC RESOURCE IMPACT STUDY (HRIS) TO BE PREPARED BY A REGISTERED ARCHITECT.

**ZONING CHART**

ZONED: R-2 LOW DENSITY RESIDENTIAL DISTRICT  
 EXISTING USE: PUBLIC SCHOOL (PERMITTED BY CONDITIONAL USE)

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10 AC	18,065 AC	18,065 AC
MIN. LOT WIDTH			
AT BLDG. SETBACK	300'	650'	650'
AT STREETLINE	150'	650'	650'
MAX. BLDG. COVERAGE	35%	8.5% (87,021 S.F.)	8.4% (86,370 S.F.)
MAX. IMPERVIOUS COVERAGE	35%	23.6% (195,831 S.F.)	23.4% (194,210 S.F.)
MAX. BLDG. HEIGHT	3 STORIES / 30'	2F + 1 (1 STORY)	2F + 1 (2 STORY)
MIN. FRONT YARD	60'	90.3'	99.3'
MIN. SIDE YARD	40'	26.7' (ENC)	26.7' (ENC)
MIN. REAR YARD	70'	204'	204'



**CONTINUATION OF GENERAL NOTES**

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTIRE POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE LATEST CIVIL PLANS AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND BOHLER ENGINEERING, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF EXISTING PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, REPERMITS AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST RECONNECT ALL EXISTING CABLES, WIRING, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH THE REPAIR AND/OR CONSTRUCTION OF SUCH CONSTRUCTION OR PROPERTY MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR REPORTS OF GEOTECHNICAL INVESTIGATION.
16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR CONSTRUCTION OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THIS PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE REQUIREMENTS AND INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE CONTRACT DOCUMENTS, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE CONTRACTOR IS RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO THE ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT ANY CONSTRUCTION PROJECT, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY REGULATIONS AND REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL, HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE WAIVED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE FOR JOB SITE SAFETY.
21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH THESE NOTES HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.
22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL, EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF TRAFFIC PLAN AND OWNER FALL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.
23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPLICABLE SUPPLEMENT.
24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR AND OWNER FALL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS WITH THE APPROVED PLANS AND DESIGN AND, FURTHER, ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH THE CONTRACT DOCUMENTS AND ALL MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
29. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE WORK OR CERTIFICATION OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL ENGINEER'S BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

**PARKING REQUIREMENTS**

TOTAL REQUIRED = 1 SPACE PER FACULTY MEMBER AND OTHER FULL TIME EMPLOYEE PLUS 1 PER EVERY 2 CLASSROOMS OR OFFICES = (78 FACULTY / EMPLOYEES) X 1 + 472 (CLASSROOMS OR OFFICES) = 78 + 24 = 102 SPACES

TOTAL PROVIDED = 103 SPACES (INCLUDING 3 ADA ACCESSIBLE SPACES) (TEMPORARY CONDITION) = 104 SPACES (INCLUDING 5 ADA ACCESSIBLE SPACES) (PERMANENT CONDITION)

**GENERAL NOTES**

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO REQUIRE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
  - SURVEY CONTROL POINT ASSOCIATES, INC. 1600 MANOR DRIVE SUITE 210 CHALFONT, PA 19814 SHEETS: 1-4 FILE NO: DP-190513-00 DATED: 2017.12.15 LAST REVISED: 2017-01-27
  - OWNER/APPLICANT WEST CHESTER AREA SCHOOLS DISTRICT 702 SPRINGDALE DRIVE, EXTON, PA 19341
  - "ARCHITECTURAL PLANS", PREPARED BY BLAKENEY HAYES ARCHITECTS, DATED 12/9/16, LAST REVISED 12/01/17.
  - "REPORT OF GEOTECHNICAL INVESTIGATION" PREPARED BY WHITESTONE ASSOCIATES, DATED 12/16/16.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT THERE IS A MINIMUM, THE MOST STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL AND, APPLICABLE REQUIREMENTS, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
6. THE REPORT OF GEOTECHNICAL INVESTIGATION AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE REPORT OF GEOTECHNICAL INVESTIGATION AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE REPORT OF GEOTECHNICAL INVESTIGATION AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADIES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR OBTAINING ENGINEER'S WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

- LIST OF DRAWINGS**
- | SHEET | DESCRIPTION                                    |
|-------|--|
| 1     | SITE PLAN                                      |
| 2     | EXISTING CONDITIONS & DEMOLITION PLAN          |
| 3     | GRADING & UTILITY PLAN                         |
| 4     | SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN |
| 5     | LANDSCAPE PLAN                                 |
| 6     | PHASING PLAN                                   |
| 7     | DETAILS  |

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
 TRANSPORTATION ENGINEERING  
 TRANSPORTATION ENGINEERING  
 TRANSPORTATION ENGINEERING

1500 MANOR DRIVE, SUITE 210  
 CHALFONT, PA 19814  
 (215) 998-9100  
 FAX: (215) 998-9102  
 WWW.BOHLERENGINEERING.COM

**REVISIONS**

REV	DATE	COMMENT	BY
1	1/28/17	REVISED PER UPDATES	ENP
2	01/05/18	REVISED PER CLIENT COMMENT	MAM

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**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO: PC181321  
 DRAWN BY: G.J. HARTMAN  
 CHECKED BY: G.J. HARTMAN  
 DATE: 2017.04.28  
 SCALE: 1"=20'  
 CADD ID: PC181321BASE-2

**PROPOSED BUILDING ADDITION (EAST GOSHEN ELEMENTARY SCHOOL)**

FOR  
**WEST CHESTER AREA SCHOOL DISTRICT**

800 N. CHESTER ROAD  
 EAST GOSHEN TOWNSHIP  
 CHESTER COUNTY  
 PENNSYLVANIA  
 19380

**BOHLER ENGINEERING**

1600 MANOR DRIVE, SUITE 210  
 CHALFONT, PENNSYLVANIA 19814  
 Phone: (215) 998-9100  
 Fax: (215) 998-9102  
 www.BohlerEngineering.com

**G.J. HARTMAN**

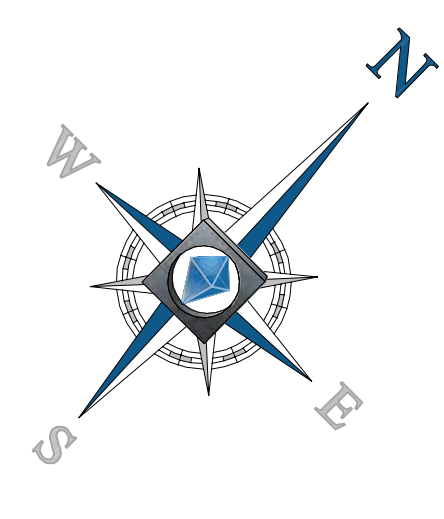
PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PD079633

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
 1 OF 7

REVISION 2 - 2018.01.05





**GENERAL DEMOLITION NOTES**

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
  - SURVEY CONTROL POINT ASSOCIATES, INC. 1600 MANOR DRIVE SUITE 210 CHALFONT, PA 18914 ENTITLED: "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY" PREPARED FOR: EAST GOSHEN ELEMENTARY SCHOOL SHEETS: 1-4 FILE NO: 02-160513-00 DATED: 2017.12.15 LAST REVISED: 2017-01-27
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
  - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.
  - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
  - THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
  - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
  - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
  - IN THE ABSENCE OF SPECIFIC REQUIREMENTS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S GEOTECHNICAL ENGINEER.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
  - THE CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY WHERE REQUIRED.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
  - USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
  - THE CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN

**SOIL DESCRIPTIONS**

SOIL	DESCRIPTION	HYDROLOGIC SOIL GROUP
Gd8	GLADSTONE GRAVELLY LOAM, 3 TO 6 PERCENT SLOPES	B
Hs	HATBORO SILT LOAM	BD

**DRAWING LEGEND**

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING FENCE LINE
---	EXISTING CONTOUR INDEX
---	EXISTING CONTOUR INTERVAL
---	EXISTING STORMWATER PIPE
---	EXISTING SANITARY SEWER PIPE
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	EXISTING OPTIC LINE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING OVERHEAD LINE
---	EXISTING TREE LINE
---	EXISTING PARKING SPACE COUNT
---	EXISTING AREA LIGHT
---	EXISTING SANITARY MANHOLE
---	EXISTING STORMWATER MANHOLE
---	EXISTING WATER VALVE
---	EXISTING FLOOR DRAIN
---	EXISTING CLEAN OUT
---	EXISTING UTILITY POLE
---	EXISTING SIGN
---	EXISTING FIRE HYDRANT
---	EXISTING TREE
---	EXISTING TREE BOX TO BE REMOVED

**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE-CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 20163131545

UTILITY COMPANY	PHONE NUMBER	STATUS	COMMENTS
AQUA PENNSYLVANIA, INC.	610-525-1400	RECEIVED	SHOWN
AT & T	215-233-3474	NOT RECEIVED	NOT SHOWN
COMCAST CABLE COMMUNICATIONS, INC.	215-918-3137	NOT RECEIVED	NOT SHOWN
COMCAST CABLEVISION	215-961-3800	NOT RECEIVED	NOT SHOWN
EAST GOSHEN TOWNSHIP	610-682-7171	NOT RECEIVED	NOT SHOWN
INTERSTATE ENERGY	610-292-8057	RECEIVED	SHOWN
PECO	215-689-3232	NOT RECEIVED	NOT SHOWN
SUNOCO PIPELINE	610-644-7373	NOT RECEIVED	NOT SHOWN
TRANS CONTINENTAL GAS PIPE CORP.	800-479-1919	NOT RECEIVED	NOT SHOWN
VERIZON			

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SITE CIVIL AND CONSULTING ENGINEERING, SURVEYING, ENVIRONMENTAL ENGINEERING, TRANSPORTATION SERVICES, TRANSPORTATION SERVICES

1500 MANOR DRIVE, SUITE 200, CHALFONT, PA 18914

PH: (215) 998-9100, FAX: (215) 998-9102, WWW: www.BohlerEngineering.com

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/28/17	REVISED PER UPDATED BUILDING FOOTPRINT	MAM
2	01/05/18	REVISED PER CLIENT COMMENT	ENP

**CALL BEFORE YOU DIG!**

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR WORKING DAYS IN DESIGN STAGE - STOP CALL

**PAI** POCS SERIAL NUMBER: 20163131545

1-800-242-1776

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO.: PC161321  
 DRAWN BY: E.N.P./S.R.D.  
 CHECKED BY: G.J.H.  
 DATE: 2017.04.28  
 SCALE: 1"=30'  
 CADD ID: PC161321BASE-2

**PROPOSED BUILDING ADDITION (EAST GOSHEN ELEMENTARY SCHOOL)**

**FOR WEST CHESTER AREA SCHOOL DISTRICT**

800 N. CHESTER ROAD  
 EAST GOSHEN TOWNSHIP  
 CHESTER COUNTY  
 PENNSYLVANIA  
 19380

**BOHLER ENGINEERING**

1600 MANOR DRIVE, SUITE 200  
 CHALFONT, PENNSYLVANIA 18914  
 Phone: (215) 998-9100  
 Fax: (215) 998-9102  
 www.BohlerEngineering.com

**G.J. HARTMAN**

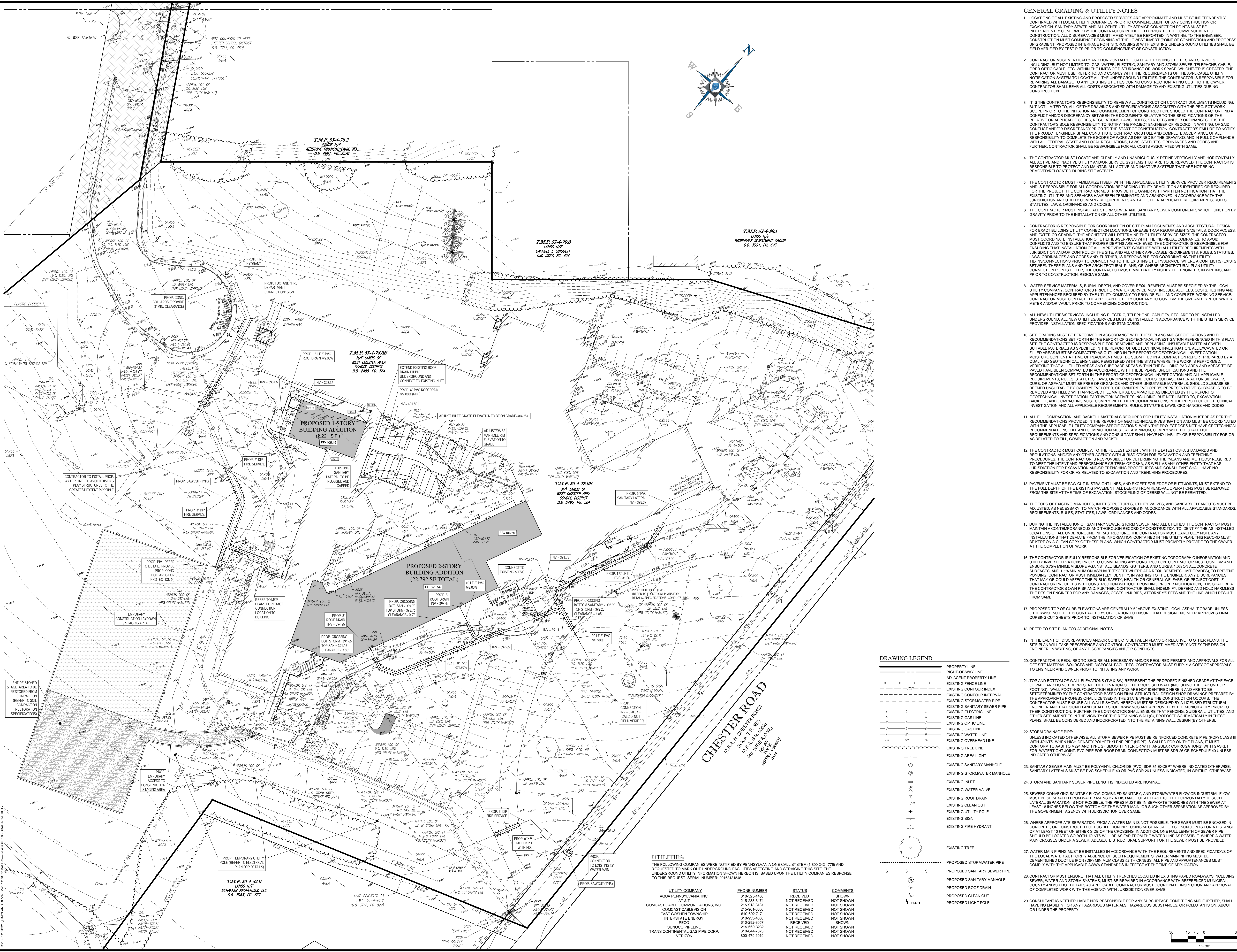
PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE076463

SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER:  
**2 OF 7**

REVISION 2 - 2018.01.05





**GENERAL GRADING & UTILITY NOTES**

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL EXISTING UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE REFER TO AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, TO NOTIFY THE PROJECT ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND SERVICES THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY LOCATION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING CONSTRUCTION LOCATIONS, GRASS TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPERLY INSTALLED UTILITIES ARE ACHIEVED. THE CONTRACTOR FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY THE INTERCONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS, TESTING AND APPURTENANCES REQUIRED BY THE UTILITY COMPANY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE UTILITY COMPANY TO CONFIRM THE SIZE AND TYPE OF WATER METER AND/OR VALVE, PRIOR TO COMMENCING CONSTRUCTION.
- ALL NEW UTILITIES SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE REPORT OF GEOTECHNICAL INVESTIGATION REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE REPORT OF GEOTECHNICAL INVESTIGATION. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE REPORT OF GEOTECHNICAL INVESTIGATION. SUFFICIENT CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED AS A CONTRACT REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPLETED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE REPORT OF GEOTECHNICAL INVESTIGATION AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND OTHER UNUSABLE MATERIALS. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DETERMINED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE REPORT OF GEOTECHNICAL INVESTIGATION. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE REPORT OF GEOTECHNICAL INVESTIGATION AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE REPORT OF GEOTECHNICAL INVESTIGATION AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL.
- THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CONSTRUCTION AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
- PAVEMENT MUST BE SAH CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, UTILITY VALVES, AND SANITARY CLEANOUTS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTINUOUS RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THESE PLANS, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, DUTTERS, AND CURBS. 1.75% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT EXCEPT WHEREAS ABOVE REQUIREMENTS LIMIT GRADIENTS TO PREVENT FLOODING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OCCUR AFFECTING HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, THIS SHALL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FROM ANY DAMAGES, COSTS, INJURIES, AT OTHER'S FEES AND THE LIVES WHICH RESULT FROM SAME.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
- CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.
- TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING). WALL FOOTING FOUNDATION ELEVATIONS ARE NOT DESIGNER INTENT AND ARE TO BE SET DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE ALL WALLS SHOWN HEREON MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND THAT SIGNED AND SEALED SHOP DRAWINGS ARE APPROVED PRIOR TO THE START OF THEIR CONSTRUCTION. FURTHER THE CONTRACTOR SHALL ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALLS, PROPOSED SCHEMATICALLY IN THESE PLANS, SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN (BY OTHERS).
- STORM DRAINAGE PIPE: UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH JOINTS, WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M224 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR WATER TIGHT JOINT. PVC PIPE FOR STORM DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
- SANITARY SEWER MAINS MUST BE POLY(VINYL CHLORIDE) (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERALS MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.
- STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL.
- SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY, AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE SEPARATED IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.
- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
- WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER AUTHORITY. ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE AWWA STANDARDS. ALL PIPES AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.
- CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
- CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES OR POLLUTANTS OR, ABOVE OR UNDER THE PROPERTY.

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 (610) 321-1545

BOHLER ENGINEERING, INC.  
 1500 W. MARKET STREET, SUITE 200  
 CHALFONT, PENNSYLVANIA 19312  
 (610) 321-1545

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/28/17	REVISED PER UPDATED ENR BUILDING FOOTPRINT	MM
2	01/05/18	REVISED PER CLIENT COMMENT	MM

**CALL BEFORE YOU DIG!**

PROVIDING A SERVICE TO THE COMMUNITY  
 1-800-242-1776

PROJECT NO: PC161321  
 DRAWN BY: E.N.P./S.R.D.  
 CHECKED BY: G.J.H.  
 DATE: 2017.04.28  
 SCALE: 1"=20'  
 CADD ID: PC161321BASE-2

PROPOSED BUILDING ADDITION (EAST GOSHEN ELEMENTARY SCHOOL)

FOR

WEST CHESTER AREA SCHOOL DISTRICT

800 N. CHESTER ROAD  
 EAST GOSHEN TOWNSHIP  
 CHESTER COUNTY  
 PENNSYLVANIA  
 19380

**BOHLER ENGINEERING**

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 www.BohlerEngineering.com

**G.J. HARTMAN**

PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE07663

SHEET TITLE:  
**GRADING/  
 UTILITY  
 PLAN**

SHEET NUMBER:  
**3**  
 OF 7

REVISION 2 - 2018.01.05

**DRAWING LEGEND**

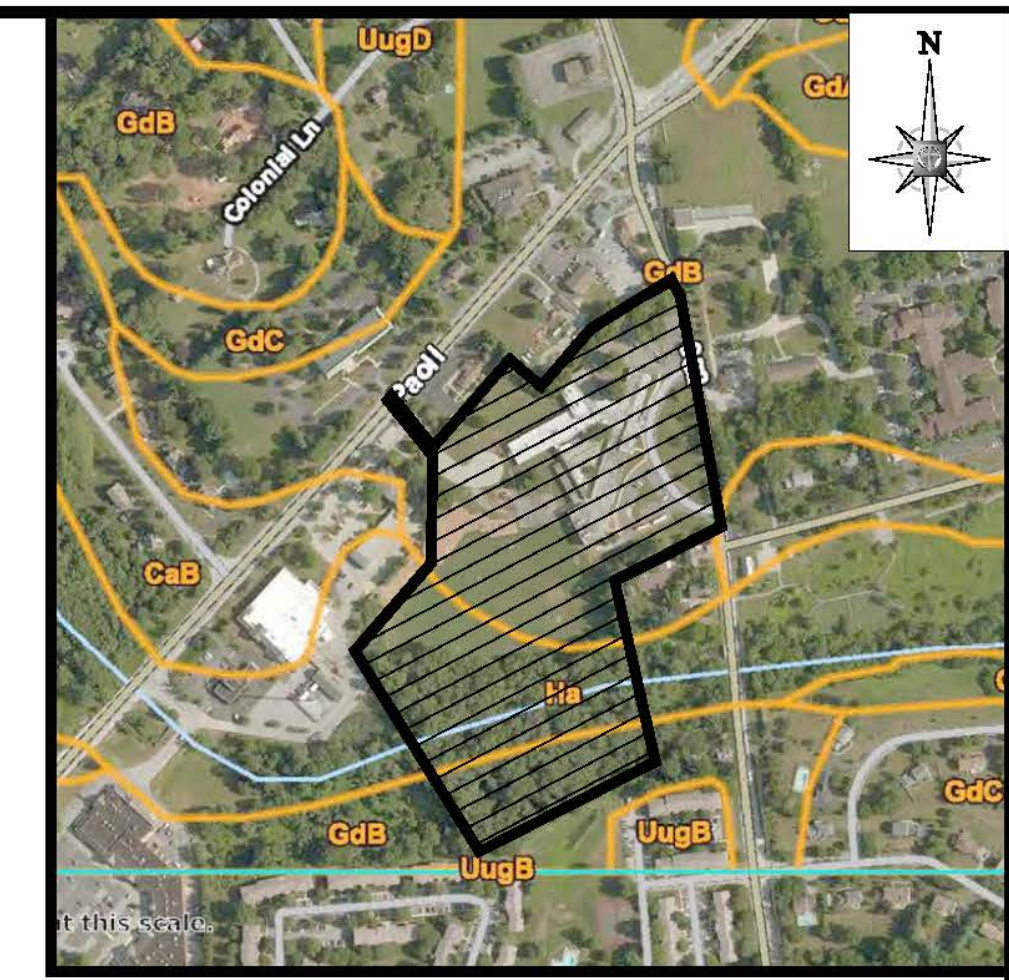
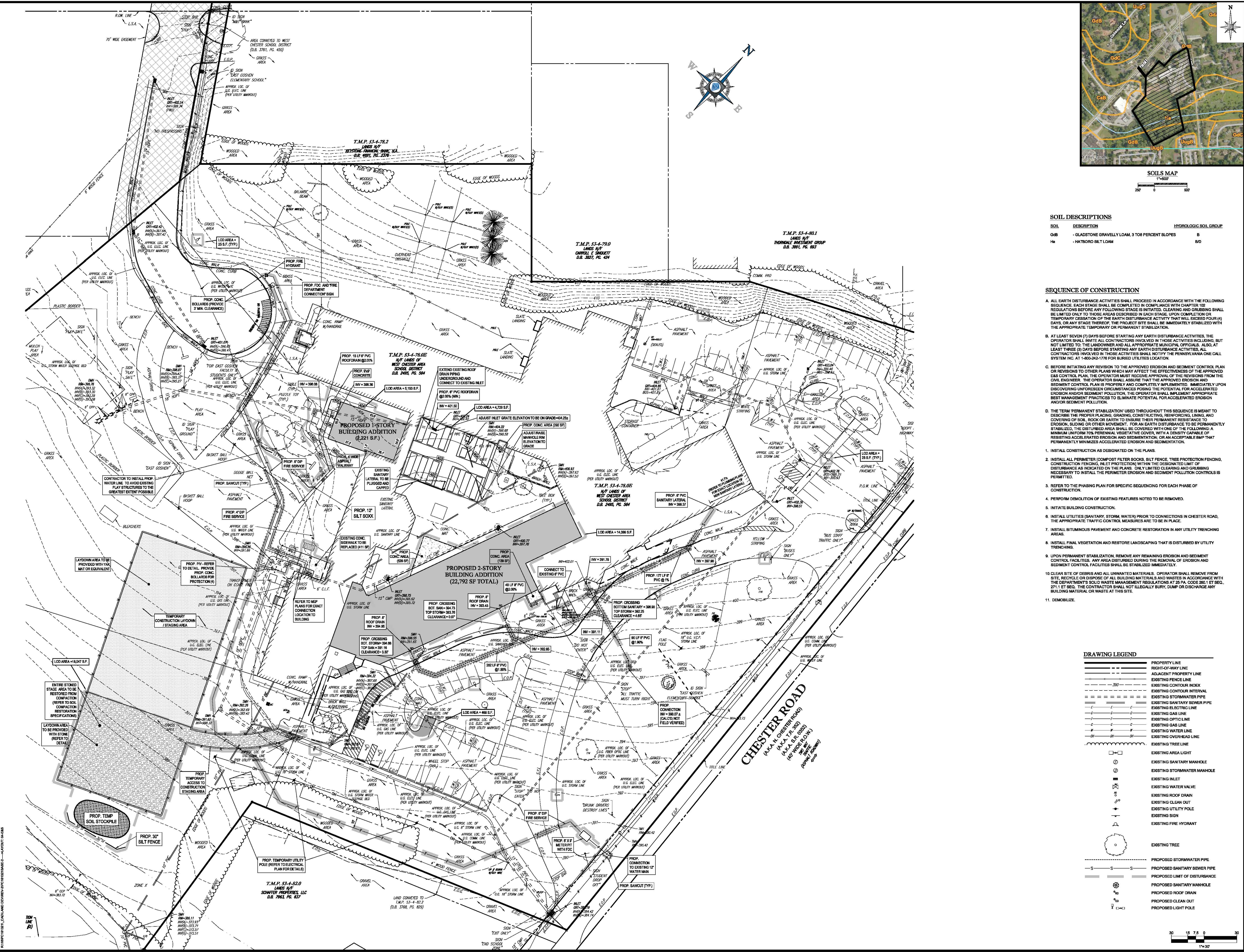
- PROPERTY LINE
- RIGHT-OF-WAY LINE
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- EXISTING CONTOUR INDEX
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- EXISTING STORMWATER PIPE
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- EXISTING GAS LINE
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- EXISTING INLET
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- EXISTING ROOF DRAIN
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- PROPOSED CLEAN OUT
- PROPOSED UTILITY POLE

**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE-CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 2016311545

UTILITY COMPANY	PHONE NUMBER	STATUS	COMMENTS
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COMCAST CABLE COMMUNICATIONS, INC.	215-918-3137	NOT RECEIVED	NOT SHOWN
COMCAST CABLEVISION	215-961-3800	NOT RECEIVED	NOT SHOWN
EAST GOSHEN TOWNSHIP	610-692-7171	NOT RECEIVED	NOT SHOWN
INTERSTATE ENERGY	610-933-4300	NOT RECEIVED	NOT SHOWN
PECO	610-200-8057	NOT RECEIVED	NOT SHOWN
SINOCO PIPELINE	215-669-3232	NOT RECEIVED	NOT SHOWN
TRANS CONTINENTAL GAS PIPE CORP.	610-644-7373	NOT RECEIVED	NOT SHOWN
VERIZON	800-478-1919	NOT RECEIVED	NOT SHOWN





**BOHLER ENGINEERING**  
 SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN  
 1600 MANOR DRIVE, SUITE 200  
 CHALFONT, PENNSYLVANIA 18814  
 Phone: (215) 998-9100  
 Fax: (215) 998-9102  
 www.BohlerEngineering.com

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/28/17	REVISED PER UPDATED ENP BUILDING FOOTPRINT	MMH
2	01/09/18	REVISED PER CLIENT COMMENT	ENP/MMH

**SOIL DESCRIPTIONS**

SOIL	DESCRIPTION	HYDROLOGIC SOIL GROUP
GdB	- GLADSTONE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES	B
UuB	- HARBOR SILT LOAM	BD

**SEQUENCE OF CONSTRUCTION**

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN CONJUNCTION WITH CHAPTER 100 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED FOUR (4) DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.
- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING, BUT NOT LIMITED TO, THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-262-1778 FOR BURIED UTILITIES LOCATION.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EAS CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CIVIL ENGINEER. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THE TERM PERMANENT STABILIZATION USED THROUGHOUT THIS SEQUENCE IS MEANT TO DESCRIBE THE PROPER PLACING, GRADING, CONSTRUCTING, REINFORCING, LINING, AND COVERING OF SOIL, ROCK OR EARTH TO ENSURE THEIR PERMANENT RESISTANCE TO EROSION, SLIDING OR OTHER MOVEMENT. FOR AN EARTH DISTURBANCE TO BE PERMANENTLY STABILIZED, THE DISTURBED AREA SHALL BE COVERED WITH ONE OF THE FOLLOWING: A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION, OR AN ACCEPTABLE BMP THAT PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
- INSTALL CONSTRUCTION AS DESIGNATED ON THE PLANS.
- INSTALL ALL PERIMETER (COMPOST FILTER BOOKS, SILT FENCE, TREE PROTECTION FENCING, CONSTRUCTION FENCING, INLET PROTECTION) WITHIN THE DESIGNATED LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS. ONLY LIMITED CLEARING AND GRUBBING NECESSARY TO INSTALL THE PERIMETER EROSION AND SEDIMENT POLLUTION CONTROLS IS PERMITTED.
- REFER TO THE PHASING PLAN FOR SPECIFIC SEQUENCING FOR EACH PHASE OF CONSTRUCTION.
- PERFORM DEMOLITION OF EXISTING FEATURES NOTED TO BE REMOVED.
- INITIATE BUILDING CONSTRUCTION.
- INSTALL UTILITIES (SANITARY, STORM, WATER) PRIOR TO CONNECTIONS IN CHESTER ROAD, THE APPROPRIATE TRAFFIC CONTROL MEASURES ARE TO BE IN PLACE.
- INSTALL BITUMINOUS PAVEMENT AND CONCRETE RESTORATION IN ANY UTILITY TRENCHING AREAS.
- INSTALL FINAL VEGETATION AND RESTORE LANDSCAPING THAT IS DISTURBED BY UTILITY TRENCHING.
- UPON PERMANENT STABILIZATION, REMOVE ANY REMAINING EROSION AND SEDIMENT CONTROL FACILITIES. ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE STABILIZED IMMEDIATELY.
- CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 800.1 ET SEQ., 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTE AT THIS SITE.
- DEMOLISH.

**DRAWING LEGEND**

(Symbol)	PROPERTY LINE
(Symbol)	RIGHT-OF-WAY LINE
(Symbol)	ADJACENT PROPERTY LINE
(Symbol)	EXISTING FENCE LINE
(Symbol)	EXISTING CONTOUR INDEX
(Symbol)	EXISTING CONTROL R. INTERNAL
(Symbol)	EXISTING STORMWATER PIPE
(Symbol)	EXISTING SANITARY SEWER PIPE
(Symbol)	EXISTING ELECTRICAL LINE
(Symbol)	EXISTING GAS LINE
(Symbol)	EXISTING OPTIC LINE
(Symbol)	EXISTING WATER LINE
(Symbol)	EXISTING OVERHEAD LINE
(Symbol)	EXISTING TREE LINE
(Symbol)	EXISTING AREA LIGHT
(Symbol)	EXISTING SANITARY MANHOLE
(Symbol)	EXISTING STORMWATER MANHOLE
(Symbol)	EXISTING INLET
(Symbol)	EXISTING WATER VALVE
(Symbol)	EXISTING ROOF DRAIN
(Symbol)	EXISTING CLEAN OUT
(Symbol)	EXISTING UTILITY POLE
(Symbol)	EXISTING SIGN
(Symbol)	EXISTING FIRE HYDRANT
(Symbol)	EXISTING TREE
(Symbol)	PROPOSED STORMWATER PIPE
(Symbol)	PROPOSED SANITARY BEWER PIPE
(Symbol)	PROPOSED SANITARY MANHOLE
(Symbol)	PROPOSED ROOF DRAIN
(Symbol)	PROPOSED CLEAN OUT
(Symbol)	PROPOSED LIGHT POLE

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 WORKING DAYS IN DESIGN  
 STAGE - STOP CALL  
 PAI  
 1-800-242-1776  
 PERMITS NUMBER  
 20159121545

**NOT APPROVED FOR CONSTRUCTION**  
 PROJECT NO.: PC181321  
 DRAWN BY: ENP/J.S.R.D.  
 CHECKED BY: G.J.H.  
 DATE: 2017.04.28  
 SCALE: 1"=80'  
 CAD ID#: PC181321BASE-2

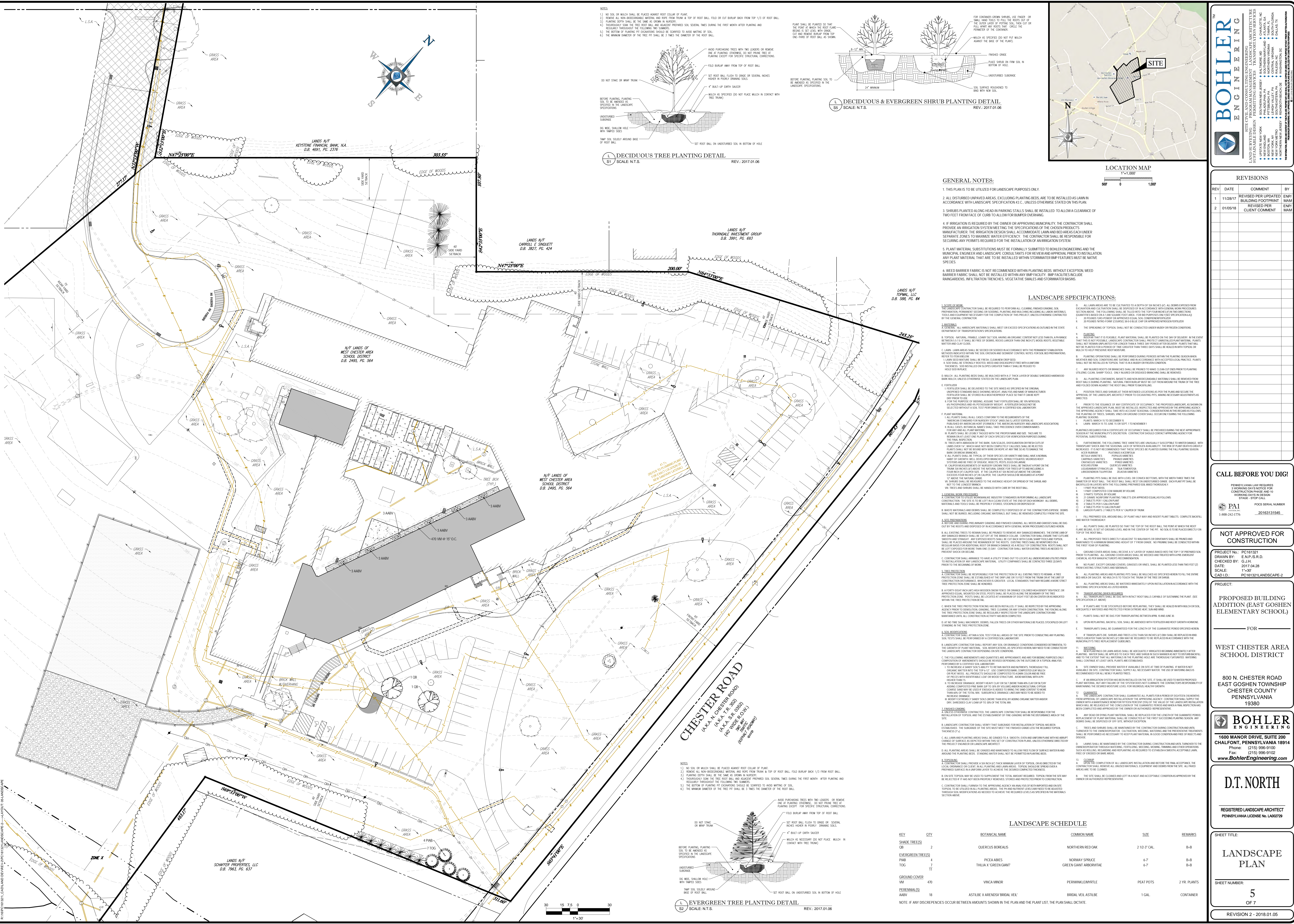
**PROPOSED BUILDING ADDITION (EAST GOSHEN ELEMENTARY SCHOOL)**  
 FOR  
**WEST CHESTER AREA SCHOOL DISTRICT**  
 800 N. CHESTER ROAD  
 EAST GOSHEN TOWNSHIP  
 CHESTER COUNTY  
 PENNSYLVANIA  
 19380

**BOHLER ENGINEERING**  
 1600 MANOR DRIVE, SUITE 200  
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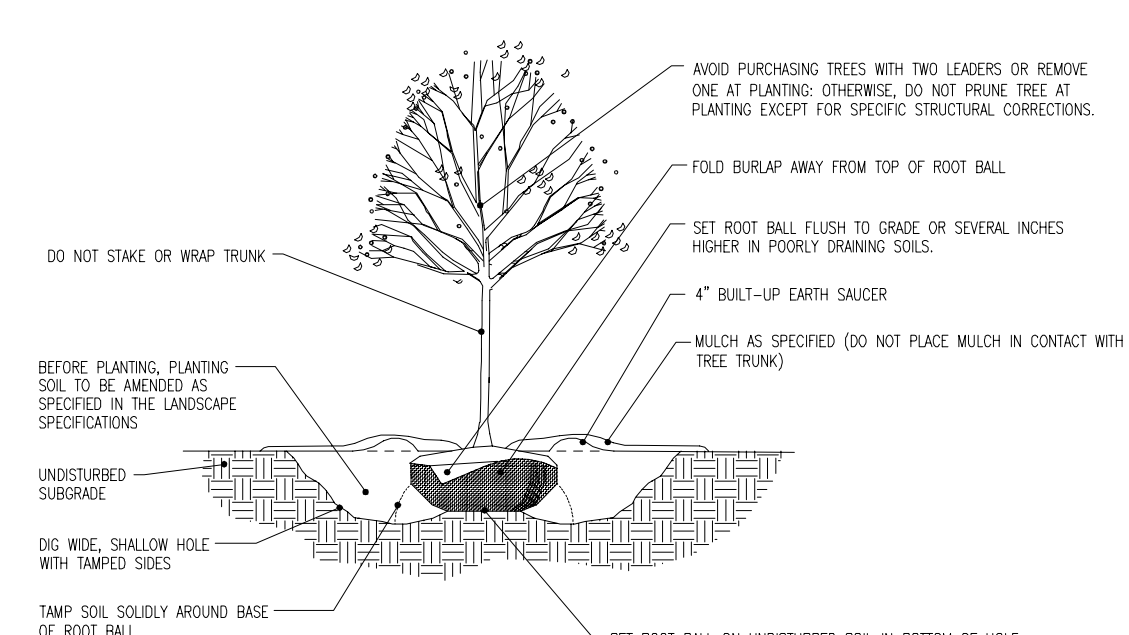
**G.J. HARTMAN**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE076653

**SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN**  
 SHEET NUMBER:  
**4**  
 OF 7  
 REVISION 2 - 2018.01.05

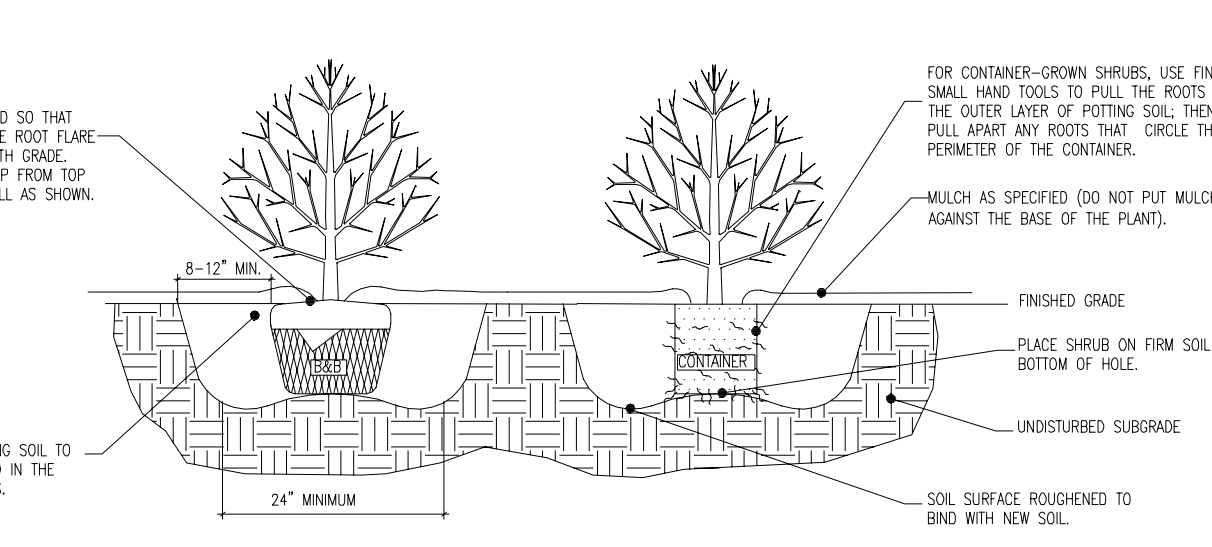




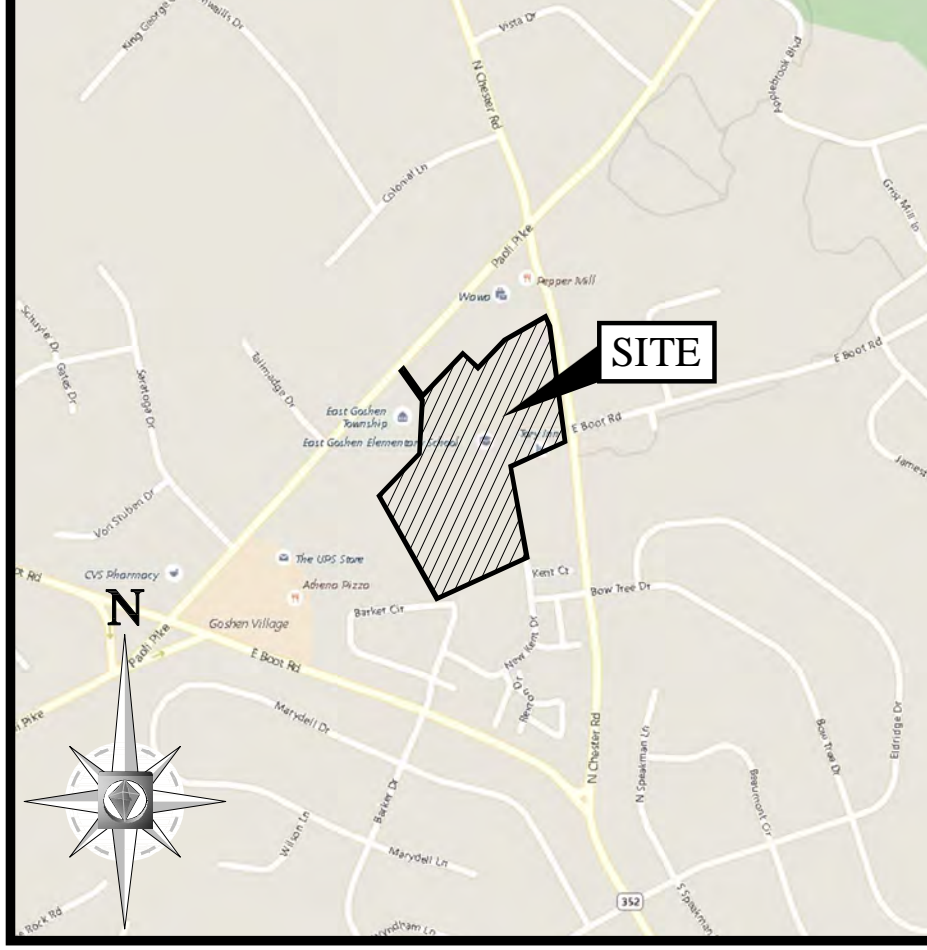
- NOTES**
- 1) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  - 2) REMOVE ALL NON-Biodegradable MATERIALS AND ROPS FROM TRUNK & TOP OF ROOT BALL. FOLD OR CUT BURAP BACK FROM TOP 1/2 OF ROOT BALL.
  - 3) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN POT.
  - 4) THOROUGHLY SOAK THE TREE ROOT BALL AND ADEQUATE PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
  - 5) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE SCAVED TO AVOID MATING OF SOIL.
  - 6) THE MINIMUM DIAMETER OF THE TREE PIT SHALL BE 3 TIMES THE DIAMETER OF THE ROOT BALL.



**DECIDUOUS TREE PLANTING DETAIL**  
REV. 2017.01.06  
SCALE: N.T.S.



**DECIDUOUS & EVERGREEN SHRUB PLANTING DETAIL**  
REV. 2017.01.06  
SCALE: N.T.S.



**GENERAL NOTES:**

1. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION C.1. UNLESS OTHERWISE STATED ON THIS PLAN.
3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUS/SEMI OVERHANG.
4. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
5. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL. PRIOR TO INSTALLATION, ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
6. WEED BARRIER FABRIC IS NOT COMMANDED WITHIN PLANTING BEDS, WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE: RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.

**LANDSCAPE SPECIFICATIONS:**

1. **SOIL OR SUBSOIL:** THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, PROPOSED GRADING, SOIL REMEDIATION AND SOIL ENHANCEMENT. ALL SOILS SHALL BE TESTED FOR NUTRIENT DEFICIENCIES AND SOIL PH. SOILS WITH DEFICIENCIES SHALL BE AMENDED WITH NUTRIENT DEFICIENCY CORRECTIVES. SOILS WITH PH DEFICIENCIES SHALL BE AMENDED WITH PH CORRECTIVES. SOILS WITH DEFICIENCIES SHALL BE AMENDED WITH NUTRIENT DEFICIENCY CORRECTIVES. SOILS WITH PH DEFICIENCIES SHALL BE AMENDED WITH PH CORRECTIVES.
2. **MATERIALS:** ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
3. **TOPSOIL:** MATERIAL, FINISH, LEAN, SILT, SAND, CLAY, ORGANIC CONTENT, AND LESS THAN 1% AVAILABILITY OF NUTRIENTS SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH, WEED SEEDS, VEGETATIVE MATERIAL AND CLAY CLUMP.
4. **LAWN AREAS:** LAWN AREAS SHALL BE SEED OR SOAKED IN ACCORDANCE WITH THE PERMANENT SOIL FOUNDATION. THE SOAKING WATER SHALL BE APPLIED TO THE SOIL SURFACE AND PENETRATE TO THE ROOT ZONE. LAWN AREAS SHALL BE SEED OR SOAKED IN ACCORDANCE WITH THE PERMANENT SOIL FOUNDATION. THE SOAKING WATER SHALL BE APPLIED TO THE SOIL SURFACE AND PENETRATE TO THE ROOT ZONE.
5. **PLANTING OPERATIONS:** ALL PLANTING OPERATIONS SHALL BE COMPLETED WITHIN THE PLANTING SEASON. PLANTS SHALL BE INSTALLED IN TOPSOIL THAT IS FREE OF DEBRIS AND WEED SEEDS. PLANTS SHALL BE INSTALLED IN TOPSOIL THAT IS FREE OF DEBRIS AND WEED SEEDS.
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**LANDSCAPE SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES (S)					
OB	2	QUERCUS BOREALIS	NORTHERN RED OAK	212-3" CAL.	B+B
EVERGREEN TREES (E)					
PMB	4	PICEA ABIES	NORWAY SPRUCE	6-7'	B+B
TOC	7	THUJA X GREEN GANT	GREEN GANT ARBORVITAE	6-7'	B+B
GROUND COVER					
VM	470	VINCA MINOR	PERIWINKLE/MAJESTY	PEAT POTS	2 YR. PLANTS
PERENNIALS					
ASB1	18	ASTILBE X ARENDSI BIRDAL VIL'	BIRDAL VIL' ASTILBE	1 GAL.	CONTAINER

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.



**EVERGREEN TREE PLANTING DETAIL**  
REV. 2017.01.06  
SCALE: N.T.S.

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
SUSTAINABLE DESIGN, PERMITS, SURVEYING, TRANSPORTATION PLANNING

1600 MANOR DRIVE, SUITE 200  
CHALFONT, PENNSYLVANIA 18914  
Phone: (215) 996-9100  
Fax: (215) 996-9102  
www.BohlerEngineering.com

PAI POCS SERIAL NUMBER  
1-800-242-2776  
20163121645

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/28/17	REVISED PER UPDATED BUILDING FOOTPRINT	ENP/ MAM
2	01/05/18	REVISED PER CLIENT COMMENT	ENP/ MAM

**CALL BEFORE YOU DIG!**

PROPERTY OWNER MUST REQUIRE 2 WORKING DAYS NOTICE BY PHONE AND 3 WORKING DAYS NOTICE BY POSTAGE TO ALL UTILITIES AND NEIGHBORS.

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO.: PC181321  
DRAWN BY: ENP/S.J.D.  
CHECKED BY: S.J.D.  
DATE: 2017.04.28  
SCALE: 1"=20'  
CADD ID: PC181321-LANDSCAPE-2

**PROPOSED BUILDING ADDITION (EAST GOSHEN ELEMENTARY SCHOOL)**

FOR

**WEST CHESTER AREA SCHOOL DISTRICT**

800 N. CHESTER ROAD  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY  
PENNSYLVANIA 19380

**BOHLER ENGINEERING**

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Fax: (215) 996-9102  
www.BohlerEngineering.com

**D.T. NORTH**

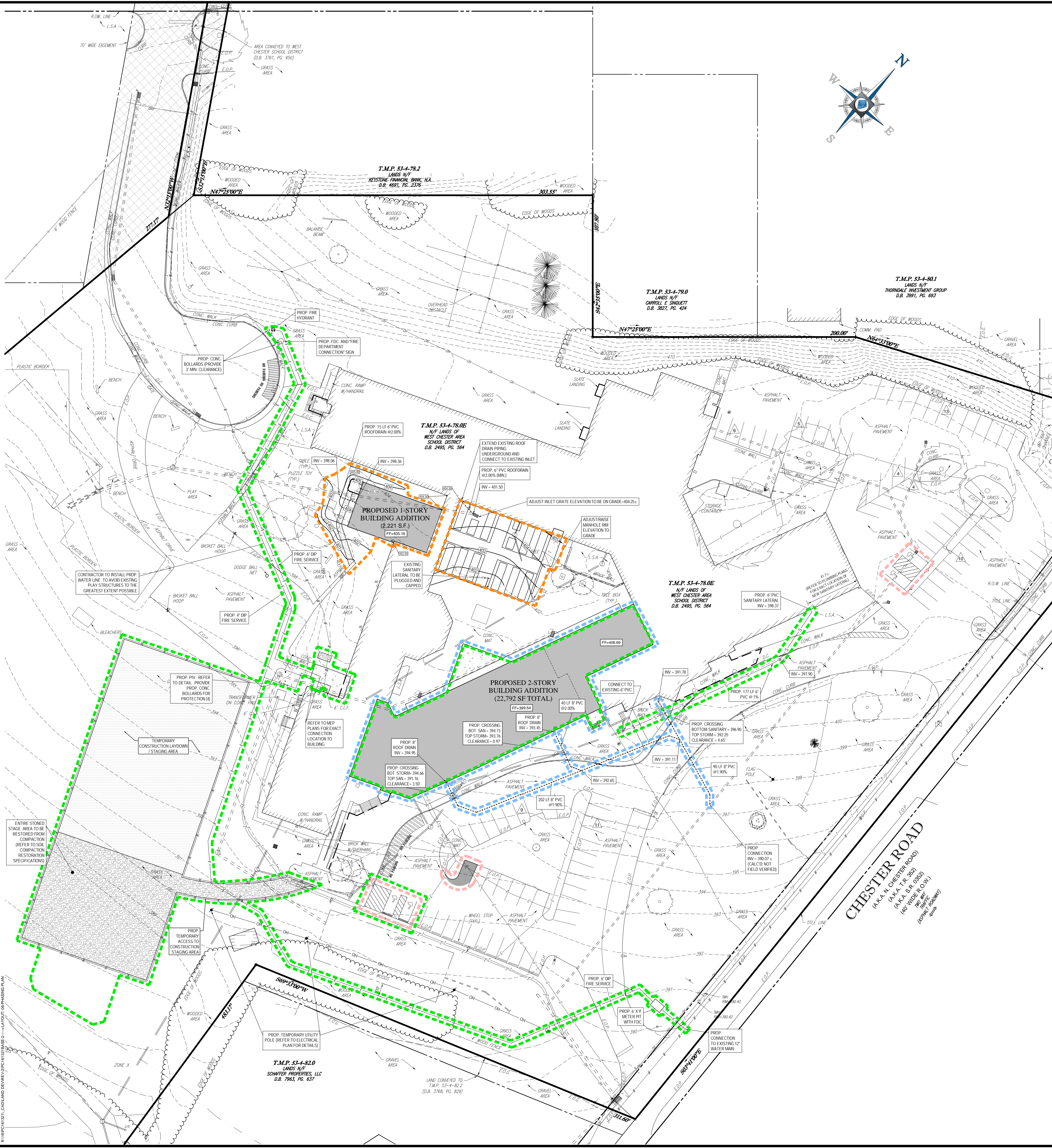
REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE NO. LA00279

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**5**  
OF 7

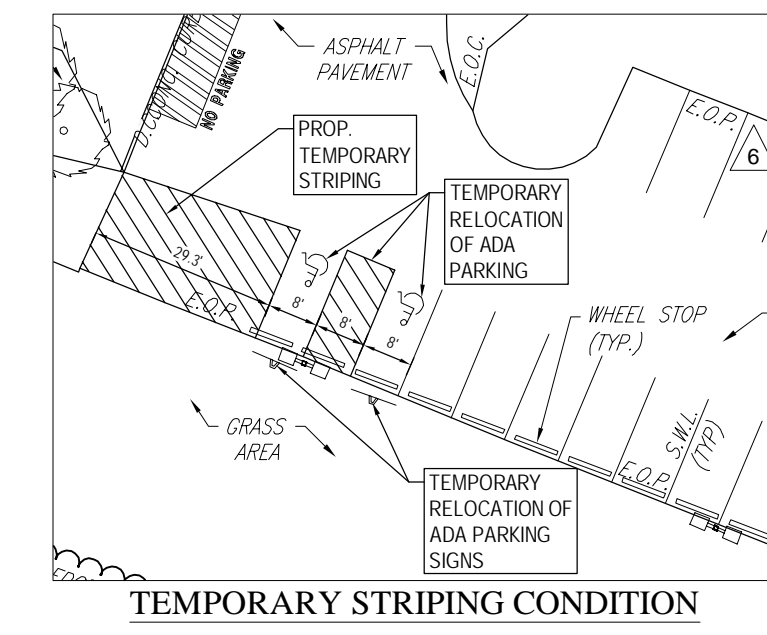
REVISION 2 - 2018.01.05





- PHASE 1A**
1. INSTALL CONSTRUCTION LAYDOWN AREA AND PERIMETER FENCING.
  2. INSTALL WATER METER PIT AND NEW FIRE SERVICE LINE AT CHESTER ROAD.
  3. INSTALL NEW FIRE HYDRANT AND FDC AT REAR OF SCHOOL, INCLUDING NEW 4" FIRE SERVICE FROM SCHOOL TO FDC.
  4. INSTALL NEW 8" SANITARY LATERAL.
  5. DEMOLISH PORTION OF EXISTING BUILDING.
- PHASE 1B**
1. CONSTRUCT 2-STORY BUILDING ADDITION.
  2. INSTALL NEW ROOF DRAINS FOR 2-STORY BUILDING ADDITION AND TIE INTO EXISTING STORM SEWER LINE.
  3. INSTALL NEW 8" PVC CONNECTION TO EXISTING ROOF DRAIN.
- PHASE 2A & 2B**
1. DEMOLISH EXISTING MODULAR BUILDING IN COURTYARD.
  2. COMPLETE ROUGH GRADING AND WORK WITHIN COURTYARD.
  3. CONSTRUCT 1-STORY BUILDING ADDITION AND ASSOCIATED GRADING AND ROOF DRAIN CONNECTION. REFER TO STRUCTURAL PLANS AND ARCHITECTURAL PLANS FOR FOUNDATION CONSTRUCTION AROUND EXISTING STORM SEWER.
- PHASE 3**
1. CONSTRUCT 1 NEW PARKING SPACE AS SHOWN.
  2. INSTALL PARKING AREA STRIPING AND SIGNAGE AS SHOWN.

- DRAWING LEGEND**
- PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - ADJACENT PROPERTY LINE
  - EXISTING FENCE LINE
  - EXISTING CONTOUR INDEX
  - EXISTING CONTOUR INTERVAL
  - EXISTING STORMWATER PIPE
  - EXISTING SANITARY SEWER PIPE
  - EXISTING ELECTRIC LINE
  - EXISTING GAS LINE
  - EXISTING OPTIC LINE
  - EXISTING GAS LINE
  - EXISTING WATER LINE
  - EXISTING OVERHEAD LINE
  - EXISTING TREE LINE
  - EXISTING AREA LIGHT
  - EXISTING SANITARY MANHOLE
  - EXISTING STORMWATER MANHOLE
  - EXISTING INLET
  - EXISTING WATER VALVE
  - EXISTING ROOF DRAIN
  - EXISTING CLEAN OUT
  - EXISTING UTILITY POLE
  - EXISTING SIGN
  - EXISTING FIRE HYDRANT
  - EXISTING TREE
  - PROPOSED STORMWATER PIPE
  - PROPOSED SANITARY SEWER PIPE
  - PROPOSED SANITARY MANHOLE
  - PROPOSED ROOF DRAIN
  - PROPOSED CLEAN OUT
  - PROPOSED LIGHT POLE
- PHASE LEGEND**
- PHASE 1A - SUMMER 2018
  - PHASE 1B - 2018-2019 SCHOOL YEAR
  - PHASE 2A/2B - SUMMER 2019 & 2019-2020 SCHOOL YEAR
  - PHASE 3 - SUMMER 2020



**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE-CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 2018131545

UTILITY COMPANY	PHONE NUMBER	STATUS	COMMENTS
AQUA PENNSYLVANIA, INC.	610-525-1400	RECEIVED	SHOWN
AT & T	215-233-3474	NOT RECEIVED	NOT SHOWN
COMCAST COMMUNICATIONS, INC.	215-918-3157	NOT RECEIVED	NOT SHOWN
COMCAST CABLEVISION	215-961-3800	NOT RECEIVED	NOT SHOWN
EAST GOSHEN TOWNSHIP	610-682-7171	NOT RECEIVED	NOT SHOWN
INTERSTATE ENERGY	610-933-4300	NOT RECEIVED	NOT SHOWN
PECO	610-282-8057	RECEIVED	SHOWN
SUNOCO PIPELINE	215-690-3252	NOT RECEIVED	NOT SHOWN
TRANS CONTINENTAL GAS PIPE CORP.	610-444-7373	NOT RECEIVED	NOT SHOWN
VERIZON	800-474-1919	NOT RECEIVED	NOT SHOWN

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING, ARCHITECTURE, SURVEYING, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES

OFFICES: CHALFONT, PA; PHILADELPHIA, PA; PITTSBURGH, PA; WASHINGTON, DC; BALTIMORE, MD; CHARLOTTE, NC; FORT WORTH, TX; HOUSTON, TX; MEMPHIS, TN; NEW YORK, NY; RICHMOND, VA; WASHINGTON, DC

**REVISIONS**

REV	DATE	COMMENT	BY
1	11/28/17	REVISED PER UPDATED BUILDING FOOTPRINT	ENP/MAM
2	01/05/18	REVISED PER CLIENT COMMENT	ENP/MAM

**CALL BEFORE YOU DIG!**

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR WORKING DAYS IN DESIGN STAGE - STOP CALL

PAI POCS SERIAL NUMBER: 2018131545

1-800-242-1776

**NOT APPROVED FOR CONSTRUCTION**

PROJECT No.: PC181321  
 DRAWN BY: E.N.P./S.R.D.  
 CHECKED BY: G.J.H.  
 DATE: 2017.04.28  
 SCALE: 1"=20'  
 CAD ID: PC181321BASE-2

**PROPOSED BUILDING ADDITION (EAST GOSHEN ELEMENTARY SCHOOL)**

FOR

**WEST CHESTER AREA SCHOOL DISTRICT**

800 N. CHESTER ROAD  
 EAST GOSHEN TOWNSHIP  
 CHESTER COUNTY  
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 19380

**BOHLER ENGINEERING**

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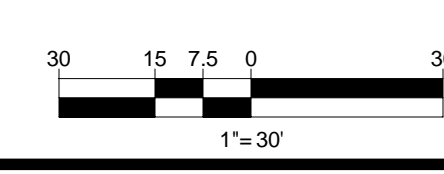
**G.J. HARTMAN**

PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE No. PE076463

SHEET TITLE:  
**PHASING PLAN**

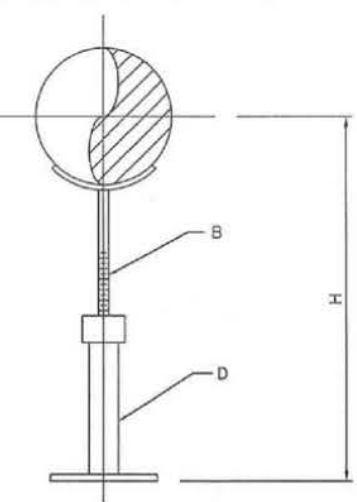
SHEET NUMBER:  
**6**  
 OF 7

REVISION 2 - 2018.01.05





PIPE SUPPORT



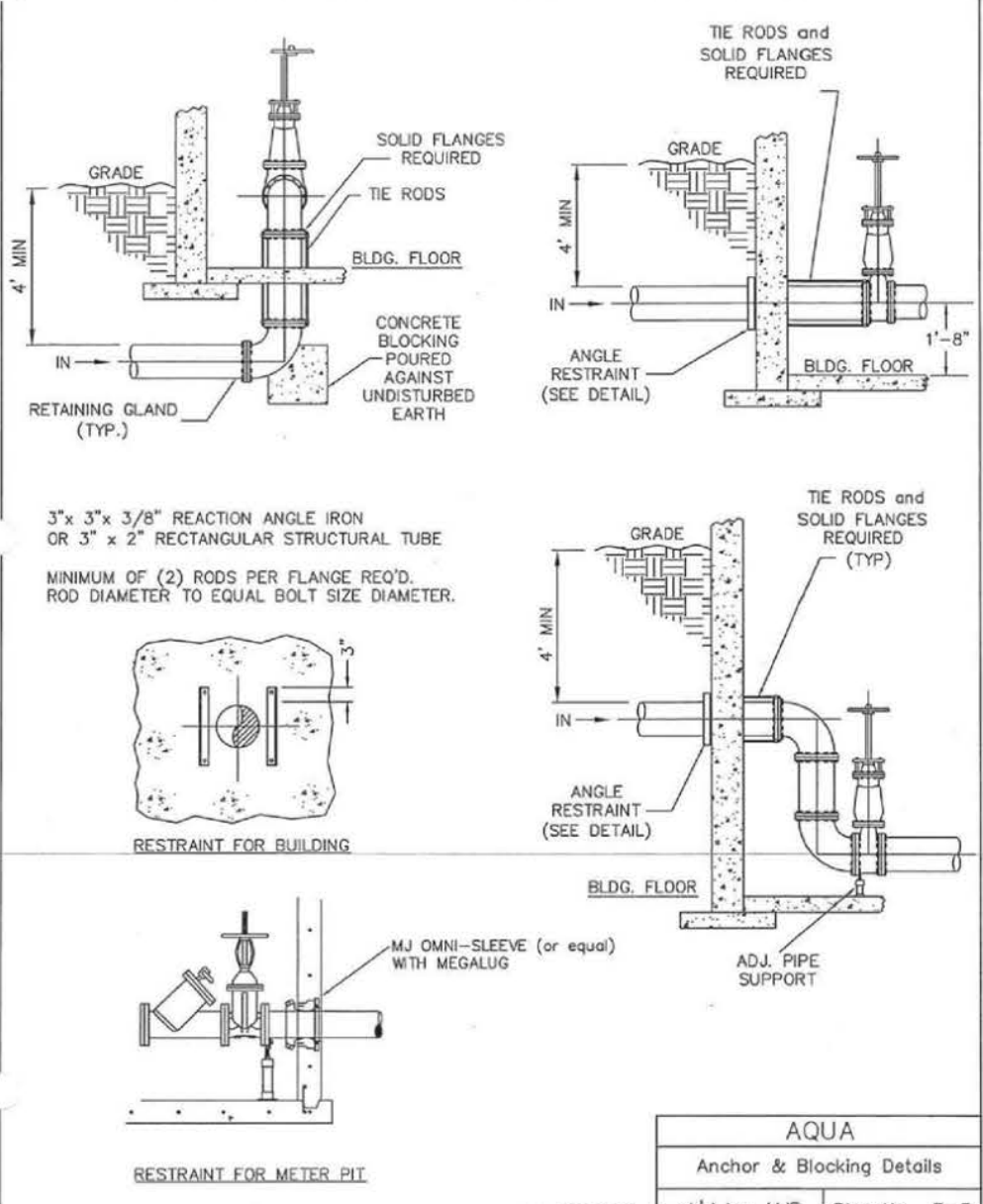
These pipe supports are made up of the following materials... The pipe support is adjustable by means of a heavy steel nut...

Table with columns: Length of threaded anchor, Dimensions of Materials Used, Size of Supporting Pipe, Height. Rows include sizes 3, 4, 6, 8, 10, 12, 14, 16, 18, 20 inches.

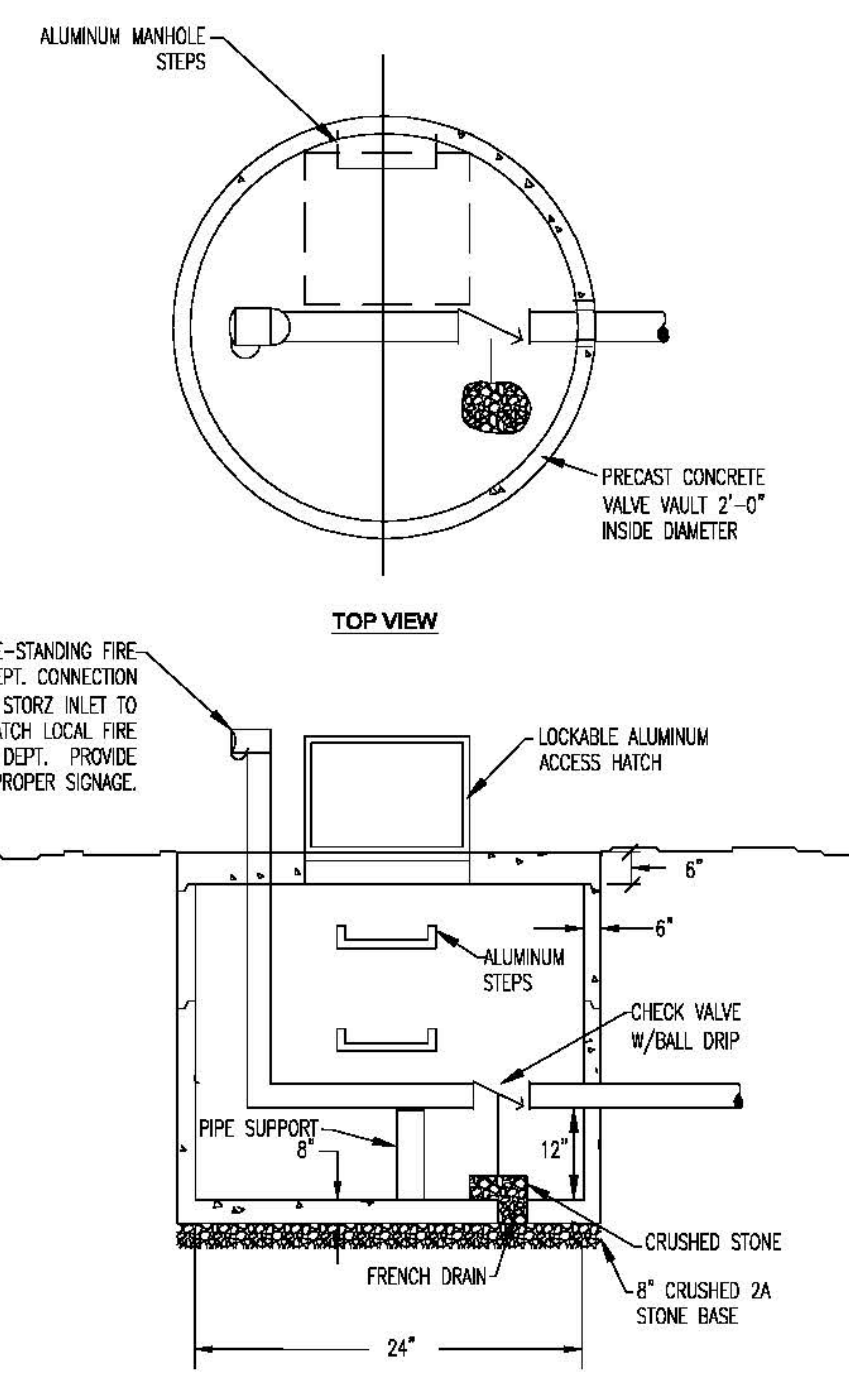
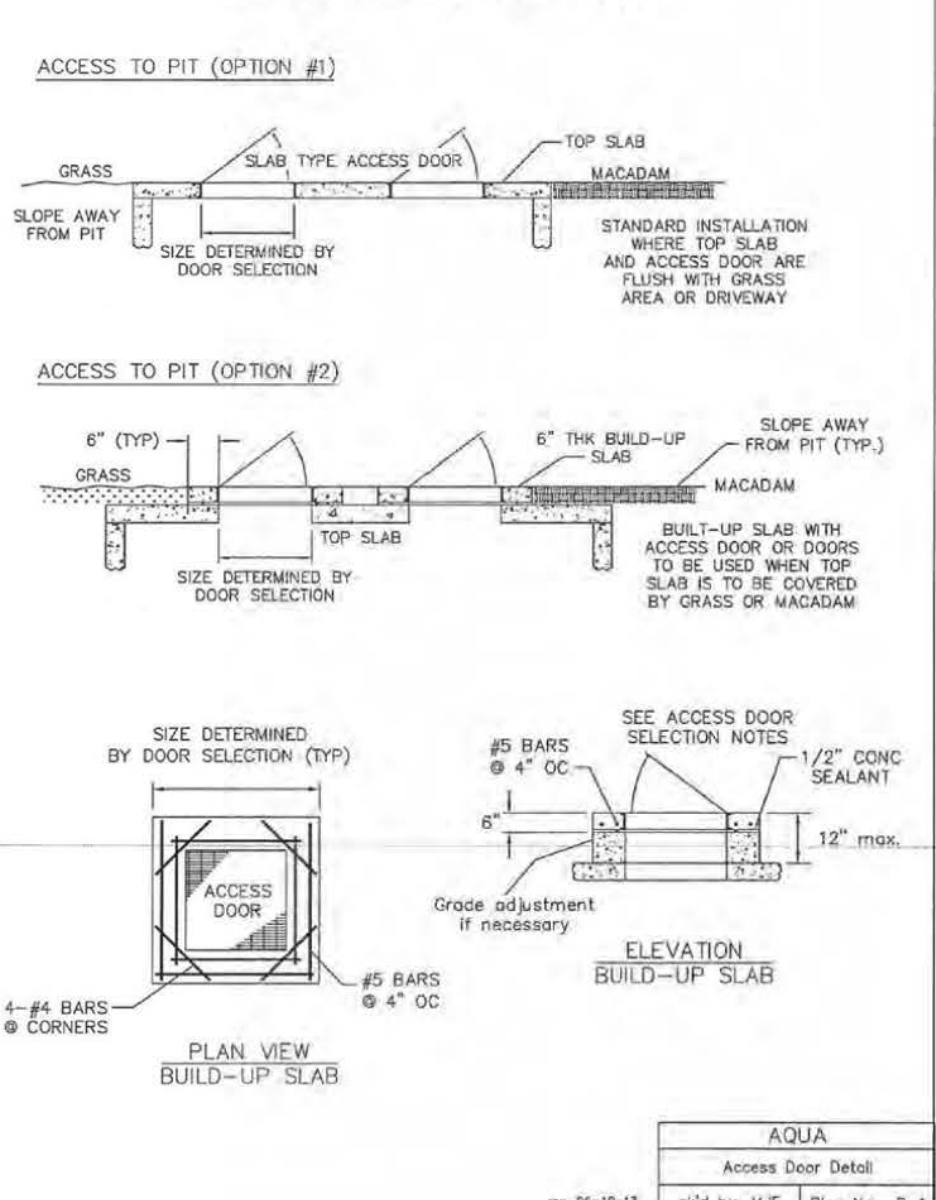
AQUA Pipe Support Detail

rev. 05-07-13 ckd by: MUF Plan No. P-2

ANCHOR & BLOCKING DETAILS

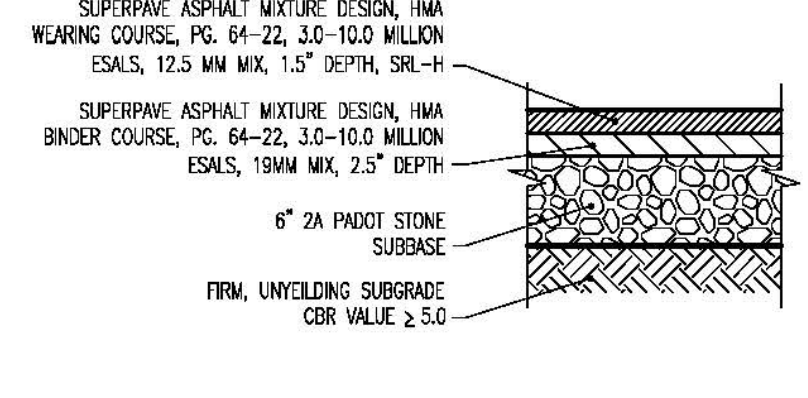


METER PIT DOOR DETAILS



FIRE DEPARTMENT CONNECTION PIT DETAIL

NO SCALE

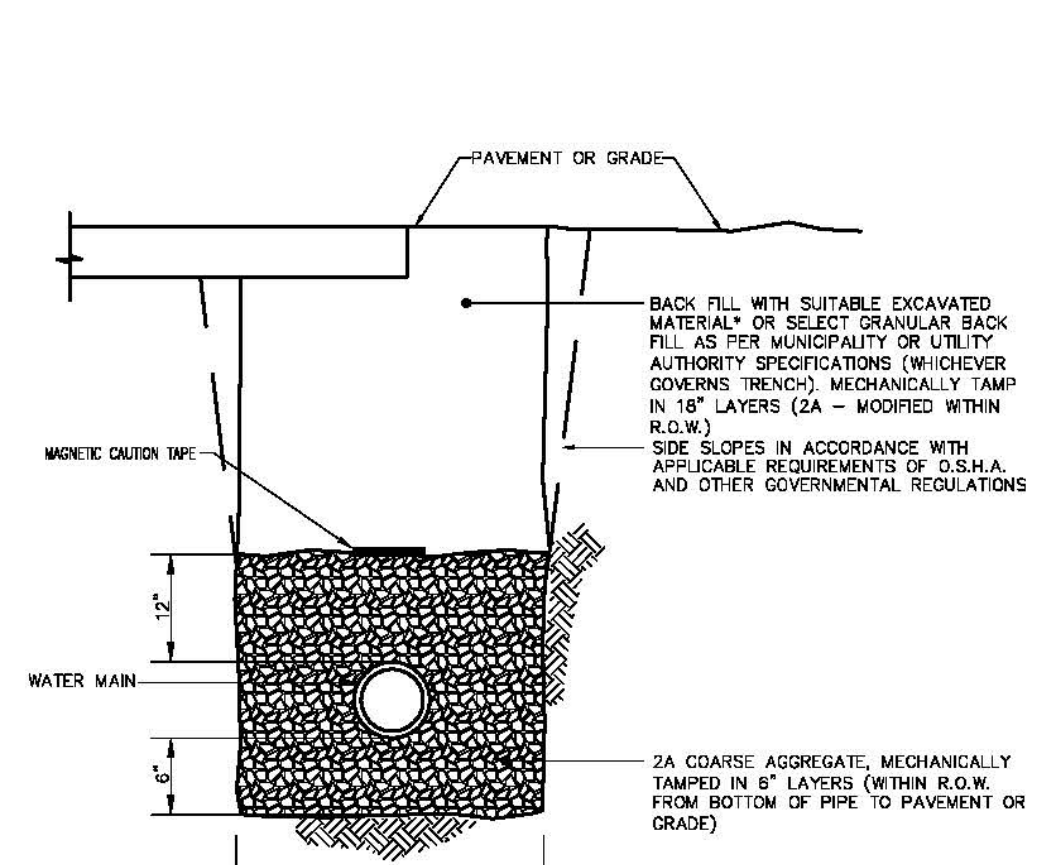


STANDARD ASPHALT PAVEMENT DETAIL

SCALE: N.T.S. REV: 2015.03.09

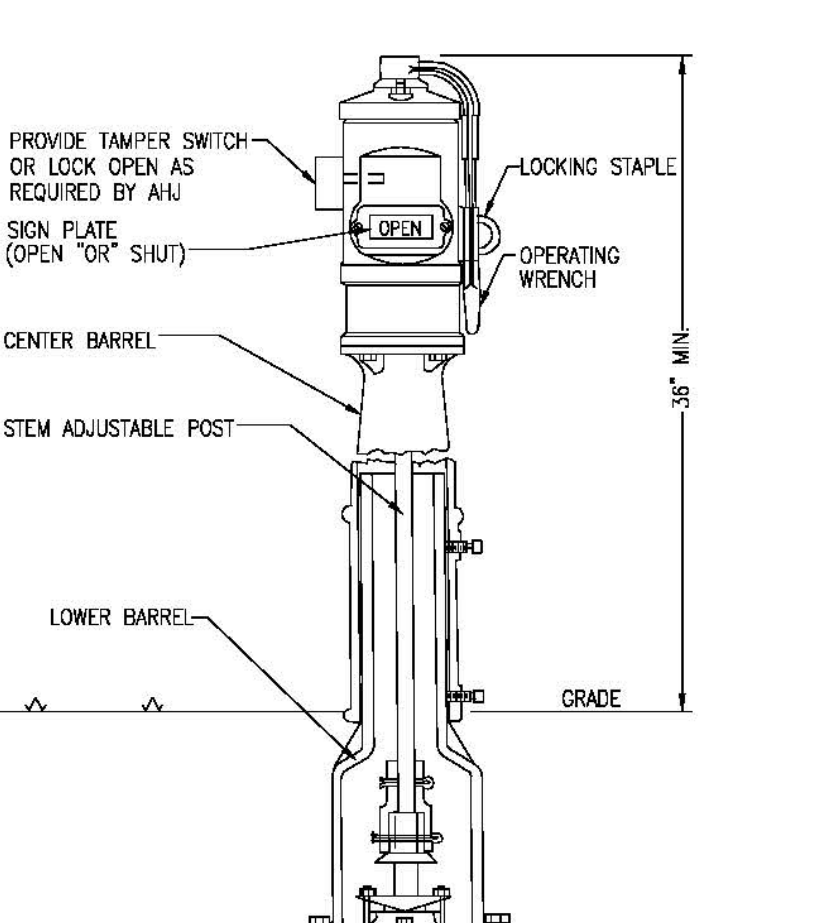
FLEXIBLE PAVEMENT RESTORATION

SCALE: N.T.S. REV: 2015.03.09



TRENCH BEDDING CLASSIFICATION (WATER MAIN)

SCALE: N.T.S. REV: 2015.03.09



KENNEDY OR APPROVED EQUAL POST INDICATOR VALVE

NO SCALE

CONSTRUCTION STAGING AREA DETAIL

N.T.S.

CONCRETE SIDEWALK DETAIL

SCALE: N.T.S. REV: 2015.03.09

TRENCH BEDDING CLASSIFICATION (STORM)

SCALE: N.T.S. REV: 2015.03.09

ASPHALT WALKWAY DETAIL

SCALE: N.T.S.

TRENCH BEDDING CLASSIFICATION (SANITARY MAIN)

SCALE: N.T.S. REV: 2015.03.09

Single Service Pit Calculations - FIRE

Table with columns: Rating, Open System, Closed System. Rows include various pipe sizes and materials like 754 O.D. and 10" Standard.

SINGLE SERVICE PIT DIMENSIONS for FIRE Service

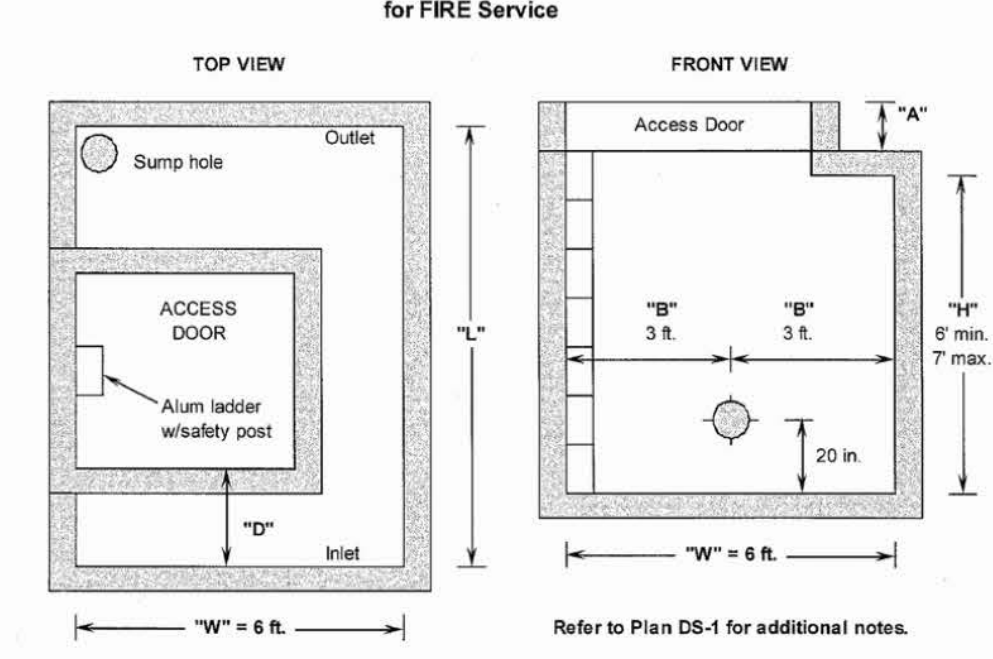


Table with columns: Dim, Description, 'Open System', 'Closed System'. Rows include Length, Width, Height, and Access Door dimensions.

Assumes that length is 8 ft. from inlet wall. Outlet length must be 8 ft. (min.) from outlet wall.

AQUA SINGLE SERVICE DIMENSIONS (FIRE)

Ckd by: MUF Plan No. F-4 rev. 3-18-14

SOIL COMPACTION RESTORATION SPECIFICATIONS

- DESIGN CONSIDERATIONS: 1) COMPOST SHOULD BE ADDED AT A RATE OF 2:1 (SOIL:COMPOST)... 2) SOIL RESTORATION SHOULD NOT TAKE PLACE WITHIN THE DRIP LINE OF A TREE... 3) PROCEDURE: ROTOTILL, OR RIP THE SUBGRADE, REMOVE ROCKS, DISTRIBUTE THE COMPOST, SPREAD THE NUTRIENTS, ROTOTILL AGAIN...

COMPOST APPLICATION PROCEDURE

- 1) THE ENTIRE AREA TO BE AMENDED SHOULD BE RIPPED TO LOOSEN SOILS. THE SURFACE SHOULD THEN BE CLEARED OF CLDS, ROCKS AND DEBRIS... 2) RIPPING, SUBSOILING, OR SCARIFICATION OF THE SUBSOIL SHOULD BE PERFORMED WHERE SUBSOIL HAS BECOME COMPACTED...

COMPOST APPLICATION RATE EQUIVALENTS

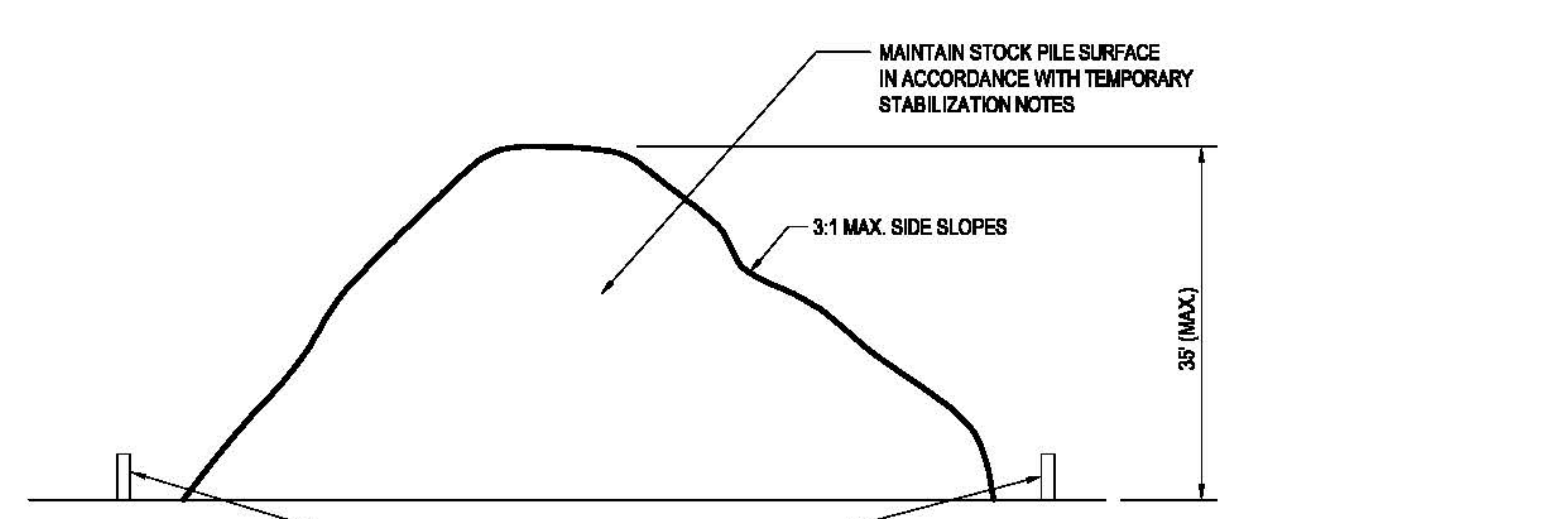
Table with columns: Soil Amendment, Permanent Seeding Application Rate, Temporary Seeding Application Rate. Rows include Agricultural lime, 10-10-20 fertilizer, and 10-10-10 fertilizer.

TABLE 1.1 PHYSICAL REQUIREMENTS FOR COMPOST

Table with columns: PARAMETER, RANGE, TESTING METHOD. Rows include pH, Soluble Salt Concentration, Moisture, Organic Matter, Particle Size, Sulfur, Maturity, Physical Contaminants, Chemical Contaminants, Copper, Lead, Mercury, Molybdenum, Nickel, Selenium, Zinc, Biological Contaminants, Fecal Coliform, Salmonella.

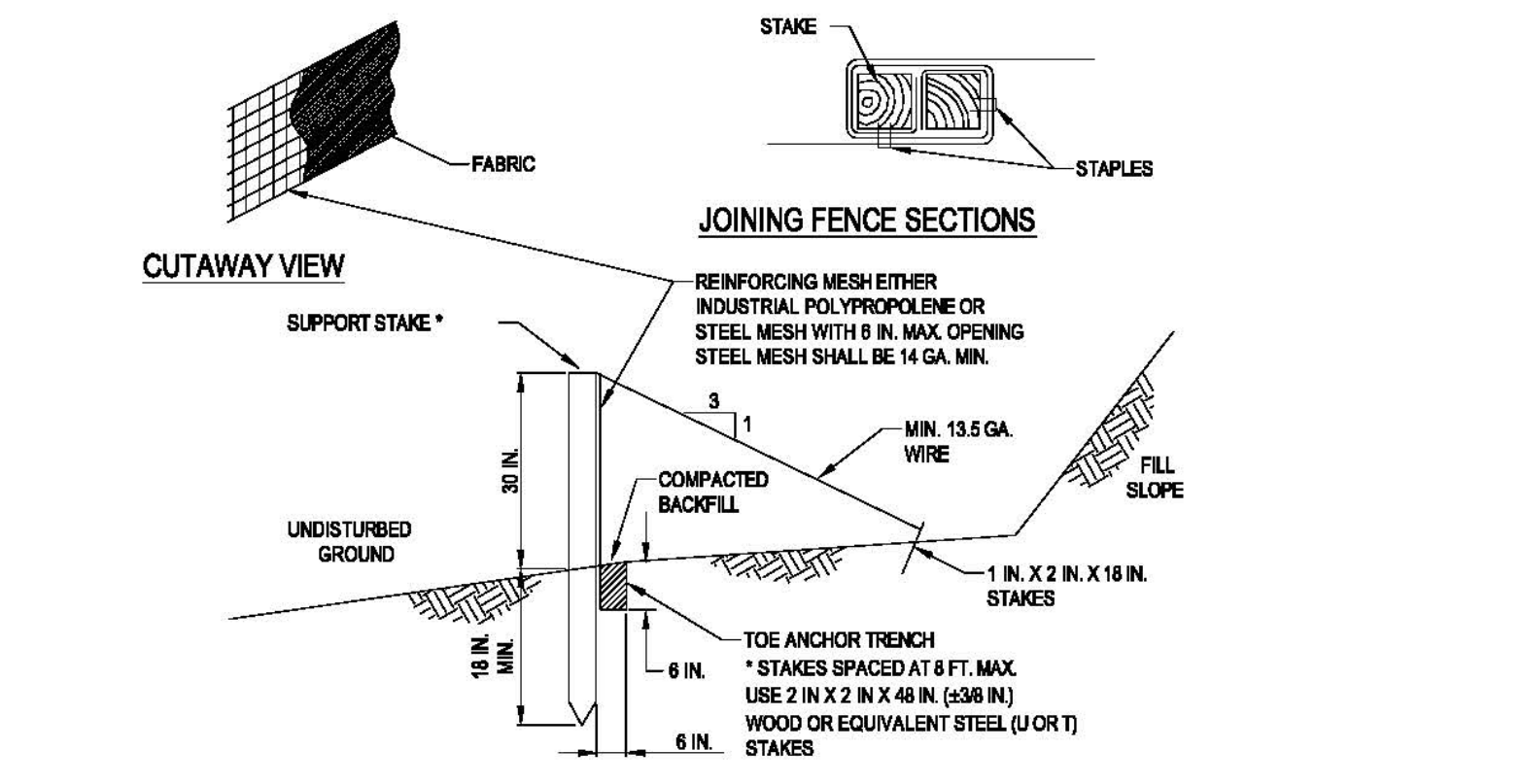
TABLE 11.6 Mulch Application Rates

Table with columns: Mulch Type, Application Rate (Min.), Application Rate (Max.). Rows include Straw, Hay, Wood Chips, Hydromulch.



TEMPORARY SOIL STOCKPILE DETAIL

SCALE: N.T.S. REV: 2015.03.09



STANDARD CONSTRUCTION DETAIL #4-B REINFORCED SILT FENCE (30' HIGH)

NOT TO SCALE

SOIL COMPACTION RESTORATION SPECIFICATIONS

DESIGN CONSIDERATIONS: 1) COMPOST SHOULD BE ADDED AT A RATE OF 2:1 (SOIL:COMPOST)... 2) SOIL RESTORATION SHOULD NOT TAKE PLACE WITHIN THE DRIP LINE OF A TREE...

COMPOST APPLICATION PROCEDURE

1) THE ENTIRE AREA TO BE AMENDED SHOULD BE RIPPED TO LOOSEN SOILS. THE SURFACE SHOULD THEN BE CLEARED OF CLDS, ROCKS AND DEBRIS...

COMPOST APPLICATION RATE EQUIVALENTS

Table with columns: Soil Amendment, Permanent Seeding Application Rate, Temporary Seeding Application Rate. Rows include Agricultural lime, 10-10-20 fertilizer, and 10-10-10 fertilizer.

TABLE 1.1 PHYSICAL REQUIREMENTS FOR COMPOST

Table with columns: PARAMETER, RANGE, TESTING METHOD. Rows include pH, Soluble Salt Concentration, Moisture, Organic Matter, Particle Size, Sulfur, Maturity, Physical Contaminants, Chemical Contaminants, Copper, Lead, Mercury, Molybdenum, Nickel, Selenium, Zinc, Biological Contaminants, Fecal Coliform, Salmonella.

TABLE 11.6 Mulch Application Rates

Table with columns: Mulch Type, Application Rate (Min.), Application Rate (Max.). Rows include Straw, Hay, Wood Chips, Hydromulch.

BOHLER ENGINEERING logo and contact information: 1600 MANOR DRIVE, SUITE 200 CHALFONT, PENNSYLVANIA 18914

REVISIONS table with columns: REV, DATE, COMMENT, BY.

Table with columns: REV, DATE, COMMENT, BY.

Table with columns: REV, DATE, COMMENT, BY.

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Table with columns: REV, DATE, COMMENT, BY.

CALL BEFORE YOU DIG! logo and contact information: PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION BEFORE ANY WORKING DAYS IN DESIGN - 10% CALL

NOT APPROVED FOR CONSTRUCTION logo and contact information: PROJECT NO: PC18132, DRAWN BY: G.J.H., CHECKED BY: G.J.H., DATE: 2017.04.28, SCALE: AS NOTED, CAD LID: PC18132-03/02

PROPOSED BUILDING ADDITION (EAST GOSHEN ELEMENTARY SCHOOL) logo and contact information: PROJECT: WEST CHESTER AREA SCHOOL DISTRICT

FOR WEST CHESTER AREA SCHOOL DISTRICT logo and contact information: 800 N. CHESTER ROAD EAST GOSHEN TOWNSHIP PENNSYLVANIA 19380

BOHLER ENGINEERING logo and contact information: 1600 MANOR DRIVE, SUITE 200 CHALFONT, PENNSYLVANIA 18914

G.J. HARTMAN logo and contact information: PROFESSIONAL ENGINEER PENNSYLVANIA LICENSE NO. PE079683

DETAILS SHEET NUMBER: 7 OF 7 REVISION 2 - 2018.01.05



# Memorandum

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East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

---

Date: 1/9/2017

To: Board of Supervisors

From: Mark Gordon, Township Zoning Officer *mlg*

Re: 1665 E. Boot Rd. / Dimensional Variance

Dear Board Members,

The Elliot's, owners of 1665 E. Boot Rd. have submitted a Zoning Hearing Board Application seeking relief from the side yard setback in order to enlarge their existing nonconforming pool house. The pool house was permitted by the township and inspected however a recent survey shows that the pool house was constructed within the side yard setback area.

**Recommendation:**

This is a minor intrusion into the side yard setback that has existed for a number of years without issue. The addition proposed for the pool house does not appear to cause impacts for the neighboring properties. From a planning perspective this request is pretty straight forward and the neighboring property owners have sent a letter of support for the request.

The Planning Commission has forwarded their recommendation to take "No Position" on the variance request.

Staff recommends that the BOS consider taking "No Position" with respect to this variance request with the caveat that should the ZHB decide that the applicant has met the burdens for a variance; reasonable conditions be included in order to minimize any impacts.

EAST GOSHEN TOWNSHIP  
PLANNING COMMISSION  
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

January 9, 2018

East Goshen Township  
Board of Supervisors  
1580 Paoli Pike  
West Chester, Pa. 19380

Re: 1665 E. Boot Rd. / Dimensional Variance request

Dear Board Members:

At their meeting on January 3, 2018 the Planning Commission voted unanimously in favor of the following motion with regard to the Dimensional Variance Request for 1665 E. Boot Rd.:

*Mr. Chairman, I move that the Planning Commission recommend that the Board of Supervisors take "No Position" with respect to the requested side yard variance relief. However, should the Zoning Hearing Board grant the requested relief, the following conditions should be imposed to mitigate any impacts caused by the granted relief:*

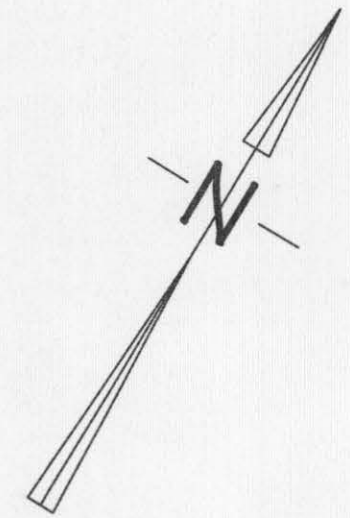
- 1. The applicant shall make every effort to protect the existing trees that currently screen the area of the proposed building addition from the neighboring property to the east.*
- 2. The applicant shall enhance the existing landscape screening, to the satisfaction of the Township, in order to provide a complete landscape screen for the neighboring property to the east.*
- 3. The applicant shall follow all applicable Federal, State and Local laws and ordinances.*

Sincerely,



Mark A. Gordon  
Township Zoning Officer

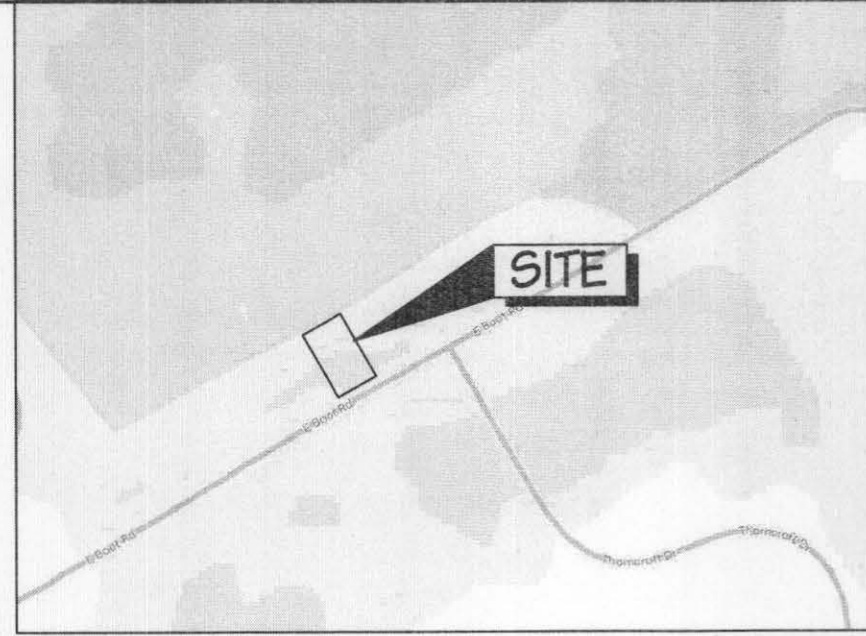
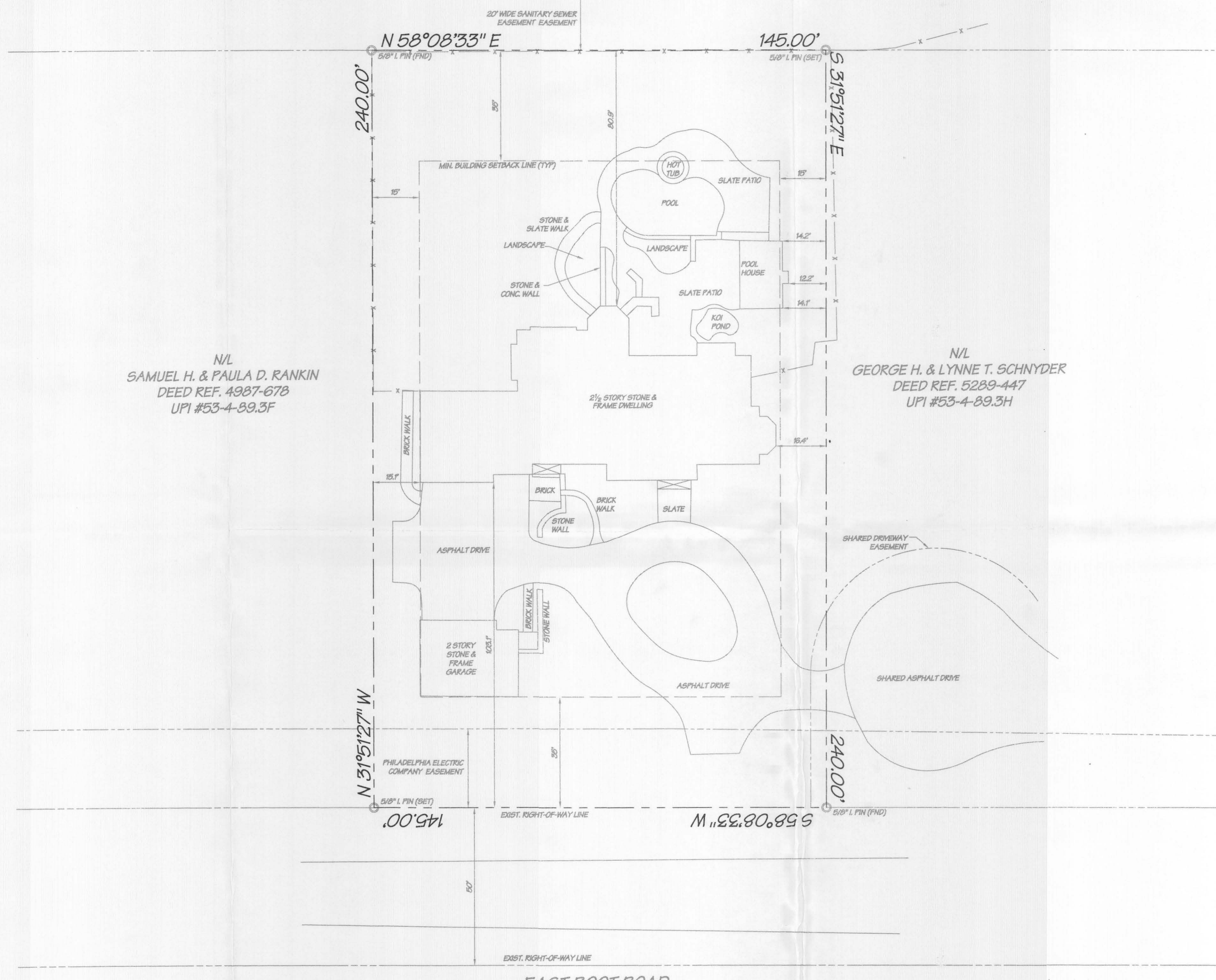




N/L  
APPLEBROOK ASSOCIATES, LP  
DEED REF. 4705-1670  
UPI #53-4-89

N/L  
SAMUEL H. & PAULA D. RANKIN  
DEED REF. 4987-678  
UPI #53-4-89.3F

N/L  
GEORGE H. & LYNNE T. SCHNYDER  
DEED REF. 5289-447  
UPI #53-4-89.3H



LOCATION MAP  
NOT TO SCALE

**GENERAL NOTES**

- PHYSICAL FEATURES SHOWN HEREON OBTAINED BY A FIELD SURVEY COMPLETED ON OCTOBER 17, 2017.
- HORIZONTAL DATUM IS BASED ON DEED BEARINGS.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THIS PLAN IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH VASTARDIS CONSULTING ENGINEERS, LLC (VCELLC) WAS CONTRACTED TO PERFORM, EXCEPT ANY RECORDED OR UNRECORDED EASEMENTS WHICH MAY NOT BE VISIBLE OR SUPPLIED TO VASTARDIS CONSULTING ENGINEERS, LLC (VCELLC).
- THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION. VASTARDIS CONSULTING ENGINEERS, LLC (VCELLC) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. VCELLC DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, VCELLC SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. VCELLC HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
- REFERENCE IS MADE TO PLAN ENTITLED "GOLF COURSE SITE PLAN FOR APPLEBROOK", PREPARED BY CHESTER VALLEY ENGINEERS, INC., SHEET K-02, DATED 12/17/2008, LAST REVISED 07/12/2000, RECORDED IN CHESTER COUNTY RECORDER OF DEEDS OFFICE PLAN NO. 826469.

**ZONING REQUIREMENT**

1-2 PLANNED BUSINESS/RESEARCH/UNITS INDUSTRIAL/PARK/RESIDENTIAL

**ZONING REQUIREMENT AT TIME OF DEVELOPMENT**

PLANNED GOLF COURSE DEVELOPMENT	REQUIRED
MIN. LOT AREA	20,000 S.F.
MIN. LOT WIDTH @ BLDG LINE	10 FT.
MIN. FRONT YARD SETBACK	35 FT.
MIN. SIDE YARD SETBACK	15 FT.
MIN. REAR YARD SETBACK	35 FT.
MAX. BUILDING AREA	20%
MAX. IMPERVIOUS SURFACES	50%
MAX. BUILDING HEIGHT	35 FT.

**PROPERTY OWNER**

TERRI L. ELLIOTT  
1665 EAST BOOT ROAD  
WEST CHESTER, PA 19380

**PROPERTY INFORMATION**

DEED REF. 8864-2086  
UPI #53-4-89.3G

**IMPERVIOUS COVERAGE**

	EXISTING
DWELLING	4,191 S.F. 12.0%
DRIVE	4,469 S.F. 12.0%
GARAGE	705 S.F. 2.1%
POOL HOUSE	300 S.F. 0.8%
PATIO/PORCHES/ WALKS/WALLS	2,689 S.F. 7.5%
POOL	642 S.F. 1.8%
TOTAL	15,024 S.F. 37.4%

**LEGEND**

- EXIST. BOUNDARY LINE
- EXIST. RIGHT-OF-WAY
- EXIST. BUILDING SETBACK LINE
- EXIST. IRON PIN/PIPE



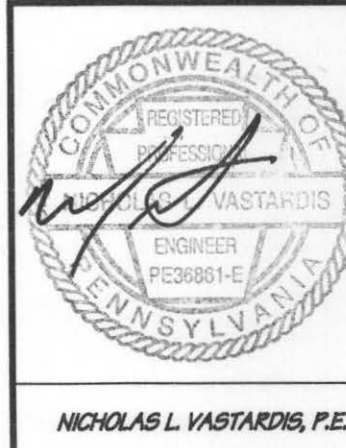
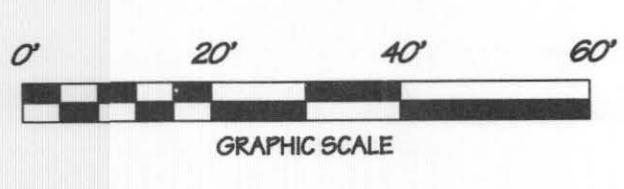
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-246-4776 NON-MEMBERS MUST BE CONTACTED DIRECTLY PA ACT 172 (1986) REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, SLAB OR DEMOLISH.

OSHA REGULATORY SPECIAL EXCAVATION REQUIREMENTS (A) PRIOR TO OPENING AN EXCAVATION, SPECIAL MEASURES SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND UTILITIES ARE PRESENT. (B) BEFORE ANY EXCAVATION, THE EXCAVATOR SHALL BE ADVISED BY THE UTILITY OWNERS OF THE LOCATION AND DEPTH OF ALL UTILITIES. (C) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (D) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (E) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (F) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (G) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (H) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (I) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (J) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (K) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (L) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (M) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (N) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (O) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (P) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (Q) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (R) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (S) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (T) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (U) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (V) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (W) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (X) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (Y) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. (Z) THE EXCAVATOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

OUTSIDE PENNA. OR IN THE PITTSBURGH AREA WE CAN ALSO BE REACHED AT 412-925-7100

PA ONE CALL  
SERIAL NO. XXXXXXXXXXXX  
TAX PARCEL UPI #53-4-89.3G

EAST BOOT ROAD



1	11-30-17	ADD POOL HOUSE SETBACK DIMENSIONS
NUM.	DATE	REVISION
 <b>VASTARDIS</b> CONSULTING ENGINEERS, LLC <small>29 Harvey Lane   Malvern, PA 19355 Ph: 610.644.8663   Fx: 610.644.3789 Email: vcellc@verizon.net</small>		
PLAN PREPARED FOR: <b>TERRI L. ELLIOTT</b> <b>1665 EAST BOOT ROAD</b>		DRAWN BY: SDI CHECKED BY: NY DATE: 10-30-17 SCALE: 1"=20'
EAST GOSHEN TOWNSHIP CHESTER COUNTY PENNSYLVANIA		<b>EXISTING CONDITIONS PLAN</b> SHEET <b>1</b> OF 1



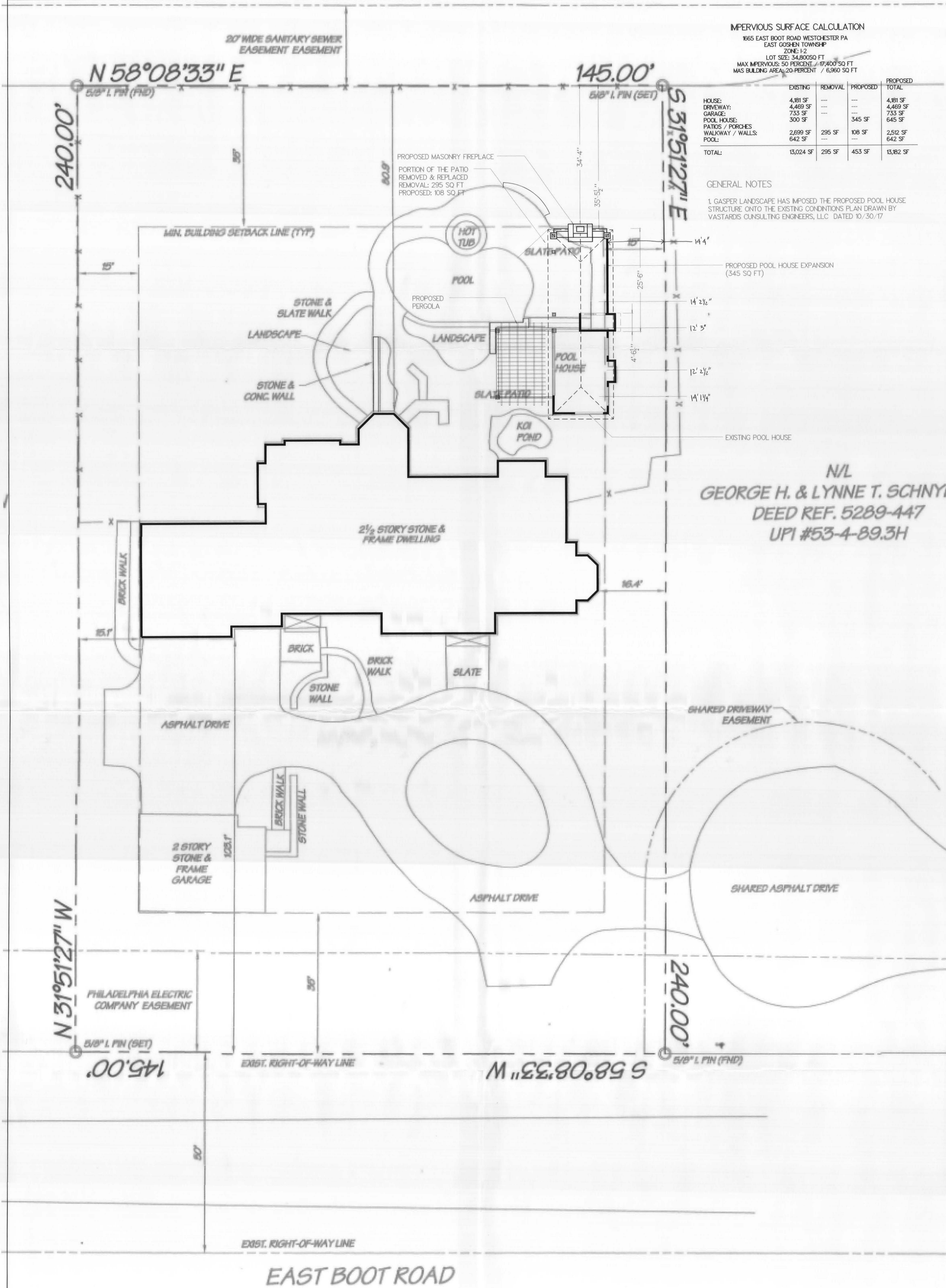
**IMPERVIOUS SURFACE CALCULATION**

1665 EAST BOOT ROAD WESTCHESTER PA  
 EAST GOSHEN TOWNSHIP  
 ZONE: I-2  
 LOT SIZE: 34,800 SQ FT  
 MAX IMPERVIOUS: 50 PERCENT / 17,400 SQ FT  
 MAX BUILDING AREA: 20 PERCENT / 6,960 SQ FT

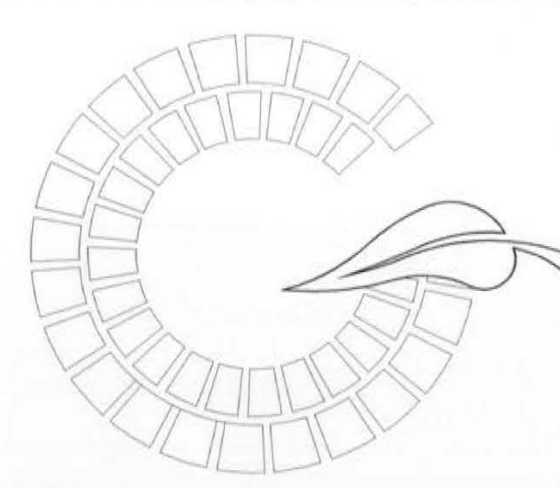
	EXISTING	REMOVAL	PROPOSED	PROPOSED TOTAL
HOUSE:	4,181 SF	---	---	4,181 SF
DRIVEWAY:	4,469 SF	---	---	4,469 SF
GARAGE:	733 SF	---	---	733 SF
POOL HOUSE:	300 SF	---	345 SF	645 SF
PATIOS / PORCHES	---	---	---	---
WALKWAY / WALLS:	2,699 SF	295 SF	108 SF	2,512 SF
POOL:	642 SF	---	---	642 SF
<b>TOTAL:</b>	<b>13,024 SF</b>	<b>295 SF</b>	<b>453 SF</b>	<b>13,182 SF</b>

**GENERAL NOTES**

1. GASPER LANDSCAPE HAS IMPOSED THE PROPOSED POOL HOUSE STRUCTURE ONTO THE EXISTING CONDITIONS PLAN DRAWN BY VASTARDIS CONSULTING ENGINEERS, LLC DATED 10/30/17



N/L  
 GEORGE H. & LYNNE T. SCHNYDER  
 DEED REF. 5289-447  
 UPI #53-4-89.3H



**Gasper Landscapes**  
 316 Tanyard Road  
 Richboro, PA. 18954  
 215 396 2880  
 www.gasper.net

PROJECT ADDRESS:  
 1665 EAST BOOT ROAD

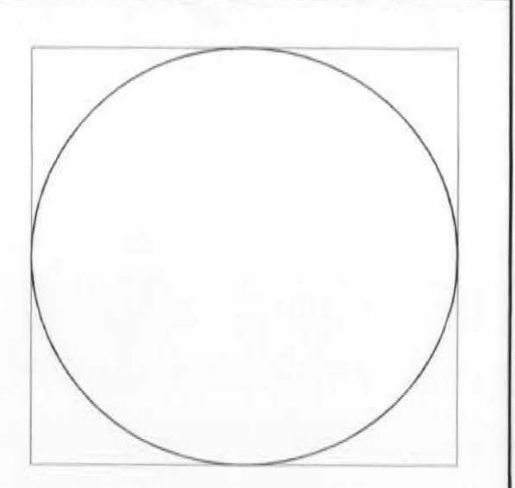
CLIENT NAME:  
 ELLIOTT, TERRI & ERIC

DWG. NAME:  
 VARIANCE PLAN

DRAWN BY:  
 J. GLEASON  
 GASPER LANDSCAPE

SCALE:  
 1" = 10'

DATE:  
 11/29/2017



# Memo

## East Goshen Township

Date: January 11, 2018  
To: Board of Supervisors  
From: Rick Smith, Township Manager  
Re: Paoli Pike Trail Easements  
Segments (C, D & E)

In order to construct the Paoli Pike Trail the Township needs to acquire easements along Paoli Pike. However, since we are using federal and state grant funds for part of the trail we have to follow the PennDOT procedure for acquisition of any easement.

McMahon Associates has prepared a plan that depicts the required easements/right-of-ways. However, the Board has to approve the plan and authorize the submission of the plan to PennDOT for their approval before we can meet with the property owners.

McMahon has been in discussion with PennDOT during the preparation of this Plan and we anticipate that PennDOT will sign the Plan in the very near future.

Once PennDOT signs the Plan we will then be able to meet with the various property owners and begin negotiations for the easements.

Under the terms of our grants we need to acquire the required easements and submit them along with the plans for the project to PennDOT in 2019.

Attached is a copy of the Plan and resolution.

**Motion:** I move we adopt resolution 2017-176



**EAST GOSHEN TOWNSHIP**

**CHESTER COUNTY, PENNSYLVANIA**

**RESOLUTION NO. 2017-176**

WHEREAS, the Township has developed a master plan for a multimodal trail (the "Trail") to be constructed along Paoli Pike from Airport Road to Line Road (the "Trail Project"); and

WHEREAS, portions of the Trail will be constructed within areas of right-of-way of Paoli Pike and Boot Road and areas of easements which the Township intends to acquire from owners of various parcels of real property along Paoli Pike and Boot Road; and

WHEREAS, the Township's engineering consultant, McMahon Associates, Inc., has prepared the attached right of way plans titled, "Drawings Authorizing Acquisition of Right of Way for State Route 2014" consisting of 13 sheets, (the "Right of Way Plans") which must be approved by the Pennsylvania Department of Transportation ("PennDOT") before the Township may negotiate to acquire the necessary easements for construction, maintenance and installation of the Trail; and

WHEREAS, before PennDOT can approve the Right of Way Plans, they must be approved and signed by the Board of Supervisors;

NOW THEREFORE, BE IT RESOLVED by the Board of Supervisors of East Goshen Township as follows:

The Township approves the Right of Way Plans and authorizes the Chairman of the Board of Supervisors to sign the same prior to submission to PennDOT.

RESOLVED this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

ATTEST:

**EAST GOSHEN TOWNSHIP  
BOARD OF SUPERVISORS**

\_\_\_\_\_  
Louis F. Smith, Secretary

\_\_\_\_\_  
E. Martin Shane, Chairman

\_\_\_\_\_  
Carmen R. Battavio, Vice-Chairman

---

Janet L. Emanuel, Member

---

Michael P. Lynch, Member

---

David E. Shuey, Member

F:\Data\Shared Data\ABC'S\Board of Supervisors\Resolutions\2018\Paoli Pike Trail Easement Resolution.docx



DISTRICT	COUNTY	TOWNSHIP	BOROUGH	ROUTE	SECTION	TOTAL SHEETS
6-0	CHESTER	EAST GOSHEN		2014	PPT R/W	13

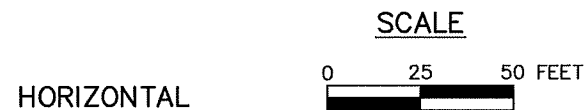
SEGMENT C MPMS NO.: 107176  
 SEGMENTS D&E MPMS NO.: 107630

**EAST GOSHEN TOWNSHIP  
 DRAWINGS AUTHORIZING ACQUISITION  
 OF  
 RIGHT-OF-WAY  
 FOR**

STATE ROUTE 2014 SECTION PPT R/W  
 IN CHESTER COUNTY

FROM STA 1129+67.66 TO STA 1173+04.86 LENGTH 3,319.40 FT 0.629 MI  
 FROM SEG 0050 OFFSET 2058 TO SEG 0060 OFFSET 2768

THIS PLAN PREPARED PURSUANT TO SECTION 2003(e) OF THE ADMINISTRATIVE CODE, AS AMENDED, 71 P.S. SECTION 513(e), AND SECTION 302(b)(3) OF THE EMINENT DOMAIN CODE, 26 Pa.C.S., SECTION 302(b)(3).



DESIGN DESIGNATION		TRAFFIC DATA	
HIGHWAY CLASSIFICATION	COMMUNITY ARTERIAL (SUBURBAN CORRIDOR)	CURRENT ADT	11,280 (2019)
DESIGN SPEED	40 MPH	DESIGN YEAR ADT	16,238 (2040)
PAVEMENT WIDTH	25'-50'	DHV	1,786
SHOULDER WIDTH	2'-20'	D	55%
MEDIAN WIDTH	N/A	T	17%

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC. IN  
CHESTER COUNTY, PA.  
 IN INSTRUMENT # \_\_\_\_\_  
 WITNESS MY HAND AND SEAL OF OFFICE  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 \_\_\_\_\_ RECORDER

COMMONWEALTH OF PENNSYLVANIA  
 COUNTY OF CHESTER SS  
 BEFORE ME, A NOTARY PUBLIC, PERSONALLY CAME \_\_\_\_\_ KNOWN TO ME OR SATISFACTORILY PROVEN TO BE THE PERSON WHO HAS BEEN AUTHORIZED BY WRITTEN DELEGATION WITNESS THE SIGNATURE OF THE BOARD OF SUPERVISORS CHAIR, ON PLANS AUTHORIZING ACQUISITION OF RIGHT-OF-WAY BY THE TOWNSHIP, AND AS SUCH AUTHORIZED REPRESENTATIVE ACKNOWLEDGED THE WITHIN PLAN, COMPRISING 13 SHEETS, TO BE AN OFFICIAL PLAN OF THE TOWNSHIP AND DESIRED THAT THE SAME BE RECORDED AS SUCH.  
 WITNESS MY HAND AND NOTARIAL SEAL

PREPARED BY:  
 MCMAHON ASSOCIATES INC  
 425 COMMERCE DRIVE  
 FORT WASHINGTON, PA 19034

\_\_\_\_\_  
 KENNETH SWIFT, P.L.S.  
 DATE: \_\_\_\_\_

PREPARED BY:  
 MCMAHON ASSOCIATES INC  
 840 SPRINGDALE DRIVE  
 EXTON, PA 19341

\_\_\_\_\_  
 STEPHEN C. GIAMPAOLO, P.E.  
 DATE: \_\_\_\_\_

RECOMMENDED DATE: \_\_\_\_\_  
 \_\_\_\_\_ DISTRICT EXECUTIVE

RESOLUTION NUMBER: \_\_\_\_\_  
 APPROVED DATE: \_\_\_\_\_  
 \_\_\_\_\_ (BOARD OF SUPERVISORS CHAIR)

**ACT 181 UTILITY LIST**

PENNSYLVANIA ONE CALL SYSTEM, INC.  
(EMERGENCY 1-800-242-1776)  
SERIAL NO. 20162091979

AQUA PENNSYLVANIA, INC  
762 LANCASTER AVE  
BRYN MAWR, PA 19010  
(610) 645-4203  
ATTN: WILLIAM ZAHN

PECO ENERGY CO. - GAS  
300 FRONT STREET, BUILDING 2  
WEST CONSHOCKEN, PA 19428  
(610) 832-8534  
ATTN: MICHAEL GABRIEL

AT&T CORPORATION  
C/O THE TREC GROUP  
900 OLD MARPLE ROAD  
SPRINGFIELD, PA 19064  
(610) 328-6465  
ATTN: JAY EVERLY

SUNOCO PIPELINE, LP  
ONE CALL DEPT.  
525 FRITZTOWN RD  
SINKING SPRING, PA 19608  
(610) 670-3252  
ATTN: WALTER SKORUPSKY

COMCAST CABLE COMMUNICATIONS  
C/O AMERICACOM LLC  
55 WEST STREET  
NEWBILLE, PA 17241  
(717) 776-1073  
ATTN: KEITH ALLRIDGE

VERIZON PENNSYLVANIA, LLC.  
15 E. MONTGOMERY PL  
02 FLOOR ROOM 1  
PITTSBURG, PA 15212  
(412) 237-2285  
ATTN: DEBORAH DELIA

EAST GOSHEN TOWNSHIP  
1580 PAOLI PIKE  
WEST CHESTER, PA 19380  
(610) 692-7171  
ATTN: LEWS (RICK) SMITH

WILLIAMS TRANSCONTINENTAL GAS  
PIPELINE COMPANY  
60 BACTON HILL ROAD  
FRAZER, PA 19355  
(610) 644-7373  
ATTN: BRIAN RICH

INTERSTATE ENERGY COMPANY  
214 SHOEMAKER ROAD  
POTTSTOWN, PA 19464  
(610) 327-5325  
ATTN: MARK STORY

PECO ENERGY CO. - ELECTRIC  
1050 W. SWEDES FORD ROAD  
BERWYN PA, 19312  
(610) 725-7129  
ATTN: BILL HENSIL

**TABULATION OF OVERALL LENGTH**

LOCATION	STATION TO STATION	FEET	MILES
SR 2014	STA 1129+67.66 TO STA 1173+04.86	4,337.20	0.821
TABULATION OF AUTHORIZATION LENGTH			
SR 2014	LOA STA 1129+67.66 TO END STA 1141+58.89	1191.23	0.226
	BEGIN STA 1142+16.60 TO END STA 1145+10.68	294.08	0.056
	BEGIN STA 1145+42.04 TO END STA 1145+97.00	54.96	0.010
	BEGIN STA 1146+24.44 TO END STA 1155+68.00	943.56	0.179
	BEGIN STA 1164+69.29 TO LOA STA 1173+04.86	835.57	0.158
	TOTAL	3,319.40	0.629

**SUMMARY OF PROJECT COORDINATES**

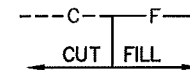
BASED ON PENNSYLVANIA STATE PLANE  
COORDINATE SYSTEM, SOUTH ZONE

RTE	STATION	POINT	COORDINATES		BEARING
			NORTH	EAST	
SR 2014 R/W E	1129+67.66	P.O.T. (BEGIN STATION)	245745.0017	2583233.6850	
	1137+31.24	P.C.	246142.9349	2583885.3752	N58°35'28"E
	1138+80.76	P.I.	246220.8580	2584012.9888	
	1140+30.13	P.T.	246288.5129	2584146.3307	N63°05'52"E
	1141+65.13	P.C.	246349.5954	2584266.7190	
	1142+21.99	P.I.	246375.3236	2584317.4270	
	1142+77.43	P.T.	246418.2921	2584354.6689	N40°54'59"E
	1149+79.99	P.I.	246949.1917	2584814.8132	
	1167+26.77	P.I.	248273.8650	2585953.4536	N40°40'52"E
	1173+04.86	P.O.T. (END STATION)	248713.2120	2586329.1720	N40°32'10"E
	1174+08.12	P.I.	248791.6875	2586396.2823	

4 PLACE COORDINATES ARE FOR COMPUTATIONAL PURPOSES  
ONLY AND DO NOT IMPLY A PRECISION BEYOND 2 DECIMALS

**GENERAL NOTES (CONTINUED)**

INDICATES THE SLOPE LIMIT



TRAFFIC SIGNAL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, OPERATION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF A TRAFFIC SIGNAL AND APPURTENANCE THERETO. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO ITS USE FOR TRAFFIC SIGNAL PURPOSES.

SIDEWALK EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF A SIDEWALK. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO ITS USE FOR SIDEWALK PURPOSES.

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLANS IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE TOWNSHIP.

BUILDINGS AND STRUCTURES MARKED [C] HAVE BEEN OR ARE TO BE REMOVED OR ALTERED BY THE DEPARTMENT OR OTHER AUTHORITY RESPONSIBLE FOR THE PAYMENT OF PROPERTY DAMAGES.

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	03 OF 13

EAST GOSHEN TOWNSHIP

REVISION NUMBER	REVISIONS	DATE	BY

**GENERAL NOTES**

THE LEGAL RIGHT-OF-WAY ON SR 2014, FORMERLY LR 143 (PAOLI PIKE) FROM STATION 1128+50.00 TO STATION 1173+04.86 IS 40 FEET WIDE ESTABLISHED BY PENNSYLVANIA PAMPHLET LAWS DATED APRIL 14, 1834 AND RECORDED ON PAGE 442. ALSO RECORDED IN THE CHESTER COUNTY COURTHOUSE IN ROAD DOCKET G PAGE 172 AND ORIGINAL PAPERS VOLUME 46 PAGE 47.

THE LEGAL RIGHT-OF-WAY ON SR 2014, FORMERLY LR 143 (PAOLI PIKE) FROM STATION 1151+14.36 TO STATION 1154+74.02 IS VARIABLE FROM 40 FEET TO 100 FEET WIDE BASED ON DRAWINGS AUTHORIZING ACQUISITION OF RIGHT-OF-WAY FOR SR 2014 SECTION 69S R/W IN CHESTER COUNTY, SIGNED BY THE SECRETARY OF TRANSPORTATION ON SEPTEMBER 5, 1996 AND RECORDED IN THE CHESTER COUNTY COURTHOUSE IN PLAN BOOK 91, PAGE 10.

THE LEGAL RIGHT-OF-WAY ON SR 2014, FORMERLY LR 143 (PAOLI PIKE) FROM STATION 0+00 TO STATION 0+00 IS VARIABLE WIDTH BASED ON DRAWINGS DEPICTING RIGHT-OF-WAY TO BE DEEDED TO THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UNDER HOP APPLICATION NO. 134747 BY EAST GOSHEN TOWNSHIP FOR STATE ROUTE 2014 SECTION EGT R/W AND STATE ROUTE 2020 SECTION EGT R/W, AND STATE ROUTE 0352 SECTION EGT R/W IN CHESTER COUNTY, SIGNED BY THE SECRETARY OF TRANSPORTATION ON \_\_\_\_\_ AND RECORDED IN THE CHESTER COUNTY RECORDER OF DEEDS OFFICE ON \_\_\_\_\_ IN PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

ALL REQUIRED RIGHT-OF-WAY FOR THIS PROJECT SHALL BE ACQUIRED IN FEE SIMPLE UNLESS OTHERWISE NOTED. AREAS, IF ANY, NOT TO BE ACQUIRED IN FEE SIMPLE SHALL BE ACQUIRED IN THE LESSER ESTATE OR INTEREST NOTED ON THE PLAN SHEET.

ALL PROPERTIES ARE PLOTTED FROM THE DEED OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

THE HORIZONTAL SURVEY DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 83) THE AVERAGE COMBINED SCALE FACTOR = 0.9999942.

THE VERTICAL CONTROL IS BASED ON NAVD 1988 DATUM.

THE HALF CIRCLED NUMBER INDICATES A SCALED DIMENSION.

INDICATES PROPOSED MONUMENTED DIMENSIONS

S.R. 2014 PREVIOUSLY KNOWN AS L.R. 143.

ALL CURVE DATA IS BASED ON THE ARC DEFINITION UNLESS OTHERWISE INDICATED.

**SUMMARY OF CONTROL POINT COORDINATES**

BASED ON PENNSYLVANIA STATE PLANE  
COORDINATE SYSTEM, SOUTH ZONE

POINT	DESCRIPTION	STATION	OFFSET	COORDINATES	
				NORTH	EAST
12	REBAR W/CAP	1133+30.16	17.01' RT	245919.3940	2583551.9277
7	REBAR W/CAP	1155+16.94	42.74' RT	247328.5263	2585197.2390
3	REBAR W/CAP	1180+26.94	20.79' RT	249221.8452	2586843.8849

4 PLACE COORDINATES ARE FOR COMPUTATIONAL PURPOSES  
ONLY AND DO NOT IMPLY A PRECISION BEYOND 2 DECIMALS

**SUMMARY OF REQUIRED RIGHT-OF-WAY  
BREAK POINT COORDINATES**

BASED ON PENNSYLVANIA STATE PLANE  
COORDINATE SYSTEM, SOUTH ZONE

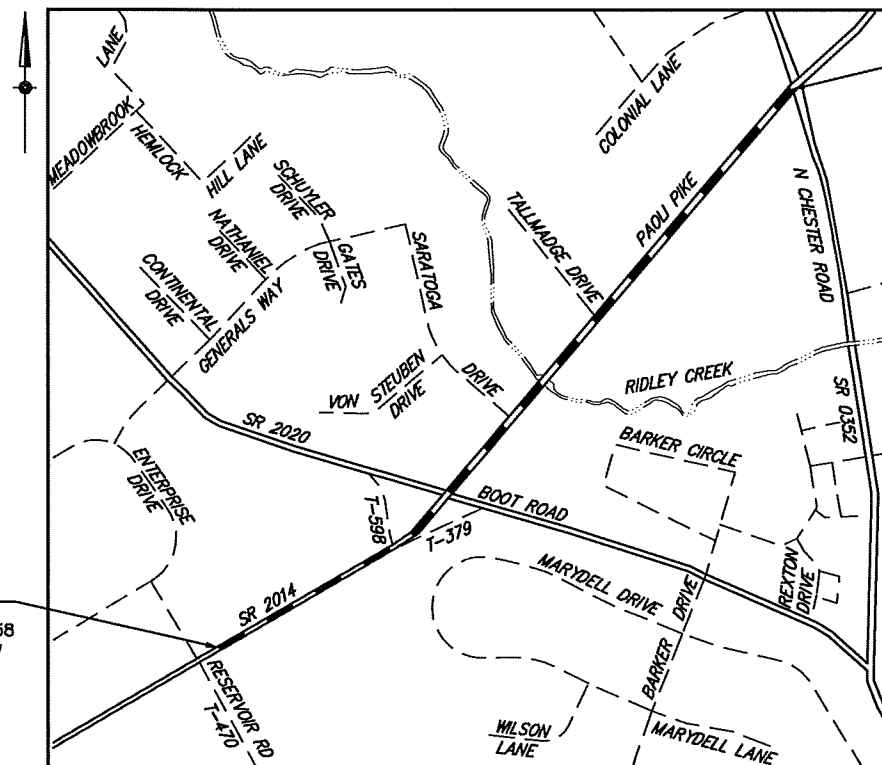
RTE	STATION	OFFSET	COORDINATES	
			NORTH	EAST
SR 2014 R/W E	1141+20.00	29.47' LT	246355.4539	2584213.1423
	1141+58.89	120.00' LT	246453.7845	2584206.8558

⊕ PROPOSED MONUMENT LOCATION

4 PLACE COORDINATES ARE FOR COMPUTATIONAL PURPOSES  
ONLY AND DO NOT IMPLY A PRECISION BEYOND 2 DECIMALS

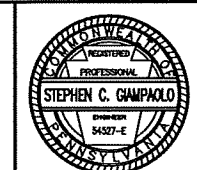
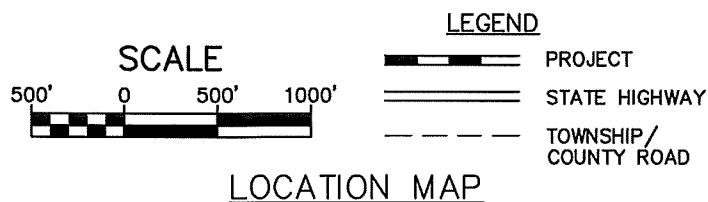
**TABULATION OF SEGMENT EQUALITIES**

SR 2014  
SEGMENT 0050 OFFSET 2058 = STA 1129+67.55  
SEGMENT 0060 OFFSET 0000 = STA 1145+37.07  
SEGMENT 0060 OFFSET 2768 = STA 1173+04.86



LIMIT OF AUTHORIZATION  
STATION 1129+67.66  
SEGMENT 0050 OFFSET 2058  
SR 2014 SECTION PPT R/W  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY

LIMIT OF AUTHORIZATION  
STATION 1173+04.86  
SEGMENT 0060 OFFSET 2768  
SR 2014 SECTION PPT R/W  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY



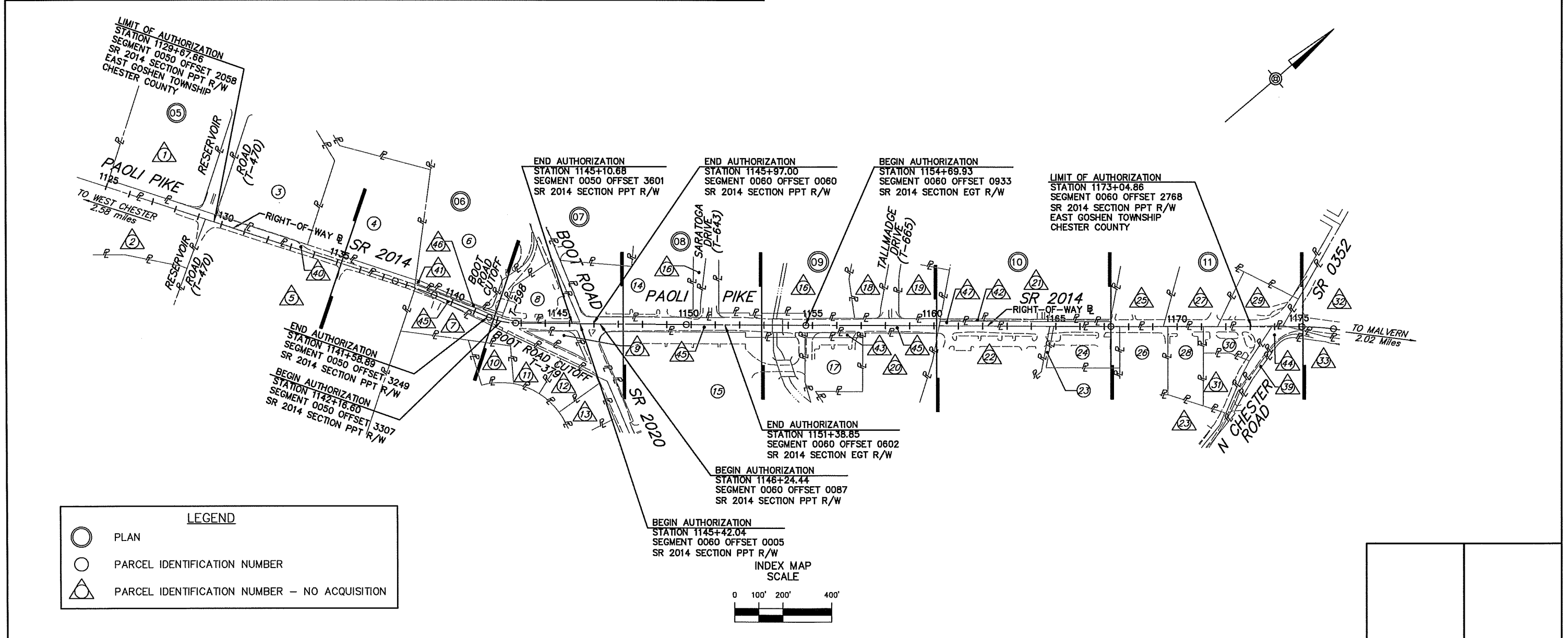
TABULATION OF PROPERTY OWNERS

PARCEL NO	OWNER	OWNER	OWNER	OWNER
1	ACERO HOLDINGS, LLC	13 THOMAS J YOUNG & SUSAN M YOUNG	25 PASQUALE D'ABUNDO & CONCETTA D'ABUNDO, CO-TRUSTEES UNDER THE CONCETTA D'ABUNDO REVOCABLE TRUST	41 EAST GOSHEN TOWNSHIP
2	DANIEL M MCNEFF & PATRICIA M MCNEFF	14 PAOLI REALTY PARTNERS, LP	26 CARROLL E SINQUETT	42 PENNSYLVANIA DEPARTMENT OF TRANSPORTATION
3	PARSONS 1336, LLC	15 GOSHEN EQUITIES LLC	27 BENTLY FAMILY LIMITED PARTNERSHIP I, LP	43 EAST GOSHEN TOWNSHIP
4	PARSONS RENTAL IV	16 EAST GOSHEN TOWNSHIP	28 THORNDALE INVESTMENT GROUP	44 PENNSYLVANIA DEPARTMENT OF TRANSPORTATION
5	THOMAS R PERAINO & DORIS D PERAINO	17 COMMERCE BANK/PENNSYLVANIA N.A.	29 KALEMJIAN INC.	45 EAST GOSHEN TOWNSHIP
6	GOSHEN EXECUTIVE CONDOMINIUM ASSOCIATION	18 PAUL M BAKER & MARY R BAKER	30 REDEEMED PROPERTIES LP	46 PENNSYLVANIA DEPARTMENT OF TRANSPORTATION
7	TRU-TEAM, INC.	19 EDWARD T MCFALLS & LEIGH T MCFALLS	31 TOPMAL LLC	47 EAST GOSHEN TOWNSHIP
8	SUNOCO, LLC	20 EAST GOSHEN TOWNSHIP	32 NICHOLAS PERAKIS & ANDREA N PERAKIS	
9	EAST GOSHEN TOWNSHIP	21 PAOLI PIKE ASSOCIATES, LP	33 JESSE W. COX, N. WALTER SUPPLEE, J. RUSSELL HICKE, & JOHN V. NOLAN, TRUSTEES OF THE GOSHEN MONTHLY MEETING CEMETERY	
10	ANDREW W TYLER & PATRICIA A TYLER	22 EAST GOSHEN TOWNSHIP		
11	DARREN A PARK & MARY A PARK	23 WEST CHESTER AREA SCHOOL DISTRICT	39 EAST GOSHEN TOWNSHIP	
12	KENNETH H CROSSMAN & THERESA R CROSSMAN	24 KEYSTONE FINANCIAL BANK	40 EAST GOSHEN TOWNSHIP	

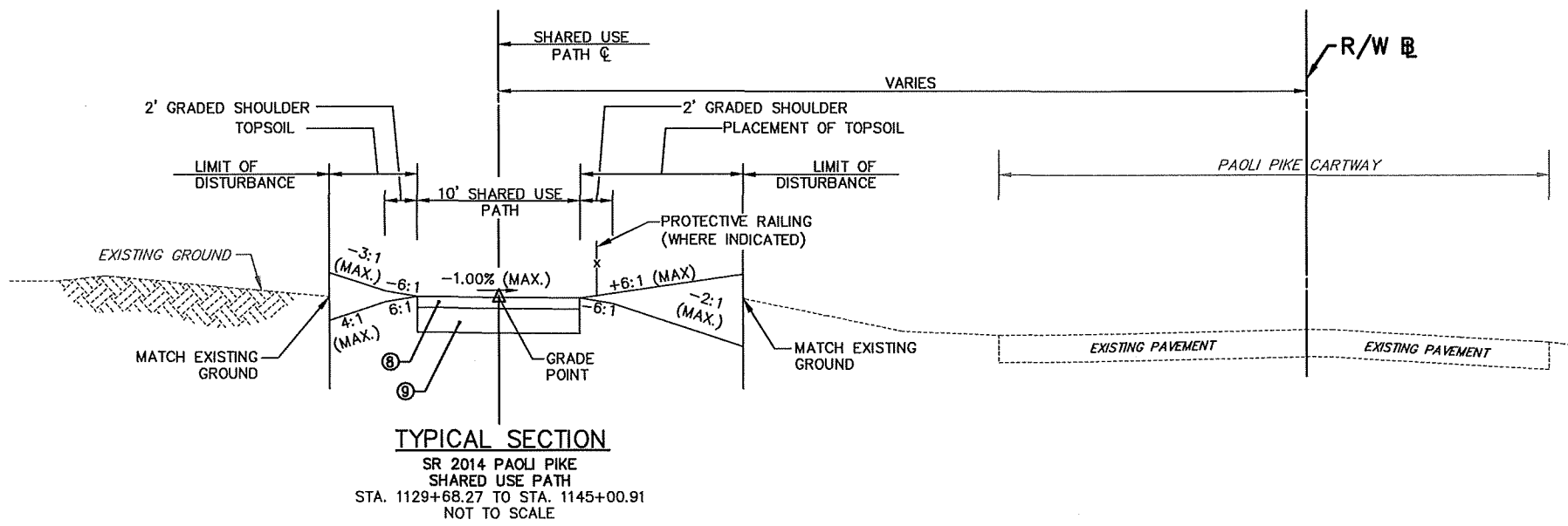
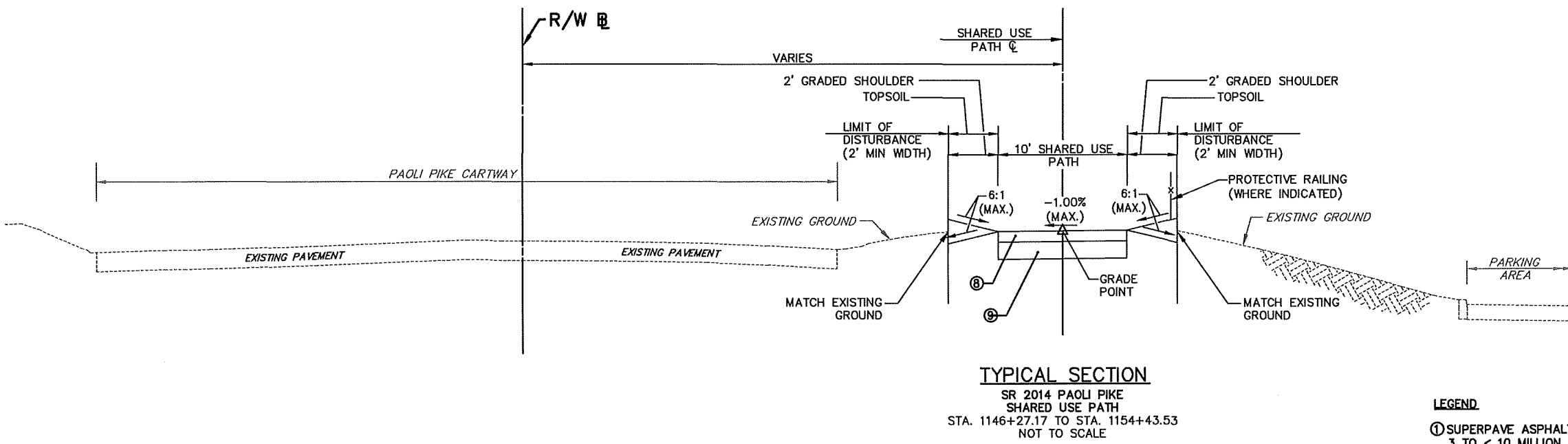
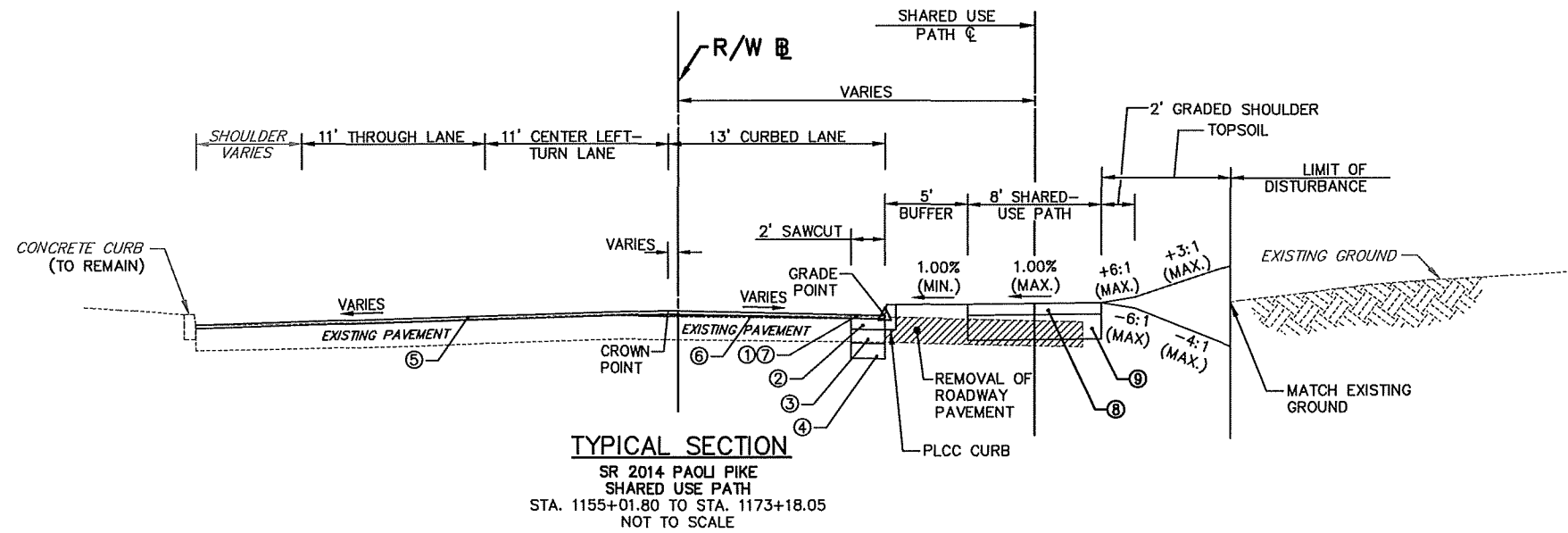
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	02 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

SHEET INDEX BLOCK

DESCRIPTION	SHEET
TITLE SHEET	01
INDEX SHEET	02
GENERAL NOTES SHEET	03
PLAN SHEETS	05 - 13



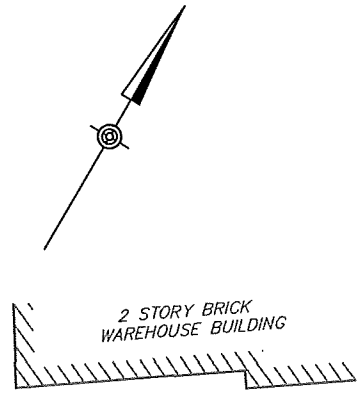
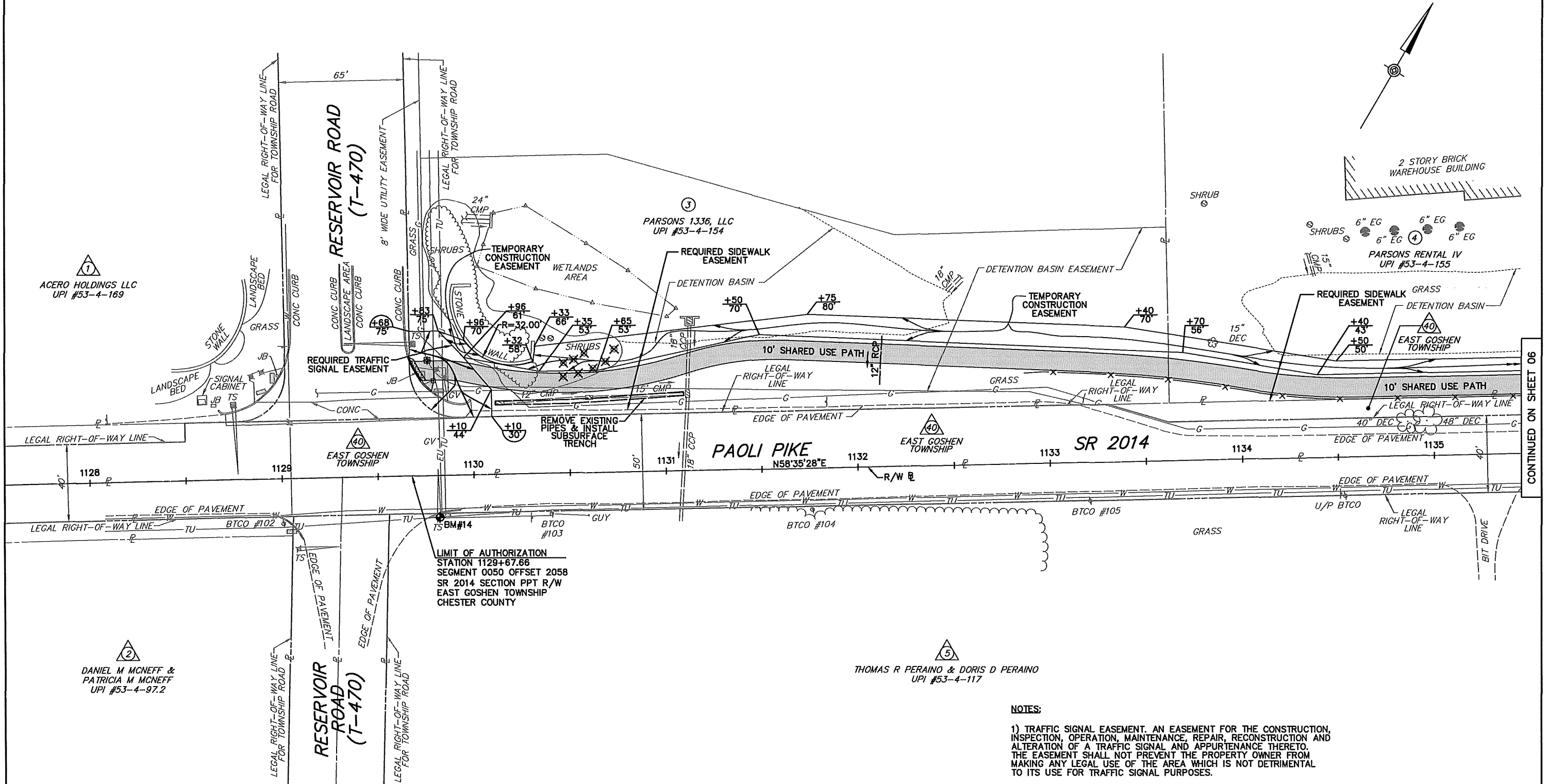
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	04 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



- LEGEND**
- ① SUPERPAVE ASPHALT MIXTURE DESIGN, WMA WEARING COURSE, PG 64-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, 1 1/2" DEPTH, SRL-H
  - ② SUPERPAVE ASPHALT MIXTURE DESIGN, WMA BINDER COURSE, PG 64-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX, 2.5" DEPTH
  - ③ SUPERPAVE ASPHALT MIXTURE DESIGN, WMA BASE COURSE, PG 64-22, 3 TO < 10 MILLION ESAL'S, 25 MM MIX, 10" DEPTH
  - ④ SUBBASE, 8" DEPTH (NO. 2A)
  - ⑤ MILLING OF BITUMINOUS PAVEMENT SURFACE, 1 1/2" DEPTH, MILLED MATERIAL RETAINED BY CONTRACTOR
  - ⑥ SUPERPAVE ASPHALT MIXTURE DESIGN, WMA BINDER COURSE (LEVELING), PG 64-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX
  - ⑦ BITUMINOUS TACK COAT
  - ⑧ ASPHALT PAVEMENT PATH, 4" MIN DEPTH
  - ⑨ STONE PATH BASE, 4" MIN DEPTH


DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	05 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

BM #14 ELEV. 389.52  
 21.80' RT STA. 1129+81.85  
 TOP OF BOLT ON THE NORTHEAST  
 CORNER OF TRAFFIC SIGNAL MASTARM



1  
 ACERO HOLDINGS LLC  
 UPI #53-4-169

3  
 PARSONS 1336, LLC  
 UPI #53-4-154

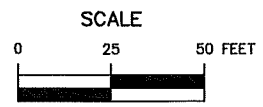
4  
 PARSONS RENTAL IV  
 UPI #53-4-155

LIMIT OF AUTHORIZATION  
 STATION 1129+67.66  
 SEGMENT 0050 OFFSET 2058  
 SR 2014 SECTION PPT R/W  
 EAST GOSHEN TOWNSHIP  
 CHESTER COUNTY

CONTINUED ON SHEET 06

**LEGEND**

- PROPOSED BITUMINOUS WIDENING/  
PAVEMENT RESTORATION
- PROPOSED DRIVEWAY  
ADJUSTMENT
- SHARED USE PATH
- x- PROTECTIVE RAILING
- x REMOVE EXISTING TREE/SHRUB

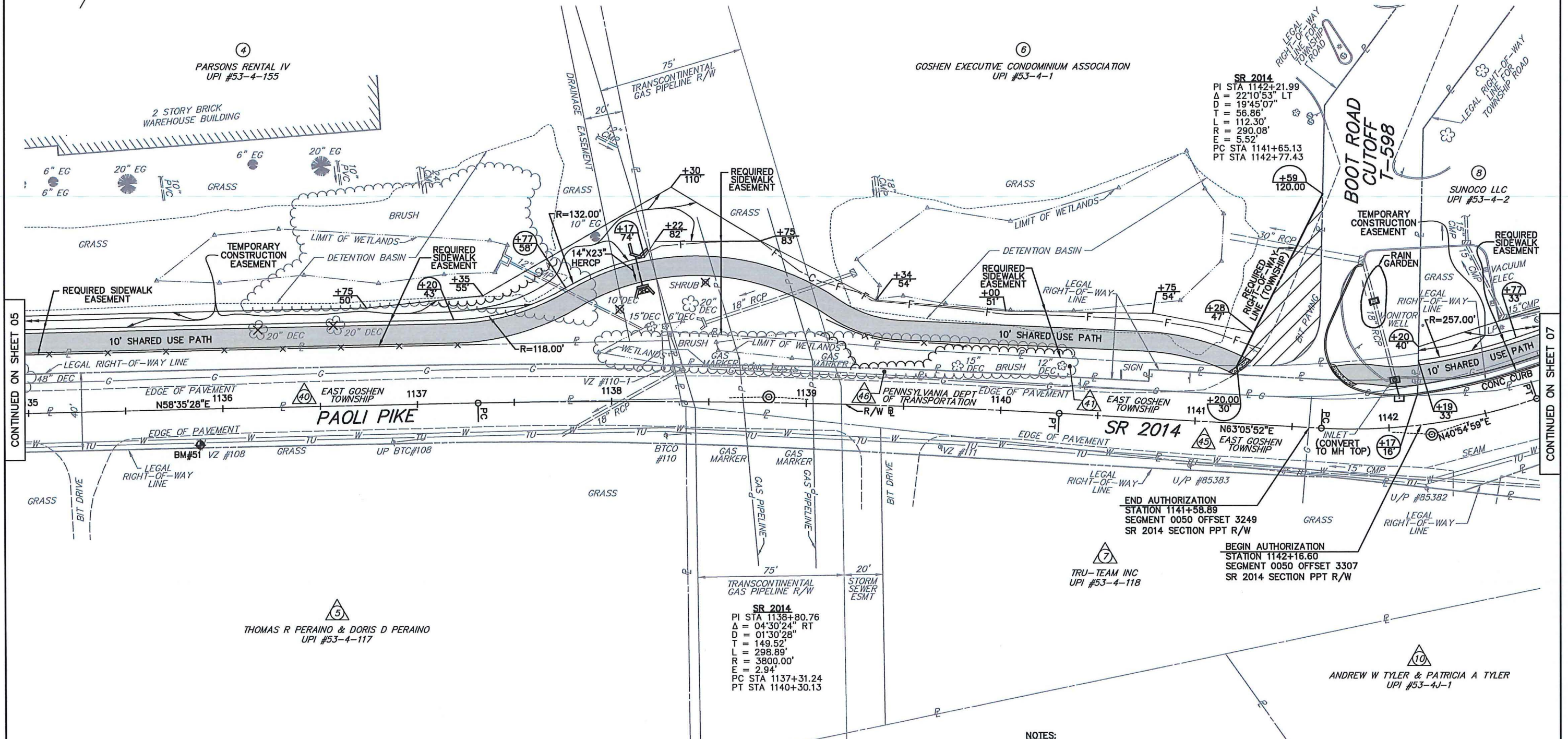
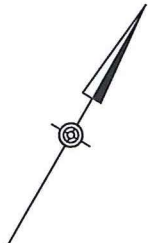


**NOTES:**

- 1) TRAFFIC SIGNAL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, OPERATION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF A TRAFFIC SIGNAL AND APPURTENANCE THERETO. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO ITS USE FOR TRAFFIC SIGNAL PURPOSES.
- 2) SIDEWALK EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF A SIDEWALK. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO ITS USE FOR SIDEWALK PURPOSES.
- 3) TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLANS IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE TOWNSHIP.



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	06 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

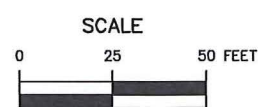


CONTINUED ON SHEET 05

CONTINUED ON SHEET 07

**LEGEND**

- PROPOSED BITUMINOUS WIDENING/PAVEMENT RESTORATION
- PROPOSED DRIVEWAY ADJUSTMENT
- SHARED USE PATH
- PROTECTIVE RAILING
- REMOVE EXISTING TREE/SHRUB



**NOTES:**

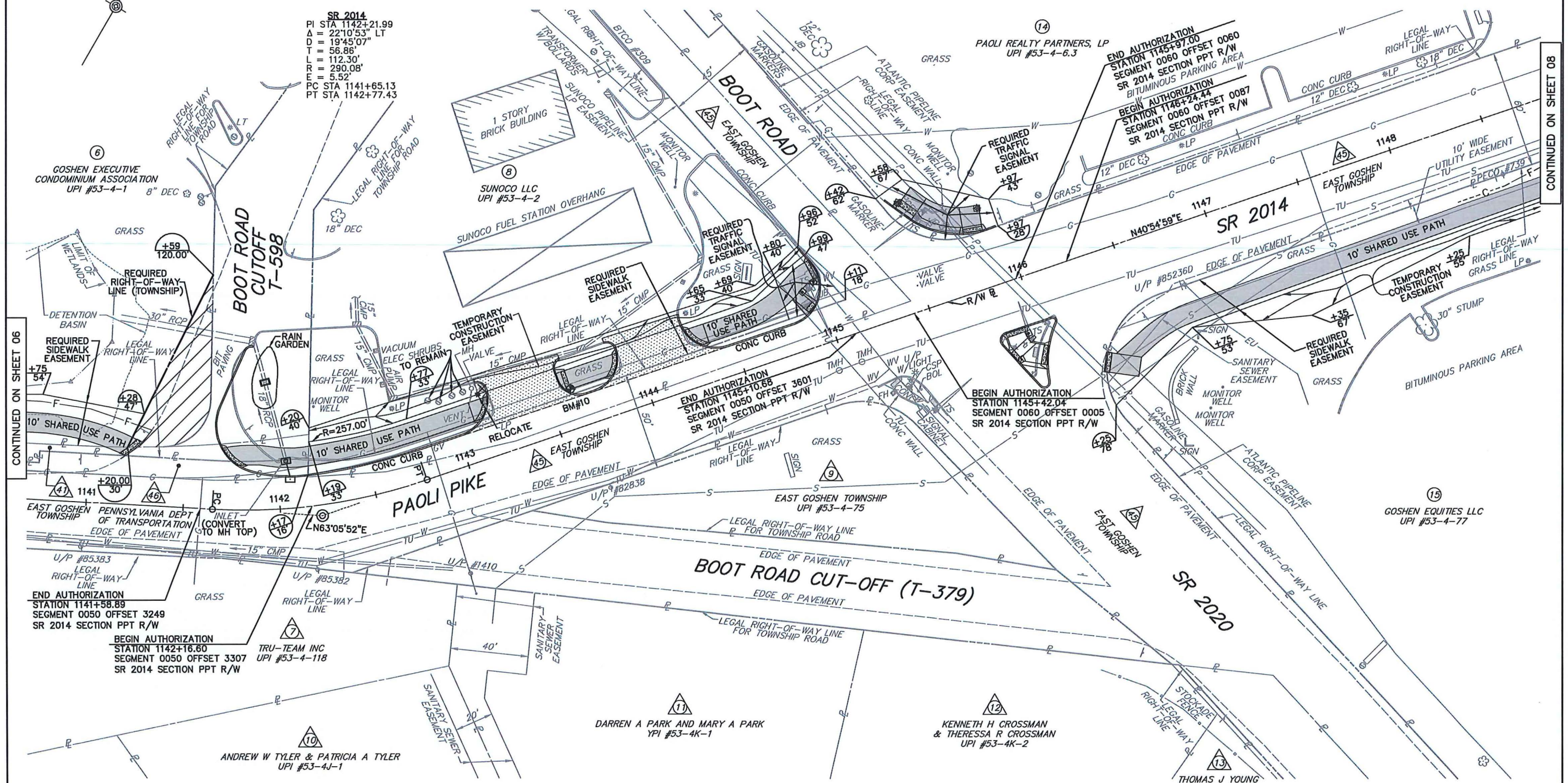
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DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	07 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

BM #10 ELEV. 409.85  
20.34' LT STA. 1143+62.14  
SQUARE CUT ON TOP OF CURB

SR 2014  
PI STA 1142+21.99  
Δ = 22'10"53" LT  
D = 19'45"07"  
T = 56.86'  
L = 112.30'  
R = 290.08'  
E = 5.52'  
PC STA 1141+65.13  
PT STA 1142+77.43



CONTINUED ON SHEET 06

CONTINUED ON SHEET 08




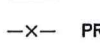

**NOTES:**

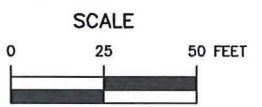
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**LEGEND**

-  PROPOSED BITUMINOUS WIDENING/PAVEMENT RESTORATION
-  PROPOSED DRIVEWAY ADJUSTMENT
-  SHARED USE PATH
-  PROTECTIVE RAILING
-  REMOVE EXISTING TREE/SHRUB

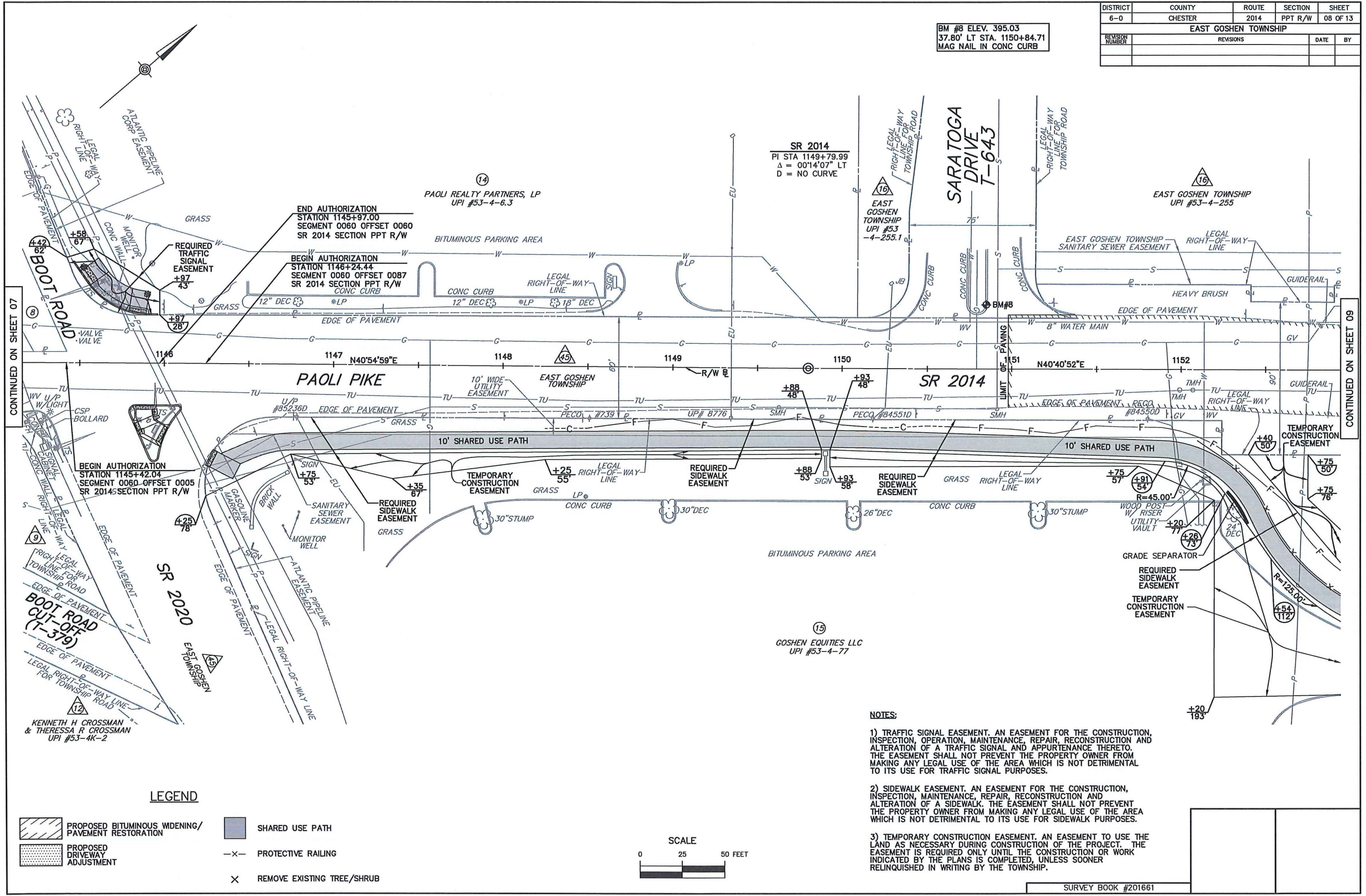




DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	08 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

BM #8 ELEV. 395.03  
37.80' LT STA. 1150+84.71  
MAG NAIL IN CONC CURB

SR 2014  
PI STA 1149+79.99  
Δ = 00'14'07" LT  
D = NO CURVE

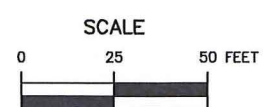


CONTINUED ON SHEET 07

CONTINUED ON SHEET 09

**LEGEND**

- PROPOSED BITUMINOUS WIDENING/ PAVEMENT RESTORATION
- PROPOSED DRIVEWAY ADJUSTMENT
- SHARED USE PATH
- PROTECTIVE RAILING
- REMOVE EXISTING TREE/SHRUB



**NOTES:**

- 1) TRAFFIC SIGNAL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, OPERATION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF A TRAFFIC SIGNAL AND APPURTENANCE THERETO. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO ITS USE FOR TRAFFIC SIGNAL PURPOSES.
- 2) SIDEWALK EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF A SIDEWALK. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO ITS USE FOR SIDEWALK PURPOSES.
- 3) TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLANS IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE TOWNSHIP.

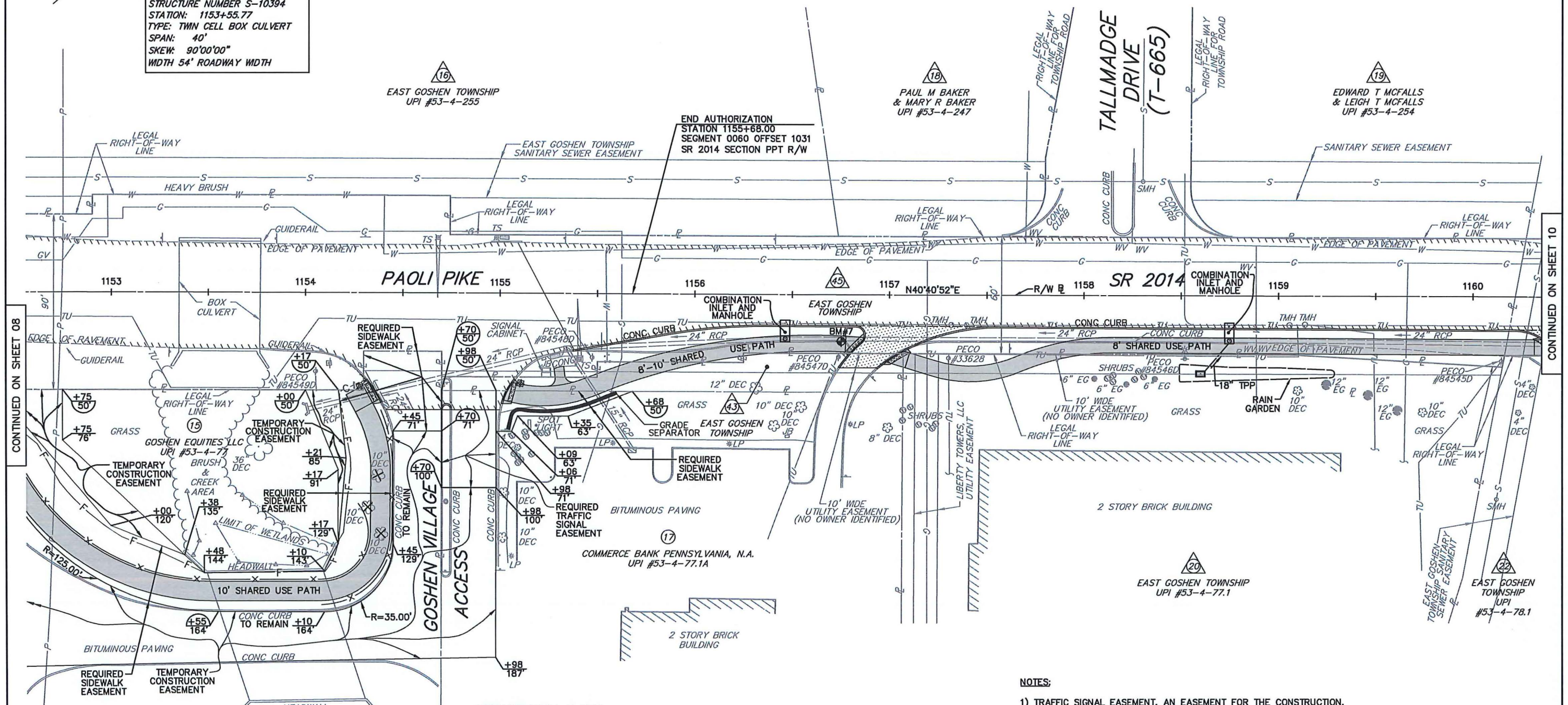


DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	09 OF 13
<b>EAST GOSHEN TOWNSHIP</b>				
REVISION NUMBER	REVISIONS	DATE	BY	

BM #7 ELEV. 391.07  
 23.93' RT STA. 1156+75.12  
 SQUARE CUT ON TOP OF CURB

**STRUCTURE DATA**

**EXISTING**  
 STRUCTURE NUMBER S-10394  
 STATION: 1153+55.77  
 TYPE: TWIN CELL BOX CULVERT  
 SPAN: 40'  
 SKEW: 90°00'00"  
 WIDTH 54' ROADWAY WIDTH



CONTINUED ON SHEET 08

CONTINUED ON SHEET 10

**STRUCTURE DATA**

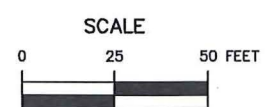
**EXISTING**  
 STRUCTURE NUMBER (NONE)  
 STATION: 1153+90.55  
 TYPE: TRIPLE CELL BOX CULVERT  
 SPAN: 57'  
 WIDTH 69' (WALL TO WALL)

**LEGEND**

- PROPOSED BITUMINOUS WIDENING/PAVEMENT RESTORATION
- PROPOSED DRIVEWAY ADJUSTMENT
- SHARED USE PATH
- PROTECTIVE RAILING
- REMOVE EXISTING TREE/SHRUB

**NOTES:**

- 1) TRAFFIC SIGNAL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, OPERATION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF A TRAFFIC SIGNAL AND APPURTENANCE THERETO. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO ITS USE FOR TRAFFIC SIGNAL PURPOSES.
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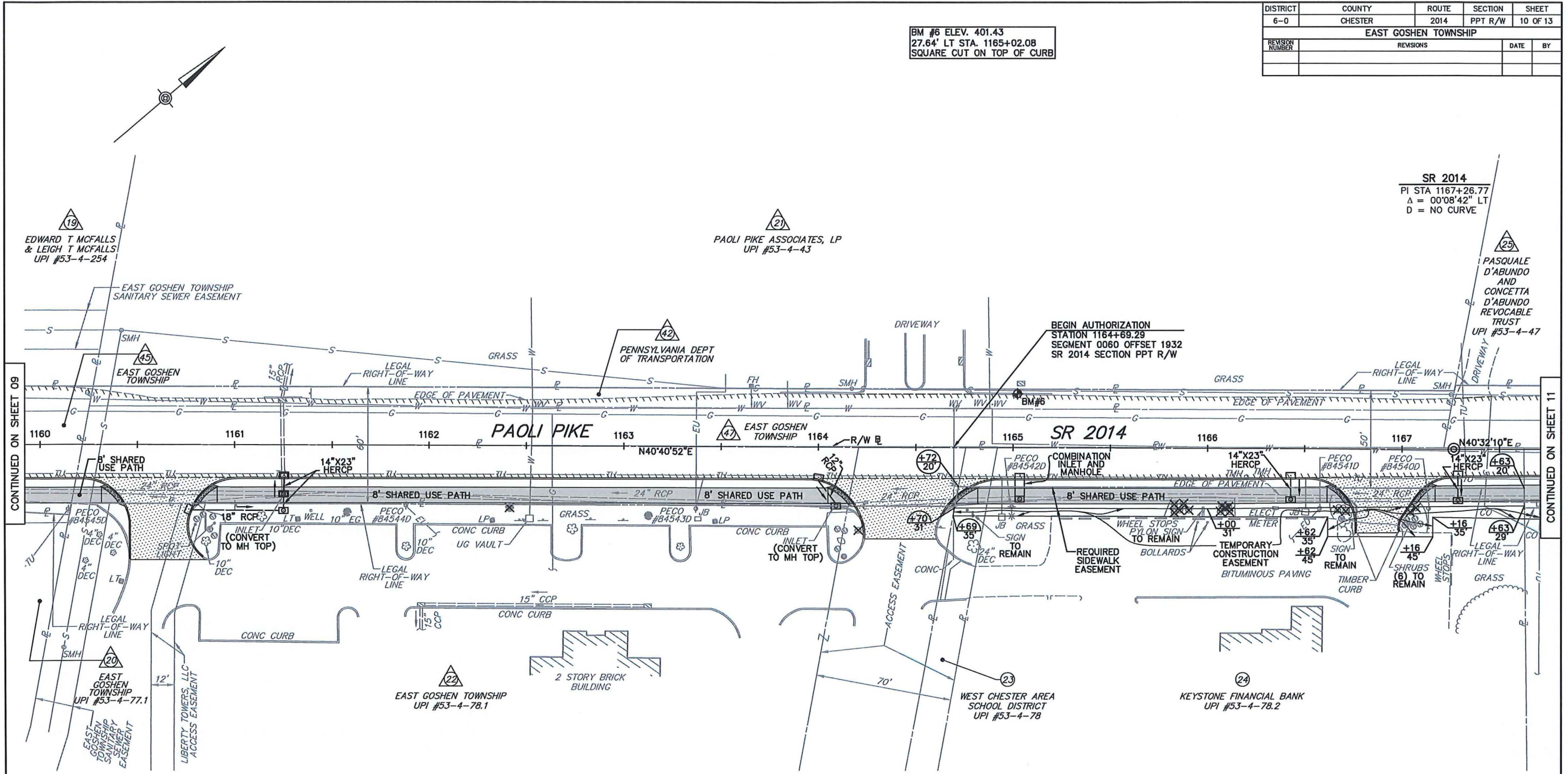




DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	10 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

BM #6 ELEV. 401.43  
27.64' LT STA. 1165+02.08  
SQUARE CUT ON TOP OF CURB

SR 2014  
PI STA 1167+26.77  
Δ = 00'08"42" LT  
D = NO CURVE



CONTINUED ON SHEET 09

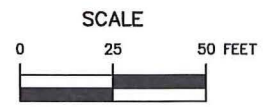
CONTINUED ON SHEET 11

**LEGEND**

- PROPOSED BITUMINOUS WIDENING/PAVEMENT RESTORATION
- PROPOSED DRIVEWAY ADJUSTMENT
- SHARED USE PATH
- x- PROTECTIVE RAILING
- x REMOVE EXISTING TREE/SHRUB

**NOTES:**

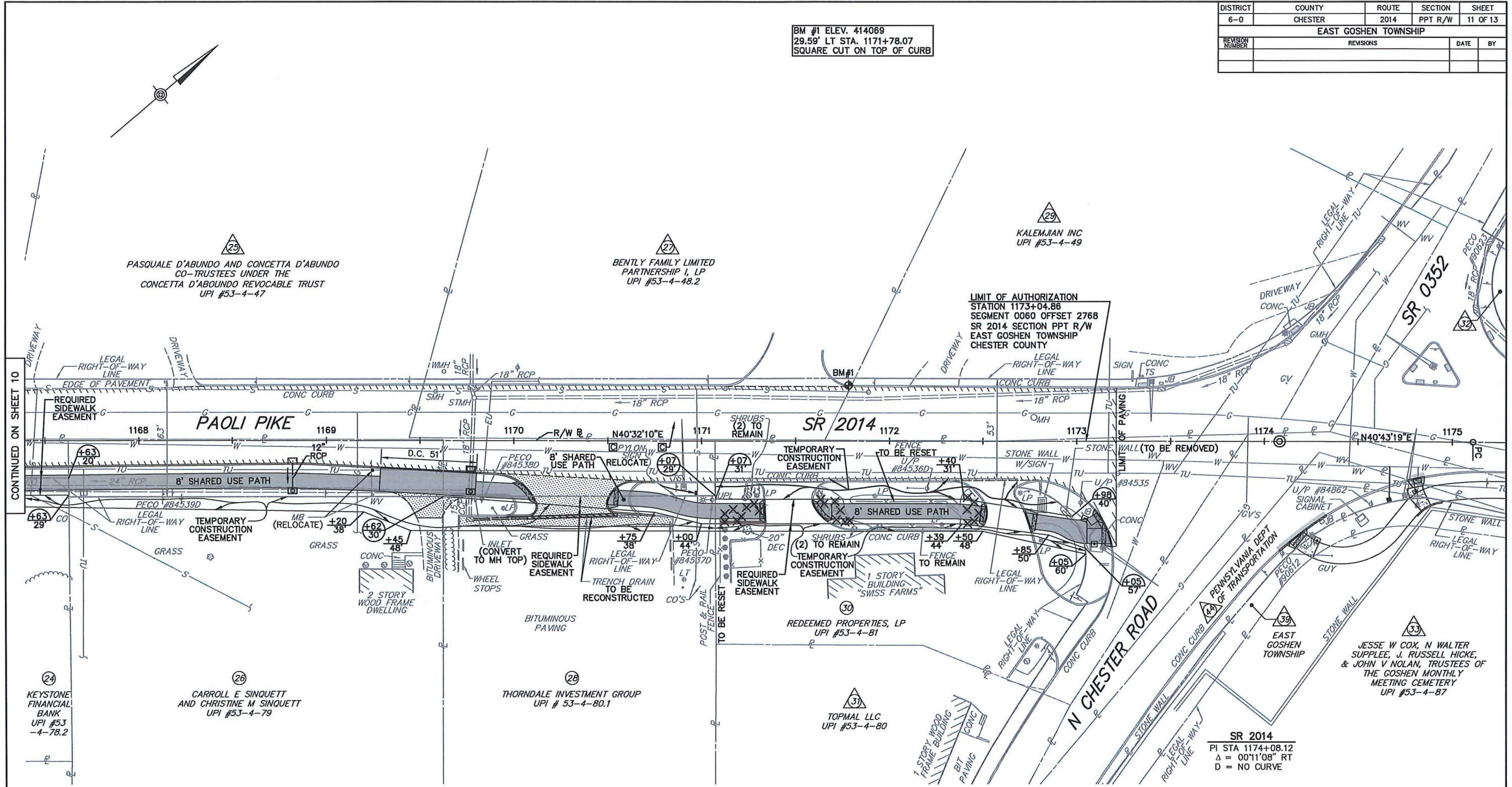
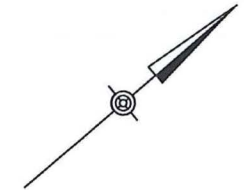
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DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	11 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

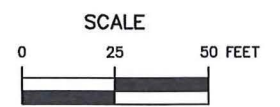
BM #1 ELEV. 414069  
29.59' LT STA. 1171+78.07  
SQUARE CUT ON TOP OF CURB



CONTINUED ON SHEET 10

**LEGEND**

- PROPOSED BITUMINOUS MDENING/PAVEMENT RESTORATION
- PROPOSED DRIVEWAY ADJUSTMENT
- SHARED USE PATH
- PROTECTIVE RAILING
- REMOVE EXISTING TREE/SHRUB



**NOTES:**

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DISTRICT	COUNTY	ROUTE	SECTION	SHEET	
6-0	CHESTER	2014	PPT R/W	12 OF 13	
EAST GOSHEN TOWNSHIP					
REVISION NUMBER	REVISIONS			DATE	BY

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 3 SHEET NO. 4 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) PARSONS 1336, LLC  
 GRANTOR(S) BRANDYWINE OPERATING PARTNERSHIP, L.P.

DEED BOOK	AREAS	ACRES	REQUIRED AREA	ACRES/SQ FT
8834	DEED	4.157	TRAFFIC SIGNAL EASEMENT	0.031/1,365
PAGE 910	CALCULATED		SIDEWALK EASEMENT	0.256/11,173
DATE OF DEED 10/16/2013	ADVERSES		TEMP CONST ESMT	0.093/4,057
DATE OF RECORD 10/24/2013	LEGAL R/W	0.000		
CONSIDERATION \$1.00	EFFECTIVE	4.157		
TAX STAMPS	TOTAL REQ'D R/W	0.000	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	4.157	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 14 SHEET NO. 6 & 7 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) PAOLI REALTY PARTNERS, L.P.  
 GRANTOR(S) PAOLI BOOT COMPANY, L.P.

DEED BOOK	AREAS	ACRES	REQUIRED AREA	ACRES/SQ FT
4412	DEED	3.000	TRAFFIC SIGNAL EASEMENT	0.029/1,257
PAGE 1285	CALCULATED			
DATE OF DEED 08/20/1998	ADVERSES			
DATE OF RECORD 09/02/1998	LEGAL R/W	0.000		
CONSIDERATION \$2,000,000.00	EFFECTIVE	3.000		
TAX STAMPS	TOTAL REQ'D R/W	0.000	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	3.000	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 4 SHEET NO. 4 & 5 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) PARSONS RENTAL IV  
 GRANTOR(S) COMMUNICATIONS TEST DESIGN, INC.

DEED BOOK	AREAS	ACRES	REQUIRED AREA	ACRES/SQ FT
4538	DEED	NONE LISTED	SIDEWALK EASEMENT	0.186/8,081
PAGE 247	CALCULATED	4.593	TEMP CONST ESMT	0.105/4,578
DATE OF DEED 3/11/1999	ADVERSES			
DATE OF RECORD 4/06/1999	LEGAL R/W	0.000		
CONSIDERATION \$2,500,000.00	EFFECTIVE	4.593		
TAX STAMPS	TOTAL REQ'D R/W	0.000	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	4.593	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 15 SHEET NO. 6, 7 & 8 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) GOSHEN EQUITIES, LLC  
 GRANTOR(S) SAFEWAY INC.

DEED BOOK	AREAS	ACRES	REQUIRED AREA	ACRES/SQ FT
6299	DEED	11.033	SIDEWALK EASEMENT	0.524/22,834
PAGE 1938	CALCULATED		TEMP CONST ESMT	0.632/27,510
DATE OF DEED 9/22/2004	ADVERSES	7.051		
DATE OF RECORD 10/06/2004	LEGAL R/W	0.000		
CONSIDERATION \$4,700,000.00	EFFECTIVE	3.982		
TAX STAMPS	TOTAL REQ'D R/W	0.000	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	3.982	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 6 SHEET NO. 5 & 6 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) GOSHEN EXECUTIVE CONDOMINIUM ASSOCIATION  
 GRANTOR(S) GOSHEN REALY PARTNERS

DEED BOOK	AREAS	ACRES	REQUIRED AREA	ACRES/SQ FT
1238	DEED	6.902	REQUIRED R/W (TWP)	0.040/1,728
PAGE 312	CALCULATED		SIDEWALK EASEMENT	0.208/9,082
DATE OF DEED 8/04/1988	ADVERSES		TEMP CONST ESMT	0.022/968
DATE OF RECORD 8/04/1988	LEGAL R/W	0.408		
CONSIDERATION	EFFECTIVE	6.494		
TAX STAMPS	TOTAL REQ'D R/W	0.000	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	6.494	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 17 SHEET NO. 8 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) COMMERCE BANK/PENNSYLVANIA, N.A.  
 GRANTOR(S) SAFEWAY INC.

DEED BOOK	AREAS	ACRES	REQUIRED AREA	ACRES/SQ FT
6299	DEED	2.044	TRAFFIC SIGNAL EASEMENT	0.032/1,403
PAGE 1967	CALCULATED		SIDEWALK EASEMENT	0.018/768
DATE OF DEED 9/22/2004	ADVERSES		TEMP CONST ESMT	0.056/2,457
DATE OF RECORD 10/06/2004	LEGAL R/W	0.109		
CONSIDERATION \$2,100,000.00	EFFECTIVE	1.935		
TAX STAMPS	TOTAL REQ'D R/W	0.000	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	1.935	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 8 SHEET NO. 5 & 6 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) SUNOCO, INC.  
 GRANTOR(S) SUNOCO, LLC.

DEED BOOK	AREAS	ACRES	REQUIRED AREA	ACRES/SQ FT
9046	DEED	NONE LISTED	TRAFFIC SIGNAL EASEMENT	0.015/652
PAGE 732	CALCULATED	1.156	SIDEWALK EASEMENT	0.093/4,050
DATE OF DEED 10/29/2014	ADVERSES		TEMP CONST ESMT	0.054/2,338
DATE OF RECORD 1/16/2015	LEGAL R/W	0.204		
CONSIDERATION \$10.00	EFFECTIVE	0.952		
TAX STAMPS	TOTAL REQ'D R/W	0.000	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	0.952	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 23 SHEET NO. 9 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) WEST CHESTER AREA SCHOOL DISTRICT  
 GRANTOR(S) TOWNSHIP OF EAST GOSHEN

DEED BOOK	AREAS	SQ. FT.	REQUIRED AREA	SQ. FT.
3761	DEED	2,896	SIDEWALK EASEMENT	178
PAGE 447	CALCULATED		TEMP CONST ESMT	65
DATE OF DEED 5/17/1994	ADVERSES			
DATE OF RECORD 5/25/1994	LEGAL R/W	334		
CONSIDERATION \$1.00	EFFECTIVE	2,562		
TAX STAMPS	TOTAL REQ'D R/W	0	VERIFICATION DATE	JAN 3, 2017
	TOTAL RESIDUE	2,562	DRAWN BY	McMahon Assoc
	RESIDUE LT		SCALE	25' 0 25'
	RESIDUE RT			

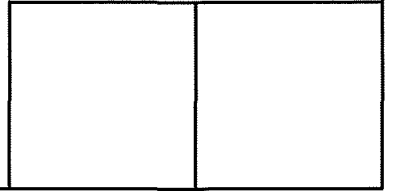
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BUILDINGS AND STRUCTURES MARKED  HAVE BEEN OR ARE TO BE REMOVED OR ALTERED BY THE DEPARTMENT OR OTHER AUTHORITY RESPONSIBLE FOR THE PAYMENT OF PROPERTY DAMAGES.



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
6-0	CHESTER	2014	PPT R/W	13 OF 13
EAST GOSHEN TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 24 SHEET NO. 9 & 10 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) KEYSTONE FINANCIAL BANK, N.A.  
 GRANTOR(S) KEYSTONE BANK, N.A.

DEED BOOK <u>4691</u>	AREAS	ACRES	REQUIRED AREA	AC/SQ FT
PAGE <u>2376</u>	DEED	<u>1.124</u>	SIDEWALK EASEMENT	<u>0.065/2.852</u>
DATE OF DEED <u>9/30/1999</u>	CALCULATED	_____	TEMP CONST ESMT	<u>0.042/1.832</u>
DATE OF RECORD <u>12/29/1999</u>	ADVERSES	_____		
CONSIDERATION <u>\$1.00</u>	LEGAL R/W	<u>0.129</u>		
TAX STAMPS _____	EFFECTIVE	<u>0.995</u>	VERIFICATION DATE	<u>JAN 3, 2017</u>
	TOTAL REQ'D R/W	<u>0.000</u>	DRAWN BY	<u>McMahon Assoc</u>
	TOTAL RESIDUE	<u>0.995</u>	SCALE	<u>25' 0 25'</u>
	RESIDUE LT _____			
	RESIDUE RT _____			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 26 SHEET NO. 10 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) CARROLL E. SINQUETT, III AND CHRISTINE M. SINQUETT  
 GRANTOR(S) CARROLL E. SINQUETT, III AND CYNTHIA E BORTLE, EXECUTRIX OF THE ESTATE OF CARROLL E. SINQUETT, JR AKA CARROLL E. SINQUETT, DECEASED

DEED BOOK <u>9461</u>	AREAS	ACRES	REQUIRED AREA	AC/SQ FT
PAGE <u>733</u>	DEED	<u>1.000</u>	SIDEWALK EASEMENT	<u>0.040/1.737</u>
DATE OF DEED <u>10/05/2016</u>	CALCULATED	_____	TEMP CONST ESMT	_____
DATE OF RECORD <u>12/21/2016</u>	ADVERSES	_____		
CONSIDERATION <u>\$1.00</u>	LEGAL R/W	<u>0.140</u>	VERIFICATION DATE	<u>JAN 3, 2017</u>
TAX STAMPS _____	EFFECTIVE	<u>0.860</u>	DRAWN BY	<u>McMahon Assoc</u>
	TOTAL REQ'D R/W	<u>0.000</u>	SCALE	<u>25' 0 25'</u>
	TOTAL RESIDUE	<u>0.860</u>		
	RESIDUE LT _____			
	RESIDUE RT _____			

**RIGHT-OF-WAY CLAIM INFORMATION**  
EAST GOSHEN TOWNSHIP

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 28 SHEET NO. 10 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) THORNDALE INVESTMENT GROUP  
 GRANTOR(S) CHESTER COUNTY FEDERAL SAVINGS AND LOAN ASSOCIATION

DEED BOOK <u>M47</u>	AREAS	ACRES	REQUIRED AREA	AC/SQ FT
PAGE <u>317</u>	DEED	<u>0.997</u>	SIDEWALK EASEMENT	<u>0.020/891</u>
DATE OF DEED <u>2/12/1976</u>	CALCULATED	_____	TEMP CONST ESMT	<u>0.041/1.792</u>
DATE OF RECORD <u>2/19/1976</u>	ADVERSES	_____		
CONSIDERATION <u>\$50,000.00</u>	LEGAL R/W	<u>0.102</u>	VERIFICATION DATE	<u>JAN 3, 2017</u>
TAX STAMPS _____	EFFECTIVE	<u>0.895</u>	DRAWN BY	<u>McMahon Assoc</u>
	TOTAL REQ'D R/W	<u>0.000</u>	SCALE	<u>25' 0 25'</u>
	TOTAL RESIDUE	<u>0.895</u>		
	RESIDUE LT _____			
	RESIDUE RT _____			

**RIGHT-OF-WAY CLAIM INFORMATION**  
COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION

STATE RTE. 2014 SEC. NO. PPT R/W EAST GOSHEN TOWNSHIP CHESTER COUNTY  
 PARCEL NO. 30 SHEET NO. 10 CLAIM NO. \_\_\_\_\_  
 PROPERTY OWNER(S) REDEEMED PROPERTIES, L.P.  
 GRANTOR(S) RONALD D. INVERSO

DEED BOOK <u>6849</u>	AREAS	SQ. FT.	REQUIRED AREA	SQ. FT.
PAGE <u>314</u>	DEED	_____	SIDEWALK EASEMENT	<u>2,519</u>
DATE OF DEED <u>5/18/2006</u>	CALCULATED	<u>26,829</u>	TEMP CONST ESMT	<u>2,866</u>
DATE OF RECORD <u>5/23/2006</u>	ADVERSES	_____		
CONSIDERATION <u>\$600,000.00</u>	LEGAL R/W	<u>10,977</u>	VERIFICATION DATE	<u>JAN 3, 2017</u>
TAX STAMPS _____	EFFECTIVE	<u>15,852</u>	DRAWN BY	<u>McMahon Assoc</u>
	TOTAL REQ'D R/W	<u>0</u>	SCALE	<u>25' 0 25'</u>
	TOTAL RESIDUE	<u>15,852</u>		
	RESIDUE LT _____			
	RESIDUE RT _____			

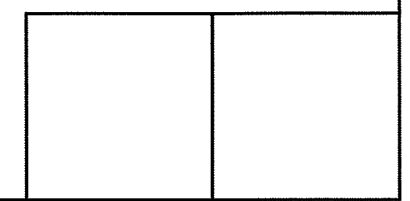
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TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLANS IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE TOWNSHIP.

BUILDINGS AND STRUCTURES MARKED [C] HAVE BEEN OR ARE TO BE REMOVED OR ALTERED BY THE DEPARTMENT OR OTHER AUTHORITY RESPONSIBLE FOR THE PAYMENT OF PROPERTY DAMAGES.



**BOARD OF SUPERVISORS**  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY  
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

January 8, 2018

To: Board of Supervisors  
From: Mark Miller  
Re: Group Bids 2018

We have solicited bids for all groups . On January 8, 2018 at 10:00am all group bids were opened.

The results are as follows:

<b>Fuel</b>	<b>89 Octane Gas &amp; Diesel Fuel</b>
Reilly & Sons Inc.	\$20,700.00

We recommend that **Reilly & Sons Inc.** be awarded the bid for fuel.

<b>Soda Ash</b>	<b>Soda Ash</b>	<b>Alum.</b>	<b>Total</b>
Main Pool and Chemical Co.	\$7,872.00	\$20,440.00	\$28,312.00
USALCO, LLC			No Bid
George S. Coyne Chemical	\$9,050.40	\$24,458.00	\$33,508.40
Univar USA Inc.	\$9,600.00	\$47,320.00	\$56,508.40

We recommend that **Main Pool and Chemical Co.** be awarded the bid for soda ash and Alum.

<b>Rental Equip. w/Operators</b>	<b>Total Price</b>
S.A. Macanga	\$232,800.00

We recommend that **S.A. Macanga** be awarded the bid for Rental Equipment with operators.

BOARD OF SUPERVISORS  
EAST GOSHEN TOWNSHIP

<b>Rental Equip. without Operators</b>	<b>Weekly</b>	<b>Monthly</b>
Blue Line Rental, LLC	\$9,165.00	\$19,830.00
Giles & Ransome	\$9,250.00	\$25,016.00

Blue Line Rental, LLC does not include delivery and Pick up charges and they are unable to provide the hammer or planer attachment for the skid steer. Blue Line Rental does not meet the specs . We recommend that **Giles & Ransome** be awarded the bid for rental equipment without operators.

<b>Signs and Posts</b>	<b>Total Bid</b>
Garden State Highway Products, Inc.	\$5,701.65
U.S. Municipal Supply Inc.	\$10,176.50

We recommend that **Garden State Highway Products, Inc.** be awarded the bid for signs and posts.




# Memorandum

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**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**

Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

---

Date: 1/11/2017  
To: Board of Supervisors  
From: Mark Gordon, Township Zoning Officer   
Re: SWM Operation and Maintenance Agreements

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Dear Board Members:

I have the following Storm water management Operation and Maintenance Agreements for the Board's approval.

SWM Operation Agreement:  
1551 Colonial Ln.  
907 Madison Dr.

**Draft Motion:**

I move that we authorize the Chairman to execute the storm water management operation and maintenance agreements for 1551 Colonial Ln. and 907 Madison Dr.

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**EAST GOSHEN TOWNSHIP  
BOARD OF SUPERVISORS ANNUAL REORGANIZATION MEETING  
1580 PAOLI PIKE  
TUESDAY, JANUARY 2, 2018  
DRAFT MINUTES**

**Present:** Chairman Marty Shane; Vice Chairman Carmen Battavio; Supervisors David Shuey, Janet Emanuel and Mike Lynch; Township Manager Rick Smith; Finance Director Jon Altshul; Conservancy Board Chairman Erich Meyer.

**Call to Order & Pledge of Allegiance**

Marty called the meeting to order at 6:00 p.m. and asked Ron Cocco to lead the pledge of allegiance.

**Moment of Silence**

Carmen called for a moment of silence to honor our troops.

**Recording**

None.

**Swearing In of Mike Lynch and David Shuey**

Judge Tom Tartaglio administered the oath of office to newly elected Supervisors Mike Lynch and David Shuey. David thanked his supporters.

**Re-Organization Actions:**

- a. **Elect Chairman (Resolution 2018-1):** Carmen motioned to elect Marty as Chairman of the Board. Janet seconded. The Board voted unanimously in favor of the motion.
- b. **Elect Vice Chairman (Resolution 2018-2):** Janet motioned to elect Carmen as Vice Chairman of the Board. Mike seconded. The Board voted unanimously in favor of the motion.
- c. **Appoint Police Commissioner (Resolution 2018-3):** Carmen motioned to appoint Janet Emanuel Police Commissioner. Mike seconded. The Board voted unanimously in favor of the motion.
- d. **Appoint Township Officials (Resolution 2018-4):**  
Carmen made a motion to appoint the following Township officials for 2018:
  - Township Manager/Secretary/Assistant Zoning Officer—Louis F. Smith, Jr.
  - Finance Director/Treasurer – Jon Altshul
  - Director of Public Works – Mark Miller
  - Director of Code Enforcement/Zoning Officer/Building Code Official/Noise Control Officer – Mark Gordon
  - Building Inspectors – Gary Althouse & Vincent DiMartini
  - Fire Marshal – Carmen R. Battavio

- 1 • Assistant Fire Marshals – Mark Miller, Gary Althouse & Vincent DiMartini
- 2 • Township Solicitor – Buckley, Brion, McGuire & Morris
- 3 • Township Engineer – Pennoni Associates
- 4 • Emergency Management Coordinator – Kevin Miller
- 5 • Assistant Emergency Management Coordinator – Michael Holmes
- 6 • Delegate to the Chester County Tax Collection Committee – Jon Altshul
- 7 • Alternate Delegate to the Chester County Tax Collection Committee – Brian
- 8 McCool
- 9 • Deputy Tax Collector – Brian McCool

10

11 Mike seconded the motion. The motion passed unanimously.

12

13 e. **Re-Appoint Township Employees (Resolution 2018-5):**

14 Marty made a motion to re-appoint all Township employees. Carmen seconded

15 the motion. The motion passed unanimously.

16

17 f. **Appoint Township Depositories for Township Funds (Resolution 2018-6):**

18 Marty made a motion to appoint the following depositories of Township funds

19 and authorize the Director of Finance/Treasurer to make investments at banks

20 paying the best rate of interest and at the best terms:

21

- 22 • DNB Bank
- 23 • Fulton Bank
- 24 • Citadel Bank
- 25 • WSFS Bank
- 26 • PLGIT-PA Local Government Trust and Plus (Custodian Wells Fargo NA)
- 27 • M&T Bank
- 28 • Meridian Bank

29

30 Janet seconded the motion. The motion passed unanimously.

31

32 g. **Certify Delegates to the PSATS Convention (Resolution 2018-7):**

33 Marty made a motion to certify the five Supervisors, the Township Manager and

34 the Director of Finance/Treasurer as delegates to the 2018 PSATS Convention,

35 with Rick Smith as the Voting Delegate and Jon Altshul as the Alternate Voting

36 Delegate. Mike seconded the motion. The motion passed unanimously.

37

38 h. **Confirm 2018 Holiday Schedule (Resolution 2018-8):**

39 Marty made a motion to approve the 2018 Holiday Schedule. Janet seconded. The

40 motion passed unanimously.

41

42 i. **Confirm 2018 Meeting Schedule (Resolution 2018-9):** Marty made a motion to

43 approve the 2018 Meeting Schedule. The Board of Supervisors will meet on the 1<sup>st</sup>

44 and 3<sup>rd</sup> Tuesday and only meet as needed on the 2<sup>nd</sup>, 4<sup>th</sup> and 5<sup>th</sup> Tuesday of each

45 month. Janet seconded. The motion passed unanimously.

- 1 j. **Confirm Keystone Collection Agency is the Earned Income and Local Services**  
2 **Tax Collector for the Township (Resolution 2018-10)**  
3 Marty made a motion to confirm the Keystone Collection Agency as the Earned  
4 Income and Local Services Tax Collector for 2018. Carmen seconded. The  
5 motion passed unanimously.  
6
- 7 k. **Consider Maillie, LLP. As independent auditor for the Township (Resolution**  
8 **2018-11)**  
9 Marty made a motion to confirm Maillie, LLP as the Township's independent  
10 auditor for 2018. Mike seconded. The motion passed unanimously.  
11
- 12 l. **Establish Public Safety Boundaries (Resolution 2018-12)**  
13 Kim Holman from Good Fellowship Ambulance Company and Tammy Johnson  
14 from Malvern Fire Company were present and expressed support for the proposed  
15 Advanced Life Support service boundaries now that Medic 91 is going out of  
16 business and will no longer be covering East Goshen. Carmen made a motion to  
17 approve the Public Safety Boundaries for East Goshen Township. Mike seconded.  
18 The motion passed unanimously.  
19
- 20 m. **Establish the 2018 Fee Schedule (Resolution 2017-34)**  
21 Rick noted that the 2018 Fee Schedule was updated to include the \$10  
22 administrative charge every three years for residents with on-lot septic systems.  
23 Marty made a motion to approve the 2018 Fee Schedule. Mike seconded. The  
24 motion passed unanimously.  
25
- 26 n. **Authorize participation in the Municipal Risk Management Workers'**  
27 **Compensation Pooled Trust (Resolution 2017-65)**  
28 Marty made a motion to authorize the Township's participation in the Municipal  
29 Risk Management Workers' Compensation Pooled Trust. Carmen seconded. The  
30 motion passed unanimously.  
31
- 32 o. **Acknowledge that Jon Altshul has been elected and sworn in as the Tax**  
33 **Collector**  
34 Marty acknowledged that Jon has been elected and sworn in as the Tax Collector.  
35
- 36 p. **Announce the Continuance of all other Applicable Resolutions that were**  
37 **previously adopted**  
38 Marty announced that all other applicable resolutions that were previously  
39 adopted will be continued.  
40

#### 41 **Chairman's Report**

42 Marty announced that the annual planning sessions with the ABC groups will be  
43 held on Saturday, January 6<sup>th</sup> at 8:00am and that the Board will meet at the  
44 conclusion of this meeting in Executive Session to discuss a legal and personnel  
45 matter.  
46



1 **Goshen Fire Company Report**

2 Carmen reported that the Goshen Fire Company had 32 fire calls, 211 ambulance  
3 calls and 14 fire police calls in November in East Goshen.

4

5 **East Goshen Residents Received Belated Purple Heart Medal**

6 Marty reported that Rep. Ryan Costello had recently awarded a Purple Heart to  
7 Private Justin Radbill, an East Goshen resident, related to his service in Iraq in 2003.  
8 The military held a ceremony for Private Radbill at that time, but he never received  
9 his actual medal. Carmen suggested that Rick reach out to Mr. Radbill to gauge his  
10 interest in being honored at a future Township meeting.

11

12 **Consider ABC Appointments**

13 Carmen made a motion to appoint the following residents to ABC groups:

- 14 • Brad Giresi to the Planning Commission for a 4 year term
- 15 • Jim McRee to the Planning Commission for a 4 year term
- 16 • John Snyder, Esquire to the Zoning Hearing Board for a 3 year term
- 17 • Dana Pizarro, PE to the Municipal Authority for a 5 year term
- 18 • Sandy Snyder, Esquire to the Conservancy Board for a 3 year term
- 19 • Andy Tyler to the Conservancy Board for a 3 year term
- 20 • Kishor Thakrar to the Park and Rec Commission for a 5 year term
- 21 • Chuck Proctor, Esquire to the Historical Commission for a 5 year term
- 22 • Bill Smith, CFA to the Pension Committee
- 23 • Thom Clapper to the Vacancy Board

24

25 Janet seconded the motion. The motion passed unanimously.

26

27 **Consider Resolution 2018-72—PennDOT Casting Agreement**

28 Rick explained that as part of PennDOT's plan to pave North Chester Road, it would  
29 like to enter into an agreement to adjust four sanitary sewer manholes. Janet made a  
30 motion to approve Resolution 2018-72, a master agreement for casting adjustments.  
31 Carmen seconded. The motion passed unanimously.

32

33 **Consider Resolution 2018-58—PennDOT Mowing Agreement**

34 Marty made a motion to approve the PennDOT Mowing Agreement. Janet seconded.  
35 The motion passed unanimously.

36

37 **Consider Escrow Release for 1662 East Boot Road**

38 Mike made a motion to approve an escrow release of \$59,337.18 for 1662 East Boot  
39 Road, as recommended by Mark Miller and the Township Engineer, to bring the  
40 balance on the account to \$0. Janet seconded. The motion passed unanimously.

41

42 **Consider Stormwater Management Agreement for 632 Marydell Drive**

43 Janet made a motion to authorize the Chairman to execute the stormwater  
44 management operation and maintenance agreement for 632 Marydell Drive.  
45 Carmen seconded. The motion passed unanimously.

1 **Any Other Matter**

2 Rick explained that the Applebrook Golf Course was moving ahead with its golf  
3 learning center and that all the conditions listed in the land development plan  
4 approved on November 14<sup>th</sup> had been satisfactorily addressed, according to our  
5 engineer. Carmen made a motion to authorize the Board to execute the final plans  
6 and escrow documents for Applebrook Golf Course's Learning Center. Janet  
7 seconded. The motion passed unanimously.

8  
9 Marty made a motion to authorize the Chairman to sign a certificate affirming the  
10 tax collector's bond. Mike seconded. The motion passed unanimously.

11  
12 **Approval of Minutes of December 19, 2017**

13 Carmen made a motion to approve the minutes of December 19th, as corrected.  
14 Marty seconded. The motion passed 5-0.

15  
16 **Treasurer's Report of December 28, 2017**

17 Jon noted that the \$19,862 payment to TD Ameritrade for the Police Pension Plan in  
18 Batch 4 had been voided after the Treasurer's report was prepared, based on a  
19 discussion at the last Police Commission meeting. He stated that an updated  
20 expenditure would be processed for the next BOS meeting. Carmen moved to  
21 graciously accept the Treasurer's Report and the Expenditure Register Report as  
22 recommended by the Treasurer, to accept the receipts and to authorize payment of the  
23 invoices just reviewed, with the exception of \$19,862 payment to TD Ameritrade. Mike  
24 seconded. The motion passed 5-0.

25  
26 **Correspondence, Reports of Interest**

27 The Board acknowledged the following correspondence and reports of interest:

- 28 • December 16, 2017 letter from Governor Tom Wolfe regarding Resolution
- 29 2017-170
- 30 • December 20, 2017 Paoli Pike Trail Project Update
- 31 • December 13, 2017 Park Usage Report
- 32 • 2017 Department of Parks and Recreation Year End Report

33  
34 Mike asked Rick to speak with Ed McFalls about the viability of a dog park in  
35 Hershey's Mill Villages.

36  
37 The Board discussed the creation of a pond committee or multiple pond committees  
38 to discuss implementation of the National Lands Trust recommendations. Carmen  
39 asked Rick to send out a Constant Contact message asking for volunteers.

40  
41 **Public Comment**

42 Joe Buonanno, 1606 Herron Lane, made a comment about the Bow Tree ponds. Joe  
43 asked if the Township was considering levying a stormwater tax or fee. Jon  
44 responded that this issue was discussed at the budget planning meeting in May and  
45 that there is no compelling reason for the Township to do so in the near future.

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Keith Dickerson, 1212 Culbertson Circle, asked for demographic information about the Township. Jon promised to send him a copy of the Comp Plan that contains this information.

**Adjournment**

There being no further business, Janet motioned to adjourn the meeting at 7:30 pm. Carmen seconded the motion. The motion passed 5-0.

Respectfully submitted,  
*Jon Altshul*  
*Recording Secretary*

Attachments: December 28, 2017 Treasurer’s Report

December 28, 2017

TREASURER'S REPORT  
2017 RECEIPTS AND BILLS

**GENERAL FUND**

Real Estate Tax	\$1,631.66
Earned Income Tax	\$18,500.00
Local Service Tax	\$0.00
Transfer Tax	\$0.00
General Fund Interest Earned	\$0.00
Total Other Revenue	<u>\$959,247.86</u>
Total Receipts:	<u>\$979,379.52</u>

Accounts Payable	\$593,792.97
Electronic Pmts:	
Credit Card	\$7,136.37
Postage	\$0.00
Debt Service	\$0.00
Payroll	<u>\$118,343.11</u>
Total Expenditures:	<u>\$719,272.45</u>

**STATE LIQUID FUELS FUND**

Receipts	\$0.00
Interest Earned	\$0.00
Total State Liquid Fuels:	<u>\$0.00</u>

Expenditures:	<u>\$530,872.51</u>
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**SINKING FUND**

Receipts	\$350,698.84
Interest Earned	\$0.00
Total Sinking Fund:	<u>\$350,698.84</u>

Accounts Payable	\$187.48
Credit Card	\$188.88
Total Expenditures:	<u>\$376.36</u>

**TRANSPORTATION FUND**

Receipts	\$0.00
Interest Earned	\$0.00
Total Sinking Fund:	<u>\$0.00</u>

Expenditures:	<u>\$0.00</u>
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**SEWER OPERATING FUND**

Receipts	\$109,941.79
Interest Earned	\$0.00
Total Sewer:	<u>\$109,941.79</u>

Accounts Payable	\$309,844.97
Debt Service	\$0.00
Credit Card	\$0.00
Total Expenditures:	<u>\$309,844.97</u>

**REFUSE FUND**

Receipts	\$11,827.06
Interest Earned	\$0.00
Total Refuse:	<u>\$11,827.06</u>

Expenditures:	<u>\$30,405.87</u>
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**BOND FUND**

Receipts	\$0.00
Interest Earned	\$0.00
Total Refuse:	<u>\$0.00</u>

Expenditures:	<u>\$0.00</u>
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**SEWER SINKING FUND**

Receipts	\$210,816.20
Interest Earned	\$0.00
Total Sewer Sinking Fund:	<u>\$210,816.20</u>

Expenditures:	<u>\$0.00</u>
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**OPERATING RESERVE FUND**

Receipts	\$0.00
Interest Earned	\$0.00
Total Operating Reserve Fund:	<u>\$0.00</u>

Expenditures:	<u>\$0.00</u>
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**EVENTS FUND**

Receipts	\$0.00
Interest Earned	\$0.00
Total Operating Reserve Fund:	<u>\$0.00</u>

Expenditures:	<u>\$0.00</u>
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December 14, 2017

**TREASURER'S REPORT  
2017 RECEIPTS AND BILLS**

**GENERAL FUND**

Real Estate Tax	\$2,103.73
Earned Income Tax	\$210,928.35
Local Service Tax	\$7,524.82
Transfer Tax	\$40,966.95
General Fund Interest Earned	\$5,776.30
Total Other Revenue	\$30,485.94
<b>Total Receipts:</b>	<b>\$297,786.09</b>

Accounts Payable	\$230,481.39
Electronic Pmts:	
Credit Card	\$0.00
Postage	\$0.00
Debt Service	\$9,460.82
Payroll	\$117,774.34
<b>Total Expenditures:</b>	<b>\$357,716.55</b>

**STATE LIQUID FUELS FUND**

Receipts	\$0.00
Interest Earned	\$5,128.49
<b>Total State Liquid Fuels:</b>	<b>\$5,128.49</b>

Expenditures:	<b>\$0.00</b>
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**SINKING FUND**

Receipts	\$0.00
Interest Earned	\$4,062.02
<b>Total Sinking Fund:</b>	<b>\$4,062.02</b>

Accounts Payable	\$29,763.29
Credit Card	\$0.00
<b>Total Expenditures:</b>	<b>\$29,763.29</b>

**TRANSPORTATION FUND**

Receipts	\$0.00
Interest Earned	\$436.61
<b>Total Sinking Fund:</b>	<b>\$436.61</b>

Expenditures:	<b>\$0.00</b>
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**SEWER OPERATING FUND**

Receipts	\$90,171.21
Interest Earned	\$131.36
<b>Total Sewer:</b>	<b>\$90,302.57</b>

Accounts Payable	\$55,172.72
Debt Service	\$28,342.19
Credit Card	\$0.00
<b>Total Expenditures:</b>	<b>\$83,514.91</b>

**REFUSE FUND**

Receipts	\$30,375.84
Interest Earned	\$19.90
<b>Total Refuse:</b>	<b>\$30,395.74</b>

Expenditures:	<b>\$66,167.71</b>
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**BOND FUND**

Receipts	\$0.00
Interest Earned	\$6,073.55
<b>Total Refuse:</b>	<b>\$6,073.55</b>

Expenditures:	<b>\$53,676.57</b>
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**SEWER SINKING FUND**

Receipts	\$0.00
Interest Earned	\$497.35
<b>Total Sewer Sinking Fund:</b>	<b>\$497.35</b>

Expenditures:	<b>\$0.00</b>
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**OPERATING RESERVE FUND**

Receipts	\$0.00
Interest Earned	\$429.39
<b>Total Operating Reserve Fund:</b>	<b>\$429.39</b>

Expenditures:	<b>\$0.00</b>
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**EVENTS FUND**

Receipts	\$0.00
Interest Earned	\$3.11
<b>Total Operating Reserve Fund:</b>	<b>\$3.11</b>

Expenditures:	<b>\$0.00</b>
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1 EAST GOSHEN TOWNSHIP  
2 ANNUAL PLANNING SESSION  
3 SATURDAY, JANUARY 6, 2018  
4 DRAFT  
5

6 The East Goshen Township Board of Supervisors held the Annual Planning Session  
7 on Saturday, January 6, 2018 at the Township Building. Those in attendance were:  
8

9 Board of Supervisors

10 E. Martin Shane, Chairman  
11 Carmen Battavio, Vice Chairman  
12 Janet Emanuel  
13 Michael Lynch  
14 David Shuey

Park & Recreation Commission

Christine Taraborelli, Chairman  
Daniel Leicht, Vice Chairman

Planning Commission

Brad Giresi, Chairman  
Jim McRee, Vice Chairman

16 Conservancy Board

17 Sandy Snyder, Chairman  
18 Walter Wujick  
19 Erich Meyer

Daniel Daley  
Monica Close  
Ernest Harkness

Township Staff

21 Futurist Committee

22 Thomas Kilburn

Rick Smith, Township Manager  
Mark Miller, Public Works Director  
Mark Gordon, Zoning Officer  
Jason Lang, Recreation Director  
John Altshul, Director of Finance

24 Municipal Authority

25 Ed McAssey, Chairman  
26 Jack Yahraes

27  
28 Marty Shane opened the meeting at 8:15 am. He introduced the two new  
29 Supervisors, Michael Lynch and David Shuey.

30  
31 Conservancy Board

32 Sandy Snyder explained that the mission of the Conservancy Board is to preserve  
33 the natural resources in East Goshen Township. Their goals are to continue  
34 maintenance as follows:

- 35 1. Continue invasive species control
- 36 2. Continue maintenance of the blue bird houses in Applebrook
- 37 3. Develop a maintenance plan for the Serpentine Barren
- 38 4. Keep East Goshen Beautiful Day had a good turnout in 2017
- 39 5. Maintain the riparian buffer along the creeks
- 40 6. Maintain Clymer's Woods. They are 90% done laying woodchips around  
41 the trees. They want to clear out the underbrush near the bridge.
- 42 7. In 2017 they planted 10 trees along the boardwalk in the historic area.
- 43 8. In 2017 a study was done on the 6 ponds in East Goshen. They will  
44 review the study and make recommendations to the Board of Supervisors.

1 Sandy thanked Rick, Mark Gordon and especially Mark Miller and the Public Works  
2 Department for all of the support they give. She also thanked their liaison Mike  
3 Lynch who attends the meetings and helps with plantings.

4  
5 Marty explained the pond study and the reason for it. Mike spoke about the mission  
6 of the Conservancy Board and the future of streams in the area. Marty introduced  
7 the staff members and thanked them for all they do for the Township.

8  
9 Futurist Commission

10 Tom Kilburn mentioned the other members of the Commission, Luann Petrellis, Rod  
11 Vaughn and, new member, Mike James. He appreciates the guidance they are  
12 receiving from Brad Giresi who started attending their meetings a few years ago. He  
13 presented the accomplishments/goals the Commission is working on:

14 1. The creation of a much needed “town center” to house specialty shops,  
15 restaurants, micro businesses, and central gathering areas.

16 The focus here is through the Paoli Pike Master Plan Committee (PPMPC) which has  
17 an objective to develop a vision with visuals and a zoning overlay of the “town  
18 center” to guide development in this area. They will focus on ideas to make this area  
19 developer friendly and to budget next year for a development consultant to focus  
20 activities going forward.

21 2. Clear signage and lighting to highlight the “town center”.

22 Focus here again is through the PPMPC, which has an objective to develop a plan for  
23 clear signage and streetscape for the town center.

24 3. Amend East Goshen Township bylaws to allow for liquor sales.

25 Several discussions with a Giant project executive have indicated that they may be  
26 interested in leading a referendum to accomplish this in EGT, much as they have  
27 successfully done in three other dry townships this year, including East Bradford.  
28 Giant leading this effort is the easiest way for EGT to move forward at this point.  
29 Other options will need to be considered if Giant defers.

30 4. Establish a strategic long-range planning objective with steps outlining how to  
31 achieve the objective and the stated benefits to all residents, then adopt a resolution  
32 to make it official.

33 A document with several long-range planning objectives was prepared and  
34 presented to the Board of Supervisors for adoption in April. The BOS seemed to  
35 favor adoption of all items except the renaming of the township to Goshenville but  
36 no action was taken.

37 5. Need for a “branding” of the Township to include clear signage that would  
38 include renaming the township to “Goshenville”.

39 Discussions with the BOS and PPMPC lead to the idea of branding the “Town Center”  
40 as “Goshenville” rather than the entire township. Output from the PPMPC now has  
41 that idea incorporated in its recommendations.

42 Tom mentioned that two West Chester University professors are working with them  
43 to determine how real estate values will be impacted by these changes. Mike Lynch  
44 commented that East Bradford put FAQs on their website about LCB licenses.



1 Municipal Authority

2 Ed McAssey mentioned that the West Goshen Sewer Plant, of which East Goshen  
3 Township has a 16.66% interest, is in the process of upgrading the Plant's  
4 equipment. The Authority and BOS recently entered into an agreement with West  
5 Goshen to address how the improvements will be paid for. The most recent bond  
6 issue addressed the funding of the improvements. The members of the Authority  
7 have been regularly attending West Goshen Sewer Authority meetings. West  
8 Goshen Township is currently undergoing an EPA review to determine its  
9 phosphorous limit. This matter is still in federal court. West Goshen has provided  
10 the required information to the court. The EPA has asked and been granted several  
11 extensions. West Goshen has undertaken a study on what would need to be done to  
12 the treatment process if the court establishes a lower phosphorous limit. They (and  
13 East Goshen) have funding to construct the required improvements if needed.  
14 Ed mentioned that East Goshen will start to reline the tanks at the Ridley Creek  
15 Sewer Treatment Plant. He thanked Rick and Mark Miller for all of the work they do  
16 to maintain our sewer system. He introduced the Chairman for 2018 Jack Yahraes.  
17 Jack mentioned that Ed is moving to Lancaster and thanked him for his 5 years of  
18 service.

19  
20 Park & Recreation Commission

21 Jason Lang mentioned that this is a 9 member Commission that has accomplished a  
22 lot in 2017. All Park Commission accomplishments are shared with the Public  
23 Works Department. Public Works work early, late and tirelessly in support of park  
24 daily operations and events. In 2017:

- 25 1. "Fit and Fun" initiative recognized by Gov. Wolf as best health & wellness program  
26 in the State.
  - 27 2. EGT was awarded the inaugural GOOD Award by DCNR/PRPS
  - 28 3. Liv Live Concert (Suicide Awareness) awarded PEPS Excellence Award
  - 29 4. Partnered with West Goshen Township to host a successful Bicentennial  
30 Celebration. The BC was later named an NRPA Park Champion Finalist, as one of the  
31 top four events across the country in 2017!!
  - 32 5. Park Commission member Debbie Snyder single handedly grew the Senior Card  
33 Club from a four person/twice monthly meeting to a twenty person/six days a week  
34 social party.
  - 35 6. "Big" four events were all well attended. The Food Truck & Music Festival had an  
36 estimated 2,500 people, which was 2,000 more than expected.
  - 37 7. Received \$565,000 in grants to develop the Milltown Dam Park.
- 38 Jason mentioned the data he collected about how many people use the park and  
39 explained how it impacts health.

40  
41 Christine Taraborelli commented about the 2018 goals.

- 42 1. Increase pedestrian circulation along Paoli Pike, especially in the form of a "Paoli  
43 Pike Promenade" with sidewalks and crosswalks, as well as increasing pedestrian  
44 circulation and safety along Greenways, with trails, walkways and crosswalks.
- 45 2. Develop the Paoli Pike Trail to create the linkage between West Chester and  
46 Malvern, through East Goshen, from West Goshen to Willistown. Also the BOS

- 1 suggests the Commission consider the potential for feeder trails from the various  
2 developments to the Paoli Pike Trail.
- 3 3. Complete the playground renovation. Opening is expected to be in March/April.
  - 4 4. Renovate the basketball court area
  - 5 5. Improve the upper sports fields to include landscaping and increased driveway
  - 6 6. Install security cameras in the park

7 Christine mentioned that they want to make the Veterans Pavilion more for seniors  
8 with chessboards, etc. Also they want to improve the pathway from the Pavilion to  
9 the Pickle Ball Court. Also, a picnic area will be installed to support the playground  
10 and the baseball fields.

11 Marty acknowledged all that Jason does especially the Bicentennial. He spoke about  
12 the park and its importance in the township. He thanked Mark Miller and Public  
13 Works for all the work they do on a daily basis.

14

#### 15 Planning Commission

16 Brad Giresi acknowledged the other members of the Commission and thanked Mark  
17 Gordon for all of the support he gives them. He gave the following update on the  
18 progress of the Commission's 2017 goals:

19 1. Assist in the Paoli Pike Master Corridor Plan.

20 a. The Commission met with the Paoli Pike Corridor Master Plan Committee  
21 on June 7<sup>th</sup> and provided feedback to the committee on the planning done to date.

22 b. Staff has kept us informed of the current planning on the Corridor Plan  
23 throughout the process and has sought our feedback for inclusion into the plan.

24 c. Two members of the Commission are members of the Corridor Plan  
25 Committee and update us monthly while seeking input from the Commission.

26 d. The PC is already discussing how to move forward with a "Town Center"  
27 overlay district in anticipation of a supporting recommendation in the Paoli Pike  
28 Corridor Master Plan.

29 2. Review the Zoning Ordinance as it relates to new technologies.

30 a. The Township amended the Zoning Ordinance in 2016 to include  
31 Distributive Antenna Systems (DAS) into the body of existing wireless  
32 communications regulations. Since then, Crown Castle applied for conditional use  
33 approval to install 6 new DAS node locations. The PC worked with Crown Castle to  
34 site the location of those nodes during the application process. DAS nodes are  
35 helping to provide more reliable coverage in highly populated and intense use areas.  
36 The PC will continue to stay informed on new wireless communication technologies.

37 b. Drone technologies are quickly evolving and so are their commercial  
38 applications. The PC has asked staff to bring them up to speed on the latest FAA  
39 regulations in order to determine if amendments to our existing ordinance are  
40 warranted.

41 Items they will be looking at in 2018 are:

42 a. Review the PPMCP and look at the overlay district to determine what  
43 needs to be amended in the Zoning Ordinance.

44 b. Look at single family development for the remaining parcels in the  
45 township.

1 Marty thanked Mark Gordon and the Planning Commission for all the research and  
2 recommendations they make to the BOS.

3

4 RECAP & CLOSING REMARKS

5 Marty thanked Rick for coordinating with Sunoco on the pipeline. He thanked Jon  
6 Altshul for the work he did on the pipeline resolution for the township. He spoke  
7 about the decision the BOS made to breach the 2 dams in the township and the  
8 committees that were organized for the residents to participate in. Applications for  
9 grants for these two projects were submitted.

10 The bond issue was very successful. East Goshen has a AAA bond rating along with  
11 Chester County and the West Chester Area School District.

12

13 Janet, as Chairman of the Paoli Pike Trial Committee and the Corridor Taskforce,  
14 appreciates all the input from the residents. She acknowledged all ABCs and what  
15 they do. She feels East Goshen has the best ABCs and hardest working residents.

16

17 Mike has a background in municipal government. He is so impressed with the  
18 expertise and knowledge of the volunteers and the interfacing of the ABCs and the  
19 township staff. This helps the BOS made good decisions.

20

21 David commented that he has no experience with an ABC. The pipeline was his  
22 incentive to become involved. He is looking forward to attending the ABC meetings  
23 and getting to know the volunteers.

24

25 Rick thanked all of his staff (office and public works) for all that they do all year.

26

27 Marty led the Pledge of Allegiance and adjourned the meeting at 10:15 am.

28

29 Respectfully Submitted

30

31

32

33 Ruth Kiefer, Recording Secretary

34

35 F:\Data\Shared Data\Minutes\Board of Supervisors\2018\Annual Session 1-6-2018.docx

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**EAST GOSHEN TOWNSHIP  
BOARD OF SUPERVISORS MEETING  
1580 PAOLI PIKE  
TUESDAY, JANUARY 9, 2018  
DRAFT MINUTES**

**Present:** Chairman Marty Shane; Vice Chairman Carmen Battavio; Supervisors David Shuey, Janet Emanuel and Mike Lynch; Township Manager Rick Smith; and Conservancy Board Chairman Erich Meyer.

**Call to Order & Pledge of Allegiance**

Marty called the meeting to order at 7:00 p.m. and lead the pledge of allegiance.

**Moment of Silence**

Carmen called for a moment of silence to honor our EMS personnel and troops.

**Recording**

None.

**Chairman's Report**

Marty announced that the Board met prior to this meeting in Executive Session prior to discuss a legal and police personnel matter and that it will continue the Executive Session after this meeting.

**New Business**

Marty announced the sole purpose of the meeting was to consider a request from Sunoco to continue the court hearing for the noise citations issued by the Township. However, the Judge has already granted Sunoco's request to continue the hearing and the new date has not yet been determined.

**Public Comment**

None.

**Adjournment**

There being no further business, Janet motioned to adjourn the meeting at 7:02 pm. David seconded the motion. The motion passed 5-0.

Respectfully submitted,

*Louis F. Smith, Jr.*  
*Township Manager*



January 11, 2018

**TREASURER'S REPORT  
2017 & 2018 RECEIPTS AND BILLS**

**GENERAL FUND**

Real Estate Tax (2017)	\$4,187.59
Real Estate Tax (2018)	\$10.00
Earned Income Tax (2018)	\$69,652.17
Local Service Tax (2018)	\$2,784.22
Transfer Tax	\$0.00
General Fund Interest Earned (2017)	\$3,677.30
Total Other Revenue (2017)	\$123,314.57
Total Other Revenue (2018)	\$2,975.11
<b>Total General Fund Receipts:</b>	<b>\$206,600.96</b>

Accounts Payable	\$800,670.17
<u>Electronic Pmts:</u>	
Credit Card	\$0.00
Postage	\$1,000.00
Debt Service	\$9,460.82
Payroll	\$126,470.39
<b>Total Expenditures:</b>	<b>\$937,601.38</b>

**STATE LIQUID FUELS FUND**

Receipts	\$0.00
Interest Earned (2017)	\$361.41
<b>Total State Liquid Fuels:</b>	<b>\$361.41</b>

Expenditures: \$0.00

**SINKING FUND**

Receipts	\$0.00
Interest Earned (2017)	\$7,043.85
<b>Total Sinking Fund:</b>	<b>\$7,043.85</b>

Accounts Payable	\$51,775.58
Credit Card	\$0.00
<b>Total Expenditures:</b>	<b>\$51,775.58</b>

**TRANSPORTATION FUND**

Receipts	\$0.00
Interest Earned (2017)	\$437.25
<b>Total Sinking Fund:</b>	<b>\$437.25</b>

Expenditures: \$0.00

**SEWER OPERATING FUND**

Receipts (2017)	\$10,006.56
Interest Earned (2017)	\$150.55
Receipts (2018)	\$7,228.43
<b>Total Sewer:</b>	<b>\$17,385.54</b>

Accounts Payable (2017)	\$70,000.00
Accounts Payable (2018)	\$55,572.36
Debt Service	\$28,240.59
<b>Total Expenditures:</b>	<b>\$153,812.95</b>

**REFUSE FUND**

Receipts (2017)	\$3,790.81
Interest Earned (2017)	\$25.08
Receipts (2018)	\$2,957.09
<b>Total Refuse:</b>	<b>\$6,772.98</b>

Expenditures: \$10,364.50

**BOND FUND**

Receipts	\$0.00
Interest Earned (2017)	\$7,110.73
<b>Total Bond:</b>	<b>\$7,110.73</b>

Expenditures: \$45,174.15

**SEWER SINKING FUND**

Receipts	\$0.00
Interest Earned (2017)	\$558.29
<b>Total Sewer Sinking Fund:</b>	<b>\$558.29</b>

Expenditures: \$0.00

**OPERATING RESERVE FUND**

Receipts	\$0.00
Interest Earned (2017)	\$483.20
<b>Total Operating Reserve Fund:</b>	<b>\$483.20</b>

Expenditures: \$0.00

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**EAST GOSHEN TOWNSHIP  
MEMORANDUM**

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**TO:** BOARD OF SUPERVISORS  
**FROM:** BRIAN MCCOOL  
**SUBJECT:** PROPOSED PAYMENTS OF BILLS  
**DATE:** 01-11-2018

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Please accept the attached Treasurer's Report and Expenditure Register Report for consideration by the Board of Supervisors. I recommend the Treasurer's Report and each register item be approved for payment.

General Fund expenses include \$512,391 for the January contribution to WEGO, \$75,922 for property and liability insurance, \$50,485 for health insurance, \$35,450 for road salt, and \$22,171 for public official liability insurance.

General Fund revenue (2017) includes the 4<sup>th</sup> quarter reimbursements from the Sewer Fund (96,309) and the Refuse Fund (\$16,069).

Sinking Fund expenses include \$40,803 for the new playground.

Sewer Fund expenses (2018) include \$31,011 for property and liability insurance, Please advise if the Board decides to make any changes or if the reports are acceptable as drafted. Sewer Fund expenses (2017) reflect a transfer to the Municipal Authority for \$70,000, which was not reported on the last treasurer's report.

Bond Fund expenses include \$45,174 for engineering costs for Segment C of the trail.

EAST GOSHEN TOWNSHIP  
MONTHLY DEBT PAYMENT BREAKDOWN  
January 31, 2018

**GENERAL FUND:**

Interest payment	Principal payment	Year of Issuance	Loan Description	Original loan amount	Remaining Principal	Retirement Date
\$7,589.19	\$0	2003	Multi purpose 9 projects	\$5,500,000	\$2,113,000	2023
\$1,563.10	\$0	1999	Applebrook Park	\$3,000,000	\$462,000	2019
\$308.53	\$0	2000	Spray Irrigation	\$287,000	\$89,000	2021

**SEWER FUND:**

Interest payment	Principal payment		Loan Description	Original loan amount	Remaining Principal	Retirement Date
\$22,859.10	\$0	2008	RCSTP Expansion	\$9,500,000	\$6,927,000	2032
\$5,381.49	\$0	2013	Diversion Projects	\$2,500,000	\$2,118,000	2033

Report Date 01/02/18

Expenditures Register  
GL-1801-61354

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PARP05 run by BARBARA 10 : 59 AM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
3613		DELAWARE VALLEY HEALTH TRUST								
	53622	1	01486 1560	HEALTH, ACCID. & LIFE	14010	01/02/18		01/02/18		49,140.36
				JANUARY 2018 PREMIUM - MED. & RX						
	53622	2	01213 1000	DENTAL INSURANCE W/H	14010	01/02/18		01/02/18		1,345.00
				JANUARY 2018 PREMIUM - MED. & RX						
										50,485.36
1970		GANNETT FLEMING COMPANIES								
	53623	1	01413 3130	ENGINEERING SERVICES	050532.A8*46079	01/02/18		01/02/18		2,725.00
				2018 GEOPLAN ANNUAL LICENSE FEE						
										2,725.00
1636		ICC - MEMBERSHIPS								
	53624	1	01413 3000	GENERAL EXPENSE	3180593	01/02/18		01/02/18		135.00
				GOVERNMENTAL MEMBERSHIP 2018 -5140121						
										135.00
3827		JLC								
	53625	1	01414 3000	CODE BOOKS/OTHER	1110485455-18	01/02/18		01/02/18		49.95
				JRNL OF LIGHT CONSTRUCTION 2018						
										49.95
904		MRM PROPERTY & LIABILITY TRUST								
	53626	1	01486 3500	INSURANCE COVERAGE -PREM.	379919	01/02/18		01/02/18		75,922.43
				MRM PROP. & LIABILITY 1/1/18-1/1/19						
										75,922.43
1008		PA RECREATION & PARKS SOCIETY								
	53628	1	01452 3000	GENERAL EXPENSE	4664	01/02/18		01/02/18		20.00
				2018 PRPS MEMBERSHIP - M.MILLER						
	53629	1	01452 3000	GENERAL EXPENSE	3784	01/02/18		01/02/18		120.00
				2018 PRPS PROF.MEMBERSHIP - J.LANG						
										140.00
2016		PACO								
	53627	1	01413 3000	GENERAL EXPENSE	010118	01/02/18		01/02/18		60.00
				2018 MEMBERSHIP- G.ALTHOUSE 5256876						
	53630	1	01413 3000	GENERAL EXPENSE	010118-D	01/02/18		01/02/18		60.00
				2018 MEMBERSHIP-V.DIMARTINI 5313306						
										120.00







Report Date 01/02/18

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MARP05 run by BARBARA 10 : 59 AM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
05		SEWER OPERATING								
904				MRM PROPERTY & LIABILITY TRUST						
53626	2	05429	3500	ADMIN.- INSURANCE	379919	01/02/18		01/02/18		31,010.57
				MRM PROP.& LIABILITY 1/1/18-1/1/19						
										31,010.57
										185,733.81
										0 Printed, totaling 185,733.81

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	154,723.24	GENERAL FUND
05	05	31,010.57	SEWER OPERATING
		185,733.81	

PERIOD SUMMARY

Period	Amount
1801	185,733.81
	185,733.81



Report Date 01/02/18

Expenditures Register  
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MRP05 run by BARBARA 11 : 46 AM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
1471				WESTTOWN-EAST GOSHEN POLICE						
	53636	1	01410 5300	POLICE GEN.EXPENSE	010118	01/02/18	01/01/18	01/02/18	14660 p	512,391.21
				JANUARY 2018 CONTRIBUTION						
										512,391.21
										512,391.21
										512,391.21
										1 Prepays, totaling 512,391.21
										0 Printed, totaling 0.00

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	512,391.21	GENERAL FUND
		512,391.21	

PERIOD SUMMARY

Period	Amount
1801	512,391.21
	512,391.21

Report Date 01/08/18

Expenditures Register  
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PARP05 run by BARBARA 12 : 03 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
3923				DUVALL BUS COMPANY LLC						
	53642	1	01430 2330	VEHICLE MAINT AND REPAIR	010818	01/08/18	01/08/18	01/08/18	14670	400.00
				MIKE ZALVIDAR - CDL TESTING						
										400.00
										400.00
1 Printed, totaling										400.00

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	400.00	GENERAL FUND
		400.00	

PERIOD SUMMARY

Period	Amount
1801	400.00
400.00	



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ARPO5 run by BARBARA 12 : 37 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
2226				21ST CENT.MEDIA NEWS #884433						
	53643	1	01401 3400	ADVERTISING - PRINTING NOTICE GIVEN - BOS MTG. 12/19/17	1478693	01/09/18		01/09/18		361.16
	53644	1	01401 3400	ADVERTISING - PRINTING NOTICE - BIDS 1/8/18	1485024	01/09/18		01/09/18		407.78
										768.94
68				AMS APPLIED MICRO SYSTEMS LTD.						
	53645	1	01401 3120	CONSULTING SERVICES DECEMBER 2017	64103	01/09/18		01/09/18		1,097.00
	53645	2	01414 5001	ZONING IT CONSULTING DECEMBER 2017 - GEO PLAN	64103	01/09/18		01/09/18		28.00
										1,125.00
1657				AQUA PA						
	53648	1	01409 3600	TWP. BLDG. - FUEL, LIGHT, WATER 000309828 0309828 11/20-12/19/17 TB	122117 TB	01/09/18		01/09/18		148.40
	53649	1	01409 3600	TWP. BLDG. - FUEL, LIGHT, WATER 000309820 0309820 11/20-12/19/17 FR	122117 FR	01/09/18		01/09/18		206.80
	53650	1	01409 3600	TWP. BLDG. - FUEL, LIGHT, WATER 000309801 0309801 11/27-12/27/17 BS	122917 BS	01/09/18		01/09/18		21.40
	53651	1	01409 3605	PW BLDG - FUEL,LIGHT,SEWER & WATER 000496917 0309798 11/20-12/19/17 PW	122117 PW	01/09/18		01/09/18		168.90
										545.50
82				ASSOCIATED TRUCK PARTS						
	53657	1	01432 2500	SNOW - MAINTENANCE & REPAIRS SPREADER LITS	200909	01/09/18		01/09/18		253.60
										253.60
102				B&D COMPUTER SOLUTIONS						
	53658	1	01401 3120	CONSULTING SERVICES DECEMBER 2017	00003141	01/09/18		01/09/18		2,000.00
	53658	2	01407 2130	COMPUTER EXPENSE RTK EMAIL LOOKUP & XFER FOR RICK	00003141	01/09/18		01/09/18		300.00
										2,300.00
119				BEE.NET INTERNET SERVICES						
	53659	1	01401 3210	COMMUNICATION EXPENSE JANUARY 2018 BEE MAIL ACCTS	201801008	01/09/18		01/09/18		315.00
										315.00





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ARPO5 run by BARBARA 12 : 37 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
3250	53670	1	01401	3210 COMCAST 8499-10-109-0107704 COMMUNICATION EXPENSE 0107704 12/23/17-1/22/18 P&BOOT LED	121517	01/10/18		01/10/18		105.75
										105.75
317	53672	1	01409	3740 CONTRACTOR'S CHOICE TWP. BLDG. - MAINT & REPAIRS CALCIUM PELLETS	00218965	01/10/18		01/10/18		349.92
	53672	2	01409	3745 PW BUILDING - MAINT REPAIRS CALCIUM PELLETS	00218965	01/10/18		01/10/18		349.92
										699.84
1990	53673	1	01401	2100 CRYSTAL SPRINGS MATERIALS & SUPPLIES COFFEE, SUGAR & CREAMER	3154612 122217	01/10/18		01/10/18		158.62
										158.62
1790	53674	1	01413	3720 DCED UNIFORM CONSTRUCTION CODE FEES UCC FEES - OCTOBER 2017	010318-1	01/10/18		01/10/18		228.00
	53675	1	01413	3720 UNIFORM CONSTRUCTION CODE FEES UCC FEES - NOVEMBER & DECEMBER 2017	010318	01/10/18		01/10/18		391.50
										619.50
3752	53677	1	01432	2460 EASTERN SALT COMPANY INC. SNOW - MATERIALS & SUPPLIES 321.99 TONS ROCK SALT	INV069910	01/10/18		01/10/18		19,528.71
										19,528.71
3407	53676	1	01432	2500 ETS EQUIPMENT TRADE SERVICE CO. INC. SNOW - MAINTENANCE & REPAIRS DUCE WASH & WAX VEHICLE WASH AND INDUSTRIAL DETERGENT	110472	01/10/18		01/10/18		103.22
										103.22
473	53678	1	01401	2100 FASTSIGNS MATERIALS & SUPPLIES BALANCE DUE - DAVID SHUEY NAMEPLATE	368-51107-2	01/10/18		01/10/18		7.60
										7.60

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ARP05 run by BARBARA 12 : 37 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
3595	53679	1	01438 3845	FETTERS INC., R.W. EQUIP. RENTAL -RESURFAC. TRI-AXLE BLACKTOP HAULING	121117	01/10/18		01/10/18		617.50
										617.50
525	53681	1	01433 2500	GARDEN STATE HWY. PRODUCT MAINT. REPAIRS.TRAFF.SIG. HIP RIGHT & LEFT SIDE ROAD SIGNS	126966	01/10/18		01/10/18		89.00
										89.00
3000	53680	1	01430 2330	GARNET FORD VEHICLE MAINT AND REPAIR REPLACE DEF HEATER ASSY & TRANS FILTER - 2011 FORD F-350	C36083	01/10/18		01/10/18		1,364.57
										1,364.57
3131	53682	1	01401 3840	GREAT AMERICA FINANCIAL SERVICES RENTAL OF EQUIP. -OFFICE LANIER MP C5503 RENTAL - JAN.2018	21867243	01/10/18		01/10/18		335.50
										335.50
594	53684	1	01409 3745	HAMMOND & MCCLOSKEY INC. PW BUILDING - MAINT REPAIRS CONNECT GAS, ELECTRIC & VENT TO HEATING UNIT - PW LOADING DOCK	8490	01/10/18		01/10/18		503.67
53685	1	01454 3740	EQUIPMENT MAINT. & REPAIR WINTERIZE OUTSIDE HOSE FAUCETS AT PARK	8489	01/10/18		01/10/18			205.50
										709.17
2717	53686	1	01433 2500	HIGGINS & SONS INC., CHARLES A. MAINT. REPAIRS.TRAFF.SIG. TRAF.LIGHT MAINT.- PAOLI PK. & BOOT	45940	01/10/18		01/10/18		105.00
53687	1	01433 2500	MAINT. REPAIRS.TRAFF.SIG. TRAF.LIGHT MAINT.- PAOLI PK. & BOOT	45942	01/10/18		01/10/18			105.00
										210.00
2680	53688	1	01437 2460	HOTSY EQUIPMENT COMPANY GENERAL EXPENSE - SHOP NOZZLES	50-48953	01/10/18		01/10/18		59.88
										59.88



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Expenditures Register  
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ARPO5 run by BARBARA 12 : 37 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
679				INTERCON TRUCK EQUIPMENT						
	53689	1	01432 2500	SNOW - MAINTENANCE & REPAIRS	1059600-IN	01/10/18		01/10/18		3,506.76
				MONROE - SKID SHOE ASSEMBLIES						
	53690	1	01432 2500	SNOW - MAINTENANCE & REPAIRS	1059831-IN	01/10/18		01/10/18		76.92
				VARITECH WHEELS, BOLTS, WASHERS & LOCKNUTS						
-----										3,583.68
2442				KENT AUTOMOTIVE						
	53692	1	01433 2500	MAINT. REPAIRS.TRAFF.SIG.	9305444282	01/10/18		01/10/18		104.43
				CARRIAGE BOLTS						
	53693	1	01430 2330	VEHICLE MAINT AND REPAIR	9305441575	01/10/18		01/10/18		136.55
				1/4" TUBE - MALE CONNECTOR						
	53694	1	01432 2500	SNOW - MAINTENANCE & REPAIRS	9305445380	01/10/18		01/10/18		417.67
				HEX CAP SCREWS & LOCK NUTS						
	53695	1	01433 2500	MAINT. REPAIRS.TRAFF.SIG.	9305448604	01/10/18		01/10/18		250.57
				CARRIAGE BOLTS						
	53696	1	01430 2330	VEHICLE MAINT AND REPAIR	9305452172	01/10/18		01/10/18		714.25
				KOOL KUT LUBE, COUPLERS & TIPS						
-----										1,623.47
3838				KNIGHT BROS. INC.						
	53697	1	01438 2460	TREE REMOVAL	12299	01/10/18		01/10/18		1,760.00
				TREE REMOVAL - MILLRACE 10/27						
	53698	1	01438 2460	TREE REMOVAL	12300	01/10/18		01/10/18		2,480.00
				TREE REMOVAL - BEAUMONT 12/11/17						
-----										4,240.00
765				LENNI ELECTRIC CORPORATION						
	53699	1	01409 3740	TWP. BLDG. - MAINT & REPAIRS	171164	01/10/18		01/10/18		414.66
				REPAIR LIGHT -OUTSIDE RICK'S OFFICE						
	53703	1	01409 3840	DISTRICT COURT EXPENSES	171159	01/10/18		01/10/18		885.00
				INSTALL 4 LED LIGHTS - DIST.CT. LOT						
-----										1,299.66
2861				LITTLE INC., ROBERT E.						
	53704	1	01430 2330	VEHICLE MAINT AND REPAIR	3-517529	01/10/18		01/10/18		189.52
				JDC KNIFE						
-----										189.52

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1817	53705	1 01433	2450	LOWES BUSINESS ACCOUNT/GECF MATERIALS & SUPPLIES - SIGNS 42 80LB BAGS CONCRETE MIX FOR SIGNS	121717	01/10/18		01/10/18		191.36
										191.36
864	53708	1 01430	2330	METROPOLITAN COMMUNICATIO VEHICLE MAINT AND REPAIR INSTALL SIREN & PRIORITY GREEN STROBE	IN000106453	01/10/18		01/10/18		2,025.00
										2,025.00
2750	53709	1 01486	3500	MRM WORKER'S COMP. FUND INSURANCE COVERAGE -PREM. AUDIT PREMIUM 10/1/16 - 9/30/17	1617AUD9244	01/10/18		01/10/18		979.00
										979.00
1641	53710	1 01430	2330	NAPA AUTO PARTS VEHICLE MAINT AND REPAIR OIL, AIR & FUEL FILTERS	2-724832	01/10/18		01/10/18		242.24
	53711	1 01430	2330	VEHICLE MAINT AND REPAIR OIL, AIR & FUEL FILTERS	2-724831	01/10/18		01/10/18		242.24
	53712	1 01430	2330	VEHICLE MAINT AND REPAIR OXY/SENS	2-725620	01/10/18		01/10/18		79.99
	53713	1 01430	2330	VEHICLE MAINT AND REPAIR ANTIFREEZE	2-724596	01/10/18		01/10/18		55.74
	53714	1 01430	2330	VEHICLE MAINT AND REPAIR 15W40 OIL - 12 QTS.	2-724598	01/10/18		01/10/18		38.40
	53715	1 01430	2330	VEHICLE MAINT AND REPAIR PROTECTANT WIPES & CLEANERS	2-721378	01/10/18		01/10/18		38.78
										697.39
2371	53717	1 01462	3000	NATIONAL TRUST FOR HISTORIC PRESERVATION MEMBERSHIPS/SUBS 2018 MEMBERSHIP DUES	120117	01/10/18		01/10/18		60.00
										60.00
969	53721	1 01432	2500	O'ROURKE & SONS INC. SNOW - MAINTENANCE & REPAIRS 5" CHANNEL	R38750	01/10/18		01/10/18		50.00
										50.00



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3548				OFFICE BASICS						
	53718	1	01401 2100	MATERIALS & SUPPLIES	I-803179	01/10/18		01/10/18		29.44
				STAMP- DATER						
										29.44
1554				OFFICE DEPOT						
	53719	1	01401 2100	MATERIALS & SUPPLIES	989376688001	01/10/18		01/10/18		28.82
				MANILLA FOLDERS & DESKPAD						
	53720	1	01401 2100	MATERIALS & SUPPLIES	991536323001	01/10/18		01/10/18		85.71
				HIGHLIGHTERS & BINDERS						
										114.53
2876				P T EQUIPMENT LLC.						
	53746	4	01409 3740	TWP. BLDG. - MAINT & REPAIRS	122217	01/10/18		01/10/18		936.00
				2018 SERVICE PROGRAM						
	53746	5	01409 3745	PW BUILDING - MAINT REPAIRS	122217	01/10/18		01/10/18		936.00
				2018 SERVICE PROGRAM						
										1,872.00
3699				PAULB LLC-LITITZ						
	53722	1	01437 2460	GENERAL EXPENSE - SHOP	432816/1	01/10/18		01/10/18		546.84
				TRASH CAN, TOOL BX LEVEL, UTILITY						
				KNIVES, BUNGEE CORD, WASH BRUSHES,						
				POST HOLE DIGGERS						
	53723	1	01430 2330	VEHICLE MAINT AND REPAIR	432827/1	01/10/18		01/10/18		25.99
				CARGO BAR TWIST N LOCK						
										572.83
2352				PECO - 99193-01400						
	53726	1	01434 3610	STREET LIGHTING	010218	01/10/18		01/10/18		778.53
				99193-1400 11/21-12/22/17						
	53726	2	01433 2470	UTILITIES - TRAFFIC LIGHTS	010218	01/10/18		01/10/18		675.44
				99193-1400 11/21-12/22/17						
										1,453.97
1555				PECO - 45168-01609						
	53727	1	01409 3840	DISTRICT COURT EXPENSES	122217	01/10/18		01/10/18		1,615.25
				45168-01609 11/18-12/21/17 GAS						
	53727	2	01409 3605	PW BLDG - FUEL,LIGHT,SEWER & WATER	122217	01/10/18		01/10/18		880.27
				45168-01609 11/18-12/21/17 ELECTRIC						
										2,495.52

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2592	53725	1	01454 3600	PECO - 45951-30004 UTILITIES 45951-30004 11/15-12/18/17 RESTROMS	121917	01/10/18		01/10/18		483.80
										483.80
2591	53724	1	01454 3600	PECO - 59500-35010 UTILITIES 59500-35010 11/20-12/21/17 POND PMP	122217	01/10/18		01/10/18		36.46
										36.46
1052	53731	1	01413 3130	PENNONI ASSOCIATES INC. ENGINEERING SERVICES SERV. THRU 11/26/17 SUNOCO NOISE & VIBRATION	781446	01/10/18		01/10/18		6,244.49
53732	1	01408 3130	ENGINEERING SERVICES SERV. THRU 11/26/17 MALVERN INST.	781455	01/10/18		01/10/18			119.00
53733	1	01408 3131	ENGINEER. & MISC.RECHARGES SERV. THRU 11/26/17 SUNOCO PIPLN E&S	781452	01/10/18		01/10/18			73.25
53734	1	01408 3131	ENGINEER. & MISC.RECHARGES SERV. THRU 11/26/17 GOSHEN MEADOWS	781447	01/10/18		01/10/18			207.00
53735	1	01408 3131	ENGINEER. & MISC.RECHARGES SERV. THRU 11/26/17 GIONFRIDDO 942 CORNWALLIS	781449	01/10/18		01/10/18			300.00
53736	1	01408 3131	ENGINEER. & MISC.RECHARGES SERV. THRU 11/26/17 APPLBRK-TEACHNG	781440	01/10/18		01/10/18			1,839.00
53737	1	01408 3131	ENGINEER. & MISC.RECHARGES SERV. THRU 11/26/17 KNAUER	781453	01/10/18		01/10/18			1,176.50
53738	1	01408 3131	ENGINEER. & MISC.RECHARGES SERV. THRU 11/26/17 1003 & 7 TAYLOR	781454	01/10/18		01/10/18			162.50
53739	1	01408 3131	ENGINEER. & MISC.RECHARGES SERV. THRU 11/26/17 DELANEY	781456	01/10/18		01/10/18			20.00
										10,141.74
2417	53741	1	01430 2330	PPC LUBRICANTS EAST VEHICLE MAINT AND REPAIR 55 GAL BLUE DEF	1479032	01/10/18		01/10/18		165.85
										165.85
2539	53742	1	01409 3740	PRECISION MECHANICAL SERVICES TWP. BLDG. - MAINT & REPAIRS SERVICE CALL RE: COLD ALARM ISSUES	SC-16064	01/10/18		01/10/18		418.20
										418.20



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991	53743	1	01401 3070	PSATS PSATS EXPENSE PAAZO MEMBERSHIP 2018 M.GORDON	INV-28908-D5TO	01/10/18		01/10/18		125.00
										125.00
1876	53747	1	01432 3840	RANSOME RENTAL COMPANY LP SNOW - EQUIPMENT RENTAL WHEEL LOADER & FUSION BUCKET RENTAL 11/22/17 - 12/20/17	K2371701	01/10/18		01/10/18		4,411.00
53748	1	01438 3840		EQUIPMENT RENTAL CREDIT FOR INVOICE DATED 4/2016	123117	01/10/18		01/10/18		-91.09
53748	2	01430 2330		VEHICLE MAINT AND REPAIR CREDIT FOR INVOICE DATED 8/2017	123117	01/10/18		01/10/18		-104.47
53748	3	01436 3840		STORMWATER EQUIPMENT RENTAL CREDIT FOR INVOICE DATED 9/2017	123117	01/10/18		01/10/18		-338.70
										3,876.74
3389	53750	1	01401 2100	RED KNIGHT PRINT MATERIALS & SUPPLIES COPY PAPER FOR CANNON IMAGE COPIER	173267	01/10/18		01/10/18		63.21
										63.21
3292	53751	1	01404 3140	REGER RIZZO DARNALL LLP LEGAL - ADMIN LEGAL SERVICE - NOV. 2017 SUNOCO PIPELINE	115312	01/10/18		01/10/18		400.00
										400.00
1161	53752	1	01430 2320	REILLY & SONS INC VEHICLE OPERATION - FUEL 617.8 GALLONS DIESEL	134050	01/10/18		01/10/18		1,310.97
53753	1	01430 2320		VEHICLE OPERATION - FUEL 686.1 GALLONS DIESEL	133479	01/10/18		01/10/18		1,431.20
53754	1	01430 2320		VEHICLE OPERATION - FUEL 47.8 GALLONS GASOLINE	133672	01/10/18		01/10/18		86.47
										2,828.64
1212	53755	1	01430 2330	SAYRE INC., G.I. VEHICLE MAINT AND REPAIR FUEL FILTERS & CAPS	1-273520058	01/10/18		01/10/18		225.48
										225.48

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2121	53756	1	01409 3745	SHERWIN-WILLIAMS CO. PW BUILDING - MAINT REPAIRS 22 CONTAINERS HIGHWAY WHITE PAINT	1231-2	01/10/18		01/10/18		237.38
										237.38
3918	53757	1	01401 3070	SHUEY, DAVID PSATS EXPENSE REIMBURSEMENT - 2018 BOOTCAMP CLASS	INV-28189-Q1Z8	01/10/18		01/10/18		149.00
										149.00
2108	53758	1	01487 1910	SIDELINES SPORTSWEAR & PROMOTIONS UNIFORMS HUNTER GREEN LONG SLEEVE SHIRTS	5889	01/10/18		01/10/18		110.90
										110.90
3120	53760	1	01430 2330	STTC SERVICE TIRE TRUCK CTRS INC. VEHICLE MAINT AND REPAIR ALL TERRAIN TIRES	Y14016-17	01/10/18		01/10/18		1,158.68
										1,158.68
2813	53761	1	01452 3711	TELTHORSTER, RUBY PILATES PILATE INSTRUCTION FALL SESSION 2	122717	01/10/18		01/10/18		430.53
										430.53
2273	53765	1	01409 3605	VERIZON - 0527 PW BLDG - FUEL,LIGHT,SEWER & WATER DEC. 15, 2017 - JAN. 14, 2018	121517-0527	01/10/18		01/10/18		205.60
										205.60
2829	53762	1	01401 3210	VERIZON - TWP.FIOS 0001-74 COMMUNICATION EXPENSE 12/28/17 - 1/27/18 FIOS TWP	0001-74 122717	01/10/18		01/10/18		89.99
										89.99
2942	53766	1	01401 3210	VERIZON WIRELESS 16809-00001 COMMUNICATION EXPENSE NOV. 21, 2017 - DEC. 20, 2017	9798414006	01/10/18		01/10/18		931.32
										931.32



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3791	53768	1	01401 3210	VERIZON WIRELESS 16809-00002 COMMUNICATION EXPENSE NOV. 21 - DEC. 20, 2017	9798414007	01/10/18		01/10/18		132.60
										132.60
2868	53764	1	01409 3840	VERIZON-1420 DISTRICT COURT EXPENSES DEC. 16, 2017 - JAN. 15, 2018	121617-1420	01/10/18		01/10/18		82.93
										82.93
1983	53770	1	01409 3745	YALE ELECTRIC SUPPLY CO PW BUILDING - MAINT REPAIRS ALUM.JACKET COIL & DEEP BOX	S109457462.001	01/10/18		01/10/18		152.82
										152.82





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05				SEWER OPERATING						
2918				ALS ENVIRONMENTAL						
	53646	1	05422 4500	R.C. STP-CONTRACTED SERV. LAB TESTING - RCSTP 12/15-12/19/17	40-2220656	01/09/18		01/09/18		18.00
	53647	1	05422 4500	R.C. STP-CONTRACTED SERV. LAB TESTING - RCSTP 11/28-12/12/17	40-22118339	01/09/18		01/09/18		315.00
										333.00
1658				AQUA PA						
	53652	1	05420 3602	C.C. COLLECTION -UTILITIES 000309826 0309826 11/27-12/27/17 TH	122917 TH	01/09/18		01/09/18		34.73
	53653	1	05420 3602	C.C. COLLECTION -UTILITIES 000305003 0305003 11/28-12/28/17 WW	010218 WW	01/09/18		01/09/18		33.19
	53654	1	05420 3602	C.C. COLLECTION -UTILITIES 000300141 0300141 11/20-12/19/17 GH	122117 GH	01/09/18		01/09/18		21.40
	53655	1	05420 3602	C.C. COLLECTION -UTILITIES 000363541 0357724 11/20-12/19/17 BK	122117 BK	01/09/18		01/09/18		21.40
	53656	1	05422 3601	R.C. COLLEC.-UTILITIES 01533998 1087842 11/27-12/27/17 TWN	122917 TWN	01/09/18		01/09/18		62.09
										172.81
151				BLOSENSKI DISPOSAL CO, CHARLES						
	53662	1	05422 4502	R.C. SLUDGE-LAND CHESTER SWITCH 20YDS WITH LINER 12/18	16350	01/09/18		01/09/18		181.00
										181.00
241				C.C. SOLID WASTE AUTHORITY						
	53665	2	05422 4502	R.C. SLUDGE-LAND CHESTER WEEK 12/18/17 - 12/22/17	49337	01/09/18		01/09/18		570.84
	53666	2	05422 4502	R.C. SLUDGE-LAND CHESTER WEEK 12/26/17 - 12/30/17	49408	01/09/18		01/09/18		724.27
										1,295.11
569				GREAT VALLEY LOCKSHOP						
	53683	1	05422 3700	R.C. STP-MAINT. & REPAIRS 6 BRASS KEYS COPIED	CO18000000	01/10/18		01/10/18		10.50
										10.50
694				J&L BUILDING MATERIALS INC						
	53691	1	05420 3702	C.C. COLLEC.-MAINT. & REPR. ROOFING SHINGLES, UNDERLAYMENT, NAILS & VENTILATION FAN	04033944	01/10/18		01/10/18		674.66
										674.66

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05				SEWER OPERATING						
765				LENNI ELECTRIC CORPORATION						
53700	1	05422	3701	R.C. COLLEC.-MAINT.& REPR EMERGENCY HERSHEY MILL PS - REPLACE DISCONNECT	171163	01/10/18		01/10/18		667.00
53701	1	05422	3701	R.C. COLLEC.-MAINT.& REPR CHANGE OUT #2 PUMP HERSHEY MILL PS	171162	01/10/18		01/10/18		387.00
										1,054.00
3926				LRM INC.						
53706	1	05422	3700	R.C. STP-MAINT.& REPAIRS PROMINENT PUMP & CABLE - CAUSTIC SYSTEM	17-792	01/10/18		01/10/18		1,950.00
										1,950.00
3043				MAIN POOL & CHEMICAL COMP. INC.						
53707	1	05422	2440	R.C. STP- CHEMICALS 1850 GALLONS ALUM SULFATE SOLUTION & 196 50LB BAGS SODIUM CARBONATE LT	1765234	01/10/18		01/10/18		5,104.50
										5,104.50
2876				P T EQUIPMENT LLC.						
53744	1	05422	3701	R.C. COLLEC.-MAINT.& REPR REPLACE GENERATOR CONTROLLER	EA40-16-SI-01	01/10/18		01/10/18		6,060.00
53745	1	05422	3701	R.C. COLLEC.-MAINT.& REPR RENTAL GENERATOR - 1 WEEK	EA40-17-SI-01	01/10/18		01/10/18		462.00
53746	1	05420	3702	C.C. COLLEC.-MAINT.& REPR. 2018 SERVICE PROGRAM	122217	01/10/18		01/10/18		936.00
53746	2	05422	3700	R.C. STP-MAINT.& REPAIRS 2018 SERVICE PROGRAM	122217	01/10/18		01/10/18		936.00
53746	3	05422	3701	R.C. COLLEC.-MAINT.& REPR 2018 SERVICE PROGRAM	122217	01/10/18		01/10/18		936.00
										9,330.00
1083				PIPE LINE PLASTICS INC.						
53740	1	05422	3700	R.C. STP-MAINT.& REPAIRS COUPLINGS & CLAMPS	303864	01/10/18		01/10/18		3.09
										3.09



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1896	53759	1 05420	3702	SPRINGER BROTHERS INC C.C. COLLEC.-MAINT.& REPR. BALANCE DUE ASHBRIDGE ROOF	16277-2	01/10/18		01/10/18		342.00
										342.00
3529	53767	1 05420	3601	VERIZON - MODEMS C.C. INTERCEPTOR-UTILITIES NOV. 26 - DEC. 25, 2017 MODEMS	9798763321	01/10/18		01/10/18		106.07
										106.07
2773	53763	1 05422	3601	VERIZON - PW FIOS 0001-15 R.C. COLLEC.-UTILITIES 12/28/17 - 1/27/18 FIOS PW	0001-15 122717	01/10/18		01/10/18		89.99
										89.99
1983	53769	1 05420	3702	YALE ELECTRIC SUPPLY CO C.C. COLLEC.-MAINT.& REPR. SUREWAY BATTERIES	S109494668.001	01/10/18		01/10/18		23.36
										23.36

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06				REFUSE						
241				C.C. SOLID WASTE AUTHORITY						
53665	1	06427	4502	LANDFILL FEES WEEK 12/18/17 - 12/22/17	49337	01/09/18		01/09/18		4,985.74
53666	1	06427	4502	LANDFILL FEES WEEK 12/26/17 - 12/30/17	49408	01/09/18		01/09/18		4,817.61
53667	1	06427	4502	LANDFILL FEES ADJMT. INV. 49265 - RE: MATERIALS	49265-C	01/09/18		01/09/18		-203.15
										9,600.20
										154,460.46
										0 Printed, totaling 154,460.46

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	76,615.26	GENERAL FUND
03	03	47,574.91	SINKING FUND
05	05	20,670.09	SEWER OPERATING
06	06	9,600.20	REFUSE
		154,460.46	

PERIOD SUMMARY

Period	Amount
1801	154,460.46
	154,460.46



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01		GENERAL FUND								
2226				21ST CENT.MEDIA NEWS #884433						
	53778	1	01401 3400	ADVERTISING - PRINTING NOTICE - REORGANIZATION MTG.	1494886	01/11/18		01/11/18		366.34
	53778	2	01401 3400	ADVERTISING - PRINTING NOTICE - REORGANIZATION MTG.	1494904	01/11/18		01/11/18		71.08
→ OUTSIDE AUDITOR REQUIREMENT										
										437.42
6				ABC PAPER & CHEMICAL INC						
	53779	1	01409 3745	PW BUILDING - MAINT REPAIRS FLOOR FINISH (3)	087036A	01/11/18		01/11/18		268.76
	53780	1	01409 3745	PW BUILDING - MAINT REPAIRS FLOOR FINISH (2)	087036	01/11/18		01/11/18		179.17
	53781	1	01409 3745	PW BUILDING - MAINT REPAIRS MOP HANDLES & HEADS	087038	01/11/18		01/11/18		32.35
										480.28
7				ABEL BROTHERS TOWING & AUTO						
	53782	1	01430 2330	VEHICLE MAINT AND REPAIR TOW FREIGHTLINER #41 TO SENN'S TRKG	118467	01/11/18		01/11/18		312.50
										312.50
1657				AQUA PA						
	53783	1	01411 3630	HYDRANT & WATER SERVICE 00310033 0310033 11/30-12/29/17 186	010218 279	01/11/18		01/11/18		4,696.50
	53783	2	01411 3631	HYDRANTS - RECHARGE EXPENSE 00310033 0310033 11/30-12/29/17 93	010218 279	01/11/18		01/11/18		2,348.25
	53784	1	01411 3630	HYDRANT & WATER SERVICE 00309987 0309987 11/30-12/29/17 HY6	010218 HY6	01/11/18		01/11/18		137.52
	53785	1	01411 3630	HYDRANT & WATER SERVICE 00310033 0706109 9/29-12/29/17 HY13	010218 HY13	01/11/18		01/11/18		858.00
	53786	1	01411 3630	HYDRANT & WATER SERVICE 00348603 0348603 9/29-12/29/17 HY34	010218 HY34	01/11/18		01/11/18		2,575.50
										10,615.77
2973				BORTEK INDUSTRIES INC.						
	53790	1	01430 2330	VEHICLE MAINT AND REPAIR FILTER POLYESTER KIT	NY013396	01/11/18		01/11/18		102.59
										102.59

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
1198				BRANDYWINE VALLEY SPCA						
	53791	1	01410 5400	S.P.C.A. CONTRACT ACO ACTIVITY FEE	1206	01/11/18		01/11/18		41.20
										41.20
197				BUCKLEY BRION MCGUIRE & MORRIS						
	53792	1	01413 3140	LEGAL - TWP CODE LEGAL SERV.- AUGUST 2017 FEMA FLOOD	13787	01/11/18		01/11/18		447.00
	53793	1	01413 3140	LEGAL - TWP CODE LEGAL SERV.- OCTOBER 2017 FEMA FLD	14445	01/11/18		01/11/18		38.00
	53793	2	01413 3140	LEGAL - TWP CODE CREDIT FOR DUPLICATE PAYMENT 8/24	14445	01/11/18		01/11/18		-498.40
	53793	3	01413 3140	LEGAL - TWP CODE REFUND CHECK REC'VD RE: CREDIT BAL.	14445	01/11/18		01/11/18		51.40
										38.00
3927				CARGILL INC.						
	53794	1	01432 2460	SNOW - MATERIALS & SUPPLIES 49.05 TONS DEICER SALT	2903821754	01/11/18		01/11/18		2,890.02
	53795	1	01432 2460	SNOW - MATERIALS & SUPPLIES 221.16 TONS DEICER SALT	2903808788	01/11/18		01/11/18		13,030.74
										15,920.76
497				COLLIFLOWER INC.						
	53796	1	01432 2500	SNOW - MAINTENANCE & REPAIRS HOSE ASSEMBLY	L04532-001	01/11/18		01/11/18		175.00
	53797	1	01432 2500	SNOW - MAINTENANCE & REPAIRS SUCTION RETURN, FAST-LOK, FCAM & CRIMP FEE	L03631-001	01/11/18		01/11/18		99.83
	53798	1	01437 2460	GENERAL EXPENSE - SHOP HOSE, COUPLERS & NIPPS	L06141-001	01/11/18		01/11/18		88.36
	53799	1	01432 2500	SNOW - MAINTENANCE & REPAIRS BRINE HOSE PARTS	L05442-001	01/11/18		01/11/18		369.85
	53800	1	01432 2500	SNOW - MAINTENANCE & REPAIRS BRINE HOSE PARTS	L06115-001	01/11/18		01/11/18		633.40
										1,366.44
317				CONTRACTOR'S CHOICE						
	53801	1	01430 2330	VEHICLE MAINT AND REPAIR FILTERS	00219261	01/11/18		01/11/18		30.04
										30.04



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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
3872				EAGLE TERMITE & PEST CONTROL						
	53802	1	01409 3740	TWP. BLDG. - MAINT & REPAIRS	191022	01/11/18		01/11/18		105.00
				EXTERM. SERVICE DEC. 2017 - TWP						
	53804	1	01409 3745	PW BUILDING - MAINT REPAIRS	191024	01/11/18		01/11/18		45.00
				EXTERM. SERVICE DEC. 2017 - PW						
	53805	1	01409 3840	DISTRICT COURT EXPENSES	191025	01/11/18		01/11/18		50.00
				EXTERM. SERVICE DEC. 2017 - DIST.CT						
-----										200.00
3407				ETS EQUIPMENT TRADE SERVICE CO. INC.						
	53807	1	01430 2330	VEHICLE MAINT AND REPAIR	110537	01/11/18		01/11/18		626.40
				CONCENTRATED INDUSTRIAL DETERGENT						
-----										626.40
3352				GAP POWER RENTALS PLUS LLC						
	53808	1	01430 2330	VEHICLE MAINT AND REPAIR	1364547	01/11/18		01/11/18		60.58
				REPLACE FUEL FILTER & NOZZLE						
-----										60.58
2631				GRAPHIC IMPRESSIONS OF AMERICA INC.						
	53809	1	01401 2110	STATIONERY	17-9157	01/11/18		01/11/18		256.00
				BOS LETTERHEAD & ENVELOPES						
-----										256.00
2680				HOTSY EQUIPMENT COMPANY						
	53811	1	01437 2460	GENERAL EXPENSE - SHOP	50-49001	01/11/18		01/11/18		233.38
				MAINTENANCE & OIL CHANGE - POWER						
				WASHERS						
-----										233.38
719				KEEN COMPRESSED GAS COMPANY						
	53812	1	01437 2460	GENERAL EXPENSE - SHOP	83164719	01/11/18		01/11/18		68.93
				VARIOUS GASES						
-----										68.93
2442				KENT AUTOMOTIVE						
	53813	1	01432 2500	SNOW - MAINTENANCE & REPAIRS	9305483166	01/11/18		01/11/18		1,149.85
				PIGTAIL ASSEMBLIES, CRIMPERS, DIAG.						
				GRIP & CRIMP TOOL						
	53815	1	01432 2500	SNOW - MAINTENANCE & REPAIRS	9305479850	01/11/18		01/11/18		1,451.70
				GRAB HOOKS, BRAIDED HOSE, BUTANE						
				TORCH, HEATER HOSE & FITTINGS						
	53816	1	01430 2330	VEHICLE MAINT AND REPAIR	9305469799	01/11/18		01/11/18		443.43
				LOCK NUTS, WASHERS & HEX CAP SCREWS						

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
										3,044.98
3838	53817	1	01438 2460	KNIGHT BROS. INC. TREE REMOVAL TREE REMOVAL BEAUMONT & BOW TREE	12309	01/11/18		01/11/18		1,140.00
										1,140.00
765	53818	1	01409 3745	LENNI ELECTRIC CORPORATION PW BUILDING - MAINT REPAIRS CHANGE LIGHTS - MECHANICS SHOP	171247	01/11/18		01/11/18		667.00
	53819	1	01409 3745	PW BUILDING - MAINT REPAIRS WIRE FEED -PW CEILING RECEPTACLES	171248	01/11/18		01/11/18		71.50
										738.50
3551	53820	1	01401 3120	MCMAHON ASSOCIATES INC. CONSULTING SERVICES PROF.SERVICE 10/28-12/1/17 PAOLI PK CORRIDOR MASTER PLAN	156564	01/11/18		01/11/18		4,054.26
										4,054.26
864	53823	1	01432 2500	METROPOLITAN COMMUNICATIO SNOW - MAINTENANCE & REPAIRS EM-MX 0108 - ANTENNA	IN000106623	01/11/18		01/11/18		40.00
	53824	1	01432 2500	SNOW - MAINTENANCE & REPAIRS 90W LED LIGHT	IN000106600	01/11/18		01/11/18		165.00
										205.00
1554	53825	1	01401 2100	OFFICE DEPOT MATERIALS & SUPPLIES QUAD PAD, INDEX MAKERS & DIVIDERS	992531117001	01/11/18		01/11/18		48.07
										48.07
3153	53826	1	01409 7505	PECO - 01360-05046 BOOT & PAOLI LED SIGN 01360-05046 11/27-12/28/17 BOOT LED	010318	01/11/18		01/11/18		27.01
										27.01
1005	53827	1	01438 3840	PENNSYLVANIA ONE CALL SYSTEM EQUIPMENT RENTAL MONTHLY ACTIVITY FEE - DEC. 2017	0000754763	01/11/18		01/11/18		26.03
										26.03



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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
991				PSATS						
53829	1	01401	3070	PSATS EXPENSE 2018 TOWNSHIP DUES	INV-30237-C4N2	01/11/18		01/11/18		2,209.00
53829	2	01401	3070	PSATS EXPENSE TWP. LEGAL DEFENSE PARTNERSHIP	INV-30237-C4N2	01/11/18		01/11/18		170.00
53829	3	01401	3070	PSATS EXPENSE NEW LAW SERVICE 2018	INV-30237-C4N2	01/11/18		01/11/18		35.00
53829	4	01401	3070	PSATS EXPENSE PA TWP. NEWS ARCHIVE 2017	INV-30237-C4N2	01/11/18		01/11/18		45.00
53829	5	01401	3070	PSATS EXPENSE PA TOWNSHIP NEWS SUBSCRIPTIONS - C. BATTAVIO, D.SHUEY, E.M.SHANE, J. EMANUEL, M.LYNCH & R.SMITH	INV-30237-C4N2	01/11/18		01/11/18		216.00
										2,675.00
1161				REILLY & SONS INC						
53830	1	01430	2320	VEHICLE OPERATION - FUEL 118.9 GALLONS GASOLINE	134523	01/11/18		01/11/18		233.88
53831	1	01430	2320	VEHICLE OPERATION - FUEL 364.8 GALLONS DIESEL	134522	01/11/18		01/11/18		810.95
										1,044.83
1203				SAFETY-KLEEN CORPORATION						
53832	1	01430	2330	VEHICLE MAINT AND REPAIR PARTS WASHER SOLVENT	75515025	01/11/18		01/11/18		424.00
										424.00
3258				SENN REPAIRS						
53833	1	01430	2330	VEHICLE MAINT AND REPAIR FREIGHLINER #41 REPAIR	3341	01/11/18		01/11/18		3,874.67
										3,874.67
1783				STATE WORKERS INSURANCE FUND						
53835	1	01411	6000	VOLUNTEER FIREFIGHTER WORKERS COMP POLICY #05918452 INSTALL. 2 OF 11	122917	01/11/18		01/11/18		5,779.00
										5,779.00
550				XYLEM DEWATERING SOLUTIONS INC.						
53837	1	01430	2600	MINOR EQUIP. PURCHASE SUBMERSIBLE PUMPS & LAYFLAT HOSE	400768385	01/11/18		01/11/18		2,230.40
										2,230.40

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
1983				YALE ELECTRIC SUPPLY CO						
	53838	1	01409 3745	PW BUILDING - MAINT REPAIRS CIRCUIT BREAKER	S109648910.001	01/11/18		01/11/18		75.00
										75.00
1512				ZEP SALES & SERVICE						
	53839	1	01430 2330	VEHICLE MAINT AND REPAIR ZEP BIG ORANGE AEROSOL	9003193979	01/11/18		01/11/18		283.42
										283.42



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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
03		SINKING FUND								
2442				KENT AUTOMOTIVE						
	53814	1	03454 7450	CAPITAL PURCHASE - PARK & REC HEAVY DUTY SWIVEL CASTERS	9305479849	01/11/18		01/11/18		525.67
										525.67
3551				MCMAHON ASSOCIATES INC.						
	53821	1	03460 7406	PAOLI PK.TRAIL - SEGMENT.F PROF.SERVICE 10/28-12/1/17 SEGMENT.F	156651	01/11/18		01/11/18		412.50
	53821	2	03460 7407	PAOLI PK.TRAIL - SEGMENT.G PROF.SERVICE 10/28-12/1/17 SEGMENT.G	156651	01/11/18		01/11/18		412.50
										825.00
910				US MUNICIPAL SUPPLY INC.						
	53836	1	03454 7450	CAPITAL PURCHASE - PARK & REC 3 DAY RENTAL - PICK UP TRUCK	6125771	01/11/18		01/11/18		2,850.00
										2,850.00





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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
06				REFUSE						
138				BFI-KING OF PRUSSIA RECYCLERY						
	53788 1	06427	4504	RECYCLING FEES	4586-000056853	01/11/18		01/11/18		414.30
				DECEMBER 2017 RE-CYCLING FEES						
										414.30

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
08		BOND FUNDS (CAPITAL PROJECTS)								
3551				MCMAHON ASSOCIATES INC.						
	53822	1	08459 6003	SEGMENT C ENGINEERING	156573	01/11/18		01/11/18		45,174.15
				PROF.SERVICE 10/28-12/1/17 SEGMT.C						
										45,174.15
										109,791.28
										0 Printed, totaling 109,791.28

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	56,460.46	GENERAL FUND
03	03	4,200.67	SINKING FUND
05	05	3,541.70	SEWER OPERATING
06	06	414.30	REFUSE
08	08	45,174.15	BOND FUNDS (CAPITAL PROJECTS)
		109,791.28	

PERIOD SUMMARY

Period	Amount
1801	109,791.28
	109,791.28



**ACH DEBITS TO GENERAL FUNDS**

**ATTACHMENT 2 of 2**

Meeting Date

**1/16/2018**

12/31/17 - 1/12/18

<b>01</b> <b>TRX#</b>	<b>Amount</b> <b>Charged</b>	<b>Date</b>	<b>Name</b>	<b>Description</b>
61464	\$80.00	1/10/2018	PRIMEPAY	MISC. EMPLOYEE BENEFITS
<b>05</b> <b>TRX#</b>				
61462	\$350.00	12/31/2017	LOCKBOX FEES - DEC. 2017	LOCKBOX FEES FOR S/R ACCT.
<b>06</b> <b>TRX#</b>				
61463	\$350.00	12/31/2017	LOCKBOX FEES - DEC. 2017	LOCKBOX FEES FOR S/R ACCT.



# Federal Emergency Management Agency

Washington, D.C. 20472

December 22, 2017



THE HONORABLE E. MARTIN SHANE  
CHAIRMAN, BOARD OF SUPERVISORS  
TOWNSHIP OF EAST GOSHEN  
1580 PAOLI PIKE  
WEST CHESTER, PA 19380

CASE NO.: 18-03-0229A  
COMMUNITY: TOWNSHIP OF EAST GOSHEN,  
CHESTER COUNTY, PENNSYLVANIA  
COMMUNITY NO.: 420277

DEAR MR. SHANE:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map. Using the information submitted and the effective NFIP map, our determination is shown on the attached Letter of Map Revision (LOMR) Floodway Determination Document. This determination document provides additional information regarding the effective NFIP map, the legal description of the property and our determination.

Additional documents are enclosed which provide information regarding the subject property and LOMRs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document. If you have any questions about this letter or any of the enclosures, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Sincerely,

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration

**LIST OF ENCLOSURES:**

LOMR-FW DETERMINATION DOCUMENT (REMOVAL)

cc: State/Commonwealth NFIP Coordinator

Community Map Repository  
Region

Ms. Cheryl Lodowski





# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION FLOODWAY DETERMINATION DOCUMENT (REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY, PENNSYLVANIA	Unit D-3, Parcel No. 53-6F-133, as described in the Deed recorded as Instrument No. 70552, in Book 4264, Pages 895 through 900, in the Office of the Recorder of Deeds, Chester County, Pennsylvania
	COMMUNITY NO.: 420277	
AFFECTED MAP PANEL	NUMBER: 42029C0215G	
	DATE: 9/29/2017	
FLOODING SOURCE: EAST BRANCH CHESTER CREEK		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 39.959921, -75.545073 SOURCE OF LAT & LONG: LOMA LOGIC DATUM: NAD 83

### DETERMINATION

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
--	--	--	703 Westtown Circle	Structure	X (shaded)	--	316.8 feet	--

**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

**ADDITIONAL CONSIDERATIONS** (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

INADVERTENT INCLUSION FLOODWAY 1  
SUPERSEDES PREVIOUS DETERMINATION

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Revision for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the structure(s) on the property(ies) is/are not located in the NFIP regulatory floodway or the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document revises the effective NFIP map to remove the subject property from the NFIP regulatory floodway and the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan. A Preferred Risk Policy (PRP) is available for buildings located outside the SFHA. Information about the PRP and how one can apply is enclosed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION FLOODWAY DETERMINATION DOCUMENT (REMOVAL)

### ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

#### **INADVERTENT INCLUSION IN THE FLOODWAY 1 (PORTIONS OF THE PROPERTY REMAIN IN THE FLOODWAY) (This Additional Consideration applies to the preceding 1 Property.)**

A portion of this property is located within the National Flood Insurance Program (NFIP) regulatory floodway for the flooding source indicated on the Determination Document, while the subject of this determination is not. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevations. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation, and any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management. The NFIP regulatory floodway is provided to the community as a tool to regulate floodplain development. Therefore, the NFIP regulatory floodway modification described in the Determination Document, while acceptable to the Federal Emergency Management Agency (FEMA), must also be acceptable to the community and adopted by appropriate community action, as specified in Paragraph 60.3(d) of the NFIP regulations. Any proposed revision to the NFIP regulatory floodway must be submitted to FEMA by community officials. The community should contact either the Regional Director (for those communities in Regions I-IV, and VI-X), or the Regional Engineer (for those communities in Region V) for guidance on the data which must be submitted for a revision to the NFIP regulatory floodway. Contact information for each regional office can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/about/regoff.htm>.

#### **SUPERSEDES OUR PREVIOUS DETERMINATION (This Additional Consideration applies to all properties in the LOMR-FW DETERMINATION DOCUMENT (REMOVAL))**

This Determination Document supersedes our previous determination dated 3/28/2000, for the subject property.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

A handwritten signature in black ink, appearing to read "Luis V. Rodriguez".

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration



## **Memo**

To: Board of Supervisors  
From: Joanne Morgan  
Re: Right-to-Know Quarterly Report

### **October-November-December 2017**

Kirk Leister  
419 Cheney Road  
Columbia Crossroads, PA 16914

Mr. Leister requested by the standard Right-to-Know a ledger or spreadsheet showing activity including balances, date of initial deposit, disbursements and addresses for a fire damaged property escrow account. An e-mail message was sent to Mr. Leister stating that we did not have any information.

Maureen Ruoff  
PO Box 1322  
Paoli, PA 19301

Ms. Ruoff filled and a standard Right-to-Know Request requesting property record for 911 St. Andrews Drive, Malvern, PA. Ms. Ruoff reviewed the property files for 911 St Andrews Drive on October 2, 2017.

Lisa Dyer  
555 Lancaster Avenue  
Berwyn, PA 19312

Ms. Dyer submitted a Standard Right-to-Know request asking for a monthly summary of residential building permits for all new construction of houses renovations or additions issued in September 2017. An e-mail was sent to Ms. Dyer telling her the website address of the monthly building report.

Barbara Diestelow  
1786 Suffolk Downs  
West Chester, PA 19380

Ms. Barbara Diestelow submitted a Standard-Right-to-Know Request Form requesting information on plans for her sunroom that was done in 2008. She requested to see the complete building records that were submitted by McFalls Construction prior to the construction. Information regarding the plan request was e-mailed to Ms. Diestelow.

Michael MacDonald  
114 E 8<sup>th</sup> Avenue  
Conshohocken, PA 19428

Mr. MacDonald submitted a Right-to-Know request for the residential building permits approved for the months of August and September 2017. Mr. Smith e-mailed the Township website link as to where the building permits are located.

Kenneth Deloian  
fbo SmartProcure  
700 W. Hillsboro Blvd.  
Suite 4-100  
Deerfield Beach, FL 33313

Mr. Deloian submitted a Standard Right-To-Know request form requesting any or all electronically maintained purchasing records dated 2017-07-21 to current date. A report of vendor information was sent October 25, 2017 by e-mail from Barbara Phillips.

Matt Perna  
9 Howarth Avenue  
Media, PA 19063  
610-246-6143 [mperna@mattersaw.com](mailto:mperna@mattersaw.com)

Mr. Perna filled out a Standard Right-to-Know Request asking for plot plan information for 315 Franklin Court. Plot plan information was e-mailed to Mr. Perna.



Lisa Dyer  
555 Lancaster Avenue  
Berwyn, PA 19312  
610-648-0922 [Lisa\\_Dyer@Gunton.com](mailto:Lisa_Dyer@Gunton.com)

Ms. Dyer submitted a Standard Right to Know Request asking for the monthly summary of residential building permits for all new construction of houses, renovations and additions issued in October 2017. An e-mail was sent to Ms. Dyer that the information is posted on the East Goshen Township website.

James Carey  
5115 Pegasus Court, Suite F  
Frederick, MD 21704  
301-972-4660 [jcarey@bestinspections.com](mailto:jcarey@bestinspections.com)

Mr. Carey sent in a Standard Right-to-Know Request Form requesting records of outstanding code violations, and copies of certificates of occupancy. Information was sent to Mr. Carey as requested and a statement stating there was no outstanding violations.

Peggy Skillern  
3000 S. Berry Road, Suite 150  
Norman, OK 73072  
800-787-8390 [pskillern@blockandclark.com](mailto:pskillern@blockandclark.com)

Ms. Skillern field a Standard Right-to-Know Request form asking for property information on 1302 Goshen Parkway The information request was a zoning verification letter; information on code violations, variance and permit information, site plans, and copies of certificates of occupancy. Property information was mailed to Peggy Skillern.

Philip R. Castagna, Jr.  
Rawle & Henderson  
The Widener Building  
One South Penn Square  
Philadelphia, PA 19107  
215-575-4374 [pcastagna@rawle.com](mailto:pcastagna@rawle.com)

Mr. Castagna submitted a Standard Right-to-Know Request asking for all documentation related to the construction of 1235 Great Oak Circle, West Chester, PA 19380 including all permits, certificates of use, inspections, plans schematics and supporting documentation. Mr. Smith answered Mr. Castagna's and sent him information regarding his request for that documentation.

Donald C. Cramer  
11 Silver Avenue  
Glassboro, NJ 08028

Mr. Cramer requested on the Standard Right-To-Know request information pertaining any copies of information on files and permits, inspections code regulations on the underground and aboveground storage tanks located at ZEKS Compressed Air Solutions, 1302 Goshen Parkway. An e-mail was forward to Mr. Cramer pertaining to any records we had on the storage tanks.

Patrick Loftus, Esquire  
Duane Morris  
30 South 17<sup>th</sup> Street  
Philadelphia, PA 19103

Mr. Loftus requested information pertaining to Noise Control Ordinance pertaining to Sunoco. Information regarding the cost and the delivery of records was sent to Mr. Patrick Loftus. The cost would be made payable to East Goshen Township for \$252.25.

Terence & Rosemary James  
1432 Grand Oak Lane  
West Chester, PA 19380

Mr. & Mrs. James requested plot plan and permit record information for their property at 1432 Grand Oak Lane pertaining to an addition.

Joan MacMullen  
4 Harrison Road West  
West Chester, PA 19380

Ms. MacMullen requested liability insurance information of Bachman's Roofing Company. The information was provided to Ms. MacMullen from our Building and Code Department



Tiffany Moon  
467 Swan Avenue  
Hohenwald, TN 38462  
188-284-7437 ext. 124 [tmoon@olivertechnologies.com](mailto:tmoon@olivertechnologies.com)

Ms. Tiffany Moon filed out a standard right-to-know request form requesting copies of all building permit applications issued in East Goshen Township for manufactured homes; both new and used. This would be from July 1, 2016 to June 30, 2017. Information was sent to Ms. Moon telling her that she could pick up information on building reports on our website. She was also told that we did not issue any permits for manufactured homes for the time period she requested.

Ms. Lisa Dyer  
555 Lancaster Avenue  
Berwyn, PA 19312

Ms. Dyer submitted a Standard Right-to-know request form requesting a monthly summary of residential building permits for all new construction of houses, renovations or additions issued in November 2017. Ms. Dyer was e-mailed the East Goshen Township website information of where to obtain the monthly building report.