

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
301 East Ocean Blvd., Suite 300
Long Beach, CA 90802
(562) 590-5071

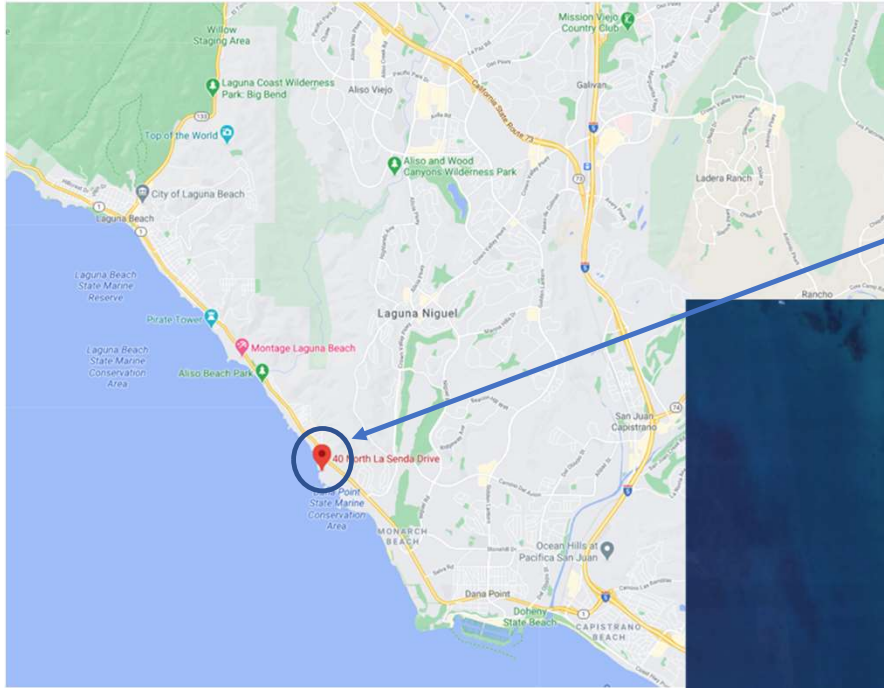


W12d

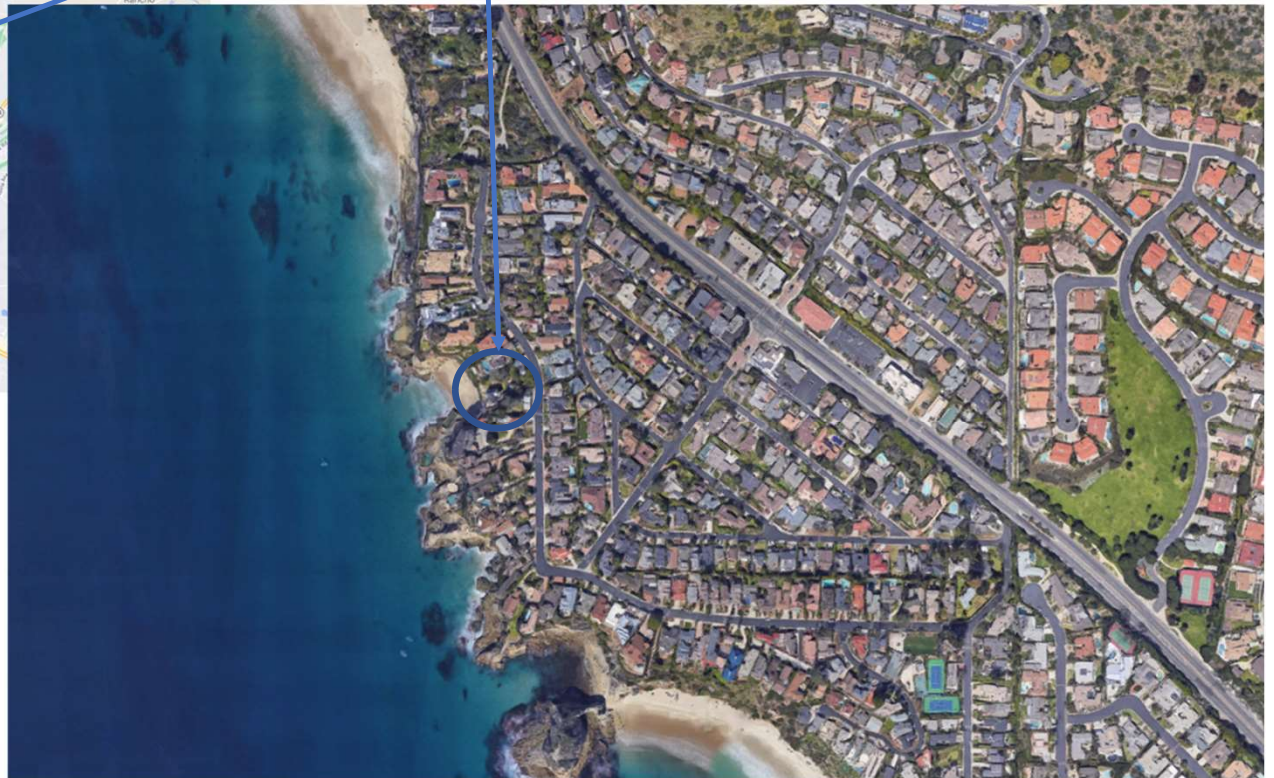
5-20-0224 (Braff)
OCTOBER 7, 2020

EXHIBITS

- Exhibit 1 – Vicinity Map
- Exhibit 2 – Subject Property Photo
- Exhibit 3 – Applicant's Site Plan with Bluff Edge & Bluff Edge Setback
- Exhibit 4 – Agreement for Use of Structure for Historic Preservation, 3/4/2020
- Exhibit 5 - Project Plans



40 N. La Senda, Three Arch Bay
Laguna Beach



**5-20-0224 Braff
Vicinity Map
Exhibit 1**

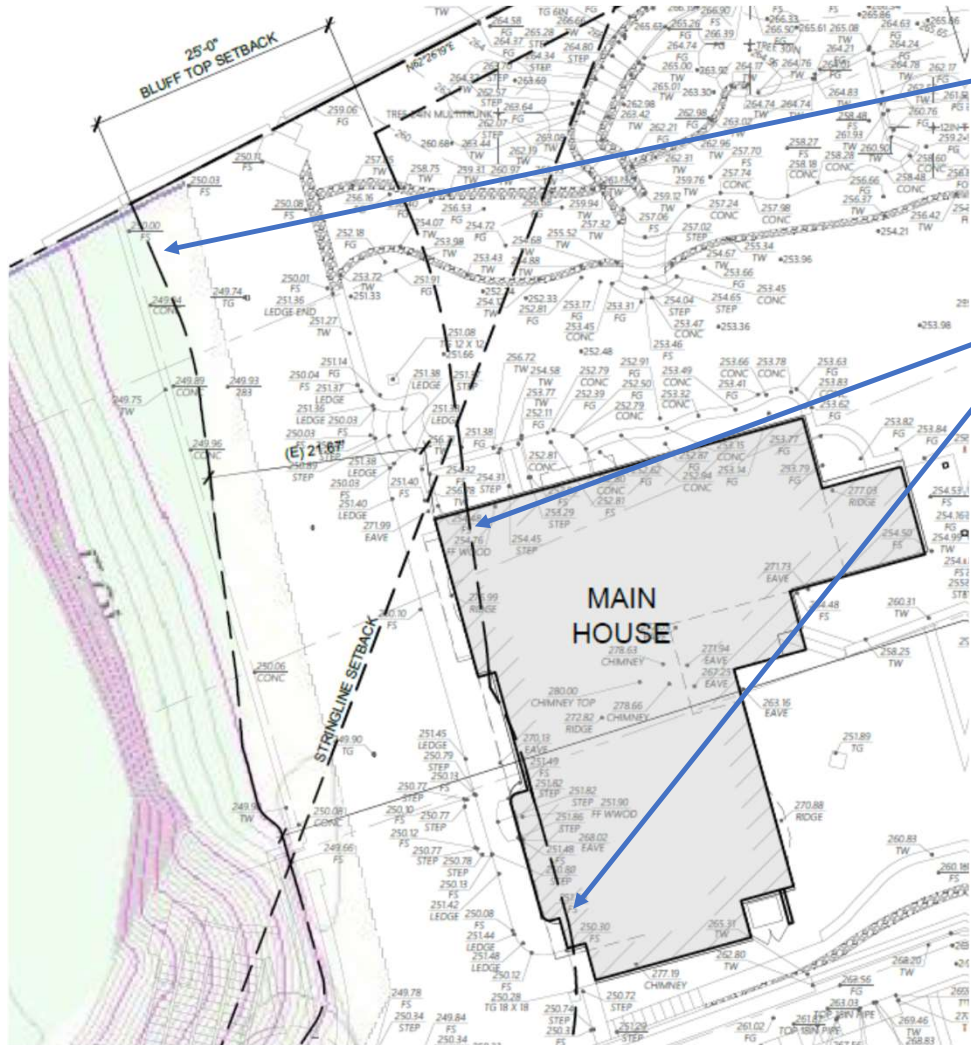


Subject Property 5-20-0224

Exhibit 2



5-20-0224 Braff
 Site Plan
 showing
 Applicant's Bluff Edge
 Exhibit 3a



Applicant's Bluff Edge Location
(not confirmed by CCC staff)

Area of existing Main House beyond 25' bluff edge setback
(based on applicant's bluff edge)

5-20-0224 Braff
Close Up of Applicant's Bluff Edge
Exhibit 3b



13.00

* \$ R 0 0 1 1 5 6 2 5 9 8 \$ *

2020000116510 12:02 pm 03/16/20

90 SC5 A12 2

0.00 0.00 0.00 0.00 3.00 0.00 0.000.000.00 3.00

RECORDING REQUESTED BY:
City of Laguna Beach

AND WHEN RECORDED MAIL TO:
City Clerk, City of Laguna Beach
505 Forest Avenue
Laguna Beach, CA 92651

**AGREEMENT FOR USE OF STRUCTURE
FOR HISTORIC PRESERVATION**

THIS AGREEMENT FOR USE OF STRUCTURE FOR HISTORIC PRESERVATION
("AGREEMENT") is made this 4th day of March, 2020, by

David H. Braff

with respect to the structure designated for historical preservation located on that certain real property,
title to which is held by said person(s), the legal description for which is RS 3-03 Lot 21 To 23

Inc And Por Of Lot27 And RS 3/44 Lots 24/25 and Por of S8, T8, R8W Lot 2 Et. Al

and which is more commonly known as 40 N La Senda Drive or APN: 056-172-34

situated in the City of Laguna Beach, County of Orange, State of California (the "Subject Property").

NOW, THEREFORE, David H. Braff (and each of them,) hereby covenants(s), agree(s) and declare(s) that the historical structure located on the Subject Property shall not be altered or demolished without prior approval by the City of Laguna Beach. "Altered" shall mean any change or modification including, but not limited to, changes to or modification of structure, architectural details and visual characteristics such as paint color and surface texture, cutting or removal of significant landscape features, and the placement or removal of any objects such as signs, light fixtures and fences affecting the visual qualities of the historical structure located on the Subject Property.

The existence of this AGREEMENT shall be recited in any Real Property Report required for the sale of the Subject Property in accordance with Chapter 14.76 of the Laguna Beach Municipal Code.

This AGREEMENT shall not be amended in any manner or terminated without the prior written approval of the City of Laguna Beach nor without the recordation of any such approval or amendment by the City of Laguna Beach.

The terms and conditions of this AGREEMENT shall constitute a covenant running with and binding the land in accordance with the provisions of California Civil Code Section 1468. Accordingly, the Subject Property shall be held, sold, conveyed, mortgaged, encumbered, leased, rented, used, occupied and improved subject to this AGREEMENT, all of which shall run with the Subject Property and shall be binding on all parties having any right, title or interest in the

Subject Property or any part thereof, their heirs, successors and assigns, and shall inure to the benefit of each owner thereof and all of which are imposed on the Subject Property and every portion thereof.

Property Owner(s)

Signatures David H. Braff

Printed Names David H. Braff

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

~~STATE OF CALIFORNIA }
COUNTY OF ORANGE }~~
New York

On March 6, 2020 before me, Dawn A. Harris-Cox

Notary Public, personally appeared David H. Braff who

proved to me on the basis of satisfactory evidence to be the person(s) whose names(s) is/are subscribed to me the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY New York under the laws of the State of ~~California~~ that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Dawn A. Harris-Cox
Signature of Notary Dawn A. Harris-Cox
DAWN A. HARRIS-COX
Notary Public, State of New York
No. 01145118089
Qualified in New York County
Commission Expires December 12, 2021

(SEAL)

BRAFF / CHRISTOU RESIDENCE (PHASE 1)

40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

WATER QUALITY NOTES

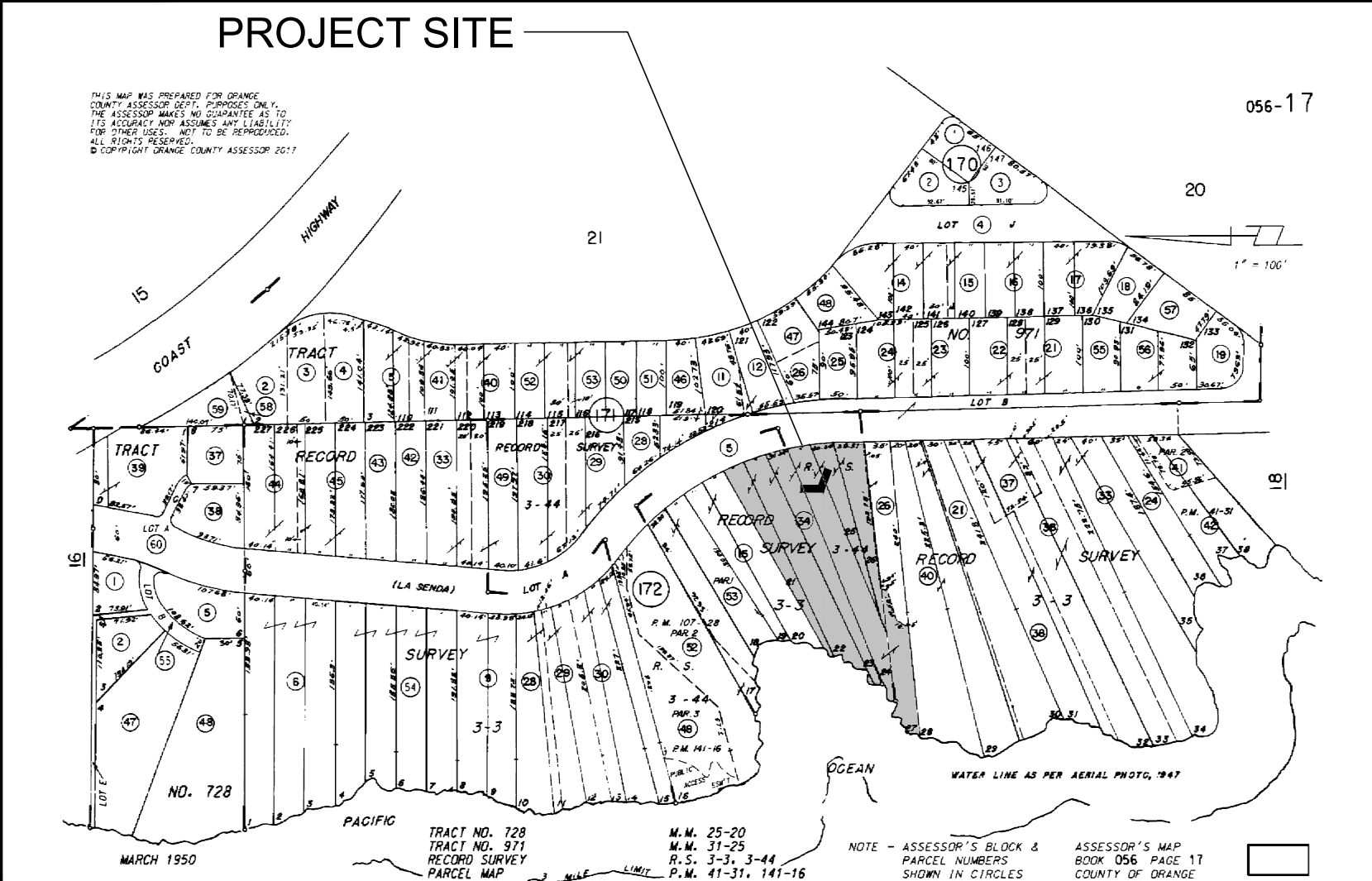
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL DRAINAGE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS, OR RESIDUES SHALL BE RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE UNLESS TREATED TO REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM-WATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO VIOLATION OF ANY WATER QUALITY STANDARDS, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENTS, CEMENT PRODUCTS, SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES, AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS, CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPER-CHLORINATED POTABLE WATER LINE FLUSHINGS.
- DURING CONSTRUCTION, DISPOSAL OF MATERIALS AND POTENTIAL POLLUTANTS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORM-WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. TRUE DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

CODE COMPLIANCE:

2016 CALIFORNIA RESIDENTIAL (CRC), ELECTRICAL (CEC), ENERGY (ENS), MECHANICAL (CMC), PLUMBING (CPC), 2016 ENERGY (ENS) CODES AND 2016 GREEN CODE WITH LOCAL AMMENDMENTS, CODES AND ORDINANCES.

ADDITIONAL COMPLIANCE:
NPDES, SUSMP AND BMP REQUIREMENTS DIG ALERT

VICINITY MAP



PROJECT SUMMARY TABLES:

USE	SFR	ZONE	OSC-REC-TAB	LOT SLOPE (%)	18.93%
ZONING STANDARDS					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS Y/N	
LOT AREA	6,000 SF	27,228 SF / 143,415 SF GROSS	NO CHANGE	YES	
LOT WIDTH (AVG.)	70'	156.02'	NO CHANGE	YES	
LOT DEPTH (AVG.)	80'	175.53'	NO CHANGE	YES	
MAX BUILDING HEIGHT (ABV UPPER PROP LINE)	17.5'	10.31'	NO CHANGE	YES	
MAX HEIGHT FROM GRADE	21'	25'	NO CHANGE	NO	
SETBACKS: *STRUCTURES ARE ELIGIBLE FOR SETBACK FLEXIBILITY PER LBMC SECTION 25.45.006(E)					
FRONT YARD	5' GAR/10' HOUSE	0' GUEST HOUSE / GARAGE 1	NO CHANGE	YES*	
REAR YARD	25'	21.67'	NO CHANGE	YES*	
SIDE YARDS (combined/each)	5'	0.08' N / 12.33' S	NO CHANGE	YES*	
LOT COVERAGE (BSC)	35% / 9,528.05 SF	12.88% / 3,505.49 SF	12.91% / 3,513.39 SF	YES	
FLOOR AREA RATIO (1.5XBSC)	14,292.08 SF	5,576.88 SF	5,567.77 SF	YES	
LANDSCAPE OPEN SPACE					
IRRIGATED AREA					
PARKING	3	5	NO CHANGE	YES	

DESCRIPTION	EXISTING	PROPOSED	TOTAL	REMODEL
MAIN HOUSE:				
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF
TOTAL	2,733.95 SF	-26.39 SF	2,707.56 SF	642.63 SF
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS				
GUEST HOUSE:				
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF
TOTAL	554.31 SF	-30.72 SF	523.90 SF	215.34 SF
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF
CHART HOUSE:				
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF
GARAGE 1				
	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF
GARAGE 2 (ORIGINAL GARAGE)				
	441.83 SF	0.00 SF	441.83 SF	0.00 SF
TOTAL REMODEL AREA				865.58 SF

DEMOLITION (APPEALABLE COASTAL PERMIT)				
MAIN HOUSE	EXISTING (SF OR LF)	DEMO (SF OR LF)	DEMO %	> or = 50%
ROOF (SQUARE FEET)	1,721.28	0	0%	N
INTERIOR & EXTERIOR WALLS (LINEAR FEET)				
BASEMENT	101.88	3.83		
1ST FLOOR	335.66	22.92		
2ND FLOOR	332.63	28.05		
TOTAL WALLS	769.45	54.80	7.12%	N
FOUNDATION (LINEAR FEET)	197.99	0	0%	N
TOTAL DEMO (%) (SUM OF DEMO PERCENTAGES FOR ROOF, WALLS, AND FOUNDATION DIVIDED BY 300)		2.37%		N

DEMOLITION (APPEALABLE COASTAL PERMIT)				
GUEST HOUSE	EXISTING (SF OR LF)	DEMO (SF OR LF)	DEMO %	> or = 50%
ROOF (SQUARE FEET)	462.99	0	0%	N
INTERIOR & EXTERIOR WALLS (LINEAR FEET)				
1ST FLOOR	110.30	34.63		
2ND FLOOR	65.41	4.21		
TOTAL WALLS	175.71	38.84	22.10%	N
FOUNDATION (LINEAR FEET)	79.22	0	0%	N
TOTAL DEMO (%) (SUM OF DEMO PERCENTAGES FOR ROOF, WALLS, AND FOUNDATION DIVIDED BY 300)		7.37%		N

SITE WORK				
GRADING (CUBIC YARDS)	OUTSIDE BLDG FOOTPRINT	INSIDE BLDG FOOTPRINT	POOL/SPA	TOTAL
CUT	0.00 CY	0.00 CY	0.00 CY	
FILL	0.00 CY	0.00 CY	0.00 CY	
NET EXPORT	0.00 CY	0.00 CY	0.00 CY	

IMPERVIOUS SURFACES				
STRUCTURE	LOT AREA		% OF LOT AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED
STRUCTURE	3,505.49 SF	3,510.39 SF	12.88%	12.89%
HARDSCAPE (INCL. DRIVEWAY)		NO CHANGE		NO CHANGE
TOTAL				

EXTERIOR BUILDING LIGHTING				
EXISTING EGRESS DOORS	NO CHANGE	PROPOSED EGRESS DOORS	NO CHANGE	
EXISTING FIXTURE COUNT	NO CHANGE	PROPOSED FIXTURE COUNT	NO CHANGE	
FIXTURE TYPE	WATTAGE	LUMENS	QUANTITY	COMMENTS
TOTAL			NO CHANGE	

LANDSCAPE LIGHTING				
EXISTING FIXTURE COUNT	NO CHANGE	PROPOSED FIXTURE COUNT	NO CHANGE	
FIXTURE TYPE	WATTAGE	LUMENS	QUANTITY	COMMENTS
TOTAL			NO CHANGE	
COMBINED TOTAL			NO CHANGE	

NOTES
1) SUM OF DEMO PERCENTAGES FOR ROOF AND EXTERIOR WALLS DIVIDED BY 200

PROJECT INFORMATION:

PROJECT DESCRIPTION:
ADDITION AND INTERIOR REMODEL TO 2 EXISTING STRUCTURES TO INCLUDE:

- MAIN HOUSE**
 - INTERIOR REMODEL INCLUDING WINDOW/DOOR ALTERATIONS/RESTORATIONS
 - NEW SIDING (MILLED TO MATCH EXISTING)
 - ADDITIONAL ALTERATIONS RESULTING IN A NET DECREASE OF 26 S.F.
 - NEW ROOFING TO REPLACE EXISTING
- GUEST HOUSE**
 - INTERIOR REMODEL INCLUDING WINDOW/DOOR ALTERATIONS/RESTORATIONS
 - NEW ROOFING TO REPLACE EXISTING
- CHART HOUSE**
 - NO WORK PROPOSED
- GARAGE 1**
 - NO WORK PROPOSED
- GARAGE 2**
 - NO WORK PROPOSED
- LIGHT HOUSE**
 - NO WORK PROPOSED

HISTORIC INVENTORY: E
OCCUPANCY: R-3/U
STORIES: 2
CONSTRUCTION TYPE: VB
APN: 056-172-34
LEGAL DESCRIPTION: RECORD SURVEY 3-03 LOT 21 TO 23 INC AND POR OF LOT 27 AND RECORD SURVEY 3444 LOTS 24/25 AN

PROJECT CONTACTS:

OWNER / PROJECT ADDRESS: TOPOGRAPHIC SURVEY: CIVILSCAPES ENGINEERING
BRAFF / CHRISTOU
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651
ARCHITECT: NICOL ARCHITECTURE, INC.
TIM NICOL
604 VISTA LANE
LAGUNA BEACH, CA 92651
(949) 494-0026
tim@nicolarchitecture.com

TOPOGRAPHIC SURVEY: WILLIAM D. ROLPH
28052 CAMINO CAPISTRANO, STE 213
LAGUNA NIGUEL, CA 92677
P. (949) 464-8115
E. info@civilscales.com

GEOLOGIST: GEOFORM
801 GLENNEYRE ST #E
LAGUNA BEACH, CA 92651
P. (949) 494-2122

SHEET INDEX:

- COVER SHEET**
CS-1 COVER SHEET / PROJECT INFORMATION
- T1 TOPOGRAPHIC MAP**
T2 TOPOGRAPHIC MAP
T3 TOPOGRAPHIC MAP
- SP-1 SITE PLAN**
SP-2 ENLARGED SITE PLAN
- ARCHITECTURAL**
- MAIN HOUSE**
A-1.1 RECORD BASEMENT AND 1ST FLOOR PLAN
A-1.2 RECORD 2ND FLOOR PLAN AND ROOF PLAN
A-1.3 RECORD BASEMENT AND 1ST FLOOR REFLECTED CEILING PLAN
A-1.4 RECORD 2ND FLOOR REFLECTED CEILING PLAN
A-1.5 RECORD EXTERIOR ELEVATIONS
A-1.6 RECORD EXTERIOR ELEVATIONS
A-2.1 PROPOSED BASEMENT AND 1ST FLOOR PLAN
A-2.2 PROPOSED 2ND FLOOR PLAN AND ROOF PLAN
A-2.3 PROPOSED BASEMENT AND 1ST FLOOR REFLECTED CEILING PLAN
A-2.4 PROPOSED 2ND FLOOR REFLECTED CEILING PLAN
A-2.5 PROPOSED EXTERIOR ELEVATIONS
A-2.6 PROPOSED EXTERIOR ELEVATIONS
- GUEST HOUSE**
A-3.1 RECORD GUEST HOUSE
A-4.1 PROPOSED GUEST HOUSE
- CHART HOUSE**
A-5.1 RECORD CHART HOUSE
- GARAGE 1**
A-7.1 RECORD GARAGE 1
- GARAGE 2**
A-9.1 RECORD GARAGE 2
- SCHEDULES**
A-11.1 SCHEDULES
A-11.2 SCHEDULES
- ZONING**
ZAC-1 RECORD MAIN HOUSE AREA CALCULATIONS
ZAC-2 RECORD MAIN HOUSE AREA CALCULATIONS
ZAC-3 PROPOSED MAIN HOUSE AREA CALCULATIONS
ZAC-4 PROPOSED MAIN HOUSE AREA CALCULATIONS
ZAC-5 GUEST HOUSE AREA CALCULATIONS
ZAC-6 CHART HOUSE AREA CALCULATIONS
ZAC-7 GARAGE 1 AREA CALCULATIONS
ZAC-8 GARAGE 2 AREA CALCULATIONS
ZAC-9 MAIN HOUSE WALL DEMO AREA CALCULATIONS
ZAC-10 MAIN HOUSE WALL DEMO AREA CALCULATIONS
ZAC-11 MAIN HOUSE ROOF DEMO AREA CALCULATIONS
ZAC-12 MAIN HOUSE FLOOR DEMO AREA CALCULATIONS
ZAC-13 GUEST HOUSE DEMO AREA CALCULATIONS

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL ARCHITECTURE, INC.
604 VISTA LANE
LAGUNA BEACH
CA 92651
PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

COVER SHEET PROJECT INFORMATION



COPYRIGHT 2010 / 2011 / 2012 / 2013
THIS DOCUMENT IS THE PROPERTY OF NICOL ARCHITECTURE, INC. IT SHALL NOT BE REPRODUCED, ALTERED OR TRANSMITTED WITHOUT WRITTEN PERMISSION FROM NICOL ARCHITECTURE, INC.

DATE: 6-5-20
SCALE: NOTED
PROJECT: BRAFF
DRAWN BY: BC

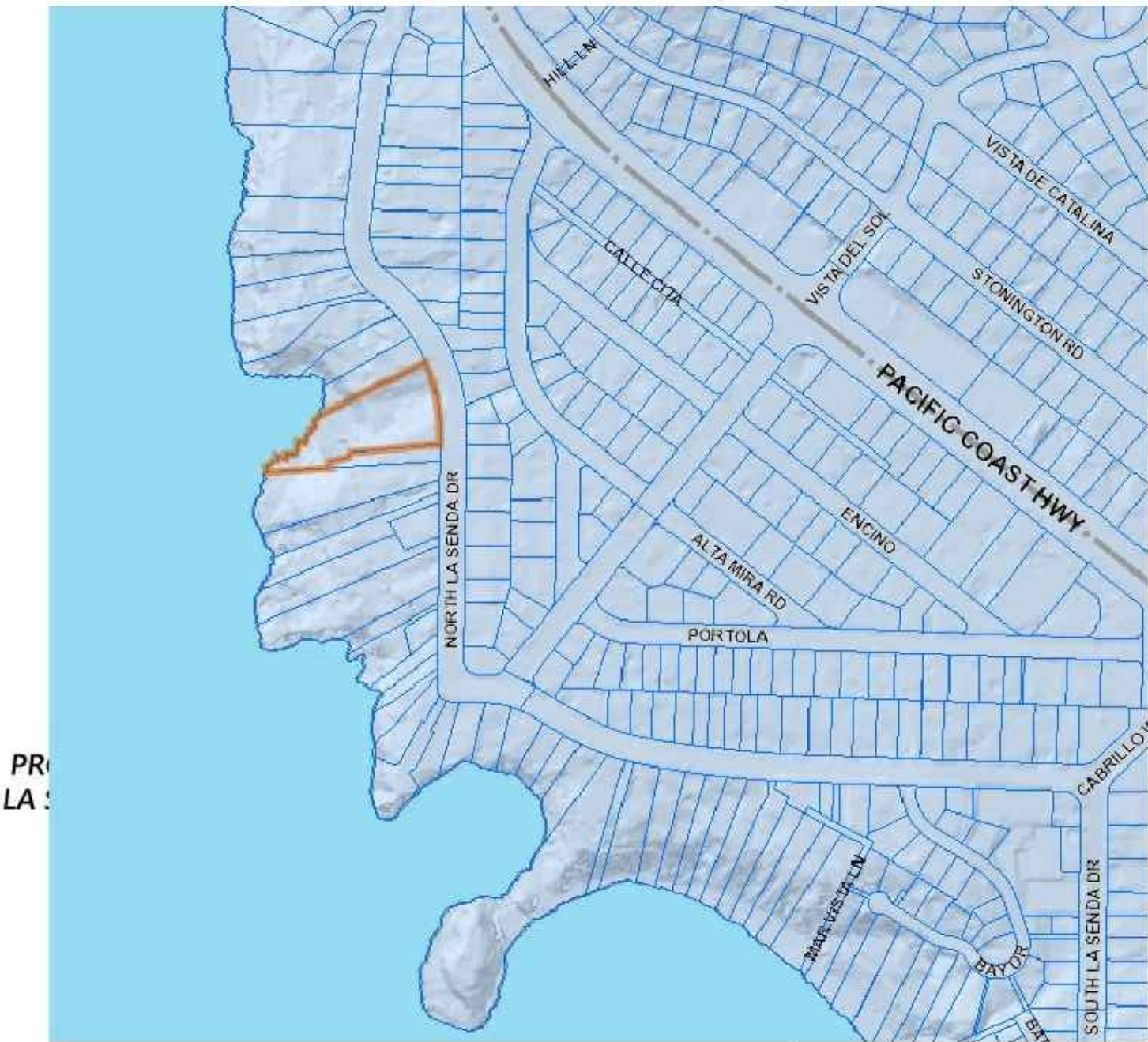


CITY OF LAGUNA BEACH, CALIFORNIA
COUNTY OF ORANGE

TOPOGRAPHIC MAP

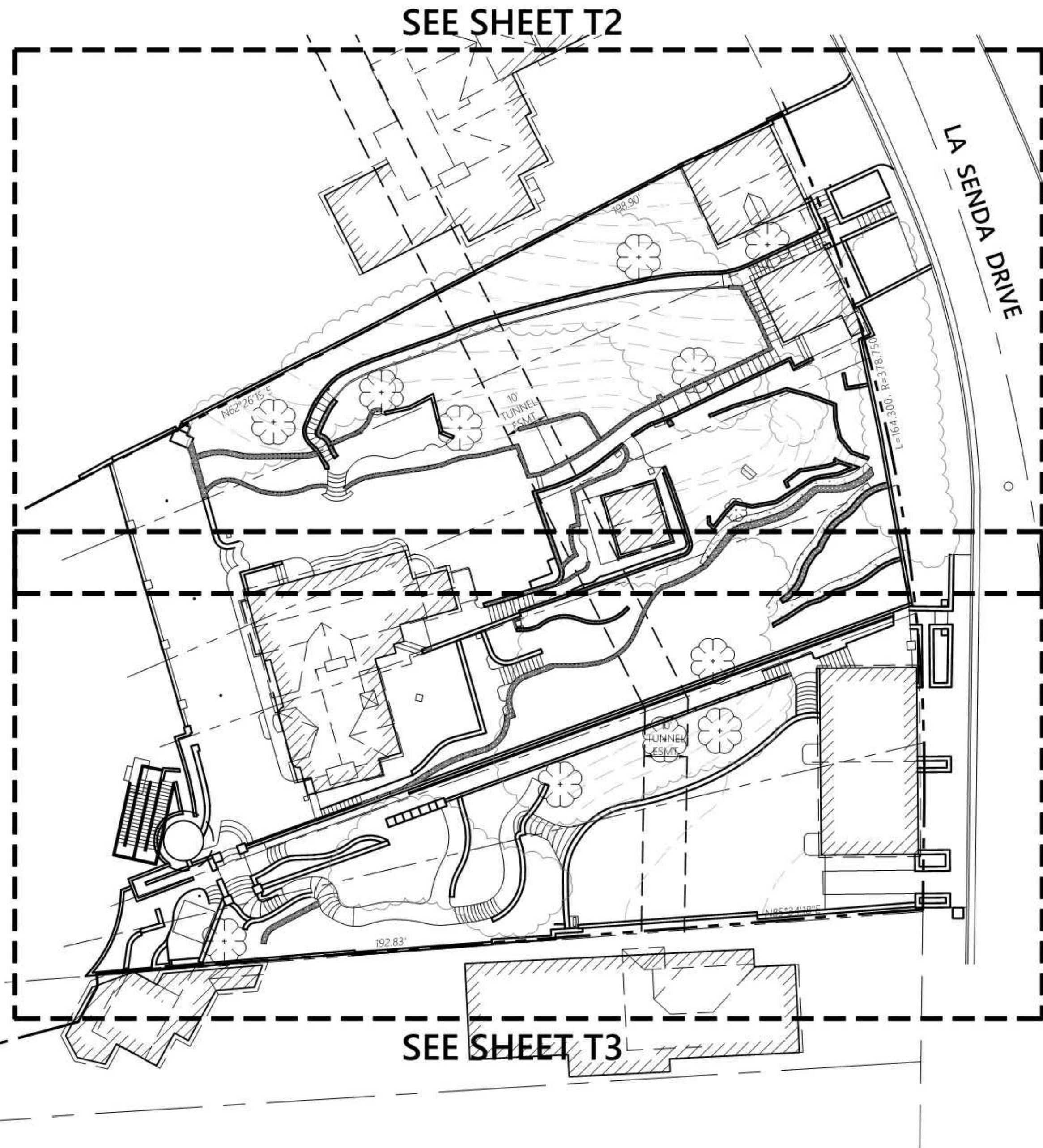
40 N LA SENDA DRIVE

APN: 056-172-34



VICINITY MAP

NO SCALE



LEGEND

FF	FINISHED FLOOR
FG	FINISHED GRADE
FS	FINISHED SURFACE
AT	AERIAL TARGET
GRASS	EDGE OF GRASS
EG	EDGE OF PAVEMENT
CONC	EDGE OF CONCRETE
FL	FLOW LINE
BLDG	BUILDING
TG	TOP OF GRATE
TILE	TILE
FENCE	FENCE
GATE	GATE
WALL	SIDE OF WALL
THRESH	EDGE OF THRESHOLD
GFF	GARAGE FINISHED FLOOR
TC	TOP OF CURB
TRW	TOP OF RETAINING WALL
TW	TOP OF WALL

	BUILDING WALL
	STREET CENTERLINE
	BOUNDARY LINE
	LOT LINE
	RIGHT-OF-WAY
	WALL
	EASEMENT LINE
	APPROX. CONTOUR LINE

RECORD OWNER:

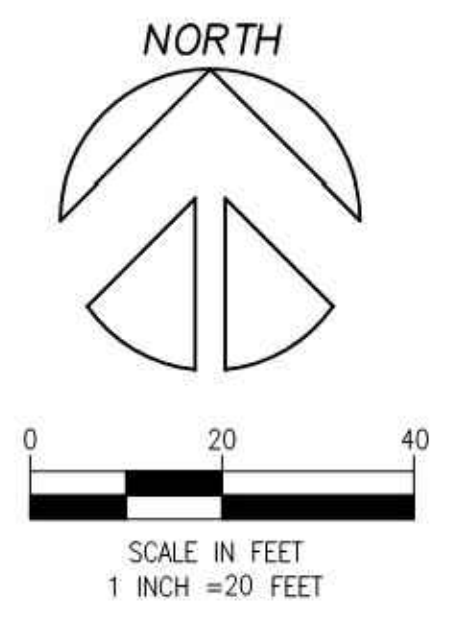
BRAFF DAVID
450 52ND ST.
NEW YORK, NY 10022

TENTATIVE BENCHMARK

SEWER MANHOLE IN STREET LABELED 'SMH,TBM' HEREON.
TBM ELEV = 285.69 (ASSUMED)

SURVEY NOTES

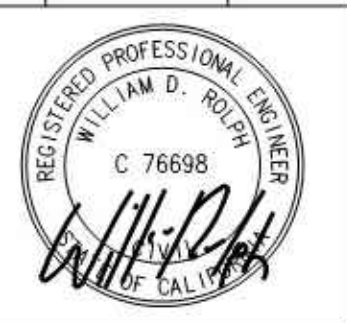
- THIS MAP IS FOR PRELIMINARY PURPOSES ONLY. THIS MAP IS NOT A BOUNDARY SURVEY. CLIENT HAS EXCLUDED BOUNDARY SURVEY FROM SCOPE OF WORK AT THIS TIME. PROPERTY LINES WILL NEED TO BE VERIFIED BY A BOUNDARY SURVEY WITH CORNER RECORD OR RECORD OF SURVEY.
- BOUNDARY LINES AND PROPERTY LINES SHALL NOT BE RELIED UPON FOR CONSTRUCTION, ENCROACHMENTS, OR SETBACKS.
- THE ACTUAL REAR BOUNDARY LINE IS REPRESENTED BY THE HIGH TIDE LINE AND IS NOT ESTABLISHED BY THIS MAP.



CIVILSCAPES
ENGINEERING
28052 CAMINO CAPISTRANO, STE 213
LAGUNA NIGUEL, CA 92677
949.464.8115 info@civilscales.com

TOPOGRAPHIC MAP FOR EXISTING RESIDENCE
40 N LA SENDA DRIVE
LAGUNA BEACH, CA 92651

NO.	REVISION	DATE



JOB NO. 19010
DATE 5/13/2019
SHEET NO.

T1

SHEET NO. 1 OF 3



DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

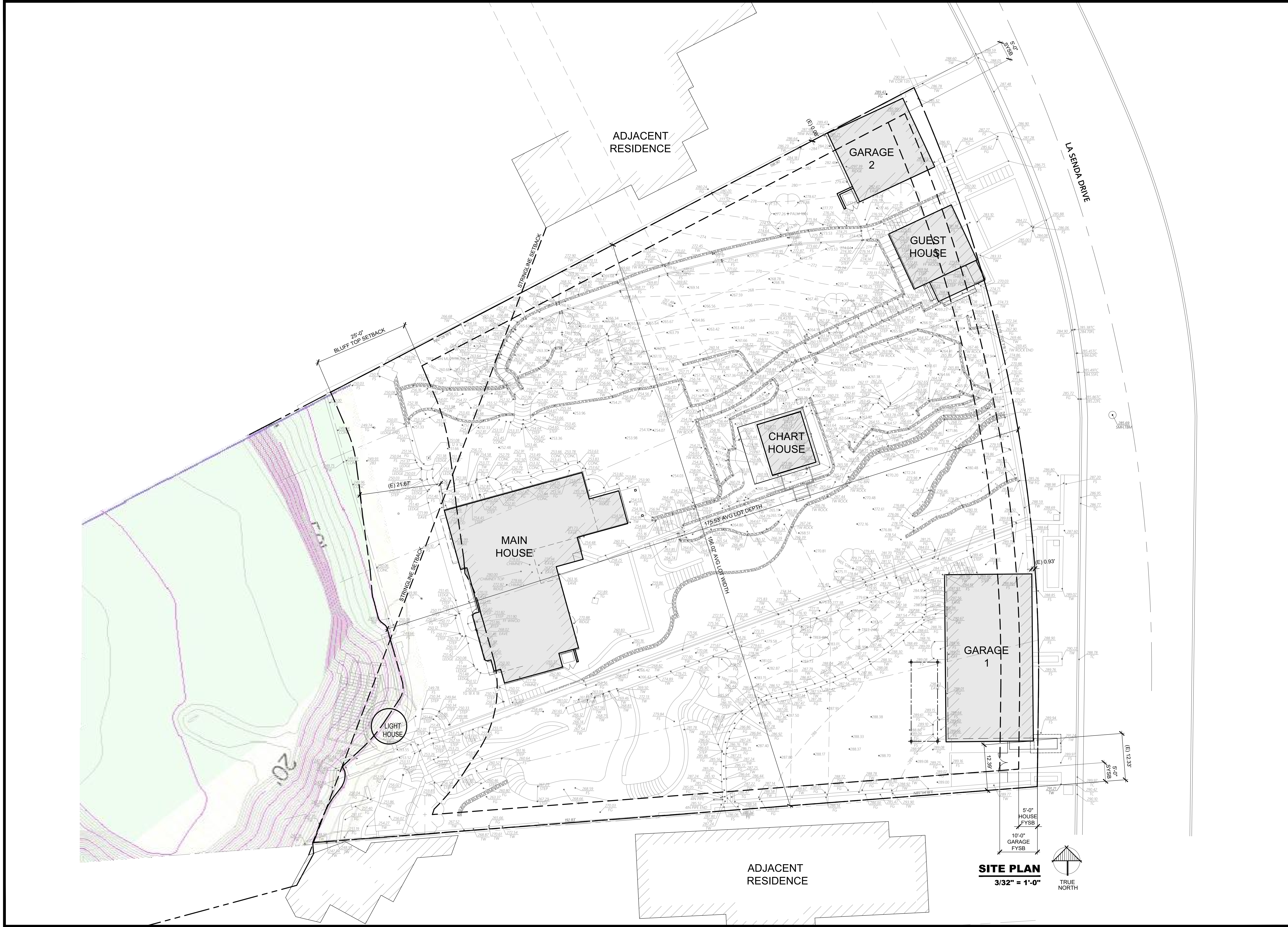
SITE PLAN

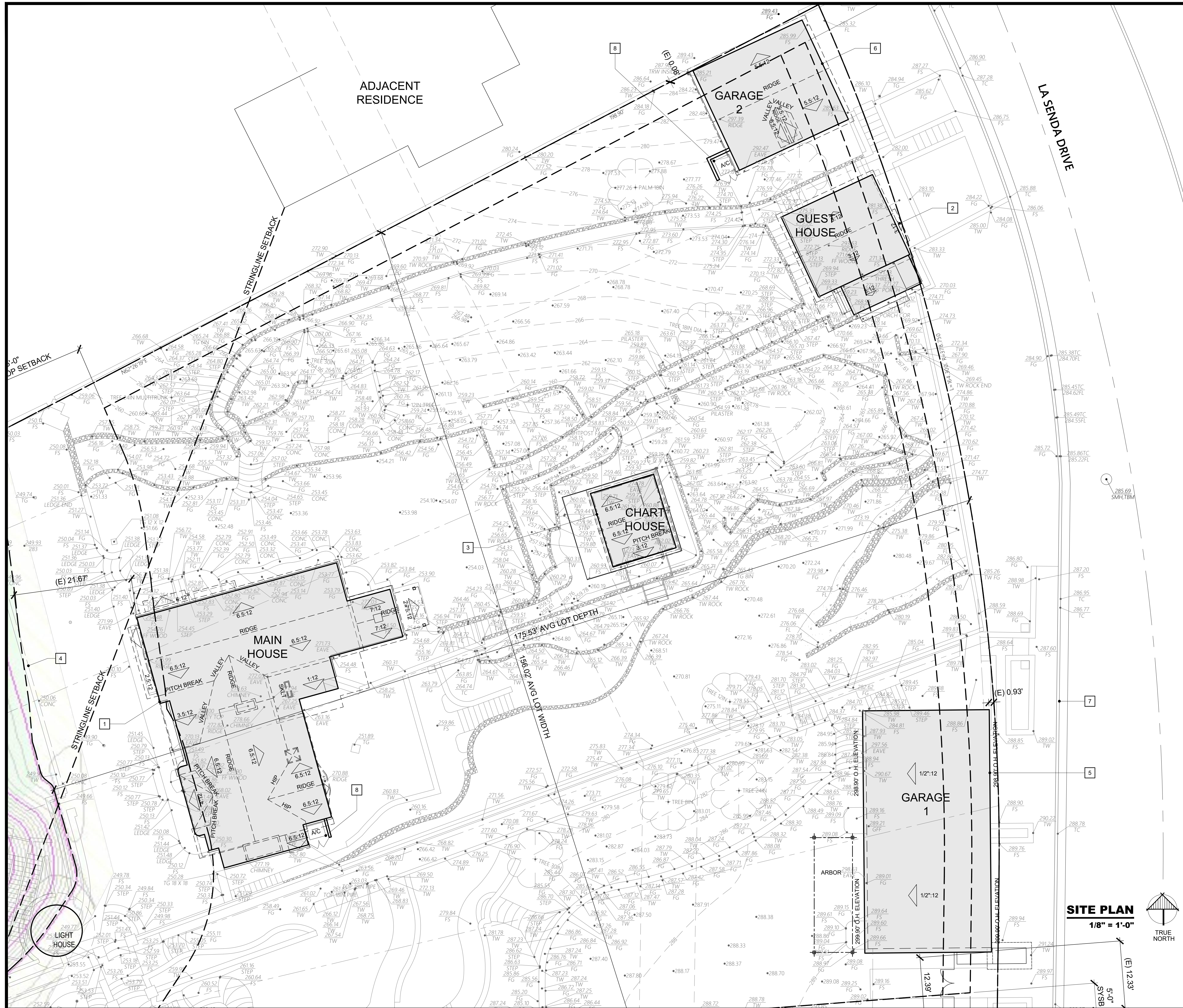


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC

SP-1





- KEY SITE PLAN KEYNOTES:**
- EXISTING MAIN HOUSE BUILDING FOOTPRINT
 - EXISTING GUEST HOUSE BUILDING FOOTPRINT
 - EXISTING CHART HOUSE BUILDING FOOTPRINT
 - REPLACE EXISTING CONTEMPORARY GLASS RAILING WITH A NEW 42" HIGH GUARDRAIL DESIGNED IN KEEPING WITH THE COPPER RAIL AT THE TOP OF THE TOWER.
 - EXISTING GARAGE 1 BUILDING FOOTPRINT
 - EXISTING GARAGE 2 BUILDING FOOTPRINT
 - EXISTING CURB OUTLINE
 - NEW A/C UNIT - ENCLOSED BY 4'-0" HIGH WALLS/GATES ABOVE PLATFORM SURFACE. PROVIDE SOUND ATTENUATION BLANKET AND SHOCK ABSORBING PAD/FEET.

SITE PLAN NOTES:

- SITE PLAN LEGEND:**
- EXISTING/PROPOSED BUILDING PER PLAN
 - ROOF PITCH/DIRECTION

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

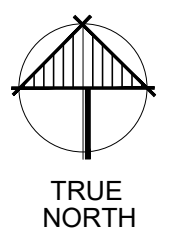
ENLARGED SITE PLAN



DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



SITE PLAN
 1/8" = 1'-0"



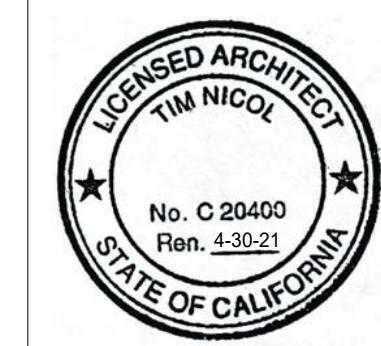
(E) 12.33'
 5'-0" SYSSB

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

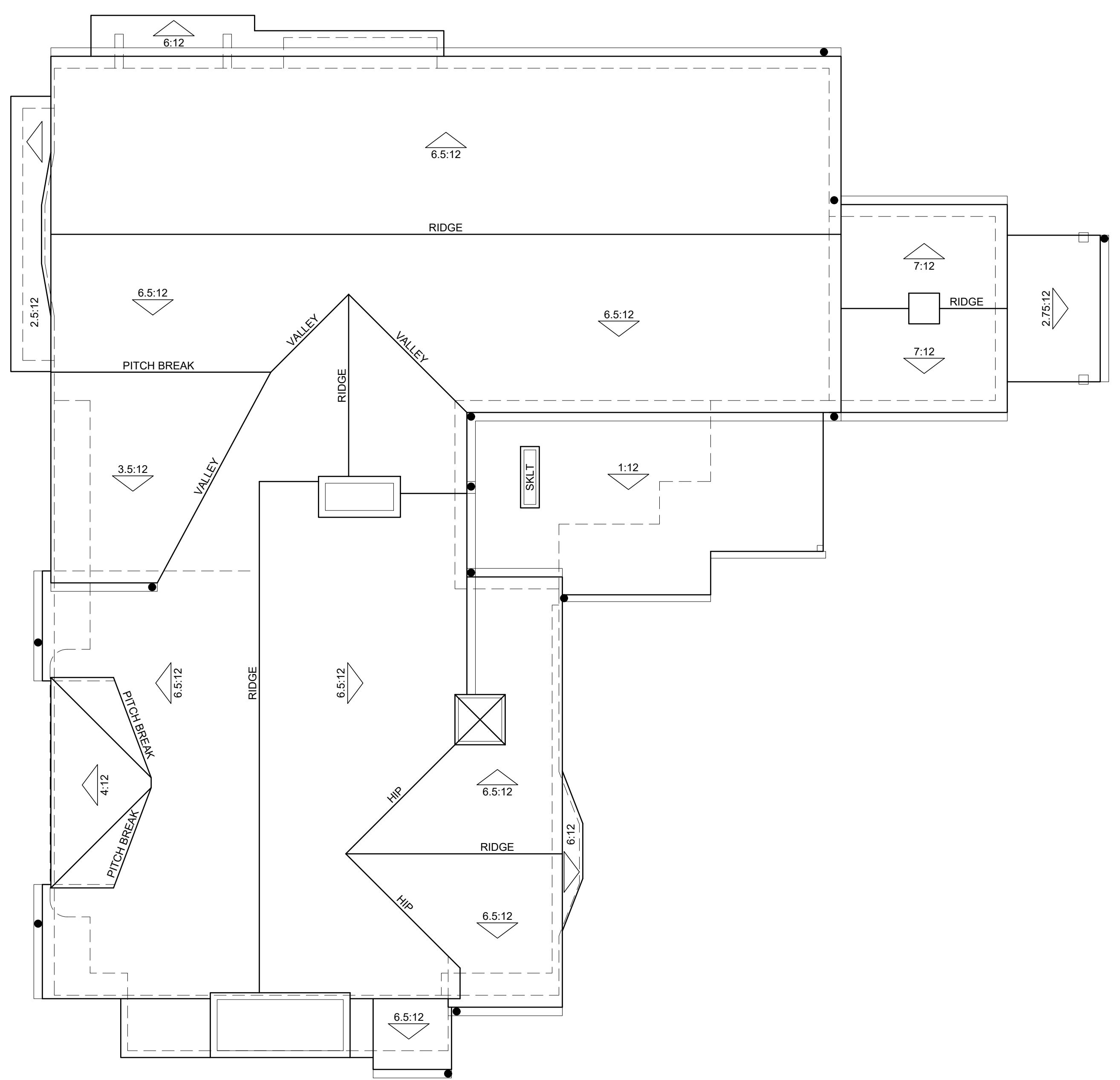
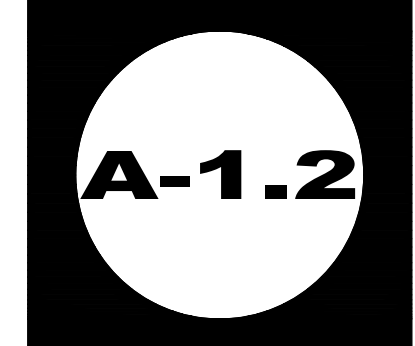
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

**RECORD 2ND FLOOR PLAN
 AND ROOF PLAN**

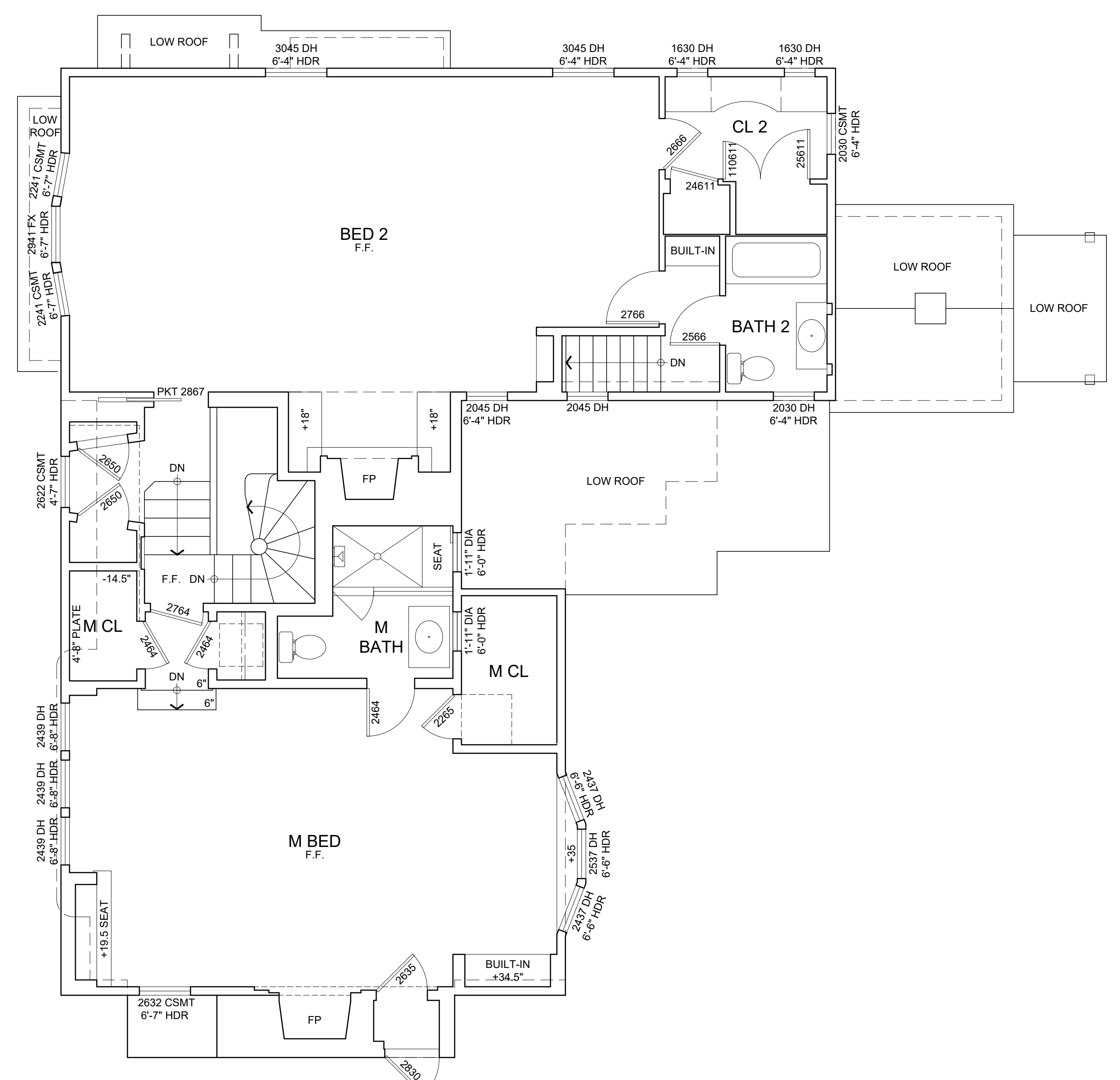


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



ROOF PLAN
 1/4" = 1'-0"



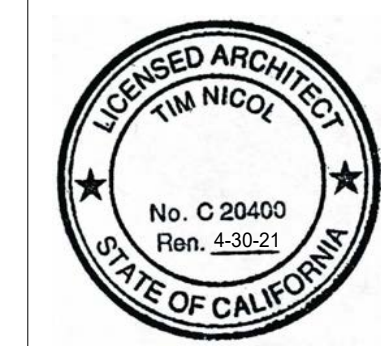
SECOND FLOOR PLAN
 1/4" = 1'-0"

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

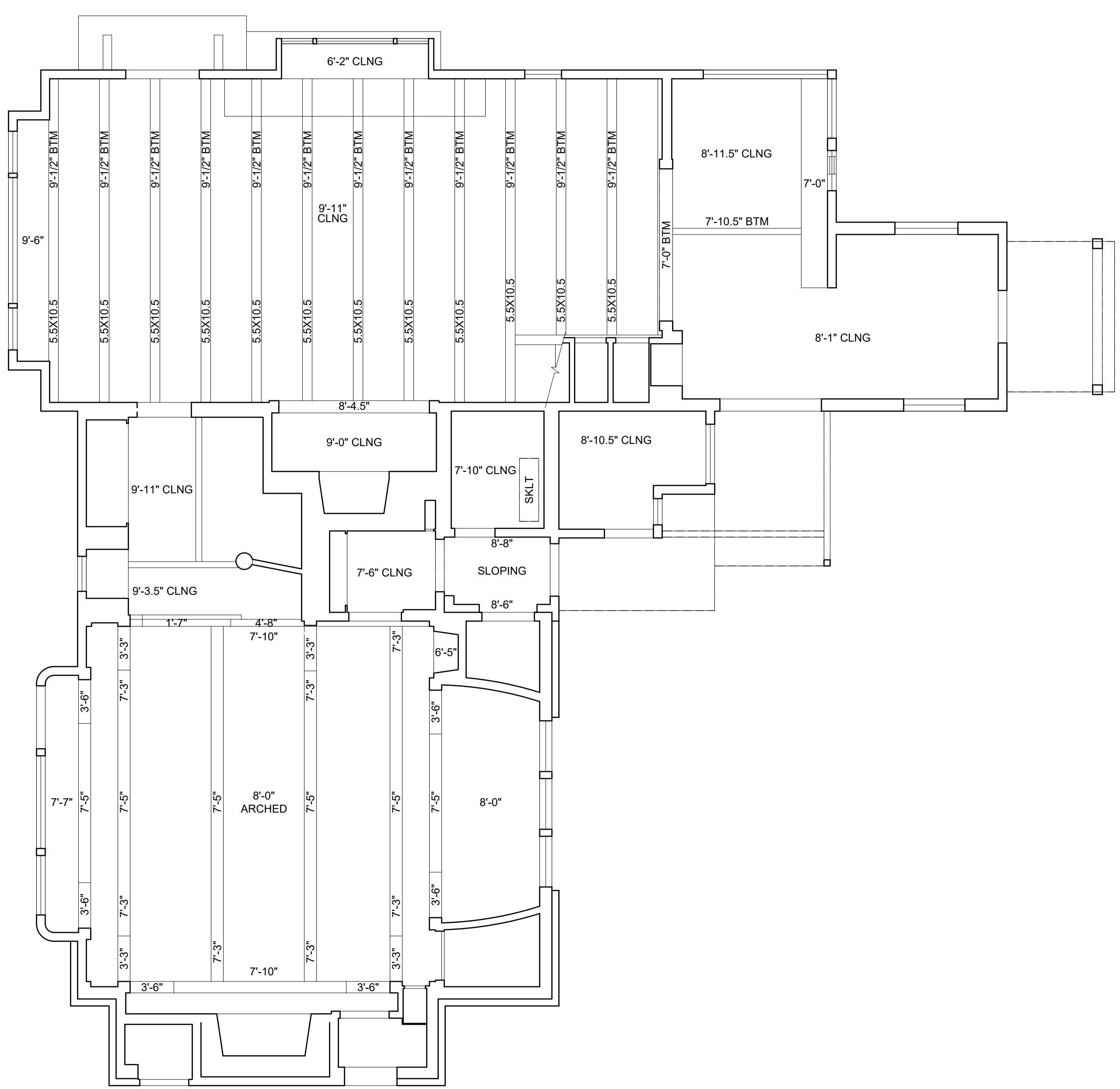
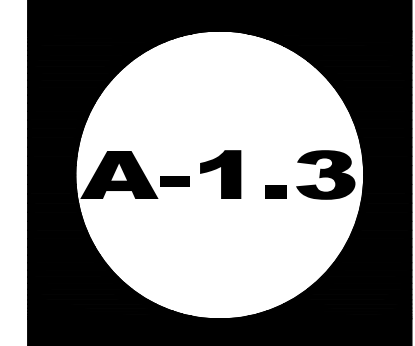
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

RECORD BASEMENT AND
1ST FLOOR REFLECTED
CEILING PLAN

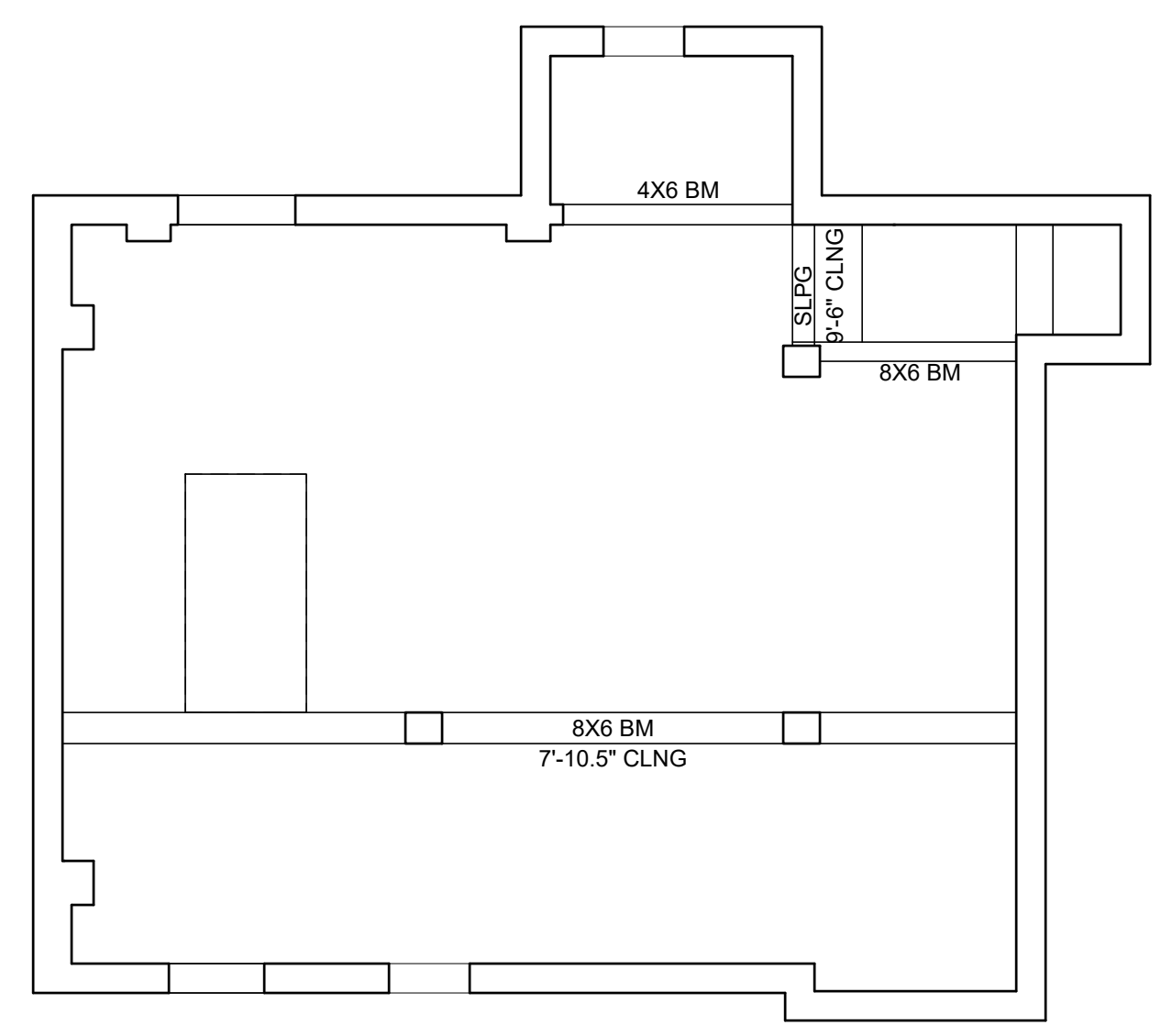


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



1ST FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"



BASEMENT FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

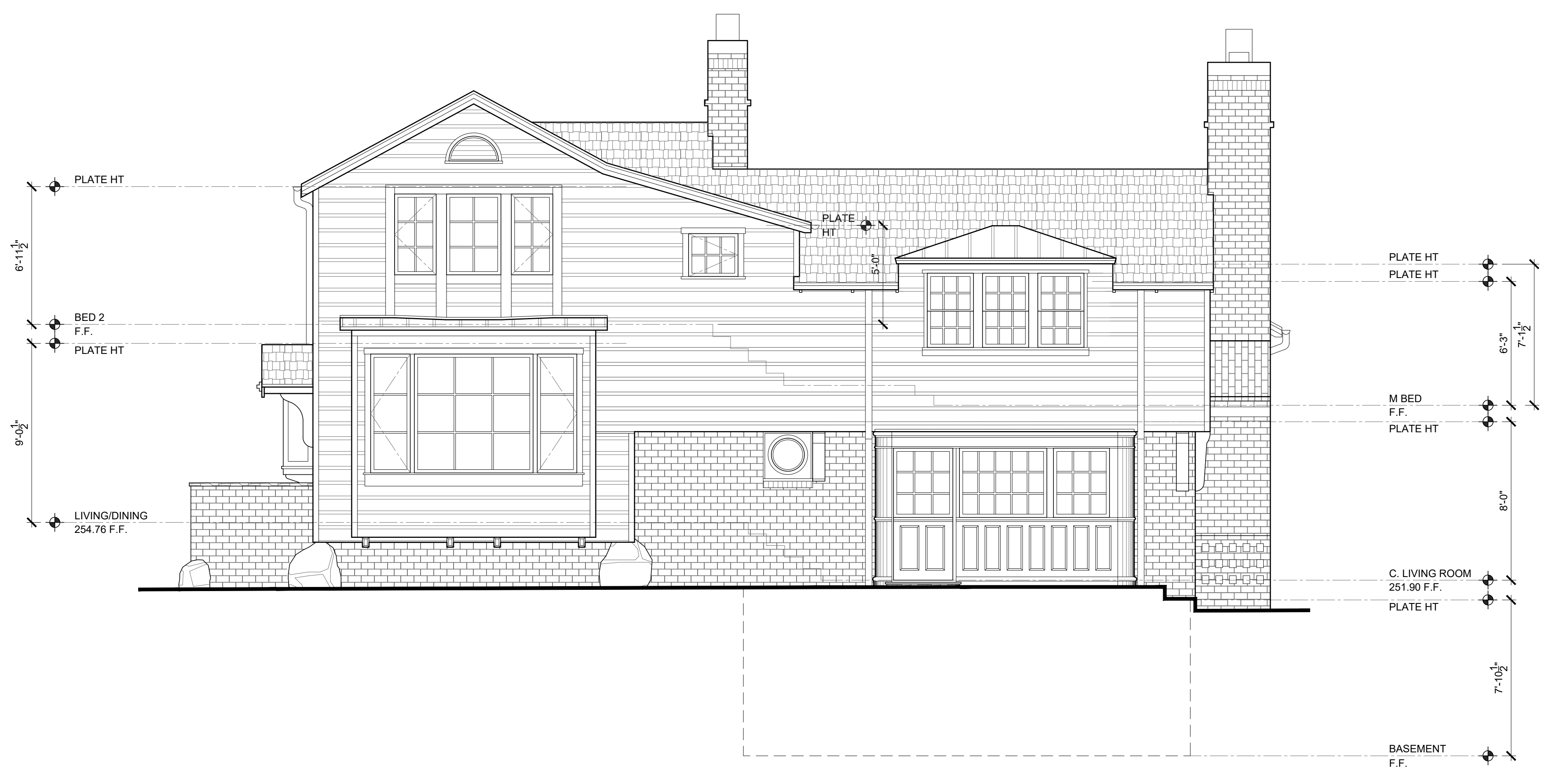
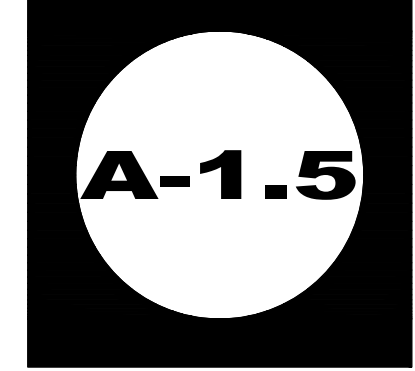
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

RECORD EXTERIOR
ELEVATIONS

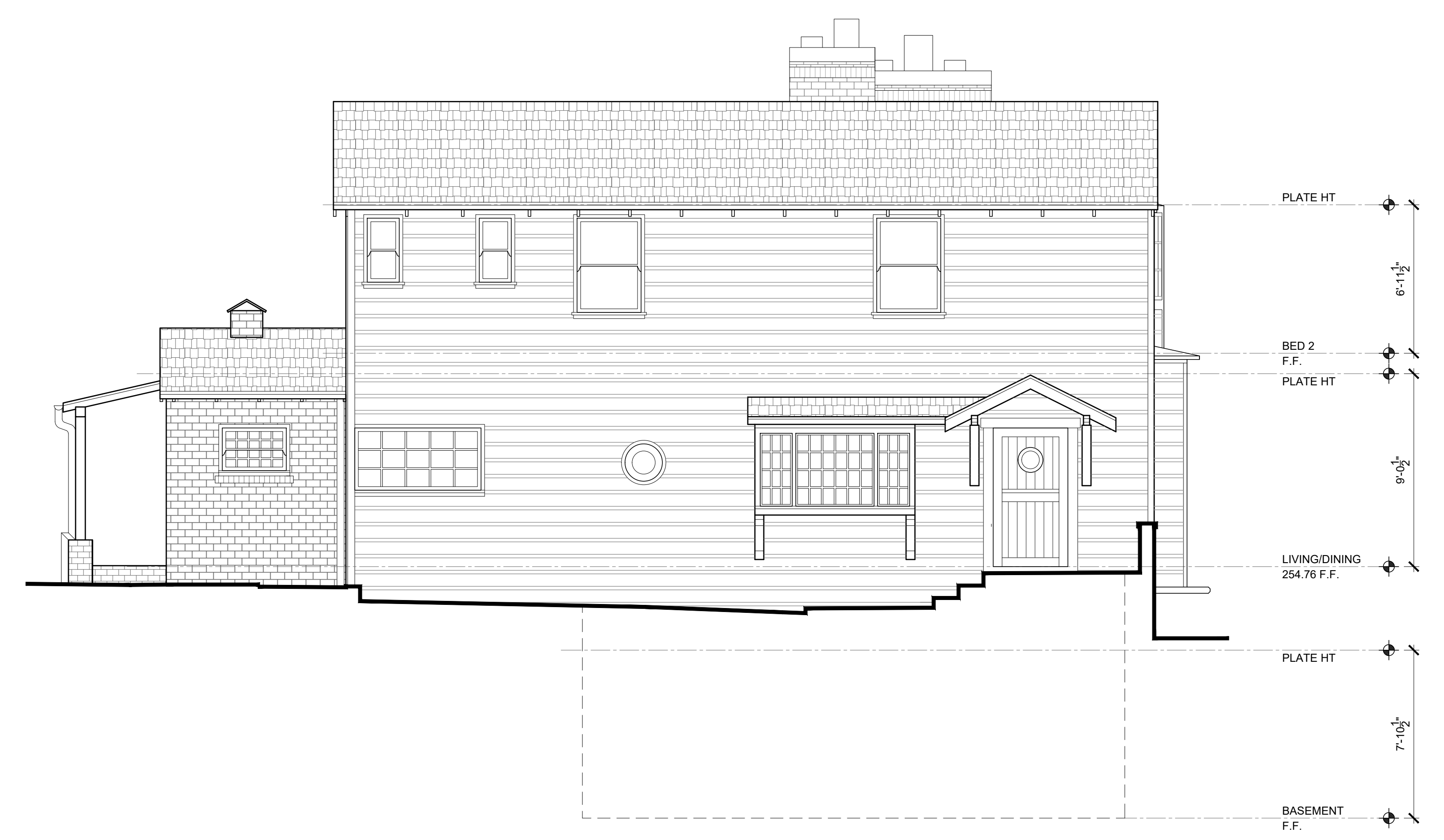


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



WEST ELEVATION
 1/4" = 1'-0"



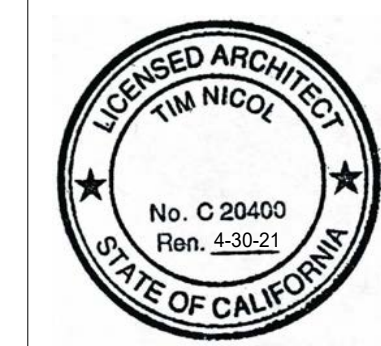
NORTH ELEVATION
 1/4" = 1'-0"

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

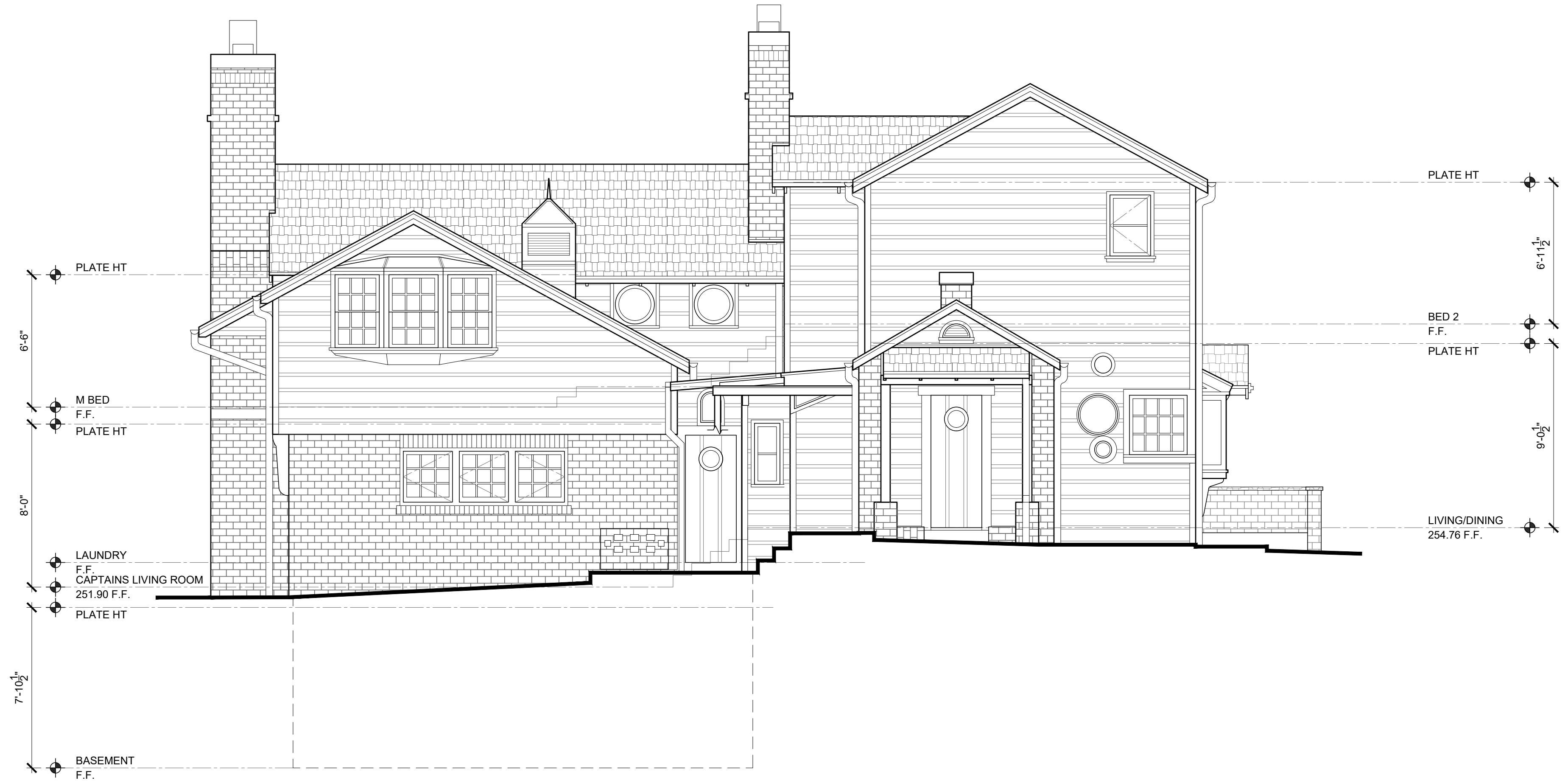
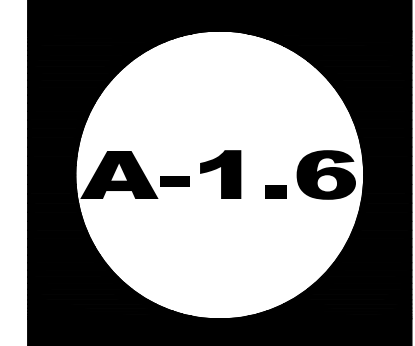
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

RECORD EXTERIOR
ELEVATIONS

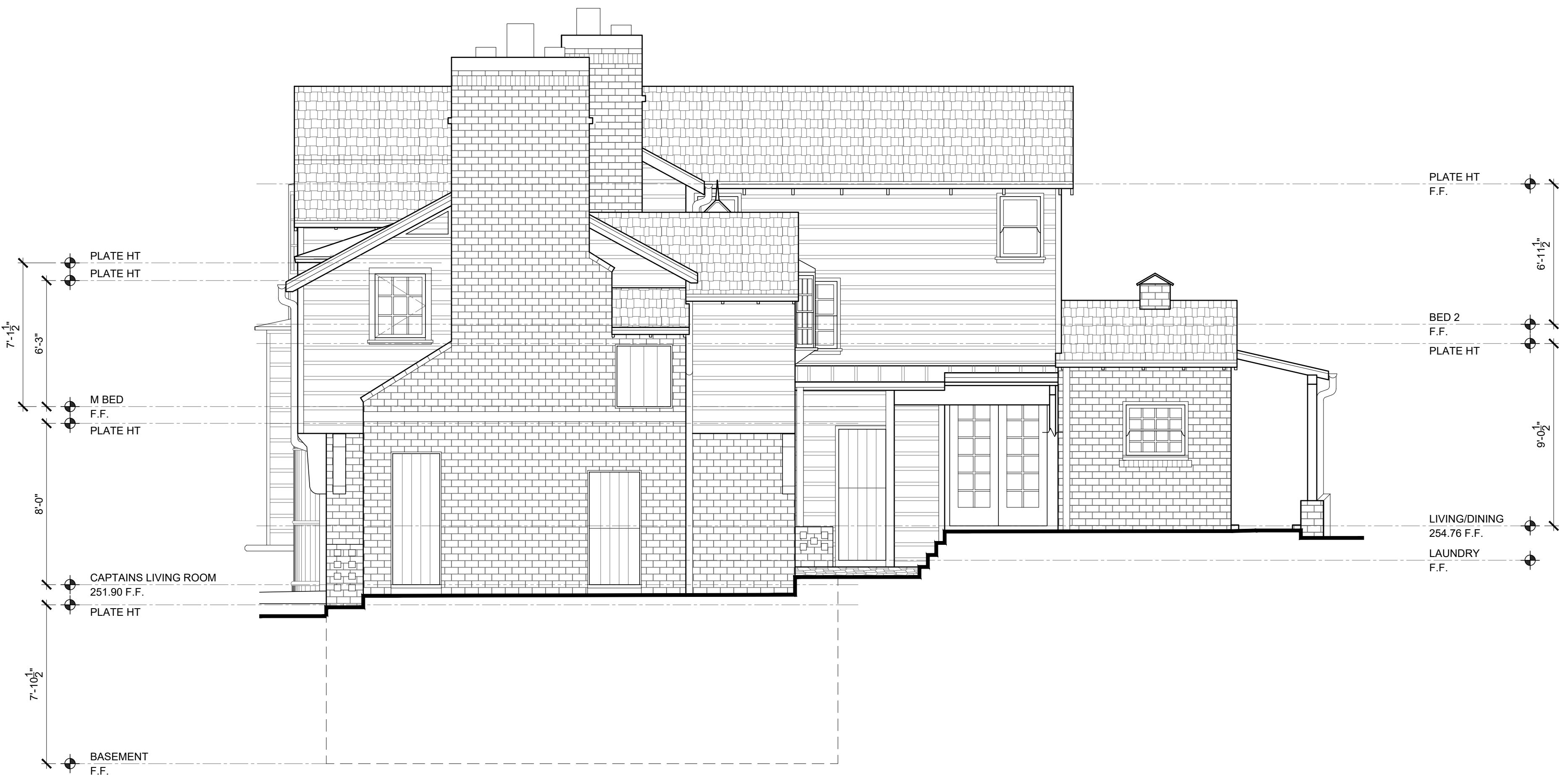


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



EAST ELEVATION
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

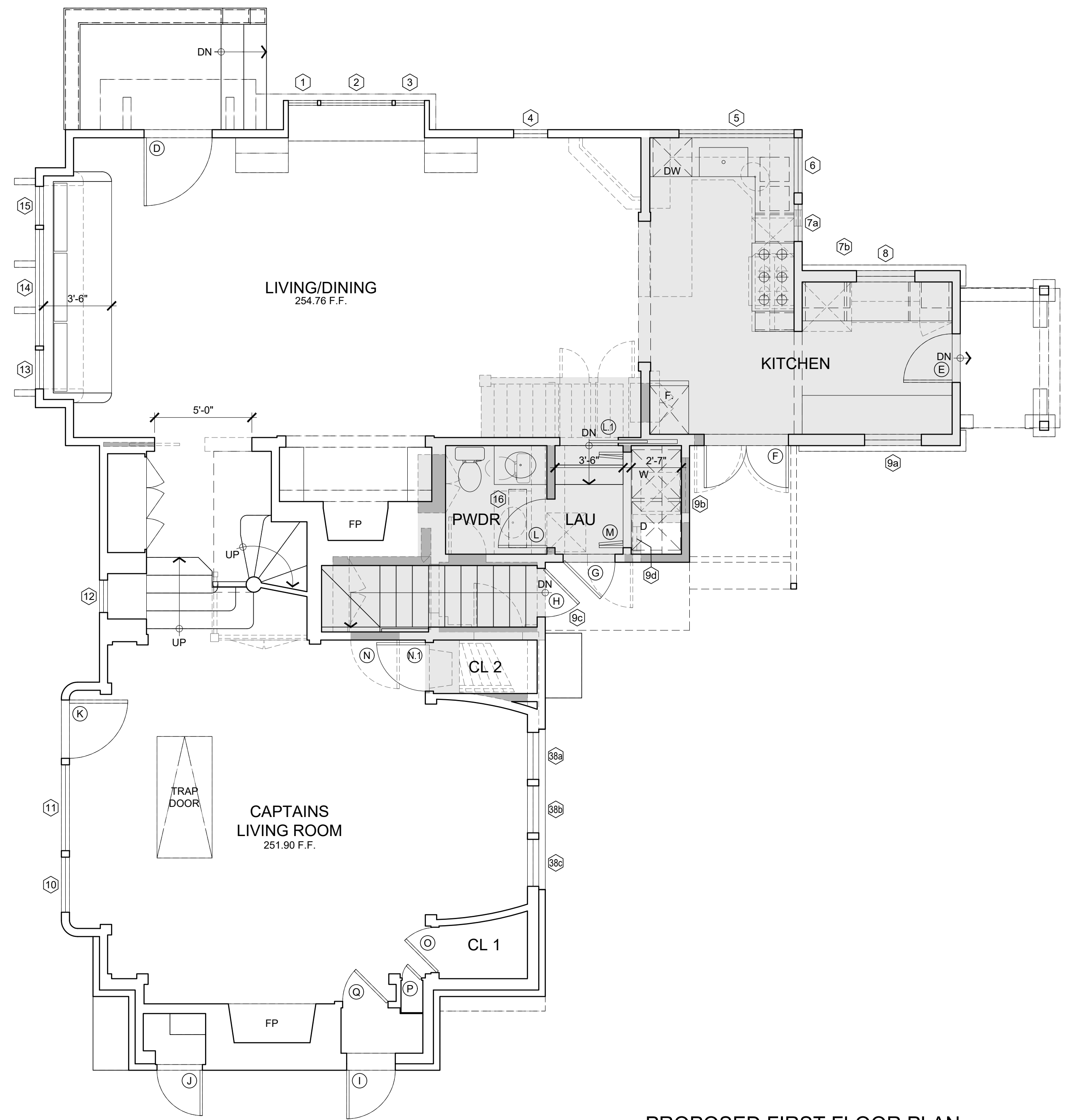
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

PROPOSED BASEMENT
AND 1ST FLOOR PLAN

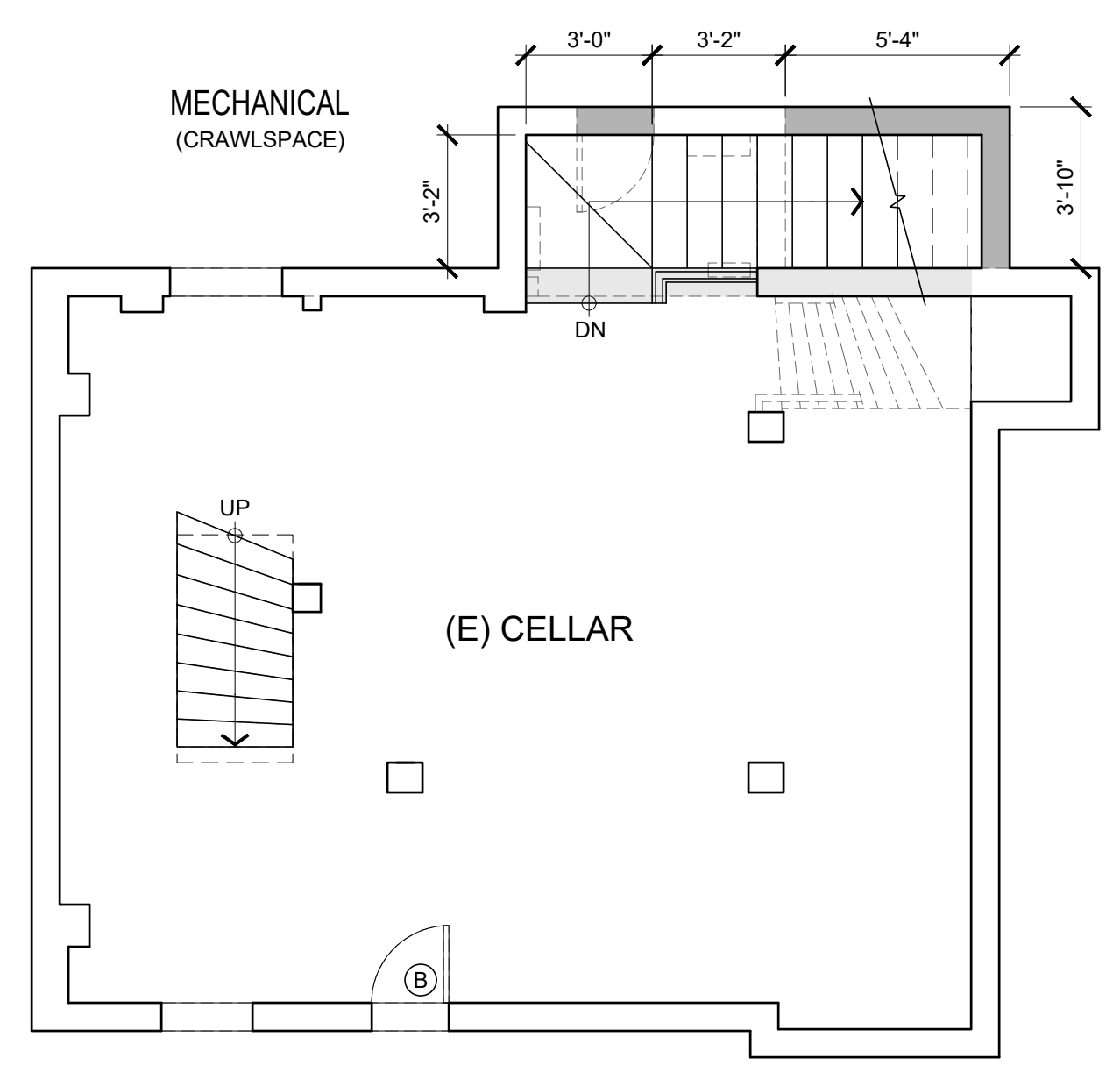


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"



PROPOSED BASEMENT FLOOR PLAN
 1/4" = 1'-0"

ROOF PLAN KEYNOTES:



FLOOR PLAN KEYNOTES:



SYMBOL LEGEND:

- DOOR SYMBOL - SEE DOOR SCHEDULE, SHEET A-11.1
- WINDOW SYMBOL - SEE WINDOW SCHEDULE, SHEET A-11.1

WALL LEGEND:

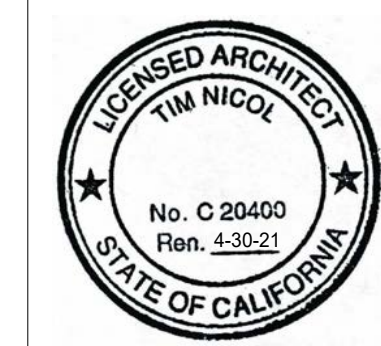
- NEW FRAMED WALL CONSTRUCTION
- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- INTERIOR REMODEL AREA

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

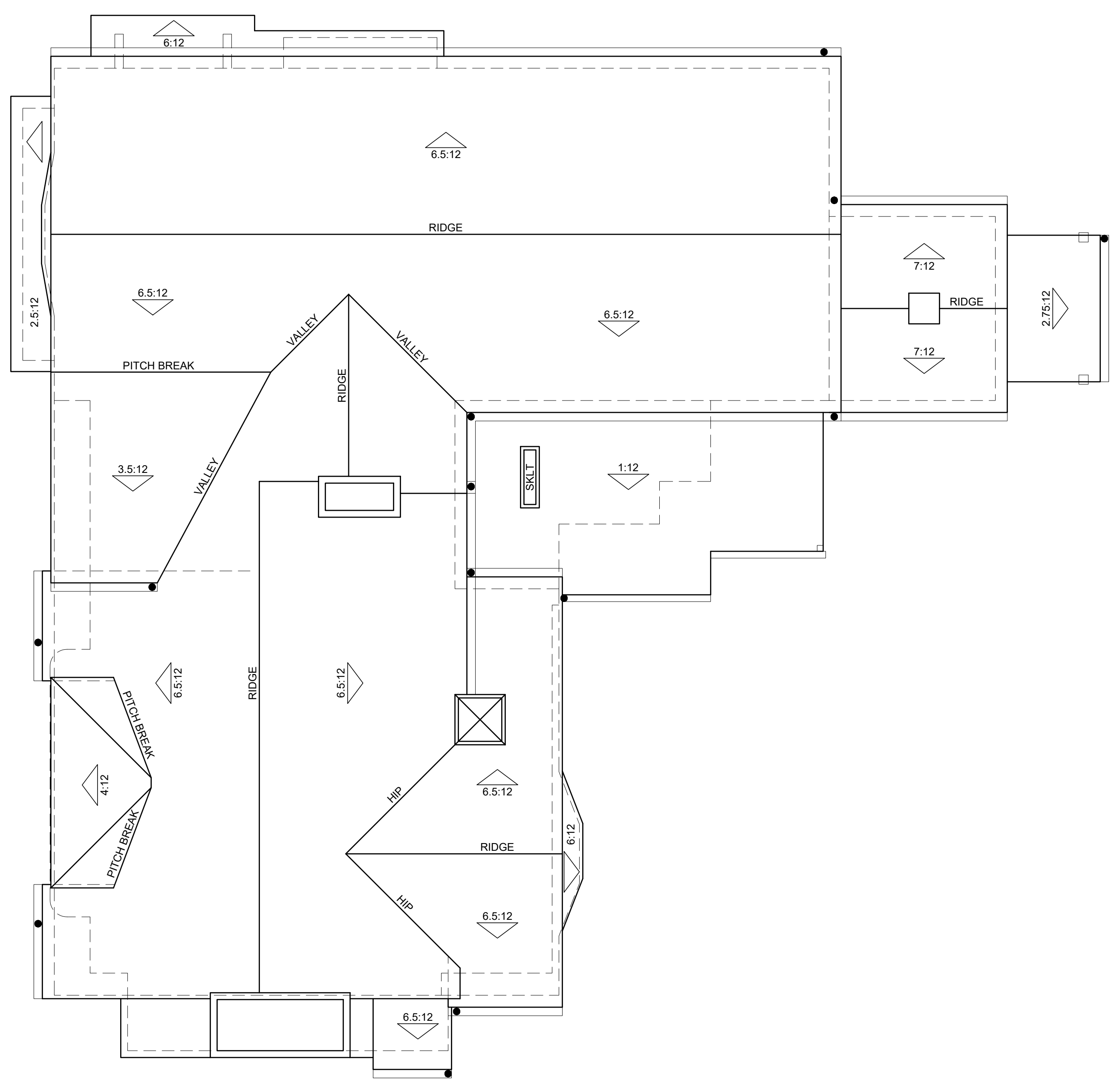
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

PROPOSED 2ND FLOOR
PLAN AND ROOF PLAN

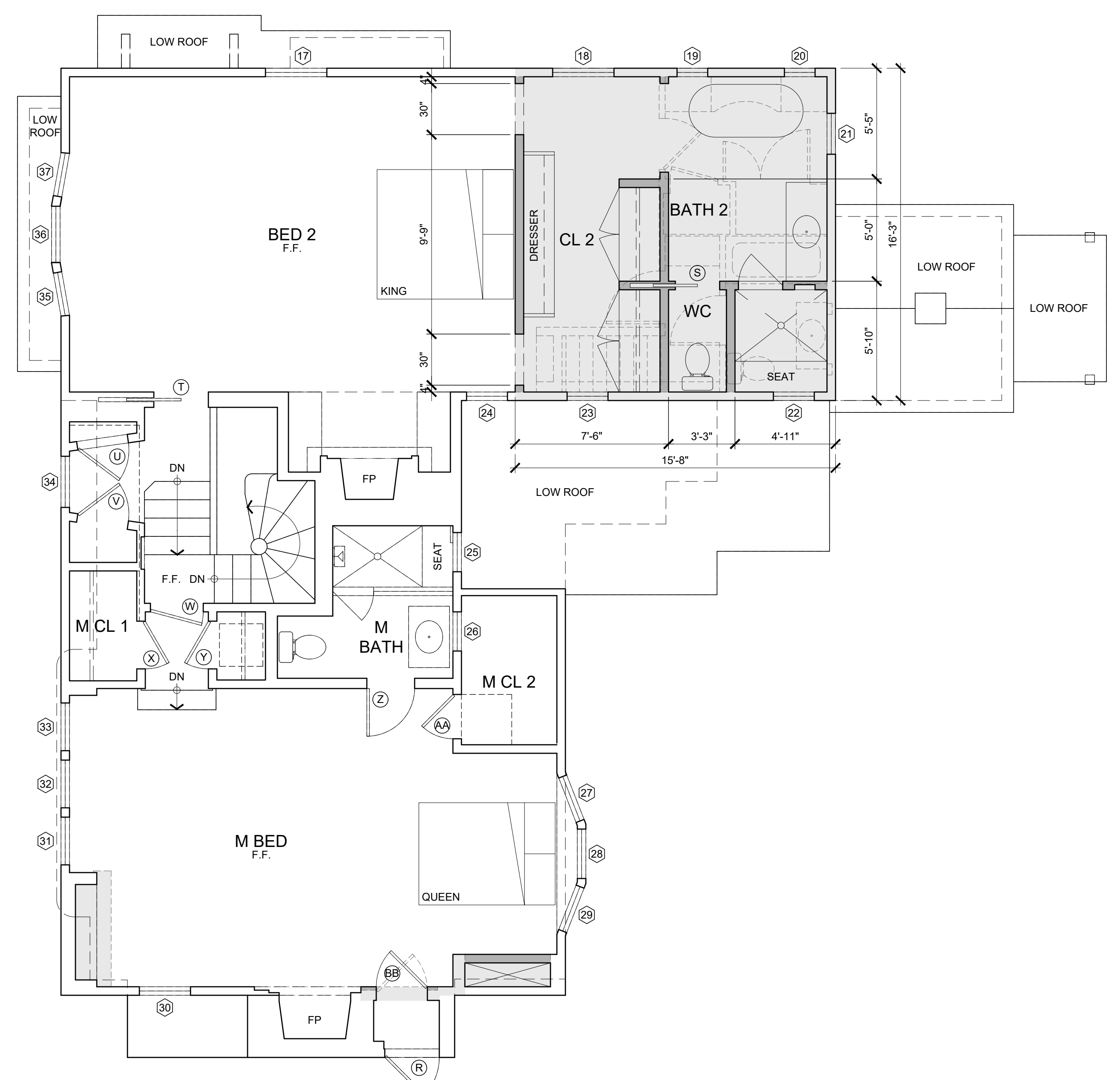


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



PROPOSED ROOF PLAN
 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

ROOF PLAN KEYNOTES:

FLOOR PLAN KEYNOTES:

SYMBOL LEGEND:

- DOOR SYMBOL - SEE DOOR SCHEDULE, SHEET A-11.1
- WINDOW SYMBOL - SEE WINDOW SCHEDULE, SHEET A-11.1

WALL LEGEND:

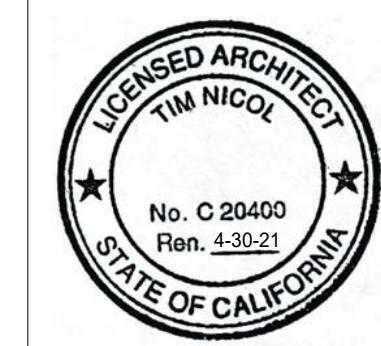
- NEW FRAMED WALL CONSTRUCTION
- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- INTERIOR REMODEL AREA

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

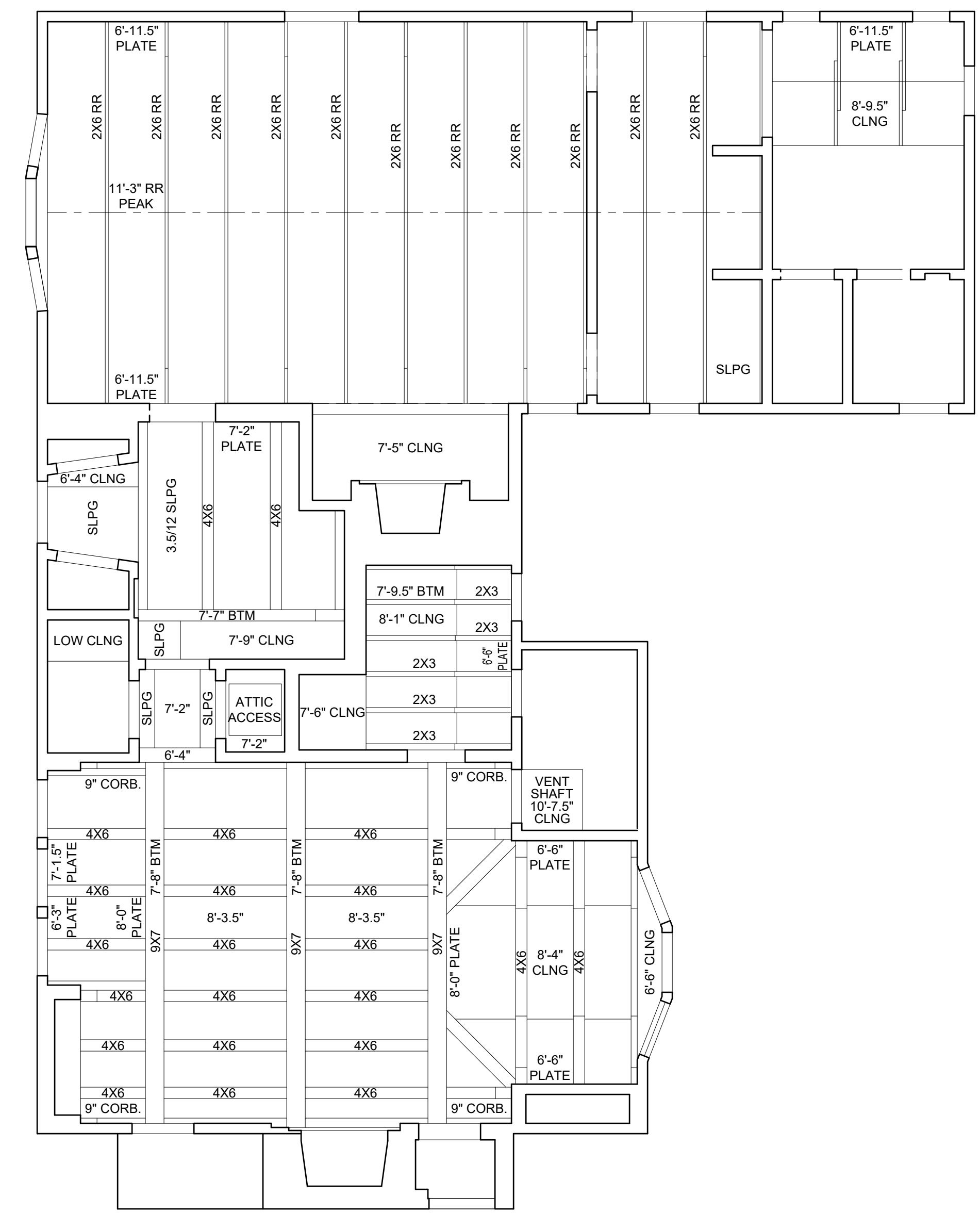
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

PROPOSED 2ND FLOOR
REFLECTED CEILING
PLAN

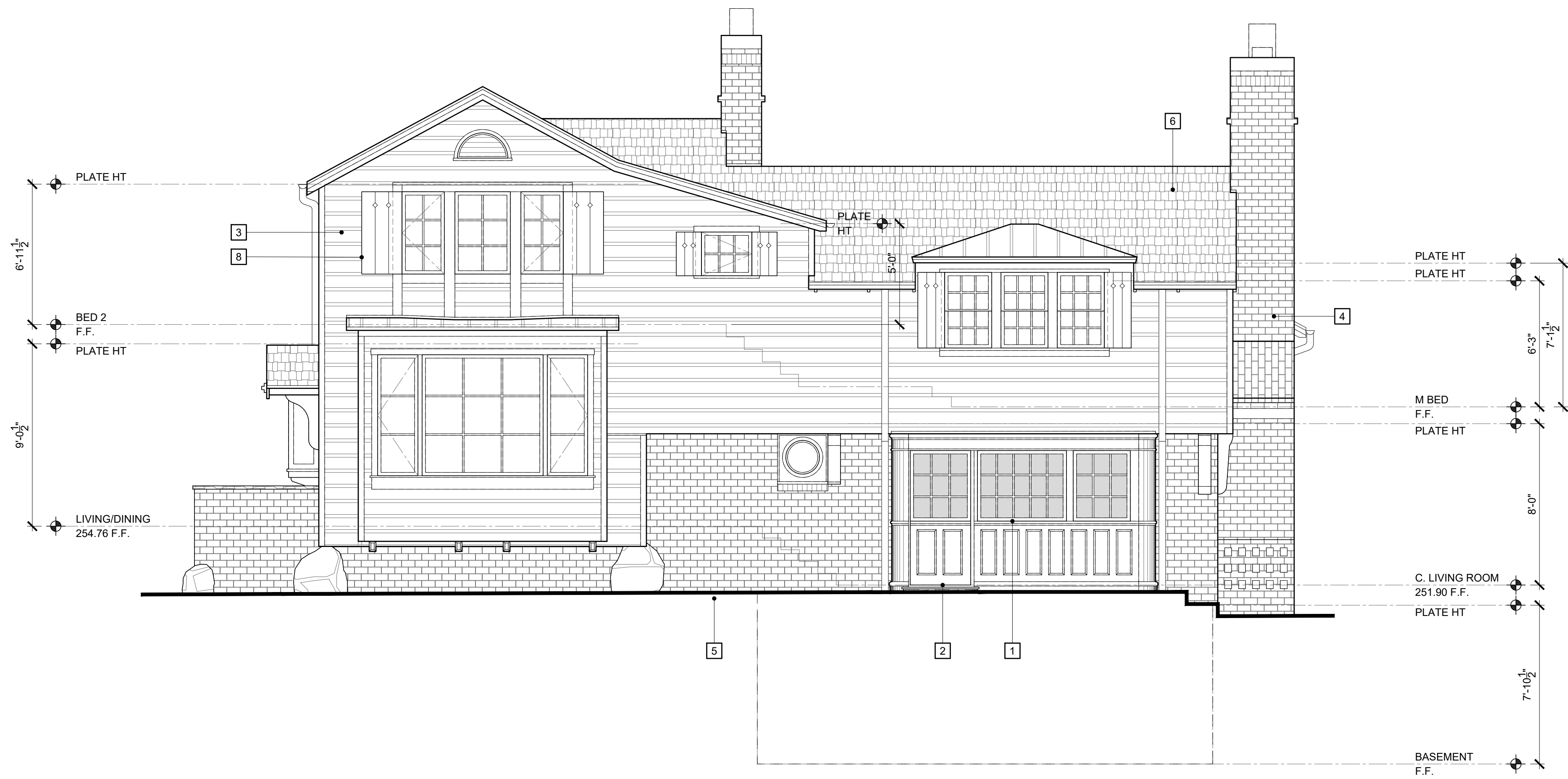


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALIENED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

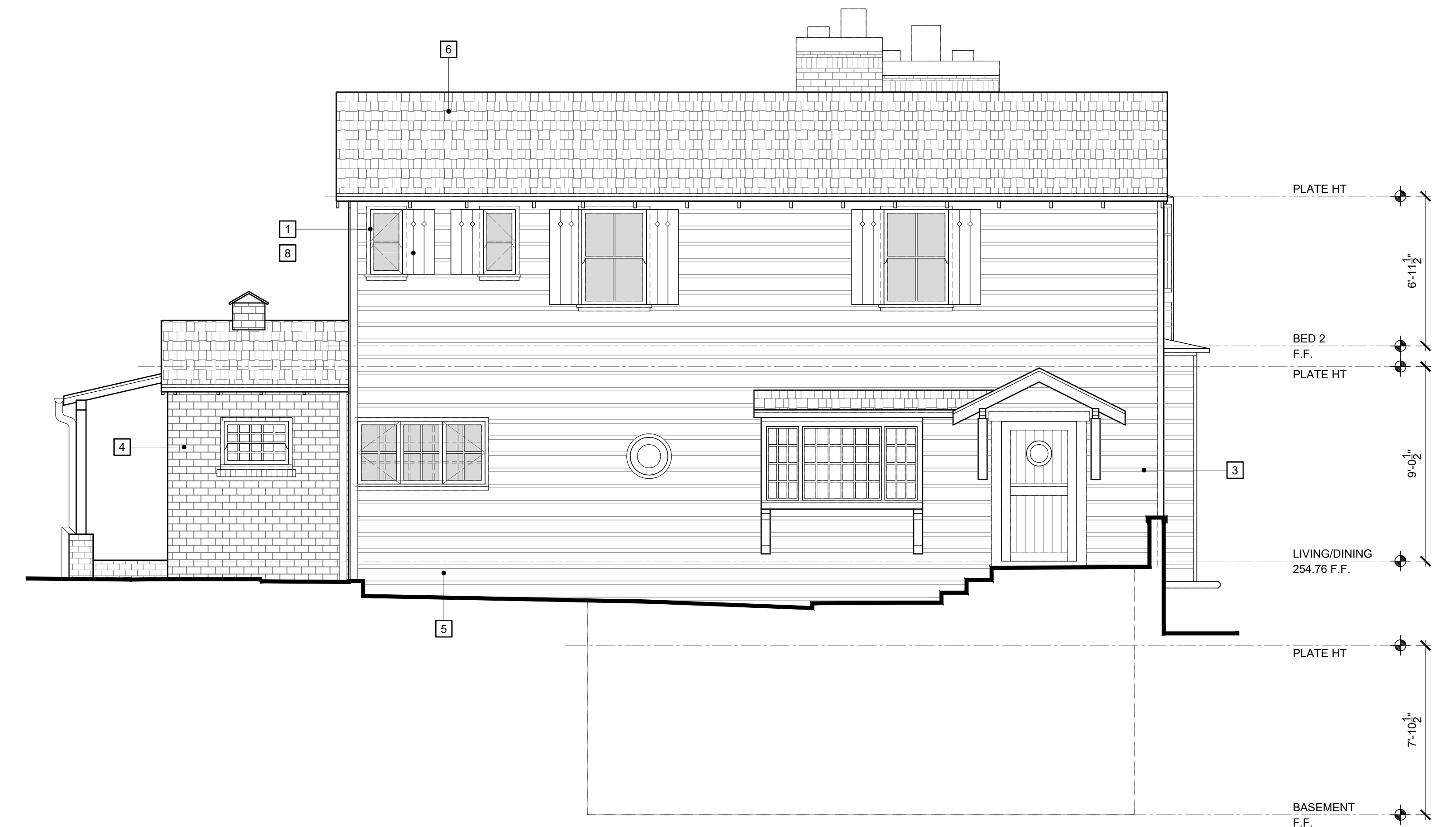
DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



PROPOSED 2ND FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"



PROPOSED WEST ELEVATION
1/4" = 1'-0"



PROPOSED NORTH ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES:

1. WINDOW (HATCHED), SEE PLAN
2. DOOR(S), SEE PLAN
3. NEW SMOOTH HORIZONTAL SIDING (MILLED WOOD TO MATCH ORIGINAL STYLE) TO REPLACE EXISTING
4. EXISTING BRICK VENEER TO REMAIN. DAMAGED BRICKS TO BE REPAIRED OR REPLACED. ALL BRICKS TO BE TREATED WITH A BREATHABLE SEALANT PRODUCT BY PROSOCO (WWW.PROSOCO.COM) OR EQUAL.
5. LINE OF EXISTING GRADE AND/OR HARDSCAPE
6. NEW WOOD SHINGLE ROOFING PER PLAN
7. NEW A/C AND ENCLOSURE PER PLAN
8. REINSTALL SHUTTERS, TYP.

NOTES:

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
604 VISTA LANE
LAGUNA BEACH
CA 92651
PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

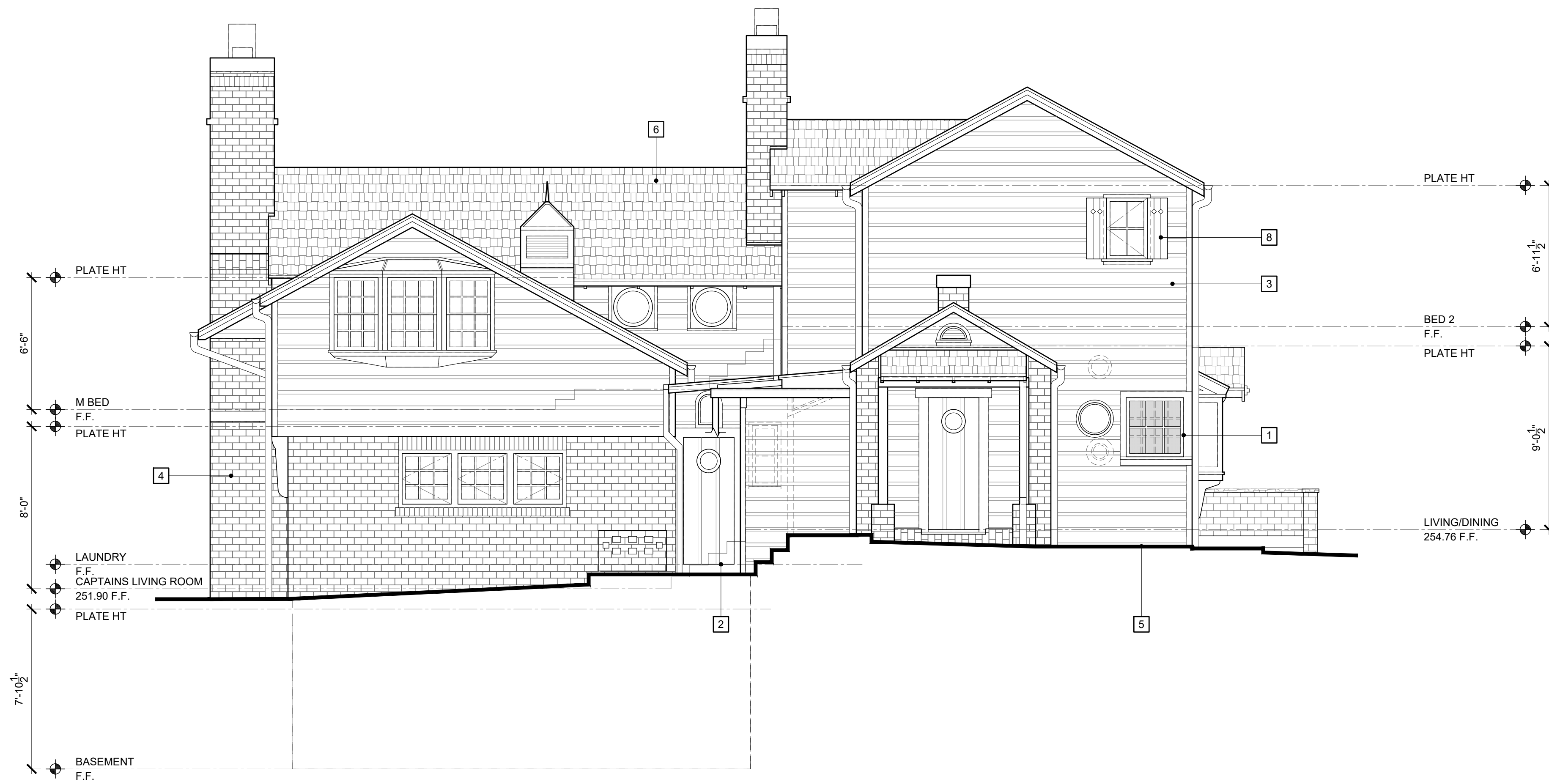
PROPOSED EXTERIOR
ELEVATIONS



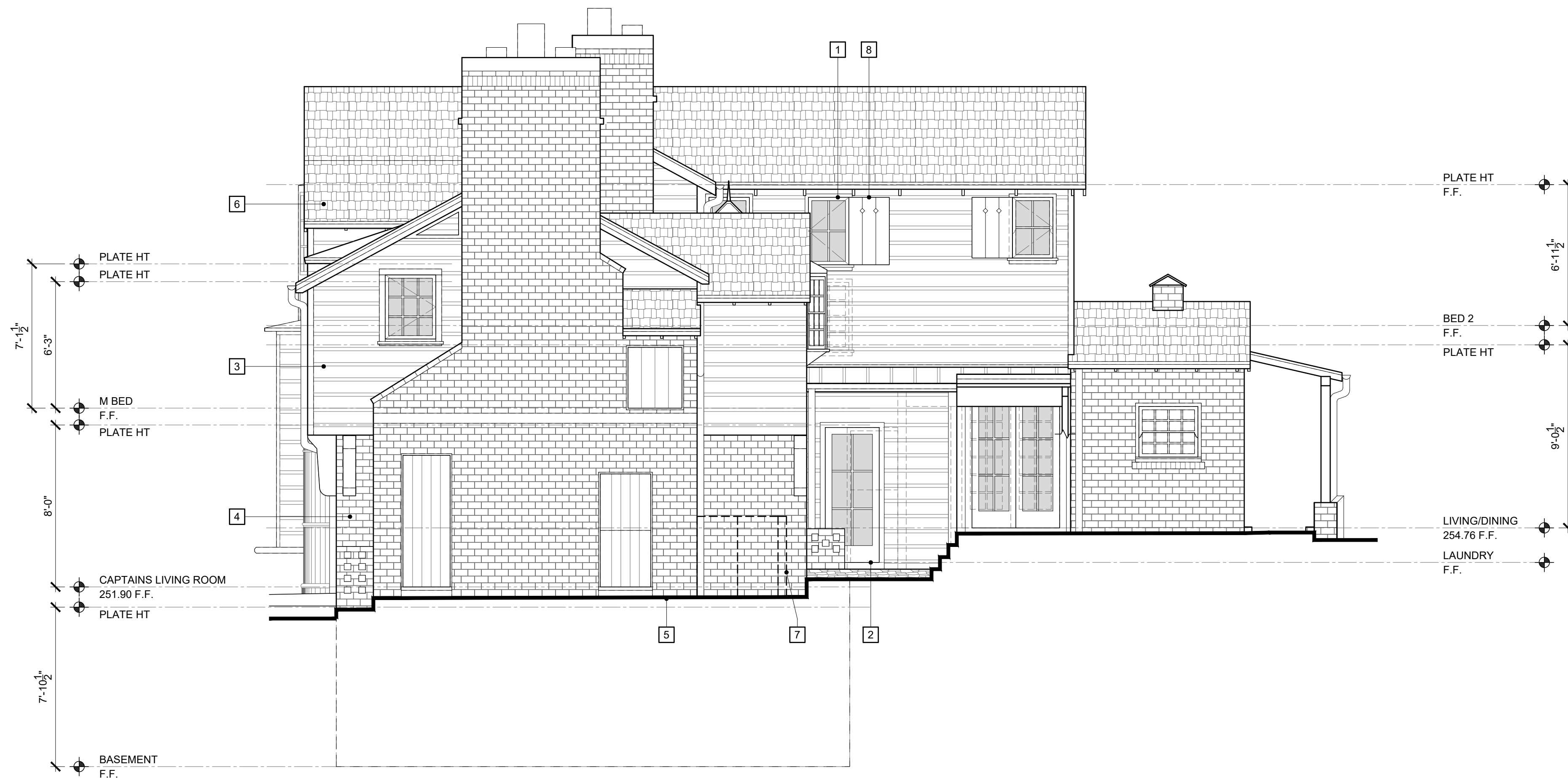
COPYRIGHT 2010 / 2011 / 2012 / 2013
THIS DOCUMENT IS THE PROPERTY OF
NICOL ARCHITECTURE, INC. IT SHALL NOT BE
REPRODUCED, ALTERED OR TRANSFERRED
WITHOUT WRITTEN PERMISSION FROM
NICOL ARCHITECTURE, INC.

DATE: 6-5-20
SCALE: NOTED
PROJECT: BRAFF
DRAWN BY: BC





PROPOSED EAST ELEVATION
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES:

1. WINDOW (HATCHED), SEE PLAN
2. DOOR(S), SEE PLAN
3. NEW SMOOTH HORIZONTAL SIDING (MILLED WOOD TO MATCH ORIGINAL STYLE) TO REPLACE EXISTING
4. EXISTING BRICK VENEER TO REMAIN. DAMAGED BRICKS TO BE REPAIRED OR REPLACED. ALL BRICKS TO BE TREATED WITH A BREATHABLE SEALANT PRODUCT BY PROSOCO (WWW.PROSOCO.COM) OR EQUAL.
5. LINE OF EXISTING GRADE AND/OR HARDSCAPE
6. NEW WOOD SHINGLE ROOFING PER PLAN
7. NEW A/C AND ENCLOSURE PER PLAN
8. REINSTALL SHUTTERS, TYP.

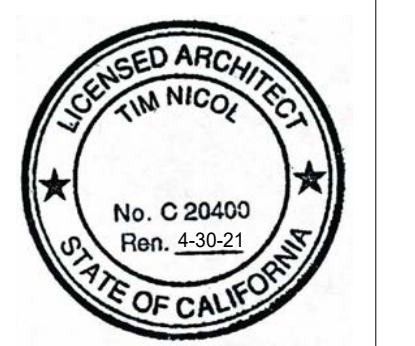
NOTES:

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
604 VISTA LANE
LAGUNA BEACH
CA 92651
PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

PROPOSED EXTERIOR
ELEVATIONS



COPYRIGHT 2010 / 2011 / 2012 / 2013
THIS DOCUMENT IS THE PROPERTY OF
NICOL ARCHITECTURE, INC. IT SHALL NOT BE
REPRODUCED, ALTERED OR TRANSFERRED
WITHOUT WRITTEN PERMISSION FROM
NICOL ARCHITECTURE, INC.

DATE: 6-5-20
SCALE: NOTED
PROJECT: BRAFF
DRAWN BY: BC



DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

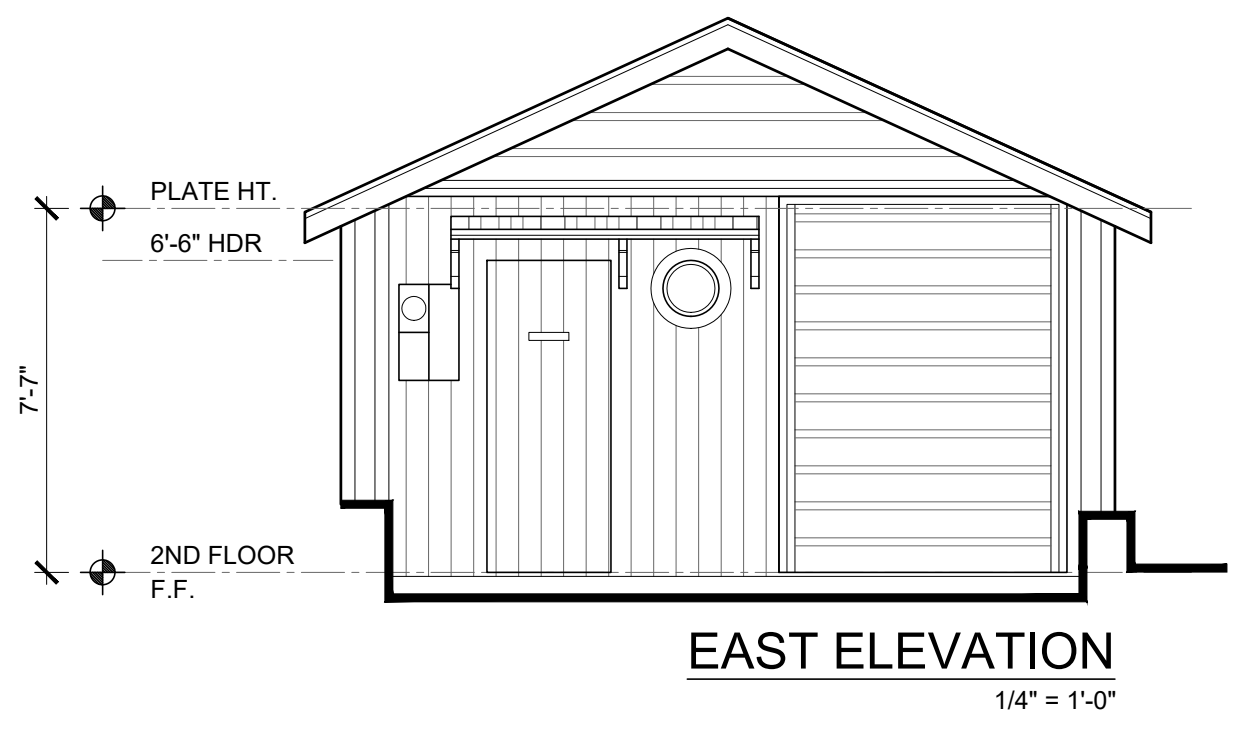
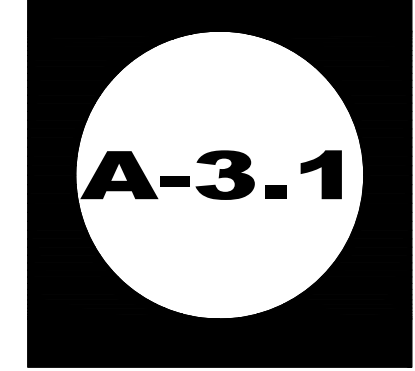
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

RECORD GUEST HOUSE

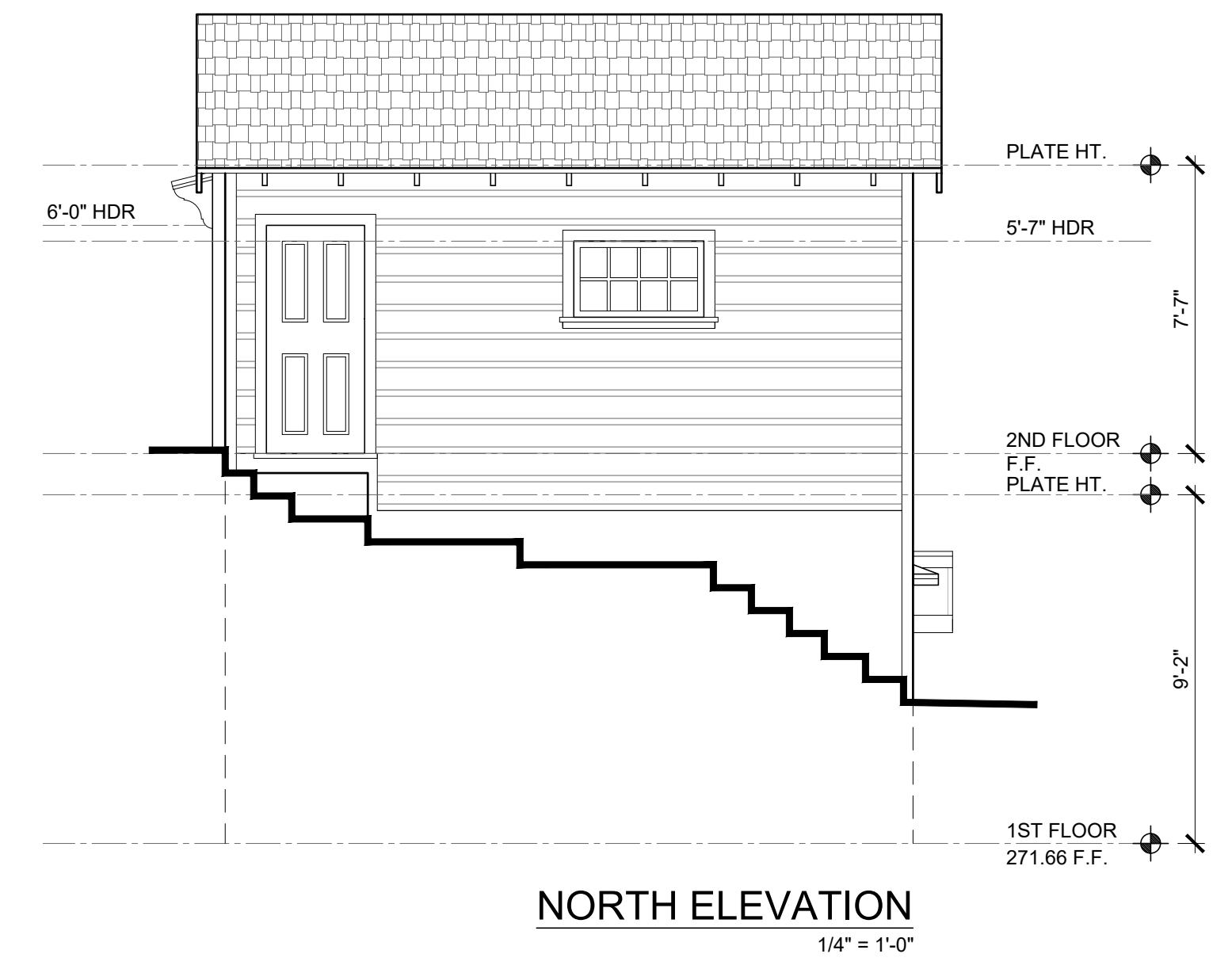


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

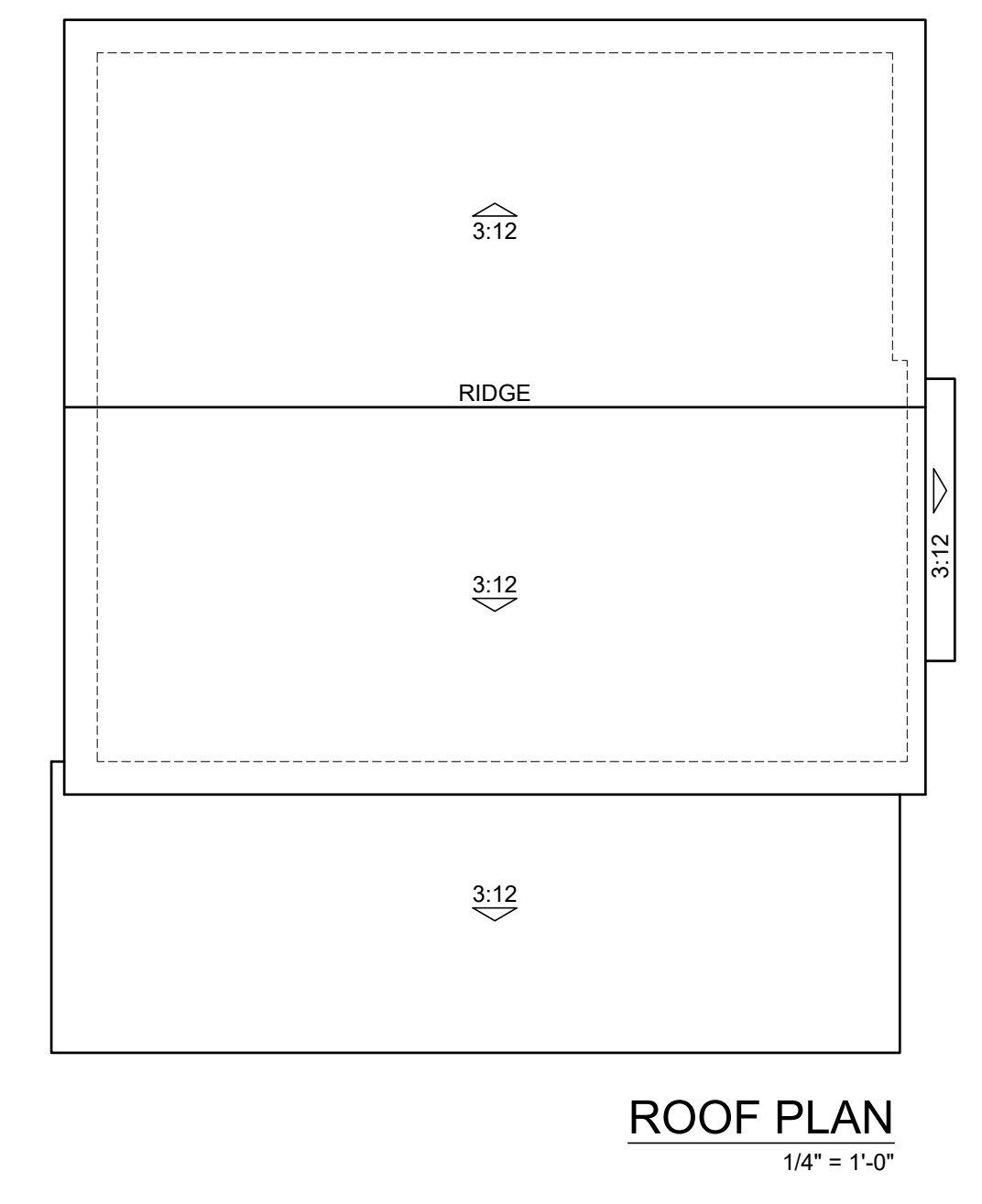
DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



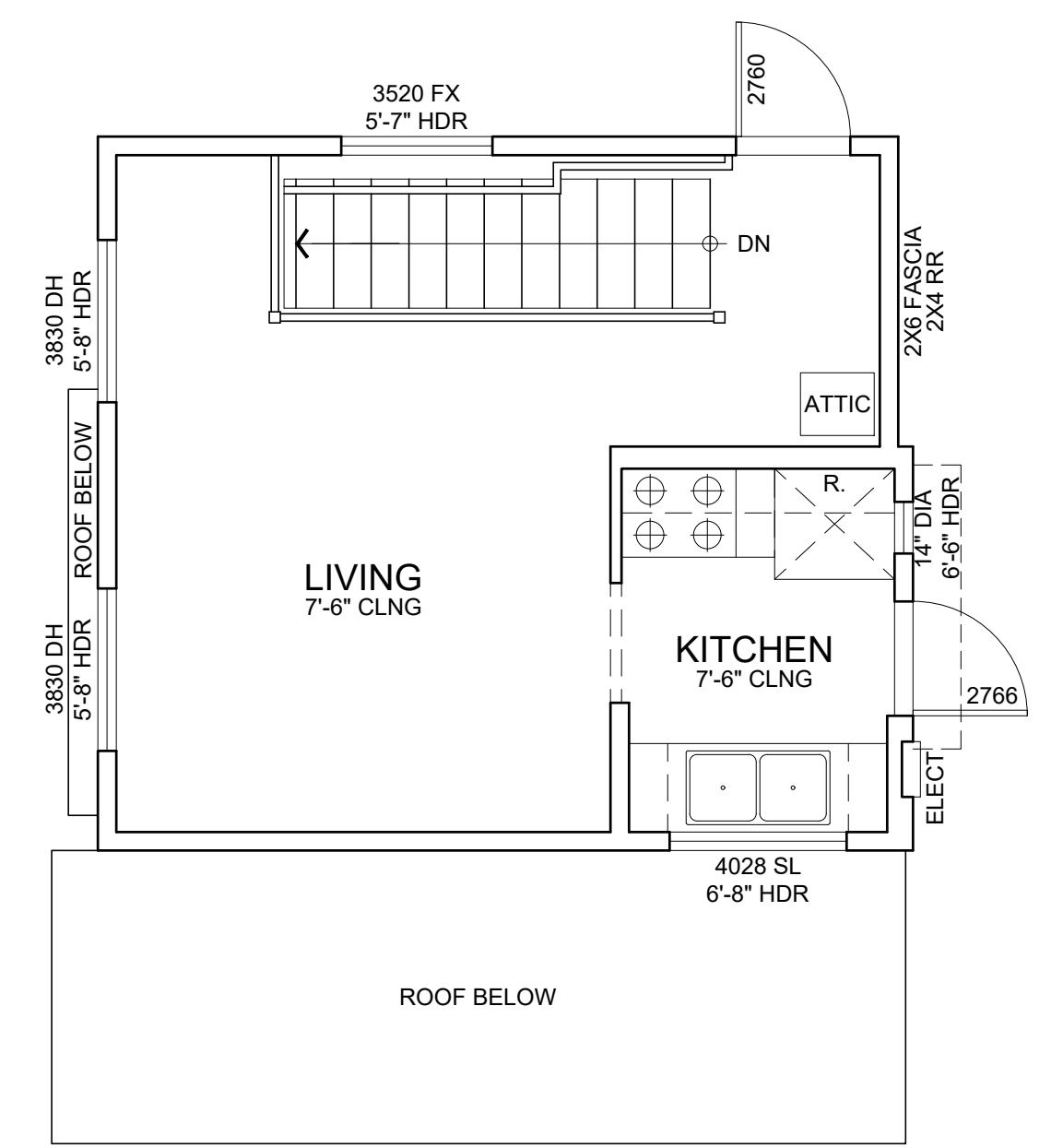
EAST ELEVATION
 1/4" = 1'-0"



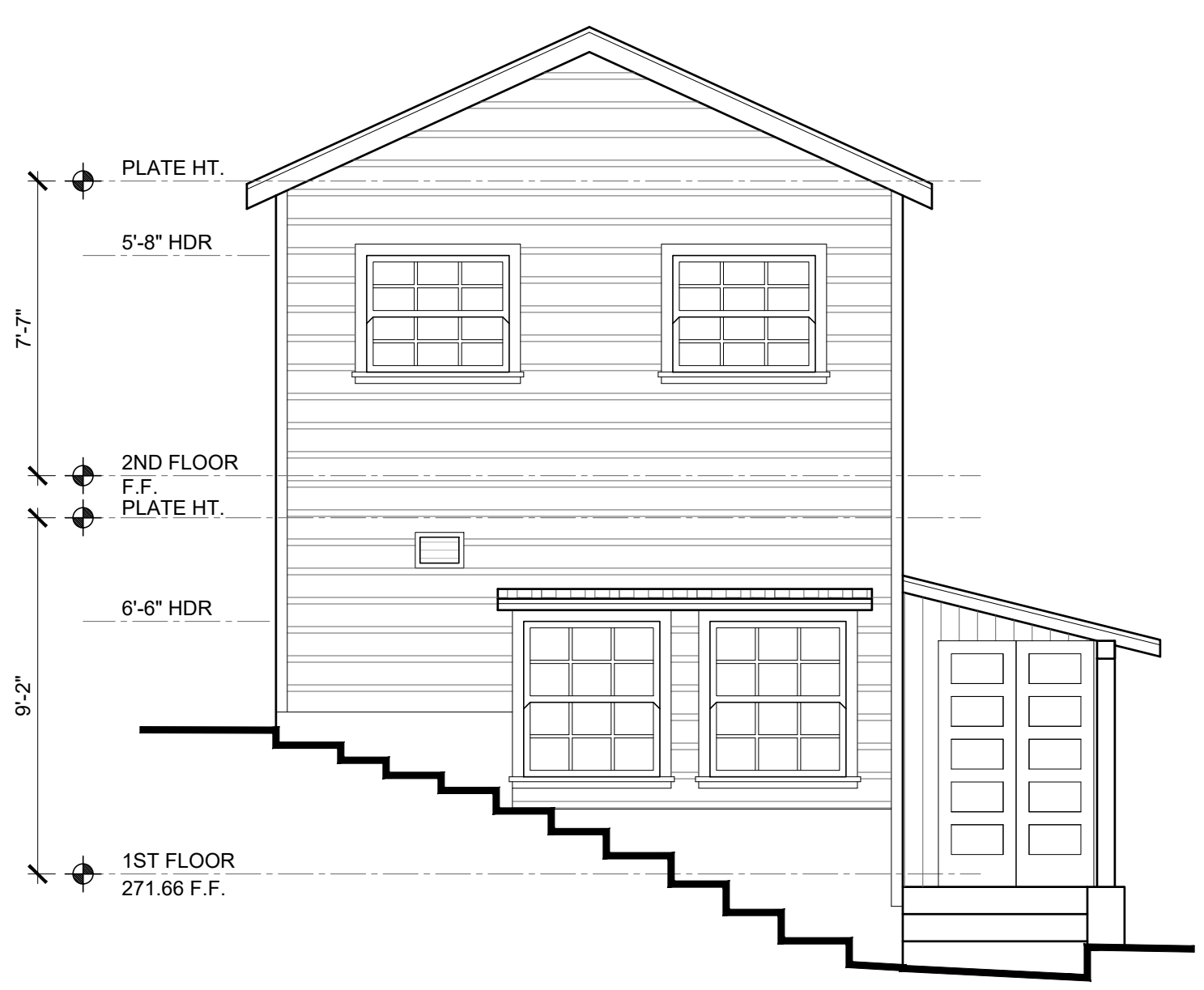
NORTH ELEVATION
 1/4" = 1'-0"



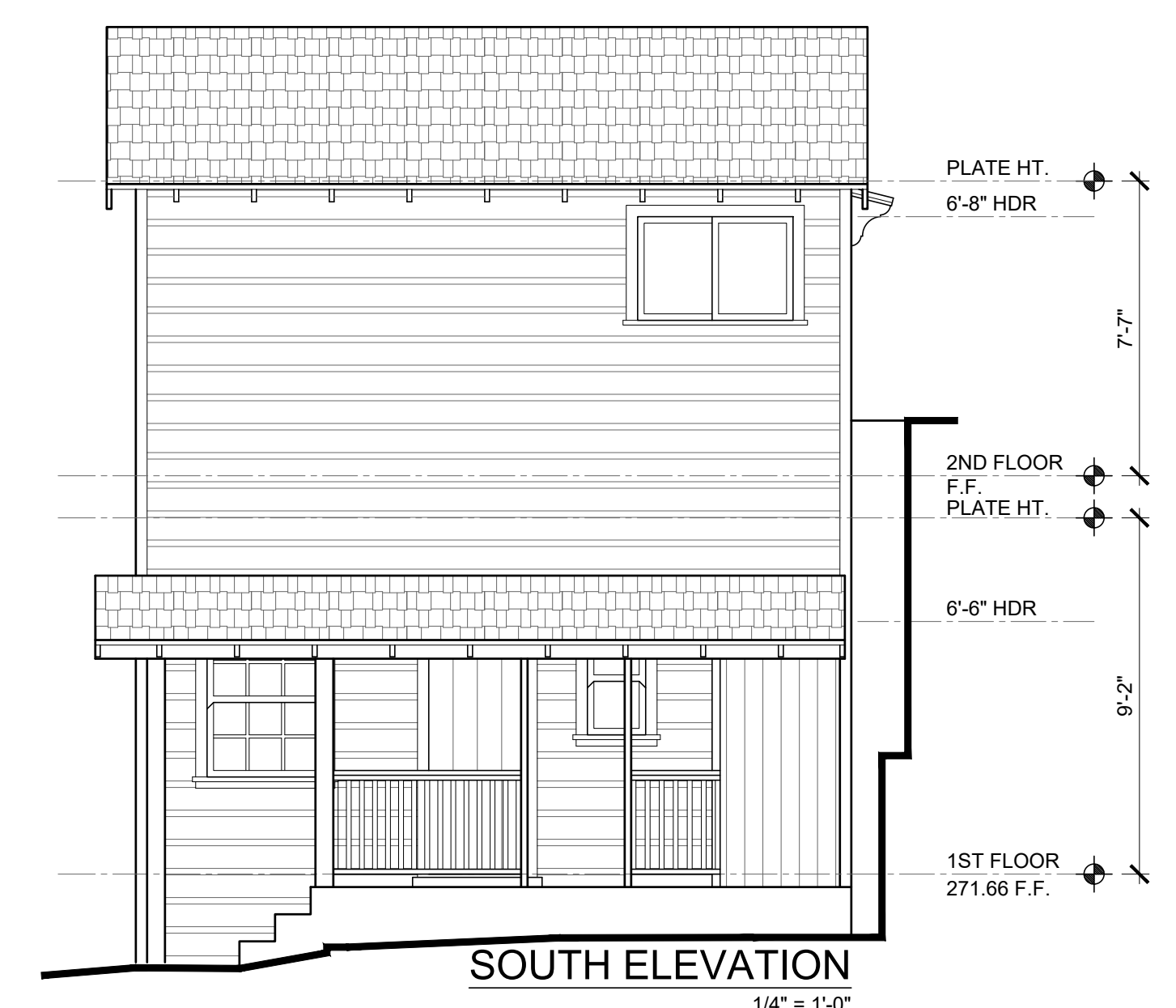
ROOF PLAN
 1/4" = 1'-0"



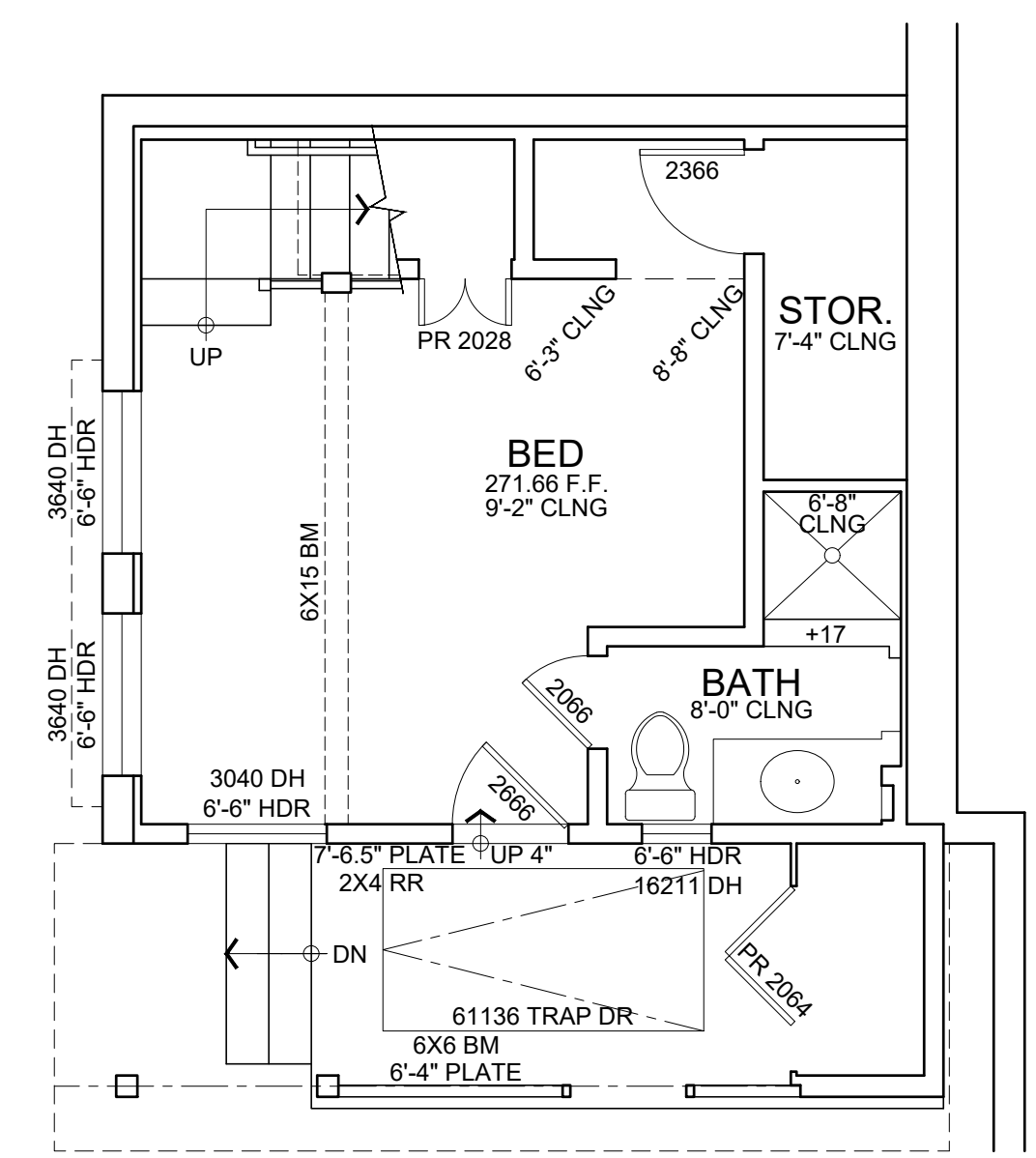
2ND FLOOR PLAN
 1/4" = 1'-0"



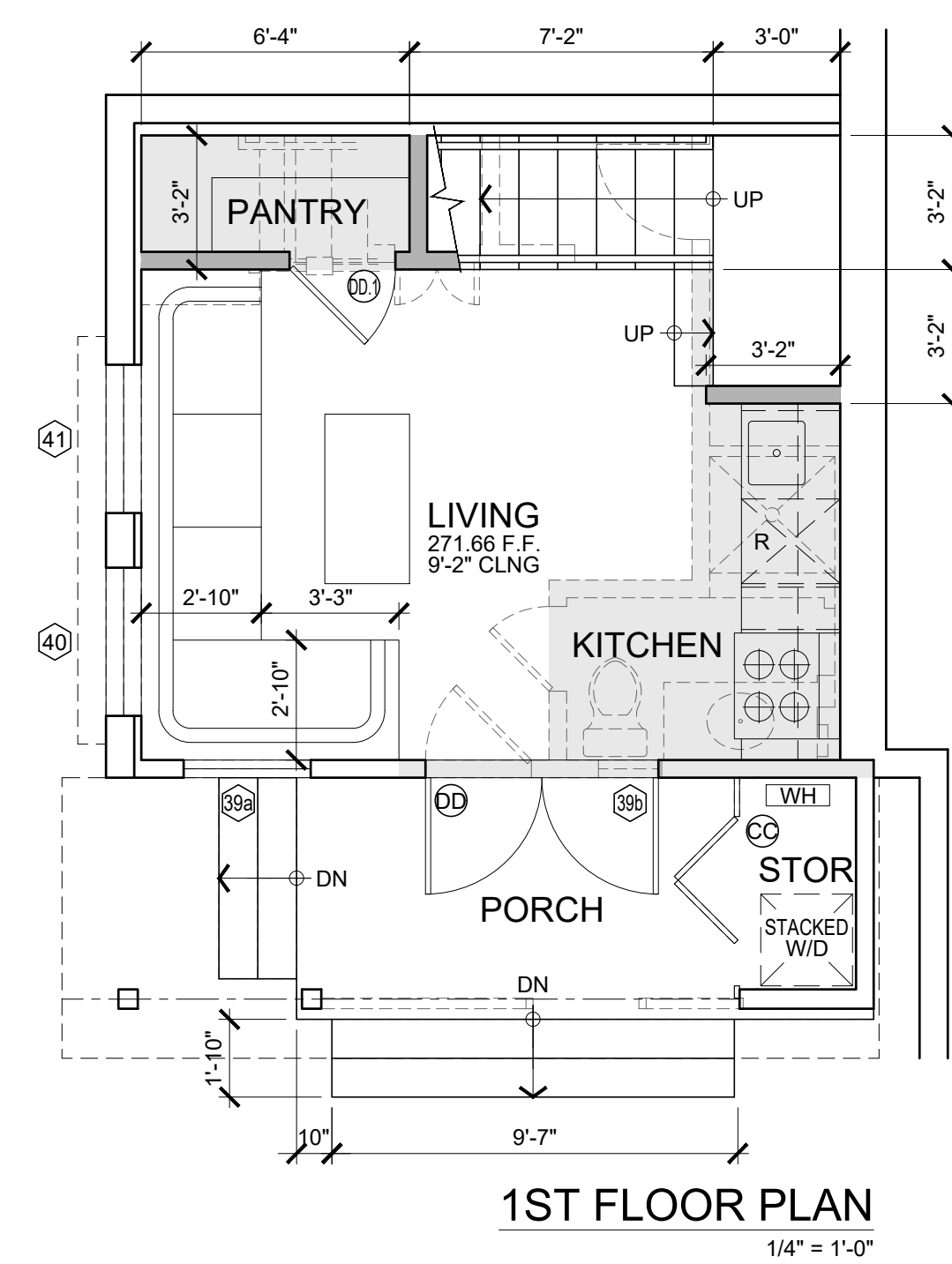
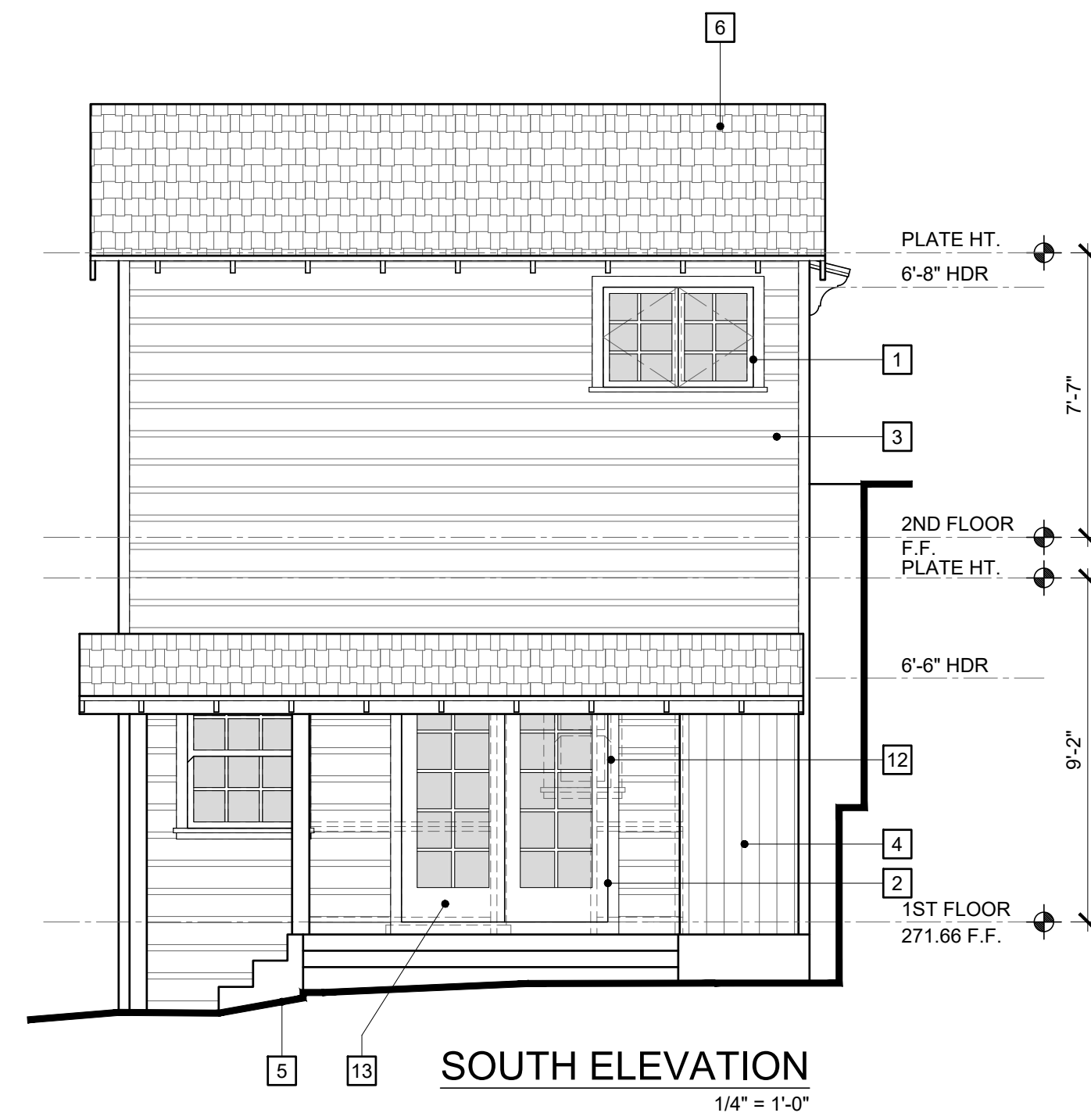
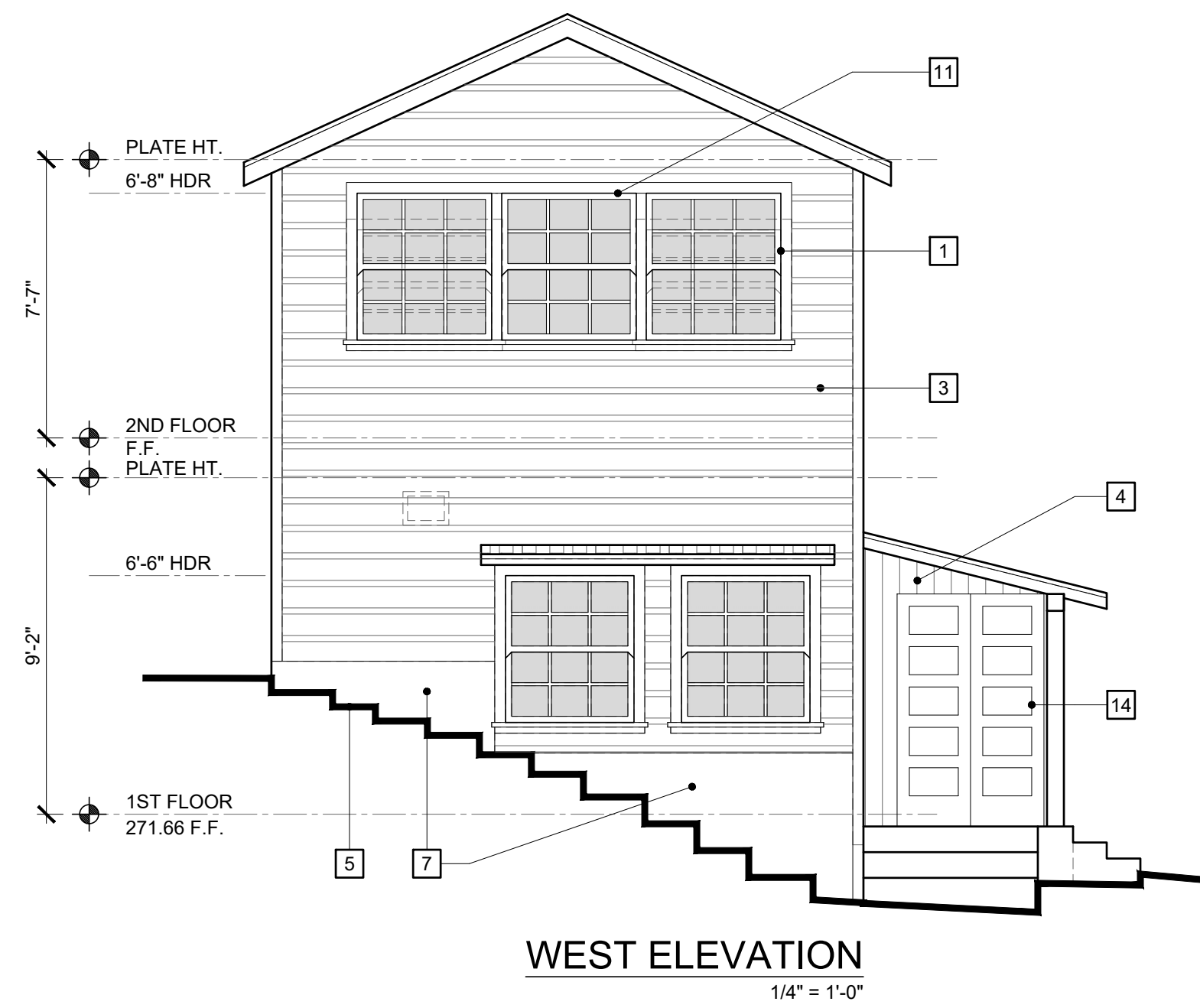
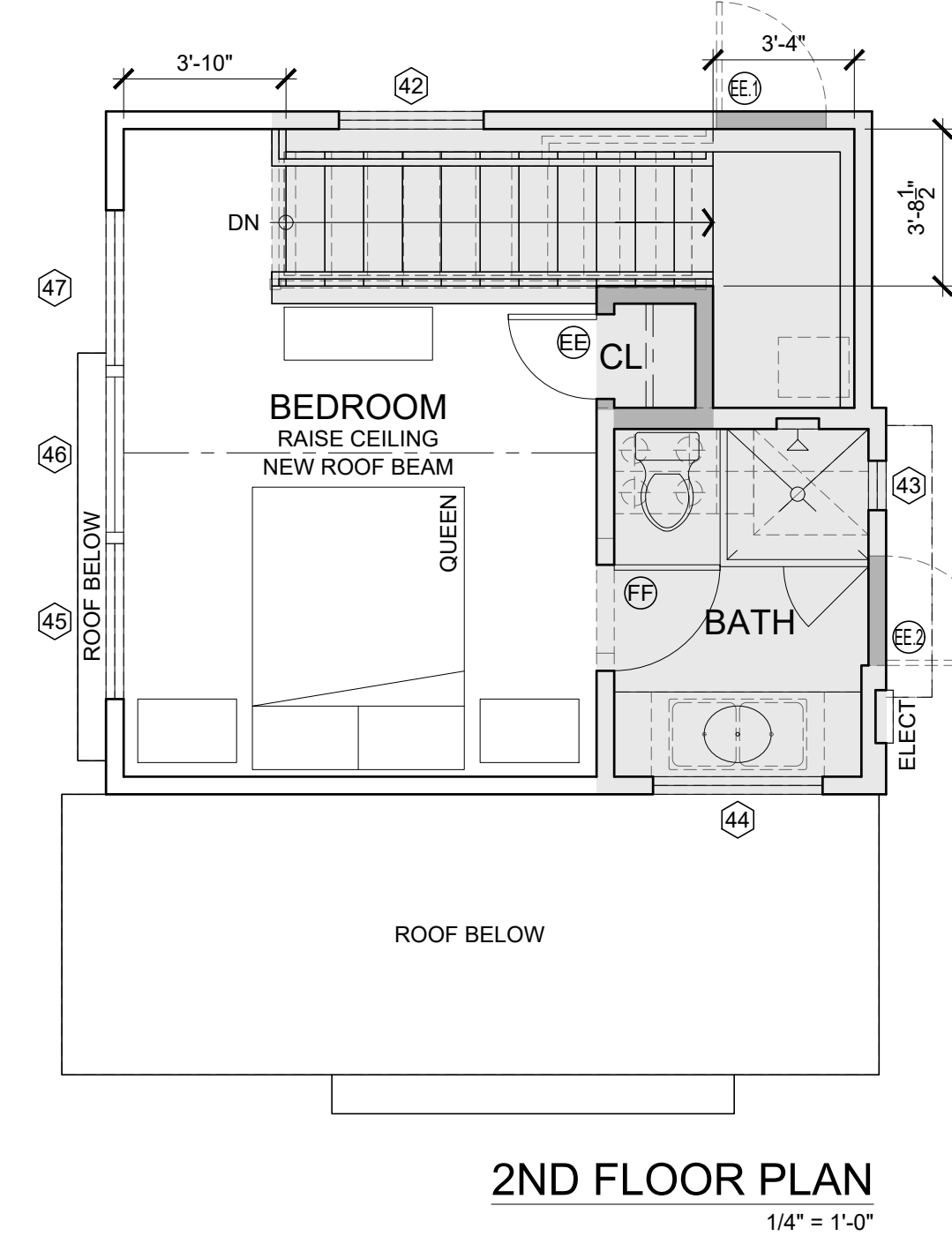
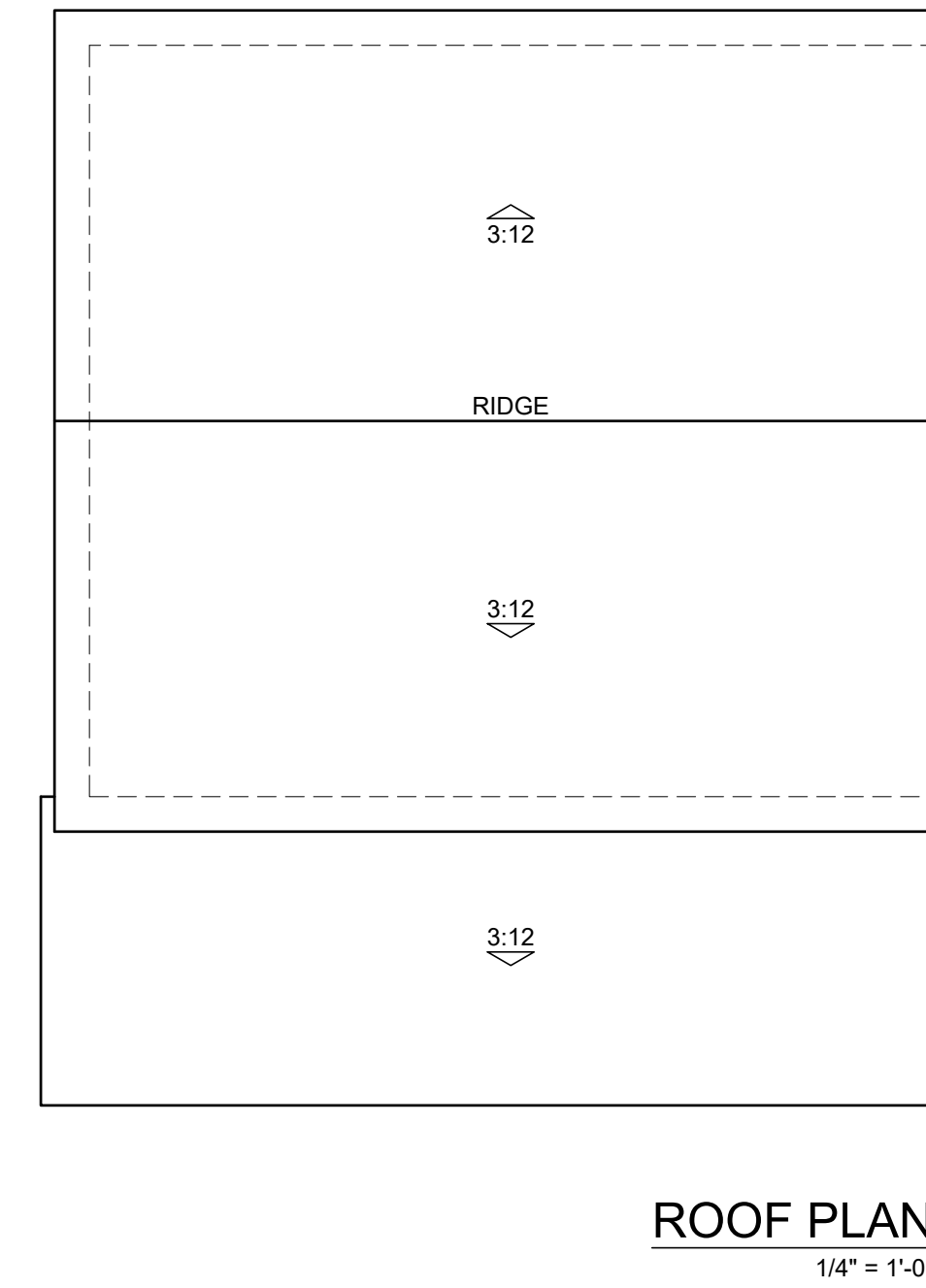
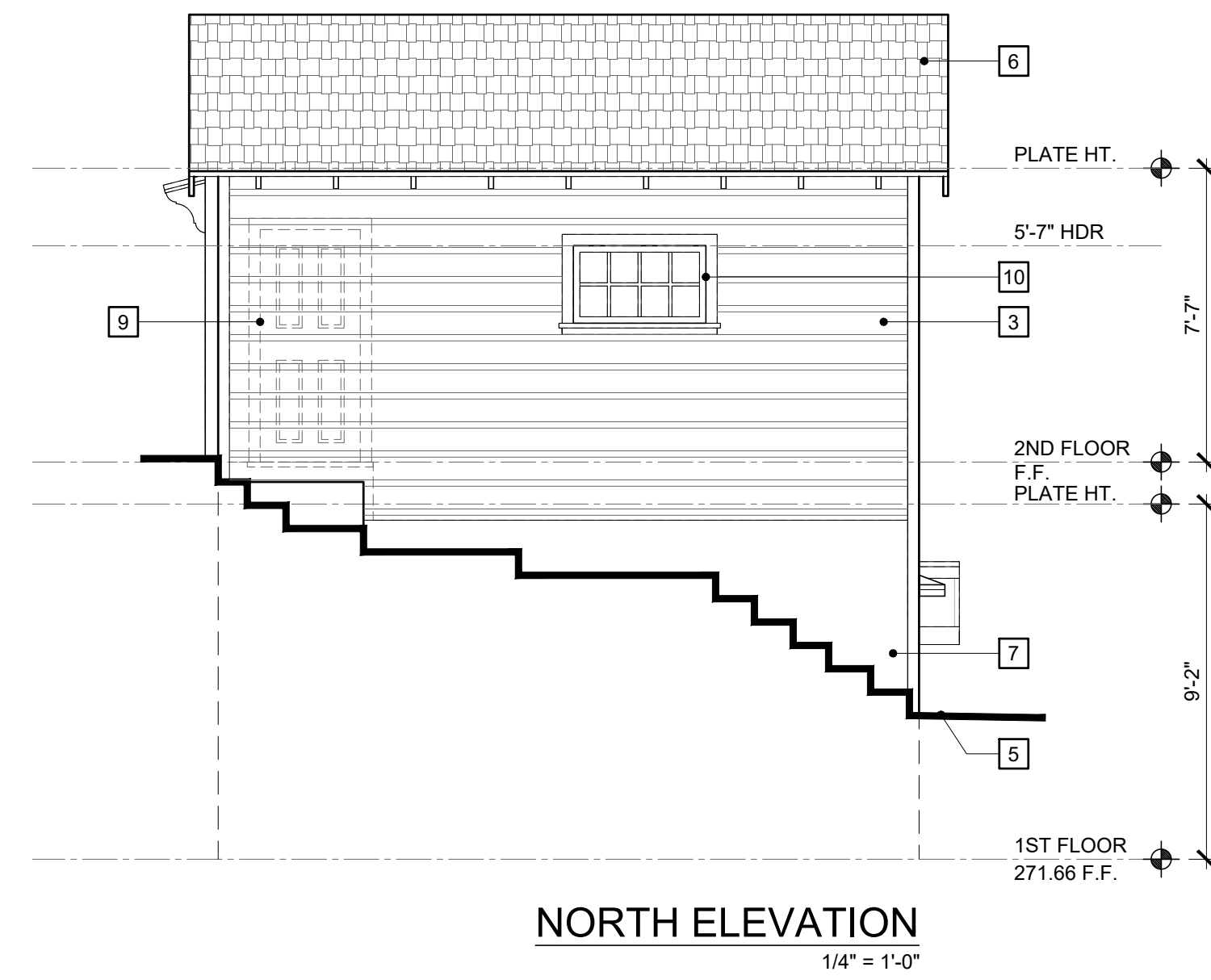
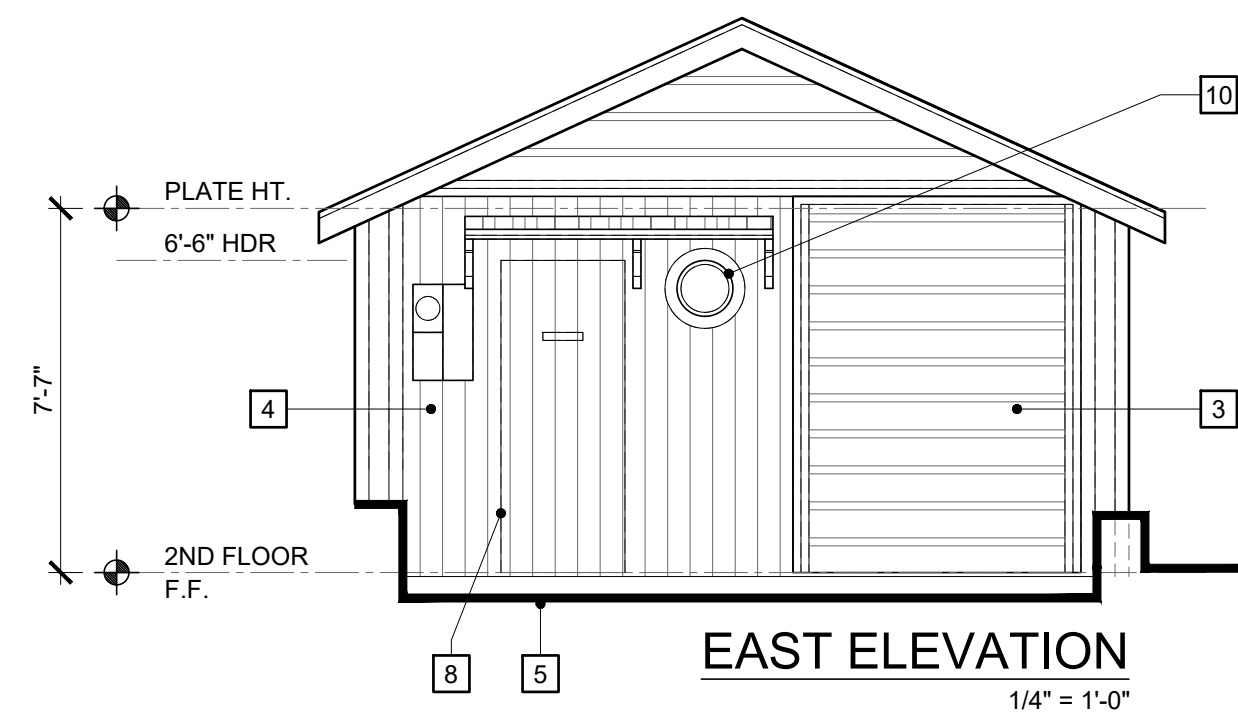
WEST ELEVATION
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"



1ST FLOOR PLAN
 1/4" = 1'-0"



FLOOR PLAN KEYNOTES:

SYMBOL LEGEND:

- DOOR SYMBOL - SEE DOOR SCHEDULE, SHEET A-11.1
- WINDOW SYMBOL - SEE WINDOW SCHEDULE, SHEET A-11.1

WALL LEGEND:

- NEW FRAMED WALL CONSTRUCTION
- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- INTERIOR REMODEL AREA

ELEVATION KEYNOTES:

- ASBO - AS SELECTED BY OWNER
IPMS - INSTALL PER MANUFACTURER'S SPECIFICATIONS
1. NEW WINDOW (HATCHED) - EXISTING TO BE REPLACED, SEE PLAN
 2. NEW DOOR(S) (HATCHED), SEE PLAN
 3. EXISTING HORIZONTAL SIDING TO REMAIN OR BE REPLACED IN KIND AS NEEDED
 4. NEW VERTICAL SIDING TO MATCH EXISTING
 5. LINE OF EXISTING GRADE AND/OR HARDSCAPE
 6. NEW WOOD SHINGLE ROOFING PER PLAN
 7. EXISTING PAINTED CONCRETE FOUNDATION TO REMAIN
 8. EXISTING DOOR PROFILE TO REMAIN AND REMOVE HARDWARE
 9. EXISTING DOOR TO BE REMOVED AND INFILLED TO MATCH EXISTING
 10. EXISTING WINDOW TO BE RESTORED, SEE PLAN
 11. NEW WINDOW (HATCHED) TO MATCH EXISTING STYLE OF ADJACENT WINDOWS, SEE PLAN
 12. EXISTING WINDOW TO BE REMOVED
 13. EXISTING SINGLE DOOR TO BE REMOVED
 14. EXISTING paneled doors to be restored

NOTES:

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
604 VISTA LANE
LAGUNA BEACH
CA 92651
PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

PROPOSED GUEST HOUSE



COPYRIGHT 2010 / 2011 / 2012 / 2013
THIS DOCUMENT IS THE PROPERTY OF
NICOL ARCHITECTURE, INC. IT SHALL NOT BE
REPRODUCED, ALTERED OR TRANSFERRED
WITHOUT WRITTEN PERMISSION FROM
NICOL ARCHITECTURE, INC.

DATE: 6-5-20
SCALE: NOTED
PROJECT: BRAFF
DRAWN BY: BC

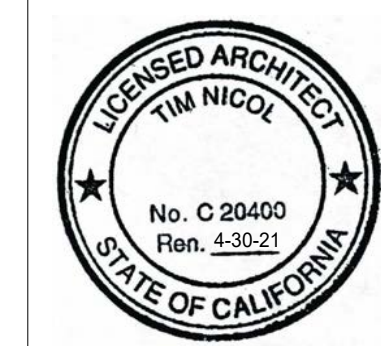
A-4.1

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

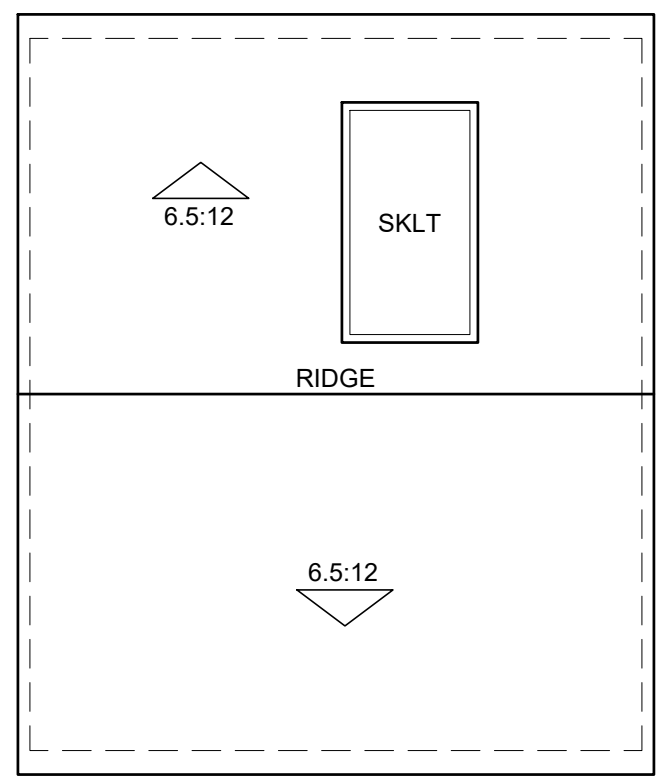
RECORD CHART HOUSE



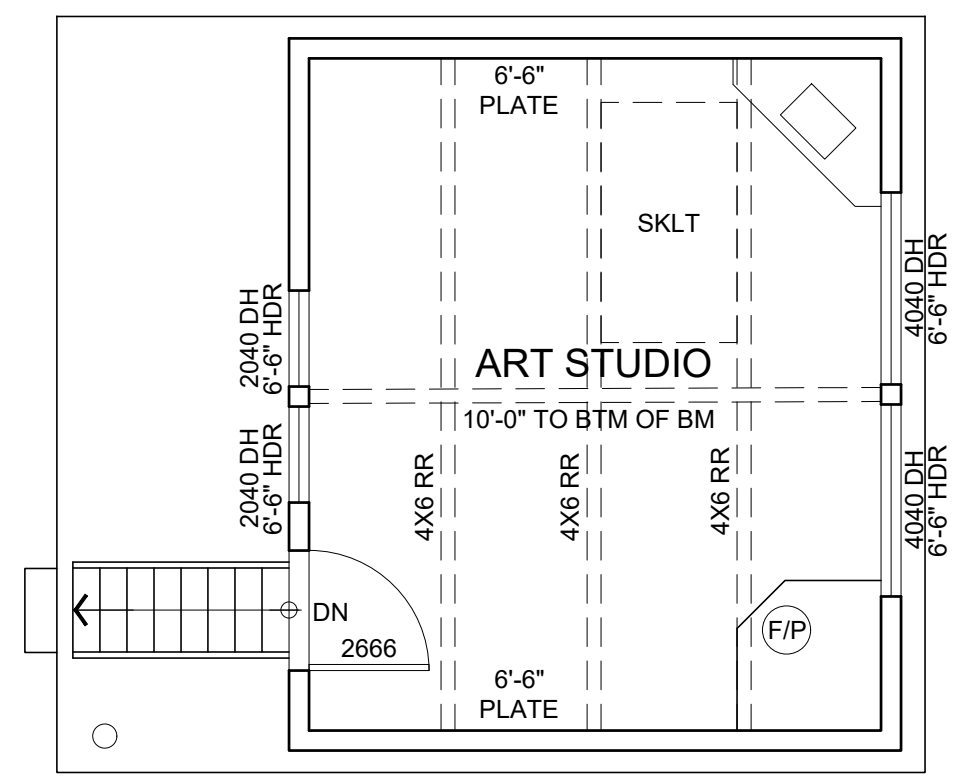
COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC

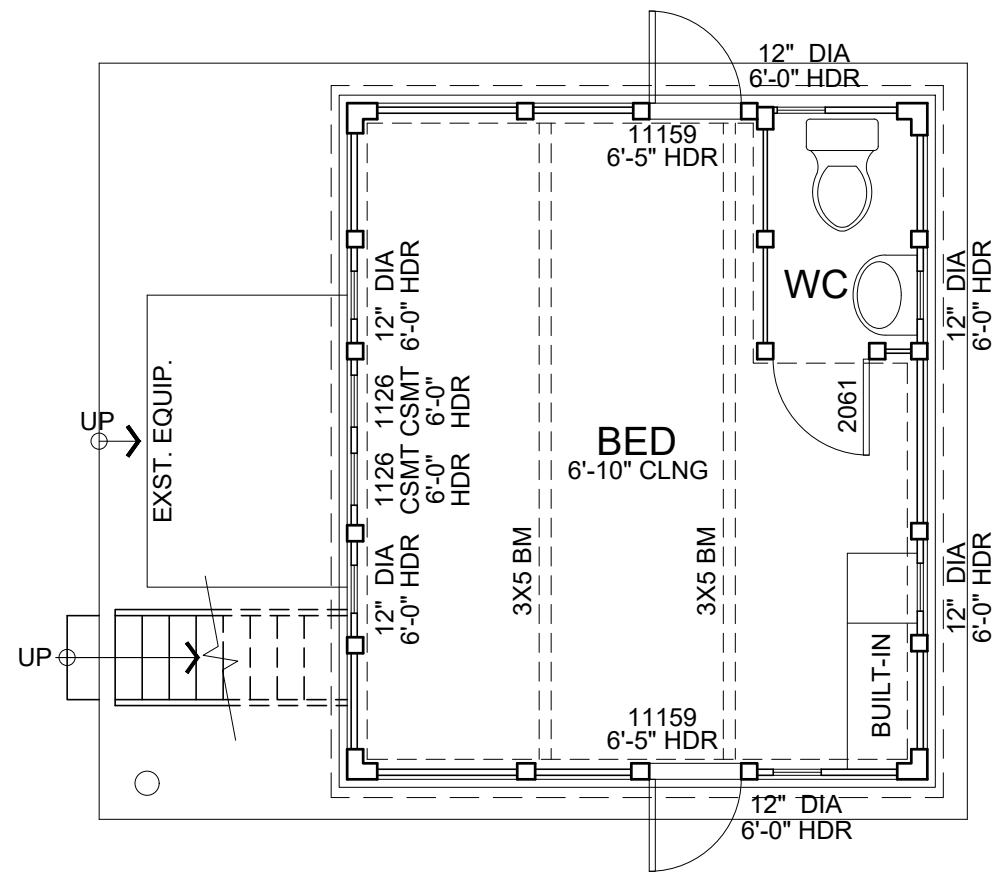
A-5.1



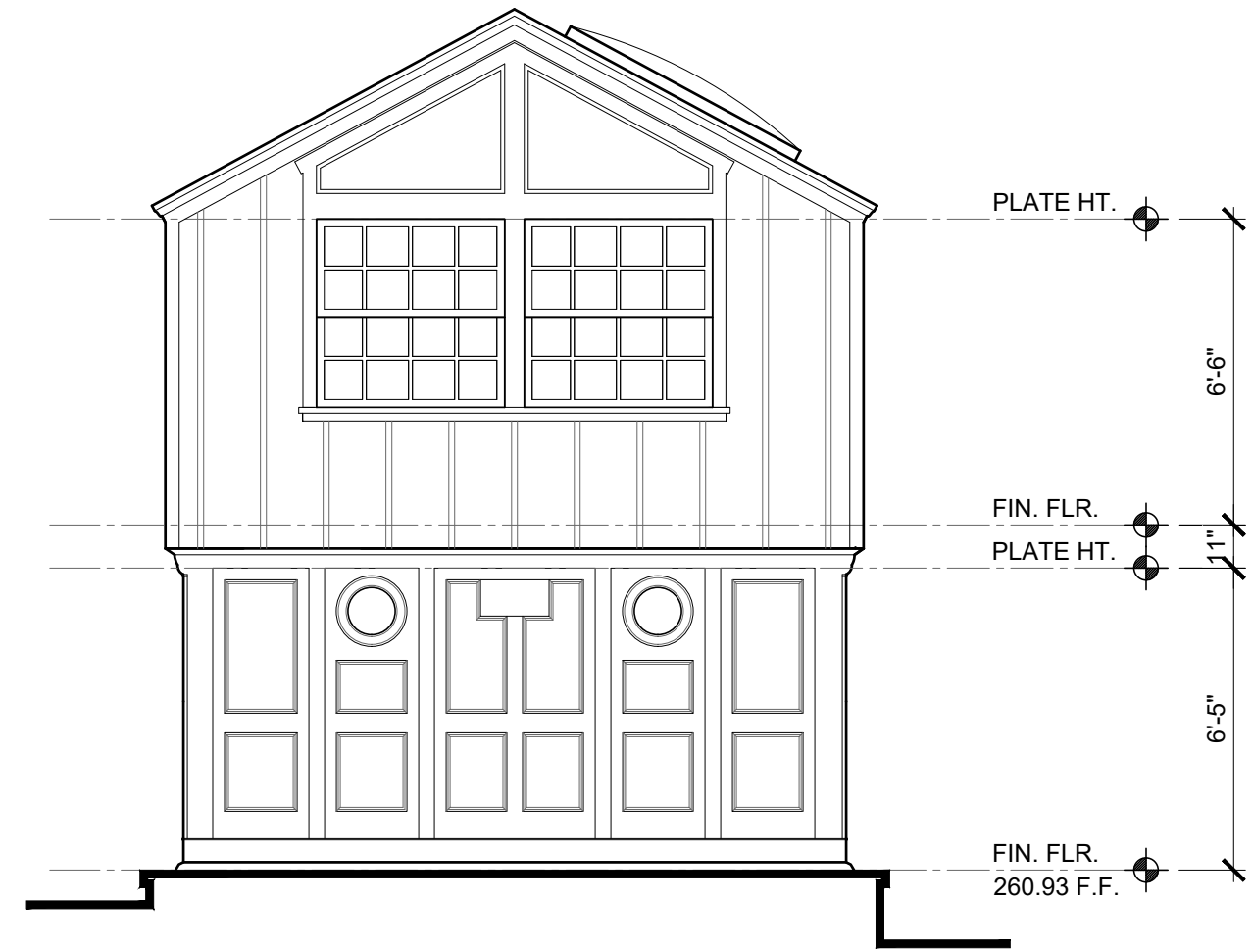
ROOF PLAN
 1/4" = 1'-0"



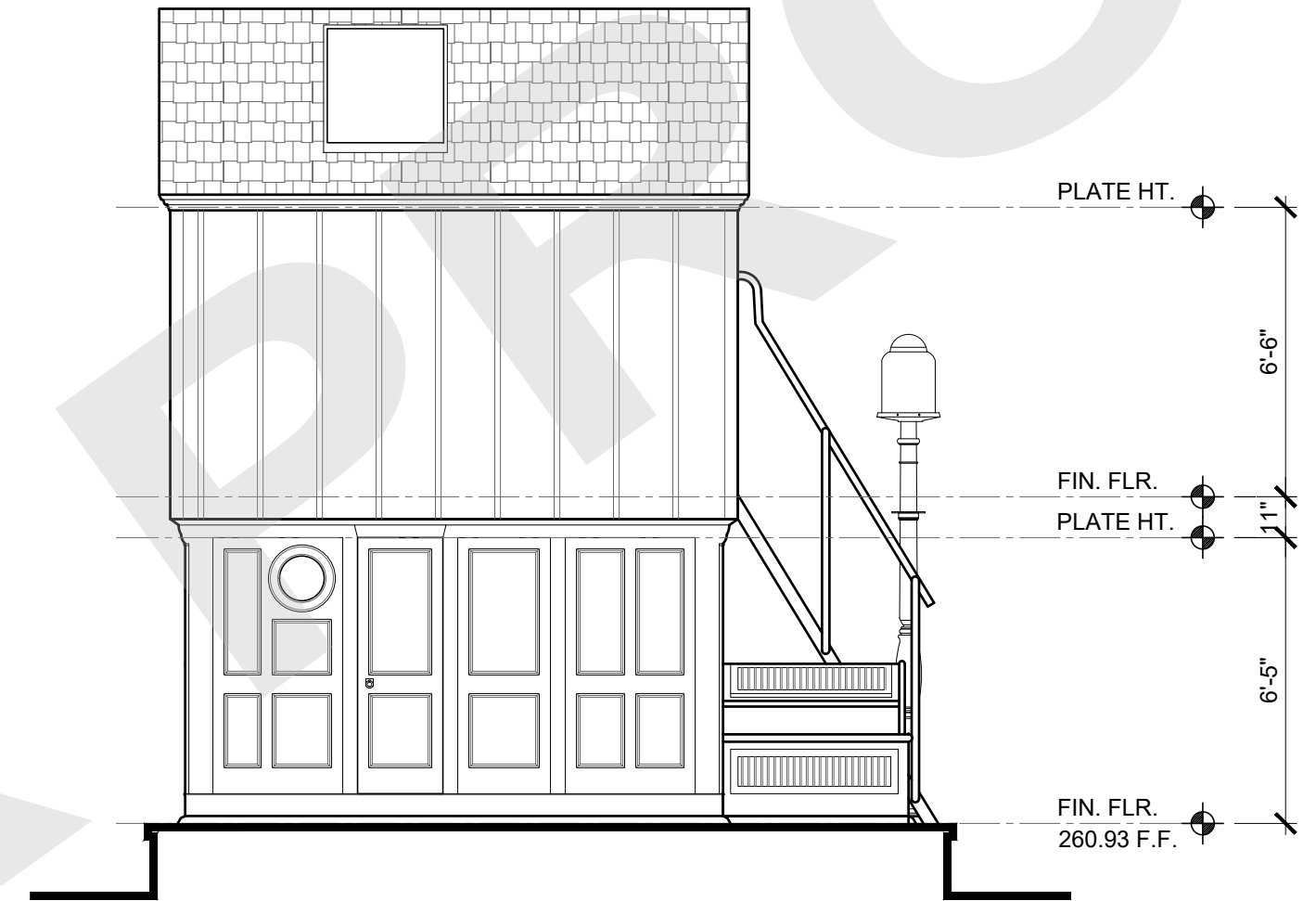
2ND FLOOR PLAN
 1/4" = 1'-0"



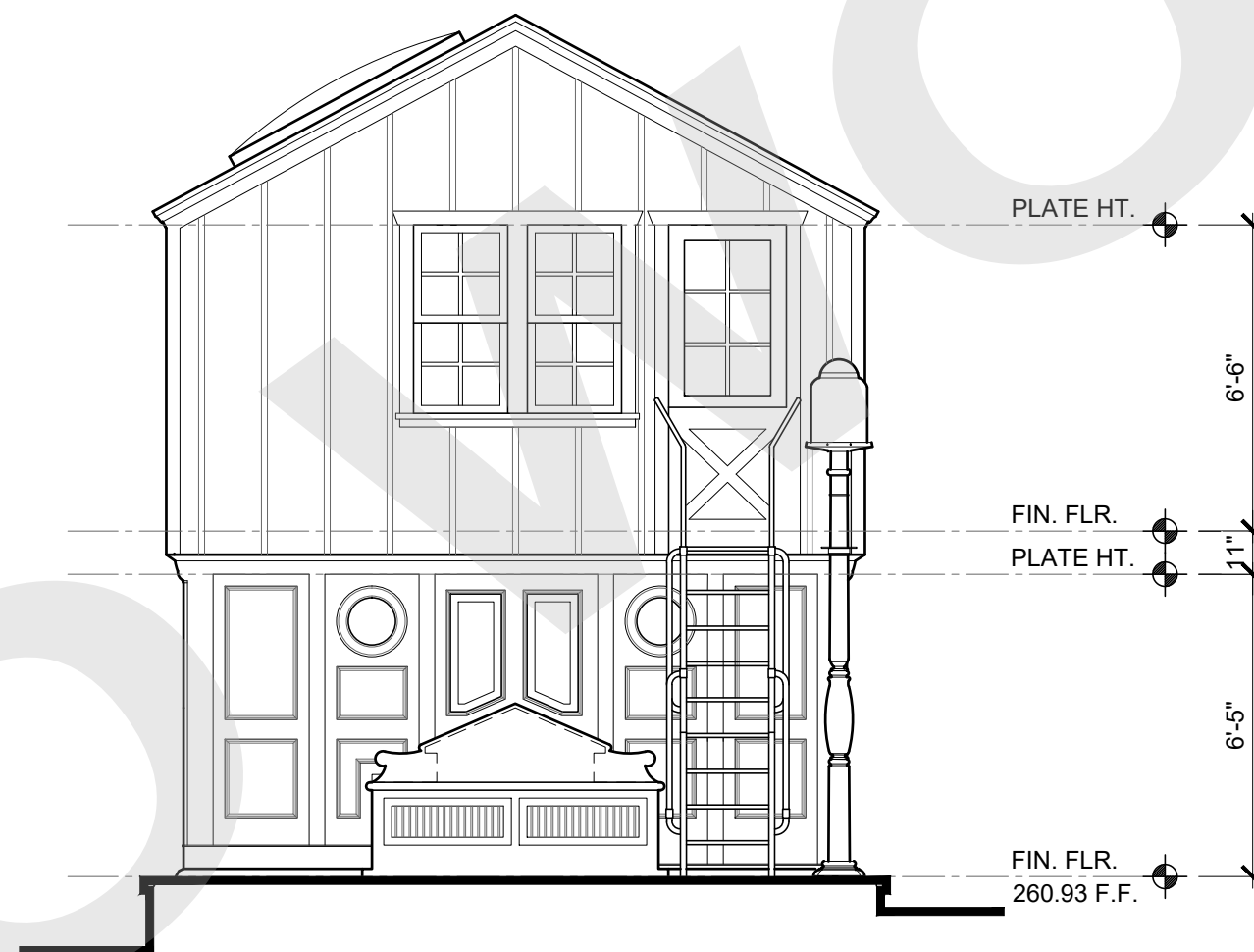
1ST FLOOR PLAN
 1/4" = 1'-0"



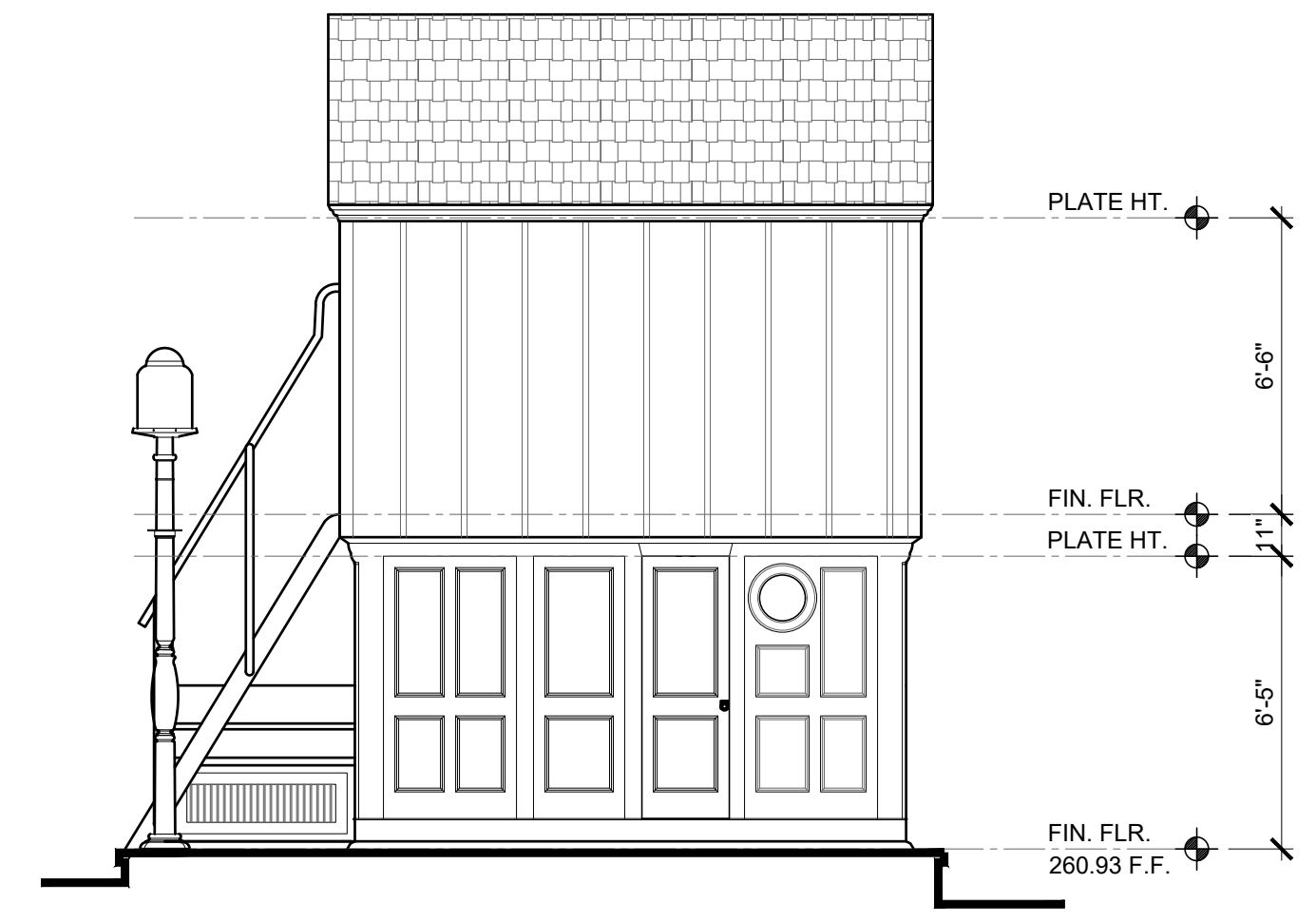
EAST ELEVATION
 1/4" = 1'-0"



NORTH ELEVATION
 1/4" = 1'-0"



WEST ELEVATION
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

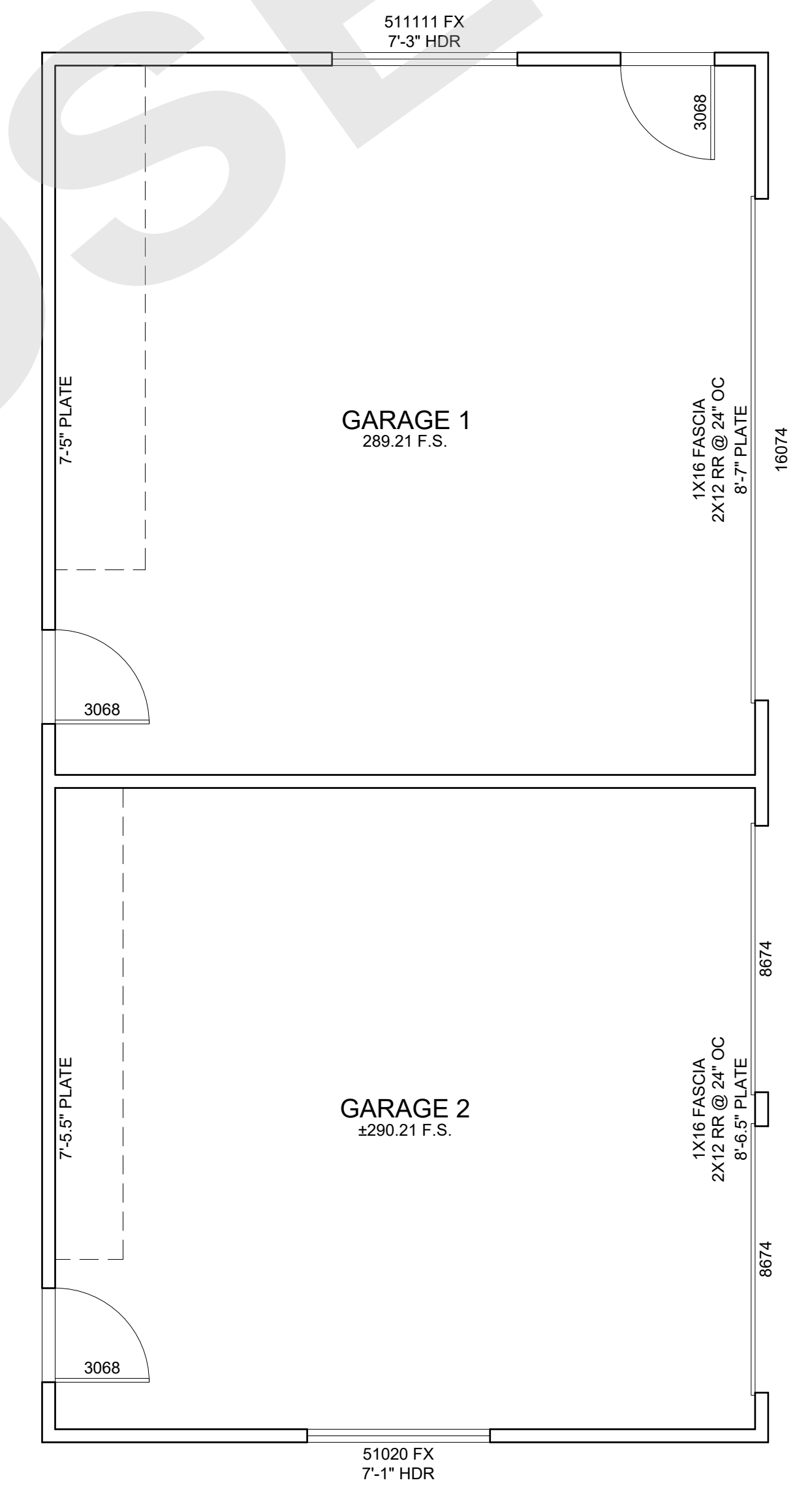
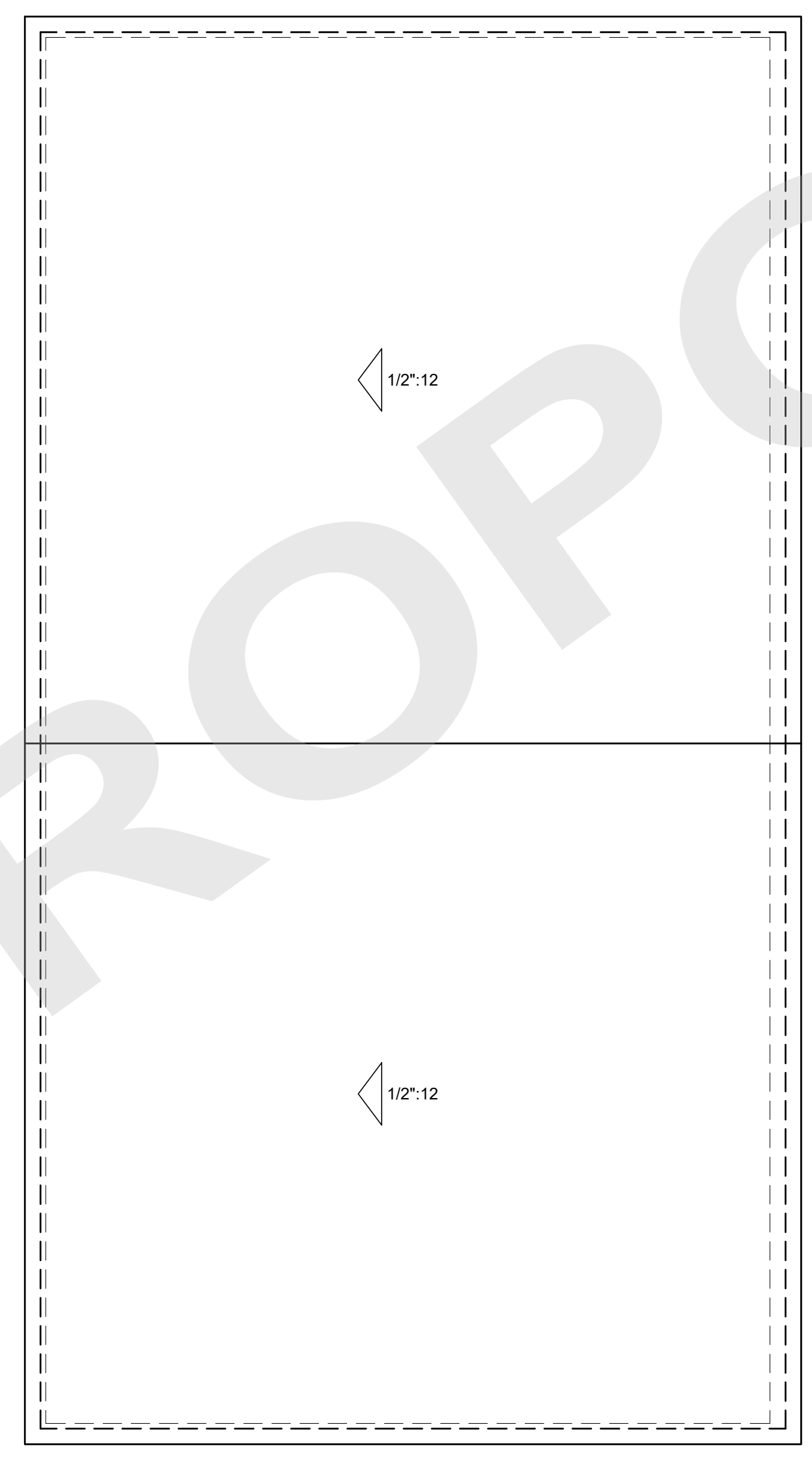
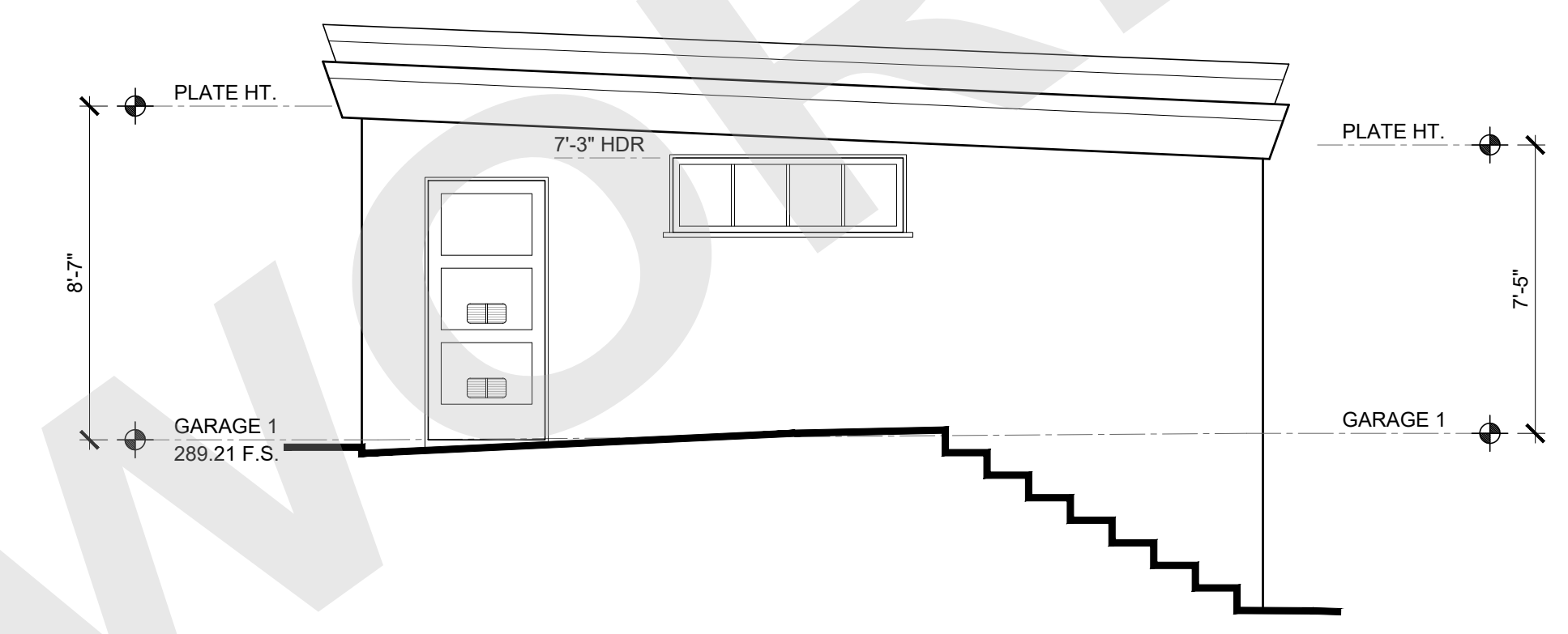
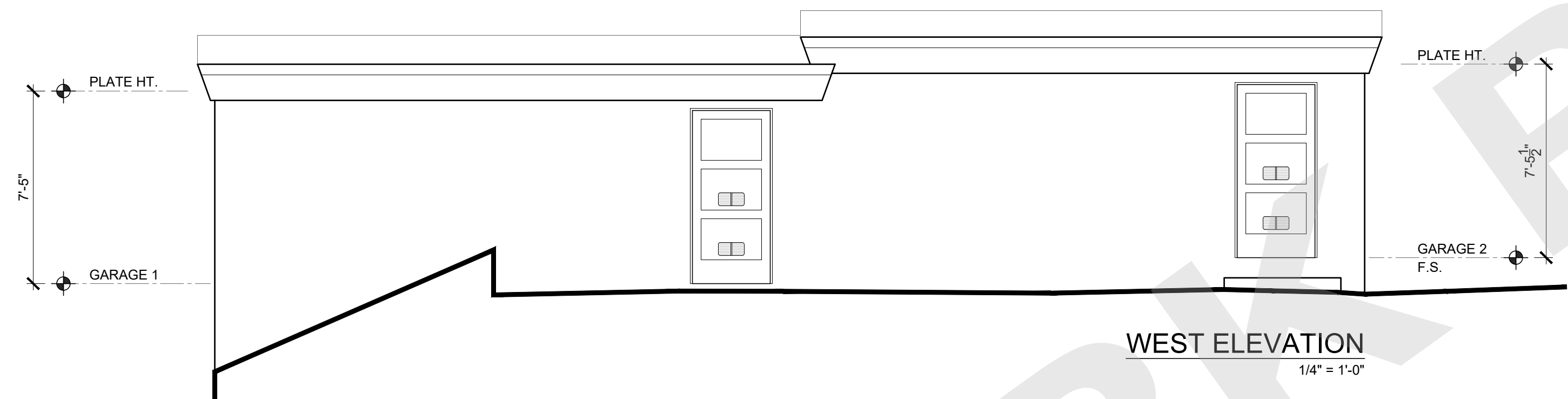
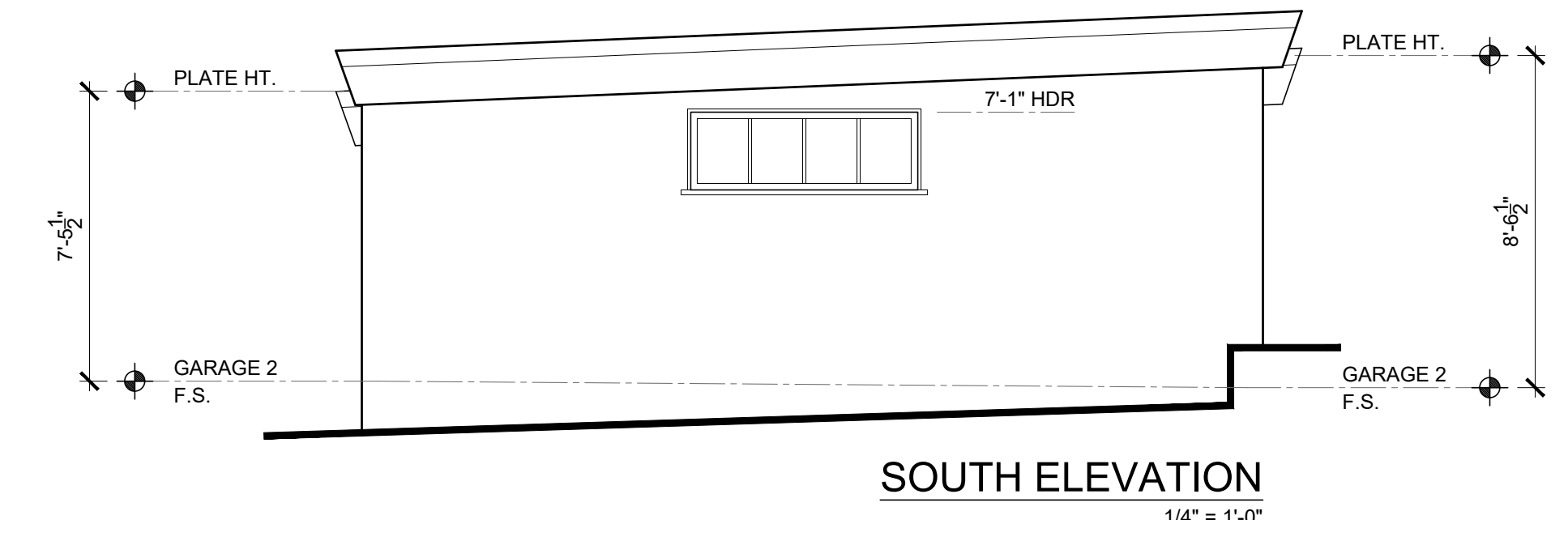
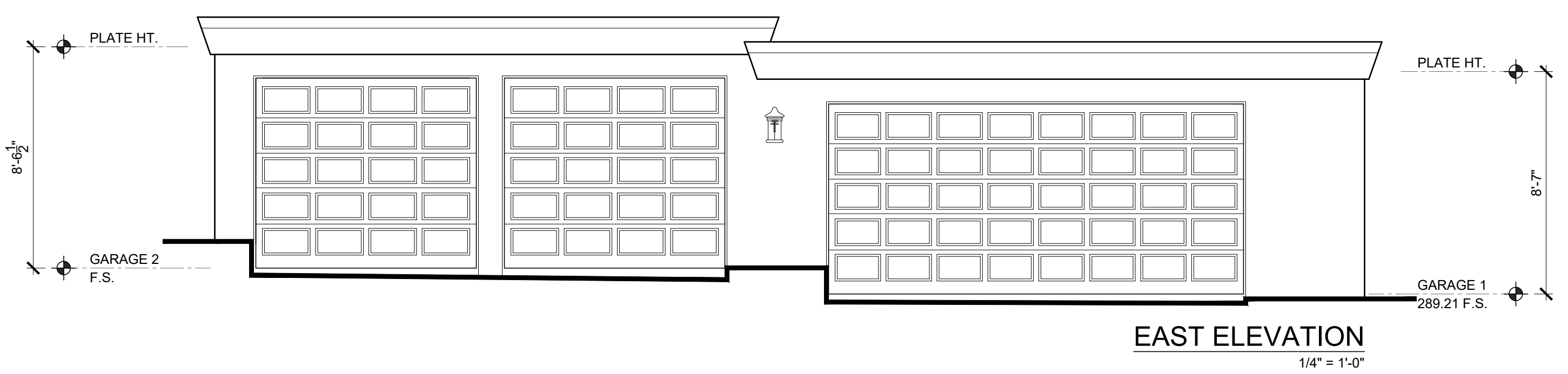
BRAFF/CHRISTOU RESIDENCE (PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

RECORD GARAGE 1



COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



NO
 W
 O
 R
 R
 Y

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

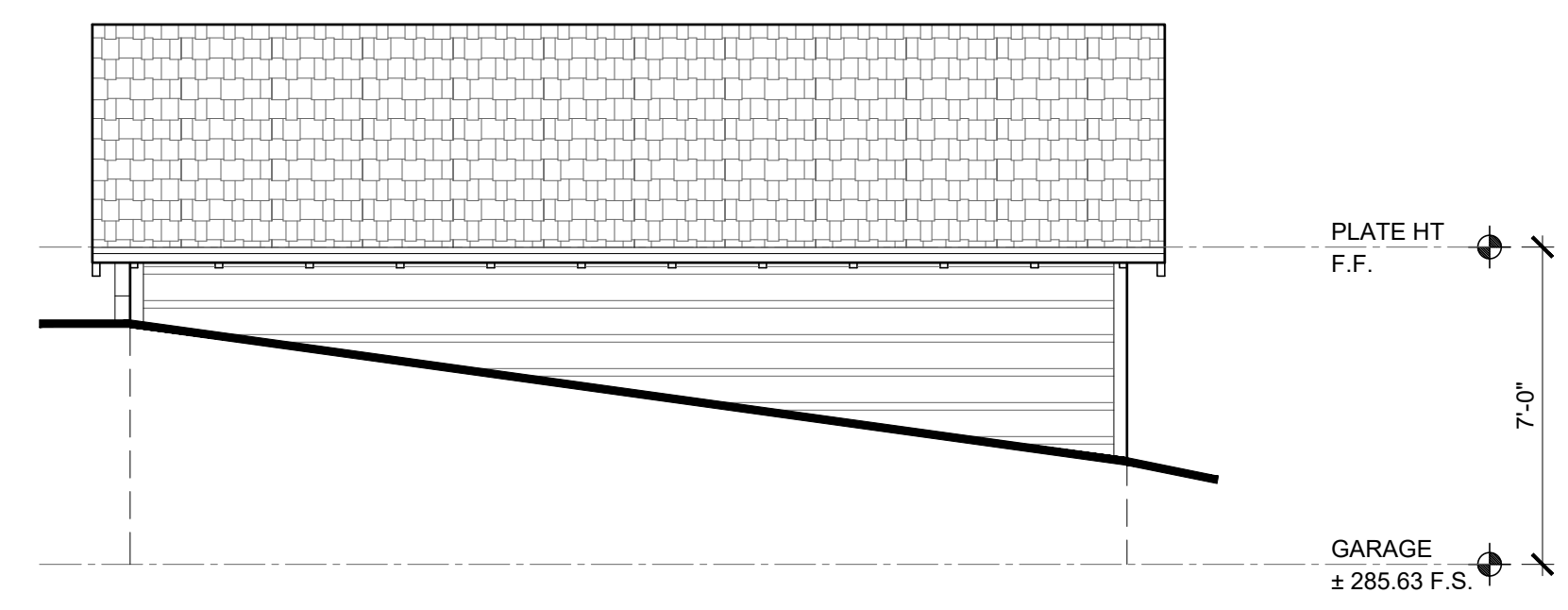
RECORD GARAGE 2



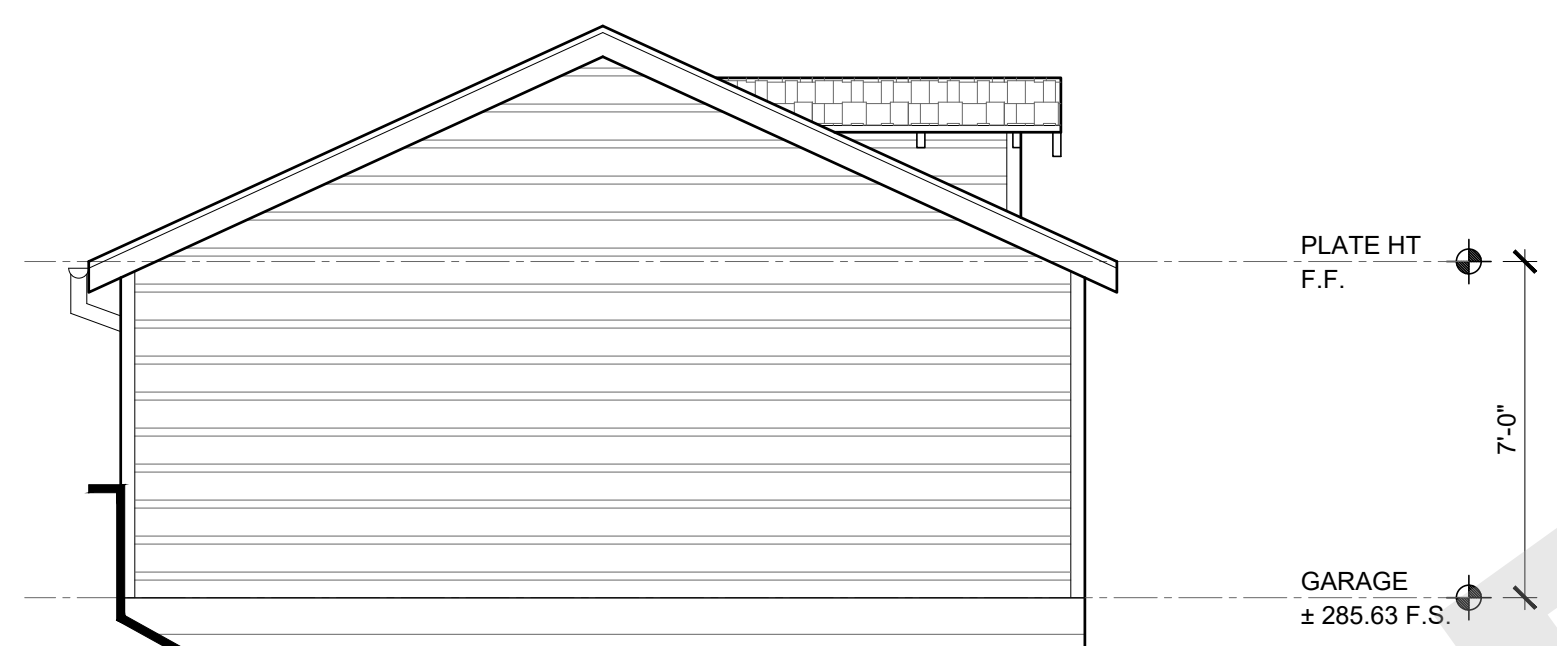
COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC

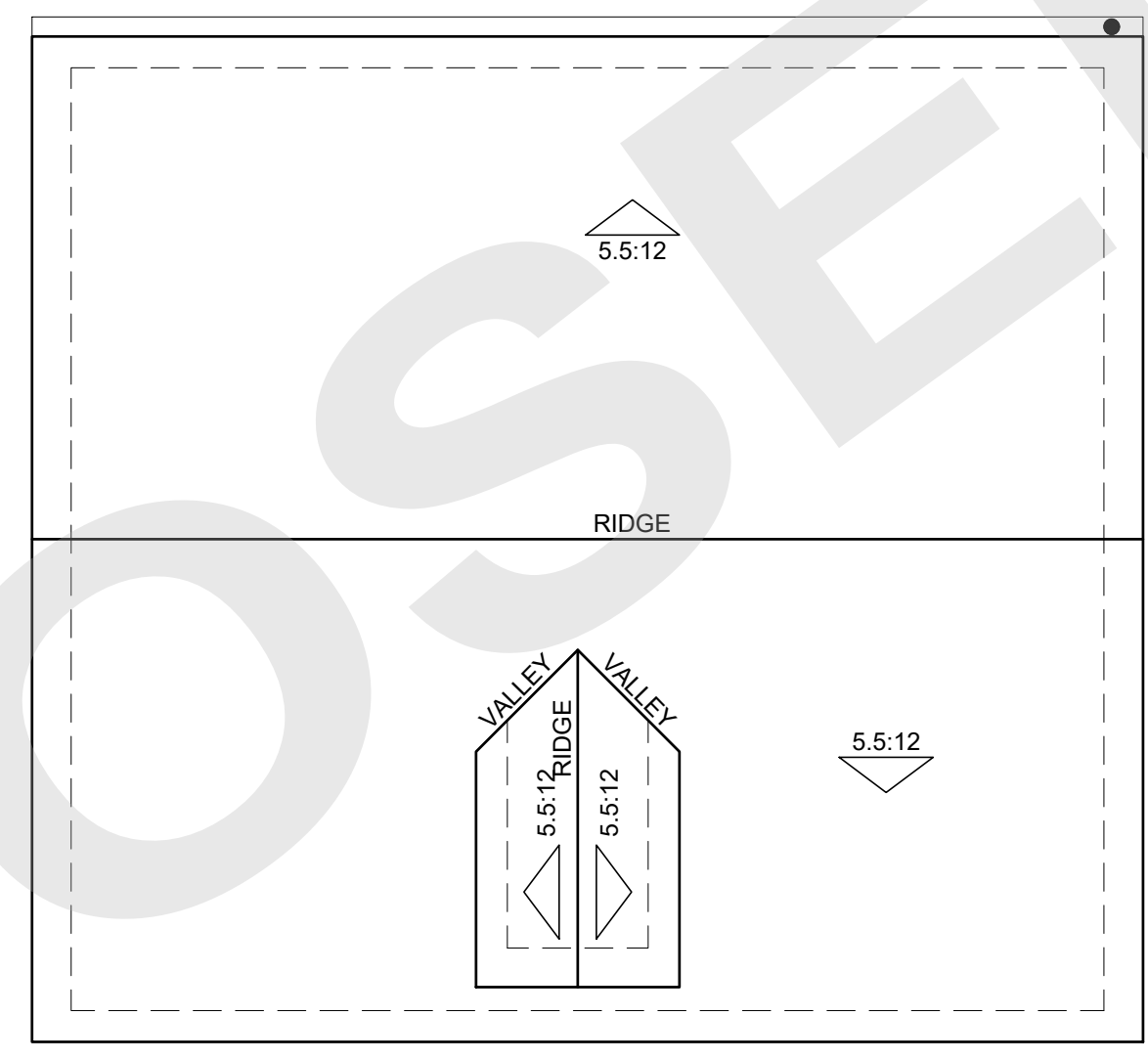
A-9.1



NORTH ELEVATION
 1/4" = 1'-0"



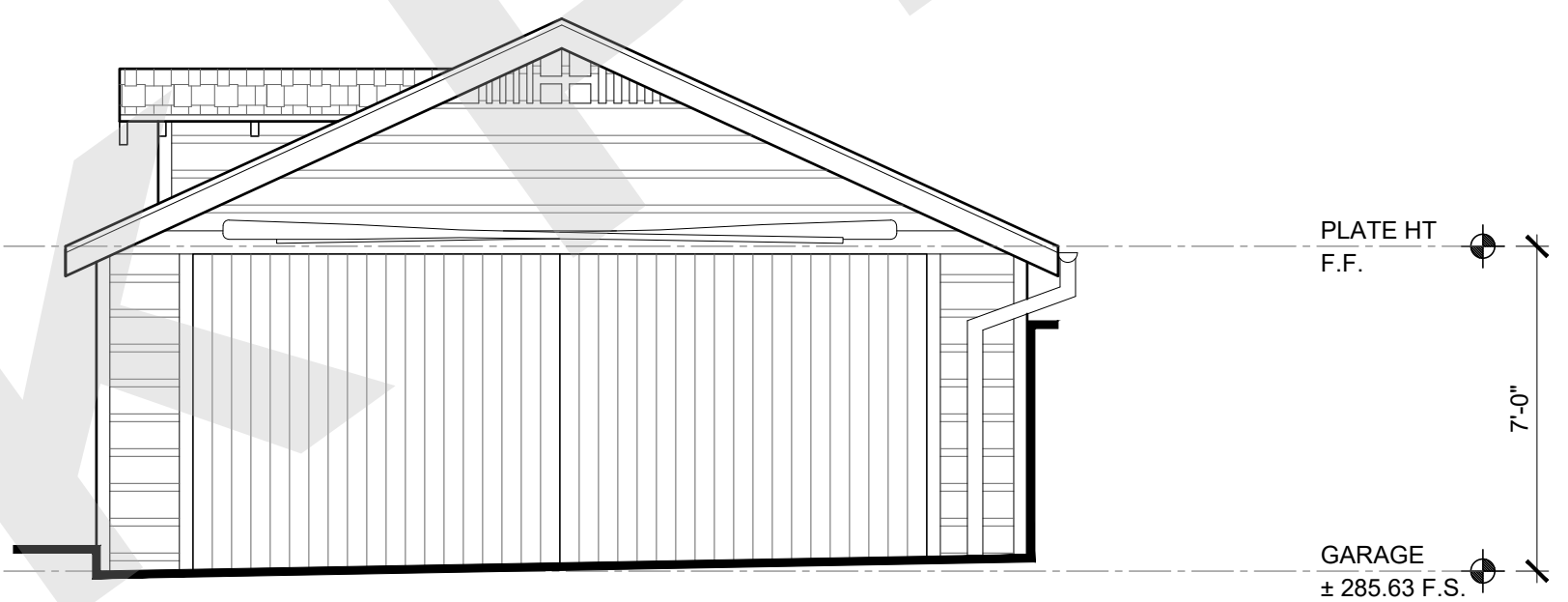
WEST ELEVATION
 1/4" = 1'-0"



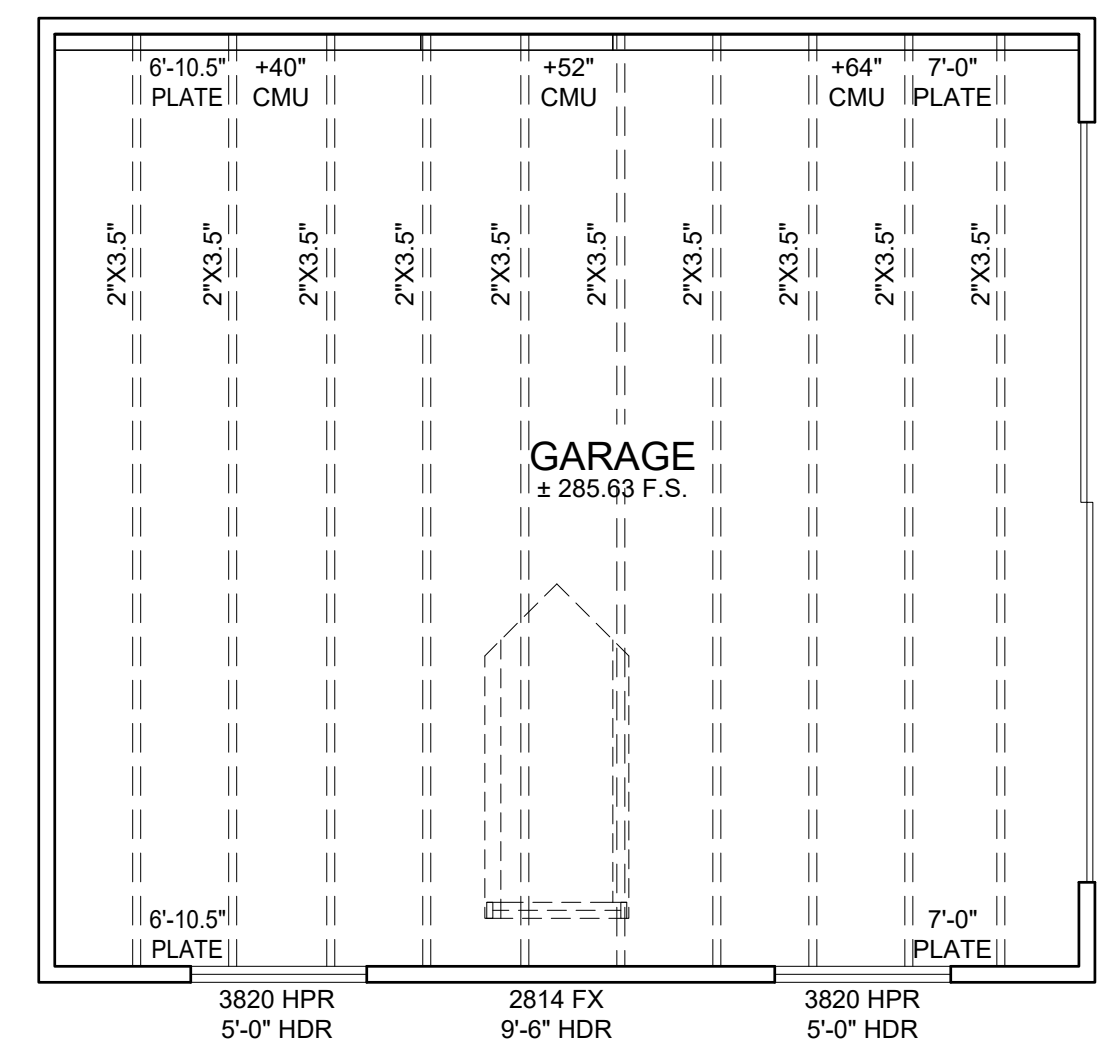
ROOF PLAN
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"



EAST ELEVATION
 1/4" = 1'-0"



GARAGE FLOOR PLAN
 1/4" = 1'-0"

ROOM FINISH SCHEDULE

FLOOR	FLOOR	WALLS	CEILING	MOULDINGS				CABINETS		COUNTER TOP		REMARKS
				BASE	CASING	CROWN	MATL	FINISH	MATL	FINISH	MATL	
BASEMENT (MAIN HOUSE)												
CELLAR	CONC	GYP BD	GYP BD									
1ST FLOOR (MAIN HOUSE)												
LIVING/DINING	WOOD	T & G	GYP BD									
KITCHEN	WOOD	GYP BD	GYP BD									
POWDER	WOOD	GYP BD	GYP BD									
LAUNDRY	TILE	GYP BD	GYP BD									
CAPTAIN'S LIVING ROOM	WOOD	T & G	GYP BD									
CL 1	WOOD	GYP BD	GYP BD									
2ND FLOOR (MAIN HOUSE)												
M BED	WOOD	T & G	GYP BD									
M BATH	TILE	GYP BD	GYP BD									
M CL 1	WOOD	T & G	GYP BD									
M CL 2	WOOD	T & G	GYP BD									
BED 2	WOOD	T & G	GYP BD									
BATH 2	TILE	GYP BD	GYP BD									
CL 2	WOOD	GYP BD	GYP BD									
WATER CLOSET	TILE	GYP BD	GYP BD									
1ST FLOOR (GUEST HOUSE)												
LIVING	WOOD	T & G	GYP BD									
KITCHEN	WOOD	T & G	GYP BD									
PANTRY	WOOD	GYP BD	GYP BD									
STORAGE	WOOD	GYP BD	GYP BD									
2ND FLOOR (GUEST HOUSE)												
BEDROOM	WOOD	T & G	GYP BD									
BATH	TILE	T & G	GYP BD									
CL	WOOD	T & G	GYP BD									

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

SCHEDULES



COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

RECORD MAIN HOUSE AREA CALCULATIONS



COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF NICOL ARCHITECTURE, INC. IT SHALL NOT BE REPRODUCED, ALTERED OR TRANSFERRED WITHOUT WRITTEN PERMISSION FROM NICOL ARCHITECTURE, INC.

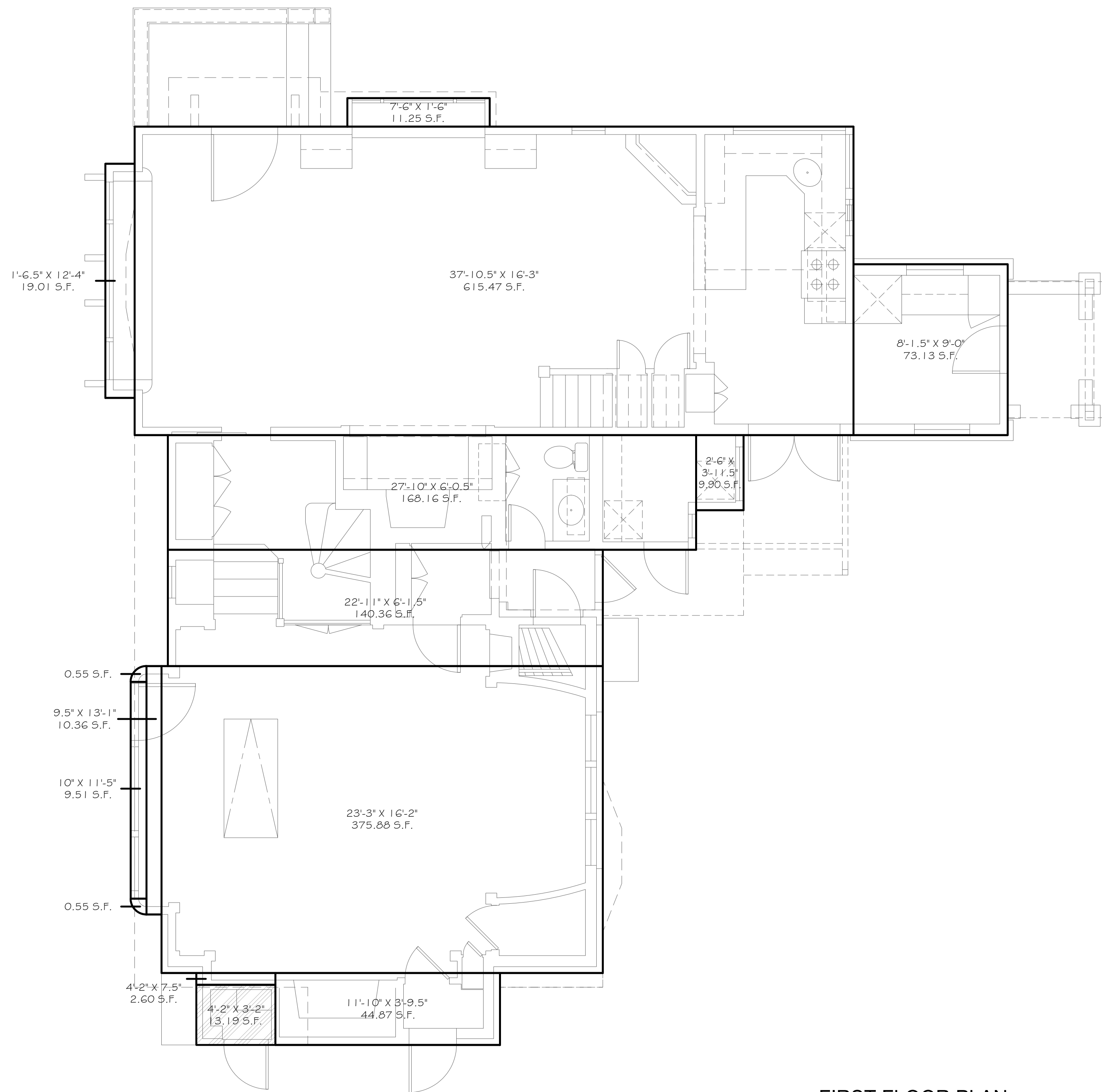
DATE: 6-5-20

SCALE: NOTED

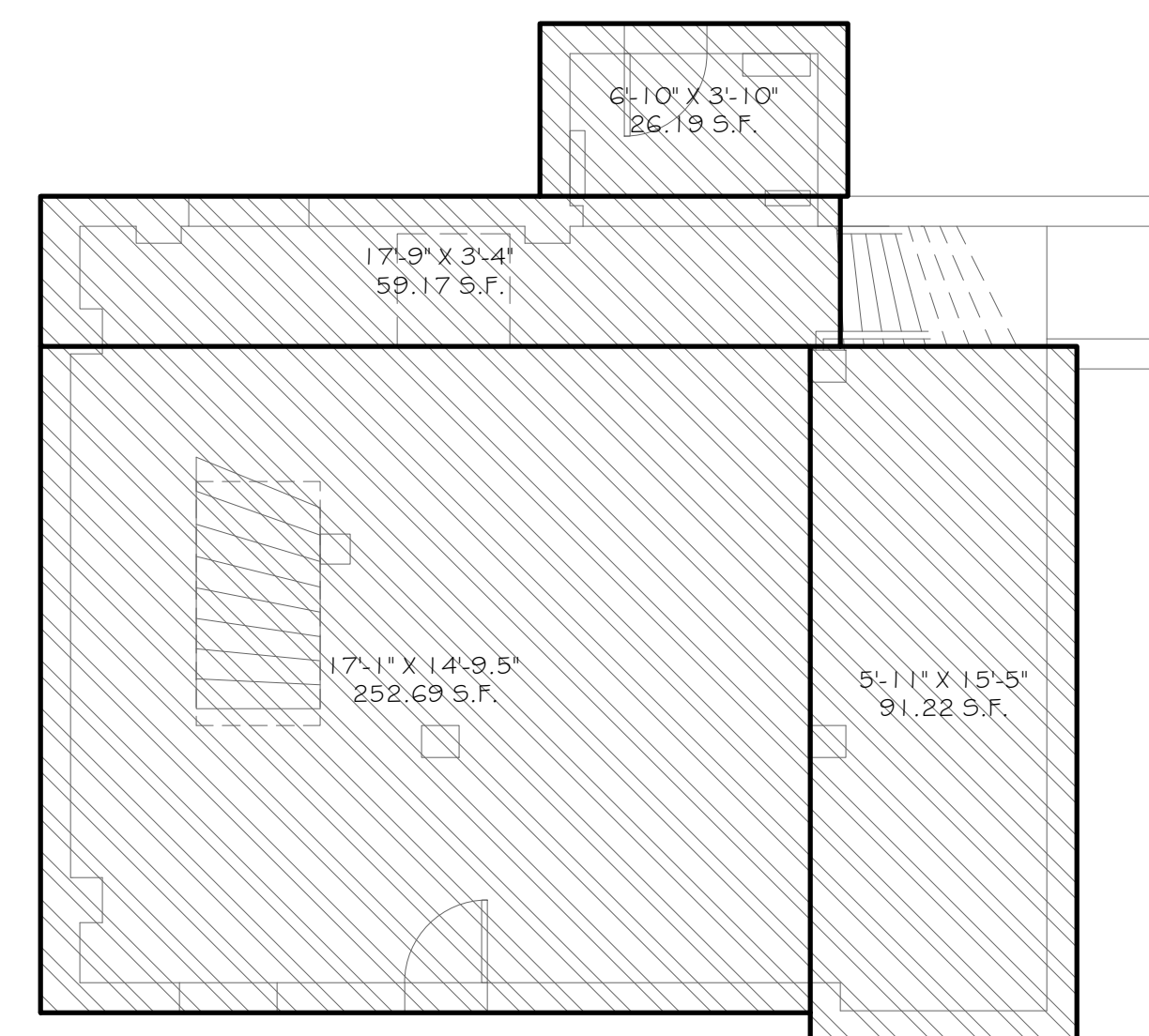
PROJECT: BRAFF

DRAWN BY: BC

ZAC-1



FIRST FLOOR PLAN
 EXISTING 1/4" = 1'-0"



BASEMENT FLOOR PLAN
 EXISTING 1/4" = 1'-0"

AREA CALCULATIONS:

DESCRIPTION	PROJECT DATA			
	EXISTING	PROPOSED	TOTAL	REMODEL
MAIN HOUSE:				
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF
TOTAL	2,733.95 SF	-26.39 SF	2,707.56 SF	642.63 SF
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS				
GUEST HOUSE:				
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF
CHART HOUSE:				
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF

LEGEND:

- HABITABLE AREA
- INFILL FLOOR AREA (STAIR REMOVAL)
- STORAGE AREA
- DECK AREA
- GARAGE AREA
- CELLAR AREA

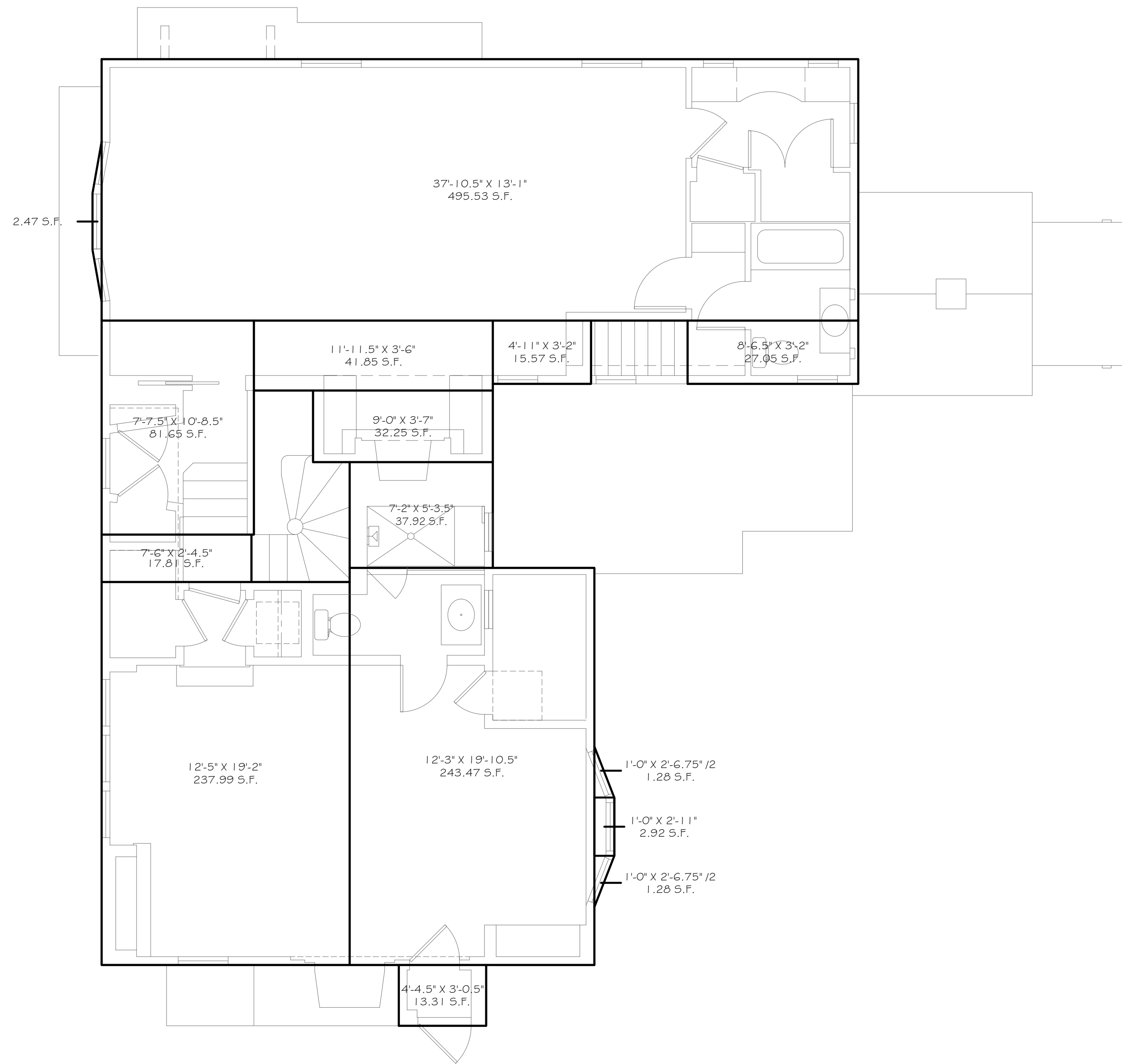
DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

RECORD MAIN HOUSE
AREA CALCULATIONS



SECOND FLOOR PLAN
 EXISTING 1/4" = 1'-0"

AREA CALCULATIONS:

DESCRIPTION	PROJECT DATA			
	EXISTING	PROPOSED	TOTAL	REMODEL
MAIN HOUSE:				
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF
TOTAL	2,733.95 SF	-26.39 SF	2,707.56 SF	642.63 SF
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS				
GUEST HOUSE:				
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF
CHART HOUSE:				
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF

LEGEND:

	HABITABLE AREA		INFILL FLOOR AREA (STAIR REMOVAL)
	STORAGE AREA		
	DECK AREA		
	GARAGE AREA		
	CELLAR AREA		



COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC

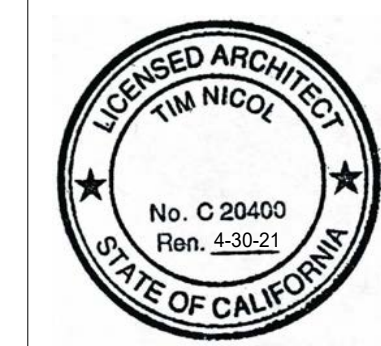


DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

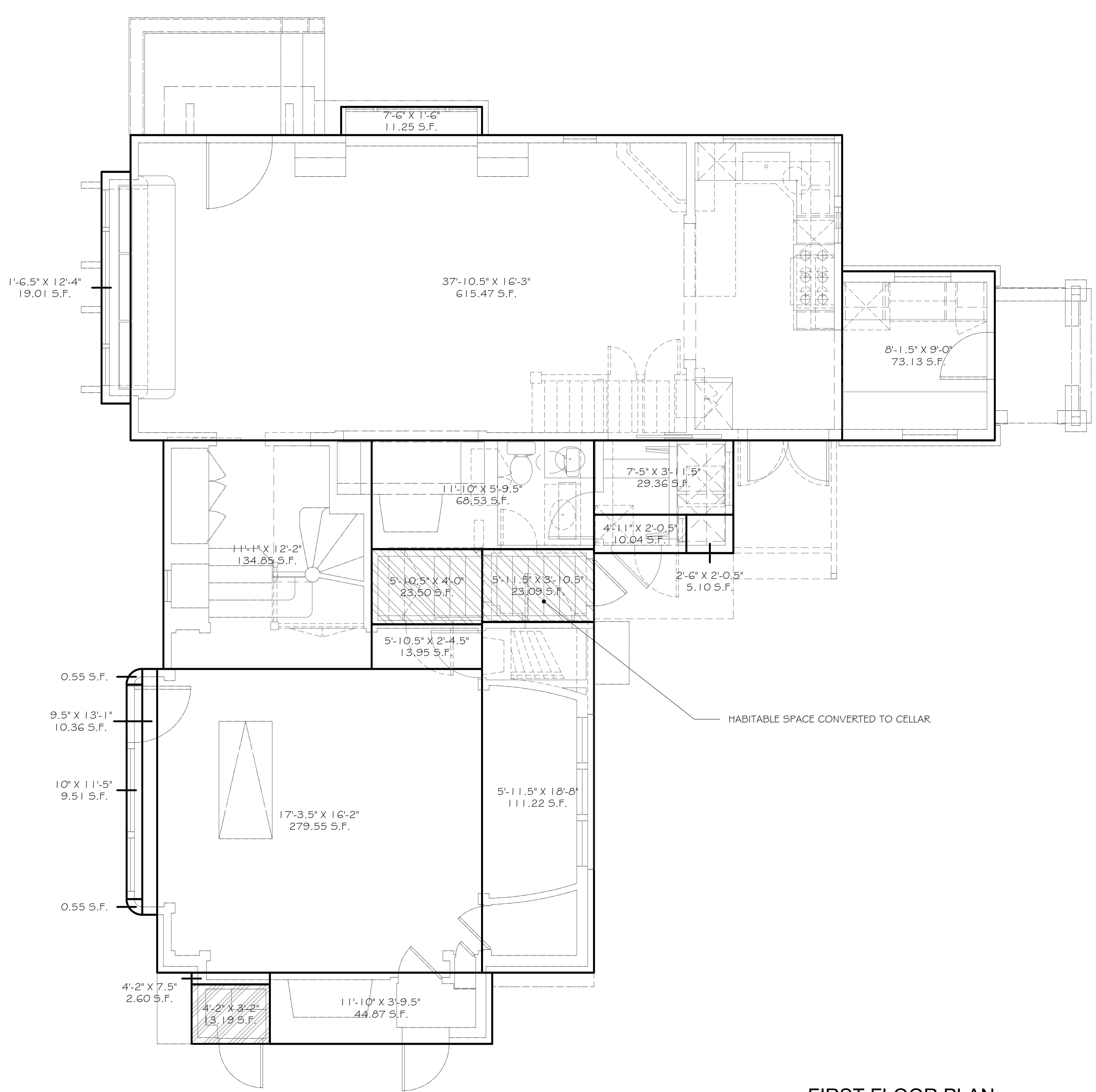
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

PROPOSED MAIN HOUSE
AREA CALCULATIONS

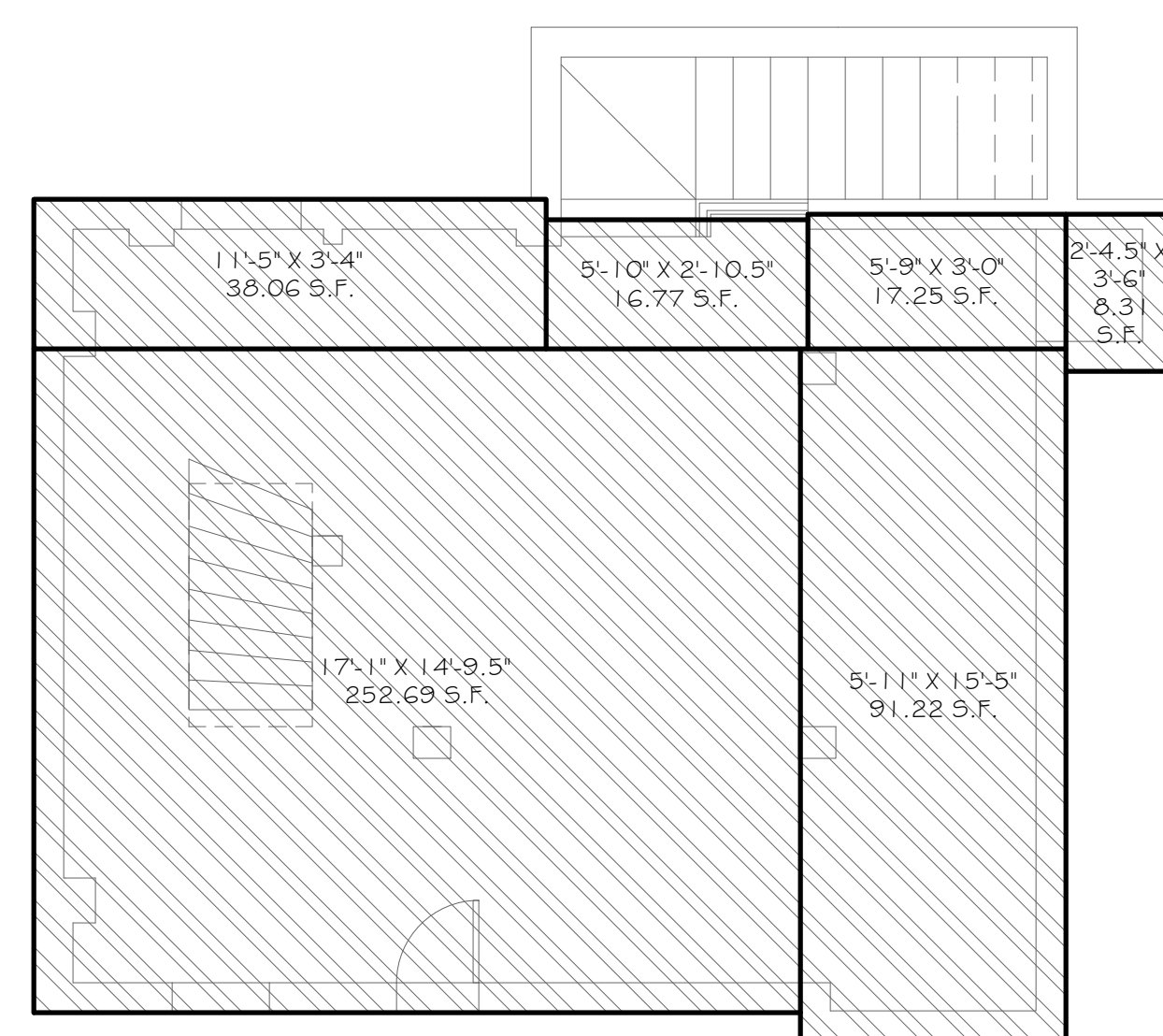


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



FIRST FLOOR PLAN
 PROPOSED 1/4" = 1'-0"



BASEMENT FLOOR PLAN
 PROPOSED 1/4" = 1'-0"

AREA CALCULATIONS:				
DESCRIPTION	PROJECT DATA			
	EXISTING	PROPOSED	TOTAL	REMODEL
MAIN HOUSE:				
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF
TOTAL	2,733.95 SF	-26.39 SF	2,707.56 SF	642.63 SF
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS				
GUEST HOUSE:				
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF
CHART HOUSE:				
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF

LEGEND:	
	HABITABLE AREA
	INFILL FLOOR AREA (STAIR REMOVAL)
	STORAGE AREA
	DECK AREA
	GARAGE AREA
	CELLAR AREA

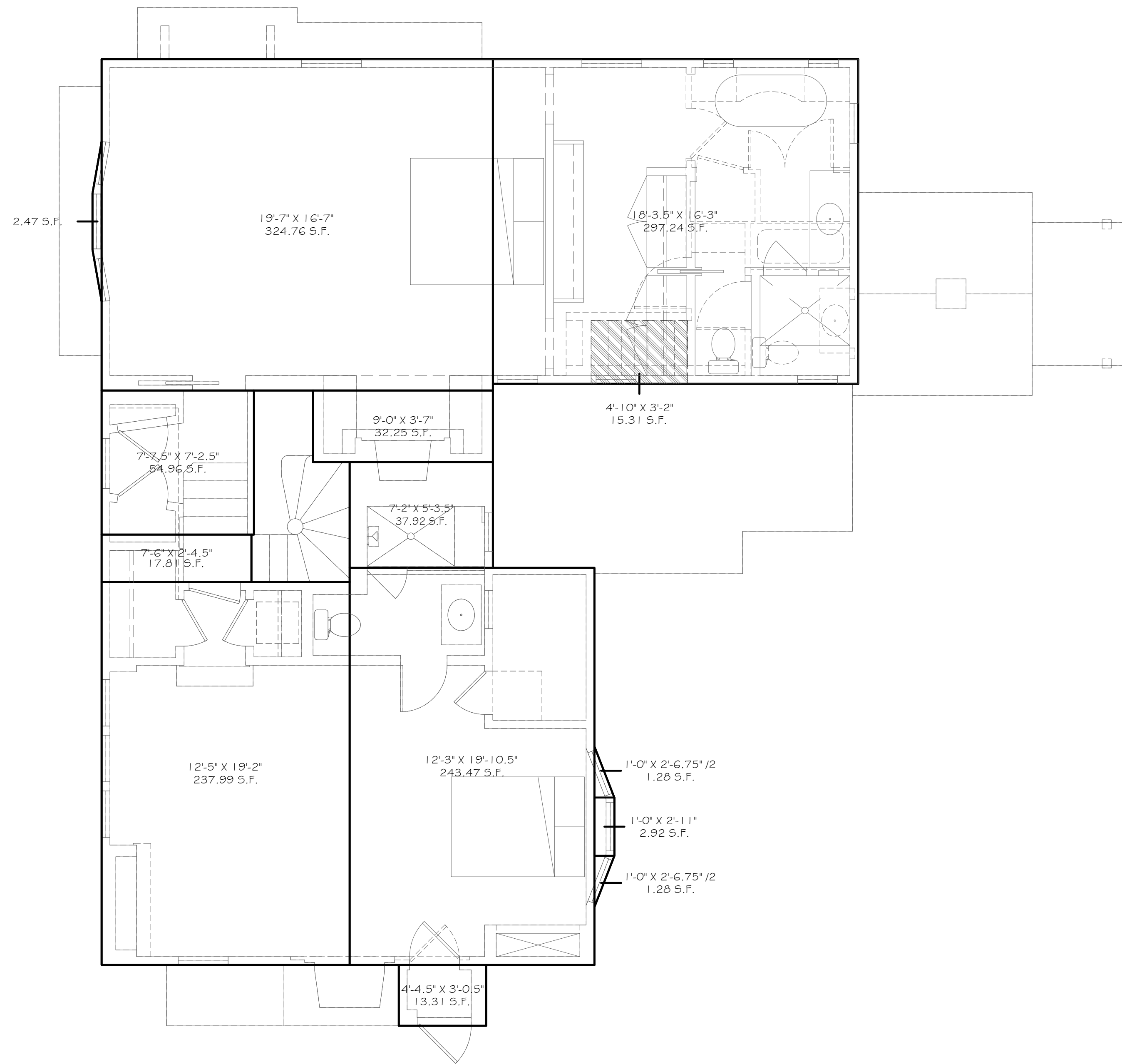
DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

PROPOSED MAIN HOUSE
AREA CALCULATIONS



SECOND FLOOR PLAN
 PROPOSED 1/4" = 1'-0"

AREA CALCULATIONS:

DESCRIPTION	PROJECT DATA			
	EXISTING	PROPOSED	TOTAL	REMODEL
MAIN HOUSE:				
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF
TOTAL	2,733.95 SF	-26.39 SF	2,707.56 SF	642.63 SF
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS				
GUEST HOUSE:				
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF
CHART HOUSE:				
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF

LEGEND:

- HABITABLE AREA
- STORAGE AREA
- DECK AREA
- GARAGE AREA
- CELLAR AREA
- INFILL FLOOR AREA (STAIR REMOVAL)

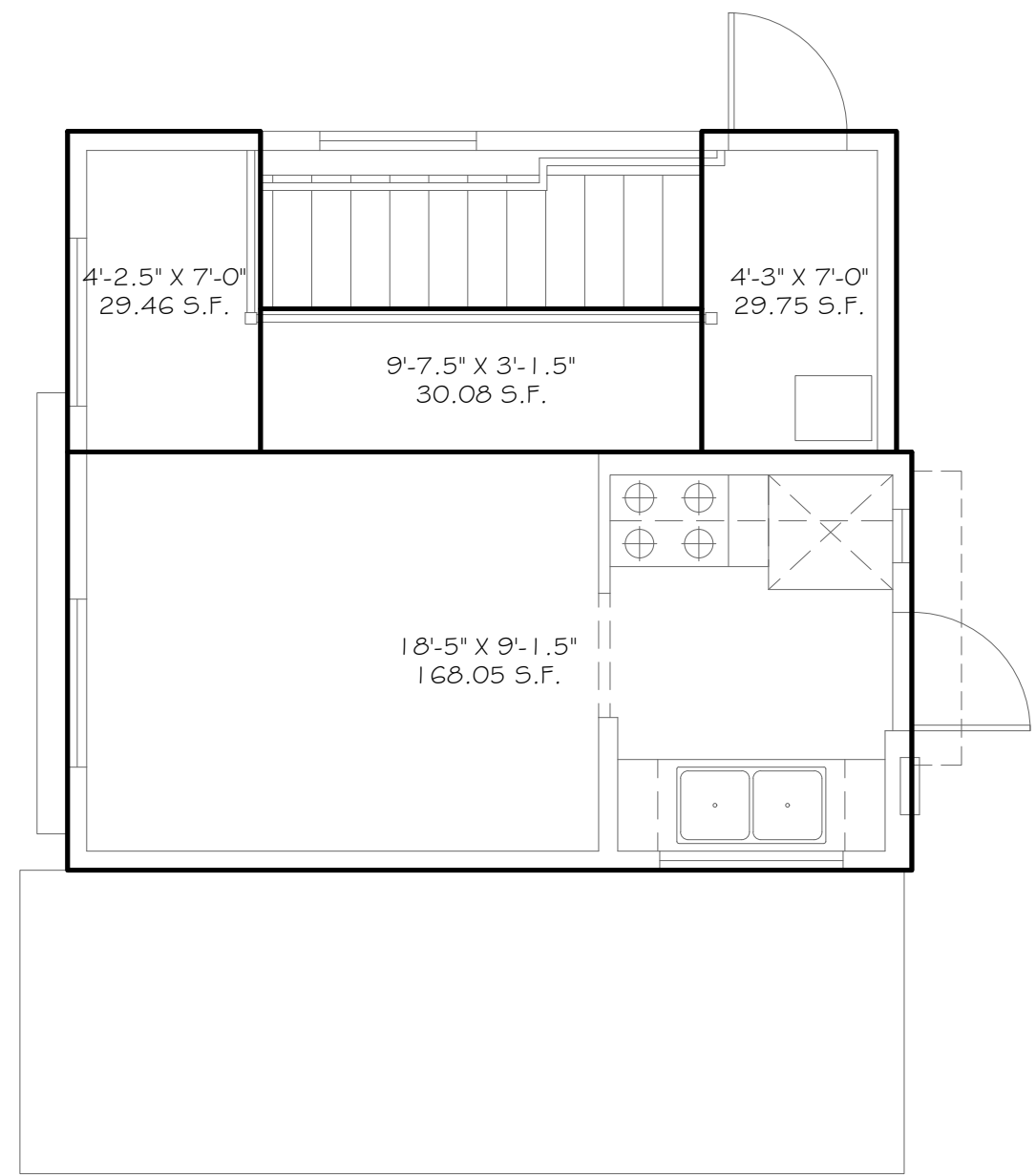


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

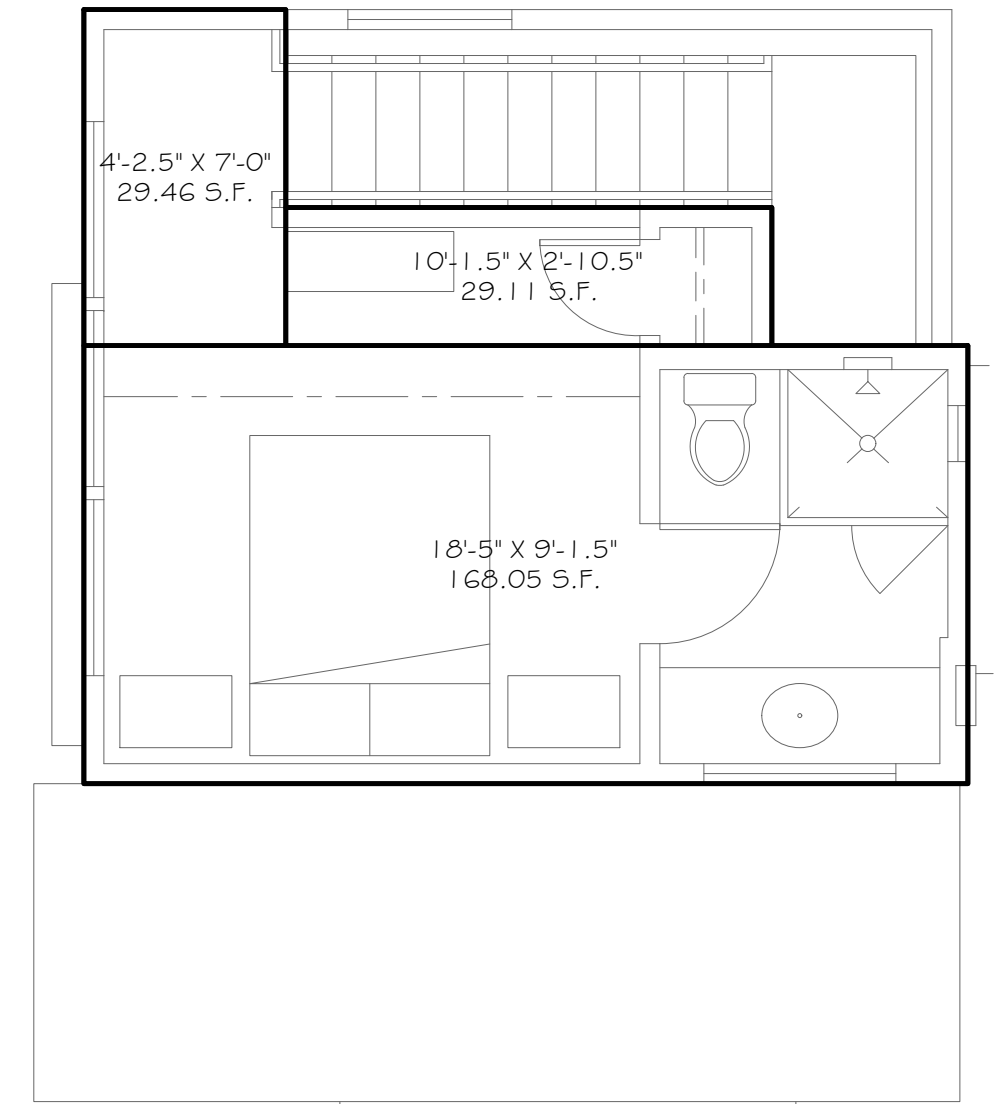
DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF

DRAWN BY: BC

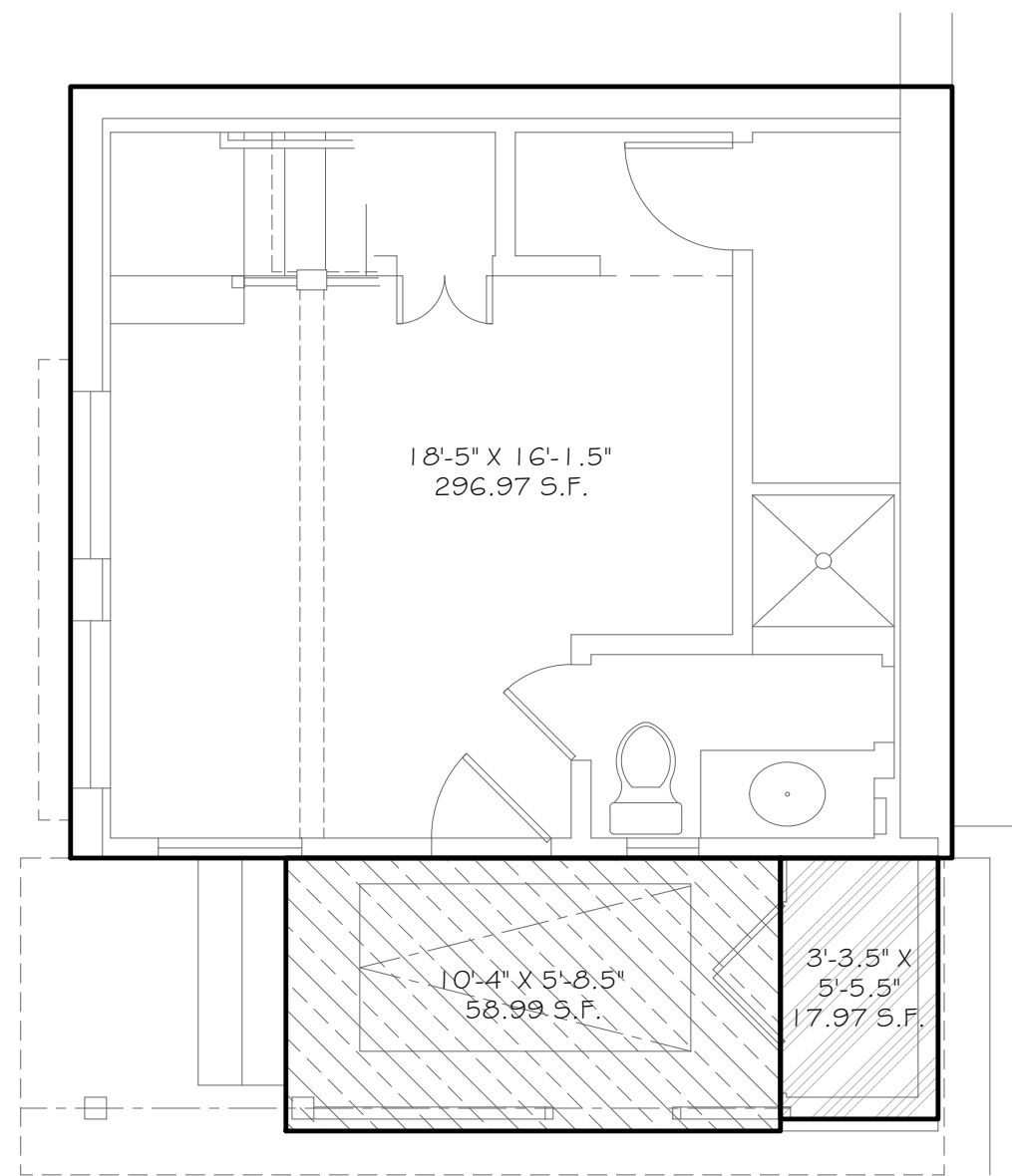




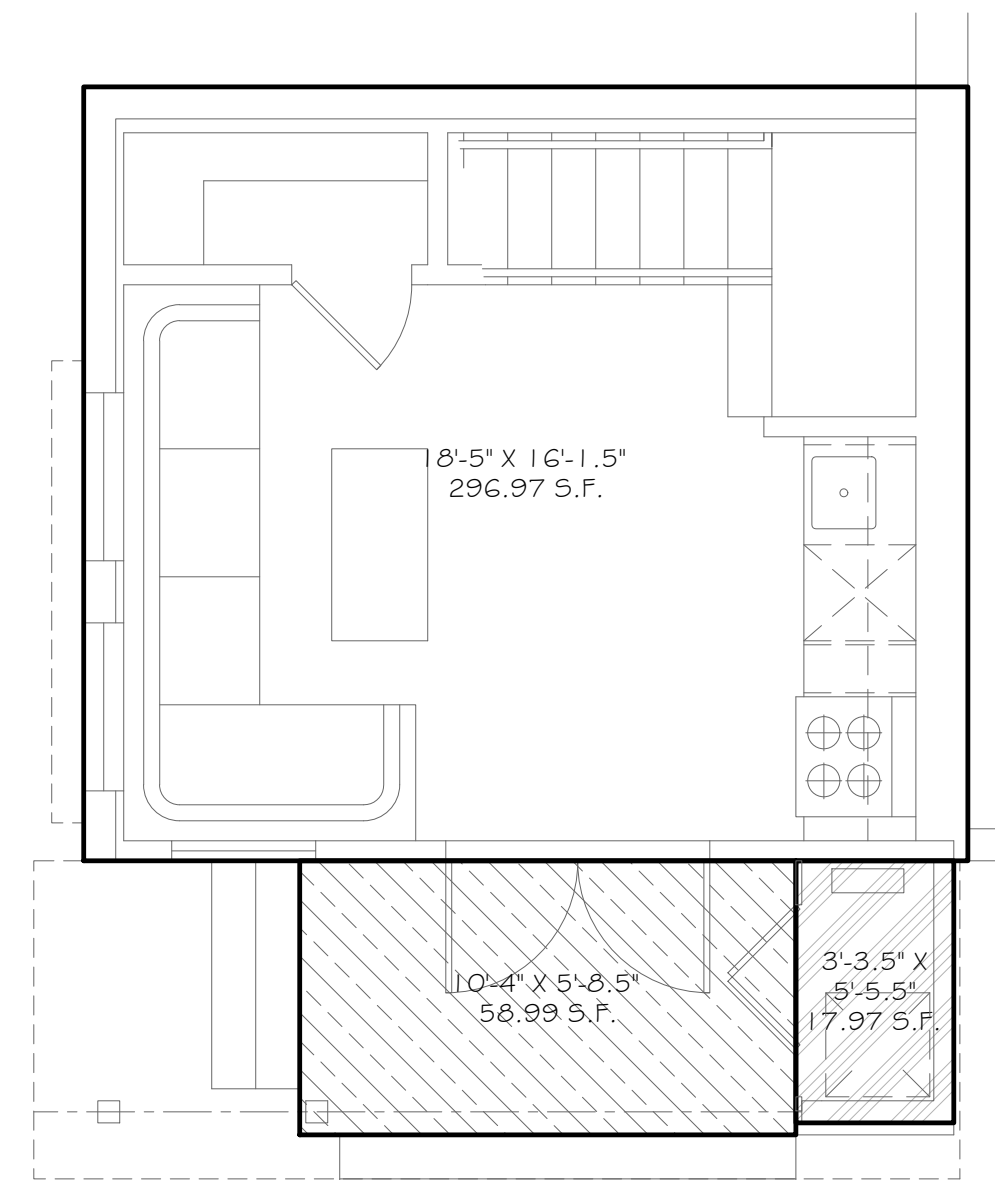
2ND FLOOR PLAN
EXISTING 1/4" = 1'-0"



2ND FLOOR PLAN
PROPOSED 1/4" = 1'-0"



1ST FLOOR PLAN
EXISTING 1/4" = 1'-0"



1ST FLOOR PLAN
PROPOSED 1/4" = 1'-0"

AREA CALCULATIONS:				
DESCRIPTION	PROJECT DATA			
	EXISTING	PROPOSED	TOTAL	REMODEL
MAIN HOUSE:				
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF
TOTAL	2,733.95 SF	-26.39 SF*	2,707.56 SF	642.63 SF
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS				
GUEST HOUSE:				
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF
CHART HOUSE:				
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF

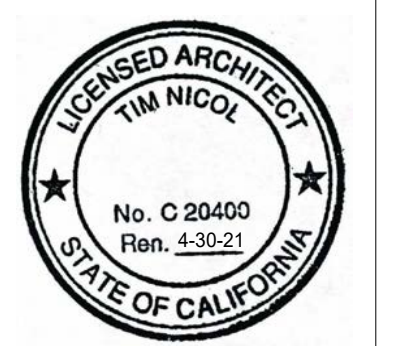
LEGEND:	
	HABITABLE AREA
	INFILL FLOOR AREA (STAIR REMOVAL)
	STORAGE AREA
	DECK AREA
	GARAGE AREA
	CELLAR AREA

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL ARCHITECTURE, INC.
604 VISTA LANE
LAGUNA BEACH
CA 92651
PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

GUEST HOUSE AREA CALCULATIONS



COPYRIGHT 2010 / 2011 / 2012 / 2013
THIS DOCUMENT IS THE PROPERTY OF
NICOL ARCHITECTURE, INC. IT SHALL NOT BE
REPRODUCED, ALTERED OR TRANSFERRED
WITHOUT WRITTEN PERMISSION FROM
NICOL ARCHITECTURE, INC.

DATE: 6-5-20
SCALE: NOTED
PROJECT: BRAFF
DRAWN BY: BC



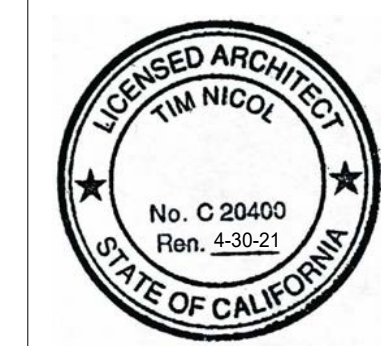
DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

CHART HOUSE
AREA CALCULATIONS



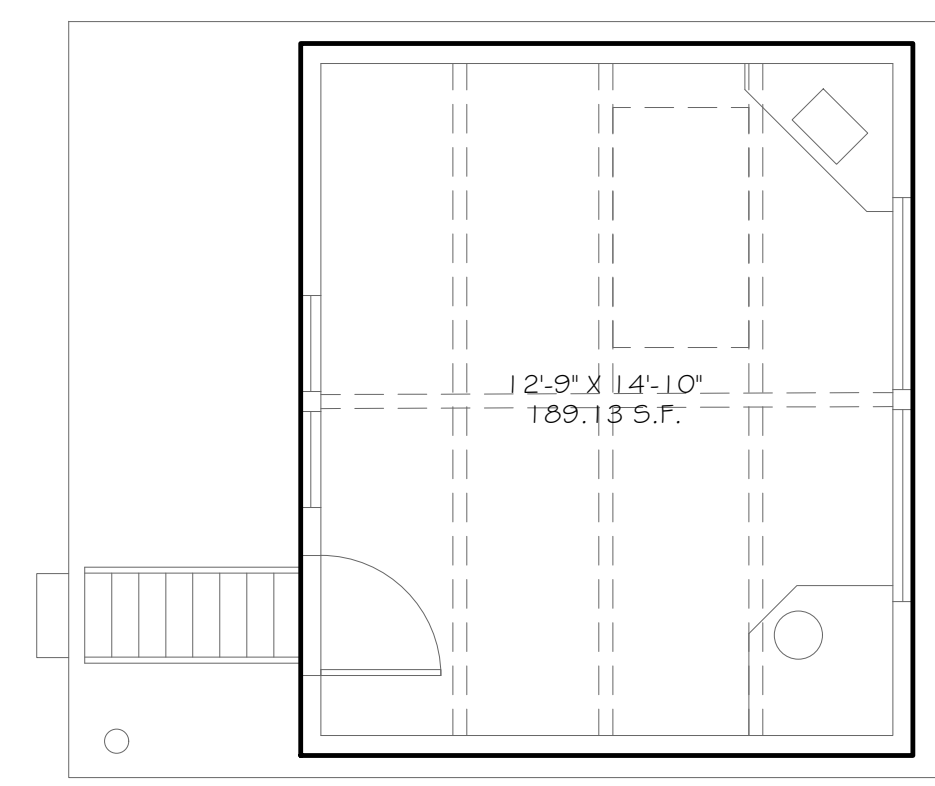
COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20

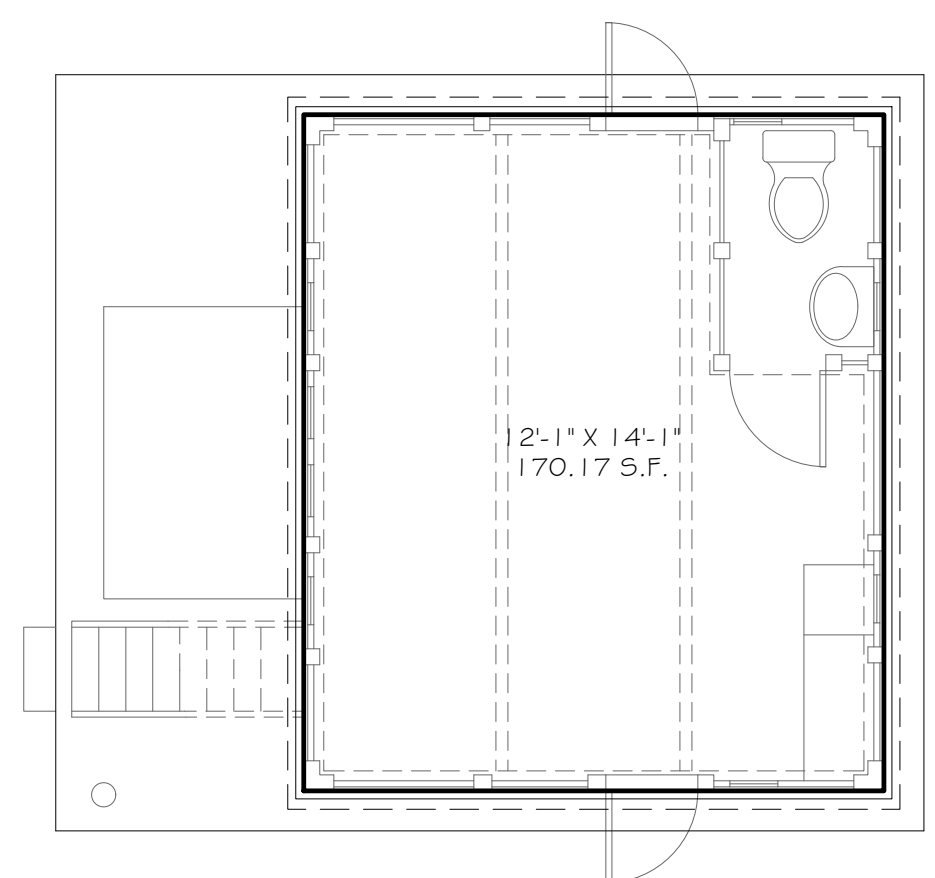
SCALE: NOTED

PROJECT: BRAFF

DRAWN BY: BC



2ND FLOOR PLAN
 EXISTING 1/4" = 1'-0"



1ST FLOOR PLAN
 EXISTING 1/4" = 1'-0"

AREA CALCULATIONS:

DESCRIPTION	PROJECT DATA			
	EXISTING	PROPOSED	TOTAL	REMODEL
MAIN HOUSE:				
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF
TOTAL	2,733.95 SF	-26.39 SF	2,707.56 SF	642.63 SF
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS				
GUEST HOUSE:				
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF
CHART HOUSE:				
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF

LEGEND:

- HABITABLE AREA
- INFILL FLOOR AREA (STAIR REMOVAL)
- STORAGE AREA
- DECK AREA
- GARAGE AREA
- CELLAR AREA

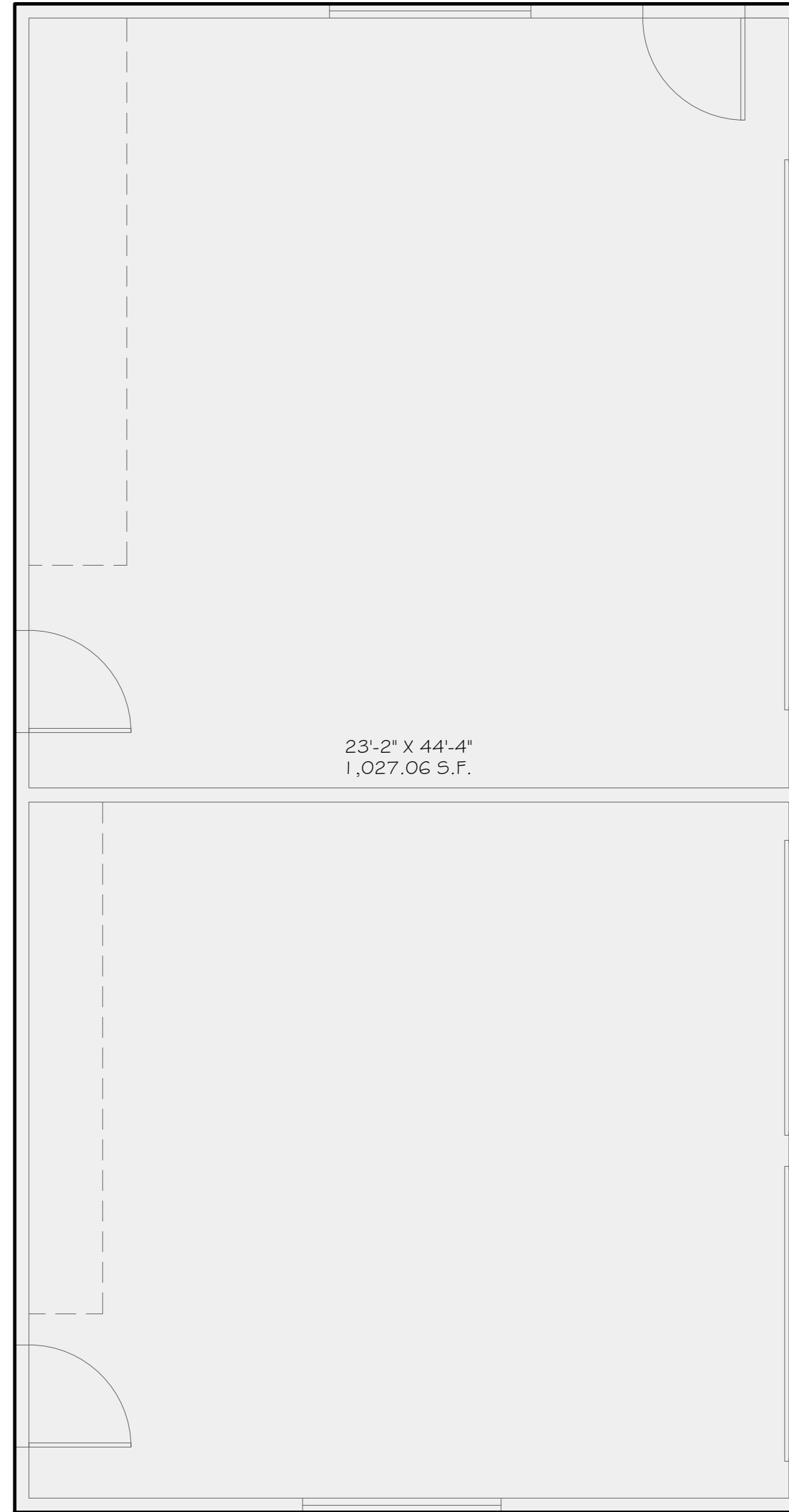
DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

GARAGE 1
AREA CALCULATIONS



GARAGE FLOOR PLAN
 EXISTING 1/4" = 1'-0"

AREA CALCULATIONS:					LEGEND:	
DESCRIPTION	PROJECT DATA				HABITABLE AREA	INFILL FLOOR AREA (STAIR REMOVAL)
	EXISTING	PROPOSED	TOTAL	REMODEL		
MAIN HOUSE:						
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF		
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF		
TOTAL	2,733.95 SF	-26.39 SF*	2,707.56 SF	642.63 SF		
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF		
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF		
*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS						
GUEST HOUSE:						
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF		
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF		
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF		
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF		
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF		
CHART HOUSE:						
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF		
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF		
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF		
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF		
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF		



COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20

SCALE: NOTED

PROJECT: BRAFF

DRAWN BY: BC

ZAC-7

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

GARAGE 2
AREA CALCULATIONS



COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

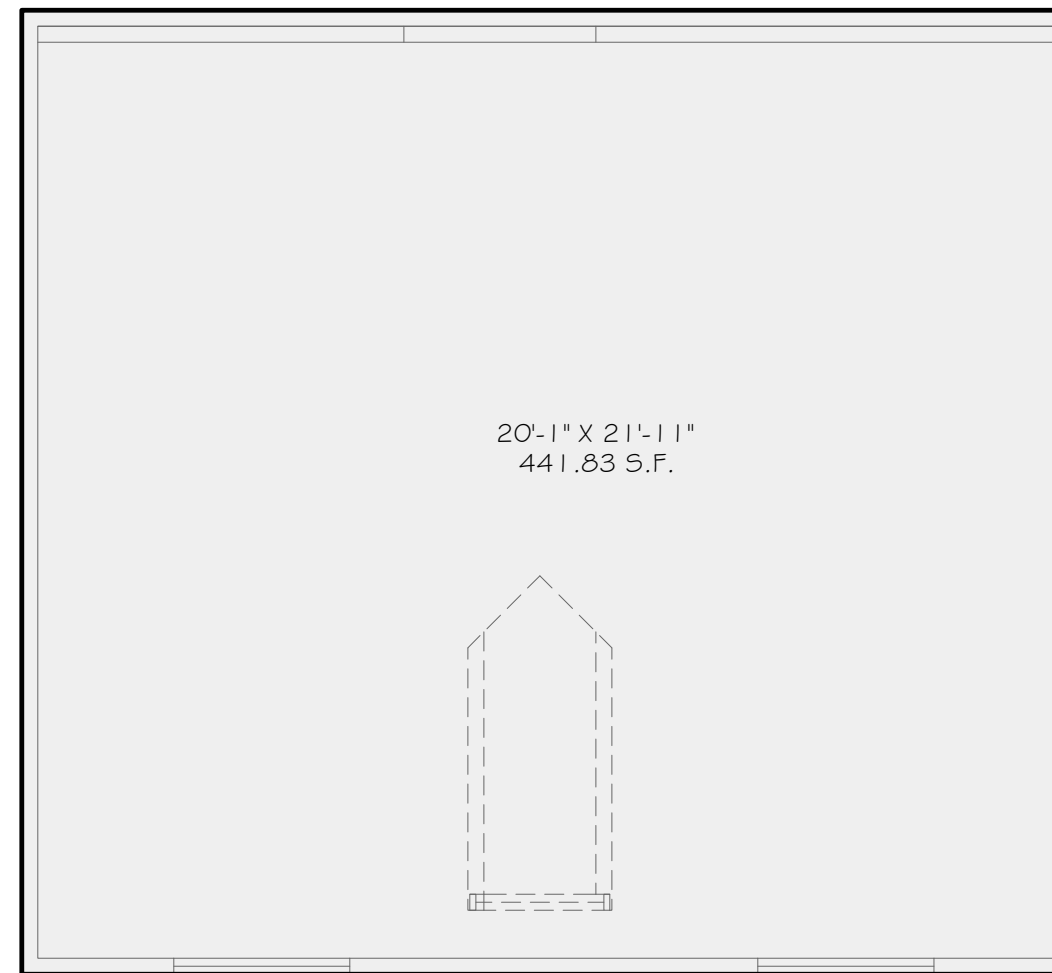
DATE: 6-5-20

SCALE: NOTED

PROJECT: BRAFF

DRAWN BY: BC

ZAC-8



GARAGE FLOOR PLAN
 EXISTING 1/4" = 1'-0"

AREA CALCULATIONS:					LEGEND:	
DESCRIPTION	PROJECT DATA				HABITABLE AREA	INFILL FLOOR AREA (STAIR REMOVAL)
	EXISTING	PROPOSED	TOTAL	REMODEL		
MAIN HOUSE:						
1ST FLOOR	1,481.60 SF	-41.70 SF	1,439.90 SF	368.53 SF		
2ND FLOOR	1,252.35 SF	15.31 SF	1,267.66 SF	274.10 SF		
TOTAL	2,733.95 SF	-26.39 SF	2,707.56 SF	642.63 SF		
BASEMENT	429.27 SF	41.62 SF*	470.89 SF	7.61 SF		
STORAGE	13.19 SF	0.00 SF	13.19 SF	0.00 SF		
	*EXISTING HABITABLE SPACE TO BE CONVERTED TO CELLAR ACCESS					
GUEST HOUSE:						
1ST FLOOR	296.97 SF	0.00 SF	296.97 SF	72.68 SF		
2ND FLOOR	257.34 SF	-30.72 SF	226.62 SF	142.66 SF		
TOTAL	554.31 SF	-30.72 SF	523.59 SF	215.34 SF		
DECK	58.99 SF	0.00 SF	58.99 SF	0.00 SF		
STORAGE	17.97 SF	0.00 SF	17.97 SF	0.00 SF		
CHART HOUSE:						
1ST FLOOR	170.17 SF	0.00 SF	170.17 SF	0.00 SF		
2ND FLOOR	189.13 SF	0.00 SF	189.13 SF	0.00 SF		
TOTAL	359.30 SF	0.00 SF	359.30 SF	0.00 SF		
GARAGE 1	1,027.06 SF	0.00 SF	1,027.06 SF	0.00 SF		
GARAGE 2 (ORIGINAL GARAGE)	441.83 SF	0.00 SF	441.83 SF	0.00 SF		

FLOOR PLAN LEGEND:

- NEW EXTERIOR WALL
- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
- EXISTING WALL TO BE DEMO'D

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

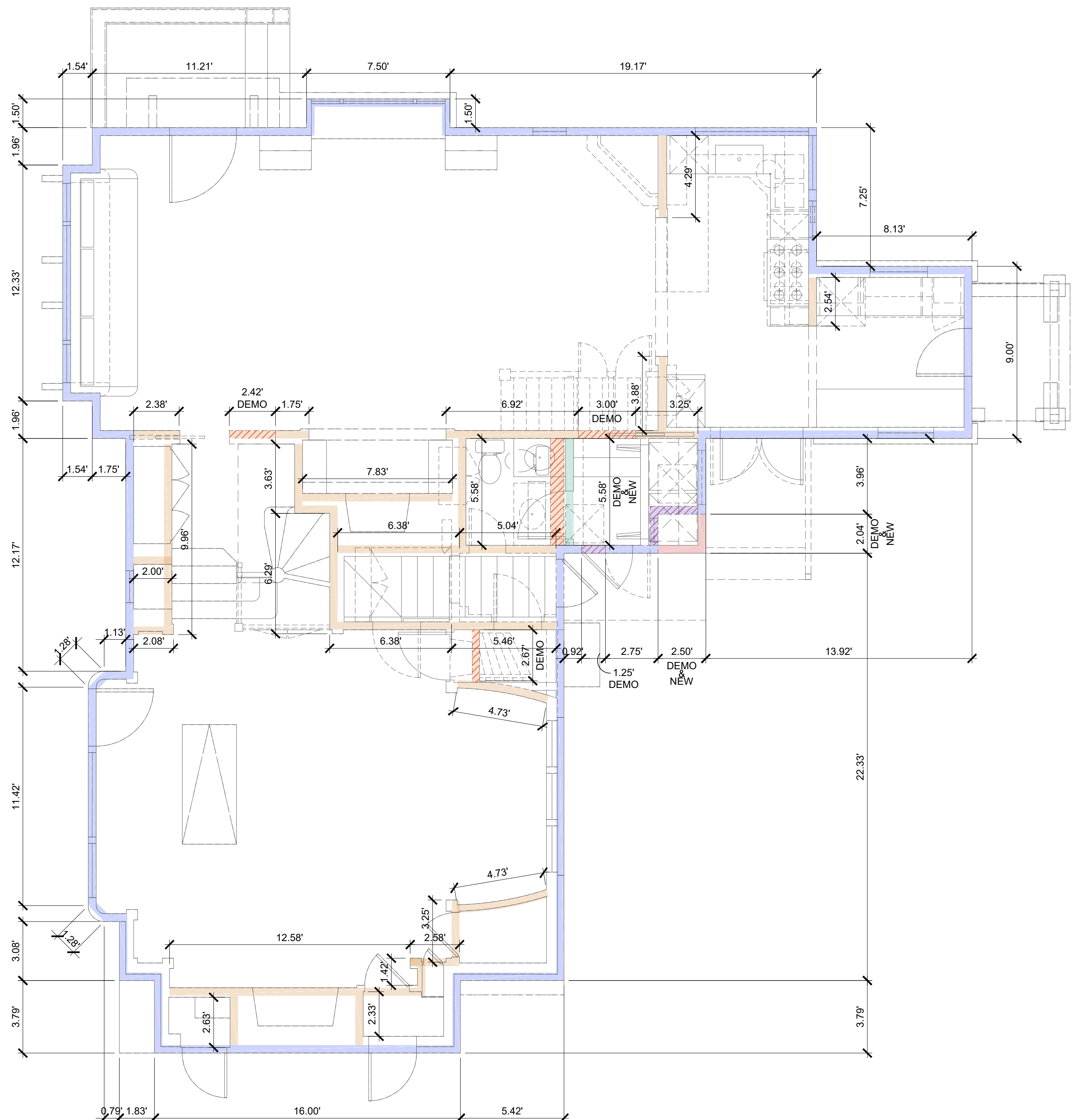
BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

MAIN HOUSE WALL DEMO
AREA CALCULATIONS

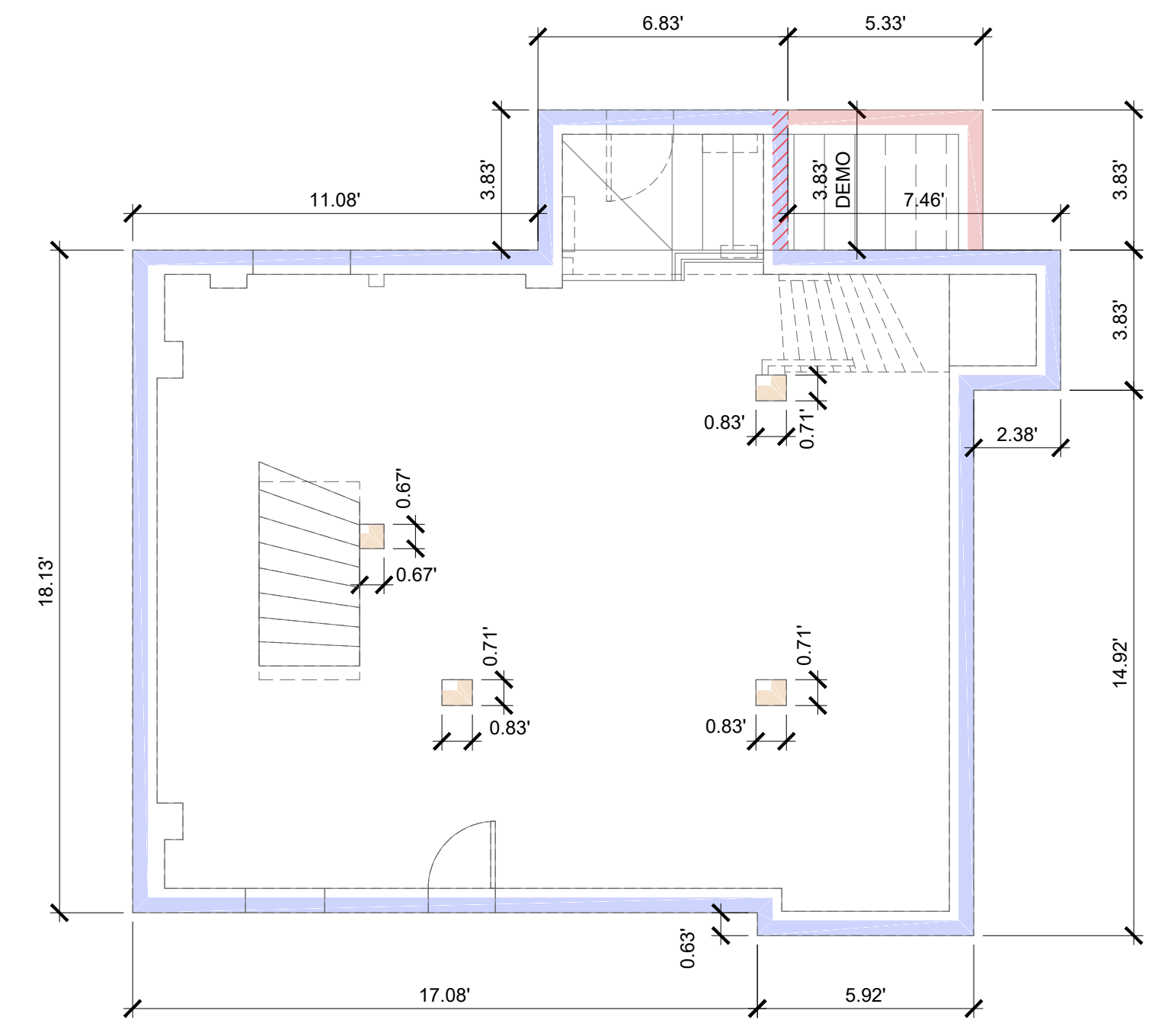


COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

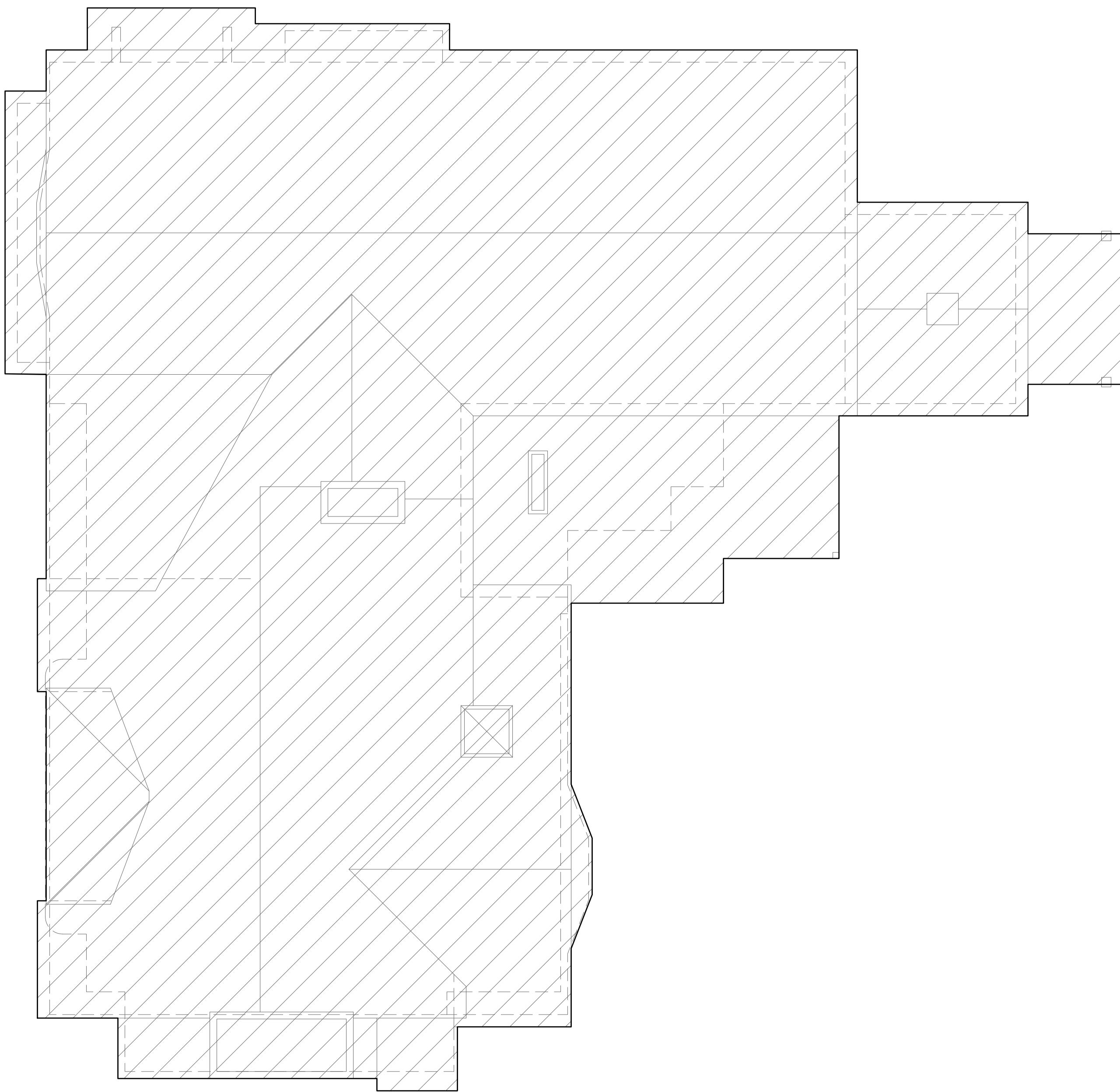
DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF
 DRAWN BY: BC



FIRST FLOOR PLAN
 1/4" = 1'-0"


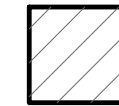


BASEMENT FLOOR PLAN
 1/4" = 1'-0"



PROPOSED ROOF PLAN
1/4" = 1'-0"

ROOF PLAN LEGEND:

-  EXISTING AREA TO BE DEMO'D, REMOVED AND/OR RECONSTRUCTED
-  EXISTING AREA OF ROOF FRAMING SYSTEM

AREA CALCULATIONS:

ROOF FRAMING SYSTEM	EXISTING AREA	EXISTING AREA TO BE DEMO'D, REMOVED AND/OR RECONSTRUCTED / % OF TOTAL EXISTING AREA
	1,721.28 SF	0.00 SF / 0% < 50%

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL ARCHITECTURE, INC.
604 VISTA LANE
LAGUNA BEACH
CA 92651
PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

MAIN HOUSE ROOF DEMO AREA CALCULATIONS



COPYRIGHT 2010 / 2011 / 2012 / 2013
THIS DOCUMENT IS THE PROPERTY OF
NICOL ARCHITECTURE, INC. IT SHALL NOT BE
REPRODUCED, ALTERED OR TRANSFERRED
WITHOUT WRITTEN PERMISSION FROM
NICOL ARCHITECTURE, INC.

DATE: 6-5-20

SCALE: NOTED

PROJECT: BRAFF

DRAWN BY: BC

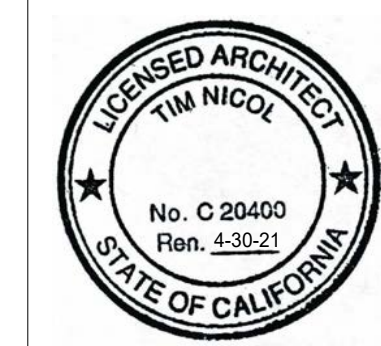
ZAC-11

DISTRIBUTION / REVISIONS		
No.	Date	Revision

NICOL
ARCHITECTURE, INC.
 604 VISTA LANE
 LAGUNA BEACH
 CA 92651
 PH 949 494 0026

BRAFF/CHRISTOU
RESIDENCE
(PHASE 1)
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA 92651

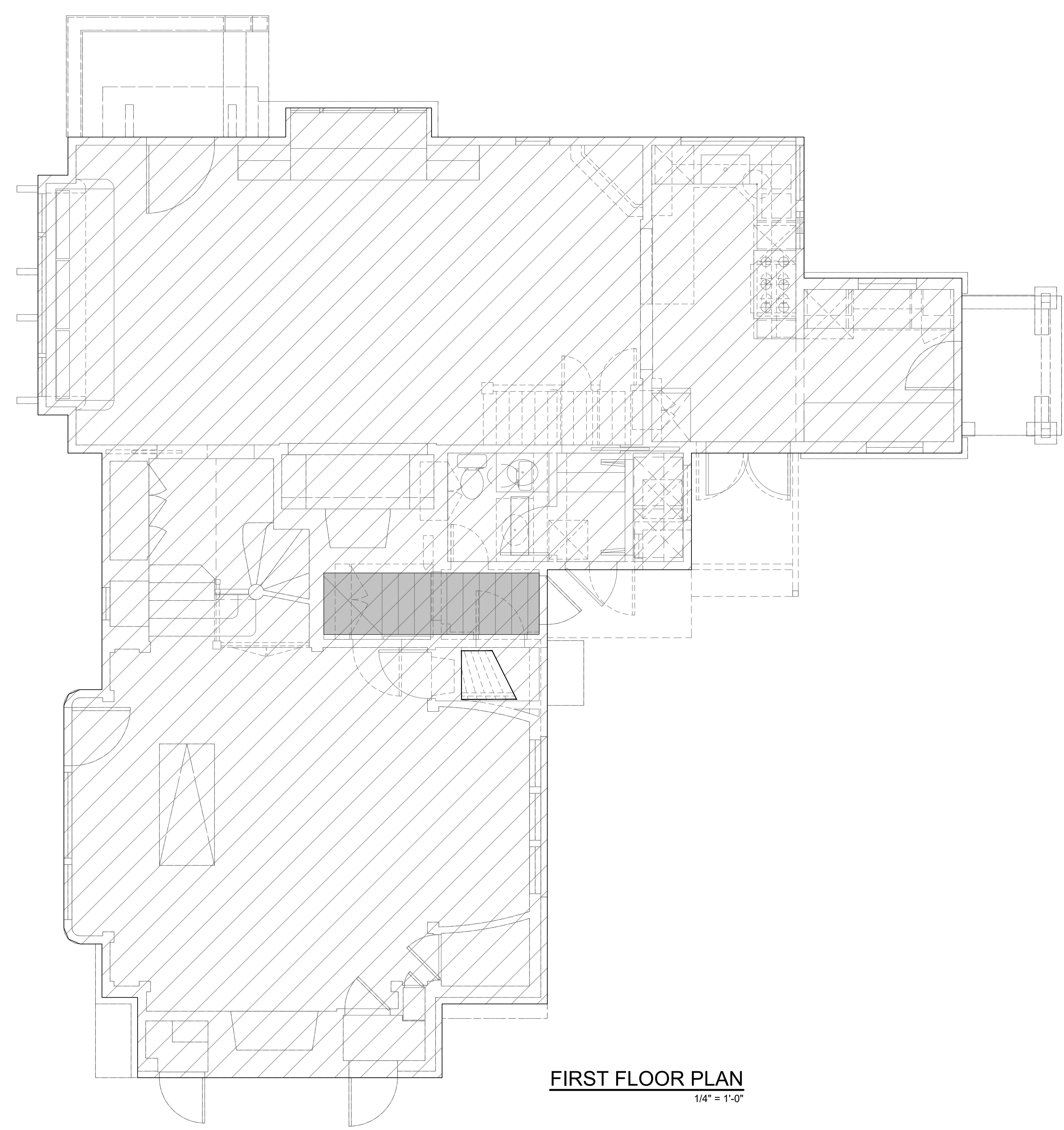
MAIN HOUSE FLOOR
DEMO AREA
CALCULATIONS



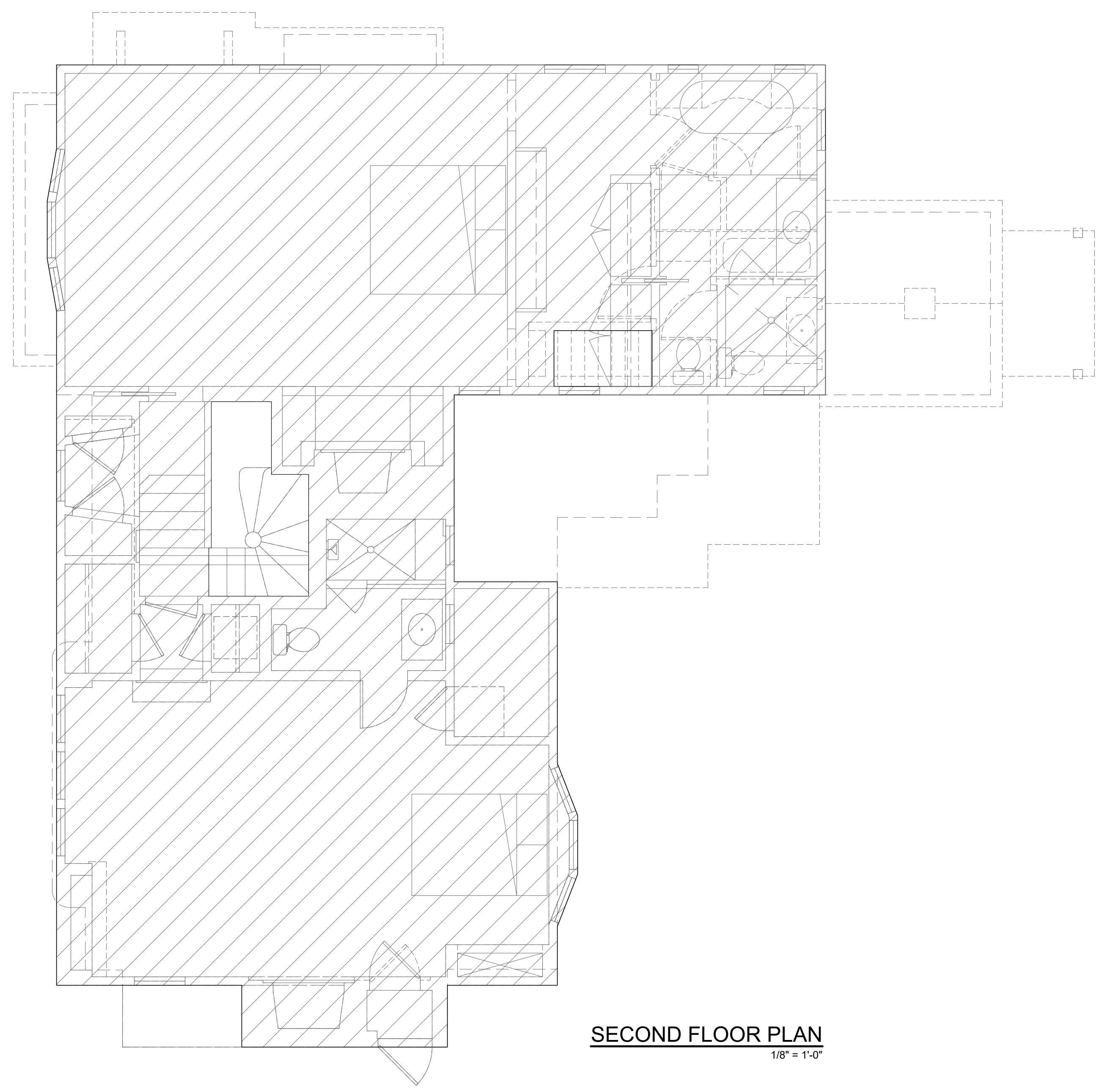
COPYRIGHT 2010 / 2011 / 2012 / 2013
 THIS DOCUMENT IS THE PROPERTY OF
 NICOL ARCHITECTURE, INC. IT SHALL NOT BE
 REPRODUCED, ALTERED OR TRANSFERRED
 WITHOUT WRITTEN PERMISSION FROM
 NICOL ARCHITECTURE, INC.

DATE: 6-5-20
 SCALE: NOTED
 PROJECT: BRAFF

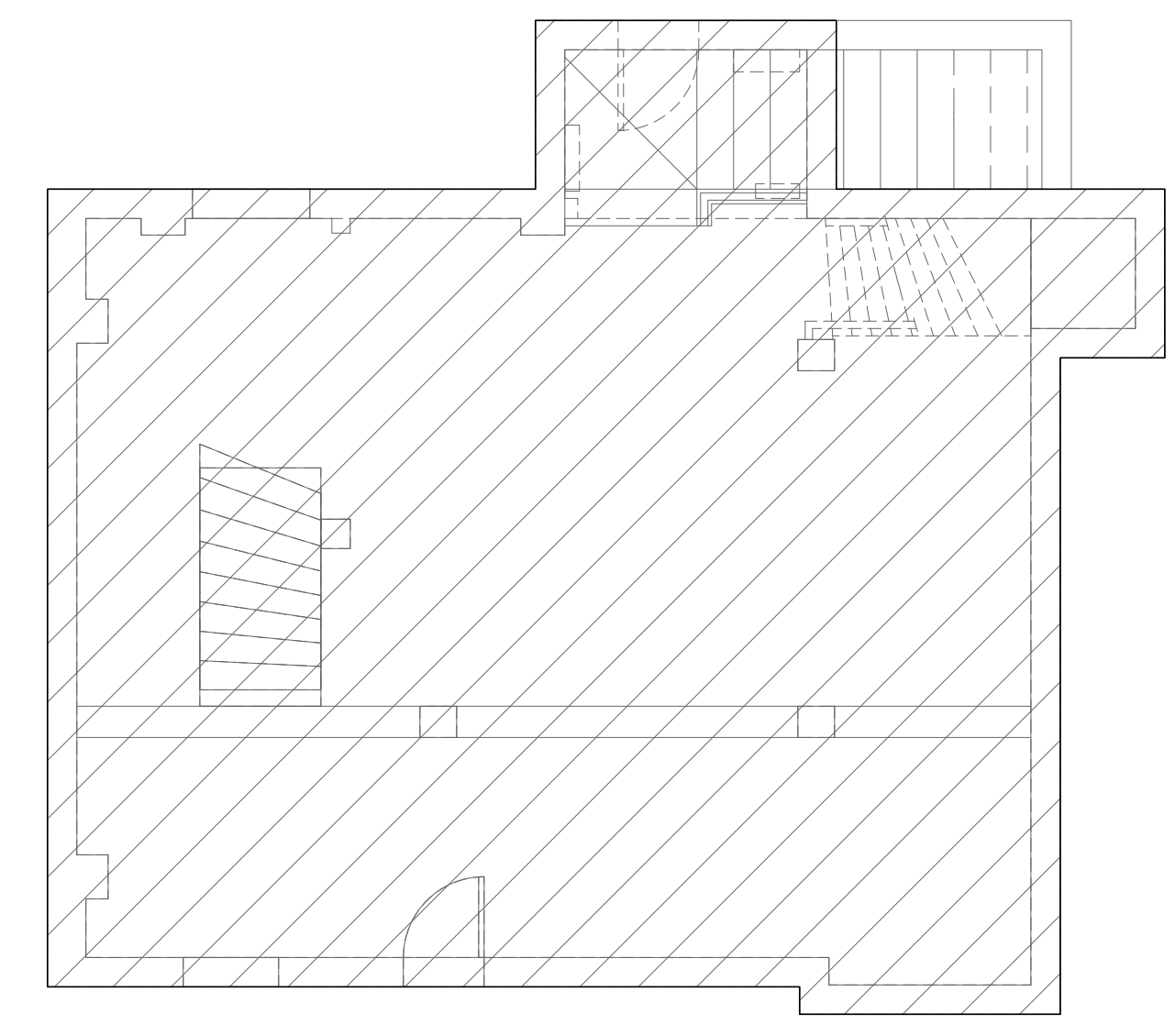
DRAWN BY: BC



FIRST FLOOR PLAN
 1/4" = 1'-0"



SECOND FLOOR PLAN
 1/8" = 1'-0"



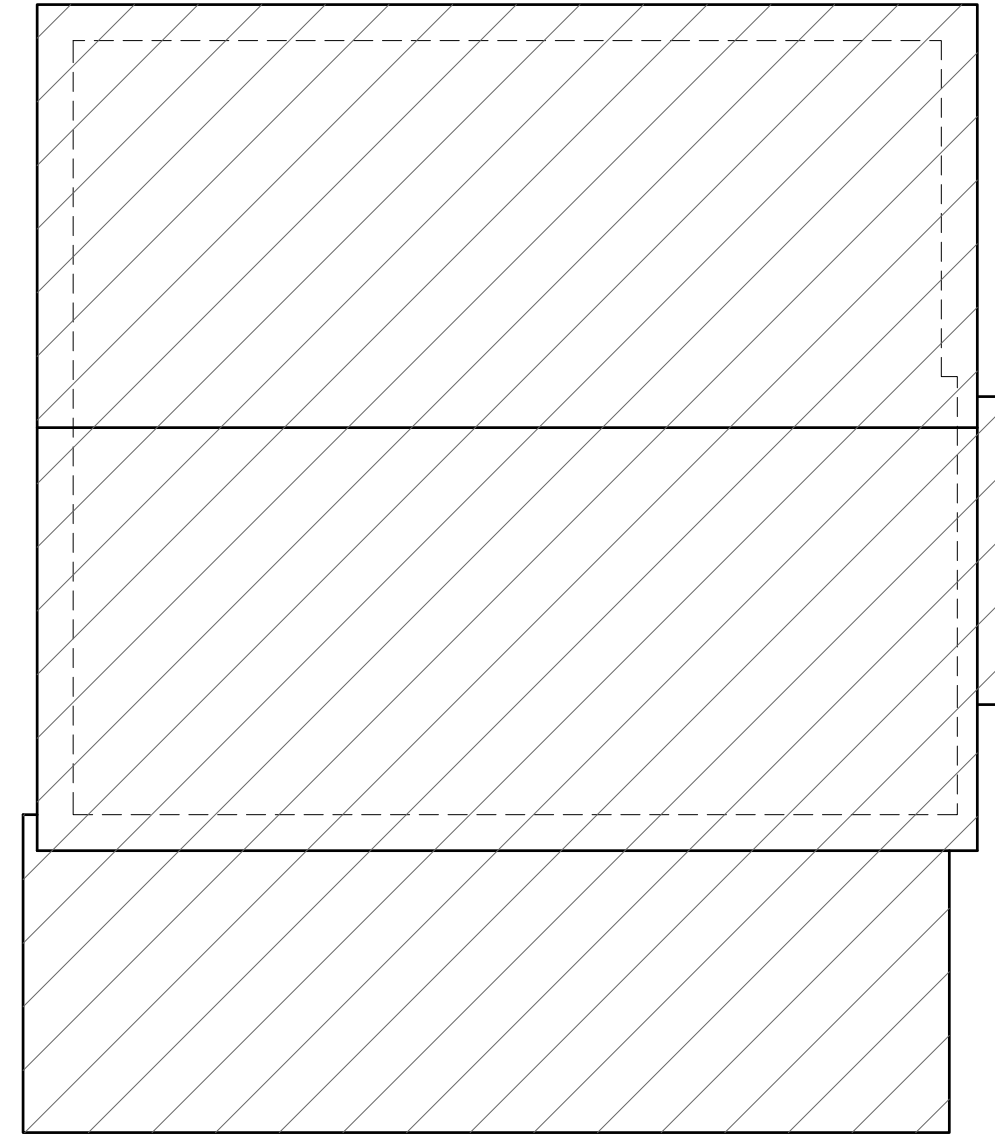
BASEMENT FLOOR PLAN
 1/8" = 1'-0"

FLOOR PLAN LEGEND:

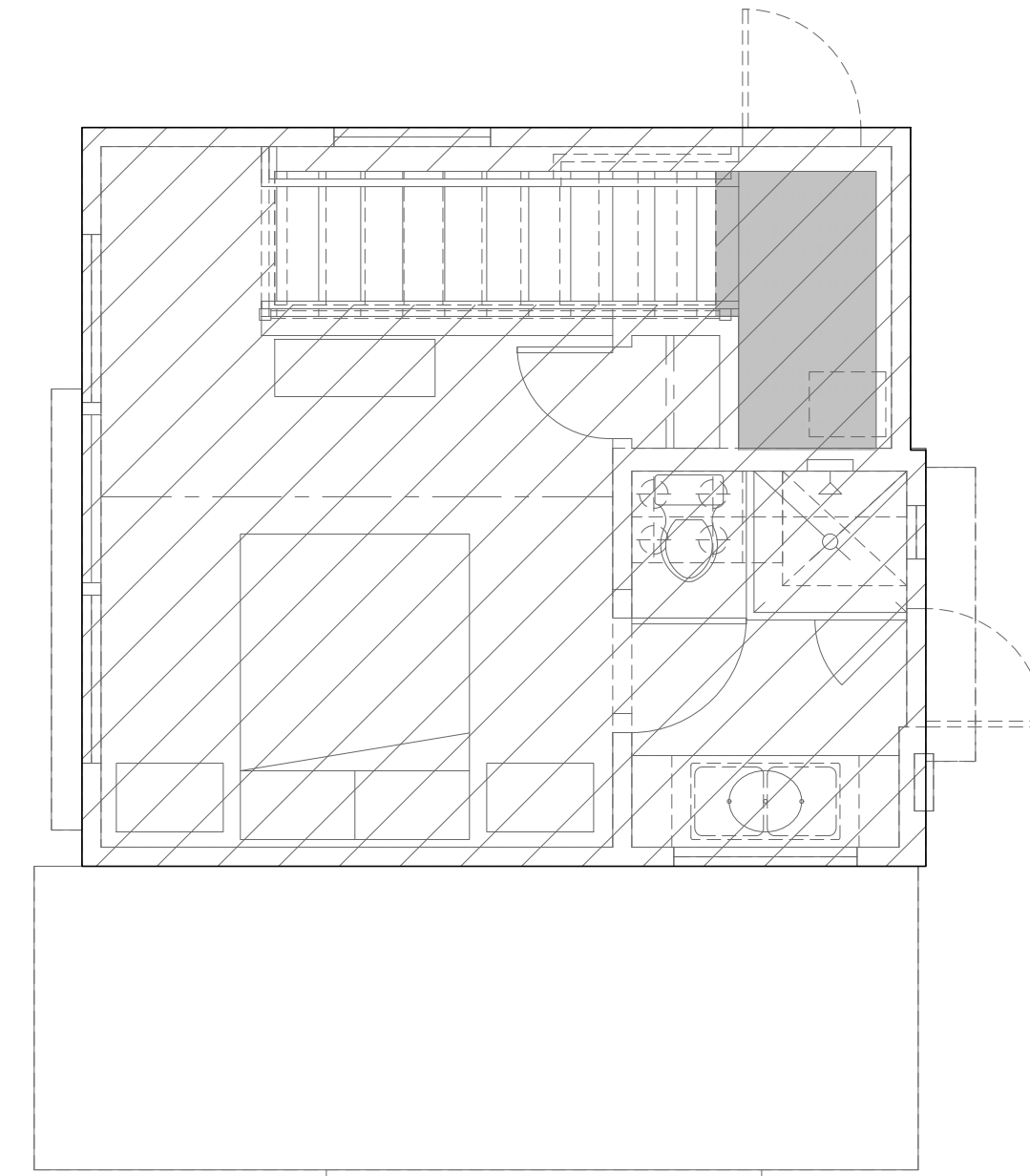
- EXISTING HABITABLE AREA TO BE RECONSTRUCTED & CONVERTED TO CELLAR ACCESS AREA
- EXISTING AREA OF ROOF FRAMING SYSTEM AND STRUCTURAL FLOOR SYSTEM

AREA CALCULATIONS:

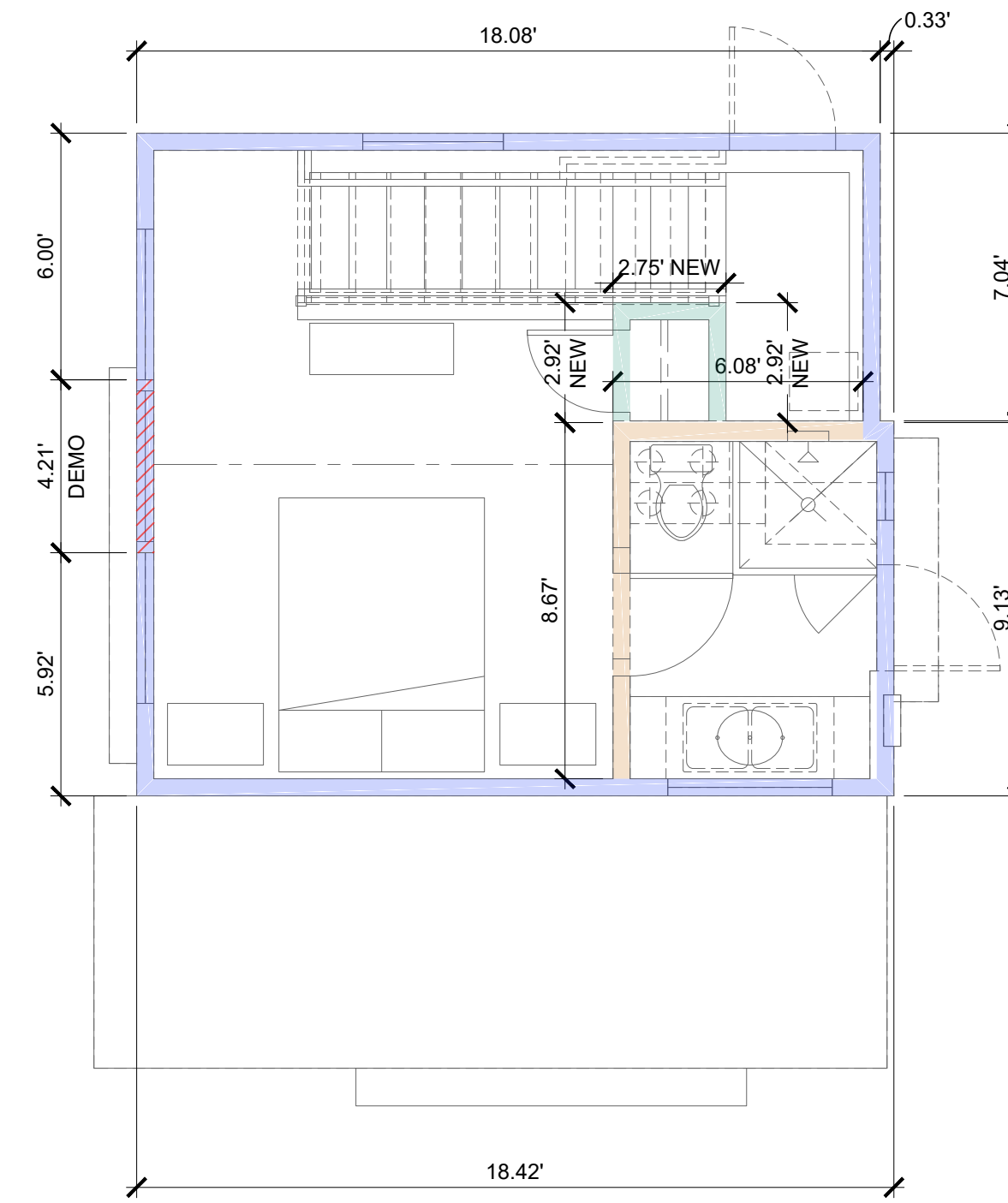
EXISTING ROOF FRAMING SYSTEM (EAVE NOT INCLUDED) OR STRUCTURAL FLOOR SYSTEM	EXISTING AREA	EXISTING AREA TO BE DEMO'D, REMOVED AND/OR RECONSTRUCTED / % OF TOTAL EXISTING AREA
BASEMENT	455.87	0 / 0%
FIRST FLOOR	1,494.15	35.10 / 1.09%
SECOND FLOOR	1,271.85	0 / 0%
TOTAL	3,221.87	35.10 / 1.09 % < 50%



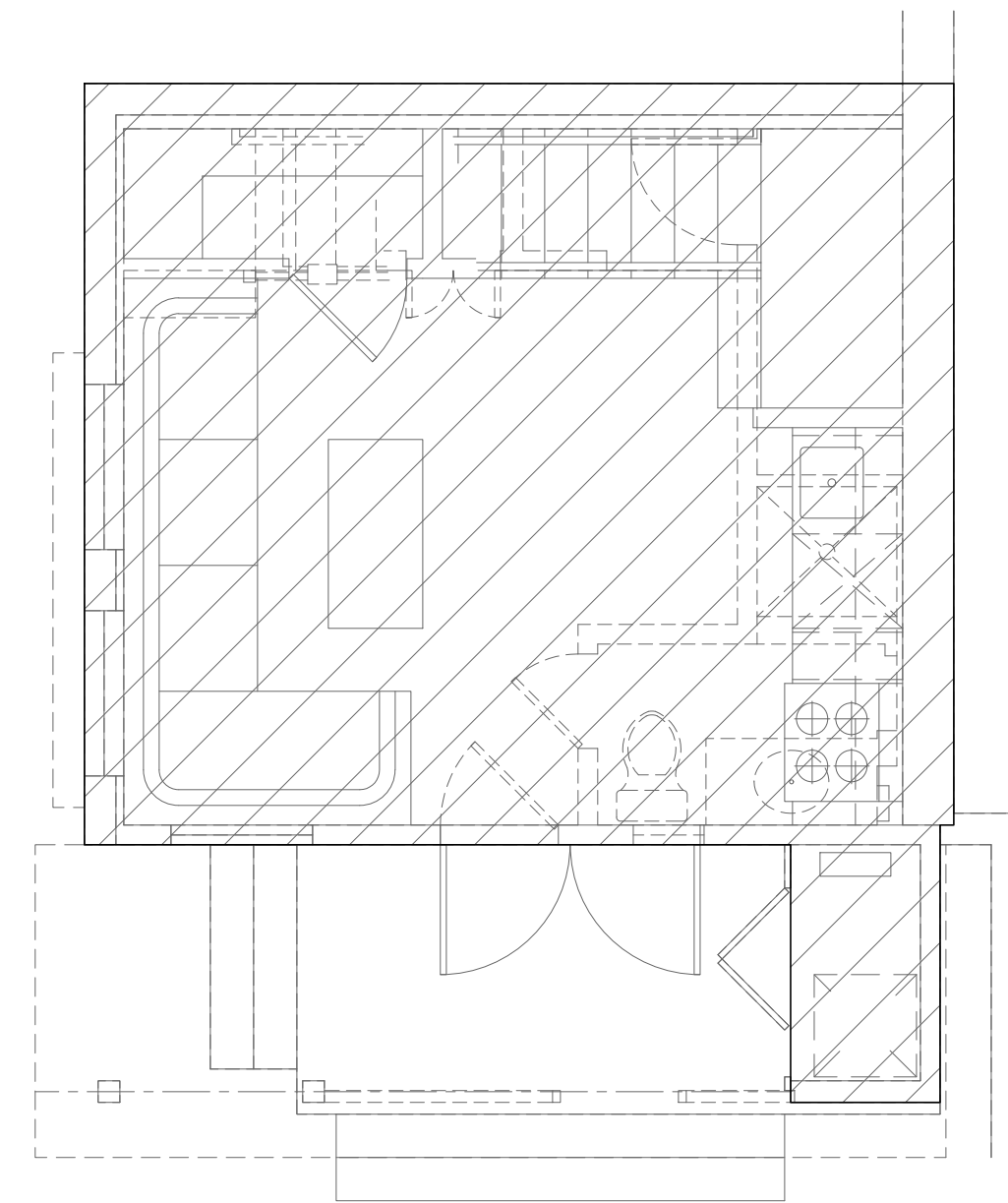
ROOF PLAN
1/4" = 1'-0"



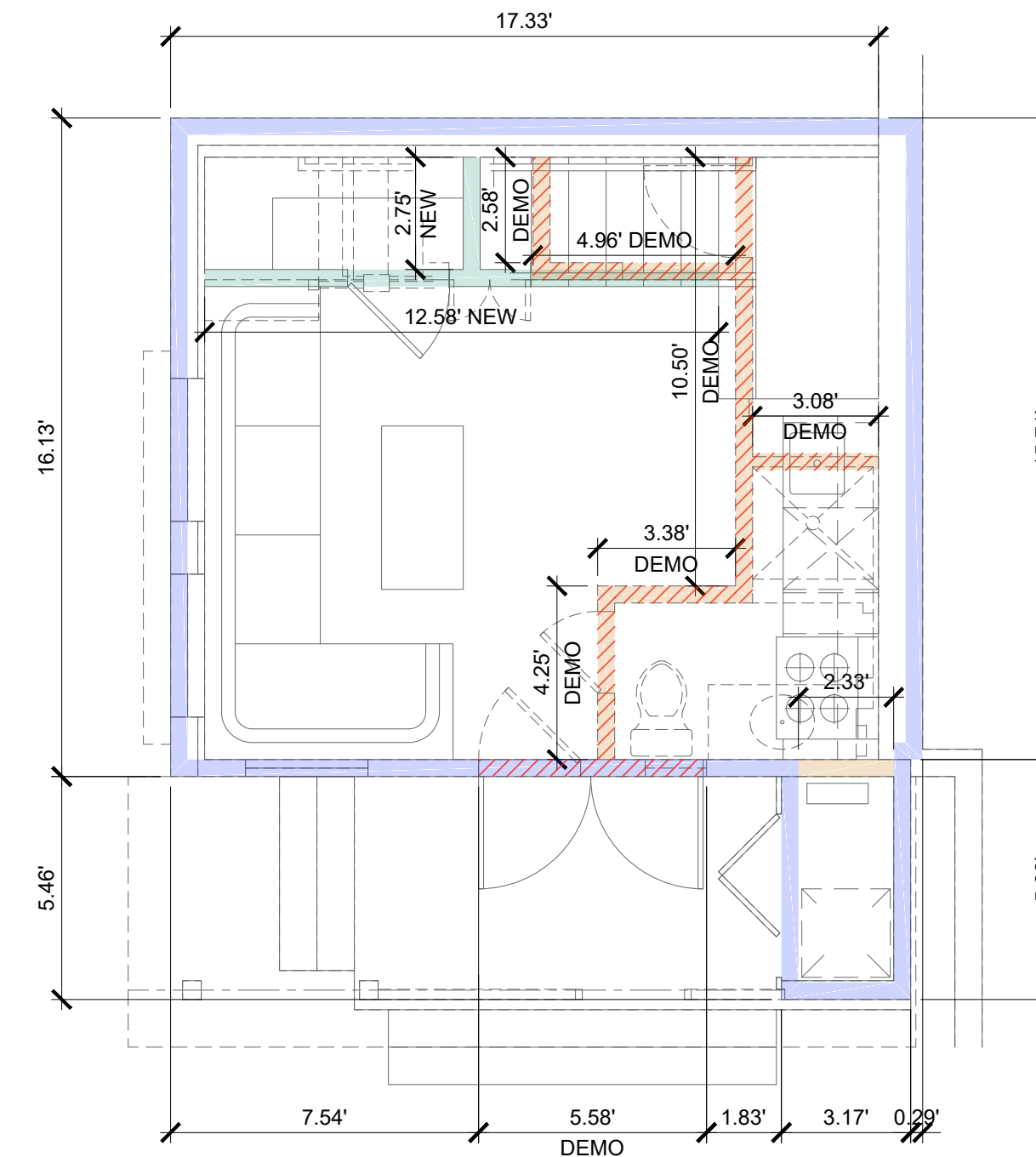
2ND FLOOR PLAN
1/4" = 1'-0"



2ND FLOOR PLAN
1/4" = 1'-0"



1ST FLOOR PLAN
1/4" = 1'-0"



1ST FLOOR PLAN
1/4" = 1'-0"

WALL DEMO CALCULATIONS:

EXTERIOR WALLS (FIRST FLOOR)	EXISTING AREA (LINEAR FEET)	DEMO AREA (LINEAR FEET)
	16.13	
	17.33	
	15.71	
	0.29	
	5.88	5.88
	3.17	
	5.46	
	1.83	
	5.88	
	7.54	
SUBTOTAL	79.22	5.88
EXTERIOR WALLS (SECOND FLOOR)	EXISTING AREA (LINEAR FEET)	DEMO AREA (LINEAR FEET)
	5.92	
	4.21	4.21
	6.00	
	18.08	
	7.04	
	0.33	
	9.08	
SUBTOTAL	50.66	4.21
GRAND TOTAL	129.88	10.09
INTERIOR WALLS (FIRST FLOOR)	EXISTING AREA (LINEAR FEET)	DEMO AREA (LINEAR FEET)
	4.96	4.96
	2.58	2.58
	10.50	10.50
	3.08	3.08
	2.33	
	3.38	3.38
	4.25	4.25
SUBTOTAL	31.08	28.75
INTERIOR WALLS (SECOND FLOOR)	EXISTING AREA (LINEAR FEET)	DEMO AREA (LINEAR FEET)
	6.08	
	8.67	
SUBTOTAL	14.75	
GRAND TOTAL	45.83	28.75

INT NEW WALL CALCULATIONS:

INTERIOR WALLS (FIRST FLOOR)	NEW AREA (LINEAR FEET)
	12.58
	2.75
SUBTOTAL	15.33
INTERIOR WALLS (SECOND FLOOR)	NEW AREA (LINEAR FEET)
	2.92
	2.92
	2.75
SUBTOTAL	8.59
GRAND TOTAL	23.92

ROOF PLAN LEGEND:

- EXISTING AREA TO BE DEMO'D, REMOVED AND/OR RECONSTRUCTED
- EXISTING AREA OF ROOF FRAMING SYSTEM

AREA CALCULATIONS:

ROOF FRAMING SYSTEM	EXISTING AREA	EXISTING AREA TO BE DEMO'D, REMOVED AND/OR RECONSTRUCTED / % OF TOTAL EXISTING AREA
	462.99 SF	0.00 SF / 0% < 50%

FLOOR PLAN LEGEND:

- EXISTING AREA TO BE DEMO'D, REMOVED AND/OR RECONSTRUCTED
- NEW EXTERIOR WALL
- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
- EXISTING AREA OF ROOF FRAMING SYSTEM AND STRUCTURAL FLOOR SYSTEM
- EXISTING WALL TO BE DEMO'D

AREA CALCULATIONS:

STRUCTURAL FLOOR SYSTEM	EXISTING AREA	EXISTING AREA TO BE DEMO'D, REMOVED AND/OR RECONSTRUCTED / % OF TOTAL EXISTING AREA
1ST FLOOR	314.13	0 / 0%
2ND FLOOR	266.55	19.83 / .33%
TOTAL	580.68	19.83 / 3.41 % < 50%

DISTRIBUTION / REVISIONS

No.	Date	Revision

NICOL ARCHITECTURE, INC.
604 VISTA LANE
LAGUNA BEACH
CA 92651
PH 949 494 0026

BRAFF/CHRISTOU RESIDENCE (PHASE 1)
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA 92651

GUEST HOUSE DEMO AREA CALCULATIONS



COPYRIGHT 2010 / 2011 / 2012 / 2013
THIS DOCUMENT IS THE PROPERTY OF NICOL ARCHITECTURE, INC. IT SHALL NOT BE REPRODUCED, ALTERED OR TRANSFERRED WITHOUT WRITTEN PERMISSION FROM NICOL ARCHITECTURE, INC.

DATE: 6-5-20
SCALE: NOTED
PROJECT: BRAFF

DRAWN BY: BC

ZAC-13

VERSA-LAM DESIGN STRESSES

DESIGN PROPERTY	VERSA-LAM BEAMS		VERSA-LAM COLUMNS	VERSA-STUD	RIMBOARD/ STAIR STRINGERS
	3" x 2 3/4"	3 1/2" x WIDER			
GRADE	2.0 2800	2.0 3100	1.7 2650	1.7 2400	1.4 1800
MODULUS OF ELASTICITY E _x (10 ³ PSI) ⁽¹⁾	2.0	2.0	1.7	1.7	1.4
BENDING F _b (PSI) ⁽²⁾⁽³⁾	2800	3100	2650	2400	1800
HORIZONTAL SHEAR F _v (PSI) ⁽²⁾⁽⁴⁾	285	285	285	285	225
TENSION PARALLEL TO GRAIN F _t (PSI) ⁽²⁾⁽⁵⁾	2150	2150	1650	1650	1250
COMPRESSION PARALLEL TO GRAIN F _c (PSI) ⁽²⁾	3000	3000	3000	3000	2500
COMPRESSION PERPENDICULAR TO GRAIN F _{c⊥} (PSI) ⁽¹⁾⁽⁶⁾	750	750	750	750	525
EQUIVALENT SPECIFIC GRAVITY FOR FASTENER DESIGN (S _G)	0.5	0.5	0.5	0.5	0.5

- THIS VALUE CANNOT BE ADJUSTED FOR LOAD DURATION
 - THIS VALUE IS BASED UPON A LOAD DURATION OF 100% AND MAY BE ADJUSTED FOR OTHER LOAD DURATIONS.
 - FIBER STRESS BENDING VALUE SHALL BE MULTIPLIED BY THE DEPTH FACTOR (12/d)^{1/4} WHERE d=MEMBER DEPTH (IN)
 - STRESS APPLIED PERPENDICULAR TO THE GLUELINES.
 - TENSION VALUE SHALL BE MULTIPLIED BY A LENGTH FACTOR, (4/L)^{1/8} WHERE L= MEMBER LENGTH (FT).
 - STRESS APPLIED PARALLEL TO THE GLUELINES.
- DESIGN PROPERTIES ARE LIMITED TO DRY CONDITIONS OF USE WHERE THE MAXIMUM MOISTURE CONTENT OF THE MATERIAL WILL NOT EXCEED 16%.
1. ALL ENGINEERED WOOD PRODUCTS (ENP) SUPPLIED ON THIS PROJECT MUST BE SUPPLIED BY ONE MANUFACTURER. MIXING OF ENP PRODUCT MANUFACTURERS IS NOT PERMITTED AND WILL RENDER THE ENP PRODUCT WARRANTY VOID. THE RESPONSIBLE PARTY WILL BE REQUIRED TO REMOVE AND REPLACE ALL ENP PRODUCTS THAT DO NOT COMPLY.

DESIGN LOADS

- FLOOR LIVE LOAD .40 PSF
 FLOOR DEAD LOAD 16 PSF
 ROOF LIVE LOAD .20 PSF
 ROOF DEAD LOAD 17 PSF
- WIND DESIGN DATA
- BASIC WIND SPEED (MPH) 110
 WIND IMPORTANCE FACTOR (I_w) 1.0
 WIND EXPOSURE D
 INTERNAL PRESSURE COEFFICIENTS (C_{pi}) 0.18
 COMPONENTS & CLADDING PRESSURES (F_{net}) 2.32 PSF

EARTHQUAKE DESIGN

- MAPPED SPECTRAL RESPONSE ACCELERATIONS S_s = 1.328 & S₁ = 0.472
 SITE CLASS D
 DESIGN SPECTRAL RESPONSE ACCELERATIONS S_{ps} = 0.2893 S_{ps1} = 0.5752
 OCCUPANCY CATEGORY II
 SEISMIC IMPORTANCE FACTOR (I_e) 1.0
 SEISMIC DESIGN CATEGORY (SDC) D
 BASIC SEISMIC FORCE-RESISTING SYSTEM BEARING WALL SYSTEM
 SEISMIC RESPONSE COEFFICIENT (C_s) 0.16
 RESPONSE MODIFICATION FACTOR (R) 6.5
 DESIGN BASE SHEAR (V) 12.22 PSF
 ANALYSIS PROCEDURE USED EQUIVALENT FORCE METHOD

GENERAL:

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- RESOLVE ANY CONFLICTS ON THE DRAWINGS WITH THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO BEGINNING EXCAVATION.
- NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE AND THE 2019 CALIFORNIA BUILDING CODE.
- SPECIAL INSPECTION PER SECTION 1704 THROUGH 1705 OF THE CBC.
- ALL SHOP FABRICATION OR WELDING SHALL BE PERFORMED BY LICENSED AND CERTIFIED FABRICATOR PER SECTION 1704 THROUGH 1705 OF THE CBC.
- ALL HOLD/DOWN ANCHORS MUST BE TIED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.

TIMBER: (GRADES PER NWPA GRADING RULES, DOUGLAS FIR-LARCH)

- 4X AND LESS
 #1 ----- FB=1000 PSI
 #2 ----- FB= 900 PSI
- 6X AND GREATER
 #1 ----- FB= 1350 PSI

- ALL TIMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH DOCUMENT PS 20.
- SHEATHING FOR ROOF, FLOOR AND SHEAR WALLS SHALL BE DOUGLAS FIR CONFORMING TO DOCUMENT PS 1 OR DOCUMENT PS 2 AND SHALL BE APA RATED SHEATHING EXPOSURE 1.
- CUTTING, NOTCHING OR DRILLING OF BEAMS OR JOISTS TO BE PERMITTED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
- UNLESS OTHERWISE SPECIFIED, ALL FASTENERS SHALL CONFORM TO TABLE 2304.10.1 OF THE 2019 CBC.
- ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY SHALL BE PRESURE TREATED DOUGLAS FIR. BOLTS SHALL BE PLACED 5" FROM THE END OF A BOARD OR FROM A NOTCH AND SPACED AT INTERVALS NOTED.
- ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS. ALL BOLT HOLES FOR WOOD TO WOOD CONNECTIONS SHALL BE DRILLED 1/8" DIAMETER LARGER THAN NORMAL BOLT DIAMETER.
- ALL FRAMING ANCHORS, POST CAPS, COLUMN BASES, ETC. SHALL BE AS MANUFACTURED BY 'SIMPSON COMPANY'; NO SUBSTITUTIONS PERMITTED WITHOUT ENGINEER'S AUTHORIZATION PRIOR TO CONSTRUCTION. ALL HARDWARE SHALL BE INSTALLED PER 'SIMPSON COMPANY' REQUIREMENTS.
- GENERAL FRAMING PER SECTION 2308 OF THE 2019 CBC.
- TOP PLATES OF ALL WOOD STUD WALLS TO BE 2-X (SAME WIDTH AS STUDS), UNLESS OTHERWISE NOTED. SEE PLATE SPLICE DETAIL.
- CORNERS OF WALLS AT ALL BEARINGS AND TIE DOWN CONDITIONS SHALL BE FOUR (4)-STUD, THREE (3)-STUD (CALIFORNIA) MAY BE USED AT NON-BEARING, NON-TIE-DOWN CONDITIONS.
- STUDS IN EXTERIOR WALLS OR INTERIOR BEARING PARTITIONS SHALL NOT BE CUT OR NOTCHED MORE THAN 25% OF THEIR WIDTH. INTERIOR NON-BEARING PARTITIONS MAY BE NOTCHED 40% OF THEIR WIDTH.
- BORED HOLES IN ANY STUD SHALL BE LIMITED TO 40% OF THEIR WIDTH AND SHALL BE LOCATED AT LEAST 3/8-INCH FROM THE EDGE OF STUD.
- WHERE TOP PLATES OR SOLE PLATES ARE CUT FOR PIPES A METAL TIE MINIMUM 1/8-INCH THICK AND 1 1/2" WIDE SHALL BE FASTENED ACROSS THE OPENING WITH 6-16D NAILS MINIMUM EACH SIDE.
- ALL SHEAR WALLS SHALL EXTEND TO EITHER ROOF OR FLOOR DIAPHRAGM. ALL WALLS SHALL BE FRAMED WITHOUT INTERRUPTION TO EITHER A ROOF, FLOOR OR CEILING.
- PROVIDE 2X6 STUDS AT ALL PLUMBING WALLS.
- NAILING INTO PRESURE TREATED WOOD SILL PLATE SHALL USE HOT DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL NAILS.
- STUCCO LATH AND DRYMALL SHALL BE NAILED TO ALL WALL STUDS AND TO TOP AND BOTTOM WALL PLATES.
- ALL FRAMING MEMBERS, INCLUDING WOOD SHEATHINGS, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE PRESERVATIVE-TREATED WOOD OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.
- FASTENERS FOR PRESERVATIVE TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A193 EXCEPTION; FASTENERS OTHER THAN NAILS, TIMBER RIVETS, WOOD SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY TREATED ZINC COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B645, CLASS 55 MINIMUM. FASTENINGS FOR WOOD FOUNDATIONS SHALL BE AS REQUIRED IN AF&PA TECHNICAL REPORT NO. 7.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (1044.3.2)

STRUCTURAL STEEL:

- MISCELLANEOUS STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 (UNLESS NOTED OTHERWISE (FY=36 KSI).
- STEEL WIDE FLANGE BEAMS AND COLUMNS SHALL CONFORM TO ASTM A992/A512-50 (FY=50 KSI)
- STEEL PIPE SHALL CONFORM TO ASTM A500 (FY=42 KSI).
- MACHINE BOLTS AND ANCHOR BOLTS SHALL CONFORM TO ASTM A307 GRADE "A" UNLESS NOTED OTHERWISE.
- WELDING OF STRUCTURAL STEEL SHALL BE DONE BY THE SHIELDED ARC PROCESS PER AWS D11 USING APPROVAL ELECTRODES (E70XX-L0M HYDROGEN).
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE 'AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS'.
- EXCEPT WHERE INDICATED, OR SPECIFIED TO BE GALVANIZED, CLEAN STEEL AND IRON OF GREASE, RUST, MILL SCALE, OR OTHER FOREIGN MATTER AND SUPPLY ONE SHOP COAT OF THE SPECIFIED PRIMER. MATERIAL TO BE EMBEDDED IN CONCRETE SHALL NOT BE PRIMED. SURFACES OF STRUCTURAL STEEL TO RECEIVE STEEL DECK SHALL NOT BE PRIMED. PRIMER PAINT SHALL BE COMPATIBLE WITH TYPE AND COLOR OF FINISH COATINGS DESCRIBED BY ARCHITECT. STANDARD SHOP PAINT SHALL BE A RUST-INHIBITIVE COATING CONFORMING TO GOVERNING AIR POLLUTION CONTROL REQUIREMENTS.
- SURFACE TO BE WELDED SHALL BE FREE OF ANY PAINT, GREASE, LOOSE SCALE AND FOREIGN MATTER. CONTACT BEARING SURFACES OF BOLTED PARTS SHALL BE FREE FROM SCALE, SLAG, BURRS, AND PITS, OR DIRTY, PAINT, OR OTHER FOREIGN MATERIALS AND/OR ANY DEFECTS WHICH WOULD PREVENT SOLID BEARING OF PARTS.
- ALL FIELD WELDING SHALL BE PERFORMED BY LICENSED CERTIFIED WELDERS.
- STEEL FABRICATORS SHALL BE CERTIFIED.

REINFORCING STEEL:

- GRADE 40 (FY=40KSI) REINFORCEMENT SHALL CONFORM TO ASTM A615 #4 AND SMALLER.
- GRADE 60 (FY=60 KSI) REINFORCEMENT SHALL CONFORM TO ASTM A706 #5 AND LARGER.
- REINFORCING DETAILS, BENDING AND PLACING SHALL BE IN ACCORDANCE WITH CONCRETE REINFORCING STEEL INSTITUTE 'MANUAL OF STANDARD PRACTICE' LATEST EDITION.
- LAPS AT BAR SPLICES SHALL BE: 40 BAR DIAMETER OR 18" MINIMUM FOR CONCRETE AND 36 BAR DIAMETER OR 24" MINIMUM FOR MASONRY UNLESS NOTED OTHERWISE.
- VERTICAL BARS IN WALLS SHALL BE ACCURATELY POSITIONED AT THE CENTER OF WALL, UNLESS NOTED OTHERWISE IN DETAILS AND SHALL BE TIED IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 1/2 BAR DIAMETER.
- REINFORCING STEEL SHALL BE PROVIDED WITH FOLLOWING AMOUNTS OF CONCRETE COVER:
 FOOTINGS (CONCRETE DEPOSITED AGAINST EARTH) ----- 3"
 CONCRETE SURFACE (FORMED) EXPOSED TO EARTH OR WEATHER ----- 2"
 ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE OR GROUT.

FOUNDATION NOTES:

- INSTALL 3/8" DIAMETER ANCHOR BOLTS WITH A MINIMUM EMBEDMENT OF 7" AT 12" ON CENTER AT ALL GRADE BEAMS OR STEM WALLS WHERE A WALL ABOVE OCCURS UNLESS OTHERWISE NOTED ON PLAN. SEE PLAN FOR SPECIAL SPACING OF BOLTS AT SHEAR WALL LOCATIONS. ALL WALLS REQUIRE 3'X 3' X 1/2" CUT WASHERS AT ANCHOR BOLTS. WHERE A TWO-FOUR SYSTEM IS USED FOR FOUNDATION CONSTRUCTION, ANCHOR BOLTS SHALL HAVE A MINIMUM OF 1" EMBEDMENT IN FIRST FOUR. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SILL WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE. HOLES FOR SILL BOLTS SHALL BE NO LARGER THAN THE DIAMETER OF THE SILL BOLT.
- NAILING INTO PRESURE TREATED WOOD SILL PLATE SHALL USE HOT DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL NAILS.
- THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT SIGNED _____ DATE _____.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED WITH ARCHITECT. PRIOR TO CALLING FOR FOUNDATION INSPECTION, FINAL GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT AND ANY REVISIONS FROM THE ORIGINAL SOILS REPORT INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
- PRIOR TO FOUNDATION INSPECTION, ALL HOLD/DOWN ANCHOR BOLTS OR OTHER REQUIRED CAST-IN-PLACE FASTENERS SHALL BE SECURELY TIED IN PLACE.
- THE RESPONSIBLE ENGINEERING GEOLOGIST SHALL INSPECT AND APPROVE GRADINGS AND EXCAVATIONS PRIOR TO PLACEMENT OF FORMS REINFORCING STEEL, OR CONCRETE. IN CASES INVOLVING ENGINEERED FILL, A SOILS ENGINEER SHALL PROVIDE THE INSPECTION AND APPROVAL.
- REMOVE AND RE-COMPACT SOIL AT ALL SLAB AREAS PER SOILS ENGINEER'S REQUIREMENTS.
- USE CBSO POST BASE AT POSTS UNLESS NOTED OTHERWISE ON PLANS.
- SEE SITE PLAN FOR FINISH AND EXISTING GRADE ELEVATIONS AND CONTOURS.
- SOIL DESIGN PARAMETERS:

CLASSIFICATION: TERRACE DEPOSITS	MAPPED ACCELERATION PARAMETERS
BEARING VALUE: 2000 PSF	S _s = 1.328
EXPANSIVE POTENTIAL: LOW	S ₁ = 0.472
PASSIVE RESISTANCE: 150 PCF	SITE CLASS D
FRICITION: 0.25	

- FOOTINGS SHALL HAVE A MINIMUM EMBEDMENT INTO COMPETENT SOIL OF 18.
- THE RECOMMENDATIONS OF THE REFERENCED SOILS REPORT SHALL BE FOLLOWED AND THE REPORT SHALL BECOME A PART OF THESE CONSTRUCTION DOCUMENTS. REPORT HAS BEEN PREPARED BY: GEOTECH. DATED - JULY 31, 2018. PROJECT NO. - 12417-02. REPORT NO. - 19-2552.
- SOIL ENGINEER SHALL VERIFY WITH A FIELD MEMO THAT CONSTRUCTION AT THE SITE IS IN ACCORDANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF HIS REPORT. SOIL ENGINEER SHALL STAMP AND SIGN MEMO.
- FINISHED EXCAVATION FOR FOUNDATION SHALL BE NEAT AND TRUE TO LINE WITH ALL LOOSE MATERIAL AND STANDING WATER REMOVAL FROM EXCAVATIONS.
- ALL FILL MATERIAL IS TO BE APPROVED BY A SOILS ENGINEER AND IS TO BE COMPACTED TO 90% OF MAXIMUM DENSITY (OR MORE AS DIRECTED). INSPECTION IS REQUIRED DURING FILL AND COMPACTION.
- THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH ARE IN DIRECT CONTACT WITH EARTH, AND SILLS THAT REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD #2 DF OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.

REINFORCED CONCRETE:

- CEMENT SHALL CONFORM TO ASTM-150, TYPE V. WATER CEMENT RATIO SHALL NOT EXCEED 50.
- AGGREGATES SHALL CONFORM TO ASTM C-33 FOR NORMAL-WEIGHT CONCRETE.
- READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2500 PSI UNLESS NOTED OTHERWISE. THE MAXIMUM WATER-SOLUBLE CHLORIDE ION CONTENT SHALL BE .15% BY WEIGHT OF CEMENTITIOUS MATERIAL.
- CONCRETE SHALL HAVE MINIMUM 4" SLUMP AT POINT OF PLACEMENT.
- ADMIXTURES MAY BE USED WITH APPROVAL OF THE ENGINEER. ADMIXTURES USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOUNDS, GROOVES, ORNAMENTS, CLIPS OR TEXTURES REQUIRED TO BE CAST INTO CONCRETE AND FOR EXTENT OF DEPRESSIONS, CURBS AND RAMPS.
- PROTECTING CORNERS OF SLABS, BEAMS, WALLS, COLUMNS, ETC. SHALL BE FORMED WITH A 3/4" CHAMFER UNLESS OTHERWISE NOTED.
- CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY AMERICAN CONCRETE INSTITUTE.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE POURING OF ANY CONCRETE.
- LOCATION OF ALL CONSTRUCTION JOINTS NOT SPECIFICALLY INDICATED ON THE DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING REINFORCING STEEL.
- CONCRETE FLOOR SLAB VARIATION FROM LEVEL TO 1/4" IN 10 FEET MAXIMUM.
- THE MAXIMUM PLACING TEMPERATURE OF THE CONCRETE, WHEN DEPOSITED SHALL BE 85 DEGREES F. IF THE WEATHER CAUSES THE PLACING TEMPERATURE TO EXCEED 85 DEGREES F., THE MIX SHALL BE COOLED BY WETTING THE AGGREGATE OR OTHER APPROPRIATE METHOD APPROVED BY THE ENGINEER.
- IMMEDIATELY AFTER STRIPPING FORMS, PATCH MINOR DEFECTS, FORM-TIE HOLES, HONEY-COMBED AREAS BEFORE CONCRETE IS THOROUGHLY DRY. REMOVE LEDGES AND BULGES, REPAIR GRAVEL POCKETS BY CUTTING OUT TO SOLID SURFACE, FORM KEY AND THOROUGHLY WET BEFORE PLACING. PATCHING MORTAR CONSISTING OF 1 PART CEMENT TO 2 PARTS FINE SAND, COMPACT INTO PLACE AND NEATLY FINISH TO MATCH SURFACE. GROUT OR FILL SURFACES TO PRODUCE LEVEL, TRUE PLANES.
- ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY SUITABLE MEANS DURING PLACEMENT AND SHALL BE THOROUGHLY WORKED AROUND REINFORCEMENT AND EMBEDDED FIXTURES AND INTO CORNERS OF FLOORS.
- THE MAXIMUM SPACING OF REINFORCING STEEL IN EITHER HORIZONTAL OR VERTICAL DIRECTION SHALL BE 18" ON CENTER.
- IT IS RECOMMENDED A CEMENT WITH A C3A CONTENT NOT GREATER THAN 3% (BY WEIGHT OF CEMENT) BE USED FOR ALL CONCRETE. CEMENT WITH C3A CONTENTS ABOVE 6% ARE NOT ACCEPTABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONCRETE SUPPLIER TO PROVIDE A CONCRETE MIX WHICH SATISFIES THE SPECIFICATIONS OUTLINED ABOVE. PARAMETERS NOT SPECIFIED ABOVE ARE TO BE DETERMINED BY THE CONCRETE SPECIFIER.

SIMPSON HARDWARE NOTES:

THESE NOTES ARE PROVIDED TO ENSURE PROPER INSTALLATION OF SIMPSON STRONG-TILE CO., INC. PRODUCTS AND MUST BE FOLLOWED FULLY.

- UNLESS OTHERWISE NOTED, BOLTS AND NAILS CANNOT BE COMBINED. 8D, 10D AND 16D SPECIFY COMMON NAILS.
- UNLESS OTHERWISE NOTED, HARDWARE IS FOR USE WITH NO. 1 DOUGLAS FIR-LARCH UNDER CONTINUOUSLY DRY CONDITIONS. OTHER SPECIFICS OR CONDITIONS REQUIRE IMMEDIATE NOTIFICATION OR ENGINEER PRIOR TO INSTALLATION.
- ALL REFERENCES TO BOLTS OR NAILS ARE FOR STRUCTURAL QUALITY THROUGH BOLTS EQUAL TO OR BETTER THAN ASTM STANDARD A 307.
- UNLESS OTHERWISE NOTED, BENDING STEEL IN THE FIELD MAY CAUSE FRACTURES AT THE BEND LINE. FRACTURED STEEL WILL NOT CARRY LOAD AND MUST BE REPLACED.
- A FASTENER THAT SPLITS THE WOOD WILL NOT TAKE THE DESIGN LOAD. EVALUATES SPLITS TO DETERMINE IF THE CONNECTION WILL PERFORM AS REQUIRED. DRIER WOOD TENDS TO SPLIT MORE EASILY AND SHOULD BE EVALUATED AS REQUIRED. IF WOOD TENDS TO SPLIT, CONSIDER PRE-BORING HOLES OF DIAMETER NOT EXCEEDING 3/4 OF THE NAIL DIAMETER (PER THE NATIONAL DESIGN SPECIFICATION).
- WOOD SHRINKS AND EXPANDS AS IT LOSES AND GAINS MOISTURE, PARTICULARLY PERPENDICULAR TO ITS GRAIN. SIMPSON MANUFACTURES IT PRODUCTS TO FIT COMMON DRY LUMBER DIMENSIONS. IF YOU NEED A CONNECTOR WITH DIMENSIONS OTHER THAN THOSE LISTED IN THE CATALOG, SIMPSON MAY BE ABLE TO VARY CONNECTOR DIMENSION CONTACT FACTORY.
- TOP FLANGE HANGERS MAY CAUSE FLOOR UNEVENNESS. POSSIBLE REMEDIES SHOULD BE EVALUATED BY THE ENGINEER AND INCLUDE USING A FACE MOUNT HANGER AND ROUTERING THE BEAM OR CUTTING THE SUBFLOOR TO ACCOMMODATE THE TOP FLANGE THICKNESS.
- ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE SIMPSON CATALOG. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16D FASTENERS ARE COMMON NAILS (8 GA. x 3 1/2") AND CANNOT BE REPLACED WITH 16D SINKERS (P 6A, x 3 1/2") UNLESS SPECIFIED OTHERWISE.
- INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.
- USE PROPER SAFETY EQUIPMENT.
- WELDING GALVANIZED STEEL MAY PRODUCE HARMFUL FUMES. FOLLOW PROPER WELDING PROCEDURES AND SAFETY PRECAUTIONS.
- PNEUMATIC OR POWER-ACTIVATED FASTENERS MAY DEFFECT AND INJURE THE OPERATOR OR OTHERS.

CEILING JOIST/SOFFIT NOTES:

- ALL CEILING JOISTS ARE #2 DF.
- SUBSTITUTIONS MAY BE MADE PER TABLE.
- SIZES SHOWN ARE MINIMUM.
- USE #2 DF 4x6 HEADERS TO CARRY CEILING JOISTS ONLY AT SPANS TO 9'; USE #2 DF 4x8 AT SPANS 9'-6" TO 12'.
- SHEAR WALL PANELING SHALL NOT BE BROKEN AT SOFFIT OR CEILING JOISTS, UNLESS SPECIFICALLY DETAILED.
- ALLOWABLE SPANS FOR #2 DF OR BETTER CEILING JOISTS.

JOIST	2x4	2x6	2x8	2x10
12' o/c	12'-0"	14'-0"	25'-0"	26'-0"
16' o/c	11'-0"	17'-3"	22'-4"	24'-0"
24' o/c	9'-6"	15'-0"	19'-4"	22'-0"

REVISIONS		
NO.	DESCRIPTION	DATE
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---
7	---	---
8	---	---

harold larson structural design
 1437 glenmeyre
 laguna beach california 92651
 (949) 447 5203
 email: harlar200@aol.com

BRAFF RESIDENCE
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA



STRUCTURAL NOTES

DRAWN	KSK
CHECKED	HL
DATE	
SCALE	1/4"=1'-0"
JOB NO.	--
SHEET	

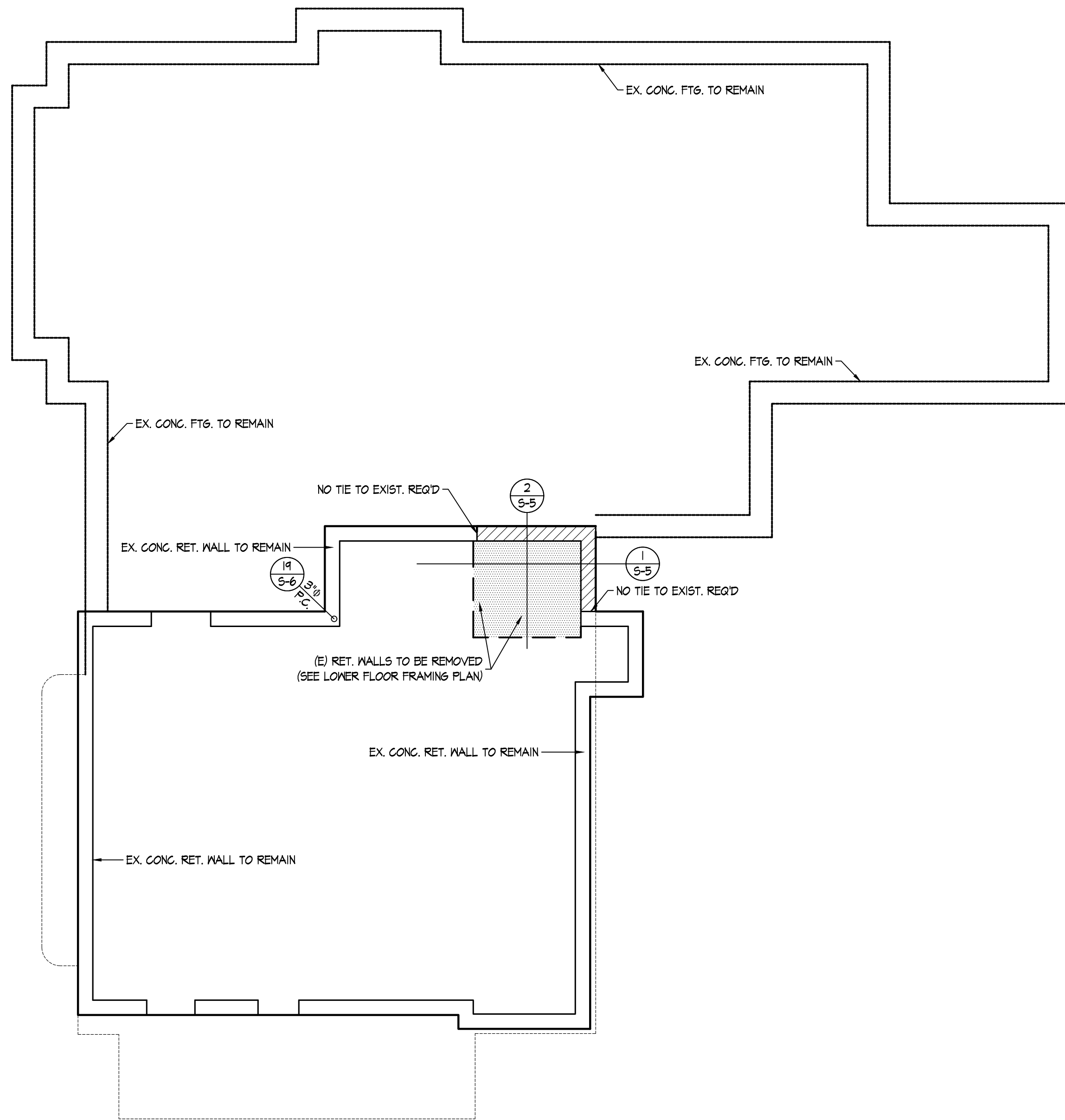
SN=1

FOUNDATION NOTES:

- INSTALL 3/8" DIAMETER ANCHOR BOLTS WITH A MINIMUM EMBEDMENT OF 1" AT 12" ON CENTER AT ALL GRADE BEAMS OR STEM WALLS WHERE A WALL ABOVE OCCURS UNLESS OTHERWISE NOTED ON PLAN. SEE PLAN FOR SPECIAL SPACING OF BOLTS AT SHEAR WALL LOCATIONS. ALL WALLS REQUIRE 3" X 3" X 1/2" CUT WASHERS AT ANCHOR BOLTS. WHERE A TWO-FOUR SYSTEM IS USED FOR FOUNDATION CONSTRUCTION, ANCHOR BOLTS SHALL HAVE A MINIMUM OF 1" EMBEDMENT IN FIRST FOUR. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SILL WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE. HOLES FOR SILL BOLTS SHALL BE NO LARGER THAN THE DIAMETER OF THE SILL BOLT.
- NAILING INTO PRESSURE TREATED WOOD SILL PLATE SHALL USE HOT DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL NAILS.
- THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT SIGNED _____ DATE _____.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED WITH ARCHITECT PRIOR TO CALLING FOR FOUNDATION INSPECTION. FINAL GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT AND ANY REVISIONS FROM THE ORIGINAL SOILS REPORT INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
- PRIOR TO FOUNDATION INSPECTION, ALL HOLDDOWNS, ANCHOR BOLTS OR OTHER REQUIRED CAST-IN-PLACE FASTENERS SHALL BE SECURELY TIED IN PLACE.
- THE RESPONSIBLE ENGINEERING GEOLOGIST SHALL INSPECT AND APPROVE GRADINGS AND EXCAVATIONS PRIOR TO PLACEMENT OF FORMS REINFORCING STEEL, OR CONCRETE. IN CASES INVOLVING ENGINEERED FILL, A SOILS ENGINEER SHALL PROVIDE THE INSPECTION AND APPROVAL.
- REMOVE AND RE-COMPACT SOIL AT ALL SLAB AREAS PER SOILS ENGINEER'S REQUIREMENTS.
- USE CBSQ POST BASE AT POSTS UNLESS NOTED OTHERWISE ON PLANS.
- SEE SITE PLAN FOR FINISH AND EXISTING GRADE ELEVATIONS AND CONTOURS.
- SOIL DESIGN PARAMETERS:

CLASSIFICATION: TERRACE DEPOSITS	MAPPED ACCELERATION PARAMETERS
BEARING VALUE: 2000 PSF	$S_v = 1.328$
EXPANSIVE POTENTIAL: LOW	$S_h = 0.412$
PASSIVE RESISTANCE: ISO ECG	SITE CLASS D
FRICITION: 0.25	

- FOOTINGS SHALL HAVE A MINIMUM EMBEDMENT INTO COMPETENT SOIL OF 18".
- THE RECOMMENDATIONS OF THE REFERENCED SOILS REPORT SHALL BE FOLLOWED AND THE REPORT SHALL BECOME A PART OF THESE CONSTRUCTION DOCUMENTS. REPORT HAS BEEN PREPARED BY: GEOTECH. DATED - JULY 31, 2018. PROJECT NO. - T241T-02. REPORT NO. - 18-2552.
- SOIL ENGINEER SHALL VERIFY WITH A FIELD MEMO THAT CONSTRUCTION AT THE SITE IS IN ACCORDANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF HIS REPORT. SOIL ENGINEER SHALL STAMP AND SIGN MEMO.
- FINISHED EXCAVATION FOR FOUNDATION SHALL BE NEAT AND TRUE TO LINE WITH ALL LOOSE MATERIAL AND STANDING WATER REMOVAL FROM EXCAVATIONS.
- ALL FILL MATERIAL IS TO BE APPROVED BY A SOILS ENGINEER AND IS TO BE COMPACTED TO 90% OF MAXIMUM DENSITY (OR MORE AS DIRECTED). INSPECTION IS REQUIRED DURING FILL AND COMPACTION.
- THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH ARE IN DIRECT CONTACT WITH EARTH, AND SILLS THAT REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD #2 DF OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.



MAIN HOUSE FOUNDATION PLAN
1/4" = 1'-0"

BEAM SCHEDULE		
MARK	GRADE / SPECIES / SIZE	COMMENTS
FB-1	#2 DF 4x12	
FB-2	(E) 4x12	
FB-3	W10x34 STEEL BEAM	
FB-4	#2 DF 4x10	
FB-5	#2 DF 4x10	
FJ-1	1 1/2"x4 1/2" 2.0E DF V-LAM @ 24" o/c	
RB-1	#2 DF 2x8	
RB-2	#2 DF 4x10	
RB-3	3 1/2"x4 1/2" 2.0E DF VERSA-LAM	

LEGEND

19
S-6

2
S-5

1
S-5

10
S-4

DETAIL #

PAGE #

A.B. = ANCHOR BOLT

N.H. = NO HOLDDOWN

Shear Wall

New Retaining Wall

Exist Retaining Wall To Be Removed

Brick Wall

New Footing

Exist Footing

REVISIONS		
NO.	DESCRIPTION	DATE
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---
7	---	---
8	---	---

harold larson structural design
1437 glenmeayre
laguna beach california 92651
(949) 497 5203
email: harlar200@aol.com

BRAFF RESIDENCE
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA



MAIN HOUSE
FOUNDATION
PLAN

DRAWN	KSK
CHECKED	HL
DATE	
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

Thursday, June 04, 2020 12:26:05 PM

SHEAR WALL SCHEDULE					
MARK	SHEATHING 2 & 3	NAILING @ PANEL EDGES	ASS SPACING @ BLK'S TO TOP	SILL NAILING	MAX PLF LOAD
①	1/2 ONE SIDE	10d AT 6" o/c	16"	16d @ 6" o/c	340
②	1/2 ONE SIDE	10d AT 2" o/c	8"	3/8" x 1" LAGS AT 8" o/c	870

ALL WALLS REQUIRE 3"x3"x1/2" CUT PLATE WASHER AT SILL BOLTS
ALL NAILS ARE COMMON OR GALVANIZED BOX TYPES.

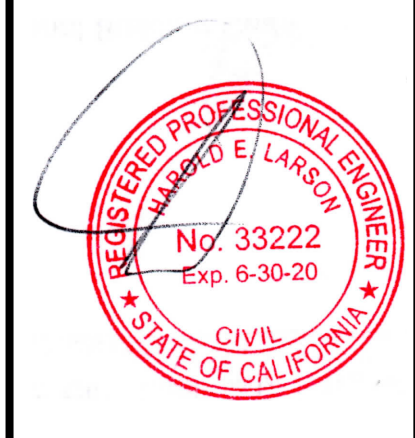
- NOTES:
- ③ REQUIRE SINGLE PIECE 3x SILL/SOLE PLATE. USE (2)-20d BOX NAILS AT STUD ENDS AT ③ ONLY. LTP4 MAY BE USED AS ALTERNATIVE. USE ALSO AT BLOCKING UNDER WALL TO SILL AT FOUNDATION AND BLOCKING UNDER WALL TO DOUBLE TOP PLATE OF FOUNDATION CRIPPLE WALLS.
 - ALL PANEL EDGES TO BE BLOCKED. AT WALLS 6'-0" AND LESS IN LENGTH FACE GRAIN SHALL BE APPLIED PER PERPENDICULAR STUDS. VERTICAL APPLICATION OF SHEATHING MAY BE USED AT WALL LENGTHS EXCEEDING 6'-0".
 - ALL SHEATHING SHALL BEAR ONE OF THE GRADE STAMPS AS SHOWN ON DETAIL T/S-5. MINIMUM DIMENSION OF SHEATHING PIECES SHALL BE 24".
 - SEE FOUNDATION PLAN FOR HOLDOWN TYPE AND LOCATION. INSTALLATION OF HOLDOWNS PER MANUFACTURER REQUIREMENTS. THERE SHALL BE NO COLD-JOINTS IN LENGTH OF REQUIRED HOLDOWN EMBEDMENT. HOLDOWNS ARE REQUIRED ONLY WHERE SHOWN ON THE PLANS.
 - ALL FIELD NAILING 12" ON CENTER SAME SIZE AS PANEL EDGE NAILS.
 - FRAMING AT PANEL EDGES, INCLUDING SILL/SOLE PLATES, SHALL BE SINGLE 3-INCH NOMINAL OR WIDER PIECE AND NAILS SHALL BE STAGGERED PER 6/5-5.
 - WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
 - PRE-DRILLING IS REQUIRED AT LAG BOLTS.
 - DIAPHRAGM SHEATHING NAILS SHALL BE DRIVEN SO THAT THE NAIL HEAD IS FLUSH WITH THE SHEATHING SURFACE.
 - SEE FOUNDATION PLAN FOR SIZE AND SPACING OF ANCHOR BOLTS AT SHEAR WALLS WITH SILLS TO CONCRETE.
 - WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MOMENTS.

BEAM SCHEDULE		
MARK	GRADE / SPECIES / SIZE	COMMENTS
FB-1	#2 DF 4x12	
FB-2	(E) 4x12	
FB-3	W10x39 STEEL BEAM	
FB-4	#2 DF 4x10	
FB-5	#2 DF 4x10	
FJ-1	3/4"x9/16" 2.0E DF V-LAM @ 24" o/c	
RB-1	#2 DF 2x8	
RB-2	#2 DF 4x10	
RB-3	3/4"x9/16" 2.0E DF VERSA-LAM	

REVISIONS		
NO.	DESCRIPTION	DATE
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---
7	---	---
8	---	---

harold larson structural design
1437 glenmeade
laguna beach california 92651
(949) 497 5203
email: harlar200@aol.com

BRAFF RESIDENCE
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA

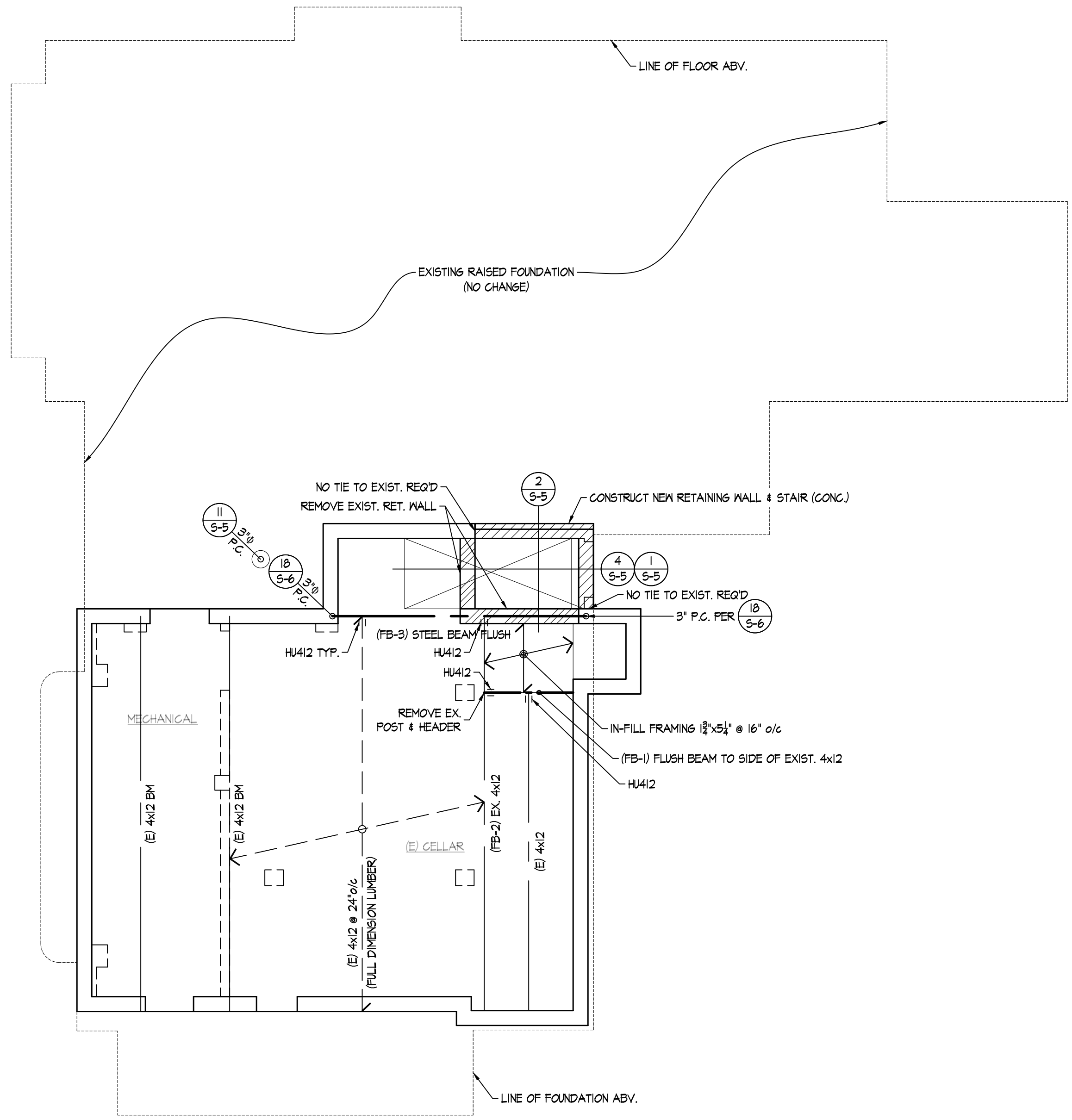


MAIN HOUSE
UPPER FLOOR
FRAMING

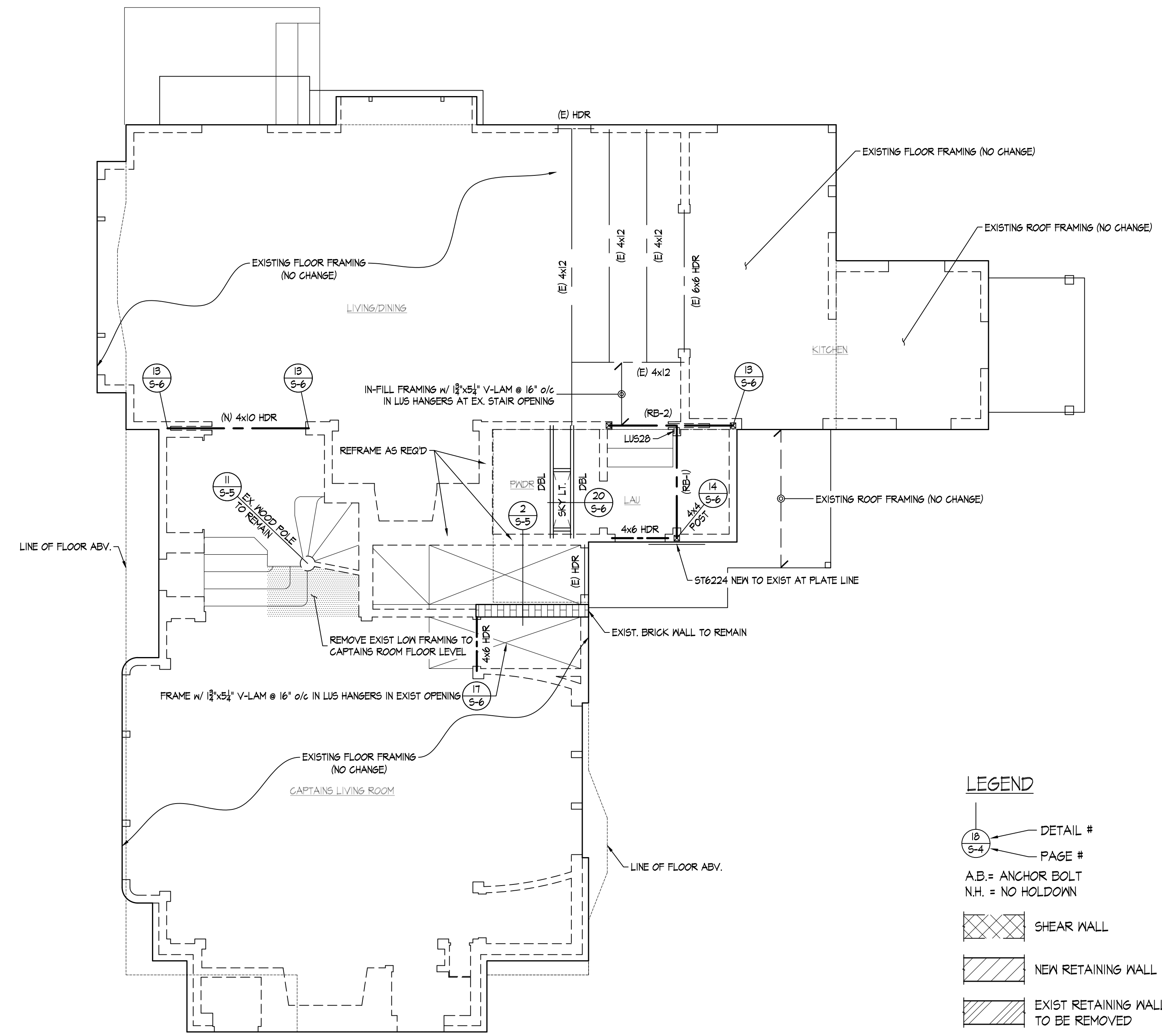
DRAWN	KSK
CHECKED	HL
DATE	
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

S-2

Thursday, June 04, 2020 12:29:10 PM



MAIN HOUSE LOWER FLOOR FRAMING
1/4" = 1'-0"



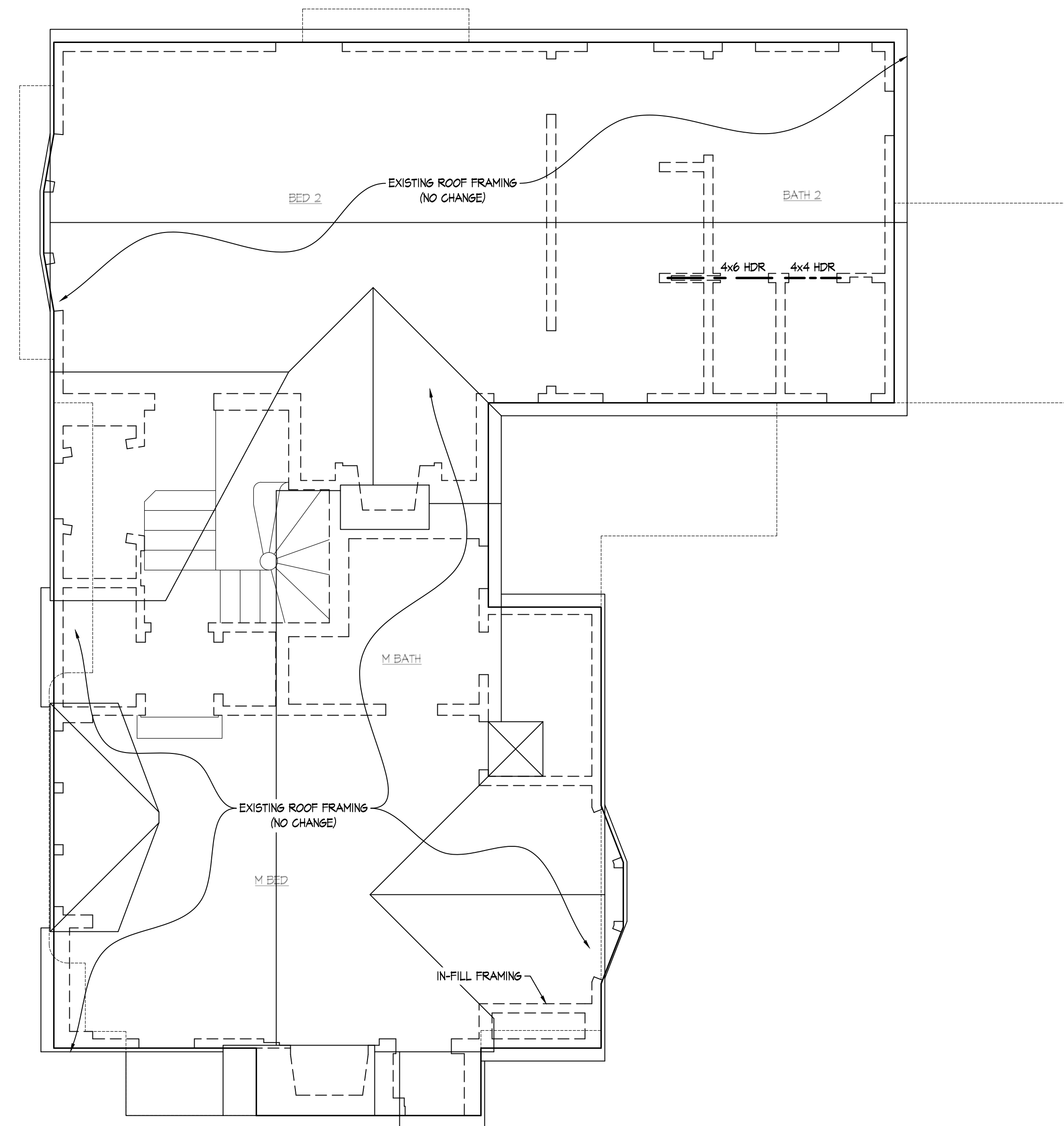
MAIN HOUSE UPPER FLOOR FRAMING
1/4" = 1'-0"

LEGEND

- ① 5-4 → DETAIL #
- ① 5-4 → PAGE #
- AB = ANCHOR BOLT
- N.H. = NO HOLDOWN
- [Cross-hatched] → SHEAR WALL
- [Diagonal lines] → NEW RETAINING WALL
- [Dotted] → EXIST RETAINING WALL TO BE REMOVED
- [Grid pattern] → BRICK WALL

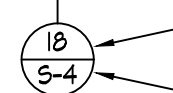
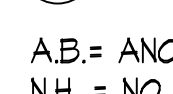

BEAM SCHEDULE		
MARK	GRADE / SPECIES / SIZE	COMMENTS
FB-1	#2 DF 4x12	
FB-2	(E) 4x12	
FB-3	W10x31 STEEL BEAM	
FB-4	#2 DF 4x10	
FB-5	#2 DF 4x10	
FJ-1	1 1/2"x9 1/2" 2.0E DF V-LAM @ 24" o/c	
RB-1	#2 DF 2x8	
RB-2	#2 DF 4x10	
RB-3	3 1/2"x9 1/2" 2.0E DF VERSA-LAM	

REVISIONS		
NO.	DESCRIPTION	DATE
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---
7	---	---
8	---	---



MAIN HOUSE ROOF FRAMING
1/4" = 1'-0"

LEGEND

-  DETAIL #
-  PAGE #
- AB. = ANCHOR BOLT
- N.H. = NO HOLDOWN
-  SHEAR WALL

harold larsen structural design
1437 gleneyre
laguna beach california 92651
(949) 497 5203
email: harlar200@aol.com

BRAFF RESIDENCE
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA



MAIN HOUSE
ROOF FRAMING

DRAWN	KSK
CHECKED	HL
DATE	
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

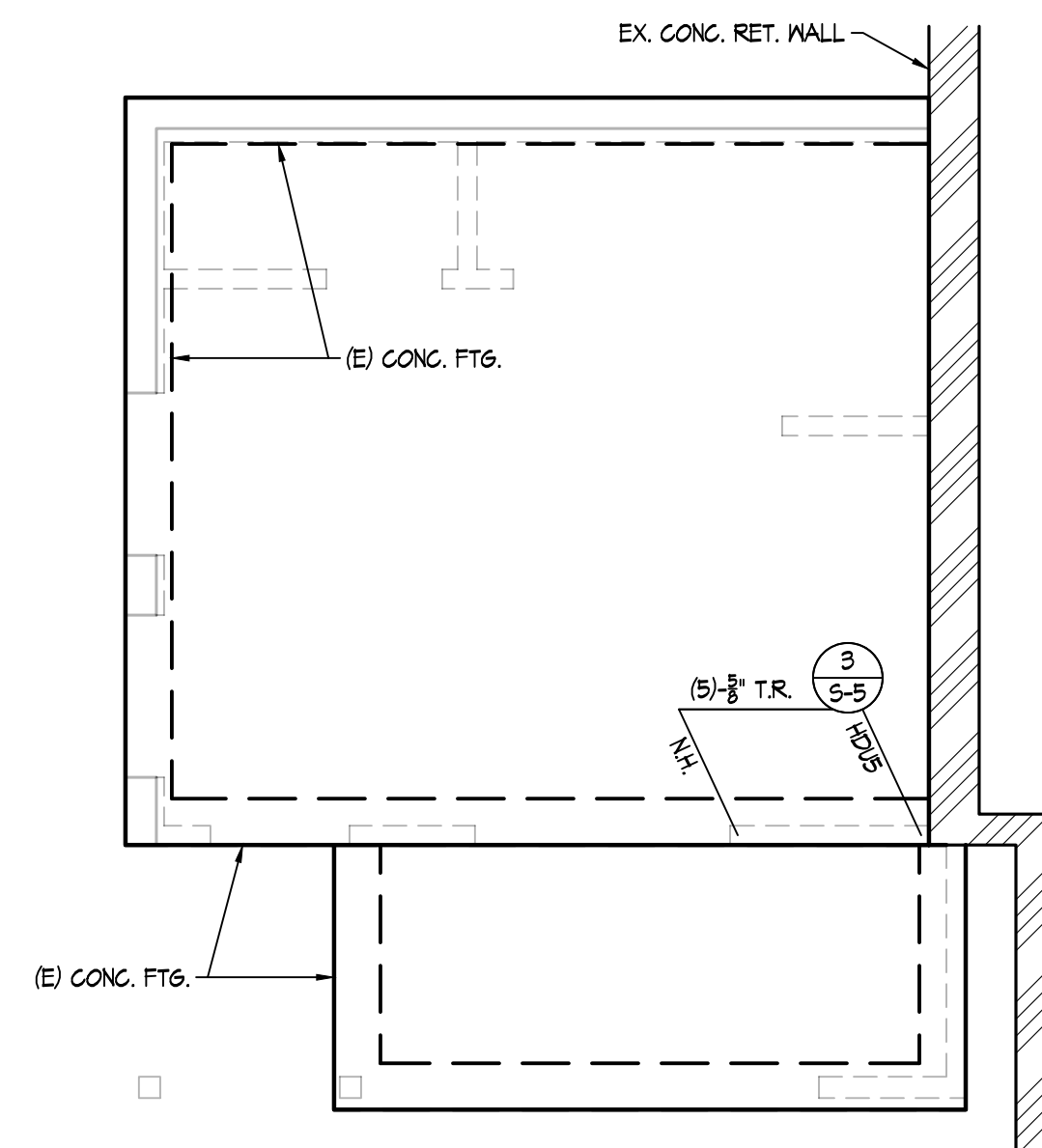
S-3

FOUNDATION NOTES:

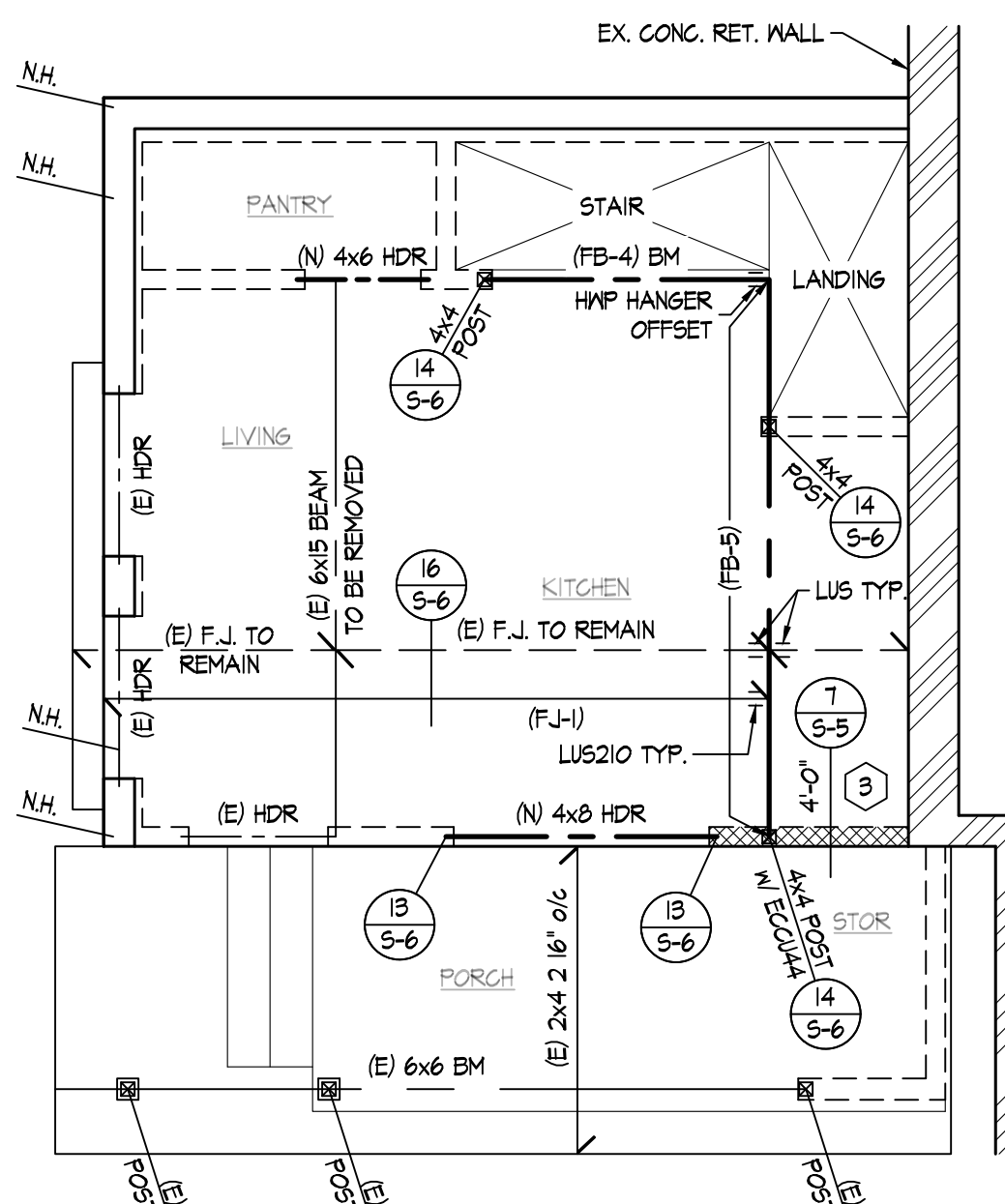
- INSTALL 3/8" DIAMETER ANCHOR BOLTS WITH A MINIMUM EMBEDMENT OF 1" AT 12" ON CENTER AT ALL GRADE BEAMS OR STEM WALLS WHERE A WALL ABOVE OCCURS UNLESS OTHERWISE NOTED ON PLAN. SEE PLAN FOR SPECIAL SPACING OF BOLTS AT SHEAR WALL LOCATIONS. ALL WALLS REQUIRE 3" X 3" X 1/2" CUT WASHERS AT ANCHOR BOLTS. WHERE A TWO-FOUR SYSTEM IS USED FOR FOUNDATION CONSTRUCTION, ANCHOR BOLTS SHALL HAVE A MINIMUM OF 1" EMBEDMENT IN FIRST FOUR. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SILL WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE. HOLES FOR SILL BOLTS SHALL BE NO LARGER THAN THE DIAMETER OF THE SILL BOLT.
- NAILING INTO PRESSURE TREATED WOOD SILL PLATE SHALL USE HOT DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL NAILS.
- THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT SIGNED _____ DATE _____.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED WITH ARCHITECT PRIOR TO CALLING FOR FOUNDATION INSPECTION. FINAL GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT AND ANY REVISIONS FROM THE ORIGINAL SOILS REPORT INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
- PRIOR TO FOUNDATION INSPECTION, ALL HOLDOWNS, ANCHOR BOLTS OR OTHER REQUIRED CAST-IN-PLACE FASTENERS SHALL BE SECURELY TIED IN PLACE.
- THE RESPONSIBLE ENGINEERING GEOLOGIST SHALL INSPECT AND APPROVE GRADINGS AND EXCAVATIONS PRIOR TO PLACEMENT OF FORMS REINFORCING STEEL, OR CONCRETE. IN CASES INVOLVING ENGINEERED FILL, A SOILS ENGINEER SHALL PROVIDE THE INSPECTION AND APPROVAL.
- REMOVE AND RE-COMPACT SOIL AT ALL SLAB AREAS PER SOILS ENGINEER'S REQUIREMENTS.
- USE CBSO POST BASE AT POSTS UNLESS NOTED OTHERWISE ON PLANS.
- SEE SITE PLAN FOR FINISH AND EXISTING GRADE ELEVATIONS AND CONTOURS.
- SOIL DESIGN PARAMETERS:

CLASSIFICATION: TERRACE DEPOSITS	MAPPED ACCELERATION PARAMETERS
BEARING VALUE: 2000 PSF	S _v = 1.328
EXPANSIVE POTENTIAL: 8	S _h = 0.412
PASSIVE RESISTANCE: 150 PCF	SITE CLASS D
FRICITION: 0.25	

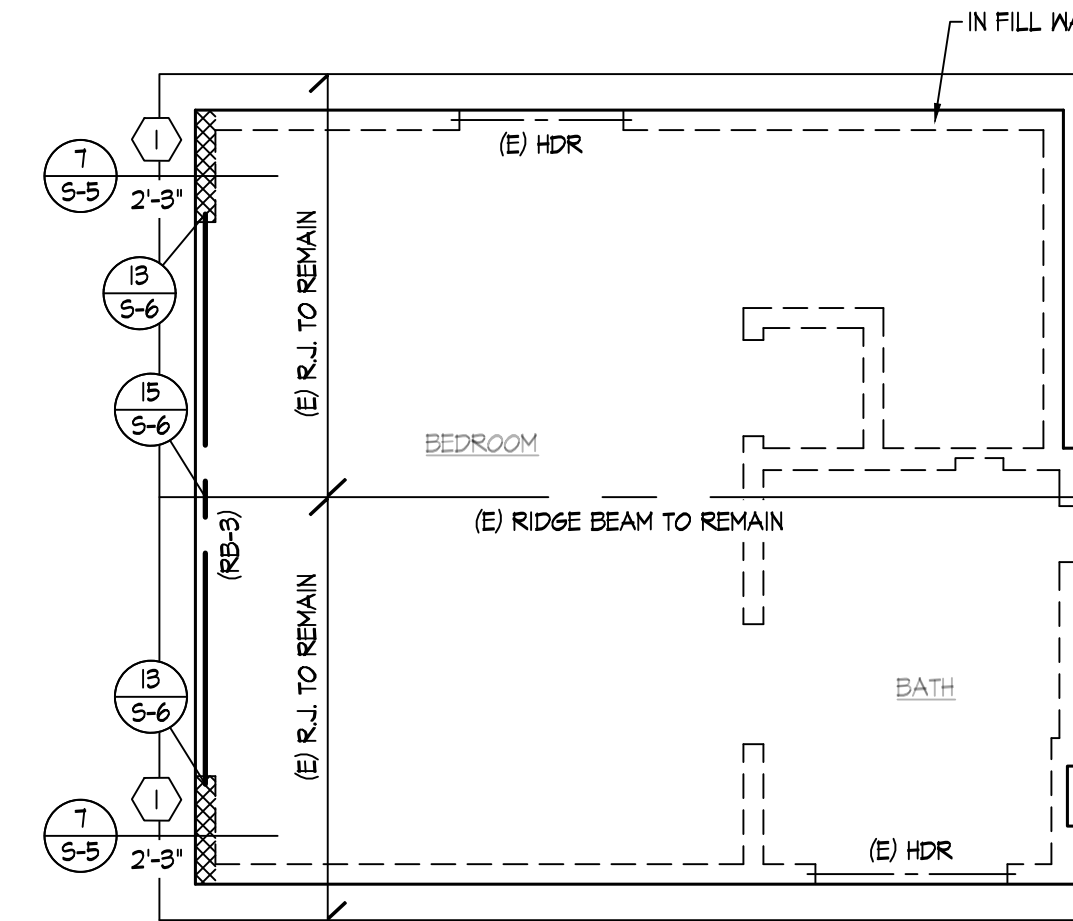
- FOOTINGS SHALL HAVE A MINIMUM EMBEDMENT INTO COMPETENT SOIL OF 18".
- THE RECOMMENDATIONS OF THE REFERENCED SOILS REPORT SHALL BE FOLLOWED AND THE REPORT SHALL BECOME A PART OF THESE CONSTRUCTION DOCUMENTS. REPORT HAS BEEN PREPARED BY: GEOTECH. DATED - JULY 31, 2014. PROJECT NO. - 72417-02. REPORT NO. - 14-2552.
- SOIL ENGINEER SHALL VERIFY WITH A FIELD MEMO THAT CONSTRUCTION AT THE SITE IS IN ACCORDANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF HIS REPORT. SOIL ENGINEER SHALL STAMP AND SIGN MEMO.
- FINISHED EXCAVATION FOR FOUNDATION SHALL BE NEAT AND TRUE TO LINE WITH ALL LOOSE MATERIAL AND STANDING WATER REMOVAL FROM EXCAVATIONS.
- ALL FILL MATERIAL IS TO BE APPROVED BY A SOILS ENGINEER AND IS TO BE COMPACTED TO 90% OF MAXIMUM DENSITY (OR MORE AS DIRECTED). INSPECTION IS REQUIRED DURING FILL AND COMPACTION.
- THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH ARE IN DIRECT CONTACT WITH EARTH, AND SILLS THAT REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD #2 DF OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.



FOUNDATION PLAN
1/4" = 1'-0"



UPPER FLOOR FRAMING
1/4" = 1'-0"



ROOF FRAMING
1/4" = 1'-0"

MARK	SHEATHING 2 & 3	NAILING @ PANEL EDGES	ABS SPACING @ BLK'S TO TOP	SILL NAILING	MAX PLF LOAD
(1)	1/2" ONE SIDE	10d AT 6" o/c	16"	16d @ 6" o/c	340
(3)	1/2" ONE SIDE	10d AT 2" o/c	8"	3/8" x 1" LAGS AT 8" o/c	810

ALL WALLS REQUIRE 3"X3"X1/2" CUT PLATE WASHER AT SILL BOLTS
ALL NAILS ARE COMMON OR GALVANIZED BOX TYPES.

- NOTES:**
- (3) REQUIRE SINGLE PIECE 3x SILL/SOLE PLATE. USE (2)-20d BOX NAILS AT STUD ENDS AT (3) ONLY.
 - LTP4 MAY BE USED AS ALTERNATIVE. USE ALSO AT BLOCKING UNDER WALL TO SILL AT FOUNDATION AND BLOCKING UNDER WALL TO DOUBLE TOP PLATE OF FOUNDATION GRIPPLE WALLS.
 - ALL PANEL EDGES TO BE BLOCKED. AT WALLS 6'-0" AND LESS IN LENGTH FACE GRAIN SHALL BE APPLIED PER PERPENDICULAR STUDS. VERTICAL APPLICATION OF SHEATHING MAY BE USED AT WALL LENGTHS EXCEEDING 6'-0".
 - ALL SHEATHING SHALL BEAR ONE OF THE GRADE STAMPS AS SHOWN ON DETAIL 7/5-5. MINIMUM DIMENSION OF SHEATHING PIECES SHALL BE 24".
 - SEE FOUNDATION PLAN FOR HOLDOWN TYPE AND LOCATION. INSTALLATION OF HOLDOWNS PER MANUFACTURER REQUIREMENTS. THERE SHALL BE NO COLD-JOINTS IN LENGTH OF REQUIRED HOLDOWN EMBEDMENT. HOLDOWNS ARE REQUIRED ONLY WHERE SHOWN ON THE PLANS.
 - ALL FIELD NAILING 12" ON CENTER SAME SIZE AS PANEL EDGE NAILS.
 - FRAMING AT PANEL EDGES, INCLUDING SILL/SOLE PLATES, SHALL BE SINGLE 3-INCH NOMINAL OR WIDER PIECE AND NAILS SHALL BE STAGGERED PER 6/5-5.
 - WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOISTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
 - PRE-DRILLING IS REQUIRED AT LAG BOLTS.
 - DIAPHRAGM SHEATHING NAILS SHALL BE DRIVEN SO THAT THE NAIL HEAD IS FLUSH WITH THE SHEATHING SURFACE.
 - SEE FOUNDATION PLAN FOR SIZE AND SPACING OF ANCHOR BOLTS AT SHEAR WALLS WITH SILLS TO CONCRETE.
 - WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOISTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.

MARK	GRADE / SPECIES / SIZE	COMMENTS
FB-1	#2 DF 4x12	
FB-2	(E) 4x12	
FB-3	W10x39 STEEL BEAM	
FB-4	#2 DF 4x10	
FB-5	#2 DF 4x10	
FJ-1	1 1/2" x 9 1/2" 2.0E DF V-LAM @ 24" o/c	
RB-1	#2 DF 2x8	
RB-2	#2 DF 4x10	
RB-3	3 1/2" x 9 1/2" 2.0E DF VERSA-LAM	

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

harold larson structural design
1437 glenmeade
laguna beach california 92651
(949) 497 5203
email: harlar200@aol.com

BRAFF RESIDENCE
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA



GUEST HOUSE FOUNDATION, FLOOR & ROOF FRAMING

LEGEND

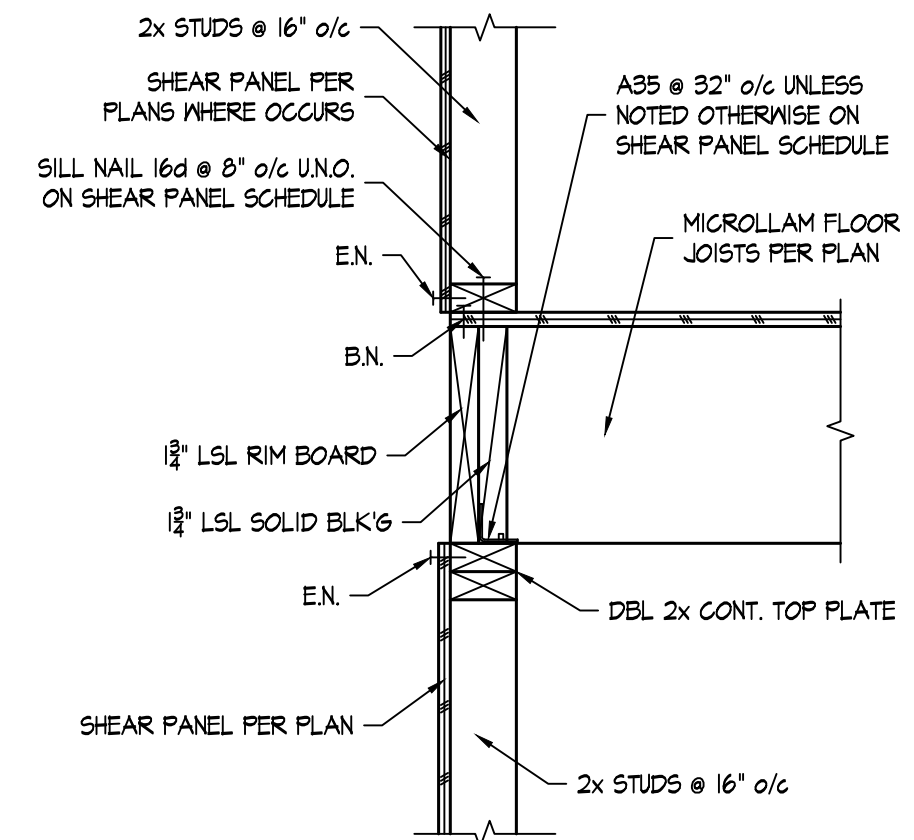
(13) 5-6 DETAIL #
(13) 5-6 PAGE #
A.B. = ANCHOR BOLT
N.H. = NO HOLDOWN

- [Cross-hatched] SHEAR WALL
- [Diagonal lines] NEW RETAINING WALL
- [Diagonal lines] EXIST RETAINING WALL TO BE REMOVED
- [Brick pattern] BRICK WALL
- [Solid grey] NEW FOOTING
- [Dashed] EXIST FOOTING

FOOTING SCHEDULE:
- GF-1: 12" WIDE x 24" DEEP w/ (2)-#4 AT BOTTOM

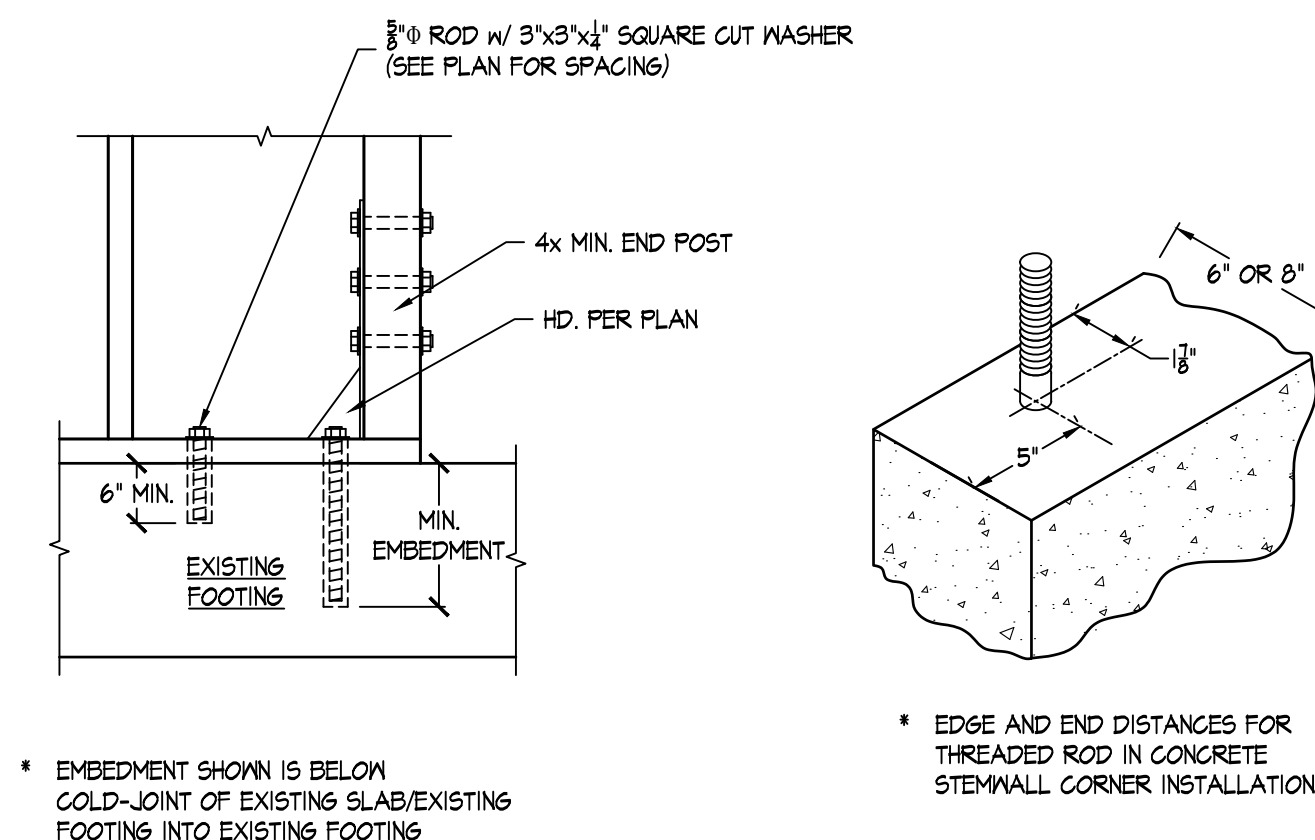
DRAWN	KSK
CHECKED	HL
DATE	
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

S=4



SHEAR TRANSFER

NT.S. 9



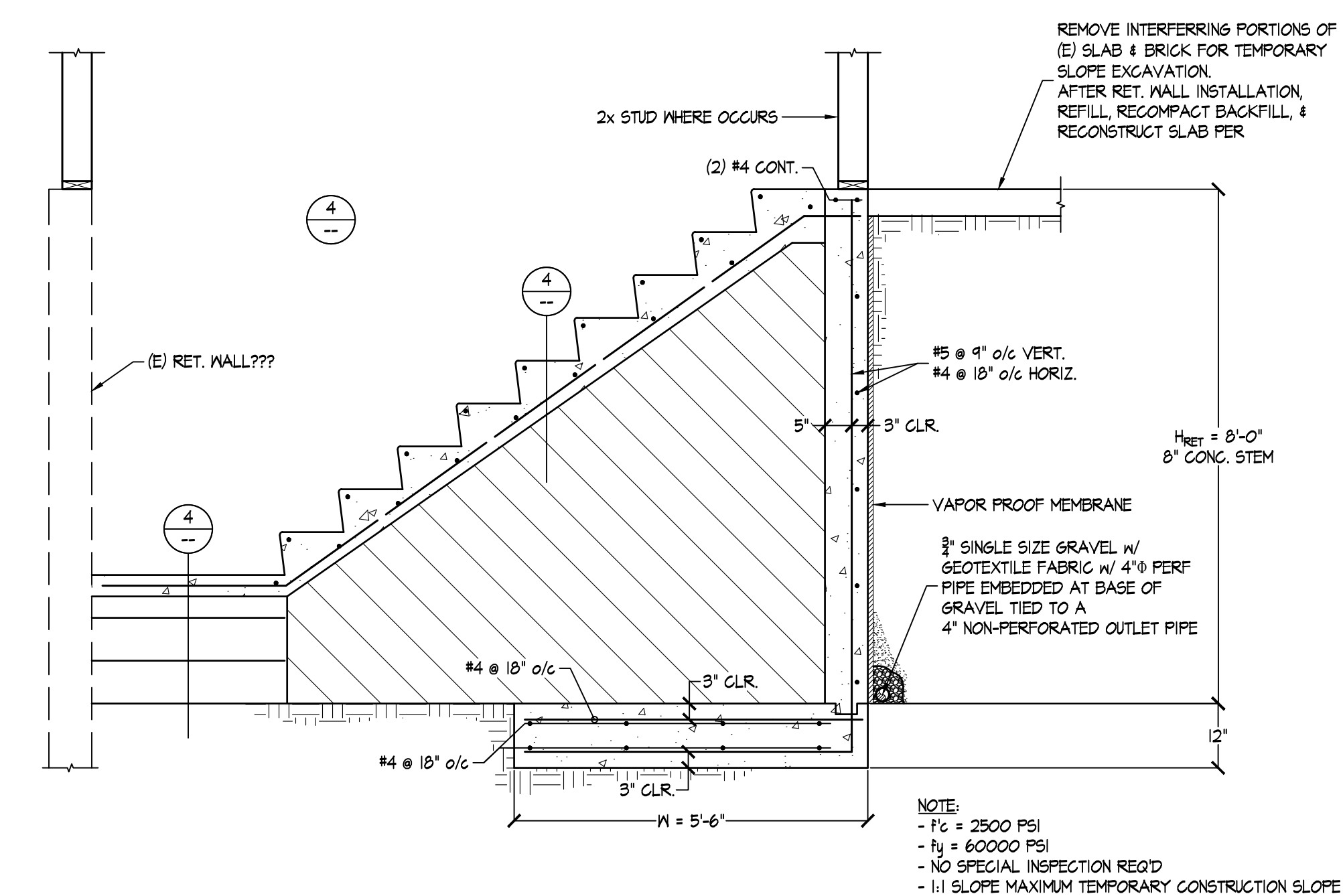
HOLDOWN AT EXISTING FOOTING

NT.S. 3

THREADED ROD IN SET EPOXY		
HDU	ROD DIA.	MIN. EMBEDMENT
5	3/8"	5"

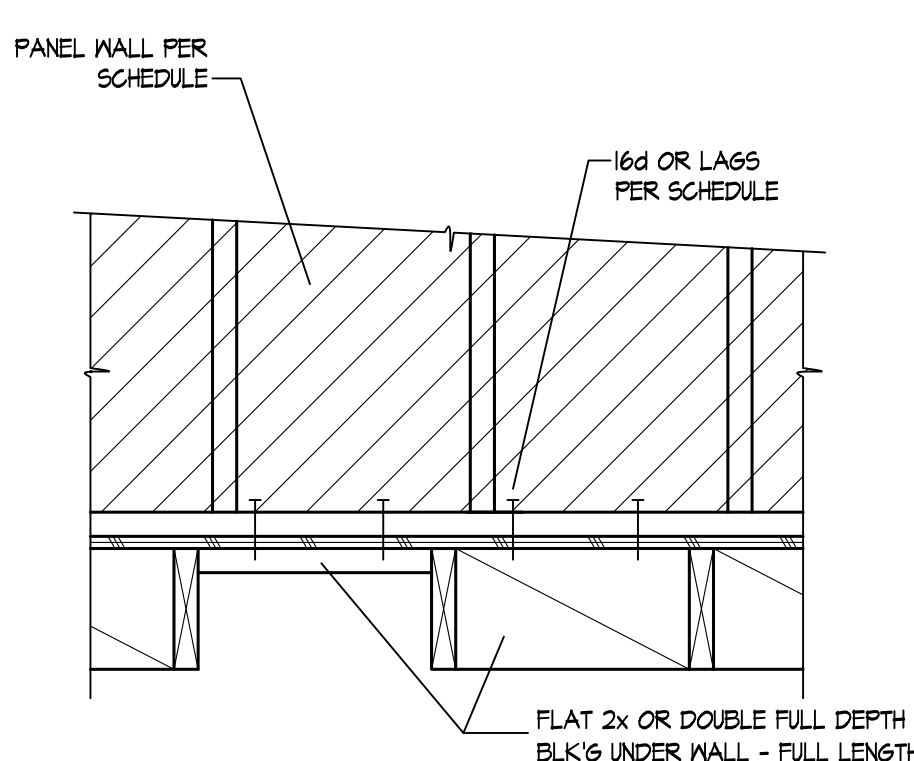
** SIMPSON HIGH STRENGTH "SET-36" EPOXY PER I.C.C. ESR A2308
** SPECIAL INSPECTION IS REQUIRED FOR THREADED ROD INSTALLATION

* EDGE AND END DISTANCES FOR THREADED ROD IN CONCRETE STEMWALL CORNER INSTALLATION

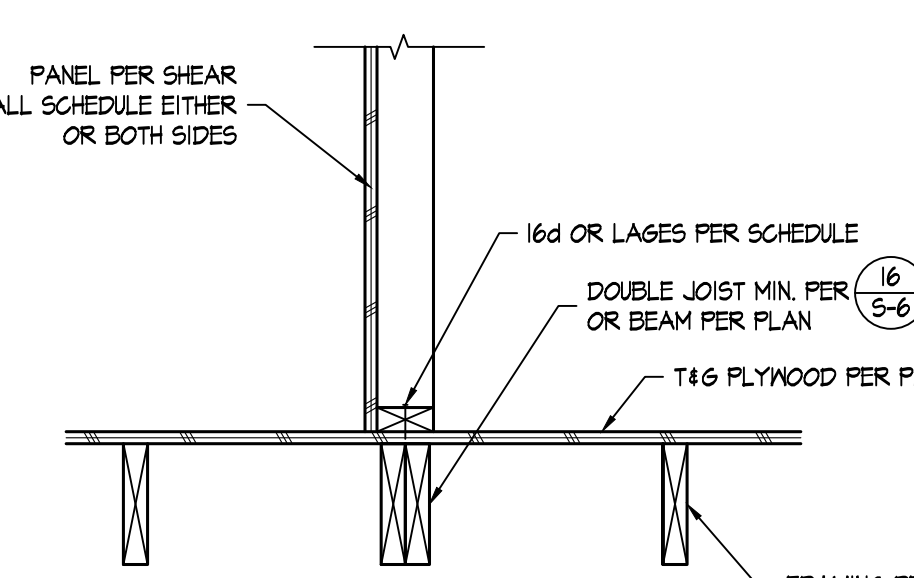


RETAINING WALL AT CELLAR ENTRY

NT.S. 1



SHEAR WALL PERPENDICULAR TO FRAMING

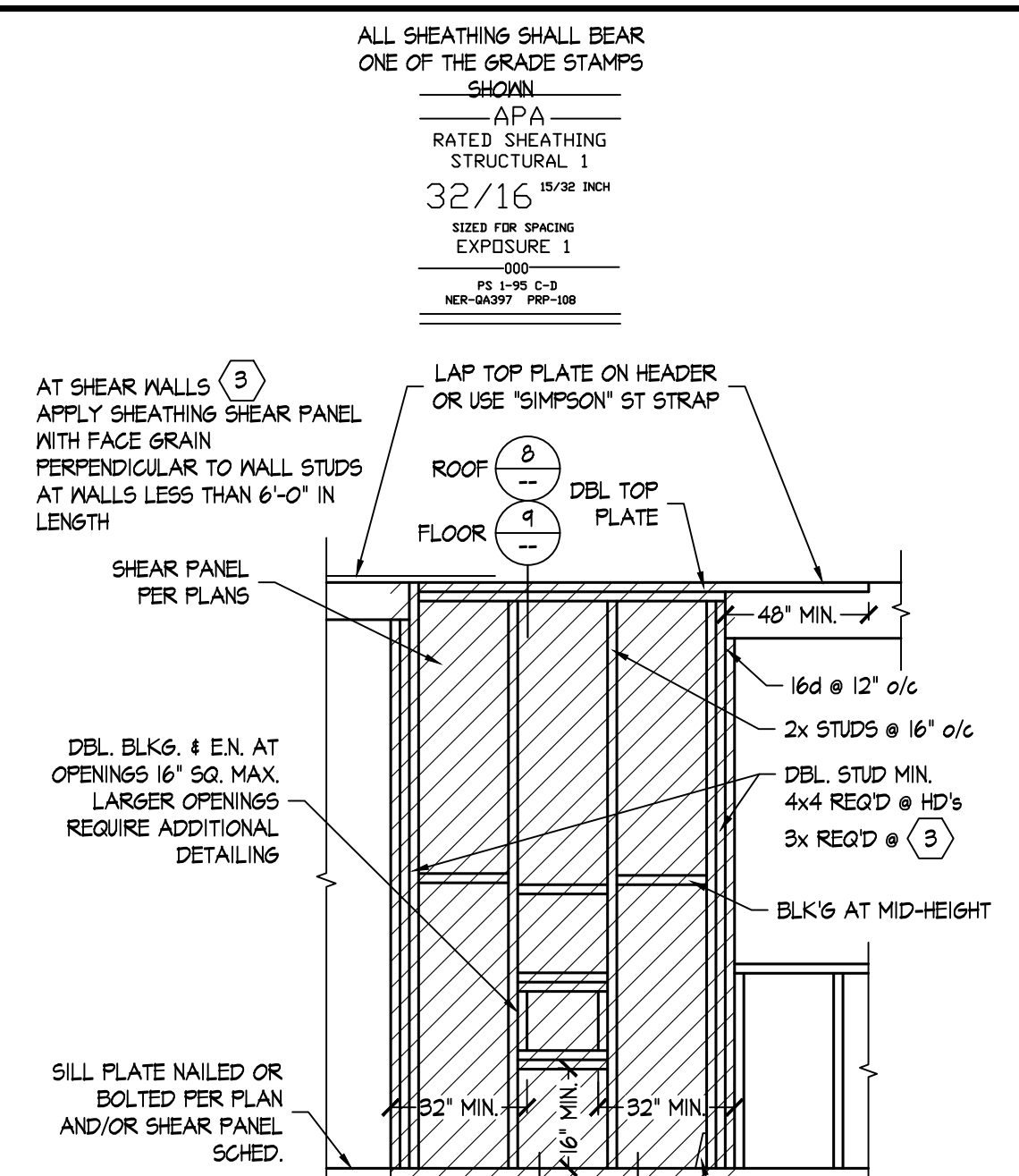


SHEAR WALL PARALLEL TO FRAMING

- SEE ALSO (5) AT SHEAR WALLS (3)
- SEE (7) FOR SHEAR WALL REQUIREMENTS
- WHERE WALL IS LESS THAN 6' IN LENGTH SHEATHING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO STUDS

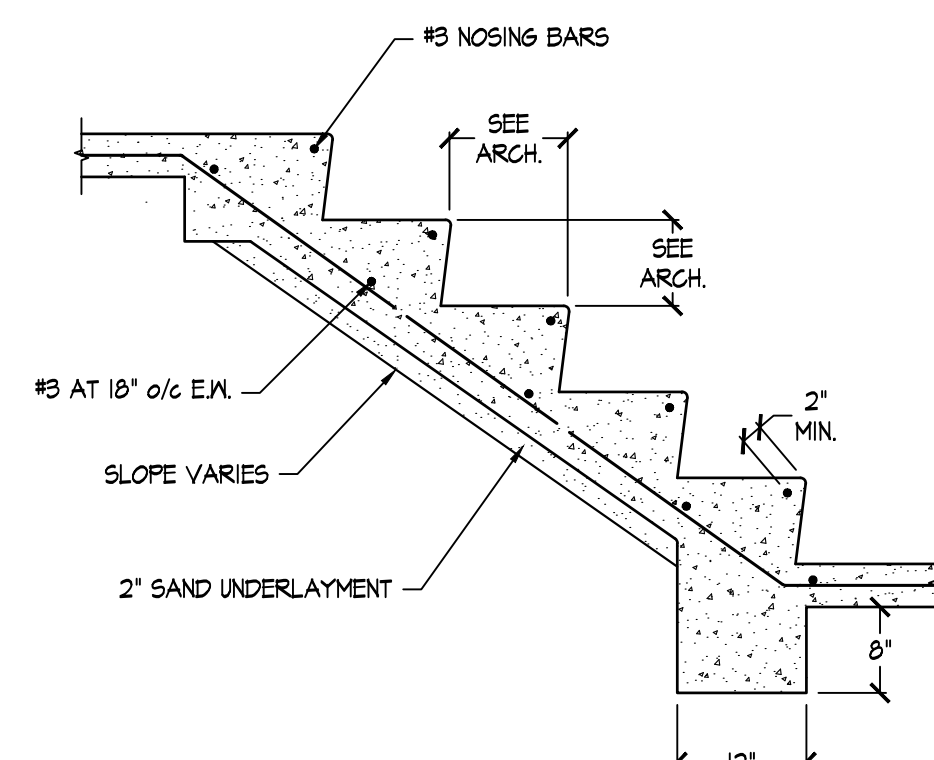
SHEAR WALL PERPEN/ PARALLEL TO FRM'G

NT.S. 10



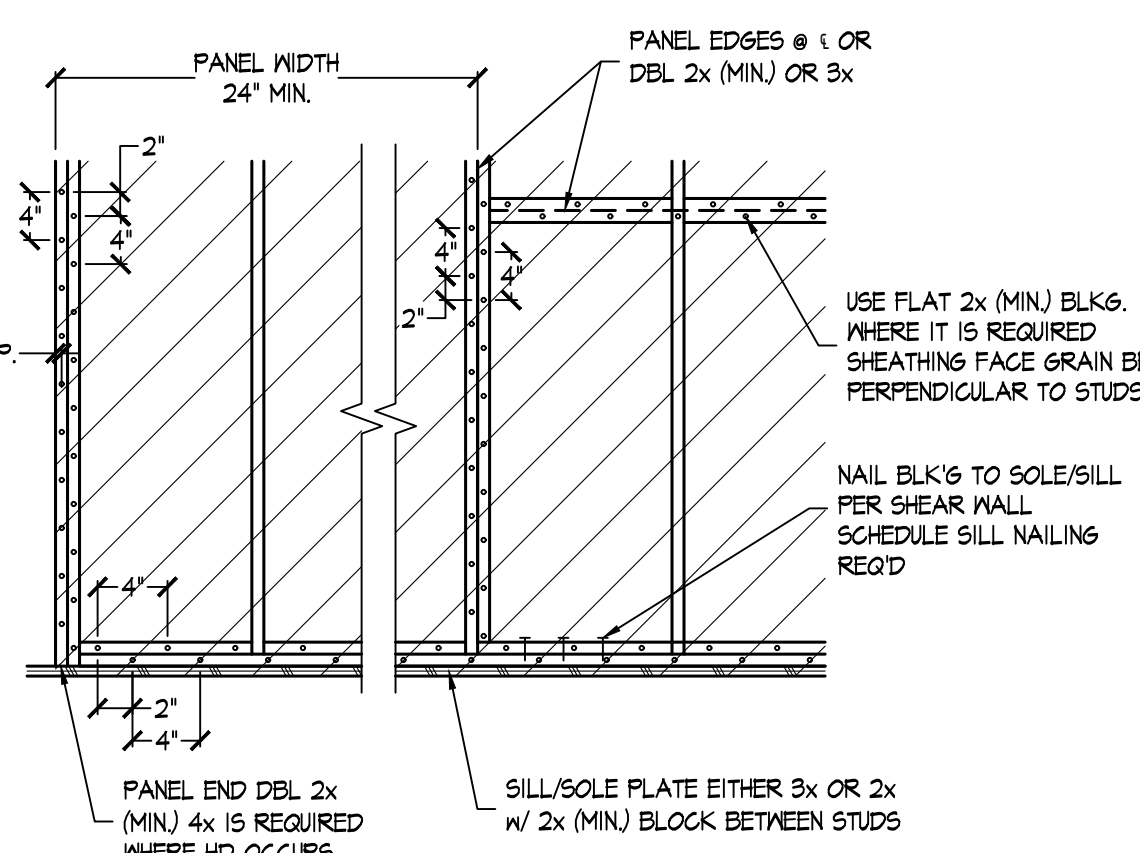
TYPICAL SHEAR WALL

NT.S. 7



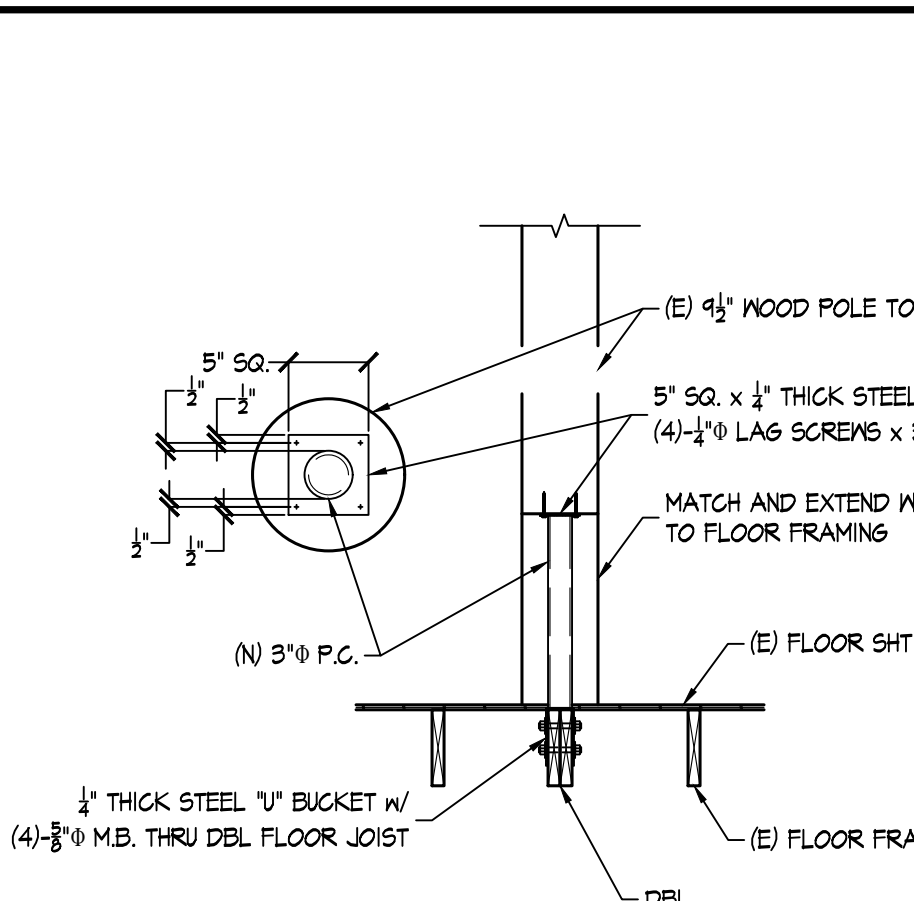
CONCRETE STEPS

NT.S. 4



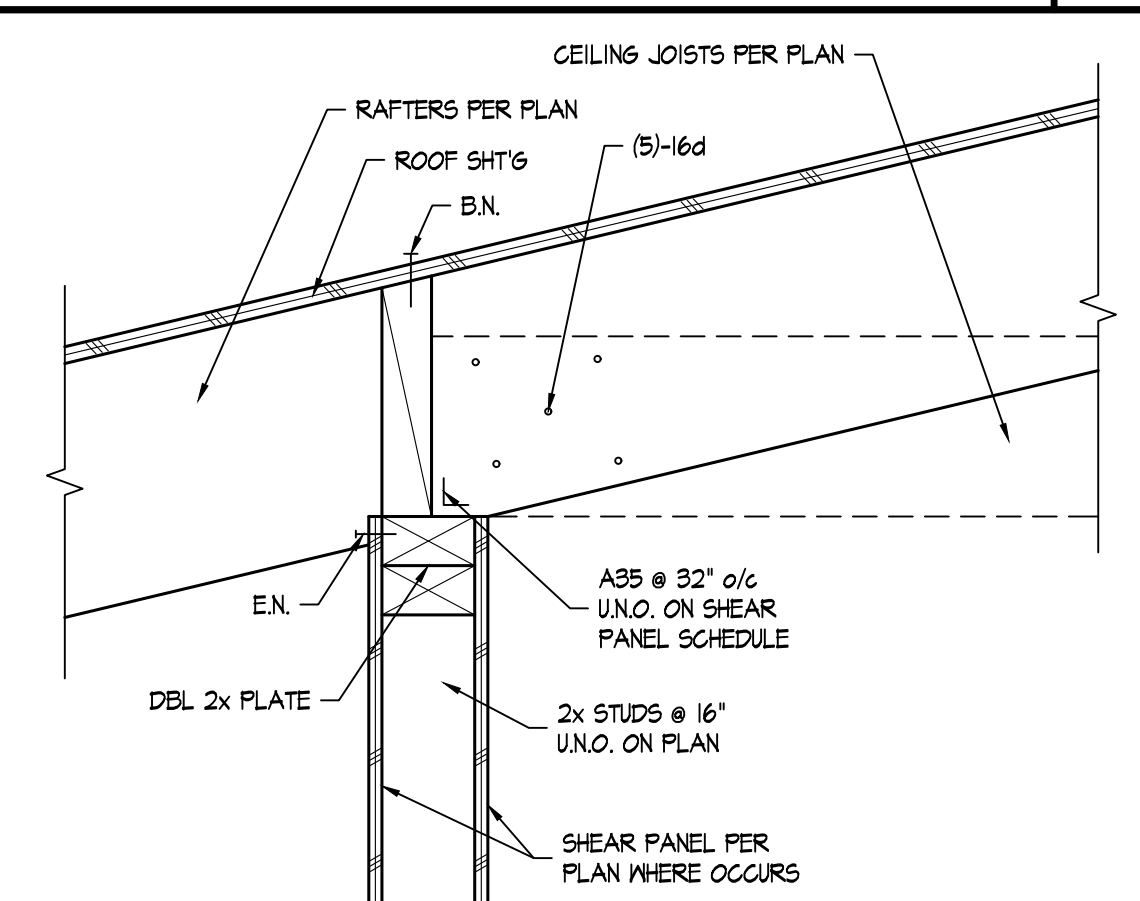
SILL BLOCKING

NT.S. 5



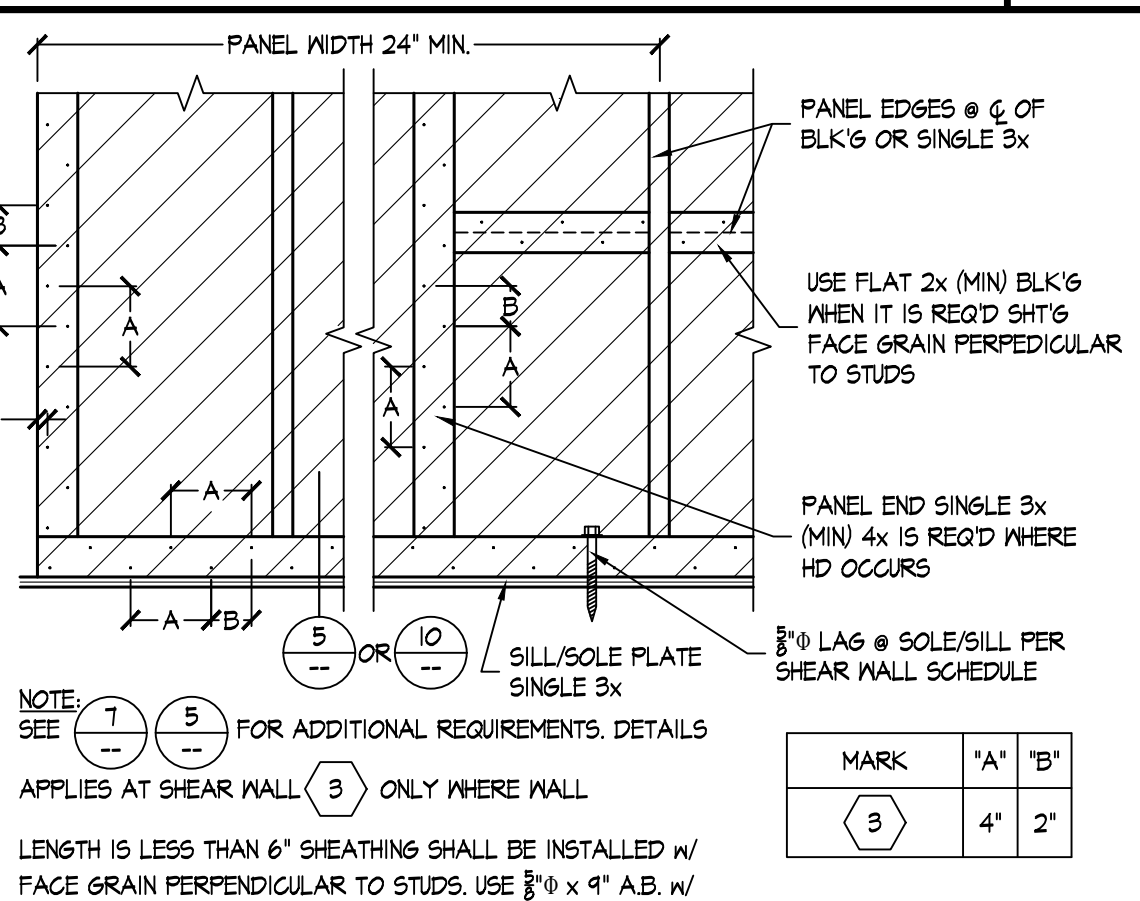
POST EXTENSION

NT.S. 11



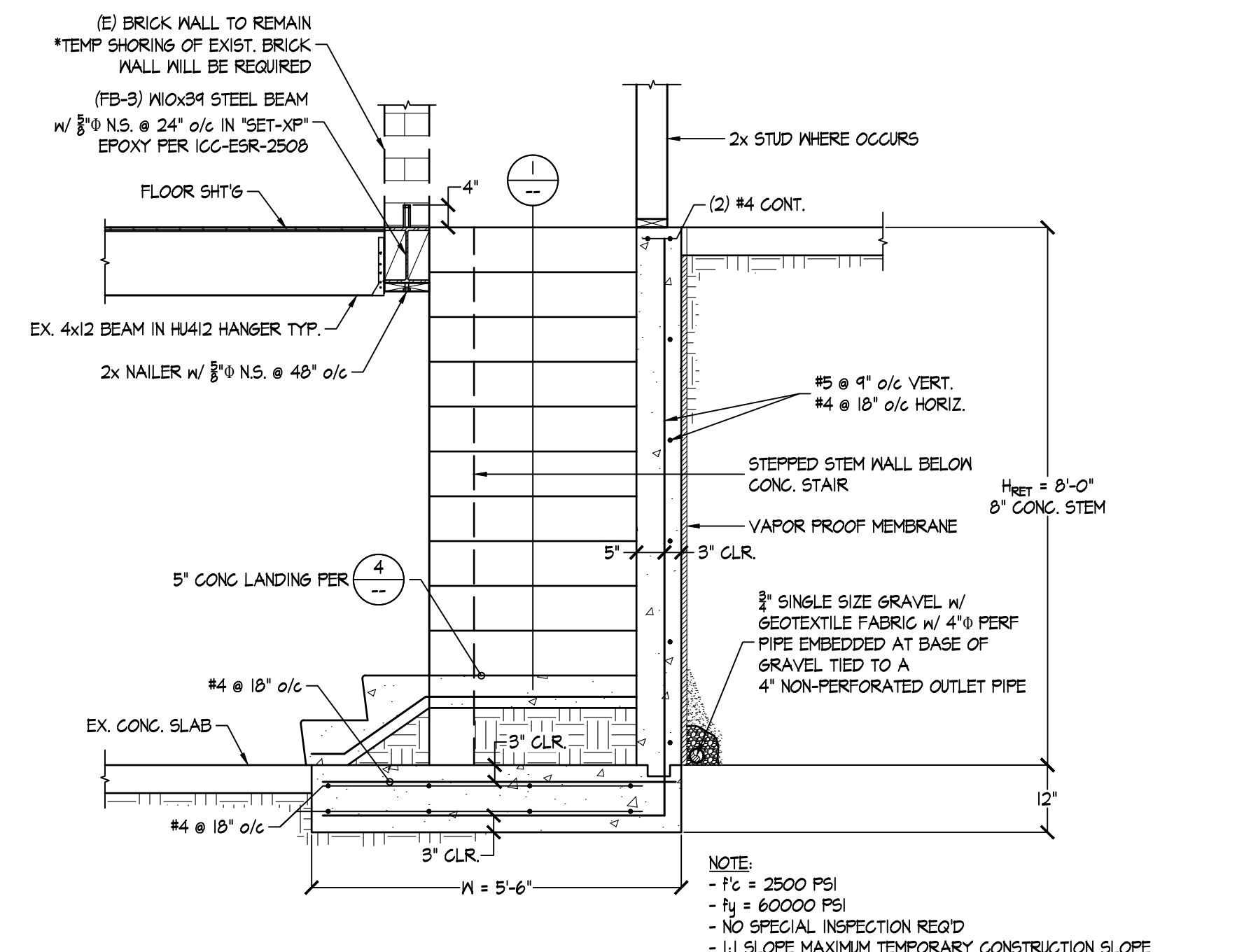
SHEAR TRANSFER

NT.S. 8



SHEAR WALLS (3)

NT.S. 6



RETAINING WALL AT CELLAR ENTRY

NT.S. 2

REVISIONS		
NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

harold larson structural design
1437 glenmeay
laguna beach california 92651
(949) 497 5203
email: harlar200@aol.com

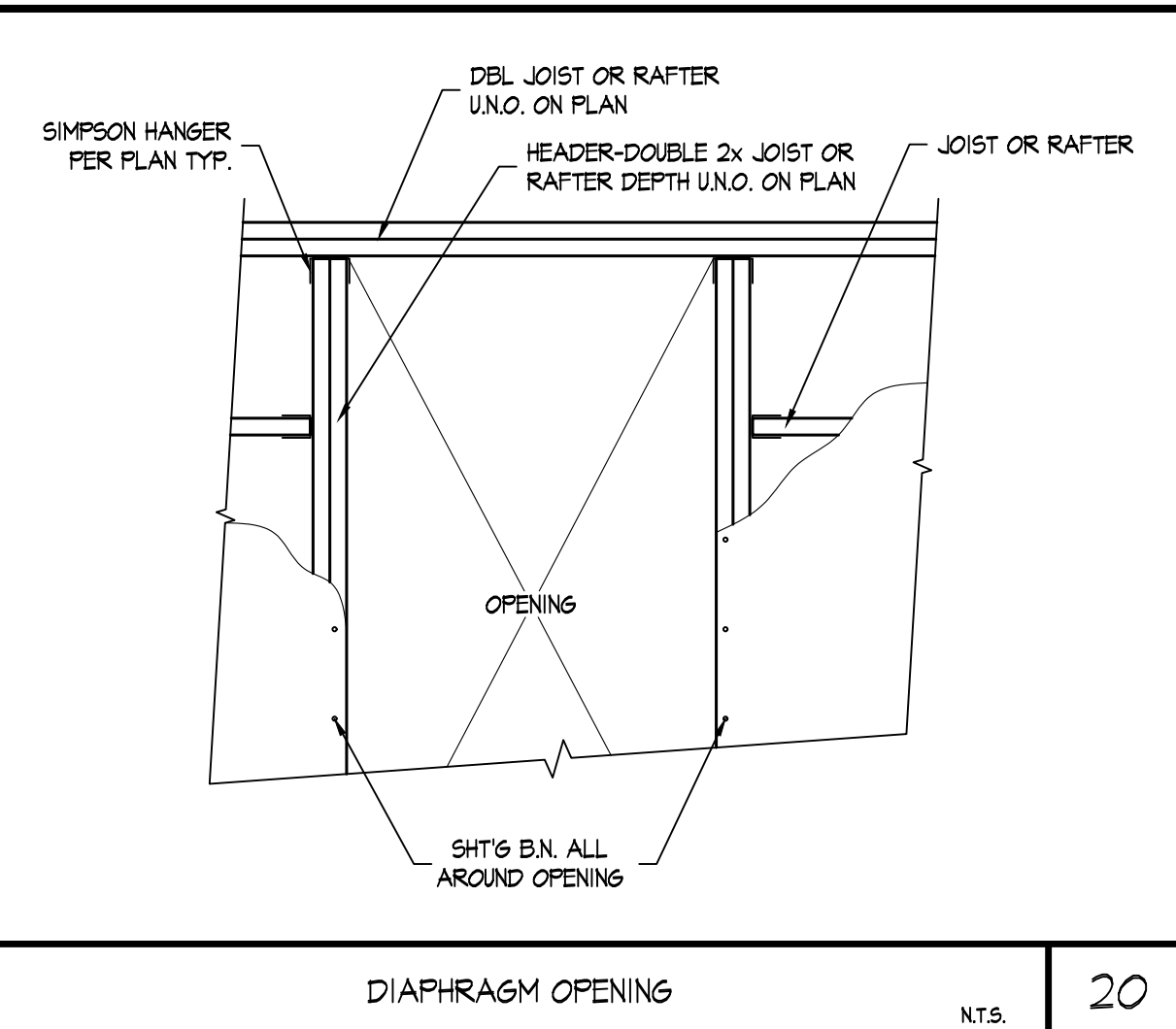
BRAFF RESIDENCE
40 N. LA SENDA DRIVE
LAGUNA BEACH, CA



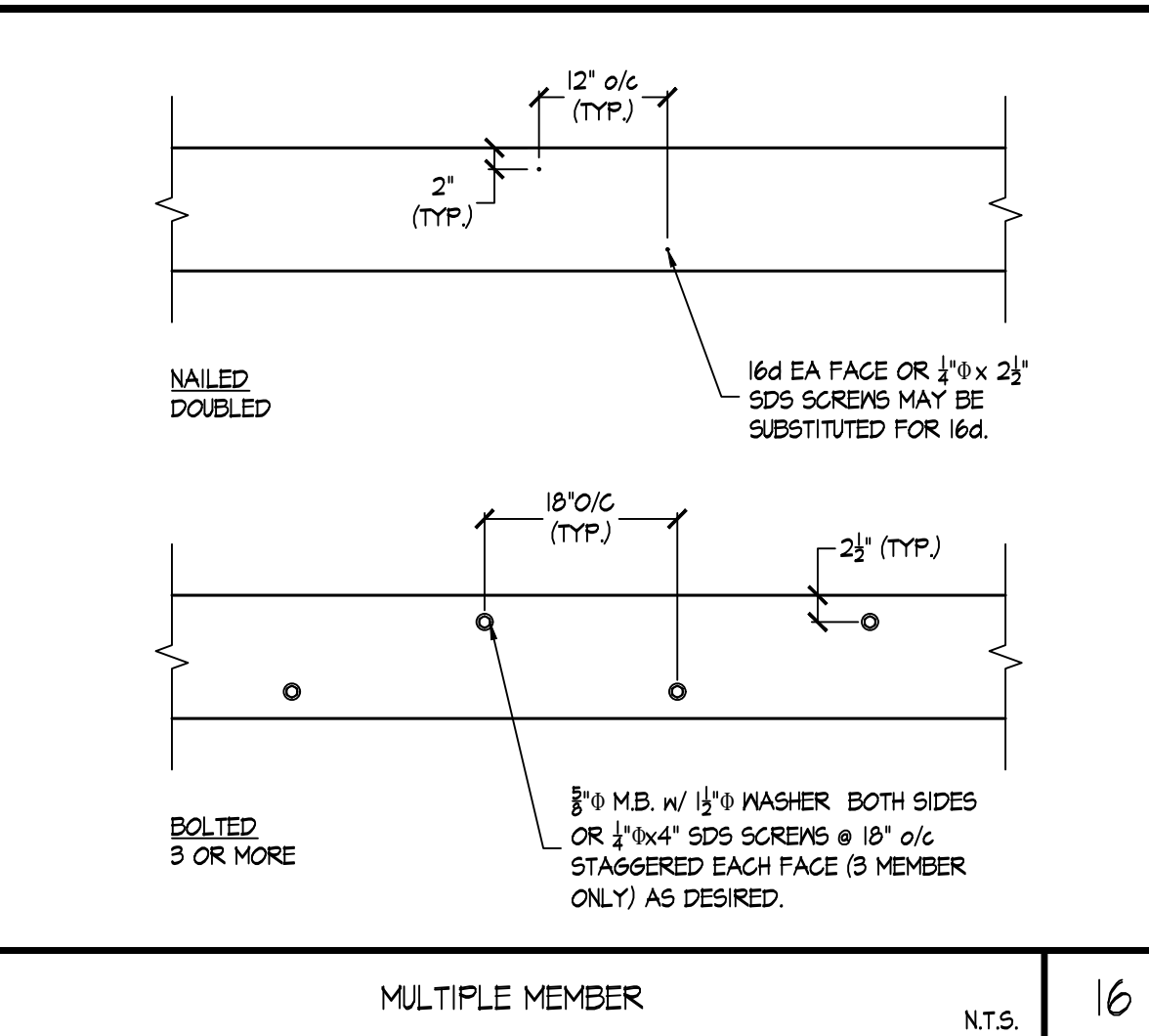
STRUCTURAL DETAILS

DRAWN	KSK
CHECKED	HL
DATE	
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

S-5



DIAPHRAGM OPENING N.T.S. 20



MULTIPLE MEMBER N.T.S. 16

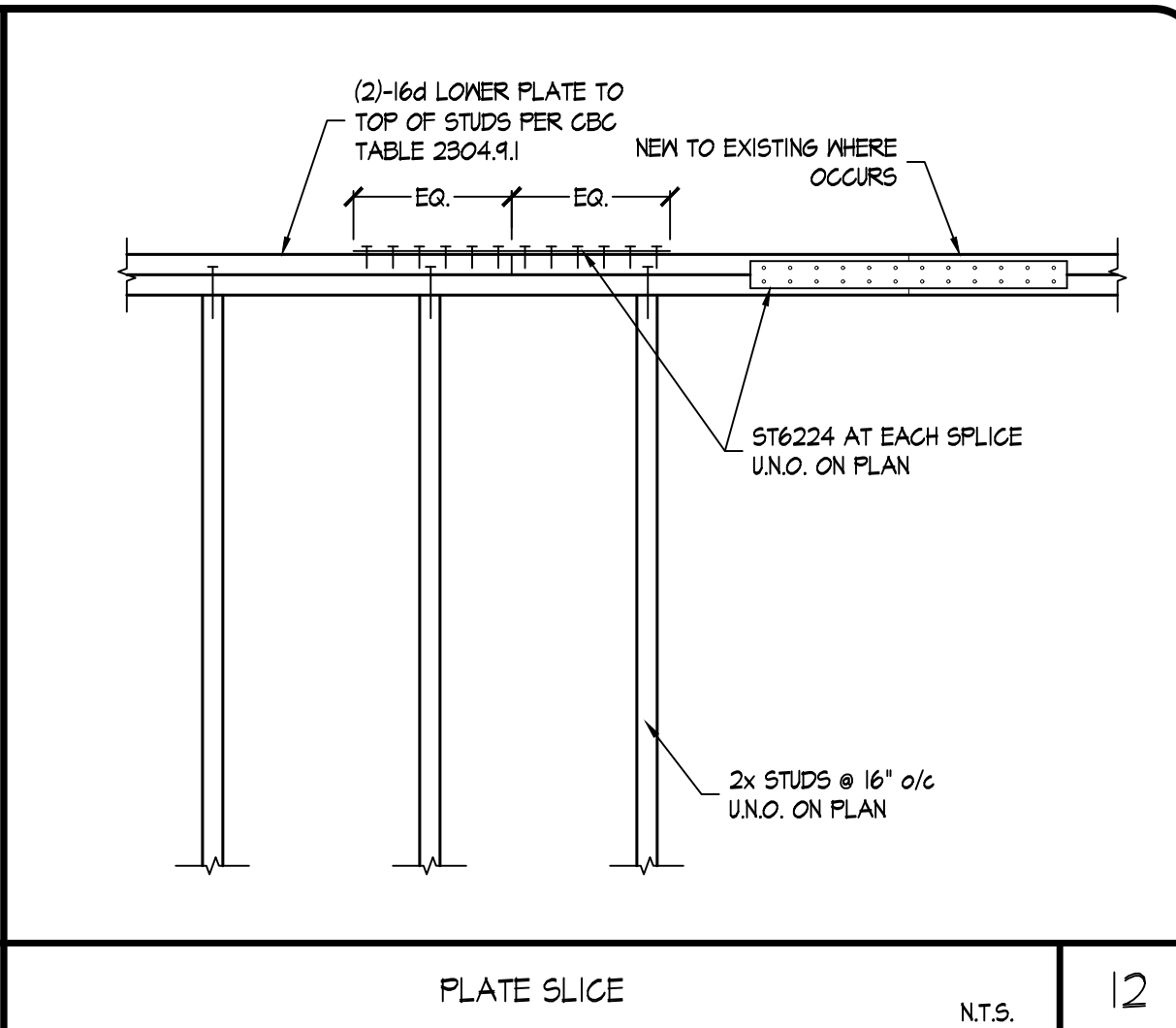
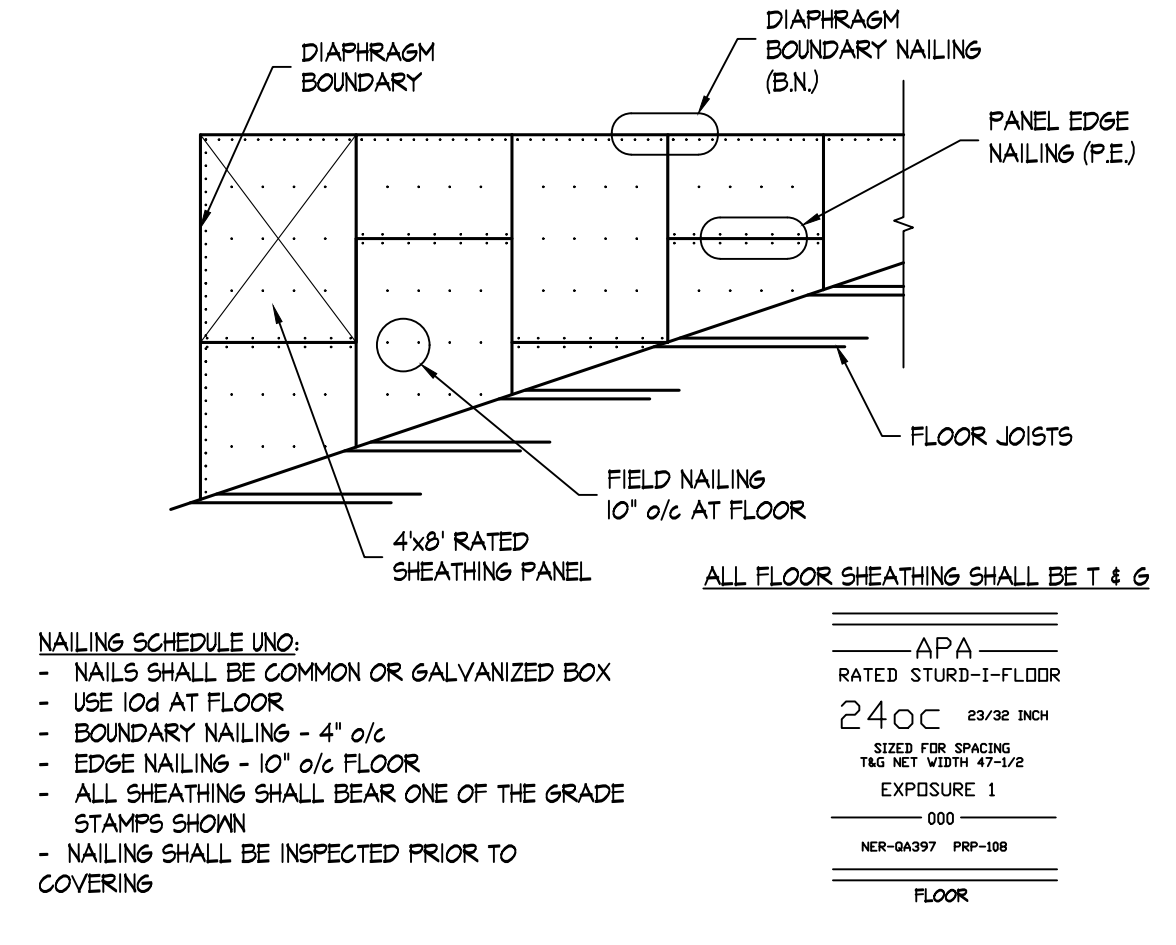
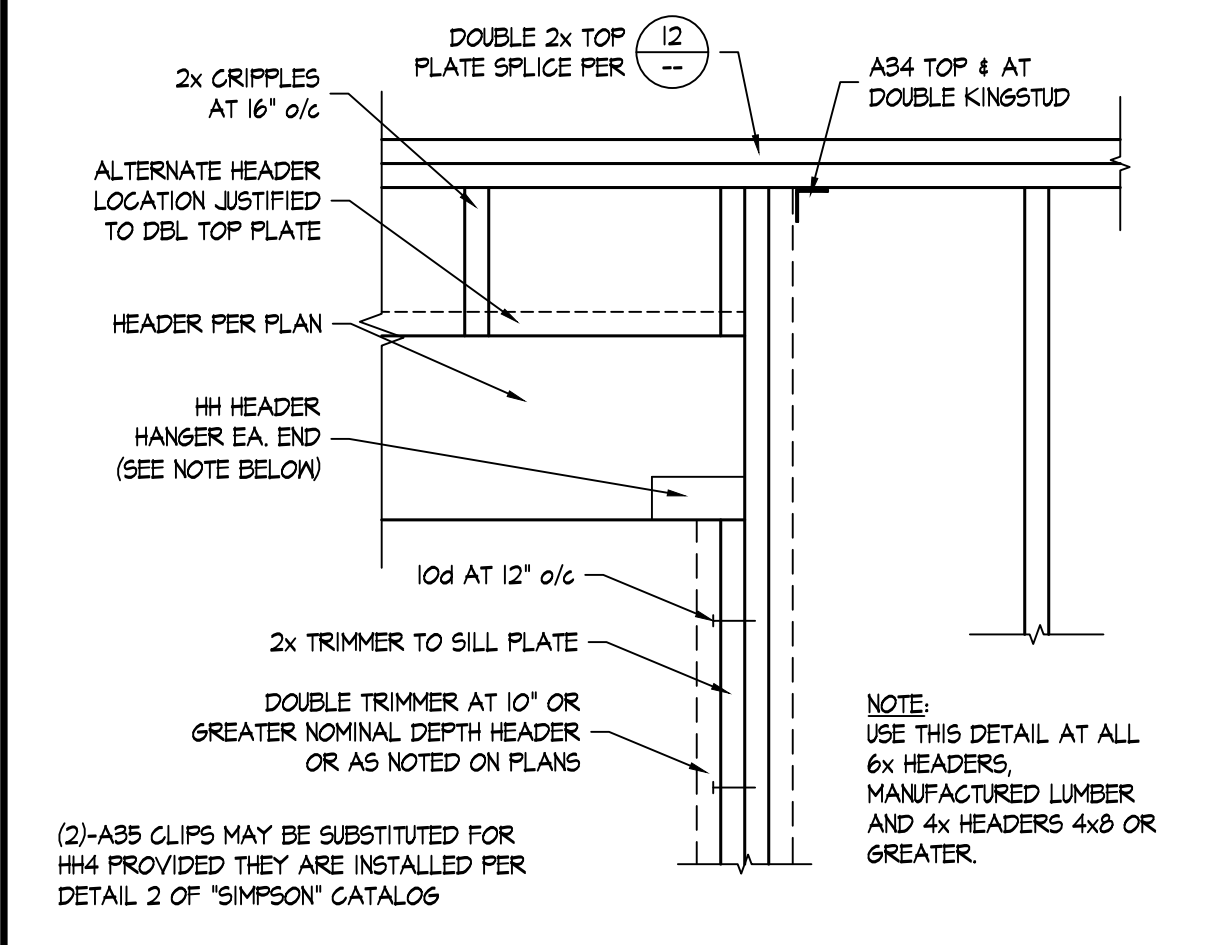


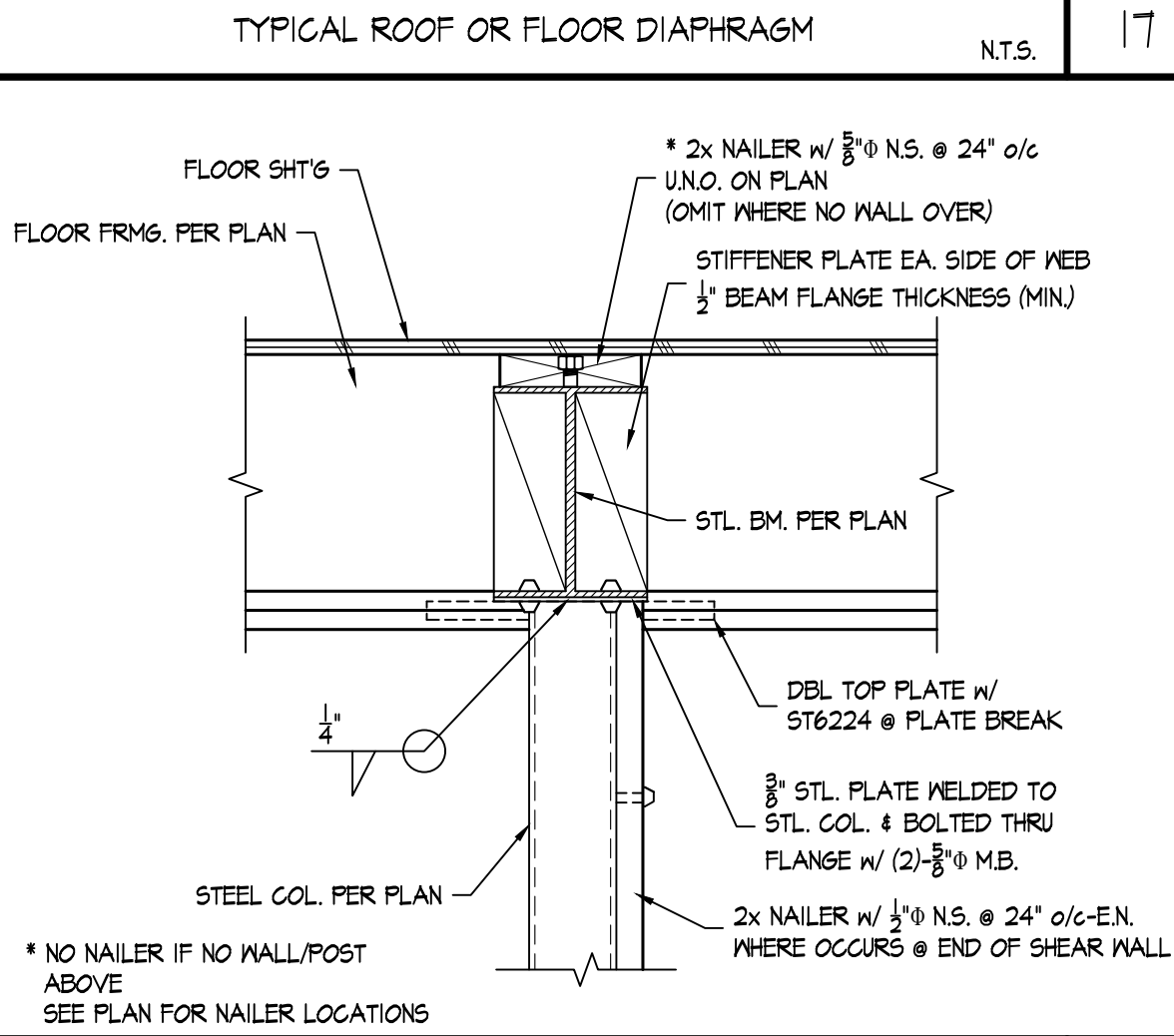
PLATE SLICE N.T.S. 12



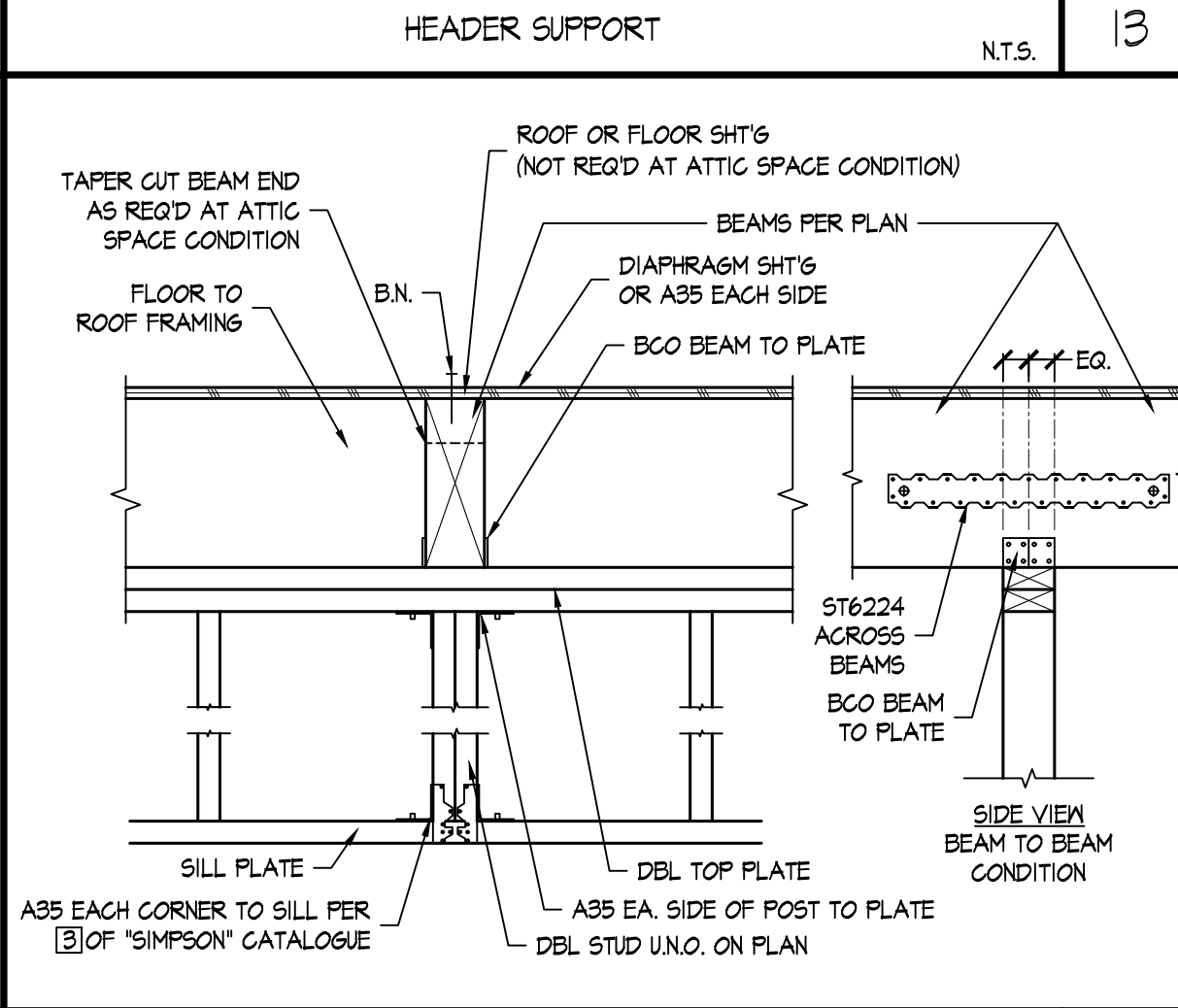
TYPICAL ROOF OR FLOOR DIAPHRAGM N.T.S. 17



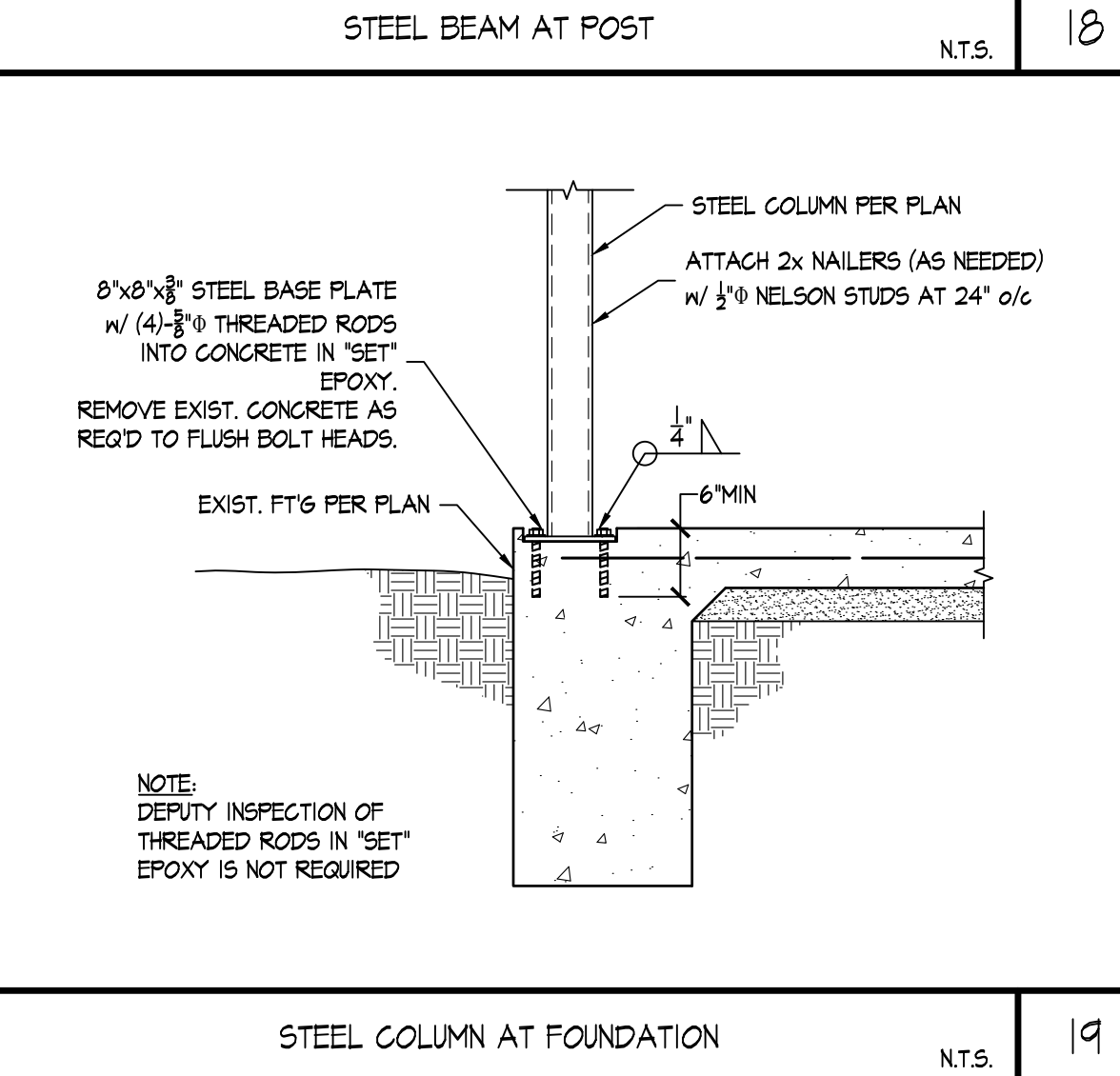
HEADER SUPPORT N.T.S. 13



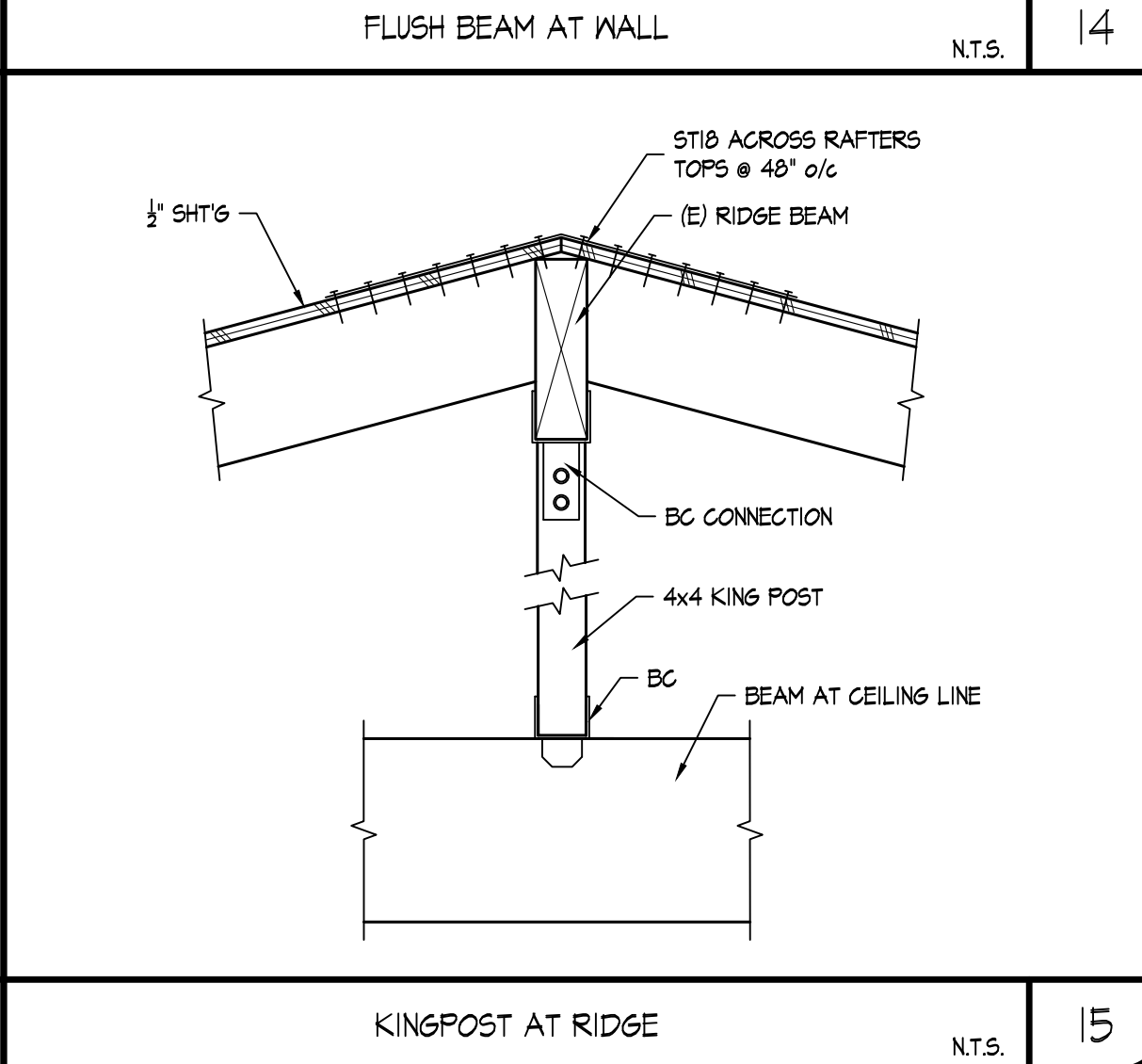
STEEL BEAM AT POST N.T.S. 18



FLUSH BEAM AT WALL N.T.S. 14



STEEL COLUMN AT FOUNDATION N.T.S. 19



KINGPOST AT RIDGE N.T.S. 15

REVISIONS		
NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

harold larson structural design
 1437 glenmeade
 laguna beach california 92651
 (949) 497 5203
 email: harlar200@aol.com

BRAFF RESIDENCE
 40 N. LA SENDA DRIVE
 LAGUNA BEACH, CA



STRUCTURAL DETAILS

DRAWN	KSK
CHECKED	HL
DATE	
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	S-6

Thursday, June 04, 2020 12:25:21 PM