

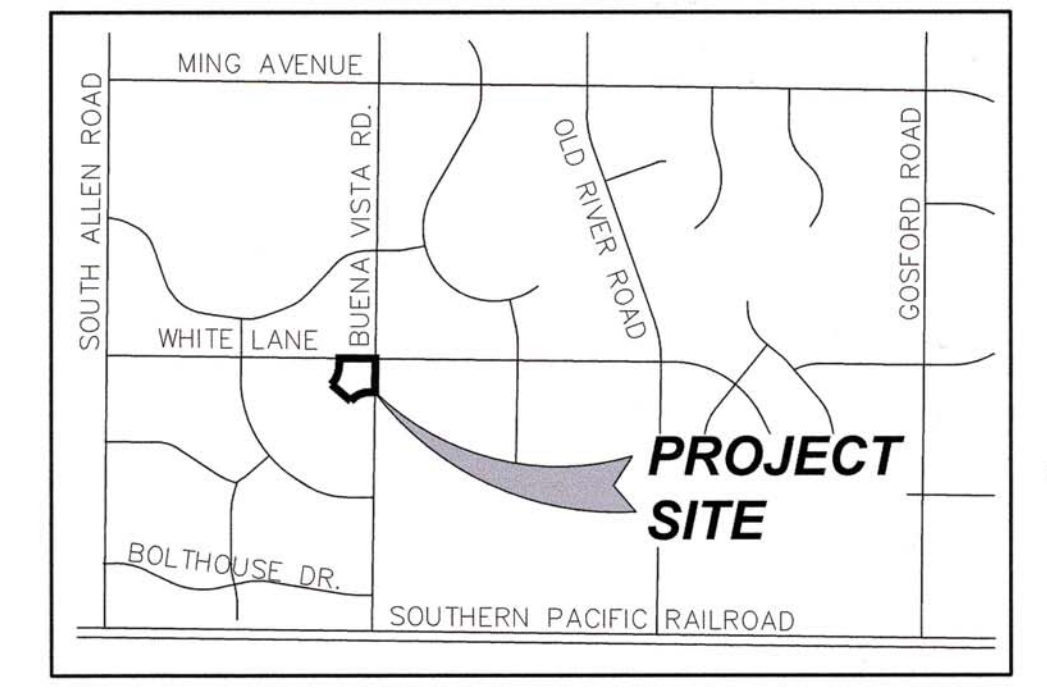
GRADING NOTES:

- 1. ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN...
2. ALL GRADING SHALL CONFORM TO THE CITY OF BAKERSFIELD ORDINANCES...
3. UPON COMPLETION OF GRADING, AND BEFORE THE START OF CONSTRUCTION...

GRADING NOTES, continued:

- 20. BOLTHOUSE PROPERTIES, LLC AND BOLTHOUSE LAND COMPANY, LLC SHALL BE HELD HARMLESS...
21. BOLTHOUSE PROPERTIES, LLC AND BOLTHOUSE LAND COMPANY, LLC SHALL NOT BE RESPONSIBLE...
22. THE STAKING AND MARKING OF THE PROJECT SHALL BE DONE ONLY ONCE...

CITY OF BAKERSFIELD COUNTY OF KERN STATE OF CALIFORNIA
GRADING AND DRAINAGE PLAN
BELCOURT VILLAGE
3443 BUENA VISTA ROAD, BAKERSFIELD, CA 93311
SPR No. 20-0323 ~ PERMIT No. 21-4000010



STORM DRAIN NOTES:

- 1. CONTRACTOR WILL FURNISH ALL MATERIALS, TOOLS, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO COMPLETE INSTALLATION.
2. UNDERGROUND SERVICE ALERT (USA) SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS BEFORE COMMENCEMENT OF CONSTRUCTION.
3. CONTRACTOR TO CALL FOR USA LOCATE AND VERIFY THAT THE PROPOSED DESIGN DOES NOT CONFLICT WITH ANY UTILITIES...

STORM DRAIN NOTES, CONTINUED:

- CUTTING PIPE: THE CONTRACTOR SHALL PERFORM ALL WORK OF CUTTING PIPE AND SPECIAL CASTING NECESSARY TO THE ASSEMBLY, ERECTION AND COMPLETION OF THE WORK.
PIPELINE TESTING: ALL SEWERS SHALL BE TESTED FOR TIGHTNESS WHEN COMPLETED AND READY FOR SERVICE.
CLEANING PIPE LINES: CARE SHALL BE EXERCISED IN LAYING OF PIPE LINES TO EXCLUDE DIRT AND ANY OTHER FOREIGN MATERIAL...

OWNER/DEVELOPER:

BOLTHOUSE LAND COMPANY, LLC
BRUCE DAVIS
11601 BOLTHOUSE DRIVE, SUITE 200
BAKERSFIELD, CA 93311
Ph: 661.323.4005

ENGINEER:

BOLTHOUSE PROPERTIES, LLC
KATHRYN F. MACNEILL
11601 BOLTHOUSE DRIVE, SUITE 200
BAKERSFIELD, CA 93311
Ph: 661.556.4543

LEGAL DESCRIPTION:

LOT 1 OF LOT LINE ADJUSTMENT No. 12-0351 AS EVIDENCED BY CERTIFICATE OF COMPLIANCE RECORDED ON NOVEMBER 15, 2016 AS DOCUMENT NO. 0212164610...

ASSESSOR'S PARCEL NUMBER:

524-051-05

SITE ADDRESSES:

ALL BUILDINGS ARE ADDRESSED TO BUENA VISTA ROAD, BAKERSFIELD, CA 93311

Table with 4 columns: PAD #, SHOPS #, MARKET #, RETAIL #. Values include PAD 1 = 3345, SHOPS 1 = 3321, MARKET = 3401, RETAIL = 3413.

BENCHMARK:

TOP OF CONCRETE MONUMENT IN A LAMPHOLE 54-FT WEST OF THE CENTERLINE INTERSECTION OF WHITE LANE AND WINDERMERE STREET.
ELEVATION = 353.03' (UGSS DATUM)

BASIS OF BEARINGS:

THE BEARING OF SOUTH 89°19'48" EAST, SHOWN FOR THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 30 SOUTH, RANGE 26 EAST, MDB&M...

ACREAGE:

12.194 GROSS ACRES (9.132 NET ACRES), MORE OR LESS
9.15 DISTURBED ACRES

SWPPP:

STATE WATER RESOURCES CONTROL BOARD WIDTH 5F15C383041 APPLIES TO THIS PROJECT.

GRADING QUANTITIES:

THE QUANTITIES SHOWN BELOW ARE FOR GRADING PERMIT PURPOSES ONLY, AND SHALL NOT BE USED FOR BIDDING PURPOSES.

SHEET INDEX:

- C1 COVER SHEET / NOTES
C2 GRADING PLAN
C3 GRADING LEGEND, DETAILS AND SECTIONS
C4 SITE ACCESSIBILITY DETAILS
C5 PAVING PLAN
C6 STORM DRAIN PLAN (NOT A SITE UTILITIES (SEWER) APPROVAL
C7 HORIZONTAL CONTROL PLAN & EASEMENTS
EROSION CONTROL PLAN

NOT A WATER LINE APPROVAL
6.258 CYS
14,132 CYS
19,832 CYS
1.20
9.15 NET ACRES
8.15 ACRES
TOTAL NUMBER OF LOTS: 8
BUILDABLE & 0 NON-BUILDABLE
**ILL QUANTITIES ARE *COMPACTED IN-PLACE* VOLUMES

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS...

ENGINEER'S STATEMENT:

THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE CITY OF BAKERSFIELD ORDINANCES, STANDARDS AND DESIGN CRITERIA...

ENGINEER'S STATEMENT:

ANY ERRORS, OMISSIONS, OR OTHER VIOLATIONS OF THOSE ORDINANCES, STANDARDS OR DESIGN CRITERIA ENCOUNTERED DURING CONSTRUCTION SHALL BE CORRECTED AND SUCH CORRECTIONS REFLECTED ON CORRECTED PLANS SUBMITTED TO THE CITY ENGINEER.

ENGINEER'S STATEMENT:

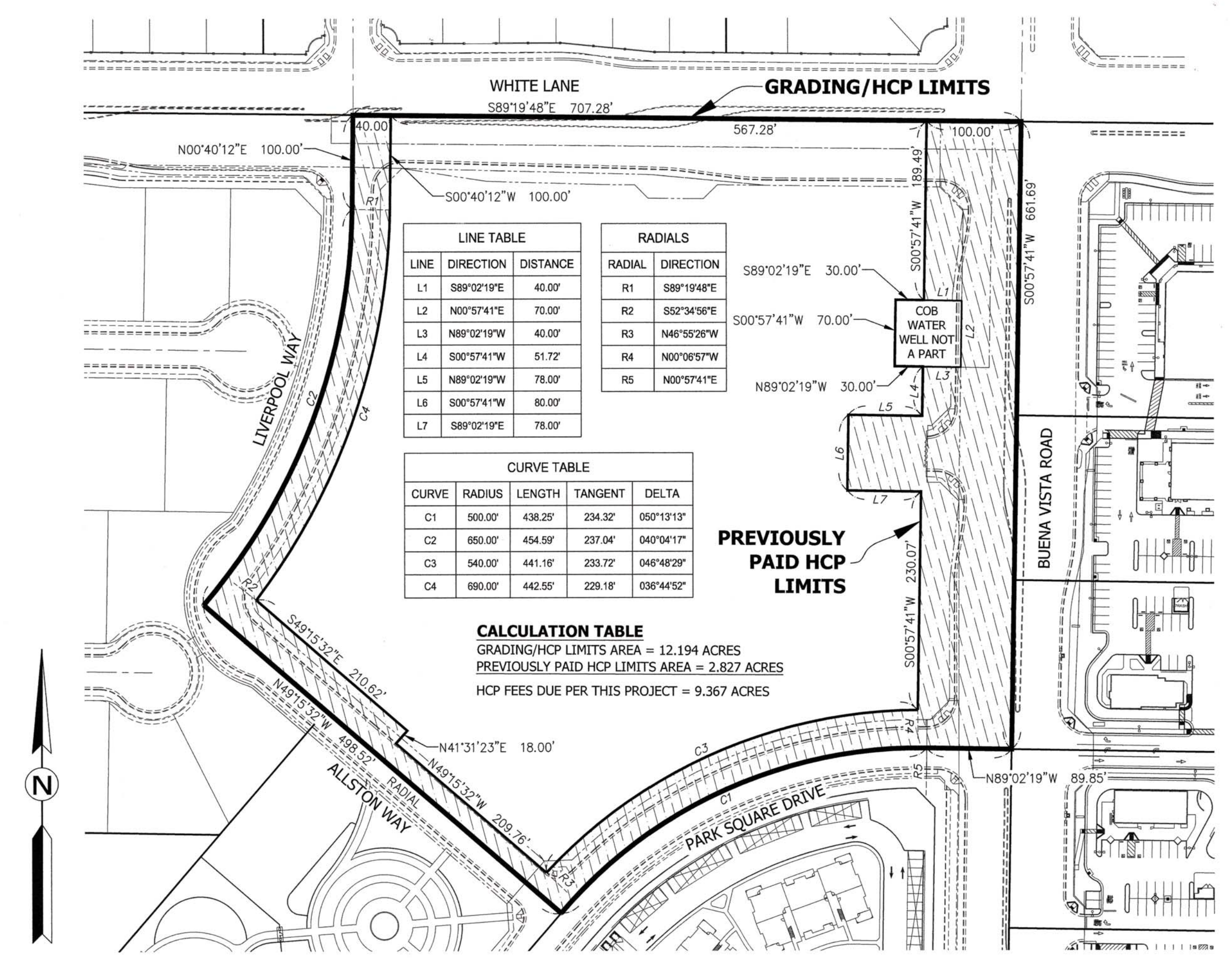
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NOT A SITE UTILITIES (SEWER) APPROVAL

69-391
CITY RECORDS NO.



HABITAT CONSERVATION FEE AREA MAP

SCALE: 1"=100'

BELCOURT VILLAGE
GRADING & DRAINAGE PLAN
SPR No. 20-0323
PERMIT No. 21-4000010

APPLICANT
Bolthouse Land Company
11601 BOLTHOUSE DRIVE, SUITE 200, BAKERSFIELD, CA 93311
Ph: 661.323.4005 • www.bolthouseproperties.com

BELCOURT VILLAGE

Revision table with columns: NO., DATE, REVISION.

DRAWN BY: K. MacNeill

DATE: 06/15/2021

ACAD FILE: CivilSite-01.dwg

SHEET: C1

OF 8 SHEETS

3073413 Buena Vista
Grading

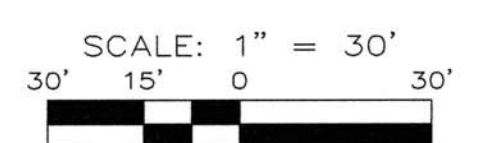
GRADING LEGEND

1. CONSTRUCT TYPE "B" CURB & GUTTER PER DETAIL (A)
2. CONSTRUCT TYPE "B" CURB & GUTTER WITH PARKING STEP-OUT PER DETAIL (B)
3. CONSTRUCT 6" CURB PER DETAIL (C)
4. CONSTRUCT 6" CURB WITH PARKING STEP-OUT PER DETAIL (D)
5. CONSTRUCT 12-FT WIDE W/SP MULTIPURPOSE TRAIL PER DETAIL (E)
6. CONSTRUCT 8-FT WIDE "Y"-GUTTER PER DETAIL (F) AT HANDICAP STALLS & XINGS
7. CONSTRUCT 6-FT WIDE "Y"-GUTTER PER DETAIL (G)
8. CONSTRUCT 4-FT WIDE "Y"-GUTTER PER DETAIL (H)
9. TRANSITION FROM DETAIL (F) TO DETAIL (G)
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11. CONSTRUCT TYPE "A" CATCH BASIN (ON GRADE) PER C.O.B. STD. DETAILS D-14 & D-17
12. CONSTRUCT TYPE "A" CATCH BASIN (IN SAG) PER C.O.B. STD. DETAILS D-14 & D-17
13. CONSTRUCT 2'x2' DROP INLET - CHRISTY "U"-SERIES CATCH BASIN U21 WITH CHRISTY "U"-SERIES WELDED STEEL GRATE U21-T1/W/D, TRAFFIC RATED, WITH CONCRETE COLLAR PER DETAIL (I)
14. CONSTRUCT STORM DRAIN MANHOLE PER C.O.B. STD. DETAILS SW-2 & SW-3
15. CONSTRUCT CASE A HANDICAP RAMP (6-FT WIDE UNLESS NOTED OTHERWISE) PER CALTRANS STANDARD PLAN RSP AB8A DATED MAY 31, 2018, OR CURRENT EDITION.
16. CONSTRUCT CASE C HANDICAP RAMP (6-FT WIDE UNLESS NOTED OTHERWISE) PER CALTRANS STANDARD PLAN RSP AB8A DATED MAY 31, 2018, OR CURRENT EDITION.
17. CONSTRUCT CASE F HANDICAP RAMP (6-FT WIDE UNLESS NOTED OTHERWISE) PER CALTRANS STANDARD PLAN RSP AB8A DATED MAY 31, 2018, OR CURRENT EDITION.
18. CONSTRUCT CASE G HANDICAP RAMP (6-FT WIDE UNLESS NOTED OTHERWISE) PER CALTRANS STANDARD PLAN RSP AB8A DATED MAY 31, 2018, OR CURRENT EDITION.
19. CONSTRUCT CASE CM CURB RAMP PER CALTRANS STANDARD PLAN AB8B DATED MAY 31, 2018, OR CURRENT EDITION.
20. CONSTRUCT TYPE A / TYPE B / TYPE C PASSAGEWAY, AS APPROPRIATE, PER CALTRANS STANDARD PLAN AB8B DATED MAY 31, 2018, OR CURRENT EDITION.
21. CONSTRUCT 4-FT WIDE TEMPORARY A.C. SWALE PER DETAIL (J)
22. CONSTRUCT 10-FT DEEP CONCRETE APRON IN FRONT OF TRASH ENCLOSURE
23. CONSTRUCT 6-FT HIGH TEMPORARY CHAIN LINK FENCE WITH 14-FT WIDE ACCESS GATE AROUND TEMPORARY DRAINAGE SUMP
24. CONSTRUCT TYPE "A" COMMERCIAL DRIVE APPROACH PER C.O.B. STD. DETAIL ST-3
25. CONSTRUCT STANDARD CURB RAMP PER C.O.B. STD. DETAIL ST-10
26. CONSTRUCT PARKING/DRIVE-THRU SCREENING/RETAINING WALL PER DETAIL (K)
27. CONSTRUCT 6-FT HIGH MASONRY WALL WITH ROLLING GATE AND MAN GATE PER COB WATER RESOURCES DEPARTMENT UNDER SEPARATE PLANS & PERMIT
28. PUBLIC UTILITIES EASEMENT TO COB RECORDED ON APRIL 8, 2021 AS DOCUMENT No. 0221065313, O.R. - SEE SHEET C7
29. PEDESTRIAN WALKWAY EASEMENT TO COB RECORDED ON APRIL 5, 2021 AS DOCUMENT No. 0221062234, O.R. - SEE SHEET C7
30. CONSTRUCT MASONRY SOUND WALL AT MARKET LOADING UNDER SEPARATE PLANS AND PERMIT
31. CONSTRUCT 5-FT WIDE DETACHED SIDEWALK PER C.O.B. STD. DETAIL ST-6
32. CONSTRUCT 12" WIDE 6" CURB AT DRIVE-THRU WINDOWS PER DETAIL (L)
33. REMOVE & REPLACE 10-FT JOINT OF EXISTING TYPE "B" CURB & GUTTER AT THE DIRECTION OF THE CITY ENGINEER.
34. PATCH EXISTING GUTTER LIP AT THE DIRECTION OF THE CITY ENGINEER
35. INSTALL HOLOPHANE "GRANVILLE" PREMIER LED LUNAR IS LED-4K 60W ARRAY WITH 12-FT HAMILTON ALUMINUM POLE OR EQUIVALENT AS APPROVED BY THE CITY ENGINEER. CONNECT IN SERIES WITH EXIST. SL851341 AT THE INTERSECTION OF LIVERPOOL WAY & ALLSTON WAY.

- RIGHT-OF-WAY LINE
- CONSTRUCT TRASH ENCLOSURES PER COB STANDARD DETAILS. SEE ARCHITECTURAL PLANS FOR DETAILS AND FINISHES.
- TR CONSTRUCT 8'x10' TRASH ENCLOSURE
 - TR CONSTRUCT 8'x10' TRASH ENCLOSURE WITH GREASE BARREL ENCLOSURE
 - TRASH CONSTRUCT 8'x15' TRASH ENCLOSURE
 - TRASH CONSTRUCT 8'x15' TRASH ENCLOSURE WITH GREASE BARREL ENCLOSURE
 - TRASH CONSTRUCT 8'x20' TRASH ENCLOSURE
 - TRASH CONSTRUCT 8'x20' TRASH ENCLOSURE WITH GREASE BARREL ENCLOSURE

NOTES:

1. SEE SHEET C3 FOR DETAILS & SECTIONS.
2. SEE SHEET C4 FOR SITE ACCESSIBILITY DETAILS.
3. SEE SHEET C5 FOR PAVING PLAN.
4. SEE SHEET C6 FOR SEWER & STORM DRAIN PLAN.
5. SEE SHEET C7 FOR BOUNDARY & EASEMENT INFORMATION.
6. PRIVATE MAINTENANCE ON-SITE CATCH BASINS, DROP INLETS AND STORM DRAIN PIPE ARE TO BE PRIVATELY MAINTAINED. CITY OF BAKERSFIELD WILL NOT BE RESPONSIBLE FOR ANY DRAINAGE FACILITIES MAINTENANCE.



BELCOURT VILLAGE
GRADING PLAN
 SPR No. 20-0323
 PERMIT No. 21-4000010

Bothouse
 LAND COMPANY

BELCOURT
 V I L L A G E

NO.	DATE	REVISION

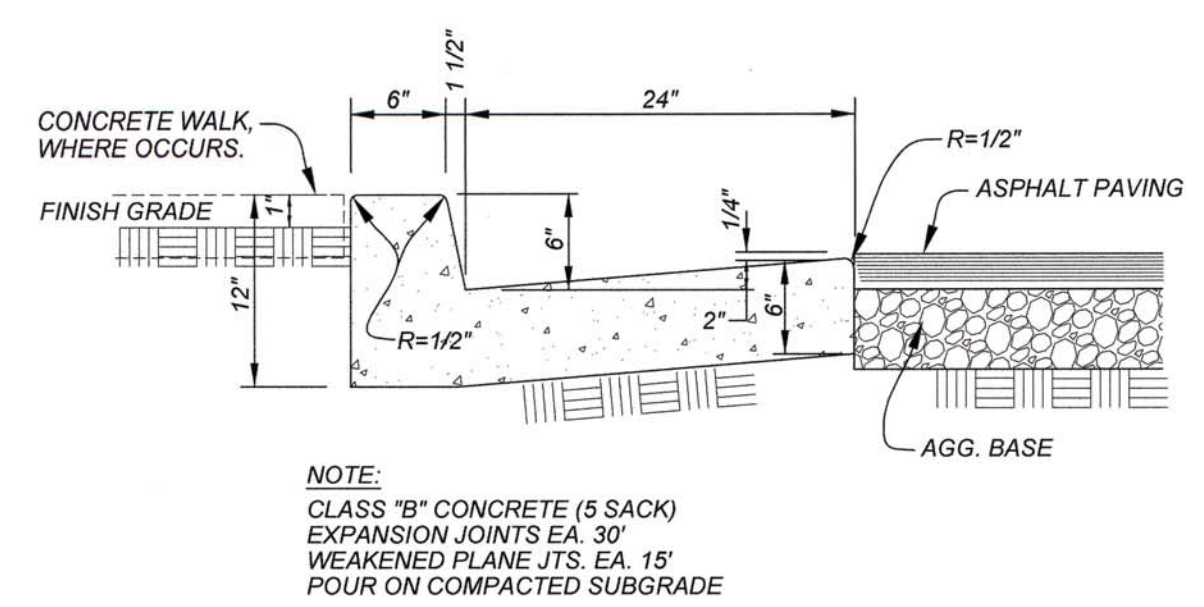
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 DATE: 06/15/2021
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C2
 OF 8 SHEETS

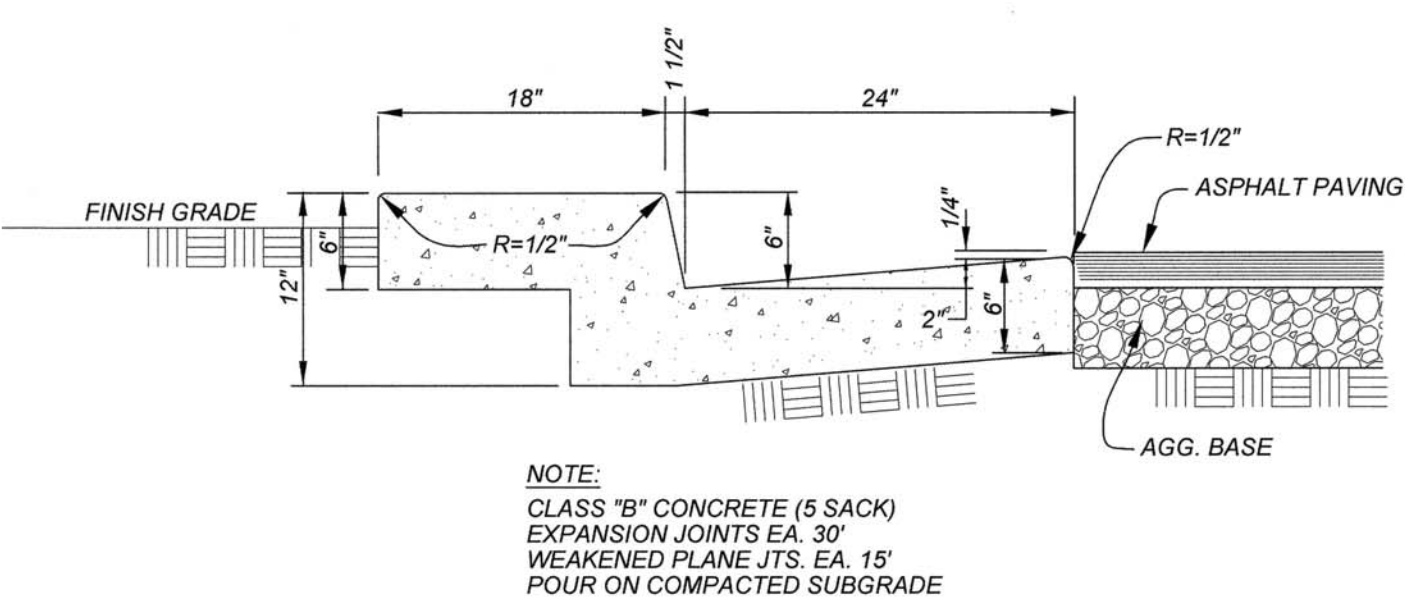
6.9-371
 CITY RECORDS NO.



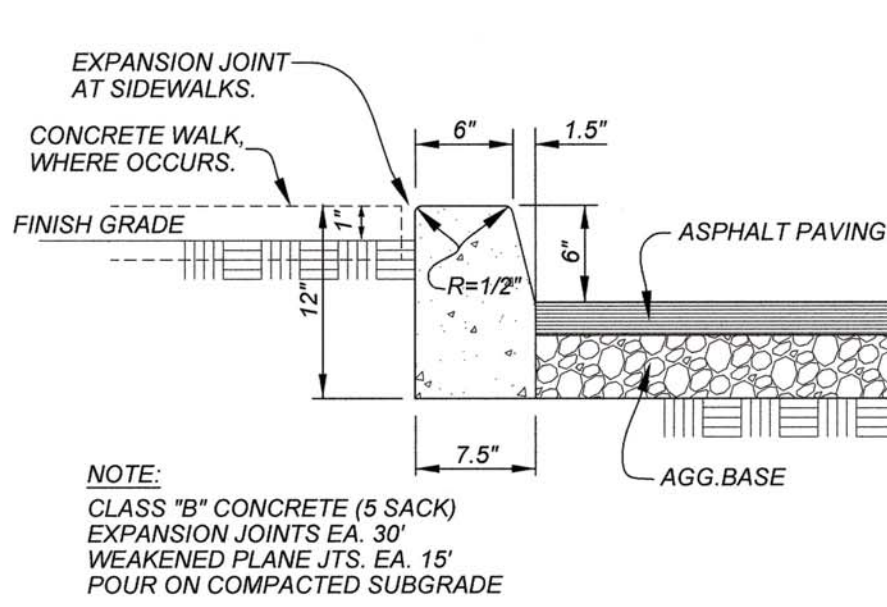
NOTE: IMPROVEMENTS ON WHITE LANE WITHIN PUBLIC RIGHT-OF-WAY ARE TO BE CONSTRUCTED PER THE APPROVED "STREET IMPROVEMENT PLANS FOR WHITE LANE RIGHT-TURN LANE" PREPARED BY PORTER & ASSOCIATES, AND ARE SHOWN FOR REFERENCE ONLY.



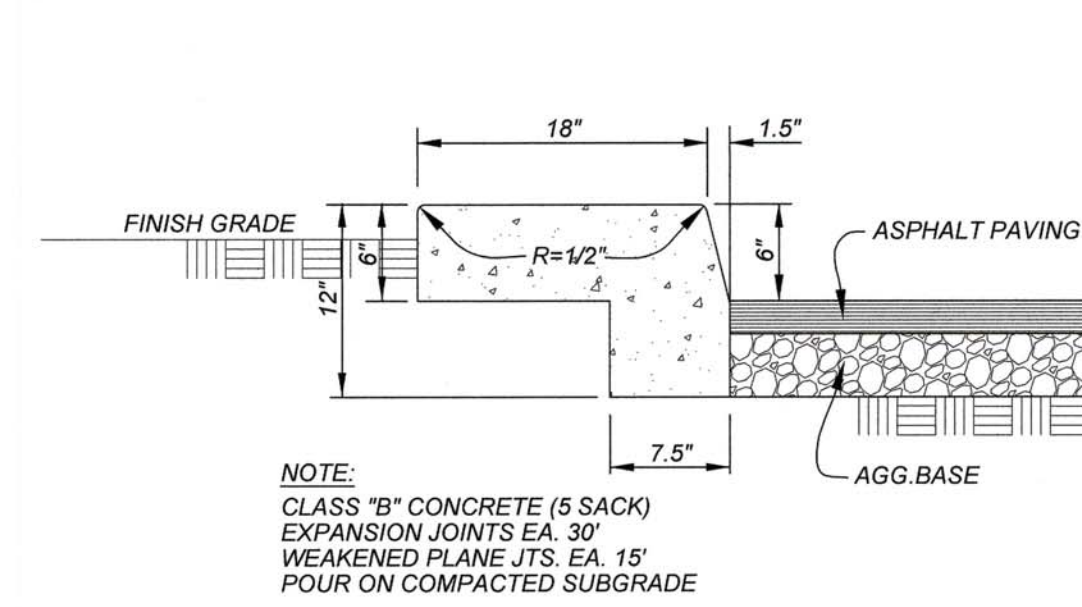
A C3 TYPICAL SECTION TYPE "B" CURB & GUTTER NTS



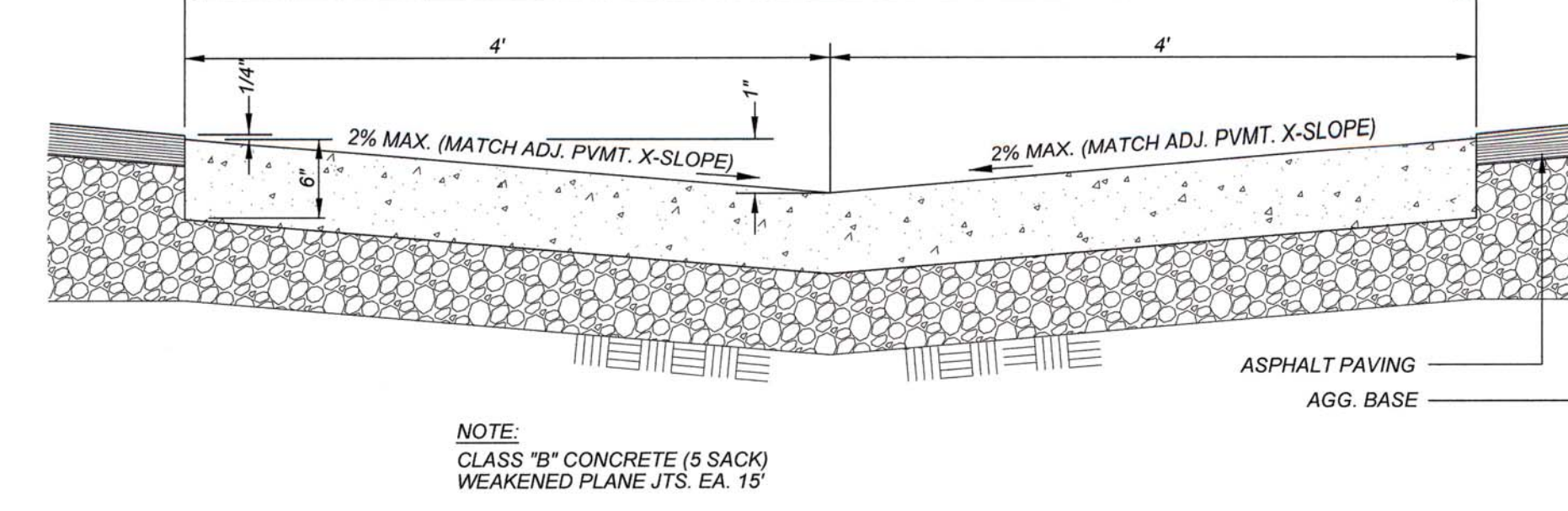
B C3 TYPICAL SECTION TYPE "B" CURB & GUTTER WITH PARKING STEP-OUT NTS



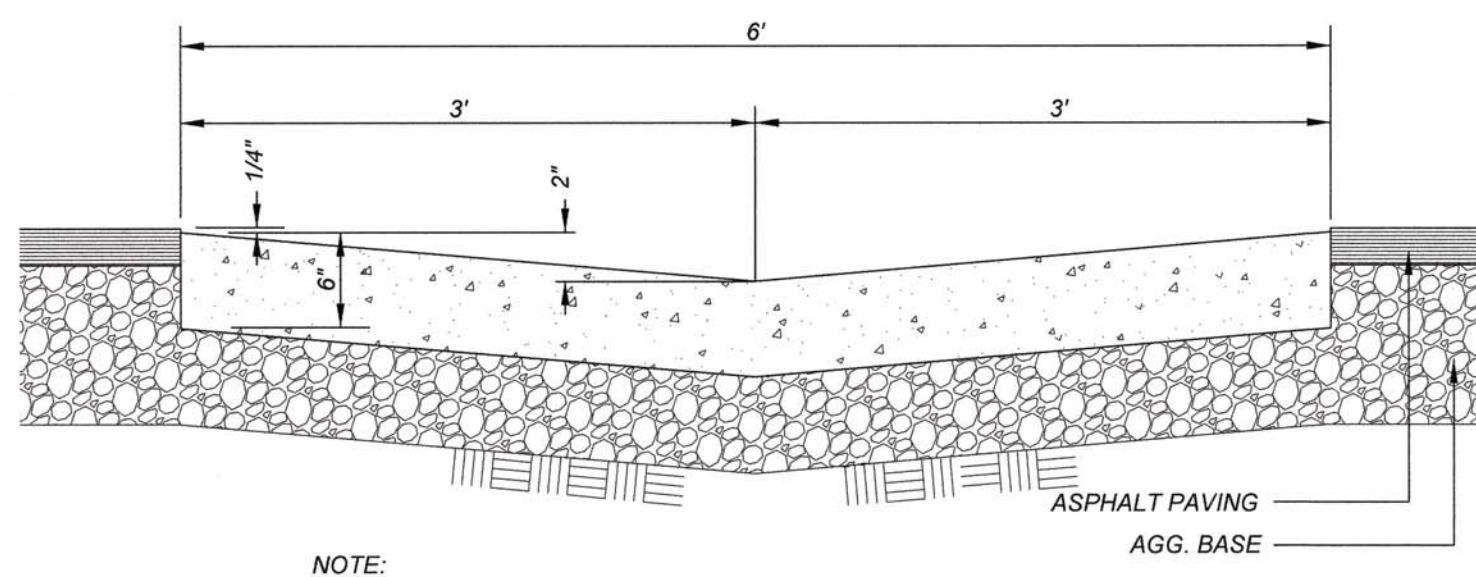
C C3 TYPICAL SECTION 6" CURB NTS



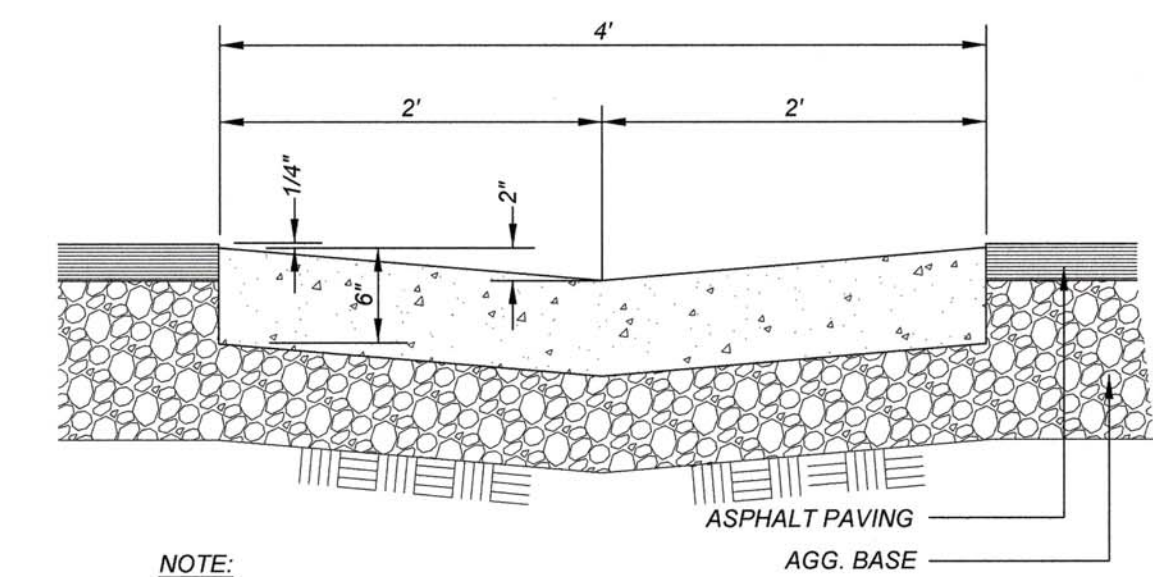
D C3 TYPICAL SECTION 6" CURB WITH PARKING STEP-OUT NTS



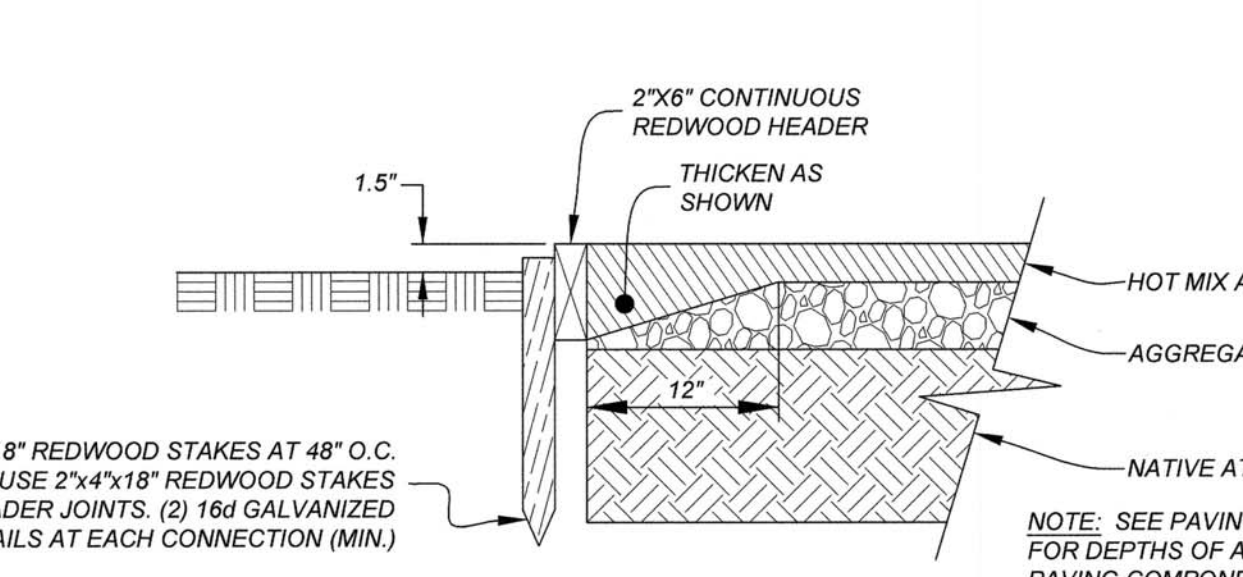
E C3 TYPICAL SECTION 8-FT WIDE "V"-GUTTER AT ADA AREAS NTS



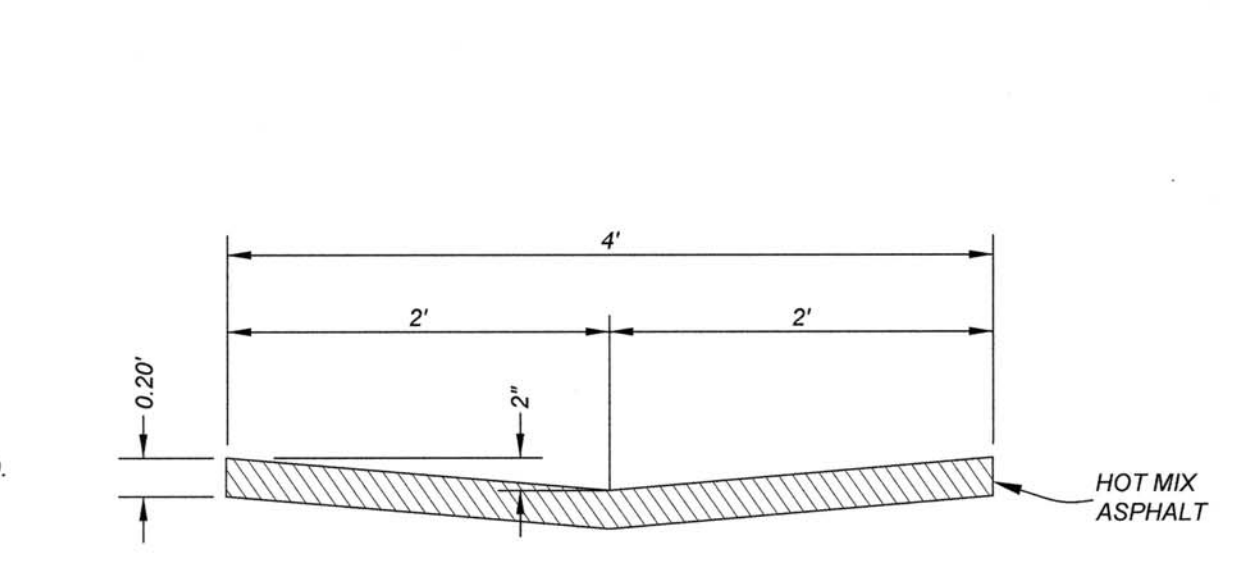
F C3 TYPICAL SECTION 6-FT WIDE "V"-GUTTER NTS



G C3 TYPICAL SECTION 4-FT WIDE "V"-GUTTER NTS

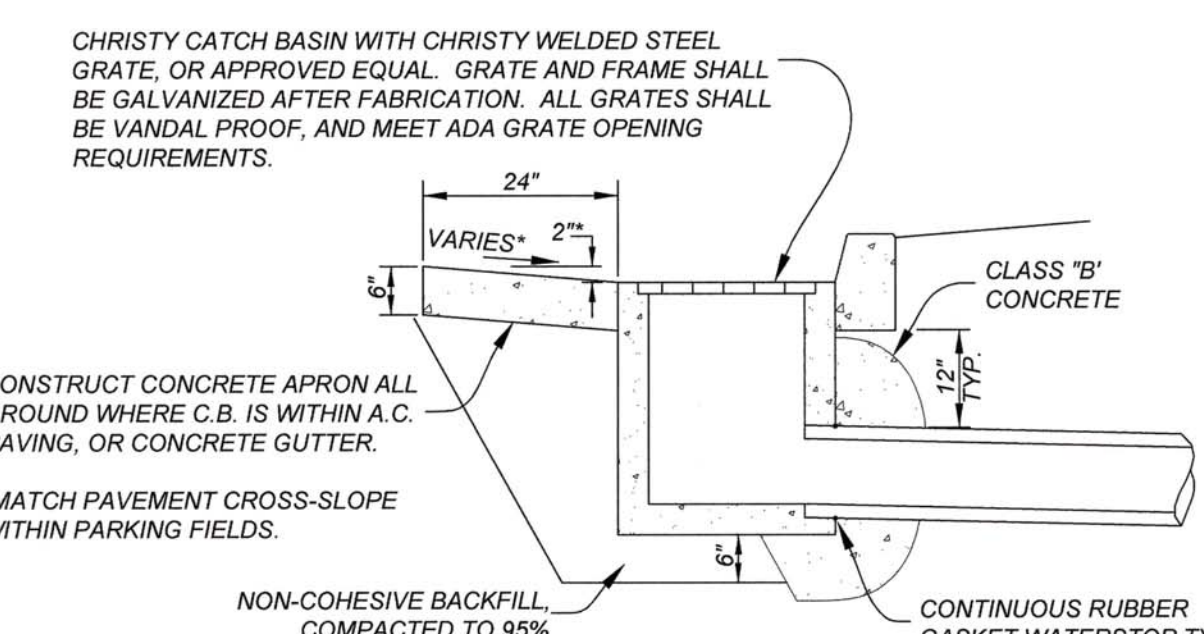


H C3 TYPICAL SECTION REDWOOD HEADER DETAIL NTS

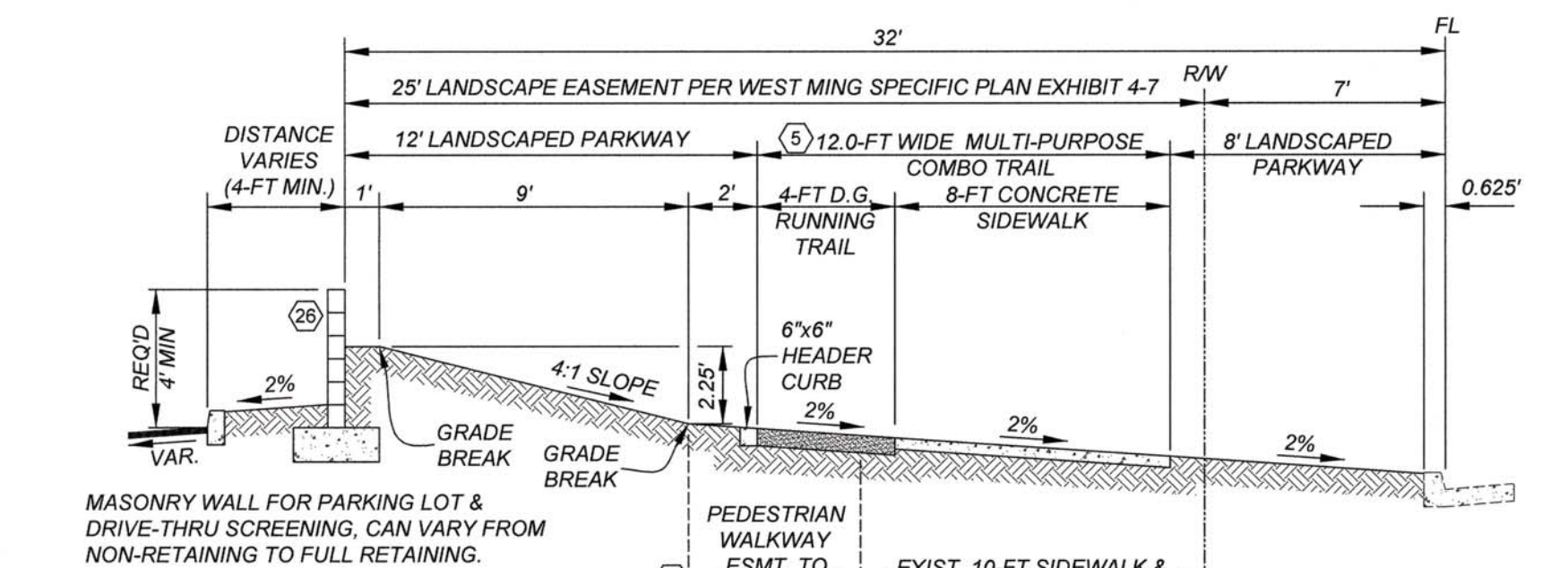


I C3 TYPICAL SECTION TEMPORARY A.C. SWALE NTS

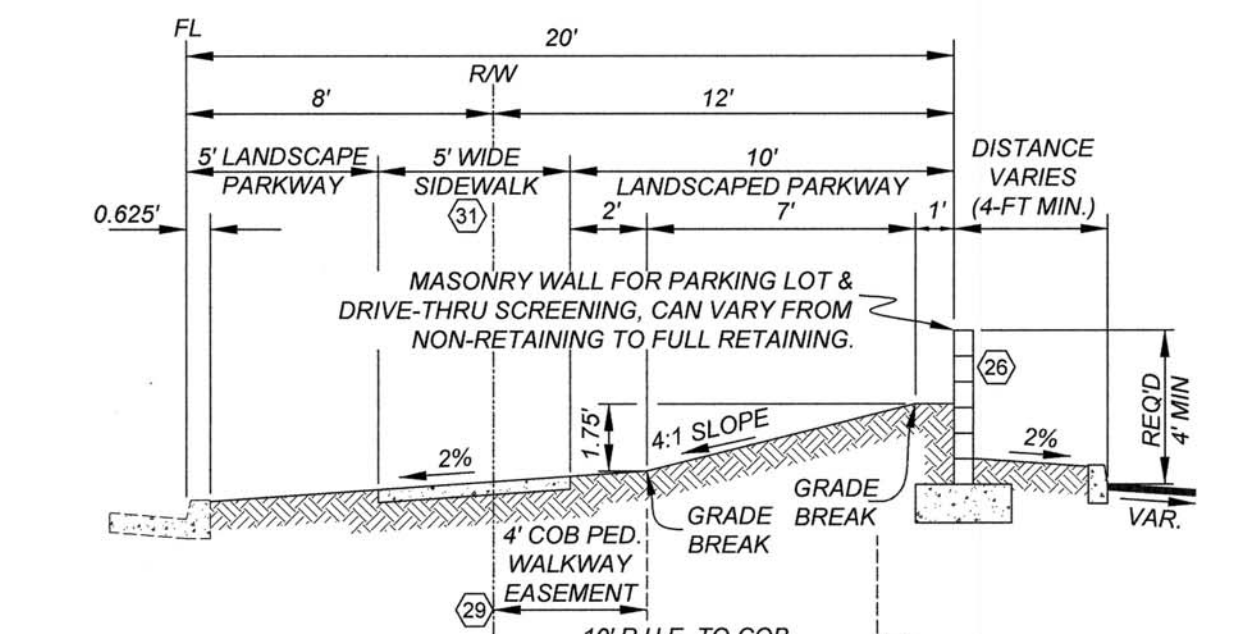
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 - 4) CONSTRUCT 6" CURB WITH PARKING STEP-OUT PER DETAIL (D)
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 - 6) CONSTRUCT 8-FT WIDE "V"-GUTTER PER DETAIL (E) AT HANDICAP STALLS & XINGS
 - 7) CONSTRUCT 6-FT WIDE "V"-GUTTER PER DETAIL (F)
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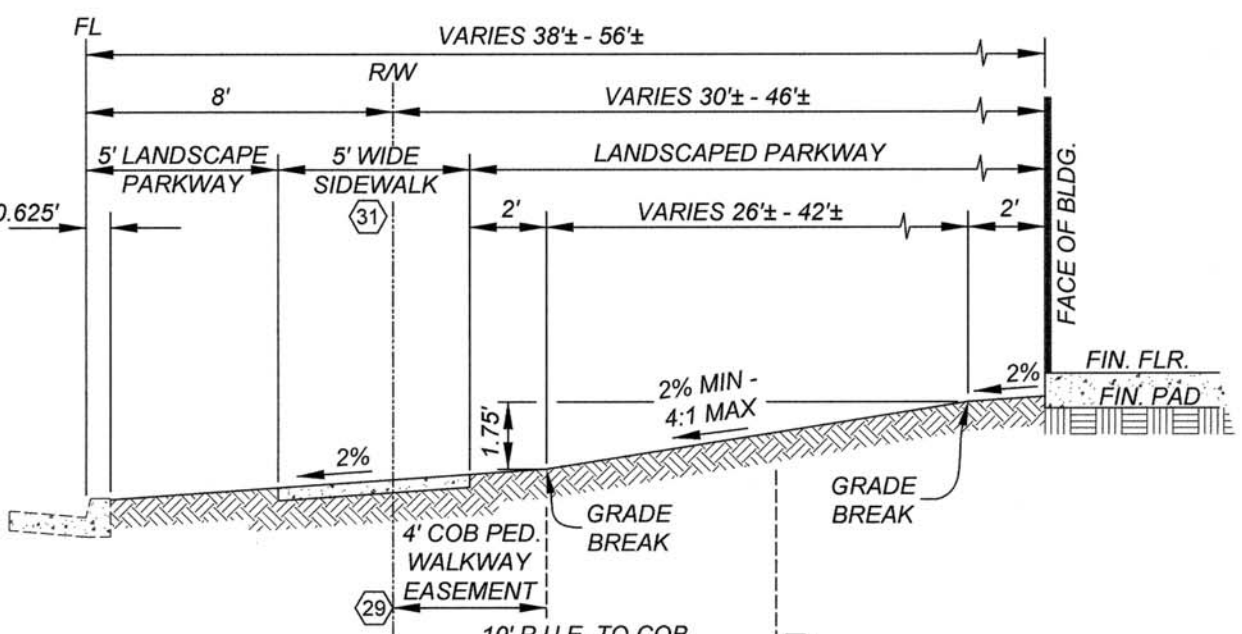
J C3 TYPICAL SECTION CHRISTY U21 DROP INLET NTS



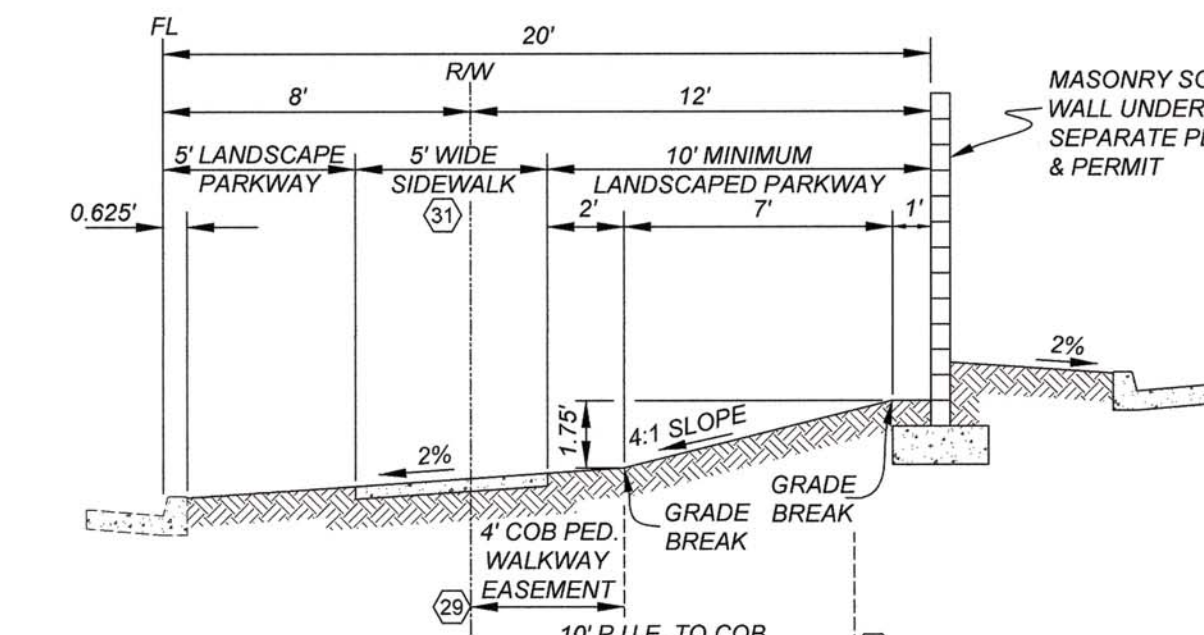
K C3 TYPICAL SECTION WITH 48" HIGH SCREEN WALL BUENA VISTA ROAD & WHITE LANE PARKWAYS NTS



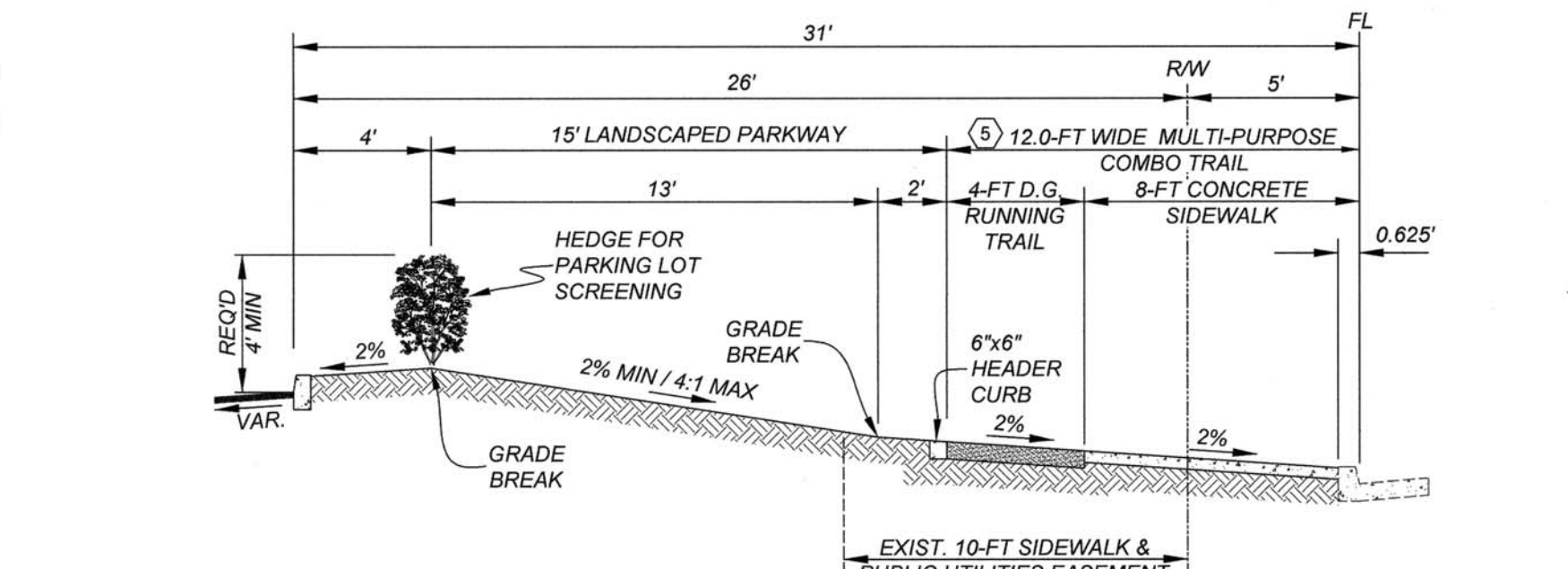
L C3 TYPICAL SECTION WITH SCREEN WALL LIVERPOOL WAY, ALLSTON WAY, AND PARK SQUARE DRIVE PARKWAYS NTS



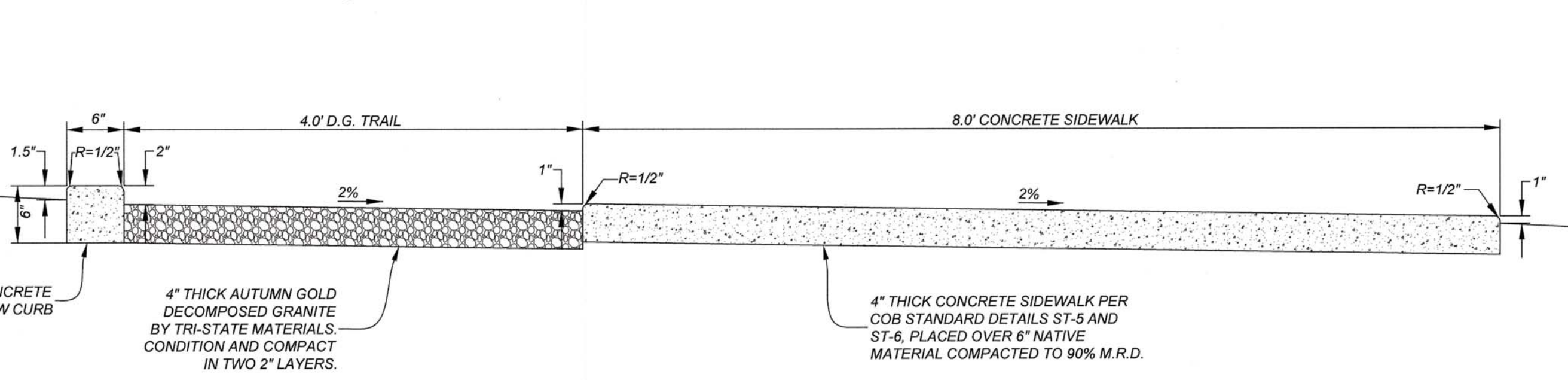
M C3 TYPICAL SECTION ALLSTON WAY PARKWAY NTS



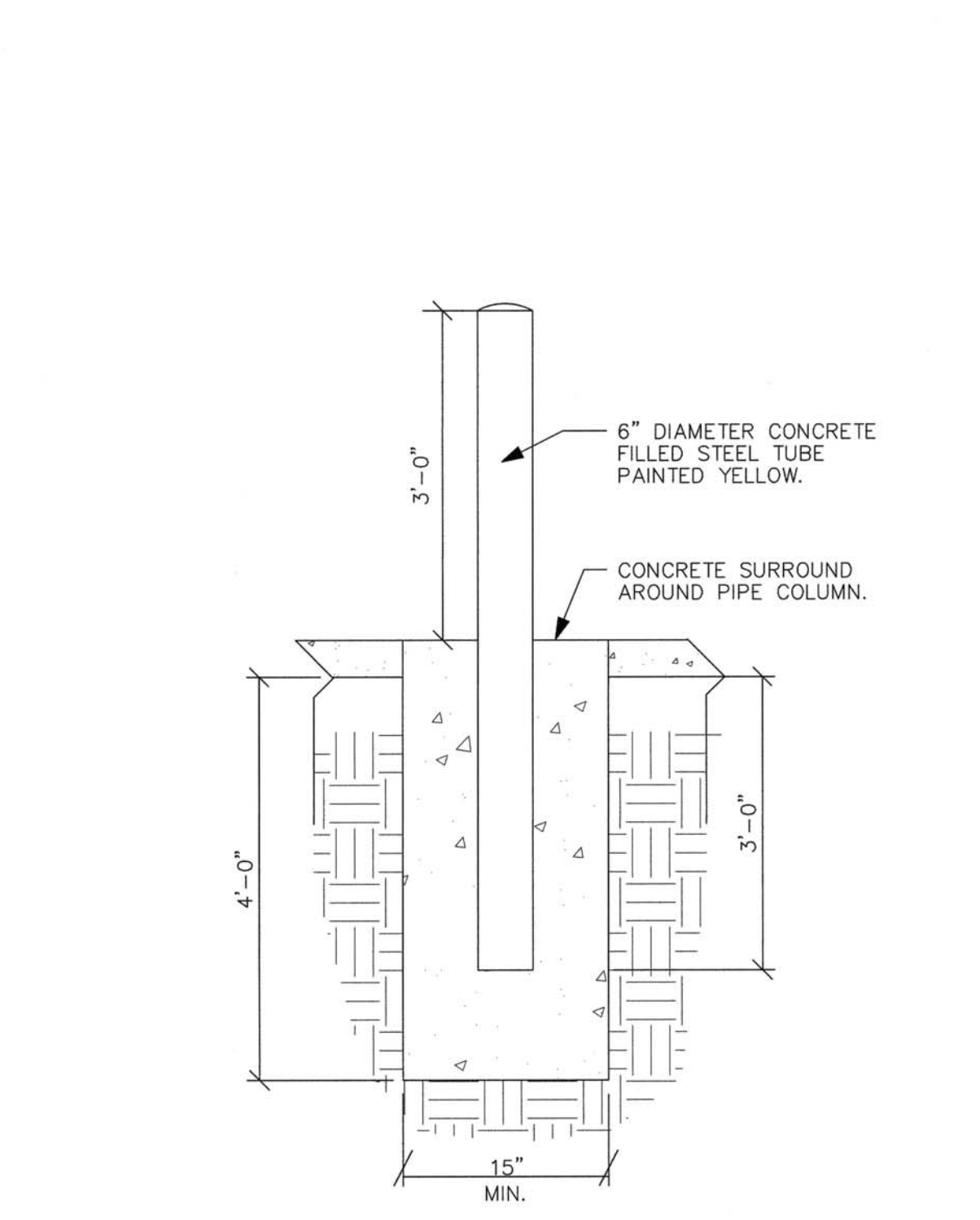
N C3 TYPICAL SECTION LIVERPOOL WAY PARKWAY NTS



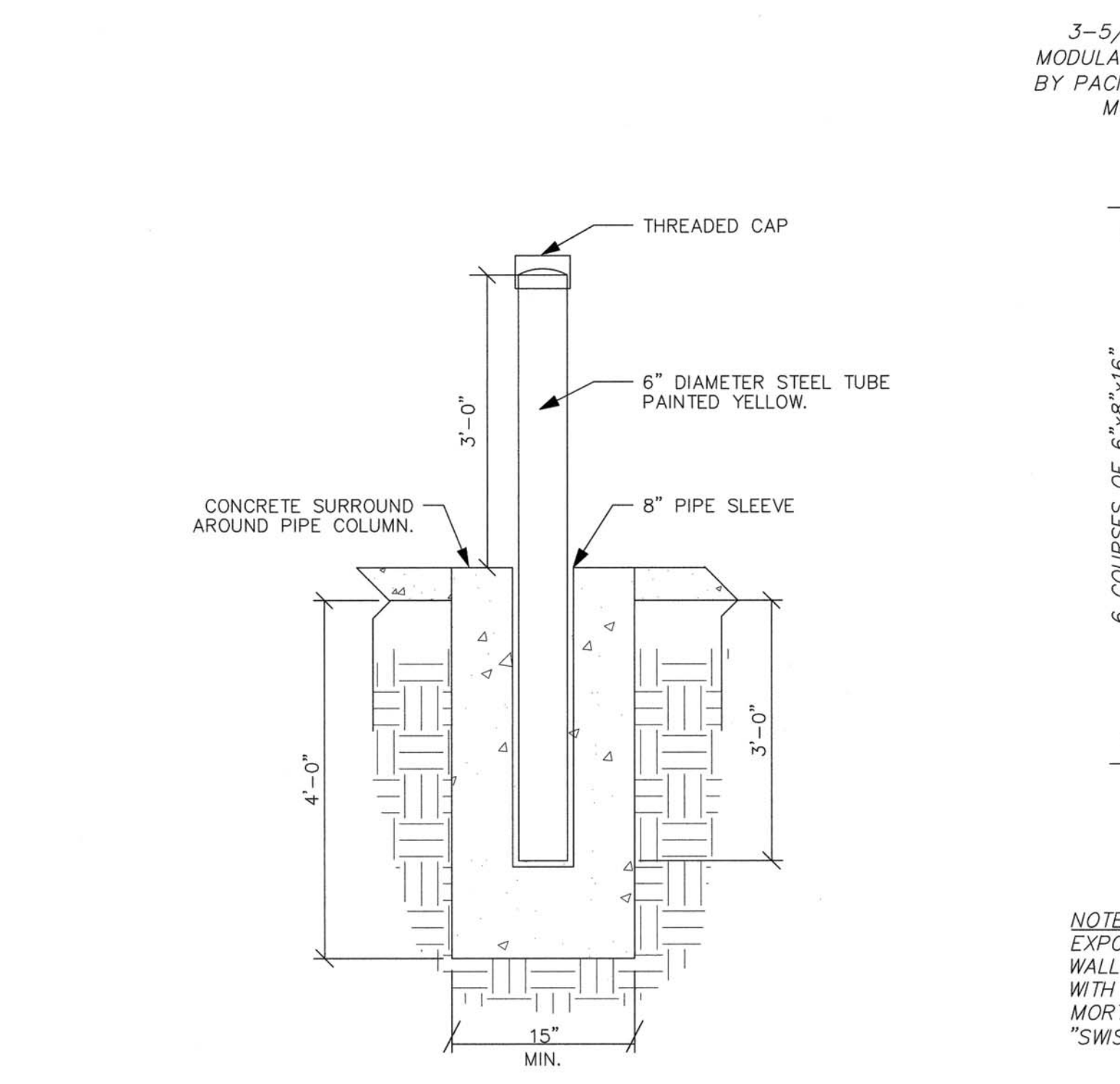
O C3 TYPICAL SECTION WITH 48" HIGH HEDGE BUENA VISTA ROAD PARKWAY NTS



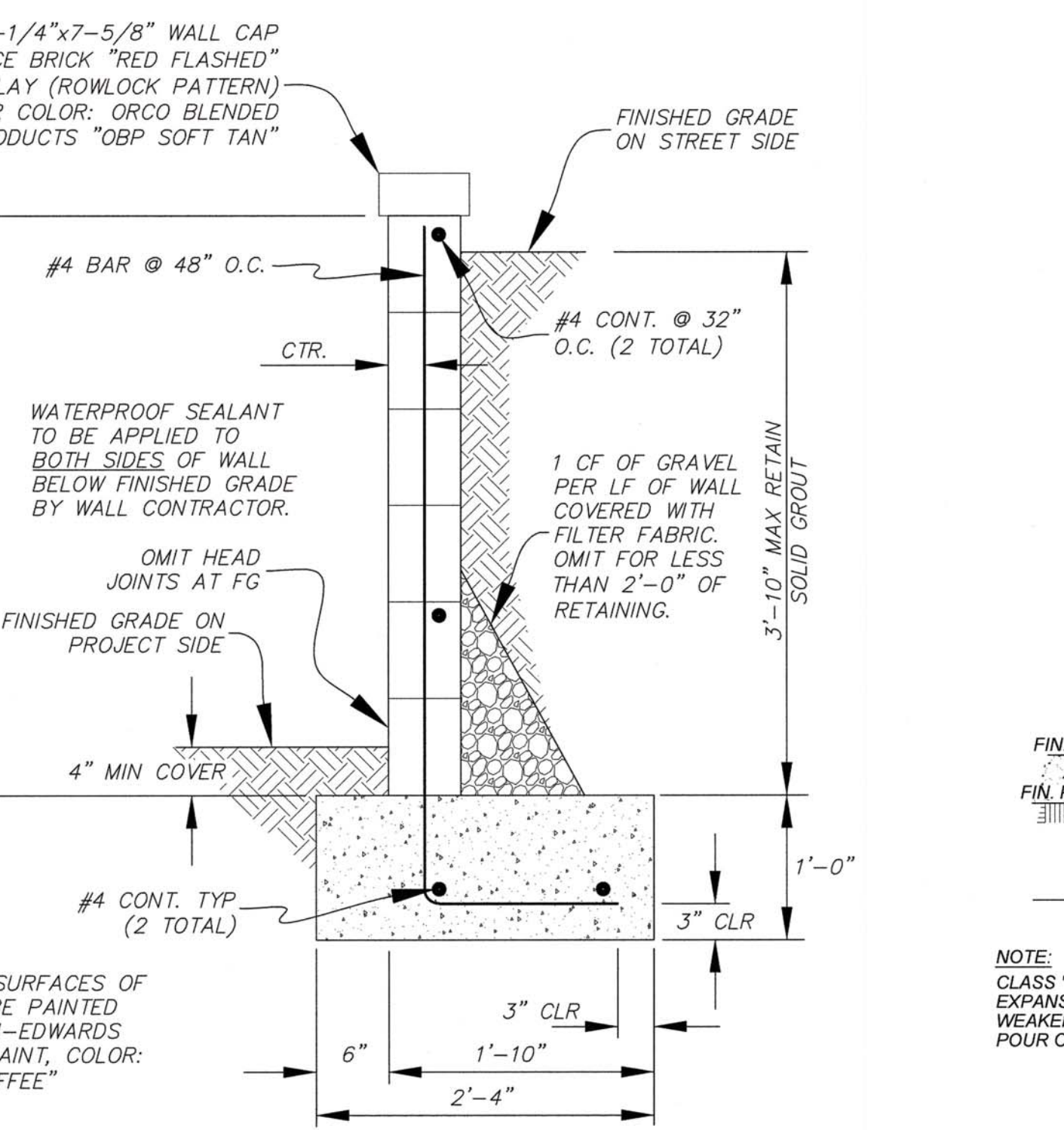
P C3 TYPICAL SECTION 12-FT WIDE MULTI-PURPOSE TRAIL SCALE: 1" = 1'



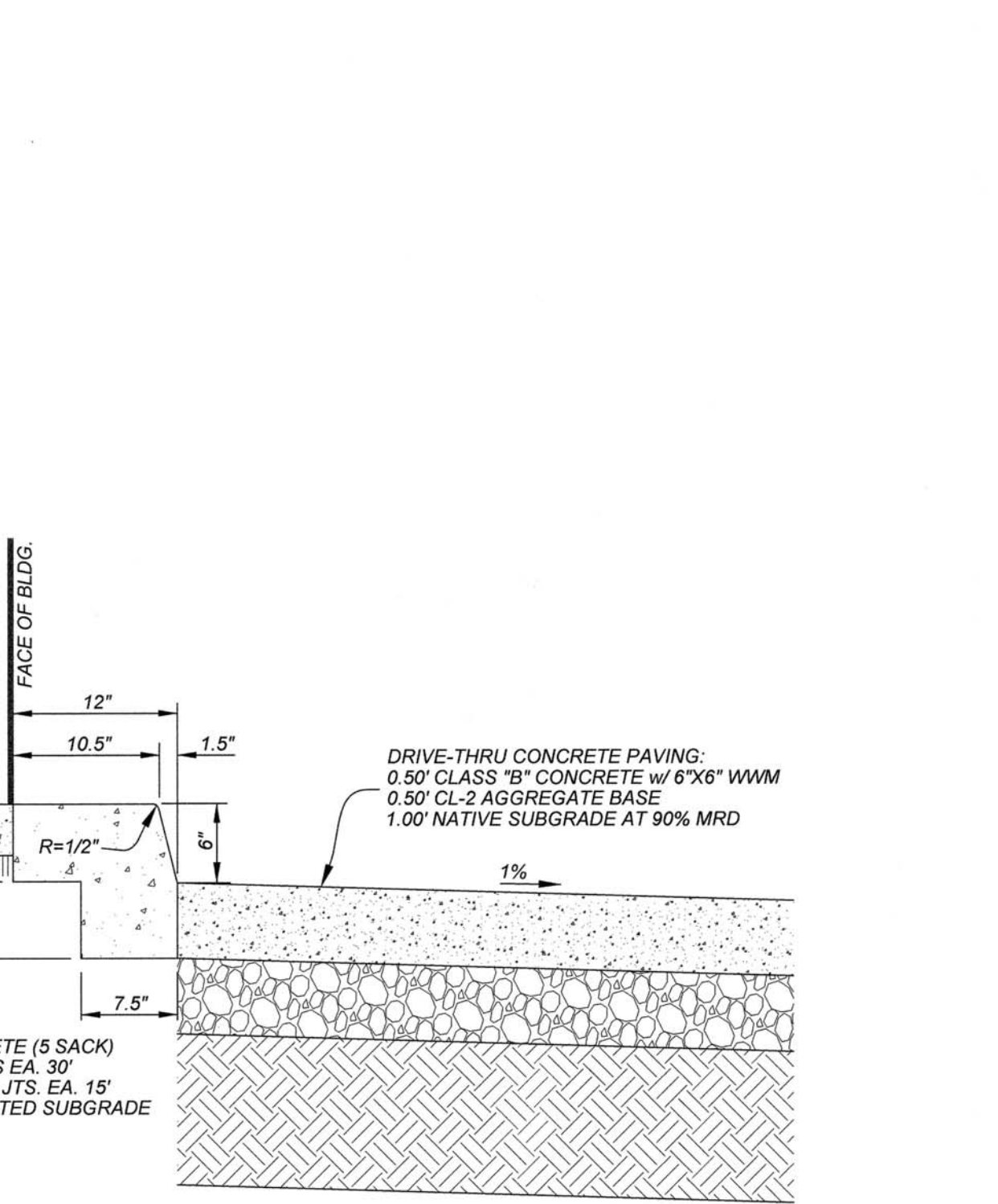
Q C3 BOLLARD NTS



R C3 REMOVABLE BOLLARD NTS



S C3 TYPICAL SECTION PARKING & DRIVE-THRU SCREENING RETAINING WALL SCALE: 1" = 1'



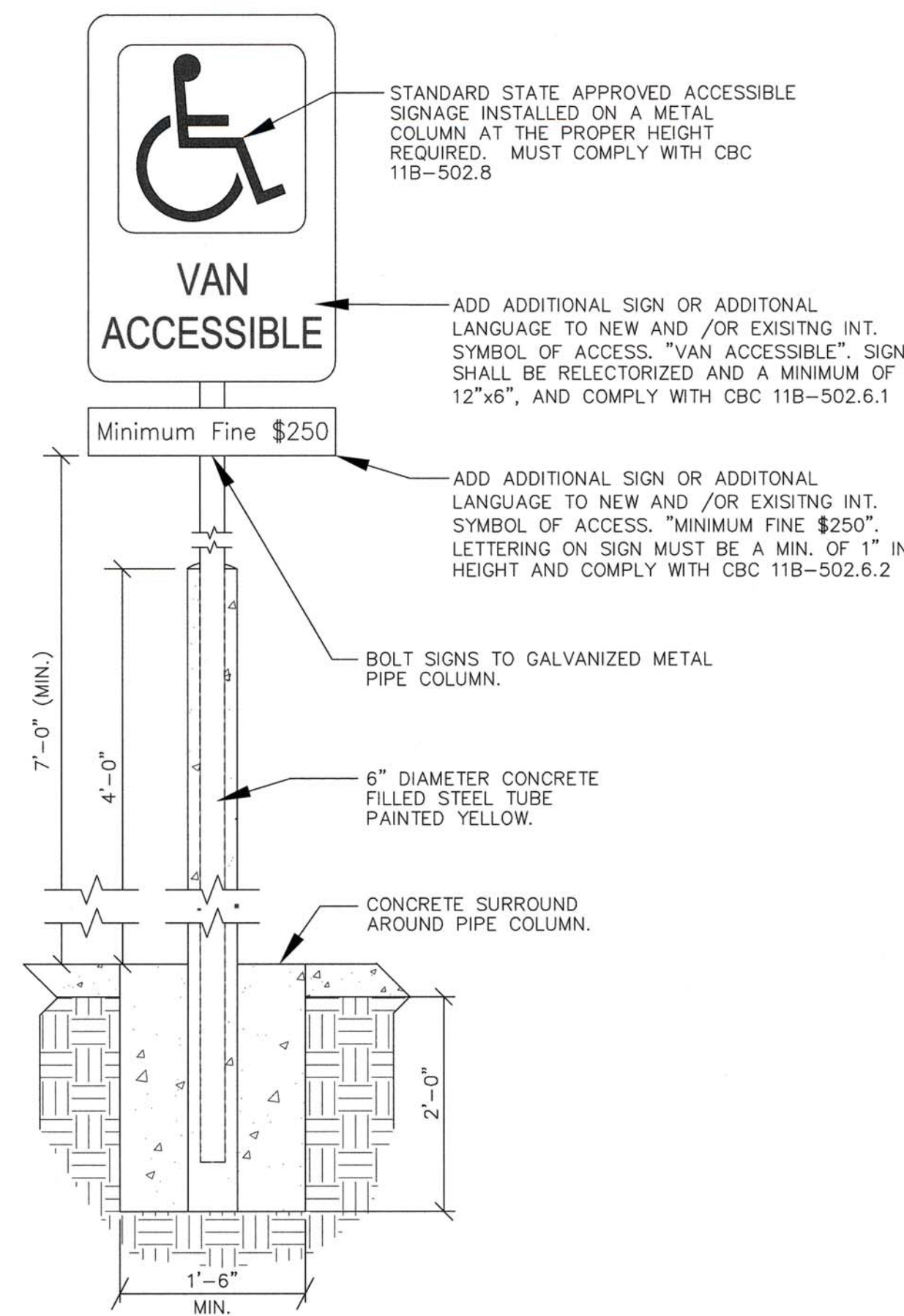
T C3 TYPICAL SECTION - 12" WIDE 6" CURB AT DRIVE-THRU WINDOWS NTS

NO.	REVISION

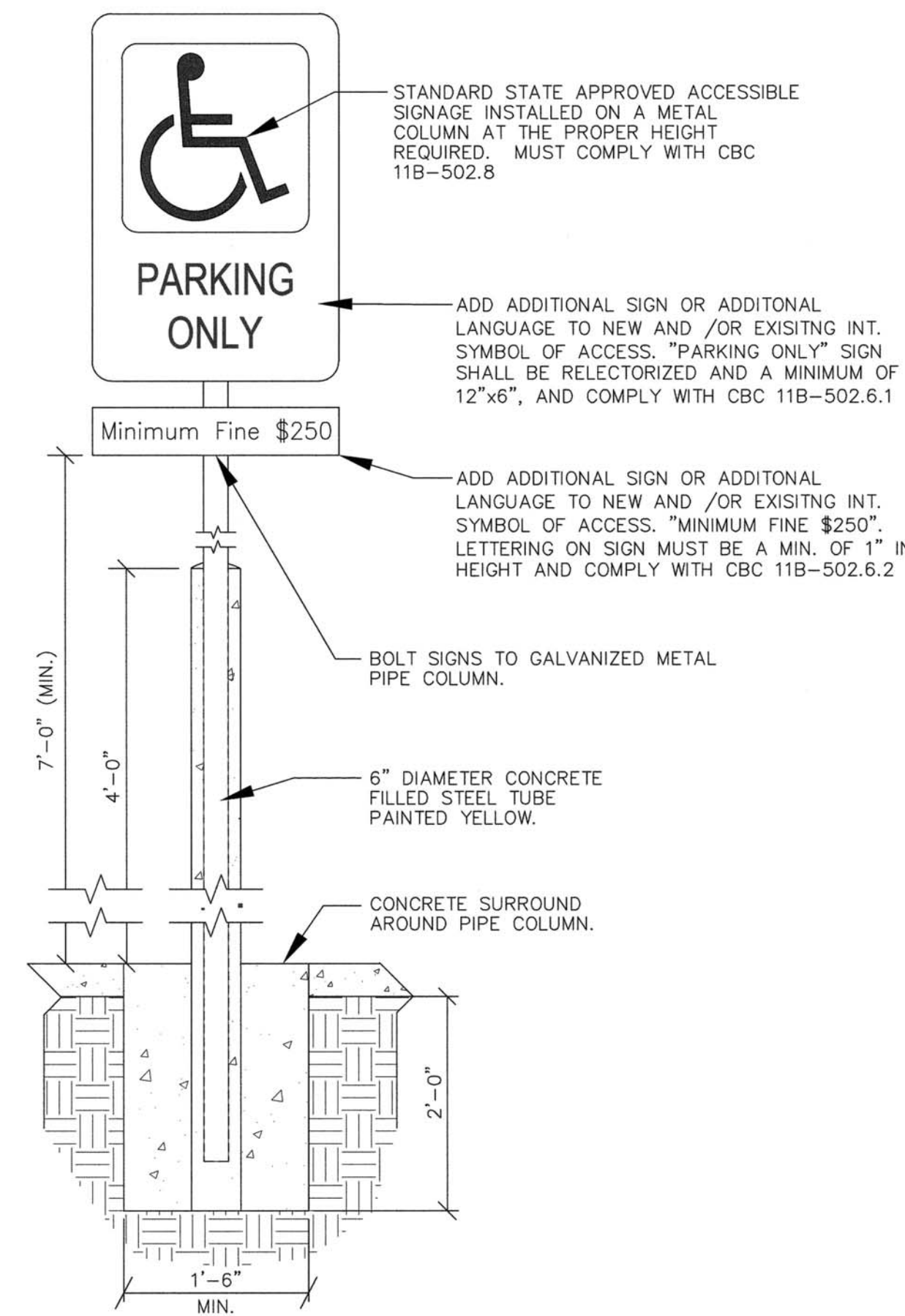
DRAWN BY: K. MacNeill
 DATE: 06/15/2021
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 SHEET: C3 OF 8 SHEETS

169-371
 CITY RECORDS NO.

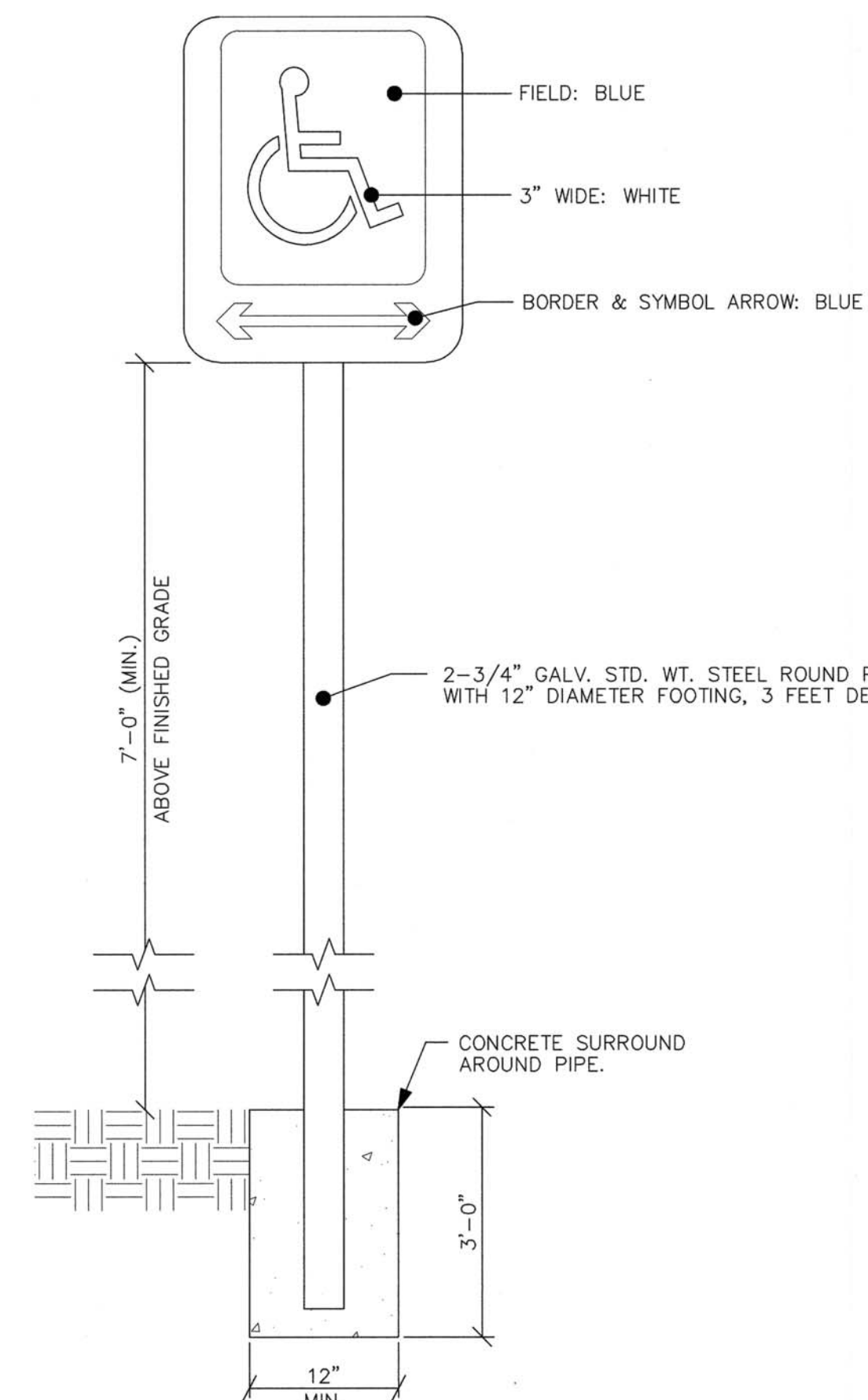
SIGN PER "WP225" OF "BEST MANUFACTURING SIGN SYSTEMS"



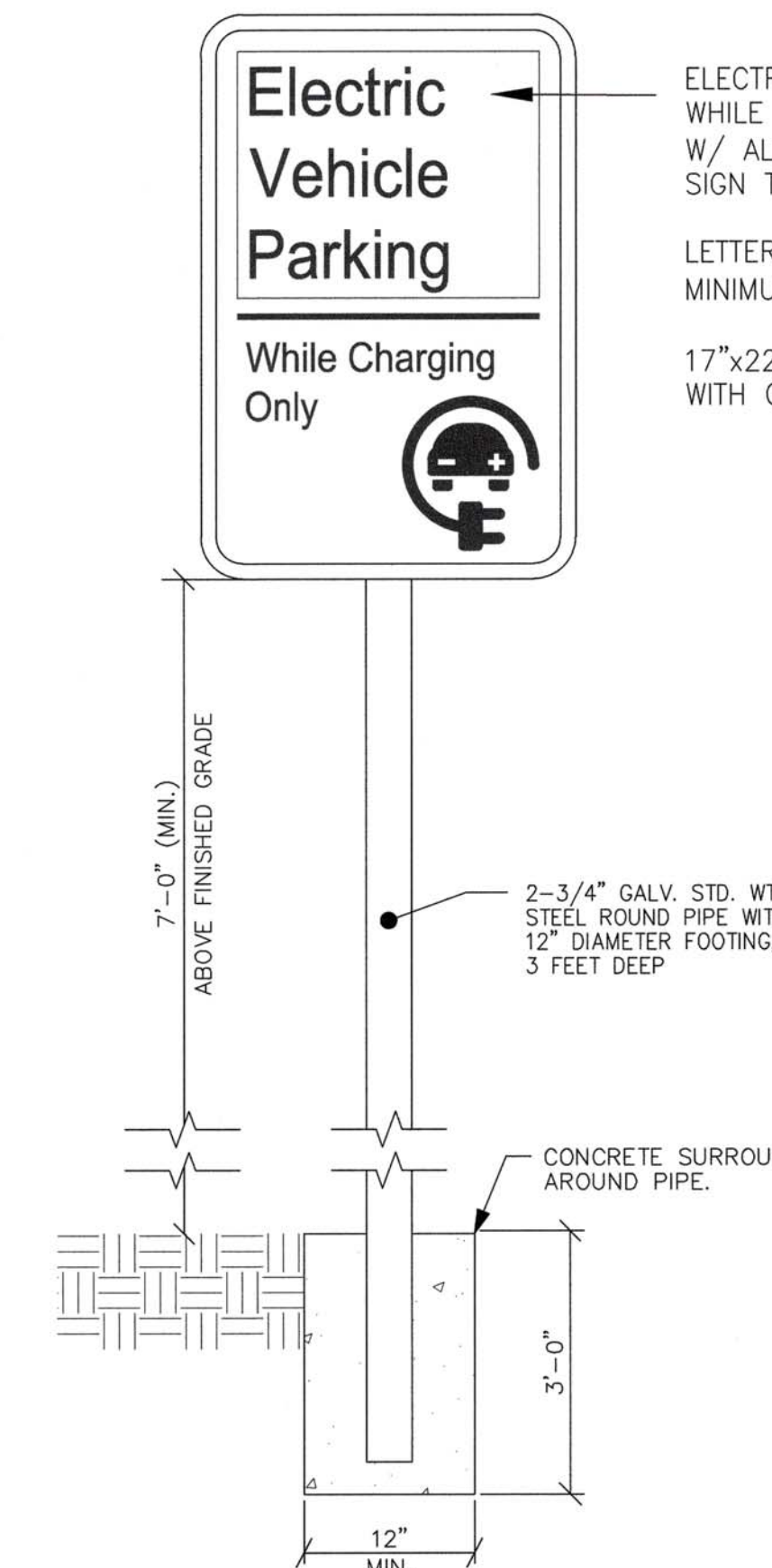
A
C4 VAN ACCESSIBLE PARKING SIGN NTS



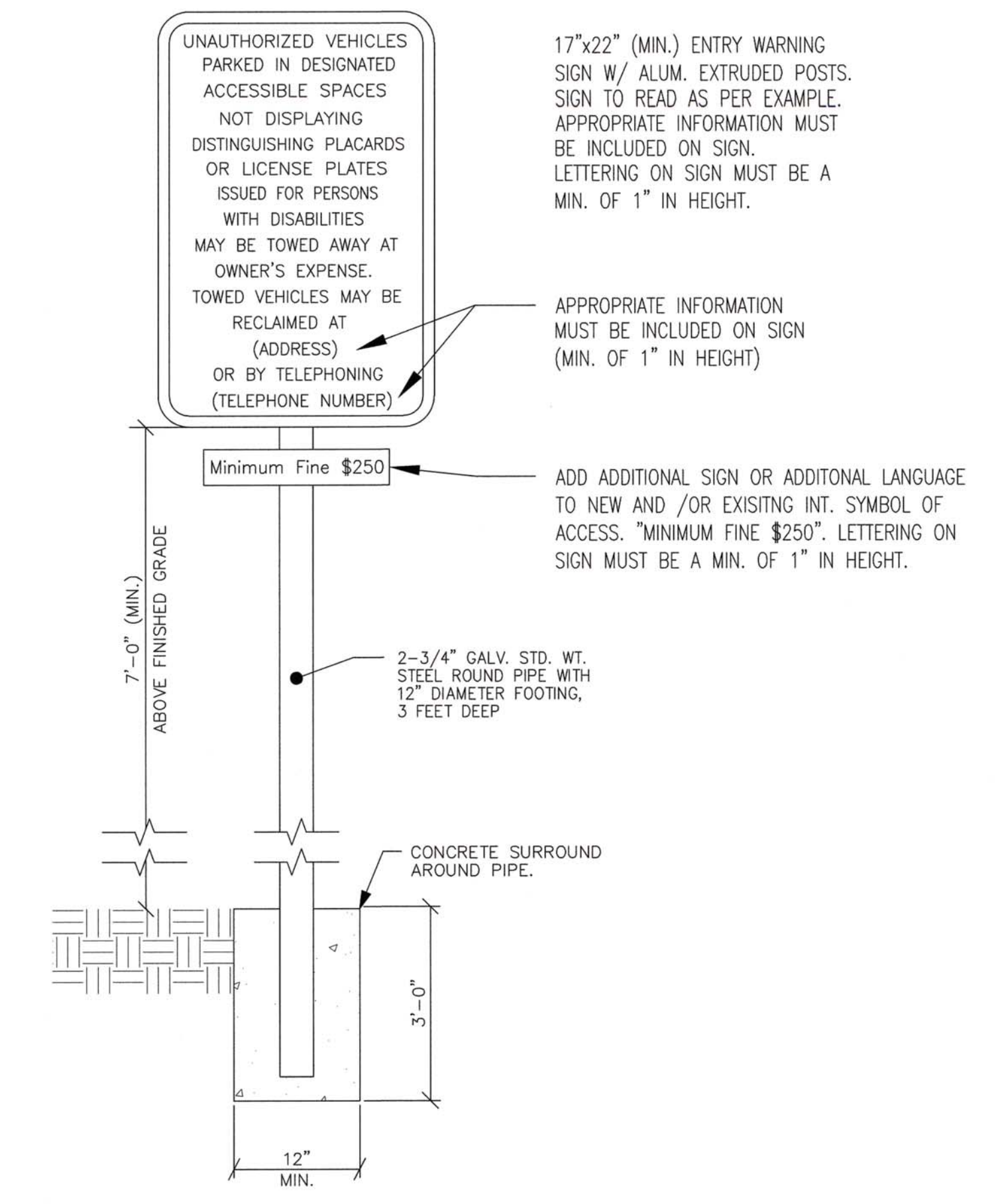
B
C4 ACCESSIBLE PARKING SIGN NTS



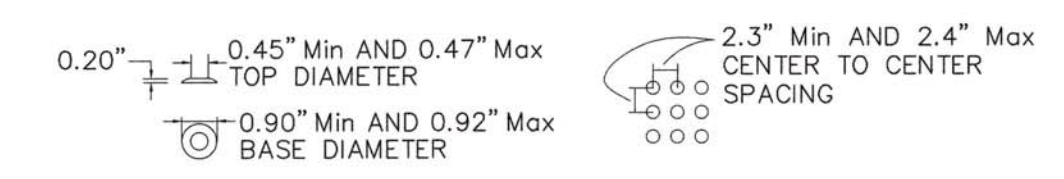
C
C4 ACCESSIBLE PATH SIGN NTS



D
C4 ELECTRIC VEHICLE PARKING SIGN NTS

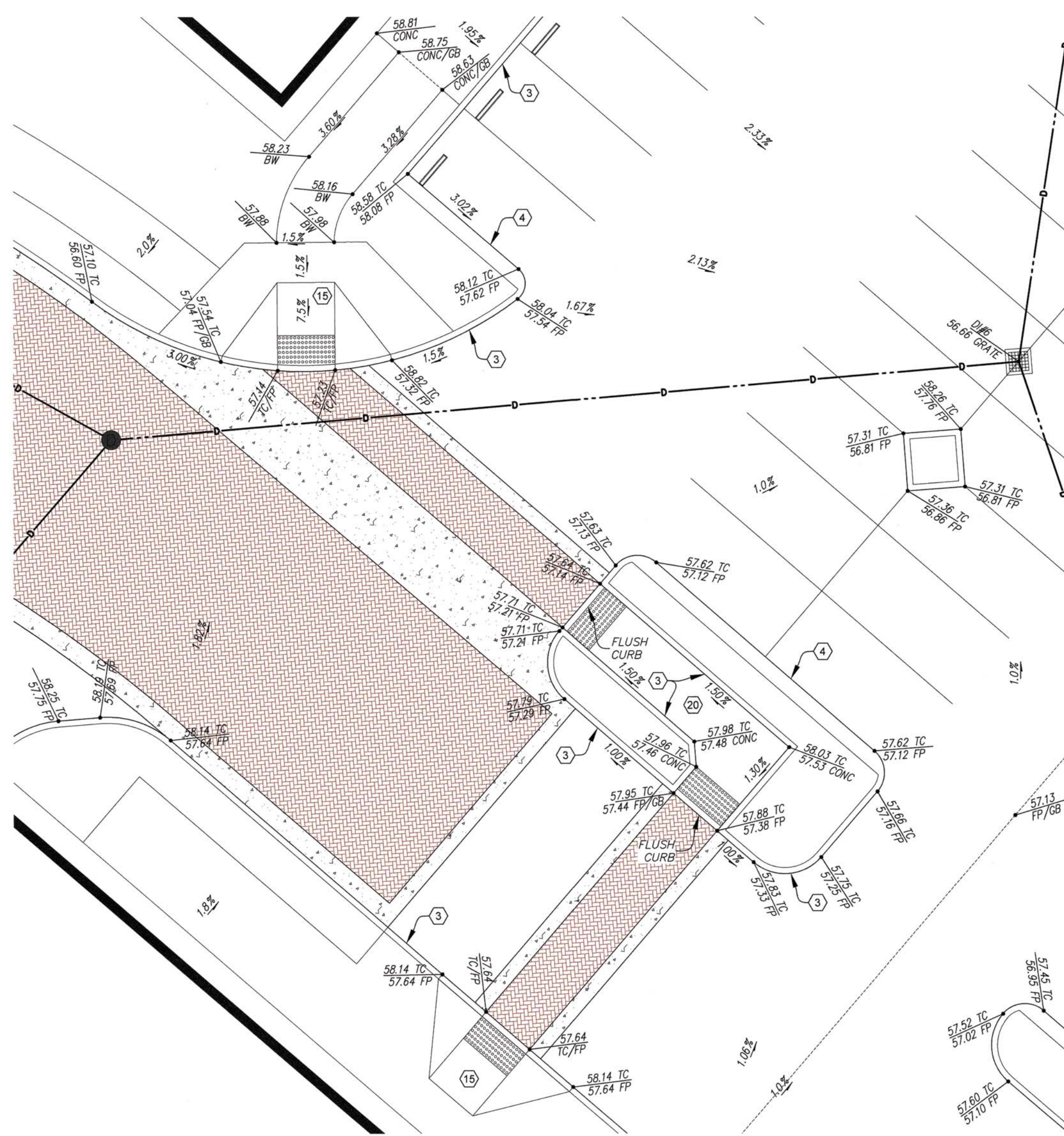


E
C4 SITE ENTRY WARNING SIGN NTS



NOTES:
1. TRUNCATED DOMES TO COMPLY WITH ADA STANDARDS

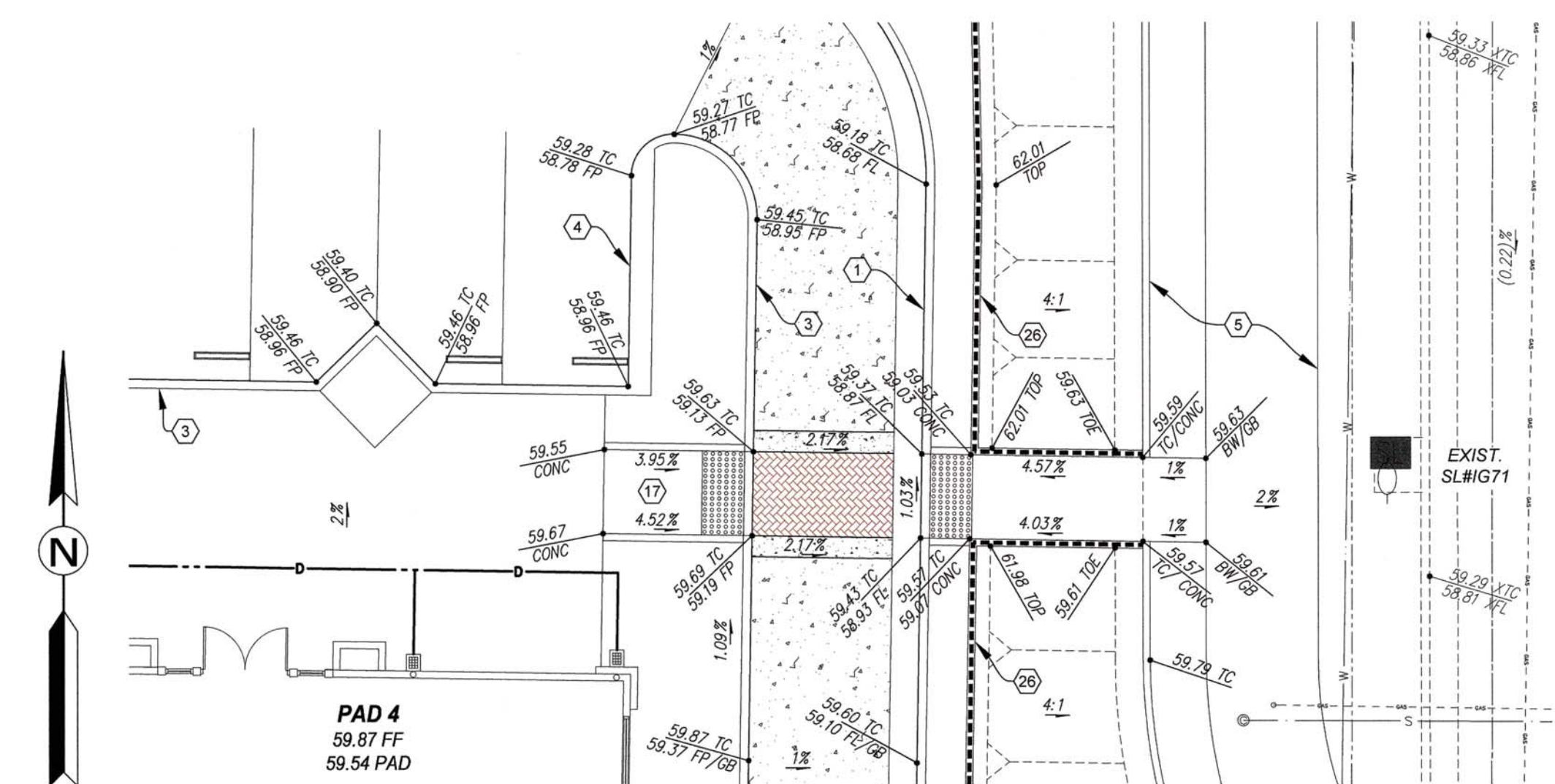
F
C4 RAISED TRUNCATED DOMES NTS



G
C4 PASSAGEWAY DETAIL



H
C4 PASSAGEWAY DETAIL



I
C4 PAD 4 CROSSWALK DETAIL

NOTE:
IMPROVEMENTS ON WHITE LANE WITHIN PUBLIC RIGHT-OF-WAY ARE TO BE CONSTRUCTED PER THE APPROVED "STREET IMPROVEMENT PLANS FOR WHITE LANE RIGHT-TURN LANE" PREPARED BY PORTER & ASSOCIATES, AND ARE SHOWN FOR REFERENCE ONLY.

6.9-371
CITY RECORDS NO.

BELCOURT VILLAGE
SITE ACCESSIBILITY DETAILS
SPR No. 20-0323
PERMIT No. 21-4000010

Bothouse
LAND COMPANY
11601 BOLTHOUSE DRIVE, SUITE 200, BAKERSFIELD, CA 93311
Ph: 661.323.4005 • www.bothouseproperties.com

BELCOURT
VILLAGE

NO.	DATE	REVISION

DRAWN BY: K. MacNeill
DATE: 06/15/2021
ACAD FILE: CivilSite-01.dwg
SHEET:

C4
OF 8 SHEETS

PAVING SUBGRADE AND BASE MATERIAL NOTES:

- AGGREGATE BASE: AGGREGATE BASE MATERIAL SHALL MEET EITHER OF THE FOLLOWING SPECIFICATIONS:
 - CRUSHED MISCELLANEOUS BASE (CMB) PER SECTION 200-2.4 OF THE MOST CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION THE "GREENBOOK" (WHICH IS BROKEN AND CRUSHED ASPHALT CONCRETE OR PORTLAND CEMENT CONCRETE AND WHICH MAY CONTAIN CRUSHED AGGREGATE BASE OR OTHER ROCK MATERIALS).
 - MATERIAL THAT MEETS THAT CALTRANS STANDARD SPECIFICATION FOR CLASS 2 AGGREGATE BASE (SECTION 261-02A) WHICH ALLOWS EITHER 100% OF THE VOLUME TO BE CRUSHED AGGREGATE ROCK OR UP TO 20% OF THE VOLUME TO BE RECLAIMED ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, LEAN CONCRETE, BASE, CEMENT TREATED BASE OR A COMBINATION OF THOSE MATERIALS.
- AGGREGATE BASE SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE CONTRACT PLANS, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THESE DETAILED SPECIFICATIONS. AGGREGATE BASE SHALL BE GRADED TO WITHIN THE SPECIFIED TOLERANCES. (SEE NOTE 8) AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
- ANY RECYCLED BASE MATERIAL CONSIDERED FOR USE WILL REQUIRE A CERTIFICATION LETTER PRIOR TO DELIVERY. THE CERTIFICATION SHALL INCLUDE GRADATION AND "QUALITY" TEST RESULTS AND HAVE THE SEAL AND SIGNATURE OF A CALIFORNIA REGISTERED ENGINEER WITH EXPERISE IN GEOTECHNICAL ENGINEERING AND MATERIALS. THE CERTIFICATION SHOULD BE SUBMITTED TO THE PROJECT ENGINEER. FOLLOWING THE INITIAL APPROVAL, MATERIAL SHALL BE ACCOMPANIED BY A CERTIFICATE OF COMPLIANCE IN ACCORDANCE WITH SECTION 6-1.07 OF THE CALTRANS STANDARD SPECIFICATIONS.
- OTHER RECYCLED BASES SUCH AS THOSE THAT CONTAIN "AGGREGATE" SOURCE MATERIALS OTHER THAN RECLAIMED ASPHALT CONCRETE PRODUCTS, PORTLAND CEMENT PRODUCTS, AND AGGREGATE BASES SHALL NOT BE ALLOWED IN ANY PAVEMENT SECTION.
- SUBGRADE PREPARATION: THE CONTRACTOR SHALL FINE GRADE AND COMPACT PAVEMENT SUBGRADE IN ACCORDANCE WITH THE CONTRACT PLANS AND STANDARD SPECIFICATIONS. SUBGRADE SHALL BE GRADED TO WITHIN THE SPECIFIED TOLERANCES (SEE NOTE 8) AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
- SUB-GRADE AND BASE-GRADE TOLERANCE: IMMEDIATELY PRIOR TO PLACING SUBSEQUENT LAYERS OF MATERIAL THEREON, THE GRADING PLANE SHALL CONFORM TO ONE OF THE FOLLOWING:
 - WHEN ASPHALT CONCRETE OR ASPHALT CONCRETE BASE IS TO BE PLACED ON THE GRADING PLANE, THE GRADING PLANE AT ANY POINT SHALL NOT VARY MORE THAN 0.02 FOOT ABOVE OR BELOW THE GRADE ESTABLISHED BY THE ENGINEER.
 - WHEN SUBBASE OR BASE MATERIAL (OTHER THAN ASPHALT CONCRETE BASE) IS TO BE PLACED ON THE GRADING PLANE, THE GRADING PLANE AT ANY POINT SHALL NOT VARY MORE THAN 0.04 FOOT ABOVE OR BELOW THE GRADE ESTABLISHED BY THE ENGINEER.

THE AMOUNT OF ASPHALT BINDER TO BE MIXED WITH THE MINERAL AGGREGATE SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH CALTRANS TEST METHOD 367 USING SAMPLES OF MATERIALS PROPOSED FOR USE IN THE WORK. THE AMOUNT OF ASPHALT BINDER SHALL BE APPROVED BY THE CITY ENGINEER.

AT LEAST FOURTEEN (14) DAYS PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING FOR THE PROJECT ENGINEER'S REVIEW AND APPROVAL:

- A LIST OF AGGREGATE AND ASPHALT SOURCES
- DOCUMENTATION VERIFYING THAT THE AGGREGATES TO BE INCORPORATED IN THE WORK CONFORM TO THE REQUIREMENTS OF SECTION 39-2.02, "AGGREGATE" OF THE STANDARD SPECIFICATIONS AND THESE SPECIAL PROVISIONS. MATERIAL SIEVE ANALYSIS AND SAND EQUIVALENT TEST RESULTS SHOULD NOT BE OLDER THAN SIX (6) MONTHS. ALL OTHER TEST RESULTS SHOULD NOT BE OLDER THAN ONE (1) YEAR.
- AN ASPHALT CONCRETE MIX DESIGN DETERMINED IN ACCORDANCE WITH CALIFORNIA TEST 367. LABORATORY TEST RESULTS ON WHICH THE DESIGN IS BASED SHALL BE SUBMITTED WITH THE MIX DESIGN ALONG WITH THE THEORETICAL MAXIMUM DENSITY OF THE DESIGN MIXTURE AS DETERMINED BY ASTM D2041. THE ASPHALT CONCRETE MIX SHALL MEET THE REQUIREMENTS OF SECTION 39-2.02, "AGGREGATE" OF THE STANDARD SPECIFICATIONS AND THESE SPECIAL PROVISIONS. IF THE DATA SUBMITTED SHOWS THAT THE MATERIALS ARE SUBSTANTIALLY THE SAME AS WHEN THE DESIGN WAS PREPARED, THE DESIGN MAY BE UP TO THREE (3) YEARS OLD. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE ASPHALT CONCRETE MIX DESIGN.

WHERE NEW ASPHALT CONCRETE PAVEMENT IS TO CONFORM TO EXISTING PAVED SURFACES, THE EXISTING PAVEMENT IS TO BE SAWCUT IN A NEAT STRAIGHT LINE, EITHER PARALLEL, OR PERPENDICULAR TO THE DRIVE AISLE OR PARKING FIELD, AND AT A MINIMUM DISTANCE OF ONE FOOT FROM THE EXISTING EDGE OF PAVEMENT.

A PRIME COAT WILL NOT BE REQUIRED ON NON-PAVED AREAS TO BE SURFACED PRIOR TO THE PLACEMENT OF ASPHALT CONCRETE. HOWEVER, ALL OTHER REQUIREMENTS OF SECTION 39-4.01, "SUBGRADE" OF THE STANDARD SPECIFICATIONS SHALL BE MET.

THE AREA TO WHICH PAINT BINDER HAS BEEN APPLIED SHALL BE CLOSED TO TRAFFIC. CARE SHALL BE TAKEN TO AVOID TRACKING BINDER MATERIAL ONTO THE EXISTING PAVEMENT SURFACE BEYOND THE LIMITS OF CONSTRUCTION.

ASPHALT CONCRETE SHALL BE COMPACTED TO A MINIMUM 92 PERCENT OF THE MAXIMUM THEORETICAL DENSITY AS DETERMINED BY ASTM D-2041. IN-PLACE DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH CALIFORNIA TEST 375.

IF THE IN-PLACE DENSITY OF ANY LOT OF ASPHALT CONCRETE IS LESS THAN 92 PERCENT OR GREATER THAN 94 PERCENT OF THE MAXIMUM THEORETICAL DENSITY, THE CONTRACTOR WILL BE ADVISED THAT THE REQUIRED RELATIVE COMPACTION IS NOT BEING ATTAINED AND THAT THE MATERIALS OR PROCEDURES OR BOTH, IF NEEDED, ARE TO BE ADJUSTED. ASPHALT CONCRETE SPREADING OPERATIONS SHALL NOT CONTINUE UNTIL THE CONTRACTOR HAS NOTIFIED THE PROJECT ENGINEER OF THE ADJUSTMENT THAT WILL BE MADE IN ORDER TO MEET THE REQUIRED COMPACTION. IF ANY SUCCESSIVE TEST AFTER NOTICE IS GIVEN DOES NOT MEET THE SPECIFIED RANGE, THE ASPHALT CONCRETE REPRESENTED BY THAT LOT SHALL BE REMOVED AND REPLACED WITH MATERIAL THAT MEETS THE IN-PLACE DENSITY REQUIREMENTS.

IF THE TEST RESULTS FOR ANY LOT OF ASPHALT CONCRETE INDICATE THAT THE RELATIVE COMPACTION IS EITHER LESS THAN 90% OR MORE THAN 98%, THE ASPHALT CONCRETE REPRESENTED BY THAT LOT SHALL BE REMOVED AND REPLACED WITH MATERIAL THAT DOES MEET THE IN-PLACE DENSITY REQUIREMENT. THE CORRECTIVE WORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

THE FIELD DENSITY OF COMPACTED ASPHALT CONCRETE SHALL BE DETERMINED BY:

- A PROPERLY CALIBRATED NUCLEAR ASPHALT TESTING DEVICE IN THE FIELD
- ASTM D1781 WHEN SLABS OR CORES ARE TAKEN FOR LABORATORY TESTING.
- ZINC STEARATE MAY BE SUBSTITUTED WITH PARAFFIN
- IN CASE OF DISPUTE, METHOD "B" SHALL BE USED.

IF THE FINISHED SURFACE OF THE ASPHALT CONCRETE DOES NOT MEET THE SPECIFIED SURFACE TOLERANCES, IT SHALL BE BROUGHT WITHIN TOLERANCE BY EITHER:

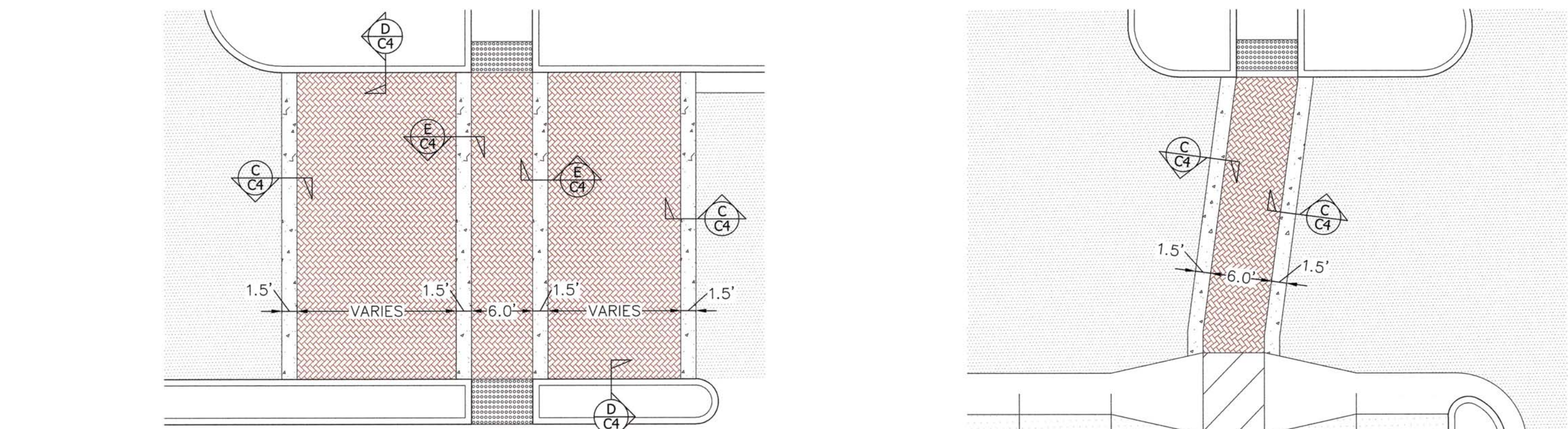
- ABRASIVE GRINDING WITH EQUIPMENT UTILIZING DIAMOND BLADES

ASPHALT CONCRETE PAVING NOTES:

ASPHALT CONCRETE SHALL BE TYPE "A" (MODIFIED) FOR HEAVY DUTY STRUCTURAL SECTIONS AND TYPE "B" (MODIFIED) FOR MEDIUM DUTY AND LIGHT DUTY STRUCTURAL SECTIONS AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39, "ASPHALT CONCRETE" OF THE STANDARD SPECIFICATIONS AND THESE SPECIAL PROVISIONS.

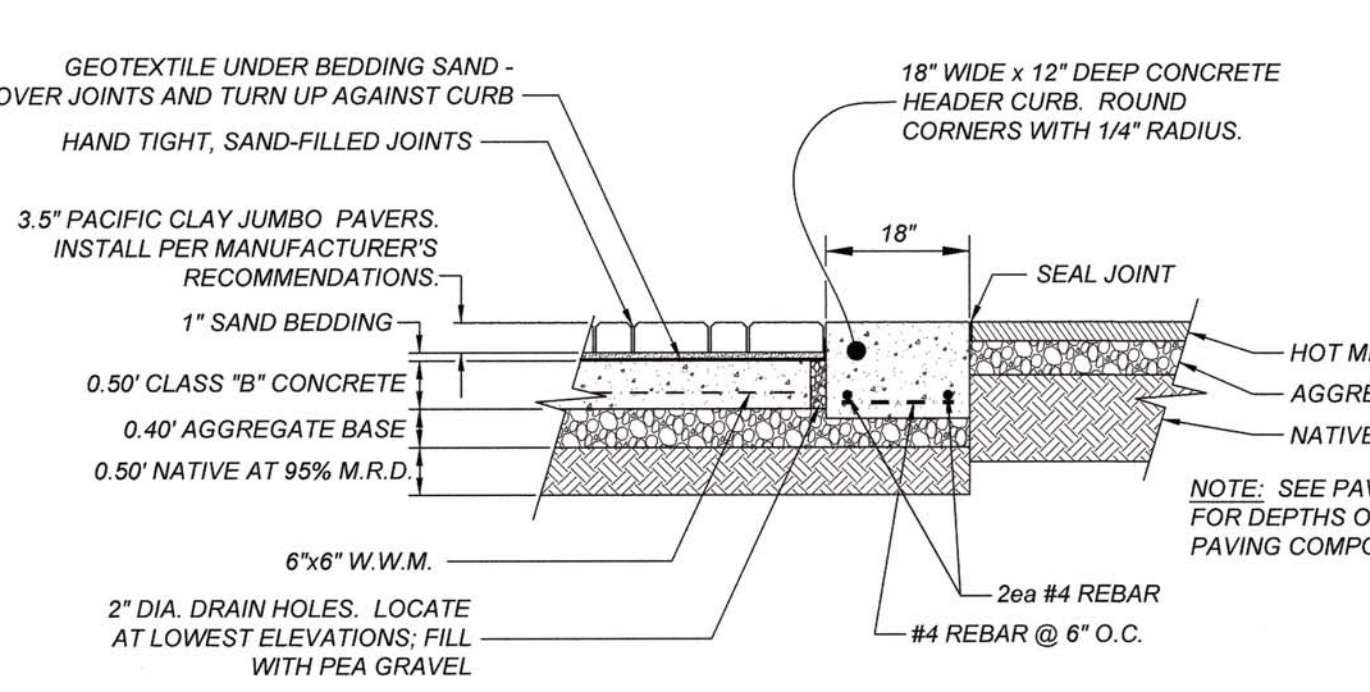
PRIOR TO THE ADDITION OF ASPHALT BINDER, THE COMBINED MINERAL AGGREGATE FOR TYPE "A" (MODIFIED) OR TYPE "B" (MODIFIED) ASPHALT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 39-2.02, "AGGREGATE" OF THE STANDARD SPECIFICATIONS AND THESE SPECIAL PROVISIONS.

ASPHALT BINDER FOR TYPE "A" (MODIFIED) ASPHALT CONCRETE SHALL BE PG 64-10 PERFORMANCE GRADED ASPHALT, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. ASPHALT BINDER FOR TYPE "B" (MODIFIED) ASPHALT CONCRETE SHALL BE PG 64-10 PERFORMANCE GRADED ASPHALT, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. THE ASPHALT BINDER SHALL CONFORM TO THE REQUIREMENTS IN THE TABLE FOR "STEAMER-PAVED ASPHALTS" IN SECTION 62-1.02, "ROADS", OF THE STANDARD SPECIFICATIONS.

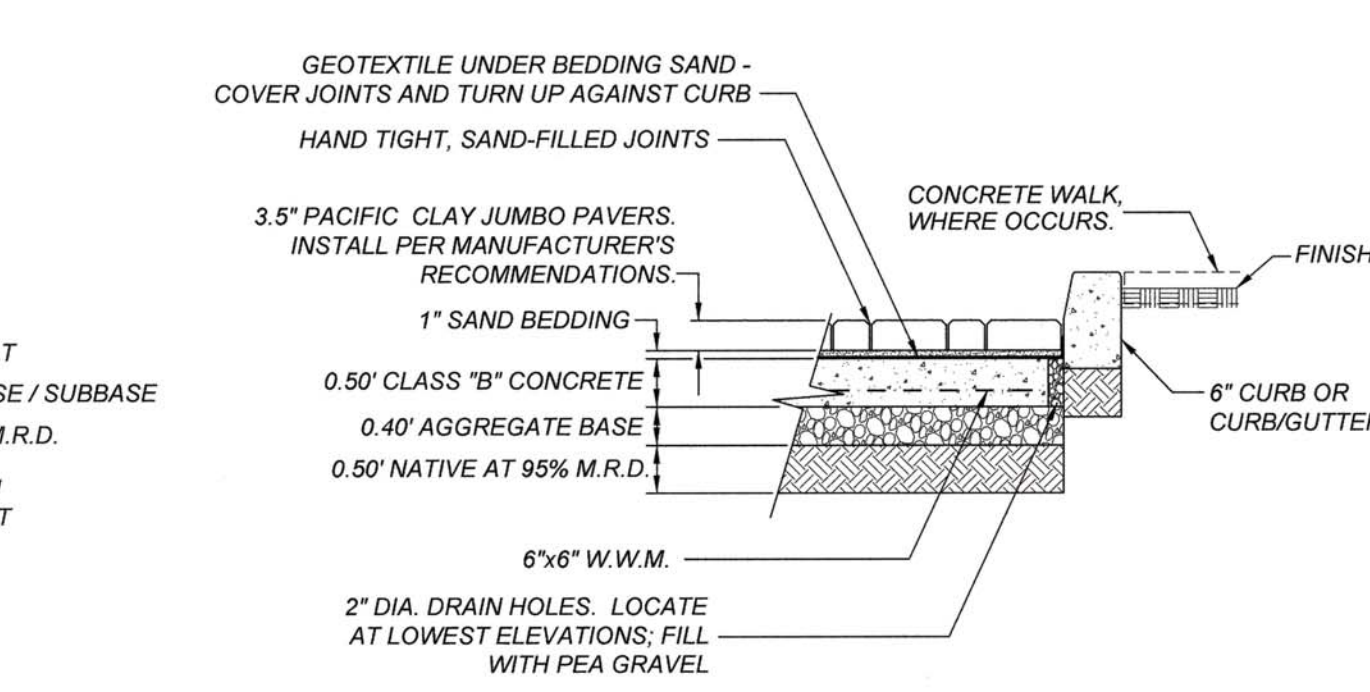


A C4 TYPICAL DETAIL ~ CONCRETE PAVERS AT ENHANCED ENTRY
SCALE: 1" = 10"

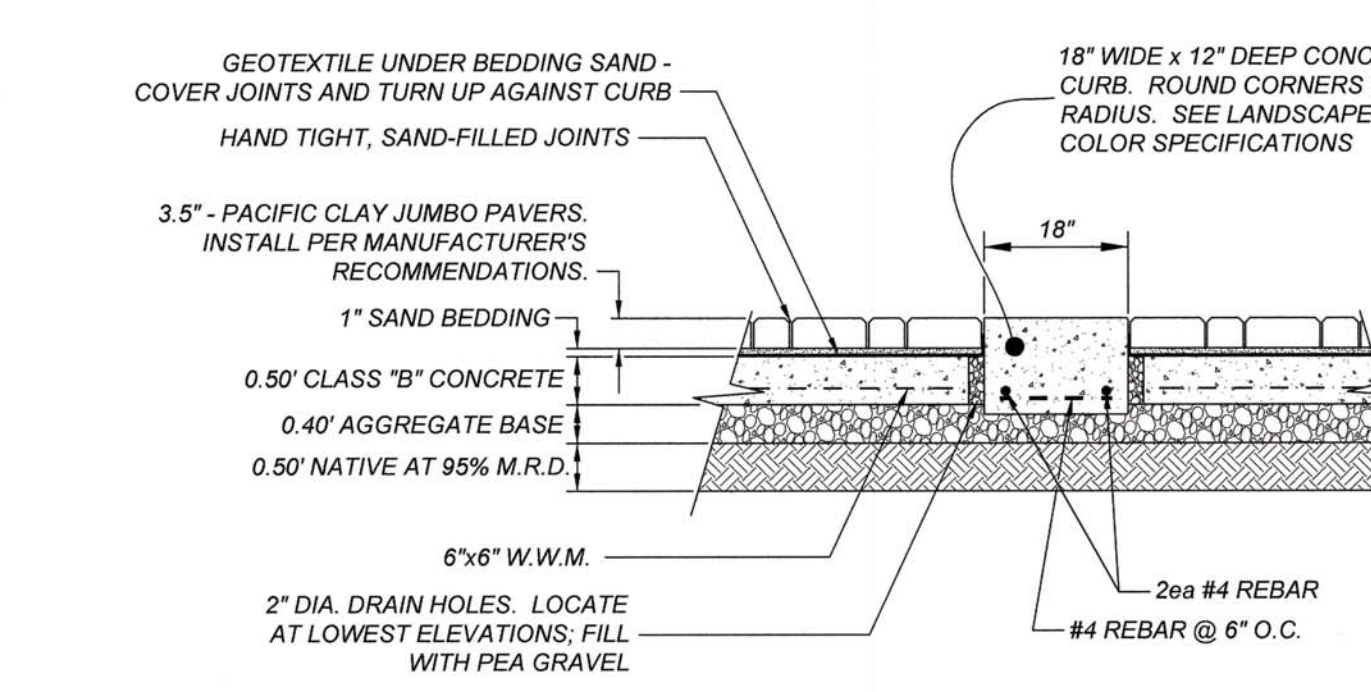
B C4 TYPICAL DETAIL ~ CONCRETE PAVERS AT ENHANCED CROSSWALK
SCALE: 1" = 10"



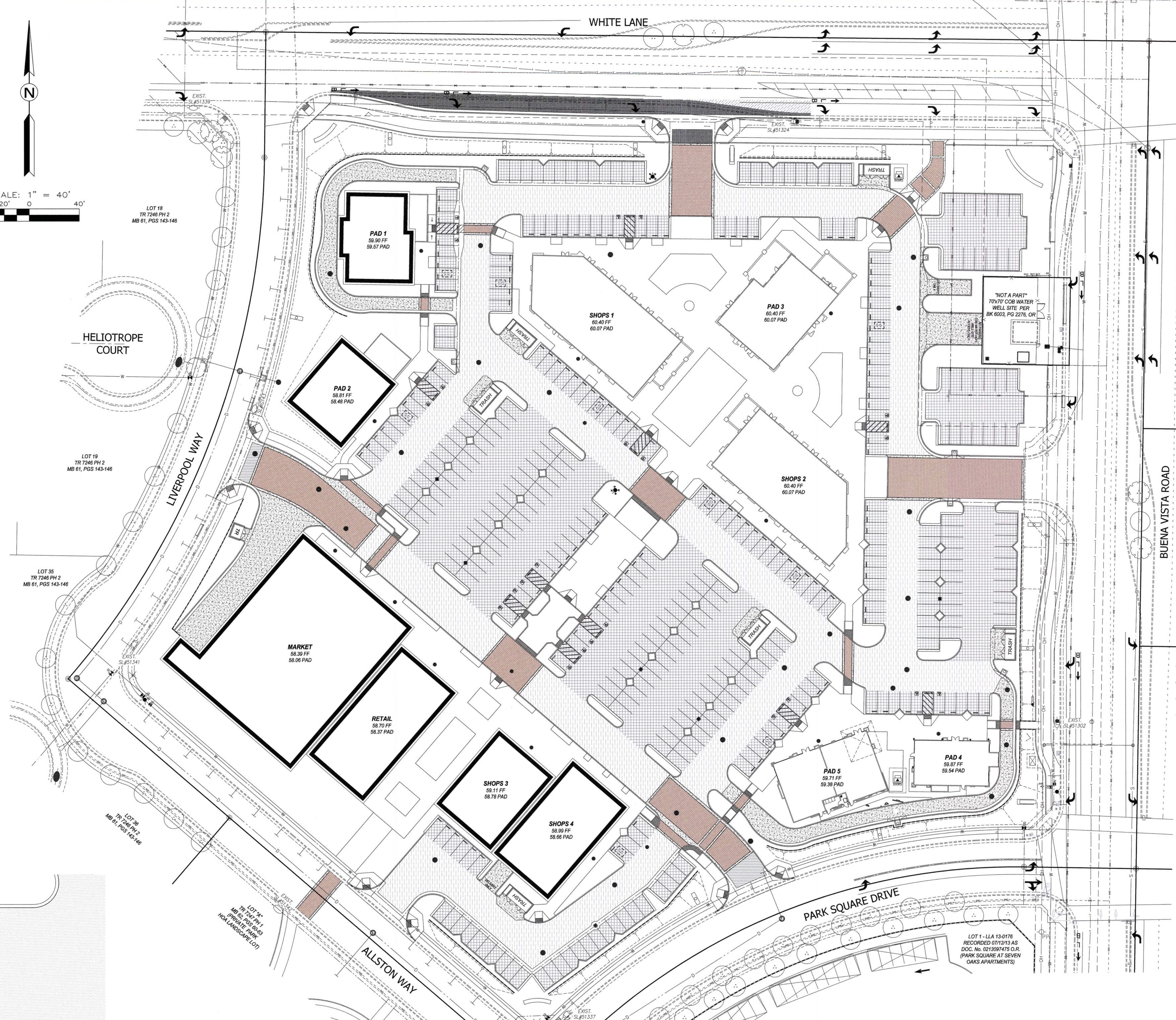
C C4 TYPICAL SECTION CONCRETE PAVERS / ASPHALT PAVING
NTS



D C4 TYPICAL SECTION CONCRETE PAVERS AT CURB
NTS



E C4 TYPICAL SECTION CONCRETE PAVER / CONCRETE PAVER
NTS



PAVEMENT SECTIONS:

- LIGHT DUTY PAVEMENT (T.I. = 4.5; R = 69)**
 - 0.20" HOT MIX ASPHALT
 - 0.40" CL-2 AGGREGATE BASE
 - 1.00" NATIVE SUBGRADE AT 95% M.R.D.
- MEDIUM DUTY PAVEMENT (T.I. = 6.0; R = 69)**
 - 0.30" HOT MIX ASPHALT
 - 0.40" CL-2 AGGREGATE BASE
 - 1.00" NATIVE SUBGRADE AT 95% M.R.D.
- HEAVY DUTY PAVEMENT (T.I. = 8.0; R = 69)**
 - 0.40" HOT MIX ASPHALT
 - 0.40" CL-2 AGGREGATE BASE
 - 1.20" NATIVE SUBGRADE AT 95% M.R.D.
- CONCRETE PAVMT (DRIVE-THROUGH & LOADING AREAS)**
 - 0.50" CLASS "B" CONCRETE w/ 6"x6" W.W.M.
 - 0.50" CL-2 AGGREGATE BASE
 - 1.00" NATIVE SUBGRADE AT 95% M.R.D.
- CONCRETE PAVEMENT (TRASH ENCLOSURE APRONS)**
 - 0.50" CLASS "B" CONCRETE w/ 6"x6" W.W.M.
 - 0.50" CL-2 AGGREGATE BASE
 - 1.00" NATIVE SUBGRADE AT 95% M.R.D.
- ENHANCED PAVEMENT**
 - SEE ABOVE & LEFT FOR CONCRETE AND PAVEMENT SPECIFICATIONS, PATTERNS, & COLORS
- WHITE LANE GRIND & OVERLAY**
 - 0.45" HOT MIX ASPHALT
 - 0.50" CL-2 AGGREGATE BASE
 - 1.55" NATIVE SUBGRADE 95% M.R.D.

PAVER & ADA DOME SPECIFICATIONS:

- PEDESTRIAN CROSSWALKS:**
 - PACIFIC CLAY JUMBO PAVER - JUMBO PAVER RED FLASHED; SIZE 3" x 11.5" (3.5'); COLOR: "RED FLASHED"; PATTERN: "HERRINGBONE"
- DRIVEWAY APRONS:**
 - PACIFIC CLAY JUMBO PAVER - JUMBO PAVER RED FLASHED; SIZE 3" x 11.5" (3.5'); COLOR: "RED FLASHED"; PATTERN: "HERRINGBONE"
- DETECTABLE WARNING STRIP:**
 - STEPSTONE, INC. BRAND 12x12 TRUNCATED DOME PAVER; COLOR: "BRICK RED" #1816; FINISH: LIGHT SANDBLAST



6.9-371
CITY RECORDS NO.

BELCOURT VILLAGE PAVING PLAN
SPR No. 20-0323
PERMIT No. 21-4000010

Bothouse LAND COMPANY
11601 BOLT-HOUSE DRIVE, SUITE 200, BAKERSFIELD, CA 93311
PH: 661.323.4005 • www.bothouseproperties.com

BELCOURT VILLAGE

NO.	DATE	REVISION

DRAWN BY: K. MacNeill
DATE: 06/15/2021
ACAD FILE: CivilSite-01.dwg
SHEET: **C5** OF 8 SHEETS

SEWER LEGEND

- 1 CONSTRUCT TYPE "A" SEWER MANHOLE PER C.O.B. STD. DETAIL S-7
- 2 CONSTRUCT SEWER CLEANOUT PER C.O.B. STD. DETAIL S-20
- 3 TIE-IN TO EXISTING 8" PVC SEWER STUB
- 4 NOT USED
- 5 INSTALL TEMPORARY CLEANOUT WITH PHASE 1 CONSTRUCTION; REMOVE CLEANOUT AND TIE-IN TO EXIST. SEWER WITH FUTURE PHASES.
- 6 EXISTING SEWER PIPE
- 7 PROPOSED SEWER PIPE
- 8 EXISTING SEWER MANHOLE
- 9 PROPOSED SEWER MANHOLE
- 10 PROPOSED SEWER CLEANOUT - LOCATE CLEANOUTS 5-FT FROM FACE OF BUILDING UNLESS NOTED OTHERWISE
- 11 FUTURE PHASE INTERCEPTOR - SEE ARCHITECTURAL PLANS

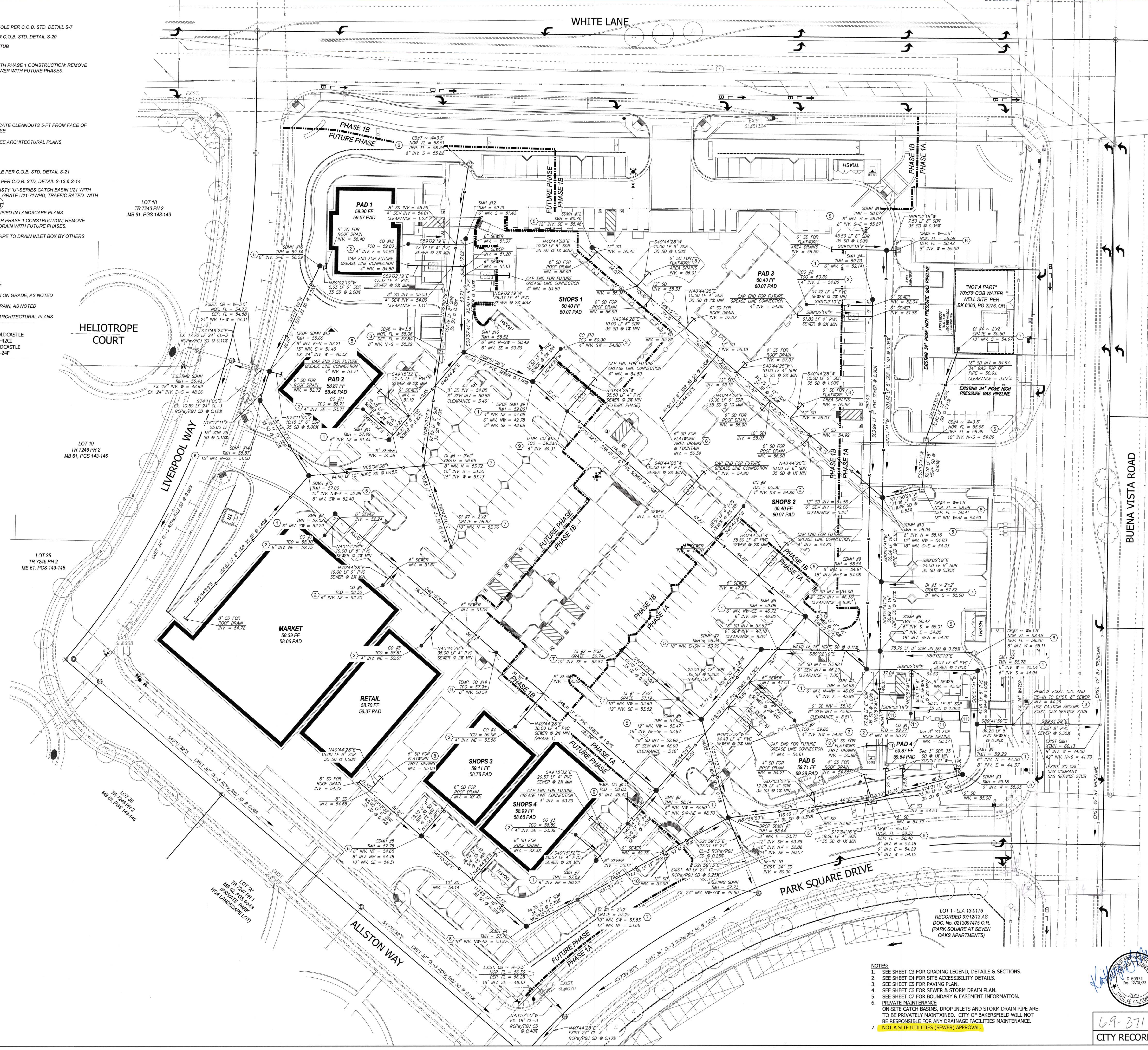
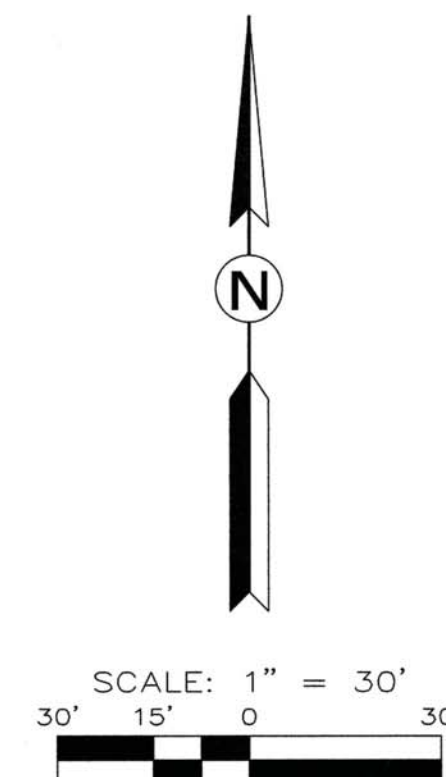
STORM DRAIN LEGEND

- 12 CONSTRUCT STORM DRAIN MANHOLE PER C.O.B. STD. DETAIL S-21
- 13 CONSTRUCT TYPE "A" CATCH BASIN PER C.O.B. STD. DETAIL S-12 & S-14
- 14 CONSTRUCT 2x2' DROP INLET - CHRISTY "U"-SERIES CATCH BASIN U21 WITH CHRISTY "U"-SERIES WELDED STEEL GRATE U21-711WHD, TRAFFIC RATED, WITH CONCRETE COLLAR PER DETAIL S-2
- 15 CONSTRUCT AREA DRAINS AS SPECIFIED IN LANDSCAPE PLANS
- 16 CONSTRUCT TEMPORARY PLUG WITH PHASE 1 CONSTRUCTION; REMOVE PLUG AND TIE-IN TO EXIST. STORM DRAIN WITH FUTURE PHASES.
- 17 CONNECT 4" SDR 35 STORM DRAIN PIPE TO DRAIN INLET BOX BY OTHERS (SEE ARCHITECTURAL PLANS)
- 18 EXISTING STORM DRAIN PIPE
- 19 PROPOSED STORM DRAIN PIPE
- 20 EXISTING STORM DRAIN MANHOLE
- 21 PROPOSED STORM DRAIN MANHOLE
- 22 PROPOSED CATCH BASIN IN SAG OR ON GRADE, AS NOTED
- 23 PROPOSED DROP INLET OR AREA DRAIN, AS NOTED
- 24 DRAIN INLET BOX BY OTHERS. SEE ARCHITECTURAL PLANS

- NOTES:**
- ALL TYPE "A" CATCH BASINS TO BE EQUIPPED WITH OLDCASTLE FLOGARD CATCH BASIN INSERT FILTERS, MODEL: FGP-42CI
 - ALL CHRISTY DROP INLETS TO BE EQUIPPED WITH OLDCASTLE FLOGARD CATCH BASIN INSERT FILTERS, MODEL: FGP-24F

GENERAL LEGEND

- SMH - SEWER MANHOLE
- SDMH - STORM DRAIN MANHOLE
- TMH - TOP OF MANHOLE ELEVATION
- CO - SEWER CLEANOUT
- TCO - TOP OF CLEANOUT ELEVATION
- CB - CATCH BASIN
- DI - DROP INLET
- AD - AREA DRAIN
- INV. - INVERT ELEVATION
- NOR. FL. - NORMAL FLOWLINE ELEVATION
- DEP. FL. - DEPRESSION FLOWLINE ELEVATION
- PHASE LINE



- NOTES:**
- SEE SHEET C3 FOR GRADING LEGEND, DETAILS & SECTIONS.
 - SEE SHEET C4 FOR SITE ACCESSIBILITY DETAILS.
 - SEE SHEET C5 FOR PAVING PLAN.
 - SEE SHEET C6 FOR SEWER & STORM DRAIN PLAN.
 - SEE SHEET C7 FOR BOUNDARY & EASEMENT INFORMATION.
 - PRIVATE MAINTENANCE
 - ON-SITE CATCH BASINS, DROP INLETS AND STORM DRAIN PIPE ARE TO BE PRIVATELY MAINTAINED. CITY OF BAKERSFIELD WILL NOT BE RESPONSIBLE FOR ANY DRAINAGE FACILITIES MAINTENANCE.
 - NOT A SITE UTILITIES (SEWER) APPROVAL.



CITY RECORDS NO. 69-371

**BELCOURT VILLAGE
SEWER & STORM DRAIN PLAN
SPR No. 20-0323
PERMIT No. 21-4000010**

**BothouseSM
LAND COMPANY**
11601 BOLTHOUSE DRIVE, SUITE 200, BAKERSFIELD, CA 93311
PH: 661.323.4005 • WWW.BOTHOUSEPROPERTIES.COM

**BELCOURT
VILLAGE**

NO.	DATE	REVISION

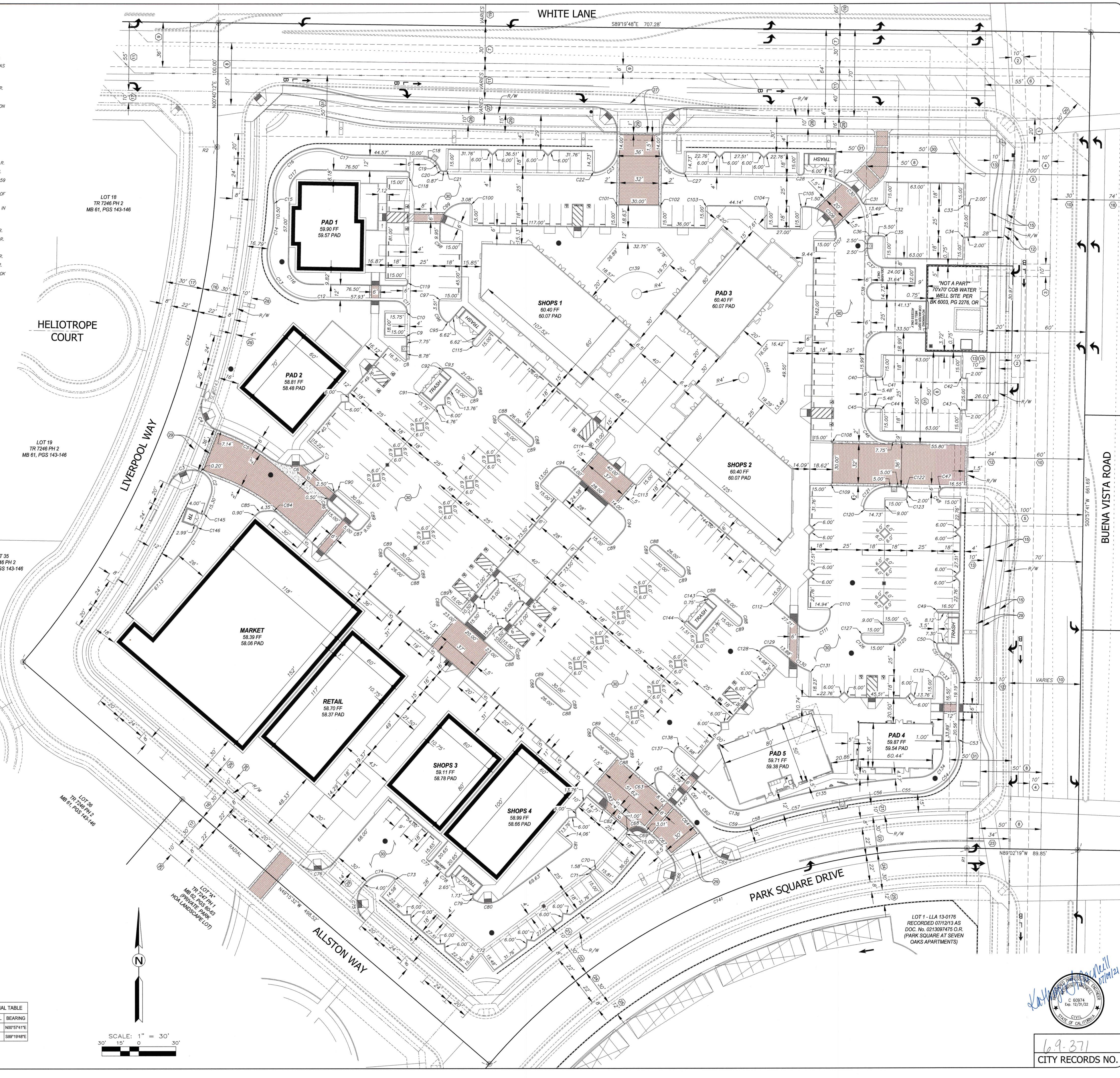
DRAWN BY: K. MacNeill
DATE: 06/15/2021
ACAD FILE: CivilSite-01.dwg
SHEET: **C6**
OF 8 SHEETS

EASEMENT LEGEND

- 1 PG&E PIPELINE EASEMENT RECORDED ON MAY 25, 1983 IN BK 5554, PG 1414, O.R.
- 2 WATER PIPELINE EASEMENT TO COB RECORDED ON SEPTEMBER 15, 1987 IN BK 6048, PG 25, O.R.
- 3 CENTERLINE 10-FT WIDE PG&E PIPELINE EASEMENT RECORDED ON JUNE 16, 1988 IN BK 6133, PG 1412, O.R.
- 4 PAC BELL UNDERGROUND COMMUNICATION FACILITIES ESMT. REC. ON MAY 11, 1989 IN BK 6238, PG 322, O.R.
- 5 EASEMENT TO PG&E FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED JUNE 17, 1997 AS DOCUMENT No. 0197079521, O.R.
- 6 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON AUGUST 19, 1997 AS DOC. No. 0197107700, O.R.
- 7 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON SEPTEMBER 5, 2000 AS DOC. No. 020011261, O.R.
- 8 PG&E 34" HIGH PRESSURE GAS PIPELINE EASEMENT REC. ON JULY 24, 2003 AS DOC. No. 0203148941, O.R.
- 9 PACIFIC BELL TELEPHONE COMPANY UNDERGROUND COMMUNICATION FACILITIES EASEMENTS RECORDED ON AUGUST 21, 2003 AS DOC. No. 0203175081, O.R.
- 10 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON MARCH 14, 2007 AS DOC. No. 0207058433, O.R.
- 11 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON MARCH 14, 2007 AS DOC. No. 0207058434, O.R.
- 12 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON MAY 19, 2011 AS DOC. No. 0211065464, O.R.
- 13 10-FT WIDE PG&E POLE LINE EASEMENT RECORDED ON AUGUST 30, 2012 AS DOC. No. 0212122773, O.R.
- 14 TEMPORARY FLOWAGE AND DRAINAGE ESMT. TO COB REC. ON MARCH 1, 2013 AS DOC. No. 0213029535, O.R.
- 15 SIDEWALK AND PUBLIC UTILITIES EASEMENT TO COB REC. ON DECEMBER 4, 2013 AS DOC. No. 0213174751, O.R.
- 16 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON FEBRUARY 3, 2015 AS DOC. No. 0215012380, O.R.
- 17 STREET RIGHT-OF-WAY DEDICATION TO COB SHOWN ON PM 12100, FILED ON DECEMBER 30, 2014 IN BOOK 59 OF PARCEL MAPS, AT PAGES 178-189
- 18 STREET RIGHT-OF-WAY DEDICATION TO COB SHOWN ON PM 11861, FILED ON JULY 7, 2009 IN BOOK 57 OF PARCEL MAPS, AT PAGES 119-122
- 19 STREET RIGHT-OF-WAY DEDICATION TO COB SHOWN ON TRACT 5928 PHASE "E", FILED ON MARCH 17, 2000 IN MAP BOOK 45, AT PAGES 153-154
- 20 PERMANENT SEWER PIPELINE EASEMENT TO COB RECORDED ON JUNE 4, 1999 AS DOC. No. 0199080010, O.R.
- 21 PUBLIC UTILITIES & SIDEWALK EASEMENT TO COB REC. ON NOVEMBER 21, 2013 AS DOC. No. 0213169866, O.R.
- 22 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON NOVEMBER 21, 2013 AS DOC. No. 0213169867, O.R.
- 23 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON JUNE 23, 2009 AS DOC. No. 0209091257, O.R.
- 24 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON NOVEMBER 21, 2013 AS DOC. No. 0213169711, O.R.
- 25 PUBLIC UTILITIES & SIDEWALK EASEMENT TO COB REC. ON NOVEMBER 21, 2013 AS DOC. No. 0213169712, O.R.
- 26 PUBLIC UTILITIES EASEMENT TO COB SHOWN ON TRACT 7247 PHASE 1, FILED ON JULY 25, 2017 IN MAP BOOK 62, AT PAGES 60-63
- 27 STREET RIGHT-OF-WAY DEDICATION TO COB RECORDED ON APRIL 1, 2021 AS DOC. No. 0221060433, O.R.
- 28 PUBLIC UTILITIES EASEMENT TO COB RECORDED ON APRIL 8, 2021 AS DOC. No. 0221065313, O.R.
- 29 PEDESTRIAN WALKWAY EASEMENT TO COB REC. ON APRIL 5, 2021 AS DOC. No. 0221062234, O.R.
- 30 FLOWAGE & DRAINAGE EASEMENT TO COB REC. ON APRIL 8, 2021 AS DOC. No. 0221065312, O.R. (BLANKET EASEMENT AFFECTS ALL NON-BUILDING AREAS)
- 31 50-FT HABITABLE BUILDING SETBACK FROM CENTERLINE GAS PIPELINE

CURVE TABLE				CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CURVE	RADIUS	LENGTH	TANGENT	DELTA
C1	100.00	21.84	10.96	012°30'47"	C16	20.00	31.42	20.00	086°00'00"
C2	15.00	23.24	14.68	088°45'23"	C17	2.35	7.38	INFINITY	180°00'00"
C3	20.00	30.23	18.86	088°36'12"	C18	2.35	7.38	INFINITY	180°00'00"
C4	20.00	30.40	18.91	087°00'03"	C19	3.00	5.24	3.59	100°09'51"
C5	150.00	40.13	20.19	015°19'48"	C20	20.00	23.32	13.19	086°47'40"
C6	37.00	47.81	27.74	073°43'12"	C21	3.00	5.40	3.77	103°02'29"
C7	2.00	3.56	2.48	102°07'38"	C22	3.00	5.58	4.02	106°38'06"
C8	1.50	3.40	3.20	129°46'48"	C23	10.00	12.81	7.49	073°23'54"
C9	3.00	4.71	3.00	090°00'00"	C24	10.00	7.98	4.19	045°28'24"
C10	2.00	3.69	2.58	104°28'39"	C25	10.00	7.78	4.10	044°33'38"
C11	10.00	13.18	7.79	079°31'21"	C26	5.00	7.89	5.00	090°00'00"
C12	20.00	3.33	1.67	099°32'14"	C27	5.00	7.89	5.00	090°00'00"
C13	37.00	76.72	62.57	118°48'31"	C28	5.00	7.89	5.00	090°00'00"
C14	50.00	16.82	8.49	019°16'17"	C29	3.00	4.71	3.00	090°00'00"
C15	20.00	3.33	1.67	099°32'14"	C30	3.00	4.71	3.00	090°00'00"
C16	37.00	76.72	62.57	118°48'31"	C31	2.25	7.07	INFINITY	180°00'00"
C17	50.00	16.82	8.49	019°16'17"	C32	1.00	2.09	1.73	125°00'00"
C18	15.00	9.23	4.77	035°14'48"	C33	10.00	10.47	5.77	060°00'00"
C19	15.00	9.23	4.77	035°14'48"	C34	10.00	10.47	5.77	060°00'00"
C20	3.00	3.71	2.13	070°47'07"	C35	3.00	4.81	2.90	087°58'18"
C21	3.00	4.71	3.00	090°00'00"	C36	15.00	13.68	7.36	052°14'54"
C22	3.00	5.24	3.59	100°09'51"	C37	3.00	4.71	3.00	090°00'00"
C23	20.00	27.87	16.73	079°50'09"	C38	3.00	4.71	3.00	090°00'00"
C24	20.00	27.87	16.73	079°50'09"	C39	20.00	31.31	19.90	089°42'31"
C25	3.00	5.24	3.59	100°09'51"	C40	3.00	4.71	3.00	090°00'00"
C26	3.00	9.42	INFINITY	180°00'00"	C41	3.00	4.71	3.00	090°00'00"
C27	3.00	3.62	2.07	089°09'01"	C42	3.00	4.71	3.00	090°00'00"
C28	40.00	28.01	15.18	041°33'12"	C43	3.00	4.71	3.00	090°00'00"
C29	3.00	3.29	1.81	062°08'42"	C44	3.00	4.71	3.00	090°00'00"
C30	3.00	4.71	3.00	090°00'00"	C45	3.00	4.71	3.00	090°00'00"
C31	3.00	4.71	3.00	090°00'00"	C46	20.00	31.42	20.00	086°00'00"
C32	3.00	4.71	3.00	090°00'00"	C47	6.00	9.42	6.00	090°00'00"
C33	3.00	4.71	3.00	090°00'00"	C48	3.00	4.71	3.00	090°00'00"
C34	3.00	4.71	3.00	090°00'00"	C49	1.50	4.71	INFINITY	180°00'00"
C35	3.00	4.71	3.00	090°00'00"	C50	2.00	3.59	2.51	102°53'42"
C36	6.00	9.42	6.00	090°00'00"	C51	15.00	13.14	7.02	050°11'21"
C37	15.00	23.56	15.00	090°00'00"	C52	20.00	22.02	12.88	083°08'03"
C38	7.36	23.13	INFINITY	180°00'00"	C53	20.00	3.79	1.90	010°50'39"
C39	15.00	23.56	15.00	090°00'00"	C54	36.00	65.74	46.60	194°37'38"
C40	6.00	9.42	6.00	090°00'00"	C55	50.00	8.27	4.14	009°28'17"
C41	3.00	4.71	3.00	090°00'00"	C56	546.00	48.41	24.22	009°04'47"
C42	3.00	4.71	3.00	090°00'00"	C57	546.00	48.00	34.54	007°14'25"
C43	3.00	4.71	3.00	090°00'00"	C58	26.00	3.04	1.52	038°14'41"
C44	3.00	4.71	3.00	090°00'00"	C59	37.00	33.76	18.18	052°16'50"
C45	6.00	9.42	6.00	090°00'00"	C60	37.00	21.62	11.13	033°28'28"
C46	20.00	31.42	20.00	086°00'00"	C61	50.00	13.44	6.76	015°23'50"
C47	6.00	9.42	6.00	090°00'00"	C62	5.00	10.47	8.66	120°00'00"
C48	3.00	4.71	3.00	090°00'00"	C63	15.00	15.71	8.66	060°00'00"
C49	1.50	4.71	INFINITY	180°00'00"	C64	165.00	48.44	23.38	018°07'38"
C50	2.00	3.59	2.51	102°53'42"	C65	20.00	26.97	15.98	077°14'57"
C51	15.00	13.14	7.02	050°11'21"	C66	20.00	35.17	24.16	190°48'18"
C52	20.00	22.02	12.88	083°08'03"	C67	135.00	26.89	13.39	011°19'41"
C53	20.00	3.79	1.90	010°50'39"	C68	10.00	15.71	10.00	090°00'00"
C54	36.00	65.74	46.60	194°37'38"	C69	3.00	4.71	3.00	090°00'00"
C55	50.00	8.27	4.14	009°28'17"	C70	3.00	4.03	2.38	076°57'31"
C56	546.00	48.41	24.22	009°04'47"	C71	3.00	4.71	3.00	090°00'00"
C57	546.00	48.00	34.54	007°14'25"	C72	2.00	3.60	2.52	103°02'29"
C58	26.00	3.04	1.52	038°14'41"	C73	3.00	5.42	3.81	103°34'17"
C59	37.00	33.76	18.18	052°16'50"	C74	18.00	24.01	14.17	076°28'43"
C60	37.00	21.62	11.13	033°28'28"	C75	20.00	31.42	20.00	086°00'00"

RADIAL TABLE	
RADIAL	BEARING
R1	N00°57'41"E
R2	S89°19'48"E



BELCOURT VILLAGE
HORIZONTAL CONTROL PLAN
SPR No. 20-0323
PERMIT No. 21-4000010

Bothouse
LAND COMPANY
 11601 BOLTHOUSE DRIVE, SUITE 200, BAKERSFIELD, CA 93311
 PH: 661.323.4005 • www.bothouseproperties.com

BELCOURT
 V I L L A G E

NO.	DATE	REVISION

DRAWN BY: K. MacNeill
 DATE: 05/15/2021
 ACAD FILE: CivilSite-01.dwg
 SHEET: **C7**
 OF 8 SHEETS



6.9.371
 CITY RECORDS NO.

EROSION, SEDIMENT & DUST CONTROL PLAN

BELCOURT VILLAGE

BAKERSFIELD, CALIFORNIA

SWPPP BEST MANAGEMENT PRACTICES GENERAL NOTES:

- FOLLOWING ARE GENERAL NOTES. THE CONTRACTOR SHALL REVIEW ALL APPLICABLE CODES AND REGULATIONS AND IMPLEMENT CONSTRUCTION SITE MONITORING PROGRAM AS NECESSARY TO MEET REGULATIONS.
- BEST MANAGEMENT PRACTICES (BMPs) CONTAINED HEREIN REFLECT MINIMUM REQUIREMENTS. ALTERNATE METHODS PROVIDING EQUAL OR GREATER PROTECTION MAY BE UTILIZED. FOR ADDITIONAL BMPs REFER TO CALIFORNIA STORMWATER BMP HANDBOOKS.
 - ALL CONSTRUCTION SHALL CONFORM TO THIS PLAN AND IMPLEMENTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT, THE STATE'S GENERAL PERMIT, AND LOCAL STORMWATER MANAGEMENT PROGRAMS. CONTRACTOR SHALL OBTAIN A COPY OF THESE PROGRAMS FOR HIS OWN USE.
 - THE CONTRACTOR MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS PER THE BMP HANDBOOK.
 - NON-STORMWATER DISCHARGES SHALL BE PROHIBITED FROM ENTERING ANY STORM DRAIN SYSTEM AND THE EXISTING STREET.
 - NON-STORMWATER MANAGEMENT CONTROLS AND WASTE MANAGEMENT CONTROLS SHALL BE PROPERLY IMPLEMENTED AS NECESSARY TO COMPLY WITH ALL APPLICABLE CODES.
 - SEDIMENT CONTROL PRACTICES SHALL EFFECTIVELY PREVENT A NET INCREASE OF SEDIMENT LOAD IN STORMWATER DISCHARGE.
 - ALL CONTROL DEVICES SHALL BE INSPECTED FOR PROPER INSTALLATION PRIOR TO QUALIFYING RAIN EVENTS AS OUTLINED IN THE GENERAL ORDER.
 - A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES. NECESSARY MATERIALS SHALL BE AVAILABLE ONSITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR DAMAGED EROSION CONTROL MEASURES OR SEDIMENT CONTROL MEASURES WHEN RAIN IS IMMINENT.
 - AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS, DESILTING BASINS AND OTHER DEVICES. ANY DEVICES AND SLOPE SURFACE PROTECTION DAMAGED DURING A RAINSTORM SHALL BE IMMEDIATELY REPAIRED.
 - POLLUTANTS SHALL BE REMOVED FROM STORMWATER DISCHARGES TO THE MAXIMUM EXTENT PRACTICABLE (MEP) THROUGH DESIGN AND IMPLEMENTATION OF THIS PLAN.
 - PORTABLE SANITARY FACILITIES SHALL BE LOCATED ON RELATIVELY LEVEL GROUND AWAY FROM TRAFFIC AREAS, DRAINAGE COURSES AND STORM DRAIN INLETS.
 - EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS SHALL BE EDUCATED BY THE DEVELOPER OR HIS GENERAL CONTRACTOR ON ALL BEST MANAGEMENT PRACTICES (BMPs) INCLUDING CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES.
 - THE CONTRACTOR SHALL PREVENT A DUST NUISANCE FROM ORIGINATING FROM THE SITE OF WORK AS A RESULT OF HIS OPERATIONS DURING THE EFFECTIVE PERIOD OF THIS PROJECT. PREVENTATIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO MITIGATE THE IMPACT OF DUST AND PM10 EMISSIONS ACCORDING TO THE SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT REGULATION VIII (8). THE CONTRACTOR SHALL OBTAIN A COPY OF THE REGULATION FOR HIS USE.

CALIFORNIA STORMWATER BMP HANDBOOK

THE FOLLOWING CALIFORNIA STORMWATER CONSTRUCTION BMP'S SHALL BE CONSIDERED A PART OF THESE PLANS AND MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND QSP SHALL IMPLEMENT ADDITIONAL BMP'S AS REQUIRED DURING CONSTRUCTION.

BMP NO.	DESCRIPTION	BMP NO.	DESCRIPTION
<input checked="" type="checkbox"/>	EC-1 SCHEDULING	<input checked="" type="checkbox"/>	TC-2 STABILIZED CONSTRUCTION ROADWAY
<input checked="" type="checkbox"/>	EC-2 PRESERVATION OF EXISTING VEGETATION	<input checked="" type="checkbox"/>	TC-3 ENTRANCE/OUTLET TIRE WASH
<input type="checkbox"/>	EC-4 HYDROSEEDING	<input checked="" type="checkbox"/>	NS-1 WATER CONSERVATION PRACTICES
<input type="checkbox"/>	EC-5 SOIL BINDERS	<input checked="" type="checkbox"/>	NS-8 VEHICLE AND EQUIPMENT CLEANING
<input type="checkbox"/>	EC-9 EARTH DIKES AND DRAINAGE SWALES	<input checked="" type="checkbox"/>	NS-9 VEHICLE AND EQUIPMENT FUELING
<input type="checkbox"/>	EC-16 NON-VEGETATIVE STABILIZATION	<input checked="" type="checkbox"/>	NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
<input checked="" type="checkbox"/>	SE-1 SILT FENCE	<input checked="" type="checkbox"/>	NS-12 CONCRETE CURING
<input checked="" type="checkbox"/>	SE-2 SEDIMENT BASIN	<input checked="" type="checkbox"/>	NS-13 CONCRETE FINISHING
<input type="checkbox"/>	SE-3 SEDIMENT TRAP	<input checked="" type="checkbox"/>	NS-14 MATERIAL AND EQUIPMENT USE
<input checked="" type="checkbox"/>	SE-5 FIBER ROLLS	<input checked="" type="checkbox"/>	WM-1 MATERIAL DELIVERY AND STORAGE
<input checked="" type="checkbox"/>	SE-6 GRAVEL BAG BERM	<input checked="" type="checkbox"/>	WM-2 MATERIAL USE
<input checked="" type="checkbox"/>	SE-7 STREET SWEEPING AND VACUUMING	<input checked="" type="checkbox"/>	WM-3 STOCKPILE MANAGEMENT
<input checked="" type="checkbox"/>	SE-8 SANDBAG BARRIER	<input checked="" type="checkbox"/>	WM-4 SPILL PREVENTION AND CONTROL
<input checked="" type="checkbox"/>	SE-10 STORM DRAIN INLET PROTECTION	<input checked="" type="checkbox"/>	WM-5 SOLID WASTE MANAGEMENT
<input checked="" type="checkbox"/>	WE-1 WIND EROSION CONTROL	<input type="checkbox"/>	WM-6 HAZARDOUS WASTE MANAGEMENT
<input checked="" type="checkbox"/>	TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT	<input checked="" type="checkbox"/>	WM-8 CONCRETE WASTE MANAGEMENT
		<input checked="" type="checkbox"/>	WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

PROJECT STATISTICS

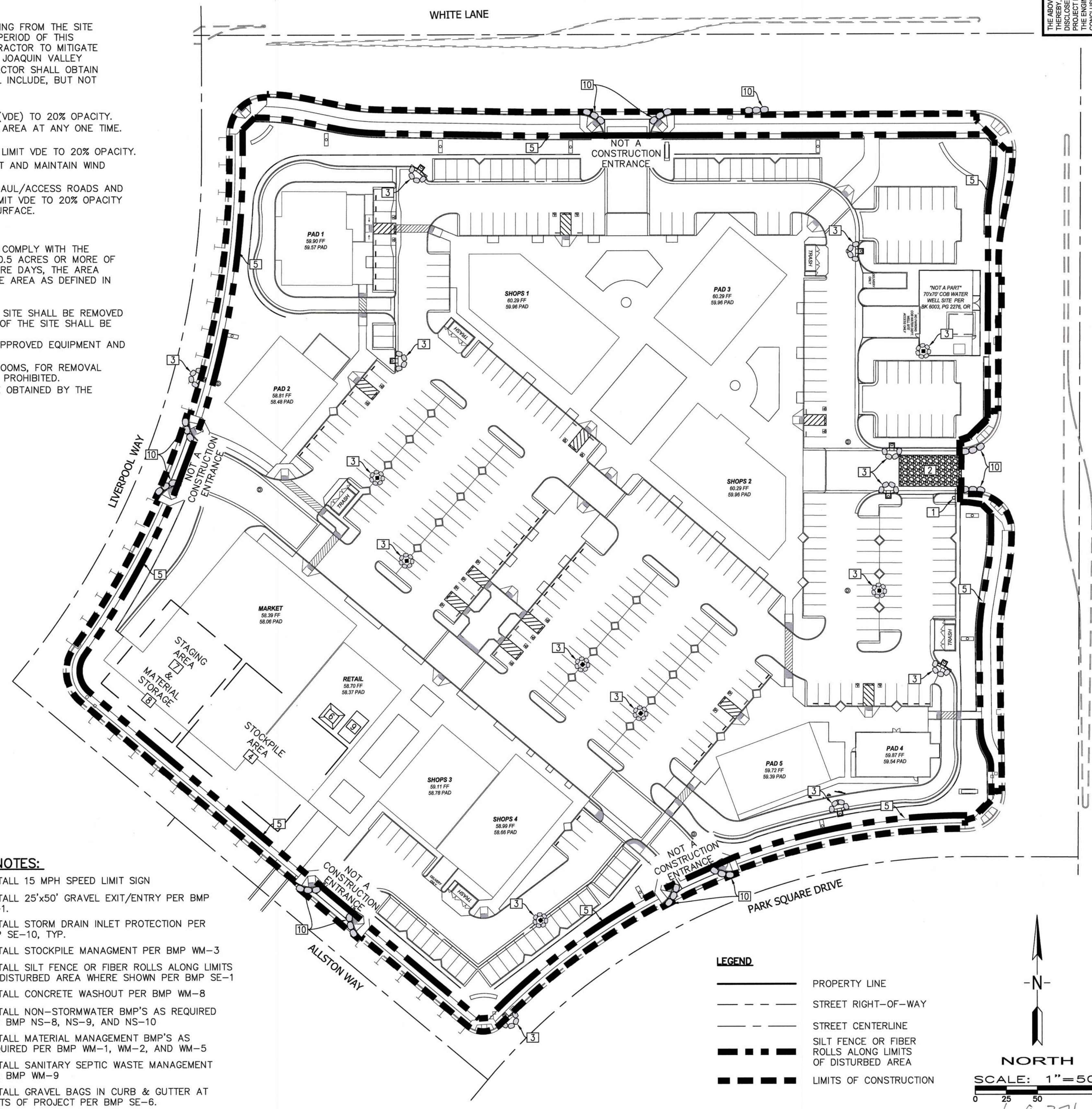
- PROPERTY LOCATION: WHITE LANE AND BUENA VISTA ROAD
CITY OF BAKERSFIELD,
COUNTY OF KERN,
STATE OF CALIFORNIA,
SEC. 13 T.30S. R.26E.
- LEGALLY RESPONSIBLE PERSON: BRUCE DAVIS
BOLTHOUSE LAND COMPANY, LLC,
11801 BOLTHOUSE DRIVE, STE. 200,
BAKERSFIELD, CA 93311
- QUALIFIED SWPPP PRACTITIONER:
(RESPONSIBLE FOR SWPPP
IMPLEMENTATION)
(TO BE DETERMINED PRIOR TO
CONSTRUCTION)
- QUALIFIED SWPPP DEVELOPER:
(RESPONSIBLE FOR SWPPP
PREPARATION) FRED W. PORTER II
PORTER & ASSOCIATES, INC.,
1200 21st STREET
BAKERSFIELD, CA 93301
(661) 327-0362
- PROJECT TYPE: COMMERCIAL BUILDINGS
DEVELOPMENT EARTHWORK
- DISTURBED AREA: 9.15 ACRES
- PROPERTY BOUNDARY: 12.31 GROSS ACRES
- AVERAGE DAILY
EARTHWORK THROUGHPUT:
2,500 CY (APPROXIMATELY) BASED
ON 10 DAYS OF ROUGH GRADING,
APPROX. 1,000 CY THEREAFTER
FOR FINE GRADING, UNDERGROUND
CONSTRUCTION, ETC.

BMP NOTES:

- INSTALL 15 MPH SPEED LIMIT SIGN
- INSTALL 25'x50' GRAVEL EXIT/ENTRY PER BMP TC-1.
- INSTALL STORM DRAIN INLET PROTECTION PER BMP SE-10, TYP.
- INSTALL STOCKPILE MANAGEMENT PER BMP WM-3
- INSTALL SILT FENCE OR FIBER ROLLS ALONG LIMITS OF DISTURBED AREA WHERE SHOWN PER BMP SE-1
- INSTALL CONCRETE WASHOUT PER BMP WM-8
- INSTALL NON-STORMWATER BMP'S AS REQUIRED PER BMP NS-8, NS-9, AND NS-10
- INSTALL MATERIAL MANAGEMENT BMP'S AS REQUIRED PER BMP WM-1, WM-2, AND WM-5
- INSTALL SANITARY SEPTIC WASTE MANAGEMENT PER BMP WM-9
- INSTALL GRAVEL BAGS IN CURB & GUTTER AT LIMITS OF PROJECT PER BMP SE-6.

DUST CONTROL BEST MANAGEMENT PRACTICES:

- THE CONTRACTOR SHALL PREVENT A DUST NUISANCE FROM ORIGINATING FROM THE SITE OF WORK AS A RESULT OF HIS OPERATIONS DURING THE EFFECTIVE PERIOD OF THIS PROJECT. PREVENTATIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO MITIGATE THE IMPACT OF DUST AND PM10 EMISSIONS ACCORDING TO THE SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT REGULATION VIII (8). THE CONTRACTOR SHALL OBTAIN A COPY OF THE REGULATION FOR HIS USE. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - PRE-ACTIVITY:
 - PRE-WATER SITE SUFFICIENT TO LIMIT VISIBLE DUST EMISSIONS (VDE) TO 20% OPACITY.
 - PHASE WORK TO REDUCE THE AMOUNT OF DISTURBED SURFACE AREA AT ANY ONE TIME.
 - DURING ACTIVE OPERATIONS:
 - APPLY WATER OR OTHER APPROVED SUBSTANCE SUFFICIENT TO LIMIT VDE TO 20% OPACITY.
 - LIMIT ACTIVITY TO PERIODS OF LOW OR NO WIND, OR CONSTRUCT AND MAINTAIN WIND BARRIERS SUFFICIENT TO LIMIT VDE TO 20% OPACITY.
 - APPLY WATER OR OTHER APPROVED SUBSTANCE TO UNPAVED HAUL/ACCESS ROADS AND UNPAVED VEHICLE/EQUIPMENT TRAFFIC AREAS SUFFICIENT TO LIMIT VDE TO 20% OPACITY AND MEET THE CONDITIONS OF A STABILIZED UNPAVED ROAD SURFACE.
 - TEMPORARY STABILIZATION DURING PERIODS OF INACTIVITY:
 - RESTRICT VEHICULAR ACCESS TO THE AREA.
 - APPLY WATER OR OTHER APPROVED SUBSTANCE SUFFICIENT TO COMPLY WITH THE CONDITIONS OF A STABILIZED SURFACE. IF ANY AREA HAVING 0.5 ACRES OR MORE OF DISTURBED SURFACE AREA REMAINS UNUSED FOR SEVEN OR MORE DAYS, THE AREA MUST COMPLY WITH THE CONDITIONS FOR A STABILIZED SURFACE AREA AS DEFINED IN RULE 8011.
 - CARRYOUT AND TRACKOUT ON PUBLIC ROADS:
 - ALL VISIBLE CARRYOUT AND TRACKOUT WITHIN 50 FEET OF THE SITE SHALL BE REMOVED AT THE END OF EACH WORKDAY. TRACKOUT BEYOND 50 FEET OF THE SITE SHALL BE REMOVED IMMEDIATELY.
 - CLEANUP SHALL BE ACCOMPLISHED BY MANUAL SWEEPING OR APPROVED EQUIPMENT AND METHOD AS SPECIFIED BY THE SJVAPCD.
 - THE USE OF BLOWER DEVICES OR DRY ROTARY BRUSHES OR BROOMS, FOR REMOVAL OF CARRYOUT AND TRACKOUT ON PUBLIC ROADS IS EXPRESSLY PROHIBITED.
 - ANY PERMITS REQUIRED FOR MUD AND DIRT CLEANUP SHALL BE OBTAINED BY THE CONTRACTOR.



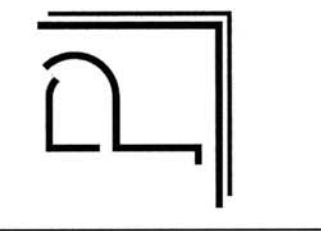
LEGEND

- PROPERTY LINE
- - - STREET RIGHT-OF-WAY
- - - STREET CENTERLINE
- - - SILT FENCE OR FIBER ROLLS ALONG LIMITS OF DISTURBED AREA
- - - LIMITS OF CONSTRUCTION

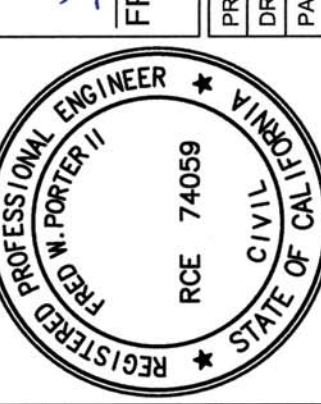
NORTH
SCALE: 1"=50'
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6.9-371

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PORTER & ASSOCIATES, INC.
ENGINEERING & SURVEYING
1200 21st Street, Bakersfield, California 93301
661.327.0362 FAX 661.327.1065



FRED W. PORTER II
PROJECT ENGINEER: PPE
PA REVIEW DATE: _____
DATE: _____



EROSION, SEDIMENT AND DUST CONTROL PLAN
BELCOURT VILLAGE
SWPPP PLAN

DATE 02/26/2021
PA JOB No. 3151C3
SHEET
E1
OF 1 SHEETS