



Planning Committee

Date:	Wednesday, 3 June 2015
Time:	6.00 pm
Venue:	Committee Room 1 - Wallasey Town Hall

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1. MINUTES (Pages 1 - 4)

To approve the accuracy of the minutes of the meeting held on 22 April 2015

2. MEMBERS' CODE OF CONDUCT - DECLARATIONS OF INTEREST

Members of the committee are asked whether they have any personal or prejudicial interests in connection with any application on the agenda and, if so, to declare them and state the nature of the interest.

3. REQUESTS FOR SITE VISITS

Members are asked to request all site visits before any application is considered.

4. APP/14/01182: 5 VICTORIA MOUNT, OXTON, CH43 5TH - RETROSPECTIVE APPLICATION FOR DEMOLISHION OF FRONT BOUNDARY WALL. PROPOSED FRONT AND PARTIAL SIDE WALL, WIDEN FRONT DROP KERB FOR VEHICULAR ACCESS, AND GLAZED BALCONY TO REAR. (Pages 5 - 10)

5. DLS/15/00117: POOL LANE, BROMBOROUGH - RESERVED MATTERS APPLICATION FOR RESIDENTIAL DEVELOPMENT OF 169 NO. DWELLINGS, PROVISION OF AREAS OF PUBLIC OPEN SPACE, LANDSCAPING, ACCESS AND ASSOCIATED WORKS (PURSUANT TO OUTLINE APPROVAL OUT/12/00177). (Pages 11 - 20)

6. **APP/15/00122: AMENITY OPEN SPACE SITE 1, NEW FERRY ROAD, NEW FERRY - ERECTION OF ONE PAIR SEMI-DETACHED TWO STOREY HOUSES AND ASSOCIATED EXTERNAL WORKS. (Pages 21 - 26)**
7. **APP/15/00212: LAND AT PASTURE ROAD, MORETON, WIRRAL - THE PROVISION OF NEW STABLE BLOCKS, ASSOCIATED YARD, MENAGE, ACCESS TRACK AND CHANGE OF LAND USE TO EQUESTRIAN. (Pages 27 - 38)**
8. **OUT/15/00250: CLEARED SITE, LEASOWE ROAD, WALLASEY VILLAGE, CH45 8NY - ERECTION OF BUILDING TO ACCOMMODATE TWO RETAIL UNITS AT GROUND FLOOR AND TWO SELF CONTAINED FLATS AT FIRST FLOOR (Pages 39 - 44)**
9. **ADV/15/00284: LAND AT THE CORNER OF EARL STREET AND NEW CHESTER ROAD, NEW FERRY, WIRRAL, CH62 1AA - ERECTION OF 2 ILLUMINATED HOARDINGS (Pages 45 - 48)**
10. **APP/15/00380: BAY TREE FARM, FRANKBY ROAD, FRANKBY, WIRRAL - THE CONVERSION AND EXTENSION OF THE EXISTING BARN TO FORM ONE RESIDENTIAL DWELLING AND ASSOCIATED WORKS, INCLUDING; THE ERECTION OF A CAR PORT. (Pages 49 - 58)**
11. **APP/15/00429: LAND SOUTH OF , 6 CENTRAL AVENUE, BROMBOROUGH, CH62 2BT - PROPOSED NEW DWELLING (Pages 59 - 62)**
12. **APP/15/00473: NORTH WIRRAL BRICKWORKS, CARR LANE, MORETON, CH46 5NB - VARIATION OF 28 OF APPEAL APPROVAL REF APP/W4325/A/12/2177106 IN ORDER TO SUBMIT DETAILS OF THE RESTORATION AND AFTER CARE SCHEME TO BE SUBMITTED NO LATER THAN 31ST OF MARCH 2016 (Pages 63 - 80)**
13. **PLANNING APPLICATIONS DECIDED UNDER DELEGATED POWERS BETWEEN 10/04/2015 AND 22/05/2015 (Pages 81 - 124)**
14. **ANY OTHER URGENT BUSINESS APPROVED BY THE CHAIR**

Public Document Pack Agenda Item 1

PLANNING COMMITTEE

Wednesday, 22 April 2015

Present: Councillor A Leech (Chair)

Councillors D Realey D Elderton
M Daniel E Boulton
C Spriggs K Hodson
J Walsh S Kelly
I Williams P Cleary

Apologies Councillors P Hayes

Deputies: Councillors C Muspratt (for P Brightmore)

162 MINUTES

The Strategic Director for Transformation and Resources submitted the minutes of the meeting held on 19 March 2015.

Resolved – That the minutes be approved.

163 MEMBERS' CODE OF CONDUCT - DECLARATIONS OF INTEREST

Members of the Committee were asked to declare any disclosable pecuniary or non pecuniary interests in connection with any items on the agenda and to state the nature of the interest.

Councillor C Muspratt declared a personal interest in respect of item 6 by virtue of her being a horse owner.

164 REQUESTS FOR SITE VISITS

Members were asked to submit requests for site visits before any applications were considered.

The following requests were unanimously approved:

APP/15/00122: AMENITY OPEN SPACE SITE 1, NEW FERRY ROAD, NEW FERRY – ERECTION OF ONE PAIR SEMI – DETACHED TWO STOREY HOUSES AND ASSOCIATED EXTERNAL WORKS

APP/15/00212: LAND AT PASTURE ROAD, MORETON, WIRRAL – THE PROVISION OF NEW STABLE BLOCKS, ASSOCIATED YARD, MENAGE, ACCESS TRACK AND CHANGE OF LAND USE TO EQUESTRIAN.

ADV/15/00284: LAND AT THE CORNER OF EARL STREET AND NEW CHESTER ROAD, NEW FERRY WIRRAL, CH62 1AA – ERECTION OF 2 ILLUMINATED HOARDINGS

165 **APP/15/00121: LAND ADJACENT TO,10 THE RIDGEWAY, MEOLS, CH47 9SA - DEMOLITION OF EXISTING GREEN HOUSE AND ERECTION OF 2 NO. DETACHED HOUSES AT LAND ADJACENT TO 10 THE RIDGEWAY.**

The Strategic Director for Regeneration and Environment submitted the above application for consideration.

On a motion by Councillor Realey and seconded by Councillor Hodson it was:

Resolved (12:0) That the application be approved subject to the following conditions:

- 1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.**
- 2. Before any construction commences, samples of the facing/roofing/window materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.**
- 3. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 02 February 2015 and listed as follows: 621.03 (dated 07.01.15) & 621.02 (dated 20.02.14)**
- 4. No development shall take place until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.**
- 5. Before the development hereby permitted is brought into use the first floor window in the south western elevation of plot 1 facing 10 The Ridgeway and the north eastern elevation of plot 2 facing 6 The Ridgeway shall be non opening up to a level of 1.7m from floor level and obscurely glazed with frosted glass and shall be retained as such thereafter.**
- 6. Prior to the first occupation of the dwellings arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the**

curtilage of the site, in accordance with details to be submitted to and agreed in writing by the Local Planning Authority. The approved details shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

7. The area(s) so designated within the site shall be suitably landscaped in accordance with a scheme to be submitted to and approved by the Local Planning Authority before any works commence on site, the landscape work to be completed during the first available planting season following completion of the development hereby approved and shall be maintained thereafter to the satisfaction of the Local Planning Authority.

8. Prior to the first occupation of the dwellings details of proposed boundary treatment shall be submitted to and agreed in writing by the Local Planning Authority. The approved details shall be implemented in full prior to first occupation and retained as such thereafter.

9. Prior to first occupation details of the dropped kerbs shall be submitted to and agreed in writing with the Local Planning Authority. The approved scheme shall be implemented in full prior to first occupation and retained as such thereafter.

166 APP/15/00122: AMENITY OPEN SPACE SITE 1, NEW FERRY ROAD, NEW FERRY - ERECTION OF ONE PAIR SEMI-DETACHED TWO STOREY HOUSES AND ASSOCIATED EXTERNAL WORKS.

Resolved – That consideration of this item be deferred for a formal site visit

167 APP/15/00212: LAND AT PASTURE ROAD, MORETON, WIRRAL - THE PROVISION OF NEW STABLE BLOCKS, ASSOCIATED YARD, MENAGE, ACCESS TRACK AND CHANGE OF LAND USE TO EQUESTRIAN.

Resolved – That consideration of this item be deferred for a formal site visit

168 ADV/15/00284: LAND AT THE CORNER OF EARL STREET AND NEW CHESTER ROAD, NEW FERRY, WIRRAL, CH62 1AA - ERECTION OF 2 ILLUMINATED HOARDINGS

Resolved – That consideration of this item be deferred for a formal site visit

169 **PLANNING APPLICATIONS DECIDED UNDER DELEGATED POWERS BETWEEN 10/03/2015 AND 09/04/2015**

The Strategic Director of Regeneration and Environment submitted a report detailing planning applications decided under delegated powers between 10/03/2015 and 09/04/2015

Resolved – That the report be noted.

170 **ANY OTHER URGENT BUSINESS APPROVED BY THE CHAIR**

The Development Control Manager informed Members that a training event for newly appointment Members of the Planning Committee would be held Wednesday 27th May from 05:30pm.

The Chair of the Planning Committee thanked Officers for hard work undertaken throughout the municipal year.

Councillor Elderton, party spokesperson, thanked the Chair for her effective management of the Committee this municipal year.

Planning Committee

03 June 2015

Reference:
APP/14/01182

Area Team:
North Team

Case Officer:
Mrs S Lacey

Ward:
Oxton

Location:
Proposal:

5 VICTORIA MOUNT, OXTON, CH43 5TH
Retrospective application for demolition of front boundary wall.
Proposed front and partial side wall, widen front drop kerb for vehicular access, and glazed balcony to rear.

Applicant:
Agent :

Mrs L Kerrigan
SDA Architects & Surveyors

Site Plan:



1. Development Plan allocation and policies:

Conservation Area (for illustrative purposes)
Density and Design Guidelines Area
Primarily Residential Area

2. Planning History:

Location: 5 VICTORIA MOUNT, OXTON, CH43 5TH
Application Type: Full Planning Permission
Proposal: New sunken patio to the front of the property: No.5 Victoria Mount.

Application No: APP/12/00779
Decision Date: 06/08/2012
Decision Type: Approve

Location: 5 VICTORIA MOUNT, OXTON, CH43 5TH
Application Type: Full Planning Permission
Proposal: Proposed 3-storey side extension
Application No: APP/14/01601
Decision Date: 09/04/2015
Decision Type: Refuse

3. Summary Of Representations and Consultations Received:

Consultations

Head of Environment & Regulation (Traffic & Transportation Division) - No Objections
The Oxtton Society - Object to the proposals, wall too high and out of character with the area, arch not a design which is elsewhere in the Conservation area, single gates would be less obtrusive and should have gateposts similar to ones removed.

Neighbours

in line with the Councils policy for publicity of planning applications, letters were sent to 5 neighbouring properties, a notice displayed on site and advertised in the press.
One objection has been received from 12 Prices Lane relating to the loss of available on street parking due to the widening of the pavement crossing.
A letter of support has been received from 3 Victoria Mount stating that the works will enhance the street and help parking problems in the area.

4. DIRECTORS COMMENTS:

The application is submitted by SDA Architects and Surveyors, a partner and architect of which is an elected Member of the Council.

INTRODUCTION

The proposal is part retrospective, for the demolition of the front boundary wall and also includes proposals for a new wall and a glazed balcony to the rear of the property. The property is located within the Oxtton Conservation area.

PRINCIPLE OF DEVELOPMENT

The principle of the development is acceptable subject to guidance given in The National Planning Policy Framework (NPPF) and Policies CH2 , CH7 and CH3 of Wirral's Unitary Development Plan

SITE AND SURROUNDINGS

The application site consists of a three storey end property in a terrace of three villas. The front garden area has had previous consent for a patio to be excavated below ground level. this work has been carried out. The front boundary wall has been demolished with temporary fencing forming a boundary.

the wall increases in height at the corner of the site as it turns into Prices Lane. The height at this point varies at between 1.5m and approximately 2m.

POLICY CONTEXT

Policy CH2 concerns development which affects Conservation areas. Such development must be able to preserve and enhance the distinctive characteristics of the Conservation area, the general layout of the area and the character and setting of buildings and elements which make a positive contribution to the area.

Policy CH3 deals specifically with demolition in a Conservation area. Demolition can be accepted if the building or structure to be preserved has little historic importance and detailed redevelopment are proposed.

Policy CH7 sets out the specific criteria for Oxton which reflects the objectives of CH2.

NPPF states that when determining planning applications Local Planning Authorities should take account of:-

- The desirability of sustaining and enhancing the heritage asset
- The positive contribution the heritage asset can make to sustainable communities
- the desirability of the new development making a positive contribution to local character

APPEARANCE AND AMENITY ISSUES

There are two elements to the proposed development, the provision of a new boundary wall and a glazed balcony to the rear of the property.

Boundary Treatment

The proposed wall is to replace previous wall which was demolished without consent. Consent would have been required as the property is within a Conservation area. Whilst there are no definitive details of the whole of the original boundary treatment, the front portion of the wall onto Victoria Mount consisted, at least in part of a low stone wall. As the property is located on a corner, the original wall increases in height to over 1.8m as it turns the corner and forms the side boundary.

The original proposals were to provide a new front wall of 1.8m in height increasing to 2.63 over the door archway. A vehicular access of 4.9m was also proposed with 1.65 high gates.

The Oxton society objected to the proposals on the basis of the height of the proposed wall, the arch being a feature untypical of the area and the large gates being obtrusive.

The boundary treatment in the immediate surrounding area is varied with walls of between 1m and 1.5m in height as a typical form of boundary treatment. The archway feature can be found on the boundary walls to older properties in the area, the nearest being in Polplar Road .

The application property is one of a group of six villas fronting Victoria Mount. Of the six properties ,only two retain the original low wall with the remaining properties having a higher wall, a hedge and a 1.6m fence as their boundary treatment. Given the variety of boundary treatment in the area, it is considered that a form of boundary which is similar in scale and materials would preserve the characteristics of the area and make a positive contribution to the Conservation area. It was however, considered that the original proposals were too high with an opening for vehicles which would be obtrusive and completely out of character with the surrounding Conservation area.

The plans have subsequently been amended to reduce the front wall to 1.5m high, the archway to 2.3m high and the width of the vehicular opening to 3m wide. These changes mean that the boundary wall is now of a comparable height to surrounding properties and the vehicular opening is far less obtrusive and again comparable to others in the vicinity of the site. The proposed boundary treatment is appropriate to this corner site and will make a positive contribution to the appearance and character of the conservation area.

Rear Balcony

The second element of the proposals relates to the erection of a balcony to the rear of the property. The proposed balcony is a simple glazed structure which sits above an existing single storey outrigger. As the property is on a corner, the balcony will be visible from the side, on Prices Lane, as well as the rear. No16 Prices Lane is a property which has been extended to include a front balcony which overlooks the rear garden of 5 Victoria Mount. Whilst the interface distance between the existing and proposed balcony falls short of 21m, the proposed balcony to 5 Victoria Mount is at a lower level than the existing one which will not compromise the privacy of 16 Prices Lane. The simple design of the balcony will not detract from the host building and will have a neutral impact on the character of the Conservation area.

SEPARATION DISTANCES

The implications for separation distances are set out in the main body of the report

HIGHWAY/TRAFFIC IMPLICATIONS

There are no Highway objections to this proposal.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental/Sustainability issues relating to these proposals.

HEALTH ISSUES

There are no health implications relating to this application.

CONCLUSION

The proposals as amended, will result in a visual improvement to this corner plot and reinforce the characteristics of the surrounding Conservation area. The proposal accords with UDP policies CH2, CH3 and CH7 and the National Planning Policy Framework.

5. Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-
The proposals as amended, will result in a visual improvement to this corner plot and reinforce the characteristics of the surrounding Conservation area. The proposal accords with UDP policies CH2, CH3 and CH7 and the National Planning Policy Framework.

Recommended Decision:

Recommended Conditions and Reasons:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 18th September 2014 and listed as follows: 144_2014_01 and received on 7th May 2015 and listed as follows: 144_2014_02

Reason: For the avoidance of doubt and to define the permission.

3. Before any construction commences, samples of the materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy CH2 of the Wirral Unitary Development Plan.

4. Before any construction commences, details of the type of mortar and type of pointing to be used in the construction of the wall hereby approved, shall be submitted to and approved in writing by the Local Planning Authority. The wall shall be constructed in accordance with the

agreed details.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy CH2 of the Wirral Unitary Development Plan.

Consent under the Highways Act is required for the construction of a new or the amendment/removal of an existing vehicular access. Such works are undertaken at the developer's expense, including the relocation/replacement and/or removal of street furniture and vegetation as necessary. Please contact the Council's Highway Maintenance Team on 0151 606 2004 prior to the commencement of development, for further information.

Further Notes for Committee:

Last Comments By: 12/11/2014 15:06:53

Expiry Date: 13/11/2014

Planning Committee
03 June 2015

Reference:
DLS/15/00117

Area Team:
South Team

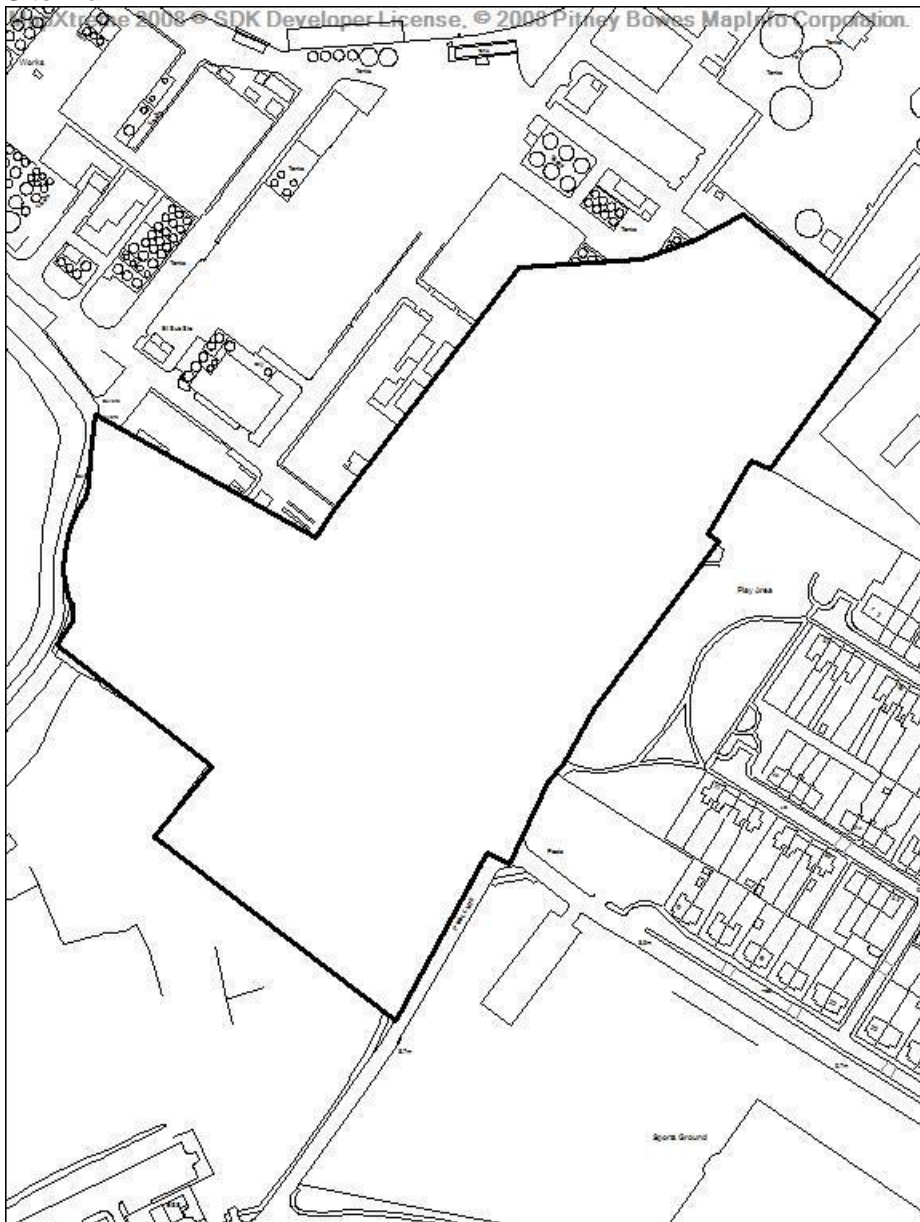
Case Officer:
Ms J Storey

Ward:
Bromborough

Location: POOL LANE, BROMBOROUGH
Proposal: Reserved matters application for residential development of 169 No. dwellings, provision of areas of public open space, landscaping, access and associated works (pursuant to outline approval OUT/12/00177).

Applicant: Persimmon Homes North West
Agent :

Site Plan:



1. Development Plan allocation and policies:

Primarily Residential Area
Primarily Industrial Area
Conservation Area (for illustrative purposes)

2. Planning History:

Location: Unichema Chemicals, POOL LANE, BROMBOROUGH, CH62 4UE
Application Type: Reserved Matters
Proposal: Phase one reserved Matters application for the construction of a Factory Unit, Office, Storage Facility and Car Park for Steel Reinforcement Production Company related to outline application OUT/12/00177

Application No: DLS/14/00351
Decision Date: 30/05/2014
Decision Type: Approve

Location: Unichema Chemicals, POOL LANE, BROMBOROUGH, CH62 4UE
Application Type: Planning Pre-Application Enquiry
Proposal: Residential development for 182 dwellings
Application No: PRE/14/00232/ENQ
Decision Date: 17/09/2014
Decision Type:

Location: Former Croda Site, POOL LANE, BROMBOROUGH, CH62 4UE
Application Type: Listed Building Consent
Proposal: Partial demolition and essential repair works to Listed Building on former Croda Site Bromborough Pool.
Application No: LBC/14/01276
Decision Date: 04/12/2014
Decision Type: Approve

Location: BROMBOROUGH POOL, RIVERSIDE WALK, BROMBOROUGH, CH62 4UE
Application Type: Reserved Matters
Proposal: Riverside Walk. Footpath and cyclepath running along side River Dibbin
Application No: DLS/14/01293
Decision Date: 01/12/2014
Decision Type: Approve

Location: POOL LANE, BROMBOROUGH
Application Type: Reserved Matters
Proposal: Reserved matters application for residential development of 169 No. dwellings, provision of areas of public open space, landscaping, access and associated works (pursuant to outline approval OUT/12/00177).
Application No: DLS/15/00117
Decision Date:
Decision Type:

3. Summary Of Representations and Consultations Received:

REPRESENTATIONS

Having regard to the Council Guidance on Publicity for Applications 40 notifications were sent to adjoining properties. A site notice was also displayed. At the time of writing this report, no objections have been received from the occupiers of neighbouring properties.

CONSULTATIONS

Head of Environment & Regulations (Traffic & Transport Division)

Head of Environment & Regulations (Pollution Control Division) - No objection subject to the attached condition

Environment Agency - No objections

United Utilities - No objection subject to the attached condition

Bromborough Society - Concerns regarding retention of the sandstone wall, site is contaminated, housing would be ill advised, flooding is an issue, appearance of the dwellings should blend in more with the Victorian houses in Bromborough Pool, mix of materials is not satisfactory, where will the bins be located? suggest a condition prohibiting caravans and boats on view within the curtilage. The Wirral Society has the same concerns as The Bromborough Society.

4. DIRECTORS COMMENTS:

REASON FOR REFERRAL TO PLANNING COMMITTEE

The proposal is defined as a major development as such, under the provisions of the scheme of delegation for determining planning applications (approved March 2014) the application is therefore required to be determined by the Planning Committee.

INTRODUCTION

Outline planning permission was granted in 2012 for

- A mix of dwellings sizes and styles
- A range of new industrial units of varying sizes
- A new internal road layout
- New footpaths and cycle routes including a riverside walk
- New tree planting, open space provision throughout the site
- River restoration scheme
- Retention of existing listed building for future refurbishment
- Demolition of existing vacant building.

Part of the scheme relating to the industrial units has been implemented. This proposal concerns the reserved matters for the construction of 169 dwellings, provision of areas of public open space, landscaping, access and associated works.

The reserved matters is seeking permission for all matters.

PRINCIPLE OF DEVELOPMENT

The principle of development has already been established and outline planning permission (application OUT/12/00177) for a mixed use development including a residential scheme on the application site was granted on 25 October 2012. While the residential element of the proposal was contrary to the Statutory Development Plan, the benefits from removing the old unused factory, the remediation of the site and the provision of modern industrial units, with prospects of creating jobs in an area of high unemployment, were considered to provide sufficient justification for overriding the terms of UDP Policy EM8 in this particular case. In addition, the proposals were also considered to provide significant environmental and amenity benefits, through supporting the ongoing sustainability of Bromborough Pool Village, securing the future use and long term maintenance of the Grade 2 listed building, allowing improved landscaping and providing an accessible green corridor along the banks of the Dibbin, with links to other adjacent sites within the area.

The principle of this proposal is therefore considered to be acceptable and the application will be assessed against both national and local planning policy advice, in particular considering the impact of the proposal on the listed building within the site, Bromborough Court House and to the Bromborough Pool conservation area, and the scale and layout principles as submitted. An affordable housing assessment was undertaken at outline stage.

SITE AND SURROUNDINGS

The application site measures approximately 13.38 hectares and comprises of a former chemical factory, in the south east of the Borough. The factory was originally constructed in 1853 and has been vacant for the last four years. The existing site contains redundant plant and equipment which was dedicated to a particular industrial process which has become outdated and unsuitable for re-use on this site.

There is a mix of uses and landform's in the immediate area, concentrating –predominately on employment and residential uses. To the north and east the site is bounded by the River Dibbin and former Bromborough Dock and beyond that the River Mersey. Bromborough Pool Village was designated as a Conservation Area in 1986. The village was developed as a model village in 1854 to provide homes for workers in the candle factory. The village bounds the site to the South and South East.

Beyond the village lies the Wirral International business Park. To the west is a landscaped area containing Bromborough Court House, moat and fish ponds which is a scheduled ancient monument (SAM).

Access to the site is from Pool Lane and Old Court House Road via the A41 New Chester Road.

POLICY CONTEXT

The Development Plan

The site is designated as part of the Primarily Industrial Area in the Unitary Development Plan and is part of the area identified by the North West Regional Development Agency as a Strategic Regional Site. It is also in a location where Assisted Area status will remain in force to 2013.

National Planning Policy Framework (NPPF)

The National Planning Policy Framework makes it clear that the purpose of the planning system is to contribute to the achievement of sustainable development and that good design is a key aspect which should contribute positively for making places better for people. Sustainable housing development should encompass good design and widen the choice of high quality homes. Development should also make a positive contribution to an area and use opportunities to improve the character of the area.

Wirral Unitary Development Plan

Policy URN1 Development and Urban Regeneration states that full and effective use should be made of land and focuses on the importance of bringing neglected, unused or derelict land into use.

Policy EM8 - Development within Primarily Industrial Areas applies to sites within Primarily Industrial Areas where uses falling within classes B1, B2 and B8 will be permitted in addition to proposals for the extension or expansion of existing businesses.

Policy HSG2 (Affordable Housing) of the UDP states that the Local Planning Authority will negotiate with developers and housing associations the provision of affordable housing where appropriate.

UDP Policy GR5 The Local Planning Authority will require applicants to submit full landscape proposals before planning permission is granted.

Policy GR6 - Greenspace within new family housing development sets out the need to provide adequate public, open greenspace within development sites.

Policy GR7 - Trees and New Development sets out the criteria to assess the need to protect trees by having regard to health and structure of existing trees with a view to provide replacement trees.

Policy CHO1 Provides for the best examples of Wirral cultural heritage to be preserved and seeks to ensure that the case for preservation is fully considered when assessing all proposals for new development.

Policy CH22 Relates specifically with Bromborough Pool Conservation area and specifically seeks to preserve and retain the existing Village and its design features

Policy CH24 Development affecting scheduled ancient monuments including the Bromborough Court

house, Moated Site and fish ponds. It confirms that development proposals which destroy or damage or otherwise disturb features of archaeological

UDP Policy HS4 of the Wirral Unitary Development Plan sets out the parameters for acceptable residential development stating that the proposal should be of a scale which relates well to the surrounding properties with particular regards to existing form and density.

When assessing the impact of any residential development on existing and future neighbouring properties, the guidance advises that development should not result in a significant loss of privacy, daylight or sunlight for neighbouring properties, nor be visually overbearing or dominant when viewed from adjoining property. To achieve this, habitable room windows directly facing each other should be at least 21m apart. Main habitable room windows should be at least 14m from any blank gable. If there are any differences in land levels or where development adjoins that of a different ridge height, such as three storey development adjacent to two storey properties, a greater separation should be provided. For every metre difference in ridge height (or part thereof) the above distances should be increased by 2 metres.

UDP Policy TR9 requires off-street parking to be viewed on the context of overall transport policy and particularly, the need to reduce travel by private car, especially within areas that are well served by public transport.

UDP Policy TR12 requires provision of cycle parking where it is considered to be both practicable and desirable.

Development Management Policies in the joint waste Local Plan for Merseyside and Halton are also applicable. Policy WM8 requires development to incorporate measures for achieving efficient use of resources. Policy WM9 also required development to provide measures for waste collection and recycling.

Heritage and Conservation

The NPPF advises that in determining applications, LPA's should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, LPA's require the submission of an appropriate desk-based assessment and, where necessary, a field evaluation.

In determining planning applications, paragraph 131 of the NPPF requires LPA's to take account of: -

- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- The desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 132 of the Framework states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the assets conservation. The Framework states that LPA's should assess whether the benefits of a proposal for enabling benefits, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweighing the disbenefits of departing from those policies.

Impact on Heritage Assets

A grade 2 Listed building is located to the immediate west of the application site. The building was originally the office building for the candle factory with its Italianate clock tower that is visible around the site and across to Bromborough Pool Conservation Area.

Bromborough Pool Conservation Area

The applicants approach to the proposed residential development has been to follow the grid-iron pattern of the village and extend this across Pool Lane to retain the longer vistas into and through the Conservation Area. This would also help to ensure that impact on the setting of the Conservation Area

and Listed Building would not be unduly significant.

While it can be expected that the design of the new houses will not replicate those in the original village, the proposed layout does draw its inspiration from the Victorian Village with similar groupings of houses, fronting onto roads and leaving satisfactory garden spaces at the rear.

Scheduled Ancient Monument and Archaeology

Immediately adjoining the site is the scheduled ancient monument on the site of the former Bromborough Courthouse. The site is in separate ownership and any works within the site would be subject to Scheduled Monument Consent. The proposed development will not affect the setting of the SAM

The archaeological report that accompanies the application recommends the undertaking of a site evaluation at sensitive locations within the site, mostly those adjacent to the scheduled monument. Although much historical information in relation to the history of the courthouse site survives, we know very little about its archaeological remains and their significance - little excavation has taken place in recent times. In addition to the presence of mediaeval building remains on site, the opportunity should be taken to investigate environmental and landscape changes on the site, including prehistoric remains, geomorphological features such as watercourses and earthworks.

A written scheme of Investigation for a Scheme of Archaeological Trial pitting and Watching Brief has been prepared.

APPEARANCE AND AMENITY ISSUES

The National Planning Policy Framework recognises the importance of requiring good design in development. Paragraph 56 states that: -“Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”

Section 106 and phasing

A section 106 agreement has been agreed which sets out various obligations for the future development of the site including the phasing, works to the Listed Building, provision of public open space and the riverside restoration scheme.

A phasing plan accompanied the application which identifies the construction phases for the development. The applicants have confirmed that the various trigger points in relation to the commercial development will be adhered to. Planning permission has been granted for part of the first phase of the commercial development and work has commenced on site. (DOS/14/01276)

In relation to the listed building, a planning application is being prepared for the conversion to apartments. The works are to be completed prior to the occupation of the 120th dwelling. Listed building consent has been granted for the refurbishment (ref LBC/14/01276)

The applicant has advised that a scheme will be submitted prior to the commencement of development. The landscaping and layout of the public open and layout of the public open space has been previously agreed and incorporated within this scheme.

The proposed river restoration scheme has been approved (ref DLS/14/01293). The section 106 requires the scheme to be implemented prior to the occupation of the 160th dwelling.

Design and layout

The submitted scheme includes a mix of detached, semi-detached and terrace properties. The proposed dwellings are a mix of 2 and 2.5 storey properties. It is considered that this mix and size of the house types will help promote a mixed community.

The internal road network will incorporate a series of private shared driveways to encourage off road parking. The applicants advise that the internal Road layout is designed to promote low vehicle speeds with different materials being used to demarcate changes in pedestrian and vehicle priorities.

Following initial consultation with the Local Planning authority, consideration has been given to the

principles set out in the masterplan that accompanied the outline application.

The proposed layout reflects the grid pattern of the original layout together with the spacing standard of Bromborough Pool. The houses are generally semi detached and short terraces, following the streetscapes and pattern of the village. Properties will now face onto the Scheduled Ancient monument and the main parking courts have been removed. In terms of pedestrian permeability, an additional footpath connecting the residential part of the site with the commercial development. Following post application negotiations, the applicants have enhanced the landscaping and reduce the original amount of hardsurfacing to the front of properties. There are also links to the public open space and riverside foot and cycle path.

The proposed landscape buffer to the northern boundary of the site will create a buffer between the residential and commercial areas of the scheme. It is also considered that there are long vistas in to and through the conservation area and park.

Side garden fencing abutting the highway has been set back in line with the gable wall and landscaping added to soften the appearance.

In terms of design, some of the key design features and architectural styles have been taken from the existing properties in Bromborough Pool Village. These include brick arched heads, bleu brick band courses. The majority of the houses will be faced in red and brown brick with some rendered properties located on landmark locations and vista ends. Chimneys will also be provided on a number of plots which will be visible from the public highway and conservation area. A number of plots along Pool Lane will contain timber windows , doors and garage doors which reflect the character of the conservation Area.

SEPARATION DISTANCES

The submitted layout supports the councils adopted separation standards

HIGHWAY/TRAFFIC IMPLICATIONS

There are no highway/traffic implications for this proposal

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental or sustainability issues relating to this application.

HEALTH ISSUES

There are no health issues relating to this application

CONCLUSION

The proposed scheme is considered to be of a scale, design and layout that complements the existing development at Bromborough Pool Village. The development will not result in any significant impacts on the amenities of neighbours of surrounding properties or future occupiers through over shadowing, loss of daylight or sunlight and poor outlook. It is considered that the proposal complies with Policy HS4 of the adopted Wirral Unitary Development Plan and the National Planning Policy Framework.

5. Summary of Decision:

Having regards to the individual merits of this application the decision to grant Reserved Matters Approval has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed scheme is considered to be of a scale, design and layout that complements the existing development at Bromborough Pool Village. The development will not result in any significant impacts on the amenities of neighbours of surrounding properties or future occupiers through over shadowing, loss of daylight or sunlight and poor outlook. It is considered that the proposal complies with Policy HS4 of the adopted Wirral Unitary Development Plan and the National Planning Policy Framework.

Recommended

Approve

Decision:

Recommended Conditions and Reasons:

1. Before construction of the units hereby approved reaches [above the level of damp proof coursing](#), samples of all the facing/roofing/window/door materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policies of the Wirral Unitary Development Plan.

2. Prior to the first occupation of the dwellings hereby approved, a sound survey (conducted using BS 4142:2014) shall be submitted by the applicant to the Local Planning Authority in relation to the impact of any proposed industrial and commercial developments, together with the impact from pre-existing industrial and commercial developments on the dwellings in the above planning proposal.

If such a survey identifies any dwellings where the rating level of the specific sound source exceeds the background sound level by 5 dB or more, a scheme of noise insulation to those dwellings shall be agreed in writing by the Local Planning Authority.

Reason: In the interest of residential amenity

3. Surface water from the site must be drained on a total separate system from foul water, with all the surface water flows generated from the new development being discharged directly in to the adjacent watercourse with the prior consent of the riparian owner.

Reason: To ensure a satisfactory form of development.

4. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 2nd February 2015 comprising of

Site location and master plan
Layout Plan PLB/PLO1H
Alnwick house type elevations and floor plans
Clayton house type elevations and floor plans
Clayton Corner house type elevations and floor plans
Handbury house type elevations and floor plans
Rufford house type elevations and floor plans
Roseburry house type elevations and floor plans
Souter house type elevations and floor plans
Winstler house type elevations and floor plans
Hatfield house type elevations and floor plans
Mosley house type elevations and floor plans
Roseburry house type elevations and floor plans
Kendal house type elevations and floor plans
Single and double garage details - SGD-01
House type legend
Timber fence details - SDF05
Plot divisional fence details SDF11
Streetscene Phasing plan
Drainage strategy Layout - 099- 500
Materials schedule
Materials details
Cycle store details by T line
Landscape Masterplan by TEP -D4953.001
Boundary treatment by TEP - D4953.009

Construction Environmental Management Plan by Hydrock
Statement of landscape design by TEP
Design and Access Statement
Written scheme of investigation for a scheme of Archaeological trial pitting and a watching
brief by ARS

And amended drawings received on 7th February 2015
Planning layout (Rev K)
Street Scenes (Rev A)
Material Schedule (Rev D)
Amended house types and elevations.

Reason: For the avoidance of doubt and to define the permission.

Further Notes for Committee:

Last Comments By: 11/03/2015 08:47:24
Expiry Date: 04/05/2015

Planning Committee

3 June 2015

Reference:
APP/15/00122

Area Team:
South Team

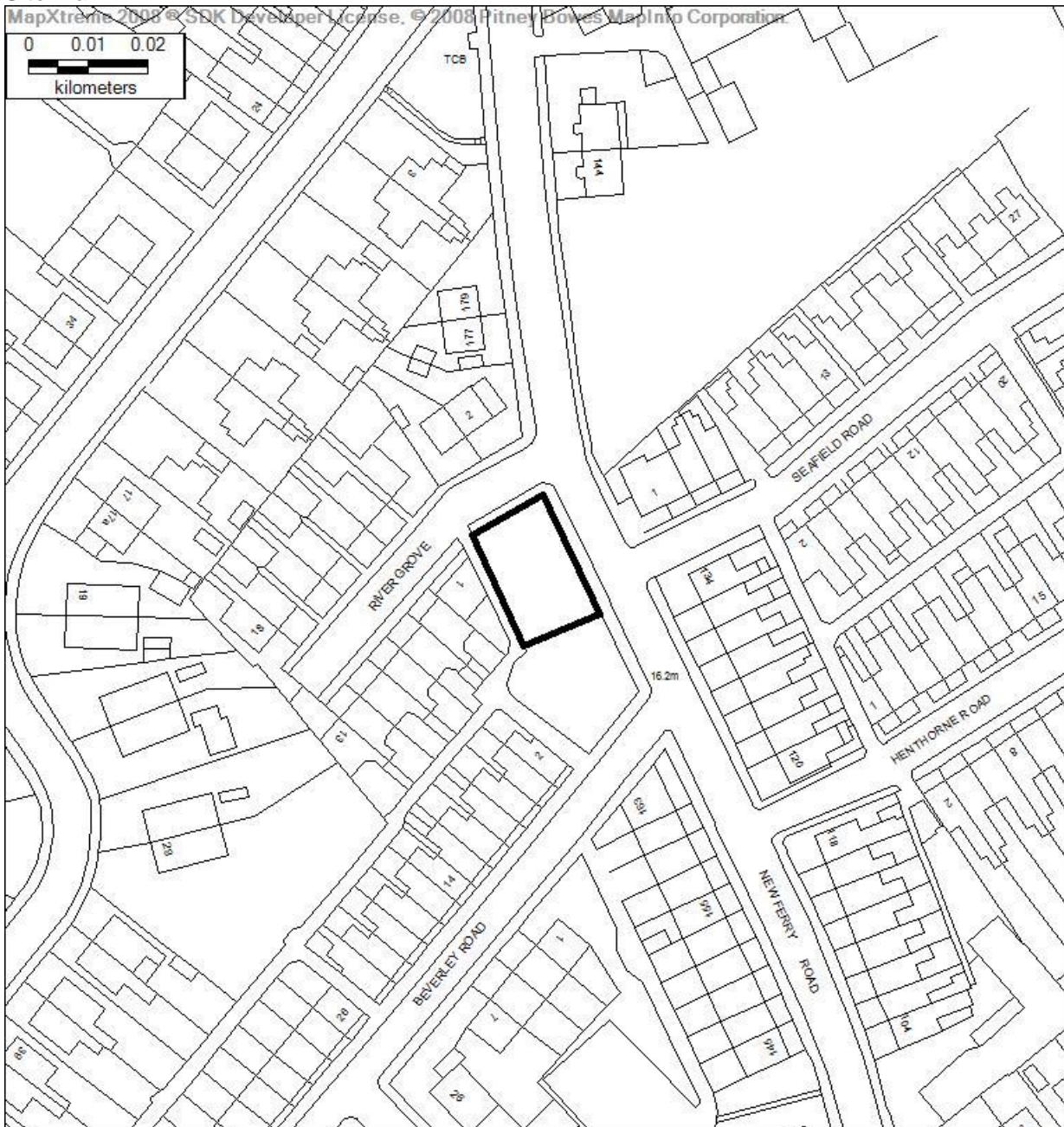
Case Officer:
Mr K Spilsbury

Ward:
Bromborough

Location: Amenity Open Space Site 1, NEW FERRY ROAD, NEW FERRY
Proposal: Erection of one pair semi-detached two storey houses and associated external works.

Applicant: SDH Developments
Agent : Garry Usherwood Associates Limited

Site Plan:



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Development Plan allocation and policies:

Primarily Residential Area

Planning History:

Location: Amenity Open Space Site 1, NEW FERRY ROAD, NEW FERRY
Application Type: Full Planning Permission
Proposal: Erection of 3 houses 2 1/2 storeys high in one terrace.
Application No: APP/14/01075
Decision Date: 11/12/2014
Decision Type: Withdrawn

Summary Of Representations and Consultations Received:**REPRESENTATIONS:**

Having regard to the Council Guidance on Publicity for Applications, 24 notifications were sent to adjoining properties. A site notice was also displayed. At the time of writing this report two letters of objection have been received and a qualifying petition of objection signed by 131 signatures. The objections are summarised as follows:

1. The development will cause parking problems
2. This is the only field in the area
3. There are trees on the site
4. The development will result in a loss of view and overlooking
5. Development will block sunlight and cause overlooking of residents in River Grove.

CONSULTATIONS:

Head of Environment & Regulation (Traffic & Transportation Division) - No Objections

Head of Environment & Regulation (Pollution Control Division) - No Comments

Director's Comments:

The application was deferred from Planning Committee on the 22 April 2015 to allow for a Committee Site Visit.

REASON FOR REFERRAL TO PLANNING COMMITTEE

A qualifying petition of objection has been received. Under the provisions of the Council's Scheme of Delegation for Determining Applications, this application is therefore required to be determined by the Planning Committee.

INTRODUCTION

The proposal is for the erection of two dwellings at the land adjacent to 1 River Grove.

PRINCIPLE OF DEVELOPMENT

The principle of the development is acceptable subject to the policies outlined below.

SITE AND SURROUNDINGS

The application site is currently vacant amenity space. The area is designated as a Primarily Residential Area within Wirral's UDP.

The street scene of River Grove contains two-storey terraced dwellings and semi-detached properties. New Ferry Road has a mixed character containing older two and two and a half storey dwellings.

POLICY CONTEXT

The site is located within a primarily residential area and is therefore subject to policy HS4 of Wirral's Unitary Development Plan.

Development Management Policies in the Joint Waste Local Plan for Merseyside and Halton are also applicable. Policy WM8 requires development to incorporate measures for achieving efficient use of resources, Policy WM9 also requires development to provide measures for waste collection and recycling, including home composting.

The National Planning Policy Framework (NPPF) states that the purpose of Planning is help to achieve sustainable development and that good design is a key aspect which should contribute positively for making places better for people. The NPPF also says that local planning authorities should resist inappropriate development of residential gardens where the development would cause harm to the local area. It is not considered that the proposed development is of such a scale to represent any harm to the local area, given the mix and density of development that already exists within the immediate locality. It is considered that the proposed development is in keeping with the principles of the NPPF.

APPEARANCE AND AMENITY ISSUES

Is considered that proposed dwellings sit comfortably within the site and have similar plot sizes to the terraced and semi-detached properties adjacent to the application site

The design of the proposed dwellings are deemed to be in keeping with the properties either side. They are simple in design and are of a scale which reflects the adjacent properties the varied street scene will ensure that the proposed dwellings do not have an adverse impact on the character and appearance of the area.

The dwellings front onto River Grove on the corner of New Ferry Road with a small defensible space at the front that is fenced off with a 600mm timber fence.

At the time of writing this report two letters of objection has been received and a qualifying petition of objection. The objections are summarised as follows:

1. The development will cause parking problems
2. This is the only field in the area
3. There are trees on the site
4. The development will result in a loss of view and overlooking
5. Development will block sunlight and cause overlooking of residents in River Grove.

The Head of Environment & Regulation (Traffic & Transportation Division) has been consulted with regards to the impact of the development on the highway and has raised no objection to the scheme. A refusal on these grounds could therefore not be sustained.

The area does contain trees however they are not protected by a tree preservation order. Whilst the trees would be felled to make way for the development a landscaping/planting scheme condition will be imposed.

The properties opposite the development are No's. 2 & 4 River Grove. Whilst the development is shy of the recommended separation distance of 21m to the properties opposite the development follows the built form of the existing street scene along River Grove at 19m window to window. The loss of a view is not a valid planning reason to refuse the application.

Overall, the development of this site is considered to be beneficial for the area as it will result in the loss of a vacant site. The design of the proposed dwellings are considered to be in keeping with the surrounding area and will be a positive addition to the street scene. Although the proposal fails to meet the 21 metres separation distances with properties to the front, the development will follow the form of the street scene and maintains the existing standard of separation along River Grove and as such is considered to be acceptable. Overall, the proposal is considered to be in compliance with Policy HS4 of Wirral's Unitary Development Plan and the NPPF.

SEPARATION DISTANCES

Development should not result in a significant loss of privacy, daylight or sunlight for neighbouring properties, nor be visually overbearing or dominant when viewed from adjoining property.

Unless it can be demonstrated that privacy would not be unduly affected, habitable room windows directly facing each other should be at least 21 metres apart. Main habitable room windows should be at least 14 metres from any blank gable. If there are differences in land levels or where development adjoins that of different ridge height, such as three storey development adjacent to two storey properties, a greater separation should be provided. For every metre difference in ridge height (or part

thereof) the above distances should be increased by 2 metres.

As stated above the proposed dwellings follow the existing separation distance along River Grove of 19m and as such will tie in with the character and form of the street scene.

HIGHWAY/TRAFFIC IMPLICATIONS

This proposal is likely to increase demand for on street parking, however this is not considered sufficient to sustain an objection on highway grounds as the lack of parking provision for these dwellings should encourage future occupiers to use public transport, which will be a beneficial environmental impact from the proposal.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental/Sustainability issues relating to these proposals.

HEALTH ISSUES

There are no health implications relating to this application.

CONCLUSION

The proposal complies with Policy HS4 of Wirral's Unitary Development Plan the NPPF. It is considered that the proposal will have not result in an adverse impact upon the character of the area or the occupiers of neighbouring properties.

Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposal complies with Policy HS4 of Wirral's Unitary Development Plan the NPPF. It is considered that the proposal will have not result in an adverse impact upon the character of the area or the occupiers of neighbouring properties.

Recommended Approve
Decision:

Recommended Conditions and Reasons:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 9th February 2015 and listed as follows: 419 A103 Rev A (Dated 09/12/14)

Reason: For the avoidance of doubt and to define the permission.

3. NO DEVELOPMENT SHALL TAKE PLACE UNTIL samples of the facing/roofing/window materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

4. The area(s) so designated within the site shall be suitably landscaped in accordance with a scheme to be submitted to and approved by the Local Planning Authority before any works commence on site, the landscape work to be completed during the first available planting

season following completion of the development hereby approved and shall be maintained thereafter to the satisfaction of the Local Planning Authority.

The detailed landscaping plans shall include:

- (i) details of boundary treatments and hard surfaces
- (ii) the location, size and species of all trees to be planted
- (iii) the location, size, species and density of all shrub and ground cover planting
- (iv) a schedule of implementation

Reason: In the interests of visual amenity and to ensure that the development complies with Policy HS 4 of the Wirral Unitary Development Plan.

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2008 (or any subsequent Order or statutory provision revoking or re-enacting the provisions of that Order), no garages, outbuildings or other extensions to a dwelling shall be erected unless expressly authorised.

Reason: In order to protect the character of the area/residential amenities of nearby occupants and to accord with Policy HS4 of the Wirral Unitary Development Plan.

6. NO DEVELOPMENT SHALL TAKE PLACE, including any works of demolition, until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period.

The Statement shall provide for:

- i. the parking of vehicles of site operatives and visitors;
- ii. loading and unloading of plant and materials;
- iii. storage of plant and materials used in constructing the development;
- iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
- v. wheel washing facilities;
- vi. measures to control the emission of dust and dirt during construction;
- vii. a scheme for recycling/disposing of waste resulting from demolition and construction works.

Reason: In the interests of the amenities of adjoining residents and having regard to Policy HS4 of the Wirral Unitary Development Plan.

7. NO DEVELOPMENT SHALL TAKE PLACE until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

Reason: To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with policies WM8 and WM9 of the Waste Local Plan.

8. PRIOR TO FIRST OCCUPATION of the dwellings, arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the curtilage of the site, in accordance with details to be submitted to and agreed in writing by the local planning authority. The approved details shall be implemented in full unless otherwise agreed in writing with the local planning authority.

Reason: to ensure a satisfactory appearance and adequate standards of hygiene and refuse collection, having regard to policies wm8 and wm9 of the waste local plan

9. Notwithstanding the provisions of the Town and Country Planning (General Permitted

Development) Order 2008 (or any subsequent Order or statutory provision re-enacting or revoking the provisions of that Order), no window or dormer window shall be added to the property unless expressly authorised.

Reason: In order to protect the residential amenities of nearby occupants and to accord with Policy HS4 of the Wirral Unitary Development Plan.

Further Notes for Committee

1. Consent under the Highways Act is required for the relocation/replacement and/or removal of street furniture, including street/road nameplates. The cost of such works should be met by the developer. You will be required to contact the Council's Highway Maintenance team on 0151 606 2004 prior to the commencement of development for further information.

Last Comments By: 10/03/2015 11:45:38

Expiry Date: 06/04/2015

Planning Committee

3 June 2015

Reference:
APP/15/00212

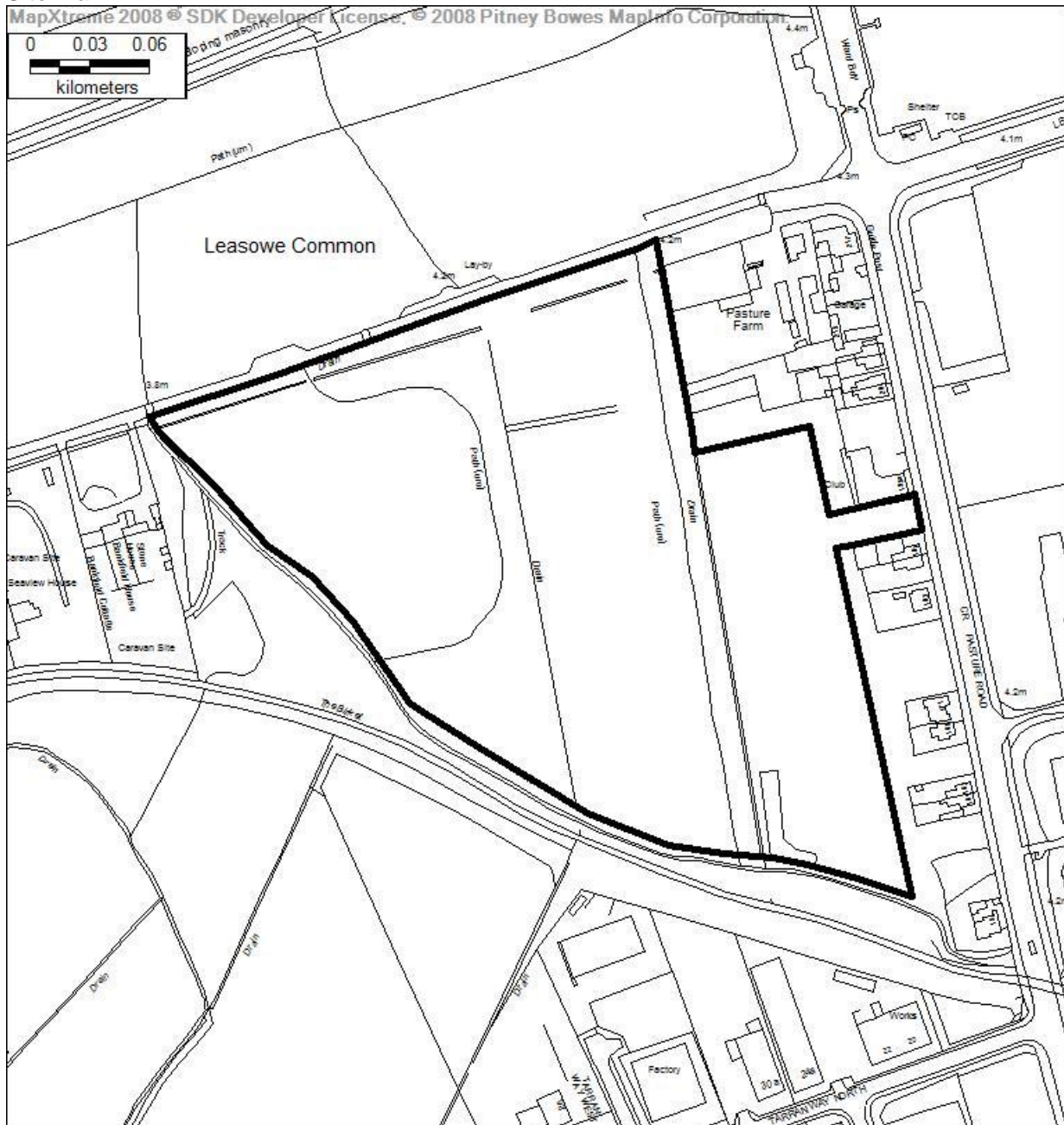
Area Team:
North Team

Case Officer:
Ms J Storey

Ward:
**Moreton West and
Saughall Massie**

Location: LAND AT PASTURE ROAD, MORETON, WIRRAL
Proposal: The provision of new stable blocks, Associated yard, Menage, Access track and change of land use to equestrian.
Applicant: Wirral Council
Agent : Equestrian Design

Site Plan:



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Development Plan allocation and policies:

Washland
Green Belt
Coastal Zone
Countryside Recreation Site

Planning History:

- Location: Land following route of (north side) River Birkett from Leasowe Lighthouse to Wallasey
Application Type: Work for Council by outside body
Proposal: Construction of cycle route.
Application No: APP/96/05073
Decision Date: 25/04/1996
Decision Type: Withdrawn
- Location: Sites in Leasowe, Moreton, and Meols adjacent to the Rivers Birket and Fender. Wirral.
Application Type: Full Planning Permission
Proposal: Flood alleviation scheme: Mitigation and enhancement of the environment after construction of flood walls and embankments.(amended details)
Application No: APP/97/06025
Decision Date: 13/10/1997
Decision Type: Approved
- Location: Kerr's Field, east (adjacent) Bankfield, Leasowe Common, Moreton. L46 5TA
Application Type: Work for Council by Council
Proposal: Change of use to touring caravan and tented accommodation site and formation of vehicular access to Pasture Road.
Application No: APP/85/06854
Decision Date: 22/04/1986
Decision Type: Withdrawn
- Location: Sites in Leasowe, Moreton and Meols, adjacent to the Rivers Birket and Fender.
Application Type: Full Planning Permission
Proposal: Flood alleviation scheme comprising construction of earth bunds, flood walls and associated landscaping.
Application No: APP/94/05698
Decision Date: 14/10/1994
Decision Type: Approved
- Location: South (rear) Bankfield House, Leasowe Common, Moreton. L46 5TA
Application Type: Full Planning Permission
Proposal: Change of use to all year storage of touring caravans.
Application No: APP/85/06953
Decision Date: 28/01/1986
Decision Type: Approved
- Location: Land following route of (north side) River Birkett from Leasowe Lighthouse to Wa
Application Type: Full Planning Permission
Proposal: Construction of a cycle route.
Application No: APP/96/05713
Decision Date: 26/07/1996
Decision Type: Approved
- Location: Leasowe Lighthouse ,Moreton Common ,Moreton,Wirral,L46 4TA
Application Type: Full Planning Permission
Proposal: Change of use from lighthouse to public house, manager's accommodation and

maritime display centre, erection of associated two storey extension and construction of car park.

Application No: APP/82/21090

Decision Date: 28/10/1982

Decision Type: Refused

Location: Leasowe Lighthouse ,Leasowe Common ,Moreton ,L46 3R

Application Type: Listed Building Consent

Proposal: Change of use and extension to form Information/Scientific Study Centre and dwelling house

Application No: LBC/83/22186

Decision Date: 31/03/1983

Decision Type: Approved

Location: Leasowe Lighthouse, Leasowe Common, Moreton

Application Type: Listed Building Consent

Proposal: Conversion of existing derelict lighthouse into public house with restaurant facilities, manager's flat, historical maritime display area, observation post, with external parking and beer garden. Materials: painted brick and clear glass.

Application No: LBC/83/22168

Decision Date: 03/05/1983

Decision Type: Approved

Location: Leasowe Lighthouse, Leasowe Common,Moreton,Wirral,L46 3R

Application Type: Full Planning Permission

Proposal: Change of use to public house, manager's flat, historical maritime display area, observatory, beer garden and parking.

Application No: APP/83/22150

Decision Date: 03/05/1983

Decision Type: Approved

Summary Of Representations and Consultations Received:

REPRESENTATIONS

Having regard to the councils Guidance for Publicity on Planning Applications, 37 notifications were sent to adjoining properties and two site notices were displayed near the site. At the time of writing, a petition of objection containing 184 signatures has been received. The objections can be summarised as:

1. smell from horse manure - only to be removed every 8 weeks
2. flies and rat infestation
3. fire escape is going to be fenced out by the stables fencing
4. fencing inadequate with new road to be built alongside the Apollo
5. will not be able to open the fire doors for fresh air - flies and smells will be a problem
6. inconvenience due to construction
7. extra traffic to Pasture Road
8. noise impact assessment should have been issued to that users don't complain about the noise from the dancing school
9. change of use from Green Belt

CONSULTATION

Head of Environment & Regulation (Traffic & Transport Division) - No objection

Fire and Rescue Service - No objection

Natural England - No objection

MEAS - No objection subject to conditions

Environment Agency - No objection subject to conditions

Wirral Wildlife - objection - Loss of breeding habitat for Biodiversity Action Plan species, damage to biodiversity, no mitigation measures, damage to the SBI, removal of land designated in UDP as public open space.

Director's Comments:

The application was deferred from Planning Committee on the 22 April 2015 to allow for a Committee Site Visit.

REASON FOR REFERRAL TO PLANNING COMMITTEE

A qualifying petition of objection has been received. As such, under the provisions of the Scheme of Delegation for Determining Applications, this application is required to be determined by the Planning Committee.

BACKGROUND

The site is owned by the Council.

Upton Park Pony Association currently use Fernbank Farm, off Manor Drive in Moreton. The majority of this site is allocated as a housing development site within Wirral's Unitary Development Plan. Cabinet approval was given to dispose of the Fernbank site for housing and the Council's Cabinet also resolved to assist the club and pursue alternative sites to relocate and operate from.

A short list of five alternative sites was identified. However, for various reasons, including size, short term leases and the close proximity to residential properties, these sites were not considered suitable by the association to operate. The applicant's conclusion was that Kerr's Field, the application site, was the most suitable alternative. The Council's Cabinet 9th December 2014 resolved that approval be given for works at the Kerr's Field, subject to planning approval. It was agreed that the Council would maintain ownership of the site and offer the club a 99 yr lease at an agreed rent (item 115 refers).

INTRODUCTION

This proposal is for the change of use of the site and provision of new equestrian facilities in the form of two stable blocks to provide stabling for up to 10 horses. The proposal also includes an associated yard area, access track and menage. The buildings are in the form of an American barn and will be located to the east of the site. The two buildings differ slightly in size with the largest measuring 18m x 10.5m x 4,6 m to the ridge.

PRINCIPLE OF DEVELOPMENT

The application site is subject to a number of development plan designations and is identified in the UDP as being within the North Wirral Coastal Park - a Countryside Recreation Site, the Green Belt, a Coastal Zone and Washland for the North Wirral Floodplain. The site is also adjacent to the Leasowe Common Site of Biological Importance. The planning application will be assessed against the relevant National and Local Planning Policy and Guidance. The application has been advertised as a departure from the Unitary Development Plan (UDP), as the proposals would conflict with UDP Policy CO2 which only permits small scale development for tourism and water based recreation that clearly requires a coastal location. The application is contrary to UDP Policy TL11 which only makes provision for re-use of existing buildings and small visitor facilities. UDP Policy TL9 also provides protection for the undeveloped coastline and habitat as a tourist and attraction and resource.

Policy GB2 and the NPPF make provision for appropriate facilities for outdoor recreation that preserve the openness of the Green Belt. However, a recent court case has found that there is no provision in the National Planning Policy Framework (NPPF) to consider a material change of use of the land as appropriate development in the Green Belt.

The Local Planning Authority must be satisfied that material considerations to outweigh the Coastal Zone and Countryside Recreation Site designations and UDP Policies CO2, TL9 and TL11 can be identified before planning permission is granted. In addition to this, very special circumstances must be demonstrated to justify inappropriate development in the Green Belt under the terms of NPPF, paragraphs 87 and 88.

SITE AND SURROUNDINGS

The eastern part of the site comprises of a piece of land between Pasture Road, Lingham Lane and the river Birket. The site is predominately flat, with the exception of the flood defence bund located to the north with pasture farm beyond. There are a number of properties along Pasture Road that back onto the site and these include houses and the Apollow Dance Club. The south of the site contains trees and a public footpath/bridleway and the River Birket.

The western part of the site is bounded by Lingham Lane to the north, a public footpath/bridleway and the River Birkett to the south and the flood defence bund to the east. The site is mainly rough grassland, open in appearance with small areas of scrub and bushes.

POLICY CONTEXT

The Local Planning Authority has a legal duty to determine planning applications in accordance with the statutory development plan, unless material considerations indicate otherwise.

The statutory local plan for Wirral consists of the Unitary Development Plan as saved by Direction of the Secretary of State on 18th September 2007 and the Joint Waste Local Plan adopted by the Council on 18th July 2013.

The NPPF is a significant material consideration in the determination of this application and due weight should be given to relevant local planning policies according to their degree of consistency with the national framework under the terms of paragraph 215.

The Core Strategy Proposed Submission Draft (December 2012) has been approved by the Council as a material consideration for the purpose of development control. This may carry weight as a material consideration according to its degree of consistency with NPPF under the terms of paragraph 216.

Wirral Unitary Development Plan

- Policy GB2 – Guidelines for development in the Green Belt
- Policy TL11 – Development at Countryside Recreation Sites
- Policy NC01 – Principles for Nature Conservation
- Policy LA5 – Criteria for Horse Shelters and stables
- Policy WA1 – Development and flood risk
- Policy C02 Development within the Undeveloped Coastal Zone

UDP Policy GB2 indicates that there is a general presumption against inappropriate development in the Green Belt and that planning permission will not be granted unless the proposals are for the provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it. UDP Policy LA5 makes provision for small scale equestrian facilities within the Green Belt.

UDP Policy LA5 states that such proposals will be acceptable providing the proposed development will not be intrusive within the landscape or prejudice nature conservation interests, appropriate to a rural setting, in terms of scale, design, materials and external appearance and that at least 0.4 hectares of grazing land is available for each horse. Adequate grazing land is considered to be available for the no of proposed horses. The applicants have advised that most of the horses diets are supplemented through hard feeds and the provision of a menage reduce the reliance on the pasture for both exercise and grazing purposes.

UDP Policy C02 states that small scale facilities for tourism and water-based recreation will be permitted providing, the proposal requires a coastal location, is located so as not to disturb areas of quiet enjoyment of the coast, does not adversely affect coastal and marine nature conservation or earth science, archaeology, landscape value or visual quality or impeded the maintenance of sea defence or coastal protection.

National Planning Policy Framework

NPPF – Section 8 – Promoting Healthy Communities,

NPPF -Section 9 - Protecting Green Belt Land in particular paragraph 89, which states that a local planning authority should regard the construction of new buildings as inappropriate in Green Belt, exceptions to this include provisions of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it.

NPPF - Section 10 - -Meeting the Challenge of climate change, flooding and coastal change_

NPPF – Section 11 Conserving and Enhancing the natural environment.

Local Planning Policy

Whilst the proposal could be accepted under UDP Policy GB2 and Policy LA7, both are partially out of sync with NPPF due to changes in national policy at paragraphs 89 and 90, which have altered the exceptions to inappropriate development in the Green Belt. As there is no longer provision for uses that preserve the openness and purpose of the Green Belt, the proposal will need to be considered as inappropriate development against the terms of the NPPF, part 9.

The proposal is contrary to UDP Policy TL11, which is intended to enable incremental improvements through the re-use of buildings and small scale visitor facilities in the North Wirral Coastal Park, where the application site is located. Undeveloped coastline and habitat with walks, views and scenery are also protected from proposals that would prejudice their continued attractiveness for tourists and visitors under the terms of UDP Policy TL9. Both policies are considered to be generally consistent with NPPF, apart from the exceptions at paragraph 74 as considered below.

The site includes part of the Washland for the wider flood plain of the River Birket and Liverpool Bay to the North as shown on the UDP Proposals Map. UDP Policies WAT1 and WA1 only permit development that would not increase flood risk elsewhere. WAT1 and WA1 are partly superseded by [the](#) NPPF, and the Environment Agency's Flood Map, and need to be considered in the context of NPPF part 10, which includes a sequential test which aims to steer new development to areas with the lowest probability of flooding. Draft Core Strategy Policy CS34, in the updates this position in the light of the Council's Strategic Flood Risk Assessment (which identifies the site as being in Flood Zones 3a and 3b) and makes it clear that the national sequential assessment will be applied in determining planning applications. Development would not be permitted where there would be an unacceptable risk of flooding or risk is increased elsewhere or where there would be maintenance liabilities or complicated emergency procedures.

The Joint Merseyside Waste Local Plan was prepared in accordance with the NPPF. Policies WM8 and WM9 require new development to include measures for minimising waste and to facilitate the collection and storage of waste, including recycling and composting.

National Policy for Open Space, Green Belt & Flood Risk

NPPF, paragraph 74 states that existing open space should not be built on unless an assessment has been undertaken that clearly shows the open space to be surplus to requirements; or the loss resulting from proposed development would be replaced by equivalent or better provision; or the development is for alternative recreational provision, the need for which clearly outweighs the loss. In this case, current analysis based on the UDP/emerging Core Strategy standard of 2.4ha per thousand residents shows there is an open space deficiency of 49ha within the adjoining Settlement Area 5. However, when a 400 metre buffer is added to include part of Settlement Area 8 (which includes the application site) there would be a surplus of 264ha due to recreational sites in the surrounding Green Belt. As such, given the proximity to the remainder of the North Wirral Coastal Park, it would be reasonable on this occasion to release the site for the proposed development.

NPPF paragraphs 89 and 90 identify development capable of not being inappropriate in the Green Belt, which include buildings that provide appropriate facilities for outdoor recreation. However there is no general exception for changes of use of the land. NPPF paragraph 87 and 88 make it clear that inappropriate development should not be approved except in very special circumstances and that substantial weight should be given to any harm to the Green Belt. Very special circumstances will not exist unless the potential harm is clearly outweighed by other considerations.

The applicants contend, in terms of justification for the proposed location of this development, that "by their very nature equestrian facilities generally require an expanse of open land for horses to graze and exercise. Opportunities for keeping horses in more urban locations are limited because such land is scarce. Equine related activities are more often located within the Green Belt or open countryside designations to help facilitate such uses." As outlined above, a number of site options were considered but no suitable alternative sites were found to be available.

Very special circumstances to justify the proposed use in the Green Belt, as required by NPPF, paragraph 87 include that:

- a) the site provides an opportunity to retain a pony club, which, as indicated by the applicant, serves local horse owners and people with an interest in equestrian activities;
- b) a search for alternative sites has been undertaken but no other suitable location was found;
- c) the proposed use could help reduce a source of anti-social behaviour to the rear of existing properties;
- d) the visual impact of the proposed development on the appearance of the Green Belt would be mitigated through the design, the existing bund and the proposed hedging;
- e) environmental benefits through the removal of both Japanese knotweed and Himalayan balsam from the site could be accrued and;
- f) relocation of the pony association from Fernbank Farm would enable a site allocated as land for residential development and within the Primarily Residential Area to come forward for new housing development as planned in the UDP.

In relation to flood risk, NPPF, paragraphs 101 and 103 makes it clear that the aim of the sequential test is to steer new development to areas where there is a lower probability of flooding. This is clarified in the National Planning Policy Guidance (6 March 2014, paragraphs 18 & 19) which indicates that if there are no reasonably available sites in Flood Zone 1, the vulnerability of development in Flood Zone 2 and thereafter Flood Zone 3 can be taken into account. If found that it is not possible to build where flood risk is lower, an exception test can be applied if wider sustainability benefit to the community would outweigh the risk; and the development would be safe without increasing flood risk elsewhere.

It is considered that the national flood risk sequential assessment and the exception tests set under NPPF and Draft Policy CS34 have been addressed through the search for alternative sites, which found there was no other suitable location at a lower risk of flooding. Wider sustainability benefits to the community could be accrued through the release of Fernbank Farm, Manor Drive for new housing development for up to 100 dwellings as planned in the UDP and conditions can be applied to this particular proposal to ensure the development is flood resilient, safe and does not increase flood risk elsewhere. The proposal would also enable the pony club to be retained as a facility for local horse owners and those with an interest in equestrian activity.

APPEARANCE AND AMENITY ISSUES

In terms of siting, the stable buildings have been located in the north west corner of the site in reasonable proximity to the Apollo dance club. The siting of the buildings in this location ensures that the open character of the site is not affected and the facilities less conspicuous. This part of the site is also protected by the adjacent flood defence measures. In addition, the buildings have been located adjacent to the access to the site from Pasture Road. This minimises extensive tracks across the site.

With regards to the stable buildings, these are constructed from timber sheeting and corrugated Onduline roof. The applicants advise that the American barn arrangement reduces the risk of associated paraphernalia such as loose boxes and will ensure that the built footprint is kept to a minimum as it condenses the size of the yard and in turn the expanse of the development. The applicants further confirm that the American barns are far quieter than traditional stable construction. Once horses are inside the barn, all the noise is retained inside.

The size of the buildings have been determined by the requirement to provide not just stabling for the horses but also tack stores for equipment. The larger of the buildings will contain the stable blocks the second building will contain the tack room, menage maintenance equipment and show jumps, hay and food store. A small amount of external lighting will be fixed to buildings and to each gate onto the bridgeway. Concrete areas of the yard will provide an area for bathing and washing down of the horses. The proposed menage to the south of the stables will be enclosed by a timber post and rail fence. The manure is stored in a covered trailer to be emptied and returned on the same day every 8 weeks. In terms of appearance and amenity issues, the proposed stables and associated works have been designed and sited to as to minimise their impact on the openness of this Green Belt Location. The stables will be sited some 30m away from the rear elevation of the dance school and the menage a greater distance away from nos 183 and 185 Pasture Road. This distance in addition to the fact that there is no external lighting proposed will ensure that there is no detrimental impact on the residential amenities of surrounding occupiers, through noise, general disturbance or poor outlook.

The applicant is to enclose the site with 1.2m high double post and rail fencing 2m apart in order that new hedging can be planted between.

HIGHWAY/TRAFFIC IMPLICATIONS

A new gated access is to be created from Pasture Road adjacent to the Apollo Dance Club. The Head of Environment & Regulation (Traffic & Transport Division) - No objection

ENVIRONMENTAL/SUSTAINABILITY ISSUES

The application has been supported by a phase1 habitat survey report, an ornithological survey report and amphibian and reptile method statement repro. Merseyside Environmental Advisory Service in advising the Authority have confirmed that the submitted ecological reports form an acceptable basis for determining the ecological impacts of the proposal. The application site is close to the following designated sites and UDP policies NC2, NC3 and NC 5 apply:

- Mersey Narrows and North Wirral Foreshore SPA and Ramsar sites;
- Dee Estuary SAC, SPA and Ramsar sites;
- North Wirral Foreshore SSSI;
- Leasowe Common Local Wildlife Site; and
- Pasture Farm Ponds Local Wildlife Site.

The location of the proposed development is within the recently updated (February 2015) Natural England Impact Risk Zone (IRZ). The proposed development meets the consultation trigger 'All planning applications outside/extending outside existing settlements/urban areas affecting greenspace, farmland, semi-natural habitats or features such as trees, hedges, streams, rural buildings/structures.' It is considered that there would be no impact on the North Wirral Foreshore SSSI as a result of the proposed development.

Due to the proximity of the application site to the Mersey Narrows and North Wirral Foreshore SPA and Ramsar sites, the potential for likely significant effects has been assessed using the Source-Pathway-Receptor model. This is to demonstrate that Wirral Council as Competent Authority has engaged with the requirements of the Habitats Regulations 2010 (as amended) the assessment of likely significant effects should be included with any decision report

Due to the nature of the proposals, and the distance separating the sites, adverse impacts to the nearby Local Wildlife Sites will not occur as a result of the proposed development, subject to conditions.

The submitted amphibian and reptile method statement proposes undertaking Reasonable Avoidance Measures (RAMs) during the works as a precaution in order to avoid impacts to great crested newts, toads and reptiles. MEAS advise that the reasoning for this approach, as described in the method

statement, is acceptable. The undertaking of the RAMs can be secured by a suitably worded planning condition.

As great crested newts are unlikely to be affected by the proposals with management measures the Council does not need to consider the proposals against the three tests (Habitats Regulations).

Vegetation on site may provide nesting opportunities for breeding birds, which are protected. No tree felling, scrub clearance, hedgerow removal, vegetation management, ground clearance and/or building works is to take place during the period 1 March to 31 August inclusive. If it is necessary to undertake works during the bird breeding season then all trees, scrub and hedgerows are to be checked first by an appropriately experienced ecologist to ensure no breeding birds are present. If present, details of how they will be protected would be required. This can be secured by a suitably worded planning condition.

As the proposed development would alter the habitat available for breeding bird species on the site, section 5.3 of the phase 1 habitat survey report recommends that the embankment present on the site and the majority of the easternmost field be fenced off and maintained as rank unmanaged vegetation in order to provide suitable breeding bird habitat. This can be secured by a suitably worded planning condition.

Both Japanese knotweed and Himalayan balsam are present within the site boundary. The applicant is required to submit a method statement for approval that includes the following:

- A plan showing the extent of the plant;
- What method will be used to prevent the plant spreading further, including demarcation; and
- What method of control will be used, including details of monitoring.

This statement can be secured by a suitably worded planning condition.

Flood Risk

The application site is sited within Flood Zone 3 on the Environment Agency's Flood Map, The application has been supported by a Flood Risk Assessment that has been reviewed by the Environment Agency. They have advised that in accordance with the submitted report there are no objections to the proposal subject to the conditions attached at the end of this report.

HEALTH ISSUES

There are no health implications relating to this application.

CONCLUSION

The change of use of this site from public open space to use by the pony club is considered to increase slightly some existing localised green space deficiency for parts of the housing areas on the north edge of Moreton and west edge of Leasowe, nevertheless, much of Moreton and Leasowe would remain within 800m access of North Wirral Coastal Park. However current analysis based on the UDP/emerging Core Strategy standard of 2.4ha per thousand residents shows there is sufficient publically accessible open space available to the wider adjoining settlement area when a 400 buffer is applied. The linear nature of the park would remain intact and Leasowe Common opposite the site would remain available for use as a green space. The mitigation measures proposed are considered to be adequate and the proposed development is unlikely to have a detrimental impact on existing habitat within the area. Furthermore the proposed development in terms of its siting, design and external appearance is not considered to impinge on the openness of the Green Belt location or the amenities of surrounding occupiers and businesses.

As such, although the proposal would result in the reduction of public open space, the site would be utilised for outdoor recreation. Thus taking account of the amount of public open space that would remain available to the local settlement area and the very special circumstances outlined above, in this particular case, these are matters considered on balance sufficient to outweigh any potential harm caused to the Green Belt by reason of its inappropriateness or any other potential harm as well as the conflict with UDP Policies CO2, TL9 and TL11, subject to the conditions below.

Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The change of use of this site from public open space to use by the pony club is considered to increase slightly some existing localised green space deficiency for parts of the housing areas on the north edge of Moreton and west edge of Leasowe, nevertheless, much of Moreton and Leasowe would remain within 800m access of North Wirral Coastal Park. However current analysis based on the UDP/emerging Core Strategy standard of 2.4ha per thousand residents shows there is sufficient publically accessible open space available to the wider adjoining settlement area when a 400 buffer is applied. The linear nature of the park would remain intact and Leasowe Common opposite the site would remain available for use as a green space. The mitigation measures proposed are considered to be adequate and the proposed development is unlikely to have a detrimental impact on existing habitat within the area. Furthermore the proposed development in terms of its siting, design and external appearance is not considered to impinge on the openness of the Green Belt location or the amenities of surrounding occupiers and businesses.

Recommended Decision: **Approve**

Recommended Conditions and Reasons:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2. The proposed development and associated works shall only take place in accordance with the submitted amphibian and reptile method statement

Reason: To ensure there is no adverse impact to great crested newts, toads and reptiles and to the nearby Local Wildlife Sites.

3. No tree felling, scrub clearance, hedgerow removal, vegetation management, ground clearance and/or building works is to take place during the period 1 March to 31 August inclusive

Reason: To ensure there are no adverse impacts to the nearby Local Wildlife Sites

4. The embankment present on the site and the majority of the easternmost field shall be fenced off in accordance with details to be submitted to and approved in writing by the Local Planning Authority. The approved fencing shall be erected before the development is commenced and the approved areas shall maintained as unmanaged vegetation and retained as such thereafter.

Reason: In order to provide suitable breeding bird habitat and to ensure no adverse impacts to the nearby Local Wildlife Sites

5. Both Japanese knotweed and Himalayan balsam are present within the site boundary. A method statement shall be submitted within 1 month of the date of this approval that includes the following:

- A plan showing the extent of the plant;
- What method will be used to prevent the plant spreading further, including demarcation; and
- What method of control will be used, including details of monitoring.

The approved scheme shall be implemented in full.

Reason: To ensure a satisfactory form of development

6. The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment FEB 2015/2014-124-RevB/Flood Risk Consultancy Ltd and the following mitigation measures detailed within the FRA:
- Raising the stable block finished floor level to a minimum of 4.13m AOD
 - Limiting discharge of surface water run-off from site to existing undeveloped rates and volumes for a range of return periods up to the 100-year climate change adjustment standard of flood protection (where this criteria cannot be adhered to, the rate will be limited to QBAR)
 - The stables are to register with the Environment Agency's Flood Warnings Direct Service
 - The stables are to develop and practice a flood warning procedure and evacuation plan
 - Appropriate flood warning signage to be erected on the site.

The mitigation measures shall be fully implemented prior to the occupation and subsequently in accordance with the timing/phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing by the Local Planning Authority and shall be maintained as such thereafter.

Reason: To reduce the risk of flooding to the proposed development and future occupants.

7. The development hereby permitted shall not be commenced until such time as a surface water regulation scheme has been submitted to, and approved in writing by, the Local Planning Authority.

The scheme shall be fully implemented and subsequently maintained, in accordance with the timing/phasing arrangements embodied within the scheme, or within any other period as may be subsequently agreed, in writing by the Local Planning Authority.

Reason: To reduce the risk of flooding to the proposed development and future occupants.

8. This permission shall enure for the benefit of the Upton Park Pony Owners Association only and for only such period of time as they may be occupying the premises and the permission shall not enure for the benefit of the land nor of any other person(s).

Reason: The proposed development would be undesirable if allowed to become permanently established in this area, but a personal permission is given to avoid undue hardship to the applicant

9. Within one month of the date of this permission, details of the size and species of the proposed hedging to be planted shall be submitted to and agreed in writing with the Local Planning Authority. The approved scheme shall be planted within the first available planting scheme before or after the development is commenced and shall be maintained as such thereafter.

Reason: To ensure a satisfactory form of development.

10. No more than 10 horses shall be stabled or graze within the site at any one time.

Reason: To ensure there is no adverse impact to the nearby Local Wildlife Sites as a result of this development.

11. The menage equipment shall be removed and stored within the proposed building when not in use.

Further Notes for Committee:

1. Under the terms of the Water Resources Act 1991 and the Land Drainage Bylaws, the prior written consent of the Agency is required for any proposed works or structures in, under, over or within 8 meters of the top of the bank of the main River Birket.

Under the terms of the Water Resources Act 1991 and the Land Drainage Bylaws, the prior written consent of the Agency is required for any proposed works or structures in, under, over or within 8 meters of the tidal or fluvial flood defence.

2. Consent under the Highways Act is required for the construction of a new or the amendment/removal of an existing vehicular access. Such works are undertaken at the developer's expense, including the relocation/replacement and/or removal of street furniture and vegetation as necessary. You are advised to contact the Council's Highway Maintenance team on 0151 606 2004 prior to the commencement of development for further information.

Last Comments By: 23/04/2015 09:17:28
Expiry Date: 25/05/2015

Planning Committee

03 June 2015

Reference:
OUT/15/00250

Area Team:
North Team

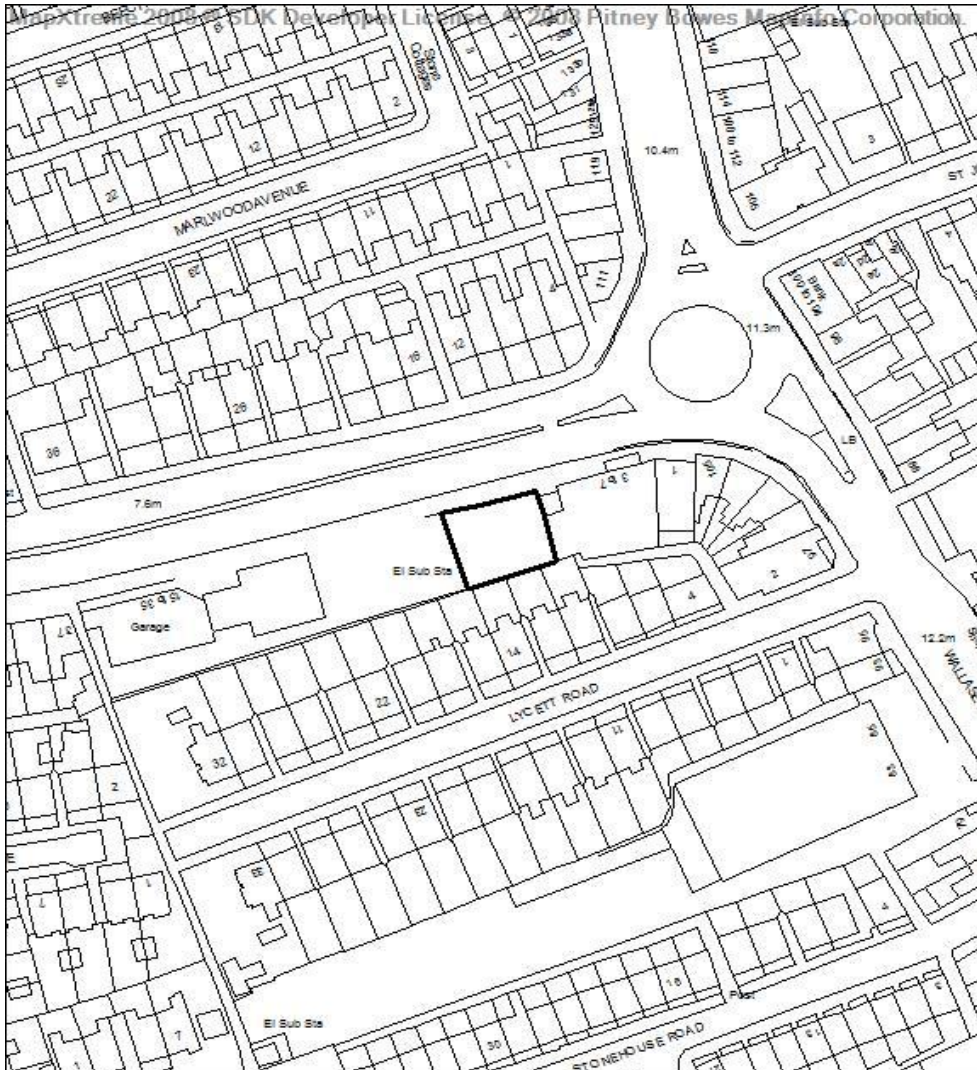
Case Officer:
Miss A McDougall

Ward:

Wallasey

Location: Cleared Site, LEASOWE ROAD, WALLASEY VILLAGE, CH45 8NY
Proposal: Erection of building to accommodate two retail units at ground floor and two self contained flats at first floor
Applicant: Pemway Ltd
Agent : C W Jones

Site Plan:



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1. Development Plan allocation and policies:

Primarily Residential Area
Primarily Commercial Area
Traditional Suburban Centre

2. Planning History:

Location: Public toilets west of 3-5, Leasowe Road, Wallasey Village. L45 8NY
Application Type: Work for Council by Council
Proposal: Erection of public toilets.
Application No: APP/88/07135
Decision Date: 23/02/1989
Decision Type: Approve

Location: Police Stn Leasowe Rd Wallasey
Application Type: Full Planning Permission
Proposal: Use of former Police Sub Station as a Taxi Hire Office
Application No: APP/74/00772
Decision Date: 25/10/1974
Decision Type: Refuse

Location: Public Conveniences to West of,5 Leasowe Road,Wallasey Village,L44 2BY
Application Type: Advertisement Consent
Proposal: Two hoardings, one either end of building frontage.
Application No: ADV/81/19266
Decision Date: 26/11/1981
Decision Type: Conditional Approval

3. Summary Of Representations and Consultations Received:

REPRESENTATIONS:

Having regard to the Council Guidance on Publicity for Applications, 21 notifications were sent to adjoining properties. A site notice was also displayed. At the time of writing this report a petition of objection has been received with 62 signatures and 16 objections have been received, listing the following grounds:

1. existing shop units are vacant
2. increase in traffic and parking problems
3. too close to dwellings
4. overlooking from the windows
5. increase in noise and disturbance
6. type of retail unit
7. viability of further shops
8. disruption from building works

CONSULTATIONS:

Head of Environment & Regulation (Traffic & Transportation Division) - No Objections
Head of Environment & Regulation (Pollution Control Division) - No Objections

4. DIRECTORS COMMENTS:

REASON FOR REFERRAL

The Council has received more than 15 letters of objection to the proposed development.

INTRODUCTION

The application is for outline consent for the erection of a two storey building with two ground floor retail units and two self contained flats at first floor.

PRINCIPLE OF DEVELOPMENT

The site is located within the designated Traditional Suburban Centre, the principle of development is therefore acceptable in principle.

SITE AND SURROUNDINGS

The siting of the development is on Leasowe Road, next to an existing petrol station and retail units, the site is currently a vacant plot with a brick build electricity sub station on. The site is located close to the busy central roundabout of Wallasey Village and a grouping of local shops, the area along Leasowe Road at this point is predominantly retail or commercial however there are residential properties to the rear of the site, on the opposite side of Leasowe Road and past the petrol station. The area is a busy thoroughfare in terms of traffic and is also well served in terms of public transport including Wallasey

Village train station.

POLICY CONTEXT

The proposal is for retail and residential within the designated Traditional Suburban Centre, the site does bound the retail area as well which will be taken into account. The application will be assessed in accordance with Wirral's UDP Policies SH2 and SH7.

Policy SH2; Within the Traditional Suburban Centres listed below, proposals falling within Class A1, Class A2 and Class A3 of the Town and Country Planning (Use Classes) Order 1987, will be permitted subject to satisfying the following criteria:

(i) the proposal, together with other recent or proposed development does not undermine the vitality and viability of any Key Town Centre or Traditional Suburban Centre as a whole or other town centre outside the Borough boundary;

(ii) the proposal does not generate traffic in excess of that which can be accommodated by the existing or proposed highway network;

(iii) the proposal meets highway access and servicing requirements and includes off-street car parking in line with Policy TR9 and cycle parking in line with Policy TR12;

(iv) the siting, scale, design, choice of materials and landscaping is not detrimental to the character of the area;

(v) proposals for Class A2 uses should incorporate the provision of a shop front and permanent window display;

(vi) the proposal does not cause nuisance to neighbouring uses or lead to loss of amenity, as a result of noise and disturbance, on-street parking or delivery vehicles - where necessary, a suitable condition will be imposed on hours of opening/ operation;

(vii) where a proposal for Class A3 use is located on a street containing similar establishments, cumulative levels of noise and disturbance, from both the existing and proposed activities, should not exceed a level likely to be detrimental to the amenity of the area;

(viii) proposals for Class A3 uses should include measures to mitigate smells and internally-generated noise - these measures should not be visually intrusive in the street scene and should be fully installed before the business commences trading.

Policy SH7; The Local Planning Authority will permit the conversion of upper floors above shops for office uses or for residential uses not covered by permitted development rights, subject to access, parking, servicing, amenity and shop security considerations and the compatibility of the proposed use with neighbouring upper floor activities.

APPEARANCE AND AMENITY ISSUES

The proposal is for a mixed retail/residential building, the application is for outline consent with some matters reserved, the details to be considered under this application are access, appearance and scale. The application has been amended in order to soften the front elevation of the building. The original design was for a two-storey flat roof building, whilst there are a number of flat roof buildings within the immediate vicinity the introduction of a new building in a prominent position requires a level of detail that will have a positive contribution to the character of the area, there are similar flat roof buildings that have parapet designs to the front elevation that work well and provide an attractive detail to a functional building.

The building is to be sited on a vacant piece of land forward of the existing electricity sub station, there

is an existing dropped kerb and access from Leasowe Road to the back of the site, presumably to service the sub-station, this will remain in situ. The proposed scale of the building is similar to neighbouring existing retail buildings, the layout of the property allows for suitable outlook and privacy to existing residential properties. The proposed building has residential windows to the front elevation of the premises which is approximately 30m from the houses opposite and no residential windows to the rear, the houses to the rear are set approximately 14m from the rear elevation of the building. It is considered that the overall use, appearance and siting of the building is appropriate to the character of the area and the street scene.

Concerns have been raised with regards to highway safety, public safety and the impact of the building onto neighbouring uses. The building is not of a scale that would introduce an additional harmful level of activity in terms of the established use of the area as a traditional suburban centre, Leasowe Road is suitably protected in terms of traffic control, there are double yellow lines and zig-zags along the highway to prevent unsafe parking. Whilst there are some vacant retail units within the area the busy character of Wallasey Village is testament to the viability of the local shops and there are car parks around Wallasey Village which can be used by patrons driving to the shops although the character of a traditional suburban centre is a small collection of retail units that serve the local community.

SEPARATION DISTANCES

The proposed building introduces two residential units at first floor, the only windows serving the flats are located to the front elevation facing Leasowe Road, these windows are over 21m from the windows of the houses opposite, the actual building itself has a blank rear elevation and is located approximately 14m from the habitable room windows of the houses on Lycett Road. The proposal therefore meets the current interface distances set out in SPD2.

HIGHWAY/TRAFFIC IMPLICATIONS

There are no Highway Implications relating to this proposal.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental/Sustainability issues relating to these proposals.

CONCLUSION

The proposed building is appropriate in terms of scale and use in this location, the development is therefore acceptable having regard to Wirral's UDP Policies SH2 and SH7.

5. Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-
The proposed building is appropriate in terms of scale and use in this location, the development is therefore acceptable having regard to Wirral's UDP Policies SH2 and SH7.

Recommended Approve
Decision:

Recommended Conditions and Reasons:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission or two years from the date of the approval of the last of the reserved matters, whichever is the later.

Reason: To comply with Section 92 (as amended) of the Town and Country Planning Act 1990.

2. Details of the reserved matters set out below shall be submitted to the Local Planning Authority for approval within three years from the date of this permission:
 - (a) Layout
 - (b) Landscaping

(c) Access

Approval of all reserved matters shall be obtained from the Local Planning Authority in writing before any development is commenced and shall be carried out as approved.

Reason: To enable the Local Planning Authority to control the development in detail and to comply with Section 92 (as amended) of the Town and Country Planning Act 1990.

3. Before any construction commences, samples of the materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy SH2 of the Wirral Unitary Development Plan.

4. The ground floor premises' shall be used for A1 and for no other purpose of the schedule to the Town and Country Planning Use Classes (Amendment) Order 2005, or any subsequent Order or statutory provision revoking or re-enacting that Order.

Reason: In order to protect the character of the area & residential amenities of nearby occupants and to accord with Policy SH2 of the Wirral Unitary Development Plan.

5. No storage, display or sale of goods shall take place outside the building.

Reason: In the interests of visual amenity and to comply with Policy SH2 in the Wirral Unitary Development Plan.

6. The retail premises shall not be used except between the hours of :- 08.00 hours and 18.00 hours Mondays to Saturdays and 10.00 hours and 16.00hours on Sundays and Bank Holidays without the written consent of the Local Planning Authority.

Reason: To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties.

7. No servicing or deliveries shall take place at the site outside the hours of 08.00 and 18.00 unless otherwise agreed in writing by the Local Planning Authority

Reason: In the interests of residential amenity and to comply with Policy SH2 in the Wirral Unitary Development Plan.

8. The development authorised by this permission shall not begin until the local authority has approved in writing details of works:-

- i) for the relocation of the existing bus stop, bus shelter and bus bay marking adjacent to the site and all associated road markings and traffic signs, including bus stop clearway. (Note: it will be the responsibility of the applicant to consult and agree an appropriate location with Merseytravel for the relocated bus stop and shelter.)
- i) for the provision of 24 hour waiting restrictions in Leasowe Road adjacent to the site including any necessary alterations to carriageway markings associated with the adjacent pedestrian crossing

The first use of the development shall not begin until those works have been completed in accordance with the local authority's approval and have been certified in writing as complete by or on behalf of the local authority.

Reason: Having regard to Highway Safety

Expiry Date:

20/04/2015

Planning Committee

3 June 2015

Reference:
ADV/15/00284

Area Team:
South Team

Case Officer:
Miss A McDougall

Ward:
Bromborough

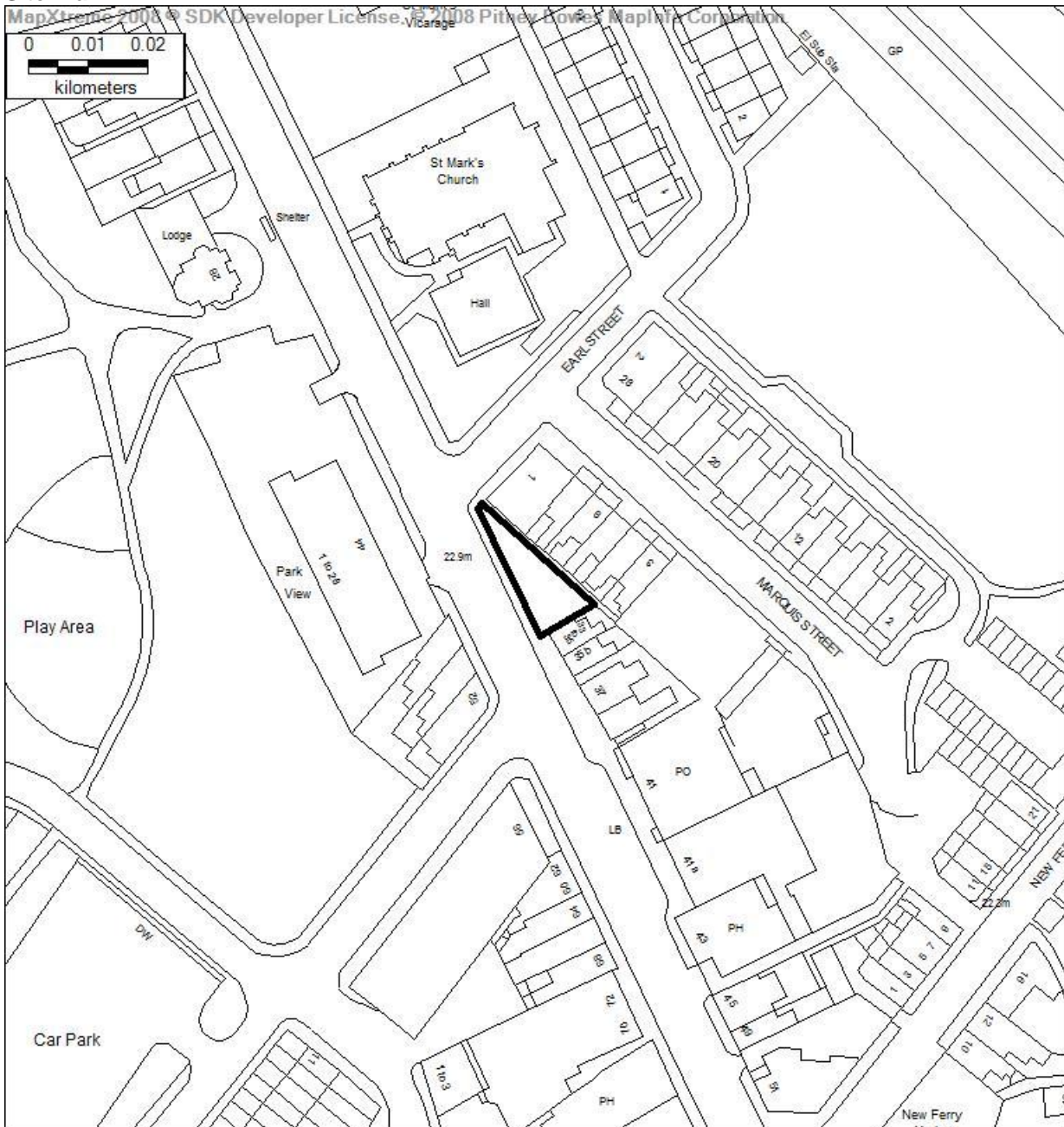
Location: Land at the corner of Earl Street and New Chester Road, New Ferry, Wirral, CH62 1AA

Proposal: Erection of 2 illuminated hoardings

Applicant: Mr Kevin Curtis

Agent : Mr Raymond Lear

Site Plan:



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Development Plan allocation and policies:

Primarily Residential Area
Key Town Centre

Planning History:

Location: Land at the corner of Earl Street & New Chester Road, NEW FERRY, CH62
1AA

Application Type: Advertisement Consent

Proposal: Erection of 2 advertisement hoardings

Application No: ADV/14/01217

Decision Date: 19/12/2014

Decision Type: Refuse

Location: Land at the corner of Earl Street & New Chester Road, NEW FERRY, CH62
1AA

Application Type: Full Planning Permission

Proposal: Change of use of land to advertising

Application No: APP/14/01216

Decision Date: 07/10/2014

Decision Type: Not an application

Location: Land north of (adjacent) to 35, New Chester Road, New Ferry. L62 1AA

Application Type: Advertisement Consent

Proposal: Erection of one 48 sheet advertisement panel (20'X 10').

Application No: ADV/87/05910

Decision Date: 29/10/1987

Decision Type: Refuse

Summary Of Representations and Consultations Received:**REPRESENTATIONS:**

Having regard to the Council Guidance on Publicity for Applications, 22 notifications were sent to adjoining properties. A site notice was also displayed. At the time of writing this report a qualifying petition of objection has been received and 1 objection, listing the following grounds:

1. road safety
2. distracting along the highway for pedestrians and vehicles
3. crime and antisocial behaviour

CONSULTATIONS:

Head of Environment & Regulation (Traffic & Transportation Division) - No Objections

Head of Environment & Regulation (Pollution Control Division) - No Objections

Director's Comments:

The application was deferred from Planning Committee on the 22 April 2015 to allow for a Committee Site Visit.

REASON FOR REFERRAL TO PLANNING COMMITTEE

The Council has received a qualifying petition of objection containing 162 signatures. As such, under the provisions of the Council's Scheme of Delegation for Determining Applications, this application is required to be determined by the Planning Committee.

INTRODUCTION

The proposal is for the erection and display of two advertisement hoarding's on a piece of vacant land. The proposal is a resubmission of a previously refused application for a similar scheme ADV/14/01217, this application was refused due to the impact of the signs onto the character of the area and residential amenity.

PRINCIPLE OF DEVELOPMENT

The application to display adverts in this location is acceptable in principle, subject to impact on visual amenity and highway safety.

SITE AND SURROUNDINGS

The site is a vacant piece of land located on the corner of Earl Street and New Chester Road, the plot is open and prominent in terms of the visual impact when entering New Ferry Town Centre travelling south. The site itself is located within New Ferry Key Town Centre and is bounded by a garage and houses to the east and the side gable of a retail unit to the south.

POLICY CONTEXT

Consent to display an advert will be assessed in accordance with the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 and the National Planning Policy Framework which states; Poorly placed advertisements can have a negative impact on the appearance of the built and natural environment. Control over outdoor advertisements should be efficient, effective and simple in concept and operation. Only those advertisements which will clearly have an appreciable impact on a building or on their surroundings should be subject to the local planning authority's detailed assessment. Advertisements should be subject to control only in the interests of amenity and public safety, taking account of cumulative impacts.

APPEARANCE AND AMENITY ISSUES

The proposal is for two advert hoarding's, one will be sited facing New Chester Road to the eastern elevation adjacent to the side elevation of an existing garage on Earl Street, the proposed hoarding (hoarding 1) will have a width of 9m and a height from the ground of 3.9m. The second sign is to be located to the south elevation of the site against the side gable of the shop on New Chester Road, this sign (hoarding 2) is to be the same dimensions as hoarding 1.

Hoarding 2 as shown on the plan does not impact the rear elevation in terms of a built structure however the proposed signs are to be illuminated and having regard to the proximity of the houses to the proposed lighting scheme on hoarding 2 it is considered that illumination is restricted to certain types so as not to have a detrimental impact on residential amenity.

This application for adverts is a resubmission of a previously refused scheme, the amendments have seen the reduction in scale of the hoarding's and the resiting so that the bulk of adverts within the street scene is reduced, the hoarding's have also been moved away from the boundary with the residential properties and as such have a much lesser impact onto the rear elevations of the houses on Marquis Street.

The hoarding's now relate to existing gable ends of commercial buildings without having a cluttered appearance along New Chester Road, the reduced scale and the distance set between the two hoarding's also retains the open aspect of this corner plot that acts as a visual entrance point into the key town centre.

It is therefore considered that the two hoarding's are acceptable in terms of siting, scale, appearance and efficiency taking into account the character of the area, neighbouring uses and the NPPF.

SEPARATION DISTANCES

Separation distances do not apply in this instance.

HIGHWAY/TRAFFIC IMPLICATIONS

There are no Highway Implications relating to this proposal.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental/Sustainability issues relating to these proposals.

CONCLUSION

The revised application sits well within the existing retail street scene without have a cluttered appearance, the two signs reduced in scale and in a revised location have a much more appropriate impact in terms of amenity and public safety.

Summary of Decision:

Having regards to the individual merits of this application the decision to grant Advertisement Consent has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed adverts are acceptable having regard to public safety and amenity in accordance with the National Planning Policy Framework.

Recommended Decision: Approve

Recommended Conditions and Reasons:

1. The sign shown as Elevation 2 on plan 464/1 Rev.A hereby approved shall only be illuminated between the hours of 0900 and 2100 on any day.

 Reason: To ensure that the sign does not prejudice the amenities of the neighbouring residential occupiers.

2. Any advertisements displayed, and any site used for the display of advertisements, shall be maintained in a clean and tidy condition to the reasonable satisfaction of the Local Planning Authority.

 Reason: To comply with Regulation 2 (1) of Schedule 1 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

3. Where an advertisement is required under these Regulations to be removed, the removal shall be carried out to the reasonable satisfaction of the Local Planning Authority.

 Reason: To comply with Regulation 2 (1) of Schedule 1 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

4. No advertisement shall be sited or displayed so as to obscure, or hinder the ready interpretation of, any road traffic sign, railway signal or aid to navigation by water or air, or so as otherwise to render hazardous the use of any highway, railway, waterway or aerodrome (civil or military).

 Reason: To comply with Regulation 2 (1) of Schedule 1 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

5. No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.

 Reason: To comply with Regulation 2 (1) of Schedule 1 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

6. This consent shall expire after a period of 5 years from the date of this permission.

 Reason: To comply with Regulation 2 (1) of Schedule 1 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

Last Comments By: 02/04/2015 15:51:19
Expiry Date: 27/04/2015

Planning Committee
3rd June 2015

Reference:
APP/15/00380

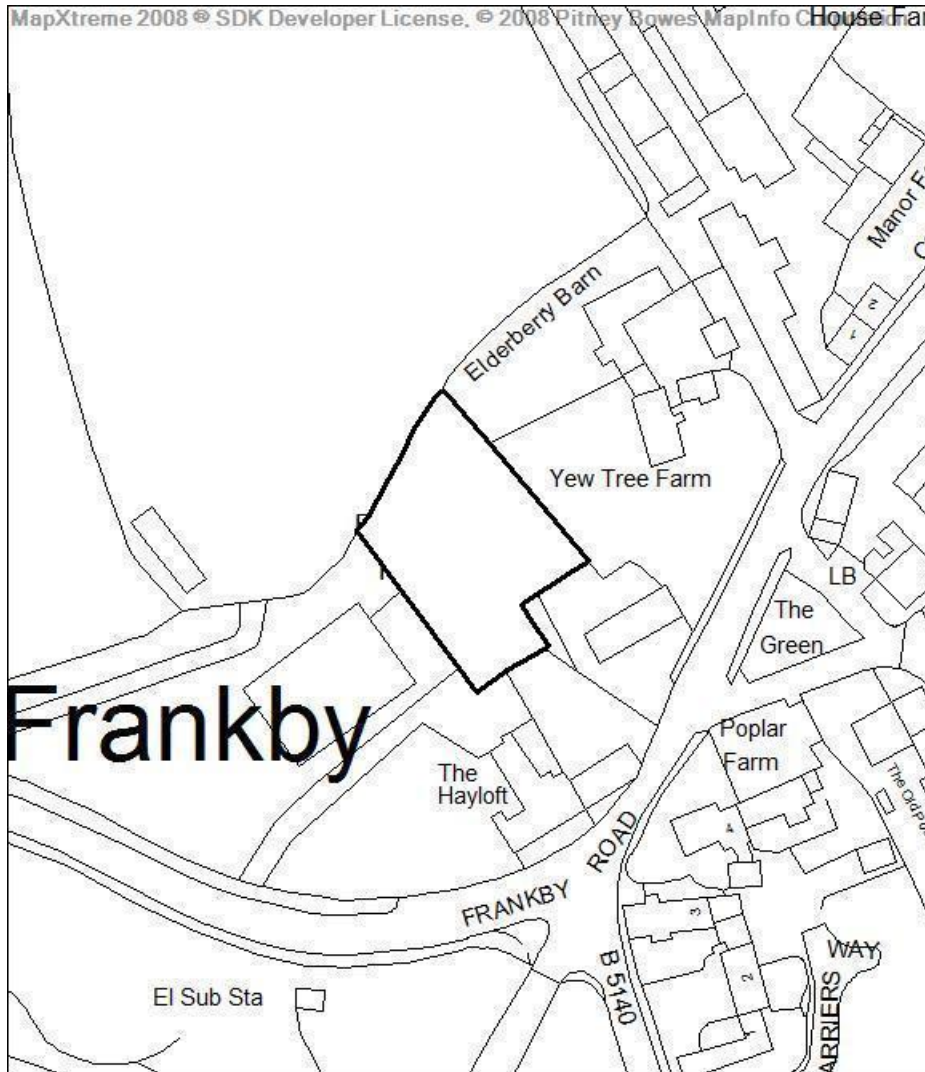
Area Team:
North Team

Case Officer:
Mrs S Day

Ward:
**Greasby Frankby
and Irby**

Location: Bay Tree Farm, FRANKBY ROAD, FRANKBY, WIRRAL
Proposal: The conversion and extension of the existing barn to form one residential dwelling and associated works, including; the erection of a car port.
Applicant: Mr G McGaffney
Agent : Nathaniel Lichfield & Partners

Site Plan:



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1. Development Plan allocation and policies:

Green Belt

Conservation Area (for illustrative purposes)

2. Planning History:

Location: Bay Tree Farm, FRANKBY ROAD, FRANKBY
Application Type: Planning Pre-Application Enquiry
Proposal: Conversion of barn to form one residential dwelling
Application No: PRE/14/00314/ENQ
Decision Date: 23/01/2015
Decision Type: Pre-Application Reply

Location: Yew Tree House, Yew Tree Farm, Frankby Road, Frankby, Wirral, CH48 1PE
Application Type: Listed Building Consent
Proposal: Construction of log store, alterations to proposed chimney (previously approved) and lead in lieu of glass to part of entry link roof
Application No: LBC/09/06013
Decision Date: 09/10/2009
Decision Type: Approve

Location: Fields to the north and north west of Bay Tree Farm Frankby Road, Frankby, Wirral, CH48 1PE
Application Type: Full Planning Permission
Proposal: Erection of two blocks of 5 stables (10 in total).
Application No: APP/03/07553
Decision Date: 27/02/2004
Decision Type: Refuse

Location: Barn north of (adjacent) Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Full Planning Permission
Proposal: Conversion of barns to dwelling.
Application No: APP/93/05956
Decision Date: 06/09/1993
Decision Type: Approve

Location: Barn north of (adjacent) Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Listed Building Consent
Proposal: Conversion of barn into a dwelling.
Application No: LBC/93/05955
Decision Date: 06/09/1993
Decision Type: Approve

Location: Barns north of (adjacent) Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Full Planning Permission
Proposal: Change of use from barns into dwelling.
Application No: APP/92/06656
Decision Date: 20/11/1992
Decision Type: Approve

Location: Barns north of (adjacent) Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Listed Building Consent
Proposal: Conversion of barns into dwelling.

Application No: LBC/92/06655
Decision Date: 20/11/1992
Decision Type: Approve

Location: Barns north of (adjacent) Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Full Planning Permission
Proposal: Conversion of barns into dwelling.
Application No: APP/92/06654
Decision Date: 20/11/1992
Decision Type: Approve

Location: Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Listed Building Consent
Proposal: Erection of double garage to front of property, demolition of lean to porch and replacement with new porch.
Application No: LBC/92/05216
Decision Date: 08/04/1992
Decision Type: Approve

Location: Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Full Planning Permission
Proposal: Erection of double garage and porch at front of property.
Application No: APP/92/05215
Decision Date: 08/04/1992
Decision Type: Approve

Location: Barns north of (adjacent) Yew Tree House, Frankby Road, Frankby. L48 1PE
Application Type: Listed Building Consent
Proposal: Conversion of barns into dwelling.
Application No: LBC/92/06657
Decision Date: 17/12/1992
Decision Type: Approve

Location: Bay Tree Farm, Frankby Road, Frankby, Wirral, CH48 1PE
Application Type: Full Planning Permission
Proposal: Conversion of barn and shippon into 2 dwellings erection of a garage extension to Bay Tree Farm House and realignment of access road.
Application No: APP/00/06944
Decision Date: 05/01/2001
Decision Type: Approve

Location: Yew Tree Farm, Frankby Road, Frankby. L48 1PE
Application Type: Full Planning Permission
Proposal: Extension of permission for change of use of outbuilding to one dwelling.
Application No: APP/88/05931
Decision Date: 23/06/1988
Decision Type: Approve

Location: Bay Tree Farm, Frankby Road, Frankby, Wirral, CH48 1PE
Application Type: Full Planning Permission
Proposal: Erection of a new agricultural storage barn
Application No: APP/05/07424
Decision Date: 17/02/2006
Decision Type: Withdrawn

Location: Yew Tree House, Frankby Road, Frankby, Wirral, CH48 1PE

Application Type: Listed Building Consent
Proposal: Reconstruction of existing timber entrance porch off the courtyard, conversion of existing garage to a dining hall, provision of an internal doorway and erection of single storey timber greenhouse to rear of property.

Application No: LBC/04/07871

Decision Date: 23/02/2005

Decision Type: Approve

Location: Land to the North and West of, Bay Tree Farm, Frankby Road, Frankby, Wirral, CH48 1PE

Application Type: Full Planning Permission

Proposal: Formation of new access driveway and erection of ten stables.

Application No: APP/07/05142

Decision Date: 01/06/2007

Decision Type: Approve

Location: Yew Tree House, Frankby Road, Frankby, Wirral, CH48 1PE

Application Type: Full Planning Permission

Proposal: Reconstruction of existing timber entrance porch off the courtyard, conversion of existing garage to a dining hall, provision of an internal doorway and erection of single storey timber greenhouse to rear of property.

Application No: APP/04/07873

Decision Date: 23/02/2005

Decision Type: Approve

Location: Yew Tree House, FRANKBY ROAD, FRANKBY, CH48 1PE

Application Type: Listed Building Consent

Proposal: Variation to details of previously approved attached greenhouse, arising from exposure of underground water cistern encountered during preparation for execution of the works

Application No: LBC/14/01281

Decision Date: 14/05/2015

Decision Type: Approve

Location: Bay Tree Farm, Frankby Road, Frankby, Wirral, CH48 1PE

Application Type: Prior Notification of Agricultural Works

Proposal: Erection of an open framed dutch barn

Application No: AGN/02/07588

Decision Date: 18/02/2003

Decision Type: Returned invalid

Location: Bay Tree Farm House, Bay Tree Farm, Frankby Road, Frankby, Wirral, CH48 1PE,

Application Type: Full Planning Permission

Proposal: Erection of new agricultural storage barn

Application No: APP/06/06127

Decision Date: 14/07/2006

Decision Type: Approve

Location: Elderberry Barn, Frankby Road, Frankby, Wirral, CH48 1PF

Application Type: Listed Building Consent

Proposal: Erection of a single storey lean-to garage

Application No: LBC/01/06025

Decision Date: 23/07/2001

Decision Type: Approve

Location: Elderberry Barn, Frankby Road, Frankby, Wirral, CH48 1PF
Application Type: Full Planning Permission
Proposal: Detached garage and garden store.
Application No: APP/99/06343
Decision Date: 15/09/1999
Decision Type: Returned invalid

Location: Elderberry Barn, Frankby Road, Frankby, Wirral, CH48 1PF
Application Type: Full Planning Permission
Proposal: Erection of a side garage
Application No: APP/01/05783
Decision Date: 26/06/2001
Decision Type: Approve

3. Summary Of Representations and Consultations Received:

CONSULTATIONS:

Head of Environment & Regulation (Traffic & Transportation Division) - No Objection

Frankby Conservation Area Advisory Group - Object to the proposals. Barn is still required for storage and its conversion is contrary to SPG15. Contrary to conservation policies as it does not preserve or enhance the Conservation area. proposed carport is too big and to be constructed using inappropriate materials. Curtilage is too big and will harm the openness of the green belt.

Council for The Protection of Rural England - Barn is a recent construction and its conversion is at odds with Green Belt Policy.

The application was taken out of delegation by Councillor Clements regarding concern about the character and openness of the green belt.

NEIGHBOURS

In line with the Council's policy for publicity of planning applications, letters were sent to 4 neighbouring properties and a notice posted on site. Objections have been received from 4 neighbouring properties at, Royden Manor, 285 Frankby Road, Poplar Farm, 4 The Nook and Yew Tree Farm. The grounds for objection are:-

- Proposal is contrary to Green Belt Policy and no very special circumstances have been demonstrated
- Proposal will have a detrimental impact on the appearance and setting of the Conservation area.
- The development will erode the Green Belt
- Proposal is contrary to UDP policy CH2 as it does not preserve or enhance the Conservation area.
- Loss of privacy to adjacent properties
- Development will be visually overbearing
- Parking adjacent to neighbouring gardens will lead to noise pollution and dust
- Proposal exploits loophole in legislation.

4. DIRECTORS COMMENTS:

REASON FOR REFERRAL

The application has been taken out of delegation by Councillor Clements due to concerns about its impact on the character and openness of the green belt and Frankby Conservation Area.

INTRODUCTION

The application relates to the extension and conversion of an existing barn to a residential use. The proposals include the erection of a timber car port and the creation of a curtilage around the building.

PRINCIPLE OF DEVELOPMENT

The conversion and re-use of buildings within the green belt can be acceptable in principle subject to National and local guidelines relating to the green belt and conservation areas.

SITE AND SURROUNDINGS

The site consists of an existing barn which is located within the Frankby Conservation area and the adopted Green Belt. In addition the site also falls within an area of archaeological importance. The barn was approved in following a previous proposal which was refused. The barn sits behind the main group of buildings to the north of Frankby Road and takes access from Frankby Road. The barn is constructed mainly of breezeblock which has been clad in timber and has a slate roof. The site is bounded to the north east and north west by existing hedging which forms a boundary with the adjacent property and fields to the north. The entrance to the barn faces the rear of the site (north west) with a hard surfaced access to the east of the barn. In addition to the barn, there is an existing structure on the site which appears to have been in situ for some years.

POLICY CONTEXT

Both national and local green belt policy acknowledges that the re-use and extension of existing buildings in the green belt can be appropriate. This is subject to any extension being proportionate to the host building and not having a greater impact on the openness of the green belt or the purposes of including land within the green belt.

The Council's Supplementary Guidance Note 15 sets out guidance for the conversion of redundant agricultural buildings in the green belt. In general terms proposals which preserve the setting and character of such buildings can be acceptable.

UDP policy CH2 establishes the general requirements for development in Conservation areas. New development should demonstrate that it preserves or enhances the distinctive characteristics of the area including views into and out of the conservation area and the setting and layout of existing buildings.

Policy CH12 relates specifically to the Frankby Conservation area. The principal planning objectives of this policy are to, retain the unifying features of the area, preserve a compact settlement and to preserve the rural historic character of the village.

Policy CH25 sets out the criteria for assessing proposals which may have some archaeological significance. Development proposals may need to be accompanied by an archaeological assessment. The nature of this assessment should be proportionate to the importance of the site and the works proposed.

APPEARANCE AND AMENITY ISSUES

The proposals relate to the conversion and extension of the existing barn and the erection of a car port. Under the provisions of both national and local planning policy, the conversion and re-use of buildings in the green belt can be appropriate so long as the building is capable of conversion without substantial alteration, any extensions are proportionate and there is no greater impact on openness of the green belt. The Council's Supplementary Guidance Note 15, sets out the criteria for conversion of buildings in the green belt. whilst this document is a little out of step with current green belt policy, as it is no longer necessary for buildings to be redundant, it nonetheless sets out the general approach which should be taken regarding the appearance of the buildings. This is particularly important when the barn is located in a conservation area.

The barn which is the subject of this application is not a traditional stone barn like others in the conservation area but it is a substantial structure which is robust enough to withstand a conversion. The exterior appearance is vertical timber boards. The proposed external appearance to the sides and rear retains this appearance but with wider gaps between some timbers to provide windows. The main elevation of the barn faces north west across open land and is predominantly glazed. The alterations to the building are simple and would retain the characteristics of the building. An extension to the barn is proposed which brings the northern corner of the barn in line with the other "arm" of the rear elevation. This results in an extension measuring 18.9 square meters, given the floor space of the existing building at 42 square metres, this is not a disproportionate extension to the building. The proposal for an extension and a car port must however be assessed in terms of their impact on the openness of the green belt. At present the site contains the barn and a single storey structure which is located to the north of the barn. The existing structure measures 36 square metres which is larger than the proposed car port at 30 square metres. In addition the car port is to be positioned in a less prominent position adjacent to the barn and the boundary of the site. It is considered that, subject to the removal of the existing structure on the site, to the size and position of the additional buildings will not result in any greater impact on the openness of the green belt and would constitute appropriate development.

When considering the conversion of existing buildings, policy states that care must be taken to ensure that any curtilage does not erode the openness and character of the green belt. The existing barn had a vehicular access and hard surfaced area to the south of the barn which would remain the same. The proposed car port would be located in this hard surfaced area. The proposed plans include a garden to the north of the barn with the boundary formed by the side of the barn and the edge of the field to the north of the barn. Whilst this would result in a garden a little larger than most conversions, it makes use of existing natural boundaries, and is a logical area to use around the barn. The impact on the openness of the surrounding green belt can be minimised by strengthening of existing plating and the removal of permitted development right for any buildings or structures in this area.

Whilst objectors have raised concerns that the original construction of the barn was simply a device to allow a future conversion, this is not a material consideration in this instance. The barn was erected some years ago following a robust assessment of the proposal and has been used for the purpose of storage. Both national and local Green Belt Policy allow for the re-use of existing buildings and as such the proposals are considered appropriate development, which there is a presumption in favour of.

The impact on the Conservation area will be neutral, the building exists and the conversion retains the appearance of the building. Extensions are not untypical of the host building and other buildings in the conservation area.

SEPARATION DISTANCES

Separation distances do not apply in this instance, as no residential properties will be overlooked by the proposed development.

HIGHWAY/TRAFFIC IMPLICATIONS

There are no Highway objections relating to this proposal.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental/Sustainability issues relating to these proposals.

HEALTH ISSUES

There are no health implications relating to this application.

CONCLUSION

The proposals represent an appropriate development in the green belt which meets the requirements of local and national green belt policy. The alterations and extensions will not result in a detrimental

change to the character of the Conservation area and are in keeping with Unitary Development Plan policies. CH2 and CH12

5. Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposals represent an appropriate development in the green belt which meets the requirements of local and national green belt policy. The alterations and extensions will not result in a detrimental change to the character of the Conservation area and are in keeping with Unitary Development Plan policies. CH2 and CH12

Recommended Decision: **Approve**

Recommended Conditions and Reasons:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 as amended (or any subsequent Order or statutory provision revoking or re-enacting the provisions of that Order), no garages, outbuildings, other extensions or external alterations to the dwelling units shall be erected or carried out unless expressly authorised.

Reason: In order to protect the openness of the Green Belt and character of the area and to accord with Policy GB3 of the Wirral Unitary Development Plan.

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2008 (or any Order revoking or re-enacting that Order) no building, enclosure or swimming pool falling within Part 1, Class E, shall be erected on any part of the land.

Reason: In order to protect the openness of the Green Belt and character of the area and to accord with Policy GB3 of the Wirral Unitary Development Plan.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 as amended (or any Order revoking or re-enacting that Order) no walls, fences or other means of enclosure under Part 2, Class A shall be erected within any part of the site.

Reason: In order to protect the openness of the Green Belt and character of the area and to accord with Policy GB3 of the Wirral Unitary Development Plan.

5. Before development commences, a scheme of planting to provide screening to the boundaries of the site shall be submitted to and approved by the Local Planning Authority. The planting shall be carried out in accordance with the approved details and subsequently maintained to the satisfaction of the Local Planning Authority. The approved scheme shall be fully implemented in the first planting season following commencement of any part of the approved development.

Reason:

To ensure that proposed development does not prejudice the amenity of the locality .

6. The existing structure located to the north of the barn within the application site, shall be removed from site before development commences.

Reason: To protect the openness of the Green Belt in accordance with Unitary Development Plan Policy GB2 and the National Planning Policy Guidance.

7. Before any construction commences, samples of the facing, roofing and window materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy CH2 of the Wirral Unitary Development Plan.

8. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on April 7th and May 19th and listed as follows: IL41412-001, Elevations, Floor plans.

Reason: For the avoidance of doubt and to define the permission.

Further Notes for Committee:

Last Comments By: 13/05/2015 13:01:57

Expiry Date: 02/06/2015

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Planning Committee

03 June 2015

Reference:
APP/15/00429

Area Team:
South Team

Case Officer:
Miss A McDougall

Ward:

Bromborough

Location: Land South of , 6 CENTRAL AVENUE, BROMBOROUGH, CH62 2BT
Proposal: Proposed new dwelling
Applicant: Mr Frank Williams
Agent : Paterson Macaulay & Owens

Site Plan:



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1. Development Plan allocation and policies:

Primarily Residential Area

2. Planning History:

No planning history

3. Summary Of Representations and Consultations Received:

REPRESENTATIONS:

Having regard to the Council Guidance on Publicity for Applications, 13 notifications were sent to

adjoining properties. A site notice was also displayed. At the time of writing this report a qualifying petition of objection containing 39 signatures and 5 objections have been received, listing the following grounds:

1. Design
2. Density
3. Demolition of no.6 and erection of 3 dwellings
4. Loss of amenity
5. Impact onto Brotherton park

CONSULTATIONS:

Head of Environment & Regulation (Traffic & Transportation Division) - No objection subject to informative

4. DIRECTORS COMMENTS:

REASON FOR REFERRAL

The Council has received a qualifying petition of objection containing 39 signatures.

INTRODUCTION

The proposal is for the erection of a detached house.

PRINCIPLE OF DEVELOPMENT

The site is within the designated Primarily Residential Area, the principle of development is acceptable.

SITE AND SURROUNDINGS

The application site accommodates the south eastern portion of land that currently forms the side garden of Kingsmead no.6 Central Avenue, the proposed plot is to measure approximately 16m along the front by 45m in depth. The application site is bounded to the front and side with no.2 by a wooden fence, part of the front boundary forward of the existing property at no.6 is bounded at the front by a low sandstone wall, there are also two trees along the highway in front of the application site, the proposed driveway access into the site is to be located between these trees.

The street scene is a mix of property types and house sizes, the application site is along a section of Central Avenue that accommodates larger properties with large gardens, the existing site at no.6 Central Avenue is the largest. The opposite side of Central Avenue includes more modern properties on smaller plots, Central Avenue is an attractive residential road, with good residential frontages and a tree-lined grass verge.

POLICY CONTEXT

The proposal is for a new residential dwelling and will be assessed in accordance with Wirral's UDP Policy HS4 which states; Proposals for new housing development on allocated sites and within the Primarily Residential Areas shown on the Proposals Map will be permitted subject to the proposal fulfilling all the following criteria:

- (i) the proposal being of a scale which relates well to surrounding property, in particular with regard to existing densities and form of development;
- (ii) the proposal not resulting in a detrimental change in the character of the area;
- (iii) access and services being capable of satisfactory provision, particularly for off-street car parking areas and garages, and adequate vehicular access;
- (iv) the provision of appropriate landscaping and boundary treatment which relates the proposed development to its surroundings, paying particular attention to the maintenance of existing natural features and vegetation in accordance with Policy GR5;
- (v) the appropriate provision of design features which contribute to a secure environment and reduce the likelihood of crime;
- (vi) incorporating provision for accessible public open space and children's play areas in accordance

with Policy GR6; and

(vii) the provision of adequate individual private or communal garden space to each dwelling.

For all proposals whose main elevations are parallel, or nearly so, an adequate distance should be kept between habitable rooms in separate dwellings. In addition, where the gable end of one property fronts onto the rear elevation of another, then an adequate separation should be achieved.

The environment around the home has a major impact on residents' quality of life. When new residential development is proposed, both on allocated sites where a new environment is being created and where new housing is proposed within the existing residential areas, it is important that new housing blends in well with that already built and creates a safe external environment.

APPEARANCE AND AMENITY ISSUES

The proposed dwelling is a traditional style two-storey detached house with an integral garage. The house has a traditional frontage and to the rear the upper floor will form part of the roof and the three rear first floor rooms will be served by dormer windows, the roof when viewed from the side therefore has a low slope which greatly reduces the scale of the building in relation to neighbouring properties either side.

The proposed plot size is 16m by 45m, the proposed dwelling has a frontage width of 12m and a depth of 12.3m and set back from the front boundary by approximately 8m which follows the established building line of the established neighbouring dwellings.

The siting of the property retains the spacious feel of the plots along this side of Central Avenue, the plots opposite have similar plot widths but the houses are closer together. The overall siting, appearance and layout of the house and the plot is characteristic of the area, the division of the plot at no.6 does not have a detrimental impact in terms of residential amenity to either resultant plot or dwelling, both plots retain sufficient off street parking, access, garden size and take into account the plot sizes within the established street scene.

Concerns have been raised with regards to the density, design, loss of amenity and the demolition of no.6 and the erection of 3 houses. The design and density of the proposed dwelling are considered acceptable having regard to the size of the plot, the set back, the garden depth and the general appearance of the proposed dwelling, there are many similar properties along Central Avenue. In terms of loss of amenity, the proposal retains good sized gardens on both the application site and the host property, the dwelling is set back 23m from the rear boundary and will not affect Brotherton Park, there are established houses that bound the rear of the site namely 10 Central Avenue, 24 and 24A Croft Avenue.

With regards to the demolition of the host house no.6 and the erection of three dwellings, it states within the Design & Access Statement, "It is understood that the present owner of the detached property no.6 will be the subject of a possible planning application to demolish and rebuild 2/3 new dwellings". There is currently no planning application in for this development and any application would be assessed if/when a planning application was submitted.

Having regard to the current proposal, the scheme for one dwelling on this plot sits well with the neighbouring buildings, is not considered overdevelopment or detrimental to the character of the area.

SEPARATION DISTANCES

The proposed dwelling includes windows to the front and rear elevation, the front elevation is set approximately 30m from the front elevation of the houses opposite, the rear elevation is set a distance of 23m to the site boundary. The proposal therefore meets the Councils separation distances of 21m window to window.

HIGHWAY/TRAFFIC IMPLICATIONS

There are no Highway Implications relating to this proposal.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental/Sustainability issues relating to these proposals.

CONCLUSION

The design, siting and scale of the proposal is appropriate in terms of the general character of the area and the established residential properties, it is therefore considered that the proposed development is acceptable having regard to Wirral's UDP Policy HS4.

5. Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:- The design, siting and scale of the proposal is appropriate in terms of the general character of the area and the established residential properties, it is therefore considered that the proposed development is acceptable having regard to Wirral's UDP Policy HS4.

Recommended Decision: **Approve**

Recommended Conditions and Reasons:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 25 March and listed as follows: L01, P02 Rev.B & P01 Rev.C.

Reason: For the avoidance of doubt and to define the permission.

3. Before any construction commences, samples of the facing materials and hardstanding to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

4. The remainder of the undeveloped land within the site shall be suitably landscaped in accordance with a scheme to be submitted to and approved by the Local Planning Authority before any works commence on site, the landscape work to be completed during the first available planting season following completion of the development hereby approved and shall be maintained thereafter to the satisfaction of the Local Planning Authority.

Reason: To ensure a satisfactory standard of appearance and that the proposed development enhances the visual amenity of the locality.

Further Notes for Committee:

1. Consent under the Highways Act is required for the construction of a new or the amendment/removal of an existing vehicular access. Such works are undertaken at the developer's expense, including the relocation and/or replacement of street furniture as necessary. Please contact the Council's Highway Maintenance team on 0151 606 2004 prior to the commencement of development for further information.

Last Comments By: 28/04/2015 14:33:20

Expiry Date: 18/05/2015

Planning Committee
03 June 2015

Reference:
APP/15/00473

Area Team:

Case Officer:
Ms J Storey

Ward:
Hoylake and Meols

Location: North Wirral Brickworks, CARR LANE, MORETON, CH46 5NB
Proposal: Variation of 28 of appeal approval ref APP/W4325/A/12/2177106 in order to submit details of the restoration and after care scheme to be submitted no later than 31st of March 2016

Applicant: Brock PLC
Agent : Peacock and Smith

Site Plan:



1. Development Plan allocation and policies:

Green Belt
Area Requiring Landscape Renewal
Mineral Reserve

2. Planning History:

Location: North Wirral Brickworks, Carr Lane, Moreton. L46 5NB
Application Type: Full Planning Permission
Proposal: Extension of clay extraction, landfilling and restoration to agriculture, installation of boreholes and landfill gas extraction system and associated plant, including flare stack.
Application No: APP/89/07399
Decision Date:
Decision Type:

Location: North Wirral Brickworks , Carr Lane, Moreton, Wirral, L46 5NB
Application Type: Full Planning Permission
Proposal: Variation of conditions of planning determination no IDDOC/95/6338/D. Conditions 1-47 to be replaced by new conditions 1-62 (set out in Appendix A of this application)
Application No: APP/01/06405
Decision Date: 03/01/2002
Decision Type: Approve

Location: North Wirral Brickworks, CARR LANE, MORETON, CH46 5NB
Application Type: Reserved Matters
Proposal: Variation of 28 of appeal approval ref APP/W4325/A/12/2177106 in order to submit details of the restoration and after care scheme to be submitted no later than 31st of March 2016
Application No: APP/15/00473
Decision Date:
Decision Type:

Location: Moreton Brickworks, CARR LANE, MORETON, CH46 5NB
Application Type: Full Planning Permission
Proposal: Variation of condition 28 of planning determination APP/2001/6405/D (for the extraction of clay), to allow an additional 2 years for the submission of restoration and aftercare schemes (extended from 03 January 2012 to 03 January 2014).

Application No: APP/11/01286
Decision Date: 25/04/2012
Decision Type: Refuse

Location: Barker & Briscoe Brickworks, Carr Lane, Moreton. L46 5NB
Application Type: Hazardous Substances
Proposal: Deemed Hazardous Substances Consent for the storage of Liquefied Petroleum Gas (Substance 66) in the established quantity of 60 tonnes.
Application No: HSC/92/06145
Decision Date: 31/07/1992
Decision Type: Approve

Location: Barker & Briscoe, Carr Lane, Moreton, Wirral, L46 5NB
Application Type: Full Planning Permission
Proposal: Access road, landscaping and ancillary works.

Application No: APP/83/24070
Decision Date: 17/04/1984
Decision Type: Conditional Approval

Location: North Wirral Brickworks, Carr Lane, Moreton, Wirral, L46 5NB
Application Type: Full Planning Permission
Proposal: Application for determination of conditions to which permission for clay extraction granted in 1951 and 1961 are to be subject
Application No: APP/97/06665
Decision Date: 20/02/1998
Decision Type: Approve

Location: North of Carr Lane Brickworks, Carr Lane, Moreton, Wirral, CH46 5NB
Application Type: Full Planning Permission
Proposal: Extraction of clay and construction of perimeter mounds and water feature.
Application No: APP/01/06483
Decision Date: 13/12/2001
Decision Type: Withdrawn

Location: Barker & Brisco Moreton Brickworks Carr Lane
Application Type: Full Planning Permission
Proposal: Clay extraction, waste disposal and restoration to form nature reserve.
Application No: APP/86/06931
Decision Date: 12/03/1987
Decision Type: Refuse

Location: Carr Lane Brickworks, Carr Lane, Moreton, Wirral, CH46 5NB
Application Type: Prior Approval of Telecommunications PD
Proposal: Erection of a 15m. monopole 3 no. antenna and 4 no. dishes within a 10m x 8m compound
Application No: ANT/02/06198
Decision Date: 15/07/2002
Decision Type: Prior approval is not required

Location: Barker and Briscoe Ltd,,Brickworks,,Carr Lane,,Meols.
Application Type: Advertisement Consent
Proposal: Three non- illuminated advertisement identification panels at Brickworks, Carr Lane Meols.
Application No: ADV/84/25458
Decision Date: 20/09/1984
Decision Type: Conditional Approval

Location: North of Carr Lane Brickworks, Carr Lane, Moreton, Wirral, CH46 5NB
Application Type: Full Planning Permission
Proposal: Extraction of clay and construction of perimeter mounds and water feature
Application No: APP/00/06514
Decision Date: 04/01/2001
Decision Type: Withdrawn

Location: North Wirral Brickworks,Carr Lane,Moreton,Wirral,L46 5NB
Application Type: Full Planning Permission
Proposal: Formation of a car park, storage area and fence along boundary.
Application No: APP/80/17013
Decision Date: 08/01/1981
Decision Type: Conditional Approval

3. Summary Of Representations and Consultations Received:

REPRESENTATIONS

In accordance with the Councils Guidance on Publicity for Applications, 145 letters of notification were sent to adjacent properties and a site notice was displayed. At the time of writing, no representations had been received.

CONSULTATIONS

Head of Environment & Regulation (Pollution Control Division) - No objections

Head of Environment & Regulation (Traffic & Transport Division) - No objections

MEAS - No objection

Natural England - No Objection

4. DIRECTORS COMMENTS:

Councillor Blakely has requested that this application be removed from delegation and considered by the Planning Committee on behalf of local residents, given concerns that the application may have a detrimental impact on the amenity of residents who live in the ward may otherwise enjoy.

The application also seeks variations to a Major Development and is therefore required to be considered by the Planning Committee under the Councils adopted Scheme of Delegation for Determining Planning Applications.

INTRODUCTION

The application site is subject to four planning permissions and determinations issued between 1984 and 2013, with the most recent appeal decision dated April 2013 which required the submission of quarry and aftercare schemes for the majority of the quarry areas by no later than 31st March 2015. It is important to note that the end dates to cease the winning and working of the sites is not until 2042. The approved restoration scheme shall be completed by 2044

This is not an application to extract clay, this application is to vary condition no 28 of appeal ref APP/W4325/A/12/2177106 to extend the time to submit a detailed aftercare scheme by 12 month until March 2016. This appeal related to a variation of a planning condition reference APP/2001/6405/D. That permission in turn was an application to vary conditions which applied to an existing planning permission for clay extraction which as been implemented. The original planning permission for clay extraction was granted in 1947 (ref 6663). Modern operating and restoration conditions were determined and applied in 1996 (ref IDD0C/95/6338) as a result of legislation which required the imposition of such conditions to very old mineral extraction permissions.

Planning Permission was refused (ref APP/11/01286) in April 2012. The application sought planning permission for the excavation of clay without complying with condition 28 attached to planning permission APP/2001/6405/D. The condition stated that

Within 10 yrs of the date of this determination or, in the event of an appeal being lodged against this determination, within 10 yrs of the final determination, restoration and aftercare schemes shall be submitted to the mineral planning authority for its approval in writing. If schemes have not been submitted within the period specified in this condition the winning and working of mineral from the site shall cease until such time as schemes have been submitted. If schemes have not been approved by the mineral planning authority within six months of them having been submitted the winning and working of minerals shall cease unless and until an appeal against such failure to approve has been made to the Secretary of State and unless that appeal is still current and undecided. In such an eventuality the winning and working of minerals shall cease if the appeal is dismissed and it shall not recommence until schemes have been approved, except if part of the 10 yrs period in which schemes may be submitted remains unexpired, in which circumstances, the mineral extraction activity may continue for the unexpired period.

The existing wording for condition 28 to APP/11/01286 as allowed at appeal ref APP/W4325/A/12/2177106 is as follows

By no later than 31st March 2015 restoration and aftercare schemes shall be submitted to the mineral planning authority for its approval in writing, such schemes to be accompanied by sufficient information to demonstrate that the restoration and aftercare would be carried out to high environmental standards.

If schemes have not been submitted by this specific date the winning and working of mineral from the site shall cease until such times as schemes have been submitted. If schemes have not been approved by the mineral planning authority within six months of them having been submitted the winning and working of minerals shall cease unless and until an appeal against failure to approve has been made to the Secretary of State and unless that appeal is still current and undecided. In such an eventuality the winning and working of minerals shall cease if the appeal is dismissed and it shall not recommence until schemes have been approved, except of the date of 31st March 2015 has not passed, in which circumstances, the mineral extraction activity may continue until that date.

PRINCIPLE OF DEVELOPMENT

The principle use of the land is established by the previous grants of planning permission, detailed in the introduction to this report. The proposal seeks a variation of planning condition imposed by a previous permission ref APP/W4325/A/12/2177106.

SITE AND SURROUNDINGS

The application site is the majority of the site known as North Wirral Brickworks, though other parts of the quarry subject to later conditions are not included. The land has been worked for clay, and includes a number of un-restaured clay workings supported by large water bodies, a series of buildings formerly used for brickworks, a large former brick storage building, and a large former brick storage area. The site lies in the Green Belt, in close proximity to residential properties and the Birkenhead to West Kirby rail line. Meols Meadow SSSI is in close proximity to the north.

POLICY CONTEXT

The application site at Carr Lane is identified as a mineral reserve in Wirral's UDP under Policy M1 - The Control of Clay Extraction. The policy outlines that the Local Planning Authority will control and monitor the extraction of clay within the Borough to ensure that any adverse environmental impact is minimized. The supporting text to the application notes that the Carr Lane site includes small amounts of winnable clay, with 23 hectares in active working or restoration, and a further 19 hectares reserved for future working.

The National Planning Policy Framework requires Minerals Planning Authorities in preparing Local Plans and determining planning applications to ensure that worked land is reclaimed at earliest opportunity and that high quality restoration and aftercare of the minerals site takes place to high environmental standards.

The Merseyside Joint Waste Local Plan Policy WM16 Restoration and Aftercare of Landfill Facilities accepts that landfill can make a valuable contribution to green infrastructure and typical aafter uses could include-

- Improving public access to the countryside, including public access for disabled people and recreation
- The improvement of biodiversity and long- term ecological management
- Use for management of water recourses and/or flood management
- Return to agriculture, forestry or other "open" use recreation facilities.

Restoration and aftercare proposals must be discussed at the pre-application stage to ensure that appropriate local consultation is undertaken prior to submitting the planning application, in accordance with statements of community involvement, and to allow local communities to influence the restoration proposals.

Paragraph 144 of the NPPF indicates that when determining planning applications, local planning authorities should facilitate the sustainable use of minerals by, amongst other things, providing for restoration and aftercare at the earliest opportunity to be carried out to high environmental standards. This is to be achieved, where necessary through the use of suitable conditions.

The clay extraction at the appeal site is a temporary use of land for which restoration and aftercare schemes facilitate the beneficial use of land following mineral workings. This is not an application for additional clay extraction nor does it provide further time for mineral working. Although an additional twelve months is sought for the submission of a restoration and aftercare scheme, the extant planning permission for the excavation of clay allows mineral extraction until 21st February 2042.

A briefing note was submitted to the Local Authority in December 2014 which formed the basis of further pre-application meetings to discuss and prepare detailed restoration and aftercare schemes. The applicants have submitted some initial proposals for the site through the pre-application advice application. It is intended that the site should be restored appropriately to secure significant and long term environmental benefits through the restoration scheme for the local area. This should be informed by clear information on environmental, technical and engineering constraints that might affect the design and implementation of a restoration scheme. The Long term management of the site will also be a very important consideration. Furthermore, the applicants consider that the future application for the site in its entirety will take longer to prepare.

It is envisaged at this stage that in principle a 'wet' restoration is likely to be suitable for the site. A wetland restoration based on clay is likely to have generally good isolation from existing groundwater resources and could be designed to provide significant wildlife habitat benefits in support of SSSI's and nearby European nature conservation sites and supporting habitat. Given the area of the existing clay extraction voids, there is opportunity that these environmental benefits could readily co-exist with a range of amenity uses in a well-designed scheme.

The applicant has been advised that further work is required to address a series of issues for which additional information is necessary before a more detailed scheme can ensure appropriate local consultation is undertaken prior to submitting the planning application.

It is therefore considered that the grant of permission for a variation of condition 28 would present the opportunity to continue the negotiations with the applicant ensure that any future planning application has the benefit of full community involvement to inform, shape and secure suitable restoration and aftercare of the site. It is therefore recommended that the condition should be amended to read:-

By no later than the 31st March 2016 restoration and aftercare schemes shall be submitted to the mineral planning authority for its approval in writing.

If schemes have not been submitted by this specific date the winning and working of mineral from the site shall cease until such times as schemes have been submitted. If schemes have not been approved by the mineral planning authority within six months of them having been submitted the winning and working of minerals shall cease unless and until an appeal against failure to approve has been made to the Secretary of State and unless that appeal is still current and undecided. In such an eventuality the winning and working of minerals shall cease if the appeal is dismissed and it shall not recommence until schemes have been approved, except if the date of 31st March 2016 has not passed, in which circumstances, the mineral extraction activity may continue until that date.

Reason: *in the interests of proper site restoration and aftercare.*

APPEARANCE AND AMENITY ISSUES

It is not considered that there are amenity or appearance issues presented by the variation of condition sought.

SEPARATION DISTANCES

Separation distances do not apply in this instance, as no residential properties will be affected by the proposed development.

HIGHWAY/TRAFFIC IMPLICATIONS

There are no Highway Implications relating to this proposal.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

There are no Environmental/Sustainability issues relating to these proposals.

HEALTH ISSUES

There are no health implications relating to this application.

CONCLUSION

The proposed variation does not conflict with the provisions of the National Planning Policy Framework or Unitary Development Plan Policy M11, and it is not considered that there are reasonable grounds to refuse permission for a delay in the submission of a restoration and aftercare scheme.

5. Summary of Decision:

Having regards to the individual merits of this application the decision to grant Reserved Matters Approval has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national and regional policy advice. In reaching this decision the Local Planning Authority has considered the following:-

Recommended Approve
Decision:

Recommended Conditions and Reasons:

1. The winning and working of mineral shall cease not later than 21st February 2042.

 Reason: In accordance with the planning and compensation Act 1991.

2. No vehicles, plant or equipment shall be parked or stored on the site except those belonging to member of staff or associated with brick making, clay excavation, restoration operations or aftercare operations on the site.

 Reason: To prevent inappropriate development in the Green Belt

3. All vehicles used for the transportation of clay from any part of the site to the on the brick manufacturing factory shall use internal site roads only and clay intended for that factory shall not be transported outside the site.

 Reason: In the interest of highway safety and residential amenities.

4. Access to and from the site for all purposes connected with the winning and working of minerals, including restoration and operations and the removal of clay from the site shall be directly from Birkenhead Road only.

 Reason: In the interest of highway safety and residential amenities.

5. Within six months of the date on which the new conditions are finally determined in accordance with the provisions in Section 22 and Schedule 2 of the Planning and Compensation Act 1991, a notice board shall be erected at the site entrance with Birkenhead Road, indicating the name and telephone number of the operating company and representative of the operators. The notice board shall be maintained in sound and legible condition throughout the period of working, restoration and aftercare.

 Reason: In the interest of site safety and restoration

6. Water from the site shall be discharged into approved settlement ponds before discharging into any ditch, stream, watercourse or culvert outside the site. From the commencement of the development until restoration of the site, mud and silt must be removed from the settlement ponds to avoid reducing their capacity for retaining water.

Facilities shall be made available in order to provide extra treatment where necessary (e.g. addition of coagulant) and shall be used so that any discolouring effect of the discharges is controlled to a level acceptable to the mineral planning authority.

Upon cessation of mineral extraction, all settlement ponds shall be emptied and filled with dry, inert material of a type to be agreed beforehand in writing by the mineral planning authority unless ponds are to be retained as part of the approved restoration scheme for the site.

Reason: To prevent pollution of watercourses and ground water.

7. Before any further winning and working of minerals takes place, the signs shown on submitted drawing 000/003/A2C concerning directions for vehicular traffic shall be erected and shall be retained until the completion of restoration of the site. Details of the size of the signs shall be submitted to and approved in writing by the mineral planning authority before they are erected. Letters on the sign shall have a minimum height of 50mm and the signs shall contain a border around the outside of the works of 75mm minimum width. Signs shall be erected less than 1m above ground level and shall not exceed a total height of 2.5m above ground level.

Reason: In the interest of highway safety.

8. A minimum of 8m of unexcavated land shall be left undisturbed around the perimeter of the site where it adjoins:

- (a) Carr Lane and
- (b) Any areas of land that have not been the subject of mineral extraction

Reason: To provide space for remedial works and gas monitoring boreholes and to protect existing hedges.

9. A minimum distance of 50m shall be maintained between any dwelling and the nearest mineral extraction area.

Reason: To protect residential amenities

10. The minimum depth of extraction shall be 12m below ordnance datum, as indicated on the applicant submitted plan No 333/109.

Reason: For the avoidance of doubt and in accordance with the proposals made by the applicant

11. Parking, loading and unloading shall only take place in the areas referred to in the submitted drawing no. 000/003/A2C.

Reason: In the interest of amenity and proper site operation.

12. Notwithstanding Part 19 of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking that Order), planning permission shall be required under Part III of the Town and Country Planning Act 1990 for the erection or re-siting of any building, plant or machinery or structure or erection of the nature of plant and machinery.

Reason: To enable the mineral planning authority to retain control over potentially intrusive development in the green belt.

13. Stockpiles of minerals shall not be located within areas 10,11 and 12 as shown in submitted plan 000/003/A2C and any stockpiles shall be no higher than the nearest unexcavated land or perimeter screen mounds if the stockpiles are closer to such mounds. For the avoidance of doubt, the term mineral in the context of this condition excludes top soil or subsoil.

Reason: In the interest of visual amenity.

14. No top soil or sub soil shall be removed from the site.

Reason: To preserve any suitable remaining on site material for site restoration.

15. Save for pumping operations which may be necessary in connection with operations required by condition 6 operations authorised by the planning permission and this determination, including the movement of heavy vehicles and plant entering and leaving the site shall be restricted to the following periods:-

07.00 to 19.00 hours Monday to Fridays
07.00 to 17.30 hours Saturdays

No operations or maintenance, servicing and testing of plant and vehicles shall take place outside these hours or on Sundays or Public Holidays except with the prior written approval of the mineral planning authority.

Reason: To protect nearby residents from excessive noise.

16. No landscape earthwork's authorised by this determination within 8m of the site perimeter shall be carried out except between the hours of 08.30 and 17.00 Mondays to Fridays inclusive, unless otherwise agreed in writing with the mineral planning authority. No landscape, earthwork's shall take place on Saturdays, Sundays, Bank or Public Holidays.

Reason: To protect nearby residents from excessive noise

17. The base of all storage mounds shall be located a minimum distance of four metres away from any existing hedge or tree on the perimeter of the site.

Reason: To protect existing hedges and trees.

18. Existing wheel cleaning equipment shall be maintained and shall remain positioned in its existing location shown on Working Plan No 000/003/A2C.

Reason: In the interest of highway safety.

19. All heavy goods vehicles leaving the site shall have their wheels cleaned by the equipment referred to in condition 18 or such other equipment as may be approved by the mineral planning authority.

Reason: In the interest of highway safety.

20. At all times when the site is operational, a water bowser or similar for the suppression of dust on all internal roads and areas crossed by heavy goods vehicles and plant shall be available within the site and shall be kept in full working order. The equipment shall be used as may be necessary to water areas within the site, so as to prevent the raising of dust.

Reason: To minimise the nuisance from dust.

21. Any existing internal roads shall be maintained and kept suitably hard surfaced with quarried limestone, brick hardcore, furnace slag, crushed concrete, tarmac or other materials agreed beforehand in writing with the mineral planning Authority. Any new internal roads shall be similarly treated before they are brought into use.

Reason: To minimise the nuisance from dust.

22. Noise levels from soil replacement or baffle mound formation, shall not exceed 70 dBL Aeq (1 hour) (freefield) measured at 1 metre from the facade of any house. Such operations shall not exceed a total of 8 weeks in any 12 month period and shall only take place between 08.30 and 17.00 hours Monday to Friday.

Reason: To protect nearby residents from excessive noise.

23. Other than those operations and restrictions referred to in condition 22 noise from the operations and any associated activities shall not exceed the following level when measured at 1 metre from the facade of any house:-

55 dBL Aeq (1 hour) (freefield) between

08.00 and 19.00 hours Mondays to Fridays and
08.00 and 13.00 hours Saturday

Reason: To protect nearby residents from excessive noise.

24. Between 06.30 and 08.00hrs and between 19.00 and 19.30 hours Monday to Friday and on Saturday between 06.30 and 08.00 hrs and between 13.00 and 17.30 hrs noise from the operations and any associated activities shall not exceed the following (measured as 1 hour Leq):-

- a) 47 dBA at the nearest house in Cardus Close.
- b) 53 dBA at any point 30 metres to the east of the site boundary to the north of the brickwork buildings.
- c) 48 dBA at the nearest house in Barn Hey Crescent.

Reason: To protect nearby residents from excessive noise.

25. All hedges and trees on the perimeter of the site shall be retained.

Reason: To protect trees and hedges.

26. By no later than the 3rd January 2016 restoration and aftercare schemes shall be submitted to the mineral planning authority for its approval in writing.

If schemes have not been submitted by this specified date the winning and working of mineral from the site shall cease until such time as schemes have been submitted. If schemes have not been approved by the mineral planning authority within six months of them having been submitted the winning and working of minerals shall cease unless and until an appeal against such failure to approve has been made to the Secretary of State and unless that appeal is still current and undecided. In such an eventuality the winning and working of minerals shall cease if the appeal is dismissed and it shall not recommence until schemes have been approved, except if the date of 3rd January 2014 has not passed in which circumstance, the mineral extraction activity may continue until that date.

Reason: in the interests of proper site restoration and afteruse.

27. The restoration scheme referred to in condition 26 shall be carried out and completed within 2 years of the cessation of working or such other period as may be approved in writing by the mineral planning authority during consideration of the restoration scheme referred to in condition 26.

Reason: In the interests of proper site restoration and afteruse.

28. The restoration scheme referred to in condition 27 shall provide for the restoration of the whole of the area subject to the scheme and shall include the following:-

- (a) final levels and gradients in the form of contour lines on which the final restoration and after use shall take place.
- (b) locations and depths of any water areas which may form part of the final restored site.
- (c) details of the use of soils and soil making materials, depth and nature of topsoil and subsoil and handling methods for soil movement.
- (d) details of the type of vegetation including numbers of species of trees, shrubs and other plants and grass and hedgerow seed mixes) over all areas not to be permanent water features
- (e) details of the afteruse of all parts of the site.
- (f) the location and composition of any hedges and the location and type of any fences,
- (g) the soiling of alt areas which are not designed to be permanent water areas,
- (h) preparation of the land for cultivation.
- (i) details of the measures to be taken to protect any water areas designed to form part of the restored site from pollution by any existing waste material that has previously been deposited on the site of this application.

Reason: In the interests of proper site restoration and afteruse.

29. Stockpiles consisting solely of subsoil shall not exceed 4 metres in height.

Reason: To prevent damage and degradation of restoration materials.

30. Top soil and subsoil shall not be stored in the same stockpile except in the following circumstances:-

- a) the stockpile shall be no more than 4 metres in height.
- b) only subsoil shall occupy the bottom 2 metres of any such stockpile.
- c) any topsoil shall be stored separately from and above the subsoil.
- d) before the placement of any topsoil on the subsoil comprising any stockpile the mineral

planning authority shall be given at least 14 days notice in writing to enable it to inspect the stockpile.

Reason: To prevent damage and degradation of restoration materials

31. Except in the circumstances set out in condition 30 topsoil shall be stored in a stockpile separate from any other material and stockpiles shall not exceed 2 metres in height.

Reason: To prevent damage and degradation of restoration materials

32. The surface of any subsoil, topsoil or subsoil/topsoil stockpiles shall be seeded with a leguminous seed mixture, details of which shall be submitted to and agreed in writing by the Mineral Planning Authority before the formation of any stockpiles. Seeding shall take place within six months of deposition of the stockpile to the satisfaction of the Mineral Planning Authority.

Reason: To prevent damage and degradation of restoration materials

33. The soil stockpiles shall only be located in the areas indicated on drawing no. 000/003/A2C and shall have side slopes no steeper than 1 in 1.

Reason; To prevent damage and degradation of restoration materials.

34. Plant and vehicles shall not cross or rest on areas of deposited topsoil or subsoil except for the purpose of working the soil in accordance with the aftercare plan.

Reason: To prevent damage and degradation of restoration materials.

35. The movement of topsoil and subsoil shall only be carried out when the material to be moved is sufficiently dry to minimise structural damage and only in dry weather conditions and in any event only between April and September.

Reason: To prevent damage and degradation of restoration materials.

36. For the purposes of this determination the permanent cessation of the winning and working of minerals shall mean not carrying out any mineral extraction for a period of 10 years from any location within the areas subject to the determination of conditions in applications IDDOC/95/6338/D and EADOC/97/6665/D.

Reason. In the interests of proper site restoration and afteruse.

37. Without prejudice to the requirements of conditions 26 and 27 in the event that the winning and working of minerals permanently ceases before the date specified in condition 1 without the full depth of mineral having been excavated, schemes of restoration and aftercare, which shall include the matters referred to in conditions 28 and 38, shall be submitted within 12 months of permanent cessation for the written approval of the mineral planning authority. Within 2 years of the written approval of the schemes by the mineral planning authority or any schemes which are approved on appeal by the Secretary of State or imposed by the mineral planning authority (or such other period as may be approved in writing by the mineral planning authority) the whole site shall be restored in accordance with the approved or imposed scheme. In the event of schemes being submitted to but not approved by the mineral planning authority and where no appeal is made against such non

approval the mineral planning authority shall impose schemes. Afteruse of the site in accordance with the approved or imposed scheme shall take place immediately following completion of restoration.

Reason: In the interests of proper site restoration and afteruse.

38. The restoration and aftercare schemes referred to in conditions 26 and 37 shall include details of the management of restored soils; (including fertiliser type, rates, method and timing of application); planting and maintenance of vegetation and drainage patterns for a five year aftercare period; provision of a proper means of surface water and soil drainage; a programme of work.

Reason: In the interests of proper site restoration and afteruse.

39. Restoration of the site shall not involve the use of any imported controlled waste other than that which is already on the site and not the subject of the enforcement notice issued on 2nd November 1989 nor shall it involve the filling of any existing or future voids with controlled waste already on the site, unless a separate planning permission is granted for such operations. For the avoidance of doubt, in this context 'the site' means the area subject of this application - ie the areas subject of Interim Development Order permission no. 6663.

Reason: In the interests of proper site restoration and afteruse.

40. Details of the type and amount of any imported materials to be used in the restoration of the site shall be provided as part of any restoration scheme. For the avoidance of doubt, (i) such materials cannot include any controlled waste (see condition 39) and (ii) "restoration" has the meaning given to the word in Minerals Planning Guidance (MPG) 14 paragraph 115

Reason: In the interests of proper site restoration and afteruse.

41. All soil materials used for restoration shall be free of stones greater than 150mm diameter and other deleterious materials.

Reason: In the interests of proper site restoration and afteruse.

42. No further work shall take place nor shall any vehicle, plant or equipment enter or be placed or allowed to remain on an area after it has been restored without the prior written agreement of the Mineral Planning Authority unless it is needed in connection with the maintenance of the area or the approved afteruse.

Reason; In the interests of proper site restoration and afteruse.

43. All plant associated with the excavation of clay shall be removed from the site on completion of day extraction, unless it is required for the restoration of the site.

Reason: In the interests of proper site restoration and afteruse.

44. The approved aftercare scheme(s) shall be implemented immediately following the completion of the relevant restoration scheme.

Reason: In the interests of proper site restoration and afteruse.

45. Unless previously agreed in writing by the Mineral Planning Authority, upon permanent cessation of mineral extraction all haul roads/access roads/areas of hardstanding created in connection with the development subject of Interim Development Order permission no. 6663 and this determination shall be broken up and removed from the site and the land restored in accordance with the approved scheme(s).

Reason: In the interests of proper site restoration and afteruse.

46. For the avoidance of doubt with the exception of the extraction depth referred to in Condition 10 none of the proposals contained in the submitted plans 333/101 to 125 or the submitted reports entitled 'Quality Assessment of Land Use, Restoration and Afteruse Proposals', 'Carr Lane Wildlife Reserve and Community Woodland Management Plan1 or the document attached to Cass Associates letters of 27th January 1995 are approved for the purposes of this determination.

Reason: In the interests of proper site restoration and afteruse.

47. All mobile fuel tanks shall incorporate an inner fuel holding tank and an outer bund tank of capacity at least equal to 110% of the inner tank. All filling points, vents, gauges and sight glasses shall be located within the bund. Oils, chemicals and greases shall be placed in a secure store and kept within the manufacturer's container.

Reason: To prevent pollution of watercourses and groundwater.

48. This determination relates to the area granted permission under the interim development order permission no. 6663 on 8th July 1947, this area being edged red on the plan endorsed 'approved' with Hoylake Urban District Council's stamp. In so far as it refers to the area subject of the interim development order permission, plan no. 000/003/A2C shall form part of this determination.

Reason: For the avoidance of doubt

49. Within six months of the date of this determination, or within six months of the recommencement of mineral extraction operations whichever is later a scheme for the disposal of all surface, ground and foul water arising within the site shall be submitted to, and for the approval of, the Mineral Planning Authority. Such a scheme shall be designed so as to avoid the contamination of surface and ground waters outside the site, and shall include details of the design and capacity of all settling ponds, drains, outfalls and sluices.

Reason: To ensure that drainage and settlement provision is adequate to avoid contamination of surface and ground waters, and in particular that the nearby Meols Meadows SSSI is not affected.

50. Within six months of the date of this determination, or within six months of the recommencement of mineral extraction operations whichever is later a scheme for the monitoring of surface water flow and quality from the site shall be submitted to, and for the approval of, the Mineral Planning Authority. Such a scheme shall include details of the measurements to be taken, and the frequency of monitoring.

Reason: To monitor the levels and quality of surface and ground waters

51. Within six months of the date of this determination, or within six months of the

recommencement of mineral extraction operations whichever is later a scheme for the monitoring of ground water levels and quality shall be submitted to, for the approval of, the Mineral Planning Authority. Such a scheme shall include:

- a. the locations of monitoring boreholes along the northern margins of Areas 2 and 10, and within Area 1, as shown on Drawing 000/003/A2C;
- b. the measurements to be taken and the frequency of monitoring.

Reason: To monitor the levels and quality of surface and ground waters.

52. The drainage scheme approved under Condition 49 above shall be implemented within one month of its approval, and maintained throughout the operation of the site, unless revised proposals are approved in writing by the Mineral Planning Authority under condition 55 below.

Reason: To ensure that the approved drainage, surface water and ground water drainage and monitoring schemes are implemented and amended as appropriate.

53. Notwithstanding the generality of Condition 52 above, the details of final restoration of any part of the site required by Conditions 26 and 27 shall include provision for any necessary amendments to the drainage scheme which arise as the site is restored.

Reason: To ensure that the approved drainage, surface water and ground water drainage and monitoring schemes are implemented and amended as appropriate.

54. The surface and ground water monitoring schemes approved under Condition 50 and 51 above shall be implemented throughout the operation of the site, unless otherwise agreed in writing beforehand by the Mineral Planning Authority. The results of the monitoring schemes shall be submitted to the Mineral Planning Authority within twenty eight days of each measurement being carried out

Reason: To ensure that the approved drainage, surface water and ground water drainage and monitoring schemes are implemented and amended as appropriate.

55. In the event that the results of the ground water and surface water monitoring schemes approved under Conditions 50 and 51 above indicate that the operation of the site is likely to harm the nature conservation interests of the nearby Meols Meadow SSSI due to the quantity of water disposed of, then:

a. a revised drainage scheme shall be submitted to the Mineral Planning Authority to replace the scheme approved under Condition 49 above; and

b. the revised drainage scheme shall be implemented within one month of its approval in writing by the Mineral Planning Authority.

Reason: Surrounding the site in order that potential impacts on Meols Meadow SSSI arising from the development can be identified, assessed and where appropriate incorporated into the design of the final restoration scheme for the site.

56. Within six months of the date of this determination, or before excavation proceeds below Om. Ordnance Datum (whichever the sooner) the applicant shall submit records of boreholes constructed and logged in accordance with BS5930, at not more than 150metres spacing around the periphery of the proposed clay extraction area (unless revised proposals

are approved in writing by the Mineral Planning Authority) in order to prove the nature of the ground and the groundwater conditions therein.

The depth of these boreholes shall be adequate to provide the information necessary to carry out geotechnical analysis demonstrating stability of the base and sides of the proposed excavation.

Piezometers shall be installed in all individual sand and gravel or sandstone layers encountered in such boreholes, and the sections of open borehole between the piezometers shall be sealed to prevent leakage of water between geological layers unless revised proposals are approved in writing by the Mineral Planning Authority.

Reason: To prove the existence of the clay mineral to the depths proposed to be worked (mineral cannot be worked where it does not exist).

57. Once installed, the piezometers shall be protected against damage or interference and subject to monthly water level monitoring to be submitted to the Mineral Planning Authority within 15 weeks of each set of readings, unless revised proposals are approved in writing by the Mineral Planning Authority.

If any of the monitoring piezometers is lost or damaged rendering it inoperable, it must be replaced within ten weeks of the damage or loss.

Reason: To prove the existence of the clay mineral to the depths proposed to be worked. (Mineral cannot be worked where it does not exist).

To provide ground water and geological information fundamentally required to assess the practical geotechnical stability of the site, in particular the stability of the excavation sides and the ability of residual superficial deposits to resist basal heave caused by groundwater pressure in the underlying strata.

This information will also provide essential information required for the planning and assessment of the feasibility of restoration proposals (see conditions 59 and 60),

58. No waste or restoration materials other than topsoil or subsoil in accordance with the Interdepartmental Committee on the Redevelopment of Contaminated Land Guidelines 59/83 for Parks, Playing Fields and Open Space shall be imported to the site until a restoration scheme has been agreed with the Mineral Planning Authority.

Reason: To protect water resources.

59. No restoration scheme shall incorporate a water body with a top water level above the base of the existing waste deposits in or beneath the adjoining land affected by the Enforcement Notice referred to on drawing 333/109 unless hydraulic isolation from those wastes can be demonstrated to the written satisfaction of the mineral planning authority as advised by the Environment Agency.

Reason: To protect water resources.

60. There shall be no deposit of waste or restoration materials direct into Controlled Waters and controlled waste or leachate from it must not come into contact with groundwater, unless hydraulic isolation from those waters can be demonstrated to the written satisfaction of the Mineral Planning Authority as advised by the Environment Agency.

Reason: To protect water resources.

61. Within 12 months of the date of this decision, an Ecological Appraisal shall be submitted to the mineral planning authority for its approval in writing,

For the avoidance of doubt, the Ecological Appraisal shall include the following matters:

- a desktop study and consultation with Cheshire rECOrd to identify any records for protected and/or notable species, sites and habitats on or within 2km of the site;
- an Extended Phase 1 Habitat survey to identify the habitats present on and adjoining the site, with maps and target notes appended to the report, in accordance with methods set out in the JNCC Handbook for Phase 1 Habitat Survey;
- the potential for protected and/or notable species and any requirements for specialist surveys e.g. breeding birds, bats, water vole. Where specialist surveys are required, the report should identify when these surveys will be undertaken to inform the restoration and aftercare of the site;
- identify any ecological impacts as a result of ongoing use or future site use and suggest measures for avoidance and/or mitigation;
- identify opportunities to maximise the contribution of the proposed development to biodiversity in line with the biodiversity duty set out in Sections 40 and 41 of the Natural Environment and Rural Communities Act (NERC) 2006 and the NPPF;
- identify any invasive species list on Schedule 9 of the Wildlife and Countryside Act 1981 as amended, present on the site or within 7m of the site boundary. The location and extent of any invasive species should be shown on a scaled plan included with the survey report.

If an Appraisal has not been submitted by this specified date the winning and working of mineral from the site shall cease until such time as an Appraisal has been submitted. If the Appraisal has not been approved by the mineral planning authority within six months of it been submitted, the winning and working of minerals shall cease unless and until an appeal against such failure to approve has been made to the Secretary of State and unless that appeal is still current and undecided. In such an eventuality the winning and working of minerals shall cease if the appeal is dismissed and it shall not recommence until an Appraisal has been approved, except if the date is still within 12 months of the date of this permission, in which case the mineral extraction activity may continue until that date,

Reason: In the interests of ensuring appropriate updated ecological and environmental information, to update the Environmental Statement to APP/2001/6405/D and inform the restoration and aftercare of the site, having regard to UPD Policies NC01, NC4 and NC7, and the National Planning Policy Framework.

Further Notes for Committee:

Last Comments By: 11/05/2015 09:33:06

Expiry Date: 25/05/2015

**Planning Applications Decided Under
Delegated Powers Between
10/04/2015 and 22/05/2015**

Application No.: LBC/14/00112 **Application Type:** Listed Building Consent
Ward: New Brighton **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Withdrawn
Case Officer: Mr M Crook
Applicant: **Agent:** Ainsley Gommon Architects
Location: 24 WELLINGTON ROAD, NEW BRIGHTON, CH45 2NG
Proposal: Replacement of a structurally defective rear access stair from a first floor communal hallway to the rear garden of the flats.

Application No.: APP/14/00186 **Application Type:** Full Planning Permission
Ward: New Brighton **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Approve
Case Officer: Mrs S Day
Applicant: Mr Barry O'Conner **Agent:** O'Rourke Smith Architecture
Location: The Sea Level Hotel, 126 VICTORIA ROAD, NEW BRIGHTON, CH45 9LD
Proposal: Partial change of use of existing hotel to incorporate retail function and erection of a dormer

Application No.: APP/14/00978 **Application Type:** Full Planning Permission
Ward: West Kirby and Thurstaston **Decision Level:** Delegated
Decision Date: 13/04/2015 **Decision:** Refuse
Case Officer: Mrs S Day
Applicant: Mr Fisher **Agent:** LHGProjects
Location: Land to the rear of 22 GRAMMAR SCHOOL LANE, NEWTON, CH48 8AY
Proposal: Erection of 3 No. detached dwellings on vacant land(amended details)

Application No.: APP/14/01074 **Application Type:** Full Planning Permission
Ward: Bromborough **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: **Agent:** Garry Usherwood Associates Limited
Location: Amenity Open Space Site 1, NEW FERRY ROAD, NEW FERRY
Proposal: Erection of three terraced houses 2.5 storey high.

Application No.: DLS/14/01219 **Application Type:** Reserved Matters
Ward: Birkenhead and Tranmere **Decision Level:** Delegated
Decision Date: 16/04/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: **Agent:** Spring Architects Ltd
Location: Rear of Birkenhead Community Fire Station, EXMOUTH STREET, BIRKENHEAD, CH41 4NF
Proposal: Erection of 3 dwellings

Application No.: APP/14/01269 **Application Type:** Full Planning Permission
Ward: Eastham **Decision Level:** Delegated
Decision Date: 20/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: **Agent:**
Location: Bromborough Paint and Building Supplies, Harrisons Yard, BRIDLE ROAD, EASTHAM, CH62 8AS
Proposal: Residential development of 44 units

Application No.: LBC/14/01281 **Application Type:** Listed Building Consent
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 14/05/2015 **Decision:** Approve
Case Officer: Mr M Crook
Applicant: Mr & Mrs Povoas **Agent:** Lightblue Solutions Ltd
Location: Yew Tree House, FRANKBY ROAD, FRANKBY, CH48 1PE
Proposal: Variation to details of previously approved attached greenhouse, arising from exposure of underground water cistern encountered during preparation for execution of the works

Application No.: APP/14/01320 **Application Type:** Full Planning Permission
Ward: Leasowe and Moreton East **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: **Agent:** Bryson McHugh Architects
Location: Cleared Site, CAMERON ROAD, LEASOWE, CH46 1PL
Proposal: Residential Development Creating 6 x No. 3 Bed Dwellings on Land Opposite No39 Cameron Road, Leasowe, Wirral, CH46 1PL

Application No.: APP/14/01336 **Application Type:** Full Planning Permission
Ward: West Kirby and Thurstaston **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Refuse
Case Officer: Mr N Williams
Applicant: Mr W Piercy **Agent:** JWPC Ltd
Location: Land north of 7 HOLM HILL, WEST KIRBY, CH48 7JA
Proposal: Erection of 3 No. two-storey dwellings with vehicular access

Application No.: APP/14/01422 **Application Type:** Full Planning Permission
Ward: Birkenhead and Tranmere **Decision Level:** Delegated
Decision Date: 29/04/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: **Agent:** JLL
Location: UNIT 33 BOROUGH PAVEMENT, BIRKENHEAD, CH41 2XX
Proposal: Replacement flat roof located behind the existing parapet wall.

Application No.: APP/14/01545 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 18/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: **Agent:** J Bargiel Architectural Consultants
Location: Hoylake Cottage Hospital, BIRKENHEAD ROAD, HOYLAKE, CH47 5AQ
Proposal: Associated works to Hoylake Cottage including new link building, bin store area and extension to car park area/landscaping

Application No.: APP/14/01564 **Application Type:** Full Planning Permission
Ward: Wallasey **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr David Ashley **Agent:** Building Design Solutions Ltd
Location: 111 CLAREMOUNT ROAD, LISCARD, CH45 3JG
Proposal: To provide a single storey extension to the front of the property - housing an entrance porch and a bin store. Also, to provide a first floor extension over the existing integral garage to the front / side of the property, external doors to basement.

Application No.: APP/14/01573 **Application Type:** Full Planning Permission
Ward: Birkenhead and
Tranmere **Decision Level:** Delegated
Decision Date: 15/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: **Agent:** KDP Architects
Location: Potts and Kerr Patent Attorney, 15-16 HAMILTON SQUARE, BIRKENHEAD, CH41 6AX
Proposal: Conversion of Listed building into 10 No. apartments

Application No.: LBC/14/01574 **Application Type:** Listed Building Consent
Ward: Birkenhead and
Tranmere **Decision Level:** Delegated
Decision Date: 15/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: **Agent:** KDP Architects
Location: Potts and Kerr Patent Attorney, 15-16 HAMILTON SQUARE, BIRKENHEAD, CH41 6AX
Proposal: Conversion of Listed building into 10 No. 2-bed apartments

Application No.: APP/14/01584 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 18/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr Charles O'Donnell **Agent:**
Location: Topkapi, 6 RHODESWAY, GAYTON, CH60 2UB
Proposal: Loft conversion with rear dormer and raised ridge

Application No.: APP/15/00037 **Application Type:** Full Planning Permission
Ward: Bromborough **Decision Level:** Delegated
Decision Date: 19/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Miss L McCann **Agent:**
Location: 55 BOLTON ROAD EAST, NEW FERRY, CH62 4RU
Proposal: Full width ground floor extension to rear to incorporate new kitchen & dining area. Partial extension to first floor to allow for larger bathroom.

Application No.: APP/15/00064 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Cotgrave **Agent:** KJP Architecture
Location: Land to the rear of 21 GAYTON PARKWAY, GAYTON, CH60 3SZ
Proposal: Erection of new dwelling at land to the rear of 21 Gayton Parkway - change of house type to that which was previously approved - 13/00735

Application No.: DLS/15/00082 **Application Type:** Reserved Matters
Ward: Heswall **Decision Level:** Delegated
Decision Date: 21/05/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Mr & Mrs Richings **Agent:** Atelier 2 Architecture
Location: Land at 328 TELEGRAPH ROAD, HESWALL, CH60 6RW
Proposal: Reserved matters in relation to erection of a new single detached dwelling

Application No.: APP/15/00085 **Application Type:** Full Planning Permission
Ward: Bidston and St James **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: **Agent:** AYLWARD TOWN PLANNING LTD
Location: Junction One Retail Park, BIDSTON MOSS, LEASOWE
Proposal: Planning application for the extension of unit 2a, the erection of a new retail unit (unit 9) and associated works to car parking and servicing. Land at Junction 1 Retail Park, Bidston Moss, Leasowe, CH44 2HE

Application No.: APP/15/00096 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 28/04/2015 **Decision:** Approve
Case Officer: Mr S Williamson
Applicant: Mrs S Jobber **Agent:** Bryson McHugh Architects
Location: 9 BUFFS LANE, BARNSTON, CH60 2SQ
Proposal: Erection of single storey extension to provide disabled persons adaption facilities

Application No.: APP/15/00120 **Application Type:** Full Planning Permission
Ward: Claughton **Decision Level:** Delegated
Decision Date: 14/05/2015 **Decision:** Refuse
Case Officer: Mrs MA Jackson
Applicant: Mr J Winters **Agent:** Mr H Jones
Location: 9 ASHBURTON ROAD, CLAUGHTON, CH43 8TN
Proposal: Demolition of existing rear extension and construction of new pitched roof single storey rear extension.

Application No.: APP/15/00130 **Application Type:** Full Planning Permission
Ward: Rock Ferry **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr N Burrows **Agent:**
Location: 26 ROCKLANDS AVENUE, HIGHER BEBINGTON, CH63 7LJ
Proposal: Proposed single storey side extension

Application No.: ADV/15/00137 **Application Type:** Advertisement Consent
Ward: Rock Ferry **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Refuse
Case Officer: Mr S Lacey
Applicant: **Agent:** Astley Signs
Location: Victoria Park Health Centre, BEDFORD AVENUE, ROCK FERRY, CH42 4QX
Proposal: Erection of 1No. single sided post mounted sign

Application No.: LDP/15/00139 **Application Type:** Lawful Development Certificate Proposed
Ward: Prenton **Decision Level:** Delegated
Decision Date: 20/04/2015 **Decision:** Not Lawful Use
Case Officer: Miss A McDougall
Applicant: Mr R Ellis **Agent:** GBS Design Services
Location: 61 NORTH ROAD, TRANMERE, CH42 7JQ
Proposal: The conversion of the house to a 6 person HMO.

Application No.: LBC/15/00140 **Application Type:** Listed Building Consent
Ward: Upton **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Approve
Case Officer: Mrs J Malpas
Applicant: **Agent:** marsh associates
Location: The Manor House Nursing Home, MANORSIDE CLOSE, UPTON, CH49 4PP
Proposal: Alterations to ground floor reception area to form new visitors/disabled toilet and to second floor bedroom 401 en-suite to form new shower room.

Application No.: APP/15/00150 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 21/05/2015 **Decision:** Withdrawn
Case Officer: Mrs J McMahon
Applicant: Ms M Farley **Agent:** Mr John Theobald
Location: 47 HAWTHORNE DRIVE, PENSBY, CH61 6UP
Proposal: Demolition of existing garage, erection of rear single storey extension, 2 storey front extension and loft conversion with rear dormer

Application No.: APP/15/00151 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 21/04/2015 **Decision:** Approve
Case Officer: Mrs J Malpas
Applicant: Mr Mark McLelland **Agent:** C W Jones
Location: Flat 2,13 THE KINGS GAP, HOYLAKES, CH47 1HQ
Proposal: Install dormer window

Application No.: APP/15/00153 **Application Type:** Full Planning Permission
Ward: West Kirby and Thurstaston **Decision Level:** Delegated
Decision Date: 21/04/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: Mrs P Faragher **Agent:** Garry Usherwood Associates Limited
Location: Holly Tree House, COLUMN ROAD, NEWTON, CH48 1LG
Proposal: Erection of new dwelling

Application No.: APP/15/00155 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 14/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr C Glaysher **Agent:** Peter Goddard
Location: 10 ISLIP CLOSE, IRBY, CH61 4YW
Proposal: First Floor Side and Front Extension

Application No.: APP/15/00160 **Application Type:** Full Planning Permission
Ward: Leasowe and Moreton East **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr B Calvert **Agent:**
Location: 6 AVONDALE AVENUE, MORETON, CH46 9PH
Proposal: Two storey side extension and extension to the roof.

Application No.:	APP/15/00162	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	14/04/2015	Decision:	Approve
Case Officer:	Mrs J Malpas		
Applicant:	Mr M Hill	Agent:	Paterson Macaulay & Owens
Location:	Sepia, 8 CALDY WOOD, CALDY, CH48 2LT		
Proposal:	Erection of a 2 storey side extension		
Application No.:	APP/15/00163	Application Type:	Full Planning Permission
Ward:	Seacombe	Decision Level:	Delegated
Decision Date:	21/04/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:		Agent:	D.J. Cooke & Co Ltd
Location:	Cleared Site Adjacent Kelvin Park, DOCK ROAD, SEACOMBE, CH41 1DG		
Proposal:	Formation of additional vehicular and pedestrian access into existing site.		
Application No.:	APP/15/00165	Application Type:	Full Planning Permission
Ward:	Prenton	Decision Level:	Delegated
Decision Date:	10/04/2015	Decision:	Approve
Case Officer:	Mrs MA Jackson		
Applicant:	Mr & Mrs JACKSON	Agent:	
Location:	7 QUEENS DRIVE, PRENTON, CH43 0RR		
Proposal:	Garage conversion and front dormer extension at first floor		
Application No.:	DPP3/15/00173	Application Type:	Work for Council by Council
Ward:	Moreton West and Saughall Massie	Decision Level:	Delegated
Decision Date:	17/04/2015	Decision:	Approve
Case Officer:	Mr M Crook		
Applicant:		Agent:	
Location:	Corner Pasture Road & Maryland Lane, Moreton		
Proposal:	Relocation of Moreton war memorial		
Application No.:	COMX/15/00178	Application Type:	Prior Approval Commercial PD
Ward:	Cloughton	Decision Level:	Delegated
Decision Date:	15/04/2015	Decision:	Prior approval is not required
Case Officer:	Mr K Spilsbury		
Applicant:	Ms S Brandon	Agent:	
Location:	12 LINGDALE ROAD NORTH, CLAUGHTON, CH41 0DA		
Proposal:	Prior approval of proposed change of use of a building to a use falling within Class C3 (dwellinghouse) of the Schedule to the Use Classes Order from a use falling within Class B1(a) (offices) of that Schedule.		

Application No.: LDP/15/00199 **Application Type:** Lawful Development Certificate Proposed
Ward: Prenton **Decision Level:** Delegated
Decision Date: 13/04/2015 **Decision:** Permitted development
Case Officer: Mrs J McMahon
Applicant: Mr & Mrs Radford **Agent:** MgMaStudio Ltd.
Location: 20 ELM ROAD NORTH, PRENTON, CH42 9PA
Proposal: To form loft conversion, install rooflights and extend existing chimney, together with the formation of a new opening to the ground floor rear elevation.

Application No.: LDP/15/00203 **Application Type:** Lawful Development Certificate Proposed
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 20/04/2015 **Decision:** Not Lawful Use
Case Officer: Mr S Williamson
Applicant: Mr R Ruffler **Agent:** Mrs J Ruffler
Location: 6 ROLLESTON DRIVE, BEBINGTON, CH63 3DB
Proposal: Demolition of existing single storey element of dwelling to be replaced with new single storey extension to provide kitchen accommodation. Minor drainage alterations required to suit proposed layout

Application No.: APP/15/00205 **Application Type:** Full Planning Permission
Ward: Birkenhead and Tranmere **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr M Haque **Agent:** Raymond Lear MCIAT
Location: 49 Willmer Road, Tranmere, Wirral
Proposal: Variation of Condition 3 (APP/14/00757) to allow for use as childrens Islamic teaching and prayer between 1pm and 5pm on Saturdays and Sundays.

Application No.: APP/15/00208 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 14/04/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Millington **Agent:** The Kenefick Jones Partnership Ltd
Location: 43 DOWNHAM DRIVE, HESWALL, CH60 5RE
Proposal: Two Storey Side, Single Storey Rear, Hip to gable roof extension and rear dormer with internal alterations

Application No.: APP/15/00209 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Approve
Case Officer: Mrs J Malpas
Applicant: Mr & Mrs C Johnson **Agent:** Lightblue Solutions Ltd
Location: Poplar Farm, FRANKBY ROAD, FRANKBY, CH48 1PP
Proposal: Demolition of existing and construction of new front entry porch with downstairs wc

Application No.:	APP/15/00210	Application Type:	Full Planning Permission
Ward:	Oxton	Decision Level:	Delegated
Decision Date:	15/05/2015	Decision:	Approve
Case Officer:	Mrs MA Jackson		
Applicant:	Mr David Dooley	Agent:	Cestrian Glazing
Location:	1 WOODBANK PARK, OXTON, CH43 9WN		
Proposal:	Conservatory to rear of property		
Application No.:	APP/15/00211	Application Type:	Full Planning Permission
Ward:	Clatterbridge	Decision Level:	Delegated
Decision Date:	12/05/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr D Crosthwaite	Agent:	RADM Architects
Location:	23 THORNFIELD HEY, SPITAL, CH63 9JT		
Proposal:	Proposed single storey side and rear extension with internal modifications.		
Application No.:	APP/15/00213	Application Type:	Full Planning Permission
Ward:	Greasby Frankby and Irby	Decision Level:	Delegated
Decision Date:	07/05/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:	Mr Ian Dawson	Agent:	C W Jones
Location:	Land adjacent to 38 THURSTASTON ROAD, IRBY, CH61 0HF		
Proposal:	Erection of detached house		
Application No.:	APP/15/00216	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	18/05/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr N Bradshaw	Agent:	Collins Architecture
Location:	41 LUDLOW DRIVE, WEST KIRBY, CH48 3JG		
Proposal:	Single storey side extension to existing attached garage		
Application No.:	ADV/15/00218	Application Type:	Advertisement Consent
Ward:	Rock Ferry	Decision Level:	Delegated
Decision Date:	29/04/2015	Decision:	Approve
Case Officer:	Mrs MA Jackson		
Applicant:		Agent:	The Clarke Darby Partnership
Location:	Prenton High School For Girls, HESKETH AVENUE, ROCK FERRY, CH42 6RR		
Proposal:	4nr signs fixed to the building 5nr free-standing signs on posts		

Application No.: APP/15/00220 **Application Type:** Full Planning Permission
Ward: Liscard **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: **Agent:** Bryson McHugh Architects
Location: Land at Corner of King Street and Church Street, KING STREET, EGREMONT
Proposal: Erection of 3 one bed dwellings

Application No.: LBC/15/00221 **Application Type:** Listed Building Consent
Ward: Bromborough **Decision Level:** Delegated
Decision Date: 06/05/2015 **Decision:** Approve
Case Officer: Mr M Crook
Applicant: Mrs C Walker **Agent:**
Location: 2 Duke Of York Cottages, GREENDALE ROAD, PORT SUNLIGHT, CH62 5DD
Proposal: Listed building consent to continue with the use of an existing satellite dish on the chimney.

Application No.: APP/15/00223 **Application Type:** Full Planning Permission
Ward: Eastham **Decision Level:** Delegated
Decision Date: 20/04/2015 **Decision:** Withdrawn
Case Officer: Mr K Spilsbury
Applicant: Mr Edward Nugent **Agent:** Mr Robert Graham
Location: LAND ADJACENT TO, 13-15 EASTHAM VILLAGE ROAD, EASTHAM, CH62 0BL
Proposal: Proposed new two storey dwelling house on vacant land

Application No.: APP/15/00224 **Application Type:** Full Planning Permission
Ward: Upton **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr T Harrison **Agent:** Bryson McHugh Architects
Location: 4 WHITEWELL DRIVE, UPTON, CH49 4PE
Proposal: Erection of two storey side extension.

Application No.: APP/15/00226 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Approve
Case Officer: Mrs J Malpas
Applicant: Mr & Mrs Smith **Agent:** Peter Goddard
Location: 5 BARKER ROAD, IRBY, CH61 3XH
Proposal: Two storey rear extension, a front porch and a front dormer.

Application No.: APP/15/00227 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Refuse
Case Officer: Mrs S Day
Applicant: Mr Barry Elkman **Agent:** Hogan Drawing Shop Ltd
Location: The Old Garden, 4 MEOLS DRIVE, HOYLAKE, CH47 4AQ
Proposal: Conversion of existing dwelling into two separate dwellings, including extension and alterations

Application No.: APP/15/00228 **Application Type:** Full Planning Permission
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 14/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr Stephen Isaac **Agent:** Mr G Brown
Location: 58 KESWICK AVENUE, EASTHAM, CH63 0NP
Proposal: Replacement of side single storey garage, utility room and wc with a single storey family room, utility room and wc, with a first floor extension over utility room and wc together with a single storey extension to existing garage to the rear

Application No.: APP/15/00230 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 20/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr Andrew Wynne **Agent:**
Location: Norby, 10 WOODLANDS DRIVE, BARNSTON, CH61 1AL
Proposal: Remove existing conservatory and extend rear dining room

Application No.: APP/15/00231 **Application Type:** Full Planning Permission
Ward: Leasowe and Moreton East **Decision Level:** Delegated
Decision Date: 16/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr Geoff Barnett **Agent:**
Location: 38 BULLRUSH DRIVE, LEASOWE, CH46 1SX
Proposal: Single storey side and rear extension

Application No.: AGN/15/00236 **Application Type:** Prior Notification of Agricultural Works
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 22/04/2015 **Decision:** Not an application
Case Officer: Mrs C Parker
Applicant: Mr Neil Stuart **Agent:**
Location: Land at Holmwood Drive, THINGWALL
Proposal: A shipping container to be used for agricultural storage clad in a living green wall made from a wooden frame.

Application No.: APP/15/00237 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 24/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr & Mrs Fletcher **Agent:** Kevin O'Reilly MCIAT
Location: 36 RIGBY DRIVE, GREASBY, CH49 1RF
Proposal: Single storey extension to rear and side of property

Application No.: APP/15/00238 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr & Mrs Jolley **Agent:** The Kenefick Jones Partnership Ltd
Location: 14 GULLS WAY, HESWALL, CH60 9JQ
Proposal: Ground floor extensions and alterations to roof including raising the height by 1 metre and dormer extensions to the front and rear.

Application No.: APP/15/00241 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mrs C Parry **Agent:**
Location: 39 ASHLEA ROAD, PENSBY, CH61 5UG
Proposal: To extend to the side with a double storey extension and a single storey extension to the front and rear.

Application No.: APP/15/00243 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr Q McCormick **Agent:** Hogan Drawings Shop Ltd
Location: 62 BERTRAM DRIVE, MEOLS, CH47 0LJ
Proposal: Single storey rear extension

Application No.: APP/15/00246 **Application Type:** Full Planning Permission
Ward: Bromborough **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Approve
Case Officer: Ms J Storey
Applicant: **Agent:**
Location: Prices Sports and Social Club, SOUTH VIEW, BROMBOROUGH
Proposal: Creation of car park at Price's Sports Ground, Bromborough Pool, Wirral

Application No.:	APP/15/00247	Application Type:	Full Planning Permission
Ward:	Oxton	Decision Level:	Delegated
Decision Date:	17/04/2015	Decision:	Refuse
Case Officer:	Mrs J McMahon		
Applicant:	Mr P Haresnape	Agent:	Kriss Cringle Associates
Location:	3 PARRS ROAD, OXTON, CH43 5TX		
Proposal:	Erection of a single storey Orangery Extension at the rear of the property		
Application No.:	APP/15/00248	Application Type:	Full Planning Permission
Ward:	Oxton	Decision Level:	Delegated
Decision Date:	06/05/2015	Decision:	Approve
Case Officer:	Mrs S Day		
Applicant:	Mr Andrew Mackintosh	Agent:	C W Jones
Location:	14 WOODBANK PARK, OXTON, CH43 9WN		
Proposal:	Convert garage to habitable use, erect new garage		
Application No.:	APP/15/00251	Application Type:	Full Planning Permission
Ward:	New Brighton	Decision Level:	Delegated
Decision Date:	20/04/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:		Agent:	C W Jones
Location:	86A PENKETT ROAD, LISCARD, CH45 7QA		
Proposal:	Change of use from offices to 4 No. self-contained flats		
Application No.:	APP/15/00252	Application Type:	Full Planning Permission
Ward:	Wallasey	Decision Level:	Delegated
Decision Date:	12/05/2015	Decision:	Approve
Case Officer:	Mr K Spilsbury		
Applicant:	Mrs S Pickthall	Agent:	
Location:	3 NEWLAND DRIVE, LISCARD, CH44 2AX		
Proposal:	Change of use from a builders yard to a day nursery		
Application No.:	OUT/15/00253	Application Type:	Outline Planning Permission
Ward:	Moreton West and Saughall Massie	Decision Level:	Delegated
Decision Date:	21/04/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:	Mr McGowan	Agent:	
Location:	Unused Land adjacent to 70 MEADOWBROOK ROAD, MORETON		
Proposal:	Single storey detached dwelling with garage, access from Meadowbrook Road, with large garden to the rear and driveway to the front providing off road parking.		

Application No.:	APP/15/00254	Application Type:	Full Planning Permission
Ward:	Hoylake and Meols	Decision Level:	Delegated
Decision Date:	17/04/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:	Mr & Mrs Pennington	Agent:	Bryson McHugh Architects
Location:	87 QUEENS AVENUE, MEOLS, CH47 0LT		
Proposal:	First floor side extension (amended design)		
Application No.:	APP/15/00255	Application Type:	Full Planning Permission
Ward:	Greasby Frankby and Irby	Decision Level:	Delegated
Decision Date:	17/04/2015	Decision:	Approve
Case Officer:	Mrs S Day		
Applicant:	Mr & Mrs Silcock	Agent:	architects-direct.com
Location:	38 THURSTASTON ROAD, IRBY, CH61 0HF		
Proposal:	New side extension incorporating garden room and garage		
Application No.:	APP/15/00256	Application Type:	Full Planning Permission
Ward:	Moreton West and Saughall Massie	Decision Level:	Delegated
Decision Date:	20/04/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:	Mr Charlie Hollywood	Agent:	
Location:	11 COWLEY CLOSE, UPTON, CH49 4GR		
Proposal:	Single storey front/side extension		
Application No.:	APP/15/00257	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	20/04/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr & Mrs Morton	Agent:	The Kenefick Jones Partnership Ltd
Location:	6 LUDLOW DRIVE, WEST KIRBY, CH48 3JQ		
Proposal:	Two Storey Side & Rear Extension and Internal Alterations - amended proposal to APP/14/00330		
Application No.:	APP/15/00259	Application Type:	Full Planning Permission
Ward:	Bebington	Decision Level:	Delegated
Decision Date:	20/04/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr R Bowers	Agent:	
Location:	26 ACREVILLE ROAD, BEBINGTON, CH63 2HY		
Proposal:	Single storey extension to rear and side		

Application No.:	APP/15/00260	Application Type:	Full Planning Permission
Ward:	Bebington	Decision Level:	Delegated
Decision Date:	18/05/2015	Decision:	Approve
Case Officer:	Mrs S Day		
Applicant:		Agent:	
Location:	222A TOWN LANE, HIGHER BEBINGTON, CH63 8LG		
Proposal:	Change of use from residential flat to sui generis - Beauty Salon		
Application No.:	APP/15/00261	Application Type:	Full Planning Permission
Ward:	Birkenhead and Tranmere	Decision Level:	Delegated
Decision Date:	18/05/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:		Agent:	
Location:	Club Image, 7 WHETSTONE LANE, BIRKENHEAD, CH41 2QS		
Proposal:	Change of use to a place of worship		
Application No.:	APP/15/00262	Application Type:	Full Planning Permission
Ward:	Pensby and Thingwall	Decision Level:	Delegated
Decision Date:	29/04/2015	Decision:	Approve
Case Officer:	Mrs MA Jackson		
Applicant:	Mr M Cottrell	Agent:	Neil Braithwaite Architect
Location:	6 MARLSTON AVENUE, IRBY, CH61 3XU		
Proposal:	Single storey extension to front, side and rear. Relocation of drive with new access off highway		
Application No.:	APP/15/00263	Application Type:	Full Planning Permission
Ward:	Upton	Decision Level:	Delegated
Decision Date:	30/04/2015	Decision:	Approve
Case Officer:	Mrs MA Jackson		
Applicant:	Mr Mark Morris	Agent:	Mr Mark Jones
Location:	66 FORD ROAD, UPTON, CH49 0TG		
Proposal:	Proposed Conversion of Existing Garage to Form a Bedroom to the Existing Dwelling and Extensions to Construct a New Attached Garage & Attached Store Room to the Ground Floor of the Existing Dwelling		
Application No.:	APP/15/00264	Application Type:	Full Planning Permission
Ward:	Heswall	Decision Level:	Delegated
Decision Date:	22/04/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr Donnelly	Agent:	
Location:	32 DAVENPORT ROAD, HESWALL, CH60 9LF		
Proposal:	Part single storey extension to front elevation with balcony above. Double storey extension to side and rear and 1.5 metre high boundary wall/fence at the front.		

Application No.: APP/15/00265 **Application Type:** Full Planning Permission
Ward: New Brighton **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Approve
Case Officer: Ms J Storey
Applicant: **Agent:** Roman Summer Associates Ltd
Location: 6 Marine Point, KINGS PARADE, NEW BRIGHTON, CH45 2PB
Proposal: Erection of 99 sqm front extension to existing commercial unit for use as a Class A3 restaurant, and change of use of part of roof to form a circa 130 sqm roof terrace with associated balustrade and other works (all to form part of the restaurant)

Application No.: APP/15/00266 **Application Type:** Full Planning Permission
Ward: Eastham **Decision Level:** Delegated
Decision Date: 22/04/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr Stephen Anderson **Agent:**
Location: 23 CARLETT BOULEVARD, EASTHAM, CH62 8BZ
Proposal: Remove existing buildings, construct a single storey rear extension

Application No.: APP/15/00275 **Application Type:** Full Planning Permission
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 08/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr Nick Parry **Agent:**
Location: 2 TEESDALE ROAD, BEBINGTON, CH63 3AS
Proposal: Attach pitched roof garage to side of dwelling

Application No.: APP/15/00276 **Application Type:** Full Planning Permission
Ward: Liscard **Decision Level:** Delegated
Decision Date: 24/04/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr D Smith **Agent:** Spring Architects Ltd
Location: Acme Plumbers, 41 WRIGHT STREET, EGREMONT, CH44 8BD
Proposal: Conversion into two dwellings with extensions and alterations to existing buildings.

Application No.: APP/15/00277 **Application Type:** Full Planning Permission
Ward: New Brighton **Decision Level:** Delegated
Decision Date: 20/05/2015 **Decision:** Approve
Case Officer: Mrs S Day
Applicant: Mrs Anne Coles **Agent:** ACR
Location: 169-171 VICTORIA ROAD, NEW BRIGHTON, CH45 9LB
Proposal: The conversion of two existing properties from around 20 bedsits into 14 apartments ranging from studio to two-bedroom apartments.

Application No.:	APP/15/00281	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	19/05/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:	Mr Colin Jones	Agent:	Mr Peter Hinton
Location:	Land north of 18 GRAMMAR SCHOOL LANE, NEWTON, CH48 8AY		
Proposal:	Erection of detached dwelling house and garage (amended plans)		
Application No.:	ADV/15/00285	Application Type:	Advertisement Consent
Ward:	Bidston and St James	Decision Level:	Delegated
Decision Date:	27/04/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:	Mr Kevin Curtis	Agent:	Mr Raymond Lear
Location:	Unused Land, LAIRD STREET, BIRKENHEAD, CH41 8ES		
Proposal:	Erection of 1 illuminated hoarding		
Application No.:	ADV/15/00286	Application Type:	Advertisement Consent
Ward:	Moreton West and Saughall Massie	Decision Level:	Delegated
Decision Date:	24/04/2015	Decision:	Approve
Case Officer:	Mrs C Parker		
Applicant:		Agent:	Donani Consulting Ltd
Location:	246 HOYLAKE ROAD, MORETON, CH46 6AD		
Proposal:	New fascia sign and projecting sign.		
Application No.:	LBC/15/00287	Application Type:	Listed Building Consent
Ward:	Bromborough	Decision Level:	Delegated
Decision Date:	14/05/2015	Decision:	Approve
Case Officer:	Mrs J Malpas		
Applicant:		Agent:	Paddock Johnson Partnership
Location:	11 BOLTON ROAD, PORT SUNLIGHT, CH62 5DQ		
Proposal:	Removal of two walls to facilitate improvement to kitchen		
Application No.:	LBC/15/00288	Application Type:	Listed Building Consent
Ward:	Bromborough	Decision Level:	Delegated
Decision Date:	14/05/2015	Decision:	Approve
Case Officer:	Mrs J Malpas		
Applicant:		Agent:	Paddock Johnson Partnership
Location:	31 BATH STREET, PORT SUNLIGHT, CH62 4UL		
Proposal:	Removal of internal partition and chimney breast to facilitate improvement to kitchen		

Application No.: APP/15/00289 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 23/04/2015 **Decision:** Approve
Case Officer: Mrs S Day
Applicant: **Agent:** Turley
Location: Red Cat, GREASBY ROAD, GREASBY, CH49 3AT
Proposal: A Section 73 application to vary Condition 4 of planning permission APP/11/01418 (Appeal Ref: APP/W4325/A/12/2174911) to extend the trading hours to enable the A1 retail unit to open between 07:00 and 23:00 Mondays to Sunday (including Bank Holidays)'

Application No.: APP/15/00290 **Application Type:** Full Planning Permission
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 24/04/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr & Mrs C Burkes **Agent:** J D PENNI DESIGN: CHARTERED ARCHITECT
Location: 6 HARBORNE DRIVE, SPITAL, CH63 9AP
Proposal: Proposed rear extension to create garden room

Application No.: APP/15/00291 **Application Type:** Full Planning Permission
Ward: Cloughton **Decision Level:** Delegated
Decision Date: 06/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Dr M Abraham **Agent:**
Location: 85 BIDSTON ROAD, OXTON, CH43 6TS
Proposal: To widen the existing vehicular gated access and to create another vehicular exit gate opening within the existing boundary wall fronting Bidston Road. All construction is to match the existing.

Application No.: APP/15/00292 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 27/04/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: Mrs J Salisbury **Agent:** chdesign
Location: 43 SPEEDWELL DRIVE, BARNSTON, CH60 2SY
Proposal: Demolition of conservatory and erection of single-storey rear extension

Application No.: APP/15/00294 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 28/04/2015 **Decision:** Approve
Case Officer: Mrs S Day
Applicant: Dr S Lodge **Agent:** SHACK Architecture ltd
Location: St Minver, GREENFIELD LANE, HESWALL, CH60 9HG
Proposal: Demolition of existing bungalow and replacement with new dwelling, including external hard and soft landscaping.

Application No.: RESX/15/00297 **Application Type:** Prior Approval Householder PD
Ward: Bebington **Decision Level:** Delegated
Decision Date: 10/04/2015 **Decision:** Prior approval is not required
Case Officer: Mrs S Day
Applicant: Mrs P Tomlinson **Agent:**
Location: 72 ABBOTS DRIVE, BEBINGTON, CH63 3BW
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4.35m for which the maximum height would be 3.45m and for which the height of the eaves would be 1.997m

Application No.: APP/15/00300 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 27/04/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: Mr John Lyons **Agent:** C W Jones
Location: 10 LINGDALE ROAD, WEST KIRBY, CH48 5DQ
Proposal: Two-storey rear extension, single-storey side/rear extension and rear dormer

Application No.: APP/15/00301 **Application Type:** Full Planning Permission
Ward: Upton **Decision Level:** Delegated
Decision Date: 24/04/2015 **Decision:** Approve
Case Officer: Mrs S Day
Applicant: Mr Raymond Stewart **Agent:** C W Jones
Location: 10 DONCASTER DRIVE, UPTON, CH49 4NX
Proposal: Two storey side extension and front porch

Application No.: APP/15/00302 **Application Type:** Full Planning Permission
Ward: Bromborough **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Miss A Hirst **Agent:**
Location: Station House, 24-26 GROVE STREET, NEW FERRY
Proposal: Variation of condition 5 of APP/14/01215 to change the nursery opening times to 07:30 to 18.00 hours Mondays to Fridays, and shall be closed on Saturdays and Sundays.

Application No.: APP/15/00303 **Application Type:** Full Planning Permission
Ward: Cloughton **Decision Level:** Delegated
Decision Date: 20/05/2015 **Decision:** Approve
Case Officer: Mrs J Malpas
Applicant: Mr Paul Brammall **Agent:** C W Jones
Location: 21A NOCTORUM DELL, NOCTORUM, CH43 9UL
Proposal: Side extension

Application No.: APP/15/00305 **Application Type:** Full Planning Permission
Ward: Eastham **Decision Level:** Delegated
Decision Date: 27/04/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Mrs C Mason **Agent:**
Location: 62 EASTHAM RAKE, EASTHAM, CH62 9AA
Proposal: Single storey rear extension and conversion of garage to habitable living space

Application No.: APP/15/00306 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 29/04/2015 **Decision:** Approve
Case Officer: Ms J Storey
Applicant: Mr Steve Buck **Agent:** mda projects
Location: Dunvegan, 5 THORNS DRIVE, GREASBY, CH49 3PU
Proposal: Erect 2 storey side extension

Application No.: APP/15/00307 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 27/04/2015 **Decision:** Approve
Case Officer: Ms J Storey
Applicant: Mr L Bristow **Agent:**
Location: 85 BROADWAY, GREASBY, CH49 2NQ
Proposal: Two storey side and rear extension

Application No.: APP/15/00308 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 27/04/2015 **Decision:** Approve
Case Officer: Ms J Storey
Applicant: J Norris **Agent:**
Location: 83 BROADWAY, GREASBY, CH49 2NQ
Proposal: Single storey side and rear extension

Application No.: APP/15/00309 **Application Type:** Full Planning Permission
Ward: Rock Ferry **Decision Level:** Delegated
Decision Date: 23/04/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: **Agent:** CTA Architects.
Location: 15 WOODIN ROAD, ROCK FERRY, CH42 1QJ
Proposal: Ground floor rear extension

Application No.:	APP/15/00310	Application Type:	Full Planning Permission
Ward:	Bromborough	Decision Level:	Delegated
Decision Date:	27/04/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:		Agent:	Paddock Johnson Partnership
Location:	86 THE RAKE, BROMBOROUGH, CH62 7AL		
Proposal:	Replacement of existing shop front including repositioning of entrance door		
Application No.:	APP/15/00312	Application Type:	Full Planning Permission
Ward:	Rock Ferry	Decision Level:	Delegated
Decision Date:	28/04/2015	Decision:	Refuse
Case Officer:	Miss A McDougall		
Applicant:	Mr M Collard	Agent:	Bryson McHugh Architects
Location:	Bromborough Car Sales, 576-578 NEW CHESTER ROAD, ROCK FERRY, CH42 2AF		
Proposal:	New hand car wash with site office containers		
Application No.:	APP/15/00313	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	07/05/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:	Mr & Mrs Walker	Agent:	John E Edwards Architects
Location:	Copperfields, STATION ROAD, THURSTASTON, CH61 0HN		
Proposal:	Alterations and extensions to existing house and extension to existing garage to provide garden store, garden office and toilet		
Application No.:	APP/15/00314	Application Type:	Full Planning Permission
Ward:	Wallasey	Decision Level:	Delegated
Decision Date:	13/05/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:	Mr M Kirby	Agent:	MDA
Location:	29 KINGSWAY, LISCARD, CH45 4PN		
Proposal:	Erection of a single-storey rear extension		
Application No.:	APP/15/00316	Application Type:	Full Planning Permission
Ward:	Heswall	Decision Level:	Delegated
Decision Date:	29/04/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:	Mr & Mrs Wood	Agent:	The Kenefick Jones Partnership Ltd
Location:	Gaycourt, 1 BARNSTON ROAD, BARNSTON, CH60 2SN		
Proposal:	Creation of rear balcony and new vehicular road crossing		

Application No.:	APP/15/00317	Application Type:	Full Planning Permission
Ward:	Upton	Decision Level:	Delegated
Decision Date:	29/04/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr D Jordan	Agent:	Weightman & Bullen Ltd
Location:	Woodcote, 25 MOUNT ROAD, UPTON, CH49 6JA		
Proposal:	Alterations and extensions to dwelling house		
Application No.:	APP/15/00318	Application Type:	Full Planning Permission
Ward:	Pensby and Thingwall	Decision Level:	Delegated
Decision Date:	21/05/2015	Decision:	Withdrawn
Case Officer:	Mrs J McMahon		
Applicant:	Mr Mark Brickles	Agent:	PB Design
Location:	8 BRIAN AVENUE, IRBY, CH61 3UX		
Proposal:	Proposed single story side and rear extension to provide additional living accommodation		
Application No.:	APP/15/00320	Application Type:	Full Planning Permission
Ward:	Upton	Decision Level:	Delegated
Decision Date:	29/04/2015	Decision:	Approve
Case Officer:	Mr S Williamson		
Applicant:	Mr S Davi	Agent:	Paterson Macaulay & Owens
Location:	7 WITHBURN CLOSE, UPTON, CH49 6QH		
Proposal:	First floor side extension		
Application No.:	APP/15/00321	Application Type:	Full Planning Permission
Ward:	Cloughton	Decision Level:	Delegated
Decision Date:	13/05/2015	Decision:	Refuse
Case Officer:	Mrs J Malpas		
Applicant:	Mr Tom Rock	Agent:	SDA Architecture & Surveying
Location:	2 PALM GROVE, CLAUGHTON, CH43 1TE		
Proposal:	Demolition of former dairy buildings and the development of 2 new build mews style town houses at the rear of 2 Palm Grove		
Application No.:	APP/15/00322	Application Type:	Full Planning Permission
Ward:	Pensby and Thingwall	Decision Level:	Delegated
Decision Date:	29/04/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:	Mr & Mrs Shone	Agent:	The Kenefick Jones Partnership Ltd
Location:	129 RIDGEWOOD DRIVE, PENSBY, CH61 8SE		
Proposal:	Single-storey side extension and internal alterations		

Application No.: APP/15/00327 **Application Type:** Full Planning Permission
Ward: Prenton **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: **Agent:** Muir Associates (UK) Ltd
Location: North Cheshire Trading Estate, 6 PRENTON WAY, PRENTON
Proposal: New two-storey extension

Application No.: RESX/15/00328 **Application Type:** Prior Approval Householder PD
Ward: Cloughton **Decision Level:** Delegated
Decision Date: 01/05/2015 **Decision:** Prior approval is not required
Case Officer: Mrs C Parker
Applicant: Mr John Saxby **Agent:**
Location: Plot 2 West Mount Park, VYNER road South, BIDSTON
Proposal: Erection of a conservatory which would extend beyond the rear wall of the original house by 5.7m for which the maximum height would be 3.6m and for which the height of the eaves would be 2.3m

Application No.: APP/15/00329 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: **Agent:** Condy Lofthouse Architects
Location: LAND ON THE NORTH SIDE OF BROAD LANE, HESWALL, CH60 9JY
Proposal: Demolition of existing conservatory and erection of side extension's to include provision of entrance reception, meeting room and staff room facilities, formation of a dormer window within attic space and internal re configuration to reduce the number of bedrooms from 25 to 16

Application No.: APP/15/00330 **Application Type:** Full Planning Permission
Ward: Eastham **Decision Level:** Delegated
Decision Date: 30/04/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Miss K Hulse **Agent:** BDS
Location: 15 RENFREW AVENUE, EASTHAM, CH62 8DW
Proposal: Two storey side extension to house

Application No.: LDP/15/00333 **Application Type:** Lawful Development Certificate Proposed
Ward: Birkenhead and Tranmere **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Not Lawful Use
Case Officer: Ms J Storey
Applicant: **Agent:** DevaPlan Ltd
Location: 128 OLIVER STREET, BIRKENHEAD, CH41 6HG
Proposal: Use of premises as a childrens play centre with ancillary cafe and a dance centre

Application No.: RESX/15/00334 **Application Type:** Prior Approval Householder PD
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Prior approval is not required
Case Officer: Mrs J McMahon
Applicant: Mr & Mrs Khan **Agent:** The Kenefick Jones Partnership
Location: 4 CABLE ROAD, HOYLAKE, CH47 2AY
Proposal: Erection of a single storey rear extension and internal alterations which would extend beyond the rear wall of the original house by 4.5m for which the maximum height would be 2.685m and for which the height of the eaves would be 2.485m

Application No.: RESX/15/00336 **Application Type:** Prior Approval Householder PD
Ward: West Kirby and Thurstaston **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Prior approval is not required
Case Officer: Miss A McDougall
Applicant: Miss Laura Canner **Agent:** C W Jones
Location: 17 BROXTON AVENUE, WEST KIRBY, CH48 5JA
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 6m for which the maximum height would be 3.6m and for which the height of the eaves would be 2.5m

Application No.: APP/15/00338 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: Mrs C Hargreaves **Agent:** LHGProjects
Location: Donnington, STATION APPROACH, MEOLS, CH47 6AB
Proposal: Conversion from dwelling to nursery for up to 33 children, including erection of rear conservatory and front porch

Application No.: APP/15/00339 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 19/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mrs A Dempsey **Agent:** Lightblue Solutions Ltd
Location: 24 RIDGEMERE ROAD, PENSBY, CH61 8RL
Proposal: Side and rear ground floor extension as well as a loft conversion with a rear facing dormer

Application No.: APP/15/00341 **Application Type:** Full Planning Permission
Ward: Bebington **Decision Level:** Delegated
Decision Date: 29/04/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Purvis **Agent:** Bryson McHugh Architects
Location: 7 CLAREMONT WAY, HIGHER BEBINGTON, CH63 5QR
Proposal: Single storey side/rear extension

Application No.:	APP/15/00342	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	05/05/2015	Decision:	Refuse
Case Officer:	Mrs MA Jackson		
Applicant:	Mrs P Sherlock-Cross	Agent:	Bryson McHugh Architects
Location:	5 WIRRAL MOUNT, NEWTON, CH48 6EN		
Proposal:	Single storey side extension		
Application No.:	APP/15/00343	Application Type:	Full Planning Permission
Ward:	Eastham	Decision Level:	Delegated
Decision Date:	20/05/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr Paul Williams	Agent:	chdesign
Location:	26 WOODLEA CLOSE, EASTHAM, CH62 6DL		
Proposal:	New pitched roofing to all dormers-New pitched roof to garage		
Application No.:	APP/15/00345	Application Type:	Full Planning Permission
Ward:	New Brighton	Decision Level:	Delegated
Decision Date:	01/05/2015	Decision:	Approve
Case Officer:	Mrs S Day		
Applicant:	Mr M Forber	Agent:	AHR Building Consultancy Ltd
Location:	ST Peter and Paul RC Aided Primary School, Sandringham Drive, New Brighton, Wirral, CH45 9JD		
Proposal:	Installation of a new canopy to a school playground. Amended proposal.		
Application No.:	ADV/15/00346	Application Type:	Advertisement Consent
Ward:	Greasby Frankby and Irby	Decision Level:	Delegated
Decision Date:	07/05/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:		Agent:	Mr R Johnson
Location:	Champions Business Park, ARROWE BROOK ROAD, UPTON		
Proposal:	Erection of 2 totem signs		
Application No.:	APP/15/00347	Application Type:	Full Planning Permission
Ward:	Leasowe and Moreton East	Decision Level:	Delegated
Decision Date:	07/05/2015	Decision:	Approve
Case Officer:	Mrs S Day		
Applicant:		Agent:	Smith + McHugh Architecture
Location:	Bristol Myers Squibb Pharmaceuticals Limited, REEDS LANE, LEASOWE, CH46 1QW		
Proposal:	Proposed single storey extension to Building 11 @ B M S Pharmaceutical Research & Development, Reeds Lane, Wirral, Merseyside CH46 1QW		

Application No.: APP/15/00348 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr T Calderbank **Agent:** Walker Design
Location: 312 TELEGRAPH ROAD, HESWALL, CH60 6SL
Proposal: Demolition of existing garage to form new Orangery to rear of property and new garage in different location.

Application No.: APP/15/00350 **Application Type:** Full Planning Permission
Ward: Seacombe **Decision Level:** Delegated
Decision Date: 11/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: Mr Gary Mitchell **Agent:** Neville Pickard
Location: 16 PETER STREET, SEACOMBE, CH44 7AP
Proposal: Convert single dwelling house back to 2no self contained terrace houses

Application No.: APP/15/00351 **Application Type:** Full Planning Permission
Ward: Rock Ferry **Decision Level:** Delegated
Decision Date: 08/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: Mr E Kung **Agent:** Neville Pickard
Location: 71 GROVE ROAD, ROCK FERRY, CH42 3XT
Proposal: Change of use from mixed use of takeaway and dwelling to dwelling with alterations to form front bay

Application No.: APP/15/00352 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 06/05/2015 **Decision:** Refuse
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Clark **Agent:** Mr R Owen
Location: 20 ARROWE ROAD, GREASBY, CH49 1RA
Proposal: Demolition of existing flat roofed outbuilding and adjacent conservatory , replace with a single storey pitched roof extension to form a kitchen and living room

Application No.: RESX/15/00364 **Application Type:** Prior Approval Householder PD
Ward: Rock Ferry **Decision Level:** Delegated
Decision Date: 17/04/2015 **Decision:** Prior approval is not required
Case Officer: Mrs MA Jackson
Applicant: Mr Neil Wagstaff **Agent:** Mr Peter Goddard
Location: 74 HESKETH AVENUE, ROCK FERRY, CH42 6RS
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 3.5m for which the maximum height would be 3.7m and for which the height of the eaves would be 2.5m

Application No.: RESX/15/00365 **Application Type:** Prior Approval Householder PD
Ward: Claughton **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Prior approval is not required
Case Officer: Mrs MA Jackson
Applicant: Mr Maye **Agent:**
Location: 3 ASHBURTON ROAD, CLAUGHTON, CH43 8TN
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 3.79m for which the maximum height would be 3.84m and for which the height of the eaves would be 2.78m

Application No.: APP/15/00366 **Application Type:** Full Planning Permission
Ward: Bebington **Decision Level:** Delegated
Decision Date: 15/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr James Tullock **Agent:**
Location: 161 BEBINGTON ROAD, BEBINGTON, WIRRAL, CH63 7NT
Proposal: Vehicle crossing and dropped kerb

Application No.: APP/15/00367 **Application Type:** Full Planning Permission
Ward: West Kirby and Thurstaston **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr John Phythian **Agent:**
Location: Ivy Bank, 163 THURSTASTON ROAD, THURSTASTON, CH61 0HQ
Proposal: Erection of front porch to existing house

Application No.: APP/15/00368 **Application Type:** Full Planning Permission
Ward: Leasowe and Moreton East **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Refuse
Case Officer: Mrs MA Jackson
Applicant: Mr Mark Morgan **Agent:**
Location: 32 CHAPELHILL ROAD, MORETON, CH46 9QN
Proposal: Single storey extension

Application No.: APP/15/00370 **Application Type:** Full Planning Permission
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 11/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr S Richards **Agent:** DnA Group
Location: 4 RABY DRIVE, RABY MERE, CH63 0NH
Proposal: Rear single storey extension

Application No.: APP/15/00371 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mrs H Furlong **Agent:** The Kenefick Jones Partnership Ltd
Location: 11 SPEEDWELL CLOSE, BARNSTON, CH60 2TB
Proposal: Two storey side extension and internal alterations

Application No.: APP/15/00372 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr M Horne **Agent:** Mr Q Keohane
Location: Chestnut Cottage, 67 THURSTASTON ROAD, HESWALL, CH60 6SA
Proposal: 2-storey rear extension to existing dwelling. Alterations and extension to outbuilding to form a granny flat for use strictly in conjunction with the main dwelling.

Application No.: APP/15/00373 **Application Type:** Full Planning Permission
Ward: Bromborough **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Ms J Storey
Applicant: **Agent:** Pozzoni LLP
Location: UNILEVER UK, WOOD STREET, PORT SUNLIGHT
Proposal: Secondary entrance including steps, podium, canopy and glazed entrance doors. Hard and soft landscaping to suit.

Application No.: APP/15/00374 **Application Type:** Full Planning Permission
Ward: West Kirby and Thurstaston **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr & Mrs M Hagen **Agent:** Architects-Direct.com
Location: ROSENEATH, 10 GRAMMAR SCHOOL LANE, NEWTON, CH48 8AY
Proposal: Two storey extension to front to incorporate covered porch, extension to dining and new bedroom. General internal alterations. New dormer to bathrooms and wardrobe

Application No.: APP/15/00375 **Application Type:** Full Planning Permission
Ward: Birkenhead and Tranmere **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: **Agent:**
Location: 36 BOROUGH PAVEMENT, BIRKENHEAD, CH41 2XX
Proposal: New entrance and alterations to front elevation

Application No.: APP/15/00383 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 12/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr K Rodgers **Agent:** Mr J Tobin
Location: 20 HEYTHROP DRIVE, BARNSTON, CH60 1YQ
Proposal: Porch extension to front of property

Application No.: APP/15/00385 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 12/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr & Mrs Green **Agent:** Neville Pickard
Location: 40 RIDGEWOOD DRIVE, PENSBY, CH61 8RB
Proposal: Single storey rear extension

Application No.: APP/15/00386 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 15/05/2015 **Decision:** Approve
Case Officer: Mr K Spilsbury
Applicant: **Agent:** Harrison Ince Architects LLP
Location: Dee Hotel, 44 GRANGE ROAD, WEST KIRBY, CH48 4EF
Proposal: To Convert floor space at first, second and third floor into 16 Bedroom Hotel over the existing Wetherspoon public house

Application No.: APP/15/00387 **Application Type:** Full Planning Permission
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr S Hill **Agent:** chdesign
Location: Periwinkle, 98 MEOLS DRIVE, WEST KIRBY, CH48 5DB
Proposal: Demolition of outbuildings - Proposed Single Storey Side extension

Application No.: APP/15/00388 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr M Braund **Agent:**
Location: 159 MILNER ROAD, BARNSTON, CH60 5RY
Proposal: Front and Rear Dormer Extension and associated roof works to create 3 new bedrooms

Application No.:	LDP/15/00389	Application Type:	Lawful Development Certificate Proposed
Ward:	Cloughton	Decision Level:	Delegated
Decision Date:	23/04/2015	Decision:	Lawful Use
Case Officer:	Miss A McDougall		
Applicant:	Mr P Augustine	Agent:	martin fletcher architects
Location:	1 THE RIDINGS, NOCTORUM, CH43 9XZ		
Proposal:	Erection of rear dormer to existing bungalow		
Application No.:	LDP/15/00390	Application Type:	Lawful Development Certificate Proposed
Ward:	Pensby and Thingwall	Decision Level:	Delegated
Decision Date:	05/05/2015	Decision:	Not Lawful Use
Case Officer:	Miss A McDougall		
Applicant:	Ms N Atkinson	Agent:	chdesign
Location:	11 NOWSHERA AVENUE, IRBY, CH61 9PU		
Proposal:	Loft Conversion		
Application No.:	RESX/15/00395	Application Type:	Prior Approval Householder PD
Ward:	Leasowe and Moreton East	Decision Level:	Delegated
Decision Date:	17/04/2015	Decision:	Prior approval is not required
Case Officer:	Mrs J McMahan		
Applicant:	Mrs Sarah Ashton	Agent:	Mr Paul Hodge
Location:	3 WIMBRICK HEY, MORETON, CH46 9RU		
Proposal:	Erection of a rear extension which would extend beyond the rear wall of the original house by 6m for which the maximum height would be 3.4m and for which the height of the eaves would be 3m		
Application No.:	RESX/15/00396	Application Type:	Prior Approval Householder PD
Ward:	Eastham	Decision Level:	Delegated
Decision Date:	21/04/2015	Decision:	Prior approval is not required
Case Officer:	Miss A McDougall		
Applicant:	Mr J Harris	Agent:	
Location:	43 DAWPOOL DRIVE, BROMBOROUGH, CH62 6DE		
Proposal:	Erection of a conservatory which would extend beyond the rear wall of the original house by 4.5m for which the maximum height would be 3.06m and for which the height of the eaves would be 2.1m		
Application No.:	RESX/15/00397	Application Type:	Prior Approval Householder PD
Ward:	Oxton	Decision Level:	Delegated
Decision Date:	17/04/2015	Decision:	Prior approval is not required
Case Officer:	Mrs J McMahan		
Applicant:	Mr John Drummond	Agent:	C W Jones
Location:	582 WOODCHURCH ROAD, PRENTON, CH43 0TT		
Proposal:	Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4.8m for which the maximum height would be 3.6m and for which the height of the eaves would be 2.7m		

Application No.:	APP/15/00399	Application Type:	Full Planning Permission
Ward:	Hoylake and Meols	Decision Level:	Delegated
Decision Date:	14/05/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr B Gardner	Agent:	KJP Architecture
Location:	8 WESTBOURNE GROVE, WEST KIRBY, CH48 4DL		
Proposal:	Single Storey Front & Single Storey Side Extension		
Application No.:	APP/15/00400	Application Type:	Full Planning Permission
Ward:	Oxton	Decision Level:	Delegated
Decision Date:	13/05/2015	Decision:	Refuse
Case Officer:	Mr M Parry-Davies		
Applicant:	Mr D McCannon	Agent:	
Location:	West Ridge, INGESTRE ROAD, OXTON, CH43 5TZ		
Proposal:	Erection of a new dwelling adjacent to Westridge House & New Place		
Application No.:	APP/15/00402	Application Type:	Full Planning Permission
Ward:	Pensby and Thingwall	Decision Level:	Delegated
Decision Date:	14/05/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:	Mrs J Stewart	Agent:	SHACK Architecture Ltd
Location:	Fieldview Garage and Stables, 103B BARNSTON ROAD, BARNSTON		
Proposal:	Conversion of existing garage/storage building to residential use including excavation works with retaining wall and raising the roof height.		
Application No.:	APP/15/00403	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	12/05/2015	Decision:	Approve
Case Officer:	Mrs MA Jackson		
Applicant:	Mr G Blair	Agent:	Andy Foster Architects
Location:	Grass Hey, 50 CALDY ROAD, WEST KIRBY, CH48 2HQ		
Proposal:	Single storey side extension and external WC to the existing main house and single storey rear extension to the existing garage.		
Application No.:	APP/15/00405	Application Type:	Full Planning Permission
Ward:	Upton	Decision Level:	Delegated
Decision Date:	13/05/2015	Decision:	Approve
Case Officer:	Mr N Williams		
Applicant:	Mrs C Pendleton	Agent:	Bryson McHugh Architects
Location:	Westward, 54 MORETON ROAD, UPTON, CH49 4NS		
Proposal:	Construction of new build 4-bedroom dwelling to rear of 54 Moreton Road		

Application No.:	APP/15/00407	Application Type:	Full Planning Permission
Ward:	Wallasey	Decision Level:	Delegated
Decision Date:	13/05/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr M Beaver	Agent:	Bryson McHugh Architects
Location:	43 THE OVAL, LISCARD, CH45 6UX		
Proposal:	Single storey rear extension.		
Application No.:	OUT/15/00410	Application Type:	Outline Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	22/05/2015	Decision:	Approve
Case Officer:	Mrs S Day		
Applicant:	Mr Little	Agent:	Matthews and Goodman LLP
Location:	THE MUSHROOM FARM GRANGE OLD ROAD, WEST KIRBY, CH48 4ET		
Proposal:	The erection of two detached dwellings on the existing Mushroom Farm		
Application No.:	APP/15/00411	Application Type:	Full Planning Permission
Ward:	Bebington	Decision Level:	Delegated
Decision Date:	21/05/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mrs T Byrne	Agent:	Bryson McHugh Architects
Location:	91 ROSEFIELD AVENUE, HIGHER BEBINGTON, CH63 5JW		
Proposal:	Single storey side and rear extension		
Application No.:	APP/15/00412	Application Type:	Full Planning Permission
Ward:	West Kirby and Thurstaston	Decision Level:	Delegated
Decision Date:	14/05/2015	Decision:	Approve
Case Officer:	Miss A McDougall		
Applicant:	Mr & Mrs A Malcolm	Agent:	Architects-Direct.com
Location:	23 BARTON HEY DRIVE, CALDY, CH48 2LE		
Proposal:	Alterations and extensions to the existing garage and loft room to create a first floor extension.		
Application No.:	APP/15/00413	Application Type:	Full Planning Permission
Ward:	Clatterbridge	Decision Level:	Delegated
Decision Date:	18/05/2015	Decision:	Approve
Case Officer:	Mrs J McMahon		
Applicant:	Mr Neil Irving	Agent:	Raymond Lear
Location:	58 BRIMSTAGE ROAD, BEBINGTON, CH63 3BA		
Proposal:	Erection of extension at first floor level over garage and erection of new pitched single storey roof at front of property		

Application No.: APP/15/00416 **Application Type:** Full Planning Permission
Ward: Liscard **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mrs S Day
Applicant: **Agent:** Pozzoni LLP
Location: LAND AT MARINERS PARK, KING GEORGE DRIVE, EGREMONT,WIRRAL
Proposal: Demolition of a workshop, greenhouse and shed and construction of a new workshop for use by maintenance staff employed at Mariners Park.

Application No.: APP/15/00417 **Application Type:** Full Planning Permission
Ward: Oxtou **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Novak **Agent:** Andrew Smith Architects Ltd
Location: 3 POPLAR ROAD, OXTON, CH43 5TB
Proposal: Extension to first floor side and conversion into a residential annexe, removal of existing conservatory and erection of a single storey garden room.

Application No.: RESX/15/00421 **Application Type:** Prior Approval Householder PD
Ward: Claughton **Decision Level:** Delegated
Decision Date: 30/04/2015 **Decision:** Prior approval is not required
Case Officer: Mrs S Day
Applicant: Mr David Ward **Agent:**
Location: 1 CONISTON AVENUE, NOCTORUM, CH43 9SB
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.95m and for which the height of the eaves would be 2.95m

Application No.: RESX/15/00422 **Application Type:** Prior Approval Householder PD
Ward: New Brighton **Decision Level:** Delegated
Decision Date: 30/04/2015 **Decision:** Prior approval is not required
Case Officer: Mrs S Day
Applicant: Mrs J Kelly **Agent:** R L Allen Draughtsman
Location: 182 SEAVIEW ROAD, LISCARD, CH45 4PB
Proposal: Erection of a conservatory which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.200m and for which the height of the eaves would be 2.450m

Application No.: APP/15/00426 **Application Type:** Full Planning Permission
Ward: Seacombe **Decision Level:** Delegated
Decision Date: 14/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr Sam Musgrave **Agent:**
Location: 119 /119A POULTON ROAD, POULTON, CH44 9DF
Proposal: Change of use of ground floor to 2 bedroom residential flat and alteration to entrance and windows to existing building.

Application No.: APP/15/00428 **Application Type:** Full Planning Permission
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 14/05/2015 **Decision:** Approve
Case Officer: Mr M Parry-Davies
Applicant: Mr Neill Cousins **Agent:** Raymond Lear
Location: 16 KENT CLOSE, BROMBOROUGH, CH63 0EF
Proposal: Erection of two storey rear extension and new pitched roof over single storey structure at front of property

Application No.: RESX/15/00430 **Application Type:** Prior Approval Householder PD
Ward: Moreton West and Saughall Massie **Decision Level:** Delegated
Decision Date: 22/04/2015 **Decision:** Prior approval is not required
Case Officer: Ms J Storey
Applicant: Mr D Whalley **Agent:** Mr David Halliwell
Location: 23 BURDEN ROAD, MORETON, CH46 6BG
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 7.355m for which the maximum height would be 2.82m and for which the height of the eaves would be 2.82m

Application No.: ADV/15/00431 **Application Type:** Advertisement Consent
Ward: Cloughton **Decision Level:** Delegated
Decision Date: 15/05/2015 **Decision:** Permitted development
Case Officer: Ms J Storey
Applicant: **Agent:**
Location: Unused Land formerly 76, BIDSTON ROAD, OXTON, CH43 6TN
Proposal: Erection of a non illuminated sign advertising residential development

Application No.: APP/15/00433 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 19/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr & Mrs Sporje **Agent:** KJP Architecture
Location: 10 MEADWAY, HESWALL, CH60 8PH
Proposal: Two Storey Side & Rear Extension - amended proposals to 14/00625 (approved)

Application No.: APP/15/00434 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 18/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr G Jones **Agent:** Garry Usherwood Associates Limited
Location: Barnstondale Centre, STORETON LANE, BARNSTON, CH61 1BX
Proposal: Erection of a log clad building alongside the existing sports hall for use as a shooting range.

Application No.: APP/15/00435 **Application Type:** Full Planning Permission
Ward: Claughton **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Mr W Scott **Agent:** Oakdale Property Consultants Ltd.
Location: 31 BENTHAM CLOSE, NOCTORUM, CH43 9HR
Proposal: First floor Bedroom Extension to the side

Application No.: RESX/15/00438 **Application Type:** Prior Approval Householder PD
Ward: Prenton **Decision Level:** Delegated
Decision Date: 22/04/2015 **Decision:** Prior approval is not required
Case Officer: Ms J Storey
Applicant: Mr P Rimmer **Agent:**
Location: 36 PENNINE ROAD, PRENTON, CH42 6SA
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.7m and for which the height of the eaves would be 2.87m

Application No.: APP/15/00440 **Application Type:** Full Planning Permission
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 21/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Ms Jones & Mr Bass **Agent:** KJP Architecture
Location: 152 FISHERS LANE, PENSBY, CH61 8SB
Proposal: Single Storey Side Extension

Application No.: APP/15/00444 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Mansfield **Agent:** Constructive Thinking Studio Ltd
Location: Green Gables, 7 RIVERBANK ROAD, HESWALL, CH60 4SQ
Proposal: Demolition of existing bungalow and erection of new two storey dwelling.

Application No.: APP/15/00445 **Application Type:** Full Planning Permission
Ward: Bidston and St James **Decision Level:** Delegated
Decision Date: 15/05/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Mr A Ireland **Agent:**
Location: Denby, 3 WESTWOOD ROAD, BIDSTON, CH43 9RG
Proposal: Construction of ground floor extension to create new utility room, Re-arrangement of internal spaces to incorporate external store-rooms and replacement of section of flat roof with pitched hip roof

Application No.: APP/15/00446 **Application Type:** Full Planning Permission
Ward: Bidston and St James **Decision Level:** Delegated
Decision Date: 15/05/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Mr G Wilson **Agent:** Mr R Graham
Location: 30 WESTWOOD ROAD, BIDSTON, CH43 9RQ
Proposal: Proposed single storey side extension forming kitchen and granny flat at domestic dwelling

Application No.: APP/15/00447 **Application Type:** Full Planning Permission
Ward: Upton **Decision Level:** Delegated
Decision Date: 20/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: Mr John Devine **Agent:**
Location: Land opposite 2 The Stables, Manor Drive Upton, Wirral, CH49 0TT
Proposal: Erection of new dwelling

Application No.: APP/15/00448 **Application Type:** Full Planning Permission
Ward: Bebington **Decision Level:** Delegated
Decision Date: 07/05/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: Mr David Evans **Agent:** Mr G Vernon
Location: 269 TEEHEY LANE, HIGHER BEBINGTON, CH63 2JG
Proposal: Single storey side and rear extension for garage/utility room/kitchen

Application No.: DEM/15/00452 **Application Type:** Prior Notification of Demolition
Ward: Bidston and St James **Decision Level:** Delegated
Decision Date: 27/04/2015 **Decision:** Prior approval is not required
Case Officer: Mrs C Parker
Applicant: **Agent:**
Location: 14-30 and 9-17 Milner Street, Birkenhead, Wirral, CH41 8HF
Proposal: Demolition of terraced properties - All buildings are in a state of disrepair and some dangerous

Application No.: APP/15/00453 **Application Type:** Full Planning Permission
Ward: Claughton **Decision Level:** Delegated
Decision Date: 21/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr J Graff **Agent:** KJP Architecture
Location: The Thatches, 133A UPTON ROAD, BIDSTON, CH43 7QE
Proposal: Single Storey Extension & internal Alterations

Application No.: APP/15/00454 **Application Type:** Full Planning Permission
Ward: Bebington **Decision Level:** Delegated
Decision Date: 21/05/2015 **Decision:** Approve
Case Officer: Mrs C Parker
Applicant: **Agent:** Nexus Planning
Location: Bebington Police Station, CIVIC WAY, BEBINGTON, CH63 7SF
Proposal: Proposed works to the existing Bebington Police Station including new parking arrangements.

Application No.: RESX/15/00455 **Application Type:** Prior Approval Householder PD
Ward: Bebington **Decision Level:** Delegated
Decision Date: 06/05/2015 **Decision:** Prior approval is not required
Case Officer: Mrs MA Jackson
Applicant: Mr & Mrs Eaton **Agent:** The Kenefick Jones Partnership
Location: 31 HEYVILLE ROAD, HIGHER BEBINGTON, CH63 2HZ
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.655m and for which the height of the eaves would be 2.495m

Application No.: RESX/15/00456 **Application Type:** Prior Approval Householder PD
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 22/04/2015 **Decision:** Prior Approval Given
Case Officer: Mr S Williamson
Applicant: Ms L Whiteside **Agent:** The Kenefick Jones Partnership
Location: 5 LANGSTONE AVENUE, GREASBY, CH49 3AH
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 3.6m for which the maximum height would be 3.407m and for which the height of the eaves would be 2.375m

Application No.: APP/15/00457 **Application Type:** Full Planning Permission
Ward: Oxtton **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr P O'Reilly **Agent:** Prime Oak Ltd
Location: 5 MENLO CLOSE, OXTON, CH43 9YD
Proposal: Erection of a conservatory to the rear

Application No.: RESX/15/00460 **Application Type:** Prior Approval Householder PD
Ward: Rock Ferry **Decision Level:** Delegated
Decision Date: 06/05/2015 **Decision:** Prior approval is not required
Case Officer: Mrs MA Jackson
Applicant: Mr M Howie **Agent:**
Location: 31 BYRNE AVENUE, ROCK FERRY, CH42 4PG
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 6m for which the maximum height would be 3.8m and for which the height of the eaves would be 2.4m

Application No.: RESX/15/00461 **Application Type:** Prior Approval Householder PD
Ward: Upton **Decision Level:** Delegated
Decision Date: 22/04/2015 **Decision:** Prior approval is not required
Case Officer: Mr S Williamson
Applicant: Mr M Smith **Agent:**
Location: 16 OLD GREASBY ROAD, UPTON, CH49 6LT
Proposal: Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4500mm for which the maximum height would be 3150mm and for which the height of the eaves would be 3150mm

Application No.: APP/15/00465 **Application Type:** Full Planning Permission
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 19/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr P Haselgrove **Agent:**
Location: 20 KESWICK AVENUE, EASTHAM, CH63 0NP
Proposal: New rear single storey extension and first floor extension over existing garage and utility room.

Application No.: RESX/15/00466 **Application Type:** Prior Approval Householder PD
Ward: Prenton **Decision Level:** Delegated
Decision Date: 01/05/2015 **Decision:** Prior approval is not required
Case Officer: Mrs C Parker
Applicant: Mr & Mrs Harwood **Agent:** The Kenefick Jones Partnership
Location: 23 EDINBURGH DRIVE, PRENTON, CH43 0RJ
Proposal: Erection of a rear extension which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.655m and for which the height of the eaves would be 2.5m

Application No.: RESX/15/00467 **Application Type:** Prior Approval Householder PD
Ward: Upton **Decision Level:** Delegated
Decision Date: 01/05/2015 **Decision:** Prior approval is not required
Case Officer: Mrs J McMahan
Applicant: Mr & Mrs Breeze **Agent:** The Kenefick Jones Partnership
Location: 105 MANOR DRIVE, UPTON, CH49 4PG
Proposal: Erection of a rear extension which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.582m and for which the height of the eaves would be 2.470m

Application No.: APP/15/00468 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Ms Tracey Heenan **Agent:** Design PVCU
Location: 8 FLORENCE AVENUE, HESWALL, CH60 7SS
Proposal: Proposed single storey side extension

Application No.: APP/15/00472 **Application Type:** Full Planning Permission
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 21/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: Mr G McDougall **Agent:**
Location: 66 ALISTAIR DRIVE, BROMBOROUGH, CH63 0LJ
Proposal: Remove side garage and construct two-storey side extension, single-storey rear extension and single-storey front extension

Application No.: APP/15/00477 **Application Type:** Full Planning Permission
Ward: West Kirby and Thurstaston **Decision Level:** Delegated
Decision Date: 21/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Treasurer **Agent:** Bromilow Architects Ltd
Location: Abbey Cottage, 104 GRANGE ROAD, WEST KIRBY, CH48 4EH
Proposal: Remodelling of existing dwelling including ground and first floor extensions and new roof

Application No.: APP/15/00478 **Application Type:** Full Planning Permission
Ward: Upton **Decision Level:** Delegated
Decision Date: 19/05/2015 **Decision:** Approve
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Breeze **Agent:** KJP Architecture
Location: 105 MANOR DRIVE, UPTON, CH49 4PG
Proposal: Front dormer extension

Application No.: APP/15/00479 **Application Type:** Full Planning Permission
Ward: New Brighton **Decision Level:** Delegated
Decision Date: 19/05/2015 **Decision:** Approve
Case Officer: Mr N Williams
Applicant: Mr P Ferguson **Agent:** Cliff Elliot
Location: 2A ZIG ZAG ROAD, LISCARD, CH45 7NZ
Proposal: Change of use from a vacant unit to a two-bedroom self-contained dwelling

Application No.: ANT/15/00480 **Application Type:** Prior Approval of Telecommunications PD
Ward: Cloughton **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Prior Approval Given
Case Officer: Mr N Williams
Applicant: **Agent:** WHP Wilkinson Helsby
Location: Pavement fronting Hamilton United Reformed Church, Upton Road, Cloughton, Wirral, CH41 0ED
Proposal: Upgrade to existing equipment including replacement mast

Application No.: APP/15/00482 **Application Type:** Full Planning Permission
Ward: Birkenhead and Tranmere **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Refuse
Case Officer: Miss A McDougall
Applicant: Mr/Mrs Ali **Agent:**
Location: 7 MILTON ROAD EAST, TRANMERE, CH42 0NJ
Proposal: Two storey side extension

Application No.: APP/15/00485 **Application Type:** Full Planning Permission
Ward: Oxtton **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr & Mrs Dingley **Agent:** KJP Architecture
Location: 12 MENLO CLOSE, OXTON, CH43 9YD
Proposal: Single Storey Side Extension & Remodelling of Chimney Stack

Application No.: APP/15/00487 **Application Type:** Full Planning Permission
Ward: Greasby Frankby and Irby **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mrs MA Jackson
Applicant: Mr L Blin **Agent:** Collins Architecture
Location: 36 GLENWOOD DRIVE, IRBY, CH61 4UH
Proposal: Single storey rear & two storey side extensions plus detached garage

Application No.: APP/15/00498 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 19/05/2015 **Decision:** Approve
Case Officer: Mr M Malengo
Applicant: Mr W Brown **Agent:** C W Jones
Location: 7 WESTWAY, HESWALL, CH60 8PJ
Proposal: Two storey rear extension

Application No.: APP/15/00512 **Application Type:** Full Planning Permission
Ward: **Decision Level:** Delegated
Decision Date: 15/04/2015 **Decision:** Permitted development
Case Officer: Mrs J McMahon
Applicant: Mr D Warrington **Agent:**
Location: 21 LYNTON ROAD, WALLASEY VILLAGE, CH45 3JW
Proposal: We would like to install a double glazed UPVC framed roof light through our existing flat felt roof over the rear single storey extension. Our kitchen is located in the rear extension and the fixed (no opening lights) roof light would bring more light into the kitchen. The roof light would be 1.7m wide and 2.2m long with a height of 600mm.

Application No.: APP/15/00513 **Application Type:** Full Planning Permission
Ward: Heswall **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Approve
Case Officer: Mr M Malengo
Applicant: Mrs June Stone **Agent:** Collins Architecture
Location: Broomside, 2 WEST DRIVE, HESWALL, CH60 0BA
Proposal: Single storey side extension

Application No.: RESX/15/00517 **Application Type:** Prior Approval Householder PD
Ward: Prenton **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Prior approval is not required
Case Officer: Miss A McDougall
Applicant: Mr & Mrs Strahan **Agent:** Hardmans Double Glazing
Location: 13 BRYANSTON ROAD, PRENTON, CH42 8PT
Proposal: Erection of a single storey rear conservatory which would extend beyond the rear wall of the original house by 3.7m for which the maximum height would be 3.7m and for which the height of the eaves would be 2.6m

Application No.: DLS/15/00524 **Application Type:** Reserved Matters
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 20/05/2015 **Decision:** Approve
Case Officer: Mrs J McMahon
Applicant: Mr C Edwards **Agent:** KJP Architecture
Location: Land at KINGSLEY CLOSE, PENSBY
Proposal: Application for matters reserved in the previous outline planning permission ref.13/01013 (access/appearance /landscaping/layout & scale)

Application No.: RESX/15/00541 **Application Type:** Prior Approval Householder PD
Ward: Clatterbridge **Decision Level:** Delegated
Decision Date: 13/05/2015 **Decision:** Prior approval is not required
Case Officer: Mrs J McMahon
Applicant: Mrs Gwenda Farthing **Agent:** UltraSeal
Location: 38 ALISTAIR DRIVE, BROMBOROUGH, CH63 0LH
Proposal: Erection of a conservatory which would extend beyond the rear wall of the original house by 5.4m for which the maximum height would be 3.0m and for which the height of the eaves would be 2.0m

Application No.: RESX/15/00564 **Application Type:** Prior Approval Householder PD
Ward: Upton **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Prior approval is not required
Case Officer: Mrs MA Jackson
Applicant: Mr H D Saunders **Agent:**
Location: 16 OAKLAND DRIVE, UPTON, CH49 6JL
Proposal: Erection of a orangery which would extend beyond the rear wall of the original house by 6m for which the maximum height would be 2.540m and for which the height of the eaves would be 2.790m

Application No.: RESX/15/00593 **Application Type:** Prior Approval Householder PD
Ward: Hoylake and Meols **Decision Level:** Delegated
Decision Date: 27/04/2015 **Decision:** Not an application
Case Officer: Mr S Williamson
Applicant: Mr I Parish **Agent:**
Location: 20 QUEENS AVENUE, MEOLS, CH47 0LU
Proposal: Erection of a garage extension which would extend beyond the rear wall of the original house by 0m for which the maximum height would be 3.95m and for which the height of the eaves would be 2.5m

Application No.: LDP/15/00683 **Application Type:** Lawful Development Certificate Proposed
Ward: Pensby and Thingwall **Decision Level:** Delegated
Decision Date: 22/05/2015 **Decision:** Lawful Use
Case Officer: Miss A McDougall
Applicant: Ms Natalie Atkinson **Agent:** chdesign
Location: 11 NOWSHERA AVENUE, IRBY, CH61 9PU
Proposal: Loft Conversion

Total Number of Applications Decided: 217

Summary of data

	Total Per D
Approve	161
Lawful Use	2
Not an application	2
Not Lawful Use	4
Permitted development	3
Prior Approval Given	2
Prior approval is not required	24
Refuse	14
Withdrawn	5
Report Total	217