VILLAGE OF FRANKFORT – REGULAR MEETING AGENDA

Monday, November 6, 2023 7:00 P.M.

Village Administration Building Village Board Room 432 W. Nebraska Street, Frankfort, IL

- 1. Call to Order & Roll Call
- 2. Pledge of Allegiance
- 3. Swearing-In Ceremony of Sergeant Mark Misek
- 4. Unanimous Consent Agenda

All items on the Consent Agenda are considered to be routine in nature and will be enacted in one motion. There will be no separate discussion of these items unless a board member so requests, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Motion: Motion to approve the Consent Agenda as presented.

- A. Approval of Minutes
 - 1. Regular Meeting (October 16, 2023)
- B. Approval of Bills
- C. Committee of the Whole Report
 - 1. 2024 Meeting and Holiday Calendar Approval
- D. Plan Commission Report Summary
 - 1. Roma Sports Club: 9115 Roma Court (Waive 1st and 2nd Readings)
 - a. Special Use Permits for Indoor Recreation and Outdoor Recreation Ordinance
 - b. Three Points of Vehicular Access Variance and Landscaped Front Yard Setback Variance Ordinance
 - c. Roma 2 Resubdivision Final Plat Approval
 - 4. Prestwick Country Club Golf Cart Barn Replacement Multiple Zoning Variances: 601 Prestwick Drive Ordinance (Waive 1st and 2nd Readings)
- E. Approval of Executive Session Minutes and Destruction of Verbatim Recordings Resolution
- 5. Mayor's Report
- 6. Board Comments
- 7. Other Business
- 8. Public Comments
- 9. Adjournment

Swearing-In Ceremony of Sergeant Mark Misek

It is my honor to swear in Mark Misek to the office of Police Sergeant for the Village of Frankfort. Mark graduated from Oak Forest High School and then obtained a Bachelor's Degree in Law Enforcement/Criminal Justice from Western Illinois University. He also obtained his Master's Degree in Public Administration from Governor's State University. He became a police officer with the Village of Frankfort in March of 1999. Throughout his career, Mark has performed specialty positions as an evidence technician, field training officer, and accident reconstructionist, while also serving as a senior patrol officer for over twenty years.

During his free time, Mark is employed as an adjunct instructor for Oakton College and Harper College, teaching a variety of law enforcement/criminal justice courses. He also values his time with his wife, Linda, and their two daughters.

Mayor Ogle administers the Oath of Office.

I, (state your name)
do solemnly swear
that I will support the Constitution of the United States,
and the Constitution of the State of Illinois,
and that I will faithfully discharge the duties
of the office of Sergeant for the Village of Frankfort
to the best of my ability.



MINUTES OF THE REGULAR FRANKFORT VILLAGE BOARD MEETING OCTOBER 16, 2023

CALL TO ORDER & ROLL CALL

Mayor Keith Ogle called the regular meeting of the Frankfort Village Board to order on Monday, October 16, 2023, at 7:00 P.M., at the Village Administration Building, 432 W. Nebraska Street, Frankfort, Illinois.

Village Clerk Katie Schubert called the roll. In attendance were Mayor Keith Ogle, Clerk Katie Schubert, Trustees Michael Leddin, Maura Rigoni, Dan Rossi, and Gene Savaria. Also in attendance were Attorney Hannah Lamore, Village Administrator Rob Piscia, Assistant Administrator John Burica, and Police Chief Leanne Chelepis. Trustees Adam Borrelli and Jessica Petrow were absent.

PLEDGE OF ALLEGIANCE

Mayor Ogle led the Pledge of Allegiance to the Flag.

<u>HICKORY CREEK MIDDLE SCHOOL GIRLS' SOFTBALL STATE CHAMPIONS - PROCLAMATION</u>

Mayor Ogle entertained a motion from the floor to approve a Proclamation honoring the Hickory Creek Middle School Girls' Softball Team for their outstanding achievement in winning the 2023 Illinois Elementary School Association (IESA) 3A State Championship. This is the program's fourth IESA championship; the team won three in a row in 2015, 2016, and 2017 in Class 2A; and was runner-up at state for the last two years. This Tiger softball team outscored its quarterfinal, semifinal, and championship opponents by a combined 33-7 in the tournament. This hardworking team finished the season with a 24-2-0 record.

Trustee Savaria moved, seconded by Trustee Rossi, to approve the Proclamation recognizing the Hickory Creek Middle School Girls' Softball Team for their outstanding achievement in winning the 2023 IESA Class 3A State Tournament Championship. A voice vote was taken. All were in favor. The motion carried.

Mayor Ogle invited the coaches and the team to the podium. Coach Mitch Stein introduced Coach Erin Nemeth and each member of the girls' softball team. He thanked Hickory Creek staff members Athletic Director Taylor Boyle, Assistant Principal Tyler Sinclair, Assistant Principal Jason Crockett, Principal Tricia Dotson, and the parents for their support.

APPROVAL OF SPECIAL ORDERS – UNANIMOUS CONSENT AGENDA

All items on the Omnibus Agenda are considered to be routine in nature and are enacted in one motion. There is no separate discussion of these items unless a board member makes a request, in which event, the item will be removed from the Consent Agenda and will be considered separately.

- A. Approval of Minutes
 - 1. Public Hearing (October 2, 2023)
 - 2. Regular Meeting (October 2, 2023)
- B. Approval of Bills \$598,528.44
- C. Committee of the Whole Report
 - 1. St. Francis Road Resurfacing Project
 - a. IDOT Resolution for Improvement Under the Illinois Highway Code Approval Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-32) AUTHORIZING THE EXECUTION OF THE IDOT RESOLUTION FOR IMPROVEMENT UNDER THE ILLINOIS HIGHWAY CODE AND HEREBY APPROPRIATES \$206,130.00, for the resurfacing of St. Francis Road from U.S. 45 (LaGrange Road) to 88th Avenue from the Village's allotment of Motor Fuel Tax funds.
 - b. IDOT Resolution for Joint Funding Agreement for Construction Work Approval Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-33) AUTHORIZING THE EXECUTION OF THE JOINT FUNDING AGREEMENT FOR CONSTRUCTION WORK BETWEEN THE VILLAGE OF FRANKFORT AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION, AND HEREBY APPROPRIATES MOTOR FUEL TAX FUNDS IN THE AMOUNT OF \$206,130.00, or as much as may be needed to match the required funding for the resurfacing of St. Francis Road from U.S. 45 (LaGrange Road) to 88th Avenue.
 - 2. Engineering Services Agreement: Jackson Creek Lift Station Downstream Sanitary Sewer Capacity Analysis Resolution Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-34) AUTHORIZING THE EXECUTION OF AN AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT AND ROBINSON ENGINEERING, LTD., for professional engineering and surveying services associated with the Jackson Creek Lift Station Downstream Sanitary Sewer Capacity Analysis, in an amount not to exceed \$115,000.00.
 - 3. Engineering Services Agreement: Jackson Creek Force Main Inspection Resolution Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-35) AUTHORIZING THE EXECUTION OF AN ENGINEERING SERVICES AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT AND ROBINSON

ENGINEERING, LTD., for the Jackson Creek Force Main Inspection Project, in an amount not to exceed \$47,014.00.

- 4. Construction of Well 18 with Water Treatment Plant: Bid Award Resolution Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-36) AUTHORIZING THE EXECUTION OF A CONTRACT BETWEEN THE VILLAGE OF FRANKFORT AND VISSERING CONSTRUCTION COMPANY, for the construction of Well 18 with Water Treatment Plant, in the amount of \$5,690,000.00, of which \$500,000.00 in ARPA grant funds will be appropriated.
- 5. Targeted Industry and Industrial Incentive Program (T3IP) New Construction Grant: 22445 S. Fey Drive Resolution
 Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 23-37) AUTHORIZING THE APPROVAL OF A TARGET INDUSTRY AND INDUSTRIAL INCENTIVE PROGRAM GRANT IN THE AMOUNT OF \$15,000.00 TO LARAWAY INVESTMENTS, LLC, for the construction of a new 15,000 square foot building at 22445 S. Fey Drive within the East Point Industrial Park.

D. Plan Commission Report Summary

- 1. Preliminary and Final Plat of Re-Subdivision of Lots 2 and 3 in Iron Gate Estates Subdivision Approval Accept the Plan Commission recommendation and approve the Preliminary and Final Plat of Re-Subdivision of Lots 2 and 3 in Iron Gate Estates Subdivision, prepared by DesignTek Engineering, Inc., dated 10.09.2023, in accordance with the reviewed plans and subject to staff approval of any necessary technical revisions prior to recording.
- 2. 4Ever Yoga and Pilates Special Use Permit for Indoor Recreation: 83 and 87 Bankview Drive Ordinance (Waive 1st and 2nd Readings)

 Accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3421) GRANTING A SPECIAL USE PERMIT FOR INDOOR RECREATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (4EVER YOGA AND PILATES 83 AND 87 BANKVIEW DRIVE), to permit the operation of 4Ever Yoga and Pilates Studio, in accordance with the reviewed plans, public testimony, and Findings of Fact, and subject to the following conditions: 1) the applicant shall obtain a Frankfort business license; and 2) the business shall implement a minimum 15-minute break in between classes to accommodate parking space turnover.

Trustee Leddin moved, seconded by Trustee Rigoni, to approve the Unanimous Consent Agenda.

Following a motion to approve, Trustees Leddin, Rigoni, Rossi, and Savaria presented a brief overview of the consent agenda docket items under consideration for approval.

Prior to the vote, Trustee Rigoni stated that she will be abstaining from Consent Agenda Items C-2 and C-3, Professional Engineering Services Agreements with Robinson Engineering.

Village Board October 16, 2023 Page 4

Clerk Schubert called the roll. Ayes: Trustees Leddin, Rigoni, Rossi, and Savaria. Nays: None. Abstain: Trustee Rigoni (Items C-2 and C-3); Absent: Trustees Borrelli and Petrow. The motion carried.

MAYOR'S REPORT

- Mayor Ogle expressed his pride in honoring the Hickory Creek Middle School (HCMS) Girls' Softball Team this evening, commending the dedication of the athletes and parents.
- Mayor Ogle reported the Village's Leaf Collection Program began today, October 16 and continues through November 27.
- Mayor Ogle invited the community to the second annual Scary at the Prairie 5K Costume Run & Spooky Sprint event in downtown Frankfort on Saturday, October 21, at 10:30 A.M. Online registration is available at www.raceroster.com.
- Mayor Ogle encouraged the public to support the 13th Annual "Men Who Cook" fundraiser event on Saturday, October 21, from 6:00 P.M. to 9:00 P.M. at the J.J.C. Weitendorf Center in Joliet, noting proceeds will benefit the Will County Children's Advocacy Center.
- Mayor Ogle announced the Frankfort Police Department will host its annual "Safety Trunk or Treat" event on Saturday, October 28, from 10:00 A.M. to Noon in downtown Frankfort. The E.F. Bucko costume parade will kick off the event on Breidert Green at 10:00 A.M. followed by trunk-or-treating.
- Mayor Ogle reported the Frankfort Country Market will end its 2023 season on Sunday, October 29. He thanked the vendors, residents, and all the visitors for another successful season.
- Mayor Ogle announced "Trick or Treat" hours for the Village of Frankfort are 4:00 P.M. to 7:00 P.M. on Tuesday, October 31.
- Mayor Ogle expressed his heartfelt condolences on the passing of Silver Cross Hospital President and CEO, Ruth Colby. Ruth was a shining example of service over self and will be sorely missed.

BOARD COMMENTS

Clerk Schubert reported the next Village Board meeting is scheduled for Monday, November 6, at 7:00 P.M. and a Committee of the Whole meeting is scheduled for November 8, at 5:30 P.M.

The Village Board commended the Hickory Creek Middle School Girls' Softball Team for their outstanding season and capturing the state championship title.

Trustee Leddin wished everyone a fun and safe Halloween.

Village Board October 16, 2023 Page 5

Trustee Savaria extended congratulations to Jim and Stacy Holland on completing the Great Loop.

Trustee Rigoni welcomed 4Ever Yoga and Pilates to Frankfort and as well as Laraway Investments, LLC.

Trustee Rossi encouraged residents to attend Frankfort Police Department's annual "Safety Trunk or Treat" Halloween event on Saturday, October 28.

OTHER BUSINESS

There were no other items of business for discussion.

PUBLIC COMMENT

No public comments were addressed to the Village Board.

ADJOURNMENT

Hearing no further business, Trustee Rigoni moved, seconded by Trustee Savaria, to adjourn the regular board meeting of Monday, October 16, 2023. A voice vote was taken. All were in favor. The motion carried. The meeting adjourned at 7:27 P.M.

Katie Schubert Village Clerk	
As Presented \underline{X}	As Amended
	Keith Ogle, Village President
	Katie Schuhert Village Clerk

SCHEDULE OF BILLS NOVEMBER 6, 2023

FUND RECAP:	DIS	BURSEMENTS
01 GENERAL CORPORATE FUND	\$	279,622.86
31 CAPITAL DEVELOPMENT FUND	\$	1,188,035.13
62 SEWER & WATER OPER. & MAINT.	\$	183,632.16
68 SEWER & WATER EXTENSION FUND	\$	7,085.00
TOTAL ALL FUNDS	\$	1,658,375.15

			OT EN	Amount
	Invoice Number	Bank Account	Description	
001885 1ST A	YD CORPORATION PSI646681 PSI646981	GEN GEN	SILICONE LAUNDRY DETERGENT- 524 CENTER	90.05 188.06
Total For: 1	ST AYD CORPORATION	-	-	278.11
003930 AIRGA	S USA LLC 5502404935	GEN	SMALL CYLINDER RENTAL	177.22
Total For: A	IRGAS USA LLC		-	177.22
002794 AIRY'	S INC 28311	GEN	SEWER TELEVISING- WMB	1,151.48
Total For: A		GEN.	-	1,151.48
003976 AIS				
	84514	GEN	DATA ENDPOINT MANAGMENT SERVICES - NOV	1,098.76
	84515 84648	GEN	DATA BACKUP SERVICES - NOV	1,965.00
	84649	GEN GEN	ONSITE AND REMOTE SUPPORT - SEPTEMBER REMOTE SUPPORT - SEPTEMBER 2023	1,615.00 95.00
	84662	GEN	CISCO SWITCH - 2024 CONTRACT	1,996.00
Total For: A	IS		-	6,769.76
001577 ALEXA	NDER EQUIPMENT CO INC	2		
	202206	GEN	FUEL GAUGE	144.75
	LEXANDER EQUIPMENT CO) INC		144.75
001011 ALSIP	NURSERY 065459	GEN	FALL PLANTERS	3,000.00
	37275	GEN	MUMS	54.56
Total For: A	LSIP NURSERY			3,054.56
004774 ARAMA	RK UNIFORM & CAREER A	APPAREL GRO	UP INC	
	6030213384	GEN	MATS @PD 10-13	42.43
	6030214553	GEN	MATS @VH 10-18	50.46
	6030214567 6030216954	GEN GEN	MATS @PD 10-18 MATS @VH 10-25	42.43 50.46
	6030216967	GEN	MATS @PD 10-25	42.43
Total For: A	RAMARK UNIFORM & CARE	EER APPAREL	GROUP INC	228.21
001706 AT&T				
Total Fam. A	815464591406 23/10-	GEN	ALARM LINE @VH	475.00
Total For: A	IA & NUDYIA DZABIROSK	ΥT.		4/3.00
CD REFUND AZ.	PIGP23-0016	GEN	BSP23-0027/23403 JACKSON BRANCH	1,000.00
Total For: A	ZIR & NUDYIA DZABIROS	SKI		1,000.00
004871 BALAN	CED BODY VET CLINIC	CEN		00.00
Tatal Fam. B	142236	GEN	INJURED STRAY CAT - EUTHANIZED @ CLINIC -	90.00
	ALANCED BODY VET CLIN S & THORNBURG LLP	iic		90.00
004603 BARNE	3167734	GEN	CHLORIDE COMPLIANCE & PERMIT ASSISTANCE	2,799.00
Total For: B	ARNES & THORNBURG LLF		_	2,799.00
001651 BAXTE	R & WOODMAN INC 0251592	GEN	NPDES COMPLIANCE ASSISTANCE	7,085.00
Total For: B	AXTER & WOODMAN INC			7,085.00
004040 BERLAI	ND'S HOUSE OF TOOLS 4961 23/10-19	GEN	IMPACT GUN REPAIRS	35.99
Total For: BI	ERLAND'S HOUSE OF TOO			35.99
	S LAWN MAINTENANCE AN			1970 PO 19 CONT
	194617	GEN	LOT MOWING 709 TANGLEWOOD 10/9/23	86.00
	194618	GEN	LOT MOWING 560 LINDEN RD 10/9/23	100.00
	194657	GEN	LOT MOWING 9350 LARAWAY RD 10/12/23	75.00
	ILL'S LAWN MAINTENANC			261.00
UU4//5 BLACK	LAGOON POND MANAGEME 33082	GEN	POND WEED AND ALGAE CONTROL	5,034.00
Total For: BI	LACK LAGOON POND MANA			5,034.00

11/03/2023 08:29 AM Page: 1/10

				Amount
	Invoice Number	Bank Account	Description	
002727 BLUM	ME/DONALD			
	18-13-01-200-002/0	0 GEN	HARLEM ANNEXATION-2022 LEVY-TAX REBATE	1,036.28
Total For:	BLUME/DONALD			1,036.28
004689 BS&		CEN	CDV FFFG ON THE PLOC DOME ADDL 7/10 10/0/22	140.00
Total Ford	150758 BS&A SOFTWARE	GEN	SRV FEES-ONLINE BLDG PRMT APPL 7/10-10/9/23	140.00
	ROLL CONSTRUCTION SUPP	LV		140.00
001932 CAR	FR117293	GEN	SAFETY GLASSES- MK	39.18
	FR117294	GEN	HAND SPRAYER	46.93
	FR117487	GEN	SPRAYER, SOLVENT	325.07
	FR117488	GEN	SEALER	230.00
	CARROLL CONSTRUCTION	SUPPLY		641.18
001278 CHIC	CAGO TRIBUNE 7496734	GEN	83 AND 87 BANKVIEW DRIVE	40.50
	7496737	GEN	700 IRON GATE COURT	34.50
	7507594	GEN	ANNUAL TREASURER'S REPORT	882.00
	7512825	GEN	PRESTWICK CC CART BARN VARIATIONS	46.50
	7513659	GEN	165 INDUSTRY AVE UNIT 3	43.50
	7513663 7515135	GEN GEN	21420 S HARLEM AVE (THRIFT) POLICE COMMISSION RULES & REGS	54.00 42.00
Total For:	CHICAGO TRIBUNE	CLIN	FOLICE COPINIESSION NOTES & REGS	1,143.00
003098 CNG				_,
	0924731	GEN	PHONE SUPPORT 11/1/23-4/29/24	1,787.13
Total For:	CNG			1,787.13
003067 COM	CAST CABLE			
	877120149004219323		20602 LW LN - INTERNET	135.91
	877120149004619423 877120149035643723		432 W NEBRASKA-INTERNET 20538 LINCOLNWAY LN- RGNL	215.62 312.92
Total For:	COMCAST CABLE	LOLIN	20330 EINCOEMIAT EN KONE	664.45
	ONWEALTH EDISON CO			
001015 CON	0210061037 23/10-1	2 GEN	STREETLIGHTS	5,396.44
	0444146098 23/10-6	GEN	STREETLIGHTS	63.65
	1553034022 23/10-0		1025 LAMBRECHT- BLDG	66.19
	4359088050 23/10-5		460 OHIO- WPS	2,729.09
	5043020207 23/10-0 9097745017 23/10-1		23031 S 80TH- WELL 13/14 2 SMITH ST	3,543.09 84.26
Total For:	COMMONWEALTH EDISON CO		Z SMITH ST	11,882.72
	TELLATION NEW ENERGY			11,002.72
003041 CONS	707605-1 23/09-27	GEN	20538 LAGRANGE- RGNL	17,136.40
	707605-12 23/10-04	GEN	422 SPRUCE- NPS	1,203.00
	707605-14 23/09-27		9209 GULFSTREAM- INDUSTRY L/STN	53.24
	707605-16 23/10-02		850 OVERLOOK L/STN	72.79
	707605-18 23/10-02 707605-19 23/10-06	GEN GEN	IRONWOOD/CHARMAIN L/STN 9194 GULFSTREAM- AIRPORT L/STN	75.49 56.35
	707605-2 23/09-27	GEN	730 TANGLEWOOD- WELL 4	3,589.16
	707605-21 23/10-11	GEN	429 NEBRASKA ST (POND)	530.33
	707605-22 23/10-05	GEN	524 CENTER RD	1,052.06
	707605-24 23/10-02	GEN	STONEBRIDGE/BASSWOOD L/STN	27.03
	707605-25 23/10-25	GEN	234 BLACKTHORN- WELL 6	26.82
	707605-5 23/09-27 707605-6 23/10-05	GEN GEN	1015 LAMBRECHT- WELL 5 22801 WOLF RD- WELL 11/12	608.45 5,675.68
	707605-8 23/09-27	GEN	1040 S BUTTERNUT CT- L/STN	71.03
	707605-9 23/10-05	GEN	8847 LINCOLN HWY- WELL 10	3,618.20
Total For:	CONSTELLATION NEW ENE	RGY INC		33,796.03
004398 CORE	& MAIN LP			
	T703624	GEN	(3) METER FLANGE SETS	282.00
	T711403	GEN	(10) FLEXNETS	1,472.01 2,227.53
	Т717937 Т785076	GEN GEN	VALVE REPLACEMENT PARTS NEW HYDRANT & PARTS- ILLINOIS ST	7,621.00
Total For	CORE & MAIN LP			11,602.54
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11/03/2023 08:29 AM Page: 2/10

		V. L	Amount
Invoice Number	Bank Account	Description	
001129 CRAWFORD SUPPLY GROUP			
\$1026494.001	GEN	PLUMBING SENSORS	460.78
\$1079384.002 \$1087224.001	GEN GEN	FAUCET SOLENOID	265.53 32.28
Total For: CRAWFORD SUPPLY GROUP		5022.1023	758.59
004725 CROWN TROPHY			
47074	GEN	SCARY AT THE PRAIRIE MEDALS/RIBBONS	212.22
Total For: CROWN TROPHY			212.22
004403 CURRENT TECHNOLOGIES CORP 732766	GEN	CAMERA REPAIR	660.00
Total For: CURRENT TECHNOLOGIES	CORP		660.00
CD REFUND DAVID JACKSON			
B229585	GEN	BPT23-0028/8612 HIGH STONE WAY	500.00
B229585	GEN	BLB23-0046/8612 HIGH STONE WAY	1,000.00
Total For: DAVID JACKSON			1,500.00
001848 E Z DUZ IT PRODUCTS INC 10391	GEN	DISINFECTANT SPRY	96.00
Total For: E Z DUZ IT PRODUCTS I		2232111 2571111 STAT	96.00
001172 EJ USA INC			
110230072581	GEN	SEWER GRATE	133.73
Total For: EJ USA INC			133.73
003819 EMPLOYEE BENEFITS CORPORA 4206667	TION GEN	BENEFITS CARD ADMINISTRATION - OCT 23	420.00
Total For: EMPLOYEE BENEFITS COR		BENEFITS CARD ADMINISTRATION OCT 25	420.00
004673 EUROFINS ENVIRONMENT TEST:			420.00
5000125607	GEN	RGNL- SAMPLE TESTING	100.00
5000125673	GEN	RGNL- SAMPLE TESTING	235.50
5000125750	GEN	RGNL- SAMPLE TESTING	100.00
Total For: EUROFINS ENVIRONMENT	TESTING		435.50
001865 EVON'S TROPHIES & AWARDS 10/11/23	GEN	PROCLAMATION PLAQUES	150.00
Total For: EVON'S TROPHIES & AWAI		PROCEAMATION PEAGUES	150.00
004515 EVOQUA WATER TECHNOLOGIES			230100
906140327	GEN	BLADE REPLACEMENT- CLARIFIERS	1,278.20
Total For: EVOQUA WATER TECHNOLOG	GIES LLC		1,278.20
001981 EXCEL ELECTRIC INC			V SANCE OF SANCE
128450 128487	GEN	STREETLIGHT REPAIR NEW STREETLIGHT @LAKEVIEW EST SOUTH	1,632.58 7,938.00
128488	GEN GEN	STREETLIGHT GLAREVIEW EST SOUTH	255.73
128520	GEN	STREETLIGHT REPAIR @PD	318.00
128529	GEN	STREETLIGHT REPAIR - MARKET STREET	2,365.75
128530	GEN	STREETLIGHT MAINT	480.00 983.37
128531 Total For: EXCEL ELECTRIC INC	GEN	STREETLIGHT MAINTENANCE	13,973.43
004502 FE MORAN INC			13,373.43
001-302311277	GEN	FIRE SUPPRESSION SYSTEM MAINTENANCE @VH	3,820.00
Total For: FE MORAN INC			3,820.00
002714 FRANKFORT SCHOOL DIST. 157 2023/11 X-GUARDS	7 C GEN	2 CROSSING GUARDS-NOV 2023	270.00
Total For: FRANKFORT SCHOOL DIST.	. 157C		270.00
002364 FREEDOM FIRST AID & SAFETY	/ INC		
50807	GEN	ASPRIN, BANDAGES, LENS WIPES	61.00
51051	GEN	BIOFREEZE, LENS CLEAN WIPES, IBUPROFEN	76.25
Total For: FREEDOM FIRST AID & SA	AFETY INC		137.25
003392 G COOPER OIL COMPANY INC 90037184	GEN	GREASE, COOLANT	1,048.92
Total For: G COOPER OIL COMPANY I			1,048.92

11/03/2023 08:29 AM Page: 3/10

	-		Amount
Invoice Number	Bank Account	Description	
001091 GALLAGHER MATERIALS CORP			
31279	GEN	COLD PATCH	555.00
Total For: GALLAGHER MATERIALS (ORP		555.00
001844 GALLS LLC 025807117	CEN	#318 POLO / #319 PANTS	161.38
025864702	GEN GEN	UNIFORM PANTS - #330	157.24
025877474	GEN	UNIFORM PANTS - #330	78.63
Total For: GALLS LLC			397.25
001446 GASVODA & ASSOCIATES, INC	i.		
INV23MSR0134CHF	GEN	CHLORINATION EQUIPMENT PARTS- WELLS	642.75
INV23MSR0135CHF INV23MSR0145CHF	GEN GEN	CHLORINATION EQUIPMENT ACCESSORIES PUMP REPAIRS- WELLS	6,780.00 425.75
Total For: GASVODA & ASSOCIATES,		TOTAL RELIZERS	7,848.50
004018 GEMPLER'S	21101		,,,,,,,,,,
INV0004566629	GEN	WORK PANTS- RM, VC, LE	212.45
INV0004566894	GEN	WORK PANTS- LE	42.49
Total For: GEMPLER'S			254.94
UB REFUND GNC LLC 3			
207-1194-00-05	GEN	UB REFUND FOR ACCOUNT: 207-1194-00-05	38.31
Total For: GNC LLC 3			38.31
001401 GORDON ELECTRIC SUPPLY IN			410.00
\$2682986.001 \$2683001.001	GEN GEN	BULBS, FUSES BULBS	418.09 386.91
\$2683001.002	GEN	BULBS	567.35
Total For: GORDON ELECTRIC SUPPL	Y INC		1,372.35
004868 GRAEFEN DEVELOPMENT			
101723	GEN	T3IPNEW CONST GRANT 22445 S FEY DR	15,000.00
Total For: GRAEFEN DEVELOPMENT			15,000.00
002780 GREEN GLEN NURSERY INC			
79823 79870	GEN GEN	REPLACEMENT TREES REPLACEMENT PARKWAY TREES	4,845.00 3,560.00
79928	GEN	REPLACEMENT TREE	270.00
80110	GEN	MAPLE TREE- RGNL	240.00
Total For: GREEN GLEN NURSERY IN	C		8,915.00
003429 HAWKINS INC			
6552082	GEN	SURCHARGES- WELLS	480.00 4,370.34
6582039 6603140	GEN GEN	CHLORINE & HSA- WELLS SURCHARGE- WELLS	580.00
6604701	GEN	SURCHARGE- WELLS	58.50
6609447	GEN	CHLORINE & HSA- WELLS	2,802.30
Total For: HAWKINS INC			8,291.14
001120 HERITAGE FS INC	·		2 140 02
35014637 35014777	GEN GEN	DIESEL DIESEL	3,148.82 2,165.52
Total For: HERITAGE FS INC	GEN	2	5,314.34
002851 HOME DEPOT CREDIT SERVICE	S		3,321131
0970980	GEN	EXPANDING FOAM, PAINT	52.36
4971529	GEN	GRABBER TOOL	39.94
4971530 5970847	GEN GEN	PLYWOOD, PAINT, STAIN CEDAR BOARD @PLAYGROUND	198.42 19.24
Total For: HOME DEPOT CREDIT SER		CEDAR BOARD GFLATGROUND	309.96
003004 ID NETWORKS	VICES		303.30
281476	GEN	2023-2024 ANNUAL CONTRACT	4,413.00
Total For: ID NETWORKS			4,413.00
004254 IL OFFICE OF ATTORNEY GEN		con	30.00
SOR 10-27-23 Total For: IL OFFICE OF ATTORNEY	GENERAL	SOR	30.00
004255 IL STATE POLICE-OFC OF FI	NANCE		
SOR 10-27-23 Total For: IL STATE POLICE-OFC 0	GEN F FTNANCF	SOR	30.00
TOTAL TOTAL TOTALE OF CO	. I ZIVANCE		30.00

11/03/2023 08:29 AM Page: 4/10

1,	
23 Mx 1990 23-0931 GEN	Amount
Total For: ILLINOIS STATE POLICE	
C58226A	600.00
C582/26A GEN POLICE CANDIDATE PSYCHOLOGICAL EVAL - T.W. SMITH	600.00
Total For: SEWENT SERVICES SERVICE	575.00
TOTAL FOR I SOLVED BENEFIT SERVICES	575.00
Mathematical Math	51.45
Total For: JC M UNIFORMS INC	51.45
TOTAL FOR: J C M UNIFORMS INC 0072589	50.90
O0725989 GEN CEDARHURST POKER RUN	50.90
O0725989 GEN CEDARHURST POKER RUN	
Note	12.18
O0431309 GEN EMPLOYEE LUNCHEON SCARY AT THE PRAIRIE FOOD/DRINK O07022282 GEN DONUTS FOR SCARY AT THE PRAIRIE O0803452 GEN SCARY AT THE PRAIRIE O0803452 GEN SCARY AT THE PRAIRIE ONE	12.18
O0669597 GEN SCARY AT THE PRAIRIE FOOD/DRINK O0722282 GEN DONUTS FOR SCARY AT THE PRAIRIE O0803452 GEN SCARY AT THE PRAIRIE OTTO	
O0722282 GEN SCARY AT THE PRAIRIE PRAIRIE ORDINAS FOR SCARY AT THE PRAIRIE DRINKS FORD	55.40
Total For: Jewel	143.37 179.64
004454 JOHNSON CONTROLS SECURITY SOL 39406257 GEN ALARM LINE @CHAMBER 39406257 GEN 3940625	201.84
39406257 GEN	580.25
Total For: JOHNSON CONTROLS SECURITY SOL 004793 KERNEL SWEETOOTH 1222 GEN HOT CHOCOLATE WINTER EVENTS 12/22-3/23 Total For: KERNEL SWEETOOTH CD REFUND KIMBERLY GROEN B229927 GEN BPT23-0027/22853 MUNICH CT B229927 GEN BLB23-0045/22853 MUNICH CT B229927 GEN BLB23-0045/22853 MUNICH CT 1, Total For: KIMBERLY GROEN 23001159R1005700 GEN FILTER PANELS- RGNL 5, Total For: KRUGER INC 2023-140 GEN SIDEWALK REPAIR @MISTY FALLS DR 2023-141 GEN SIDEWALK REPAIR @PORT WELLER CT 2023-142 GEN SIDEWALK REPAIR @FLAGSTONE TURN 2, 2023-144 GEN SIDEWALK REPAIR @MARY DR 2023-144 GEN SIDEWALK REPAIR @MARY DR 2023-144 GEN SIDEWALK REPAIR @MARY DR 2023-145 GEN CULVERT REPLACEMENT @ILLINOIS RD 1, 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 885 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	148.50
## 1004793 KERNEL SWEETOOTH 1222	148.50
Total For: KERNEL SWEETOOTH SUPPLY GROEN B229927 GEN BPT23-0027/22853 MUNICH CT B229927 GEN BLB23-0045/22853 MUNICH CT SUPPLY GROEN SUPP	
CD REFUND KIMBERLY GROEN B229927 GEN BPT23-0027/22853 MUNICH CT B229927 GEN BLB23-0045/22853 MUNICH CT 1, 1, 1, 1, 1, 1, 1, 1	644.00
B229927 GEN BPT23-0027/22853 MUNICH CT 1, 1, 1, 1, 1, 1, 1, 1	644.00
B229927 GEN BLB23-0045/22853 MUNICH CT 1,	
1,003703 KRUGER INC 23001159RI005700 GEN FILTER PANELS- RGNL 5,	500.00
D003703 KRUGER INC 23001159RI005700 GEN FILTER PANELS- RGNL 5, 5, 5 5 5 5 5 5 5	500.00
23001159RI005700 GEN	300.00
D04136 LANDSCAPE SUPPLY INC 2023-140 GEN SIDEWALK REPAIR @MISTY FALLS DR 2023-141 GEN SIDEWALK REPAIR @PORT WELLER CT 2023-142 GEN SIDEWALK REPAIR @FLAGSTONE TURN 2, 2023-143 GEN SIDEWALK REPAIR @MARY DR 2023-144 GEN SIDEWALK REPAIR @SIENNA DR 2, 2023-152 GEN CULVERT REPLACEMENT @ILLINOIS RD 1, 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2, 2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 2023-45	742.81
2023-140 GEN SIDEWALK REPAIR @MISTY FALLS DR 2023-141 GEN SIDEWALK REPAIR @PORT WELLER CT 2023-142 GEN SIDEWALK REPAIR @FLAGSTONE TURN 2, 2023-143 GEN SIDEWALK REPAIR @MARY DR 2023-144 GEN SIDEWALK REPAIR @SIENNA DR 2023-152 GEN CULVERT REPLACEMENT @ILLINOIS RD 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	742.81
2023-141 GEN SIDEWALK REPAIR @PORT WELLER CT 2023-142 GEN SIDEWALK REPAIR @FLAGSTONE TURN 2, 2023-143 GEN SIDEWALK REPAIR @MARY DR 2 2023-144 GEN SIDEWALK REPAIR @SIENNA DR 2, 2023-152 GEN CULVERT REPLACEMENT @ILLINOIS RD 1, 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2, 2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2, 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	
2023-142 GEN SIDEWALK REPAIR @FLAGSTONE TURN 2, 2023-143 GEN SIDEWALK REPAIR @MARY DR 2023-144 GEN SIDEWALK REPAIR @SIENNA DR 2, 2023-152 GEN CULVERT REPLACEMENT @ILLINOIS RD 1, 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2, 2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	462.50
2023-143 GEN SIDEWALK REPAIR @MARY DR 2023-144 GEN SIDEWALK REPAIR @SIENNA DR 2, 2023-152 GEN CULVERT REPLACEMENT @ILLINOIS RD 1, 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2, 2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	525.00
2023-144 GEN SIDEWALK REPAIR @SIENNA DR 2, 2023-152 GEN CULVERT REPLACEMENT @ILLINOIS RD 1, 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2, 2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	450.00 962.50
2023-152 GEN CULVERT REPLACEMENT @ILLINOIS RD 1, 2023-453 GEN 864 ST. ANDREWS WAY- LANDS REST 2, 2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	450.00
2023-454 GEN 882 ST. ANDREWS WAY- LANDS REST 2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	660.00
2023-455 GEN 884 ST. ANDREWS WAY- LANDS REST 2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	136.00
2023-456 GEN 885 ST. ANDREWS WAY- LANDS REST	444.75
	432.00 636.00
2023-457 GEN ST.ANDREWS WAY-LANDS REST	177.00
	252.00
2023-459 GEN 716 TANGLEWOOD- SIDEWALK REST	870.00
	870.00
	350.00
2023-462 GEN 7636 BENTON- LANDS REST 2023-463 GEN 427 MICHIGAN- PATCH REST 1,	96.00 320.00
enters and in section of the section	770.00
	880.00
	110.00
	970.00
	850.00
and Miller Co. Advantage Co. A	646.50 720.00
	624.00
Total For: LANDSCAPE SUPPLY INC 28,	664.25

11/03/2023 08:29 AM Page: 5/10

		OF EN	Amount
Invoice Number	Bank Account	Description	
004518 LOCAL PRINTING & DESIGN			
14092	GEN	XL SHIRTS FOR SCARY AT THE PRAIRIE	315.00
14095	GEN	DECAL STICKERS	126.44
rotal For: LOCAL PRINTING & DESIG	SN		441.44
004048 M COOPER SUPPLY CO	CEN	CUMP PUMP (CONTINED)	270 42
160224	GEN	SUMP PUMP @GRAINERY	278.43
rotal For: M COOPER SUPPLY CO			2/8.43
002020 M.E. SIMPSON CO INC 41065	GEN	LEAK LOCATES	1,125.00
41118	GEN	LEAK LOCATES	645.00
Total For: M.E. SIMPSON CO INC			1,770.00
001106 MACE IRON WORKS, INC.			
81558	GEN	METAL	27.00
otal For: MACE IRON WORKS, INC.			27.00
000252 MAROSS/RUBIN			
102323 DL	GEN	CDL RENEWAL- RM	50.00
otal For: MAROSS/RUBIN			50.00
01024 MASTER AUTOMOTIVE SUPPLY			
15030-135894	GEN	BRAKE PADS & ROTORS- U-6	387.00
15030-135896	GEN	OIL FILTERS, BULBS	226.52
15030-135906 15030-135988	GEN GEN	BRAKE PADS, ROTORS BRAKE PADS, ROTOR	732.61 641.92
15030-135388	GEN	BRAKE CALIPER CORE RETURN	(220.00)
15030-136088	GEN	CABIN FILTER, ELEMENT	90.00
15030-136192	GEN	ADHESIVE STEEL WEIGHT, VALVE	139.69
15030-136193	GEN	FUEL/WATER SEPARATOR	56.71
15030-136195	GEN	AIR GAUGE	15.99
otal for: MASTER AUTOMOTIVE SUPP	PLY		2,070.44
01969 MATTHUIS TRUCKING INC			
3351	GEN	22.37 TONS CA-7 & 7 LDS DIRT OUT	2,021.85
3369	GEN	90.43 TONS CA-07	1,062.55
otal For: MATTHUIS TRUCKING INC			3,084.40
ISC MAXWELL & REGINA KONIGBAGBE	CEN	0510 STONE CREEK LAND/TREE DEPOSIT RETURN	1,500.00
B228996	GEN	8510 STONE CREEK LAND/TREE DEPOSIT RETURN	1,500.00
otal For: MAXWELL & REGINA KONIG			1,300.00
001343 MEADE ELECTRIC COMPANY INC		TRAFFIC STONAL MATNITENANCE LABAWAY	825.04
706190 706452	GEN GEN	TRAFFIC SIGNAL MAINTENANCE-LARAWAY TRAF SIGNAL REPAIR-80TH/LARAWAY 9/20	3,101.60
otal For: MEADE ELECTRIC COMPANY		THAT STAIRE REPAIR COTTY ENGINEET STEE	3,926.64
AND THE RESIDENCE AND ADDRESS OF THE PARTY O	INC		3,320.04
02212 MIDDLETON OVERHEAD DOORS WO-9157	GEN	DOOR REPAIRS- 524 CENTER RD	546.60
otal For: MIDDLETON OVERHEAD DOG		DOOK REPAIRS 324 CENTER RD	546.60
	11.3		540.00
04137 MITCHELL 1 29971276	GEN	SHOPKEY	1,788.00
otal For: MITCHELL 1	GLIT	SHOLKET	1,788.00
			1,700.00
01050 NICOR GAS 02281548525 23/10-1	GEN	22801 WOLF RD- WELL 11/12	114.08
08567910008 23/10-1		8847 LINCOLN HWY- WELL 10	49.30
42177014190 23/10-1		524 CENTER RD	204.83
56723949717 23/10-1	GEN	20538 LAGRANGE- RGNL	675.66
61691220000 23/10-2	GEN	460 OHIO- WPS	190.30
64425289374 23/10-9		2 N WHITE ST	162.74
64669780781 23/10-1		422 SPRUCE- NPS	173.81
83651240448 23/10-1		601 PRESTWICK- WELL 17	165.07
92252770240 23/10-1		23031 S 80TH- WELLS 13/14	174.63
92388243583 23/10-1	GEN	2 SMITH ST	52.60
otal For: NICOR GAS			1,963.02
04818 NUISANCE WILDLIFE CONTROL		TRADDING A LICHTHOUSE DOINT DETENTION BOND	2 500 00
2023-64	GEN THE	TRAPPING @ LIGHTHOUSE POINT DETENTION POND	2,500.00
otal for: NUISANCE WILDLIFE CONT	KUL INC		2,500.00

11/03/2023 08:29 AM Page: 6/10

		OPEN	Amount
Invoice Number	Bank Account	Description	Allounc
001026 NU-WAY DISPOSAL SERVICE,			
2023/11 INV#856775		6840 GARBAGE/RECYCLING SERV-OCTOBER 2023	148,285.95
Total For: NU-WAY DISPOSAL SERVI	CE, INC.		148,285.95
004277 OAK LAWN BLACKTOP PAVING 1042301	CO GEN	SHOOTING RANGE PARKING LOT REPAVING	35,000.00
Total For: OAK LAWN BLACKTOP PAN		SHOUTING RANGE PARKING LOT REPAVING	35,000.00
001373 ORKIN PEST CONTROL	ING CO		33,000100
251999812	GEN	GRAINERY 10-10	81.99
Total For: ORKIN PEST CONTROL			81.99
001344 P.T. FERRO CONSTRUCTION C		2022 BOARWAY MATNITENANCE PROCESS PARAMETER #2	1 100 679 40
47734 Total For: P.T. FERRO CONSTRUCTI	GEN ON CO	2023 ROADWAY MAINTENANCE PROGRAM PAYMENT#3	1,100,678.40
004416 PARK HARDWARE #16759	.ON CO.		1,100,078.40
009295	GEN	TOILET SUPPLY LINE	17.98
009297	GEN	CONNECTOR, ALL PURPOSE CLEANER	27.57
009300	GEN	WD40, TRASH BAGS	14.58
009324	GEN	GRAB HOOK, RAKE	53.94
009334/3	GEN	REPAIR PARTS- WELL 15/16	84.54
009337/3	GEN	BATTERY- WELDING MASK	7.59
009338/3	GEN	RETURN- REPAIR PARTS WELL 15/16	(55.56)
009339/3	GEN	REPAIR PARTS- WELL 15/16	51.16
009356	GEN	STEEL STRIP	25.98
009357/3	GEN	PVC ADAPTER & OPER SUPPLIES	38.57 19.18
009365/3	GEN	HARDWARE- WELLS	9.98
009375 009376/3	GEN GEN	MOUSE TRAPS GALVANIZED NIPPLES	29.57
009370/3	GEN	ACRYLIC SHEET-WELL 15/16	15.99
009380/3	GEN	PUMP- WPS	240.00
009388	GEN	BATTERY, WIPING CLOTHS	23.97
009432	GEN	BATTERIES, DUSTER	26.98
009436	GEN	SAW HOLE	13.99
9333/3	GEN	TAPE FOR SCARY AT THE PRAIRIE SIGNS	15.98
9368/3	GEN	CABLE TIES FOR SCARY AT THE PRAIRIE	5.99
Total For: PARK HARDWARE #16759			667.98
001010 PETTY CASH			
23/11-2177	GEN	PETTY CASH	122.63
23/11-9435	GEN	PETTY CASH	73.16
Total For: PETTY CASH			195.79
004870 PHOENIX FIRE SYSTEMS, INC		ETDE ALADM SERVICES PONI	1 277 62
310478 Total For: PHOENIX FIRE SYSTEMS,	GEN	FIRE ALARM SERVICE- RGNL	1,377.63
001875 PLAZA CLEANERS	INC		1,377.03
1001167-09-01-2023	GEN	SEPTEMBER 2023 CLEANINGS	317.50
Total For: PLAZA CLEANERS			317.50
002898 POMP'S TIRE SERVICE INC			
411064611	GEN	TIRES ST-49	972.04
411065282	GEN	TIRES- U-12	775.12
411066554	GEN	TIRES DS-2	1,053.12
Total For: POMP'S TIRE SERVICE I	NC		2,800.28
004869 PORTER LEE CORPORATION 29252	GEN	BEAST INSTALLATION	11,587.45
Total For: PORTER LEE CORPORATIO	N		11,587.45
003640 PRECISE TREE CARE			
269843	GEN	STUMP REMOVAL	225.00
270214	GEN	TREE REMOVAL @CHESTNUT DR	1,600.00
Total For: PRECISE TREE CARE			1,825.00
			-,

11/03/2023 08:29 AM Page: 7/10

			Of Liv	Amount
	Invoice	Bank		7.1
	Number	Account	Description	
002480 PROVEN	BUSINESS SYSTEMS			
	1099603	GEN	TOSH/ESTUDIO6570CT CLICK CHG 7/23-10/22/23	111.70
	1099605	GEN	23 CONTRACT COPY OVERAGE	114.18
	1103165	GEN	XEROX/C8145/H2	66.19
	1103294	GEN	ANNUAL CONTRACT - TOSHIBA/ESTUDIO4 OCT. 2023-OCT 2024	849.48
	1104820	GEN	CANON/DX527IFZ CLICK CHG 9/30-10/30/23	73.18
Total For: PF	ROVEN BUSINESS SYSTEM	1S		1,214.73
002840 RACE 1	TIME INC			
	U1021	GEN	SCARY AT THE PRAIRIE TIMING	1,057.96
Total For: RA	ACE TIME INC			1,057.96
004266 RAMIRO	GUZMAN LANDSCAPING	INC		
	08846	GEN	MOWING	11,674.32
Total For: RA	AMIRO GUZMAN LANDSCAF	PING INC		11,674.32
	HERRON CO., INC.			,,
001003 KAI 0	2301703	GEN	UNIFORM VEST - JAYCOX	630.00
Total Fore DA	Y O'HERRON CO., INC.	970770		630.00
		•		030.00
004412 RED WI		CEN	CAFETY WORK BOOTS BY	175 00
	20231024007865	GEN GEN	SAFETY WORK BOOTS - RM	175.00 175.00
-	20231027007865	GEN	SAFETY WORK BOOTS- MM	FE-1002-1910-191-191-191-191-191-191-191-191-19
Total For: RE	D WING SHOES			350.00
001940 ROBINS	ON ENGINEERING LTD			2
	23090258	GEN	SURYA SOLAR FARM	663.75
Total For: RC	BINSON ENGINEERING L	_TD		663.75
004106 RUSH T	RUCK CENTERS OF IL I	:NC		
	3034275113	GEN	DASH LIGHTS	209.00
	3034559441	GEN	VALVE	101.80
	3034616121	GEN	INTAKE GRID, HEATER KIT	243.02
-	3034644924	GEN	PUMP ASSEMBLY	1,184.04
Total For: RU	ISH TRUCK CENTERS OF	IL INC		1,737.86
005003 RUSSO'	S POWER EQUIPMENT IN	IC		
	SPI20426140	GEN	BACKPACK BLOWER	619.99
	SPI20426191	GEN	PUMP- WATER VAULTS	638.97
	SPI20430543	GEN	SAFETY GLOVES	27.99
Total For: RL	SSO'S POWER EQUIPMEN	IT INC		1,286.95
002266 S & S	MECHANICAL SERV-ATCO			
	15232	GEN	DEHUMIDIFIER SERVICE- WELL 13/14	195.00
	15271	GEN	WELL 4- HVAC COMPRESSOR RPLMT & MNTC	6,114.36
	15332	GEN	CAPACITATOR RPLMT- HVAC RGNL	135.61
	15333	GEN	RPLMT MOUNTS- EXHAUST FAN RGNL	1,275.69
	15354 15361	GEN GEN	WELL 17- HVAC MAINTENANCE WELL 10- HVAC MAINTENANCE	390.00 585.00
	15362	GEN	FURNACE INDUCER MOTOR INSTALL @PD	1,034.15
	15363	GEN	WELL 15/16- HVAC MAINTENANCE	520.00
	15364	GEN	WELL 5- HVAC MAINTENANCE	450.00
	15381	GEN	WELL 11/12- HVAC MAINTENANCE	390.00
	15385	GEN	WELL 4- RPLMT EVAP COIL & FREON	3,570.00
	15386	GEN	WELL 4- HVAC SERVICE	3,442.30
	15388	GEN	WELL 4- HVAC MAINTENANCE	520.00
	15401	GEN	FURNACE INSTALL @123 KANSAS	6,295.00
	15427	GEN	THERMO & CAPACITATOR RPLMT- HVAC RGNL	716.56 195.00
	15438 15443	GEN GEN	HVAC SERVICE- RGNL RGNL- HVAC MAINTENANCE	3,950.00
Takal 2			MORE TIVAC PIATRI ERANCE	29,778.67
	& S MECHANICAL SERV-	AICU		23,//0.0/
002366 SASE C		ć=1.	DETURN POLITY CORP.	(47 00)
	CR17625	GEN	RETURN POWER CORD	(17.92)
	INV330261	GEN	CONCRETE GRINDER DRUMS	1,374.93
Total For: SA	SE COMPANY INC			1,357.01
MISC SHIRREN	NASSAR & NADER SHALA			9 900 00
	B229371	GEN	23055 DEVONSHIRE LN LAND/TREE BOND DEPOSIT RETURN	1,500.00
Total For: SH	IRREN NASSAR & NADER	SHALABI		1,500.00

11/03/2023 08:29 AM Page: 8/10

			Amount
Invoice Number	Bank Account	Description	
004257 SITEONE LANDSCAPE SUPPLY	'INC		
135660890-001	GEN	RUST STAIN REMOVER, COUPLING	87.10
Total For: SITEONE LANDSCAPE SU	JPPLY INC		87.10
004606 SOLENIS LLC 132472583	GEN	POLYMER- RGNL	13,941.44
Total For: SOLENIS LLC	GLIV	TOETHER ROME	13,941.44
004802 SPARKLES ENTERTAINMENT I	:NC		,
113023	GEN	BUDDY CHARACTER FOR LIGHTING OF THE GREEN	550.00
Total For: SPARKLES ENTERTAINME	NT INC		550.00
004815 STANTEC CONSULTING SERVI 2143038	CES INC GEN	PRAIRIE PARK MANAGEMENT	9,460.87
Total For: STANTEC CONSULTING S	ERVICES INC		9,460.87
002912 STAPLES ADVANTAGE			
8071927448 8071961019	GEN GEN	PAPER/FILE FOLDERS/SHIPPING TAPE OFFICE SUPPLIES	143.50 149.15
8071961019	GEN	USB'S/MOUSE PAD/CALENDARS	129.51
8072035700	GEN	OFFICE SUPPLIES	133.33
8072120955	GEN	OFFICE SUPPLIES	254.77
Total For: STAPLES ADVANTAGE			810.26
CD REFUND TEODORO IRWIN C PIGP23-0020	GEN	BSP23-0031/375 BUTTERNUT TRL	1,000.00
Total For: TEODORO IRWIN C			1,000.00
001630 TERMINAL SUPPLY CO.			
50709	GEN	SCREWS, CONNECTORS, PINS	381.86
Total For: TERMINAL SUPPLY CO.			381.86
004256 TREASURER OF STATE OF IL		COD	Г 00
SOR 10-27-23	GEN	SOR	5.00
Total For: TREASURER OF STATE O			3.00
OO2852 TRI-STATE CUT STONE & BR SIO080185	GEN	SEALER FOR PILLARS/HCP	415.00
Total For: TRI-STATE CUT STONE	& BRICK CO		415.00
001931 TRUGREEN LIMITED PARTNER	SHIP		
180676846	GEN	FERTILIZATION @VH POND	162.00
182755057	GEN	FERTILIZATION DETENTION POND @ABBEY DR 9-7	70.00
183390570	GEN	AERATION & SEEDING @ABBEY DR	220.00
184062743 184450457	GEN GEN	FERTILIZATION GARREY DR 10 0	9,325.47 70.00
184450457 Total For: TRUGREEN LIMITED PAR		FERTILIZATION @ABBEY DR 10-9	9,847.47
001756 USA BLUE BOOK	TNEKSHIF		5,047.47
INV00160032	GEN	RGNL- LAB SUPPLIES	853.56
INV00161065	GEN	HYDRANT DIFFUSER	550.26
INV00162016	GEN	HYDRANT DIFFUSERS (2)	919.12
Total For: USA BLUE BOOK			2,322.94
004448 VCNA PRAIRIE LLC			224 22
891226410	GEN	22.37 TONS CA-7	291.92
891250846 891252745	GEN GEN	45.30 TONS CA-07 45.13 TONS CA-07	591.17 588.94
891258231	GEN	ROADMIX	182.94
Total For: VCNA PRAIRIE LLC			1,654.97
001345 VERIZON WIRELESS			
9946787102	GEN	IWIN/CELLPHONE CHARGES-OCTOBER	882.27
Total For: VERIZON WIRELESS			882.27
001827 WATER SOLUTIONS UNLIMITE		CHI ORTHE & DUOCDUATE - WELLS	12 709 00
118589	GEN MITTED INC	CHLORINE & PHOSPHATE- WELLS	13,798.00
Total For: WATER SOLUTIONS UNLI 004706 WEY BANK	MITIED THE		13,790.00
004706 WEX BANK 92610381	GEN	GASOLINE-OCTOBER	9,988.21
Total For: WEX BANK			9,988.21
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Invoice Bank		Amount
Invoice Bank Number Accou	nt Description	
002298 WHOLESALE DIRECT INC		
000265601 GEN	WINTER BLADES	248.79
Total For: WHOLESALE DIRECT INC		248.79
001247 WILL COUNTY GOVERNMENTAL LEAG 2023-1250 GEN	EMPLOYEE ASSISTANCE PROGR	AM FEES - 4TH QTR 611.10
Total For: WILL COUNTY GOVERNMENTAL LEA	.G	611.10
004317 XYLEM WATER SOLUTIONS USA INC		
3556C93559 GEN	PUMP- RGNL	9,844.30
total For: XYLEM WATER SOLUTIONS USA IN	C	9,844.30
Report Total:		1,658,375.15
FUND TOTALS:		
01 GENERAL CORPORATE FUND	279,622.86	
31 CAPITAL DEVELOPMENT FUND	1,188,035.13	
62 SEWER & WATER OPER. & MAINT.	183,632.16	
68 SEWER & WATER EXTENSION FUND	7,085.00	
PAYMENT TYPE TOTALS:		
ACH Transaction	148,285.95	
Paper Check	1,510,089.20	

11/03/2023 08:29 AM

C. COMMITTEE OF THE WHOLE REPORT

1. 2024 MEETING AND HOLIDAY CALENDAR – APPROVAL (Presenter: Trustee Leddin)

The Village of Frankfort is required to publish a schedule of regular meetings at the beginning of each calendar year and state the dates, times, and places of such meetings. If not published otherwise, the first and third Monday of each month commencing at 7:00 P.M. is designated as the regular time for the meetings of the Village Board, except on certain holidays and the meeting is scheduled for Tuesday after that holiday; the second Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for Committee Night; the second and fourth Thursday of each month commencing at 6:30 P.M. is designated as the regular time for the meetings of the Plan Commission/Zoning Board of Appeals; and the third Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for the Historic Preservation Commission. All meetings are held at the Village Administration Building, 432 W. Nebraska Street.

At its October 11, 2023 meeting, the Committee of the Whole reviewed the proposed Village of Frankfort Meeting and Holiday Calendar for the upcoming year. It was the consensus of the Committee to forward a recommendation to the Village Board to schedule a single Village Board meeting in January (January 16); shift the Plan Commission meeting dates in March from the second and fourth Thursday to the first and third Thursday; and move the regular Village Board meeting dates in April from the first and third Monday to the second and fourth Monday.

Motion: Accept the recommendation of the Committee of the Whole and approve the 2024 Village of Frankfort Meeting and Holiday Calendar as presented.

2024 VILLAGE OF FRANKFORT MEETING AND HOLIDAY CALENDAR

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Willage Board

Committee Night

Historic Preservation Commission

Plan Commission/Zoning Board of Appeals

Holiday

Regular meetings of the Village Board commence at 7:00 P.M. on the above-designated published dates; the second Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for Committee Night; the Plan Commission/Zoning Board of Appeals commence at 6:30 P.M. on the above-designated published dates; the third Wednesday of each month commencing at 5:30 P.M. is designated as the regular time for the Historic Preservation Commission; the Police Pension Board holds regular quarterly meetings in January, April, July, and October and special meetings as called by the Pension Board President; and the Board of Fire and Police Commissioners meet on an as needed basis. All meetings are held at the Village Administration Building, 432 W. Nebraska Street, Frankfort, Illinois 60423. Additional information can be found at www.frankfortil.org.

D. PLAN COMMISSION REPORT SUMMARY

1. ROMA SPORTS CLUB: 9115 ROMA COURT (Presenter: Trustee Savaria)

Applicant Steve Rotondi proposes to construct a 20,800 square foot addition onto the existing Roma Sports Club building to provide more indoor recreation space. The applicant also proposes a parking lot expansion (adding 117 spaces) and consolidating Lot 1 of the Roma Resubdivision with Lots 16-18 of the East Point Park Subdivision. To accommodate the proposed improvements, the applicant requests the granting of the following:

- Special Use Permit for Indoor Recreation
- Special Use Permit for Outdoor Recreation Over 1 Acre
- Three Points of Vehicular Access Variance
- Landscaped Front Yard Setback Variance from 20' to 15.2'
- Final Plat Approval

At the October 12, 2023 public hearing on the project, the Plan Commission forwarded five unanimous (7-0) recommendations to the Village Board to grant the requests.

Motion: Accept the recommendation of the Plan Commission, waive the First and Second Readings, and pass an Ordinance granting a Special Use Permit for indoor recreation for a health/fitness facility and a Special Use Permit for outdoor recreation over 1 acre for two outdoor soccer fields to accommodate the operation of Roma Sports Club on Lot 1 of the Roma 2 Resubdivision, 9115 Roma Court, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.

Motion: Accept the recommendation of the Plan Commission, waive the First and Second Readings, and pass an Ordinance granting a variance to permit three points of vehicular access to Roma Court for a lot with more than 200 feet of road frontage and a variance of the landscaped front yard setback requirement from 20 feet to 15 feet, 2 inches, to accommodate construction of a 20,800 square foot building addition and parking lot expansion for Roma Sports Club on Lot 1 of Roma 2 Resubdivision, 9115 Roma Court, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.

Motion: Accept the Plan Commission recommendation and approve the final plat of Roma 2 Resubdivision, consolidating Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision to create a single Lot 1 of Roma 2 Resubdivision, prepared by Associated Surveying Group, LLC, dated 09.01.23, in accordance with the reviewed plans and subject to staff approval of any necessary technical revisions prior to recording.

2. PRESTWICK COUNTRY CLUB – 601 PRESTWICK DRIVE (Presenter: Trustee Rossi)

Prestwick Country Club requests the granting of four zoning variations for the construction of a new 4,320 square foot golf cart barn to replace the existing barn. Due to the size, height, and placement of the golf cart barn, the project requires the following four variations:

- Accessory structure size variance from 144 square feet to 4,320 square feet
- Accessory structure height variance from 15' to 21'
- Variation to permit an accessory structure in the front yard
- Variation to permit an accessory structure in front of the primary structure

At its October 26, 2023 public hearing on the project, the Plan Commission forwarded four unanimous (4-0) recommendations to the Village Board to grant the variation requests subject to several conditions.

Motion: Accept the recommendation of the Plan Commission, waive the First and Second Readings, and pass an Ordinance granting the following zoning variances to the property located at 601 Prestwick Drive for the construction of a new golf cart barn: an accessory structure size variance from 144 square feet to 4,320 square feet; an accessory structure height variance from 15 feet to 21 feet; a variance to permit an accessory structure within a front yard; and a variance to permit an accessory structure in front of the primary structure; all in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval, and subject to the following conditions: 1) The existing stumps and wood pallets shall be cleared during construction of the proposed building; 2) A Landscape Plan for the area around the cart barn shall be submitted for staff review and approval and required plantings shall be installed within one year of Village Board approval; and 3) The building elevations shall be revised to reflect a charcoal color stone veneer wainscot on all four sides.

ORDINANCE NO. 34XX

AN ORDINANCE GRANTING SPECIAL USE PERMITS FOR INDOOR RECREATION AND OUTDOOR RECREATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9115 ROMA COURT)

WHEREAS, an application for Special Use Permits for certain property within the Village of Frankfort, legally described below, was filed by Steve J. Rotondi, Applicant; and Xpress Holdings, LLC, 12639 Brighton Court, Mokena, Illinois 60448, Owner; and

WHEREAS, the Subject Property, commonly known as 9115 Roma Court (Lot 1) in the Roma 2 Resubdivision, is currently zoned I-1 Limited Industrial District; and

WHEREAS, the Applicant proposes constructing a 20,800 square foot building addition and parking lot expansion for the existing Roma Sports Club; and

WHEREAS, the Owner requests the granting of a Special Use Permit for indoor recreation for a health/fitness facility and a Special Use Permit for outdoor recreation over 1 acre for two outdoor soccer fields to permit the operation of Roma Sports Club on the Subject Property; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for Special Use Permits for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for Special Use Permits for the Subject Property; and

WHEREAS, the Frankfort Plan Commission/Zoning Board of Appeals has made special written Findings-of-Fact as required by the Village of Frankfort Zoning Ordinance 2001; and

WHEREAS, the Frankfort Plan Commission forwarded two unanimous (7-0) recommendations to the Board of Trustees of the Village of Frankfort that the Subject Property be granted Special Use Permits for indoor recreation and outdoor recreation, with conditions as enumerated in Section 1 of this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. SPECIAL USE PERMITS

That the following described real property to wit:

PINS: 19-09-34-202-025-0000; 19-09-34-202-010-0000; 19-09-34-202-009-0000; and 19-09-34-202-008-0000

PARCEL 1:

LOT 1 IN ROMA RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 2015, AS DOCUMENT R2015054429, IN WILL COUNTY, ILLINOIS

PARCEL 2:

LOTS 16, 17, AND 18 IN EAST POINT PARK SUBDIVISION, BEING PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006, AS DOCUMENT R2006156045, IN WILL COUNTY, ILLINOIS, commonly known as 9115, 9094, 9070, and 9046 Roma Court, Frankfort, Will County, Illinois, are the properties subject to the previously described application for Special Use Permits, and is hereby granted said Special Use Permit for indoor recreation for a health/fitness facility and a Special Use Permit for outdoor recreation over 1 acre for two outdoor soccer fields to accommodate the operation of Roma Sports Club on Lot 1 of Roma 2 Resubdivision, 9115 Roma Court, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. ZONING MAP AMENDMENT

That the Zoning Map of the Village of Frankfort is amended to reflect the Subject Property, currently zoned I-1 Limited Industrial District, is hereby granted Special Use Permits for indoor recreation for a health/fitness facility and outdoor recreation over 1 acre for two outdoor soccer fields, as provided under this Ordinance and the Village of Frankfort Zoning Ordinance, as from time to time amended.

SECTION 4. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 5. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this day of, 2023; w NAY; and members absent; the Village Pre said vote being:		
ADAM BORRELLI	MICHAEL LEDDIN	***************************************
JESSICA PETROW	MAURA A. RIGONI	protections
DANIEL ROSSI	EUGENE SAVARIA	
APPROVED this day of, 2023.	KATIE SCHUBERT VILLAGE CLERK	
ATTEST: KATIE SCHUBERT VILLAGE CLERK	KEITH OGLE VILLAGE PRESIDENT	

ORDINANCE NO. 34XX

AN ORDINANCE GRANTING TWO ZONING VARIANCES TO PERMIT THREE POINTS OF VEHICULAR ACCESS AND A LANDSCAPED FRONT YARD SETBACK FOR CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9115 ROMA COURT)

WHEREAS, an application for certain variances for real property within the Village of Frankfort, legally described below, was filed by Steve J. Rotondi, Applicant; and Xpress Holdings, LLC, Frankfort, Illinois 60423, Owner; and

WHEREAS, the Subject Property, commonly known as 9115 Roma Court (Lot 1) in the Roma 2 Resubdivision, is currently zoned I-1 Limited Industrial District; and

WHEREAS, the Owner requests the granting of two variances, one to permit three points of vehicular access for a lot with more than 200 feet of road frontage, and the other to reduce the landscaped front yard setback requirement from 20 feet to 15 feet, 2 inches to accommodate the construction of a 20,800 square foot building addition and parking lot expansion for Roma Sports Club on the Subject Property; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, the Board of Trustees found, based upon evidence presented to it:

- 1. That the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in an I-1 zoning district.
- 2. That the plight of the Owner is due to unique circumstances; and
- 3. That the variations will not alter the essential character of the locality, and that the requested zoning variances should be granted.

WHEREAS, the legal description of the Subject Property at the time of the filing of the variance application is as follows:

PINS: 19-09-34-202-025-0000; 19-09-34-202-010-0000; 19-09-34-202-009-0000; and 19-09-34-202-008-0000

PARCEL 1:

LOT 1 IN ROMA RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 2015, AS DOCUMENT R2015054429, IN WILL COUNTY, ILLINOIS

PARCEL 2:

LOTS 16, 17, AND 18 IN EAST POINT PARK SUBDIVISION, BEING PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006, AS DOCUMENT R2006156045, IN WILL COUNTY, ILLINOIS.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. VARIANCES

That the requirements imposed under the I-1 zoning classification of the Village of Frankfort Zoning Ordinance are hereby varied for the above-described Subject Property, located at 9115 Roma Court, as follows:

- 1. A variance to permit three points of vehicular access to Roma Court for a lot of more than 200 feet of road frontage; and
- 2. A variance of the landscaped front yard setback requirement from 20 feet to 15 feet, 2 inches

To accommodate construction of a 20,800 square foot addition and parking lot expansion for Roma Sports Club on Lot 1 of the Roma 2 Resubdivision, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon final engineering approval.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and

publication in pamphlet form as	provided by law.		
PASSED this day of NAY; and members absent; said vote being:		members voting AYE; _ nt not voting; with meml	
ADAM BORRELLI		MICHAEL LEDDIN	
JESSICA PETROW		MAURA A. RIGONI	************
DANIEL ROSSI		EUGENE SAVARIA	
APPROVED this day of	_, 2023.	KATIE SCHUBERT VILLAGE CLERK KEITH OGLE	
ATTEST:		VILLAGE PRESIDENT	
KATIE SCHUBERT VILLAGE CLERK			

C. Public Hearing: 9115 Roma Court – Roma Sports Building Addition & Outdoor Recreation

Christopher Gruba presented the staff report.

The applicant, Steve Rotondi, signed in at the podium. He noted that the plans before the Commission had incorporated comments made at the workshop.

Commissioner Schaeffer asked if there were any members of the public that wished to speak. Bruce Warner signed in at the podium. He said that he owns the adjacent property to the east and that he does not have any objections to the project. He did note that there is a row of trees between his property and the applicants and that this tree row is technically located on his property and not on Roma's property. He noted that the property lines shown on the aerial photograph are slightly incorrect and that he wants the trees to remain unaffected by any development.

Chair Schaeffer said that staff had received a letter from adjacent property owner, Jeff Graefen, that she read into the record. Mr. Graefen's letter said that he did not object to the proposed development.

Chair Schaeffer asked if any other members of the public wished to speak. There were none.

Motion (#3): To close the public hearing.

Motion by: Markunas Seconded by: Jakubowski

Chair Schaeffer asked the Commission for comments regarding the Special Use Permit for indoor recreation. There were none. She asked the Commission for comments regarding the Special Use Permit for outdoor recreation. There were none.

Chair Schaeffer asked the Commission for comments regarding the variation to permit three points of vehicular access to Roma Court, whereas only two are permitted. She added that staff had spoken to the Public Works Department regarding this request and they had no objection. Commissioner Markunas said that he thought that three points of vehicle access to Roma Court seemed appropriate given the length of the property itself, including the length of the parking lot.

Chair Schaeffer asked the Commission for comments regarding the variation to permit a front yard landscape setback of 15.2', whereas 20' is required. Commissioner Knieriem asked the applicant why he chose to not move the smaller soccer field closer to the larger soccer field. Mr. Rotondi said that they were moved further away from the street for safety reasons and because he intended to use as much of the "crown" of the existing playfields as before, meaning he would have to move less dirt. He also said that there were existing

stormwater facilities in place that he didn't want to disturb. Commissioner Knieriem said that it looked like there was potential to expand the parking lot even further without impacting the smaller soccer field. Mr. Rotondi replied that the project has already gone over budget and expanding the parking lot even further would make it even more over budget. Commissioner Knieriem asked the applicant if gates were proposed in the new 8' tall black, vinyl coated chain link fencing, in case balls needed to be retrieved. Mr. Rotondi replied that there would be a pedestrian gate every 100' in the fencing.

Commissioner Markunas said that the proposed landscaping looked good, but asked if the landscaping could be extended to the rest of the property. Mr. Rotondi replied that there are existing bushes and river rock along the building and that all parking lot islands have trees. He said that the proposed street trees meet the requirement of 1 every 35' along Roma Court.

Chair Schaeffer asked staff to elaborate on the loading zone as illustrated on the plans. Chris Gruba said that the loading area that was originally approved for the building was removed and restriped with customer parking and that it should be reverted back to a striped loading zone as part of the proposed site improvements. He noted that the Geometric Plan (Sheet C-2) included a note stating "existing loading area to remain, loading area to be restriped and existing parking stall striping in front of loading area to be removed".

Chair Schaeffer asked staff if a trash enclosure was included on the plans. Chris Gruba replied that Sheet C-2 stated that a trash enclosure, meeting code, would be installed. However, staff has not received any detail drawings of the proposed trash enclosure todate. Mr. Rotondi and his architect, Robin Ersfeldt, said that they had submitted a dumpster enclosure detail drawing to staff. Chris Gruba responded that it may have been missed and not included but could not confirm that it had been received. Regardless, he'd either locate the dumpster detail or request it from the applicant and ensure that it would be included with the Village Board's packet.

Commissioner James said that he appreciated that the applicant had added more parking since the workshop, which would help lessen the need to shuttle people in from other locations.

Chair Schaeffer asked for comments regarding the Plat of Resubdivision. There were none.

<u>Motion (#4):</u> Recommend to the Village Board to approve the Special Use Permit for indoor recreation on Lot 1 of the Roma 2 Resubdivision to include the building addition, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: Jakubowski Seconded by: Hogan

Approved: (7-0)

Motion (#5): Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 1 of the Roma 2 Resubdivision for the outdoor playing fields, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James

Seconded by: Morris

Approved: (7-0)

Motion (#6): Recommend to the Village Board to approve the Variation to permit at 15.2' front landscape setback whereas 20' is required per Article 6, Section C, Part 1, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James

Seconded by: Hogan

Approved: (7-0)

Motion (#7): Recommend to the Village Board to approve the Variation to permit three points of vehicular access to Roma Court, whereas a maximum of two are permitted per Article 6, Section C, Part 2 (n)(3), in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (7-0)

Motion (#8): Recommend approval of a Plat of Resubdivision to consolidate Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision, to create a single Lot 1 of Roma 2 Resubdivision, subject to staff approval of any technical revisions prior to recording.

Motion by: Morris

Seconded by: Markunas

Approved: (7-0)

D. Workshop: Dunkin' Donuts

Mike Schwarz presented the staff report and noted that the presentation slides show newly submitted plans.

Planning Commission / ZBA



October 12, 2023

Project: Roma Sports - Building addition and outdoor sports fields

Meeting Type: **Public Hearing**

Requests: 2 Special Use Permits and 2 Variations

Location: 9115 Roma Court Applicant: Steve Rotondi Prop. Owner: Xpress Holdings, LLC Steve Rotondi

Christopher Gruba, Senior Planner Staff Reviewer:

Site Details

Representative:

Lot Sizes: 7.18 acres Lot 1, 1 acre each Lots 16-18

19-09-34-202-025-0000, 19-09-34-202-PIN(s):

010-0000, 19-09-34-202-009-0000, 19-09-34-202-008-0000

Existing Zoning: I-1 (all lots)

Proposed Zoning: N/A

Future Land Use: Business Park

Buildings:

Total Sq. Ft.: 50,140 SF existing, 70,940 SF proposed

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Indoor Rec.	Business Park	1-1
North	Light Industrial/ Undeveloped	Business Park	I-1
South	Undeveloped	Business Park	A-1 (County)
East	Undeveloped	Business Park A-1 (County)	
West	Light Industrial	Business Park	1-2



Figure 1. Location Map

Project Summary -

The applicant is proposing to construct a 20,800 square foot building addition onto the existing Roma Sports building to provide more indoor recreation space. The applicant is also proposing to combine Lot 1 (the largest lot containing the building) with Lots 16-18 on the north side of Roma Court. The number of existing soccer fields would be reduced from 5 to 2. Lastly, 104 parking spaces would be added to the existing parking lot, increasing the total number from 78 to 195. A PC/ZBA workshop on this project was held on August 24, 2023.

To achieve this, the project will require the following entitlements:

- 1. Special Use Permit for indoor recreation (building addition on Lot 1 of the new Roma 2 Subdivision)
- 2. Special Use Permit for outdoor recreation over 1 acre (Lot 1 of the new Roma 2 Subdivision)
- 3. Variation for 3 points of vehicle access to Roma Court, whereas 2 are permitted (Lot 1 of the new Roma 2 Subdivision)
- 4. Variation for 15.2' front landscape setback, whereas 20' is required (Lot 1 of the new Roma 2 Subdivision)
- 5. Plat of Resubdivision to combine Lot 1 of the Roma Subdivision with Lots 16-18 of the East Point Park Subdivision

Attachments -

- 1. Aerial image (1:6,000 scale) VOF GIS
- 2. Findings of Fact (Special Use Permit), applicant responses
- 3. Findings of Fact (Variation), applicant responses
- 4. Photographs of subject property
- 5. Photographs of other buildings within the East Point Park subdivision
- 6. Written permission from owner of 22442 Fey Drive to allow overflow parking
- 7. Written permission from Hickory Creek Middle School, allowing off-site shuttled parking at the Middle School
- 8. PC/ZBA meeting minutes excerpt of September 11, 2014 (review of original building)
- 9. Board meeting minutes excerpt of September 15, 2014 (approval of original Special Use Permits and variation)
- 10. PC/ZBA meeting minutes excerpt of August 24, 2023 (workshop meeting)
- 11. Original Subdivision Plat (formerly known as Harper Business Park, now East Point Park)
- 12. Preliminary Engineering Plans, received September 11, 2023
- 13. Plat of Survey, received September 11, 2023
- 14. Photometric Plan, received September 11, 2023
- 15. Geometric Plan, received October 5, 2023
- 16. Floor plan of building addition, received July 25, 2023
- 17. Landscape Plan, received September 13, 2023
- 18. Landscape Plan (color), received September 13, 2023
- 19. Truck Turning Plan (fire), received September 11, 2023
- 20. Truck Turning Plan (delivery), received September 11, 2023
- 21. Building Elevations, received August 16, 2023
- 22. Color rendering of building elevations illustrating the proposed addition and existing building
- 23. Plat of Resubdivision, received September 11, 2023

Main Changes since the workshop on August 24, 2023

- 1. Lot 1 of Roma Subdivision (containing the building) is now proposed to be combined with Lots 16-18 of the East Point Park Subdivision on the north side of Roma Court. Lots 16-18 are approximately 1 acre each. The result will be a single, Lot 1 of Roma 2 Subdivision, with an area of approximately 10.2 acres. This idea was discussed at the workshop meeting.
- 2. The parking lot was formerly increased from 78 spaces to 149 spaces (adding 71 spaces). The parking lot will now be increased from 78 to 195 spaces (adding 117 spaces). This was a recommendation of the PC/ZBA at the workshop meeting.
- 3. The workshop plans illustrated 3 outdoor soccer fields, which have now been reduced to 2 outdoor soccer fields.
- 4. By seeking a lot combination, the applicant is now required to plant street trees along Roma Court, at a rate of 1 street tree for every 35'. A total of 12 street trees have been added to the north side of Roma Court.
- 5. The applicant is proposing an 8' tall, black, vinyl coated chain link fence along the west and north sides of the current Lots 16-18. This fence would match the existing fence sections on Lot 1, which contains the building. The existing two sections of fencing on Lot 1 are located along the south property line east of the building and at the northeast corner of the property, presumably to contain errant soccer balls. 8' is the maximum height permitted in the I-1 zone district.
- 6. Two additional light poles were added to the extended parking lot.
- 7. A color rendering of the building with the building addition has been provided. This was a request at the workshop meeting.

Analysis (updated since the workshop) ——

Zoning

Lot 1 and Lots 16-18 are all zoned I-1, Limited Industrial. Upon a combination of all lots, the resulting lot would remain zoned I-1.

Site Design

1. The proposed building addition on the proposed *new* Lot 1 complies with the dimensional requirements for the I-1 zone district:

	Required	Proposed/Existing
Minimum Lot Size	1 acre	10.20 acres
Minimum Lot Width	100'	870' +/-
Front Setback (north)	50′	77.7′
Corner Side Setback (west)	20'	105′ +/-
Side Setback (east)	20'	415′ +/-
Rear Setback (south)	30'	30′
Building Height (of addition to peak)	35'	34′ 8″
Lot Coverage	No Max	16%
Impervious Lot Coverage (Lot 1)	80%	38%

- 2. The applicant is proposing a parking lot expansion in conjunction with the building addition. As proposed, the parking lot would have three (3) points of vehicular access to Roma Court. The Zoning Ordinance only permits two points of vehicular access, requiring a variation (page 130). The applicant has noted that the existing facility can become very congested during tournaments and that three points of access are necessary to provide adequate exiting of patrons. The Public Works Department has reviewed the proposed plans and does not object to three points of access on Roma Court.
- 3. It does not appear that the plans for the original building included a dumpster or dumpster enclosure. A "floating" dumpster was observed by staff during a site inspection this spring. Per §50.01 of the Municipal Code, dumpsters must be contained within an enclosure made of materials that match the building. Although a detail of the proposed enclosure was not provided at the time of this report, the Geometric Plan notes that a new masonry (CMU) dumpster enclosure will be provided near the existing loading space. The enclosure would be between 5-6' tall and have an opaque wood gate. As proposed, the enclosure would comply with §50.01 of the Municipal Code.
- 4. No retaining walls are proposed.
- 5. The Fire District has reviewed the proposed site plan and does not have any additional comments currently.
- 6. A 7' wide concrete pedestrian sidewalk is proposed along the north and east sides of the proposed building addition.

<u>Floorplan</u>

- 1. The 20,800 square foot building addition would provide area for 4 additional sports courts, each measuring 60'x30'. The addition would also include a 2,232 square foot storage room, with a mezzanine above it of the same size, also used for storage.
- 2. There will be no bleacher-type seating provided within the building addition, per the proposed floorplan.
- 3. There will be no indoor food concessions inside the new building addition.

Parking & Loading

1. Indoor recreation facilities require "1 parking space for every 4 patrons based upon the maximum occupancy of the facility, plus 1 parking space for each employee during the largest working shift". The

Geometric Plan (Sheet C-2) notes that the entire building after the addition would provide a maximum occupancy of 495 patrons. The applicant also noted that there may be up to 3 employees during the largest working shift. As such, the indoor recreation use would require a total of 127 parking spaces.

- Outdoor recreation facilities require "1 parking space for every 10,000 square feet of gross land area".
 After the proposed building addition and parking lot expansion, two soccer fields of different sizes would be reconfigured on the new Lot 1 of Roma 2 Subdivision. The combined area of the three soccer fields is 70,200 square feet, requiring 8 parking spaces.
- 3. With both indoor and outdoor uses combined, a total of 135 parking spaces would be required per Code (127 + 8). The site plan illustrates a total of 182 parking spaces, including 9 ADA-accessible spaces, exceeding this requirement.
- 4. The Zoning Ordinance requires a minimum drive aisle width of 19' when serving two rows of 60° angle parking. The drive aisle within the parking lot is 23.5' wide, meeting this requirement. The existing drive aisle in front of the existing building is also 23.5' wide.
- 5. The Zoning Ordinance requires at least 1 loading space, measuring 12' x 50'. The original approved plans for Roma Sports included one 14'x61' loading area near the southwest corner of the building. This loading area is currently blocked by several new parking stalls that were painted after the building was built. Staff has requested that these parking spaces be removed in order to provide access to the loading space in perpetuity (by restriping the parking lot). The Geometric Plan (Sheet C-2) notes that these parking spaces will be removed to provide access to the loading space.
- 6. Concrete curbs are required for all paved areas and have been provided.

Architectural Style and Building Materials

- 1. The Zoning Ordinance lists regulations for new construction within the I-1 zone district:
 - a) Exterior walls shall be of face brick, architectural steel and aluminum, stone, glass, exposed aggregate panels, textured or architecturally finished concrete, steel, or wood. Equivalent or better materials, or any combination of the above, may be used in a well-conceived or creative application.
 - b) Common brick and concrete block are prohibited as exterior building materials.
 - c) Split face block is only permitted on front and side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said façades.
 - d) Corrugated metal or pre-engineered metals installed with exposed fasteners are only permitted on front facades if 50% of said front façade is masonry, and are only permitted on side facades where architectural features (such as columns, horizontal bands, etc.) are incorporated into said side façades.
- 2. The proposed building addition is intended to exactly match the existing building in terms of architecture and materials, with the exception that the addition will not be as tall as the existing portion.
- 3. The building addition would have two new rooftop mechanical units, measuring approximately 15'x20'. The proposed gabled roof does not have any parapets and as such, these new units would be screened

behind metal screenwalls as tall as the units. The screenwalls would be made of the same metal material as the building and painted to match. No ground-mounted mechanical units are proposed.

4. There are three (3) other existing buildings in the East Point Park subdivision, with a fourth in the process of being constructed. The HB Fuller building to the north is primarily constructed of split face CMU block and corrugated metal. The other buildings for Architectural Grilles & Sunshades, Inc. and Southwest Town Mechanical (HVAC) include construction materials such as split face CMU block, corrugated metal, brick and decorative window louvers. Photographs of these buildings have been included with the staff report.

Stormwater & Drainage

- 1. Robinson Engineering has performed a preliminary review and has indicated that the subdivision has been pre-engineered for drainage. There are existing storm sewers that collect water from all sides of Lot 1 and direct it to existing detention ponds within the subdivision.
- 2. There are no wetlands or floodplains on the subject property.

Landscaping

The proposed Landscape Plan complies with all the requirements listed in the Landscape Ordinance, including for street trees and parking lot landscaping. However, the Zoning Ordinance requires a 20' wide landscape setback along the front property line along Roma Court (page 127). The existing parking lot is set back 15.2' from the front property line and is considered existing, non-conforming. It's unclear how a deficient landscape setback was originally permitted for Lot 1, as no variation records were located by staff, nor was the property developed as a PUD. Regardless, the expansion of the parking lot along Roma Court, set back 15.2' from the front property line, will require a variation.

Lighting

A photometric plan has been provided by the applicant. The site will be illuminated with 4 new light poles and 7 new building-mounted wall pack lights. The proposed lighting complies with the requirements listed in the Zoning Ordinance.

Special Use Request -

The following findings of fact are used to judge the merit of a special use permit request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Variation Requests

The following findings of fact are used to judge the merit of a variation request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No variation shall be recommended by the Plan Commission, unless such Commission shall find that all three of the following criteria are met:

- 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
- 2. That the plight of the owner is due to unique circumstances; and
- 3. That the variation, if granted, will not alter the essential character of the locality.

In addition to the above 3 required criteria, the Plan Commission shall also take into consideration the following 7 criteria:

- 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
- 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
- 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
- 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
- 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
- 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motions ——

- 1. Recommend to the Village Board to approve the Special Use Permit for indoor recreation on Lot 1 of the Roma 2 Resubdivision to include the building addition, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
- 2. Recommend to the Village Board to approve the Special Use Permit for outdoor recreation greater than 1 acre on Lot 1 of the Roma 2 Resubdivision for the outdoor playing fields, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
- 3. Recommend to the Village Board to approve the Variation to permit at 15.2' front landscape setback whereas 20' is required per Article 6, Section C, Part 1, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
- 4. Recommend to the Village Board to approve the Variation to permit three points of vehicular access to Roma Court, whereas a maximum of two are permitted per Article 6, Section C, Part 2 (n)(3), in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
- 5. Recommend approval of a Plat of Resubdivision to consolidate Lot 1 of Roma Resubdivision with Lots 16-18 of East Point Park Subdivision, to create a single Lot 1 of Roma 2 Resubdivision, subject to staff approval of any technical revisions prior to recording.

9115 Roma Court - Building Addition & Outdoor Recreation





Application for Plan Commission / Zoning Board of Appeals Review Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following "Findings of Fact." Please attach additional pages as necessary.

- 1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
 - The special use permit requests associated with this project are for both indoor and outdoor recreation which would not be detrimental to the general welfare of the public in any way.
- 2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
 - The special use permit requests are in line with the current use of the existing building at the site, therefore, these requests will in no way affect the surrounding industrial park.
- 3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
 - The special use permit requests are in line with the current use of the existing building at the site and only impact the applicant's property, therefore will not impede the improvement of the surrounding property in any way.
- 4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
 - The proposed exterior architectural elements will match that of the already approved existing structure, and will therefore not be in variance.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

There are existing utilities, access roads and drainage facilities already in place for this development.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The plan has been designed to allow for adequate ingress and egress to the building in an effort to minimize traffic congestion. Additional parking is being provided in an effort to minimize traffic congestion on the streets as well.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

The plans have been prepared in an effort to conform to the applicable regulations of the district unless otherwise approved.



Application for Plan Commission / Zoning Board of Appeals Review Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

- 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 - The variances being requested for this site pertain to decreasing a landscape setback to 15.2' as well as the request for 3 points of access to Roma Court. Both of these variances allow for better traffic circulation (as it relates to patrons) through the parking lot for the existing and new building addition.
- That the plight of the owner is due to unique circumstances; and
 Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons.
- 3. That the variation, if granted, will not alter the essential character of the locality.
 - The variation is for a slight decrease in a landscaped area as well as for an increase in the number of access points allowed. These variations do not affect the character of the locality and instead enhance what is already existing.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

- 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 - Existing surrounding conditions are being met, and traffic patterns throughout the existing site have been looked at to determine the safest and most appropriate circulation for patrons. Following the strict letter of the regulations would result in fewer available parking spaces as well as fewer points of entry/exit, which could cause congestion and potential for unsafe conditions out in front of the existing and proposed buildings.

- 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 - The conditions upon with the petitions for variation are based are specific to the use of the existing and proposed buildings in this development.
- 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 - The purpose of the variations being requested are based on providing better traffic circulation throughout the site, which relates to safety more than anything else.
- 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 - The landscape setback that is being requested is in order to match was what previously approved by the Village such that the new and existing parking areas will line up. The request for an additional point of access relates to the creation of an additional parking lot east of the new building addition.
- 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 - The granting of the variation will not be detrimental to the public welfare, but instead will be beneficial to patrons by providing safe traffic circulation throughout the site.
- 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or
 - The variances being requested do not affect the exterior architectural appeal and functional plan in any way.
- 7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.
 - The proposed variations only affect the parking areas of the site, therefore, none of the items mentioned above will be impaired in any way. The variances are being requested in order to stay in line with, as well as improve the existing conditions at the site and the surrounding industrial park.



















Fwd: Parking.. Friday, August 25, 2023 3:17:43 PM

CAUTION: This e-mail originated outside of the Village's email system.

DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

Here you go.

Your Lincoln-Way Community Sports Complex"

Steve J Rotondi

image001.gif

8

9115 Roma Ct, Frankfort, IL 60423

815.469.ROMA

PLAY WITH PASSION!

Begin forwarded message:

From: John Trainor <john@agsshade.com>
Date: August 25, 2023 at 2:45:57 PM CDT
To: Steve J Rotondi <steve@romasportsclub.com>
Subject: RE: Parking..

Steve,

Based on hours of operation for ROMA – primarily nights and weekends, when AGS is not operating. Per your email below we have and plan on to continue to allow ROMA to periodically use our lot for overflow

John C. Trainor



www.agsshade.com PH: 708.479,9458 22442 Fey Drive Frankfort, IL 60423



From: Steve J Rotondi < steve@romasportsclub.co
Sent: Friday, August 25, 2023 8:39 AM
To: John Trainor < john@agsshade.com>
Subject: Parking...

CAUTION: This email originated from outside of the organization. Do not click links or open attachment

Morning John,

I met with the Planning Commission last night about my expansion.

They wanted me to get something from you that shows we DO have an agreement in place to allow us to periodically use your lot in exchange for allowing your semi's to pull into our lot in order to back in properly to your docks... Can you please respond to this so I can send to them?

Thanks so much

Steve J Rotondi

Roma FC Roma Sports Club

www.RomaSportsClub.com

815-469-ROMA



UVC Facilities Request

3 messages

Laura Sues sues sues sues sues@ultimatevolleyball.com To: gdurocher@fsd157c.org

Tue, Feb 7, 2023 at 9:15 AM

Good Morning,

Attached you will find our facilities request for use of the HCMS parking lot.

We are a local volleyball club that runs out of Hallmark Sports Club. We have secured a shuttle company for transportation and are looking for an offsite parking lot to use on the following days. 2/11 2/12 2/18 2/19 2/25 2/26 3/4 3/5 3/11 3/12 3/18 3/19 3/26 4/15 5/13 5/20 5/21 6/3

We anticipate 50 cars would need to park offsite. Please let me know if you need anything additional from us.

Thank you!

las

Laura A Sues Girls Director Ultimate Volleyball Club laurasues@ultimatevolleyball.com

3 attachments



UVC COLipg 337K

UVC Waiver.pdf 518K



₹ 870K **UVC Facilities Request.pdf**

Gail Durocher < GDurocher@fsd157c.org> To: Laura Sues <laurasues@ultimatevolleyball.com> Cc: Tricia Dotson <TDotson@fsd157c.org>

Wed, Feb 8, 2023 at 1:20 PM

Good Afternoon,

Your request for use of the parking lot at HCMS has been approved. Please see the attachment for the dates the parking lot will be unavailable and well as a note regarding snow removal.

Please feel free to call me if you have any questions.

Gail

Gail Durocher
Administrative Assistant
Hickory Creek Middle School
815-806-3704

This e-mail, and any attachments thereto, is intended only for use by the addressee(s) named herein and may contain legally privileged and/or confidential information. If you are not the intended recipient of this e-mail (or the person responsible for delivering this document to the intended recipient), you are hereby notified that any dissemination, distribution, printing or copying of this e-mail, and any attachments thereto, is strictly prohibited. If you have received this e-mail in error, please respond to the individual sending the message and permanently delete the original and any copy of any e-mail and any printout thereof.

From: Laura Sues < laurasues@ultimatevolleyball.com>

Sent: Tuesday, February 7, 2023 9:15 AM **To:** Gail Durocher < GDurocher@fsd157c.org>

Subject: UVC Facilities Request

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]

Ultimate Volleyball Club 2023 Approved #1.pdf 258K

Laura Sues <laurasues@ultimatevolleyball.com>
To: Gail Durocher <GDurocher@fsd157c.org>
Cc: Tricia Dotson <TDotson@fsd157c.org>

Wed, Feb 8, 2023 at 4:06 PM

You two have been very helpful- Thank you SO MUCH!

las

Laura A Sues Girls Director Ultimate Volleyball Club laurasues@ultimatevolleyball.com

[Quoted text hidden]



MINUTES

REGULAR MEETING OF VILLAGE OF FRANKFORT PLAN COMMISSION / ZONING BOARD OF APPEALS SEPTEMBER 11, 2014 – FRANKFORT POLICE STATION 20602 LINCOLN-WAY LANE

Call to Order

Chair Don Schwarz called the meeting to order at 6:30 P.M.

Commissioners Present: Bob Beeson, Dave Schumpp, Alicia Hanlon, Neil

Nunamaker, Jim Matlock, and Don Schwarz

Commissioners Absent: Sue Anstett

Staff Present: Assistant Director of Development Services Zach Brown

and Development Services Intern Austin Folan

Elected Officials Present: Liaison to the Village Board, Trustee Mike Stevens

A. Approval of Minutes from August 14, 2014

Motion (#1): Approve the minutes from August 14, 2014 as presented.

Motion by: Matlock

Seconded by: Hanlon

Approved (6 to 0)

B. Public Hearing - Roma Sports Club Special Use

Request: Special use permits for indoor and outdoor recreation and a building height variance from 35 ft. to 42 ft. to accommodate the construction and operation of Roma Sports Club on lots 20-25 in the East Point Industrial Park. Other request: Final Plat Approval.

Chair Schwarz swore in all intending to testify.

Assistant Director Brown presented the staff report and provided an overview of the request. Mr. Brown noted that at the time of the report there were several issues outstanding however staff had since continued to work with the applicant to ensure all outstanding items were addressed. The applicants were present and offered no additional comments.

Motion (#2): Close the public hearing.

Motion by: Schumpp

Approved (5 to 0)

Seconded by: Matlock

During the Plan Commission Discussion:

- Commissioners questioned the need for the increased building height. Mr. Rotondi noted that the increased height was necessary to accommodate baseball and volleyball use;
- Staff confirmed that site plan E was the correct site plan;
- Members questioned previous height variances in industrial areas. Staff noted that they were not aware of any recent height variances for industrial buildings;
- Commissioner Hanlon questioned if allowing the outdoor fields would impact the land use rights of the adjacent properties. Staff confirmed that there would be no impact or restriction of land uses were the outdoor fields approved;
- Members discussed the proposed use and whether or not sidewalks should be installed on the north or south side of Mark Court. The applicant noted that private sidewalks were proposed along the north side of the building that would provide pedestrian access from the parking lot to the outdoor fields. Commissioners agreed that the public sidewalks should be deferred to the north side of the road;
- Commissioners discussed the encroachment of the proposed fields into the required setbacks and determined that the impacts were negligible given the additional green space provided within the right of way;
- Member Matlock requested that the applicant not store any hazardous materials in the building;
- The applicant agreed to work with staff to revise the photometric and landscape plans to meet ordinance requirements and was amenable to adding conditions to that effect;
- Commissioners questioned if a safety barrier was necessary within the culde-sac to protect patrons from vehicles. The developer Jeff Graefen was present and noted that increased curb heights are provided in industrial areas and that they were adequate stop most vehicles. Commissioners agreed that additional barriers were unnecessary;
- Member Schwarz noted that he was encouraged to see development happening within the subdivision however expressed concern regarding the number of outstanding issues. Member Schwarz requested that the applicant work with staff to address the outstanding conditions prior to proceeding to Village Board for approval;
- Chair Schwarz reviewed the recommended conditions with the applicant. After discussion Commissioners requested that staffs recommended condition pertaining to construction of additional parking facilities should they become necessary be removed noting that such a condition would be challenging to enforce and that the provided parking was consistent with the minimum standards established by the Zoning Ordinance;
- Staff noted that a plat of subdivision was not provided and as such the plat would be brought back to the Commission at a future meeting for consideration:

Motion (#3): Recommend the Village Board approve a special use for indoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Nunamaker Seconded by: Beeson Approved (5 to 0)

Motion (#4): Recommend the Village Board approve a special use for outdoor recreation and entertainment to permit the operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Matlock Seconded by: Beeson Approved (5 to 0)

Motion (#5): Recommend the Village Board approve a height variance from 35' to 42' operation of Roma Sports Club, in accordance with the reviewed plans and public testimony and conditioned upon staff approval of a revised landscape plan, staff approval of a revised photometric plan, no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours, and final engineering approval.

Motion by: Schumpp Seconded by: Matlock Approved (5 to 0)

- C. Committee Update Trustee Stevens reviewed topics discussed at committee meetings the previous night.
- **D. Village Board Update -** Trustee Stevens summarized action taken by the Village Board at their prior meetings.
- E. Other Business Assistant Director Brown noted that a building permit was under review for the property located at 28 Kansas Street and discussed items that will be considered at the September 25th Plan Commission meeting.
- **F.** Attendance Confirmation Member Nunamaker noted he would not be available to attend the August 28 meeting.

Motion (#6): Adjournment (7:35)

Motion by: Beeson Seconded by: Hanlon Unanimously approved by voice vote.

Village Board September 15, 2014 Page 3

grant to Don and Victoria Melton, business owners of the Build-A-Bun restaurant, for retail space improvements made to the property located at 6 Elwood Street within the Grainery building.

E. Economic Development/1890's Committee Report

1. Escrow Agreement Approval: 28 W. Kansas Street Property – Resolution Adopt A RESOLUTION (NO. 14-34) AUTHORIZING EXECUTION OF AN ESCROW AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT, 28 KANSAS LLC, AND CNB BANK & TRUST, N.A., REGARDING THE 28 W. KANSAS STREET PROPERTY, in the amount of \$220,000 in incentive funding for the re-development of the 28 W. Kansas Street property.

F. Plan Commission Report Summary

- 1. Roma Sports Club: Lots 20-25 East Point Industrial Park Ordinances
 - a. Special Use Permits for Indoor and Outdoor Recreation
 Accept the Plan Commission recommendation, waive the First and Second
 Readings, and adopt AN ORDINANCE (NO. 2941) GRANTING SPECIAL USE
 PERMITS FOR INDOOR AND OUTDOOR RECREATION TO CERTAIN
 PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF
 FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS
 CLUB 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), to
 accommodate construction of a new 50,000 sq. ft. building and relocation of
 Roma Sports Club/Xpress Solutions, in accordance with the reviewed plans and
 public testimony, conditioned upon staff approval of a revised landscape plan;
 staff approval of a revised photometric plan; no parking or storage of trucks or
 trailers within the depressed dock for greater than 24 hours; and final engineering
 approval.

b. Building Height Variance

Accept the Plan Commission recommendation, waive the First and Second Readings, and adopt AN ORDINANCE (NO. 2942) GRANTING A BUILDING HEIGHT VARIANCE TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (ROMA SPORTS CLUB – 9125 MARK COURT, EAST POINT INDUSTRIAL PARK), granting a height variance from the 35-foot requirement to 42 feet to the property located at 9125 Mark Court within the East Point Industrial Park, in accordance with the reviewed plans and public testimony, conditioned upon staff approval of a revised landscape plan; staff approval of a revised photometric plan; no parking or storage of trucks or trailers within the depressed dock for greater than 24 hours; and final engineering approval.

Trustee Trevarthan made a motion (#1), seconded by Trustee Kennedy, to approve the Unanimous Consent Agenda.

The applicant responded that due to the weight of the ball it most likely will not travel far out from the property, but if a fence was needed, he would have no problem putting a fence around the court.

Commissioner Knieriem said that he also had concerns about noise and that the subject property doesn't have much of a backyard compared to other lots in the subdivision. He said that the proposed pickleball court would take up most of the backyard and that the lot is not ideal for the sports court. Mr. Paluri said that the property is still under the 40% impervious lot coverage, and he wants to mow less grass.

Acting Chair Markunas said that the noise concern is valid. He was also concerned because the property to the north has not been developed yet for a house and that those future buyers would not have a voice in this decision. He noted that the proposed sports court may be too bulky. He said that since the property does abut Colorado Avenue, a fence would be a good idea. As proposed, he thought that it might be difficult to obtain final approval by the Board. He asked staff if a swimming pool in the same location would require a Variation or Special Use Permit. Chris Gruba said that a pool in the same location would not require either, as long as the 40% impervious lot coverage was not exceeded.

Commissioner Jakubowski stated that she is opposed to a wood cedar privacy fence and that a faux wrought iron fence would look nicer. Commissioner Hogan agreed and added that landscape screening should also be incorporated around the fence. Mr. Paluri said that he didn't want to install a privacy (opaque) fence anyway.

Acting Chair Markunas said that a 3D rendering would be helpful to visualize the sports court, when viewed from Colorado Avenue. He said he wasn't sure that a pool would generate more noise than pickleball, which has a unique sound. He asked the applicant if he had received clear direction from the Commission. Mr. Paluri replied yes.

C. Workshop: 9115 Roma Court – Roma Sports Building Addition and Outdoor Recreation

Christoper Gruba presented the staff report and noted an error on the agenda about the number of requests for this project. The agenda noted 5 Special Use Permits and 2 Variations, there are only 4 Special Use Permits and 2 Variations.

Acting Chair Markunas asked if the applicant would like to approach the podium and add additional information to the staff report that was presented.

The applicant, Steve Rotondi responded that he does not have anything to add to what was said in the staff report.

Acting Chair Markunas asked staff if the 3 Special Use Permits for outdoor recreation for Lots 17, 18, 19 are retroactive requests.

Christoper Gruba responded yes, a soccer field was put in place that straddles Lots 16, 17, and 18 and had not received Special Use Permits for outdoor recreation. The proposed Special Use Permit for these lots would retroactively approve the soccer field use.

The applicant added that he owns the 3 vacant lots that have nothing permanent on them and that the lots had received a previous approval. He stated that is why he bought the 3 additional lots across the street and would like to use them as additional soccer fields because it should not be an issue to put more fields next to existing fields.

Acting Chair Markunas asked staff if the applicant came in requesting approval for the 3 existing soccer fields.

Christopher Gruba responded that the applicant may have obtained building permits for an irrigation system for the soccer field north of the Roma Court facility.

Commissioner Knieriem asked if the four courts proposed inside the building addition would be used for volleyball. Mr. Rotondi replied yes. Commissioner Knieriem said that if each volleyball team has 12 people, that would result in an increase of 96 players that could be there on a weekend for volleyball tournaments. He stated there could be an overlapping of cars on tournament weekends.

The applicant responded that there are around 5 or 6 weekends that hold substantial events. He stated that on tournament weekends, approximately 50 cars park on the street, the adjacent company to the west allows his customers to park in their parking lot, and there are bus shuttle services provided.

Commissioner Knieriem stated he has a concern with children running in the streets due to the lack of sidewalks.

Commissioner Knieriem asked if the applicant understands that there is a risk of liability by using the lots north of Roma Court as a soccer field even though they were not given formal approval for the use.

The applicant stated that he owns the land, he only put portable goals on the lots, and he has the players sign waivers. He added that residents enjoy going to the facility and there are frequent collaborations with the park district, so he wants to come into compliance to make it a great place.

Acting Chair Markunas added that he appreciated what the facility does for the community but what Commissioner Knieriem means is that Lots 16-18 need get into compliance to ensure safety.

The applicant stated if he was allowed to put fencing around the entire property, he would do so.

Acting Chair Markunas asked if extending parking to the east to add parking spaces to the parking lot could be an option to alleviate the parking concern.

The applicant responded that he would consider that option.

Commissioner James stated that there are comparable volleyball facilities that can be helpful for staff's analysis. He added that he would like to see any agreements the applicant has with others for parking.

Commissioner Hogan stated that he is a user of the facility and observed that there are many people who just drop their kid off instead of staying so there is a concern for the traffic flow to get in and out. He added that parents spend more time in northern Illinois because there are not many facilities around here, so he would like to help find a solution.

Commissioner Knieriem asked staff what business are permitted and not permitted on the property since it is in an industrial setting.

Christopher Gruba responded that the soccer fields on Lot 1 had received a Special Use Permit for outdoor recreation but that Lots 16-18 had not received such approval. He stated that the Special Use Permits for Lots 16-18 were discussed by the Plan Commission in 2018 and 2019.

Commissioner James asked if the request in 2019 received a vote.

Christopher Gruba responded that the public hearing request never received a vote and was tabled indefinitely.

The applicant's engineer, Robin Ersfeldt, approached the podium and explained that they chose to provide an exit in the middle of the parking lot because it would avoid users having to deal with traffic in the parking lot.

Commissioner Knieriem asked what the triangular empty lot is for on the site plan.

The applicant stated that it would be used for a 5-foot by 5-foot field for smaller children.

There was discussion about the applicant possibly losing a field to accommodate the Commissioners' suggestion to expand the parking lot to the east.

Commissioner Knieriem asked what fields exist indoors.

The applicant responded that there is a 31,000 square foot turf field that sometimes gets separated into two smaller fields. He stated that the turf field can also be used for baseball and batting cages and that the upstairs has basketball courts and volleyball courts.

Christopher Gruba asked the applicant if he had a desire to combine all of the lots.

The applicant responded that yes, he would like to combine the lots.

There was discussion about ways to prevent balls from running off the property.

Commissioner James requested renderings to help visualize the project especially to prove why it could fit in an industrial setting.

Commissioner Jakubowski stated there is a need to implement fencing around the property since there have been accidents that have happened in Frankfort where a car goes over the curb.

The applicant asked if he is only allowed to put portable material in the front yard.

Commissioner Jakubowski responded it should be a permanent feature even if not necessarily a fence.

Commissioner James asked what the height of the building and the building addition was and echoed the need for a rendering to see how the building would look from different angles.

Robin Ersfeldt added that by expanding the proposed parking lot, the applicant would be alleviating the parking concern that Commissioners have since the parking lot would be able to accommodate the cars that currently park on the street.

Christopher Gruba asked the applicant to show the off-street parking spaces on Roma Courft on the site plan the next time it is submitted.

Robin Ersfeldt responded that she will mark the on-street parking spaces.

Acting Chair Markunas asked the applicant if he had received adequate direction.

Steve Rotondi replied yes.

D. Workshop: 655 Center Road - King Heating & Cooling

Amanda Martinez presented the staff report. The applicant is proposing a building addition to the existing building.

Grant Currier, the project architect and President of Linden Group, approached the podium. He said that there was a typo on the application and the site plan did not have the north setback labeled. The setback from the existing (and proposed) building to the north property line is 5.7', not 10.5'. He said that the building was constructed in 1971. He said the Village's Zoning Ordinance was revised in 2001, at which point the existing building became non-conforming in several aspects. He said that as a corner lot, it's difficult to meet the required 50' setback from both streets. He noted that the rooftop mechanical units would be screened. He said that the buildings on Ontario Street have varying styles and materials that include CMU, brick, board & batten, metal, etc. He said that he is proposing brick on the side of the addition facing Ontario Street, but that the east and north sides of the building would be split-face CMU block. The brick would be slightly wrapped around

TECH 3 Consulting Group, Inc. HARPER BUSINESS PARK SURVEYORS **ENGINEERS** 737 West Exchange St. Crete, IL 60417 ph 708.672.4994 PLAT OF SUBDIVISION MARK T. RUANE DOES HEREBY CERTRY THAT HE IS THE HOLDER OF RECORD TITLE OF THE HEREON RESIDENCE PROPERTY AND THAT HE HAS CAUSED SAID PROPERTY TO BE SURVEYED AND SERVICED AS SERVING HER BY THE SAID PROPERTY HEREBY BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. 1861.79 N 89*52'26" E LARAWAY 1495.01 S89*52'26'W 775.00 1861.94 N 89°52'26" E - EXCEPTION-463.59 N89*52'26"E 203.29 N89*52'26"E IND SCCESS, NO FENCE, & I SHOSCAPE FASEME Lot 1 int2 4.7992 AC. **Detention Area** 1.4972 AC. Lot 31 2.4212 AC. -EXCEPTION-1.0393 AC. MRC = 232.90 _ . (HEREBY DEDICATED) Lot 30 Detention Area 328.79 N89*52'26"E Lot 9 Lot 12 Lot 11 Lot 10 1.0101 AC. 1.0101 AC. 1.2778 AC. 1.0253 AC. 171.00 160.00 160.00 160,00 N89*52'26'E N89*52'26" 327.17 N89*52'26"E Lot 14 1.0097 AC. Lot 18 Lot 29 Lot 8 1.0360 AC. 1.0808 AC. 1.0196 AC. Lot 17 1.0038 AC. 1.0038 AC. Detention Area 276.09 N89*52*26*E 1.9167 AC. 1.0029 AC. 31,48~ S 73*-16-11* W 10" 159.00 N89*52'26'E Lot 28 159.00 1.0057 AC. STATE OF ILLNOIS (HEREBY DEDICATED) 544.91 S 89°50'39" W 275.41 N89*52'26*E 157.00 IN THE RECORDER'S OFFICE OF WELL COUNTY AFORESAID ON THE . 1.0114 AC. 50' RUII DU -EXCEPTION-Lot 20 Lot 24 Lot 23 Lot 22 1.1351 AC. Lot 25 275,31 1.0085 AC. 1.0082 AC. 1.0014 AC. SCALE : 1" = 100' 1,0088 AC. -WEST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34-35-12 COUNTY GLESK Lot 21 Lot 26 COUNTY OF WILL THIS IS TO CORTETY THAT I FIND NO DELINQUENT OR UNFAID CURRENT TAXOS OR SPECIAL ASSESSMENTS AGAINST ANY OF THE REAL EXTRAC DESCRIBED IN THE 1.0113 AC. 1320.42 S 89°50'39" W EASEMENT PROVISION: AN EARTHOUT FOR SERVING ME SERVINGOR AND OTHER PROPERTY WITH ELECTRIC AND COMMER SERVICE IS HEREIT RESERVED FOR AND GAVETED TO THE POLLOWING COMPANIES. VILLAGE OF PRANSFORT APPROVAL NOTE: LOTS 2, 6, 30 AND 31 SHALL BE OWNED AND MAINTAINED BY / PROPERTY OWNERS ASSOCIATION -SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34-35-12 CURVE TABLE CURVE RADIUS DELTA CHORD CHORD BEARING ALL OF LOTS 2, 6 AND 30 ARE DESIGNATED AS A PUBLIC UTILITY, DRAINAGE AND STORM WATER DETENTION EASEMENT. 83.35 106.26 S22"41'25"E DATED THES _____ DAY OF ____ 75.00 90°45°25° 75.00 66°18'44° 75.00 45°50'12° 106.76 NOTE: UNLESS OTHERWISE NOTED ALL EASEMEN SHOWN ARE HEREBY GRANTED AS PUBL UTILITY AND DRAINAGE EASEMENTS. 260.00 11*32*33* 260.00 33*58*34* 52.29 151.93 WE FURTHER CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRISED HEREON AND THAT THE FLAT HEREON DRAINS IS A CORRECT REPRESENTATION OF EAD SURVEY. ALL DIMENSIONS ARE IN FRET AND DESSMAN FARTS THEREOF. PROPERTY INDEX NUMBER I HEREBY CERTIFY THAT I FIND NO DEPENDED INSTALLMENTS OF CUTSTANDON UNITAL ASSESSMENTS OUR AGAINST THE PROPERTY DESCRIPTION HERED SOUTH AND SEALED THIS 6TH DAY OF SEPTEMBER AD 2006 DIFFECT ACCIDED TO LARAMMAY ROAD, COUNTY HIGHWAY 74 FROM LOTE 1, 2, 30 AND 31 IS 340.00 13*32'53" 80.21 \$38°37'07'W 116.26 145.98 19*41'17" 201.85 260.00 340.00 S67*38'00'W N01*33'44"E 44"28'52" 196,82 LINOS PROFESSOUL LINE SURVEYOR NO. 2430 LICENSE EXPRES NOVEMER 30, 2008 JOB NO. 03007 ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002235

RECEIVED

By Christopher Gruba at 12:08 pm, Sep 11, 2023

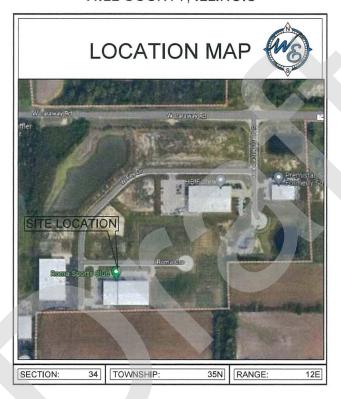
PRELIMINARY ENGINEERING PLANS

ROMA SPORTS CLUB

9115 ROMA COURT VILLAGE OF FRANKFORT WILL COUNTY, ILLINOIS

	INDEX							
OD //L ENGINEERING BLANG REVISIONS								
CIVIL ENGINEERING PLANS		1	2	3	4	5	6	7
C-1	COVER SHEET							
C-2	GEOMETRIC PLAN							
C-3	GRADING AND UTILITY PLAN							
C-4	PROJECT DETAILS							
C-5	PROJECT SPECIFICATIONS							
SUPPORTING DOCUMENTS		REVISIONS						
	SUPPORTING DOCUMENTS	1	2	3	4	5	6	7
1 of 1	PLAT OF SURVEY							
L-1	LANDSCAPE PLAN							
1 of 2	PHOTOMETRIC PLAN							
2 of 2	PHOTOMETRIC PLAN							

Know what's Below. Call before you dig.



BENCHMARK

REFERENCE BENCHMARK NAVD 88

VILLAGE OF FRANKFORT CONTROL MONUMENT STATION NAME 934 LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION AT CENTER ROAD AND STEGER ROAD. TOP OF IRON ROD IN PVC PIPE. ELEVATION = 785.26

SITE BENCHMARKS

- TOP OF CUT CROSS IN CURB AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 230 FEET EAST OF HANNAH DRIVE. ELEVATION = 758.76
- 2. TOP OF ARROW BOLD AT EXISTING FIRE HYDRANT LOCATED ON SOUTH SIDE OF ROMA COURT APPROXIMATELY 486 FEET EAST OF HANNAH DRIVE.

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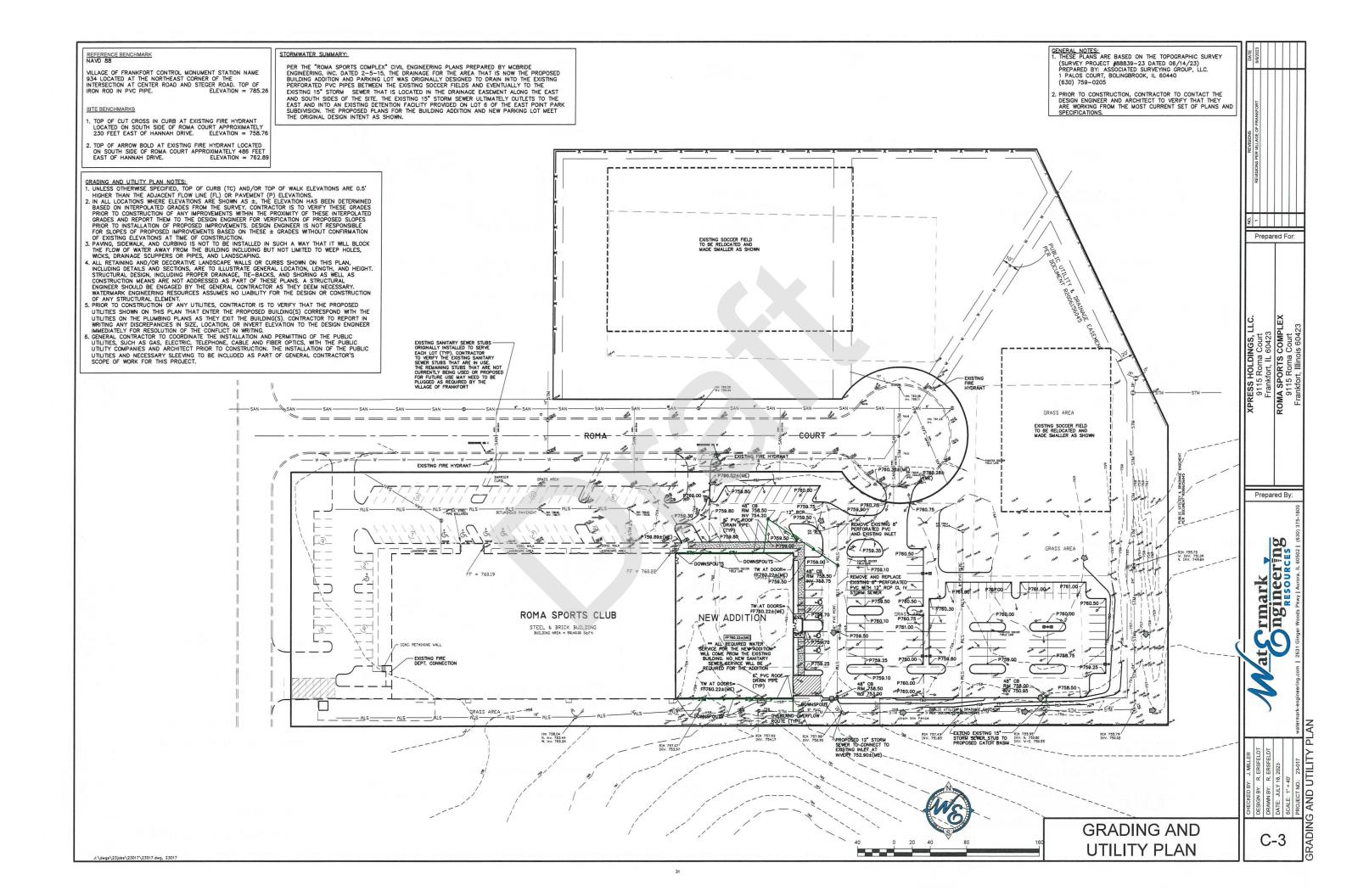
COUNTY OF KANE)

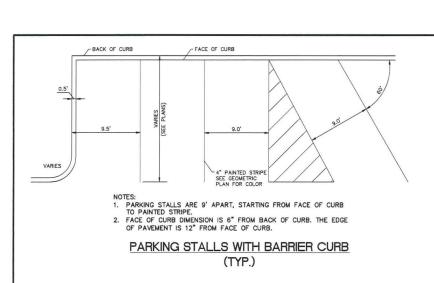
I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY WATERMARK REGINEERING RESOURCES, LTD. UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL POART OF THE PROJECT SPECIFICATIONS AND CONTRACT

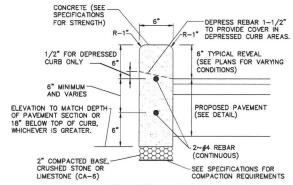
UNLESS THIS DOCUMENT BEARS ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE DESIGN ENGINEER, IT IS NOT A VALID DOCUMENT,

COVER SHEET

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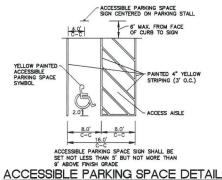


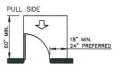


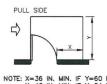


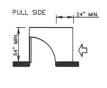
TYPE "C" BARRIER CURB

1. PROVIDE 1/2" EXPANSION JOINTS EVERY 45' O.C.
2. PROVIDE HAND TOOLED CONTRACTION JOINTS EVERY 15' O.C.





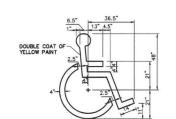




HINGE SIDE APPROACHES SWINGING DOORS SWINGING DOORS

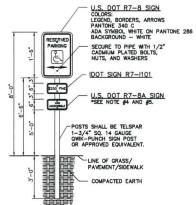
LATCH SIDE APPROACHES
SWINGING DOORS

TYPICAL ACCESSIBLE LANDING AREA DETAIL



ACCESSIBLE PARKING SPACE SYMBOL

SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND 2' FROM THE END OF THE STALL.



- 1. WHERE A FINE IN EXCESS OF \$250 IS ESTABLISHED BY A MUNICIPALITY BY ORDINANCE IN ACCORDANCE WITH THE STATUTES. THE ACTUAL AMOUNT OF THE FINE SHOULD BE SHOWN. 2. THIS PLATE MAY DE MOUNTED DIRECTLY BELOW THE R7-B SIGN OR COMBINED WITH THAT SIGN ON A SINGLE 12 INCH BY 24 NICH PANEL.

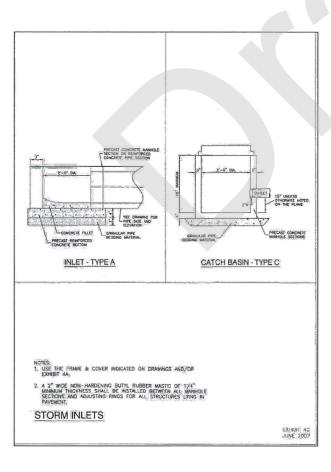
 ON THE RESERVED PARKING SIGN, THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 9 AM-5 PM WHERE A PART TIME RESTRICTION EXISTS.

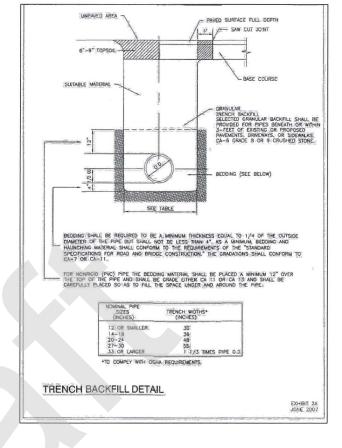
 4. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8 FEET WIDE MINIMUM AND SHALL BE DESIGNATED "VAN ACCESSIBLE".

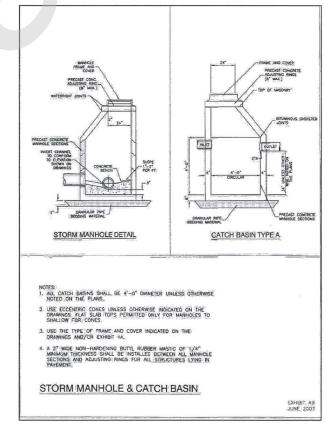
 5. THE LOWEST BOTTION EDGE OF THE LOWEST REQUIRED SIGN SHALL BE MOUNTED AT 60" ABOVE PINISHED GRADE.

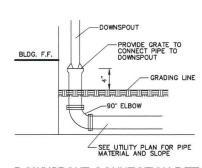
 6. COLORS FOR BOTH IDDT SIGN R7-IIDT AND USDOT R7-BA, LEGEND, BORDERS AND ARROWS TO BE GREEN, NON-REFLECTORIZED (PANTONE 340C) BACKGROUND-WHITE REFLECTORIZED

ACCESSIBLE PARKING SPACE SIGN DETAIL









rmark ngineering DOWNSPOUT CONNECTION DETAIL

PROJECT DETAILS

Prepared For:

Prepared By:

PROJECT SPECIFICATIONS

- 1. CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE ILLINOIS ACCESSIBILITY CODE (IAC). ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" CURRENT EDITIONS.

 2. THE CONTRACTOR SHALL INDEMNIFY WATERMARK ENGINEERING RESOURCES, LTD (THE
- DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS
- SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAWING JURISDICTION OVER THIS DEVELOPMENT.

 3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.

 3. PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONSTRUCTION THE DESIGN ENGINEER AS TO ANY REVISIONS THAT MAY NEED TO BE MADE TO THE PLANS.

 5. PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

 5. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAWING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANCE APPROPRIATE CONSTRUCTION INSPECTIONS.

 5. THE CONSTRUCTION OF ARRANCE APPROPRIATE CONSTRUCTION INSPECTIONS.

 5. THE CONSTRUCTION OF THE IMPROVEMENTS, THE CONTRACTOR MUST CALL JULLIE, FOR THE LOCATION AND SEMENT OF THE MORNING OF EXISTING UNDERGROUND UTILLIES.

- (GAS, ELECTRIC, TELEPHONE) AT 1-800-892-0123, 48 HOURS PRIOR TO DIGGING. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER AGENCY REQUIREMENTS. ANY CHARGES TO THE DRAWINGS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE WORK
- DRAWINGS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE WORK PROGRESSES.

 10. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY.

 11. ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE DESIGN ENGINEER.

 12. ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- 13. TRENCH BACKFILL MATERIAL, CRUSHED STONE OR LIMESTONE (CA-6) IS REQUIRED TRENCH BACKFILL MATERIAL, CRUSHED STONE OR LIMESTONE (CA-6) IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PAYED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.
 CONTRACTOR IS TO PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
 ALL EXISTING DRAIN TILES THAT ARE ENCOUNTRED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION ON REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
 RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
 THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE OWNER OF

- 18. ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS
- ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS CONFORMING TO ASTM C-39 AND CANNOT EXCEED TWELVE INCHES (12").
 FRAMES SHALL BE SET WITH EZ STIKB (OR EQUAL) MATERIAL TO PREVENT LEAKAGE.
 THE REINFORCED CONCRETE SECTIONS SHALL BE LAID IN MORTAR, SEALED WITH EXTERNAL SEALING BANDS, OR SEALED USING MASTIC JOINT SEALER. WHEN MASTIC JOINT SEALER IS USED, THE MATERIAL SHALL COMPLETELY FILL THE JOINT AFTER THE UNITS HAVE BEEN BROUGHT TOGETHER.
 STEPS IN STRUCTURES SHALL BE MADE OF COPOLYMER POLYPROPYLENE PLASTIC WITH CONTINUOUS ONE HALF INCH (1/2") GRADE SIXTY (60) STEEL REINFORCEMENT, STEP PSI-PF, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL.
- STEP PSI-PF, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL.

 STEPS TO BE SPACED SIXTEEN INCHES (16") ON-CENTER.

 22. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.

 33. ALL PARKING LOT LIGHT POLES ARE TO BE CONSTRUCTED AT THE INTERSECTION OF
 PARKING LOT STRIPING OR IN LANDSCAPE AREAS WITH A MINIMUM OF 2' CLEARANCE
 BETWEEN THE BACK OF CURB AND THE EDGE OF THE PARKING LOT LIGHT BASE.

 UNLESS OTHERWISE SPECIFIED.

 24. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL
 REQUIREMENTS AND REPORT TO ARCHITECT/DESIGN ENGINEER ANY DISCREPANCIES
 BEFORE CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, TRANSITIONS TO
 FYISTING CONDITIONS

- EXISTING CONDITIONS.

 25. CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.

 26. PAYING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPE.

- 1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; MANUAL FOR STRUCTURAL DESIGN OF PORTLAND CEMENT CONCRETE PAVEMENT, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; DESIGN MANUAL, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

 2. ALL BASE COURSE AND SUB-BASE AREAS SHALL BE COMPACTED TO 95% STANDARD LABORATORY DENSITY, PER 1.D.O.T. SECTION 301. BEFORE THE BASE COURSE MATERIALS ARE INSTALLED, THE SUB-BASE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.

 3. ALL CONCRETE TO BE MINIMUM 3500 PSI, SALT TOLERANT, 6 BAG MIX WITH A SPRAY ON SEALER.

 4. EXPANSION AND CONTRACTION JOINTS SHALL BE TOOL FINISHED.

 5. BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40F AND RISING. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45F AND RISING.

 6. ALL PROPOSED PAYEMENT, SIDEWALKS, AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05° OF THE PROPOSED ELEVATIONS EXCEPT IN THE

- ALL PROPOSED PAVEMENT, SIDEWALKS, AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS EXCEPT IN THE ACCESSIBLE STALLS OR ACCESSIBLE ROUTES.
 PRIOR TO SEAL COATING, ALL ASPHALT AREAS ARE TO BE CLEAN AND DRY, ALL COASE MATERIALS ARE TO BE REMOVED. ALL GREASE TO BE REMOVED. ALL CRACKS ARE TO BE FILLED PER IDOT STANDARDS. ALL PAINTED STRIPING TO BE MODIFIED SHALL BE "BLACKED OUT" WITH BLACK PAINT (I COAT MINIMUM, 2 COATS IF NECESSARY), ALLOWED TO THOROUGHLY DRY PER PAINT MANUFACTURER, PRIOR TO SEAL COATING. ALL AREAS THAT ARE ADJACENT TO THE SEAL COATED AREA ARE TO BE MASKED (I.E. SIDEWALKS, CONCRETE SURFACES, BUTECS, GUTTERS, CATCHBASINS/INLETS, ETC.) PRIOR TO SEAL COATING TO BE APPLIED. AIR TEMPERATURE TO BE SOF AND RISING. APPLICATION RATE TO BE SUCH THAT ALL SURFACES OF THE ASPHALT BEING COATED IS THOROUGHLY COVERED IN ONE COAT. SPRAYING IS NOT ALLOWED.
 OR BRUSHES. THE BITMINIOUS SEAL COATING SHOULD BE APPLIED BY SQUEEGEE OR BRUSHES. THE BITMINIOUS SEAL COATING SHOULD NOT BE ALLOWED TO ENTER STORM SEWERS AND SHOULD BE ALLOWED TO DRY AT LEAST 18 HOURS PRIOR TO VEHICULAR USE. CRACK FILLER AND SEAL COATING MATERIALS ARE TO BE FREE OF COAL TAR.

STORM SEWER SPECIFICATIONS

- 1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS WITH ASTM C-443 FLAT GASKET JOINTS, OR ASTM C-361 "O-RING" JOINTS WHEN WATER MAIN QUALITY JOINTS ARE REQUIRED.

 2. ALL PLASTIC PIPE SHALL BE P.V.C. WITH SDR26 WALL THICKNESS AND CONFORM TO D-3034 SPECIFICATIONS WITH ASTM D-3212 GASKET TYPE JOINTS.

 3. ALL WATERMAIN QUALITY FLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD D 2241 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE SLIP JOINTED. ELASTOMERIC SEALS (CASKETE) LISED EOR PUBLISHON JOINTS SHALL COMEDY WITH ASTM STANDARD EATZ (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139 OR ASTM D 3212.
- 3212.
 ALL STRUCTURE LIDS SHALL BE IMPRINTED "STORM".
 ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
 ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY
 CONFLICTS OR INFORMATION INCONSISTENT WITH SITE CONDITIONS ARE ENCOUNTERED,
 THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF
 ANYTHING.
- ANYTHING.
 IN PAYED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2050 OR R-2502
 MTH TYPE D GRATE AT LOW POINTS; OR NEENAH R-3281-A IN CURB AND GUTTER;
 OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWSE SPECIFIED.
 IN NON-PAYED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2090 OR
 R-2060 WITH TYPE B GRATE AT LOW POINTS; OR NEENAH R-1550-A WITH SOLID
 LID, UNLESS OTHERWISE SPECIFIED.
 ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER.
 ALL ELABED END SECTIONS (FES) APE TO BE INSTALLED WITH TRASH CRATES
- 10. ALL FLARED END SECTIONS (FES) ARE TO BE INSTALLED WITH TRASH GRATES.

GRADING

- 1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE
- GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERRED TO PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION.

 UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.

 CONTRACTOR IS TO MAINTAIN A POSITIVE DRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT DRAINAGE IS NOT REPOUTED OR BLOCKED IN A WAY THAT MAY BE INJURIOUS TO ADJACENT LAND.

 THE SUB—BASE BELOW STRUCTURES, PAVEMENTS OR NEW STRUCTURAL FILL SHALL BE PROOF FOLLED. IF SOIL RUTS, PUMPS, DEFLECTS EXCESSIVELY OR EXHIBITS EXCESSIVE MOVEMENT OR MOISTURE, THEN THE UNSTABLE SOIL SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL OR DISCING AND DRYING TO NEAR OPTIMUM MOISTURE SO SOIL CAN BE PROPERLY COMPACTED. THIS PROCESS IS TO BE OBSERVED BY A GEOTECHNICAL ENGINEER.

 ALL FILLS SHALL BE PLACED IN 8" LIFTS COMPACTED TO A MINIMUM OF 98% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN INFLUENCE OF THE BUILDING, A MINIMUM OF 95% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN THE INFLUENCE OF ALL OTHER IMPERVOUS AREAS, AND A MINIMUM OF 90% STANDARD LABORATORY DENSITY PER ASTM D698 IN ALL LANDSCAPE AREAS.

 LANDSCAPE AREAS.

 EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES, SEE EROSION CONTROL PLANS FOR ADDITIONAL SPECIFICATIONS AND DETAILS.

 PROVIDE TOPSOUL RESPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:

 A 4" MINIMUM IN GRASS OR SOD AREAS.

- A. 4" MINIMUM IN GRASS OR SOD AREAS.
- B. 6" MINIMUM IN PLANTING AREAS.

- B. 6" MINIMUM IN PLANTING AREAS.
 C. 12" MINIMUM IN LANDSCAPE ISLANDS.
 ALL TOPSOIL TO BE FRIABLE (NOT COHESIVE), WEED FREE, AND FREE OF ROCKS,
 LARGE ROOTS AND UNNATURAL DEBRIS.
 ALL GRADING IS TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.10' OF THE
 PROPOSED ELEVATIONS. SEE PAVEMENT SPECIFICATIONS FOR PAVEMENT TOLERANCES.

VILLAGE OF FRANKFORT STORM SEWER SPECS

STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C76 MINIMUM CLASS III WITH O-RING JOINTS CONFORMING TO ASTM C443.

ALL STRUCTURE CONNECTIONS SHALL BE CONCRETE SEWER PIPE, ASTM C14 FOR EXTRA STRENGTH PIPE. SUMP PUMP SERVICE CONNECTIONS SHALL BE 4" PVC SOR 26 UNLESS OTHERWISE NOTED. CORRUGATED METAL PIPE SHALL BE HOT-DIPPED GALVANIZED STEEL OR ALUMINUM STEEL CONFORMING TO AASHTO M.36.

FOR 21' DIAMETER PIPE AND SMALLER, PROVIDE 16 GAUGE CMP.
 FOR 24' DIAMETER PIPE AND LARGER, PROVIDE 12 GAUGE CMP.

MINIMUM COVER SHALL BE 3" MINIMUM UNLESS SPECIAL PRECAUTIONS ARE SPECIFIED. ALL FLARED END SECTIONS LESS THAN 48' (EFFECTIVE DIAMETER) REQUIRE GRATES IN ACCORDANCE WITH 100T SPECIFICATIONS.

ALL CASTINGS SHALL BE MADE IN THE U.S.A. WITH U.S.A. MATERIALS. CLOSED COVERS SHALL BE STAMPED PER EXHIBIT 2B. OPEN COVERS SHALL HAVE THE GRATES AS SPECIFIED:

STRUCTURE LOCATION	STRUCTURE LABEL	MANUFACTURER NUMBER	MINIMUM OPEN AREA
BARRIER CURB			
MOUNTABLE CURB		C 10/00000000000000000000000000000000000	1 1 1 2 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
PAVED AREAS	CONTRACTOR AND ADDRESS OF THE PARTY OF THE P		3-072-00-07-1-1-2-02-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-
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STORM SEWER SPECIFICATIONS

EXHIBIT: 4A JUNE 2007

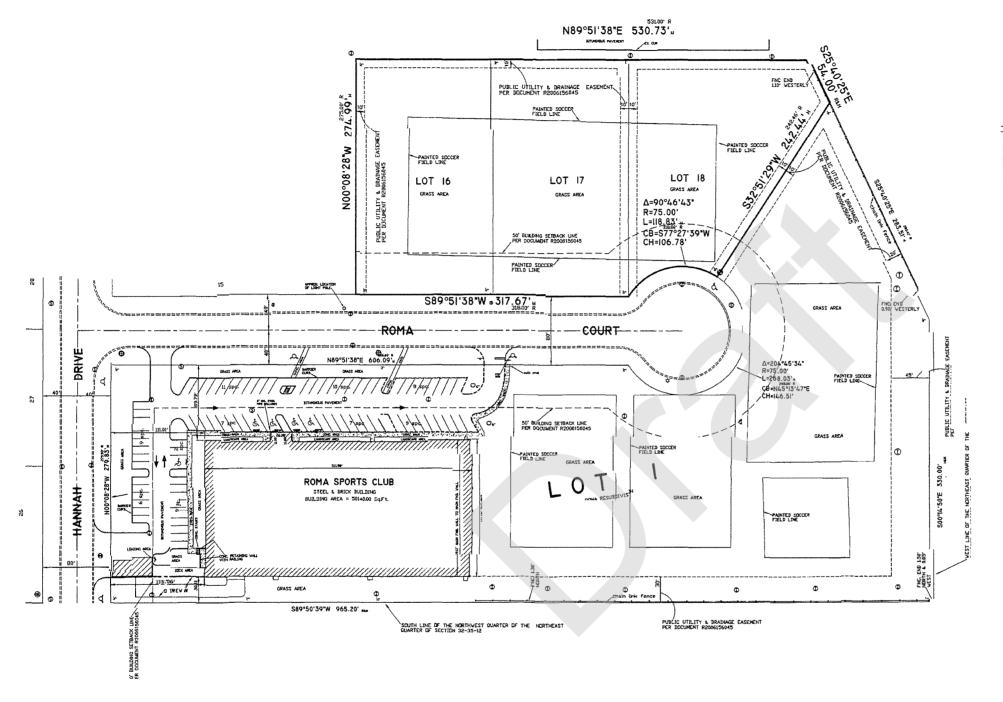
** IF THERE ARE ANY DISCREPANCIES BETWEEN THE STANDARD SPECIFICATIONS AND THE VILLAGE OF FRANKFORT SPECIFICATIONS, THE VILLAGE OF FRANKFORT SPECIFICATIONS SHALL GOVERN

PROJECT SPECIFICATIONS

Prepared For: XPRESS HOLDINGS, LLC 9115 Roma Court Frankfort, IL 60423 ROMA SPORTS COMPLE 9115 Roma Court Prepared By:

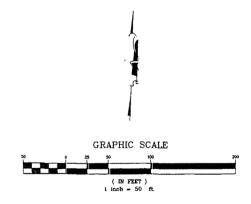
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PLAT OF SURVEY

LOTS 16 THROUGH 18 BOTH INCLUSIVE IN EAST POINT PARK, BEING A SUBDIVISION OF PART OF THE NCRTHEAST QUARTER OF SECTION 34, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 2006 AS DOCUMENT R2006-156045,





ASSOCIATED SURVEYING GROUP, LLC | Illinois Prof. Design Firm No. 184-004973 | P.D. BDX 810 | BDLINGBROOK, IL 60440 | PH (630) 759-0205 | FAX (630) 759-9291 FIELDVORK DATE: 6-14-23

JOB ND: 88839-23

CLIENT: ROMA SPORTS CLUB

LEGEND
A EXIST. LIGHT POLE
S EXIST, SANITARY MANHOLE
A EXIST. FIRE HYDRANT
→ EXIST. POWER POLE
EXIST. NAMHOLE
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* EXIST, FENCE LINE
D EXIST. UTILITY PEDESTAL
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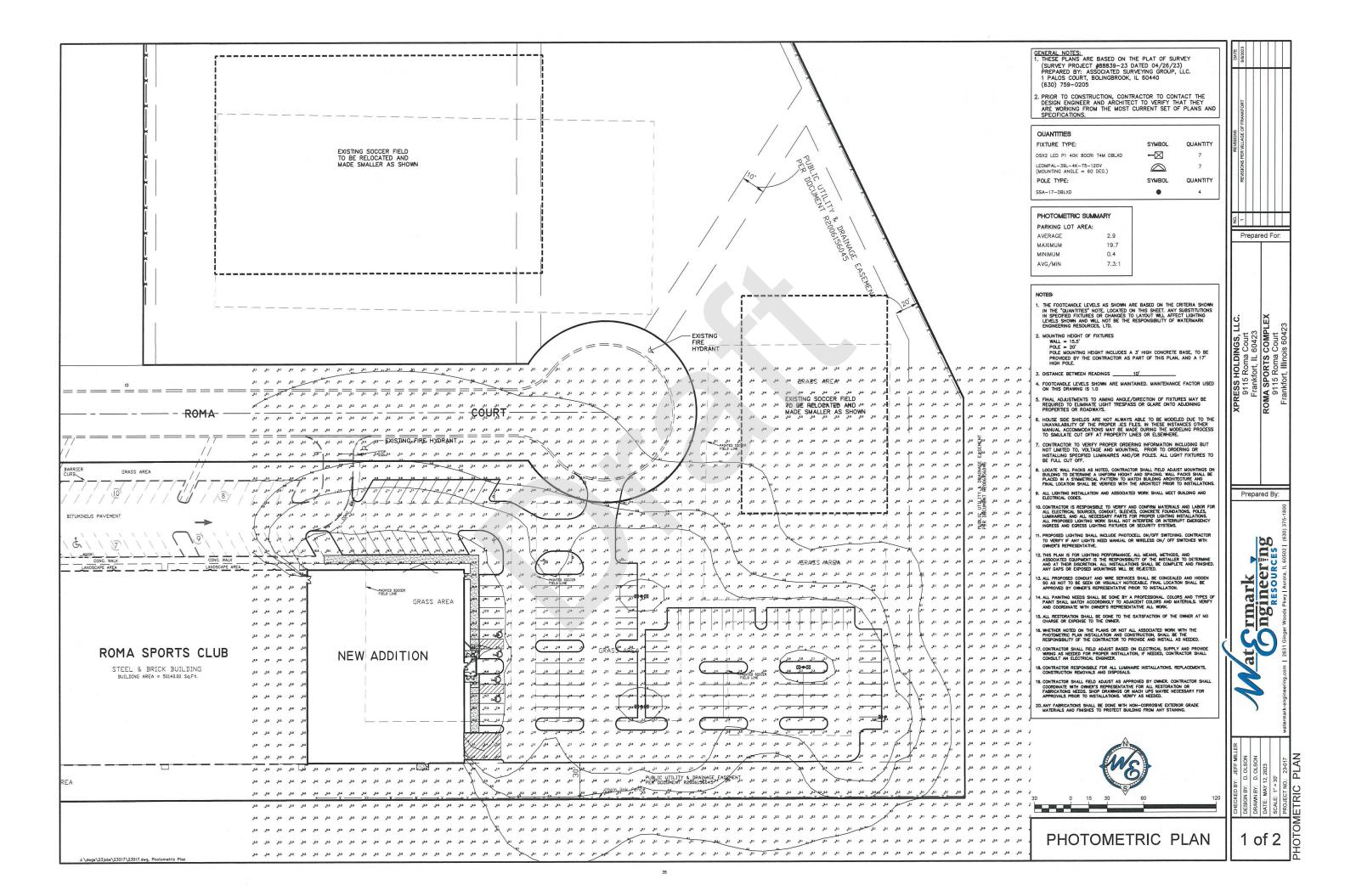
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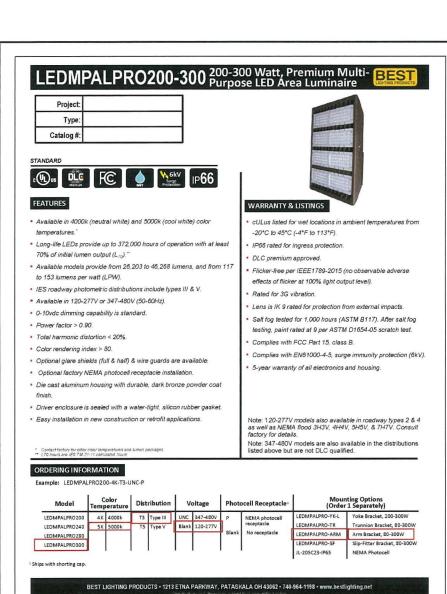
L Michael G. Henry, on Illinois Professional Load Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Ptat hereon drawn is a correct representation of said survey.

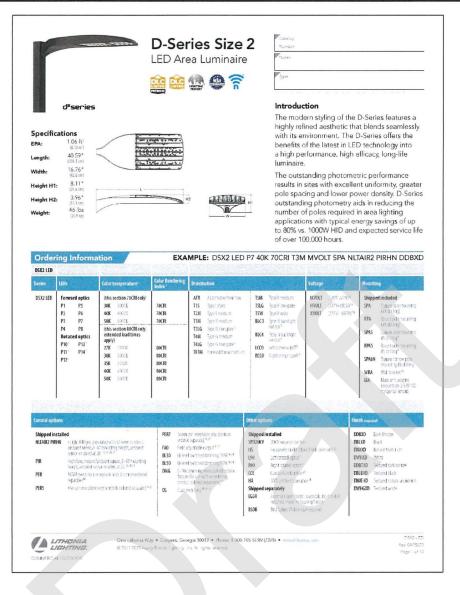
License Expires 11-30-24

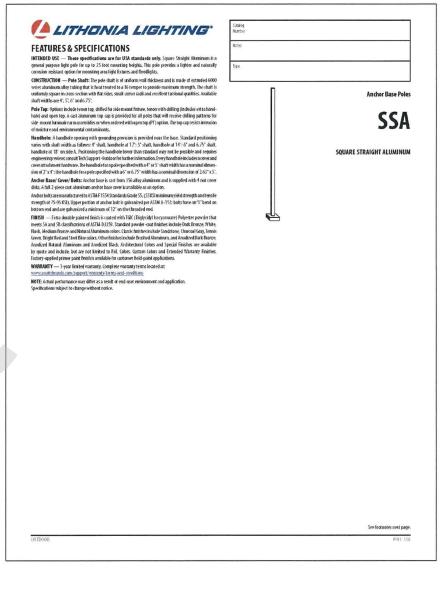
FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, TITLE POLICY, ORDINANCE, ETC.

NOTE:
NO UTILITIES LOCATED ON THIS DRAVING
FOR UTILITY INFORMATION CALL JULLIE
PRIOR TO ANY EXCAVATION.









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PHOTOMETRIC PLAN

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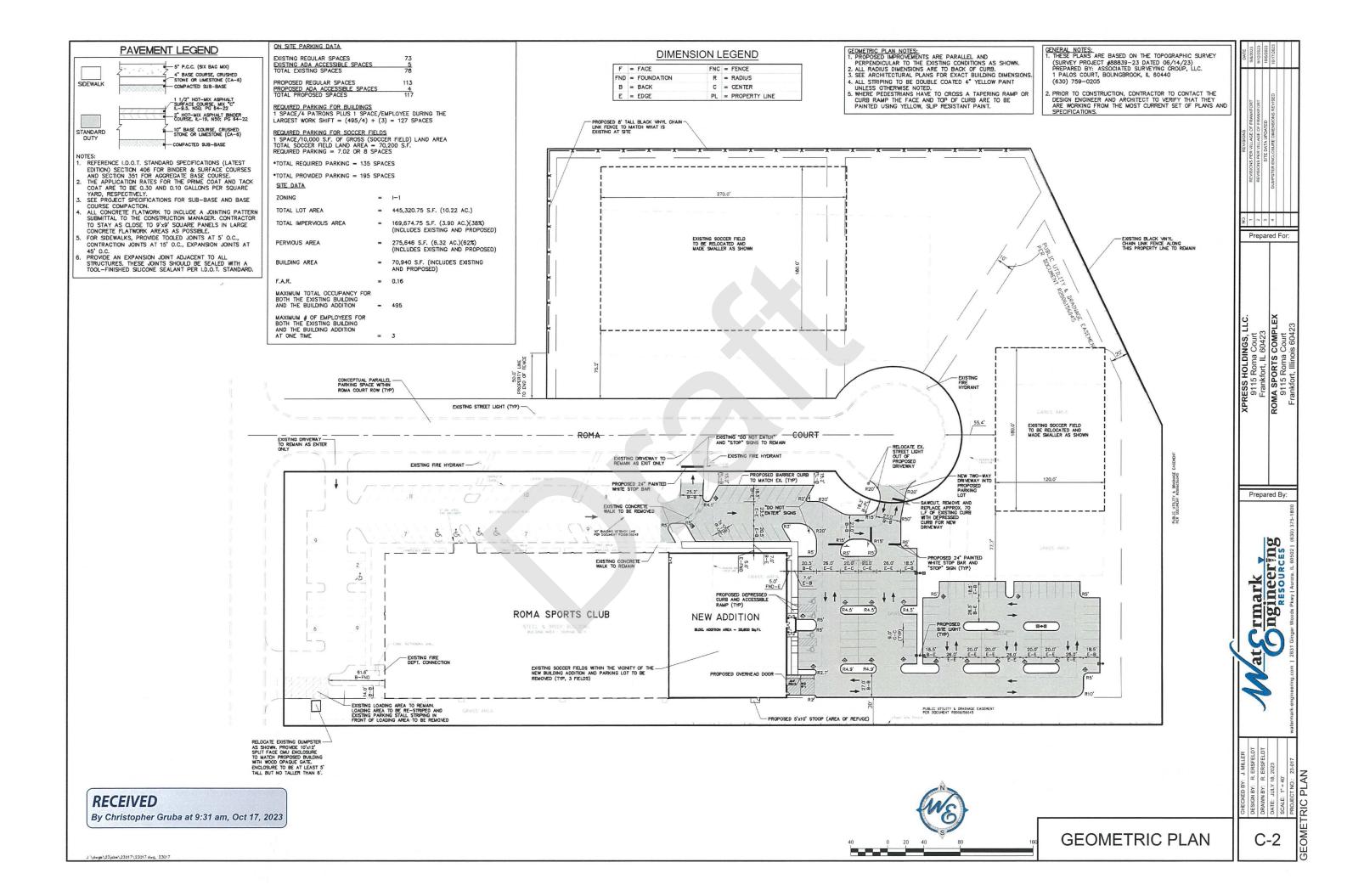
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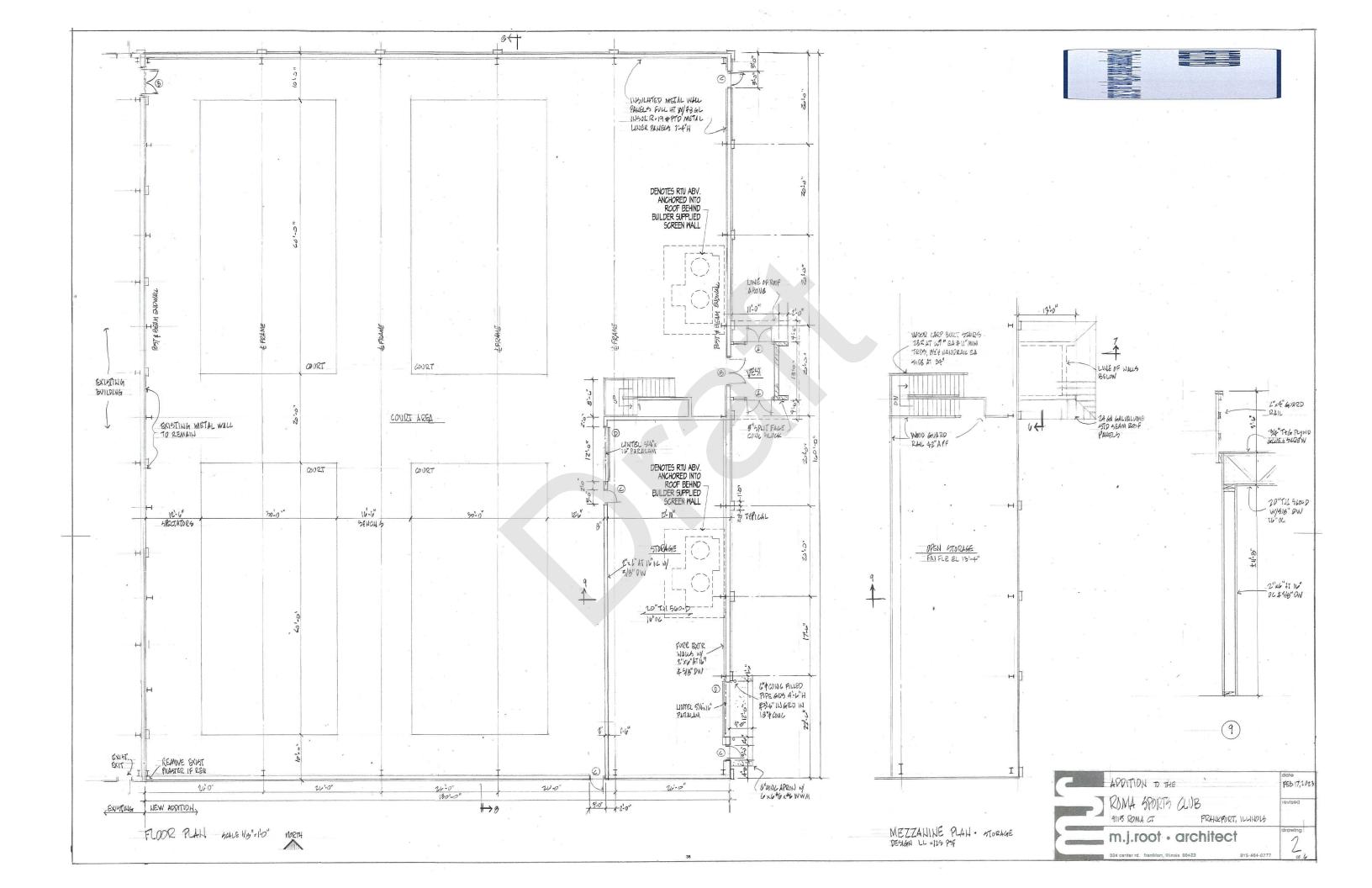
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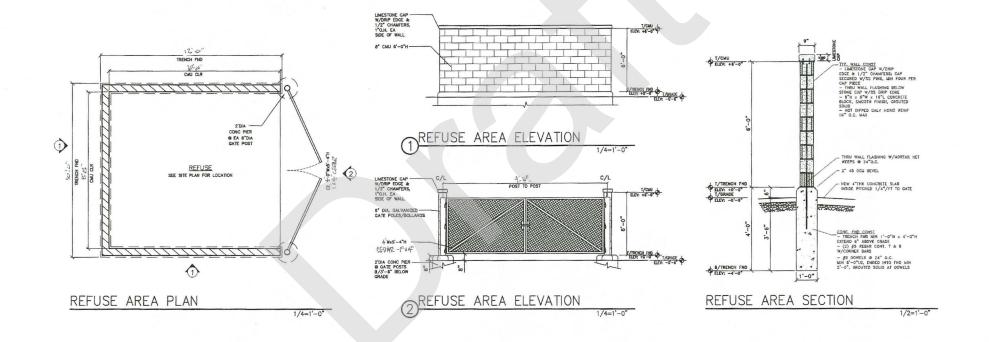
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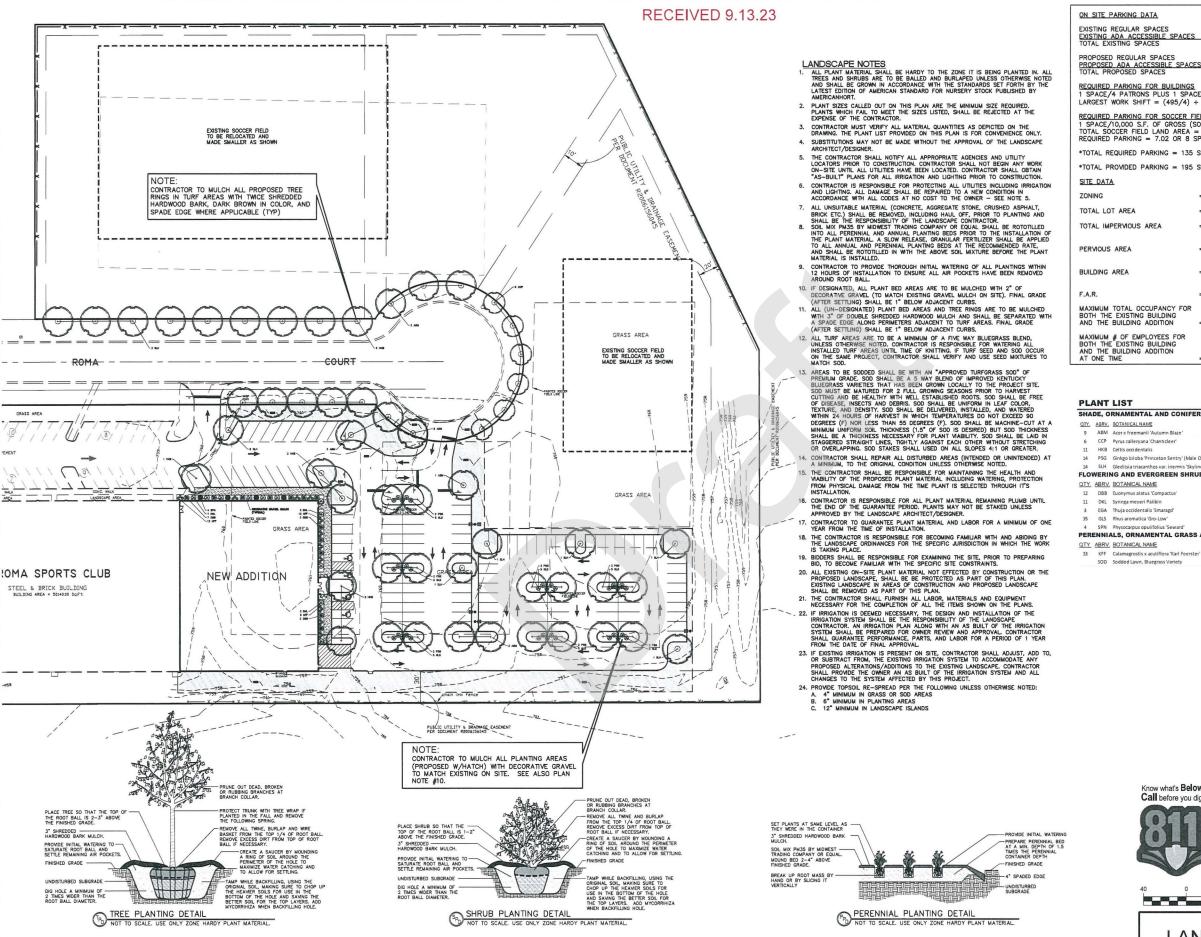


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By Christopher Gruba at 10:08 am, Oct 16, 2023



2014 5P02T5 CL13 9115 RUMA CT FRANKAD 2T, ILL



C:\Acadwin\2 PROJECTS\2 COMMERCIAL\Roma Sports Complex, Frankfort\23017-LS Plan.dwg, L

	ON SITE PARKING DATA			
	EXISTING REGULAR SPACES EXISTING ADA ACCESSIBLE SPACES TOTAL EXISTING SPACES	5	73 5 78	
ALL TED	PROPOSED REGULAR SPACES PROPOSED ADA ACCESSIBLE SPAC TOTAL PROPOSED SPACES	ES	113 4 117	
4E	REQUIRED PARKING FOR BUILDINGS 1 SPACE/4 PATRONS PLUS 1 SPA LARGEST WORK SHIFT = (495/4)	CE/E		
	REQUIRED PARKING FOR SOCCER F 1 SPACE/10,000 S.F. OF GROSS (TOTAL SOCCER FIELD LAND AREA REQUIRED PARKING = 7.02 OR 8	SOCCI = 70	R FIELD) LAND AREA	
	*TOTAL REQUIRED PARKING = 135	SPA	CES	l
	*TOTAL PROVIDED PARKING = 195	SPA	CES	l
ION	SITE DATA			l
	ZONING	=	I-1	١
,	TOTAL LOT AREA	=	312,836 S.F. (7.18 AC.)	١
OF ED	TOTAL IMPERVIOUS AREA	=	145,973 S.F. (3.35 AC.)(46%)(INCLUDES EXISTING AND PROPOSED)	
lT.	PERVIOUS AREA	=	166,863 S.F. (3.83 AC.)(54%)(INCLUDES EXISTING AND PROPOSED)	
N	BUILDING AREA	=	70,940 S.F. (INCLUDES EXISTING AND PROPOSED)	
E	F.A.R.	=	0.22	
O MTH	MAXIMUM TOTAL OCCUPANCY FOR BOTH THE EXISTING BUILDING AND THE BUILDING ADDITION	=	495	

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
9	ABM	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" Cal.
6	CCP	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2 1/2" Cal.
11	HKB	Celtis occidentalis	Common Hackberry	2 1/2" Cal.
14	PSG	Ginkgo biloba 'Princeton Sentry' (Male Only)	Princeton Sentry Ginkgo	2 1/2" Cal.
14	SLH	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	2 1/2" Cal.
FLO	WERI	IG AND EVERGREEN SHRUBS		
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
12	DBB	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal. (36" Ht.)
11	DKL	Syringa meyeri Palibin	Dwarf Korean Lilac	5 Gal. (36" Ht.)
3	EGA	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5' Ht.
35	GLS	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 Gal. (18"-24" Ht.
4	SPN	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	5 Gal. (36" Ht.)

Know what's Below. JOSEPH D. DAVITO 157-000925 Call before you dig. LANDSCAPE PLAN DESIGNED BY JOSEPH D. DAVITO, PLA J. DAVITO DESIGN, INC (847) 469-8797

Karl Foerster Feather Reed Grass

LANDSCAPE PLAN

- 2

XPRESS HOLDINGS, LLC. 9115 Roma Court Frankfor, IL 60423 ROMA SPORTS COMPLEX 9115 Roma Court

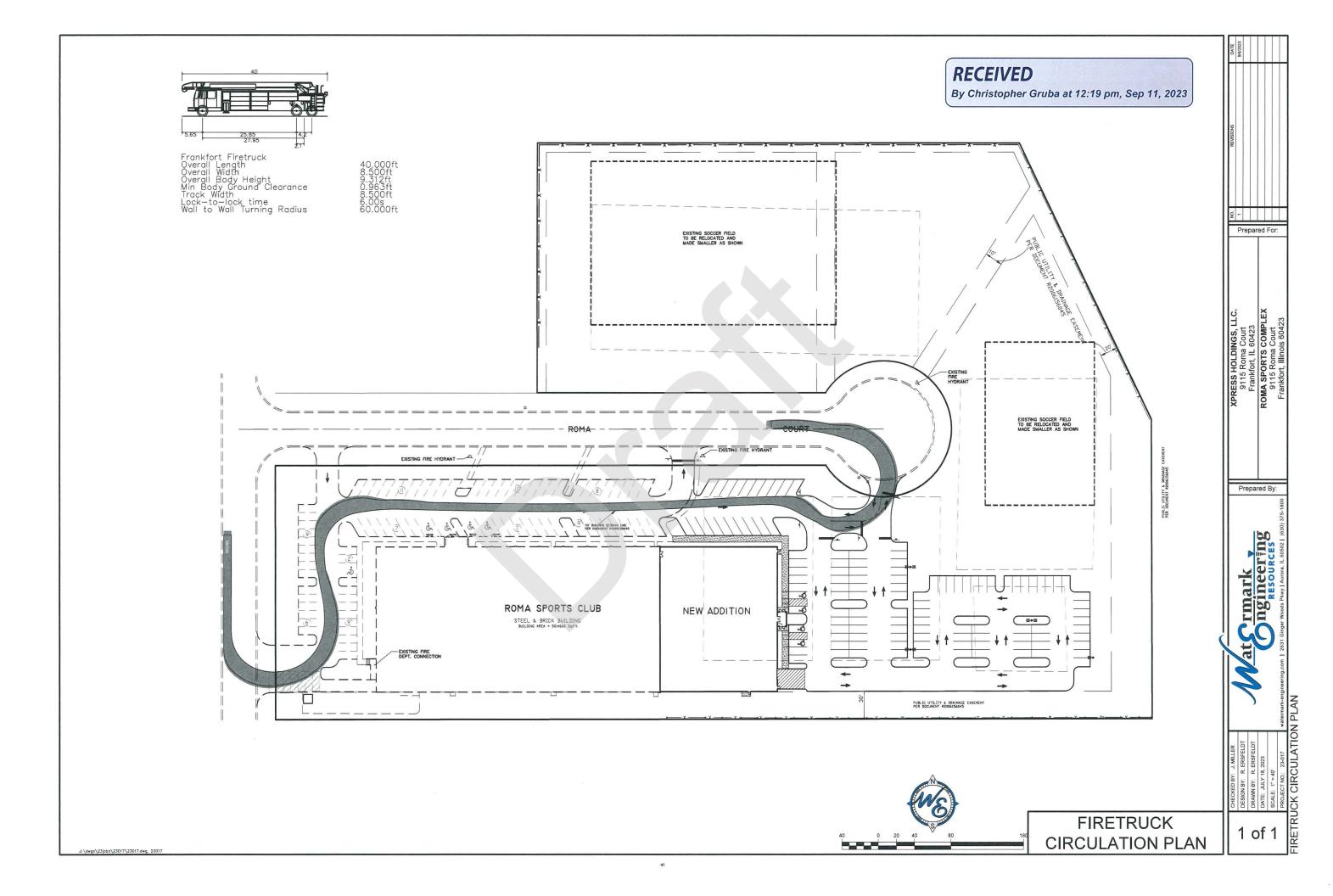
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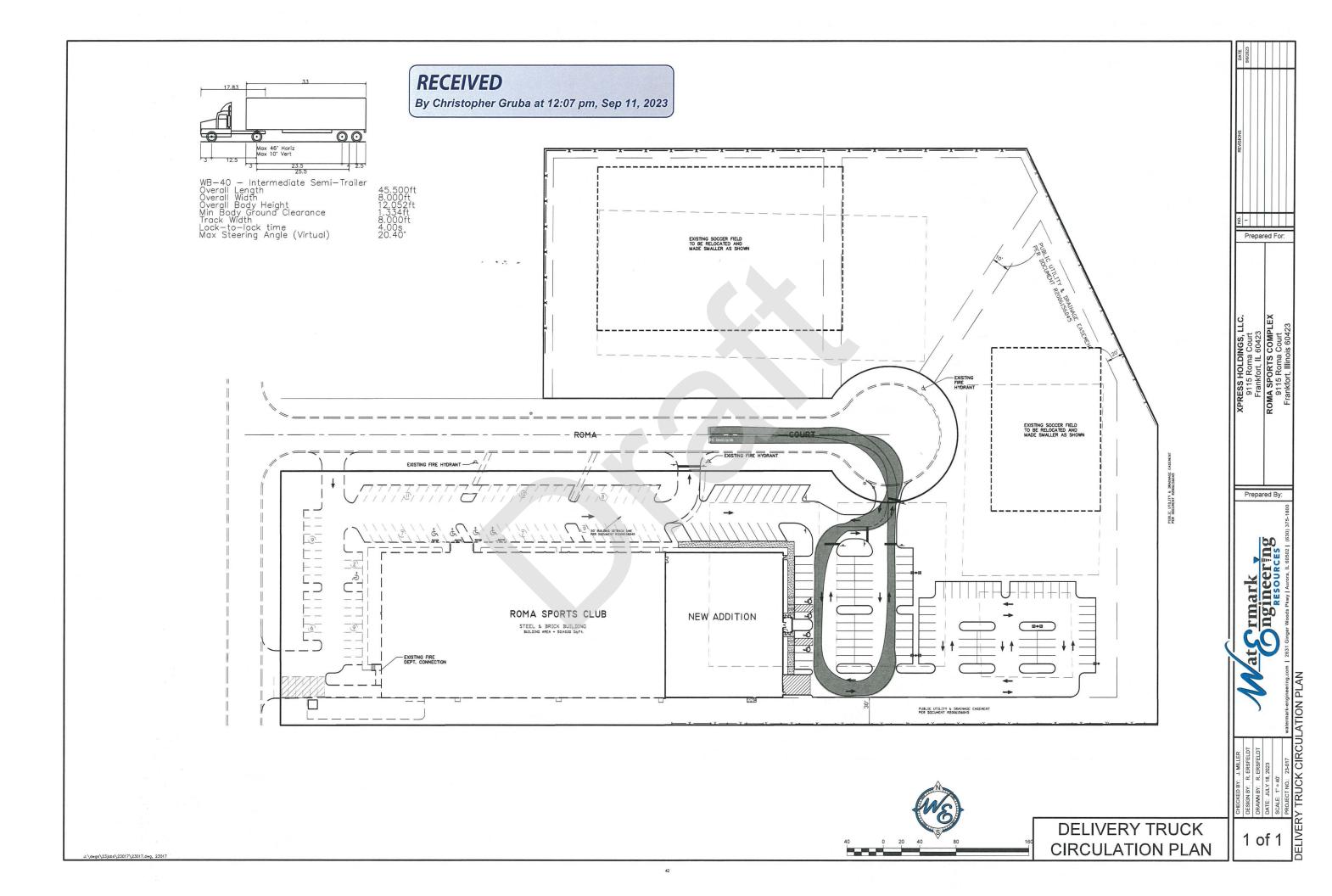
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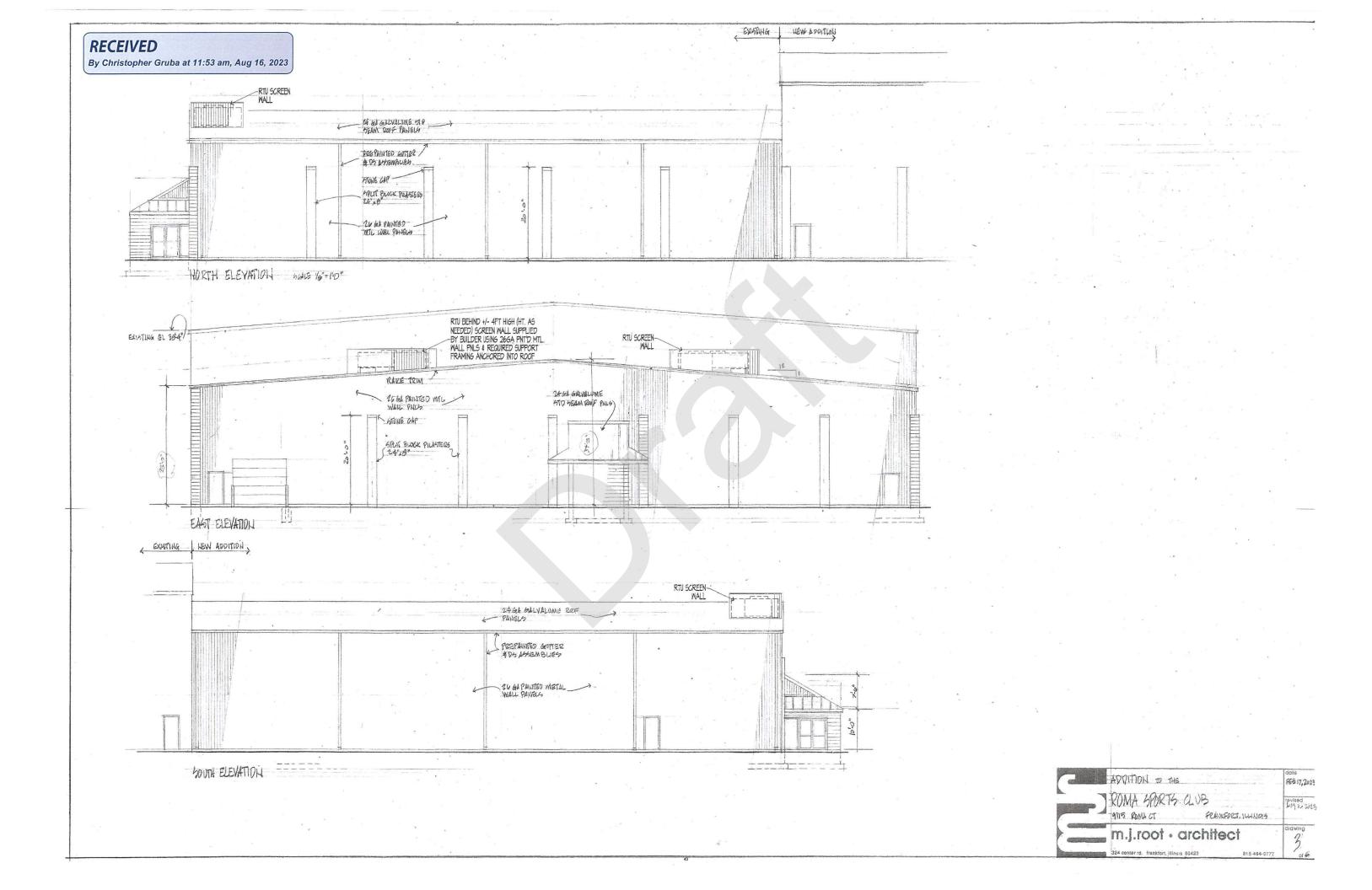
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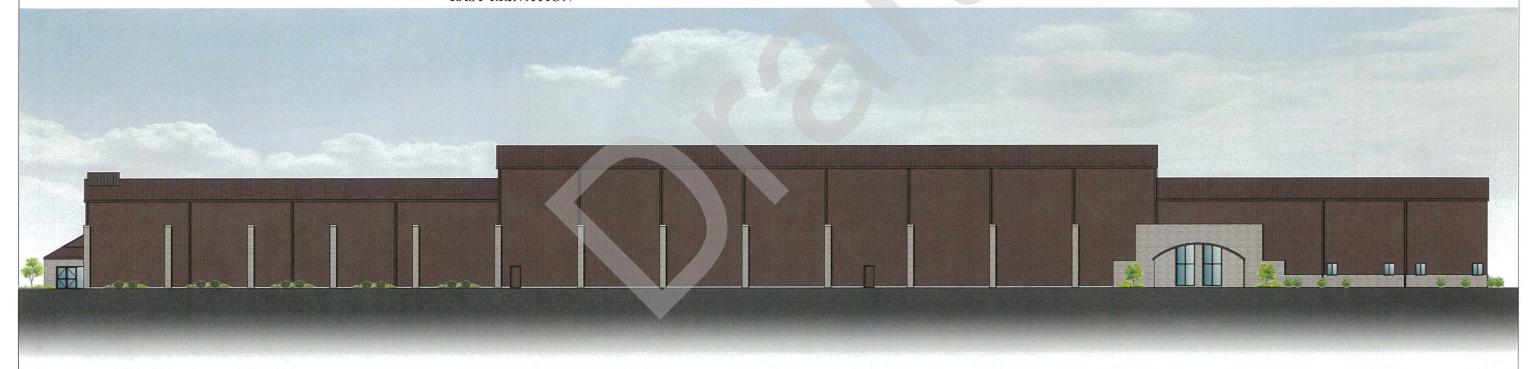




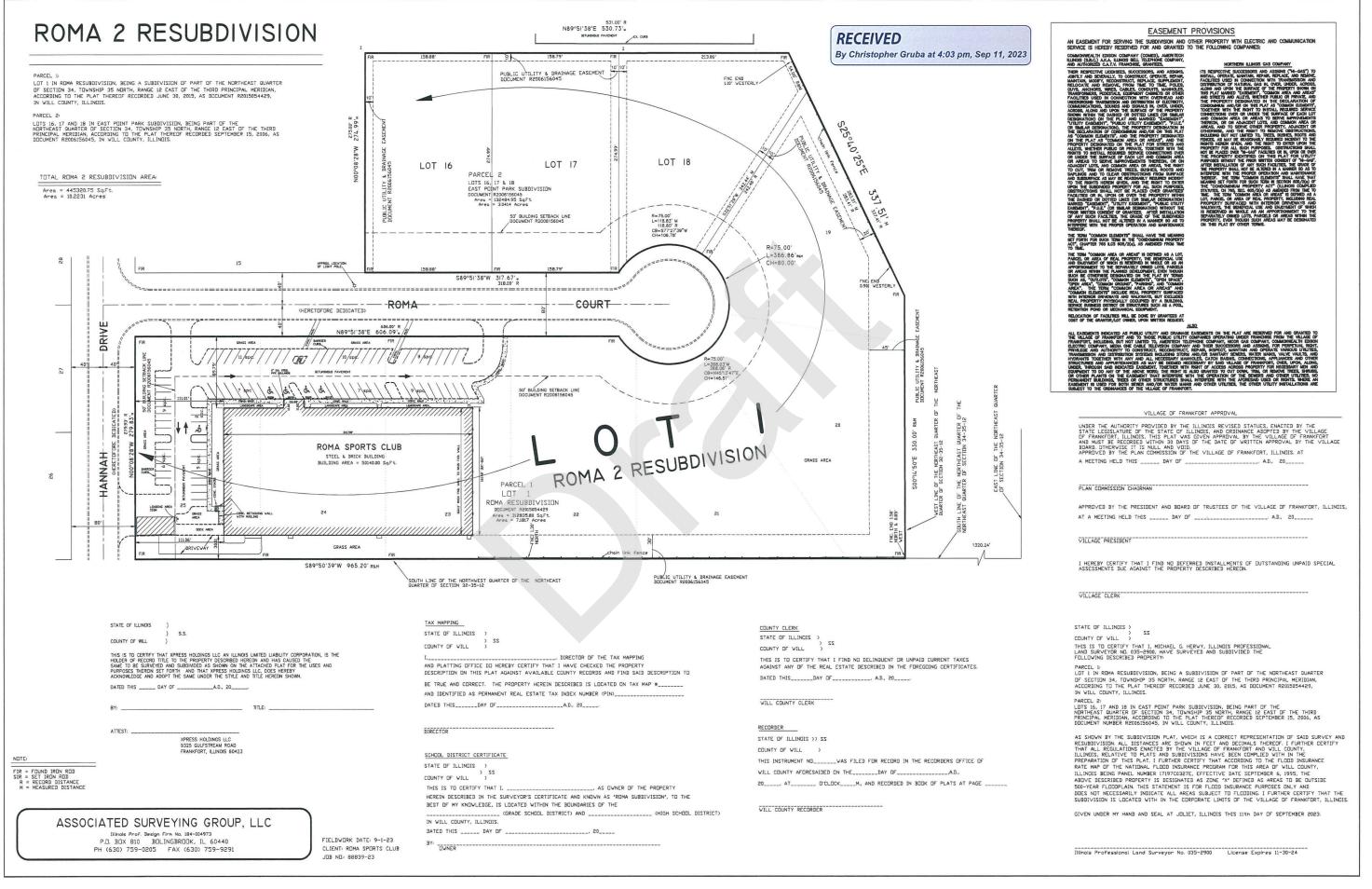
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EAST ELEVATION



NORTH ELEVATION



ORDINANCE NO. 34XX

AN ORDINANCE GRANTING MULTIPLE ZONING VARIANCES TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (PRESTWICK COUNTRY CLUB – 601 PRESTWICK DRIVE)

WHEREAS, an application for certain variances for real property within the Village of Frankfort, legally described below, was filed by Prestwick Country Club, Applicant and Owner, 601 Prestwick Drive, Frankfort, Illinois 60423; and

WHEREAS, the Subject Property, commonly known as 601 Prestwick Drive, is currently zoned E-R, Estate Residential District; and

WHEREAS, the Owner requests the granting of multiple variances to permit the construction of a new 4,320 square foot golf cart barn to replace the existing barn on the Subject Property; and

WHEREAS, the variances include: an accessory structure size variance from 144 square feet to 4,320 square feet; an accessory structure height variance from 15 feet to 21 feet; a variance to permit an accessory structure in the front yard; and a variance to permit an accessory structure to be located in front of the primary structure; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for the zoning variances for the Subject Property; and

WHEREAS, the Board of Trustees found, based upon evidence presented to it:

- 1. That the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in an E-R zoning district.
- 2. That the plight of the Owner is due to unique circumstances; and
- 3. That the variations will not alter the essential character of the locality, and that the requested zoning variances should be granted.

WHEREAS, the legal description of the Subject Property at the time of the filing of the variance application is as follows:

PIN: 19-09-25-102-009-0000

THE NW1/4 OF SEC 25, T35N-R12E (EX 11.45 ACRES) & (EX PRESTWICK SUB UNIT NO 1) & (EX PRESTWICK SUB UNIT 3 PER R68-000461) & (EX PRESTWICK UNIT 1-A) & (EX PRESTWICK UNIT 4) & (EX THAT PRT OF THE NW1/4 OF SEC 25 DAF: COMM AT THE NE COR OF PRESTWICK UNIT 1 & RUNN THC N 89 DEG 39.5 E ALG THE N LN OF PRESTWICK DR A DIST OF 528.77 FT TO THE POB, THC CONT ALG SD N LN OF PRESTWICK DR SE'LY ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESC LN WITH A RADIUS OF 103 FT WHOSE CHORD BEARS S 60 DEG 33.25' E A DIST OF 102.34 FT, THC CONT ALG SD N LN S 30 DEG 46' E TANGENT TO THE LAST DESC CURVE A DIST OF 68.85 FT, THC CONT ALG SD N LN SE'LY ON A CURVE TO THE LEFT TANGENT TO THE LAST DESC LN WITH A RADIUS OF 267 FT WHOSE CHORD BEARS S 41 DEG 05.5' E A DIST OF 95.70 FT, THC N 0 DEG 20.5' W A DIST OF 182.74 FT TO A PT IN THE S LN OF CHICAGO DIST PIPE LINE CO, THC S 89 DEG 39.5' W ALG SD S LN A DIST OF 186.14 FT TO THE POB. (EX PRESTWICK UNIT 9 PER R82-003699)

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. VARIANCES

That the requirements imposed under the E-R zoning classification of the Village of Frankfort Zoning Ordinance are hereby varied for the above-described Subject Property, located at 601 Prestwick Drive, as follows:

- 1. Granting of an accessory structure size variance from 144 square feet to 4,320 square feet; and
- 2. Granting of an accessory structure height variance from 15 feet to 21 feet; and
- 3. Granting of a variance to permit an accessory structure within a front yard; and
- 4. Granting of a variance to permit an accessory structure in front of the primary structure.

All variances are granted to permit the construction of a 4,320 square foot golf cart barn to replace the existing barn, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned on final engineering approval, and subject to the following conditions:

- 1. The existing stumps and wood pallets shall be cleared during construction of the proposed building; and
- 2. A Landscape Plan for the area around the cart barn shall be submitted for staff review and approval and required plantings shall be installed within one year of Village Board approval; and
- 3. The building elevations shall be revised to reflect a charcoal color stone veneer wainscot on all four sides.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. EFFECTIVE DATE

KATIE SCHUBERT VILLAGE CLERK

This Ordinance shall be in full force publication in pamphlet form as provided by	e and effect from and after its passage, approval and y law.
	B; with members voting AYE; members voting President not voting; with members abstaining and
ADAM BORRELLI	MICHAEL LEDDIN
JESSICA PETROW	MAURA A. RIGONI
DANIEL ROSSI	EUGENE SAVARIA
APPROVED this day of, 2023.	KATIE SCHUBERT VILLAGE CLERK
ATTEST:	KEITH OGLE VILLAGE PRESIDENT

D. Public Hearing: 601 Prestwick Drive - Prestwick Country Club Cart Barn

Commissioner Markunas recused himself from the meeting and left the Board Room at 8:55 p.m.

Chris Gruba presented the staff report.

Steven Weiss, the Project Architect, signed in at the podium. He summarized the need for the four requested variations and presented the proposed exterior materials products board.

Chair Schaeffer asked about the trees that were cut down as shown on the presentation photos. She asked if these trees were located on country club property.

Steven Weiss responded yes that the trees were located on country club property, but they were invasive Mulberry trees.

Chair Schaeffer asked if these removed trees were located within the footprint of the proposed new cart barn or if these were removed for maintenance purposes.

Steven Weiss responded that these trees were removed for maintenance purposes. He added that a Landscape Plan will be submitted to the Village soon for the area around the clubhouse.

Commissioner James stated that there is a mess of wood pallets and other materials as shown in the presentation photos. The way that the site looks today is not great. Please keep it clean moving forward.

Steven Weiss stated that there is a small portable shed that is being relocated elsewhere on the site. He admits that this area of the property has not been well maintained.

Commissioner Morris stated that it is an eyesore.

Commissioner Knieriem suggested that maybe the PC/ZBA would condition the variations on the cleanup of the site.

Gary Guild approached the podium and stated that he is the House Liaison and a member of the Prestwick Country Club. He stated that the area has been cleaned up this week.

Commissioner Knieriem stated that the site was not clean today when he visited.

Commissioner Morris asked about the timing of the construction.

Steven Weiss stated that construction of the proposed new cart barn would begin in November if the variations were approved by the Village Board. Seventy new golf carts will be delivered by April 1st, 2024. The clubhouse expansion and renovation will begin next winter. He expects that the project will be completed by mid-2024.

Commissioner James asked if there will be electric golf carts.

Steven Weiss replied yes, these will be new electric golf carts powered by lithium-ion batteries.

Chair Schaeffer asked where the small portable shed is moving.

Steven Weiss replied that this is a storage shed for range balls and is moving closer to the water tower. The shed is 120 square feet, 10' x 12'.

Chair Schaeffer reminded Steven Weiss to make sure that the new shed location will allow for compliance with the required setbacks per the Zoning Ordinance.

Chair Schaeffer stated that the next topic to discuss is the proposed exterior building materials. She would like to see a stone wainscot to tie in with the clubhouse. She asked if the clubhouse expansion will match the existing building.

Steven Weiss replied yes it will match. He added that the proposed new cart barn frames the site, and he doesn't want it to compete architecturally with the clubhouse but still wants it to be consistent with the existing colors. The design team and applicant looked at stone or brick material for the wainscot base, but in his opinion, the cart barn should be more in the background. At some point, the country club has a plan to improve the existing clubhouse and add a porte cochère covered entry to the building.

Commissioner Knieriem stated that he agrees with Chair Schaeffer. There should be a better material on the wainscot for both aesthetics and durability. The cart barn needs some element to tie it in with the clubhouse.

Commissioner Morris asked Steven Weiss if they are open to brick or stone on the base.

Commissioner James stated that he is okay with Hardie Board® siding. He asked if golf carts hit the side of the building, how will the proposed wainscot material hold up over time.

Steven Weiss responded that if they did change the wainscot material it would be more of a stone or masonry veneer and not actual brick or stone material. Also, there is a curb to stop golf carts from hitting the side of the cart barn.

Commissioner Knieriem stated that the PC/ZBA has established a precedent for requiring full dimension brick or stone not veneer products.

Steven Weiss replied that if that is the case, they would seek an exterior materials variation. They would also need to add a brick ledge around the foundation. He presented a sample of a potential brick fiber cement material for the wainscot base. He stated that the other option would be a Nichiha® brand fiber and cement formed stone veneer material. Such a product would meet the visual requirement.

Chair Schaffer asked staff if exterior building materials are an issue in the E-R Estate Residential District.

Chris Gruba replied that there is no definitive exterior materials requirement for accessory structures, but it has been Village practice to require that the materials match the primary structure.

Chair Schaeffer asked the other commission members if they are open to a veneer material that looks like stone.

Commissioner Knieriem stated yes, he could support that. He asked what the gutters are tied into.

Steven Weiss replied that the new gutters will splash on grade onto the parking lot, but that the site drains along the west side of the cart barn toward the center of the country club property.

Commissioner Schaeffer asked about the drainage impact on the neighboring residential property to the west.

Steven Weiss replied that the property to the west is higher in elevation.

Chris Gruba clarified that a minimum of four favorable votes are necessary for a favorable recommendation to the Village Board for each of the variation requests.

Steven Weiss stated that he was surprised that only one wall sign would be permitted on the golf cart building.

Chris Gruba explained the allowable signage in the E-R Estate Residential District. Only one wall sign is permitted.

Chair Schaeffer asked if there were any alternatives to the proposed wall signage that better reflects the country club than the bagpiper logo.

Steven Weiss responded that his guess is that the country club would leave the walls blank rather than install another type of sign.

Commissioner James stated that he has no problem with the proposed bagpiper logo for the sign.

Commissioner Morris stated that he has no problem with the proposed bagpiper logo for the sign.

Commissioner Knieriem stated that he has no problem with the proposed bagpiper logo for the sign.

Chair Schaeffer asked Steven Weiss if the applicant would be amendable to compliance with the Sign Regulations by having only one wall sign.

Steven Weiss replied yes.

Gary Guild, seated in the audience, asked if they could request a second sign later.

Chris Gruba replied yes, which could be part of the future clubhouse addition project, processed as a new PUD.

Chair Schaeffer stated that she appreciates the roof dormers but noticed that there are none on the west side.

Steven Weiss responded that these were omitted from the west side of the roof on purpose to downplay the impact to the neighbor.

Chair Schaeffer stated that if she owned that house, she would prefer to see those roof dormers. She asked other commission members for their thoughts.

Commissioner James stated that additional roof dormers were not needed.

Commissioner Morris stated that additional roof dormers were not needed.

Commissioner Knieriem stated that additional roof dormers were not needed.

Chair Schaeffer asked if there were any other questions or comments from the other commission members regarding the building elevations. There were no other questions or comments.

Chair Schaeffer stated that the next topic to discuss is trees. She stated that for the record she is in favor of trees that are a minimum of 6 feet in height, planted 15 feet apart.

Steven Weiss responded that rather than planting a row of trees, they would be looking to plant natural looking clusters of trees. He added that definitely there will be some landscaping there.

Chris Gruba stated that the PC/ZBA could add a condition that a Landscape Plan be provided for staff review prior to Village Board consideration of the four variation requests.

Steven Weiss stated that the applicant could live with a condition that a Landscape Plan be submitted to the PC/ZBA within a year.

Commissioner James asked if there will be any exterior lighting on the new cart barn building.

Steven Weiss replied that there will be small sconce lights above each door for area lighting. These will be on the north, south and east elevations, but not on the west elevation.

Commissioner Morris asked if the bagpiper logo sign would be illuminated.

Steven Weiss replied no.

Commissioner Knieriem asked if the new cart barn building would have a sprinkler system.

Steven Weiss replied yes. There will be a dry fire suppression system due to the golf carts being powered by batteries.

Chair Scaheffer asked if there will be a new water service to the building.

Steven Weiss replied yes, there will be a new 6-inch water service line to serve the building.

Chair Schaeffer explained that cleaning up the site should be added as a condition of approval as well as a requirement that the applicant shall within one year of Village Board

approval submit a Landscape Plan for staff review. The latter condition would be added

to the motion for the third Variation listed in the staff report.

Steven Weiss asked staff to display another building rendering that was submitted showing

a stone wainscot base.

Chris Gruba located the other rendering and displayed it on the video screen and computer

monitors in the Board Room.

Commissioner Knieriem stated that he likes this rendering better as the wainscot better

matches the clubhouse building.

Commissioner Morris stated that he agrees.

Chair Schaffer stated that she likes the darker stone color per the material sample that was

distributed earlier in the meeting.

Commissioner James stated that he personally would prefer to steer away from a gray color.

Steven Weiss stated that there is an existing dark brown color on the existing clubhouse

building between some of the windows, which they could try to match on the wainscot

base for the new cart barn building.

Chair Schaeffer asked if there were any other questions or comments from the applicant or

the public before she entertains motions. There were no other questions or comments.

Motion (#8): To close the public hearing.

Motion by: Knieriem

Seconded by: Morris

Approved: (4-0)

Motion (#9): Recommend to the Village Board to approve a variation request for size from the permitted 144 square feet to 4,320 square feet per Article 5, Section D, Part 2(b)

of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and

public testimony, conditioned on final engineering approval.

Motion by: James

Seconded by: Morris

Approved: (4-0)

Motion (#10): Recommend to the Village Board to approve a variation request for height from the permitted 15' to 21' per Article 5, Section D, Part 2(c) of the Zoning Ordinance,

in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Motion by: James Seconded by: Morris

Approved: (4-0)

Motion (#11): Recommend to the Village Board to approve a variation request to permit an accessory structure within a front yard, whereas only sides and rear yards are permitted per Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval, and subject to the following conditions:

- 1. The existing stumps and wood pallets shall be cleared during construction of the proposed building.
- 2. A Landscape Plan for the area around the cart barn shall be submitted for staff review and approval and required plantings shall be installed within one year of Village Board approval.

Motion by: James Seconded by: Morris

Approved: (4-0)

Motion (#12): Recommend to the Village Board to approve a variation request to permit an accessory structure in front of the primary structure Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval, and subject to the following condition:

1. The building elevations shall be revised to reflect a charcoal color stone veneer wainscot on all four sides.

Motion by: James Seconded by: Morris

Approved: (4-0)

Commissioner Markunas returned to the Board Room at 9:51 p.m.

E. Workshop: Village of Frankfort Zoning Ordinance Text Amendment

Chris Gruba presented the staff report.

Chair Schaeffer stated that the 1.7% limitation seems to be the sweet spot. She added that the text cleanups make sense.

Planning Commission / ZBA



October 26, 2023

Project:

Prestwick Country Club – Golf Cart Barn Replacement & Site Improvements

Meeting Type:

Public Hearing

Requests:

4 Zoning Variations

Location:

601 Prestwick Drive

Applicant:

Ed Tindall

Prop. Owner:

Prestwick Country Club

Representative:

Steve Weiss

Staff Reviewer:

Christopher Gruba, Senior Planner

Site Details

Lot Size:

64.23 acres (approximately)

PIN:

19-09-25-102-009-0000

Existing Zoning:

E-R

Proposed Zoning: Future Land Use:

N/A
Parks/Open Space

Buildings:

1 (golf cart building)

Total Sq. Ft.:

4,320 SF (proposed)

Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Golf Course	Parks/Open Space	E-R
North	Natural gas pipeline	Old Plank Road Trail	E-R
South	Golf Course	Parks/Open Space	E-R
East	Golf Course	Parks/Open Space	E-R
West	Single-Family	Parks/Open Space	E-R



Project Summary -

The applicant is proposing to construct a 4,320 square foot golf cart barn to replace the existing barn in approximately the same location. The replacement barn would be only slightly larger than the existing building. This structure is classified as an accessory building in the Zoning Ordinance. Due to the size, height and placement of the golf cart barn, the project will require four (4) variations from the Zoning Ordinance as listed below. In addition to the golf cart barn replacement, the applicant is proposing minor site work including a new 9' wide asphalt path for the golf carts to enter/exit the building and a new 6" water service line would be installed from the barn to the main along Prestwick Drive. The applicant has indicated to staff that they intend to renovate and expand the existing clubhouse in the near future, but this would be part of a different review process.

The project will require the following four (4) variations:

- 1. Variation for accessory structure size: 144 square feet permitted; 4,320 square feet proposed.
- 2. Variation for accessory structure height: 15' permitted to the roof peak; 21' proposed.
- 3. Variation to permit an accessory structure in the front yard, whereas side and rear yards are permitted.
- 4. Variation to permit an accessory structure in front of the primary structure.

Attachments —

- 1. Aerial image (1:2,000 scale) VOF GIS
- 2. Findings of Fact (Variation), applicant responses
- 3. Photographs of subject property (staff, October 16, 2023)
- 4. Manufacturer Specifications (lighting)
- 5. 3D renderings of cart barn, received October 31, 2023
- 6. Building Elevations of cart barn in color, received October 31, 2023
- 7. Building Elevations and Floor Plan in black & white, received November 1, 2023
- 8. Submittal, including Site Plan, Existing Conditions, Demolition Plan, Geometric Plan, Utility Plan, received October 6, 2023
- 9. Survey, received October 26, 2023

Analysis (updated since the workshop) —————

Zoning

The subject property is zoned E-R, Estate Residential. The existing zoning or use of the property will not be changed.

Site Design

- 1. The proposed golf cart barn would be reconstructed in almost exactly the same location as the existing barn. It would not be moved any closer to the side property line to the west. It would be moved marginally closer toward Prestwick Drive (approximately 1' or less).
- 2. The proposed accessory building would measure 21' tall to the peak of the gabled roof. The existing golf cart barn is approximately 10' to the top of the roof, which has a sloped roof typical of sheds.
- 3. The Fire District has reviewed the proposed site plan and does not have any additional comments currently.
- 4. A 9' wide asphalt golf cart path is proposed to the south of the proposed cart barn that wraps around the existing putting green. The putting green would be reconfigured slightly.
- 5. A new 6" water service line is proposed connecting the cart barn to the water main along Prestwick Drive.
- 6. All other work illustrated on the plans, including the clubhouse addition, concrete walkway, relocated catch basin and new 6" sanitary sewer line are proposed for the future and are **not** part of this project.

Floorplan

The floorplan for the proposed 4,320 square foot cart barn illustrates room for 69 golf carts, golf bag storage, a separate storage room, a mechanical room and a unisex bathroom. Although the building would have a vaulted ceiling, no second floor or attic space is proposed. The cart barn would be sprinklered for fire suppression.

Parking & Loading

Parking and loading would not be affected by the proposed golf cart barn or site improvements.

Architectural Style and Building Materials

- 1. The Zoning Ordinance does not contain any specific provisions for the architecture of this type of accessory building. However, it has been past practice that the accessory structure's architecture should be compatible with the primary structure, in this case the clubhouse. The sides of the clubhouse are made of brick, with a Dutch gable roof comprised of wood shingles or wood composite shingles. Parts of the clubhouse's roof have dormer windows. The proposed golf cart barn would employ fiberboard lap siding and board and batten fiberboard, which are wood composites. The roof would be comprised of composite shingle shakes, also a wood composite. Three dormer windows are proposed on the side of the roof facing toward the clubhouse. The opposite side of the roof facing west would not have dormer windows. The proposed golf cart barn would not have a second floor or attic space.
- 2. The proposed golf cart barn would not have any ground-mounted or rooftop-mounted mechanical units. The only mechanical equipment in the barn would be two ventilation fans placed within the gables on each end, screened with louvers.

Stormwater & Drainage

Although there are extensive floodplains and wetlands within Prestwick Country Club, there are no wetlands or floodplains in the area of the golf cart barn. Stormwater and drainage is not anticipated to be greatly impacted by the proposed site improvements.

Landscaping

There are no specific landscaping requirements for the proposed work as it relates to this type of accessory building. The scope of work would involve the removal of several trees between the proposed golf cart barn and the single-family home to the west. Although the Demolition Plan indicates that two mulberry trees would be removed, during a site inspection by staff on October 16, 2023, it was noticed that 5 trees had recently been removed. Staff recommends discussing landscaping during the public hearing. Additional landscaping may be considered by the PC/ZBA as part of any conditions of approval of the variations.

Lighting

The building would be illuminated with interior lights as well as wall sconce lights on the exterior of the cart barn. No new light poles are proposed. There would be a total of 10 wall sconce lights, in the form of two different types. The manufacturer specifications have been provided for each type of exterior wall sconce light.

Variation Requests

The following findings of fact are used to judge the merit of a variation request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No variation shall be recommended by the Plan Commission, unless such Commission shall find that all three of the following criteria are met:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

- 2. That the plight of the owner is due to unique circumstances; and
- 3. That the variation, if granted, will not alter the essential character of the locality.

In addition to the above 3 required criteria, the Plan Commission shall also take into consideration the following 7 criteria:

- 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
- 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
- 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
- 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
- 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
- 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
- 7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motions —

- 1. Recommend to the Village Board to approve a variation request for size from the permitted 144 square feet to 4,320 square feet per Article 5, Section D, Part 2(b) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
- 2. Recommend to the Village Board to approve a variation request for height from the permitted 15' to 21' per Article 5, Section D, Part 2(c) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
- 3. Recommend to the Village Board to approve a variation request to permit an accessory structure within a front yard, whereas only sides and rear yards are permitted per Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.
- 4. Recommend to the Village Board to approve a variation request to permit an accessory structure in front of the primary structure Article 5, Section D, Part 2(a) of the Zoning Ordinance, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval.

Prestwick Country Club - Cart Barn (variations)





Application for Plan Commission / Zoning Board of Appeals Review Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

A variation is sought to allow for an existing golf cart storage building to be replaced essentially in its current location in the Prestwick Country Club property. The current cart sotrage building is located in front of the current clubhouse, which is the primary building. No changes to the side yard setback nor the front yard setback are being

2. That the plight of the owner is due to unique circumstances; and

The Prestwick Country Club is a unique property; it would not be able to function without the golf cart storage building.

3. That the variation, if granted, will not alter the essential character of the locality.

This variance seeks to replace an aging building with a new onw of similar character and scale. The new building will be closer to the character of the existing club buildings and will be is substantially better condition.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Due to current flood plain restrictions, there is no other suitable location for the golf cart storage building. Even if other locations could be utilized, the location of the building is part of the functional plan of the golf course in relation to the clubhouse, locker rooms and golf course circulation scheme.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

The Prestwick Country Club is a unique property and the location of the golf cart storage building was determined well before the Village annexed the development. The reconstruction of the cart storage building in its current location is a completely unique condition.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

This variance has no financial goal other than replacing an existing aging building with a new one.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

This variance petition has no relationship to any person having an interest in the property other than the membership of the country club.

- 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 As a replacement to the current golf cart storage building, granting of this variance will not be detrimental to the public welfare or unduly injurious to other properties in the neighborhood.
- 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

The exterior architectural design and functional character of the replacement golf cart storage building will be in general conformance with the other existing structures of the Prestwick Country Club.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

The replacement golf cart storage building will not impair air supply to adjacent properties nor substantially increase the danger of fire nor otherwise endanger the public safety or property values in the neighborhood.











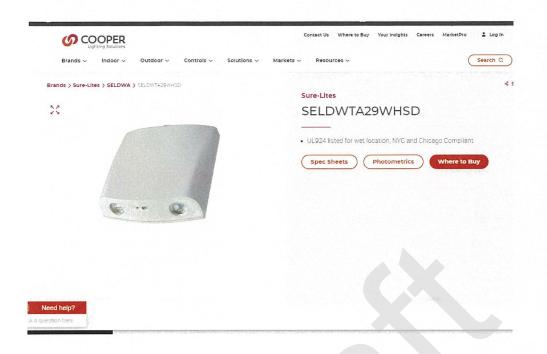


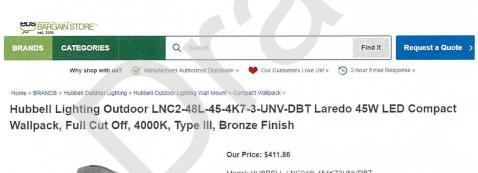


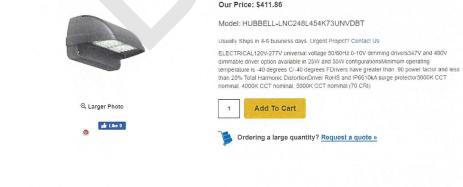






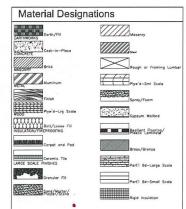


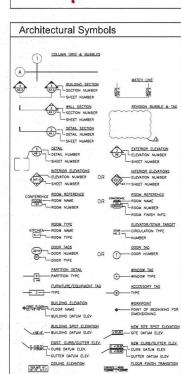




Technical Street Downloads





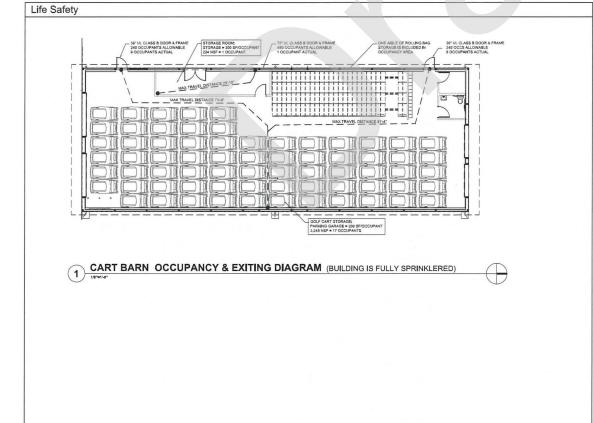


General Notes THESE GENERAL NOTES APPLY TO ALL WORK OF THIS PROJECT FOR THE GENERAL CONTRACTOR, ALL SUBCONTRACTORS, TRADES, AND SUPPLIERS OF ALL TIERS, SEE NOTES AND REQUIREMENTS ON DRAWINGS OF OTHER DISCIPLINES. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTIONS THEREFROM WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT. ALL WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES, ORDINANCES, REGULATIONS, RULES, ETC OF MUNICIPAL STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. NO WORK IS TO BE EXECUTED WITHOUT FIRST HAVING OR STATEMEN DID IN THE FERRAL PRIVATE AND APPROVALE. EXERCISE CARE TO AVOID DAMAGE TO EXISTING BUILDINGS AND SURFACES, INCLUDING ADJACENT PROPERTIES AND ROUTE-OF-TRAVEL SPACES FOR DELIVERIES. PROVIDE PROTECTION AS NECESSARY / CLEAN UP AS WORK IS COMPLETED. COLLECT RUBBISH AND DEBRIS IN LOCATIONS AS APPROPRIATE AND REMOVE FROM SITE AS REQUIRED TO AVOID ACCUMULATION, USE APPROPRIATE TRASH CONTAINERS TO COLLECT RUBBISH AND DEBRIS FOR REMOVAL, "ALIGN" WHEN USED ON THE DRAWINGS MEANS TO LINE UP THE FINISH SURFACES OF THE WALLS OR COLUMNS OR CASEWORK INDICATED, IT DOESN'T MEAN "GET IT CLOSE" IT MEANS ALIGN IT. PROVIDE BLOCKING WITHIN ALL PARTITIONS ADEQUATE TO SUPPORT WEIGHT AND WORKING LOADS OF EQUIPMENT AND CASEWORK HUNG THEREFROM. DECREASE STUD SPACING IF REQUIRED TO SUPPORT ITEMS AND LOADS ANTICIPATED. PROVIDE FLUSH, KEY OPERATED ACCESS PANELS IN WALLS AND CEILINGS AS REQUIRED FOR ACCESS TO CONCEALED EQUIPMENT AND ACCESSORIES. REVIEW SIZE AND LAYOUT OF ACCESS PANELS WITH ARCHITECT PRIOR TO FRAMING OPENING. PROVIDE ADDITIONAL SUPPORT OR FRAMING AS REQUIRED WHERE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS PENETRATE OR PASS THROUGH WALLS AND CELINGS. THERE ARE TO BE NO BACK-TO-BACK OPENINGS IN WALLS, EVEN IF GRAPHICALLY INDICATED ON DRAWINGS, IN NON-RATED PARTITIONS, OFFSET RECEPTACLES, SWITCHES, CONTROLS AND LIKE DEVICES BY 9°, AT RATED WALLS, OFFSET BY 24' MINIMUM AND SAFE IN ACCORDANCE WITH ARTING REQUIREMENTS. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18' IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24' ABOVE THE FLOOR SHALL BE CONSIDERED A "HAZARDOUS LOCATION" AND SHALL BE GLAZED WITH SAFET VICLAZING MATERIALS. B. ALL EXIT DOORS SHALL BE OPERABLE IN DIRECTION OF EXIT TRAVEL WITHOUT A KEY OR SPECIAL KNOWLEDGE. STARWAY AND BALCONY GUARDRAILS SHALL COMPLY WITH THE STRUCTURAL LOADING REQUIREMENTS SET FORTH IN THRUST ON HANDRAILS.

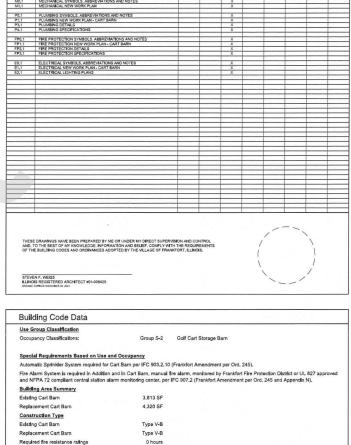


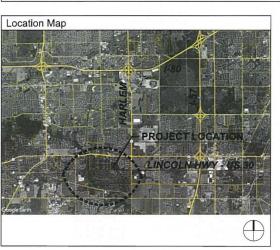
Building Data











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Architecture • Planning • Design

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REPLACEMENT CART BARN



PRESTWICK COUNTRY CLUB

601 PRESTWICK DR. FRANKFURT, IL 6042

THESE DRAWINGS ISSUED FOR BIDDING AND PERMIT ONLY.

NOT FOR CONSTRUCTION

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Required fire resistance ratings **Building Height** Cart Barn Allowable

60 ft./ 3 storles 21'-6"/ 1 story

Cart Barn Actual Floor Area Per Floor Cart Barn Allowable (S-2, V-B)

54,000 SF 4,320 SF

Cart Barn Actual

as modeled for this project, are a part of this project and are incorporated hereil appearing in (A).

ADDITIONAL INSURED In accordance with the requirements of the Central Condidors and prior to commencement of work covered under this contract child solumn Certificates of Insurance indicating compliance with the requirement this contract and naming the following entities as Additional Insureds 1, PRESTMCK COUNTRY CLUB

WEISS ARCHITECTS, LLC

ELARA ENGINEERING

3. JUNEARY IN QUARTER IN A ROSCULAR IESD. The coverage Stated the addition is accounted for additionable with respect to claims arrange out of operations performed by or on behalf of the insense insured. The additional insureds that other insurance within a special exhibit he loss, such other insurance shall be heated as extens or contingent coverage. The extent of this insured is such juntate by its insurance pade; and must be reduced by the extense of such only insurance.

INDEMINICATION. To the Marks descriptement by law, the General Contractor and all contract and sectoralisation of any ter small wake any right of combitation and, was respect to the Indement Protes, any inflament on Establish parties from the Opensessation law, and an Indemini, and and protessation and contract and contract the Administration of their specific and engagings and consultants its interesting Practice (price and opensed allows analysis, literals and expresses (Clisical's) and interesting Practice (price and opensed allows analysis, literalisms and proposed (Clisical's) and to contract the Contraction of the Contraction of the Work, provided that law, such clients in source on which are practiced and contractions and contractions are contracted and which is not provided to the Contraction of the Con tion or in connection with performance of the Vivilla, provided that any push Claim, is caused which or in party any neighbart and or omassed in the Contract Contractor, and Contractor, and Subcommentation any one of certificial contractor, and subcommentation any one state of the contractor and contracto

In any and all Claims against any lickennoider Paril by a my employee it the Consed Contraction of productions are not observed except for indicate and the production and a contraction of the production and the production of the

Contractor, its Subcontractors, agents, services or use of messae of the General Contractor, on Contractor, its Subcontractors, agents, services or simpleyees, of any kind of items of equipment whether or not the same be owned, famished or Soured by Owner. General Contractor, or any Contractor, [2] all attorneys's fees and costs incurred in bringing an antion in enterior the according to the contractor. of this indemnity or any other indemnity contained in the Contract Documents, and (3) or expended by the Indemnited Parry and its employees, at their indust rates plus costs of found instance indemnited in reproduction of documents.

Owner PRESTWICK COUNTRY CLUB
 Architects Wass Architects, LLC. 222 West Ontains Street, Suite 330, Chicago, Binois. 60654-312986-1160.

 Structural Consistant for Cart Barn K.Eng LLC, 1017 W. Washington Blvd., Chicago, Hinois 50007, 342738-2868 E. Structural Engineer of Record for Cart Barn, Loster Buildings, LLC, 1111, 2nd Avenue South, Lester Prairie, Minnesota 55354, 320/305-2531.

Lesse France, Anniestra 2004, 34000-0001.

MEP/FP Engineer Jaseph A Schudt & Associates, 9455 Enterprise Drive, Mokena, Manais 80448, 708/720-1000.

Contractor's Use of Premises - During construction, Contractor will have use of site, subject to work rules and restrictors of the Owner, the Village of Frankfort and others having prosdiction.

2017. p. p. p. contractor.

PART 2 PRODUCTS (Not Used)
PART 3 - EXECUTION (Not Used)

SECTION 012000 - PRICE AND PAYMENT PROCEDURES

Blacker under detailed in a treat in consistency.

1. ALCONANCES.

1. ALCONANCES.

2. ALCONANCES.

3. ALCONANCES.

4. ALCONANCES.

5. South revices or the date when selection and purchase of each product or system described by an allowance must be completed to avoid displaying be Virtue.

5. South revices or delivery data to show actual quarters of materials delivered to the size for the control of actual delivered.

Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall ordude taxes, freight and delivery to Primer

Agreement.

2. The cost or ordef for each alternata is the net addition to or designion from the Contract Sum to incorporate alternate into the Vicki. No other adjustments are made to the Contract Sum or Co

No. Include as part of each alternate, miscellaneous devices, accessory objects, and similar dems incidental to or required for a complete installation whether or not indicated. Notification: Immediately following award of the Contract, notify each party involved, in writing, whether abrenates have been accepted, rejected, or deferred for later consideration.
 PAYMENT PROCEDURE:

Submit a Schedule of Values in accordance with the Contract Application for Payment, Break down the Contract Sum into at least one line sem for each Specification Section in the Project

town the Contract Sum into at least one line nem for each Specification Section famual table of contents.

Arrange schedule of values consistent with format of AIA Document G703.

Round amounts to nearest whole dollar, total shall equal the Contract Sum.

Provide separate line items in the schedule of values for untial cost of materials and for total installed value of that part of the Work.

s. Treated value or mat part of the voice.

S. Provide a segulate for earn in the schedule of values for each allowance.

A application for Payment Forms. Use AIA Document G702 and AIA Document G703.

Submit three oppies of each application for payment according to the schedule establis Owner/Constitution part of payment according to the schedule establishment.

Notarze and execute by a person authorized to sign legal documents on behalf of

With each Application for Payment, submit waivers of mechanic's liens from subcontractors, sub-subcontractors, and suppliers for construction period covi-previous application.

previous application.

3. Submit final Application for Payment with or preceded by conditional final waivers from every entity involved with performance of the Work covered by the application who is lawfully entitled to a lain.

PART 2 - PRODUCTS (Not Used)
PART 3 - EXECUTION
3.1 SCHEDULE OF ALLOWANCES

To Be Determined

ALL OTHER MATERIALS, ITEMS AND EQUIPMENT ARE TO BE FURNISHED AND INSTALLED WITHIN THE CONTRACT SUM.

SECTION 012500 - SUBSTITUTION PROCEDURES

T 1 - GENERAL SUBSTITUTION PROCEDURES

Substation Review Soft the respect to Proposed by Contraction.

Substation Review Soft the respect to each request for Contraction. I feetily product of faircation or installation method to be resplicted. I feetily soft soft and Directly increases and Elevier of International Soft of Proposed Form Visit CR Form 13.1A.

Substational Review Form Visit CR Form 13.1A.

Substational Review Form Visit CR Form 13.1A.

Submit requests within 30 days after the Notice of Award.
 Identify product to be rejished and of lower compliance with requirements for validations.
 Identify product to be registed and of lower compliance with requirements of the validation with the second of the register of the validation of the Curtain Compliance of the validation of validation of validation of validation. If necessary, Architects will request significant information or documentation for ovulgation.

Architect will notify Contractor of acceptance or rejection of proposed substitution days of receipt of request, or seven days of receipt of additional information or documentation, whichever is laster.

SECTION 012500 - CONTRACT MODIFICATION PROCEDURES T1- GENERAL

RETT — GENERIAL

CONTRACT MODIFICATION PROCEDURES

A. Architect will issue supplemental instructions authorizing minor changes in the Work, not involving adjustment to the Contract Sum or the Contract Time, on Ala Document G110,

Owner-Incided Proposal Requests. Architect will assure a detailed description of proposed changes in the Wint.

1. Proposal Requests are not institutions either to stop work in propries or to execute the proposed change in Proposal Represent or 20 says when not orderwise specified within the secondary of Proposal Represent or 20 says when not orderwise specified within the Contract Change and the Contract Change on the Contract Change and the Contract Change of the Representations of the Contract Change of the Representation of the Contract Change of the Representation of the Contract Change of the Contract Change of the Contract Change of the Representation of the Represen

Centract Sum and the Contract time.

Construct Anisotra Proposals. Election or changes conditions require modifications to the Contract. Contractor may instale a slam by submitting a request for a change to Architect. On Owner's approval of a Proposal Request. Architect will issue a Change Order for signatures of Owner and Contractor on AIA Document GTO: for all changes to the Contract Sum of the

religions may issue a Construction Change Directive on AIA Document G714. Construction hange Directive statutts Contractor to proceed with a change in the Work, for subsequent Construction Change Directive contains a complete description of change in the Work. I also designates method to be followed to determine change in the Contract Sum or the Contract Time.

PART 1 - GENERAL

1.1 PROJECT MANAGEMENT AND COORDINATION

A. Subcontract List. Submit a written summary identifying in portion of the Work.

portion of the Work.

Key Personnel Numes. Within 15 days of starting construction operations, submit a list of key
personnel assignments, including superintendent and other personnel in attendance at Project
soe. List e-mail addresses and telephone numbers.

Coordinate construction operations included in different Sections of the Specifications to en-officient and orderly installation of each part of the Work. Requests for Information (RFIs). On discovery of the need for additional information or interpretation of the Contract Documents. Contractor shall prepare and submit an RFI, Use A/A Document G716 or smaller form.

Schedule and conduct progress meetings at Project site at weekly intervals. Hotely Owner and Architect of meeting dates and times. Require attendance of each subcontractor or other entity concerned with current progress or involved in planning, coordination, or performance of future activities.

Assessment .

1. Record minutes and distribute to everyone concerned, including Owner and Architect.

SUBMITTAL ADMINISTRATURE RECURREMENTS.

Architects Oppold that Files. Unon specific reviews for each individual use. Electronic digital data files of the Contract Crawings will be provided by Architect for Contractor's use in preparing subministration.

repairing submitals.

Architect will famium Contractor one set of digital data drawing lifes of the Contract
Drawings for use in prepairing Shop Drawings and Project record drawings.

Architect will know to representation as to the accusacy or completiones of digital
drawing files as they related to the Contract Drawings.

b. Consector shall execute a sizial bending agreement in the form of
API Document CHO, Orgal Class Lettering Agreement.

oordinate each submittal with fabrication, purchasing, testing, delivery, other submittals, fated activities that require sequential activity. assed authors has require septemble activity.

No extension of the Contract Time will be supherted because of fabrie to transmit submittals enough in advance of the Work to permit processing, including resubmittals. All submittals are to be submitted as electronic documents, in POP format. Each submitted are only on the submitted or on cover their.

Project name.

Date.

Name and address of Contractor,

reame and address of obstraction,
 Name and address of subcontractor or supplier,
 Number and tide of appropriate Specification Section.
 Sections Submittals. Identify and incorporate information in each electronic submittal file as tablows:

agova:
Assemble complete submittal package into a single indexed file incorporating submittal requirements of a single Specification Section and transmittal form.

requirements of a single Specification Section and transmittal form.

J. Hame 16 with oursel Semifier, including presst sitemities, Specification Section number, and revision identifier.

Provide means for insertion to permanently record Contractir's review and approvid instruction and action taken by Arithest.

Exercise policies regioning selection by Arithest.

Identify of evisions from the Contract Documents on submittals.

Contractir's Contractivition Schedies' Serviciant Procedure.

Wring diagrams showing factory-installed wring.

ons and identification of products.

Submit required submittals in the following forms:

 PDF electronic file.
 Contractor's Construction Schedule: Initial schedule, of size required to display entire schedule for entire construction period. Coordinate Contractor's construction schedule with the schedule of values, submittal schedule, progress reports, payment requests, and other required schedules and reports

Manufacturer's written recommendations, product specifications, and installation instructions.

Samples. Submit Samples for review of kind, color, pattern, and texture and for a comparate of these characteristics between submittal and artical component as delivered and installed, Include name of manufacturer and product name on label.

Product Certificates. Prepare written statements on manufacturer's lotterhead certifying that product complex with requirements in the Contract Documents.
 CONTRACTORS CONSTRUCTION SCHIEDLE ## CONTRACTORS CONTRACTO

4. CONTRACTOR'S CONSTRUCTION SCHEDULE A COMENDATE Shaded Solute a comprehense in Jay developed. Procrontal Garbo-harbype schedule within 6 days of data established for the Nictocs of Award. B. Preparation: Indicate each superficial construction activity reportable, Identify first workday of each neek with a continuous verical line. C. Recovery Schedule White periodic displate indicates pia but Write is 5 or more calendar days behind the current approved schedule, submit a expansive recovery schedule indication means by which Contractor indentition is submit a expansive receivery schedule indication means by which Contractor indentition is submit a expansive receivery schedule indication means by which Contractor indentition is submit a expansive receivery schedule. Indicate charges with a comprehensive comprehensive and exprenent required to achieve compliance, and rocked data by which increvely with a exceptibilities.

ttals not required by the Contract Documents may not be reviewed and may be

CONTRACTOR'S CONSTRUCTION SCHEDULE, Updating A morthly intereals, updates schedule to reflect actual construction progress and activities. Issue schedule before each reguladly scheduled progress meeting. Cambiums open of approved schedule to Onene, Architect, subcontractors, testing and inspecting agencies, and parties dendrised by Contractor with a read-to-inow schedule responsible, Vinne revisions are made, distribute updated schedules to the same parties.

ART1. GENERAL

1. SECTION REQUIREMENTS

A. Testing and impacting services are required to verty compliance with requirements specified or indicated. These services do not referve Contractor of responsibility for compliance with the Contract Decument requirement.

Contact Deciment requirements. Referenced Standards in specified and the standards and specified and the standards assables different or confidence requirements, corety with the most stringent confidence assables assables different or confidence requirements, corety with the most stringent. A forest confidence assable assables assable

Sections.
 Permis, Licenses, and Certificates. For Owner's records, submit copies of permits, loonses, certifications, suspection reports, notices, receipts for fee payments, and similar documents, established for compliance with standards and regulations bearing on performance of the Wor.
 Professional Engineer Qualifications. A professional engineer who is legally qualified to

OR'S CONSTRUCTION SCHEDULE

SECTION 014000 - QUALITY REQUIREMENTS

If variation is inherent in material or product, submit at feast three sets of paired units that show variations.

products, select product compatible with products previously selected.

Obliver, store, and handle products upuny means and methods that will prevent damage, deterination, and loss, including their, Comply with manufacturer's written instructions,

Schedule delever, to minimize long-term storage at Project side and to prevent previousling of construction appares. General Submittal Procedure Requirements. Prepare and submit submittals required by individual Specification Sections. Post electronic submittals as PDF electronic fles directly to Architect's FTP site specifically established for Project or, upon mutual agreement, via email or other document. management method,

A Arthest will extern annotated Ms. Annotate and retain one copy of Me as an
electronic Project record document Ms.

ACTION SUBMITALS

Product Dats. Mank each submittal to show applicable products and options. Include the
following

Deliver products to Project site in manufacturer's original socied container or packaging correlate with labels and instructions for handling, storing, unpacking, protecting, and installing.

Show compliance with requirements for comparable product requests,
 Architect will review the proposed product and notify Contractor of its accertance.

modaley.

In located products in delivery to ensure compliance with a Contract Documents and to ensure that products are ordinance with a Contract Documents and to ensure that products are ordinance; and en ordinance Products.

5. Since products that are subject to clampage by the elements, under corier in a weatherght enclosure school ground with weather ground with weather conformation.

F. Warnates specified in other deputions shall be an addition to and run concurrent with other examples set of the Contract Document. Manufacture declarates and environment of the Contract Documents.

PART 2: PRODUCTS SELECTION PROCEDURES

und indicated.

Testing Agency Qualifications. An independent agency with the experience and capability to conduct belong and ensecting indicated, and where required by authorities having production, that is acceptable to authorities.

acceptance to automores.

ImpReinspecting: Regardjess of whether original tests or inspections were Coissessly, provide quality-control services, including refesting and reinspecting, for action that replaced Work that failed to comply with the Contract Documents.

Testing Agency Responsibilities. Cooperate with Architect and Contractor in performance of fullers. Provide qualified personnel to purform required feets and inspections.

I setting Aprilor (Responsedates), Cooperate with Interheat and Contractor in performance of 1. Notify Arthroad and Contractor of imaginaries or differences in the Work between did ung performance of its services.

Do not released, and Contractor of imaginaries or differences in the Work between did ung performance of its services.

Do not perform any indices of Cooperate of the Contract Documents or approve or accept any portion of the Work.

A securate General Cooperate with extending specificial and provide responsible and says.

A necessate the Veryold of the Montral of the Contract Cooperate and a contract of the Contract Cooperate and a contract of the Contract Cooperate and provide responsible and services and interhead to the Contract Cooperate and interhead to the Cooperate Cooperat

PACT 1: BECOMEN 1

3.1 TEMPORARY UTILLY INSTALLATION
3.1 TEMPORARY UTILLY INSTALLATION
4. Provide simplery plotting work local switching plant provides adequate dumention for
4. Provide simplery plotting work local switching that provides adequate dumention for
5.2 SECURITY AND PROFECTION FACILITIES INSTALLATION
4. Provide proteinon, operable temporary facilities and ordination constitutions on a required to
with invitrommental regulations and that immunity possible sat waterway, and subsoil
constitutions on peoplote or other undersystate effects.

ummanum or persons or over understate enems.

I'de measures to prevent soil encound and discharge of soil-bearing water runoff and orine dust to undistribed alleas and to adjacent properties and walkways, according to uson-and sedimentation-control Drawings.

E. Barricades, Warning Signs, and Lights. Comply with requirements of authorities having jurisdiction for erecting structurally adequate barricades, including warning signs and light.

Provide temporary endosures for protection of construction, in progress and complete exposure, flow anather, other construction of personal flow anather, other construction operations, and similar activities. Provide weather right endosure for building actience,

A. The term "product" includes the terms "material," "equipment," "system," and terms of similar intent.

Comparable Product Requests: Submit request for consideration of each comparable product identify product or fabrication or installation method to be replaced.

-of-Design Product Specification Submittel Show correlance with requirements

Compatibility of Options: If Contractor is given option of selecting between two or more products, select product compatible with products previously selected.

Install and maintain temporary fre-protection facilities, Comply with NFPA 241,

SECTION 016000 - PRODUCT REQUIREMENTS

SECTION 015000 - TEMPORARY FACILITIES AND CONTROLS

LOT SELECTION PROCEDURES provide that comply with the Contract Documenta, are undamaged, and, unless the Indicated are new with the time of insulations. In the Indicated are new with the time of insulations, which is provided to the Indicated are not to the Indicated us and effect in the Indicated are not included to the Indicated are not included provided as a complete solutions and the Indicated us and effect sections, profit makes, and is latered, standard requirements in the Specifications and the Indicate insulations of profession.

Where the following headings are used to list products or manufacturers, the Contractor's options for product selection are as follows:

Where requirements do not sociate "one of the following," provide one of the product lated that complets with requirements or a comparable product.

 Where requirements include "one of the following." provide a product that complies
with requirements by one of the listed manufacturers. with requirements by one of the lated immufacturers.

Where requirements do not noticed "one of the following," provide a product that complete with requirements by one of the lated manufacturers or another immufacturers or another immufacturers.

Basis-of-Design Product. Provide the product named, or immufacturer or another complete product by one of the lated immufacturers.

commander product by one of the latest manufactures.

When 8 Specifications require "manufactures samples" product that complies with heart \$100 miles require "manufactures samples. Problems' devices in all to it and its whether a september product matchines.

When 8 Specifications include the physical is selected by Artistical from manufacturer's fall range or small arbitrass safetic approach that complies with requirements. Architect will select the product of the product place safetime sample in manufacturer is product the extent included both.

Review each submittal and check for coordination with other Work of the Contract and for compliance with the Contract Documents, Note corrections and field dimensions. Mark with account at them before submitted in the information. approval stamp before submitting to Archeot.

Architect will review each action submittal, make marks to indicate corrections or modifications required, will stamp each submittal with an action stamp, and will mark stamp appropriately to indicate action.

Informational Submittals: Architect will review each submittal and will not return it, or will return it if it does not comply with requirements. Architect will forward each submittal to appropriate

SECTION 017000 - EXECUTION AND CLOSEOUT REQUIREMENTS

THE TENNING THE CONTROL OF THE CONTR

and patching.

2. Operational Dements. Do not out and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational Me or safety.

safety.

3. Visual Briements. Do not out and patch construction in a manner that results in visual entitletic of cutting and patching. Do not out and patch exposed construction and antimitive control of the control of the briefing is analysed. In Activation common control of the briefing is analysed.

3. Manufacturer's installation inspructions. Obtain and maintain on-site manufacturities written recommendations and instructions for installation of products and equipment. 1.2 CLOSEOUT SUBMITTALS CLOSEOUT SUBMITTALS
 Contractor's List of Incomplete Items Initial submittal at Substantial Completion.

Commactor's task of incomplete feems: finds submitted at Final Completion.

Coperation and Maintenance Data: Submitting copies of manual.

PDF Electronic File: Assemble manual into a composte electronically indexed file.

ecord Drawings

Record Digital Data Files - Submit data (file and one set(s) of plots, second Product Data - Submit annotated PDF electronic (files and directore

SUBSTANTIAL COMPLETION PROCEDURES

Prepare a list of nems to be completed and corrected (punch list), the value of items on the list, and reasons why the Work is not complete. Submittals Prior to Substantial Completion Before requesting Substantial Completion inspection, complete the following

nspection, complete the Idowing.

Obtain and submit releases from authorities having jurisdiction permitting Owner unrestricted use of the Work and access to services and utilities. Include cooppany; permits, operating certificies, and smital release, and smital release, project record occupancy permits, operating certificies, and smital release, and smital release and smital release project record occurrents, operation and maintenance manuals; properly usivery, smital find record information, varianties, vuolentamish plonts, maintenance service agreements, final deroficiones, and within a documents.

Submit maintenance material submittals specified in other sections, including tools spare parts, extra materials, and similar items, and deliver to location designated b Architect.

Archinect.

Submit test/adjust/balance records.

Submit changeover information related to Owner's occupancy, use, operation, and maniferance.

mantenence.

Procedure Pres to Substantial Completion. Before requesting Substantial Completion impaction complete the following.

Advise Career of pending insurance changeover requirements.

Make final changeover of permanent looks and deliver keys to Owner.

Complete status part setting of options and equations.

Proform preventive mantenance on equatment used prior to Substantial Completion.

Comparies saming and estering or systems and equipment.
 Perform preview maintenance on equipment used prior to Substantial Compiletion.
 Advise Owner of changeover in heat and other vikines.
 Participate with Counter in conducting inspection and walkthrough with local emisigency responders.
 Remove temporary facilities and controls.

 Complete final cleaning requirements, including touchup painting. Touch up and otherwise repair and restore marred exposed finishes to eliminate visual defects.

visual defects. Impection Submit a written request for inspection for Substantial Completion. On receded frequest, Architect will proceed with motion or solves Contractor of necessary of request and the solution of the sol

INAL COMPLETION PROCEDURES Submittal's Prior for Ind Completion Buffer requesting inspection for determining final completion complete the following 1.5 Whath at final pathopoun for Payment.
2. Submit operation in the Payment Completion inspection list of items to be completed or control growth only an elegant of completion for all dems to be completed or control growth only an elegant of completed or children copy of the last shall state that each item has been completed or children's Confideration for last control growth only Confideration for last control growth only complying with insurance insurance control growth or complying with insurance insurance control growth or consideration of the control of Submit pest-control final inspection report.

Reinspection Request reinspection when the Work identified in previous inspections as incomplete is completed or corrected.

PART 2 - PRODUCTS MATERIALS

In-Flace Materials. Use materials for patching identical to in-place materials. For exposed surfaces, use materials that visually match in-place adjacent surfaces to the fullest extent possible.

fullest extent possible.

Channing Agents: Use dearing materials and agents recommended by manufacturer or fatherator of the surface to be cleaned. Do not use cleaning agents that are potentially hazardous to health or specing or that might damage finished surfaces. OPERATION AND MAINTENANCE DOCUMENTATION

Detectory Prepare a long, compensative discrete varieties, and manneaus read and a manneaus control of the control of the

Organize data into three-ring binders with identification on front and spine of each binder, and envelopes for folded drawings. Include the following

Emergency instructions.
 Spare parts list and local sources of maintenance materials.

 Sparle parts its data ductar sources of interviending insteriors.
 Wring diagrams.
 Copies of warranties, Include procedures to follow and required notifications for warranty claims.
 ECORD DRAWINGS RECORD CRANNINGS

Record Prints' Amarian a set of genits of the Context Drawings and Ship Drawings. Record Prints' Amarian a set of genits of the Context Drawings and Ship Drawings. Record Prints' Amarian Ship Drawings and Record Prints' Amarian Ship Drawings and Record Prints' Amarian Ship Drawings and Record Record Information in an acceptable drawing fechnique.

1. Isimut's and cast each record Content, pre-duct the designation "PRO-ECT RECORD DRAWING" in a prominent focation.

Record Digital Data Files. Immediately before inspection for Certificate of Substantial Completion, review marked-up record prints with Architect. When authorized, prepare a full set of corrected digital data files of the Contract Drawings.

EXAMINATION AND PREPARATION

Format Annotated PDF electronic file.

3.3. EAANIMATION PREPARATION.
A Existing Confinents. The existence and location of underground and other utilities and construction indicated as existing are not guaranteed. Before beginning stework, investigate and every not existence and location of underground utilities, an orbitor construction affecting the Vitary.
Before proceedings with each component of the Vivinic, examine substrates, areas, and conditions, with Institute or Applicator present where indicated for complance with requirements for institution or applicator present where indicated for complance with requirements for institution or application present where indicated for complance with requirements for institution or application present where indicated for complance with medium or an other includes directing performance. Verify compatibility with and suitability of substrates.

2. Examine roughing-in for mechanical and electrical systems. 3. Examine walls, floors, and roofs for suitable conditions. eed with installation only after unsabsfactory conditions have been corrected

D. Take field measurements as required to fit the Work property. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction field measurements before fabrication. E. Verify space requirements and dimensions of items shown diagrammatically on Drawfords 1.2 CONSTRUCTION LAYOUT AND FIELD ENGINEERING

Before proceeding to lay out the Work, verify (spoul information shown on Drawings, in relation to the property survey and existing benchmarks.
 BISTALATION
 Locate the Work and components of the Work accurately, in correct alignment and delevation, as indicated.

devasion, as indicated.

1. Make vertical work plumb and make horizontal work level.

2. Conceal pipes, ducts, and wiring in finished areas unless otherwise indicated.

3. Maritan minimum headroom dearance of 96 inches in occupied spaces and 90 inches in inocupied spaces.

 Comply with manufacturer's written instructions and recommendations. Compay wan manufactures which inspections and recommensation.
 Conduct consultation operations so no part of the Welvis is subjected to damaging operations or loading in access of that expected during normal conditions of occupancy.
 Templates: Octain and distribute to the parties involved templates for work specified to be factory prepared and field installed.

ce factory prepared and field installed.

Attachment: Provide thocking and attachment plates and anchors and fasteners of adequate size and number to securely anchor each component in place. Where size and type of attachments are not indicated, verify size and type required for load. Mounting Heights. Where mounting heights are not indicated, mount components at heights directed by Architect.

Jons Make ports of unform worth. Where joint locations in exposed work are not indicated, arrange joints for the best visual effect. Fit exposed connections together to form half ine joints. 4 CUTTING AND PATCHING A. Cutting and Patching, General' Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without

Consideration of the control of the Adjacent Occupied Areas. Where interference with use of adjoining areas or interruption of free passage to adjoining areas is unavoidable, coordinate cutting and patching with Owner and Landford.

pattering with Owner and Landerd.

F. Eusting Utility Services and Mechanical/Electrical Systems. Where existing seniores/systems are required to be removed, relocated, or abandoned, bypass such seniores/systems before cutting to prevent interruption to occupied area.

G. Cutting Out in-place construction by sawing, drilling, treaking, chipping, grinding, and

smilar operations, including excavation, using methods least likely to damage elements retained or adjoining constitution. If possible review procosed procedures with chignal Installer comply with inignal Installer's written recommendations.

In general, we hand or small power took designed for awary and grinning, not harmmeng and chopping. Out holds and ald is nearly to maintain size required and with minimum activations of adjacent surfaces. Cover decrining when not for use.

P. Emithed Surfaces Dut or orik from the exposed or finished side into concealed surfaces.

Concrete and Masonry: Out using a cutting machine, such as an abrasive saw or a diamond-core driff.

disarron-core stat.

Excrusing an Busideling. Comply with requirements in applicable Sections where required by cutting and putching operations.

Mechanical and Busideling Comply with requirements in applicable Sections where required by cutting and putching operations.

Mechanical and Busideling of the great seal remaining portion of paper or conduct to prevent entiraction of the region matter later cutting.

Proceed with patiching after constituction operations requiring outing are complete. Participally pation constitution by lifting, repairing refinishing disorage under and similar constitutions by lifting repairing individual conductions statisting participance or conscious following portionization of one-wide Pacific with quartile seasons that all each constitution by lifting repairing with introduction states that are as specified in other Sections, where applicable.

specified in other Sections, where applicable.

Insection Vitner Feasible test and inspect patched areas after consistent to demonstrate pulsar integrity of installation patched areas and extend finish retoration in the process of the patch and properties of the process of the patch and properties of the process of the patch and patch

somere uniform color and appearance.

Cellops Plach (repeat cer inhange implace cellings as necessary to provide an ever-ifame surface of uniform appearance.

Extende Buking Endosure Placht components in a manner that restores enclosure to a weathertight condition and ensures thermal and moisture integrity of building enclosure. Cleaning Clean areas and spaces where cutting and patching are performed. Remove paint, mortar, oils, putty, and similar materials from adjacent finished surfaces.

pand, mortar ols purly, and similar materials from adjacent finished surfaces,

3. CLEANING

A. Clean Project set and work areas daily, including common areas. Dispose of materials taxfully,

1. Where dust would impast proper execution of the Work, broom-clean or vacoum the entire work erea, as appropriate.

2. Remove debris from concealed spaces before endosing the space.

B. Complete the Coloring deaning operations before requesting inspection for certification of Substantial Completion.

Clean Project site, yard, and grounds, in areas disturbed by construction activities, Sweep paved areas, remove stains, spills, and foreign deposits. Rake grounds that are neither planted nor paved to a smooth, even-textured surface.

2. Sweep paved areas broom clean. Remove spills, stains, and other foreign

emove labels that are not permanent.

Vacuum carceted surfaces and wax resident flooring.

Non-live issues visit are not permanent.
 Clean transpent materials including mirrors. Remove excess glazing compounds.
 Clean transpend finishes to a dust-free condoon, free of stains, films, and foreign substances. Sweep concrete Boots broom clean.

Wipe surfaces of mechanical and electrical equipment. Remove excess lubrication and foreign substances. Clean jumbing fixtures. Clean light futures, lamps globes, and reflectors.

and foreign substances. Clean plumbing florines. Clean joint finitures, lamps globes, and reflectors,

8. Relacted disposable at fifter and clean permanent at fibers. Clean exposed surfaces of dischuser, registers, and grids,

8. OPERATION AND MAINTENANCE MANUAL PREPARATION.

9. OPERATION AND MAINTENANCE MANUAL PREPARATION.

9. OPERATION AND MAINTENANCE MANUAL PREPARATION and and an administrance data indicating operation and manuferiance of each system, subsystem.

8. Medications of the manuferiance of manual scheme is flanded printed data, included only sheets pertinent to product or component most labels. Make the exist of the control of the manuferiance of the control of manuferiance of the manuferiance of the control of of the control

WEISS



REPLACEMENT CART BARN



PRESTWICK COUNTRY CLUB

01 PRESTWICK DR. FRANKFURT, IL 6042

10-6-2023 ISSUED FOR BID & PERMIT

GENERAL REQUIREMENTS

A0.2

. • ...

SECTION 024116 - STRUCTURE DEMOLITION Removing below-grade construction Disconnecting, capping or sealing and abandoning in-place Salvaging items for reuse by Owner. MATERIALS COMMERSHIP Christs otherwise indicated, demotion waste becomes properly FIELD CONDITIONS

2.2 CONCRETE MATERIALS

CURING MATERIALS

Minimum Compr

TOLERANCES

A. Comply with ACI 117,

INSTALLATION OF EMBEDDED ITEMS

Admixtures: Use admixtures in accordan CONCRETE MIXTURE CLASS TYPES Class A: Normal-weight concrete used for

Maximum w/cm Ratio 0,55.

Porland Cement, ASTM C150/C150M, Type II, gray,

Pozzolans ASTM C618, Class C. F. or N 3. Slag Cement: ASTM C989/C989M, Grade 100 or 120,

1. Ground Glass Pozzolan: ASTM C1856/C1856M. Type GS or GE.

Norma-Weight Aggregates

Coarse Aggregate ASTM C33/C33M,

Maximum Coarse-Aggregate Size 1-1/2 inches not
Fine Aggregate ASTM C33/C33M.

coloride.

1. Water-Reducing Administre ASTM CASA-CASAM. Type A.

1. Water-Reducing Administre ASTM CASA-CASAM. Type B.

3. Water-Reducing and-Restating Administre ASTM CASA-CASAM. Type D.

1. High-Range Water-Reducing Administre ASTM CASA-CASAM. Type F.

1. High-Range Water-Reducing Administre ASTM CASA-CASAM. Type D.

1. High-Range Water-Reducing and -Returning Administre ASTM CASA-CASAM. Type G.

1. High-Range Water-Reducing and -Returning Administre ASTM CASA-CASAM.

Type Us.
 Admixtures with special properties, with documentation of claimed performance on honormaph. ASTM C404C404M. Type S.

winancement, Acid MCARACERMM, Type S.
Moung Water for Concrete Mutures and Water Used to Make Ice:
ASTM C1802/C1802/M, Include documentation of compliance with limits for alkals,
sulfates, criticales, or solds content of moving water from Table 2 in
ASTM C1802/C1802/M.

Clear, Waterborne, Membrane-Forming, Dissipating Curing Compound. ASTM C309, Type 1. Class B.

ACCESSORIES
Expansion- and Isolation-Joint-Filer Strips. ASTM D1751: asphalk-saturated cellulosi fiber or ASTM D1752, cork or seth-expanding cork.
CONCRETE MIXTURE MATERIALS

Prepare design matures for each type and strength of concrete, proportioned on the basis of laboratory trial mixture or field test data, or both, in accordance with ACI 301

Use a qualified testing agency for preparing and reporting proposed mixture designs, based on faboratory trial mixtures.

e Strength 4000 psi at 28 days.

Do not use an air-entraining admorture or allow total air content to exceed 3 percent for concrete used in trovel-finished floors.

A. Ready-Mixed Concrete: Measure, batch, mix, and deliver concrete in accordance with ASTM C94/C94M and former delivers to the concrete in accordance with

A. Before placing concrete, verify that installation of concrete forms, accessories, reinforcement, and embedded items is complete and that required inspections have been performed.

Place and secure anchorage devices and other embedded items required for adjoining Work that is attached to or supported by cast-in-place concrete.
 INSTALLATION OF VAPOR RETARDERS

RESTALLAR FOUL OF VEHICLE RESTAURCH SET APPEAR SHEET VARIOUS RESTAURCH RESTAURCH

Water addition in transit or at the Project site must be in accordance with ASTM C94/C94M and must not exceed the permitted amount indicated on the concr

Deposit concrete continuously in one tayer or in horizontal layers of such thickness the no new concrete is placed on concrete that has hardened enough to cause seams or planes of weakness.

concrete directops random cracks. Altaino Junis in Stabbos-Chrouna After removing formwork; install joint-lifer stripp at 30 junctions with vertical surfaces, such as column necessitals foundation walls, grad-ame, and other bloodisms, as indicated. Extend joint-lifer strips in MI worth and depth of joint, terminating flush with finished concrete surface unless ormerwise indicated on Drawmags.

Install joint-filler strips in lengths as long as practicable. Where more than one length is required, lace or objections together,

owered Justics.

Install downliners and support assemblies at prints where princated on Firstein

Lubricate or asphalt cost one-half of dowel bar fength to prevent concret to one side of joint.

APPLICATION OF FINISHING FLOORS AND SLABS

Notify Architect and testing and inspection agencies 24 hours prior to comment of concrete placement.

Do not proceed until unsabsfactory conditions have been corrected.

A. Water: Potable water that does not cause staining of the surface,

Exposure Class ACI 318 Class F1 Class S1 Class W1

B. Class C: Normal-weight concrete used for interior slabs-on-ground

L. Erposure Class: ACI 318 Class F1 Class S1 Class W1 Class C1.

Minimum Compressive Strength 4000 psi at 28 days.

Maximum width Ratio 0.55.

Air Content:

ADMIXTURES
Air-Entraining Admixture ASTM C260/C260M,
Chemical Admixtures: Do not use calcium chlorid

Buildings to be demolished will be vacated and their use discontinued before at the Work. Buildings immediately adjacent to demolstion area will be occupied. Conduct building demolston so operations of occupied buildings will not be disrupted.

ummanous on operandes of occupied buildings will not be disrupted.

Conditions existing at time of inspection for bidsing purpose will be maintained by Owner as far as practical.

D. Hazardous Matenals. It is not expected that hazardous matenals will be encountered the Work.

the Visic.

I. If maternals suspected of containing hazardous materials are encountered, do not catch, immediately notify Architect and Owner. Hazardous materials will be Consist strategy or safe of removed known or particular or particular

PART 2 - PRODUCTS
2.1 PERFORMANCE REQUIREMENTS

A. Regulatory Requirements: Comply with governing EPA notification regulations befoleginning demolstion, Comply with hausing and disposal regulations of authorities.

Standards: Comply with ANSI/ASSP A10.6 and NFPA 241. SCIL MATERIALS story Soils: Comply with requirements in Section 312000 "Earth Moving."

A. Verify that utilities have been disconnected and capped before starting demolitor

 Perform an engineering survey of condition of building to determine whether removing any element might result in structural deficiency or unpfanned collapse of any portion structure or adjacent structures during building demolition operations. Inventory and record the condition of items to be removed and salvaged.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

A. Existing Utilities to Be Disconnected Locate, identify, disconnect, and seal or cap of utilities serving buildings and structures to be demolished.
 Arrange to shut off utilities with utility companies.

Arrange be sint of tradities with vally companies.
 I fermouse if redoods nor earnorment of valley services will affect adjacent occupied buildings. Then provide temporary vallets that bypass buildings and structures to be demolated and that marriant continuty of service to other buildings and structures.
 Cut off piece or conduct a minimum of 24 inches below grade. Cap valve, or plug and said remaining portion of pipe or conduct affer bypassing according to requirements of advantises laveling immediation.
 De not start demoldon work until vallety disconnecting and sealing have been consisted and worked an wireing.

 Existing Facilities Protect adjacent walkways loading docks, building entries, and othe building facilities during demolion operations. Maintain exits from existing buildings. Temporary Shoring Provide and maintain interior and exterior shoring, bracing, or structural support to preserve stability and prevent unexpected movement or collaps of construction before developed.

or construction being demonstrate.

Ensing Utilities to Remain. Mentain utility services to remain and protect from damage during demolston operations. Do not interrupt existing utilities serving adjacent occupied or operating facilities unless authorized in writing by Owner and authorities having jurisdiction.

naving jurisdiction.

Temporary Protection: Erect temporary protection, such as walks, tences rakings canopies, and covered pastageways, where required by suthorities having jurisdia and as indicated. Comply with requirements in Section 015000 "Temporary Facility and Controls." Protect adjacent buildings and facilities from damage due to demolition activitie

Protect existing site improvements, appurtenances, and landscaping to remain.
 Erect a plainly visible fence around drip line of individual trees or around perim drip line of groups of trees to remain.

up pare of piouse in the process of remain.

Provide temporary barnicates and other protection required to prevent injury to people and damage to adjacent butlangs and floatines to remain.

Provide protection to ensure safe passage of people around building demolition area and to and from occupied portions of adjacent butlangs and structures.

Protect walks, windows, roofs, and other adjacent exterior construction that are to remain and that are exposed to building demolstion operations.

Erect and maintain dustproof partitions and temporary enclosures to noise, and dirt migration to occupied portions of adjacent buildings.

none, and crit migration to occupied portions of adjacent buildings.

Remote temporary trainers and protections where hazards an longer eart, Where open excavations or other hazardous conditions remain, leave temporary barriers and protections in Health of the Commission of the Health of the Commission of the Health of the Commission of the Health of

L. Locate building dend for equipment and remove debris and materials os a sont to impose excessive basis on supporting wals floors, or framing. See Access and free free properties on the supporting wals floors or framing. See Access and free free properties for the formation of the free free free floors of the free free free floors. See Access and formation to ensure minimum interference with noads, streets, walkin, walkways, and other adjusted to compared and used facilities.

The indipotent occupied and used reclaims.

Do not close or obstruct streets, walks, walkways, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction. Provide alternate routes around closed or obstructed trafficways if required by Use water mist and other suitable methods to limit spread of dust and dirt. Compliants governing environmental-protection recordations.

C. Explosives Use of explosives is not permitted. Proceed with demoktron of structural framing members systematically, from higher to lower level.

tower level.

Demoksh foundation walls and other below-grade construction that are within footpain of new construction and extending 5 feet outside footpain indicated for new construction.

Existing Utilities. Abandon existing utilities and below-grade unity structures that are within 3 feet outside flootpoint indicated for new construction, Abandon utilities outside fits area.

Below-Grade Areas: Completely fill below-grade areas and voids resulting from building demolition operations with satisfactory soil materials according to backfill requirements.

m section of LVVU Earth Moving."

Note Grading, Uniformly rough grade area of demolished construction to a smooth surface, free from irregular surface changes, Provide a smooth transition between adjacent existing grades and new grades. Promptly repair damage to adjacent buildings caused by demoktion operations

Do not burn demolished materials.
 Clean adjocent structures and improvements of dust, dist, and debris caused by building demolishing operations. Return adjacent areas to condition existing before building.

Outry materials.
 Accessione.
 Accessione.
 Repair materials.
 Concrete moture materials.
 Concrete moture dass types.
 Concrete moture dass types.
 Retained Requirements.
 Section 312000 "Birth Moving" for drainage fill under dabb-on-ground.
 Section 312000 "Birth Moving" for concrete pavement and walks.

A. Product data.

B. Design Mixtures: For each concrete mixture, include the following:

Compressive strength at 28 days or other age as specified.

Maximum w/cm ratio.

PART 1 - GENERAL 1.1 SUMMARY A. Section Includes:

Concrete standard

2. Concrete materials

5. Curing materials

ACTION SUBMITTALS

Mixture identification.

PART 2 - PRODUCTS

Slump or slump flow limit

Repeat float passes and restraightening until surface is left with a uniform, smooth granular texture and compley with ACI 117 tolerances for companional compley. END OF SECTION 024116

After applying float finish, apply first trowelling and consolidate concrete by hand or power-driven trowel. Continue broweling passes and restraighten until surface is free of trowel marks and uniform in feature and appearance.

Grind smooth any surface defects that would telegraph through applied coatings of fone coverings. Do not add water to concrete surface. Use of an approved finishing aid is acceptable.

 Do not apply troweled finish to concrete, which has a total air content greater than Finish surfaces to the following tolerances, in accordance with ASTM £1155, for a randomly trafficked floor surface.

randomly stafficient floor europea.

a. Slates on Ground

1) In all areas of floors except as indicated below specified overall values of
flatness, F, 25 and of leveletes, F, 20 with minimum flools values of
flatness, F, 17, and of leveletes, F, 20, with minimum flools values of
flatness, F, 10, and of leveletes, F, 25 with minimum flools values of
flatness, F, 45 and of leveletes, F, 25 with minimum flools values of
flatness, F, 20, and of leveletes, F, 25 with minimum flools values of
Troval and Fine-Biocom Finals. Fast apply a tower floor look floor, but one of the
flatness of floors of the flatness of the floors of the f

Coordinate required final finish with Architect before application.

Coordinate requires that mass wan Architect before appealable.
 Compty with flatness and leveliness tolerances for trowel-finished floor surfaces.
 APPLICATION OF CONCRETE CURING
 Protect freshty placed concrete from premature drying and excessive cold or hot

Comply with ACI 301 for cold weather protection during curing. Comply with ACI 301 and ACI 305,1 for hot-weather protection during curing B. Curing Unformed Surfaces: Comply with ACI 308,1 as follows.

Begin curing after finishing concrete. a, Floors To Receive Curing Compound

A. Holos is o Preceive Quing Compound
1) Apply withority in continuous operation by power spray or roder in accordance with manufacturer's written instructions.
2) Recost areas subjected to heavy rainfall within three hours after initial application.
3) Martian continuity of coating, and repair damage during curing period.
FALLATION OF CONCRETE SURFACE REPAIRS

Repair and patch defective areas when approved by Architect,

Remove and replace concrete that cannot be repaired and patched specification requirements.

Repairing Unformed Surfaces:

Correct low and high areas.
 Test surfaces sloped to drain for trueness of slope and smoo sloped template.

Repair finished surfaces containing surface defects, including spalls, popouts, honeycombs, rock pockets, crazing, and cracks in excess of 0.01 inch wide or that penetrate to reinforcement or completely through unreinforced sections regardless. rete has cured at least 14 days, correct high areas by prin-

A. Correct boased allowed a roads in usays, correct right areas by growing.
 Correct boased allow areas during or immediately after completing surface-finishing operations by adding patching mortar.
 Finish begand careas to blend into adjacent concrete.
 Repair materials and installation not specified above may be used, subject to Architect's approval.

3 10 FIELD QUALITY CONTROL FIELD LOWERT CONTROL. Special Inspections. Owner will engage a special inspector to perform field tests and inspections and prepare festing and inspection reports. Testing Agency. Owner will engage a qualified testing and inspecting apency to perform tests and inspections and to submit reports.

rform tests and inspections and to submit reports.

Testing agency to be responsible for providing curing facility for initial curing of strength lest specimens on-side and verifying that test specimens are cured in accordance with standard curing requirements in ASTM C31/C31M.

Testing agency to immediately report to Architect, Contractor, and concrete manufacturer any failure of Work to comply with Contract Documents.

C. Delivery Tickets: Comply with ASTM C94/C94M. Concrete Tests: Testing of composite samples of fresh concrete obtained in accordance with ASTMIC 172/C 172M to be performed in accordance with the following the control of the control o

 Testing Frequency Obtain one composite sample for each day's pour of each concrete mixture exceeding 5 cu, yd., but less than 25 cu, yd., plus one set for additional 150 cu, yd., or fraction thereof. pages 150 cu, yd, or fraction thereof.

When frequency of testing provides fewer than five compressive-st for each concrete mixture, testing is to be conducted from at least fiselected batches or from each batch if fewer than five are used.

Slump ASTM C143/C143M
 One test at point of delivery for each composite sample, but not less than one test for each day's pour of each concrete muture.

b. Perform additional tests as needed. ir Content: ASTM C231/C231M pressure method for normal-weight con a. One test for each composite sample when strength test specimens are cast, but not less than one test for each day's pour of each concrete mixture.

Concrete Temperature: ASTM C1094C1094M

3. Che lest hould when air temperature is 40 deg F and below or 80 deg F and above and one test for each composite sample when strength test specimens are cast.

Concrete Density ASTM C138/C138M One test for each composite sample when strength test specimens are cast temperature. ASTM C31/C31M:

C dat and standard cure two sets of three 5 inches by 12-inches or 4-inch by 6-inch only difficult specimens for each composet earnigh. Compressive-Shergin Tests: ASTM cr35CS9M.

Test one set of three standard cured specimens at seven days and one set two specimens at 28 days.

A compressive-strength test to be the average compressive strength from a sel of two specimens obtained from same composite sample and tested at one

enclasted.

Strength of each concrete marker will be suited story of every severage of any prive connection or complexity of every severage of any prive connection complexity extension that of standard over cylinders equals or exceeds specified compressive strength and no compressive-strength that value falls below specified compressive strength by more than 500 paid specified compressive strength in 500 paid or compressive entering this south of the strength and stren

Additional testing and inspecting, at Contractor's expense, will be performed to determine compliance of replaced or additional work with specified requirement Correct deficiencies in the Work that test reports and inspections indicated on into comply with the Contract Documents.

Measure floor and slab flatness and levelness in accordance with ASTM E1155 with 48 hours of completion of floor finishing and promptly report test results to Architect.

no new concrete as passed no concrete entire activation of the concrete as passed no construction points until passement of a panel or section is complete, within Instea of construction points until passement of a panel or section is complete. Construct points for the Tennic points of the Construction points are to the concrete as passed not as passed not passed not be passed not as passed not passed not passed not passed not be passed not passed 3. Golf cart charger shelf supports.

Product Data: For the following

ABBICATION GENERAL

teel Fibe, ASTM AS3/AS3M, Standard Weight (Schedi novement.

Storted Channel Framing: Cold-formed metal box channels (struts) complying with MFMA-4.

Size of Channels: As indicated.

Size of Channels: As indicated,
Material Galanoid sets ASTIA ASSUA(25M, commercial steel: Type B, with
G90 costing, 0.109-inch momal thickness.
SISTEMERS
eneral Lintess chemiste indicated provide Type 9.04 stankess steel fasteners for
eneral Lintess coherouse indicated provide Type 9.04 stankess steel fasteners for
SITM F194/F194/M. Class Fe/Zn 6, at extener walks. Select fasteners for type grad
disast required.

Material for Interior Locations: Carbon-steel components zinc plated to comply with ASTM B633 or ASTM F1941/F1941M, Class Fe/Zn 5, unless otherwise indicated,

Material for Exterior Locations and Where Stairless Steel is Indicated Alloy Group 1 stairless steel bolts, ASTM F593, and nots, ASTM F594, SCELL ASSERTING MATERIAL S. MISCELLANECUS MATERIALS

Universal Shop Primer: Past-truing, lead- and chromate-free, universal modified-alky primer complying with MPIBT9 and compatible with topcoat.

primer complying with MPIB's and compatible with opposet.

I. Use primer that contains primer that make it easy, distinguishable from zon-rich primer.

Simminge-Resistant Grout: Factory-paological innometable, monitaring, noncorriosive interpretation grout complying with ASTM CT 1077-1107M. Provide grout beneficially with a complete c

4. ARRICATION CENERAL A. Shop Assembly Preasemble items in the shop to greatest extent possible. Disassemble winks only as necessary for shoping and handing limitations. Use connections that marinan souturist unless of private pieces. Clearly mark units for reassembly and coordinated installation.
B. Cut if all any plann health clearly and socurately. Remove burns and ease edges to a radius of approximately 1/12 inch writes otherwise indicated, Plemove sharp or rough areas on exposed surfaces.

otherwise impairing work.

Form exposed work with accurate angles and surfaces and straight edges. Veld corners and seams continuously to comply with the following:

Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.

Remove welding flux immediately. • Retrieve vessing ular institutionary, ... At exposed connections, finals exposed welds and surfaces smooth and blended so no roughness shows after finishing, own exposed connections with hardne joints, flush and smooth, using concealed assenses or welds where posseds. Where exposed fasteners are required, use Philips advised to welds where lossed through fasteners underso otherwise indicated, Locate joints where least content is produced, Locate joints where least the produced of the G. Fabricate seams and other connections that are exposed to weather in a manner to exclude water. Provide weep heles where water may accumulate, 2.5 MISCELLANGUS FRAMING AND SUPPORTS
A. General Provide steel framing and supports not specified in other Sections as neede to complete the MoVK.

Fabricate units from steel shapes plates, and bars of welded construction unless
 otherwise indicated Fabricate to sizes, shapes, and profiles indicated and as

Littles otherwise oraclis. IMM Littless otherwise enclosed, fabricate units from said chapes, glates and bars of profes shown with continuously welded joints and smooth exposed edges. Mear corners and use concessed refet sigless where posseds. Provise cutous, fillings, and annovarges as needed to coordinate assembly and necessations with other work.

Provide with integrally welded steel strap anchors for embedding in concrete or masoning construction.

METAL BOLLAROS cate metal bollards from Schedule 80 steel cope Prime steel bollards with zinc-rich prime GENERAL FINISH REQUIREMENTS Finish metal fabrications after assembly

.9 STEEL AND IRON FINISHES 4. Galvanizing Hot-dip galvanize items as indicated to comply with ASTM A153/A153M for steel and iron hardware and with ASTM A123/A123M for other steel and iron products.
B. Shop prime iron and steel items not indicated to be galvanized unless they are to be ambedded in concrete convection freezroofing or masonry, or unless otherwise.

Shop Priming: Apply shop primer to comply with SSPC-PA 1, "Paint Application
 Specification No. 1: Shop Field and Maintenance Painting of Steel," for shop or

PART 3 - EXECUTION
2.1 INSTALLATION GENERAL

1 INSTALLATION GENERAL.

Octural, Primary and Placement Perform outing, ording, and fixing required for installing medial behoestors. Set metal biolocations accounted in blocation, adjoined medial behoestors, Set metal biolocations accounted in blocation, adjoined metalling medial behoestors. In part Set of fixed, and measured from established lines and levels.

By the prospect connections accurately together to form hardney joints. Vivide connections had an entitle be left as exposed joint but cannot be sharp wided behavior and that are not to be left as exposed joint but cannot be sharp wided behavior to the proposition of the

receipt garanteed united interfaces and are to obtact or scenered rest contentions. Fastering to In-Place Construction: Provide anchorage devices and fasteners were metal fabrications are required to be fastened to in-place construction. Provide threaded fasteners for use with concrete and maximity inserts, toggle bots, through bots. Is go screen, wood screen, and other connected to the content of the conte

Provide temporary bracing or anchors in formwork for dems that are to be bulk into concrete, masonly, or similar constitution of the superior of the superior

Anchor supports for securely to, and rigidly brace from, building structure, INSTALLATION OF METAL BOLLARDS

Institution for my might buckerful
Another bladfast in concrete in formed of core-dilled hides not less than 42 inches det
and 34 nich larger than 0.0 of bladfast. Far annular space alround beland solely with
stanklage-resulting grout, meet and placed to compty, with grout manufacturer's wind
stanklage-resulting grout purpose and the control beland.

The ballaries showly with concrete manufact place with only of the district or shed water,

Journally - amony Immediately after erection, clean field welds, bofted connections, and abraded areas, Paint uncoated and abraded areas with same material as used for shap painting to comply with SSPC-PA 1 for fouring up shep-painted surfaces, subvanzed Surfaces Clean field welds, bofted connections, and abraded areas and pair galvanizing to comply with ASPA APSA/PATON.

END OF SECTION 055000

SECTION 061000 - ROUGH CARPENTRY

PART 2 - PRODUCTS
2.1 WOOD PRODUCTS GENERAL VOLUM PROJECTS, SEPREMIT, AND PROJECTS AN

laximum Moisture Content:
. Boards: 15 percent,
. Dimension Lumber: 19 percent unless otherservative TREATMENT.

Preservative Treatment by Pressure Process AWPA U1, Use Category UC2 for Inter-construction not in contact with ground. Use Category UC3b for extensi construction not in contact with ground, and Use Category UC4a for items in contact with ground. Preservative Chemicals: Acceptable to authorities having jurisdiction and conduction or chromium.

no assente of chromatm.

K4n-day fumber after treatment to a maximum mosture content of 19 percent. Do not use material that is warped or that does not comptly with requirements for untreated material. Mark lumber with treatment quality mark of an inspection agency approved by the ALSC Board of Review.

Application: Treat items indicated on Drawings, and the following Wood cants, nafers, curbs, equipment support bases, blocking, stripping, and similar members in connection with roofing, flashing, vapor barriers, and waterproofing.
Wood silts, steepers, blocking, and similar concealed members in contact will

3. Wood floor plates that are installed over concrete slabs-on-grade

3 FIRE-EFEARCHAIT-TREATMENT A. General Where Pre-recardinal-treated maternals are indicated, maternals are to comply with requirements in this anotals, that are acceptable to authorities having jurisdiction and with fere-feresceptione characterious specified as determined by testing injectical products per test method indicated by a qualified testing agency.
5. Fie-Refactandarin-treated Lumber and Physicod by Pressure Process Products with a flamo-spread index of 25 or less when tested according to ASTM EBA, and with no endence of significant progressive combustion when the sist is extended an additional 20 minutes, and with the flame front not extending mote than 10.5 feet beyond the contribite of the futures at any river dump tile test.

confeding of the burners at any time during the fest.

Enterior Type Treated materials are to comptly with requirements specified above for fixer-teard materials are to comptly with requirements specified above for fixer-teard materials are to physicistic specified to the specified variable of the property of the pro

Jen's free-restadant-reated wood with appropriate classification marking of qualified testing agency.

Application: Treat rems indicated on Drawings, and the following:

NSION LUMBER FRAMI All interior framing and lumber. Construction or No. 2 grade.

Application: All interior partitions, Southern pine or mixed southern pine, SPIB, Northern species INCA
 Eastern softwoods NEUMA
 Eastern softwoods NEUMA
 Western woods WCUB or WMPA
 PLYWOOD BACKING PANELS
 ROOMER SACRO or in 60 of modicale, not less than 3/4-och nominal thickness,

Shelves on sted channel supports Physical DC PS 1, Extenor, A-C, fire-retardant treated, in bulkness indicated or, if not indicated, not less than 3/4-inch nominal thickness, X-X face on bottom, facing down, PLYWOOD CART CHARGER SHELVING

FASTERERS

A General Fasteners are to be of size and type indicated and comply with requirement specified in this strated from natival and manufacture. Provide natios is stress, in sufficient length, is peneture not less than 1-12 inches into wood substrate.

1, Where rough carpetery is exposed to weather, in ground contact, in pressure-presentative treated, or in area of high relative humidity, provide fastener of type 304 stantess stress.

 Power-Driven Fasteners: Fastener systems with an evaluation report acceptable to authorities having jurisdiction, based on ICC-ES AC70. Post-Installed Anchors: Fastener systems with an evaluation report acceptable to authorities having paradiction, based on KCC-FS ACO1 KCC-FS AC65 KCC-FS AC193

or ICC-ES AC308 as appropriate for the substrate,

METAL FRAMING ANCHORS

Galvanized-Steel Sheet Hot-dip, zm-coated steel sheet complying with
ASTM AC33AC53M-G300 coating designation.

Use for interior locations unless otherwise indicated,

Framing Standard: Comply with AF&PA's WCD 1, "Details for Conventional Wood.

Frame Construction, "unless otherwise indicated.

Framing with Engineered Wood Prototas Install engineered wood products to comply
with manufacturer's written instructions.

Set wors for experied levels and lines, with members plumb true to line, cut, and fitted.

Fit rough carperity accurately to other construction, Locate furing in laters. Biocong,
and surface reports to comply with requirements for accurancy other construction.

I Install metal framing anchors to comply with manufacturer's written instructions, Install
fasteres to through each Tasteren fortune.

E. Do not splice structural members between supports unless otherwise indicated. Comply with AWPA M4 for applying field treatment to cut surfaces of

preservative-treated number.

S. Securely attach rough carpentry work to substrate by anchoring and fastening as indicated, complying with the following:

1. Table 2304.9.1, "Fastening Schedule." in ICCs International Building Code (IBC).

SECTION 073136 - SYNTHETIC SHAKE SHINGLES

PART 3 - EXECUTION

 Synthetic shake shingles underlayment, flashings fasteners, and a 2 REFERENCES
 A American Society for Testing and Materials (ASTM) (www.astm.org)
 D226D226M-Standard Specification for Asphalf-Saturated Organi Roding and Waterproofing.

2. D1916/031981 M.- Standard Text Method for Wind-Resistance of Asphalt Shingles (Fand-hadroed Method).

3. D1916/D31981 M.- Standard Specification for Asphalt Shingles Made from Glass Felt and Surface with Mineral Granders.

4. E108.- Standard Text Methods for Fire Tests of Roof Coverngs.

5. G21 - Standard Text Methods for Fire Tests of Roof Coverngs.

5. G21 - Standard Text Methods for Fire Tests of Roof Coverngs.

6. G21 - Standard Text Methods for Fire Tests of Roof Coverngs.

stories (UL) (www.uLcom) 790 - Standard for Standard Test Methods for Fire Tests of Roof Coverings. 2. 2218 - Standard for Impact Resistance of Prepared Roof Covering Materials.
 International Code Council (ICC) (www.rccsafe.org) - ES Acceptance Criteria AC07 Section 4.9.

won Submittals:

Shop Crawings: Show shingle layout, method of attachment, flashings, frim, conditions at caves, intersections with adjacent materials, and other installable details. Product Data, Manufacturer's data sheets on each product including a. Shingles, underlayment, flashings, fasteners, and access

 Indicate composition, properties, and dimensions.
 Show compliance with specified requirements. Preparation instructions and recommendations.
 Storage and handling requirements and recomme
 Installation methods.

Samples.
a. Selection Samples. Two sets of color chyps representing manufac-range of available colors and surface textures. Verification Samples: After selection, submit two samples representing actual product color and texture.

of Submittels: Provide 150 source fact of avtra shandas Installer Qualifications: Minimum 3 years experience in work of this Section Provide mockup of shingles, underlayment, and related flashings.

, Size: Minimum 8 x 8 feet, Locate where directed,
 Approved mockup may remain as part of the Work,
 DELIVERY, STORAGE AND HANDLING

Outcomers, a convenience and a revolutions.

1. Collate in sequence of worths and colors as required for selected order bland.

2. Assemble bundles so that sommy all po site in not required.

B. Deliver shingles to site in manufacturer's unopened, labeled bundles,

1. Verify quantities and condition upon delivery.

2. Remove damaged products from site.

Store products in protected environment, off ground, protected consulution activities.

Store stingles flat, Do not store on site for prolonged period.

Store products at temperature between 40 and 120 degrees F (4 degree dances C).

Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of authorities having jurisdiction.

 Do not install products under environmental conditions outside manufacturer's absolute limite. WARRANTIES
Furnish manufacturer's 50 years warranty against breakage and det in feaks under normal weather and use conditions.

Furnish installer's 2 years total roof system warranty against water penetration including underlayment, flashings, trim, and other roof components.

Acceptable Manufacturer: DaVinci Roofscapes, LLC, 800-DAVINCI, www.davinciroofscapes.com. bstitutions. Not permitted

Roof system: Manufactured synthetic shingles attached to structural subs-form weather tight roof envelope with no measurable water penetration, Method of attachments designed to adequately resist wind uplift for roof configuration and Project location.

Meet minimum uplift resistance of 93 PSF with 2.1 safety factor in accordance wit TAS 12.5.

TAS 12.5.

 Description: Lightweight, synthetic shake shingles with appearance, color, texture, and thickness of natural wood shakes. Product: Multi-Width Shake by DaVino Roofscapes, LLC.

2. Pricador Must-Worth Shake by Dawton Rodoscapes LLC. Memal Engineed ophyme formation from 100 percent virgin plastic resuns, recipiled institution and accordance, recorded meternation and accordance, and provided institution of the provided provided

Water absorption: 0,18 percent by weight, tested to ASTM D471.

Impact resistance: Class 4, tested to UL 2218, Nail pull through resistance: 138 foot-pounds at 72 degree F (187 joules at 22 degrees C) and 165 foot-pounds at 32 degrees F (225 joules at 0 degrees C), tested to ASTM D3462/D3462M.

sessed to ASTM LD46/2014/09/2014.

FreeZe-thair versionize No crazing, cracking, delamination of costing, or other deleterous surface changes after one month exposure with temperature cycled from minus 40 to just 180 degrees F () degrees LOS (2 degrees C) in 22 hours, tested to ICC ES Acceptance Criteria ACOT Section 4.9.

Accelerate westherming Libe change after 2 50 hours exposure to ultraviolet radiation, elevated temperature, mostore, and termal shock. g. Fungus resistance. No algae growth when inoculated with blue green algae is warm, damp environment for 4 to 6 weeks, tested to ASTM G21.

nstaßed weight. L 9 inch (229 mm) exposure: 342 pounds per 100 square feet (16,5 kg/sq. m).

Profile:

a. Rectangular shape with exposed-to-view upper surface and edges textured to resemble natural wood shake,

b. Underside formed with reinforcing ribs. Thickness: Varies from 1/4 inch (6 mm) at top to 5/8 inch (16 mm) at bottom

 Incidence V varies (film 7 via inch (or min) at top to 2 via von (1 to min) at cotton.
 Length 22 (rather (556 min.) - 8 and 9 shortes (1) 552, 179, 033, and 229
 Vizon. Variable width of 4 6 7 8 and 9 shortes (1) 552, 179, 033, and 229
 Sarrier shaped 2 varieties (056 min) por 3 v 2 profess (206 min) wide.
 Massings Form shringles with markings on upper surface to incident railing locations and profess of different to procedule railings (1) to could be and only of the country of the varieties of the country o Multiple colors comparable to natural wood shakes b. Color to match existing shingles at adjacent Clubhouse building.

. Provide internal ultraviolet stabilizers.

a. Provide shingles factory blended in multiple colors and widths,
 b. Blend. To match existing pattern of shingles at adjacent Clubho

WEISS Underlayment: ASTM D226/D226M, Type II, No. 30 non-perforated saturated aspiralt

Waterproof Sheet Membrane: Cold applied, self-adhering waterproof membrane composed of polyethylene film coated one side with rubbenzed asphalt adhesive.

Jashing

- Reprinted from sheet to profiles and dimensions indicated on Drawings and approved Shop Drawings.

- Material 16 ounce copper or 24 ounce standers steel.

- Linear components. Form in longest possable lengths, 8 feet (2.5 m) minimum.

Linear components in time is intogest possible sengurs, a see (2.0 m) minimum. Counterflashings Extend minimum 4 inches (102 mm) up vertical surfaces and minimum 4 inches (102 mm) under shingles. Valley flashings. Minimum 24 inches (610 mm) wide, extending minimum 10 inches (254 mm) from valley center line.

Verify that roof is complete, rigid, and braced, and that deck members are securely

Underlayment/Slip Sheet. Install one pty asphalt telt over full root area, with ends weather lapped minimum 4 inches (102 mm). Nall in place with rooting hails spaced in

Install drip edge on eaves, gable ends, and metal flashings at valleys, ridges, hips, roof curbs, penetrations, and intersections with vertical surfaces.

Weather lap joints minimum 2 inches (52 mm) and seal with sealant as specified in Section 07 92 00,

Accurately lay out shingles. Ensure that edges are parallel and perpendicular to roof eaves. Lay out work to ayout custom shingles.

eaves. Lay out work to avoid outing shingles.

A gastles and ventral interactions, any combination of shingle widths and spacing of shingles.

If cutting is retruited place shingle so that out edge is not exposed.

3. Use croader saw or straight edge and utility linkle if cuts are necessities.

It cutting is not compared to the compared spice from latenty assembled bundles.

Exposure Install shingles in staggered pattern with sinches (229 mm) apposure and toottom edges of adaption throughts staggered to that (25 mm).

Spacing Provide 3/16 to 3/8 inch (4.76 to 9.5 mm) gap between shingles.
 Stagger shingle joints in one course minimum 1-1/2 inches (28 mm) from joingurs below.

approximately 1 inch (25 mm) a required to allow water to drain.

wind,

3. Hips Start hip course at eave,
Fastening Attach each shingle to deck with two nails

1. Place haifs at locations indicated on shingles,

2. Ensure full penetration but do not overdrive nais

A. Protect installed roofing until completion of Project
 B. Do not allow traffic on completed roof.

3.7 ADJUSTING

A. Replace damaged shingles prior to Subs
END OF SECTION 073136

G. Eaves: Install row of starter shingles at eaves as base layer, Project eave shingles approximately 1 inch (25 mm) and 1/8 inch (3 mm) past overhanging drip edge, or as

required to allow water to orten.

Ridges and High. After field stringle installation is complete, install double row of shingles over 0 inches (152 mm) wide metal flashing.

Use 6 inch (152 mm) wide shingles with 10 inch (254 mm) exposure or one-piece. 12 inch wide shingle with 10 inch exposure.

2. Ridges Start ridge shingles at leeward end. Face shingle laps away from prevailing

Ensure hall penetration but do not overdrive nels.
 On not nat air a rangle.
 Ensure that nat leads it shall with shingle surface.
 At voileys do not nat shingles within 5 inches (127 mm) of valley center fine.
 SFIELD GUALITY CONTROL.
 All inspect units as they are installed. Do not install cracked, broken, hwisted, curled, or otherwise diamaged units.

. As work progresses, exercise care not to scratch or mar installed shingles, Replace damaged shingles, After approximately 200 units have been installed, inspect roof from ground, Verify proper layout and appearance. Repeat inspection every 200 shingles.

Eave flashings: Fabricate with bottom edge formed outward 1/4 inch (6 mm) and hemmed to form dup

steners 3/6 inch (9,5 mm) flat head nails, 1-1/2 inches (38 mm) long

2.3 ACCESSORIES

PARTS EXECUTION

Thickness: 40 mils (1 mm),

Minimum elongation 250 percen

5. Permeance Maximum 0.05 perms.

Minimum tensile strength, 250 PSI (1724 kPa).

Chicago Minois 6065 312 • 986 • 1160 312 • 986 • 1161 (fax)



REPLACEMENT CART BARN



01 PRESTWICK DR. FRANKFURT, IL 6042

ARCHITECTURAL SPECIFICATIONS A0.3 SECTION 077100 - ROOF SPECIALTIES
PART 1 - GENERAL
1.1 SUMMARY
A Section Includes Manufactured in a

SUMMARY
Section Includes Manufactured units for the following applications
1, Roof-edge drainage systems.
ACTION SUBMITTALS

SECTION 081113 - HOLLOW METAL DOORS AND FRAMES PART 1 - GENERAL 1.1 SUMMARY

WEISS

Fine-Resistance-Rated Actamities For transcalance rated assembles, provide materials and continuous interface it betwee letted in a sevenity improved in with ASTM E-119 by an independent learning agency. GPPSUM EARCH CORECRAL, Size Provide maximum lengths and widths available that will minimize joints in each are and that corecposal with support joynem indicated. In IEEE/CORECRAL SOURCE (1996) 11

Architecture • Planning • Design

222 West Ontario Street, Suite 330 Chicago Illinois 60654 312+986+1160 312+986+1161 (fax) emal@weissarch.com



REPLACEMENT CART BARN



01 PRESTWICK DR. FRANKFURT, IL 6042

ARCHITECTURAL SPECIFICATIONS

Project 2222

A0.4

colors.

3. Vented Soffit Color: As selected by Architect from full range of Manufacturer's

SUBSINATE INSPECTION
Proceeding states and payments with a pneumatic-free dump truck to identify soft pociets and areas of excess yelding. Do not proched wet or estimated subject damping the proceeding and the proceeding of the

compensation.

Output Honorape Annual Control of Contro

colors.

Outces and Downspouts: Provide manifacturer's standard guiters and downspouts as shown on Drawings.

Colore Strips: Closed cell: 2 pcf density polyethylane foam, premoted to match configuration of panels.

2.5 SIDING
A. Siding iber connect using refer to SECTION 074645 - FIBER-CEMENT SIDING
2.7 PERSONNEL DOCAS
A. Hollow Med Doors and Frames refer to SECTION 081113 - HOLLOW METAL
DOCAS & FRAMES
2.0 OVERHEAD DOCAS

1.5 SUBMITTALS.
A. Submit under provisions of Section 0.13 0.04 Administrative Requirements.
B. Product Dtat. Manufacturer's data sheets on each product be a used, including the control of the under including and accessories.

In the control of the control of the under the control of the under including company and accessories and accessories and accessories.

Prevailable instructions and recommendation instructions for building company and accessories.

Prevailable instructions and recommendations.

 Fill unsufronzed excavations under other construction pape or conduit as directed by Anchect.
 CIDRAGE OF SCIL WATERIALS Shorlede borrows of metanals and excavated satisfactory soft materials without intermining. Place, grade, and stane sologides to drain surface water. Cover to prevent vincidious materials away from edge of excavations. Do not store within drip McGFIL.
 Sickleyle soil materials way from edge of excavations. Do not store within drip McGFIL. Flace and compact backd in excavations promptly, but not before completing the fallowers. Construction below finish grader.

Surveying loadnase of underground wilders for Record Documents.

Testing and imposing inderground wilders.
Removing protected between,
Removing protected between,
Removing control for tion below finish grade. • Imatons of underground utilities for Record Documents. outdatement of piping or contait. Coordinate back-lifing with utilizes learning.

F. mid Backel' Bibbo and compare final backel' of extractors yet of final subgrade

G. Whrming Tape Install warming tipe directly above utilizes. 12 criches Selew finished
pipide, recept 6 inches Selew bugges using represents and data.

3.11 SOLI FUL

A. Solid File of the selew bugges using representation of the control of the Significant.

Significant in the second process of the second process below subgrade and compare each layer of backful or if a oil material at 25 percent. Under underward areas, scarly of recompact to 56 inches below subgrade and compact each layer of backful or if a oil material at 55 percent. For subtry resorbers, compact each layer of a oil material at 55 percent. For subtry resorbers, compact each layer of initial and final backful oil material at 55 percent.

Significant in the second process of the second process of the second process. The second process of th 4. For talky trendess, compact each layer of initial and final backets soll maintens at 55 percent.

GRADING

General Uniformity practs areas to a smooth surface, fire of irregular surface.

Grading the compact of t rickness, with no comparise vayor think, think, but each Jayer of drainage course to required cross sections and because to not less than 95 percent of maximum dry unit weight according to thicknesses to not less than 95 percent of maximum dry unit weight accord ASTM DOSS.

FIELD QUALITY CONTROL

A. Special Inspections. Owner will engage a qualified special inspector to perform inspections. A Special Inspections. Owner will engage a qualified special inspector to perform inspectors.
In special inspection ("Owner will engage a qualified galacteristical engineering testing approved to perform tests and inspections.

Allow testing agency to inspect and test subgrades and each fill or backfill syer, Ploceed with subsequent earth moving only after test results for previously completed work country with requirements.

De footing disciplates All posting subgrades, at least on the state of each self attribute of the footing subgrades will be approved by a fortification and approved of other tolority subgrades with a special comparison of subgrade when approved by Architect.
When testing supported the passed on a visual comparison of budgets when approved by Architect.
When testing sperity reports that subgrades, fills or the backfills have not achieved degree of comparison special disadily and mosters or senters or review and replaced objected of comparison special scaling and mosters or senters or review and replaced or the special comparison is subgraded. 1.19 PROTECTION
 A. Protecting Gasea Areas Protect newly graded areas from traffic. Investing, and eroson, Keep free of trash and debns.
 Rentar and resembleshy protect to specified tolerances where completed or partially used to subsequent construction of the protection of the subsequent construction operations or weather conditions.
 C. Where setting occurs before Project correction price dispose, remove fundated unitation, backet with additional soft material, compared, and economic surfacent, backet with additional soft material, compared, and economic surfacent, in Restore appearance, suitally and condition of finalled surfacent surfacent, in Restore appearance, suitally and condition of finalled surfacent greatest existed possible.

3.10 DISPOSAL OF SURPLUS AND WASTE MATERIALS.
 Remove temples sociations or and vaste materials, including unstandardory soil.

23th 2015 CENTRAL STATES AND WASTE W SECTION 321216 - ASPHALT PAVING
Refer to Civil Engineer's Drawnos for specifications for asphalt paving SECTION 321313 - CONCRETE PAVING
Refer to Civil Findinger's Drawings for specifications for concrete paving.

WEISS



REPLACEMENT CART BARN

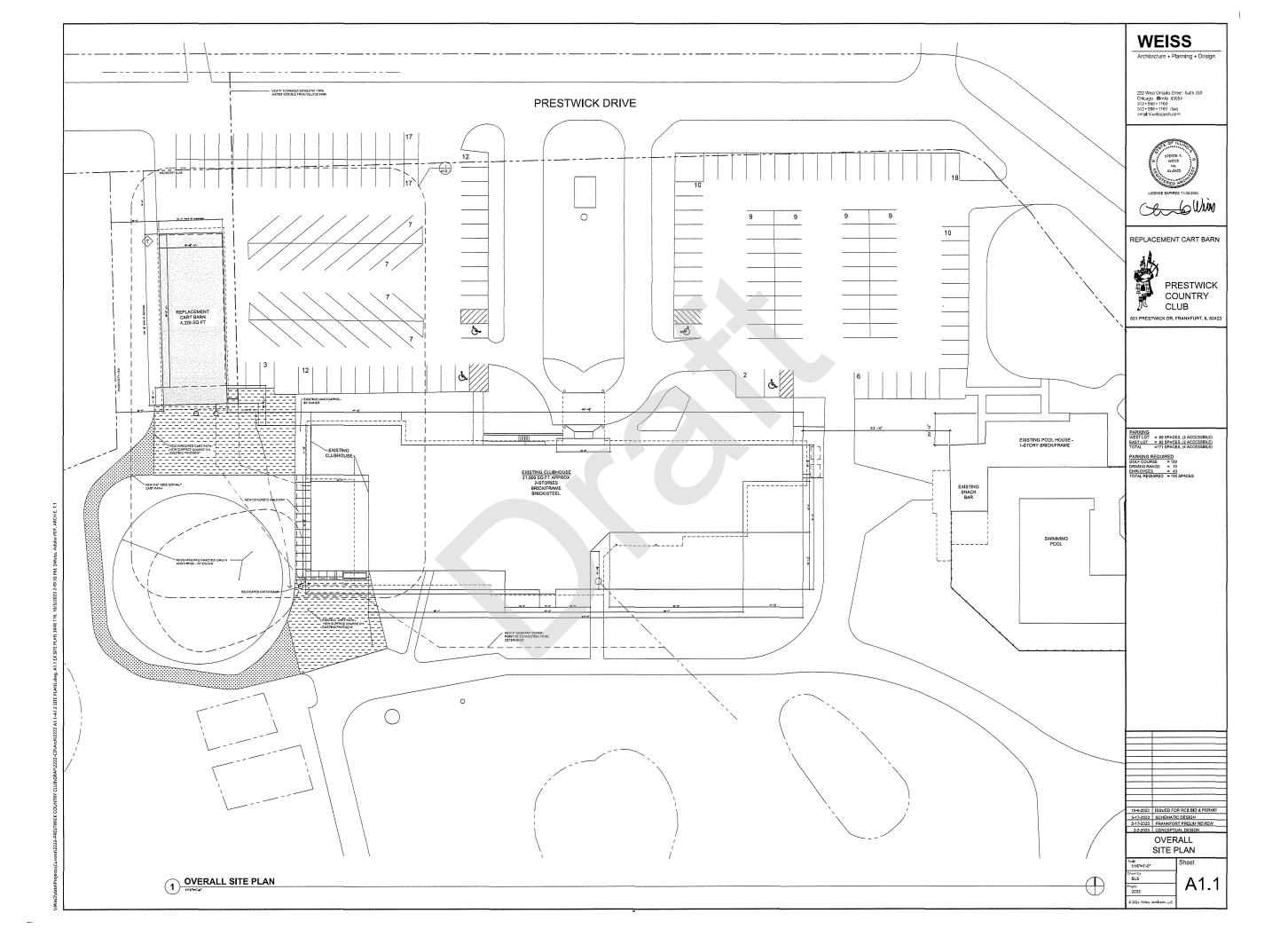


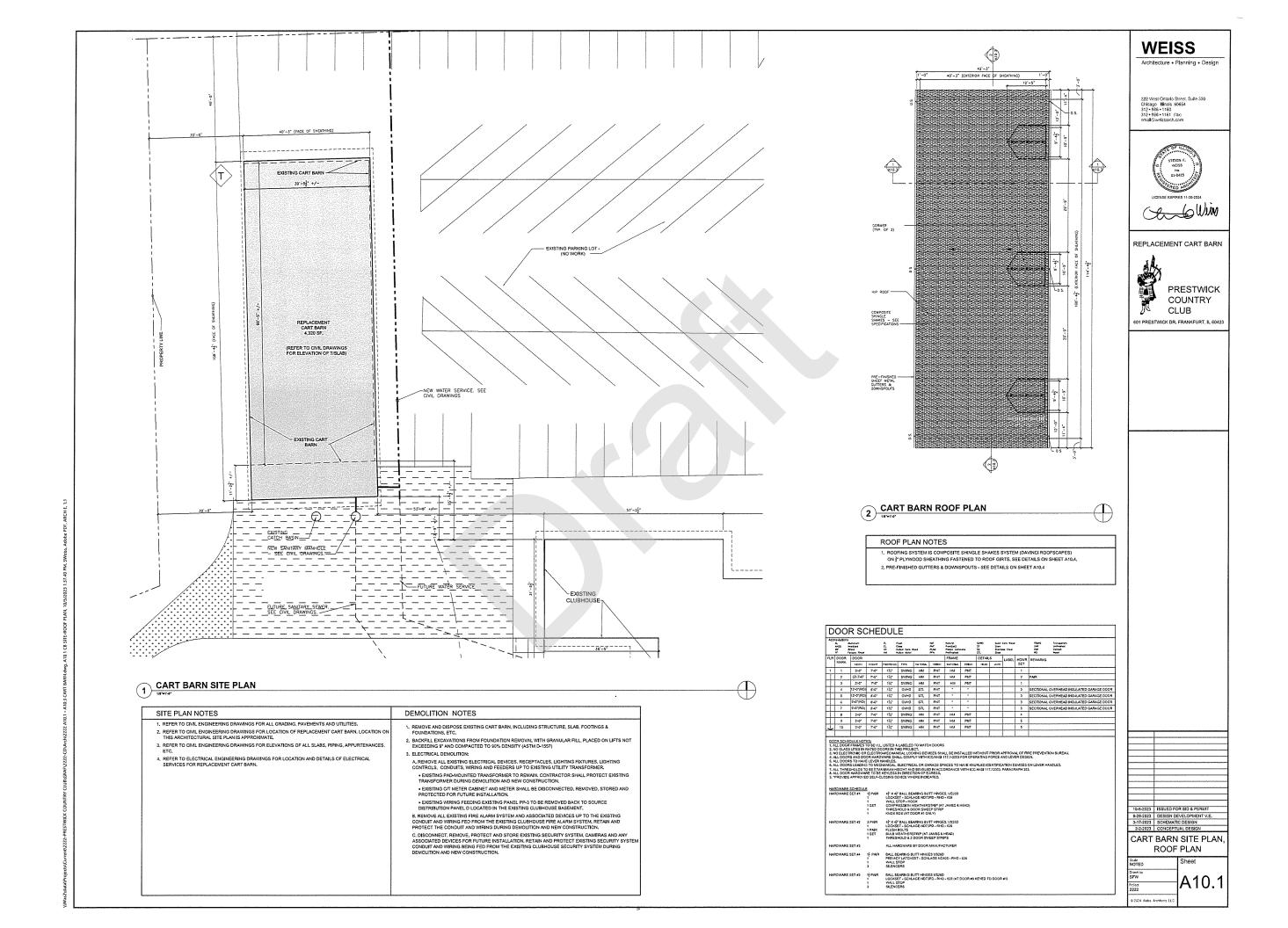
COUNTRY CLUB 1 PRESTWICK DR. FRANKFURT, IL 604

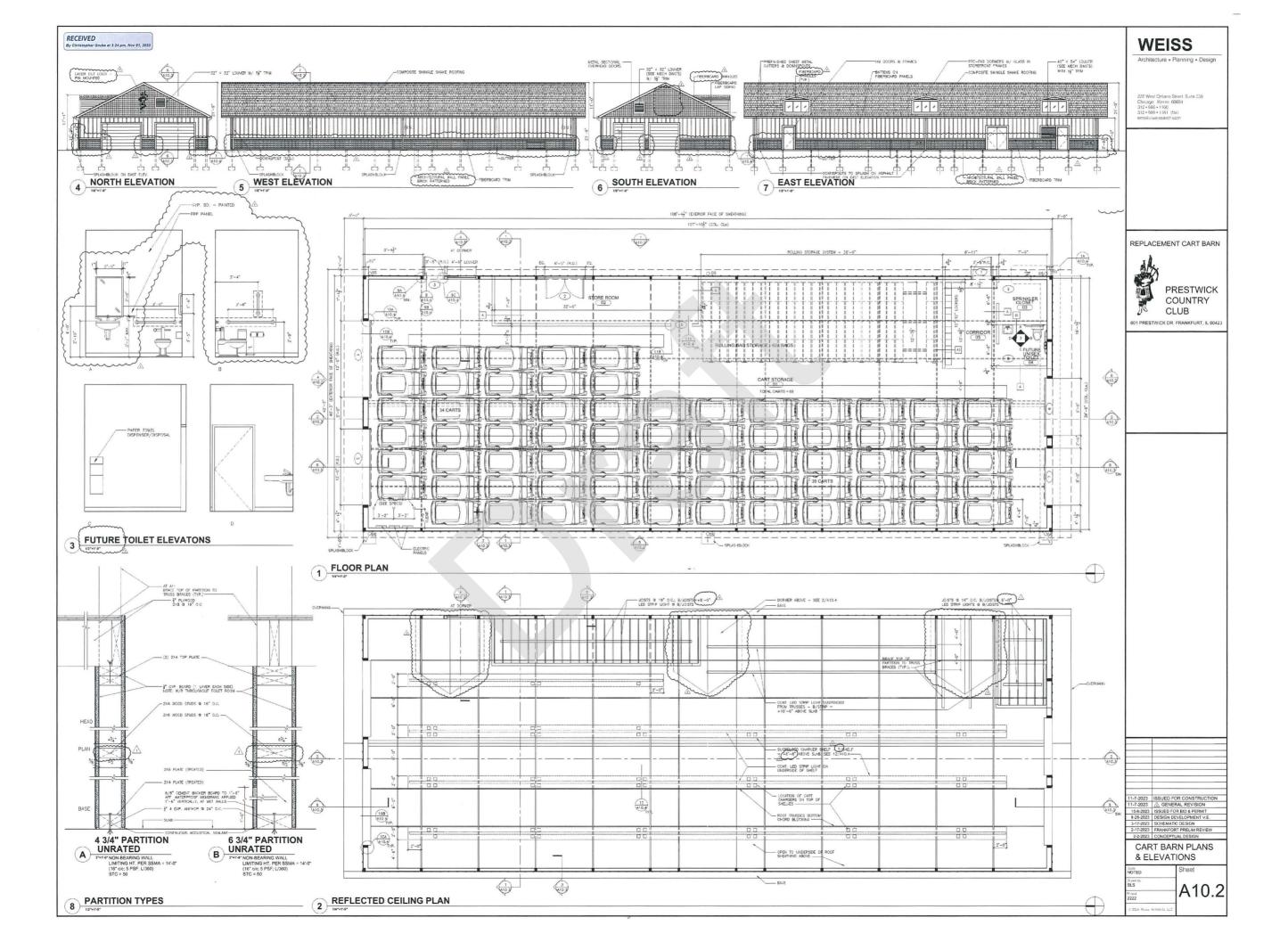
PRESTWICK

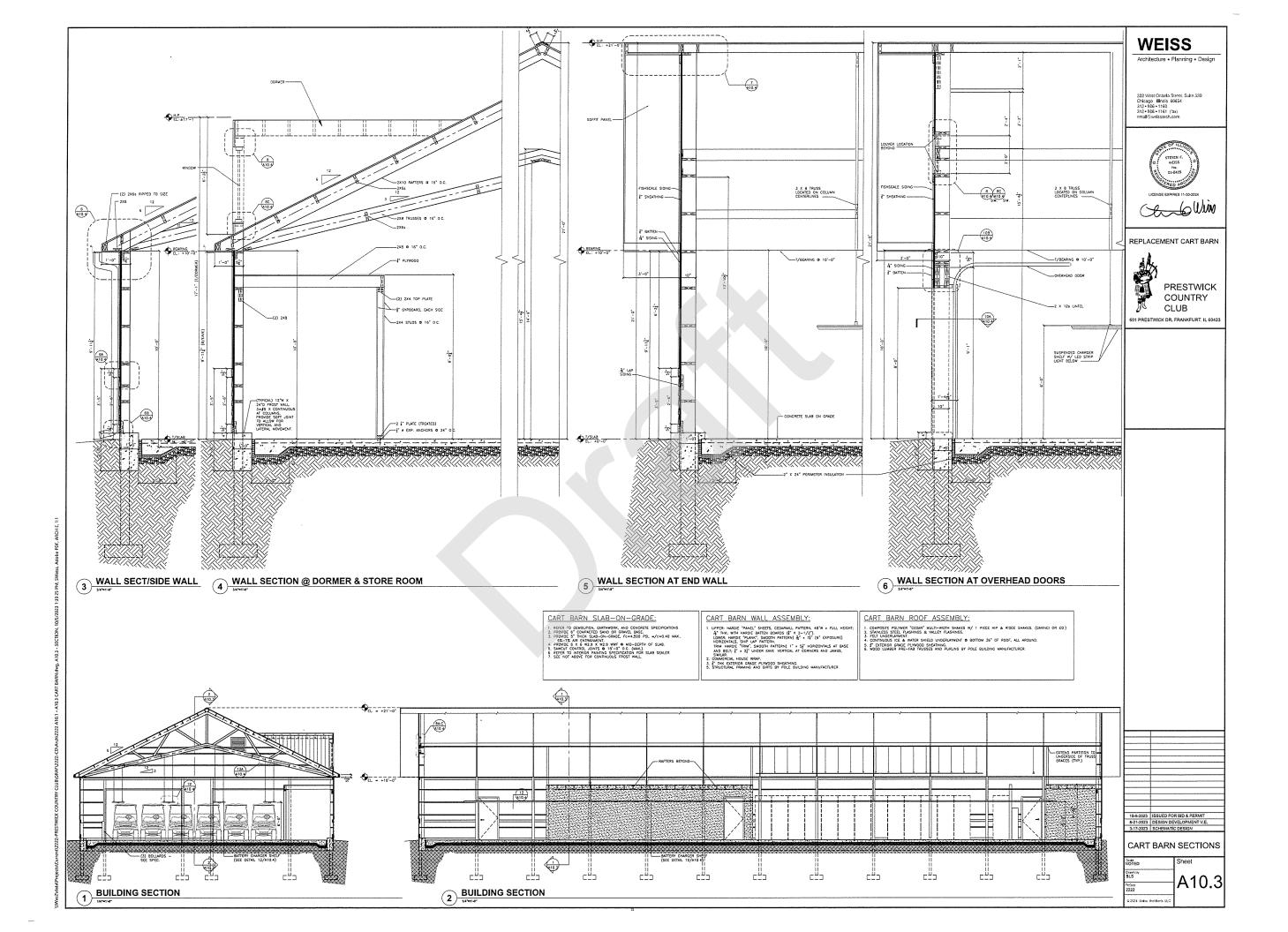
ARCHITECTURAL SPECIFICATIONS

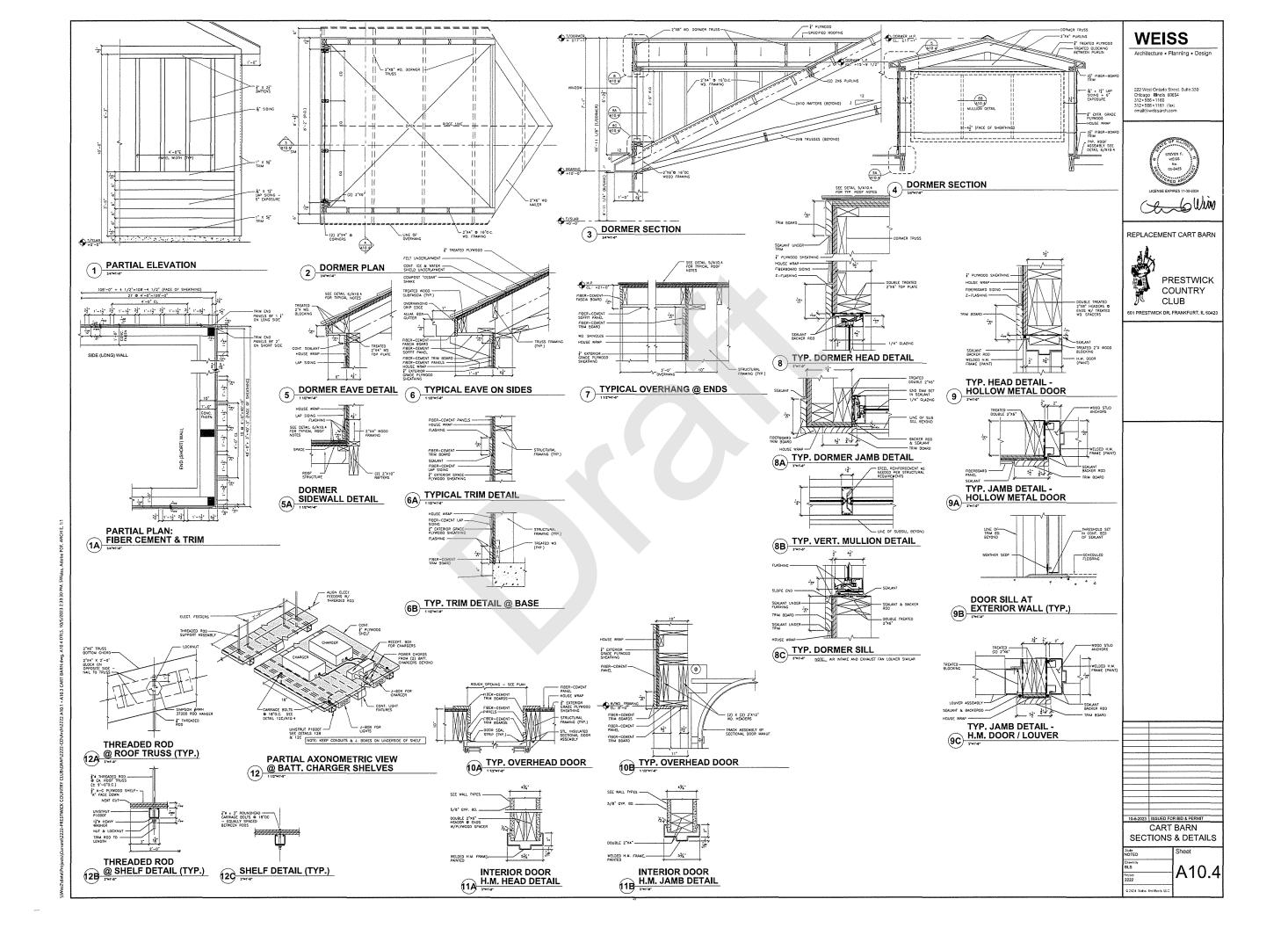
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GENERAL NOTES

PRESTWICK COUNTRY CLUB **CART BARN** SITE IMPROVEMENT PLANS

ARCHITECT = ARCHITECT
STEVE WEISS ARCHITECTURE
222 W ONTARIO
CHICAGO, ILLINOIS 60654
PHONE, 312, 986-1160 312-986-1161 (FAX)
EMALL@WEISSARCH.COM (general)

CLIENT === EDWARD S. TINDALL
GENERAL MANAGER/COO
PRESTWICK COUNTRY CLUB
EMAIL@ETINDALL@PRESTWICKCC.COM



ATT FIBER OPTIC CABLE - Phone 1-800-252-1133

LEGEND

SHEET INDEX

COVER SHEET OVERALL TOPOGRAPHY PLAN DEMOLITION PLAN SITE GEOMETRICS PLAN SITE GRADING PLAN CONSTRUCTION DETAILS

BENCHMARK

SITE BENCHMARK
NE FLANGE BOLT ON FIRE HYDRANT NORTH SIDE OF
PRESTMCK DRIVE OPPOSITE PARKING LOT
ELEV = 713.14





Joseph A. Schudt & Associates

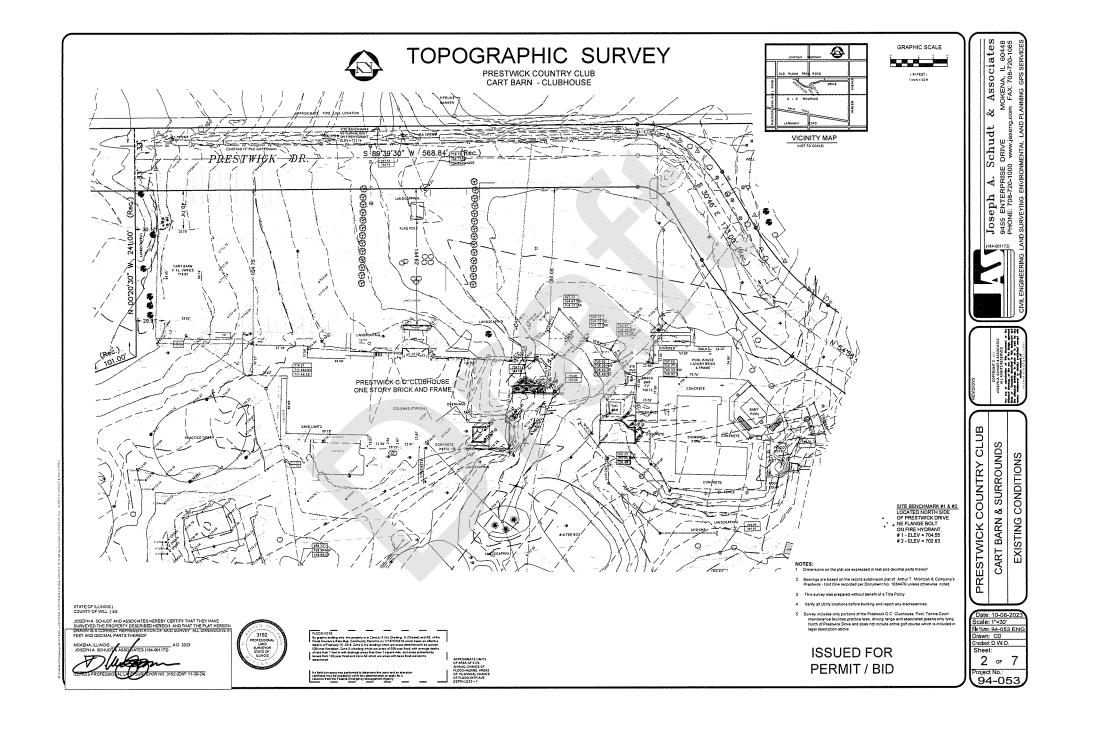
CONTACT JULIE AT 811 OR 800-892-0123 WITH THE FOLLOWING INFORMATION
COUNTY-MANNE
CITY / TOWNSHIP
SEC & 1/4 SEC No. BEC. 16, TOWN 13 B 14
Know which all Ow 48 HOURS (2 working days) BEFORE YOU DIG
Callbefore you dig.

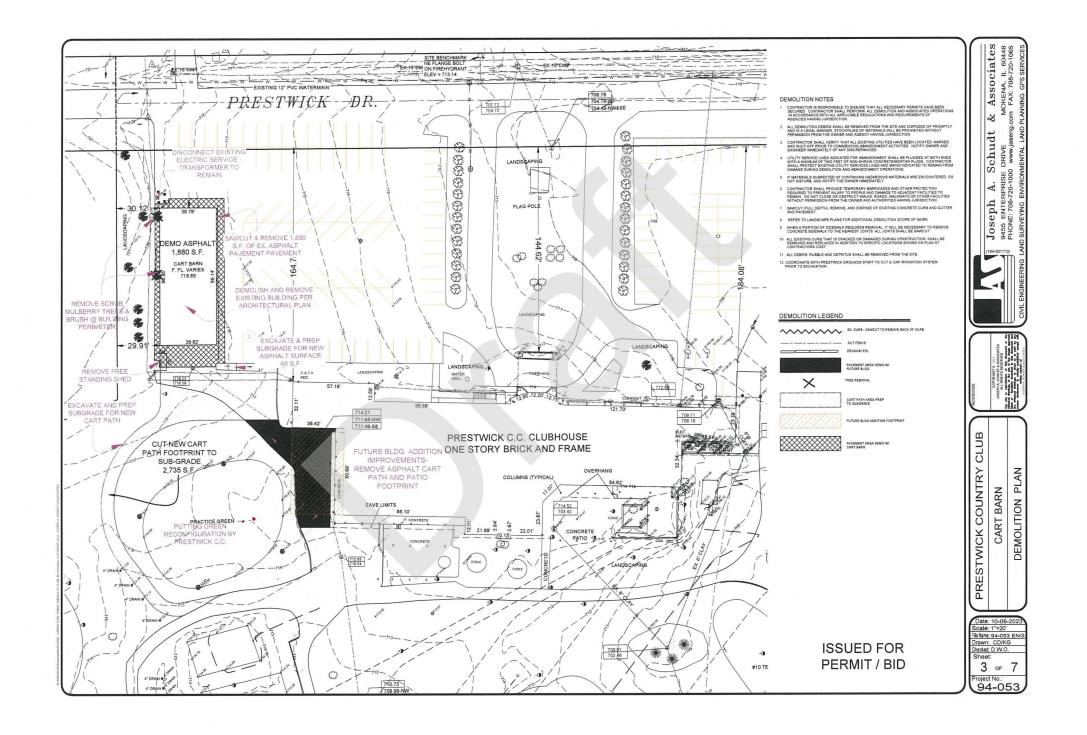


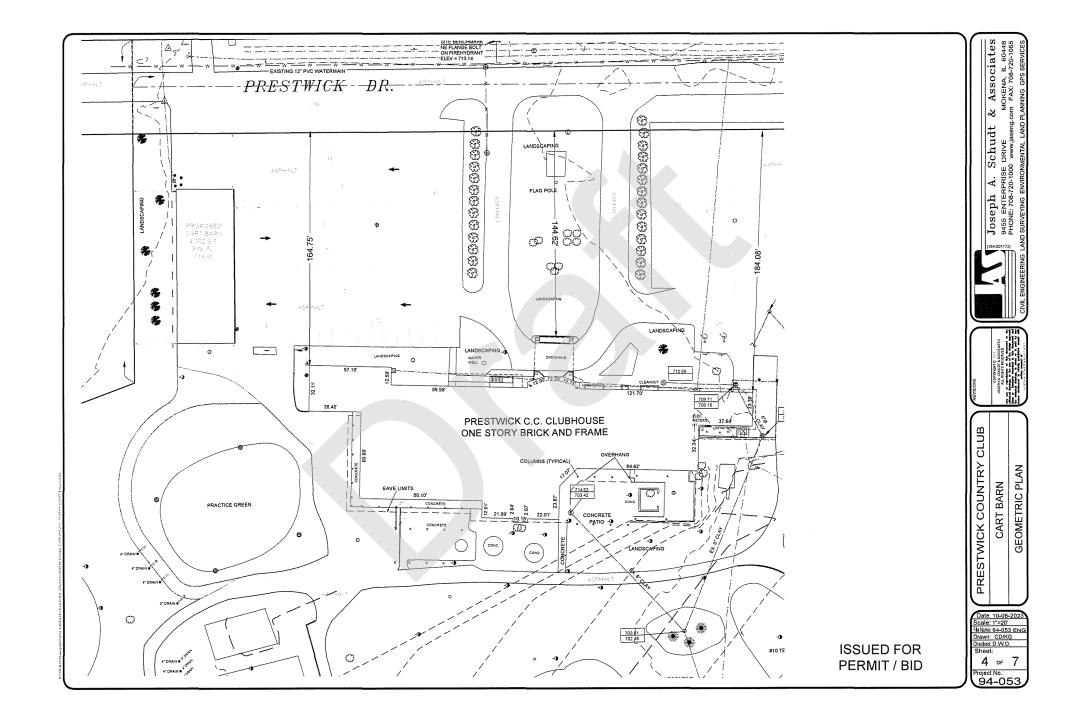
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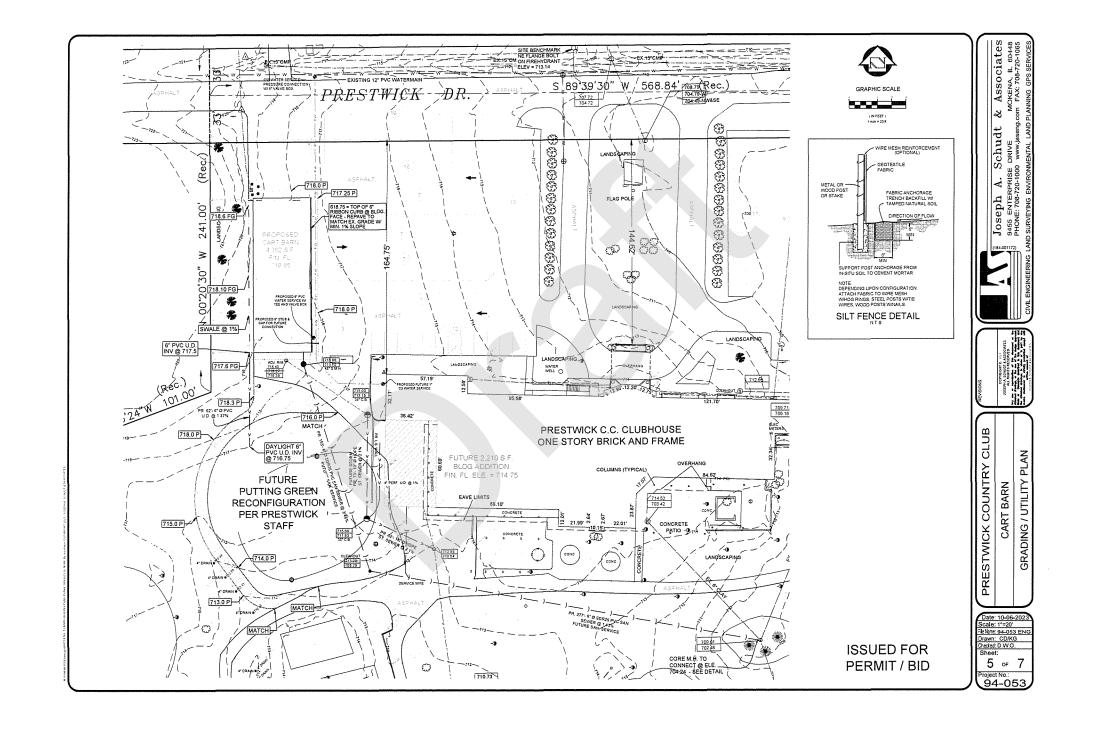
REVISIONS Project No. 94-053

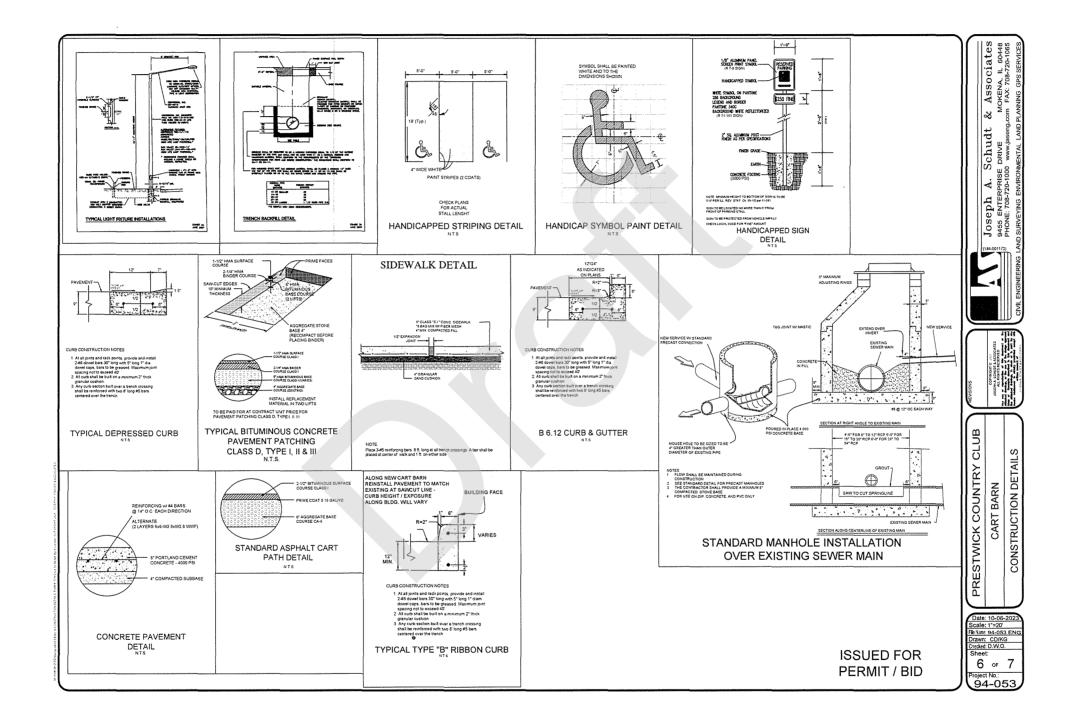


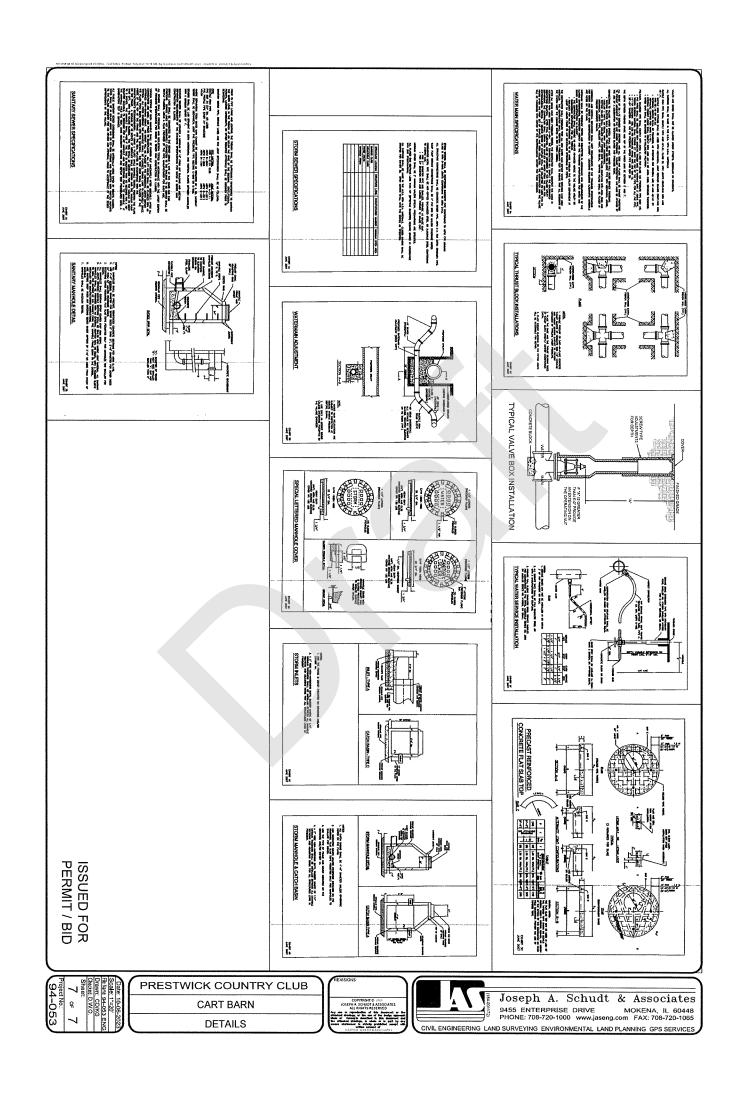












- A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN CONFORMANCE WITH ALL GOVERNING NATIONAL STATE, AND LOCAL CODES HAVING JURISDICTION.
- ALL EXEMPLES IT TURBUSCES, AND ALL YOUR PREFORMED UNDER THE PROPERTY SHALL SEEN STREET COMPUNES SHAT CHRESH WAY ARRIVED AND THE PROPERTY OF THE ADDRESS AND THE PROFECTION ASSOCIATION (HE'PROFECTION ASSOCIATION (HE'PROFE CHRESH AND ASSOCIATION AND THE ASSESSMENT OCCURRENCE SHOULD SHEET SHALL THE ASSOCIATION CONCEPT OF MICKENALE EXCHANGES AND THE ASSOCIATION AND THE ASSOCIATION AND THE ASSOCIATION ASSOCIATION AND THE ASSOCIATION RICE (SMACINA), AND OHIGH MATTHEW ASSOCIATION RICE (SMACINA).
- CONTRACTOR STATE APPLICABLE

 CONTRACTOR SHALL RESERVE THE STRING SET OF CONTRACT DOCUMENTS INCLUDING BUT NOT
 LIMITED TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, RECETTINGA, PLUMBING AND FIRE
 PROFECTION DEPARMINGS AN SELECT, ALL SECREDING AND STRUCTURAN OF BODGERS, THE
 CONTRACTOR SHALL HIGH THE SITE AND MAKE DEFINED AND STRUCTURAL OF THE SPECIAGO NAVIO.
 HAS CONTRACTOR SHALL FILLY CONCENNENT HE SHAD WAS ADDITIONED BY THE
 CONTRACTOR SHALL FILLY CONCENNENT HE SHAD WAS ATTHE WORKE PRESTRUCTURE BY CONTRACTORS. AND SHALL MAKE SUCH FIRE DIADJUSTMENTS AS AND HISOLIPED TO ACCOMMENDED THE DUE OCCUPIED.
- TO ACCOMMONATE REILD CONTRIONS.

 BROUD COMPINGTOR PRO DESCRIPTIONS AND OR DESIGNOR FROM THE DIMANUS.

 FREGRENATIONS ON OTHER CONTRIANT DIGUERATION OR ELECAREMENTS SETVICES ACTUAL FIELD

 BROWN THAT OF OTHER TROUGS OR BE DOUGH AS TO THE MEMORY OF ANY CONTRIANT

 COLUMBATS CONTRIANCED SHALL BRUEDATELY NOTIFY THE ARCHITECT AND THE ENGINEERS

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- THE DRAWNIGS NOICHTE DIAGRAMIATICALLY THE INTENT, REQUIREMENTS FOR AND LOCATION OF THE YORK INCLUDED UMERS THE CONTRACT, ALL WORK REQUIRED TO AFFORT THE INDICATED DESIGN INCLUDING CHAIRS, NOT SHOWN BUT WHOSE INCLUDING YOUNG DE DECEMENT AREQUIREMENT IT Y'A KNOWLEDGEARLE TRADESMAN, BURCHING ENGINEER, OR TECHNICIAN, SHALL BE RROWNED.
- OWNER/OR NO 19.51 THE NEW YOR SEED FROM OPERATION, UNESSED OFFICEWISE BITTED.

 CONTRACTOR SHALL YEARN ALL MOUNTAINS, ARRANGEMENT, REGISTED, AND GOLDRIGH PRIOR TO ROUGHA, ANY MERITION OF A SECRETAR MOUNTAIN A REPORT SHALL THE SHALL ANY MERITION OF A SECRETAR SHALL ANY MERITION OF A SECRETAR SHALL ANY MERITION OF A SECRETAR SHALL ANY MERITION OF A TO OTHER CONTRACTORS ON THE PROJECT OF THE OWNER OF A SHALL ANY MERITION OF A SHALL ANY ME
- CONTRACTOR SMALL STABLISH SAFE WORKEN PROCESSOR FOR THE PROTECTION OF THE WORKEN N ALL PRASES OF WORK AND SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, A PEDERAL SMETTLY WE INCLUDED THE RECOMMENTATION OF ON HE SHALL ASSOC PROTECTION OF THE WORK AND SHALL COMPLY WITH ALL APPLICABLE LOCAL STATE, A WORK AND SHALL COMPLY WITH ALL APPLICABLE LOCAL STATE, AND SHANDLOSS MOORANDE FOR HE SHALL ASSOC PROTECTION OF THE WORK AND SHANDLOSS MOORANDE FOR THE SHALL SHAPE OF ALL OTHER WORK AND SHAPE WORK AND SHA
- ALL PUBLIC AND PRIVATE PROPERTY DAMAGED AS A RESULT OF WORK PERFORMED UNDER THIS CONTRACT SHALL BE, REPAIRED ANDOR REPLACED TO MATCH EXISTING CONSTRUCTION BY THIS CONTRACTOR AND TO THE ASTIFFACTION OF THE ARCHITECT.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE BURDING OWNERS REPRESENTATIVE REGARDING WORKSITE ACCESS BURDING RULES, AND REGULATIONS, INCLUDING WORKING FOURS, REFUEL ESPEGAS, LOURISTER LOCATION, SECURITY DIFFERENTIONS OF BURDING UTILITIES OR FUNCTIONS, OWNERSHIP OF SALVAGED MATERIALS, PARKING, AND ANY OTHER TIES DECEMBED TO BE OF MUTUAL INTEREST.
- PROVIDE ALL HOLES, SLEEVES, CUTTING, PATCHING, AND SEALING FOR INSTALLATION OF THIS WORK, SZALING SHALL CONFORM TO THE FIRE RATING OF ALL BUILDING ASSEMBLIES, ALL EXTERIOR PENETRATIONS SHALL SE MADE VEATHERY TIGHT.
- M. CONTRACTOR SHALL NOT MODIFY OR REMOVE ANYTHING FOUND TO BE IN THE PATH OF NEW SYSTEMS TO DE INSTALLED WITHOUT PRIOR APPROVAL BY THE ENGINEER.
- N. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTINUOUS CLEANING OF ALL CUST AND DEBRIS RESULTING FROM THEIR WORK.
- CONTRACTOR SHALL BE PROPERLY LICENSED, BONDED, AND INSURED AND CAPABLE OF PERFORMING QUALITY WORKMANSHIP ON THIS PROJECT.
- P. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS TECHNIQUES. AND SAFETY.
- Q. CONTRACTOR SHALL COORDINATE DELIVERIES WITH THE OWNER,
- R. MAINTAIN ALL MANUFACTURER RECOMMENDED AND CODE REQUIRED CLEARANCES.
- CONTRACTOR SHALL PROVIDE TRAINING TO THE OPERATING STAFF FOR NEW SYSTEMS AND EQUIPMENT, REFER TO OWNER TRAINING SPECIFICATION SECTION FOR ADDITIONAL INFORMATION.

- A. ALL WORK SHALL BE PERFORMED IN A CLEAN AND WORKMANLINE MANNER. CARE SHALL BE EXERCISED TO IMMINIZE ANY INCONVENIENCE OR DISTURBANCE TO OTHER AREAS OF THE GOLF CLUB FACILITY YMECH ARE TO REMAIN IN OPERATION.
- B. ALL DEMOLITION AS CALLED FOR ON THE DEMOLITION DRAWINGS SHALL BE UNDER THIS CONTRACTOR'S WORK, REFER TO ARCHITECTURAL DEMOLITION DRAWINGS FOR REQUIRED DEMOLITION SCOPE.
- C. THE INTENT OF THE DEMOLITION IS TO REMOVE THE ITEMS IN THEIR ENTIRETY. THIS INCLUDES ALL ASSOCIATED SUPPORT BASES, AICHGRAGE, HANDERS CONTROLS INCLUDING WARNER AND CONDUIT EXPOSED BY INCEPANICAL ROOMS PIPMS, DUCTWORK, VARRIG, ETC., CAP EXISTING SYSTEMS TO REMAIN AT MARKS OR OTHER ACTIVE BRANCH LINES, INMINIZE DEAD BN) LENGTHS.
- BEFORE STARTING ANY DEMOLITION WORK ON EQUIPMENT WHICH HAS AN ELECTRICAL CONNECTION. THE ELECTRICAL CONTRACTOR SHALL DISCONNECT THE POWER AND REMOVE CONDUT, WARKO, DISCONNECT SMITCHER, AND STARTERS UNDER THIS CONTRACT.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS CLEANUP THROUGHOUT THE COURSE OF THE DEMOLITION WORK.
- ALL EQUIPMENT, MATERIAL, ETC. THAT IS DEMOLISHED SHALL BE REMOVED FROM THE BUILDING SITE BY THIS CONTRACTOR IN A PROPER AND LEGAL MANNER. NO ITEM WHICH IS DEMOLISHED MAY BE RELIESD UNLESS SPECIFICALLY NOTED.

M. SHCP DRAVINGS SUBMITTALS AND AS-BUILTS

- SHOULD CONDITIONS NECESSITATE ANY REARRANGEMENTS, CONTRACTOR SHALL SUBMIT TO THE ENOMERS SHOP DRAWINGS SHOWING SUCH CHANGES, CONTRACTOR SHALL PROCEED WITH SITE WORK ONLY AFTER RECEIVING SHOP DRAWINGS MAKENED REVIEWED.
- CONTRACTOR SHALL SUBMIT TO THE ENGINEER MANUFACTURERS' SUBMITIALS FOR ALL EQUIPMENT AND ACCESSORIES, CONTRACTOR SHALL PROCEED WITH PROCUREMENT ONLY AFTER RECEIVING SUBMITIALS MARKED REVIEWED.
- CONTRACTOR SHALL SUBMIT TO THE ENGINEER AN ELECTRONIC FILE OF ALL EQUIPMENT BEFORMATION, INCLUDE OPERATIONAL AND MAINTENANCE INSTRUCTIONS, PARTS LISTS SUBMITTALS, AND DESCRIPTIVE LITERATURE.

IV. MATERIALS AND EQUIPMENT

- A. ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE NEW.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.
- CONTRACTOR IS REQUIRED TO REVIEW ALL DRAWINGS. MATERIALS AND EQUIPMENT SHOWN ON THE SCHEDULES AND DETAILS SHALL BE INCLUDED IN BASE BIO. NO MATERIAL OR EQUIPMENT SUBSTITUTIONS WILL BE CONSIDERED AFTER THE AWARD OF CONTRACT.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE PURCHASE, DELIVERY, RECENSING, UNCOADING UNCOATEN, STORNIG SETTING IN PLACE, AND PROTECTING OF ALL NEW ECLAPMENT FUNDASHED BY THE CONTRACTOR, AND SHALL SECURE SUCH ECLAPMENT FROM DAMAGE UNTIL TIME OF PAIN, ACCEPTANCE.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL STRUCTURE, SLEEVES, SHIMS, ETC, REQUIRED TO LEVEL AND SUPPORT EQUIPMENT AND MATERIALS.
- F. CONTRACTOR SHALL VERIFY ALL PHYSICAL, ELECTRICAL, INGRESS, ETC. REQUIREMENTS FOR ALL EQUIPMENT PRIOR TO GREENING.
- G. EQUIPMENT DATA, LABELS, AND OTHER IDENTIFICATION SHALL NOT BE OBSTRUCTED.

CONTRACTOR SMALL WARRANTY THEIR WORK FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, REFER TO BID DOCUMENTS FOR ADMITIONAL INFORMATION.

VI. OWNER TRAINING

- THE CONTRACTOR SHALL PROVIDE DEMONSTRATION AND TRAINING TO OWNERS PERSONNEL FOR NEW SYSTEMS AND COUPMENT. THE COSTS ASSOCIATED WITH THIS SHALL BE INCLUDED AS PART OF THE BASE BID.
- B. ALL EQUIPMENT MANUALS, INSTALLATION OPERATION AND MAINTENANCE MANUALS, ETC. SHALL BE TURNED OVER TO THE GYNER PRIOR TO COMMENCING OWNER DEMONSTRATION AND TRAINING. REFER TO PROJECT CLOSEOUT DOCUMENT REQUIRMENTS FOR ADDITIONAL INFORMATION.
- C. CONTRACTOR SHALL PROVIDE A MINIMUM OF 2 HOURS OF TRAINING OVER 1 VISIT ON SITE FOR OWNER PERSONNEL.
- D. OWNER TRAINING SHALL BE CONDUCTED AFTER FUNCTIONAL TESTING IS COMPLETE AS APPROVED BY THE ENCINEER.

A GENERAL

- ELBOWS SHALL BE CONSTRUCTED WITH THE INSIDE PAGRIS NOT LESS THEM YZ THE DUCT MIDTH'N THE SAME PLANE, WHERE STANDARD RICHIES BLOWS CANNOT BE HISTALLED DUT TO SPACE CONSTRAINTS, SOURCE (BLOWS WITH DOUBLE THE CHIES STANDER) VANDE BE INSTALLED WHERE APPROVED BY ENGINEER, CROSS-BRAKE OR BEAD SURPLACES WIDER THAM 15" FOR RIGHTY.
- TRANSFORM DUCT SIZES GRADUALLY, NOT EXCEEDING 15 DEGREES DIVERGENCE AND 39 DEGREES CONVERGENCE.
- 4. ALL DUCT SIZES SHOWN ON PLANS SHALL BE RISIDE CLEAR DIMENSIONS.
- 5. UPON COMPLETION OF THE INSTALLATION OF DUCTWORK CLEAN ENTIRE SYSTEM OF DEBRIS.
- PROTECT DUCTWORK FROM THE ELEMENTS AND FOREIGN MATERIAL AND COMPLY WITH INTERMEDIATE DUCT CLEANLINESS LEVEL IN ACCORDANCE WITH SMACMA'S DUCT OF EARLINESS FOR NEW CONSTRUCTION (2019) 1955.

- NON-COMBUSTIBLE OR CONFORMING TO REQUIREMENTS FOR CLASS 1 AIR DUCT MATERIALS OR U. 181.
- 2. ALL DUCTWORK SHALL BE ALUMINUM MATERIAL.
- REINFORCEMENT PLATES AND SHAPES; ASTM A36 / A36M, STEEL PLATES, SHAPES, AND BARS, BLACK AND GALVANZED.
- TIE RODS: GALVANZED STEEL. 1/4" MINIMUM DIAMETER FOR LENGTHS 38" OR LESS; 3/8" MINIMUM DIAMETER FOR LENGTHS LONGER THAN 15".
- MERT WERE MATERIALS AND SUPPORTS SHALL COMPLY MITH SMACHA "HAVE DUCT CONSTRUCTION STANDARDS" FOR APPLICABLE MATERIALS MATERIAL THORSESSE, AND DUCT CONSTRUCTION METHODS BASED ON APPLICABLE MERGESURE CLASSES, IMEET METAL MATERIALS SHALL SE FRECT OF TITMS. SLAM MANARES ROLLER MANS, STANS SHEET METAL MATERIALS SHALL SE FRECT OF TITMS. SLAM MANARES ROLLER MANS, STANS SHEET METAL MATERIALS SHALL SE FRECT OF TITMS. SLAM MANGES ROLLER MANS, STANS SHEET METAL MATERIALS SHALL SHA

C. SEALANTS AND GASKETS

- SEAL DUCTS FOR DUCT STATIC-PRESSURE, SEAL CLASSES, AND LEARAGE CLASS SPECIFIED B "DUCT SCHEDULE" ARTICLE ACCORDING TO SMACKAS "16/AC DUCT CONSTRUCTION STANDARDS," ALL JOHTS AND SEAKS SHALL BE SEALED TO SEAL CLASS A.
- SURFACE BURNING CHARACTERISTICS FOR SEALANTS AND GASKETS SHALL BE A MAXIMUM FIJABLE SPREAD INDEX OF 25 AND A MAXIMUM SACKE-DEVELOPED INDEX OF 50 WHEN TESTED ACCORDING TO UL731, CERTIFIED BY ANIATIL.
- SUCTWORK SUPPORTS AND CONNECTIONS

- COUNTY WITH SIMCNAYS THACE DUCT CONSTRUCTION STANDARDS' FOR MANGERS AND SUPPORTS AND HANGER PACKING.

 HANGERS EXPOSED TO VIEW SHALL BE THREADED ROD AND ANGLE OR CHANNEL SUPPORTS, HANGER SOADS FOR NON-CORROSONE ENNIRONMENTS SHALL BE CADMINAN PLATED STEEL RODS.
- AND NUTS.

 STEEL CABLE FOR DUCTS SHALL BE GALVANIZED STEEL COMPLYING WITH ASTM ASSIL.

 STEEL CABLE END CONNECTIONS SHALL BE CAMMUNIPLATED STEEL ASSEMBLES WITH
 BRACKETS SWIPEL AND BOLTS DESIGNED FOR DUCT HANGER SERVICE; WITH AN AUTOMATIC
 LOCKING AND CAMPING OF DUCT.

- PROVIDE GRAVITY BACKDRAFT DAMPER ON ALL EXHAUST DUCT MAINS AFTER THE EXHAUST FAN BUT PRIOR TO LOUVER COMMECTION.

VIN, SYSTEM START-UP, TESTING, ADJUSTING AND BALANCING (TAB)

- UPON SUBSTANTIAL COMPLETION OF SYSTEMS INSTALLATION AND PRIOR TO ACCEPTANCE BY THE ENQUIREER AND OWNER, THIS CONTRACTOR SHALL SUBCONTRACT A TAS CONTRACTOR WIND'S TECNICIANS ARE KESS OR ANSIC CERTIFIED. TAS SUBCONTRACTOR SHALL NOT SE AFFILIATED WITH THE CONTRACTOR.
- TEST PROCEDURES SHALL BE PER LATEST EDITIONS OF NEBB. AABC. OR TESTING, ADJUSTING, AND BALANCING CHAPTER OF ASHRAE APPLICATIONS HANDBOOK.
- PRIOR TO ALL TAB PROCEDURES PROCEEDING SYSTEMS INSTALLATION STARTUP, AND OPERATION SHALL BE IN ACCORDANCE WITH THIS CONTRACT DOCUMENTS AND FOR THE MININ REQUIREMENTS OF NESS, ASC. OR APPIRE, IF DEFIDINGES ARE FOUND WHICH PREVENT PROPER TAB PROCEDURES AND REPEATABLE RESULTS, THIS CONTRACTOR SHALL BE REPORTABLE FOR ALL RESULTING COSTS.
- THE ENGINEER SHALL BE NOTIFIED WHEN TAB SCOPE WILL BEGIN ON SITE, AUTHORIZED REPRESENTATIVE OF THE OWNER MAY BE IN ATTENDANCE IF DEEMED NECESSARY.
- E. THIS CONTRACTOR TO ASSIST THE TAB CONTRACTOR AS REQUIRED TO ENSURE REPEATABLE RESILLTS. THIS CONTRACTOR SHALL PROVIDE THE TAB CONTRACTOR WITH ALL REQUIRED COCUMENTATION TO SUPPORT THE SCAPE.
- F. TAB CONTRACTOR SCOPE SHALL INCLUDE ALL NEW SYSTEMS AND EQUIPMENT (EF-1 AND ER-2).
- TAB CONTRACTOR SCOPE SHALL INCLUDE EXISTING SYSTEMS AS IDENTIFIED IN THE DOCUMENTS OR AS REQUIRED FOR A FULLY FUNCTIONAL AND FULLY BALANCED SYSTEM.
- TAB CONTRACTOR SHALL PROVIDE REPORT IN ACCORDANCE WITH UTILIZED STANDARD ALONG WITH AN EXECUTIVE SUMMARY STATING THE EXTENT OF SYSTEM COMPLIANCE, SYSTEM DEFICIENCIES AND RECOMMENDED CHANGES, THIS REPORT SHALL BE SUMMITTED WITHIN THREY (3) DAYS OF COMPLETION OF THIS SCOPE OF WORLD.
- J. TAB CONTRACTOR SHALL COORDINATE WITH THE MC AS REQUIRED TO PERFORM SCOPE OF WORK DETERMINE CONTROL SETPOINTS, ETC, FOR PROPER OPERATION OF THE SYSTEM,

EX, AUTOMATIC CONTROL SYSTEM

- A GENERAL
- CONTRACTOR SHALL FURMON AND INSTALL ALL COMPONENTS REQUIRED FOR A COMPLETE AND FUNCTIONAL CONTROL SYSTEM TO CONTROL DEVICES, EQUIPMENT AND SYSTEMS. FURNISH AND INSTALL CONTROL WIRING IN COMBUT, THE CONTRACTOR SMALL INSTALL AN 129 YOLT AND 24 YOLT WIRING AND COMBUT REQUIRED FOR ALL CONTROL DEVICES AND CONTROL PANELS FROM THE DESIGNATED DISTRIBUTION PANEL.
- MONTOR THE COMBUSTIBLE YAPORS THAT OFF GASES DURING BATTERY CHARGING OPERATIONS INDOORS WITH A HYDROGEN GAS DETECTION SYSTEM.
- R. GENERAL DECLEDEMENTS FOR STAND ALONG CONTROL SYSTEMS
- CONTROL OF THE EDUPMENT OR SYSTEMS BY THE CART BARN SHALL OPERATE BASED ON ITS STAND ALONE LOCAL CONTROLLER INDEPENDENT OF THE CLUBHOUSE BUILDING AUTOMATION SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED CONDUIT, CONTROL WINING DIAISY CHAPIL NETWORK WIRING CABLING, DEVICES INTERLOCKS, SAFETIES. PROGRAMMENG, ETC TO CPERATE THE GOLUMBUST OR SYSTEMS.

B. GENERAL REQUIREMENTS FOR HYDROGEN GAS DETECTION SYSTEM

- PROVIDE VENTILATION PER INTERNATIONAL MECHANICAL CODE 2012 SECTION 502.3 BATTERY CHARGING AREAS FOR POWERED INDUSTRIAL TRUCKS AND EQUIPMENT.
- . FROMDE A GAS DETECTION SYSTEM APPROPRIATE FOR AN ELECTRIC GOLF CART STORAGE GULDING. SENSING AND MONITORING FOR FLAMMABLE HYDROGEN GASES OMITTED BY THE BATTERY CHARGING STATIONS.
- PROVIDE A MODEL TOXAMAN CONTROLLER OR EQUAL BY TOXALERT INTERNATIONAL, INC. TO MONITOR THE HYDROGEN SENSORS.
- A WHAP A PRODUCT STREAMS.

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 THE ASSOCIATED ENVIRONMENT FAIRS (FF.) AND FF.) DWILL START FER THE SCHOOLS OF STREAMS.

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- 4. WHEN A SENGR NOKATES A GAS CONCENTRATION OF NOY LET, OR INCHER
 4.1. AN ALARMS SET OF CONTACTS SHALL CLOSE WHICH SHALL INDICATE KLARM CONCENT
 AND GUIST AN AMARINE LED ANG ASS DETECTION AMASS SHALL COUNT.
 4.2. EXHAUST FAN OPERATION SHALL CONTINUE TO RUN PER THE SCHEDULE ON THE
 DAMMSTOR
- THE CONTROLLER SHALL HAVE INTERNAL LED'S TO INDICATE "WARMING LEVEL" AND "ALARM LEVEL" FOR EACH SENSOR INPUT.
- 7. PROVIDE WITH PANEL AUDISLE ALARM LABELED WITH PUSH BUTTON SILENCE SWITCH.
- 8. PROVIDE PANEL FRONT MOUNTED LED'S FOR EACH SENSOR TO INDICATE WARNING AND ALARM LEVELS.
- PROVIDE DIGITAL DISPLAY (SENSOR VALUE) FOR EACH SENSOR INPUT, DISPLAY MOUNTED CH PANEL FRONT.
- 10. PROVIDE SENSOR FAILURE ALARM.
- I. HYDROGEN SENSORS SHALL BE BY SAME MANUFACTURER AS GAS DETECTION CONTROLLER 11. HORROGES SENSORS SHALL BE BY SAME IMMUNEATURER AS GAS DETECTION CONFROLER.

 12. FOR THE HORROGES BEDURER, PROMPE TOWNERS THE THANKING.

 CONSUSTBLE THANKINETER JESSOR MODILE OR EQUAL PER DRAWINGS.

 12. OCATALTICALLY MODE PLATINGS BEST SENSOR

 12. OCHO LEE MANCE

 13. OCHO LEE MANCE

 14. OCHO LEE MANCE

 15. OCHO LEE MANCE

- 13, ONE YEAR MANUFACTURER WARRANTY.
- 14. A FUNCTIONAL TEST OF GAS DETECTION SYSTEM ENSURING CORRECT VENTELATION INTERLOCK AND ALARM ANNUNCATION USING PROPER COMBUSTBLE TRACE GAS PPM SHALL BE CONDUCTED BY EQUIPMENT REPRESENTATIVE AT COMPLETION OF INSTALL.

C. TRAINING SHALL INCLUDE.

- BASIC THEORY ON THE INSTALLED SYSTEMS. THE REVIEW SHALL COVER EACH MAJOR SYSTEM AND SHALL COVER A SAMPLING OF EACH UNIQUE TERMINAL EQUIPMENT CONFIGURATION.
- 1. LOCATIONS OF AND HOW TO RESET EQUIPMENT SAFETIES.
- ADJUSTING EQUIPMENT SCHEDULES, DEMONSTRATE PERMANENT CHANGES TO WEEK SCHEDULES AND ALSO SPECIAL EVENT AND HOLIDAY SCHEDULING.
- ADJUSTING SETPOINTS AND SETPOINT RESETS. THE OWNER SHALL BE ABLE TO ADJUST THE OPERATION WITHOUT MANUAL CHERRIDES.
- 6. ANSWERING OWNER'S STAFF DUESTIONS.
- ADJUSTMENT OF SECUENCE OF OPERATIONS AS REQUESTED BY THE OWNER DURING TRAINING, PRIOR TO ENACTING ANY CHANGES, APPROVAL SHALL BE OSTAINED FROM THE EXPERTING.

XVII. FUNCTIONAL TESTING

- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR AND MATERIALS REQUIRED TO PERFORM FUNCTIONAL TESTING ON THIS PROJECT.

- BICOMPLETENESS OF ANY OT THE FOLLOWING LITEUS:

 1 AS REPORT.

 1 AS REPOR
- FUNCTIONAL TESTING ACTIVITIES
 - FUNCTIONAL PERFORMANCE TESTING SHALL DEMONSTRATE THE INSTALLATION.
 OPERATION OF COMPONENTS SYSTEMS, AND SYSTEMS TO ASYSTEMS REFRACING RELIATIONS HIS IN ACCORDANCE WITH PLANS AND SPECIFICATIONS SUCH AS OPFUNCTION, AND MAINTENANCE SERVICEABLITY, TESTING SHALL INCLUDE:
 - a. ALL MODES AS DESCRIBED IN THE SEQUENCE OF OPERATION b. FULL-COAD AND PARTIL COAD CONDITIONS
 - SEASONAL CONDITIONS
 REDUNDANT OR AUTOMATIC BACKUP MODES
 PERFORMANCE OF AURING
 MODE OF OPERATION UPON A LOSS OF POWER AND RESTORATION OF POWER
 - CONTRACTOR TO INCLUDE TIME AS REQUIRED TO MODEY THE SEQUENCE OF OPERATIONS AS DETERMINED DURING FUNCTIONAL TESTING TO OPTIMIZE ENERGY AND/OR OPERATION OF SYSTEM. FUNCTIONAL TEST OF GAS DETECTION SYSTEM UPON COMPLETED INSTALLATION SHALL BE BY EQUIPMENT REPRESENTATIVE.

MECHANICAL SYMBOLS GENERAL NUMBER SECTION VIEW REFERENCE PSHEET. DUCTWORK NEW DUCTWOOD DIRECTION OF AIRELOW Z SECTANGIN AS CAMAINT/SET/1991 DISCTINGS DO SECTINGS AS EVALUATION OF TRACK UP © STATUK GRULEREGISTER. DIFFUSER TAG CONTROLS H

ABBREVIATIONS ABBREVIATIONS ASSESSMENT ASSESSM



WEISS Architecture • Planning • Design

MAX NC NOTES



REPLACEMENT CART BARN





					2 3000	R 194TE NCE MOVENTED FLANGED FRANC WITH SCHEWY BENEL ACCEPTANCE MARCH ACTURENG NICLED			hoov				
						WALL LOUVERS (\	WL)						
EC.#	TAG				ce	NERAL				9550	FORMANCE		
AHS	240	SERVICE	LOCATON	UFF	Noter	FRANCE TYPE	WOIN	HEICHT	ARFLOW (CFM)	FREE AFREA (SF)	MAX FACE VELOCITY FINA	MAX APD (NWC)	NOTES
W.	1	Ехна;61	NORTH	PLEKN	EUF40750X	FEXTRODED ALTERNATIVE DRIVINGSEE STATIONARY LOUVER	32	22	2150	3.50	E45	¢ 67	SEE BELOW
м	2	EXP4451	SOUTH	RLEWN	ELF4179EX	FEXTHLOED ALLEVINAN DHAMMELE STATIONARY LOUVER	302	72	2150	151	615	0.67	SEE BELOW
W.	3	10AVE	EAST	RUGAIN	ELCHISD	COMBNATION LOWER	54	42	1306	6.35	600	C.06	SEE SELOW

							CABINET L	INIT H	EATE	RS (CU	H)							
8009	tAG .					CENERAL						PERM	MALLINGE			LECTRICA	2	È
A29	NO	LOCATION	tre	MCCCEL.	OPER WEIGHT (L\$5)	NYRENTING TYPE	APPRAICEMENT	LENGTH (N)	(24) WETH	HEGHT (N	Kay	1794	AFFLOW (OW)	HEAST AIRSE (P)	VOLTS	м	PHASE	MOTES
CUH	1	SPROMIER 03	OVARK	Condition	25	WALL	PECESSED	15 75	- 6	19.25	14	42	130	57	120	40	,	SEE BELO
CH	1 2	TOLET 04	CVAN	CMQ130F	- 23	MALL	RECESSED	15.75	5	19.25	ts	62	130	57	120	60	1	SEE BELO

, CONTRACTOR TO COMPTRY COMPASSILITY WITH SULDING CONSTRUCTION PRICE TO GROCIANG. FOR YALL MYARE LOWER, ELECTRIC ACTUATOR TO SE PURPOSHED AND INSTALLED ON DAMPER I

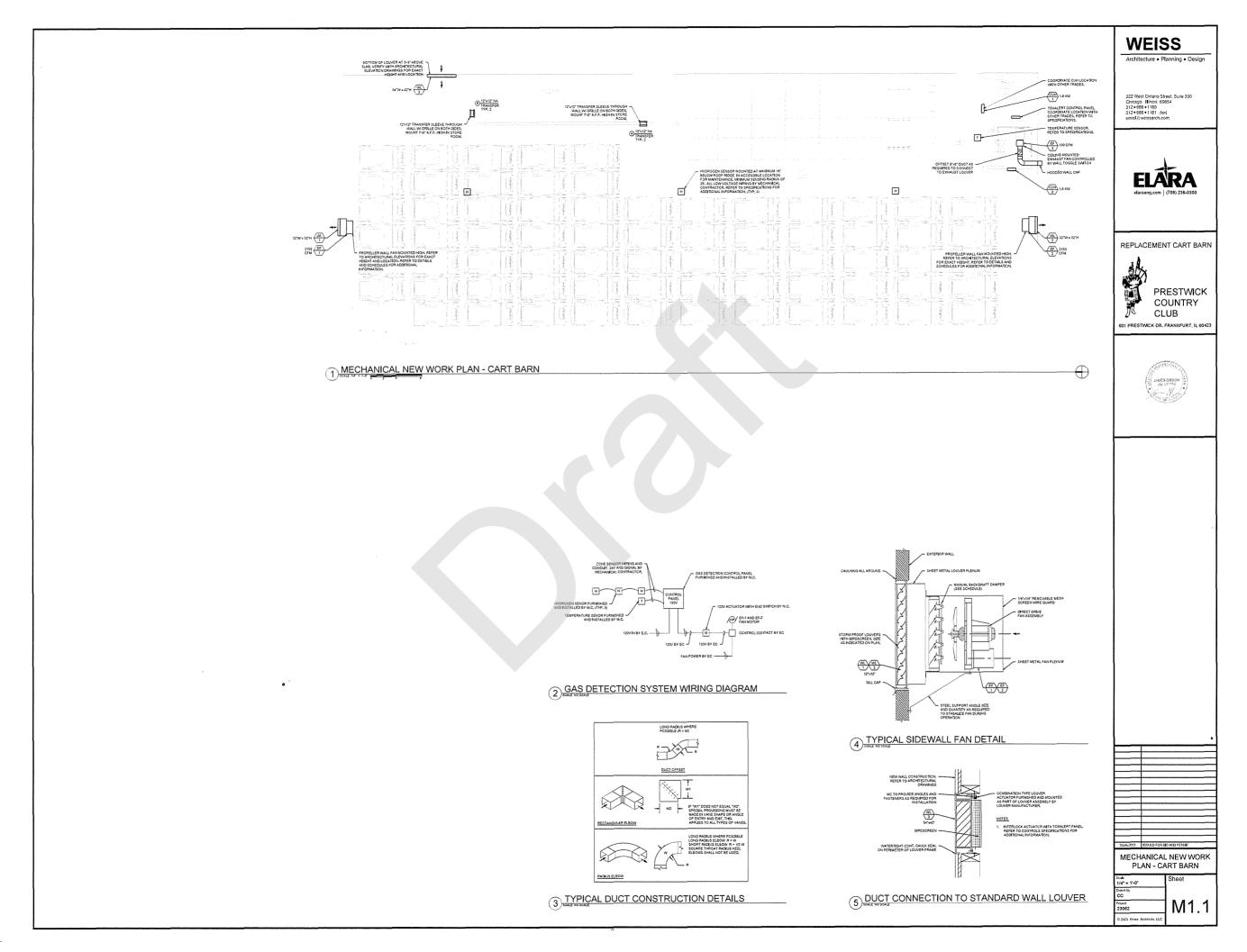
						Ε	XHAUS	ST FANS (EF)									
EQUP	146				CENERAL						EAN							
ES4	140.	SERVICE	LOCATION	AFR	NODET	TYPE	DRIVE	DAMPER SZE (N1)	CFV	th MC	FRPN	SONE	2HP	э₽	VOL75	HZ	FHASE	NOT
£f	1	CART BARN	NORTH	COOK	16/00/20017 (VF)	PROP WALL FAS	DESC!	24x24	2150	625	1113	9.1	0.21	9.25	115	6)	1	16.
£+	2	CVKL BYNN	SOUTH	6200%	1809/25017 (VF)	PROP WALL FAN	D446C1	34+34	2150	9.25	1150	9.1	0.21	2.25	115	60	1	16
E+	3	ICLEI	ICLE1	CHEENHECK	SP A125	CHENC	DEECI	516	500	0.27	1100	a,	0.61	25%	115	50	1	1,2
-		OUNTED SPEED C	OMFROL															
		COLLAR																
		mp - 2010st 20	-															
				TECTION CONTROL	PANEL AND TEMP	ETATURE SENSOR P	KIFER 10 SA	PECFICATIONS FO	R REQUA	EMENTS								
7	PHONE	OF HOOODED WATE	CIP.															
8.	FAN SH	WILL BE CONTROL	LED BY WALL TO	COTE SALLOH MI	THE POCATOR LIGHT	T												. •.

				MEC	HANICA	L / ELECTR	ICAL COO	RDIN	ATION S	CHEDUL	E				
otes:															
1.	ECCUPATION	FLENGHED BY THE ELECTRICAL CON	FRACTOR M	ARKED CC.	MECHANICAL CO	NTRACTOR WARKE	D MC								
2	ALL CONDIN	AND WHITE FOR INTERPRETATIONS CO.	NOW JOHOL	CUPPEN	NIERLOCK SHA	LL HE BY MECHAN	CAL CONTINUE CTOR	t.							
3.	# STER	SPONSBUTY OF THE ELECTRICAL CO	POTOMPTIME	TO COOKE	ATE AND REVE	WITH ELECTRICAL	CHARACTERSTA	S. AMPAG	TY, AND OTHE	OR REQUIREMENT	S OF COMPONENT	S BEFORE	NSTALL	ATION OF	NOFIN.
4	ALL LOOSE :	STARTERS SHALL NOLICE HOA SYNT	PA PADT LO	NI MOUNTE	O IN COVER DO	NURCE TRANSPORE	ER AND ONE (1)	10 200	NE IT NO AU	NEWNY CONTACT	rs				
4	SOE SEECE	CATIONS AND DRAWINGS FOR TYPES	ANDIOCAT	tows or or	VICES SOCIAL	FDATION									
bo	UP TAG	1			UNI MOUNTE	DEVES			10	OSE DEVICES		l ti	£CIRIC	ÁL.	
ADD	NO.	EQUIPMENT DESCRIPTION	VFD	STARTER	DISCONNECT	OVERCURNENT PROTECTION	SINGLE POINT CONNECTION	YFD	PATRATE	DISCONNECT	OVERCUPOSENT PROTECTION	VOL15	HZ	PHASE	NOTES
	01,52	ELECTRIC CAUNET UNT HEATER			INC.		YES				E0	120	(jo	1	
CUH		FINALEST FAN			MC		YES		EC.	1	60	115	60	1	
CUH	91 62	EDWEIN FAN							EC			115	50		
CUH	91 E2	EXHAUST FAN			NC :		YES				EC.				
_					ыс		YES YES		- 6-	1	€¢.	129	60	1	,
EF EF	13	EXHAUST FAN			UC .				- 62		EC EC		-	1	

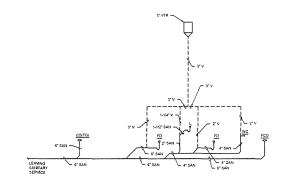
VENTILATION SCHEDULE BREATHING ZONE O A EXHAUST (CFM) | CFM / CFM / EXHAUST | EXHAUST | (CFM / GFM / G COOLING HEATING EXHAUST (CFM) (CFM)

MECHANICAL SYMBOLS. ABBREVIATIONS, AND NOTES

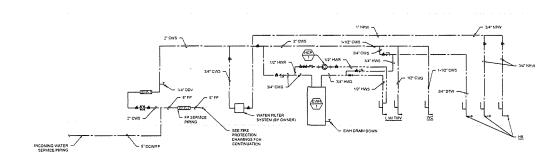
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SANITARY/VENT NEW WORK RISER DIAGRAM



2) DOMESTIC WATER NEW WORK RISER DIAGRAM



	PLUMBING PLUMBING	SYMBOLS	
GENERAL			MPE REDUCERINGREASER
0 3	FLOCR DRAIN		PIPE TEE, DOWN
3	FLOOR SINK		PIPE TEE, 45" HORIZONTAL
٥	FLOOR GLEANOUT		FIRE TEE, 90" HORIZONTAL
•	ROOF DRAIN		PIPE TEE, UP
<u>e</u>	EMERGENCY SHUTOFF	The second of the second	PIPE UNION
9	POINT OF CONNECTION OF NEW TO EXISTING WORK		THREADED HOSE CONNECTION
20	POINT OF DEMOUTION TO EXISTING WORK		BALL VALVE
ABBREVIATION PAIMBER	ECUPMENT TAG	# →	BUTTERFLY VALVE
ASSREVIATION SR NUMBER	PISER TAG	\$ →	CHECK VALVE
MATCH LINE	MATCH UNE		GAS COCK
SEE SHEET NO. XM.##	VIBY REFERENCE	4-	GATE VALVE
X#J## SHEET #	VIEW REPERCING		GLOBE VALVE
Z VIEW#	SECTION VIEW REFERENCE		MANUAL BALANCING VALVE
SHEET #			NEEDLE VALVE
(024)	KITCHEN EQUIPMENT TAG		OSEY GATE VALVE
PLUMBING			PRESSURE REDUCING/REGULATING VALVE
	NÉW PIPING	ja	PRESSURE/SAFETY RELIEF VALVE
	EXISTING FIRING TO REMAIN	##_	STRAINER
	EXISTING PIPING TO BE DEMOUSHED	A	on which
	NÉW PIPE CONNECTION	1	STRAINER WITH BLOWDOWN VALVE
	DIRECTION OF FLOW		THERMOSTATIC MIXING VALVE
	DIRECTION OF PIPE PITCH, DOWN		BACKFLOW PREVENTER
→ □	PIPE CONTINUATION		FLEXIBLE PIPE CONNECTOR (CR CONNECTIO
	DOMESTIC COLD WATER PIPING		HOSE BISS
	DOMESTIC HOT WATER SUPPLY PIPPYO	······································	METER
	DOMESTIC HOT WATER RETURN PIPING		P-TRAP
	DRAIN TILE FIFING		PIPE AUGNMENT GLIDE
	VENT PIPING		PIPE ANCHOR
	CLEANOUT		PIPE SLEEVE
	ECCENTRIC PIPE REDUCER		MPE WELL
	ORIFICE PIPE UNION	⊕ PSI	PRESSURE GAUGE
	FIPE CAP		PRV STATION
	PIPE ELBOW, 30" HORIZONTAL		
	PIPE ELBOW, 45° HORIZONTAL	TOI 0	PUMP
	PIPE ELBOW, 50" HORIZONTAL		SHOWER
	PIPE ELBOW, TURNED DOWN		TEST PLUG
	PIPE ELBOW, TURNED UP	g-r	THERMOMETER

						PLUMBI	NG FIXTURE SCH	EDULE					
EQUIP ASB.		FIXTURE	2426	TYPE	MANUFACTURER	MODEL NO	COLORMATERIAL	TRAP	CAMPLER	MOUNTING HEIGHT	SUPPLY FITTING	STOPVALVE	NOTES
wc	1	WATER CLOSET	ELONGATED	NALL MOUNTED	AMERICAN STANDARD	AFWALL MILLENNIUM 3352 101 WITH EVERGLEAN	WHITE	- INTEGRAL	SMTH SERIES 200	TOP OF TOILET SEAT AT 15" AFF	SLOAN G2 OPTIMA PLUS 8111-16	INTEGRAL	1.2.3.0
L	1	LAVATORY (ACA)	20-12"X 18-14"	WALL MOUNTED	AMERICAN STANDARD	LUCEPNE 0355.012	BYARCHTECT	MCGU:RE 8X02CF	SWITH SERIES 700	RIM AT MAXIMUM OF 24 IN. AFF	SLOAN EBF 650 BAT-0.5GPM IR	MCGUIRE H2167COLK	2, 4, 5, 6, 7, 9
нв	1	EXTERIOR NON PREEZE HOSE BISS	612×1-12	WALL MOUNTED	WOODFORD WEG	905	ERASS FINEH FINAL APPROVAL BY ARCHITECT	NA	N/A	MINIMUM OF 36 IN AFF	DITEGRAL	INTEGRAL	10.11
на	2	EXTERIOR NON-FREEZE HOSE 5/86	G いて X デリンプ	WALL MOUNTED	WOODFORD MFG	866	ERASS FINISH FINAL APPROVAL BY ARCHITECT	14A	N/A	MINIMUM OF 35 IN. AFF	INTEGRAL	INTEGRAL	10

- L
 PROVIDE WITH BEMS NO. 1986SECT, OPEN FRONT, SELF
 PROVIDE WITH BEMS NO. 1986SECT, OPEN FRONT, SELF
 PROVIDE WASHINGTON FROM THE SELF SELF
 PROVIDE WASHINGTON FROM THE TRANSPORTER WITH TAKENEDE

- PROJECT DECOMPTION CONCENTRATE WITH TAMPICE MANAGEMENT OF THE PROJECT DECOMPTION OF THE PROJECT

11 THIS HOSE SIBBIS MOUNTED INSIDE THE BUILDING BUT THE BUILDING WILL SENEED TO SE WINTERIZED SO ANON-FREEZE TYP	YPE HOSE 6:69 'S RECURRED
--	---------------------------

				EXPANS	SION TA	NK SCI	HEDULE			
A50.	NO	SERVICE	LOCATION	MANUFACTURER	MODEL NO	CAPACITY (GAL)	WGANNG PRESSURE (PSI)	SIZE (APPROX.)	MAX CAPACITY WEIGHT (LEG)	NOTES
ετ	,	WATER HEATER	WATER SERVICE POOM	AMTROL	ST-50-00	2.0	150	FOIRKIEN	20	1,2,3
3	PROVE THERM	É 4º CONCRE AL EXPANSION	RACTOR SHALL PRO TE PAD FOR FLOOR I TANK SHALL SE GO SION TANK AND THE	MOUNTED EQUIPME NASCIED TO THE C	NT					LOCATED

ECUIP	TAG	TYPE	2:16	MANUFACTURER	MODELNO	TOP FRASH	NOTES
FD	,	FLOOR DRAIN (PUSLIC AREAS)	4.	SMTH	2015-A	NICKEL BRONZE	1
20	2	FLOOR DRA'N (MECHANICAL AREAS)	5*	SMTH	291D-A	STANDARD	
700	2	FLOOR CLEANOUT (MECHANICAL AREAS)	٠	SMITH	4231	STANCARD	
COITGI	,	GLEANOVI (TO GRADE)	6*	SWITH	4290	STANDARD	

			BACKFLO	W PREVENTER SCHEDU	LE	
ASB	TAG NO	MANUFACTURER	MODEL NO	SERVICE	S128	Notes
SFP	1	WATTS	LF909	COMESTIC WATER SERVICE	2"	12145
peb.	2	ZURN	3304DA-8F :	FIRE PROTECTION SERVICE	6"	123456783

- MENT ACCEPTANCE WITH PREVENTION DUPLAY.
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					ELE	CTRIC V	VATER H	LEATER	SCHE	DULE				
EGUP	TAG	LOCATION	TYPE	MANUFACTURER	MODEL NO	CAPACITY	COLKW	KW	STUH	ELECTRICAL V.PH	AMPS	OPH RECOVERY	OPERATIONAL	١,
ADB	NO					(GALLONS)	CHIAR	OUTPUT	QUIPUT			AT 130 F RISE	MEIGHT (LBS)	1
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2	PROVID	e a' concrete pad to in e code compliant safet de thermal expansion t	Y DEVICES	VALVE LOCATION A										ion to
	CONCO													
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EQUIP TAC	1		CENERAL			PE	REORUMO	E		ELEC!	RICAL		
483. MG	. SERVICE	LOCATION	uen	MODEL	TYPE	GPM	HEAD (FT, WC)	RPM	F L.	VOLTS	PHASE	RPsj	NOTE
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UCIES			ROULATOR FOR POT			,	78	2900	1 10	120	<u>'</u>	2960	1

	THERMOSTATIC MIXING VALVE SCHEDULE							
ASS	100	MUNIFACTURER	MODEL NO	WASHING OW	FLOW AT 10 PSs	DE SORPTION		
they	,	SYMMONG	6419-CK	9.25 GPM	200 GPU	MOUNG VALVE WITH INTEGRAL OFFICIAS (ASSE 1975) FOR AND ATTE TS I CERTIFIED. PROVIDE THE PRODUCTION MOUND VALVE FOR EACH FIXTURE AS INDICATED ON PLANS AND ON REPER DIADRAM PROVIDES ACCESS TO DEVICE.		

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REPLACEMENT CART BARN



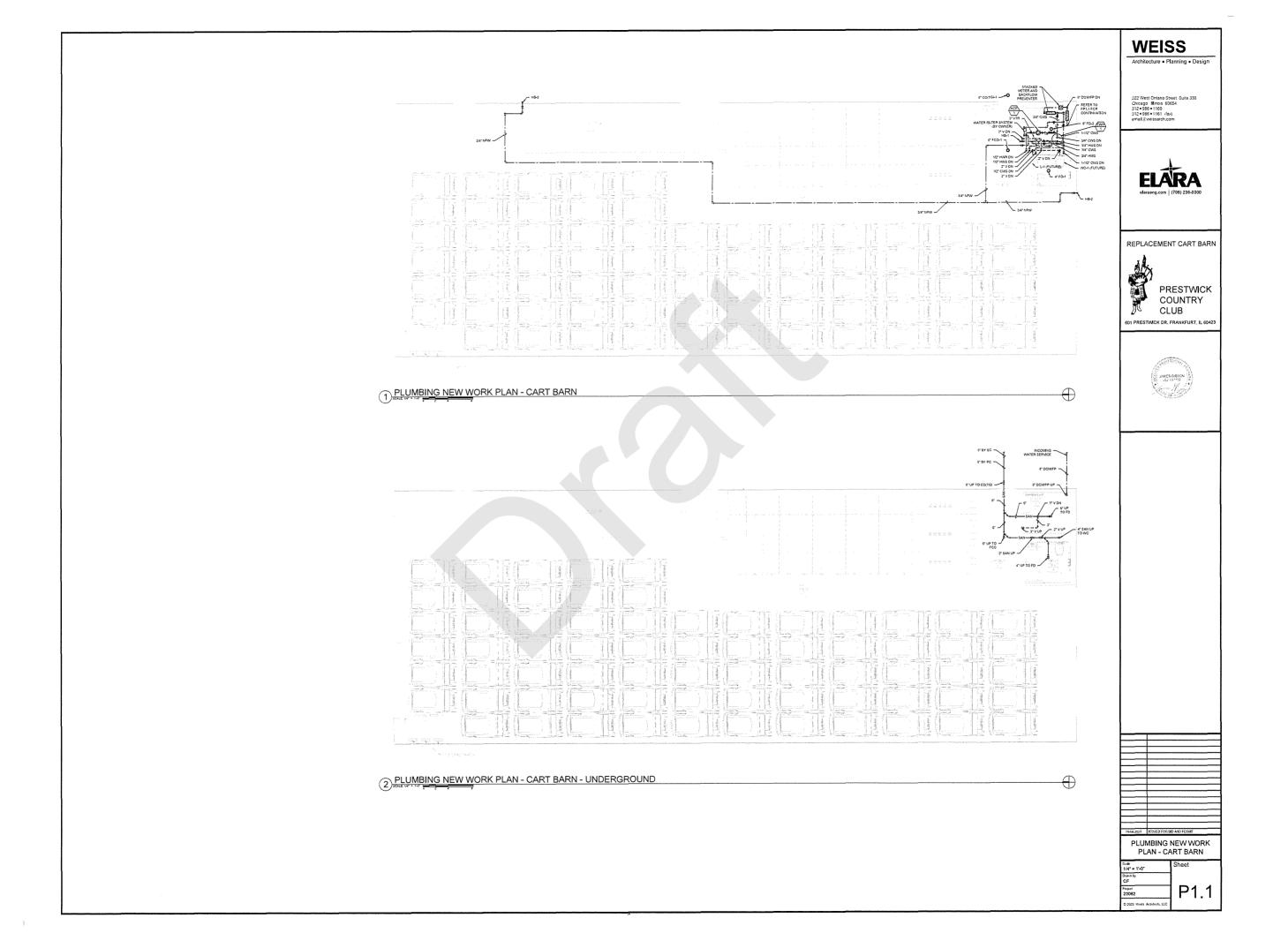
PRESTWICK COUNTRY CLUB

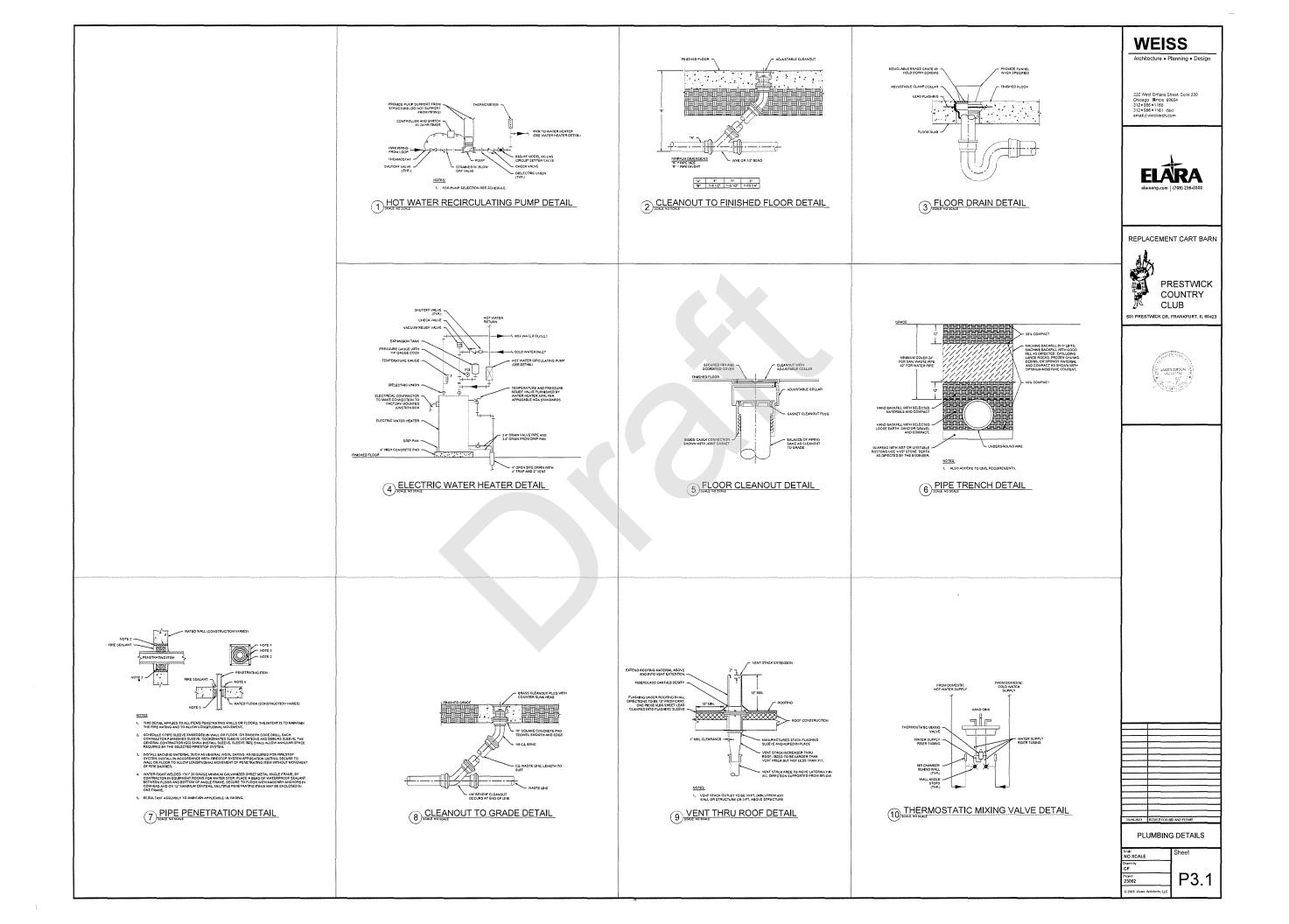
601 PRESTWICK DR. FRANKFURT, IL 60423



PLUMBING SYMBOLS, ABBREVIATIONS, AND NOTES

NO SCALE P0.1





I. GENERAL NOTES

- . ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN CONFORMANCE WITH ALL GOVERNING NATIONAL, STATE, AND LOCAL CODES HAVING JURISDICTION.
- CONTRACTOR SHALL REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO JLL ARCHITECTURAL CIVIL, UTEL LANGOCARROS STRUCTURAL MECHANICAL INSTITUTION OF THE PROPERTY OF AN ANY STRUCTURA OF SOBORRA. THIS CONTRACTOR SHALL WITH THE SET AND MAKE A DEFAULT OF ANY STRUCTURA OF THE SET OF SOBORRAS THE SOUTHANDERS OF ALL CONTRITION FERTILISES OF THE SET OF THE SE THE WORK PERFORMED BY OTHER TRADES ANDOR CONTRACTORS. AND SHALL MAKE SUCH FIELD ADJUSTMENTS AS ARE REGURSED TO ACCOMMODATE PIELD CONTROLOGYS, ALL OF THE ABOVE SHALL BE INCLUDED IN THE SCOPE OF WORK AT NO ADDITIONAL COST TO OWNER.
- SHOULD CONTINUE TO RISO DISCREPANCES IN OR OMISSIONS FROM THE DRAWNISS.

 SPECIALIZATIONS OR OTHER CONTINUET DOCUMENTS OR DISCREPANCES SETTIVED ACTUAL FIELD

 AND THAT OF OTHER TRACES OR BE HOUGH AS TO THE MEANING OF AN CONTINUE OF ANY OWNER AND THE PROPERTY OF THE TRACES OR BE HOUGH AS TO THE MEANING OF ANY CONTINUE OF SOME OWNER AND THE DISCREPANCES OF ANY OWNER AND THE DISCREPANCES OF ANY OWNER AND THE DISCREPANCES OF SOME OWNER AND THE DISCREPANCES OF SOME OWNER AND THE DISCREPANCES OF SOME OWNER AND THE DISCREPANCES OF ACCUSATION SHATE OWNER OWNER AND THE DISCREPANCES OF ACCUSATION SHATE OWNER OW
- THE DRAWINGS INDICATE DIAGRAMMATICALLY THE INTENT, REQUIREMENTS FOR AND LOCATION
 OF THE WORK INCLUDED MIDDER THIS CONTRACT, ALL WORK REQUIRED TO AFFECT THE INDICATED
 DEADN INCLUDING GETHAL IN THE HOWN BUT WHOSE INCLUDIATION WOULD BE DESURED.
 REQUIREMENT BY A NOWILEDGEABLE TRADESGMAN BULDING ENGINEER. CR TECHNICIAN, SHALL
 BE PROVIDED TO ADDICTIONAL COST TO THE OWNER.
- E. IT IS THE INTENT OF THESE DOCUMENTS THAT THE CONTRACTOR PROMDE ALL LABOR, MATERIAL EDURYMENT, AND TOOLS FOR THE COMPLETE INSTALLATION OF ALL WORK SHOWN ON THE PLANS AND/OF DESCRISED HERBIN INCLUDING ALL DRIVERS, CONTROLS, MICHAEL PROPERTIENINGES REQUIRED TO SET THE REM STREAMS HOTO PROFITATION, UNLESS OTHERWISE OTHER OF THE PROFIT OF THESE SHOTO OFF.
- NEGARRO TO SET THE NEW YOTENS MIT OPPRIATION UNESS OTHERWISE NOTICE OF CONTRACTOR SHALL PERPEY ALL MONTHMEN APPRAISED HE HE HE HE TO A DISCALDIO PROPER MOUNTMEN APPRAISED HE HE HE TO A PECETTE MOUNTMEN APPRAISED HE TO THE TO A PECET MOUNTMEN APPRAISED HE TO THE TO A PECET MOUNTMEN APPRAISED HE HE TO A PECET MOUNTMEN APPRAISED HE TO A PECET MOUNTMEN APPRAISED HE HE TO A PECET MOUNTMENT AND A CONTRACTOR SHALL PER A PENAL PECET MOUNTMENT AND A PENAL PECET MOUNTMENT AND A PENAL P

- CONTRACTOR SHALL MAKE ALL AFRANGEMENTS WITH THE BULDING OWNERS REPRESENTATIVE RECARDING WORNSITE ACCESS. SUILCING RULES AND REQULATIONS INCLUDENG WORRING HOURS, REFUE ESPORAL, DOWNERS (CANTION SECURITY INTERPRETIONS OF REACHING UNTIL TIS OF FIXENISMS, OWNERSHAP OF SALVAGED MATERIALS, PARVING, AND ANY OTHER TIESS DELEMENT TO BE OF WITHIN INTERPRET.
- . PROVIDE ALL HOLES, SLEEVES, CUTTING, PATCHING, AND SEALING FOR INSTALLATION OF THE WORK, SEALING SHALL CONFORM TO THE FIRE RATING OF ALL BUILDING ASSEMBLIES, ALL EXTERIOR PENETRATIONS SHALL SE MADE WEATHER TIGHT.
- CONTRACTOR IS REPONSIBLE FOR L'COATING AID SCAUNING OBSTRUCTIONS/REINFORGES IN WHERP PERTERTIONS ARE TO BE MADE. ANY DAMAGE RESULTING FORW PREFERATIONS EN IS CE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT NO ADDITIONAL COST THE OWNER.
- CONTRACTOR SHALL NOT MODIFY OR REMOVE ANYTHING FOUND TO BE IN THE PATH OF NEW SYSTEMS TO BE INSTALLED WITHOUT PRIOR APPROVAL BY THE ENGINEER.
- P. ALL ROCFING WORK SHALL BE BY OWNER APPROVED ROCFING CONTRACTOR(S) TO MAINTAIN ROCF WARRANTIES, THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE ROCFING CONTRACTOR(S) TO ENSURE WEATHER TIGHT CONSTRUCTION AND TIMELY COMPLETION OF ALL WORK.
- O. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTINUOUS CLEANING OF ALL DUST AND DEBRIS RESULTING FROM THEIR WORK.
- CONTRACTOR TO DETERMINE REQUIRED SYSTEM SHUTDOWNS, MAXIMUM DURATION OF SYSTEM SHUTDOWN SHALL BE AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE, SHUTDOWN SHALL BE COORDINATED ON THE JOB SITE WITH THE OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROMOTE OR SHEARLESTED SHUTDOWN.
- CONTRACTOR AND SUB-CONTRACTORS SHALL SE PROPERLY LICENSED, BONDED, AND INSURED AND CAPABLE OF PERFORMING QUALITY WORKMANSHIP OF THEIR TRADE ON THIS PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY.
- V. CONTRACTOR SHALL COORDINATE USE OF THE BLILDING ELEVATOR(S) AND DELIVERIES WITH THE OWNER.
- W. MAINTAIN ALL MANUFACTURER RECOMMENDED AND CODE REQUIRED CLEARANCES.
- X. CONTRACTOR SHALL PROVIDE TRAINING TO THE OPERATING STAFF FOR NEW SYSTEMS AND EQUIPMENT, REFER TO CHINER TRAINING SPECIFICATION SECTION FOR ADDITIONAL INFORMATION.

IL GENERAL DEMOLITION NOTES

- B. ALL DEMOLITION AS CALLED FOR ON THE DEMOLITION DRAWINGS SHALL BE UNDER THIS CONTRACTOR'S WORK.
- C. CONTRACTOR SHALL YISHT THE BUILDING. SEFORE SUBMITTING HIS BID. TO VERBY ALL DIMENSIONS AND EMSTING CONDITIONS WHICH MAY AFFECT HIS YUCRN, NOT ALL EMSTRING DUCTWORK, PIPPING EGUPPINT, ETC. MAY SE INDICATED ON DOCUMENTS.
- D. THE INTERNIT OF THE DEMONITIONIST TO REMOVE THE ITEMS IN THEIR ENTIRETY, THIS INCLUDES ALL ASSOCIATED SUPPORT BASES, ANDI-CRADE, HANDERS, CONTINUES DELL'ORNOW, MERING AND CONDUCTOR POSCEDIA INTERVALE, ROOMS, PRINC DUCTHORN, WHITE, ETC. ASP DISTING SYSTEMS TO REMAIN A TACTIVE MAINS OR OTHER ACTIVE BRANCH LINES, DEAD DEID, LENGTHS SHALL BE CODE COMPAINT, LABLE ARADHORSE CONTINUES, CONDUCT HAND MERE.
- BEFORE STARTING ANY DEMOLITION WORK ON EQUIPMENT WHICH HAS AN ELECTRICAL CONNECTION. IT HE ELECTRICAL CONTRACTOR SHALL DISCONNECT THE POWER AND REMOVE CONDUIT, WHING, DISCONNECT SWITCHES, AND STARTERS UNDER THIS CONTRACT.
- F. CONTRACTOR SHALL BE RESPONSISEE FOR CONTINUOUS CLEANUP THROUGHOUT THE COURSE OF THE DEMOLITION WORK.
- G. ALL EQUIPMENT, MATERIAL, ETC, THAY IS DEMOLISHED SHALL BE REMOVED FROM THE BUILDING SITE BY THIS CONTRACTOR IN A PROPER AND LEGAL MANNER. NO ITEM WHICH IS DEMOLISHED MAY BE REUSED UNLESS DEPCHPACLULY NOTED.
- H. ANY CONTROLS HARDWARE OR PROGRAMMING NO LONGER NECESSARY TO ACCOMPLISH THE SEQUENCE OF OPERATIONS SHALL BE DECOMMISSIONED.

M. SHOP DRAWINGS, SUBMITTALS, AND AS-BUILTS

- CONTROLTO SAME SIMBET IN THE DURBIER CONTROLTOR SHOP PROVINCES. SHOP PROVINCES AND PR
- CONTRACTOR SHALL SUBMIT TO THE ENGINEER MANUFACTURERS' SUBMITTALS FOR ALL EQUIPMENT AND ACCESSORIES, CONTRACTOR SHALL PROCEED WITH PROCUREMENT ONLY AFTER RECEIVING SUBMITTALS MARKED REVIEWED.
- D. CONTRACTOR SHALL SUBMIT TO THE ENGINEER ONE (1) FULL-SIZE PAPER COPY AND AN ELECTRONIC FILE OF THE AS-BURT DRAWNIGS, RECORD LOCATIONS OF CONTROL COMPCIN INCLUDING CONTROL UNITS, GAUGES, AND SENSORS, REVISE SHOP DRAWNIGS TO REFLECT ACTUAL INSTALLATION AND OPERATING SEQUENCES.
- E. CONTRACTOR SHALL SUBMIT TO THE ENGINEER ONE (1) PAPER COPY AND AN ELECTRONIC FILE OF ALL EGUPMENT INFORMATION, INCLUDE OPERATIONAL AND MAINTENANCE INSTRUCTIONS, PARTS LISTS, SUBMITIALS, AND DECORPHYME LITERATURE.

IV. MATERIALS AND EQUIPMENT

- ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE NEW, UNLESS
 OTHERWISE STATED IN THESE CONTRACT DOCUMENTS, AND FREE FROM DEFECTS.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.
- C. CONTRACTORE RECURED TO RESERVE AL CHANNOS, MUTERALE AND ECEMPIST EXPORT PRO-TRE SCHEDUSES AND DETAILS AND AS ENCLUEDS THAN EAD IN OMSTREAM, OR ECHMENT SUBSTITUTIONS WALL BE CONSIDERED AFTER THE AWARD OF CONTRACT, IF CONTRACTOR EXPERT SCHEDUSE TO SCHEDUSE RECURSOR CONTRACTOR MUTER SUBSTITUTION WITH ANY EXPORTANT WITH THE SACE BID LET OF SCHEDUSE RECURSOR MUTERAL CONTRACTOR MUTER SUBSTITUTION WITH WITH THE PRO-TREMENT OF SCHEDUSE AND ASSESSMENT OF THE PROPERTY OF THE
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE PURCHASE. DELIVERY, RECEIVING UNCACING, UNCREATING, STORING, SETTING IN PLACE, AND PROTECTING OF ALL NEW RECURPING PRIVATED BY THE CONTRACTOR OF PROVIDED TO THE CONTRACTOR BY THE OWNER, AND SHASECURES SUCH EQUIPMENT FROM DAMAGE UNIT, THE OF FINAL ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL STRUCTURE SLEEVES. SHAUS, ETC. REQUIRED TO LEVEL AND SUPPORT FORMMENT AND MATERIALS, INSTALL NONMETALLIC NON-SHRINK GROUT FOR LEVELING EQUIPMENT BASES.

- CONTRACTOR SHALL VERIFY ALL PHYSICAL, ELECTRICAL, INGRESS, ETC. REQUIREMENTS FOR ALL FOLIABRENT SHORE TO CONTRACT
- CONTRACTOR SHALL SUBMIT TO OWNER THE PROPOSED LABELS/IDENTIFICATION PRODUCT FOR EACH PIECE OF EQUIPMENT PRIOR TO ORDERING, EQUIPMENT LABELS/IDENTIFICATION SHALL CONSERSE TO THE FOLLOWING.
- 2. LETTER COLOR WHITE.
- I, MAXIMUM TEMPERATURE, ABLE TO WITHSTAND TEMPERATURES UP TO 150 DEG F MINIMUM LABEL SIZE: LENGTH AND WIDTH VARY FOR REQUIRED LABEL CONTENT, BUT NOT LESS THAN 3-1/2 BY 3M INCH.
- I. MINIMUM LETTER SIZE. 1/4 INCH FOR NAME OF UNITS IF VIEWING DISTANCE IS LESS THAN 24 BICHES. 1/2 INCH FOR MEWING DISTANCES UP TO 72 INCHES, AND PROPORTIONATELY LARGER
- ETTERING FOR GREATER VIEWING DISTANCES, INCLUDE SECONDARY LETTERING DVO-THIRDS TO THREE-FOURTHS THE SIZE OF PRINCIPAL LETTERING. 7. FASTENERS STAINLESS-STEEL RIVETS OR SELF-TAPPING SCREWS. E, ADHESIVE, CONTACT-TYPE PERMANENT ADHESIVE, COMPATIBLE WITH LABEL AND WITH SUBSTRATE.
- H. EQUIPMENT DATA LABELS AND OTHER IDENTIFICATION SHALL NOT BE ORSTRUCTED.
- ALL ECMPMENT INCLUDING BUT NOT LIMITED TO MATER HEATERS, PUMPS, PRESSURE REDUCIN WALVES, ETC. LOCATED ABOVE PINISHED CELLINGS TO BE PROVIDED WITH A REMOVABLE DPAIN PAIL DRAIN PAIN ESCHARIOS SHALL BETHROUGH AN INDIRECT WASTE PRE SIX MEANS OF AN ARI OR POR WITH LUISO OVERFLOW WANTON AND ARROW HEATEN DE YANGE PRE SIX TO

V. OWNER TRAINING

- THE CONTRACTOR SHALL PROVIDE DEMONSTRATION AND TRAINING TO OWNERS PERSONNEL FOR NEW SYSTEMS AND EQUIPMENT, THE COSTS ASSOCIATED WITH THIS SHALL BE INCLUDED AS PART OF THE BASE BED UNLESS OTHERMISE NOTED.
- ALL EQUIPMENT MANUALS, INSTALLATION OPERATION AND MAINTENANCE NANUALS, ETC. SHALL BE TURNED OVER TO THE OWNER PRIOR TO COMMENDING OWNER OBMONSTRATION AND TRAINING, REFERT TO PROJECT CLOSEOUT DOCUMENT REQUIREMENTS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 4 HOURS OF TRAINING OVER 1 SEPARATE VISITS ON SITE FOR OWNER PERSONNEL.
- OWNER TRAINING SHALL BE CONDUCTED AFTER FUNCTIONAL TESTING IS COMPLETE AS APPROVED BY THE ENCINEER AND INHERE APPLICABLE) COMMISSIONING AUTHORITY.
- E. COGRDINATE TRAINING WITH OWNER ENGINEER & COMMISSIONING AUTHORITY.

VI. PIPRIG - POTABLE

- PLY WITH PROVISIONS OF COPPER DEVELOPMENT ASSOCIATIONS "COPPER TUBE "SECK", ALL POTABLE WATER PIPMS AND SYSTEM COMPONENTS SHALL COMPLY WITH NISE 61 AND INSPANSE 372.
- SYSTEM COMPONENTS WHICH REQUIRE OBSERVATION OPERATION OR MAINTENANCE SUCH AS VALVES GANGES CONTROLS STRAINERS LINGUIS ETC. SHALL BE READILY ACCESSIBLE THEY SHALL NOT BE CONCEDED IN CHASES OR RODUC CELINGS WITHOUT PROJASSION FOR ACCESS, VALVES WHICH ARE NOT ACCESSIBLE FROM NORMAL WORKING LEVEL SHALL BE INSTALLED WITH OFHAIR WHICE OR RETENIOUS.
- 3. INSTALL PIPING TO PERMIT COMPLETE SYSTEM DRAINING.
- 5. INSTALL PIPING TO ALLOW APPLICATION OF INSULATION PLUS 14NOH CLEARANCE AROUND INSULATION.
- MECHANICAL FITTINGS WILL NOT BE ALLOWED, MECHANICAL FITTINGS MAY BE EID AS AN ALTERNATE WHERE EXPOSED AND ACCESSIBLE IN MECHANICAL ROOMS.

- ZINCH NPS AND SMALLER. TYPE 'N' PRE-INSULATED SCFT CCPPER TUBING NO JOINTS. ENCLOSED IN PVC SLEEVE WHICH ALLOWS FOR A WINMUM OF 1" AIR GAP ARCUND THE COPPER TUBE AND COLFORIENS TO A STATE A δT_A ZINCH NPS AND SMALLER, COPPER PIPING, TYPE K; WROUGHT-COPPER, SOLDER-JOINT PRESSURE FITTINGS, AND SOLDERED JOINTS.
- SINCH NPS (DN8) AND LARGER CLASSISS CEMENT LINED DUCTILE IRON, MECHANICAL JOINT, DUCTILE-IRON FITTINGS, AND RESTRAINED, GASKETED JOINTS.
- ABOVE GROUND FIRING
- 1. ALL PIPE SIZES ALL FIPING SHALL BE TYPE 1, HARD COPPER PIPINGS O DISSULATION

- ALL DAMAGED INSULATION (RESULTING FROM IMPLEMENTATION OF THIS PROJECT) ON EXISTING PIPING TO REMAIN SHALL BE REPLACED,
- MINIMUM INSULATION THICKNESS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND ALL APPLICABLE GODES
- DOMESTIC COLD WATER PIPING: 17
 DOMESTIC HOT WATER PIPING (1,25 NPS AND SMALLER) 17
 DOMESTIC HOT WATER PIPING (1,5 NPS AND LARGER) L-1/2*
 TEPID WATER PIPING: 17
- VAPOR BARRIER JACKET SHALL HAVE FACTORY APPLIED VAPOR RETARDER COMPOSED OF A WHITE KRAFT FACTING REINFORCED WITH GLASS FIBER YARN AND BONDED TO ALUMINAZED FILL, LAF ADDRESSES SHALL BE COMPATIBLE WITH INSTALLATION.
- FURNISH AND INSTALL ALL EXTERIOR INSULATED PIPING WITH DM VEHTURECLAD PLUS 1979 SERRES WILLTHAYERED ALUMINIM LAMINATE, SELF ACHESINE, JACKETING SYSTEM, PROMDE WITH EMBOSSED PRISH AND OCLAN SELECTED BY OWNER.
- 7. ALL INSULATION SHALL BE APPLIED AFTER SUGGESSFUL PRESSURE TESTING OF PIPE.
- VALVES SHALL BE INSTALLED AS A MEANS OF ISOLATION FOR ALL ECLIPMENT, INOMIDIAL EXTURES. GROUPING OF FITURES. SEPARATE ROCUS GROUPING OF ROOMS PORTIONS OF THE SYSTEM AND RESEES, EACH HOROUNDLE SHATROOM AND INTERIOR SHALL HAVE MAKES AS A MEANS OF ESCATION, ALL RECURRED VALVES ARE NOT SHOWN ON FLOOR PLANS OR RISER GAGRAMS.
- LOCATIONS WHERE NEW PIPING IS CONNECTED TO EXISTING SHALL BE PROVIDED WITH A NEW VALVE, PIPING THAT IS UNAFFECTED BY THIS PROJECT SHALL BE EXEMPT.
- MAKE PROVISIONS FOR DRAINING ALL LOW POINTS OF ALL PIPING SYSTEMS WHETHER INDICATED ON THE DRAWNINGS OR NOT. USING A BALL VALVE AND THREADED HOSE CONNECTION WITH CAP. DRAINS SHALL NOT BE LESS THAN 34".
- INSTALL ALL VALVES WITH STEMS IN EITHER AN UPRIGHT (PREFERRED) OR HORIZONTAL POSITION, CONTROL VALVES SHALL BE INSTALLED WITH ACTUATOR LEWNARD UNLESS NOTED OTHERWISE, OFEN VALVE HANDLE POSITION SHALL BE IN THE DIRECTION OF FLOW.
- PROMDE PRESSURE REDUCING VALVES TO NOT EXCEED THE MANUFACTURER RECOMMENDED PRESSURE RATING OF EQUIPMENT OR FIXTURE.
- ISCLATION VALVES SHALL BE MSS SP-61, RATED FOR ZERO LEAKAGE.
- 7. BALL VALVES (4 NPS AND SMALLER)
- MESS SATION
 MESS SATI
- 8. SWING CHECK VALVE (2 NPS AND SMALLER)
- 12. BALANCING VALVES () NPS AND SMALLER
- BRASS BOTO ASTIN BISE-64.8 BRASS BALL ASTIN BISE CARCOO 6. OLGO AND CHRON RILLED ITE SEAT PRICED 6. FEW ASTIN OF THIS OF THE PRICEDOT VILLED ITE SEAT PRICED 6. SHALL BE DESIDED TO PRESENT BALANCE PARTIS FOR PROPORTIONAL SYSTEM BALANCE 7. OR ELCOSET FOR REPORTE AND THE PRE-OPERAD TO SET PORT WHI-CUT ESTURBING THE BALANCE POSITION.

1. STRAINERS (UP TO AND INCLUDING 37)

THREADED BRASS BODY
 YPATTERN WITH 20 MESH STAINLESS STEEL PERFORATED SCREEN
 ACCEPTABLE MANUFACTURERS
 KECKLEY, WATTS, APOLLO, NBCO

- 2. THERMOMETERS
- A SELECT INSTRUMENT RANGE SO THE ORDINARY OPERATING CONDITIONS IN THE MIDDLE AREA OF THE INSTRUMENT SCALE.

 ASSEMBLY SET ANY END INSTRUMENT SCALE STRUMENT SET ANY END ASSEMBLY WELLS.

 SWINGL MOUNTING SET WITH POSITIVE LOCKING DEVICE TO BE EASILY READ FROM THE LITER YEAR.

 LICET Y SCALE MANUFACTURERS.

 ANATIA WELLS.

REDUCERS

- IF A PEDUCTION IS REQUIRED AT ECURPMENT OR PRIVID ACCESSORY. THE REDUCER SMALL INFORMATION ACCESSORY ACCESSORY OF THE CONTROL OF THE PROPERTY OF PEDUCERED TO PROVENT POSSETTION OF AP AND USED.
 WHERE ECCENTRIC REDUCERS ARE USED. THE STRAIGHT INDE SHOULD BE INSTALLED ON TOF PORT PURS ELECTION AND ON THE BOTTOM FOR ALL THE RUSES.
- a. PROVIDE MINIMUM 12" LONG AIR CHAMBERS FOR HOT AND COLD WATER CONNECTIONS TO ALL SUPPLY FIXTURES.
 PROVIDE MINIMUM 24" LONG AIR CHAMBERS AT THE TOP OF ALL HOT AND COLD WATER RISERS.

- MANTENANCE FREE PISTON STYLE
 NRT SOUD HES BRASS ADAPTOR CONNECTION.
 PRUSTED POWNEY.
 A SIZE 1010 APPROVED.
 A SIZE 1010 APPROVED.
 COPPER BODY POWNEYOW LISE MISTON EPOW GHING.
 PROVIDE ACCESS FOR PUTINE REPLACEMENT.
 PROVIDE ACCESS FOR PUTINE REPLACEMENT.
- 10. INSTALL AIR VENTS AT HIGH POINTS IN ALL PIPING AND AS REQUIRED FOR SYSTEM VENTING,
- INSTALL DRAIN VALVES AT LOW POINTS IN IMPING AND AS REQUIRED FOR SYSTEM DRAINAGE, DRAINS SHALL NOT BE LESS THAN 3/4".
- 12. RELIEF VALVES SHALL BE OF ASME CODE CONSTRUCTION AND MEET OR EXCEED LOCAL CODES AND CROMMICES.
- 13, INSTALL UNIONS IN PIPING ADJACENT TO EACH PIECE OF EQUIPMENT HAVING A 44NCH OR SMALLER PIPE CONNECTION. 14. INSTALL FLANGES IN PIPING ADJACENT TO EACH PIECE OF EQUIPMENT HAVING A SANCH OR LARGER PIPE CONNECTION.
- 15, INSTALL DIFFLECTRIC RITHINGS TO CONNECT PIPING MATERIALS OF DISSIMILAR METALS.
- STENCE, TYPE MARKERS WILL NOT BE PERMITTED, ONLY FACTORY MANUFACTURED MARKERS AS FOLLOWS MILL BE ACCEPTABLE:
- FOR INDOOR USE LITILIZE ADHESIVE PIPE MARKERS LARGEST SIZE PCSSIBLE GIVEN THE PIPE OR INSULATION OUTER DIAMETER MITH BOTH ENDS SECURED WITH ARROW TAPE OF MATCHING SIZE AND COLOR SCHEME. FOR OUTDOOR USE, LITILIZE "STRAP AROUND" TYPE SECURED WITH HEAVY DUTY JIP TIES.
- IDENTIFICATION MARKERS SHALL BE PLACED ON ALL EXPOSED AND CONCEALED PIPES AT 20 INTERVALS, AT ALL VALVES AND BRANCHES, AND ON BOTH SIDES OF WALLS WHERE PIPES PASS THROUGH ARROWS OF SAME COLOR AS IDENTIFICATION MARKERS SHALL ALSO BE PLACED ON PIPES PORTHING WAY FROM MARKER DICKLATING DIRECTION OF FLORE OF THE PLACED ON PROPERTION OF THE 3. COCRDINATE COLOR SCHEME WITH EXISTING PIPING AND SUBMIT TO ENGINEER PRIOR TO CROSENIG.
- 1. FURNISH AND INSTALL TAGS FOR ALL NEW VALVES.
- VALVE TAGS SHALL HAVE UNIQUE NUMBERS AND SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO ORDERING. VALVE TAGS SHALL BE BRASS MATERIAL AND SHALL BE FASTENED WITH A STURDY CHAIN,
- VALVE TAG NUMBERS SHALL BE INDICATED ON THE AS-BUILT CRAWINGS. AS-BUILT DRAWINGS SHALL INCLUDE VALVE SCHEDULE TO BE DISPLAYED WITHIN THE BUILDING.

- COMPLY WITH PROVISIONS OF GAST IRON SOIL PIPE INSTITUTE (CISPI) HANDBOOK, COPPER DEVELOPMENT ASSOCIATIONS "COPPER TUBE HANDBOOK", AND AMERICAN SOCIETY OF TESTING AND MATERIALS (ASTM).
- SYSTEM COMPONENTS WHICH REQUIRE OBSERVATION, OPERATION, OR MAINTENANCE, SUCH AS VALVES, CLEANDUTS, DRAINS, ECAPMENT, CONTROLS, UNDING, ETC., SHALL BE READLY ACCESSIBLE, THEY SHALL NOT BE CONCEALED IN CHASES OR ABOVE CELLINGS WITHOUT PROVISION FOR ACCESS.
- . Install Piping with slope to allow for proper functionality. Piping shall be distalled with the minimum following slopes or as dictated on the drawings
- SAMTARY, WASTE AND VENT PIPING
 3' AND SMALLER: 1M' PER FOOT
 4' AND LARGER 1M' PER FOOT
 5. STORM PIPING
 ALL SIZES 1M' PER FOOT
 C, KITCHEN WASTE PIPING
 ALL SIZES 1M' PER FOOT

- PROVIDE WASTE AND STORM CLEANOUTS AT THE BASE OF RISERS, ENDS OF HORIZONTAL MANS, CHANGES IN DRECTION, CODE SPECIFIED INTERVALS OR AS SPECIFIED IN DOCUME DITENT IS TO ALLOW ALL WASTE AND STORM PRIMATO DE RODOED AFTER INSTALLATION.
- FOR VENTS PENETRATING ROOFS, PROVIDE 24 INCH SQUARE FLASHING AND TURN VENT FLASHING DOWN INTO VENT PIPE.
- INSTALL PIPING TO ALLOW APPLICATION OF INSULATION PLUS 14NCH CLEARANCE AROUND INSURATION

ABOVE GROUND PIPING

- ALL PIPE SIZES SCHEDILE 40 SCILD-WALL PVC PPING ASTM D 2695 WITH SCHEDILE 40 PV SOCKET RITHINGS ASTM D 2665 MADE TO ASTM D 3311. ADDECIME PRINZER ASTM F 656 AND SOLVENT CENENT ASTM D 2546 PPING TO COUNTY WITH MEY I HILLOUDE MANDRING WITH TUSE-DWY FOR PLASTIC DRAIN, WASTE, AND VENT PIPING AND TASF-SEWER* FOR PLASTIC SEWER PIPING.
- ALL PIPE SIZES SCHEDILE 40 SCUID-WALL PVC PIPHNG ASTM D 2655 WITH SCHEDULE 40 PV SOURCE FITTINGS ASTM D 2655 MADE TO ASTM D 3311. ADRESSME PIPMER ASTM F 556, AND SOURCE CENTURY ASTM D 2358, PHYROS TO COMPLY WITH NEFT IS PROLICE MARPHYS WITH THIS DAY FOR PLASTIC DEAM, WASTE, AND YEAT PIPMO AND THIS FLEWER FOR PLASTIC SEVER PIPMO, DY NOT ALL CAUCHE IN PLENMIS.
- . Unlinsulated Piping Clean Pipe Which Could Impair Bond as required to adhere Stencil Type Markers offan Painted With Entendr Gloss Acrylic Enamel Utilize Largest Size Possible Given the Pipe Outside Dameter. INSULATED STORM PIPING. STENCK TYPE MARKERS WILL NOT BE PERMITTED, ONLY FACTORY
 MANUFACTURED MARKERS AS FOLLOWS WILL BE ACCEPTABLE.
- FOR INDOOR USE, UTBJZE ADHESIVE PIPE MARKERS LARGEST SIZE POSSIBLE GIVEN THE PIPE OR INSULATION OUTER DRAWETER, WITH BOTH ENDS SECURED WITH ARROW TAPE OF MATCHING SIZE AND COLOR SCHEWS. IDENTIFICATION MARKERS SHALL BE PLACED ON ALL EXPOSED AND CONCEALED MPES AT INTERVALS. AT ALL VALVES AND BRANCHES, AND ON BOTH SIDES OF WALLS WHERE MPES PASS THROUGH, ARROWS OF SAUE COLOR AS IDENTIFICATION MARKERS SHALL ALSO BE IN LOTION UPSES DIVINIONAL MARKE FROM LIBERTS MAY AND RESETTION AS IN CANADA.
- COORDINATE COLOR SCHEME WITH EXISTING PIPING AND SUBMIT TO ENGINEER PRIOR TO ORDERING.

VIII, TESTING AND CLEANING

- PRIOR TO ANY TESTING, ALL NEW WATER PIPING SYSTEMS SHALL BE FLUSHED USING WATER LOW POINT DRAINS SHALL BE OPENED AND THE SYSTEMS PROVED TO BE DRAINABLE. 2 SUBJECT ALL CLOSED SYSTEMS OPERATING UNDER PRESSURE TO HYDROSTATIC PRESSURE TESTS THAT IS NOT LESS THAN 80 PSIG AND 1.5 TIMES THE SYSTEM'S WORKING PRESSURE FOL AUMANIUM OF THAT OF AN SPECIFICALLY MICROSTOL. TEST PRESSURE SHALL NOT EXCEED MAXIMUM PRESSURE PATHIC FOR ANY VESSEL PUMP, VALVE, OR OTHER COMPONENT IN
- ALL OPEN SYSTEMS. SEWERS, ETC. SHALL BE TESTED WITH WATER AT A MIMMUM OF TEN (10)
 FOOT OF HEAD. THE WATER LEVEL SHALL BE MAINTAINED IN THE PORTION BEING TESTED FOR
 AT LEAST 15 MINUTES.
- ALL PIPING SYSTEMS SHALL BE TESTED. IF LEAKS OCCUR, THE PIPE OR FITTING SHALL BE REMOVED AND REPLACED AND THE SYSTEM RETESTED. SUBMIT REPORTS WITHIN 48 HOURS OF TEST DATES TO ENGINEER INDICATING TEST DATE. STARTING AND ENDING TEST PRESSURES OR WATER LEVELS. AND DURATION AS WELL AS CERTIFICATION OF SUCCESSFUL TEST. PPPING SHALL NOT BE CONCEALED. BACKFILLED. INSULATED. OR SIMILAR UNTIL PRESSURE TESTING IS COMPLETE AND REVIEWED.
- AFTER SUCCESSFUL TESTING OF THE PIPING SYSTEMS. FLUSH AND DRAIN AT A MINIMUM OF FEET PER SECCIO NEW PIPING AND PARTS OF EXISTING PIPING THAT HAVE SEEN ALTERED. EXTENDED. OR REPAIRED USING CLEAN POTABLE WATER UNTIL NO DIRTY WATER APPEARS A THE OUTLET.
- IF WATER IS NOT CHLORINATED. DISINFECTION OF PIPING SHALL BE PER THE AUTHORITY HAVING JURISDICTION.

IX. SUPPORTS EXPANSION AND SLEEVES

- PROVIDE THE NECESSARY HANGERS AND ACCESSOMES FOR THE PROPER SUPPORT OF PIPING, EQUIPMENT, ETC.
- . ALL NEW HORZONTAL PIRNO SHALL BE SUPPORTED BY STEEL CLEWS OR TRAPEZE HANGERS OR BRACKETS AT SUPFICIENT INTERVALS TO MANTAIN A STRAIGHT LINE BUT NOT TO EXCEED INTERT SHARLON OR CENTERS OF HANGERS HAN AND CASE WITH A SEPRANCE HANGER FOR EACH BRACKET HANGER FOR EACH BRACKET HANGER FOR EACH BRACKET HANGER FOR MAIL BE LOCATED TO ANGLO UNDUE STRESS ON JOINTS, SUPPORT ALL HIGH BATON ONE PRIPMS WITHIN 10° OR BOTH SIGNOR FEACH CHAIR.
- SPRING TYPE HANGERS SHALL BE INSTALLED ON THE FIRST 20 FEET OF HORIZONTAL PIPING ON BOTH SIDES OF ROTATING EQUIPMENT.
- WHERE INSULATED PIPE IS SUPPORTED. PROVIDE SADOLES. BLOCKS OR OTHER METHOD
 APPROVED BY ENGINEER TO PROTECT INSULATION FROM BRING CRUSHED.
- PIPE SUPPORT SHALL NOT BE FROM DUCTWORK, CONQUIT, OR OTHER PIPING BUT FROM THE PERMANENT BUILDING STRUCTURE. HANGER RODS SHALL BE FULL-DIAMETER STEEL WITH THREADED ENDS FOR FIELD CUTTING AND THREAD EXTENDING AS RECYMPED.
- HANGER RODS SHALL NOT SE BENT OR ALTERED IN ANY MATTER AND SHALL SE INSTALLED PLUMB AND TRUE, THE ROD SUPPORTING THE MANGER SHALL SE NO LONGER THAN MY SELOW THE LOWER NUT.
- PROVIDE ROLLER SUPPORTS TO ALLOW FOR PIPE MOVEMENT WHEREVER THE LENGTH OF PIPE AND/OR THE EVENANGON OF THE PIPE RECURRE, PINED PIPE SUPPORTS THAT DO NOT ALLOW FOR THE NATURAL MOVEMENT OF PIPING DUE TO EXPANSION ARE NOT ALLOWED UNLESS OTHERWISE ONLY.
- VERTICAL PIPE RISERS SHALL BE ANCHORED AND EXPANSION COMPENSATION MEANS SHALL BE PROVIDED PER THE DRAWINGS. ALL VERTICAL PIPE RISERS SHALL BE SUPPORTED AT EACH FLOOR BY 1-1/2" X 14" BAR CLAMPS ATTACHED TO PIPES AND RESTING ON THE FLOOR CONSTRUCTION.

- CONTRACTOR TO ACCOUNT FOR THERMAL PIPE EXPANSION AND CONTRACTION TO PREVENT ADVERSE EFFECTS TO PIPING SYSTEM AND BUILDING, THIS INCLUDES ALL CLEARANCES. ANCHORING, GLINES, PIPE MOYEMENT, ETC.
- EFFORT HAS BEEN MADE WITHIN THE CONTRACT DOCUMENTS TO ACCOUNT FOR THERMAL EXPANSION AND CONTRACTION BASED ON THE ENGINEERS CAYOUT OF THE PHING SYSTEM, THE CONTRACTOR IS RESPONSIBLE FOR COMPRIMING THE RINAL LOCATIONS QUANTITIES & DESIGN OF ALL MAPORES, OLDES SUPPORTS, EXPANSION DEVICES, ETC.
- DESIGN & PRODUCT SUBMITTALS THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ENGINEER FOR ALL ANCHORS GUIDES SUPPORTS EXPANSION DEVICES ETC. THESE SUBMITTALS SHALL OUTLINE GUARTITIES, LOCATIONS, ETC THAT REFLECT FIELD CONDITIONS AND CONTRACTORS PANIL SEVENT OF REMISSIONS AND CONTRACTORS PANIL SEVENT OF REMISSIONS.

C. PIPE SLEEVES

PROVIDE ALL PIPE OPENINGS THROUGH WALLS, PARTITIONS, SLABS, ETC. WITH SLEEVES
HAMNO AN INTERNAL CHAMETER AT LEAST IT LARGER THAN THE OUTSIDE DIAMETER OF THE
PIPE AND INSULATION, SET SLEEVES IN PLACE BEFORE POURING CONCRETE.

PROVIDE ESCUTCHEONS FITTING OVER THE SLEEVES ON BOTH SIDES OF THE PENETRATION FOR ALL PIPES EXPOSED TO VIEW PASSING THROUGH WALLS, FLOORS, CEILINGS, PARTITIONS

X, FUNCTIONAL TESTING

- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR AND MATERIALS REQUIRED TO PERFORM FUNCTIONAL TESTING ON THIS PROJECT.
- 1. THE FOLLOWING SHALL BE COMPLETED BY THE PRIME CONTRACTOR AND REPORTS SHALL BE SUBMITTED TO DOWNER AND ENGINEER PRIOR TO THE START OF FUNCTIONAL TESTING, OWNER AND ENGINEER RESERVE THE RIGHT TO DELAY FUNCTIONAL TESTING DUE TO THE INCOMPLETENESS OF ANY OF THE FOLLOWING ITEMS

- XIL ELECTRICAL WORK
- ALL ELECTRICAL WORK FOR THIS PROJECT SHALL BE FURNISHED AND INSTALLED BY AN ELECTRICAL CONTRACTOR. 8. ALL PANEL BOARDS FURNISHED SHALL BE MAIN CIRCUIT BREAKER OR MLO. COPPER BUS WITH BOLT-ON STYLE BREAKERS RATED AT 22KA MG.
- SPEAKERS INSTALLED IN EXISTING PANELS SHALL MATCH EXISTING PANEL MANUFACTURER REQUIREMENTS.
- D. ALL INDOCR CONDUIT SHALL BE TYPE "EMT" WITH GLAND (COMPRESSION) TYPE CONNECTORS AND COUPLINGS. ALL OUTDOOR CONDUIT SHALL BE TYPE TMC" WITH THREADED COUPLINGS OR RIGID METAL CONDUIT.
- F. FRUL CONNECTION TO ALL MOTORS AND MACHINERY SHALL BE VIA A MIN. 5-0* LENGTH OF FLEXIBLE CONDUIT. EACH PIECE OF MECHANICAL EQUIPMENT REQUIRING ELECTRICAL FOWER SHALL HAVE A LOCAL DISCONNECT.
- PRIOR TO OPERATING OR FINAL CONSECTION OF ANY WIRED DEVICE, EACH CABLE RUN INSW OR ENSTRING SHALL BE VEGGER TESTED WITH NOT LESS THAN A 1000 VOLT MEGGER, ANY CABLE NOT SHOWN TO BE TO EAR SHALL BE REPLACED PRIOR TO ENERGISMO, ALL CABLE SHALL BE STRANGED CORPER 600 VOLT. THEY THANK OFF EC SHALL VERIFY ROTATION, MEASURE VOLTAGE AND THE RUNNING AMPERAGE OF EACH SYSTEM OR EQUIPMENT PROVIDED WITH POWER UNDER THIS CONTRACT AND COMPARE WITH THE NAMEPILATE RATING, PROVIDE REPORT TO OWNER AND ENGINEER. STARTERS SHALL BE FULL VOLTAGE ACROSS THE LINE WITH CIRCUIT BREAKERS. OVERLOAD HEATERS, AND CONTROL TRANSFORMER, EC SHALL COCREMATE WITH BASC FOR EXACT CONTROLS REQUIREMENTS, STARTER SHALL BE PROVIDED WITH HOA' SWITCH AND RUMAN LIGHTS INDICATING MODE OF OPERATION.

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REPLACEMENT CART BARN



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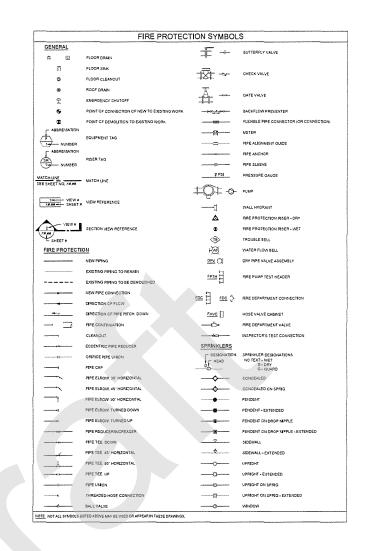


PLUMBING SPECIFICATIONS

O SCALE

P4.1

	ABBREV	IATIO	NS
AD.	AREA DRAIN	HP	HORSEPOWER
AFC .	APPROVED FOR CONSTRUCTIO	tE.	INVERT ELEVATION
NFF.	ABOVE FINISHED FLOOR	150	INTERNATIONAL STANDARDS ASSOCIATION
4KA	ALSO KNOWN AS	tTC .	INSPECTORS TEST CONNECTION
4.54	AMERICAN PETROLEUM INSTITUTE	128Y	INSIDE SCREW AND YOKE
MP	AMPERE	ITP	INSPECTION TEST PLAN
NISI LP	AMERICAN NATIONAL STANDARDS INSTITUTE ACCESS PANEL	15C	JOCKEY PUMP
			JOCKEY PUMP CONTROLLER
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS AMERICAN SOCIETY OF MECHANICAL ENGINEERS	KW	KITCHEN WASTE OR KILOWATT
	AMERICAN SOCIETY OF MECHANICAL ENGINEERS	WC	MECHANICAL CONTRACTOR
ASSE	AMÉRICAN SOCIETY OF SAFETY ENGINEERS	MFG	MANUFACTURER
ASTM BASC	AMERICAN SOCIETY FOR TESTING AND MATERIALS BUILDING AUTOMATION SYSTEMS CONTRACTOR	MSS	MANUFACTURERS STANDARDIZATION SOCIETY
		NC	NORMALLY CLOSED
88 8FP	BOLTED BONNET BACKFLOW PREVENTER	NOT	NON-DESTRUCTIVE TESTING NOT IN CONTRACT
ICP	BOTTOM OF PIPE	NICET	NATIONAL PISTITUTE FOR CERTIFICATION IN
ios	BOTTOM OF STEEL	HIGE	ENGINEERING TECHNOLOGIES
ISP	BLACK STEEL PIPE	NEPA	
iw	BUTT WELD	NPS	NATIONAL FIRE PROTECTION ASSOCIATION
CA C	COMPRESSED AIR	NPW	NOMINAL PIPE SIZE SON POTABLE WATER
SPS	CERTIFIED FIRE PROTECTION SPECIALIST	NPW	
3	CASTIRON	NG	NORMALLY OPEN NOT SPRINKLERED
2 2521			
aser LO	CAST IRON SOIL PIPE INSTITUTE CELENG	NSF NTS	NATIONAL SCIENCE FOUNDATION NOT TO SCALE
10	CLEANOUT	OD	
			OVERFLOW DRAIN
CONN	CONNECTION	OSD	OPEN SITE DRAIN
DAC DBCV	DRY AIR SYSTEM COMPRESSOR DQUBLE CHECK VALVE	OSSY	OUTSIDE STEM AND YOKE PUMP
	DOUBLE CHECK VALVE	PA	
XCV	DUAL CHECK VALVE	PA	PIPE ANCHOR PLUMBING CONTRACTOR
XXV	DOMESTIC COLD WATER		
COA	DOUBLE CHECK DETECTOR ASSEMBLY	PD	PUMP DISCHARGE
XXXX	DOUBLE-DETECTOR CHECK VALVE	PDI	PLUMBING & DRAINAGE INSTITUTE
OFP OFU	DRY SPRINKLER PIPE	PE PH	PROFESSIONAL ENGINEER
	DRAMAGE FIXTURE UNIT DIAMETER		PHASE
XA.		21	PRESSURE INDICATOR
NA.	DOWN	PPV	POST INDICATOR VALVE
PV	DRY PIPE ASSEMBLY		PARTS PER MILLION
)T	DRAIN TILE EXISTING TO REMAIN	PRV	PRESSURE REDUCING VALVE
			PLUMBING STACK
c	EXTENDED COVERAGE	PSI	POUNDS PER SQUARE INCH
LC.	ELECTRICAL CONTRACTOR	PSIG	PCURIDS PER SQUARE INCH IN GAUGE
PDM	ECCENTRIC	ORD	OVERFLOW ROCF DRAIN
PDM SP	ETHYLENE PROPYLENE CIENE MONOMER ELEVATOR SUMP PUMP	RCP	RECIRCULATION PUMP
		RD	ROOF DRAIN
TR	EXISTING TO REMAIN FIRE ALARM	RH	ROOF HYDRANT
ACP		ROS	ROD OUT BASIN
	FIRE ALARM CONTROL PANEL		REDUCED PRESSURE DETECTOR ASSEMBLY
CA.	FIRE PROTECTION CONTRACTOR	RPM	REVOLUTIONS PER MINUTE
CIA	FLOOR CONTROL ASSEMBLY FIRESTOP CONTRACTORS INTERNATIONAL	RP2 RTG	REDUCED PRESSURE ZONE BACKFLOW PREVENTS
CIA			RATING
co	ASSOCIATION FLOOR CLEANOUT	SC	SITE UTILITY CONTRACTOR
		scv	SUPERVISED CONTROL VALVE
D	FLOOR DRAIN	SEPE	SOCIETY OF FIRE PROTECTION ENGINEERS
DC	FIRE DEPARTMENT CONNECTION	SP	SUMP PUMP
υv	FIRE DEPARTMENT VALVE	50	SQUARE FEET
DVC	FIRE DEPARTMENT VALVE CABINET	58	SERVICE SINK
E	FIRE EXTINGUISHER	S,S,	STAPILESS STEEL
EC	FIRE EXTINGLESHER CABINET	Tä	THRUST BLOCK
P DC	FIRE PROTECTION	TSE	THREADED BOTH ENDS
	FIRE PUMP CONTROLLER	TD	TRENCH DRAIN
PD.	FIRE PROTECTION DRY PIPING	TMV	THERMOSTATIC MIXING VALVE
PS	FEET PER SECOND	TOS	TOP OF STEEL
PW	FIRE PROTECTION WET PIPING	TPRV	TEMPERATURE AND PRESSURE REDUCING VALVE
5	FLOOR SINK	TS	TAMPER SWITCH
.8.	FLOW SWITCH	TYP	TYPICAL
T	FEET	UL	UNDERWRITERS LABORATORY
ALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
SC .	GEHERAL CONTRACTOR	V8	VACUUM BREAKER
900	GROUND CLEANOUT	1900	WALL CLEANOUT
SPD	GALLONS PER DAY	WH	WALL HYDRANT
PH	GALLONS PER HOUR	WHA	WATER HAMMER ARRESTOR
PM	GALLONS PER MINUTE	WSB	WALL SUPPLY BOX
43	HOSE BIBB	WSFU	WATER SUPPLY FIXTURE UNITS
D.	HEAD	WT	WALL THICKNESS
		YCO	YARD CLEANOUT
		VH	YARD HYDRANT



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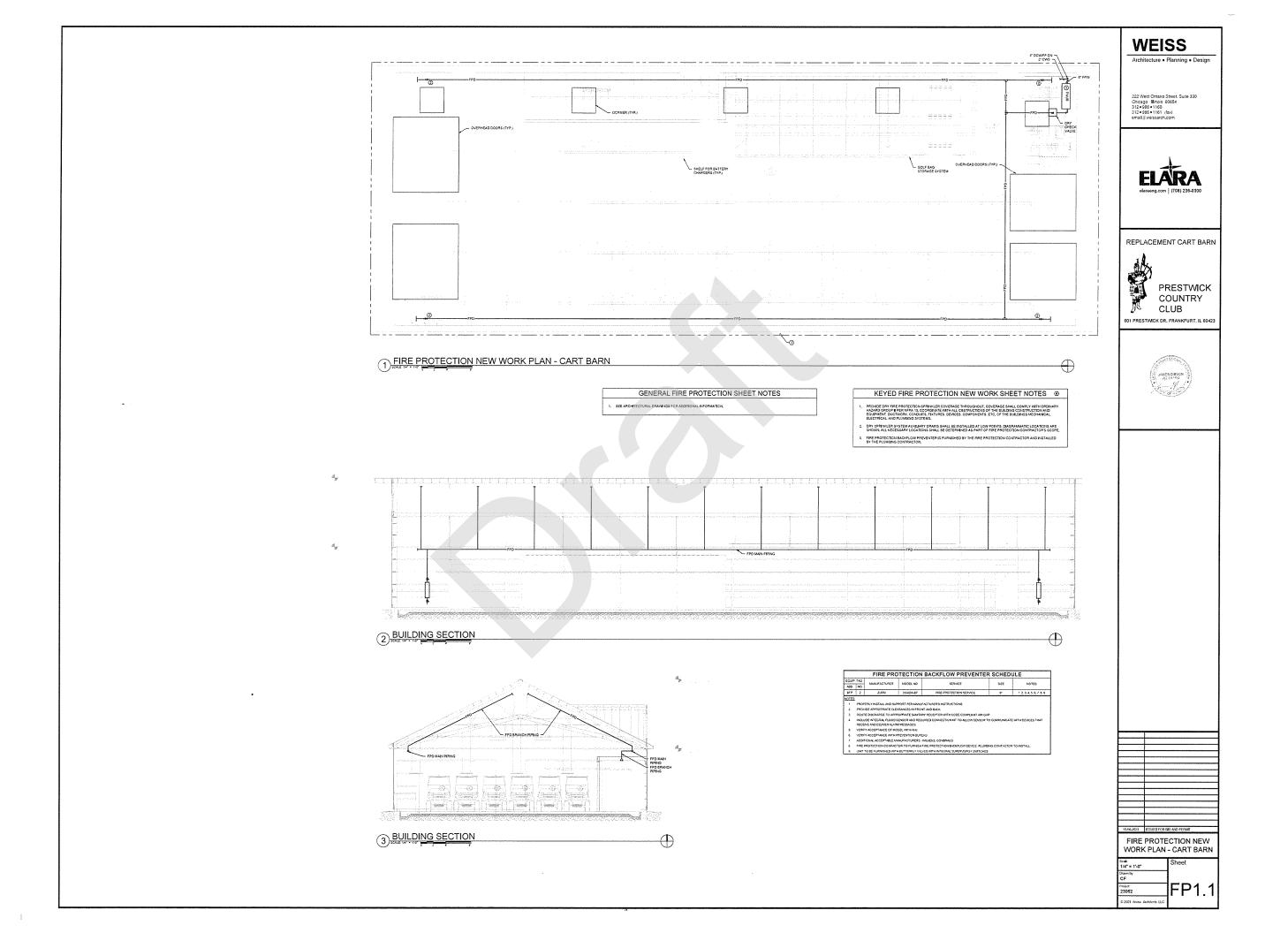
REPLACEMENT CART BARN

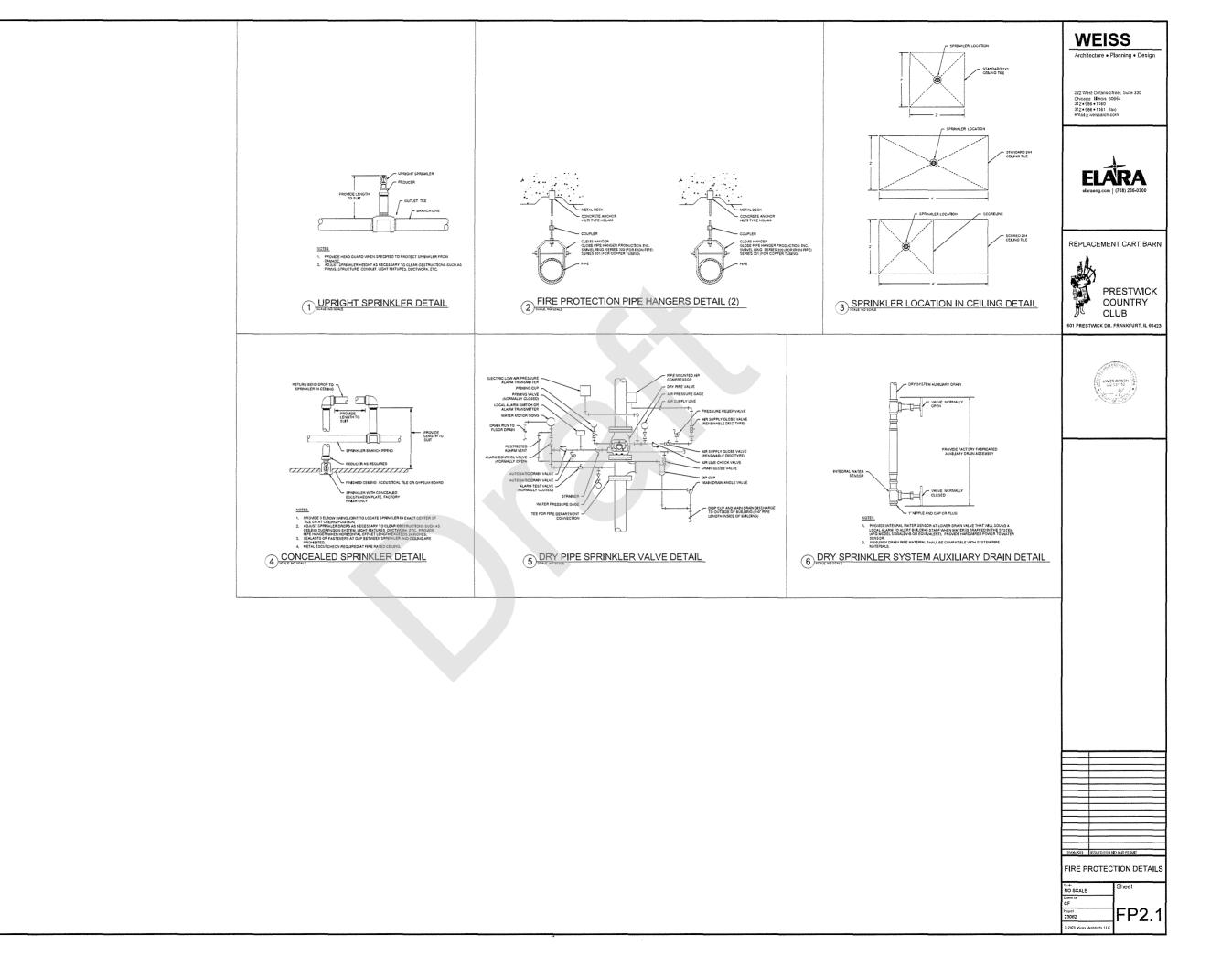


601 PRESTWICK DR. FRANKFURT, IL 60423



SYMBOLS, ABBREVIATIONS AND NOTES NO SCALE





I. GENERAL NOTES

- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN CONFORMANCE WITH ALL GOVERNM NATIONAL STATE, AND LOCAL CODES HAVING JURISDICTION INCLUDING ALL APPLICABLE NEPA STANDARDS AND INSURANCE UNDERWITHER REQUIREMENTS.
- CONTRACTOR SHALL REVIEW THE EINTER SET OF CONTRACTO DOLUMENTS INCLUDING BUT NOT LIMITED TO ALL ARCHITECTURAL CHILL BITE LANGESCHIPMO STRUCTURAL MICHAEL MICHAE
- DISCREPANCIES OR CONFLICTS EXIST, ADDITIONAL COMPENSATION WILL NOT BE GRANTED AFTER AWARD OF CONTRACT FOR ANY WORK REQUIRED TO COMPLY WITH THIS REQUIREMENT.

- ECOLERO TO SET THE NEW YOTENS BITCO OPERATION UNLESS CHIEFMACE BYTCH.

 CONTRACTED BALL PERFOR ALL WOMENS APPROXIMENTAL RESIDITATION OF CONTRACTED BYTCH CONTRACTOR AND ALL WOMENS APPROXIMENT TO CHIEF AND ALL WOMENS AN
- CONTRACTOR SHALL ESTABLISH SAFE WORKING PROCEDURES FOR THE PROTECTION OF THE WORKING PROCEDURES FOR THE PROTECTION OF THE WORKING PROCEDURES FOR THE PROTECTION OF THE WORKING PROCEDURES FOR THE PROCEDURE

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STORE AND PROTECT FROM DAMAGE ALL ECUPPURT AND MATERIALS HE ADMINIET HAT YILL MANTAN AN OFCRETY CLEAN APPEARANC CAMAGED COMPUTE HAD MINISTRUS LIGISLET OF RECEIVER BY THE OWNERS ENABLED COMPUTE HAD MINISTRUST AND AND THE OWNERS ADDITIONAL COST TO THE OWNER.

- CONTRACTOR SHALL NOT MODIFY OR REMOVE ANYTHING FOUND TO BE IN THE PATH OF NEW SYSTEMS TO BE INSTALLED WITHOUT PRIOR APPROVAL BY THE ENGINEER.
- P. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTINUOUS CLEANING OF ALL DUST AND DEBRIS RESULTING FROM THEIR WORK.
- CONTRACTOR TO DETERMINE REQUIRED OYSTEM SHUTDOWNE, MAMMUM DUPATION OF SYSTEM HINTOON SHALL BE AT THE EXCENTION OF THE OWNERS REPRESENTATIVE. SHUTDOWN SHALL BE AT THE EXCENTION OF THE OWNERS REPRESENTATIVE. SHUTDOWN SHALL BE AT THE SHUTDOWN SHALL BE AT THE SHUTDOWN OF OWNER OWNERS AND OF SYSTEM WITDOWN. CONTRACTOR SHALL COGGONATE WITH THE OWNERS REPRESENTATIVE ALL REQUIREMENTS FOR APPLICABLE REW WATCH REQUIREMENTS FOR APPLICABLE REW WATCH REQUIREMENTS FOR APPLICABLE.
- R. CONTRACTOR AND SUB-CONTRACTORS SHALL BE PROPERLY LICENSED, BONDED, AND INSURED AND CAPABLE OF PERFORMING QUALITY WORKMANSHIP OF THEIR TRADE ON THIS PROJECT,
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY.
- REMOVAL AND RESTORATION OF FINISHED SURFACES AS REQUIRED TO COMPLETE THIS SCOPE OF WORK IS THE RESPONSIBILITY OF THIS CONTRACTOR.
- U. CONTRACTOR SHALL COORDINATE USE OF THE BUILDING ELEVATOR(S), ACCESS PATHS, AND DELIVERIES WITH THE CONDER,
- W. CONTRACTOR SHALL PROVIDE TRAINING TO THE OPERATING STAFF FOR NEW SYSTEMS AND EQUIPMENT, REFER TO COMMER TRAINING SPECIFICATION SECTION FOR ADDITIONAL INFORMATION.

IL GENERAL DEMOLITION NOTES

- ALL WORK SHALL BE PERFORMED IN A CLEAN AND WORKMANLIKE MANNER, CARE SHALL BE EXERCISED TO MINIMIZE ANY INCOVIEMENCE OR DISTURBANCE TO OTHER AREAS OF THE BUILDING WHOM ARE TO REMAIN IN OPERATION.
- ALL DEMOLITION AS CALLED FOR ON THE DEMOLITION DRAWINGS SHALL BE UNDER THIS CONTRACTOR'S WORK.
- CONTRACTOR SHALL WIST THE BUILDING, BEFORE SUBMITTING THEIR BID. TO VERIFY ALL CHIERISCHS AND EXISTING CONDITIONS WHICH MAY AFFECT HIS WORK, NOT ALL EXISTING DUCTWORK, PRINCE ECUIPMENT, ETC., MAY BE INDICATED ON DOCUMENT.
- E. BEFORE STARTING ANY DEMOLITION WORK ON EGLIPMENT WHICH HAS AN ELECTRICAL CONNECTION. THE ELECTRICAL CONTRACTOR SHALL DESCRIBED THE POWER AND REMOVE CONDUCT, WHING, DISCONNECT SWITCHES, AND STARTERS UNDER THIS CONTRACT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS CLEANUP THROUGHOUT THE COURSE OF THE DESIGN STRIKE.
- ALL EQUAPMENT, MATERIAL, ETC. THAT IS DEMOLISHED SHALL BE REMOVED FROM THE BUILDING SITE BY THIS CONTRACTOR IN A PROPER AND LEGAL MANNER. NO ITEM WHICH IS DEMOLISHED MAY BE RESUSED UNLESS SPECHPICALLY NOTED.
- ANY CONTROLS HARDWARE OR PROGRAMMING NO LONGER NECESSARY TO ACCOMPLISH LIFE SAFETY REQUIREMENTS SHALL BE DECOMMISSIONED.
- ALL DEMOUTION WORK OF THE EDISTING UPE AFFETY SYSTEMS FOR EQUIPMENT SHOWN ON TO PRANKING TO BE DEMOUSING SHALL BE THE RESPONDIBILITY OF THIS CONTRACTOR, THIS CONTRACTOR SHALL MODRY THE EDISTING UPE AFFETY SYSTEMS ARE PROURED TO DEMURE OPERATION OF EDISTING COLPHENT TO REMAIN, ALL EDISTING UPE AFFETY SYSTEMS SHOWN BE DEMOUSING SHALL BE REMOVED AND TUNNED OVER TO THE COMER!

M. SHOP DRAWINGS SUBMITTALS AND AS-BUILTS

- SHOP DRAWINGS SHALL INCLUDE DRAWINGS, PRODUCT DATA AND HYDRAULIC CALCULATIONS A RECURRED BY THE ENGINEER AND ALL AUTHOPITIES HAWING JURISOCITION, PARTIAL SUBMITTAL ARE NOT ACCEPTABLE ALL INFORMATION SHALL BE PROVIDED IN ONE COMPREHENSIVE PACKAR ALL CALCULATIONS AND SHOP DRAWINGS SHALL HAVE CORRESPONDING AND COORDINATED IN

- Contractor shall submit to the engineer manufacturers' submittals for all ecuphem and accessories, contractor shall proceed with procurement only after receiving submittals as approved by all authorities having undeceting. G. ALL COMPONENT IDENTIFICATION SHALL BE INDICATED ON THE AS-BUILT DRAWINGS, INCLUDE VALVE SCHEDULE AND DISPLAY WITHIN BUILDING.
- CONTRACTOR SHALL SUBMIT TO THE OWNER'S REPRESENTATIVE ONE ELECTRONIC FILE CONTRAINS THE FIVEL A-SEULT PACKAGE. THE A-SEULT PACKAGE SHALL INCLUDE REVISED CHOP DRAWINGS TO REPICE ACTUAL INSTALLATION AND OPERATIVES GEOVERS A ONE WITH ALL PRODUCT DATA AND MYDRALLIC CALCULATIONS, INCLUDE OPERATIONAL AND MAINTENANCE INSTRUCTION, PARTS LISTS, SUBMITTELS AND DECENTIFICATION AND MAINTENANCE INSTRUCTIONS, PARTS LISTS, SUBMITTELS AND DECENTIFIED LITERATURE.

IV. MATERIALS AND EQUIPMENT

- ALL MATERIALS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE NEW, UNLESS
 OTHERWISE STATED IN THESE CONTRACT DOCUMENTS. AND FREE FROM DEFECTS.
- ALL MATERIALS AND EQUIPMENT SHAEL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.
- CONTRACTOR IS ROUBERD TO REPORT ALL DRAWINGS, MATERIALS AND ECOPMENT SHOWN ON THE SCHEDULES AND ECOPMENT SHOWN OF THE SCHEDULES AND ECOPME
- CONTRACTOR SHALL FURNISH AND HISTALL ALL STRUCTURE. SLEEVES, SHIMS, ETC, REQUIRED TO LEVEL AND SUPPORT EQUIPMENT AND MATERIALS, INSTALL NONMETALLIC NON-SHRINK GROUT FOR LEVELING EQUIPMENT SASE.
- CONTRACTOR SHALL VERIFY ALL PHYSICAL ELECTRICAL (INGRESS, ETC. REQUIREMENTS FOR ALL EQUIPMENT PRIOR TO ORDERING,
- Contractor shall submit to owner the proposed labelsadentification product for each field of equipment pror to ordering. Equipment labelsadentification shall meet nepa requirements and downorm to the following. MATERIAL AND THICKNESS. MULTILAYER MULTICOLOR PLASTIC OR METALLIC LABELS FOR MECHANICAL ENGRAVING. 1/8 INCH THICK, AND HAVING PREDRILED HOLES FOR ATTACHMENT MERITARIES.

- SACKGROUND COLOR: RED.
 MANMUM TEMPERATURE: AULE TO WITHSTAND TEMPERATURES UP TO 160 DEG.F.
 MANMUM LABEL SIZE. LENGTH AND WIDTH VARY FOR REQUIRED LABEL CONTENT, BUT NOT LESS THAN 2-122 BY 344 Not.
- LESS INVALUE AT USE AND THE METHOR NAME OF UNITS IF VIEWING DISTANCE IS LESS THAN 24 NOVEMBERS IN JUNCHES AND PERCENTIONATE VUMBER CETEMORY OR OBSERVED AND SOURCES, AND PERCENTIONATE VUMBER CETEMORY OR OBSERVED AND SOURCES, OR SOURCES CECCAMBAN THE STEPRING PROJECT OF PROJECTION AND SOURCES OF PROJECTION AND SOURCES.

 7. FASTERINGS STRANGESS-STEEL WINTS ON SELF-ARMIC STEPPING.
- L ADMESTIVE, CONTACT-TYPE PERMANENT ADMESTIVE, COMPATIBLE WITH LABEL AND WITH SUBSTRATE.
- H. EQUIPMENT DATA, LABELS, AND OTHER IDENTIFICATION SHALL NOT BE OBSTRUCTED.

- CONTRACTOR SHALL PROMDE DEMONSTRATION AND TRAINING TO OWNER'S PERSONIEL FOR NEW SYSTEMS AND EQUIPMENT, THE COSTS ASSOCIATED WITH THIS SHALL BE INCLUDED AS PART OF THE BACE BUT UNLESS OTHERWISE NOTED.

- CONTRACTOR SHALL PROVIDE A MINIMUM OF 2 HOURS OF TRAINING OVER 1 VISIT ON SITE FOR OWNER PERSONNEL.
- D. OWNER TRAINING SHALL BE CONDUCTED AFTER APPROVAL BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
- E. COGROMATE TRAMING WITH OWNER, ENGINEER & COMMISSIONING AUTHORITY.

VL PIPING

- COMPLY WITH PROVISIONS OF NEPA 13, 20 AND 25, AS REFERENCED BY THE CHICAGO BUILDING CODE.
- ALL GROOVES SHALL BE CHIEFISCHALLY COMPATIBLE WITH COMPLINGS, COMPLING AMERICATIVERES LOCAL REPRESENTATIVE SHALL PROMISE RESPECTION OF COMPLINGS WITH NO ADDITIONAL CHARGE TO THE CHEMT, CONTRACTOR SHALL CORRECT ANY DEFICIENCIES NOTED.

- . BIGTALL INTERIOR AND EXTERIOR PIRMS AT FRIGHT ANGLES OR PAPALLEL TO BUILDING WALLS, DIAGONAL RIVING ARE PROMISTED. EXCEPT WHERE INDICATED OR APPROVIDE PRIOR TO KITALIATION, BUNDAPPING IN WALL CHASES APPE SAMETA FUNDO CELLING RECESSES, ETC, AS APPLICABLE DO NOT RIVIN SERVICE PIPMS IN FLOOR BUSING BUSING SECTIFICALLY TO FED OF DRIVINGS. APPLICABLE DO NOT RIVIN SERVICE PRIVATOR IN FLOOR BUSING STREET, CORPILETED. ABOVE GROUND WET PIPING
- . FOR 2 INCH AND SMALLER ALL MPING SHALL BE BLACK STEEL SCHEDULE 40 WITH THREADED MALLEABLE FITTINGS.
- FOR 2-1/2 INCH AND LARGER ALL PIPING SHALL BE BLACK STEEL SCHEOULE 10 WITH GROOVED MECHANICAL COLPLINGS. D. ABOVE GROUND DRY PIPING
- . FOR 2 DICH AND SMALLER ALL PIPING SHALL BE BLACK STEEL SCHEDULE 40 WITH THREADED MALLEASLE RITTINGS.
- 2. FOR 2-12 INCH AND LARGER ALL MINIO SHALL BE BLACK STEEL SCHEDULE 10 WITH OUT GROOVED MECHANICAL COUPLINGS.
- VALVES SHALL BE INSTALLED AS A MEANS OF ISOLATION FOR ALL EQUIPMENT. ZONING AND AS REQUIRED, EACH FLOOR SHALL HAVE VALVES AS A MEANS OF ISOLATION, ALL REQUIRED WALVES AS FAIR MAY SHALL FROM THE PROPERTY OF ISOLATION.

- INSTALL ALL VALVES WITH STEMS IN EITHER AN UPRIGHT (PREFERRED) OR HORIZONTAL POSITION. CONTROL VALVES SHALL BE INSTALLED WITH A COLVATOR UPWARD UNLESS NOTED CTHERMISE, OPEN VALVE HANDLE POSITION SHALL BE IN THE DIRECTION OF FLOW.
- 3. VALVES SHALL BE UL LISTED AND FM APPROVED.
- 4. ALL VALVES SHALL MEET THE PRESSURE REQUIREMENTS OF THE SYSTEM
- SPRINKLER HEADS
- . SPRINKLER HEADS SHALL BE INSTALLED IN LOCATIONS SHOWN AND WHERE REQUIRED FOR COMPLETE COVERAGE.
- INSTALL THE APPROPRIATE TYPE OF SPRINKLER HEAD FOR THE APPLICABLE CEILING TYPE AND IN THE CORRESPONDING CRIENTATION.
- 1. SPRINKLER HEAD AND COVER PLATE FINISHES SHALL BE APPROVED BY ENGINEER.
- EXACT SPRINKLER HEAD LOCATIONS SHALL BE APPROVED BY ENGINEER. 5. SPRINKLER HEADS SHALL BE ULLISTED AND FM APPROVED.
- ALL SPRINKLER HEADS SHALL MEET THE PRESSURE REQUIREMENTS OF THE SYSTEM. MANUFACTURERS SHALL SE MATIONALLY RECOGNIZED AND HAVE A MINIMUM OF 5 YEARS IN THE FIRE PROTECTION INDUSTRY, THE CONTRACTOR SHALL CALY INSTALL PRODUCTS SUCCESSFULLY UTILIZED ON PREVIOUS PROJECTS, ALL SPRIMALER HEADS SHALL SE SINGLE SOURCE VINEEVER POSSIBLE.
- . ALL SENSORS AND SWITCHES SHALL BE COMPATIBLE WITH FIRE ALARM SYSTEM AND SHALL BE INSTALLED AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSISLE FOR THE FINAL COORDINATION OF ELECTRICAL REQUIREMENTS FOR ALL COMPONENTS WITH ALL OTHER TRADES.
- CONTRACTOR SHALL PROVIDE TO THE ELECTRICAL CONTRACTOR MANUFACTURER DATA FOR ALL COMPONENTS REQUIRING ELECTRICAL CONNECTIONS PRIOR TO PURCHASING.
- ALL REQUIRED ACCESSIONES SHALL BE INSTALLED IN LOCATIONS SHOWN AND WHERE REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM.
- FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED THROUGHOUT THE PROJECT AS REQUIRED BY THE LOCAL JURISDICTION HAVING AUTHORITY.
- EXPOSED ACCESSORIES SHALL BE APPROVED AND COORDINATED WITH ENGINEER. NON EXPOSED ACCESSORES REQUIRING ACCESS SHALL BE COORDINATED WITH THE ENGINEER.
- PROMDE LISTED HANGERS AND ACCESSORIES FOR THE PROPER SUPPORT OF PIFING.
 EQUIPMENT, ETC IN ACCORDANCE AND LISTED WITH HEPA 13.
- PIPE SUPPORT SHALL NOT BE FROM DUCTWORK CONDUIT, OR OTHER PIPING BUT FROM THE PERMANENT BULCHKS STRUCTURE.
- HANGER ROOS SHALL NOT BE BENT OR ALTERED IN ANY MATTER AND SHALL BE INSTALLED PLUMS AND TRUE.

- PROVIDE PIPE SLEEVES THROUGH WALLS, PARTITIONS, SLABS, ETC, SIZED AND INSTALLED IN ACCORDANCE WITH NPPA 13 AND PIRESTOPPING REQUIREMENTS, SET SLEEVES IN PLACE SEFORE POURING COLORETE.
- PROVIDE ESCUTCHEONS FITTING OVER THE SLEEVES ON BOTH SIDES OF THE PENETRATION FOR ALL PIPES EXPOSED TO MEW PASSING THROUGH WALLS FLOORS, CEILINGS, PARTITIONS

- STENCIL TYPE MARKERS WILL NOT BE PERMITTED, CNLY FACTORY MANUFACTURED MARKERS AS FOLLOWS WILL BE ACCEPTABLE.
- FOR INDOOR USE, UTILIZE ADHESIVE PIPE MARKERS LARGEST SIZE POSSIBLE GIVEN THE
 PIPE OR INSULATION OUTER CAMETER, WITH BOTH ENDS SECURED WITH ARROW TAPE OF
 MATCHING SIZE AND COLOR SCHEME.
- 3. LABELS SHALL INDICATE ZONE AND TYPE.
- 4. COORDINATE COLOR SCHEME WITH EXISTING FIPING AND SUBMIT TO ENGINEER PRIOR TO CROSSING.
- CONTRACTOR SHALL PAINT ALL NEW EXPOSED PIPING. CONDUIT, AND ASSOCIATED COMPONENTS RED.
- FURNISH AND INSTALL IDENTIFICATION FOR ALL NEW AND EXISTING COMPONENTS AS REQUIRED. IDENTIFICATION SHALL BE REVIEWED AND APPROVED BY LOCAL AUTHORITY HAVING JURISCICTION.

VIL PUMPS AND CONTROLLERS

- COMPLY WITH PROVISIONS OF NFPA 13, 20 AND 25, AS REFERENCED BY THE CHICAGO BUILDING CODE.
- MAINTAIN THE REQUIRED FIRE PATING OF THE FIRE PUMP ROOM, REPAIR ANY AND ALL FEATURES INFACTED BY THE INSTALLATION OF THE FIRE PUMP. ALL PENETRATIONS TO THE FIRE PUMP ROOM SHALL BE REPSIOPPED TO MAICH THE RATING OF THE FIRE PUMP ROOM.
- ENSURE THE ROOM IS COMPLETELY FREE OF ALL STORAGE AND DEBMS AT THE COMPLETION OF THE PROJECT. PROVIDE A DRAIN LINE (94" MIMMUM) FOR EACH PUMP DRIP BASE TO THE NEAREST FLOOR DRAIN.
- PROVIDE POSITIVE ELECTRICAL PUMP AND MOTOR GROUNDING IN ACCORDANCE WITH NEPA 70. . ALL PUMPS, CASINGS, FLANCES AND MECHANICAL SEALS SHALL BE RATED FOR OPERATION WITH THE EXISTING WORKING PRESSURES.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THESE DOCUMENTS. INDUSTRY STANDARDS AND THE MANUFACTURER'S WRITTEN INSTRUCTIONS. FIRE PUMP
- PROVIDE A COMPLETE AND OPERATIONAL FIRE PUMP AND FIRE PUMP CONTROLLER AS SPECIFIED. SCHEDULED AND SHOWN ON THE DRAWNIGS.
- PROVIDE A NEW PUMP PAD FOR MOUNTING THE FIRE PUMP AND EQUIPMENT MEETING THE REQUIREMENTS OF NPPA 20.

- THE FIRE PUMP CONTROLLER SHALL BE LOCATED IN A SIMILAR LOCATION TO THE EXISTING CONTROLLER, AS CLOSE AS IS PRACTICAL AND WITHIN SIGHT OF THE MOTOR.
- THE CONTROLLER SHALL BE WYE DELTA TYPE AND SHALL BE EQUIPPED WITH AN TRANSFER SMICH.
- Fire plump to be replaced is the Low zone fire plump. And is in series with the high zone fire plump, provide pressure control and sensors as required to ensure that the fire plump will start in series with the dusting high plump fire provides.
- JOCKEY PUMP AND CONTROLLER
- PROVIDE A COMPLETE AND OPERATIONAL ELECTRIC DRIVEN FIRE JOCKEY PUMP AND JOCKEY PUMP CONTROLLER AS SPECIFIED, SCHEDULED AND SHOWN ON THE DRAWINGS,
- PROVIDE PUMP CHECKOUT: START-UP, TESTING AND ADJUSTING OF THE SYSTEM COMPONENTS AND PERFORM FIELD CERTIFICATION TESTING ON THE INSTALLED JOCKEY PUMP.
- COCRDINATE WITH BUILDING ENGINEER AND MANAGEMENT TO TAKE FIRE ALARM DEVICES AND SENSORS OUT OF SERVICE TO COMPLETE ALL INSTALLATION WORK.
- PROVIDE ALL SENSORS AND CONTROLS RECURRED TO EMSURE THAT ALL REMOTE ANNUMENTOR PARKELS AND PIER ALARM CONTROLS RECEIVE RIFE PUMP CONTROLLER MINUMENT OF THE PROVIDED REPORT OF THE PROVIDED REMOTE AND CONTROL OF RESIDENCE AND CONTROL OF RESIDENCE ALL REMOTE ALL REMOTE CONTROL OF THE PROVIDED REMOTE AND CONTROL OF RESIDENCE ALL REMOTE ALL REMOTE CONTROL OF THE PROVIDED REMOTE AND CONTROL OF THE PROVID
- ALL SENSORS AND SWITCHES SHALL SE COMPATIBLE WITH FIRE ALARM SYSTEM AND SHALL BE INSTALLED AS RECOMBED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL COOPDINATION OF ELECTRICAL REQUIREMENTS FOR ALL COMPONENTS WITH ALL OTHER TRADES. 5. CONTRACTOR SHALL PROVIDE TO THE ELECTRICAL CONTRACTOR MANUFACTURER DATA FOR ALL COMPONENTS REQUIRENCE ELECTRICAL CONNECTIONS PRIOR TO PURCHASING.
- ALL ELECTRICAL WORK FOR THIS PROJECT SHALL BE FURNISHED AND INSTALLED BY AN ELECTRICAL CONTRACTOR. G. ALIGNMENT 8. ALL PANEL BOARDS FURNISHED SHALL BE MAIN CIRCUIT BREAKER OR MLO COPPER BUS WITH BOLT-ON STYLE BREAKERS RATED AT 23%A IC.
- ALIGN PIPING CONNECTIONS.
- AFTER ALISMENT IS CORRECT, TIGHTEN ANCHOR BOLTS EVERLY, FILL BASEPLATE COMPLETELY WITH GROUT, WITH METAL BLOCKS AND SHAW OR MEDGES IN PLACE, TIGHTEN ACRES BOLTS AFTER GROUT PAS HARDENED, CHECK ALIGNWEIT AND MAKE REQUIRED
- ALIGN PUMP AND DRIVER SHAFTS FOR ANGULAR AND PARALLEL ALIGNMENT ACCORDING TO TOLERANCES SPECIFIED BY MANUFACTURER.

- ALL REQUIRED ACCESSORIES SHALL BE INSTALLED IN LOCATIONS SHOWN AND WHERE REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM.
- are department connections shall be maintained throughout the project as regulard by the local jurisdiction having authority.
- MANUFACTURERS SHALL BE NATIONALLY RECOGNZED AND HAVE A MINIMUM OF 5 YEARS IN THE RIRE PROTECTION INDUSTRY, THE CONTRACTOR SHALL ONLY INSTALL PRODUCTS SUCCESSFULLY UTILIZED ON FREWOOLS PROJECTS, ALL ACCESSORIES SHALL BE SINGLE SOURCE WHEREVER POSSBUE.
- TEST THE FIRE PUMP AND CONTROLLER AS A UNIT, THE TESTS REQUIRED BY NEPA 20 AND 25 SHALL BE PERFORMED INCLUDING THE FOLLOWING.
- I. AFTER INSTALLING COUPONERS ASSEMBLES AND EQUIPMENT INCLUDING CONTROLLER TEST FOR COMPLANE WITH RECOURSEMENT, DESCRIPTION OF THE TOTAL COMPLANE WITH RECOURSE THE TOTAL COMPLANE AND REST UNIT OF THE TOTAL COMPLANE AND REST UNIT OF THE TOTAL COMPLANE AND REST UNIT OF THE TOTAL COMPLANE AND ASSEMBLY UNITS OF COMPLANE AND ASSEMBLY UNITS OF COMPLANE AND ASSEMBLY AND ASSEMBLY UNITS OF COMPLANE AND ASSEMBLY AND ASSEMBLY AND ASSEMBLY CONTROL AND ASSEMBLY AND ASSEMBLY ASSEMBLY ASSEMBLY ASSEMBLY AND ASSEMBLY ASSEMBLY
- COMPONENTS, ASSEMBLIES, AND EQUIPMENT WILL BE CONSIDERED DEFECTIVE IF THEY DO NOT PASS TESTS AND INSPECTIONS.
- PREPARE TEST AND INSPECTION REPORTS AND PROVIDE TO THE ENGINEER AND OWNER.
- 10. PUMPS AND CONTROLLERS SHALL HAVE ENGRAVED IDENTIFYING NAMEPLATES. II. IDENTIFICATION SHALL BE REVIEWED AND APPROVED BY LOCAL AUTHORITY HAVING JURISDICTION.

VIII. TESTING AND CLEANING

IDENTIFICATION

- PIPING SHALL NOT BE CONCEALED. BACKFILLED, OR SMILLAR UNTIL CONTRACTOR TESTING IS COMPLETE AND REVIEWED. PRIOR TO ANY TESTING, ALL NEW WATER PIPING SYSTEMS SHALL BE FLUSHED USING WATER. LOW POINT DRAINS SHALL BE OPENED AND THE SYSTEMS PROVED TO BE DRAINABLE.
- TEST PER ISPA 13, NPPA 23, NPPA 25, AND PERFORM TESTING RECURED BY THE LCCAL JURISDETTION, CONTRACTOR OF RETESTIVITIL ALL COMPONENTS ARE CERTIFIED TO DISE THE CENTRAL TO SELECTION THE CONTRACTOR SHALL PROVIDE TO A DISE TESTING. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL ECUMPANT, AND PERSONNEL RECURPED TO CONDUCT ALL TESTS, INCLUDING THOSE RECURPED TO AND ACCESS MASSIANDE OR OBSERVE.
- THE PIRE PUMP ACCEPTANCE TEST SHALL BE CONDUCTED BY THE MANUFACTURERS CERTIFIED REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL PROCEED WITH FINAL ACCEPTANCE TESTING WITH APPROV LOCAL AUTHORITY. CONTRACTOR SHALL PROMDE THEIR FINAL ACCEPTANCE TE

IX. COMMISSIONING

PRIME CONTRACTOR DOCUMENTATION:

MISSIONING REPORTS

CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR AND MATERIALS REQUIRED TO PERFORM COMMISSIONING ON THIS PROJECT.

COMMISSIONING AUTHORITY SHALL SUBMIT ALL PUNCTIONAL TESTING PROCEDURES TO THE OWNER AND PROBLEMS PRIOR TO ELECTIONAL TESTING COMMERCING.

WRITTEN CERTIFICATION OF REGULARED CONTRACTOR TESTING COMPLETION PER NFPA.
MEGGER TESTING.
HERMAL SCANS OF ELECTRICAL EQUIPMENT.
DRAFT OF GAMS.
HER ALARM SYSTEM HAS BEEN CONFIGURED PROMDE PROOF ALARMS ARE FUNCTIONAL
THE ALARM SYSTEM HAS BEEN CONFIGURED PROMDE PROOF ALARMS ARE FUNCTIONAL

Prepare freliminary coumissioning report that includes issues identified during testing and also indicates which testing is deferred.

FINAL COMMISSIONING REPORT SHALL BE PROVIDED TO THE OWNER WITHIN 90 DAYS OF THE LOCAL AUTHORITY APPROVAL.

C. BREAKERS INSTALLED IN EXISTING PANELS SHALL MATCH EXISTING PANEL MANUFACTURER REGUREMENTS.

 ALL OUTDOOR CONDUIT SHALL BE TYPE TIMO WITH THREADED COUPLINGS OF RIGID METAL CONDUIT. F. HINAL CONNECTION TO ALL MOTORS AND MACHINERY SHALL BE WAIA MIN. 8-0" LENGTH OF FLEXIBLE CONDUIT.

G. EACH PIECE OF INSCHAINCAL EQUIPMENT REQUIRING ELECTRICAL POWER SHALL HAVE A LOCAL DISCONNECT.

EC SHALL VERIEY ROTATION. MEASURE VOLTAGE AND THE RUNNING AMPERAGE OF EACH SYSTEM OR ECURPMENT PROVIDED WITH POWER UNDER THIS CONTRACT AND COMPARE WITH THE NUMERIANE RATING, PROVIDE REPORT TO GOWER AND ENGNEER.

STARTERS SHALL BE FULL VOLTAGE ACROSS THE LINE WITH CIRCUIT BREAKERS OVERLOAD HEATERS AND CONTROL TRANSFORMER, ECSHALL COORDINATE WITH BASC FOR EXACT CONTROLS REGISTEMENTS, STARTER SHALL BE PROVIDED WITH HOR SWITCH AND NUMBING USHIS INDICATING MODE OF OPERATION.

D. ALL INDOOR CONDUIT SHALL BE TYPE "EMT" WITH GLAND (COUPRESSION) TYPE CONNECTORS AND COUPLINGS.

- **WEISS** THE COMMISSIONING PERFORMED MUST MEET THE REQUIREMENTS OF THE CODES HAVING JURISDICTION AND NEPA 3. THE CONTRACTOR IS RESPONSIBLE FOR SUBCONTRACTING A PEGISTERED DESIGN PROFESSIONAL OR APPROVED AGENCY TO ACT AS THE COMMISSIONING AUTHORITY. PROVIDE EMPERICE OF THE COMMISSIONING PROCESS. THE COMMISSIONING AUTHORITY SHALL NOT BE AFFILLITED WITH THE CONTRACTOR AND SHALL BE APPROVED BY THE ENGINEEROMACH.
 - Architecture Planning Design

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REPLACEMENT CART BARN





IO SCALE FP3.1

SPECIFICATIONS

GENERAL CONDITIONS AND REQUIREMENTS

- ALL ELECTRICAL WORK INCLUDING BUT NOT LIMITED TO INSTALLATION, GROUNDING, EQUIPMENT AND DEVICES SHALL CONFORM TO THE REGURBENETS OF ALL AUTHORITIES HAVING JURISDICTION AND APPLICABLE NATIONAL, STATE, CITY, AND MUNICIPAL BURDING CODES.
- . ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL AND LOCAL STANDARDS AND GUIDELINES INCLUDING BUT NOT LIMITED TO THE LATEST VERSIONS OF THE FOLLOWING:
- 7 BUILDINATING ENGINEERING SOCIETY OF NORTH AMERICA (IES)
- NEPA NATIONAL FIRE PROTECTION ASSOCIATION: STANDARD FOR ELECTRICAL SAFETY IN THE WORKER LOS (NEPA 102)
- 5. UNDERWRITERS LABORATORY (OR OTHER RECOGNIZED PISPECTING AGENCY)
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO.
- ALL MATERIALS
- 2. EQUIPMENT, TOOLS, AND LABOR REQUIRED FOR A COMPLETE AND CODE COMPLIANT SYSTEM.
- ANY OSHA PEQUIREMENTS THAT MAY APPLY TO THE WORK UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO SAFETY MEETINGS. STRICT LOCK/OUT/TAG/OUT PROCEDURES. AND PROPER PROTECTIVE FOURPHY.
- LABOR AND SPECIALTY MODELING SOFTWARE REQUIRED FOR INTERDISCIPLINARY COORDINATION AND FAMILIARIZATION WITH SITE CONDITIONS.
- THE DRAWINGS AND SPECIFICATIONS SHALL BE UNDERSTOOD TO COVER COMPLETE SYS ACCORDING TO THEIR INTENT AND MEANING AS DESCRIBED HEREIN. THIS SPECIFICATION INCLUSIVE FOR EACH ITEM. REQUIRING ALL LABOR, MATERIAL AND EQUIPMENT INCESSAR PROPERLY INSTALL ATER, ADJUST AND PUT IN OPERATION THE COMPLETE ELECTRICAL
- THIS CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL ELECTRICAL COMPONENTS AND SYSTEMS AS REQUIRED FOR A FULLY FUNCTIONAL BY THE AND AS REAL STATEMENT OF THE AND ASSEMBLY FOR THE ELECTRICAL CONTRACTOR, IT MILE BET HE RESPONSIBLY OF THE ELECTRICAL CONTRACTOR, IT MILE BET HE RESPONSIBLY OF THE CLECTRICAL CONTRACTOR, IT MILE BET HE RESPONSIBLY OF THE CLECTRICAL CONTRACTOR TO PURCHASE ALL COMPANIET AND FUNNISH LADGE AN COMPANIET OF THE COMPANIET OF THE

- DAWNOS ARE GENERALLY DIAGRAMMATIC. ROUTING OF CRIGITS AND RACEWAYS ARE SHOWN THAT THE PROPERTY OF CRIGITS AND RACEWAYS ARE SHOWN THAT THAT THE PRODUCTION OF THE YORK STRUCTURAL LEARNEST THAT HAVE BE PRODUCTIONED ORDERED THE RESEAR, AUTOR OF THAT YORK OND CONTRACTION SHOWN AND ARE ANY CRIGITS OF MICHIGAN SHOWN ON THE PROPERTY OF THE CHESSAR, AUTOR SHOWN ON THE THAT THE CHESSAR, AUTOR SHOWN ON THE THAT THE CHESSAR AUTOR SHOWN ON THE CHESSAR AUTOR SHOWN ON THE THAT THE CHESSAR AUTOR SHOWN OF THE THAT THE CHESSAR AUTOR TO THE CHESSAR SHOWN OF THE THAT THE CHESSAR AUTOR TO T
- CONTRACTOR FAILL BE RESPONSIBLE AND PAY FOR ALL AVAY BAMGING, CORNIC, CUITING PATCHING, REPAIRID AND REPRISEING OF BILLION CONSTRUCTION REQUIRED TO SERVICIONE OF BILLION CONSTRUCTION REQUIRED TO SERVICIONE OF THE CONSTRUCTION REPAIRING TO THE CONSTRUCTION REQUIRED TO THE CONSTRUCTION AND CONSTRUCTION REPAIRING TO THE CONSTRUCTION REQUIRED TO THE CONSTRUCTION REPAIR TO THE CONSTRUCTION REPAIRS TO THE CONSTRUCTION REPAIR TO
- REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPARING, AND RETINISHING.

- CONTRACTOR SHALL FURNASH MATERIALS AND USE INSTALLATION METHODS SUITABLE FOR THE ENMEROMENTAL CONDITIONS OF THE AREA IN WHICH EQUIPMENT, FIXTURES AND DEVICES ARE INSTALLED.

IL CONFLICT IN DOCUMENTS

BL SHUT-DOWN OF SYSTEM

- COORDINATE AND SEQUENCE DEMOLITION SO AS NOT TO CAUSE SHUTDOWN OF OPERATION OF SURROUNDING AREAS.
- SHUT-DOWN PERSODS:
- ARRANGE TIMING OF SHUT-DOWN PERIODS OF SYSTEM, SERVICE WITH OWNER. DO NOT SHUT DOWN ANY SERVICE, WITHOUT PRIOR WRITTEN APPROVAL. PROVIDE NOTICE MINIMUM. IN VIOLENCE DAYS IN "PRIVALE". 2, KEEP SHUT-DOWN PERIOD TO MINIMUM OR USE INTERMITTENT PERIOD AS DIRECTED BY THE OWNER.
- MAINTAIN LIFE-SAFETY SYSTEM IN FULL OPERATION IN OCCUPIED FACILITIES, OR PROVIDE NOTICE MINIMUM 15 WORKING DAYS IN ADVANCE.
- 4. THE SYSTEM SHUT-DOWN SHALL BE DONE DURING OFF-BUSINESS HOURS,
- IV, VISIT TO SITE
- THIS CONTRACTOR SHALL CAMERILLY EXAMINE THE ENTIRE SET OF CONTRACT DOCUMENTS. MYST THE SITE, AND FAIL YAMBURDER HAMSELFFERSSER AS TO ALL CONCRIDIONS AND MATTERS AND CAMERICATION REPORTS OF THE WORK OF THE COST THEOREM, THE CONTRACTION REPORTS OF THE CONTRACTION REPORTS OF THE CONTRACT OF THE PROPERTY OF THE CONTRACT OF THE CONTRACT
- SUBMISSION OF PROPOSALS SHALL BE CONSIDERED EVIDENCE THAT THE CONTRACTOR HAS VISITED AND EXAMINED THE SITE.
- NO EXTRA PAYMENT WILL BE ALLOWED THE CONTRACTOR FOR EXTRA WORK CAUSED BY FAILURE TO VISIT, EXAMPLE AND VENIFY,

THE ENGINEER WILL MAKE PERIODIC VISITS TO THE JOSHIF TO OBSERVE THE PROGRESS OF THE WORK AND TO OBSERVE THE ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE ENGINEER IS NOT A GUIDANTOON THE CONTRACTORY WORK RESPONSED FOR JOSEPH SAFETY OF THE WORK THE PROGRESS OF THE SAFETY OF THE WORK. THE BYGINEER WOR THE SEPONSED FOR SAFETY OR ACQUIANT OF ANY PAPENDED IN LONG. SAFETY OR ACCOUNTY OF ANY PAPENDED IN LINEAR SAFETY OR ACQUIANT OF ANY PAPENDED IN LINEAR SAFETY OR ACQUIANT OF ANY

- . THE CONTRACTOR SHALL PAY ALL FEES AND OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED BY ANY AUTHORITY HAVING JURISDICTION IN CONNECTION WITH HIS WORK.
- C. WHERE APPLICABLE, ALL NEW MATERIAL SHALL BEAR THE UNDERWRITER'S (UL) SEAL OF APPROVAL AS WELL AS THOSE SEALS OF ALL JUDICIPALITIES HAND JURISDICTION, CERTIFICATES TO THE AFFECT TO BE FURNISHED TO ARCHITECT UPON REQUEST.
- D. THE ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL LICENSES REQUIRED BY THE GOVERNING BOOKES TO OPERATE AS AN ELECTRICAL CONTRACTOR FOR THIS PROJECT.

- ALL WORK TO BE PERFORMED SHALL BE DONE BY QUALIFIED MECHANICS. ALL MECHANICS IN THE EMPLOY OF THIS CONTRACTOR ON THIS PROJECT SHALL BE SKRLED IN THE PHASES OF THE WORK TO MAKEN THEY ARE USED.
- ALL WORK MUST BE DONE IN WORKMANLIKE MANNER TO THE COMPLETE SATISFACTION OF THE ENGINEER. ALL MATERIAL SHALL BE NEW, OF THE QUALITY SPECIFIED FREE FROM DEFECTS AND BEFREET ASS CONDITION. ALL VERTICAL CONDUITS SHALL BE PLUM.
- C. THE COMPLETE SYSTEM SHALL MEET THE REQUIREMENTS OF THE LOCAL ELECTRICAL CODE AND AS MAY BE MODIFIED BY LOCAL AMENOMENTS.
- THIS CONTRACTOR SHALL ESTABLISH SAFE WORKING PROCEDURES FOR THE PROTECTION OF THE WORKING CREW AND KON-WORKING OCCUPANTS IN ALL PRACES OF WORK COUNTY WO WITH THE PROJUCE OF ALL CITY, STATE AND FEDERAL SEPETLAND GORGAL TO SHALL INCLUDE "LOCK-DUTTAG-OUT" AND REQUIRED GROUNDING, WORK UNDER THIS CONTRACT SHALL NOT BE OFFICE ON ENTERGEED FROUNTS.

- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL CONFORM TO THE GRADE. QUAL AND STANDARD SPECKED MERBY. ALL EQUIPMENT OFFERED UNDER THESE SPECKPATHON SHALL SELLIMITED TO PRODUCTS REQUIANTLY PRODUCTS AND RECOMMENDED FOR STRANGE ACCORDANCE WITH ENGINEERING DATA, RATHONGS OR OTHER COMPRESSION LITERATURE MADE AVAILABLE TO THE PUBLIC AND IF SPECEL AT THE TIME OF OTHERS OF BISS.
- COUPUIST SEAL IS PRIVALED IN STREET ACCORDANCE WHIT MANUSCRIBERS INSTRUCTIONS FOR THE AND CANADY OF EACH PRECED EXAMENT USE OUR CONTINUES OF THE AND CANADY OF EACH PRECED EXAMENT USED OUR SESSION AND AND AND CONTINUES OF THE AND CONTINUES O

VIII. COORDINATION WITH DTHER TRADES

- CONTRACTOR SHALL CHECK DRAININGS OF OTHER TRACES TO VERRY THAT SHACES IN WHICH THERE WORK WILL BE INSTALLED IS CLEAR OF GRISHINGTHOME, WORK SHALL BE INSTALLED IN GRANT AND MANUFACTION HEADTON AND SHACE CONCRITION AT IT LE POINTS TO THE BUILDING, WHICH BE INSTALLED TO SHAUL BE INSTALLED TO BE INSTALLED TO THE PROPERTY OF THE WORK OF THE PROPERTY OF THE WORK OF THE PROPERTY OF THE WORK CONTRACTOR SHALL PRIMARY OF THE WORK OF THE WORK CONTRACTOR SHALL PRIMARY OF THE WORK OF THE WORK CONTRACTOR SHALL PRIMARY OF THE WORK OF THE W
- MERCE THERE IS DEPOSED THAT WORK OF ONE TRACE WILL RETERED WITH WORK OF OTHER TRACES. ALL TRACES SHALL MEET ON THE SITE TO YORK OUT SPACE CONSTITUTES. AND MAKE ATTRACES AND MAKE ALL TRACES SHALL MEET ON THE SITE TO YORK OUT SPACE CONSTITUTES. AND MAKE ATTRACES AND MAKE ATTRACES AND MAKE ATTRACES AND THE MAKE AND THE MAKE A TRACES AND THE MAKE AND THE MAKE AND THE MAKE AND THE MAKE A TRACES AND THE MAKE AND THE MAKE A TRACES AND THE MAKE AND
- REFER TO THE ARCHITECTURAL, MECHANICAL AND PLUMBING SHEETS AND SPECIFICATIONS FOR EQUIPMENT LOCATIONS, LOADS, AND ADDITIONAL REQUIREMENTS.
- G. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATION OF HIVAC EQUIPMENT TO BE WIRED PRIOR TO ROUGHEN.

IX. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE COURSETE SHOP DRAWINGS ROCKATING EXUPMENT, DEADE THE CONTRACTOR SHALL PROVIDE COURSETE SHOP DRAWINGS ROCKATING EXUPMENT, DEADE DRAWINGS, THE DRAWINGS SHALL BE MANTANDED AT THE LOB SITE AND SHALL BE UPPLATED AND MANTANDED HAS BREAK AND SOOSBEEL OF THE VIR SHALL PLATE STATUS OF THE PROVINCE AND MANTANDED HAS BREAK AND SOOSBEEL OF THE VIR SHALL PROVIDE AND AN AUTOCOP FORMAT AND SHAWTED TO THE BREAKEST RECORD DOCUMENTS HAVE BEEN AN AUTOCOP FORMAT AND SHAWTED TO THE BREAKEST RECORD DOCUMENTS HAVE BEEN AND AUTOCOPY THE WAS AND THE PROVIDED HAVE BEEN AND AND THE WAS AND THE WAS AND THE WAS AND THE PROVIDED HAVE COMPRISATION TO THE OWNER AND SHEEKES OF THE RECORD DOCUMENTS HAVE BEEN COMPRISATION TO THE OWNER AND SHEEKES OF THE RECORD DOCUMENTS HAVE BEEN COMPRISATION TO THE OWNER AND SHEEKES OF THE RECORD DOCUMENTS HAVE BEEN CONTRACTOR OF THE PROVIDENCE OF THE PROVIDED HAVE CONTRACTOR OF THE PROVIDED HAVE BEEN CONTRACTOR OF THE PROVIDED HAVE THE PROVIDE
- PROVIDE DIMENSIONAL DRAWINGS, MANUFACTURERS' TECHNICAL DATA, PERFORMANCE, ELECTRICAL CHARACTERISTICS, RATINGS, AND EMISHES, INCLUDE WIRING DIAGRAMS FOR POWER SIGNAL AND CONTROL WIRING.
- E. PROVIDE SHOP DRAWINGS FOR CONDUITS LARGER THAN 1" AND ALL EXPOSED RACEWAYS

X. IDENTIFICATION

- B. PROVIDE PANELBOARD AND CIRCUIT NUMBER TAG ON EACH RECEPTACLE.

XI. FIRESTOPPING

- APPLY ULLUSTED FIRE STOPPING TO PENETRATIONS OF FIRE-MATED FLOOR AND WALL ASSEMBLIES FOR ELECTRICAL INSTALLATIONS TO RESTORE ORIGINAL FIRE-RESISTANCE RATING OF ASSEMBLY.
- PROVIDE FIRE PUTTY TO MEET FIRE RATED ENCLOSURE UL LISTING REQUIREMENTS ON ALL ELECTRICAL BOXES INSTALLED ON THE FIRE RATED WALLS AND CELLINGS.

XIL CLOSEOUT PROCEDURES

- PERFORM TESTS RECOMMENDED BY MANUFACTURER INCLUDING VISUAL, MECHANICAL, AND ELECTRICAL INSPECTIONS.
- 2. PERFORM INSULATION-RESISTANCE TESTS IN ACCORDANCE WITH IEEE 43.
- 2. FUNCTIONALLY TEST EQUIPMENT TO ENSURE IT IS INSTALLED PER DESIGN.
- PROVIDE OPERATIONAL TEST AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, CONFIRM PROPER OPERATION.
- PRIFORM EMERGENCY STEELS (ENSAITOR, TRAVETER ANTICH, MERCERCY MOTTING, METHOD AND THE PROPERTY OF THE PROPERTY

- THE GUARANTEE SHALL INCLUDE RESTORATION TO ITS ORIGINAL CONDITION OF ALL ADJACENT WORK THAT MUST BE DISTURBED IN FULFILLING THIS GUARANTEE.
- ALL SUCH REPAIRS AND/OR REPLACEMENTS SHALL BE MADE WITHOUT DELAY AND AT THE CONVENIENCE OF THE DEVELOPER AND TENANT,

BISTALLER AND MANUFACTURERS AGREE TO REPAIR OR REPLACE MATERIALS OR WIDRIMAISHP THAT FAIL WITHIN SPECIFICO WARRANTY PERSOD, WARRANTY PERSOD SHALL BE ONE VEAR FROM DATE OF SUBSTAINIAL COMPLETION.

INSPECTION

- ALL ELECTRICAL WORK IS TO BE INSPECTED AND APPROVED BY THE AUTHORIZED REPRESENTATIVE BEFORE THE SYSTEM IS ENERGIZED. DUPLICATE CERTIFICATES OF THIS APPROVIAL SHALL BE DELIVERED TO THE ENGINEER.

- ALL FEES FOR THIS INSPECTION AND APPROVAL SHALL BE ECRINE BY THE CONTRACTOR AND ARE TO BE INCUDED IN HISHER RID. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR THIS SERVICE.
- E. CLOSEOUT DOCUMENT AND EQUIPMENT TURNOVER
- PROVIDE FINAL AS-BULT DRAWINGS IN ELECTRONIC POP FORMAT TO OWNER AND ENGINEER SHOWING FINAL INSTALLED CONDITIONS AND BEFORE FINAL PAYMENT WILL BE ISSUED.
- THE AGBUET DRAWINGS SHALL CARRAMATICALLY INDICATE THE INSTALLED COXCITION CRICUIT NUMBERS AND LOCATION OF THE DEVICES FOR ALL WORK. THESE DRAWINGS SHALL ECONDERED CONTINUES ENCOUNTERED AND SHALL ACCURATELY REFLECT THE ACTUAL INSTALLATION OF THE ELECTRICAL COMPONENTS AND COMMUNICATION. 2. PROVIDE ALL EQUIPMENT INSTALLATION, MAINTENANCE, AND INSTRUCTION MANUALS,
- 4 TURN OVER ALL KEYS, SPARE MATERIALS, STOCK ITEMS, AND OTHER EQUIPMENT PURCHASED AS PART OF THE CONTRACT AND BELCHIGNISTO THE CHANGE.

XV. WIRE AND WIRING METHOD

- ALL CONDUCTORS SHALL BE COPPER IN SIZES AS SHOWN OR REQUIRED BY LOADS SERVED. ALL CASLE SHALL BE ROMOLT INSULATION RATED AT 75 DEGREES C, WITH TERMINATIONS AND LOADS SERVED RATED AT 75 DEGREES C, INDOOR DRY LOCATIONS SHALL BE TYPE "THIN" AND WET LOCATIONS FORCES SELVED THE SLAB, AND BELLOW GRACE) SHALL BE TYPE "SHAM".
- A SEPARATE NEUTRAL CONDUCTOR AND GREEN GROUND WIRE SHALL BE INSTALLED FOR EACH FFFDER AND BRANCH CIRCUIT
- C. EACH BRANCH CIRCUIT SHALL HAVE A DEDICATED NEUTRAL WIRE, A SHARED NEUTRAL IS NOT MINIMUM SIZE CONDUCTOR SHALL BE #12 EXCEPT FOR CONTROL, FIRE ALARM AND SIGNAL CABLES. CONDUCTORS AND ASSOCIATED RACEWAYS SHALL BE INCREASED FOR YOLTAGE DROP COMPENSATION AS CALOUATED ACCORDING TO ELECTRICAL CODE RECURREMENT.
- F. REMOVE ALL UNUSED AND ABANDONED WIRING INCLUDING LOW VOLTAGE, COMPLETELY BACK TO SOURCE.
- ALL COMMUNICATION CABLING INSTALLED IN PLENUM AIR SPACES SHALL BE IN CONDUST WITHOUT AIRY EXCEPTIONS. H. ALL PLENUM AIR SPACES AREA SHALL BE IN CONDUIT WITH PLENUM RATED BOX
- E.C. SHALL PROVIDE ALL FEEDER & BRANCH CIRCUITS SIZED BASED ON VOLTAGE DROP REQUIRED PER LOCAL CODE. J. CONDUCTOR SPLECING
- L SPLICES SHALL BE MADE STRICTLY IN ACCORDANCE WITH THE INSTRUCTIONS OF THE CABLE MANUFACTURER USING THE METHODS AND MATERIALS RECOMMENDED BY HM. 1. FOR #10 AND #12 WARE SPLICES SHALL BE MADE WITH SCOTCH-LOK CONNECTORS.
- WARE 45 AND LARGER SHALL BE CONNECTED WITH BURNDY OR EQUAL SOLDERLESS MECHANICAL LUG AND PAINTED WITH INSULATING VARIASH.
- ALL CONNECTIONS SMALL BE PROPERLY TAPED WITH SCOTCH ELECTRICAL TAPE #22 #33 OR APPROVED EQUAL. ALL GROUND SPLICES AND GROUND CONNECTIONS TO DEVICES WITHIN METALLIC BOXES SHALL BE BONGED TO BOX USING APPROPRIATELY SIZED PROTAIL CONNECTIONS OR OTHER IX. APPROVED BOXIGING METHOD.

XV1. GROUNDING AND SONDING

L'ENTINONINO AND EXEMPLE

EXEMPLET REPRODUCT CONDUCTORS SHALL SE UL 23 PAULATED STRANCED COPPER. UNE
OTHERWISE RICKATED ON THE DIMENDIA, ROLLARION CHOICE SHALL SE CONTINUOUS CREE
OTHERWISE RICKATE ON THE DIMENDIA, ROLLARION CHOICE SHALL SE AND SHALL
BAND STRANCED COPPER, EXCEPT THAT ELESS IN 1.3 MAND AND ANALESS SHALL SE ASTEM SHALL
SOUD BASE COPPER USES. CONDUCTOR SEED CHALL NOT SE (ESS THANMANTS SHOWN)
OF A CONDUCTOR SHALL SHA

XX, PANELBOARDS

- PROVIDE PANELBOARDS WITH ELECTRICAL COMPONENTS, DEWCES, AND ACCESSORIES LISTED AND LABELED AS DEFINED IN NPPA 70. BY A QUALIFIED TESTING AGENCY, MARKED FOR INTERNED LOCATION AND APPLICATION AND THAT COMPLY WITH NEWA PS 1.
- SUBJECT TO COMPULANCE WITH REQUIREMENTS, PROVIDE PANELBOARDS BY
- 1. SQUARED
- 3. GENERAL ELECTRIC 5. APPROVED EQUAL
- SURFACE MOUNTED (AS SHOWN IN PLAN), DEAD-FRONT CASINETS RATED FOR EN CONDITIONS AT INSTALLED LOCATION.
- E. INDOOR DRY AND CLEAN LOCATIONS. NEMA 250: TYPE 1), PROVIDE GALVANIZED STEEL CARINET. TO HOUSE PANELSOARDS FLUSH AND SUPFACE-HOUNTED. DEAD-FRONT CARINETS.
- PROVIDE DIRECTORY CARD WITH TRANSPARENT COVER PERMANENTLY MOUNT ON MICIDE CO.

- PANELBOARD FAULT WITHSTAND RATING SHALL BE INCREASED BY THE ELECTRICAL CONTRACTOR AS A RESULT OF SHORT-CIRCUIT STUDY RESULTS AT NO ADDITIONAL COST TO PROJECT.
- C. ALL NEW CIPCUIT BREAKERS FOR THE EXISTING PANELBOARDS SHALL BE COMPATIBLE WITH THE EXISTING EQUIPMENT, AIC RATINGS SHALL MATCH THE OFFICINAL EQUIPMENT AIC RATINGS. L. CIRCUIT BREAKERS SERVING HAND DRYERS AND WATER COOLERS SHALL SE GFCI TYPE, WHERE APPLICABLE.
- M. CIRCUIT BREAKERS SERVING EMERGENCY LIGHTING FIRE PUMPS. FIRE ALARM. DUT SIGNS, AND SIMILAR EMERGENCYLLIFE-SAFETY LOADS SHALL BE PROVIDED WITH RED LOCK-ON DEVICES.

N. PROVIDE A TYPEWRETTEN DIRECTORY OF ALL CIRCUITS IN THE PANELBOARD.

- LIST OF APPROVED MANUFACTURERS SHALL BE THE FOLLOWING OR AS OTHERWISE NOTED ON DESIGN DRANDINGS
- 1. POWER DEVICES

- B. GFCI, WEATHER RESISTANT, AND OTHER SPECIALTY TYPE RECEPTACLES SHALL BE PROVIDED WHERE REQUIRED BY CODE AND THE CONSTRUCTION DOCUMENTS. C. CUPIEX PECEPTACIES SHALL BE SINGLE PHACE TO AMPERE. TO YOLT? 2 FOLE 3 WIRE AND CONFORM TO STANDARD NEW WOY HAWN DUTY THE THE UNBROUNDED POLE OF EACH RECEPTACE SHALL BE PROVIDED WITH A SEPARATE TERMINAL, ALL DUTIONS RECEPTACES SHALL HAVE WE'RALL'E CONCASE WHILE BY USE COVERS. COLOR SHALL BE SELECTED BY ENCINEER.
- GROUND FAULT INTERRUPTER DUPLEX RECEPTACLES SHALL BE AN INTEGRAL UNIT SUTTABLE FOR MOUNTING IN A STRAIGHED OUTLET BUY. GROUND FAULT INTERRUPTERS SHALL BE PREIVE GRADE AND CONCEILS OF A DEFENDANT LICENSEMENT PROSFORMER, DOLD STATE SCHOOL CRICLIFFY AND A GRICLIF INTERRUPTER SWITCH IT SHALL BE RATED FOR OPERATION ON A GO KL. 123 VOLT. SAUMPERE BRINGHT GRUNTLE SCHOOL SHALL BEET U.S. SHALL PEET U.S.
- TOGGLE SWITCHES SHALL BE SINGLE UNIT TOGGLE BUTT CONTACT QUET AC TYPE HEAVY DUTY GENERAL-PURPOSE LIE WITH ANINTECRAL SELF ORDUNGING MOUNTING STRAP, LISTED BY UNDERWRITERS LABORATORIES, INC., AND MEET THE REQUIREMENTS OF NEMA WO 1 MEMOT_DUT AND IL. 20 RATED FOR 20 AMPERES AT 120-277 VOLTS AC.
- 1. DUPLEX RECEPTACLE LEVITON # BR20.
- 3. GFCI RECEPTAGLE LEVITON # N7599-HG ALL OUTDOOR RECEPTACLES SHALL HAVE IN-USE COVERS AS MANUFACTURED BY TAYMAC OR APPROVED EQUIAL

- WALL PLATES FOR SWITCHES AND RECEPTACLES SHALL BE TYPE 502 BRUSHED STAINLESS ST INFOSIC AREA AND GALVANEED STEEL BY MANTENANCE AREA. ALL DEVICES MOUNTED SPOSICS TO MEATHER FALL SE MOUNTED BY CAST ALUMNUM PRICOSMETS THAT ARE NEW.
- H. REFER TO ARCHITECTURAL DRAYINGS FOR ELECTRICAL WIRING DEVICE MOUNTING AND ELECATION FINAL INFORMATION.

XXIIL LIGHTING FIXTURES

- LIGHT FEXTURES SHALL BE PROVIDED AS SPECIFIED ON DRAWINGS, ALL FEXTURES SHALL BE MOUNTED IN PLACE, PROPERLY WIRED TESTED AND LEFT READY FOR OPERATION BY THE ELECTRICAL CONTRACTOR.
- HANGING DEVICES, BRACKETS, ENCLOSURES AND OTHER ACCESSORIES SHALL BE PROVIDED FOR A COMPLETE INSTALLATION AND SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
- C. LIGHT FIXTURES SHALL BE AIRCRAFT CABLE OR ROD SUPPORTED FROM THE STRUCTURE. D. FLEXIBLE CONDUST CONNECTIONS TO RECESSED LIGHTING FIXTURES SHALL BE MADE WITH FLEXIBLE STEEL CONDUST, 38 INCH MINAMUM,
- E. THE CONTRACTOR SHALL VERIFY THE CEILING CONSTRUCTION TYPE BEFORE ORDERING LIGHTING FEXTURES WITH ARCHITECTURAL DETAILS TO CONFIRM PROPER MOUNTING.
- FOR EXACT LOCATION OF LIGHTING FIXTURES REFER TO ARCHITECTURAL REFLECTED CEILING FLANS AND ELEVATIONS, WHERE COMPLICTS EXIST BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWNINGS. COORDINATE WITH ARCHITECTUR NELD PROY TO ROUGHEN

XXIV. FIRE ALARM SYSTEM

- SECTIFICAL CONTRACTOR TO HIPE A LICENSED FIRE ALARM CONTRACTOR TO DESIGN AND INSTALL ALL RISE ALARM DENCESS HACCORDANCE SITS THE LOCAL PIER CODE AND INFO TO CERTIFICATION IN ENGLISHER AND THE FORE AND INFO TO CERTIFICATION IN ENGLISHERS THE FORE CONTRACTOR FROM THE RISE ALARM STORES HALL COMMITTED AND THE COLUMN THE RECURSIVENT FOR THE COCUMENT AND SUILDING TIPE AS STATED ON THE ARCHITECTURAL PROMISES.
- THE FIRE ALARM CONTACTOR / DESIGNER SHALL SUBMIT PLANS TO THE LOCAL FIRE.
- DEPARTMENT AND THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PERFORMENG ANY FIRE ALARM SYSTEM WORK, UPON COMPLETION OF THE INSTALLATION, A LICENSED NUMBER AND A SPECIFIC AUTHORITY GIVEN BY LOCAL
- E. PROVIDE KOTIFICATION APPLIANCE CONTROL PANEL INICIA AS REQUIRED FOR NEW FIRE ALARI NOTRICATION DENCES, PURNASH AND INSTALL NEW FIRE ALARIN CASLE TO CONTROL TO NEW FACE, PURNASH AND INSTALL A 12V JOA DESCATED POWER CONNECTION FROM THE NEARES PANEL BOARD, PROVIDE A SMALE DETECTOR ANDVE HE NACE POWER.
- G. EACH DEVICE SHALL BE PROGRAMMED WITH DEDICATED ADDRESS.
- L ALL FIRE ALARM DEVICES AND BOXES SHALL BE RED IN COLOR. J. IF LOCAL CODE ALLOWED THEN INSTALL ALL FIRE ALARM CABLE IN FREE AIR ABOVE THE ACCESSIBLE CENING, OTHERWISE COMPLETE CONDUIT SYSTEM SHALL BE INSTALLED.
- K. FURNISH AND INSTALL NEW NOTIFICATION APPLIANCE CIRCUIT PANEL WITH BATTERY BACKUP AS RECHARED.
- L FURNISH AND INSTALL 120V DEDICATED POWER TO NOTIFICATION APPLIANCE CIRCUIT PANEL AMPLIFIER PANEL FACE AND FAAR FROM THE NEAREST EMERGENCY PANELBOARD.

ELECTRICAL SYMBOLS GENERAL EQUIPMENT TAG (024) KITCHEN EQUIPMENT TAG MATCH LINE
SEE SHEET NO. XE.00
MATCH LINE EMERGENCY LIGHTING VIEW # MEW REFERENCE SECTION VIEW REFERENCE POWER UTILITY METER (e) JUNCTION BOX WALLPACK EMERGENCY LIGHTING — ® × JUNCTION BOX WITH SWITCH NON-FUSED DISCONNECT SWITCH FIRE ALARM FUSED DISCONNECT SWITCH PANELBOARD HORN AND VISUAL COMBO ALARM

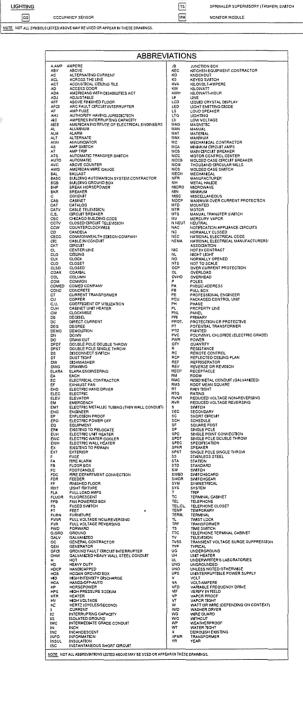
SMOKE DETECTOR

MANUAL PULL STATION

SPRINKLER WATER FLOW SWITCH

WALL RECEPTACLE - DUPLEX

WALL RECEPTACLE - DUPLEX ABOVE COUNTER



WEISS Architecture • Planning • Design Chicago Illinois 60654 312 • 986 • 1160 312 • 986 • 1161 (fax) email@weissarch.com ELÁRA

REPLACEMENT CART BARN

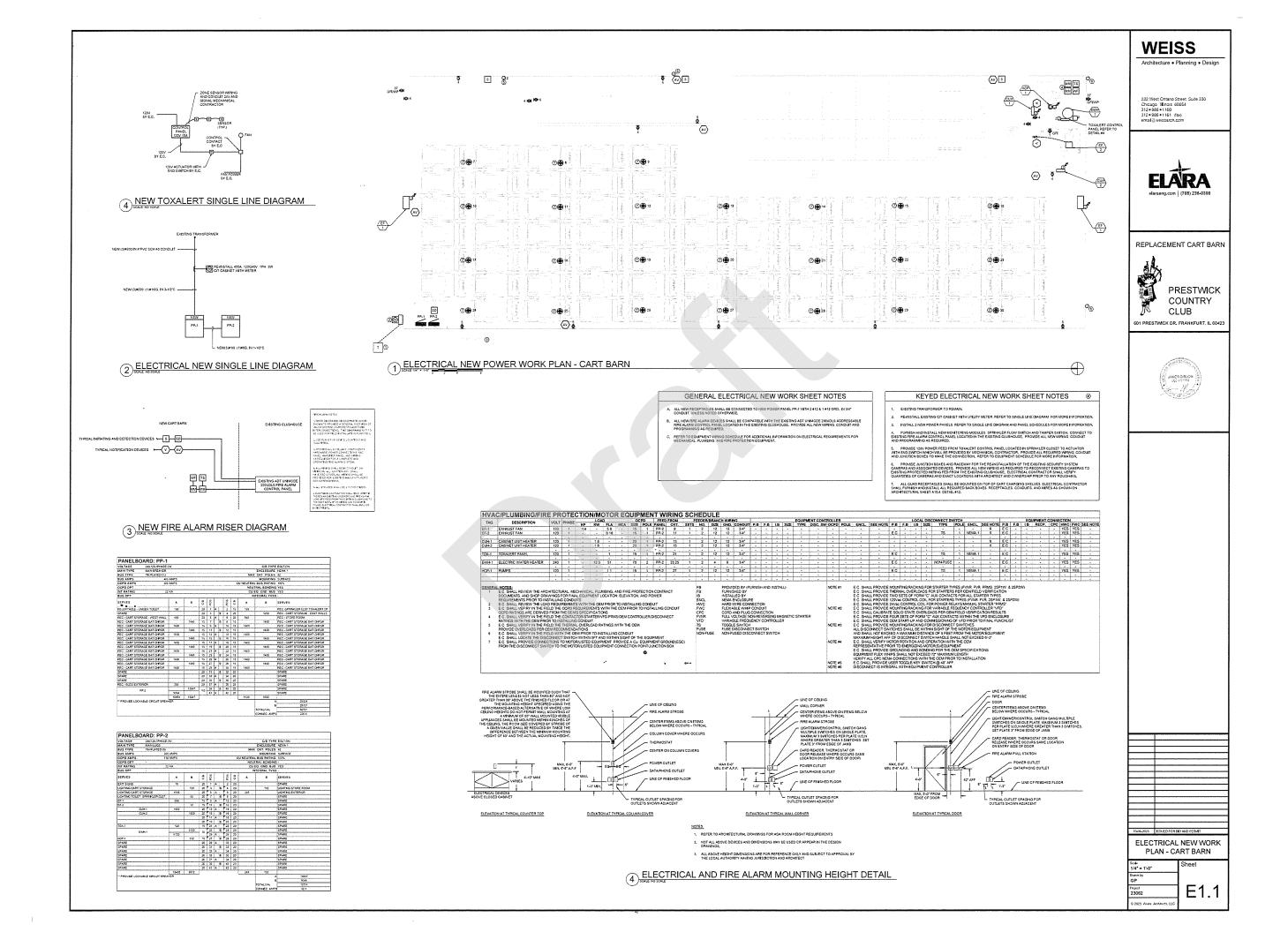


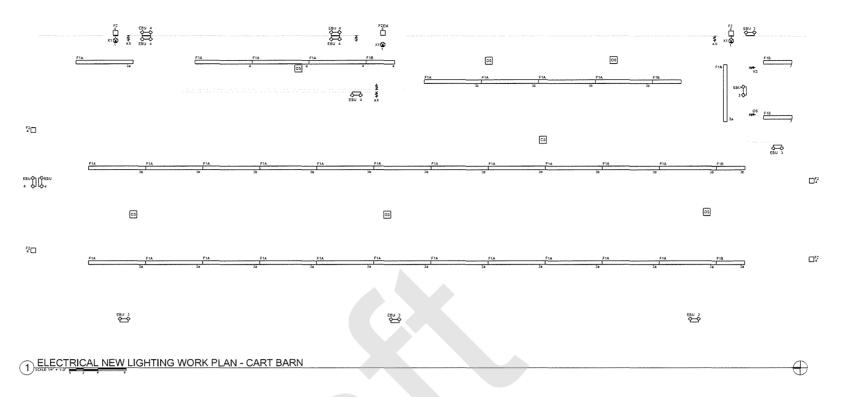
01 PRESTWICK DR. FRANKFURT, IL 6042



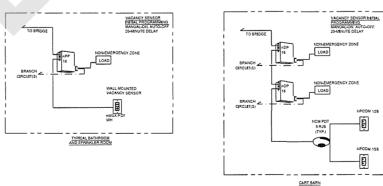
ELECTRICAL SYMBOLS ABBREVIATIONS, AND NOTES NO SCALE

E0.1





140	MANUFACTURER	MODEL	LAMP SOURCE & DRIVER	DIMMING	COLOR TEMP	(MIN)	LUMENS	WATTS	VOLTAGE	MOUNTING	NOTES
1A	COLUMBIA LIGHTING	MPS8-35XW-CW-E	LED		3000K	90	5000	36	UNIV	SURFACE	1 2 3 5 6 7
:B	COLUMBIA LIGHTING	MPS4-39VW-CW-E	LED		3500K	ēC .	2500	18	UNV	SURFACE	123567
F2	EXO LIGHTING	LNC2-48L-45-4K7-4W-UNV-PC	LED		4000K	פה	5500	45	UNV	SURFACE	1 2 3.7
X:	PARAFLEX	PFX5504-1-R-W	LED	NA.	RED	NA .	NA.	372	UNV	RECESSED	9.10
SU:	COOPER LIGHTING	SELDWIA	LED	56A		-		5	UW	SURFACE	10
1	PURNISH DITH INTEGRAL FUSE BY MA	OT REFER TO ARCHITECTURAL RICH FOR FIXTURE NUFACTURERI OR NUME HISE BY ELECTRICAL CO NOT SIGN IS MOURE ON OFFING UNLESS NOTED OF	NORACTOR) FLUE AMPACTY PATNS			FIXTURE OR NEXT S	ANDARD SIZE				
-	FUTTISH ORDER FOR EACH AFT LENG		HE MAKES CHATTERMAN SEES					~			
6	SEE ARCHITECTURAL DRAWINGS FOR										
		ER AND MODEL NUMBER AS NOTED OR SUBMIT E			OVE EQUALITY BY SUBMIT	TING PHOTOMETRIC	S SPECIFIC TO PROJEC	AND MATCH THE	FOLLOWING LUMB	OM BEATLOW SEATTANN BAN	UNTING LAMP COLOR SIDURCE
7	TEMPERATURE STYLE OUV DEPARK	TANDANIC COLLADO SITUE DOST MUCIOS MOD									



2) ELECTRICAL LIGHTING DETAILS

	MW5X POT WH	WALLPOD PUSH BUTTON ON/OFF 1-PCLE, LOW VOLTAGE, WITH OCCUPANCY SENSOR FLIGHT #HWSX PDT WH
	NPODM 158	WALLPOD 2 ZONE PUSH BUTTON ON/OFF LOW YOLTAGE BUSHT #RPOOM WH
(CM PDT 9 RJS	CEILING MOUNTED DUAL-TECH LOW VOLTAGE OCCUPANT SENSOR WITH REAR PORT CONNECTION, SWALL MOTION (12-0* RADIUS), HISTH SHOW POT 9 RJS WITH AUX CONTACT
NOT		
1.		E QUANTITIES SHOWN IN THIS DIAGRAM ARE FOR Y. CONTRACTOR SHALL REFER TO LIGHTING PLAN TITTIES.
2	COORDINATE WIT	TH MANUFACTURER FOR DEVICES MODEL # AND
3.	FURNISH AND INC	STALL CABLES PER MANUFACTURER REQUIREMENTS.
WIRE	LEGEND LEGEND	TAGE

GENERAL ELECTRICAL NEW WORK SHEET NOTES

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REPLACEMENT CART BARN



601 PRESTWICK DR. FRANKFURT, IL 60423



ELECTRICAL LIGHTING PLANS



Prestwick Country Club



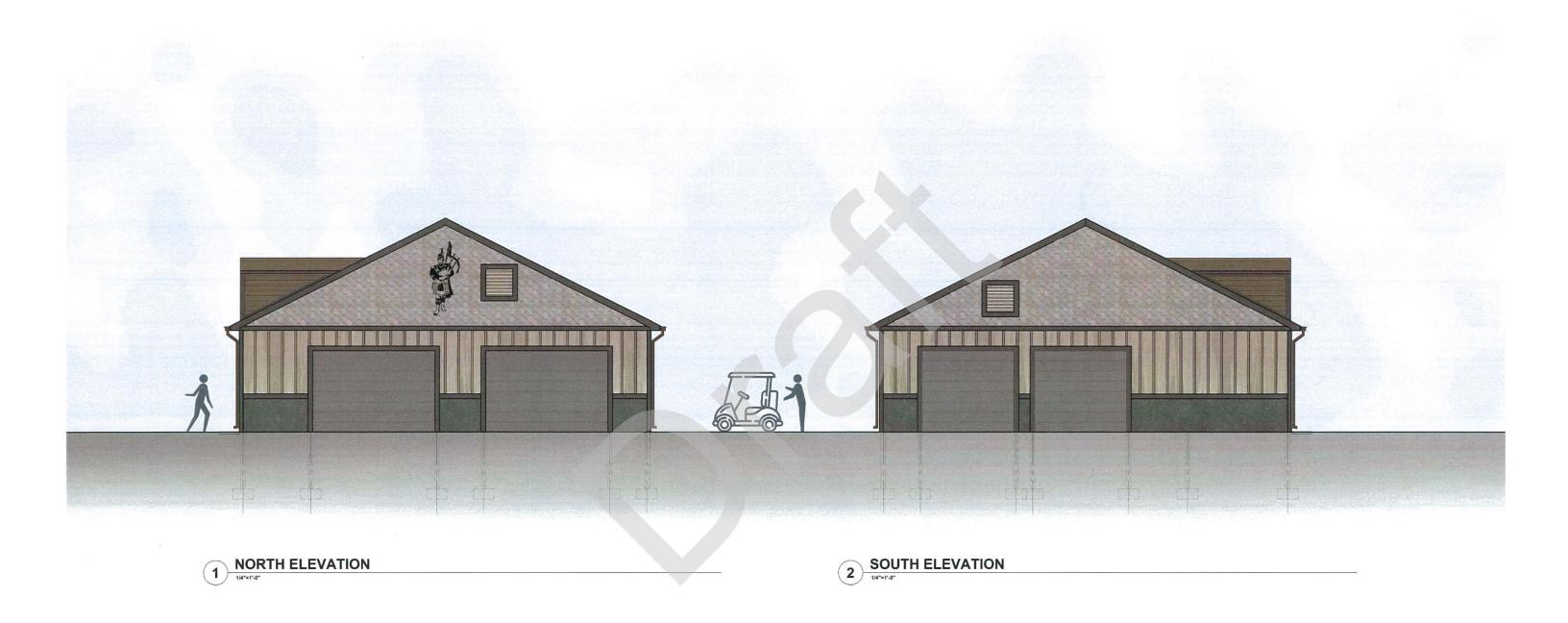
Prestwick Country Club



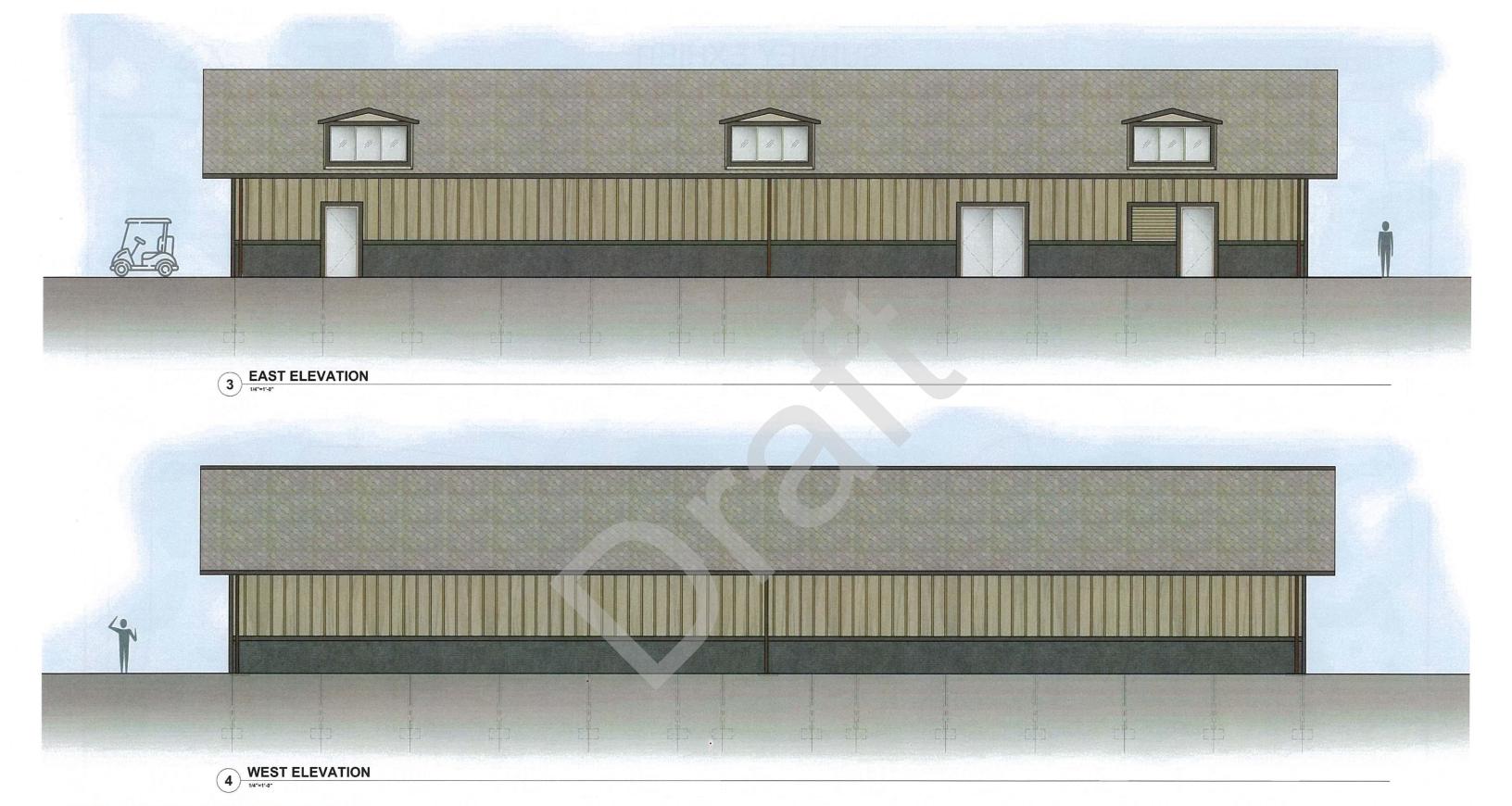
Prestwick Country Club

RECEIVED

By Christopher Gruba at 2:31 pm, Oct 31, 2023



Prestwick Country Club



RECEIVED

By Christopher Gruba at 2:31 pm, Oct 31, 2023

Prestwick Country Club

WEISS

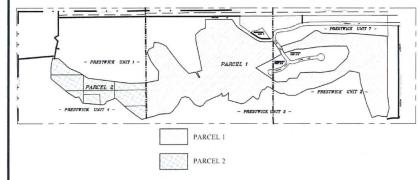
Architecture • Planning • Design

Frankfort, Illinois

Oct. 06,2023

RECEIVED

By Christopher Gruba at 9:46 am, Oct 26, 2023



SURVEY EXHIBIT

PARCEL I:

THAT PART OF THE NORTHEAST 's AND THE NORTHWEST 'S OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN THAT LIES SOUTH OF THE SOUTH LINE OF THE CHICAGO PIPELINE COS RIGHT OF WAY AS CREATED BY DOCUMENT RECORDED MAY 10, 1959 AS NO. 670046. EXCEPTING THEREFROM THE FOLLOWING 14 TRACTS OF LAND: (1) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & COS PRESTWICK, UNIT NO. 1. ACCORDING TO THE PLAT THEREOF RECORDED MAY 10, 1959 AS DOCUMENT 10, 1949. AND AMENDED BY DOCUMENT NO. R85-1087 AND CERTIFICATE OF CORRECTION RECORDED AS DOCUMENT NO. R85-2387; (2) ALL THAT PART FALLING IN ARTHUR T. MCINTOSH & COS PRESTWICK, UNIT S. ACCORDING TO THE PLAT THEREOF RECORDED AGENT THEREOF RECORDED AGENT THEREOF RECORDED AGENT THE PLAT THEREOF RECORDED AGENT AGENT THE PLAT THEREOF RECORDED AGENT AGENT

LOTS 3, 5, 6, 7, 8, 9, 10 AND 14 IN JAMES BORMAN'S SUBDIVISION OF THE MA-NI-TO-OUA RESERVATION IN SECTION 26, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT LOTS 3, 5, 7, 8, 9, 10 AND THE STREET SOURCES SOURCES AS SECRETIANS OF THE MEASURE SOURCES AND THE STREET SOURCES

PERMANENT INDEX NUMBERS: 09-25-102-009, 09-25-200-034,09-26-200-013, 09-26-200-014, 09-26-200-015, 09-26-200-016, 09-26-200-017





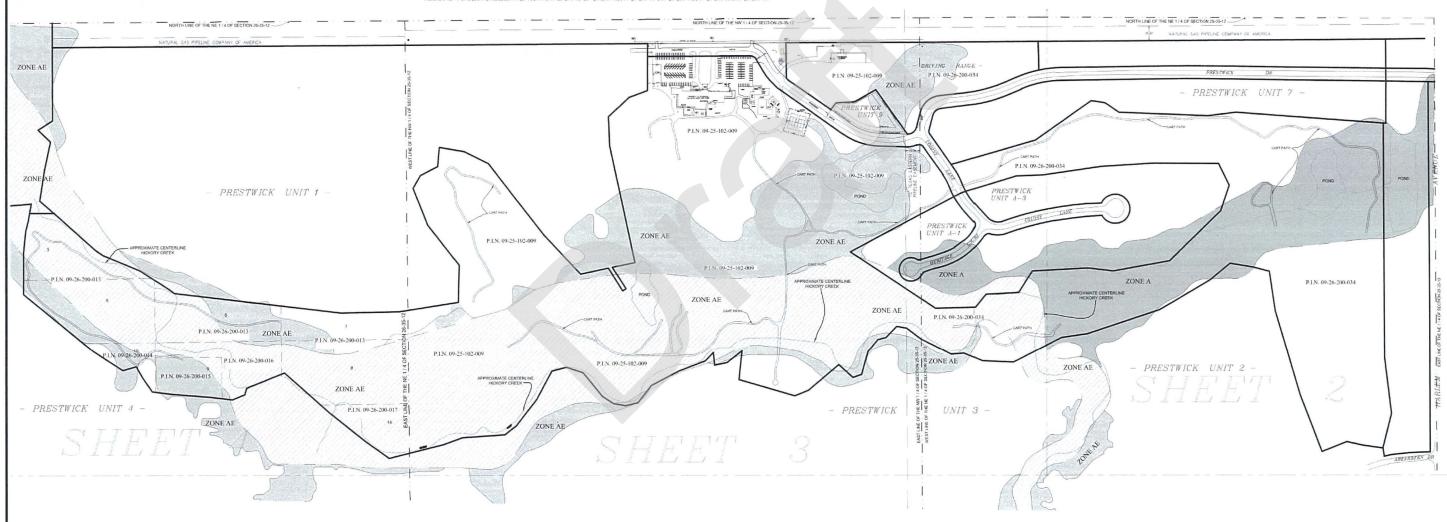
FEMA LEGEND

ZONE A NO BASE FLOOD ELEVATIONS DETERMINED.

ZONE AE BASE FLOOD ELEVATIONS DETERMINED.

FLOODWAY AREAS IN ZONE "AE"

ZONING INFORMATION TAKEN FROM FEMA MAP NUMBER 17197C0331 G, DATED: 2/15/19



NOTES:

BASIS OF BEARINGS ARE ASSUMED AND USED TO DENOTE ANGLES ONLY.

- 2. PROPERTY CORNER MONUMENTS NOT SET
- 3. NO FIELD WORK PERFORMED , SURVEY IS PER RECORDED PLATS AND RECORDS

Joseph A. Schudt & Associates



CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

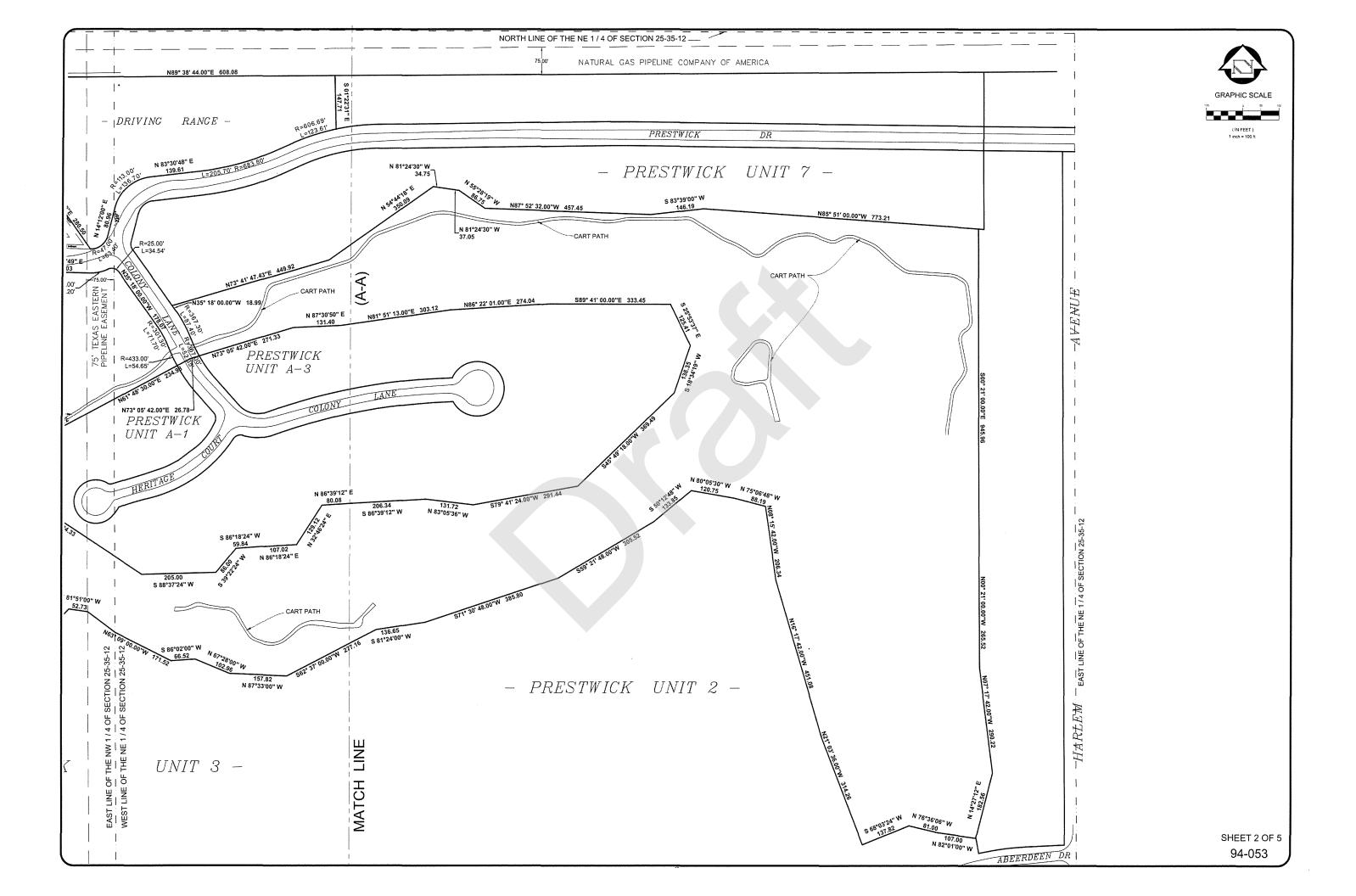
ORDERED BY: PRESTWICK COUNTRY CLUB

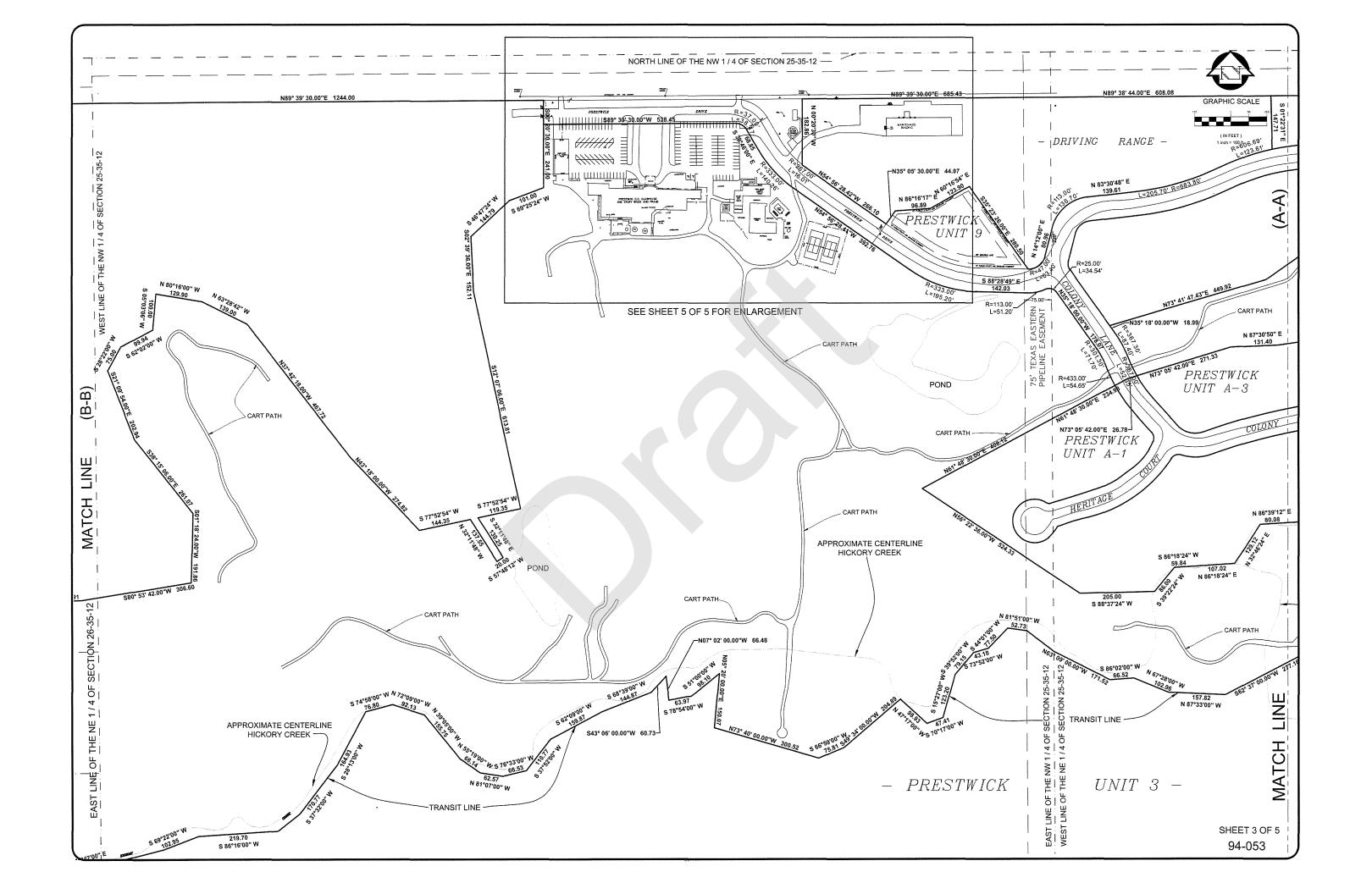
94-053

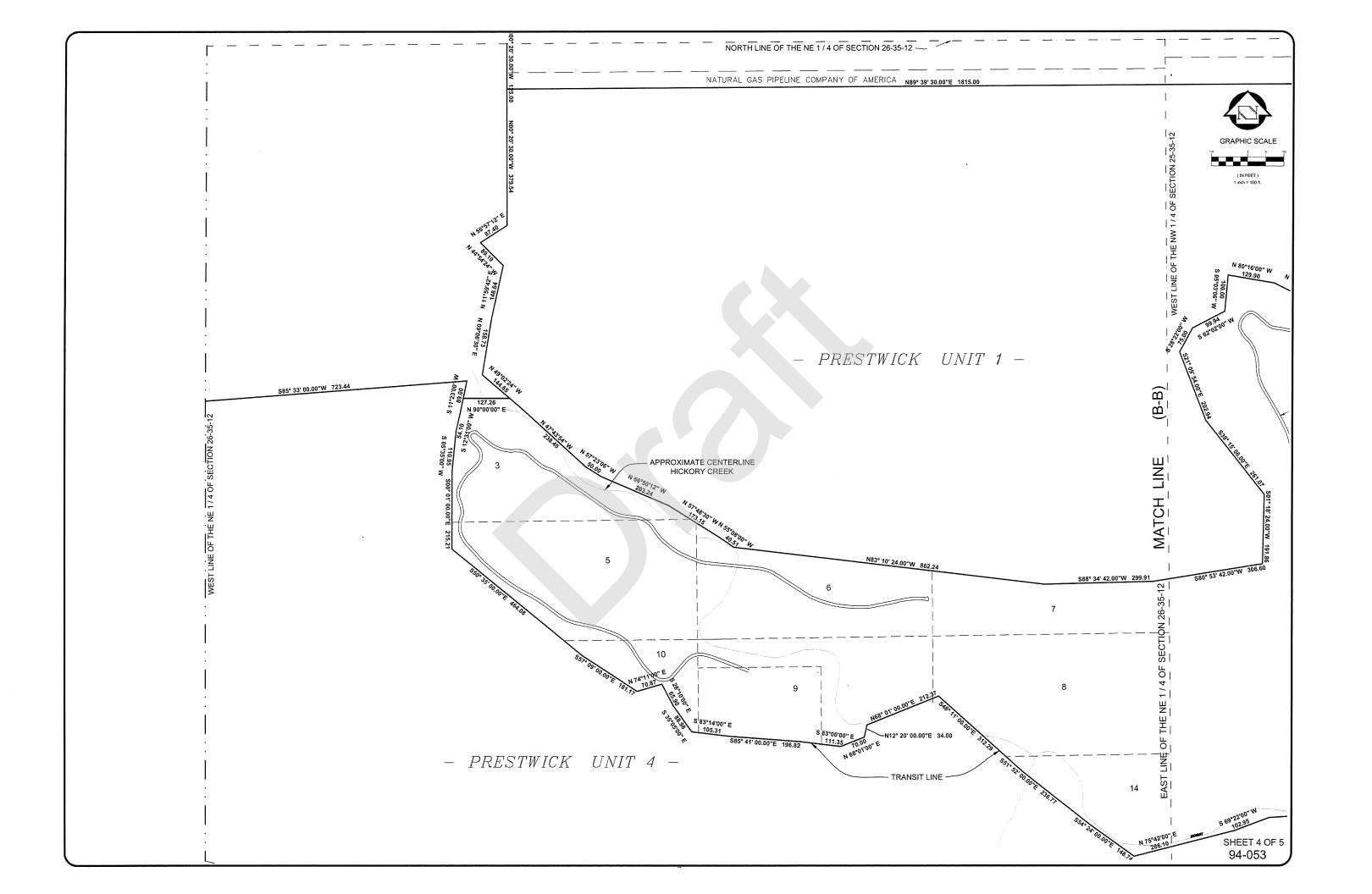


JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY HAVE SURVEYED THE PROPERTY DESCRIBED HEREON, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS IN









E. <u>APPROVAL OF EXECUTIVE SESSION MINUTES AND</u> <u>DESTRUCTION OF VERBATIM RECORDINGS – RESOLUTION</u>

(Presenter: Trustee Petrow)

The Village Board has conducted its semi-annual review of all written minutes of the closed session meetings pursuant to the Illinois Open Meetings Act, 5 ILCS 120/1 et seq., and recommend the minutes remain closed because the need for confidentiality still exists. The Village Board has further determined that the audiotaped verbatim records of closed session meetings where more than 18 months have lapsed are eligible for destruction.

Motion: Adopt a Resolution approving certain closed session meeting minutes and authorizing the destruction of verbatim records of certain closed session meetings of the Village of Frankfort.

RESOLUTION NO. 23-XX

A RESOLUTION RECOMMENDING EXECUTIVE SESSION MINUTES REMAIN CLOSED AND AUTHORIZING THE DESTRUCTION OF CERTAIN VERBATIM RECORDS OF THE BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT

WHEREAS, the Board of Trustees of the Village of Frankfort ("Village Board") has met from time to time in closed session for purposes authorized by the Illinois Open Meetings Act (5 ILCS 120/1 *et seq*); and

WHEREAS, this governmental body has made a verbatim recording of all closed sessions; and

WHEREAS, the Village Board has conducted its semi-annual review of all written minutes of the closed session meetings that have not been released for public viewing; and

WHEREAS, the Village Board has determined that a need for confidentiality still exists as to all or part of the written minutes of the closed session meetings held on the dates as set forth in Exhibit A; and

WHEREAS, the Open Meetings Act permits governmental bodies to destroy the verbatim record of closed session meeting(s) no less than eighteen months after completion of the meeting as set forth in Exhibit B.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1: The foregoing recitals are incorporated into and made a part of this Resolution.

SECTION 2: The Village Board hereby approves the written minutes of the closed session meetings that are specifically listed in Exhibit A and further determines that the need for confidentiality still exists as to all or part of those minutes listed in said Exhibit A.

SECTION 3: The Village Board hereby authorizes the destruction of the audiotaped verbatim records of all closed session meetings that are specifically listed in said Exhibit B.

SECTION 5: This Resolution shall be in full force and effect from and after its passage.

PASSED AND APPROVED this 6th day of November, 2023.

	KEITH OGLE VILLAGE PRESIDENT
ATTEST:	
KATIE SCHUBERT VILLAGE CLERK	

Exhibit A

Closed Session Meeting Minutes/Portions to Remain Confidential

July 8, 2020 (COW) – Portions Remain Closed
May 17, 2021 (VB) – Portions Remain Closed
June 2, 2021 (COW) – Not Released
June 7, 2021 (COW) – Portions Remain Closed
June 7, 2021 (VB) – Not Released
June 21, 2021 (VB) – Not Released
July 6, 2021 (COW) – Not Released
July 6, 2021 (VB) – Not Released
September 7, 2021 (VB) – Not Released
September 23, 2021 (PC)- Not Released
October 18, 2021 (VB) – Not Released
November 15, 2021 (VB) – Not Released
December 6, 2021 (VB) – Not Released
March 21, 2022 (VB) – Not Released
April 4, 2022 (VB) – Not Released
May 16, 2022 (VB) – Not Released
August 1, 2022 (VB) - Not Released
April 17, 2023 (VB) – Not Released

Exhibit B

Closed Session Meeting Verbatim Recordings to be Destroyed

May 17, 2021 – Village Board
June 2, 2021 – Committee of the Whole
June 7, 2021 – Committee of the Whole
June 7, 2021 – Village Board
June 21, 2021 – Village Board
July 6, 2021 – Committee of the Whole
July 6, 2021 – Village Board
September 7, 2021 – Village Board
September 23, 2021 – Plan Commission
October 18, 2021 – Village Board
November 15, 2021 – Village Board
December 6, 2021 – Village Board
December 13, 2021 – Committee of the Whole
March 21, 2022 – Village Board
April 4, 2022 – Village Board
May 2, 2022 – Village Board

MAYOR'S REPORT NOVEMBER 6, 2023

1. Veterans Day Concert Scheduled for November 9

The Hickory Creek Middle School Band and Orchestra will host its annual Veterans Day Concert on Thursday, November 9. The concert begins at 6:00 P.M. at the school, 22150 116th Avenue, and is free to the public. Mayor Ogle will narrate the Veteran's Day portion of the concert. Veterans are encouraged to attend.

2. Village Offices Closed in Observance of Veterans Day

In observance of the Veterans Day holiday on Friday, November 10, Village of Frankfort offices will be closed.

3. Village of Frankfort Police Department Is Hiring

The Frankfort Police Department is now hiring. Completed applications and all required documentation must be received no later than November 15, 2023 at 4:00 P.M. Applications are available at www.jobsource.copsandfiretesting.com. Orientation and written exam will take place on Saturday, December 2, 2023, at 9:30 A.M., at Hickory Creek Middle School, 22150 116th Avenue, Frankfort.

4. Leaf Collection

The leaf collection program is in progress and will continue through Monday, November 27. Residents are reminded to rake leaves onto the parkway, just inside the edge of the curb. Please avoid raking or blowing leaves into the street or near storm drains as this is a violation of village ordinance and can cause flooding issues. One final branch collection is scheduled for Monday, November 27.

5. Save the Date! "Lighting of the Green" Slated for November 30

The annual "Lighting of the Green" ceremony is scheduled for Thursday, November 30, at 6:30 PM on Breidert Green in downtown Frankfort. The event will feature the countdown to the tree lighting, musical performance by the Hickory Creek Middle School Choir, a visit from Santa and Mrs. Claus, and a special guest appearance from Buddy the Elf. Complimentary cookies and hot chocolate will be served.