

**VILLAGE OF FRANKFORT – REGULAR MEETING
AGENDA**

**Monday, November 7, 2022
7:00 P.M.**

**Village Administration Building
Village Board Room
432 W. Nebraska Street, Frankfort, IL**

1. Call to Order & Roll Call
2. Pledge of Allegiance

3. Unanimous Consent Agenda

All items on the Consent Agenda are considered to be routine in nature and will be enacted in one motion. There will be no separate discussion of these items unless a board member so requests, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Motion: *Motion to approve the Consent Agenda as presented.*

- A. Approval of Minutes
 1. Regular Meeting (October 17, 2022)
- B. Approval of Bills/Payroll
- C. Historic Preservation Commission Report
 1. Historic Landmark: 204 Hickory Street - Ordinance
(Waive 1st and 2nd Readings)

4. Plan Commission Report Summary

- A. Plantz Residence Multiple Variances: 213 Nebraska Street – Ordinance
(Waive 1st and 2nd Readings)
 1. Front Yard Setback Variance
 2. First Floor Building Materials Variance
 3. Rear Yard Setback Variance for an Accessory Building
 4. Rear Yard Coverage Variance
 5. Lot Coverage Variance
 6. Impervious Lot Coverage Variance
 7. Accessory Building Height Variance
 8. Plantz Resubdivision – Preliminary and Final Plat Approval

5. Mayor’s Report

- A. Liquor Ordinance Amendment: Reduction in Class F-2 Liquor Licenses
(Waive 1st and 2nd Readings)

6. Board Comments

7. Village Administrator’s Report

8. Police Department Report

9. Attorney’s Report

10. Other Business

11. Public Comments

12. Adjournment

VILLAGE OF
FRANKFORT
EST. 1855

**MINUTES OF THE REGULAR FRANKFORT VILLAGE BOARD MEETING
OCTOBER 17, 2022**

Mayor Keith Ogle called the regular meeting of the Frankfort Village Board to order on Monday, October 17, 2022, at 7:01 P.M., at the Village Administration Building, 432 W. Nebraska Street, Frankfort, Illinois.

ROLL CALL

Village Clerk Katie Schubert called the roll. In attendance were Mayor Keith Ogle, Clerk Katie Schubert, Trustees Adam Borrelli, Margaret Farina, Michael Leddin, Daniel Rossi, and Gene Savaria. Also in attendance were Attorney Hannah Lamore, Administrator Rob Piscia, Police Chief Leanne Chelepis, and Assistant Administrator John Burica. Trustee Jessica Petrow was absent.

FRANKFORT AREA HISTORICAL SOCIETY CELEBRATES 50TH ANNIVERSARY - PROCLAMATION

Mayor Ogle announced the Frankfort Area Historical Society (FAHS) is celebrating its 50th anniversary. The FAHS is hosting an open house anniversary celebration on Sunday, October 23, at the FAHS museum located at 132 Kansas Street, from 2:00 P.M. to 5:00 P.M., live music, works by local artisans, food, and custom cutout boards with 1972 period clothing for photo opportunities.

Trustee Farina made a motion, seconded by Trustee Savaria, to approve a proclamation celebrating the 50th anniversary of the Frankfort Area Historical Society. A voice vote was taken. All were in favor. The motion carried.

Mayor Ogle presented a framed proclamation to FAHS members Marcia Steward, Harry D'Ercole, Judith Schultz, and founding member and first president Ralph Eisenbrandt, in recognition of the society's 50th anniversary. Harry D'Ercole, on behalf of the FAHS Board of Directors and 200 members, thanked the Village Board for the recognition and celebrating this milestone with them.

APPROVAL OF SPECIAL ORDERS – UNANIMOUS CONSENT AGENDA

All items on the Omnibus Agenda are considered to be routine in nature and are enacted in one motion. There is no separate discussion of these items unless a board member makes a request, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Trustee Farina requested item D – Everbrook Academy Day Care Center/Preschool be removed from the Consent Agenda.

A. Approval of Minutes

1. Regular Meeting (October 3, 2022)

B. Approval of Bills/Payroll - \$1,166,192.71/\$410,954.84

C. Committee of the Whole Report

1. Fiscal Year 2022 Annual Comprehensive Financial Report – Acceptance of Report
Accept the recommendation of the Committee of the Whole and accept the Village of Frankfort’s Annual Comprehensive Financial Report for the Fiscal Year ended April 30, 2022.
2. Target Industry and Industrial Incentive Program (T3IP) New Construction Grant Approval: 22793 Citation Road – Resolution
Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 22-29) AUTHORIZING THE APPROVAL OF A TARGET INDUSTRY AND INDUSTRIAL INCENTIVE PROGRAM GRANT, in the amount of \$16,185.00 to Michael Ryan Trust No. 1, for construction of a new 16,185 square foot building at 22793 S. Citation Road within the Fey & Graefen Industrial Park.
3. Disposal of Surplus Vehicles – Ordinance
(Waive 1st and 2nd Readings)
Accept the recommendation of the Committee of the Whole, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3376) AUTHORIZING THE DISPOSAL OF CERTAIN SURPLUS PROPERTY OWNED BY THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS.
4. Purchase of Replacement Vehicles – Resolution
Accept recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 22-30) AUTHORIZING THE EXECUTION OF A CONTRACT WITH CURRIE MOTORS OF FRANKFORT, for the purchase of two 2022 Ford Explorer vehicles, in the amount of \$35,235.00 each, for a total not-to-exceed cost of \$70,470.00.

D. Plan Commission Report Summary

1. Everbrook Academy Day Care Center/Preschool: 11031 W. Lincoln Highway – Removed from Consent Agenda

Trustee Farina made a motion, seconded by Trustee Rossi, to approve the Unanimous Consent Agenda.

Trustees Borrelli, Leddin, Rossi, and Savaria presented a brief overview of the consent agenda docket items under consideration for approval.

Mayor Ogle invited trustee comment on the consent agenda docket items prior to a vote being taken. None were forthcoming.

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Farina, Leddin, Rossi, and Savaria. Nays: None. Absent: Trustee Petrow. The motion carried.

PLAN COMMISSION REPORT SUMMARY – REMOVED FROM CONSENT AGENDA

1. Everbrook Academy Day Care Center/Preschool: 11031 W. Lincoln Highway - Ordinances (Waive 1st and 2nd Readings)
 - a. Major PUD Change to Prairie Crossings Planned Unit Development
 - b. Special Use Permit for Day Care Center/Preschool
 - c. Special Use Permit for Extended Hours of Operation

Trustee Farina presented an overview of the Everbrook Academy Day Care Center/Preschool proposed development. She reported owner representative, Tom Williams, requests the granting of a Major Change to the Prairie Crossings Planned Unit Development to accommodate the proposed site plan for the Everbrook Academy Day Care Center/Preschool. The subject property is a 2.56-acre vacant parcel known as Lot 1 in the New Lenox State Bank subdivision of the Prairie Crossings PUD. The subject lot was approved in 2008 for two office buildings totaling 20,193 square feet and 105 parking stalls. The property owner is proposing to develop Lot 1 with an Everbrook Academy Day Care Center/Preschool. The development would consist of the construction of a one-story, approximately 12,870 square foot building with 41 parking stalls. The applicant also requests the granting of Special Use Permit for a day care center/preschool and a Special Use Permit for extended hours of operation to allow the day care to open for business at 6:30 a.m.

At its August 25, 2022 Public Hearing on the project, the Plan Commission reviewed the site, architecture, landscape, signage, and lighting plans for the day care center. The Plan Commission forwarded two unanimous (6-0) recommendations to the Village Board for the Special Use requests and a split (5-1) recommendation for the granting of the Major Change to the PUD subject to the following conditions:

- a. Village engineer's approval of the Preliminary Engineering Plans
- b. Staff approval of the Landscape Plan
- c. Staff approval of the Photometric Plan
- d. Staff approval of the building elevations
- e. Staff approval of the sign package

Since the public hearing, the applicant has addressed the conditions, with the exception that some minor revisions to the Landscape Plan are required to comply with the Landscape Ordinance (conversion of some deciduous trees to evergreen trees along the east property line), and this will be addressed as part of the final engineering review. As part of the Plan Commission recommendation modifications to Village Codes and Ordinances are included in the proposed

Major Change to the PUD, including a waiver of the required loading berth and several variations related to signage.

Trustee Farina moved, seconded by Trustee Borrelli, to table the motions related to Everbrook Academy Day Care Center/Preschool.

Attorney Lamore advised board members the motion to table the matter has precedence and any discussion is limited to tabling the motions.

Trustee Farina stated that she wanted to table the matter and send it back to the Plan Commission for continued review and some amendments prior to Village Board consideration.

Trustee Borrelli voiced his preference to withdraw his second in order to discuss the proposed development. He asked Trustee Farina if she would consider withdrawing her motion in order to allow discussion on the matter.

Trustee Farina withdrew her motion to table the matter.

Trustee Farina made a motion, seconded by Trustee Borrelli, to accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3377) APPROVING A MAJOR PLANNED UNIT DEVELOPMENT (PUD) CHANGE TO THE PRAIRIE CROSSINGS PLANNED UNIT DEVELOPMENT, WILL AND COOK COUNTIES, ILLINOIS (EVERBROOK ACADEMY DAY CARE CENTER/PRESCHOOL – 11031 W. LINCOLN HIGHWAY/PENDING ADDRESS ASSIGNMENT) for the “bump-out” at the southwest corner of the property, and a Major Change to the unnamed Planned Unit Development on the larger remainder of the property, to permit the business operation of Everbrook Academy Day Care/Preschool, in accordance with the reviewed plans, public testimony, and Findings of Fact, subject to the final engineering approval and compliance with the Village’s sign regulations relative to the limitation on the number of colors on the signage.

Mayor Ogle invited trustee comment on the matter prior to a vote being taken.

Trustee Farina felt a day care center/preschool at this location would be a wonderful addition to help service local families and bring additional traffic to the retail development. She voiced concerns relating to the architecture of the building, orientation of the playground, landscape, and signage plans for the day care center/preschool.

Trustee Borrelli shared the concerns expressed by Trustee Farina. He asked staff for clarification regarding the proposed brick for the building. Director of Community and Economic Development Mike Schwarz confirmed the brick would be dimensional brick and not thin brick.

Mayor Ogle invited Director of Community and Economic Development Mike Schwarz to the podium. Director Schwarz reported there were two workshops and a formal public hearing for the proposed development, noting considerable discussion was held regarding the orientation of the building and playground, landscape plan, architecture, and signage.

Trustee Savaria voiced his preference that the signage comply with the Village's sign regulations and not allow more than three colors.

Trustee Rossi asked for additional information regarding the architectural style for the proposed building.

Director Schwarz explained that the BMO bank building is a Federal style of architecture, which is the classic red brick, white trim, and steeply pitched roofs. He further explained that the proposed day care center/preschool more closely resembles the prairie style architecture of the shopping center within the development, but the red brick is intended to be consistent with the bank building.

Mayor Ogle invited the owner's representative, Tom Williams, to the podium.

Mr. Williams addressed questions and concerns expressed by the board members. He stated they were amendable to changing their signs and using no more than three colors. Mr. Williams shared they were hoping to start construction this year in order to meet their deadline for enrollment next year.

Trustee Farina reiterated that she felt the day care center/preschool would be a wonderful addition to the community. She still preferred to table the matter so staff and the Plan Commission can work with the applicant to address concerns including signage, architectural style, playground orientation, and landscape plans to ensure enough evergreen trees are planted.

Trustee Borrelli asked Mr. Williams to further describe the site plan and location of the playground.

Mr. Williams stated they spent a lot of time working on the site plan and design to address the play area facing Route 30, citing the childcare brand as having a specific L-shape prototype, the narrow site, and no entrance off Route 30 as the main reasons why they couldn't move the playground to the east or south. He further explained they tried their best to work with staff and the Plan Commission to incorporate all the concerns and accommodate everything that was asked of them.

Members further discussed safety and aesthetic concerns relating to the playground and Route 30. Mr. Williams stated there are two sets of stone retaining walls and extensive landscaping in front of the decorative iron fence.

Trustee Leddin requested his fellow colleagues to advise members in advance when they anticipate removing an item from the consent agenda to provide time to research the matter.

Trustee Rossi asked for clarification regarding the architecture of the proposed building.

Mr. Williams stated the architecture was more in line with the retail shopping center, noting they did dress up the architecture to try to get it close to BMO Harris but couldn't match the Federalist style with the big dormers.

Mayor Ogle noted the motion was on the floor for the Major Change to the PUD, including subject to staff approval of the sign package and using not more than three colors on each sign.

Mayor Ogle called for a vote.

Clerk Schubert called the roll: Ayes: Mayor Ogle; Trustees Leddin, Rossi, and Savaria. Nays: Trustees Borrelli and Farina. Absent: Trustee Petrow. The motion carried.

Trustee Farina made a motion, seconded by Trustee Borrelli, to accept the Plan Commission recommendations, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3378) GRANTING A SPECIAL USE PERMIT FOR A DAY CARE CENTER/PRESCHOOL AND A SPECIAL USE PERMIT FOR EXTENDED HOURS OF OPERATION, ALLOWING THE DAY CARE TO OPEN FOR BUSINESS AT 6:30 A.M., TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (EVERBROOK ACADEMY DAY CARE CENTER/PRESCHOOL - 11031 W. LINCOLN HIGHWAY/ PENDING ADDRESS ASSIGNMENT), to permit the business operation of Everbrook Academy Day Care Center/Preschool, in accordance with the reviewed plans, public testimony, and Findings of Fact, and conditioned upon the parking lot lights shall be connected to a shutoff timer which automatically turns off the lights no later than 8:00 P.M. each night and on no earlier than 5:30 A.M. and only during days when the day care/preschool is open for business.

Mayor Ogle invited trustee comment on the matter prior to a vote being taken.

Trustee Savaria asked for clarification regarding extended hours of operation. Mr. Williams explained the extended hours are for the front end which would allow the day care to open at 6:30 a.m.

Trustee Farina suggested for the lighting used to illuminate the building entrance of the business be excluded from the shutoff timer for security purposes. Mayor Ogle concurred.

Mayor Ogle called for a vote.

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Farina, Leddin, Rossi, and Savaria. Nays: None. Absent: Trustee Petrow. The motion carried.

MAYOR'S REPORT

- Mayor Ogle reported Phillips Chevrolet was recently presented with General Motors' Dealer of the Year Award for the 17th time. This award recognizes the dealership's achievements in sales, customer satisfaction, and service to the community.
- Mayor Ogle reported the Village's Leaf Collection Program began today, October 17 and continues through November 28.

- Mayor Ogle encouraged the public to take part in the Village's inaugural "Scary at the Prairie 5K Costume Run & Spooky Sprint" event in downtown Frankfort on Saturday, October 22.
- Mayor Ogle reported the Frankfort Police Department will host its annual "Safety Trunk or Treat" Halloween event will be held on Saturday, October 29, from 10:00 AM to Noon, in downtown Frankfort. The E.F. Bucko costume parade will kick off the event on Breidert Green at 10:00 AM followed by trunk-or-treating.
- Mayor Ogle reported the Frankfort Country Market ends its 2022 season on Sunday, October 30. He thanked the vendors, residents, and all the visitors for another successful season.
- Mayor Ogle announced "Trick or Treat" hours in the Village of Frankfort are 4:00 P.M. to 7:00 P.M. on Monday, October 31.
- Mayor Ogle noted he is wearing purple in recognition of Domestic Violence Awareness Month.
- Mayor Ogle encouraged the public to support the 12th Annual "Men Who Cook" fundraiser event on October 22, from 6:00 PM to 9:00 PM at the J.J.C. Weitendorf Center in Joliet, noting proceeds will benefit the Will County Children's Advocacy Center.
- Mayor Ogle encouraged residents to drop off any excess Halloween candy to the Village Hall or the Frankfort Police Department. He noted the Village will deliver the candy to underserved people in the community, noting candy was delivered to the Children's Advocacy Center and the Manteno Veterans Home last year. He wished everyone a very safe and fun Halloween.

BOARD COMMENTS

Clerk Schubert reported the General Election is Tuesday, November 8, 2022 and encouraged residents to cast their votes early at the Village Hall October 24 through November 4, from 9:30 AM to 3:30 PM, Monday-Friday. She wished her sons a happy 10th birthday.

The Village Board wished Clerk Schubert's sons a happy birthday and extended congratulations to the Frankfort Area Historical Society and Phillips Chevrolet. Members commented on the Men Who Cook fundraiser event benefiting the Children's Advocacy Center and encouraged residents to Early Vote at the Village Hall.

VILLAGE ADMINISTRATOR REPORT

Administrator Piscia reported NuWay Disposal will continue yard waste and branch pick-up through November. He reminded residents to place leaves in the parkway and not on the street for leaf collection. He also asked for residents' assistance in clearing storm drains in front of their

homes to help prevent flooding during rain events. Administrator Piscia wished Clerk Schubert's sons a happy birthday.

POLICE DEPARTMENT REPORT

Chief Chelepis reported the Frankfort Police Department will be hosting a food drive, "Treats for the Township" in conjunction with the Safety Trunk or Treat event. She noted all food items will be donated to the Frankfort Food Pantry to assist with supplies through the holiday season.

VILLAGE ATTORNEY'S REPORT

Village Attorney Lamore had no report.

OTHER BUSINESS

Trustee Borrelli requested consideration to discuss agenda format regarding the public comment period at a future Committee of the Whole meeting. Trustee Farina concurred. Mayor Ogle agreed to revisit this topic.

Trustee Borrelli expressed concern regarding the board not being informed of a proposal from an existing downtown business owner who was interested in submitting a purchase proposal for the Village-owned Mech House located at 11 N. White Street.

Administrator Piscia reported that staff has received multiple inquiries for the Mech House, but no formal proposal has been submitted.

PUBLIC COMMENT

Resident Terry Colins expressed concerns regarding the posting of the minutes from the October 3rd Village Board meeting relating to the Oasis Senior Living development, 8531 W. Lincoln Highway. Mr. Colins provided Clerk Schubert a written copy of the concerns/issues of the Windy Hill Farm Condominium Association Owners/Residents voiced at the October 3, 2022 Village Board meeting and AEI Consultants' concerns/issues of 8531 Lincoln Highway.

Mayor Ogle noted that detailed public comment is not included in Village Board minutes.

Staff reported Village Board minutes are posted on the Village website after the approval by the public body.

ADJOURNMENT

Hearing no further business, Trustee Farina made a motion, seconded by Trustee Savaria, to adjourn the regular board meeting of Monday, October 17, 2022. A voice vote was taken. All were in favor. The motion carried. The meeting adjourned at 8:00 P.M.

Katie Schubert
Village Clerk

As Presented As Amended

_____ Keith Ogle, Village President

_____ Katie Schubert, Village Clerk

Draft

FRANKFORT FINANCIAL SYSTEM
11/04/2022 08:57:31

Schedule of Bills

VILLAGE OF FRANKFORT
GL060S-V08.17 RECAPPAGE
GL540R

FUND RECAP:

FUND	DESCRIPTION	NOVEMBER 7, 2022 DISBURSEMENTS
01	GENERAL CORPORATE FUND	501,574.62
23	MOTOR FUEL TAX FUND	123,073.17
31	CAPITAL DEVELOPMENT FUND	2,764,465.70
62	SEWER & WATER OPER. & MAINT.	181,082.26
68	SEWER & WATER EXTENSION FUND	30,395.03
TOTAL ALL FUNDS		3,600,590.78

Draft

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
AHDVS LLC	990 PRESTWICK DR	2,000.00	CONTRACTOR DEPOSIT	01.000.2323		B207292 FNL GR			594	00129
AIS	JUNIPER J-CARE EXT SERV	82.84	SOFTWARE SUPPORT	01.412.4753		77844			594	00003
	JUNIPER J-CARE EXT SERV	82.88	SOFTWARE SUPPORT	01.413.4753		77844			594	00003
	JUNIPER J-CARE EXT SERV	82.88	SOFTWARE SUPPORT	01.441.4753		77844			594	00003
	JUNIPER J-CARE EXT SERV	82.88	SOFTWARE SUPPORT	01.442.4753		77844			594	00003
	JUNIPER J-CARE EXT SERV	82.88	SOFTWARE SUPPORT	01.461.4753		77844			594	00003
	JUNIPER J-CARE EXT SERV	82.82	SOFTWARE SUPPORT	62.491.4753		77844			594	00003
	JUNIPER J-CARE EXT SERV	82.82	SOFTWARE SUPPORT	62.492.4753		77844			594	00003
	MANAGED SERV-ENDPT-NOV	70.72	SOFTWARE SUPPORT	01.412.4753		77970			594	00001
	MANAGED SERV-ENDPT-NOV	70.73	SOFTWARE SUPPORT	01.413.4753		77970			594	00001
	MANAGED SERV-ENDPT-NOV	70.73	SOFTWARE SUPPORT	01.441.4753		77970			594	00001
	MANAGED SERV-ENDPT-NOV	70.73	SOFTWARE SUPPORT	01.442.4753		77970			594	00001
	MANAGED SERV-ENDPT-NOV	70.73	SOFTWARE SUPPORT	01.461.4753		77970			594	00001
	MANAGED SERV-ENDPT-NOV	70.68	SOFTWARE SUPPORT	62.491.4753		77970			594	00001
	MANAGED SERV-ENDPT-NOV	70.68	SOFTWARE SUPPORT	62.492.4753		77970			594	00001
	MANAGED SERV-USER-NOV	121.50	SOFTWARE SUPPORT	01.412.4753		77970			594	00002
	MANAGED SERV-USER-NOV	27.00	SOFTWARE SUPPORT	01.413.4753		77970			594	00002
	MANAGED SERV-USER-NOV	63.00	SOFTWARE SUPPORT	01.442.4753		77970			594	00002
	MANAGED SERV-USER-NOV	27.00	SOFTWARE SUPPORT	01.461.4753		77970			594	00002
	MANAGED SERV-USER-NOV	54.00	SOFTWARE SUPPORT	01.441.4753		77970			594	00002
	MANAGED SERV-USER-NOV	85.50	SOFTWARE SUPPORT	62.491.4753		77970			594	00002
	MANAGED SERV-USER-NOV	72.00	SOFTWARE SUPPORT	62.492.4753		77970			594	00002
	BACKUP SERVICE-NOV 2022	245.66	SOFTWARE SUPPORT	01.412.4753		77971			594	00004
	BACKUP SERVICE-NOV 2022	245.62	SOFTWARE SUPPORT	01.413.4753		77971			594	00004
	BACKUP SERVICE-NOV 2022	245.62	SOFTWARE SUPPORT	01.441.4753		77971			594	00004
	BACKUP SERVICE-NOV 2022	245.62	SOFTWARE SUPPORT	01.442.4753		77971			594	00004
	BACKUP SERVICE-NOV 2022	245.62	SOFTWARE SUPPORT	01.461.4753		77971			594	00004
	BACKUP SERVICE-NOV 2022	245.62	SOFTWARE SUPPORT	62.491.4753		77971			594	00004
	BACKUP SERVICE-NOV 2022	245.62	SOFTWARE SUPPORT	62.492.4753		77971			594	00004
	BACKUP SERVICE-NOV 2022	245.62	SOFTWARE SUPPORT	01.421.4753		77971			594	00004
	MANAGED SERV/ENDPT-NOV	477.00	SOFTWARE SUPPORT	01.421.4753		77972			594	00045
	VMWARE LICENSE-1YR	14.18	SOFTWARE SUPPORT	01.412.4753		78163			594	00130
	VMWARE LICENSE-1YR	14.14	SOFTWARE SUPPORT	01.413.4753		78163			594	00130
	VMWARE LICENSE-1YR	14.14	SOFTWARE SUPPORT	01.441.4753		78163			594	00130
	VMWARE LICENSE-1YR	14.14	SOFTWARE SUPPORT	01.442.4753		78163			594	00130
	VMWARE LICENSE-1YR	14.14	SOFTWARE SUPPORT	01.461.4753		78163			594	00130
	VMWARE LICENSE-1YR	14.13	SOFTWARE SUPPORT	62.491.4753		78163			594	00130
	VMWARE LICENSE-1YR	14.13	SOFTWARE SUPPORT	62.492.4753		78163			594	00130
		4,066.00	*VENDOR TOTAL							
ALSIP NURSERY	32 FALL PLANTERS	3,200.00	R&M - PUBLIC GROUNDS	01.441.4216		36223			594	00131
AMAZON MARKETPLACE	3 HEADSETS W/MICROPHONES	43.32	OFFICE EQUIPMENT	01.413.4772	063331	AMAZON MRKTPLC			614	00007

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
AMERICAN PLANNING	APA MEMBERSHIP-DD	99.00	DUES	01.461.4511	063331	AM PLANNING		614 00023
ARCADIAN INC	SQUAD ANTENNAS	223.56	EQUIPMENT & ACCESSORIES	01.421.4791		80276		594 00046
AT&T	432 W NEBRASKA-ALARM	251.96	R&M - BLDG/SITE IMPROVEM	01.441.4211		81546459144146		594 00005
AT&T DATA	IPAD DATA PLAN	70.50	TELEPHONE	01.441.4441	063331	AT&T DATA		614 00005
	.5 IPAD DATA PLAN	57.97	TELEPHONE	62.491.4441	063331	AT&T DATA		614 00020
	.5 IPAD DATA PLAN	57.97	TELEPHONE	62.492.4441	063331	AT&T DATA		614 00021
		186.44	*VENDOR TOTAL					
AVENU INSIGHTS & ANALYTI	HOSTING/TECH SUPPORT-OCT	1,353.10	SOFTWARE SUPPORT	01.413.4753		039894		594 00064
	HOSTING/TECH SUPPORT-OCT	676.54	SOFTWARE SUPPORT	62.491.4753		039894		594 00064
	HOSTING/TECH SUPPORT-OCT	676.54	SOFTWARE SUPPORT	62.492.4753		039894		594 00064
		2,706.18	*VENDOR TOTAL					
AXON ENTERPRISE INC	INSTRUCTOR SCHOOL-MT	375.00	EDUCATIONAL TRAINING	01.421.4551		INUS105782		594 00047
BAL INDUSTRIES	CARPET CLEANING-PD	550.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		44313		594 00048
BAXTER & WOODMAN INC	NPDES COMPLIANCE ASSIST	1,976.88	ENGINEERING FEES	68.491.4351		239605		594 00149
	2022 INDUST USER SURVEY	6,803.75	ENGINEERING FEES	68.491.4351		239607		594 00147
	2022 SAN SWR LINING/REHB	2,281.15	SEWER SYSTEM IMPROVEMENT	68.491.5182		239608		594 00148
		11,061.78	*VENDOR TOTAL					
BILL'S LAWN MAINTENANCE	MNCPL MOWING 9/26	4,840.00	R&M - LAWN MOWING	01.441.4215		172076		594 00006
	MNCPL MOWING 10/3	4,840.00	R&M - LAWN MOWING	01.441.4215		172077		594 00053
	MNCPL MOWING 10/3	667.50	R&M - BLDG/SITE IMPROVEM	62.492.4211		172078		594 00133
	MNCPL MOWING 10/3	667.50	R&M - BLDG/SITE IMPROVEM	62.491.4211		172078		594 00133
	MNCPL MOWING 10/10	4,840.00	R&M - LAWN MOWING	01.441.4215		172079		594 00132
	MNCPL MOWING 10/10	667.50	R&M - BLDG/SITE IMPROVEM	62.492.4211		172080		594 00150
	MNCPL MOWING 10/10	667.50	R&M - BLDG/SITE IMPROVEM	62.491.4211		172080		594 00150
	9090 BIG SABLE PT	90.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		187722		594 00050
	20684 GRAND HAVEN DR	65.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		187723		594 00049
	9004 PORT WASHINGTON DR	65.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		187755		594 00052
	22994 MADDELINE LN	59.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		187756		594 00051
		17,469.00	*VENDOR TOTAL					
BISPING CONSTRUCTION CO	STRM DRN LINE-548 FRNKLN	3,522.80	STORMWATER MANAGEMENT	31.477.5176		13839		594 00135

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
BISPING CONSTRUCTION CO STRMDRN LINE-NBRKA/LTHR	3,807.50 7,330.30	STORMWATER MANAGEMENT *VENDOR TOTAL	31.477.5176		13841		594 00134
BLACKBURN MANUFACTURING .5 LOCATE MARKING PAINT .5 LOCATE MARKING PAINT	288.50 288.50 577.00	OPERATING SUPPLIES OPERATING SUPPLIES *VENDOR TOTAL	62.491.4761 62.492.4761		689768 689768		594 00136 594 00137
BLACKWELL/EUGENE SPRNKLR RPR-21351 GEOTWN	205.00	R&M - STREETS/SIGNS	01.441.4233		21351 GEOTWN		594 00138
BLASGEN/JODI LUNCHEON 10/31	82.68	EMPLOYEE RELATIONS	01.412.4532		22/10-31		594 00151
BRANIFF COMMUNICATIONS, WEATHER SIRENS MNTNC	1,050.00	R&M - EQUIPMENT	01.428.4241		34344		594 00139
CAREFREE LAWN SPRINKLERS WINTERIZE SPRNKLR-PD	100.00	R&M - PUBLIC GROUNDS	01.441.4216		374938		594 00007
CARHARTT CO GEAR PANTS-BG/RM	127.47	R&M - UNIFORMS	01.441.4251	063331	CARHARTT CO		614 00001
CARIBBEAN POOLS INC 21230 OLD N CHURCH L14 10845 ASHFORD AV L169	1,000.00 1,000.00 2,000.00	POOL DEPOSIT POOL DEPOSIT *VENDOR TOTAL	01.000.2322 01.000.2322		B218086 B229269		594 00008 594 00009
CARROLL CONSTRUCTION SUP 50 SAND BAGS SAFETY GLASSES KNEELER BOARD/SFTY GLOVE 1PR SLUSH BOOTS	92.50 70.00 45.11 64.00 271.61	OPERATING SUPPLIES SAFETY SUPPLIES SAFETY SUPPLIES OPERATING SUPPLIES *VENDOR TOTAL	62.492.4761 62.492.4762 01.441.4762 62.492.4761		FR105011 FR105011 FR105260 FR105669		594 00054 594 00055 594 00140 594 00259
CARROLL/JONATHAN WORKBOOTS-JC	163.95	R&M - UNIFORMS	01.441.4251		WORKBOOT-JC		594 00296
CENTRAL SOD FARMS INC 500YD SOD-VH 100YD SOD-VH	160.00 23.20 183.20	R&M - PUBLIC GROUNDS R&M - PUBLIC GROUNDS *VENDOR TOTAL	01.441.4216 01.441.4216		68167 68272		594 00011 594 00010
CHEEVERS TOWING LEAF MACH RECOVER/TOW	680.40	R&M - VEHICLES	01.441.4243	063331	CHEEVERS TOW		614 00019
CHICAGO METROPOLITAN AGE CMAP CONTRIBUTION FY23	690.63	COMMUNITY RELATIONS	01.411.4531		2023MUNI076		594 00209

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
CINTAS CORPORATION #344								
	MATS-VH 10/14	185.42	R&M - BLDG/SITE IMPROVEM	01.441.4211		4134393219		594 00012
	MATS-VH 10/28	185.42	R&M - BLDG/SITE IMPROVEM	01.441.4211		4135802051		594 00297
	MATS-PD 10/31	131.09	R&M - BLDG/SITE IMPROVEM	01.441.4211		4135946866		594 00298
		501.93	*VENDOR TOTAL					
CNG								
	PHONE SPRT 11/1-4/30/23	256.62	SOFTWARE SUPPORT	01.412.4753		913720		594 00063
	PHONE SPRT 11/1-4/30/23	256.79	SOFTWARE SUPPORT	01.413.4753		913720		594 00063
	PHONE SPRT 11/1-4/30/23	256.79	SOFTWARE SUPPORT	01.441.4753		913720		594 00063
	PHONE SPRT 11/1-4/30/23	256.79	SOFTWARE SUPPORT	01.442.4753		913720		594 00063
	PHONE SPRT 11/1-4/30/23	256.79	SOFTWARE SUPPORT	01.461.4753		913720		594 00063
	PHONE SPRT 11/1-4/30/23	256.61	SOFTWARE SUPPORT	62.491.4753		913720		594 00063
	PHONE SPRT 11/1-4/30/23	256.61	SOFTWARE SUPPORT	62.492.4753		913720		594 00063
		1,797.00	*VENDOR TOTAL					
COMCAST CABLE								
	20602 LW LN-INTERNET	130.89	SOFTWARE SUPPORT	01.421.4753		87712014900421		594 00056
	432 W NEBRASKA-INTERNET	215.53	TELEPHONE	01.441.4441		87712014900461		594 00013
	20538 LW LN-INTERNET	350.92	TELEPHONE	62.491.4441		87712014903564		594 00260
		697.34	*VENDOR TOTAL					
COMMONWEALTH EDISON CO								
	STREETLIGHTS	5,099.02	STREET LIGHTING	01.441.4632		0210061037		594 00057
CONSERV FS INC								
	3 PUMP HOSES	325.91	OPERATING SUPPLIES	01.441.4761		66051037		594 00014
CONSTELLATION NEWENERGY								
	20538 LAGRANGE RD-RGNL	20,695.20	ELECTRICITY	62.491.4611		707605-1		594 00152
	20248 GRACELAND-W 15/16	4,289.56	ELECTRICITY	62.492.4611		707605-10		594 00158
	22656 LAGRANGE-J/C LIFT	675.85	ELECTRICITY	62.491.4611		707605-11		594 00058
	422 SPRUCE DR-NPS	952.52	ELECTRICITY	62.491.4611		707605-12		594 00059
	9209 GULFSTREAM-LIFT ST	49.50	ELECTRICITY	62.491.4611		707605-14		594 00060
	9194 GULFSTREAM-LIFT ST	34.76	ELECTRICITY	62.491.4611		707605-19		594 00159
	730 TANGLEWOOD-WELL 4	3,980.88	ELECTRICITY	62.492.4611		707605-2		594 00153
	429 NEBRASKA-POND	516.39	ELECTRICITY	01.441.4611		707605-21		594 00061
	524 CENTER RD	495.96	ELECTRICITY	01.441.4611		707605-22		594 00062
	524 CENTER RD	247.98	ELECTRICITY	62.491.4611		707605-22		594 00062
	524 CENTER RD	247.98	ELECTRICITY	62.492.4611		707605-22		594 00062
	20327 LAGRANGE-H/C LIFT	2,460.63	ELECTRICITY	62.491.4611		707605-3		594 00154
	601 PRESTWICK-WELL 17	1,333.48	ELECTRICITY	62.492.4611		707605-4		594 00155
	1015 LAMBRECHT-WELL 5	85.93	ELECTRICITY	62.492.4611		707605-5		594 00261
	22801 WOLF RD-WELL 11/12	5,682.18	ELECTRICITY	62.492.4611		707605-6		594 00156
	1040 S BUTTERNUT-LIFT ST	38.57	ELECTRICITY	62.491.4611		707605-8		594 00262
	8847 LINCOLN HWY-WELL 10	3,974.98	ELECTRICITY	62.492.4611		707605-9		594 00157
		45,762.35	*VENDOR TOTAL					
CORE & MAIN LP								
	COUPLINGS	2,142.47	R&M - WATER LINES	62.492.4261		R690850		594 00166

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
CORE & MAIN LP								
	COUPLINGS	2,467.79	R&M - WATER LINES	62.492.4261		R734496		594 00301
	VALVE RPR KIT/HYD OIL	2,543.04	R&M - WATER LINES	62.492.4261		R750970		594 00165
	B-BOX RISERS	165.96	R&M - WATER LINES	62.492.4261		R764824		594 00162
	VALVES/HARDWARE	5,165.00	R&M - WATER LINES	62.492.4261		R765502		594 00299
	HYMAX COUPLINGS	3,759.60	R&M - WATER LINES	62.492.4261		R765515		594 00163
	COUPLINGS	1,252.59	R&M - WATER LINES	62.492.4261		R765585		594 00164
	B-BOX ASSEMBLIES/PIPE	1,655.00	R&M - WATER LINES	62.492.4261		R790720		594 00300
		19,151.45	*VENDOR TOTAL					
CREA/REBECCA ANN								
	23024 ANNA LN L355	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B229039		594 00160
	23024 ANNA LN L355	500.00	CONTRACTOR DEPOSIT	01.000.2323		B229039		594 00161
		1,500.00	*VENDOR TOTAL					
CREAMERY								
	SCARY AT PRAIRIE PRIZES	60.00	EVENTS	01.412.4534	063331	CREAMERY		614 00015
CURRIE MOTORS								
	SHAFT-SQ28	123.26	R&M - VEHICLES	01.421.4243		134221		594 00302
	WHEEL ALIGNMENT-U12	132.91	R&M - VEHICLES	62.492.4243		600387		594 00167
	REPROG PWRTRN CNTRL-ST17	396.25	R&M - VEHICLES	01.441.4243		600953		594 00303
		652.42	*VENDOR TOTAL					
DC CONNECTION INC								
	MOTOR DISC FILTER REBLD	1,725.00	R&M - TREATMENT PLANT	62.491.4229		39049		594 00168
DIXON ENGINEERING INC								
	TWR REPAINT ENG SERVICES	765.00	WATER TOWER	68.492.5162		22-1164		594 00169
DOLLAR TREE								
	SCARY AT PRAIRIE SUPPLY	20.00	EVENTS	01.412.4534	063331	DOLLAR TREE		614 00017
DONALD E MORRIS ARCHITEC								
	PLAN REVIEWS-OCT 2022	265.00	CONSULTANT PLAN REVIEW F	01.442.4391		10-22		594 00274
DU/MING								
	8564 STONE CREEK BLVD	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B217632		594 00291
	8564 STONE CREEK BLVD	500.00	CONTRACTOR DEPOSIT	01.000.2323		B217632		594 00292
		1,500.00	*VENDOR TOTAL					
DUNHAM JR/JOHN E								
	9 PLUMBING INSPECTIONS	630.00	INSPECTION FEES	01.442.4343		22/10-31		594 00439
DUTCH BARN LANDSCAPING								
	7857 BIG BUCK TRL L171	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		L200851		594 00170
	22436 BLARNEY RD L20	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		L210970		594 00171
	22436 BLARNEY RD L20	500.00	CONTRACTOR DEPOSIT	01.000.2323		L210970		594 00172
	22579 MALLOW DR L40	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		L211003		594 00173
	22579 MALLOW DR L40	500.00	CONTRACTOR DEPOSIT	01.000.2323		L211003		594 00174
		4,000.00	*VENDOR TOTAL					

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
E H WACHS COMPANY	VALVE NUTS	1,028.48	R&M - WATER LINES	62.492.4261		209631		594 00176
E Z DUZ IT PRODUCTS INC	SWEEPER/GARBAGE LINERS	566.00	JANITORIAL SUPPLIES	01.441.4741		9450		594 00066
	TP/PAPER TOWELS/TISSUE	1,670.00	JANITORIAL SUPPLIES	01.441.4741		9458		594 00065
	PPR TOWELS/TISSUE	1,170.00	JANITORIAL SUPPLIES	01.441.4741		9483		594 00175
	CLOROX CLEANUP/FEBREEZE	455.00	JANITORIAL SUPPLIES	01.441.4741		9495		594 00304
	PAPER TOWELS/SHOE COVERS	156.00	JANITORIAL SUPPLIES	01.441.4741		9496		594 00305
		4,017.00	*VENDOR TOTAL					
EAGLE POINTE ELECTRIC	7403 MAYFIELD DR	1,000.00	POOL DEPOSIT	01.000.2322		B228988		594 00257
EMPLOYEE BENEFITS CORPOR	FLEX HRA-OCT 2022	378.25	SELF-INSURANCE REIMBURSE	01.412.4136		3795692		594 00117
	FLEX HRA-OCT 2022	66.75	SELF-INSURANCE REIMBURSE	01.412.4136		3795692		594 00118
		445.00	*VENDOR TOTAL					
EUROFINS ENVIRONMENT TES	SAMPLE TESTING	100.00	SAMPLE TESTING	62.491.4641		5000111526		594 00266
	SAMPLE TESTING	100.00	SAMPLE TESTING	62.492.4641		5000111527		594 00264
	SAMPLE TESTING	100.00	SAMPLE TESTING	62.491.4641		5000111528		594 00265
	SAMPLE TESTING	205.50	SAMPLE TESTING	62.491.4641		5000111669		594 00263
		505.50	*VENDOR TOTAL					
EVT TECH	FASCIA/LIGHT/CLIP-ST10	225.80	R&M - VEHICLES	01.441.4243		6181		594 00437
EXCEL ELECTRIC INC	RPR STLGHT-9243 CLOISTER	1,110.03	R&M - STREET LIGHTS	01.441.4236		127150		594 00015
	RPR STLGHT-11312 YORK CT	563.29	R&M - STREET LIGHTS	01.441.4236		127182		594 00067
	RPR STLGHT-ST FRAN/GR TR	328.67	R&M - STREET LIGHTS	01.441.4236		127210		594 00177
	RPR STLGHT-32 W NEBRASKA	9,381.00	R&M - STREET LIGHTS	01.441.4236		127228		594 00306
		11,382.99	*VENDOR TOTAL					
FAT ROSIE'S	SCARY AT PRAIRIE PRIZES	50.00	EVENTS	01.412.4534	063331	FAT ROSIES		614 00012
FRANCESCA'S	SCARY AT PRAIRIE PRIZES	50.00	EVENTS	01.412.4534	063331	FRANCESCA		614 00011
FRANCZEK PC	PTAB MATTERS	56.70	ATTORNEY FEES	01.411.4321		217165		594 00178
FRANKFORT CHAMBER OF COM	.5 COMMAND VAN-FALL FEST	600.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FPD91322		594 00068
	ANNUAL MEMBERSHIP MTG	280.00	COMMUNITY RELATIONS	01.411.4531		22/10-27		594 00179
		880.00	*VENDOR TOTAL					

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
FRANKFORT FIRE PROT. DIS	OPTICOM RPR-RT45/LW LN	287.60	R&M - EQUIPMENT	01.421.4241		FD0311		594 00069
FRANKFORT PARK DISTRICT	MOVIES ON THE GREEN	1,575.00	EVENTS	01.412.4534		MOVIE ON GREEN		594 00180
FRANKFORT POST OFFICE	.5 W/S BILLS-NOV 2022	2,500.00	POSTAGE	62.491.4433		PERMIT 130		594 00181
	.5 W/S BILLS-NOV 2022	2,500.00	POSTAGE	62.492.4433		PERMIT 130		594 00182
		5,000.00	*VENDOR TOTAL					
FRANKFORT SCHOOL DIST. 1	2 X-GUARDS-NOV 2022	270.00	SALARIES - CROSSING GUAR	01.421.4051		22/11 XGUARDS		594 00183
FREEDOM FIRST AID & SAFE	FIRST AID SUPPLY-PW	79.80	SAFETY SUPPLIES	01.441.4762		48795		594 00016
	.5 FIRST AID SUPPLIES	42.32	SAFETY SUPPLIES	62.491.4762		48796		594 00070
	.5 FIRST AID SUPPLIES	42.33	SAFETY SUPPLIES	62.492.4762		48796		594 00071
	FIRST AID SUPPLY-VH	40.85	SAFETY SUPPLIES	01.441.4762		48804		594 00017
		205.30	*VENDOR TOTAL					
G COOPER OIL COMPANY INC	33GAL GASOLINE	163.54	GASOLINE/OIL	01.421.4731		272752		594 00072
	48GAL GASOLINE	233.08	GASOLINE/OIL	01.421.4731		272883		594 00073
	53GAL GASOLINE	249.41	GASOLINE/OIL	01.421.4731		273008		594 00074
	69GAL GASOLINE	259.16	GASOLINE/OIL	01.421.4731		273695		594 00077
	57GAL GASOLINE	214.09	GASOLINE/OIL	01.421.4731		273800		594 00075
	33GAL GASOLINE	120.64	GASOLINE/OIL	01.421.4731		273927		594 00076
	35GAL GASOLINE	131.47	GASOLINE/OIL	01.421.4731		274132		594 00293
	35GAL GASOLINE	134.97	GASOLINE/OIL	01.421.4731		274247		594 00294
	58GAL GASOLINE	217.84	GASOLINE/OIL	01.421.4731		274359		594 00295
	.5 WINDSHIELD SOLVENT	35.50	R&M - VEHICLES	62.491.4243		36274		594 00018
	.5 WINDSHIELD SOLVENT	35.50	R&M - VEHICLES	62.492.4243		36274		594 00019
	WINDSHIELD SOLVENT	71.00	R&M - VEHICLES	01.441.4243		36274		594 00020
	WINDSHIELD SOLVENT	70.99	R&M - VEHICLES	01.421.4243		36274		594 00021
		1,937.19	*VENDOR TOTAL					
GALLAGHER MATERIALS CORP	3.23TN COLD PATCH	478.04	R&M - PATCHING MIX	01.441.4230		26052		594 00078
GALLS LLC	BOOTS-325	116.23	UNIFORMS	01.421.4781		22300391		594 00184
GEMPLER'S	WORK PANTS-JD	39.99	R&M - UNIFORMS	01.441.4251		4519349		594 00022
	1PR HV RAIN PANTS	45.99	SAFETY SUPPLIES	62.492.4762		4520019		594 00186
	3PR HV RAIN PANTS	137.97	SAFETY SUPPLIES	62.492.4762		4520193		594 00185
		223.95	*VENDOR TOTAL					

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
GLEN HAVEN BUILDERS	8767 CHILTON CT L16	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B161994		594 00187
	8767 CHILTON CT L16	500.00	CONTRACTOR DEPOSIT	01.000.2323		B161994		594 00188
		1,500.00	*VENDOR TOTAL					
GOLDEN GATE NURSERY INC	4LD COMPOST	23.96	R&M - PUBLIC GROUNDS	01.441.4216		9236		594 00079
GORDON ELECTRIC SUPPLY I	LIGHT BULBS	118.56	R&M - STREET LIGHTS	01.441.4236		S2457864.001		594 00307
GOVERNMENT FINANCE	GFOA DUES-JB/RP	340.00	DUES	01.413.4511	063331	GFOA		614 00008
GOVERNMENT INSURANCE NET	HEALTH INS PREM-NOV 2022	109,065.61	HLTH/DNTL/VSN/LIFE INS P	01.000.2163	040046	NOVEMBER 2022		611 00001
	HEALTH INS PREM-NOV 2022	29,565.31	HLTH/DNTL/VSN/LIFE INS P	62.000.2163	040046	NOVEMBER 2022		611 00002
		138,630.92	*VENDOR TOTAL					
GREEN GLEN NURSERY INC	REPLACEMENT TREES	5,975.00	TREE REMOVAL AND REPLACE	31.477.5181		74684		594 00080
	REPLACMENT TREES	2,025.00	TREE REMOVAL AND REPLACE	31.477.5181		74762		594 00189
		8,000.00	*VENDOR TOTAL					
GROUNDLED COFFEE BAR	SCARY AT PRAIRIE PRIZES	75.00	EVENTS	01.412.4534	063331	GROUNDLED		614 00014
HALLERAN/MICHAEL	19994 AINE LN L32	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B217580		594 00190
	19994 AINE LN L32	2,000.00	CONTRACTOR DEPOSIT	01.000.2323		B217580 FNL GR		594 00192
	19994 AINE LN L32	500.00	CONTRACTOR DEPOSIT	01.000.2323		B217580 TREES		594 00191
		3,500.00	*VENDOR TOTAL					
HAUSHERR/ROBERT	22024 HERITAGE DR L87	1,000.00	POOL DEPOSIT	01.000.2322		B229317		594 00193
HAWKINS INC	CHLORINE/HSA-WELLS	2,877.26	CHEMICALS	62.492.4711		6308498		594 00196
	SURCHARGES-WELLS	470.00	CHEMICALS	62.492.4711		6313403		594 00194
	CHLORINE-WELLS	2,555.99	CHEMICALS	62.492.4711		6314545		594 00195
		5,903.25	*VENDOR TOTAL					
HERITAGE FS INC.	DIESEL	5,926.74	GASOLINE/OIL	01.441.4731		35011777		594 00197
	DIESEL	1,641.24	GASOLINE/OIL	62.492.4731		35011777		594 00197
	DIESEL	1,550.06	GASOLINE/OIL	62.491.4731		35011777		594 00197
		9,118.04	*VENDOR TOTAL					
HOLWELL/JOSEPH	8311 KATIE LN	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B218329		594 00200
	8311 KATIE LN	500.00	CONTRACTOR DEPOSIT	01.000.2323		B218329		594 00201

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
HOLWELL/JOSEPH		1,500.00	*VENDOR TOTAL					
HOME DEPOT #6919								
	GLUE/VENT DEFLECTOR	30.39	R&M - BLDG/SITE IMPROVEM	01.441.4211		0974847		594 00198
	RUST REMOVER/GLOVES	46.62	OPERATING SUPPLIES	62.492.4761		0974847		594 00199
	STAIN-POSTS	89.99	R&M - PUBLIC GROUNDS	01.441.4216		1974800		594 00083
	GLUE GUN	29.18	FIREARMS SUPPLIES	01.421.4721		1974813		594 00085
	RETURN ALUMINUM FLASHING	46.30CR	R&M - BLDG/SITE IMPROVEM	01.441.4211		2202502		594 00025
	RETURN WEATHER STRIPPING	73.35CR	R&M - BLDG/SITE IMPROVEM	01.441.4211		2202503		594 00024
	PLASTIC POST/PIPE	6.47	R&M - PUBLIC GROUNDS	01.441.4216		4970001		594 00308
	EXTENSION CORD/WORK GLVS	131.86	OPERATING SUPPLIES	01.441.4761		4970003		594 00202
	SCARY AT PRAIRIE DECOR	51.92	EVENTS	01.412.4534		4974710		594 00082
	2 4X6 CEDAR/BIT SET	155.21	R&M - STREETS/SIGNS	01.441.4233		7973628		594 00023
	USB DGTL MULTIMTR/WL PLT	21.20	R&M - BLDG/SITE IMPROVEM	01.441.4211		8970162		594 00309
	WALL BOARD/CEMENT-CURBS	31.60	R&M - CURBS	01.441.4231		8974587		594 00084
	MICROWAVE	219.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		9970129		594 00310
		693.79	*VENDOR TOTAL					
HOMER INDUSTRIES								
	MULCH	1,560.00	R&M - PUBLIC GROUNDS	01.441.4216		S185446		594 00027
HOMER TREE CARE INC								
	STUMP GRINDING-VARIOUS	500.00	R&M - TREES & WEEDS	01.441.4235		50333		594 00026
	STUMP GRIND-216 WALNUT	165.00	R&M - TREES & WEEDS	01.441.4235		50389		594 00086
	FERTILIZE-8400 W ST FRAN	438.00	R&M - TREES & WEEDS	01.441.4235		50537		594 00313
	FERTILIZE-45 ELWOOD	113.00	R&M - TREES & WEEDS	01.441.4235		50538		594 00312
	FERTILIZE-139 WALNUT	118.00	R&M - TREES & WEEDS	01.441.4235		50539		594 00311
		1,334.00	*VENDOR TOTAL					
H2 FLO POOL SERVICE INC								
	11835 JENNIFER L47	1,000.00	POOL DEPOSIT	01.000.2322		B228963		594 00081
IL OFFICE OF ATTORNEY GE								
	SOR	30.00	MISCELLANEOUS	01.380.3899		SOR		594 00119
IL STATE POLICE-OFC OF F								
	SOR	30.00	MISCELLANEOUS	01.380.3899		SOR		594 00120
ILLINOIS AWWA								
	.5 REGULATORY UPDATE	48.00	EDUCATIONAL TRAINING	62.491.4551	063331	IL AWWA		614 00009
	.5 REGULATORY UPDATE	48.00	EDUCATIONAL TRAINING	62.492.4551	063331	IL AWWA		614 00010
		96.00	*VENDOR TOTAL					
ILLINOIS CENTRAL RAILROA								
	LOCUST ST BY BORG WARNER	250.62	PROPERTY LEASE	62.492.4663		9500242857		594 00314
ILLINOIS LABOR LAW POSTE								
	LABOR LAW POSTERS 2023	25.97	OFFICE SUPPLIES	01.412.4751		A13532295947		594 00374
	LABOR LAW POSTERS 2023	17.71	OFFICE SUPPLIES	01.413.4751		A13532295947		594 00375
	LABOR LAW POSTERS 2023	34.67	OFFICE SUPPLIES	01.442.4751		A13532295947		594 00376

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
ILLINOIS LABOR LAW POSTE								
	LABOR LAW POSTERS 2023	21.15	OFFICE SUPPLIES	01.461.4751		A13532295947		594 00377
	LABOR LAW POSTERS 2023	255.58	OFFICE SUPPLIES	01.421.4751		A13532295947		594 00378
	LABOR LAW POSTERS 2023	82.98	OFFICE SUPPLIES	01.441.4751		A13532295947		594 00379
	LABOR LAW POSTERS 2023	46.47	OFFICE SUPPLIES	62.491.4751		A13532295947		594 00380
	LABOR LAW POSTERS 2023	77.47	OFFICE SUPPLIES	62.492.4751		A13532295947		594 00381
		562.00	*VENDOR TOTAL					
ILLINOIS TOLLWAY								
	IPASS REPLENISH	40.00	MEETING EXPENSE	01.412.4541	063331	IL TOLLWAY		614 00022
ILM								
	PRAIRIE PK STWDSHP VISIT	700.62	R&M - PRAIRIE PARK	01.441.4218		18091		594 00028
INDUSTRIAL ORGANIZATIONA								
	NEW HIRE APP LIST	1,835.00	ELIGIBILITY/PROMOTION	01.422.4135		C54547A		594 00203
INTERSTATE BATTERY SYSTE								
	BATTERIES	432.00	R&M - VEHICLES	01.421.4243		10076714		594 00090
	BATTERIES	288.00	OPERATING SUPPLIES	01.441.4761		321415		594 00087
	.5 BATTERIES	313.00	R&M - VEHICLES	62.491.4243		321415		594 00088
	.5 BATTERIES	313.00	R&M - VEHICLES	62.492.4243		321415		594 00089
	BATTERIES-LEAF MACHINE	276.95	R&M - VEHICLES	01.441.4243		321692		594 00029
	.5 BATTERY-BACKHOE	65.00	R&M - VEHICLES	62.491.4243		322012		594 00204
	.5 BATTERY-BACKHOE	65.00	R&M - VEHICLES	62.492.4243		322012		594 00490
	BATTERIES	299.70	R&M - VEHICLES	01.441.4243		322134		594 00267
	BATTERIES	31.70	R&M - WATER LINES	62.492.4261		322134		594 00268
		2,084.35	*VENDOR TOTAL					
ISA								
	ISA CONFERENCE-TK	149.00	EDUCATIONAL TRAINING	01.441.4551	063331	ISA		614 00003
ISOLVED BENEFIT SERVICES								
	COBRA MGMT-11/22	42.77	HLTH/DNTL/VSN/LIFE INS	01.412.4131		I122528501		594 00091
	COBRA MGMT-12/22	42.77	HLTH/DNTL/VSN/LIFE INS	01.412.4131		I123202461		594 00092
		85.54	*VENDOR TOTAL					
J C M UNIFORMS INC								
	PANTS-CADET KE	50.90	FALL FESTIVAL/CADET SUPP	01.421.4553		788230		594 00206
	CADET PATCH-MILEK	18.00	FALL FESTIVAL/CADET SUPP	01.421.4553		788636		594 00093
	BOOTS-335	150.00	UNIFORMS	01.421.4781		789035		594 00205
		218.90	*VENDOR TOTAL					
J G UNIFORMS INC								
	VEST COVER-336	135.00	UNIFORMS	01.421.4781		104798		594 00096
JEWEL FOOD STORES #3052								
	MUFFINS-SAFETY MEETING	67.07	MEETING EXPENSE	01.441.4541		435749		594 00094
	SCARY PRAIRIE SUPPLIES	336.78	EVENTS	01.412.4534		435815		594 00095

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
JEWEL FOOD STORES #3052								
	APPLE CIDER-SCRY PRAIRIE	17.97	EVENTS	01.412.4534		436291		594 00121
	BREAKROOM SUPPLIES	51.03	OFFICE SUPPLIES	01.412.4751		721348		594 00317
	KETCHUP	2.49	OPERATING SUPPLIES	01.441.4761		727718		594 00207
	WATER/ICE-SCARY PRAIRIE	91.40	EVENTS	01.412.4534		807789		594 00122
		566.74	*VENDOR TOTAL					
JEWEL OSCO								
	LUNCHEON	56.94	EMPLOYEE RELATIONS	01.412.4532	063331	JEWEL OSCO		614 00024
JOHNSON CONTROLS SECURIT								
	123 KANSAS-ALARM	148.50	R&M - BLDG/SITE IMPROVEM	01.441.4211		37986840		594 00030
JOLIET SUSPENSION INC								
	FRONT END ALIGNMENT-ST15	98.94	R&M - VEHICLES	01.441.4243		133330		594 00208
KEUCH/GORDON								
	SOD RESTOR-147 KANSAS	300.00	R&M - TREES & WEEDS	01.441.4235		147 KANSAS ST		594 00438
KIMBALL MIDWEST								
	.5 TUBING/WASHERS/NUTS	40.69	R&M - VEHICLES	62.491.4243		100364085		594 00031
	.5 TUBING/WASHERS/NUTS	40.70	R&M - VEHICLES	62.492.4243		100364085		594 00032
	TUBING/WASHERS/NUTS	81.38	R&M - VEHICLES	01.441.4243		100364085		594 00033
	.5 SHRINK TUBING	7.95	R&M - VEHICLES	62.492.4243		100380527		594 00097
	.5 SHRINK TUBING	7.95	R&M - VEHICLES	62.491.4243		100380527		594 00098
	SHRINK TUBING	15.90	R&M - VEHICLES	01.441.4243		100380527		594 00099
		194.57	*VENDOR TOTAL					
KNOLLCREST LANDSCAPE & D								
	22889 DUBLIN CT L20	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B218528		594 00034
	22889 DUBLIN CT L20	500.00	CONTRACTOR DEPOSIT	01.000.2323		B218528		594 00035
		1,500.00	*VENDOR TOTAL					
LAKE/KATRINA								
	7844 NORTHWOODS CT	1,000.00	POOL DEPOSIT	01.000.2322		B229216		594 00036
LAMONTO/NICK								
	SPRNKLR RPR-8315 FRSTVW	294.74	R&M - STREETS/SIGNS	01.441.4233		8315 FORESTVW		594 00123
LANDSCAPE SUPPLY INC								
	STRM DRN-10531-47 WLMBRG	6,720.00	STORMWATER MANAGEMENT	31.477.5176		2022-200		594 00315
	RPLC CULVERT-575 ABERDN	1,200.00	R&M - STORM SYSTEM	01.441.4232		2022-201		594 00316
	RESTOR-MILTON/SHETLAND	5,445.00	R&M - WATER LINES	62.492.4261		2022-202		594 00228
	RESTOR-MILTON BRDG/SHTLN	360.00	R&M - WATER LINES	62.492.4261		2022-203		594 00211
	RESTOR-392 WALNUT RDG CT	349.50	R&M - WATER LINES	62.492.4261		2022-204		594 00212
	RESTOR-804 OAKWOOD DR	243.00	R&M - WATER LINES	62.492.4261		2022-205		594 00213
	RESTOR-751 TANGLEWOOD	306.00	R&M - WATER LINES	62.492.4261		2022-206		594 00214
	RESTOR-422 OHIO RD	311.00	R&M - WATER LINES	62.492.4261		2022-207		594 00215
	RESTOR-725 SPRUCE DR	605.01	R&M - WATER LINES	62.492.4261		2022-208		594 00216

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
LANDSCAPE SUPPLY INC								
	RESTOR-305 N LOCUST	513.00	R&M - WATER LINES	62.492.4261		2022-209		594 00217
	RESTOR-UTAH/WALNUT	9.00	R&M - WATER LINES	62.492.4261		2022-210		594 00218
	RESTOR-239 OREGON	134.00	R&M - WATER LINES	62.492.4261		2022-211		594 00219
	RESTOR-CENTER/INDUSTRY	1,241.00	R&M - WATER LINES	62.492.4261		2022-212		594 00220
	RESTOR-218 SHERLOCK	488.00	R&M - WATER LINES	62.492.4261		2022-213		594 00221
	RESTOR-7777 LINCOLN HWY	1,161.00	R&M - WATER LINES	62.492.4261		2022-214		594 00222
	RESTOR-WELL 10	1,195.00	R&M - WATER LINES	62.492.4261		2022-215		594 00223
	RESTOR-11366 SANDALWOOD	5,015.00	R&M - WATER LINES	62.492.4261		2022-216		594 00224
	RESTOR-422 OHIO RD	594.00	R&M - WATER LINES	62.492.4261		2022-217		594 00225
	RESTOR-IRNWD/STNBRDGE	2,558.00	R&M - WATER LINES	62.492.4261		2022-218		594 00226
	RESTOR-10783 OAKTON CT	2,523.00	R&M - WATER LINES	62.492.4261		2022-219		594 00227
	SKID STEER SNOW SCRAPER	2,200.00	EQUIPMENT & ACCESSORIES	01.441.4791		2022-95		594 00210
	33,170.51		*VENDOR TOTAL					
LAUTERBACH & AMEN LLP								
	GASB 67/68 ACTUARIAL RPT	1,050.00	AUDITOR FEES	01.413.4331		70385		594 00037
	GASB 74/75 4/30/22	1,465.00	AUDITOR FEES	01.413.4331		70386		594 00038
	GASB 74/75 4/30/22	732.50	AUDITOR FEES	62.491.4331		70386		594 00039
	GASB 74/75 4/30/22	732.50	AUDITOR FEES	62.492.4331		70386		594 00040
	3,980.00		*VENDOR TOTAL					
LAWSON PRODUCTS INC								
	HEAT SHRINK/WASHERS/DISC	94.51	R&M - VEHICLES	01.441.4243		9310012693		594 00229
	HEAT SHRINK/WASHERS/DISC	94.51	R&M - VEHICLES	01.421.4243		9310012693		594 00230
	.5 HEAT SHRINK/WASHERS	47.25	R&M - VEHICLES	62.491.4243		9310012693		594 00231
	.5 HEAT SHRINK/WASHERS	47.26	R&M - VEHICLES	62.492.4243		9310012693		594 00232
	WHEEL WEIGHTS	17.67	R&M - VEHICLES	01.441.4243		9310012694		594 00233
	WHEEL WEIGHTS	17.68	R&M - VEHICLES	62.491.4243		9310012694		594 00234
	WHEEL WEIGHTS	17.68	R&M - VEHICLES	01.421.4243		9310012694		594 00235
	336.56		*VENDOR TOTAL					
LEE JENSEN SALES CO INC								
	LIFTING SLING	190.00	OPERATING SUPPLIES	62.492.4761		18161-00		594 00236
LEYDEN/DAVID F								
	235 WISCONSIN RD	1,000.00	POOL DEPOSIT	01.000.2322		B229681		594 00041
LOCAL PRINTING & DESIGN								
	6 SHIRTS-KO	250.75	UNIFORMS	01.412.4781		12870		594 00125
	300 STAR STRESS RELIEVER	419.92	COMMUNITY RELATIONS	01.421.4531		12908		594 00271
	500 ERASER/SHARPENERS	468.94	COMMUNITY RELATIONS	01.421.4531		12909		594 00238
	1000 MOOD PENCILS	415.02	COMMUNITY RELATIONS	01.421.4531		12910		594 00239
	600 GLOW NECKLACES	268.34	COMMUNITY RELATIONS	01.421.4531		12938		594 00237
	SAFETY SWEATSHIRTS/SHIRT	1,171.05	R&M - VEHICLES	01.441.4243		12968		594 00240
	UNIFORM HOODIES	420.00	R&M - UNIFORMS	62.491.4251		12990		594 00269
	UNIFORM SHIRTS/HOODIES	239.00	UNIFORMS	01.442.4781		12990		594 00270
	UNIFORM SHIRTS-CS	104.00	UNIFORMS	01.442.4781		13013		594 00042
	130 SHIRTS-SCARY PRAIRIE	1,878.70	EVENTS	01.412.4534		13028		594 00124
	5,635.72		*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
M.E. SIMPSON CO INC								
	LEAK LOC-10783 OAKTON CT	990.00	R&M - WATER LINES	62.492.4261		39415		594 00241
	LEAK LOC-10783 OAKTON CT	770.00	R&M - WATER LINES	62.492.4261		39438		594 00273
		1,760.00	*VENDOR TOTAL					
MAILCHIMP								
	MAILCHIMP MONTHLY	24.44	COMMUNITY RELATIONS	01.411.4531	063331	MAILCHIMP		614 00016
MARK'S CUSTOM AUTO INTER								
	SEAT RPR-ST49	318.25	R&M - VEHICLES	01.441.4243		7824		594 00318
MARTINO/DANIEL								
	22992 ANNA LN-L291	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		L160168		594 00242
MASTER AUTOMOTIVE SUPPLY								
	CORE/CALIPER RETURN	205.00CR	R&M - VEHICLES	62.492.4243		15030-122442		594 00112
	SENSOR-SQ19	130.73	R&M - VEHICLES	01.421.4243		15030-122802		594 00043
	SEALS-CAR HAULER	187.84	R&M - VEHICLES	01.441.4243		15030-122885		594 00104
	SEAL	2.44	R&M - VEHICLES	01.441.4243		15030-122926		594 00105
	PROTECTANT/WAX	261.51	R&M - VEHICLES	01.441.4243		15030-122960		594 00106
	.5 PROTECTANT/WAX	130.75	R&M - VEHICLES	62.491.4243		15030-122960		594 00107
	.5 PROTECTANT/WAX	130.76	R&M - VEHICLES	62.492.4243		15030-122960		594 00108
	TIE ROD END-U12	97.46	R&M - VEHICLES	62.492.4243		15030-123063		594 00111
	FILTER-DS1	23.03	R&M - VEHICLES	01.461.4243		15030-123093		594 00044
	RECEIVER PIN	49.95	R&M - VEHICLES	01.441.4243		15030-123095		594 00109
	RECEIVER PIN	49.95	R&M - VEHICLES	62.491.4243		15030-123095		594 00110
	FILTERS	30.20	R&M - VEHICLES	01.421.4243		15030-123096		594 00248
	FILTERS	7.55	R&M - VEHICLES	62.492.4243		15030-123096		594 00249
	SERP BELT-SQ12	23.94	R&M - VEHICLES	01.421.4243		15030-123152		594 00101
	K-SEAL-ST21	17.50	R&M - VEHICLES	01.441.4243		15030-123165		594 00102
	FILTERS	54.06	R&M - VEHICLES	01.421.4243		15030-123194		594 00246
	FILTERS	106.24	R&M - VEHICLES	62.492.4243		15030-123194		594 00247
	EXHAUST CEMENT-ST21	8.30	R&M - VEHICLES	01.441.4243		15030-123205		594 00103
	BRAKE PADS/ROTOR-SQ23	335.02	R&M - VEHICLES	01.421.4243		15030-123295		594 00100
	BLOW GUN TIP/PLUGS	30.78	R&M - PUBLIC GROUNDS	01.441.4216		15030-123393		594 00320
	.5 FILTER-BACKHOE	18.02	R&M - VEHICLES	62.491.4243		15030-123482		594 00244
	.5 FILTER-BACKHOE	18.02	R&M - VEHICLES	62.492.4243		15030-123482		594 00245
	TIE ROD-ST15	97.46	R&M - VEHICLES	01.441.4243		15030-123511		594 00243
	BRAKE PADS-SQ25	153.75	R&M - VEHICLES	01.421.4243		15030-123551		594 00319
		1,760.26	*VENDOR TOTAL					
MATTHUIS TRUCKING INC								
	45.46TN CA7/3LD DIRT	1,357.65	R&M - WATER LINES	62.492.4261		3008		594 00250
	45.93TN CA7/5LD DIRT	1,814.68	R&M - WATER LINES	62.492.4261		3013		594 00251
	44.57TN CA7/23.05TN CA11	794.54	R&M - WATER LINES	62.492.4261		3027		594 00272
		3,966.87	*VENDOR TOTAL					
MEADE ELECTRIC COMPANY,								
	TRAF SGNL MNTNC-LARAWAY	788.00	R&M - TRAFFIC LIGHTS	01.441.4234		702084		594 00322

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
MEADE ELECTRIC COMPANY,	LOCATE-TRF LT LRWY/WOLF	84.92	R&M - TRAFFIC LIGHTS	01.441.4234		702367		594 00321
		872.92	*VENDOR TOTAL					
MIDDLETON OVERHEAD DOORS	GARAGE DOOR MNTNC-PW	1,696.50	R&M - BLDG/SITE IMPROVEM	01.441.4211		6137		594 00258
MIDWEST FENCE CORP	RPLC GUARDRAIL-11801 JEN	3,434.00	R&M - STREETS/SIGNS	01.441.4233		S39428		594 00113
MINUTEMAN PRESS OF FRANK	500 SHUTOFF DOOR HANGERS	127.40	OFFICE SUPPLIES	62.491.4751		9783		594 00114
	500 SHUTOFF DOOR HANGERS	127.40	OFFICE SUPPLIES	62.492.4751		9783		594 00115
	2000 BLDG INSP REJECT LB	347.91	OPERATING SUPPLIES	01.442.4761		9783		594 00116
		602.71	*VENDOR TOTAL					
MITCHELL 1	SHOP KEY	500.40	R&M - VEHICLES	01.441.4243		28265304		594 00252
	SHOP KEY	166.80	R&M - VEHICLES	01.461.4243		28265304		594 00253
	SHOP KEY	500.40	R&M - VEHICLES	01.421.4243		28265304		594 00254
	.5 SHOP KEY	250.20	R&M - VEHICLES	62.491.4243		28265304		594 00255
	.5 SHOP KEY	250.20	R&M - VEHICLES	62.492.4243		28265304		594 00256
		1,668.00	*VENDOR TOTAL					
MONROE TRUCK EQUIPMENT I	RETURN LIGHT BAR-ST29	1,961.60CR	R&M - VEHICLES	01.441.4243		337441		594 00325
	STROBES ON HOOD-ST10	613.28	R&M - VEHICLES	01.441.4243		337953		594 00324
	SALT BRINE PREWET SYSTEM	8,825.00	EQUIPMENT - PUBLIC WORKS	31.441.5131		79723		594 00323
		7,476.68	*VENDOR TOTAL					
NICOR GAS	22801 WOLF RD-WELL 11/12	832.27	HEAT	62.492.4612		02281548525		594 00277
	8847 W LINCOLN HWY-W10	49.63	HEAT	62.492.4612		08567910008		594 00283
	524 CENTER RD	143.82	HEAT	01.441.4612		42177014190		594 00275
	524 CENTER RD	71.91	HEAT	62.491.4612		42177014190		594 00275
	524 CENTER RD	71.91	HEAT	62.492.4612		42177014190		594 00275
	20538 S LAGRANGE-RGNL	3,738.36	HEAT	62.491.4612		56723949717		594 00285
	460 OHIO RD-WPS	206.99	HEAT	62.491.4612		61691220000		594 00278
	2 N WHITE ST	163.42	HEAT	01.441.4612		64425289374		594 00281
	422 SPRUCE DR-NPS	185.81	HEAT	62.491.4612		64669780781		594 00282
	11 N WHITE ST	23.90	HEAT	01.441.4612		79196210896		594 00280
	601 PRESTWICK DR-WELL 7	297.89	HEAT	62.492.4612		83651240448		594 00284
	23031 S 80TH AVE-W 13/14	603.94	HEAT	62.492.4612		92252770240		594 00276
	2 SMITH ST	58.60	HEAT	01.441.4612		92388243583		594 00279
		6,448.45	*VENDOR TOTAL					
NU-WAY DISPOSAL SERVICE,	6750 CURB SERV-OCT 2022	106,595.62	GARBAGE DISPOSAL	01.447.4621		22/10-31		594 00286
	6750 RCYC SERV-OCT 2022	28,822.50	RECYCLING FEE	01.447.4625		22/10-31		594 00287

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
NU-WAY DISPOSAL SERVICE,	TSF GARBAGE 11.82TNS	768.30	GARBAGE DISPOSAL	01.447.4621		8002304		594 00126
	TSF GARBAGE 11.72TNS	761.80	GARBAGE DISPOSAL	01.447.4621		8002304		594 00127
		136,948.22	*VENDOR TOTAL					
ODP BUSINESS SOLUTIONS L	DRY ERASE MARKERS	24.98	OPERATING SUPPLIES	01.421.4761		272609086001		594 00288
	MANILA FOLDERS/ENVELOPES	37.07	OFFICE SUPPLIES	01.421.4751		272609696001		594 00289
		62.05	*VENDOR TOTAL					
ORKIN PEST CONTROL	20602 LW LN 10/21	178.47	PEST CONTROL	01.441.4672		234770325		594 00290
	24 ELWOOD 10/11	70.00	PEST CONTROL	01.441.4672		235532672		594 00128
		248.47	*VENDOR TOTAL					
P. T. FERRO CONSTRUCTION	2022 ROADWAY MNTNC	2,684,072.36	R&M - STREETS	31.477.4233		47407		594 00326
PALMER/JASON	22734 STANFORD DR	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B217853		594 00327
	22734 STANFORD DR	500.00	CONTRACTOR DEPOSIT	01.000.2323		B217853		594 00328
		1,500.00	*VENDOR TOTAL					
PARK HARDWARE #16759	FUEL CAN	29.99	R&M - VEHICLES	01.441.4243		7577		594 00339
	TRASH BAGS	8.99	JANITORIAL SUPPLIES	01.441.4741		7578		594 00350
	ROLLER/BRUSHES/DROP CLTH	106.42	R&M - BLDG/SITE IMPROVEM	01.441.4211		7581		594 00345
	SPACKLE/KNIFE	28.46	R&M - BLDG/SITE IMPROVEM	01.441.4211		7583		594 00346
	FASTENERS-ST21	3.18	R&M - VEHICLES	01.441.4243		7591		594 00341
	BATTERIES	14.99	OPERATING SUPPLIES	62.492.4761		7598		594 00343
	BALL VALVE/PLUGS	38.96	R&M - VEHICLES	01.441.4243		7600		594 00340
	FASTENERS	25.27	R&M - PUBLIC GROUNDS	01.441.4216		7605		594 00342
	BATTERIES	15.99	JANITORIAL SUPPLIES	01.441.4741		7607		594 00349
	10 KEYS	29.90	R&M - WATER LINES	62.492.4261		7612		594 00338
	BATTERIES	7.99	OPERATING SUPPLIES	01.441.4761		7613		594 00344
	OVEN/WOOD CLEANERS	35.96	JANITORIAL SUPPLIES	01.441.4741		7622		594 00347
	DRILL BITS/ANCHORS	24.58	OPERATING SUPPLIES	62.491.4761		7624		594 00334
	HAMMER/SHUT OFF VALVE	36.98	OPERATING SUPPLIES	62.492.4761		7627		594 00336
	SAFETY GLOVES	46.98	OPERATING SUPPLIES	62.492.4761		7628		594 00335
	FASTENERS	8.36	R&M - STREETS/SIGNS	01.441.4233		7632		594 00351
	WINDEX/LIGHT CLIP	48.54	JANITORIAL SUPPLIES	01.441.4741		7635		594 00348
	CAULK/BATTERIES/TAPE	23.45	OPERATING SUPPLIES	62.492.4761		7650		594 00331
	CLEANER/FEBREEZE	40.43	JANITORIAL SUPPLIES	01.441.4741		7652		594 00332
	HAND SOAPS	23.75	JANITORIAL SUPPLIES	01.441.4741		7655		594 00333
	CAULK GUN/FASTENERS/SCKT	23.45	OPERATING SUPPLIES	62.491.4761		7667		594 00337
	SNAKE AWAY/SFTY GLASSES	49.97	JANITORIAL SUPPLIES	01.441.4741		7671		594 00329
	SWIFFER/MOP	29.97	JANITORIAL SUPPLIES	01.441.4741		7681		594 00330
		702.56	*VENDOR TOTAL					

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM INVOICE	PO#	F/P ID LINE
PAYPAL-APAIL	APA-IL WEBINAR-MS	15.00	EDUCATIONAL TRAINING	01.461.4551	063331 PAYPAL-APAIL		614 00004
PEERLESS NETWORK INC	TELEPHONE CHGS	207.99	TELEPHONE	01.412.4441	562932		594 00352
	TELEPHONE CHGS	64.98	TELEPHONE	01.413.4441	562932		594 00352
	TELEPHONE CHGS	84.48	TELEPHONE	01.442.4441	562932		594 00352
	TELEPHONE CHGS	90.98	TELEPHONE	01.461.4441	562932		594 00352
	TELEPHONE CHGS	64.98	TELEPHONE	62.491.4441	562932		594 00352
	TELEPHONE CHGS	64.98	TELEPHONE	62.492.4441	562932		594 00352
	TELEPHONE CHGS	71.48	TELEPHONE	01.441.4441	562932		594 00352
	TELEPHONE CHGS-POLICE	684.21	TELEPHONE	01.421.4441	562932		594 00353
		1,334.08	*VENDOR TOTAL				
PETTY CASH	SHIPPING-SCARY PR BIBS	9.25	EVENTS	01.412.4534	22/11-2177		594 00354
	PRKG-WILL CTY MTG	2.00	MEETING EXPENSE	01.461.4541	22/11-2177		594 00355
	PRIORITY MAIL-SUPERFLEET	9.90	POSTAGE	01.412.4433	22/11-2177		594 00356
	POSTAGE	72.65	POSTAGE	01.421.4433	22/11-9435		594 00357
	CHIEF MTG	60.00	MEETING EXPENSE	01.421.4541	22/11-9435		594 00358
	TRUNK OR TREAT TROPHIES	14.00	COMMUNITY RELATIONS	01.421.4531	22/11-9435		594 00359
		167.80	*VENDOR TOTAL				
PHILLIPS/JAMAAL	21422 BRAMBLE DR	1,000.00	LANDSCAPE DEPOSIT	01.000.2321	B229258		594 00361
PLANNING RESOURCES INC	LANDSCAPE MNTNC REVIEW	1,350.00	CONSULTANT PLAN REVIEW F	01.442.4391	13737		594 00362
PLAZA CLEANERS	UNIFORM MNTNC-SEPT	341.00	R&M - UNIFORMS	01.421.4251	10011670901		594 00363
POWER LUBE INDUSTRIAL LL	LUBRICANT-RGNL	1,497.43	R&M - TREATMENT PLANT	62.491.4229	760850		594 00360
PRINCETON HOMES	21942 PRINCETON CIR L213	1,000.00	LANDSCAPE DEPOSIT	01.000.2321	B218098		594 00364
	21942 PRINCETON CIR L213	500.00	CONTRACTOR DEPOSIT	01.000.2323	B218098		594 00365
		1,500.00	*VENDOR TOTAL				
PROVEN BUSINESS SYSTEMS	TOSHIBA 6570 MNTNC	125.58	R&M - EQUIPMENT	01.413.4241	965979		594 00366
	TOSHIBA 6570 MNTNC	125.58	R&M - EQUIPMENT	01.442.4241	965979		594 00367
	TOSHIBA 6570 MNTNC	125.58	R&M - EQUIPMENT	62.491.4241	965979		594 00368
	TOSHIBA 6570 MNTNC	125.57	R&M - EQUIPMENT	62.492.4241	965979		594 00369
	TOSHIBA 4515AC MNTNC-PD	154.20	R&M - OFFICE EQUIPMENT	01.421.4242	965981		594 00373
		656.51	*VENDOR TOTAL				
PUBLIC SAFETY DIRECT INC	LIGHT RPR-SQ1	149.00	EQUIPMENT & ACCESSORIES	01.421.4791	100274		594 00370

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
PUBLIC SAFETY DIRECT INC	OPTICOM RPR-SQ1	299.00	EQUIPMENT & ACCESSORIES	01.421.4791		100481			594	00372
	RPLC SIREN-SQ22	324.99	EQUIPMENT & ACCESSORIES	01.421.4791		100535			594	00371
		772.99	*VENDOR TOTAL							
RACE TIME INC	SCARY PRAIRIE TIMING	725.60	EVENTS	01.412.4534		T1022			594	00382
RAMIRO GUZMAN LANDSCAPIN	RT30 MWING/BED MNTNC-NOV	3,694.36	R&M - LAWN MOWING	01.441.4215		8052			594	00383
	RT30 MWING/BED MNTNC-APR	9,339.45	R&M - LAWN MOWING	01.441.4215		8109			594	00384
	RT30 MWING/BED MNTNC-MAY	9,339.45	R&M - LAWN MOWING	01.441.4215		8141			594	00385
	RMV WEEDS-HARLEM-MAY	1,250.00	R&M - LAWN MOWING	01.441.4215		8197			594	00386
	RMV WEEDS-HARLEM-JUNE	1,250.00	R&M - LAWN MOWING	01.441.4215		8198			594	00387
	RT30 MWING/BED MNTNC-JUL	9,339.45	R&M - LAWN MOWING	01.441.4215		8295			594	00388
	RT30 MWING/BED MNTNC-SEP	9,339.45	R&M - LAWN MOWING	01.441.4215		8358			594	00389
	RT30 MWING/BED MNTNC-OCT	9,339.45	R&M - LAWN MOWING	01.441.4215		8400			594	00390
		52,891.61	*VENDOR TOTAL							
REGISTER WEBSITE	DOMAIN REG RENEWAL	17.91	SOFTWARE SUPPORT	01.412.4753	063331	REGISTER WEB			614	00002
	DOMAIN REG RENEWAL	17.87	SOFTWARE SUPPORT	01.413.4753	063331	REGISTER WEB			614	00002
	DOMAIN REG RENEWAL	17.87	SOFTWARE SUPPORT	01.441.4753	063331	REGISTER WEB			614	00002
	DOMAIN REG RENEWAL	17.87	SOFTWARE SUPPORT	01.442.4753	063331	REGISTER WEB			614	00002
	DOMAIN REG RENEWAL	17.87	SOFTWARE SUPPORT	01.461.4753	063331	REGISTER WEB			614	00002
	DOMAIN REG RENEWAL	17.87	SOFTWARE SUPPORT	62.491.4753	063331	REGISTER WEB			614	00002
	DOMAIN REG RENEWAL	17.87	SOFTWARE SUPPORT	62.492.4753	063331	REGISTER WEB			614	00002
	DOMAIN REG RENEWAL	17.87	SOFTWARE SUPPORT	01.421.4753	063331	REGISTER WEB			614	00002
		143.00	*VENDOR TOTAL							
ROBINSON ENGINEERING LTD	NEW FF SETTLEMENT REVIEW	1,376.75	CONSULTANT PLAN REVIEW F	01.442.4391		22070448			594	00397
	CASEY'S-SEC WOLF/LARAWY	3,047.50	ENGINEERING FEES	01.461.4351		22100121			594	00400
	COUNTRY CROSSING NORTH	5,682.75	ENGINEERING FEES	01.461.4351		22100122			594	00392
	COUNTRY CR NORTH PHASE 2	2,599.00	ENGINEERING FEES	01.461.4351		22100123			594	00393
	COUNTRY CROSSINGS SOUTH	6,825.25	ENGINEERING FEES	01.461.4351		22100124			594	00391
	VINEYARD REVIEW	2,438.25	CONSULTANT PLAN REVIEW F	01.442.4391		22100126			594	00403
	OASIS ASSISTED LIVING	332.00	ENGINEERING FEES	01.461.4351		22100132			594	00401
	CHLORIDE PMP DRAFT	5,313.25	ENGINEERING FEES	01.441.4351		22100133			594	00395
	CAFFEINATED CONCEPTS	1,437.50	ENGINEERING FEES	01.461.4351		22100134			594	00399
	EVERBROOK ACADEMY	842.75	ENGINEERING FEES	01.461.4351		22100136			594	00398
	COLONY/HERITAGE WTRMN	12,318.25	WATER LINES	68.492.5163		22100257			594	00404
	PFEIFFER RD EXT REVIEW	7,035.00	ENGINEERING FEES	23.486.4351		22100336			594	00394
	2022 ROADWAY MNTNC	40,523.75	R&M - STREETS	31.477.4233		22100337			594	00396
	ITEP BIKE PATH GRANT APP	5,000.00	ENGINEERING FEES	01.461.4351		22100341			594	00402
		94,772.00	*VENDOR TOTAL							
RUDER ELECTRIC INC	KEY ACCESS RPR-VH	786.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		9258			594	00405

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
RUSH TRUCK CENTER OF IL	EGR COOLER-ST21	1,680.00	R&M - VEHICLES	01.441.4243		3029603754		594 00406
RUSSO'S POWER EQUIPMENT	8 RAKES	103.92	OPERATING SUPPLIES	01.441.4761		SPI11268516		594 00407
	AIR FILTER	3.87	R&M - VEHICLES	01.441.4243		SPI11271518		594 00409
	CARBURETOR	59.05	R&M - VEHICLES	01.441.4243		SPI11276495		594 00408
		166.84	*VENDOR TOTAL					
S & S MECHANICAL SERV-AT	HEATER SERV-RGNL	956.16	R&M - TREATMENT PLANT	62.491.4229		13298		594 00421
	DEHUMIDIFIER MNTNC-W10	935.00	R&M - WELLS	62.492.4262		13344		594 00416
	HEATER MNTNC-WELL 5	295.00	R&M - WELLS	62.492.4262		13346		594 00415
	RPLC THERMOSTAT-WELL 17	325.00	R&M - WELLS	62.492.4262		13347		594 00414
	RPR FURNACE-VH	185.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		13354		594 00410
	HVAC RPR-WELL 11/12	1,060.00	R&M - WELLS	62.492.4262		13358		594 00413
	FALL STARTUP FURNACE-VH	1,114.75	R&M - BLDG/SITE IMPROVEM	01.441.4211		13366		594 00411
	HEATER MNTNC-WELL 6	389.00	R&M - WELLS	62.492.4262		13370		594 00417
	HVAC SERVICE-RGNL	232.00	R&M - TREATMENT PLANT	62.491.4229		13434		594 00418
	NEW HEATER-WELL 15/16	1,158.25	R&M - WELLS	62.492.4262		13441		594 00412
	RPLC THERMOSTAT-WELL 4	360.56	R&M - WELLS	62.492.4262		13444		594 00419
	HEATER SERV-WELL 10	584.36	R&M - WELLS	62.492.4262		13448		594 00420
		7,595.08	*VENDOR TOTAL					
SCHAEFFER'S	OIL	604.35	GASOLINE/OIL	01.441.4731		4606180284		594 00422
	OIL	1,208.68	GASOLINE/OIL	01.421.4731		4606180284		594 00422
	OIL	453.25	GASOLINE/OIL	62.492.4731		4606180284		594 00422
	OIL	453.25	GASOLINE/OIL	62.491.4731		4606180284		594 00422
	OIL	302.17	GASOLINE/OIL	01.442.4731		4606180284		594 00422
		3,021.70	*VENDOR TOTAL					
SCHILLING	6X6 WOOD POST	76.90	R&M - STREETS/SIGNS	01.441.4233		473925		594 00423
SCHINDLER ELEVATOR CORP	HYDRAULIC SFTY TEST-PD	575.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		7100497040		594 00424
SHIDELER/MICHAEL	RPLC TREE-538 ABERDEEN	300.00	TREE REMOVAL AND REPLACE	31.477.5181		538 ABERDEEN		594 00426
SIGN ARTIST INC	RPR STREET SIGNS	300.00	R&M - STREETS/SIGNS	01.441.4233		1148		594 00425
SIRCHIE	EVIDENCE SUPPLIES	439.03	OPERATING SUPPLIES	01.421.4761		563572		594 00427
SLIGO 5 INC	22643 FRONTIER CT L90	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B217665		594 00428
	22643 FRONTIER CT L90	500.00	CONTRACTOR DEPOSIT	01.000.2323		B217665		594 00429

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
SLIGO 5 INC	22643 FRONTIER CT L90	4,000.00	CONTRACTOR DEPOSIT	01.000.2323		B217665 CONCRT		594 00431
	22643 FRONTIER CT L90	2,000.00	CONTRACTOR DEPOSIT	01.000.2323		B217665 FNL GR		594 00430
		7,500.00	*VENDOR TOTAL					
SPIRIT HALLOWEEN	SCARY AT PRAIRIE SUPPLY	175.97	EVENTS	01.412.4534	063331	SPIRIT HALLO		614 00018
STANDARD EQUIPMENT COMPA	LATCH-LEAF MACHINE	157.22	R&M - VEHICLES	01.441.4243		P39512		594 00432
STAPLES ADVANTAGE	TONER/COFFEE	64.45	OFFICE SUPPLIES	01.412.4751		8067479474		594 00433
STAPLES CREDIT PLAN	.5 TONER-LOCATES	81.44	OPERATING SUPPLIES	62.491.4761		22/10-17		594 00434
	.5 TONER-LOCATES	81.44	OPERATING SUPPLIES	62.492.4761		22/10-17		594 00435
	PAPER-PACKETS	30.23	OFFICE SUPPLIES	01.461.4751		22/10-21		594 00436
		193.11	*VENDOR TOTAL					
STATE TREASURER	TRFFC SIGNALS-RT30/RT45	5,017.01	R&M - TRAFFIC LIGHTS	01.441.4234		62886		594 00440
SUBURBAN LABORATORIES IN	SAMPLE TESTING	1,091.25	SAMPLE TESTING	62.492.4641		208426		594 00441
SUPERFLEET	GASOLINE-BLDG	92.19	GASOLINE/OIL	01.442.4731		FB426		594 00442
SUPERIOR PUMPING SERVICE	VALVE RPLCMNT-HARLEM LFT	5,192.48	R&M - LINES/LIFT STATION	62.491.4228		2886		594 00443
T. R. L. TIRE SERVICE	TIRES-STT3	388.38	R&M - VEHICLES	01.441.4243		31087		594 00444
T-MOBILE	SGT PHONES	66.68	TELEPHONE	01.421.4441		971115558		594 00445
TOM'S TRUCK REPAIR SOUTH	BRAKE CHAMBER	357.84	R&M - VEHICLES	01.441.4243		P21733		594 00453
	SAFETY INSPECTIONS	324.00	R&M - VEHICLES	01.441.4243		SL12744		594 00447
	SAFETY INSPECTIONS	36.00	R&M - VEHICLES	01.421.4243		SL12744		594 00448
	SAFETY INSPECTIONS	36.00	R&M - VEHICLES	62.492.4243		SL12744		594 00449
	SAFETY INSPECTIONS	252.00	R&M - VEHICLES	01.441.4243		SL12753		594 00450
	.5 SAFETY INSPECTIONS	72.50	R&M - VEHICLES	62.491.4243		SL12753		594 00451
	.5 SAFETY INSPECTIONS	72.50	R&M - VEHICLES	62.492.4243		SL12753		594 00452
	SAFETY INSPECTIONS	36.00	R&M - VEHICLES	01.441.4243		SL12765		594 00446
		1,186.84	*VENDOR TOTAL					

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID LINE
TRADERS SELF PARKING	APA-IL CONF PARKING	53.00	EDUCATIONAL TRAINING	01.461.4551	063331	TRAD SELF PARK		614	00025
	APA-IL CONF PARKING	57.00	EDUCATIONAL TRAINING	01.461.4551	063331	TRAD SELF PARK		614	00026
		110.00	*VENDOR TOTAL						
TREASURER OF STATE OF IL	SOR	5.00	MISCELLANEOUS	01.380.3899		SOR		594	00454
TREASURER, STATE OF ILLI	STEGER RD-ST/BRG FINAL	116,038.17	ACCOUNTS PAYABLE	23.000.2011		124947		594	00456
	PFEIFFER RD BIKE PTH-FNL	9,344.89	ACCOUNTS PAYABLE	31.000.2011		124957		594	00455
		125,383.06	*VENDOR TOTAL						
TRI-R SYSTEMS INCORPORAT	SCADA COMPUTER RPLC-RGNL	6,250.00	EQUIPMENT	68.491.5131		5582		594	00469
TRI-STATE BRICK COMPANY	RETURN EDGING-KANSAS ST	303.38CR	COMMUNITY ENHANCEMENTS	31.477.5268		CM0012130		594	00467
	RETURN POLY SAND-KANSAS	351.30CR	COMMUNITY ENHANCEMENTS	31.477.5268		CM0012133		594	00466
	RETURN POLY SAND-KANSAS	702.60CR	COMMUNITY ENHANCEMENTS	31.477.5268		CM0012136		594	00468
	OUTCROPPING-KANSAS ST	706.68	COMMUNITY ENHANCEMENTS	31.477.5268		SI0061130		594	00461
	OUTCROPPING-VH	999.40	R&M - PUBLIC GROUNDS	01.441.4216		SI0061292		594	00462
	OUTCROPPING-VH	483.66	R&M - PUBLIC GROUNDS	01.441.4216		SI0061302		594	00464
	SEALER	109.58	R&M - PUBLIC GROUNDS	01.441.4216		SI0061564		594	00465
	MORTAR/TROWEL	70.98	R&M - STREETS/SIGNS	01.441.4233		SI0061685		594	00460
	DRY STACK STONE-VH	670.00	R&M - PUBLIC GROUNDS	01.441.4216		SI0062287		594	00458
	DRY STACK STONE-VH	706.67	R&M - PUBLIC GROUNDS	01.441.4216		SI0062341		594	00459
	DRY STACK STONE-VH	335.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		SI0062414		594	00457
		2,724.69	*VENDOR TOTAL						
UNDERGROUND PIPE & VALVE	4"QUICK SLEEVE	1,275.00	R&M - WATER LINES	62.492.4261		57750		594	00470
USA BLUE BOOK	HYDRANT OIL/B-BOX KEY	571.48	OPERATING SUPPLIES	62.492.4761		148028		594	00471
USNHS.A.COM DRIVER ED	CDL DRIVER TRAINING-VC	249.00	EDUCATIONAL TRAINING	62.492.4551	063331	USNHS.A DR ED		614	00006
VCNA PRAIRIE LLC	43.27TN CA7 STONE	523.56	R&M - WATER LINES	62.492.4261		890736864		594	00473
	45.93TN CA7 STONE	555.76	R&M - WATER LINES	62.492.4261		890743069		594	00475
	44.57TN CA7 STONE	539.29	R&M - WATER LINES	62.492.4261		890755112		594	00472
	23.05TN CA7 STONE	278.91	R&M - WATER LINES	62.492.4261		890759584		594	00474
		1,897.52	*VENDOR TOTAL						
VERIZON WIRELESS	CELLPHONE CHGS-BLDG	77.74	TELEPHONE	01.442.4441		9918130221		594	00476
	IWIN CHARGES	532.16	SOFTWARE SUPPORT	01.421.4753		9918130221		594	00477
	CELLPHONE CHGS-PW	62.35	TELEPHONE	01.441.4441		9918130221		594	00478
	CELLPHONE CHGS-SWR	168.00	TELEPHONE	62.491.4441		9918130221		594	00479

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
VERIZON WIRELESS	CELLPHONE CHGS-SWR	168.00	TELEPHONE	62.492.4441		9918130221		594 00480
		1,008.25	*VENDOR TOTAL					
WELSCH READY MIX INC	CONCRETE-22408 PRKVIEW	622.94	R&M - SIDEWALKS	01.441.4220		27337		594 00481
WEST SIDE TRACTOR SALES	FILTER/ELEMENT-LEAF MACH	119.23	R&M - VEHICLES	01.441.4243		J00252		594 00484
	FILTER/ELEMENT-LEAF MACH	249.48	R&M - VEHICLES	01.441.4243		J00384		594 00482
		368.71	*VENDOR TOTAL					
WEX BANK	GASOLINE-SWR	1,190.49	GASOLINE/OIL	62.491.4731		84493678		594 00141
	GASOLINE-WTR	1,968.91	GASOLINE/OIL	62.492.4731		84493678		594 00142
	GASOLINE-PW	937.87	GASOLINE/OIL	01.441.4731		84493678		594 00143
	GASOLINE-BLDG	734.50	GASOLINE/OIL	01.442.4731		84493678		594 00144
	GASOLINE-COM DEV	40.89	GASOLINE/OIL	01.461.4731		84493678		594 00145
	GASOLINE-POLICE	7,367.15	GASOLINE/OIL	01.421.4731		84493678		594 00146
		12,239.81	*VENDOR TOTAL					
WILL COUNTY GOVERNMENTAL	EAP FEES-4TH QTR 2022	611.10	DUES	01.411.4511		2022-1195		594 00485
WINE THIEF	SCARY AT PRAIRIE PRIZES	35.00	EVENTS	01.412.4534	063331	WINE THIEF		614 00013
WINGREN LANDSCAPE INC	LIGHT RPRS-BR GREEN	510.00	R&M - PUBLIC GROUNDS	01.441.4216		73807		594 00486
1ST AYD CORPORATION	HAND CLEANER	31.94	R&M - VEHICLES	01.441.4243		PSI564221		594 00487
	.5 HAND CLEANER	15.97	R&M - VEHICLES	62.491.4243		PSI564221		594 00488
	.5 HAND CLEANER	15.97	R&M - VEHICLES	62.492.4243		PSI564221		594 00489
		63.88	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
REPORT TOTALS:		3,600,590.78								

RECORDS PRINTED - 000580

Draft

Payroll Expense Approval

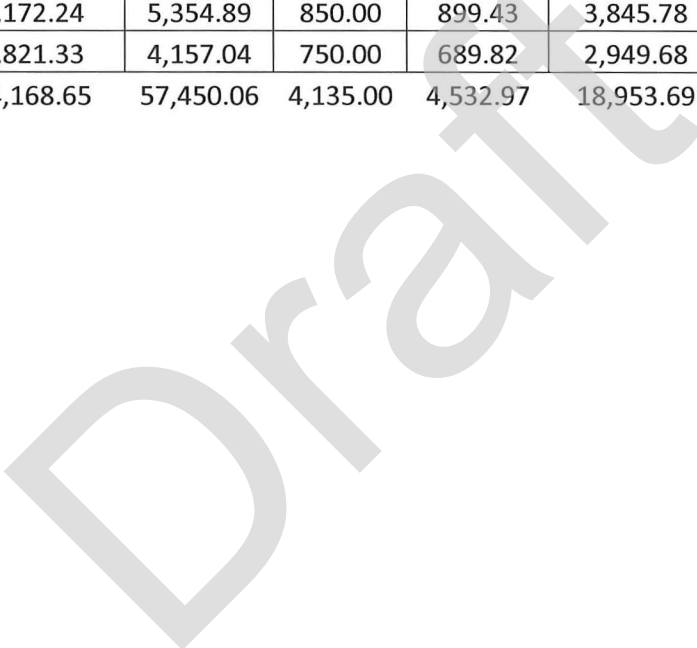
10/28/2022 Payroll

	2021 Gross Wage Avg	Gross Wages	Pension	457	Medicare	SS
General Fund	56,300.72	63,568.22	5,077.78	715.00	892.88	3,389.00
Police Fund	153,178.88	146,606.86	42,860.35	1,820.00	2,050.84	8,769.23
Utility Fund	61,726.84	64,172.24	5,354.89	850.00	899.43	3,845.78
Streets	50,964.56	49,821.33	4,157.04	750.00	689.82	2,949.68

Total 322,171.01 324,168.65 57,450.06 4,135.00 4,532.97 18,953.69

Grand Total

409,240.37



November 7, 2022

Unanimous Consent Agenda

C. HISTORIC PRESERVATION COMMISSION REPORT

1. HISTORIC LANDMARK: 204 HICKORY STREET - ORDINANCE

The Historic Preservation Commission recommended establishing the first local residential landmark in the Village of Frankfort at its October 19, 2022 meeting. The preservation effort was initiated by the property owner, Judy Schultz, who submitted an application nominating the residence and other structures located on the property at 204 Hickory Street for designation as a landmark under the Historic Preservation Ordinance.

At its October 19, 2022 Public Hearing on the nomination, the Historic Preservation Commission determined 204 Hickory Street met the criteria necessary for designation as a landmark and forwarded a unanimous (4-0) recommendation to the Village Board to designate the subject property as a local landmark.

Motion: Accept the Historic Preservation Commission recommendation, waive the First and Second Readings, and pass an Ordinance designating the structures located on the property at 204 Hickory Street as a landmark under the provisions of the Historic Preservation Ordinance of the Village of Frankfort.

ORDINANCE NO. 33XX

**AN ORDINANCE DESIGNATING A HISTORIC LANDMARK IN THE VILLAGE OF
FRANKFORT, WILL & COOK COUNTIES, ILLINOIS
(204 HICKORY STREET)**

WHEREAS, the Village of Frankfort enacted the Village of Frankfort Historic Preservation Ordinance, adopted April 18, 1994, which provided for the creation of the Frankfort Historic Preservation Commission; and

WHEREAS, the Village of Frankfort enacted the revised Village of Frankfort Historic Preservation Ordinance, adopted September 21, 2020; and

WHEREAS, the Frankfort Historic Preservation Commission has the authority under the provisions of the Village of Frankfort Historic Preservation Ordinance to recommend to the Frankfort Village Board, properties, and structures suitable to be designated as historic landmarks; and

WHEREAS, there exists structures that are deemed significant located on the property at 204 Hickory Street, Frankfort, Illinois 60423, PIN: 19-09-28-224-009-0000; and

WHEREAS, a timely Notice of a Public Hearing before the Historic Preservation Commission of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the application for designation as a Historic Landmark for the subject property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Historic Preservation Commission to review and evaluate the application according to the criteria established by the Village of Frankfort Historic Preservation Ordinance; and

WHEREAS, the Frankfort Historic Preservation Commission forwarded a unanimous (4-0) recommendation to the Board of Trustees of the Village of Frankfort that the subject structures be

designated as a Landmark under the Historic Preservation Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. RECITALS INCORPORATED

The recitals set forth hereinabove shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2. HISTORIC LANDMARK DESIGNATION

1. The Frankfort Village Board has reviewed the application and recommendation of the Frankfort Historic Preservation Commission and finds the structures located on the property at 204 Hickory Street, Frankfort, Will County, Illinois 60423, meet the requisite criteria necessary for designation as a landmark under the Village of Frankfort Historic Preservation Ordinance.
2. That the structures located on the property at 204 Hickory Street, Frankfort, Will County, Illinois 60423, are hereby designated a landmark and subject to all applicable provisions of the Frankfort Historic Preservation Ordinance, as amended from time to time.
3. The Frankfort Village Board directs the administrative staff of the Village of Frankfort to cause delivery of proper notice of the passage of this ordinance to the property owner and others as required by the Historic Preservation Ordinance, and a copy of this ordinance be filed with the Will County Recorder of Deeds.

SECTION 3. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

SECTION 4. SEVERABILITY

If any section, paragraph, clause, or provision of this ordinance is held invalid, the invalidity of such section, paragraph, clause, or provision shall not affect any of the other provisions of this ordinance.

SECTION 5. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

PASSED this __ day of ____, 2022; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA PETROW	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

PREPARED BY AND RETURN TO:

VILLAGE CLERK
VILLAGE OF FRANKFORT
432 W. NEBRASKA STREET
FRANKFORT, IL 60423



MINUTES

MEETING OF VILLAGE OF FRANKFORT

HISTORIC PRESERVATION COMMISSION SEPTEMBER 22, 2022 – VILLAGE ADMINISTRATION BUILDING 432 W. NEBRASKA STREET

Call to Order: Chair Steward called the meeting to order at 5:30 P.M.

Commissioners Present: Chair Marcia Steward, Vice-Chair Chester Szmurlo,
Secretary Stephanie Kush, David Toepper

Commissioners Absent: Patricia Tutko

Staff Present: Planner Drew Duffin, Director of Community and
Economic Development Mike Schwarz

Elected Officials Present: None

A. Approval of the Minutes from September 21, 2022

Chair Steward noted that the phrase “Chamber of Commerce” should be changed to “Area Historical Society” on Page 3. Commissioner Szmurlo noted that the word “now” should be changed to “not” in the seventh line in the first paragraph on Page 4.

Motion (#1): Approval of the September 21, 2022 minutes, as amended.

Motion by: Toepper Seconded by: Szmurlo

Approved: (4 to 0)

B. New Business

1. Public Hearing: Landmark Designation for 204 Hickory Street

Drew Duffin gave a brief overview of the application.

The applicant, Judy Schultz stated that she felt more like the caretaker of her home, rather than the owner.

Chair Steward read the criteria for landmark nominations.

1. *Significant value as part of the historic, heritage or cultural characteristics of the community, county, state or nation.*

Commissioner Kush stated that she believed the subject property met the criterion. The other Commissioners agreed.

2. *Its identification with a person or persons who significantly contributed to the development of the community, county, state or country.*

All members of the Historic Preservation Commission agreed the subject property met this criterion.

3. *Representative of the distinguishing characteristics of architecture inherently valuable for the study of a period, type, method of construction or use of indigenous materials.*

All Commissioners agreed the subject property met this criterion. Chair Steward added that the subject property stood out among other Queen Anne-style homes in the community.

4. *Notable work of a master builder, designer, architect or artist whose individual work has influenced the development of the community, county, state or country.*

The Historic Preservation Commission agreed the subject property did not meet this criterion, since there was no information about the builder.

5. *Its unique location or singular physical characteristics that make it an established or familiar visual feature.*

Commissioner Kush stated she believed the subject's location within the Village was a positive factor in meeting this criterion. The other Commissioners agreed.

6. *Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses, historic commercial buildings, gas stations, or other commercial; structures, with a high level of integrity or architectural significance.*

Chair Steward she believed the subject property met this criterion based on the materials used to construct the house, many of which were maintained and still present to the present. Commissioner Kush added that the presence of the carriage house was another factor in meeting this criterion. The other Commissioners

agreed.

7. *Area that has yielded or may be likely to yield, information important in history or prehistory.*

All the members of the Historic Preservation Commission agreed the subject property met this criterion.

Chair Steward asked if there were any members of the public who wished to give comments.

There were none.

Motion (#2): To close the Public Hearing.

Motion by: Toepper

Seconded by: Kush

Approved: (4 to 0)

Motion (#3): Recommend to Village Board designate the property located at 204 Hickory Street as a landmark under the provisions of the Historic Preservation Ordinance of the Village of Frankfort.

Motion by: Kush

Seconded by: Szmurlo

Approved: (4 to 0)

2. Certificate of Appropriateness: 7 N. White Street (Integrus Development)

Drew Duffin gave a brief overview of the project.

Jim Olquin, an attorney representing the applicant, introduced the project while project architect Jose Garcia prepared a presentation on the overhead projector screen in the Board Room.

Dan Elliot, the applicant, gave additional comments on the proposal. He said that he intended to develop a building that the people of Frankfort would like and which would fit with the look of other buildings on White Street. He did not want to ruffle any feathers with the design of the building.

A virtual model of the proposed building was projected on the screen for reference.

Jason Nuttleman, another project architect, presented the prepared slides and the virtual model. He also clarified some points which staff had raised questions about in their report. The roof slope was 10/12, which was inspired by other buildings in the downtown area. There would be some space for outdoor seating along the west façade in the proposed 10-

foot front yard setback, but most of the outdoor seating would be located on the patio along the south end of the building for the proposed sushi restaurant. Mr. Nuttleman also clarified that the design of the canopy over the proposed seating area was based on an open pergola concept. The steel frames for all the canopies on the building were inspired by the steel arch over the Old Plank Road Trail.

Commissioner Kush asked what the material of the roof would be on the north side of the building.

Mr. Nuttleman said it would be made of standing seam metal.

Chair Steward thanked the applicant and his team for bringing a proposal forward.

Commissioner Szmurlo said he was looking forward to having a sushi restaurant in Downtown Frankfort. He asked if there would be a view of Prairie Park from the restaurant.

Mr. Nuttleman stated that Prairie Park could be seen from the patio area, but not from inside the restaurant.

Commissioner Szmurlo expressed his concern for the use of white for the wood façade. In his opinion, the white did not blend well with the other buildings in the downtown area. In addition, the white siding contrasted greatly with the dark colored roof. He said that standing seam metal was not a historical roofing material. There were some examples of standing seam metal roofs in Downtown Frankfort, but they were not very visible from the street. He liked the brick in the proposal, but had a hard time determining what color the brick would be from the submitted renderings and on the virtual model.

The applicant stated that their main sources for inspiration when designing the proposed building were the Gnade Insurance building at 219 N. White Street and 1 N. White Street, which would be immediately south of the proposed building.

Mr. Nuttleman added that the sections of the roof which were made of standing seam metal would not be visible from White Street, which was an intentional design choice.

Commissioner Szmurlo recalled that the main concerns that the Historic Preservation Commission had with 1 N. White Street were the colors and the metal roof. Returning to the proposed building, he remarked that the design reminded him of a group of townhouses with front-facing garage doors. He said this impression was based on the sawtooth pattern of the roofline along the west façade as well as the repetitive appearance of the gables. In addition, the floor-to-ceiling windows and large doors felt too modern to him.

Mr. Nuttleman responded that virtual renderings of glass were often not photorealistic in the same way that other materials were. In reality, the large windows and doors would appear more inviting to potential patrons. Another factor that was considered when designing the large windows was to future-proof the building. In particular, having such large windows would make it easier to install doors in place of the large windows in case the proposed

units needed to be subdivided to accommodate a greater number of tenants.

Commissioner Szmurlo said that in his opinion, this building did not fit with the character of Downtown Frankfort, but instead felt that the proposed building could be found anywhere.

Mr. Nuttleman asked what features of the proposed building led him to that opinion.

Commissioner Szmurlo listed the sawtooth-pattern of the roofline, the colors on the façade, and the large windows and doors.

Mr. Nuttleman asked what colors the Historic Preservation Commission would like to see rather than white.

Commissioner Szmurlo said he would like to see warmer, more traditional colors.

Commissioner Toepper stated that the proposed steel canopies also contributed to the modern look of the building. He would like to see a warmer, more inviting design instead.

Commissioner Kush said she believed the metal roof was not an appropriate design choice for the downtown area. Rather than take inspiration from 1 N. White Street, she suggested the applicant look at other buildings along White Street, as well as the various other buildings in the downtown between Elwood Street and Kansas Street. She did not like that the signs were larger than what was allowed in the Sign Ordinance. Another concern was that the lighting on the west façade was too bright, which was a result of the six proposed light fixtures and the white façade which the light would project on to. She added that she felt the steel materials proposed for the pergola above the patio and the canopies above the entrances made the building look industrial, which contrasted with the natural appearance of the Old Plank Road Trail and nearby Prairie Park.

The applicant asked how 1 N. White Street was granted a Certificate of Appropriateness if the Historic Preservation Commission had so many concerns about it.

Chair Steward gave a brief history of how 1 N. White Street was approved. Turning to the proposed building, she noted that the building was relatively wide in comparison to other buildings in the downtown area, and the white coloring made it feel even wider. Many contemporary houses were black and white, and in her opinion the colors of the proposed building gave it a residential feel. She agreed that softer canopies over the entryways would be preferable. To her, the proposed building was not very historically inspired. The floor-to-ceiling windows were a concern because they were a modern design choice.

Commissioner Kush told the applicant that Village Staff had color palettes which the Historic Preservation Commission generally approved of. She suggested that the applicant use those palettes when determining the colors they would use.

Chair Steward also suggested that the proposed materials and colors could be changed to better blend with the natural colors and materials in Prairie Park. She also expressed concern

over the plan to remove the trees planted along White Street.

The applicant noted that they were looking to maintain or replace as much vegetation on-site as possible. He then explained that costs were a major concern for him, especially considering the downtown location, the high prices of construction, and how the typical rents charged in the area impacted the demand for rental space. Some design decisions were made to allow the applicant flexibility in the size and number of tenant spaces to better meet businesses' demand for space.

Commissioner Szmurlo suggested that instead of floor-to-ceiling windows, the applicant could consider installing smaller windows with wall panels that could be easily removed and replaced with new entryways if they were needed.

Mr. Nuttleman agreed that was an option. He explained that the steel elements on the proposed building were drawn from the Old Plank Road Trail sign rather than 1 N. White Street, and were not intended to give the building a modern look. He intended for the south façade to feel different from the west façade, since the south façade was designed to house a longer-term anchor tenant while the west façade was designed for more commercial uses.

Commissioner Toepper noted that making a handful of changes to address the Historic Preservation Commission's comments would go a long way.

Commissioner Kush expressed her appreciation of the applicant's willingness to make changes to the proposed design of the building.

The applicant noted there was an opportunity to make some adjustments to the design of the north elevation in regard to the floor-to-ceiling windows.

Chair Steward stated that the proposed design was beautiful, but character and charm were a part of the Historic Preservation Commission's decision.

Commissioner Toepper remarked that there would be a lot of people approaching the building and Downtown Frankfort from the east along the Old Plank Road Trail in addition to the west, including himself. He asked the applicant to consider the look of the east façade, so that someone walking westward along Old Plank Road Trail did not feel as though they were simply walking towards the rear of a building.

Commissioner Szmurlo asked how the proposed building would meet the lighting regulations laid out in the Zoning Ordinance.

Mike Schwarz explained how lighting was measured and how the regulations were applied.

Mr. Nuttleman remarked that the lighting engineer used the wrong color temperature when preparing the Photometric Plan, which increased the foot-candle readings at the property lines. The correct specifications would be included in a future submission.

Chair Steward stated that the Historic Preservation Commission was not yet ready to vote on a Certificate of Appropriateness, but that they had nothing left to add. She asked staff how the Commission ought to proceed.

Mike Schwarz suggested that the Historic Preservation Commission could vote to table the item until the next meeting, which would be November 16th.

Mr. Elliott stated he had a pre-scheduled flight out of the country on November 16th.

There was some discussion on the need for a special meeting in November, since the applicant could not be present at the next scheduled meeting of the Historic Preservation Commission on November 16th. November 2nd and November 9th were suggested as possibilities subject to meeting room availability, and staff said they would be in contact with the Commissioners and the applicant for scheduling.

Motion (#4): To table the Certificate of Appropriateness for the proposed building at 7 N. White Street until the next regular or special meeting of the Historic Preservation Commission.

Motion by: Toepper

Seconded by: Kush

Approved: (4 to 0)

Mike Schwarz informed the Historic Preservation Commission that 7 N. White Street was scheduled for a workshop with the Plan Commission/Zoning Board of Appeals on October 27th.

Commissioner Kush asked staff to inform the Plan Commission/Zoning Board of Appeals of their decision to table the item.

Mike Schwarz stated staff would do so and that the Plan Commission/Zoning Board of Appeals would be provided with a copy of the draft HPC minutes of this meeting.

C. Other Business

1. Approval of 2023 HPC Meeting Dates

Drew Duffin noted that the dates listed in the memo were for the third Wednesday of every month.

Motion (#5): To approve the 2023 Historic Preservation Commission meeting dates as listed on the staff memo.

Motion by: Toepper

Seconded by: Kush

Approved: (4 to 0)

D. Staff Updates

1. Downtown Walking Tour – QR Codes

Drew Duffin presented a possible design for the QR code window cling which would be distributed to businesses willing to participate in the tour. He asked if any members of the Historic Preservation Commission had any comments or details they would like changed.

There were none.

Chair Steward said she was able to get the contact information for Cary Pearlman, who was working with the Frankfort Area Historical Society. She gave the information to staff in case the Village wanted to hire Mr. Pearlman to work on the project.

Drew Duffin noted that many of the addresses listed in the “Welcome to Historic Frankfort” booklet were residential homes. He asked if the Historic Preservation Commission wished to include them in the walking tour.

Chair Steward said they should not be included.

Drew Duffin asked how far from the downtown area should be included in the tour, since the addresses listed in the “Welcome to Historic Frankfort” booklet also listed structures three or four blocks south of the downtown.

Chair Steward and Commissioner Kush suggested focusing on the area bounded by Kansas Street to the south, Elwood Street to the north, White Street to the east, and Walnut Street to the west.

Drew Duffin confirmed he would reach out to the owners of the commercial buildings within that area. He would research and include the properties whose owners agreed to participate in the tour.

2. Historic Buildings Survey

Mike Schwarz informed the Historic Preservation Commission that staff had received three responses to the Request for Proposals which was issued on September 19th. The responses were due on October 7th. Staff had not had time yet to review the proposals, but would inform the Historic Preservation Commission of their choice once a decision had been made. There would be a kickoff meeting with the selected consultant, Village Staff, and the Historic Preservation Commission. At the meeting, there would be an opportunity to ask questions about the project and review the survey

form which the consultant would use.

A member of the audience, Cristina Ruiz, asked for more details on what the Historic Buildings Survey was for and how it would be conducted. Mike Schwarz explained how the survey would be conducted from the public right-of-way and how the Village would use the completed survey as a basis for future historic preservation efforts and Certificate of Appropriateness applications.

E. Public Comments

There were no public comments.

Commissioner Kush asked staff to update the language in the Zoning Ordinance to refer to the “Historic Preservation Commission” rather than the “1890’s Theme Committee.” Staff agreed they could include the suggested changes as part of a future Zoning Ordinance amendment.

F. Adjournment

Motion (#3): Adjournment (6:57 PM)

Motion by: Szmurlo

Seconded by: Kush

Unanimously approved by voice vote.

Approved November 16th, 2022

As Presented _____

As Amended _____

_____/s/Marcia Steward, Chair

_____/s/Stephanie Kush, Secretary

Memo

To: Historic Preservation Commission
From: Drew Duffin
Date: October 19, 2022
Re: Historic Landmark Nomination – 204 Hickory Street

The attached application nominates the property located at 204 Hickory Street for designation as a landmark under the Historic Preservation Ordinance of the Village of Frankfort. The Commission is charged with considering the application against the criteria established by the ordinance for landmark designation, which are listed below for your reference. Should the Commission find the application consistent with the criteria for landmark designation, a motion written in the affirmative is provided below.

AFFIRMATIVE MOTION:

Recommend the Village Board designate the property located at 204 Hickory Street as a landmark under the provisions of the Historic Preservation Ordinance of the Village of Frankfort.

CRITERIA FOR LANDMARK DESIGNATION

The Commission shall, upon investigation as it deems necessary, make a determination as to whether a property, structure, or area possesses the integrity of design, workmanship, materials, location, setting and feeling and meets one or more of the following criteria:

1. Significant value as part of the historic, heritage or cultural characteristics of the community, county, state or nation.
2. Its identification with a person or persons who significantly contributed to the development of the community, county, state or country.
3. Representative of the distinguishing characteristics of architecture inherently valuable for the study of a period, type, method of construction or use of indigenous materials.
4. Notable work of a master builder, designer, architect or artist whose individual work has influenced the development of the community, county, state or country.
5. Its unique location or singular physical characteristics that make it an established or familiar visual feature.
6. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses, historic commercial buildings, gas stations, or other commercial structures, with a high level of integrity or architectural significance.
7. Area that has yielded or may be likely to yield, information important in history or prehistory.

Village of Frankfort
432 W. Nebraska, Frankfort, IL
815-469-2177

Historic Preservation Commission
Historic Landmark Nomination Form

1. PROPERTY INFORMATION

Legal description of property: _____
McDonalds Subdn prt NE1/4
Sec 28 T35,R12
Lots 29-30 & N1/2 31

Common street address: _____
204 Hickory Street

Name and address of owner: _____
Judy M. Schultz

204 Hickory Street

Frankfort, IL 60423

PIN: _____
19-09-28-224-009-0008

Current zoning: _____
R2

Property Classification:

Building Structure Object Site Historic District Landscape

Original construction date/period of significance (this can be a single date or range)

1889 - 1901

Please attach a map indicating the property location and boundaries of the property and/or landmark location to be nominated. Attach photographs which show sufficient detail, important features, and significant structures of the property to be nominated. Historic photographs of the property to be nominated are encouraged. If possible, please also provide photographs in digital format.

2. EXISTING RECOGNITION INFORMATION

Is the property and/or landmark to be nominated, or any part of it, listed on or nominated to the Village of Frankfort, Illinois, or the National Register of Historic Places? Yes No

If yes, which of the following: VOF Illinois National Register

3. NOMINATION CRITERIA

Please indicate which of the following criteria apply to the nominated property. (Check all that apply)

- Property has significant value as part of the historic, heritage or cultural characteristics of the Village of Frankfort, Will County, the State of Illinois or the U.S. A.
- The property identifies with a person or persons who significantly contributed to the development of the Village of Frankfort, Will County, the State of Illinois or the U.S.A.
- The property is representative of the distinguishing characteristics of architecture inherently valuable for the study of a period, type, method of construction or use of indigenous materials.
- Property is identified with the work of a master builder, designer, architect or artist whose individual work has influenced the development of the Village of Frankfort, Will County, the State of Illinois or the U.S. A.
- Property's unique location or singular physical characteristic make it an established or familiar feature within the Village of Frankfort.
- Structure is a particularly fine or unique example of a utilitarian structure with a high level of integrity, architectural significance, or historic importance.
- Property has yielded or may be likely to yield, information important in history or prehistory.

Please attach a statement describing the property, its historic significance, and the reasons why it should be designated as an historic landmark. Please include a list of the sources of information and bibliographic references.

4. APPLICANT INFORMATION

Name: Judy M. Schultz

Address: 204 Hickory Street

Frankfort, IL 60423

Telephone Number: 815-325-9181

E-Mail Address: thkc@sbcglobal.net

Fax Number: _____

Signature: Judy M. Schultz

Attach additional signature sheets if more than one person/family is making application.

**ADDITIONAL INFORMATION AND PHOTOGRAPHS TO SUPPORT THIS NOMINATION MAY
BE REQUIRED BY THE FRANKFORT HISTORIC PRESERVATION COMMISSION IF THE
PROPERTY IS FOUND TO HAVE MERIT FOR CONSIDERATION FOR
LANDMARK DESIGNATION**



Description of the Property

204 Hickory Street is a single-family residence located on the Southwest corner of Hickory St and Utah St in the village of Frankfort. The home is in the Victorian style, with a unique octagonal turret at the front and horizontal white wood siding and green trim. The windows are double hung with wavy glass; the home includes bay windows in the living room, parlor and dining room. Each bay window has decorative leaded glass panels at the top.

The home also includes the original roof and weathervane. The interior has decorative oak woodwork and wide hallways. One unique feature is the inclusion of walk-in closets in each bedroom. In the old kitchen, the dumbwaiter was used by the children and cousins to ride up and down from the summer kitchen in the basement; after learning of this, father Carl dismantled it. The brackets for the pulley rope are still in place. The limestone foundation is also original to the house, and the original boiler remains in the house.

The property also includes the old carriage house which was converted to a garage in the early 20th century. A chicken coop, formerly on the property, has been re-built as a potting shed using the original foundation, screens and doors from the main house. There is one original full windmill with a pump and the base of another metal water tower. The property also features the original limestone step and limestone sidewalk. On the south sidewalk are the foot imprints of their chickens that ran through the wet cement. The year 1930 is written in cement along the windmill walk.



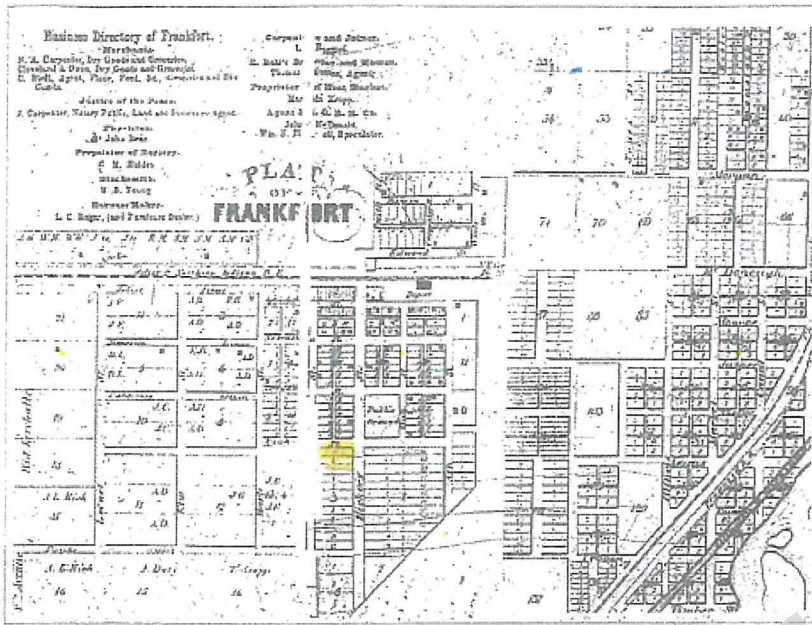


History of the Property and Residents of the Home

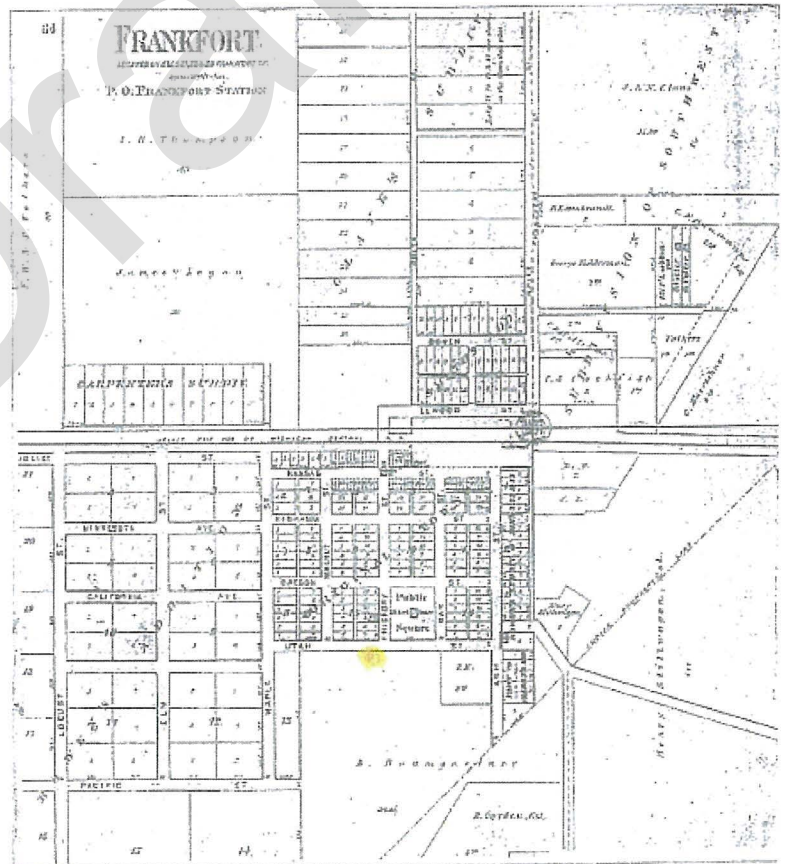
The land was originally part of a parcel thought to be owned by John McDonald, the first president of Frankfort. McDonald was an entrepreneur who owned several grain elevators in Frankfort, as well as interests in coal, tile and lumber. At one point, McDonald was doing \$1,000 in business per day. At some point, McDonald purchased the land from a B Baumgartner. At the time, that section of Hickory Street was the southern edge of the village of Frankfort. It became known as "Millionaire's Row", as it was where wealthy farmers built large homes once they became successful. Various sources list the construction date of the home as either 1889 or 1901.



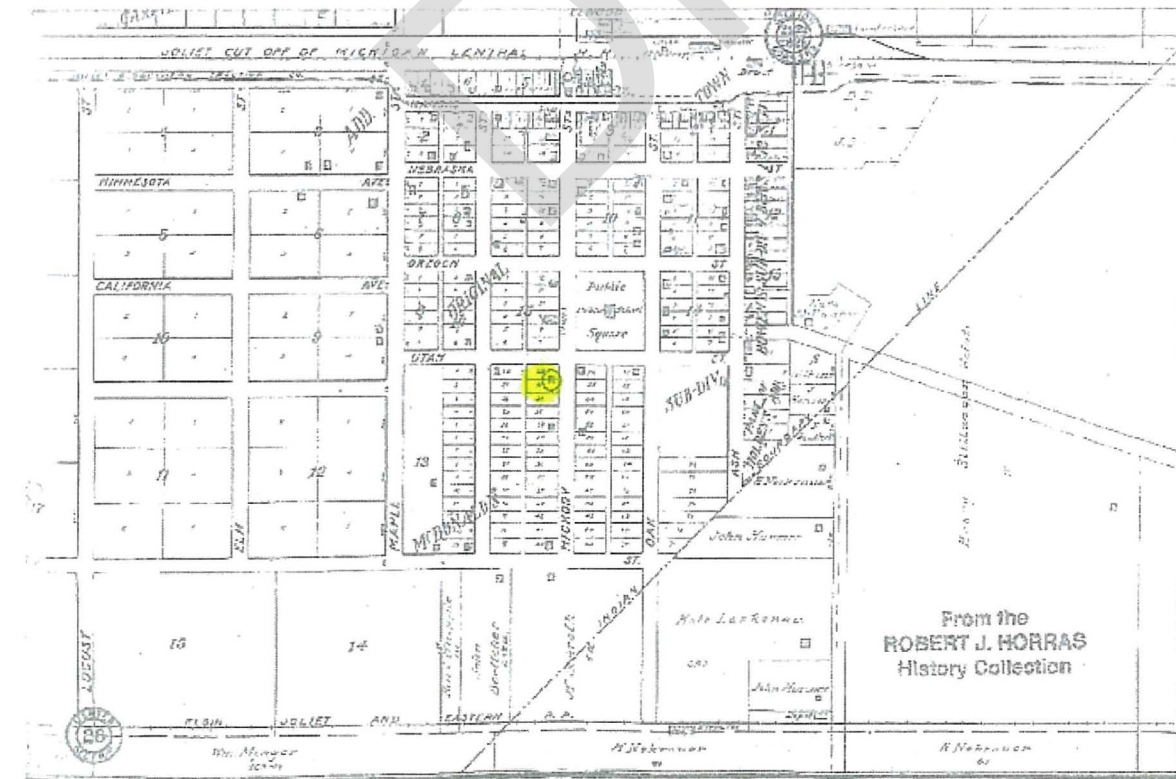
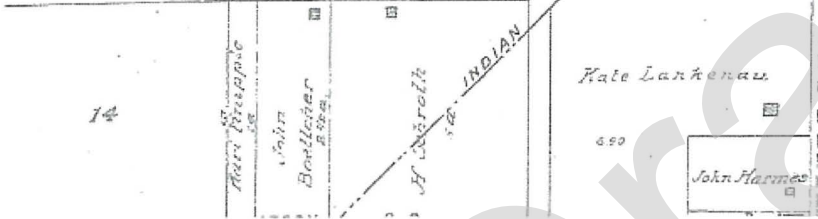
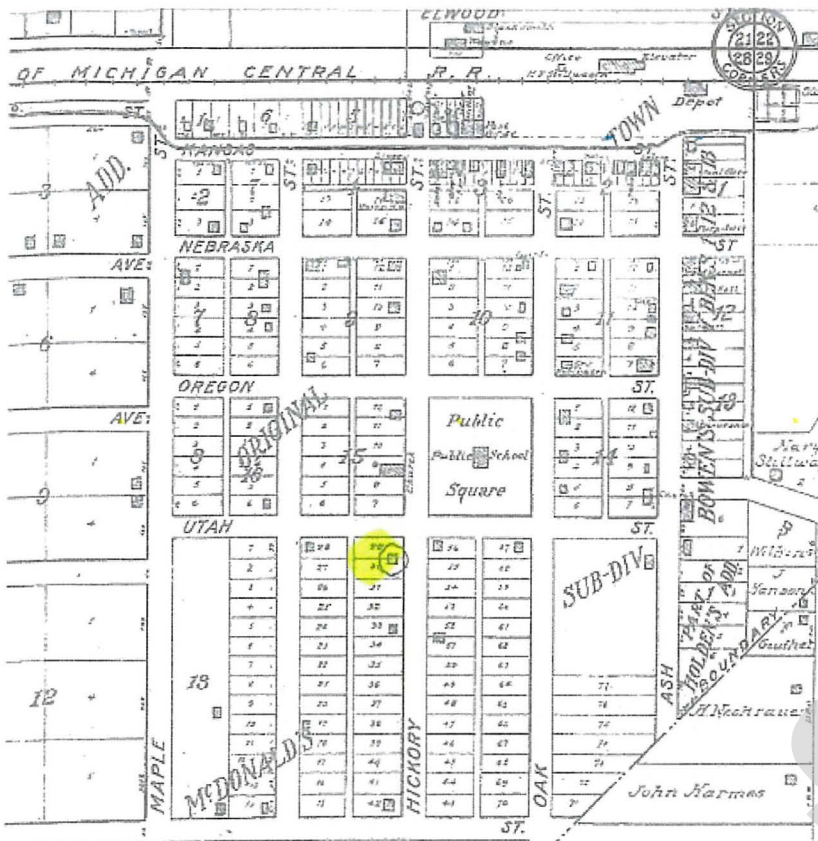
John McDonald



Source: S.H. Burhans and J. Van Vechten, *Map of Will County, Illinois* (1862).



Source: Geo. A. Ogle & Co., *Plat Book, Will County, Illinois* (Chicago, 1893).



From the
ROBERT J. MORRIS
 History Collection

The first known owners of the house were Martin and Minnie Forchau, and for many years the house was known as the "Forchau House". They were married in 1897 in Green Garden, Illinois¹.

They are listed as living in Green Garden in 1900,

with Martin working as a farmer². They likely moved to Frankfort shortly after 1900, and Martin Forchau became a local butcher. He ran a slaughterhouse on the east end of the village and had a grocery and butcher shop on Ash Street in partnership with Henry Baumgartner and later a Mr. Henry Luhring. Minnie Forchau died in 1912, and Martin Forchau died in 1914³. After their deaths, the home was given to Forchau's adopted daughter Susan Baumgartner, who lived with the family⁴ and was known to have cared for the ailing Mrs. Forchau. In 1918, Susan Baumgartner sold the home to Carl, Ida, Isabella and Eunice Harmening.

McDonald's Subdn Prt NE ¼ Sec 28.
Wm J Scheer, lots 1, 2 and 3, \$300.
Martin C Forchau, lots 23, 24, 29, 30
and n ½ 31, \$775.



The Werners

Ida's parents, August and Fredericka Werner owned one of the first farm implement stores at 122 Ash Street, founded in 1870.

When the Harmenings arrived, the home had gas lighting and no indoor plumbing⁵. At some point in their occupancy, they converted the home to have electric lighting and plumbing. Isabella told the story of carrying an empty lard can to the side door of Baumann's Tavern for a nickel's worth of beer for her father. Eunice Harmening died in 1921 at 8 years old⁶ of consumption and Carl Harmening died in 1945 at the age of 71⁷. Ida and Isabella Harmening were the only two occupants of the home during which time Ida sewed wedding dresses for many young women in town. Ida died in 1960 at the age of 83⁸. After her mother's death, Isabella married Edwin Gaines in 1962. They married at St. Peters Church and hosted a reception at the

¹ "Illinois, County Marriages, 1810-1940," database with images, *FamilySearch* (<https://familysearch.org/ark:/61903/1:1:Q28D-F7ML>; 22 July 2021), Martin Forchau and Minnie Hansen, 24 Feb 1897; citing Green Garden Township, Will, Illinois, United States, county offices, Illinois; FHL microfilm 2,342,843.

² "United States Census, 1900," database with images, *FamilySearch* (<https://familysearch.org/ark:/61903/1:1:MSCQ-3FR>; accessed 20 August 2021), Martin Forchau, Green Garden Township, Will, Illinois, United States; citing enumeration district (ED) 106, sheet 6B, family 112, NARA microfilm publication T623 (Washington, D.C.: National Archives and Records Administration, 1972.); FHL microfilm 1,240,353.

³ "Find A Grave Index," database, *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:QVTV-XQRF>; 13 September 2020), Martin C Forchau; Burial, Frankfort, Will, Illinois, United States of America, Pleasant Hill Cemetery; citing record ID 21255855, *Find a Grave*, <http://www.findagrave.com>.

⁴ Interview with Isabelle Harmening Gaines

⁵ Chicago Tribune (Orland Park/Frankfort section), May 28, 1986, Section 8 p 26.

⁶ "Illinois Deaths and Stillbirths, 1916-1947," database, *FamilySearch* (<https://familysearch.org/ark:/61903/1:1:NQWC-1DZ>; 8 March 2018), Eunice Minnie Harmening, 18 Sep 1921; Public Board of Health, Archives, Springfield; FHL microfilm 1,570,847.

⁷ "Illinois Deaths and Stillbirths, 1916-1947," database, *FamilySearch* (<https://familysearch.org/ark:/61903/1:1:N3WK-17L>; 10 March 2018), Carl William Christian Harmening, 30 Jul 1945; Public Board of Health, Archives, Springfield; FHL microfilm 1,984,190.

⁸ "Find A Grave Index," database, *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:QK12-C9K1>; 14 September 2020), Ida A Werner Harmening; Burial, Frankfort, Will, Illinois, United States of America, Pleasant Hill Cemetery; citing record ID 143606510, *Find a Grave*, <http://www.findagrave.com>.

grade school where 500 people attended, one of the largest receptions of the time. They lived together at 204 Hickory St until his death in 1984 at the age of 77⁹.



Isabella Harming Gaines taught 2nd and 3rd grade at the old Frankfort grade school across the street from her home for 42 years and was an active member of the Frankfort community. She was organizer and chairman of the Frankfort Area Senior Citizens Committee¹⁰, and organized many trips for the seniors in the town with her husband Ed. She also taught Sunday School at St Peters Church for 40 years. On her birthday, February 14th, she invited her class to her home to decorate the heart shaped cookies she baked in her kitchen. Isabella donated her vast collection of Valentine cards to the historical society. She passed away in 2001 after living at 204 Hickory for nearly her entire life. Transcribed audio tapes of Isabella recounting her life in Frankfort are available in the Frankfort Area Historical Museum archives. Her gift to the community continues, in accordance with her will, as Christmas candy is given to St. Peters Sunday School children each year.

Integrity

The home was purchased in 2003 by current owner, Judy Schultz, FAHS Director, who has lovingly maintained the integrity of the property, the designs, original materials and workmanship. This home received the Village Beautification Award in 2010 and the Preservation Foundation's Award on Nov. 10, 2018 "for maintaining the historic character of Frankfort."



Judy Schultz & Family

⁹ "Find A Grave Index," databasc, *FamilySearch* (<https://www.familysearch.org/ark:/61903/1:1:QK12-H5JX> : 14 September 2020), Edwin Cook Gaines, ; Burial, Frankfort, Will, Illinois, United States of America, Pleasant Hill Cemetery; citing record ID 143685312, *Find a Grave*, <http://www.findagrave.com>.

¹⁰ Confessions of a Newcomer Charley Shields 1992

204 Hickory Street deserves to be recognized as a local historic landmark in Frankfort because of its unique Queen Anne architecture, the preservation of original materials, and the civic contributions of its owners.

Location: The home remains on its original site where it was constructed.

Design: The home retains most elements of its original design and has not sustained any major alterations in its outward appearance beyond an enlarged back entrance and an enclosed window in the former butler's pantry.

Setting: The home retains a high degree of integrity in setting, as the area surrounding the home retains most of the original outbuildings. The original carriage house remains

Materials: The home retains material integrity as the majority of materials are original to the construction of the home.

Workmanship: The home retains the workmanship associated with its original construction. The builder of the home is unknown but the lack of significant alterations to the structure has preserved the original workmanship.

Feeling and Association: As the home retains integrity in all other criteria (location, design, setting, materials, and workmanship) it can also be considered to meet the criteria for feeling and association.

The home was also given a plaque by the Frankfort Preservation Foundation in recognition of its historic status.

Photos, images and maps courtesy of Frankfort Area Historical Society Archives

FEATURES TO BE PROTECTED REGARDING THE PROPERTY

204 HICKORY STREET

ORIGINAL FEATURES TO THE HOME TO BE PROTECTED:

ONE AND ONE-HALF WIND MILL

CARRIAGE HOUSE (NOW GARAGE)

PINE FLOORS THROUGHOUT

LEADED GLASS WINDOWS

WAVY GLASS WINDOWS

SLATE ROOF

BUILT-IN CABINET IN DINING ROOM

TWO SETS OAK POCKET DOORS (PARLOR & DINING ROOM)

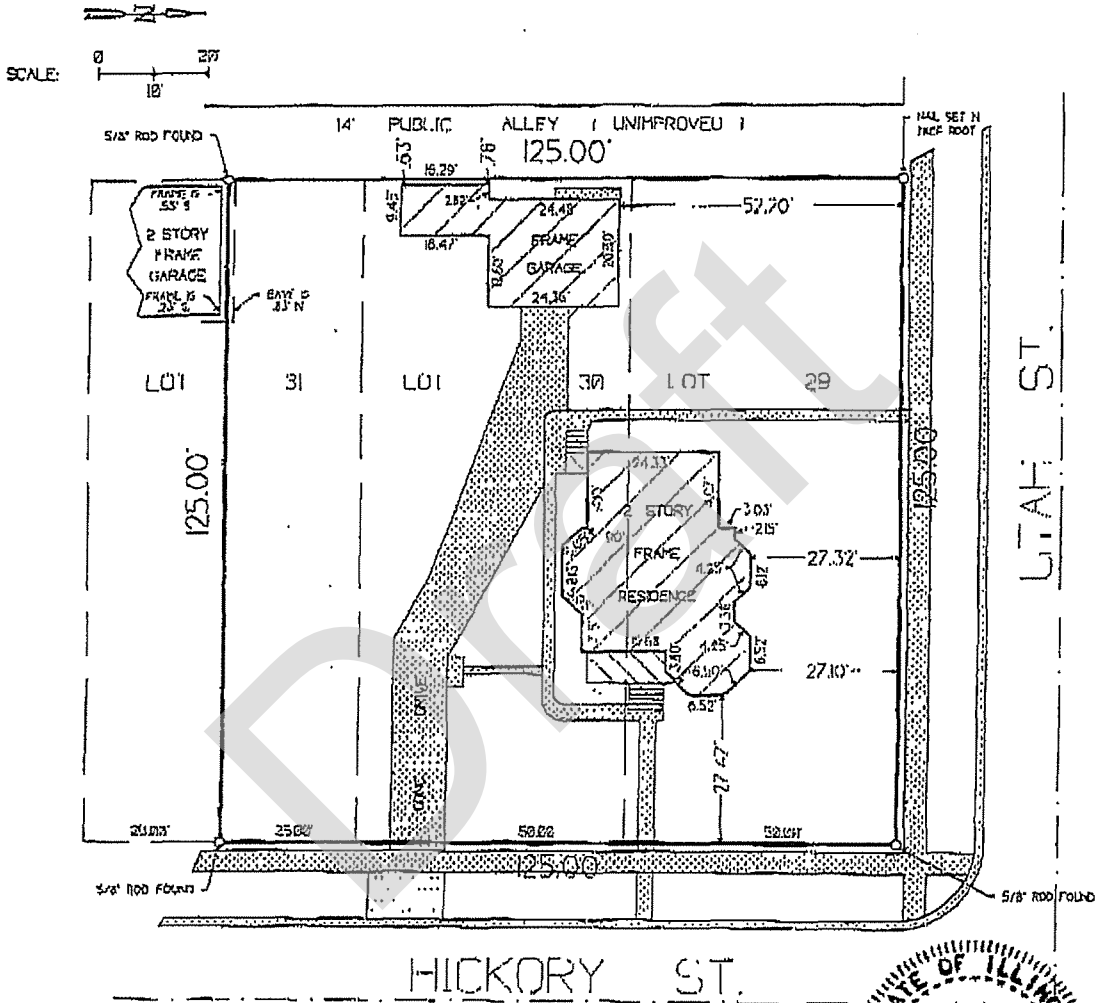
BOILER

LIMESTONE FOUNDATION AND WALKWAY, STOOP

PLAT OF SURVEY

LOTS 29, 30 AND THE NORTH HALF OF LOT 31, IN McDONALD'S SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 28, IN TOWNSHIP 35 NORTH AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 6, 1901, AS DOCUMENT NO. 215422, IN WILL COUNTY, ILLINOIS.

204 HICKORY STREET
FRANKFORT, IL



<p>COMMUNITY SURVEY INC. 68 N. CHICAGO STREET, SUITE 218 JOLIET, IL 60432</p> <p>(815) 722-9005 (815) 722-9019 - fax</p> <p>DESIGN FIRM NO. 184-002899 CHECK DEED OR GUARANTEE POLICY FOR BUILDING LINE OR EASEMENT RESTRICTIONS NOT SHOWN ON PLAT OF SURVEY. COMPARE POINTS BEFORE BUILDING.</p>	<p>WE, COMMUNITY SURVEY INC., DO HEREBY CERTIFY THAT WE HAVE SURVEYED FOR MCKEOWN LAW FIRM ABOVE DESCRIBED PROPERTY AND THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY, GIVEN UNDER MY HAND SEAL THIS 21ST DAY OF SEPTEMBER 2001.</p> <p>SURVEY NUMBER 01-8887</p> <p><i>Robert G. Scotese</i></p> <p>ILLINOIS LAND SURVEYOR NO. 1795 EXPIRES 11/00/2002</p>
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November 7, 2022

PLAN COMMISSION REPORT SUMMARY

A. PLANTZ RESIDENCE MULTIPLE VARIANCES: 213 NEBRASKA STREET – ORDINANCE

Homeowner Ron Plantz proposes to construct an addition and demolish/rebuild the detached garage on his residential property located at 213 Nebraska Street. To accommodate the proposed improvements, Mr. Plantz requests the granting of the following variances:

- Front yard setback variance from 30' to 12' 7"
- First-floor building materials variance from the masonry requirement to allow non-masonry siding
- Rear yard setback variance from 10' to 5' 7" for an accessory building
- Rear yard coverage variance from 30% to 32%
- Lot coverage variance from 20% to 32.8%
- Impervious lot coverage variance from 40% to 41.9%
- Accessory building height variance from 15' to 20' 5½"

The applicant also seeks approval of the preliminary and final plat of the Plantz Resubdivision to combine two underlying lots.

At the October 27, 2022 Public Hearing on the project, the Plan Commission forwarded a split (3-1) vote for the front yard setback variance request, six unanimous (4-0) recommendations to the Village Board to grant the other related variations, and a unanimous (4-0) recommendation to approve the plat of resubdivision.

Motion: Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance granting the following variances for the property located at 213 Nebraska Street: a front yard setback variance from 30 feet to 12 feet 7 inches; a first floor building materials variance to allow non-masonry siding; a rear yard setback variance from 10 feet to 5 feet 7 inches for an accessory building; a rear yard coverage variance from 30 percent to 32 percent; a lot coverage variance from 20 percent to 32.8 percent; an impervious lot coverage variance from 40 percent to 41.9 percent; and an accessory building (garage) height variance from 15 feet to 20 feet 5 ½ inches, to permit the construction of an addition to the single-family residence and demolish/rebuild the detached garage, all in accordance with the reviewed plans and public testimony.

Motion: Accept the Plan Commission recommendation and approve the preliminary and final plat of the Plantz Resubdivision, prepared by DesignTek Engineering, Inc., dated 08.10.2022, in accordance with the reviewed plans and subject to any technical revisions prior to recording and conditioned upon final engineering approval.

ORDINANCE NO. 33XX

**AN ORDINANCE GRANTING MULTIPLE ZONING VARIANCES FOR
CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE
VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS
(PLANTZ RESIDENCE – 213 NEBRASKA STREET)**

WHEREAS, an application for certain variances for real property within the Village of Frankfort, legally described below, was filed by Ronald Plantz, Applicant and Owner, Frankfort, Illinois 60423; and

WHEREAS, the Subject Property located at 213 Nebraska Street is currently zoned R-2 Single Family Residential District; and

WHEREAS, the Applicant requests the granting of multiple variances, which include a Front yard setback variance from 30' to 12' 7"; a first-floor building materials variance from the masonry requirement to allow non-masonry siding; a rear yard setback variance from 10' to 5' 7" for an accessory building; a rear yard coverage variance from 30% to 32%; a lot coverage variance from 20% to 32.8%; an impervious lot coverage variance from 40% to 41.9%; and an accessory building height variance from 15' to 20' 5½" to construct an addition and demolish/rebuild the detached garage; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for certain zoning variances for the Subject Property; and

WHEREAS, the Board of Trustees found, based upon evidence presented to it:

1. That the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the R-2 Single Family Residential District;
2. That the plight of the Owner is due to unique circumstances; and
3. That the variations will not alter the essential character of the locality, and the requested zoning variances should be granted.

WHEREAS, the legal description of the Subject Property at the time of the filing of the variance application is as follows:

PIN: 19-09-28-204-005-0000

THE EAST 67.5 FEET OF THE SOUTH HALF OF LOT 2 AND THE EAST 67.5 FEET OF LOT 3, IN BLOCK 2 IN BOWEN'S ADDITION TO THE VILLAGE OF FRANKFORT, LOCATED ON THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 28, IN TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1856 AS DOCUMENT NO. 22888, IN WILL COUNTY, ILLINOIS.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. VARIANCES

That the requirements imposed under the R-2 zoning classification of the Village of Frankfort Zoning Ordinance are varied for the above-described Subject Property located at 213 W. Nebraska Street, as follows:

1. A variance of the front yard setback requirement from 30' to 12' 7"
2. A variance of the first-floor building materials from the masonry requirement to allow non-masonry siding
3. A variance of the rear yard setback requirement from 10' to 5' 7" for an accessory building
4. A variance of the rear yard coverage requirement from 30% to 32%
5. A variance of the lot coverage requirement from 20% to 32.8%
6. A variance of the impervious lot coverage requirement from 40% to 41.9%
7. A variance of the accessory building height from 15' to 20' 5½"

The granting of the variations is to permit the construction of an addition to the single-family residence and demolish/rebuild the detached garage, all in accordance with the reviewed plans and public testimony

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2022; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA PETROW	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Public Hearing: 213 Nebraska Street – Plantz Residence

DRAFT

Chris Gruba gave the staff report.

The applicant, Gabriel Garcia, approached the stand. He stated he was available to answer any questions the Plan Commission had.

- Commissioner Knieriem asked what the two new variation requests were. •

Staff responded that they were to increase the maximum height of the garage and to increase the maximum allowable impervious lot coverage.

Chair Rigoni clarified that the increase in the maximum allowable impervious lot coverage was to accommodate a larger patio area as well as a sidewalk.

Commissioner James added that the sidewalk would lead from the garage to the home.

Chair Rigoni asked what the existing impervious lot coverage was for the site.

The applicant responded that they did not have that information on hand.

Chair Rigoni noted that knowing that information would be helpful in evaluating the request for an increase in the maximum impervious lot coverage. She then asked if there were any comments from the public.

There were none.

Motion (#6): To close the public hearing.

Motion by: James

Seconded by: Schaeffer

Approved: (4-0)

Chair Rigoni summarized the requests before the Plan Commission.

Commissioner Schaeffer stated her largest concern was with the impervious lot coverage. The backyard of the property was relatively small. She stated that the site plan showed a wood deck on the rear of the building. She asked if wood was considered an impervious surface.

Staff responded that it was.

Commissioner Schaeffer noted that the applicant was looking to reorient the shape of the impervious area, but that it would be helpful to have a number for the existing impervious

lot coverage for comparison. She also stated that the home was built on a small lot, and that the owners would be losing some grass in order to expand the home.

Commissioner Knieriem asked if the existing detached garage would be expanded or kept the same size.

The applicant explained that the garage would be 1.5 feet deeper. In addition, the garage would be moved closer to the alleyway on the east side of the property. The civil engineer had suggested moving the garage to help alleviate the flooding issue the current garage had. The extra area in the garage would allow it to either store two cars in tandem, or for extra storage space.

Commissioner Knieriem agreed that there were flooding issues in that area. He asked if there was a nearby storm sewer.

The applicant explained that the civil engineer for the project added a drain to the site to help move rainwater off-site and into the storm sewer system.

Commissioner Knieriem asked who would install the drain.

The applicant responded that the drain was designed by DesignTek, and that he had just received the plans for it that day.

Commissioner Knieriem asked whether the system was private or whether it connected to the Village's storm water system.

The applicant responded that it was a private system.

Commissioner Schaeffer asked the applicant where the storm drain would go.

The applicant stated he was unsure, since he had just received the plans that day.

Commissioner Schaeffer said she would like to be sure that the proposed storm drain would ultimately tie in to the larger storm sewer system.

The applicant, after reviewing the plans he had brought with him, indicated that the proposed storm drain would lead to Nebraska Street.

Commissioner Knieriem stated that there was a direct relationship between increasing the impervious lot coverage on the site and an increase in flooding issues. More impervious surfaces left smaller areas to absorb rainwater. He said he would like to see how the storm drain would be built and wanted to see the gutters on the house and drain tiles direct water toward the proposed drain.

The applicant stated he would speak with the engineer on how to implement that idea.

Chair Rigoni suggested that the storm drain aspects of the proposal be added to one of the requests as a condition, since storm water management was outside the purview of the Plan Commission.

Commissioner Knieriem stated he would prefer that.

The applicant added that the existing alley was also an impervious surface which led to large amounts of runoff.

Chair Rigoni suggested that there may be a nexus between the Plan Commission's concerns with the impervious lot coverage request and the proposed storm drain.

Commissioner Knieriem asked if the front yard setback was measured from the front property line to the house.

The applicant responded that it was.

Commissioner Knieriem noted that the request for a 12' 7" front yard setback would make the home the closest building to the street in that area.

The applicant suggested that there may be another home closer to the street along Nebraska Street.

Commissioner Knieriem noted that based on the setback comparison provided by staff, the proposed setback would indeed make the subject property the closest to the street. He asked the applicant if it was possible to reduce the depth of the proposed front porch.

The applicant said that the porch could be narrowed by around a foot before it was no longer usable. The proposed porch was 7' 4" deep, and any porch shallower than 6' 4" would be functionally ornamental. In his experience, many communities liked to see front porches added to homes, and would allow some porches to encroach up to ten feet into the setback. Porches commonly gave a neighborhood a friendlier appearance, and in some cases felt more urban as well. The existing setbacks along Nebraska Street were fairly far back from the road, which did not really align with the near-downtown feel found on other streets.

Chair Rigoni said she agreed with Commissioner Knieriem. She considers the proposal more like a completely new house, rather than an addition, based on how much was being changed. If the proposal was truly new construction, she would not want that building to be the closest one to the street. Her largest concern was with the setback for the front porch. She also noted that Nebraska Street was a major street in the Village and she considered it

a boulevard leading into the heart of Frankfort. Those kinds of streets typically had larger setbacks.

Commissioner James agreed with the other comments made. He understood that a 7-foot deep porch was not excessively large for a porch. While the proposed porch was close to the front property line, it was open, and it was different from having the front door so close to the front property line. However, he was concerned with setting the precedent of reducing the setback by so much.

The applicant responded, saying that there was an existing uncovered porch currently. The mass of the building was not changing, rather it was being filled out. The addition of the front porch was intended to add to the original style of the home. Other homes of the same style commonly had front porches.

Commissioner Schaeffer stated she was unsure how she felt about the front yard setback request. The Plan Commission did recently consider another home in the downtown area with a similar request for a shorter setback to build a larger porch. She noted that in that case, though, the setback then matched the neighbors and did not go further than them. In her opinion, that was not the case with the subject property. She agreed that the proposal was an overall improvement to the home, but that the setback was still a concern for her. She asked if there was any way to shorten the whole design of the home, understanding that it would impact more than just the design of the proposed porch.

The applicant responded that if the porch were narrowed at all, it would not be usable.

Commissioner Schaeffer asked if the applicant could reduce the size of the addition, but then noted that the existing home was not extending forward, only the porch.

Chair Rigoni asked the other members of the Plan Commission if they had any comments on the proposed materials.

There were none.

Chair Rigoni asked staff if the setback of the detached garage from the home was existing or proposed.

Staff clarified that it was the existing setback.

Chair Rigoni asked the other members of the Plan Commission had any comments on the rear yard coverage.

The applicant explained that they were reducing the rear yard coverage from 37% to 32%.

Commissioner Knieriem asked how they were reducing coverage.

Commissioner James noted that it appeared on the proposed plans, the rear deck would be smaller.

The applicant confirmed that was the case.

Commissioner Schaeffer said that the Plan Commission had talked about that at a previous meeting, and she believed it was not much of a concern.

Chair Rigoni agreed with Commissioner Schaeffer. She asked whether the request for impervious lot coverage was singled out by staff because it was a new request.

Staff said that was correct. The request was added because the applicant wanted to install a sidewalk leading from the garage to the home and to expand the patio, and the Plan Commission seemed receptive to the added request at the last workshop meeting.

Commissioner Knieriem said he was alright with the request because of the proposed drainage management improvements. He asked if the whole property would be served by the proposed system.

The applicant said it would be, and that plans should have been submitted to staff.

Staff indicated that they did receive a Grading Plan, but it was not included in the Plan Commission's packet because there was some discrepancy between it and the rest of the submitted plans.

The applicant stated he was also aware of the discrepancy and that plans were being redone to address it.

Chair Rigoni asked if the other members of the Plan Commission wished to add the proposed storm water management improvements as a condition to the request for impervious lot coverage.

Commissioner Knieriem indicated he did.

Chair Rigoni asked for comments on the request to increase the maximum allowable height of the garage. It was her understanding that the Plan Commission was comfortable with the request because it would allow the garage to match the roof pitch of the home. She suggested that for consistency's sake, a condition be added to that motion stating the additional space created by changing the pitch could not be used as a dwelling unit.

The applicant noted that typically garage variations were requested for larger two-car garages, rather than the current one-car garage.

Chair Rigoni agreed, but wanted to be clear that the extra space would be allowed for architectural reasons only.

The applicant noted that there were some homes with setbacks shorter than twelve feet from the front property line.

Commissioner Knieriem agreed, but added that Ash Street was also a dead-end street, rather than a thoroughfare like Nebraska Street.

The applicant suggested that there was also precedent for variations regarding impervious coverage in the downtown area.

Chair Rigoni agreed. She noted that there was a member of the audience looking to give comments.

Motion (#7): To reopen the public hearing.

Motion by: Knieriem

Seconded by: Schaeffer

Unanimously approved by voice vote.

Logan Plantz, a relative of the property owner, approached the stand. He acknowledged that the lot was small, but that it was one of the only homes available in Frankfort when his family looked to move to the Village. His family wanted to settle down in this home for the long term. They wanted to help improve Frankfort, and he hoped that the Plan Commission would take that into consideration.

Motion (#8): To close the public hearing.

Motion by: Schaeffer

Seconded by: Knieriem

Unanimously approved by voice vote.

Motion (#9): Recommend the Village Board approve the variance request to reduce the required front yard setback for the primary structure from 30' to 12' 7", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.

Motion by: James

Seconded by: Schaeffer

Motion failed: (3-1; Chair Rigoni voted against.)

Motion (#10): Recommend the Village Board approve the variance request for 1st floor building materials to allow non-masonry siding on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.

Motion by: James

Seconded by: Schaeffer

Approved: (4-0)

Motion (#11): Recommend the Village Board approve the variance request to reduce the required rear yard setback for an accessory building from 10' to 5' 7", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.

Motion by: Schaeffer

Seconded by: James

Approved: (4-0)

Motion (#12): Recommend the Village Board approve the variance request to exceed the maximum allowed rear yard coverage to allow 32% instead of 30%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.

Motion by: Schaeffer

Seconded by: Knieriem

Approved: (4-0)

Motion (#13): Recommend the Village Board approve the variance request to exceed the maximum lot coverage to allow 32.8% instead of 20%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.

Motion by: James

Seconded by: Schaeffer

Approved: (4-0)

Motion (#14): Recommend the Village Board approve the variance request to exceed the maximum impervious lot coverage to allow 41.9% instead of 40%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony, on the condition that the proposed stormwater improvements be connected to the Village's stormwater system, and that the gutters and drain tiles drain toward the proposed drain.

Motion by: Schaeffer

Seconded by: James

Approved: (4-0)

Motion (#15): Recommend the Village Board approve the variance request to exceed the maximum height for an accessory building (detached garage) from 15' to 20' - 5 ½", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.

Motion by: Schaeffer

Seconded by: James

Approved: (4-0)

Motion (#16): Recommend the Village Board approve the Preliminary & Final Plat of Subdivision for the Plantz Resubdivision, in accordance with the reviewed plans and public testimony, subject to any technical revisions prior to recording and conditioned on final engineering approval.

Motion by: Schaeffer

Seconded by: James

Approved: (4-0)

Draft

Project: Plantz Variances – 213 Nebraska Street
Meeting Type: Public Hearing
Request: Variances (7), Plat of Resubdivision
Location: 213 Nebraska Street
Applicant: Ronald Plantz
Prop. Owner: Ronald Plantz
Representative: Gabriel Garcia c/o Ideal Custom Designs, Inc.

Site Details

Lot Size: 6,687 sq. ft.
PIN: 19-09-28-204-005-0000
Existing Zoning: R-2
Proposed Zoning: N/A
Buildings / Lots: 1 house w/ detached garage
Proposed house: 2,511 sq. ft. (gross living area)
Proposed garage: 648 sq. ft.

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Residential	Single-Family	R-2
North	Residential	Single-Family	R-2
South	Residential	Single-Family	R-2
East	Residential	Single-Family	R-2
West	Residential	Single-Family	R-2

Project Summary

The applicant, Ronald Plantz, seeks to add an addition to his home and demolish/rebuild the detached garage. A 15' wide public alley abuts the property along the east side property line. Historically, lots in Frankfort that have an alley along one side of the lot are still considered traditional lots and not corner lots. The proposed house style is considered "Victorian Cottage". To accommodate the proposed addition and garage, the applicant requests approval of seven (7) variances. A Plat of Resubdivision is also required to combine two underlying lots.

Attachments

- Location Map, prepared by staff (VOF GIS) scale 1:1,000
- Plat of Survey of existing site, prepared by Preferred Survey, Inc.
- Tax Assessment Map, Will County
- Applicant responses to Variance Findings of Fact, received July 8, 2022
- PC-ZBA meeting minutes excerpt, August 11, 2022
- Downtown Residential Guidelines (Quick Checklist excerpt)
- Site Photographs, provided by applicant taken fall 2021
- Color 3D rendering of the house as it would appear from Nebraska Street, received July 8, 2022

- Site Plan, Building Elevations and Floorplans, received October 19, 2022
- Tree Survey, prepared by JGSLA, received July 18, 2022
- Grading Plan, received October 19, 2022
- Preliminary & Final Plat, received October 17, 2022

History

A workshop was held on this project on August 11th, 2022; an excerpt of the minutes has been attached to this staff report. At that time, the applicant had requested **five (5) variances**:

WORKSHOP MEETING 8.11.22		
Variance Request	Code Requirement	Proposed
House front yard setback	30' from front property line	12' 7"
1 st Floor masonry requirement	Masonry	Wood composite, some masonry
Accessory building setback (rear yard/north)	10' from property line	5' 7"
Rear Yard Coverage	30% max (608 SF)	32% (648 SF)
Lot Coverage	20% maximum (1,336 SF)	33.2% (2,216 SF)

Since the workshop, the applicant added two additional variances, for a total of **seven (7) variances**:

CURRENT PROPOSAL 10.27.22		
Variance Request	Code Requirement	Proposed
House front yard setback	30' from front property line	12' 7"
1 st Floor masonry requirement	Masonry	Wood composite, some masonry
Accessory building setback (rear yard/north)	10' from property line	5' 7"
Rear Yard Coverage	30% max (608 SF)	32% (648 SF)
Lot Coverage	20% maximum (1,336 SF)	32.8% (2,194 SF)
Impervious Lot Coverage	40% maximum (2,673 SF)	41.9% (2,804 SF)
Garage Height	15'	20' 5 1/2"

Analysis

Existing Home – Existing Non-Conformities:

The existing home and lot have several existing non-conforming features:

1. The R-2 zone district requires a minimum lot size of 15,000 square feet, 100' width and 150' depth. The existing lot is 6,687 square feet in area, 67.5' wide and 99' deep and is therefore non-conforming regarding lot size, width and depth.
2. The existing house is set back 19' 11' from the front property line. The R-2 zone district requires a front yard setback of 30'.
3. The existing detached garage appears to be located approximately 5' from the rear lot line (north). Accessory structures must be set back at least 10' from side or rear property lines.
4. The existing detached garage is approximately 750 square feet in area, covering approximately 37% of the rear yard. The maximum rear yard coverage is 30%, or 608 square feet in this case.
5. The existing house footprint is 801 square feet and the existing garage is approximately 750 square feet (total of 1,551 SF), resulting in an existing lot coverage of 23.2%. The R-2 zone district allows a maximum 20% lot coverage.

6. The existing house has a gross floor area (1st and 2nd floors) of 1,413 square feet. The Zoning Ordinance requires that the minimum gross floor area of a two-story dwelling be at least 2,600 square feet.
7. The existing house is constructed with wood siding. The Zoning Ordinance requires that the entire 1st floor of all single-family homes be constructed of masonry.
8. The existing basement is 537 square feet, or 67% of the area of the 1st floor. The Zoning Ordinance requires that the basement have an area at least 80% the size of the first floor.

Proposed Home – Requested Variances:

In consideration of the variance requests, staff offers the following points of discussion:

1. House Front Yard Setback

- a) The Village of Frankfort Zoning Ordinance requires a minimum front yard setback of 30’ within the R-2 zoning district. Front setbacks are measured to the front porch if there is one, otherwise they are measured to the front façade.
- b) The applicant proposes to construct the new home at a reduced setback of 12’ 7”, measured to the new front porch (the existing setback is 19’ 11”).
- c) The following tables list the *approximate* front yard setbacks of the homes on both sides of Nebraska Street between the Fire Station (Elm Street) and Hickory Street:

North Side of Nebraska (between Elm & Hickory)	
Address	Front Yard Setback Approximation (feet)
311	50
249	20
253	24
247	26
243	15
237	14
231	20
221	16
213	20 existing (12’ 7” proposed)
211	22
203	18
143	24
139	18
Average	22

South Side of Nebraska (between Elm & Hickory)	
Address	Front Yard Setback Approximation (feet)
266	28
258	45
248	33
244	28
240	30
236	40
102 (Maple)	29
220	22
218	16
200	17
144	10
136	14
102 (Hickory)	20
Average	26

2. First Floor Building Materials variance

- a) The Village of Frankfort Zoning Ordinance requires that all homes within the R-2 zoning district be constructed with first floor masonry (*brick, stone, etc.*). All of the existing wood siding on the house would be replaced primarily with LP Smart Siding (a wood composite). The base of the house, approximately 3.5’ from the ground, will be wrapped with rock face stone on all four sides.

- b) It should be noted that most of the homes along both sides of Nebraska Street between the Fire Station and Hickory Street are non-masonry in construction: There is only one masonry house on the north side of Nebraska Street (203 Nebraska). The house at 221 Nebraska is stucco, which has not historically been considered a masonry finish. There is only one masonry house on the south side of Nebraska Street (218 Nebraska). All other homes consist of wood, vinyl or shake siding.

3. Accessory Building Rear Yard Setback

- a) The existing accessory building (detached garage) would be demolished and reconstructed in the same general area, although it would be moved closer to the public alley. Detached garages must be set back at least 10' from side and rear property lines. Per the submitted Plat of Survey, the existing garage appears set back approximately 5' from the north (rear) property line and 17' from the east (side) property line. Although the exact dimension is unknown, the existing garage is considered existing, non-conforming regarding the rear yard setback.
- b) The proposed garage would be set back 5' 7" from the north (rear) property line and 10' from the east (side) property line, requiring a variance for the setback from the *rear* property line. The 10' setback from the side property line is the minimum setback for a detached garage.
- c) The proposed garage would measure 36' long by 18' wide. It's unclear from the survey what the existing garage's size and dimensions are, but it appears to be quite similar to the proposed garage.
- d) Many homes within the downtown area and along this section of Nebraska Street have detached, rear yard garages.

4. Rear Yard Coverage

- a) The maximum rear yard lot coverage in the R-2 zone district is 30%. The required rear yard measures 30' deep by 67.50' wide, for a total area of 2,025 square feet. As such, no more than 608 square feet of roofed structures are permitted within the required rear yard. Structures with roofs count toward rear lot coverage.
- b) The proposed detached garage would be situated entirely within the rear yard, measuring 18' wide by 36' long, for a total of 648 square feet. This area exceeds the 608 square foot rear yard coverage and would require a variance.

5. Lot Coverage

- a) The Village of Frankfort Zoning Ordinance permits a maximum lot coverage of 20% for a two-story home within the R-2 zoning district resulting in a permitted coverage of 1,336.5 square feet for the subject property. Structures with roofs count toward lot coverage.
- b) The existing home and garage currently amount to approximately 1,600 square feet for a 24% lot coverage and is considered existing, non-conforming.
- c) The proposed home addition and detached garage equate to a lot coverage of 2,194 square feet (32.8%), in excess of ordinance requirements and will require a variance to further this non-conformity.

6. Impervious Lot Coverage

- d) The Village of Frankfort Zoning Ordinance permits a maximum impervious lot coverage of 40% for homes within the R-2 zoning district resulting in a permitted coverage of 2,673 square feet for the subject property. Impervious lot coverage includes area for the house, covered porch, detached garage, driveway, on-site sidewalks and rear yard patio.

- e) The proposed home addition and detached garage equate to an impervious lot coverage of 2,804 square feet (41.9%), in excess of ordinance requirements and will require a variance to further this non-conformity.

7. Accessory Structure Height (Detached Garage)

- f) The Village of Frankfort Zoning Ordinance allows for accessory structures, including detached garages, to be a maximum of 15' tall, measured to the peak of the roof. The existing detached garage is less than 15' tall.
- g) The proposed detached garage would measure 20' 5 ½" tall to the peak of the roof. The workshop plans illustrated a detached garage that met the height requirement, but after discussion at the meeting, the Commission seemed open to the idea of a taller detached garage (see attached PC-ZBA minutes). It should be noted that the increase in height would be for aesthetic reasons only and not to provide habitable space or an accessory dwelling unit.

Plat of Subdivision:

The subject property, although 1 parcel, has 2 underlying lots which must be combined as part of the proposed building addition and site improvements. A Preliminary/Final Plat has been included with this report.

2019 Comprehensive Plan:

213 Nebraska is located within the Downtown area, as illustrated in the Residential Design Guidelines in the 2019 Comprehensive Plan. Although the guidelines are not enforceable, they can be used to judge the merits of proposed residential projects in the downtown area. Staff has offered some opinions as to whether the proposed house renovations meet the intent of the Residential Design Guidelines, acknowledging that they can sometimes be subjective in nature.

Elements that appear to comply with the Downtown Residential Design Guidelines:

1. The house would be served by a detached garage in the rear of the property (page B-2).
2. The detached garage utilizes the adjacent public alley (page B-13).
3. The house employs high-quality wood composite materials (page B-2).
4. The house is an historically relevant architectural style (Victorian Cottage) that includes multi-pane windows, columns and railings (page B-2).
5. The building's architecture delineates the primary entrance. Entryway features including covered porches are desirable (page B-4).
6. The building incorporates interesting architectural details including a masonry chimney, shake siding in the roof gables, an oculus window in the front gable, a black iron railing on the front of the family room on the front façade, etc. (page B-4).
7. The house employs similar architectural elements and detailing on all sides of the home (page B-5).

Elements that don't appear to comply with the Downtown Residential Design Guidelines:

1. Houses should be sized appropriately for their lots and in relation to neighboring homes (page B-2). The proposed house would require a lot coverage variance to allow 33.8% instead of 20%.
2. The new construction may not respect the established front yard setbacks within the area (page B-18).

Other:

1. The Village ordinance requires that two-story homes within the R-2 zone district provide a minimum square footage of 2,600 square feet of floor area (1st and 2nd floor areas). The existing house is 1,413 square feet in livable area (not including the basement) and is considered existing, non-conforming. The proposed house, after the addition, will be 2,511 square feet, bringing this current non-conformity closer to a conforming situation.

- The applicant has submitted a tree survey of the property, which illustrates 6 existing trees. The tree survey was prepared during a former version of the plan, but the tree survey still accurately reflects the existing trees. None of the existing trees are classified as “preservation trees” in the Landscape Ordinance. At the workshop meeting held on August 11th, the applicant stated that at least 2 of the 6 trees would be removed for the proposed project, including the two Norway Spruce trees in the front yard.

Past Variance Approvals in the Downtown Area:

For reference, the following addresses in the downtown have received variances for building additions or site improvements:

215 Kansas (Gallagher) (PC review 8.14.08)

Standard	Provided
Lot Size: 15,000 SF min	4,950
Lot Width: 100' min	50'
Lot Depth: 150' min	100'

Variances granted:

- Lot Coverage: 38.3% (20% max permitted)
- First floor building materials for accessory structure (masonry required)
- Detached garage side yard setback: 0' (10' required)

147 White Street (Lalley) (PC review 7.8.10)

Standard	Provided
Lot Size: 15,000 SF min	21,484
Lot Width: 100' min	130'
Lot Depth: 150' min	165'

Variance granted:

- Detached garage setback 6.5' from side property line (10' required)

44 W. Bowen Street (Carroll/Watson) (PC review 8.12.10)

Standard	Provided
Lot Size: 15,000 SF min	16,175
Lot Width: 100' min	100' (approximately)
Lot Depth: 150' min	160' (approximately)

Variance granted:

- Accessory structure (shed) 0' setback from rear property line (10' required)

210 Walnut (Winters) (PC review 3.10.11)

Standard	Provided
Lot Size: 15,000 SF min	11,044
Lot Width: 100' min	90' (approximate)
Lot Depth: 150' min	130' (approximate)

Variances granted:

1. Front yard setback: 19' (30' required)
2. Building height: 36' (35' max permitted)
3. Lot Coverage: 29% (20% max permitted)
4. Driveway setback: 2' (5' required)
5. First floor building materials (masonry required)
6. Accessory structure setback: 2' to both north and west property lines (10' required)

200 W. Nebraska (Leonard) (PC review 11.8.12)

Standard	Provided
Lot Size: 15,000 SF min	7,000
Lot Width: 100' min	70'
Lot Depth: 150' min	100'

Variances granted:

1. Lot Coverage: 34% (20% max permitted)
2. Driveway setback: 0' (5' required)
3. Detached garage setback: 0' from south lot line, 4.1' from west lot line (10' required)
4. Detached garage height: 21' 4" (15' max permitted)

23 W. Bowen Street (Gander) (PC review 8.22.13)

Standard	Provided
Lot Size: 15,000 SF min	8,720
Lot Width: 100' min	52' (approximately)
Lot Depth: 150' min	172' (approximately)

Variances granted:

1. Side yard setback: 6.4' (10' required)
2. Lot Coverage: 26% (20% max permitted)
3. Driveway setback: 2' (5' required)
4. First floor building materials (masonry required)
5. Accessory structure setback from side property line: 5' (10' required)

140 Maple (Triezenberg) (PC review 9.8.16)

Standard	Provided
Lot Size: 15,000 SF min	6,250
Lot Width: 100' min	50' (approximately)
Lot Depth: 150' min	130' (approximately)

Variance granted:

1. Driveway setback 0' (5' required)

140 Walnut (McLean) (PC review 1.25.18)

Standard	Provided
Lot Size: 15,000 SF min	6,275
Lot Width: 100' min	50'
Lot Depth: 150' min	125.5'

Variances granted:

1. Front yard setback: 15.67' (30' required)
2. Side yard setback: 5' (10' required)
3. Lot coverage: 33.5% (20% max permitted)
4. First floor building materials (masonry required)

213 Kansas (Kirsch) (PC review 1.24.19)

Standard	Provided
Lot Size: 15,000 SF min	6,183
Lot Width: 100' min	61.83'
Lot Depth: 150' min	100'

Variances granted:

1. Front yard setback: 13.4' (30' required)
2. Side yard setbacks: of 10' and 10' (at least 25' total both sides required)
3. Rear yard setback: 15.1' (30' required)
4. Lot coverage: 30% (20% max permitted)
5. Driveway setback: 0.5' (5' required)
6. First floor building materials (masonry required)

143 Kansas Street (Brown) (PC review 3.25.21)

Standard	Provided
Lot Size: 15,000 SF min	5,000
Lot Width: 100' min	50'
Lot Depth: 150' min	100'

Variances granted:

1. Front yard setback: 10' (30' required)
2. Side yard setback: 5' (13' required)
3. Detached garage setback from rear property line: 0.5' (10' required)
4. Detached garage setback from side property line: 2' (10 required)
5. Driveway setback: 2' (5' required)
6. Lot coverage: 41% (20% max permitted)
7. Impervious lot coverage: 46% (40% max permitted)
8. First floor building materials (masonry required)

240 Center Road (Oltman) (PC review 9.22.22)

Standard	Provided
Lot Size: 15,000 SF min	38,350
Lot Width: 100' min	100'
Lot Depth: 150' min	370.4'

Variations granted:

1. Driveway setback from side property line: 1' (4' required)
2. Driveway turning radius: 25' (26' required)
3. First floor building materials (masonry required)

Affirmative Motions _____

1. Recommend the Village Board approve the variance request to reduce the required front yard setback for the primary structure from 30' to 12' 7", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
2. Recommend the Village Board approve the variance request for 1st floor building materials to allow non-masonry siding on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
3. Recommend the Village Board approve the variance request to reduce the required rear yard setback for an accessory building from 10' to 5' 7", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
4. Recommend the Village Board approve the variance request to exceed the maximum rear yard coverage to allow 32% instead of 30%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
5. Recommend the Village Board approve the variance request to exceed the maximum lot coverage to allow 32.8% instead of 20%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
6. Recommend the Village Board approve the variance request to exceed the maximum impervious lot coverage to allow 41.9% instead of 40%, on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
7. Recommend the Village Board approve the variance request to exceed the maximum height for an accessory building (detached garage) from 15' to 20' 5 ½", on the property located at 213 Nebraska Street, in accordance with the reviewed plans and public testimony.
8. Recommend the Village Board approve the Preliminary & Final Plat of Subdivision for the Plantz Re-Subdivision, in accordance with the reviewed plans and public testimony, subject to any technical revisions prior to recording and conditioned on final engineering approval.

RECEIVED

By Christopher Gruba at 3:07 pm, Jul 08, 2022

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

Yes, the property can yield a reasonable return. The property is over 100 years old and is not functional to today's modern living.

2. That the plight of the owner is due to unique circumstances; and

Yes, a non-compliant lot, it is on the corner of an alley. To meet square footage code, we have to add the large addition to the house.

3. That the variation, if granted, will not alter the essential character of the locality.

No, it will not alter it. It will actually contribute to the character of the locality.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

The strict letter could not be met, regardless, without a variance to meet zoning code.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
Not at all.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
Not at all, it is a \$500,000 renovation.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
No, it has not.

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
No, it will not.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or
We feel it would not. It would appreciate the value of the neighborhood.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.
Not at all.

Motion (#7): Recommend the Village Board approve a Special Use Permit for Personal Services for a salon located at 21195 S. La Grange Road, Units 1B and 1C, in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Schaeffer

Seconded by: Jakubowski

Approved: (6-0)

D. Workshop: 213 Nebraska Street – Plantz Residence

Chris Gruba gave the staff report.

Chair Rigoni asked the applicant to step forward.

Gabriel Garcia approached the stand, the architect for the applicant. He asked if he should point out some of the changes proposed.

Chair Rigoni said he should.

The architect pointed out that the garage was small, only 1.5 cars wide. The regulations for the height of accessory structures was limiting, particularly for the slope of the roof of the garage. The applicant wanted the pitch of the garage to match the pitch of the home. It was historically appropriate to have a higher roof pitch, since in the past garages stored carriages. He stated that he brought color renderings to show how the originally proposed garage matched the proposed changes to the house.

Chair Rigoni asked if the request for a higher roof pitch on the garage was for architectural reasons or functional reasons.

The architect responded that the request was an architectural consideration. In regard to impervious lot coverage, one of the changes made to comply with code was a reduced patio area, and the removal of sidewalks which led from the garage to the back door of the home. With the changes, the proposed patio was now very small, only eight feet by eight feet. This was done so that the home was at least ten feet away from the garage.

Chair Rigoni asked staff for clarification on that regulation.

Staff responded that patios are defined as accessory structures, and that accessory structures needed to be at least ten feet away from the main structure.

Staff responded that the patio counted as part of the main structure, and that accessory structures needed to be at least ten feet away from the main structure.

Chair Rigoni asked what the patio was going to be made of.

The architect responded that they would be using pavers.

Chair Rigoni noted that she thought the ten-foot separation requirement related only to bulk, not paved surfaces, and was designed for fire safety reasons.

Staff noted that patios must be set back at least 10' from property lines and from other accessory structures, but that the text could be amended again if needed.

The architect stated that the patio was more landscaping than anything else. There was no sidewalk from the garage to the back door, either, and was removed to meet the impervious coverage regulation. He understood that the applicant was asking for a lot of variances, but there was not much yard on the site to begin with.

Chair Rigoni opened up the discussion to the other six variances the applicant originally requested in addition to the five presented. She cautioned other members of the Plan Commission to be limited in their comments since they did not have the same amount of information for the additional six as for the original five.

Commissioner Markunas asked staff to explain which aspects of the existing house were nonconforming.

Staff responded that the front yard setback was existing nonconforming, but the nonconformity was being increased. The non-masonry materials and accessory structure setbacks were nonconforming as well, but required variations.

The architect noted that the design altered the location and dimensions of the garage's footprint to avoid flooding.

Chair Rigoni asked what the maximum rear yard coverage calculation was.

Staff responded that they calculated 37%, whereas 30% was allowed.

The architect noted that another linear foot, or 18 square feet, was added to the garage.

Staff remarked that the variation for accessory structures was increasing in intensity then.

Chair Rigoni summarized that front yard setbacks and lot coverage were increasing in intensity. She asked if any of the members of the Plan Commission had any comments about the masonry requirement.

There were none.

Chair Rigoni turned the discussion to the accessory building setback. She asked the applicant what was to the north of the garage.

Staff responded that another garage was to the north.

Chair Rigoni asked if the other members of the Plan Commission had any comments.

There were none.

Chair Rigoni asked the applicant why they did not shorten the garage's length.

The architect responded that they wanted to allow tandem parking in lieu of side-by-side parking.

Commissioner Hogan noted that the garage on the other side of the alley was larger than the one proposed by the applicant.

The architect reiterated that they were only adding 18 square feet to the garage.

Chair Rigoni remarked that no portion of the proposed house would be located within the required rear yard.

Commissioner Markunas noted there was no real visual encroachment either.

Commissioner Schaeffer agreed that it would not impact the existing yard.

Commissioner Markunas said that it was a difficult piece of property to work on.

Chair Rigoni stated that meeting the square footage required by the code was hard due to the dimensions of the lot. The code set a maximum at 20%, and 33.2% was proposed.

Commissioner Markunas asked what the existing lot coverage was.

Staff responded that the existing lot coverage was 23.2%.

Chair Rigoni asked whether if the property were on a standard 15,000 square foot lot, it would meet the 20% requirement.

Staff responded it would.

Commissioner Markunas calculated the lot coverage for the property as if it were on a 15,000 square foot lot.

Chair Rigoni asked for any other comments while Commissioner Markunas completed the calculations.

Commissioner James noted that past variations that were granted nearby had higher lot coverage rates that 33%.

Commissioner Markunas stated that lot coverage on a typical R2 lot would be 10%.

Discussion continued comparing the existing site to the R2 regulations. The proposed home was 2,602 square feet whereas the minimum house size is 2,600 square feet, now complying with the Ordinance.

Commissioner Markunas stated he understood the reason behind requesting so many variances, given the dimensions of the lot. The proposed changes seemed appropriate for the site and would have been appropriate for a typical R2 property.

Commissioner Schaeffer noted that she agreed with the proposed changes from both a qualitative and quantitative standpoint.

Commissioner James stated he saw no issue with the proposed lot coverage.

Commissioner Hogan asked if the applicant had shared their plans with the neighbors yet.

The architect replied that they had not.

Chair Rigoni asked for any other comments on lot coverage.

There were none.

Chair Rigoni asked for comments about the front yard setback.

The architect noted that the proposed porch was adding to the existing porch. In his experience the Village liked seeing porches added to homes.

Chair Rigoni stated she saw this project as essentially a brand-new house, which made it hard to justify the addition of such a large porch. The applicants would then be the closest to the front lot line along the whole block. The new façade was not similar to the existing one. Losing two trees to install it was also a hard sell.

The applicant stated that the porch created a more inviting feel for the home.

Commissioner Markunas stated that the porch was something he liked. It tied the look of the home in with others along the street.

The architect stated that there was limited space in front of the home.

Commissioner Schaeffer recalled a case heard by the Plan Commission earlier in the year somewhere along Oregon Street. They had also added a porch to their home. The Plan Commission approved the addition of that home because of the positive aesthetic changes. She also noted that some subdivisions in the Village varied the distances of homes from the front lot lines, and wondered how bad that might look in this context.

The applicant asked if the existing home could be shown on the screen.

Staff pulled up Google Street View of the home.

Commissioner Hogan asked if the porch would replace the landscaping in front of the house currently, and not come closer forward than the existing brick wall which surrounded the front stairs.

Staff said that was correct.

Chair Rigoni suggested that her issue with the porch then was with the volume. The proposal included a full-width porch, where the existing home only had a partial-width porch.

Commissioner Markunas asked if the applicant intended to add any trees to replace the two that would be removed.

The applicant stated that there was an intention to landscape the property, but no formal plans existed yet. Looking at the existing porch on Street View, the addition would not come any closer to the front lot line than the existing brick wall did. The expansion would not look as large in reality as the drawing suggested.

Chair Rigoni stated that the fact that the proposed porch was covered added to the bulkiness. In her opinion, the existing uncovered porch looked fine.

The applicant noted that they tried to match the design of the house immediately to their east.

Staff noted that the property being emulated was 211 W. Nebraska.

Commissioner James remarked that the proposed addition would be ten feet closer to the front lot line than 211 W. Nebraska.

Commissioner Schaeffer stated that the depth of the porch at the subject property was 7 feet, 4 inches. The covered porch at 211 W. Nebraska is set back further from the property line, but did not feel massive.

Chair Rigoni stated that the use of brick added to the feeling of massiveness.

The architect noted that the design of the addition treated the property as a corner lot, and so wrapped the porch around the side in order to increase curb appeal.

Commissioner Jakubowski stated that the proposal was an improvement to the site. She expressed a desire to focus more on the property in question rather than discuss the neighboring property. She said that the project overall would enhance the neighborhood.

Commissioner James agreed, saying that the home would look good to anyone passing by.

Staff suggested that if the Plan Commission made a favorable recommendation to the Village Board, it could add a condition that prevented the porch from being enclosed in the future.

Chair Rigoni stated that if they specified that the porch was covered, which did not move the front façade closer to the front lot line, that could achieve a similar result.

Commissioner Hogan agreed, and said that the covered porch looked great. That aesthetic effect would be lost if the porch were ever enclosed.

Chair Rigoni stated she may be in the minority, but believed that the extent of the changes transformed the property into functionally a new house. The proposed project was a complete deviation from the surrounding neighborhood.

The applicant noted that the structure was only 21 feet wide.

Chair Rigoni responded that there was also a large addition being proposed.

Commissioner Markunas liked the fact that the home deviated from the neighborhood, though he did not want to be rude to members of the Plan Commission who disagreed with him. He expressed having an issue with the front setback, but noted that the design of the house generally worked because the property acts like a corner lot, since it's adjacent to an alley.

Chair Rigoni agreed about the corner lot considerations. She stated she was trying to strike a balance herself. She wanted to be comfortable in her understanding of what existed now before deciding on the addition. It was obvious to those present what parts of the home would be from the addition and what would be original, but that may not be the case in the future, and she wanted to avoid setting the wrong precedent. She asked if there were any other comments on the height of the detached garage or the impervious lot coverage.

Commissioner Markunas asked what height the applicant was seeking for the detached garage.

Staff responded that they were looking for a 20' 6" height.

Commissioner James asked how that height compared to the large garage across the alley.

The architect responded that their request was for a greater height, but the garage across the alley was wider.

Commissioner Markunas asked what the pitch on the home would be.

The architect responded that it would be 12/12.

Commissioner Markunas responded that the originally proposed garage would match the proposed additions to the home.

The applicant asked if staff had included a photograph of the flooding garage in their report.

Staff had not.

Laura Plantz, one of the applicants, approached the Plan Commission to share a photo of the flooded parts of the garage.

Chair Rigoni stated that if the Plan Commission were to approve the height variation for the accessory structure, they would need to be clear that the change was for architectural reasons only and was not, for example, an accessory dwelling.

Mike Schwarz noted that zoning regulations in other municipalities measured the height of a structure to the midpoint of the roof, so as to give architects flexibility when designing the pitch of the roof. He was aware that the definition was just changed, but wanted the Plan Commission to be aware of the other method.

Commissioner Markunas remarked it might be a good change to make.

Chair Rigoni asked the applicant to clarify the reason for a lot coverage variation request.

The applicant stated it would be to increase the size of the patio and to add a sidewalk leading from the garage to the home.

Chair Rigoni noted that the applicant was currently 30 square feet under the allowed impervious coverage maximum with the presented changes.

The architect stated he was aware, but wanted to go with the original addition plans if possible.

Commissioner Markunas confirmed that the patio in the rear of the home would be a patio, and not a deck. He also asked what materials would be used for the patio.

The applicant responded that they would use pavers.

Commissioner Jakubowski asked what color the pavers would be.

The applicant responded that they did not know.

Commissioner Schaeffer asked whether the pavers would be uniform.

The architect responded that they would use uniform blue stone pavers.

Commissioner Markunas stated that pavers were an easier thing to approve for him, especially for a walkway.

Commissioner Schaeffer asked what the proposed walkway would look like and where it would go.

The architect responded that the walkway would run alongside the garage and lead to the home, allowing someone to park near the garage door and exit more conveniently from the garage door, and walk to the home.

Chair Rigoni asked what the impervious lot coverage calculation would be then.

The architect responded that it would be 43%.

Chair Rigoni recalled that the only time the Plan Commission approved something similar was for a property on a 5,000 square foot lot, though she was trying to recall a more similar case.

Commissioner Schaeffer noted that there was a similar case for a proposed home on 49 N. White Street. In that case, there was barely any grass anyway.

The applicant stated that all of the property's green space was on the west side.

Commissioner Hogan noted that a nearby home seen on the aerial photographs used stepping stones as a path from the detached garage to the home. He asked whether that was considered landscaping.

Chair Rigoni asked how the patio would be increased.

The architect responded saying the proposed patio was 8' by 8', which was small. 12' by 12' is typically needed to allow for dining on the patio.

Chair Rigoni asked what the setback was for the patio.

Staff stated it was ten feet.

The architect agreed with a previous comment, stating that a larger patio would not be a fire nor a structural concern.

Chair Rigoni asked if the variation request for the impervious lot coverage would be 43%.

The architect responded that they would need to calculate it to be sure.

Chair Rigoni asked if the number would be around 43%.

The architect said it would be.

Chair Rigoni said that there was a possibility the Plan Commission would hear that request, depending on the materials that were used.

The applicant responded saying they could bring a sample for next time.

Chair Rigoni said that if the home had an attached garage, she would be less amenable to granting so many variations. She confirmed with the applicant that the only trees to be removed were the two marked at the front of the house. She stated that the applicant should work with staff to try and make the next meeting a public hearing. So long as the calculations did not result in something unreasonably different than what was discussed, the next meeting could be a public hearing.

For future reference, staff asked the Plan Commission whether they should work with applicants to try to minimize the number of variances requested prior to a workshop or whether the plans should come before the Commission as originally submitted, for the Commission to then decide which variances were excessive. Staff recalled the Plan Commission's hesitation to some of the variances requested at 143 Kansas, in which the applicant requested 8 variations.

Chair Rigoni said that staff should continue to do work with the property owner to reduce the number of variations requested, but that each property had to be considered differently.

Mr. Garcia noted to the Commission that Mr. Gruba was good to work with.

E. Workshop: 25 Carpenter Street – Kerley Residence

Drew Duffin gave the staff report.

Chair Rigoni asked if the current home was not constructed of masonry.

Staff responded it was not.

Commissioner Markunas stated he had no issues with the building materials.

Chair Rigoni asked what the front yard setback was for the house to the north.

Staff responded they were unsure.

Chair Rigoni asked that that information be provided at the next meeting. She then asked if the north side yard setback was going to be maintained.

Staff responded it was.

Chair Rigoni shifted discussion to the lot coverage on the site. She asked if the lot coverage calculations for the existing site included the detached garage.

B | downtown residential design guidelines

QUICK CHECKLIST

The set of questions listed below are framed in such a way that if your answer is “yes” - it is likely that the design is on the right track towards contributing to the type of character and quality Frankfort seeks to maintain. The photos shown to the right are examples of residences that fulfill these design ideals. If the answer is not clear, or is questionable, you should look for ways to improve upon this design element.

Note: All new residential construction, building additions, and development in general must comply with the Zoning Ordinance regulations including but not limited to setbacks, height, lot coverage, and building materials.

1. Does the building architecture complement and fit the character of surrounding structures - consider scale, setback, building height?
 Yes
 No
 Maybe

2. Does the structure's architecture delineate and highlight the primary entrance?
 Yes
 No
 Maybe

3. Are the proposed building materials consistent with the intended architectural style of the home and complementary to the materials utilized on the homes in the surrounding area?
 Yes
 No
 Maybe

4. Are simplified roof forms provided that are consistent with both the intended architectural style and roof forms of homes in the surrounding area?
 Yes
 No
 Maybe

5. Are there step-backs to the facade and / or architectural details that add depth and dimension, i.e. porches, bay windows?
 Yes
 No
 Maybe

6. Are there interesting architectural details and landscape treatments integrated on site that complement the residence?
 Yes
 No
 Maybe

7. Are the predominate facade colors / building materials of a natural color palette that is complementary to the homes in the surrounding area.
 Yes
 No
 Maybe









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By Christopher Gruba at 3:21 pm, Jul 08, 2022



ideal
DESIGNS

21141

DESIGN CRITERIA

GROUND SNOW LOAD	30 LB/FT ²	
WIND DESIGN	90 MPH	
SEISMIC DESIGN CATEGORY	B	
SUBJECT TO DAMAGE FROM:	WEATHERING	SEVERE
	FROST LINE DEPTH	42"
	TERMITE	MODERATE TO SEVERE
WINTER DESIGN TEMPERATURE	-4°F, 97 1/2%	
SUMMER DESIGN TEMPERATURE	89°F, DRY BULB, 2 1/2%	
	76°F, DRY BULB, 2 1/2%	
ICE BARRIER UNDERLAYMENT	REQUIRED	
FLOOD HAZARDS	FIRM # 170214 PANELS 0606H-0609H 12/16/2004	
AIR FREEZING INDEX	1543° (F-DAYS)	
ANNUAL MEAN TEMPERATURE	49.4°F	
HEATING DEGREE DAYS (HDD)	6,155	
COOLING DEGREE DAYS (CDD)	942	
CLIMATE ZONE	5A	
INDOOR DESIGN CONDITIONS	MAX. 72°F - HEATING MAX. 75°F - COOLING	
100 - YEAR HOURLY RAINFALL RATE	4"	

DESIGN LOADS

USE	LIVE LOAD	DEAD LOAD
BALCONIES(EXTERIOR)	100 psf	7
DECKS	100 psf	7
ROOF LIVE LOAD	30 psf	10
ROOF RAFTERS	30 psf	10
ROOF RAFTERS W/ CATHEDRAL CEILING	30 psf	15
ROOF RAFTERS (HEAVY ROOF)-EX. CLAY, TILE, CEMENT, SLATE	30 psf	17
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3:12)	10 psf	10
ATTICS(LIMITED ATTIC STORAGE)	20 psf	10
FLOORS (EXCEPT SLEEPING ROOMS)	40 psf	10
FLOORS (SLEEPING ROOMS)	30 psf	10
STAIRS	40 psf	10
GUARDRAILS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200 psf	
WALLS-STUD	5 psf	
WALLS-BRICK(STD)	40 psf	
PARTITIONS OR WALLS (INTERIOR, HORIZONTALLY)	5 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) < 30'	15 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) 30' TO 49'	20 psf	
GARAGES (PASSENGER CARS ONLY)	50 psf	

FOR SI: 1 PSF=0.0479 kN/m²; 1 SQUARE INCH=645 mm²

SEE SHEET SP-1 FOR SPECIFICATIONS FOR SITE WORK, CONCRETE, MASONRY, STEEL, CARPENTRY, INSULATION, ROOFING, DRYWALL, PLUMBING, HEATING, AND ELECTRICAL.

BASE LUMBER VALUES

TYPE	F _b	E
HEM FIR #2 (DOMESTIC)	850 PSI	1,300,000
S.P.F. #1/#2 (CANADIAN)	875 PSI	1,400,000
MICROLAM LVL	2600 PSI	1,900,000
PARALLAM PSL	2900 PSI	2,000,000
1.3 E TIMBERSTRAND LSL(4 3/4" TO 11 1/4")	1700 PSI	1,300,000
1.5E TIMBERSTRAND LSL(11 7/8" TO 18")	2250 PSI	1,500,000

ALLOWABLE FRAMING SPANS:

FLOOR AND CEILING JOISTS:
CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS.

ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6" @ 12" O.C. = 13'-9"	2"x10" @ 12" O.C. = 23'-6"
	2"x8" @ 12" O.C. = 17'-5"	2"x12" @ 12" O.C. = 21'-0"
	2"x10" @ 12" O.C. = 15'-11"	2"x12" @ 12" O.C. = 17'-0"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	12" O.C. = 12'-0"	19'-0"
	16" O.C. = 10'-0"	17'-2"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	12" O.C. = 17'-3"	20'-4"
	16" O.C. = 15'-5"	17'-7"

ROOF RAFTERS:
USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10"
CANADIAN HEM-FIR NO. 2 PER "U.S. SPAN BOOK FOR CANADIAN LUMBER"

2"x6" @ 12" O.C. = 13'-9"	2"x8" @ 12" O.C. = 17'-5"
2"x6" @ 16" O.C. = 11'-11"	2"x8" @ 16" O.C. = 15'-11"
2"x12" @ 12" O.C. = 24'-4"	2"x10" @ 12" O.C. = 21'-4"
2"x12" @ 16" O.C. = 21'-1"	2"x10" @ 16" O.C. = 18'-5"

SYMBOLS

SECTION NUMBER	WOOD FRAME WALL
SHEET NUMBER	BRICK VENEER
DETAIL LETTER	E.L.F.S.
SHEET NUMBER	EARTH
ROOF PITCH RATIO	CONCRETE
LEVEL LINE	GRAVEL FILL
REVISION	BATT INSULATION
CEILING PATTERN DETAIL W/ HEIGHT	CONCRETE BLOCK
	MINIMUM 3"x3" SOLID BEARING OR AS REQUIRED
	SILLCOCK

ABBREVIATIONS

A.F.F. ALUM. BOARD	ABOVE FIN. FLOOR	H.P. INSUL.	HIGH POINT INSULATION	OPN'G. OPP. PL.	OPENING OPPOSITE PLATE
B.L.K. BLOCK	ALUMINUM BOARD	INT. JANIT.	INTERIOR JANITOR	PLAS. LAM.	PLASTIC LAMINATE
B.L.K'G. BLOCKING	BLOCKING	LAV. LAVATORY	LAVATORY	P.L.Y.W.D.	PLYWOOD
B.M. BEAM	BEAM	L.P. LOW POINT	LOW POINT	Q.T. QUARRY TILE	QUARRY TILE
B./ CAB. BOTTOM OF CABINET	BOTTOM OF CABINET	MAX. MAXIMUM	MAXIMUM	R.D. ROOF DRAIN	ROOF DRAIN
C.L. CENTER LINE	CENTER LINE	M.C. MECHANICAL	MECHANICAL	REF. REFERENCE	REFERENCE
CER. CERAMIC	CERAMIC	M.ECH. MECHANICAL	MECHANICAL	REFRIG. REFRIGERATOR	REFRIGERATOR
CLR. CLEAR	CLEAR	M.T. METAL MATERIAL	METAL MATERIAL	REIN. REINFORCED	REINFORCED
COL. COLUMN	COLUMN	M.N. MINIMUM	MINIMUM	REQ'D. REQUIRED	REQUIRED
CONSTR. CONSTRUCTION	CONSTRUCTION	M.O. MASONRY OPENING	MASONRY OPENING	R.O.P. ROUGH OPENING	ROUGH OPENING
CONT. CONTINUOUS	CONTINUOUS	N.T.S. NOT TO SCALE	NOT TO SCALE	SCH. SCHEDULE	SCHEDULE
C.M.U. CONCRETE MASONRY UNIT	CONCRETE MASONRY UNIT	O.C. ON CENTER	ON CENTER	SHT. SHEET	SHEET
DET. DETAIL	DETAIL	FIN. FINISH	FINISH	SIM. SIMILAR	SIMILAR
D.N. DOWN	DOWN	FLR. FLOOR	FLOOR	SPEC. SPECIFICATION	SPECIFICATION
D.W. DISHWASHER	DISHWASHER	FLASH. FLASHING	FLASHING	ST. STL. STAINLESS STEEL	STAINLESS STEEL
DWG. DRAWING	DRAWING	FTG. FOOTING	FOOTING	STD. STANDARD	STANDARD
EXIST. EXISTING	EXISTING	GA. GAUGE	GAUGE	TOP OFF TOP OFF	TOP OFF
EXP. JT. EXPANSION JOINT	EXPANSION JOINT	GALV. GALVANIZED	GALVANIZED	T/ TREAD	TREAD
ELEV. ELEVATION	ELEVATION	GL. GLASS	GLASS	TEL. TELEPHONE	TELEPHONE
EX. EXTERIOR	EXTERIOR	GYP. BD. GYPSUM BOARD	GYPSUM BOARD	THK. THICK	THICK
F.D. FLOOR DRAIN	FLOOR DRAIN	HDCP. HANDICAPPED	HANDICAPPED	TR. TYPICAL	TYPICAL
FDN. FOUNDATION	FOUNDATION	HDR. HARDWARE	HARDWARE	VERT. VERTICAL	VERTICAL
		H.M. HOLLOW METAL	HOLLOW METAL	W/ WITH	WITH
		HORIZ. HORIZONTAL	HORIZONTAL	WOOD WOOD	WOOD
		HGT. HEIGHT	HEIGHT	W.P. WATERPROOF	WATERPROOF
				W.W.F. WIRE WELDED FABRIC	WIRE WELDED FABRIC

DISCLAIMER STATEMENT:

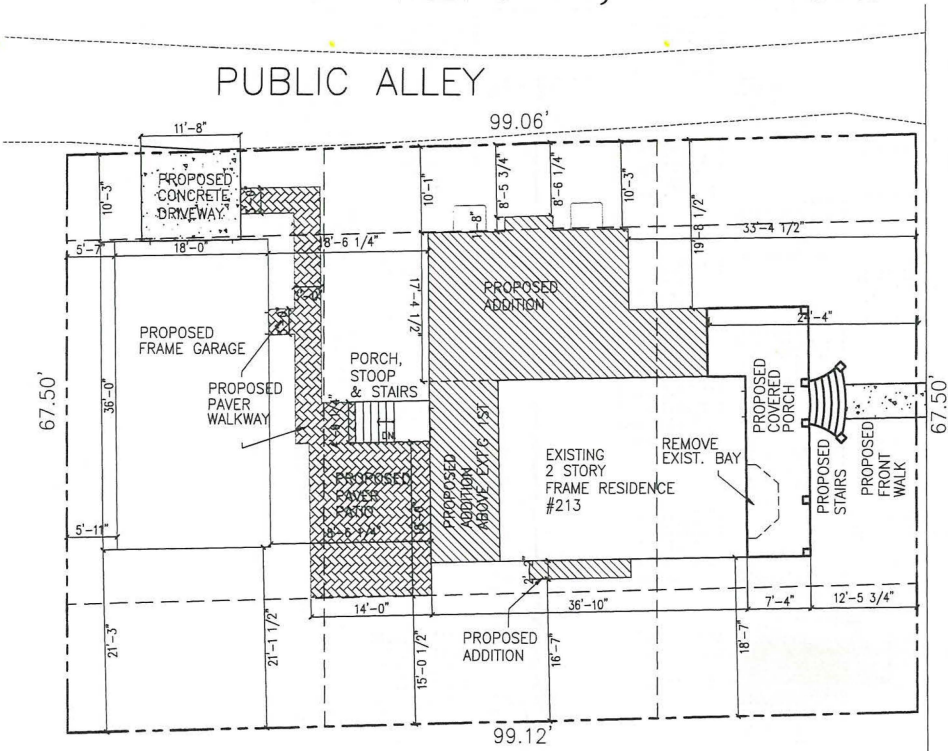
THE ARCHITECT SHALL NOT HAVE CONTROL OVER CHARGE OR AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE OWNERS AND THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OWNERS OR CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER ACTS OR OMISSIONS OF THE OWNER, CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

RESPONSIBILITY STATEMENT:

IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR CARPENTER AND CONCRETE CONTRACTOR TO HAVE FULL SET OF DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

AN ADDITION FOR THE PLANTZ RESIDENCE

213 W. NEBRASKA ST. FRANKFORT, ILLINOIS



SITE PLAN

PRESCRIPTIVE METHOD

ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS FRAME WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 & MARINE 4	.32	.55	N/A	49	20 + 13 ^a	13/17	30 ⁹	15/19	10, 2 FT.	15/19

^a R-38 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES (SECTION 402.2.1 IECC)

⁹ FIRST VALUE IS CAVITY INSULATION, SECOND IS CONTINUOUS INSULATION SIDING, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40 PERCENT OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE SHALL BE PERMITTED TO BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED - TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.

CONTRACTOR:
RIGSBY BUILDERS, INC.
12719 OLD PLANK DRIVE
NEW LENOX, IL 60451
Tel: 815-717-8564
Fax: 815-717-8624
E-MAIL: N/A

OWNER:
DAVID & SHARON LEDBETTER

CIVIL ENGINEER:
DESIGNTEK ENGINEERING
9500 BORMET DR. #305
MOKENA, ILLINOIS
Tel: 708.326.4961
Fax: 708.326.4962
E-mail: ssschreiner@dtetecorp.com

WILL COUNTY BUILDING DIVISION:
58 E. CLINTON ST.
JOLIET, ILLINOIS 60432
Tel: 815-774-3340
Fax: -
E-mail: -

BUILDING CODE INFORMATION

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE ONE & TWO FAMILY DWELLINGS
- 2014 ILLINOIS STATE PLUMBING CODES
- 2012 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2011 NATIONAL ELECTRICAL CODE
- 2012 FUEL GAS CODE

RECEIVED
By Christopher Gruba at 2:57 pm, Oct 19, 2022

DRAWING INDEX

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A-3	EXISTING/DEMO. FLOOR PLANS
A-4	FOUNDATION PLAN
A-5	FIRST & SECOND FLOOR PLANS
A-6	GARAGE ELEVATIONS & ROOF PLAN
A-7	GARAGE FLOOR PLANS
M-1	MECHANICAL/PLUMBING NOTES
E-1	ELECTRICAL NOTES
E-2	ELECTRICAL FLOOR PLANS
D-1	FRAME DETAILS
D-2	FOUNDATION DETAILS
D-3	BRICK DETAILS
D-4	WALL SECTIONS

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED IN MY OFFICE UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF FRANKFORT, ILLINOIS

MICHAEL J. ROOT ARCHITECT
LICENSE NO. 001-006715 ARCHITECT LICENSE EXPIRES: 11-30-22

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www.idealcustomdesigns.com

AN ADDITION FOR THE PLANTZ RESIDENCE
213 W. NEBRASKA ST.
FRANKFORT, ILLINOIS

DATE:
EXP. DATE:

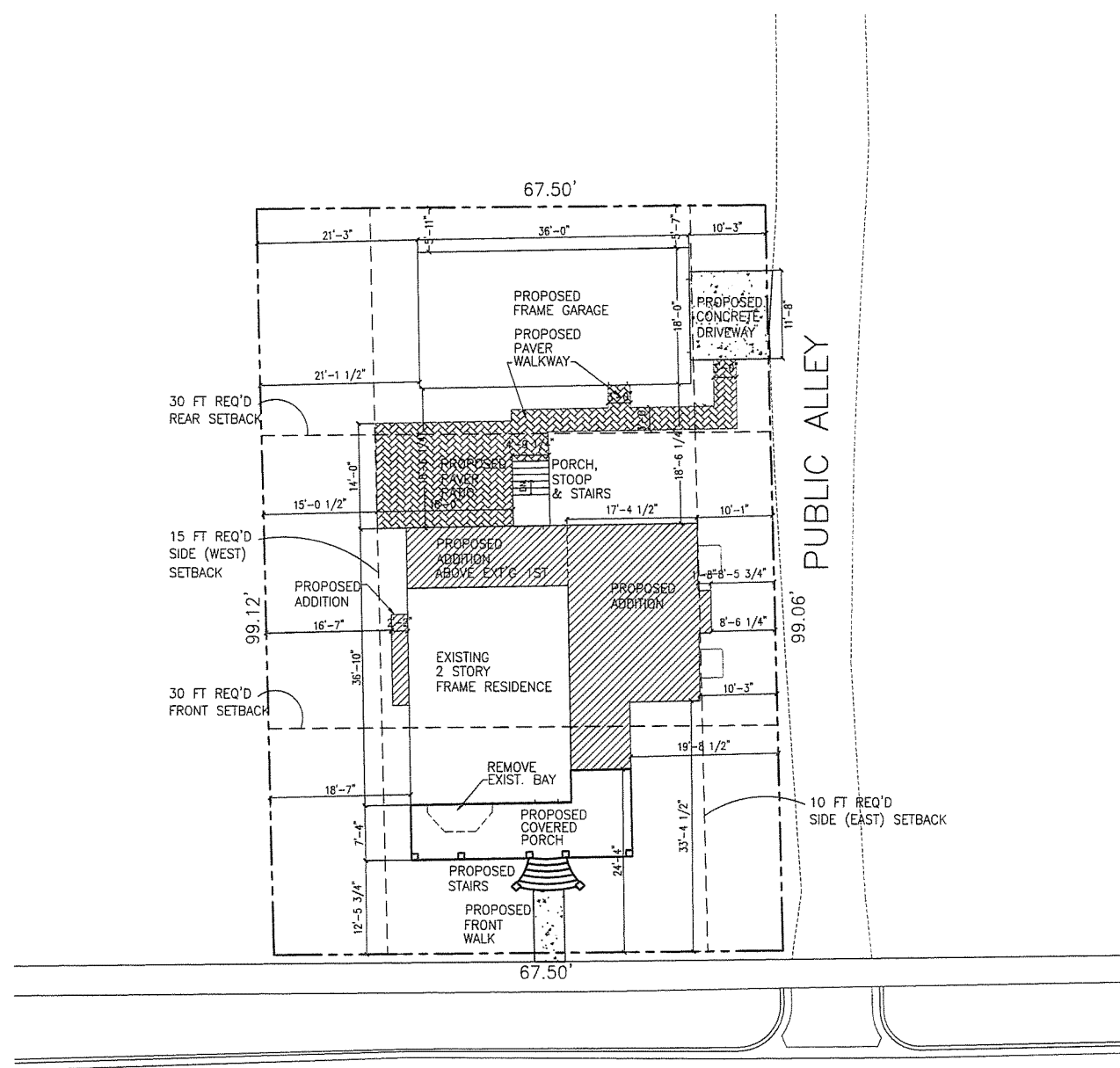
DESIGN FIRM REG. NO.
184.006972
EXP. DATE
4-30-23

REVISIONS

REV #	DATE:	REV. PER:

DATE:
09-26-22
DRAWN BY: PAP
PREVIOUS NO. -

PROJECT NO.
21141
SHEET NUMBER
T-1



W. NEBRASKA ST.

SITE PLAN

1"=0'=10'



ZONING DATA			
ZONING DISTRICT:	R-2 SINGLE FAMILY RESIDENTIAL DISTRICT		
USE:	SINGLE FAMILY DWELLING		
DENSITY, DIMENSIONAL, AND OTHER STANDARDS			
	REQUIRED MINIMUM	ACTUAL	COMPLY
DWELLING UNITS:	2.25 MAX.	1	YES
LOT SIZE:	15,000 S.F.	6,687 S.F.	NO
LOT WIDTH:	100 FT.	67.5 FT.	NO
LOT DEPTH:	150 FT.	99 FT.	NO
MINIMUM REQUIRED YARDS:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
FRONT:	30 FT.	12'-7"	NO
SIDE (EAST):	10 FT.	10'-2"	YES
SIDE (WEST):	15 FT.	18'-9"	YES
REAR:	30 FT.	42'-3"	YES
BULK DIMENSIONS:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
HEIGHT:	35 FT. MAX.	34'-11"	YES
LOT COVERAGE:	1,336 S.F. MAX. (20% MAX.)	2,194 S.F. (32.8%) (HOUSE, GAR., & COV. PORCH)	NO
IMPERVIOUS COVERAGE:	2,673 S.F. MAX. (40% MAX.)	2,804 S.F. (41.9%)	NO
REAR YARD COVERAGE:	608 S.F. (30% MAX., 2,025X3)	648 S.F.	NO
GROSS FLOOR AREA:	MIN. 2,600 S.F.	2,511 S.F.	NO
BASEMENT GROSS AREA:	1,070 S.F. (60% MIN., 1,338X8)	1,298 S.F.	YES
MATERIALS:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
1ST FLR. PRIMARY MATERIAL:	BRICK, STONE, OR MASONRY MATERIAL	LP SMART SIDING	NO
1ST FLR. ARCHITECTURAL ACCENT MATERIAL:	NON-MASONRY MATERIAL, 15% MAX. ON ANY FACADE	YES	YES
1ST FLR. MATERIALS NOT ALLOWED:	PLYWOOD, VINYL, STEEL, & ALUMINUM SIDING	NONE	YES
MATERIALS NOT ALLOWED:	SPLIT FACE BLOCK	NONE	YES
ACCESSORY STRUCTURES:			
	REQUIRED MINIMUM	ACTUAL	COMPLY
NORTH SIDE YARD SETBACK:	10 FT.	5'-7"	NO
HEIGHT:	15 FT. MAX.	20'-5 1/2"	NO

HOUSE GROSS SQ. FT. AREAS			
	EXISTING/REMAINING	NEW/PROPOSED	TOTAL
BASEMENT:	611	687	1,298
FIRST FLOOR:	783	515	1,298
SECOND FLOOR:	582	631	1,213
TOTAL GROSS LIVING AREA (1ST + 2ND):			2,511
COVERED PORCH:			248
REAR PATIO/WALK AREAS:			388
GARAGE:			648
DRIVEWAY:			120
FRONT WALK:			33
FRONT STAIRS:			28
REAR PORCH, STOOP, STAIRS:			41

PROPOSED IMPERVIOUS COVERAGE CALCULATION	
HOUSE GROSS AREA:	1,298
COVERED PORCH:	248
REAR PATIO/WALK AREAS:	388
GARAGE:	648
DRIVEWAY:	120
FRONT WALK:	33
FRONT STAIRS:	28
REAR PORCH, STOOP, STAIRS:	41
TOTAL:	2,804

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AN ADDITION FOR THE
PLANTZ RESIDENCE
213 W. NEBRASKA ST.
FRANKFORT, ILLINOIS

DATE:

EXP. DATE:

DESIGN FIRM REG. NO.
184.006972

EXP. DATE
4-30-23

REVISIONS

REV #	DATE	REV. PER.

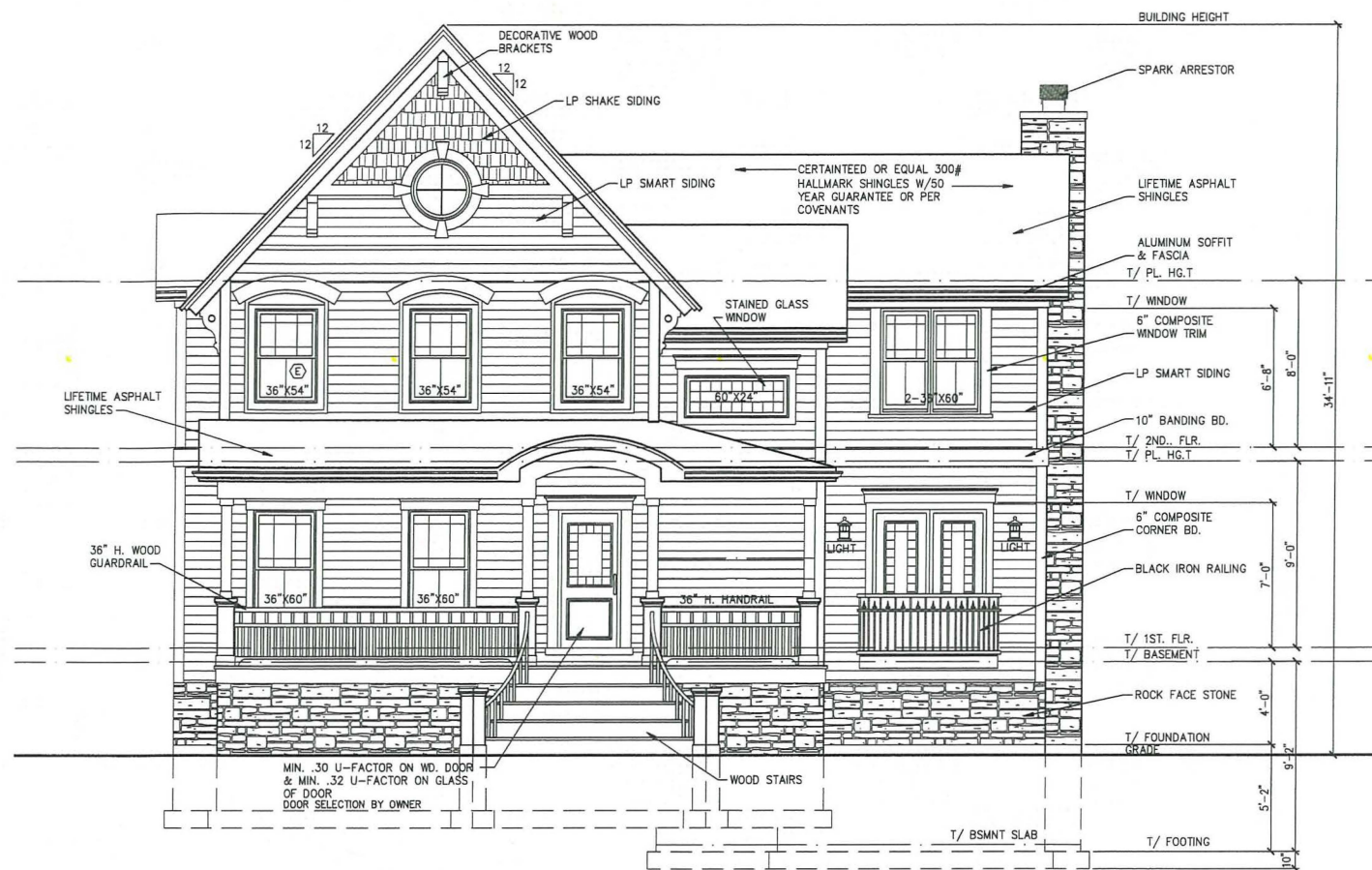
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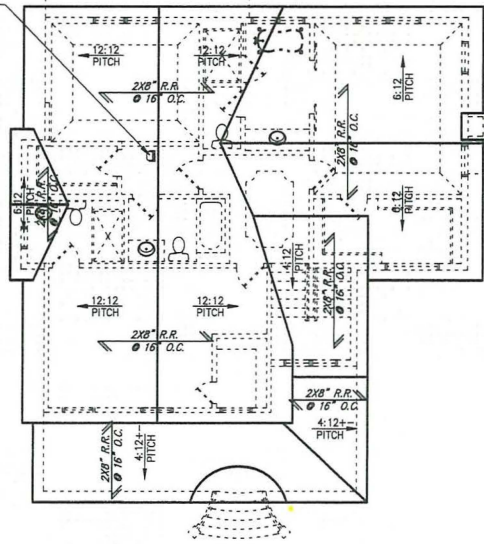
S-1



FRONT ELEVATION

1/4" = 1'-0"

ROOF VENTS TO BE LOCATED ON BACK SLOPE OF ROOF. NUMBER AND LOCATION SHALL BE BASED ON TOTAL AREA OF VENTS REQUIRED EQUAL TO 1/300th OF ROOF AREA. PAINT TO MATCH ROOF.



ROOF PLAN

1/8" = 1'-0"

ROOF PLAN NOTES

GROUND SNOW LOAD: 30 PSF
DEAD LOAD: 10 PSF

- USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". 2"x12" ROOF RAFTERS SHALL BE CANADIAN HEM-FIR NO. 2 PER "U.S. SPAN BOOK FOR CANADIAN LUMBER" SPAN TABLES SPF FOR SOUTHERN LUMBER (NORTHERN LUMBER GREATER SPANS ARE ALLOWED)
2"x6" @ 12" O.C. = 13'-8" 2"x8" @ 12" O.C. = 17'-5" 2"x10" @ 12" O.C. = 21'-4"
2"x6" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 18'-5"
HEM FIR
2"x12" @ 12" O.C. = 24'-4"
2"x12" @ 16" O.C. = 21'-1"
- ROOF MEMBER SIZES ARE BASED ON ALLOWABLE RAFTER SPANS FOR SPRUCE-PINE-FIR (#2 NORTH) UP THRU 2"x10" RAFTERS, IF 2"x12" RAFTERS ARE USED THEN HEM-FIR #2 SHALL BE USED.
- HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS x RAFTER DEPTH PLUS 2" DEEP.
- ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER.
- IT WILL BE ALLOWED IF FRAMING CARPENTER CHOOSES TO REDUCE SIZE OF ROOF RAFTERS BY PROVIDING INTERMEDIATE WALLS OR BEAMS TO ROOF RAFTERS, THUS REDUCING SPAN, THEN SUPPORTED BACK TO INTERIOR BEARING WALLS, ARCHITECT SHALL BE NOTIFIED OF CHANGES BEFORE FRAMING WORK STARTS.
- COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
- WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL. WHEN SPANS ON CEILING JOISTS EXCEED 16'-0" SPANS.
- PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
- RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE OR TO A MINIMUM 1-INCH NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPs, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION.
- THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

ELEVATION NOTES

- CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7 SF AND A MINIMUM WIDTH OF 20".
- UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER AREA SPECS.
- CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.35. CONTRACTOR TO SUBMIT CUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
- WEAP CAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
- FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
- WINDOW DESIGNATIONS INDICATES "JELD-WEN" MANUFACTURER CLAD WINDOWS. COORDINATE WINDOW & DOOR MFR. WITH OWNER FOR EXACT SIZES & TYPES.
- ALL SOLDIER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.
- OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPANS. IF CARPENTER SUBCONTRACTOR IS ABLE TO SHORTEN SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2"x10"s TO 2"x8"s BY ADJUSTMENT IN HIS BIRD'S MOUTH CUT.

PROVIDE VENTILATION FOR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THEN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50% AND NOT MORE THEN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING MAXIMUM 1 PERM TRANSMISSION RATE IS WARM SIDE OF THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITH INSTALLED ON THE CORRISION-RESISTANT WIRE MESH WITH 1/8-1/4 INCH OPENINGS.

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- OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.

SAFETY GLASS REQUIREMENTS

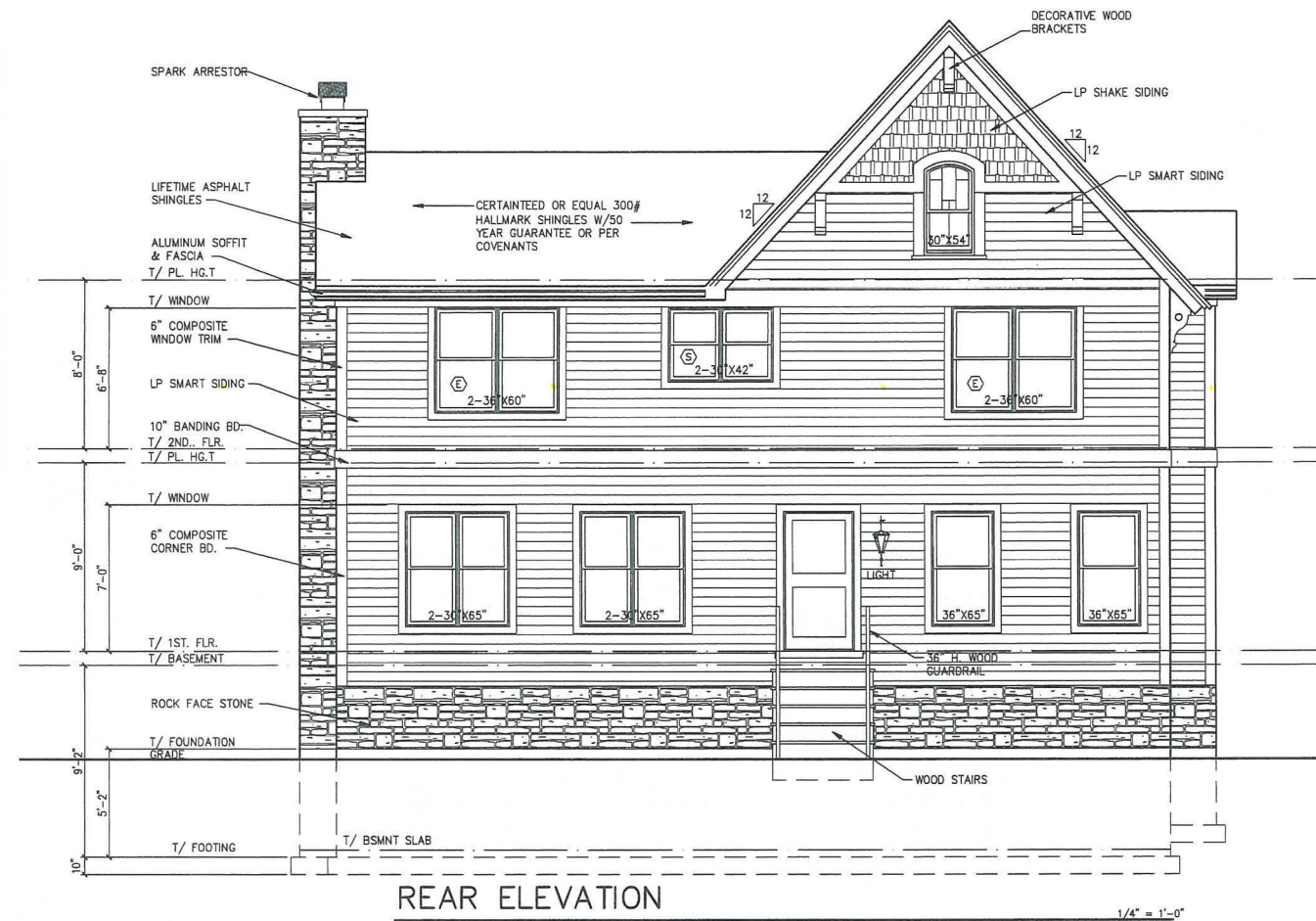
- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:
- GLAZING IN INGRESS AND MEANS OF EGRESS DOORS EXCEPT JALOUSIES.
 - GLAZING IN THE FIXED AND SLIDING PANELS OF SLIDING(PATIO) DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - GLAZING IN STORM DOORS.
 - GLAZING IN ALL UNFRAMED DOORS.
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60"(1524MM) ABOVE THE DRAIN INLET.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24"(610MM) ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60"(1524MM) ABOVE THE FLOOR OF WALKING SURFACE.

- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
7.1 EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
7.2 BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
7.3 TOP EDGE GREATER THEN 36" ABOVE THE FLOOR.
7.4 ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY TO THE GLAZING.
- ALL GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE, INCLUDED ARE STRUCTURAL BALLUSTER PANELS AND NONSTRUCTURAL IN-FILLS PANELS.
- GLAZING IN WALLS AND FENCES ARE ENCLOSING INDOORS AND OUTDOORS SWIMMING POOLS AND WHERE THE BOTTOM EDGE OF THE POOL SIDE IS (1)LESS THAN 60" ABOVE A WALKING SURFACE AND (2)WITHIN 36" HORIZONTALLY OF A WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

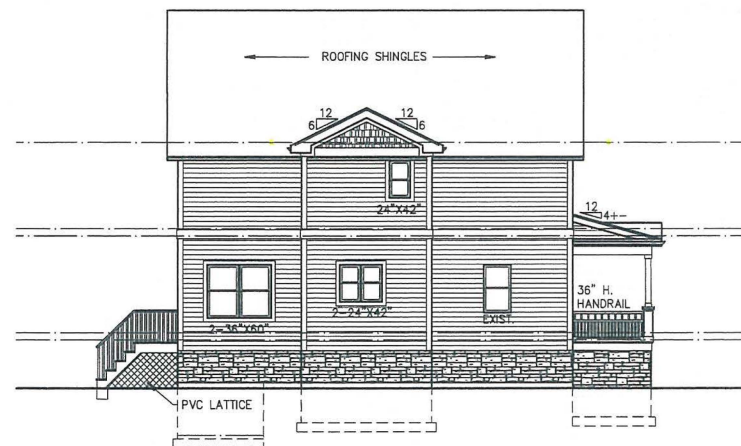
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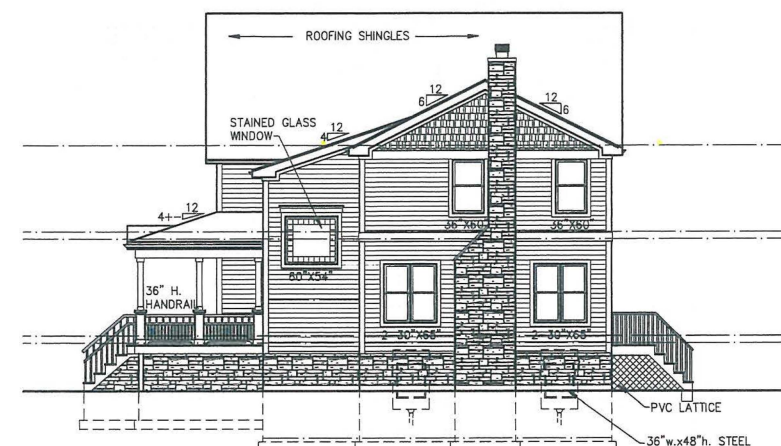
REAR ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

36" w. x 48" h. STEEL ESCAPE WINDOW 3'-8" AFF. WITH 22 GAUGE GALV. AREAWELL AND DRAIN SET IN GRAVEL

1/8" = 1'-0"

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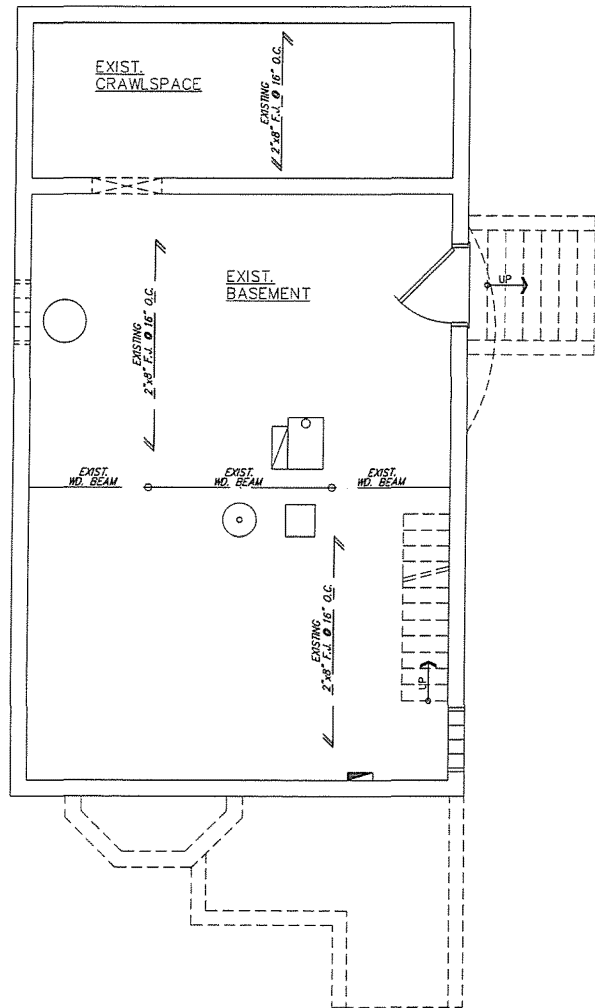
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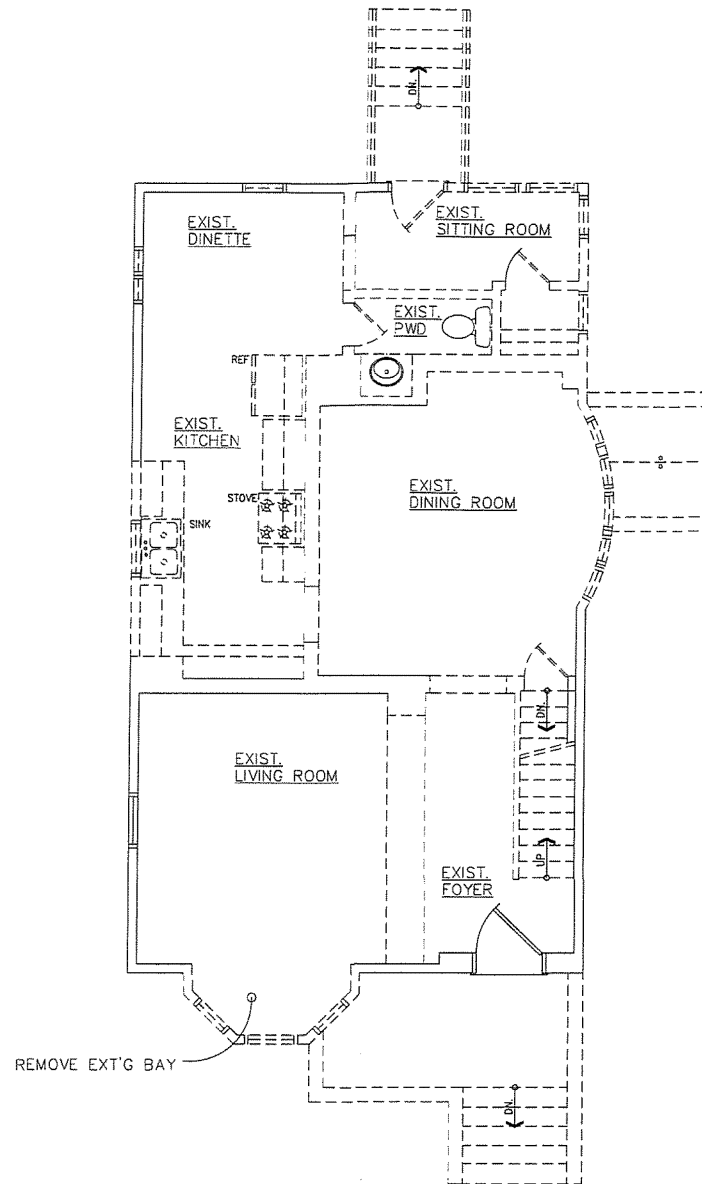
A-2



**EXISTING/DEMO.
FOUNDATION PLAN**

611 GROSS SQ. FT. TO REMAIN

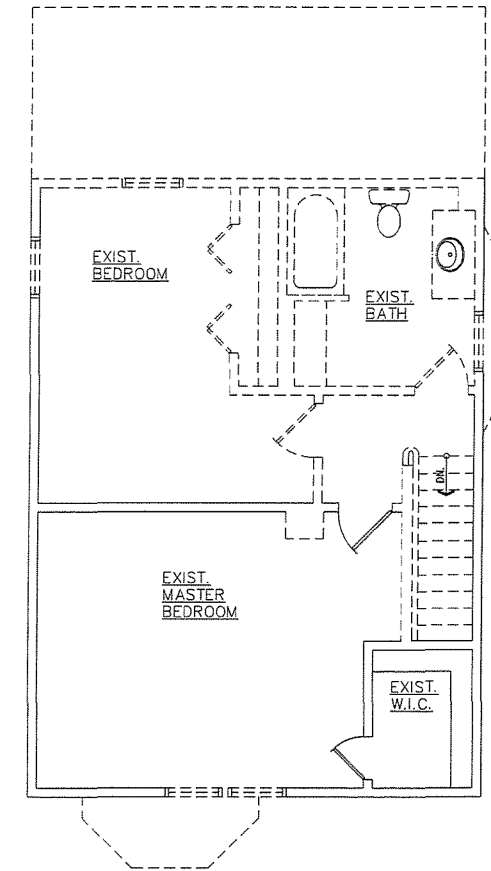
1/4"=1'-0"



**EXISTING/DEMO.
FIRST FLOOR PLAN**

801 GROSS SQ. FT.
783 GROSS SQ. FT. TO REMAIN

1/4"=1'-0"



**EXISTING/DEMO.
SECOND FLOOR PLAN**

582 GROSS SQ. FT.
582 GROSS SQ. FT. TO REMAIN

1/4"=1'-0"

- DEMOLITION NOTES:**
1. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY PIPING LOCATION AND INVERTS FOR CONNECTION TO NEW PLUMBING FIXTURES.
 2. ANY WASTE OR VENT PIPING CAPPED OFF MUST BE CAPPED PROPERLY ACCORDING TO ILLINOIS STATE PLUMBING CODE & INSPECTED BEFORE PATCHING FLOOR. ALL HAND SINKS MUST BE SOLID CONNECTION WITH REMOVABLE TRAP & CLEANOUT ON FLOOR. HOSE & SPRAY UNITS NEW OR EXISTING SHALL BE PROTECTED AGAINST BACKFLOW. SOAP DISPENSERS, COFFEE, TEA, ICE MAKER MACHINES, ETC. MUST BE PROTECTED BY BACKFLOW. ALL OPEN SITE DRAINS MUST BE VENTED SEPARATELY 6" ABOVE SPILL LINE OF EACH OPEN SITE DRAIN.
 3. REMOVE THE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING. PATCH THE FLOOR AS REQUIRED TO MATCH ADJACENT SURFACE.
 4. REROUTE & RECONNECT ANY CIRCUIT/ CIRCUITS THAT SHALL REMAIN IN USE BUT INTERFERES WITH THE NEW CONSTRUCTION.
 5. EXISTING CONDUITS SHALL NOT BE REUSED, SHALL BE REMOVED, CONDUITS IN WALLS OR BELOW THE FLOOR LINE MAY BE ABANDONED, DISCONNECT AND REMOVE WIRING FROM CONDUITS TO BE ABANDONED. CUT & CAP CONDUITS THAT RUN THROUGH WALLS AND FLOORS. GROUT SURFACE FLUSH.

NOTE:
PATCH & REFINISH ALL NEW/ EXISTING AREAS AS REQUIRED TO MATCH EXISTING AREAS

WALL SCHEDULE

	= EXISTING WALL
	= EXISTING WALLS & FIXTURES TO BE REMOVED

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A-3

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12" FOR MEMBERS 12" AND ABOVE USE HEM-FIR.

ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lb LIVE LOAD	2"x6" 2'-8"	2"x10" 2'-12"
12" O.C.	14'-9"	18'-3"
16" O.C.	12'-10"	15'-10"
2nd FLOOR, FLOOR JOISTS - 30lb LIVE LOAD	19'-0"	22'-5"
12" O.C.	17'-2"	19'-8"
16" O.C.		
1st FLOOR, FLOOR JOISTS - 40lb LIVE LOAD	17'-3"	20'-4"
12" O.C.	15'-5"	17'-7"
16" O.C.		

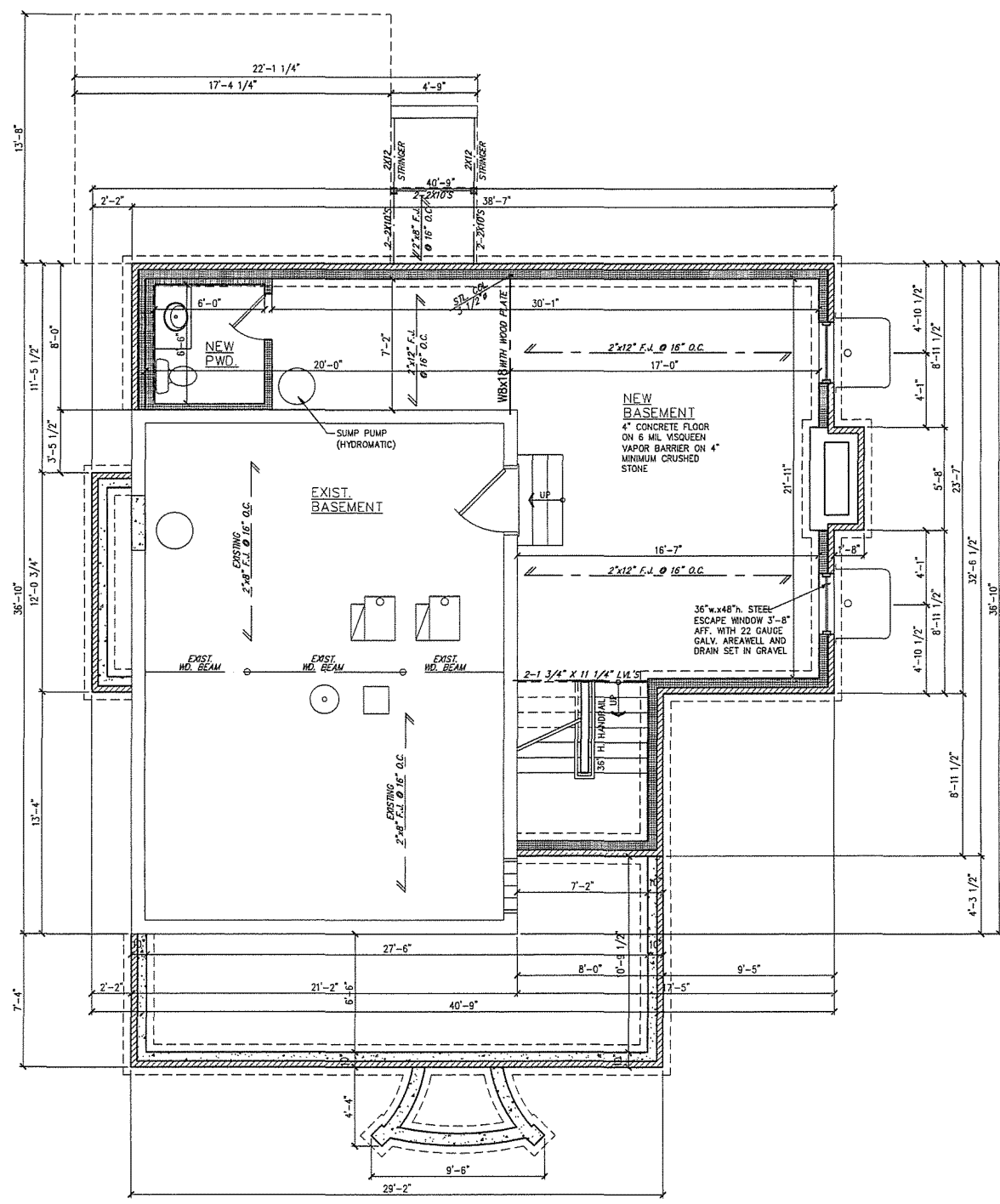
MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY TRUSS JOIST MAC MILLAN OR APPROVED EQUAL.
T.J. JOISTS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL.

GENERAL NOTES

- FOR SPECIFICATIONS SEE SHEET SP-1
- CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED IN CERAMIC TILE FINISHED FLOOR AREAS.
- SEE ELEVATIONS FOR ALL WINDOW SIZES.
- ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED.
- SEPARATION WALL/CEILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILINGS COMMON WITH THE RESIDENCE OR ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE X GYPSUM DRYWALL BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
- FOR PARTITION DETAILS SEE - M/D/1 & N/D/1
- FOR HEADER SIZING SEE - Q/D/1
- FOR STAIR DETAIL SEE - J/D/1 & K/D/1
- FOR FIREPLACE DETAILS SEE - A/D/3 & C/D/3

THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" BY 4" RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".

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FOUNDATION PLAN

1/4"=1'-0"

WALL SCHEDULE

[Solid Line]	NEW 2X6" STUD WALL @ 16" O.C.
[Hatched Area]	NEW STONE
[Dashed Line]	EXISTING WALL TO REMAIN

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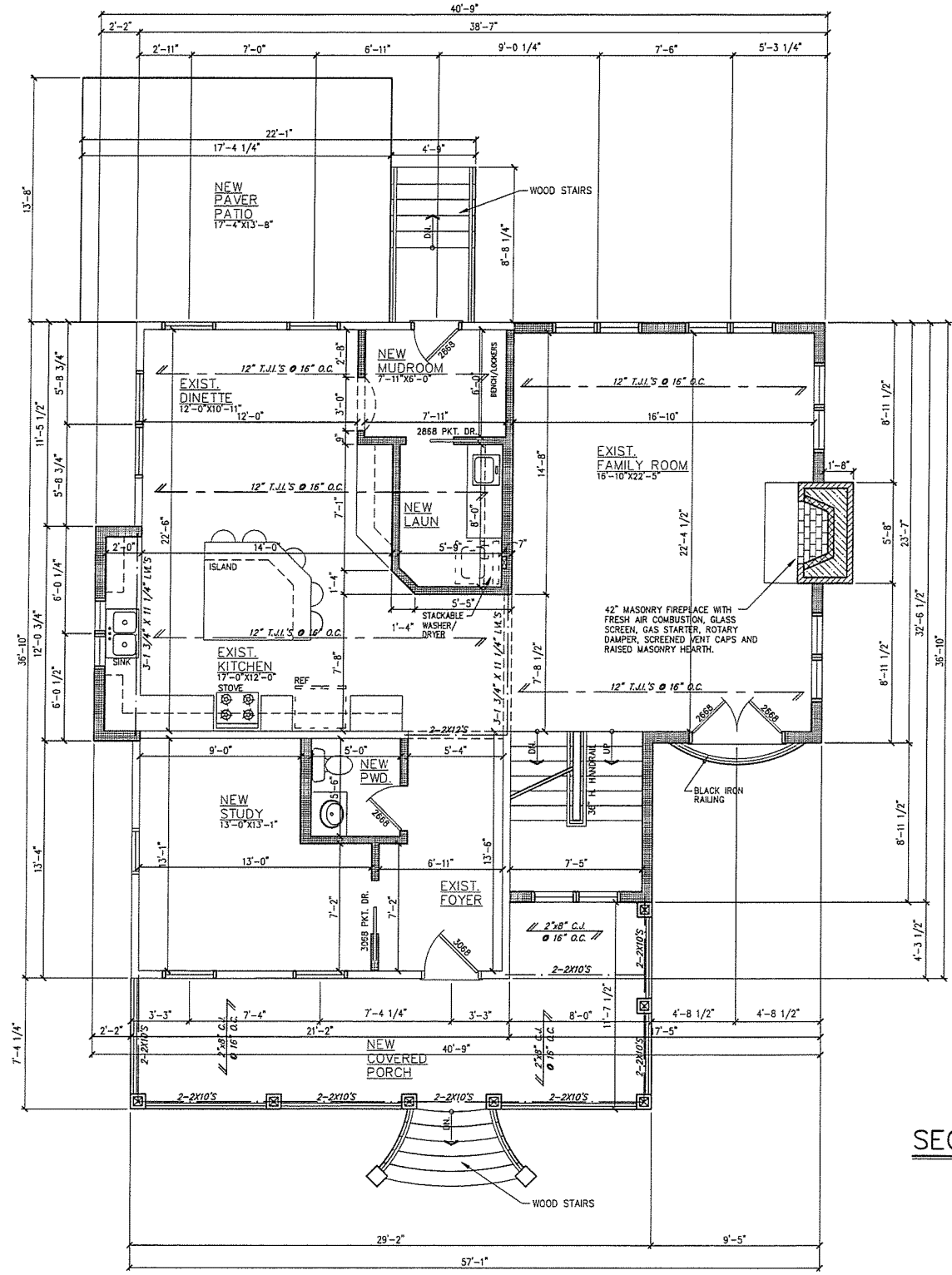
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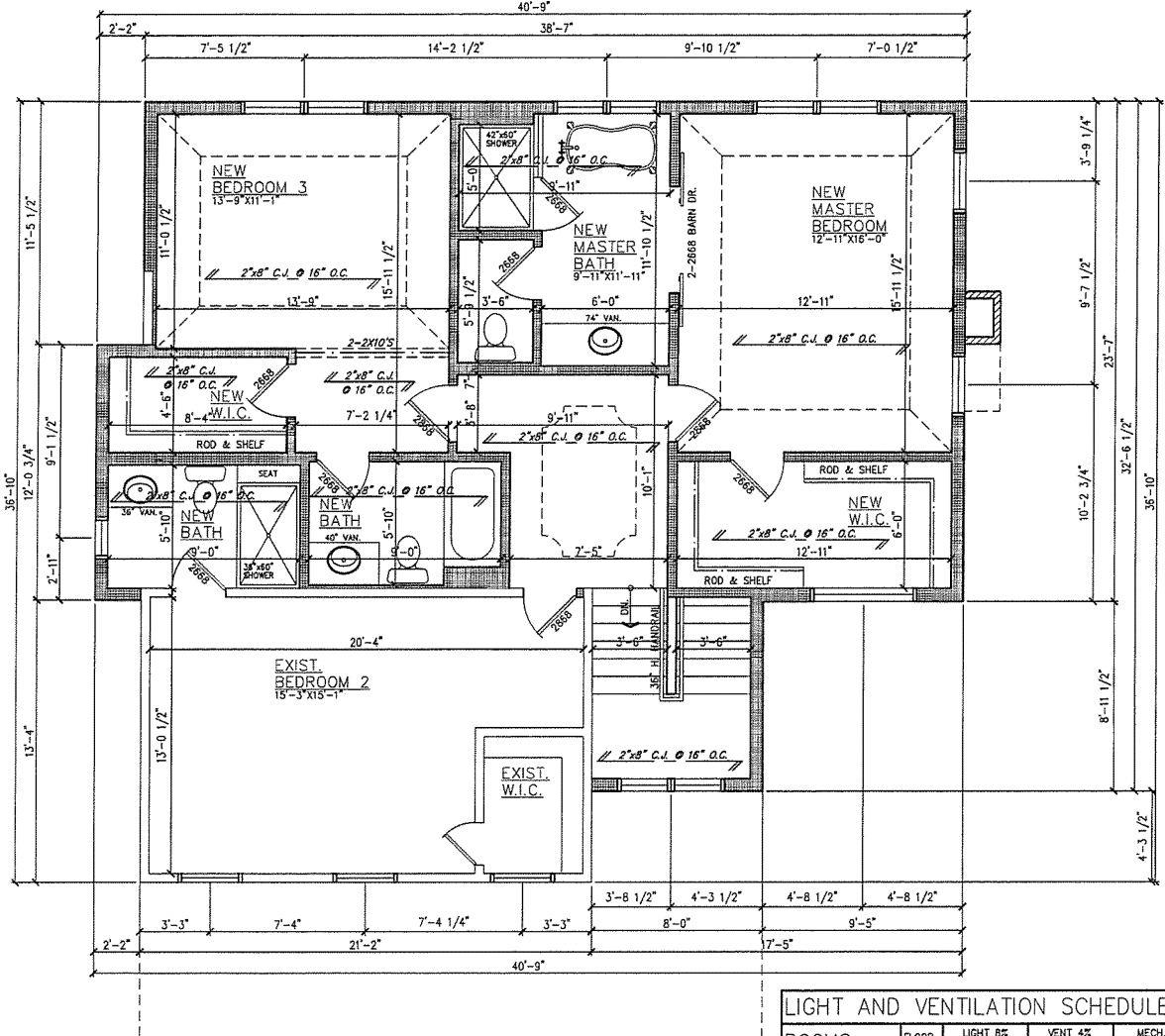
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A-4



FIRST FLOOR PLAN

1/4"=1'-0"



SECOND FLOOR PLAN

1/4"=1'-0"

WALL SCHEDULE

- NEW 2X6" STUD WALL @ 16" O.C.
- NEW STONE
- EXISTING WALL TO REMAIN

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12" FOR MEMBERS 12" AND ABOVE USE HEM-FIR.

ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6" 12'-0" O.C. 2"x8" 14'-0" O.C. 2"x10" 16'-0" O.C.	2"x10" 12'-0" O.C. 2"x12" 14'-0" O.C. 2"x14" 16'-0" O.C.
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	2"x6" 12'-0" O.C. 2"x8" 14'-0" O.C. 2"x10" 16'-0" O.C.	19'-0" O.C. 19'-0" O.C. 19'-0" O.C.
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	2"x6" 12'-0" O.C. 2"x8" 14'-0" O.C. 2"x10" 16'-0" O.C.	17'-3" O.C. 17'-3" O.C. 17'-3" O.C.

- GENERAL NOTES**
- FOR SPECIFICATIONS SEE SHEET SP-1
 - CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED IN CERAMIC TILE FINISHED FLOOR AREAS.
 - SEE ELEVATIONS FOR ALL WINDOW SIZES.
 - ALL UNDIMENSIONED PARTITIONS ARE 4 1/2" FINISHED.
 - SEPARATION WALL/CeILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILING COMMON WITH THE RESIDENCE OR ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE X GYPSUM DRYWALL BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
 - FOR PARTITION DETAILS SEE - W/D1 & N/D1
 - FOR HEADER SIZING SEE - Q/D1
 - FOR STAR DETAIL SEE - J/D1 & K/D1
 - FOR FIREPLACE DETAILS SEE - A/D3 & C/D3

LIGHT AND VENTILATION SCHEDULE

ROOMS	FLOOR AREA	REQ'D	ACTUAL	VENT 4%	MECH.
KITCHEN/DINETTE	854	69.1	119.9+	34.5	115.8
GREAT ROOM					
STUDY	150	12.0	25.2	6.0	19.8
P.W.D.	27.5				41.2
MASTER BEDROOM	273	21.8	41.7	10.9	36.4
BEDROOM 2	178	14.0	21.6	7.0	22.4
BEDROOM 3	205	16.4	58.8	8.2	19.8
MASTER BATH	140.0				210
MASTER BATH W.C.	13.5				20.2
BATH 2	80.4				120.6
BASEMENT (2%)	2818	56.3	133.2	56.3	105.4

THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" BY 4" RIBBON STRIP AND WALLED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN MAJOR DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

MICROLAM LVL AND PARALLAM PSL HEADERS AND BEAMS ARE MANUFACTURED BY TRUSS JOIST MAC MILLAN OR APPROVED EQUAL.
T&J JOISTS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL.

ideal
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ARCHITECTS / DESIGNERS
20960 FRANKFORT SQ. RD.
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T: (708) 407-8028
F: (779) 333-7960
gabe@idealcustomdesigns.com
www.idealcustomdesigns.com

AN ADDITION FOR THE
PLANTZ RESIDENCE
213 W. NEBRASKA ST.
FRANKFORT, ILLINOIS

DATE:
EXP. DATE:
DESIGN FIRM REG. NO.
184.006972
EXP. DATE
4-30-23

REVISIONS

REV #	DATE	REV. PER.

DATE:
09-26-22
DRAWN BY: PAP
PREVIOUS NO. -

PROJECT NO.
21141
SHEET NUMBER
A-5

AN ADDITION FOR THE
PLANTZ RESIDENCE
213 W. NEBRASKA ST.
FRANKFORT, ILLINOIS

DATE: _____
EXP. DATE: _____

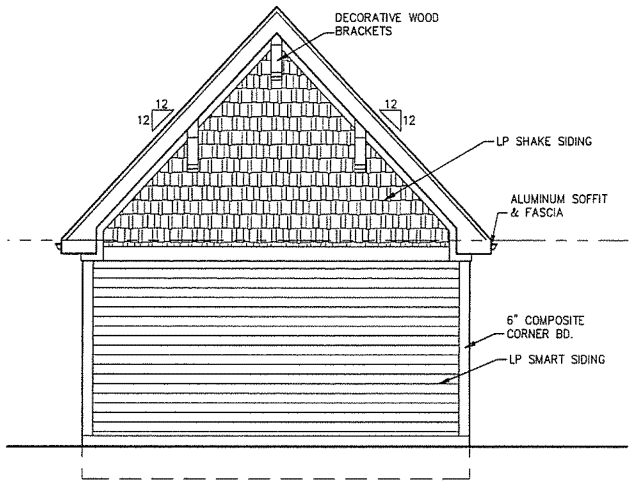
DESIGN FIRM REG. NO.
184.006972
EXP. DATE
4-30-23

REVISIONS	
REV #	DATE

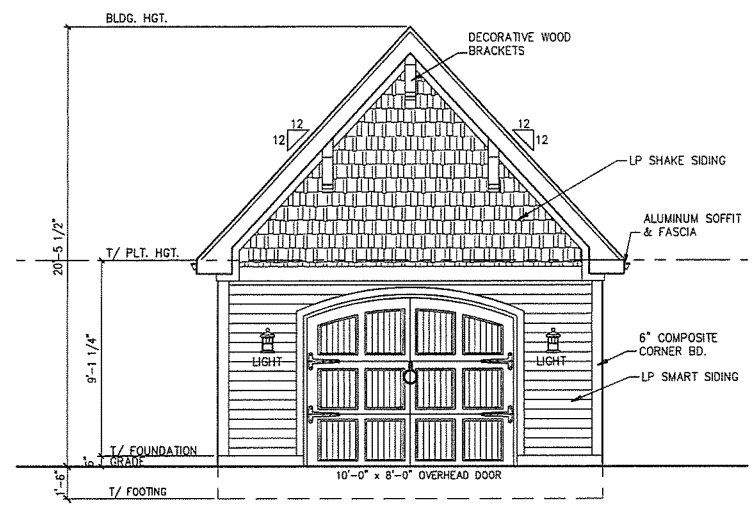
DATE: 09-26-22
DRAWN BY: PAP
PREVIOUS NO. -
PROJECT NO. 21141

SHEET NUMBER
A-6

- ELEVATION NOTES**
- CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLICABLE TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
 - ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7 SF AND A MINIMUM WIDTH OF 20".
 - UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI'S SPECS.
 - CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.35. CONTRACTOR TO SUBMIT CUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
 -
 - WRAP EAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
 - FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
 - WINDOW DESIGNATIONS INDICATES "ANDERSEN" MANUFACTURER CLAD WINDOWS COORDINATE WINDOW & DOOR W/DR. WITH OWNER FOR EXACT SIZES & TYPES.
 - ALL SOLDIER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.
 - OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.

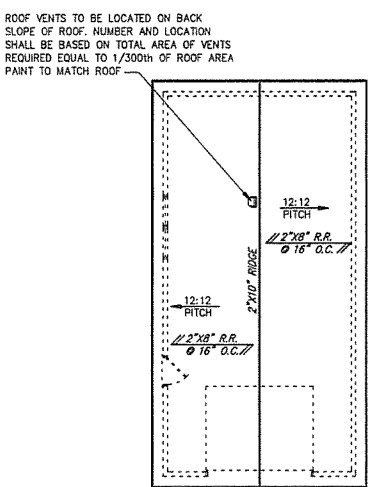


REAR ELEVATION WEST
1/4" = 1'-0"



FRONT ELEVATION EAST
1/4" = 1'-0"

- ROOF PLAN NOTES**
- GROUND SNOW LOAD: 30 PSF
DEAD LOAD: 10 PSF
- USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". 2"x12" ROOF RAFTERS SHALL BE CANADIAN HEM-FIR NO. 2 PER U.S. SPAN BOOK FOR CANADIAN LUMBER. SPAN TABLES SPF FOR SOUTHERN LUMBER (NORTHERN LUMBER GREATER SPANS ARE ALLOWED)
2"x6" @ 12" O.C. = 13'-9" 2"x8" @ 12" O.C. = 17'-5" 2"x10" @ 12" O.C. = 21'-4"
2"x6" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 18'-5"
HEM FIR
2"x12" @ 12" O.C. = 24'-4"
2"x12" @ 16" O.C. = 21'-1"
 - ROOF MEMBER SIZES ARE BASED ON ALLOWABLE RAFTER SPANS FOR SPRUCE-PINE-FIR (#2 NORTH) UP THRU 2"x10" RAFTERS, IF 2"x12" RAFTERS ARE USED THEN HEM-FIR #2 SHALL BE USED.
 - HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS x RAFTER DEPTH PLUS 2" DEEP.
 - ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER.
 - IT WILL BE ALLOWED IF FRAMING CARPENTER CHOOSES TO REDUCE SIZE OF ROOF RAFTERS BY PROVIDING INTERMEDIATE WALLS OR BEAMS TO ROOF RAFTERS, THUS REDUCING SPAN, THEN SUPPORTED BACK TO INTERIOR BEARING WALLS. ARCHITECT SHALL BE NOTIFIED OF CHANGES BEFORE FRAMING WORK STARTS.
 - COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
 - WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8"-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL, WHEN SPANS ON CEILING JOISTS EXCEED 16'-0" SPANS.
 - PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
 - RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE OR TO A MINIMUM 1-INCH NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER, A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPs, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION.
 - THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

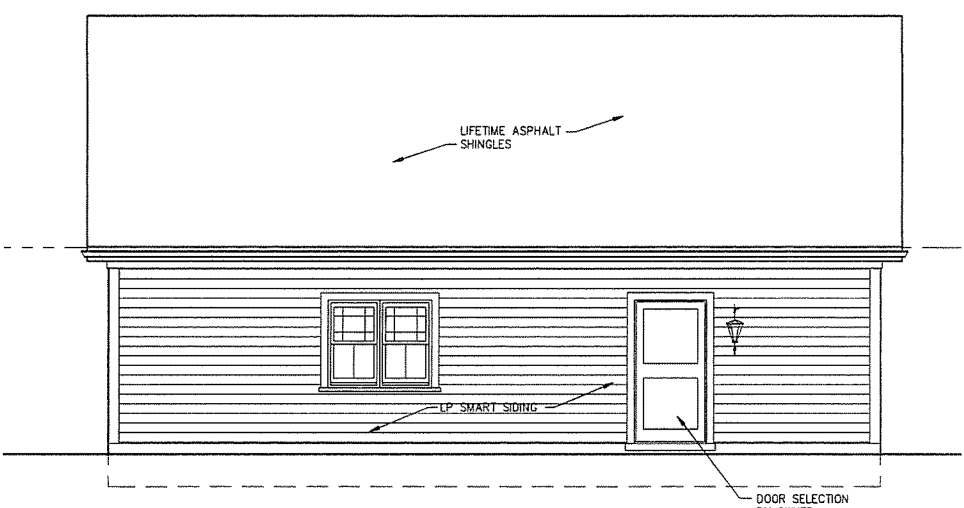


ROOF PLAN
1/8" = 1'-0"

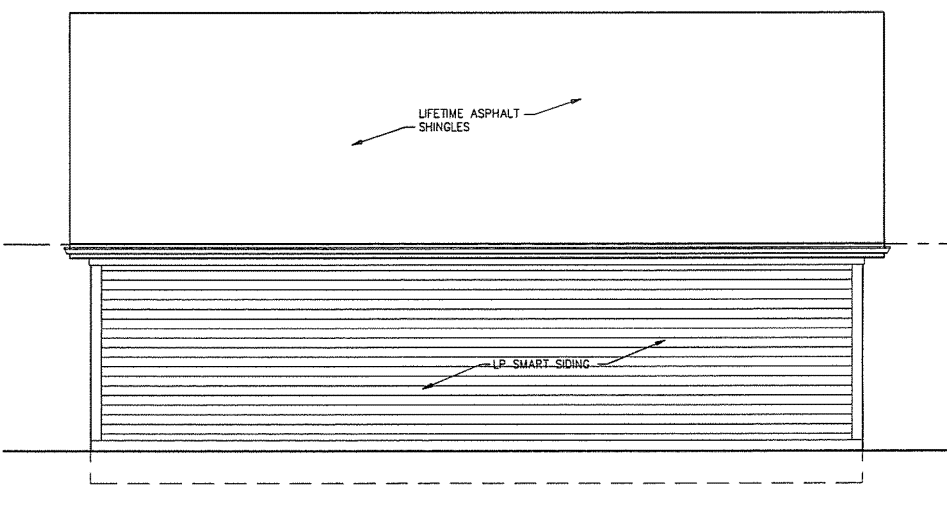
CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPANS. IF CARPENTER SUBCONTRACTOR IS ABLE TO SHORTEN SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2"x10"s TO 2"x8"s BY ADJUSTMENT IN HIS BIRDS MOUTH CUT.

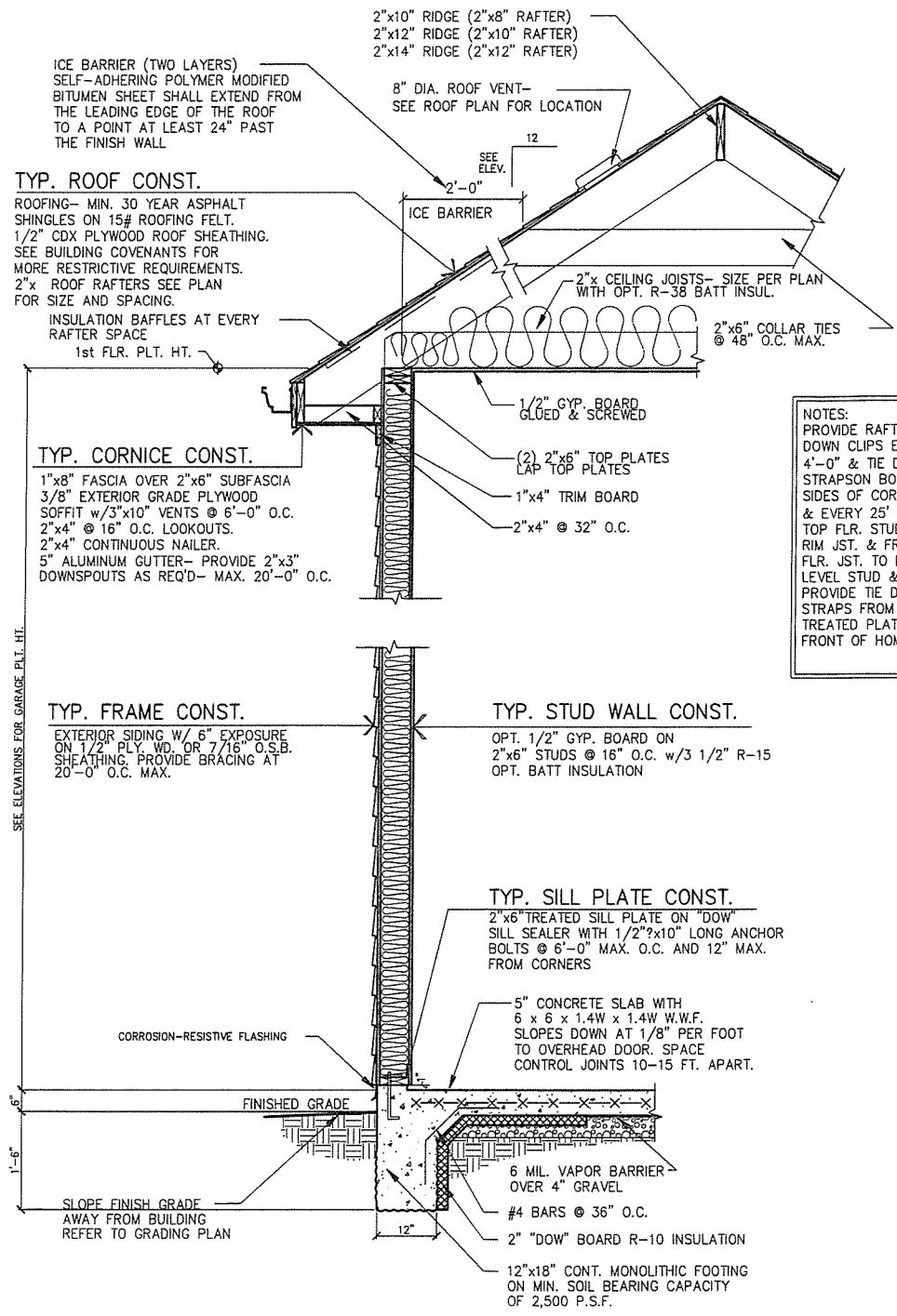
PROVIDE VENTILATION FOR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THEN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50% AND NOT MORE THEN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATING PROVIDED BY EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING MAXIMUM 1 PERM TRANSMISSION RATE IS WARM SIDE OF THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITH INSTALLED ON THE CORROSION-RESISTANT WIRE MESH WITH 1/8-1/4 INCH OPENINGS.



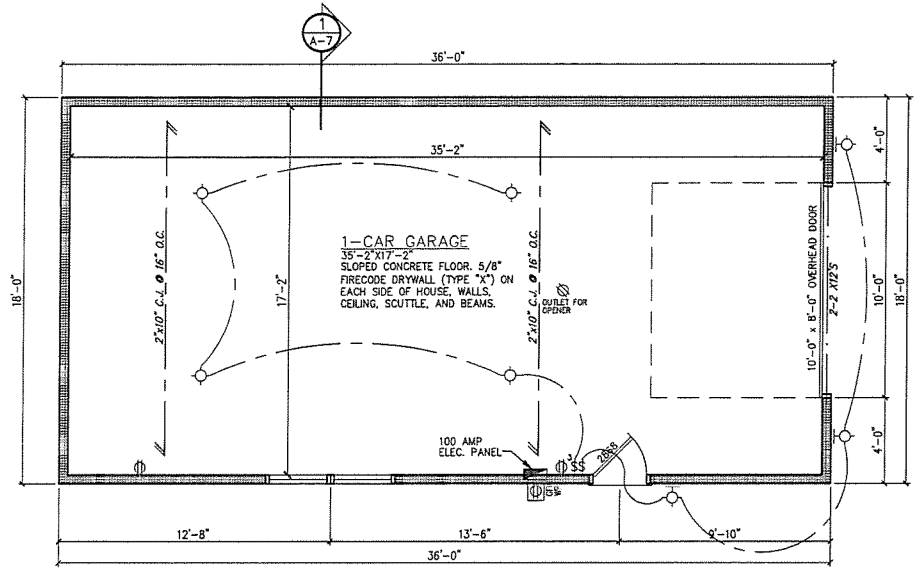
LEFT ELEVATION SOUTH
1/4" = 1'-0"



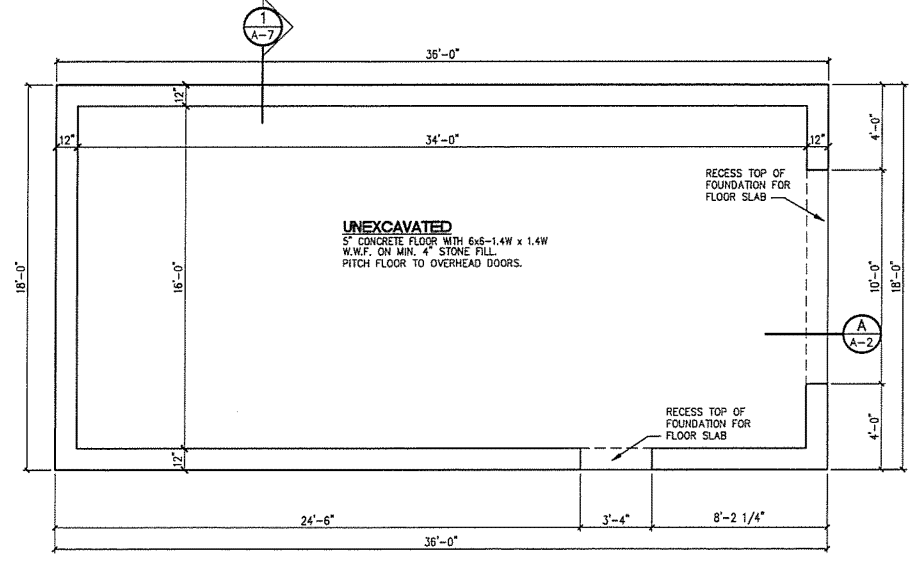
RIGHT ELEVATION NORTH
1/4" = 1'-0"



NOTES:
 PROVIDE RAFTER TIE DOWN CLIPS EVERY 4'-0" & TIE DOWN STRAPSON BOTH SIDES OF CORNERS & EVERY 25' FROM TOP FLR. STUD TO RIM JST. & FROM FLR. JST. TO LOWER LEVEL STUD & PROVIDE TIE DOWN STRAPS FROM STUD TREATED PLATE AT FRONT OF HOME

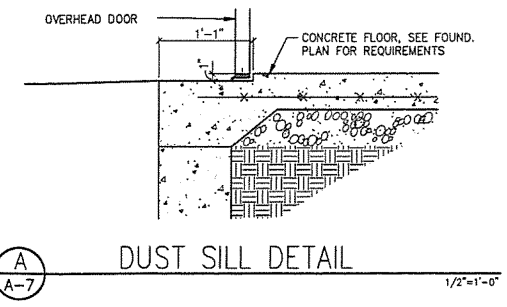


GARAGE FLOOR PLAN 1/4"=1'-0"



GARAGE FOUNDATION PLAN 1/4"=1'-0"

1 GARAGE SECTION 3/4"=1'-0"



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 T: (708) 407-8028
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 gabe@idealcustomdesigns.com
 www.idealcustomdesigns.com

AN ADDITION FOR THE
 PLANTZ RESIDENCE
 213 W. NEBRASKA ST.
 FRANKFORT, ILLINOIS

DATE:
 EXP. DATE:

DESIGN FIRM REG. NO.
 184.006972
 EXP. DATE
 4-30-23

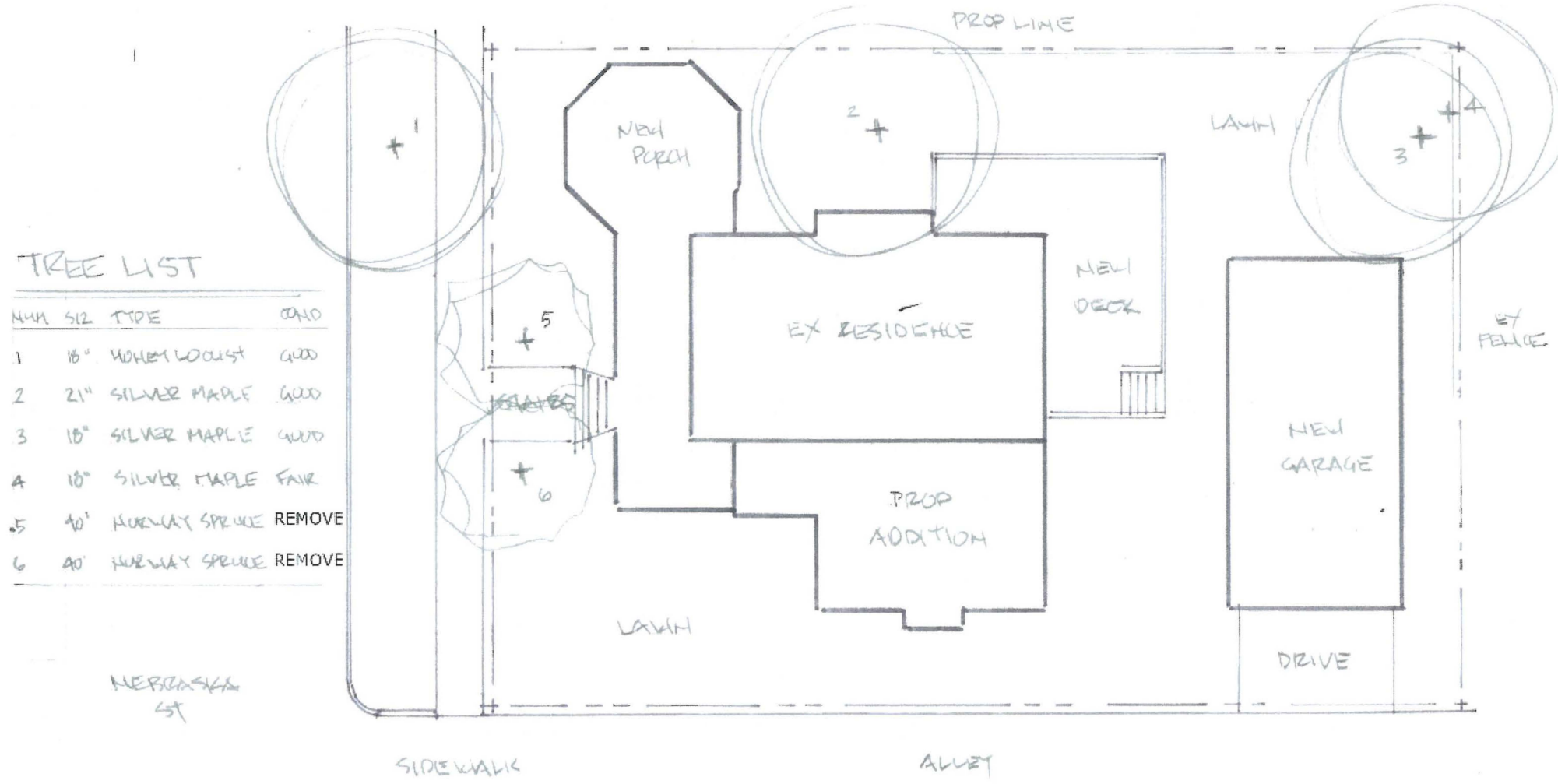
REVISIONS

REV #	DATE	REV. PER.

DATE:
 09-26-22
 DRAWN BY: PAP
 PREVIOUS NO. -
 PROJECT NO.
 21141

SHEET NUMBER
A-7

RECEIVED 7.18.22



TREE LIST

NUM	SIZE	TYPE	COND
1	16"	HONEY LOCUST	GOOD
2	21"	SILVER MAPLE	GOOD
3	18"	SILVER MAPLE	GOOD
4	18"	SILVER MAPLE	FAIR
5	40'	HURWY SPRUCE	REMOVE
6	40'	HURWY SPRUCE	REMOVE

PLANTZ RESIDENCE
213 NEBRASKA ST FRANKFORT IL

TREE SURVEY
1"=10' N→ 6/22

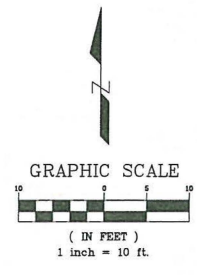
JGSLA 1
708 361 5124 OF 1

DETAILED GRADING PLAN

LEGEND	
EXISTING	PROPOSED
SS	SANITARY SEWER
○	SANITARY MANHOLE
SS	STORM SEWER
○	STORM SERVICE
□	CATCH BASIN
○	OPEN LID STORM MANHOLE
○	CLOSED LID STORM MANHOLE
○	STORM INLET
□	FLARED END SECTION
WM	WATER MAIN
VS	WATER SERVICE
○	VALVE VAULT
□	B-BOX
○	HYDRANT
□	VALVE BOX
○	STREET LIGHT
○	UTILITY POLE
—	RETAINING WALL
—	SILT FENCE
—	CONTOUR
FM	FORCE MAIN
—	SPOT GRADES
—	OVERFLOW ARROW
TF XXXLX	TOP OF FOUNDATION
FX XXXLX	FINISH GRADE
FF XXXLX	FINISH FLOOR
GF XXXLX	GARAGE FLOOR

LEGAL DESCRIPTION
 THE EAST 67.5 FEET OF THE SOUTH 1/2 OF LOT 2 AND THE EAST 67.5 FEET OF LOT 3, IN BLOCK 2, IN BOWEN'S ADDITION TO THE VILLAGE OF FRANKFORT, LOCATED IN THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 9, 1896 AS DOCUMENT NO. 22888, IN WILL COUNTY, ILLINOIS.

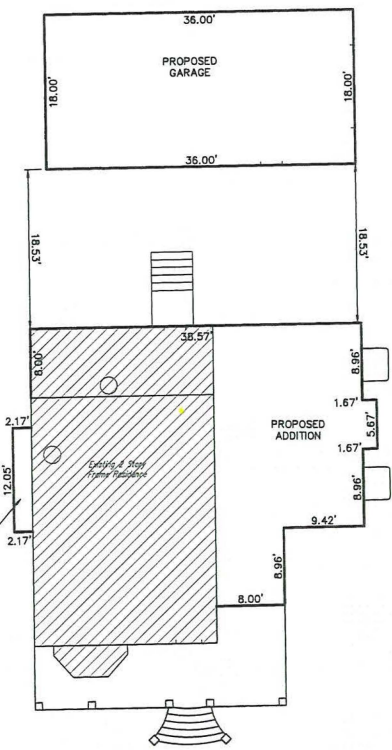
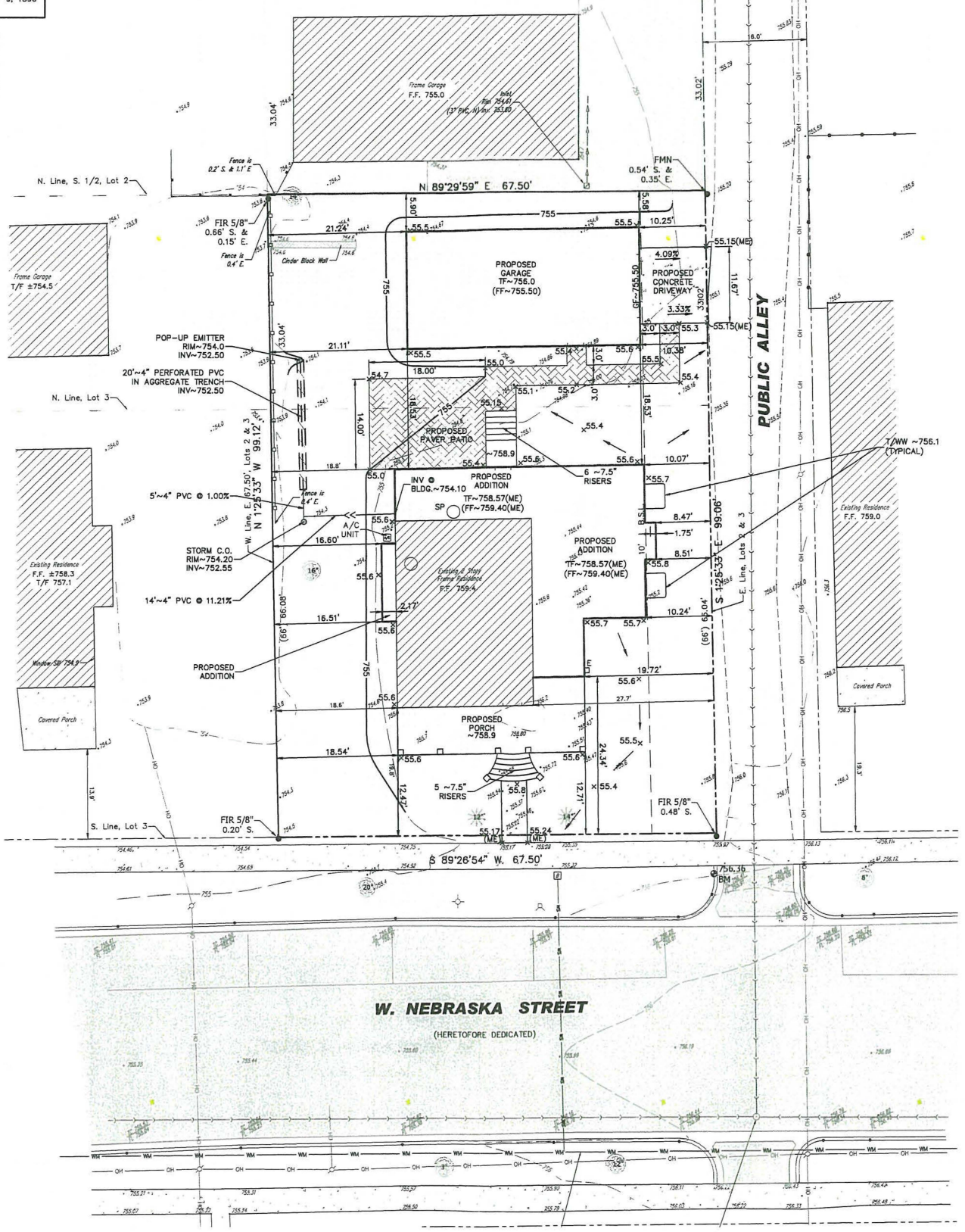
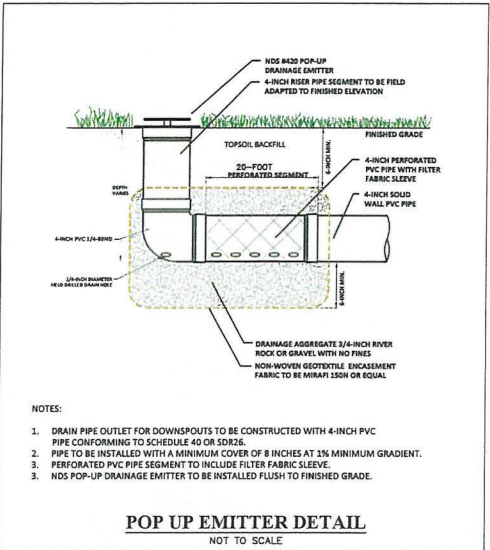
BENCHMARKS
 SITE BENCHMARK: FOUND MAG NAIL NEAR THE NORTHEAST CORNER OF THE PROJECT SITE, SHOWN HEREON. ELEVATION: 755.21 (NAVD 88)



NOTES:
 WATER AND SEWER SERVICES: WATER SERVICE TO BE TYPE K COPPER MIN. DEPTH 8.5". SERVICE LINE SHALL COMPLY WITH ALL ILLINOIS AND LOCAL MUNICIPALITY SPECIFICATIONS AND REQUIREMENTS.
 SANITARY SERVICE TO BE 6" SDR 26 PVC MIN. SLOPE OF 1% SERVICE SHALL COMPLY WITH LOCAL MUNICIPALITY SPECIFICATIONS AND REQUIREMENTS.
 MIN. SEPARATION OF WATER AND SANITARY SERVICES 10".
EROSION CONTROL:
 TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION.
 CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION TO DETERMINE IF ANY CONFLICTS EXIST. THE DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO START OF CONSTRUCTION.
 FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION, CONTACT J.U.L.I.E., TOLL FREE: 1-800-892-0123.
 EXISTING TOPOGRAPHIC SURVEY PREPARED BY DESIGNTEK ENGINEERING, INC. (708) 326-4961; FIELD WORK WAS COMPLETED ON AUGUST 9, 2022.
OWNER:
 ROBERT PLANTZ
 (708) 921-0162

EXISTING IMPERVIOUS-LOT AREA: 2,744 S.F.	
FOUNDATION RESIDENCE:	808 S.F.
FOUNDATION GARAGE:	631 S.F.
COVERED PORCH (FRONT):	84 S.F.
PORCH (SIDE):	22 S.F.
WALK (FRONT, SIDE & REAR):	289 S.F.
PORCH, STOOP & STAIRS (REAR):	42 S.F.
WOOD DECK (REAR):	164 S.F.
DRIVEWAY:	734 S.F.
TOTAL EXISTING IMPERVIOUS-LOT AREA:	2,744 S.F.
PROPOSED:	
EX FOUNDATION RESIDENCE (TO REMAIN):	611 S.F.
ADDITION RESIDENCE FOUNDATION AREAS:	687 S.F.
GARAGE:	648 S.F.
COVERED PORCH (FRONT):	248 S.F.
STAIRS (FRONT):	28 S.F.
WALK (FRONT):	33 S.F.
PAVER PATIO & WALK AREAS (REAR):	388 S.F.
PORCH, STOOP & STAIRS (REAR):	41 S.F.
DRIVEWAY:	120 S.F.
TOTAL PROPOSED IMPERVIOUS-LOT AREA:	2,804 S.F.
TOTAL EXISTING IMPERVIOUS:	2,744 S.F.
TOTAL PROPOSED IMPERVIOUS:	2,804 S.F.
CHANGE IN IMPERVIOUS:	+60 S.F.
EXISTING BUILDING COVERAGE:	1,523 / 6,687 = 22.78%
EXISTING LOT COVERAGE:	2,744 / 6,687 = 40.97%
PROPOSED BUILDING COVERAGE:	2,194 / 6,687 = 32.81%
PROPOSED LOT COVERAGE:	2,804 / 6,687 = 41.93%

Call Before You Dig
JULIE
 ILLINOIS ONE-CALL SYSTEM
 CALL 1-800-892-0123 or 811
 AT LEAST 48 HOURS (2 WORKING DAYS) BEFORE YOU DIG
 WWW.ILLINOISCALL.COM



BASIS OF BEARING		
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE		
SITE DATA		
AREA: 6,687 SQUARE FEET OR 0.1535 ACRES		
PARCEL IDENTIFICATION NUMBER		
19-09-28-204-005-0000		
DESIGNTEK ENGINEERING, INC. CONSULTING CIVIL ENGINEERING & LAND SURVEYING 9030 W. 190TH STREET, SUITE L MOKENA, ILLINOIS 60448 (708) 326-4961 FAX: (708) 326-4962 ILL. PROF. LIC. NO. 184-003740		
REVISION		
213 W. NEBRASKA STREET FRANKFORT, ILLINOIS		
DETAILED GRADING PLAN		
DRAWN DEI	CHECKED SDS	PROJECT NO. 22-0577
DATE: 09-19-22		SHEET 1
SCALE: 1" = 10'		OF 2

NOTE: DESIGNTEK MAKES NO REPRESENTATION AS TO ACCURACY OF DIMENSIONS SHOWN HEREON. FOR ACTUAL DIMENSIONS OF HOME REFER TO FOUNDATION PLAN PREPARED BY OTHERS. FOUNDATION PLAN SHOWN WAS RECEIVED ON AUGUST 31, 2022 FROM IDEAL CUSTOM DESIGNS.

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS
 COUNTY OF WILL

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 19th DAY OF SEPTEMBER, 2022

SCOTT D. SCHREINER
 062-049702
 Exp. 11/30/25

L:\Projects\2022\22-0577\Engineering\Unsub\Unsub.dwg Plot Date: 9/19/2022 11:41:36 AM By: scdsh

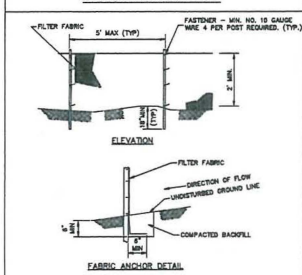
EXISTING CONDITIONS, REMOVAL & EROSION CONTROL PLAN

EXISTING	PROPOSED

RECEIVED
By Christopher Gruba at 2:56 pm, Oct 19, 2022

BENCHMARKS
SITE BENCHMARK: FOUND MAG NAIL NEAR THE NORTHEAST CORNER OF THE PROJECT SITE, SHOWN HEREON. ELEVATION: 755.21 (NAVD 88)

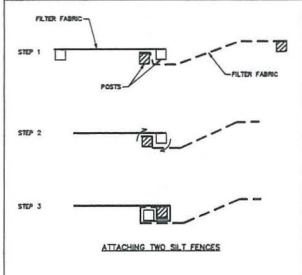
SILT FENCE PLAN



NOTES:

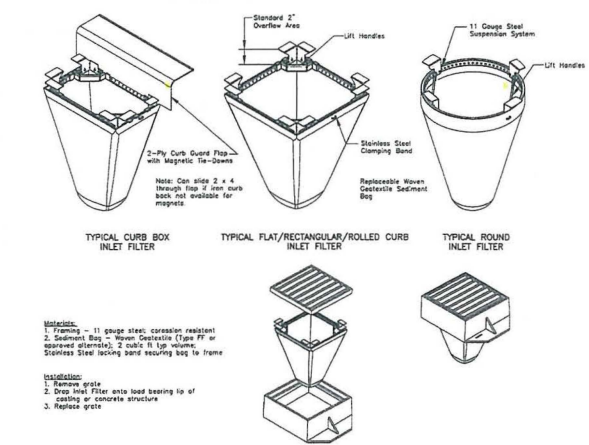
- TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE RESTORATION.
- FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 629 (SEE SUPPLEMENTAL SPECIFICATIONS TO DIVISION 31) AND BE INSTALLED WITH ENHANCED OPENING SIZE OF AT LEAST 1/8" (SEE SUPPLEMENTAL SPECIFICATIONS TO DIVISION 31).
- FENCE POSTS SHALL BE NERVO STAINLESS STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.9 SQ. IN.

SILT FENCE



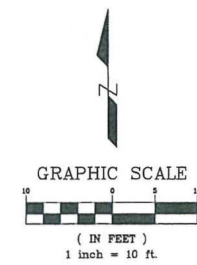
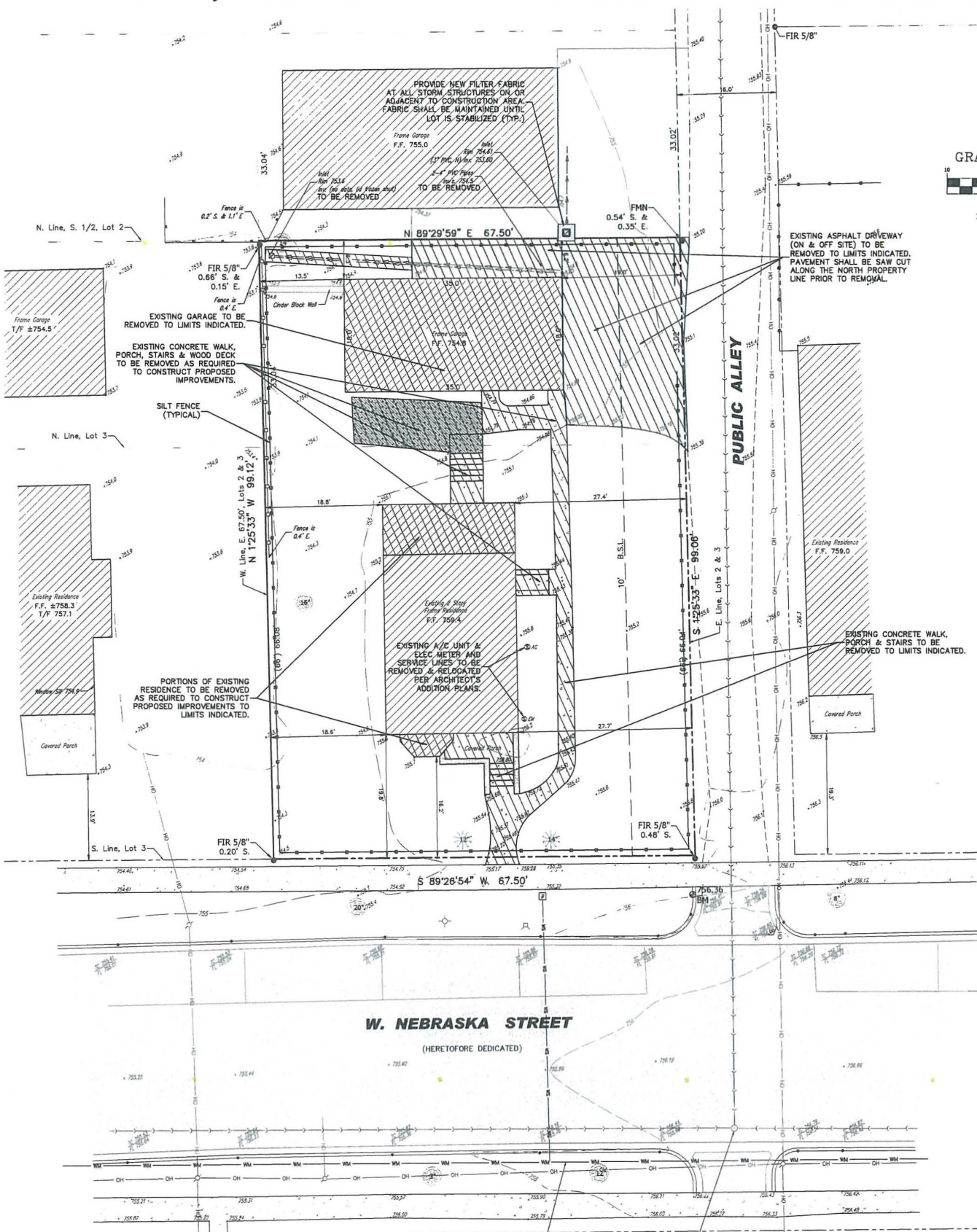
NOTES:

- PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE.
- REMOVE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO DIGGLE A TIGHT SEAL WITH THE FABRIC MATERIAL.
- DRIVE BOTH POSTS A MINIMUM OF 18 INCHES INTO THE GROUND AND BURY THE FABRIC.



INSTALLATION:

- Remove grate.
- Drop inlet filter into load bearing to of existing or concrete structure.
- Replace grate.



NOTES:

EROSION CONTROL TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION.

CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION TO DETERMINE IF ANY CONFLICTS EXIST. THE DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION, CONTACT JULIE, TOLL FREE: 1-800-892-0123.

EXISTING TOPOGRAPHIC SURVEY PREPARED BY DESIGNTek ENGINEERING, INC. (708) 326-4961; FIELD WORK WAS COMPLETED ON AUGUST 9, 2022.

OWNER:
ROBERT PLANTZ
(708) 921-0162

BASIS OF BEARING

THE BASIS OF BEARING IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

SITE DATA

AREA: 6,687 SQUARE FEET OR 0.1535 ACRES

PARCEL IDENTIFICATION NUMBER

19-09-28-204-005-0000

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9030 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4962
IL Prof. Lic. No: 184-C03740

REVISION

213 W. NEBRASKA STREET
FRANKFORT, ILLINOIS

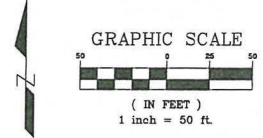
DETAILED GRADING PLAN

DRAWN DEI	CHECKED SDS	PROJECT NO. 22-0577
DATE: 09-19-22	SHEET 2	
SCALE: 1" = 10'	OF 2	

Call Before You Dig

JULIE
ILLINOIS ONE-CALL SYSTEM

CALL 1-800-892-0123 or 811
AT LEAST 48 HOURS (2 WORKING DAYS) BEFORE YOU DIG
WWW.ILLINOISCALL.COM



LEGEND

- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- SIP SET 5/8" x 24" IRON PIPE
- SMN SET MAG. NAIL
- + FCC FOUND CUT CROSS
- SCM CONCRETE MONUMENT
- BOUNDARY LINE
- LOT OR DEED LINE
- RECORD LOT LINE
- RIGHT-OF-WAY LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE

ABBREVIATIONS

- FD. FOUND RECORD DIMENSION
- (###)### MEASURED DIMENSION
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD OR PIN
- P.U. PUBLIC UTILITY
- D.E. DRAINAGE EASEMENT
- B.S.L. BUILDING SETBACK LINE
- SQ. FT. SQUARE FEET
- N NORTH
- S SOUTH
- E EAST
- W WEST

PARCEL IDENTIFICATION NUMBER
19-09-28-204-005-0000

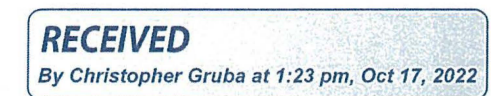
BASIS OF BEARING
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

SITE DATA
AREA: 6,687 SQUARE FEET

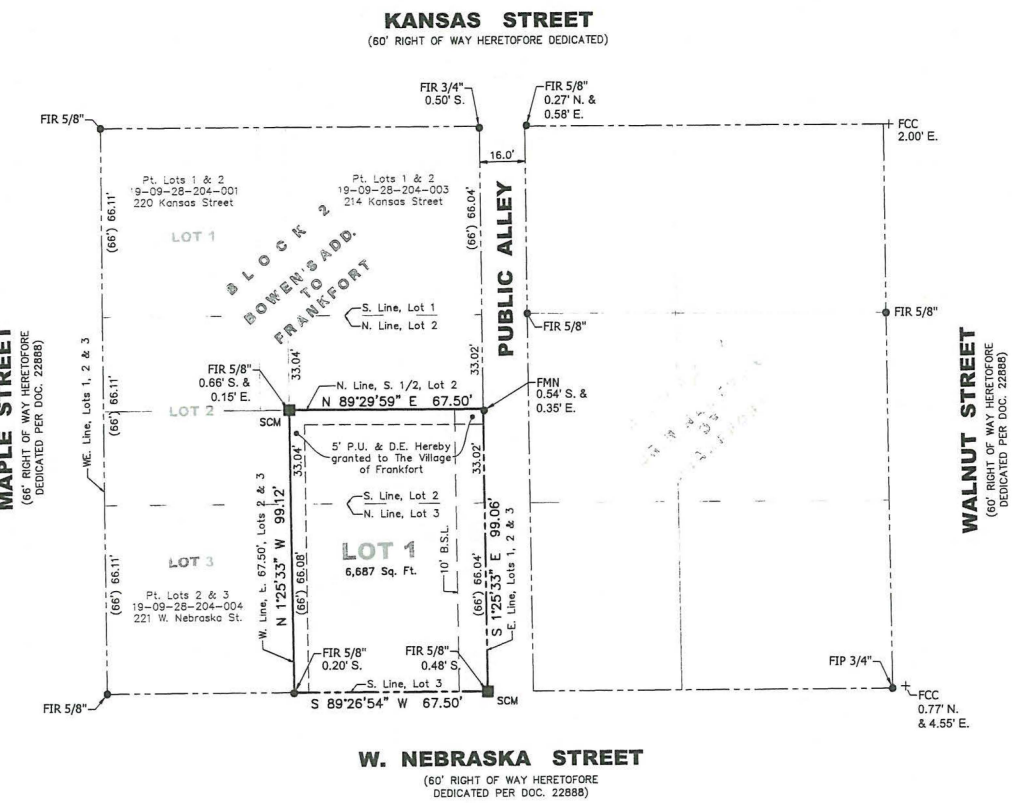
R-2 ZONING DATA
FRONT YARD SETBACK: 30 FEET
SIDE YARD SETBACK: TOTAL OF 25 FEET (NOT LESS THAN 10 FEET ON ANY SIDE)
REAR YARD SETBACK: 30 FEET

PRELIMINARY & FINAL PLAT OF PLANTZ RE-SUBDIVISION

BEING A RE-SUBDIVISION THE EAST 67.5 FEET OF THE SOUTH 1/2 OF LOT 2 AND THE EAST 67.5 FEET OF LOT 3, IN BLOCK 2, IN BOWEN'S ADDITION TO THE VILLAGE OF FRANKFORT, IN THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



RESERVED FOR THE RECORDER OF WILL COUNTY



OWNER'S & SCHOOL DISTRICT NOTARY PUBLIC CERTIFICATE

State of Illinois)
County of Will) SS

I, _____ a Notary Public in and for the said county and state aforesaid, do hereby certify that _____ and _____ who is (are) personally known to me to be the same person(s) whose name(s) are subscribed to the foregoing instrument as such owner(s), appeared before me this _____ day in person and acknowledged that he (she) (they) signed and delivered the said instruments as his (her) (their) own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this _____ day of _____, A.D., 20____

Notary Public

VILLAGE BOARD CERTIFICATE

State of Illinois)
County of Will) SS

Approved by the Mayor and the Board of Trustees of the Village of Frankfort, Illinois on this _____ day of _____, A.D., 20____

Mayor _____ Attest: Village Clerk _____

WILL COUNTY CLERK

State of Illinois)
County of Will) SS

This is to certify that I find no delinquent or unpaid current taxes against any of the real estate described in the foregoing certificate.

Dated this _____ day of _____, A.D., 20____

Will County Clerk _____

PLAN COMMISSION CERTIFICATE

State of Illinois)
County of Will) SS

I, _____, Chairman of the Village of Frankfort Plan Commission, do certify that on this _____ of _____, A.D., 20____ this plat of subdivision was duly approved by the Plan Commission of the Village of Frankfort.

Chairman _____

TAX MAPPING CERTIFICATE

State of Illinois)
County of Will) SS

I, _____ do hereby certify that I have checked the legal description of the final plat and find that said plat to be a true and correct representation of the subdivision as made by the surveyor.

The property hereon described is located on Tax Map _____ and identified as permanent real estate tax number(s) 19-09-28-204-005-0000

Dated this _____ day of _____, A.D., 20____

Director _____

EASEMENT PROVISIONS

An easement for saving the subdivision and other property with electric and communication service is hereby reserved for and granted to Commonwealth Edison Company and SBC - Ameritech Illinois a.k.a. Illinois Bell Telephone Company, Grantees, their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements"; and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlets", "common elements", "open space", "open area", "common ground", "parking" and "common area". The term "common area or areas", and "Common Elements" includes real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by Grantee at cost of the Grantor/Lot Owner, upon written request.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

Easements are hereby reserved for and granted to the Village of Frankfort, Illinois and to these public utility companies operating under franchises from the Village of Frankfort, including, but not limited to, Comed, Ameritech, Nicor, Comcast and their respective successors and assigns, over all of the areas marked "Public Utility Easement" or "P.U.E." on the plat for the perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain and operate various utility transmission and distribution systems, community antenna television systems and including storm and/or sanitary sewers, together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village, over, upon, along, under and through said indicated easements, together with right of access across the property for necessary personnel and equipment to do any of the above work.

The right is also granted to cut down, trim or remove any trees, shrubs or other plants on the easements that interfere with the operation of the sewers or other utilities.

No permanent buildings or obstructions shall be placed on said easements without prior written consent of grantees, but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid uses or rights, after installations of such facilities, the grade of said easement shall not be altered in a manner as to interfere with the proper operation and maintenance thereof.

Where an easement is used both for sewers and other utilities, the other utility installation shall be subject to the ordinances of the Village of Frankfort.

Easements are hereby reserved for and granted to the Village of Frankfort and other governmental authorities having jurisdiction of the land subdivided hereby, over the entire easement area for ingress, egress and the performance of municipal and other governmental services, including water, storm and sanitary sewer service and maintenance.

NICOR EASEMENT PROVISIONS

An easement is hereby reserved for and granted to NICOR GAS COMPANY OF ILLINOIS, its successors and assigns, in all platted "easement" areas, streets, alleys, other public ways and places shown on this plat, said easement to be for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances for the purpose of serving all areas shown on this plat as well as other property, whether or not contiguous thereto. No buildings or other structures shall be constructed or erected in any such "easement" areas, streets, alleys, or other public ways or places nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

RECORDER'S CERTIFICATE

State of Illinois)
County of Will) SS

This instrument, No. _____ was filed for record in the Recorder's Office of Will County, Illinois on the _____ day of _____, A.D. 20____ at _____ o'clock _____ m and was recorded in Book _____ of Plats on Page _____

Will County Recorder _____

SURVEYOR'S CERTIFICATE

State of Illinois)
County of Will) SS

This is to certify that I, Steven J. Laub, an Illinois Professional Land Surveyor, No. 035-003160, have surveyed and re-subdivided the following described property:

The East 67.5 feet of the South 1/2 OF Lot 2 and the East 67.5 feet of Lot 3, IN Block 2, in Bowen's Addition to the Village of Frankfort, located in the West 1/2 of the Northeast 1/4 of Section 28, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded January 9, 1896 AS Document No. 22888, in Will County, Illinois.

as shown by the annexed plat which is a correct representation of said survey and re-subdivision.

I further certify that this re-subdivision lies within the Village limits or within 1.5 miles of the corporate limits of the Village of Frankfort, Illinois, which has adopted a municipal plan and is exercising special powers authorized by Article 11, Division 12 of the Illinois municipal code, as now and hereafter amended and that all regulations enacted by the Village of Frankfort relative to plats and subdivisions have been complied with in the preparation of this plat.

I further certify that iron pipes 1" (o.d.) x 24" will be set at all lot corners except where concrete monuments are indicated, and that the plat hereon drawn correctly represents said survey and re-subdivision.

I further certify that the subject property lies within Zone "X" (Area of Minimal Flood Hazard) as defined by the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM) of the Village of Frankfort, Map Number 17197C0326G, Effective Date of February 15, 2019.

Dimensions are given in feet and decimal parts thereof and all curve lengths shown are arc dimensions.

Given under my hand and seal at Mokena, Illinois, this 11th day of August, A.D., 2022

Steven J. Laub
Illinois Professional Land Surveyor No. 035-003160
License expires on November, 30, 2022



This professional service conforms to the current Illinois minimum standards for boundary surveys.

OWNER'S & SCHOOL DISTRICT CERTIFICATE

State of Illinois)
County of Will) SS

I, Robert A. Plantz, as legal title holders to the property hereon described in the Surveyor's certificate, do hereby certify that we have caused said property to be surveyed, re-subdivided and platted as shown and indicated thereon, for the purposes therein set forth, and do hereby acknowledge and adopt the same under the style and title thereon indicated.

This is to additionally certify that as owners of the property hereon described in the surveyor's certificate and known as Plantz Re-subdivision, to the best of knowledge, is located within the boundary of Frankfort Community Consolidated School District 157C

Lincolnway Community High School District 210

Joliet Junior College District 525

Dated at _____ this _____ day of _____, 20____

By: _____
Ronald A. Plantz

Submitted by: RONALD A. PLANTZ
1033 S. BUTTERNUT CIR
FRANKFORT, IL 60423

Return the original Mylar to: DESIGNTEK ENGINEERING, INC.
9930 W. 190TH STREET, STE. L
MOKENA, ILLINOIS

Send all future tax bills to: RONALD A. PLANTZ
1033 S. BUTTERNUT CIR
FRANKFORT, IL 60423

REVISONS	NO.	DATE	DESCRIPTION

ROBERT PLANTZ

PRELIMINARY / FINAL PLAT FOR 213 W. NEBRASKA STREET FRANKFORT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4692
ILL. PROF. LIC. NO.: 1B4-003740

DEI

PROJECT INFORMATION
Project No.: 22-0577
Scale: 1" = 10'
Date: 08/10/2022
Field Date: 08/09/2022
Drawn By: SJL
Checked By: TS

1 OF 1

EXISTING CONDITIONS

L:\Projects\2022\22-0577\Survey\Map\Subdivision\22-0577 Plats\10/17/2022 11:12:35 AM By: Steve

MAYOR'S REPORT

NOVEMBER 7, 2022

1. Liquor Ordinance Amendment: Reduction of Class "F-2" Liquor Licenses

In my capacity as Liquor Commissioner, I entertain a motion from the floor to adopt an amendment to the Liquor Ordinance authorizing a reduction in the number of Class F-2 liquor licenses (grocery store) from three to two, to reflect the closing of Butera Fruit Market.

Motion: *Waive the First and Second Readings and pass an Ordinance amending the Village of Frankfort Code of Ordinances, Chapter 113: Intoxicating Liquor, to reduce the number of Class F-2 liquor licenses from three to two.*

2. Leaf and Branch Pickup Update

The leaf pickup program began on October 17 and will continue until November 28. One final branch collection is scheduled for the week of November 28.

3. Veteran's Day Concert Scheduled for November 10

The Hickory Creek Middle School Band and Orchestra will host its annual Veteran's Day Concert on Thursday, November 10. The concert begins at 6:00 P.M. at the school, located at 22150 116th Avenue, and is free to the public. Mayor Ogle will narrate the Veteran's Day portion of the concert. Veterans are encouraged to attend.

4. Save the Date! Shop Small Business Saturday Event

The Frankfort Historic Business Association will once again have specials for the "Shop Small Business Saturday" event scheduled for Saturday, November 26. This national event recognizes small businesses and encourages customers to shop at small businesses throughout their community.

ORDINANCE NO. 33XX

AN ORDINANCE AMENDING THE VILLAGE OF FRANKFORT CODE OF ORDINANCES, CHAPTER 113: INTOXICATING LIQUOR

WHEREAS, it is important for the Village of Frankfort to periodically review business regulations regarding intoxicating liquor as contained in the Code of Ordinances to ensure the health, safety and welfare of its citizens are maintained; and

WHEREAS, the President and Board of Trustees of the Village of Frankfort have reviewed an amendment to the limitation of the number of Class F-2 (Grocery Store) liquor licenses permitted in the Village; and

WHEREAS, these same Corporate Authorities have deemed that an amendment to the Code of Ordinances, Chapter 113, is in the best interest of the citizens of the Village of Frankfort.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. SECTION 113.20 LIMITATION ON NUMBER OF LICENSES

Chapter 113, Intoxicating Liquor, Section 113.20 (A) of the Code of Ordinances for the Village of Frankfort currently reads in its entirety as follows per passage of Ordinance No. 3363, dated August 1, 2022:

- (A) There shall be available for issuance the following number of licenses for each of the following classifications:
- (1) There shall be issued in the Village not more than one Class A-1 license and not more than zero Class A-2 licenses.
 - (2) There shall be issued in the Village not more than one Class B-1 license and not more than one Class B-2 licenses.
 - (3) There shall be issued in the Village not more than eight Class C-1 licenses and not more than six Class C-2 licenses.
 - (4) There shall be issued in the Village not more than one Class D-1 licenses, not more than one Class D-2 license, not more than zero Class D-3 license, and not more than one D-4 license.
 - (5) There shall be issued in the Village not more than four Class E-1 licenses, not more zero one Class E-2 licenses, not more than one Class E-3 licenses; and not more than zero E-4 licenses.
 - (6) There shall be issued in the Village not more than zero Class F-1 license, three Class F-2 licenses, zero Class F-3 licenses, three Class F-4 licenses, and one Class F-5 license.
 - (7) There shall be issued in the Village not more than zero Class G licenses.
 - (8) There shall be issued in the Village not more than one Class H license.
 - (9) There is no limitation upon the number of Class I licenses, but their issuance is entirely within the reasonable discretion of the Local Liquor Control Commissioner; not more than zero Class I-2 and not more than zero Class I-3 licenses.

- (10) There shall be issued in the Village not more than one Class J license.
- (11) There shall be issued in the Village not more than one Class K license.
- (12) There shall be issued in the Village not more than zero Class L licenses.
- (13) There shall be issued in the Village not more than zero Class M licenses.
- (14) There shall be issued in the Village not more than zero Class N licenses.
- (15) There shall be issued in the Village not more than zero Class O licenses.

Section 113.20 (A), paragraph (6), of the Code of Ordinances for the Village of Frankfort, is hereby amended to read as follows:

- (6) There shall be issued in the Village not more than zero Class F-1 license, not more than two Class F-2 licenses, not more than zero Class F-3 licenses, not more than three Class F-4 licenses, and not more than one Class F-5 license.

SECTION 2. PENALTY

In addition to and not in lieu of any other remedies available to the Village under this Ordinance or law, any person or entity found to have violated any provision of this Ordinance shall be fined not less than \$250 not more than \$750, with each day of violation constituting a separate offense.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 5. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2022; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI _____

MARGARET M. FARINA _____

MICHAEL LEDDIN _____

JESSICA PETROW _____

DANIEL ROSSI _____

EUGENE SAVARIA _____

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of _____, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK