

**VILLAGE OF FRANKFORT – REGULAR MEETING
AGENDA**

**Monday, October 3, 2022
7:00 P.M.**

**Village Administration Building
Village Board Room
432 W. Nebraska Street, Frankfort, IL**

1. Call to Order & Roll Call
2. Pledge of Allegiance

3. Unanimous Consent Agenda

All items on the Consent Agenda are considered to be routine in nature and will be enacted in one motion. There will be no separate discussion of these items unless a board member so requests, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Motion: Motion to approve the Consent Agenda as presented.

A. Approval of Minutes

1. Regular Meeting (September 19, 2022)

B. Approval of Bills/Payroll

C. Plan Commission Report Summary

1. Oltman Residence Multiple Zoning Variances: 240 Center Road – Ordinance (Waive 1st and 2nd Readings)
 - a. First Floor Building Materials Variance
 - b. Roof Materials Variance
 - c. Driveway Setback Variance
 - d. Driveway Turning Radius Variance
2. Pic & Plā Special Use Permit for Indoor Recreation: 21800 S. LaGrange Road - Ordinance (Waive 1st and 2nd Readings)
3. Oasis Senior Living, Inc. – 8531 W. Lincoln Highway
 - a. Special Use Permit for an Assisted Living Facility – Ordinance (Waive 1st and 2nd Readings)
 - b. Oasis Frankfort Subdivision – Final Plat Approval

4. Plan Commission Report Summary (*Tabled from September 19, 2022*)

- A. Opa! Major PUD Change for Brookside Commons: 10235 W. Lincoln Highway – Ordinance (Waive 1st and 2nd Readings)

5. Mayor’s Report

6. Board Comments

7. Village Administrator’s Report

8. Police Department Report

9. Attorney's Report

10. Other Business

11. Public Comments

12. Adjournment

VILLAGE OF
FRANKFORT
EST. 1855

**MINUTES OF THE REGULAR FRANKFORT VILLAGE BOARD MEETING
SEPTEMBER 19, 2022**

CALL TO ORDER

Mayor Keith Ogle called the regular meeting of the Frankfort Village Board to order on Monday, September 19, 2022, at 7:01 P.M., at the Village Administration Building, 432 W. Nebraska Street, Frankfort, Illinois.

REQUEST FOR ELECTRONIC ATTENDANCE & PARTICIPATION

Village Clerk Katie Schubert reported Trustee Jessica Petrow submitted an Electronic Attendance Request to electronically attend the September 19, 2022 regular meeting of the Village Board.

After being duly identified by image with audio capabilities in a video conference, Trustee Petrow stated the reason for not being physically present was because of employment purposes.

ROLL CALL

Village Clerk Katie Schubert called the roll. The following were in attendance: In attendance were Mayor Keith Ogle, Clerk Katie Schubert, Trustees Margaret Farina, Michael Leddin, Daniel Rossi, and Gene Savaria. Also in attendance were Attorney George Mahoney, Attorney Hannah Lamore, Police Chief Leanne Chappis, Administrator Kevin Piscia, and Asst. Administrator John Burica. In attendance by means of video conference Trustee Jessica Petrow.

Clerk Schubert noted a quorum of the public body was physically present.

PARTICIPATION BY BOARD MEMBER VIA ELECTRONIC CONFERENCING

Mayor Ogle entertained a motion from the floor to allow Trustee Petrow to participate and vote by means of electronic conferencing.

Trustee Savaria made a motion (#1), seconded by Trustee Rossi, to approve participation and voting via electronic conferencing by Trustee Petrow.

Clerk Schubert called the roll. Ayes: Trustees Farina, Leddin, Rossi, and Savaria. Nays: None. The motion carried.

ROLL CALL FOLLOWING APPROVAL FOR PARTICIPATION AND VOTING VIA ELECTRONIC CONFERENCING

Clerk Schubert called the roll. In attendance were Mayor Keith Ogle, Clerk Katie Schubert, Trustees Adam Borrelli, Margaret Farina, Michael Leddin, Jessica Petrow, Daniel Rossi, and Gene Savaria.

APPROVAL OF SPECIAL ORDERS – UNANIMOUS CONSENT AGENDA

All items on the Omnibus Agenda are considered to be routine in nature and are enacted in one motion. There is no separate discussion of these items unless a board member makes a request, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Trustee Savaria requested item D (3) - Opa! Major PUD Change for Brookside Commons be removed from the Consent Agenda.

A. Approval of Minutes

1. Regular Meeting (September 6, 2022)

B. Approval of Bills/Payroll - \$1,431,592.35/\$45,000.00 - 16

C. Committee of the Whole Report

1. Disposal of Surplus Vehicles – Ordinance (Waive 1st and 2nd Readings)

Accept the recommendation of the Committee of the Whole, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3368) AUTHORIZING THE DISPOSAL OF CERTAIN SURPLUS PROPERTY OWNED BY THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS.

2. St. Francis Road Resurfacing Project – Resolution

Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 22-26) AUTHORIZING THE EXECUTION OF AN IDOT RESOLUTION FOR IMPROVEMENT UNDER THE ILLINOIS HIGHWAY CODE AND A LOCAL PUBLIC AGENCY ENGINEERING SERVICES AGREEMENT FOR AN APPROPRIATION OF \$76,000.00 IN MOTOR FUEL TAX FUNDS, for Phase I and Phase II Design Engineering Services, including pavement cores, for the resurfacing of St. Francis Road from U.S. Route 45 (LaGrange Road) to 88th Avenue.

3. 2022 Sanitary Sewer Lining Project: Contract Award - Resolution

Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 22-27) AUTHORIZING THE EXECUTION OF A CONTRACT WITH VISU-SEWER OF ILLINOIS, LLC, RELATED TO THE 2022 SANITARY SEWER LINING PROJECT, for the rehabilitation of approximately 6,000 linear feet of sanitary sewer in the Prestwick Subdivision and Industrial area, in the amount of \$369,310.00.

4. Illinois Transportation Enhancement Program (ITEP) Grant: Sauk Trail Bike Path Project Approval – Resolution

Accept the recommendation of the Committee of the Whole and adopt A RESOLUTION (NO. 22-28) IN SUPPORT OF THE VILLAGE OF FRANKFORT’S APPLICATION TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION FOR FUNDING UNDER THE ILLINOIS TRANSPORTATION ENHANCEMENT PROGRAM GRANT FOR THE SAUK TRAIL BIKE PATH PROJECT AND AUTHORIZING THE APPROPRIATION OF VILLAGE CAPITAL FUNDS, in the estimated amount of \$286,000.00, for the local sponsor’s share of the project costs.

D. Plan Commission Report Summary

1. Kerley Residence Multiple Variances and Final Plat Approval: 25 Carpenter Street - Ordinance (Waive 1st and 2nd Readings)

Accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3369) GRANTING MULTIPLE VARIANCES TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (KERLEY RESIDENCE – 25 CARPENTER STREET), granting a front-yard setback variance from the 30-foot requirement to 10.2 feet; a side yard setback variance from the 15-foot requirement to 19.4 feet; a lot coverage variance from 20% to 29% and a building materials variance to permit the use of non-masonry siding on the first floor, in conjunction with a proposed addition and remodel of the existing residential home. In accordance with the reviewed plans, public testimony, and Findings of Fact.

Accept the Plan Commission recommendation and approve the 25 Carpenter Street Subdivision Final Plat, prepared by M. Ringerich Gereaux & Associates, dated 08.18.2022, in accordance with the reviewed plans and subject to any necessary technical revisions prior to recording.

2. Facen4Ward Venues Special Use Permit for Indoor Entertainment: 20871 S. LaGrange Road - Ordinance (Waive 1st and 2nd Readings)

Accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3370) GRANTING A SPECIAL USE PERMIT FOR INDOOR ENTERTAINMENT (EVENT SPACE) TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (FACEN4WARD VENUES, LLC – 20871 S. LAGRANGE ROAD), within the Butera Center Plaza to permit the business operation of Facen4Ward Venues, in accordance with the reviewed plans, public testimony, and Findings of Fact, with the following conditions: soundproofing on the east and west walls shall be installed to the ceiling of the building; and loud music must end by 8:00 P.M. from Sunday through Thursday and by 10:00 P.M. on Friday and Saturday.

3. Opa! Major PUD Change for Brookside Commons: 10235 W. Lincoln Highway – Ordinance (Waive 1st and 2nd Readings) – Removed from Consent Agenda

Trustee Farina made a motion (#2), seconded by Trustee Savaria, to approve the Unanimous Consent Agenda.

Trustees Borrelli, Farina, Leddin, Rossi, and Savaria presented a brief overview of the consent agenda docket items under consideration for approval.

Mayor Ogle invited trustee comment on the consent agenda docket items prior to a vote being taken.

Trustee Borrelli commented on the good turnout for the Open House held earlier this evening for the Sauk Trail Bike Project, voicing his support of the project.

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Farina, Leddin, Petrow, Rossi, and Savaria. Nays: None. The motion carried.

OPA! MAJOR PUD CHANGE FOR BROOKSIDE COMMONS: 10235 W. LINCOLN HIGHWAY - ORDINANCE

Trustee Savaria presented a brief overview of the Opa! Major PUD Change for the Brookside Commons Planned Unit Development. He reported applicant George Karuntzos proposes a building addition and relocation of the outdoor patio for the existing Opa! restaurant, located at 10235 W. Lincoln Highway, within the Brookside Commons development. The project would involve enclosing the existing 670 square foot patio and constructing a new 324 square foot outdoor seating area adjacent to it. To accommodate the proposed improvements, the applicant requests the granting of a Major PUD Change.

At the September 8th Public Hearing on the project, the Commissioners reviewed the proposed Major PUD Change for the Brookside Commons development and forwarded a split (4-1) recommendation to the Village Board to approve the Major PUD Change, subject to final engineering approval and the restaurant not opening before 3:00 P.M. The applicant was amendable to not opening before 3:00 P.M., Monday through Friday. The dissenting vote was because of the proposed patio and additional seating request.

Mayor Ogle noted the applicant was not present at the meeting and suggested for the item to be tabled.

Trustee Farina made a motion (#3), seconded by Trustee Savaria, to table consideration of the Opa! Major PUD Change for the Brookside Commons Planned Unit Development to the next regular Village Board meeting on October 3, 2022.

Mayor Ogle invited board comment on the item prior to a vote being taken. Attorney Mahoney stated the motion to table the matter has precedence.

Mayor Ogle suggested for board members to forward any comments regarding the Major PUD Change to staff who will convey the information to the applicant.

Trustee Petrow felt it is best practice, whether the item is on the consent agenda or not, for staff to communicate to applicants that they should be present when their item goes before the Village Board.

Mayor Ogle called for a vote.

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Farina, Leddin, Petrow, Rossi, and Savaria. Nays: None. The motion carried.

Mayor Ogle stated the matter is tabled until the next regular Village Board meeting on October 3, 2022, and staff will convey any comments received from the trustees to the applicant.

MAYOR'S REPORT

- Mayor Ogle announced Cruisin' Frankfort will end its 2022 season on Monday, September 26, from 5:00 P.M. to 8:00 P.M. in downtown Frankfort.
- Mayor Ogle reported the Frankfort Country Market continues every Sunday in downtown Frankfort, from 9:00 A.M. to 1:00 P.M. through October 2. He encouraged the community to join the Frankfort Police Department for "Court Market with a Cop" on Sunday, September 25, from 10:00 A.M. to 11:30 A.M.
- Mayor Ogle invited the public to register for the "Scary on the Prairie 5K Costume Run & Spooky Sprint" event in downtown Frankfort on Saturday, October 22.
- Mayor Ogle congratulated Chelsea Intermediate School 157-C for being recognized as a 2022 National Blue Ribbon School for academic excellence. He noted Chelsea Intermediate School is one of only 17 schools in Illinois to be identified as a National Blue Ribbon School.
- Mayor Ogle gave a shout out to Andy Pavlacka for sharing a beautiful photo he had taken of Arrowhead Bridge at sunset.
- Mayor Ogle wished Josie a Happy 90th Birthday.

BOARD COMMENTS

The Village Board extended congratulations to Chelsea Intermediate School for being named a National Blue Ribbon School.

Clerk Schubert reported three trustee seats for the Village of Frankfort will be elected at the April 4, 2023 Consolidated Election. She stated petition circulation for residents seeking election begins tomorrow, September 20, 2022, noting petition packets are available at the Village Hall during regular business hours. The 2023 Candidate's Guide provides information for candidates seeking office, which is available at www.elections.il.gov.

Trustee Leddin commented on the Illinois Municipal League's (IML) Annual Conference held September 15-17, voicing his appreciation for the opportunity to attend the conference.

Trustee Savaria announced his daughter and son-in-law are expecting their first child, voicing his excitement of being a first-time grandfather.

Trustee Farina gave a shoutout to the Forest Preserve District of Will County for hosting "Make Trail Moments on the Old Plank" event held on Saturday, September 17, in downtown Frankfort.

Trustee Petrow congratulated the Lincoln-Way East Griffins for their homecoming victory over Andrew High School. She commented on the IML Annual Conference, and the educational sessions provided. She requested consideration to discuss some of the lessons learned from the sessions at a future committee meeting.

Trustee Borrelli also commented on the IML Annual Conference held over the weekend and the outstanding educational and networking opportunities for municipal officials. He expressed concerns regarding the Safety, Accountability, Fairness and Equity Today Act (SAFE-T) and the unique challenges of passing a trailer bill.

Trustee Rossi encouraged residents to attend the musical production of *Theory of Relativity* at Lincoln-Way East High School on Saturday, September 24 and October 1, at 7:00 P.M.

Mayor Ogle expanded on Trustee Borrelli's comments relating to the SAFE-T Act, noting the Village has had concerns regarding portions of the Act for the past two years, and the Village Board has been encouraged to contact our legislative representatives regarding those concerns. He also voiced his support of Will County State Attorney James Glasgow and his efforts to address the issues with public safety contained in the SAFE-T Act.

VILLAGE ADMINISTRATOR REPORT

Administrator Piscia advised community members that the repaving of Old Plank Road Trail from Harlem Avenue to Schoolhouse Road, which was scheduled to begin this week, has been delayed. Administrator Piscia thanked residents who attended the Open House for the ITEP grant for the proposed Sauk Trail Bike Path project earlier this evening and he encouraged anyone interested in submitting comments for the project to contact Director Mike Schwarz at the Village Hall.

POLICE DEPARTMENT REPORT

Chief Chelepis invited residents to attend the "Country Market with a Cop" event on Sunday, September 25, from 10:00 A.M. to 11:30 A.M., noting it's a nice opportunity to meet the men and women of the Frankfort Police Department. She reminded residents to close overhead garage doors, lock their vehicles and doors, and never leave keys/key fobs inside of vehicles.

VILLAGE ATTORNEY'S REPORT

Village Attorney Lamore had no report.

OTHER BUSINESS

Trustee Borrelli asked if there was any additional information or follow-up from Jill Plesha regarding her purchase proposal for the 2 Smith Street property. Administrator Piscia reported no additional information has been provided. Mayor Ogle noted the matter will be placed on next month's Committee of the Whole agenda for further discussion.

PUBLIC COMMENT

No public comments were addressed to the Village Board.

ADJOURNMENT

Hearing no further business, Trustee Farina made a motion (14), seconded by Trustee Savaria, to adjourn the regular board meeting of Monday, September 19, 2022.

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Farina, Leddi, Petrow, Rossi, and Savaria. Nays: None. The motion carried. The meeting adjourned at 8:28 P.M.

Katie Schubert
Village Clerk

As Presented

As Amended

Keith Ogle, Village President

Katie Schubert, Village Clerk

FRANKFORT FINANCIAL SYSTEM
09/30/2022 09:52:36

Schedule of Bills

VILLAGE OF FRANKFORT
GL060S-V08.17 RECAPPAGE
GL540R

FUND RECAP:

FUND	DESCRIPTION	OCTOBER 3, 2022 DISBURSEMENTS
01	GENERAL CORPORATE FUND	253,904.70
23	MOTOR FUEL TAX FUND	4,089.12
31	CAPITAL DEVELOPMENT FUND	2,160,953.47
62	SEWER & WATER OPER. & MAINT.	155,497.98
TOTAL ALL FUNDS		2,574,445.27

Draft

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
AIS								
	MANAGED SERV-ENDPT-OCT	70.72	SOFTWARE SUPPORT	01.412.4753		77553		549 00004
	MANAGED SERV-ENDPT-OCT	70.73	SOFTWARE SUPPORT	01.413.4753		77553		549 00004
	MANAGED SERV-ENDPT-OCT	70.73	SOFTWARE SUPPORT	01.441.4753		77553		549 00004
	MANAGED SERV-ENDPT-OCT	70.73	SOFTWARE SUPPORT	01.442.4753		77553		549 00004
	MANAGED SERV-ENDPT-OCT	70.73	SOFTWARE SUPPORT	01.461.4753		77553		549 00004
	MANAGED SERV-ENDPT-OCT	70.68	SOFTWARE SUPPORT	62.491.4753		77553		549 00004
	MANAGED SERV-ENDPT-OCT	70.68	SOFTWARE SUPPORT	62.492.4753		77553		549 00004
	MANAGED SERV-USER-OCT	121.50	SOFTWARE SUPPORT	01.412.4753		77553		549 00005
	MANAGED SERV-USER-OCT	27.00	SOFTWARE SUPPORT	01.413.4753		77553		549 00005
	MANAGED SERV-USER-OCT	63.00	SOFTWARE SUPPORT	01.441.4753		77553		549 00005
	MANAGED SERV-USER-OCT	27.00	SOFTWARE SUPPORT	01.442.4753		77553		549 00005
	MANAGED SERV-USER-OCT	54.00	SOFTWARE SUPPORT	01.461.4753		77553		549 00005
	MANAGED SERV-USER-OCT	85.50	SOFTWARE SUPPORT	62.491.4753		77553		549 00005
	MANAGED SERV-USER-OCT	72.00	SOFTWARE SUPPORT	62.492.4753		77553		549 00005
	BACKUP SERVICE-OCT 2022	245.66	SOFTWARE SUPPORT	01.412.4753		77554		549 00001
	BACKUP SERVICE-OCT 2022	245.62	SOFTWARE SUPPORT	01.413.4753		77554		549 00001
	BACKUP SERVICE-OCT 2022	245.62	SOFTWARE SUPPORT	01.441.4753		77554		549 00001
	BACKUP SERVICE-OCT 2022	245.62	SOFTWARE SUPPORT	01.442.4753		77554		549 00001
	BACKUP SERVICE-OCT 2022	245.62	SOFTWARE SUPPORT	01.461.4753		77554		549 00001
	BACKUP SERVICE-OCT 2022	245.62	SOFTWARE SUPPORT	62.491.4753		77554		549 00001
	BACKUP SERVICE-OCT 2022	245.62	SOFTWARE SUPPORT	62.492.4753		77554		549 00001
	BACKUP SERVICE-OCT 2022	245.62	SOFTWARE SUPPORT	01.421.4753		77554		549 00001
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	01.412.4753		77628		549 00002
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	01.413.4753		77628		549 00002
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	01.441.4753		77628		549 00002
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	01.442.4753		77628		549 00002
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	01.461.4753		77628		549 00002
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	62.491.4753		77628		549 00002
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	62.492.4753		77628		549 00002
	T&M-ONSITE SUPPORT-AUG	285.00	SOFTWARE SUPPORT	01.421.4753		77628		549 00002
	REMOTE SUPPORT-AUG	20.38	SOFTWARE SUPPORT	01.412.4753		77628		549 00003
	REMOTE SUPPORT-AUG	20.36	SOFTWARE SUPPORT	01.413.4753		77628		549 00003
	REMOTE SUPPORT-AUG	20.36	SOFTWARE SUPPORT	01.441.4753		77628		549 00003
	REMOTE SUPPORT-AUG	20.36	SOFTWARE SUPPORT	01.442.4753		77628		549 00003
	REMOTE SUPPORT-AUG	20.36	SOFTWARE SUPPORT	01.461.4753		77628		549 00003
	REMOTE SUPPORT-AUG	20.34	SOFTWARE SUPPORT	62.491.4753		77628		549 00003
	REMOTE SUPPORT-AUG	20.34	SOFTWARE SUPPORT	62.492.4753		77628		549 00003
		5,332.50	*VENDOR TOTAL					
AKERMAN LLP								
	NEGOTIATIONS	4,630.00	ATTORNEY FEES	01.421.4321		9808701		549 00006
	NEGOTIATIONS	3,640.00	ATTORNEY FEES	01.421.4321		9815509		549 00007
		8,270.00	*VENDOR TOTAL					
ALECK PLUMBING INC								
	WTR HEATER SERV-RGNL	2,665.00	R&M - TREATMENT PLANT	62.491.4229		S134599		549 00080
AMBER MECHANICAL CONTRAC								
	HVAC SERV AGREEMENT-VH	2,377.50	R&M - BLDG/SITE IMPROVEM	01.441.4211		C013458		549 00008

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
AT&T	432 W NEBRASKA-ALARM	252.26	R&M - BLDG/SITE IMPROVEM	01.441.4211		81546459144146		549 00053
AVENU INSIGHTS & ANALYTI	HOSTING/TECH SUPPORT-SEP	1,353.10	SOFTWARE SUPPORT	01.413.4753		039194		549 00090
	HOSTING/TECH SUPPORT-SEP	676.54	SOFTWARE SUPPORT	62.491.4753		039194		549 00090
	HOSTING/TECH SUPPORT-SEP	676.54	SOFTWARE SUPPORT	62.492.4753		039194		549 00090
		2,706.18	*VENDOR TOTAL					
BEAVER CREEK ENTERPRISES	DRAWBAR	109.74	R&M - VEHICLES	01.441.4243		12046		549 00054
BERNARDIN LANDSCAPING IN	NEW STRM DRN-YANKEE RDGE	8,475.00	STORMWATER MANAGEMENT	62.477.5177		22/9-23		549 00128
BILL'S LAWN MAINTENANCE	MNCPL MOWING 8/22	667.50	R&M - BLDG/SITE IMPROVEM	62.491.4211		172066		549 00057
	MNCPL MOWING 8/22	667.50	R&M - BLDG/SITE IMPROVEM	62.491.4211		172066		549 00057
	MNCPL MOWING 8/29	667.50	R&M - BLDG/SITE IMPROVEM	62.492.4211		172067		549 00056
	MNCPL MOWING 8/29	667.50	R&M - BLDG/SITE IMPROVEM	62.491.4211		172067		549 00056
	MNCPL MOWING 8/29	4,840.00	R&M - LAWN MOWING	01.441.4215		172068		549 00011
	MNCPL MOWING 9/6	4,840.00	R&M - LAWN MOWING	01.441.4215		172069		549 00081
	MNCPL MOWING 9/6	667.50	R&M - BLDG/SITE IMPROVEM	62.492.4211		172070		549 00055
	MNCPL MOWING 9/6	667.50	R&M - BLDG/SITE IMPROVEM	62.491.4211		172070		549 00055
	MNCPL MOWING 9/12	4,840.00	R&M - LAWN MOWING	01.441.4215		172072		549 00127
	200' RT30 FROM WNDY HILL	175.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		186927		549 00010
	22971 DEVONSHIRE LN	25.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		186944		549 00009
	20696 MICHIGAN ISL RD	79.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		186975		549 00082
	20479/20465 MAGNOLIA	650.00	R&M - TREE & WEEDS	01.441.4235		186978		549 00058
	22994 MADDELIN LN	59.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		187002		549 00083
		19,513.00	*VENDOR TOTAL					
BLUME/DONALD	HARLEM ANNEXATION	554.31	INCENTIVES/GRANTS	31.477.5265		181301200002		549 00059
	HARLEM ANNEXATION	422.47	INCENTIVES/GRANTS	31.477.5265		181301200003		549 00060
		976.78	*VENDOR TOTAL					
CAREFREE LAWN SPRINKLERS	SPRINKLER SYS RPR-PD	161.09	R&M - BLDG/SITE IMPROVEM	01.441.4211		373507		549 00062
CARROLL CONSTRUCTION SUP	OUTLET/GRATE/SHOVEL-KANS	178.40	OPERATING SUPPLIES	01.441.4761		FR103462		549 00012
	1GAL SPRAYER	68.93	OPERATING SUPPLIES	01.441.4761		FR103515		549 00013
	LIFT SLINGS	106.06	SAFETY SUPPLIES	62.492.4762		FR103755		549 00014
	NAILS-SIDEWALKS	12.03	OPERATING SUPPLIES	01.441.4761		FR103948		549 00061
		365.42	*VENDOR TOTAL					
CINTAS CORPORATION #344	MATS-PD 8/8	111.93	R&M - BLDG/SITE IMPROVEM	01.441.4211		4127649899		549 00092

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
CINTAS CORPORATION #344	MATS-VH 9/16	185.42	R&M - BLDG/SITE IMPROVEM	01.441.4211		4131660523		549 00063
	MATS-PD 9/19	117.52	R&M - BLDG/SITE IMPROVEM	01.441.4211		4131792033		549 00091
		414.87	*VENDOR TOTAL					
CLARKE ENVIRONMENTAL MOS	MOSQUITO CONTROL 9/15	7,935.00	PEST CONTROL	01.441.4672		1027089		549 00084
CNG	PHONE SYSTEM MNTNC	400.00	SOFTWARE SUPPORT	01.441.4653		913540		549 00015
COMCAST CABLE	20602 LW LN-INTERNET	130.89	SOFTWARE SUPPORT	01.441.4441		87712014900421		549 00016
	432 W NEBRASKA-INTERNET	215.53	TELEPHONE	01.441.4441		87712014900461		549 00064
	20538 LW LN-INTERNET	351.10	TELEPHONE	01.441.4441		87712014903564		549 00017
		697.52	*VENDOR TOTAL					
COMMONWEALTH EDISON CO	STREETLIGHTS	5,115.41	STREET LIGHTING	01.441.4662		0210061037		549 00067
	TELT-STLGT 80TH/LARAWAY	147.39	STREET LIGHTING	01.441.4632		0444146098		549 00018
	460 OHIO RD-WPS	2,221.43	ELECTRICITY	62.491.4611		4359088050		549 00065
	23031 80TH AV-WELL 13/14	3,718.03	ELECTRICITY	62.492.4611		5043020207		549 00066
	2 SMITH ST	163.64	ELECTRICITY	01.441.4611		9097745017		549 00019
		11,365.90	*VENDOR TOTAL					
CONSERV FS INC	DITCH RESTORATION	1,201.04	R&M - STORM SYST.	01.441.4232		66050785		549 00085
CONSTELLATION NEWENERGY	20538 LAGRANGE RD-RGNL	19,263.94	ELECTRICITY	62.491.4611		707605-1		549 00068
	20248 GRACELAND-W 15/16	3,974.18	ELECTRICITY	62.492.4611		707605-10		549 00072
	422 SPRUCE DR-NPS	1,250.58	ELECTRICITY	62.491.4611		707605-12		549 00073
	21841 S ELSNER-TOWER	27.32	ELECTRICITY	62.492.4611		707605-17		549 00020
	9194 GULFSTREAM-LIFT ST	37.48	ELECTRICITY	62.491.4611		707605-19		549 00074
	9194 GULFSTREAM-LIFT ST	38.28	ELECTRICITY	62.491.4611		707605-19		549 00079
	730 TANGLEWOOD-WELL 4	4,551.93	ELECTRICITY	62.492.4611		707605-2		549 00069
	429 NEBRASKA ST-POND	737.75	ELECTRICITY	01.441.4611		707605-21		549 00075
	20327 LAGRANGE-H/C PUMP	2,489.56	ELECTRICITY	62.491.4611		707605-3		549 00070
	601 PRESTWICK-WELL 17	1,540.35	ELECTRICITY	62.492.4611		707605-4		549 00071
		33,911.37	*VENDOR TOTAL					
CORE & MAIN LP	4 B-BOX ASSEMBLY	1,180.00	R&M - WATER LINES	62.492.4261		R475937		549 00078
	HYMAX COUPLINGS	3,181.68	R&M - WATER LINES	62.492.4261		R542627		549 00077
	COUPLINGS	4,947.60	R&M - WATER LINES	62.492.4261		R542713		549 00076
		9,309.28	*VENDOR TOTAL					
D & T VENTURES LLC	CREDIT CLERK SUPPORT	100.02	SOFTWARE SUPPORT	01.442.4753		301979		549 00093
	CREDIT CLERK SUPPORT	99.99	SOFTWARE SUPPORT	62.491.4753		301979		549 00093
	CREDIT CLERK SUPPORT	99.99	SOFTWARE SUPPORT	62.492.4753		301979		549 00093

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM INVOICE	PO#	F/P ID LINE
D & T VENTURES LLC	.5 ONLINE W/S BILL MNTNC	200.00	SOFTWARE SUPPORT	62.491.4753	301979		549 00094
	.5 ONLINE W/S BILL MNTNC	200.00	SOFTWARE SUPPORT	62.492.4753	301979		549 00095
		700.00	*VENDOR TOTAL				
DAILY SOUTHTOWN	SUBSCRIPTION THRU 12/5	69.50	SUBSCRIPTIONS	01.421.4512	34069641		549 00021
E Z DUZ IT PRODUCTS INC	WHITE VINEGAR/URN SCREEN	94.00	JANITORIAL SUPPLIES	01.441.4741	9340		549 00022
	HOT CUPS/PLATES-PD	111.00	JANITORIAL SUPPLIES	01.441.4741	9353		549 00086
	PPR TOWELS/VINEGAR	171.00	JANITORIAL SUPPLIES	01.441.4741	9387		549 00096
		376.00	*VENDOR TOTAL				
EJ USA INC	STORM GRATES	418.88	R&M - STREETS/SIGNS	01.441.4233	110220064599		549 00023
EMPLOYEE BENEFITS CORPOR	FLEX HRA-SEPT 2022	378.25	SELF-INSURANCE REIMBURSE	01.441.4136	3764333		549 00024
	FLEX HRA-SEPT 2022	66.75	SELF-INSURANCE REIMBURSE	01.441.4136	3764333		549 00025
		445.00	*VENDOR TOTAL				
EUROFINS ENVIRONMENT TES	SAMPLE TESTING	235.50	SAMPLE TESTING	62.491.4641	5000109785		549 00026
	SAMPLE TESTING	100.00	SAMPLE TESTING	62.491.4641	5000109786		549 00027
		335.50	*VENDOR TOTAL				
EXCEL ELECTRIC INC	RPR STLGH-T-S BTRNUT CIR	333.60	R&M - STREET LIGHTS	01.441.4236	127024		549 00028
	RPR STLGH-T-VARIOUS LOC	2,635.84	R&M - STREET LIGHTS	01.441.4236	127045		549 00089
	DEHUMIDIFIER SERV-RGNL	330.00	R&M - TREATMENT PLANT	62.491.4229	127062		549 00088
	RPR STLGH-T-JENNIFER/MARY	356.41	R&M - STREET LIGHTS	01.441.4236	127077		549 00087
		3,655.85	*VENDOR TOTAL				
FLEETPRIDE	SEALANT HOSE-ST25	98.60	R&M - VEHICLES	01.441.4243	102193307		549 00097
	HOSE-STOCK	61.96	R&M - VEHICLES	01.441.4243	102237031		549 00098
		160.56	*VENDOR TOTAL				
FRANCZEK PC	PTAB MATTERS	81.27	ATTORNEY FEES	01.411.4321	216354		549 00029
FRANKFORT CHAMBER OF COM	MGN SPONSORSHIP	175.00	COMMUNITY RELATIONS	01.411.4531	48368767		549 00030
FRANKFORT POST OFFICE	.5 W/S BILLS-OCT 2022	2,000.00	POSTAGE	62.491.4433	PERMIT 130		549 00099
	.5 W/S BILLS-OCT 2022	2,000.00	POSTAGE	62.492.4433	PERMIT 130		549 00100
		4,000.00	*VENDOR TOTAL				

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
FRANKFORT SCHOOL DIST. 1	2 X-GUARDS-OCT 2022	270.00	SALARIES - CROSSING GUAR	01.421.4051		22/10 XGUARDS		549 00101
GALLS LLC	BOOTS-319	126.23	UNIFORMS	01.421.4781		22041612		549 00031
	UNIFORM PANTS-306/308	285.52	UNIFORMS	01.421.4781		22078148		549 00032
		411.75	*VENDOR TOTAL					
GASVODA & ASSOCIATES, IN	METER SERVICE-RGNL	460.50	R&M - TREATMENT PLANT	62.491.4229		INV22SVC0875		549 00102
GOLDY LOCKS INC.	KEYS-PD	16.20	OPERATING SUPPLIES	01.421.4781		25670708		549 00034
GOVERNMENT FINANCE OFCRS	GFOA ACFR RVW FEES-FY22	530.00	AUDITOR FEES	01.421.4331		22/9-27		549 00126
GRAINGER	SOCKET SET	136.67	OPERATING SUPPLIES	62.492.4731		9437204085		549 00033
GREEN GARDEN ROAD DISTRI	STUENKEL RD RESURFACE	19,821.75	R&M - STREET	31.777.4233		2		549 00129
GREEN GLEN NURSERY INC	TREES	795.00	TREES & BEDS	01.441.4235		73891		549 00103
HACH COMPANY	OXYGEN SENSOR CAP RPLCMN	706.11	R&M - TREATMENT PLANT	62.491.4229		13238747		549 00035
HARRIS/CHERYL	FNL RFD-21976 THYME LN	270.00	CUSTOMER ACCOUNTS RECEIV	62.000.1311		107-1443-00-01		549 00104
HAWKINS INC	CHLORINE/HSA-WELLS	2,203.80	CHEMICALS	62.492.4711		6274322		549 00108
	CHLORINE/HSA-WELLS	3,123.65	CHEMICALS	62.492.4711		6284982		549 00107
	CHLORINE-WELLS	2,610.65	CHEMICALS	62.492.4711		6287150		549 00106
	SURCHARGES-WELLS	470.00	CHEMICALS	62.492.4711		6290204		549 00105
		8,408.10	*VENDOR TOTAL					
HERITAGE FS INC.	DIESEL	2,799.27	GASOLINE/OIL	01.441.4731		35011399		549 00109
	DIESEL	775.18	GASOLINE/OIL	62.492.4731		35011399		549 00109
	DIESEL	732.11	GASOLINE/OIL	62.491.4731		35011399		549 00109
		4,306.56	*VENDOR TOTAL					
HOME DEPOT #6919	TORCH KIT/HOLE SAW	136.01	R&M - STREETS/SIGNS	01.441.4233		0973855		549 00116
	COUPLERS/CATCH BASIN	164.72	R&M - STORM SYSTEM	01.441.4232		0973863		549 00117
	DISPOSABLE GLOVES	17.97	JANITORIAL SUPPLIES	01.441.4741		1973832		549 00037

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
HOME DEPOT #6919								
	SEALANT/NAILS-SHOP SIDNG	65.40	R&M - BLDG/SITE IMPROVEM	01.441.4211		1974161		549 00110
	SAW BLADES/NAILS/CAULK	153.22	R&M - BLDG/SITE IMPROVEM	01.441.4211		2974122		549 00114
	COMMON BOARD/TWINE	50.62	R&M - SIDEWALKS	01.441.4220		3974080		549 00112
	POWER SCRUBBER/TILE CLNR	309.84	JANITORIAL SUPPLIES	01.441.4741		3974092		549 00111
	4X4 LUMBER-PR PARK SIGNS	299.50	R&M - STREETS/SIGNS	01.441.4233		3974095		549 00113
	RETURN-HANGERS FOR MRKT	34.44CR	OPERATING SUPPLIES	01.441.4761		4210005		549 00121
	SAFETY GLOVES	21.94	SAFETY SUPPLIES	01.441.4762		4974049		549 00120
	LIGHTING WIRE/CONNECTORS	47.12	OPERATING SUPPLIES	01.441.4761		5973712		549 00039
	TOOL SET/DRIVING KIT	178.45	OPERATING SUPPLIES	01.441.4761		6973679		549 00038
	PRESSURE WASHER BROOM	49.97	OPERATING SUPPLIES	62.492.4761		7973635		549 00036
	STORAGE HOOKS/WORK GLOVE	203.20	OPERATING SUPPLIES	01.441.4761		8973579		549 00119
	CLEANER/GLOVES/HAND WASH	67.14	JANITORIAL SUPPLIES	01.441.4741		8973947		549 00118
	EXT CORDS/LIGHT KIT	42.94	R&M - VEHICLES	01.441.4243		9973921		549 00115
	1,773.60		*VENDOR TOTAL					
HUTCHENS/HELEN								
	23048 ANNA LN L358	500.00	CONTRACTOR DEPOSIT	01.000.0023		B218333		549 00040
	23048 ANNA LN L358	1,000.00	LANDSCAPE DEPOSIT	01.000.2021		B218333		549 00041
	1,500.00		*VENDOR TOTAL					
INTERSTATE BATTERY SYSTE								
	BATTERIES	308.00	R&M - VEHICLES	01.461.4243		10076446		549 00124
ISA								
	MEMBERSHIP DUES-TK	190.00	DUES	01.441.4511		215812		549 00122
	MEMBERSHIP DUES-CM	190.00	DUES	01.441.4511		215814		549 00123
	380.00		*VENDOR TOTAL					
JEWEL FOOD STORES #3052								
	SENIOR BREAKFAST SUPPLY	213.71	EVENTS	01.412.4534		669499		549 00042
	VENDING MACHINE SUPPLY	88.77	OFFICE SUPPLIES	01.412.4751		669946		549 00125
	302.48		*VENDOR TOTAL					
KIMBALL MIDWEST								
	GLOVES	69.97	R&M - VEHICLES	01.441.4243		100223604		549 00043
	GLOVES	69.96	R&M - VEHICLES	01.421.4243		100223604		549 00044
	.5 GLOVES	34.98	R&M - VEHICLES	62.491.4243		100223604		549 00045
	.5 GLOVES	34.99	R&M - VEHICLES	62.492.4243		100223604		549 00046
	PAINT/WASHERS/CBL TIES	367.22	R&M - VEHICLES	01.441.4243		100270838		549 00047
	PAINT/WASHERS/CBL TIES	367.23	R&M - VEHICLES	01.421.4243		100270838		549 00048
	.5 PAINT/WASHERS/CBL TIE	183.61	R&M - VEHICLES	62.491.4243		100270838		549 00049
	.5 PAINT/WASHERS/CBL TIE	183.62	R&M - VEHICLES	62.492.4243		100270838		549 00050
	1,311.58		*VENDOR TOTAL					
LANDSCAPE SUPPLY INC								
	CRB RPLC-10429 SUTTON DL	4,290.00	R&M - CURBS	01.441.4231		2022-168		549 00051
	RESTOR-101 ONTARIO	1,287.00	R&M - WATER LINES	62.492.4261		2022-170		549 00130
	SDWLK RPR-23048 HANKINS	2,860.00	R&M - SIDEWALKS	01.441.4220		2022-172		549 00052

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
LANDSCAPE SUPPLY INC								
	CURB RESTOR-757 LINCOLN	1,900.00	R&M - WATER LINES	62.492.4261		2022-173		549 00131
	RESTOR-CTTNWD/MDW PATCH	1,584.00	R&M - WATER LINES	62.492.4261		2022-176		549 00132
	RESTOR-757 LINCOLN-PATCH	2,772.00	R&M - WATER LINES	62.492.4261		2022-177		549 00133
	RESTOR-COTTONWOOD/MEADOW	1,152.00	R&M - WATER LINES	62.492.4261		2022-179		549 00134
	RESTOR-757 LINCOLN LN	171.00	R&M - WATER LINES	62.492.4261		2022-181		549 00135
	RESTOR-249 FRANKLIN	441.00	R&M - WATER LINES	62.492.4261		2022-186		549 00136
	RESTOR-300 FRANKLIN	144.00	R&M - WATER LINES	62.492.4261		2022-187		549 00137
	RESTOR-306 FRANKLIN	875.00	R&M - WATER LINES	62.492.4261		2022-188		549 00138
	RESTOR-319 ELM	324.00	R&M - WATER LINES	62.492.4261		2022-189		549 00139
		17,800.00	*VENDOR TOTAL					
LAWSON PRODUCTS INC								
	CAP SCREWS	20.03	R&M - VEHICLES	01.441.4243		9309909665		549 00140
	CAP SCREWS	20.03	R&M - VEHICLES	01.441.4243		9309909665		549 00141
	CAP SCREWS	20.03	R&M - VEHICLES	62.492.4243		9309909665		549 00142
		60.09	*VENDOR TOTAL					
LOCAL PRINTING & DESIGN								
	405 SHIRTS-SCRY PRAIRIE	2,848.95	EVENTS	01.12.4534		12798		549 00145
	STICKERS-CHESS ON GREEN	32.00	R&M - PUBLIC ROADS	01.12.4216		12869		549 00143
	SIGNS-SCARY PRAIRIE 5K	60.00	EVENTS	01.12.4534		12889		549 00144
		2,940.95	*VENDOR TOTAL					
MACE IRON WORKS, INC.								
	STEEL BAR-ST7	25.00	R&M - VEHICLES	01.441.4243		80735		549 00147
	STEEL BAR-CHIPPER	107.00	R&M - VEHICLES	01.441.4243		80762		549 00146
		132.00	*VENDOR TOTAL					
MASTER AUTOMOTIVE SUPPLY								
	FILTERS-ST31/STOCK	38.80	R&M - VEHICLES	01.441.4243		15030-121982		549 00148
	HYDRAULIC SPINON-CHIPPER	32.82	R&M - VEHICLES	01.441.4243		15030-121983		549 00149
	.5 BRAKE PADS/ROTORS-U1	239.60	R&M - VEHICLES	62.491.4243		15030-122175		549 00153
	.5 BRAKE PADS/ROTORS-U1	239.60	R&M - VEHICLES	62.492.4243		15030-122175		549 00154
	BRAKE PADS/ROTORS-SQ12	427.81	R&M - VEHICLES	01.421.4243		15030-122347		549 00152
	LENS-MARKER LIGHT	2.26	R&M - VEHICLES	62.492.4243		15030-122513		549 00150
	RELAY-TEREX LIFT	11.99	R&M - VEHICLES	01.441.4243		15030-122515		549 00151
		992.88	*VENDOR TOTAL					
MATTHUIS TRUCKING INC								
	45.16TN CA7/46LDS DIRT	9,477.63	R&M - WATER LINES	62.492.4261		2960		549 00156
	82.80TN CA7/6LD DIRT	2,539.90	R&M - WATER LINES	62.492.4261		2968		549 00155
	STREET SWEEPING DISPOSAL	700.00	R&M - STREET SWEEPING	01.441.4238		2969		549 00157
	20.99TN CM6 STONE DLVRY	246.63	R&M - STREETS/SIGNS	01.441.4233		2969		549 00158
		12,964.16	*VENDOR TOTAL					
MCNELLIS/ROBERT								
	22875 SARA SPRINGS DR	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B229322		549 00159
	22875 SARA SPRINGS DR	500.00	CONTRACTOR DEPOSIT	01.000.2323		B229322		549 00160
		1,500.00	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
MEADE ELECTRIC COMPANY, LOCATE-WOLF/LARAWAY		196.00	R&M - TRAFFIC LIGHTS	01.441.4234		701982		549 00161
NATIONAL CONSTRUCTION BARRICADES-FALL FEST		3,730.79	LEASE RENTAL	01.441.4661		6688817		549 00162
NEWLINE PAVING SERVICES STRIPING-PINE RDG/CALLIS		2,059.00	R&M - STREETS/SIGNS	01.441.4233		1522		549 00163
NICOR GAS								
	22801 WOLF RD-WELL 11/12	767.03	HEAT	62.49.4612		02281548525		549 00165
	8847 W LINCOLN HWY-W10	49.65	HEAT	62.49.4612		08567910008		549 00168
	524 CENTER RD	88.88	HEAT	01.441.4612		42177014190		549 00166
	524 CENTER RD	44.44	HEAT	01.441.4612		42177014190		549 00166
	524 CENTER RD	44.44	HEAT	62.49.4612		42177014190		549 00166
	20538 S LAGRANGE-RGNL	727.61	HEAT	62.49.4612		56723949717		549 00167
	460 OHIO RD-WPS	205.41	HEAT	62.49.4612		61691220000		549 00171
	2 WHITE ST	158.89	HEAT	01.441.4612		64425289374		549 00174
	422 SPRUCE DR-NPS	194.02	HEAT	01.441.4612		64669780781		549 00164
	11 N WHITE ST	24.00	HEAT	01.441.4612		79196210896		549 00172
	601 PRESTWICK DR-WELL 7	250.74	HEAT	62.49.4612		83651240448		549 00170
	23031 S 80TH AVE-W 13/14	234.26	HEAT	62.49.4612		92252770240		549 00169
	2 SMITH ST	58.66	HEAT	01.441.4612		92388243583		549 00173
		2,848.03	*VENDOR TOTAL					
NU-WAY DISPOSAL SERVICE, 6737 CURB SERV-SEPT 2022		106,389.83	GARBAGE DISPOSAL	01.447.4621		22/9-30		549 00177
6737 RCYC SERV-SEPT 2022		28,766.99	RECYCLING FEE	01.447.4625		22/9-30		549 00178
TSF GARBAGE 23.54TNS		1,530.11	GARBAGE DISPOSAL	01.447.4621		8002304		549 00179
		136,686.92	*VENDOR TOTAL					
ORKIN PEST CONTROL 20602 LW LN 9/21		178.47	PEST CONTROL	01.441.4672		232677375		549 00175
24 ELWOOD 9/13		70.00	PEST CONTROL	01.441.4672		234214681		549 00176
		248.47	*VENDOR TOTAL					
P. T. FERRO CONSTRUCTION 2022 ROAD MNTNC #1		845,231.26	R&M - STREETS	31.477.4233		47317		549 00180
2022 ROAD MNTNC #2		1,284,878.68	R&M - STREETS	31.477.4233		47346		549 00181
		2,130,109.94	*VENDOR TOTAL					
PARK HARDWARE #16759 SPRAYER/STOP GAP		36.96	OPERATING SUPPLIES	01.441.4761		7339		549 00190
FASTENERS/SPRAY PAINT		37.74	R&M - VEHICLES	01.441.4243		7454		549 00189
FASTENERS		8.95	R&M - VEHICLES	01.441.4243		7463		549 00184
WIRE STRIPPER/CONNECTORS		53.94	OPERATING SUPPLIES	01.441.4761		7475		549 00188
PLANT FOOD		31.99	R&M - PUBLIC GROUNDS	01.441.4216		7482		549 00187
RAINSUIT-JD		34.99	R&M - UNIFORMS	01.441.4251		7488		549 00185
PAINT ROLLERS		12.48	OPERATING SUPPLIES	01.441.4761		7502		549 00182

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
PARK HARDWARE #16759	SPONGES/LIME AWAY	17.97	JANITORIAL SUPPLIES	01.441.4741		7517		549 00186
	MOUNTING TAPE/RAKE	24.98	OPERATING SUPPLIES	01.441.4761		7529		549 00183
		260.00	*VENDOR TOTAL					
PEERLESS NETWORK INC	TELEPHONE CHGS	208.29	TELEPHONE	01.412.4441		554674		549 00191
	TELEPHONE CHGS	65.08	TELEPHONE	01.413.4441		554674		549 00191
	TELEPHONE CHGS	84.60	TELEPHONE	01.412.4441		554674		549 00191
	TELEPHONE CHGS	91.11	TELEPHONE	01.412.4441		554674		549 00191
	TELEPHONE CHGS	65.08	TELEPHONE	01.412.4441		554674		549 00191
	TELEPHONE CHGS	65.08	TELEPHONE	01.412.4441		554674		549 00191
	TELEPHONE CHGS	71.59	TELEPHONE	01.412.4441		554674		549 00191
	TELEPHONE CHGS-PD	690.13	TELEPHONE	01.412.4441		554674		549 00192
		1,340.96	*VENDOR TOTAL					
PERMA-SEAL	RFD BLDG PERMIT FEE	30.00	BUILDING PERMITS	01.330.3309		B228949	CNCLD	549 00193
	RFD PLAN RVW-808 HGHLAND	30.00	PLAN REVIEW	01.330.3309		B228949	CNCLD	549 00194
		60.00	*VENDOR TOTAL					
PETTY CASH	PRIORITY MAIL-SUPERFLEET	8.95	POSTAGE	01.412.4433		22/10-2177		549 00199
	POSTAGE DUE-WTR BILL	0.60	POSTAGE	01.492.4433		22/10-2177		549 00200
	APPLE JUICE-WASP TRAP	3.55	OPERATING SUPPLIES	01.441.4761		22/10-2177		549 00201
	WATER-FALL FEST	18.07	CELL PHONE/INTVAL/COMET SUPP	01.421.4553		22/10-9435		549 00195
	CERTIFIED MAIL	7.85	POSTAGE	01.421.4433		22/10-9435		549 00196
	COFFEE	21.49	OFFICE SUPPLIES	01.421.4751		22/10-9435		549 00197
	WHITE BOARD	6.4	OFFICE SUPPLIES	01.421.4751		22/10-9435		549 00198
		66.97	*VENDOR TOTAL					
PLAZA CLEANERS	UNIFORM MNTNC-AUGUST	421.38	R&M - UNIFORMS	01.421.4251		1001167-08-01		549 00202
POSTMASTER	.5 1ST CLASS PRESORT-WS	137.50	PUBLISHING	62.491.4431		PERMIT 130		549 00266
	.5 1ST CLASS PRESORT-WS	137.50	PUBLISHING	62.492.4431		PERMIT 130		549 00267
		275.00	*VENDOR TOTAL					
RED WING BUSINESS ADVANT	WORK BOOTS-DV	175.00	R&M - UNIFORMS	01.441.4251		711-1-103974		549 00203
	WORK BOOTS-LT	175.00	UNIFORMS	01.442.4781		711-1-104046		549 00204
		350.00	*VENDOR TOTAL					
ROBINSON ENGINEERING LTD	PFEIFFER RD EXT PROJECT	4,089.12	ENGINEERING FEES	23.486.4351		22060265		549 00205
RUSSO'S POWER EQUIPMENT	HEDGE TRIMMER	67.98	OPERATING SUPPLIES	01.441.4761		PIV10458197		549 00206

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
RUSSO'S POWER EQUIPMENT	AIR FILTER	6.16	R&M - VEHICLES	01.441.4243		SPI11237697		549 00207
	CHAIN SAW BLADE	75.96	OPERATING SUPPLIES	01.441.4761		SPI11240557		549 00208
		150.10	*VENDOR TOTAL					
S & S MECHANICAL SERV-AT	EXHAUST SERV-WELL 15/16	1,995.00	R&M - BLDG/SITE IMPROVEM	62.492.4211		13074		549 00211
	FALL FURNACE TUNE UP-PD	858.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		13143		549 00210
	A/C UNIT RPR-CHAMBER	590.36	R&M - BLDG/SITE IMPROVEM	01.441.4211		13145		549 00212
	HEATER SERV-RGNL	330.00	R&M - TREATMENT PLANT	62.491.4229		13235		549 00209
		3,773.36	*VENDOR TOTAL					
SASE COMPANY INC	CONCRETE GRINDER PARTS	157.30	R&M - VEHICLES	01.441.4241		301427		549 00213
SAUNORIS' NURSERY	4YD TOP SOIL	160.00	R&M - STORM SYSTEM	01.441.4232		701395		549 00214
SCHUBBE/MICHAEL	WORK BOOTS-MS	175.00	R&M - UNIFORMS	01.441.4251		22/9-27 BOOTS		549 00215
SCHULTZ/STEVEN	MRKT ENTERTAINMENT-10/2	300.00	EVENTS	01.412.4534		22/10-2		549 00216
SOLENIS LLC	POLYMER-RGNL	13,941.34	MEMIC	62.491.4711		132124168		549 00217
STANDARD EQUIPMENT COMPA	BALL VALVE	663.41	R&M - WATER LINES	62.492.4261		P33878		549 00218
STAPLES ADVANTAGE	PENS/STENO/COFFEE/POSTIT	128.29	OFFICE SUPPLIES	01.412.4751		8067621955		549 00220
	PAPER/TONER/PENS/PADS	225.24	OFFICE SUPPLIES	01.421.4751		8067664825		549 00219
		353.53	*VENDOR TOTAL					
SUPERFLEET	GASOLINE-WTR	147.91	GASOLINE/OIL	62.492.4731		FB426		549 00221
	GASOLINE-BLDG	295.48	GASOLINE/OIL	01.442.4731		FB426		549 00222
	GASOLINE-POLICE	144.34	GASOLINE/OIL	01.421.4731		FB426		549 00223
		587.73	*VENDOR TOTAL					
SUPERIOR PUMPING SERVICE	MOTOR SERVICE-RGNL	2,203.00	R&M - TREATMENT PLANT	62.491.4229		2857		549 00224
	FILTER MOTOR SERV-RGNL	1,046.07	R&M - TREATMENT PLANT	62.491.4229		2858		549 00225
		3,249.07	*VENDOR TOTAL					
SYNAGRO	SLUDGE REMOVAL-RGNL	5,667.75	SLUDGE REMOVAL	62.491.4642		32254		549 00226

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
T. R. L. TIRE SERVICE	TIRES-ST21	2,129.00	R&M - VEHICLES	01.441.4243		30913		549 00227
THE COP FIRE SHOP	VEST COVER-315	135.00	UNIFORMS	01.421.4781		205835		549 00229
	UNIFORMS-318	798.00	UNIFORMS	01.421.4781		208560		549 00230
	HEM UNIFORM PANTS-317	24.00	UNIFORMS	01.421.4781		210197		549 00228
		957.00	*VENDOR TOTAL					
THE TIMES MEDIA COMPANY	STHLND BEST DINNER-KO	50.00	COMMUNITY RELATIONS	01.411.531		22/10-20		549 00231
THOMPSON ELEVATOR INSP S	ELEVATOR INSP 9/20	150.00	INSPECTION FEES	62.442.434		22-2328		549 00232
TRAFFIC CONTROL CORPORAT	SCHOOL ZONE BEACON RPLC	5,189.00	R&M - STREETS/SIGNS	01.441.233		138642		549 00233
TRI-STATE BRICK COMPANY	OIL EXTRACTOR	173.82	OPERATING SUPPLIES	01.441.4761		SI0060174		549 00234
TRUGREEN	FERTILIZER-VH/OLD FF WAY	2,371.81	R&M - LAWN MOWING	01.441.4215		163089291		549 00236
	.5 FERTILIZER-UTIL LOC	332.80	R&M - BLDG/STREET IMPROV	62.491.4211		163089291		549 00237
	.5 FERTILIZER-UTIL LOC	332.80	R&M - BLDG/STREET IMPROVEM	62.492.4211		163089291		549 00238
	FERTILIZER-VARIOUS LOC	5,383.35	R&M - LAWN MOWING	01.441.4215		165106840		549 00235
		8,420.76	*VENDOR TOTAL					
USA BLUE BOOK	HYDRANT HOSE ASSEMBLY	1,958.07	OPERATING SUPPLIES	62.492.4761		086608		549 00240
	DEHUMIDIFIER-RGNL	3,985.49	EQUIPMENT & ACCESSORIES	62.491.4791		109494		549 00239
	NITRIL GLOVES	130.70	OPERATING SUPPLIES	62.492.4761		109651		549 00241
	CHLORINE TUBING-WELLS	328.79	R&M - WELLS	62.492.4262		109930		549 00242
	CHLORINE TUBING-WELLS	210.17	R&M - WELLS	62.492.4262		109931		549 00243
		6,613.22	*VENDOR TOTAL					
VCNA PRAIRIE LLC	22.50TN CM11 STONE	272.25	R&M - WATER LINES	62.492.4261		890685960		549 00244
	82.80TN CA7 STONE	1,001.87	R&M - WATER LINES	62.492.4261		890692559		549 00245
		1,274.12	*VENDOR TOTAL					
VERIZON WIRELESS	CELLPHONE CHGS-BLDG	78.66	TELEPHONE	01.442.4441		9915762596		549 00246
	IWIN CHARGES	532.20	SOFTWARE SUPPORT	01.421.4753		9915762596		549 00247
	CELLPHONE CHGS-PW	63.06	TELEPHONE	01.441.4441		9915762596		549 00248
	CELLPHONE CHGS-SWR	166.82	TELEPHONE	62.491.4441		9915762596		549 00249
	CELLPHONE CHGS-WTR	166.81	TELEPHONE	62.492.4441		9915762596		549 00250
		1,007.55	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
WATER SOLUTIONS UNLIMITE	CHLORINE/PHOSPHATE	14,733.50	CHEMICALS	62.492.4711		107080		549 00252
	CHLORINE	381.00	CHEMICALS	62.492.4711		107163		549 00251
		15,114.50	*VENDOR TOTAL					
WEX BANK	GASOLINE-SWR	1,230.28	GASOLINE/OIL	62.491.4731		83826589		549 00253
	GASOLINE-WTR	2,129.25	GASOLINE/OIL	62.492.4731		83826589		549 00254
	GASOLINE-PW	1,378.22	GASOLINE/OIL	01.411.4731		83826589		549 00255
	GASOLINE-BLDG	619.01	GASOLINE/OIL	01.411.4731		83826589		549 00256
	GASOLINE-COM DEV	33.58	GASOLINE/OIL	01.461.4731		83826589		549 00257
	GASOLINE-POLICE	8,403.60	GASOLINE/OIL	01.421.4731		83826589		549 00258
		13,793.94	*VENDOR TOTAL					
WINGREN LANDSCAPE INC	LIGHT RPR-KANSAS SDWLK	1,570.00	COMMUNITY ENHANCEMENTS	31.411.5268		73174		549 00259
1ST AYD CORPORATION	.5 TOWELS/TP	97.90	OPERATING SUPPLIES	62.491.4751		PSI555465		549 00264
	.5 TOWELS/TP	97.91	OPERATING SUPPLIES	62.492.4761		PSI555465		549 00265
	WASH/WAX/GLASS CLEANER	309.99	R&M - VEHICLES	01.421.4243		PSI557862		549 00260
	WASH/WAX/GLASS CLEANER	309.99	R&M - VEHICLES	01.421.4243		PSI557862		549 00261
	.5 WASH/WAX/GLASS CLNR	154.99	R&M - VEHICLES	62.491.4243		PSI557862		549 00262
	.5 WASH/WAX/GLASS CLNR	155.00	R&M - VEHICLES	62.492.4243		PSI557862		549 00263
		1,125.78	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
DESCRIPTION									
REPORT TOTALS:	2,574,445.27								

RECORDS PRINTED - 000316

Draft

Payroll Expense Approval

9/30/2022 Payroll

	2021 Gross Wage Avg	Gross Wages	Pension	457	Medicare	SS
General Fund	56,300.72	61,708.29	4,983.61	715.00	888.79	3,546.73
Police Fund	153,178.88	141,934.91	41,646.38	1,770.00	2,039.76	8,721.76
Utility Fund	61,726.84	63,734.60	5,328.21	850.00	1,197.22	3,932.61
Streets	50,964.56	51,850.78	4,326.70	750.00	777.94	3,193.43
Total	322,171.01	319,228.58	56,284.90	4,085.00	4,595.12	19,394.53
Grand Total						

403,588.12

Draft

October 3, 2022

Unanimous Consent Agenda

C. PLAN COMMISSION REPORT SUMMARY

1. OLTMAN RESIDENCE MULTIPLE ZONING VARIANCES: 240 CENTER ROAD - ORDINANCE

Applicant, Jarrett Lecas of Gander Builders, proposes to build a new single-family residence on the vacant property located at 240 Center Road for the Oltman Family. A house formerly existed on this site but has since been demolished and cleared. The proposed house requires four variances:

- *First floor building materials variance to permit a mixture of three primary materials, including 4" Hardie Board low slope (wood composite), ChamClad exterior siding (PVC with wood appearance), and painted white brick;*
- *Roof materials variance to permit a mix of metal and shingle roof materials;*
- *Driveway setback variance from the 4' pavement setback requirement to 1' to permit a driveway serving a side-loaded garage;*
- *Driveway turning radius variance from the required 26' to 25' to permit a driveway serving a side-loaded garage.*

At the September 22, 2022 public hearing on the project, the Plan Commission forwarded three split (5-1) recommendations to the Village Board to approve the first-floor building materials variance, the roof materials variance, and the driveway setback variance requests, and one split (4-2) recommendation for the driveway turning radius variance request.

Motion: Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an ordinance granting the following zoning variances to permit the construction of a new single-family residence on the property located at 240 Center Road: a first floor building materials variance from the masonry requirement to permit the use of non-masonry materials; a roof materials variance to permit a mix of metal and shingle roof materials; a driveway setback variance from the 4' pavement setback requirement to 1' from the property line; and a driveway turning radius variance from the required 26' to 25', all in accordance with the reviewed plans, public testimony, and Findings of Fact.

2. PIC & PLĀ SPECIAL USE PERMIT FOR INDOOR RECREATION: 21800 S. LAGRANGE ROAD, UNIT B - ORDINANCE

Applicant Tony Villa proposes to renovate Unit B of the existing building located at 21800 S. LaGrange Road to operate Pic & Plā, an indoor recreational facility containing four pickleball courts. To accommodate the facility within the I-2 General Industrial District, the applicant requests the granting of a Special Use Permit for Indoor Recreation.

At the September 22, 2022 Public Hearing on the project, the Plan Commission forwarded a unanimous (6-0) recommendation to the Village Board to approve the Special Use request subject to several conditions.

Motion: Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance granting a Special Use Permit for Indoor Recreation to the property located at 21800 S. LaGrange Road, Unit B, to permit the operation of Pic & Plā, an indoor recreational facility containing four pickleball courts, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon if any mechanical uses are added to the roof of the site, they shall be screened per the requirements of the Zoning Ordinance; the project shall obtain compliance with all applicable codes, including the Fire Code and International Building Code; there shall be no indoor bleachers installed and no tournaments held at this location; and no less than 25 parking spaces shall be allocated to the proposed use.

3. OASIS SENIOR LIVING SPECIAL USE PERMIT FOR ASSISTED LIVING FACILITY & FINAL PLAT APPROVAL: 8531 W. LINCOLN HIGHWAY - ORDINANCE

Oasis Senior Living, Inc. proposes to construct a 82-unit assisted living facility at the southwest corner of Route 30 and Windy Hill Drive. Assisted living facilities are permitted in the B-2 zoning district with the issuance of a Special Use Permit. The project also requires approval of a Final Plat of Subdivision to create a public record, as the property is subdivided.

This project was heard before the Plan Commission at a workshop on March 10, 2022. On August 23, 2022, the applicant hosted a neighborhood meeting at the Frankfort Public Library to explain the project, including changes to the plans since the workshop meeting and to answer any questions from the public.

The following is a summary of changes to the plans since the workshop and the neighborhood meeting.

- The building has been shifted north slightly, to allow for a wider landscape setback along the south property line. There were formerly two rows of parking along the front of the building facing Route 30. The rows have now been split up, with one row of parking along Route 30 and one row of parking along the west side of the building.
- The landscape buffer along the south property line has been increased from 14' to 33.45' and more vegetation has been added in this area.
- The northern driveway was shifted further north when the building was moved further north.
- The apron on the northern driveway has been widened (flared out) at the request of Village staff to make it easier for southbound traffic on Windy Hill Drive to navigate around any vehicles turning into the assisted living facility.
- The unit count was increased from 78 to 82. There are now more studio units and less 1-bedroom units.
- A retaining wall was added to the northwest corner of the site, measuring approximately 300' long and 7' tall at the highest in the middle. The retaining wall

- tapers to meet grade at either end of the wall.
- The trash enclosure has been moved from along the south property line to the west property line (still in the same vicinity, but further away from the existing townhomes). The setback from the trash enclosure to the south property line has been increased from 7' to 44.7'.
- Decorative fencing was added on both sides of both access drives along Windy Hill Drive to match the existing fencing at the northeast corner of the property. The proposed fencing would match the existing fencing in terms of materials, height, design, and color.

At the September 22, 2022 Public Hearing on the project, the Plan Commission heard from several residents who expressed their opposition to the assisted living facility. They cited traffic and drainage concerns and loss of green space as a few of their reasons for not supporting the project.

The Plan Commissioners were unanimous in their support of the project, forwarding two unanimous (6-0) recommendations to the Village Board to approve the special use request and the final plat of subdivision.

Motion: Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance granting a Special Use Permit for an assisted living facility to the property located at 8531 W. Lincoln Highway, to permit the operation of Oasis Senior Living, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon final engineering approval; the replacement of any damaged sections of public sidewalk; the base of any future ground signs shall be consistent with the materials of the wainscot of the building, and the facility's bus shall be parked on the west side of the building.

Motion: Accept the Plan Commission recommendation and approve the Oasis Frankfort Subdivision final plat, prepared by Geotech Inc., revised 09.13.22, in accordance with the reviewed plans and subject to any technical revisions prior to recording and conditioned upon final engineering approval.

ORDINANCE NO. 33XX

**AN ORDINANCE GRANTING MULTIPLE ZONING VARIANCES TO
CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE
VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS
(OLTMAN RESIDENCE – 240 CENTER ROAD)**

WHEREAS, an application for certain variances for real property within the Village of Frankfort, legally described below, was filed by Jarrett Lecas of Gander Builders, Applicant; and Dustin Oltman, Owner; and

WHEREAS, the Subject Property, located at 240 Center Road, is currently zoned R-2, Single Family Residential District; and

WHEREAS, the Applicant requests the granting of multiple variances to accommodate the construction of a new single-family residence on the Subject Property; and

WHEREAS, the variances include: a first floor building materials variance to permit the use of non-masonry materials; a roof materials variance to permit a mixed metal and shingle roof materials; a driveway setback variance from the required 4' pavement setback to 1' from the property line; and a driveway turning radius variance from the required 26' to 25'; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for zoning variances for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for the zoning variances for the Subject Property; and

WHEREAS, the Board of Trustees found, based upon evidence presented to it:

1. That the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in an R-2 zoning district;
2. That the plight of the Owner is due to unique circumstances; and
3. That the variations will not alter the essential character of the locality, and that the requested zoning variances should be granted.

WHEREAS, the legal description of the Subject Property at the time of the filing of the variance application is as follows:

PIN: 19-09-28-227-013-0000

LOT 3 IN PROPRIETOR'S SUBDIVISION OF A PART OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 28, NORTH AND SOUTH OF THE INDIAN BOUNDARY LINE IN

TOWNSHIP 35 NORTH, AND IN RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 12, 1966 AS DOCUMENT NO. R66-18426, IN WILL COUNTY, ILLINOIS.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. VARIANCES

That the requirements imposed under the R-2 zoning classification of the Village of Frankfort Zoning Ordinance are varied from Article 6, Section B, Part 2(g); Article 6, Section B, Part 4(i); Article 6, Section B, Part 2(i); and Article 5, Section D, Part 3(b) for the Subject Property as follows:

1. First-floor building materials variance from the required masonry requirement to permit the use of non-masonry materials, including 4” Hardie Board lap siding (wood composite), ChamClad siding (PVC with wood appearance), and painted white brick; and
2. Roof construction and materials variance to permit a mix of metal and shingle roof materials; and
3. Driveway setback variance from the required 4’ pavement setback to 1’ from the property line to permit a driveway serving a side-loaded garage; and
4. Driveway turning radius variance from the required 20’ to 25’ to permit a driveway serving a side-loaded garage.

All variances are granted to permit the construction of a new single-family residence on the Subject Property located at _____ Street Road, in accordance with the reviewed plans, public testimony, and Findings of Fact.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, in whole or in part thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this ___ day of ____, 2022; with ___ members voting AYE; ___ members voting NAY; and ___ members absent; the Village President not voting; with ___ members abstaining and said vote being:

ADAM BORRELLI _____

MARGARET M. FARINA _____

MICHAEL LEDDIN _____

JESSICA PETROW _____

DANIEL ROSSI _____

EUGENE SAVARIA _____

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this ___ day of ____, 2022.

KEVIN DOGLEY
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Draft

Chris Gruba presented the staff report.

Chair Rigoni invited the applicant to the podium.

The architect, Steve Lecas, approached the podium. He noted that at the workshop the Plan Commission asked the applicant to try and meet the setback requirements. The biggest challenge encountered while trying to meet all setback requirements was the “pinched” area of the property. One member of the Plan Commission had suggested moving the home further away from Center Road. Due to the geometry of the property, meeting both side yard setbacks by moving the home away from Center Road was unfeasible. However, the applicant was now able to comply with the side yard setback along the north property line. The side-loaded garage and driveway on the south side of the property were now closer to the south property line. Many homes in the downtown area had driveways located within the required driveway setback, so Lecas believed this was not a large concern. He asked staff whether the Landscape Ordinance was new or not.

Staff responded it was not.

The architect noted that it was the first time he had encountered the tree preservation requirements of the Landscape Ordinance. He had experience with many homes in the Village and had never encountered any difficulties with the Landscape Ordinance. Requiring 26, 2” caliper trees to offset the loss of four preservation trees seemed excessive. There were many trees on the subject property, many of which were either in poor condition or dead. They would do their best to keep the evergreens during and after construction. The property owner had indicated to Lecas that he had no preference for keeping or removing the existing evergreens along the south property line, so the architect would defer to the preferences of the neighbor to the south. In regard to the new proposed ChamClad material, Lecas had brought a sample for the Commission. He handed the sample to the Commission to inspect as he spoke. The metal siding material that was proposed previously and discussed at the workshop was still available, however the color that they intended to use was only available for interior applications, not exterior applications. ChamClad, on the other hand, did provide materials in the desired color which were appropriate for exterior use. The material was made in part through a 3-D printing technique, which helped to achieve the faux-wood look. Lecas stated he was happy to answer any questions for the Commission.

Chair Rigoni asked if there were any initial comments from the members of the Plan Commission.

There were none.

Chair Rigoni opened the public hearing, and asked if there were any members of the public willing to speak on the matter.

Josh Bohms, a resident who lives at 246 Center Road, stated that he had no issues with the proposed building. He also had no opinion on the evergreen trees which could be impacted by the proposed driveway.

Mary Tepper, another resident who lived near the subject property, expressed her concern for the design of the home. It did not look like any other home in the downtown area. It was very modern looking. Even though the property was not in the heart of downtown, it was still considered a part of the downtown residential area per the Comprehensive Plan. She noted that the design of the proposed home did not follow the downtown residential design guidelines which the community worked to develop as a part of the 2040 Comprehensive Plan back in 2019. Mary had worked with the Village and the guidelines with her own home, in order to make sure that the design matched the neighborhood context. The proposed home did not match that same neighborhood context.

Chair Rigoni clarified that the downtown residential design guidelines were not enforceable, unlike the Zoning Ordinance, which was enforceable.

Ms. Tepper stated she understood that the guidelines were not enforceable, but that one would expect someone moving into the downtown area to make efforts to abide by the guidelines and act as a good neighbor in doing so. She again stated that the proposed design of the home felt out of context from an architectural standpoint.

Beth Partyka, another neighbor approached the podium. She stated that she had the same concerns as the other people who had made comments before her. She understood that the design guidelines were not enforceable like the Zoning Ordinance. It felt confusing that so much work went into creating the design guidelines for them to not be followed or adhered to, especially when other residents in the downtown area worked within the guidelines. She stated that the proposed design had many features that the guidelines were created to avoid.

Chair Rigoni asked if there were any other comments.

There were none.

Motion (#2): Motion to close the public hearing.

Motion by: Jakubowski

Seconded by: Schaeffer

Approved: (6-0)

Chair Rigoni summarized the motions which were before the Plan Commission. There were two variances related to the proposed driveway and two variances for the proposed materials. She asked for comments from the Plan Commission in regard to the building materials.

Commissioner Knieriem stated that the ChamClad sample looked so similar to wood he could not tell the difference.

Commissioner Schaeffer agreed, saying she thought the materials were appropriate.

Commissioner James noted that one of the intentions behind designing products like Hardie Board was to create a material which looked like wood. ChamClad also achieved that effect.

Commissioners Jakubowski and Markunas agreed.

Chair Rigoni asked staff what the Building Department's opinion on the material was.

Chris Gruba responded and he had spoken with the Building Department director, who was unfamiliar with the ChamClad product. Gruba added that the Zoning Ordinance specifically prohibits vinyl siding but is silent regarding PVC siding. However, both vinyl and ChamClad are PVC products.

Chair Rigoni stated that she was hesitant to approve the material since the Plan Commission was first made aware of it at the meeting and given how similar it was to vinyl. Not getting a clear response on the quality of the material from the Building Department was another reason for her hesitancy. She asked the Plan Commission for their comments on the variances related to the proposed driveway.

Commissioner James stated that so long as the neighbor to the south was comfortable with it, he saw no issue.

Commissioner Markunas stated that because the proposed home was new construction, rather than an addition, and because the lot was larger than a standard lot in the R-2 Single Family Residential District, he struggled to find the hardship the property owner faced for the two variances for the driveway.

Chair Rigoni understood that there were other homes in the downtown area which had driveways close to their respective property lines. It was also important to consider that the subject property was 38,000 square feet, more than twice the size of the minimum requirement of 15,000 square feet. She asked the Plan Commission if they had any comments on any other considerations, such as the downtown design guidelines.

Commissioner Schaeffer noted that the Commission had an issue with the building setback on the north side during the workshop. One of the changes the applicant had made in response was to adjust the design to meet the building setback requirement on the north side of the property. Because of this, she felt comfortable with the proposal. In addition, the neighbor to the south gave their public support to the project, which led her to be comfortable with the two variances being requested for the driveway.

Commissioner Knieriem said he saw both sides of the issue. He appreciated the applicant making an effort to get the home to meet code. Since the neighbor to the south was comfortable with the project, he did not see any issues.

Commissioner Markunas thanked the applicant for trying to meet code.

Chair Rigoni moved the discussion to the Landscape Ordinance requirements for replacing preservation trees.

Commissioner Knieriem asked why the largest preservation tree, a hackberry, needed to be removed, given its distance from the home.

The architect responded that the large hackberry was located right on the edge of where the builders would be working, though it was not over the house. The decision to remove the tree was a result of the ten-foot over-dig which would be required to allow for construction of the foundation. The over-dig would get close to where the tree was, and the tree would become a safety hazard. In the architect's experience, when excavating close to the roots, and particularly when needing to cut some of the root system away, trees did not survive very long after the fact. He has contracted with services which would try to help the tree recover, but the interventions were commonly unsuccessful. From a safety perspective, it was smarter to cut down the tree than to work around it.

Commissioner Schaeffer asked if the strict requirements of the Landscape Ordinance could be relaxed regarding the number of replacement trees required.

Staff responded that the requirements could be waived by the code official, which was assumed to be Chris Gruba in this case, but he was seeking input from the Commission and whether they felt strongly one way or the other.

Chair Rigoni stated she thought requiring 26 trees to replace one tree seemed unreasonable, but that she was hesitant to suggest waiving the requirement altogether. She asked if the large hackberry tree was the only one to be removed.

Staff clarified that five trees in total were going to be removed, four of which were classified as preservation trees. There was one large hackberry tree and three smaller hackberry trees.

Chair Rigoni asked if the members of the Plan Commission had any direction for staff.

Commissioner Knieriem asked if the applicant had submitted a tree plan.

Staff said they had not, that the removals were noted on the submitted site plan.

Commissioner Markunas suggested staff follow the requirements of the Landscape Ordinance.

The architect clarified that the smaller hackberry trees would not be in the way of any construction, since they were close to the lot line.

Chair Rigoni responded that on the site plan those trees were marked for removal.

The architect said he was unsure if they had been marked, and stated that the only hackberry to be removed would be the large one.

Staff noted that the Landscape Ordinance requires a 1"-for-1" replacement for any preservation tree being removed.

Chair Rigoni said that the replacement requirements may be met by the proposed landscape plan, which has not yet been submitted to staff.

The architect stated that a landscape plan would be submitted to the Village for review and approval. He would also plant some trees on-site before beginning construction.

Chair Rigoni asked staff if they were clear on the direction the Plan Commission had provided.

Staff responded that they would make sure the proposed trees and the replacement of the large hackberry complied with the Landscape Ordinance, without waiving any requirements.

Motion (#3): Recommend that the Village Board approve the variance request for first-floor building materials to allow non-masonry siding on the property located at 240 Center Road, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Markunas

Seconded by: Jakubowski

Approved: (5-1, Chair Rigoni voted no)

Motion (#4): Recommend that the Village Board approve a variance from Article 6, Section B, Part 4(i) to permit a metal roof on a residential structure on the property located at 240 Center Road, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Knieriem

Seconded by: James

Approved: (5-1, Commissioner James voted no)

Motion (#5): Recommend that the Village Board approve a variance from Article 6, Section B, Part 2(i) to permit a driveway serving a side-loaded garage to be 1' from the side property line, whereas 4' is required on the property located at 240 Center Road in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Knieriem

Seconded by: Schaeffer

Approved: (5-1, Chair Rigoni voted no)

Motion (#6): Recommend that the Village Board approve a variance from Article 5, Section D, Part 3(b) to permit a driveway serving a side-loaded garage to have a turning radius of 25', whereas 26' is required, on the property located at 240 Center Road in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Knieriem

Seconded by: Schaeffer

Approved: (4-2, Commissioner Markunas and Chair Rigoni voted no)

Chair Rigoni announced that all motions had carried, and that this case would be heard by the Village Board at their October 3rd meeting. She expressed that she voted against approving the building materials variance (Motion #3) because the materials had changed between the workshop and the public hearing.

Project: Oltman Residence
Meeting Type: Public Hearing
Request: Four (4) Variances for proposed single-family home
Location: 240 Center Road
Applicant: Gander Builders
Prop. Owner: Dustin Oltman
Representative: Jarrett Lecas

Site Details

Lot Size: 38,350 sq. ft. (0.88 acres)
PIN: 19-09-28-227-013-0000
Existing Zoning: R-2
Proposed Zoning: N/A
Buildings / Lots: 1 house w/ attached garage
Proposed house: 3,493 square feet
Building Height: 31' 1 1/2"

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Residential	Single-Family	R-2
North	Residential	Single-Family	R-2
South	Residential	Single-Family	R-2
East	Residential	Single-Family	R-2
West	Residential	Single-Family	R-2

Project Summary

The applicant, Jarrett Lecas, seeks to construct a 3,493 square-foot house on the vacant property at 240 Center Road for the Oltman family. A house formerly existed on this site but has since been demolished and cleared.

The proposed house would require four (4) variances:

1. To permit non-masonry siding that covers less than 100% of the 1st floor. The applicant is proposing a mixture of three primary materials, including 4" Hardie Board lap siding (wood composite), ChamClad (PVC with wood appearance) siding and painted white brick.
2. Metal roofs are not permitted on single family homes except as accent features, such as roof areas above bay windows. The applicant is proposing a mix of metal and shingle roof material over the primary structure.
3. To permit a driveway serving a side-loaded garage to be located 1' from the side property line, whereas 4' is required.
4. To permit a driveway serving a side-loaded garage to have a turning radius of 25', whereas 26' is required.

Attachments

1. Location Maps, prepared by staff (VOF GIS) scales 1:2,500 and 1:1,000
2. Plat of Survey of existing site, prepared by Studnicka and Associates, Ltd. dated 12/17/15
3. Color rendering of front building elevation with primary materials listed, received September 15, 2022
4. ChamClad informational brochure from Internet
5. Chamclad warranty brochure from Internet
6. Email from applicant (website for ChamClad), September 7, 2022
7. Variance findings of fact, submitted by applicant
8. PC-ZBA meeting minutes excerpt from August 25, 2022 (workshop meeting)
9. Photographs of property, taken by staff on August 17, 2022
10. Site Plan, received by staff on September 1, 2022
11. Elevation drawings, received by staff on September 15, 2022
12. Floorplans, received by staff on July 7, 2022

Analysis

Background:

A workshop was held on this project on August 25th, 2022. At that time, three (3) variances were sought for a side yard setback, 1st floor building materials and a metal roof on the primary structure. At the time, the Plan Commission had concerns regarding the side yard setback and the appearance and longevity of the proposed metal longboard siding. An excerpt of the meeting minutes from the workshop have been included with this report.

In response to the concerns raised during the workshop, the plans were revised, moving the house further back on the lot approximately 19' to allow for the required 10' side yard setback. However, the driveway was shifted to the south, and is now 1' away from the south side property line. Areas 4-13 required for driveways that serve side-loaded garages, requiring a variance. The driveway also has an undersized turning radius. Driveways serving side-loaded garages must have a minimum turning radius of at least 26', whereas 25' is provided, requiring another variance.

The original variances for 1st floor building materials and roofing materials have remained. However, the workshop plans illustrated 6" metal longboard siding, which has since been replaced by "ChamClad" siding with a faux wood finish, which is a high-grade PVC siding. The originally requested Hardie Board siding remains unchanged. A copy of the manufacturer specifications for the ChamClad siding have been included with this report. Physical building samples will also be provided at the public hearing.

Table of Dimensional Requirements:

	R-2 Single-Family Detached Residential District Requirement	Subject Property	Comments
Minimum Lot Size	15,000 SF	38,350 SF	Conforming
Minimum Lot Width	100'	100'	Conforming
Minimum Lot Depth	150'	370.4'	Conforming
Minimum Required Yards (Setbacks)	<ul style="list-style-type: none"> • 30' front • Total 25'; min. 10' on either side • 30' rear 	<ul style="list-style-type: none"> • 59.6' front • 10.1' & 26' sides • 245' (+/-) rear 	Complies
Maximum Height	35'	31' 1.25"	Complies
Maximum Lot Coverage	20% (for a two-story house)	4.6% (1,756 SF)	Complies
Maximum Impervious Coverage	40%	>40%	Complies
Maximum Rear Yard	30%	0%	Complies

Coverage			
Minimum Gross Floor Area	2,600 SF (for a two-story)	3,493 SF	Complies
Minimum Basement Size	80% of the ground floor	100%	Complies

General comments regarding revised plans:

Staff offers the following points for discussion:

1. The R-2 zone district requires a minimum lot size of 15,000 square feet, 100' width and 150' depth. The existing lot is 38,350 square feet in area, 100' wide and approximately 370.4' deep and is therefore conforming regarding lot size and width. The lot does narrow slightly toward the middle of the lot, to 98.3' wide, before flaring out to 110' wide along the rear property line. The house is located near the narrowest point of the lot.
2. The Zoning Ordinance requires that all houses in the R-2 zone district provide a 10' minimum side yard setback (total of 25' on both sides). The proposed house would be constructed 10.1' from the north side property line and 25.5' from the south side property line, meeting this requirement.
3. The Zoning Ordinance requires that all houses in the R-2 zone district have the 1st floor entirely constructed of masonry (Article 6, Section B, Part 2 (g)). The proposed house would be constructed of three primary materials: ChamClad siding (PVC with faux wood finish), 4" Hardie Board lap siding (wood composite) and painted brick, requiring a variance. The proposed ChamClad siding has a treated surface that closely resembles natural wood. To staff's knowledge, this material has not been used on new construction in Frankfort.
4. The Zoning Ordinance prohibits metal roofs on single-family homes except for accent features above bay windows (Article 6, Section B, Part 4 (i)). The proposed house would have both a metal roof and shingled roof over the primary structure, requiring a variance. The metal vs. shingle material is about an even split.
5. The Zoning Ordinance requires that all garages over 3 cars in size be side-loaded. The proposed 4-car garage is side-loaded and comply with this requirement. The garage itself is 1,134 square feet in area.
6. The Zoning Ordinance permits a maximum lot coverage of 20% for two-story homes in the R-2 zone district. The proposed house with attached garage amounts to 1,756 square feet, which is approximately 4.6% of the lot, complying with this requirement. There are two existing accessory structures (a shed and a barn) measuring 257 SF and 496 SF, although these are proposed to be demolished. If these structures remained after the house was constructed, the lot coverage would be approximately 6.5%.
7. There would be five (5) trees removed to construct the new house. Of these trees, four (4) are classified as "preservation trees" per the Landscape Ordinance, including three hackberry trees (42", 8", 8" diameters) and one oak tree (6" diameter). Preservation trees must be mitigated on-site at a 1":1" ratio of tree caliper (non-preservation trees can be removed without penalty). Preservation trees must be replaced with one of the "overstory tree" species as listed in Appendix A of the Landscape Ordinance. Replacement trees shall be at least 2.5" caliper size upon planting. In this instance, a total of 64" of tree diameter would be removed and need to be replaced on-site. If the applicant chooses to plant new trees that are 2.5" in diameter, a total of 26 trees would need to be planted on-site. If trees larger than 2.5" caliper were planted, the total number of replacement trees would be less. The site plans do not illustrate the location, type and size of any replacement trees.

Page 11 of the Landscape Ordinance states that "Village staff may vary the number of replacement trees required depending on the desirability of the existing tree". Staff has included site photos of the trees that would be removed. If the Plan Commission is of the opinion that any of the preservation trees do not

need to be replaced, in whole or in part, staff asks that this be noted during the public hearing. For example, the Plan Commission could recommend to staff that only 32" of tree diameter replacement is needed instead of 64" based upon the desirability of the existing trees. In absence of any recommendation from the Plan Commission, staff intends to require the total tree replacement as per the Landscape Ordinance and will request a tree planting plan from the applicant prior to the issuance of a building permit.

Standards for Variations

For reference during the public hearing, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request.

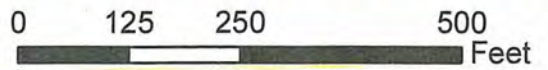
- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 2. That the plight of the owner is due to unique circumstances;
 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was applied;
 2. That the conditions upon which a petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
 6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
 7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motions

1. Recommend the Village Board approve the variance request for first-floor building materials to allow non-masonry siding on the property located at 240 Center Road, in accordance with the reviewed plans, public testimony and Findings of Fact.
2. Recommend the Village Board approve a variance from Article 6, Section B, Part 4 (i) to permit a metal roof on a residential structure, in accordance with the reviewed plans, public testimony and Findings of Fact.
3. Recommend the Village Board approve a variance from Article 6, Section B, Part 2(i) to permit a driveway serving a side-loaded garage to be 1' from the side property line, whereas 4' is required, in accordance with the reviewed plans, public testimony and Findings of Fact.
4. Recommend the Village Board approve a variance from Article 5, Section D, Part 3(b) to permit a driveway serving a side-loaded garage to have a turning radius of 25', whereas 26' is required, in accordance with the reviewed plans, public testimony and Findings of Fact.

Draft

240 Center Road - Proposed House (variances)



240 Center Road - Proposed House (variances)





Residential
Commercial
ALTA

PLAT OF SURVEY

Studnicka and Associates, Ltd.

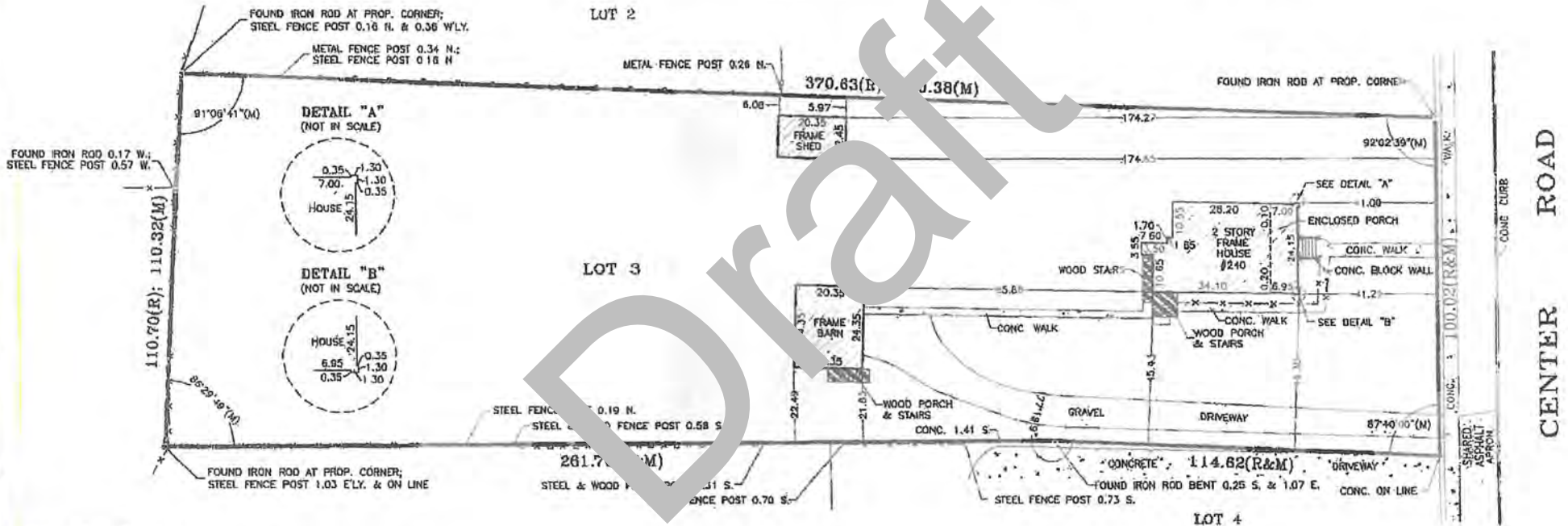
Topographical
Condominium
Site Plans

Tel. 815 485-0445
Fax 815 485-0528

studnicka2000@yahoo.com

17901 Haas Road
Mokena, Illinois 60448

LOT 3 IN PROPRIETOR'S SUBDIVISION OF A PART OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 28, NORTH AND SOUTH OF THE INDIAN BOUNDARY LINE IN TOWNSHIP 35 NORTH, AND IN RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 12, 1966 AS DOCUMENT NO. R66-18426, IN WILL COUNTY, ILLINOIS.



Scale: 1" = 30 feet

Distances are marked in feet and decimals.

Ordered by:

Order No.: 16-21-59

Compare all points before building by same and at once report any difference. For building lines, restrictions, or easements not shown hereon, refer to abstract, deed or ordinance.

Field work completed: 12/17/15

Drawn by: S.K.

Proofed by: T.S.

Design Firm Registration # 184-002791

LEGEND:

- R = RECORD
- M = MEASURE
- = WOOD FENCE
- x-x-x- = CHAIN LINK FENCE
- = METAL FENCE



STATE OF ILLINOIS }
COUNTY OF WILL } SS

Studnicka and Associates, Ltd., an Illinois Land Surveying Corporation does hereby certify that this professional service conforms to the current Illinois standards for boundary survey.

Mokena, IL, December 17, A.D. 2015

by *[Signature]*

License No. 3304 Expires 11/30/16








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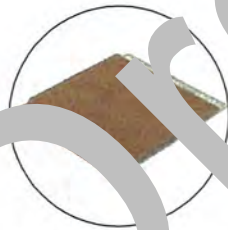
Our films have 35 years proven performance in the EXTERIOR industry and offer the most realistic woodgrains, metallic, and anodized finishes in the market. Additional benefits include superior UV protection and weathering resistance, colour stability, low heat buildup, and scratch and graffiti resistance.



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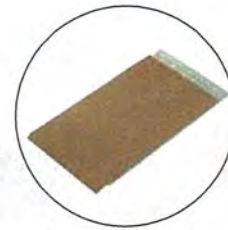
1 PANEL 2 LOOKS
U-CHANNEL, V-GROOVE



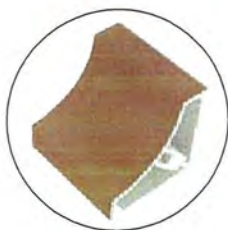
6" INTERIOR WALL AND
CEILING PANELS
9', 12', 14', 20', 30'
LENGTHS



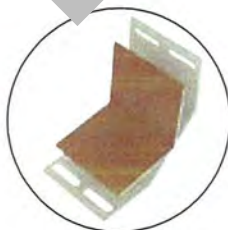
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CEILING PANEL
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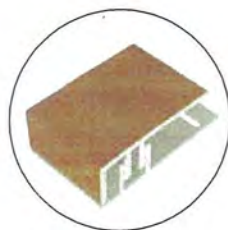
12" INTERIOR WALL & CEILING
PANELS SEAMLESS
PROFILE 12' & 20' LENGTHS



2PC INTERIOR CROWN
MOLD 10' LENGTHS



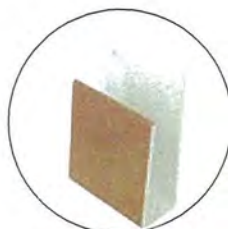
INSIDE CORNER TRIM
12' & 20' LENGTHS



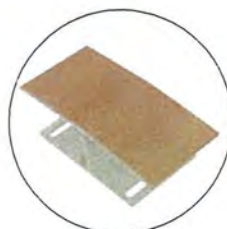
2 PC INTERIOR WALL &
CEILING FINISH TRIM PANEL
12' & 20' LENGTHS



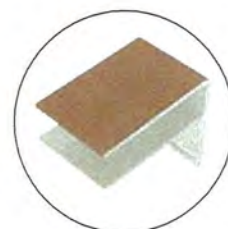
2PC 1.5" OUTSIDE CORNER
TRIM (SMALL FACE)
12' & 20' LENGTHS



UNIVERSAL J TRIM
PVC: 12' & 20' LENGTHS

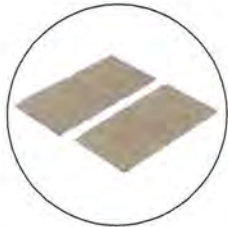


1.5" 2PC. H TRIM
PVC: 12' LENGTHS

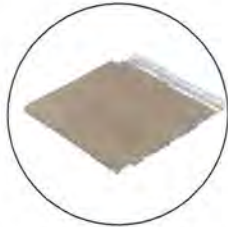


F TRIM 12' LENGTHS

EXTERIOR WALL & SOFFIT CLADDING SYSTEM



1 PANEL, 2 LOOKS
U-CHANNEL, V-GROOVE



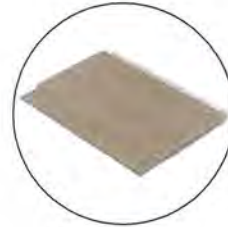
6" EXTERIOR 1/2"
WALL PANEL
12', 20', 30' LENGTHS



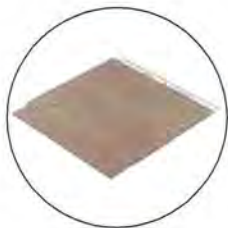
12" EXTERIOR 3/8"
WALL & SOFFIT PANEL
SEAMLESS PROFILE
12' & 20' LENGTHS



4" & 6" VENTED SOFFIT
6" AVAILABLE IN 12', 14', 20'
4" AVAILABLE IN 12', 20'



4" SOFFIT PANEL
- SOLID 12' & 20'
LENGTHS



6" SOFFIT PANEL -
SOLID 9', 12', 14', 20', 30'
LENGTHS



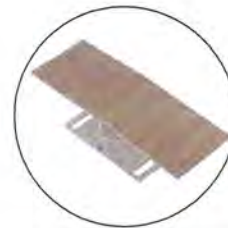
6" SIDING 2PC FINISH
TRIM 1/2" PANEL
12' & 20' LENGTHS



* 6" SIDING 2PC FINISH
TRIM 1/2" PANEL
12' & 20' LENGTHS



6" SIDING 2PC FINISH
TRIM 2.75" FACE
12' & 20' LENGTHS



1.5" 2PC H-TRIM SOFFIT
PVC 12' LENGTHS



SOFFIT AND 12" SIDING
2PC FINISH TRIM
3/8" PANEL
12' & 20' LENGTHS



45 DEGREE GRAY
WINDOW EXTERIOR TRIM
12' & 20' LENGTHS



2PC 1.5" OUTSIDE COR-
NER TRIM (SMALL FACE)
12' & 20' LENGTHS



INSIDE CORNER TRIM
12' & 20' LENGTHS



2PC 2.5" OUTSIDE
CORNER TRIM (LARGE
FACE) USE WITH PANEL
LENGTHS GREATER
THAN 20'



UNIVERSAL J TRIM
12' & 20' LENGTHS



2PC 3.5" EXTERIOR
WALL FINISH TRIM
12' LENGTHS



* STARTER STRIP
12' & 20' LENGTHS

* THESE TRIMS AVAILABLE IN ALUMINUM, PVC OR PVC/ALUM COMBINATION IN 12' , 20' LENGTHS

CUSTOM LENGTHS AVAILABLE

STOCK COLOURS



CINNAMON
WALNUT



SUNBLEACHED
OAK



TOFFEE



BARREL OAK



CHARRED BLACK



ATLANTIC WHITE



BEACHWOOD
GREY



BARNBOARD
GREY



MOUNTAIN OAK



MONUMENT OAK



CHAI CEDAR



TEAK



CANADIAN
BIRCH



CHERRY



SPANISH CEDAR



MOUNTAIN PINE



HONEY SUPER
MATTE



HARVEST
WALNUT



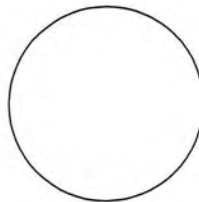
MODERN
WALNUT
SUPER MATTE



BROWN OAK



SPECKLED
GRAPHITE



PURE WHITE



BRUSHED
METALLIC



BRUSHED
TITANIUM



BRUSHED SILVER

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- ✓ ASTM D635-18
- ✓ CAN/CGSB - 41.24.-95
- ✓ CAN/ULC S102-2018
- ✓ ASTM G154-16
- ✓ ASTM D790
- ✓ ASTM G155
- ✓ ASTM E330/E330-14
PROCEDURE B Q50<0.85
- ✓ RILEM TC -127-MS
(ACID RAIN)
- ✓ CAN/ULC S134
- ✓ NFPA 285
- ✓ NFPA 268
- ✓ LEED Compliant
- ✓ Made in Canada from 100% recycled PVC
- ✓ 50 Year Warranty
- ✓ Canada and US Distribution
- ✓ UV Protection
- ✓ Impervious to Water Absorption, Bacteria and Mold
- ✓ Low Maintenance
- ✓ Easy to Install, No Special Tools Required, Lightweight
- ✓ High Impact Resistance
- ✓ Short Lead Times
- ✓ One Profile Gives Two Looks: V-Groove and U-Channel



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May 11, 2022



WARRANTY

Exterior and Interior Cladding

info@chamclad.com

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780-456-4430

November 25, 2021

Draft



COVERAGE UNDER THIS WARRANTY

Chameleon Wrapping and Lamination Ltd. ("Chameleon") is pleased to offer a 50-Year Limited Warranty on its ChamClad® line of PVC siding, cladding and accessories (the "product"), on the terms and conditions set out herein (the "Warranty").

Chameleon warrants the product will be free from initial manufacturing defects in material or workmanship ("initial defects") for a period of 50 years from the date of purchase. Provided the product has been stored and installed according to ChamClad® installation instructions, the product is warranted for a period of 50 years (as prorated as set out below) against warping, blistering, and peeling ("technical failure"), subject to the limitations contained herein.

The product, like all materials, will experience some degree of discoloration due to age, sun exposure, and other environmental conditions. Provided the product has been stored and installed according to ChamClad® installation instructions, Chameleon further warrants the product against unreasonable discoloration for a period of 15 years from the date of purchase (subject to the limitations contained herein). In the event a claim is brought under the Warranty for unreasonable discoloration, Chameleon, in its sole discretion, will determine whether the degree of discoloration or fading is unreasonable or excessive, having regard to the factors set out below.

In the event of initial defects, technical failure or unreasonable discoloration covered by the Warranty, Chameleon will, at its sole discretion, repair, restore, or replace the product in accordance with the claims provisions set out below. Chameleon's responsibility is limited to the product only. Coverage for installation and labour costs will be determined by Chameleon on a case-by-case basis, at Chameleon's sole discretion, and unless otherwise agreed by Chameleon in writing, all labour and installation costs are the sole responsibility of the homeowner. The warranty on the repaired or replacement product will be limited to the unexpired term of the Warranty for the product which was repaired or replaced.

The Warranty extends to the original purchaser(s) of the product. The Warranty shall terminate upon the sale of the property or the death of the original purchaser(s)/homeowner(s), unless the Warranty is transferred to a new owner by applying to Chameleon in writing (as more particularly set out herein) within 60 days following the sale. Failure to transfer the Warranty to a new owner in strict compliance herewith shall result in the balance of the Warranty period being forfeited.

The right to transfer the Warranty is limited to individual homeowners only and under no circumstances shall any transfer be deemed to extend or renew the warranty period, which in all cases shall be a maximum of 50 years. In the case of corporations, governmental agencies, trusts, religious organizations, schools, condominiums, or cooperative housing, the Warranty is non-transferable, except by a builder to the home purchaser in the event of a new home build.

Should any of the product be determined by Chameleon to have any manufacturing defects or suffer technical failure, Chameleon, in its sole discretion, shall determine whether to replace, restore, or repair and return said product to the homeowner via the authorized ChamClad® retailer/distributor.

To start a claim, a Warranty Claim Form can be filled out and sent to Chameleon. If there are any questions, please contact Chameleon's customer service at 1 (780) 454 4430 or at info@chamclad.com.

The product is not warranted for suitability of use in all situations. It is the sole responsibility of the purchaser to determine the suitability, effectiveness, and safety of any particular use or application of the product. As building code regulations and conditions vary from area to area, each purchaser should consult local building and safety codes for specific requirements, and qualified exterior contractors to determine the suitability.

EXCLUSIONS AND LIMITATIONS UNDER THIS WARRANTY

Chameleon's obligations and liability under the Warranty are expressly conditional upon and subject to the following:

1. The installation, storage, and proper handling of the product must have been completed in accordance with **ChamClad®** installation instructions (please refer to www.chamclad.com for storage, installation and care instructions). Nothing in this Warranty will construe a warranty of workmanship of any installer, nor impose any liability of unsatisfactory performance caused by faulty installation, including, but not limited to failing to ensure proper spacing for expansion and contraction. When storing the product prior to installation, it is important that it is not left uninstalled in direct sunlight. Leaving uninstalled product in direct sunlight will void the Warranty.
2. The Warranty must have been registered as required herein, and any transferee must have completed and submitted the proper transfer documentation to Chameleon. The claimant must provide Chameleon with all information which it reasonably requires to evaluate the Warranty claim.
3. This Warranty does not cover destruction of or damage to the product, or to the product's failure to adhere to any surface, where caused or contributed to by improper installation, improper cleaning (including the use of unapproved cleaning products or any abrasive materials), misuse, neglect, impact from foreign objects, ice, fire, wind (including tornados or other extreme wind events), earthquake, flooding (overland or otherwise), lightning or acts of God.
4. This Warranty does not cover abnormal surface weathering or distortion which may be caused or contributed to by air pollution, fumes, vandalism, misuse, harmful chemicals, or close proximity to heat sources such as fireplaces, barbecues, heaters and open flames. This Warranty does not cover damage to the product's finish resulting from foreign substances such as grease, oil, sand, and dirt.

5. This Warranty does not cover damage to the product caused or contributed to by the reflection, refraction, or intensification of sunlight from nearby highly-reflective surfaces. Care must be taken when determining whether the product is suitable for its proposed application by determining whether there are any reflections, refraction or intensification of sunlight which may arise from windows, doors, or other highly reflective surfaces, including those on adjacent properties.
6. This Warranty does not cover discolouration (whether unreasonable or otherwise) or other damage caused or contributed to by air pollution, harmful chemicals and harsh weather conditions. Normal weathering is to be expected as a result of exposure to ultraviolet radiation, atmosphere and weather that may cause staining, fading or other issues which may vary due to the geographic location of a property, sunlight, air quality, or other factors.
7. Coverage under this Warranty for discolouration will be limited to abnormal or unreasonable discolouration, judged against the weathering performance provided by Chameleon's laminate supplier. The standard for unreasonable discolouration in ordinary conditions shall be a colour difference \geq grey scale 2/3 (ISO 105 02) for example in the US and Canada, and otherwise shall be in the sole discretion of Chameleon. Chameleon may require independent lab testing to evaluate a claim for unreasonable discolouration.
8. In the event the product has been painted or sealed using varnish or otherwise coated over the original factory finish, this Warranty will be void.
9. The Warranty will be void if the product is not cleaned in accordance with the approved cleaning methods, as more particularly set out below and at www.chamclad.com.
10. ChamClad® products are not warranted against movement distortion caused by structural movement or ground settlement. Use of ChamClad® products beyond normal commercial and residential uses or an application not recommended by Chameleon or the local building codes will not be covered.
11. Chameleon's sole and exclusive liability under this Warranty is limited to the repair, restoration or replacement of the product. Chameleon shall not be liable for any other losses, damages, or expenses, whether direct or indirect, incidental, consequential, punitive, exemplary, or otherwise whatsoever, including without limitation, costs of removal or reinstallation of the product, labour, freight, taxes, loss of goodwill, lost profits and loss of use. Chameleon's total liability whether arising from or based on contract, warranty, negligence, tort, strict liability, or any other cause or basis whatsoever, is strictly limited to the purchase price of the products involved. Chameleon will not be responsible for any loss of any kind arising from a breach of this Warranty, for the sale of the product or from negligence or omissions on the part of Chameleon, its agents or employees. The warranty on any repaired or replacement products will be limited to the unexpired term of the warranty on the original product.

12. If a claim is made for a product that is no longer available, Chameleon reserves the right to supply a siding product that, in its sole discretion, is of equal quality and colour range for the purpose of fulfilling Chameleon's obligations under this Warranty.
13. Any person to whom product is supplied under the terms of the Warranty shall only be entitled to benefits of the unexpired term of the Warranty applicable to the product originally installed.
14. The Warranty coverage against technical failure is pro-rated as per the below pro-ration schedule (starts from the original date of purchase of the product):
 - First 15 years (0 - 15 years) -100% of the cost of materials will be covered
 - Next 5 years (16 - 20 years) - 75% of the cost of materials will be covered
 - Next 10 years (21 - 30 years) - 50% of the cost of materials will be covered
 - Next 10 years (31 - 40 years) - 25% of the cost of materials will be covered
 - Next 10 years (41 - 50 years) - 10% of the cost of materials will be covered
15. If any of the exclusions, disclaimers or limitations are prohibited by law, such provisions may be severed from the Warranty without otherwise affecting the validity of the balance of the provisions.
16. This warranty is exclusive and in lieu of any and all other warranties, express, implied, and statutory.

CLAIM PROCEDURE UNDER CHAMCLAD® WARRANTY

To make a claim under the Warranty, the original owner or registered transferee must notify Chameleon within thirty (30) days of discovering the defect. Such notice must be in written form using the attached document and shall be sent by certified or registered mail postage prepaid and addressed to: Chameleon, 220-184 Street, Edmonton, Alberta, T5S 2J4. The claim must include a description of the defect, date of discovery, the property address where the product was installed, and proof of purchase.

With reasonable notice, the owner shall allow our agents and/or distributor to enter the property and building to view the product only when deemed necessary and solely by ChamClad®. When asked, the owner or transferee will be responsible to provide all documentation and defective samples at the owner's expense.

CHAMCLAD® WARRANTY REGISTRATION FORM

Please fill out this form completely and include a copy of your invoice (proof of purchase) and email to: info@chamclad.com

1. CUSTOMER NAME:

2. ADDRESS WHERE PRODUCT IS INSTALLED:

3. DATE PRODUCT WAS INSTALLED:

4. COPY OF INVOICE FROM DISTRIBUTOR (PROOF OF PURCHASE):

5. INSTALLER INFORMATION (NAME AND CONTACT):

CARE AND MAINTENANCE OF CHAMCLAD® PANELS

ChamClad® products are designed to be low maintenance and our Laminate Films have exceptional properties that ensure ease of cleaning and surface longevity. They are highly ultra-violet, pollution and salt air resistant. The film's low surface tension makes it inherently dirt-repellent and therefore easy to clean. ChamClad® panel finish includes anti-graffiti properties and in most cases is easily removed with a mild kitchen detergent and warm water. Should you experience removal difficulties, please contact us at info@chamclad.com

In normal or urban environments, where atmosphere is considered to have low-pollutants, we recommend cleaning every 12-18 months. In areas subject to high-pollutants such as industrial or coastal environments, we recommend cleaning more frequently – every 8-12 months.

- Using a soft bristled nylon brush attached to a garden hose, clean the surface with a mild PH neutral soap or non-abrasive kitchen detergent and warm water. DO NOT USE abrasive, erosive, or caustic solvents to clean ChamClad® panels as they can damage the panel finish and could void the warranty. To avoid streaking start at the top of the wall – working your way to the bottom.
- Follow with a thorough rinsing of fresh water to ensure that substances such as airborne salts, dirt and pollutants are removed.
- Always remove unintentional paint splashes, stucco spills, etc. immediately to prevent the possibility of permanent staining.
- Do NOT pressure wash as this could damage the protective coating layers of ChamClad® Exterior wall panels and will void the Warranty.

Provided that Regular Care and Maintenance practices are followed, ChamClad® Exterior wall panels will provide long term performance and protect your investment.

From: [Jarrett Lecas](#)
To: [Chris Gruba](#)
Cc: [Steve Lecas](#)
Subject: Re: 240 Center
Date: Tuesday, September 6, 2022 2:31:21 PM

Chris, attached is the website tab for Chamclad's manufacturer specs where it details everything you need to know about the material. This includes the 50 yr warranty and all certifications (including hurricane certifications for Florida). Let me know if this suffices thank u!

<https://chamclad.com/resources/>

Draft

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following "Standards of Variation." Please attach additional photos as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
This lot has been on the market for around 2 years without much interest as there have been concerns over the traffic on center. The owner is looking to make a large investment into the downtown area as they see this lot has potential.
2. That the plight of the owner is due to unique circumstances and
The unique circumstance is that Frankfort would prefer to have the garage doors not visible on the front of the home, by creating a side loading garage we are required to reach into the setback variance. We pushed the proposed house 5 ft to the north in order to save the line of mature arborvitae trees on the south lot line.
3. That the variation, if granted, will not alter the essential character of the locality.
The material variance being requested would be consistent with many of the other homes in the downtown area as several homes are mainly consisted of lap siding material with newer homes being that of Hardie material.

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional "Standards of Variation."

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
If a 10' setback was enforced on the north side of the proposed home, this would push the driveway further south. By doing so, the driveway would encroach onto the line of mature arborvitae trees planted along the south lot line. This would result in the arborvitae trees having to be removed and/or damaged.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
The home to the North is much larger than proposed home.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
This home is 3500 square feet and from a FAR perspective could be much larger but owner chooses to do a smaller home so it has a quaint Frankfort feel.

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
N/A

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;
N/A

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause substantial depreciation in the property values within the neighborhood; or
The functionality of the plan would be completely depreciated as a side load garage is necessary to make the proposed home more architecturally appealing.

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

None of this is applicable.

- c) Subject to staff approval of the Photometric Plan prior to Village Board consideration.
- d) Subject to staff approval of the Building Elevations prior to Village Board consideration.
- e) Subject to staff approval of the Sign Package prior to Village Board consideration.

Motion by: Markunas Seconded by: Jakubowski

Approved: (5-1, Rigoni voted against)

Motion (#7): Recommend that the Village Board approve a Special Use Permit for a Daycare Center/Preschool for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony, and Findings of Fact, subject to the following condition:

- a. Parking lot lights shall be connected to a shut off timer, which automatically turns off the lights no later than 8:00 p.m. each night and on no earlier than 5:30 am and only during days when the daycare/preschool is open for business.

Motion by: Jakubowski Seconded by: Schaeffer

Approved: (6-0)

Motion (#8): Recommend that the Village Board approve a Special Use Permit for extended hours of operation (allowing the Daycare Center/Preschool to open for business at 6:30 a.m.) for the property located at 11031 W. Lincoln Highway (Pending Address Assignment), in accordance with the submitted plans, public testimony, and Findings of Fact.

Motion by: Schaeffer Seconded by: Markunas

Approved: (6-0)

D. Workshop: 240 Center Road – Oltman Residence

Chris Gruba gave the staff report.

Chair Rigoni asked if there were any initial questions from the Commission for the applicant or staff. There was no response.

Chair Rigoni invited the applicant or their representative to the podium.

Steve Lecas of Gander Builders approached the podium. He explained why he started using different exterior building materials on his projects in recent years. He stated that the modern farmhouse look is in right now. For this project he wanted to come up with a modern flair but still be different from all the other modern farmhouses that are being built. He stated that the type of metal siding that he is proposing for this project is very expensive but is far superior to fiber cement board. He added that it looks like real wood. It never fades, bugs can't eat it, and it cannot easily be dented. He stated that this house is going to be spectacular, unique, and tasteful. He is not sure why the Village is only allowing metal roofs as an accent material because they last for more than 100 years. They are very durable. He mentioned that Hackberry Trees are big junk trees and would like to remove these. He stated that he would like to save the existing barn but will use the reclaimed wood on the interior of the new house. He stated that he needs the side yard setback variation due to the side load garage which is required since the owner desires a four-car garage. He stated that he will work with the neighbor to the north on the plan for the landscaping on the north side of the new house. He then distributed a small sample of the proposed metal siding material for review by the Plan Commission / Zoning Board of Appeals members.

Chair Rigoni asked Mr. Lecas where this product is being used.

Mr. Lecas replied that he is currently building a house in New Buffalo Michigan which will have this product. He stated that it is four times the price of Hardie Board®.

Mr. Lecas then distributed a brochure which contained photos of buildings that use the product and stated that it will not look shiny.

Commissioner Januszewski asked Mr. Lecas if he is using this due to the lifetime warranty.

Mr. Lecas replied that the warranty is part of the reason but more for the look and durability.

Commissioner James stated that the intent of Hardie Board® is to mimic the look of real wood siding, which this proposed Longboard® product does just that.

Commissioner Jakubowski stated that she agrees and wishes that she had this on her house.

Commissioner Schaeffer stated that she is intrigued by this material. She wondered if a touch-up pen is necessary for scratches.

Steve Lecas replied that he has seen the material become scratched when it brushes up against brick, but it is very durable.

Commissioner Knieriem stated that he has no problem with the product but would like to see a color board.

Steve Lecas distributed a photograph of a house in Asheville, North Carolina that uses this product.

Chair Rigoni stated that everything in the brochure provided by Mr. Lecas is very modern. If he can find more homes that use this product it will be helpful.

Discussion ensued regarding the Village's Residential Design Guidelines which are included within the adopted Comprehensive Plan and how these were intended to allow for architectural variety.

Chair Rigoni stated that when Mr. Lecas mentioned saving the existing barn wood siding, he would use it on the exterior of the new house.

Steve Lecas replied "maintenance, maintenance, maintenance."

Discussion then ensued regarding the proposed roof material.

Chris Gruba stated that metal roofing is approximately 50 percent of the overall roofing material on the new house. Past projects have been permitted to use metal roofing as an accent material over porches, bay windows, etc.

Commissioner Knieriem stated that this looks modern.

Steve Lecas responded "this is what he was going for in the design."

Discussion then ensued regarding the windows.

Commissioner Schaeffer stated that the color rendering that was provided looks like an office building.

Steve Lecas responded that the rendering provided by the architect doesn't accurately reflect how the upper windows will have thinner mullions between the glass so as a grouping these will look like one large window.

Discussion then ensued regarding the proposed 5-foot side yard setback on the north side of the new house.

Commissioner Markunas stated that it is hard for him to allow this variation request since it is a vacant lot.

Commissioner Schaeffer stated that she is looking for a solution. She added that she does not like the fact that the new house is so close to the north property line.

Commissioner Knieriem stated that he echoes the other members' comment and that he is concerned with the proposed 5-foot setback.

Commissioner James stated that the north wall of the house is also the tallest part of the house. He added that it is going to be tight.

Commissioner Jakubowski stated that it is a big lot especially for the Downtown area.

Discussion then ensued about potentially shifting the proposed house further west on the lot, since the lot width becomes slightly wider. This may help the applicant achieve compliance with the required 10-foot side yard setback from the north property line.

Discussion then ensued regarding the applicant asking for the blessing of the Building Department on the proposed Longboard® metal siding product.

Chair Rigoni invited an audience member to the podium. He identified himself as Charles Christensen.

Mr. Christensen stated that his biggest concern was the proposed 5-foot setback from the north property line, which would place the proposed new house closer to his property.

Commissioner Knieriem requested that Mr. Christensen place stakes at the corners of the proposed new house for the benefit of both the Plan Commission/Zoning Board of Appeals as well as for the neighbors.

Mr. Lecas replied that he would contact the applicant to place the stakes to show the location of the proposed new house.

E. Public Comments

There were none.

F. Village Board & Committee Updates

Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on August 15:

- Norman Residence side yard setback and basement area variations at 229 N. Locust Street – the ordinance was approved.
- Wildflower Hair Salon and Spa special use for personal services at 21195 S. la Grange Road – the ordinance was approved.

Schwarz also noted that the Illinois Chapter of the American Planning Association Annual Conference will be held at the Old Post Office in Chicago September 28-30. There is a nominal amount of funding in the budget for a few Plan Commission members to attend one day of the conference for a session which offers Plan Commissioner training. He stated that it is a good opportunity to learn best practices from other





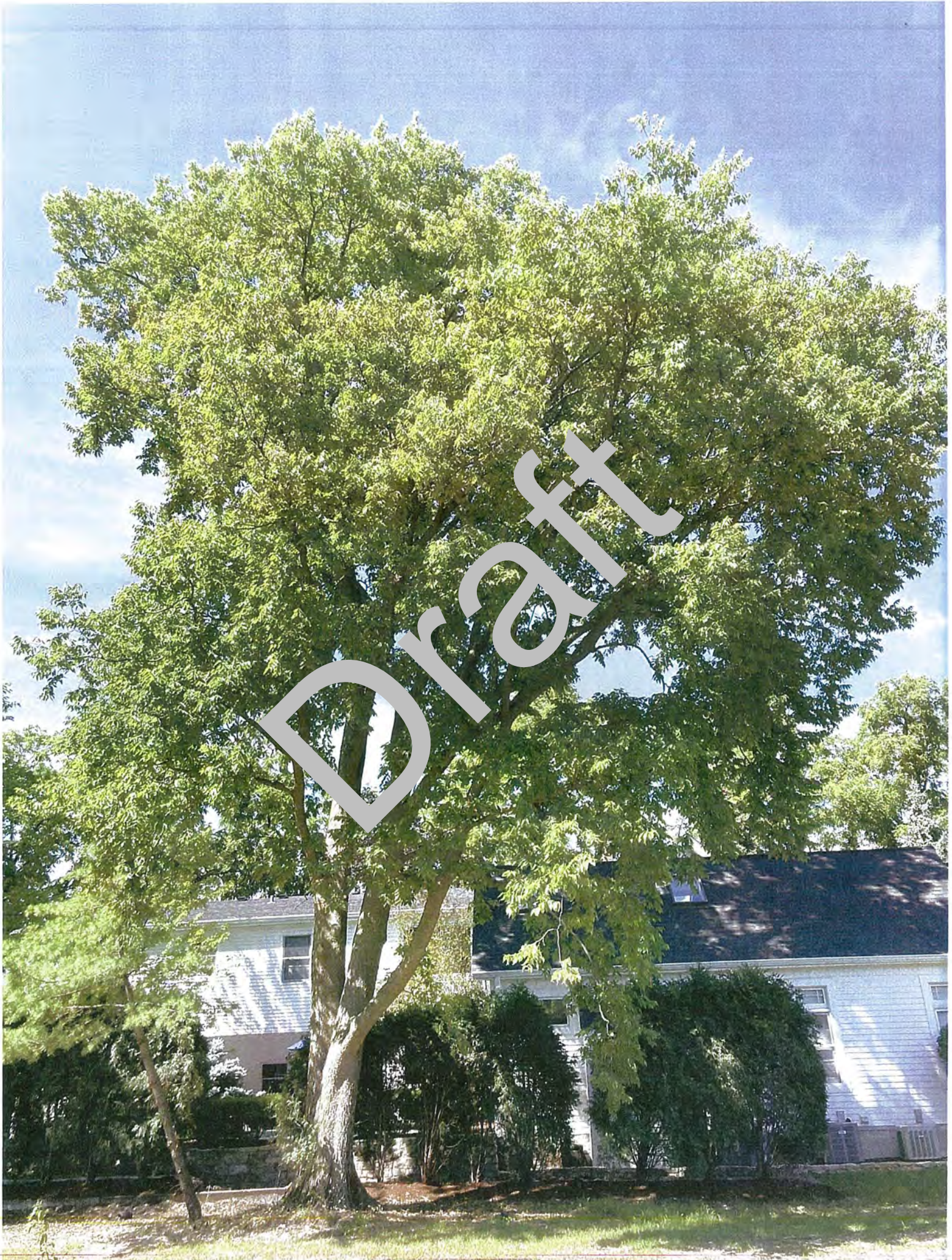


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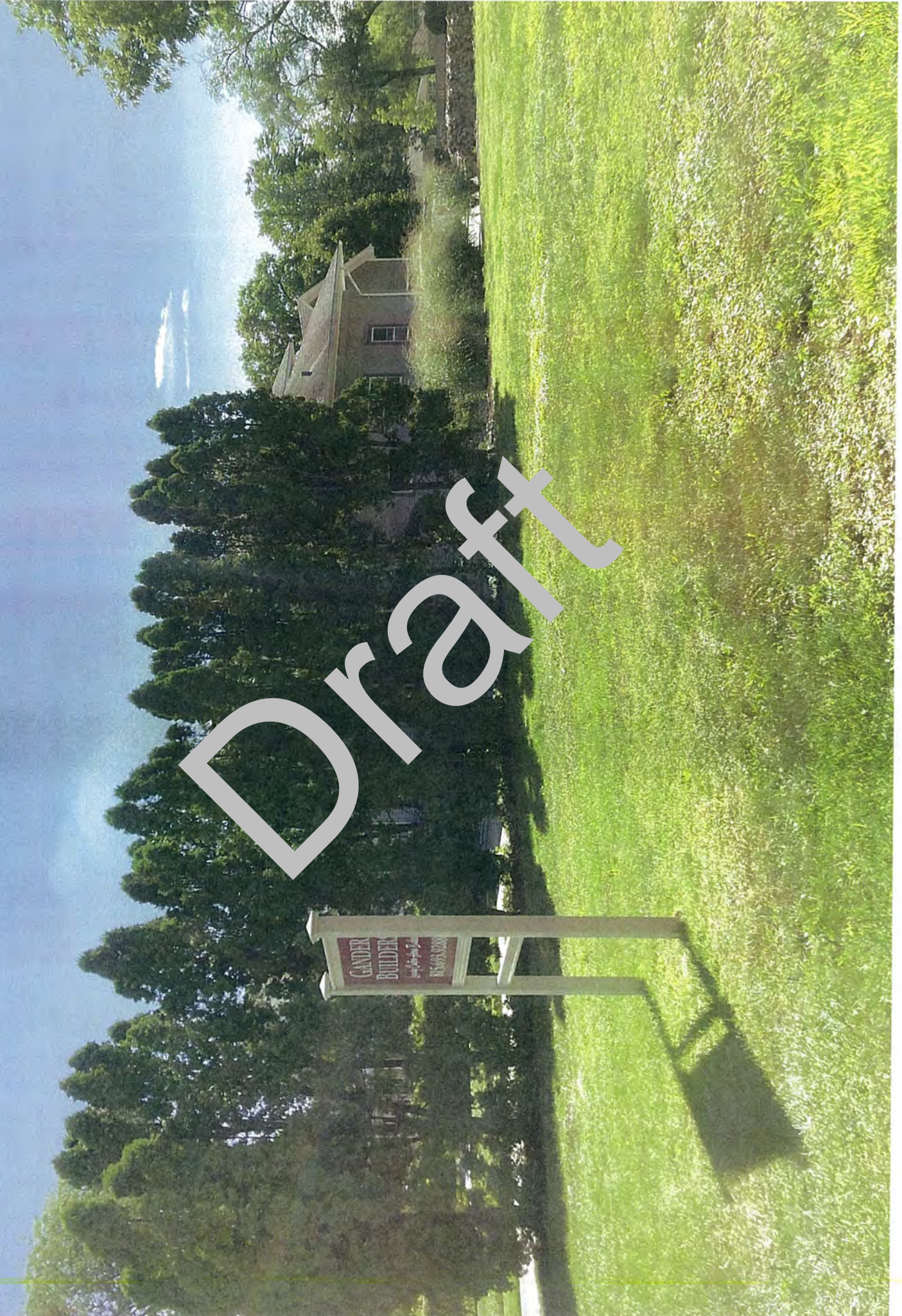






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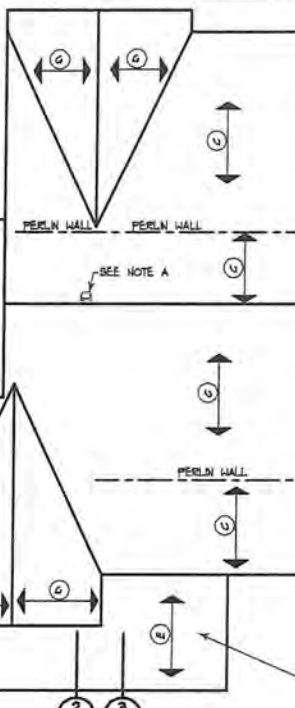
GANDER
BUILDER
Call 404-222-
815-693-9288



RAFTER SCHEDULE

- A) 2 x 10 @ 16" O.C. (HEM-FR. (N))
MAX SPAN OF 22'-0"
- B) 2 x 10 @ 16" O.C. (HEM-FR. (N))
MAX SPAN OF 22'-0"
- C) 2 x 10 @ 16" O.C. (S.P.F. #2)
MAX SPAN OF 18'-0"
- D) 2 x 10 @ 16" O.C. (S.P.F. #2)
MAX SPAN OF 21'-4"
- E) 2 x 8 @ 16" O.C. (S.P.F. #2)
MAX SPAN OF 15'-4"
- F) 2 x 8 @ 16" O.C. (S.P.F. #2)
MAX SPAN OF 17'-0"
- G) 2 x 6 @ 16" O.C. (S.P.F. #2)
MAX SPAN OF 11'-4"
- H) 2 x 6 @ 12" O.C. (S.P.F. #2)
MAX SPAN OF 13'-0"

NOTE A
ROOF VENTS TO BE LOCATED ON BACK SLOPE OF ROOF. NUMBER AND LOCATION SHALL BE BASED ON TOTAL AREA OF VENTS REQUIRED EQUAL TO 1/300TH OF ROOF AREA.



THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOIST CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR WEARS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SIZE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPECS.

ALL WINDOWS AND PATIO DOORS DESIGNATIONS INDICATES "ANDERSEN" MANUFACTURED WINDOWS. COORDINATE WINDOW AND DOOR MANUFACTURER WITH OWNER FOR EXACT SIZE AND TYPES.

PREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN A MIN. HORIZONTAL DISTANCE OF (10'-0").

ALL BRICK WORK SHALL BE TYPICAL BRICK VENEER, UNLESS NOTED OTHERWISE.

ALL SOLDIER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF VENEER UNLESS NOTED OTHERWISE.

ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED.

CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. CONCRETE FOR PORCHES, STEPS, AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3000 PSI AND A MINIMUM 5% AIR ENTRAINMENT.

THE BUILDING INSPECTOR MAY REQUIRE A SOIL BEARING TEST TO BE PERFORMED BY A GEOTECHNICAL ENGINEER WITH A REPORT SUBMITTED TO THE COUNTY. IT SHALL BE THE ARCHITECT'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENCOUNTERED GROUND MEETS THE DESIGN REQUIREMENTS SPECIFIED IN THE DRAWINGS.

EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TE 16 GAGE AND 1 1/2 INCHES WIDE FASTENED TO EACH PLATE.

DEX-O-TEX MEMBRANE SEE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION

PROVIDE ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET THAT EXTENDS FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.



FRONT ELEVATION
10'-0" FIRST FLOOR HEIGHT
3493.0 SQFT.
1/4"=1'-0"

ROOF PLAN

GENERAL ROOF NOTES

- USE CANADIAN SPRUCE-PINE-FIR NO.1/NO.2 FOR ROOF RAFTERS THRU 2x10's. 2x12's ROOF RAFTERS SHALL BE HEM-FIR(N) PER THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES' 2001 EDITION. SNOW REGION, MEDIUM ROOF COVERING, NO CEILING. 30 PSF LIVE, 15 PSF DEAD.
* CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPAN. IF SUBCONTRACTOR IS ABLE TO SHORTEN THE SPAN BY USE OF PURLINS OR OTHER METHODS HE IS ALLOWED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY CODE. FURTHERMORE, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAXIMUM SPAN TO A LESSER SPAN, THE CONTRACTOR MAY MAKE THAT ADJUSTMENT (E.G. 2x10'S TO 2x8'S) BY ADJUSTMENT IN THE BIRD MOUTH CUT.
- HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS w/ RAFTER DEPTH PLUS 2" DEEP.
- ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER.
- COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
- RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE, OR TO MINIMUM 1-INCH NOMINAL THICKNESS ROOF BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIP'S, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE ROOF BY A BRACE TO A BEARING PARTITION.

DESIGN LOADS

USE	LL	DL
BALCONY/INTERIOR	80	7
DECKS	80	7
ROOF RAFTERS	80	7
ROOF RAFTERS (CATHEDRAL CEILING)	50	15
ROOF RAFTERS (HEAVY ROOF-EX. CLAY, TILE, GEMENT, SLATE)	50	17
ATTIC/NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3:12	10	10
ATTIC/UNSTATED ATTIC STORAGE	20	10
FLOORS	40	10
FLOORS (SLEEPING ROOMS)	50	
STAIRS	50	
GUARDRAILS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200	
HALLS-STUD		
PARTITIONS OR WALLS (INTERIOR, HORIZONTALLY)		

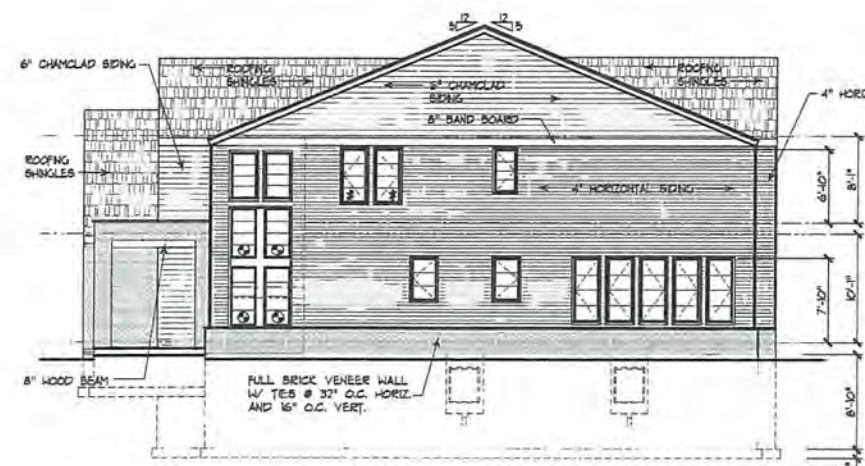
EACH STRUCTURE TO WHICH A STREET NUMBER HAS BEEN ASSIGNED SHALL HAVE SUCH NUMBER DISPLAYED IN A POSITION EASILY OBSERVED AND READABLE FROM THE PUBLIC WAY. ALL NUMBERS SHALL BE IN ARABIC NUMERALS AT LEAST 3" HIGH 1/2" STRIKE.

CUTTERS AND DISINTEGRATE DISCHARGE A MINIMUM 10' AWAY FROM THE BUILDING IN ACCORDANCE WITH THE APPROVED LOCAL ORDINANCES OR TO AN APPROVED DRAINAGE PLAN.

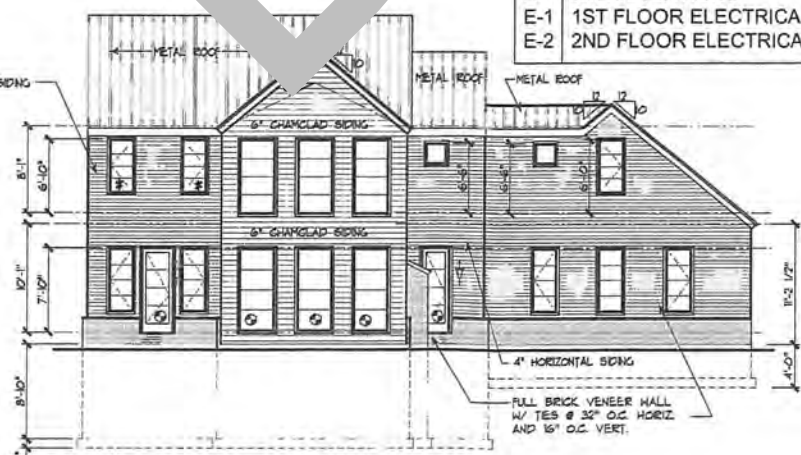
METAL OR PLASTIC FLASHING SHALL BE INSTALLED AND ALL EXTERIOR WALLS SHALL BE FINISHED WITH BRICK VENEER.

- Codes**
- 2012 International Building Code
 - 2012 International Residential Code
 - 2014 Illinois State Plumbing Code
 - 2011 International Mechanical Code
 - 2011 Illinois Energy Conservation Code
 - 2012 International Fire Code
 - 2012 International Property Maintenance Code
 - 2011 National Electric Code (NEC)
 - 2012 Fuel Gas Code
 - 2018 Illinois Accessibility Code

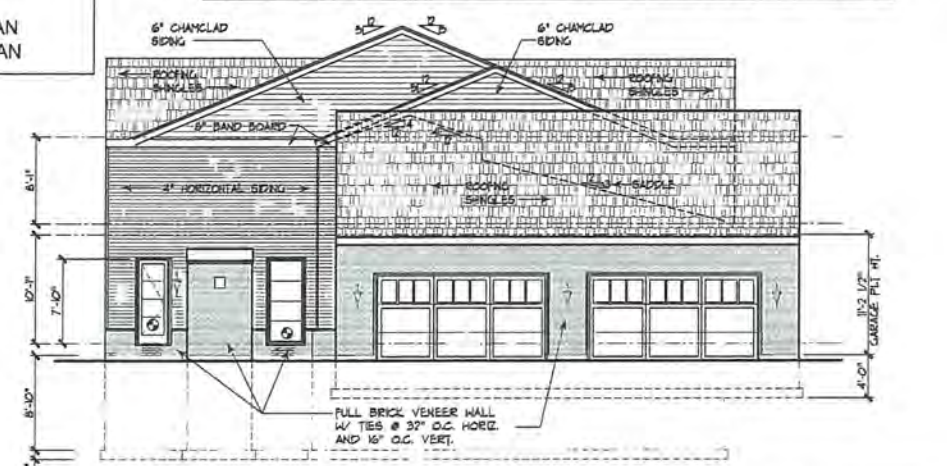
- INDEX**
- A-1 ELEVATIONS, ROOF PLAN
 - A-2 FOUNDATION PLAN
 - A-3 FIRST FLOOR PLAN
 - A-4 SECOND FLOOR PLAN
 - A-5 WALL SECTIONS AND DETAILS
 - A-6 DETAILS
 - A-7 SPECIFICATIONS
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 - E-2 2ND FLOOR ELECTRICAL PLAN



RIGHT ELEVATION
1/8"=1'-0"



REAR ELEVATION
1/8"=1'-0"



LEFT ELEVATION
1/8"=1'-0"

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THEY, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE GOVERNING BODY HAVING JURISDICTION.

Thomas C. Longhi
THOMAS LONGHI - ILLINOIS REGISTRATION NO. 001-012985
LICENSE EXPIRES: 11.30.2022 DATE SIGNED: 9/12/22

NO.	DATE	REVISIONS
01	09.12.22	Revised George

BY: RB
DRAWN BY: RB
PREVIOUS: 00000



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Oltman Residence
240 Center Road
Frankfort, Illinois

DATE	09.12.22
JOB #	2021.045
SHEET	A-1

- ELECTRICAL SYMBOLS:**
- ⊕ SINGLE POLE TOGGLE SWITCH
 - ⊕ THREE POLE TOGGLE SWITCH
 - ⊕ DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED.
 - ⊕ DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED, ONE SIDE SWITCHED.
 - UNDER CABINET FLUORESCENT STRIP LIGHTS TYPE AND STYLE PER OWNER / CONTRACTOR
 - CONDUIT RUN CONCEALED ABOVE CEILING
 - ⊕ 7" DIA. RECESSED LIGHT FIXTURE PER OWNER/CONT.
 - ⊕ 4" DIA. RECESSED LIGHT FIXTURE PER OWNER/CONT.
 - ⊕ CEILING LIGHT FIXTURE PER OWNER/CONTRACTOR
 - ⊕ WALL MOUNTED LIGHT FIXTURE PER OWNER/CONTRACTOR
 - ⊕ WALL MOUNTED LIGHT SOURCE FIXTURE PER OWNER/CONT.
 - ⊕ CEILING EXHAUST FAN PER OWNER/CONTRACTOR. VENT DIRECTLY TO OUTSIDE.
 - ⊕ SMOKE DETECTOR. ALL SMOKE DETECTORS TO BE WIRED IN SERIES WITH BATTERY BACKUP.
- ELECTRICAL CONTRACTOR NOTE:**
- VERIFY WITH OWNER WHICH SWITCHES ARE TO BE ON DIMMERS.
 - CABLE AND TELEPHONE JACKS TO BE LOCATED BY OWNER ON SITE.

- ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- CARPENTER CONTRACTORS TO VERIFY WITH CONTRACTOR IF JOIST SPACING TO CHANGE TO DOUBLE EVERY OTHER UNDER CERAMIC TILE AREAS.
- IF CONCRETE FLOOR JOISTS AND STEEL FOR FIRST FLOOR IS NOT IN PLACE FOUNDATION WALLS SHALL BE BRACED WITH 2x8 @ 45° TO TOP OF FOUNDATION WALLS 8" O.C. AND @ ALL FOUNDATION CORNERS 4'-2" FROM WALLS.
- ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL. EITHER OF WHICH MUST HAVE A BEARING CAPACITY OF 3,000 PSF.
- DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE. BEARING AND NON-BEARING JOISTS MAY BE SPREAD TO EACH SIDE OF WALL TO ALLOW PLUMBING TO PASS THROUGH.
- DENOTES 3-2x4 SPIKED TOGETHER OR 4x4 POST. CONTIGUOUS TO FOUNDATION WALL, STEEL BEAM OR WOOD BEAM.
- LOCATION OF ALL MECHANICAL EQUIPMENT AND FLOOR DRAIN IS APPROXIMATE. ACTUAL PLACEMENT WILL VARY DUE TO JOB CONDITIONS AND CONSTRAINTS. EXACT SIZE AND LOCATION DETERMINED BY APPROPRIATE SUBCONTRACTORS.
- FLOOR DRAIN SEALS SUBJECT TO EVAPORATION SHALL BE OF THE DEEP SEAL TYPE. SHALL BE FED BY MEANS OF A PRIMING DEVICE DESIGNED FOR THAT PURPOSE. OR SHALL BE FILLED WITH VEGETABLE OIL.

ADDITIONAL NOTES

- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TE IS GAGE AND 1/2" LIPS FASTENED TO EACH PLATE.
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL BRACE.

A PERMANENT CERTIFICATE SHALL BE POSTED ON THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (GLAS. BASEMENT WALL, GRAIL SPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES. U-FACTORS FOR PENETRATION, THE EFFICIENCY OF THE HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

ALL EQUIPMENT, INCLUDING AIR CONDITIONER, WATER HEATER AND FURNACE SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION GUIDE ATTACHED TO THE UNIT AT THE TIME OF INSPECTION.

PROVIDE COMBUSTION AIR FOR ALL THE FUEL-BURNING APPLIANCE IN THE BASEMENT.

ENERGY NOTES:

- A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER, AND SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES.
- ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
- NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.
- WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ON THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70° F AND A COOLING TEMPERATURE NO LOWER THAN 78° F.
- SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING GAVES USED AS DUCTS SHALL BE SEALED. JOISTS AND SEAMS SHALL COMPLY WITH SECTION M160.4.1 OF IRC.
- BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS.

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/NO.2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR(N).

ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR NO.1/NO.2	HEM-FIR(N)
CEILING JOISTS - 2x6s LL AND 10x6s DL	2'x6" 2'x8" 2'x10"	2'x12"
12" O.C.	14'-9" 18'-9" 22'-11"	26'-3"
16" O.C.	12'-10" 16'-3" 19'-10"	22'-8"
2nd FLOOR, FLOOR JOISTS - 3x6s LL AND 10x6s DL	12" O.C. 11'-3" 14'-11" 19'-0"	24'-2"
16" O.C.	10'-3" 13'-6" 17'-2"	21'-4"
1st FLOOR, FLOOR JOISTS - 4x6s LL AND 10x6s DL	12" O.C. 10'-3" 13'-6" 17'-3"	21'-11"
16" O.C.	9'-4" 12'-3" 15'-5"	18'-1"

LUMBER BASE VALUES

JOISTS - SPRUCE-PINE-FIR NO.1/NO.2 OR BETTER.
Fb=875p.s.i., Fv=70p.s.i., E=1,400,000p.s.i.

JOISTS, HEADERS AND BEAMS - HEM-FIR(N) NO.1/NO.2 OR BETTER.
Fb=1000p.s.i., Fv=75p.s.i., E=1,600,000p.s.i.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S-P-F OR BETTER.
Fb=875p.s.i., Fc=225p.s.i., E=1,200,000p.s.i.

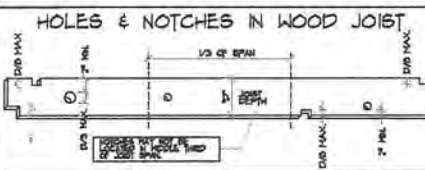
STUDS GREATER THAN 10'-0" IN HEIGHT - S-P-F NO.1/NO.2 OR BETTER.
Fb=875p.s.i., Fc=1100p.s.i., E=1,400,000p.s.i.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 OR BETTER.
Fb=90p.s.i., Fc=90p.s.i., Fc(PER NDS TABLES), E=1,600,000p.s.i.

LAMINATED STRUCTURAL WOOD BEAMS (GLU-LAM BEAMS)
Fb=2,400p.s.i., Fv=165p.s.i., E=1,900,000p.s.i.

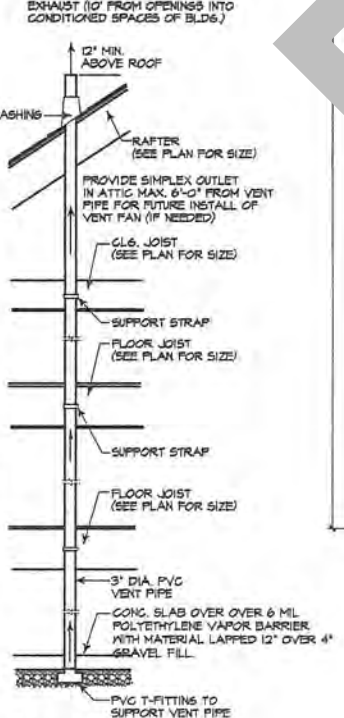
ALL FRAMING MEMBERS DESIGNATED AS "LM" SHALL BE 1.8E G-F LAM BY GEORGIA PACIFIC OR BETTER.
Fb=2,600p.s.i., Fv=285p.s.i., E=1,800,000p.s.i.

JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAIL TOGETHER WITH A MIN. THREE 10d NAILS.



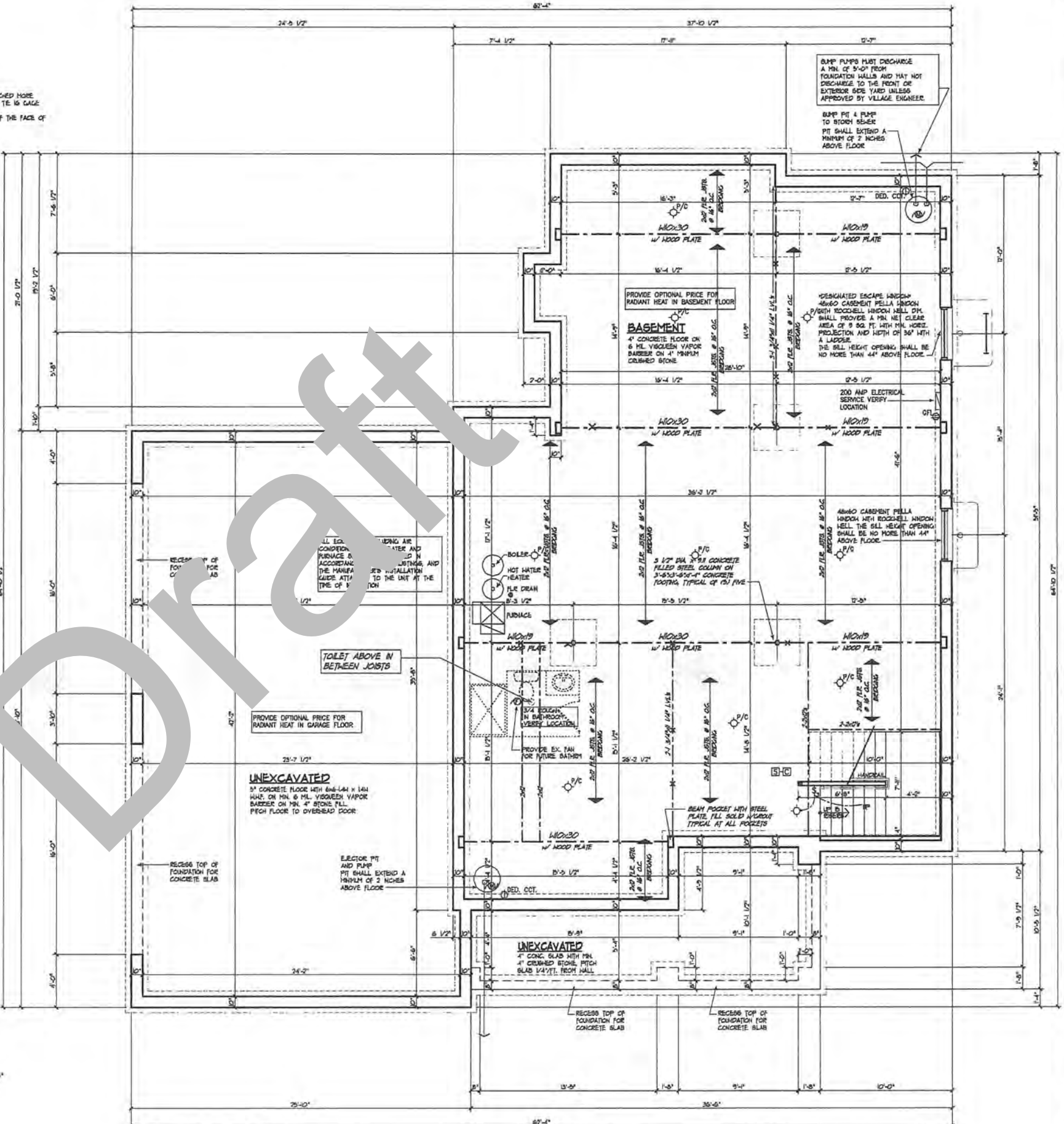
INSTALLATION METHOD FOR INSTALLATION OF THE REQUIRED PASSIVE RADON MITIGATION SYSTEM PERFORATED PIPING MUST EXTEND OUT A MIN. OF 5 FEET FROM EACH SIDE OF IT.

NOTES:
ALL CONCRETE JOINTS MUST BE SEALED WITH POLYURETHANE CAULK OR OTHER ELASTOMERIC SEALANT.
CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
ALL EXPOSED AND VISIBLE INTERIOR VENT PIPES SHALL BE CONSPICUOUSLY IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS, THE LABEL SHALL READ "RADON REDUCTION SYSTEM".
BUMP PITS OPEN TO SOIL OR SERVING AS TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR SEALED LID. BUMP PITS SHALL NOT BE USED AS A PRIMARY EJECTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM.
BUMPS USED THE EJECTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE.
BUMPS USED AS FLOOR DRAIN SHALL HAVE LID EQUIPPED WITH TRAPPED NLEI.



RADON MITIGATION DTL.
NO SCALE

FOUNDATION PLAN
9'-0" HIGH FOUNDATION WALLS
1756.0 SQ. FT.



REVISIONS: Revised Garage 09.12.22

DATE: 09.12.22

BY: RB

PREVIOUS: 08.08.20

DRAWN BY: RB

SCALE: 1/4"=1'-0"

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WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. BULIN CUSTOM DESIGNS, INC. SHALL BE ASSUMED TO HAVE SHOWN BY THESE DRAWINGS.

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JOB #: 2021.045
SHEET: A-2

THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPICES.

RAILINGS, HANDRAILS HAVING MIN. AND MAX. HEIGHTS OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY OF THREE OR MORE RISERS AND SHALL EXTEND 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN KICKER, POSTS OR SAFETY TERMINALS.

OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES MIN. AND 38 INCHES MAX.

THE HAND GRIP PORTION OF THE HANDRAILS SHALL BE NOT MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 36 INCHES MIN. AND 38 INCHES MAX. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.

ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE THE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2 INCH GYPSUM BOARD.

DOUBLE FRAMING MEMBERS AROUND OPENINGS AND BELOW PARALLEL PARTITIONS.

MAINTAIN MINIMUM OF 2 INCH CLEARANCE BETWEEN FLIES AND FRAMING.

FIRE STOP SOFFITS AND STAIR STRINGERS AT TOPS AND BOTTOMS WITH APPROVED MATERIALS.

FILL CAVITIES BETWEEN FLOORS AND BETWEEN OTHER FIRE SEPARATED ZONES WITH APPROVED FIRE STOPPING MATERIALS.

ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS (2x4 STUDS) UNLESS OTHERWISE NOTED.

DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND HONORING JOISTS MAY BE SPACING TO EACH SIDE OF WALL TO ALLOW PLUMBING TO PASS THROUGH.

☐ DENOTES 3-2x4 SPIKED TOGETHER OR 4x4 POST, CONTINUOUS TO FOUNDATION WALL, STEEL BEAM OR WOOD BEAM.

ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED.

DOORS AND TRIM

ALL INTERIOR DOORS ON FIRST FLOOR SHALL BE 8'-0" SOLID MASONITE 2 PANEL DOORS
 ALL BASE BOARDS 1 1/4" ON FIRST FLOOR SHALL BE 7 1/4" BASE
 ALL TRIM CASING SHALL BE 4 1/2" CASING

COUNTER TOPS

ALL COUNTER TOPS SHALL BE GRANITE STONE

FELLA WINDOWS WAS USED VERIFY WITH BUILDER ON SIZES BEFORE CONSTRUCTION

NOTE: GROUT, FIBER CEMENT OR CLAREX MAT GYPSUM FINISHES IN COMPLIANCE WITH ASTM C 208, C 1325 OR C 178 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS ACCESS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN OTHER AREAS.

WINDOW BACKING

PROVIDE SOLID BLOCKING AT EACH WINDOW FOR WINDOW TREATMENTS

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/NO.2 FOR MEMBERS UP TO 12", FOR MEMBERS 12" AND ABOVE USE HEM-FIR(N).

ALLOWABLE SPANS ARE AS FOLLOWS:

	SPRUCE-PINE-FIR NO.1/NO.2	HEM-FIR(N)
CEILING JOISTS - 20ft LL and 10ft DL	2"x6" 2"x8" 2"x10" 2"x12"	
12" O.C.	14'-9" 18'-9" 22'-11" 26'-3"	26'-3"
16" O.C.	12'-10" 16'-3" 19'-10" 22'-8"	

2nd FLOOR, FLOOR JOISTS - 30ft LL and 10ft DL

12" O.C.	11'-3" 14'-11" 18'-5" 24'-2"
16" O.C.	10'-3" 13'-8" 17'-2" 21'-4"

1st FLOOR, FLOOR JOISTS - 40ft LL and 10ft DL

12" O.C.	10'-3" 13'-8" 17'-2" 21'-4"
16" O.C.	9'-4" 12'-3" 15'-5" 19'-1"

ENERGY NOTES:

-A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. CERTIFICATE SHALL BE COMPLETED BY THE BUILDER, AND SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES

-ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES

-NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR

-WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO. HIGHER THAN 70.0 AND A COOLING TEMPERATURE NO LOWER THAN 78

-SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8

-ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M160.4.1 OF IRC

-BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS

LUMBER BASE VALUES

JOISTS - SPRUCE-PINE-FIR NO.1/NO.2 OR BETTER. Fb=875p.s.i., Fv=70p.s.i., E=1,400,000p.s.i.

JOISTS, HEADERS AND BEAMS - HEM-FIR(N) NO.1/NO.2 OR BETTER. Fb=1000p.s.i., Fv=75p.s.i., E=1,600,000p.s.i.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S-P-F OR BETTER. Fb=875p.s.i., Fc=425p.s.i., E=1,200,000p.s.i.

STUDS GREATER THAN 10'-0" IN HEIGHT - S-P-F NO.1/NO.2 OR BETTER. Fb=875p.s.i., Fc=1,100p.s.i., E=1,400,000p.s.i.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 OR BETTER. Fb=PER NDS TABLES, Fv=80p.s.i., Fc=PER NDS TABLES, E=1,600,000p.s.i.

LAMINATED STRUCTURAL WOOD BEAMS (LVL-LAM BEAMS) Fb=2,400p.s.i., Fv=165p.s.i., E=1,900,000p.s.i.

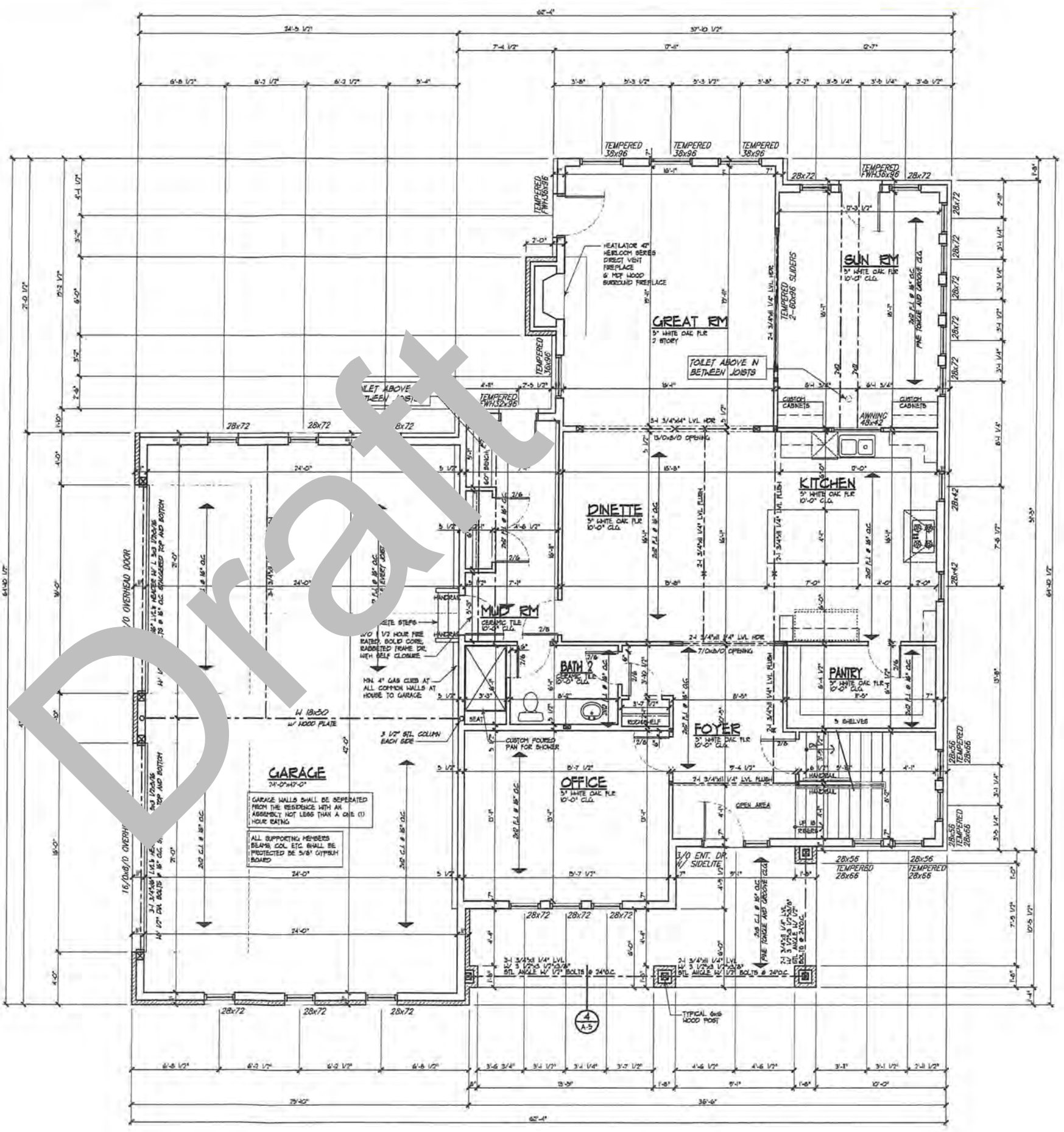
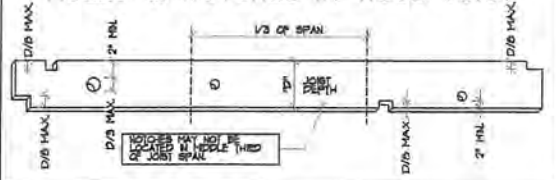
ALL FRAMING MEMBERS DESIGNATED AS "L.V." SHALL BE 1.8E D-P LUM BY GEORGIA PACIFIC OR BETTER. Fb=2,600p.s.i., Fv=285p.s.i., E=1,800,000p.s.i.

JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAILED TOGETHER WITH A MIN. THREE 16d GAL NAILS.

STEEL LINTELS FOR MASONRY

CLEAR SPAN(MAX)	EXTERIOR ANGLES	INTERIOR ANGLES
4'-0"	L 3 1/2" x 3 1/2" x 5/16"	2 L 3 1/2" x 3 1/2" x 5/16"
6'-0"	L 4" x 3 1/2" x 5/16"	2 L 4" x 3 1/2" x 5/16"
8'-0"	L 5" x 3 1/2" x 5/16"	2 L 4" x 3 1/2" x 5/16"

HOLES & NOTCHES IN WOOD JOIST



FIRST FLOOR PLAN
 10'-0" CEILING HEIGHT
 1897.0 SQ.FT.
 1/4"=1'-0"

NO.	DATE	REVISIONS	BY
	09.12.22	Revised Garage	RB

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DRAWN BY: RB
 PREVIOUS: 06000

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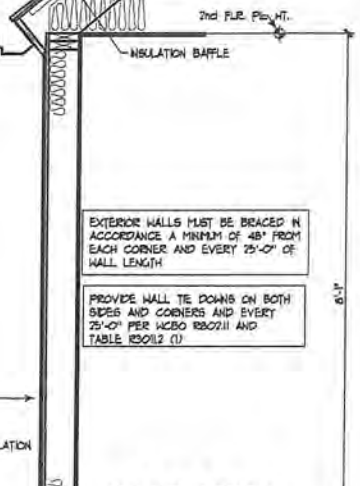
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 JOB #: 2021.045
 SHEET: **A-3**

TYP. ROOF CONST.

75 YEAR ARCHITECTURAL ROOFING SHINGLES ON 1/2" ROOFING FELT; ICE & WATER SHIELD SEE NOTE
 7/16" OSB BOARD ROOF SHEATHING
 2x RAFTERS SEE PLAN FOR SIZE AND SPACING
 2x4 COLLAR TIES @ 32" O.C.
 2x CEILING JOISTS SEE PLAN FOR SIZE AND SPACING
 R-30 BLOWN CEILING INSULATION ON R-19 BATT CEILING INSULATION ON 1/2" DRYWALL CEILING

PROVIDE ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, THAT EXTENDS FROM THE EAVES EDGES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.



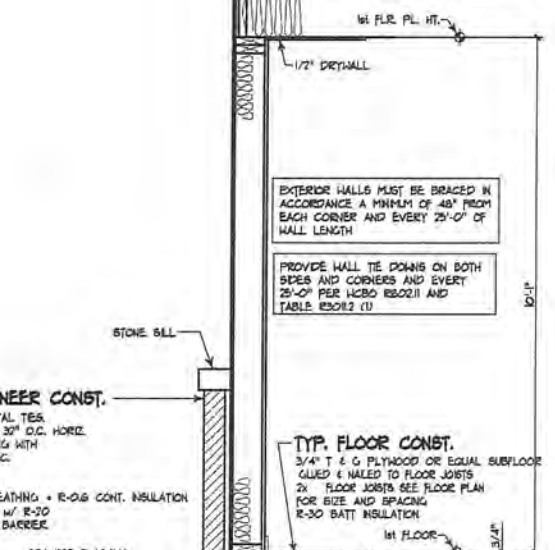
EXTERIOR WALLS MUST BE BRACED IN ACCORDANCE A MINIMUM OF 48" FROM EACH CORNER AND EVERY 25'-0" OF WALL LENGTH
 PROVIDE WALL TIE DOWNS ON BOTH SIDES AND CORNERS AND EVERY 25'-0" PER AC308 R602.11 AND TABLE R602.12 (1)

TYP. FRAME CONST.

800G
 TYVEK® HOUSE WRAP
 7/16" OSB BOARD SHEATHING + R-0.6 CONT. INSULATION
 2x6 STUDS @ 16" O.C. W/ R-20 INSULATION W/ VAPOR BARRIER
 1/2" DRYWALL

TYP. FLOOR CONST.

SEE BELOW



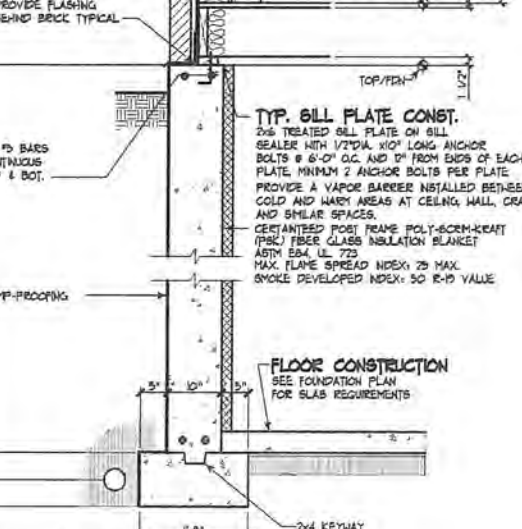
EXTERIOR WALLS MUST BE BRACED IN ACCORDANCE A MINIMUM OF 48" FROM EACH CORNER AND EVERY 25'-0" OF WALL LENGTH
 PROVIDE WALL TIE DOWNS ON BOTH SIDES AND CORNERS AND EVERY 25'-0" PER AC308 R602.11 AND TABLE R602.12 (1)

TYP. FLOOR CONST.

3/4" T & G PLYWOOD OR EQUAL SUBFLOOR CALLED & NAILED TO FLOOR JOISTS
 2x FLOOR JOISTS SEE FLOOR PLAN FOR SIZE AND SPACING
 R-30 BATT INSULATION

TYP. BRICK VENEER CONST.

BRICK VENEER W/ METAL TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ. PLASTIC BASE FLASHING WITH KEEP HOLES @ 24" O.C.
 1" MIN. AIR SPACE
 TYVEK® HOUSE WRAP
 7/16" OSB BOARD SHEATHING + R-0.6 CONT. INSULATION
 2x6 STUDS @ 16" O.C. W/ R-20 INSULATION W/ VAPOR BARRIER
 1/2" DRYWALL



TYP. GILL PLATE CONST.

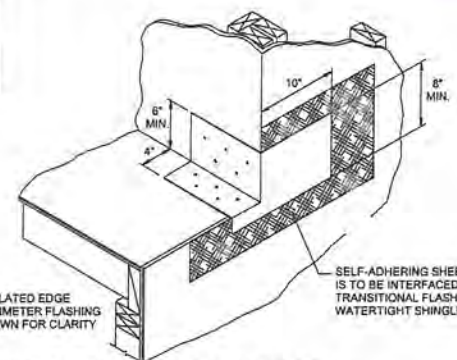
2x6 TREATED GILL PLATE ON GILL SEALER WITH 1/2" DIA. X 10' LONG ANCHOR BOLTS @ 6'-0" O.C. AND 1' FROM ENDS OF EACH PLATE. MINIMUM 2 ANCHOR BOLTS PER PLATE. PROVIDE A VAPOR BARRIER INSTALLED BETWEEN GILD AND WARM AREAS AT CEILING, WALL, CRAWL AND SIMILAR SPACES.
 CERTANTIBED POST FRAME POLY-BORM-KRAFT (PINK) FIBER GLASS INSULATION BLANKET ASTM E-113, 705
 MAX. FLAME SPREAD INDEX: 25 MAX. SMOKE DEVELOPED INDEX: 50 R-19 VALUE

FLOOR CONSTRUCTION

SEE FOUNDATION PLAN FOR SLAB REQUIREMENTS

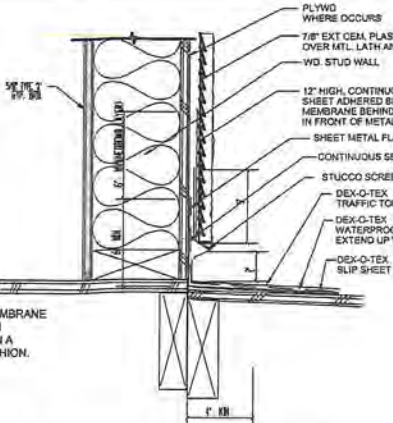
A WALL SECTION

- DAMP-PROOFING FOUNDATION WALLS SHALL BE DAMP PROOFED BY APPLYING AN APPROVED BITUMINOUS MATERIAL FROM FOOTING TO FINISHED GRADE.
- ALL FRAMING SHALL BE 16" ON CENTER UNLESS OTHERWISE NOTED.
- WALL BRACING WILL BE INSTALLED AT MID SPAN OF WALLS 25'-0" OR GREATER AND AT ALL CORNERS.



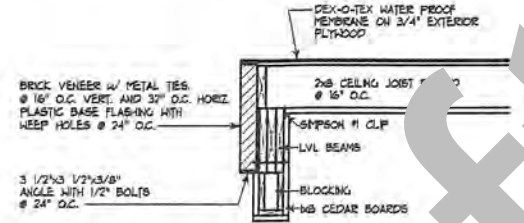
PERIMETER TO PORCH TRANSITIONAL FLASH DETAIL

NOT TO SCALE



PORCH TO WALL 2 PIECE FLASHING DETAIL

NOT TO SCALE

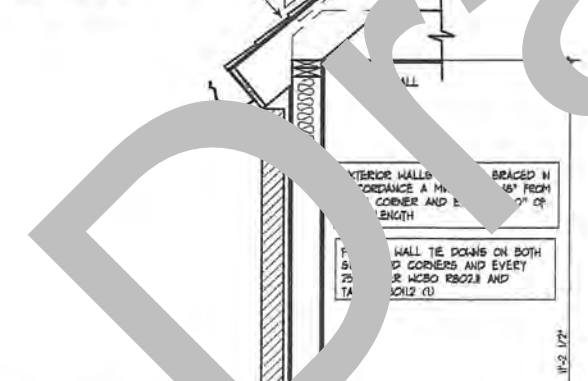


COVERED PORCH DETAIL

NOT TO SCALE

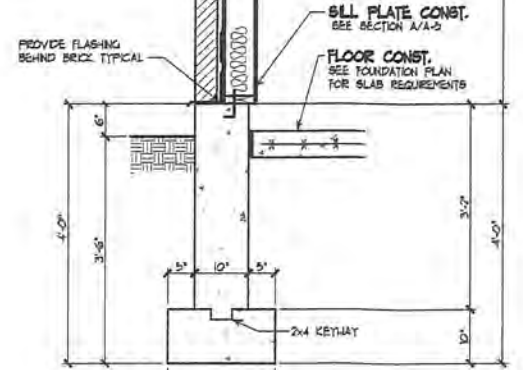
TYP. ROOF CONST.

SEE SECTION A/A-5



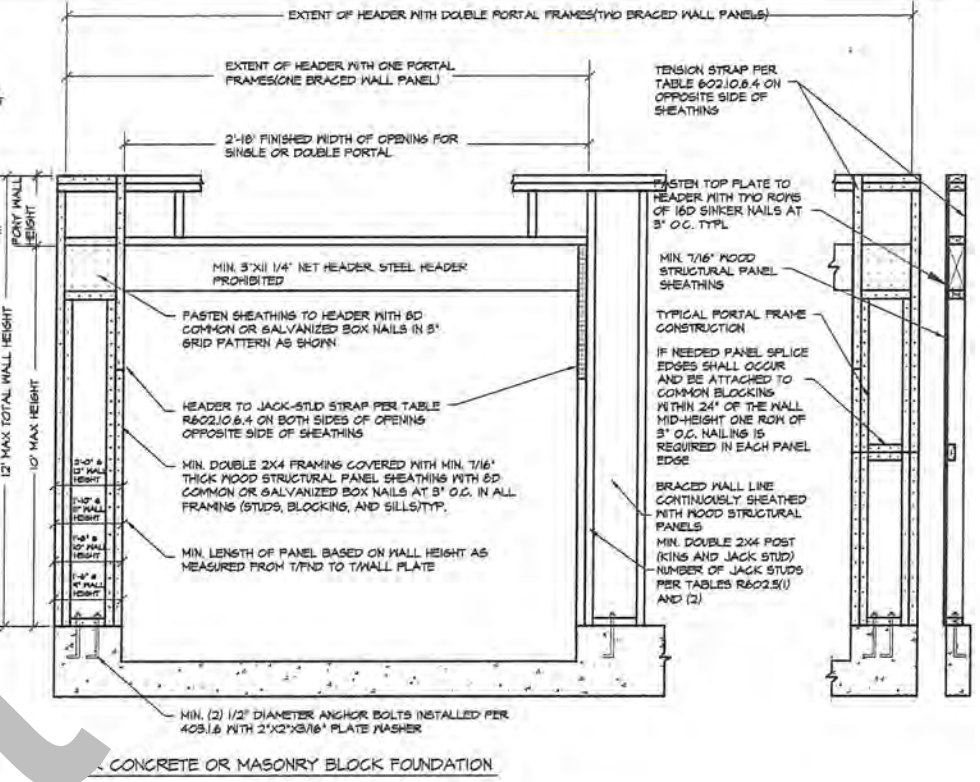
TYP. BRICK VENEER CONST.

SEE SECTION A/A-5



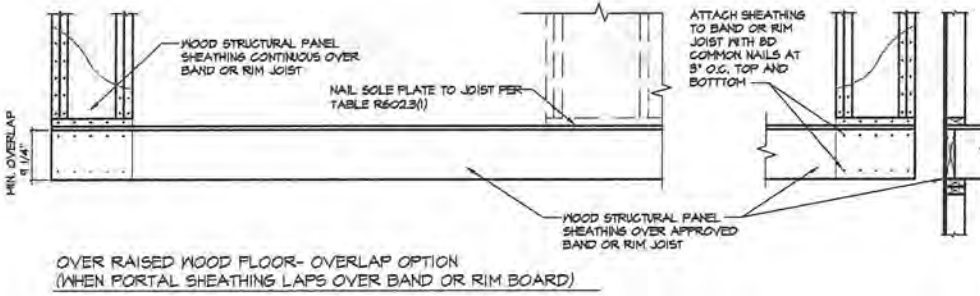
A WALL SECTION

- DAMP-PROOFING FOUNDATION WALLS SHALL BE DAMP PROOFED BY APPLYING AN APPROVED BITUMINOUS MATERIAL FROM FOOTING TO FINISHED GRADE.
- ALL FRAMING SHALL BE 16" ON CENTER UNLESS OTHERWISE NOTED.
- WALL BRACING WILL BE INSTALLED AT MID SPAN OF WALLS 25'-0" OR GREATER AND AT ALL CORNERS.



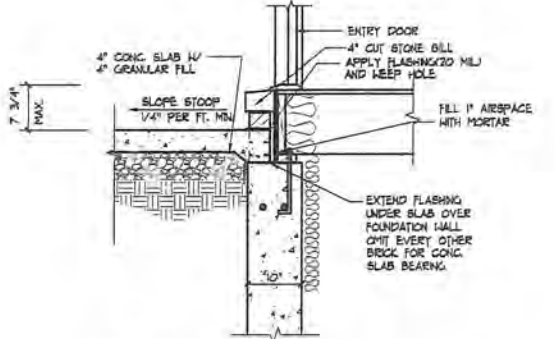
5 PORTAL FRAME DETAIL

NTS



6 PORTAL FRAME DETAIL

NTS



6 DETAIL AT ENTRY

3/4" x 1'-0"

Bulin Custom Designs, Inc.
 Making Dreams become Reality
 5703 Arbor Gate Drive, Plainfield, Illinois
 Phone: 815.861.1757 Fax: 815.577.9039
 BulinCustom@gmail.com

Gander Builders
 Oltman Residence
 240 Center Road
 Frankfort, Illinois

DATE: 09.12.22

JOB #: 2021.045

SHEET: A-5

NO.	DATE	REVISIONS	BY	RD
1	09.12.22	Revised	Gander	Bulin

THESE DRAWINGS REPRESENT THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT HAS REVIEWED AND APPROVED THESE DRAWINGS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.

GENERAL SPECIFICATIONS

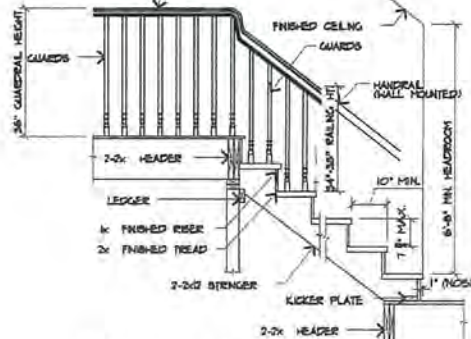
- 1) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS.
- 2) ALL WORK SHALL CONFORM TO ALL GOVERNING BUILDING CODES.
- 3) CONTRACTOR SHALL FURNISH ALL MANUFACTURER STANDARDS AND RECOMMENDATIONS.
- 4) CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SQUARE FOOTAGES AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- 5) ANY DISCREPANCY IN PLANS ARE TO BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND THE ARCHITECT PRIOR TO PROCEEDING WITH PROJECT. INSTALLED WORK SHALL BECOME THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 6) ALL PARTITION DIMENSIONS ON PLANS ARE NOMINAL DIMENSIONS, NONBEARING PARTITIONS AND WALLS ARE TO BE LAD OUT SO THAT STOCK COMPONENTS WILL FIT EXACTLY WITHIN INDICATED DIMENSIONS. DIMENSIONS AT CRITICAL AREAS SUCH AS BEARING WALLS, CLOSETS, BATHS, ETC. MUST BE HELD.
- 7) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL RESPECTIVE TRADES WITH THE WORK OF OTHERS. WORK OF EACH TRADE SHALL BE DESIGNED SO AS TO PROVIDE CLEARANCE FOR OTHER TRADES.
- 8) DO NOT SCALE DRAWINGS. CABINET, PLUMBING, HVAC, & ELECTRICAL DRAWINGS ARE SHOWN AS BOREMATIC LAYOUTS ONLY. EACH CONTRACTOR SHALL LOCATE HIS WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
- 9) THESE DOCUMENTS CONTAIN BOREMATICS OF SUGGESTED CONSTRUCTION. ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS NOT REVIEWED AND APPROVED BY ARCHITECT AND OWNER IN WRITING.
- 10) ANY CHANGE ORDERS TO BE SUBMITTED TO ARCHITECT AND OWNER IN WRITING PER ALL SPECIFICATIONS FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL. IF A CHANGE OF COST IS REQUIRED GENERAL CONTRACTOR MUST OBTAIN OWNER'S APPROVAL PRIOR TO PROCEEDING WITH WORK.
- 11) THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, METHODS, TECHNIQUES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- 12) THERE ARE NO JOB SITE OBSERVATIONS IN THIS CONTRACT UNLESS SPECIFIED BY ARCHITECT.
- 13) THE ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS.

MATERIALS AND WORKMANSHIP

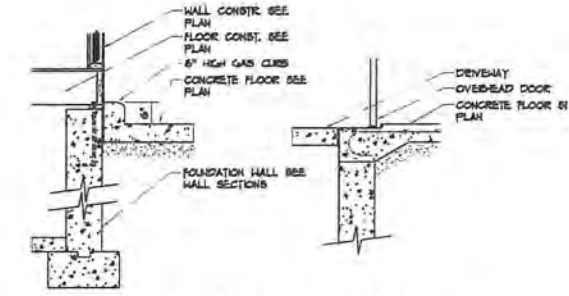
- 1) ALL WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER.
- 2) EACH CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. INCLUDING MATERIAL AND LABOR NOT SPECIFICALLY LISTED TO COMPLETE THE CONSTRUCTION OF THE PROJECT AS INDICATED AND SPECIFIED BY THE DRAWINGS, SPECIFICATIONS, AND OWNER'S WRITTEN REQUEST.
- 3) MATERIALS AS SPECIFIED ON THE DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND OWNER.
- 4) EACH SUBCONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS OWN COST AND DEFECTS OR OTHER FAULTS IN HIS WORKMANSHIP AND/OR MATERIALS.
- 5) EACH CONTRACTOR OR SUBCONTRACTOR SHALL LEAVE THE WORK SITE CLEAN IN A BROOD SWEEP CONDITION AND READY FOR TRADES TO FOLLOW EACH DAY. EACH CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN COST, FOR REMOVAL OF HIS DEBRIS AND RUBBISH FROM SITE. COST OF CLEANUP AND REMOVAL OF DEBRIS OR RUBBISH WHICH MUST BE DONE BY THE OWNER DUE TO FAILURES TO DO SO BY CONTRACTOR OR SUBCONTRACTOR SHALL BE BILLED TO EACH RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR ON A PRO-RATED BASIS.
- 6) EACH CONTRACTOR OR SUBCONTRACTOR SHALL REPAIR ALL DAMAGE TO BUILDING AND WORK OF OTHER TRADES ON A DAILY BASIS.
- 7) GENERAL CONTRACTOR SHALL BE FULLY INURED AND PROVIDE OWNER WITH PERFORMANCE AND MATERIAL AND LABOR BONDS.
- 8) EACH CONTRACTOR SHALL GUARANTEE ALL MATERIALS OR REPAIR WITHOUT COST TO THE OWNER. ANY SUCH DEFECTS WITHIN ONE YEAR TO DATE AFTER FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER UNLESS OTHERWISE NOTED. HE SHALL ALSO GUARANTEE THAT ALL WORKMANSHIP IS OF HIGH QUALITY AND THAT ALL MATERIALS FURNISHED UNDER THIS CONTRACT FULFILL THE REQUIREMENTS OF THE SPECIFICATIONS.

HANDRAILS:
ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH TWO OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISE TO A POINT DIRECTLY ABOVE THE LOWEST RISE OF THE FLIGHT. HANDRAILS SHALL NOT BE PERMITTED TO BE INTERRUPTED BY A RISER POST OR A TURN. THE USE OF VALUITE THROUGH OR STARTING RISER SHALL BE ALLOWED OVER THE LOWEST TREAD. RISER SHALL BE RETURNED OR SHALL TERMINATE IN RISER POSTS OR SAFETY TERMINAL HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/4" BETWEEN THE WALL AND THE HANDRAIL. THE HANDRAIL PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4" DIAMETER AND 2" MAXIMUM SPACING BETWEEN HANDRAILS. ALL HANDRAILS SHALL BE FINISHED WITH A ROUNDED OR SAFETY TERMINAL IN ACCORDANCE TO SECTION 05110 OF THE 2000 INTERNATIONAL RESIDENTIAL CODE BOOK.

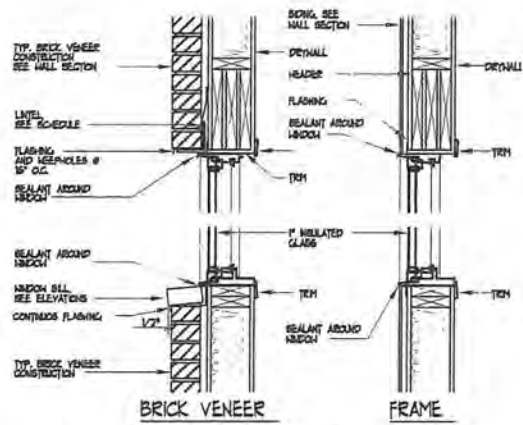
GUARDS:
PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE TOP OF THE TREADS. REQUIRED GUARDS SHALL INTERSPERATE RISER OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. THE TRIANGLE OPENING FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES CANNOT PASS THROUGH.



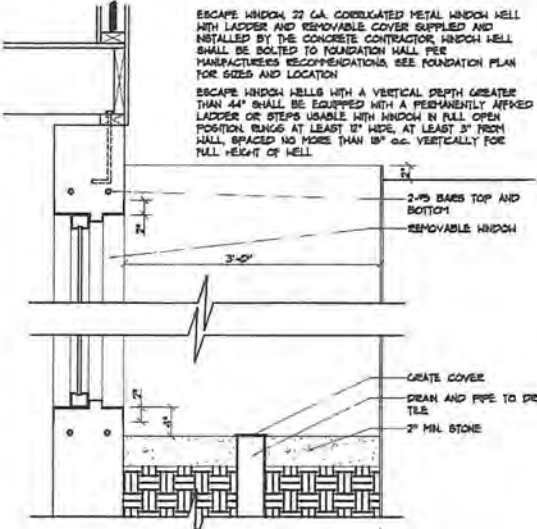
STAIR DETAIL



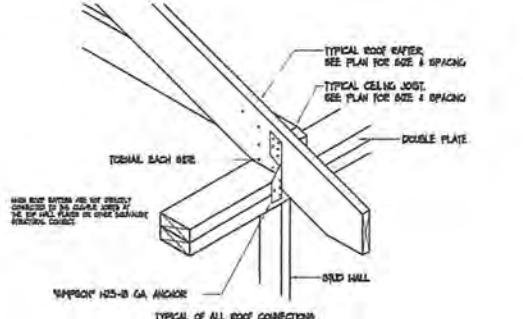
GAS CURB DUST SILL



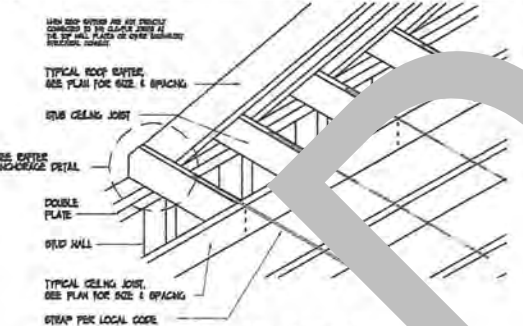
WINDOW DETAIL



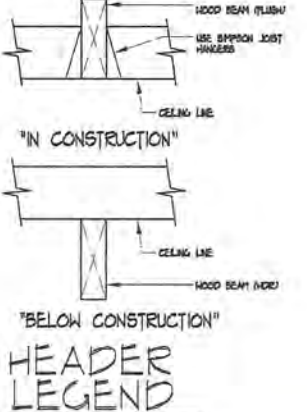
WINDOW WELL



RAFTER ANCHORAGE DETAIL



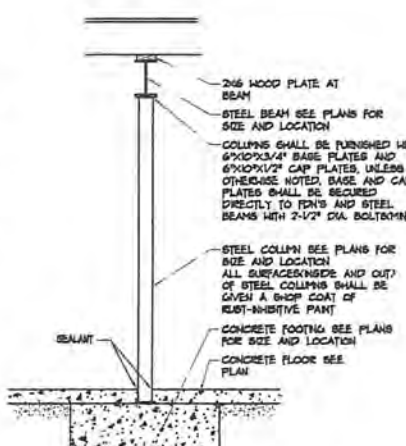
CEILING JOIST ANCHORAGE DETAIL



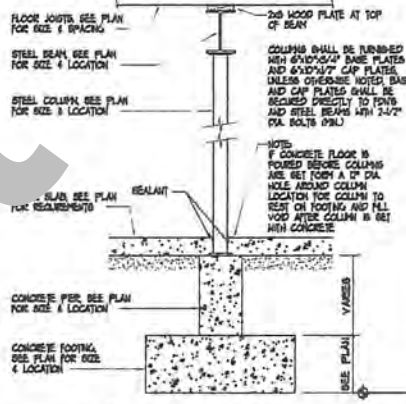
HEADER LEGEND

ESCAPE WINDOW 2x4 CORRUGATED METAL WINDOW WELL WITH LADDER AND REMOVABLE COVER SUPPLIED AND INSTALLED BY THE CONCRETE CONTRACTOR. WINDOW WELL SHALL BE BOLTED TO FOUNDATION WALL PER MANUFACTURER'S RECOMMENDATIONS. SEE FOUNDATION PLAN FOR SIZES AND LOCATION.

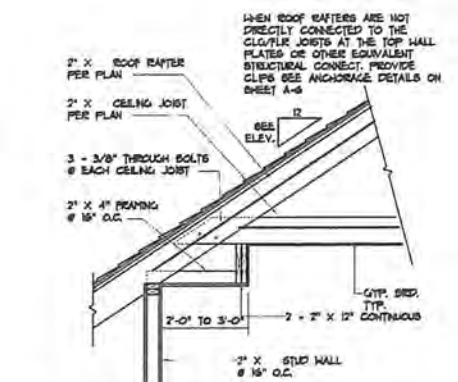
ESCAPE WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH WINDOW IN FULL OPEN POSITION. RISER AT LEAST 12" HIGH, AT LEAST 3" FROM WALL. SPACED NO MORE THAN 18" O.C. VERTICALLY FOR FULL HEIGHT OF WELL.



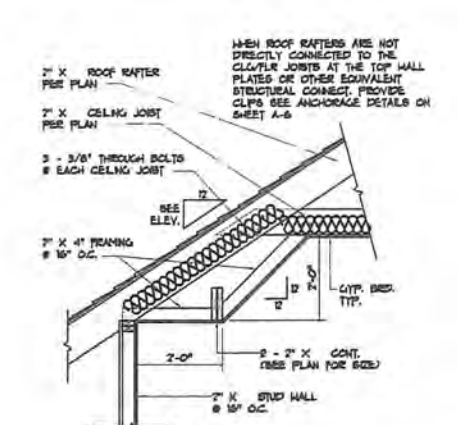
COLUMN DETAIL



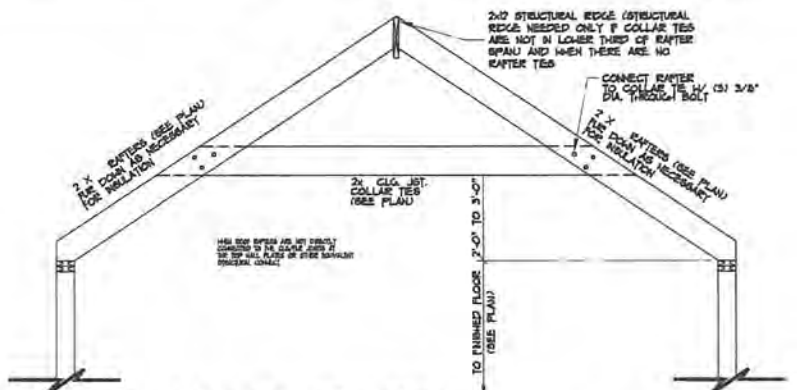
GARAGE COLUMN DETAIL



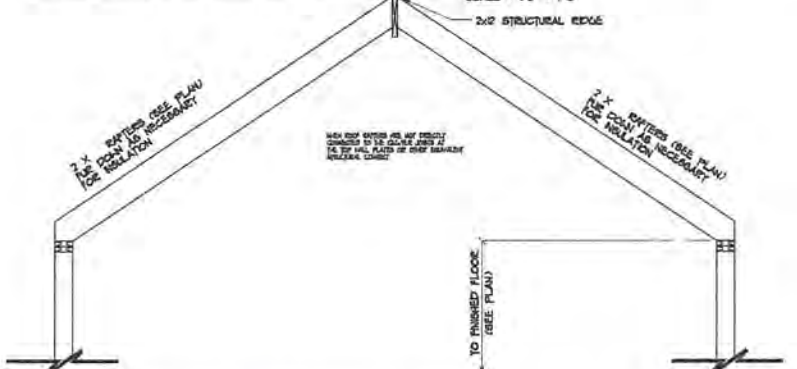
BOXED CEILING DETAIL



TRAY CEILING DETAIL



RAFTER COLLAR TIE DETAIL



VAULTED CLG. FRAMING DETAIL

NO.	DATE	REVISIONS	BY
	09.12.22	Revised George	RE
THESE DRAWINGS, SPECIFICATIONS, RESHED, AND DETAILS ARE AND SHALL REMAIN THE PROPERTY OF BULIN CUSTOM DESIGNS, INC. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION.			PREVIOUS: 00000
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ALL DIMENSIONS AND CONDITIONS ON THE JOB. BULIN CUSTOM DESIGNS, INC. SHALL BE RESPONSIBLE FOR ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.			DRAWN BY: RB
Bulin Custom Designs, Inc. Making Dreams become Reality 5703 Arbor Gate Drive, Plainfield, Illinois Phone: 815.861.1757 Fax: 815.577.9039 BulinCustom@gmail.com			SEAL
Gander Builders Oltman Residence 240 Center Road Frankfort, Illinois			
DATE	09.12.22		
JOB #	2021.045		
SHEET	A-6		

EXCAVATION AND SITE WORK

- 1) EXCAVATION CONTRACTOR SHALL STRENGTHEN AND RELOCATE TOP SOIL ON SITE FOR REUSE AS PER THE GENERAL CONTRACTOR'S INSTRUCTIONS FROM THE AREA OF THE CONSTRUCTION SITE.
2) BUILDING EXCAVATIONS SHALL OVER DIG A MINIMUM TO PROVIDE ACCESS TO FORM MODEL. SITE FOOTINGS SHALL BE SHOWN ON DRAWINGS.
3) GENERAL CONTRACTOR TO VERIFY F SOIL STRENGTH AT DESIGN DEPTHS OF EXCAVATION IS 3000 PSF.
4) PROVIDE PROTECTIVE FLOORING UNDER ALL CONCRETE FLOOR SLABS, SIDEWALKS AND DRIVEWAYS. PROVIDE GRANULAR BACKFILL COMPACTED TO RESIST SETTLEMENT, 6" BELOW AND 18" ABOVE FOOTING TILES AND IN TRENCHES FOR WATER, GAS, ELECTRIC, ETC. BACKFILL REMAINING WITH COMPACTED SOIL. MAXIMUM LIFT SHALL BE 6" LOOSE THICKNESS AND COMPACTED TO MINIMUM OF 95% FOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 2922-70 MODIFIED PROCEDURE.
5) DO NOT EXCAVATE CLOSER THAN 1/2 SLOPE BELOW FOOTING.
6) ALL FOOTING DEPTHS SHOWN ARE MINIMUM DEPTHS, AND SHALL NOT BE LESS THAN 3' 6" BELOW FINISH GRADE.
7) MACHINE EXCAVATES DOWN TO LAST 3 INCHES FOR FOOTINGS. HAND EXCAVATE REMAINING SUBSTRATE TO PROVIDE SMOOTH, FLAT BEARING SURFACE.
8) THE EXCAVATING CONTRACTOR SHALL PROVIDE PUMPING AS NECESSARY TO PERFORM HIS WORK.
9) EXCAVATING CONTRACTOR SHALL BACKFILL FOUNDATION AFTER FIRST FLOOR FRAMING IS INSTALLED OR AFTER FOUNDATION WALLS HAVE BEEN PROPERLY BRACED BY GENERAL CONTRACTOR.
10) EXCAVATING CONTRACTOR SHALL REPAIR GRADE SITE AND REPLACE TOP SOIL IN ALL LANDSCAPE AREAS AFTER INSTALLATION OF TREES AND WALKS.
11) FINISH GRADE FOR TOPSOIL IS 6" BELOW TOP OF FOUNDATION. ALL EXCESS DIRT IS TO BE HAULED AWAY TO A LOCATION DESIGNATED BY THE GENERAL CONTRACTOR OR AS WRITTEN OTHERWISE. FINAL GRADE SHALL CONFORM TO GOVERNING CODES FOR PROPER SURFACE WATER DRAINAGE CONTROL.
12) TREE REMOVAL WILL BE PROVIDED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE STATED.
13) ALL EXCESS FILL AFTER COMPLETION OF BACKFILL SHALL BE HAULED TO A SITE DESIGNATED BY THE GENERAL CONTRACTOR OR AS WRITTEN OTHERWISE.
14) ALL LOT ERECTION AND BENCH MARKS OF THE BUILDING WILL BE PROVIDED BY THE GENERAL CONTRACTOR, AND SHALL BE INSTALLED BY A LICENSED LAND SURVEYOR.
15) PROVIDE SOIL SEPARATOR BETWEEN SOIL AND GRANULAR FILL ABOVE FOOTING TILES.

CONCRETE

- 1) UPON COMPLETION OF EXCAVATION THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING AS NECESSARY TO PERFORM HIS WORK.
2) ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL, EITHER OF WHICH MUST HAVE A MINIMUM BEARING CAPACITY OF 3000 PSF.
3) ALL FOOTINGS SHALL EXTEND A MINIMUM OF 4'-0" BELOW TOP OF FINISH GRADE OR AS SHOWN ON THE DRAWINGS.
4) ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH THE ACI 308-83, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI 302R-80, "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION.
5) FORM WORK FOR CONCRETE SHALL BE PLYWOOD, METAL OR OTHER ACCEPTABLE PANEL. TYPE MATERIALS TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH EXPOSED SURFACES. PROVIDE FORM MATERIAL WITH SUFFICIENT STRENGTH TO WITHSTAND EXPOSED CONCRETE WITHOUT BULGE OR DEFORMATION. PROVIDE FORMWORKING COMPOUNDS THAT WILL NOT BOND WITH, STAIN NOR ADVERSELY AFFECT CONCRETE SURFACES, AND WILL NOT IMPAIR SUBSEQUENT TREATMENTS OF CONCRETE SURFACES.
6) THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GENERAL CONTRACTOR FOR THE PLACING OF ALL BARS IN CONCRETE WALLS FOR TELEPHONE, PLUMBING, ELECTRICAL AND MECHANICAL TRACES.
7) PROVIDE BLOCK CUTS FOR BARS PROCEEDS AND CROUT FULLY AFTER STEEL IS SET.
8) THE CONCRETE CONTRACTOR SHALL PROVIDE AND INSTALL FOUNDATION REINFORCING STEEL, ANCHOR BOLTS, ETC. IN CONFORMANCE WITH SIZES AND SHAPES INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE NATURE OF THE WORK. REINFORCING BARS SHALL BE PERFORMED BARS CONFORMING TO ASTM A63-81 GRADE 60, MINIMUM SIZE #5 AND HELPED WIRE FABRIC SHALL CONFORM TO ASTM A655, MINIMUM SIZE 6 X 6 @ 14X 14, AND BASEMENTS SHALL BE 10X12@2 FOR GARAGE SLAB. PROVIDE SUPPORTS FOR REINFORCING TO LOCATE PROPERLY IN WORK.
9) MINIMUM THICKNESS OF PLACED CONCRETE SHALL BE:
FOUNDATION WALL 10"
FOOTING WALLS 8"
BASEMENT SLABS 4"
GARAGE SLABS 5"
CEILING SPACE TOPPING 2"
10) PROVIDE REINFORCING AND STONE BARS AS INDICATED ON THE DRAWINGS.
11) FLOOR ALL CONCRETE SLABS MONOLITHIC WITH FOUNDATION WALLS. PROVIDE ONE NUMBER 3 BAR TOP IN ALL WIND WALLS ANCHORED IN CROSS WALL. THE CONCRETE CONTRACTOR SHALL PROVIDE CONCRETE PADS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED.
12) ALL WALL TIES SHALL BE BROKEN OFF OF FOUNDATION WALLS AND FILLED WITH MASTIC PRIOR TO WATERPROOFING.
13) ALL INTERIOR CONCRETE FLOOR WORK SHALL RECEIVE A MINIMUM OF 2 OPERATION STEEL TRUCKS. FINISH COAT SLABS WITH A CURING AGENT-SEALER WITHIN 24 HOURS OF POURING.
14) PROVIDE REINFORCING CONCRETE 3" THICK WITH # 4 @ 14 X 14 HELPER WIRE MESH WITH #4 STONE BARS. ASPHALT 2" (TYPE II-4 OR B-5) WITH #4 STONE BARS.
15) ALL CITY WALKS TO BE 5" THICK WITH #4 THICK STONE BARS.
16) THE CONCRETE CONTRACTOR SHALL PROVIDE HEATERS WHERE REQUIRED TO MAINTAIN PROPER CURING TEMPERATURE FOR MORE POURING WHEN TEMPERATURES REACH 40 DEGREES OR BELOW OR USE ACCELERATING ADJUSTURE IN CONCRETE SLABS AT TEMPERATURES BELOW 50 DEGREES.
17) CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS WHICH LEAK GROUND WATER.
18) CONCRETE MATERIALS SHALL BE PORTLAND CEMENT ANHYDRATE C 90 TYPE I NORMAL HEIGHT AGGREGATES ASTM C33 FROM A SINGLE SOURCE, PORTABLE WATER, AIR-ENTRAINING ADMIXTURE ANHYDRATE C200 MAXIMUM 6% FOR EXTERIOR FLAT WORK, WATER REDUCING ADMIXTURE ANHYDRATE C49 TYPE A WITH MAXIMUM 1% CHLORIDE ION, WATER REDUCING ACCELERATOR ADMIXTURE ANHYDRATE C49 TYPE C OR E. CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
19) USE ADMIXTURES FOR WATER-REDUCING AND SET-CONTROL. IN STRICT COMPLIANCE WITH MANUFACTURERS DIRECTIONS.
20) PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COOL OR HOT TEMPERATURE. PROVIDE 7 DAY INITIAL CURING AND 7 DAY FINAL CURING. PERFORM CURING OF CONCRETE BY MOIST CURING OR BY MOISTURE RETAINING COVER CURING.
21) PROVIDE 6" GAS CURB BETWEEN GARAGE AND BUILDING.
22) SLOPE CONCRETE FLOOR 2" DOWN TO OVERHEAD DOORS.
23) ANCHOR BOLTS MINIMUM 8" EMBEDMENT @ 60". FIRST BOLT 1/2" MAXIMUM FROM CORNER MINIMUM 2 BOLTS PER PLATE.
24) ALL CONCRETE WALLS AND FLOOR SLABS TO BE AIR ENTRAINED.
25) BASEMENT WALLS, FOUNDATION, INTERIOR FLOOR SLABS AND OTHER NON-EXPOSED CONCRETE TO HAVE 3000 PSI STRENGTH. BASEMENT WALLS, FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE EXPOSED IS TO HAVE 3000 PSI STRENGTH. PORTLAND CEMENT CONCRETE, PORTLAND CEMENT CONCRETE, PORTLAND CEMENT CONCRETE FLOOR SLABS TO HAVE 3000 PSI STRENGTH.
26) CONCRETE WALLS SHALL BE DAMPROOFED BY APPLYING ONE OF THE FOLLOWING MATERIALS:
- BUTYLBUTYL RUBBER MEMBRANE
- 3-EPoxy POLYURETHANE POLYURETHANE
- 3-EPoxy POLYURETHANE POLYURETHANE
- 3-EPoxy POLYURETHANE POLYURETHANE
- 3-EPoxy POLYURETHANE POLYURETHANE
27) SEE DRAWING NOTE IN MISCELLANEOUS.

THERMAL AND MOISTURE

- 1) ALL EXPOSED INSULATION MUST HAVE A FLAME SPREAD OF 25 OR LESS. EXPOSED KRAFT PAPER IS NOT PERMITTED.
2) ALL PLUMBING PIPES (WATER & TRAMP) ON EXTERIOR WALLS TO BE WRAPPED.
3) NO EXPOSED EDGE JOINT WEATHERING IS PERMITTED ON RIDGE OF ANY ATTIC AREA.
4) ALL CONCEALED FLASHING TO BE MINIMUM OF NO. 30 GAUGE GUNMET METAL. PROVIDE BUSHY TIN AND VALLEY FLASHING AS REQUIRED. BUSH AND BELL FLASHING TO BE EQUAL TO 6 MIL VIRGREEN POLYETHYLENE FILM OR NEVASTRAL® FLASHING OR EQUAL.
5) PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.
6) ROOF COUNTER FLASHING MUST BE SEAM AND CUT INTO MORTAR JOINTS.
7) WATER AND CEILING FLASHING MUST BE MINIMUM OF 24" INSIDE THE EXTERIOR WALL LINE, IN ALL VALLEYS AND 36" UP ROOF AT ALL GUTTER LINES.
8) PROVIDE ICE BARRIER CONSISTING OF AT LEAST 2 LAYERS OF UNDERLAMENTMENT CENTERED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, THAT EXTENDS FROM THE EAVES EDGES TO A POINT AT LEAST 24" MADE THE EXTERIOR WALL LINE OF THE BUILDING.
9) BASE AND CAP FLASHING WILL BE PROVIDED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.
10) PROVIDE ALUMINUM DRIP CAPS OVER ALL DOOR AND WINDOW HEADS INCLUDING GARAGE DOOR AND PATIO DOORS. USE 1 MIL POLYETHYLENE FLASHING AT ALL WINDOW AND DOOR JAMBS.
11) ALL EXTERIOR PERIMETER CALKING SHALL BE WATER AND WEATHER-TIGHT, PLASTIC CALKING COMPOUND SHALL BE NON-STAINING POLYURETHANE, ACRYLIC OR BUTYL.

THERMAL AND MOISTURE (CONT.)

- 1) ROOF SHINGLES SHALL BE 250 LBS/SQUARE MINIMUM WITH 7/8" EDGES WERE FELT AT ALL EAVES (OPTIONAL).
2) HEMLOCK ROOFING WHERE REQUIRED SHALL BE 4-PLY HOT HOPPED TAR AND GRAVEL ROOF SURFACE. GRAVEL TO BE APPLIED AT A RATE OF 300 LBS/SQUARE.
3) LOW SLOPE ROOFS (LESS THAN 2 1/2 OR MORE THAN 1/2 SLOPE) TO RECEIVE 1 LAYER OF 90 LBS/SQUARE INSULATION. EXPOSED ROLL ROOFING ON 2 LAYERS OF 1/2" PLYWOOD WHEN 3/4" BURLEOP IS USED, DURING AND TILE MAY BE SUBSTITUTED FOR THE SECOND LAYER OF 1/2" PLYWOOD WHEN 3/4" BURLEOP IS USED.
4) PROVIDE A VAPOR BARRIER ON THE WARM-SIDE OF ALL UNVENTILATED FRAMED WALL, FLOOR AND ROOF/CEILING.
5) ALL VAPOR BARRIERS SHALL BE ON WARM SIDE OF WALLS OR CEILING.
6) PROVIDE MIN. 1" AIR SPACE IN ALL ROOFS OVER INSULATION UNLESS RAFTER SPACE IS FILLED SOLID.
7) FOUNDATION WALLS AT GRAVEL SPACE 1" X 20" EDGE INSULATION.
8) NO EXPOSED RIGID INSULATION ON INSIDE OF BUILDING.
9) ALL BOU BELLS OF FLOOR JOIST TO BE INSTALLED WITH R-30 BATT WITH KRAFT FACING OR APPROVED EQUAL.
10) SLOPED CEILING, SOFFITS BELOW LIVING SPACE AND CEILING OF GARAGE UNDER LIVING SPACES SHALL BE INSULATED WITH R-30 BATT LIGHTED TO 20% OF THE TOTAL CEILING AREA OR 500 SF, WHICH EVER IS LESS. INSULATION SHALL EXTEND OVER THE TOP WALL PLATE AND NOT BE COMPRESSED.
11) INSULATION SHALL EXTEND OVER THE TOP WALL PLATE AND NOT BE COMPRESSED.

STRUCTURAL STEEL

- 1) ALL STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS FOR ASTM A-36 Fy 36,000 PSI STEEL AND SHALL BE SHOP COATED WITH RUST INHIBITIVE PRIMER.
2) STEEL FLITCH PLATES SHALL BE SHOP DRILLED FOR BOLT. REFER TO DRAWINGS FOR SIZES.
3) ALL FERTY WITH CONNECTIONS SHALL BE DRILLED FOR FLOOR AND ROOF FRAMING.
4) CARPENTER CONTRACTOR SHALL SET, LEVEL, AND PLUMB ALL STRUCTURAL STEEL BEAMS AND COLUMNS AS PER PLAN. A CRANE WILL BE PROVIDED BY THE GENERAL CONTRACTOR IF NECESSARY.
5) PROVIDE STEEL LINTELS FOR MASONRY WORK ACCORDING TO SPECIFICATIONS. DIMENSIONS AND SIZES MENTIONED ON THE FOLLOWING CHART:
M-4
6) ONLY STEEL SHIPS WILL BE ALLOWED.
7) ALL STRUCTURAL STEEL BEAMS HAVING BELL PLATES BEARING ON THEM SHALL HAVE 3/4" HOLES ON THE APPROPRIATE FLANGE (60" O.C. MIN) TO SECURE MAXIMUM STRUCTURAL BEARING CONCRETE. SIZE BEARING PLATES TO SUPPORT MAXIMUM CAPACITY OF SUPPORTED MEMBER.
8) ALL STRUCTURAL STEEL BEARING ON COLUMN TOP PLATES OR BEARING PLATES ON STRUCTURALLY BEARING CONCRETE. SIZE BEARING PLATES TO SUPPORT MAXIMUM CAPACITY OF SUPPORTED MEMBER.
9) DIMENSIONS OF STRUCTURAL STEEL SHALL BE VERIFIED IN FIELD PRIOR TO MIGRATION.
10) ALL STEEL COLUMNS MUST BE SECURED TO FOUNDATION OR FLOOR TO PREVENT LATERAL MOVEMENT.

FRAMING AND CARPENTRY

- 1) PROVIDE AND INSTALL ALL WOOD FRAMING PER CITY, LOCAL AND NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS.
2) PROVIDE FOR INSTALLATION OF STRUCTURAL STEEL AS PER PLAN.
3) VERIFY WITH SPAN TABLE WOOD SPECIES FOR FLOOR AND ROOF FRAMING.
4) ALL BELL PLATES ON TOP OF FOUNDATION WALLS WITHIN THE LIVING AREA TO HAVE 1/2" FIBERGLASS BELL. EQUALS APPLIED BETWEEN PLATE AND FOUNDATION WALL AND TREATED WOOD PLATES.
5) ALL WOOD IN PERMANENT CONTACT WITH CONCRETE IS TO BE PRESURE TREATED WITH A WATERBORNE PRESERVATIVE. ALL BELL PLATES AND PORCH POSTS MUST COMPLY WITH ANPA C100/C100/C100, C100/C100/C100/P2/P2 AND P3 OR DECAY-RESISTANT HEARTWOOD OF REDWOOD, BLACK LOCUST OR CEDAR.
6) ALL WOOD FLOOR FRAMING, CEILING FRAMING AND RAFTER FRAMING SHALL BE 2X4. CONSTRUCTION GRADE #2 OR BETTER AND GRADE INDICATED ON PLAN.
7) INSTALL NECESSARY HANGERS AND NUTS TO ANCHOR BOLTS ON FOUNDATION BELL PLATES AND/OR 1/2" CARTRIDGE BOLTS FOR STEEL BEAM BELL PLATES (6" O.C. MIN).
8) ALL HALL FRAMING SHALL BE A MINIMUM OF 2X4. LUMBER GRADE AND GRADES INDICATED ON PLAN.
9) ALL INTERIOR NON-BEARING PARTITIONS SHALL HAVE STUDS AT 16" O.C. WITH DOUBLE 2 X 4 TOP PLATES IN MINIMUM OVER LAP OF 48" AND SINGLE 2 X 4 SOLE PLATE.
10) FOR ALL JOIST, BEAMS AND GIRDERS THE BIRD SHALL BEAR A MINIMUM OF 1/4" OF WOOD OR METAL AND 3" ON MASONRY. JOIST END JOIST SHALL BE SUPPORTED ON A 4" X 4" RESSOR. THE JOIST SHALL BE SUPPORTED ON THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOIST FRAMING SHALL BE SUPPORTED BY BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH APPROVED FRAMING. JOIST FRAMING SHALL NOT BE LESS THAN NOMINAL 2 X 4.
11) ALL GORNER POSTS SHALL BE NOT LESS THAN (3) 2 X 4 STUDS. PARTITIONS WHEN PARALLEL TO JOIST, JOIST SHALL BE SUPPORTED BY JOIST HANGERS. JOIST FRAMING SHALL BE SUPPORTED BY BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH APPROVED FRAMING. JOIST FRAMING SHALL NOT BE LESS THAN NOMINAL 2 X 4.
12) ALL GORNER POSTS SHALL BE NOT LESS THAN (3) 2 X 4 STUDS. PARTITIONS WHEN PARALLEL TO JOIST, JOIST SHALL BE SUPPORTED BY JOIST HANGERS. JOIST FRAMING SHALL BE SUPPORTED BY BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH APPROVED FRAMING. JOIST FRAMING SHALL NOT BE LESS THAN NOMINAL 2 X 4.
13) PROVIDE WOOD BLOCKING OR HOOD 3" BRIDGING OF JOIST BRIDGING BETWEEN ALL JOISTS AND RAFTERS WITH MAXIMUM SPACING AT 8" O.C. OR EQUAL.
14) USE METAL FRAMING HANGERS/ANCHORS FOR CONNECTING PLUMB HEADERS AND WHERE SHOWN ON FRAMING DRAWINGS.
15) DOUBLE ALL FRAMING MEMBERS AROUND OPENINGS IN FLOORS, WALLS AND RAFTERS. EX. STAIRWAYS, BATHROOMS, BOOTLE HOLES, DOORWAYS, ETC.
16) ALL TOP PLATES AND SOLE PLATES TO BE 6" O.C. GRADE.
17) ALL EXTERIOR WALLS TO HAVE 3/4" GYM PLYWOOD INSTALLED GENERAL. ALL PLATE TO UPPER MOST DOUBLE PLATE.
18) ALL WALL OPENINGS SHALL BE FRAMED WITH (2) 2 X 4 WITH 3/4" PLYWOOD. EXCEPT WHERE OTHERWISE NOTED.
19) ALL GARAGE HEADERS SHALL BE (2) 2 X 4 WITH 3/4" PLYWOOD FLITCH PLATE.
20) EXTERIOR WALL WEATHERING FOR LIVING AREA TO BE 3/4" SOID WEATHERING. WALL WEATHERING AND ATTIC AREAS TO BE 3/4" INSULATED FIBROUS INSUL, UNLESS OTHERWISE NOTED ON PLAN. WEATHERING TO BE PATCHED. THE ABOVE APPLICATION MAY BE SUBSTITUTED WITH AN APPROVED EQUAL APPLICATION.
21) STRUCTURAL PLYWOOD:
A. FLOORING SHALL CONSIST OF 3 LAYERS WITH A TOTAL THICKNESS OF 1-1/4". PROVIDE EITHER LAYERS OF 3/8" PLYWOOD OR 1 LAYER OF 3/4" AND 1 LAYER OF 1/2" PLYWOOD.
B. 3/4" HEMLOCK ROOFING MAY BE SUBSTITUTED FOR THE SECOND LAYER OF 1/2" PLYWOOD WHEN 3/4" BURLEOP IS USED, DURING AND TILE MAY BE SUBSTITUTED FOR THE SECOND LAYER OF 1/2" PLYWOOD WHEN 3/4" BURLEOP IS USED.
B. ROOF WEATHERING 3/4" GYM PLYWOOD NAILED AS PER SPECIFICATION OF AMERICAN PLYWOOD ASSOCIATION.
C. SOFFITS 3/4" GYM OR APPROVED EQUAL AND NAILED AS PER SPECIFICATIONS OF AMERICAN PLYWOOD ASSOCIATION.
22) ALL WALLS TO HAVE 3" SOID WOOD FIBRE STOPPING AND ALL HEATING, ELECTRICAL AND PLUMBING LINES THROUGH FLOORS ARE TO HAVE SPACES SEALED OFF WITH PARTITIONS AND BRID WALLS AT BOTH FLOOR AND CEILING OF EACH FLOOR LEVEL AND AT JUNCTURE OF ROOF RAFTERS AND WALL.
23) PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) THROUGH TRAY CEILING SPACE BETWEEN STAIR STRINGERS, PENETRATIONS, ETC. AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES.
24) PROVIDE 30" X 30" ATTIC ACCESS AND FINISHED CEILING PANEL TO ATTIC PANEL TO BE INSULATED WITH P RIGID FOAM. (ATTIC ACCESS IS NOT TO BE LOCATED IN CLOSETS EXCEPT FOR HALF-IN CLOSETS.) HEIGHT CLEARANCE AT OPENING OF ATTIC ACCESS MUST BE AT LEAST 48" FROM TOP OF CEILING JOIST TO BOTTOM OF RAFTER ACCESS PANEL. MUST HAVE A LAYER OF GYP BRD.
25) CEILING SPACE ACCESS PANELS TO BE MINIMUM 30" X 30".
26) THE HEATING CONTRACTOR IS RESPONSIBLE FOR CUTTING ALL NECESSARY HOLES FOR THEIR DUCTWORK AND VENTS.
27) ALL NOTCHING AND DRILLING OF STUDS AND JOIST SHALL BE LOCATED, CUT AND/OR BORED WITHIN THE GUIDELINES OF THE NOTCHING DIAGRAM. NOTCHING AND CUTTING SHALL NOT BE PERMITTED IN HEADERS.
28) WHEN A BRID IS CUT OR BORED IN EXCESS OF 1/3 ITS DEPTH IT SHALL BE REINFORCED TO BE EQUAL IN CARRYING CAPACITY OF A STUD NOTCHED NOT MORE THAN 5% ITS DEPTH.
29) IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SET ALL APPLIANCES.
30) GENERAL CONTRACTOR SHALL SUPPLY ALL WINDOW OPENING DEVICES FOR WINDOWS, DOORS, SKYLIGHTS, MEDICINE CABINETS, TRENCH BOARD, SCOTTY WHEELS, ETC.
31) GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL DOORS, HURDLES, TIE HOLDING BASE AND SHOE BELLING, COUNTER TOPS, MILLWORK, BASEMENT STAIRS, WINDOWS, CABINETS, ETC.
32) HURDLE STRAPS ARE REQUIRED AT 4'-0" FOR ALL RAFTERS AND 4'-0" FROM EACH CORNER AND 250c.
33) ALL FASTENERS FOR PRESURE TREATED OR FIRE TREATED WOOD MUST BE OF HOT DIPPED GALVANIZED.

FRAMING AND CARPENTRY (CONT.)

- STEEL, STAINLESS STEEL, BRONZE OR COPPER.
34) RAFTERS SHALL BE FRAMED TO EACH OTHER WITH GURMET PLATE, OR TO A 1" MIN EDGE BOARD NOT LESS IN DEPTH THAN CUT END OF THE RAFTERS.
35) MINIMUM 2" NORMAL THICK VALLEY OR HP RAFTER IS REQUIRED AT ALL VALLEYS AND HPS. NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER AND SUPPORTED AT THE RIDGE BY A BEARING POINT.
36) WALLS TO BE BRACED IN ACCORDANCE WITH SECTION 1402.03 OF THE INTERNATIONAL RESIDENTIAL CODE. HOLD DOWN ANCHORS DESIGNED WITH AN UPLIFT CAPACITY OF 1500 POUNDS CAN BE USED FOR WALLS NOT LESS THAN 28" IN LENGTH WALLS LESS THAN 28" SHALL HAVE HOLD DOWN ANCHORS DESIGNED WITH AN UPLIFT CAPACITY OF 1500 POUNDS, AND CONTINUOUS 1/2" PLYWOOD SHEATHING.

DESIGN LOADS

Table with columns: ROOF, WIND LOAD, OVER 30' TO 40', BALCONIES AND DECKS, GARAGES, ATTIC, FLOOR, CEILING, FLOOR (RESIDENTIAL), STAIRS. Rows: LIVE LOAD, DEAD LOAD, WIND LOAD, etc.

STAIRWAYS

- 1) HANDRAIL STAIR TREADS (IF ALLOWED BY CITY/VILLAGE CODE) SHALL HAVE A HATCH END OF NOT LESS THAN 6" AND NOT LESS THAN 10" AT A POINT 12" FROM HATCH END OF TREAD.
2) HANDRAILS ON GARAGE STAIRS ARE NEEDED IF MORE THAN 20" RISES IN HEIGHT.
3) REQUIRED MINIMUM HEADROOM ON STAIRS SHALL BE 8'0".
4) NON-COMBUSTIBLE STAIR FROM GARAGE.

DRYWALL

- 1) PARTITIONS SEPARATING HOUSE AND GARAGE TO BE MINIMUM 5/8" 1/4 TYPE X GYPSUM BOARD ON BOTH SIDES AND CEILING.
2) PROVIDE 1/2" FIRE CODE TYPE X DRYWALL ON CEILING OF ALL COMMON WALLS AND CEILING BETWEEN GARAGE/STORAGE AREAS AND LIVING AREA. IF NO COMMON WALLS OR CEILING ABOVE GARAGE, DRYWALL TO BE CONTINUOUS TO UNDERSIDE OF ROOFING.
3) ALL DRYWALL ON CEILING TO BE BACKED TO CEILING WITH A VAPOR BARRIER OR OTHER VAPOR BARRIER.
4) TUB AND SHOWER RECESS TO BE CEILING BOARD. ALL AREAS SUBJECT TO MOISTURE.
5) PROVIDE MOISTURE RESISTANT DRYWALL ON ALL INTERIOR WALLS AND CEILING. ALL AREAS SUBJECT TO MOISTURE.
6) FINISH AND INSTALL ALL GYPSUM BOARD WITH METAL CORNER BRACKS.
7) PROVIDE 1/2" FIRE CODE TYPE X DRYWALL ON CEILING OF ALL COMMON WALLS AND CEILING BETWEEN GARAGE/STORAGE AREAS AND LIVING AREA. IF NO COMMON WALLS OR CEILING ABOVE GARAGE, DRYWALL TO BE CONTINUOUS TO UNDERSIDE OF ROOFING.
8) ALL DRYWALL ON CEILING TO BE BACKED TO CEILING WITH A VAPOR BARRIER OR OTHER VAPOR BARRIER.
9) TUB AND SHOWER RECESS TO BE CEILING BOARD. ALL AREAS SUBJECT TO MOISTURE.
10) PROVIDE MOISTURE RESISTANT DRYWALL ON ALL INTERIOR WALLS AND CEILING. ALL AREAS SUBJECT TO MOISTURE.
11) FINISH AND INSTALL ALL GYPSUM BOARD WITH METAL CORNER BRACKS.
12) PROVIDE 1/2" FIRE CODE TYPE X DRYWALL ON CEILING OF ALL COMMON WALLS AND CEILING BETWEEN GARAGE/STORAGE AREAS AND LIVING AREA. IF NO COMMON WALLS OR CEILING ABOVE GARAGE, DRYWALL TO BE CONTINUOUS TO UNDERSIDE OF ROOFING.
13) ALL DRYWALL ON CEILING TO BE BACKED TO CEILING WITH A VAPOR BARRIER OR OTHER VAPOR BARRIER.

WARRANTY

1) EACH CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP WITHOUT COST TO THE OWNER, ANY SUCH DEFECTS WITHIN ONE YEAR OF THE DATE OF FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER UNLESS OTHERWISE NOTED. HE SHALL BE RESPONSIBLE FOR THE QUALITY AND THAT ALL MATERIALS FURNISHED UNDER CONTRACT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND THAT ALL MATERIALS FURNISHED UNDER CONTRACT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS.

MISCELLANEOUS

- 1) ACCESSIBLE TO BE AT LEAST 1/4" ABOVE FINISH FLOOR. THE NUMBER MUST CONTRAST WITH BACKGROUND.
2) ANY OTI FROM AN INTERIOR DOOR TO EXTERIOR DOOR SHALL BE 3/4".
3) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.
4) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.
5) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.
6) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.
7) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.
8) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.
9) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.
10) PROVIDE 1/2" GYM PLYWOOD ON CEILING OF EXTERIOR DOOR. AT LEAST AS HIGH AS THE DOOR AND 1/2" ABOVE FINISH FLOOR.

VENTILATION

- 1) PROVIDE 4" X 10" VENTS ON EXTERIOR SOFFITS EVERY 4' O.C. WITH BUG SCREENS.
2) PROVIDE VENT CHIMNEY (MILLION BARRELS) IN ATTIC AREA PRIOR TO INSULATION AT LOCATIONS OF EXTERIOR SOFFIT ENDS.
3) PROVIDE ATTIC VENTILATION AT MINIMUM RATIO OF 1:80 AT BOTH RIDGE AND SOFFIT. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1:80 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1:500, PROVIDED AT LEAST 50% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
4) VAPOR BARRIER HAVING PERMEABILITY OF 1 PERCENT OR LESS SHALL BE INSTALLED ON THE WARM SIDE OF THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH WITH 1/4" OPENINGS.
5) VAULTED CEILING REQUIRE VENT CHIMNEY AT EACH RAFTER SPACE AT EXTERIOR WALL AND 1 MINIMUM AIR SPACE ABOVE INSULATION.
6) ROOF VENTS ARE NAILED ON ELEVATION DRAWING. PROVIDE 1 VENT/100 SQUARE FEET, 8" X 20" METAL ROOF VENT OR RIDGE VENT OR APPROVED EQUAL.
7) MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING A CHANGE OF AIR EVERY 10 MINUTES ARE APPROVED FOR BATHROOMS WHICH DO NOT HAVE THE NECESSARY SQUARE FOOT OF NATURAL VENT AREA.
8) EXHAUST FANS RANGE HOOD, CLOTHES DRYERS TO VENT DIRECTLY TO OUTSIDE IN RIGID METAL DUCT (GALVANIZED STEEL, STAINLESS STEEL OR COPPER). DETAILS OF EXHAUST DUCT CONSTRUCTION TO COMPLY WITH MBODS AND MBOD AND DETAILS TO BE PROVIDED BY OWNER. DRYER DUCTS SHALL NOT EXCEED 25 FT TO OUTSIDE MAX. REDUCE 25 FT PER 4500CFM BHP/HP FOR 50 BHP). RANGE HOOD DISCHARGE THROUGH SINGLE WALL DUCT WITH BACK DRAFT CHIMNEY.
9) PROVIDE MINIMUM 1" CLEARANCE FROM EXHAUST TO GARAGE FOR EACH GARAGE.
10) ALL MECHANICAL EQUIPMENT SHALL HAVE THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION GUIDE ATTACHED TO THE UNIT AT THE TIME OF INSPECTION.
11) APPLIANCES SHALL NOT OBTAIN COMBUSTION AIR FROM ANY SLEEPING ROOM, BATHROOM OR TOILET ROOM. PROVIDE COMBUSTION AIR FOR ALL FUEL-BURNING APPLIANCES IN ACCORDANCE WITH MBODS OR MBODS.

WINDOWS AND DOORS

- 1) PROVIDE AND INSTALL WINDOWS AND DOORS PER MANUFACTURERS, CITY AND LOCAL CODES AND SPECIFICATIONS.
2) FLASHING (METAL OR PLASTIC) OVER ALL EXTERIOR DOORS AND WINDOWS.
3) 1/2" SOLID CORE WOOD DOOR FLASH PANEL OR APPROVED EQUIVALENT BETWEEN GARAGE AND HOUSE WITH 1 1/2" 60" WOOD BARRIERS AND WITH SELF-CLOSING DEVICE AND NON-COMBUSTIBLE BELL AND STOP.
4) WINDOWS AND DOORS TO BE GLAZED WITH INSULATING GLASS IN SIZES DEMONSTRATED ON ELEVATION AND PLAN.
5) ALL SOLID CORE EXTERIOR DOORS SHALL RECEIVE 3-3 1/2" BUT HINGES WITH BEARINGS.
6) ALL SOLID CORE INTERIOR DOORS SHALL RECEIVE 3-3 1/2" BUT HINGES.
7) WINDOWS AND DOORS IN EXCESS OF 9 SQUARE FEET WITH LOWEST EDGE LESS THAN 18" ABOVE FINISHED FLOOR SHALL HAVE APPROVED SAFETY GLAZING.
8) WINDOWS IN SHOWERS OR TUBS SHALL HAVE APPROVED SAFETY GLAZING.
9) WINDOWS WITH 24" OF THE AGE OF A DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 30" ABOVE THE FLOOR SHALL HAVE APPROVED SAFETY GLAZING.
10) ALL WINDOW DEMONSTRATIONS ARE OF NOMINAL GLASS SIZES UNLESS OTHERWISE NOTED.
11) ESCAPE WINDOW SHALL BE MINIMUM 20" X 20".
12) EACH EMERGENCY ESCAPE AND RESCUE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE NET CLEAR OPENING SHALL BE AT LEAST 24 INCHES IN HEIGHT AND AT LEAST 20 INCHES IN WIDTH. THE WINDOWS SHALL HAVE THE BOTTOM OF THE GLASS OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
13) DOORS TO MECHANICAL ROOMS SHALL BE A MIN. OF 10'0" SOLID CORE WOOD DOOR WITH CLOSER.
14) 1/2" HOLLOW INSULATED METAL DOOR WITH CLOSER OR 30 MIN RATED DOOR WITH CLOSER.

MASONRY, FIREPLACE AND CHIMNEY

- 1) ALL BRICK SHALL CONFORM TO ASTM SPECIFICATION C 2906/83 GRADE N4.
2) ALL MASONRY REINFORCEMENT AND/OR WALL SHALL BE ZINC COATED. CONTINUOUS HORIZONTAL MASONRY JOINTS REINFORCEMENT SHALL BE PLACED IN WALL 6" OR UNDER 16" O.C. VERTICALLY. PROVIDE CORRUGATED METAL TIES TO ANCHOR BRICK VENEER TO WOOD FRAME STRUCTURE. TIES TO BE AT 16" O.C. HORIZONTAL AND 16" O.C. VERTICAL. MAXIMUM MASONRY VENEER TIES MAY NOT SUPPORT MORE THAN 267 SQ. FT.
3) MASON CONTRACTOR SHALL PROVIDE AND INSTALL ALL FLASHING AS INDICATED ON DRAWINGS OR AS MAY BE NECESSARY TO PROVIDE A WATER TIGHT CONSTRUCTION. THIS WALL FLASHING SHALL HAVE KEEPS AT 2" O.C.
4) MORTAR SHALL CONFORM TO ASTM C 270 TYPE M.
5) ALL CONCRETE BLOCK SHALL CONFORM TO ASTM C 90-70, GRADE N4.
6) MAKE JOINTS IN BRICK WORK UNIFORM. FACE JOINTS EXPOSED SHALL BE FINISHED WITH A METAL TOOL TO FORM A CONCAVE JOINT AND CLOSE ALL AIR CRACKS AND CREVICES. TOOL JOINTS ONLY WHEN MORTAR STARTS TO FORM THIS PRESSURE.
7) UPON COMPLETION OF WORK REMOVE ALL DISPLEASURES. FILL ALL HOLES AND JOINTS. REMOVE LOOSE MORTAR FULL OF DESTRUCTIVE JOINTS, AND REPAIR WHERE NECESSARY.
8) ALL MASONRY WORK TO BE ACID WASHED AND ALL LOOSE MORTAR REMOVED.
9) MASON CONTRACTOR SHALL BUILD IN ALL DUCTS, PPEA ETC. PROVIDED BY OTHERS AS MAY BE NECESSARY TO COMPLETE BUILDING.
10) FIREPLACE CHIMNEY FLUES SHALL BE 3" O.C. MINIMUM ABOVE ANY ROOF PORTION WITHIN 100' HORIZONTALLY.
11) TOPS OF ALL CHIMNEY FLUES MUST BE FITTED WITH CHIMNEY CAPS. (CAPS ARE REQUIRED) WITH A MINIMUM OF 3'-0" ABOVE THE ROOF.
12) ALL FIREPLACES TO HAVE A NON-COMBUSTIBLE HEARTH EXTENDING A MINIMUM 20" IN ALL DIRECTIONS.
13) MASON CONTRACTOR SHALL INSTALL ALL LINTELS WHICH ARE NECESSARY FOR HIS CONSTRUCTION AS PROVIDED BY OTHERS.
14) LINTEL SIZES FOR MASONRY BUILDINGS:
OPENINGS SIZES
4'0" 3 1/2 X 3 1/2 X 1/2
5'0" 3 1/2 X 3 1/2 X 1/2
6'0" 4 X 3 1/2 X 1/2
7'0" 4 X 3 1/2 X 1/2
8'0" 5 X 3 1/2 X 1/2
9'0" 5 X 3 1/2 X 1/2
10'0" 6 X 3 1/2 X 1/2
INSTALL ALL ANGLES WITH LONG LEGS VERTICAL.
15) PROVIDE MINIMUM DOUBLE LINED 1/2" DIAMETER U.L. LABELED FLE FOR ALL PREFAB FIREPLACES PENETRATING COMBUSTIBLE CONSTRUCTION WITH MINIMUM 2" AIR SPACE.
16) PROVIDE TIGHT FITTING DAMPERS AND A 12" HIGH SMOKE SHELF.

PLUMBING

- 1) COMPLY WITH ALL LOCAL CODES AND ORDINANCES.
2) ALL WATER SUPPLY LINES TO BE "K" COPPER ABOVE GRADE-40B MAY SUBSTITUTE F USED BY LOCAL CODES.
3)
4) 24" AIR CHAMBER AT EACH FIXTURE
5) 24" AIR CHAMBER AT EACH RISER
6) SHUT OFF VALVE AT EACH FIXTURE
7) SERVICE HEIGHT CAST IRON BELOW GRADE
8) PVC WASTE TO BE SCHEDULE 40
9) PROVIDE A THERMOSTATIC PRESSURE BALANCE OR COMBINATION CONTROLLED AUTO HINGE.
10) PROVIDE FOR SHOWER/TUB VALVES-ANTI SCALDING (MAXIMUM SETTING 120 DEGREES)
11) USE ONLY WATER BAYER FLUSH TOILET
12) ALL FLOOR DRAINS TO BE VENTED
13) P.V.C. CONNECTIONS MUST USE SOLVENT CEMENTING ELASTOMERIC GASKETS
14) ALL PIPING TO BE PROPERLY SUPPORTED AND BRACED
15) PROTECT WATER PIPES IN WALLS WITH NAIL GUARDS
16) PROVIDE VACUUM BREAKERS AT ALL HOSE BIBBS AND LAUNDRY TUBS
17) WATER SUPPLY DISTRIBUTION INSTALLATION OF THE PORTABLE WATER SUPPLY AND ITS COMPONENTS SHALL BE DONE IN COMPLIANCE WITH THE ILLINOIS STATE PLUMBING CODE, AS WELL AS CHAPTER OF IBC.
18) PROVIDE 1/4" 4" BETWEEN LAVATORY AND WALL/LAVATORY/WATER CLOSET, 2" BETWEEN LAVATORY AND BATHUB, 2" BETWEEN WATER CLOSET AND WALL/BATHUB, 2" IN FRONT OF LAVATORY/WATER CLOSET, AND 24" IN FRONT OF SHOWER OPENING.
19) ALL HOSE BIBBS SHALL BE FRONT FREE WITH VACUUM BREAKER.
20) WAREHOUSE TUBS TO BE 1/4" IN VILLAGE OF DRAINERS GRADE APPROVED AND HAVE COPPER PIPING.
21) INSTALL CLEAN OUT AT BASE OF EACH PLUMBING STACK (PER VILLAGE).

ELECTRICAL

- 1) COMPLY WITH ALL GOVERNING CODES AND REGULATIONS.
2) COMPLY WITH THE BOTTOM OF THE "NATIONAL ELECTRICAL CODE".
3) USE COPPER WIRE ONLY.
4) SERVICE SHALL BE INSTALLED UNDERGROUND.
5) SERVICE SHALL BE MINIMUM 200 AMPS.
6) PROVIDE ON (GROUND FAULT INTERRUPTER) PROTECTION FOR ALL BATH ROOMS, BASEMENT AREAS, GARAGES, ATTIC SPACES, CEILING SPACES AND ALL OTHER DRYP AREAS, EXCEPT FOR APPLIANCE REQUIRED OUTLETS.
7) OUTDOOR OUTLETS TO BE WATERPROOF AND ON WITH IN USE BUBBLE COVER.
8) GROUND OUTLETS MUST BE GFI PROTECTED AND 4'-0" O.C. WITH NO POINTS ALONG THE COUNTER MORE THAN 2 FT. FROM AN OUTLET.
9) ALL WAREHOUSE TUBS/TOILETS TO BE SEPARATE OF CIRCUITS.
10) ALL SWITCHES, LIGHTS, OUTLETS AND FANS IN BATHROOMS TO BE GFI PROTECTED ON SEPARATE BRANCH CIRCUIT THAN ON PROTECTED CIRCUIT.
11) ALL OUTLETS WITHIN 6'0" OF ANY BSK MUST BE GFI PROTECTED.
12) RACEWAY WILL BE PROVIDED FOR REMOVE WATER METER READER CONDUCTIONS.
13) CLOSET LIGHTING WILL BE RECESSED INCANDESCENT OR FLUORESCENT W/ CLOSED LENS.
14) OUTLETS WILL BE PROVIDED IN ALL HABITABLE ROOMS MAX. 120" APART, WITHIN 6'0" OF ANY DOOR.
15) ALL CEILING LIGHTS SHALL BE RECESSED INCANDESCENT OR FLUORESCENT W/ CLOSED LENS.
16) DUAL VOLTAGE WIRING IN A SERIES SHOCK DETECTORS MUST BE INSTALLED IN BASEMENT, W, AND 2ND FLOOR. ALL SLEEPING AREA, REAR PORCH ROOMS.
17) INSTALL CO. DETECTORS AS REQUIRED BY CODES.
18) ALL WIREPOOL TUBS/TOILETS TO BE SEPARATE OF CIRCUITS.
19) A PERMANENT WARNING BRIDGE OF THIRTY (30) AMPS BY THESE (30) FEET SHALL BE PROVIDED IN FRONT OF THE ELECTRIC PANEL AND A/C ELECTRICAL DISCONNECT EXTENDING FROM THE FLOOR TO THE TOP OF THE EQUIPMENT.

GENERAL ASSUMPTIONS FOR MICROLAM LVL

- * LATERAL SUPPORT REQUIRED AT BEARING AND 24" ON CENTER MAX.
* BEARING LENGTHS ARE BASED ON MICROLAM LVL'S BEARING STRESS OF 750 PSI
* NO CAMBER
* ALL MEMBERS 7/16" AND LESS IN DEPTH ARE RESTRICTED TO A MAXIMUM DEFLECTION OF 5/16"
* TABLES ON PAGES 4-7 INCLUDE REDUCTIONS APPLIED IN ACCORDANCE WITH CODE
* 16", 18" AND 20" BEAMS REQUIRE MULTIPLE FILES

MICROLAM LVL ALLOWABLE DESIGN STRESSES

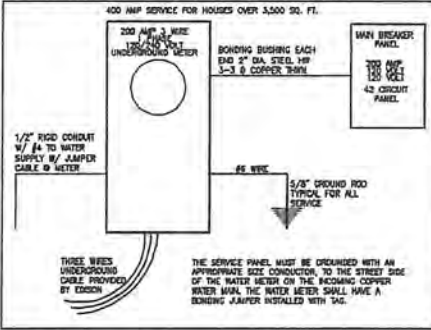
Table with columns: BEARING PROPERTY, DEPTH, 3/4", 1", 1 1/4", 1 1/2", 1 3/4", 1 7/8", 2", 2 1/4", 2 3/4", 3", 3 1/2", 4", 4 1/2", 5", 5 1/2", 6", 6 1/2", 7", 7 1/2", 8", 8 1/2", 9", 9 1/2", 10". Rows: SHEAR MODULUS OF ELASTICITY, MODULUS OF ELASTICITY, TENSION STRESS, COMPRESSION PERPENDICULAR TO GRAIN, COMPRESSION PARALLEL TO GRAIN, HORIZONTAL SHEAR PARALLEL TO GRAIN.

Bulin Custom Designs, Inc. Making Dreams become Reality. 5703 Arbor Gate Drive, Plainfield, Illinois. Phone: 815.861.1757. Fax: 815.577.9039. BulinCustom@gmail.com

Gander Builders. Olftman Residence. 240 Center Road. Frankfort, Illinois. DATE: 09.12.22. JOB #: 2021.045. SHEET: A-7

REVISIONS: Revised George. NO DATE: 08.12.22. BY: [Signature]. THESE DRAWINGS, SPECIFICATIONS, DESIGN, AND SCHEDULES SHALL BE THE PROPERTY OF BULIN CUSTOM DESIGNS, INC. NO PART SHALL BE REPRODUCED IN ANY FORM WITHOUT THE EXPRESSED WRITTEN PERMISSION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCHEDULES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ANY MATERIALS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

ELECTRICAL SERVICES MUST ENTER BUILDING ON THE REAR ELEVATION. TRACKING OF ELECTRICAL SERVICES UNDERGROUND SHALL BE ALONG THE LOT LINE.



ALL CLOSETS SHALL BE:
 A. RECESSED LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 B. FLUORESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 C. INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.

SEAL ALL DUCT JOINTS AND SEAMS IN ACCORDANCE WITH SECTION M1603.1.

NO LIVE SERVICE ENTRANCE CONDUCTOR SHALL EXTEND OVER FIVE FEET WITHIN THE BUILDING WITHOUT MAIN DISCONNECT AT METER.

ELECTRICAL SYMBOLS:

- ⊕ SINGLE POLE TOGGLE SWITCH
 - ⊕ THREE POLE TOGGLE SWITCH
 - ⊕ DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED.
 - ⊕ DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED, ONE SIDE SWITCHED.
 - CONDUIT RUN CONCEALED ABOVE CEILING
 - ⊕ RECESSED LIGHT FIXTURE
 - ⊕ 4" DIA. EYE-BALL RECESSED LIGHT FIXTURE
 - ⊕ CEILING LIGHT FIXTURE
 - ⊕ WALL MOUNTED LIGHT FIXTURE
 - ⊕ WALL MOUNTED LIGHT SCONCE FIXTURE
 - ⊕ FLUORESCENT LIGHT FIXTURE ON P/C OR SWITCH
 - ⊕ CEILING EXHAUST FAN PER OWNER/CONTRACTOR. VENT DIRECTLY TO OUTSIDE.
- PROVIDE A MIN. OF R5 VALUE INSULATED DUCT WORK FOR EXHAUST FANS IN UNHEATED ATTIC SPACE.
- ⊕ MOTOR
 - ⊕ SMOKE DETECTOR, ALL SMOKE DETECTORS TO BE WIRED IN SERIES WITH BATTERY BACKUP
 - ⊕ SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
 - ⊕ CEILING FAN JUNCTION BOX CAPPED
 - ⊕ THERMOSTAT
 - ⊕ PHONE
 - ⊕ TELEVISION
- ELECTRICAL CONTRACTOR NOTES:**
- VERIFY WITH OWNER WHICH SWITCHES ARE TO BE ON DAMPERS.
 - CABLE AND TELEPHONE JACKS TO BE LOCATED BY OWNER ON SITE.
 - PROVIDE ARC FAULT PROTECTION IN ALL BEDROOMS PER 1999 N.E.C.
 - ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING CEILING FANS ASSOCIATED WITH THE WHIRLPOOL TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN A NO. 8 SOLID.
 - ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE WHIRLPOOL TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN A NO. 8 SOLID.

ADDITIONAL MECHANICAL NOTES

- THE DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT BY MEANS OF TAPE OR OTHER APPROVED METHODS AND SHALL BE SUPPORTED A MAXIMUM OF TEN FEET INTERVALS.
- ALL EQUIPMENT AND APPLIANCES, INCLUDING THE AIR CONDITIONER, WATER HEATER AND FURNACE, SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE PROVIDED ON SITE AT THE TIME OF INSPECTION.
- PROVIDE COMBUSTION AIR FOR ALL REL. GAS APPLIANCES IN COMPLIANCE WITH SECTION G2007. THE INSTALLATION OF A FULL-CLOSED DOOR OR TWO AIR TRIMMERS (GALLONSPHUM 100 sq. in. of FREE AREA EACH AND LOCATED WITHIN 2" OF THE FLOOR AND CEILING) ARE CODE COMPLIANT.
- ALL BATHROOM EXHAUST FANS SHALL VENT DIRECTLY TO THE EXTERIOR.

MECHANICAL REQUIREMENTS:

WHOLE HOUSE MECHANICAL VENTILATION:
 100 CFM IS REQUIRED.
 AN AIR EXHAUST SHALL BE INSTALLED TO SATISFY THE WHOLE HOUSE MECHANICAL VENTILATION UTILIZING THE METHOD, OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS ON THE EXTERIOR THAT CLOSE WHEN THE SYSTEM IS NOT OPERATING.

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR; TESTING SHALL BE IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G.(50 PASSELS) A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANYTIME AFTER ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE HAVE BEEN SEALED.

DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EXCEPTION OF DUCTS LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE. A TIGHTNESS TEST SHALL BE PERFORMED WITH THE TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE AT THE TIME OF THE TEST. ALL REGISTER SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

VENTING MATERIALS AND THE METHODS OF INSTALLATION OF VENTING SYSTEMS ARE DEPENDENT ON THE OPERATING CHARACTERISTICS OF THE APPLIANCE BEING VENTED. A VENTING SYSTEM SHALL SATISFY THE DRY REQUIREMENTS OF THE APPLIANCE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, LISTED CATEGORY 1 APPLIANCES SHALL BE TYPE B GAS VENT.

IF EXHAUST IS GREATER THAN 400 CFM, ADDITIONAL DOCKUMENTATION FOR MECHANICALLY OR NATURALLY PROVIDED MAKE-UP AIR SHALL BE PROVIDED BEFORE FINAL EXPECTATION.

HYDRO MASSAGE BATHTUB EQUIPMENT SHALL BE ACCESSIBLE WITHOUT DAMAGING THE BUILDING STRUCTURE OR BUILDING FINISH THEIR ASSOCIATE ELECTRICAL COMPONENTS SHALL BE ON AN INDIVIDUAL BRANCH CIRCUIT AND PROTECTED BY A READILY ACCESSIBLE GROUND-FAULT CIRCUIT INTERRUPTER.

NOTES

- ALL ELECTRICAL OUTLETS IN BASEMENT TO BE 18" PROTECTED.
- SMOKE DETECTORS SHALL BE WIREMESH AND INTERCONNECTED FOR SMALL APPLIANCE ACTIVATION, PROVIDE ONE ONE DETECTOR PER FLOOR AND WITH A MESH OF 1/8" FROM ANY BEDROOM. PROVIDE A SMOKE DETECTOR IN EACH SLEEPING ROOM.
- INSTALL G.O. DETECTOR AS REQUIRED BY LOCAL CODES.
- ALL KITCHEN, LIVING ROOM, BEDROOM, FAMILY ROOM, DINING ROOM, PARLOR, LIBRARY, DEN, BATHROOM, RECREATION ROOM, CLOSET, HALLWAY OR SIMILAR AREA RECEPTACLE AND LIGHTING CIRCUITS SHALL BE ARC-FAULT PROTECTED.
- ELECTRICAL PANEL TO HAVE MINIMUM 4'-0" CLEARANCE IN FRONT AND 3'-0" CLEARANCE ON SIDES FROM ANY GROUNDED EQUIPMENT.
- ALL EXHAUST FANS SHALL VENT DIRECTLY TO THE EXTERIOR.
- ALL OUTLETS SERVING KITCHEN TO BE GFI PROTECTED.
- PROVIDE LIGHT AT ALL ACCESS PANELS TO ATTIC SPACES.
- MAINTAIN A MIN. 18" CLEARANCE FROM RECESSED LIGHT FROM CONCRETE ISOLATION.
- FLOOR RECEPTABLES MUST BE GFI.
- PROVIDE A SINGLE RECEPTACLE FOR THE ELECTRIC AND SHAP PUMPS.
- ALL BATHROOM SWITCHES SHALL BE A MIN. 5' AWAY FROM ANY TUB OR SHOWER UNLESS LOCATED OUTSIDE OF THE ROOM.
- INSTALL CONDUIT CHASE FOR INSTALLATION OF REDUCES REQUIRED FOR WATER SERVICE.
- PROVIDE ELECTRICAL JUMPER CABLE AROUND WATER METER AND BETWEEN HOT AND COLD WATER PIPES SERVING WATER HEATER.
- ALL CLOSET LIGHTS SHALL BE:
- A. RECESSED LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
- B. FLUORESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
- C. INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
- ALL GFI OUTLETS TO BE LED TYPE.
- SMOKE DETECTORS TO BE INTERCONNECTED WITH AS POWER.
- ALL CEILING ELECTRICAL BOXES MUST BE FAN RATED.
- ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE WHIRLPOOL TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN A NO. 8 SOLID.
- TAMPER RESISTANT RECEPTABLES ARE REQUIRED.
- RECEPTABLES LOCATED IN THE UNFINISHED BASEMENT SHALL BE GFI PROTECTED.
- RECEPTABLES LOCATED IN THE FINISHED BASEMENT SHALL BE GFI PROTECTED.
- SMOKE DETECTORS SHALL NOT BE LOCATED WITHIN 36" OF SUPPLY AIR VENTS OR CEILING FAN BLADES.
- ELECTRIC SERVICE PANEL SHALL HAVE A COPPER BUS/ALUMINUM BUS IS NOT PERMITTED.
- DISCONNECT SWITCHES SHALL BE LOCATED WITHIN 5 FEET OF WHERE THE CONDUIT ENTERS THE BUILDING OR THERE SHALL BE AN EXTERIOR DISCONNECT.
- ALL BEDROOM, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, BATHROOM, RECREATION ROOM, CLOSET, HALLWAY OR SIMILAR AREA RECEPTACLE AND LIGHTING CIRCUITS SHALL BE ARC-FAULT PROTECTED.

SPACING OF ELECTRICAL OUTLETS

- GENERAL OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY HALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET THAT SPACE INCLUDING ANY HALL SPACE 2 FEET OR MORE IN WIDTH AND THE HALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS.
- KITCHEN COUNTER TOPS, RECEPTABLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR FEWER. RECEPTABLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE HALL LINE IS MORE THAN 24" FROM A RECEPTABLE OUTLET IN THAT SPACE. ISLAND AND PENINSULA COUNTER TOPS 12" OR FEWER SHALL HAVE AT LEAST ONE RECEPTABLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES.

NEED ELECTRICAL NOTES

- FIDERS, NOT PART OF A HALLWAY AND GREATER THAN 60 FT² SHALL HAVE WALL RECEPTABLES IN EACH WALL SPACE THREE (3) FEET OR MORE IN WIDTH AND UNBROKEN ALONG THE WALL LINES.
- ALL 125-VOLT, 15 & 20 AMP RECEPTABLES SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES. EXCEPTION: RECEPTABLES LOCATED BEHIND A NOT EASILY MOVED APPLIANCE WILL NOT REQUIRE A TAMPER-RESISTANT RECEPTABLE.
- ALL 125-VOLT SINGLE PHASE, 15 & 20 AMP. BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY RM, DINING RM, KITCHENS, LIVING RM, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNNIES, PORE RMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. "COMBINATION TYPE" INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

REINFORCING IN THE FOOTING/FOUNDATION SHALL BE INSTALLED PER THE REQUIREMENTS FOR A CONCRETE ENCASED ELECTRODE.

AT LEAST ONE RECEPTACLE OUTLET, IN ADDITION TO THOSE FOR SPECIFIC EQUIPMENT, SHALL BE INSTALLED IN EACH BASEMENT, GARAGE REQUIRE ONE OUTLET PER 1000 SQ. FT.

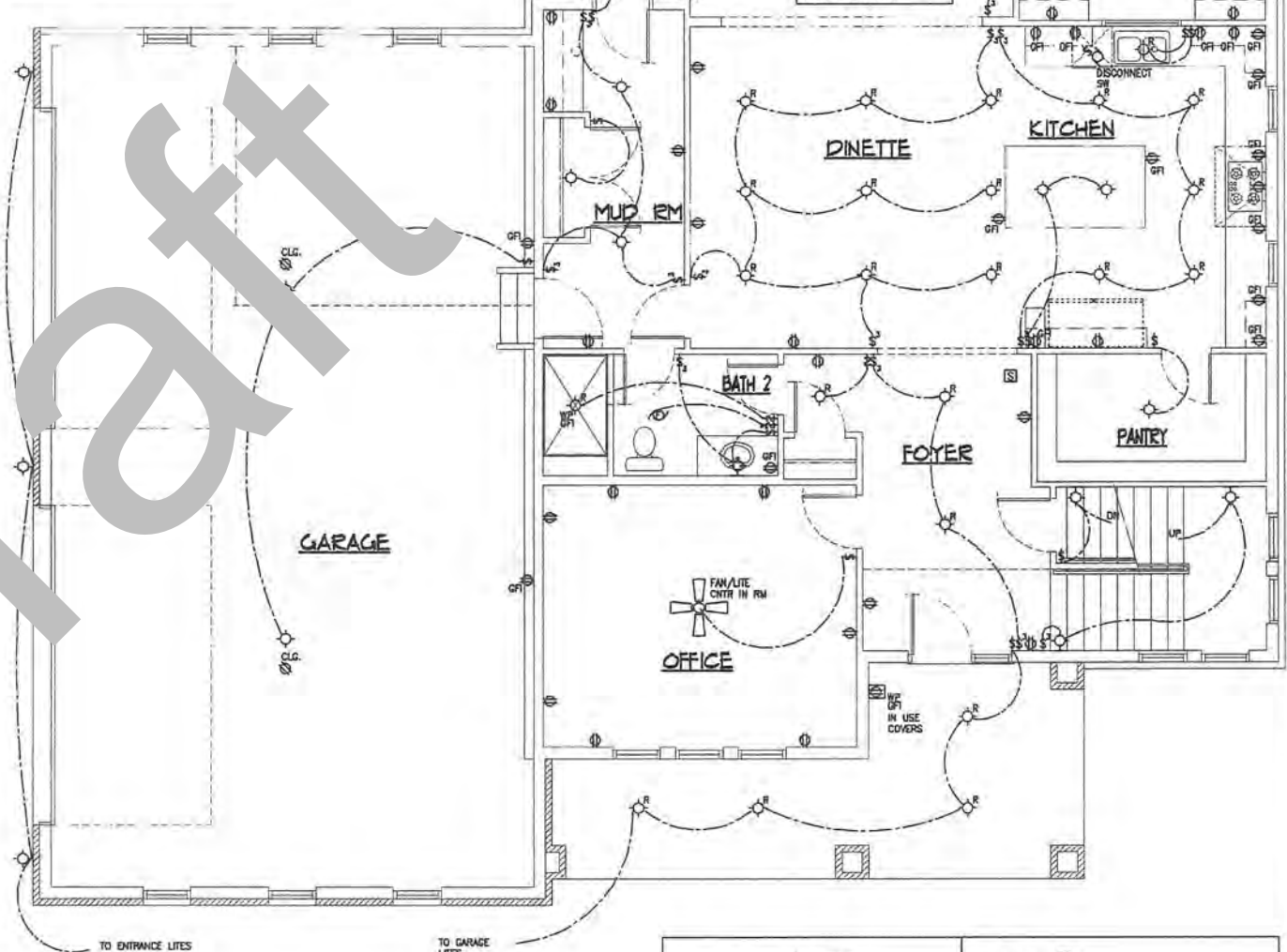
- AIR CHAMBERS FOR FIXTURES SHALL BE A MINIMUM OF 12" LONG AND AT LEAST SAME SIZE AS FIXTURE SUPPLY PIPE, OR AN AIR CHAMBER OF EQUIVALENT VOLUME MAY BE USED.
- STACK TEST IS REQUIRED FOR ALL DRAIN, WASTE, AND VENT PIPING.
- WATERPIPING SHALL BE AIR TESTED TO 100 PSI.
- WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
- ANY FUTURE WATER PIPING SHALL BE GAPPED WITHIN TWO FEET OF THE MAIN.
- ALL NEW PLUMBING FIXTURES MUST BEAR THE WATER SERVICE LABEL. DO NOT REMOVE THE WATER SERVICE LABEL PRIOR TO PASSING THE FINAL INSPECTION AND HAVE FIXTURE OUT SHEETS ON SITE FOR FINAL INSPECTION.
- THE FOUNDATION MUST BE BACKFILLED PRIOR TO THE UNDERGROUND PLUMBING INSPECTION.
- 25 PSI AIR TEST REQUIRED ON ALL GAS PIPING AT THE TIME OF THE ROUGH INSPECTION.
- ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND ILL. COUNTY ORDINANCES.

NEC 210.52(B) IN THE KITCHEN, PANTRY, BREAKFAST RM, DINING RM OR SIMILAR AREA OF A DWELLING UNIT, THE TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS REQUIRED SHALL SERVE ALL WALL AND FLOOR OUTLETS AND ALL COUNTERTOP OUTLETS AS WELL AS OUTLETS FOR REFRIGERATION EQUIPMENT.

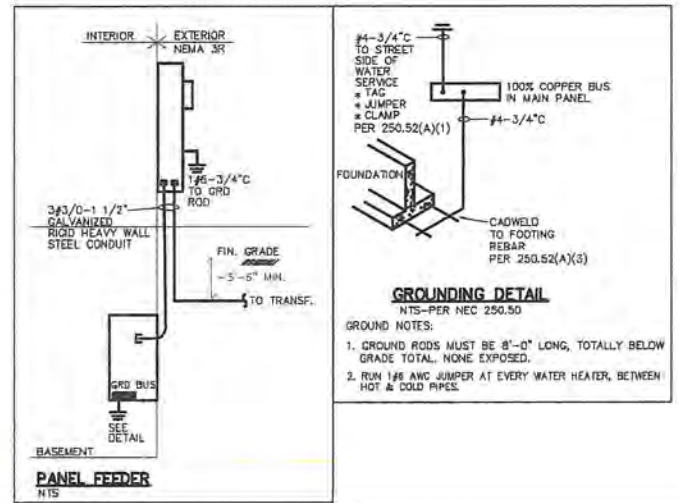
SIZE OF PERMANENTLY INSTALLED LIGHT FIXTURES SHALL HAVE HIGH EFFICIENT LAMPS.

ISLAND OUTLETS SHALL NOT BE LOCATED IN THE KNEE SPACE UNDER A COUNTER TOP THE MAX. COUNTER TOP PROJECTION AT AN OUTLET IS 6 INCHES THE OUTLET SHALL BE MOUNTED NO MORE THAN 12 INCHES BELOW THE COUNTER TOP.

ALL 20 AMP CIRCUITS ARE #12 COPPER WIRE IN THIN-WALL CONDUITS.



FIRST FLOOR ELECTRICAL PLAN 1/4"=1'-0"



NO.	DATE	REVISIONS
1	08.12.22	Revised Garage

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Gander Builders	Oltman Residence
DATE	09.12.22
JOB #	2021.045
SHEET	E-1

- ELECTRICAL SYMBOLS:**
- 1 SINGLE POLE TOGGLE SWITCH
 - 2 THREE POLE TOGGLE SWITCH
 - 3 DUPLEX RECEPTACLE AT 12" AFF. UNLESS OTHERWISE NOTED.
 - 4 DUPLEX RECEPTACLE AT 12" AFF. UNLESS OTHERWISE NOTED.
 - 5 UNDER CABINET FLORESCENT STRIP LIGHTS TYPE AND STYLE PER OWNER / CONTRACTOR
 - 6 CONDUIT RUN CONCEALED ABOVE CEILING
 - 7 7" DIA. RECESSED LIGHT FIXTURE PER OWNER/CONTR.
 - 8 4" DIA. RECESSED LIGHT FIXTURE PER OWNER/CONTR.
 - 9 CEILING LIGHT FIXTURE PER OWNER/CONTRACTOR
 - 10 WALL MOUNTED LIGHT FIXTURE PER OWNER/CONTRACTOR
 - 11 WALL MOUNTED LIGHT SOURCE FIXTURE PER OWNER/CONTRACTOR
 - 12 CEILING DOWNFAN PER OWNER/CONTRACTOR VENT DIRECTLY TO OUTSIDE.
 - 13 SMOKE DETECTOR. ALL SMOKE DETECTORS TO BE WIRED IN SERIES WITH BATTERY BACKUP.
- ELECTRICAL CONTRACTOR NOTE:**
1. VERIFY WITH OWNER WHICH SWITCHES ARE TO BE ON DIMMERS.
 2. CABLE AND TELEPHONE JACKS TO BE LOCATED BY OWNER ON SITE.

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER SIZED PER THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/N.O.2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE MEM-FIR(N).

ALLOWABLE SPANS ARE AS FOLLOWS:

SPRUCE-PINE-FIR NO.1/N.O.2	MEM-FIR(N)
CEILING JOISTS - 2x6s LL AND 10x6s DL	2'-5" 2'-8" 2'-10"
12" O.C.	12'-3" 16'-0" 22'-11"
16" O.C.	12'-10" 18'-3" 19'-10"
2nd FLOOR FLOOR JOISTS - 2x6s LL AND 10x6s DL	13'-0" 17'-0" 24'-3"
12" O.C.	10'-3" 13'-6" 17'-2"
16" O.C.	10'-3" 13'-6" 17'-2"
1st FLOOR FLOOR JOISTS - 4x6s LL AND 10x6s DL	13'-0" 17'-0" 24'-3"
12" O.C.	10'-3" 13'-6" 17'-2"
16" O.C.	10'-3" 13'-6" 17'-2"

LUMBER BASE VALUES

JOISTS - SPRUCE-PINE-FIR NO.1/N.O.2 OR BETTER
F_b=875psf, F_v=70psi, E=1,400,000psi.

JOISTS, HEADERS AND BEAMS - MEM-FIR(N) NO.1/N.O.2 OR BETTER.
F_b=1000psf, F_v=75psi, E=1,800,000psi.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S-P-F OR BETTER.
F_b=875psf, F_v=70psi, E=1,400,000psi.

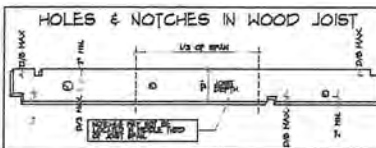
STUD GREATER THAN 10'-0" IN HEIGHT - S-P-F NO.1/N.O.2 OR BETTER.
F_b=875psf, F_v=70psi, E=1,400,000psi.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 OR BETTER.
F_b(PER NDS TABLE), F_v(PER NDS TABLE), E=1,800,000psi.

LAMINATED STRUCTURAL WOOD BEAMS (GLU-LAM BEAMS)
F_b=2,400psf, F_v=185psi, E=1,900,000psi.

ALL FRAMING MEMBERS DESIGNATED AS "LM" SHALL BE 1.8E G-F LAM BY GEORGIA PINE OR BETTER.
F_b=2,600psf, F_v=205psi, E=1,800,000psi.

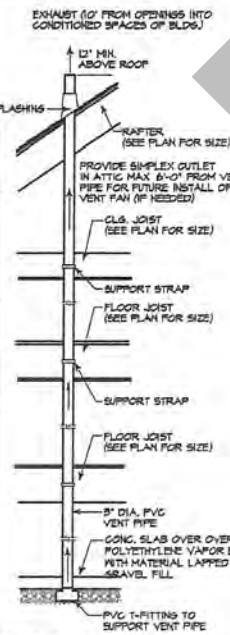
JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAILED TOGETHER WITH A MIN. THREE 10d NAILS.



INSTALLATION METHOD FOR INSTALLATION OF THE REQUIRED PASSIVE RADON MITIGATION SYSTEM PERFORATED PIPING MUST EXTEND OUT A MIN. OF 5 FEET FROM EACH SIDE OF "T"

NOTES:

- ALL CONCRETE JOINTS MUST BE SEALED WITH POLYURETHANE CAULK OR OTHER ELASTOMERIC SEALANT.
- CONDENSATE DRAINS SHALL BE TRAPPED AND ROUTED THROUGH NON-PERFORATED PIPE TO DATELINE.
- ALL EXPOSED AND VISIBLE INTERIOR VENT PIPES SHALL BE CONSPICUOUSLY IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS, THE LABELS SHALL READ "RADON REDUCTION SYSTEM".
- BUMP PITS OPEN TO SOIL OR SERVING AS TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TIE LOOPS SHALL BE COVERED WITH A GASKETED OR SEALED LID. BUMP PITS SHALL NOT BE USED AS A PRIMARY SUCTON POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM.
- BUMPS USED THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE.
- BUMPS USED AS FLOOR DRAIN SHALL HAVE LID EQUIPPED WITH TRAPPED INLET.



EMERGENCY ESCAPE LADDER SHALL BE PERMANENTLY ATTACHED AND LADDER RUNGS SHALL HAVE MIN. CLEARANCE OF NOT LESS THAN 17 INCHES AND SHALL NOT PROJECT MORE THAN 3 INCHES FROM THE WALL. THE RUNGS SHALL NOT BE SPACED MORE THAN 18 INCHES ON CENTER.

EXTERIOR OR LOAD BEARING WALLS WITH PLASTER OR GYP. OR ROYCEWOOD MORE THAN 2 INCHES FROM THE FACE OF THE WALL SHALL HAVE A GALVANIZED METAL TIE IN PLACE AND 1/2" WIDE PARTITION TO EACH PLATE.

2 EXTERIORS OF LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE WALL SHALL BE REINFORCED WITH A STRUCTURAL SHOE.

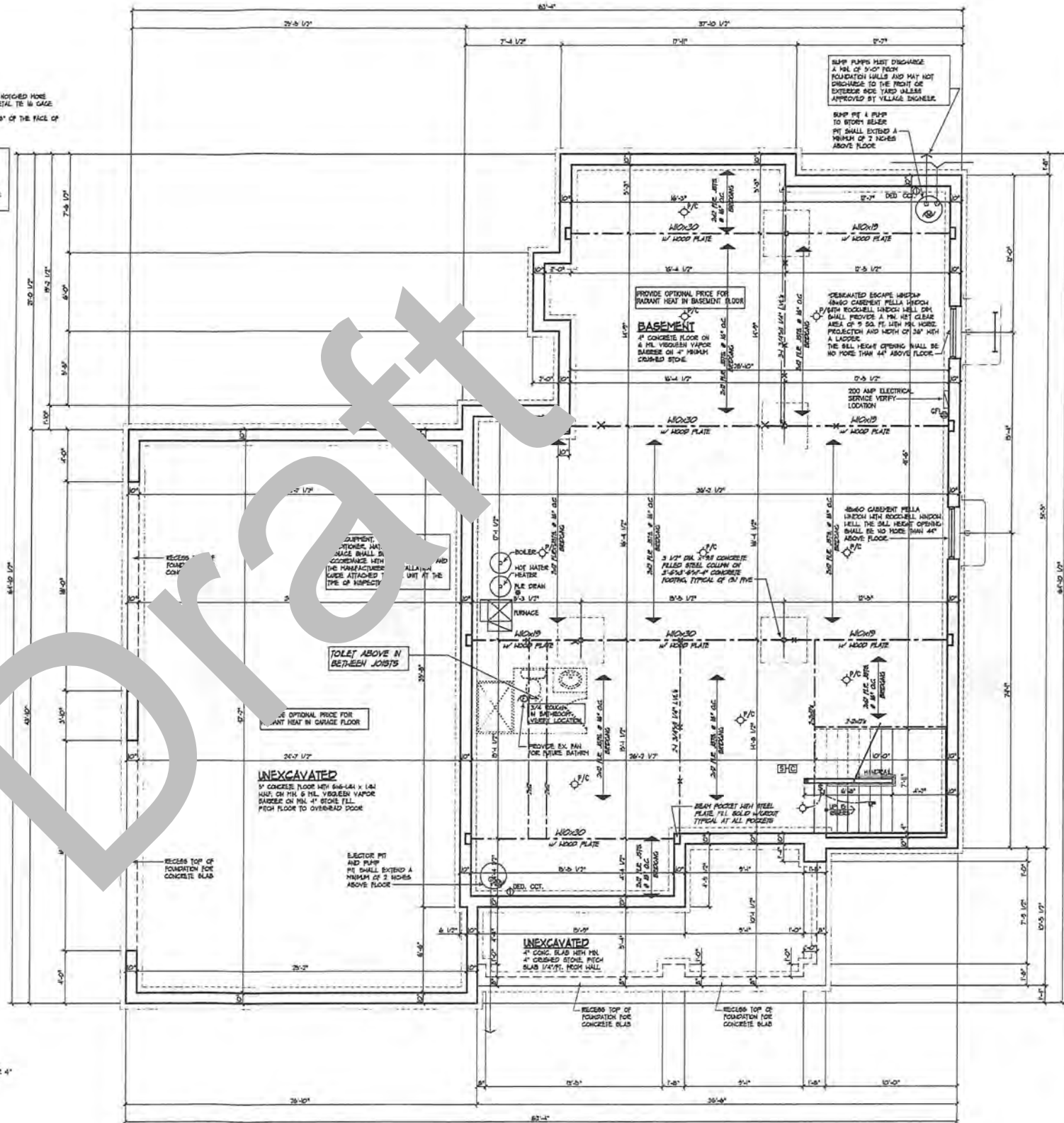
A PERMANENT CERTIFICATE SHALL BE POSTED ON THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL LIST THE PRESCRIBED R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF WALLS FOUNDATION WALLS BARRIER WALLS CEILING SPACE WALLS AND/OR INSULATION AND DUCTS OUTSIDE CONDITIONED SPACES. FACTORS FOR INSULATION THE EFFICIENCY OF THE HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

ALL EQUIPMENT INCLUDING AIR CONDITIONER WATER HEATER AND RANGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTINGS AND THE MANUFACTURER'S INSTALLATION GUIDE ATTACHED TO THE UNIT AT THE TIME OF INSPECTION.

PROVIDE COMBUSTION AIR FOR ALL THE FUEL-BURNING APPLIANCE IN THE BASEMENT.

ENERGY NOTES:

- A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND SHALL LIST THE PRESCRIBED R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF WALLS FOUNDATION AND DUCTS OUTSIDE CONDITIONED SPACES.
- ACCESS DOORS FROM UNCONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
- NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.
- WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE AT LEAST ONE THERMOSTAT FOR CHILLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO. HIGHER THAN 70° AND A COOLING TEMPERATURE NO LOWER THAN 70°.
- SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOISTS AND SEAMS SHALL COMPLY WITH SECTION M162.1.1 OF IRC.
- BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS.



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THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOISTS CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLICABLE TO THE PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "GREEN ROOM" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPECS.

RAILINGS: HANDRAILS HAVING MIN. AND MAX. HEIGHTS OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE TREAD OF THE STAIRS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY OF THREE OR MORE RISERS AND SHALL EXTEND 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN HELD POSTS ON SAFETY TERMINALS.

OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES MIN. AND 38 INCHES MAX.

THE HAND GRIP PORTION OF THE HANDRAILS SHALL BE NOT MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL BE ROUND AND EQUIVALENT GRIPPER SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" INCHES BETWEEN THE WALL AND THE HANDRAIL.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES MIN. AND 38 INCHES MAX. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.

ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE THE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD.

DOUBLE FRAMING MEMBERS AROUND OPENINGS AND BELOW PARALLEL PARTITIONS.

MAINTAIN MINIMUM OF 2" HIGH CLEARANCE BETWEEN FLOORS AND FRAMING.

FIRE STOP SOFFITS AND STAIR STRINGERS AT TOPS AND BOTTOMS WITH APPROVED MATERIALS.

FILL CAVITIES BETWEEN FLOORS AND BETWEEN OTHER FIRE SEPARATED ZONES WITH APPROVED FIRE STOPPING MATERIALS.

ALL UNDIMENSIONED WALLS ARE 3/4" UNFINISHED (2x4 STUDS) UNLESS OTHERWISE NOTED.

DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND NONBEARING JOISTS MAY BE SPREAD TO EACH SIDE OF WALL TO ALLOW PLUMBING TO PASS THROUGH.

CS DENOTES 3-2x4 SPIKED TOGETHER OR 4x4 POST, CONTIGUOUS TO FOUNDATION WALL, STEEL BEAM OR WOOD BEAM.

ALL JOIST AND RIFTERS TO BE CANTONED SPACE FIVE FEET 1/2" ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED.

DOORS AND TRIM

ALL INTERIOR DOORS ON FIRST FLOOR SHALL BE 6'-0" SOLID MASONRY 2 PANEL DOORS
ALL BASE BOARD TRIM ON FIRST FLOOR SHALL BE 7 1/4" BASE
ALL TRIM CARING SHALL BE 4 1/2" CARING

COUNTER TOPS

ALL COUNTER TOPS SHALL BE GRANITE STONE

PELLA WINDOWS HAS USED VERY HIGH QUALITY ON BASES BEFORE CONSTRUCTION

NOTE: FLOOR, FLOOR CEILING OR GLASS WITH OUTFIT FINISHERS IN COMPLIANCE WITH ASTM C 1088 C 1085 OR C 1034 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS RAZZED FOR WALL TILE IN TOB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.

WINDOW BACKING

PROVIDE SOLID BLOSSING AT EACH WINDOW FOR WINDOW TREATMENTS

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANTONED LUMBER BASED UPON THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES FOR CANTON LUMBER USE SPRUCE-PINE-FIR NO.1/NO.2 FOR MEMBERS UP TO 12'. FOR MEMBERS 12' AND ABOVE USE HEM-FIR(ND).

ALLOWABLE SPANS ARE AS FOLLOWS:	SPRUCE-PINE-FIR NO.1/NO.2 (ND-FIR(ND))
CEILING JOISTS - 2x8s LL and 10x8s DL	2'x6" 2'x8" 2'x10" 2'x12"
1st FLOOR FLOOR JOISTS - 2x8s LL and 10x8s DL	12'-0" 14'-0" 16'-0" 18'-0" 19'-0" 22'-0" 24'-0" 26'-0" 28'-0" 30'-0"
2nd FLOOR FLOOR JOISTS - 2x8s LL and 10x8s DL	12'-0" 14'-0" 16'-0" 18'-0" 19'-0" 22'-0" 24'-0" 26'-0" 28'-0" 30'-0"
3rd FLOOR FLOOR JOISTS - 4x8s LL and 10x8s DL	12'-0" 14'-0" 16'-0" 18'-0" 19'-0" 22'-0" 24'-0" 26'-0" 28'-0" 30'-0"

CEILING JOISTS	1st FLOOR FLOOR JOISTS	2nd FLOOR FLOOR JOISTS	3rd FLOOR FLOOR JOISTS
12'-0" O.C.	12'-0" O.C.	12'-0" O.C.	12'-0" O.C.
16'-0" O.C.	16'-0" O.C.	16'-0" O.C.	16'-0" O.C.
18'-0" O.C.	18'-0" O.C.	18'-0" O.C.	18'-0" O.C.
24'-0" O.C.	24'-0" O.C.	24'-0" O.C.	24'-0" O.C.

LUMBER BASE VALUES

JOISTS - SPRUCE-PINE-FIR NO.1/NO.2 OR BETTER. F=875psi, E=1,400,000psi.

JOISTS, HEADERS AND BEAMS - HEM-FIR(ND) NO.1/NO.2 OR BETTER. F=1000psi, E=1,600,000psi.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S-P-F OR BETTER. F=875psi, E=1,300,000psi.

STUDS GREATER THAN 10'-0" IN HEIGHT - S-P-F NO.1/NO.2 OR BETTER. F=875psi, E=1,300,000psi.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 OR BETTER. F=900psi, E=1,400,000psi.

LAMINATED STRUCTURAL WOOD BEAMS (DLU-LAM BEAMS) F=2,400psi, E=1,800,000psi.

ALL FRAMING MEMBERS DESIGNATED AS "LV" SHALL BE 1/2" O-P LAM BY GEORGIA PACIFIC OR BETTER. F=2,400psi, E=1,800,000psi.

JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAIL TOGETHER WITH A MIN. THREE 10# NAILS.

ENERGY NOTES:

A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. CERTIFICATE SHALL BE COMPLETED BY THE BUILDER, AND SHALL LIST THE PRESCRIPTION R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES.

ACCESS DOORS FROM UNCONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.

WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ON THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70 AND A COOLING TEMPERATURE NO LOWER THAN 72.

SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-6.

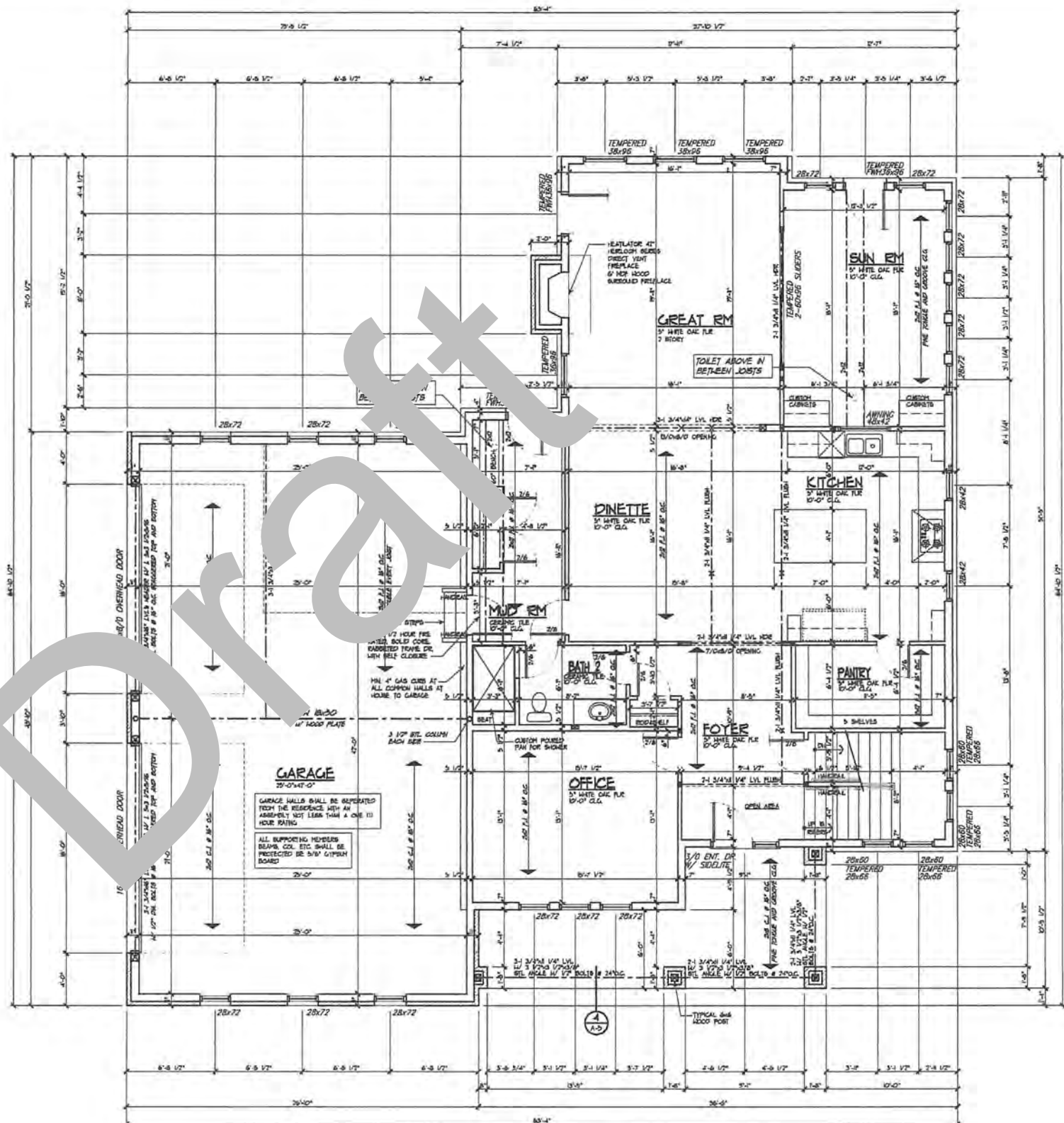
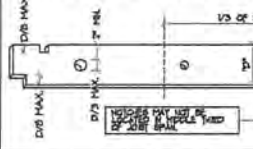
ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOISTS AND SEAMS SHALL COMPLY WITH SECTION M161.1-1 OF IRC.

BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS.

STEEL LINTELS FOR MASONRY

CLEAR OPENING	EXTERIOR ANGLES	INTERIOR ANGLES
4'-0"	1 3/4" x 3 1/2" x 5/16"	2 1/4" x 3 1/2" x 5/16"
6'-0"	1 3/4" x 3 1/2" x 5/16"	2 1/4" x 3 1/2" x 5/16"
8'-0"	1 3/4" x 3 1/2" x 5/16"	2 1/4" x 3 1/2" x 5/16"

HOLES & NOTCHES IN WOOD JOIST



FIRST FLOOR PLAN
10'-0" CEILING HEIGHT
1897.0 SQ. FT.

1/4"=1'-0"

NO.	DATE	REVISIONS	BY

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DATE 07.05.22

JOB # 2021.045

SHEET

A-3

THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE HEATED TEMPERED SAFETY GLASS FOR ANSI SPECS.

RAILINGS: HANDRAILS HAVING MIN. AND MAX. HEIGHTS OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE TOP OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY OF THREE OR MORE RISERS AND SHALL EXTEND 6 INCHES BEYOND THE TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEEL, PEGS OR SAFETY TERMINALS.

OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 34 INCHES MAX. AND 38 INCHES MIN.

THE HAND GRIP PORTION OF THE HANDRAILS SHALL BE NOT MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. HANDRAILS THAT FORM PART OF A GUARDRAIL SHALL BE 36 INCHES MIN. AND 38 INCHES MAX. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR HANDRAIL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.

ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE THE WALLS UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2 INCH GYPSUM BOARD.

DOUBLE FRAMING MEMBERS AROUND OPENINGS AND BELOW PARALLEL PARTITIONS.

MAINTAIN MINIMUM OF 2 INCH CLEARANCE BETWEEN FLOORS AND FRAMING.

FIRE STOP SOFFITS AND STAIR STRINGERS AT TOPS AND BOTTOMS WITH APPROVED MATERIALS.

FILL CAVITIES BETWEEN FLOORS AND BETWEEN OTHER FIRE SEPARATED ZONES WITH APPROVED FIRE STOPPING MATERIALS.

ALL UNHOMOGENEOUS WALLS ARE 3 1/2" UNFINISHED (2x4 STUDS) UNLESS OTHERWISE NOTED.

DOUBLE JOISTS UNDER ALL PARALLEL WALLS ABOVE BEARING AND NON-BEARING. JOISTS MAY BE SPREAD TO EACH SIDE OF WALL TO ALLOW PLUMBING TO PASS THROUGH.

2x DOWRIES 3-2x4 SPIKED TOGETHER OR 4x4 POSTS, CONTINUOUS TO FOUNDATION WALL, STEEL BEAM OR WOOD BEAM.

ALL JOIST AND RAFTERS TO BE CANADIAN SPRUCE PINE FIR #1/#2. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY IF SPECIES IS TO BE CHANGED.

DOORS AND TRIM

ALL INTERIOR DOORS ON SECOND FLOOR SHALL BE 7'-0" SOLID PLYWOOD 2 PANEL DOORS.

ALL BASE BOARDS TRIM ON FIRST FLOOR SHALL BE 7 1/4" BASE.

ALL TRIM CASING SHALL BE 4 1/2" CASING.

COUNTER TOPS

ALL COUNTER TOPS SHALL BE GRANITE STONE.

PELLA WINDOWS HAS USED VERIFY WITH BUILDER ON AREA BEFORE CONSTRUCTION.

NOTE: CHECK FIBER CONCRETE OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 880, C 895 OR C 975 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALLS, 3/4" TO 1" THICK, BETWEEN CEILING AND WALL PANELS IN BRICKER AREAS.

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON THE USE SHOWN BOOK FOR LUMBER SPECIFICATIONS. ALL JOISTS FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR NO.1/N.O.2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEI-FR(N).

ALLOWABLE SPANS ARE AS FOLLOWS:

SPRUCE-PINE-FIR NO.1/N.O.2 (HEI-FR(N))	HEI-FR(N)
CEILING JOISTS - 2x8s LL AND 10x8s DL	27'-6"
12" O.C. 12" x 12" 18" x 18"	22'-11"
18" O.C. 12" x 12" 18" x 18"	22'-8"
2nd FLOOR FLOOR JOISTS - 30x8 LL AND 10x8s DL	24'-0"
12" O.C. 12" x 12" 18" x 18"	21'-4"
18" O.C. 12" x 12" 18" x 18"	21'-1"
1st FLOOR FLOOR JOISTS - 10x8s LL AND 10x8s DL	21'-11"
12" O.C. 12" x 12" 18" x 18"	18'-1"
18" O.C. 12" x 12" 18" x 18"	18'-1"

LUMBER BASE VALUES

JOISTS - SPRUCE-PINE-FIR NO.1/N.O.2 OR BETTER. F_b=875psi, F_v=79psi, E=1,400,000psi.

JOISTS, HEADERS AND BEAMS - HEI-FR(N) NO.1/N.O.2 OR BETTER. F_b=1000psi, F_v=79psi, E=1,400,000psi.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS GRADE S-P-F OR BETTER. F_b=875psi, F_c=125psi, E=1,800,000psi.

STUDS GREATER THAN 10'-0" IN HEIGHT - S-P-F NO.1/N.O.2 OR BETTER. F_b=875psi, F_c=110psi, E=1,400,000psi.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO.2 OR BETTER. F_b(PER NDS TABLES), F_c(PER NDS TABLES), E=1,800,000psi.

LAMINATED STRUCTURAL WOOD BEAMS (GLU-LAM BEAMS) F_b=2,400psi, F_v=160psi, E=1,900,000psi.

ALL FRAMING MEMBERS DESIGNATED AS "1A" SHALL BE 1.8E D-P LAM BY GEORGIA PAPER OR BETTER. F_b=2,800psi, F_v=250psi, E=1,800,000psi.

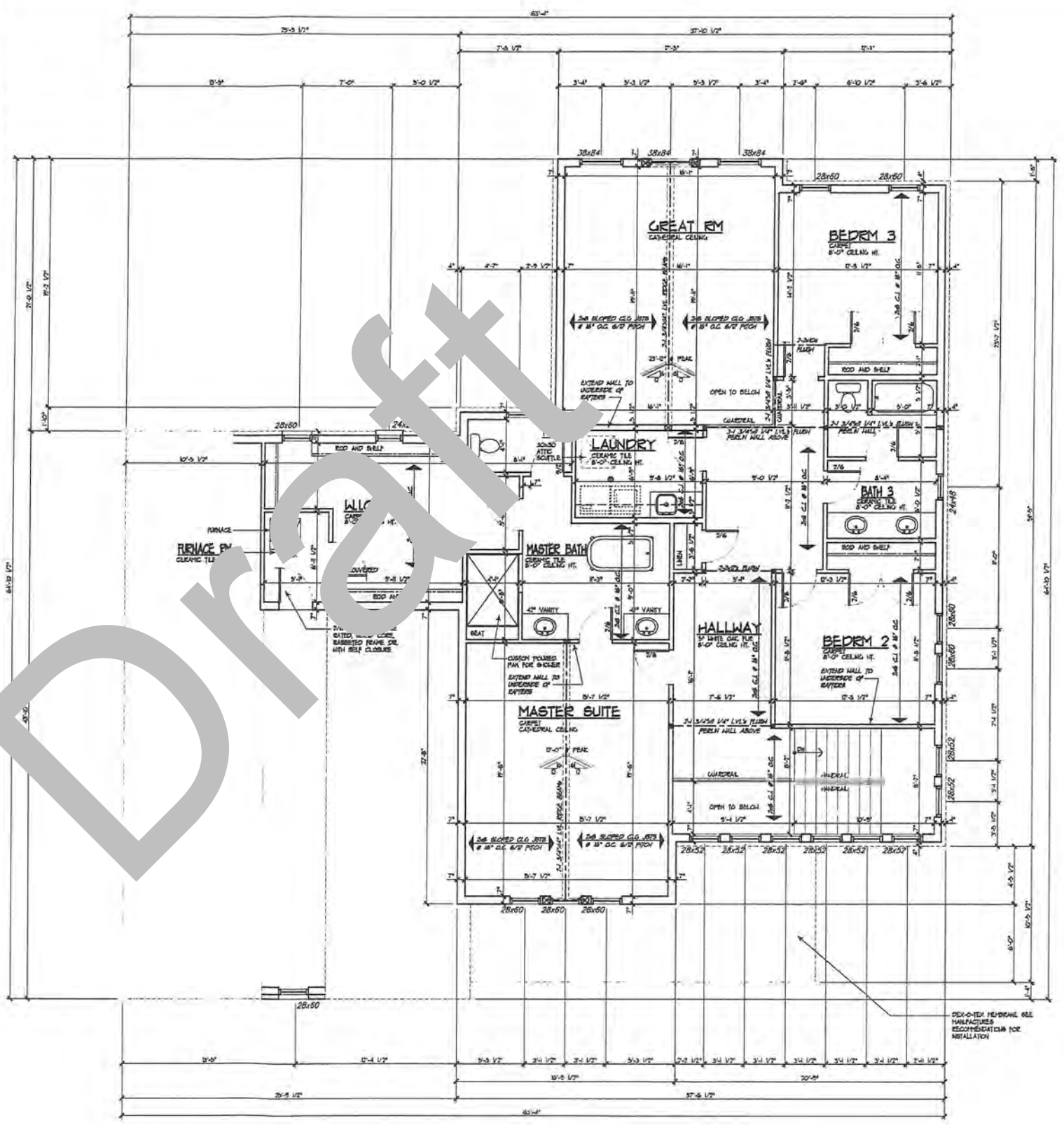
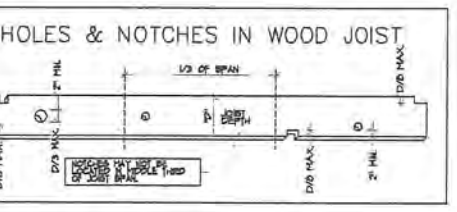
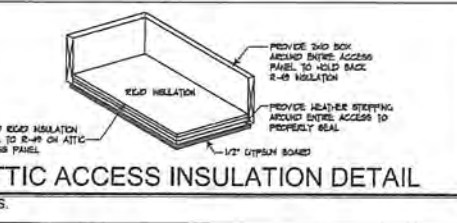
JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAILED TOGETHER WITH A MIN. THREE 100 FACE NAILS.

LIGHT AND VENTILATION SCHEDULE

ROOMS	FLOOR AREA	LIGHT REQ'D	ACTUAL	VENT 4%	ACTUAL	MECH.	ACTUAL
GREAT ROOM	320.0	25.6	36.0	12.8	19.3		
SUNROOM	202.0	16.1	126.0	8.0	19.3		
DINETTE/KITCHEN	461.0	36.8	41.5	18.4	19.3		
OFFICE	204.0	16.3	37.6	8.1	24.0		
MASTER SUITE	304.0	24.3	31.2	12.1	19.8		
BEDROOM 2	143.0	11.4	20.8	5.7	19.8		
BEDROOM 3	143.0	11.4	20.8	5.7	19.8		
MASTER BATH	177.0				265.5	275CFM	
BATH 2	71.0				106.5	110CFM	
BATH 3	102.0				153.0	175CFM	
BASEMENT = 2%	1756.0	35.1	40.0	35.1	40.0		

STEEL LINTELS FOR MASONRY

CLEAR SPAN (MAX)	EXTERIOR ANGLES	INTERIOR ANGLES
4'-0"	1 3/4" x 3 1/2" x 5/16"	2 Ls 3 1/2" x 3 1/2" x 5/16"
6'-0"	1 3/4" x 3 1/2" x 5/16"	2 Ls 4" x 3 1/2" x 5/16"
8'-0"	1 3/4" x 3 1/2" x 5/16"	2 Ls 5" x 3 1/2" x 5/16"



SECOND FLOOR PLAN
8'-0" CEILING HEIGHT
1596.0 SQ.FT.

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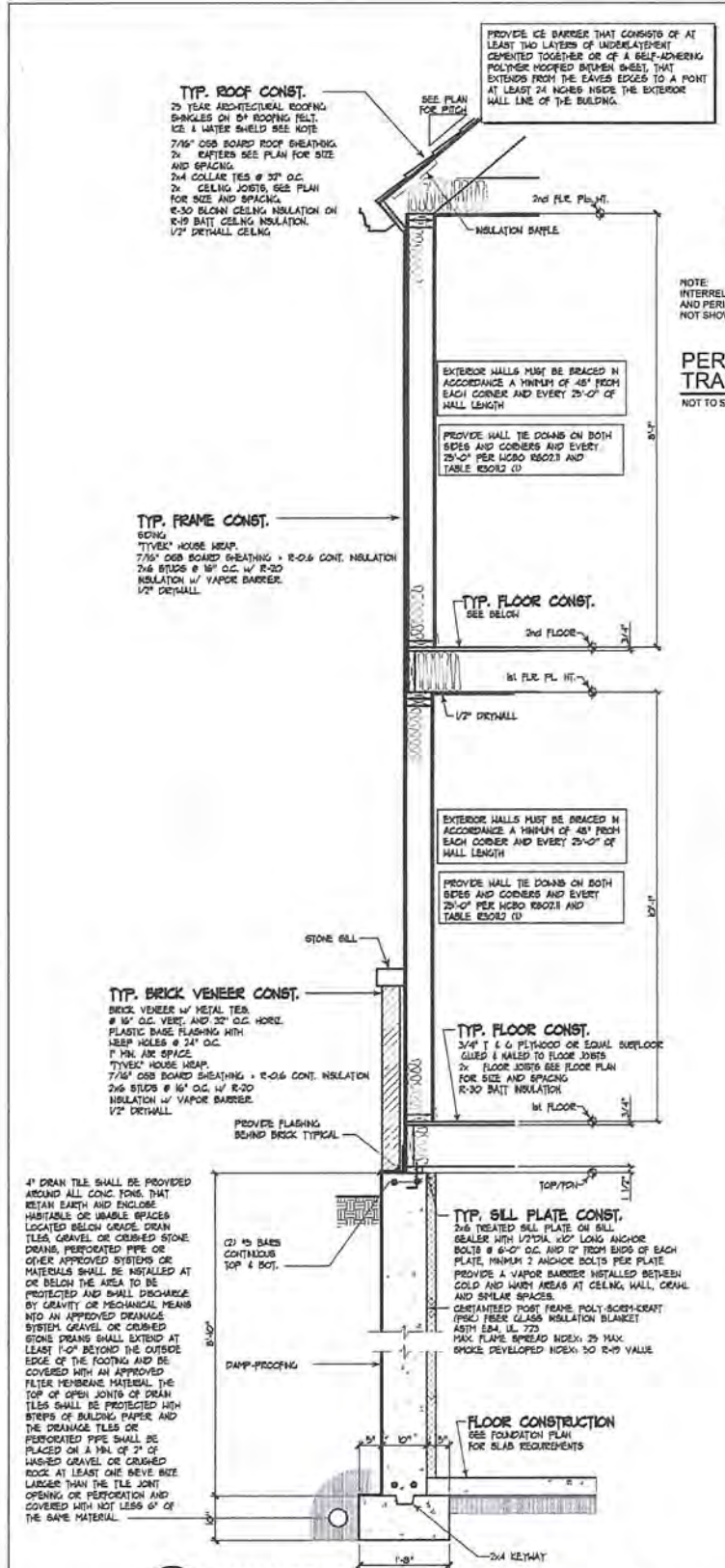
IT IS THE DRAWING SPECIFICATIONS, NOTES, AND EXHIBITS WHICH GOVERN OVER ALL OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.

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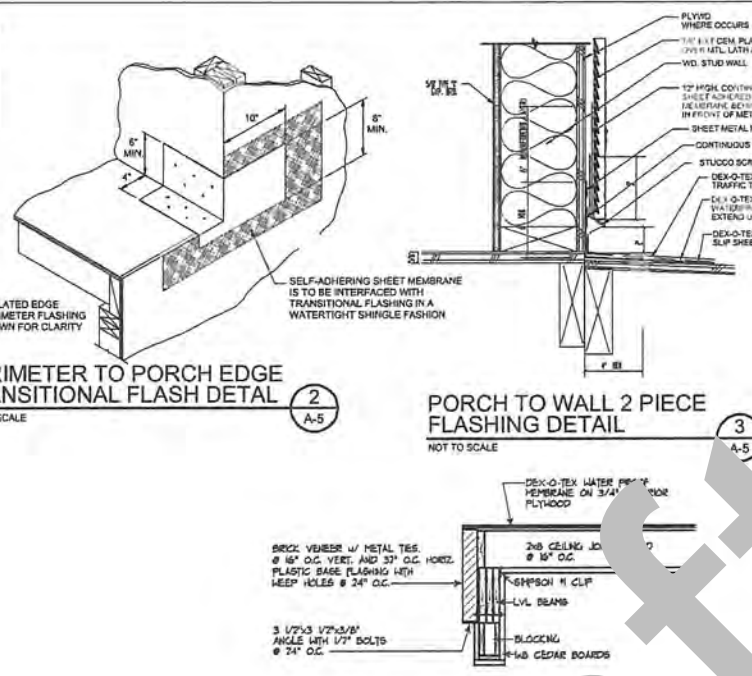
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A-5 WALL SECTION

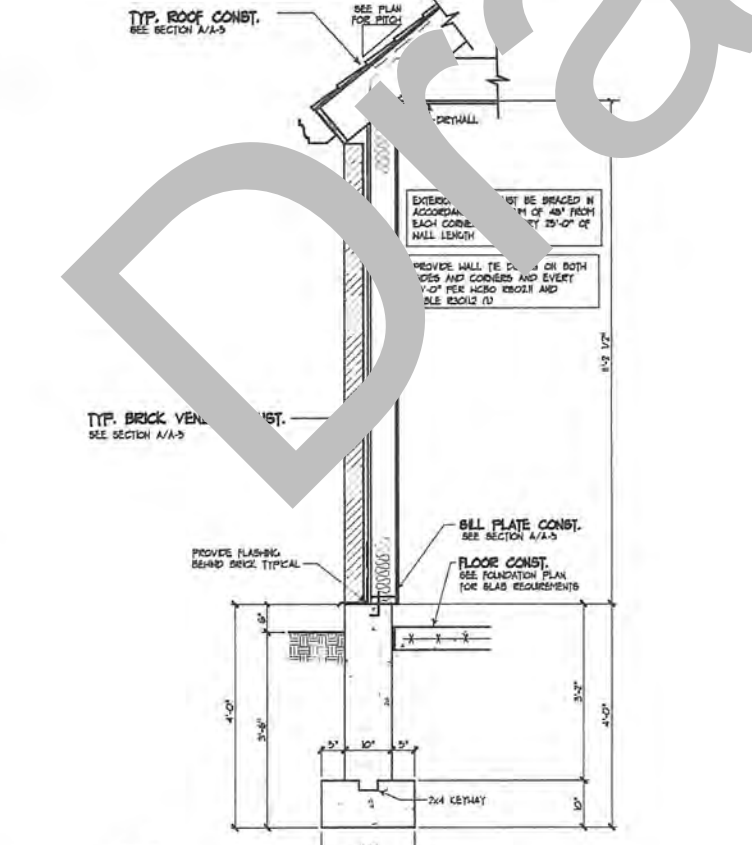
- DAMP-PROOFING FOUNDATION WALLS SHALL BE DAMP PROOFED BY APPLYING AN APPROVED BITUMINOUS MATERIAL FROM FOOTING TO FINISHED GRADE.
- ALL FRAMING SHALL BE 16" ON CENTER UNLESS OTHERWISE NOTED.
- WALL BRACING SHALL BE INSTALLED AT MID SPAN OF WALLS 25'-0" OR GREATER AND AT ALL CORNERS.



PERIMETER TO PORCH EDGE TRANSITIONAL FLASH DETAIL

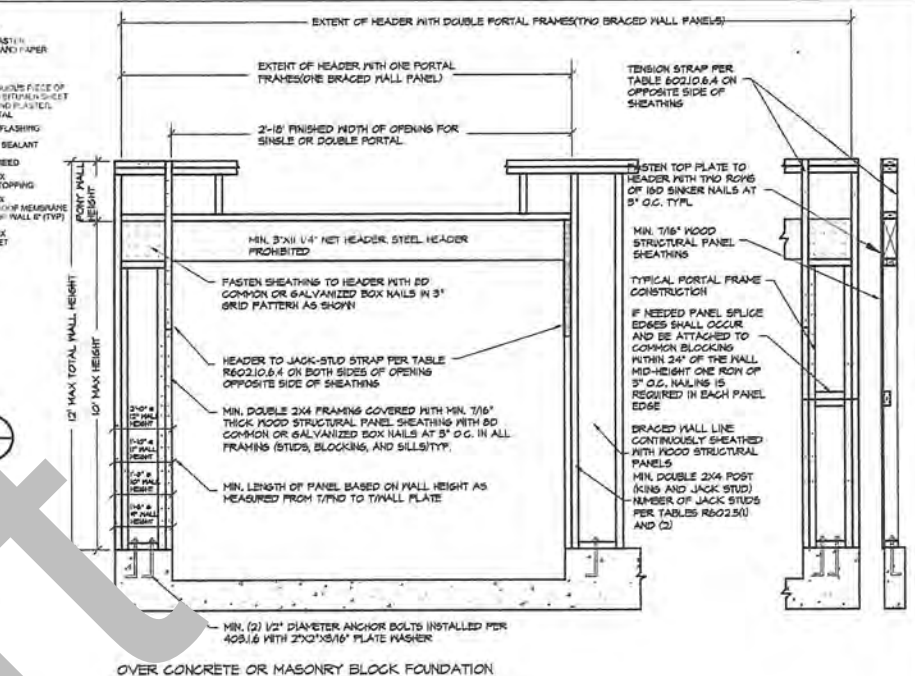
PORCH TO WALL 2 PIECE FLASHING DETAIL

NOT TO SCALE



A-5 WALL SECTION

- DAMP-PROOFING FOUNDATION WALLS SHALL BE DAMP PROOFED BY APPLYING AN APPROVED BITUMINOUS MATERIAL FROM FOOTING TO FINISHED GRADE.
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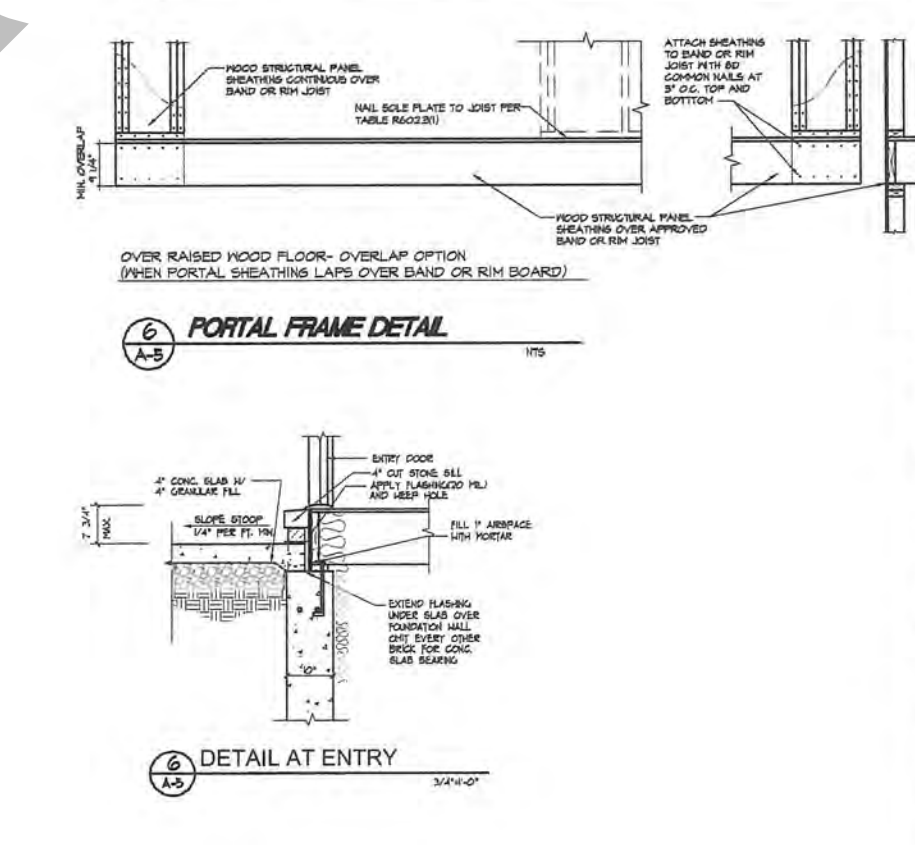


5 PORTAL FRAME DETAIL

6 PORTAL FRAME DETAIL

OVER CONCRETE OR MASONRY BLOCK FOUNDATION

OVER RAISED WOOD FLOOR- OVERLAP OPTION (WHEN PORTAL SHEATHINGS LAP OVER BAND OR RIM BOARD)



6 DETAIL AT ENTRY

DATE	07.05.22
JOB #	2021.045
SHEET	A-5
Bulin Custom Designs, Inc. Making Dreams become Reality 5703 Arbor Gate Drive, Plainfield, Illinois Phone: 815.861.1757 Fax: 815.577.9039 BulinCustom@gmail.com	
Gander Builders Oltman Residence 240 Center Road Frankfort, Illinois	

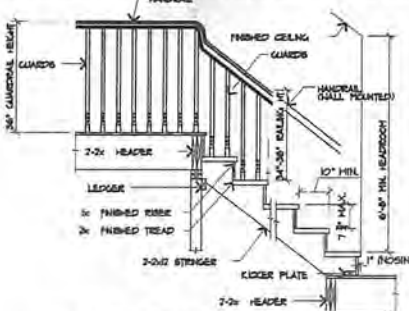
GENERAL SPECIFICATIONS

- 1) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS.
- 2) ALL WORK SHALL CONFORM TO ALL GOVERNING BUILDING CODES.
- 3) CONTRACTOR SHALL FOLLOW ALL MANUFACTURER STANDARDS AND RECOMMENDATIONS.
- 4) CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SQUARE FOOTAGES AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- 5) ANY DISCREPANCY IN PLANS ARE TO BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND THE ARCHITECT PRIOR TO PROCEEDING WITH PROJECT. INSTALLED WORK SHALL BECOME THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 6) ALL PARTITION DIMENSIONS ON PLANS ARE NORMAL DIMENSIONS, INCLUDING PARTITIONS AND WALLS ARE TO BE Laid OUT SO THAT STOCK COMPONENTS WILL FIT EXACTLY WITH INDICATED DIMENSIONS. DIMENSIONS AT CRITICAL AREAS SUCH AS BEARING WALLS, CLOSETS, BATHS, ETC. MUST BE HELD.
- 7) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL RESPECTIVE TRADES WITH THE WORK OF OTHERS. WORK OF EACH TRADE SHALL BE DESIGNED SO AS TO PROVIDE CLEARANCE FOR OTHER TRADES.
- 8) DO NOT SCALE DRAWINGS. CABINET, PLUMBING, HVAC, & ELECTRICAL DRAWINGS ARE SHOWN AS SCHEMATIC LAYOUTS ONLY. EACH CONTRACTOR SHALL LOCATE HIS WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
- 9) THESE DOCUMENTS CONTAIN SCHEMATICS OF SUGGESTED CONSTRUCTION. ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS NOT REVIEWED AND APPROVED BY ARCHITECT AND OWNER IN WRITING.
- 10) ANY CHANGE ORDERS TO BE SUBMITTED TO ARCHITECT AND OWNER IN WRITING PER ALL SPECIFICATIONS FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL. IF A CHANGE OF COST IS REQUIRED GENERAL CONTRACTOR MUST OBTAIN OWNER'S APPROVAL PRIOR TO PROCEEDING WITH WORK.
- 11) THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- 12) THERE ARE NO JOB SITE OBSERVATIONS IN THIS CONTRACT UNLESS SPECIFIED BY ARCHITECT.
- 13) THE ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS.

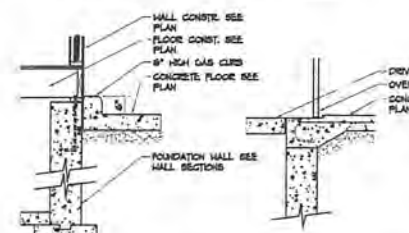
MATERIALS AND WORKMANSHIP

- 1) ALL WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER.
- 2) EACH CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. (INCLUDING MATERIAL AND LABOR NOT SPECIFICALLY LISTED) TO COMPLETE THE CONSTRUCTION OF THE PROJECT AS INDICATED AND SPECIFIED BY THE DRAWINGS, SPECIFICATIONS, AND OWNER'S WRITTEN REQUEST.
- 3) MATERIALS AS SPECIFIED ON THE DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND OWNER.
- 4) EACH SUBCONTRACTOR SHALL VERIFY AND MAKE GOOD AT HIS OWN COST AND EXPENSE OR OTHER FAULTS IN HIS WORKMANSHIP AND/OR MATERIALS.
- 5) EACH CONTRACTOR OR SUBCONTRACTOR SHALL LEAVE THE WORK SITE CLEAN IN A BROOD-SWEPT CONDITION AND READY FOR TRADES TO FOLLOW EACH DAY. EACH CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN COST FOR REMOVAL OF HIS DEBRIS AND DEBRIS FROM SITE. COST OF CLEANUP AND REMOVAL OF DEBRIS OR EXCESS WHICH MUST BE DONE BY THE OWNER DUE TO FAILURES TO DO SO BY CONTRACTOR OR SUBCONTRACTOR SHALL BE BILLED TO EACH RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR ON A PRO-RATA BASIS.
- 6) EACH CONTRACTOR OR SUBCONTRACTOR SHALL REPAIR ALL DAMAGE TO BUILDING AND WORK OF OTHER TRADES ON A DAILY BASIS.
- 7) GENERAL CONTRACTOR SHALL BE FULLY INURED AND PROVIDE OWNER WITH PERFORMANCE AND MATERIAL AND LABOR BONDS.
- 8) EACH CONTRACTOR SHALL GUARANTEE ALL MATERIALS OR REPAIR WITHOUT COST TO THE OWNER, ANY SUCH DEFECTS WITHIN ONE YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER UNLESS OTHERWISE NOTED. HE SHALL ALSO GUARANTEE THAT ALL WORKMANSHIP IS OF HIGH QUALITY AND THAT ALL MATERIALS FURNISHED UNDER THIS CONTRACT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS.

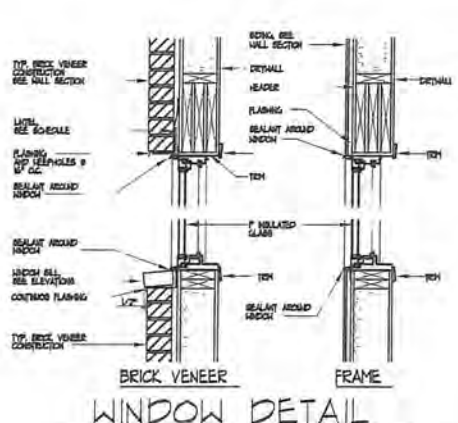
HANDRAILS
 ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH TWO (2) END CAPS. THE LANE OF THE HANDRAILS SHALL NOT BE PERMITTED TO BE INTERRUPTED BY ANY OTHER OBJECTS. THE HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED OVER THE STAIRS. END CAPS SHALL BE FINISHED TO MATCH THE HANDRAILS. THE HANDRAILS SHALL BE FINISHED TO MATCH THE HANDRAILS. THE HANDRAILS SHALL BE FINISHED TO MATCH THE HANDRAILS. THE HANDRAILS SHALL BE FINISHED TO MATCH THE HANDRAILS.



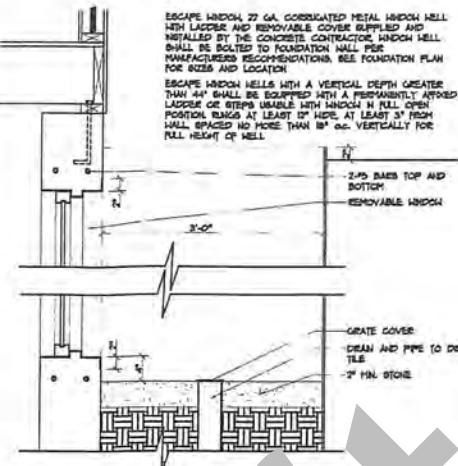
STAIR DETAIL



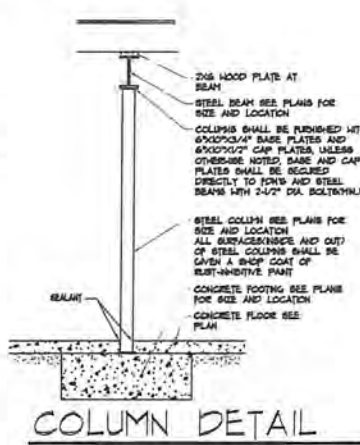
GAS CURB DUST SILL



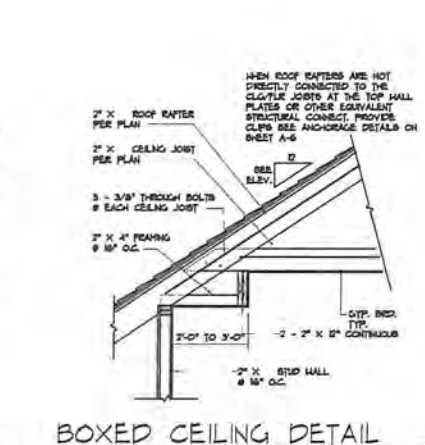
WINDOW DETAIL



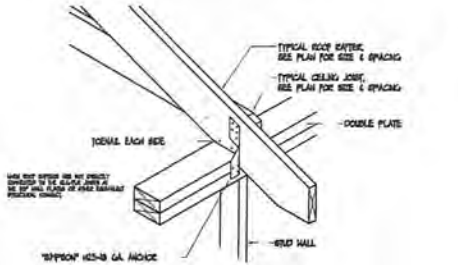
WINDOW WELL



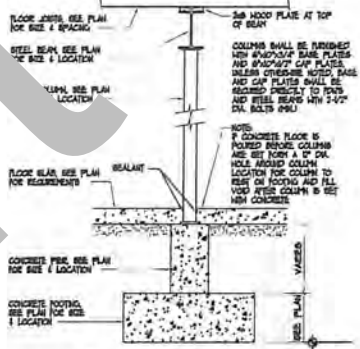
COLUMN DETAIL



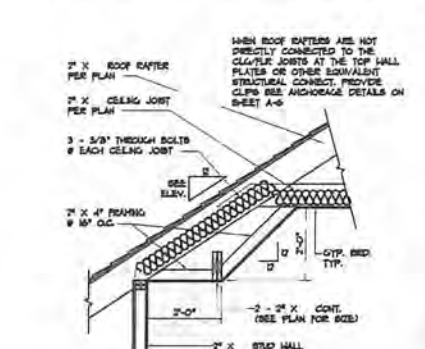
BOXED CEILING DETAIL



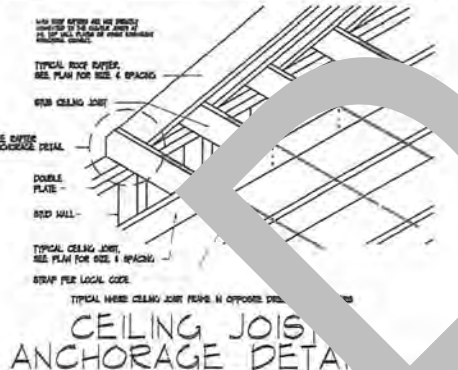
RAFTER ANCHORAGE DETAIL



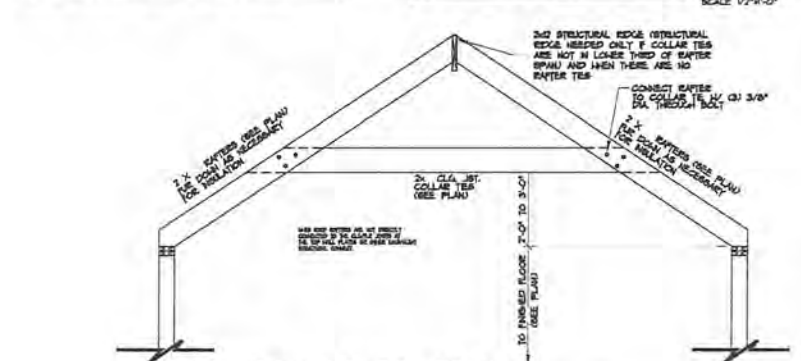
GARAGE COLUMN DETAIL



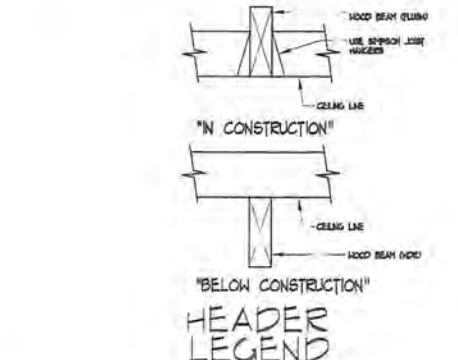
TRAY CEILING DETAIL



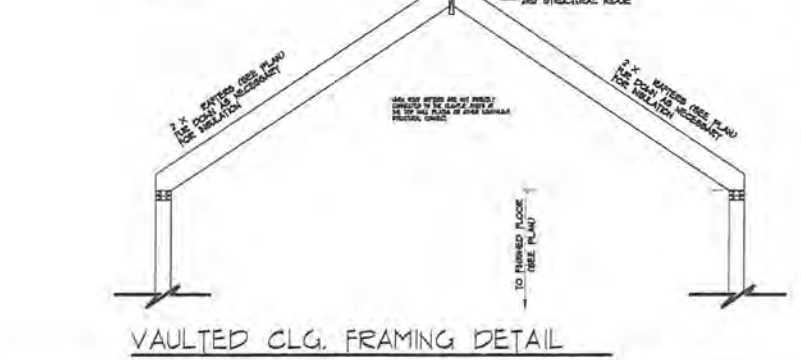
CEILING JOIST ANCHORAGE DETAIL



RAFTER COLLAR TIE DETAIL



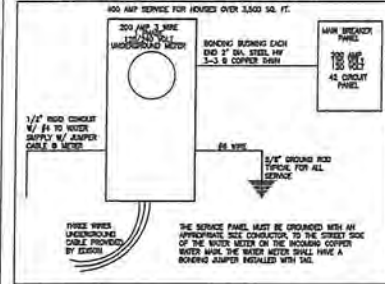
HEADER LEGEND



VAULTED CLG. FRAMING DETAIL

DATE	07.05.22
JOB #	2021.045
SHEET	A-6
Bulin Custom Designs, Inc. Making Dreams become Reality 5703 Arbor Gate Drive, Plainfield, Illinois Phone: 815.861.1757 Fax: 815.577.9039 BulinCustom@gmail.com	
Gander Builders Oltman Residence 240 Center Road Frankfort, Illinois	

ELECTRICAL SERVICE MUST ENTER BUILDING ON THE REAR ELEVATION. REINFORCING OF ELECTRICAL SERVICE UNDERGROUND SHALL BE ALONG THE LOT LINES.



ALL CLOSETS SHALL BE:
 A. RECESSED LIGHTS WITH 6" CLEARANCE BETWEEN FUTURE AND NEAREST POINT OF STORAGE SPACE.
 B. FLUORESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FUTURE AND NEAREST POINT OF STORAGE SPACE.
 C. INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FUTURE AND NEAREST POINT OF STORAGE SPACE.

SEAL ALL DUCT JOINTS AND SEAMS IN ACCORDANCE WITH SECTION 01101.1.1.

NO LIVE SERVICE ENTRANCE CONDUCTOR SHALL EXTEND OVER THE FEET WITHIN THE BUILDING WITHOUT MAIN DISCONNECT BY MEANS.

- ELECTRICAL SYMBOLS:**
- ⊕ SINGLE POLE TOGGLE SWITCH
 - ⊕ THREE POLE TOGGLE SWITCH
 - ⊕ DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED.
 - ⊕ DUPLEX RECEPTACLE AT 12" A.F.F. UNLESS OTHERWISE NOTED, ONE SIDE SWITCHED.
 - CONDUIT RUN CONCEALED ABOVE CEILING
 - ⊕ RECESSED LIGHT FIXTURE
 - ⊕ 4" DIA. EYE-BALL RECESSED LIGHT FIXTURE
 - ⊕ CEILING LIGHT FIXTURE
 - ⊕ WALL MOUNTED LIGHT FIXTURE
 - ⊕ WALL MOUNTED LIGHT SOURCE FIXTURE
 - ⊕ FLUORESCENT LIGHT FIXTURE ON P/C OR SWITCH
 - ⊕ CEILING EXHAUST FAN PER OWNER/CONTRACTOR. VENT DIRECTLY TO OUTSIDE.
 - ⊕ PROVIDE A MIN. OF R5 VALUE INSULATED DUCT WORK FOR EXHAUST FANS IN UNHEATED ATTIC SPACE.
- MOTOR:**
- ⊕ MOTOR
 - ⊕ SMOKE DETECTOR, ALL SMOKE DETECTORS TO BE WIRED IN SERIES WITH BATTERY BACKUP
 - ⊕ SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
 - ⊕ CEILING FAN JUNCTION BOX CAPPED
 - ⊕ DOOR CHIME
 - ⊕ THERMOSTAT
 - ⊕ PHONE
 - ⊕ TELEVISION
- ELECTRICAL CONTRACTOR NOTE:**
1. VERIFY WITH OWNER WHICH SWITCHES ARE TO BE ON DIMMERS.
 2. CABLE AND TELEPHONE JACKS TO BE LOCATED BY OWNER ON SITE.
 3. PROVIDE ARC-FAULT PROTECTION IN ALL BEDROOMS PER 1999 I.E.C.
 4. ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING CEILING FANS.
 5. ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE BATHROOM TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN A NO. 8 SOLD.

ADDITIONAL MECHANICAL NOTES

1. THE DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT BY MEANS OF TAPE OR OTHER APPROVED METHOD AND SHALL BE SUPPORTED A MAXIMUM OF TEN FOOT INTERVALS.
2. ALL EQUIPMENT AND APPLIANCES INCLUDING THE AIR CONDITIONER, WATER HEATER AND FURNACE SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE PROVIDED ON SITE AT THE TIME OF INSPECTION.
3. PROVIDE COMBUSTION AIR FOR ALL FUEL GAS APPLIANCES IN COMPLIANCE WITH SECTION 0400. THE INSTALLATION OF A FULL-COVERED DOOR OR TWO AIR TRANSFER OPENINGS 100 SQ. IN. OF FREE AREA EACH AND LOCATED NEAR BY OF THE FLOOR AND CEILING ARE CODE COMPLIANT.
4. ALL BATHROOM EXHAUST FANS SHALL VENT DIRECTLY TO THE EXTERIOR.

MECHANICAL REQUIREMENTS:

WHOLE HOUSE MECHANICAL VENTILATION:
 100 CFM IS REQUIRED.
 AN AIR CYCLER SHALL BE INSTALLED TO SATISFY THE WHOLE MECHANICAL VENTILATION UNLESS THE METHOD.
 OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS ON THE EXTERIOR THAT CLOSE WHEN THE SYSTEM IS NOT OPERATING.

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G./50 PASCALS. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANYTIME AFTER ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE HAVE BEEN SEALED.

DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EXCEPTION OF DUCTS LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE. A HOUGH-IN TEST SHALL BE PERFORMED WITH THE TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE AT THE TIME OF THE TEST. ALL REGISTER SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

VENTING MATERIALS AND THE METHODS OF INSTALLATION OF VENTING SYSTEMS ARE DEPENDENT ON THE OPERATING CHARACTERISTICS OF THE APPLIANCE BEING VENTED. A VENTING SYSTEM SHALL SATISFY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, LISTED CATEGORY 1 APPLIANCES SHALL BE TYPE B GAS VENT.

IF EXHAUST IS GREATER THAN 400 CFM, ADDITIONAL DOCUMENTATION FOR MECHANICALLY OR NATURALLY PROVIDED MAKE-UP AIR SHALL BE PROVIDED BEFORE FINAL INSPECTION.

HYDRO MASSAGE BATH/TUBS EQUIPMENT SHALL BE ACCESSIBLE WITHOUT DAMAGING THE BUILDING STRUCTURE OR BUILDING FINISH THERE. APPROPRIATE ELECTRICAL COMPONENTS SHALL BE ON AN INDIVIDUAL BRANCH CIRCUIT AND PROTECTED BY A READY ACCESSIBLE GROUND-FAULT CIRCUIT INTERRUPTER.

- NOTES**
1. ALL ELECTRICAL MUST BE IN CONCORD.
 2. ELECTRICAL OUTLETS IN BASEMENT TO BE 6" PROTECTED.
 3. SMOKE DETECTORS SHALL BE WIREWORKED AND INTERCONNECTED FOR SHALTBUS AGNATION PROVIDE ONE OR DETECTOR PER FLOOR AND WITH A MINIMUM OF 10 FROM ANY SMOKEHORN. PROVIDE A SMOKE DETECTOR IN EACH SLEEPING ROOM.
 4. INITIAL G.O. DETECTION AS REQUIRED BY LOCAL CODES.
 5. ALL CEILING LAUNDRY, BEDROOM, PANTRY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DINING ROOM, BREAKFAST ROOM, CLOSET, HALLWAY OR SIMILAR AREA RECEPTACLE AND LIGHTING CIRCUITS SHALL BE ARC-FAULT PROTECTED.
 6. ELECTRICAL PANELS TO HAVE MINIMUM 4'-0" CLEARANCE IN FRONT AND 3'-0" CLEARANCE ON SIDES FROM ANY OBSTACLES THERE.
 7. ALL EXHAUST FANS SHALL VENT DIRECTLY TO THE EXTERIOR.
 8. ALL OUTLETS ABOVE EGRESS TO BE 6" PROTECTED.
 9. PROVIDE LIGHT AT ALL ACCESS PANELS TO ATTIC SPACES.
 10. HALLWAY AIR IN CLEARANCE FROM RECESSED LIGHT FROM CORNERFIELD ILLUMINATION.
 11. FLOOR RECEPTACLES MUST BE A.F.F.
 12. PROVIDE A SINGLE RECEPTACLE FOR THE BATHROOM AND BATH POINT.
 13. ALL BATHROOM EXHAUSTS SHALL BE A MIN. 8" FROM ANY TUB OR SHOWER UNLESS LOCATED OUTSIDE OF THE ROOM.
 14. INITIAL CONDUIT CHASE FOR INSTALLATION OF RECYCLE WATER FOR WATER SERVICE.
 15. PROVIDE ELECTRICAL JUMPER FOR CABLE AROUND WATER METER AND BETWEEN HOT AND COLD WATER PIPES SERVING WATER HEATER.
 16. ALL CLOSET LIGHTS SHALL BE:
 17. ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH AC POWER.
 18. ALL CEILING ELECTRIC BOXES MUST BE FAN RATED.
 19. ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE BATHROOM TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN A NO. 8 SOLD PER A CONTRACTOR MEANS AT THE FINISH.
 20. TAMPER RESISTANT RECEPTACLES ARE REQUIRED.
 21. ALL RECEPTACLES LOCATED IN THE UNHEATED BASEMENT SHALL BE 6" PROTECTED.
 22. PROVIDE A DISCONNECT MAIN AT THE PANTRY.
 23. SMOKE DETECTORS SHALL NOT BE LOCATED WITHIN 8' OF SUPPLY AIR VENTS OR CEILING FAN BLADES.
 24. SMOKE DETECTOR SHALL HAVE A COPPER BONDING JUMPER (SEE IS NOT POINTED).
 25. ELECTRIC SERVICE DISCONNECT SHALL EITHER BE LOCATED WITHIN 5 FEET OF WHERE THE CONDUIT ENTERS THE BUILDING OR THERE SHALL BE AN EXTERIOR DISCONNECT.
 26. ALL BEDROOM, PANTRY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DINING ROOM, BREAKFAST ROOM, CLOSET, HALLWAY OR SIMILAR AREA RECEPTACLE AND LIGHTING CIRCUITS SHALL BE ARC-FAULT PROTECTED.

SPACING OF ELECTRICAL OUTLETS

A. RECEPTACLE SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 6 FEET FROM AN OUTLET THAT SPACE INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY POWER PANELS IN RECEPTION WALLS, BUT EXCLUDING 6 INCH PANELS IN OUTSIDE WALLS.

B. KITCHEN COUNTER TOPS, RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR FEWER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET IN THAT SPACE ISLAND AND PENINSULA COUNTER TOPS OF ONE FEET SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES.

NEC ELECTRICAL NOTES

FOYERS, NOT PART OF A HALLWAY AND GREATER THAN 80 FT² SHALL HAVE WALL RECEPTACLES IN EACH WALL SPACE THREE (3) FEET OR MORE IN WIDTH AND UNBROKEN ALONG THE WALL LINES.

ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. EXCEPTION RECEPTACLES LOCATED BEHIND A NOT EASILY MOVED APPLIANCE WILL NOT REQUIRE A TAMPER-RESISTANT RECEPTACLE.

ALL 125-VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY RM, DINING RM, KITCHENS, LIVING RM, PARLORS, LIVING ROOMS, BEDS, BEDROOMS, SUNROOMS, REC. RM, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER "COMBINATION TYPE" INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

REINFORCING IN THE FOOTING/FOUNDATION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS FOR A CONCRETE ENCASED ROD.

AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN THOSE FOR SPECIFIC EQUIPMENT, SHALL BE INSTALLED IN EACH BASEMENT, GARAGE REQUIRE ONE OUTLET.

1. AIR CHAMBERS FOR FIXTURES SHALL BE A MINIMUM OF 12" LONG AND AT LEAST SAME SIZE AS FIXTURE SUPPLY PIPE, OR AN AIR CHAMBER OF EQUIVALENT VOLUME MAY BE USED.
2. STACK TEST IS REQUIRED FOR ALL DRAIN, WASTE, AND VENT PIPING.
3. PATENTING SHALL BE AIR TESTED TO 100 PSI.
4. WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
5. ANY FUTURE WATER PIPING SHALL BE CAPPED WITHIN TWO FEET OF THE MAIN.
6. ALL NEW PLUMBING FIXTURES MUST BEAR THE WATER SERVICE LABEL. DO NOT REMOVE THE WATER SERVICE LABEL PRIOR TO PASSING THE FINAL INSPECTION AND HAVE FIXTURES OF SHEETS ON SITE FOR FINAL INSPECTION.
7. THE FOUNDATION MUST BE BACKFILLED PRIOR TO THE UNDERGROUND PLUMBING INSPECTION.
8. 25 PSI AIR TEST REQUIRED ON ALL GAS PIPING AT THE TIME OF THE ROOM INSPECTION.
9. ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND ILLINOIS COUNTY ORDINANCES.

NEC 210.52(B)
 IN THE KITCHEN, PANTRY, BREAKFAST RM, DINING RM OR SIMILAR AREA OF A DWELLING UNIT, TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS REQUIRED SHALL SERVE ALL WALL AND FLOOR OUTLETS AND ALL COUNTERTOP OUTLETS AS WELL AS OUTLETS FOR REFRIGERATION EQUIPMENT.

ISLAND OUTLETS SHALL NOT BE LOCATED IN THE KITCHEN SPACE UNDER A COUNTER TOP. THE MAX. COUNTER TOP PROJECTION AT AN OUTLET IS 6 INCHES THE OUTLET SHALL BE LOCATED NO MORE THAN 12 INCHES BELOW THE COUNTER TOP.

ALL 20 AMP CIRCUITS ARE #12 COPPER WIRE IN 7/8" WALL CONDUITS.

REINFORCING IN THE FOOTING/FOUNDATION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS FOR A CONCRETE ENCASED ROD.

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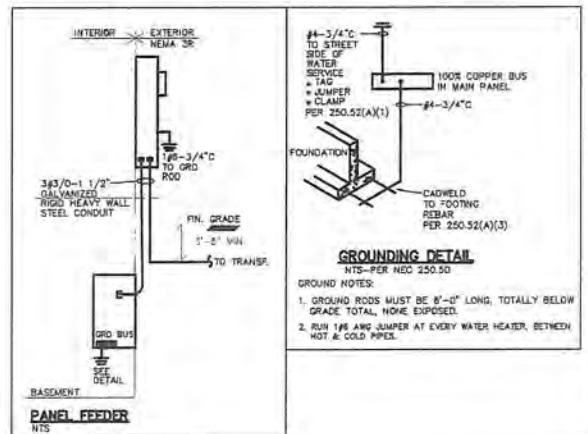
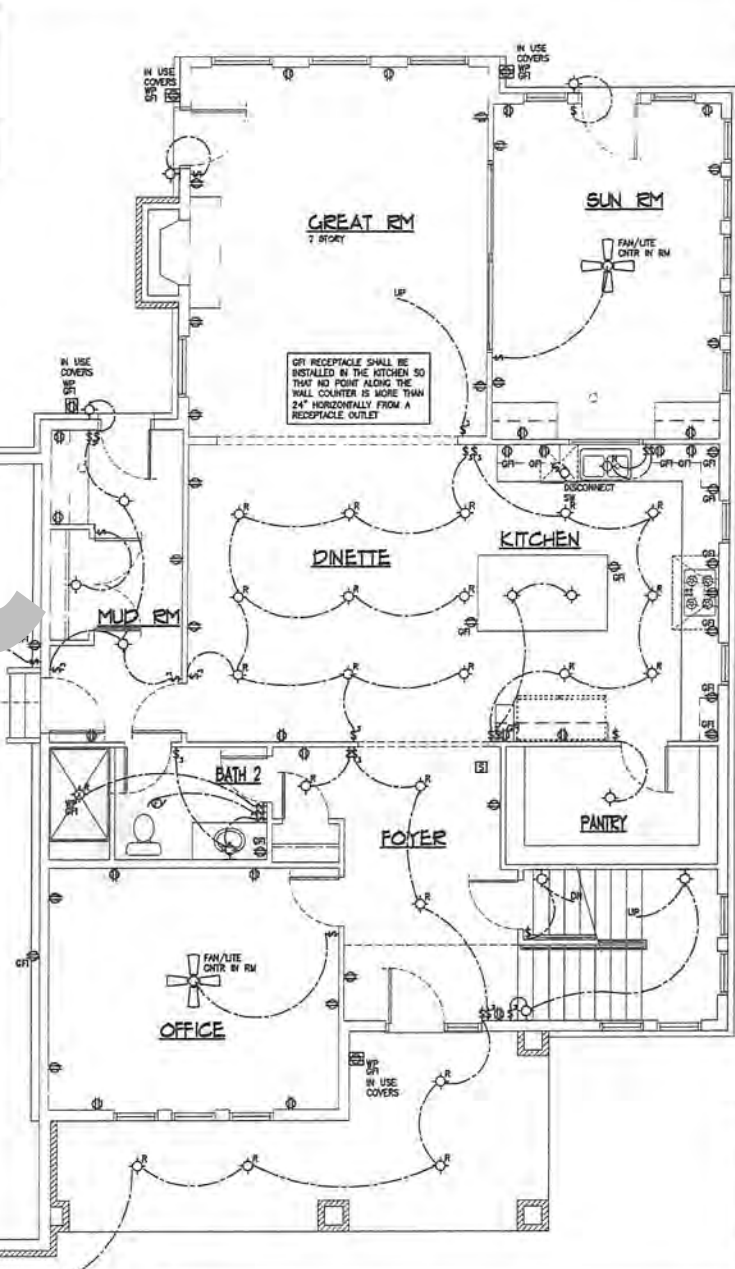
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AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN THOSE FOR SPECIFIC EQUIPMENT, SHALL BE INSTALLED IN EACH BASEMENT, GARAGE REQUIRE ONE OUTLET.

REINFORCING IN THE FOOTING/FOUNDATION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS FOR A CONCRETE ENCASED ROD.

AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN THOSE FOR SPECIFIC EQUIPMENT, SHALL BE INSTALLED IN EACH BASEMENT, GARAGE REQUIRE ONE OUTLET.

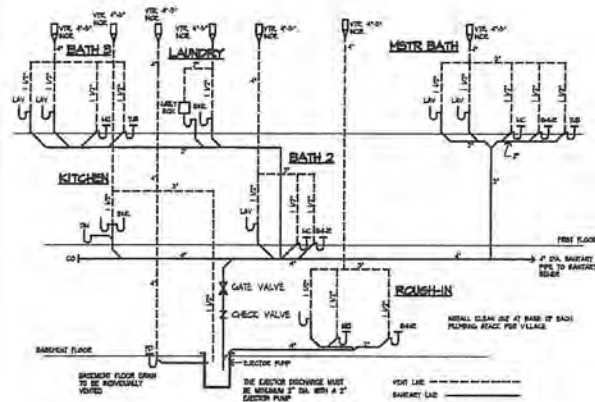


FIRST FLOOR ELECTRICAL PLAN 1/8"=1'-0"

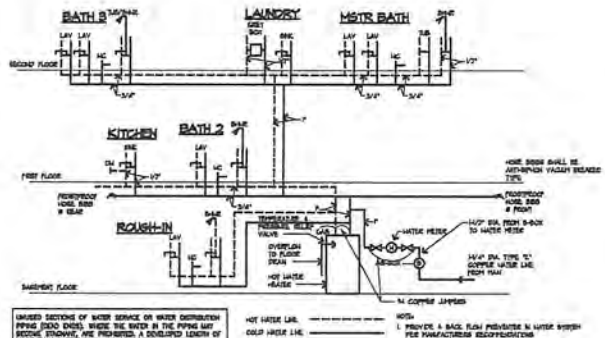
DATE: 07.05.22
 JOB #: 2021.045
 SHEET: E-1

Bulin Custom Designs, Inc.
 Making Dreams become Reality
 5703 Arbor Gate Drive, Plainfield, Illinois
 Phone: 815.861.1757 Fax: 815.577.9039
 BulinCustom@gmail.com

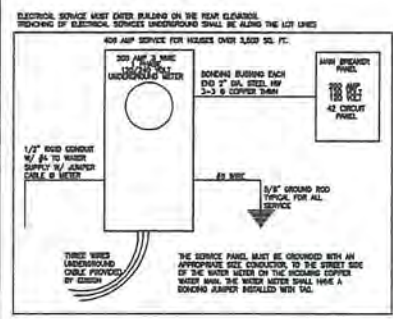
Gander Builders
 Oltman Residence
 240 Center Road
 Frankfort, Illinois



WASTE & VENT DIAGRAM NO SCALE



WATER SUPPLY DIAGRAM NO SCALE



ALL CLOSETS SHALL BE:
 A. RECESSED LIGHTS WITH 8" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 B. FLUORESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 C. INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.

SEAL ALL DUCT JOINTS AND SEAMS IN ACCORDANCE WITH SECTION M1601.3.1.

NO LIVE SERVICE ENTRANCE CONDUCTOR SHALL EXTEND OVER THE FEET WITHIN THE BUILDING WITHOUT UNDERGROUNDING AT METEER.

MECHANICAL REQUIREMENTS:
 WHOLE HOUSE MECHANICAL VENTILATION 105 CFM IS REQUIRED.
 AN AIR CIRCULATOR SHALL BE INSTALLED TO SATISFY THE WHOLE MECHANICAL VENTILATION UTILIZING THE METHOD OF OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS ON THE EXTERIOR THAT CLOSE WHEN THE SYSTEM IS NOT OPERATING.

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS) A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANYTIME AFTER ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE HAVE BEEN SEALED.

DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EXCEPT OF DUCTS LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.

DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE. A ROUGH-IN TEST SHALL BE PERFORMED WITH THE TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURERS AIR HANDLER ENCLOSURE AT THE TIME OF THE TEST. ALL RECEPTS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

VENTING MATERIALS AND THE METHODS OF INSTALLATION OF VENTING SYSTEMS ARE DEPENDENT ON THE OPERATING CHARACTERISTICS OF THE APPLIANCE BEING VENTED. A VENTING SYSTEM SHALL SATISFY THE DRAFT REQUIREMENTS OF THE APPLIANCE IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. LISTED CATEGORY 1 APPLIANCES SHALL BE TYPE B GAS VENT.

IF EXHAUST IS GREATER THAN 400 CFM, ADDITIONAL DOCUMENTATION FOR MECHANICALLY OR NATURALLY PROVIDED MAKE-UP AIR SHALL BE PROVIDED BEFORE FINAL INSPECTION.

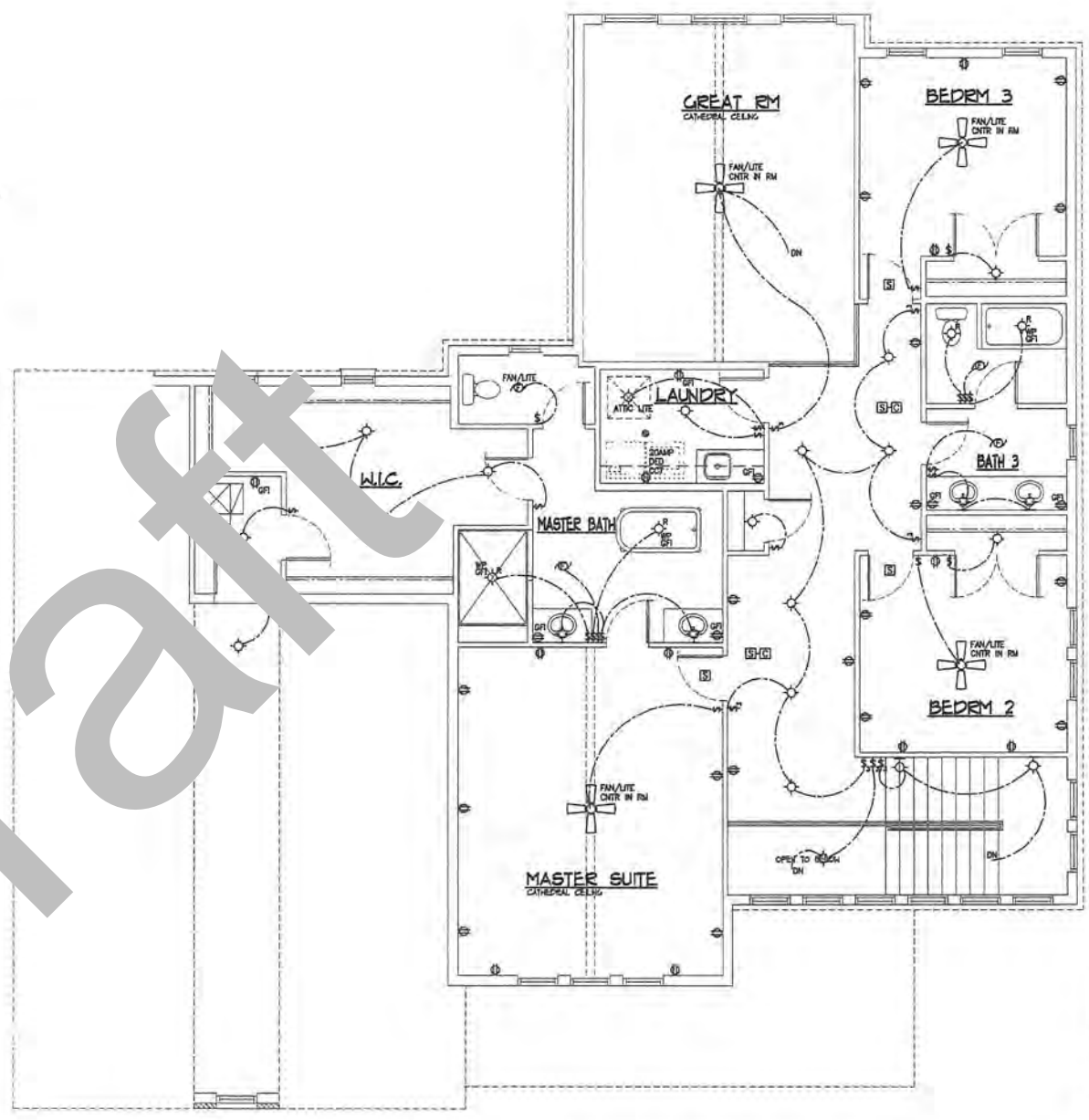
WIND MASSAGE BATHS EQUIPMENT SHALL BE ACCESSIBLE WITHOUT DAMAGING THE BUILDING STRUCTURE OR BUILDING FINISH THEIR ASSOCIATE ELECTRICAL COMPONENTS SHALL BE ON AN INDIVIDUAL BRANCH CIRCUIT AND PROTECTED BY A READILY ACCESSIBLE GROUND-FULT CIRCUIT INTERRUPTER.

NOTES
 1. ALL ELECTRICAL WIRING SHALL BE IN CONCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
 2. ELECTRICAL OUTLETS IN BATHROOMS TO BE 100% PROTECTED BY GFCI.
 3. SHOCK DETECTORS SHALL BE INSTALLED AND INTERCONNECTED FOR SMALL APPLIANCE PROTECTION (SAP) FOR EACH ROOM AND WITH A MINIMUM OF 2 FROM ANY BEDROOM. PROVIDE A SHOCK DETECTOR IN EACH ROOM.
 4. INSTALL GFCI DETECTOR AS REQUIRED BY LOCAL CODES.
 5. ALL KITCHEN, LAUNDRY, BEDROOM, FAMILY ROOM, DINING ROOM, LIVING ROOM, HALLWAY, LIBRARY, OFFICE, RECREATION ROOM, CLOSET, HALLWAY OR BREAK AREA RECEPTACLES AND LIGHTING CIRCUITS SHALL BE GFCI PROTECTED.
 6. ELECTRICAL PANEL TO HAVE MINIMUM 4" OF CLEARANCE FROM ALL UNFINISHED SURFACES.
 7. ALL SERVICE PANELS SHALL BE PROTECTED BY 100% GFCI.
 8. ALL OUTLETS SERVING KITCHENS TO BE GFCI PROTECTED.
 9. PROVIDE LIGHT AT ALL ACCESS PANELS TO ELECTRICAL PANELS.
 10. WIREMANS SHALL BE PROVIDED WITH CLEARANCE TO ALL ROOMS FROM WHICH CONDUITS ARE TO BE RUN.
 11. ALL BATHROOM BATHERS SHALL BE GFCI PROTECTED.
 12. ALL BATHROOM BATHERS SHALL BE GFCI PROTECTED.
 13. REFRIGERATOR CONDENSER PIPING SHALL BE INSTALLED TO REMOVE CONDENSATE TO THE EXTERIOR OR TO A DRAIN PAN WITH PUMP.
 14. REFRIGERATOR CONDENSER PIPING SHALL BE INSTALLED TO REMOVE CONDENSATE TO THE EXTERIOR OR TO A DRAIN PAN WITH PUMP.
 15. ALL CLOSET LIGHTS TO BE RECESSED.
 16. FLUORESCENT LIGHTS TO BE RECESSED.
 17. INCANDESCENT LIGHTS TO BE RECESSED.
 18. INCANDESCENT LIGHTS TO BE RECESSED.
 19. INCANDESCENT LIGHTS TO BE RECESSED.
 20. ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE WHIRLPOOL, TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING Jumper NO SMALLER THAN A NO. 8 SOLED.

SPACING OF ELECTRICAL OUTLETS
 A. GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE FROM THE WALL SPACE OCCUPIED BY POWER PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS.
 B. BETWEEN COUNTER TOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR MORE. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTER TOPS 12" OR MORE SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES.

NEC ELECTRICAL NOTES
 1. OUTLETS, NOT PART OF A HALLWAY AND GREATER THAN 80 FT² SHALL HAVE WALL RECEPTACLES IN EACH WALL SPACE THREE (3) FEET OR MORE IN WIDTH AND UNBROKEN ALONG THE WALL LINE.
 2. ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. EXCEPTION: RECEPTACLES LOCATED BEHIND A NOT EASY MOVED APPLIANCE WILL NOT REQUIRE A TAMPER-RESISTANT RECEPTACLE.
 3. ALL 125-VOLT, SINGLE PHASE, 15 & 20 AMP CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY RM, DINING RM, KITCHENS, LIVING RM, PARLORS, LIBRARIES, OFFICES, RECREATION, REC. RM, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

REINFORCING IN THE FOOTING/FOUNDATION SHALL COMPLY WITH THE REQUIREMENTS FOR A CONCRETE REINFORCED ELECTRODE.
 AT LEAST ONE RECEPTACLE OUTLET, IN ADDITION TO THOSE FOR SPECIFIC EQUIPMENT, SHALL BE INSTALLED IN EACH BATHROOM. CHANGE RESERVE ONE OUTLET PER BATH-TYP.



SECOND FLOOR ELECTRICAL PLAN 1/4"=1'-0"

ADDITIONAL MECHANICAL NOTES
 1. THE DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT BY MEANS OF TAPE OR OTHER APPROVED METHODS AND SHALL BE SUPPORTED A MAXIMUM OF 16" FOOT INTERVALS.
 2. ALL EQUIPMENT AND APPLIANCES, INCLUDING THE AIR CONDITIONER, WATER HEATER AND RANGE, SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS. A COPY OF THE MANUFACTURERS INSTALLATION INSTRUCTIONS MUST BE PROVIDED ON SITE AT THE TIME OF INSPECTION.
 3. PROVIDE CORROSION RESISTANT ALL GAS APPLIANCES IN COMPLIANCE WITH SECTION G4007. THE INSTALLATION OF A FULL-COVERED DOOR OR TWO ARE TOWERBE GALLERYPAN 100 SQ. FT. OF FREE AREA EACH AND LOCATED WITHIN 6" OF THE FLOOR AND CEILING ARE CODE COMPLIANT.
 4. ALL BATHROOM EXHAUST FANS SHALL VENT DIRECTLY TO THE EXTERIOR.

1. AIR CHAMBERS FOR FIXTURES SHALL BE A MINIMUM OF 12" LONG AND AT LEAST SAME SIZE AS FIXTURE SUPPLY PIPE, OR AN AIR CHAMBER OF EQUIVALENT VOLUME MAY BE USED.
 2. STACK TEST IS REQUIRED FOR ALL DRAIN, WASTE, AND VENT PIPING.
 3. WATERTRAP SHALL BE AIR TESTED TO 100 PSI.
 4. WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
 5. ANY FUTURE WATER PIPING SHALL BE CAPPED WITHIN TWO FEET OF THE MAIN.
 6. ALL NEW PLUMBING FIXTURES MUST BEAR THE WATER SENSE LABEL. DO NOT REMOVE THE WATER SENSE LABEL PRIOR TO PASSING THE FINAL INSPECTION AND HAVE FIXTURE GUT SHEETS DIRECTED FOR FINAL INSPECTION.
 7. THE FOOTING MUST BE BACKFILLED PRIOR TO THE UNDERGROUND PLUMBING INSPECTION.
 8. 25 PSI AIR TEST REQUIRED ON ALL GAS PIPING AT THE TIME OF THE ROUGH INSPECTION.
 9. ALL NEW PLUMBING MUST MEET ALL GAS PIPING CODE AND ALL COUNTY ORDINANCES.

NEC 210.52(B)
 IN THE KITCHEN, PANTRY, BREAKFAST RM, DINING RM OR SIMILAR AREA OF A DWELLING UNIT, THE TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS REQUIRED SHALL SERVE ALL WALL AND FLOOR OUTLETS AND ALL COUNTERTOP OUTLETS AS WELL AS OUTLETS FOR REFRIGERATION EQUIPMENT.

SIZE OF PERMANENTLY INSTALLED LIGHT FIXTURES SHALL HAVE HIGH EFFICIENT LAMPS.

ISLAND OUTLETS SHALL NOT BE LOCATED IN THE FREE SPACE UNDER A COUNTER TOP. THE MAX. COUNTER TOP PROJECTION AT AN OUTLET IS 6 INCHES. THE OUTLET SHALL BE MOUNTED NO MORE THAN 12 INCHES BELOW THE COUNTER TOP.

ALL 20 AMP CIRCUITS ARE #12 COPPER WIRE IN THIN-WALL CONDUITS.

Gander Builders
 Oltman Residence
 240 Center Road
 Frankfort, Illinois

Bulin Custom Designs, Inc.
 Making Dreams become Reality
 5703 Arbor Gate Drive, Plainfield, Illinois
 Phone: 815.861.1757 Fax: 815.577.9039
 BulinCustom@gmail.com

DATE: 07.05.22
 JOB #: 2021.045
 SHEET: E-2

REVISIONS:
 NO. DATE DESCRIPTION
 01 PREVIOUS: 06/04/20

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ORDINANCE NO. 33XX

AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR INDOOR RECREATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (PIC & PLÅ INDOOR PICKLEBALL FACILITY 21800 S. LAGRANGE ROAD, UNIT B)

WHEREAS, an application for a Special Use Permit for certain property within the Village of Frankfort, legally described below, was filed by Anthony Villa, Applicant; and MTC Investment Properties, LLC – 21800 Series, 21800 S. LaGrange Road, Frankfort, Illinois 60423, Owner; and

WHEREAS, the Subject Property, commonly known as 21800 S. LaGrange Road, is currently zoned I-2 General Industrial District; and

WHEREAS, the Applicant proposes to renovate Unit B of the existing building on the Subject Property and requests the granting of a Special Use Permit for Indoor Recreation for the operation of Pic & Plå, an indoor recreational facility containing four pickleball courts; and

WHEREAS, a timely Notice of Public Hearings before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Weekly Southtown* newspaper announcing a Public Hearing on the Owner's application for a Special Use Permit for the Subject Property; and

WHEREAS, at a time and place designated in the published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owner's application for a Special Use Permit for the Subject Property; and

WHEREAS, the Frankfort Plan Commission/Zoning Board of Appeals has made special written Findings-of-Fact as required by the Village of Frankfort Zoning Ordinance 2001; and

WHEREAS, the Frankfort Plan Commission forwarded a unanimous (6-0) recommendation to the Board of Trustees of the Village of Frankfort that the Subject Property be granted a Special Use Permit for Indoor Recreation.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. SPECIAL USE PERMIT

That the following described real property to wit:

PIN: 19-09-28-102-002-0000

PARCEL 1

PART OF THE NORTHWEST ¼ OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST ¼, THENCE NORTHERLY ALONG THE WESTLINE OF SAID NORTHWEST ¼, 518 43 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING NORTHERLY ALONG THE WEST LINE OF SAID NORTHWEST ¼ NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 279 70 FEET, THENCE NORTH 43 DEGREES 15 MINUTES 27 SECONDS EAST 61 84 FEET TO THE SOUTH LINE OF A PUBLIC ROADWAY (66 0 FEET WIDE), THENCE NORTH 89 DEGREES 56 MINUTES 56 SECONDS EAST ALONG THE LAST SAID SOUTH LINE 491 94 FEET TO A POINT ON A CURVE ON THE WESTERLY RIGHT-OF-WAY LINE OF US ROUTE 45 (80 0 FEET WIDE), THENCE SOUTHWESTERLY ALONG A CURVE TO THE LEFT, CONVEX TO THE NORTHWEST, HAVING A RADIUS OF 4623 75 FEET AND A CHORD BEARING OF SOUTH 34 DEGREES 24 MINUTES 38 SECONDS WEST AN ARC DISTANCE OF 544 57 FEET, THENCE NORTH 61 DEGREES 21 MINUTES 53 SECONDS WEST 258 42 FEET TO THE POINT OF BEGINNING, ALL IN WILL COUNTY, ILLINOIS

PARCEL2

PART OF THE NORTHEAST ¼ OF SECTION 29, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST ¼, THENCE NORTHERLY ALONG THE EAST LINE OF SAID NORTHEAST ¼ 518 43 FEET TO THE POINT OF BEGINNING, THENCE NORTH 61 DEGREES 21 MINUTES 53 SECONDS WEST 208 57 FEET, THENCE NORTH 29 DEGREES 43 MINUTES 4 SECONDS EAST 191 72 FEET, THENCE SOUTH 71 DEGREES 09 MINUTES 00 SECONDS EAST 60 38 FEET, THENCE NORTH 43 DEGREES 15 MINUTES 27 SECONDS EAST 45 FEET TO THE EAST LINE OF THE NORTHEAST ¼ OF SAID SECTION 29, THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG SAID EAST LINE OF THE NORTHEAST ¼ 279 70 FEET TO THE POINT OF BEGINNING, ALL IN WILL COUNTY, ILLINOIS

Commonly known as 21800 S. Orange Road, Frankfort, Will County, Illinois, which is the property subject to the previously described application for a Special Use Permit, is hereby granted a Special Use Permit for Indoor Recreation for the Subject Property, Unit B, to accommodate the proposed operation of Pic & Plā, an indoor recreational facility containing four pickleball courts, in accordance with the reviewed plans, public testimony, Findings of Fact, and conditioned upon if any mechanical uses are added to the roof of the site, they shall be screened per the requirements of the Zoning Ordinance; the project shall obtain compliance with all applicable codes, including the Fire Code and International Building Code; there shall be no indoor bleachers installed and no tournaments held at this location; and no less than 25 parking spaces shall be allocated to the proposed use.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance

SECTION 3. ZONING MAP AMENDMENT

That the Zoning Map of the Village of Frankfort is amended to reflect the Subject Property, currently zoned I-2 General Industrial District, is granted Special Use Permit for Indoor Recreation, as provided under this Ordinance and the Village of Frankfort Zoning Ordinance, as amended from time to time.

SECTION 4. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 5. EFFECTIVE DATE

The Ordinance shall take effect after its passage, approval, and publication in pamphlet form, as provided by law.

PASSED this __ day of ____, 2022; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	_____	MARGARET M. FARINA	_____
MICHAEL LEONARDI	_____	JESSICA PETROW	_____
DANIEL ROSSI	_____	EUGENE SAVARIA	_____

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Public Hearing: 21800 S. La Grange Road – Proposed Pickleball (Ref #105)

Chris Gruba presented the staff report.

The applicant, Tony Villa, approached the stand. He thanked staff for their work on the case. He explained that since he received approval to construct the new pickleball building at 9093 W. Fey Drive, the price of building materials increased dramatically.

Since then, the applicant had searched for another location in which the building was already constructed and decided on the property currently before the Plan Commission. Renting the tenant space would give the applicant a chance to try out the business concept without having to invest money in a brand-new facility. To his knowledge, the neighboring businesses had approximately four employees between them, which explained why the parking lot was typically as empty as it was. The estimated 60-person occupancy limit was high in his opinion.

Chair Rigoni asked staff to clarify the numbers of code-required parking for the various uses on the site, 23 spaces were required for the other two uses, which left 29 available for the proposed pickleball court.

Staff said she had the numbers correct.

Chair Rigoni asked if there were any people present who wished to give comments on the proposal.

There were none.

Motion (#7): Motion to close the public hearing.

Motion by: Schaeffer

Seconded by: Knieriem

Approved: (6-0)

Chair Rigoni summarized the motions before the Plan Commission, there was a parking adjustment and a request for a Special Use Permit. She asked the other members of the Plan Commission if they had any comments on the Special Use Permit.

Commissioner Jakubowski said she had no issues with either the parking available on-site or the use.

Commissioner Markunas stated he had no issues with the use, either. He asked if the same conditions would be in place at the new location as the old location. Specifically, that there would be no food sales.

The applicant responded that Commissioner Markunas was correct, there would be no food sales, and the other conditions in place for the old site would be in place here as well.

Commissioner James agreed with other members of the Plan Commission that there was no problem with the use. Since there were two-hour blocks for reservations, he said he expected that turnover at each of the courts might be simultaneous or staggered. He saw no issue with parking.

Commissioner Schaeffer asked if the number of required bathroom facilities was an issue which would impact the granting of a Special Use Permit or a matter of Building Code compliance.

Staff responded that the number of bathroom facilities was a matter of Building Code compliance and that it was added as a condition of approval of the Special Use Permit.

Commissioner Knieriem asked if the covered rear portion of the building would be closed in or left as-is.

The applicant responded that per his conversation with the Fire District, a railing would need to be installed as well as an additional set of stairs for evacuation.

Commissioner Knieriem asked if the applicant had any plans to build additional courts in the rear open area.

The applicant said he did not.

Chair Rigoni stated she had no issue with the parking available on-site. She was unsure whether there was a need to limit parking, when instead the Plan Commission could limit the number of available courts instead.

Commissioner Schaeffer wondered if there was only enough space inside the building for four courts.

The applicant stated that there was only enough room for four courts.

Chair Rigoni said that was good information to help them understand the impact on parking. She asked if there were time buffers between reservations for the same court.

The applicant responded, saying reservations would typically have one hour and forty-five minutes for games, which would leave fifteen minutes for turnover. The system was designed this way to make it easy to walk into the space and have a court available, since

one of the most common drawbacks to using public facilities was a lack of available spaces, which would deter patrons.

Commissioner Knieriem asked if games typically had four people playing or two.

The applicant said that most games are played as doubles, with four people per court, but singles was a possibility as well.

Chair Rigoni asked staff if the adjustment was needed because of a strict interpretation of the Zoning Ordinance.

Staff said they were looking for a specific number of parking spaces to be assigned to the pickleball use. Without a floorplan prepared by an architect, it was impossible for Village staff to determine the "maximum occupancy" of the tenant space. Gruba noted that he believed that once the architectural floorplan is obtained, as will be required prior to issuing a building permit, that it will demonstrate a higher maximum occupancy which would then require a high number of parking spaces per the Zoning Ordinance, exceeding the number available currently. Since the existing parking lot has always been observed at under-capacity (perhaps 3-6 cars total on any given day), it would make practical sense to assign a certain number of parking spaces to the pickleball use. Gruba noted that a situation could arise in which the Avant Furniture warehouse in Unit A moved out and that a banquet facility was then proposed. Even definitively assigning and calculating parking for the pickleball use, staff could then accurately perform a parking analysis for a potential future banquet facility use.

Chair Rigoni asked the applicant how many employees would be on-site at one time.

The applicant said there would be only one employee on-site at a time.

Chair Rigoni stated that 17 parking spaces would be required if all four courts were in use by four people, all driving separately, and one for the employee.

Commissioner Knieriem then added another eight potentially required spaces to accommodate any patrons who arrived early for their reservation. This brought the total to 25 parking spaces.

Chair Rigoni asked if adding the parking requirement as a condition to the special use would be agreeable to the Plan Commission, in lieu of a separate motion for a parking adjustment.

Staff said they would prefer a separate motion, but would defer to the Plan Commission.

Commissioner Schaeffer asked if there might be a potential issue where, after the proposed pickleball use leaves the space, any future use may be bound to the same 25-space parking limit.

Staff clarified that the 25-parking space limit would be tied to the pickleball use specifically, and would not then limit a future non-pickleball use in that same space.

Commissioner Knieriem noted that there was plenty of space to park in the gravel lot behind the building as well, should it be needed.

The applicant explained that the gravel lot was used by one of the other tenants for trucks, as did the previous tenant. There were no parking spaces designated, but it could be something explored in the future.

Chair Rigoni requested that the reasoning which led the Planning Commission to settle on 25 parking spaces as the limit for the proposed use be reflected in the minutes of the meeting.

Staff explained that they were looking for a specific number to use when calculating the parking requirements for the proposed use and the site as a whole, as well as for any future uses.

Commissioner James asked if there was a possibility that the office space used by one of the other tenants may require more parking in the future.

Staff noted that the tenant in question primarily used their space as a distribution point, which may limit the need for offices at that location.

Motion (#8): Recommend that the Village Board approve a special use for an indoor recreation facility at 21800 La Grange Road, Unit B, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on the following:

1. If any mechanical uses are added to the roof of the site, they shall be screened per the requirements of the Zoning Ordinance.
2. The project shall obtain compliance with all applicable codes, including the Fire Code and International Building Code.
3. There shall be no indoor bleachers installed and no tournaments held at this location.
4. No less than 25 required parking spaces shall be allocated to the proposed use.

DRAFT

Motion by: Markunas

Seconded by: Jakubowski

Approved: (6-0)

Chair Rigoni said the item would be put before the Village Board on October 3rd.

Draft

Project: Pic & Plā – Indoor Pickleball
Meeting Type: Public Hearing
Requests: Special Use for Indoor Recreation
Location: 21800 S. La Grange Road, Unit B
Applicant: Anthony Villa
Prop. Owner: MTC Investment Properties (Mary Cernauskas)
Representative: Anthony Villa

Site Details

Lot Size: 201,683 sq. ft. (4.63 acres)
PIN(s): 19-09-28-102-002-0000
Existing Zoning: I-2
Proposed Zoning: N/A
Future Land Use: General Commercial
Buildings: 1 building, 3 units
Total Sq. Ft.: 9,820 sq. ft. (Unit B area)

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Light Industrial	General Commercial	
North	RV sales/storage	General Commercial	I-1, I-2
South	Public utility/ Commercial	General Commercial/ Public Utility	I-2, B-2, E-R
East	Religious Assembly	Public Institution	
West	Public utility/ Commercial	General Commercial/ Public Util	I-2, B-2

Project Summary

The applicant is proposing to renovate Unit B of the existing building located at 21800 S. La Grange Road for use as an indoor pickleball recreation facility. Indoor recreation uses require a Special Use Permit in the I-2 (General Industrial) zone district. A Special Use Permit had been approved by the Village Board for this use for a proposed new building located at 9093 W. Fey Drive on June 6, 2022. However, due to the rising costs of building materials, the applicant is putting that project on hold and would like to renovate the interior space within the existing building at 21800 S. La Grange Road instead.

Attachments

1. Aerial images (1:4,000 scale and 1:1,500 scale) VOF GIS
2. Plat of Highways, illustrating vacated streets on subject property and current property line boundary, prepared by RT&A, revised 7/11/06.
3. Interior space sketch, received by staff on 8.1.22
4. Floorplan sketch, based upon Frankfort Township Assessor, received by staff on 8.11.22
5. Special Use Permit Findings of Fact, applicant responses
6. Description of use, prepared by the applicant
7. Photographs of building interior and exterior, taken by staff on 8.10.22 and 8.11.22

Analysis

Description of use:

The applicant intends to occupy a 9,820 sq. ft. tenant space within the existing building at 21800 S. La Grange to use for indoor pickleball. The use would be located in Unit B, located between Unit A (Avanti furniture warehouse storage) and Unit C (Sunbelt Supply Company, manual and automatic valve experts). The applicant is proposing 4 pickleball courts, which was the same amount of courts as when the use was proposed and approved for the undeveloped property at 9093 W. Fey Drive. As before, the business would be open daily from 7 am – 9 pm; normal business hours within the Village are 7 am – 11 pm. Reservations to play would be made via a mobile app.

Zoning

1. The subject property is currently zoned I-2, General Industrial. Indoor recreation facilities require a special use permit in the I-2 district.

Site Design

1. No exterior changes to the building are proposed, other than what may be needed for compliance with the Fire Code, such as fire exits or new exterior stairs at the back entrance.
2. The applicant has informed staff that there will not be any air conditioning for the building and therefore no exterior mechanical units will be needed. Should air conditioning units or any other mechanical units be installed outside of the building in the future, they must be screened with landscaping or walls per Article 7, Section A, Part 3 (c) of the Zoning Ordinance. This has been included as a condition of approval.

Parking & Loading

1. The existing site has a paved parking lot in the front yard containing 52 spaces, including two ADA accessible spaces. The gravel rear yard is used for storing semi-trucks and trailers. Staff has created a parking analysis table below based upon the existing uses.

Parking Analysis					
Tenant	Gross Floor Area	Employees	Hours	Requirement	Spaces required
Unit A (Avanti Furniture, warehouse use)	9,820	2	8am-5pm	1 space per 5,000 SF + 1 ea. employee	4
Unit B (proposed pickleball, indoor recreation use)	9,820	2	7am-9pm	1 space per 4 people max occupancy + 1 ea. employee	Max occupancy has not been determined
Unit C (Sunbelt Supply, light industrial use)	9,220	3	8am-5pm	1 space for every 500 SF	19
Total parking required (without pickleball use)					23
Parking provided					52
Parking surplus available for pickleball use					29

2. The Building Department noted that maximum occupancy is calculated at a rate of 50 square feet per person for indoor recreation uses (pickleball). Unit B is 9,820 square feet, allowing for 196 people, requiring 49 parking spaces. However, the actual maximum occupancy is expected to be significantly lower once a scaled floorplan is provided by an architect or engineer, as the area dedicated for restrooms, storage areas, office areas and other rooms are not included in the calculation for maximum occupancy. For comparison, the formerly approved pickleball building at 9093 W. Fey Drive was 12,160 square feet and designed for a maximum occupancy of 50 people, requiring 15 parking spaces (including employee requirements). The proposed tenant space in Unit B is smaller than the formerly approved building by 2,340 square feet.
3. The applicant noted that if all four (4) indoor courts are being used at once, there may be up to 16 people playing at any one time. Other people may arrive early and wait to play.
4. **The Zoning Ordinance notes that the Plan Commission can adjust the parking requirements for any use in a business or industrial district on a case-by-case basis.** Should the Plan Commission recommend approval of the Special Use Permit, staff recommends that the number of required parking spaces be determined at this time to ensure that the proposed has adequate parking. In other words, the amount of parking required for this use would be enshrined in the approval of the special use permit and forever connected to the approved plans and public testimony. As noted in the above parking analysis table, there is a remainder of 29 unused parking spaces per code that could be assigned in whole or in part to the proposed pickleball use. The advantage of determining the parking requirement now would be to avoid a potential deficiency of parking per code once the maximum occupancy is determined after receiving a scaled floorplan from an architect. If the future architectural floorplan reveals a parking deficiency, a parking adjustment will be required from the Plan Commission.

Article 7, Section B, Part 5(b) of the Zoning Ordinance refers to adjustments to required parking. It states in part:

Adjustments. In all business and industrial districts, the minimum number of required parking spaces may be adjusted by the Plan Commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the Plan Commission that adequate parking will be provided for customers, clients, visitors, and employees. The following provisions and factors shall be used as a basis to adjust parking requirements.

1. *Evidence That Actual Parking Demand will be Less Than Ordinance Requirements. The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.*
2. *Availability of Joint, Shared or Off-Site Parking. The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared or offsite parking spaces are available to satisfy the parking demand.*
 - a) *Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the spaces during daytime hours and another activity uses the spaces during evening hours.)*
 - b) *Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three hundred (300) feet from the principal use that it is intended to serve.*

Conversely, the Plan Commission could table the special use permit request until staff receives a scaled floorplan prepared by an architect, which would allow staff to calculate the amount of required parking per code.

5. There are loading docks with roll up doors at the rear of the building. 1 door is currently used by Avanti Furniture, 2 doors are available for Unit B and 3 doors are currently used for Sunbelt Supply Company. The proposed pickleball use is not anticipated to require loading from semi-trucks, but if deliveries do occur, they could be accommodated by the existing rear loading dock and 2 roll up doors.

International Building Code and International Fire Code:

1. A preliminary inspection of the tenant space was conducted by the Frankfort Fire District on August 11, 2022. At that time, the Fire District noted that several building upgrades would be required because the use would be changing from a warehouse use to an indoor recreation use. Staff has not been provided with a complete list of required Fire Code upgrades, but changes may include adding an exterior stairway to the rear loading dock.
2. The applicant has opted to not upgrade the building to meet the Fire Code requirements for a recreational use until after the Special Use Permit has been approved by the Village Board. A business license or occupancy permit would not be issued for the use until the necessary Fire Code improvements are made.
3. Unit B currently has two restrooms, with one toilet in each. Although not marked, one restroom could be assigned for men and one for women. Per the Building Department, the proposed use would require an additional toilet for the women's restroom and an additional toilet for the men's restroom. The applicant is aware of this requirement, which would involve securing additional space for expanding the existing restrooms. This requirement has been added as a condition of approval (b)).

Other

1. There will be no bleachers or seating provided within the building.
2. There will be no bar or food concessions inside the building.
3. There are no locker rooms illustrated on the floorplan and no mention of any has been made to staff.
4. Unit A, now used for Avanti Furniture, was granted a Special Use Permit for Indoor Recreation for Frankfort Mixed Martial Arts on June 23, 2014 (Ord-2909). The use has since been discontinued.

Special Use Request

The following findings of fact are used to judge the merit of a special use permit request. The applicant has provided responses to these findings of fact in a separate attachment.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

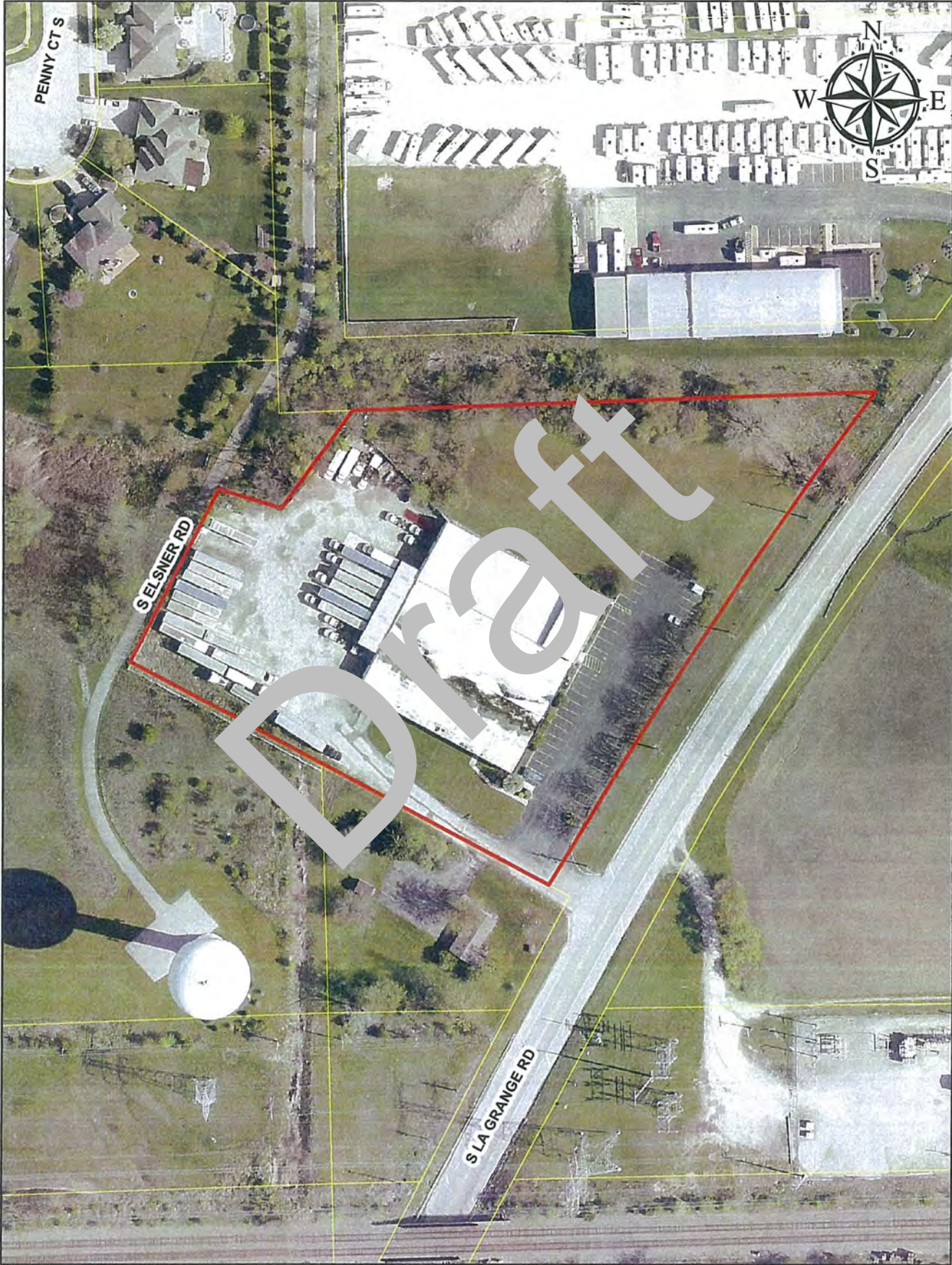
f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motions

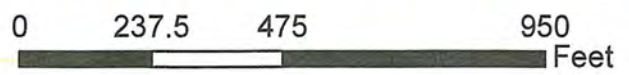
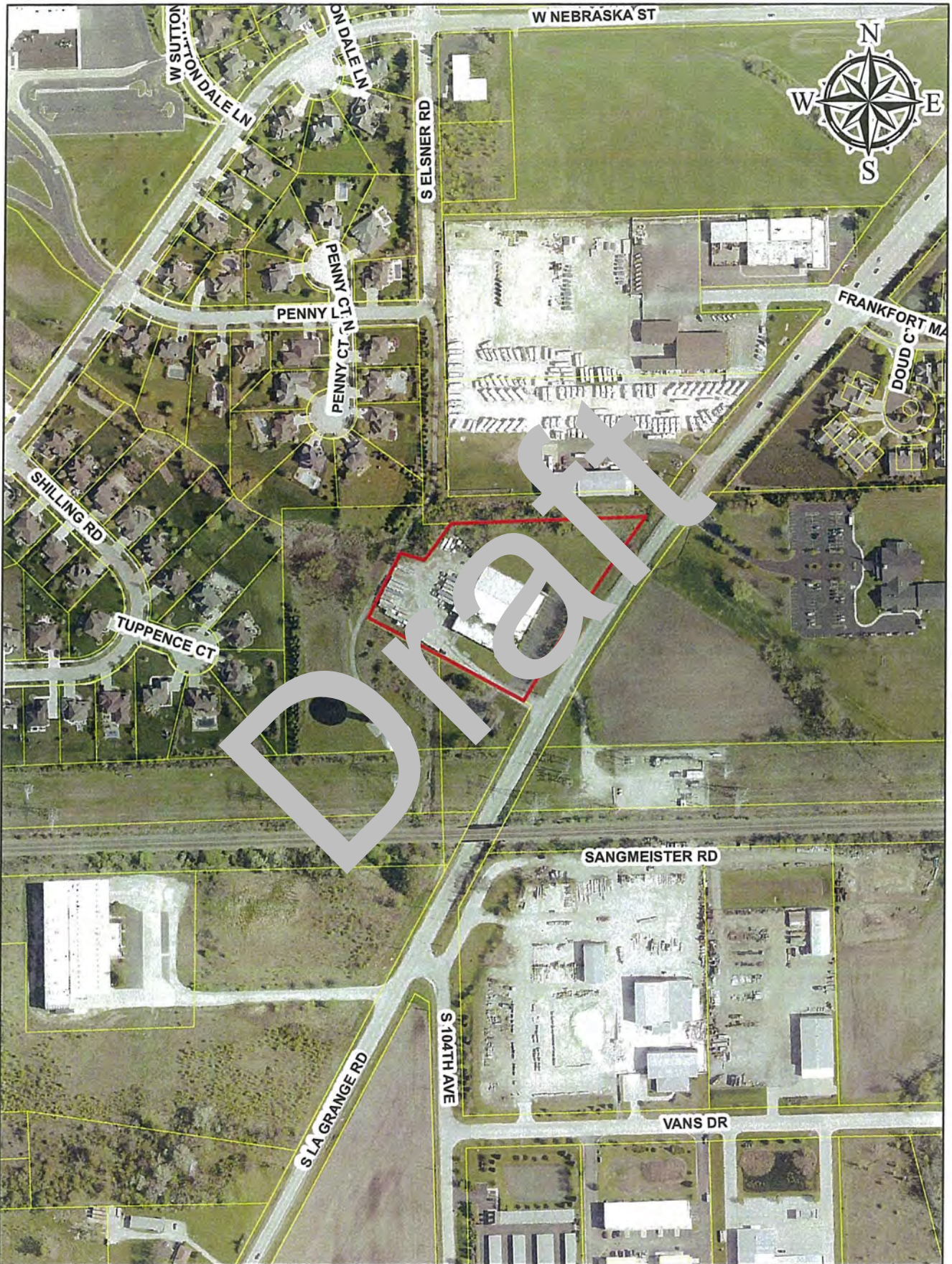
1. Approve an adjustment to the total Zoning Ordinance required parking for the subject property based on the availability of both joint parking and shared parking for the proposed indoor recreation use and the current building tenants.
2. Recommend to the Village Board to approve the Special Use Permit for an indoor recreation facility for the property located at 21800 S. La Grange Road, subject to the following conditions, in accordance with the reviewed plans, findings of fact, public testimony and conditioned upon the following:
 - a. If any mechanical units are added to the roof or site, they shall be screened per the requirements of the Zoning Ordinance.
 - b. The project shall obtain compliance with all applicable codes, including the Fire Code and International Building Code.
 - c. There shall be no indoor billiard tables installed and no tournaments held at this location.

21800 S. La Grange, Unit B - Proposed Pickleball (Special Use Permit)



0 87.5 175 350 Feet

21800 S. La Grange, Unit B - Proposed Pickleball (Special Use Permit)

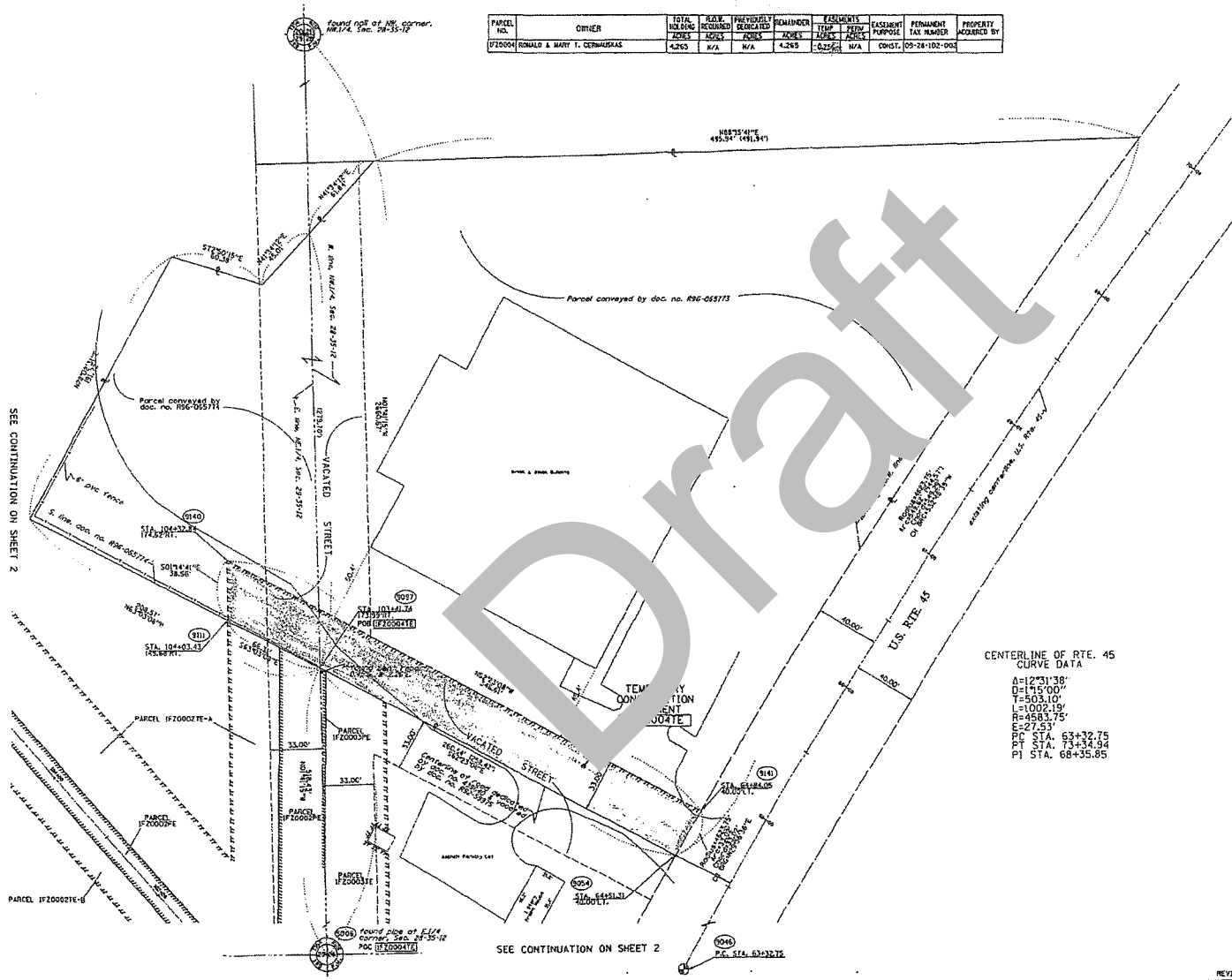


PART OF THE NE 1/4, SEC. 29, AND PART OF THE NW 1/4, SEC. 28, ALL IN T35N, R12 EAST OF THE 3rd PM, WILL COUNTY, ILLINOIS

BEARINGS SHOWN HEREON ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE, NAD 83.

P.A. RTEL.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
172000	1	WILL	4	4
STATION 6450 TO STATION 7000				
PER. ROAD DIST. NO. 1 ILLINOIS FED. AID PROJECT				

PARCEL NO.	OWNER	TOTAL ACRES	R.O.M. RECORDED	PREVIOUSLY DEDICATED	REMINDER ACRES	ESSENTIAL TIME	PERM. PURPOSE	PERMANENT TAX NUMBER	PROPERTY ACQUIRED BY
172000	RONALD & MARY T. CERNAKAS	4.263	N/A	N/A	4.245	-0.018	N/A	CONST. 05-28-102-003	



- LEGEND**
- EXISTING CENTERLINE
 - PROPOSED CENTERLINE
 - EXISTING RIGHT OF WAY LINE
 - PROPOSED RIGHT OF WAY LINE
 - PROPOSED PERMANENT EASEMENT LINE
 - PROPOSED TEMPORARY EASEMENT LINE
 - SECTION LINE
 - PROPERTY NEED LINE
 - MEASURED DIMENSION
 - COMPUTED DIMENSION
 - RECORDED DIMENSION
 - FOUND FROM P.C. OR I.R.O. NO.
 - SET TO I.R.O. FROM PERMANENT SURVEY MONUMENT
 - LEGAL SITE 315
 - TO BE SET BY OTHERS
 - CUT CROSS FOUND ON SET
 - SAME DIMENSION
 - EXISTING 16.00" SPACE BOX
 - EXISTING STREET LIGHT
 - EXISTING MAIL BOX
 - EXISTING WELL HEAD
 - STAKES OF PROPOSED RIGHT OF WAY, SET TO I.R.O. WITH REFERENCE TO NEAREST MONUMENT IDENTIFIED BY REGISTRATION DATA AND SURVEY REGISTRATION NUMBER.
 - STAKES OF PROPOSED RIGHT OF WAY IN EXISTED AREAS, SET TO I.R.O. WITH REFERENCE TO NEAREST MONUMENT IDENTIFIED BY REGISTRATION DATA AND SURVEY REGISTRATION NUMBER.

CENTERLINE OF RTE. 45
CURVE DATA
 $A=12^{\circ}31'38"$
 $D=145^{\circ}00"$
 $T=505.10'$
 $L=1002.19'$
 $R=4583.75'$
 $E=27.53'$
 P.C. STA. 63+32.75
 P.T. STA. 73+34.94
 P.I. STA. 68+35.85

STATE OF ILLINOIS)
 COUNTY OF WILL)

THIS IS TO CERTIFY THAT RUETTIGER, TONELLI & ASSOCIATES, INC. AN ILLINOIS DESIGN FIRM, HAS SURVEYED THE PLAT OF HIGHWAYS SHOWN HEREON IN SECTIONS 28 AND 29, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, WILL COUNTY, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE PLAT CORRECTLY REPRESENTS SAID SURVEY, THAT ALL MONUMENTS FOUND AND ESTABLISHED ARE OF PERMANENT QUALITY AND OCCUPY THE POSITIONS SHOWN THEREON AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE REPRODUCED, MADE FOR THE DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS.

DATED AT JOLIET, ILLINOIS THIS _____ DAY OF _____ A.D.

RONALD F. MOORE P.L.L.C. NO. 2630
 MY LICENSE EXPIRES 11-30-2008

RUETTIGER, TONELLI & ASSOCIATES, INC.
 Land Surveyors/Engineers/Architects/Interior Designers
 216 NORTH WISCONSIN STREET, SUITE 110
 JOLIET, ILLINOIS 62450
 PHONE: 815-741-1100 FAX: 815-741-1101
 WWW: WWW.RTACON.COM

ILLINOIS DEPARTMENT OF TRANSPORTATION
PLAT OF HIGHWAYS
U.S. 45 at E.J.R.E.
RAILWAY UNDERPASS

WILL COUNTY
 JOS NO. R-91-025-06
 STATION 6450 TO STATION 7000

RECEIVED JUL 27 2008
 PLATS & LEGALS

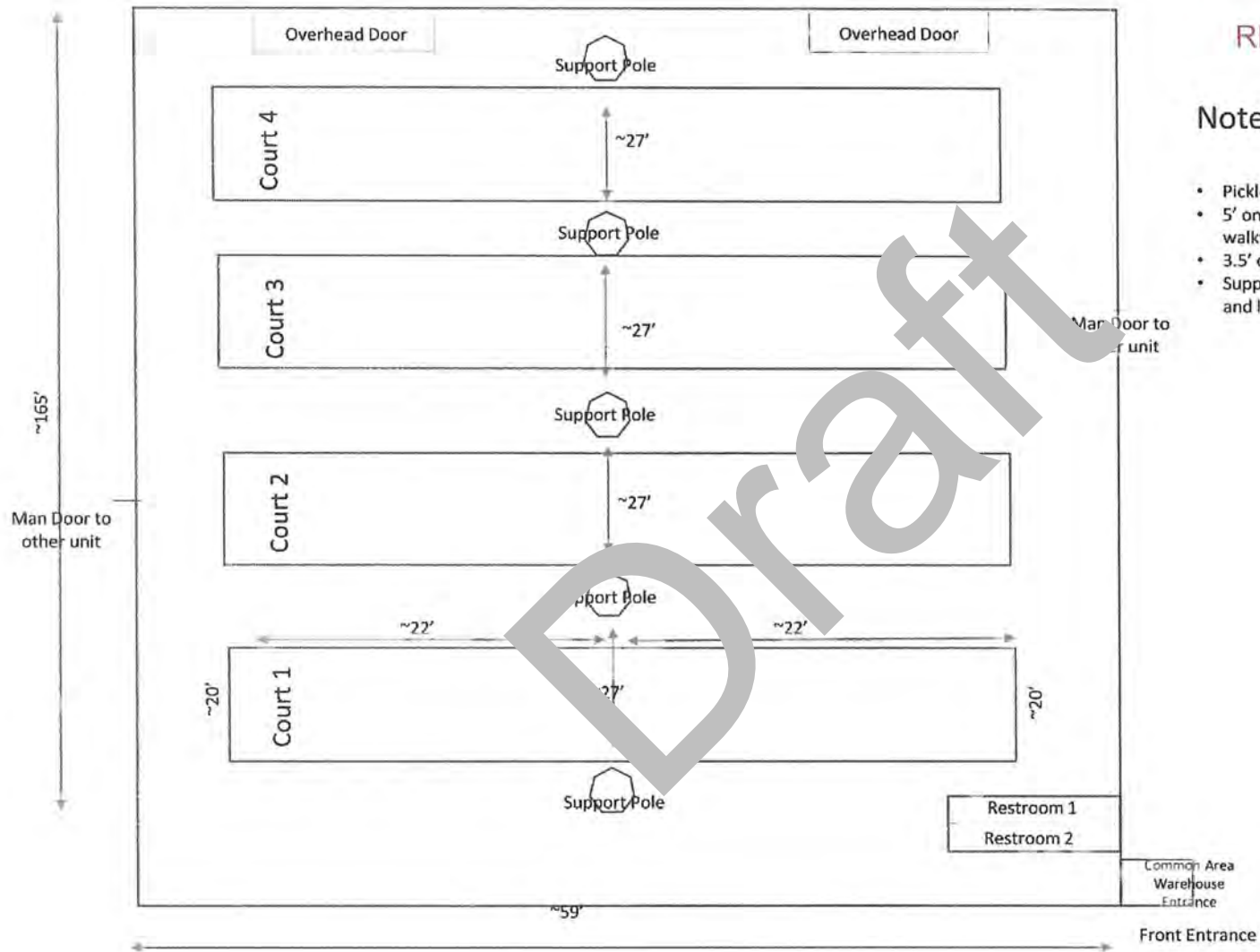
SCALE: 1"=40'
 ILLINOIS DEPARTMENT OF TRANSPORTATION
 DIVISION OF HIGHWAYS-DISTRICT 1
 505 WEST CENTER COURT
 SCHMIDGALL, ILLINOIS 62450

SHEET 1 OF 4 - IS A COVER SHEET AND IS NOT RECORDED
 RTAA 20080705046 45 @ E.J.R.E.

RECEIVED 8.1.22

Notes:

- Pickleball Court dimensions are 20x44
- 5' on end of each baseline so wall is not an issue and walkway for players
- 3.5' on each sideline between support poles
- Support poles are at center court where nets would go and little likelihood of impairing play.



N

01

02

03

04

05

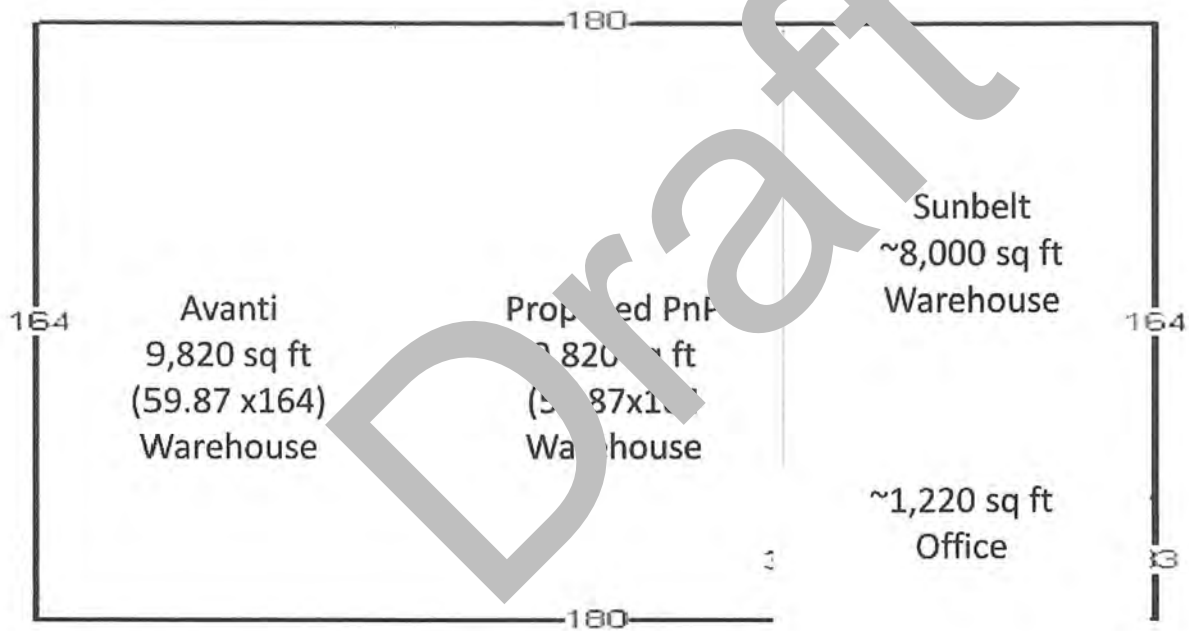
7 Dock Levelers 12 Security Lites Dock Canopy 29127sf asphalt 38440sf stone paving

06

Conc Curbs

07

189sf Conc Pad



RECEIVED

By Christopher Gruba at 9:20 am, Aug 11, 2022

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
The conversion to indoor pickleball use will not be detrimental to or endanger, the public health, safety, moral, comfort or general welfare.
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
The conversion to indoor pickleball use will not be injurious to the use and enjoyment of other property in the immediate vicinity.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
The conversion to indoor pickleball use will not impete the normal and orderly development of the property and its current uses.
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
No changes to the exterior are required.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

All are being provided and have been operational previously.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

No change to ingress or egress required.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in any instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Understood and agreed.

Draft



Pic & Plā

Indoor Pickleball

Pic a court & play!

Draft



Pic & Plā

What is it?

- A for profit business that enables individuals to reserve 1 to 4 indoor courts to play pickleball.
- **Pickleball** is a paddle sport that combines elements of badminton, table tennis and tennis. Two or four players use a paddle that's ~ 2x the size of a ping pong paddle to hit a wiffle ball over a 36" net on a 20'x44' court.

The goal is to hit the ball over the net, within the boundaries of the court and in a manner that prevents your opponent from returning the ball back over the net. Games are generally played to 11 points.



Pic & Plā

Why?

- ~5M people in the US now play pickleball. It is the country's fastest growing sport.
- Frankfort has 3 dedicated **outdoor** pickleball courts at Commissioner's Park. Mokena, New Lenox, and Frankfort Squares have another ~20 **outdoor** courts. When the weather is nice (no rain, snow, cold temps or high wind – ~6 months out of the year), these courts are often filled with long wait times between games.
- **There are 0 dedicated indoor pickleball courts within a 20-mile radius of Frankfort.**



Pic & Plā

How?

- There will be 4 indoor courts that can be reserved via an app.
- Reservations will be in two-hour increments from 7am to 9pm.
- When all 4 courts are being utilized for dedicated pickleball play, ~ 8-16 people will be in the facility.



Pic & Plā

Where?

- Lot 13 East Point Park
- In the same complex as Rom sports (indoor softball, soccer & basketball)



Pic & Plā

When?

- Goal is to break ground in May
- Estimated construction time of 6 months
- Target opening in January 2013



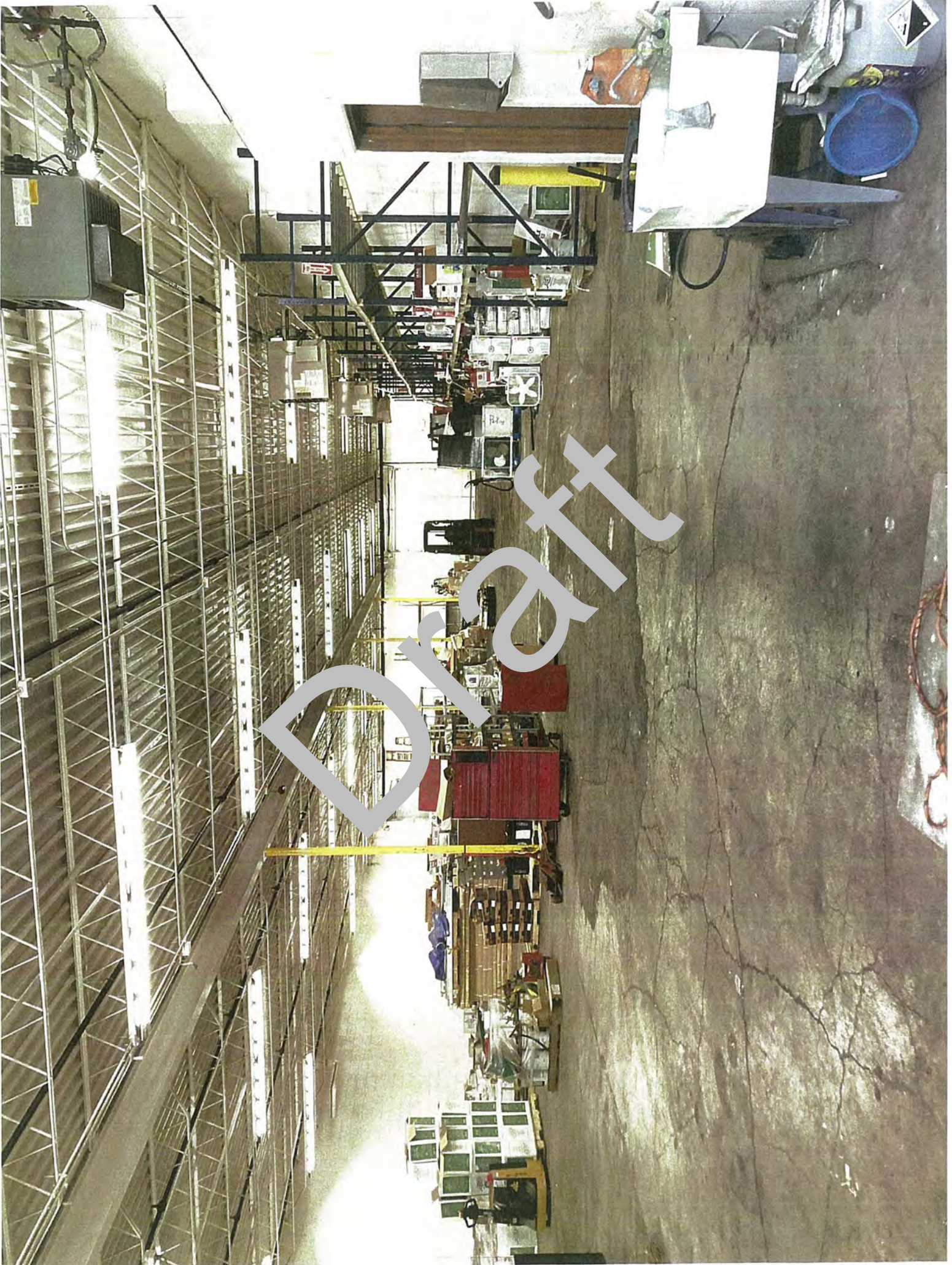
Pic & Plā

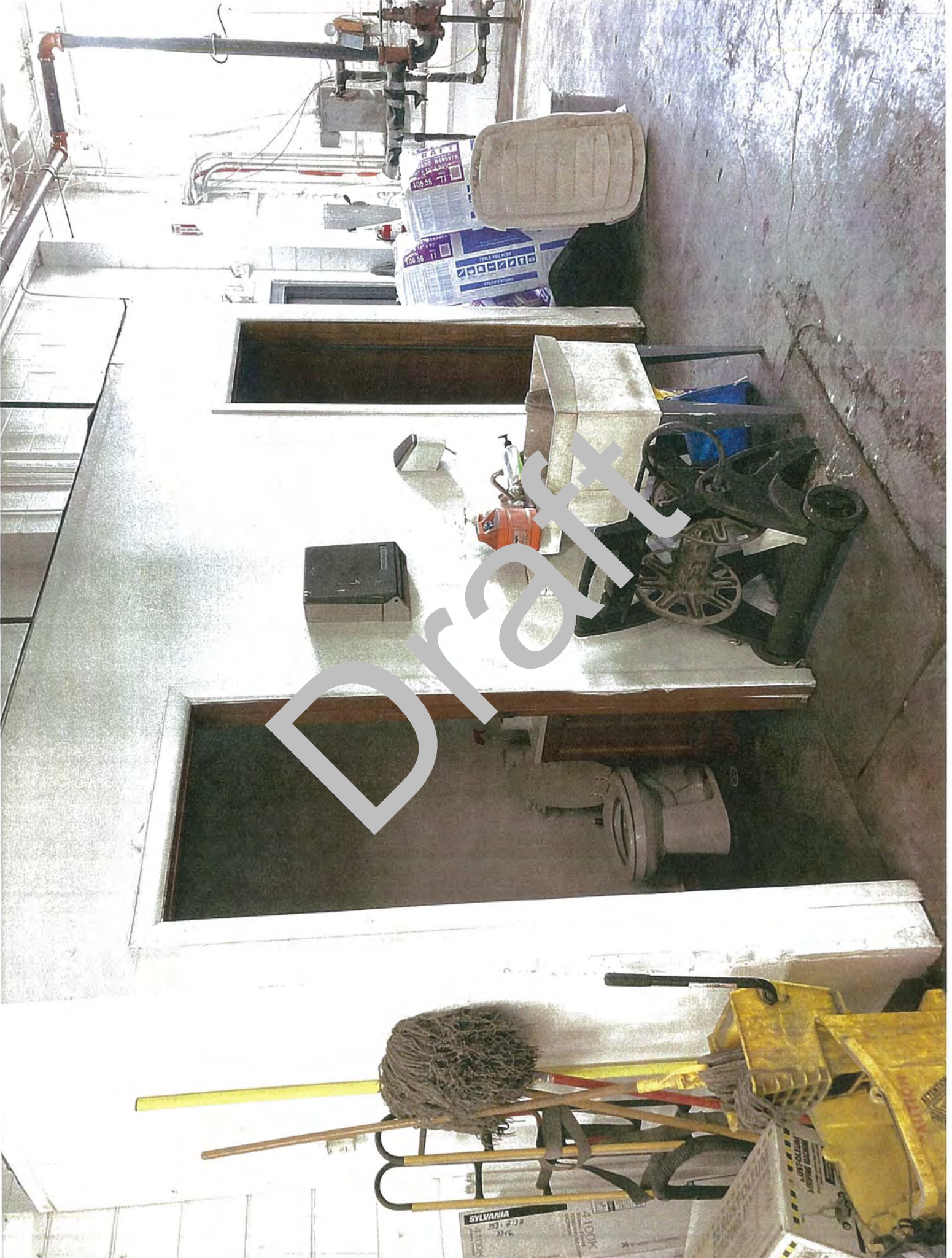
FAQs

- What are the hours of operation? M-Sunday, 7am – 9pm.
- Will this be membership based? No, pay per use.
- Will there be bleacher type seating? No.
- What is the estimated total capacity at any one time? 25.
- Will there be a concessions stand onsite? No.
- How many employees will there be? 1. The owner plans to be onsite most days.
- Will there be anything stored outside the building? No.



Draft





Draft













ORDINANCE NO. 33XX

AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR AN ASSISTED LIVING FACILITY TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS (OASIS SENIOR LIVING, INC – 8531 W. LINCOLN HIGHWAY)

WHEREAS, an application for a Special Use Permit for certain property located within the Village of Frankfort, legally described below, was filed by Oasis Senior Living, Inc., Applicant; and MT Leasing, Inc., 6808 Wainwright Drive, Woodridge, Illinois 60517, Owner; and

WHEREAS, the Subject Property, located at 8531 W. Lincoln Highway, is currently zoned B-2 Community Business District; and

WHEREAS, the Applicant requests the granting of a Special Use Permit to construct an assisted living and memory care facility in the B-2 zoning district for the proposed operation of Oasis Senior Living; and

WHEREAS, a timely Notice of a Public Hearing before the Planning Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owner's application for a Special Use Permit for the Subject Property; and

WHEREAS, at a time and place determined in such published notice, a Public Hearing was held before the Village of Frankfort Planning Commission/Zoning Board of Appeals on the Owner's application for Special Use Permit for the Subject Property; and

WHEREAS, the Frankfort Planning Commission/Zoning Board of Appeals has made special written Findings-of-Fact as required by the Village of Frankfort Zoning Ordinance 2001; and

WHEREAS, the Frankfort Planning Commission forwarded a unanimous (6-0) recommendation to the Board of Trustees of the Village of Frankfort that the Subject Property be granted a Special Use Permit for an assisted living facility with conditions as enumerated in Section 1 of this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS AS FOLLOWS:

SECTION 1. SPECIAL USE PERMIT

That the following described real property to wit:

THAT PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 23, AND THAT PART OF THE SOUTHWEST QUARTER OF SECTION 23, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE WEST LINE OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, WITH THE CENTERLINE OF LINCOLN HIGHWAY, AND RUNNING THENCE EASTERLY ALONG THE CENTERLINE OF SAID LINCOLN HIGHWAY, 991.07 FEET TO THE NORTHEAST CORNER OF PARCEL 1, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R91-4623 AND RE-RECORDED AS DOCUMENT NUMBER R91-7702; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SECTION 23 ALONG THE EAST LINE OF PARCEL 1 CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R91-4623 AND RE-RECORDED AS DOCUMENT NUMBER R91-7702. A DISTANCE OF 443.00 FEET; THENCE EASTERLY A DISTANCE OF 130.00 FEET PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 23 TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 05 MINUTES 44 SECONDS EAST, 155.14 FEET TO THE SOUTH LINE OF U.S. ROUTE 30 AS DEPICTED ON PLAT OF HIGHWAY DOCUMENT NO. R95-039615; THENCE EASTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH (BEING THE SAID SOUTHERLY LINE OF U.S. ROUTE 30) HAVING A RADIUS OF 2355.66 FEET, HAVING A CHORD BEARING OF NORTH 79 DEGREES 51 MINUTES 44 SECONDS EAST, 271.6 FEET TO A POINT OF TANGENCY; THENCE NORTH 5 DEGREES 31 MINUTES 29 SECONDS EAST CONTINUING ALONG SAID SOUTHERLY LINE OF U.S. ROUTE 30, A DISTANCE OF 166.13 FEET; THENCE SOUTH 11 DEGREES 28 MINUTES 31 SECONDS EAST, 95.09 FEET; THENCE SOUTH 19 DEGREES 53 MINUTES 19 SECONDS EAST 64.33 FEET; THENCE SOUTH 13 DEGREES 51 MINUTES 01 SECONDS EAST 22.64 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 567.0 FEET, HAVING A CHORD BEARING SOUTH 02 DEGREES 32 MINUTES 10 SECONDS EAST, 216.51 FEET TO A POINT OF TANGENCY; THENCE SOUTH 08 DEGREES 24 MINUTES 10 SECONDS WEST, 124.75 FEET; THENCE NORTH 8 DEGREES 49 MINUTES 31 SECONDS WEST ALONG A LINE PARALLEL WITH THE SOUTH LINE OF THE SAID SOUTHWEST QUARTER, 469.97 FEET TO THE POINT OF BEGINNING IN WILL COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER VESTING TITLE DATED DECEMBER 7, 2010 IN CASE NO. 10ED66 FILED IN THE WILL COUNTY, ILLINOIS CIRCUIT COURT AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF FRACTIONAL SECTION 23 AND PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 23, SOUTH OF THE INDIAN BOUNDARY LINE, IN TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS; DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST QUARTER CORNER OF SAID FRACTIONAL SECTION 23; THENCE ON AN ASSUMED BEARING OF SOUTH 89 DEGREES 57 MINUTES 15 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF FRACTIONAL SECTION 23, A DISTANCE OF 1121.01 FEET TO THE EAST LINE OF A QUIT CLAIM DEED RECORDED

JANUARY 29, 1991 AS DOCUMENT NUMBER R91-004623; THENCE SOUTH 00 DEGREES 14 MINUTES 33 SECONDS EAST ALONG SAID EAST LINE 3.90 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED BY A SPECIAL WARRANTY DEED RECORDED JUNE 1, 2007 AS DOCUMENT NUMBER R2007-084184 AND TO THE POINT OF BEGINNING, SAID POINT BEING ALSO ON THE EXISTING RIGHT OF WAY LINE OF US ROUTE 30 (LINCOLN HIGHWAY) PER DEDICATION RECORDED MARCH 25, 1922, IN BOOK 570, PAGE 186 AS DOCUMENT NUMBER 342998 AND ON A NONTANGENTIAL CURVE; THENCE NORTHEASTERLY ALONG THE NORTH LINE OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184 AND SAID EXISTING RIGHT OF WAY LINE 254.93 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 2256.77 FEET, THE CHORD OF SAID CURVE BEARS NORTH 79 DEGREES 32 MINUTES 29 SECONDS EAST 254.79 FEET TO A POINT OF TANGENT; THENCE NORTH 76 DEGREES 18 MINUTES 19 SECONDS EAST ALONG SAID NORTH LINE OF THE PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184 AND SAID EXISTING RIGHT OF WAY LINE 182.84 FEET TO THE NORTHEAST CORNER OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184, SAID POINT BEING ALSO IN THE WESTERLY RIGHT OF WAY LINE OF WINDY HILL DRIVE PER WINDY HILL FARM SUBDIVISION PHASE 1 P.U.D., RECORDED SEPTEMBER 5, 2000 AS DOCUMENT NUMBER R2000-095341; THENCE SOUTH 13 DEGREES 48 MINUTES 54 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184 AND SAID WESTERLY RIGHT OF WAY LINE 57.26 FEET; THENCE SOUTH 79 DEGREES 50 MINUTES 33 SECONDS WEST 292.39 FEET; THENCE SOUTH 88 DEGREES 00 MINUTES 07 SECONDS WEST 14.07 FEET TO THE WEST LINE OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184, SAID LINE BEING ALSO SAID EAST LINE OF THE PROPERTY DESCRIBED BY DOCUMENT NUMBER R91-004623; THENCE NORTH 00 DEGREES 14 MINUTES 33 SECONDS WEST ALONG SAID WEST LINE 23.00 FEET TO THE POINT OF BEGINNING OF SAID PARCEL, IN WILL COUNTY, ILLINOIS, containing 4.681 acres, more or less.

Commonly known as 853 North Lincoln Highway, Frankfort, Will County, Illinois, which is the property subject to the previously described application for a Special Use Permit, is hereby granted said Special Use Permit for an assisted living facility in the B-2 Community Business Zoning District to permit the operation of Oasis Senior Living, in accordance with the reviewed plans, public testimony, and Findings of Fact, conditioned upon final engineering approval, the replacement of any damaged sections of public sidewalk, that the base of any future ground sign shall be consistent with the materials of the wainscot of the building, and that the facility's bus be parked on the west side of the building.

SECTION 2. REPEALER

That all other ordinances or parts or provisions of ordinances of the Village of Frankfort, which are inconsistent with this Ordinance, are hereby expressly repealed.

SECTION 3. ZONING MAP AMENDMENT

That the Zoning Map of the Village of Frankfort is amended to reflect the Subject Property is granted a Special Use Permit for an assisted living facility in the B-2 zoning district, as provided under this Ordinance and the Village of Frankfort Zoning Ordinance, as amended from time to time.

SECTION 4. SEVERABILITY

In the event any word, phrase, clause, sentence, paragraph, provision, or section of this Ordinance or any portion thereof shall be held to be unconstitutional, unenforceable, or void, the same shall not affect the validity or enforceability of any remaining words, phrases, clauses, sentences, paragraphs, provisions, or sections thereof.

SECTION 5. EFFECTIVE DATE

This Ordinance shall take effect after its passage, approval, and publication in pamphlet form, as regulated by law.

PASSED this __ day of ____, 2022; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA PETROW	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Public Hearing: 8531 W. Lincoln Highway – Oasis Assisted Living (Ref #106)

Chris Gruba presented the staff report.

Sam Martin, the architect and representative of the applicant, approached the podium. The proposed development was for an assisted living facility. The organization he represented had over fifty other locations in multiple other states, though this would be the first location in Illinois. A market analysis showed that the Frankfort area needed 200 additional beds to meet the expected demand for assisted living facilities. The architecture of the building was designed with the nearby neighborhood in mind, aiming to match what was already there. He had met with the local Homeowner's Association for Windy Hill Farm and felt they were able to address the residents' concerns and did their best to match their visions for the neighborhood. Turning to the prospective residents, the applicant was of the mind that the prospective residents of Oasis would have spoiled their children while raising them, and the applicant was looking to do the same for the residents now at the proposed facility. He explained that everyone would require a similar service at some point in their lives and wanted to make sure that residents felt a part of a community rather than set aside by their relatives and by society. Those factors were considered when he chose the location of the facility.

Chair Rigoni asked the members of the Plan Commission if they had any initial questions for the residents.

There were none.

Chair Rigoni asked if there were any members of the public who wished to give comment.

Patrick Shea approached the podium. He had been a resident of Frankfort for 20 years, and recently retired to Windy Hill. He had driven past Windy Hill along Lincoln Highway for many years and always appreciated how the area looked. In his opinion, a facility the size of the current proposal ought to have an entrance off of Route 30 rather than Windy Hill Drive. He understood that kind of adjustment to the proposed plans would require IDOT involvement, but felt that it was necessary. Having an entrance on Windy Hill Drive would negatively impact both the road and the neighborhood. Ultimately, he expected that there would be some need to ask for a traffic signal to be installed eventually, anyway. He said he appreciated the need for places like this, but felt that this was too ambitious a project for this location. He made clear he was not an engineer, but he was still skeptical that overland flow and drainage would work as was suggested by the Village's engineering consultants after reviewing the plans. He didn't feel like the Village should make exceptions for this project.

Ron Fries approached the stand. He said he had been a Frankfort resident for over 50 years. He moved to Windy Hill, and had a great view of an idyllic spot, one of the last in Frankfort. It would be a shame to lose that green space for this development. What originally drew him to the neighborhood was the aesthetic, as was mentioned by the previous speaker. The Plan Commission knew as well as the neighbors did how additional residences would impact Village services. There were already traffic issues on Windy Hill Drive, including a recent collision, which would only get worse with this development. He hated to see this space converted from green space to this proposed development. He felt bad for future residents of the development who would have to listen to semi-trucks braking to stop along Lincoln Highway. He said he would respect the Plan Commission's decision for the Village with 1890's charm.

Bunny Mashione approached the stand, a resident of Windy Hill Farm. She agreed with the other people who had spoken, that this was not an appropriate spot for this development. She did not know why the applicant could not build across Lincoln Highway. The proposed development would ruin Windy Hill Farm. An additional stop light at that intersection would not be good for the neighborhood. There would eventually be a death at that intersection. Traffic was bad already at that intersection, and this was not the place for this building. She asked why the plans had changed from one building to four. In addition, she believed the proposed retaining wall was a bad idea. A cinder block retaining wall would take away from the visual appeal of Windy Hill Drive. Someone would be killed turning off of Windy Hill Drive onto Route 30. The other option for people leaving the neighborhood would be to exit onto Pfeiffer Road, which was also not a good option. She was also concerned over drainage on south side of the property. The proposal included covering a stream, which she did not like. The neighborhood's residents moved to Windy Hill for its visual appeal, and now it would be lost. She asked if there would be four buildings on the property.

Chair Rigoni clarified there would be only one.

Bunny Mashione asked if there would be a memory wing.

Chair Rigoni stated that there would be, as part of the same building.

Bunny Mashione continued saying she felt the Plan Commission had made up their minds already. She asked if the Plan Commission had.

Chair Rigoni thanked her for her comments.

Bunny Mashione asked if the Plan Commission would answer her question.

Chair Rigoni responded that the procedure for a Public Hearing was to take public comments before the Plan Commission deliberated and voted on its recommendation.

Bunny Mashione stated that she and her neighbors were all opposed to the development. She said she would like the Village to send out a survey to get more input from the Windy Hill residents. The proposed development would impact their lives. Her own property looked out over the site of the proposed development. The Village ought to send a survey to every home in Windy Hill to let them know what was going on at this property. She would like the survey to show the Windy Hill Drive entrances, which would be seen as an issue by the residents. This development was a big mistake. The applicant could develop on the north side of Lincoln Highway, since the land was for sale. This was wrong. She asked the Plan Commission to please consider sending a survey to Windy Hill residents for their input, she wanted them to know about the entrances which would be considered a big problem. Someone would get killed.

Rita Starkey approached the stand, she was a resident of Windy Hill Farm. She explained that she had brought up her concerns at the workshop and neighborhood meeting. She had asked at the workshop for Oasis what the license for the development was for. She was told it was for senior citizens, but in reality, it was for assisted living. In her experience in other communities, there was another development which was described as a senior project. Due to a lack of seniors, the assisted living facility was expanded to help a greater range of people who fell under assisted living definition. Eventually, the residents became a problem as staff closed and the residents would knock on doors and windows in the neighborhood and try to enter other people's property. She could not imagine that in her neighborhood. She was aware that other senior facilities around Frankfort are struggling to fill capacity. If they couldn't fill up, this proposal would also struggle to fill all its beds. Then it would turn into same situation she had experienced in another community.

Terry Colins approached the stand. He said that he liked that the applicant was helping people, but didn't like that the buffer between the building and other properties was only 35 feet. He asked if there were only 35 feet between the building and the road.

Staff responded that it was 64 feet from road to building, 35 feet of which was a landscaped area starting from the south property line.

Terry Colins responded that he recalled a 250' notification being sent out. He asked why it was sent out.

Staff said it was village policy, a courtesy, to send out notification letters to properties within 250' of the proposal.

Terry Colins asked how the 250' was calculated.

Staff responded that 250' was measured from the property line of the proposed development.

John Burgess approached the stand, he lived near this proposed facility. He asked first what the barrier between the south property line and his back yard was,

Chair Rigoni explained there was 35 feet of green space, and asked staff to display the landscape plan.

Staff displayed the landscape plan on the screen.

John Burgess asked if there would be a line of trees, a road, and then the building when moving from the south property line of the proposed development to the north.

Chair Rigoni confirmed he was correct.

Commissioner Knieriem added that there would be a grass area between the line of trees and the road.

John Burgess then asked about lights. He and his neighbors had homes that overlooked the subject property. They lived on a hill. If he wanted to look at a facility out from his bedroom window, he would have to move somewhere else. He said he did not understand why the applicant would choose to build at that location, it was frustrating to him.

Bunny Mashionis returned to the stand. She was concerned about the stream which was proposed to be filled in. She said she loved the wildlife that came through the area. She asked if the trees in the back be removed. She added that 35' was not a large area of landscaping. She said she felt it was a done deal, and she wished the board would just tell the public what they planned to do. She claimed the current notification process was insufficient.

Dan Anderson approached the podium. He said he lived across the street from the proposed facility. He said he would see a roof out over Lincoln Highway if this proposal was built. He had paid an extra \$10,000 for the view he currently had. He added that to put the entrance to the facility on Windy Hill Drive was ridiculous, and that there was no room for it. He asked why the applicant would build on the subject property when there were other places to build. He agreed with all others who had made comments. He noted that his view would be ruined, no more greenery or wildlife. It would also negatively impact his property values.

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Motion (#9): To close the public hearing.

Motion by: Schaeffer Seconded by: Knieriem

Approved: (6-0)

Chair Rigoni asked the members of the Plan Commission to be sure they addressed public comments regarding the engineering, lighting, and overall use. She asked staff if there were any variations requested or any other motions besides the Special Use Permit.

Staff responded the only request was for the Special Use Permit.

Chair Rigoni explained that engineering was not under the purview of the Plan Commission, but there were some concerns from the public regarding stormwater flow. She asked staff to clarify what the engineering documents showed.

Staff noted that there were existing storm pipes on site already, and that all water would drain towards Hickory Creek to the southeast.

Chair Rigoni asked if stormwater detention for the subject property was accounted for when Windy Hill was originally approved.

The engineer, Tom Carroll, approached the stand. He said that yes, this parcel had been accounted for to a certain level of impervious coverage, which the current proposal was under. Stormwater pipes were installed as well as a water main and sewer. This site was designed to be developed when the area was initially annexed into the Village of Frankfort. Stormwater would drain to the south and east, while the properties abutting the subject property to the south would drain to the north and east, away from the existing townhomes.

Chair Rigoni asked the Plan Commission if they had any drainage questions.

Commissioner Knieriem asked if the applicant planned to fill the creek.

The engineer responded that they would. It was considered a drainage way, and some culverts were put in during the initial development, catch-basins as well. The creek would be filled in. They were working with the Army Corps of Engineers to get a permit to fill in the creek.

Chair Rigoni asked if there were any questions regarding traffic.

The architect stated that the traffic impact would be minimal. Residents did not typically drive, and even those residents with cars would rarely move them. There would be three shifts of employees, from 7:00 to 3:00, 3:00 to 11:00, and 11:00 to 7:00. Employees

coming and going would be the main driver of new traffic. There would be some staggering in departure times and arrivals for different shifts. Staff could not leave the premises for meals. Deliveries would be made in the early morning, and the delivery vehicle would be the size of a large U-HAUL or a box truck, not a semi-truck. Deliveries would only take place once a week around 7:00 AM.

Commissioner Markunas asked if the applicant offered transportation for residents.

The architect responded that yes, there would be a bus for to take residents on trips. Most residents liked to have their doctors visit them on-site, and he would like to accommodate this if possible. The doctors would visit once or twice a month.

Commissioner Markunas asked what the applicant's experience was with applicants walking around.

The architect responded that building would be secured and that anyone would need a code to get in or out. Independent residents could come and go as they please, but most tended to come home early and be in bed around 7:00 in the evening. Many residents would be forgetful and would not be able to lock the door very well. The applicant explained that the facility would do what they could to maximize the residents' comfort. Residents did not usually wander, and facilities were provided to address residents' needs for exercise and movement. The building was also designed to have courtyards which would provide a safe outdoor space for residents. Some residents may have pets, such as small dogs or cats, which would be allowed in the courtyard. Any resident outside the facility was usually accompanied by caregivers.

Chair Rigoni asked what kind of in and out traffic could be expected.

The architect responded that it would be mostly employees, since few relatives come visit and are often out of state. Relatives of residents who visit daily were uncommon.

Chair Rigoni thanked the applicant, and explained that she was trying to gauge how other permitted uses in the B-2 Community Business district would alternatively impact traffic.

The architect added that the proposed development would have a lower traffic impact than typical retail.

Chair Rigoni asked if there were any other traffic comments.

There were none.

Chair Rigoni noted that there had been some changes to the design since the workshop. She asked the other members of the Commission if there were any comments on the use.

DRAFT

Commissioner Knieriem said he had no issue with the use. There could be something more impactful on that site, like a business or a restaurant with a drive-thru. This was likely one of the least impactful developments possible for this site. He understood why people would not like the proposal, but the alternative could be worse.

Commissioner Schaeffer agreed. She added that this parcel would be developed anyway. In regard to the comments about views and roofs, this property was never intended to stay green. The applicant took great care to blend their proposed architecture with community.

Commissioner James agreed. He stated that he lived near Wolf Road, and commonly saw the other facilities. He noted that the number of vehicles going in and out of those facilities was minimal, and said he would expect the same level of traffic at this property. He asked the applicant to address the concern around licensing and age of residents.

The architect explained that residents must be 55 years of age or older, and that the license was for a care facility. Most residents would be those who lived on their own and needed help. The applicant did not receive a license to help and/or care for people with mental disabilities. Even if he wanted to, his license would not allow it.

Commissioner James confirmed that there would be no ability to take in younger adults with special needs.

The architect agreed that this facility could not take them in.

Commissioner Markunas agreed that the proposed use was the least impactful use for this site. He asked that the photometric plan be displayed to help address residents' concerns about lighting.

The photometric plan was placed on screen.

Staff noted that all but one of the lights to be installed on south side pointed down at the ground.

Commissioner Markunas noted that he was reading a measurement of 0 foot-candles on the south property line.

Staff agreed and added that those measurements met code. There was also one light pole on the south side of the property, and per the submitted specifications, they were shorter than typical light poles.

Commissioner Markunas noted that the discussion has not yet factored in the proposed vegetative screening along the south property line.

Commissioner Jakubowski stated she did not have much to add. She had visited other locations, and in those places the memory care wings were full. She added that there was a need for facilities like the one proposed. This property was always supposed to be developed, and this was the least impactful use.

Chair Rigoni asked the Plan Commission to give staff direction on the proposed trees. She noted that they went from a workshop where 15 feet of landscaping was provided as separation, to the currently proposed 30 feet for landscape screening. Architecture and other site considerations had been made to mitigate any adverse impact on neighborhood. This was a commercially zoned property and many other developments could be built on this site which would have a greater impact on the neighborhood. The Plan Commission had not yet made their decision. She asked the Plan Commission their opinion on the increased number of evergreen trees and the decreased number of deciduous trees.

The members of the Plan Commission all agreed it was a good change.

Chair Rigoni asked how tall the trees would be at the time of installation.

Staff responded that they would meet the requirements of the Landscape Ordinance, and believed they would be 6' tall.

Chair Rigoni asked what time garbage collection would take place.

The architect estimated it would be early in the morning, around 7:00 AM for food deliveries. For garbage collection, he would coordinate with the neighborhood to find a time that would be the least disruptive.

Chair Rigoni stated she wanted to be clear what the applicant meant by "really early," and explained that the delivery times were within the Village's allowed hours of operation.

The architect suggested that deliveries could be later in the morning too, between 8:00 and 10:00 AM.

Chair Rigoni asked staff if they wanted the Plan Commission to discuss any other topics.

Staff requested the Plan Commission discuss the proposed architecture and materials.

Chair Rigoni asked the members of the Plan Commission if they had any comments.

There were none.

A member of the public asked if she could comment.

Chair Rigoni responded that the public hearing had been closed.

Staff clarified that if it was the desire of the Plan Commission, they could re-open the public hearing.

Motion (#10): To reopen the public hearing.

Motion by: James

Seconded by: Knieriem

Approved: (4-2, Commissioner Knieriem and Commissioner Schaeffer voted no)

Bunny Mashione approached the podium. She said that the neighbors understood the subject property would be developed at some point. She had experience being on a board before, and knew that the Plan Commission had the power to decide what would and what would not be able to locate at the subject property.

Chair Rigoni asked that Ms. Mashione ask her question and stay on topic.

Bunny Mashione continued, saying the neighbors knew something was coming, they just did not expect a development of the size proposed. The Plan Commission has the ability to say what does or does not go on that site. Office would be nice there, but the Plan Commission had the ability to decide what went there.

Chair Rigoni thanked Ms. Mashione for her comments.

Rita Starkey approached the podium. She explained that she was not against the development, rather she was scared because the change from senior living to assisted living created a gray area. She asked the Plan Commission how the neighbors can be certain that the applicant only trades in who they say they will at this meeting.

Chair Rigoni responded that the applicant was on record saying what they will do, and they will be held to that.

Motion (#11): To close the public hearing.

Motion by: Knieriem

Seconded by: Schaeffer

Approved: (6-0)

Chair Rigoni asked members of the Plan Commission if they had any other questions.

Commissioner Schaeffer asked staff whether their question for clarification on what would happen with the entrance sign along Lincoln Highway was directed to the Plan Commission or to the applicant.

DRAFT

Chair Rigoni stated that the submitted plans stated the sign would remain.

The architect and engineer affirmed their intention to keep the sign.

Commissioner Schaeffer asked staff if their question was answered sufficiently.

Staff said it was, and noted the existence of an easement by the sign.

Commissioner James asked if the Plan Commission could set a requirement for where bus would be parked.

Chair Rigoni said they could.

Commissioner James stated he would like the bus parked on the west side of the property.

Commissioner Schaeffer asked where the trash enclosure was moved to.

Chair Rigoni indicated where the trash enclosure was moved to. She asked if the Plan Commission wanted to add bus parking as condition.

Commissioner James and Commissioner Markunas said they did.

Chair Rigoni asked the members of the Plan Commission if they were comfortable with the received public testimony.

All members responded by stating that they were.

Chair Rigoni asked staff if they needed any direction in regard to landscaping.

Staff said that the minutes reflected that the landscaping was acceptable. Staff then asked if any members of the Plan Commission wanted to make comment on the proposed retaining wall.

Chair Rigoni stated they should match Chase Bank on La Grange Road, which the applicant had cited as an example.

Staff asked the Plan Commission if they had any preference for color.

Commissioner Markunas said it should match the building.

Chair Rigoni asked if there were any other questions or comments.

There were none.

Motion (#12): Recommend to the Village Board to approve the Special Use Permit for an assisted living facility, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned upon final engineering approval, the replacement of any damaged sections of public sidewalk, that the base of any future ground sign shall be consistent with the materials of the wainscot of the building, and that the facility's bus be parked on the west side of the building.

Motion by: Schaeffer

Seconded by: Markunas

Approved: (6-0)

Motion (#13): Recommend the Village Board approve the Final Plat of Subdivision for Oasis Senior Living, in accordance with the reviewed plans and public testimony, subject to any technical revisions prior to recording and conditioned upon final engineering approval.

Motion by: Schaeffer

Seconded by: James

Approved: (6-0)

Chair Rigoni thanked the architect for hosting the neighborhood meeting. The Plan Commission often asks applicants to hold them, but they don't always happen.

Draft

Project: Oasis Assisted Living
Meeting Type: Public Hearing
Requests: Special Use for Assisted Living Facility, Final Plat
Location: 8531 W. Lincoln Highway
Applicant: Oasis Senior Living, Inc.
Prop. Owner: MT Leasing Inc.
Representative: Tahir Khan

Site Details

Lot Size: 203,861 sq. ft. (4.68 acres)
PIN(s): 19-09-23-300-031-0000
Existing Zoning: B-2
Proposed Zoning: N/A
Future Land Use: General Commercial
Buildings: 1
Total Sq. Ft.: 75,074 sq. ft. (bldg.)

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Undeveloped	General Comm.	
North	Undeveloped	Mixed Use	E-R
South	Townhomes	Single Fam. Attached Res.	R-5
East	Undeveloped	Comm.	B-2
West	Com. P...	General C...	

Project Summary

The applicant, Oasis Senior Living, Inc. is proposing to construct an 82-unit assisted living facility at the southwest corner of Route 30 and Windy Hill Drive. Assisted living facilities are permitted in the B-2 zone district with the issuance of a Special Use Permit. The project will also require approval of a Final Plat of Subdivision to create a lot of record, as the property is unsubdivided. A Final Plat would also grant new easements (storm/detention, water, sanitary, etc.). As currently proposed, the project will not require any variances (setbacks, lot coverage, building height, etc.). The site is currently disused, with two abandoned structures that would be removed as part of the development. The site contains a moderate number of existing trees, some of which are preservation trees.

Attachments

1. Aerial Photographs (VOF GIS)
2. Color renderings and materials, received September 1, 2022
3. Special Use Permit – Findings of Fact, applicant responses, received March 2, 2022
4. Stormwater Management Report, Geotech Inc., received April 14, 2022
5. Storm Sewer Analysis, Geotech Inc., received June 8, 2022
6. Stormwater atlas map of the site (Village of Frankfort)
7. NPDES Permit from IL EPA, received September 6, 2022
8. National Wetlands Inventory Map of subject property
9. Retaining wall photo example (Chase Bank), provided by applicant, received September 1, 2022
10. Retaining wall block detail, provided by applicant, received September 1, 2022

11. Photographs of site, taken by staff on May 13, 2022
12. March 10, 2022, PC-ZBA meeting minutes excerpt (workshop)
13. Plat of Survey, received October 21, 2021
14. Site Plan, Geotech Inc., received August 17, 2022
15. Final Plat, Geotech Inc., received August 10, 2022
16. Improvement Plans, received September 14, 2022
17. Existing Tree Plan (tree survey), received February 16, 2022
18. Preliminary Landscape Plan, received August 17, 2022
19. Auto-Turn Plan (truck turning radius), received August 9, 2022
20. Building Elevation drawings, received August 15, 2022
21. Floorplan, received September 14, 2022
22. Photometric Plan, received June 8, 2022
23. Trash Enclosure Detail, received August 15, 2022

History

PC-ZBA Workshop, March 10th:

This project was heard before the Plan Commission as a workshop on March 10, 2022. An excerpt of the meeting minutes from that date have been attached to this report. Below is a summary of the comments provided during the workshop. These comments were made by one or several commissioners and may not reflect the opinion of every commissioner. Staff has provided updates to these comments in italics.

1. The proposed assisted living building should blend with the architecture of the adjacent Windy Hill Farm Condos subdivision. *No changes made to elevation. The applicant had stated that the intent of the proposed masonry and cement board siding was to provide a residential appearance.*
2. The landscape buffer along the south side of the property should be increased from the proposed 14' width to provide a better visual and acoustic buffer between the proposed assisted living facility and the existing townhomes to the south, especially if delivery trucks would be loading and unloading in the south drive aisle. If possible, this landscape buffer could be at least 25' wide. *The landscape buffer was increased from 14' to 25.5', with additional landscaping material added.*
3. The tree removal would be significant, and the applicant should try to preserve some of the existing mature trees. *None of the existing trees on site will be preserved, although most of the existing trees within the rights-of-way of Route 30 and Windy Hill Drive will be preserved.*
4. The proposed trash enclosure should be moved further away from the existing townhomes to the south. *The trash enclosure was moved along the south property line to the west property line (still within the southwest corner of the site). The distance from the south property line was increased from approximately 7' to 44.7'.*
5. The building elevation facing Route 30 should include more brick. *The original building materials included cultured stone and cement board siding; no brick was ever proposed. The building elevations have not been changed since the workshop meeting, although the renderings were revised to reflect the actual proposed color of the building.*
6. Color building elevations should be provided prior to the public hearing. *Non-scaled revised color renderings have been provided to illustrate the four primary materials and true colors.*
7. Decorative fencing should be provided similar to what is existing near the entrance of Windy Hill to create a more unified look. *The Landscape Plan illustrates decorative fencing on either side of both access drives along Windy Hill Drive to match the existing fencing at the northeast corner of the property. The proposed fencing would match the existing fencing in terms of materials, height, design, and color.*
8. The applicant should plant physical stakes along the south property line for the Commission to visualize the setback from the townhomes. *Stakes were installed along the south property line on June 9th, 2022 and the Plan Commission was notified.*

Neighborhood Meeting, August 23rd:

On August 23rd, the applicant hosted a neighborhood meeting at the Frankfort Public Library. The intent of the meeting was to explain the project, including changes to the plans since the workshop meeting and answer any questions from the public. The meeting was attended by approximately 30 people, mostly residents of the Windy Hills Farm Condos, located south of the subject property. The meeting lasted approximately 1 hour. Residents were encouraged to attend the future public hearing for the project.

During the meeting, residents had several concerns and questions. Summarized, they included:

1. The proposed assisted living facility is too close to other assisted living facilities in the area, saturating the market.
2. Delivery trucks would be noisy.
3. The assisted living facility should not be located on a major thoroughfare (Route 30), because it is extremely noisy and would be disruptive for residents.
4. The assisted living facility will be ugly to look at from the existing townhomes, especially the trash enclosure.
5. It seems that one dumpster is not enough to serve 82 units.
6. The assisted living facility would be better suited for the undeveloped property on the east side of Windy Hill Drive (approximately 3.5 acres).
7. The intersection of Windy Hill Drive and Route 30 needs a traffic light.
8. It was asked if the facility could still be profitable if there were significantly less than 82 units.

Some of the applicant's responses included:

1. The only regular trucks on-site would be food trucks, smaller box trucks and garbage trucks. Food deliveries take place at 7 am.
2. The dumpster would be enclosed with an enclosure to screen it from view, as well as heavy landscaping along the south property line. Both the trash enclosure and the building would be partially screened from view by the proposed landscaping.
3. The assisted living facility is only 1 floor because most residents want to live on the 1st floor.
4. The single dumpster would be emptied once a week, which they believe is adequate for their needs.
5. To qualify, a potential resident only needs to be age 55 or older. They can move in while they are completely independent.
6. The units are not bought; they are leased. The leasing can be month-to-month. There is no down payment (\$30,000 is sometimes typical). Oasis' units are typically slightly more affordable than other assisted living facilities in the area.
7. Oasis currently has facilities in five or six other US states, including Michigan.
8. The facility would be licensed by the State of Illinois.
9. Oasis does not take in residents that are "mentally challenged" but do accept people with dementia.
10. The facility is secured at every door and pass keys are required to enter and exit. The facility is not easy to enter illegally or trespass. Residents would be free to enter and exit as they wish, except for the memory care patients.
11. There would be no doctors or nurses employed at the building, but they will be allowed to come to the building for house calls.
12. Under the rare instances when residents become combative, the most likely reason is that they are on the wrong medication. Correcting the medication usually corrects behavior. Oasis has never had to remove a resident because of misbehavior at any of their locations.

13. Oasis would maintain the entire property, including the grounds.
14. Oasis expects to have the building 80% occupied within 6 months after opening.
15. The applicants chose Frankfort for their assisted living facility because of Frankfort's reputation as a desirable community.
16. The facility's location on a major thoroughfare is desirable because it allows easy access to the and from the building, such as when children might pick up their parents and take them out to dinner. They believe that the traffic noise from Route 30 would not be an issue due to building insulation.
17. Building signage location has not yet been determined, but they do intend to install a ground sign.
18. For residents who are able to drive, staff offers to clean off cars and warm them up in the wintertime for residents.
19. The undeveloped 3.5-acre parcel to the east is too small for the proposed assisted living facility, which is why they pursued the 4.68-acre subject property.
20. The applicant has purchased the property.
21. A traffic light at the intersection of Route 30 and Windy Hill Drive is not proposed. Route 30 is under the jurisdiction of IDOT, which determines when a traffic light is merited.
22. The facility would not reserve a certain number of units for people on Medicaid, because they are not required to, nor do they wish to do so.
23. The units would be leased for approximately \$4,500 per month.
24. Per the applicant's market research, the Frankfort area is deficient in 150 assisted living units and therefore the demand exists.
25. Each unit has a kitchen setup, containing a microwave, toaster, Keurig machine and sink. However, there is no stove because meals are prepared by staff. Meals and snacks can be delivered door to door if the resident desires. The meals are 99% homemade.
26. Each resident does not have a designated parking space because most residents don't drive. Most residents live in the building because they need assistance.

Summary of changes:

Staff has noted the following changes to the plans since the workshop on March 10th and the neighborhood meeting on August 23rd:

1. The building has been shifted north slightly, to allow for a wider landscape setback along the south property line. There were previously two rows of parking along the front of the building facing Route 30. The rows have now been split up with one row of parking along Route 30 and one row of parking along the west side of the building.
2. The landscape buffer along the south property line has been increased from 14' to 33.45' and more vegetation has been added in this area.
3. The northern driveway was shifted further north when the building was moved further north.
4. The apron on the northern driveway has been widened (flared out) at the request of Village staff to make it easier for southbound traffic on Windy Hill Drive to navigate around any vehicles turning into the assisted living facility.
5. The unit count was increased from 78 to 82. There are now more studio units and less 1-bedroom units.
6. A retaining wall was added to the northwest corner of the site, measuring approximately 300' long and 7' tall at the highest in the middle. The retaining wall tapers to meet grade at either end of the wall.
7. The trash enclosure has been moved from along the south property line to the west property line (still in the same vicinity, but further away from the existing townhomes). The setback from the trash enclosure to the south property line has been increased from 7' to 44.7'.

8. Decorative fencing was added on both sides of both access drives along Windy Hill Drive to match the existing fencing at the northeast corner of the property. The proposed fencing would match the existing fencing in terms of materials, height, design, and color.

Analysis

2019 Comprehensive Plan

The Village's 2019 Comprehensive Plan illustrates the subject property as "General Commercial". The "General Commercial" designation roughly translates to a zone district of B-1, B-2, B-3 or B-4. The subject property is currently zoned B-2 (Community Business). The Village's Comprehensive Plan is largely silent regarding senior housing or assisted living/memory care facilities, although the plan does encourage providing "a mix of housing options to meet community needs" as part of Goal 7.1.

Zoning

The subject property is currently zoned B-2, Community Business, which allows for assisted living facilities contingent upon issuance of a Special Use Permit. Assisted living facilities also require a Special Use Permit in the R-4 (Attached Single-Family Residential) and the H-1 (Historic) zone districts. They are permitted by-right only within the B-3 zone district. Rezoning of the subject property is not required or recommended. It should be noted that the project was designed without the need for any variances, as this project was designed as a PUD in which "exceptions" to the regulations in the Zoning Ordinance could be requested.

Dimensional Table

	Required	Proposed	Notes
Minimum Lot Size	20,000 sq. ft.	4.6 acres	Existing parcel unchanged
Minimum Lot Width	100 ft.	631 ft. (approx.)	Measured along Route 30
Front Setback (north)	150 ft.	150 ft.	Measured to Centerline of Route 30
Landscaped front yard (north)	25 ft.	30.76 ft.	
Corner Side Setback (east)	50 ft.	80.54 ft.	
Side Setback (west)	50 ft.	70.49 ft.	15' required when <i>not</i> adjacent to res.
Rear Setback (south)	50 ft.	64.15 ft.	30' required when <i>not</i> adjacent to res.
Building Height	35 ft.	24 ft. 4 in.	(35' 4" to top of decorative cupola)
Lot Coverage	75% Max	36.80%	
Impervious Lot Coverage	75%	58.30%	

Parking & Loading

1. Assisted living facilities require 0.5 parking spaces for each dwelling unit, plus one for each employee during the largest working shift. There are 82 dwelling units, and the applicant has noted that there would be up to 12 employees at any one time, requiring a total of 53 parking spaces. The site plan illustrates 55 parking spaces, 3 of which are ADA accessible, meeting this code requirement.
2. For the plans presented at the workshop meeting, all parking was located in the front yard between the building and Route 30. The parking field has now been split up, with one row of parking in the front yard and one row along the side yard to the west. The row of parking along the west side property line will be less visible from Route 30, being screened from view by the building and a row of evergreen landscaping along the west property line.

3. The Zoning Ordinance requires a minimum drive aisle width of 20' when serving one row of parking. The drive aisles adjacent to parking stalls range from 20' - 24' wide, meeting this requirement. A 20' wide drive aisle is the minimum width required by the Fire District.
4. All parking spaces measure 9'x18', meeting the minimum code requirement.
5. The Zoning Ordinance is silent regarding off-street *loading* requirements for assisted living facilities, although in general loading areas may not be located in a front yard. It is typical for assisted living facilities to receive deliveries by smaller "box trucks". The site plan illustrates four pedestrian entrances along the south building façade, with sidewalks leading to the southern access drive. At the workshop meeting on March 10, 2022, the applicant noted that deliveries would be made in the drive aisle along the south property line, completely screened from Route 30 and mostly screened from Windy Hill Drive.
6. Concrete curbs are required for all paved areas and have been provided.

Access and Circulation

1. Per the Village's 2007 Master Transportation Plan, Route 30 is classified as a "Regional Arterial" and Windy Hill Drive is classified as a "Neighborhood Collector". Route 30 is under the jurisdiction of IDOT, while Windy Hill Drive is operated and maintained by the Village. Two access points (driveways) are proposed along Windy Hill Drive, which have been reviewed by both the Public Works Department and the Village's Engineering consultant. The existing driveway access to Route 30 would be closed. Driveways were proposed along Windy Hill Drive instead of Route 30 due to the slow permit review process for roads under IDOT jurisdiction and because IDOT was unlikely to grant a driveway permit within proximity to the existing intersection.
2. On all business lots with over 200' of frontage, two points of ingress/egress may be permitted, measuring at least 20' wide. The site plan illustrates two points of ingress/egress to Windy Hill Drive, measuring 24' wide and 20' wide, meeting this requirement.
3. A traffic study may be requested by the Village but is not required. Typically, residents of assisted living facilities do not drive to and from the building and the applicant noted the same during the workshop meeting. A traffic study was not requested during the PC-ZBA workshop meeting.
4. Sidewalks currently exist within the rights-of-way along both Route 30 and Windy Hill Drive and would remain. If the existing sidewalks are damaged during construction, those damaged portions must be replaced. This requirement has been added as a condition of approval.
5. A 6' wide sidewalk has been provided connecting the front entrance of the building to the existing sidewalk along Windy Hill Drive, meeting code.
6. Although not required by code, the Village requested that the northern driveway apron be flared into a partial turn lane, or tapered turn. This flared driveway is intended to provide more space for vehicles to enter the site from Windy Hill Drive, being cognizant of the small, landscaped median within Windy Hill Drive closer to Route 30.

Floorplan

The current floorplan illustrates 82 residential units, whereas 78 units were originally proposed during the workshop meeting. The breakdown of unit types is as follows:

Current 82-unit floorplan:

- a. Memory care units: 26
- b. Studio units: 31
- c. One-bedroom units: 21
- d. Two-bedroom units: 4

Former 78-unit floorplan:

- a. Memory care units: 26
- b. Studio units: 20
- c. One-bedroom units: 28
- d. Two-bedroom units: 4

Architectural Style and Building Materials

1. The Zoning Ordinance requires that new construction within the B-2 zone district shall:
 - a) *Have an original and unique design.* The building exterior would be constructed of cultured stone and cement board siding. The roof would be constructed of asphalt shingles, although metal roof accent panels would be used over the front window.
 - b) *Shall be consistent with the architectural design, height, massing, and materials of adjacent properties.* The building architecture and materials convey a more residential design to blend in with the adjacent townhomes. The adjacent townhomes to the south have a masonry (river rock) wainscot with board & batten siding. Both the assisted living facility and the existing townhomes would have pitched roofs with asphalt shingles.
 - c) *EIFS should only be used for accent features.* No EIFS is proposed for the assisted living facility.
 - d) *Brick or masonry materials shall be used on all sides of non-residential development.* All sides of the proposed building contain some cultured stone veneer, either rising to the height of wainscot or sometimes extending to the eave of the roof.
 - e) *Flat and mansard roofs are discouraged.* A hipped roof is proposed for the assisted living facility, which is common for residential structures.
 - f) *Colors schemes should consider the character of other structures in the area. Excessively bright colors should be used only as accent features.* The proposed building will have mostly neutral colors (see attached colored renderings with proposed building materials).

Grading

1. There is a noticeable existing slope on the subject property. The site is highest at the northwest corner near Route 30 and lowest along the frontage of Windy Hill Drive. Cut and fill will be required to level out the property.

2. A single retaining wall is proposed at the northwest corner of the site. The proposed wall would vary in height, tapering at either end of the wall. The wall would be highest in the middle where it bends, measuring approximately 7' tall max. A detail of this retaining wall is included on Sheet 3 and the applicant has also provided a copy of the manufacturer specifications (attached). The proposed retaining wall would be most visible from the proposed building, not Route 30, since the grade drops down from Route 30. As such, the parking spaces near this retaining wall will appear recessed when viewed from Route 30 or the property to the west, visually screening those parking spaces. The Design Standards note that walls taller than 2.5' or longer than 50' require review and approval by the Plan Commission (the retaining wall meets both criteria). Approval of such walls by the Plan Commission is an acknowledgement, not a variance.

Stormwater & Drainage

An extensive amount of preliminary engineering work was conducted after the workshop meeting but before the public hearing. After thorough review by Robinson Engineering, it was determined that the site may utilize existing and proposed infrastructure and drain into the existing detention pond on the east side of Windy Hill Drive. This pond then empties into Hickory Creek further east. There is no additional stormwater detention required or provided.

Floodplains and wetlands

There are no existing floodplains on the subject property. A 51-page wetland report submitted to the Village on July 8th concluded the presence of a small "potential jurisdictional wetland area totaling 0.03 acres" and a "potentially jurisdictional stream measuring 373 linear feet". The term "jurisdictional" refers to the jurisdiction of the U.S. Army Corps of Engineers (USACE). Based on discussions with Robinson Engineering, it's staff's understanding that both the wetland and the stream would be expected to be filled in due to their relatively small sizes, regardless of whether they are within the jurisdiction of USACE, although if they are, a permit would be required from either the USACE, Illinois Department of Natural Resources or the Illinois Environmental Protection Agency.

Tree Removal & Landscaping

1. Tree Survey: A tree survey was submitted illustrating 108 existing trees on subject property and within the adjacent rights-of-way. Of these trees, 96 are located on the subject property and all will be removed. The remaining 12 trees to be preserved are located within the right-of-way of either Route 30 or Windy Hill Drive.

Of the 96 trees that will be removed, 24 are classified as "preservation trees" per the Landscape Ordinance and must be mitigated on-site. The other 72 non-preservation trees may be removed without mitigation, although the Landscape Ordinance does require other forms of landscaping (street trees, buffers, parking lot landscaping) as part of the proposed new development. Of the 24 "preservation trees", 5 of these are evergreen trees and 19 are deciduous trees.

2. Preservation Trees: The 5 evergreen preservation trees must be mitigated on-site at a 1:1 ratio for tree height. The 19 deciduous preservation trees must be mitigated on-site at a 1:1 ratio for tree caliper (trunk diameter). A total of 144' height of evergreen trees must be mitigated on-site, with 438' provided, exceeding this requirement (3 times as much). A total of 283 deciduous tree caliper must be mitigated on-site, with 96 caliper inches being provided, falling short of this requirement (3 times as little). Page 11 of the Landscape Ordinance contains a provision that can allow relief specifically from the preservation

tree mitigation requirements: *“Relief from any portion or all of the on-site tree replacement requirement may be granted by the code official”*. As such, staff seeks input from the Plan Commission as to whether an oversupply of evergreen trees would offset the undersupply of deciduous trees. In this instance, it may make more practical sense to provide more evergreen trees and less deciduous trees to provide a year-round visual screen between the subject property and adjacent properties. Conversely, the “code official” may require that all tree mitigation be met as specifically required by code.

3. **Parkway Trees (Street Trees):** The Landscape Ordinance requires one 2.5” caliper *overstory* tree for every 35 lineal feet where no overhead power lines exist. The applicant intends to meet this requirement using a combination of existing and proposed overstory trees.

	Required Street Trees	Proposed Street Trees
Route 30	13	13
Windy Hill Drive	14	16 (10 of which in ROW)

4. **Buffer Landscaping:** When a business use is adjacent to a residential zone, such use shall be screened from view (Article 6, Section C, Part 2, j). As such, landscaping is required along the south property line shared with the existing Windy Hill townhome development. This landscaping should offer year-round screening as much as possible, using mostly evergreen trees and shrubs. The landscaping requirement is located in the Zoning Ordinance, not the Landscape Ordinance. As such, it does not specify a specific amount of landscaping required, only that landscaping shall exist to provide screening. Much of the preservation tree mitigation has been added along the west and south property lines to provide a visual screening. The applicant is proposing more evergreens than is required but less overstory (canopy) trees than is required.
5. **Parking Lot Landscaping:** Landscaping is required to screen the parking spaces as well as provide landscaping within parking lot islands and fingers. A minimum 10’ wide landscape screen is required along the parking lot perimeter, consisting of 150 plant units for every 100 lineal feet. At least 75% of this landscaping must be evergreen. Each parking lot island and finger must contain one overstory tree. The proposed landscaping meets these requirements.
6. **Mechanical unit screening:** All mechanical units will be ground-mounted and located at various points on all sides of the building. These units will be screened with 30” yews.

Lighting

1. Lighting for the property will be provided in the form of light poles and building-mounted lights. The photometric plan illustrates 7 light poles and 7 building-mounted lights. The light poles would be distributed on the site with four (4) light poles adjacent to the front row of parking along Route 30, two (2) light poles adjacent to the west row of parking along the west property line and one (1) light pole near the trash enclosure near the south property line. The building-mounted lights would be distributed on the site with four (4) being placed on the south side of the building and three (3) on the west side of the building.
2. The light poles measure 20’ tall and are fitted with non-cutoff fixtures. Light poles would be 20’ tall, whereas 20’ is the maximum height permitted, complying with the Ordinance. Building-mounted lights would be positioned 10’ above grade and have cut-off fixtures. Details of the proposed light fixtures are illustrated on the Improvement Plans on Sheet 9.

3. Light levels shall not exceed 0.5 foot-candles along any property line. The photometric plan illustrates that this requirement has been met.
4. Certain zone districts, including the B-2 zone, require that new light poles be equipped with "decorative" bases. Sheet 9 of the Improvement Plans illustrates a "bell-shaped", decorative metal base for the light poles.

Other

1. The Fire District has reviewed the proposed site plan and does not have any additional comments at this time.
2. Basements are not required for this type of development per the Zoning Ordinance or the International Building Code.
3. Overhead powerlines exist within the road right-of-way of Route 30. Since these lines exist within the right-of-way, they are not anticipated to affect the required street tree landscaping, which will be placed on private property.
4. The project does not contain any accessory structures other than a trash enclosure, located near the southwest corner of the property in the rear yard.
5. Dumpster enclosure visibility must be minimized by locating the enclosure away from public rights-of-way and building entrances, using enclosure screening materials adjacent to the main structure and through the use of landscaping. The proposed dumpster would be located at the southwest corner of the property, away from both public rights-of-way and is surrounded by trees and landscaping. The dumpster detail illustrates a cultured stone wainscot with a board and batten siding above it, matching the building. The dumpster enclosure would be 6' tall. All aspects of the dumpster enclosure (setbacks, materials, height) comply with the Zoning Ordinance.
6. Mechanical units will be ground-mounted only and distributed on all sides of the building. The landscape plan illustrates that they will all be screened with evergreen shrubs.

Special Use Request

The following findings of fact are used to judge the merit of a special use permit request.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motions

1. Recommend to the Village Board to approve the Special Use Permit for an assisted living facility, in accordance with the reviewed plans, findings of fact, and public testimony, conditioned on final engineering approval, the replacement of any damaged sections of public sidewalk, and the base of any future ground sign shall be consistent with the materials of the rainscot on the building.
2. Recommend the Village Board approve the Final Plat of subdivision for Oasis Senior Living, in accordance with the reviewed plans and public testimony, subject to any technical revisions prior to recording and conditioned on final engineering approval.

Draft

8531 W. Lincoln Highway



8531 W. Lincoln Highway



0 125 250 500 Feet

RECEIVED

By Christopher Gruba at 3:01 pm, Sep 01, 2022



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Color Select Panel
cement board siding
Stone Blue
(or approved equal)



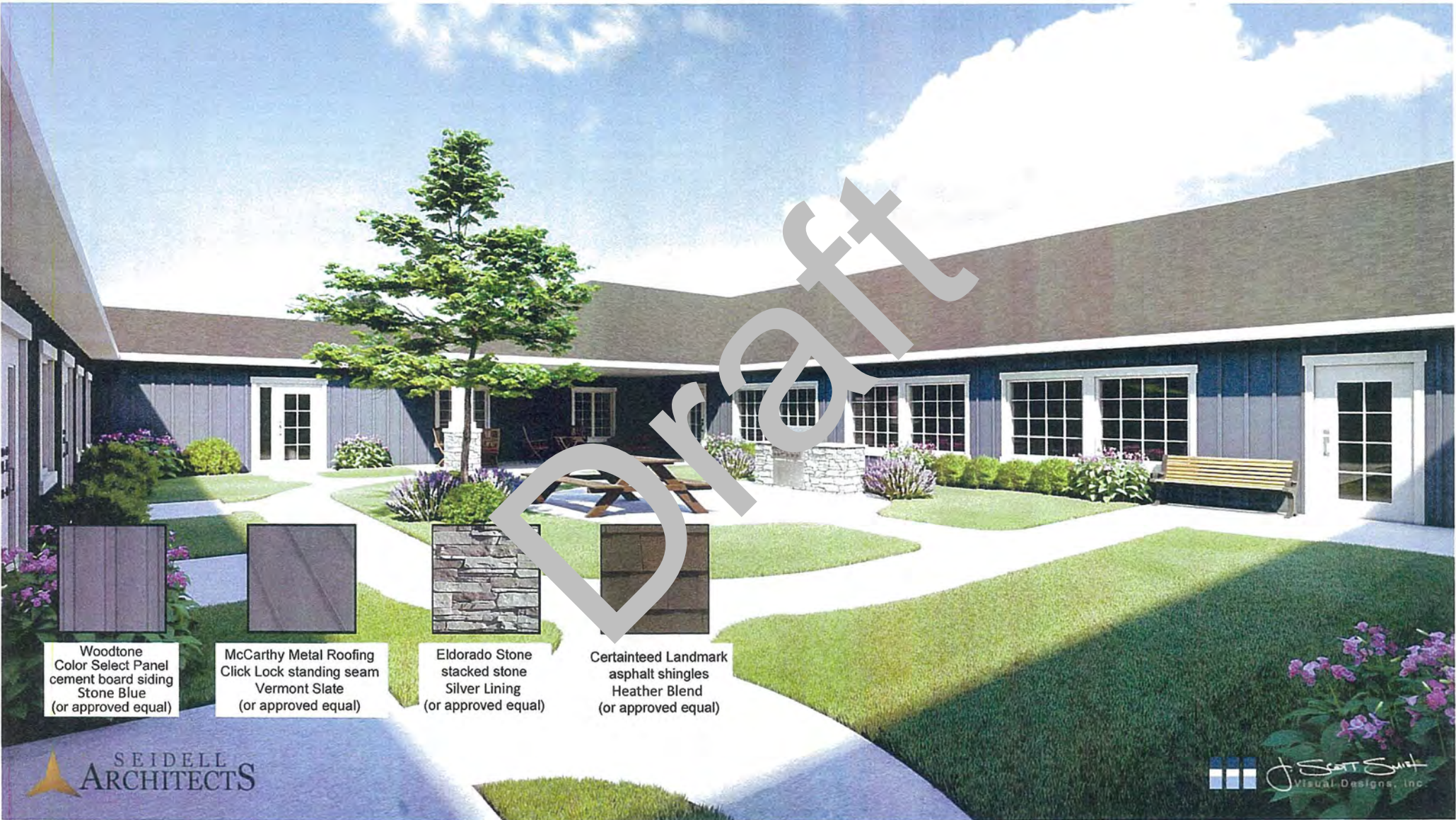
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Silver Lining
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McCarthy Metal Roofing
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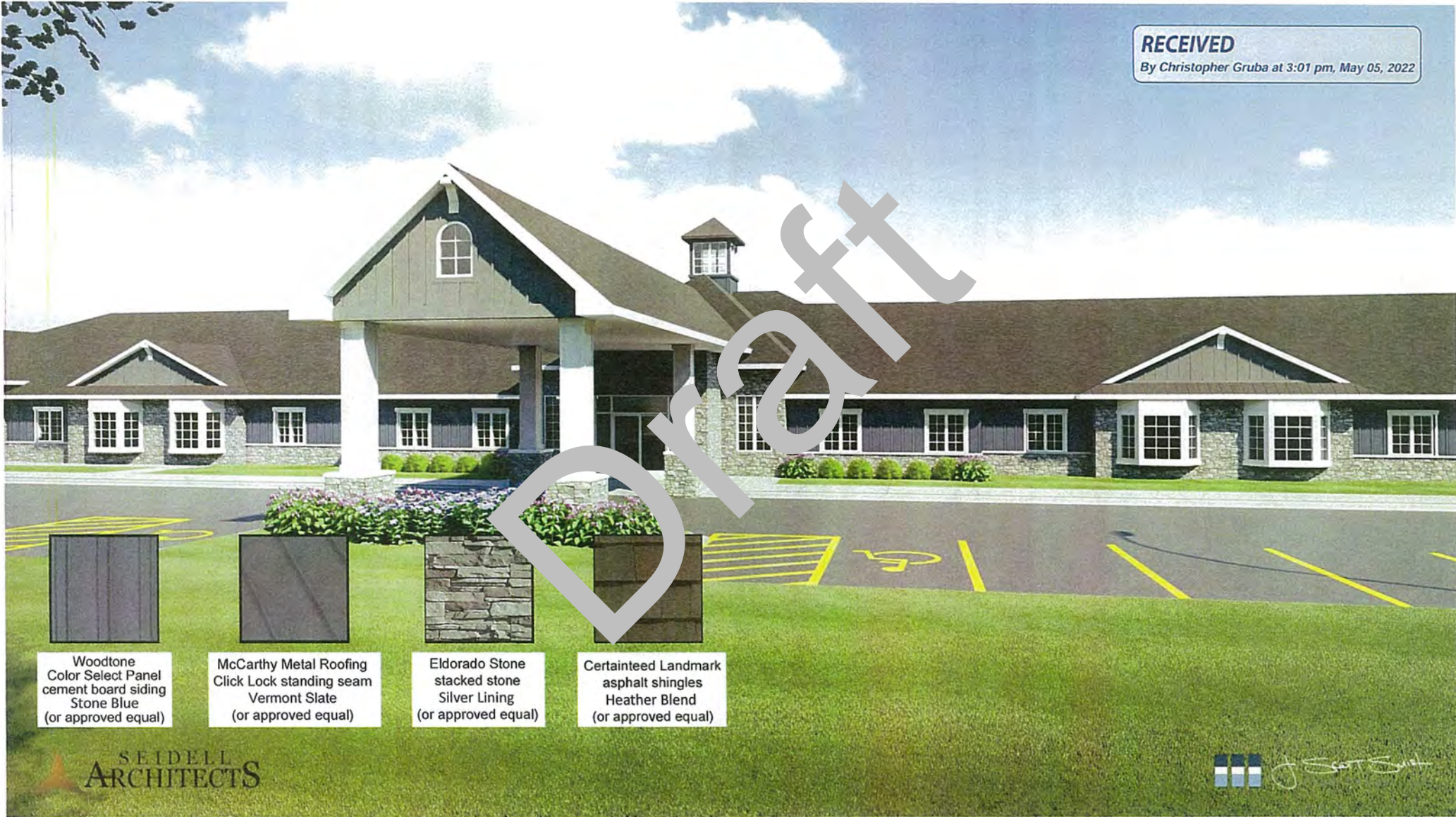


Eldorado Stone
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Silver Lining
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By Christopher Gruba at 3:01 pm, May 05, 2022



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(or approved equal)



Eldorado Stone
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Certaineed Landmark
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By Christopher Gruba at 2:21 pm, Mar 02, 2022

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following “Findings of Fact.” Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

The facility will provide a residential living experience for seniors and will not adversely impact the surrounding areas or general welfare.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted and not substantially diminish and impair property values within the neighborhood.

Senior living facilities are generally self-contained operations with very little outside activities that would impact adjacent properties.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The development of the parcel will not have a negative impact on future development of adjacent parcels.

4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

The building will be a single story structure consisting of cultured stone and board and batten style composite siding. The style is intended to be more of a residential feel and will not be in contrast with the existing residential subdivision to the south.

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

Village water main and sanitary sewer is adjacent to the as is a publicly dedicated roadway. Storm sewer has been provided to the parcel and will convey drainage to an existing detention basin in the Windy Hill Farm Subdivision.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access to the site will be provided from Windy Hill Drive, a publicly dedicated street. The residents of the facility typically do not drive, so traffic volume will generally be limited to employees and visitors sporadically throughout the day. Traffic will be fairly light compared to other residential or commercial uses.

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

The request does not include any variations from applicable Village codes.

Draft

RECEIVED

By Christopher Gruba at 9:43 am, Apr 14, 2022



GEOTECH INC.
CONSULTING ENGINEERS & LAND SURVEYORS

1207 Cedarwood Dr, Crest Hill, IL 60403 • 815-730-1010 • geotechconsultantsinc.com

STORMWATER MANAGEMENT REPORT

For:

Oasis Senior Living
8531 W. Lincoln Highway
Frankfort, IL
PIN 09-52-300-31
Geotech Project No. 2174

Revised: April 11, 2022

Thomas Carroll, P.E.

Illinois Registered Professional Engineer

No. 062-052783



Background

The proposed development will disturb approximately 4.68 acres and will consist of an approximately 75,000 square foot assisted living and memory care facility with paved parking areas. Storm water management will be provided in accordance with the requirements of the Will County Storm Water Management Ordinance and the appropriate local ordinances. All calculations utilize updated rainfall data from the Illinois State Water Survey Bulletin 75 (March 2020).

Existing Conditions

Copies of the applicable floodplain map, wetland map, soils map, and County GIS map for the property are provided in Appendix 1. Based on the available data, the property does contain some wetlands at the very southwest corner of the property.

Detention Analysis

Storm water detention has been provided off-site as part of the detention basins constructed with the Windy Hill Farm Subdivision. The basin provides storage for the site up to an impervious level of 85 percent. The proposed impervious level for the site, see below, is approximately 59%; therefore, additional storm water detention is not required for the site.

Total Site Area:	4.68 acres
Impervious Area:	
Building	1.72 acres
Paving/Walks	1.02 acres
Total:	2.74 acres (58.6%)

Storm Sewer

Storm sewer will be provided to convey the runoff from the proposed improvements to the storm water detention facility for a 10-year rainfall event. Calculations may be seen in Appendix 2.

Overland Flood Routes

An overland flood route has been provided through the site to convey the 100-year flow to the proposed detention facilities. Calculations for weirs along the path are provided in Appendix 3 to demonstrate 1 foot of freeboard is provided for adjacent structures. Per the Will County Ordinance, the design flow at each weir will be 1 cfs per tributary acre.

Off-Site Tributary Area

An analysis was performed to determine the off-site flow tributary to our site. There are approximately 3.86 acres west of our site that are tributary to the Oasis site. A GIS contour map showing the tributary area can be found in Appendix 4 and a calculation of the tributary flow is shown below.

$$Q = CiA; Q=0.3 \times 7.44 \text{ (10 year)} \times 3.86; Q = 8.61 \text{ cfs}$$

Conclusion

The proposed improvements will not adversely impact surface runoff on or adjacent to the site and proposed drainage facilities have been designed in accordance with the appropriate Ordinances.

Draft

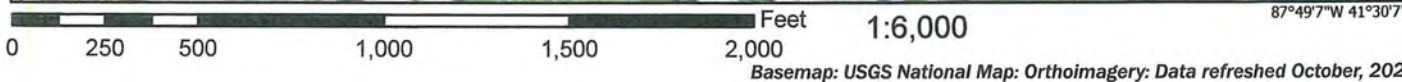
Appendix 1
Maps

Draft

National Flood Hazard Layer FIRMMette



87°49'45"W 41°30'34"N



Legend

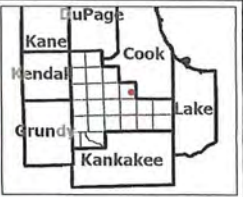
SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | |
|------------------------------------|---|
| | Without Base Flood Elevation (BFE)
Zone A, V, A99 |
| | With BFE or Depth Zone AE, AO, AH, VE, AR |
| SPECIAL FLOOD HAZARD AREAS | Regulatory Floodway |
| | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
| | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | Area with Reduced Flood Risk due to Levee. See Notes. Zone X |
| | Area with Flood Risk due to Levee Zone D |
| OTHER AREAS OF FLOOD HAZARD | |
| | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | Effective LOMRs |
| OTHER AREAS | Area of Undetermined Flood Hazard Zone D |
| GENERAL STRUCTURES | Channel, Culvert, or Storm Sewer |
| | Levee, Dike, or Floodwall |
| | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | 17.5 Coastal Transect |
| | Base Flood Elevation Line (BFE) |
| | Limit of Study |
| | Jurisdiction Boundary |
| OTHER FEATURES | Coastal Transect Baseline |
| | Profile Baseline |
| | Hydrographic Feature |
| | Digital Data Available |
| | No Digital Data Available |
| | Unmapped |
| MAP PANELS | |
| | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location. |

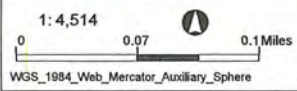
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/26/2021 at 3:01 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



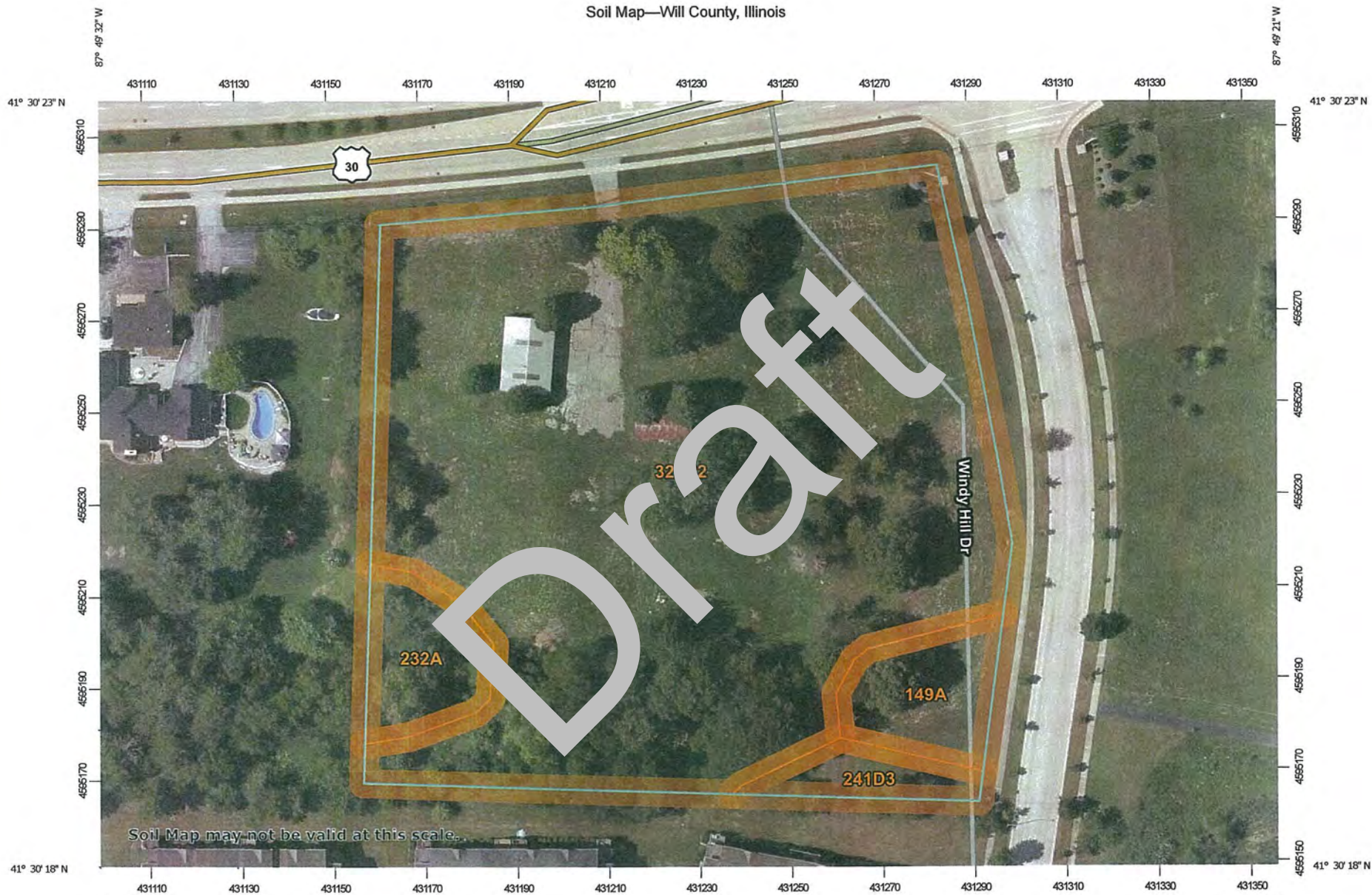
- Legend**
- Roadways
 - Federal
 - State
 - County
 - Local and Private
 - Parcels LY
 - Townships
 - ContourLines2014_2FT



Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountyilinois.com.

Notes

Soil Map—Will County, Illinois



Map Scale: 1:1,170 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 16N WGS84



Natural Resources
Conservation Service

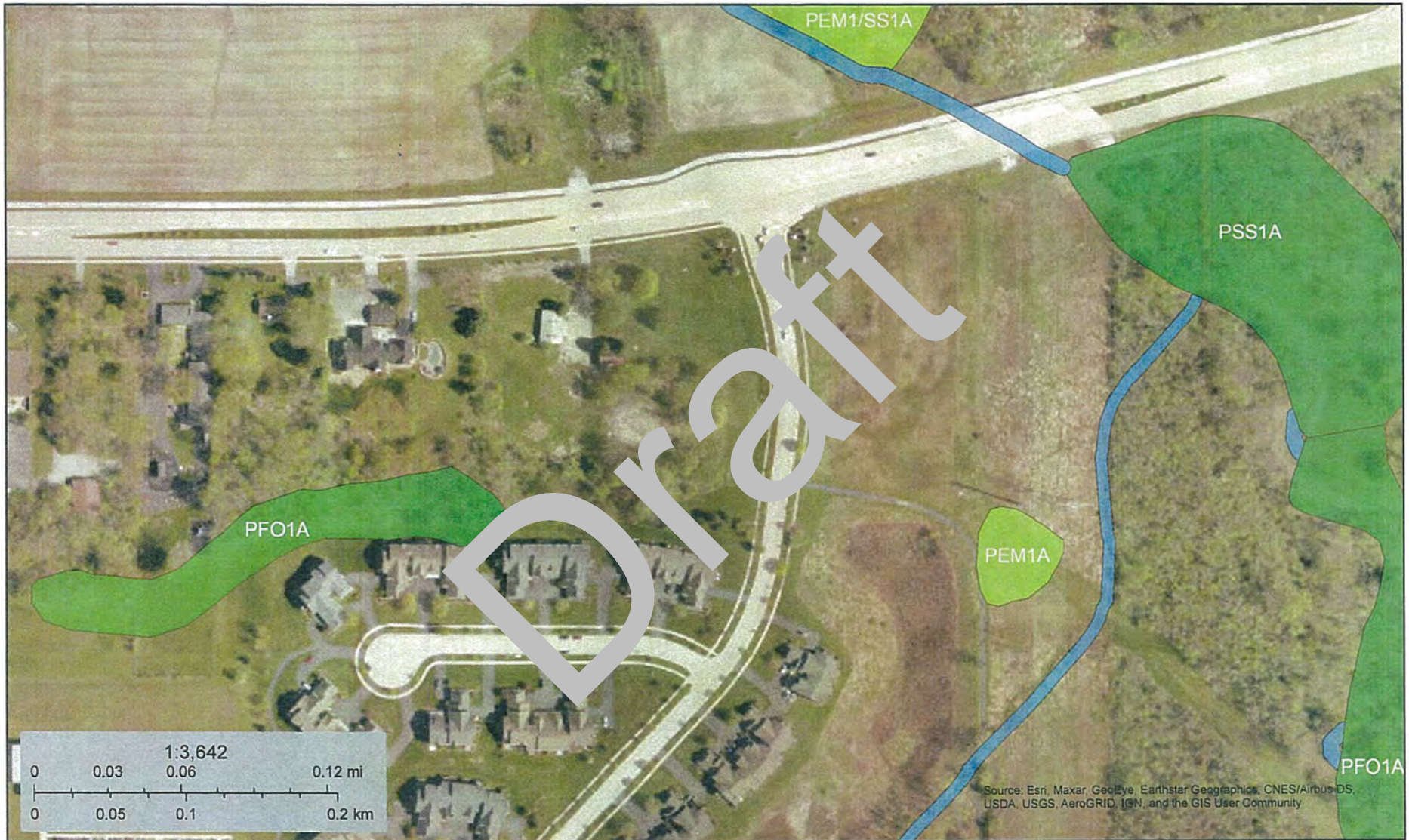
Web Soil Survey
National Cooperative Soil Survey

8/26/2021
Page 1 of 3

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
149A	Brenton silt loam, 0 to 2 percent slopes	0.2	5.0%
232A	Ashkum silty clay loam, 0 to 2 percent slopes	0.2	4.7%
241D3	Chatsworth silty clay, 6 to 12 percent slopes, severely eroded	0.1	2.7%
320C2	Frankfort silty clay loam, 4 to 6 percent slopes, eroded	3.8	87.7%
Totals for Area of Interest		4.3	100.0%

Draft



August 26, 2021

Wetlands

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Other
-  Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Appendix 2
Storm Sewer Calculations
Proposed Site – 10 Year Event

Draft

Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
6	1	86.386	0.41	0.41	0.80	0.33	0.33	5.0	5.0	7.2	2.37	5.14	3.70	12	2.08	697.50	699.30	698.46	699.96	702.00	702.00	I1.6-MH1.5
5	3	43.144	0.00	0.00	0.00	0.00	0.00	5.0	5.0	0.0	8.61	9.23	10.96	12	6.72	698.90	701.80	701.01	703.53	702.30	704.50	I1.2-MH1.3
4	3	153.048	0.41	0.41	0.80	0.33	0.33	5.0	5.0	7.2	2.37	2.41	3.02	12	0.46	698.50	699.20	701.01	701.69	702.30	702.00	I1.1-MH1.3
3	2	105.516	0.23	0.64	0.80	0.18	0.51	5.0	5.8	7.0	12.19	12.90	6.07	21	0.66	697.80	698.50	699.19	699.84	702.00	702.30	MH1.3-MH1.4
2	1	102.285	0.32	0.96	0.80	0.26	0.77	5.0	6.2	6.9	13.91	14.86	6.49	21		696.90	697.80	698.46	699.19	702.00	702.00	MH1.4-MH1.5
1	End	30.319	0.42	1.79	0.80	0.34	1.43	5.0	6.5	6.8	18.39	20.34	8.13	21	1.6	696.40	696.90	697.96	698.46	0.00	702.00	MH1.5-OUTFALL

Draft

Project File: Storm 1 Calcs - Revised.stm

Number of lines: 6

Run Date: 4/8/2022

NOTES: Intensity = 88.24 / (Inlet time + 15.50) ^ 0.83; Return period = Yrs. 10 ; c = cir e = ellip b = box

Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
6	1	24.959	0.21	0.21	0.30	0.06	0.06	5.0	5.0	7.2	0.46	11.04	1.56	12	9.61	690.60	693.00	691.58	693.28	694.00	694.25	FES2.5-CB2.6
5	4	99.941	0.66	0.66	0.60	0.40	0.40	5.0	5.0	7.2	2.87	2.98	4.12	12	0.70	699.10	699.80	700.00	700.58	702.50	702.50	12.1-MH2.2
4	3	94.740	0.46	1.12	0.80	0.37	0.76	5.0	5.5	7.1	5.43	5.55	5.07	15	0.74	698.10	698.80	699.16	699.78	702.50	702.50	MH2.2-MH2.3
3	2	73.250	0.30	1.42	0.80	0.24	1.00	5.0	5.8	7.0	7.04	12.40	6.16	15	3.69	695.40	698.10	696.54	699.16	699.00	702.50	MH2.3-MH2.4
2	1	70.951	0.27	1.69	0.90	0.24	1.25	5.0	6.0	7.0	8.67	17.14	7.30	15		690.40	695.40	691.58	696.54	694.00	699.00	MH2.4-CB2.6
1	End	154.244	0.04	1.94	0.90	0.04	1.35	5.0	6.2	6.9	9.29	11.66	6.24	18	1.25	688.50	690.40	689.68	691.58	0.00	694.00	CB2.6-OUTFALL

Draft

Project File: Storm 2 Calcs - Revised.stm

Number of lines: 6

Run Date: 4/8/2022

NOTES: Intensity = 88.24 / (Inlet time + 15.50) ^ 0.83; Return period = Yrs. 10 ; c = cir e = ellip b = box

Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
2	1	45.000	0.12	0.12	0.80	0.10	0.10	5.0	5.0	7.2	0.69	7.32	4.36	12	4.22	695.60	697.50	695.81	697.85	699.00	700.20	13.1-CB3.2
1	End	169.036	0.09	0.21	0.60	0.05	0.15	5.0	5.8	7.0	1.05	6.98	3.25	12	3.85	688.50	695.00	688.93	695.43	0.00	699.00	CB3.2-OUTFALL

Draft

Project File: Storm 3 Calcs.stm Number of lines: 2 Run Date: 4/8/2022

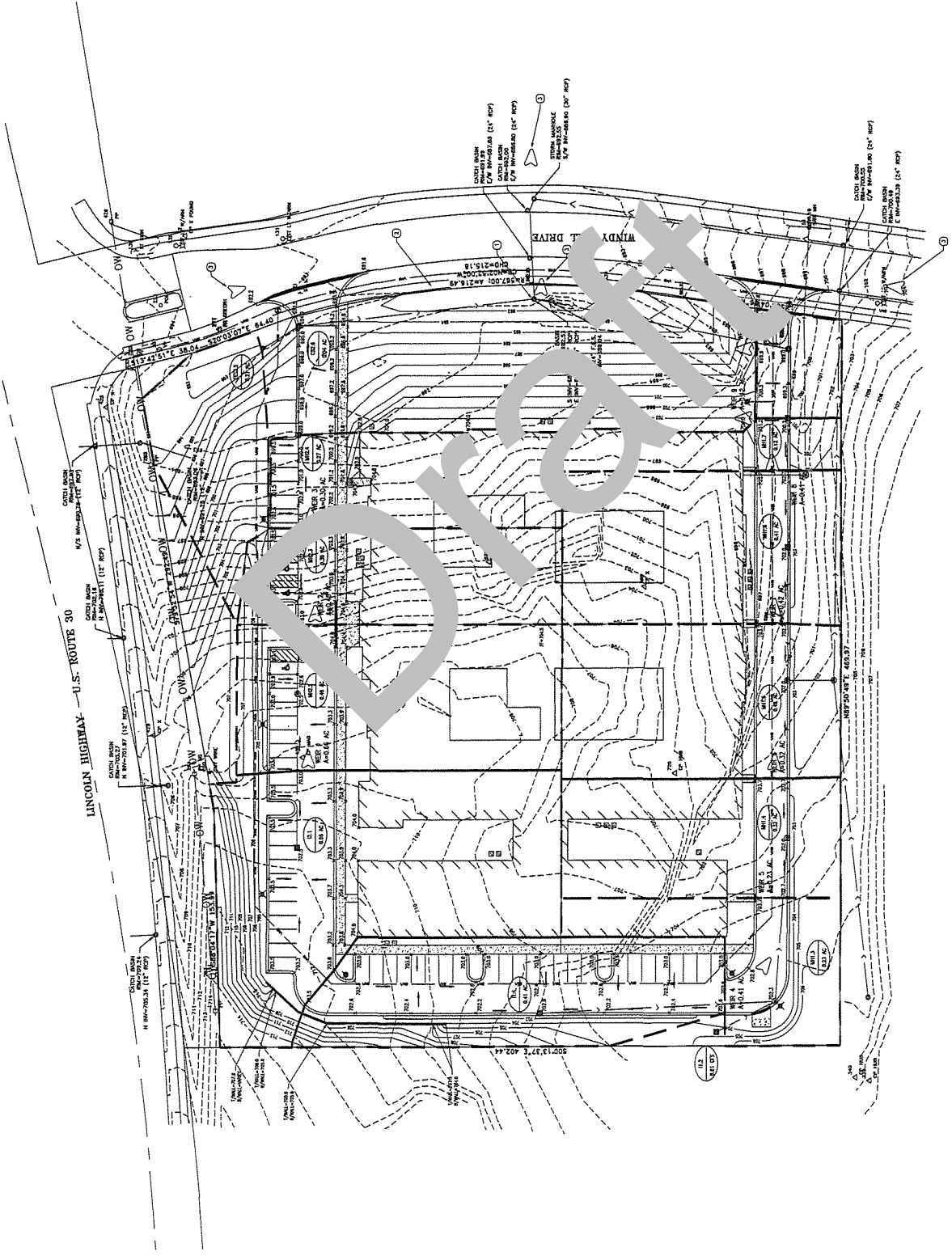
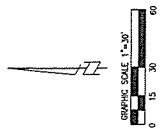
NOTES: Intensity = 88.24 / (Inlet time + 15.50) ^ 0.83; Return period = Yrs. 10 ; c = cir e = ellip b = box

Draft

Appendix 3
Overland Flood Route Calculations

- GENERAL NOTES:
- 1. SEE ALL NOTES ON ALL SHEETS.
 - 2. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 3. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 5. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 6. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 7. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 8. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 9. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 10. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.

- CONSTRUCTION NOTES:
- 1. SEE ALL NOTES ON ALL SHEETS.
 - 2. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 3. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 5. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
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 - 9. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.
 - 10. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND OTHER APPLICABLE JURISDICTIONS.



Weir Capacity

Weir Capacity, Q (ft³/sec): $2.6 * L * H^{1.5}$

Weir Location	Trib. Area (acre)	Design Flow (1 cfs/acre)	Weir Length (ft)	Weir Elevation	Water Height Over Weir	Weir Capacity (cfs)	Lowest Adjacent Finished Floor	Freeboard (ft)
Weir 1	0.66	0.66	10	703.00	0.1	0.82	704.5	1.40
Weir 2	0.46	0.46	10	703.00	0.1	0.82	704.5	1.40
Weir 3	0.3	0.30	10	703.00	0.1	0.82	704.5	1.40
Weir 4	0.41	0.41	10	702.60	0.1	0.82	704.5	1.80
Weir 5	0.23	0.23	10	702.70	0.1	0.82	704.5	1.70
Weir 6	0.32	0.32	10	702.70	0.1	0.82	704.5	1.70
Weir 7	0.42	0.42	10	702.70	0.1	0.82	704.5	1.70
Weir 8	0.41	0.41	10	702.70	0.1	0.82	704.5	1.70
Weir 9	0.12	0.12	10	701.20	0.1	0.82	704.5	3.20
Weir 10	0.09	0.09	10	699.90	0.1	0.82	704.5	4.50

Draft

Memorandum

To: Christopher Gruba
 From: Nicholas Whitmore
 Re: Oasis Senior Living Facility

Per Robinson's latest review letter for the Oasis Senior Living Facility, we performed an analysis of the existing storm sewer for the 100-year storm. The storm sewer information was based on the as-built plans for the overall subdivision. The following documents are enclosed: original tributary area map from original subdivision design, master utility plan for original subdivision design, and storm sewer calculations for existing storm sewer in the 100-year storm condition. In addition, a summary of the percentage of the 100-year storm that each run has the capacity to handle is provided below:

ST9-1 to ST9-2:	79.2%
ST9-2 to ST9-3:	79.1%
ST9-3 to ST9-4:	73.2%
ST9-4 to ST9-9:	61.5%
ST9-9 to ST9-10:	121.0%
ST9-10 to ST9-11:	74.7%
ST9-11 to FES9-1:	62.4%
ST9-6 to ST9-7:	22.3%
ST9-7 to ST9-8:	22.3%
ST9-8 to ST9-8B:	70.0%
ST9-8B to ST9-11:	90.4%

In summary, there are three (3) out of eleven (11) existing storm sewer runs that have adequate capacity to handle the 100-year storm. Of the eight (8) runs that do not have adequate capacity, on average, they can handle 73.9% of the 100-year storm. Finally, this is all assuming full flow conditions and does not take any head pressure into account.

Thank you



FOR INFORMATION ABOUT ROUTE
SEE FINAL ENGINEERING PLANS
IMPROVEMENTS FOR WHICH PERMITS
WILL BE PREPARED
BY SBI CONSULTANTS, LTD.

IMPROVEMENTS
WILL BE
PREPARED

U.S. ROUTE 30

LINCOLN HIGHWAY

EXISTING
WETLAND

PROPOSED
40' SIDEWALK
INTERSECTION
WITH
WINDY HILL DRIVE

COMED
R.O.W.

- NOTES:
1. ALL PROPOSED SANITARY WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS SANITARY CODE UNLESS OTHERWISE NOTED.
 2. ALL PROPOSED SANITARY WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS SANITARY CODE UNLESS OTHERWISE NOTED.
 3. ALL PROPOSED SANITARY WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS SANITARY CODE UNLESS OTHERWISE NOTED.
 4. ALL PROPOSED SANITARY WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS SANITARY CODE UNLESS OTHERWISE NOTED.
 5. ALL PROPOSED SANITARY WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS SANITARY CODE UNLESS OTHERWISE NOTED.

PFEIFFER ROAD

FUTURE CHURCH SITE
(BY OTHERS)

8" SIDEWALK TO
ALLOW FOR
EXTENSION

8" SIDEWALK FOR
PFEIFFER ROAD
EXTENSION

8" SIDEWALK FOR
PFEIFFER ROAD
EXTENSION

SADDLEBRED

WINDY HILL DRIVE

MATCHLINE - SEE DRAWING 4.2

MATCHLINE - SEE DRAWING 4.2

SIDI
SOUTHWEST ILLINOIS DESIGN INC.

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1905 10/1/05
1904 10/1/04
1903 10/1/03
1902 10/1/02
1901 10/1/01
1900 10/1/00

NO.	DATE	DESCRIPTION	BY	CHECKED BY
1	10/1/99	PRELIMINARY	HEA	HEA
2	10/1/99	REVISED	CWC	CWC
3	10/1/99	REVISED	CWC	CWC
4	10/1/99	REVISED	CWC	CWC
5	10/1/99	REVISED	CWC	CWC
6	10/1/99	REVISED	CWC	CWC
7	10/1/99	REVISED	CWC	CWC
8	10/1/99	REVISED	CWC	CWC
9	10/1/99	REVISED	CWC	CWC
10	10/1/99	REVISED	CWC	CWC
11	10/1/99	REVISED	CWC	CWC
12	10/1/99	REVISED	CWC	CWC
13	10/1/99	REVISED	CWC	CWC
14	10/1/99	REVISED	CWC	CWC

PROJ. NO 1 98746 ENG. BY: HEA
 FILE NAME: WJL3824 DRAWN BY: CWC
 DATE: 02-23-00 CHECKED BY: JF FRANKFORT

WINDY HILL FARM

MASTER UTILITY PLAN - NORTH

DRAWING NO. 4.1



April 27, 2022

Wetlands

- | | | |
|--------------------------------|-----------------------------------|----------|
| Estuarine and Marine Deepwater | Freshwater Emergent Wetland | Lake |
| Estuarine and Marine Wetland | Freshwater Forested/Shrub Wetland | Other |
| | Freshwater Pond | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
11	10	28.800	4.41	4.41	0.60	2.65	2.65	5.0	5.0	12.3	32.68	39.98	10.40	24	3.13	688.22	689.12	694.74	695.34	692.42	692.87	9.6 - 9.7
10	9	28.700	0.44	4.85	0.60	0.26	2.91	5.0	5.0	12.3	35.87	43.87	11.42	24	3.76	687.09	688.17	693.71	694.43	692.36	692.42	9.7 - 9.8
9	8	8.800	0.45	5.30	0.60	0.27	3.18	5.0	5.1	12.3	39.13	27.64	7.97	30	0.45	687.20	687.24	693.48	693.56	692.94	692.36	9.8 - 9.8B
8	1	213.800	0.00	5.30	0.60	0.00	3.18	5.0	5.1	12.3	39.11	35.37	7.97	30	0.74	685.60	687.19	690.55	692.50	699.80	692.94	9.8B - 9.11
7	6	53.900	1.17	1.17	0.60	0.70	0.70	5.0	5.0	12.3	8.67	6.87	7.06	15	3.36	704.23	704.84	711.63	712.60	708.33	708.44	9.1 - 9.2
6	5	95.900	0.12	1.29	0.60	0.07	0.77	5.0	5.1	12.3	9.51	7.52	7.75	15	3.36	702.88	704.18	709.40	711.49	706.88	708.33	9.2 - 9.3
5	4	204.200	0.15	1.44	0.60	0.09	0.86	5.0	5.3	12.2	10.53	7.71	8.58	15	1.43	699.92	700.83	703.80	709.23	701.87	706.88	9.3 - 9.4
4	3	254.200	2.28	3.72	0.60	1.37	2.23	5.0	5.7	12.0	26.79	16.48	11.14	21	3.08	693.62	696.37	696.22	703.49	700.82	701.87	9.4 - 9.9
3	2	28.600	0.90	4.62	0.60	0.54	2.77	5.0	6.1	11.8	32.78	39.67	10.43	24	3.08	692.74	693.62	695.36	695.96	700.99	700.82	9.9 - 9.10
2	1	33.000	0.31	4.93	0.60	0.19	2.96	5.0	6.2	11.8	34.91	27.51	11.11	24	3.48	692.25	692.74	694.25	695.04	699.80	700.99	9.10 - 9.11
1	End	80.800	0.00	10.23	0.60	0.00	6.14	5.0	6.2	11.8	72.30	45.13	10.43	36	0.46	685.18	685.55	687.87	688.96	686.43	699.80	9.11 - fes

Project File: ex stm 100 yr.stm Number of lines: 11 Run Date: 5/31/2022

NOTES: Intensity = 247.60 / (Inlet time + 19.10) ^ 0.94; Return period = Yrs. 100 ; c = cir e = ellip b = box

RECEIVED

By Christopher Gruba at 9:26 am, Sep 06, 2022



ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

1021 NORTH GRAND AVENUE EAST, P.O. BOX 19276, SPRINGFIELD, ILLINOIS 62794-9276 • (217) 782-3397

JB PRITZKER, GOVERNOR

JOHN J. KIM, DIRECTOR

Project/Site: Oasis Senior Living - Frankfort, Frankfort, IL, Will County
NPDES Permit No: ILR10ZBVG

09/02/2022

We have reviewed your application requesting coverage for Oasis Senior Living - Frankfort located at 8531 West Lincoln Highway, Frankfort, IL 60423, and determined that storm water discharges associated with industrial activity from construction sites are appropriately covered by the General NPDES Permit issued by the Agency. Your discharge is covered by this permit effective as of the date of this letter. A copy of the NOI submission can be downloaded at this link: <https://npdes-ereporting.epa.gov/net-cgp/api/public/v1/form/1542774/attachment/zip>.

The Permit includes special conditions regarding the application, Storm Water Pollution Prevention Plan and reporting requirements. Failure to meet any portion of the Permit could result in civil and/or criminal penalties. The Agency is ready and willing to assist you in interpreting any of the conditions of the Permit as they relate specifically to your discharge.

As a Permit Holder, it is your responsibility to:

1. Submit a modified Notice of Intent of any substantial modification to the permit such as a change in discharge, new contractors, area coverage, or additional discharges to Waters of the United States within 30 days.
2. Submit a Notice of Termination once the site has completed final construction and all storm water discharges from construction activities that are authorized by this Permit are eliminated.

Please reference your permit number ILR10ZBVG in all future correspondence. Should you have any questions concerning the Permit, please contact the Permit Section at (217) 782-0610.

Sincerely,

Darin E. LeCrone
Manager, Permit Section
Division of Water Pollution Control

Link to: General NPDES Permit No. ILR10

cc:

- 7125 S. First Street, Champaign, IL 61820 (217) 278-5500
- 3309 W. Main Street, Suite 116, Marion, IL 62959 (618) 995-7200
- 1009 Mall Street, Collinsville, IL 62234 (618) 346-5220
- 412 W. Washington Street, Suite D, Peoria, IL 61602 (309) 671-1023
- 951 W. Main Street, Dan Plaines, IL 60016 (847) 794-4300
- 4302 N. Main Street, Rockford, IL 61103 (815) 987-7750
- 595 S. State Street, Elgin, IL 60120 (847) 608-3191

PLEASE PRINT ON RECYCLED PAPER

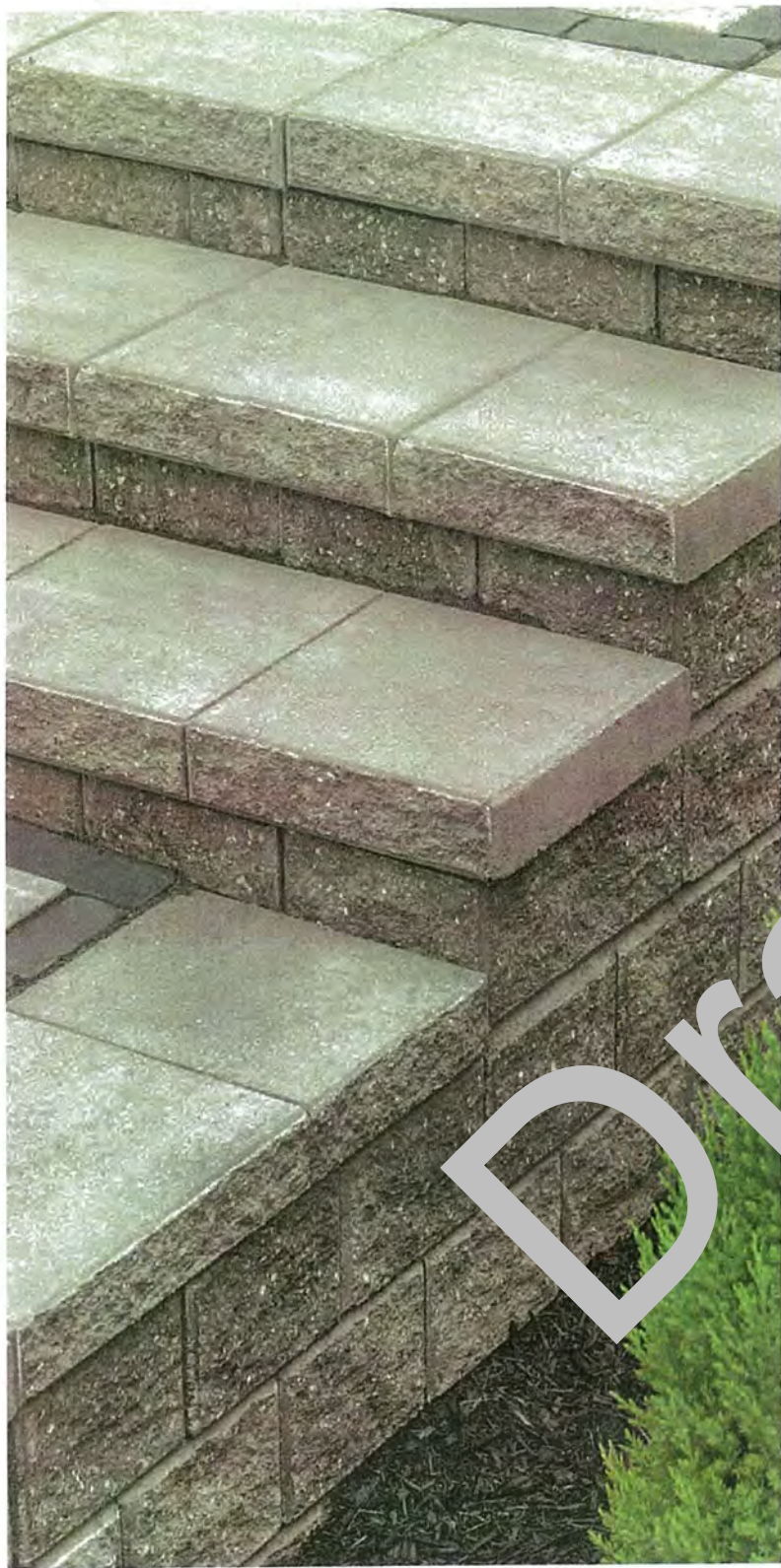


6.77 ft

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1-800-UNILOCK | UNILOCK.COM

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UNILOCK
PAVERS & WALLS



APPLICATIONS

CROSS SECTIONS

Cross Sections are available on Unilock's Contractor web site under Products: contractor.unilock.com

APPEARANCE

Edge Detail - n/a
 Surface Texture - Split & Standard (coping)
 Joint Spacing - n/a
 Void - n/a

TECHNOLOGIES

CLASSIC™

Budget-friendly traditional product mix

TECHNICAL INFORMATION

Conforms to ASTM C 1372
 Eligible for LEED v4.1 credits

	CORNER DOUBLE SPLIT CLASSIC	XL TAPERED SPLIT CLASSIC	COPING CLASSIC
Bundle Type	DOUBLE	SINGLE	DOUBLE
Plant Produced	CHICAGO	CHICAGO	CHICAGO
Thickness (mm)	150MM	150MM	75MM

FCFT PER	Bundle	30.01	21.33	20.34
	Layer	10.00	5.33	2.91
	Stone	1.67	0.67	0.48

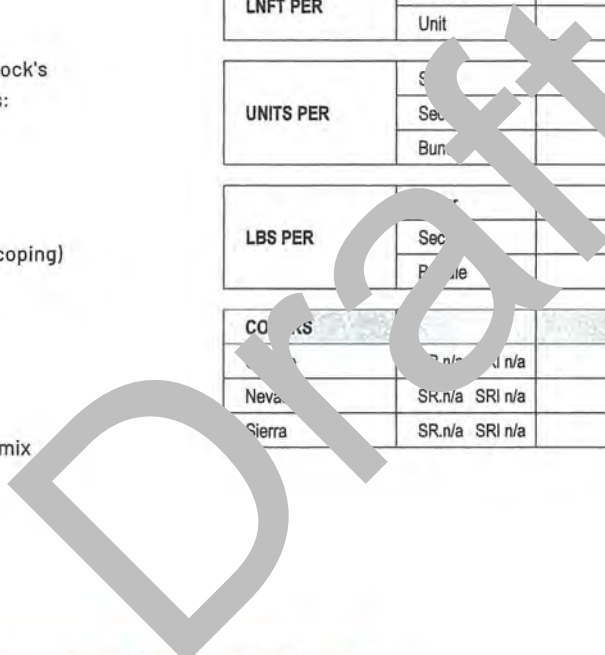
PER BUNDLE	Layers	3.00	4.00	7.00
	Sections	6.00	-	2.00

LNFT PER	Bundle	-	42.67	82.95
	Unit	-	1.33	1.97

UNITS PER	Section	0.60	1.50	2.06
	Section	3.00	-	21.00
	Bundle	18.00	32.00	42.00

LBS PER	Section	547	629	411
	Section	274	-	1,437
	Bundle	1,641	2,514	2,875

COLORS		Stock	Stock	Stock
Granite	SR/n/a SRI n/a	✓	✓	✓
Nevada	SR/n/a SRI n/a	✓	✓	✓
Sierra	SR/n/a SRI n/a	✓	✓	✓



GRANITE



NEVADA



SIERRA

Single Units

CORNER
 200 x 150 x 300mm
 7 7/8 x 5 7/8 x 11 3/8"
 18 units/Bundle
 1.67 Fc.Ft./Stone
 * 32 Corner Units/Bundle

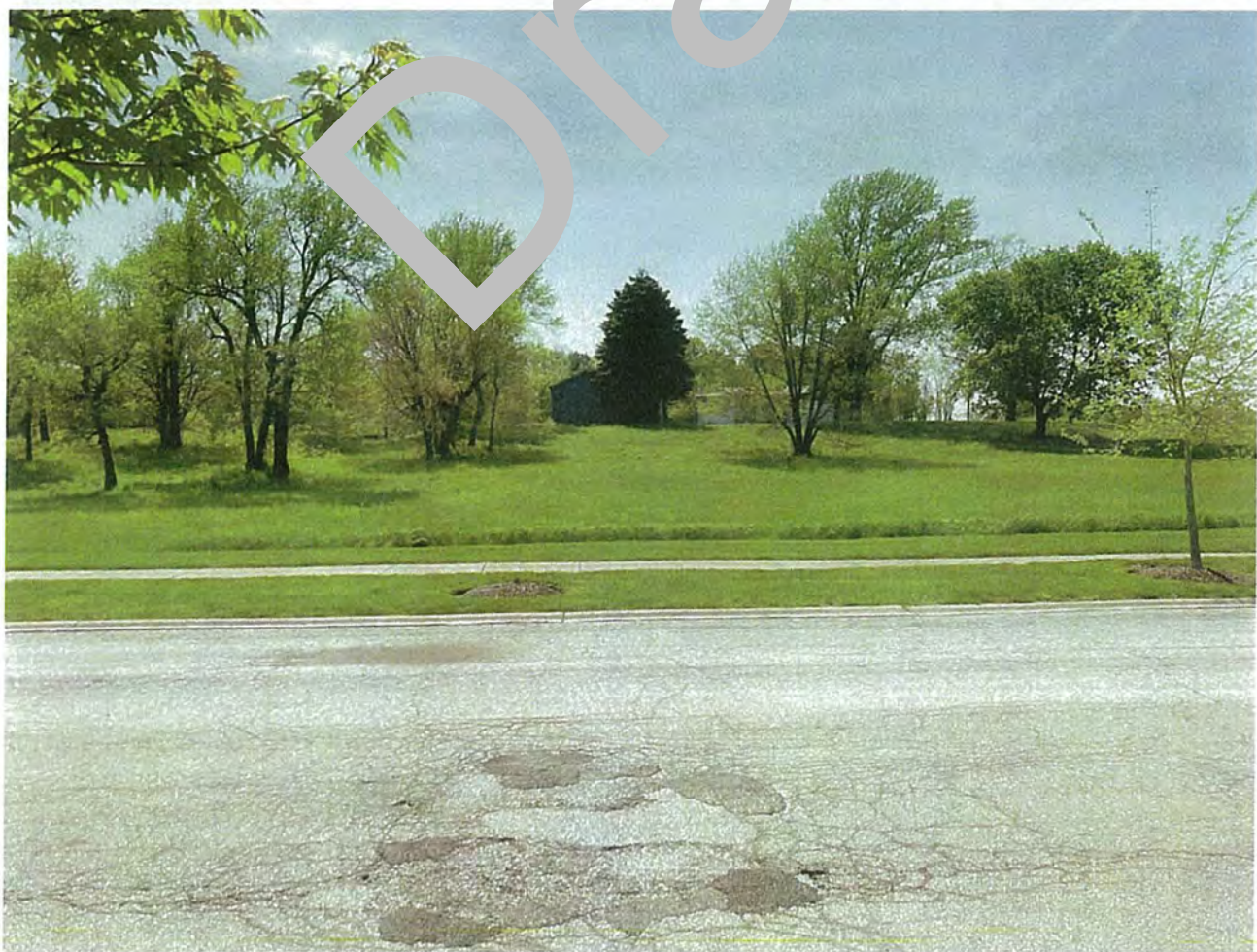
COPING
 300 x 75 x 300mm
 11 3/8 x 3 x 11 3/8"
 42 units/Bundle
 .48 Fc.Ft./Stone

XL UNIT
 400 x 150 x 300mm
 15 3/4 x 5 7/8 x 11 3/8"
 32 units/Bundle
 .67 Fc.Ft./Stone

Notes: * XL WALL UNITS ARE SINGLE UNITS AND ARE SOLD IN FULL BUNDLES ONLY and are produced and sold on a required, refundable skid. Corner Units are produced and sold on a required, refundable skid. 12" Coping bundle has 16 units of closed-end coping (8 left and 8 right). Closed-end 12" coping not sold separately. Maximum height - 36" (under optimum conditions). Higher walls can be achieved using geogrid reinforcement. The set back on Pisa wall is 3/8" every course or 1 1/2" every 2 courses. Retaining wall engineering software is also available free of charge at www.unilock.com. Walls greater than 4' in height require professional engineering. All measurements are nominal. Contact Unilock for more information.









Jack Johnson asked if there will be a path in the middle of the townhomes to the school property.

Chair Rigoni stated she would not support that. There was consensus from the other members not to have such a connection.

There was some discussion about whether or not street signs could be added to state "local traffic only".

Chris Gruba responded this would be a question for the Department of Public Works.

Jack Johnson commented that this project seems to be needing numerous exceptions and that is not the intent of the PUD regulations.

Knieriem asked Mr. Johnson if he was interested in being on the PC/ZBA since he brought up some very valid points.

Rita Starkey, a nearby resident, approached the podium and stated her concern about the location of the proposed dog park. She will have more comments on the next agenda item.

Chair Rigoni summarized the issues to be considered:

- Landscape Plan
- Architecture
- Dog Park location

Commissioner Knieriem asked Mr. Flaherty what his timeframe is for the project.

Mr. Flaherty responded that he hoped to break ground yet this year.

Mike Schwarz stated that when this matter is presented for the public hearing and staff provides suggestions, it would be appropriate for the first motion to be a recommendation from the PC/ZBA to the Village Board to amend the Comprehensive Plan as there seems to be consensus to do so, and this would be consistent with past practice for such deviation.

Workshop: 8531 W. Lincoln Highway – Special Use Permit for an assisted living facility (Oasis Senior Living)

Chris Gruba presented the staff report.

Chair Rigoni asked the applicant to come forward.

Tom Carrol of Geotech Inc., on behalf of Oasis Senior Living, stated that he did not have anything to add to the staff report, as it was very thorough.

Commissioner Knieriem asked Mr. Carrol if the driveway around the building was required by the Fire Department.

Tom Carrol responded yes.

Commissioner Knieriem asked if there would be any fencing along Route 30.

Tom Carrol responded no.

Commissioner Knieriem asked if fellow commissioners agreed.

Chair Rigoni asked if the applicant could explain who the residents are and to explain their needs.

Tanir Knan, the applicant, responded that the residents don't generally go outside nor do they drive. They would have two caregivers for every 15 residents, a chef, etc. He stated that the west wing is all memory care.

Commissioner Knieriem asked if there will be a turn lane off of Route 30.

Tom Carrol stated no. They would need to go to IDOT for such approval.

Commissioner Markunas stated that it would be good to make the building and site appear to blend with the residential area of West Hill.

Commissioner Markunas asked how many trees will be removed and how many do they need to provide.

Chair Rigoni restated that question.

Chris Gruba responded by stating the requirements are in the staff report.

Commissioner Markunas asked why the building is set back so far from Route 30.

Tom Carroll responded that there is a 130-foot setback requirement from Route 30.

Chair Rigoni stated that she feels that there should be a 25-foot setback for the delivery area from the residential because it is an incompatible use.

There was some discussion about the rear elevation of the proposed building and whether it would have windows facing south.

Commissioner Schaeffer asked if the storm sewer exists.

Chris Gruba showed the sewer atlas and confirmed that it does exist.

Commissioner Schaeffer asked where the deliveries would occur.

Tom Carrol responded that they would occur in the back at the south doors.

Commissioner Schaeffer asked what door the deliveries go to.

Tanir Knan responded into the middle door on the south side of the building.

Commissioner Hogan asked how many residents there would be (78) in order to compare to the deliveries of a typical restaurant.

Chair Rigioni stated that she would like a better understanding of the tree removal as it provides significant screening. She wishes that there could be a more creative site design to preserve more of the trees.

Commissioner Knieriem stated that he sees some trees along the property line that might be looked at to be saved.

Tom Carrol responded that they will take a closer look at these but site grading may require their removal.

Commissioner Hogan stated that the existing trees provide a benefit to both the existing residents and the new residents of the facility.

Commissioner Guevara echoes the comments about tree preservation and new landscaping to see how these offset each other.

Commissioner Guevara asked where the trash enclosure is located.

Tom Carrol stated it is at the southwest corner of the building.

Chair Rigioni asked if there is a reason it is there and not on the west side to be away from the residents.

Tom Carrol stated that they can look at relocating the trash enclosure further from the adjacent residences.

Chair Rigioni asked for comment on the architecture.

Commissioner Guevara stated that the elevation facing Route 30 should be prominent with more brick.

Tom Carrol stated that the applicant was going for a residential look.

Chair Rigioni asked staff to provide a color rendering of the building in the packet for the public hearing. She added that she would like to have more brick on the large wall expanse on Sheet 8.1. She stated that they should either differentiate from the architecture of Windy Hill or go closer to it, but not be somewhere in the middle.

Commissioner Hogan asked staff what the parking requirement is.

Chris Gruba responded.

Chair Rigioni asked the applicant how many visitor cars visit on average.

Tanir Knan responded that typically there are only about 10 visitor cars per day.

Rita Starkey, a nearby resident, approached the podium and stated that she conducted a

demographic study of the area and there are 27 assisted living facilities. She asked what will happen in the future when this facility is no longer needed. She stated that this will not be a quiet little place. She does not want brick. Everything should be stone like Windy Hill. Her windows face this site and the lights will destroy her view. She doesn't want to see this vacant building in 15 years. She doesn't know if this is the right plan for the area. The loss of trees is a concern. Only a few buildings in Windy Hill face this property. She is not against assisted living, but do the demographics. She stated it should be aesthetically pleasing.

Terry Colins, President of the Windy Hill Homeowners Association, asked staff who owns the land.

Chris Gruba responded that he does not know but can find out.

Terry Colins stated that the same owner owns the other side of the street as well. Maybe they could buy that parcel. He stated that he is just making a suggestion. Leave the trees along the edge so people don't see the building.

Chair Rigoni summarized the issues:

- It would be helpful to know more about the Windy Hill architecture.
- Need for decorative fencing similar to what exists in Windy Hill today.

Chris Gruba asked the Commission if they would have another workshop.

There was consensus to have another workshop.

Chair Rigoni asked Tom Carroll if they could stake the property so that the Commission and residents could visualize how close the property line is to the townhomes.

Tom Carroll responded that they could do this and then will let staff know when it has been staked.

E. Workshop: 22660 S. Harlem Avenue – Zoning Map Amendment (Rezoning) and Special Use Permit for a PUD (Gracepoint Ministries)

Mike Schwarz presented the staff report.

He noted that the applicants were seeking to use the existing 22.6-acre property as a religious retreat center, which would require rezoning the property from E-R to R-2 and a special use permit for a PUD. He noted that the existing property is under one tax parcel, but has "split zoning", in which most of the property is zoned E-R with a smaller, southern portion zoned R-2 adjacent to Crystal Brook Subdivision. He noted that the Future Land Use Map within the Comprehensive Plan designates the property as "Single-Family Detached Residential", as well as the areas to the west and south of the subject property. The areas to the north and east of the subject property are Forest Preserve lands and are designated as "Environmental Conservation" on the Future Land Use Map. The driveway entrance to the property is gated. The applicant has



Joseph A. Schudt & Associates

9455 ENTERPRISE DRIVE, MOKENA, IL 60448
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: survey@jaseng.com http://www.jaseng.com

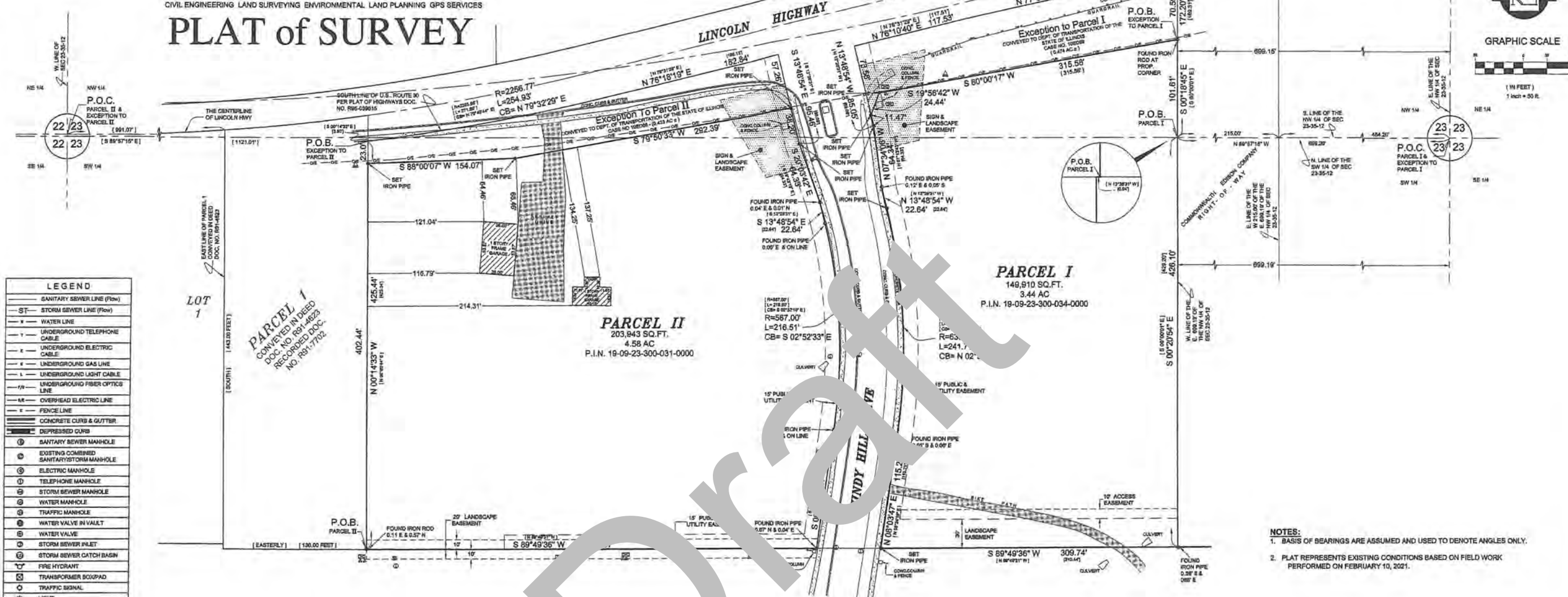
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

PLAT of SURVEY



GRAPHIC SCALE

1" = 50 FT.



LEGEND	
—	SANITARY SEWER LINE (Flow)
—	STORM SEWER LINE (Flow)
—	WATER LINE
—	UNDERGROUND TELEPHONE CABLE
—	UNDERGROUND ELECTRIC CABLE
—	UNDERGROUND GAS LINE
—	UNDERGROUND LIGHT CABLE
—	UNDERGROUND FIBER OPTICS LINE
—	OVERHEAD ELECTRIC LINE
—	FENCE LINE
—	CONCRETE CURB & GUTTER
—	DEPRESSED CURB
⊙	SANITARY SEWER MANHOLE
⊙	EXISTING COMBINED SANITARY/STORM MANHOLE
⊙	ELECTRIC MANHOLE
⊙	TELEPHONE MANHOLE
⊙	STORM SEWER MANHOLE
⊙	WATER MANHOLE
⊙	TRAFFIC MANHOLE
⊙	WATER VALVE IN VAULT
⊙	WATER VALVE
⊙	STORM SEWER INLET
⊙	STORM SEWER CATCH BASIN
⊙	FIRE HYDRANT
⊙	TRANSFORMER BOX/PAD
⊙	TRAFFIC SIGNAL
⊙	LIGHT
⊙	POWER POLE
⊙	HAND HOLE
⊙	GAS METER
⊙	GAS MAYER
⊙	ELECTRIC METER
⊙	SOIL BORING
⊙	TELEPHONE BOX / PAD
⊙	GAS VALVE
⊙	SIGN
⊙	REGULAR PARKING SPACE
⊙	HANDICAP PARKING SPACE
⊙	DECIDUOUS TREE
⊙	EVERGREEN
⊙	BUSH/HEDGE
⊙	PINE TREES
⊙	EXISTING GROUND ELEVATION
⊙	EXISTING CONTOUR GRADE
⊙	RECORDED DISTANCE

PARCEL I:
THAT PART OF THE NORTHWEST QUARTER OF SECTION 23, AND THAT PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 23, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 23 WITH THE WEST LINE OF THE EAST 609.19 FEET OF SAID SOUTHWEST 1/4 OF SECTION 23; THENCE SOUTH 00 DEGREES 00 MINUTES 01 SECONDS EAST ALONG SAID WEST LINE OF THE EAST 609.19 FEET OF SAID SOUTHWEST 1/4, A DISTANCE OF 429.20 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 15 SECONDS EAST, A DISTANCE OF 310.44 FEET; THENCE NORTH 08 DEGREES 24 MINUTES 10 SECONDS EAST, A DISTANCE OF 115.21 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 533.00 FEET, HAVING A CHORD BEARING OF NORTH 02 DEGREES 32 MINUTES 10 SECONDS WEST, A DISTANCE OF 241.71 FEET TO A POINT OF TANGENCY; THENCE NORTH 13 DEGREES 28 MINUTES 31 SECONDS WEST, A DISTANCE OF 22.64 FEET; THENCE NORTH 07 DEGREES 13 MINUTES 43 SECONDS WEST, A DISTANCE OF 64.33 FEET; THENCE NORTH 13 DEGREES 28 MINUTES 31 SECONDS WEST, A DISTANCE OF 35.59 FEET TO THE SOUTH LINE OF U.S. ROUTE 30 AS CONVEYED TO THE STATE OF ILLINOIS PER DEED DOCUMENT R04-001891; THENCE NORTH 78 DEGREES 31 MINUTES 26 SECONDS EAST ALONG SAID SOUTHERLY LINE OF U.S. ROUTE 30, A DISTANCE OF 117.31 FEET; THENCE CONTINUING ALONG SAID SOUTHERLY LINE OF U.S. ROUTE 30, NORTH 77 DEGREES 57 MINUTES 25 SECONDS EAST, A DISTANCE OF 228.21 FEET TO THE WEST LINE OF THE EAST 609.19 FEET OF THE EAST 1/2 OF SAID NORTHWEST QUARTER OF SECTION 23; THENCE SOUTH 00 DEGREES 00 MINUTES 01 SECONDS EAST, A DISTANCE OF 189.31 FEET TO THE SOUTH LINE OF SAID NORTHWEST QUARTER; THENCE NORTH 89 DEGREES 42 MINUTES 30 SECONDS WEST, A DISTANCE OF 0.04 FEET TO THE PLACE OF BEGINNING IN WILL COUNTY, ILLINOIS.

PARCEL II:
THAT PART OF THE NORTHWEST QUARTER OF SECTION 23, AND THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 23, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST LINE OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, WITH THE CENTER LINE OF LINCOLN HIGHWAY, AND RUNNING THENCE EASTERLY ALONG THE CENTER LINE OF SAID LINCOLN HIGHWAY 99.07 FEET TO THE NORTHEAST CORNER OF PARCEL I, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SECTION 23 ALONG THE EAST LINE OF PARCEL I CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702, A DISTANCE OF 443.00 FEET; THENCE EASTERLY A DISTANCE OF 130.30 FEET PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 23 TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 00 MINUTES 44 SECONDS EAST, 423.34 FEET TO THE SOUTH LINE OF U.S. ROUTE 30 AS DEPICTED ON PLAT OF HIGHWAYS DOCUMENT NO. R56-039615 THENCE EASTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH (BEING THE SAID SOUTHERLY LINE OF U.S. ROUTE 30) HAVING A RADIUS OF 2355.88 FEET, HAVING A CHORD BEARING OF NORTH 78 DEGREES 48 MINUTES 44 SECONDS EAST 271.69 FEET TO A POINT OF TANGENCY; THENCE NORTH 78 DEGREES 31 MINUTES 26 SECONDS EAST CONTINUING ALONG SAID SOUTHERLY LINE OF U.S. ROUTE 30, 186.13 FEET; THENCE SOUTH 13 DEGREES 28 MINUTES 31 SECONDS EAST 95.09 FEET; THENCE SOUTH 19 DEGREES 43 MINUTES 19 SECONDS EAST 84.33 FEET; THENCE SOUTH 13 DEGREES 28 MINUTES 31 SECONDS EAST 22.64 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 567.00 FEET, HAVING A CHORD BEARING SOUTH 02 DEGREES 32 MINUTES 10 SECONDS EAST 218.51 FEET TO A POINT OF TANGENCY; THENCE SOUTH 08 DEGREES 24 MINUTES 10 SECONDS WEST, 124.75 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 31 SECONDS WEST ALONG A LINE PARALLEL WITH THE SOUTH LINE OF THE SAID SOUTHWEST 1/4, 469.97 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

EXCEPT THAT PORTION OF PARCEL I AND PARCEL II CONVEYED TO THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER VESTING TITLE DATED DECEMBER 7, 2010 IN CASE NO. 1 0E086 FILED IN THE WILL COUNTY, ILLINOIS CIRCUIT COURT AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THAT PART OF THE NORTHWEST QUARTER OF SECTION 23, SOUTH OF THE INDIAN BOUNDARY LINE, IN TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS; DESCRIBED AS FOLLOWS:
COMMENCING AT THE CENTER OF FRACTIONAL SECTION 23; THENCE ON AN ASSUMED BEARING OF NORTH 89 DEGREES 57 MINUTES 15 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF SECTION 23, A DISTANCE OF 609.20 FEET TO THE WEST LINE OF THE EAST 609.19 FEET OF SAID NORTHWEST QUARTER OF SECTION 23; THENCE NORTH 00 DEGREES 18 MINUTES 45 SECONDS WEST ALONG SAID WEST LINE 101.61 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 80 DEGREES 00 MINUTES 17 SECONDS WEST 313.36 FEET; THENCE SOUTH 19 DEGREES 35 MINUTES 42 SECONDS WEST 24.44 FEET TO THE EASTERLY RIGHT OF WAY LINE OF WINDY HILL DRIVE PER WINDY HILL FARM SUBDIVISION PHASE 1 P.U.D. RECORDED SEPTEMBER 5, 2000 AS DOCUMENT NUMBER R2000-096341; THENCE NORTH 13 DEGREES 48 MINUTES 54 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE 73.58 FEET TO THE EXISTING RIGHT OF WAY LINE OF U.S. ROUTE 30 (LINCOLN HIGHWAY) PER DOT PLAT OF HIGHWAYS RECORDED JUNE 13, 1995 AS DOCUMENT NUMBER R04-029915; THENCE NORTH 76 DEGREES 10 MINUTES 40 SECONDS EAST ALONG SAID EXISTING RIGHT OF WAY LINE 117.53 FEET, MEASURED (117.51 FEET, RECORDED); THENCE NORTH 77 DEGREES 36 MINUTES 35 SECONDS EAST ALONG SAID EXISTING RIGHT OF WAY LINE 227.46 FEET, MEASURED (228.21 FEET, RECORDED); TO SAID WEST LINE OF THE EAST 609.19 FEET OF THE NORTHWEST QUARTER OF SECTION 23; THENCE SOUTH 00 DEGREES 18 MINUTES 45 SECONDS WEST ALONG SAID WEST LINE 70.59 FEET TO THE POINT OF BEGINNING.
SAID PARCEL CONTAINING 0.474 ACRES, MORE OR LESS.

- NOTES:**
1. BASIS OF BEARINGS ARE ASSUMED AND USED TO DENOTE ANGLES ONLY.
 2. PLAT REPRESENTS EXISTING CONDITIONS BASED ON FIELD WORK PERFORMED ON FEBRUARY 10, 2021.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER VESTING TITLE DATED DECEMBER 7, 2010 IN CASE NO. 1 0E086 FILED IN THE WILL COUNTY, ILLINOIS CIRCUIT COURT AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PART OF THE SOUTHWEST QUARTER OF FRACTIONAL SECTION 23 AND PART OF THE NORTHWEST QUARTER OF SECTION 23, SOUTH OF THE INDIAN BOUNDARY LINE, IN TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS; DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID FRACTIONAL SECTION 23; THENCE ON AN ASSUMED BEARING OF SOUTH 89 DEGREES 57 MINUTES 15 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF FRACTIONAL SECTION 23, A DISTANCE OF 1121.01 FEET TO THE EAST LINE OF A QUIT CLAIM DEED RECORDED JANUARY 29, 1991 AS DOCUMENT NUMBER R01-004623; THENCE SOUTH 00 DEGREES 14 MINUTES 33 SECONDS EAST ALONG SAID EAST LINE 3.90 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED BY A SPECIAL WARRANTY DEED RECORDED JUNE 1, 2007 AS DOCUMENT NUMBER R2007-084184 AND TO THE POINT OF BEGINNING, SAID POINT BEING ALSO ON THE EXISTING RIGHT OF WAY LINE OF U.S. ROUTE 30 (LINCOLN HIGHWAY) PER DEDICATION RECORDED MARCH 25, 1922, IN BOOK 570, PAGE 186 AS DOCUMENT NUMBER 342998 AND ON A NONTANGENTIAL CURVE; THENCE NORTHEASTERLY ALONG THE NORTH LINE OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184 AND SAID EXISTING RIGHT OF WAY LINE 254.93 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 2,296.77 FEET, THE CHORD OF SAID CURVE BEARS NORTH 79 DEGREES 32 MINUTES 29 SECONDS EAST 254.79 FEET TO A POINT OF TANGENCY; THENCE NORTH 76 DEGREES 18 MINUTES 19 SECONDS EAST ALONG SAID NORTH LINE OF THE PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184 AND SAID EXISTING RIGHT OF WAY LINE 162.84 FEET TO THE NORTHEAST CORNER OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184, SAID POINT BEING ALSO IN THE WESTERLY RIGHT OF WAY LINE OF WINDY HILL DRIVE PER WINDY HILL FARM SUBDIVISION PHASE 1 P.U.D., RECORDED SEPTEMBER 5, 2000 AS DOCUMENT NUMBER R2000-096341; THENCE SOUTH 13 DEGREES 48 MINUTES 54 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184 AND SAID WESTERLY RIGHT OF WAY LINE 57.26 FEET; THENCE SOUTH 19 DEGREES 35 MINUTES 42 SECONDS WEST 222.38 FEET; THENCE SOUTH 89 DEGREES 00 MINUTES 07 SECONDS WEST 184.07 FEET TO THE WEST LINE OF SAID PROPERTY DESCRIBED BY DOCUMENT NUMBER R2007-084184, SAID LINE BEING ALSO SAID EAST LINE OF THE PROPERTY DESCRIBED BY DOCUMENT NUMBER R01-004623; THENCE NORTH 00 DEGREES 14 MINUTES 33 SECONDS WEST ALONG SAID WEST LINE 23.00 FEET TO THE POINT OF BEGINNING.
SAID PARCEL CONTAINING 0.433 ACRES, MORE OR LESS.

STATE OF ILLINOIS)
COUNTY OF WILL) S.S.

JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY HAVE SURVEYED THE PROPERTY DESCRIBED HEREON, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS IN FEET AND DECIMAL PARTS THEREOF.

MOKENA, ILLINOIS February 10th A.D. 2021.
JOSEPH A. SCHUDT & ASSOCIATES (184-001172)

Joseph A. Schudt
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3112 (EXP. 11-30-22)



RECEIVED
By Christopher Gruba at 9:47 am, Oct 21, 2021

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Any use or reproduction of this document or the attached drawings, or the use of the design approach shown or concepts described in this document and the attached drawings, in whole or in part by any means whatsoever is strictly prohibited except with written consent of JOSEPH A. SCHUDT & ASSOCIATES.

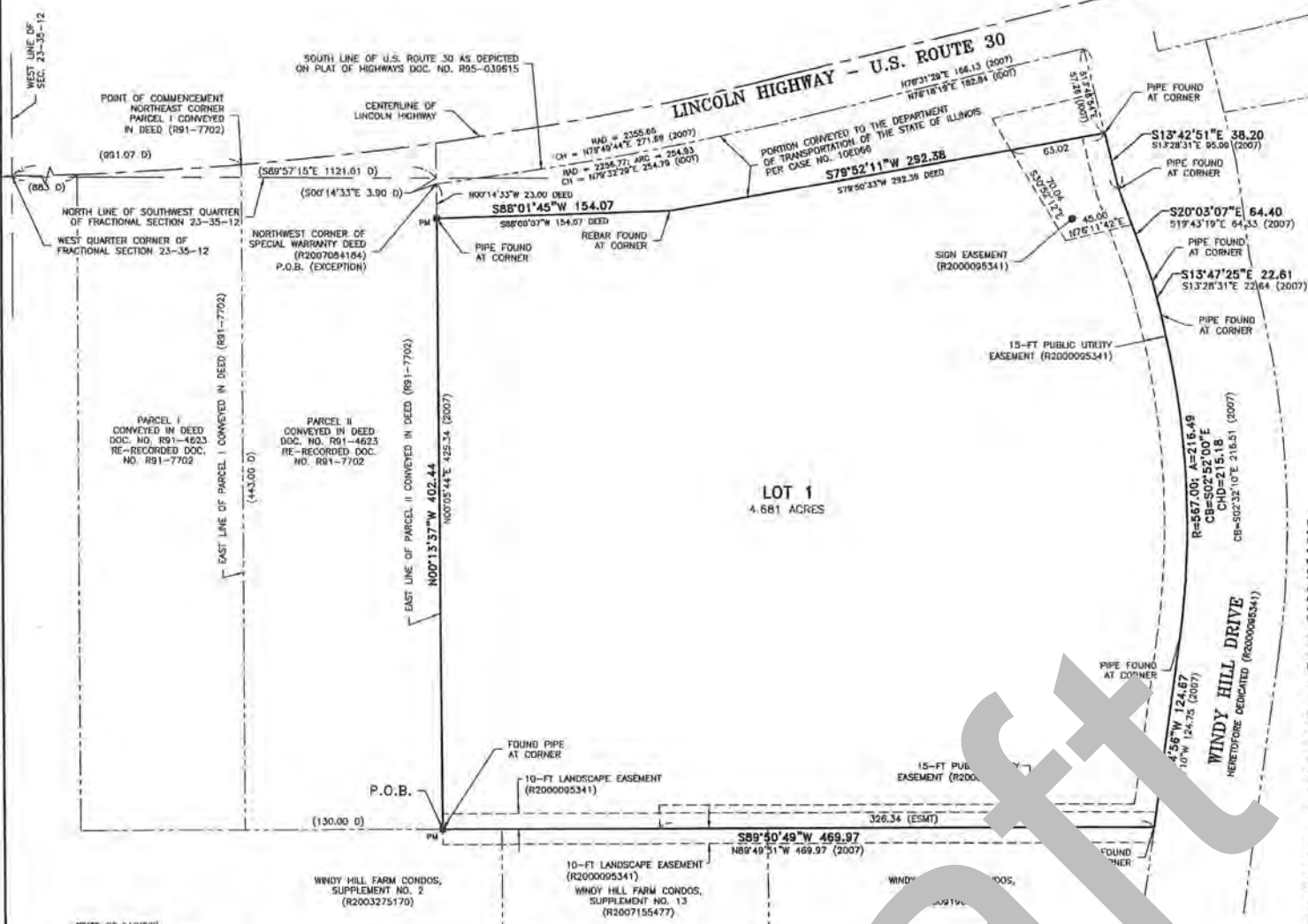
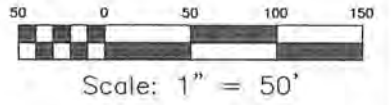
ORDERED BY: M.T. LEASING, INC.
ADDRESS: 6531 W. Lincoln Highway, Frankfort, IL.
ORDER NO.: 17-007-001

RECEIVED
By Christopher Gruba at 10:25 am, Aug 10, 2022

FINAL PLAT OF

OASIS FRANKFORT SUBDIVISION

A SUBDIVISION OF PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 23, AND THAT PART OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 35 NORTH RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



- ### GENERAL NOTES
- THE BASIS OF BEARING AND MEASUREMENT FOR THIS DEVELOPMENT IS THE STATE PLANE OF ILLINOIS - EAST DATUM (NAD 83 (2000 ADJUSTMENT)) GRID COORDINATES.
 - THE NOTATION OF (2007) OR (2007) FOLLOWING A DIMENSION INDICATES THAT THE DIMENSION IS A DEED DIMENSION. THE (2007) DESIGNATION IS FOUND ON THE DOT CONDEMNATION TAKE PER CASE NO. 10E066 AND THE (2007) DESIGNATION IS FOUND ON THE SPECIAL WARRANTY DEED RECORDED AS R2007091814.
 - THIS SUBDIVISION WAS PREPARED WITH THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, PREMIER TITLE (CHICAGO TITLE INSURANCE COMPANY), COMMITMENT NUMBER 2021-02576-PF WITH A COMMITMENT DATE OF AUGUST 23, 2021.
 - - INDICATES 9/16" IRON SET IN CONCRETE FOR A PERMANENT MONUMENT.

EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric and communications service is hereby reserved for and granted to COMMONWEALTH EDISON COMPANY, AMERITECH TELEPHONE COMPANY, APPLICABLE CABLE TELEVISION COMPANY, GRANTEES

Their respective successors and assigns, jointly and severally, to install, operate, maintain and remove, from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and signals in, over, under, across, along and upon the surface of the property shown within the dotted lines on the plat and marked "Easement"; the property designated in the Declaration of Condominium and/or on the plat as "Common Elements", and the property designated on the plat as a "Common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections over or under the surface of such lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over "granted" facilities or in, upon or over the property within the dotted lines marked "Easement" without the prior written consent of grantee. After installation of any such facilities the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 785 ILCS 605/2(a), as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved to whole or in part to the benefit of the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by other terms such as "outdoor", "common elements", "open space", "open area", "common ground", "parking and common area". The terms "common area or areas" and "Common Elements" includes real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structure such as a pool or retention pond, or mechanical equipment.

Relocation of facilities will be done by grantee at cost of Grantor/Lot Owner, upon written request.

An easement is hereby reserved for and granted to NORTHERN ILLINOIS GAS COMPANY, its successors and assigns ("NIG") to install, operate, maintain, repair and remove, facilities used in connection with the transmission and distribution of natural gas in, over, under, across, along and upon the surface of the property shown on this plat marked "Easement". "Common Area or Areas" and "Common Elements" shall not include the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", together with the right to install required service connections over or under the surface of such lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, and to serve other property, adjacent or otherwise, and the right to remove obstructions, including but not limited to, trees, bushes, roots and fences, as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes. Obstructions shall not be placed over "granted" facilities or in, upon or over the property identified on this plat for utility purposes without the prior written consent of NIG. After installation of any such facilities, the grade of the property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in Section 605/2(e) of the "Condominium Property Act" (Illinois Compiled Statutes, Ch. 785, Sec. 605/2(e)), as amended from time to time.

The term "Common Area or Areas" is defined as a lot, parcel or area of real property, including real property surfaced with interior driveways and walkways, the beneficial use and enjoyment of which is reserved in whole or in part to the benefit of the separately owned lots, parcels or areas within the property, even though such areas may be designated on the plat by other terms.

STATE OF ILLINOIS
COUNTY OF WILL) SS

I, CHRISTOPHER M. PAGESH, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT UNDER THE DIRECTION OF THE OWNERS THEREOF, I HAVE SURVEYED, SUBDIVIDED AND PLATTED INTO 1 LOT AND NO STREETS, DESCRIBED AS FOLLOWS:

THAT PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 23, AND THAT PART OF THE SOUTHWEST QUARTER OF SECTION 23, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE WEST LINE OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, WITH THE CENTERLINE OF LINCOLN HIGHWAY, AND RUNNING THENCE EASTERLY ALONG THE CENTERLINE OF SAID LINCOLN HIGHWAY, 991.07 FEET TO THE NORTHEAST CORNER OF PARCEL I, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702; THENCE SOUTHERLY ALONG THE WEST LINE OF SECTION 23 ALONG THE EAST LINE OF PARCEL I, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702, A DISTANCE OF 443.00 FEET; THENCE EASTERLY A DISTANCE OF 130.00 FEET PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 23 TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 05 MINUTES 44 SECONDS EAST, 425.34 FEET TO THE SOUTH LINE OF U.S. ROUTE 30 AS DEPICTED ON PLAT OF HIGHWAYS DOCUMENT NO. R95-039615; THENCE EASTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH (BEING THE SAID SOUTHERLY LINE OF U.S. ROUTE 30) HAVING A RADIUS OF 2355.86 FEET, HAVING A CHORD BEARING OF NORTH 79 DEGREES 49 MINUTES 44 SECONDS EAST, 271.6 FEET TO A POINT OF TANGENCY; THENCE NORTH 76 DEGREES 31 MINUTES 29 SECONDS EAST CONTINUING ALONG SAID SOUTHERLY LINE OF U.S. ROUTE 30, A DISTANCE OF 166.13 FEET; THENCE SOUTH 43 DEGREES 28 MINUTES 31 SECONDS EAST, 95.09 FEET; THENCE SOUTH 19 DEGREES 43 MINUTES 19 SECONDS EAST 84.33 FEET; THENCE SOUTH 13 DEGREES 13 SECONDS EAST, 22.64 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 107.74 FEET, HAVING A CHORD BEARING SOUTH 62 DEGREES 32 MINUTES 10 SECONDS EAST, 216.51 FEET TO A POINT OF TANGENCY; THENCE SOUTH 10 DEGREES WEST, 154.75 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 31 SECONDS WEST, 489.97 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS BY ORDER VESTING TITLE DATED DECEMBER 7, 2011, AND SAID PORTION OF SAID SECTION 23, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE WEST LINE OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, WITH THE CENTERLINE OF LINCOLN HIGHWAY, 991.07 FEET TO THE NORTHEAST CORNER OF PARCEL I, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702; THENCE SOUTHERLY ALONG THE WEST LINE OF SECTION 23 ALONG THE EAST LINE OF PARCEL I, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702, A DISTANCE OF 443.00 FEET; THENCE EASTERLY A DISTANCE OF 130.00 FEET PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 23 TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 05 MINUTES 44 SECONDS EAST, 425.34 FEET TO THE SOUTH LINE OF U.S. ROUTE 30 AS DEPICTED ON PLAT OF HIGHWAYS DOCUMENT NO. R95-039615; THENCE EASTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH (BEING THE SAID SOUTHERLY LINE OF U.S. ROUTE 30) HAVING A RADIUS OF 2355.86 FEET, HAVING A CHORD BEARING OF NORTH 79 DEGREES 49 MINUTES 44 SECONDS EAST, 271.6 FEET TO A POINT OF TANGENCY; THENCE NORTH 76 DEGREES 31 MINUTES 29 SECONDS EAST CONTINUING ALONG SAID SOUTHERLY LINE OF U.S. ROUTE 30, A DISTANCE OF 166.13 FEET; THENCE SOUTH 43 DEGREES 28 MINUTES 31 SECONDS EAST, 95.09 FEET; THENCE SOUTH 19 DEGREES 43 MINUTES 19 SECONDS EAST 84.33 FEET; THENCE SOUTH 13 DEGREES 13 SECONDS EAST, 22.64 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 107.74 FEET, HAVING A CHORD BEARING SOUTH 62 DEGREES 32 MINUTES 10 SECONDS EAST, 216.51 FEET TO A POINT OF TANGENCY; THENCE SOUTH 10 DEGREES WEST, 154.75 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 31 SECONDS WEST, 489.97 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY.

NO. 10E066 FILED IN THE WILL COUNTY CLERK'S OFFICE ON JANUARY 25, 1991 AS DOCUMENT NUMBER R01-004623; THENCE SOUTH 00 DEGREES 05 MINUTES 44 SECONDS EAST ALONG SAID EAST LINE 3.90 FEET TO THE NORTHEAST CORNER OF PARCEL I, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702; THENCE SOUTHERLY ALONG THE WEST LINE OF SECTION 23 ALONG THE EAST LINE OF PARCEL I, CONVEYED IN DEED RECORDED AS DOCUMENT NUMBER R01-4623 AND RE-RECORDED AS DOCUMENT NUMBER R01-7702, A DISTANCE OF 443.00 FEET; THENCE EASTERLY A DISTANCE OF 130.00 FEET PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 23 TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 05 MINUTES 44 SECONDS EAST, 425.34 FEET TO THE SOUTH LINE OF U.S. ROUTE 30 (LINCOLN HIGHWAY) PER DEDICATION RECORDED MARCH 25, 1922, IN BOOK 570, PAGE 1 DOCUMENT NUMBER R01-004623 AND SAID EXISTING RIGHT OF WAY LINE 254.93 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 2258.77 FEET, THE DEGREES 32 MINUTES 29 SECONDS EAST 254.79 FEET TO A POINT OF TANGENCY; THENCE NORTH 76 DEGREES 31 MINUTES 29 SECONDS EAST ALONG SAID SOUTHERLY LINE OF U.S. ROUTE 30, A DISTANCE OF 166.13 FEET; THENCE SOUTH 43 DEGREES 28 MINUTES 31 SECONDS EAST, 95.09 FEET; THENCE SOUTH 19 DEGREES 43 MINUTES 19 SECONDS EAST 84.33 FEET; THENCE SOUTH 13 DEGREES 13 SECONDS EAST, 22.64 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 107.74 FEET, HAVING A CHORD BEARING SOUTH 62 DEGREES 32 MINUTES 10 SECONDS EAST, 216.51 FEET TO A POINT OF TANGENCY; THENCE SOUTH 10 DEGREES WEST, 154.75 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 31 SECONDS WEST, 489.97 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS. Containing 4.681 acres more or less.

I DO FURTHER CERTIFY THAT:

- THE ACCOMPANYING PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AS MADE BY ME.
- NO PART OF THE PROPERTY INCLUDED WITHIN THIS SUBDIVISION FALLS WITHIN AN AREA IDENTIFIED AS A SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE FLOOD INSURANCE RATE MAP "FIRM" MAP NUMBER 17197C0214G, WITH AN EFFECTIVE DATE OF FEBRUARY 15, 2019.
- THE PROPERTY OR PLAT IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF FRANKFORT.
- ALL REGULATIONS ENACTED BY THE SUBDIVISION AND PLAT ORDINANCE OF THE VILLAGE OF FRANKFORT HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- 9/16" x 30" IRON RODS SET AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.

DATED AT CREST HILL, ILLINOIS THIS 20th DAY OF May, 2022, A.D.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3369
EXPIRATION DATE 11/20/2022
GEOTECH INCORPORATED PROFESSIONAL DESIGN
FIRM NUMBER 184-000185

STATE OF ILLINOIS
COUNTY OF WILL) SS

THIS IS TO CERTIFY THAT OASIS & LAND HOLDINGS, LLC, IS THE HOLDER OF RECORD TITLE TO THE PROPERTY DESCRIBED HEREON, AND HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED, AS SHOWN BY THIS PLAT FOR THE USES AND PURPOSES HEREIN SET FORTH AND THAT SAID OASIS & LAND HOLDINGS, LLC, HEREBY ACKNOWLEDGES AND ADOPTS THE SAME UNDER THE STYLE AND TITLE HEREON SHOWN.

TO THE BEST OF MY KNOWLEDGE THE PROPERTY DESCRIBED ON THIS PLAT, WHICH IS KNOWN AS OASIS FRANKFORT SUBDIVISION IS LOCATED WITHIN THE BOUNDARY LIMITS OF SUMMIT HILL ELEMENTARY, DISTRICT NUMBER 141, LINCOLN WAY COMMUNITY HIGH SCHOOL, DISTRICT NUMBER 210 AND JOLIET JUNIOR COLLEGE DISTRICT 525.

MADE THIS _____ DAY OF _____, 20____, A.D.

OASIS & LAND HOLDINGS, LLC
2575 McLEOD DRIVE SOUTH, SUITE C
SAGINAW, MI 48604

BY: MANAGING PARTNER

STATE OF ILLINOIS
COUNTY OF WILL) SS

I, _____, A HONORARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY

CERTIFY THAT _____, MANAGING PARTNER OF OASIS & LAND HOLDINGS, LLC PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE FOREGOING INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT, AS OFFICERS OF OASIS & LAND HOLDINGS, LLC FOR THE USES AND PURPOSES SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____, A.D.

HONORARY PUBLIC: _____

CERTIFICATE OF DOT APPROVAL

STATE OF ILLINOIS
COUNTY OF WILL) SS

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT OF PARAGRAPH 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS", AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

JOSE ROS, P.E.
REGION ONE ENGINEER

DATE _____

STATE OF ILLINOIS
COUNTY OF WILL) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS, OR DRAINS WHICH HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJACING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

THIS _____ DAY OF _____, 20____, A.D.

THOMAS CARROLL, P.E.
ILLINOIS P.E. #082-052783
LICENSE EXPIRES 11-30-2023

DRAWER OR ATTORNEY FOR DRAWER

CERTIFICATE OF PLANNING AND ZONING COMMISSION

STATE OF ILLINOIS
COUNTY OF WILL) SS

I, _____, CHAIRMAN OF THE VILLAGE OF FRANKFORT PLANNING AND ZONING COMMISSION, DO HEREBY CERTIFY THAT ON THIS _____ DAY OF _____, 20____, A.D. THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF FRANKFORT.

ATTEST: _____ BY: _____
SECRETARY CHAIR

CERTIFICATE OF CORPORATE AUTHORITIES APPROVAL

STATE OF ILLINOIS
COUNTY OF WILL) SS

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL COUNTY, ILLINOIS.

THIS _____ DAY OF _____, 20____, A.D.

ATTEST: _____ BY: _____
VILLAGE CLERK VILLAGE PRESIDENT
FRANKFORT, ILLINOIS 62423

CERTIFICATE OF TAX MAPPING AND PLATTING

STATE OF ILLINOIS
COUNTY OF WILL) SS

I, _____, DIRECTOR OF THE TAX MAPPING AND PLATTING OFFICE, DO HEREBY CERTIFY THAT I HAVE CHECKED THE PROPERTY DESCRIPTION OF THIS PLAT AGAINST AVAILABLE COUNTY RECORDS AND FND SAID DESCRIPTION TO BE TRUE AND CORRECT.

THE PROPERTY HEREIN DESCRIBED IS LOCATED ON TAX MAP NO. 09-23 CW & 09-23 CE AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) 19-09-23-300-031-0000

DATED THIS _____ DAY OF _____, 20____, A.D.

DIRECTOR

CERTIFICATE OF COUNTY CLERK

STATE OF ILLINOIS
COUNTY OF WILL) SS

I, _____, COUNTY CLERK OF WILL COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES OR UNPAID CURRENT GENERAL TAXES AGAINST ANY OF THE ESTATE DESCRIBED IN THE FOREGOING CERTIFICATES, GIVEN UNDER MY HAND AND SEAL AT JOLIET, ILLINOIS.

THIS _____ DAY OF _____, 20____, A.D.

WILL COUNTY CLERK

CERTIFICATE OF COUNTY RECORDER

STATE OF ILLINOIS
COUNTY OF WILL) SS

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF WILL COUNTY.

AFORESAID, ON THIS _____ DAY OF _____, 20____, A.D. AT _____ O'CLOCK _____ A.M.

WILL COUNTY RECORDER

GEOTECH INC. CONSULTING ENGINEERS - LAND SURVEYORS 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010	OASIS FRANKFORT SUBDIVISION	FINAL PLAT OF SUBDIVISION	DRAWN BY: MC	JOB # 21074	06.23.2022	CP
			CHECKED BY: CMP	DATE: MM/DD/YYYY	REVISOR	REVISED PER VILLAGE REVIEW

IMPROVEMENT PLANS FOR OASIS SENIOR LIVING FACILITY

7	PER VILLAGE
6	PER VILLAGE
5	PER VILLAGE
4	PER VILLAGE
3	PER VILLAGE
2	PER VILLAGE
1	PRELIM REV SUB
DATE	REV
12-15-21	1
7-15-21	2
5-15-21	3
4-11-21	4
3-11-21	5
2-11-21	6
1-11-21	7

TITLE SHEET

DRAWN BY: NW JOB: 21074
CHECKED BY: TC DATE: 12/14/21

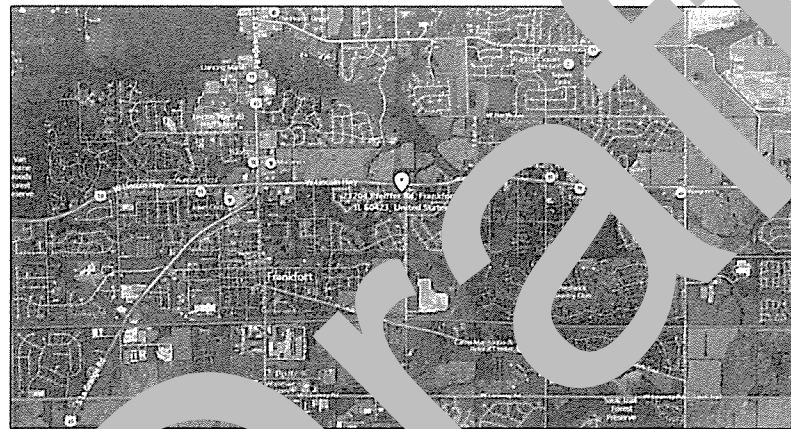
BENCHMARKS:

REFERENCE: WILL COUNTY MONUMENT 921, ELEV=712.24 (NAVD88/GEOID18). MONUMENT LOCATED NORTH OF INTERSECTION OF COLORADO AVE AND BANKVIEW DRIVE.

SITE: BONNET BOLT ON FIRE HYDRANT AT THE NORTHEAST CORNER OF THE PROPERTY, ELEV=695.31 (NAVD88/GEOID18).

PROPERTY INFORMATION:

ADDRESS: 8531 W. LINCOLN HIGHWAY
MUNICIPALITY: VILLAGE OF FRANKFORT
COUNTY: WILL
SECTION: SEC. 23 T35N R12E
P.I.N.(S): 09-23-300-031



INDEX OF SHEETS

1. TITLE SHEET
2. EXISTING CONDITIONS
3. GEOMETRIC PLAN
4. GRADING PLAN
5. UTILITY PLAN
6. STORMWATER POLLUTION PREVENTION PLAN
7. EROSION CONTROL PLAN
8. CONSTRUCTION DETAILS
9. CONSTRUCTION DETAILS - 2
10. SPECIFICATIONS

OWNER: OASIS IL LAND HOLDINGS LLC
TAHIR KHAN
2575 MOLEON DRIVE SOUTH, SUITE C
SAGINAW, MI 48604
989-992-4587

OASIS SENIOR LIVING
FRANKFORT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

WARNING



**CALL BEFORE
YOU DIG**

VILLAGE OF FRANKFORT PUBLIC WORK & UTILITIES DEPARTMENTS AND BUILDING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE START OF OR RESUMPTION OF WORK ON THE PROJECT

EXISTING	LEGEND	PROPOSED
—>—>—	STORM SEWER	—>—>—
—>—>—	SANITARY SEWER	—>—>—
—WM—WM—	WATER MAIN	—WM—WM—
⊗	FIRE HYDRANT	⊗
⊗	VALVE VAULT	⊗
⊗	VALVE BOX	⊗
⊗	STORM SEWER MANHOLE	⊗
⊗	CATCH BASIN	⊗
⊗	INLET	⊗
⊗	FLARED END SECTION	⊗
⊗	SANITARY SEWER MANHOLE	⊗
⊗	STREET LIGHT	⊗

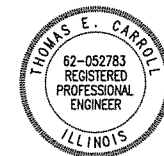
DRAINAGE & ENGINEER CERTIFICATE

I, THOMAS CARROLL, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY AFFIRM THAT THESE DOCUMENTS HAVE BEEN PREPARED BY OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS AND PRACTICES AND COMPLY WITH APPLICABLE LAWS, CODES AND ORDINANCES.

FURTHERMORE, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE IMPROVEMENTS OR ANY PART THEREOF, OR; THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE DEVELOPER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

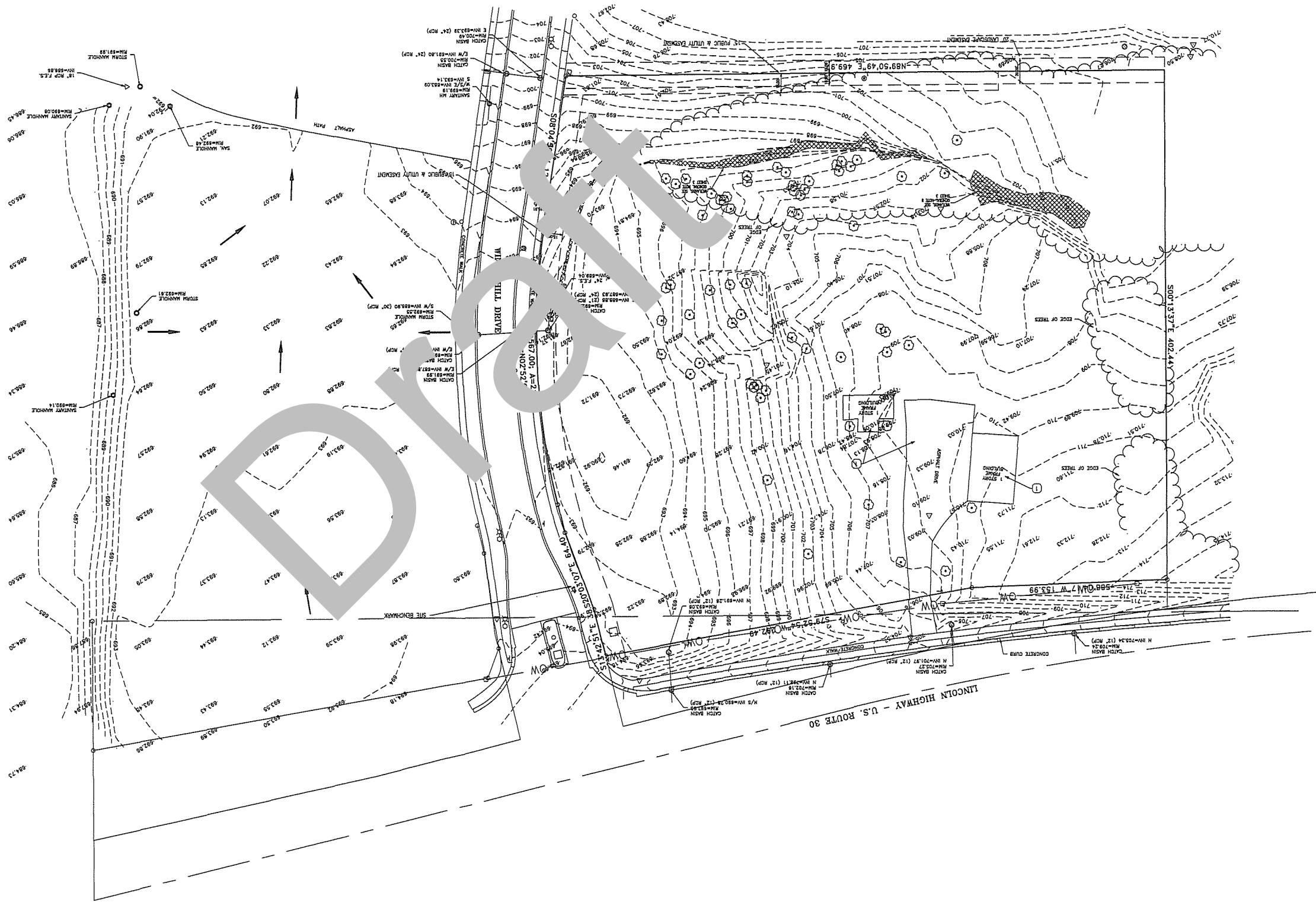
DATED THIS 17th DAY OF AUGUST, 2022

Thomas Carroll
THOMAS CARROLL, P.E.
ILLINOIS P.E. #062-052783
LICENSE EXPIRES 11-30-2023
GEOTECH INCORPORATED PROFESSIONAL
DESIGN FIRM NUMBER 184-000185



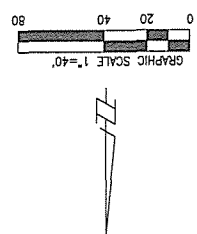
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- NOTES:**
1. EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY PERFORMED BY GEOTECH INCORPORATED.
 2. LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAVE BEEN RESEARCHED FROM THE BEST AVAILABLE INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT UTILITIES FROM THE BEST AVAILABLE INFORMATION AND RESEARCH FROM TO VERIFY LOCATIONS AND DEPTHS PRIOR TO ANY WORK.
 3. CONTRACTOR TO PROVIDE NECESSARY PROTECTION TO ALL EXISTING UTILITIES AND STRUCTURES ANY WORK.
 4. THE VILLAGE OF FRANKFORT SHALL BE NOTICED WHEN EXISTING FIELD DAMAGE TAKES ARE DISCOVERED DURING CONSTRUCTION. REPAIRS OF CONDITION OF FRANKFORT, THE VILLAGE OF FRANKFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS TO THE VILLAGE OF FRANKFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS TO THE VILLAGE OF FRANKFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 5. EXISTING TREES ON PARCELS TO BE REMOVED. SEE LANDSCAPE AND TREE PLANS FOR DETAILS.

① EXISTING BUILDING/ASPHALT DRIVE TO BE REMOVED.
CONSTRUCTION NOTES



21074

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

OASIS SENIOR LIVING
FRANKFORT, ILLINOIS

EXISTING CONDITIONS PLAN
DRAWN BY: NW
CHECKED BY: TC
JOB: 21074
DATE: 12/14/21

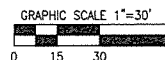
8-15-22	7	PER VILLAGE
9-2-22	6	PER VILLAGE
9-15-22	5	PER VILLAGE
1-15-22	4	PER VILLAGE
1-20-22	3	PER VILLAGE
12-15-21	2	PER VILLAGE
12-15-21	1	REVISION SUB

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APPROXIMATE US ROUTE 30 CENTERLINE PER
PLAT OF HIGHWAYS DOC. NO. R95-039615

LINCOLN HIGHWAY - U.S. ROUTE 30

APPROXIMATE US ROUTE 30 CENTERLINE PER
PLAT OF HIGHWAYS DOC. NO. R95-039615



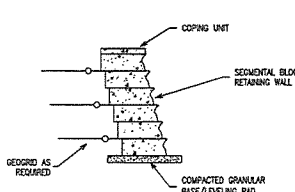
- GENERAL NOTES:**
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DETAILS AND DIMENSIONS. BUILDING FOOTPRINT(S) SHOWN FOR REFERENCE.
 - UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE 4-INCH WIDE STANDARD HOT PAVED YELLOW. MARKINGS WITHIN A R.O.W. SHALL BE THERMOPLASTIC. DIAGONAL STRIPING SHALL BE 2-FOOT ON CENTER.
 - WHERE SHOWN ON PLANS, SIDEWALKS INTERSECTING CURBS SHALL BE CONSTRUCTED WITH DEPRESSED CURBS, ADA ACCESSIBLE RAMPS, AND DETECTABLE WARNING SURFACE FOR STANDARD DOT DETAILS.
 - CURB RAMPS FOR SIDEWALKS ADJACENT TO ACCESSIBLE STALLS SHALL BE PROVIDED AT LOCATIONS SHOWN ON PLANS, PER THE STANDARD DOT DETAILS. CURB TRANSITIONS FROM FULL HEIGHT TO DEPRESSED, ADJACENT TO THE RAMPS, SHALL BE MINIMUM OF 6 FT.
 - ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT.
 - PROVIDE FULL DEPTH SCAPOUT FOR ALL CURB, PAVEMENT, OR SIDEWALK TO BE REMOVED.
 - ALL SIGNS SHALL COMPLY WITH THE U.S. DEPT. OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE ILLINOIS ADMINISTRATIVE CODE, LATEST EDITIONS.
 - WETLAND LIMITS BASED ON DELINEATION PERFORMED BY EGS MGMT, LLC AND SUMMARIZED IN THEIR REPORT OF THE U.S. DELINEATION REPORT DATED JULY 1, 2022. THE WETLANDS TOTAL APPROXIMATELY 0.08 ACRES. THE USAGE WILL BE CONSULTED TO VERIFY THE DELINEATION AND ASSESSMENT THAT THE WETLANDS FALL UNDER THE JURISDICTION OF THE USACE. ALL NECESSARY USACE PERMITS WILL BE OBTAINED FOR PROPOSED IMPACTS TO THE WETLAND AREAS.

SITE DATA TABLE

SITE AREA:	4.68 AC
IMPERVIOUS AREA:	2.73 AC (58.3%)
UNITS:	
MEMORY CARDS:	26
STUDIOS:	33
ONE SET:	19
TOTAL:	82
REQUIRED PARKING (0.5/UNIT + 11 EMPLOYEES):	52
STANDARD PARKING STALLS:	52
ADA PARKING STALLS:	3

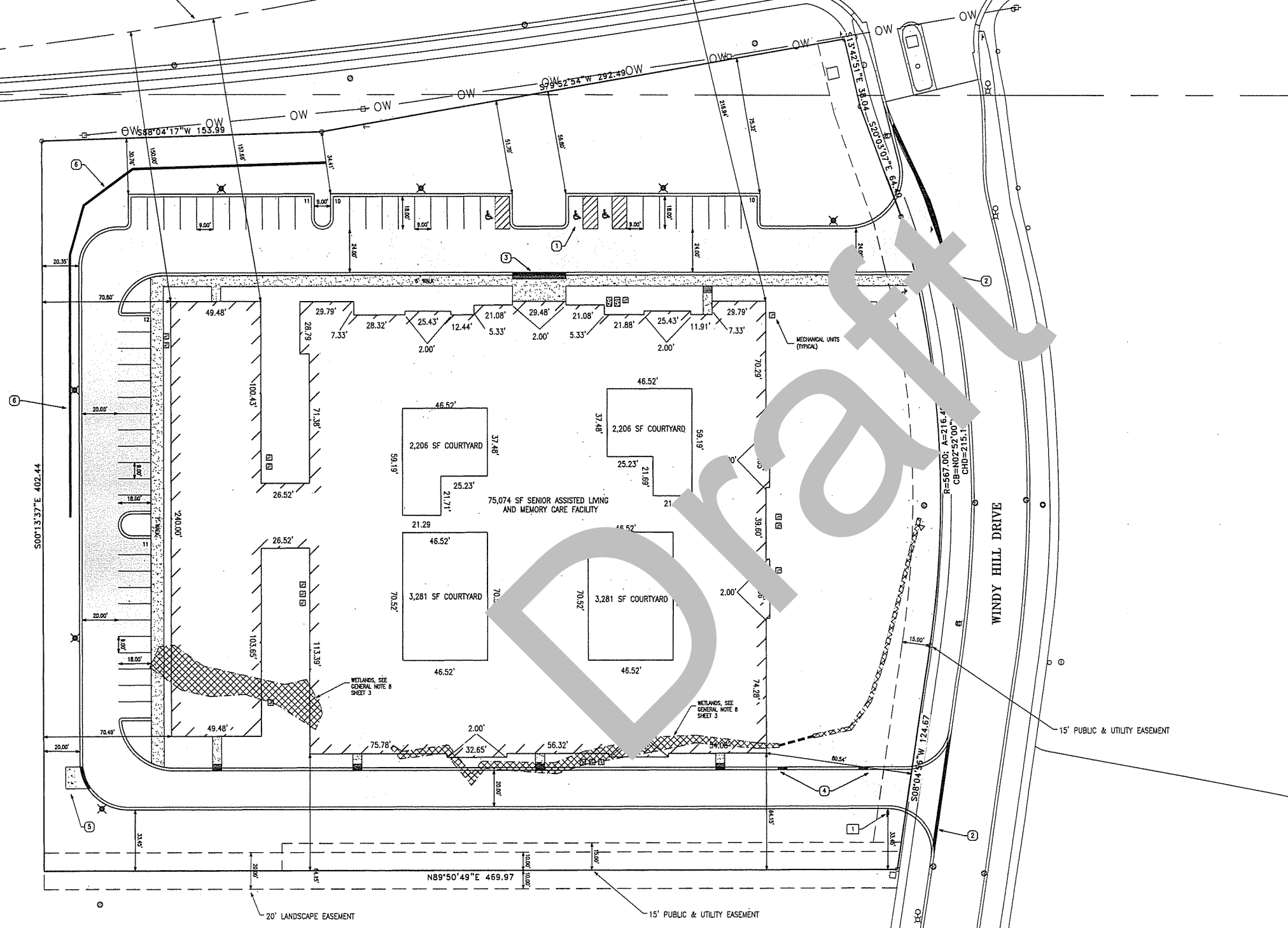
- CONSTRUCTION NOTES:**
- ADA PARKING SPACE AND SIGNAGE (TYPICAL), SEE DETAIL.
 - SCAPOUT EXISTING 88.12 CURB AND GUTTER TO CREATE DEPRESSED CURB AND GUTTER FOR ENTRANCE. SEE DETAIL FOR CONNECTING TO EXISTING CURB.
 - PROVIDE DEPRESSED CURB FOR ADA RAMP. PROVIDE WARNING PLATES. PROVIDE FLARES TO TRANSITION FROM FULL HEIGHT CURB TO DEPRESSED CURB.
 - 5' DEPRESSED CURB FOR OVERLAND FLOW.
 - CONCRETE PAD FOR DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED VARIABLE HEIGHT RETAINING WALL. SEE DETAIL.

- SIGN/PAVEMENT MARKING LEGEND:**
- STOP SIGN, R1-1, 30" X 30" W/ 12" WHITE STOP BAR



- TYPICAL RETAINING WALL SECTION N.T.S.**
- NOTES:
- WALL SECTION FOR REFERENCE. WALL MATERIAL, GEOTEXTILE, DRAIN, BASE AND CONSTRUCTION SHALL BE PER THE REQUIREMENTS OF WALL SYSTEM SELECTED BY CONTRACTOR.
 - WALL EXCEEDING 2.5 FEET IN HEIGHT OR 50' IN LENGTH SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.

- PAVEMENT LEGEND:**
- BITUMINOUS PAVEMENT:
1.5" HMA SURFACE, MAX D, NSD
2.5" HMA BINDER, 1.5, NSD
8" AGGREGATE, TYPE II, CA-4
 - CONCRETE PAVEMENT (4,000 PSI):
6" PCC, (8" ENTRANCE APRONS)
4" AGGREGATE BASE, TYPE II, CA-4
W/6"x6"-W2.5-W2.5 W.M.F.
 - PCC SIDEWALK:
5" PCC, 4,000 PSI
3" AGGREGATE, CA7
 - 88.12 CURB & GUTTER
 - 88.12 CURB & GUTTER (REVERSE FITCH)
 - DEPRESSED CURB & GUTTER



7	PER VILLAGE	DATE	12-15-21	REV	1
6	PER VILLAGE	DATE	11-11-21	REV	2
5	PER VILLAGE	DATE	11-11-21	REV	3
4	PER VILLAGE	DATE	11-11-21	REV	4
3	PER VILLAGE	DATE	11-11-21	REV	5
2	PER VILLAGE	DATE	11-11-21	REV	6
1	PRELIM REV. SUB	DATE	12-15-21	REV	7

GEOMETRIC PLAN

DRAWN BY: HW
CHECKED BY: TC

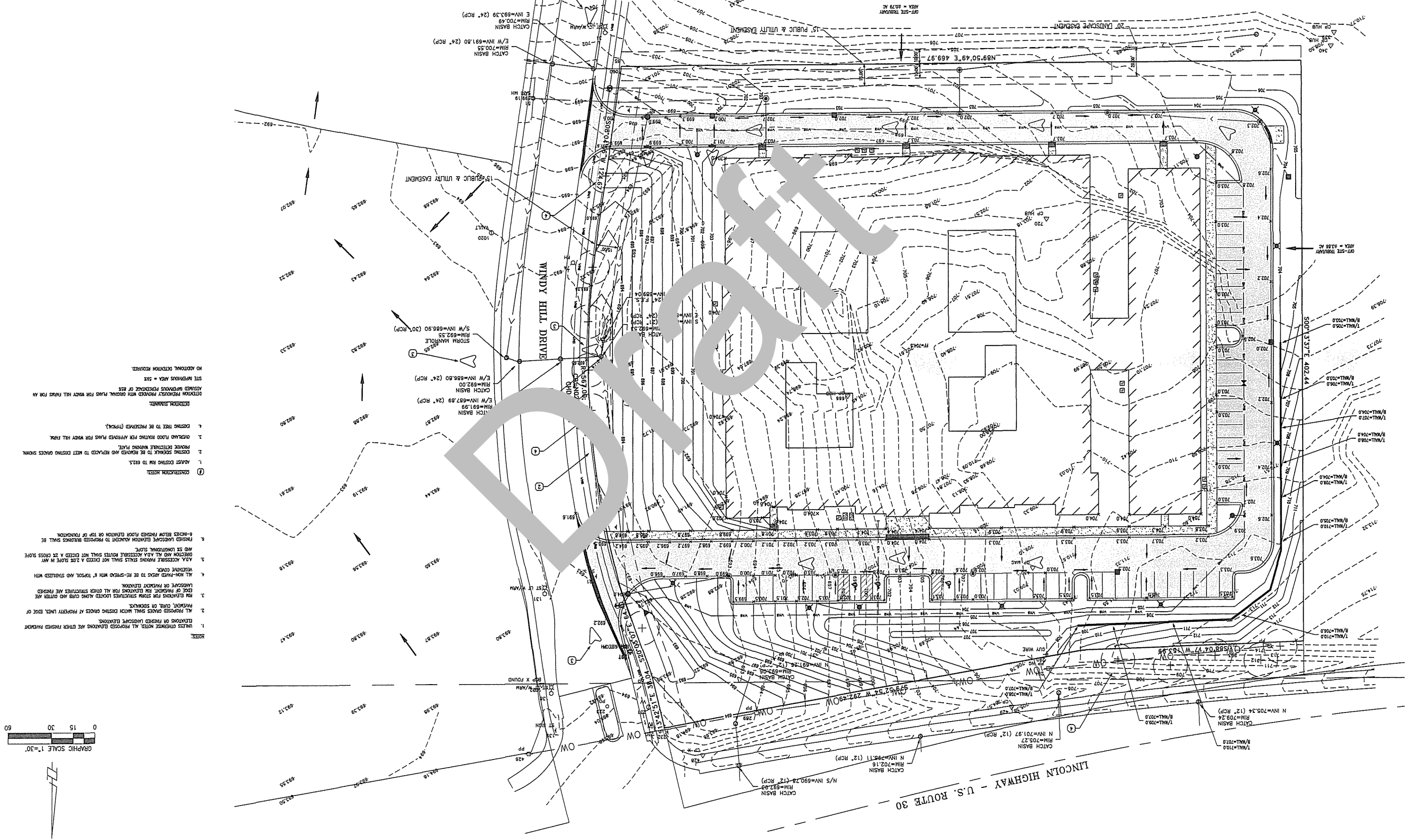
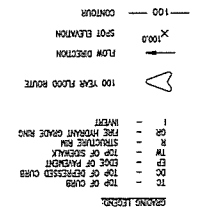
JOB: 21074
DATE: 12/14/21

**OASIS SENIOR LIVING
FRANKFORD, ILLINOIS**

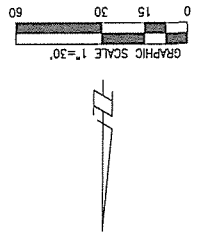
GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS

1207 CEDARWOOD DRIVE
CREST HILL, ILLINOIS 60403
815/730-1010

21074
3



- NOTES:**
- UNLESS OTHERWISE NOTED, ALL PROPOSED ELEVATIONS ARE OTHER FINISHED ELEVATIONS.
 - ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT PROPERTY LINES, EDGE OF PAVEMENT, CURB, OR SIDEWALKS.
 - RAE ELEVATIONS FOR STORM STRUCTURES LOCATED ALONG CURB AND GUTTER ARE EDGE OF PAVEMENT. RAE ELEVATIONS FOR ALL OTHER STRUCTURES ARE FINISHED LANDSCAPE OR FINISHED ELEVATION.
 - ALL NON-FINISHED AREAS TO BE RE-GRASSED WITH #1 TERZOLO AND STABILIZED WITH MEDICINE CORNER.
 - ALL ACCESSIBLE PAVEMENT SURFACES SHALL NOT EXCEED A 2% CROSS SLOPE AND BE CONTINUOUS. SLOPE.
 - RAE ACCESSIBLE PAVEMENT SURFACES SHALL NOT EXCEED A 2% CROSS SLOPE DIRECTION AND ALL ADA ACCESSIBLE ROUTES SHALL NOT EXCEED A 2% CROSS SLOPE AND BE CONTINUOUS. SLOPE.
 - FINISHED LANDSCAPE ELEVATION FINISHED ELEVATION SHALL BE 6" HIGHER BELOW FINISHED FLOOR ELEVATION OR TOP OF FOUNDATION.
- REVISIONS:**
- ADJUST EXISTING RAE TO 892.2.
 - EXISTING SLOPE TO BE REMOVED AND REPLACED TO MEET EXISTING GRADES SHOWN. PROVIDE DETAIL FOR FINISHED FLOOR.
 - OVERLAND FLOOD ROUTING FOR APPROVED PLANS FOR WINDY HILL PARK.
 - EXISTING TREE TO BE PRESERVED (TYPICAL).
- EXISTING DRAINAGE:**
- SECTION PROVIDED PROVIDED WITH SPECIAL PLANS FOR WINDY HILL PARK FOR AN ASSUMED APPROVED PERCENTAGE OF 55%
- SITE INFORMATION:**
- NO ADDITIONAL DETENTION REQUIRED.



NOTES:

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF NPDES PERMIT ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

1. SITE DECLARATION

THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY THAT IS THE SUBJECT OF THIS PLAN

- A. THE CONSTRUCTION SITE ACTIVITIES FOR THE SITE IMPROVEMENTS WILL INCLUDE, AS NECESSARY: TOPSOIL EXCAVATION AND STOCKPILING, EARTH EXCAVATION AND PLACEMENT OF EMBANKMENT MATERIAL, INSTALLATION OF WATER AND SEWER UTILITIES, STORM SEWERS, AND OTHER MUNICIPAL INFRASTRUCTURE SUCH AS TELECOMMUNICATIONS, GAS AND ELECTRIC LINES, DRIVEWAYS, DRIVEWAYS, RESURFACING OF TOPSOIL OVER ALL DISTURBED PERVIOUS AREAS, STABILIZATION OF PERVIOUS AREAS WITH SEED AND/OR OTHER LANDSCAPING MATERIALS, SOIL EROSION AND SEDIMENTATION MEASURES AND OTHER ACTIVITIES THAT MAY BE NECESSARY TO PROTECT ADJACENT AND DOWNSTREAM WATERS COURSE FROM DAMAGE.
- B. THE EXPECTED SEQUENCE OF ACTIVITIES THAT WILL CAUSE SIGNIFICANT DISTURBANCE AND DISRUPTION ARE AS FOLLOWS: SITE CLEARING, TOPSOIL EXCAVATION AND STOCKPILING, EARTH EXCAVATION AND RESTORATION OF DISTURBED AREAS, PRIOR TO THE COMMENCEMENT OF ANY SITE DISTURBANCE ACTIVITY, SILT FENCE, CONSTRUCTION ENTRANCE AND ANY REQUIRED PROTECTION MUST BE INSTALLED, AS NOTED ON THE PLANS, AS CONSTRUCTION ACTIVITY PROGRESSES.
- C. THE ESTIMATED STORMWATER RUNOFF COEFFICIENT ARE CONTAINED IN THE PROJECT DESIGN NARRATIVE ON FILE WITH THE LOCAL AGENCY HAVING JURISDICTION OVER THIS PROJECT. INFORMATION REGARDING SOIL CLASSIFICATIONS, ESTIMATED RUNOFF AND DETAILED COMPUTATIONS FOR THE MANAGEMENT OF STORMWATER RUNOFF ARE CONTAINED IN THE PROJECT DESIGN NARRATIVE, WHICH IS INCORPORATED BY REFERENCE AND MADE A PART OF THIS PLAN.

2. CONTROLS

THE PLAN ADDRESSES VARIOUS CONTROLS THAT MUST BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED ABOVE. FOR EACH OF THE CONTROLS DESCRIBED BELOW, THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ITS IMPLEMENTATION. EACH CONTRACTOR HAS SIGNED THIS PLAN ACKNOWLEDGING RESPONSIBILITY FOR THE IMPLEMENTATION AND ONGOING MAINTENANCE OF THIS PLAN.

A. SOIL EROSION AND SEDIMENT CONTROLS:

- 1. STABILIZATION PRACTICES: EXISTING VEGETATION SHOULD BE PRESERVED AS LONG AS POSSIBLE. DISTURBED AREAS SHOULD BE STABILIZED AS SOON AS POSSIBLE. STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE THE CONSTRUCTION ACTIVITY IS TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE LONGER THAN 14 DAYS IN AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT PERMIT FOR 21 DAYS OR MORE. WHERE SOIL COVER PRECLUDES STABILIZATION ACTIVITIES OR OTHER CONDITIONS PREVENT IMPLEMENTATION, STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON AS CONDITIONS PERMIT.
- 2. THE FOLLOWING INTERMEDIATE AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, SHALL BE EMPLOYED TO STABILIZE DISTURBED AREAS: PERMANENT SEEDING, VEGETATIVE FILTERS, STABILIZED CONSTRUCTION ENTRANCES, AND BARRIER FILTERS.
- 3. STRUCTURAL PRACTICES: THE FOLLOWING STRUCTURAL PRACTICES SHALL BE IMPLEMENTED TO THE EXTENT POSSIBLE TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM THE EXPOSED: STORM SEWER, STORM WATER CONVEYANCE CHANNELS AND PERMANENT SEEDING.

THE STORM WATER POLLUTANTS CONTROL MEASURES INCLUDE: SILT FILTER FENCE, BARRIER FILTERS, AND STORM SEWER SYSTEMS.

B. STORM WATER MANAGEMENT

- 1. THE FOLLOWING MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGE THAT MAY OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF SOME OF THESE DEVICES MAY BE SUBJECT TO THE PROVISIONS OF SECTION 404 OF THE CLEAN WATER ACT. THE PRACTICES BEING IMPLEMENTED BY THIS PLAN WERE SELECTED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN THE EPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AS WELL AS OTHER DOCUMENTS AND ORDINANCES LISTED IN THE SPECIFICATIONS.
- 2. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNELS, AS NECESSARY, TO ASSURE A NON-EROSIVE VELOCITY FLOW FROM ANY STRUCTURE TO A WATERCOURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS OF THE WATERCOURSE ARE MAINTAINED AND PROTECTED.

THE STORM WATER POLLUTANTS CONTROL MEASURES INCLUDE: SILT FILTER FENCE, BARRIER FILTERS, AND STORM SEWER SYSTEMS.

C. OTHER CONTROLS:

- 1. WASTE DISPOSAL: SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS SHALL BE COLLECTED AND DISPOSED OFF-SITE BY THE CONTRACTOR IN AN APPROVED MANNER. THE CONTRACTOR IS RESPONSIBLE TO ACQUIRE ANY PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON THE SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED INTO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY APPROPRIATE PERMITS. THIS PLAN SHALL COMPLY WITH ALL APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER AND/OR SEPTIC SYSTEM REGULATIONS.
- 2. SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS PROVIDED BY THE CONTRACTOR A MINIMUM OF TWO TIMES PER WEEK TO AVOID OVERFLOWING AND MAINTAIN SANITARY CONDITIONS AROUND THE UNIT.
- 3. ALL PETROLEUM PRODUCTS STORED ON-SITE SHALL BE STORED IN APPROVED CONTAINERS. ALL FUELING DEVICES SHALL HAVE SPILL KITS IMMEDIATELY AVAILABLE.
- 4. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. SPECIFIC AREAS FOR THIS ACTIVITY SHALL BE DESIGNATED BY THE CONTRACTOR AND PROVIDED WITH ADEQUATE FILTRATION BASINS AND OTHER FACILITIES TO ASSURE THAT DISCHARGE IS CONTAINED AND CLEANSED BEFORE ENTERING THE STORM WATER SYSTEM.
- 5. DE-WATERING OF EXCAVATIONS AND OTHER SPACES, USING PUMPS OR OTHER MEANS, AND ALL DISCHARGES OF WATER CONTAMINATED WITH SILT OR SEDIMENT SHALL BE MOVED TO A PORTABLE OR PERMANENT SEDIMENT BASIN TO ASSURE ALL SUSPENDED SOLIDS ARE REMOVED PRIOR TO FLOWS LEAVING THE CONSTRUCTION SITE.

D. APPROVED STATE OR LOCAL PLANS:

- 1. THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, CURRENT EDITION, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND ANY GOVERNING LOCAL ORDINANCES, REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS, SITE PERMITS, STORM WATER MANAGEMENT SITE PLANS OR SITE PERMITS AUTHORIZED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

3. MAINTENANCE

THE FOLLOWING PROCEDURES SHALL BE USED TO MAINTAIN, IN GOOD CONDITION, VEGETATION, EROSION AND SEDIMENTATION CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND THE STANDARD SPECIFICATION.

- a. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONES, REMOVE AND REPLACE TOP LAYER OF STONES OR WASHING THE ENTRANCE. ADJACENT PUBLIC STREETS SHALL BE SWEEP FREQUENTLY, IF NOT DAILY, TO ELIMINATE DUST AND SEDIMENTS.
- b. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SOONER VEGETATIVE CHANNELS, VEGETATIVE FILTERS, ETC. SHALL BE MAINTAINED PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.
- c. INLET FILTERS: THE SEDIMENTS SHALL BE REMOVED WHEN 50 PERCENT OF THE TOTAL ORIGINAL CAPACITY IS OCCUPIED BY THE SEDIMENT.
- d. SILT FILTER FENCE AND STRAW BALE BARRIER FILTERS: ANY DAMAGED AREAS SHALL BE REPAIRED TO MEET THE ORIGINAL DESIGN INTENT OR REMOVED AND REPLACED AS NECESSARY.
- e. RIP-RAP OUTLET PROTECTION: IT SHALL BE INSPECTED AFTER HIGH FLOWS FOR ANY SCOUR BENEATH THE RIP-RAP OR FOR STONES THAT HAVE BEEN DISLOOSED. IT SHALL BE REPAIRED IMMEDIATELY.

4. INSPECTIONS

UNLESS OTHERWISE DIRECTED BY THE OWNER, THE CONTRACTOR, OR CONTRACTOR'S REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE. SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT DOWNFALL.

- A. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. AT DISCHARGE LOCATIONS, INSPECTIONS SHALL BE ACCESSIBLE. THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS AND ADJACENT PROPERTIES. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF SITE SEDIMENT TRACKING.
- B. BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 4 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- C. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4.b SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED BY THE CONTRACTOR'S DESIGNATED "QUALIFIED INDIVIDUAL" AND COPIES FORWARDED TO THE ENGINEER AND OWNER.
- D. IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL COMPLETE AND FILE AN "INCIDENTS OF NON-COMPLIANCE" (INOC) REPORT FOR THE IDENTIFIED VIOLATION. THE CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NON-COMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NON-COMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NON-COMPLIANCE. ALL REPORTS OF NON-COMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH THE GENERAL PERMIT. THE REPORT SHALL BE MAILED TO THE FOLLOWING ADDRESS, WITH COPIES SENT TO THE OWNER AND ENGINEER: EPA REGIONAL STORMWATER POLLUTION CONTROL COMPLIANCE ASSURANCE SECTION, POST OFFICE BOX 19276, SPRINGFIELD, IL 62794-9276

- 5. **NON-STORM WATER DISCHARGES:**
EXCEPT FOR FLOWS FROM FIRE-FIGHTING ACTIVITIES, SOURCES OF NON-STORM WATER THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH THE ACTIVITY ADDRESSED IN THIS PLAN ARE AS FOLLOWS:
A. WATER MAIN FLUSHING
B. FIRE HYDRANT FLUSHING
C. WATERING FOR DUST CONTROL
D. IRRIGATION DRAINAGE FOR VEGETATIVE GROWTH FOR SEEDING, ETC.
E. UNCONTAMINATED GROUNDWATER (FROM DE-WATERING ACTIVITIES)
THE POLLUTION MEASURES SPECIFIED IN THE PLAN SHALL BE IMPLEMENTED FOR NON-STORM WATER COMPONENTS OF THE DISCHARGE EXCEPT THAT EROSION DUE TO IRRIGATION OF SEEDING SHALL BE CONSIDERED MINOR.

6. GENERAL NOTES

- A. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
- B. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
- C. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
- D. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
- E. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR REDISTURBANCE.
- G. IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
- H. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- I. ALL STORM SEWER FRAMES AND GRATES SHALL BE MARKED WITH "NOUMP NO WASTE" AND "DRAINS TO CREEK".
- J. A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMAILED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- K. AN INCIDENT OF NON-COMPLIANCE (INOC) MUST BE COMPLETED AND SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT FAILURE OCCURS.
- L. A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.
- M. DUST CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 107.36 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. APPROPRIATE MEASURES INCLUDE SPRINKLING/IRRIGATION, VEGETATIVE COVER, OR MULCH.

7. SITE SPECIFIC INFORMATION

SITE AREA = 4.68 ACRES
DISTURBED AREA = 4.68 ACRES
RECEIVING WATERS = HICKORY CREEK

8. SEQUENCE OF EVENTS AND ESTIMATED CONSTRUCTION SCHEDULE:

1. INSTALL TEMPORARY EROSION CONTROL:	JUNE 1, 2022
2. EARTH EXCAVATION/ROUGH GRADING:	JUNE 2, 2022
3. INSTALL CURB AND AGGREGATE BASE:	JULY 1, 2022
4. PAVING:	JULY 15, 2022
5. SEEDING & LANDSCAPING:	AUGUST 1, 2022
6. 70% ESTABLISHMENT OF VEGETATION:	SEPTEMBER 1, 2022
7. PERMANENT EROSION CONTROL:	SEPTEMBER 1, 2022

ESTIMATED SCHEDULE SHOWN FOR REFERENCE ONLY. ACTUAL DATES WILL BE DETERMINED BY CONTRACTOR BASED UPON MULTIPLE FACTORS. ESTIMATED THAT CLEARED AREAS MAY BE EXPOSED FOR APPROXIMATELY 45 DAYS.

9. LONG TERM (POST CONSTRUCTION) MAINTENANCE

COMPONENTS OF THE STORMWATER MANAGEMENT FACILITIES, STORMWATER COLLECTION SYSTEM, AND LANDSCAPED/VEGETATED AREAS SHALL BE INSPECTED PERIODICALLY BETWEEN MARCH AND NOVEMBER, AS NECESSARY, TO ENSURE PROPER PERFORMANCE. AT A MINIMUM THE FOLLOWING MEASURES SHALL BE TAKEN TO ENSURE THE SYSTEMS OPERATE AS DESIGNED AND THE DESIGN VOLUME OF ANY DETENTION FACILITIES ARE MAINTAINED:

- A. LITTER AND DEBRIS SHALL BE CONTROLLED THROUGHOUT THE SITE.
- B. LANDSCAPED AREAS SHALL BE MAINTAINED WITH REGULAR MOWING AND RESTORED WITH APPROPRIATE SEEDING/VEGETATION AS NECESSARY.
- C. RIP-RAP AREAS SHALL BE REPAIRED WITH THE ADDITION OF NEW RIP-RAP, AS NECESSARY, OF SIMILAR SIZE AND SHAPE.
- D. INSPECT ANY SOLE SLOPE/EMBANKMENTS IN DETENTION BASIN OR ALONG FLOW ROUTE FOR SETTLEMENT AND EROSION AND REPAIR AS NECESSARY.
- E. ENSURE NO OBSTRUCTIONS ARE BLOCKING THE EMERGENCY OVERFLOW WEIR.
- F. INSPECT THE RESTRICTOR MANHOLE TO ENSURE SEDIMENT OR DEBRIS IS NOT BLOCKING RESTRICTOR AND OUTLET PIPES.
- G. INSPECT ALL DETENTION AND VOLUME CONTROL FACILITIES TO ENSURE THE CONSTRUCTED VOLUME IS MAINTAINED. DETENTION, TOPSOIL, OR OTHER DISBURS INTO THE FACILITY SHALL BE AT ANY ACCUMULATED SEDIMENT SHALL BE DREGGED AS NECESSARY TO RESTORE THE REQUIRED STORAGE VOLUME.
- H. INSPECT STORM INLETS/CATCH BASINS/MANHOLE/CULVERTS FOR ACCUMULATED SEDIMENT REMOVE SEDIMENT AS NECESSARY.
- I. REMOVE ACCUMULATED LEAVES AND OTHER DEBRIS FROM STORM SEWER INLET GR. AS NECESSARY.
- J. NATIVE PLANTING AREAS OR STORM WATER SEED MIX AREAS SHALL BE MAINTAINED PER APPROVED PLANTING PLAN.

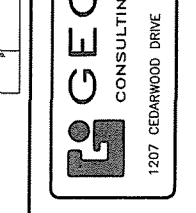
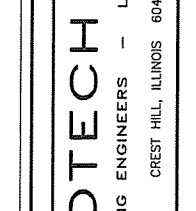
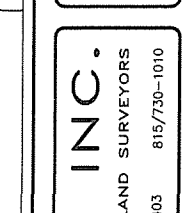
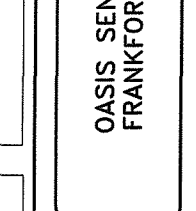
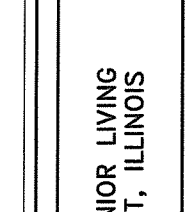
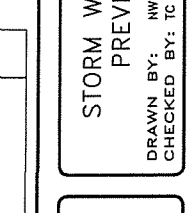
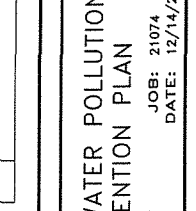
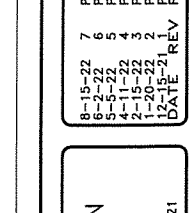
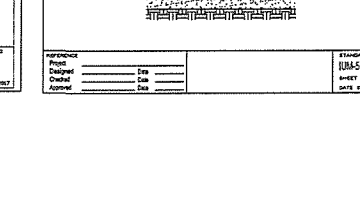
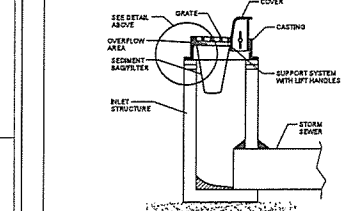
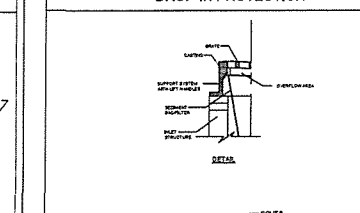
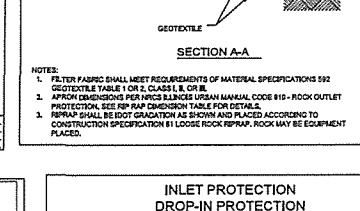
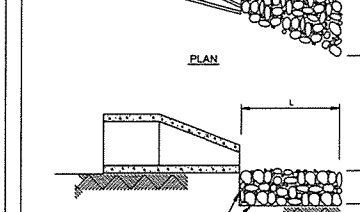
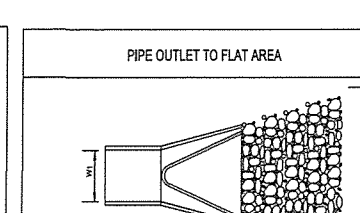
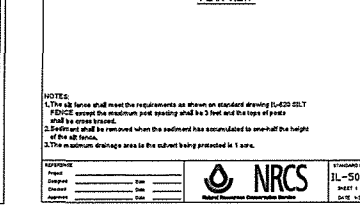
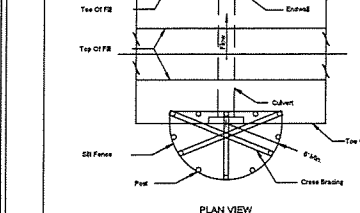
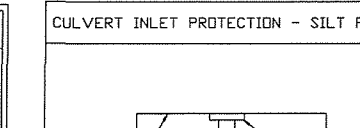
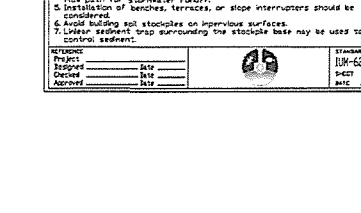
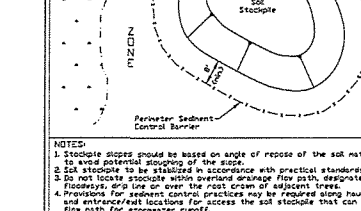
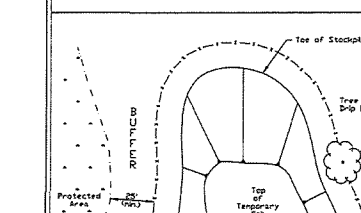
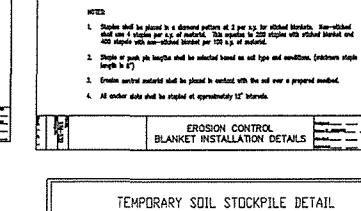
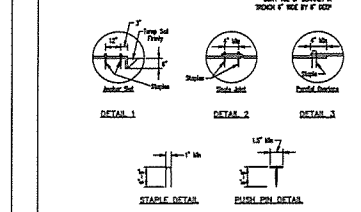
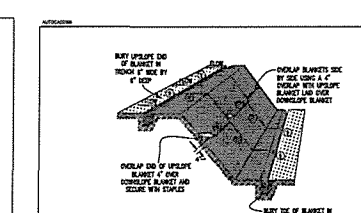
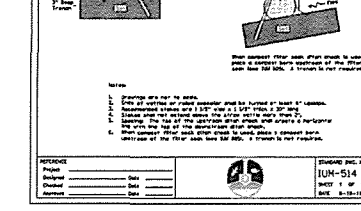
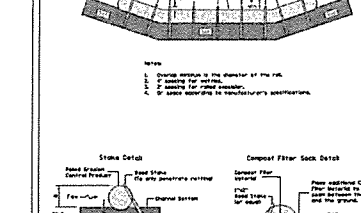
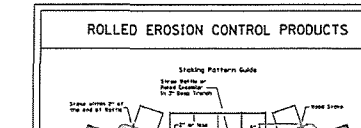
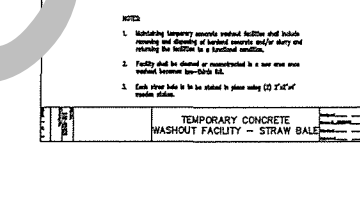
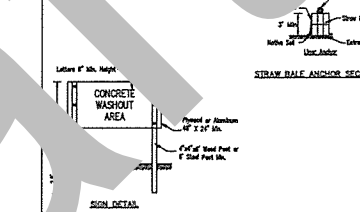
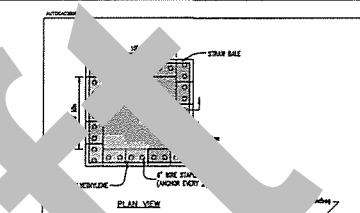
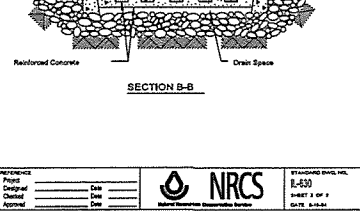
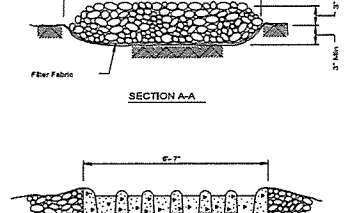
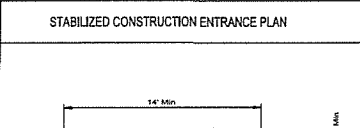
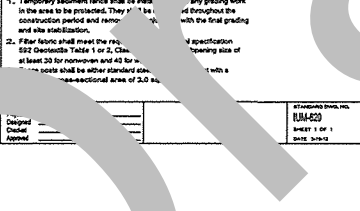
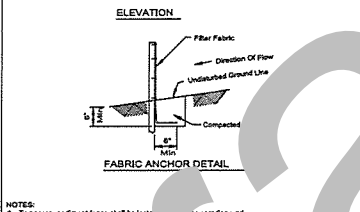
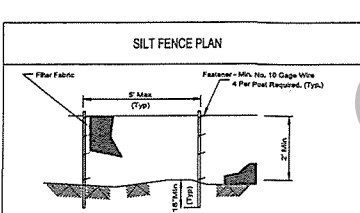
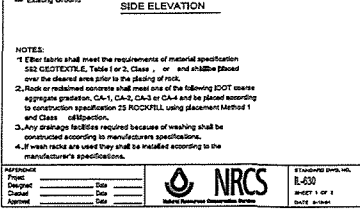
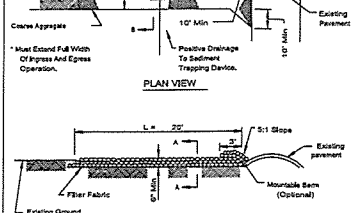
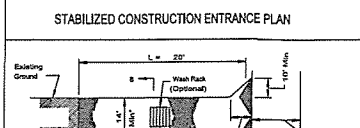
SOIL PROTECTION CHART

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING												
TEMPORARY SEEDING												
SOONER												
MULCHING												

- A. WHEAT OR CEREAL RYE 150 LBS/ACRE
NEED 1/2 PERSONAL RYE GRASS 30 LBS/ACRE
- B. WHEAT OR CEREAL RYE 100 LBS/ACRE
C. 200
- D. STRAW MULCH 2 TONS/ACRE
E. WHEAT OR CEREAL RYE 100 LBS/ACRE
F. WHEAT OR CEREAL RYE 100 LBS/ACRE
G. WHEAT OR CEREAL RYE 100 LBS/ACRE
H. WHEAT OR CEREAL RYE 100 LBS/ACRE
I. WHEAT OR CEREAL RYE 100 LBS/ACRE
J. WHEAT OR CEREAL RYE 100 LBS/ACRE

RIP-RAP DIMENSION TABLE

PIPE DIAMETER D (IN)	IDOT ROCK GRADATION N	APRON WIDTH, W1(FT) 3D	APRON WIDTH, W2(FT) 3D+L	APRON LENGTH, L(FT)	DEPTH OF RIP RAP Y (IN)
12	RR3	3.00	13.00	10	15
15	RR3	3.75	15.75	12	15
18	RR3	4.50	18.50	14	15
21	RR3	5.25	20.25	15	15
24	RR3	6.00	22.00	16	15
27	RR3	6.75	23.75	17	15
30	RR3	7.50	25.50	18	15
36	RR4	9.00	29.00	20	20
42	RR4	10.50	32.50	22	20
48	RR4	12.00	36.00	24	20
54	RR5	13.50	41.50	28	28
60	RR5	15.00	47.00	32	28
72	RR6	18.00	58.00	40	32



8-11-22	7	PER VILLAGE
6-2-22	6	PER VILLAGE
5-3-22	5	PER VILLAGE
2-1-22	4	PER VILLAGE
1-1-22	3	PER VILLAGE
1-1-22	2	PER VILLAGE
1-1-22	1	PER VILLAGE
DATE	REV	REVISION

STORM WATER POLLUTION PREVENTION PLAN

DRAWN BY: NW
CHECKED BY: TC

JOB: 21074
DATE: 12/14/21

21074

6

GEOTECH INC.

CONSULTING ENGINEERS - LAND SURVEYORS

CREST HILL, ILLINOIS 60403

815/730-1010

1207 CEDARWOOD DRIVE

21074

6

GENERAL SPECIFICATIONS:

- 1. DEFINITION OF TERMS:
A. 'CLIENT' SHALL MEAN THE PERSON OR ENTITY WITH WHOM GEOTECH INCORPORATED HAS CONTRACTED WITH TO PREPARE CIVIL ENGINEERING PLANS AND SPECIFICATIONS.
B. 'ENGINEER' SHALL MEAN GEOTECH INCORPORATED.
C. 'PLANS' SHALL MEAN THE CIVIL ENGINEERING PLANS AND SPECIFICATIONS PREPARED BY THE ENGINEER.
D. 'CONTRACTOR' SHALL MEAN ANY PERSON OR ENTITY PERFORMING ANY WORK DESCRIBED IN THE PLANS.
E. 'JURISDICTIONAL ENTITY' SHALL MEAN ANY MUNICIPAL, COUNTY, STATE, OR FEDERAL UNIT OF GOVERNMENT FROM WHOM AN APPROVAL, PERMIT, AND/OR REVIEW IS REQUIRED FOR ANY ASPECT OF THE PROJECT.
2. CONTRACTOR ACKNOWLEDGES AND AGREES THAT THE USE AND RELIANCE OF THE PLANS IS SUFFICIENT CONSIDERATION FOR CONTRACTOR'S COVENANTS STATE HEREIN.
3. NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED 'FOR CONSTRUCTION'. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTING ENGINEER AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THEIR OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
4. ALL WORK HEREIN PROPOSED SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS OF ANY JURISDICTIONAL ENTITY, AND ALL SUCH PERTINENT LAWS, DECREES, ORDINANCES AND THE LIKE SHALL BE CONSIDERED TO BE A PART OF THESE PLANS. IF A DISCREPANCY IS NOTED BETWEEN THE PLANS AND REQUIREMENTS OF ANY JURISDICTIONAL ENTITY, THE CLIENT AND/OR CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
5. CONSTRUCTION OF WORK PROPOSED BY THE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH, AND MATERIALS USED SHALL BE IN ACCORDANCE WITH THE METHODS AND MATERIALS REQUIRED IN THE APPROPRIATE SECTIONS OF THE LATEST EDITIONS OF THE 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION', DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS AND 'STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS'.
6. WHEN THE PLANS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF EXISTING UNDERGROUND FACILITIES AND UTILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE APPROXIMATE LOCATION AND ELEVATION OF SUCH FACILITIES AND UTILITIES. AT THE LOCATIONS WHEREIN DETAILED POSITIONS OF THESE FACILITIES AND UTILITIES BECOME NECESSARY FOR NEW CONSTRUCTION, INCLUDING ALL POINTS OF CONNECTION, THE CONTRACTOR SHALL FURNISH ALL LABOR AND TOOLS TO VERIFY OR IDENTIFY EXISTING UTILITIES. THE HORIZONTAL LOCATION, ELEVATION, SIZE, AND MATERIAL OF THE FACILITIES AND UTILITIES, CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES IN EXISTING INFORMATION OR CONFLICTS WITH EXISTING UTILITIES EXIST. ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER WITH RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, NOR THE MANNER IN WHICH THEY ARE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO CONSTRUCTION TO NOTIFY ALL UTILITY COMPANIES OF THE INTENT TO BEGIN CONSTRUCTION AND TO VERIFY THE ACTUAL LOCATION OF ALL SUCH FACILITIES AND UTILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES THE WORKING SCHEDULE FOR REMOVING OR ADJUSTING THESE FACILITIES.
7. THE PLANS HAVE BEEN PREPARED BY THE ENGINEER BASED ON THE ASSUMPTION THAT EXISTING OR MODIFIED SOIL CONDITIONS ARE SUITABLE TO SUPPORT THE PROPOSED IMPROVEMENTS SHOWN. THE CLIENT AND/OR CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IF ANY OBSTRUCTIONS OR UNSUITABLE MATERIAL ARE DISCOVERED THAT PREVENTS THE INSTALLATION OF THE IMPROVEMENTS AS SHOWN ON THE PLANS. THE CLIENT AT THEIR DISCRETION SHALL RETAIN A GEOTECHNICAL ENGINEER, TO ENSURE THE SOIL CONDITIONS ARE SUITABLE TO SUPPORT THE PROPOSED IMPROVEMENTS.
8. DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUBGRADE CONSTRUCTION, UNDERGROUND UTILITIES, BASEMENTS, OR OTHER SIMILAR FACILITIES CONSTRUCTED BELOW THE RISK OF THE CLIENT. THE CLIENT SHALL COORDINATE WITH THE CONTRACTOR, ARCHITECT, AND/OR SOILS ENGINEER TO MITIGATE THE POTENTIAL IMPACT OF GROUND WATER ON THE PROPOSED IMPROVEMENTS.
9. TREES NOT SCHEDULED TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE. TREES SHALL NOT BE REMOVED UNLESS REQUESTED BY THE CLIENT.
10. THE CONTRACTOR SHALL PROVIDE ALL SIGNS, EQUIPMENT, AND PERSONNEL NECESSARY TO PROVIDE FOR SAFE AND EFFICIENT TRAFFIC FLOW IN ALL AREAS WHERE WORK WILL INTERRUPT, INTERFERE OR CAUSE TO CHANGE IN ANY FORM THE CONDITIONS OF TRAFFIC FLOW THAT EXISTED PRIOR TO THE START OF WORK. EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED AT ALL TIMES.
11. THE CONTRACTOR HAS AGENTS AN EMPLOYEES, AND ALL EQUIPMENT, MACHINERY AND VEHICLES SHALL CONFINED TO THEIR WORK WITH THE BOUNDARIES OF THE PROJECT OR WORK AREA. THE CONTRACTOR SHALL BE SOLELY LIABLE FOR DAMAGE CAUSED BY THEIR AGENTS, EMPLOYEES, EQUIPMENT, MACHINERY, AND VEHICLES ON ADJACENT PROPERTIES OR AREAS OUTSIDE DESIGNATED WORK AREA.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO ARRANGE FOR THE RELOCATION OR BRACING OF EXISTING UTILITY POLES THAT MAY BE WITHIN THE WORKING LIMITS OF THE PROJECT. ALL WORK AND COSTS CONNECTED WITH THE RELOCATION OR MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CLIENT OR CONTRACTOR.
13. RESTORATION OF DAMAGE TO PUBLIC OR PRIVATE PROPERTY OUTSIDE THE LIMITS OF THE PROJECT SHALL BE PERFORMED IMMEDIATELY UPON COMPLETION OF THE WORK. AREAS SHALL BE RESTORED AS NEARLY AS POSSIBLE TO THEIR ORIGINAL CONDITION OR BETTER AND SHALL INCLUDE BUT NOT LIMITED TO: MAINTAINED LAWNS AND RIGHT-OF-WAYS, ROADWAYS, DITCHES, SIDEWALKS, PAVEMENTS, LANDSCAPING, TREES, FENCES, MAILBOXES, SEWERS, WATER MAINS, ETC.
14. CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS RELATING TO THE SAFETY OF PERSONS OR PROPERTY, OR TO THE PROTECTION OF PERSONS OR PROPERTY FROM DAMAGE, INJURY, OR LOSS, AND SHALL ERCT AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR SUCH SAFETY AND PROTECTION. THE DUTIES OF THE ENGINEER DO NOT INCLUDE REVIEW OF THE ACCURACY OF EITHER THE CONTRACTOR'S OR THE GENERAL PUBLIC'S SAFETY IN, ON, OR NEAR THE CONSTRUCTION SITE.
15. CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF CONSTRUCTION DEBRIS, WASTE MATERIAL, TRASH, OILS, AND OTHER MISCELLANEOUS ITEMS. ADJACENT ROADWAYS SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. UTILITY STRUCTURES AND CURB FLOW LINES SHALL BE CLEANED OF DEBRIS.
16. FOR DISTURBANCES EXCEEDING ONE ACRE, A NOTICE OF INTENT SHALL BE SUBMITTED BY THE ENGINEER TO OBTAIN THE EPA'S GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITE. ACTIVITIES THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL INSPECTIONS AND RECORD KEEPING REQUIRED AS PART OF THE NPDES PERMIT.
17. CONTRACTOR SHALL ADJUST ALL STRUCTURES TO EITHER EXISTING OR PROPOSED ELEVATIONS. ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL. ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED DURING FINAL INSPECTION.
18. THE VILLAGE/CITY SHALL BE NOTIFIED WHEN EXISTING FIELD DRAINAGE TILES ARE ENCOUNTERED DURING CONSTRUCTION REGARDLESS OF CONDITION OR FUNCTIONALITY. THE VILLAGE/CITY SHALL HAVE FINAL APPROVAL OF ANY REPAIR, CONNECTION, ABANDONMENT, OR OTHER METHODS FOR MITIGATING EXISTING DRAINAGE TILES ENCOUNTERED ON SITE. CONTRACTOR SHALL KEEP A RECORD OF ALL SIZES AND LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILES.
19. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
20. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE ENGINEER AT CONTRACTOR'S COST.
21. ANY EXISTING SIGNS, LIGHT STANDARDS, AND/OR UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR, WHICH SHALL BE CONSIDERED INCIDENTAL. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
22. ANY DOWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETINGS OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE CLIENT AND/OR ENGINEER TO EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
23. CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE CONTRACTOR'S WORK. IN ANY AND ALL CLAIMS AGAINST THE ENGINEER BY ANY EMPLOYEE OF THE CONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR, OR ANYONE WHOSE ACTS THE CONTRACTOR MAY BE LIABLE, THE INDemnIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR UNDER WORKER'S COMPENSATION ACTS, DISABILITY BENEFIT ACTS, OR OTHER EMPLOYEE BENEFIT ACTS.
24. CONTRACTOR SHALL MAINTAIN COMPREHENSIVE GENERAL LIABILITY INSURANCE, WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE, AND COMPREHENSIVE AUTOMOBILE LIABILITY INSURANCE TO PROVIDE PROTECTION FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULTING FROM THE PERFORMANCE OF WORK BY ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR OR BY ANYONE FOR WHOM THE CONTRACTOR MAY BE LIABLE. THE ENGINEER SHALL BE NAMED AS ADDITIONAL INSURED ON THE POLICIES.
25. THE ENGINEER SHALL NOT SUPERVISE, DIRECT, OR HAVE CONTROL OVER THE CONTRACTOR'S WORK, NOR SHALL THE ENGINEER HAVE THE AUTHORITY OVER THE RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES SELECTED BY THE CONTRACTOR TO COMPLETE THE WORK. ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR OR FOR ANY FAILURE OF THE CONTRACTOR TO COMPLY WITH THE LAWS, RULES, REGULATIONS, ORDINANCES, CODES, OR ORDERS APPLICABLE TO THE CONTRACTOR FURNISHING AND PERFORMING THEIR WORK.

DEMOLITION:

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEMOLITION WORK AND DISPOSAL OF WASTE MATERIAL. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSAL OF ALL STRUCTURES, PAIS, WALLS, FLUMES, FOUNDATIONS, ROAD, PARKING LOTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE BROUGHT TO SUITABLE MATERIAL AND BROUGHT TO THE PROPOSED SUB-GRADE ELEVATION WITH SUITABLE COMPACTED MATERIAL.
3. ALL EXISTING UTILITY LINES AND CONDUITS LOCATED UNDER PROPOSED BUILDINGS, ROADWAYS, DRIVES, PAVEMENT AREAS, OR SIDEWALKS SHALL BE REMOVED AND PROPERLY BACKFILLED WITH SUITABLE COMPACTED MATERIAL. ALL EXISTING UTILITY LINES UNDER PROPOSED LANDSCAPE AREAS SHALL BE LEFT IN PLACE AND PLUGGED AT ALL STRUCTURES. ALL EXISTING STRUCTURES SHALL BE REMOVED AND BACKFILLED WITH SUITABLE COMPACTED MATERIAL. CONTRACTOR SHALL COORDINATE ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANY.
4. CONTRACTOR SHALL COORDINATE WITH JURISDICTIONAL ENTITY AND UTILITY COMPANIES REGARDING THE REMOVAL OF SERVICE LINES. CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND CHARGES ASSOCIATED WITH DISCONNECTION OF EXISTING SERVICES.
5. REMOVAL AND/OR ABANDONMENT OF ANY WELLS, SEPTIC TANKS AND/OR FIELDS, AND GREASE TRAPS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE JURISDICTIONAL ENTITY.
6. CONTRACTOR SHALL DEVELOP AND MAINTAIN A DUST CONTROL PLAN IN ACCORDANCE WITH JURISDICTIONAL ENTITY REQUIREMENTS.
7. CONTRACTOR SHALL COORDINATE WITH JURISDICTIONAL ENTITY AND CLIENT TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.

EARTHWORK:

- 1. COPIES OF SOIL BORINGS AND REPORTS, IF SUCH BORINGS WERE TAKEN BY THE CLIENT, SHOULD BE MADE AVAILABLE BY THE CLIENT TO THE ENGINEER AND CONTRACTOR. THESE BORINGS ARE PRESENTED FOR WHATEVER PURPOSE THE CONTRACTOR CHOOSES TO MAKE OF THEM. THE ENGINEER MAKES NO REPRESENTATIONS OR WARRANTY REGARDING THE NUMBER, LOCATION, SPACING, OR DEPTH OF BORINGS TAKEN, NOR OF THE ACCURACY OR RELIABILITY OF THE INFORMATION GIVEN IN THE RESULTS THEREOF.
FURTHER, THE ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT DURING CONSTRUCTION, THE SOIL AND GROUNDWATER CONDITIONS MAY BE DIFFERENT THAN INDICATED. NEITHER DOES THE ENGINEER ASSUME RESPONSIBILITY FOR VARIATIONS OF SOIL AND GROUNDWATER AT LOCATIONS BETWEEN BORINGS. THE CONTRACTOR MAY AT THEIR DISCRETION AND COST OBTAIN ITS OWN BORINGS, EXPLORATIONS, AND OBSERVATIONS TO DETERMINE SOIL AND GROUND WATER CONDITIONS.
2. THE SITE SHALL BE CLEARED, GRUBBED, AND TREES AND STUMPS REMOVED WHERE DESIGNATED ON THE PLANS OR SPECIFIED BY THE CLIENT. TREES DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE.
3. UPON COMPLETION OF DEMOLITION AND SITE CLEANING, ALL TOPSOIL, ORGANIC MATERIAL, OR OTHER UNSUITABLE MATERIAL SHALL BE STRIPPED FROM AREAS REQUIRING STRUCTURAL FILL. STRIPPED MATERIAL SHALL BE PLACED IN STOCKPILES IN CLIENT DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND FILL IN AREAS NOT REQUIRING STRUCTURAL FILL. EXCESS STRIPPED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.
4. ALL SUITABLE EXCAVATED MATERIALS SHALL BE HAULED, PLACED (MOISTURE CONDITIONED IF NECESSARY) AND COMPACTED IN FILL AREAS. CONTRACTOR SHALL INCLUDE ALL DOWATERING, TEMPORARY DITCHES AND CULVERTS NECESSARY TO COMPLETE THE EXCAVATION AND FILL WORK.
5. EXCAVATION AND PLACEMENT OF SUITABLE FILL MATERIAL SHALL BE WITHIN THE PROJECT LIMITS AND TO THE SUBGRADE ELEVATIONS PROVIDED ON THE PLANS. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING EIGHT (8) INCHES IN THICKNESS AND THE WATER CONTENT SHALL BE ADJUSTED TO ACHIEVE REQUIRED COMPACTION. IN AREAS REQUIRING STRUCTURAL FILL, FILL MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIAL.
6. COMPACTION OF EXCAVATED MATERIAL AND OTHER SUITABLE MATERIAL SHALL BE AT LEAST 80% OF THE STANDARD PROCTOR DRY DENSITY WITH STRUCTURAL FILL AREAS (BUILDING PAD, PAVEMENT, SIDEWALK, ETC.) AND 90% OF THE STANDARD PROCTOR DRY DENSITY FOR NON-STRUCTURAL AREAS (GRASS, LANDSCAPE, YARDS, ETC.).
7. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION. IF ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND/OR PROPOSED SUBGRADE ELEVATIONS IT SHALL BE REMOVED AND REPLACED WITH MATERIAL APPROVED BY THE SOILS CONSULTANT. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY A SOILS CONSULTANT AND THE CLIENT.
8. THE CLIENT SHALL, AT THEIR DISCRETION, EMPLOY A SOILS CONSULTANT AND TESTING FIRM TO ENSURE THE EXCAVATED AND FILL MATERIALS ARE PROPERLY CONSTRUCTED TO SUPPORT THE PROPOSED IMPROVEMENTS. THE ENGINEER DOES NOT ASSUME ANY RESPONSIBILITY REGARDING THE SUITABILITY OF THE SOIL TO SUPPORT THE PROPOSED IMPROVEMENTS.
9. UPON COMPLETION OF EXCAVATION AND SHAPING OF STORM WATER DETENTION AREAS INTENDED TO MAINTAIN A PERMANENT POOL OF WATER, ALL Silt SEAMS AND GRANULAR OR SANDY SOILS SHALL BE REMOVED TO A MINIMUM DEPTH OF THREE FEET BELOW THE SUBGRADE AND REPLACED WITH AN IMPERMEABLE CLAY LAYER, INCLUDING ADJACENT TO AND UNDER STORM SEWER INLETS AND OUTLETS. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL PREPARE THE POND BOTTOMS, SIZE, SLOPE, AND COMPACTION THEREOF SUCH THAT THE PONDS WILL MAINTAIN THE PROPOSED NORMAL WATER LEVELS.
10. THE CONTRACTOR SHALL:
A. MAINTAIN POSITIVE SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
B. SPREAD AND COMPACT UNIFORMLY ALL EXCESS TRENCH SPOILS AFTER COMPLETION OF THE TRENCH UTILITIES.
C. STRIPPY AND COMPACT THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN AREAS (EXCAVATED AND FILL) THAT MAY BE SOFT DUE TO EXCESS MOISTURE. CONTRACTOR SHALL PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST MOISTURE TO THE SPECIFIED COMPACTION.
D. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO PLACEMENT OF BASE COURSE MATERIAL.
E. IMPLEMENT AND MAINTAIN SOIL EROSION CONTROL MEASURES PROVIDED ON THE PLANS.
F. IMPLEMENT AND MAINTAIN THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS CONSULTANT AND CLIENT.
G. LINE STABILIZE THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS CONSULTANT AND CLIENT.

SEWER AND WATER MAIN GENERAL NOTES:

- 1. ALL SANITARY SEWERS, STORM SEWERS, WATER MAINS AS WELL AS THEIR SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION' AND 'DOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION' IN ADDITION TO THE REQUIREMENTS OF ANY APPLICABLE JURISDICTIONAL ENTITY.
2. SELECT GRANULAR TRENCH BACKFILL (DOT CA-7) SHALL BE REQUIRED FOR ALL SEWER AND WATER TRENCHES LYING UNDER EXISTING OR PROPOSED STREETS, DRIVEWAYS, PARKING LOTS, CURB AND SIDEWALKS, AND WITHIN FIVE FEET THEREOF, AND WHERE NOTED ON THE PLANS.
3. TRENCH EXCAVATION, BEDDING, HAUNCHING, AND INITIAL BACKFILL (DOT CA-7) FOR TRENCHES SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE TRENCH SECTION DETAIL AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PIPE.
4. UNSUITABLE SOIL CONDITIONS BELOW THE DEPTH OF THE TRENCH BEDDING, AS DETERMINED BY THE SOILS/GEOTECHNICAL ENGINEER, ENCOUNTERED DURING TRENCH EXCAVATION SHALL BE REMOVED AND REPLACED WITH GRANULAR COMPACTED BEDDING MATERIAL AS DIRECTED BY THE SOILS/GEOTECHNICAL ENGINEER OR JURISDICTIONAL ENTITY.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DOWATERING ANY TRENCH EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND MAINS AND APPURTENANCES. DOWATERING SHALL BE CONSIDERED INCIDENTAL.
6. NON-SHEAR 'BAND-SEAL' OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIAL.
7. CONTRACTOR SHALL MARK THE LOCATIONS OF THE ENDS OF SERVICE STUBS WITH 4"x4" WOOD POSTS EXTENDING A MINIMUM OF THREE FEET ABOVE THE GROUND. THE TOP OF THE POSTS SHALL BE PAINTED GREEN FOR SANITARY, WHITE FOR STORM, AND BLUE FOR WATER. CONTRACTOR SHALL KEEP ACCURATE RECORDS OF SERVICE CONNECTION LOCATIONS, INCLUDING DISTANCES FROM DOWNSTREAM MANHOLES FOR SANITARY SERVICES. ALL STUBS SHALL BE PROPERLY PLUGGED.
8. ALL STRUCTURES INCLUDING BUT NOT LIMITED TO FRAMES AND GRATES/LIDS, CLEANOUTS, ETC. SHALL BE ADJUSTED TO THE FINAL FINISHED GRADE ELEVATIONS. CONCRETE ADJUSTING RINGS, WHERE NECESSARY, SHALL BE LIMITED TO TWO(2) TOTALING NOT MORE THAN EIGHT (8) INCHES IN HEIGHT.
9. ALL SANITARY SEWERS, STORM SEWERS, WATER MAIN AS WELL AS THEIR SERVICES AND OTHER RELATED APPURTENANCES SHALL BE THOROUGHLY CLEANED PRIOR TO INSPECTION AND TESTING AND AT THE END OF THE PROJECT.
10. CONTRACTOR SHALL COORDINATE INSPECTIONS, TESTING, AND TELEVISION WITH THE APPLICABLE JURISDICTIONAL ENTITY. THE COST OF CLEANING, TESTING, AND TELEVISION SHALL BE CONSIDERED INCIDENTAL.
11. ALL DEFICIENCIES AND DEFECTS OBSERVED AS WELL AS ANY NECESSARY CORRECTIVE WORK REQUIRED AS A RESULT OF TESTING OR TELEVISION INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST AND WITHOUT DELAY. ALL DIPS, CRACKS, LEAKS, IMPROPERLY SEALED JOINTS AND DEPARTURES FROM THE APPROVED GRADIES AND ALIGNMENTS SHALL BE REPAIRED BY REMOVING AND REPLACING THE INVOLVED SECTIONS OF PIPE. UPON COMPLETION THEREOF, THE REPAIRS SHALL BE RE-TESTED.
12. MANHOLE STEPS SHALL BE CAST CRUI FROM ASTM A48 OR POLYPROPYLENE COATED STEEL REINFORCING RODS WITH SLIP, LOAD, AND PULLOUT RATES PER OSHA REQUIREMENTS.

WATER MAIN PROTECTION REQUIREMENTS:

WATER MAINS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS, COMBINED SEWERS, HOUSE SEWERS AND DRAINS IN ACCORDANCE WITH SECTION 41 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS AS FOLLOWS:

- VERTICAL SEPARATION:
1. A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSING. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OF DRAIN.
2. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
(A) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPERATION AS DESCRIBED IN (1) ABOVE; OR
(B) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.

- NOTES:
(1) CASING OF EITHER THE WATER MAIN OR SEWER PIPE IS ACCEPTABLE IN LIEU OF PLACING THE SEWER IN WATER MAIN EQUIVALENT PIPE.
(2) THE STORM SEWER CAN BE CONSTRUCTED WITH REINFORCED CONCRETE PIPE USING FLEXIBLE GASKETS JOINTS, (ASTM C361, C443) INSTEAD OF CONSTRUCTING THE STORM SEWER WITH WATER MAIN EQUIVALENT PIPE OR CASING PIPE.
3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER, STORM SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
4. CONSTRUCTION OF WATER MAIN QUALITY PIPE SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

- HORIZONTAL SEPARATION:
1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
(A) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
(B) THE WATER MAIN INVERT IS AT LEAST EIGHT (8) FEET ABOVE THE CROWN OF THE SEWER; AND
(C) THE WATER MAIN IS EITHER A SEPARATE TRENCH OR LOCATED IN THE SAME TRENCH ON AN UNDISTURBED EARTH SURFACE.
3. WHEN IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPERATION AS DESCRIBED IN (1) OR (2) ABOVE, BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR DUCTILE IRON PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO A MINIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILL.

PAVEMENT, CURB & GUTTER, AND WALKS:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONSTRUCTION AND PREPARATION TO THE PROPOSED SUBGRADE ELEVATIONS SHOWN ON THE PLANS.
2. CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND BACKFILLED AFTER ITS CONSTRUCTION WITH INCIDENTAL DUMP FILL OF THE BASE COURSE. CURB AND GUTTER SHALL BE INSTALLED PER PLANS AND STANDARDS.
3. BITUMINOUS SURFACE COURSE SHALL BE 1 1/2" MINIMUM THICKNESS OF TYPE AND COMPACTED ACCORDING TO SECTION 406 OF THE DOT SPECIFICATIONS. ALL PAVING SHALL BE DONE IN ACCORDANCE WITH THE DOT SPECIFICATIONS.
4. PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE 4" MINIMUM THICKNESS WITH 5x5-W2.9W2.9 WELDED WIRE FABRIC AND CONFINED PER SECTION 407 OF THE DOT SPECIFICATIONS. ALL CONCRETE WORK SHALL BE FINISHED WITH A BROOM FINISH.
5. CONTRACTOR SHALL SAW THE EXPOSED EDGES OF ALL EXISTING PAVEMENT ADJACENT TO ANY PROPOSED PAVEMENT, APRON, SIDE CURB AND GUTTER. SIMILAR TO PROVIDE A SMOOTH, CLEAN EDGE THAT IS FREE OF LOOSE MATERIAL. A 1" TRANSITION BUTT AND/OR TAPER SHALL BE PROVIDED.
6. THE TESTING OF THE SUBGRADE, BASE COURSE, BITUMINOUS BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE SHALL BE PERFORMED AND PERFORMED IN ACCORDANCE WITH THE DOT STANDARD SPECIFICATIONS AND REGULATIONS AND THE JURISDICTIONAL ENTITY.
7. PRIOR TO THE COMMENCEMENT OF ANY PAVING ACTIVITIES, A PROOF-ROLL OF THE SUB-GRADE SHALL BE PERFORMED BY THE CONTRACTOR AND APPROVED BY THE APPLICABLE JURISDICTIONAL ENTITY. ALL AREAS NOT TO THE PROOF-ROLL SHALL BE REMEDIATED AS RECOMMENDED BY THE SOILS/GEOTECHNICAL ENGINEER AND APPROVED BY THE OWNER. ANY REMEDIATED AREAS SHALL BE RE-TESTED.
8. PRIOR TO INSTALLATION OF THE AGGREGATE BASE COURSE THE SUBGRADE SHALL BE PREPARED PER SECTION 301 OF THE DOT SPECIFICATIONS. SUBGRADE SHALL BE COMPACTED AND PREPARED TO WITHIN 0.1'-1" OF THE PROPOSED FINISHED ELEVATION. SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 93% OF THE STANDARD PROCTOR DENSITY PER SECTION 301 OF THE DOT SPECIFICATIONS AND ASTM D1557.
9. PRIOR TO THE INSTALLATION OF THE BINDER COURSE, THE AGGREGATE BASE COURSE SHALL BE PREPARED IN ACCORDANCE WITH SECTION 351 OF THE DOT SPECIFICATIONS. AGGREGATE SHALL BE CLEAN AND DRY. BITUMINOUS PRIMAING MATERIAL SHALL BE APPLIED PER SECTION 403 OF THE DOT SPECIFICATIONS AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
10. PRIOR TO INSTALLATION OF SURFACE COURSE, CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED AND FAILED AREAS IN THE BINDER COURSE, CURB AND GUTTER, AND CONCRETE PAVEMENT TO THE SATISFACTION OF THE JURISDICTIONAL ENTITY AND OWNER. STRUCTURES WITHIN THE PAVEMENT SHALL BE ADJUSTED TO FINAL SURFACE GRADE. CONTRACTOR SHALL CLEAN AND PRIME THE BINDER COURSE AT A RATE OF 0.05 GALLONS PER SQUARE YARD.
11. CONCRETE SIDEWALK SHALL BE CONSTRUCTED TO THE WIDTH AND THICKNESS SHOWN ON THE PLANS. SIDEWALK SHALL BE THICKENED TO A MINIMUM OF 4" AT ALL DRIVEWAYS. ALL SIDEWALKS SHALL BE DOT CLASS 'SI' CONCRETE ON AN AGGREGATE BASE AS SHOWN ON THE PLANS. SCORED CONTRACTION JOINTS SHALL BE PROVIDED AT FIVE FOOT INTERVALS AND EXPANSION JOINTS (IF PRE-MOLDED FIBER JOINT FILLER) SHALL BE PROVIDED AT MAXIMUM 50 FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVES, FOUNDATIONS, RAMPS, ETC. AS WELL AS WHEN MEETING EXISTING WALKS.
12. PAVEMENT MARKING SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH SECTION 780 OF THE DOT STANDARD SPECIFICATIONS AND MUTCD.
13. HANDICAP STALLS SHALL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE ILLINOIS ACCESSIBILITY CODE, LATEST EDITION, AND OTHER APPLICABLE ADA GUIDELINES.

- LIGHTING:
1. ALL WORK SHALL CONFORM WITH THE NATIONAL ELECTRIC CODE, COMMONWEALTH EDISON POLICIES, AND THE APPLICABLE REGULATIONS OF THE JURISDICTIONAL ENTITY.
2. PLANS SHOW LOCATION OF LIGHT POLES ONLY. THE DESIGN OF THE ELECTRIC SYSTEM REQUIRED TO POWER THE LIGHTS SHALL BY OTHERS.
3. CLIENT SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE DESIGN, PERMITTING, AND INSTALLATION OF THE COMPLETE LIGHTING SYSTEM (POWER, POLES, LIGHTS, ETC.).
4. CLIENT AND/OR CONTRACTOR SHALL COORDINATE WITH COMMONWEALTH EDISON, AS NECESSARY, REGARDING EXISTING OR PROPOSED POWER TO THE SITE. CLIENT WILL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH COMMONWEALTH EDISON SUPPLYING POWER TO THE SITE.
5. IF LIGHTING SYSTEM IS CONSIDERED A PUBLIC IMPROVEMENT, CLIENT AND/OR CONTRACTOR SHALL COORDINATE WITH COMMONWEALTH EDISON AND THE JURISDICTIONAL ENTITY REGARDING TRANSFER OF STREET LIGHT SYSTEM TO JURISDICTIONAL ENTITY.

SEE SHEET 9 FOR VILLAGE OF FRANKFORT SPECIFIC WATER, SANITARY, AND STORM SEWER SPECIFICATIONS

Table with 2 columns: PER VILLAGE, PER VILLAGE. Rows include 7, 6, 5, 4, 3, 2, 1 with corresponding dates and revision numbers.

SPECIFICATIONS
DRAWN BY: NW
CHECKED BY: TC
JOB: 21074
DATE: 12/14/21

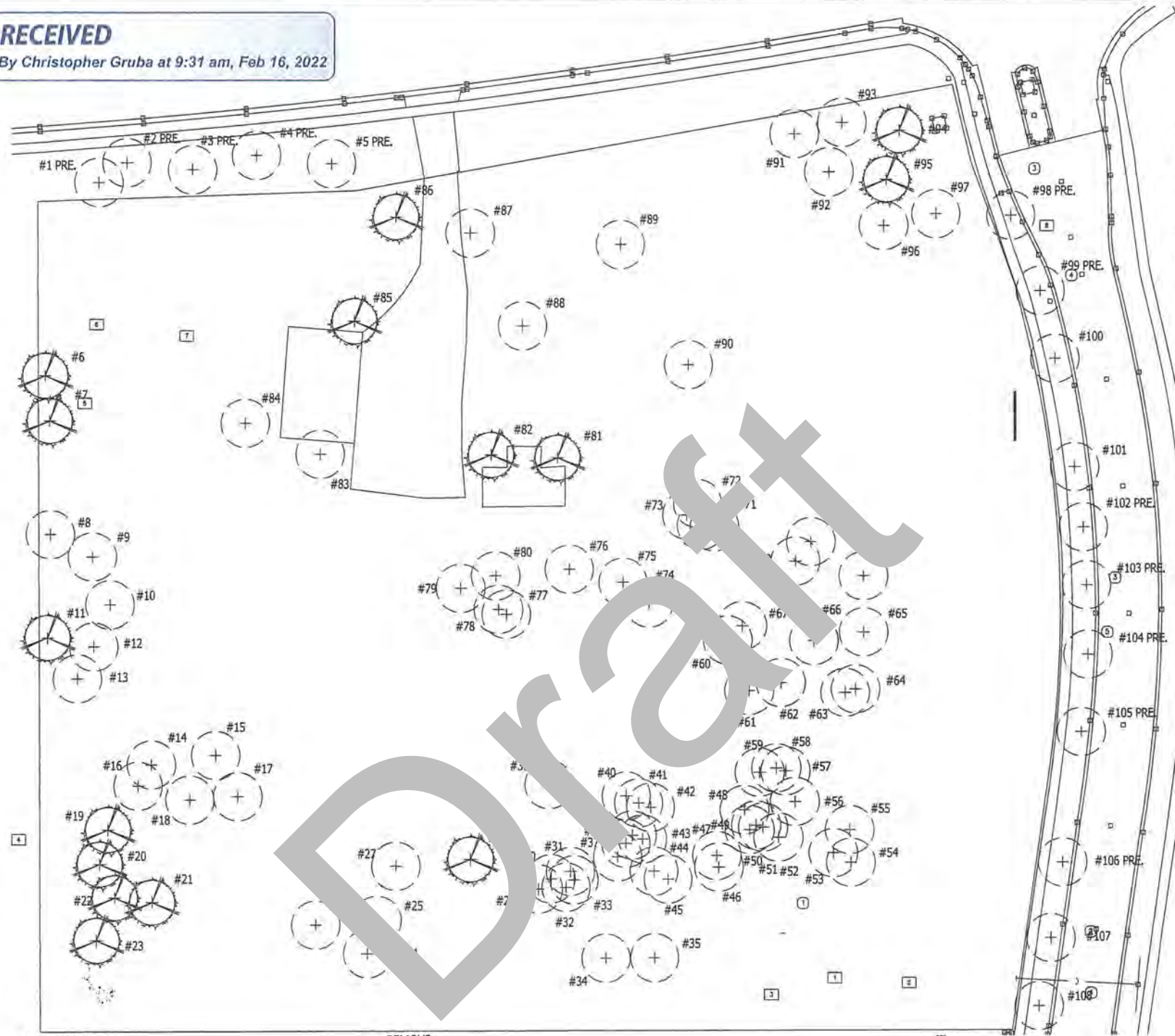
OASIS SENIOR LIVING
FRANKFORT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
CREST HILL, ILLINOIS 60403 815/730-1010
1207 CEDARWOOD DRIVE

EXISTING TREE LIST

TREE #	TREE NAME	REMARKS	DESIGNATION
1	SERVICEBERRY - 9'		PRESERVE
2	CRABAPPLE - 4"		PRESERVE
3	CRABAPPLE - 4.5"		PRESERVE
4	CRABAPPLE - 4.5"		PRESERVE
5	CRABAPPLE - 5"		PRESERVE
6	WHITE PINE - 35'		REMOVE
7	WHITE PINE - 35'		REMOVE
8	CALLERY PEAR - 8"/8"	MULTI-STEM	REMOVE
9	CALLERY PEAR - 5"	MULTI-STEM	REMOVE
10	HONEYLOCUST (COMMON) - 8"	THORNY TRUNK	REMOVE
11	WHITE PINE - 35'		REMOVE
12	CRABAPPLE - 8"	OLD	REMOVE
13	CALLERY PEAR - 18"	POOR	REMOVE
14	COTTONWOOD - 11		REMOVE
15	BLACK WALNUT - 8"		REMOVE
16	COTTONWOOD - 16"		REMOVE
17	COTTONWOOD - 8"/17"	POOR/MULTI-STEM	REMOVE
18	BALD CYPRESS - 24" 25'		REMOVE
19	BALD CYPRESS - 24" 23'		REMOVE
20	BALD CYPRESS - 24" 25'		REMOVE
21	BALD CYPRESS - 24" 23'		REMOVE
22	BALD CYPRESS - 24" 23'		REMOVE
23	BALD CYPRESS - 24" 25'		REMOVE
24	RIVER BIRCH - 16"	DEAD	REMOVE
25	RIVER BIRCH - 18"		REMOVE
26	RIVER BIRCH - 21		REMOVE
27	ELM - 20"	POOR	REMOVE
28	WHITE PINE - 35'		REMOVE
29	HACKBERRY - 17"		REMOVE
30	HACKBERRY - 17"		REMOVE
31	HACKBERRY - 17"		REMOVE
32	HACKBERRY - 18"		REMOVE
33	HACKBERRY - 13"		REMOVE
34	COTTONWOOD - 27"		REMOVE
35	COTTONWOOD - 30"		REMOVE
36	LINDEN - 50"	POOR	REMOVE
37	BLACK CHERRY - 10"	POOR	REMOVE
38	BLACK CHERRY - 13"		REMOVE
39	BLACK CHERRY - 11"		REMOVE
40	BLACK CHERRY - 13"		REMOVE
41	BLACK CHERRY - 10"		REMOVE
42	HACKBERRY - 13"		REMOVE
43	BLACK CHERRY - 10"		REMOVE
44	BLACK CHERRY - 10"		REMOVE
45	HACKBERRY - 12"/21"	MULTI-STEM	REMOVE
46	BLACK CHERRY - 8"		REMOVE
47	BLACK CHERRY - 14"	POOR	REMOVE
48	BLACK CHERRY - 10"		REMOVE
49	BLACK CHERRY - 10"		REMOVE
50	BLACK CHERRY - 11"	POOR	REMOVE
51	BLACK CHERRY - 9"	POOR	REMOVE
52	HACKBERRY - 21"		REMOVE
53	BLACK CHERRY - 16"		REMOVE
54	HACKBERRY - 19"		REMOVE
55	BLACK CHERRY - 17"		REMOVE
56	BLACK CHERRY - 15"		REMOVE
57	BLACK CHERRY - 12"		REMOVE
58	BLACK CHERRY - 14"		REMOVE
59	BLACK CHERRY - 14"		REMOVE
60	SWAMP WHITE OAK - 20"	LOW BRANCHED	REMOVE
61	DEAD		REMOVE
62	BLACK CHERRY - 27"		REMOVE
63	BLACK CHERRY - 12"/18"		REMOVE
64	HACKBERRY - 24"		REMOVE
65	BLACK CHERRY - 12"/12"	POOR/PARTIALLY DEAD	REMOVE
66	RED MAPLE - 9"		REMOVE
67	BLACK CHERRY - 23"	POOR	REMOVE
68	BLACK CHERRY - 15"		REMOVE
69	BLACK CHERRY - 20"/20"	MULTI-STEM	REMOVE
70	BLACK CHERRY - 16"/18"	MULTI-STEM	REMOVE
71	MULBERRY - 8"-10"	MULTI-STEM	REMOVE
72	HACKBERRY - 8.5"	DEAD	REMOVE
73	BLACK CHERRY - 16"		REMOVE
74	PEAR - 10"		REMOVE
75	ASH - 8"		REMOVE
76	MAPLE - 38"	SILVER MAPLE	REMOVE
77	ELM - 27"		REMOVE
78	ELM - 21"		REMOVE
79	PEAR - 13"		REMOVE
80	PEAR - 11"		REMOVE
81	SPRUCE - 30'		REMOVE
82	SPRUCE - 30'		REMOVE
83	CALLERY PEAR - 4"-7"	MULTI-STEM	REMOVE
84	CALLERY PEAR - 7"/7"	MULTI-STEM	REMOVE
85	SPRUCE - 30'		REMOVE
86	SPRUCE - 30'		REMOVE
87	MAPLE - 30"		REMOVE
88	TULIP TREE - 28"		REMOVE
89	NORWAY MAPLE - 23"		REMOVE
90	BLACK CHERRY - 6"-10"	MULTI-STEM/PARTIALLY D	REMOVE
91	MAPLE - 9"		REMOVE
92	MAPLE - 8.5"		REMOVE
93	CALLERY PEAR - 9.5"		REMOVE
94	COLORADO BLUE SPRUCE - 15'		REMOVE
95	COLORADO GREEN SPRUCE - 18'		REMOVE
96	MAPLE - 8.5"		REMOVE
97	CALLERY PEAR - 9.5"		REMOVE
98	LINDEN - 5"		PRESERVE
99	JAPANESE TREE LILAC - 3"		PRESERVE
100	HACKBERRY - 4"		REMOVE
101	JAPANESE TREE LILAC - 3.5"		REMOVE
102	CRABAPPLE - 8.5"		PRESERVE
103	HACKBERRY - 5"		PRESERVE
104	JAPANESE TREE LILAC - 3"		PRESERVE
105	HACKBERRY - 4.5"		PRESERVE
106	LINDEN - 5.5"		PRESERVE
107	HACKBERRY - 5.5"		REMOVE
108	LINDEN - 5"		REMOVE

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By Christopher Gruba at 9:31 am, Feb 16, 2022



LEGEND

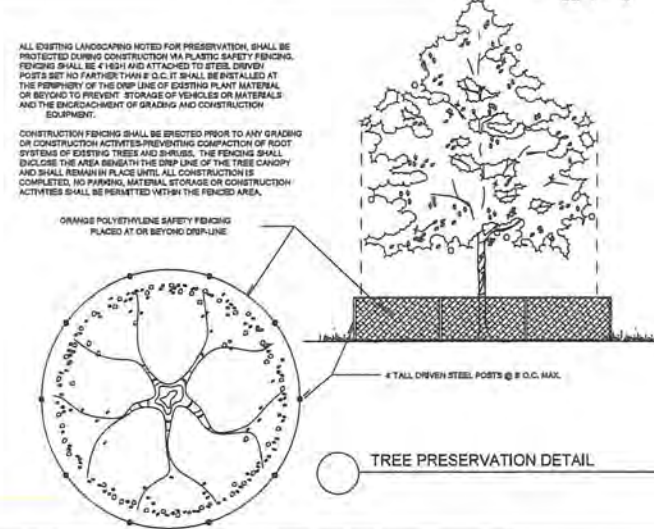
- #98 PRE. EXISTING DECIDUOUS TREE - TO BE PRESERVED
- #97 EXISTING DECIDUOUS TREE - TO BE REMOVED
- #95 EXISTING EVERGREEN TREE - TO BE REMOVED

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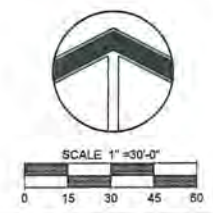
REVISIONS

Per City Review 2/15/22
Per City Review 1/11/22

OASIS SENIOR LIVING
FRANKFORT, IL



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BEFORE YOU DIG
1-800-892-0123
TOLL FREE
Operator 24 Hours
Every Day



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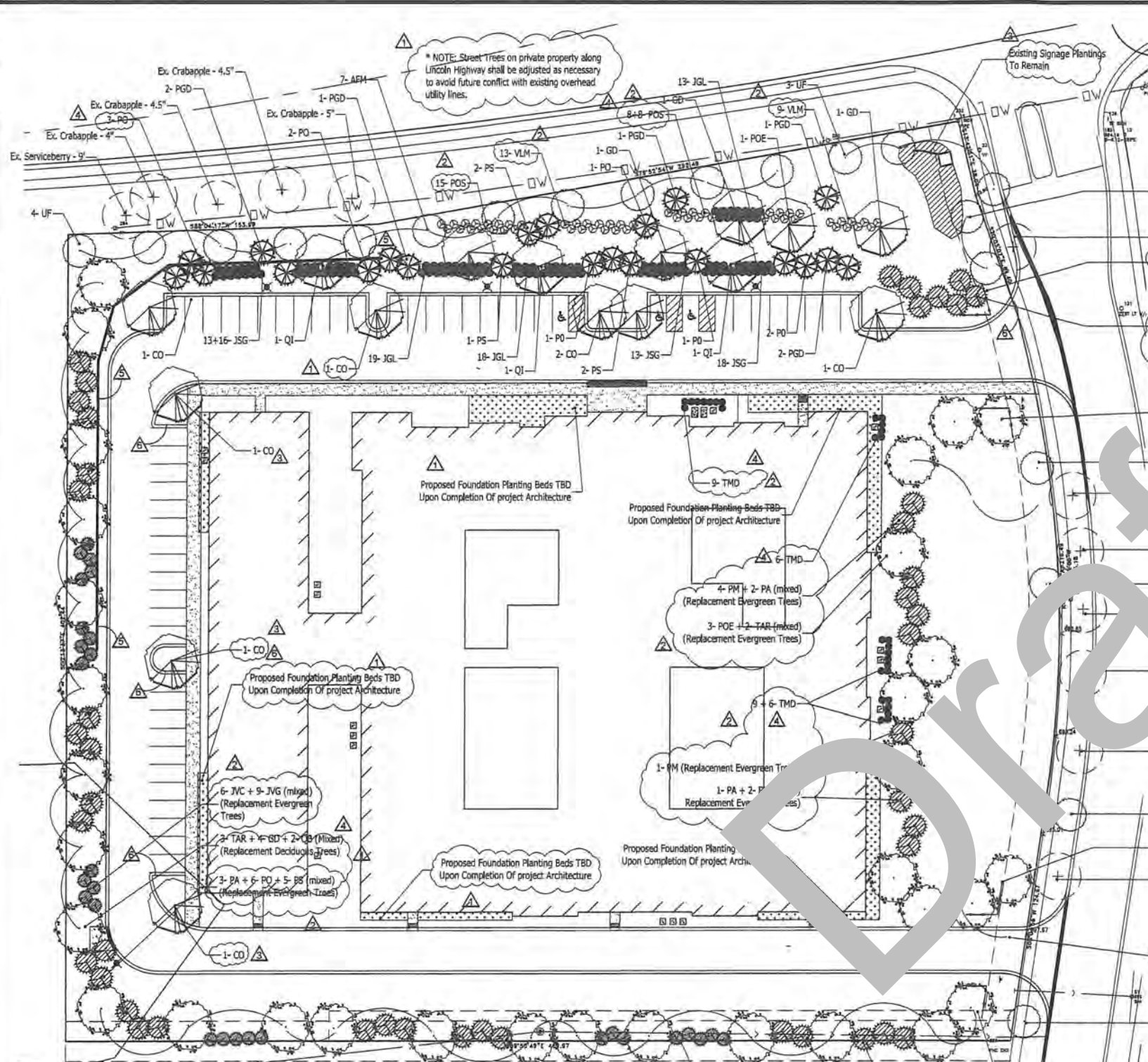
www.ivesryangroup.com

EXISTING TREE PLAN

PROJECT NO.: JOB NO.:
L1721 9317

DATE: 12/15/21
SCALE: 1" = 30'-0"
PLANNER: RTP/JMR
DRAWN BY: RTP
CHECKED: JMR

SHEET TP-1



- GENERAL SITE NOTES:**
1. DECIDUOUS AND EVERGREEN TREE SPACING SHALL BE AS SHOWN.
 2. SELECTIVE PRUNING SHALL BE PERFORMED ON TREES AND SHRUBS AS NECESSARY.
 3. ALL TREES SHALL RECEIVE A 4' MULCH RING FOLLOWING INSTALLATION.
 4. ALL LAWN AREAS AND OFF-SITE AREAS DISTURBED BY GRADING SHALL BE SEEDED AND COVERED WITH NORTH AMERICAN GREEN S75 BLANKET OR AN APPROVED EQUAL.
 5. PLANT LOCATION MAY VARY PENDING FIELD VERIFICATION OF GRADING AND UTILITIES.
 6. SEE ENGINEERING PLANS FOR GRADING, UTILITIES, EASEMENTS, RETAINING WALLS, ETC.

TREE REPLACEMENTS:

Deciduous Tree Caliper Removed: 283.0"
 Deciduous Tree Caliper Replaced: 96.0"
 (32 Replacement Trees @ 3")

Evergreen Tree Height Removed: 144'
 Evergreen Tree Height Replaced: 438'
 (73 Replacement Trees @ 6')

See Sheet TP-1 for tree removals and preservation.

RECEIVED 8.17.22

PLANT LIST

KEY QUAN	BOTANICAL NAME	COMMON NAME	SIZE/TYPE	SPACING
DECIDUOUS SHADE TREES				
AFM 11	Acer f. 'Marmo'	Marino Freeman Maple	2.5" BB	As Shown
CO 8	Celtis occidentalis	Common Hackberry	2.5" BB	As Shown
GD 5	Gymnocladu d. 'Expresso'	Expresso Kentucky Coffee Tree	3" BB	As Shown
GD 3	Gymnocladu d. 'Expresso'	Expresso Kentucky Coffee Tree	2.5" BB	As Shown
POE 6	Platanus o. 'Exclamation'	Exclamation London Planetree	3" BB	As Shown
POE 3	Platanus o. 'Exclamation'	Exclamation London Planetree	2.5" BB	As Shown
QB 5	Quercus bicolor	Swamp White Oak	3" BB	As Shown
QB 0	Quercus bicolor	Swamp White Oak	2.5" BB	As Shown
QI 6	Quercus imbricaria	Shingle Oak	3" BB	As Shown
QI 3	Quercus imbricaria	Shingle Oak	2.5" BB	As Shown
TAR 11	Tilia a. 'Redmond'	Redmond American linden	3" BB	As Shown
UF 7	Ulmus 'Frontier'	Frontier Elm	2.5" BB	As Shown
EVERGREEN TREES				
JVC 14	Juniperus v. 'Canaertii'	Canaerti Eastern Cedar	6' BB	As Shown
JVG 14	Juniperus v. 'Glauca'	Silver Eastern Cedar	6' BB	As Shown
PA 15	Picea abies	Norway Spruce	6' BB	As Shown
PGD 7	Picea glauca 'Densata'	Black Hills Spruce	6' BB	As Shown
PO 17	Picea omorika	Serbian Spruce	6' BB	As Shown
PS 15	Pinus strobus	Eastern White Pine	6' BB	As Shown
PM 15	Pseudotsuga mezesii	Eastern White Pine	6' BB	As Shown
DECIDUOUS SHRUBS & SHRUB ROSES				
POS 32	Physocarpus o. 'Seward'	Summer Wine Ninebark	3' BB/Cont.	4'- O.C.
VLM 22	Viburnum l. 'Mohican'	Mohican Nannyberry Viburnum	3' BB/Cont.	4'- O.C.
EVERGREEN SHRUBS				
60	Juniperus c. 'Gold Lace'	Gold Lace Juniper	24" BB/Cont.	
60	Juniperus c. 'Sea Green'	Sea Green Juniper	24" BB	
47	Taxus m. 'Hicksii'	Hicks Yew	30" BB	
MATERIAL & LABOR LIST:				
QUAN	ITEM	DESCRIPTION		
T.B.D.S.Y.	Erosion Control- Straw	S75 Straw Erosion Control Blanket 10 Month Degradability Available From: North American Green PH: 1-800-772-2040		
T.B.D.SY	Seed	Kentucky Bluegrass Blend (mineral base)		
T.B.D.SY	Sod	Kentucky Bluegrass Blend (mineral base)		
80	CY	Mulch		

LEGEND

- DECIDUOUS STREET TREE - 2.5"
- DECIDUOUS SITE TREE - 2.5"
- DECIDUOUS PRES. REPLACEMENT TREE- 3.0"
- ORNAMENTAL TREE - 2.5"/6' cl.
- EVERGREEN TREE - 6'
- EVERGREEN PRES. REPLACEMENT TREET 6'
- EVERGREEN SHRUB - 24"/5 Gal.
- LARGE DECIDUOUS SHRUB 36" BB/Cont.
- EXISTING TREES TO REMAIN

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- REVISIONS**
- Per City Review 8/12/22
 - Add Fence & Wall 8/22/22
 - Per City Review 5/4/22
 - Per City Review 4/14/22
 - Per City Review 2/15/22
 - Per City Review 1/11/22

OASIS SENIOR LIVING
 FRANKFORT, IL

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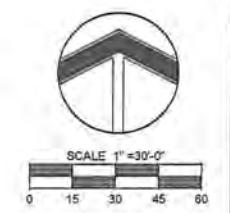
PRELIMINARY LANDSCAPE PLAN

PROJECT NO.: 1721
 JOB NO.: 9317

DATE: 12/15/21
 SCALE: 1" = 30'-0"
 PLANNER: RTP/JMR
 DRAWN BY: RTP
 CHECKED: JMR

SHEET L-1

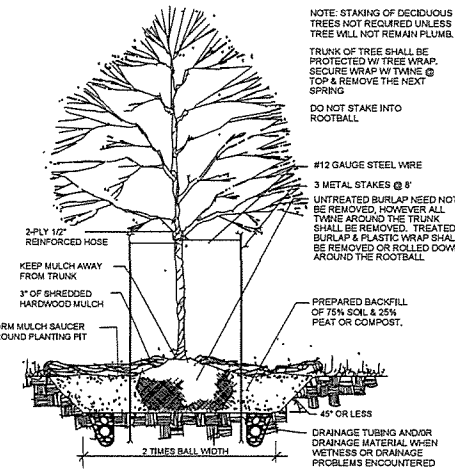
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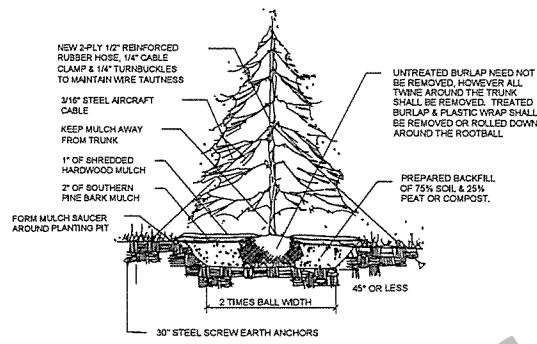
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GENERAL SITE NOTES:

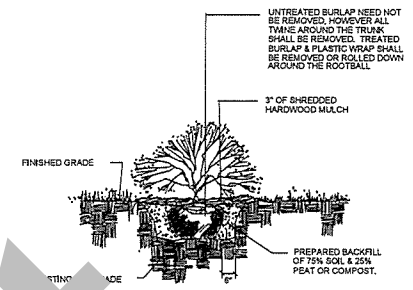
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5. PLANT LOCATION MAY VARY PENDING FIELD VERIFICATION OF GRADING AND UTILITIES.
6. SEE ENGINEERING PLANS FOR GRADING, UTILITIES, EASEMENTS, RETAINING WALLS, ETC.



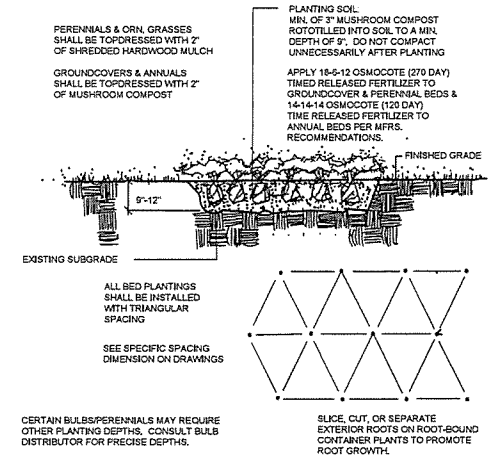
DECIDUOUS TREE NTS



EVERGREEN TREE NTS



SHRUBS NTS



BED PLANTING DETAIL (PERENNIALS, ORNAMENTAL GRASSES, VINES, GROUNDCOVERS & ANNUALS) NTS

REVISIONS

Per City Review	8/12/22
Add Fence & Wall	6/2/22
Per City Review	5/4/22
Per City Review	4/14/22
Per City Review	2/15/22
Per City Review	1/11/22

OASIS SENIOR LIVING
FRANKFORT, IL

GENERAL NOTES:

- Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.
- The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.
- Any materials with damaged or crooked/damaged leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (d.).
- If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.
- Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.
- Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.
- Quantity lists are supplied as a convenience. However, Bidders and the Installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.
- Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.
- Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.
- Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.
- The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.
- All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of mushroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.
- All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.
- Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.
- All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.
- Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.
- Sod shall be mineral base only.
- Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's specs) or Hydro-mulch.
- All plant material shall be guaranteed for one (1) year from the date of acceptance.

Draft

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Wheaton, IL 60189
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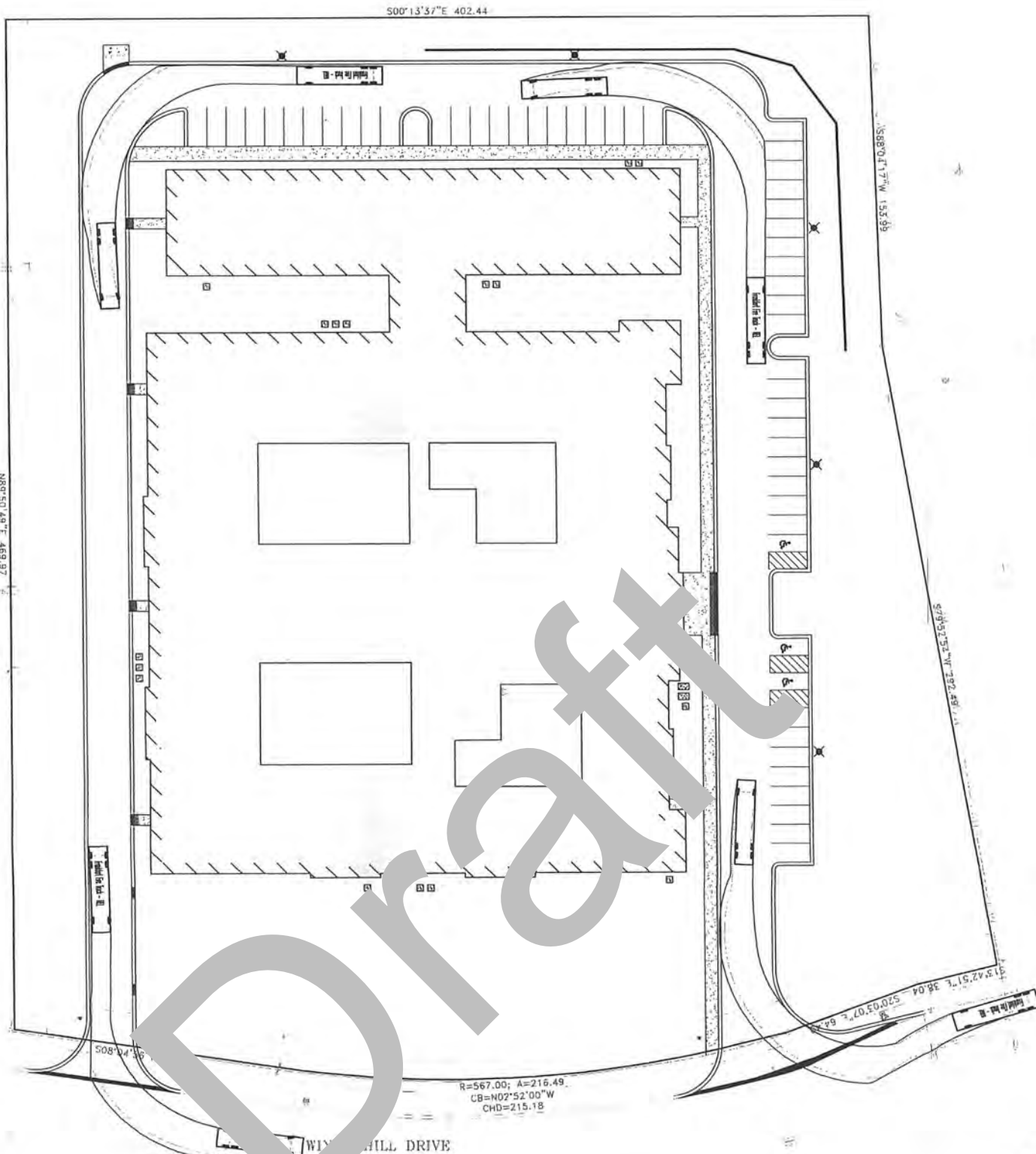
GENERAL NOTES & DETAILS

PROJECT NO.: JOB NO.:
L1721 9317

DATE: 12/15/21
SCALE: N.T.S.
PLANNER: RTP/JMR
DRAWN BY: RTP
CHECKED: JMR

SHEET
L-2

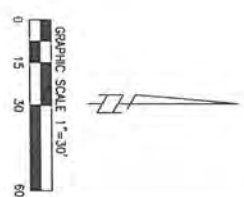
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LINCOLN HIGHWAY
 ROUTE 30

WIN HILL DRIVE

R=567.00; A=216.49
 CB=N02°52'00\"/>



1
 21074

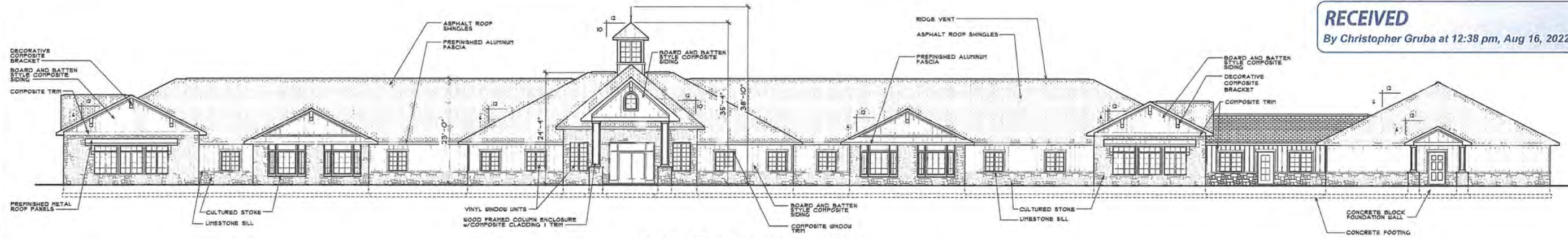
GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

OASIS SENIOR LIVING
 FRANKFORT, ILLINOIS

AUTO-TURN (EMERGENCY)
 DRAWN BY: NW JOB: 21074
 CHECKED BY: TC DATE: 12/14/21

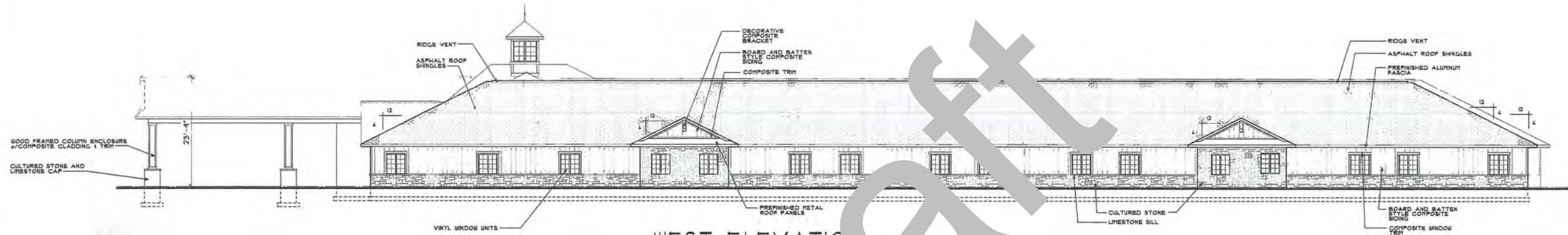
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6-2-22	6	PER VILLAGE
5-5-22	5	PER VILLAGE
4-11-22	4	PER VILLAGE
2-15-22	3	PER VILLAGE
1-20-22	2	PER VILLAGE
12-15-21	1	PRELIM REV SUB
		REVISION

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By Christopher Gruba at 12:38 pm, Aug 16, 2022



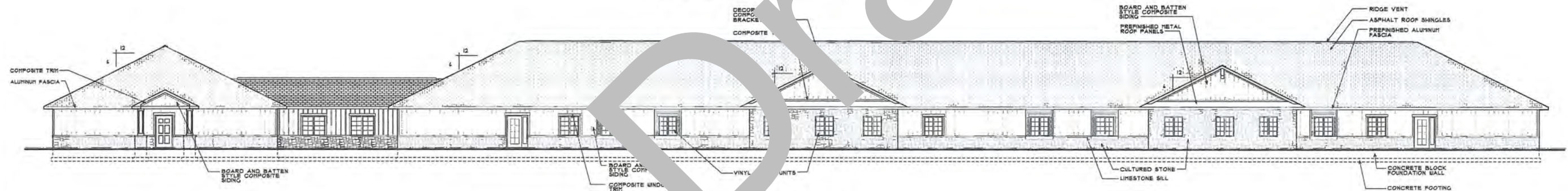
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



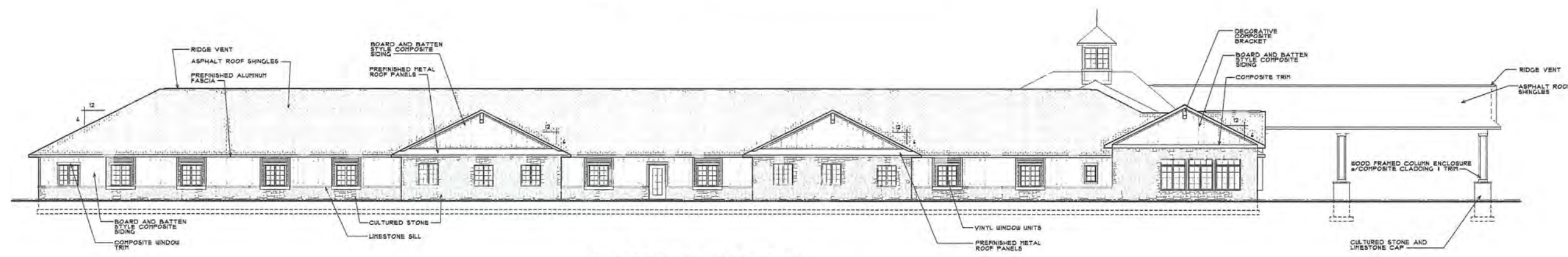
WEST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"

DATE	
REVISION	
DATE	08/01/22
OWNER REVIEW	
DATE	09/21/21
PRINT DATE	
DRAWN BY	T.L.S.
CHECKED	T.L.S.
APPROVED BY	T.L.S.
PROJECT	OASIS SENIOR LIVING FACILITY
PROJECT NO.	21-372
SHEET	A4.1
PROJECT	NEW SENIOR LIVING CENTER
PROJECT	LINCOLN HIGHWAY
PROJECT	FRANKFORD, ILLINOIS
ARCHITECT	SEIDELL ARCHITECTS
INDUSTRIAL	
RESIDENTIAL	
COMMERCIAL	
114 N. COURT AVE., STE. 301	
FRANKFORD, ILLINOIS 62424	
PHONE (618) 731-0372	
FAX (618) 731-6524	



64 412 sq ft.

Unit Summary	Units	Beds	Area
Memory Care	25	25	303 sq ft.
Studio	21	21	397 sq ft.
One Bed	21	21	523 sq ft.
Two Bed	4	8	745 sq ft.
Total	82	80	

OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

DESIGN BY	T.L.S.	DATE	REVISION
CHINGKO	T.L.S.	01/11/22	OWNER REVIEW
APPROVED BY	T.L.S.	01/27/21	FOR REVIEW
DATE			PART DATE

SEIDELLS ARCHITECTS
 COMMERCIAL RESIDENTIAL INDUSTRIAL
 114 N. COURT AVE., STE. 201
 POST OFFICE BOX 399
 BURLINGTON, ILLINOIS 61214
 PHONE (815) 231-0372
 FAX (815) 231-0624

PROJECT: OASIS SENIOR LIVING FACILITY
 NEW SENIOR LIVING CENTER
 LINCOLN HIGHWAY FRANKFORD, ILLINOIS

PROJECT NO. 21-372



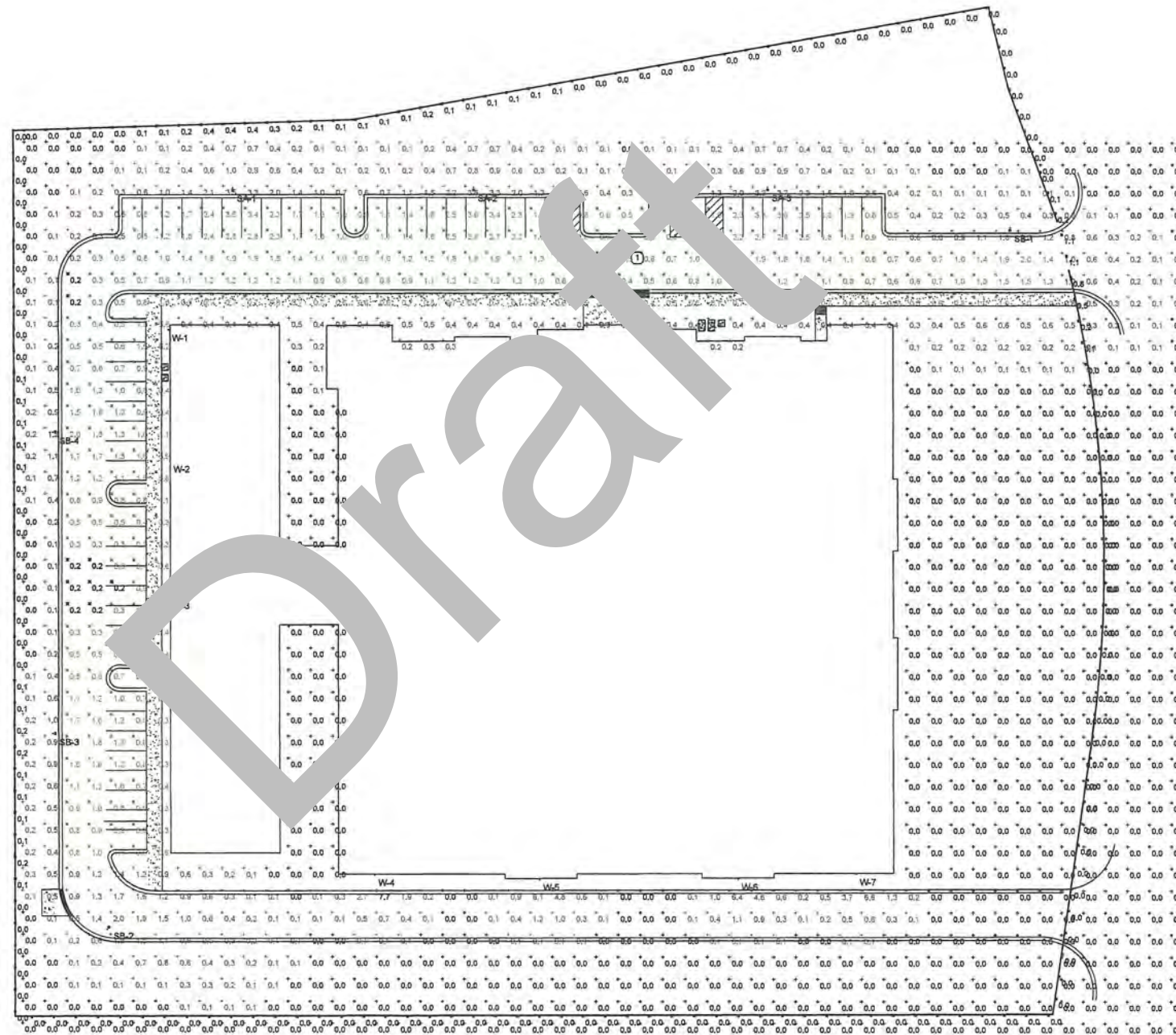
SHEET
A.I.O

Symbol	Description	Quantity	Unit	Total
□	Call Zone Entire Site	1	Sq Ft	186,150
□	Call Zone Property Line	1	Sq Ft	186,150
□	Call Zone Parking Area	1	Sq Ft	186,150

Description	Symbol	Aug	Max	Min	MaxMin	AugMin
Call Zone Entire Site	□	0.4 ft	7.7 ft	0.0 ft	N/A	N/A
Call Zone Property Line	□	0.1 ft	1.1 ft	0.0 ft	N/A	N/A
Call Zone Parking Area	□	1.1 ft	7.4 ft	0.2 ft	37.8 ft	35.7 ft

Luminaire Locations						
Location						
No.	Label	X	Y	MH	Orientation	Tilt
1	SA	76.65	365.45	20.00	180.00	0.00
2	SA	186.15	365.70	20.00	180.00	0.00
3	SA	319.15	365.95	20.00	180.00	0.00
1	SB	428.65	347.70	20.00	180.00	0.00
2	SB	20.66	28.48	20.00	34.11	0.00
3	SB	-4.10	117.20	20.00	90.00	0.00
4	SB	-4.35	254.20	20.00	90.00	0.00
1	W	47.75	300.75	10.00	270.00	0.00
2	W	48.50	241.25	10.00	270.00	0.00
3	W	48.50	179.00	10.00	270.00	0.00
4	W	141.50	53.25	10.00	180.00	0.00
5	W	216.50	51.25	10.00	180.00	0.00
6	W	306.25	51.50	10.00	180.00	0.00
7	W	359.75	53.75	10.00	180.00	0.00

RECEIVED
By Christopher Gruba at 9:02 am, Jun 08, 2022



PREPARED BY:
KSA LIGHTING & CONTROLS

0.2.22
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2
REV
PER VILLAGE
REVISION

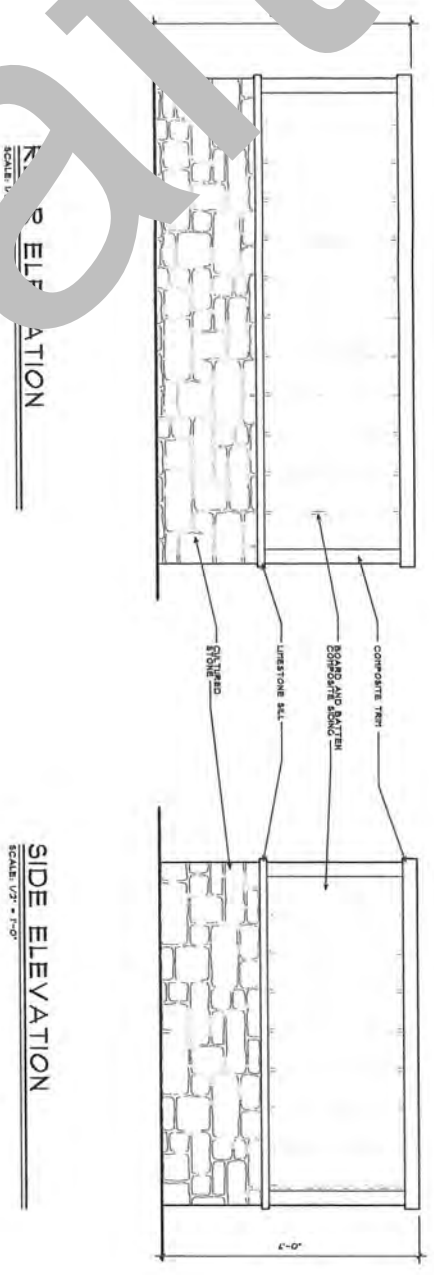
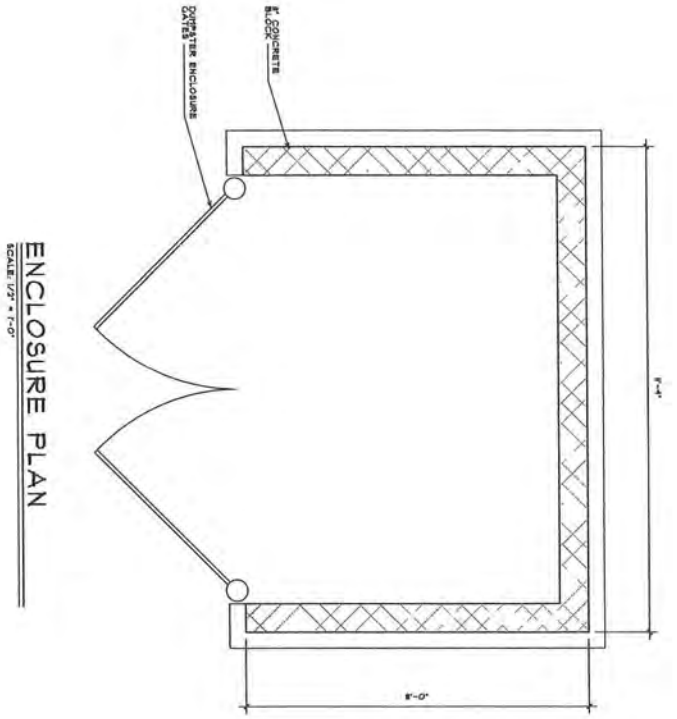
DRAWN BY: NW
CHECKED BY: TC
JOB: 21074
DATE: 12/14/21

OASIS SENIOR LIVING
FRANKFORT, ILLINOIS

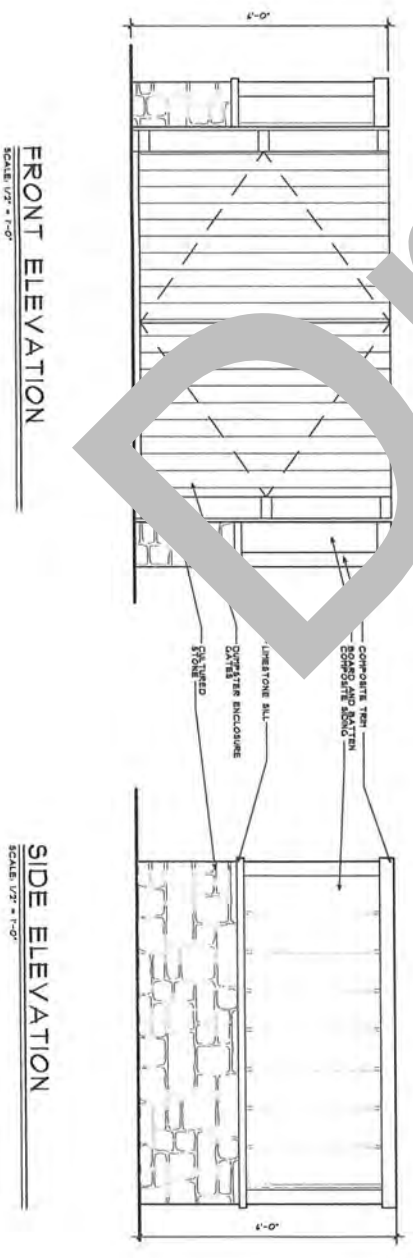
GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE
CREST HILL, ILLINOIS 60403 815/730-1010

21074

RECEIVED
 By Christopher Gruba at 12:40 pm, Aug 16, 2022



SIDE ELEVATION
 SCALE 1/2" = 1'-0"



SIDE ELEVATION
 SCALE 1/2" = 1'-0"

SHEET A1.5	PROJECT OASIS SENIOR LIVING FACILITY NEW SENIOR LIVING CENTER	 ASEIDELL ARCHITECTS COMMERCIAL RESIDENTIAL INDUSTRIAL 114 N. COURT AVE., STE. 201 POST OFFICE BOX 2189 GAYLORD, MICHIGAN 49734 PHONE (889) 731-0372 FAX (889) 731-6932	DRAWN BY T.L.S.	ISSUED OWNER REVIEW	DATE 01/01/22	ISSUED 	DATE 	
	PROJECT NO. 21-312		APPROVED BY T.L.S.	DATE 09/21/21	PRINT DATE 			
	LINCOLN HIGHWAY FRANKFORT, ILLINOIS							

PLAN COMMISSION REPORT SUMMARY (Tabled from September 19, 2022)

Opa! Major PUD Change: 10235 W. Lincoln Highway - Ordinance

This item of business was removed from the unanimous consent agenda and tabled at the September 19th Village Board meeting.

Mayor Ogle entertains a motion from the floor to take the matter from the table.

Motion: *I move to take from the table the motion relating to Opa! Major PUD Change for Brookside Commons Planned Unit Development.*

Clerk Schubert calls the roll.

Staff contacted the applicant, George Karuntzos, and recommended that he attends the Village Board meeting to answer any questions that may come up as part of the Village Board's consideration of the Major PUD Change.

Staff received correspondence from the applicant requesting the matter be postponed to May 2023.

Mayor Ogle entertains a motion from the floor to postpone the matter indefinitely.

Motion: *I move to postpone the motion relating to Opa! Major PUD Change indefinitely.*

Mayor Ogle invites trustee comment on the matter prior to vote.

Clerk Schubert calls the roll.

Excerpt from September 19, 2022 Village Board Meeting

Applicant George Karuntzos proposes building addition and relocation of the outdoor patio for the existing Opa! restaurant, located at 10235 W. Lincoln Highway, within the Brookside Commons development. The project would involve enclosing the existing 670 square foot patio and constructing a new 324 square foot outdoor seating area adjacent to it. To accommodate the proposed improvements, the applicant requests the granting of a Major PUD Change.

At the September 8th Public Hearing on the project, the Commissioners reviewed the proposed Major PUD Change to the Brookside Commons development and forwarded a split (4-1) recommendation to the Village Board to approve the Major PUD Change, subject to final engineering approval and the restaurant not opening before 3:00 P.M. The applicant was amendable to not opening before 3:00 P.M., Monday through Friday. The dissenting vote was because of the proposed patio and additional seating request.

Motion: *Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance approving a Major PUD Change to the Brookside Commons Planned Unit Development to permit exterior renovations of the building and corresponding enclosure of the existing outdoor patio and construction of a new outdoor seating area to accommodate the business operation of Opa!, located at 10235 W. Lincoln Highway, in accordance with the reviewed plans and public testimony, conditioned upon final engineering approval and the restaurant shall not open before 3:00 P.M., Monday through Friday.*

ORDINANCE NO. 33XX

AN ORDINANCE APPROVING A MAJOR PLANNED UNIT DEVELOPMENT (PUD) CHANGE FOR THE BROOKSIDE COMMONS DEVELOPMENT WILL AND COOK COUNTIES, ILLINOIS (OPA! RESTAURANT – 10235 W. LINCOLN HIGHWAY)

WHEREAS, George Karuntzos, Applicant; and Karuntzos Investments, LLC, 3900 West 101st Street, Chicago, Illinois 60655, Owner; filed an application with the Village of Frankfort for a Major PUD Change to the Brookside Commons Planned Unit Development, located at 10235 W. Lincoln Highway, Frankfort, Illinois 60430; and

WHEREAS, the Subject Property is located within the corporate limits of the Village of Frankfort, Will and Cook Counties, Illinois and is zoned R-4 Office District with a Special Use for a Planned Unit Development; and

WHEREAS, a timely Notice of Public Hearing on this application before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the application for a Major Change to the Brookside Commons Planned Unit Development to accommodate a proposed building addition (enclosure of existing outdoor seating area) and a new outdoor seating area for the existing Opa! restaurant located at 10235 W. Lincoln Highway; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on said application; and

WHEREAS, the Village of Frankfort Plan Commission forwarded a split (4-1) recommendation to the Board of Trustees of the Village of Frankfort, that the Subject Property be granted a Major PUD Change to the Brookside Commons Planned Unit Development, to permit a building addition and relocation of the outdoor patio for the Subject Property, with conditions as enumerated in Section 1 of this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. ZONING

PIN 19-09-21-304-044-0000, 19-09-21-304-043-0000

PARCEL 1: LOTS 21, 22 AND 23 (EXCEPT THE EAST 6.13 FEET THEREOF IN BROOKSIDE COMMONS P.U.D., BEING A SUBDIVISION OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 25, 1997 AS DOCUMENT NUMBER R97-104659, IN WILL COUNTY, ILLINOIS.

AND

PARCEL 2: THAT PART OF LOT 25 IN BROOKSIDE COMMONS P.U.D., BEING A SUBDIVISION OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 25, 1997 AS DOCUMENT NUMBER R97-104659 IN WILL COUNTY, ILLINOIS, BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 23 IN SAID BROOKSIDE COMMONS P.U.D., THENCE NORTH 89°55'43" EAST 6.00 FEET ALONG THE NORTH LINE OF SAID LOT 23 TO THE POINT OF BEGINNING; THENCE NORTH 00°04'17" WEST 3.00 FEET; THENCE NORTH 89°55'43" EAST 37.00 FEET; THENCE SOUTH 00°04'17" EAST 3.00 FEET TO THE NORTH LINE OF SAID LOT 23; THENCE SOUTH 89°55'43" WEST 37.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

AND

PARCEL 3: THAT PART OF SAID LOT 25 IN BROOKSIDE COMMONS P.U.D. DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 21 IN SAID BROOKSIDE COMMONS P.U.D.; THENCE SOUTH 89°55'43" WEST 6.00 FEET; THENCE NORTH 00°04'17" WEST 51.00 FEET; THENCE NORTH 89°55'43" EAST 6.00 FEET TO THE WEST LINE OF LOT 23 IN SAID BROOKSIDE COMMONS P.U.D.; THENCE SOUTH 00°04'17" EAST 51.00 FEET ALONG THE WEST LINE OF LOTS 23, 22 AND 21 IN SAID BROOKSIDE COMMONS P.U.D. TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

AND

PARCEL 4: EASEMENT FOR THE BENEFIT OF PARCEL 1, 2, AND 3, AS CREATED BY DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR BROOKSIDE COMMONS FOR INGRESS AND EGRESS OVER COMMON AREA AS DEFINED IN THE DECLARATION RECORDED NOVEMBER 25, 1997 AS DOCUMENT R97-104658 AFORESAID.

Commonly known as 10235 W. Lincoln Highway, Frankfort, Will County, Illinois, is hereby granted a Major PUD Change to the Brookside Commons Planned Unit Development to permit exterior renovations of the building and corresponding enclosure of the existing outdoor patio and construction of a new outdoor seating area for the Subject Property, in accordance with the reviewed plans and public testimony, and conditioned upon final engineering approval and the restaurant shall not open before 3:00 P.M., Monday through Friday.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. ZONING MAP AMENDMENT.

That the Zoning Map of the Village of Frankfort is amended to reflect the Subject Property, currently zoned B-4 Office District with a Special Use Permit for a Planned Unit Development, is hereby granted a Major PUD Change as provided under this Ordinance and the Village of Frankfort Zoning Ordinance, as amended from time to time.

SECTION 4. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 5. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this ____ day of ____, 20__; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA PETROW	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this ___ day of _____, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

PREPARED BY AND RETURN TO:
VILLAGE CLERK
VILLAGE OF FRANKFORT
432 W. ILLINOIS STREET
FRANKFORT, IL 60423

Draft

Public Hearing: 10235 W. Lincoln Highway – Opa! (Ref #106)

Mike Schwarz presented the staff report.

Chair Rigoni invited the applicant to the podium to provide a summary of the request.

The architect, Steve Francis of Linden Group Architects, gave a summary. He explained that they submitted revised elevations per the comments they received at the workshop. He also clarified that anytime masonry is added on to an existing structure, the technical term is “veneer,” hence the label on the submitted plans. The new brick, shingles, and other architectural details would match with the existing building. The applicant also proposed installing openable windows to allow open air in good weather. The previously proposed deck was changed to a patio to match design of existing patio which was to be enclosed. The light fixtures on the existing patio would be repurposed for the new patio. The applicant had already changed their hours of operation to address parking concerns on-site. Parking congestion was worst during lunch hours, so the idea was that opening in the afternoon would improve parking conditions for the other nearby businesses.

Chair Rigoni asked if any of the commissioners had any initial questions for staff or the applicant.

Commissioner Markunas asked if the applicant would use full size brick for the enclosure.

The architect responded that they would.

Commissioner Steffner asked staff if parking requirements could be calculated based on the restaurant’s available seating rather than using square footage.

Staff responded that the parking regulations were set by the Zoning Ordinance, and that the calculation for a restaurant is based on square footage and the number of employees. In recent cases, the Plan Commission was made aware of the option to either recommend approval of parking variations or grant parking adjustments based on the available shared or joint parking on-site.

Commissioner Knieriem asked staff if there was a shared parking agreement for the Brookside Commons PUD, which Opa! is a part of.

Staff responded that they are not aware of any formal or legal documents for shared parking, but the individual property owners may have documentation given that they all share and maintain the parking lot. Staff also stated that the applicant may know otherwise or be able to provide such documentation. The parking lot is already shared by the various property owners. The Zoning Ordinance provides that where multiple

businesses share parking, the Plan Commission may grant parking adjustments if sufficient evidence is presented to them.

Commissioner Knieriem asked whether the shared parking was an informal agreement.

Staff responded that they believe that it is unless documentation can be provided to demonstrate otherwise.

Commissioner Schaeffer asked whether the informal shared parking agreement was only for the spaces within the Brookside Commons PUD or for the three parking lots for the Brookside Commons PUD, the Brookside Commons West PUD, and the Brookside Office Condos PUD.

Staff responded that based on their research, as far as they can tell, there is no formal agreement for shared parking among the three separately approved PUDs (Brookside Commons, Brookside Commons West, Brookside Office Condos). Staff believes that the different property owners within the Brookside Commons PUD, via their owners'/tenants' association, understand that they collectively share their parking lot. However, staff was unaware of any formal agreement between the three PUDs.

Chair Rigoni asked if there were any comments from the public.

Chime Airere, a local tenant, approached the stand. He expressed his thanks to Opa! for changing its hours of operation. He asked whether the change in hours was temporary or permanent. When the applicant spoke about changing his hours, it sounded like a voluntary decision which could be reversed in the future.

Chair Rigoni responded that there was a condition in the recommended motion which would be bound to the property that would prevent the applicant from changing his hours back without approval. Any future business would be bound to that condition as well unless the Plan Commission approved it.

Chime thanked the Plan Commission for the clarification and commented that he thought the change in hours was positive.

Motion (#10): To close the public hearing.

Motion by: Schaeffer Seconded by: James

Approved: (5-0)

Chair Rigoni asked the commissioners if they had any comments.

Commissioner Markunas noted that the Plan Commission's main concern at the workshop was parking. He thanked the applicant for changing his hours of operation. Since most of the other businesses in the PUD are medical offices, tend to close around 4:00, and are not open over the weekend, it seems that the parking demands for the different uses would face less overlap.

Commissioner James agreed with Commissioner Markunas' comments regarding the changes in hours. He stated that he assumed the tables on the proposed patio area would only be seasonal. One of the concerns he had was with where snow would be stored in the winter. He believed that some parking spaces would be used for snow storage, which would result in a worse parking situation in the winter. If the patio seating was seasonal, his concerns over winter parking availability were addressed.

The architect noted that most snow was stored in or near the detention pond in front of the building, so very few, if any, parking spaces would be filled with snow.

The applicant, George Karuntzos, echoed the architect's comment and stated that snow is removed quickly so they should not lose any of those spots.

Commissioner Schaeffer stated that she liked that the proposed brick would match the existing brick. She had no issue with parking and seasonal seating.

Commissioner Knieriem asked if when the restaurant opened at 3:00 p.m., whether the applicant expected most patrons might be at opening or if the dinner rush would not begin until later in the evening.

The applicant responded that staff arrived at 2:30 p.m., but that the restaurant didn't get busy until around 5:00 p.m., or sometimes earlier in the colder months. He noted that he lost a lot of business in recent weeks changing the opening hours to 3:00 p.m. It would not be viable to open later than 3:00 p.m.

Commissioner Knieriem asked if the applicant had experienced any financial loss from opening later.

The applicant stated that changing his hours was a gamble, but it may balance out in the long run. Having the additional patio seating may help make up the difference.

Commissioner Knieriem asked if the applicant's restaurant was full on the weekends for dinner and what are the current wait times?

The applicant responded that they were full lately, with an average 40-minute wait time on the weekends. It was about a 2 hour wait on the weekends over the past winter. The

proposed outdoor seating would help meet demand during the weekends during the non-winter months.

Commissioner Knieriem noted that many downspouts on the restaurant were disconnected, which could cause water damage.

The applicant said he had never seen an issue and that he was unaware of the disconnections.

Commissioner Knieriem stated he was there a few days prior, and he believed water was able to flow openly over the property because of the disconnections. There may be some long-term damage the applicant couldn't see.

The applicant noted that the previous owner took bad care, and that he had done a lot of work to clean it up. Returning to hours of operation, the applicant asked if he would be able to open the restaurant earlier for special occasion events.

Chair Rigoni stated that based on the way the suggested motion was written in the staff report, the condition for hours of operation was for every day of the week. She believed that the condition should be a discussion point since there was room for flexibility on the weekends. She noted that she was puzzled by the decision of the PUD, and that it seemed like the properties in question were not initially intended to be used as a restaurant. She appreciated the later opening time but wished that the outdoor seating and the major PUD change could be voted on as separate motions. The Plan Commission had discussions with other applicants in the past who were adamantly told to make no additions to their spaces which would make parking worse. She felt like the proposed outdoor patio seating was pushing the limit. She understood where the applicant was coming from, but the Plan Commission needed to be consistent in its recommendations. The enclosure was a different matter, since the existing area already existed, but the inclusion of the additional outdoor seating on the patio was something that she struggled with. She asked the commissioners if they felt they could regulate the later opening hours to only include a limitation on weekdays and allow the applicant flexibility on the weekend.

Commissioner Knieriem noted that the applicant was not asking for it, but that he was willing to make that change.

There was some discussion on the wording of the condition.

Commissioner Knieriem asked whether there was any need to limit the hours on the weekend, or whether they should not mention the weekend in their condition at all.

Chair Rigoni responded that they would give that flexibility to the owner by not mentioning the weekend. She asked if there were any other comments.

Project: Opa! Building addition and relocation of outdoor seating
Meeting Type: Public Hearing
Requests: Major PUD Change; Plat of Resubdivision (to consolidate underlying lots)
Location: 10235 W. Lincoln Highway
Applicant: George Karuntzos
Prop. Owner: Karuntzos Investments, LLC
Representative: Steven Francis, Linden Group

Site Details

Gross Area: 4,420 sq. ft. (0.1 acres)
PIN(s): 19-09-21-304-044-0000
Existing Zoning: B-4
Proposed Zoning: B-4
Future Land Use: General Commercial
Buildings: 8 (within entire PUD)
Units: 21 (within entire PUD)

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Restaurant	General Comm	B-4
North	Comm. PUD	General Comm	B-4
South	Comm. PUD	General Comm	B-4
East	Comm. PUD	Comm.	B-4
West	Comm. PUD	General Comm.	B-4

Project Summary

The applicant, George Karuntzos, is proposing a building addition and relocation of the outdoor patio for the existing Opa restaurant, within the Brookside Commons PUD. The project would involve enclosing the existing 670 square foot patio and constructing a new 1,224 square foot outdoor seating area adjacent to it. The changes would only affect the parcel for the restaurant, which measures approximately 0.10 acres. There would be no changes to the common area within the PUD, including the existing parking, sidewalks and landscaping.

The proposal will require a Major PUD change to modify the approved plans for the Brookside Commons PUD, as well as a new Plat of Resubdivision to combine the 3 underlying lots beneath the 4,420 square foot parcel (0.10 acres). The Brookside Commons PUD is located between the Brookside Commons West PUD and the Brookside Office Condos PUD. Each PUD was approved separately. There is no formal shared parking agreement between the three separate PUDs.

Attachments

1. PC-ZBA workshop meeting minutes from July 14, 2022
2. Plat of Survey, received June 2, 2022
3. Aerial Photographs, Village of Frankfort GIS (large scale and small scale)
4. Aerial map of Brookside Commons PUD, Brookside Commons West PUD and Brookside Office Condos PUD
5. Tax Assessment Map, Will County
6. Pictures taken by staff, May 13, 2022

7. Existing tenants map, prepared by staff
8. Brookside Commons PUD Site Geometrics Plan, received June 2, 2022
9. Preliminary Site Plan 1":20' scale, received August 31, 2022
10. Building Elevation drawings, received August 31, 2022
11. Proposed enclosed patio plan (with new outdoor patio), received August 31, 2022

Analysis

Plan Commission/Zoning Board of Appeals Workshop

A PC-ZBA workshop was held on this project on July 14th, 2022. At that time, most of the discussion pertained to the existing parking deficiency for the Brookside Commons PUD. The Plan Commission also recommended that the new north façade of the building facing Route 30 should be constructed of brick to match the rest of the building, instead of the proposed fiber cement panel siding. The meeting minutes excerpt has been included with this report.

To address the parking deficiency, the applicant has pushed back the daily opening time from 11:00 am to 3 pm. By having the restaurant closed for lunch, the restaurant would generate no traffic until 3 pm. According to a Google search, the existing businesses with the Brookside Commons PUD have a wide variety of daily closing times that vary from 12 pm to 9 pm, with the majority closing around 5 pm. Some businesses are closed on weekends. On approximately August 24th, staff noticed that the restaurant was no longer open for lunch and the daily opening time is now 3 pm. An opening time of 3 pm has been included as a condition of approval of the Major PUD change.

To address the building materials request, the north building elevation has been revised to eliminate the fiber cement panel siding on the gable of the façade facing Route 30 and replaced it with brick to match the rest of the building. The building elevation drawings state "new brick veneer to match existing". However, it's believed that the existing building is constructed of full brick, not thin brick. The term "brick veneer" usually implies thin brick, which may match the building style, but not necessarily building construction.

2019 Comprehensive Plan

1. The Comprehensive Plan illustrates the subject property as "General Commercial". The property is currently being used for a restaurant and the expansion and continuation of the use aligns with the Plan.

Zoning

1. The subject property is currently zoned B-4, Office, with a PUD overlay which was approved as a special use (Ordinance No. 1594 approved on October 21, 1996). The enclosure of the existing patio as well as constructing a new outdoor patio would require a Major change to the existing PUD.

Site Plan

1. The Zoning Ordinance requires a 150' minimum setback from the centerline of Route 30. Route 30 is 5 lanes wide at this point, with two lanes in each direction and a left turn lane. There is also a landscaped median within Route 30. As such, there is no clearly defined "centerline" of the road. Per the site plan submitted by the applicant, the distance from the newly enclosed patio to the outside edge of the turn lane within Route 30 is 165.7'. The outside edge of the turn lane is not located in the middle of Route 30, which has a ROW width of 150'. Staff, using Will County aerial imagery, measured the distance from the enclosed patio to the center of Route 30 and this distance is approximately 135'. Depending on how the "centerline" is defined, an exception to the PUD request may be required if the proposed patio enclosure is set back less than 150'.
2. The existing restaurant floorplan will not change with the proposed addition/enclosure. The restaurant is 2,675 square feet and seats 60 people.

3. The existing 670 square foot patio area, on the rear of the building but facing Route 30, would be enclosed to allow year-round use. The enclosed patio would be equipped with foldable glazing panels which could open during the summer months. The patio, before and after the enclosure, seats 40 people.
4. A new, 324 square foot outdoor patio would be constructed on the east side of the building addition/enclosure, which would seat additional 16 people. The patio would only be accessible through the new enclosed patio area.
5. Both the building addition/enclosure and the proposed outdoor patio would be ADA compliant.
6. All changes to the site plan would occur on the 0.10-acre parcel, with no changes to the common areas of the PUD.

Building Elevations and Floorplans

1. The existing 670 square foot patio masonry knee walls would remain, with composite siding and windows added above and enclosed by a roof. The proposed shingle roof over the existing patio would match the existing roof regarding pitch and materials. The gable facing Route 30 would be constructed of "brick veneer to match existing".
2. The outdoor lights along the perimeter of the existing patio would be removed and repurposed for the proposed new 324 square foot outdoor patio.
3. The plans provided for the workshop meeting noted that the new 324 square foot outdoor patio would be constructed of a wood composite with a wood ceiling. The plans have since been modified to illustrate a masonry foundation for the patio with a brick wall to match the existing brick on the restaurant. The masonry on the patio walls is noted to "match existing" although it's not clear whether this is regular brick or thin brick.

Parking & Loading

1. The Zoning Ordinance requires 1 parking space for every 100 square feet of gross floor area, plus one space for each employee during the longest working shift, regardless of whether the area is inside the building or outdoor seating. The area of the 1st floor of the restaurant is 2,675 square feet and the existing patio is 670 square feet for a total of 3,345 square feet. The largest working shift is 8 employees. As such, the restaurant currently requires 42 parking spaces per Code. Outdoor seating area is calculated the same as indoor seating per the Zoning Ordinance; there is no differentiation.
2. The construction of the new 324 square foot patio would add an additional 3 parking spaces per code, for a total of 45 parking spaces for the restaurant.
3. Staff performed a parking analysis of Brookside Commons (attached to this report). The PUD contains 125 parking spaces, including 7 ADA accessible spaces. Currently, all the existing uses within the PUD require approximately 248 parking spaces, resulting in a parking deficiency of 123 spaces. The proposed building addition/enclosure with the proposed outdoor patio would add 3 more parking spaces, for a total of 251 spaces required. These figures do not account for the former Simply Smokin' restaurant, which is closed.
4. The former Simply Smokin' restaurant remains closed at this time. If reopened as a restaurant, it would require approximately 98 additional parking spaces. The parking analysis table currently reflects 0 spaces

required for this former restaurant because it is closed. It is possible that this structure may be reopened for something other than restaurant, which would require less additional parking.

5. Despite shared parking opportunities it is reasonable to assume that restaurant parking availability will be limited during the late afternoon and early evening hours on weekdays where restaurant and office hours overlap. Office users peak parking demands are primarily on weekdays, between approximately 8 am – 5 pm, whereas restaurants peak parking demands are primarily on weekends in the evening.
6. Some existing tenants have indicated to staff that up to a dozen parking spaces are lost in the wintertime for snow storage.
7. There are no designated loading areas within the Brookside Commons PUD. Delivery trucks typically park in the drive aisle south of the restaurant. Some existing tenants have indicated to staff that deliveries are common during normal business hours and that it negatively affects traffic circulation within the PUD. There may be an opportunity for restaurant loading to be confined to the stubbed parking lot immediately west of the restaurant to reduce conflicts with motorists traveling to the other businesses within the PUD.

Stormwater & Drainage

1. Robinson Engineering has performed a cursory review of the project. Due to the small amount of impervious surface added to the site (324 SF), final engineering may be performed at the time of permitting.
2. According to the National Wetlands Inventory maps, there are no wetlands or floodplains on the subject property.

Landscaping

1. The enclosure of the patio will not affect any existing landscaping. The proposed 324 square foot new outdoor patio will result in the loss of a row of shrubs (see attached pictures). The representative has stated that no trees or any other landscaping would be removed as part of the project.
2. The site is heavily landscaped between the building and Route 30, including around the existing detention pond on the north side of the building.

Other

1. Although the project will require a Final Plat of Resubdivision to combine the underlying lots, a proposed plat has not been provided at this time. Should the Major PUD change be approved by the Village Board, the applicant would then submit a Plat of Resubdivision, which would require review by the Plan Commission and approval by the Village Board, prior to the issuance of any building permits.
2. The proposed plans were forwarded to the Utility and Building departments and the Frankfort Fire District. These departments have not indicated any concerns with the proposed plans.
3. The existing bathroom facilities are able to accommodate the proposed building addition/enclosure as well as the new outdoor patio.

Standards for Planned Unit Developments

For reference during the public hearing, Article 3, Section F of the Village of Frankfort Zoning Ordinance refers to Planned Unit Developments. Part 4 of said Section F refers to the review standards that must be considered:

In granting or withholding approval of Preliminary Plans and Final Plans, the Plan Commission and the Village Board shall consider the extent to which the application fulfills the requirements of this Ordinance and the following standards:

- a. The plan is designed to protect the public health, welfare, and safety.
- b. The proposed development does not cause substantial injury to the value of other property in the immediate area.
- c. The plan provides for protection of the aesthetic and function of the natural environment, which shall include, but not be limited to, flood plains, streams, creeks, lakes, ponds, wetlands, soil and geologic characteristics, air quality, vegetation, woodlands, and steep slopes.
- d. The plan provides for and ensures the preservation of adequate recreational amenities and common open spaces.
- e. Residential use areas may provide a variety of housing types to achieve a balanced neighborhood.
- f. The planned unit development provides land area to accommodate the cultural, educational, recreational, and other public and quasi-public activities to serve the needs of the residents thereof.
- g. The proposed development provide for the orderly and logical arrangement of all land uses with respect to each other and to the entire Village.

Special Use Request (PUD)

The following findings of fact are used to justify the merits of a special use permit request.

Findings of Fact:

1. No special use shall be recommended by the Plan Commission, unless such Commission shall find:
2. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
6. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

Affirmative Motion _____

1. Recommend to the Village Board to approve the Major PUD Change, in accordance with the reviewed plans and public testimony, conditioned on final engineering approval and that the restaurant shall not open before 3 pm, everyday.

Draft

Staff added that the Federalist style of architecture was characterized by red brick, dark shingles, and roof dormers. Staff then asked the Plan Commission if they were alright with moving away from that design somewhat.

Chair Rigoni responded that she was, depending on what the next set of submitted designs showed.

Commissioner Hogan said the ground-level elevations showed a long, empty roofline, and that he would like to see changes to it to make it less boring.

D. Workshop: 10235 W. Lincoln Highway – Opa! Addition

Gruba summarized the case.

Chair Rigoni asked the applicant to approach the podium.

Steve Francis, the architect for the project, approached the podium. He stated that they were looking to enclose the patio so they could provide additional seating during the winter or other periods of inclement weather. The addition would match with the existing materials. The existing wall sign would move forward and remain in relatively the same location: on the gable facing Lincoln Highway. There would also be some minor changes to the exterior brickwork to accommodate the large changes.

Chair Rigoni asked the members of the Plan Commission if they had any questions or comments about the act of enclosing the patio space.

Commissioner Hogan agreed that the restaurant needed more seating and asked if more seats would be added within the existing outdoor patio footprint.

The architect responded the reason for the addition was to keep existing space available despite weather conditions, and that the overall amount of seating within the patio footprint could not increase beyond what it is today.

Commissioner Jakubowski agreed that the addition made sense. He saw no problem with the use.

Commissioner Hogan asked if there would be any changes to square footage or if the existing exterior wall would be removed.

The architect responded there would be no change to square footage and the current exterior wall would remain.

Commissioner Jakubowski asked whether there would be four additional tables on the proposed outdoor deck area.

The architect said there would be four new tables.

Chair Rigoni asked if the proposed enclosure met the setback requirements from Route 30.

Staff responded they were unsure, but believed they did.

The architect said he would verify that the enclosure did.

Staff noted that the setback from Route 30 could be granted an exception as part of the Major PUD Change.

Chair Rigoni explained that Lincoln Highway had unique setbacks, and that the setback should be met. She also expressed concern over the issue of parking. She noted that the owner of the former Simply Smokin' restaurant space met with the Plan Commission recently to reopen the space as a restaurant with modifications and the Plan Commission insisted that there should be no increase in seating compared to what existed currently. The proposed enclosure and new patio area for Opa would make the parking problem at that location worse. Other uses have been turned down because of this issue in the past. Even though the proposed increase was small, it would be hard to approve the seating. Her only issue with the enclosure was with parking, since it would become a year-round challenge rather than a seasonal one.

Commissioner James asked if it was possible to consider the building enclosure and new outdoor patio separately.

Commissioner Hogan asked staff how many additional spaces would be required for the new seating.

Staff responded that three additional spaces would be required, per the Zoning Ordinance.

Chair Rigoni stated that the main problem was the changing availability of parking spaces throughout the year.

The applicant stated that the restaurant was busiest when most of the other uses in the PUD were closed.

Chair Rigoni recommended that the restaurant opened at 11:00 A.M., while the offices were also open.

The applicant agreed but said that the majority of his business came when the restaurant was the only one using the lot.

Chair Rigoni agreed, but noted that it was always possible for the restaurant to be busy while the offices were open and sharing the existing parking, and so wanted to anticipate that situation. She asked the Commission for comments regarding the architecture.

Commissioner Hogan noted that he had no issue with the proposed architecture, but that the main issue at this site was parking. The Plan Commission had heated discussions about parking concerns in this development in the past, most recently regarding the vacant building to the east.

The applicant asked if this discussion was taking place as a result of the additional tables.

Commissioner Hogan responded that the discussion was taking place because the development which included the restaurant currently did not meet the code requirements.

RECEIVED 6.2.22

... PLAT OF SURVEY ...

Legal Description: Parcel 10235

Lots 21, 22 and 23 (except the East 6.13 feet thereof) in Brookside Commons P.U.D., being a Subdivision of the West Half of the Southwest Quarter of Section 21, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded November 25, 1997 on Document No. R97-104659 in Will County, Illinois;

AND

That part of Lot 25 in Brookside Commons P.U.D., being a Subdivision of the West Half of the Southwest Quarter of Section 21, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded November 25, 1997 on Document No. R97-104659 in Will County, Illinois, being described as follows: Commencing at the Northwest corner of Lot 23 in said Brookside Commons P.U.D.; thence North 89°55'43" East 6.00 feet along the North line of said Lot 23 to the Point of Beginning; thence North 00°04'17" West 3.00 feet; thence North 89°55'43" East 37.00 feet; thence South 00°04'17" East 3.00 feet to the North line of said Lot 23; thence South 89°55'43" West 37.00 feet along said North line to the Point of Beginning, in Will County, Illinois.

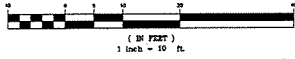
AND ALSO

That part of said Lot 25 in Brookside Commons P.U.D., described as follows: Beginning at the Southwest corner of Lot 21 in said Brookside Commons P.U.D.; thence South 89°55'43" West 6.00 feet; thence North 00°04'17" West 51.00 feet; thence North 89°55'43" East 6.00 feet to the West line of Lot 23 in said Brookside Commons P.U.D.; thence South 00°04'17" East 51.00 feet along the West line of Lots 23, 22 and 21 in said Brookside Commons P.U.D., to the Point of Beginning, in Will County, Illinois.

NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL

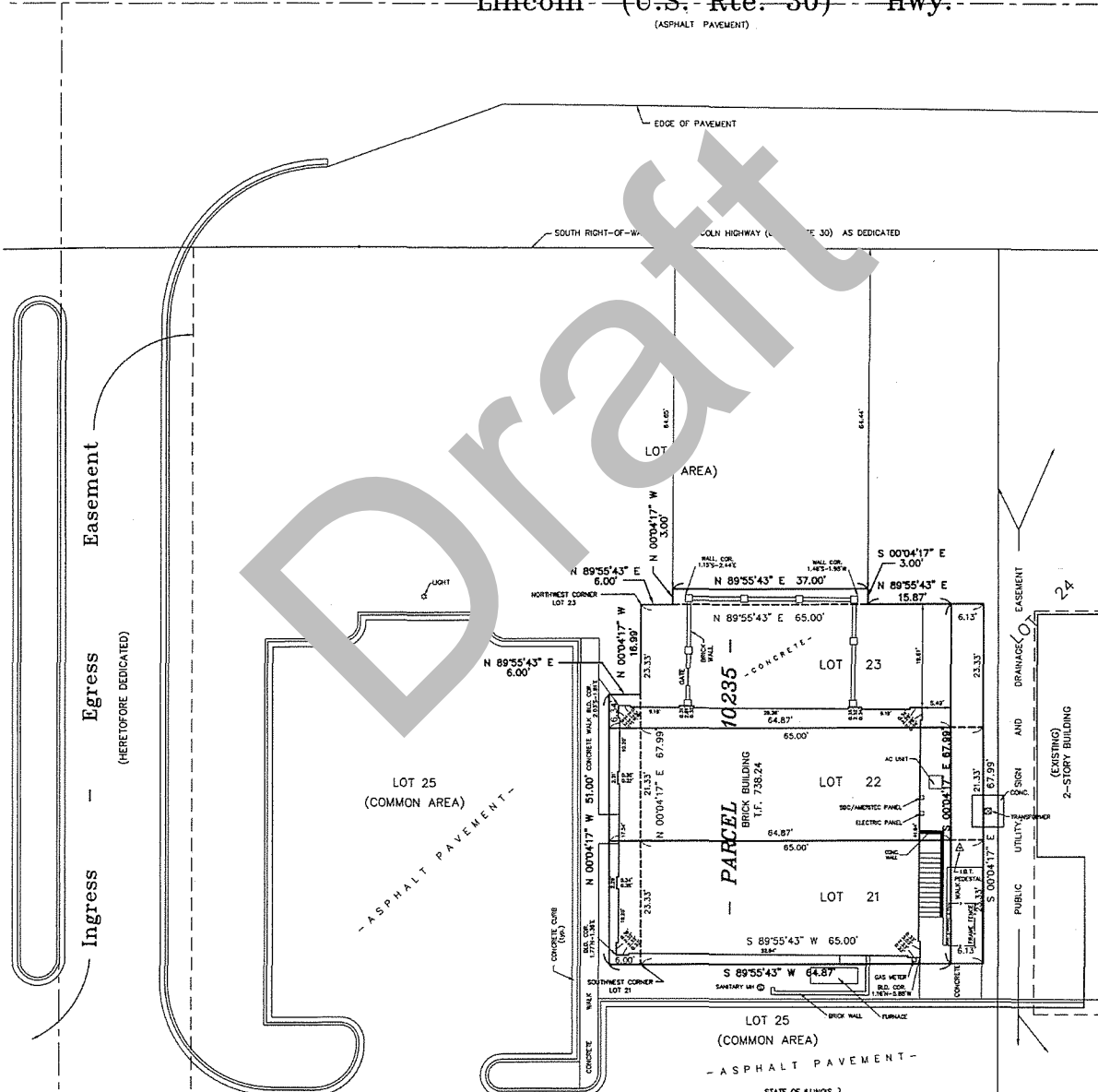


GRAPHIC SCALE



Lincoln (U.S. Rte. 30) Hwy.

(ASPHALT PAVEMENT)



BENCHMARK:

Top of Northwest flange bolt on hydrant
West side of Washington Parkway on South
side of Johnson Avenue.

Elevation: 738.65

STATE OF ILLINOIS }
COUNTY OF WILL }

JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY
HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE
PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID
SURVEY, ALL DIMENSIONS IN FEET AND DECIMAL PARTS THEREOF.
FRANKFORT, ILLINOIS, JUNE 2, 2004. A.D. 2004.
JOSEPH A. SCHUDT & ASSOCIATES (184-001172)

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3148 (exp. 11-30-04)



DATE: 1-10-04
SCALE: AS SHOWN
DRAWN BY: JAS/MSR
CHECKED BY: JAS
SHEET: 1 OF 1
JOB NO.: 9888-241U

PLAT OF SURVEY
BROOKSIDE COMMONS P.U.D.
FRANKFORT, ILLINOIS 60423

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19350 S. HARLEM AVENUE FRANKFORT, IL 60423
PHONE: 708-720-1000 FAX: 708-720-1065
e-mail: survs@joseng.com http://www.joseng.com
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

Chair Rigoni added that in the past, the Plan Commission had not considered parking when discussing outdoor seating spaces, but that the enclosure of the outdoor seating meant that parking became a consideration.

Commissioner Jakubowski noted that there were options to make outdoor seating viable during the winter months that did not involve enclosing spaces, and that they would also result in parking challenges.

Staff noted that regarding the front yard setback of the building, the proposed building addition would require an exception from the regulation as part of the request for a Major Change to the Planned Unit Development. The existing 150-foot front yard setback regulation was adopted in 2002, which was after the building was built, and therefore made the existing structure legally nonconforming.

Chair Rigoni recalled that the setback regulation in question was put in place to allow for Lincoln Highway to be expanded in the future. She asked if the other members of the Plan Commission were willing to move forward.

Commissioner Hogan said that he was, but that parking needed to be addressed.

Chair Rigoni asked the applicant if there was an architectural reason for the change in materials under the front gable, particularly for the proposed cement paneling within the pediment.

The architect responded there was, but that changing the proposed design to match the existing brick facade was not a problem.

Chair Rigoni stated her preference for brick since the proposed materials do not age well, as seen on other properties in the Village.

E. Public Comment

There were none.

F. Village Board & Committee Updates

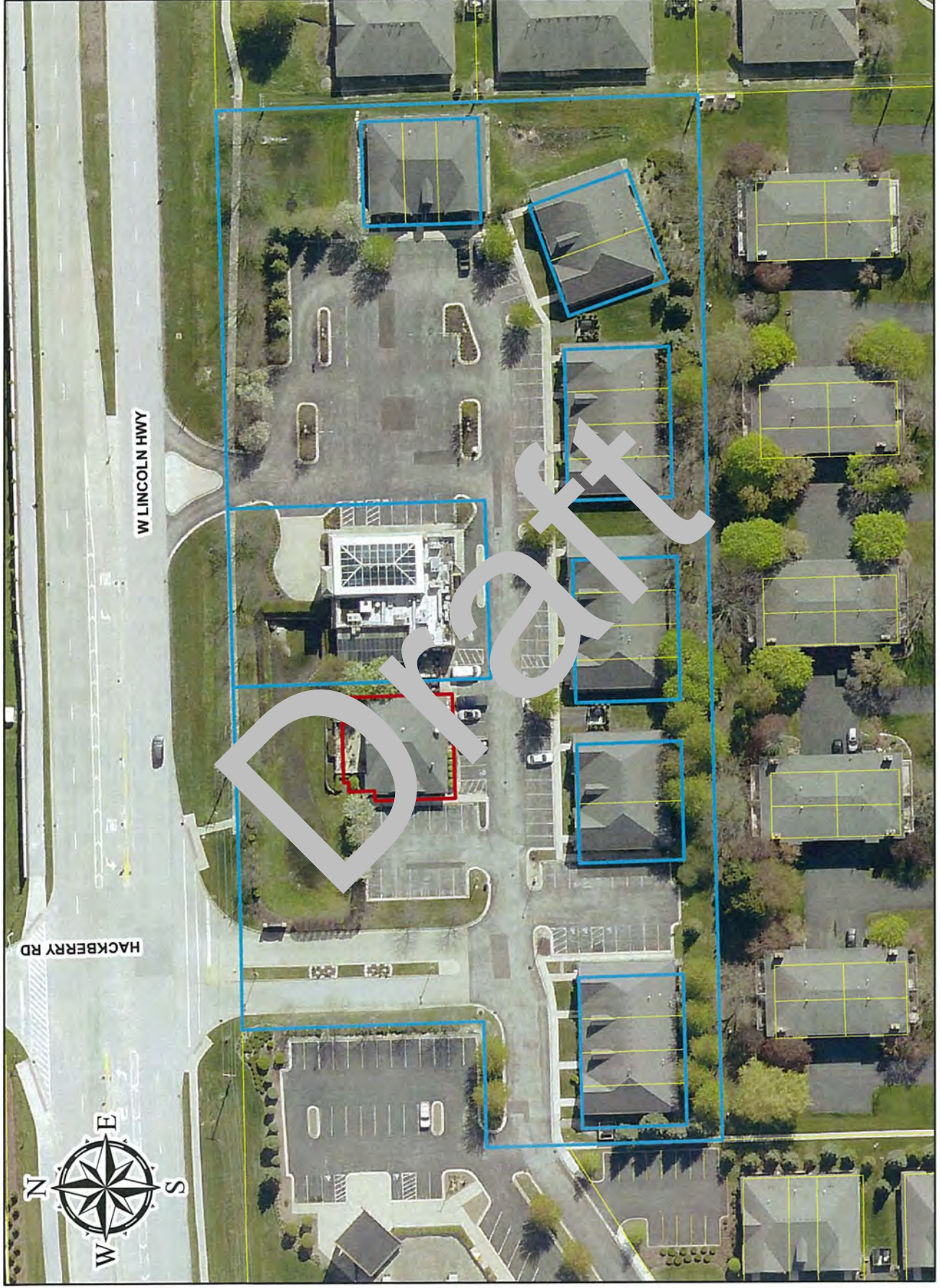
Schwarz noted that the following matters that previously came before the PC/ZBA were approved by the Village Board at its meeting on July 5:

- Chase Bank Service/Utility Areas Variance at 20810 S. La Grange Road – the ordinance was approved.

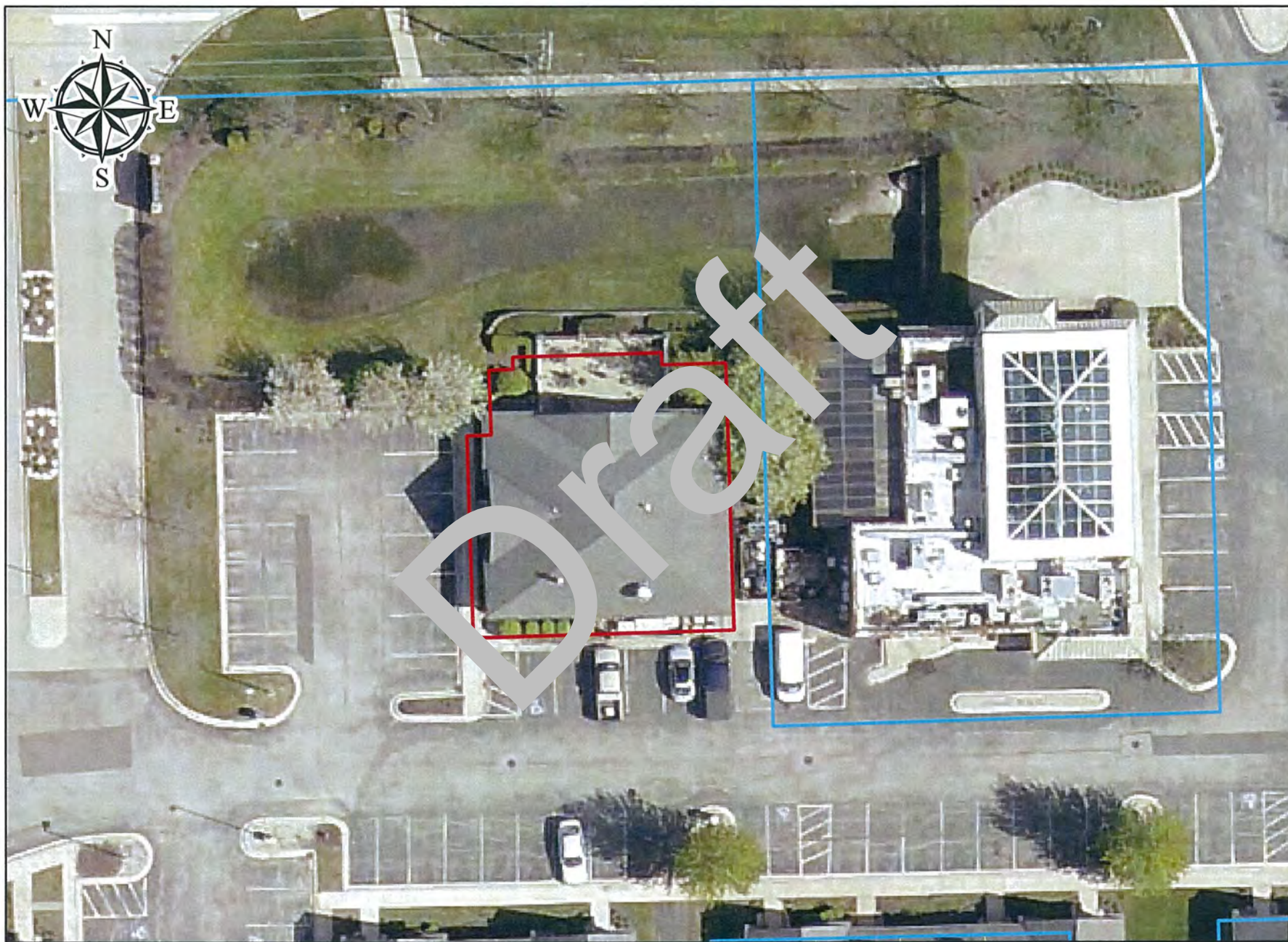
In addition, at the July 13 meeting of the Committee-of-the-Whole, staff was authorized to research and draft regulations for electric vehicle charging stations. Schwarz noted that some charging stations already existed in the Village, but there were no regulations for them. Certain designs for charging stations included advertisement components which do not comply with the Village's Sign Ordinance. Some preliminary research had been done, but the Plan Commission should expect draft regulations to be forthcoming.

Commissioner Hogan noted that electric vehicle charging was cheap, so it was important to be ahead of the curve.

10235 W. Lincoln Highway - Opa addition (Brookside Commons PUD)

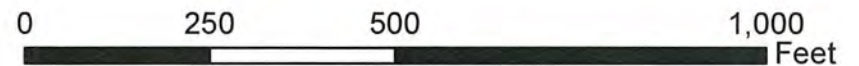
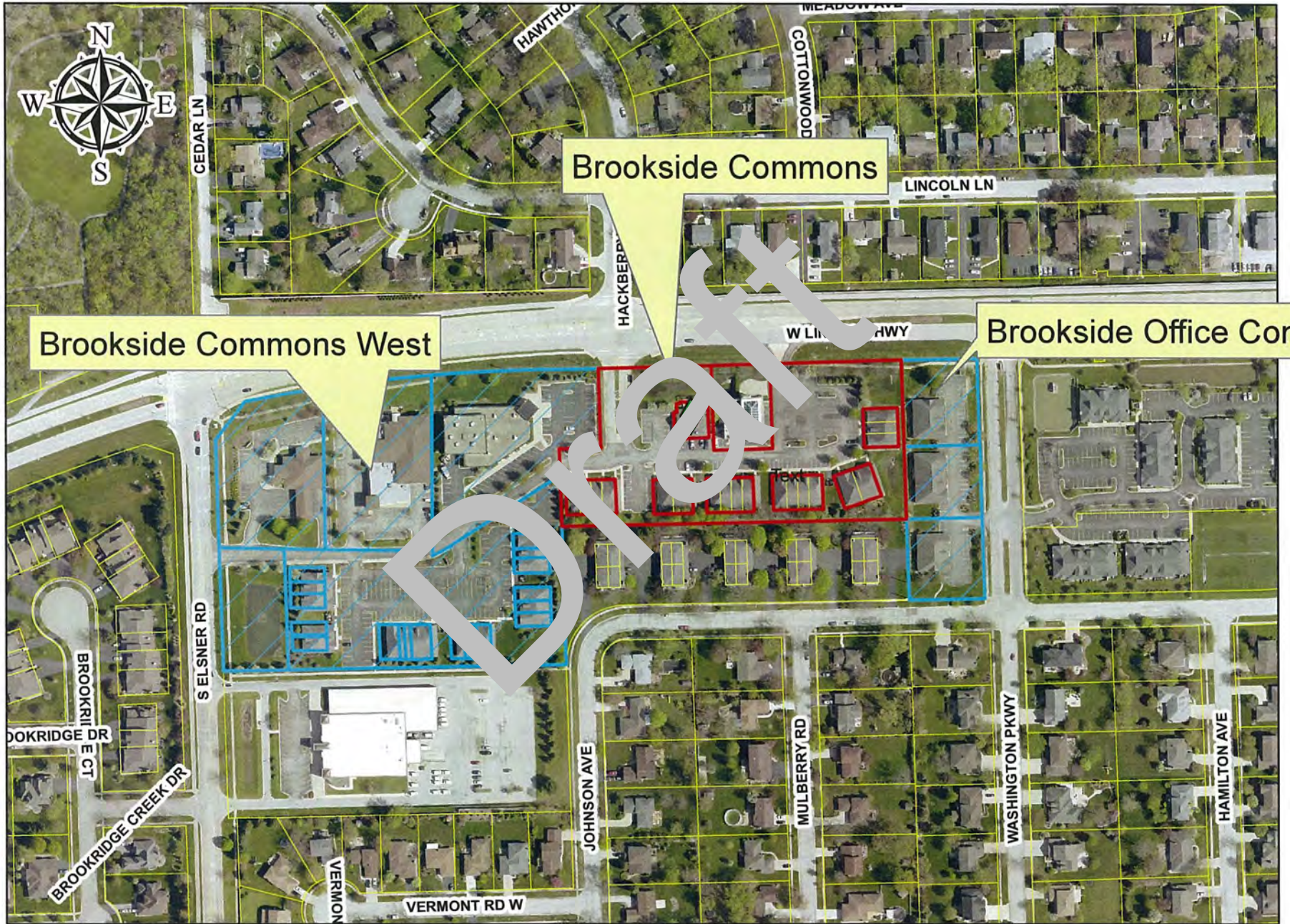


10235 W. Lincoln Highway - Opa addition (Brookside Commons PUD)



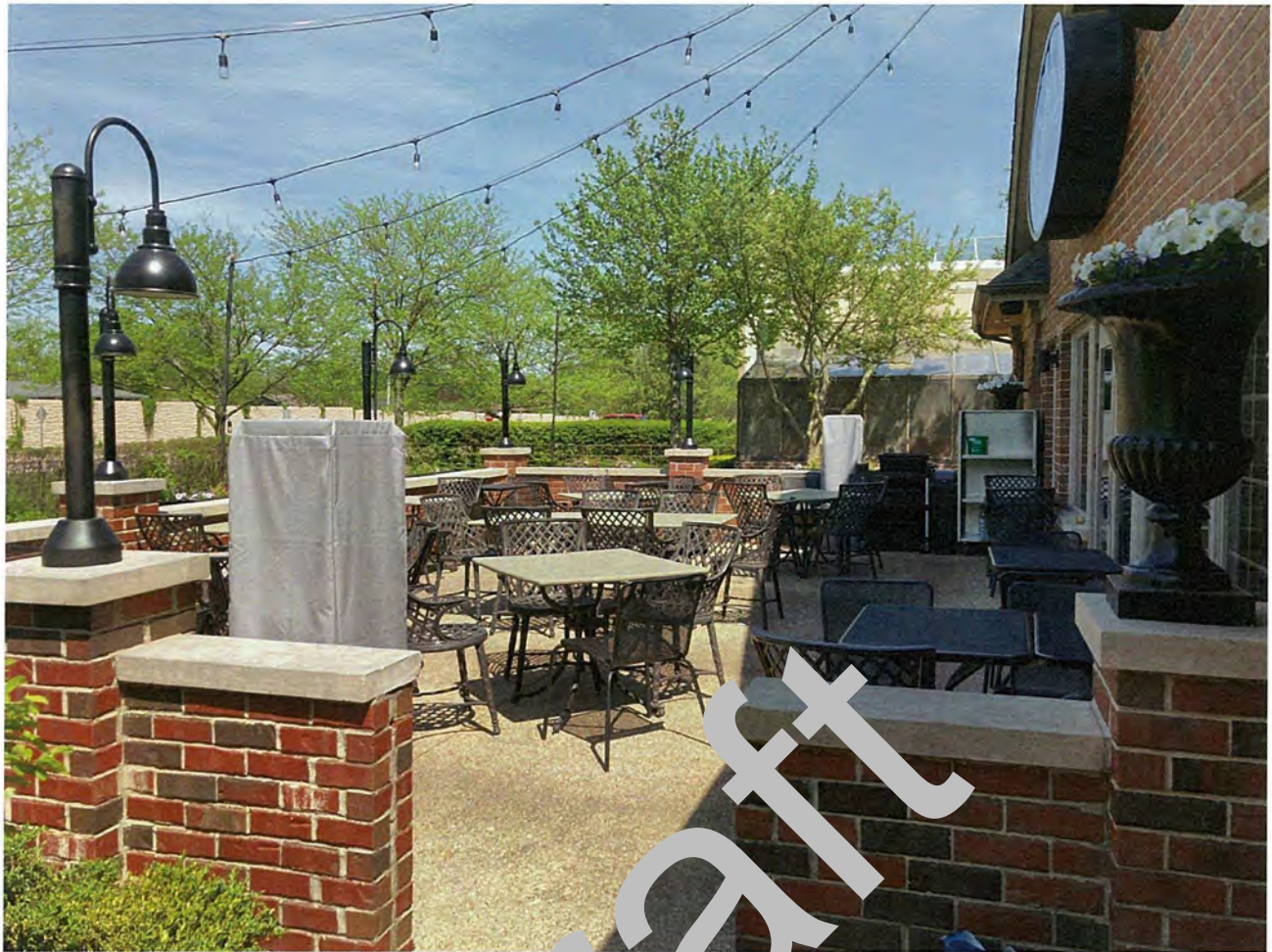
0 25 50 100 Feet

10235 W. Lincoln Highway - Opa addition (Brookside Commons PUD)















PROPOSED PARKING

Address	Name	Use Classification (Parking)	GFA (approx)	Employees	Exam Rooms	Parking required
10171	Frankfort Implant Detistry	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466	6	4	18
10175	Brookside Dental	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466			18
10179	Planet Color	Personal Service (Salon): 1 space per 200 SF GFA, plus 1 space for each employee	1,466	6		14
10181	Pain Management Institute	Professional office: 1 space per 200 SF GFA	2,200			11
10189	Midwest Anti-aging	Professional office: 1 space per 200 SF GFA	2,200			11
10197	CEI Marketing Communications	Business office: 1 space per 200 SF GFA	1,400			7
10201	Association Professional Counseling	Professional office: 1 space per 200 SF GFA	1,400			7
10205	Logiscial Claims Solutions	Business office: 1 space per 200 SF GFA	1,400			7
10209	ZPS Psychiatric Services	Professional office: 1 space per 200 SF GFA	1,400			7
10217	Platt Counseling	Professional office: 1 space per 200 SF GFA	1,400			7
10221	Area Marketing & Promotions	Business office: 1 space per 200 SF GFA	1,400			7
10225	Family Medicine	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,400	4	3	15
10229	Chiropractic	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,400	2	4	14
10237	Ameriprise Financial	Business office: 1 space per 200 SF GFA	2,250			12
10241	Partners in Oral Surgery	Health Clinic: 3 spaces per exam room plus 1 space for each employee	2,250	7	4	19
10257	Atlas Wealth Management	Business office: 1 space per 200 SF GFA	1,450			8
10261	Ameriprise Financial	Business office: 1 space per 200 SF GFA	1,450			8
10265	Synchronicity Event Marketing	Business office: 1 space per 200 SF GFA	1,450			8
10269	Lott Management, LLC	Business office: 1 space per 200 SF GFA	1,450			8
10235	OPA!	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	3,669	8		45
10211	Former Simply Smokin' (closed)	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	5,000			0
Total						251

Available parking: 125 spaces, including 7 ADA spaces

EXISTING PARKING

Address	Name	Use Classification (Parking)	GFA (approx)	Employees	Exam Rooms	Parking required
10171	Frankfort Implant Detistry	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466	6	4	18
10175	Brookside Dental	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,466			18
10179	Planet Color	Personal Service (Salon): 1 space per 200 SF GFA, plus 1 space for each employee	1,466	6		14
10181	Pain Management Institute	Professional office: 1 space per 200 SF GFA	2,200			11
10189	Midwest Anti-aging	Professional office: 1 space per 200 SF GFA	2,200			11
10197	CEI Marketing Communications	Business office: 1 space per 200 SF GFA	1,400			7
10201	Association Professional Counseling	Professional office: 1 space per 200 SF GFA	1,400			7
10205	Logiscial Claims Solutions	Business office: 1 space per 200 SF GFA	1,400			7
10209	ZPS Psychiatric Services	Professional office: 1 space per 200 SF GFA	1,400			7
10217	Platt Counseling	Professional office: 1 space per 200 SF GFA	1,400			7
10221	Area Marketing & Promotions	Business office: 1 space per 200 SF GFA	1,400			7
10225	Family Medicine	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,400	4	3	15
10229	Chiropractic	Health Clinic: 3 spaces per exam room plus 1 space for each employee	1,400	2	4	14
10237	Ameriprise Financial	Business office: 1 space per 200 SF GFA	2,250			12
10241	Partners in Oral Surgery	Health Clinic: 3 spaces per exam room plus 1 space for each employee	2,250	7	4	19
10257	Atlas Wealth Management	Business office: 1 space per 200 SF GFA	1,450			8
10261	Ameriprise Financial	Business office: 1 space per 200 SF GFA	1,450			8
10265	Synchronicity Event Marketing	Business office: 1 space per 200 SF GFA	1,450			8
10269	Lott Management, LLC	Business office: 1 space per 200 SF GFA	1,450			8
10235	OPA!	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	3,345	8		42
10211	Former Simply Smokin' (closed)	Full-Service restaurant: 1 space per 100 SF GFA plus 1 for each employee	5,000			0
Total						248

Available parking: 125 spaces, including 7 ADA spaces

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By Christopher Gruba at 11:18 am, May 11, 2022

SITE DATA		
LAND AREA	4,493.7 SF	10 AC
BUILDING AREA		
EXISTING	2,675 SF	
PROPOSED	670 SF	
TOTAL	3,345 SF	

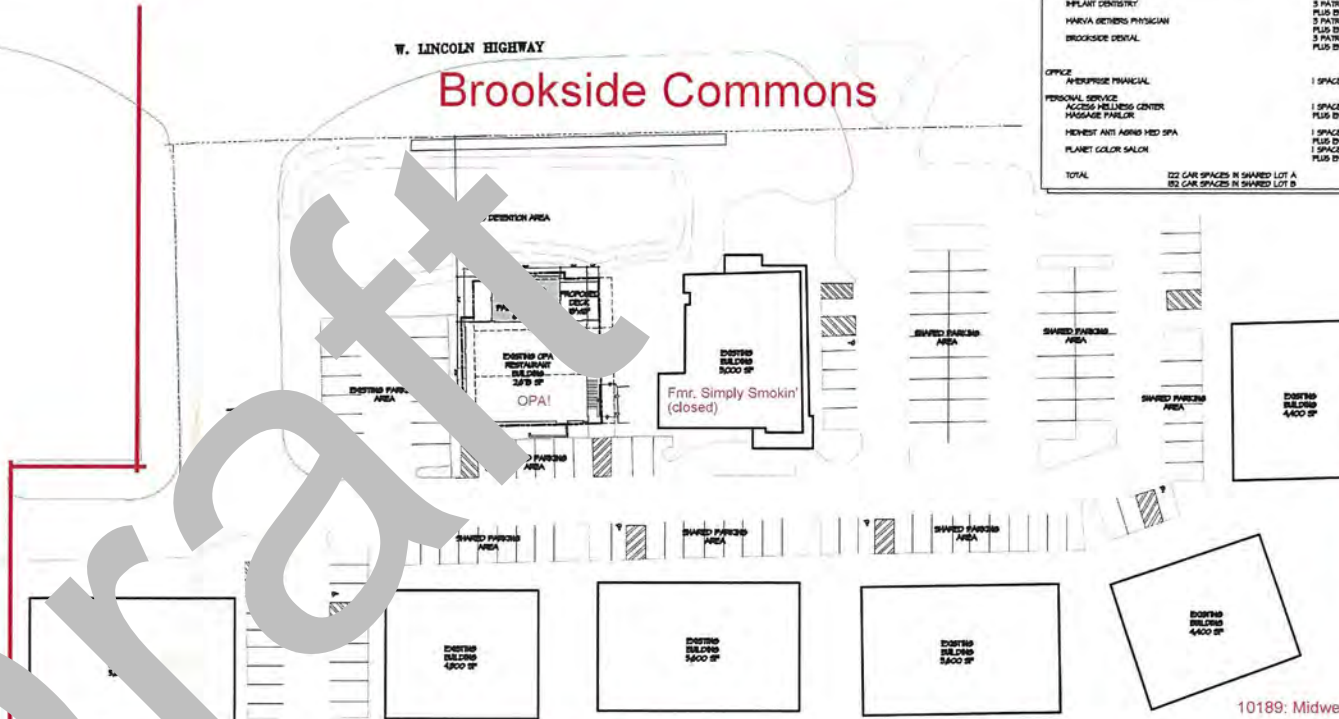
SITE DATA		
LAND AREA	4,493.7 SF	10 AC
BUILDING AREA		
EXISTING	2,675 SF	
PROPOSED	670 SF	
TOTAL	3,345 SF	

SITE DATA BASED ON UNDERLYING B-4 ZONING DISTRICT REQUIREMENTS

	EXISTING	REQUIRED PER B-5 ZONING
PARKING		
RESTAURANT, FULL SERVICE	22 CARS (NEAREST SPACE)	1 SPACE PER 100sqft PLUS EMPLOYEES
OPA RESTAURANT	39 CARS (NEAREST SPACE)	1 SPACE PER 100sqft PLUS EMPLOYEES
CLOSED RESTAURANT		
HEALTH CLINIC		
PARTNERS DENTAL CLINIC 2		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
IMPLANT DENTISTRY		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
MARVA GETHERS PHYSICIAN		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
BROOKSIDE DENTAL		3 PATRON PARKING PER EXAM ROOM PLUS EMPLOYEES
OFFICE		
AMERIPRISE FINANCIAL		1 SPACE PER 200sqft GROSS AREA
PERSONAL SERVICE		
ACCESS WELLNESS CENTER		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
MASSAGE PARLOR		
MIDWEST ANTI AGING MED SPA		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
PLANET COLOR SALON		1 SPACE PER 2005GFT GROSS AREA PLUS EMPLOYEES
TOTAL	122 CAR SPACES IN SHARED LOT A 132 CAR SPACES IN SHARED LOT B	

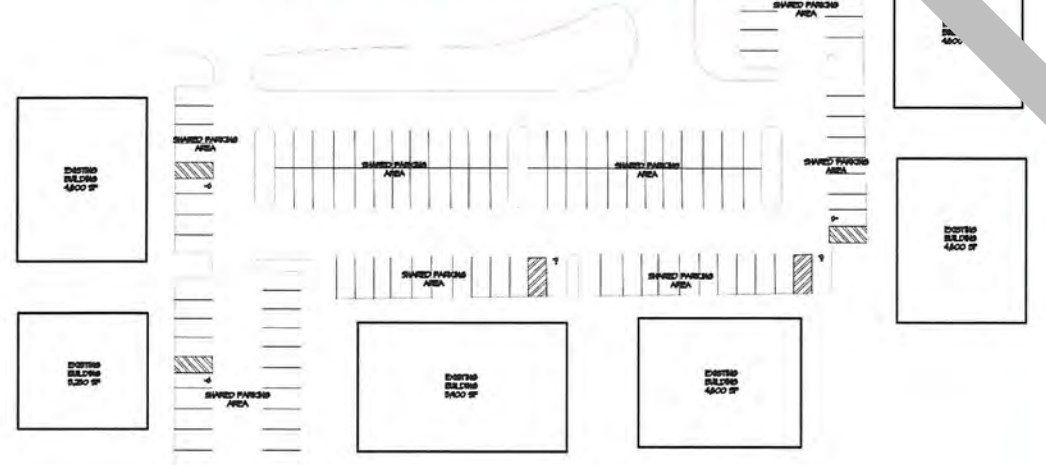
	EXISTING	REQUIRED PER B-5 ZONING
PARKING		
RESTAURANT, FULL SERVICE	22 CARS (NEAREST SPACE)	1 SPACE PER 100sqft PLUS EMPLOYEES
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TOTAL	122 CAR SPACES IN SHARED LOT A 132 CAR SPACES IN SHARED LOT B	

W. LINCOLN HIGHWAY
Brookside Commons



- 10179: Planet Color salon
6 employees
- 10175: Brookside Dental
(closed Wednesdays?)
- 10171: Frankfort Implant Dentistry
6 employees
4 exam rooms

Brookside Comons West



- 10241: Atlas Wealth Management
- 10241: Partners in Oral Surgery
7 employees
4 exam rooms
- 10229: Chiropractic
2 employees
4 exam rooms
- 10209: ZPS Psychiatric Svcs.
- 10205: Logistical Claims Solutions
- 10201: Association Professional Counseling
- 10197: CEI Marketing Communications
- 10237: Ameriprise Financial
- 10225: Family Medicine
4 employees
3 exam rooms
- 10221: Area Marketing & Promotions
- 10217: Platt Counseling
- 10189: Midwest Anti-Aging
- 10181: Pain Management Institute

PROPOSED ADDITION TO
OPA!
MODERN GREEK CUISINE
Frankfort, Illinois



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY, SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

DATE: 2-25-2022
DRAWN BY: SF
FINAL REVIEW

2022-0019
PROJECT NUMBER

2-25-2022
DATE

SF
DRAWN BY: FINAL REVIEW

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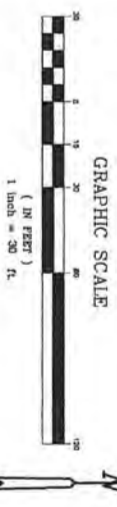
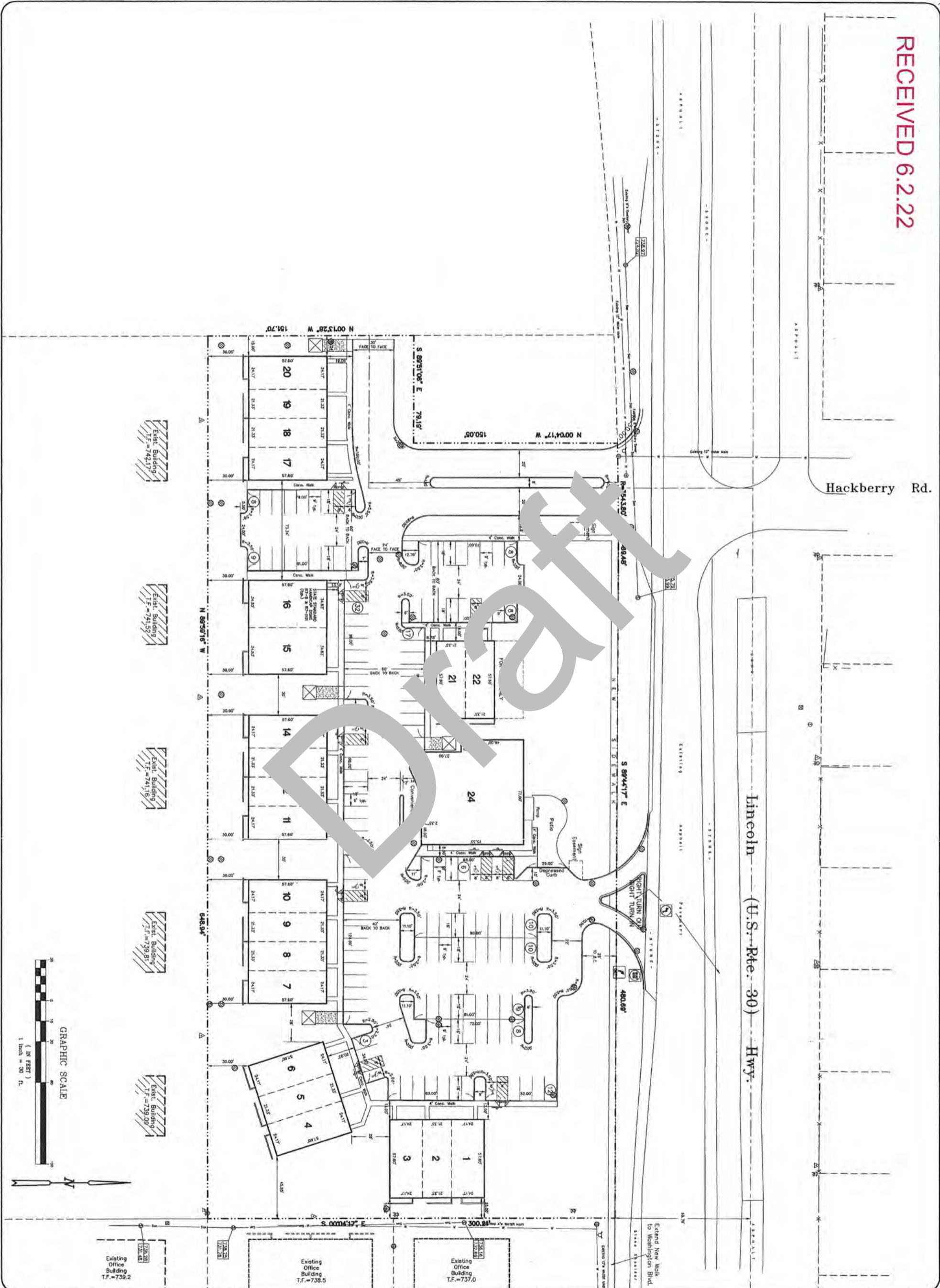
PRELIMINARY SITE PLAN



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SHEET

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Job No.: 96-92
 Date: 12-9-96
 Scale: 1" = 30'
 Disk No.: 969222CU
 Drawn: AAD
 Checked: JAS
 Sheet 2 of 7

BROOKSIDE COMMONS
 Frankfort, Illinois
 Site Geometrics

REVISIONS: 9-26-97 6-8-98
 4-21-97 2-25-98
 8-21-97 6-5-98
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 19350 S. HARLEM AVENUE, FRANKFORT, IL., 60423
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By Christopher Gruba at 3:16 pm, Aug 31, 2022

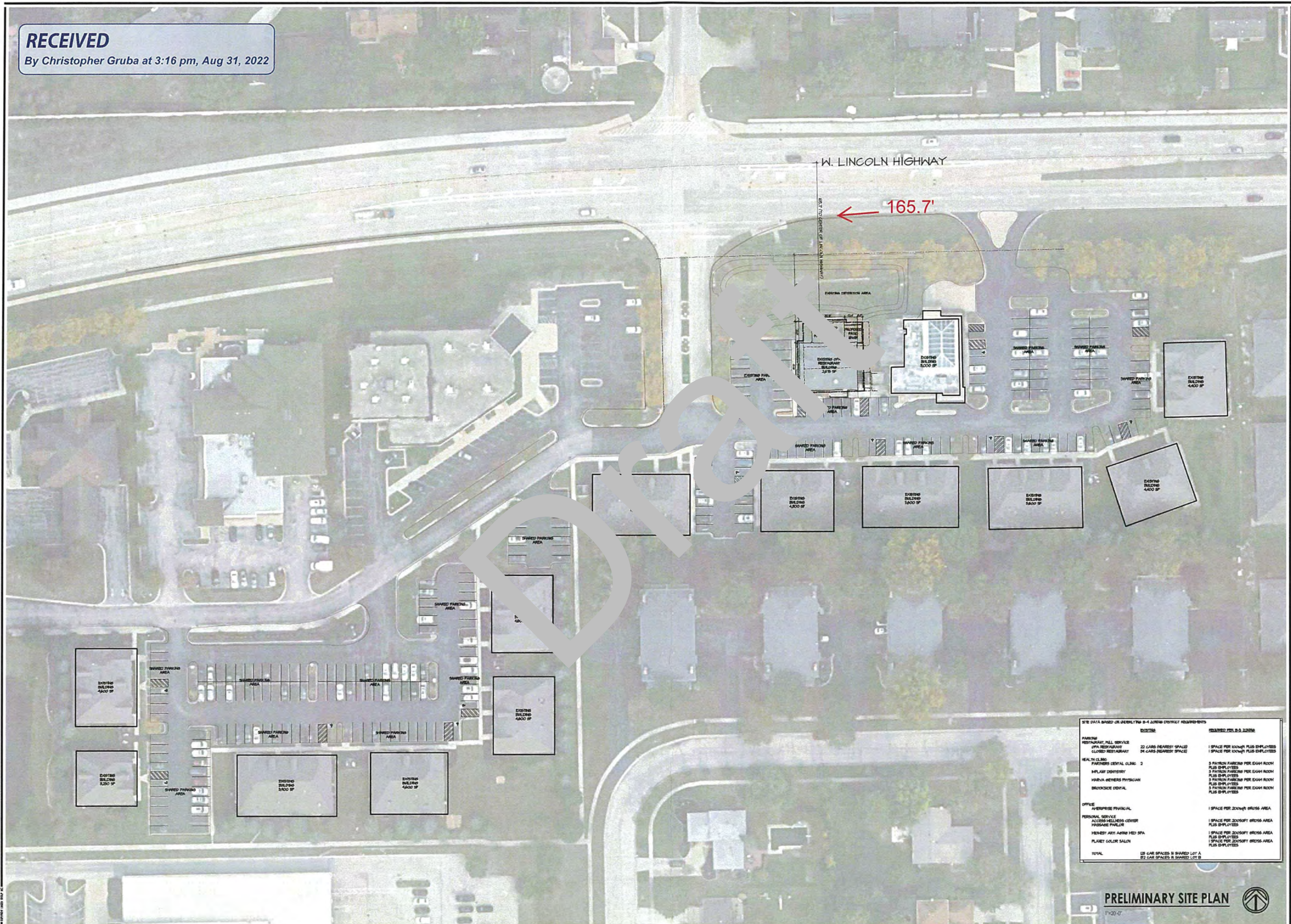


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LANDSCAPE ARCHITECTURE

10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINCENROU.PNC.COM

PROPOSED ADDITION TO
OPA!
MODERN GREEK CUISINE
Frankfort, Illinois



DATE: 6/29/2022 SF: 8/30/2022

2022-0019
PROJECT NUMBER
2-25-2022
DATE

DESCRIPTION: REVISED CALCULATIONS
REVISED SUBMITTAL EXHIBITS

USE	REQUIREMENT	REQUIREMENT PER S.F. ZONING
PARKING	RESTAURANT, FULL SERVICE	20 CARS NEAREST SPACE
	OR A RESTAURANT	1 SPACE PER 1000 ^{1/2} PLUS EMPLOYEES
	CLOSED RESTAURANT	1 SPACE PER 1000 ^{1/2} PLUS EMPLOYEES
HEALTH CARE	PHARMACY/CEUTICAL CLINIC - 2	5 PATRON PARKING PER EACH ROOM PLUS EMPLOYEES
	PHARMACY	3 PATRON PARKING PER EACH ROOM PLUS EMPLOYEES
	DIAGNOSTIC CENTER	3 PATRON PARKING PER EACH ROOM PLUS EMPLOYEES
	HANDICAPPED PHYSICIAN	3 PATRON PARKING PER EACH ROOM PLUS EMPLOYEES
	OB/GYN CLINIC	3 PATRON PARKING PER EACH ROOM PLUS EMPLOYEES
OFFICE	ADVERSE FINANCIAL	1 SPACE PER 2000 ^{1/2} GROSS AREA
	PERSONAL SERVICE	1 SPACE PER 2000 ^{1/2} GROSS AREA PLUS EMPLOYEES
	ACCESSIBILITY CENTER	1 SPACE PER 2000 ^{1/2} GROSS AREA PLUS EMPLOYEES
	HAIR/SKIN PARLOR	1 SPACE PER 2000 ^{1/2} GROSS AREA PLUS EMPLOYEES
	HENRY ART AND MED SPA	1 SPACE PER 2000 ^{1/2} GROSS AREA PLUS EMPLOYEES
	PLANET COLOR SALON	1 SPACE PER 2000 ^{1/2} GROSS AREA PLUS EMPLOYEES
TOTAL		82 CAR SPACES IN SHARED LOT A 82 CAR SPACES IN SHARED LOT B

PRELIMINARY SITE PLAN



SHEET NAME
S-1.0
SHEET

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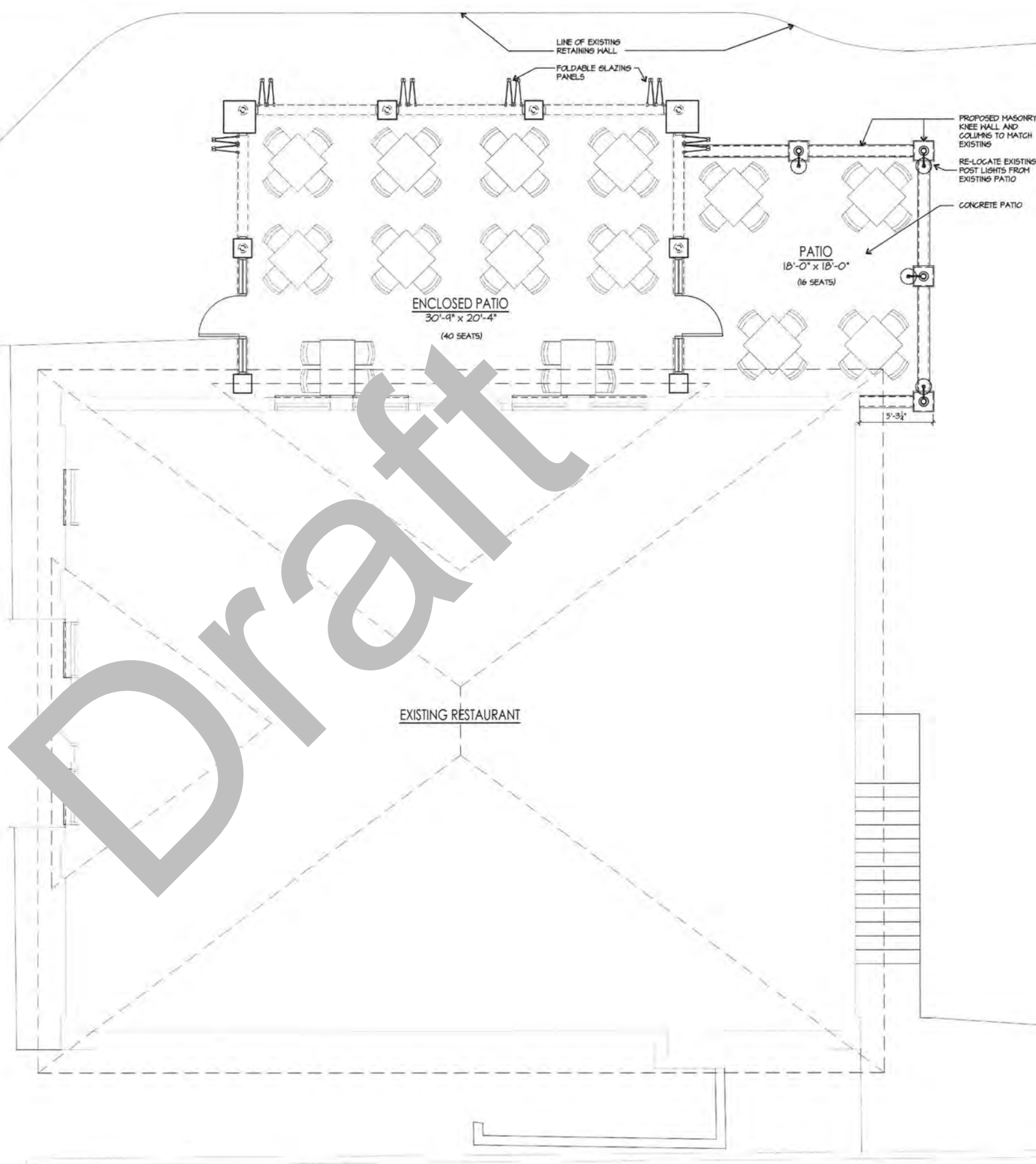
By Christopher Gruba at 3:16 pm, Aug 31, 2022



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INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
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PROPOSED ADDITION TO
OPA!
MODERN GREEK CUISINE
Frankfort, Illinois



Draft

EXISTING RESTAURANT

ENCLOSED PATIO
30'-4" x 20'-4"
(40 SEATS)

PATIO
18'-0" x 18'-0"
(16 SEATS)

PROPOSED ENCLOSED PATIO PLAN



1/4" = 1' 0"

DATE	DESCRIPTION
8-25-2022	SF
8-25-2022	REVIEWED CALCULATIONS
8-25-2022	REVIEWED SUBMITTAL EXHIBITS

2022-0019

PROJECT NUMBER

2-25-2022

DATE

SF

DRAWN BY FINAL REVIEW

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SHEET NAME

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MAYOR'S REPORT

OCTOBER 3, 2022

1. Register Online for Scary at the Prairie 5K Costume Run & Spooky Sprint

Run, walk, creep or crawl in your favorite Halloween Costume through Prairie Park for the “Scary at the Prairie 5K and Spooky Sprint” event in downtown Frankfort on Saturday, October 22. The 100 Yard Dash (5 & under) starts at 10:30 A.M.; 1 Mile Fun Run (10 & under) starts at 10:40 AM; and 5K Run/Walk (all ages) starts at 11:00 A.M. Participants are encouraged to stay after the race and enjoy refreshments and entertainment at Breidert Green. Details and on-line registration are available on the Village website, www.frankfortil.org.

2. Village Branch Collection to End in Mid-October

The last scheduled day for Village provided branch pick-up service is October 10. NuWay Disposal will continue yard waste and branch pick-up through November. Bundles and yard waste bags must have a yard waste sticker affixed to them for pick-up by Nu-Way.

The Village will provide seven free curbside leaf collections this year. Leaves will be picked up once a week from October 17 through November 28.

3. Country Market Continues Through October 24

The Frankfort Country Market continues every Sunday in downtown Frankfort, from 9:00 A.M. to 1:00 P.M. through October 30.

4. “Trick or Treat” Hours

“Trick or Treat” hours for the Village are 4:00 P.M. to 7:00 P.M. on Monday, October 31.