

**VILLAGE OF FRANKFORT – REGULAR MEETING
AGENDA**

**Monday, June 20, 2022
7:00 P.M.**

**Village Administration Building
Village Board Room
432 W. Nebraska Street, Frankfort, IL**

1. Call to Order & Roll Call
2. Pledge of Allegiance

3. Unanimous Consent Agenda

All items on the Consent Agenda are considered to be routine in nature and will be enacted in one motion. There will be no separate discussion of these items unless a board member so requests, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Motion: Motion to approve the Consent Agenda as presented.

A. Approval of Minutes

1. Special Meeting (June 16, 2022)

B. Approval of Bills/Payroll

C. Committee of the Whole Report

1. Frankfort Square Water Tower Rehabilitation and Repainting Project: Contract Award - Resolution
2. 2022 Roadway Maintenance Program: Contract Award - Resolution

D. Plan Commission Report Summary

1. Homestead Center: SW Corner of Wolf and Laraway Roads – Final Plat Approval
2. LaMarche Residence Building Materials Variance: 170 Vail Drive - Ordinance (Waive 1st and 2nd Readings)

4. Mayor's Report
5. Board Comments
6. Village Administrator's Report
7. Police Department Report
8. Attorney's Report
9. Other Business
10. Public Comments
11. Adjournment

VILLAGE OF
FRANKFORT
EST. 1855

**MINUTES OF THE FRANKFORT VILLAGE BOARD SPECIAL MEETING
JUNE 16, 2022**

Mayor Keith Ogle called the special meeting of the Frankfort Village Board to order on Thursday, June 16, 2022, at 5:01 P.M.

ROLL CALL

Village Clerk Katie Schubert called the roll. In attendance were Mayor Keith Ogle, Clerk Katie Schubert, Trustees Adam Borrelli, Margaret Farina, Jessica Petrow, Daniel Rossi, and Gene Savaria. Also in attendance were Attorney George Mahoney, Administrator Rob Piscia, and Asst. Administrator John Burica.

Trustee Michael Leddin arrived at 5:04 P.M., following approval of the minutes.

APPROVAL OF MINUTES (June 6, 2022)

Trustee Farina made a motion (#1), seconded by Trustee Savaria, to approve the minutes of the regular Village Board meeting of June 6, 2022, as presented. A voice vote was taken. All were in favor. The motion carried.

SALE OF SURPLUS REAL ESTATE: PART OF 7 N. WHITE STREET – ORDINANCE

Mayor Ogle reported the Board of Trustees voted to call a special meeting for Thursday, June 16, 2022, at its Committee of the Whole meeting held on Wednesday, June 8, 2022, for the purpose of consideration of an Ordinance Authorizing the Sale of Surplus Real Estate: Part of 7 N. White Street. Public notice of the special meeting was posted on Tuesday, June 14, 2022, at the Village Administration Building, 432 W. Nebraska Street and on the Village website, along with the agenda and supporting documents pertaining to the proposed Ordinance.

Mayor Ogle reported the Village of Frankfort recently solicited purchase proposals for Village-owned property located at 2 Smith Street. He further reported the Village owns other properties in the downtown and is looking at completing more than one of these projects. He stated an ordinance authorizing the sale of a ±0.24-acre portion of 7 N. White Street, currently improved as the Prairie Park parking lot, comes before the corporate authorities for its consideration. The corporate authorities will vote to authorize the sale of the property and seek bids for purchase proposals to redevelop the property with commercial uses. Mayor Ogle noted that this evening's vote does not authorize a purchase and sale agreement. He further noted the corporate authorities may accept any contract proposal determined by them to be in the best interests of the Village and reserve the right to reject any and all proposals to purchase the property.

Trustee Savaria made a motion (#2), seconded by Trustee Petrow, to waive the First and Second Readings, and pass AN ORDINANCE (NO. 3357) AUTHORIZING THE SALE OF SURPLUS REAL ESTATE FOR THE PROPERTY COMMONLY KNOWN AS PART OF 7 NORTH WHITE STREET, FRANKFORT, WILL COUNTY, ILLINOIS.

Mayor Ogle invited trustee comment on the proposed ordinance prior to a vote being taken. Trustee Petrow requested Exhibit C, Item #5, Incentive Request(s), Waiver of Parking Contribution Fee, be removed from the proposed ordinance. It was the consensus of the corporate authorities to strike the waiver of parking contribution fee listed on Exhibit C.

Clerk Schubert called the roll. Ayes: Mayor Ogle; Trustees Borrelli, Farina, Leddin, Petrow, Rossi, and Savaria. Nays: None. Absent: None. The motion carried.

PUBLIC COMMENT

No public comments were addressed to the Village Board.

ADJOURNMENT

Hearing no further business, Trustee Farina made a motion (#3), seconded by Trustee Savaria, to adjourn the special board meeting of Thursday, June 16, 2022. A voice vote was taken. All were in favor. The motion carried. The meeting adjourned at 5:08 P.M.

Katie Schubert
Village Clerk

As Presented As Amended

Keith Ogle, Village President

Katie Schubert, Village Clerk

FRANKFORT FINANCIAL SYSTEM
06/17/2022 10:18:56

Schedule of Bills

VILLAGE OF FRANKFORT
GL060S-V08.17 RECAPPAGE
GL540R

FUND RECAP:

FUND	DESCRIPTION	JUNE 20, 2022 DISBURSEMENTS
01	GENERAL CORPORATE FUND	272,205.90
31	CAPITAL DEVELOPMENT FUND	57,074.65
62	SEWER & WATER OPER. & MAINT.	129,095.01
68	SEWER & WATER EXTENSION FUND	47,731.75
TOTAL ALL FUNDS		506,107.31

DRAFT

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
AIRGAS USA LLC	SMALL CYLINDER RENTAL	137.77	LEASE RENTAL	62.492.4661		9988624304		345 00001
AIRY'S INC	WTRMN BRK RPR-HRLM/ABERD	6,759.84	R&M - WATER LINES	62.492.4261		26408		345 00053
AIS	@FY@REMOTE SUPPORT-FEB22	369.69	SOFTWARE SUPPORT	01.412.4753		75350		344 00001
	@FY@REMOTE SUPPORT-FEB22	369.93	SOFTWARE SUPPORT	01.413.4753		75350		344 00001
	@FY@REMOTE SUPPORT-FEB22	369.93	SOFTWARE SUPPORT	01.441.4753		75350		344 00001
	@FY@REMOTE SUPPORT-FEB22	369.93	SOFTWARE SUPPORT	01.442.4753		75350		344 00001
	@FY@REMOTE SUPPORT-FEB22	369.93	SOFTWARE SUPPORT	01.461.4753		75350		344 00001
	@FY@REMOTE SUPPORT-FEB22	369.67	SOFTWARE SUPPORT	62.491.4753		75350		344 00001
	@FY@REMOTE SUPPORT-FEB22	369.67	SOFTWARE SUPPORT	62.492.4753		75350		344 00001
	SONIC WALL GATEWAY	347.41	SOFTWARE SUPPORT	01.412.4753		75449		345 00002
	SONIC WALL GATEWAY	65.17	SOFTWARE SUPPORT	01.413.4753		75449		345 00002
	SONIC WALL GATEWAY	195.28	SOFTWARE SUPPORT	01.441.4753		75449		345 00002
	SONIC WALL GATEWAY	195.28	SOFTWARE SUPPORT	01.442.4753		75449		345 00002
	SONIC WALL GATEWAY	195.28	SOFTWARE SUPPORT	01.461.4753		75449		345 00002
	SONIC WALL GATEWAY	151.83	SOFTWARE SUPPORT	62.491.4753		75449		345 00002
	SONIC WALL GATEWAY	86.90	SOFTWARE SUPPORT	62.492.4753		75449		345 00002
	SONIC WALL GATEWAY	1,150.24	SOFTWARE SUPPORT	01.421.4753		75449		345 00002
		4,976.14	*VENDOR TOTAL					
AKERMAN LLP	@FY@EMPLOYEE MATTER	3,240.00	ATTORNEY FEES	01.421.4321		9762488		344 00003
	@FY@EMPLOYEE MATTER	18,395.50	ATTORNEY FEES	01.421.4321		9762489		344 00002
	@FY@EMPLOYEE MATTER	8,511.86	ATTORNEY FEES	01.421.4321		9780912		344 00005
	@FY@EMPLOYEE MATTER	1,990.69	ATTORNEY FEES	01.421.4321		9780920		344 00004
		32,138.05	*VENDOR TOTAL					
ALSIP NURSERY	FLOWER BASKETS	6,939.58	R&M - PUBLIC GROUNDS	01.441.4216		35843		345 00054
	FLOWERS	4,759.32	R&M - PUBLIC GROUNDS	01.441.4216		35855		345 00055
		11,698.90	*VENDOR TOTAL					
AT&T	432 W NEBRASKA-ALARM	271.79	R&M - BLDG/SITE IMPROVEM	01.441.4211		81546459144146		345 00056
BARCODES INC	CRADLE-ZEBRA PRINTER	472.48	EQUIPMENT & ACCESSORIES	01.421.4791		6842569		345 00008
	POWER SUPPLY-ZEBRA PRINT	338.88	EQUIPMENT & ACCESSORIES	01.421.4791		6843035		345 00009
		811.36	*VENDOR TOTAL					
BILL'S LAWN MAINTENANCE	MNCPL MOWING 5/16	3,730.00	R&M - LAWN MOWING	01.441.4215		172037		345 00010
	MNCPL MOWING 5/23	4,645.00	R&M - LAWN MOWING	01.441.4215		172040		345 00011
	MNCPL MOWING 5/30	4,645.00	R&M - LAWN MOWING	01.441.4215		172042		345 00057
	22737 GRANITE DR	90.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		184138		345 00012
	22759 GRANITE DR	90.00	R&M - WEEDS/PROPERTY MAI	01.442.4235		184138		345 00013
		13,200.00	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
BLACKBURN MANUFACTURING	.5 LOCATOR FLAGS	823.43	OPERATING SUPPLIES	62.491.4761		677172		345 00058
	.5 LOCATOR FLAGS	823.44	OPERATING SUPPLIES	62.492.4761		677172		345 00059
		1,646.87	*VENDOR TOTAL					
BONNEMA CONSTRUCTION	8649 HIGH STONE WAY L105	1,000.00	POOL DEPOSIT	01.000.2322		B218442		345 00191
BRICKL/MICHAEL	20011 AINE DR	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B217590		345 00014
	20011 AINE DR	500.00	CONTRACTOR DEPOSIT	01.000.2323		B217590		345 00015
		1,500.00	*VENDOR TOTAL					
BROWNELLS INC	SLIDE STOP	79.84	FIREARMS SUPPLIES	01.421.4721		2022410150782		345 00016
	TRL-1 HPL	341.98	FIREARMS SUPPLIES	01.421.4721		2022410151832		345 00017
	CHAMBER BLOCKING DEVICE	75.94	FIREARMS SUPPLIES	01.421.4721		2022410170860		345 00018
		497.76	*VENDOR TOTAL					
BS&A SOFTWARE	BS&A SOFTWARE-1ST PMT	23,237.50	INFORMATION TECHNOLOGY	68.491.5155		141618		345 00003
	BS&A SOFTWARE-1ST PMT	46,475.00	INFORMATION TECHNOLOGY	31.477.5155		141618		345 00004
	BS&A SOFTWARE-1ST PMT	23,237.50	INFORMATION TECHNOLOGY	68.492.5155		141618		345 00005
		92,950.00	*VENDOR TOTAL					
BURNS & MCDONNELL ENGINE	@FY@SRF LOAN DISB ASSIST	1,256.75	ENGINEER FEES-W&SEXT	68.491.4351		121765-6		344 00018
CARROLL CONSTRUCTION SUP	HYDRAULIC CEMENT	158.07	R&M - STORM SYSTEM	01.441.4232		FR098921		345 00060
	2 RAIN SUITS	26.87	R&M - UNIFORMS	01.441.4251		FR099068		345 00019
		184.94	*VENDOR TOTAL					
CHICAGO BACKFLOW INC	@FY@RPZ TESTS-RGNL	840.00	R&M - TREATMENT PLANT	62.491.4229		371176		344 00017
	BACKFLOW INSP-VH	630.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		372365		345 00061
		1,470.00	*VENDOR TOTAL					
CHICAGO TRIBUNE	19948 LILY CT-VAR	30.00	PUBLISHING	01.461.4431		CTC54820979		345 00020
	8531 W LINCOLN HWY-SU	27.00	PUBLISHING	01.461.4431		CTC54820979		345 00021
	9093 W FEY DR-SU	27.00	PUBLISHING	01.461.4431		CTC54820979		345 00022
	170 VAIL DR-VAR	43.50	PUBLISHING	01.461.4431		CTC54820979		345 00023
	WELL 18 WITH WTP-AD	189.01	PUBLISHING	62.492.4431		CTC54820979		345 00024
		316.51	*VENDOR TOTAL					
CINTAS CORPORATION #344	MATS-PD 5/16	111.93	R&M - BLDG/SITE IMPROVEM	01.441.4211		4119526502		345 00026
	MATS-VH 5/27	156.62	R&M - BLDG/SITE IMPROVEM	01.441.4211		4120792105		345 00025

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
CINTAS CORPORATION #344	MATS-VH 6/10	156.62	R&M - BLDG/SITE IMPROVEM	01.441.4211		4122110228			345	00062
		425.17	*VENDOR TOTAL							
CLARKE AQUATIC SERVICES	POND MNTNC-JUNE 2022	2,832.50	R&M - PUBLIC GROUNDS	01.441.4216		12407			345	00027
CLARKE ENVIRONMENTAL MOS	MOSQUITO CONTROL	47,396.00	PEST CONTROL	01.441.4672		1024218			345	00028
COMCAST CABLE	8847 LINCOLN HWY-INTERNT	163.35	TELEPHONE	62.492.4441		87712014903490			345	00029
	524 CENTER RD-INTERNET	115.22	TELEPHONE	01.441.4441		87712014903658			345	00030
	524 CENTER RD-INTERNET	57.61	TELEPHONE	62.491.4441		87712014903658			345	00030
	524 CENTER RD-INTERNET	57.61	TELEPHONE	62.492.4441		87712014903658			345	00030
		393.79	*VENDOR TOTAL							
COMMONWEALTH EDISON CO	STREETLIGHTS	2,687.49	STREET LIGHTING	01.441.4632		0273016112			345	00031
	TRLT-STLGT 80TH/LARAWAY	45.15	STREET LIGHTING	01.441.4632		0444146098			345	00064
	1 S WHITE ST	38.40	ELECTRICITY	01.441.4611		1539157073			345	00035
	11 S WHITE ST	116.11	ELECTRICITY	01.441.4611		2892084063			345	00033
	1 N WHITE ST-PRKG LOT	78.60	ELECTRICITY	01.441.4611		8043142005			345	00034
	2 SMITH ST	181.91	ELECTRICITY	01.441.4611		9097745017			345	00063
	11 N WHITE ST	14.93	ELECTRICITY	01.441.4611		9097788012			345	00032
		3,162.59	*VENDOR TOTAL							
CONSTELLATION NEWENERGY	20538 LAGRANGE RD-RGNL	15,837.73	ELECTRICITY	62.491.4611		707605-1			345	00065
	20248 GRACELAND-W 15/16	4,397.59	ELECTRICITY	62.492.4611		707605-10			345	00068
	22656 LAGRANGE-J/CK LIFT	1,055.74	ELECTRICITY	62.491.4611		707605-11			345	00069
	21841 S ELSNER RD-TOWER	34.56	ELECTRICITY	62.492.4611		707605-17			345	00070
	730 TANGLEWOOD-WELL 4	3,764.89	ELECTRICITY	62.492.4611		707605-2			345	00066
	234 BLACKTHORN-WELL 6	60.51	ELECTRICITY	62.492.4611		707605-25			345	00036
	21501 HARLEM AVE-LIFT ST	631.60	ELECTRICITY	62.491.4611		707605-26			345	00037
	20327 LAGRANGE-H/C PUMP	3,454.08	ELECTRICITY	62.491.4611		707605-3			345	00067
	@FY@1040 S BUTTERNUT-LFT	51.91	ELECTRICITY	62.491.4611		707605-8			344	00006
		29,288.61	*VENDOR TOTAL							
CORE & MAIN LP	@FY@B-BOX LIDS	233.00	R&M - WATER LINES	62.492.4261		Q657416			344	00016
	24 B-BOXES	2,101.44	R&M - WATER LINES	62.492.4261		Q867430			345	00073
	1 MXU	135.00	WATER METERS	62.492.4792		Q905018			345	00038
	8 IPERL METERS	1,536.00	WATER METERS	62.492.4792		Q966365			345	00072
	COUPLINGS	3,813.14	R&M - WATER LINES	62.492.4261		Q975091			345	00071
		7,818.58	*VENDOR TOTAL							
CORRPRO COMPANIES INC	SERV INSPECTION AGREEMNT	3,280.00	R&M - WATER TOWER	62.492.4271		688910			345	00195

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
COUNTY OF WILL								
	BLDG REPAY-MAY	188.16	POLICE COMM. CENTER	01.421.4411		BLDG REPAY-MAY		345 00040
	DISPATCH SERV-MAY	38,194.81	POLICE COMM. CENTER	01.421.4411		MAY2022-001		345 00039
		38,382.97	*VENDOR TOTAL					
CURRIE MOTORS								
	.5 CHECK ASSEMBLY-U1	9.60	R&M - VEHICLES	62.491.4243		132135		345 00041
	.5 CHECK ASSEMBLY-U1	9.60	R&M - VEHICLES	62.492.4243		132135		345 00042
	EGR VALVE RPLC-U13	1,879.35	R&M - VEHICLES	62.491.4243		592089		345 00074
		1,898.55	*VENDOR TOTAL					
D & T VENTURES LLC								
	.5 ONLINE W/S BILL MNTNC	200.00	SOFTWARE SUPPORT	62.491.4753		301791		345 00043
	.5 ONLINE W/S BILL MNTNC	200.00	SOFTWARE SUPPORT	62.492.4753		301791		345 00044
	CREDIT CLERK SUPPORT	100.02	SOFTWARE SUPPORT	01.442.4753		301791		345 00045
	CREDIT CLERK SUPPORT	99.99	SOFTWARE SUPPORT	62.491.4753		301791		345 00045
	CREDIT CLERK SUPPORT	99.99	SOFTWARE SUPPORT	62.492.4753		301791		345 00045
		700.00	*VENDOR TOTAL					
DUNHAM JR/JOHN E								
	12 PLUMBING INSPECTIONS	840.00	INSPECTION FEES	01.442.4343		22/6-1		345 00046
E Z DUZ IT PRODUCTS INC								
	DISINFECTANT/PPR TOWELS	699.50	JANITORIAL SUPPLIES	01.441.4741		9133		345 00047
EJ USA INC								
	MANHOLE ADJUST RINGS	1,836.24	R&M - WATER LINES	62.492.4261		110220038692		345 00075
EUROFINS ENVIRONMENT TES								
	SAMPLE TESTING-RGNL	25.90	SAMPLE TESTING	62.491.4641		5000105420		345 00049
EXCEL ELECTRIC INC								
	DISC AER MTR RPLC-RGNL	7,281.76	R&M - TREATMENT PLANT	62.491.4229		126682		345 00076
	OUTLETS-WHITE ST PRKG LT	1,392.33	R&M - PUBLIC GROUNDS	01.441.4216		126685		345 00050
	RPR STLGHT-1034 CATALPA	380.11	R&M - WATER LINES	62.492.4261		126686		345 00048
		9,054.20	*VENDOR TOTAL					
F VOGELMANN & CO								
	BRACKETS-POND	160.00	R&M - PUBLIC GROUNDS	01.441.4216		17736		345 00051
FLEETPRIDE								
	AB HOSES	54.84	R&M - VEHICLES	01.441.4243		100170242		344 00014
	@FY@RETURN-ELBOWS	35.00CR	R&M - VEHICLES	01.441.4243		88934024		344 00015
	@FY@MUFFLER	439.65	R&M - VEHICLES	01.441.4243		89363342		344 00012
	@FY@RETURN MUFFLER	439.65CR	R&M - VEHICLES	01.441.4243		89658357		344 00013
		19.84	*VENDOR TOTAL					
FLOWER COTTAGE/THE								
	FUNERAL PLANTER-MINEO	92.00	EMPLOYEE RELATIONS	01.411.4532		4652		345 00077

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
FRANKFORT CHAMBER OF COM	ANNUAL MEMBERSHIP DUES	195.00	COMMUNITY RELATIONS	01.411.4531		48368504		345 00052
FREEDOM FIRST AID & SAFE	FIRST AID SUPPLY-VH	54.70	SAFETY SUPPLIES	01.441.4762		48102		345 00081
	FIRST AID SUPPLIES	59.80	SAFETY SUPPLIES	01.441.4762		48131		345 00080
	.5 FIRST AID SUPPLIES	69.50	SAFETY SUPPLIES	62.491.4762		48173		345 00078
	.5 FIRST AID SUPPLIES	69.50	SAFETY SUPPLIES	62.492.4762		48173		345 00079
		253.50	*VENDOR TOTAL					
G COOPER OIL COMPANY INC	83GAL GASOLINE	344.94	GASOLINE/OIL	01.421.4731		271920		345 00082
	83GAL GASOLINE	357.39	GASOLINE/OIL	01.421.4731		272045		345 00083
	70GAL GASOLINE	325.92	GASOLINE/OIL	01.421.4731		272159		345 00084
		1,028.25	*VENDOR TOTAL					
GALLS LLC	SHIRT-320	72.75	UNIFORMS	01.421.4781		21170899		345 00088
	3 LOCKOUT KITS/2 DIVIDER	791.96	EQUIPMENT & ACCESSORIES	01.421.4791		21219833		345 00089
	FIRST AID KIT/SAFETY EQ	174.64	UNIFORMS	01.421.4781		21242371		345 00091
	CORPORAL BARS	76.77	UNIFORMS	01.421.4781		21266021		345 00090
	2 SAFETY VESTS	56.86	UNIFORMS	01.421.4781		21304079		345 00085
	1 SAFETY VEST	28.43	UNIFORMS	01.421.4781		21304259		345 00086
	BATON/BELTS	527.54	UNIFORMS	01.421.4781		21337186		345 00087
		1,728.95	*VENDOR TOTAL					
GAS N WASH LAGRANGE	CAR WASHES-MAY	8.00	R&M - VEHICLES	01.441.4243		3097		345 00006
	CAR WASHES-MAY	20.00	R&M - VEHICLES	01.421.4243		3097		345 00007
	CAR WASHES-MAY	580.00	R&M - VEHICLES	01.421.4243		3098		345 00092
		608.00	*VENDOR TOTAL					
GEMPLER'S	PANTS-JI	199.95	R&M - UNIFORMS	01.441.4251		4504038		345 00093
GORDON ELECTRIC SUPPLY I	BULBS/PHOTO CELLS	981.72	R&M - STREET LIGHTS	01.441.4236		S2335292.002		345 00095
	FUSES-RGNL FILTERS	51.48	R&M - TREATMENT PLANT	62.491.4229		S2361556.001		345 00096
	BULBS	209.75	R&M - STREET LIGHTS	01.441.4236		S2366576.001		345 00094
		1,242.95	*VENDOR TOTAL					
GRAINGER	FISH TAPE-EL	483.18	OPERATING SUPPLIES	62.492.4761		9322894974		345 00097
	FUSES-RGNL	1,130.20	R&M - TREATMENT PLANT	62.491.4229		9333966886		345 00098
		1,613.38	*VENDOR TOTAL					
GREEN GLEN NURSERY INC	11 TREES	1,978.00	R&M - TREES & WEEDS	01.441.4235		71375		345 00100
	BURNING BUSH	44.00	R&M - PUBLIC GROUNDS	01.441.4216		71428		345 00099

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
GREEN GLEN NURSERY INC								
	8 TREES	1,825.00	R&M - TREES & WEEDS	01.441.4235		71671		345 00102
	9 TREES	2,100.00	R&M - TREES & WEEDS	01.441.4235		71713		345 00101
		5,947.00	*VENDOR TOTAL					
HAWKINS INC								
	CHLORINE/HFA-WELLS	7,317.60	CHEMICALS	62.492.4711		6195580		345 00104
	CHLORINE SCALE	6,439.50	EQUIPMENT & ACCESSORIES	62.492.4791		6198470		345 00103
		13,757.10	*VENDOR TOTAL					
HERITAGE FS INC.								
	DIESEL	1,497.89	GASOLINE/OIL	01.441.4731		35010499		345 00105
	DIESEL	414.79	GASOLINE/OIL	62.492.4731		35010499		345 00105
	DIESEL	391.75	GASOLINE/OIL	62.491.4731		35010499		345 00105
		2,304.43	*VENDOR TOTAL					
HOME DEPOT #6919								
	RETURN-MAILBOXES	655.00CR	R&M - STREETS/SIGNS	01.441.4233		0214759		345 00110
	MARKERS/SCREWS/PENCILS	49.59	R&M - PUBLIC GROUNDS	01.441.4216		0970324		345 00130
	CHAIN COIL/ROPE/WASHERS	240.28	R&M - PUBLIC GROUNDS	01.441.4216		0970325		345 00138
	KNIFE/MARKERS	41.85	R&M - BLDG/SITE IMPROVEM	01.441.4211		1974603		345 00121
	SPRAYER/TP/BUG SPRAY	93.37	OPERATING SUPPLIES	62.492.4761		1974607		345 00116
	CEMENT/SCRUBBER	77.88	OPERATING SUPPLIES	01.441.4761		1974610		345 00120
	PAINT/WATER SFTNR PELLET	77.64	OPERATING SUPPLIES	01.441.4761		1975002		345 00137
	PINCH TOOL/COUPLING	23.98	OPERATING SUPPLIES	01.441.4761		1975005		345 00119
	MAILBOX	334.15	R&M - STREETS/SIGNS	01.441.4233		2451024		345 00106
	MAILBOX	334.15	R&M - STREETS/SIGNS	01.441.4233		2547022		345 00107
	CABLE TIES-RGNL	11.96	OPERATING SUPPLIES	62.491.4761		2974259		345 00117
	SOCKET/ADAPTERS	6.64	OPERATING SUPPLIES	62.491.4761		2974941		345 00115
	PAINT	5.98	R&M - VEHICLES	01.441.4243		2974943		345 00126
	ROPE/DRILL BIT	29.44	R&M - PUBLIC GROUNDS	01.441.4216		2974945		345 00133
	PAINT	59.76	R&M - STREET LIGHTS	01.441.4236		3970565		345 00124
	DOOR SEAL/CAULK	36.97	R&M - BLDG/SITE IMPROVEM	01.441.4211		3970577		345 00108
	BUFFER PADS/SAND PAPER	75.73	R&M - PUBLIC GROUNDS	01.441.4216		3970593		345 00109
	PLUGS/TAPE-DRAIN RPR	15.06	R&M - SITE IMPROVEMENTS	62.491.4211		3974204		345 00114
	SQUEEGEE/TOWELS/BAGS	73.86	JANITORIAL SUPPLIES	01.441.4741		4970199		345 00136
	TENT-COMMUNITY SHOWCASE	129.00	COMMUNITY RELATIONS	01.411.4531		4970202		345 00123
	PLANT FOOD-524 CENTER	23.94	OPERATING SUPPLIES	62.492.4761		4970211		345 00125
	DRYWALL KNIFES/DRIVER	23.46	OPERATING SUPPLIES	62.491.4761		4974159		345 00122
	TOP SOIL-524 CENTER	24.70	R&M - BUILDINGS	62.492.4211		4974164		345 00113
	MAILBOXES	655.00	R&M - STREETS/SIGNS	01.441.4233		5343318		345 00118
	GFCI TESTER	19.97	OPERATING SUPPLIES	01.441.4761		5970157		345 00131
	CEMENT-MAILBOX RPR	26.91	R&M - STREETS/SIGNS	01.441.4233		6970120		345 00135
	@FY@SCREWS/ADAPTERS	69.66	R&M - PUBLIC GROUNDS	01.441.4216		6973068		344 00020
	SOAP/STAIN REMOVER	113.86	JANITORIAL SUPPLIES	01.441.4741		7974755		345 00134
	HAMMER/CHISEL	35.24	OPERATING SUPPLIES	62.492.4761		8970409		345 00111
	SANITIZER	23.52	JANITORIAL SUPPLIES	01.441.4741		8970413		345 00129
	SOCKETS/DRILL BITS	54.94	R&M - VEHICLES	62.492.4243		8970431		345 00112
	@FY@10-2X6 LUMBER	189.80	R&M - SIDEWALKS	01.441.4220		8974020		344 00019

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
HOME DEPOT #6919	@FY@POST SPIKE	26.96	OPERATING SUPPLIES	62.492.4761		8974027		344 00007
	GRABBER/GLOVES	37.94	JANITORIAL SUPPLIES	01.441.4741		8974726		345 00127
	ROLLER TRAY/BROOM	32.91	OPERATING SUPPLIES	01.441.4761		9970371		345 00132
	BROOM	15.96	JANITORIAL SUPPLIES	01.441.4741		9970377		345 00128
		2,437.06	*VENDOR TOTAL					
HOMER TREE CARE INC	TREE PRUNING	1,250.00	R&M - TREES & WEEDS	01.441.4235		48582		345 00139
	TREE RMVL-1000 PRESTWICK	1,200.00	R&M - TREES & WEEDS	01.441.4235		48821		345 00140
		2,450.00	*VENDOR TOTAL					
I D E S	@FY@UNEMPLOYMENT 12/2021	155.08	UNEMPLOYMENT COMPENSATIO	01.413.4151		0803116		344 00021
ILLINOIS CENTRAL RAILROA	.5 PRESTWICK W/S LINE	236.54	PROPERTY LEASE	62.491.4663		9500238006		345 00142
	.5 PRESTWICK W/S LINE	236.53	PROPERTY LEASE	62.492.4663		9500238006		345 00143
		473.07	*VENDOR TOTAL					
ILM	PRAIRIE PK STWDSDHP VISIT	710.62	R&M - PRAIRIE PARK	01.441.4218		15908		345 00141
IMAGE 360 MOKENA	VILLAGE SEAL PLAQUE	146.50	OFFICE SUPPLIES	01.441.4751		I-57810		345 00144
INTERSTATE BATTERY SYSTE	BATTERIES-U6	32.96	R&M - VEHICLES	62.492.4243		10075649		345 00145
J C M UNIFORMS INC	BOOTS-306	132.95	UNIFORMS	01.421.4781		784851		345 00147
	CADET UNIFORM-K YOUNG	48.90	FALL FESTIVAL/CADET SUPP	01.421.4553		785196		345 00148
	PANTS-CADET GRASER	48.90	FALL FESTIVAL/CADET SUPP	01.421.4553		785535		345 00146
		230.75	*VENDOR TOTAL					
JEWEL FOOD STORES #3052	FISHING DERBY SNACKS	76.55	EVENTS	01.412.4534		439826		345 00150
	VENDING MACHINE SUPPLY	37.91	OFFICE SUPPLIES	01.412.4751		667982		345 00154
	WATER/GATORADE	45.93	OPERATING SUPPLIES	01.441.4761		722814		345 00151
	WATER-ART ON GREEN	7.47	EVENTS	01.412.4534		808799		345 00152
	ICE-ART ON GREEN	16.47	EVENTS	01.412.4534		808982		345 00153
		184.33	*VENDOR TOTAL					
JEWEL FOOD STORES #3052	WTR/SNACK-NO NOTICE MTG	26.42	COMMUNITY RELATIONS	01.421.4531		721504		345 00149
JOHN ZARLENGO ASPHALT PA	CULVERT RPR-632 PHEASANT	2,052.00	R&M - STORM SYSTEM	01.441.4232		13998		345 00155

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
KNIGHT SECURITY ALARMS,	RADIO MONITORING	119.85	R&M - BLDG/SITE IMPROVEM	01.441.4211		245393		345 00156
LANDSCAPE SUPPLY INC								
	RESTOR-STERLING/FF SQ	1,094.00	R&M - WATER LINES	62.492.4261		2022-091		345 00158
	RESTOR-22623 JOSHUA DR	3,000.00	R&M - WATER LINES	62.492.4261		2022-092		345 00159
	RESTOR-MAPLE ST	1,800.00	R&M - WATER LINES	62.492.4261		2022-093		345 00160
	RESTOR-RT 45	5,925.00	R&M - WATER LINES	62.492.4261		2022-094		345 00161
	RESTOR-21016 LAGRANGE	724.94	R&M - WATER LINES	62.492.4261		2022-095		345 00162
	CURB RPR-143 NEBRASKA	2,800.00	R&M - CURBS	01.441.4231		2022-096		345 00157
	RESTOR-80TH/LAKEVIEW	3,168.00	R&M - WATER LINES	62.492.4261		2022-097		345 00163
	RESTOR-124 MAPLE	1,485.00	R&M - WATER LINES	62.492.4261		2022-098		345 00164
	RESTOR-239 OREGON	2,277.00	R&M - WATER LINES	62.492.4261		2022-099		345 00165
	RESTOR-MAPLE ST	2,079.00	R&M - WATER LINES	62.492.4261		2022-100		345 00166
	RESTOR-21401 ENGLISH CIR	136.50	R&M - WATER LINES	62.492.4261		2022-101		345 00167
	RESTOR-80TH/LAKEVIEW	817.00	R&M - WATER LINES	62.492.4261		2022-102		345 00168
	RESTOR-21498 ENGLISH CIR	72.00	R&M - WATER LINES	62.492.4261		2022-103		345 00169
	RESTOR-SAUK TRL/LARCH	72.00	R&M - WATER LINES	62.492.4261		2022-104		345 00170
	RESTOR-MAPLE ST	2,412.00	R&M - WATER LINES	62.492.4261		2022-105		345 00171
	RESTOR-COLONY/GOLF CART	1,672.00	R&M - WATER LINES	62.492.4261		2022-106		345 00172
	RESTOR-STERLING/FF SQ RD	324.00	R&M - WATER LINES	62.492.4261		2022-107		345 00173
	RESTOR-1008 PRESTWICK	149.00	R&M - WATER LINES	62.492.4261		2022-108		345 00174
	RESTOR-22673 JOSHUA	529.38	R&M - WATER LINES	62.492.4261		2022-109		345 00175
	RESTOR-19536 HIGHVIEW LN	446.00	R&M - WATER LINES	62.492.4261		2022-110		345 00176
	RESTOR-20704 NORTH CT	342.00	R&M - WATER LINES	62.492.4261		2022-111		345 00177
	RESTOR-1007 PRESTWICK	384.45	R&M - WATER LINES	62.492.4261		2022-112		345 00178
		31,709.27	*VENDOR TOTAL					
LANGUAGE LINE SERVICES								
	CREDIT	7.00CR	SOFTWARE SUPPORT	01.421.4753		MLI-051549		345 00180
	TRANSLATION SERVICES	40.21	SOFTWARE SUPPORT	01.421.4753		10544847		345 00179
		33.21	*VENDOR TOTAL					
LAWSON PRODUCTS INC								
	ELECTRICAL TAPE	38.97	R&M - VEHICLES	01.441.4243		9309581007		345 00181
	ELECTRICAL TAPE	38.97	R&M - VEHICLES	01.421.4243		9309581007		345 00182
	ELECTRICAL TAPE	38.97	R&M - VEHICLES	62.492.4243		9309581007		345 00183
	SEALER/TIRE CEMENT	38.25	R&M - VEHICLES	01.441.4243		9309607865		345 00184
	SEALER/TIRE CEMENT	38.26	R&M - VEHICLES	01.421.4243		9309607865		345 00185
	SEALER/TIRE CEMENT	38.25	R&M - VEHICLES	62.492.4243		9309607865		345 00186
	WIRE GAUGES	12.13	R&M - VEHICLES	01.441.4243		9309616215		345 00187
	WIRE GAUGES	12.13	R&M - VEHICLES	01.421.4243		9309616215		345 00188
	WIRE GAUGES	12.13	R&M - VEHICLES	62.492.4243		9309616215		345 00189
		268.06	*VENDOR TOTAL					
LEXISNEXIS RISK DATA MNG								
	MONTHLY SUPPORT-MAY	76.50	SOFTWARE SUPPORT	01.421.4753		20220531		345 00190
LOCAL PRINTING & DESIGN								
	500 KOOZIES-COM SHOWCASE	496.78	COMMUNITY RELATIONS	01.411.4531		12424		345 00194

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
LOCAL PRINTING & DESIGN	TABLE COVERS-COMM EVNTS	371.96	COMMUNITY RELATIONS	01.411.4531		12451		345 00192
	A-FRAME PANEL-FISH DRBY	60.00	EVENTS	01.412.4534		12491		345 00193
		928.74	*VENDOR TOTAL					
MAHONEY, SILVERMAN & CRO	TRAFFIC	6,089.05	ATTORNEY FEES	01.421.4321		59545/182		345 00196
	GENERAL	1,120.00	ATTORNEY FEES	01.411.4321		59545/264		345 00197
	MEETINGS	975.00	ATTORNEY FEES	01.411.4321		59545/265		345 00198
	CACTUS CAROLS-KANSAS ST	48.75	ATTORNEY FEES	01.442.4321		59545/593		345 00199
	SOUTHERN CHARM	3,012.75	ATTORNEY FEES	01.442.4321		59545/600		345 00200
	SARRIS-HARLEM AVE	288.75	ATTORNEY FEES	01.411.4321		59545/606		345 00201
	709 TANGLEWOOD	271.25	ATTORNEY FEES	01.442.4321		59545/620		345 00202
	EDGAR CO WTCHDOG LIT	536.25	ATTORNEY FEES	01.421.4321		59545/621		345 00203
	CIVIL SUBPOENA CHALLNG	97.50	ATTORNEY FEES	01.421.4321		59545/622		345 00204
		12,439.30	*VENDOR TOTAL					
MARTELLO/CHARLES	MAILBOX RPR-250 WALNUT	70.15	R&M - STREETS/SIGNS	01.441.4233		MAILBOX RPR		345 00205
MARTIN WHALEN OFFICE SOL	XER/XWC5330 COPIER SUPRT	106.54	R&M - OFFICE EQUIPMENT	01.421.4242		3639449		345 00207
MARTINEZ/JULIO & SUREIA	1/2 2021 TAX REBATE-STNK	369.66	INCENTIVES/GRANTS	31.477.5265		211407100023		345 00206
MASTER AUTOMOTIVE SUPPLY	TIRE MACHINE	10,229.99	BUILDING-MAINTENANCE	31.477.5122		15030-117576		345 00210
	CORE RTN-BRAKES U3	274.00CR	R&M - VEHICLES	62.491.4243		15030-117747		345 00218
	OIL ABSORBENT	43.30	R&M - VEHICLES	01.441.4243		15030-117809		345 00219
	OIL ABSORBENT	43.30	R&M - VEHICLES	01.421.4243		15030-117809		345 00220
	OIL ABSORBENT	43.30	R&M - VEHICLES	62.491.4243		15030-117809		345 00221
	FILTERS	16.94	R&M - VEHICLES	01.441.4243		15030-118019		345 00215
	JB WELD PRO	21.19	R&M - VEHICLES	01.441.4243		15030-118341		345 00216
	BELT/FILTERS-SQ6	117.17	R&M - VEHICLES	01.421.4243		15030-118377		345 00217
	SPARK PLUGS/WIRES-W3	193.56	R&M - VEHICLES	62.492.4243		15030-118413		345 00212
	COIL ON PLUG-W3	67.50	R&M - VEHICLES	62.492.4243		15030-118421		345 00211
	BLOWER MOTOR-U2	140.28	R&M - VEHICLES	62.491.4243		15030-118502		345 00213
	FILTER-SQ12	6.01	R&M - VEHICLES	01.421.4243		15030-118512		345 00209
	BLOWER MOTOR	99.28	R&M - VEHICLES	62.491.4243		15030-118518		345 00208
	CONNECTORS-U2	20.80	R&M - VEHICLES	62.491.4243		15030-118539		345 00214
		10,768.62	*VENDOR TOTAL					
MATTHUIS TRUCKING INC	22.67TN CA7 STONE DLVRY	255.04	R&M - WATER LINES	62.492.4261		2797		345 00224
	91.56TN CA7 STONE DLVRY	1,030.05	R&M - WATER LINES	62.492.4261		2810		345 00222
	22.50TN CA7 STONE DLVRY	253.13	R&M - WATER LINES	62.492.4261		2814		345 00223
		1,538.22	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
MEADE ELECTRIC COMPANY, TRAF SGNL MNTNC-LARAWAY CABLE LOCATE-WOLF/LARAWY	788.00 340.28 1,128.28	R&M - TRAFFIC LIGHTS R&M - PUBLIC GROUNDS *VENDOR TOTAL	01.441.4234 01.441.4216		700362 700649		345 00225 345 00226
MIDWEST LASER SPECIALIST .5 PRINTER SERVICE .5 PRINTER SERVICE	196.50 196.50 393.00	R&M - OFFICE EQUIP R&M - OFFICE EQUIP *VENDOR TOTAL	62.491.4241 62.492.4241		1146924 1146924		345 00289 345 00290
MINUTEMAN PRESS OF FRANK FRAME STICKERS-ART ON GR	79.49	EVENTS	01.412.4534		9153		345 00227
MONROE TRUCK EQUIPMENT I HYDRAULIC VALVE-ST26 .5 IMT SWIVEL RPLC-U20 .5 IMT SWIVEL RPLC-U20	2,500.80 76.18 76.19 2,653.17	R&M - VEHICLES R&M - VEHICLES R&M - VEHICLES *VENDOR TOTAL	01.441.4243 62.491.4243 62.492.4243		R80153 337558 337558		345 00228 345 00229 345 00230
MUD TURTLE POOLS INC 11531 ZERMATT DR	1,000.00	POOL DEPOSIT	01.000.2322		B217914		345 00231
NEWLINE PAVING SERVICES PAVEMENT MRKG-OAK ST	884.00	R&M - STREETS/SIGNS	01.441.4233		1488		345 00343
NORMOYLE/ROBERT J PLUMBING INSP 5/31	3,990.00	INSPECTION FEES	01.442.4343		22/5-31		345 00232
NU-WAY DISPOSAL SERVICE, DUMPSTER EXCHANGE @FY@STREET SWEEPING 4/29 STREET SWEEPING 5/11 DUMPSTER EXCHANGE DUMPSTER EXCHANGE	414.00 17,663.46 4,151.51 414.00 414.00 23,056.97	GARBAGE DISPOSAL R&M - STREET SWEEPING R&M - STREET SWEEPING GARBAGE DISPOSAL GARBAGE DISPOSAL *VENDOR TOTAL	01.447.4621 01.441.4238 01.441.4238 01.447.4621 01.447.4621		4834102 7776100 7776100 7837992 7843136		345 00235 344 00022 345 00236 345 00234 345 00233
OFFICE DEPOT INC BOOKING MONITOR	259.99	OFFICE EQUIPMENT	01.421.4772		243070778001		345 00238
OLD PLANK RD TRAIL MGMNT OPRT MGMT COMM DUES	2,600.00	DUES	01.441.4511		OPRTMC 22-01		345 00239
ORKIN PEST CONTROL 432 W NEBRASKA 6/3	205.79	PEST CONTROL	01.441.4672		228620521		345 00237
PARK HARDWARE #16759 BATTERIES ELECTRICAL TAPE HOSE/BUNGEE CORDS	29.98 25.98 43.97	OPERATING SUPPLIES OPERATING SUPPLIES OPERATING SUPPLIES	62.491.4761 01.441.4761 01.441.4761		6952 6971 6980		345 00244 345 00252 345 00242

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
PARK HARDWARE #16759								
	FRAME/PAINTING TRAY	15.97	R&M - STREETS/SIGNS	01.441.4233		7000		345 00253
	DOWELLS/CABLE TIES	39.93	R&M - PUBLIC GROUNDS	01.441.4216		7001		345 00250
	BUCKET/PICKUP TOOL	93.52	OPERATING SUPPLIES	01.441.4761		7022		345 00251
	BROOM/DUST PAN/ANCHORS	22.98	OPERATING SUPPLIES	62.492.4761		7032		345 00249
	WEED KILLER-WELL 15/16	18.99	OPERATING SUPPLIES	62.492.4761		7040		345 00248
	PAINT	50.93	R&M - STREETS/SIGNS	01.441.4233		7041		345 00256
	FASTENERS	2.20	R&M - BLDG/SITE IMPROVEM	01.441.4211		7047		345 00259
	AIR FILTERS-MUSEUM	9.98	R&M - BLDG/SITE IMPROVEM	01.441.4211		7061		345 00258
	LIMEAWAY/CLEANER	32.96	JANITORIAL SUPPLIES	01.441.4741		7063		345 00257
	WEED KILLER	63.96	OPERATING SUPPLIES	62.492.4761		7065		345 00246
	HEX KEY SET/SCRAPER	60.44	OPERATING SUPPLIES	62.492.4761		7068		345 00247
	BATTERIES	54.99	OPERATING SUPPLIES	01.441.4761		7072		345 00254
	PLUG INS/LED BULBS/MOP	81.42	OPERATING SUPPLIES	01.441.4761		7073		345 00255
	PVC PIPE/PAINT	70.61	R&M - STREETS/SIGNS	01.441.4233		7078		345 00243
	NIPPLES	18.98	OPERATING SUPPLIES	62.492.4761		7082		345 00245
	SAND PAPER	13.97	R&M - BLDG/SITE IMPROVEM	01.441.4211		7089		345 00241
	PAINT	35.00	R&M - STREET LIGHTS	01.441.4236		7090		345 00240
		786.76	*VENDOR TOTAL					
PHELAN/CYNTHIA								
	11531 ZERMATT DR L44	1,000.00	LANDSCAPE DEPOSIT	01.000.2321		B217012		345 00260
	11531 ZERMATT DR L44	500.00	CONTRACTOR DEPOSIT	01.000.2323		B217012		345 00261
		1,500.00	*VENDOR TOTAL					
PHYSICIANS IMMEDIATE CAR								
	PRE-EMPLY DRUG TEST-LT	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4649835		345 00274
	PRE-EMPLY DRUG TEST-BM	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4653185		345 00271
	PRE-EMPLY DRUG TEST-DR	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4653357		345 00273
	PRE-EMPLY DRUG TEST-AE	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4659871		345 00266
	PRE-EMPLY DRUG TEST-SM	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4659879		345 00270
	PRE-EMPLY DRUG TEST-AL	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4662599		345 00269
	PRE-EMPLY DRUG TEST-PZ	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4665406		345 00277
	PRE-EMPLY DRUG TEST-AID	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4668997		345 00265
	PRE-EMPLY DRUG TEST-TW	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4669018		345 00276
	PRE-EMPLY DRUG TEST-LB	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4669020		345 00263
	PRE-EMPLY DRUG TEST-JJ	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4672143		345 00267
	PRE-EMPLY DRUG TEST-EB	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4672146		345 00262
	PRE-EMPLY DRUG TEST-NP	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4674372		345 00272
	PRE-EMPLY DRUG TEST-SW	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4674570		345 00275
	PRE-EMPLY DRUG TEST-AD	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4680411		345 00264
	PRE-EMPLY DRUG TEST-KK	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4685361		345 00268
	PRE-EMPLY DRUG TEST-RZ	47.00	SAFETY & WELL EMPLOYEE	01.412.4134		4685389		345 00278
		799.00	*VENDOR TOTAL					
RAY O'HERRON CO., INC.								
	UNIFORMS-302	636.73	UNIFORMS	01.421.4781		2199024		345 00280
	RAINCOAT-302	143.98	UNIFORMS	01.421.4781		2200015		345 00279
		780.71	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
RED WING BUSINESS ADVANT	WORKBOOTS-RS	175.00	SAFETY SUPPLIES	62.491.4762		711-1-98678			345	00283
	WORKBOOTS-LO	175.00	R&M - UNIFORMS	01.441.4251		711-1-98787			345	00282
		350.00	*VENDOR TOTAL							
RIMAGE CORPORATION	RIBBONS-L3 VIDEO SYSTEM	158.18	OFFICE SUPPLIES	01.421.4751		90213561			345	00281
RUSSO'S POWER EQUIPMENT	POND DYE	291.92	R&M - PUBLIC GROUNDS	01.441.4216		SPI11097332			345	00286
	STRAW BLANKETS	227.97	R&M - STORM SYSTEM	01.441.4232		SPI11105149			345	00288
	HERBICIDE	155.96	OPERATING SUPPLIES	62.492.4761		SPI11105151			345	00284
	POND DYE	253.96	R&M - PUBLIC GROUNDS	01.441.4216		SPI11106914			345	00287
	HERBICIDE	116.97	R&M - BUILDINGS	62.492.4211		SPI11117518			345	00285
		1,046.78	*VENDOR TOTAL							
SAME DAY TEES	118 FISH DERBY T-SHIRTS	796.36	EVENTS	01.412.4534		39341			345	00291
SAUNORIS' NURSERY	COBBLESTONE-INDIANA CT	355.33	R&M - STORM SYSTEM	01.441.4232		690690			345	00292
SCHINDLER ELEVATOR CORP	ELEVATOR MNTNC-VH	1,156.41	R&M - BLDG/SITE IMPROVEM	01.441.4211		8105959607			345	00294
	ELEVATOR MNTNC-PD	1,156.41	R&M - BLDG/SITE IMPROVEM	01.441.4211		8105959608			345	00293
		2,312.82	*VENDOR TOTAL							
SHERWIN-WILLIAMS	PAINT	212.64	R&M - PUBLIC GROUNDS	01.441.4216		0073-6			345	00296
	PAINT-PIER	87.87	R&M - PUBLIC GROUNDS	01.441.4216		0411-8			345	00300
	PAINT-PIER	448.73	R&M - PUBLIC GROUNDS	01.441.4216		0452-2			345	00299
	PAINT-PIER	283.52	R&M - PUBLIC GROUNDS	01.441.4216		0478-7			345	00298
	PAIL/PAINT/ROLLERS	210.17	R&M - PUBLIC GROUNDS	01.441.4216		0489-4			345	00295
	PAINT-STAGE	113.59	R&M - PUBLIC GROUNDS	01.441.4216		6535-1			345	00297
		1,356.52	*VENDOR TOTAL							
ST ANTHONY'S KNIGHTS OF	DONATION-POPCORN/MOVIES	100.00	EVENTS	01.412.4534		266966			345	00301
STAPLES ADVANTAGE	POST ITS/PENCILS/COFFEE	67.22	OFFICE SUPPLIES	01.412.4751		8066412832			345	00302
	POCKET FILES	25.49	OFFICE SUPPLIES	01.442.4751		8066412832			345	00303
	.5 TONER	98.17	OFFICE SUPPLIES	62.491.4751		8066412832			345	00304
	.5 TONER	98.18	OFFICE SUPPLIES	62.492.4751		8066412832			345	00305
	BOARD FOLDERS/PROJ PAPER	79.21	OFFICE SUPPLIES	01.412.4751		8066487029			345	00306
	FILE/HANGING FOLDERS	34.16	OFFICE SUPPLIES	01.442.4751		8066487029			345	00307
	POST ITS/FILE FOLD/LABEL	163.89	OFFICE SUPPLIES	01.421.4751		8066523455			345	00308
		566.32	*VENDOR TOTAL							

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
SUNSET SEWER & WATER INC								
	@FY@CURB RPR 945 BTRNT	1,250.00	R&M - STORM SYSTEM	01.441.4232		2022-085		344 00008
	@FY@CURB RPR-22637 FLDST	1,250.00	R&M - STORM SYSTEM	01.441.4232		2022-086		344 00009
	@FY@SWR RPR-309 NEBRKA	3,258.26	R&M - STORM SYSTEM	01.441.4232		2022-097		344 00010
	@FY@ASPHALT PTCH-S LCST	4,570.00	R&M - STORM SYSTEM	01.441.4232		2022-100		344 00011
		10,328.26	*VENDOR TOTAL					
SUPERFLEET								
	GASOLINE-SWR	511.39	GASOLINE/OIL	62.491.4731		FB426		345 00314
	GASOLINE-WTR	2,913.24	GASOLINE/OIL	62.492.4731		FB426		345 00315
	GASOLINE-PW	1,653.99	GASOLINE/OIL	01.441.4731		FB426		345 00316
	GASOLINE-BLDG	841.59	GASOLINE/OIL	01.442.4731		FB426		345 00317
	GASOLINE-POLICE	10,182.69	GASOLINE/OIL	01.421.4731		FB426		345 00318
		16,102.90	*VENDOR TOTAL					
SYNAGRO								
	SLUDGE REMOVAL-RGNL	7,110.68	SLUDGE REMOVAL	62.491.4642		30157		345 00309
T-MOBILE								
	SGT PHONES	66.68	TELEPHONE	01.421.4441		971115558		345 00310
THE WINNING COLORS								
	REPAINT GARBAGE CAN	200.00	R&M - PUBLIC GROUNDS	01.441.4216		22/6-1		345 00311
TOM'S TRUCK REPAIR SOUTH								
	SAFETY INSPECTIONS	71.00	R&M - VEHICLES	01.441.4243		SL12456		345 00312
	SAFETY INSPECTIONS	35.00	R&M - VEHICLES	62.491.4243		SL12456		345 00313
		106.00	*VENDOR TOTAL					
UNITED RADIO								
	RADIO CONTROL HEAD	1,079.03	EQUIPMENT & ACCESSORIES	01.421.4791		321183935		345 00325
UPS STORE #3864								
	SPECHTROMETER CALIBRTN	173.82	POSTAGE	62.491.4433		22/5-25		345 00320
	SPECHTROMETER CALIBRTN	43.43	POSTAGE	62.491.4433		22/5-9		345 00319
		217.25	*VENDOR TOTAL					
US SAFETY PRODUCTS INC								
	29 SR PATROL T-SHIRTS	427.00	COMMUNITY RELATIONS	01.421.4531		90006482		345 00321
USA BLUE BOOK								
	VALVE THREAD PROTECTORS	403.41	R&M - TREATMENT PLANT	62.491.4229		986724		345 00323
	VALVE THREAD PROTECTORS	769.50	R&M - TREATMENT PLANT	62.491.4229		986854		345 00322
	TEST TUBES-RGNL LAB	128.71	LABORATORY SUPPLIES	62.491.4712		993024		345 00324
		1,301.62	*VENDOR TOTAL					
USA FIRE PROTECTION INC								
	SPRINKLER INSPECT-PD	893.00	R&M - BLDG/SITE IMPROVEM	01.441.4211		1046-F080306		345 00326

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
VCNA PRAIRIE LLC								
	22.67TN CA7 STONE	267.51	R&M - WATER LINES	62.492.4261		890496040		345 00330
	91.56TN CA7 STONE	1,080.40	R&M - WATER LINES	62.492.4261		890505737		345 00327
	22.50TN CA7 STONE	265.50	R&M - WATER LINES	62.492.4261		890517206		345 00328
	91.05TN CA7 STONE	1,074.39	R&M - WATER LINES	62.492.4261		890528251		345 00329
		2,687.80	*VENDOR TOTAL					
WELSCH READY MIX INC								
	SDWLK RPR-22154 CHAMOML	621.19	R&M - SIDEWALKS	01.441.4220		19MAY202219945		345 00331
WEST SIDE TRACTOR SALES								
	FILTERS	222.48	R&M - VEHICLES	01.441.4243		J96723		345 00336
	.5 ROCKER SWITCH-SKID ST	43.16	R&M - VEHICLES	62.491.4243		J96861		345 00332
	.5 ROCKER SWITCH-SKID ST	43.17	R&M - VEHICLES	62.492.4243		J96861		345 00333
	.5 WIRING HARNESS-SKID	266.04	R&M - VEHICLES	62.491.4243		J96895		345 00334
	.5 WIRING HARNESS-SKID	266.05	R&M - VEHICLES	62.492.4243		J96895		345 00335
		840.90	*VENDOR TOTAL					
WIN-911 SOFTWARE								
	SCADA SOFTWARE RENEWAL	660.00	SOFTWARE SUPPORT	62.492.4753		8CC44026202282		345 00337
1ST AYD CORPORATION								
	BEE/HORNET SPRY/TP/TOWEL	260.69	R&M - VEHICLES	01.441.4243		PSI531729		345 00338
	PART CLEANER/DEGREASER	78.20	R&M - VEHICLES	01.461.4243		PSI531729		345 00339
	PART CLEANER/DEGREASER	260.69	R&M - VEHICLES	01.421.4243		PSI531729		345 00340
	.5 PART CLNR/TP/TOWELS	188.70	R&M - VEHICLES	62.491.4243		PSI531729		345 00341
	.5 PART CLNR/TP/TOWELS	188.71	R&M - VEHICLES	62.492.4243		PSI531729		345 00342
		976.99	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
DESCRIPTION									
REPORT TOTALS:	506,107.31								

RECORDS PRINTED - 000384

DRAFT

Payroll Expense Approval

6/10/2022 Payroll

	2021 Gross Wage Avg	Gross Wages	Pension	457	Medicare	SS
General Fund	<i>56,300.72</i>	56,990.17	4,602.34	615.00	800.60	3,423.23
Police Fund	<i>153,178.88</i>	146,467.90	42,917.68	1,750.00	2,048.28	8,758.23
Utility Fund	<i>61,726.84</i>	68,425.54	5,655.51	800.00	962.13	4,113.93
Streets	<i>50,964.56</i>	60,881.67	4,663.03	700.00	850.26	3,635.47
Total	<i>322,171.01</i>	332,765.28	57,838.56	3,865.00	4,661.27	19,930.86
Grand Total						

419,060.97

DRAFT

June 20, 2022

Unanimous Consent Agenda

C. COMMITTEE OF THE WHOLE REPORT

1. FRANKFORT SQUARE WATER TOWER REHABILITATION AND REPAINTING PROJECT: CONTRACT AWARD – RESOLUTION

The Village of Frankfort operates six elevated water tanks and performs maintenance inspections on each tank every ± 5 years. The maintenance inspection report for the Frankfort Square 150,000-gallon spheroid elevated water storage tank identified numerous spot failures to the substrate with rust undercutting, rust bleed through, and delaminated paint topcoat. The Village solicited bids for the rehabilitation and repainting of the Frankfort Square water tower and received bids from three contractors for the project.

At its June 8, 2022 meeting, the Committee of the Whole reviewed the three bid proposals received for the rehabilitation and repainting of the Frankfort Square Water Tower. The low bidder was MW Cole Construction, LLC with a bid proposal of \$529,000.

It was the consensus of the Committee (Savaria/Borrelli) to forward a recommendation to the Village Board to accept the low qualified bid and award the contract to MW Cole Construction.

Motion: *Accept the recommendation of the Committee of the Whole and adopt a Resolution authorizing the execution of a contract with MW Cole Construction, LLC for the rehabilitation and repainting of the Village's 150,000-gallon spheroid elevated water storage tank located at 20248 S. Graceland Lane, in the amount of \$529,000.00.*

2. 2022 ROADWAY MAINTENANCE PROGRAM: CONTRACT AWARD – RESOLUTION

The Village's Annual FY 2022/2023 Budget includes \$7,050,000 in the General Capital Development Fund for the 2022 Roadway Maintenance Program. The Village solicited competitive bids from qualified contractors for the resurfacing and maintenance of 31 street segments totaling 9.4 miles as part of this year's program.

The Village received three bid proposals for the project. The low bidder was P.T. Ferro Construction Co. with a bid proposal of \$6,899,399.60. The low bid was approximately 7.5% above the estimated cost of \$6,418,589.64, which is due to inflationary costs that are prevalent throughout the construction industry. Village staff worked with Robinson Engineering to reduce the actual construction cost by approximately \$480,000 in order to meet the budget amount.

Motion: *Accept the recommendation of the Committee of the Whole and adopt a Resolution authorizing the execution of a contract with P.T. Ferro Construction Co., for the 2022 Roadway Maintenance Program, in an amount not to exceed \$6,899,399.60.*

RESOLUTION NO. **22-XX**

A RESOLUTION AUTHORIZING THE EXECUTION OF A CONTRACT WITH MW COLE CONSTRUCTION, LLC FOR THE REHABILITATION AND REPAINTING OF THE VILLAGE'S 150,000 GALLON SPHEROID (FRANKFORT SQUARE WATER TOWER – 20248 S. GRACELAND LANE)

WHEREAS, the Village of Frankfort operates six elevated water tanks with a total storage volume of 5.7 million gallons; and

WHEREAS, maintenance inspections are performed on each tank every ± 5 years and an inspection report conducted for the Frankfort Square 150,000-gallon spheroid elevated water storage tank located at 20248 S. Graceland Lane identified numerous spot failures to the substrate with rust undercutting, rust bleed through, and delaminated paint topcoat; and

WHEREAS, the Village's Annual Budget for FY 2022/2023 includes funding in the Sewer and Water Capital Fund for the recommended improvements; and

WHEREAS, the Village solicited bids for the rehabilitation and repainting of the Village's 150,000-gallon spheroid elevated water storage tank (Frankfort Square Water Tower) and received three bid submittals for the project; and

WHEREAS, Dixon Engineering, Inc., consulting engineers for the project, analyzed each of the bids received and recommended the contract be awarded to MW Cole Construction, LLC, in the amount of \$529,000.00; and

WHEREAS, at its June 8, 2022 meeting, the Committee of the Whole forwarded a recommendation to the Village Board to accept the low bid and award the contract to MW Cole Construction, LLC, for the project; and

WHEREAS, the President and Board of Trustees of the Village of Frankfort have considered the contract and determined that it is in the best interests of the Village and its residents to enter the contract.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

That the Village President, on behalf of the Village of Frankfort, is hereby authorized and directed to execute a contract with MW Cole Construction, LLC, for the rehabilitation and repainting of the Village's 150,000-gallon spheroid elevated water storage tank located at 20248 S. Graceland Lane, in the amount of \$529,000.00, and that the Village Clerk is authorized and directed to attest to the President's signature.

PASSED AND APPROVED this 20th day of June, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

DRAFT

Section 00 51 00 - NOTICE OF AWARD

Date of Issuance: **June 21, 2022**
Owner: **Village of Frankfort, Illinois** Owner's Project No.:
Engineer: **Dixon Engineering, Inc.** Engineer's Project No.: **13-99-10-04-22**
Project: **150,000 Gallon Spheroid (Frankfort Square)**
Contract Name: **Exterior Repaint with Containment, Wet Interior Repaint, Dry Interior Repaint, and Miscellaneous Repairs**
Bidder: **MW Cole Construction, LLC**
Bidder's Address: **2989 Bonifay Path, The Villages, FL 32163**

You are notified that Owner has accepted your Bid dated **May 17, 2022** for the above Contract, and that you are the Successful Bidder and are awarded a Contract for:

Wet Interior Roof Hatch (\$4,500)
Pod Removal and New Access Tube Cover (\$7,200)
Condensate Platform Ladder Extension (\$2,500)
Expansion Joint Replacement (\$9,000)
Fill Pipe Insulation Replacement – 8 Ft. (\$9,000)
Overflow Pipe Discharge Modification (\$3,000)
Condensate Drain Line (\$5,000)
Mud Valve (\$6,000)
Fall Prevention Devices (\$2,500)
Roof Vent (\$9,000)
Cathodic Clips and Pressure Fitting (\$1,000)
Cathodic Covers (\$1,200)
Roof Handrail and Painter's Railing (\$24,000)
Antenna Cable Penetrations in the Platform (\$4,000)
Sample Tap (\$2,200)
Fill Pipe Replacement – Alternate (\$24,000)
Exterior Repaint with Containment (\$233,500)
Wet Interior Repaint (\$66,400)
Seam Sealer (\$1,000)
Dry Interior Repaint (\$82,000)
Pit Piping Repaint (\$1,000)
Light Fixture Replacement (\$7,000)
Cathodic Protection System (\$24,000)

The Contract Price of the awarded Contract is **\$529,000**. Contract Price is subject to adjustment based on the provisions of the Contract, including but not limited to those governing changes, Unit Price Work, and Work performed on a cost-plus-fee basis, as applicable.

You must comply with the following conditions precedent within 15 days of the date of receipt of this Notice of Award:

1. Deliver the Contract security (such as required performance, payment, and maintenance bonds) and insurance documentation, as specified in the Instructions to Bidders and in the General Conditions, Articles 2 and 6.

2. Other conditions precedent (if any): **None**

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within 10 days after you comply with the above conditions, Owner will return to you one fully signed counterpart of the Agreement, together with any additional copies of the Contract Documents as indicated in Paragraph 2.02 of the General Conditions.

Owner: **Village of Frankfort, Illinois**

By (signature): _____

Name (printed): _____

Title: _____

Contractor: **MW Cole Construction, LLC**

By (signature): _____


Name (printed): _____

Title: _____

Copy: Engineer

DRAFT

Memo

To: Committee of the Whole
From: Zachary Brown- Utilities Director
Date: June 8, 2022 
Re: Frankfort Square Water Tower Painting – Contract Award

The Village of Frankfort Utilities Department operates six elevated water tanks with a total storage volume of 5.7 million gallons. Maintenance inspections are performed on each tank every ± 5 years. In 2019 Dixon Engineering inspected the 150,000-gallon storage tank located at 20248 Graceland Avenue in Frankfort Square. The final inspection report noted numerous spot failures to the substrate with rust undercutting, rust bleedthrough, and delaminated paint topcoat. The report recommended both the interior and exterior of the tower be re-painted within 3 – 4 years.

On May 17th, 2022, staff received bids from three (3) contractors for the water tower painting work. The Engineer's opinion of probable construction cost for this project was \$590,000. A summary of the bids is provided below:

Contractor	Bid Amount (including alternative)
MW Cole, The Villages, FL	\$529,000.00
PT&T, Henderson, KY	\$534,500.00
Tecorp, Joliet, IL	\$796,800.00

Shortly before the bid notice for the project was placed a leak was discovered on the internal fill pipe for the tower. At the time staff was unsure if the pipe could be repaired or would need to be replaced. The project consultant has since recommended that the pipe be replaced and as such an addendum was included in the bid notice. While PT&T was the low bidder on the base bid by \$200 their alternative bid which includes the replacement of the tower's fill pipe was \$35,500 more than the next lowest bidder MW Cole. The cost for this project is included in the FY21/22 budget under 68.492.5162 Water Tower: Painting.

Motion

Staff respectfully requests Committee recommendation to enter into an agreement with MW Cole for the repainting of the 150,000 gallon elevated water storage tank located at 20248 Graceland Avenue in the amount of **\$529,000**.



DIXON

ENGINEERING & INSPECTION SERVICES
FOR THE COATING INDUSTRY

May 31, 2022

Mr. Zachary Brown, Director of Utilities
Village of Frankfort
432 W Nebraska Street
Frankfort, IL 60423

Re: 150,000 Gallon Spheroid (Frankfort Square) – Recommendation for Award

Dear Mr. Brown:

Dixon Engineering has reviewed the bids submitted for the rehabilitation and repainting of the Village's 150,000 gallon spheroid. There were three bids that were received, and the bidding was highly competitive. Dixon Engineering recommends the award to the MW Cole Construction of The Villages, Florida in the amount of \$529,000. This includes all line items in the Schedule of Values including the alternate.

MW Cole Construction is a pending-prequalified contractor with Dixon Engineering, Inc. for this scope of work and has successfully completed similar projects in size and scope. MW Cole Construction needs to submit documentation that they have certified protective coatings personnel on this project prior to mobilization on this project. MW Cole Construction confirmed they will obtain the necessary certifications is awarded this project. This is a requirement of this project in Adherence to Illinois Public Act 101-226 Sec 14.7 Preservation of Community Water Supplies Act and the level of training needed for protective coating personnel.

We appreciate this opportunity to be of service to you on this project. If you have any questions regarding our recommendation, please contact me at (630) 376-8322.

FOR DIXON ENGINEERING, INC

Todd Schaefer
Project Manager

**Frankfort, Illinois - 150,000 Gallon Spheroid (Frankfort Square)
2022 Water Tower Painting Project -May 17, 2022 - 2:00 P.M.**

	LC United	Seven Brothers	Maxcor	MW Cole
	Sterling Hgts,	Shelby Twp.,	New Lenox,	The Villages,
	MI	MI	IL	FL
Section 05 00 00				
Wet Interior Roof Hatch (1)				4,500
Pod removal & New Access Tube Cover(2)				7,200
Condensate Platform Ladder Extension (3)				2,500
Expansion Joint Replacement (4)				9,000
Fill Pipe Insulation Replacement (5)				9,000
Overflow Pipe Discharge Mod. (6)				3,000
Condensate Drain Line (7)				5,000
Mud Valve (8)				6,000
Fall Prevention Devices (9)				2,500
Roof Vent (10)				9,000
Cathodic Clips & Pressure Fitting (11)				1,000
Cathodic Covers (12)				1,200
Roof Handrail & Painter's Railing (12)				24,000
Antenna Cable Pens. In the Platform (13)				4,000
Sample Tap (15)				2,200
Fill Pipe Repair (16)				1,500
Fill Pipe Replacment - Alt. (17)				24,000
Total Section 05 (1-16)				91,600
Section 09 00 00				
Exterior Repaint w/ Containment (1)				233,500
Wet Interior Repaint (2)				66,400
Seam Sealer (3)				1,000
Dry Interior Repaint (4)				82,000
Pit Piping Repaint (5)				1,000
Total Section 09 (1-5)				383,900
Section 16 00 00				
Light Fixture Replacement (1)				7,000
Section 26 00 00				
Cathodic Protection System (1)				24,000
Project Total				506,500
Bid Bond				10%
Acknowledgement Adenndum 1				Yes
Acknowledgement Adenndum 2				Yes

**Frankfort, Illinois - 150,000 Gallon Spheroid (Frankfort Square)
2022 Water Tower Painting Project -May 17, 2022 - 2:00 P.M.**

	Dynamic Industrial	Tecorp	PT&T	
	Lansing,	Joliet,	Henderson,	
	IL	IL	KY	
Section 05 00 00				
Wet Interior Roof Hatch (1)		4,500	5,400	
Pod removal & New Access Tube Cover(2)		22,000	4,200	
Condensate Platform Ladder Extension (3)		9,000	3,000	
Expansion Joint Replacement (4)		18,000	10,900	
Fill Pipe Insulation Replacement (5)		2,500	10,000	
Overflow Pipe Discharge Mod. (6)		6,800	3,000	
Condensate Drain Line (7)		3,500	4,700	
Mud Valve (8)		8,500	6,000	
Fall Prevention Devices (9)		11,250	3,000	
Roof Vent (10)		9,500	10,000	
Cathodic Clips & Pressure Fitting (11)		2,000	1,200	
Cathodic Covers (12)		4,000	1,400	
Roof Handrail & Painter's Railing (12)		42,000	25,400	
Antenna Cable Pens. In the Platform (13)		8,500	4,700	
Sample Tap (15)		6,500	2,600	
Fill Pipe Repair (16)		23,000	1,800	
Fill Pipe Replacement - Alt. (17)		90,000	30,000	
Total Section 05 (1-16)		181,550	97,300	
Section 09 00 00				
Exterior Repaint w/ Containment (1)		297,500	225,600	
Wet Interior Repaint (2)		138,750	71,900	
Seam Sealer (3)		4,000	1,200	
Dry Interior Repaint (4)		72,000	71,900	
Pit Piping Repaint (5)		8,500	1,200	
Total Section 09 (1-5)		520,750	371,800	
Section 16 00 00				
Light Fixture Replacement (1)		5,500	8,200	
Section 26 00 00				
Cathodic Protection System (1)		22,000	29,000	
Project Total		729,800	506,300	
Bid Bond		10%	10%	
Acknowledge of Addendum 1		Yes	Yes	
Acknowledge of Addendum 2		Yes	Yes	

RESOLUTION NO. **22-XX**

A RESOLUTION AUTHORIZING THE EXECUTION OF A CONTRACT WITH P.T. FERRO CONSTRUCTION CO. FOR THE 2022 ROADWAY MAINTENANCE PROGRAM

WHEREAS, the Village's Annual Budget for FY 2022/2023 includes funding in the General Capital Development Fund in the amount of \$7,050,000.00 for the resurfacing and maintenance of various municipal streets within the Village of Frankfort; and

WHEREAS, the inventory of street segments included in the 2022 Roadway Maintenance Program was evaluated and selected based on number of factors, including the street inspection rating report; and

WHEREAS, the Village developed specifications for the project and solicited competitive bids from qualified contractors for this year's program which included 31 street segments totaling 9.4 miles; and

WHEREAS, at its June 8, 2022 meeting, the Committee of the Whole of the Village of Frankfort considered the 2022 Roadway Maintenance Program and forwarded a recommendation to the Village Board to approve an amount not to exceed \$7,050,000.00 for this year's program; and

WHEREAS, the bid proposals were publicly read aloud on Wednesday, June 15, 2022 and the low bid was approximately 7.5% above the estimated cost of \$6,418,589.64, which is due to inflationary costs that are prevalent throughout the construction industry; and

WHEREAS, Robinson Engineering reviewed the three bid proposals submitted for the above referenced project and recommended the contract be awarded to the low bidder, P.T. Ferro Construction Co., in the amount of \$6,899,399.60; and

WHEREAS, it is understood that the actual construction cost will be reduced by approximately \$480,000 by working with Village staff to remove streets from the contract in order to meet the budget amount; and

WHEREAS, the President and Board of Trustees of the Village of Frankfort have considered the contract and determined that it is in the best interests of the Village and its residents to enter into the contract.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS AS FOLLOWS:

That the Village President, on behalf of the Village of Frankfort, is hereby authorized and directed to execute a contract with P.T. Ferro Construction Co. for the 2022 Roadway Maintenance Program, in an amount not to exceed \$6,899,399.50, and that the Village Clerk is hereby authorized and directed to attest to the President's signature.

PASSED AND APPROVED this 20th day of June, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

DRAFT



June 15, 2022

To: Village of Frankfort
432 West Nebraska Street
Frankfort, IL 60423

Attn: Mr. Terry Kestel – Public Works Superintendent

RE: 2022 Roadway Maintenance Program
Contract Award Recommendation
(REL Project #22-R0041)

Dear Mr. Kestel:

We have reviewed the bids received on June 15, 2022 for the referenced project and find them to be as follows:

Contractor	Total Bid	Proposal Guarantee
P.T. Ferro Construction Co, Joliet, IL	\$6,899,399.60	Bid Bond
Austin Tyler Construction, Elwood, IL	\$7,384,929.89	Bid Bond
D. Construction, Inc., Coal City, IL	\$7,581,142.64	Bid Bond
<i>Engineer's Estimate</i>	<i>\$6,418,589.90</i>	

As seen on the enclosed itemized bid tabulation, the low bid is approximately 7.5% above the estimated cost of \$6,418,589.64. This is due unfortunately to inflationary costs that are prevalent throughout the construction industry and have been increasing on a weekly basis.

We recommend that the Village of Frankfort award the contract for the 2022 Roadway Maintenance Program to P.T. Ferro Construction Co. in the amount of Six Million Eight Hundred Ninety-Nine Thousand Three Hundred Ninety-Nine Dollars and Sixty Cents (\$6,899,399.60). It is understood that the actual construction cost will be reduced by approximately \$480,000 by working with Village Staff to delete streets from the contract in order to meet the budget amount.

If you have any questions, or need additional information, please contact me at your convenience.

Very truly yours,

Van Calombaris, PE
Director of operations
(815) 412-2014

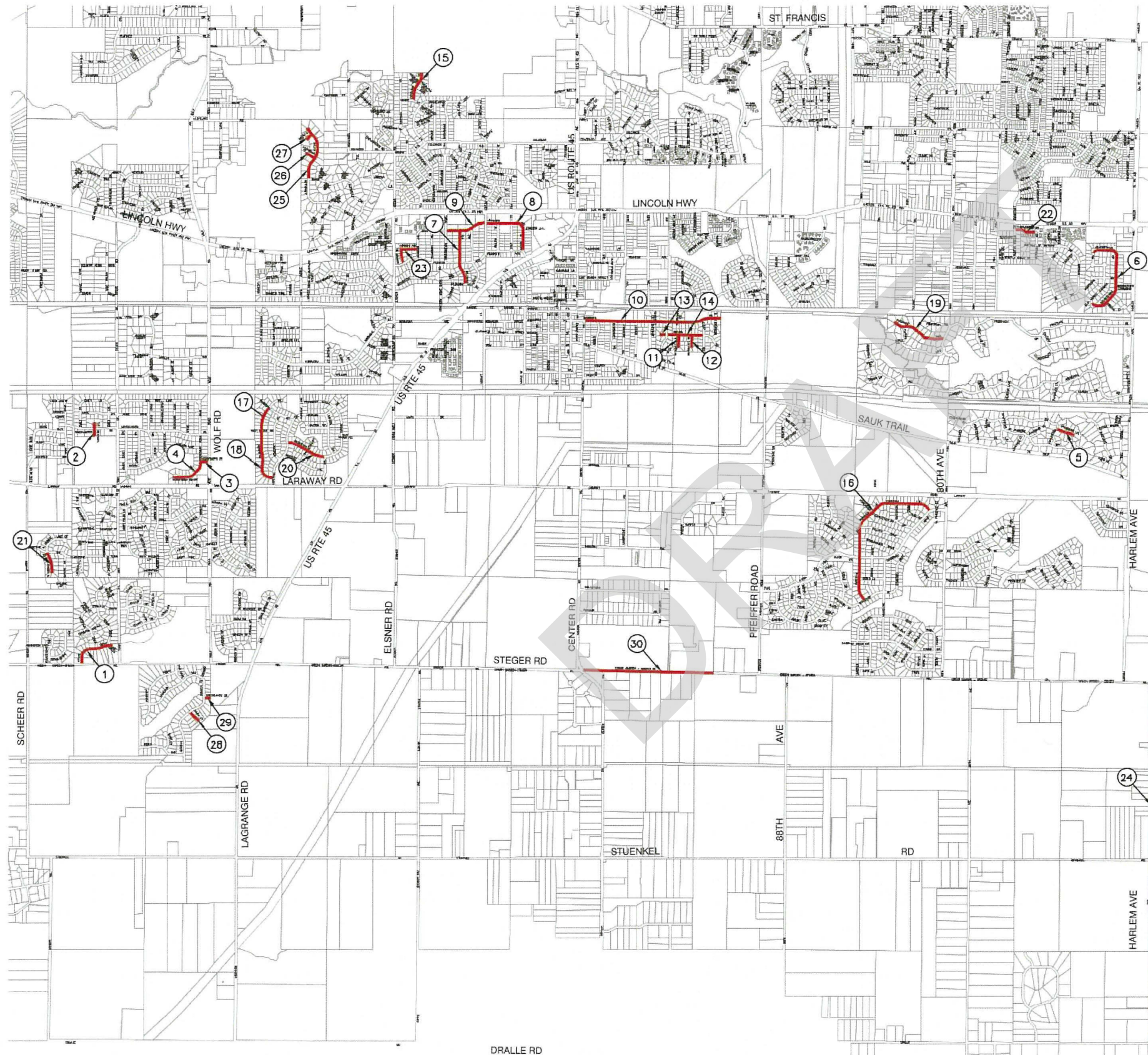
vcalombaris@reltd.com

R:\2020-2024\2022\22-R0041.FFL_Bid and Contract Documents\21-R0041 Award Recommendation Letter.docx

Encl. Bid Tabulation

VILLAGE OF FRANKFORT, ILLINOIS

2022 ROADWAY MAINTENANCE PROGRAM




REVISED STREET LIST

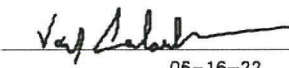
PROJECT LIMITS:

1	AZURE DRIVE	STEGER ROAD	SUN RIVER DRIVE
2	CAROLINE COURT	SOUTH END	NORTH END
3	CEDARWOOD DRIVE	WOLF ROAD	CEDARWOOD COURT
4	CEDARWOOD COURT	CEDARWOOD DRIVE	WEST END
5	DRUMMORE LANE	HIGHLAND ROAD	EAST END
6	GEORGETOWN ROAD	OLD NORTH CHURCH ROAD	OLD NORTH CHURCH ROAD
7	HAMILTON AVENUE	JOHNSON AVENUE	PLEASANT HILL ROAD
8	JOHNSON AVENUE	FRANKLIN AVENUE	LOCUST STREET
9	JOHNSON AVENUE	LOCUST STREET	WASHINGTON PARKWAY
10	NEBRASKA STREET	CENTER ROAD	EAST END
11	NEVADA COURT A	NEVADA STREET	SOUTH END
12	NEVADA COURT B	NEVADA STREET	SOUTH END
13	NEVADA COURT	LARCH ROAD	WEST END
14	NEVADA STREET	LARCH ROAD	AZALEA ROAD
15	OVERLOOK DRIVE	WOODS STREET	NORTH END
16	PARKVIEW LANE	PINERIDGE DRIVE	STANFORD DRIVE
17	PEMBROOK DRIVE	22145 PEMBROOK DRIVE	PEMBROOK COURT
18	PEMBROOK DRIVE	22145 PEMBROOK DRIVE	HERITAGE DRIVE
19	PHEASANT TRAIL	FAIRWAY LANE	HAWTHORNE DRIVE
20	PRINCETON CIRCLE	HERITAGE DRIVE	REGENCY DRIVE
21	SOUTH PEBBLE LAKE COURT	FLAGSTONE TURN	SOUTH END
22	THISTLEWOOD LANE	HUNTERWOODS DRIVE	DEERPATH ROAD
23	VERMONT ROAD	FRANKLIN AVENUE	JOHNSON AVENUE
24	HARLEM AVENUE	STEGER ROAD	DRALLE ROAD
25	SOUTH BUTTERNUT CIRCLE	NORTH BUTTERNUT CIRCLE	NORTH END
26	HORNBEAM COURT	SOUTH BUTTERNUT CIRCLE	WEST END
27	CATALPA COURT	SOUTH BUTTERNUT CIRCLE	WEST END
28	BAHIA COURT	JACKSON BRANCH	EAST END
29	GRASSLANDS DRIVE	JACKSON BRANCH	EAST END
30	STEGER ROAD	CENTER ROAD	EASTERN TOWNSHIP LIMIT

LEGEND

 STREETS - LENGTH: 45,250 FEET = 8.6 MILES

PREPARED BY OR UNDER THE
DIRECT SUPERVISION OF:



06-16-22



LICENSE EXPIRES 11/30/23

PREPARED BY:



© COPYRIGHT 2022
ILLINOIS DESIGN FIRM REGISTRATION NO. 184001128

PROJECT NO. 22-R0041

SHEET NO. 1 OF 8

22R0041-COVR-01 - P01

Memo

To: Committee of the Whole
From: Terry Kestel
Date: June 1, 2022
Re: 2022 Roadway Maintenance Program – Award Consideration

A total of \$7,000,000 is identified in the 2022/2023 Capital Budget for the Roadway Maintenance Program. Staff identified 31 streets (9.4 miles of roadway) to be included in the Roadway Maintenance Program. This included the 24 streets identified in poor condition and 7 streets from the fair/poor rating. The streets were identified due to the amount of pavement cracking, raveling, potholes, and settling. Streets not selected for resurfacing but displaying smaller areas of distress will receive full depth patching to repair the areas of asphalt failure. The map and list of streets identified for resurfacing is attached.

The estimated costs for the program are as follows:

Estimate construction cost (resurfacing, crack seal, paint striping, Class D patching) = \$6,400,000

Estimated design engineering fee = 4% of awarded amount = 4% of \$6,400,000 = \$256,000

Estimated construction engineering fee = Based on a T&M basis = Estimated at 3.5% = \$224,000

Estimated material testing (subconsultant) = \$40,000

Total Cost = \$6,920,000, leaving \$80,000 for construction contingency

The bid opening for this project will be June 15th. With the size of this project and amount of construction time needed for completion, the reviewed bids will be brought to the June 20th Village Board meeting for award. If awarded on June 20th, construction is anticipated to begin the week of June 27th. The contract completion date is November 1st.

Affirmative Motion

Recommend the Committee approve an amount not to exceed the \$7,050,000 budgeted for the 2022 Roadway Maintenance Program and forward to Village Board for approval.

To provide an update on the progress of the Roadway Maintenance Program, I have added some additional information.

- The Village has 541 street segments. This is not the number of streets within the Village, but the street segments based on condition. An example is Nebraska Street which is multiple segments, this is due to different construction times of the roadway through Old Town, Krusmark, Suttondale, and Cardinal Lake.
- Streets are rated between 6 and 1, 6 being an excellent rated street and a 1 being a poor rated street. The 2022 ratings are listed below.
 - o 6 Rating - 101 Street segments
 - o 5 Rating - 195 Street segments
 - o 4 Rating - 86 Street segments
 - o 3 Rating - 94 Street segments
 - o 2 Rating - 41 Street segments
 - o 1 Rating - 24 Street segments
- The 2021 and proposed 2022 program addressed all the street segments in the lowest (1) rating for each year. Previously the program was unable to address all the poor rated streets identified each year. This year 7 street segments from the (2) rating will be included in the program. The goal for this program going forward is to address 2 and 3 rated streets with none falling to the 1 rating.
- Roadways have a useful life expectancy of 15 to 20 years depending on usage and weather. With the increased funding to this program, staff and Robinson Engineering will continue to monitor the data on how effective this increase is to get the streets to above average ratings.

June 20, 2022

Unanimous Consent Agenda

D. PLAN COMMISSION REPORT SUMMARY

1. HOMESTEAD CENTER: SW CORNER OF WOLF AND LARAWAY ROADS – FINAL PLAT APPROVAL

At its September 20, 2021 meeting, the Village Board approved a final plat for the Homestead Commercial Development, to create a two-lot commercial subdivision. The applicant is now seeking changes to the final plat in order to reroute some of the underground utilities. The only change from the formerly approved plan is the addition of a 10' wide public utility and drainage easement along the east property line to reroute the watermain.

At the June 9, 2022 Plan Commission meeting held on the project, the Commissioners forwarded a unanimous (7-0) recommendation to the Village Board to approve the final plat for the Homestead Center.

Motion: *Accept the Plan Commission recommendation and approve the Final Plat for Homestead Center, located at the southwest corner of Wolf and Laraway Roads, prepared by DesignTek Engineering, Inc., revised 05.21.2022, in accordance with the reviewed plans and subject to any necessary technical revisions prior to recording.*

2. LAMARCHE RESIDENCE BUILDING MATERIALS VARIANCE: 170 VAIL DRIVE - ORDINANCE

Property Owners William and Stacey LaMarche request the granting of a building materials variance to permit the use of non-masonry siding in conjunction with proposed first and second floor additions and exterior remodeling of their two-story home located at 170 Vail Drive. The existing first floor vinyl siding will be replaced with horizontally hung LP Smart Siding which is a fiber cement board product. The existing second floor vinyl siding will be replaced with vertically hung board and batten siding.

At the June 9, 2022 Public Hearing on the project, the Plan Commission forwarded a unanimous (7-0) recommendation to the Village Board to approve the building materials variance request.

Motion: *Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance granting a building materials variance to permit the use of non-masonry siding on the first floor of the home located at 170 Vail Drive, in accordance with the reviewed plans, public testimony, and Findings of Fact.*

DRAFT

Final Plat: Homestead Center Resubdivision

Chris Gruba summarized the staff report. The only change to the plat was an added utility easement. Gruba noted that some language on the plat should be changed to remove mention of a resolution.

Motion (#2): Motion to recommend that the Village Board approve the Final Plat of Subdivision for Homestead Center, subject to any technical revisions prior to recording.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (7-0)

DRAFT

Project: Homestead Commercial
Meeting Type: Plat Approval
Request: Plat approval of a two-lot commercial subdivision
Location: Southwest Corner of Wolf and Laraway Roads
Applicant: Brianne Development, Inc.
Prop. Owner: Brianne Development, Inc.
Representative: Applicant

Site Details

Lot Size: ±4.52 Acres
PIN(s): 19-09-31-202-030-0000
Existing Zoning: B-2
Prop. Zoning: N/A
Lots: 2 lots (proposed)

Figure 1: Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Vacant	General Comm.	B-2
North	Commercial	General Comm.	B-2/R-2
South	Residential	Single Fam. Res.	R-2
East	Undeveloped	General Comm.	B-2
West	Residential	Single Fam. Res.	R-2

Project Summary

On November 2, 2020, the Village Board passed two ordinances approving a PUD for a 9,600 square-foot shopping center and a Special Use Permit for outdoor seating (ordinances 3270 & 3271). A final plat for the project was approved later by the Village Board on September 20, 2021, to create a two-lot commercial subdivision for Homestead Commercial. The applicant is now seeking changes to the final plat in order to reroute some of the underground utilities. The only change from the formerly approved plan is the addition of a 10' wide public utility and drainage easement along the east property line. The changes are requested to reroute the watermain.

The building that was approved is being constructed on Lot 1. As the project for this parcel was approved as a PUD, any proposed building for Lot 2 would have to return to the Plan Commission for review under a Major PUD change.

Attachments

- Final Plat, received by staff 5.31.22
- Aerial Photograph, prepared by Staff, dated 1.2.20
- Formerly approved site plan, floorplan, landscape plan and building elevations approved on 11.2.20 (for reference only)

Analysis

In consideration of the requests, staff offers the following points of discussion:

- The B-2 zone district requires a minimum lot size of 20,000 square feet (0.46 acres). Lot 1 measures 2.03 acres and Lot 2 measures 2.14 acres, meeting this requirement.
- The final plat illustrates cross-access, public utility & drainage easements, with dimensions noted on the plat.
- The final plat has been reviewed by the Utility Department as well as the Village's engineering consultant for accuracy of public utility and drainage easements, the cross-access easements and other housekeeping items.

Affirmative Motions

1. Recommend the Village Board approve the final plat for Homestead Center in accordance with the reviewed plans and public testimony, subject to any necessary technical revisions prior to recording.

DRAFT



Homestead Commercial

Landscape Plan
 Homestead Commercial
 Frankfort, Illinois

PREPARED FOR:
 CLIENT:
 LOCATION:
 PROJECT:
 SCALE:
 DATE:
 SHEET
 L-1

1. ALL PLANTINGS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE.
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39. ALL PLANTINGS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE.
40. ALL PLANTINGS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE.



MULCH SCHEDULE

TYPE OF	THICKNESS
WOOD CHIPS	2 INCHES
COMPOST	2 INCHES

PLANT SCHEDULE

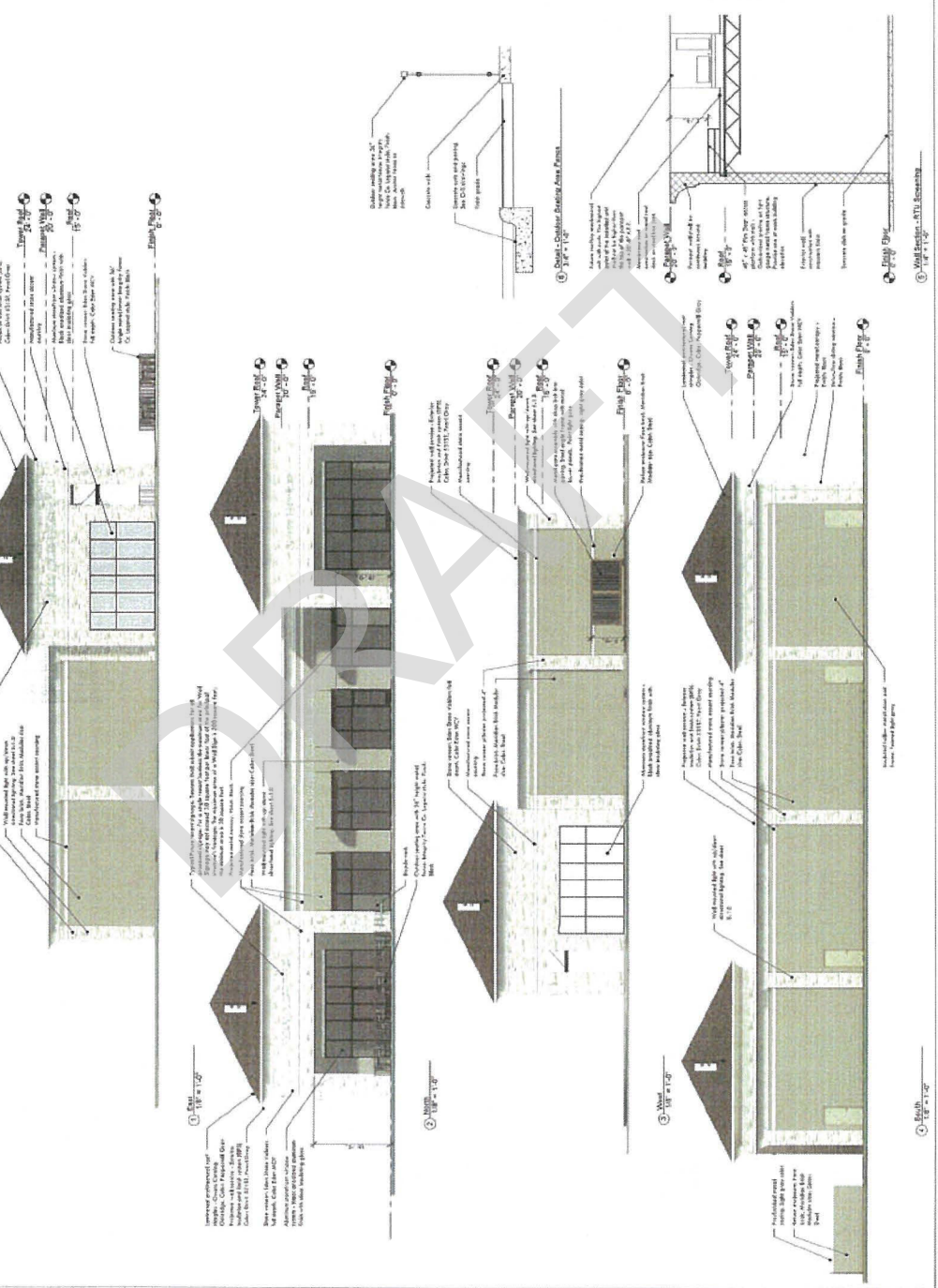
PLANT NAME	QUANTITY	PLANT SIZE	PLANT TYPE
PLANT 1	10	12\"/>	



1825 Yonge St. Suite 100
Toronto, ON M4T 2B7
Tel: 416-924-1000
www.askstudio.net

Project Name: SWC Laraway & Wolf Retail Elevations
Date: 2014.02.27
Drawn By: S.H. (S.H.1403)
Checked By: S.H. (S.H.1403)
Scale: 1/8" = 1'-0"

ASK-2.0



ASK Architectural Studio Ltd.

ASK-2.0



View from Laraway Rd

as
 ARCHITECTURAL STUDIO, LTD.
 NANCY SHAW KYLE
 ARCHITECT
 705.975-4237
 www.archstudio.biz

No.	Description	Unit

Brianne Development, Inc.
 SWC Laraway & Wolf
 Retail
 Visualizations

Project Number: 2019-032
 Date: 8-10-2020
 Drawn by: MLB
 Checked by: SAS

ASK-3.0

11/15/2020 10:02:14 AM



FINAL PLAT OF HOMESTEAD CENTER

BEING A RE-SUBDIVISION OF LOT 110 (EXCEPTING THEREFROM THAT PART DEDICATED TO THE HIGHWAY DEPARTMENT OF WILL COUNTY, ILLINOIS FOR PUBLIC RIGHT OF WAY) IN HOMESTEAD SUBDIVISION, UNIT 1, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

RESERVED FOR THE RECORDER OF WILL COUNTY

NO.	DATE	DESCRIPTION	BY
1	08/17/21	PER VILLAGE COMMENTS - 2021-04-06	SJL
2	08/24/21	PER VILLAGE COMMENTS - 2021-08-24	SJL
3	09/21/22	ADD P.U. & D.E. ON LOT 1	SJL

BRIANNE DEVELOPMENT, INC.
18811 S. 90TH AVENUE - SUITE L
MOKENA, ILLINOIS 60448

FINAL PLAT
FOR
HOMESTEAD CENTER
FRANKFORD, ILLINOIS

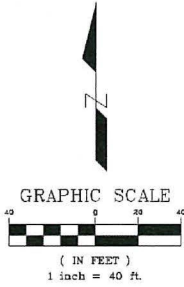
DESIGNTEK ENGINEERING, INC.
COURTESY TRAC, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4692
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION
Project No.: 19-0020
Scale: 1" = 40'
Date: 04/06/2021
Field Date: 12/23/2019
Drawn By: SJL
Checked By: MJF

1
OF
2

FINAL PLAT



BASIS OF BEARING
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

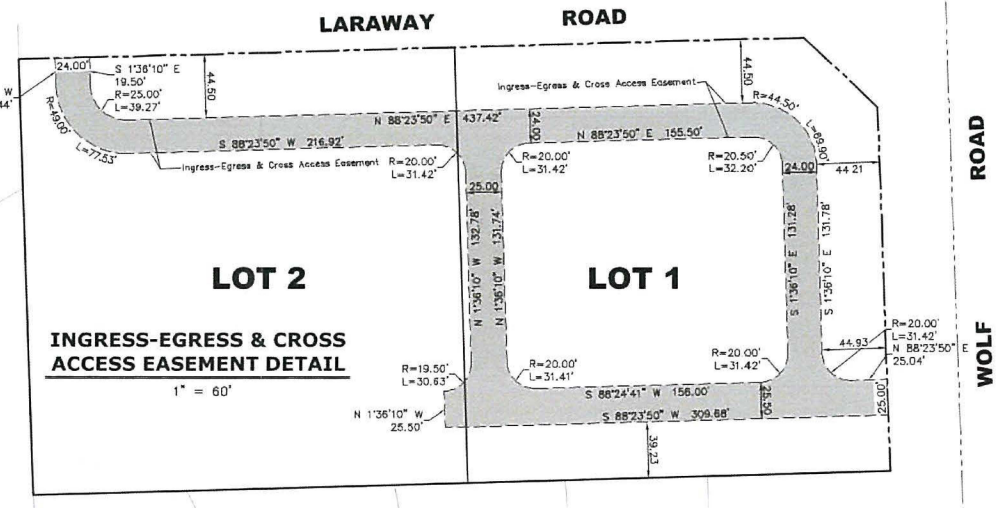
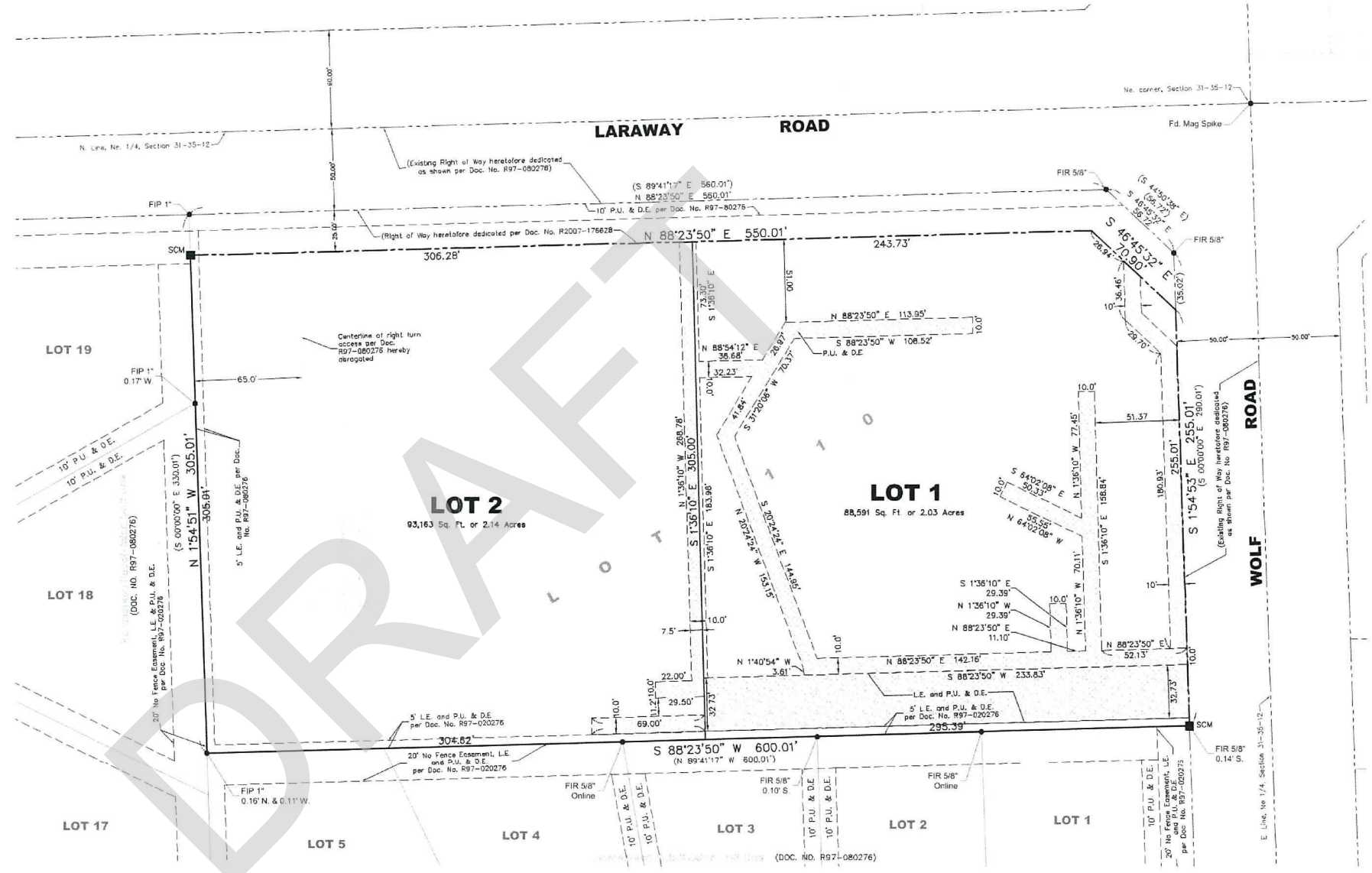
PARCEL IDENTIFICATION NUMBER
19-09-31-202-030-0000

PROJECT DATA
GROSS AREA (TOTAL SITE): 181,754 SQ. FT. / 4.17 AC.
LOT 1: 88,591 SQ. FT. / 2.03 AC.
LOT 2: 93,163 SQ. FT. / 2.14 AC.

LEGEND		ABBREVIATIONS	
●	FIP FOUND IRON PIPE	FD.	FOUND
○	FIR FOUND IRON ROD	(###)###	RECORD DIMENSION
○	SIP SET 5/8" x 24" IRON PIPE	####	MEASURED DIMENSION
○	SMN SET MAG NAIL	FIP	FOUND IRON PIPE
■	SCM CONCRETE MONUMENT	FIR	FOUND IRON ROD OR PIN
---	BOUNDARY LINE	P.U.E.	PUBLIC UTILITY EASEMENT
---	LOT LINE	D.E.	DRAINAGE EASEMENT
---	RIGHT-OF-WAY LINE	B.S.L.	BUILDING SETBACK LINE
---	CENTERLINE	L.E.	LANDSCAPE EASEMENT
---	EXISTING EASEMENT LINE	SQ. FT.	SQUARE FEET
---	PROPOSED EASEMENT LINE	L	ARC DIMENSION
---		R	RADIUS DIMENSION
---	PROPOSED INGRESS-EGRESS & CROSS ACCESS EASEMENT		
---	PROPOSED PUBLIC UTILITY & DRAINAGE EASEMENT		
---	PROPOSED LANDSCAPE AND PUBLIC & UTILITY DRAINAGE EASEMENT		

- NOTES**
- VEHICULAR ACCESS FOR LOTS 1 & 2 TO WOLF AND LARAWAY ROADS SHALL BE VIA THE INGRESS-EGRESS & CROSS ACCESS EASEMENTS SHOWN HEREON.
 - THE LANDSCAPE EASEMENT SHOWN HEREON SHALL BE MAINTAINED BY THE CURRENT OR SUBSEQUENT OWNERS.
 - THE INGRESS-EGRESS & CROSS ACCESS EASEMENTS SHALL BE MAINTAINED BY THE CURRENT & SUBSEQUENT OWNERS.

RECEIVED
By Christopher Gruba at 1:14 pm, May 31, 2022



L:\Projects\2021\19-0020\2021\19-0020\19-0020.dwg Plot Date: 04/06/2021 11:23:21 AM Plot: 1 of 2

ORDINANCE NO. 33XX

**AN ORDINANCE GRANTING A BUILDING MATERIALS VARIANCE TO CERTAIN
PROPERTY LOCATED WITHIN THE LIMITS OF THE
VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS
(LAMARCHE RESIDENCE – 170 VAIL DRIVE)**

WHEREAS, an application for a certain variance for real property within the Village of Frankfort, legally described below, was filed by William and Stacey LaMarche, Applicants and Owners, Frankfort, Illinois 60423; and

WHEREAS, the Subject Property, located at 170 Vail Drive, is currently zoned R-2, Single Family Residential District; and

WHEREAS, the Owners request the granting of a building materials variance to permit the use of non-masonry siding on the first floor of their existing home in conjunction with proposed first and second floor additions and exterior remodeling; and

WHEREAS, a timely Notice of a Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owners' application for a certain zoning variance for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owners' application for a certain zoning variance for the Subject Property; and

WHEREAS, the Board of Trustees found, based upon evidence presented to it:

1. That the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in an R-2 zoning district.
2. That the plight of the Owners is due to unique circumstances; and
3. That the variation will not alter the essential character of the locality, and that the requested zoning variance should be granted.

WHEREAS, the legal description of the Subject Property at the time of the filing of the variance application is as follows:

PIN: 19-09-21-208-031-0000

LOT 47, IN CREEKVIEW UNIT 2, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 21, IN TOWNSHIP 35 NORTH, AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 30, 1977, AS DOCUMENT NO. R77-32462, AND AMENDED BY PLAT OF

ADDENDUM RECORDED FEBRUARY 27, 1978, AS DOCUMENT NO. R78-06575; AND AMENDED BY INSTRUMENT RECORDED APRIL 6, 1978, AS DOCUMENT NO. R78-11778, AND CERTIFICATE OF AMENDMENT RECORDED JANUARY 26, 1979, AS DOCUMENT NO. R79-02946; IN WILL COUNTY, ILLINOIS.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. VARIANCE

That the requirements imposed under the R-2 zoning classification of the Village of Frankfort Zoning Ordinance are hereby varied from Article 6, Section B, Part 2(g)(2) for the above-described Subject Property located at 170 Vail Drive, as follows:

1. A building materials variance is granted to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling, in accordance with the reviewed plans, public testimony, and Findings of Fact.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2022; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA PETROW	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this ___ day of _____, 2022.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

DRAFT

Public Hearing: 170 Vail Drive – Exterior Materials Variation

Mike Schwarz summarized the case. The variation request is to allow non-masonry materials on the first floor of the building and the proposed addition.

Chair Rigoni asked the applicant to come to the podium.

Chair Rigoni swore in the applicant, Billy LaMarche.

The applicant approached the podium. He stated he had nothing to add.

Chair Rigoni asked the Commission if there were any initial questions from the PC/ZBA.

There was no response.

Chair Rigoni asked if the existing brick would be reduced.

Staff responded that it would not.

Chair Rigoni asked if there was anyone in the audience wishing to speak on the request.

Gerald O’Sullivan approached the podium. He stated that he was a neighbor of the applicant, and that the applicant and his family are fine people. They were going to do a nice job with the project.

Chair Rigoni asked if the color photo the applicant had in hand was the same as the one in the packet.

The applicant said yes.

Motion (#3): Motion to close the public hearing.

Motion by: Schaeffer

Seconded by: Knieriem

Approved: (7-0)

Chair Rigoni asked the Commission if they had any questions in regard to the variation.

There were no questions.

Chair Rigoni noted that the change in materials on the house were an upgrade, and asked staff if the variation was required because of the addition.

Staff responded that the variation applied to the whole house, but the variation was required because of the proposed addition.

Motion (#4): Motion to recommend that the Village Board approve a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with

proposed first and second floor additions and exterior remodeling in the R-2 Single-Family Residential District located at 170 Vail Drive.

Motion by: Markunas

Seconded by: Schaeffer

Approved: (7-0)

DRAFT

Project: LaMarche Residence First and Second Floor Additions and Exterior Remodeling
Meeting Type: Public Hearing
Request(s): Request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling in the R-2 Single-Family Residential District located at 170 Vail Drive
Location: 170 Vail Drive
Applicant: William and Stacey LaMarche
Prop. Owner: Same as above
Consultants: Gabe Garcia, Ideal Designs; Richard Vane, MG2A
Representative: None
Report By: Michael J. Schwarz, AICP

Site Details

Lot Size: 14,410 SF
PIN(s): 19-09-21-208-031-0000
Existing Zoning: R-2, Single-Family Detached Residential
Prop. Zoning: N/A
Building(s) / Lot(s): 1 buildings / 1 lot
Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Single-family Residential	Single-Family Detached Residential	R-2
North	Single-family Residential	Single-Family Detached Residential	R-2
South	Open Space	Environmental Conservation	B-2
East	Single-family Residential	Single-Family Detached Residential	R-2
West	Stormwater Detention	Single-Family Detached Residential	R-2

Figure 1: Location Map



Project Summary

The applicants, William and Stacey LaMarche, are seeking to add first and second floor additions and remodel the exterior of their two-story home located at 170 Vail Drive. The applicants are requesting a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor on a proposed addition in the R-2 Single-Family Residential District.

In summary, the applicants intend to construct a 490 square-foot addition on the first floor at the rear of the house and an 872 square-foot addition on the second floor of the house. According to the Building Data information on Sheet T-1 of the architectural plans, the existing house contains 2,682 square feet of floor area including the 843 square-foot basement (the Frankfort Township Assessor property information indicates that the existing house contains a gross living area of 1,792 square feet). The existing exterior brick at the front entry would remain but would be repainted. Eight sets of front window shutters would be removed as well as a decorative hexagonal Wypon located below the front gable. The existing front door and garage door will be replaced. The existing asphalt shingle-roof would be replaced with a new asphalt shingle roof with the exception that several new smaller roofed areas would be added, including over two second-story sets of windows on the front elevation, over the front entry and

over the garage door. The existing first floor vinyl siding would be replaced with horizontally hung LP® Smart Siding which is a fiber cement board product. The existing second floor vinyl siding would be replaced with vertically hung board and batten siding. Proposed changes to the rear of the house include removal of the brick chimney, replacement of existing windows and additional new windows, a new first-floor gable over the rear entry, and a new second-story gable over new double-hung windows.

Attachments

- Applicant Findings for Variation Standards
- 2020 Aerial Photograph from Will County GIS
- Photographs from site visit on June 1, 2022
- Engineering Site Plan dated May 25, 2022 and received May 25, 2022
- Architectural Plans dated April 28, 2022 and received April 28, 2022
- PC/ZBA Evaluation Form for Variation Findings of Fact

Analysis

In consideration of the requests, staff offers the following points of discussion:

- The following table is provided to compare the subject property with the R-2 District dimensional and other standards:

	R-2 Single-Family Detached Residential District Requirement	Subject Property	Comments
Minimum Lot Size (square feet) (Single-Family Dwelling)	15,000 SF	14,410 SF	Platted as Lot 47 in Creekview Unit 2 Subdivision (1977), the subject lot is legally non-conforming with respect to area
Minimum Lot Width (Feet)	100 feet	102 feet (approximate)	
Minimum Lot Depth	150 feet	130 feet (approximate)	Platted as Lot 47 in Creekview Unit 2 Subdivision (1977), the subject lot is legally non-conforming with respect to lot depth
Minimum Required Yards (feet)			
<ul style="list-style-type: none"> • Front • Side • Rear 	<ul style="list-style-type: none"> • 30 feet • Total 25 feet; min. 10 feet on any side • 30 feet 	<ul style="list-style-type: none"> • 30 feet • Total 38.8 feet; 12 feet on east side • 39.5 feet 	
Maximum Height (feet)	35 feet	28 feet, 6 inches	
Maximum Lot Coverage	20% (for a Two-Story)	11% existing 17.5% proposed	
Maximum Impervious Coverage	40%	23% existing (3,290 SF) 25% proposed (3,640 SF)	
Maximum Rear Yard Coverage	30%	0%	
Minimum Gross Floor Area (square feet, includes basement)	2,600 (for a two-story)	2,682 SF existing 4,044 SF proposed	

Minimum Basement Size	80% of the ground floor area (80% of 1,640 SF = 1,312 SF)	843 SF	Existing basement area is legally non-conforming
------------------------------	---	--------	--

- Although previous Village approvals of variation requests do not set any precedent, the following information is provided as background information. On October 5, 2015, the Village Board approved a similar request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home for the Claudette Lesiak residence located at 595 Vail Drive, which is five houses north of the subject property, on the opposite side of the street (Ordinance No. 2989). In that case the owners desired to replace the existing cedar plywood siding with vinyl siding. At the September 24, 2016 Plan Commission / Zoning Board of Appeals meeting, a motion was made and seconded to recommend that the Village Board approve a building materials variance to permit the use of Crane Board, solid core, board and batten style vinyl siding on the home located at 595 Vail Drive in accordance with the reviewed plans and public testimony (approved 4-1).

Standards for Variations

The applicants are requesting a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling.

For reference during the workshop, Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request.

- a. The Zoning Board of Appeals shall not vary the provisions of this Ordinance as authorized in this Article 3, Section B, unless they have made findings based upon the evidence presented to it in the following cases:
 1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;
 2. That the plight of the owner is due to unique circumstances;
 3. That the variation, if granted, will not alter the essential character of the locality.
- b. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making this determination, whenever there are practical difficulties or hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:
 1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;
 2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
 4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;
 5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood;
7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Affirmative Motion _____

For the Commission's consideration, staff is providing the following potential affirmative motion.

1. Recommend that the Village Board approve the request for a variation from Article 6, Section B, Part 2(g)(2) of the Village of Frankfort Zoning Ordinance to permit the use of non-masonry siding on the first floor of an existing home in conjunction with proposed first and second floor additions and exterior remodeling in the R-2 Single-Family Residential District located at 170 Vail Drive, in accordance with the submitted plans, public testimony, and Findings of Fact.

DRAFT

RECEIVED

By Mike Schwarz at 8:51 am, May 02, 2022

VILLAGE OF
FRANKFORT
INC • 1879

Application for Plan Commission / Zoning Board of Appeals Review
Standards of Variation

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided. To assist the Zoning Board of Appeals in their review of the variation request(s), please provide responses to the following “Standards of Variation.” Please attach additional pages as necessary.

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;

Yes, the property can yield a substantial return

2. That the plight of the owner is due to unique circumstances; and

There are no hardship for the request of the variance. We are just trying to create more aesthetics

3. That the variation, if granted, will not alter the essential character of the locality.

No, it will not alter and add character to the neighborhood and area

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence. Please provide responses to the following additional “Standards of Variation.”

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;

Yes due to overall costs, time and lack of being waterproof of brick.

2. That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;

Potentially, but I cannot truly answer this. We are requesting due to the adaptability brick has with the intense weather the Midwest throws at us. Between chipping, cost of repairs, the mold potential (which my daughter and I are allergic too), composite makes more sense for our family home.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;

No, this home is being renovated to be our forever home

4. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;

Not at all

5. That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;

No, it will absolutely not affect any other home or property.

6. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or

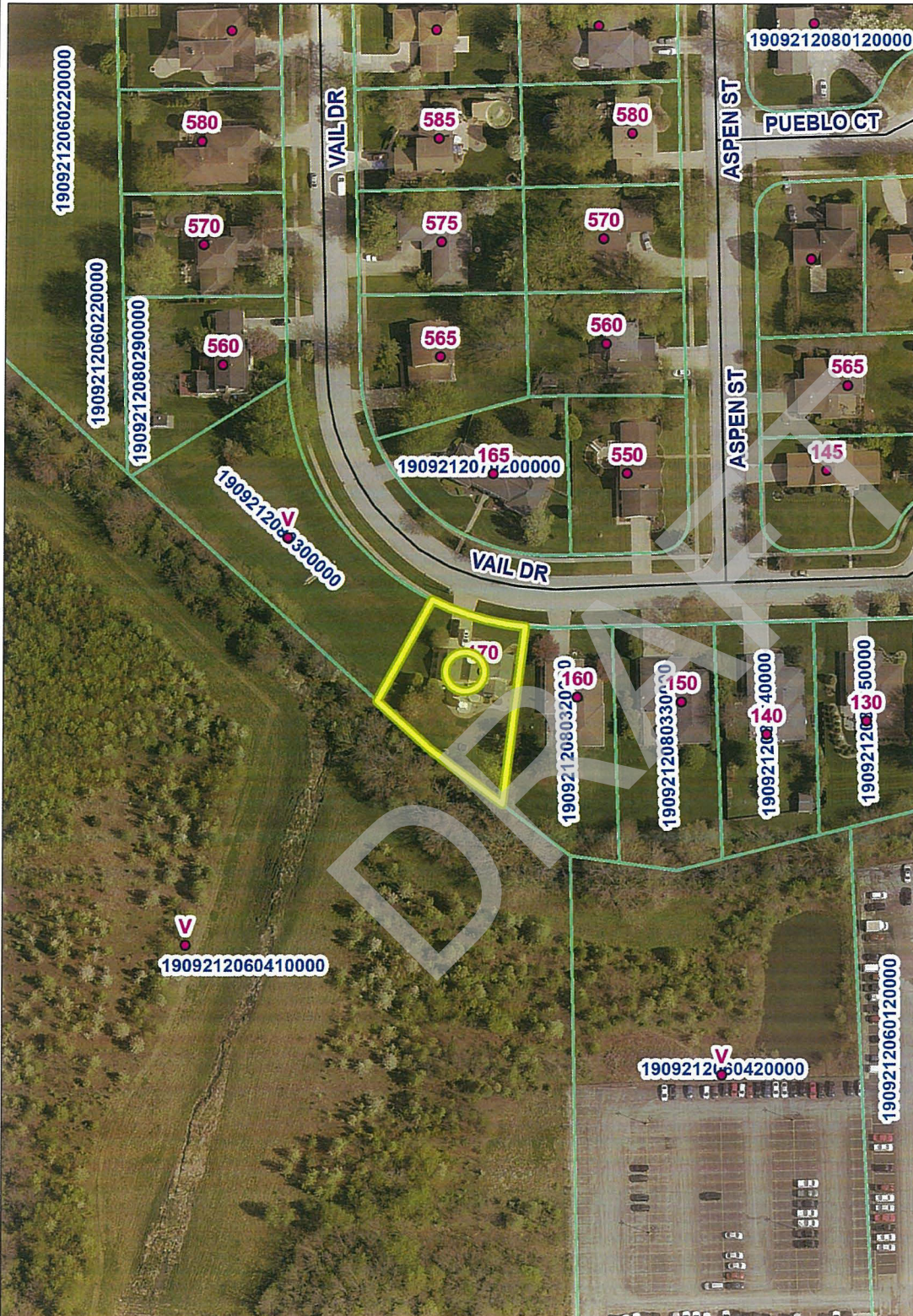
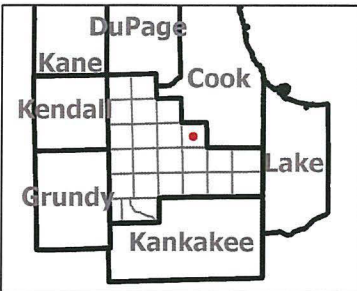
The requested changes to the interior and exterior of the home, has been appraised well over comps in the neighborhood, which will ultimately bring value to the neighborhood

7. That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

No we will be using composite, if approved which is also very fire resistant and weather durable



Aerial Photo - 170 Vail Drive



Legend

- Address Points
- Roadways
 - Federal
 - State
 - County
 - Local and Private
- Parcels LY
- Townships

Notes

Date: 5/27/2022

1: 2,257

Projection
WGS_1984_Web_Mercator_Auxiliary_Sphere

Disclaimer of Warranties and Accuracy of Data: Although the data developed by Will County for its maps, websites, and Geographic Information System has been produced and processed from sources believed to be reliable, no warranty, expressed or implied, is made regarding accuracy, adequacy, completeness, legality, reliability or usefulness of any information. This disclaimer applies to both isolated and aggregate uses of the information. The County and elected officials provide this information on an "as is" basis. All warranties of any kind, express or implied, including but not limited to the implied warranties of merchantability, fitness for a particular purpose, freedom from contamination by computer viruses or hackers and non-infringement of proprietary rights are disclaimed. Changes may be periodically made to the information herein; these changes may or may not be incorporated in any new version of the publication. If you have obtained information from any of the County web pages from a source other than the County pages, be aware that electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended that careful attention be paid to the contents of any data, and that the originator of the data or information be contacted with any questions regarding appropriate use. Please direct any questions or issues via email to gis@willcountyillinois.com.





DRAFT

VILLAGE OF
FRANKFORT
 INC • 1879

Standards of Variation Commissioner Evaluation Form

Article 3, Section B, Part 3 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Zoning Board of Appeals must use to evaluate every variation request. The Zoning Board of Appeals must answer the following three findings favorable to the applicant based upon the evidence provided.

	STANDARD	NOTES	MEETS	
1.	That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone;		YES	NO
2.	That the plight of the owner is due to unique circumstances;		YES	NO
3.	That the variation, if granted, will not alter the essential character of the locality.		YES	NO

For the purpose of supplementing the above standards, the Zoning Board of Appeals also determines if the following seven facts, favorable to the applicant, have been established by the evidence.

	STANDARD	NOTES	MEETS	
1.	That the particular physical surroundings, shape or topographical conditions of the specific property involved will bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations was carried out;		YES	NO

2.	That the conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;		YES	NO
3.	That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;		YES	NO
4.	That the alleged difficulty or hardship has not been created by any person presently having an interest in the property;		YES	NO
5.	That the granting of the variation will not be detrimental to the public welfare or unduly injurious to other property or improvements in the neighborhood in which the property is located;		YES	NO
6.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood; or		YES	NO
7.	That the proposed variation will not impair an adequate supply of air to adjacent property, substantially increase the danger of fire, otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.		YES	NO

LEGEND

- + 730.00 - EXISTING SPOT ELEVATION
- 730--- - EX. GROUND CONTOUR (PRE-SUBDIVISION)
- (---)--- - EXISTING STORM SEWER
- (---)--- - EXISTING SANITARY SEWER
- ⊙ - EXISTING STORM CATCH BASIN
- ⊙ - EXISTING SANITARY MANHOLE
- ← - PROPOSED FLOW DIRECTION ARROW
- PXXX.X X - PROPOSED SPOT ELEVATIONS
- TCXXX.XX X - PROPOSED TOP OF CURB ELEVATIONS
- FGF-XXX.XX - SUGGESTED FINISHED GARAGE FLOOR ELEVATION
- T/F-XXX.XX - SUGGESTED TOP OF FOUNDATION ELEVATION
- FBF-XXX.XX - SUGGESTED FINISHED BASEMENT FLOOR ELEVATION
- W---W--- - PROPOSED WATER SERVICE, 1.5" MIN. TY K COPPER
- S---S--- - PROPOSED SANITARY SERVICE, 6" MIN. PVC
(WATER & SEWER SERVICES TO BE CONSTRUCTED PER LOCAL REQUIREMENTS. FIELD VERIFY EX. SERVICE LOCATIONS & SIZING PRIOR TO CONSTRUCTION)

- ABBREVIATIONS**
- P.U. or P.U.E. - PUBLIC UTILITY EASEMENT
 - B.S.L. - BUILDING SETBACK LINE
 - D.E. - DRAINAGE EASEMENT
 - PCC - PORTLAND CEMENT CONCRETE (SUBJECT TO C&R DOC'S...EITHER PAVERS OR STAMPED CONCRETE REQ'D)

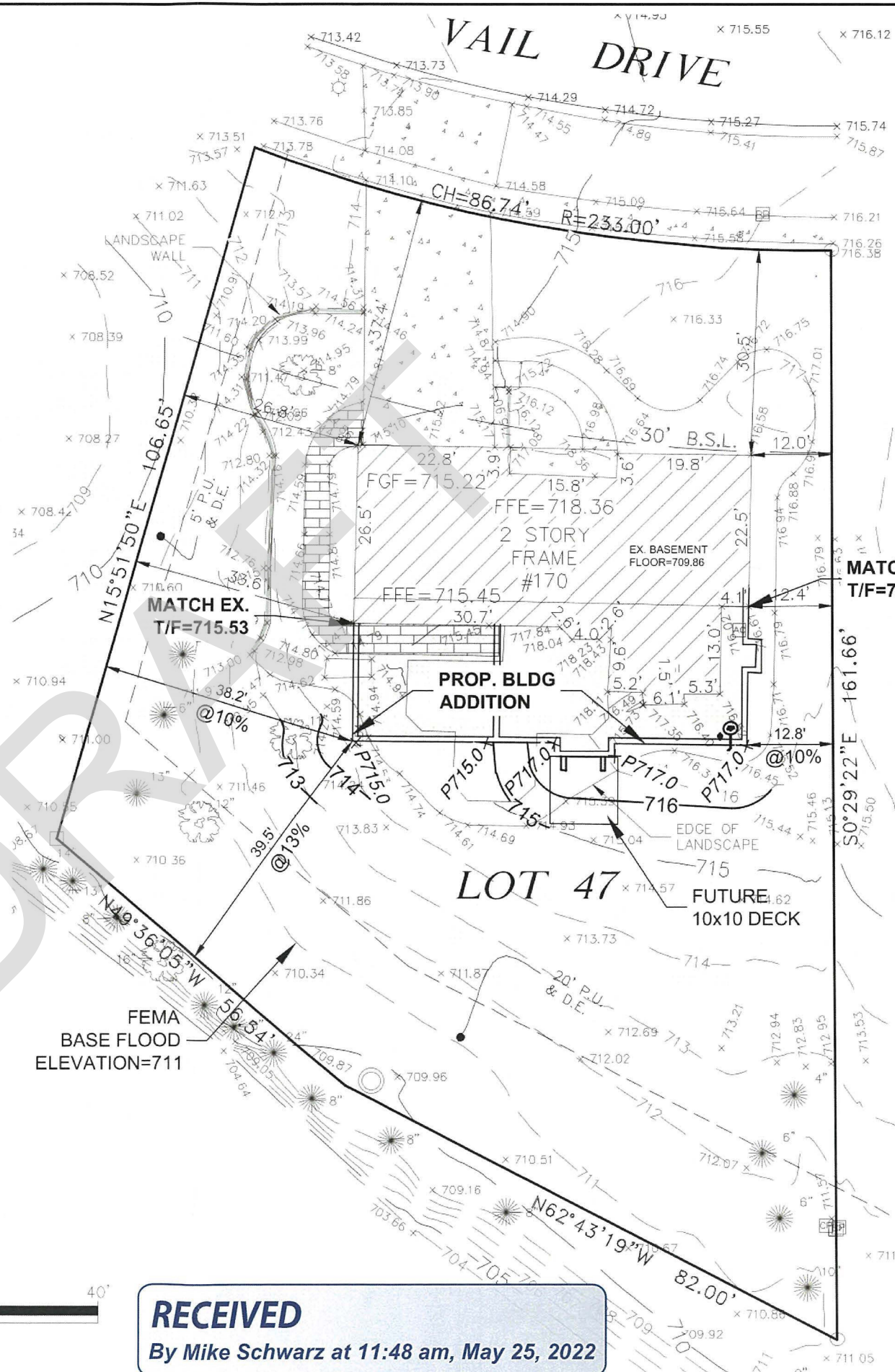
- NOTES:**
1. Building Addition footprint provided by others, and should be checked prior to construction.
 2. Construction operations shall avoid placing fill material, excavated soil, or construction debris in the Floodplain which is any location where the existing ground is at or below elevation 711.
 3. Any and all off-site disturbed areas are to be restored to existing conditions or better, if necessary.
 4. Prior to Excavation call Joint Utilities Location Information for Excavations "J.U.L.I.E." 1-800-892-0123
 5. All proposed top of window wells shall be set at T/F - 0.30', unless noted otherwise.
 6. Side slopes shall be 5:1 or flatter.
 7. Contractor shall remove existing backyard improvements, decks, patios, etc. as needed for construction of the proposed building addition, and as directed by the Owner.

LOT COVERAGE TABLE	EXISTING	PROPOSED
LOT AREA = 14,410 SQ.FT.		
BUILDING FOOTPRINT AREA	1,640 SQ FT	2,520 SQ FT
DRIVEWAY	700 SQ FT	700 SQ FT
FRONT WALK & STOOP	155 SQ FT	155 SQ FT
SIDE YARD WALK	255 SQ FT	165 SQ FT
REAR DECK	540 SQ FT	100 SQ FT (FUTURE)
TOTAL IMPERVIOUS SURFACE	3,290 SQ FT	3,640 SQ FT
IMPERVIOUS LOT COVERAGE	23%	25% (40% ALLOWED)
BUILDING FOOTPRINT COVERAGE	11%	17.5% (20% ALLOWED)

LAND DESCRIPTION

LOT 47 IN CREEKVIEW UNIT 2, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 30, 1977 AS DOCUMENT R77-32462, AND AMENDED BY PLAT OF ADDENDUM RECORDED FEBRUARY 27, 1978, AS DOCUMENT NO. R78-06575, AND AMENDED BY INSTRUMENT RECORDED APRIL 6, 1978 AS DOCUMENT NO. R78-11778 AND CERTIFICATE OF AMENDMENT RECORDED JANUARY 26, 1979 AS DOCUMENT NO. R79-02946, IN WILL COUNTY, ILLINOIS

BENCHMARK: PER SURVEY REGIONAL VRSNOW RTK GNSS NETWORK SET MAG NAIL IN PAVEMENT 47± NORTH OF THE NORTHEAST PROPERTY CORNER ELEV.=716.71 (NAVD 88)



RICHARD F. VANE
062-38790
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS
5/25/2022
EXP. 11/30/23

DATE	BY	DESCRIPTION
5/25/22	RFV	ISSUE FOR PERMIT
	RFV	VILLAGE REVIEW

MGA CIVIL ENGINEERING SURVEYING
M GINGERICH GEREUX & ASSOCIATES
Professional Design Firm License # 184-005003
P. 815-478-9680 www.mg2a.com F. 815-478-9685
25620 S. GOUGAR RD. | MANHATTAN, IL 60442

DESIGN:	RFV
DRAWING:	NIB
CHECKED:	BPH
APPROVED:	BPH

170 VAIL DRIVE
FRANKFORD, ILLINOIS
SITE PLAN

SHEET NO.
1 OF 1

JOB NO. 22-153

RECEIVED
By Mike Schwarz at 11:48 am, May 25, 2022

DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, M. GINGERICH, GEREUX & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUB-GRADE CONSTRUCTION. BASEMENTS OR OTHER LIKE FACILITIES CONSTRUCTED BELOW THE FINISHED SURFACE GRADE OF THE PROPERTY ARE AT THE RISK OF THE BUILDER/OWNER

DESIGN CRITERIA		
GROUND SNOW LOAD		30 LB./FT ²
WIND DESIGN		90 MPH
SEISMIC DESIGN CATEGORY		B
SUBJECT TO DAMAGE FROM:	WEATHERING	SEVERE
	FROST LINE DEPTH	42"
	TERMITES	MODERATE TO SEVERE
WINTER DESIGN TEMPERATURE		-4°F, 97 1/2%
SUMMER DESIGN TEMPERATURE		89°F, DRY BULB, 2 1/2%
		79°F, DRY BULB, 2 1/2%
ICE BARRIER UNDERLAYMENT		REQUIRED
FLOOD HAZARDS		FIRM # 170214 PANELS 0609H-0609H 12/16/2004
AIR FREEZING INDEX		1543 ^h (F-DAYS)
ANNUAL MEAN TEMPERATURE		49.4°F
HEATING DEGREE DAYS (HDD)		6,155
COOLING DEGREE DAYS (CDD)		942
CLIMATE ZONE		5A
INDOOR DESIGN CONDITIONS		MAX. 72°F - HEATING MAX. 75°F - COOLING
100 - YEAR HOURLY RAINFALL RATE		4"

DESIGN LOADS		
USE	LIVE LOAD	DEAD LOAD
BALCONIES (EXTERIOR)	100 psf	7
DECKS	100 psf	7
ROOF LIVE LOAD	30 psf	10
ROOF RAFTERS	30 psf	10
ROOF RAFTERS W/ CATHEDRAL CEILING	30 psf	15
ROOF RAFTERS (HEAVY ROOF)-EX. CLAY, TILE, CEMENT, SLATE	30 psf	17
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3:12)	10 psf	10
ATTICS (LIMITED ATTIC STORAGE)	20 psf	10
FLOORS (EXCEPT SLEEPING ROOMS)	40 psf	10
FLOORS (SLEEPING ROOMS)	30 psf	10
STAIRS	40 psf	10
GUARDRAILS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200 psf	
WALLS-STUD	5 psf	
WALLS-BRICK (STD)	40 psf	
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY	5 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) < 30'	15 psf	
HORIZONTAL WIND LOAD (90 mph 3-SEC GUST) 30' TO 49'	20 psf	
GARAGES (PASSENGER CARS ONLY)	50 psf	
FOR SI: 1 PSF=0.0479 kN/m ² , 1 SQUARE INCH=645 mm		
SEE SHEET SP-1 FOR SPECIFICATIONS FOR SITE WORK, CONCRETE, MASONRY, STEEL, CARPENTRY, INSULATION, ROOFING, DRYWALL, PLUMBING, HEATING, AND ELECTRICAL.		

BASE LUMBER VALUES		
TYPE	F _b	E
HEM FIR #2 (DOMESTIC)	850 PSI	1,300,000
S.P.F. #1/#2 (CANADIAN)	875 PSI	1,400,000
MICROLAM LVL	2600 PSI	1,900,000
PARALLAM PSL	2900 PSI	2,000,000
1.3 E TIMBERSTRAND LSL(4 3/4" TO 11 1/4")	1700 PSI	1,300,000
1.5E TIMBERSTRAND LSL(11 7/8" TO 16")	2250 PSI	1,500,000

ALLOWABLE FRAMING SPANS:			
FLOOR AND CEILING JOIST: CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS.			
ALLOWABLE SPANS ARE AS FOLLOWS:			
CEILING JOISTS - 20lbs LIVE LOAD	SPRUCE-PINE-FIR #2	HEM-FIR #2	
12" O.C.	2"x6" @ 12" O.C.	2"x8" @ 12" O.C.	2"x10" @ 12" O.C.
16" O.C.	14"-9" @ 12" O.C.	18"-9" @ 12" O.C.	22"-11" @ 12" O.C.
	12"-10" @ 16"-3"	19"-10"	23"-6"
			21"-0"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD			
12" O.C.		19"-0"	22"-6"
16" O.C.		17"-2"	19"-8"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD			
12" O.C.		17"-3"	20"-4"
16" O.C.		15"-5"	17"-7"
ROOF RAFTERS:			
USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". CANADIAN HEM-FIR NO. 2 PER U.S. SPAN BOOK FOR CANADIAN LUMBER*			
2"x6" @ 12" O.C. = 13'-9" 2"x8" @ 12" O.C. = 17'-5" 2"x10" @ 12" O.C. = 21'-1" 2"x12" @ 12" O.C. = 24'-4"			
2"x6" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 18'-5"			

PRESRIPTIVE METHOD											
ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT											
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CEILING SPACE R-VALUE	
3 MARINE 4	32	55	N/A	49	20 + 13 + 5	13/17	30 ^q	15/19	10, 2 FT.	15/19	

* R-38 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES (SECTION 402.2.1 IECC)

^h FIRST VALUE IS CAVITY INSULATION SECOND IS CONTINUOUS INSULATION SIDING, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40 PERCENT OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE SHALL BE PERMITTED TO BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED - TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.

SYMBOLS		WOOD FRAME WALL	
②	SECTION NUMBER	(Hatched pattern)	BRICK VENEER
(A)	DETAIL LETTER	(Dotted pattern)	E.I.F.S.
①-1	SHEET NUMBER	(Stippled pattern)	EARTH
12/8	ROOF PITCH RATIO	(Horizontal lines)	CONCRETE
(A)	LEVEL LINE	(Diagonal lines)	GRAVEL FILL
(A)	REVISION	(Cross-hatched)	BATT INSULATION
(A)	CEILING PATTERN DETAIL W/ HEIGHT	(Stippled)	CONCRETE BLOCK
		(Dotted)	MINIMUM 3/4" SOLID BEARING OR AS REQUIRED
		(Stippled)	SILL LOCK

ABBREVIATIONS			
A.F.F.	ABOVE FIN. FLOOR	H.P.	HIGH POINT
ALUM.	ALUMINUM	INSUL.	INSULATION
BK.	BOARD	INT.	INTERIOR
BLK.	BLOCK	JAN.	JANITOR
BLK.C.	BLOCKING	LAV.	LAVATORY
BN	BEAM	L.P.	LOW POINT
B/O	BOTTOM OF	MAX.	MAXIMUM
CAB.	CABINET	M.C.	MEDICINE CABINET
CL.	CENTER LINE	MCH.	MECHANICAL
CE.	CERAMIC	MTL.	METAL MATERIAL
CLR.	CLEAR	MIN.	MINIMUM
C.O.	COLUMN	M.O.	MASONRY OPENING
CONST.	CONSTRUCTION	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	FIN	FINISH
D.	DIAMETER	FLR.	FLOOR
DN.	DOWN	FLASH.	FLASHING
D.W.	DISHWASHER	FT.	FOOT
DWG.	DRAWING	FTG.	FOOTING
EXT.	EXISTING	GAU.	GAUGE
EA.	EACH	GALV.	GALVANIZED
EXP. JT.	EXPANSION JOINT	GL.	GLASS
ELEV.	ELEVATION	GYP. BD.	GYP.SUM BOARD
EQ.	EQUAL	HDP.	HANDICAPPED
EX.	EXTERIOR	HWY.	HARDWARE
F.D.	FLOOR DRAIN	H.M.	HOLLOW METAL
FIN.	FOUNDATION	HOB.	HORIZONTAL
		HGT.	HEIGHT
		OPNG.	OPENING
		OPP.	OPPOSITE
		PL.	PLAS. LAM. PLASTIC LAMINATE
		P.L.V.D.	PLYWOOD
		Q.T.	QUARRY TILE

DISCLAIMER STATEMENT:

THE ARCHITECT SHALL NOT HAVE CONTROL OVER CHARGE OR AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE OWNERS AND THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OWNERS OR CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER ACTS OR OMISSIONS OF THE OWNER, CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

RESPONSIBILITY STATEMENT:

IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR, CARPENTER AND CONCRETE CONTRACTOR TO HAVE FULL SET OF DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

OWNER:
WILLIAM & STACEY LAMARCHE
170 VAIL DR.
FRANKFORT, IL

AUTHORITY:
VILLAGE OF FRANKFORT
432 NEBRASKA ST.
FRANKFORT, ILLINOIS
Tel: 815.469.2177
Fax: 815.469.7999
E-mail N/A

BUILDING DATA:	
- TWO STORY FAMILY DWELLING	
- BUILDING HEIGHT, GRADE TO RIDGE:	28'-6"
- BUILDING HEIGHT, GRADE TO MEANS AT RIDGE:	22'-9 1/4"
- BASEMENT (EXISTING) =	843 SQ. FT.
- FIRST FLOOR (EXISTING) =	1,051 SQ. FT.
- FIRST FLOOR (NEW) =	490 SQ. FT.
- SECOND FLOOR (EXISTING) =	788 SQ. FT.
- SECOND FLOOR (NEW) =	872 SQ. FT.
- TOTAL (1ST. & 2ND. NEW) =	3,201 SQ. FT.

BUILDING CODE INFORMATION	
- 2012 INTERNATIONAL BUILDING CODE	
- 2012 INTERNATIONAL RESIDENTIAL CODE	
- 2012 INTERNATIONAL RESIDENTIAL CODE ONE & TWO FAMILY DWELLINGS	
- 2014 ILLINOIS STATE PLUMBING CODES	
- 2012 INTERNATIONAL MECHANICAL CODE	
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE	
- 2012 INTERNATIONAL FIRE CODE	
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE	
- 2011 NATIONAL ELECTRICAL CODE	
- 2012 FUEL GAS CODE	

DRAWING INDEX	
T-1	TITLE SHEET
A-1	ELEVATION & ROOF PLAN
A-2	REAR & SIDE ELEVATIONS
A-3	EXISTING/DEMO. PLANS
A-4	FOUNDATION PLAN
A-5	FIRST FLOOR PLAN
A-6	SECOND FLOOR PLAN
M-1	MECHANICAL/PLUMBING NOTES
E-1	ELECTRICAL NOTES
E-2	ELECTRICAL FLOOR PLANS/NOTES
D-1	DETAILS
D-2	WALL SECTIONS

REVISIONS	
REV #	DATE / REV. PER.

DATE: 04-28-22

DRAWN BY: PJP

PREVIOUS NO.: -

PROJECT NO. 22019

SHEET NUMBER T-1

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED BY MY OFFICE UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF FRANKFORT, ILLINOIS

MICHAEL J. ROOT ARCHITECT
LICENSE NO. 001-006715 ARCHITECT LICENSE EXPIRES: 11-30-22

AN ADDITION HOME FOR THE LAMARCHE RESIDENCE

170 VAIL DR.
FRANKFORT, ILLINOIS
(ISSUE FOR PERMIT: (4-28-22))



Ideal **DESIGNS**
ARCHITECTS / DESIGNERS
20960 FRANKFORT SQ. RD.
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T: (708) 407-8028
F: (779) 333-7960
gabe@idealcustomdesigns.com
www.idealcustomdesigns.com

AN ADDITION FOR THE
LAMARCHE RESIDENCE
170 VAIL DR.
FRANKFORT, ILLINOIS

4/28/22
DATE:
MICHAEL J. ROOT
No. 001-006715
STATE OF ILLINOIS
11/30/22
EXP. DATE:

DESIGN FIRM REG. NO.
184.006972
EXP. DATE
4-30-25

AN ADDITION FOR THE
LAMARCHE RESIDENCE
170 VAL DR.
FRANKFORT, ILLINOIS



FRONT ELEVATION

1/4" = 1'-0"

ROOF PLAN NOTES

GROUND SNOW LOAD: 30 PSF
DEAD LOAD: 10 PSF

- USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10", 2"x12" ROOF RAFTERS SHALL BE CANADIAN HEM-FIR NO. 2 PER "U.S. SPAN BOOK FOR CANADIAN LUMBER"
SPAN TABLES SPF FOR SOUTHERN LUMBER (NORTHERN LUMBER GREATER SPANS ARE ALLOWED)
2"x6" @ 12" O.C. = 13'-9" 2"x8" @ 12" O.C. = 17'-5" 2"x10" @ 12" O.C. = 21'-1"
2"x6" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 19'-5"
HEM-FIR
2"x12" @ 12" O.C. = 24'-4"
2"x12" @ 16" O.C. = 21'-1"
- ROOF MEMBER SIZES ARE BASED ON ALLOWABLE RAFTER SPANS FOR SPRUCE-PINE-FIR (#2 NORTH) UP THRU 2"x10" RAFTERS, IF 2"x12" RAFTERS ARE USED THEN HEM-FIR #2 SHALL BE USED.
- HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS x RAFTER DEPTH PLUS 2" DEEP
- ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER
- IT WILL BE ALLOWED IF FRAMING CARPENTER CHOOSES TO REDUCE SIZE OF ROOF RAFTERS BY PROVIDING INTERMEDIATE WALLS OR BEAMS TO ROOF RAFTERS, THUS REDUCING SPAN, THEN SUPPORTED BACK TO INTERIOR BEARING WALLS, ARCHITECT SHALL BE NOTIFIED OF CHANGES BEFORE FRAMING WORK STARTS.
- COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
- WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL WHEN SPANS ON CEILING JOISTS EXCEED 16'-0" SPANS.
- PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
- RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE OR TO A MINIMUM 1-INCH NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER, A MINIMUM 2-INCH NOMINAL WOODEN VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPS, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION
- THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

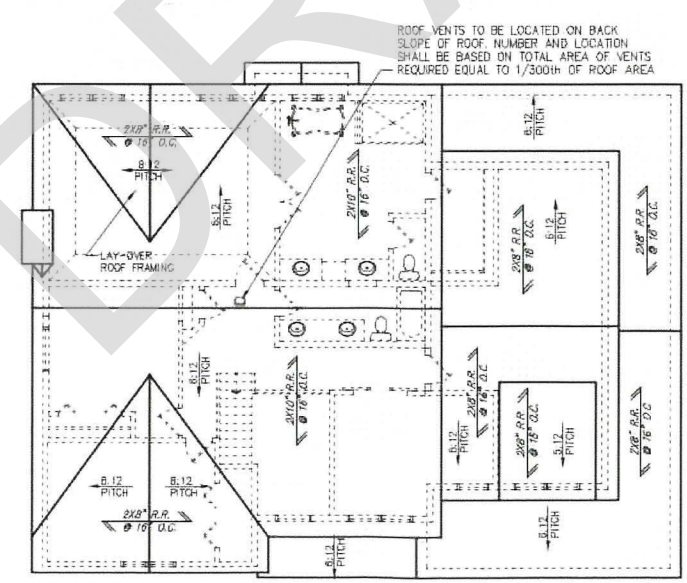
ELEVATION NOTES

- CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENTLY EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7' 5" AND A MINIMUM WIDTH OF 20"
- UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI & SPECS.
- CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.30. CONTRACTOR TO SUBMIT CUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
- WRAP EAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
- FIREPLACE FLUES TO BE MIN. 12'-0" ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF 10'-0"
- WINDOW DESIGNATIONS INDICATES "ELD-MEN" MANUFACTURER LEAD WINDOWS. COORDINATE WINDOW & DOOR MFR. WITH OWNER FOR EXACT SIZES & TYPES.
- ALL SOLID OR RIBBON BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.
- OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPANS. IF CARPENTER SUBCONTRACTOR IS ABLE TO SHORTEN SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2"x10" TO 2"x8" BY ADJUSTMENT IN HIS BIRD'S MOUTH CUT

PROVIDE VENTILATION FOR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING MAXIMUM PERM TRANSMISSION RATE IS INSTALLED ON THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITH INSTALLED ON THE CORROSION-RESISTANT WIRE MESH WITH 1/8"-1/4" INCH OPENINGS.



ROOF PLAN

1/8" = 1'-0"



DATE:

EXP. DATE:

DESIGN FIRM REG. NO.
184.006972

EXP. DATE
4-30-23

REVISIONS

REV #	DATE	REV. PER.

DATE:
04-28-22

DRAWN BY: P.A.P.
PREVIOUS NO. -

PROJECT NO.
22019

SHEET NUMBER

A-1

ELEVATION NOTES

1. CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
2. (E) ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7 SF AND A MINIMUM WIDTH OF 20".
3. (S) UNIT CLASS AND/OR MULTIPLE UNIT CLASS SHALL BE INSTALLED TEMPERED SAFETY GLASS PER ANSI S308.
4. CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.35. CONTRACTOR TO SUBMIT CUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
- 5.
6. WRAP EAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
7. FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
8. WINDOW DESIGNATIONS INDICATES "JELD-WEN" MANUFACTURER GLAZ. WINDOWS. COORDINATE WINDOW & DOOR MFR WITH OWNER FOR EXACT SIZES & TYPES.
9. ALL SOLID AND ROUND BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.
10. OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE WINDOW'S CLEAR OPENING A MINIMUM OF 24-INCHES ABOVE THE FINISHED FLOOR OF THE ROOM.

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS MARKED "CONSTRUCTION" WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

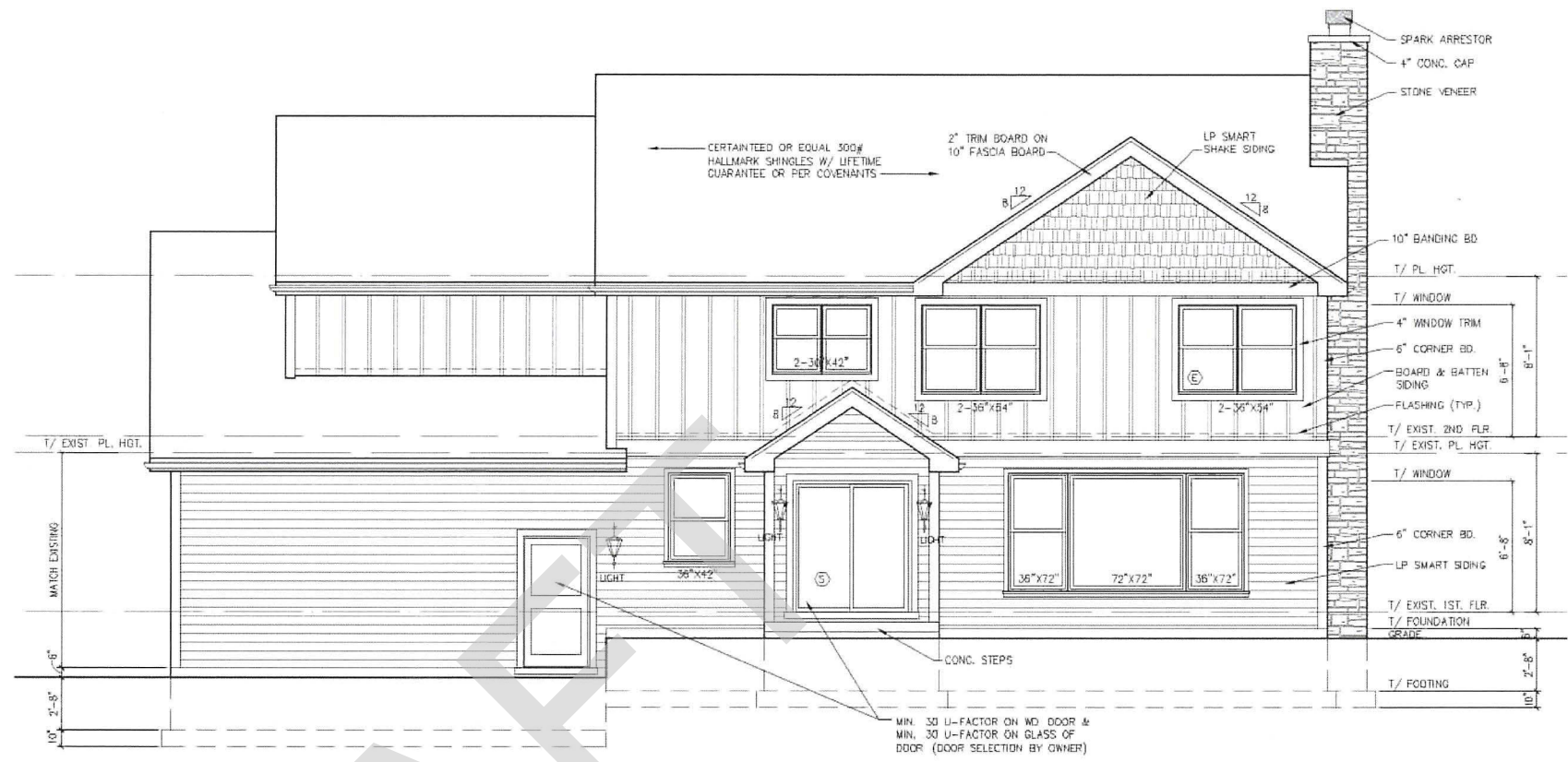
CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPANS. IF CARPENTER SUBCONTRACTOR IS ABLE TO SHORTEN SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2"x10"s TO 2"x8"s BY ADJUSTMENT IN HIS BIRD'S MOUTH CUT.

PROVIDE VENTILATION FOR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THEN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50% AND NOT MORE THEN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING MAXIMUM 1 PERM TRANSMISSION RATE IS WARM SIDE OF THE CEILING VENTILATING OPENINGS SHALL BE PROVIDED WITH INSTALLED ON THE CORROSION-RESISTANT WIRE MESH WITH 1/8-1/4 INCH OPENINGS.

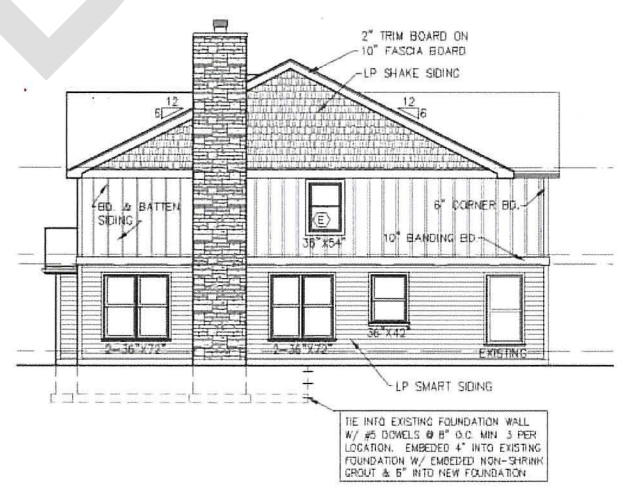
SAFETY GLASS REQUIREMENTS

- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:
1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS EXCEPT ALDUSIES.
 2. GLAZING IN THE FIXED AND SLIDING PANELS OF SLIDING(PATIO) DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 3. GLAZING IN STORM DOORS.
 4. GLAZING IN ALL UNFRAMED DOORS.
 5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60"(1524MM) ABOVE THE DRAIN INLET.
 6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24"(610MM) ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60"(1524MM) ABOVE THE FLOOR OF WALKING SURFACE.

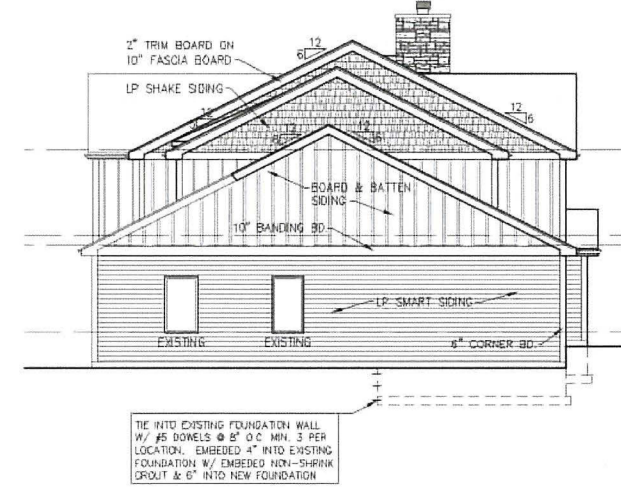
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - 7.1 EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - 7.2 BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
 - 7.3 TOP EDGE GREATER THEN 36" ABOVE THE FLOOR.
 - 7.4 ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY TO THE GLAZING.
8. ALL GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILLS PANELS.
9. GLAZING IN WALLS AND FENCES ARE ENCLOSING INDOORS AND OUTDOORS SWIMMING POOLS AND WHERE THE BOTTOM EDGE OF THE POOL SIDE IS (1) LESS THAN 60" ABOVE A WALKING SURFACE AND (2) WITHIN 36" HORIZONTALLY OF A WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

DATE: _____

EXP. DATE: _____

DESIGN FIRM REG. NO. 184-006972

EXP. DATE 4-30-23

REVISIONS	
REV #	DATE: REV. PER:

DATE: 04-28-22

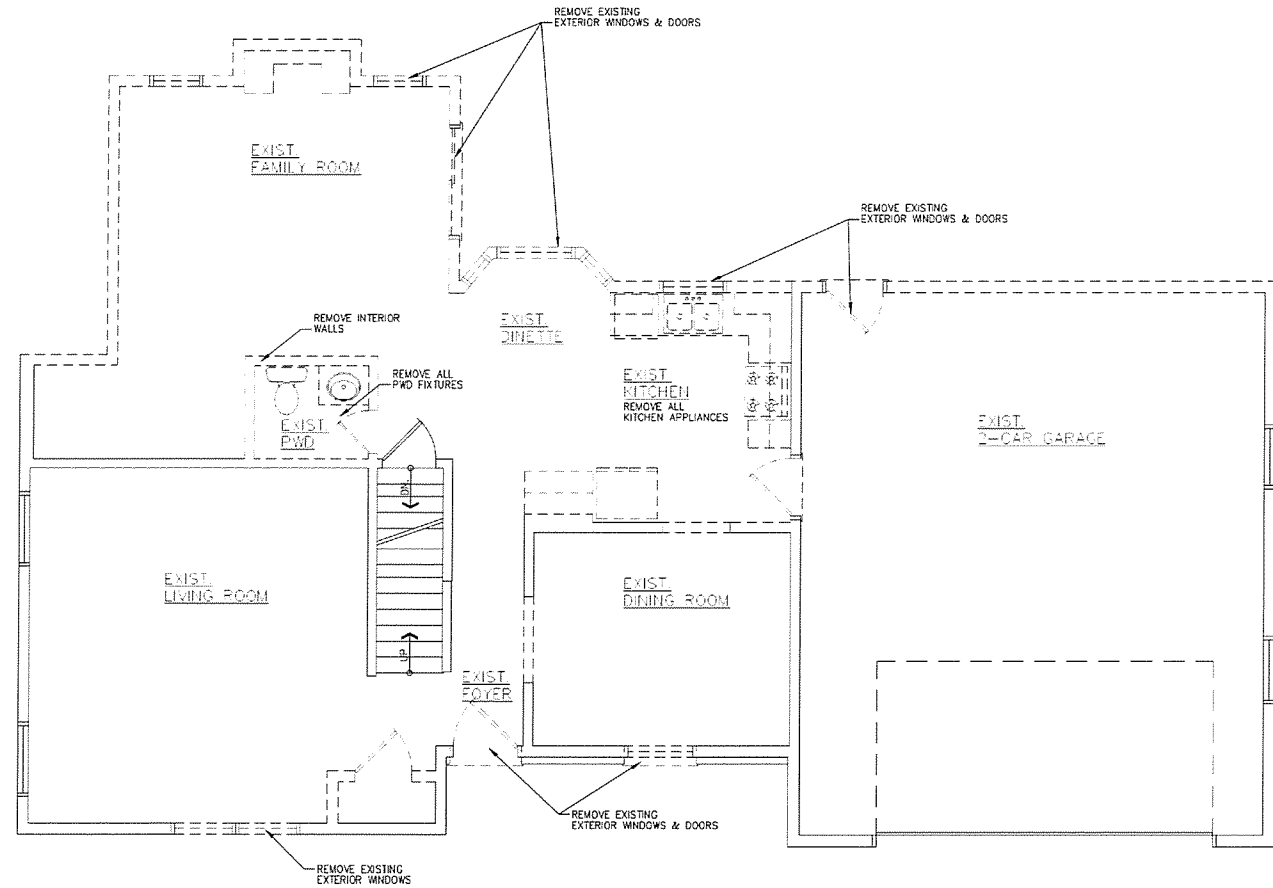
DRAWN BY: PJP

PREVIOUS NO. -

PROJECT NO. 22019

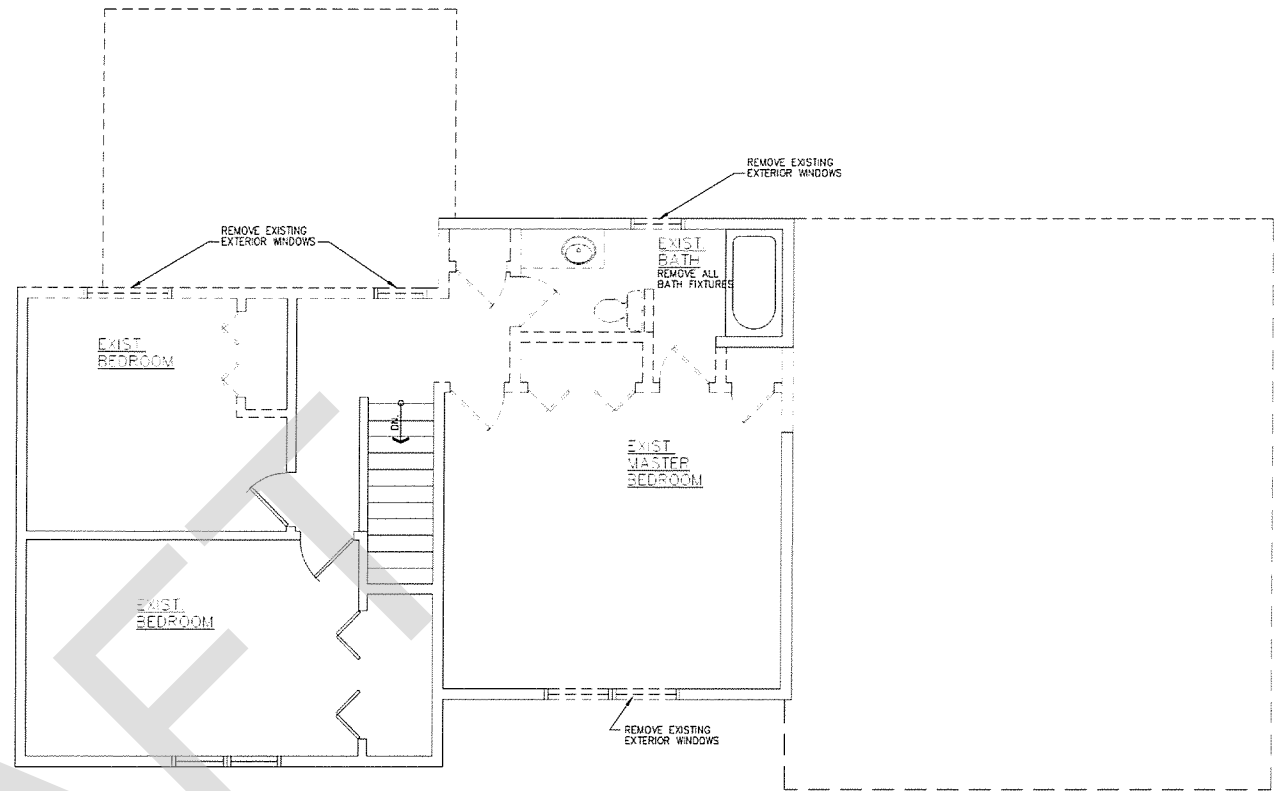
SHEET NUMBER

AN ADDITION FOR THE
LAMARCHE RESIDENCE
170 VAIL DR.
FRANKFORT, ILLINOIS



EXISTING/DEMO.
FIRST FLOOR PLAN

1/4"=1'-0"



EXISTING/DEMO.
SECOND FLOOR PLAN

1/4"=1'-0"

DEMOLITION NOTES:

1. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY PIPING LOCATION AND INVERTS FOR CONNECTION TO NEW PLUMBING FIXTURES.
2. ANY WASTE OR VENT PIPING CAPPED OFF MUST BE CAPPED PROPERLY ACCORDING TO ILLINOIS STATE PLUMBING CODE & INSPECTED BEFORE PATCHING FLOOR. ALL HAND SINKS MUST BE SOLID CONNECTION WITH REMOVABLE TRAP & CLEANOUT ON FLOOR. HOSE & SPRAY UNITS NEW OR EXISTING SHALL BE PROTECTED AGAINST BACKFLOW. SOAP DISPENSERS, COFFEE, TEA, ICE MAKER MACHINES, ETC. MUST BE PROTECTED BY BACKFLOW. ALL OPEN SITE DRAINS MUST BE VENTED SEPARATELY 6" ABOVE SPILL LINE OF EACH OPEN SITE DRAIN.
3. REMOVE THE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING. PATCH THE FLOOR AS REQUIRED TO MATCH ADJACENT SURFACE.
4. REROUTE & RECONNECT ANY CIRCUIT/ CIRCUITS THAT SHALL REMAIN IN USE BUT INTERFERES WITH THE NEW CONSTRUCTION.
5. EXISTING CONDUITS SHALL NOT BE REUSED, SHALL BE REMOVED. CONDUITS IN WALLS OR BELOW THE FLOOR LINE MAY BE ABANDONED, DISCONNECT AND REMOVE WIRING FROM CONDUITS TO BE ABANDONED. CUT & CAP CONDUITS THAT RUN THROUGH WALLS AND FLOORS. GROUT SURFACE FLUSH.

NOTE:
PATCH & REFINISH ALL
NEW/ EXISTING AREAS AS
REQUIRED TO MATCH
EXISTING AREAS

WALL SCHEDULE

	= EXISTING WALL
	= EXISTING WALLS & FIXTURES TO BE REMOVED

DATE:

EXP. DATE:

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4-30-23

REVISIONS

REV #	DATE:	REV. PER:

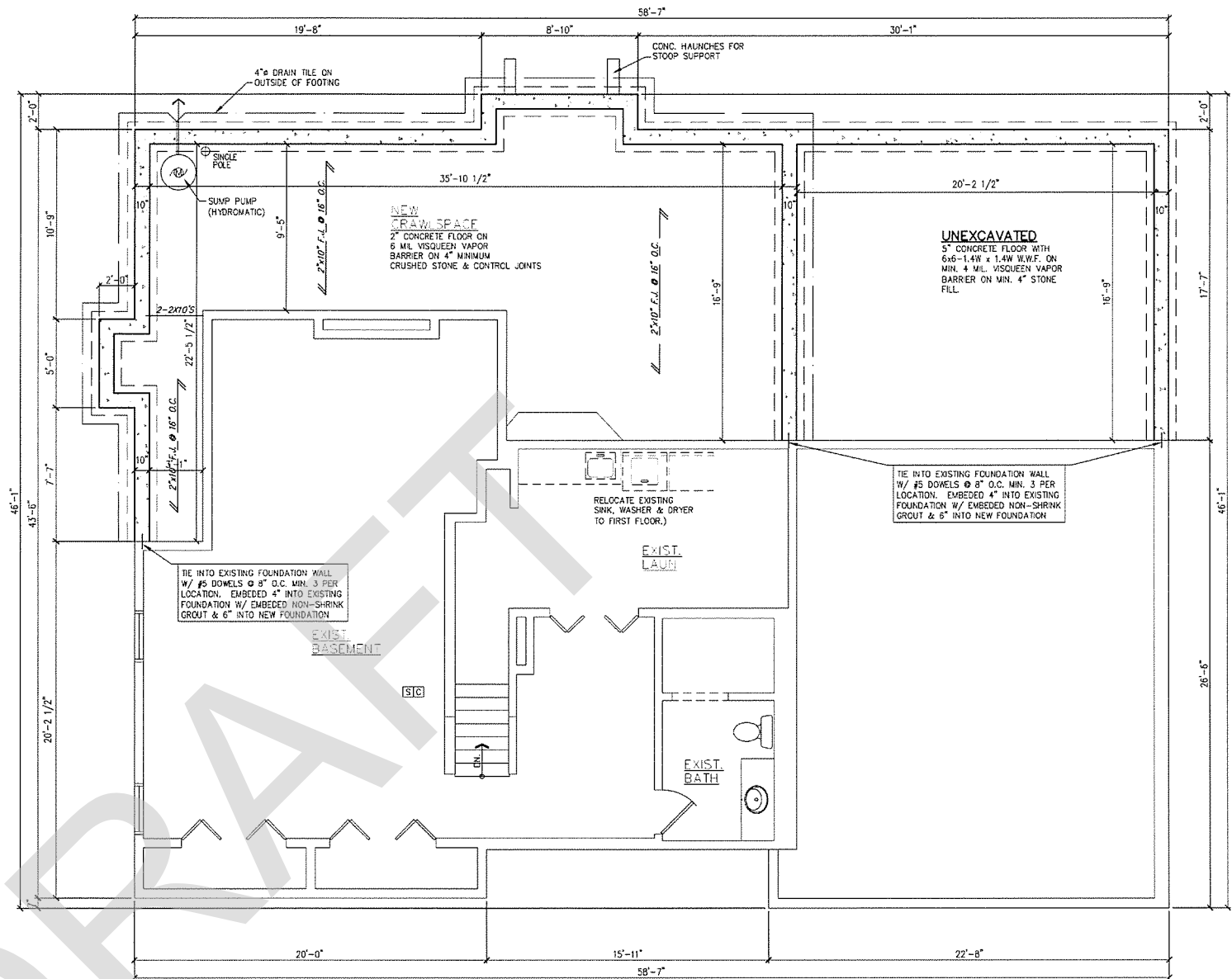
DATE:
04-28-22

DRAWN BY: PAP

PREVIOUS NO. -

PROJECT NO.
22019

SHEET NUMBER
A-3



EXISTING/DEMO.
BASEMENT PLAN

1/4"=1'-0"

ideal
DESIGNS

ARCHITECTS / DESIGNERS
20960 FRANKFORT SQ. RD.
SUITE A
FRANKFORT, ILLINOIS
T: (708) 407-8028
F: (779) 333-7960
gabe@idealcustomdesigns.com
www.idealcustomdesigns.com

AN ADDITION FOR THE
LAMARCHE RESIDENCE
170 VAIL DR.
FRANKFORT, ILLINOIS

DATE:

EXP. DATE:

DESIGN FIRM REG. NO.
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EXP. DATE
4-30-23

REVISIONS

REV # DATE: REV. PER:

REV #	DATE	REV. PER.

DATE:
04-28-22

DRAWN BY: PAP
PREVIOUS NO. -

PROJECT NO.
22019

SHEET NUMBER

A-4

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR.

ALLOWABLE SPANS ARE AS FOLLOWS:

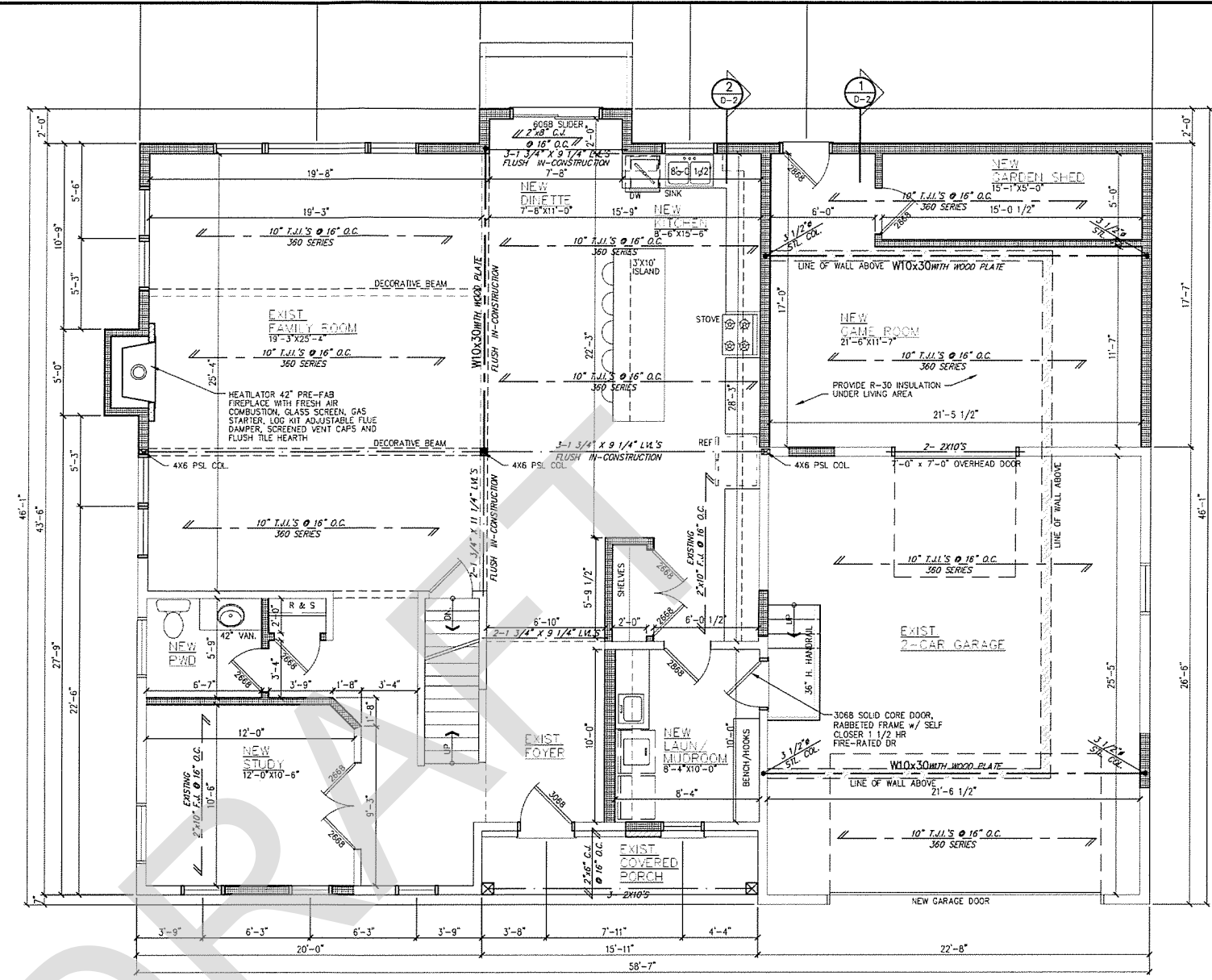
	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6" 2"x8" 2"x10" 2"x12"	2"x10" 2"x12"
12" O.C.	14'-0" 18'-0" 22'-11" 33'-9"	18'-0" 22'-11"
15" O.C.	12'-10" 16'-3" 19'-10" 21'-0"	17'-2" 19'-8"
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD		
12" O.C.		19'-0" 22'-6"
15" O.C.		17'-2" 19'-8"
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD		
12" O.C.		17'-3" 20'-4"
15" O.C.		15'-5" 17'-7"

MICROLAM LVL AND PARALLEL PSL HEADERS AND BEAMS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL. T.J. JOISTS ARE MANUFACTURED BY "TRUSS JOIST MAC MILLAN" OR APPROVED EQUAL.

- GENERAL NOTES**
- FOR SPECIFICATIONS SEE SHEET SP-1
 - CARPENTER CONTRACTOR TO VERIFY WITH CONTRACTOR IF JOIST SPACING IS TO BE CHANGED IN CERAMIC TILE FINISHED FLOOR AREAS.
 - SEE ELEVATIONS FOR ALL WINDOW SIZES.
 - ALL UNDIMENSIONED PARTITIONS ARE 4" 1/2" FINISHED.
 - SEPARATION WALL/CEILING BETWEEN GARAGE AND LIVING AREA SHALL HAVE MINIMUM 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF ALL WALLS AND CEILINGS COMMON WITH THE RESIDENCE OR ITS ATTIC. ALSO PROVIDE A MINIMUM 5/8" TYPE X GYPSUM DRYWALL BOARD PROTECTION FOR WALLS NOT COMMON WITH RESIDENCE THAT SUPPORT CEILING.
 - FOR PARTITION DETAILS SEE - M/D1 & N/D1
 - FOR HEADER SIZING SEE - Q/D1
 - FOR STAIR DETAIL SEE - J/D1 & K/D1
 - FOR FIREPLACE DETAILS SEE - A/D3 & C/D3

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN MAJOR DIMENSIONS ON FOUNDATION, FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

THE ENDS OF ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM 1-1/2" ON WOOD OR METAL AND 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" BY 4" RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM 3" AND BE NAILED TOGETHER WITH A MINIMUM THREE 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN NOMINAL 2" BY 2".



FIRST FLOOR PLAN

ideal
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gabe@idealcustomdesigns.com
www.idealcustomdesigns.com

AN ADDITION FOR THE
LAMARCHE RESIDENCE
170 VAIL DR.
FRANKFORT, ILLINOIS

DATE: _____

EXP. DATE: _____

DESIGN FIRM REG. NO.
184.006972

EXP. DATE
4-30-23

REVISIONS

REV #	DATE:	REV. PER:

DATE:
04-28-22

DRAWN BY: PAP

PREVIOUS NO. -

PROJECT NO.
22019

SHEET NUMBER

A-5

FRAMING NOTES

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FIR.

ALLOWABLE SPANS ARE AS FOLLOWS:

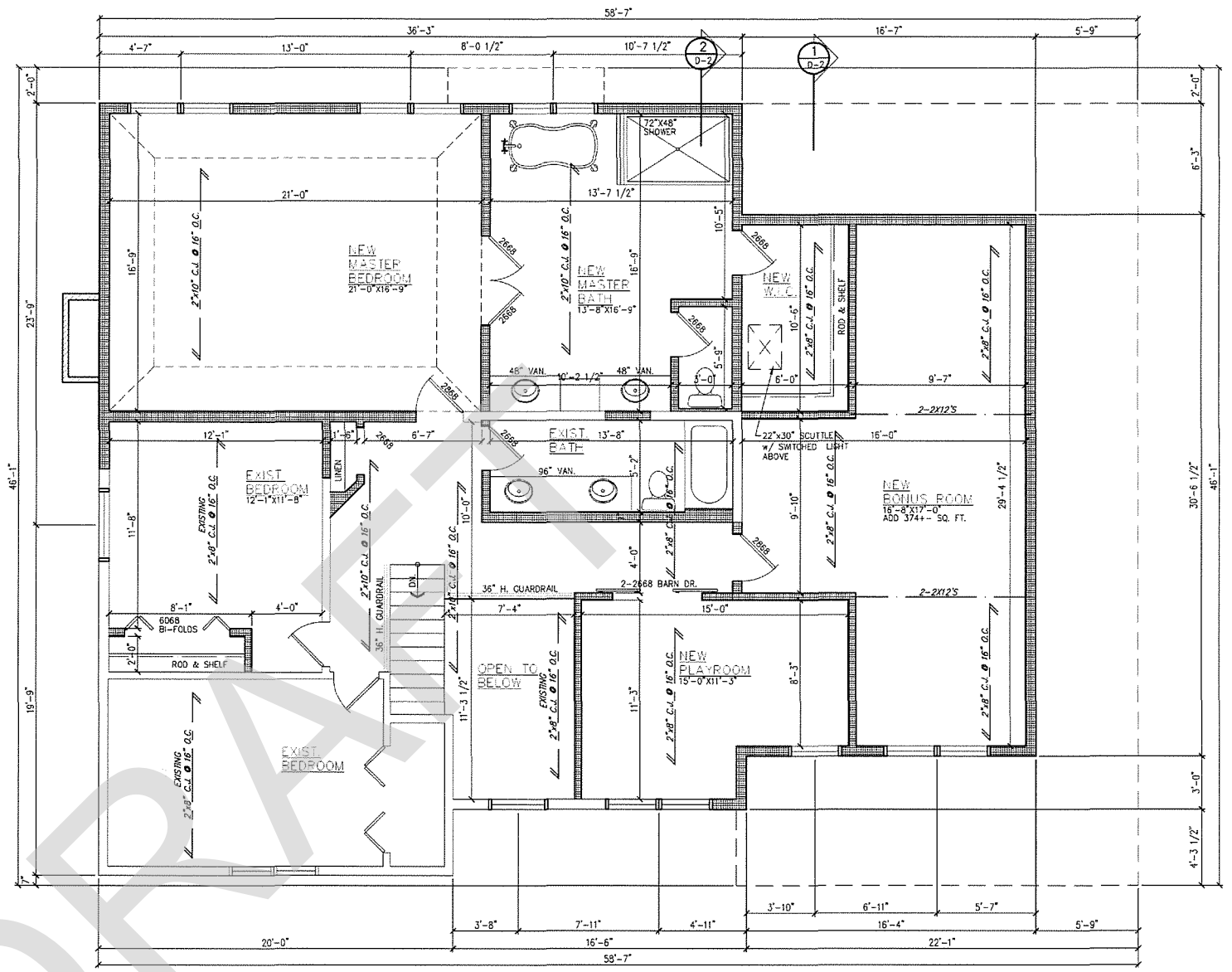
	SPRUCE-PINE-FIR #2	HEM-FIR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6" 12'-0" O.C. 2"x8" 14'-9" O.C. 2"x10" 16'-3" O.C.	2"x10" 22'-11" O.C. 2"x12" 23'-6" O.C. 2"x12" 21'-0" O.C.
2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD	19'-0" O.C. 16" O.C.	22'-6" O.C. 19'-8" O.C.
1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD	12" O.C. 16" O.C.	20'-4" O.C. 17'-7" O.C.

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SECOND FLOOR PLAN 1/4"=1'-0"

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PREVIOUS NO. -

PROJECT NO.
22019

SHEET NUMBER
A-6

MAYOR'S REPORT

JUNE 20, 2022

1. Annual Fishing Derby Award Winners

The annual "Get Hooked on Frankfort" fishing derby took place on Saturday, June 18. Winners of the fishing derby will be provided at the Village Board meeting.

2. 22nd Annual 'Short Run on a Long Day' 5K Run/Walk

The Frankfort Park District will host its annual Short Run on a Long Day 5K Run/Walk on Wednesday, June 22, at 7:00 P.M. at Main Park. Registration forms are available at www.frankfortparks.org.

3. Weekly Event Calendar for Downtown Frankfort

Cruisin' Frankfort continues every Monday evening through September 26, from 5:00 P.M. to 8:00 P.M. in downtown Frankfort.

The popular "Fridays on the Green" event series continue on Friday mornings at Breidert Green, from 10:00 A.M. to 11:00 A.M. Entertainment for Friday, June 24, will feature "Around the World with Animals" from the Incredible Bats Organization. Visit the Frankfort Public Library website at www.frankfortlibrary.org for full details.

Frankfort Country Market continues every Sunday through October 30, from 9:00 A.M. to 1:00 P.M. in downtown Frankfort.

The Concerts on the Green entertainment for Sunday, June 26, is "Backdated," featuring Brit & American Classic Rock from 6:30 P.M. to 8:00 P.M.

4. Annual Beautification Award Nominations Are Due by June 30

Summer beautification award nomination applications are available at the Village Administration Building and on the Village website. The deadline for receipt of all entries is June 30. Awards will be presented in July.

5. July 4th Fireworks Show

Fourth of July activities are scheduled for Monday, July 4, at Main Park. Activities begin at 5:00 P.M. (DJ dance party, kids' carnival games, inflatables, concessions, and Kenny the Clown); the band "Sundance" will play from 7:30 – 9:00 P.M.; and the firework display will begin at 9:00 P.M. Additional information is available by calling the Frankfort Park District at (815) 469-9400.

6. Save the Date! "Bluegrass on the Green" Festival Returns to Breidert Green

The 10th annual Frankfort Bluegrass Festival is scheduled for Saturday, July 9 and Sunday, July 10 in downtown Frankfort. The event will feature over 40 performances by more than 20 national, regional, and local bands, kids' activity tent, a pickers' tent, and much more. Visit www.frankfortbluegrassfest.com for full details.

7. Amateur Rib Cook-Off Slated for Saturday, July 30

The Village of Frankfort is accepting contestant applications to compete in the annual Rib Cook-Off event scheduled for Saturday, July 30, in downtown Frankfort. Amateur chefs will cook on site, and public rib tasting will begin at 12:30 P.M. (ticket sales begin at Noon). Prizes awarded for 1st, 2nd, 3rd place, and “Crowd Pleaser.” The event is co-sponsored by the Village, Frankfort Area Jaycees, and Frankfort Lions Club. Application packets are available on the Village website.

DRAFT