

**REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY – JUNE 8, 2016
7:30 PM
CITY COMMISSION ROOM
151 MARTIN STREET, BIRMINGHAM**

- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **May 25, 2016**
- C. Chairpersons' Comments
- D. Review of the Agenda

- E. Public Hearing
 - 1. To consider amendments to Article 04, Section 4.90 WN-01 and Article 07, Section 7.05 of the Zoning Ordinance to amend the glazing standards.

- F. Preliminary Site Plan Review & Community Impact Study
 - 1. **748 – 750 Forest (existing office buildings)** – Request for Preliminary Site Plan & Community Impact Study Review to allow construction of a new 5 story mixed use building, 3 stories along Elm (**Continued from May 25, 2016**).

- G. Request for Site Plan Extension
 - 1. **2000 – 2070 Villa Street (currently vacant)** – Request for extension of Final Site Plan (expiring June 9th, 2016).

- H. Study Session Items
 - 1. **Outdoor Storage**
 - 2. **Transitional Zoning (TZ2)**

- I. Meeting Open to the Public for items not on the Agenda

- J. Miscellaneous Business and Communications:
 - a. Communications
 - b. **Administrative Approval** Correspondence
 - c. Draft Agenda for the next Regular Planning Board Meeting (**June 22, 2016**)
 - d. Other Business

- K. Planning Division Action Items
 - a. Staff Report on Previous Requests
 - b. Additional Items from tonight's meeting

- L. Adjournment

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**CITY OF BIRMINGHAM
PLANNING BOARD ACTION ITEMS
OF WEDNESDAY, MAY 25, 2016**

Item	Page
<p>SPECIAL LAND USE PERMIT ("SLUP") FINAL SITE PLAN 100 Townsend The Corner Bar Request to make exterior renovations to the north and east elevations as well as interior remodel work</p>	2
<p style="padding-left: 40px;">Motion by Mr. Williams Seconded by Mr. Koseck that based on a review of the site plans submitted, the Planning Board recommends approval of the applicant's request for Final Site Plan and a SLUP to allow the exterior and interior work for the former Corner Bar at 100 Townsend.</p>	3
<p>Motion carried, 6-0.</p>	3
<p>PRELIMINARY SITE PLAN REVIEW COMMUNITY IMPACT STUDY ("CIS") 1. 856 N. Old Woodward Ave. (vacant)</p>	3
<p style="padding-left: 40px;">Motion by Mr. Williams Seconded by Mr. Koseck to approve the revised Preliminary Site Plan for 856 N. Old Woodward Ave. with the following conditions:</p> <ol style="list-style-type: none"> 1. The applicant eliminate the fourth floor or obtain all necessary variances for height and setback of upper floors from the Board of Zoning Appeals; 2. Provide the City with an access easement for ingress/egress and maintenance of the proposed public parking spaces; 3. Provide floor plans for all units to verify correct parking is provided; 4. Provide specification sheets for all mechanical equipment at the time of Final Site Plan and Design Review; 5. Submit a landscape plan and lighting specification sheets at the time of Final Site Plan and Design Review; 6. Add pedestrian scale street lights along N. Old Woodward Ave.; and 7. Comply with the requirements of all City departments. 	5
<p>Motion carried, 6-0.</p>	6

Item	Page
<p>Motion by Mr. Williams Seconded by Mr. Koseck to amend the CIS for 856 N. Old Woodward Ave. to include the revised Traffic Study.</p>	6
<p>Motion carried, 6-0.</p>	6
<p>2. 748-750 Forest (existing office buildings) Proposal to demolish the existing buildings to construct a mixed-use office and residential development</p>	6
<p>Motion by Mr. Williams Seconded by Mr. Boyle to postpone consideration of the CIS for 748-750 Forest to the Planning Board meeting of June 8, 2016.</p>	8
<p>Motion carried, 6-0.</p>	9
<p>Motion by Mr. Williams Seconded by Mr. Jeffares to postpone consideration of the Preliminary Site Plan for 748-750 Forest to June 8, 2016.</p>	10
<p>Motion carried, 6-0.</p>	10

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, MAY 25, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on May 25, 2016. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Gillian Lazar, Bryan Williams (left at 9:58 p.m.); Alternate Board Member Lisa Prasad (left at 8:05 p.m.); Student Representative Colin Cusimano (left at 9 p.m.)

Absent: Board Member Janelle Whipple-Boyce; Alternate Board Member Daniel Share

Administration: Matthew Baka, Senior Planner
Sean Campbell, Asst. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

05-92-16

**APPROVAL OF THE MINUTES OF THE REGULAR PLANNING BOARD MEETING
OF MAY 11, 2016**

Mr. Williams:
Page 6 - Line 3, change "point" to "purpose."

**Motion by Mr. Williams
Seconded by Ms. Lazar to approve the Minutes of May 11, 2016 as amended.**

Motion carried, 5-0.

VOICE VOTE
Yeas: Williams, Lazar, Jeffares, Koseck, Prasad
Nays: None
Abstain: Boyle, Clein
Absent: Share, Whipple-Boyce

05-93-16

CHAIRPERSON'S COMMENTS (none)

05-94-16

APPROVAL OF THE AGENDA (no change)

05-95-16

SPECIAL LAND USE PERMIT ("SLUP")

FINAL SITE PLAN

100 Townsend

The Corner Bar

Request to make exterior renovations to the north and east elevations as well as interior remodel work

Mr. Campbell advised the subject site is a 1,778 sq. ft. commercial space inside the first floor of the Townsend Hotel located at the corner of Pierce St. and Merrill St. The applicant is proposing exterior renovations to the north and east elevations as well as interior work to the existing Corner Bar establishment. The applicant has indicated that the former establishment will be remodeled into a private dining and meeting venue.

The applicant is seeking approval for a SLUP pursuant to Article 6, section 6.02 which requires existing and new establishments with alcoholic beverage sales to obtain a SLUP upon a change in name or ownership of establishment, or upon application for a site plan review.

The proposed plan meets all of the setback, height and floor area requirements for a B-4 and D-4 Overlay District development. A materials board was passed around.

Design Review

The applicant is proposing to utilize the following materials for the exterior renovations:

- Benjamin Moore Gray 2121-10 paint
- Brushed stainless steel sign letters
- Sunbrella 64 Charcoal Tweed awnings
- Brass doors

Signage Review

The applicant is proposing to remove the existing sign that reads "CORNER BAR" along the valence of the northwest metal canopy and to replace it with an 8 in. tall, 19 ft. 6 in. long, brushed stainless steel name letter sign. The sign will display "THE TOWNSEND HOTEL" to match the north main entrance canopy sign. The proposed sign will be 13 sq. ft., which meets the requirements for area in accordance with Article 1, section 1.05, Table B of the Sign Ordinance.

A recess was called at 7:45 p.m. and the board reconvened at 8:15 p.m.

Ms. Ecker responded to Mr. Williams that this licensed establishment existed before the rule was changed to require SLUPs for all Liquor License establishments. Therefore, they were grandfathered in until they had a name change, an ownership change, or a

site plan review trigger. In this case, they have had a name change and a site plan review trigger.

Mr. Victor Saroki, Architect, was present and along with him was Mr. Steven Kalczynski, General Manager of the Townsend Hotel. Mr. Saroki said the intent for the space is to have private dining, small functions, corporate events, and showers. The interior will be upscale and classic. There are three main spaces on the interior: the private dining area, pre-function area, and a reception area. The last little space is a vestibule which is an air lock. A steel and glass door system can retract and allow two spaces to function as one larger space. The main entrance to this area will move to the west and provide an ADA compliant at-grade entry. The entrance will have brass doors, a small canopy, and topiaries on each side. The teal blue canopies and green awnings will be changed to a warm grey tweed color.

Lastly, there is a curb cut all the way down the side of Merrill St. in front of the Townsend which will allow for a valet operation.

Motion by Mr. Williams

Seconded by Mr. Koseck that based on a review of the site plans submitted, the Planning Board recommends approval of the applicant's request for Final Site Plan and a SLUP to allow the exterior and interior work for the former Corner Bar at 100 Townsend.

There were no last comments from the public at 8:20 p.m.

Motion carried, 6-0.

VOICE VOTE

Yeas: Williams, Koseck, Boyle, Clein, Jeffares, Lazar

Nays: None

Absent: Prasad, Share, Whipple-Boyce

05-96-16

**PRELIMINARY SITE PLAN REVIEW
COMMUNITY IMPACT STUDY ("CIS")**

1. 856 N. Old Woodward Ave. (vacant)

Ms. Ecker advised the applicant intends to build a four-story, mixed-use building at the subject site, with an additional level of underground parking. The site has a total land area of .56 acres and is located on the east side of N. Old Woodward Ave., south of Oak St.

It is proposed that the lower level of the building will have parking and the first floor is planned to contain parking fronted by retail space and a residential lobby. The second, third and fourth floors are now proposed to contain 26 residential units. On-street parking will also be provided on N. Old Woodward Ave. The footprint of the building proposed is 20,428 sq. ft., giving the building an approximate total of 102,000 gross sq. ft. Thus, the applicant was required to prepare a CIS in accordance with Article 7, section 7.27 (E) of the Zoning Ordinance as they are proposing one new building containing more than 20,000 sq. ft. of gross floor area.

On January 13, 2016, the Planning Board voted to accept the CIS with the provision that if the number of units or stories change or there are other significant changes the applicant would have to provide an update to the impacts for administrative approval. The Planning Board further postponed the Preliminary Site Plan Review until February 24, 2016.

On February 24, 2016, the Planning Board reviewed the site plan and traffic study further, and voted unanimously to approve the Preliminary Site Plan with conditions. One of the conditions was that the parking ingress and egress was not approved. Since then the applicant has made changes to their Preliminary Site Plan in order to bring their proposal more into compliance with the ordinance. The applicant has moved the entrance to the parking garage to the southwest corner of the building, and that has significantly improved the traffic flow. Both Birmingham's traffic engineer and the Engineering Dept. like this plan a lot better, so they have signed off on it.

Further, the applicant has addressed some of the other concerns this board had at the last meeting. Now they meet the ordinance requirements with regard to front and rear setbacks.

In accordance with Article 4, section 4.34 of the Zoning Ordinance, the proposed development is required to have a total of 56 parking spaces. The applicant is proposing 62 total parking spaces located on the first floor and lower levels of the building, and thus has met the requirements for parking. It appears there are six extra spaces on-site plus six extra in the right-of-way in front of the building that are available to the public. All proposed parking spaces meet the minimum 180 sq. ft. size requirement and the aisle widths are sufficient on the parking levels.

A height of 56 ft. and three stories is allowed by the ordinance. The applicant is proposing four stories at 56 ft., with both the third and fourth stories planned for residential use. The applicant has now revised their plans to make the building as compliant as feasible by stepping back the third floor 10 ft. and stepping back the proposed fourth story an additional 10 ft. ***The applicant will be required to eliminate the fourth floor and set back the third story 10 ft., or obtain a variance from the Board of Zoning Appeals ("BZA").***

Also there may be an issue with the canopy that protrudes over the third and fourth floor terraces at the front (west) elevation. ***Perhaps the canopy should be set back 10 ft. as well. Therefore the applicant has amended their variance application to add that to their request.***

Ms. Ecker explained that at the north end there are now six parking spaces in the right-of-way. Mr. Williams said his view is the six people who will be there for retail should not be allowed to make a left turn that close to the intersection.

Design Review

At this time the applicant has provided elevation drawings, but specific details or specification sheets on the materials have not yet been provided. The plans submitted indicate that the applicant is proposing to utilize the following materials:

- Stone (knee walls and upper level panels);

- Bronze metal (C channels, railings metal panels and awnings);
- Glass windows and storefront door systems with bronze frames and glass in bronze frame garage doors; and
- Bronze security screening and decorative bronze metal fencing in the easement south of the building.

The Planning Division will reserve detailed comments regarding architectural standards and design related issues for the Final Site Plan and Design Review.

Mr. Rick Rattner, Attorney, 380 N. Old Woodward Ave., was present with the owner, Mr. Frank Simon; the architect, Mr. John Marusich; and the engineer, Mr. Tim Ponton from Stonefield Engineering & Design, LLC. Mr. Rattner explained the review process that is followed in Birmingham. An appellant must first appear before the Planning Board for Preliminary Site Plan Review; then to the BZA if necessary to request any variances; and after that, back to the Planning Board for Final Site Plan Review.

A PowerPoint highlighted the changes that were made to the plan as a result of input from staff and from the Planning Board:

- The front setback was moved back 10.8 ft. so that it is in line with the building to the north;
- Parking and circulation, ingress and egress on N. Old Woodward Ave. was re-designed for a net gain of four parking spaces;
- The eave line is now 30 ft. and the height is 56 ft. to the top of the parapet, which is in compliance with the ordinance;
- The third story is stepped back 10 ft. and the fourth story is stepped back an additional 10 ft., thus minimizing the building mass.
- Seventy-one parking spaces are available right now, and 67 are required.

No one from the public wanted to provide input on the project at 8:50 p.m.

Mr. Boyle received clarification that the 56 ft. height includes mechanical units which are recessed into a well.

Mr. Williams believed the ingress and egress is simplified and much safer, which is critical in that area. Chairman Clein agreed, and thought the applicant did a fantastic job of listening to the traffic concerns.

Motion by Mr. Williams

Seconded by Mr. Koseck to approve the revised Preliminary Site Plan for 856 N. Old Woodward Ave. with the following conditions:

- 1. The applicant eliminate the fourth floor or obtain all necessary variances for height and setback of upper floors from the Board of Zoning Appeals;**
- 2. Provide the City with an access easement for ingress/egress and maintenance of the proposed public parking spaces;**
- 3. Provide floor plans for all units to verify correct parking is provided;**
- 4. Provide specification sheets for all mechanical equipment at the time of Final Site Plan and Design Review;**
- 5. Submit a landscape plan and lighting specification sheets at the time of Final Site Plan and Design Review;**

- 6. Add pedestrian scale street lights along N. Old Woodward Ave.; and**
- 7. Comply with the requirements of all City departments.**

Mr. Jeffares commented the applicant meets all ordinance requirements now with the exception of the number of stories and perhaps the canopy extension.

Mr. Koseck noted this proposal found a way to make the extra floor happen without compromising the building. They are self parking so that should not be an issue. Further he thought this a nice plan for that end of the City.

There were no final comments from the public at 8:55 p.m.

Motion carried, 6-0.

VOICE VOTE

Yeas: Williams, Koseck, Boyle, Clein, Jeffares, Lazar

Nays: None

Absent: Prasad, Share, Whipple-Boyce

Motion by Mr. Williams

Seconded by Mr. Koseck to amend the CIS for 856 N. Old Woodward Ave. to include the revised Traffic Study.

Motion carried, 6-0.

VOICE VOTE

Yeas: Williams, Koseck, Boyle, Clein, Jeffares, Lazar

Nays: None

Absent: Prasad, Share, Whipple-Boyce

- 2. 748-750 Forest (existing office buildings)
Proposal to demolish the existing buildings to construct a mixed-use office and residential development**

Chairman Clein said he has no conflict of interest with regard to this project, but one of the applicants, Mr. Larson, is a volunteer at Downtown Detroit Partnership where Chairman Clein's firm, Giffels Webster, has done work. The chairman thought that would be appropriate for the record to reflect.

Mr. Baka provided background. The subject site is composed of two parcels, 750 and 748 Forest Ave. located at the corner of Forest Ave. and Elm St. 750 is a fitness and health club, while 748 is an interior design office space. The combined parcels are 13,200 sq. ft. and are located on the southwest corner of Forest Ave. and Elm St. The applicant is proposing to demolish the existing buildings to construct a mixed-use, office and residential development occupying both lots. The proposed building consists of 22 residential units and 850 sq. ft. of office space.

The applicant is required to prepare a CIS accordance with Article 7, section 7.27 (E) of the Zoning Ordinance, as they are proposing a new building containing more than 20,000 sq. ft. of gross floor area.

The CIS acts as a foundation for discussion between the Planning Board and the applicant, beyond the normal scope of information addressed in the Preliminary Site Plan Review application. The Planning Board “accepts” the CIS prior to taking action on a Preliminary Site Plan.

CIS

The site is currently zoned O-2 Office Commercial and falls within the MU-5 and MU-3 Zones of the Triangle Overlay District.

The proposed building contains primarily residential units on the upper levels with parking, a residential lobby, and a small retail/office space on the first floor. However, the majority of the first floor is proposed to be parking and far exceeds the 60 ft. maximum street frontage permitted for parking areas. Further, based on the plans submitted the proposal does not meet the Triangle District requirements for 12 ft. sidewalks on the north elevation of the site.

No details have been provided on the energy efficiency of the systems proposed, nor on other energy reduction features, such as LED lighting, automatic shut offs, graywater recycling etc. It is not known at this time whether the applicant will be utilizing sustainable building techniques or applying for LEED certification.

Since almost the entire site is covered currently with impervious materials, a study of soil conditions will have to wait until the applicant has moved the tenants out and started construction. However, since there are two substantial structures that have been there a long time it would suggest that soils are not a problem. The Zoning Ordinance requires that soil conditions be provided as a part of the CIS review. Staff has not had time to thoroughly review the report, but the Executive Summary stated there were not any specific contamination issues.

The applicant provided a noise study today from, Kolano and Saha Engineers, Inc.; however staff has not had a chance to review the report.

The CIS states that the proposed building is larger than the two existing structures and larger than the building to the west and is very compatible with the building across the street to the north. The building meets the Zoning Ordinance in all ways as to height and scale.

The proposed site plan shows all trash and recycling collection taking place within the building. However, no details on this have been provided.

The Fire Dept. will require further information to ensure that all life safety issues have been addressed, including details on the fire suppression system, fire access, and the Knox Box location. The Police Dept. has not granted approval of the proposed security system at this time.

The applicant has provided a transportation study prepared by Tetra Tech, dated May 9, 2016. The transportation report concluded that the proposed development is not anticipated to have a significant impact on the operation of the adjacent roadway system or a negative effect on the Birmingham Multi-modal Plan.

The applicant indicates that a total of 36 parking spaces are proposed, with 34 spaces located in the parking lot under the building and two spaces located on Elm St. A total of 42 parking spaces is required.

Motion by Mr. Williams

Seconded by Ms. Lazar to receive and file an e-mail from Jim Rosenthal, 700 Forest St. LLC dated Monday, May 23, 2016 at 5:48 p.m. Also a second e-mail from Mr. Rosenthal dated Wednesday, May 25, 2016 at 10:54 a.m.

Motion carried, 6-0.

VOICE VOTE

Yeas: Williams, Lazar, Boyle, Clein, Jeffares, Koseck

Nays: None

Absent: Prasad, Share, Whipple-Boyce

In response to Mr. Williams, Mr. Baka explained this site is split zoned and that is why the building is at different heights. The Triangle Plan requires that the height steps down as properties get closer to single-family residential. Mr. Williams believed this is a logical consequence of what will take place over time in the entire Triangle District as the buildings get taller and denser and are built next to existing lower level structures. Ms. Ecker was not aware of any objections by the adjoining property owners at the time the Triangle Plan was approved. Mr. Boyle recalled the neighbors felt comfortable with the plan because of the step-down issue. Mr. Baka pointed out this building is not maxing out the ordinance.

There were no comments from the audience on the CIS at 9:25 p.m.

Motion by Mr. Williams

Seconded by Mr. Boyle to postpone consideration of the CIS for 748-750 Forest to the Planning Board meeting of June 8, 2016.

There were no public comments on the motion at 9:26 p.m.

Motion carried, 6-0.

VOICE VOTE

Yeas: Williams, Boyle, Clein, Jeffares, Koseck, Lazar

Nays: None

Absent: Prasad, Share, Whipple-Boyce

Preliminary Site Plan Review

Mr. Baka advised that the Overlay Ordinance limits parking to 25% of the frontage of the building, or 60 ft. maximum. At this point the applicant is at about 60% parking frontage,

where they need to be around 25%. Their corner location does not offer relief by providing additional frontage.

Chairman Clein summarized the issues with parking. There is non-compliance because of the linear frontage allowed for parking, along with the fact there are parking spaces within the first 20 ft. off the frontage line. Also, six additional spaces need to be provided.

Mr. Baka noted there is conflict with the rear setback requirement for the portion of the building in the MU-3 Triangle District Overlay Zone that requires a rear setback of 10 ft. which this building does not have.

The applicant must provide an easement of 2 ft. on the north side facing Forest Ave. in order to meet the 12 ft. minimum sidewalk standards of Article 3.12 (B) of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals.

Mr. Paul Robertson, Robertson Brothers, was present on behalf of his partner, Mr. Eric Larson, Larson Realty Group; Mr. Jim Clark, their president; Mr. Tim Loggin from Land Planning; Messrs. Ross Hoekstra and Michael Poris from McIntosh Poris Architects; along with Mr. Steve Templeton and Ms. Ann Templeton, the owners of 748 Forest.

Mr. Robertson noted the only way to make parking work in an economic environment is to put it on one floor and place it on a slab. Anything besides that loses efficiency and triples the cost. He observed the ordinance requirements don't allow enough parking and that part of the ordinance needs to be looked at. Otherwise every site in the Triangle District is going to be difficult, just like this site is very difficult. They are trying to construct reasonably priced housing that will work in that district, and parking on-site is needed for the purchasers or tenants. Most units are 2,000 sq. ft. and less. Further, Mr. Robertson was not sure why a 12 ft. sidewalk is needed here.

He went on to explain a revised plan that meets the ordinance. The address is switched to Elm St. which allows space on the first floor and more parking spots. Mr. Williams suggested that some of these alternatives be presented on June 8.

Mr. Koseck noted the way the ordinance is written a developer would almost have to accumulate large sites to be able to go below grade for parking. He had concerns about that because he didn't think they want a bunch of big buildings. Mr. Robertson concluded they only considered doing a residential project because this is a residential neighborhood.

There were no members of the public that wished to comment at 9:50 p.m.

Motion by Mr. Williams

Seconded by Mr. Jeffares to postpone consideration of the Preliminary Site Plan for 748-750 Forest to June 8, 2016.

There were no comments from the audience on the motion.

Motion carried, 6-0.

VOICE VOTE

Yeas: Williams, Jeffares, Boyle, Clein, Koseck, Lazar

Nays: None

Absent: Prasad, Share, Whipple-Boyce

05-97-16

MEETING OPEN TO THE PUBLIC FOR ITEMS NOT ON THE AGENDA (no comments)

05-98-16

MISCELLANEOUS BUSINESS AND COMMUNICATIONS

a. Communications (none)

b. Administrative Approval Correspondence

➤ 2400 E. Lincoln, Assisted Living -

Mr. Williams recused himself and left the meeting because of a conflict. His firm represented the owners of the land.

Ms. Ecker put the site plan up. Mr. Sean Havera with Hughes Properties was present along with Mr. Mike Dugan and Ms. Bethany Crispin with CA Ventures, Joint Venture Partner; and Mr. Chris George with Harley Ellis Devereaux, the architect. Mr. Havera cited changes that will allow them to continue to move forward and that he thought will be complimentary to what is going on in the City:

- Change screenwalls adjacent to the cemetery and to the service yard to CMU block;
- Change from brick to PVC fence around patio area;
- Remove the canopy on a portion of the south side of the site;
- Change the fountain to a planter;
- Change from Norman brick on the building to utility size brick;
- Replace brick with concrete foundation wall at ground level up to the underside of the aluminum windows;
- Change the color of the windows from bronze to dark grey;
- Change wood on the building to embossed fiber siding.

Mr. Koseck thought the screenwall in the back should be 32 in. and be built with concrete block that is integral to the building. The fence around the courtyard should be constructed of something that is permanent and not vinyl. Jumbo brick looks institutional and doesn't belong in a walkable environment.

Mr. Jeffares thought all of the proposed changes diminish the building and the chairman agreed. Mr. Havera did not think the changes lessen the look of the building.

The group's final consensus was that the changes are okay except no 8 in. concrete base at the bottom and no PVC fencing. Ms. Lazar suggested a piece of artwork could be placed where the fountain was removed.

05-99-16

c. Draft Agenda for the Regular Planning Board Meeting on June 8, 2016

- Public hearing on glazing change;
- TZ-2;
- Outdoor storage;
- 748 and 750 Forest, CIS and Preliminary Site Plan.

d. Other Business (none)

05-100-16

PLANNING DIVISION ACTION ITEMS

a. Staff report on previous requests (none)

b. Additional items from tonight's meeting (none)

05-101-16

ADJOURNMENT

No further business being evident, board members motioned to adjourn at 10:24 p.m.

Jana Ecker
Planning Director



MEMORANDUM

Planning Division

DATE: June 1, 2016

TO: Planning Board

FROM: Jana Ecker, Planning Director

SUBJECT: Public Hearing to consider amendments to Chapter 126, Zoning, Article 04, Section 4.90 WN-01 (WINDOW STANDARDS)

At the November 11, 2015 Planning Board meeting the Board held a public hearing to discuss proposed amendments to the current window standards in the Zoning Ordinance. The purpose of these amendments was to reduce the recurring need for applicants to seek variances from the Board of Zoning Appeals due to difficulty meeting those requirements. At that time it was acknowledged that additional changes needed to be made beyond what is currently proposed and it was determined that there needs to be further study on certain aspects of the standards before additional changes can be recommended. It was decided however, that the standard of measuring the percentage of glazing on a site should be consistently measured between 1 and 8 feet above grade. Accordingly, the Planning Board recommended approval of the proposed amendments to the City Commission, which were later adopted by the Commission. Since that time, the Planning Division has held several study sessions on the subject of window standards.

Background

Over the past several years the Planning Board has performed site plan reviews where the Planning Board expressed support for the proposed design but the applicant has been forced to pursue variances because they were not able to meet the window standards contained in the Zoning Ordinance. Accordingly, the Planning Board has been holding study sessions on this topic to explore ways that the ordinance requirements can be altered so that fewer variances are sought but the intent of the window standards remains in place. The intent of the glazing requirements has been to activate the streets and public spaces of Birmingham by creating an interactive relationship between the pedestrians and the buildings in commercial areas.

There are currently four sections of the Zoning Ordinance that regulate the amount of glazing, or windows, that are required in various commercial areas. Those sections are as follows:

Downtown Overlay

Article 03 section 3.04

4. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent areas, equal to 70% of its portion of the facade, between one and eight feet from the ground. The wood or metal armature (structural elements to support canopies or signage) of such storefronts shall be painted, bronze, or powder-coated.

6. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each façade being calculated independently.
7. Glass shall be clear or lightly tinted only. Opaque applications shall not be applied to the glass surface.

Triangle Overlay District

Article 03 section 3.09

B. Windows and Doors:

1. **Storefront/Ground Floor.** Ground floors shall be designed with storefronts that have windows, doorways and signage, which are integrally designed and painted. No less than 70% of the storefront/ground floor façade between 1 and 8 feet above grade shall be clear glass panels and doorway. Glass areas on storefronts shall be clear, or lightly tinted. Mirrored glass is prohibited. Required window areas shall be either windows that allow views into retail space, working areas or lobbies, pedestrian entrances, or display windows set into the wall. Windows shall not be blocked with opaque materials or the back of shelving units or signs. The bottom of the window must be no more than 3 feet above the adjacent exterior grade.

All other Commercial zones

Article 04 section 4.90

The following window standards apply on the front façade and any façade facing a street, plaza, park or parking area:

- A. **Storefront/Ground Floor Windows:** Ground floors shall be designed with storefronts that have windows, doorways and signage, which are integrally designed. The following standards apply:
 1. No less than 70% of the storefront/ground floor façade between 1 and 8 feet above grade shall be clear glass panels and doorway.
 2. Glass areas on storefronts shall be clear or lightly tinted in neutral colors. Mirrored glass is prohibited.
 3. Required window areas shall be either pedestrian entrances, windows that allow views into retail space, working areas or lobbies. Display windows set into the wall may be approved by the Planning Board.
 4. Windows shall not be blocked with opaque materials or furniture, products, signs, blank walls or the back of shelving units.
 5. The bottom of the window shall be no more than 3 feet above the adjacent exterior grade.
 6. Blank walls of longer than 20 feet shall not face a public street.
- B. **Upper Story Windows:** Openings above the first story shall be a maximum of 50% of the total façade area. Windows shall be vertical in proportion.

Recently, an obscure section of the Zoning Ordinance was discovered that includes an additional section of code that also regulates the amount of glazing required on commercial buildings. This section of the code only requires 50% clear glazing at street level.

Article 07 section 7.05, Architectural Design Review

7.05 Requirements

2. A minimum of 50% of that portion of the first floor facade of a building with a commercial use(s) on the first floor and that faces a public street, private street, public open space or permanently preserved open space shall contain clear glazing.

Potential changes

During recent site plan reviews where variances have been pursued, the subject properties have all been located outside of the overlay zones. Accordingly, the focus of the study sessions up to this point has been on the standards contained in Article 04 section 4.90, which affect all areas not within an overlay zone.. The Board has discussed creating a waiver that is contingent on a set of criteria that would allow the Planning Board, Historic District Commission, or Design Review Board to alter the glazing requirements under certain circumstances. The Planning Board developed a list of criteria that must be met in order to qualify for the modification of the standards. The draft language of the waiver criteria is attached for your review.

Another potential change that was discussed at the previous Planning Board study session was combining the provisions of Article 04 and Article 07 into one set of standards that requires 70% glazing on the facades that face the street and then reducing the requirement to 50% on secondary facades that face parking areas and open space. At the last study session the Planning Board discussed an error that was discovered by staff in the Zoning Ordinance that has a significant effect on how the existing language is enforced. The definition of façade was inadvertently altered when the Zoning Ordinance was reformatted in 2005. The current definition of façade reads as follows:

Facade: The vertical exterior surface of a building that is set parallel to a **setback line**.

However, prior to the reformatting of the Zoning Ordinance the definition of facade read as follows:

Facade means the vertical exterior surface of a building that is set parallel to a **frontage line**.

The change from frontage line to setback line significantly alters what is considered a façade as a frontage line is defined as follows:

Frontage line: all lot lines that abut a public street, private street, or permanently preserved or dedicated public open space.

With this discovery the window standards would only be enforced on facades as defined in the Zoning Ordinance prior to the reformatting. As this is a clerical error, it will be corrected. This eliminates glazing required on non-street facing facades and will reduce the number of variance requests but will still provide glazing on elevations of buildings that face the street. Accordingly, the Planning Division is of the opinion that this clerical error correction would bring the regulations back in line with the original intent of the window standards. This would eliminate the need for creating definitions for primary and secondary facades as discussed at

previous study sessions. As a result of this discovery, the Planning Board decided to eliminate the draft language that delineated between facades that face a street and those that do not. However, the Board did determine that building elevations that have a public entrance should contain some element of glazing. Accordingly, the Board directed staff to draft a provision that requires 30% glazing on those elevations that have a public entrance but do not face a frontage line. In addition, the Planning Division recommends adding Article 4, section 4.90(C) to prevent blank walls in most situations, and would also recommend the removal of Article 7, Processes, Permits and Fees, section 7.05(B), Architectural Design Review, as it is out of place in this location, and would be best addressed in Article 4, Development Standards – Window Standards, as noted above.

On May 11, 2016, the Planning Board discussed the proposed amendments to the glazing standards, and voted unanimously to set a public hearing for June 8, 2016. No changes have been made to the proposed language since that time. Draft ordinance language is attached for your review, along with relevant meeting minutes.

Suggested Action:

To recommend to the City Commission approval of the proposed changes to Article 04, Section 4.90 WN-01 and Article 07, Section 7.05 of the Zoning Ordinance to amend the glazing standards.

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 04 DEVELOPMENT STANDARDS, SECTION 4.90, WN-01 (WINDOW STANDARDS) TO ALTER THE REQUIRED GLAZING ON COMMERCIAL BUILDINGS.

Article 04, section 4.90 WN-01 shall be amended as follows:

4.90 WN-01

This Window Standards section applies to the following districts:

O1, O2, P, B1, B2, B2B, B2C, B3, B4, MX, TZ3

The following window standards apply ~~on the front façade and any façade facing a street, plaza, park or parking area:~~

- A. Storefront Windows: Ground floors shall be designed with storefronts that have windows, doorways and signage, which are integrally designed. The following standards apply:
 - 1. No less than 70% of a storefront/groundfloor façade between 1 and 8 feet above grade shall be clear glass panels and doorway.
 - 2. Glass areas on storefronts shall be clear, or lightly tinted in neutral colors. Mirrored glass is prohibited.
 - 3. Required window areas shall be either pedestrian entrances, windows that allow views into retail space, working areas or lobbies. Display windows set into the wall may be approved by the Planning Board.
 - 4. Windows shall not be blocked with opaque materials or furniture, products, signs, blank walls or the back of shelving units.
 - 5. The bottom of the window shall be no more than 3 feet above the adjacent exterior grade.
- B. Ground floor building elevations: Building elevations on the ground floor that do not face a frontage line but contain a public entrance shall be no less than 30% glazing between 1 and 8 feet above grade.**
- C. Blank walls of longer than 20 feet **on the ground floor** shall not face a **plaza, park, parking area or** public street.
- D. Upper Story Windows: Openings above the first story shall be a maximum of 50% of the total façade area. Windows shall be vertical in proportion.

E. To allow flexibility in design, these standards may be modified by a majority vote of the Planning Board, Design Review Board, and/or Historic District Commission for architectural design considerations provided that the following conditions are met:

- a. The subject property must be in a zoning district that allows mixed uses;**
- b. The scale, color, design and quality of materials must be consistent with the building and site on which it is located;**
- c. The proposed development must not adversely affect other uses and buildings in the neighborhood;**
- d. Glazing above the first story shall not exceed a maximum of 70% of the façade area;**
- e. Windows shall be vertical in proportion.**

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 07 ARCHITECTURAL DESIGN REQUIREMENTS, SECTION 7.05, REQUIREMENTS.

Article 07, section 7.05 shall be amended as follows:

7.05 Requirements

(See architectural design checklist on Site Plan Review application).

A. Building materials shall possess durability and aesthetic appeal.

~~B. A minimum of 50% of that portion of the first floor facade of a building with a commercial use(s) on the first floor and that faces a public street, private street, public open space or permanently preserved open space shall contain clear glazing.~~

BE. The building design shall include architectural features on the building facade that provide texture, rhythm, and ornament to a wall.

CE. Colors shall be natural and neutral colors that are harmonious with both the natural and man-made environment. Stronger colors may be used as accents to provide visual interest to the facade.

DE. The building design shall provide an interesting form to a building through manipulation of the building massing. This can be achieved through certain roof types, roof lines, and massing elements such as towers, cupolas, and stepping of the building form.

EF. These architectural elements shall be arranged in a harmonious and balanced manner.

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, OCTOBER 24, 2012
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held October 24, 2012. Chairman Robin Boyle convened the meeting at 6:30 p.m.

Present: Chairman Robin Boyle; Board Members Scott Clein, Carroll DeWeese, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams;

Absent: Student Representative Kate Leary

Administration: Matthew Baka, Planning Specialist
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

10-180-12

FINAL SITE PLAN REVIEW

995 S. ETON (postponed from the meeting of October 10, 2012)

Saretsky, Hart, Michaels & Gould Law Firm

Two-story addition to building in existing outdoor courtyard

Ms. Ecker highlighted the proposal. The site located at 995 S. Eton is a one-story building that currently houses a law office. The petitioner intends to build a two-story addition at the southeast corner of the building (facing Cole Ave.) at the location of an existing outdoor courtyard. The addition will add 1,043 sq. ft. for a total of 5,423 sq. ft. The existing parking lot will remain, though new plantings are proposed to buffer the addition from the parking lot. The applicant proposes an aluminum and glass façade with swinging window treatments for the addition. The applicant is also proposing the installation of a new rooftop mechanical unit on the existing roof with mechanical screening to match existing screens. The existing site is zoned MX, Mixed Use. The law office is a permitted use within this district.

The increase in square footage increases the applicant's parking requirement by three spaces. The applicant intends to convert one barrier-free parking spot to an unrestricted parking spot, and seeks to utilize two on-street parking spaces on Eton St. toward their parking requirement in exchange for making improvements in the right-of-way. *In order to count these spaces, the applicant will be required to obtain approval from the City Commission. If approval is not granted, the applicant will be required to obtain a variance from the Board of Zoning Appeals ("BZA") or enter into a shared parking agreement that must be approved by the Planning Board.*

The second level of the south elevation on Cole St. does not meet the glazing requirements of the MX District. The applicant has agreed to reduce the amount of glazing on the second floor

of the addition to comply with the maximum 50 percent glazing requirement. *If the glazing requirement is not met, a variance will be required from the BZA.*

All exterior design changes to the existing building will also be reviewed by the Design Review Board.

Mr. Roman Bonaslowski from Ron & Roman Architects was present for the applicant. With regards to the parking along Eton, if the Engineering Dept. believes there is a problem with the tightness of Cole as it resolves itself on Eton, he suggested the opportunity exists to make modifications on the south side of Eton if they believe it is too tight of a condition. Secondly, if there is opportunity to find 50 percent glazing going up from the top of the existing parapet they would prefer to have the glass up there or have it continue behind the louvers. It seems reasonable to add an additional tree on Cole. He requested that lighting not be a street improvement along Eton until there is a determination of what is happening along the entire Eton Corridor, and an understanding on how that street lighting can work.

Mr. Miles Hart from the law firm said their employee base is not growing. They need more space to spread out and into offices in order to have better working conditions. They don't have an issue with parking.

Mr. Williams thought the glazing on the second floor adds interest to the building. Mr. DeWeese agreed. To him it looks better if the top and bottom windows are the same size and the second floor is defined as starting at the top of the existing building.

There were no comments from the public at 8:55 p.m.

Motion by Ms. Whipple-Boyce

Seconded by Mr. DeWeese to approve the Final Site Plan and Design Review for 995 S. Eton, Saretsky, Hart, Michaels & Gould Law Firm, with the following conditions:

- 1. Applicant obtain approval of the City Commission for the use of two parking spaces on S. Eton or obtain a parking variance from the BZA;**
- 2. Applicant submit details for administrative approval for all landscaping, plant material, the location of the Knox box, and a recalculated glazing requirement on the south and east elevations that incorporates calculating the second floor glazing from the line of the existing building's roofline. A tree will be added on Cole.**
- 3. Applicant replace non cut-off light fixtures with cut-off fixtures to bring the site into compliance with the current ordinance;**
- 4. Applicant obtain approval from the Design Review Board for the proposed addition.**

Members of the public had no final comments at 9 p.m.

Motion carried, 7-0.

VOICE VOTE

Yeas: Whipple-Boyce, DeWeese, Boyle, Clein, Koseck, Lazar, Williams

Nays: None
Absent: None

10-183-12

MISCELLANEOUS BUSINESS AND COMMUNICATIONS

- a. Communications (none)
- b. Administrative Approvals
 - 335 E. Maple Rd. – To slightly re-design the proposed storefront at grade level to include an additional entrance door for the office component of the building.
 - 953 S. Eton – Install five ton condenser on roof/"Lamsl" painted to match building. Height of unit: 33 in.; height of screening: 41 in.
- c. Draft Agenda for the Regular Planning Board Meeting on November 14, 2012
 - Park St. re-zoning application;
 - Max and Erma's space for Stoney Creek Steakhouse; and
 - 550 W. Merrill, School Administration Building, for office use.
- d. Other Business
 - 2013 Bistro Update – The City Commission has sent three bistros for the Planning Board to look at: What Crepe?, Birmingham Sushi, and Crush.
 - Mr. Baka thought it might be useful in the future to give this board the flexibility to vary from the glazing requirement. Board members also agreed that applicants should not be required to appear before two boards for their reviews.

**PLANNING BOARD MINUTES
FEBRUARY 27, 2013**

PUBLIC HEARING

1. TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 04 DEVELOPMENT STANDARDS, SECTION 4.83, WN-01 (WINDOW STANDARDS) TO ALLOW DESIGN FLEXIBILITY AS PERMITTED BY THE PLANNING BOARD, DESIGN REVIEW BOARD OR HISTORIC DISTRICT COMMISSION.

Chairman Boyle opened the public hearing at 7:38 p.m.

Mr. Baka recalled that on October 24, 2012 the Planning Board approved a two-story addition to the office building at 995 S. Eton. However, the applicant was forced to revise the architectural design of the addition in order to meet the window standards established in the Zoning ordinance. At that time, it was discussed whether the Ordinance could be amended to give the reviewing City board the authority to allow architects more creativity and flexibility when composing their designs by allowing variation from the window requirements.

On January 9, 2013 the Planning Board conducted a study session to discuss a draft ordinance amendment aimed at allowing the reviewing board the flexibility to modify the window standards. At that time, there was discussion regarding limiting the amendment to the upper stories of a building. Accordingly, the Planning Board set a public hearing for February 27, 2013 to review the draft ordinance.

Mr. Baka said that consideration of window standards normally would only go to one or two relevant boards. Mr. Koseck thought that requiring an applicant to appear before two boards adds confusion. The board's consensus was that either board could make the call.

No one from the public wished to speak on this matter at 7:45 p.m.

Motion by Mr. DeWeese

Seconded by Mr. Clein to recommend approval to the City Commission to amend Article 04, Section 4.83 Wn-01(Window Standards) to encourage flexibility in design. These standards may be waived by a majority vote of the Planning Board or Design Review Board and the Historic District Commission, when required, for architectural design considerations.

Motion carried, 7-0.

VOICE VOTE

Yeas: DeWeese, Clein, Boyle, Koseck, Lazar, Whipple-Boyce, Williams

Nays: None

Absent: None

**CITY COMMISSION MINUTES
MAY 6, 2013**

**05-148-13 PUBLIC HEARING – ZONING ORDINANCE
AMENDMENT WINDOW STANDARDS**

The Mayor opened the Public Hearing at 7:40 PM to consider an amendment to the Zoning Ordinance, Chapter 126, Article 04 Development Standards, Section 4.83, WN-01 (Window Standards).

Mr. Baka explained that the Planning Board requested a modification to the ordinance to allow some flexibility regarding window standards due to a recent site plan review. Mr. Currier recommended the Planning Board develop effective standards for when the second floor window requirements could be waived.

The Mayor closed the Public Hearing at 7:42 PM. The Commission took no action.

**PLANNING BOARD MINUTES
AUGUST 14, 2013**

**STUDY SESSION
Glazing Standards**

Ms. Ecker noted that on October 24, 2012 the Planning Board approved a two-story addition to the office building at 995 S. Eton. However, the applicant was forced to revise the architectural design of the addition in order to meet the window standards established in the Zoning Ordinance. At that time, several members of the Planning Board expressed support for the proposed design. It was discussed whether the Ordinance could be amended to authorize the reviewing City Board to give architects more creativity and flexibility when composing their designs by allowing variation from the window requirements.

On January 9, 2013 the Planning Board conducted a study session to discuss a draft ordinance amendment aimed at allowing the reviewing Board the flexibility to modify the window standards. At that time, there was discussion regarding limiting the amendment to the upper stories of a building. Accordingly, the Planning Board set a public hearing for February 27, 2013 to review the draft ordinance amendment.

On February 27, 2013 the Planning Board recommended approval to the City Commission.

On May 6, 2013 the City Commission reviewed the ordinance amendment and sent it back to the Planning Dept. The City Attorney asked for more specific requirements to be added that would allow the Planning Board to waive the glazing requirements on the upper levels.

The Planning Board reviewed the revised ordinance and changed the wording as follows:

“ . . .To encourage flexibility in design these standards may be waived by a majority vote of the Planning Board and/or Historic District Commission for architectural design considerations. . . ”

b. The scale, color, design and quality of materials of upper stories must be consistent with the building and site; and

c. The proposed development must not adversely affect other uses and buildings in the neighborhood.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Clein to schedule a public hearing on Glazing Standards for September 11, 1913.

Motion carried, 5-0.

VOICE VOTE

Yeas: Whipple-Boyce, Clein, Boyle, DeWeese, Williams

Nays: None

Absent: Koseck, Lazar

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, SEPTEMBER 25, 2013
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held September 25, 2013. Chairman Robin Boyle convened the meeting at 7:32 p.m.

Present: Chairman Robin Boyle; Board Members Scott Clein, Carroll DeWeese, Bert Koseck (arrived at 7:35 p.m.), Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams; Student Representative Arshon Afrakhteh

Absent: None

Administration: Matthew Baka, Sr. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

09-168-13

PUBLIC HEARING

Glazing Standards (rescheduled from September 11, 2013)

TO CONSIDER AN AMENDMENT TO CHAPTER 126, ZONING, ARTICLE 04, SECTION 4.83 WN-01 (WINDOW STANDARDS) TO ALLOW DESIGN FLEXIBILITY AS APPROVED BY THE PLANNING BOARD, DESIGN REVIEW BOARD AND/OR HISTORIC DISTRICT COMMISSION

Chairman Boyle opened the public hearing at 7:37 p.m.

Mr. Baka advised that the Planning Board has been discussing whether the ordinance could be amended to give the reviewing City Board the authority to give architects more creativity and flexibility when composing their designs by allowing variation from the window requirements.

After several meetings on this topic, the Planning Board, at their August 14, 2013 meeting, held a study session detailing ordinance changes to the Glazing Standards and requested staff to set a public hearing date to consider amendments to Chapter 126, Article 04, section 24.83 B.

Mr. Williams received confirmation that the City Attorney is happy with the suggested ordinance amendments. Ms. Ecker verified that if a proposal goes before two different City boards, the Planning Board and the Historic District Commission ("HDC"), the HDC determination would take priority.

Chairman Boyle observed this is an example of the City listening to applicants and developers.

At 7:43 p.m. there were no comments from members of the audience.

Motion by Mr. Williams

Seconded by Mr. DeWeese to recommend approval by the City Commission to amend Article 04, Section 4.83 WN-01 (Window Standards) to allow design flexibility as permitted by the Planning Board, Design Review Board, and/or Historic District Commission.

There were no final comments from the audience at 7:44 p.m.

Motion carried, 7-0.

ROLLCALL VOTE

Yeas: Williams, DeWeese, Boyle, Clein, Koseck, Lazar, Whipple-Boyce

Nays: None

Absent: None

The chairman formally closed the public hearing at 7:45 p.m.

**BIRMINGHAM CITY COMMISSION MINUTES
JANUARY 27, 2014 MUNICIPAL BUILDING, 151 MARTIN
7:30 P.M.**

**01-15-14 PUBLIC HEARING TO CONSIDER AN ORDINANCE AMENDMENT TO
CHAPTER 126, ARTICLE 04, SECTION 4.83 WN-01**

Mayor Pro Tem Sherman opened the Public Hearing to consider an ordinance amendment to Chapter 126, Article 04, Section 4.83 WN-01 at 8:44 PM.

Planner Ecker explained that the proposed ordinance amendment was the subject of a public hearing on September 25, 2013, after a request from the City Commission to add more specific criteria in order to waive the current 50% glazing requirement on upper level windows.

Planner Ecker explained that the Planning Board does not want to change the glazing standards for the first floor windows, which is 70% in the downtown area as well as in the triangle district; the change would apply to the upper levels only. There are no window glazing guidelines in the Rail District.

In response to Commission discussion regarding the amount of flexibility in the proposed ordinance, Planner Ecker noted that the Planning Board wanted to be able to respond to design changes in the marketplace and to prevent the glazing requirements from getting in the way of a good development.

Commissioner Nickita suggested the ordinance be more flexible in the rail district, less so in the triangle district, and more restrictive in the downtown district. Commissioner Dilgard suggested changing "to encourage flexibility", to "to allow flexibility".

Mayor Pro Tem Sherman closed the Public Hearing at 8:57 PM.

The commissioners took no action on the proposed ordinance amendment, and directed staff to review the discussion with the Planning Board.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, APRIL 22, 2015
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on April 22, 2015. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Carroll DeWeese, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Members Stuart Jeffares; Student Representative Andrea Laverty (left at 9:30 p.m.)

Absent: Board Member Robin Boyle, Alternate Board Member Daniel Share; Student Representative Scott Casperson

Administration: Matthew Baka, Senior Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

04-80-15

**STUDY SESSION
Glazing Standards**

Mr. Baka explained that as a result of applicants having to revise their architectural designs in order to meet the window standards established in the Zoning Ordinance, members of the Planning Board have discussed whether the ordinance could be amended to give the reviewing City Board the authority to allow architects more creativity and flexibility when composing their designs by allowing variation from the window requirements.

After many prior meetings and review by the City Commission, the Planning Board at their March 11, 2015 meeting conducted a study session to continue discussion on improving the window standards. There was consensus that the 70% glazing requirement should be limited to between 1 and 8 ft. above grade in all zones and districts. It was also agreed that the current requirements of section 4.83 WN are problematic as they have required excessive glazing on several recent projects which has resulted in multiple variance requests to the Board of Zoning Appeals.

Although no specific modification standards were recommended over others, the Planning Board clearly indicated that the intent of the ordinance was to engage pedestrians in commercial zones. The board directed the Planning Dept. to review the various ways of accomplishing that intent. Accordingly, revised draft ordinance language is presented for the consideration of the Planning Board.

In order to provide consistency throughout the ordinance, the Planning Staff recommends amending the first floor standards in the Triangle District and Section 4.83 to require 70% glazing between 1 and 8 ft. above grade.

Mr. Baka advised that the window standards apply on the front façade and any façade that includes the primary entrance where the façade faces a street, plaza, park or parking area. Blank walls are not permitted on elevations with public entrances.

It was concluded that a definition of "blank wall" is needed. Ms. Whipple-Boyce thought that some flexibility should be written into the ordinance. Say that blank walls are not permitted on elevations, period. Mr. Koseck thought this matter needs another layer of study so they don't end up with a bunch of windowless buildings or uninterrupted walls that don't make for good architecture. Mr. Baka clarified that what is being discussed does not apply in the Downtown or the Triangle. It only applies in areas that are more likely to have a stand-alone building. Ms. Lazar thought the board needs definite parameters to work with.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, OCTOBER 14, 2015
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on October 14, 2015. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Carroll DeWeese, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce; Alternate Board Member Stuart Jeffares

Absent: Board Member Bryan Williams; Alternate Board Member Daniel Share; Student Representatives Scott Casperson, Andrea Laverty

Administration: Matthew Baka, Senior Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

10-201-15

STUDY SESSION

1. Window Glazing Standards

Mr. Baka recalled that on October 24, 2012 several members of the Planning Board discussed whether the ordinance could be amended to permit the reviewing City board the authority to give architects more creativity and flexibility when composing their designs by allowing variation from the window requirements. Since that time several study sessions and public hearings have been held to examine this topic.

At their meeting on January 27, 2014 the City Commission suggested that the ordinance amendment recommended by the Planning Board be modified to allow the proposed flexibility in the MX District but to have more restrictive requirements in the Downtown and Triangle District.

The first-floor glazing standards are inconsistent throughout the zones. The result of this difference is that outside of the Downtown Overlay a significantly larger amount of glazing is needed to satisfy the requirement. Therefore, the Planning Division recommends as a starting point amending the first-floor window standards in all districts in section 4.83, the General Standards, to require 70% glazing between 1 and 8 ft. above grade on any facade facing a street, plaza, park, or parking area. Blank walls of longer than 20 ft. shall not face a public street. It is believed that the addition of these provisions to these two areas of the City will significantly decrease the frequency of variance applications while still achieving the intent of the standards. Also, the Planning Division recommends amendments to Article 3, section 3.09(b)(1) to make the glazing standards consistent in the Triangle Overlay District.

The board discussed that unique circumstances might allow flexibility in design to modify the standards. They decided to come back to that later after a little more thought.

Board members concluded that consideration of the Downtown Overlay would be a separate issue.

The consensus was to amend Article 04, section 4.83 WN-01 A and B and strike C. Further, amend Article 03, Section 3.09 b (1) Commercial/Mixed Use Architectural Requirements in the MX District as presented.

Motion by Mr. Boyle

Seconded by Mr. DeWeese to send this matter to a public hearing on November 11, 2015.

Motion carried, 7-0.

VOICE VOTE

Yeas: Boyle, DeWeese, Clein, Jeffares, Koseck, Lazar, Whipple-Boyce

Nays: None

Absent: Williams

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, NOVEMBER 11, 2015
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on November 11, 2015. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Bert Koseck, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Members Stuart Jeffares, Daniel Share

Absent: Board Member Gillian Lazar; Student Representatives Scott Casperson, Andrea Laverty

Administration: Matthew Baka, Senior Planner
Sean Campbell, Asst. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

11-220-15

PUBLIC HEARINGS

- 1. TO AMEND ARTICLE 03 SECTION 3.09 (B) (1) TO REQUIRE GLAZING IN THE TRIANGLE DISTRICT BETWEEN 1 FT. AND 8 FT. ABOVE GRADE ON THE GROUND FLOOR;**
AND
TO AMEND ARTICLE 04, SECTION 4.83 WN-01 (WINDOW STANDARDS) TO SPECIFY THAT THE REQUIRED 70% GLAZING IS BETWEEN 1 AND 9 FT. ABOVE GRADE ON THE GROUND FLOOR IN ALL ZONE DISTRICTS

Chairman Clein opened the public hearing at 7:34 p.m.

Mr. Baka recalled that at the October 14, 2015 Planning Board meeting the board discussed the issues related to the current window standards and the recurring need for applicants to seek variances from the Board of Zoning Appeals ("BZA"). Although it was acknowledged that additional changes need to be made beyond what is currently proposed, it was determined that there should to be further study on certain aspects of the standards before additional changes can be recommended. It was decided however, that the standard of measuring the percentage of glazing on a site should be consistently measured between 1 and 8 ft. above grade. Accordingly, the Planning Board set a public hearing for November 11, 2015 to consider amendments to the window standards contained in the Zoning Ordinance.

The first floor glazing standards are inconsistent throughout the zones. In the Downtown Overlay the 70% requirement is only applied between 1 and 8 ft. above grade. In the

Triangle District and window standards of section 4.83, the 70% requirement is applied to the entire first floor. The result of this difference is that outside of the Downtown Overlay it requires a significantly larger amount of glazing to satisfy the requirement. A lot of developments are having a hard time meeting this standard. In order to provide consistency throughout the ordinance and still achieve the pedestrian and public interaction intended by the standards, the Planning Division recommends amending the first floor standards in the Triangle District and Section 4.83 to require 70% glazing between 1 and 8 ft. above grade. Staff believes that the addition of this provision to these two sections will significantly decrease the frequency of variance applications, while still achieving the intent of the standards.

The other proposed standard to be added to section 4.83 is that blank walls of longer than 20 ft. shall not face a public street.

There were no comments from the public at 7:36 p.m.

Motion by Mr. Boyle

Seconded by Mr. Williams to accept the amendments to the Zoning Ordinance as follows:

Article 04, section 4.83 WN-01

A. Storefront/Ground Floor Windows: Ground floors shall be designed with storefronts that have windows, doorways and signage, which are integrally designed. The following standards apply:

- 1. No less than 70% of the storefront/ground floor facade between 1 and 8 ft. above grade shall be clear glass panels and doorway.**
- 6. Blank walls of longer than 20 ft. shall not face a public street.**

Article 03, section 3.09 (b) (1)

B. Windows and Doors

1, Storefront/Ground Floor, Ground floors shall be designed with storefronts that have windows, doorways and signage, which are integrally designed and painted. No less than 70% of the storefront/ground floor facade between 1 and 8 ft. above grade shall be clear glass panels and doorway.

No one from the audience wished to comment at 7:37 p.m.

Motion carried, 7-0.

VOICE VOTE

Yeas: Boyle, Williams, Clein, Jeffares, Koseck, Share, Whipple-Boyce

Nays: None

Absent: Lazar

The chairman closed the public hearing at 7:38 p.m.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, MARCH 9, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on March 9, 2016. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Member Lisa Prasad; Student Representative Colin Cusimano

Absent: Board Members Bert Koseck, Gillian Lazar; Alternate Board Member Daniel Share

Administration: Matthew Baka, Senior Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

03-39-16

3. Glazing

Mr. Baka advised that over the past several years the Planning Board has performed site plan reviews where the board expressed support for the proposed design but the applicant has been forced to pursue variances because they were not able to meet the window standards contained in the Zoning Ordinance. Accordingly, the Planning Board has been holding study sessions on this topic to explore ways that the ordinance requirements can be altered so that fewer variances are sought but the objective of the window standards remains in place. The intent has been stated as the activation of the streets and public spaces of Birmingham by creating an interactive relationship between pedestrians and the users of the buildings in commercial areas.

During the study sessions held previously, the Board has discussed creating a waiver that is contingent on a set of criteria that would allow the Planning Board to waive the glazing requirements under certain circumstances. The City Commission has been hesitant to embrace this approach due to the subjective nature of such criteria. Accordingly, in previous study sessions the Planning Board developed a list of requirements that must be met in order to qualify for the exemption.

Another potential change that staff would like the Planning Board to discuss is combining the provisions of Article 04 and Article 07 into one set of standards that requires 70% glazing on the facades that face the street and then reducing the requirement to 50% on secondary facades that face parking areas and open space.

Mr. Baka recalled the Planning Board has been talking about glazing for quite a long time. The origination of the glazing requirements came from the Downtown Overlay Zone and/or the 2016

Plan where 70% glazing is required between 1 ft. and 8 ft. above grade. In the downtown that is just along the storefronts. When the Triangle Plan was created in 2006, glazing standards were also added. Then there were additions made to Article 4, the Development Standards which would apply to all commercial properties outside of the two Overlays. Last fall, an amendment was completed to make the three criteria consistent in that they were all being measured between 1 ft. and 8 ft. The Triangle and the General Commercial areas did not have that, so staff was forced to measure glazing for the whole facade which made it difficult for people to comply.

Right now section 4.90 dealing with all other commercial zones states that window standards requiring 70% glazing apply on the front facade and any facade facing a street, plaza, park, or parking area. The board has been talking about altering the language so that the requirements are not quite as difficult to meet. Staff has come up with a way to give this body the authority to waive those requirements if they see fit and has developed a list of requirements that must be met in order to qualify for the exemption:

To allow flexibility in design, these standards may be modified by a majority vote of the Planning Board, Design Review Board, and/or Historic District Commission for architectural design considerations provided that the following conditions are met:

- a. The subject property must be in a zoning district that allows mixed uses.
- b. The scale, color, design and quality of materials of upper stories must be consistent with the building and site on which it is located.
- c. The proposed development must not adversely affect other uses and buildings in the neighborhood.

Ms. Whipple-Boyce along with other members suggested adding the following:

d. No less than 50% glazing between 1 ft. and 8 ft. above grade on the secondary facades that don't face a public or private street. Note that the primary facade faces the street and contains the address.

Mr. Baka advised that current standards for upper story windows say that openings above the first story shall be a maximum of 50% of the total facade area. Windows shall be vertical in proportion. It was discussed that current office design calls for expansive use of glazing on the upper floors. Board members considered allowing no more than 70% glazing on the upper floors. Chairman Clein suggested coming back next time with the language that was discussed for the first floor along with language that says that the second story can have no more than 70% glazing.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, APRIL 13, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on April 13, 2016. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

Absent: Alternate Board Members Lisa Prasad, Daniel Share; Student Representative Colin Cusimano

Administration: Matthew Baka, Senior Planner
Sean Campbell, Asst. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

04-61-16

STUDY SESSION

Glazing

Mr. Baka recalled that the Planning Board has been holding study sessions on this topic to explore ways that the ordinance requirements can be altered so that fewer variances are sought but the intent of the window standards remains in place. The intent of the glazing requirements has been to activate the streets and public spaces of Birmingham by creating an interactive relationship between the pedestrians and the buildings in commercial areas.

Since the last study session an error was discovered in the Zoning Ordinance that has a significant effect on how the existing language is enforced. However, the Planning Division is of the opinion that this clerical error correction would bring the regulations back in line with the original intent of the window standards. This would eliminate the need for creating definitions for primary and secondary facades as discussed at the last study session. It will reduce the amount of glazing required on non-street facing facades and will reduce the number of variance requests, but will still provide glazing on elevations of buildings that face the street. The question is whether the board wants to add more requirements for non-street facing facades.

Board members decided to strike 4.90 WN-01 (C) (e) that states glazing on the ground floor facade shall not be reduced to less than 50% between 1 and 8 ft. above grade.

Discussion considered whether glazing should be required on buildings where a public entrance not on the frontage line is in the back. It was thought there must be a minimum of 30% glazing between 1 and 8 ft. above grade.

Mr. Baka agreed to write out the changes for the board to see one more time before this topic goes to a public hearing.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, MAY 11, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on May 11, 2016. Vice-Chairperson Gillian Lazar convened the meeting at 7:30 p.m.

Present: Board Members Stuart Jeffares, Bert Koseck, Gillian Lazar, Daniel Share, Janelle Whipple-Boyce, Bryan Williams; Student Representative Colin Cusimano

Absent: Chairman Scott Clein; Board Member Robin Boyle.

Administration: Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

05-84-16

STUDY SESSION ITEMS

1. Glazing

Ms. Ecker recalled the only changes from the last meeting were:

(1) That the board determined they would like minimum glazing required on any façade that has a public entrance, even if it is not in the front. That alteration was made to Article 4.90 WN-01 (B) Ground floor building elevations that now states "Building elevations on the ground floor that do not face a frontage line but contain a public entrance shall be no less than 30% glazing between 1 and 8 feet above grade." However, if the façade is on a frontage line and faces the street, 70% glazing is required.

(2) Also (C) Blank walls of longer than 20 ft. on the ground floor shall not face a plaza, park, parking area or public street.

For Chairperson Lazar, Ms. Ecker explained that Article 4.90 WN-01 (B) (5) means the bottom part of the window has to be in the pedestrian zone, which is no more than 3 ft. above the adjacent exterior grade.

Motion by Mr. Williams

Seconded by Ms. Whipple-Boyce to set a public hearing for June 8, 2016 to consider the proposed changes to Article 04, Section 4.90 WN -01 and Article 07, Section 7.05 of the Zoning Ordinance to amend the glazing standards.

At 7:40 p.m. there was no public to comment on the motion.

Motion carried, 7-0.

ROLLCALL VOTE

Yeas: Williams, Lazar, Jeffares, Koseck, Share, Whipple-Boyce

Nays: None

Absent: Boyle, Clein



MEMORANDUM

Planning Division

DATE: June 1, 2016

TO: Planning Board members

FROM: Matthew Baka, Senior Planner

SUBJECT: 750-748 Forest – CIS & Preliminary Site Plan Review
(All changes in Blue text)

I. INTRODUCTION

The subject site is composed of two parcels, 750 and 748 Forest Ave. 750 Forest is a fitness and health club, while 748 Forest is an interior design office space. The combined parcels are 13,200 square feet and are located on the southwest corner of Forest Ave and Elm Street. The applicant is proposing to demolish the existing buildings to construct a mixed use, office and residential development occupying both lots. The proposed building consists of 22 residential units and 850 square feet of office space.

The applicant is required to prepare a Community Impact Study in accordance with Article 7, section 7.27(E) of the Zoning Ordinance as they are proposing a new building containing more than 20,000 square feet of gross floor area.

At the May 25, 2016 meeting of the Planning Board the CIS and Preliminary site plan were postponed to allow staff time to review the Phase 1 environmental assessment and noise study and to allow the applicant time to consider some potential site plan changes that would eliminate the need for some of the variances that would be required under the current proposal. The applicant has now altered the first floor layout to increase the building frontage. However, several of the other pages have not been changed to accurately reflect the new layout.

II. COMMUNITY IMPACT STUDY

As stated above, the applicant was required to prepare a Community Impact Study given the size of the proposed development. The Zoning Ordinance recognizes that buildings of a certain size may affect community services, the environment, and neighboring properties. The CIS acts as a foundation for discussion between the Planning Board and the applicant, beyond the normal scope of information addressed in the preliminary site plan review application. The Planning Board “accepts” the CIS prior to taking action on a Preliminary Site Plan.

A. Planning & Zoning Issues:

Use

The site is currently zoned O-2 Office Commercial and falls within the MU5 and MU3 zones of the Triangle Overlay District. The proposed residential units, office space and parking facility are permitted principal and/or accessory uses in the Triangle Overlay District in accordance with Article 3, section 3.07 of the Zoning Ordinance.

Master Plan Compliance: Triangle District Urban Design Plan

The Triangle District Urban Design Plan ("Triangle Plan") and form based code was approved on August 20, 2007. The purpose of the Triangle Plan is to:

- Improve the visual appearance of the area, its streets, alleys, public spaces, and buildings by establishing guidelines for design and implementation of public and private projects;
- Improve the economic and social vitality by encouraging diversity of use and opportunities for a variety of experiences;
- Better utilize property through more compact, mixed-use development;
- Link with Downtown across Woodward's high traffic barrier;
- Improve the comfort, convenience, safety, and enjoyment of the pedestrian environment by create an inviting, walkable, pedestrian neighborhood and setting aside public plazas;
- Organize the parking and street system to facilitate efficient access, circulation, and parking to balance vehicular and pedestrian needs;
- Encourage sustainable development; and to
- Protect the integrity of established residential neighborhoods.

The Triangle Plan encourages proper building mass and scale to create an environment that is more comfortable to pedestrians and helps bridge the gap to the Downtown across Woodward Avenue. The proposed development will help improve the visual appearance of the area, by creating a denser, more compact development with enough height to create a street wall along Forest. A wider sidewalk on Forest and Elm Street will increase the comfort of pedestrians, as will the addition of street furniture, street trees and pedestrian scaled lighting. **The proposed building contains primarily residential units on the upper levels with parking, a residential lobby and a small retail/office space on the first floor. However, the majority of the first floor is proposed to be parking and far exceeds the 60 foot maximum street frontage permitted for parking areas.**

In addition, the Triangle Plan encourages pedestrian-scale features which should be incorporated on the first floor of buildings and at entrances to help relate buildings to the streetscape. The plan for the proposed building includes a metal canopy along the Forest elevation, as well as extensive glazing, as well as pedestrian scale lighting along both the Forest and Elm façades.

Streetscape components are an integral part of the Triangle Plan. As discussed above, the applicant is proposing pedestrian scale street lighting, street trees along Forest and Elm, and the addition of 2 benches and 1 trash receptacle in the public right-of-way. These additions create a pedestrian scale at this corner in accordance with the recommendations contained in the Triangle Plan. **However, based on the plans submitted the proposal does not meet the Triangle District requirement for 12' sidewalks on the north elevation of the site.** The applicant has provided a full streetscape plan. A full design review will be conducted at the time of Final Site Plan and Design Review.

Energy efficiency should also be considered when locating and orienting buildings on a site. Green building practices, which minimize the environmental impact of buildings both in the construction phase and throughout the life of the building, are encouraged in the construction of new facilities. The applicant has indicated that the proposed development will utilize extensive glazing to increase daylighting of the interior. The applicant has also advised that the entire building and site will be non-smoking, and each unit will have individually controlled HVAC systems. **No details have been provided on the efficiency of the systems proposed, nor on other energy reduction features, such as LED lighting, automatic shut offs, graywater recycling etc. While it is not known at this time whether the applicant will be utilizing sustainable building techniques or applying for LEED certification, the Planning Division highly recommends this be considered as part of the proposed project.**

The Triangle Plan also encourages integrating parking into the design of the buildings in order to achieve the desired pedestrian-oriented streetscapes. This development is proposing to utilize covered parking within the first floor of the building. As stated above, **the proposed building design greatly exceeds the limits set forth in the Triangle Overlay requirements for street frontage that may be occupied by parking.** The applicant also states that they are proposing to provide covered bike storage for the occupants', although the plans do not indicate where this storage is intended to be.

Finally, the Triangle Plan also ensures that established residential neighborhoods should be protected. The building is proposed to be stepped down from 5 stories at the west end of the parcel to 3 stories at the east end adjacent to the single family homes. **The applicant is proposing to construct a portion of the MU3 section of the building up to five (5) stories. This is permitted by the Triangle Overlay if they are 100' or more from residential and meet the requirements of section 3.08 (E), which requires that they meet two (2) or more of the conditions listed. As currently proposed, the plan meets provision three (3) by providing over 50% of the floor area as residential. The applicant must demonstrate compliance with at least one of the other provisions listed in section 3.08 (E).**

B. Land Development Issues:

The applicant has provided a survey of existing site conditions, including existing drainage. A drainage plan for the proposed new development has also been submitted as a required component of the Community Impact Study. The drainage plan proposes a sewer connecting from Elm Street, running west through the proposed parking area, connecting to a drainage structure under the parking lot.

The applicant has not submitted a Phase 1 Environmental Site Assessment at this time. The CIS document submitted by the applicant states the following:

"Since almost the entire site is covered currently with impervious materials this will have to wait until we have moved the tenants out and start construction. However, since there are two substantial structures that have been there a long time it would suggest that soils are not a problem."

The Zoning Ordinance requires that soil conditions be provided as a part of the CIS review.

A Phase 1 environmental report has now been provided by the applicant and is dated July 20, 2015. The study indicates that there are no "recognized environmental conditions" (REC) present on the site, nor are there any controlled or historical REC's on site. The study did identify a potential environmental issue in that there may be materials with asbestos on site or lead paint. The study states that proper testing should be done before any demolition to confirm whether or not such issues are present. In summary, the report does not recommend any further investigation of the subject site at this time.

C. Utilities, Noise and Air Issues:

In accordance with the Triangle Plan, all utilities on the site should be buried to visually enhance the site. Thus, the applicant will be required to bury all utilities on the site. The applicant has indicated that DTE will be providing electricity to the site, and that all new lines will be fed from existing overhead lines. AT&T and Comcast will also provide utility service to the site.

As noted in the CIS, **the applicant has not yet provided a noise study.** However, Kolano and Saha Engineers, Inc. have been hired to create a report that the applicant will submit to the City in the near future. **The applicant has now submitted a noise study that was completed on May 19th, 2016. The results of the noise study state that the proposed development should be compatible with the surrounding neighborhood and should not create a significant source of noise beyond the property line. However, should it be necessary to ventilate the garage area or if the applicant decides to install a backup generator, then the specification of these units should be reviewed to ensure that they will be compliant**

[with the noise regulations contained in the City Code.](#)

The applicant has stated in the CIS that this site is located in Southeast Michigan Air Quality District, with monitoring stations in the Pontiac, Rochester, Oak Park and Allen Park, as well as others in the district. This district has attained and surpassed the National Ambient Air Quality Standards for Carbon Monoxide, Nitrogen Dioxide, Ozone, Sulfur Dioxide and particulate matter less than 10 microns and has attained the standard for Annual and 24-hour Fine Particulates, but is awaiting that designation by the EPA.

D. Environmental Design and Historic Values:

The applicant has indicated that no demonstrable destruction of natural features will take place at the site, as the site is largely impervious. Demolition will include the elimination of two buildings and a surface parking lot. The proposed building will be designed to fit harmoniously with the site, surroundings and neighborhood. **The CIS states that the proposed building is larger than the two existing structures and larger than the building to the west and is very compatible with the building across the street to the north. The proposed building meets the Zoning Ordinance in all ways as to height and scale.** The proposed building is taller than other buildings in the area and will change the skyline and change some of the view from the adjoining properties, but the proposed building height conforms to the Zoning Ordinance. The goal is for the building to be prominent but also blend into the urban fabric of the street. The CIS states that the existing site trees and shrubs will be removed during construction, but new trees will be planted in the public right-of-way once construction is complete. The new building will occupy the entire site and therefore no onsite landscaping is proposed. A complete design review, including streetscape elements, will be conducted as a part of the Final Site Plan review process.

The site is not listed on the National Register of Historic Places, nor is it on the City's list of historic sites. Review by the SHPO and HDC is not required. The CIS states that there are no properties or elements within the site plan boundaries that are historic. No properties in the surrounding area are on the Historic Register.

E. Refuse, Sewer and Water:

The proposed site plan shows all trash and recycling collection taking place within the building. **No details on this have been provided at this time to indicate how recycling will be collected within the building.**

The CIS further states that there is a 12" existing water service to the site that will be adequate to service the site. The CIS states that the applicant will use low flow toilets and Energy Star appliances to reduce water consumption in the building. The CIS indicates that an existing 24" combined sewer on the site will be sufficient to service the development, and that there are no feasible options

to reduce runoff on the site due to the size of the site, layout of the proposed building and soil conditions.

F. Public Safety:

The applicant has stated that the proposed development provides adequate access for police, fire and emergency vehicles from Elm, Forest and the alley. The CIS and the plans state that the surface drives will be designed to support the heaviest City emergency vehicle. In addition, the CIS states that the elevators in the building will accommodate a medical cart, stretchers and emergency equipment.

The Police Department has not expressed any concerns. The applicant has advised that the building will conform to all applicable Fire Codes for layout, access, hydrant coverage and water connections. **The Fire Department will require further information to ensure that all life safety issues have been addressed, including details on the fire suppression system, fire access and the Knox Box location.** This was not provided in the CIS and will be required at the time of Final Site Plan review. The CIS states that the building will be designed with security features and a third party monitoring and security system. The main lobby door will also be controlled via an intercom system connected to the apartments. The apartment units' entrance lobby door and all other building access doors will be locked, with access by a master key or by keypad code. The lobby door will also be controlled via an intercom system connected to the units. **The Police Department has not granted approval of the proposed security system at this time. The applicant will need to submit this information for approval after final design is complete.**

G. Transportation Issues:

The CIS states that on site car parking will be sufficient to support the proposed development. The applicant is also proposing on site covered bicycle storage, which will encourage mode shift by residents for local trips. In addition, bus service is currently available along both Maple and Woodward, and the Amtrak station is located 0.25 miles to the east.

The applicant has provided a transportation study prepared by Tetra Tech, dated May 9, 2016. The transportation report concluded that the proposed development is not anticipated to have a significant impact on the operation of the adjacent roadway system. Specifically, the report found that new vehicular traffic generated by the proposed development will increase the number of trips generated to the site by 95 in a typical week. The report also concluded that the proposed development will not have a negative effect on the Birmingham Multi-Modal plan.

The City's transportation consultant has provided their comments which are attached to this report.

H. Parking Issues:

The applicant indicates that a total of 36 parking spaces are proposed, with 34 spaces located in the parking lot under the building and two spaces located on Elm. A total of 42 parking spaces are required (1.5 spaces/two (2) or less room unit, 2 spaces/3 or more room unit and 1/300 sq ft of commercial space). A thorough discussion of the parking requirements is contained in the attached Preliminary Site Plan report. **The applicant has now submitted revised plans that indicate a total of 39 parking spaces are proposed, with 37 on site and two on Elm Street.**

I. Natural Features:

The applicant has indicated that there will be little impact on natural features or bodies of water as a result of the proposed development, as the site is located in an urban area and the site is currently predominately impervious surface.

J. Departmental Reports

1. Engineering Division –A few minor things to comment on during the construction review, but they have designed the site in accordance with our standards. No comments at this time.
2. Department of Public Services – No comments have been received from the DPS.
3. Fire Department – The Fire Department needs the alley on the south side posted as "no parking fire lane" to provide access for emergency evacuation from upper balconies if needed. Additionally, this is considered a high rise building under the Michigan Building Code and is required to comply with high rise requirements. A Fire Suppression system with a minimum 6" main and a FDC fronting on Elm Street is required.
4. Police Department – The Police Department has no concerns with this project.
5. Building Division – The Building Division has provided their standard comments, and has the following additional comments:
 1. The configuration of the interior exit stairways and the exit discharge are not in compliance with Section 1022 and 1027 of the Building Code.
 2. The basement is proposed to have only one exit stairway. It appears that current layout will require two exit stairs.
 3. The exit access doors to the exit stairway enclosures will need to be separated from each other a distance of at least one third of the

overall diagonal distance of the building to comply with Section 1015.2.1 of the Building Code.

4. Applicant should verify that the second level balconies encroaching into the public right-of-way will comply with Chapter 32 of the Building Code.

K. Summary of CIS:

The following issues remain outstanding with regards to the CIS:

- (1) Information on all life safety issues and Fire Dept. approval;
- (2) Information on the proposed security system for approval by the Police Department.

L. Suggested Action:

1. To **ACCEPT** the Community Impact Study as provided by the applicant for the proposed development at 748 & 750 Forest with the understanding that the following information must be provided:

- (1) Information on all life safety issues and Fire Dept. approval;
- (2) Information on the proposed security system for approval by the Police Department.

Or

2. To Postpone action on the Community Impact Study as provided by the applicant for the proposed development at 748 & 750 Forest, with the following conditions;

Or

3. To decline the Community Impact Study as provided by the applicant for the proposed development at 748 & 750 Forest for the following reasons:

- a. _____
- b. _____
- c. _____

Preliminary Site Plan Review

III. Preliminary Site Plan Review

Please see the attached Zoning Compliance Summary Sheet for detailed zoning compliance information.

1.0 Land Use and Zoning

- 1.1. Existing Land Use – The existing land uses on the site include Forest Fitness and Health and Forest Avenue Design Management. Both are proposed to be demolished to allow construction of the new mixed use building.
- 1.2. Zoning – The underlying zoning is O-2, Office Commercial, and the Overlay zoning is MU-5 and MU-3 in the Triangle District Overlay. The existing use and surrounding uses appear to conform to the permitted uses of the Zoning District.
- 1.3. Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

	North	South	East	West
Existing Land Use	Office, Commercial	Office, Commercial	Residential	Office, Commercial
Existing Zoning District	O-2, Office Commercial	O-2, Office Commercial	R-2, Residential	O-2, Office Commercial
Triangle District Overlay	MU-5, Mixed Use 5 Story and MU-3, Mixed Use 3 Story	MU-5, Mixed Use 5 Story and MU-3, Mixed Use 3 Story	ASF-3 Attached Single 3 Story	MU-5 Mixed Use 5 story

2.0 Setback and Height Requirements

The attached zoning summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. There are conflicts with minimum building frontage and minimum parking lot frontage percentages on the north and east sides of the building. There is also a conflict with the rear setback requirement for the portion of the building in the MU-3 Triangle District Overlay Zone. **The applicant has now indicated that they intend to orient**

the building towards Elm to eliminate the rear setback issue.

The applicant is also proposing to construct a portion of the MU3 section of the building up to five (5) stories. This is permitted by the Triangle Overlay if they are 100' or more from residential and meet the requirements of section 3.08 (E), which requires that they meet two (2) or more of the conditions listed. As currently proposed, the plan meets provision three (3) by providing over 50% of the floor area as residential. The applicant must demonstrate compliance with at least one of the other provisions listed or reduce the MU3 portion of the building to 3 stories.

3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The applicant is proposing one trash area on the ground floor between the lobby and the parking lot. The area is contained within the building.
- 3.2 Parking Lot Screening – The parking lot is contained within the building, therefore no screening required. However, as indicated in the CIS section of this report, **the parking lot frontage as proposed exceeds the permitted 60' allowed by section 3.08 of the Zoning Ordinance for corner lots.**
- 3.3 Mechanical Equipment Screening – The electrical transformer is located within the building. No HVAC units have been indicated at this time. **All mechanical equipment must be screened in accordance with the requirements of the Zoning Ordinance.**
- 3.4 Landscaping – N/A
Parking Lot Landscaping – N/A

4.0 Streetscape

The following streetscape requirements are outlined within the Triangle Overlay District:

- Sidewalks: Must be a minimum of 12' wide; the applicant is proposing 12' sidewalks along Elm St, and 10' along Forest Ave. **The applicant must provide an easement of 2' on the north side facing Forest Ave in order to meet the 12' minimum sidewalk standards of Article 3.12(B) of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals. The applicant has now amended the plans to include the required 12' sidewalks on both Forest and Elm Streets.**
- Street Trees: One canopy street tree planted within tree grates in the sidewalk is required for every 40' of street frontage. The cumulative

frontage of Forest Avenue and Elm Street is 229'8". The applicant is proposing 5 street trees, 3 on Elm Street and 2 on Forest Avenue, which satisfies the ordinance requirements.

The 5 proposed street trees are Liquidambar Styraciflua, also known as the Emerald Sentinel Sweet Gum. The planned trees are 3" in caliper which meets the minimum size requirements of Article 4.20(D.7-a.2) of the Zoning Ordinance. The Streetscape Site Plan indicates 5'x5' tree grates per district standard, but the Street Tree Planting Detail indicates a size of 4'x4'. **The applicant must clarify the size of the tree grates.**

- Street Lights: Pedestrian level street lighting of a decorative nature shall be installed along sidewalks and shall be designed to promote the traditional neighborhood character of the area. Light fixtures shall meet the specifications of the City of Birmingham and hanging planters must be installed on all light fixtures as directed by the Planning Board. **The plans indicate a total of 5 street lights per city standards.**
- Street Furniture: Benches and trash receptacles need to be provided where the Planning Board determines that pedestrian activity will benefit from these facilities. **The applicant has indicated two benches and one trash receptacle along the Forest facade. The street furniture must comply with the Triangle District streetscape standards.**
- Bicycle Facilities: Sufficient bike racks to allow parking of a minimum of 1 bike for every 10 cars, or 1 bike for every 3,000 sq. ft. of building floor area, whichever is greater. **The applicant must provide 4 bike racks (42 parking spaces/10= 4.2). Currently there are no bike racks indicated on the plans.**

5.0 Parking, Loading and Circulation

- 5.1 Parking – In accordance with Article 4, section 4.45 (PK) of the Zoning Ordinance, 42 spaces are required for the mixed use, office and residential building. The Zoning Ordinance requires 1.5 parking spots per residential unit of 2 rooms or less, 2 parking spots per residential unit of 3 rooms or more, and 1 parking spot per 300 square feet of office space. The applicant is proposing 10 residential units of 2 rooms or less, 12 units of 3 rooms or more, and 850 square feet of office space.

10 residential units*1.5 spaces=15 parking spaces
12 units *2 spaces = 24 parking spaces
850 sq. ft. office space/300 sq. ft.= 3 parking spaces
Total required = 42 parking spaces

The applicant is now proposing 37 spaces on site and is permitted to count the two on street spaces along Elm towards their parking requirements as well. Accordingly, the applicant must provide 3 additional spaces or obtain a variance from the Board of Zoning Appeals. The Triangle Overlay Plan provides alternatives to providing required spaces including utilizing a shared parking agreement or contribution to the public parking fund. The applicant has stated that they are considering the use of car lifts to supply the additional required parking.

Article 3.08(G)1(b): For a corner lot, the cumulative total of both frontages occupied by parking shall be no more than 25%, or 60 feet, whichever is less, and the building shall be located at the corner of the lot adjacent to the intersection.

Total Lot Frontage to Public Right of Way = 229'8"
Total Parking Frontage = 80'
Frontage Occupied by Parking (80'/229.7') = 35%

The applicant must reduce parking frontage to 25% of street frontage length to meet 3.08(G.1.b) requirements of the Zoning Ordinance or apply for a variance from the Board of Zoning Appeals (229.7' * 25% = 57' of maximum parking frontage)

Article 3.08(G.4): Where a parking structure is provided or parking is located on the ground level below the building, usable building space to a depth of at least 20 feet shall be provided in front of the parking for the minimum required building length.

Total Lot Frontage to Public Right of Way = 229'8"
Total Building frontage = 147' 4"
Frontage Occupied by Usable Space (147.3'/229.7') = 65%

The building must have usable building space to a depth of at least 20 feet along a minimum of 75% of the total street frontage length when parking is located on the ground level, or the applicant must obtain a variance from the Board of Zoning Appeals (229.7' * 75% = 172' of frontage occupied by usable space).

- 5.2 Loading – In accordance with Article 4, section 4.24 of the Zoning Ordinance, no loading spaces are required for the proposed development.
- 5.3 Vehicular Circulation and Access –
The proposed development includes the removal of one curb cut from the existing site at 748 Forest Ave. Vehicular access to the proposed development will be from Forest Ave, Elm Street, and the alley on the south side of the property. The Forest Avenue and Elm Street entrances

to the parking lot will each require a new curb cut.

Vehicles entering the site from Forest Ave and Elm Street may park in the ground level lot via a 20' open entrance. Vehicles entering the site from the alley must pass through one of six retractable garage doors. Dimensions of the garage doors have not been provided. **The applicant has modified the proposal to eliminate the curb cut along Forest. Access to the parking area is now off Elm and the public alley to the south. One additional garage door has been added off of the alley to the south.**

- 5.4 Pedestrian Circulation and Access – The applicant has provided pedestrian entrances at two locations on Forest Ave. One is on the northeast corner of the building providing access to the office space. The second provides residential access to the lobby from the mid section of the north elevation. **The applicant has now amended the plans to provide the residential lobby entrance to the building off of Elm Street at the northeast corner of the building. The entrance to the office space is now proposed on Forest Street.**

6.0 Lighting

The applicant has not provided a photometric plan or lighting specification sheets which will be required at Final Site Plan Review.

7.0 Departmental Reports

1. Engineering Division –A few minor things to comment on during the construction review, but they have designed the site in accordance with our standards. No comments at this time.
2. Department of Public Services – No comments have been received from the DPS.
3. Fire Department – The Fire Department needs the alley on the south side posted as "no parking fire lane" to provide access for emergency evacuation from upper balconies if needed. Additionally, this is considered a high rise bldg under the Michigan Building Code and is required to comply with high rise requirements. A Fire Suppression system with a minimum 6" main and an FDC fronting on Elm Street is required.
6. Police Department – The Police Department has no concerns with this project.
7. Building Division – The Building Division has provided their standard comments, and has the following additional comments:
 4. The configuration of the interior exit stairways and the exit discharge

are not in compliance with Section 1022 and 1027 of the Building Code.

5. The basement is proposed to have only one exit stairway. It appears that current layout will require two exit stairs.
 6. The exit access doors to the exit stairway enclosures will need to be separated from each other a distance of at least one third of the overall diagonal distance of the building to comply with Section 1015.2.1 of the Building Code.
4. Applicant should verify that the second level balconies encroaching into the public right-of-way will comply with Chapter 32 of the Building Code.

8.0 Design Review

The building consists of five stories on the western section, and three stories on the eastern section, both of which have flat rooftops. The flat roof of the eastern section will serve as an outdoor terrace. The ground level of the western section consists of a masonry wall with a grey finish which will enclose the parking lot. The exterior of the building is grey and navy blue. The windows are vertically proportioned and appear to be transparent. The residential units have balconies with concrete bases and metallic checkered fencing. A complete Design Review will be provided at Final Site Plan Review.

A ground level façade made predominantly of glass surrounds the office and lobby space on the Forest Ave and Elm Street frontages. The glazing abuts a grey masonry wall which encloses the parking lot on both the north and east facing sides of the building. The masonry walls have window openings and vehicle entryways to prevent a blank wall of more than 20 feet. **No glazing calculations for the first floor have been provided at this time.** As per Article 3.09(B.1) of the Zoning Ordinance, no less than 70% of the storefront/ground floor façade between 1 and 8 feet above grade shall be clear glass panels and doorway. **As noted above, the applicant has now moved the residential lobby to the Elm Street façade, and the office space now fronts on Forest.**

Openings above the first story are planned for the residential units. The upper stories consist of grey and navy blue exterior finish, with vertically proportioned windows and balconies for the residential units. The balconies are composed of metal railings and a checkered design. **No glazing calculations for the upper stories have been provided at this time.** As per Article 3.09(B.3) of the Zoning Ordinance, openings above the first story shall be a maximum of 50% of the total façade area.

Via Activation Overlay

The current design adjacent to the via on the south side of the building includes a masonry wall with 6 garage doors. The garage doors facing the via provide

access to 13 parking spaces on the ground level of the building. **The Planning Board may wish to recommend design amenities that will enhance the character, visual interest, and surveillance of the building facing the via.** The current function of the space facing the via is to provide access for parking. If the function of the space facing the via is ever to change, designs and amenities should be able to accommodate different uses permitted in the Triangle and Via Activation Overlay Districts.

In accordance with Article 3.16(E.1.a) of the Zoning Ordinance, for publicly owned vias, the applicant must provide broom finish concrete with exposed aggregate for visual interest in all vias. **No details have been provided on alley improvements at this time and will be required at Final Site Plan review.**

Via lighting must be provided by adjoining property owners where needed to ensure the safety of pedestrians as per article 3.16(G.1) of the Zoning Ordinance. The Planning Board may wish to recommend surface lighting luminaires with scale, color, and materials that will architecturally enhance the building features, and activate the via space.

Article 3.16(H) of the Zoning Ordinance states that all portions of buildings and sites directly adjoining a via must maintain a human scale and a fine grain building rhythm that provides architectural interest for pedestrians and other users, and provide windows and doors overlooking the via to provide solar access, visual interaction, and surveillance of the via. **The Planning Board may wish to recommend windows and architectural features customarily found on the front façade of a building, such as awnings, cornice work, edge detailing or decorative finish material to improve the aesthetic experience of the via.**

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be

such as to not interfere with or be hazardous to vehicular and pedestrian traffic.

- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Recommendation

Based on a review of the site plan revisions submitted, the Planning Division recommends that the Planning Board APPROVE the Preliminary Site Plan Review for 748 & 750 Forest Avenue with the following conditions:

1. The applicant provide 3 additional parking spaces or obtain a variance from the Board of Zoning Appeals;
2. Demonstrate compliance with section 3.08 (E) of the Triangle Overlay plan permitting two (2) additional stories in the MU3 zone that is at least 100' from single family residential;
3. The applicant reduce parking frontage to 25% of total street frontage length or 60ft, whichever is less;
4. The applicant provide a minimum depth of 20ft. of usable building space along a minimum of 75% of the total street frontage length;
5. The applicant provide glazing calculations for the first floor and upper level floors at Final Site Plan & Design;
6. The applicant incorporate the requirements of the Via activation plan into their proposal at Final Site Plan & Design;
7. The applicant provide 4 bike racks as per city standards; and
8. The applicant complies with requests from City Departments.

11.0 Sample Motion Language

Motion to APPROVE the Preliminary Site Plan Review for 748 & 750 Forest to with the following conditions:

1. The applicant provide 3 additional parking spaces or obtain a variance from the Board of Zoning Appeals;
2. Demonstrate compliance with section 3.08 (E) of the Triangle Overlay plan permitting two (2) additional stories in the MU3 zone that is at least 100' from single family residential;
3. The applicant reduce parking frontage to 25% of total street frontage length or 60ft, whichever is less;
4. The applicant provide a minimum depth of 20ft. of usable building space along a minimum of 75% of the total street frontage length;

- 5. The applicant provide glazing calculations for the first floor and upper level floors at Final Site Plan & Design;
- 6. The applicant incorporate the requirements of the Via activation plan into their proposal at Final Site Plan & Design;
- 7. The applicant provide 4 bike racks as per city standards;
- 8. The applicant complies with requests from City Departments.

OR

Motion to DENY the Final Site Plan and Design for 748 & 750 Forest Avenue

OR

Motion to POSTPONE the Preliminary Site Plan Review for 748 & 750 Forest Avenue with the following conditions:

- 1. _____
- 2. _____
- 3. _____

**Zoning Compliance Summary Sheet
for
Preliminary Site Plan Review
748 & 750 Forest**

Existing Site: 750 Forest is a Fitness & Health Club, 748 Forest is an Interior Design Office Space
Zoning: O-2, Office Commercial of the Underlay Zoning District, 750 Forest Ave is MU-3, and 748 Forest Ave is MU-5 in the Triangle District Overlay
Land Use: Proposed Office and Residential Units

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Office, Commercial	Office, Commercial	Residential	Office, Commercial
Existing Zoning District	O-2, Office Commercial	O-2, Office Commercial	R-2, Residential	O-2, Office Commercial
Triangle District Overlay	MU-5, Mixed Use 5 Story and MU-3, Mixed Use 3 Story	MU-5, Mixed Use 5 Story and MU-3, Mixed Use 3 Story	ASF-3 Attached Single 3 Story	MU-5 Mixed Use 5 story

Land Area: existing: 13,200 sq ft, or 0.303 acres
proposed: Same as existing

Minimum Lot Area: required: N/A
proposed: N/A

Minimum Floor Area: required: N/A
proposed: N/A

Maximum Total Floor Area: required: 200% Floor Area Ratio for office uses not in parking assessment district
proposed: 850 sq. ft of Office Space (27%)

Minimum Open Space: required: N/A
Proposed: N/A

Maximum Lot Coverage: required: N/A
proposed: N/A

Front Setback:	required:	3.08(B-C): Zero minimum front yard setback. The building façade shall be built to within 5' of the front lot line for a minimum of 75% of the street frontage length.
	proposed:	0' foot setback
Side Setbacks:	required:	MU-3 and MU-5: 0' setback with walls facing lot lines that don't contain windows; 10' for walls with windows.
	proposed:	2' on the ground level along the north elevation, 0' on the 2nd through 5th floor along the north elevation. 0' for all floors along the south elevation.
Rear Setback:	required:	10' for MU-3, N/A for MU-5
	proposed:	0' Applicant has now fronted the building on Elm Street, which places the entire rear of the building in the MU-5 zone, and thus no rear setback is required.
Max. Bldg. Height:	permitted:	MU-3 flat roof no more than 42', 3 stories maximum height, first story shall be minimum of 14' in height, floor to floor; MU-5 flat roof no more than 66'; first story shall be minimum of 14' in height, floor to floor.
	proposed:	MU-5 eave line 60' and peak 63'6" to parapet; MU-3 eave line 37', and 40' to parapet.
Parking:	required:	Article 4, Table A: 1 Parking Space for each 300 sq. ft. of Office Space floor area, 1.5 Parking Spaces per residential unit with 2 or less rooms, and 2 parking spaces per residential unit with 3 or more rooms in the O2 zone. 900 sq. ft. Office Space = 3 parking spaces 10 Residential Units/2 rooms or less = 15 parking spaces; 12 Residential units/3 rooms or more = 24 parking spaces; Total= 42 parking spots
	proposed:	39 spaces; 37 on site, 2 on street. Applicant must provide 3 additional spaces or obtain a variance from the Board of Zoning Appeals.

Loading Area: required: N/A
proposed: N/A

Screening:

Parking: required: no screening required when parking lots are within the building structure

proposed: 14' masonry wall enclosing the onsite parking around the ground level.

AC/Mech. units: required: Screening to compliment the building.

proposed: None Provided

Elect. Transformer: required: Fully screened from public view

proposed: The transformer is enclosed within the building.

Dumpster: required: 6' high capped masonry wall with wooden gates

proposed: The garbage pickup area is located within the building.

Streetscape:

Sidewalks: required: Sidewalks a minimum 12' wide

proposed: **12' along Elm and Forest**

Street Trees: required: 1 canopy tree every 40' of frontage planted in tree grates in sidewalk

proposed: 2 along Forest Ave, 3 along Elm St.

Street Lights: required: Pedestrian level street lighting along sidewalks with hanging planters installed (approximately 1 light per 40' of frontage)

proposed: 3 along Forest Ave; 2 provided along Elm with hanging planters

Street Furniture: required: Benches and trash receptacles along sidewalks where Planning Board determines pedestrian activity will benefit.

proposed: **Two benches and one trash receptacle along Forest**

Bicycle Facilities: required: Sufficient bike racks to allow parking of a minimum of 1 bike for every 10 cars, or 1 bike for every 3,000 sq. ft. of building floor area, whichever is greater. The applicant must provide 4 bike racks. $(42 \text{ parking spaces}/10) = 4.2$

proposed: **The applicant has yet to provide details of bike racks. Applicant must provide 4 bike racks, or obtain a variance from the Board of Zoning Appeals.**

750 FOREST // ROBERTSON-LARSON LLC



SHEET INDEX

JUNE 3, 2016

COVER SHEET
A1.0 ZONING INFORMATION
A1.1 SITE PHOTOS
A1.2 EXISTING SITE PLAN
A2.1 GROUND FLOOR PLAN
A2.2 SECOND + THIRD FLOOR PLAN
A2.3 FOURTH FLOOR PLAN
A2.4 FIFTH FLOOR PLAN
A2.5 BASEMENT FLOOR PLAN
A3.0 MASSING VIEW - AERIAL
A3.1 STREET VIEW - FOREST AVE
A3.2 CORNER VIEW - ELM & FOREST
A4.0 ELEVATIONS
A4.1 ELEVATIONS
SP1 BOUNDARY / TOPOGRAPHIC / TREE SURVEY
SP2 ENGINEERING SITE PLAN
L1 LANDSCAPE PLAN

PRELIMINARY SITE PLAN REVIEW

MCINTOSH
PORIS ASSOCIATES

SITE OVERVIEW



Triangle District Zoning

- ASF-3
- R2
- MU-3
- MU-5
- MU-7



A 1.0

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SITE - NORTHEAST CORNER - FOREST & ELM



SITE - EXISTING STREETScape - FOREST LOOKING EAST



SITE - NORTHWEST CORNER - FOREST



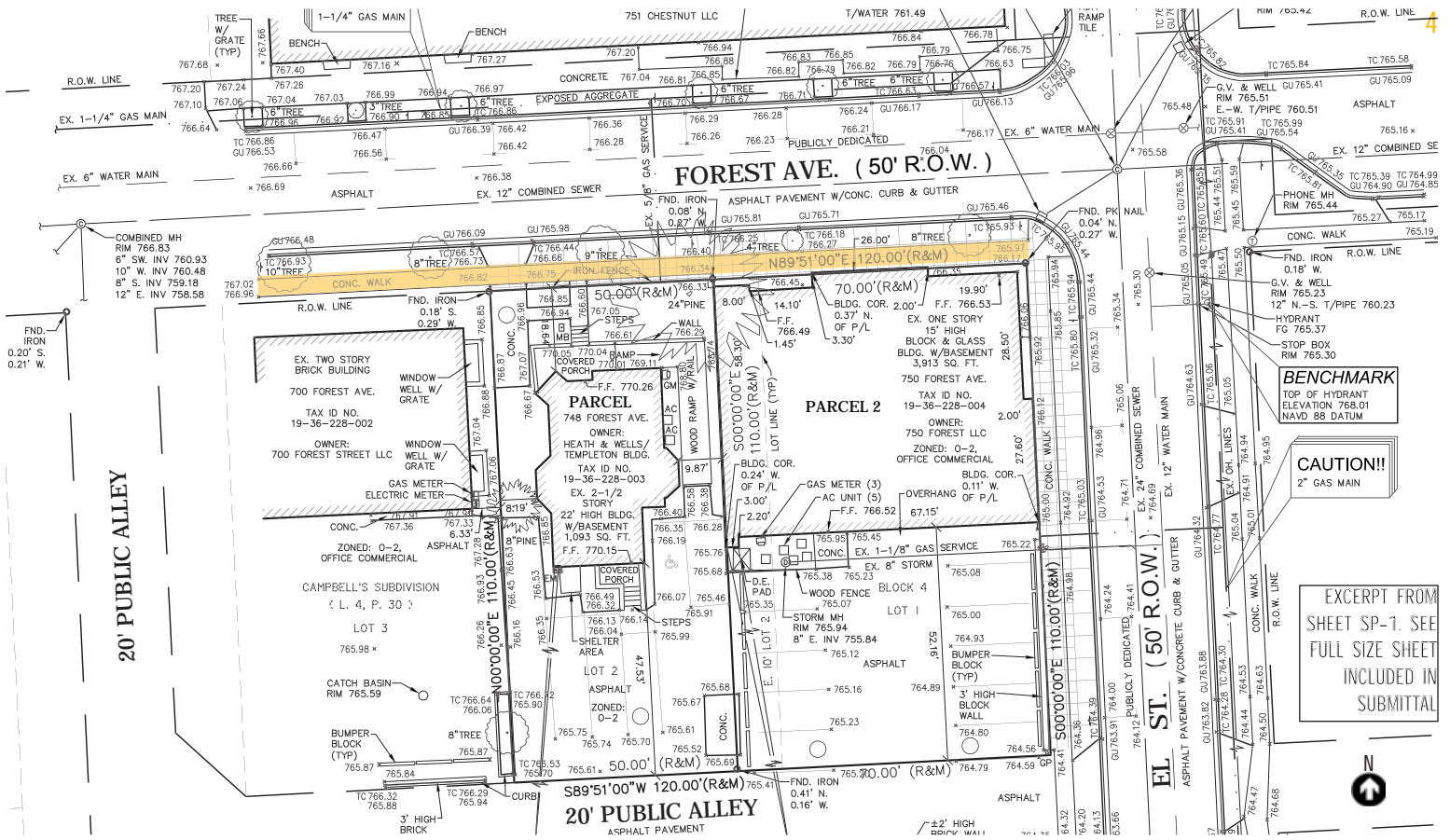
SITE - EXISTING STREETScape - FOREST LOOKING WEST

A 1.1

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EXISTING SITE

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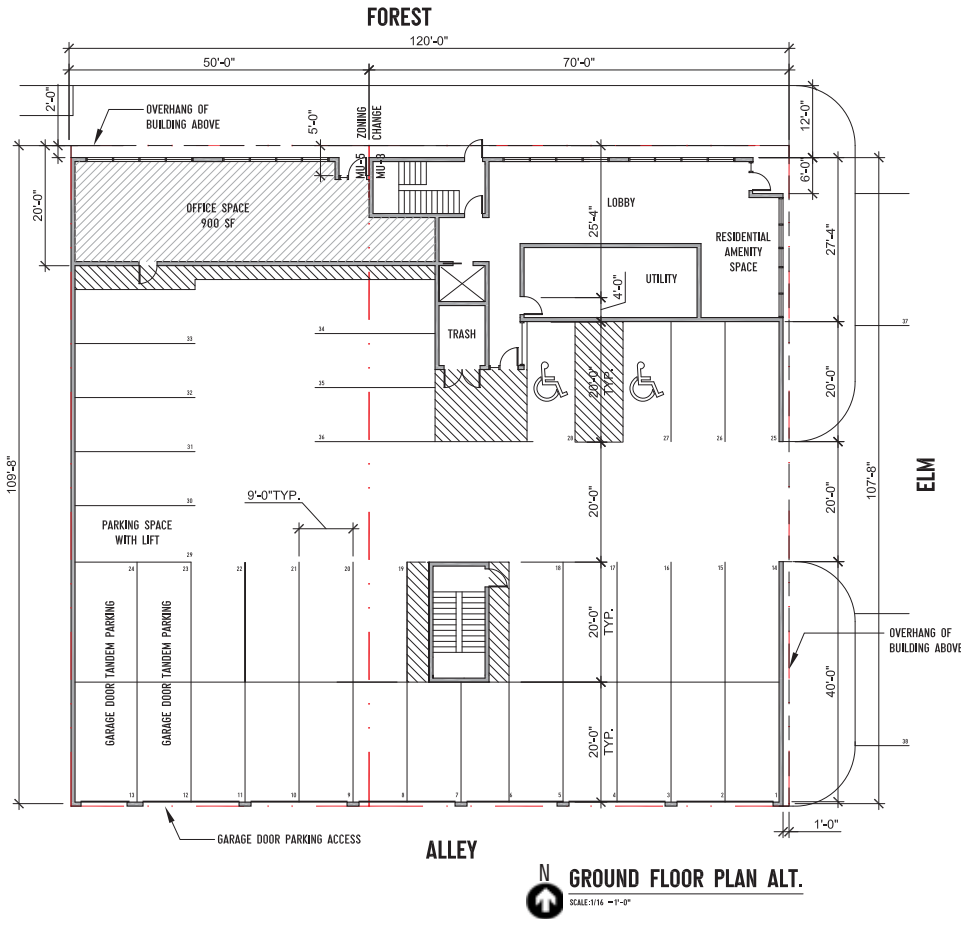


EXCERPT FROM
 SHEET SP-1. SEE
 FULL SIZE SHEET
 INCLUDED IN
 SUBMITTAL

BENCHMARK
 TOP OF HYDRANT
 ELEVATION 768.01
 NAVD 88 DATUM

CAUTION!!
 2" GAS MAIN





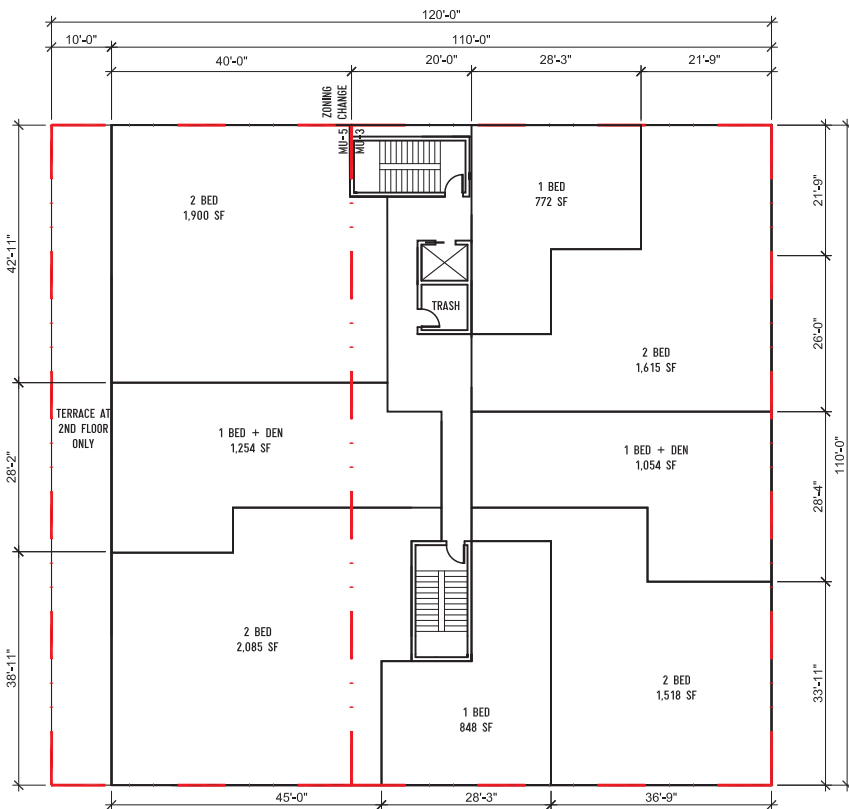
GROUND FLOOR PLAN ALT.
SCALE: 1/16" = 1'-0"

SITE INFORMATION

TOTAL SITE AREA		13,200 SF (.30 AC)
BUILDING USES		
1ST FLOOR - GROSS AREA 12,862 SF		
Residential Lobby/Common Areas	2,052 SF	
Office	900 SF	
Parking	9,910 SF (37 spaces)	
2nd FLOOR - GROSS AREA 12,100 SF		
8 Residential Units	11,046 SF	
Common Area	1,054 SF	
3rd FLOOR - GROSS AREA 12,100 SF		
8 Residential Units	11,046 SF	
Common Area	1,054 SF	
4th FLOOR - GROSS AREA 6,600 SF		
3 Residential Units	5,549 SF	
Common Area	1,051 SF	
5th FLOOR - GROSS AREA 6,600 SF		
3 Residential Units	5,549 SF	
Common Area	1,051 SF	
TOTAL UNITS 22		
GROSS BUILDING AREA		42,399 SF
SALEABLE AREA		34,090 SF
PARKING		
PARKING REQ'D (residential and office spaces shared) 39 SPACES		
Residential (2 for 3 or more rooms, 1.5 for less)	39 SPACES	
Office (1 per 300 SF)	3 SPACES	
TOTAL PARKING PROVIDED 39 SPACES		
HC spaces req'd	2 SPACES	
Offstreet Parking	34 SPACES	
Offstreet Parking - Lifts	1 SPACES	
Onstreet Parking (Elm)	2 SPACES	
TOTAL PARKING FRONTAGE TO PUBLIC RIGHT OF WAY		230 FT
TOTAL PARKING FRONTAGE		(261) 60 FT

A 2.1

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N LEVEL 2+3 FLOOR PLAN
SCALE: 1/16" = 1'-0"

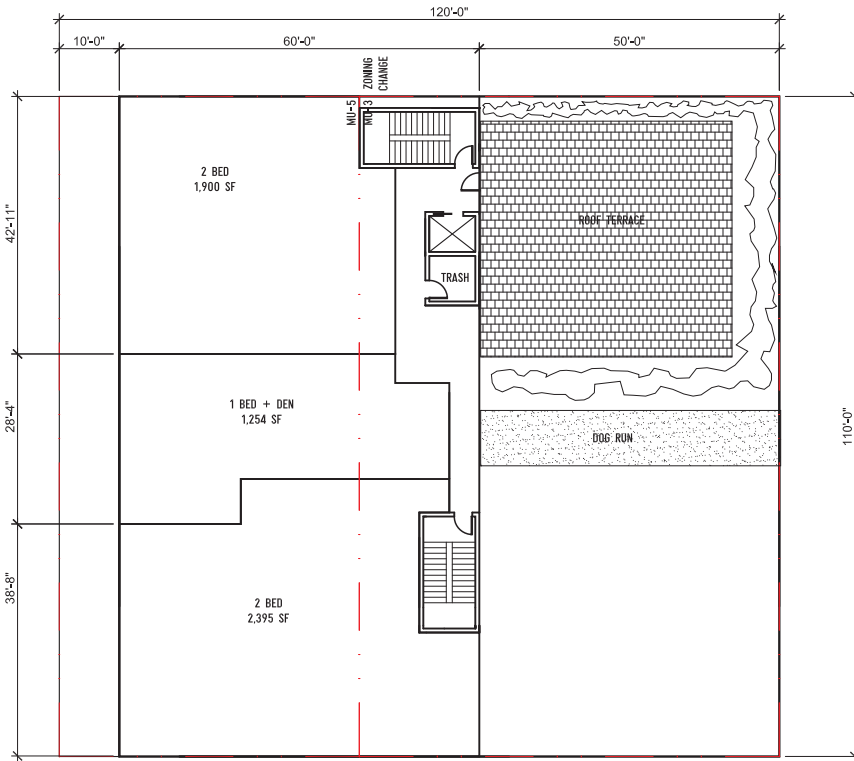
APARTMENT UNIT MIX

8 UNITS PER FLOOR (16 TOTAL)			
UNIT TYPE	AREA (sf)	QTY	TOTAL AREA (sf)
1 BED	772	1	772
1 BED	848	1	848
1 BED + DEN	1,054	1	1,054
1 BED + DEN	1,254	1	1,254
2 BED	1,518	1	1,518
2 BED	1,615	1	1,615
2 BED	1,900	1	1,900
2 BED	2,085	1	2,085
UNIT TOTALS		8 UNITS	11,046 SF
GROSS FLOOR AREA			12,100 GSF
			91.31 EFF

A 2.2

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PORIS ASSOCIATES**



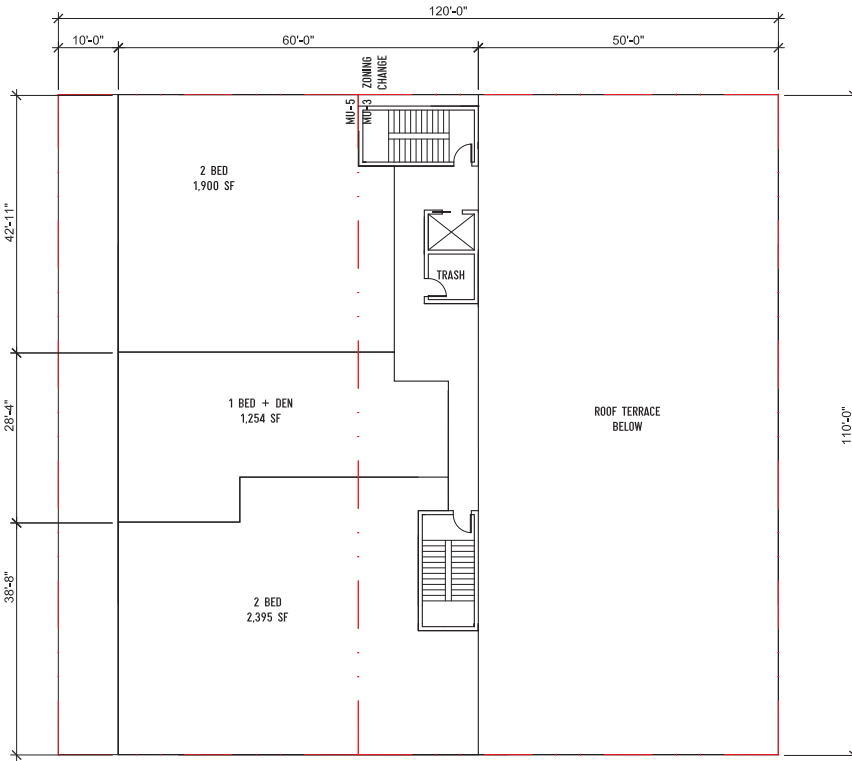
LEVEL 4 FLOOR PLAN
 SCALE: 1/16" = 1'-0"

APARTMENT UNIT MIX			
3 UNITS			
UNIT TYPE	AREA (sf)	QTY	TOTAL AREA (sf)
1 BED + DEN	1,254	1	1,254
2 BED	1,900	1	1,900
2 BED	2,395	1	2,395
UNIT TOTALS		3 UNITS	5,549 SF
GROSS FLOOR AREA			6,600 GSF
			84.0% EFF

A 2.3

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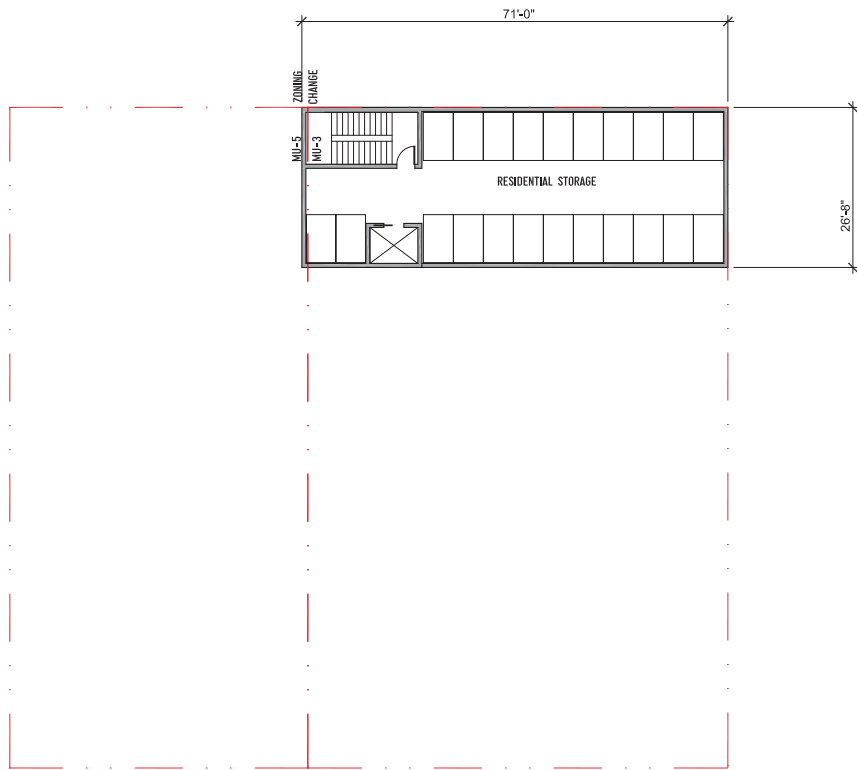
LEVEL 5 FLOOR PLAN
SCALE: 1/16" = 1'-0"

APARTMENT UNIT MIX			
3 UNITS			
UNIT TYPE	AREA (sf)	QTY	TOTAL AREA (sf)
1 BED + DEN	1,254	1	1,254
2 BED	1,900	1	1,900
2 BED	2,395	1	2,395
UNIT TOTALS		3 UNITS	5,549 SF
GROSS FLOOR AREA			6,600 GSF
			84.0% EFF

A 2.4

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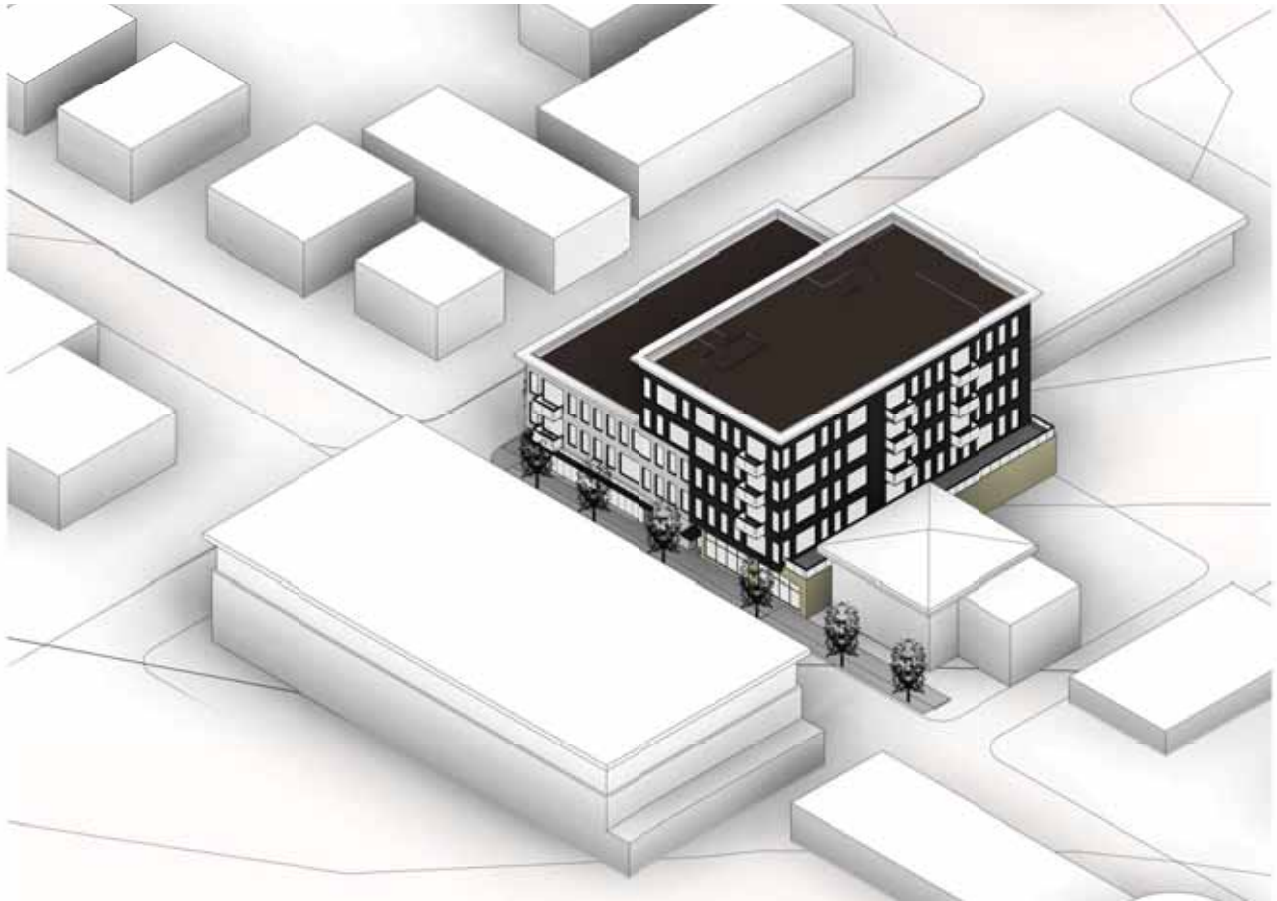
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N
BASEMENT FLOOR PLAN
SCALE: 1/16" = 1'-0"

A 2.5
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A 3.0

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MASSING - AERIAL - OPTION 1

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A 3.1

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STREET VIEW - OPTION 1

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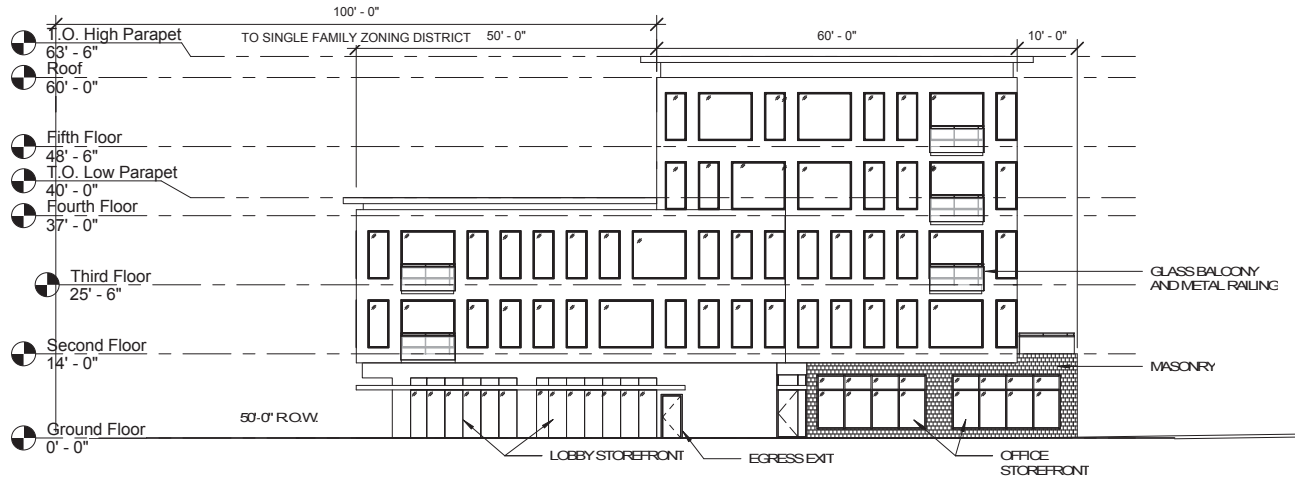


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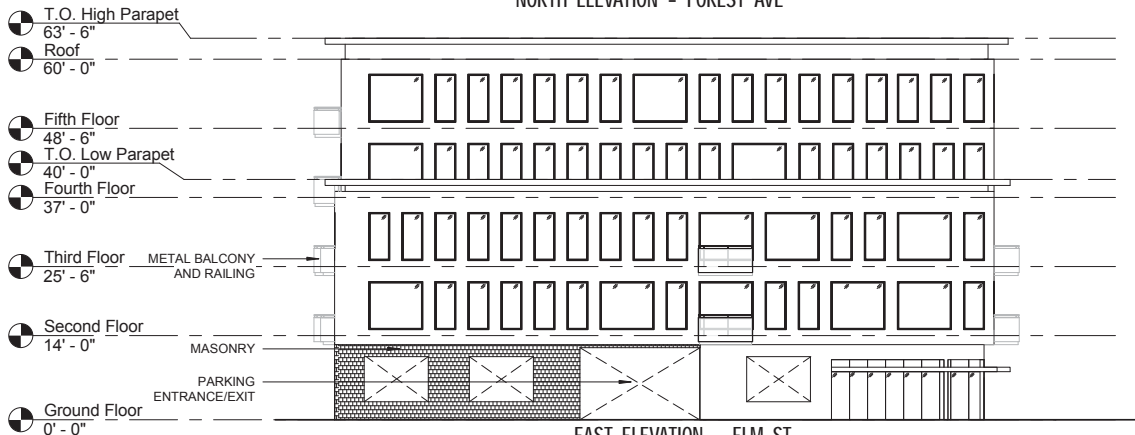
750 FOREST AVE | BIRMINGHAM, MI // ROBERTSON LARSON LLC // June 3, 2016

FOREST AND ELM VIEW - OPTION 1

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NORTH ELEVATION - FOREST AVE



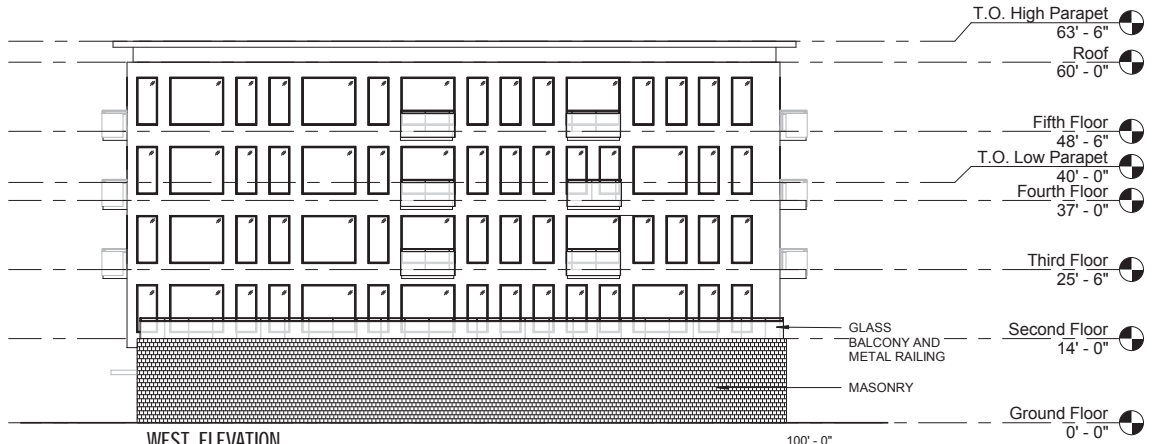
EAST ELEVATION - ELM ST

ELEVATIONS | 1/16" = 1'-0"

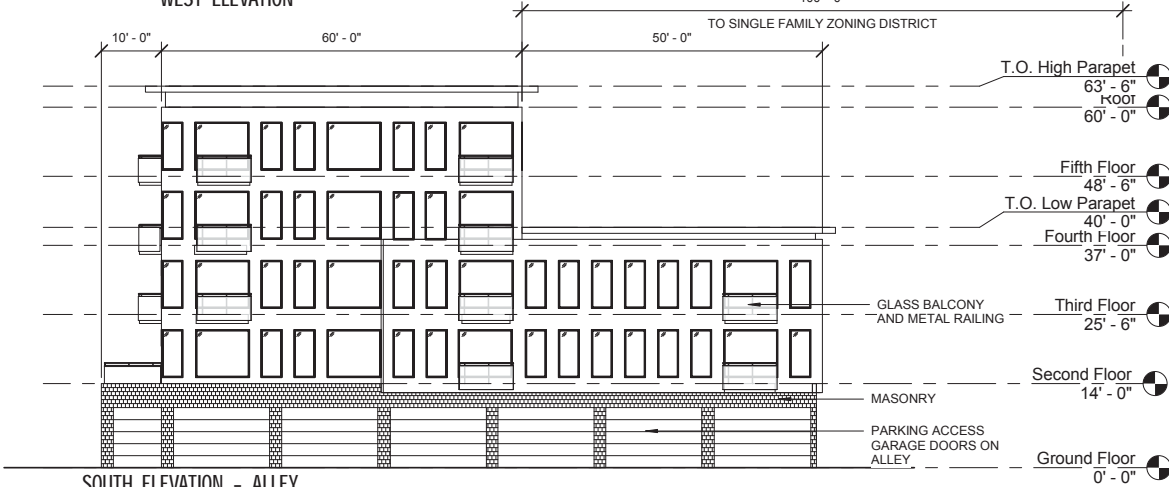
A 4.0

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WEST ELEVATION



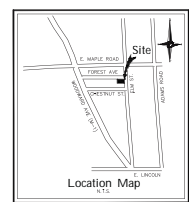
SOUTH ELEVATION - ALLEY

ELEVATIONS | 1/16" = 1'-0"

A 4.1

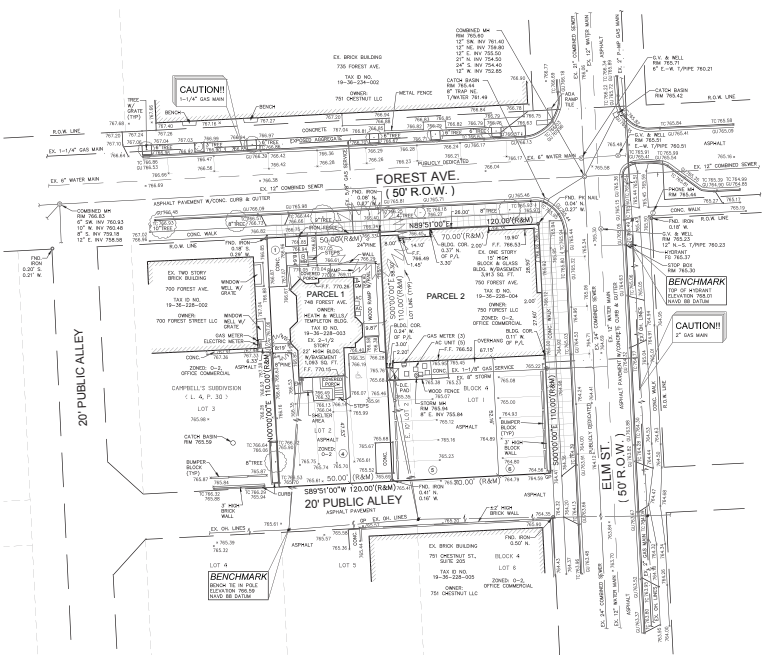
750 FOREST AVE | BIRMINGHAM, MI // ROBERTSON LARSON LLC // June 3, 2016

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PORIS ASSOCIATES



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOVAK & FRALS ENGINEERS
 4677 WOODWARD AVE
 PONTIAC, MI 48342-5032
 TEL: (248) 332-7888
 FAX: (248) 332-8257



SITE DATA
 1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
 2. THE CLIENT HAS BEEN ADVISED OF ANY UNKNOWN UTILITIES.
 3. THE CLIENT HAS BEEN ADVISED OF ANY UNKNOWN UTILITIES.
 4. THE CLIENT HAS BEEN ADVISED OF ANY UNKNOWN UTILITIES.

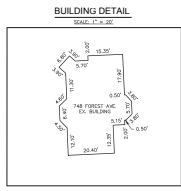
ZONING DATA NOTE
 THE CLIENT HAS BEEN ADVISED OF ANY UNKNOWN UTILITIES.
 THE CLIENT HAS BEEN ADVISED OF ANY UNKNOWN UTILITIES.

LEGAL DESCRIPTION
 THE CLIENT HAS BEEN ADVISED OF ANY UNKNOWN UTILITIES.
 THE CLIENT HAS BEEN ADVISED OF ANY UNKNOWN UTILITIES.

PROJECT
 150 Forest Avenue
 Condominium Project
 Birmingham, MI 48009

CLIENT
 Robertson Brothers Homes
 6905 Telegraph Road,
 Suite 200
 Bloomfield Hills, MI 48301

Contact: Jim Clarke
 248.282.1428 - Phone
 248.282.1432 - Fax



LEGEND

Symbol	DESCRIPTION
Symbol	EXISTING COMMON SEWER
Symbol	EXISTING SANITARY SEWER
Symbol	EXISTING SAN. CLEAN OUT
Symbol	EXISTING WATER MAIN
Symbol	EXISTING STORM SEWER
Symbol	EX. E.V. EXTER. MAIN
Symbol	EX. UNDERGROUND (UG) DRINK
Symbol	OVERHEAD (OH) LINES
Symbol	LIGHT POLE
Symbol	SKIN
Symbol	EXISTING GAS MAIN
Symbol	ELECTRIC METER
Symbol	CONCRETE
Symbol	FIN. GR.
Symbol	GUARD POST
Symbol	BRICK-ON-WAY
Symbol	PROPERTY LINE
Symbol	EMPH.
Symbol	PROPOSED
Symbol	HEADPOST
Symbol	SETBACK EXTERIOR
Symbol	GAS METER
Symbol	AIR CONDITIONING UNIT
Symbol	PAVING CURB
Symbol	WALL
Symbol	WALKWAY

PROJECT LOCATION
 Part of the SE 1/4
 of Section 36
 T2N, R10E,
 City of Birmingham,
 Oakland County, Michigan

DATE
 May 5, 2016

SCALE 1" = 20'

TITLE BLOCK
 J189 SP1

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS UNLESS INDICATED OTHERWISE.

CONCRETE: PORTLAND CEMENT TYPE I (AS SUPPLIED) WITH A MINIMUM CEMENT QUANTITY OF 563 LBS PER CU YD. SHALL BE USED. MAXIMUM 2% AIR ADMIXTURE. CURING SHALL BE MAINTAINED FOR A MINIMUM OF 14 DAYS.

AGGREGATE: BASE COURSE - MOST BITUMINOUS MATERIAL NO. 57, 20% SAND, 80% GRANULAR MATERIAL. FINISHED SURFACE SHALL BE MAINTAINED FOR A MINIMUM OF 14 DAYS.

PROFILING SHALL BE COMPLETED TO ADEQUATE DEPTH OF THE MAJOR ROADS (INTERSECTIONS) TO BE IMPROVED. THE MAJOR ROADS TO BE IMPROVED SHALL BE MAINTAINED FOR A MINIMUM OF 14 DAYS.

ALL CONCRETE PAVEMENTS, DRIVEWAYS, DRIVE & DRIVEWAYS, ETC. SHALL BE GRADE CURVED WITH THE ADJACENT DRIVE CURVED MATERIALS FOLLOWING FINISHED GRADE.

ALL CONCRETE PAVEMENTS SHALL BE FILLED WITH HOT PORTLAND-CEMENT ASPHALT. JOINTS SHALL BE CONFORMED TO THE SPECIFICATIONS FOR CONSTRUCTION, DENSITY, CURING, AND FINISH.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MICHIGAN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR CONSTRUCTION, DENSITY, CURING, AND FINISH).

ALL TOP OF CURB ELEVATIONS AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 4" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1961, SHALL BE INSTALLED AS SHOWN ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROXIMATELY TO A DEPTH AS INDICATED SHALL BE MAINTAINED FOR A MINIMUM OF 14 DAYS. FOR ANY WORK BEHIND THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES FROM ALL AGENCIES.

EXISTING SIGNAL, VENTILATION AND INSTALLED MATERIALS SHALL BE REMOVED AND REMOVED FROM PROJECT AREA WHEN WORK IS PLANNED FOR BASE MATERIALS. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RIDS.

SEWER & WATER CONNECTIONS TO PUBLIC ACT NO. 8, 1961, SHALL BE INSTALLED AS SHOWN ON THE PLANS. ALL WORK SHALL BE COMPLETED AND ALL DRAINAGE THE WORKING AREA AS INDICATED.

ALL PAVEMENT AREAS SHALL BE PROTECTED UNDER THE SUPERVISION OF A QUALIFIED PERSON PRIOR TO THE PLACEMENT OF BASE MATERIALS AND FINISH MATERIALS.

ALL WORK SHALL BE MAINTAINED CONTACTED IN WORKING LITS NOT EXCEEDING 8 INCHES HIGH TO THE SURFACE OF THE WORKING AREA (MAINTAINED PROTECT) PRIOR TO PLACEMENT OF FINISHED PAVEMENT.



NF ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRANKS ENGINEERS
4577 WOODWARD AVE
PONTIAC, MI 48342-5623
TEL: (248) 332-7811
FAX: (248) 332-8257



PROJECT
750 Forest Avenue
Condominium Project
Birmingham, MI 48009

CLIENT
Robertson Brothers Homes
6905 Telegraph Road,
Suite 200
Bloomfield Hills, MI 48301

Contact: Jim Clarke
248.282.1428 - Phone
248.282.1432 - Fax

PROJECT LOCATION
Part of the SE 1/4
of Section 36
T2N, R10E,
City of Birmingham,
Oakland County, Michigan

SHEET
Engineering Site Plan



REVISIONS

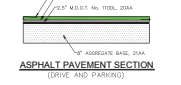
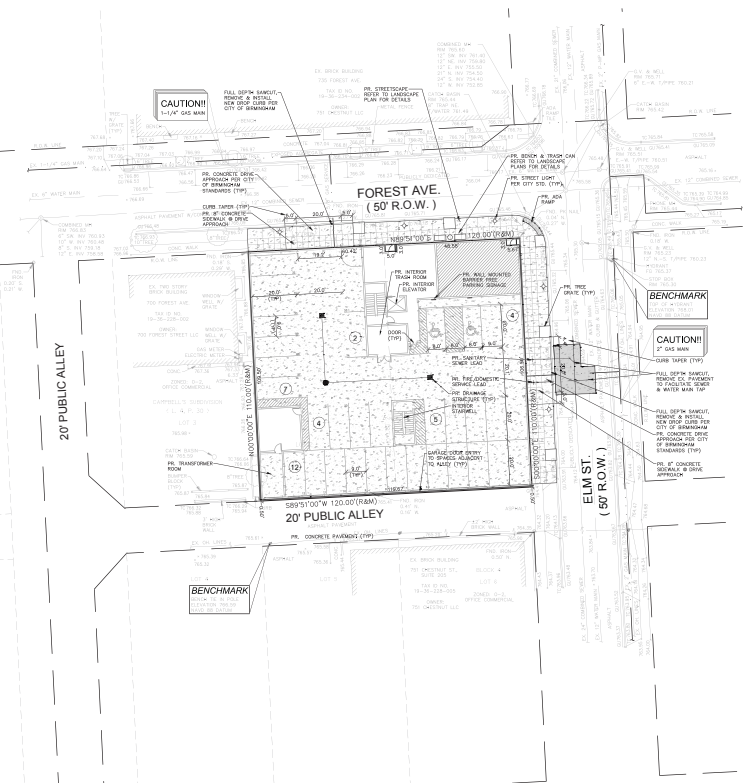
NO.	DATE	DESCRIPTION

DRAWN BY:
B. Bruckel

DESIGNED BY:
B. Bruckel

APPROVED BY:
B. Bruckel

DATE:
May 5, 2016



LIGHTING NOTE

ALL LIGHTS SHALL BE INSTALLED BY THE ENERGY THROUGH A CITY LICENSED ELECTRICIAN.

TRASH COLLECTION NOTE

TRASH SHALL BE COLLECTED IN SEPARATE, NO-EXTENSION DUMPSTER LOCATED AS SHOWN ON THE PLAN.

PAVING LEGEND

---(---)	PROPOSED CONCRETE PAVEMENT
---(---)	PROPOSED ASPHALT PAVEMENT

LEGEND

---(---)	EXISTING SANITARY SEWER
---(---)	EXISTING SANITARY SEWER
---(---)	EXISTING WATER MAIN
---(---)	EXISTING WATER MAIN
---(---)	EXISTING STORM SEWER
---(---)	EXISTING STORM SEWER
---(---)	EXISTING 6" CATCH BASIN
---(---)	EXISTING 12" CATCH BASIN
---(---)	EXISTING 18" CATCH BASIN
---(---)	EXISTING 24" CATCH BASIN
---(---)	EXISTING 30" CATCH BASIN
---(---)	EXISTING 36" CATCH BASIN
---(---)	EXISTING 42" CATCH BASIN
---(---)	EXISTING 48" CATCH BASIN
---(---)	EXISTING 54" CATCH BASIN
---(---)	EXISTING 60" CATCH BASIN
---(---)	EXISTING 66" CATCH BASIN
---(---)	EXISTING 72" CATCH BASIN
---(---)	EXISTING 78" CATCH BASIN
---(---)	EXISTING 84" CATCH BASIN
---(---)	EXISTING 90" CATCH BASIN
---(---)	EXISTING 96" CATCH BASIN
---(---)	EXISTING 102" CATCH BASIN
---(---)	EXISTING 108" CATCH BASIN
---(---)	EXISTING 114" CATCH BASIN
---(---)	EXISTING 120" CATCH BASIN

SITE DATA

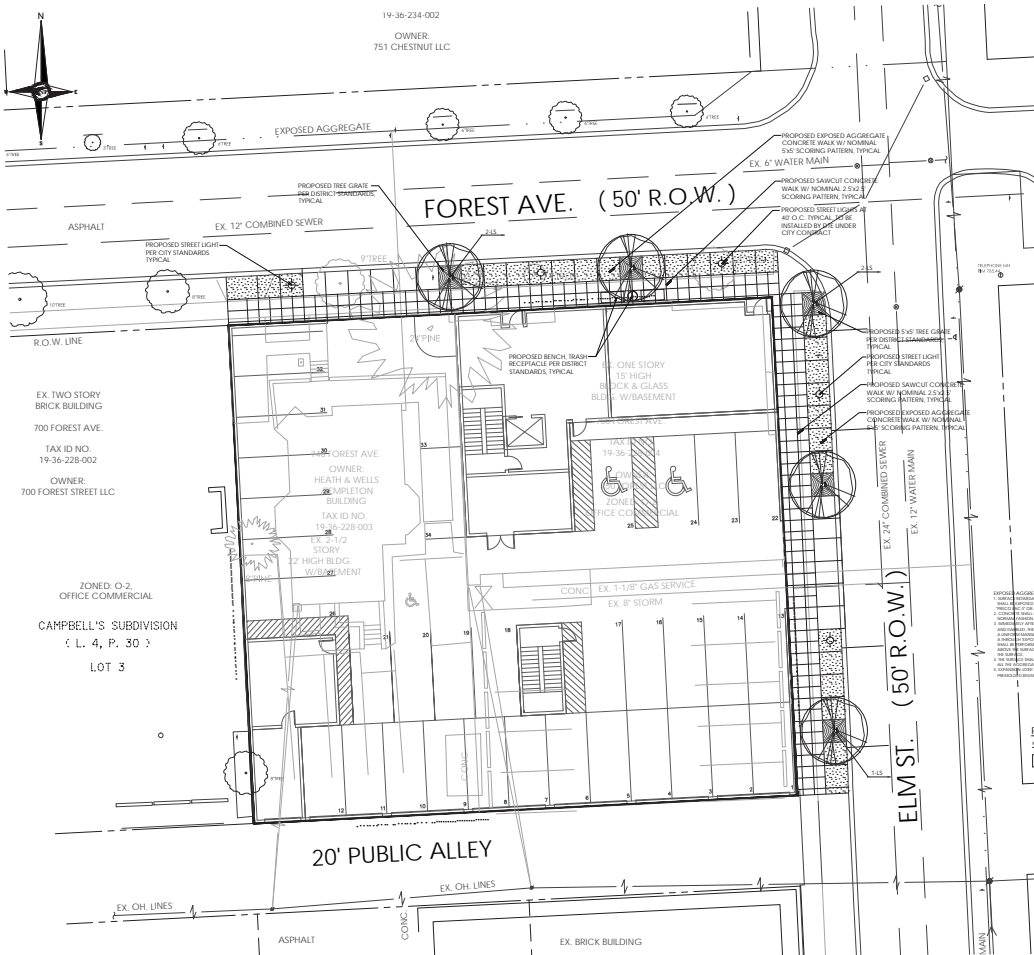
TOTAL ACRES	15.889939
TOTAL SQUARE FEET	693,120
TOTAL SQUARE FEET COVERED BY PAVEMENT	1,000,000
TOTAL SQUARE FEET COVERED BY ASPHALT	1,000,000
TOTAL SQUARE FEET COVERED BY CONCRETE	1,000,000
TOTAL SQUARE FEET COVERED BY ASPHALT AND CONCRETE	2,000,000

SCALE: 1" = 20'

SHEET NO. J189 OF SP2

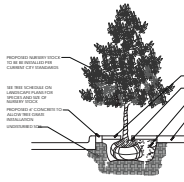


19-36-234-002
OWNER:
751 CHESTNUT LLC

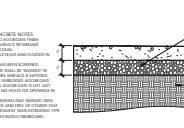


GENERAL LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND RECORD THEM ACCORDING TO LOCAL REGULATIONS. VERIFY ALL UTILITIES AND RECORD THEM ACCORDING TO LOCAL REGULATIONS. VERIFY ALL UTILITIES AND RECORD THEM ACCORDING TO LOCAL REGULATIONS.
2. EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED. EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED. EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED.
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STREET TREE PLANTING DETAIL



EXPOSED AGGREGATE WALK DETAIL

PLANT SCHEDULE

NO.	SYM.	GENERAL COMBINATION NAME	SIZE	SPACING	NOTES	COMMENTS
1	T	TEMPERATE DECIDUOUS TREE	8\"/>			

LANDSCAPE REQUIREMENTS

- EXISTING SITE AREA: 12,170 SQ. FT. (0.28 ACRES)
- DESIGN REQUIREMENTS:
- 1. FOREST AVE: 10' WIDE STRIP
 - 2. FOREST AVE: 10' WIDE STRIP
 - 3. FOREST AVE: 10' WIDE STRIP



NOWAK & FRALUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48344-5632
TEL: (248) 532-7981
FAX: (248) 335-8257



PROJECT:
751 Forest Avenue
Condominium Project
Bloomfield Hills, MI 48309

CLIENT:
Robertson Brothers Homes
6905 Telegraph Road,
Suite 200
Bloomfield Hills, MI 48301

Contact: Jim Clarke
248.282.1428 - Phone
248.282.1432 - Fax

PROJECT LOCATION:
Part of the SE 1/4
of Section 36
T. 2N., R. 10E.
City of Birmingham,
Oakland County, Michigan

SHEET:
Landscape Plan



REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

DATE:
May 5, 2016

SCALE: 1" = 30'
N.E. SHEET NO. J189 SHEET NO. L1



750 Forest Avenue
Birmingham MI 48009

COMMUNITY IMPACT STUDY
(Combined C.I.S. and Site Plan Review)

750 Forest Avenue

Owner/Applicant:	Paul C. Robertson, Chairman 6905 Telegraph, Suite 200 Bloomfield Hills MI 48301 248-282-1450
Architect:	McIntosh/Poris Associates 36801 Woodward Ave. Suite 200, Birmingham, MI 48009
Civil Engineer:	Nowak & Fraus Engineers 46777 Woodward Ave Pontiac MI 48342-5032
Land Surveyor:	Nowak & Fraus Engineers 46777 Woodward Ave Pontiac MI 48342-5032
Traffic:	Tetra Tech of Michigan, P.C. 123 Brighton Lake Road, Suite 123 Brighton, MI 48116
Acoustical:	Kolano and Saha Engineers, Inc. 3559 Sashabaw Road, Waterford, MI 48329-2656
Soils:	McDowell & Associates 21355 Hatcher Ave. Ferndale, MI 48220

COMMUNITY IMPACT STUDY – 750 Forest Avenue

Table of Contents

Sec.#	Contents
1.	Combined CIS & Site Plan Review Application
2.	Proof of Ownership
3.	Vicinity Map
4.	Birmingham Zoning Maps
5.	CIS Checklist - Supplemental Information
6.	Zoning Requirements Analysis
7.	Noise Impact Study
8.	Traffic Impact Study
9.	Phase I Environmental Site Assessment
10.	Soils Investigation
11.	Air Quality Information

750 Forest

750 Forest is a joint venture between Robertson Brothers Homes and the Larson Realty Group. It is a five story midrise on the sites of 750 Forest a 7700 sf office building and 748 Forest a home that has been converted to office use 1035 sf. The proposed building will be essentially parking on the first floor with a concrete or block and plank podium structure with 4 stories of wood construction above. The first floor will include at least 850 sf of retail or office and the residential lobby, trash, utility and transformer space. There will be a small basement under the residential lobby for individual unit storage.

The site is divided between two zoning classifications...MU-3 and MU-5. So the east half of the building is three stories high and west half of the building is five stories high. The building conforms to all the setback and massing requirements under the ordinance. The parking is all enclosed within the building so there is no need for screening walls like you would have with an open parking lot. The same thing applies with the trash, transformers and utilities. They are all inside the building.

The gross square footage under air in the building is 40,384 with 2134 sf in the lobby and 850 in the office units and 3772 in common hallways. So there is 37,400 sf of leasable or salable square footage plus 19 balconies at approximately 50 sf each. One of the other great features of this building is a common area for all the residents on the roof top of the three story part of the building. It will include a seating area, fire pit and social space plus a dog run. This great common area feature should be a strong selling point for the units.

Using stick construction with an elevator will allow us to keep our lease rates or sale price in a more "affordable" range of \$400,000 to \$1,000,000. The 2 bedroom units will get 2 parking spaces and the 1 bedroom units will get one parking space. We will also offer "car lifts" as an option so residents will be able to buy an additional space over their existing one. Another great feature for those who have an extra car. We are not worried about the parking situation at all since we are convinced that over the next 10 years Uber or Google or? will supply us with plenty of on-demand second cars that won't need a garage.

The elevation will be very interesting by using the garage section of the first floor as our solid masonry base for much of the building allowing us to use strong window details on the office/retail and residential lobby portion. We will be using two different color schemes for the floors two to five that sort of interlock and give uniqueness to the building. The balconies are critical to making the building feel residential in character. This detail is still being worked on and will be ready with the final site plan as will the roof parapets which are also crucial to making this building feel "right and comfortable" in the this neighborhood. They are also being worked on and refined for final site plan review.

6. Buildings and Structures

Number of Buildings on site: 2
 Height of Building & # of stories: 1 1/2 & 2

Use of Buildings: OFFICE
 Height of rooftop mechanical equipment: ?

7. Floor Use and Area (in square feet)

Commercial Structures:

Total basement floor area: _____
 Number of square feet per upper floor: 12,100 SF x 2, 6600 SF x 2
 Total floor area: 40,384 SF
 Floor area ratio (total floor area divided by total land area): 1.0
 Open space: 0%
 Percent of open space: 0%

Office space: 850 SF
 Retail space: 0
 Industrial space: 0
 Assembly space: _____
 Seating Capacity: _____
 Maximum Occupancy Load: _____

Residential Structures:

Total number of units: 22
 Number of one bedroom units: 10
 Number of two bedroom units: 12
 Number of three bedroom units: 0
 Open space: 0%
 Percent of open space: 0%

Rental units or condominiums?: TBD
 Size of one bedroom units: 820 SF to 1265 SF | 1093 SF
 Size of two bedroom units: 1614 SF to 2325 SF | 1892 SF
 Size of three bedroom units: 0
 Seating Capacity: 0
 Maximum Occupancy Load: 0

8. Required and Proposed Setbacks

Required front setback: 0
 Required rear setback: 0
 Required total side setback: 0
 Side setback: 0

Proposed front setback: 0
 Proposed rear setback: 0
 Proposed total side setback: 0
 Second side setback: 0

9. Required and Proposed Parking

Required number of parking spaces: 22 x 1.52 = 33 + 3 = 36
 Typical angle of parking spaces: 90°
 Typical width of maneuvering lanes: 20'
 Location of parking on the site: INSIDE BUILDING -
 Location of off site parking: NONE
 Number of light standards in parking area: INSIDE BLDG
 Screenwall material: INSIDE BLDG.

Proposed number of parking spaces: 36
 Typical size of parking spaces: 9.5' x 20'
 Number of spaces < 180 sq. ft.: 0
 Number of handicap spaces: 2
 Shared Parking Agreement?: NONE
 Height of light standards in parking area: NONE
 Height of screenwall: NONE

10. Landscaping

Location of landscape areas: SIDWALK AREAS
See LANDSCAPE PLAN -
STANDARD STREET LIGHTS, PAVING
TREE, BENCH & TRASH DETAILS.

Proposed landscape material: FIVE STREET TREES

11. Streetscape

Sidewalk width: EXISTING 11' to 12'
Number of benches: 2
Number of planters: 0
Number of existing street trees: 3
Number of proposed street trees: 5
Streetscape Plan submitted?: YES ATTACHED WORK

Description of benches or planters: CITY STANDARD
Species of existing street trees: ~~SWEET GUM~~ ?
Species of proposed street trees: SWEET GUM

12. Loading

Required number of loading spaces: 0
Typical angle of loading spaces: 0
Screenwall material: 0
Location of loading spaces on the site: 0

Proposed number of loading spaces: 0
Typical size of loading spaces: 0
Height of screenwall: 0

13. Exterior Trash Receptacles

Required number of trash receptacles: See Civil Plan
Location of trash receptacles: See Civil Plan
Screenwall material: _____

Proposed number of trash receptacles: _____
Size of trash receptacles: _____
Height of screenwall: _____

14. Mechanical Equipment

Utilities & Transformers:

Number of ground mounted transformers: _____
Size of transformers (LxWxH): _____
See Mech. Plan.

Location of all utilities & easements: _____
See Arch. Plans

Number of utility easements: _____
Screenwall material: _____

Height of screenwall: _____

Ground Mounted Mechanical Equipment:

Number of ground mounted units: 0 NONE
Size of ground mounted units (LxWxH): _____
Screenwall material: _____

Location of all ground mounted units: _____
None
Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: 22 ROOFTOP CONDENSERS
Type of rooftop units: _____
Screenwall material: NONE
Location of screenwalls: _____

Location of all rooftop units: BOTH ROOFS
Size of rooftop units (LxWxH): TBD.
Height of screenwall: NONE
Percentage of rooftop covered by mechanical units: _____
Distance from rooftop units to all screenwalls: _____

15. Accessory Buildings

Number of accessory buildings: NONE
Location of accessory buildings: _____

Size of accessory buildings: _____
Height of accessory buildings: _____

16. Building Lighting

Number of light standards on building: WITH PHOTO MOUNT
Size of light fixtures (LxWxH): PLAN 2

Type of light standards on building: _____
Height from grade: _____

Maximum wattage per fixture: FINAL
Light level at each property line: SITE PLAN

Proposed wattage per fixture: _____
Number & location of holiday tree lighting receptacles: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for site plan review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of ^{APPLICANT} Owner: [Signature] Date: MAY 8, 2016

Print Name: PAUL C. ROBERTSON

Signature of ^{OWNER} Applicant: [Signature] Date: MAY 9, 2016

Print Name: FIZEL LARSON

Signature of Architect: _____ Date: _____

Print Name: _____

<i>Office Use Only</i>		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Accepted by: _____

COMMUNITY IMPACT STUDY CHECKLIST

PLANNING DIVISION

Applicant: _____
Case #: _____ Date: _____
Address: _____
Project: 750 Forest Avenue

All Community Impact Studies prepared for approval must contain the following information:

General Information

- 1. Name and address of applicant and proof of ownership;
- 2. Name of Development (if applicable);
- 3. Address of site and legal description of the real estate;
- 4. Name and address of the land surveyor;
- 5. Legend and notes, including a graphic scale, north point, and date;
- 6. A separate location map;
- 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- 8. Details of all proposed site plan changes;

Planning & Zoning Issues

- 9. Recommended land use of the subject property as designated on the future land use map of the city's Master Plan;
- 10. Goals and objectives of the city's Master Plans that demonstrate the city's support of the proposed development;
- 11. Whether or not the project site is located within an area of the city for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other Supplemental development requirements apply;
- 12. The current zoning classification of the subject property;
- 13. The zoning classification required for the proposed development;
- 14. The existing land uses adjacent to the proposed project;
- 15. Complete the attached "Zoning Requirements Analysis" chart;

Land Development Issues

- 16. A survey and site drainage plan;
- 17. Identify any sensitive soils on site that will require stabilization or alteration in order to Support the proposed development;
- 18. Whether or not the proposed development will occur on a steep slope, and if so, the measures that will be taken to overcome potential erosion, slope stability and runoff;
- 19. The volume of excavated soils to be removed from the site and /or delivered to the site, and a map of the proposed haul routes;

20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards;

Private Utilities

21. Indicate the source of all required private utilities to be provided;

22. Provide verification that all required utility easements have been secured for necessary private utilities;

Noise Levels

23. Provide a reading of existing ambient noise and estimated future noise levels on the site;

24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-72 through 50-77 of the Birmingham City Code , as amended;

25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site;

Air Quality

26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so, provide information as to whether the project will increase air quality problems in the area;

27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects;

28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality standards in the future;

29. Indicate whether the proposed project will have parking facilities for more than 75 cars and indicate percentage of required parking that is proposed;

Environmental Design and Historic Values

30. Indicate whether there will be demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (ie. clearance of trees, substantial regarding, etc.);

31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. significant changes in size, scale of building, floor levels, entrance patterns, height, materials, color or style from that of surrounding developments);

32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. Extensive use of natural daylight, use of low VOC paint, use of renewable recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating, etc.);

33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point;

34. Indicate whether there will be objectionable visual pollution introduced directly or indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same;

35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. vibration, dust, odor, heat, glare, etc.);

36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the city's inventory of historic structures;

37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have;

38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National register;

39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the project;

40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the project;

Refuse

41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials;

42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of the project;

Sanitary Sewer

43. Indicate whether existing or planned waste water systems will be able to adequately service the proposed development;

44. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;

45. Indicate the elements of the project that have been incorporated to reduce the amount of entering the sewer system (such as low flush toilets, Energy Star appliances, restricted flow faucets, grey-water recycling etc.);

Storm Sewer

46. Indicate whether existing or planned storm water disposal and treatment systems will adequately serve the proposed development;

47. Indicate whether the design capacity of these facilities will be exceeded as a result of the project;

__X__ 48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, grey-water recycling, green pavers etc.);

Water Service

__X__ 49. Indicate whether either the municipal water utility or on-site water supply system is adequate to serve the proposed project;

__X__ 50. Indicate whether the water quality is safe from both a chemical and bacteriological standpoint;

__X__ 51. Indicate whether the intended location of the service will be compatible with the location of the service will be compatible with the location and elevation of the main;

Public Safety

__X__ 52. Whether or not the project location provides adequate access to police, fire and emergency medical services;

__X__ 53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (i.e. are there obstacles to access, such as one-way roads, narrow bridges etc.);

__X__ 54. Whether or not there are plans for a security system which can be expanded, and whether approval for same has been granted by the police department.

__X__ 55. Detailed description of all fire access to the building, site, fire hydrants and water connections;

__X__ 56. Whether or not there are plans for adherence to all city and N.F.P.A. fire codes;

__X__ 57. Proof that one elevator has been designed to accommodate a medical cart;

__X__ 58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency/fire vehicles;

__X__ 59. Detailed description of all fire suppression systems;

Transportation issues

__X__ 60. Provide completed FORM A – Transportation Study Questionnaire (Abbreviated);

__X__ 61. Provide completed FORM B – Transportation Study Questionnaire if required by the city's transportation consultant;

__X__ 62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. access to public transportation, bicycle accommodations, pedestrian connections, disabled, elderly etc.);

__X__ 63. Indicate how the project will improve the mobility of all groups by providing transportation choices;

__X__ 64. Indicate how the users of the building will be encouraged to use public transit and non-motorized forms of transportation;

__X__ 65. Indicate the elements that have been incorporated into the site and surrounding right-of-way to encourage mode shift away from private vehicle trips;

__X__ 66. Indicate the elements of the project that have been provided to improve the comfort and safety of cyclists (such as secured or covered bicycle parking, lockers, bike lanes/paths, bicycle share program etc.);

67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheelchair ramps, crosswalk markings, pedestrian activated signal lights, bulb outs, benches, landscaping, lighting etc.);

68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/Smart cars etc.);

Natural Features

69. Indicate whether there are any visual indicators of pond and / or stream water quality problems on or near the site;

70. Indicate whether the project will involve any increase in impervious surface area and, if so, indicate the runoff control measures that will be undertaken;

71. Indicate whether the project will affect surface water flows on water levels of ponds or other

72. Indicate whether the project may affect or be affected by a wetland, flood plain, or floodway;

73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site;

74. Indicate whether the project will either destroy or isolate a unique natural feature from public access;

75. Indicate whether any unique natural feature will pose safety hazards for the proposed development;

76. Indicate whether the project will damage or destroy existing wildlife habitats;

Other Information

77. Any other information as may reasonably be required by the city to assure an adequate analysis of all existing and proposed site features and conditions.

Professional Qualifications

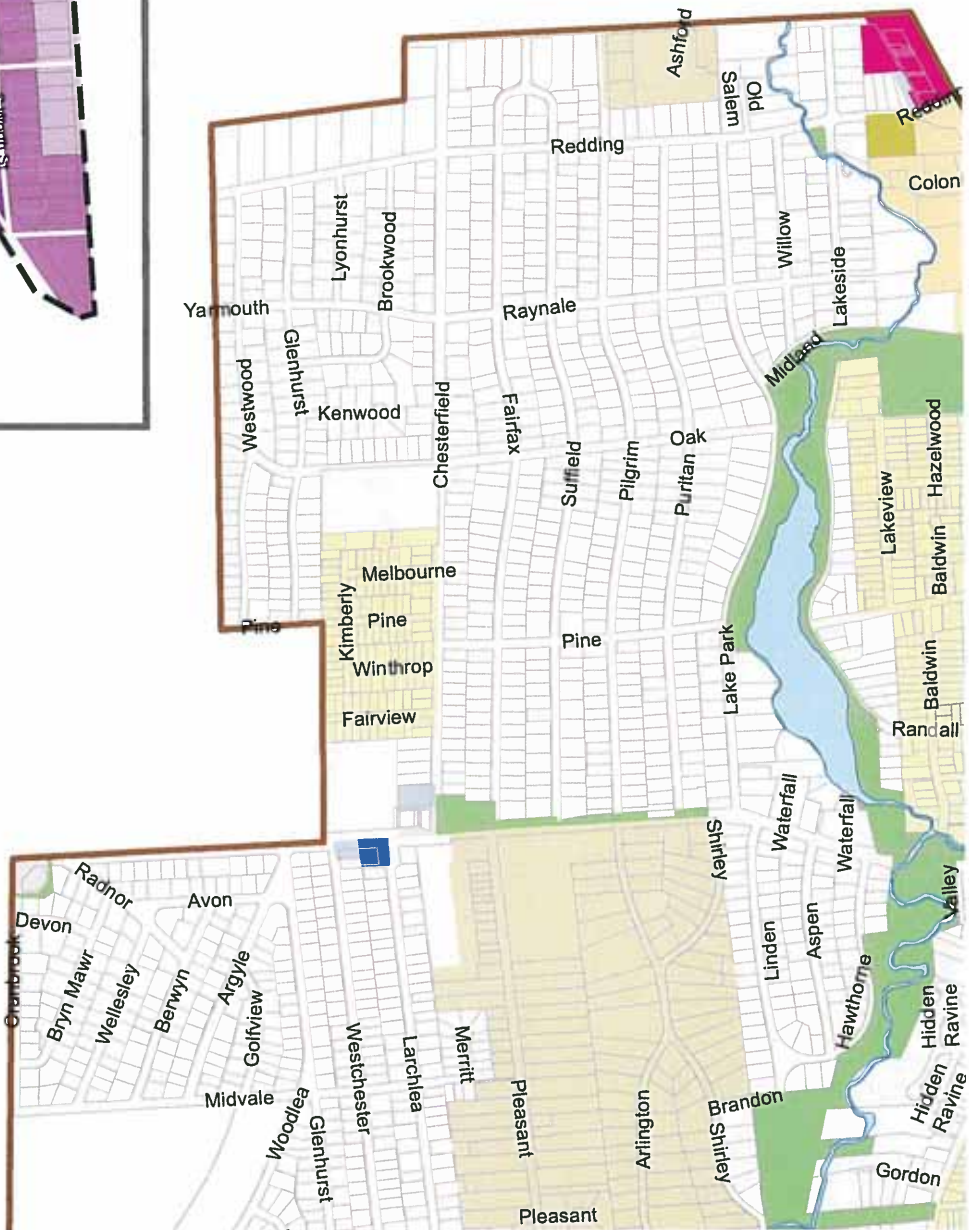
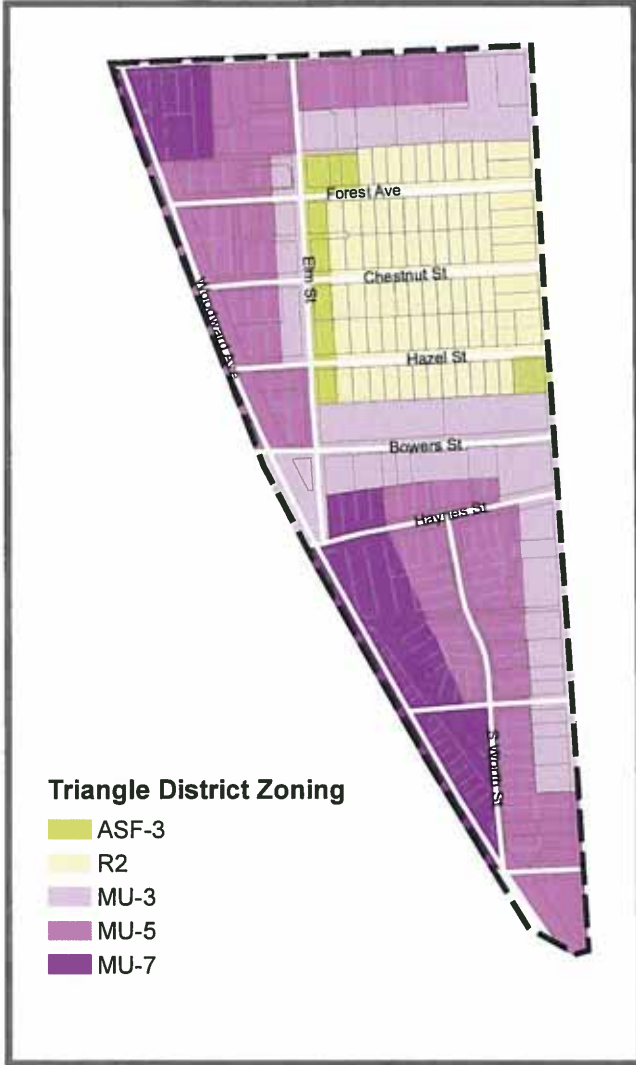
The preparer(s) of the CIS must indicate their professional qualifications, which must include registration in the state of Michigan in their profession where licensing is a state requirement for the practice of the profession (i.e. engineer, surveyor, architect etc.). Where the state does not require licensing (i.e. planner, urban designer, economist etc.), the preparer must demonstrate acceptable credentials including, but not limited to, membership in professional societies, university degrees, documentation illustrating professional experience in preparing CIS related materials for similar projects.

Section 2. Proof of Ownership

Section 3. Vicinity Map



Section 4. Birmingham Zoning Maps



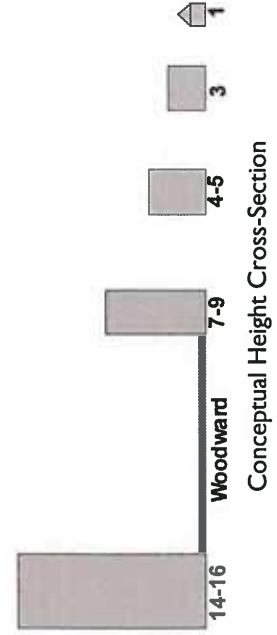
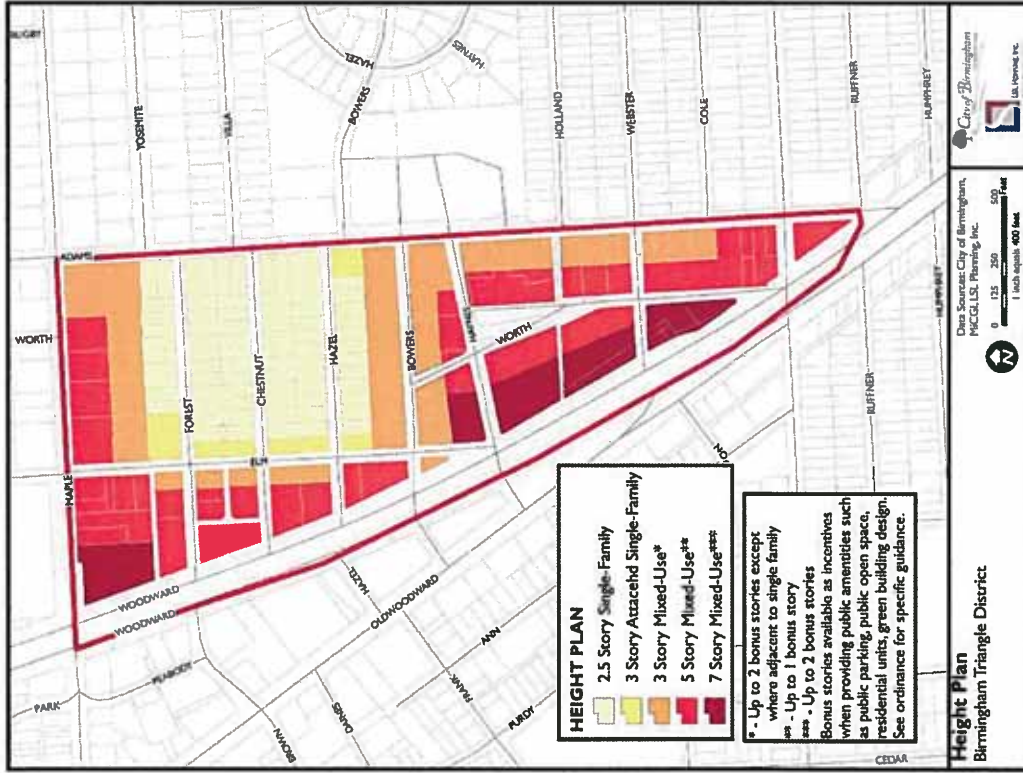
Building Heights

A hierarchy of heights is recommended between Woodward Avenue and the adjacent single-family residential neighborhoods. Taller buildings at least seven stories are needed to properly define the scale of Woodward Avenue's wide right-of-way and the taller buildings on the west side of the road. Building height should then step down to 4-5 stories in the interior of the Triangle District along the narrower streets. Buildings adjacent to single-family residential neighborhoods should be limited to three stories.

Height bonuses of up to an additional two stories will be allowed for developments that offer certain public amenities. These could include making public parking available in private parking structures, providing public open spaces, improvements to the public streetscape or incorporating energy-efficient green building design into structures. Payments to an escrow account designated for off-site amenities should be accepted in lieu of providing them.

New construction should create architectural variety by stepping back upper floors and varying the massing of buildings. Taller building should also be setback from nearby residential neighborhoods.

In order for the Triangle District to efficiently redevelop, parking will need to be provided with multi-level parking structures. The largest public parking structure will be required in the vicinity of Worth Plaza and should be located between the plaza and Woodward to take advantage of the highest allowable heights and best access.



Section 5. CIS Checklist - Supplemental Information

General Information

1. Name and Address of Applicant and Proof of Ownership

Paul C. Robertson P.E., Chairman

Robertson Brothers Homes, Suite 200, 6905 Telegraph Rd., Bloomfield Hills, MI 48301

Ownership: 750 Forest – 750 Forest LLC – Eric Larson and 748 Forest – Heath & Wells, LLC – Steve Templeton

2. Name of Development

750 Forest

3. Address of Site and Legal Description of the Real Estate

748 Forest – Sidwell – 19-36-228-003, 50' x 110' lot

750 Forest – Sidwell – 19-36-228-004, 70' x 110' lot

4. Name and Address of Land Surveyor

Nowak & Fraus Engineers, 46777 Woodward Ave., Pontiac, MI 48342-5032

5. Legend and Notes, including a graphic scale, north point, and date

See plans from Nowak and Fraus and Michael Poris & Associates

6. A separate Location Map

See Michael Poris and Associates plans

7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land

See Michael Poris and Nowak drawings and zoning map attached

8. Details of all proposed site plan changes

Michael Poris and Nowak and Fraus drawings

Planning & Zoning Issues

9. Recommended land use of the subject property as designated on the future land use map of the City's Master Plan

The zoning of the property is split between 750 Forest as MU-3 and 748 Forest as MU-5. The proposed mixed use building has a limited amount of first floor retail/office which is permitted and the residential lobby. The rest of the first floor is needed to provide the parking required for the residential units. The building meets all the required setbacks and height restrictions per the ordinance

10. Goals and objectives of the City's Master Plan that demonstrate the City's support of the proposed development.

The proposed use is as specified per the master plan

11. Whether or not the project is located within an area of the City for which an Urban Design Plan has been adopted by the Planning Board in which special design criteria or other supplemental development requirements apply.

This project is a mixed use project with a strong residential focus in the Triangle District which has an Urban Design Plan. This project follows the Design Plan with many of the asked for design and planning details.

"Buildings should be designed in a contemporary style and oriented toward their primary street." Our project does this exactly as stated.

"Facades and rooflines should vary to create relief from continuous surfaces." This project does this with different roof heights and facades, materials and colors and balconies.

"Varied building heights are recommended to properly frame the streets and provide the massing necessary to relate to the scale of the streetscapes." This building provides the "stepped up heights" towards Woodward that the plan asks for.

"Parking needs to be provided more efficiently than the current configuration of disjointed surface parking lots." The two existing buildings provided 17 spaces in exterior parking lots. The new building will provide 34 spaces completely inside the building. These spaces meet the requirement for the current zoning ordinance as written without the need for a municipal parking structure. No parking structure in this neighborhood hurts a developer's ability to provide more mixed use. However, in the next ten years as Uber and others start providing self-driving cars and peoples need for a first and/or second car disappear, the parking needs will decline dramatically.

"Buildings should incorporate a mixture of uses, including a variety of housing types designed to accommodate different types of households." This building has a mix of units between inside one bedroom units for a younger single crowd and lots of corner units of two bedroom units for older empty nesters. We were able to get all our parking on the first floor and not have to go underground and were able to build with wood construction over a concrete podium. These two design considerations were able to allow us to bring the rents and/or sales price into a more modest range than we have seen anywhere in downtown Birmingham in a long time. Hope to be in the range of \$400K to \$900K if they end up being sold.

12. The current zoning classification of the subject property.

750 Forest is MU-3 and 748 is MU-5

13. The zoning classification required for the proposed development.

The same MU-3 and MU-5. This mixed use building meets all the requirements of these two zoning classifications and is encouraged by the ordinances the Triangle District Urban Plan.

14. The existing land uses adjacent to the proposed project.

There is MU-3 and MU-5 to the north and south of the proposed project. There is MU-5 to the west and ASF-3 across Elm Street to the east.

15. Complete the attached "Zoning Requirements Analysis" chart.
See Section 6 for the "Zoning Requirements Analysis" chart.
16. A survey and site drainage plan.
See drawings from Nowak and Fraus
17. Identify any sensitive soils on the site that will require stabilization or alteration in order to support the proposed development.
Since almost the entire site is covered currently with impervious materials this will have to wait until we have moved the tenants out and start construction. However, since there are two substantial structures that have been there a long time it would suggest that soils are not a problem.
18. Whether or not the proposed development will occur on a steep slope.
There are not steep slopes on the site. In fact just the opposite
19. The volume of excavated soils to be removed from the site and/or delivered to the site, and a map of the proposed haul route.
The site will be very close to balancing. If the soils are compactable, the excavation for the basement will fill in the half a basement left after the existing office removal and re compacted in the office/retail sites.
20. Identify the potential hazards and nuisances that may be created by the proposed development and the suggested methods of mitigating such hazards.
Due to the infill nature of this development, with the building located directly adjacent to public sidewalks and alleys, there is a need to prohibit public access to the site during construction and protect pedestrians on the sidewalk. An 8'tall construction fence is proposed around the perimeter of the site throughout construction

Private Utilities

21. Indicate the source of all required private utilities.
Electric service is proposed to come from the existing overhead lines in the alley to the south of the project. The gas served is proposed to come from the existing 2" gas main in Elm Street where 750 Forest currently has 1 1/8" service already. Telephone and cable will come from the existing poles in the alley to the south and will be all internal inside the building. The exact location of the service lines will be determined by the individual utilities later in the site plan process.
22. Provide verification that all required utility easements have been secured for necessary private utilities.
Utility easements, if any are needed, have not been secured at this time. The location of all necessary easements will be identified and secured prior to construction.

Noise Levels

23. Provide a reading of existing ambient noise and estimate future noise levels on the site.

Kolano and Saha are in the middle of getting the current levels and will have final report shortly

24. Indicate whether the project will be exposed to or cause noise levels which exceed those levels prescribed in Chapter 50, Division 4, Section 50-71 through 50-77 of the Birmingham City Code, as amended.

The operation of this project will not exceed the noise levels prescribed in the Birmingham City Code. Please Kolano and Saha report for additional details.

25. Indicate whether the site is appropriate for the proposed activities and facilities given the existing ambient noise and the estimated future noise levels of the site.

See Kolano and Saha report for additional details

Air Quality

26. Indicate whether the project is located in the vicinity of a monitoring station where air quality violations have been registered and, if so, provide information as to whether the project will increase air quality problems in the area.

This site is located in Southeast Michigan Air Quality District, with monitoring stations in the Pontiac, Rochester, Oak Park and Allen Park, as well as others in the district. This district has attained and surpassed the National Ambient Air Quality Standards for Carbon Monoxide, Nitrogen Dioxide, Ozone, Sulfur Dioxide and particulate matter less than 10 microns and has attained the standard for Annual and 24-hour Fine Particulates, but is awaiting that designation by the EPA

27. Indicate if the nature of the project or its potential users would be particularly sensitive to existing air pollution levels and, if so, indicate how the project has been designed to mitigate possible adverse effects.

The building's HVAC units will be equipped with approved filter system to protect the potential users and individual unit owners will be allowed to put electronic air cleaners or other devices to handle people with high levels of sensitivity

28. Indicate whether the proposal will establish a trend which, if continued, may lead to violation of air quality.

This proposed development will not establish a trend which may lead to a violation of air quality standards.

Environmental Design & Historic Values

30. Indicate whether there will be a demonstrable destruction or physical alteration of the natural or human-made environment on site or in the right-of-way (i.e. Clearance of trees, substantial re-grading, etc.).

The existing office building and home converted to an office will be removed as will the associated parking lots for the two buildings. There are a few small shrubs that will be removed and the site is very flat and will require very little regrading.

31. Indicate whether there will be an intrusion of elements out of character or scale with the existing physical environment (i.e. Significant changes in size, scale of buildings, floor levels entrance patterns, height, materials, color or style form that of surrounding developments).

The proposed building is larger than the two existing structures and larger than the building to the west and is very compatible with the building across the street. The proposed building meets the zoning ordinance in all ways as to height and scale.

32. Indicate all elements of the project that are eligible for LEED points if the building were to be LEED certified (i.e. Extensive use of natural daylight, use of low voc paint, use of renewable/recycled resources, energy efficient mechanical systems, use of wind and solar power, geothermal heating, etc.).

At this point the building is not full designed but elements thus far that would be eligible for LEED points are:

- *The glass walls for all the residential units will provide occupants a connection to the outdoors thru the introduction of daylight views into regularly occupied areas of the building*
- *The site is in an urban area and within 1/2 mile of 10 services and offers pedestrian access to the services*
- *The project is located within 1/4 of mile of two bus stops for another method of alternative transportation*
- *Individual HVAC controls in each unit and separate controls for many of the public/service areas will provide a high level of thermal comfort system.*
- *The building and site will designated "No Smoking" which will prevent or minimize exposure of building occupants, indoor surfaces and ventilation air distribution systems to environmental tobacco smoke,*
- *Covered storage is provided for securing bicycles for 100% of building occupants, as another method of alternative transportation.*

33. Indicate whether the proposed structure will block or degrade views, change the skyline or create a new focal point.

The proposed building is taller than other buildings in the area and will change the skyline and change some of the view from the adjoining properties, but the proposed building height conforms to the zoning ordinance. The goal is for the building to be prominent but also blend into the urban fabric of the street.

34. Indicate whether there will be objectionable visual pollution introduced directly or indirectly due to loading docks, trash receptacles or parking, and indicate mitigation measures for same.

The proposed building encompasses the entire site and all trash, recycling receptacles, automobiles and electrical transformers will be inside the new structure and out of view.

35. Indicate whether there will be an interference with or impairment of ambient conditions necessary for the enjoyment of the physical environment (i.e. Vibration, dust, odor, heat, glare, etc.).

This development will not generate vibrations, dust, odor, heat, glare that would interfere with or impair the ambient conditions necessary for the enjoyment of the physical environment.

36. Indicate whether the project area and environs contain any properties listed on the National Register of Historic Places or the City's inventory of historic structures.

This property does not appear on the National Register of Historic Places and is not included in the City's inventory of historic structures.

37. Provide any information on the project area that the State Historic Preservation Office (SHPO) may have.

There is none that anyone is aware of.

38. Indicate whether there will be other properties within the boundaries or in the vicinity of the project that appear to be historic and thus require consultation with the SHPO as to eligibility for the National Register.

None of the properties adjacent to the site appears historic and none appear in a search of the state-registered historic properties listed in the State Historic Preservation Office database.

39. Indicate whether the Department of the Interior has been requested to make a determination of eligibility on properties the SHPO or HDC deems eligible and affected by the property.

The existing buildings are not on the National or State Historic Registry

40. Provide proof that the HDC has been given an opportunity to comment on properties that are listed on or have been found eligible for the National Register and which would be affected by the property.

This property is not listed as historic nor is it in a historic district, therefore the HDC will not be involved in this project.

Refuse

41. Indicate whether the existing or planned solid waste disposal system will adequately service the proposed development including space for separation of recyclable materials.

This project will use an enclosed track chute with probably two 10 CY dumpsters and perhaps six 95 gallon recycling bins to serve this site.

42. Indicate whether the design capacity of the existing or planned solid waste disposal system will be exceeded as a result of this project.

Waste Management and SOCRRA have been contacted and have confirmed their availability to serve the planned solid waste disposal and recycling needs of this project

Sanitary Sewer

43. Indicate whether the existing or planned waste water systems will adequately service the proposed development.

See the attached civil drawings. Sanitary sewer service shall be provide by a connection in Elm Street to the existing 24" combined sewer.

44. Indicate whether the design capacity of these facilities will be exceeded as a result of the project.

The existing 24" combined sewer in Elm Street has adequate capacity to serve this development.

45. Indicate the elements of the project that have been incorporated to reduce the amount of water entering the sewer system (such as low flush toilets, energy star appliances, restricted flow faucets, grey-water recycling, etc).

The building design will include low flow toilets and faucets and energy star appliances.

Storm Sewer

46. Indicate whether the existing or planned storm water disposal and treatment system will adequately service the proposed development.

See attached civil plans. The planned storm water management system for this site will be designed to adequately serve the development.

47. Indicate whether the design capacity of these facilities will be exceeded as a result of the project.

The proposed development has almost exactly the same amount of impervious surface as the existing conditions. Therefore, we do not expect a change in the capacity of the existing services.

48. Indicate the elements of the project that have been incorporated to reduce the amount of storm water entering the sewer system (such as the use of pervious concrete, rain gardens, grey water recycling, green pavers, etc.).

Due to the size of the site, the layout of the proposed building, and the soil conditions, there are no feasible options to significantly reduce the quantity of the runoff from this site,

Water Service

49. Indicate whether the municipal water utility or on site water supply system adequate to service the proposed development.

See the attached civil plans. Water service for this project will be to tap the 12" public water main in Elm Street.

50. Indicate whether the water quality is safe from both a chemical and bacteriological standpoint.

Birmingham's Annual Water Quality Report indicates the City's public water supply surpasses the EPA and MDEQ water quality standards, and is safe from a chemical and biological standpoint.

51. Indicate whether the intended location of the service will be compatible with the location and elevation of the main.

The water service connection will be designed in accordance with City standards to be compatible with the location and elevation of the public water main.

Public Safety

52. Whether or not the project location provides adequate access to police, fire and emergency medical services.

The project is located on the corner of Forest and Elm Streets and that will provide adequate access for emergency vehicles and public safety access.

53. Whether or not the proposed project design provides easy access for emergency vehicles and individuals (i.e. Are there obstacles to access, such as one-way roads, narrow bridges, etc.).

The site has road access on two sides and alley access on a third side.

54. Whether or not there are plans for a security system which can be expanded, and whether approval for the same has been granted by the police department.

The building will be designed with security features and a third party monitoring and security system. The main lobby door will also be controlled via an intercom system connected to the apartments. The apartment units' entrance lobby door and all other building access doors will be locked, with access by a master key or by keypad code. The units' entrance lobby door will also be controlled via an intercom system connected to the units.

55. Detailed description of all fire access to the building, site, fire hydrants and water connections.

The building will conform to all applicable fire codes for layout, access, hydrant coverage and water connections. See the preliminary Site Plan and Architectural plans for site and building information.

56. Whether or not there are plans for adherence to all City and NFPA fire codes.

The proposed site and building will be designed to conform to applicable City and National Fire codes

57. Proof that one elevator has been designed to accommodate a medical cart

See our architectural plans. Our single elevator will be big enough to accommodate a medical cart

58. Detailed specifications on all fire lanes/parking lot surfaces/alleys/streets to demonstrate the ability to accommodate the weight of emergency/fire vehicles.

All the access for fire and emergency vehicles will be on public streets and alleys already in place

59. Detailed description of all fire suppression systems.

The building fire suppression system has not been designed yet but will conform to all applicable fire codes

Transportation Issues

60. Provide completed FORM A – Transportation Study Questionnaire (Abbreviated).

See section 11 for the Traffic Impact Study

61. Provide completed FORM B – Transportation Study Questionnaire if required by the City's transportation consultant.

Is not required

62. Indicate whether transportation facilities and services will be adequate to meet the needs of all users (i.e. Access to public transportation, bicycle accommodations, pedestrian connections, disabled, elderly, etc.).

The transportation facilities available to the site (bus service, train service, shuttle bus service, pedestrian connections, bicycle facilities) will be adequate to serve the needs of the residents and staff of the site,

63. Indicate how the project will improve mobility of all groups by providing transportation choices.

Site walkways connect to the right of way walks for pedestrian travel, bike storage/parking is provided, there is a Smart bus stop near the site and an Amtrak station nearby, and on-site parking is provided for private vehicles.

64. Indicate how users of the building will be encouraged to use public transit and non-motorized forms of transportation.

There is a Smart bus stop a block away at Maple and Elm and Smart routes serve much of Metro Detroit area. For longer trips, the Amtrak Station is about ½ mile east near another Smart stop

65. Indicate the elements that have been incorporated into the site and surrounding right-of-way to encourage mode shift away from private vehicle trips.

The location of this site, within the downtown shopping and services plus a block from Krogers makes walking a very feasible alternative to driving.

66. Indicate the elements of the project that have been provided to improve the comfort and safety of cyclists (such as secured covered bicycle parking, lockers, bike lanes/paths, bicycle share programs, etc.).

Storage for bikes is provided for every unit owner.

67. Indicate the elements of the project that have been provided to improve the comfort and safety of pedestrians (such as wheel chair ramps, crosswalk markings, pedestrian activated signal lights, bulb outs, benches, landscape lighting, etc.).

Benches are provides in the right-of-way walks, street lighting in the right-of-way plus building lighting by the garage and entry doors. Primary and secondary access to the building entrances will meet federal accessibility standards.

68. Indicate the elements of the project that have been provided to encourage the use of sustainable transportation modes (such as receptacles for electric vehicle charging, parking for scooters/smart cars, etc.).

We will be able to provide individual electric for specific owner's vehicular spaces if they request it. Since there is no public parking provided there will not be a specific space for electric cars.

Natural Features

69. Indicate whether there are any visual indicators of pond and/or stream water quality problems on or near the site.

This is a completely urban setting with the building covering the entire site There are no streams or ponds anywhere near this site.

70. Indicate whether the project will involve any increase in impervious surface area and, if so, indicate the runoff control measures that will be taken.

There is minimal increase in impervious surface area so a negligible increase in runoff rate into the combine's sewer.

71. Indicate whether the project will affect surface water flows or water levels of ponds or other water bodies.

This project will not affect surface water flows or water levels in ponds or other bodies of water. There are no one nearby and or connected.

72. Indicate whether the project may affect or be affected by a wetland, floodplain or floodway.

There are no wetlands, floodplains or floodways adjacent to or nearby this site. We not affect any one

73. Indicate whether the project location or construction will adversely impact unique natural features on or near the site.

This project will not adversely impact any unique natural feature on this site or adjacent to it.

74. Indicate whether the project will either destroy or isolate a unique natural feature from public access.

This project will not destroy or isolate any unique natural feature on this site or adjacent to it.

75. Indicate whether any unique natural feature will pose safety hazards for the proposed development.

No unique natural feature poses a safety hazard for this proposed project.

76. Indicate whether the project will damage or destroy existing wildlife habitats.

This project will not damage or destroy existing wildlife habitats.

Other Information

77. Any other information as may reasonably be required by the City to assure an adequate analysis of all existing and proposed site features and conditions.

Professional Qualifications

The CIS checklist was prepared by Paul C Robertson, Jr. P.E. from Robertson Brothers Homes.

The civil plans by Brad Brickel, P.E. of Nowak and Fraus Engineers

The architectural plans by Michael Poris AIA of McIntosh/Poris Associates

Section 6. Zoning Requirements Analysis



ZONING REQUIREMENTS ANALYSIS

Development Standard	Required	Proposed	Variance Required
Zoning Classification	MU-5/MU-3	MU-5/MU-3	
Front Setback	0'-0" MIN./5'-0" MAX	0'-0"	
Rear Setback	10'-0" MIN.	N/A - no rear yard for corner lots	
Side Setback	0' for walls without windows 10' for walls with windows	0' at south side that faces public 20'-0" alley, 10' for east side with windows	
FAR - Percentage	N/A in residential and parking uses	321%	
FAR – Square Footage	N/A	42,399 SF	
Open Space – Percentage	N/A	5%	
Open Space – Square Footage	N/A	2,000 SF roof terrace	
Number of Residential Units	N/A	22	
Minimum Floor Area	1 bedroom units - 600 SF 2 bedroom units - 800 SF	1 bedroom units - 820 SF 2 bedroom units - 1,614 SF	
Maximum Height	MU-3 - 42'-0" MU-5 - 66'-0"	MU-3 - 37'-0" + 2 partial bonus stories MU-5 - 60'-0"	YES if additional height conditions not met
Parking	1.5 per residential units = 33 1 per 300 SF of office = 36 36 TOTAL	36	
Loading	none required for residential or for less than 5,000 SF of commercial	0	
Screening	a wall adjacent to the front or side of any parking facility	building facade will screen parking facility. Bottom of openings in wall to be 32" tall	

Section 7. Noise Impact Study

Section 8. Traffic Impact Study



May 9, 2016

Mr. Paul Robertson
Robertson Brothers Company
6905 Telegraph Road, Suite 200
Bloomfield Hills, Michigan 48301

**Re: Traffic Impact Assessment
Proposed 750 Forest Mixed Use Development
City of Birmingham, Michigan
200-12848-16001**

Dear Mr. Robertson:

Tetra Tech (Tt) has reviewed your proposed mixed-use site plan dated May 2, 2016 for 22 residential units with 850 sq. ft. of retail space. As we understand it, the property is located on the southwest quadrant of Forest Avenue and Elm Street. In the vicinity of the proposed development, both Forest Avenue and Elm Street are two-lane roads with parking on one side, and have unposted speed limits of 25 MPH. Currently the site has a 7,100 sq. ft. office building and a 1,035 sq. ft. former residence that was used for office space. This study has been prepared to compare the trip generation forecasts for the existing and proposed uses, amount of parking required for the proposed site per City Zoning Ordinance, and potential impacts (if any) to the City's Multi-Modal Transportation Plan, and has been prepared in accordance with City of Birmingham requirements.

The site is currently split zoned, with the eastern portion MU-3 Mixed Use and the western portion zoned MU-5 Mixed Use, which permits a wide variety of residential, retail and service business uses on the site. No rezoning of the property is being sought or required for the proposed office development.

The proposed development plan shows a five-story building with 22 residential units and 850 sq. ft. of retail space, for a total gross size of approximately 40,384 sq. ft. and 36 total parking spaces being provided on the site (32 parking stalls, 2 handicapped stalls and 2 on-street parking spaces). The site will have direct access to both Forest Avenue and Elm Street, as well as access to an alley off of Elm Street.

Trip Generation

Using the information and methodologies specified in the latest version of *Trip Generation* (9th Edition) published by the Institute of Transportation Engineers (ITE), Tt forecast the



total weekday, weekday AM peak hour and weekday PM peak hour trips associated with the sites specified above for the previous office and proposed mixed-use developments for the site.

Given the relatively small size of the existing office developments (8,135 sq. ft.) compared to the average size of the office building developments studied in *Trip Generation (9th Edition)* (105,000 – 162,000 sq. ft.), the average rate was used over the fitted equation, even when the coefficient of determination for the equations were greater than 0.75, in order to provide a more realistic forecast for the existing office development.

Similarly, given the size of the proposed apartment and retail portions of the development, the average rate information was used. Additionally, since information is not provided for the AM peak hour of adjacent street traffic for Land Use 826: Specialty Retail Center, information for Land Use 820: Shopping Center was substituted for the AM peak hour, since LU 820 is considered a similar use to LU 826.

The following tables summarize our findings for the previous office developments and the proposed mixed-use development.

**Table 1
ITE Trip Generation for Previous Office Development (Average Rate)**

Land Use	Land Use Code	Size (sq. ft.)	AM Peak Hour			PM Peak Hour			Week Day
			In	Out	Total	In	Out	Total	
General Office Building	710	8,135	11	2	13	2	11	13	90
TOTAL NEW TRIPS			11	2	13	2	11	13	90

**Table 2
ITE Trip Generation for Proposed Mixed-Use Development (Average Rate)**

Land Use	Land Use Code	Size	AM Peak Hour			PM Peak Hour			Week Day
			In	Out	Total	In	Out	Total	
Apartment	220	22 units	2	10	12	9	5	14	147
Specialty Retail Center	826	850 sq. ft.	1*	0*	1*	1	2	3	38
TOTAL NEW TRIPS			3	10	13	10	7	17	185

* Since information was not available for Land Use 826: Specialty Retail Center during the AM peak hour of the adjacent street traffic, information for Land Use 820: Shopping Center was substituted, since it is considered a similar use.

Table 3
ITE Trip Generation Comparison Between
Previous Office and Proposed Mixed-Use Developments (Average Rate)

Land Use	Land Use Code	Size	AM Peak Hour			PM Peak Hour			Week Day
			In	Out	Total	In	Out	Total	
General Office Building	710	8,135 sq. ft.	11	2	13	2	11	13	90
Apartment	220	22 units	2	10	12	9	5	14	147
Specialty Retail Center	826	850 sq. ft.	1	0	1	1	2	3	38
TOTAL CHANGE IN TRIPS			-8	+8	0	+8	-4	+4	+95

For comparative and informational purposes, a table has been provided (attached) showing the trip generation forecasts for the previous retail and proposed office development utilizing information provided by *Trip Generation (9th Edition)*. It should be noted that the results from the fitted equations for the existing and proposed uses are more than double the results obtained from utilizing the average rate. When the size of a proposed site is closer to the typical sizes used by ITE to develop the equations, there is typically a much higher correlation between the results from the average rate and the fitted equations, unlike what is seen here.

As can be seen from Table 3 above, the proposed mixed-use development is forecast to generate the same number of total trips during the AM peak hour, 4 more total trips during the PM peak hour (8 greater inbound but 4 fewer outbound), and 95 more total trips throughout a typical weekday.

Trip Distribution

The forecast trips for the proposed mixed-use development were then distributed to the site driveways in accordance with local traffic patterns. Since historic traffic count information was not available for Forest Avenue and Elm Street, traffic counts for M-1 (Woodward Avenue) and Maple Road, major arterials closest to the proposed development that would likely attract most, if not all, the site traffic, were used. Since traffic is prohibited from going east on Forest Avenue past Elm Street, plus the limited access Elm Street provides, traffic was distributed to/from the north, south and west. The proposed trip distribution for the site is shown in the attached Figure 1. Given the low volumes forecasted, the proposed development is not anticipated to have a significant impact on the operation of the adjacent roadway system.



City of Birmingham Parking Requirements

The City of Birmingham's Zoning Ordinance was reviewed to determine the amount of parking required for the site. The City's Zoning Ordinance was downloaded from the City's website on May 5, 2016, and Article Four: Development Standards provides the off-street parking requirements for each commercial use and residential uses per zoning, specifically in Table A: Required Off-Street Parking Spaces on pages 4-34 and 4-35.

For the retail portion of the site, 1 space is required per 300 sq. ft. of floor area, and for residential uses in areas zoned MX, 1 space is required for each unit with two or fewer rooms, and 1.25 spaces per unit with three or more rooms. In order to provide a conservative analysis, it was assumed that all the residential units within the proposed development would have three or more rooms.

Based on the above information, 3 spaces would be required for the 850 sq. ft. retail portion of the site, and 28 spaces would be required for the 22 residential units in the site, for a total of 31 spaces required by ordinance. Since the site plan indicates that 36 parking spaces will be provided, the site provides adequate parking per the City's ordinance, and does not require a shared parking analysis to be performed.

City of Birmingham Multi-Modal Transportation Plan

At the request of the City's traffic consultant, Fleis & VandenBrink Engineering, Inc., the City of Birmingham Multi-Modal Transportation Plan, prepared by The Greenway Collaborative, Inc. dated November 25, 2013 was reviewed to determine if there would be any impacts from the proposed development. Currently there are sidewalks along both Forest Avenue and Elm Street at the project location, and these are proposed to remain under the site plan. According to the Multi-Modal plan, proposed signed bike routes are proposed along both Forest Avenue and Elm Street. No other multi-modal enhancements are proposed adjacent to your proposed development.

Since the proposed development will remain within the existing building envelope along both Forest Avenue and Elm Street, no impacts are anticipated to the City's multi-modal plan (sidewalks will remain unchanged and the signed bike path would not be impacted). In fact, given the transition of the site from professional office use to a predominately residential use, the new residents would likely benefit from the plan, and would likely increase the use of the various features proposed throughout the City of Birmingham.



We trust that this letter fulfills your current transportation needs regarding your proposed development. If you have any questions, please feel free to call our office at (810)-220-2112.

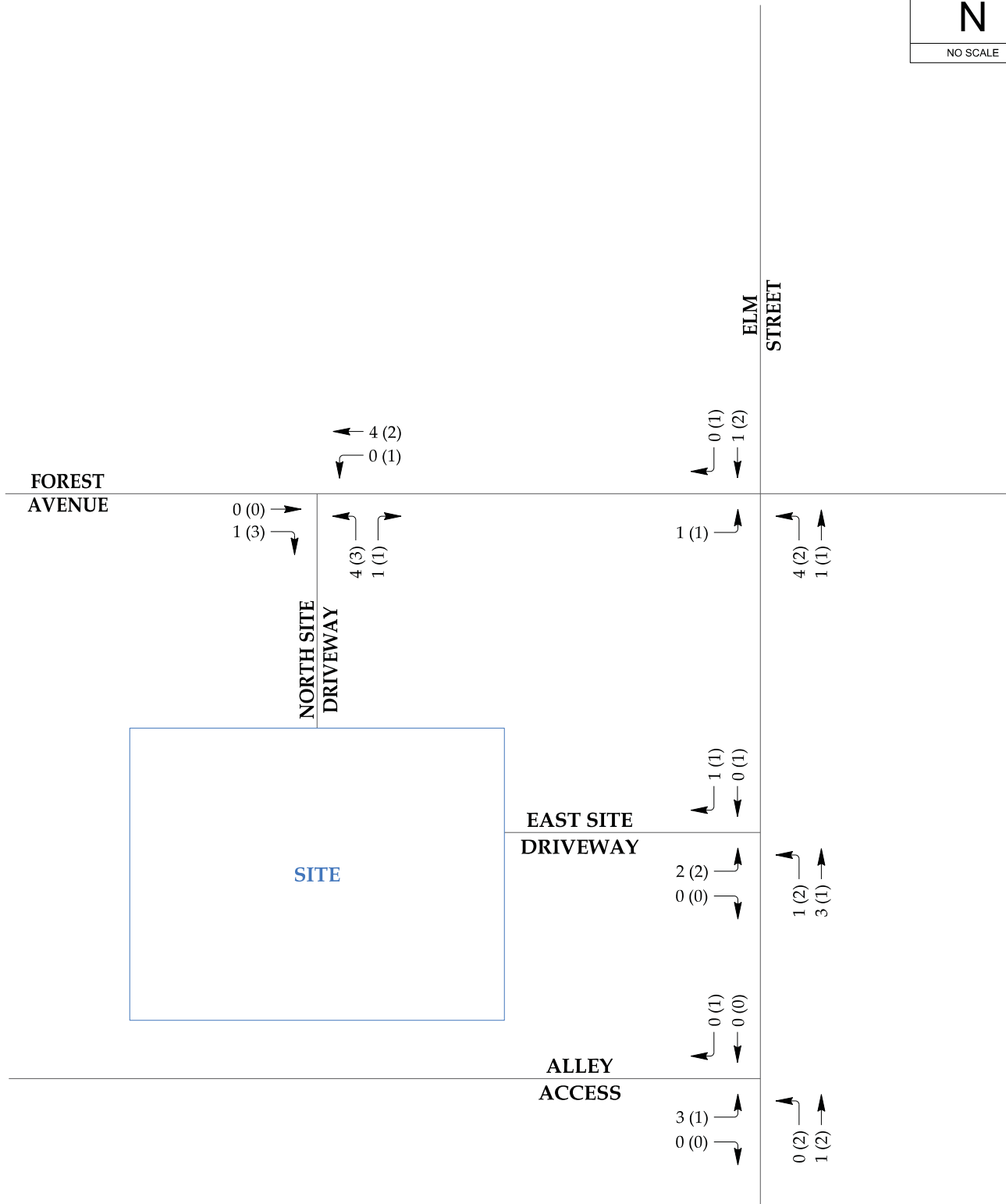
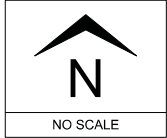
Sincerely,

A handwritten signature in blue ink, appearing to read 'Kyle W. Ramakers', written over a light blue horizontal line.

Kyle W. Ramakers, P.E., PTOE
Transportation Engineer

Attachment: Trip Distribution Figure

P:\MER\12848\200-12848-16001\SupportDocs\Cals\Traffic\Deliverables\TIA_750-Forest-Ave_Final.docx



XX = AM PEAK HOUR
 (XX) = PM PEAK HOUR



SITE GENERATED AM(PM) PEAK HOUR TRAFFIC VOLUMES

FIGURE 1

Section 9. Phase I Environmental Site Assessment

Section 10. Soils Investigation

Section 11. Air Quality Information

May 20, 2016

VIA EMAIL

Ms. Jana L. Ecker
Planning Director
City of Birmingham
151 Martin Street
Birmingham, Michigan 48012

**RE: 750 Forest Avenue – Mixed Use Development
Traffic Impact Assessment and Site Plan Review**

Dear Ms. Ecker:

Fleis & VandenBrink (F&V) staff has completed our review of the proposed mixed use development at 750 Forest Avenue Traffic Impact Assessment (TIA) and site plan dated May 9, 2016 that were received by F&V on May 13, 2016. Based on this review, we have the following comments and observations:

1. The TIA evaluated 22 apartment units and 850 SF of retail space; however, the proposed site plan shows 850 SF of office space. The TIA and/or site plan should be reviewed and revised as necessary.
2. The proposed site provides 34 off-street parking spaces (including two accessible parking spaces) and two on-street parking spaces, for a total of 36 parking spaces. However, for this district, the City ordinance requires a minimum of 39 parking spaces; therefore, the proposed site does not provide adequate parking for the proposed development.
3. There are four existing public parking spaces on Elm Street adjacent to the site. With the addition of the proposed development, two of the on-street public parking spaces on Elm Street will be eliminated.

We hope that this review satisfies the City's current planning needs regarding this project. If you have any questions or concerns, please contact our office.

Sincerely,

FLEIS & VANDENBRINK



Michael J. Labadie, PE
Group Manager

JMK:mjl

PARTNER

Engineering and Science, Inc.



PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT

Commercial Property

750 Forest Avenue
Birmingham, Michigan 48009

Report Date: July 20, 2015
Partner Project No. 15-141524.1



Prepared for:

Capital Impact Partners

2011 Crystal Drive, Suite 800
Arlington, Virginia 22202

July 20, 2015

Ms. Tamara Davis
Capital Impact Partners
2011 Crystal Drive, Suite 800
Arlington, Virginia 22202

Subject: Phase I Environmental Site Assessment
Commercial Property
750 Forest Avenue
Birmingham, Michigan 48009
Partner Project No. 15-141524.1

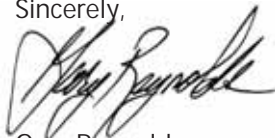
Dear Ms. Davis:

Partner Engineering and Science, Inc. (Partner) is pleased to provide the results of the *Phase I Environmental Site Assessment* (Phase I ESA) report of the abovementioned address (the "subject property"). This assessment was performed in general conformance with the scope and limitations as detailed in the ASTM Practice E1527-13 Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process.

This assessment included a site reconnaissance as well as research and interviews with representatives of the public, property ownership, site manager, and regulatory agencies. An assessment was made, conclusions stated, and recommendations outlined.

We appreciate the opportunity to provide environmental services to you. If you have any questions concerning this report, or if we can assist you in any other matter, please contact me at (970) 568-2596.

Sincerely,



Gary Reynolds
Relationship Manager

EXECUTIVE SUMMARY

Partner Engineering and Science, Inc. (Partner) has performed a Phase I Environmental Site Assessment (ESA) in general accordance with the scope of work and limitations of ASTM Standard Practice E1527-13, the Environmental Protection Agency Standards and Practices for All Appropriate Inquiries (AAI) (40 CFR Part 312) and set forth by Capital Impact Partners for the property located at 750 Forest Avenue in the City of Birmingham, Oakland County, Michigan (the "subject property"). The Phase I Environmental Site Assessment is designed to provide Capital Impact Partners with an assessment concerning environmental conditions (limited to those issues identified in the report) as they exist at the subject property.

Property Description

The subject property is located on the southwest corner of the intersection of Forest Avenue and Elm Street within a mixed commercial and residential area of Birmingham, Michigan in Oakland County. Please refer to the table below for further description of the subject property:

Subject Property Data

Address:	750 Forest Avenue, Birmingham, Michigan
Additional Address:	770 Forest Avenue, Birmingham, Michigan
Property Use:	Commercial/ Office
Land Acreage (Ac):	0.18 Ac
Number of Buildings:	One
Number of Floors:	One with basement
Gross Building Area (SF):	3,642 SF (Total)
Net Rentable Area (SF):	3,642 SF (Total)
Date of Construction:	1971
Assessor's Parcel Number (APN):	08-19-36-228-004
Type of Construction:	Wood-Framed
Current Tenants:	The Student Connection (770 Forest Avenue); Forest Fitness (750 Forest Avenue)
Site Assessment Performed By:	Jan Grulke of Partner
Site Assessment Conducted On:	July 8, 2015

The subject property is currently occupied by The Student Connection (770 Forest Avenue) and Forest Fitness (750 Forest Avenue) for commercial/office use. Onsite operations consist of typical office and fitness activities. In addition to the current structure, the subject property is also improved with an asphalt paved parking lot to the south of the building.

According to available historical sources, the subject property was first developed for residential between 1915 and 1921, and remained as such until the current building was developed in 1971. The property was vacant land prior to 1915. Tenants on the subject property have included typical office occupants similar to the current tenants.

The immediately surrounding properties consist of The Templeton Building to the north across Forest Avenue; an office building to the northeast across Forest Avenue and Elm Street; an office building to the south across an alley; residential properties to the east across Elm Street; and a former residence used as an office to the west.

According to topographic maps and the Groundwater Mapping Project completed for the Michigan Department of Environmental Quality by the Michigan State University Remote Sensing and GIS Research and Outreach Services, the depth and direction of groundwater in the vicinity of the subject property is inferred to be present within 15 feet of the ground surface and flow toward the southeast.

Findings

A *recognized environmental condition (REC)* refers to the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property; due to release to the environment; under conditions indicative of a release to the environment; or under conditions that pose a material threat of a future release to the environment. The following was identified during the course of this assessment:

- Partner did not identify any recognized environmental conditions during the course of this assessment.

A *controlled recognized environmental condition (CREC)* refers to a REC resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority, with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls. The following was identified during the course of this assessment:

- Partner did not identify any controlled recognized environmental conditions during the course of this assessment.

A *historical recognized environmental condition (HREC)* refers to a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls. The following was identified during the course of this assessment:

- Partner did not identify any historical recognized environmental conditions during the course of this assessment.

An *environmental issue* refers to environmental concerns identified by Partner, which do not qualify as RECs; however, warrant further discussion. The following was identified during the course of this assessment:

- Due to the age of the subject property building, there is a potential that asbestos-containing material (ACM) and/or lead-based paint (LBP) are present. Overall, all suspect ACMs and painted surfaces were observed in good condition and do not pose a health and safety concern to the occupants of the subject property at this time.

Should suspect materials be replaced, the identified suspect ACMs would need to be sampled to confirm the presence or absence of asbestos prior to any renovation or demolition activities to prevent potential exposure to workers and/or building occupants.

Conclusions, Opinions and Recommendations

This assessment has revealed no evidence of recognized environmental conditions in connection with the subject property; however, environmental issues were identified. Based on the conclusions of this assessment, Partner recommends no further investigation of the subject property at this time.

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- Appendix A** Site Photographs
Appendix B Historical/Regulatory Documentation
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1.0 INTRODUCTION

Partner Engineering and Science, Inc. (Partner) has performed a Phase I Environmental Site Assessment (ESA) in general conformance with the scope and limitations of ASTM Standard Practice E1527-13 and the Environmental Protection Agency Standards and Practices for All Appropriate Inquiries (AAI) (40 CFR Part 312) for the property located at 750 Forest Avenue in the City of Birmingham, Oakland County, Michigan (the "subject property"). Any exceptions to, or deletions from, this scope of work are described in the report.

1.1 Purpose

The purpose of this ESA is to identify existing or potential Recognized Environmental Conditions (as defined by ASTM Standard E1527-13) affecting the subject property that: 1) constitute or result in a material violation or a potential material violation of any applicable environmental law; 2) impose any material constraints on the operation of the subject property or require a material change in the use thereof; 3) require clean-up, remedial action or other response with respect to Hazardous Substances or Petroleum Products on or affecting the subject property under any applicable environmental law; 4) may affect the value of the subject property; and 5) may require specific actions to be performed with regard to such conditions and circumstances. The information contained in the ESA Report will be used by Client to: 1) evaluate its legal and financial liabilities for transactions related to foreclosure, purchase, sale, loan origination, loan workout or seller financing; 2) evaluate the subject property's overall development potential, the associated market value and the impact of applicable laws that restrict financial and other types of assistance for the future development of the subject property; and/or 3) determine whether specific actions are required to be performed prior to the foreclosure, purchase, sale, loan origination, loan workout or seller financing of the subject property.

This ESA was performed to permit the *User* to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on scope of Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) (42 U.S.C. §9601) liability (hereinafter, the "*landowner liability protections*," or "*LLPs*"). ASTM Standard E1527-13 constitutes "*all appropriate inquiry* into the previous ownership and uses of the *property* consistent with good commercial or customary practice" as defined at 42 U.S.C. §9601(35)(B).

1.2 Scope of Work

The scope of work for this ESA is in general accordance with the requirements of ASTM Standard E1527-13. This assessment included: 1) a property and adjacent site reconnaissance; 2) interviews with key personnel; 3) a review of historical sources; 4) a review of regulatory agency records; and 5) a review of a regulatory database report provided by a third-party vendor. Partner contacted local agencies, such as environmental health departments, fire departments and building departments in order to determine any current and/or former hazardous substances usage, storage and/or releases of hazardous substances on the subject property.

Additionally, Partner researched information on the presence of activity and use limitations (AULs) at these agencies. As defined by ASTM E1527-13, AULs are the legal or physical restrictions or limitations on the use of, or access to, a site or facility: 1) to reduce or eliminate potential exposure to hazardous substances or petroleum products in the soil or groundwater on the subject property; or 2) to prevent activities that could interfere with the effectiveness of a response action, in order to ensure maintenance of a condition of no significant risk to public health or the environment. These legal or physical restrictions, which may include institutional and/or engineering controls (IC/ECs), are intended to prevent adverse impacts to individuals or populations that may be exposed to hazardous substances and petroleum products in the soil or groundwater on the property.

If requested by Client, this report may also include the identification, discussion of, and/or limited sampling of asbestos-containing materials (ACMs), lead-based paint (LBP), mold, and/or radon.

1.3 Limitations

Partner warrants that the findings and conclusions contained herein were accomplished in accordance with the methodologies set forth in the Scope of Work. These methodologies are described as representing good commercial and customary practice for conducting an ESA of a property for the purpose of identifying recognized environmental conditions. There is a possibility that even with the proper application of these methodologies there may exist on the subject property conditions that could not be identified within the scope of the assessment or which were not reasonably identifiable from the available information. Partner believes that the information obtained from the record review and the interviews concerning the subject property is reliable. However, Partner cannot and does not warrant or guarantee that the information provided by these other sources is accurate or complete. The conclusions and findings set forth in this report are strictly limited in time and scope to the date of the evaluations. The conclusions presented in the report are based solely on the services described therein, and not on scientific tasks or procedures beyond the scope of agreed-upon services or the time and budgeting restraints imposed by the Client. No other warranties are implied or expressed.

Some of the information provided in this report is based upon personal interviews, and research of available documents, records, and maps held by the appropriate government and private agencies. This report is subject to the limitations of historical documentation, availability, and accuracy of pertinent records, and the personal recollections of those persons contacted.

This practice does not address requirements of any state or local laws or of any federal laws other than the all appropriate inquiry provisions of the LLPs. Further, this report does not intend to address all of the safety concerns, if any, associated with the subject property.

Environmental concerns, which are beyond the scope of a Phase I ESA as defined by ASTM include the following: ACMs, LBP, radon, and lead in drinking water. These issues may affect environmental risk at the subject property and may warrant discussion and/or assessment; however, are considered non-scope issues. If specifically requested by the Client, these non-scope issues are discussed in Section 6.3.

1.4 User Reliance

Capital Impact Partners engaged Partner to perform this assessment in accordance with an agreement governing the nature, scope and purpose of the work as well as other matters critical to the engagement. All reports, both verbal and written, are for the sole use and benefit of Capital Impact Partners. Either verbally or in writing, third parties may come into possession of this report or all or part of the information generated as a result of this work. In the absence of a written agreement with Partner granting such rights, no third parties shall have rights of recourse or recovery whatsoever under any course of action against Partner, its officers, employees, vendors, successors or assigns. Any such unauthorized user shall be responsible to protect, indemnify and hold Partner, Client and their respective officers, employees, vendors, successors and assigns harmless from any and all claims, damages, losses, liabilities, expenses (including reasonable attorneys' fees) and costs attributable to such Use. Unauthorized use of this report shall constitute acceptance of and commitment to these responsibilities, which shall be irrevocable and shall apply regardless of the cause of action or legal theory pled or asserted. Additional legal penalties may apply.

This report has been completed under specific Terms and Conditions relating to scope, relying parties, limitations of liability, indemnification, dispute resolution, and other factors relevant to any reliance on this report. Any parties relying on this report do so having accepted the Terms and Conditions for which this report was completed. A copy of Partner's standard Terms and Conditions can be found at <http://www.partneresi.com/terms-and-conditions.php>.

1.5 Limiting Conditions

The findings and conclusions contain all of the limitations inherent in these methodologies that are referred to in ASTM E1527-13.

Specific limitations and exceptions to this ESA are more specifically set forth below:

- Interviews with past owners, operators and occupants were not reasonably ascertainable and thus constitute a data gap. Based on information obtained from other historical sources (as discussed in Section 3.0), this data gap is not expected to alter the findings of this assessment.
- Partner requested information relative to deed restrictions and environmental liens, a title search, and completion of a pre-survey questionnaire from the Report User. This information was not provided at the time of the assessment.
- Partner was unable to determine the property use at 5-year intervals, which constitutes a data gap. Information concerning historical use of the subject property was unavailable from 1938 to 1948, 1977 to 1982, and 1988 to 1996. Except for property tax files and recorded land title records, which were not considered to be sufficiently useful, Partner reviewed all standard historical sources and conducted appropriate interviews.

- Partner submitted Freedom of Information Act (FOIA) requests to the Oakland County Health Department and the City of Birmingham Fire Department for information pertaining to hazardous substances, underground storage tanks, releases, inspection records, etc. for the subject property and/or adjacent properties. As of this writing, these agencies have not responded to Partner's request. Based on information obtained from other historical sources, this limitation is not expected to alter the overall findings of this assessment.

Due to time constraints associated with this report, the Client has requested the report despite the above-listed limitations.

2.0 SITE DESCRIPTION

2.1 Site Location and Legal Description

The subject property is located on the southwest corner of the intersection of Forest Avenue and Elm Street within a mixed commercial and residential area of Birmingham, Michigan in Oakland County. According to the City of Birmingham Assessor's website, the subject property is legally described as *T2N, R10E, SEC 36 CAMPBELL'S SUB LOT 1 & E 10 FT OF LOT 2 BLOCK 4*, and ownership is currently vested in 750 Forest LLC since 2005.

Please refer to Figure 1: Site Location Map, Figure 2: Site Plan, Figure 3: Topographic Map, and Appendix A: Site Photographs for the location and site characteristics of the subject property.

2.2 Current Property Use

The subject property is currently occupied by Forest Fitness and The Student Connection for commercial/office use. Onsite operations consist of typical office and fitness activities. The subject property consists of a one-story building with a basement located on the north side of the property. In addition to the current structure, the subject property is also improved with an asphalt paved parking lot to the south of the building.

The subject property is designated for commercial/office development by the City of Birmingham.

The subject property was not identified in the regulatory database report of Section 4.2.

2.3 Current Use of Adjacent Properties

The subject property is located within a mixed commercial and residential area of Birmingham, Oakland County, Michigan. During the vicinity reconnaissance, Partner observed the following land use on properties in the immediate vicinity of the subject property:

Immediately Surrounding Properties

- North:** Forest Avenue beyond which is The Templeton Building, which includes the Forest Grill and several office occupants (735 Forest Avenue)
- Northeast:** Forest Avenue and Elm Street beyond which is an office building (295 Elm Street)
- South:** An alley beyond which is an office building (751 Chestnut)
- East:** Elm Street beyond which are two residential dwellings (343 Elm Street and 807 Chestnut Street)
- West:** A former residence currently used as an office (Forest Avenue Design Management at 748 Forest Avenue)

No adjacent properties were identified in the regulatory database report of Section 4.2.

2.4 Physical Setting Sources

2.4.1 Topography

The United States Geological Survey (USGS) *Birmingham, Michigan* Quadrangle 7.5-minute series topographic map was reviewed for this ESA. According to the contour lines on the topographic map, the subject property is located at approximately 770 feet above mean sea level (MSL).

The contour lines in the area of the subject property indicate the area is sloping gently toward the southeast. The subject property is depicted on the 1981 map in a shaded area with no specific buildings identified, which is typical of urban areas.

A copy of the most recent topographic map is included as Figure 3 of this report.

2.4.2 Hydrology

According to topographic map interpretation, the direction of groundwater in the vicinity of the subject property is inferred to flow toward the southeast. The nearest surface water in the vicinity of the subject property is the Rouge River located approximately ½ mile northwest of the subject property. No settling ponds, lagoons, surface impoundments, wetlands or natural catch basins were observed at the subject property during this assessment.

According to available information, a public water system operated by the Birmingham Department of Public Works serves the subject property vicinity. According to the annual water quality report, shallow groundwater beneath the subject property is not utilized for domestic purposes. The sources of public water for the City of Birmingham are surface water from the Detroit River.

According to the Groundwater Mapping Project completed for the Michigan Department of Environmental Quality by the Michigan State University Remote Sensing and GIS Research and Outreach Services, the depth of groundwater in the vicinity of the subject property is present within 15 feet of the ground surface.

2.4.3 Geology/Soils

The Property is situated within the Interior Plains physiographic province of the State of Michigan. The uppermost geologic formation underlying the soils at the Property is end moraines of medium textured glacial till. Underlying the glacial material is the Mississippian aged Coldwater Shale formation. The Coldwater Shale formation comprises the underlying stratigraphy and consists mostly of shale. The thickness of the Coldwater Shale formation is estimated to be over 100 feet. The depth to bedrock is estimated at approximately 500 feet below ground surface.

Based on information obtained from the USDA Natural Resources Conservation Service Web Soil Survey online database, the subject property is mapped as Udorthents and Udipsamments series. These series consists of well drained soils that consist of silty clay and fine sand formed on ground moraines. Slopes range from nearly level to hilly.

2.4.4 Flood Zone Information

Partner performed a review of the Flood Insurance Rate Map, published by the Federal Emergency Management Agency. According to Community Panel Number 26125C 0537F, dated September 29, 2006, the subject property appears to be located in Zone X, an area located outside of the 100-year and 500-year flood plains.

A copy of the reviewed flood map is included in Appendix B of this report.

3.0 HISTORICAL INFORMATION

Partner obtained historical use information about the subject property from a variety of sources. A chronological listing of the historical data found is summarized in the table below:

<i>Historical Use Information</i>		
Period/Date	Source	Description/Use
1915	Sanborn Maps	Undeveloped/Native land
1921-1971	Aerial Photographs, Sanborn Maps	Residential
1971-Present	Aerial Photographs, Assessing Records, Onsite Observations	Commercial

Tenants on the subject property include various commercial/office occupants similar to the current tenants. No potential environmental concerns were identified in association with the current or former use of the subject property.

3.1 Aerial Photograph Review

Partner obtained available aerial photographs of the subject property and surrounding area from Environmental Data Resources (EDR) on June 30, 2015. The following observations were noted to be visible on the subject property and adjacent properties during the aerial photograph review:

<i>Date:</i>	<i>1937, 1949, 1956, 1967</i>	<i>Scale:</i>	<i>1"=500'</i>
Subject Property:	Developed with a building characteristic of a residential dwelling		
North:	Developed with two buildings characteristic of residential dwellings across Forest Avenue		
Northeast:	Developed with a building characteristic of a residential dwelling across Forest Avenue and Elm Street		
South:	Developed with two buildings characteristic of residential dwellings across an alley		
East:	Developed with two buildings characteristic of residential dwellings across Elm Street		
West:	Developed with a building characteristic of a residential dwelling		

<i>Date:</i>	<i>1972, 1976, 1983, 1987, 1997, 1999</i>	<i>Scale:</i>	<i>1"=500'</i>
Subject Property:	Developed with a building similar to the current building		
North:	No significant changes visible		
Northeast:	Developed with a different building; similar to the current building		
South:	Developed with a different building; similar to the current building and parking area farther west		
East:	No significant changes visible		
West:	No significant changes visible		

<i>Date:</i>	<i>2005</i>	<i>Scale:</i>	<i>1"=500'</i>
Subject Property:	No significant changes visible		
North:	Undeveloped across Forest Avenue		
Northeast:	No significant changes visible		
South:	No significant changes visible		
East:	No significant changes visible		

Date: 2005 *Scale:* 1"=500'
West: No significant changes visible

Date: 2009, 2010, 2012 *Scale:* 1"=500'
Subject Property: No significant changes visible
North: Developed with a building similar to the current building across Forest Avenue
Northeast: No significant changes visible
South: No significant changes visible
East: No significant changes visible
West: No significant changes visible

Copies of select aerial photographs are included in Appendix B of this report.

3.2 Fire Insurance Maps

Partner reviewed the collection of Sanborn Fire insurance maps from EDR on June 30, 2015. The following observations were noted to be depicted on the subject property and adjacent properties during the fire insurance map review:

Date: 1915
Subject Property: Not depicted on map
North: Not depicted on map
Northeast: Not depicted on map
South: Not depicted on map
East: Not depicted on map
West: Not depicted on map

Date: 1921
Subject Property: Developed with a building identified as a dwelling (addressed as 408 Forest Avenue).
North: Developed with a building identified as a dwelling across Forest Avenue (addressed as 409 Forest Avenue).
Northeast: Undeveloped across Forest Avenue and Elm Street
South: Developed with two buildings identified as dwellings across an alley (addressed as 405 & 409 Chestnut Street)
East: Undeveloped across Elm Street
West: Undeveloped

Date: 1926
Subject Property: No significant changes depicted
North: Developed with two buildings identified as dwellings across Forest Avenue (addressed as 407 & 409 Forest Avenue)
Northeast: Developed with a building identified as a dwelling across Forest Avenue and Elm Street (addressed as 501 Forest Avenue)
South: No significant changes depicted

Date: 1926

East: Developed with two buildings identified as dwellings across Elm Street (addressed as 211 Elm Street)
West: No significant changes depicted

Date: 1931, 1949, 1960

Subject Property: No significant changes depicted except the address is now 780 Forest Avenue
North: No significant changes depicted except the addresses are now 759 & 783 Forest Avenue
Northeast: No significant changes depicted except the address is now 815 Forest Avenue
South: No significant changes depicted except the addresses are now 751 & 799 Chestnut Street
East: No significant changes depicted except the addresses are now 343 & 361 Elm Street
West: Developed with a building identified as a dwelling (addressed 748 Forest Avenue)

Copies of reviewed Sanborn Maps are included in Appendix B of this report.

3.3 City Directories

Partner reviewed historical city directories obtained from Baldwin Public Library in Birmingham for past names and businesses that were listed for the subject property and adjacent properties. City directories were not identified for the subject property and vicinity.

3.4 Historical Topographic Maps

Historical topographic maps were not researched as part of this assessment due to the location of the property in an urban area where buildings are not typically depicted.

4.0 REGULATORY RECORDS REVIEW

4.1 Regulatory Agencies

4.1.1 State Department

Regulatory Agency Data

Name of Agency:	Michigan Department of Environmental Quality (MDEQ)
Point of Contact:	UST/LUST database, Site Registry
Agency Address:	Lansing, Michigan
Agency Phone Number:	(800) 662-9278
Date of Contact:	July 9, 2015
Method of Communication:	Online
Summary of Communication:	No records regarding LUST releases, or the presence of USTs and AULs on the subject property were on file with the MDEQ.

4.1.2 Health Department

Regulatory Agency Data

Name of Agency:	Oakland County Health Department (OCHD)
Point of Contact:	Sanitarian
Agency Address:	27725 Greenfield Road, Southfield, Michigan
Agency Phone Number:	(248) 424-7144
Date of Contact:	July 9, 2015
Method of Communication:	Faxed Request
Summary of Communication:	As of the date of this report, Partner has not received a response from the OCHD for inclusion in this report.

A copy of the FOIA request is included in Appendix B of this report.

4.1.3 Fire Department

Regulatory Agency Data

Name of Agency:	Birmingham Fire Department (BFD)
Point of Contact:	Michael Metz
Agency Address:	572 South Adams Road, Birmingham, Michigan
Agency Phone Number:	(248) 530-1901
Date of Contact:	July 9, 2015
Method of Communication:	USPS
Summary of Communication:	As of the date of this report, Partner has not received a response from the BFD for inclusion in this report.

A copy of the FOIA request is included in Appendix B of this report.

4.1.4 Building Department

Regulatory Agency Data

Name of Agency:	Birmingham Building Department (BBD)
Point of Contact:	Bruce Johnson
Agency Address:	151 Martin Street, Birmingham, Michigan
Agency Phone Number:	(248) 530-1850
Date of Contact:	July 9, 2015
Method of Communication:	USPS
Summary of Communication:	As of the date of this report, Partner has not received a response from the BBD for inclusion in this report.

A copy of the FOIA request is included in Appendix B of this report.

4.1.5 Planning Department

Regulatory Agency Data

Name of Agency:	Birmingham Planning Department (BPD)
Point of Contact:	Jana Ecker
Agency Address:	151 Martin Street, Birmingham, Michigan
Agency Phone Number:	(248) 530-1850
Date of Contact:	July 9, 2015
Method of Communication:	USPS
Summary of Communication:	As of the date of this report, Partner has not received a response from the BPD for inclusion in this report.

A copy of the FOIA request is included in Appendix B of this report.

4.1.6 Oil & Gas Exploration

Regulatory Agency Data

Name of Agency:	Michigan Department of Environmental Quality (MDEQ)
Point of Contact:	GeoWebFace Map
Agency Address:	http://ww2.deq.state.mi.us/GeoWebFace/ an
Date of Contact:	July 9, 2015
Method of Communication:	Online
Summary of Communication:	According to the GeoWebFace Map, no oil or gas wells are located on or adjacent to the subject property.

A copy of pertinent documents is not included in Appendix B of this report.

4.1.7 Assessor's Office

Regulatory Agency Data

Name of Agency:	City of Birmingham Assessor (BAD)
Point of Contact:	Online Database
Agency Address:	151 Martin Street, Birmingham, Michigan
Agency Phone Number:	(248) 530-1850
Date of Contact:	July 9, 2015
Method of Communication:	Online

Regulatory Agency Data

Summary of Communication: According to records reviewed, the subject property is identified by Assessor Parcel Number (APN) 08-19-36-228-004 and is currently owned by 750 Forest LLC since 2005. The current building was constructed in 1971 and totals approximately 3,642 square feet on a 0.18 acre lot.

A copy of pertinent documents is included in Appendix B of this report.

4.2 Mapped Database Records Search

Information from standard federal, state, county, and city environmental record sources was provided by Environmental Data Resources, Inc. (EDR). Data from governmental agency lists are updated and integrated into one database, which is updated as these data are released. The information contained in this report was compiled from publicly available sources and the locations of the sites are plotted utilizing a geographic information system, which geocodes the site addresses. The accuracy of the geocoded locations is approximately +/- 300 feet.

Using the ASTM definition of migration, Partner considers the migration of hazardous substances or petroleum products in any form onto the subject property during the evaluation of each site listed on the radius report, which includes solid, liquid, and vapor.

4.2.1 Regulatory Database Summary

Radius Report Data

Database	Search Radius (mile)	Subject Property	Adjacent Properties	Sites of Concern
Federal NPL or Delisted NPL Site	1.00	N	N	N
Federal CERCLIS Site	0.50	N	N	N
Federal CERCLIS-NFRAP Site	0.50	N	N	N
Federal RCRA CORRACTS Facility	1.00	N	N	N
Federal RCRA TSD Facility	0.50	N	N	N
Federal RCRA Generators Site (LQG, SQG, CESQG)	0.25	N	N	N
Federal IC/EC Registries	0.50	N	N	N
Federal ERNS Site	Subject Property	N	N	N
State/Tribal Equivalent NPL	1.00	N	N	N
State/Tribal Equivalent CERCLIS	1.00	N	N	N
State/Tribal Landfill/Solid Waste Disposal Site	0.50	N	N	N
State/Tribal Leaking Storage Tank Site	0.50	N	N	N
State/Tribal Registered Storage Tank Sites (UST/AST)	0.25	N	N	N
State/Tribal Voluntary Cleanup Sites (VCP)	0.50	N	N	N
State/Tribal Spills	0.50	N	N	N
Federal Brownfield Sites	0.50	N	N	N
State Brownfield Sites	0.50	N	N	N

Radius Report Data

Database	Search Radius (mile)	Subject Property	Adjacent Properties	Sites of Concern
EDR MGP	Varies	N	N	N
EDR US Hist Auto Station	Varies	N	N	N
EDR US Hist Cleaners	Varies	N	N	N

4.2.2 Subject Property Listings

The subject property is not identified in the regulatory database report.

4.2.3 Adjacent Property Listings

The adjacent properties are not identified in the regulatory database report.

4.2.4 Sites of Concern Listings

No sites of concern are identified in the regulatory database report.

Based on the findings, vapor migration is not expected to represent a significant environmental concern at this time.

4.2.5 Orphan Listings

No orphan listings are identified in the regulatory database report for the subject property or adjoining properties.

A copy of the regulatory database report is included in Appendix C of this report.

5.0 USER PROVIDED INFORMATION AND INTERVIEWS

In order to qualify for one of the *Landowner Liability Protections (LLPs)* offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the *Brownfields Amendments*), the *User* must conduct the following inquiries required by 40 CFR 312.25, 312.28, 312.29, 312.30, and 312.31. The *User* should provide the following information to the *environmental professional*. Failure to provide this information could result in a determination that *all appropriate inquiries* is not complete. The *User* is asked to provide information or knowledge of the following:

- Review Title and Judicial Records for Environmental Liens and AULs
- Specialized Knowledge or Experience of the User
- Actual Knowledge of the User
- Reason for Significantly Lower Purchase Price
- Commonly Known or *Reasonably Ascertainable* information
- Degree of Obviousness
- Reason for Preparation of this Phase I ESA

Fulfillment of these user responsibilities is key to qualification for the identified defenses to CERCLA liability. Partner requested our Client to provide information to satisfy User Responsibilities as identified in Section 6 of the ASTM guidance.

Pursuant to ASTM E1527-13, Partner requested the following site information from Capital Impact Partners (User of this report).

User Responsibilities

Item	Provided By User	Not Provided By User	Discussed Below	Does Not Apply
Environmental Pre-Survey Questionnaire			X	
Title Records, Environmental Liens, and AULs			X	
Specialized Knowledge			X	
Actual Knowledge			X	
Valuation Reduction for Environmental Issues			X	
Identification of Key Site Manager	Section 5.1.3			
Reason for Performing Phase I ESA	Section 1.1			
Prior Environmental Reports		X		
Other		X		

5.1 Interviews

5.1.1 Interview with Owner

The owner of the subject property since 2005, identified as 750 Forest LLC, was not available to be interviewed at the time of the assessment.

5.1.2 Interview with Report User

Please refer to Section 5.2 below for information requested from the Report User. The information requested was not received prior to the issuance of this report. Because the Report User (Client) is a lender, it is understood that the Report User would not have knowledge of the property that would significantly impact our ability to satisfy the objectives of this assessment. The lack of this information is not considered to represent a significant data gap.

5.1.3 Interview with Key Site Manager

Ms. Lori Squatrito, key site manager, indicated that she had no information pertaining to any pending, threatened, or past litigation relevant to hazardous substances or petroleum products in, on, or from the subject property; any pending, threatened, or past administrative proceedings relevant to hazardous substances or petroleum products in, on, or from the subject property; or any notices from a governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products.

According to Ms. Squatrito, the subject property was developed in the 1970s as an office building. Ms. Squatrito had no knowledge of the use of the subject property prior to that. Ms. Squatrito further stated that there are no USTs, ASTs, clarifiers, oil/water separators, groundwater monitoring wells, or hazardous substance use/storage/generation on the subject property to the best of her knowledge. To her knowledge the current building has been occupied with typical office tenants.

5.1.4 Interviews with Past Owners, Operators and Occupants

Interviews with past owners, operators and occupants were not reasonably ascertainable and thus constitute a data gap.

5.1.5 Interview with Others

As the subject property is not an abandoned property as defined in ASTM 1527-13, interview with others were not performed.

5.2 User Provided Information

5.2.1 Title Records, Environmental Liens, and AULs

Partner was not provided with title records or environmental lien and AUL information for review as part of this assessment.

5.2.2 Specialized Knowledge

No specialized knowledge of environmental conditions associated with the subject property was provided by the User at the time of the assessment.

5.2.3 Actual Knowledge of the User

No actual knowledge of any environmental lien or AULs encumbering the subject property or in connection with the subject property was provided by the User at the time of the assessment.

5.2.4 Valuation Reduction for Environmental Issues

No knowledge of valuation reductions associated with the subject property was provided by the User at the time of the assessment.

5.2.5 Commonly Known or Reasonably Ascertainable Information

The User did not provide information that is commonly known or *reasonably ascertainable* within the local community about the subject property at the time of the assessment.

5.2.6 Previous Reports and Other Provided Documentation

No previous reports or other pertinent documentation was provided to Partner for review during the course of this assessment.

6.0 SITE RECONNAISSANCE

The weather at the time of the site visit was sunny and clear. Refer to Section 1.5 for limitations encountered during the field reconnaissance and Sections 2.1 and 2.2 for subject property operations. The table below provides the site assessment details:

Site Assessment Data

Site Assessment Performed By: Jan Grulke
Site Assessment Conducted On: July 8, 2015

The table below provides the subject property personnel interviewed during the field reconnaissance:

Site Visit Personnel for 750 Forest Avenue (Subject Property)

Name	Title/Role	Contact Number	Site Walk* Yes/No
Lori Squatrito	Key Site Manager	(313) 727-4059	Yes
Cari Easterday	Property Manager	(313) 727-4059	No

* Accompanied Partner during the field reconnaissance activities and provided information pertaining to the current operations and maintenance of the subject property

No potential environmental concerns were identified during the onsite reconnaissance.

6.1 General Site Characteristics

6.1.1 Solid Waste Disposal

Solid waste generated at the subject property is disposed of in curbside containers and removed by the City of Birmingham. According to property personnel, only household trash is collected in the on-site solid waste dumpsters. No evidence of illegal dumping of solid waste was observed during the Partner site reconnaissance.

6.1.2 Sewage Discharge and Disposal

Sanitary discharges on the subject property are directed into the municipal sanitary sewer system. The City of Birmingham services the subject property vicinity. No wastewater treatment facilities or septic systems are observed or reported on the subject property.

6.1.3 Surface Water Drainage

Storm water is removed from the subject property primarily by sheet flow action across the paved surfaces towards storm water drains located throughout in the public right of way. The subject property is connected to a municipal owned and maintained sewer system.

The subject property does not appear to be a designated wetland area, based on information obtained from the United States Fish & Wildlife Service; however, a comprehensive wetlands survey would be required in order to formally determine actual wetlands on the subject property. No surface impoundments, wetlands, natural catch basins, settling ponds, or lagoons are located on the subject property. No drywells were identified on the subject property.

6.1.4 Source of Heating and Cooling

Heating and cooling systems as well as domestic hot water equipment are fueled by electricity and natural gas provided by Detroit Edison. The mechanical system is comprised of a split system with a central unit and interior air-handler and an exterior condenser. Hot water is provided by individual electric hot water heaters.

6.1.5 Wells and Cisterns

No aboveground evidence of wells or cisterns was observed during the site reconnaissance.

6.1.6 Wastewater

Domestic wastewater generated at the subject property is disposed by means of the sanitary sewer system.

6.1.7 Septic Systems

No septic systems were observed or reported on the subject property.

6.1.8 Additional Site Observations

No additional general site characteristics were observed during the site reconnaissance.

6.2 Potential Environmental Hazards

6.2.1 Hazardous Substances and Petroleum Products Used or Stored at the Site

No hazardous substances or petroleum products were observed on the subject property during the site reconnaissance.

6.2.2 Aboveground & Underground Hazardous Substance or Petroleum Product Storage Tanks (ASTs/USTs)

No evidence of current or former ASTs or USTs was observed during the site reconnaissance.

6.2.3 Evidence of Releases

No spills, stains or other indications that a surficial release has occurred at the subject property were observed.

6.2.4 Polychlorinated Biphenyls (PCBs)

Older transformers and other electrical equipment could contain PCBs at a level that subjects them to regulation by the U.S. EPA. PCBs in electrical equipment are controlled by United States Environmental Protection Agency regulations 40 CFR, Part 761. Under the regulations, there are three categories into which electrical equipment can be classified: 1) Less than 50 parts per million (ppm) of PCBs – “Non-PCB;” 2) 50 ppm-500 ppm – “PCB-Contaminated;” and, 3) Greater than 500 ppm – “PCB-Containing.” The manufacture, process, or distribution in commerce or use of any PCB in any manner other than in a totally enclosed manner was prohibited after January 1, 1977.

The on-site reconnaissance addressed indoor and outdoor transformers that may contain PCBs. One pad-mounted transformer was observed on the subject property. The transformer is not labeled indicating PCB content. No staining or leakage was observed in the vicinity of the transformer. In Partner's experience Detroit Edison maintains ownership and operational responsibility for the transformers and that 90% of their units do not contain PCBs. Based on the good condition of the equipment, the transformer is not expected to represent a significant environmental concern.

Additionally, no other potential PCB-containing equipment (interior transformers, oil-filled switches, hoists, lifts, dock levelers, hydraulic elevators, balers, etc.) was observed on the subject property during Partner's reconnaissance.

6.2.5 Strong, Pungent or Noxious Odors

No strong, pungent or noxious odors were evident during the site reconnaissance.

6.2.6 Pools of Liquid

No pools of liquid were observed on the subject property during the site reconnaissance.

6.2.7 Drains, Sumps and Clarifiers

No drains, sumps, or clarifiers, other than those associated with storm water removal and one floor drain located in the furnace room, were observed on the subject property during the site reconnaissance. The drain in the furnace room collects condensate from the air conditioning units and does not represent a concern.

6.2.8 Pits, Ponds and Lagoons

No pits, ponds or lagoons were observed on the subject property.

6.2.9 Stressed Vegetation

No stressed vegetation was observed on the subject property.

6.2.10 Additional Potential Environmental Hazards

No additional environmental hazards, including landfill activities or radiological hazards, were observed.

6.3 Non-ASTM Services

6.3.1 Asbestos-Containing Materials (ACMs)

Asbestos is the name given to a number of naturally occurring, fibrous silicate minerals mined for their useful properties such as thermal insulation, chemical and thermal stability, and high tensile strength. The Occupational Safety and Health Administration (OSHA) regulation 29 CFR 1926.1101 requires certain construction materials to be *presumed* to contain asbestos, for purposes of this regulation. All thermal system insulation (TSI), surfacing material, and asphalt/vinyl flooring that are present in a building constructed prior to 1981 and have not been appropriately tested are "presumed asbestos-containing material" (PACM).

The subject property building was constructed in 1971. Partner has conducted a limited, visual evaluation of accessible areas for the presence of suspect ACMs at the subject property. The objective of this visual survey was to note the presence and condition of suspect ACM observed. Please refer to the table below for identified suspect ACMs:

Suspect ACMs			
Suspect ACM	Location	Friable Yes/No	Physical Condition
Drywall Systems	Throughout Building Interior	No	Good
Floor Tiles	Storage areas	No	Good
Floor Tile Mastic	Storage areas	No	Good
Suspended Ceiling Tile	Throughout Building Interior	Yes	Good

Suspect materials appeared to be in good condition.

Partner was not provided building plans or specifications for review, which may have been useful in determining areas likely to have used ACM.

According to the US EPA, ACM and PACM that is intact and in good condition can, in general, be managed safely in-place under an Operations and Maintenance (O&M) Program until removal is dictated by renovation, demolition, or deteriorating material condition. Prior to any disturbance of the construction materials within this facility, a comprehensive ACM survey is recommended.

6.3.2 Lead-Based Paint (LBP)

Lead is a highly toxic metal that affects virtually every system of the body. LBP is defined as any paint, varnish, stain, or other applied coating that has 1 mg/cm² (or 5,000 ug/g or 0.5% by weight) or more of lead. Congress passed the Residential Lead-Based Paint Hazard Reduction Act of 1992, also known as "Title X", to protect families from exposure to lead from paint, dust, and soil. Under Section 1017 of Title X, intact LBP on most walls and ceilings is not considered a "hazard," although the condition of the paint should be monitored and maintained to ensure that it does not become deteriorated. Further, Section 1018 of this law directed the Housing and Urban Development (HUD) and the US EPA to require the disclosure of known information on LBP and LBP hazards before the sale or lease of most housing built before 1978.

Based on the age of the subject property building (pre-1978), there is a potential that LBP is present. Interior and exterior painted surfaces were observed in good condition and therefore not expected to represent a "hazard," although the condition of the paint should be monitored and maintained to ensure that it does not become deteriorated.

6.3.3 Radon

Radon is a colorless, odorless, naturally occurring, radioactive, inert, gaseous element formed by radioactive decay of radium (Ra) atoms. The US EPA has prepared a map to assist National, State, and local organizations to target their resources and to implement radon-resistant building codes. The map divides the country into three Radon Zones, according to the table below:

EPA Radon Zones

EPA Zones	Average Predicted Radon Levels	Potential
Zone 1	Exceed 4.0 pCi/L	Highest
Zone 2	Between 2.0 and 4.0 pCi/L	Moderate
Zone 3	Less than 2.0 pCi/L	Low

It is important to note that the EPA has found homes with elevated levels of radon in all three zones, and the US EPA recommends site-specific testing in order to determine radon levels at a specific location. However, the map does give a valuable indication of the propensity of radon gas accumulation in structures.

Radon sampling was not conducted as part of this assessment. Review of the US EPA Map of Radon Zones places the subject property in Zone 2. Based upon the radon zone classification, radon is not considered to be a significant environmental concern.

6.3.4 Lead in Drinking Water

According to available information, a public water system operated by the Birmingham Department of Public Works serves the subject property vicinity. According to the annual water quality report, shallow groundwater beneath the subject property is not utilized for domestic purposes. The sources of public water for the City of Birmingham are surface water from the Detroit River. According to the City of Birmingham and the 2013 Annual Water Quality Report, water supplied to the subject property is in compliance with all State and Federal regulations pertaining to drinking water standards, including lead and copper. Water sampling was not conducted to verify water quality.

6.3.5 Mold

Molds are microscopic organisms found virtually everywhere, indoors and outdoors. Mold will grow and multiply under the right conditions, needing only sufficient moisture (e.g. in the form of very high humidity, condensation, or water from a leaking pipe, etc.) and organic material (e.g., ceiling tile, drywall, paper, or natural fiber carpet padding).

Partner observed accessible, interior areas for the subject property building for significant evidence of mold growth with the exceptions detailed in Section 1.5 of this report; however, this ESA should not be used as a mold survey or inspection. Additionally, this limited assessment was not designed to assess all areas of potential mold growth that may be affected by mold growth on the subject property. Rather, it is intended to give the client an indication as to whether or not conspicuous (based on observed areas) mold growth is present at the subject property. This evaluation did not include a review of pipe chases, mechanical systems, or areas behind enclosed walls and ceilings.

No obvious indications of water damage or mold growth were observed during Partner's visual assessment.

6.4 Adjacent Property Reconnaissance

The adjacent property reconnaissance consisted of observing the adjacent properties from the subject property premises. No items of environmental concern were identified on the adjacent properties during the site assessment, including hazardous substances, petroleum products, ASTs, USTs, evidence of releases, PCBs, strong or noxious odors, pools of liquids, sumps or clarifiers, pits or lagoons, stressed vegetation, or any other potential environmental hazards.

7.0 FINDINGS AND CONCLUSIONS

Findings

A *recognized environmental condition (REC)* refers to the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property; due to release to the environment; under conditions indicative of a release to the environment; or under conditions that pose a material threat of a future release to the environment. The following was identified during the course of this assessment:

- Partner did not identify any recognized environmental conditions during the course of this assessment.

A *controlled recognized environmental condition (CREC)* refers to a REC resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority, with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls. The following was identified during the course of this assessment:

- Partner did not identify any controlled recognized environmental conditions during the course of this assessment.

A *historical recognized environmental condition (HREC)* refers to a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls. The following was identified during the course of this assessment:

- Partner did not identify any historical recognized environmental conditions during the course of this assessment.

An *environmental issue* refers to environmental concerns identified by Partner, which do not qualify as RECs; however, warrant further discussion. The following was identified during the course of this assessment:

- Due to the age of the subject property building, there is a potential that asbestos-containing material (ACM) and/or lead-based paint (LBP) are present. Overall, all suspect ACMs and painted surfaces were observed in good condition and do not pose a health and safety concern to the occupants of the subject property at this time. Should suspect materials be replaced, the identified suspect ACMs would need to be sampled to confirm the presence or absence of asbestos prior to any renovation or demolition activities to prevent potential exposure to workers and/or building occupants.

Conclusions, Opinions and Recommendations

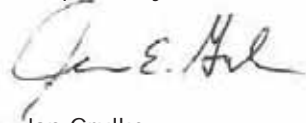
- This assessment has revealed no evidence of recognized environmental conditions in connection with the subject property; however, environmental issues were identified. Based on the conclusions of this assessment, Partner recommends no further investigation of the subject property at this time.

8.0 SIGNATURES OF ENVIRONMENTAL PROFESSIONALS

Partner has performed a Phase I Environmental Site Assessment of the property located at 750 Forest Avenue in the City of Birmingham, Oakland County, Michigan in general conformance with the scope and limitations of the protocol and the limitations stated earlier in this report. Exceptions to or deletions from this protocol are discussed earlier in this report.

By signing below, Partner declares that, to the best of our professional knowledge and belief, we meet the definition of *Environmental Professional* as defined in §312.10 of 40 CFR §312. Partner has the specific qualifications based on education, training, and experience to assess a *property* of the nature, history, and setting of the subject *property*. Partner has developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

Prepared By:



Jan Grulke
Environmental Professional

Reviewed By:



Steven Weatherston
Senior Author

9.0 REFERENCES

Reference Documents

American Society for Testing and Materials, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process, ASTM Designation: E1527-13.

Environmental Data Resources (EDR), Radius Report, June 2015

Federal Emergency Management Agency, Federal Insurance Administration, National Flood Insurance Program, Flood Insurance Map, accessed via internet, July 2015

United States Department of Agriculture, Natural Resources Conservation Service, accessed via internet, July 2015

United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey, accessed via the internet, July 2015

United States Environmental Protection Agency, EPA Map of Radon Zones (Document EPA-402-R-93-071), accessed via the internet, July 2015

United States Geological Survey, accessed via the Internet, July 2015

United States Geological Survey Topographic Map 1981, 7.5 minute series, accessed via internet, July 2015

FIGURES

- 1 SITE LOCATION MAP**
- 2 SITE PLAN**
- 3 TOPOGRAPHIC MAP**

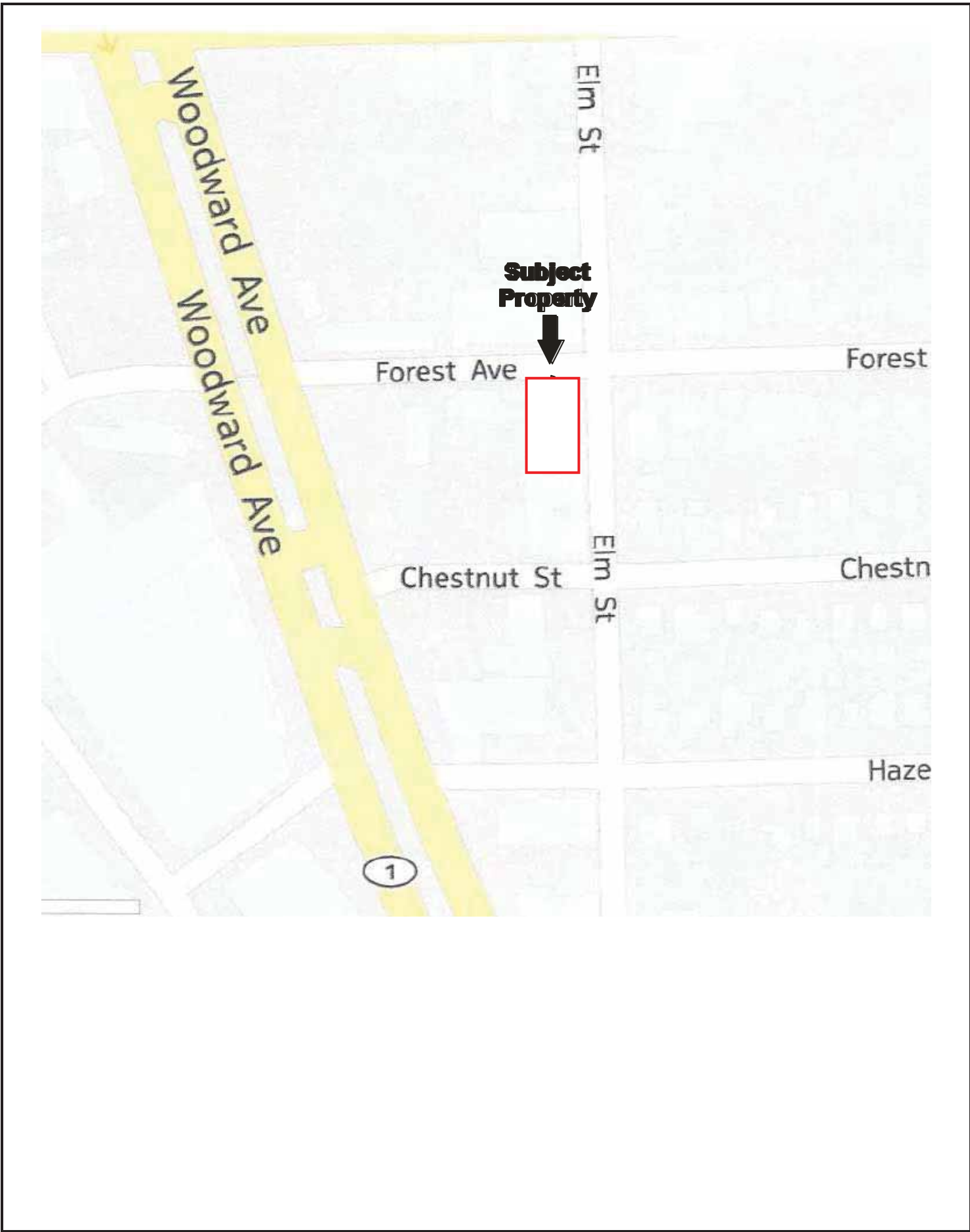
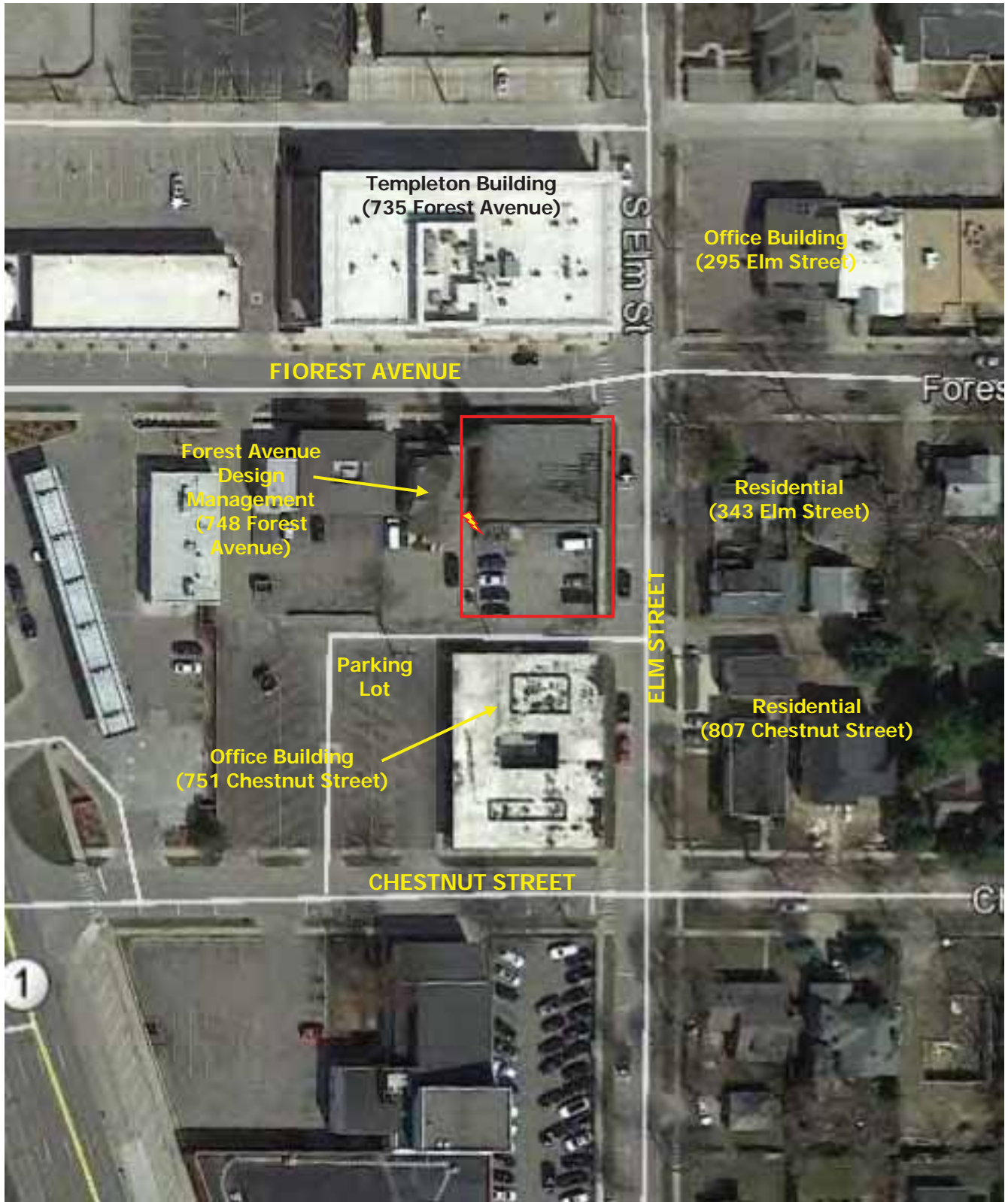


FIGURE 1: SITE LOCATION MAP
Project No. 15-141524.1

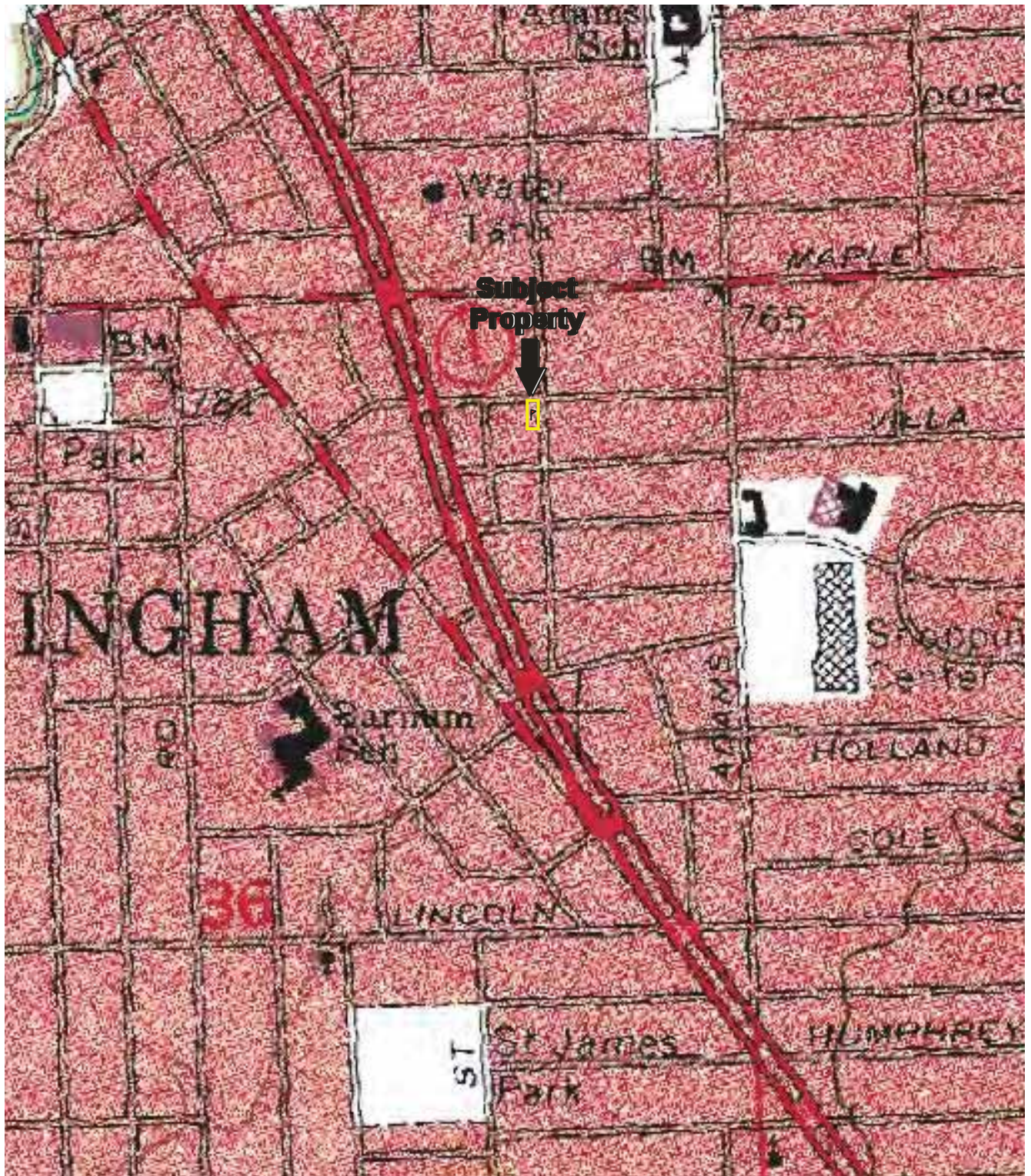
Drawing Not To Scale





KEY:
 Subject Site 
 Pad-Mounted Transformer 

FIGURE 2: SITE PLAN
 Project No. 15-141524.1



USGS 7.5 Minute *Birmingham, Michigan* Quadrangle

Created: 1981

FIGURE 3: TOPOGRAPHIC MAP
Project No. 15-141524.1

PARTNER

APPENDIX A: SITE PHOTOGRAPHS



1. View of the subject property from the northeast facing southeast



2. View of the north elevation of the building



3. View of the east elevation of the building



4. View of the south elevation of the building



5. View of the interior of The Student Connection tenant suite located on the first floor of the building (770 Forest Avenue)



6. View of the kitchen in The Student Connection tenant suite located on the first floor of the building (770 Forest Avenue)



7. View of a restroom in The Student Connection tenant suite located on the first floor of the building (770 Forest Avenue)



8. View of the furnace room on the first floor of the building



9. View of one of the stairwells to the basement tenant suite (Forest Fitness at 750 Forest Avenue)



10. View of the Forest Fitness tenant suite located in the basement of the building



11. View of a restroom located in the Forest Fitness tenant suite in the basement of the building



12. View of the furnace room in the basement of the building



13. View of a sump located in the furnace room in the basement of the building



14. View of a floor drain located in the furnace room in the basement of the building



15. View of a utility room located in the basement of the building



16. View of a kitchen area located in the Forest Fitness tenant suite in the basement of the building



17. View of another stairwell in the Forest Fitness tenant suite in the basement of the building



18. View of a pad-mounted transformer located near the southwest corner of the building



19. View of the north adjoining property across Forest Avenue (The Templeton Building at 735 Forest Avenue)



20. View of the northeast adjoining property across Forest Avenue and Elm Streets (295 Elm Street)



21. View of the east adjoining residential property located across Elm Street (343 Elm Street)



22. View of the southeast adjoining residential property located across Elm Street (807 Chestnut Street)



23. View of the south adjoining office building located across an alley (751 Chestnut Street)



24. View of the west adjoining property (Forest Avenue Design Management at 748 Forest Avenue)

APPENDIX B: HISTORICAL/REGULATORY DOCUMENTATION



Subject
Property



Date of Photograph: 1937



Date of Photograph: 1949



Date of Photograph: 1956



Date of Photograph: 1967



Date of Photograph: 1972



Date of Photograph: 1976



Date of Photograph: 1983



Date of Photograph: 1987



Date of Photograph: 1997



Date of Photograph: 1999



Date of Photograph: 2005



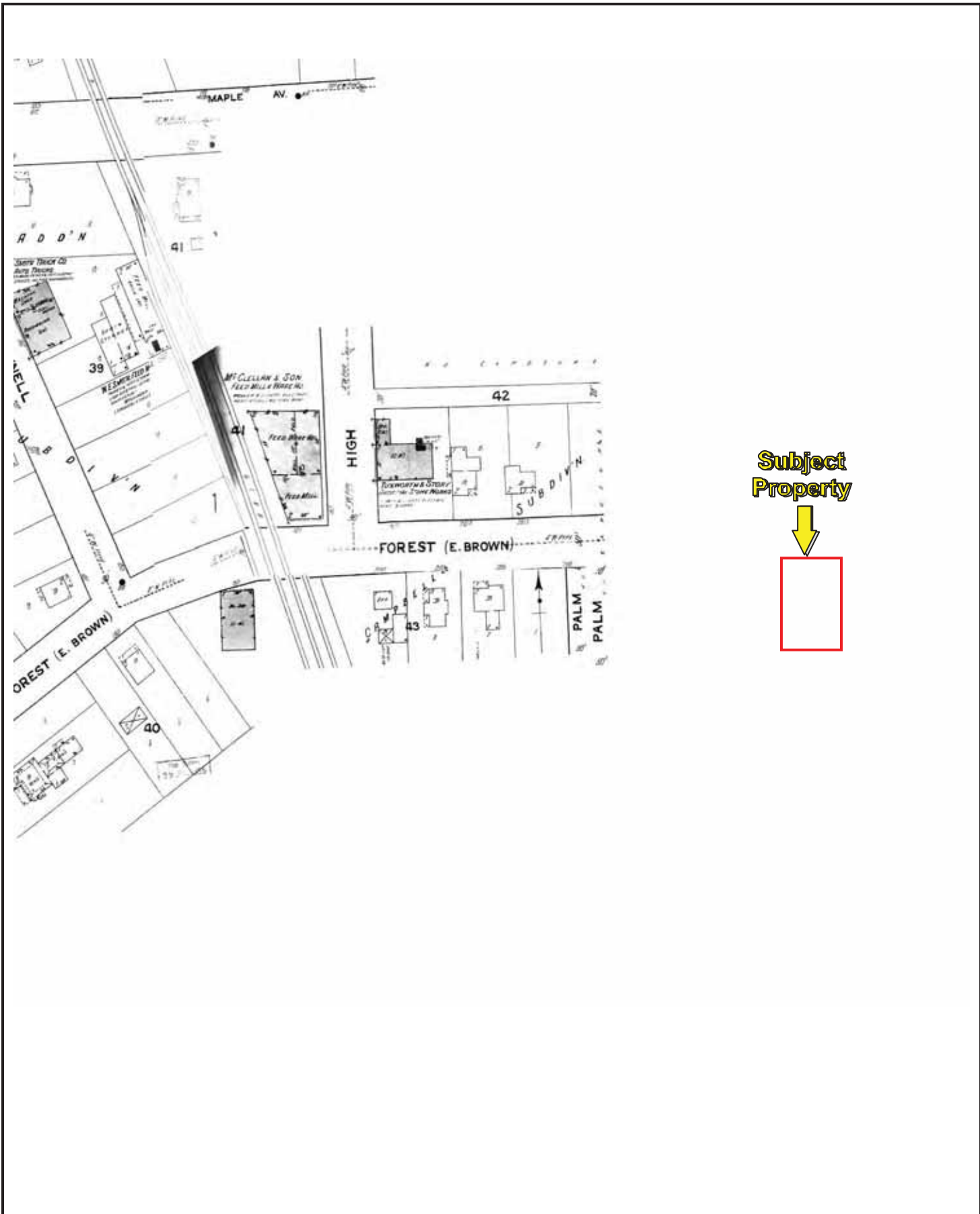
Date of Photograph: 2009



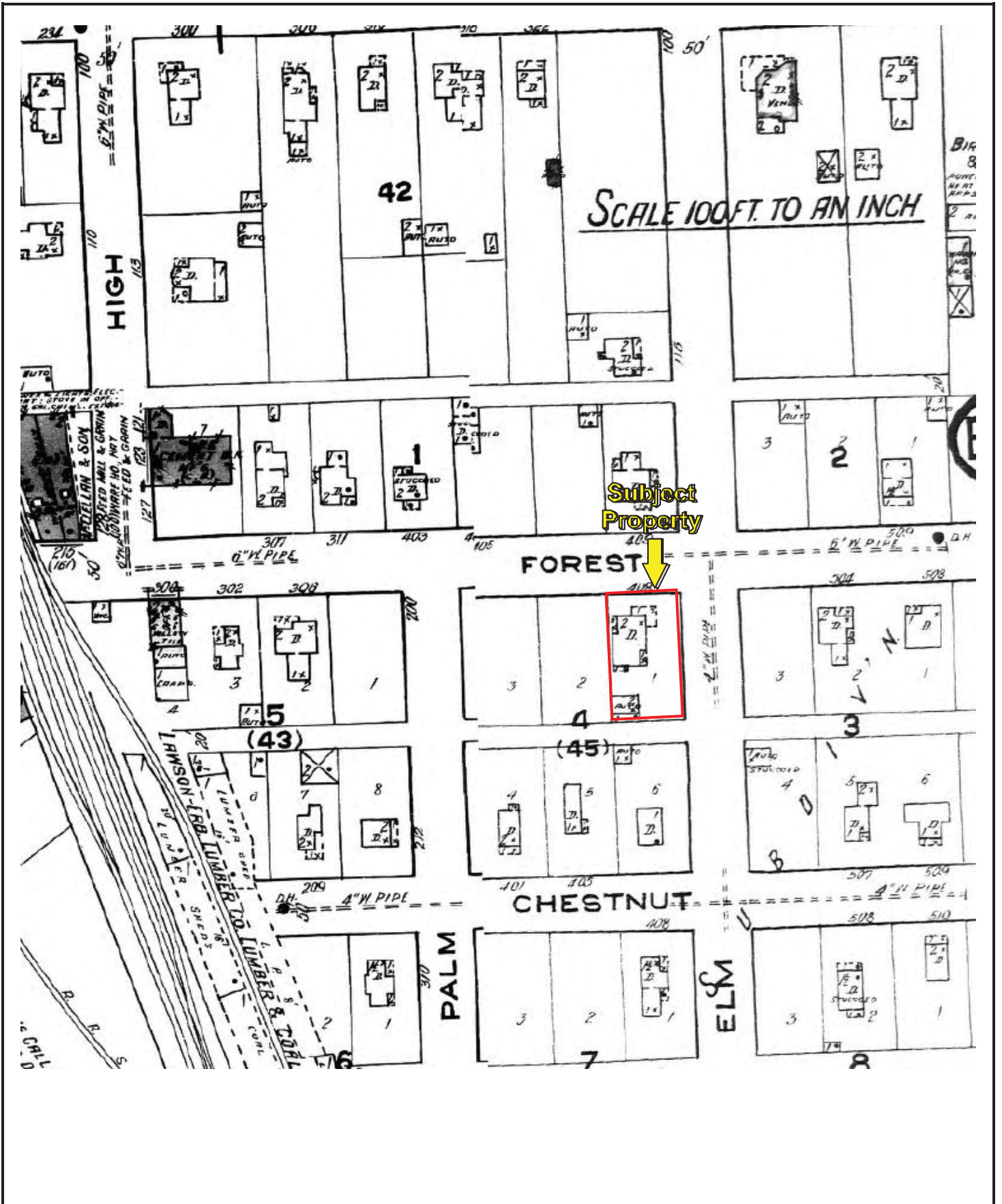
Date of Photograph: 2010



Date of Photograph: 2012



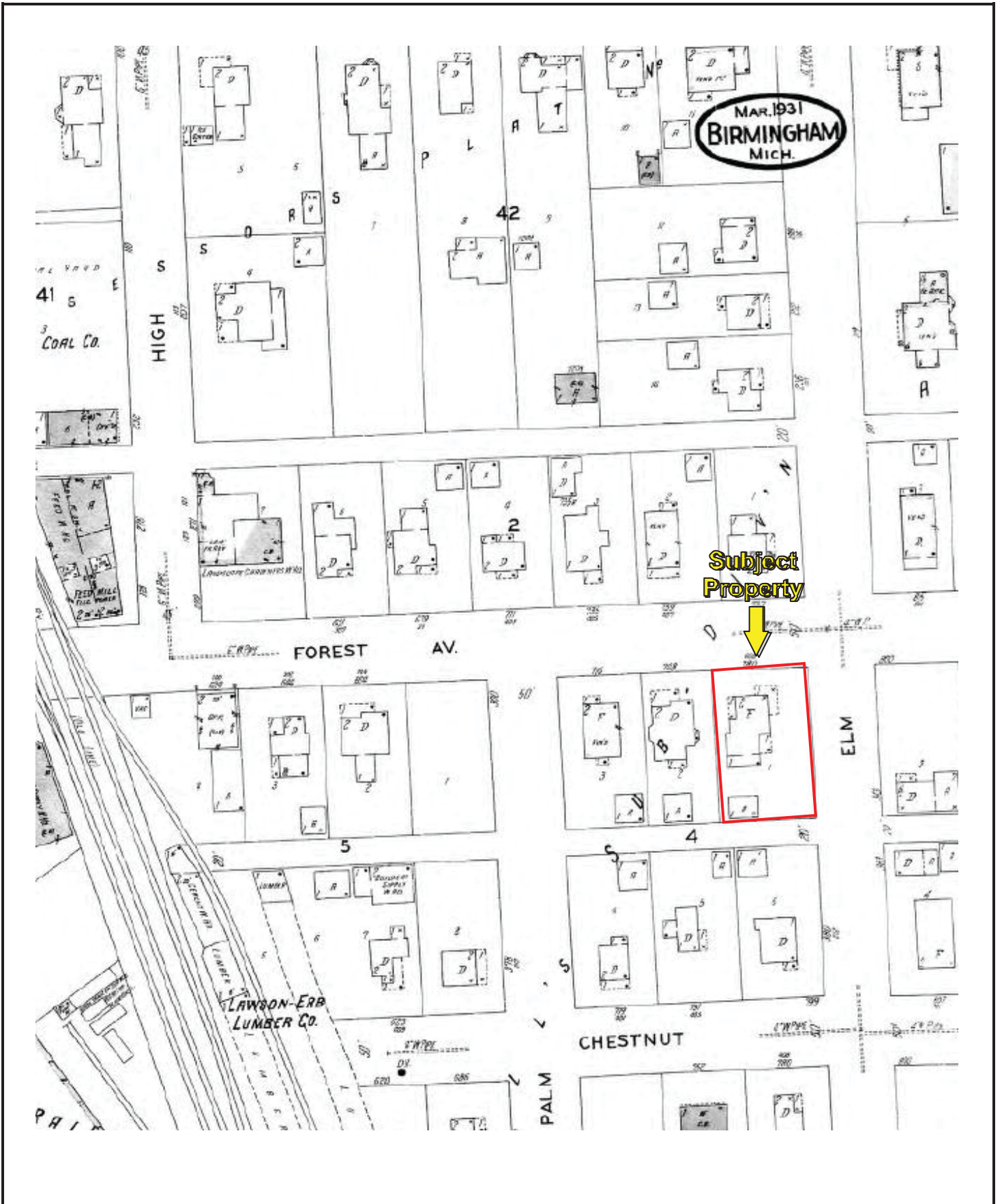
Date of Map: 1915



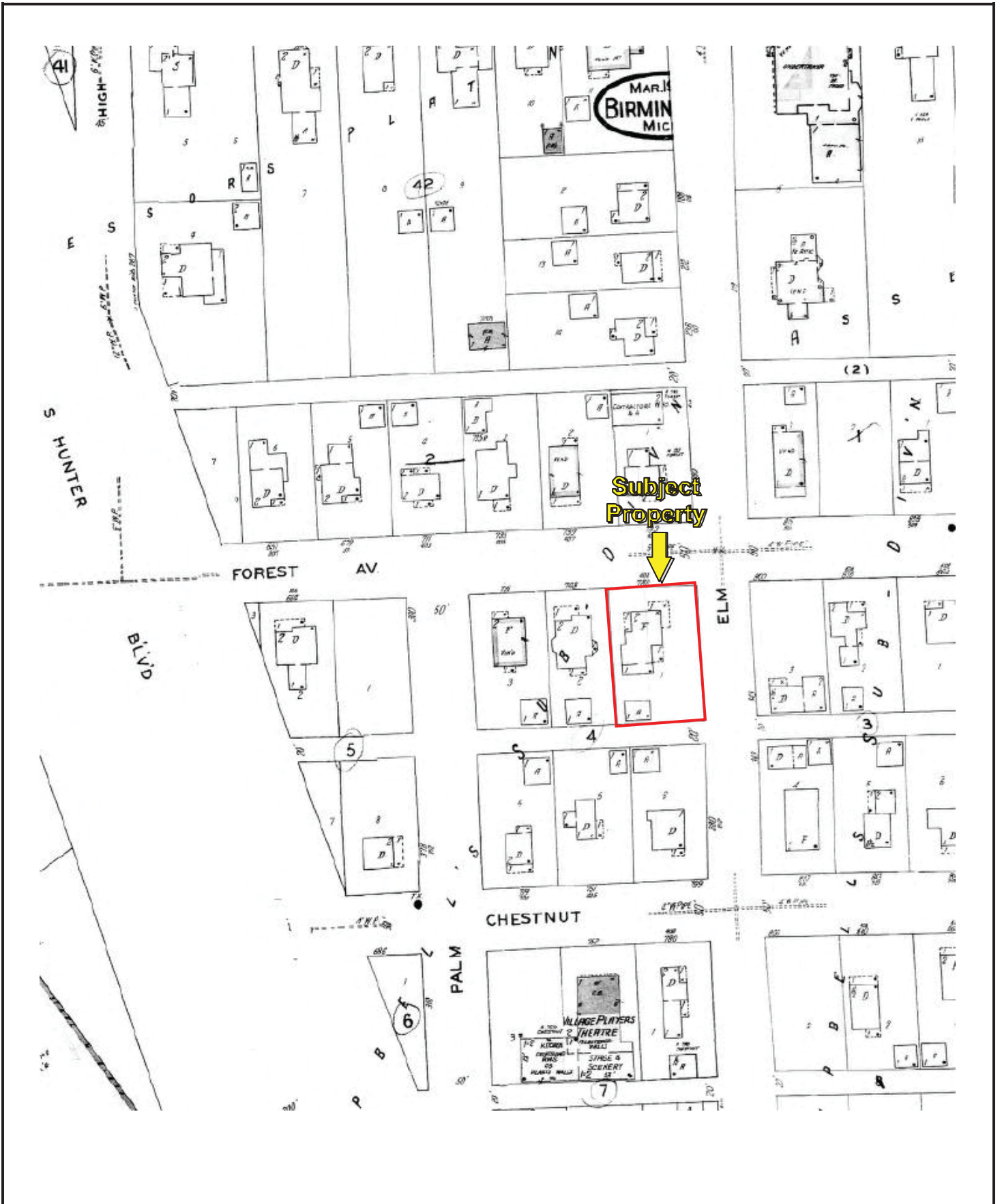
Date of Map: 1921



Date of Map: 1926



Date of Map: 1931



Date of Map: 1949



Date of Map: 1960

APPENDIX C: REGULATORY DATABASE REPORT

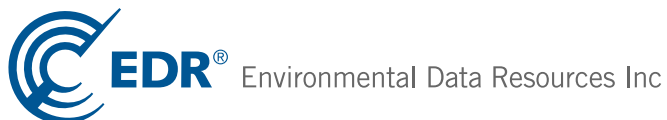


750 Forest

750 Forest Ave
Birmingham, MI 48009

Inquiry Number: 4341397.2s
June 30, 2015

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

750 FOREST AVE
BIRMINGHAM, MI 48009

COORDINATES

Latitude (North): 42.5454000 - 42° 32' 43.44"
Longitude (West): 83.2100000 - 83° 12' 36.00"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 318535.3
UTM Y (Meters): 4712487.0
Elevation: 769 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 42083-E2 BIRMINGHAM, MI
Most Recent Revision: 1981

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20120629, 20120702
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
 750 FOREST AVE
 BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1		34750 WOODWARD AVE	EDR US Hist Auto Stat	Lower	151, 0.029, SW
A2	SPEEDWAY LLC	34750 WOODWARD AVE	RCRA-CESQG, FINDS, INVENTORY, LUST, UST	Lower	151, 0.029, SW
B3	JAX KAR WASH	34745 WOODWARD AVENU	INVENTORY	Higher	246, 0.047, West
B4	JAX KAR WASH #048	34745 WOODWARD	INVENTORY, LUST, UST, BEA, WDS	Higher	246, 0.047, West
5	FRED LAVERY CO	499 S HUNTER BLVD	UST	Lower	323, 0.061, South
6	WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	INVENTORY	Higher	374, 0.071, WNW
C7	HOLIDAY INN	34952 WOODWARD AVE	RCRA-CESQG	Higher	379, 0.072, NW
C8	WEISS SAMONA	34901 WOODWARD AVENU	US BROWNFIELDS, FINDS	Higher	393, 0.074, NW
C9	WOODWARD BROWN ASSOC	34901 WOODWARD	INVENTORY	Higher	393, 0.074, NW
C10	WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	BEA	Higher	405, 0.077, NW
D11	J C & C ENTERPRISES	700 E MAPLE RD	RCRA NonGen / NLR	Higher	520, 0.098, North
D12		700 E MAPLE RD	EDR US Hist Auto Stat	Higher	520, 0.098, North
13	JERRY BURNS CLEANERS	615 E MAPLE RD	RCRA NonGen / NLR, FINDS	Higher	520, 0.098, North
D14	KROGER CO OF MICHIGA	685 E MAPLE RD	RCRA-CESQG	Higher	524, 0.099, North
15	FRED LAVERY CO	34602 WOODWARD AVE	RCRA-CESQG, FINDS	Lower	553, 0.105, South
E16	BIRMINGHAM SERVICES	34977 WOODWARD AVENU	SPILLS, AUL, BEA, WDS	Higher	570, 0.108, NW
E17	CATALYST DEVELOPMENT	34977 WOODWARD AVE	RCRA-CESQG, FINDS	Higher	570, 0.108, NW
E18	SHELL - HUNTER	34977 WOODWARD AVE	INVENTORY, LUST, UST	Higher	570, 0.108, NW
E19		34977 WOODWARD AVE	EDR US Hist Auto Stat	Higher	570, 0.108, NW
F20	HAMILTON FUNERAL HOM	820 EAST MAPLE ROAD	INVENTORY	Higher	631, 0.120, NNE
F21	HAMILTON FUNERAL HOM	820 EAST MAPLE ROAD	BEA	Higher	631, 0.120, NNE
E22	CATALYST DEVELOPMENT	34977 WOODWARD AVENU	INVENTORY	Higher	643, 0.122, NW
G23		401 S OLD WOODWARD A	EDR US Hist Auto Stat	Lower	655, 0.124, SW
G24	GREEN'S ART SUPPLY	400 SOUTH OLD WOODWA	INVENTORY	Lower	665, 0.126, SW
G25	GREEN'S ART SUPPLY	400 SOUTH OLD WOODWA	US BROWNFIELDS	Lower	665, 0.126, SW
H26	FRANKLIN SAVINGS BAN	479 S OLD WOODWARD A	UST	Lower	723, 0.137, SSW
H27	WOODWARD DETROIT CVS	444 S OLD WOODWARD A	RCRA-LQG	Lower	728, 0.138, SSW
I28	WM BEAUMONT HOSPITAL	35046 WOODWARD AVE	RCRA-CESQG, FINDS	Higher	738, 0.140, NNW
I29	SUNOCO #0008-4178	35001 WOODWARD AVE	LUST, UST, BEA, WDS	Higher	739, 0.140, NW
I30	SUNOCO GASOLINE STAT	35001 WOODWARD AVENU	INVENTORY	Higher	739, 0.140, NW
I31		35001 WOODWARD AVE	EDR US Hist Auto Stat	Higher	739, 0.140, NW
I32	SUNOCO SERVICE STATI	35001 WOODWARD AVE	RCRA NonGen / NLR, FINDS	Higher	739, 0.140, NW
33		955 FOREST AVE	EDR US Hist Cleaners	Lower	741, 0.140, East
H34		458 S OLD WOODWARD A	EDR US Hist Cleaners	Lower	762, 0.144, SSW
35	ESSCO OF BIRMINGHAM	255 S OLD WOODWARD A	RCRA-CESQG	Higher	767, 0.145, West
H36	ESTATE MOTORS LTD	464 S OLD WOODWARD A	LUST, WDS	Lower	772, 0.146, SSW
H37	ESTATE MOTORS LTD	464 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS	Lower	772, 0.146, SSW
38		555 S OLD WOODWARD A	EDR US Hist Auto Stat	Lower	865, 0.164, SSW
39	BURTON KATZMAN	336 E MAPLE RD	RCRA NonGen / NLR	Higher	868, 0.164, WNW

MAPPED SITES SUMMARY

Target Property Address:
 750 FOREST AVE
 BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
J40	GOLLING MOTORS, INC.	34500 WOODWARD AVENU	INVENTORY, BEA	Lower	869, 0.165, SSE
J41	GOLLING MOTORS, INC.	34500 WOODWARD AVENU	INVENTORY	Lower	869, 0.165, SSE
42	UPTOWN ENTERTAINMENT	211 S OLD WOODWARD A	RCRA NonGen / NLR	Higher	879, 0.166, West
K43	PARKING LOT (DIETZ C	985 E MAPLE RD	INVENTORY, LUST, BEA	Lower	940, 0.178, NE
K44	OSOS TONTOS LLC	985 EAST MAPLE	BEA	Lower	966, 0.183, NE
K45	ELMWOOD PROPERTIES I	920-970 EAST MAPLE R	BEA	Lower	976, 0.185, NE
K46	BUDGET RENT-A-CAR	1000 E MAPLE	INVENTORY, LUST, UST, WDS	Lower	987, 0.187, ENE
L47		606 S OLD WOODWARD A	EDR US Hist Cleaners	Lower	1008, 0.191, South
L48		608 S OLD WOODWARD A	EDR US Hist Cleaners	Lower	1013, 0.192, South
49	BIRMINGHAM CAMERA SH	168 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS	Higher	1022, 0.194, WNW
50		880 BOWERS ST	EDR US Hist Auto Stat	Lower	1023, 0.194, SE
M51		1065 E MAPLE RD	EDR US Hist Auto Stat	Lower	1159, 0.220, ENE
M52	MOBIL GASOLINE STATI	1065 MAPLE ROAD	BEA	Lower	1159, 0.220, ENE
M53	MOBIL OIL CORP	1065 E MAPLE RD	RCRA NonGen / NLR, FINDS	Lower	1159, 0.220, ENE
N54	VILLAGE JEEP EAGLE	666 S WOODWARD	UST	Lower	1159, 0.220, South
N55	VILLAGE AMC/JEEP INC	666 S OLD WOODWARD A	RCRA NonGen / NLR, FINDS	Lower	1177, 0.223, South
56	FULLER CENTRAL PARK	111 S OLD WOODWARD	RCRA-CESQG, FINDS	Higher	1199, 0.227, WNW
M57	AMOCO OIL CO	1088 E MAPLE RD	RCRA NonGen / NLR, FINDS	Lower	1218, 0.231, ENE
M58	BIRMINGHAM STANDARD	1088 E MAPLE RD	LUST, UST, WDS	Lower	1218, 0.231, ENE
O59	GOODYEAR TIRE CENTER	835 HAYNES ST	LUST, UST, WDS	Lower	1224, 0.232, SSE
O60		835 HAYNES ST	EDR US Hist Auto Stat	Lower	1224, 0.232, SSE
O61	HALBEISEN TOM INC	835 HAYNES ST	RCRA-CESQG, FINDS	Lower	1224, 0.232, SSE
N62	JIMMIES RUSTICS	690 SOUTH OLD WOODWA	BEA	Lower	1261, 0.239, South
63	BROWN STREET OFFICE	200 EAST BROWN	BEA	Higher	1281, 0.243, WSW
64		300 PARK ST	EDR US Hist Auto Stat	Higher	1309, 0.248, NW
P65	WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	INVENTORY	Lower	1382, 0.262, South
P66	TIFFANY FLORIST	772-784 S OLD WOODWA	INVENTORY, LUST, UST	Lower	1382, 0.262, South
P67	WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	BEA	Lower	1382, 0.262, South
68	AMERICAR	860 S WOODWARD	LUST, UST, WDS	Lower	1672, 0.317, SSE
69	THE PLANT STATION	720 ADAMS	LUST, UST	Lower	1727, 0.327, SE
70	COMERICA BANK BIRMIN	322 N. OLD WOODWARD	INVENTORY	Higher	1934, 0.366, NW
Q71	912 OLD WOODWARD, LL	912 SOUTH OLD WOODWA	INVENTORY	Lower	1981, 0.375, SSE
Q72	912 SOUTH OLD WOODWA	912 SOUTH OLD WOODWA	US BROWNFIELDS, FINDS	Lower	1981, 0.375, SSE
Q73	912 OLD WOODWARD, LL	912 SOUTH OLD WOODWA	INVENTORY	Lower	1981, 0.375, SSE
R74	QUARTON WOODWARD SER	1599 S WOODWARD AVE	INVENTORY, LUST, UST, WDS	Lower	2185, 0.414, SSE
R75	OFFICE BUILDING & PA	1000 SOUTH OLD WOODW	BEA	Lower	2199, 0.416, SSE
76	PROPOSED BALDWIN HOU	200 CHESTER	LUST, UST, WDS	Higher	2242, 0.425, West
S77	WOODLINC/MICH LTD PA	1050 S OLD WOODWARD	INVENTORY, LUST	Lower	2324, 0.440, SSE
S78	MOBIL SS #03-KPV	1991 S WOODWARD AVE	LUST, UST	Lower	2406, 0.456, SSE

MAPPED SITES SUMMARY

Target Property Address:
750 FOREST AVE
BIRMINGHAM, MI 48009

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
79	FIRST CHURCH OF CHRI	191 N. CHESTER ST.	INVENTORY	Higher	2435, 0.461, WNW
80	ERIC GHEEN	272 RAVINE RD	INVENTORY, WDS	Lower	2485, 0.471, NW

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

CERCLIS..... Comprehensive Environmental Response, Compensation, and Liability Information System
FEDERAL FACILITY..... Federal Facility Site Information listing

Federal CERCLIS NFRAP site List

CERC-NFRAP..... CERCLIS No Further Remedial Action Planned

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-SQG..... RCRA - Small Quantity Generators

Federal institutional controls / engineering controls registries

US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROL..... Sites with Institutional Controls
LUCIS..... Land Use Control Information System

Federal ERNS list

ERNS..... Emergency Response Notification System

EXECUTIVE SUMMARY

State- and tribal - equivalent CERCLIS

SHWS..... This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

State and tribal landfill and/or solid waste disposal site lists

SWF/LF..... Solid Waste Facilities Database

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

AST..... Aboveground Tanks

INDIAN UST..... Underground Storage Tanks on Indian Land

FEMA UST..... Underground Storage Tank Listing

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields and UST Site Database

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Landfill / Solid Waste Disposal Sites

DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations

ODI..... Open Dump Inventory

HIST LF..... Inactive Solid Waste Facilities

SWRCY..... Recycling Facilities

INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

Local Lists of Hazardous waste / Contaminated Sites

US CDL..... Clandestine Drug Labs

PART 201..... Part 201 Site List

DEL PART 201..... Delisted List of Contaminated Sites

CDL..... Clandestine Drug Lab Listing

US HIST CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS 2..... CERCLA Lien Information

LIENS..... Lien List

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System

EXECUTIVE SUMMARY

SPILLS..... Pollution Emergency Alerting System

Other Ascertainable Records

DOT OPS..... Incident and Accident Data
DOD..... Department of Defense Sites
FUDS..... Formerly Used Defense Sites
CONSENT..... Superfund (CERCLA) Consent Decrees
ROD..... Records Of Decision
UMTRA..... Uranium Mill Tailings Sites
US MINES..... Mines Master Index File
TRIS..... Toxic Chemical Release Inventory System
TSCA..... Toxic Substances Control Act
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing
SSTS..... Section 7 Tracking Systems
ICIS..... Integrated Compliance Information System
PADS..... PCB Activity Database System
MLTS..... Material Licensing Tracking System
RADINFO..... Radiation Information Database
FINDS..... Facility Index System/Facility Registry System
RAATS..... RCRA Administrative Action Tracking System
RMP..... Risk Management Plans
UIC..... Underground Injection Wells Database
DRYCLEANERS..... Drycleaning Establishments
NPDES..... List of Active NPDES Permits
AIRS..... Permit and Emissions Inventory Data
INDIAN RESERV..... Indian Reservations
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
WDS..... Waste Data System
COAL ASH..... Coal Ash Disposal Sites
Financial Assurance..... Financial Assurance Information Listing
LEAD SMELTERS..... Lead Smelter Sites
US AIRS..... Aerometric Information Retrieval System Facility Subsystem
EPA WATCH LIST..... EPA WATCH LIST
US FIN ASSUR..... Financial Assurance Information
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER..... PCB Transformer Registration Database
COAL ASH DOE..... Steam-Electric Plant Operation Data
2020 COR ACTION..... 2020 Corrective Action Program List
PRP..... Potentially Responsible Parties

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP..... EDR Proprietary Manufactured Gas Plants

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA PART 201..... Recovered Government Archive State Hazardous Waste Facilities List

EXECUTIVE SUMMARY

RGA LF..... Recovered Government Archive Solid Waste Facilities List
 RGA LUST..... Recovered Government Archive Leaking Underground Storage Tank

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal RCRA generators list

RCRA-LQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

A review of the RCRA-LQG list, as provided by EDR, and dated 03/10/2015 has revealed that there is 1 RCRA-LQG site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
WOODWARD DETROIT CVS	444 S OLD WOODWARD A	SSW 1/8 - 1/4 (0.138 mi.)	H27	48

RCRA-CESQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

A review of the RCRA-CESQG list, as provided by EDR, and dated 03/10/2015 has revealed that there are 9 RCRA-CESQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HOLIDAY INN	34952 WOODWARD AVE	NW 0 - 1/8 (0.072 mi.)	C7	19
KROGER CO OF MICHIGA	685 E MAPLE RD	N 0 - 1/8 (0.099 mi.)	D14	29
<i>CATALYST DEVELOPMENT</i>	<i>34977 WOODWARD AVE</i>	<i>NW 0 - 1/8 (0.108 mi.)</i>	<i>E17</i>	<i>35</i>
<i>WM BEAUMONT HOSPITAL</i>	<i>35046 WOODWARD AVE</i>	<i>NNW 1/8 - 1/4 (0.140 mi.)</i>	<i>I28</i>	<i>51</i>
ESSCO OF BIRMINGHAM	255 S OLD WOODWARD A	W 1/8 - 1/4 (0.145 mi.)	35	61
<i>FULLER CENTRAL PARK</i>	<i>111 S OLD WOODWARD</i>	<i>WNW 1/8 - 1/4 (0.227 mi.)</i>	<i>56</i>	<i>82</i>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>SPEEDWAY LLC</i>	<i>34750 WOODWARD AVE</i>	<i>SW 0 - 1/8 (0.029 mi.)</i>	<i>A2</i>	<i>8</i>

EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FRED LAVERY CO	34602 WOODWARD AVE	S 0 - 1/8 (0.105 mi.)	15	30
HALBEISEN TOM INC	835 HAYNES ST	SSE 1/8 - 1/4 (0.232 mi.)	O61	89

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environmental Quality's Leaking Underground Storage Tank (LUST) Database.

A review of the LUST list, as provided by EDR, and dated 04/29/2015 has revealed that there are 16 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JAX KAR WASH #048 Release Status: Open Substance Release: Unknown Facility Id: 00001952	34745 WOODWARD	W 0 - 1/8 (0.047 mi.)	B4	14
SHELL - HUNTER Release Status: Closed Release Status: Open Substance Release: Gasoline Substance Release: Unknown,Unknown Substance Release: Used Oil Facility Id: 00002267	34977 WOODWARD AVE	NW 0 - 1/8 (0.108 mi.)	E18	37
SUNOCO #0008-4178 Release Status: Closed Substance Release: Unknown Facility Id: 00005935	35001 WOODWARD AVE	NW 1/8 - 1/4 (0.140 mi.)	I29	53
PROPOSED BALDWIN HOU Release Status: Closed Substance Release: Heating Oil Facility Id: 00037464	200 CHESTER	W 1/4 - 1/2 (0.425 mi.)	76	105

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SPEEDWAY LLC Release Status: Closed Release Status: Open Substance Release: Unknown Substance Release: Gasoline,Gasoline,Gasoline,Diesel Facility Id: 00016370	34750 WOODWARD AVE	SW 0 - 1/8 (0.029 mi.)	A2	8
ESTATE MOTORS LTD Release Status: Closed Substance Release: Gasoline Substance Release: Unknown Facility Id: 00015180	464 S OLD WOODWARD A	SSW 1/8 - 1/4 (0.146 mi.)	H36	62
PARKING LOT (DIETZ C) Release Status: Open Substance Release: Unknown Facility Id: 50002129	985 E MAPLE RD	NE 1/8 - 1/4 (0.178 mi.)	K43	68

EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BUDGET RENT-A-CAR Release Status: Open Facility Id: 00007720	1000 E MAPLE	ENE 1/8 - 1/4 (0.187 mi.)	K46	70
BIRMINGHAM STANDARD Release Status: Closed Facility Id: 00001897	1088 E MAPLE RD	ENE 1/8 - 1/4 (0.231 mi.)	M58	85
GOODYEAR TIRE CENTER Release Status: Closed Substance Release: Used Oil Facility Id: 00021777	835 HAYNES ST	SSE 1/8 - 1/4 (0.232 mi.)	O59	88
TIFFANY FLORIST Release Status: Open Substance Release: Gasoline,Gasoline Facility Id: 00042132	772-784 S OLD WOODWA	S 1/4 - 1/2 (0.262 mi.)	P66	92
AMERICAR Release Status: Closed Facility Id: 00034958	860 S WOODWARD	SSE 1/4 - 1/2 (0.317 mi.)	68	95
THE PLANT STATION Release Status: Closed Substance Release: Gasoline,Unknown Facility Id: 00018613	720 ADAMS	SE 1/4 - 1/2 (0.327 mi.)	69	96
QUARTON WOODWARD SER Release Status: Open Substance Release: Gasoline Facility Id: 00033030	1599 S WOODWARD AVE	SSE 1/4 - 1/2 (0.414 mi.)	R74	101
WOODLINC/MICH LTD PA Release Status: Open Substance Release: Gasoline Facility Id: 00039226	1050 S OLD WOODWARD	SSE 1/4 - 1/2 (0.440 mi.)	S77	106
MOBIL SS #03-KPV Release Status: Closed Facility Id: 00016687	1991 S WOODWARD AVE	SSE 1/4 - 1/2 (0.456 mi.)	S78	107

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Quality's Michigan UST database.

A review of the UST list, as provided by EDR, and dated 05/05/2015 has revealed that there are 10 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JAX KAR WASH #048 Facility Type: CLOSED Facility Id: 00001952 Tank Status: Removed from Ground	34745 WOODWARD	W 0 - 1/8 (0.047 mi.)	B4	14
SHELL - HUNTER Facility Type: CLOSED Facility Id: 00002267 Tank Status: Removed from Ground	34977 WOODWARD AVE	NW 0 - 1/8 (0.108 mi.)	E18	37

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SUNOCO #0008-4178 Facility Type: CLOSED Facility Id: 00005935 Tank Status: Removed from Ground	35001 WOODWARD AVE	NW 1/8 - 1/4 (0.140 mi.)	I29	53
Lower Elevation	Address	Direction / Distance	Map ID	Page
SPEEDWAY LLC Facility Type: ACTIVE Facility Id: 00016370 Tank Status: Removed from Ground Tank Status: Currently In Use	34750 WOODWARD AVE	SW 0 - 1/8 (0.029 mi.)	A2	8
FRED LAVERY CO Facility Type: ACTIVE Facility Id: 00014864 Tank Status: Removed from Ground Tank Status: Currently In Use	499 S HUNTER BLVD	S 0 - 1/8 (0.061 mi.)	5	16
FRANKLIN SAVINGS BAN Facility Type: CLOSED Facility Id: 00013244 Tank Status: Removed from Ground	479 S OLD WOODWARD A	SSW 1/8 - 1/4 (0.137 mi.)	H26	48
BUDGET RENT-A-CAR Facility Type: CLOSED Facility Id: 00007720 Tank Status: Removed from Ground	1000 E MAPLE	ENE 1/8 - 1/4 (0.187 mi.)	K46	70
VILLAGE JEEP EAGLE Facility Type: ACTIVE Facility Id: 00005612 Tank Status: Removed from Ground Tank Status: Currently In Use	666 S WOODWARD	S 1/8 - 1/4 (0.220 mi.)	N54	78
BIRMINGHAM STANDARD Facility Type: CLOSED Facility Id: 00001897 Tank Status: Removed from Ground	1088 E MAPLE RD	ENE 1/8 - 1/4 (0.231 mi.)	M58	85
GOODYEAR TIRE CENTER Facility Type: CLOSED Facility Id: 00021777 Tank Status: Removed from Ground	835 HAYNES ST	SSE 1/8 - 1/4 (0.232 mi.)	O59	88

State and tribal institutional control / engineering control registries

AUL: A listing of sites with institutional and/or engineering controls in place.

A review of the AUL list, as provided by EDR, and dated 06/08/2015 has revealed that there is 1 AUL site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BIRMINGHAM SERVICES Facility ID: 00002267	34977 WOODWARD AVENU	NW 0 - 1/8 (0.108 mi.)	E16	33

EXECUTIVE SUMMARY

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: The EPA's listing of Brownfields properties from the Cleanups in My Community program, which provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

A review of the US BROWNFIELDS list, as provided by EDR, and dated 03/23/2015 has revealed that there are 3 US BROWNFIELDS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
WEISS SAMONA	34901 WOODWARD AVENU	NW 0 - 1/8 (0.074 mi.)	C8	20
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GREEN'S ART SUPPLY 912 SOUTH OLD WOODWA	400 SOUTH OLD WOODWA 912 SOUTH OLD WOODWA	SW 1/8 - 1/4 (0.126 mi.) SSE 1/4 - 1/2 (0.375 mi.)	G25 Q72	42 99

Local Lists of Hazardous waste / Contaminated Sites

INVENTORY: The Inventory of Facilities has three data sources: Facilities under Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA) identified through state funded or private party response activities (Projects); Facilities under Part 213, Leaking Underground Storage Tanks of the NREPA; and Facilities identified through submittals of Baseline Environmental Assessments (BEA) submitted pursuant to Part 201 or Part 213 of the NREPA. The Part 201 Projects Inventory does not include all of the facilities that are subject to regulation under Part 201 because owners are not required to inform the Department of Environmental Quality (DEQ) about the facilities and can pursue cleanup independently. Facilities that are not known to DEQ are not on the Inventory, nor are locations with releases that resulted in low environmental impact. Part 213 facilities listed here may have more than one release; a list of releases for which corrective actions have been completed and list of releases for which corrective action has not been completed is located on the Leaking Underground Storage Tanks Site Search webpage. The DEQ may or may not have reviewed and concurred with the conclusion that the corrective actions described in a closure report meets criteria. A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

A review of the INVENTORY list, as provided by EDR, and dated 04/01/2015 has revealed that there are 23 INVENTORY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JAX KAR WASH JAX KAR WASH #048 Facility ID: 00001952	34745 WOODWARD AVENU 34745 WOODWARD	W 0 - 1/8 (0.047 mi.) W 0 - 1/8 (0.047 mi.)	B3 B4	13 14
WOODWARD BROWN ASSOC Facility ID: 63005920	34901 WOODWARD AVENU	WNW 0 - 1/8 (0.071 mi.)	6	19
WOODWARD BROWN ASSOC Facility ID: 63005920	34901 WOODWARD	NW 0 - 1/8 (0.074 mi.)	C9	25
SHELL - HUNTER Facility ID: 00002267	34977 WOODWARD AVE	NW 0 - 1/8 (0.108 mi.)	E18	37

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HAMILTON FUNERAL HOM CATALYST DEVELOPMENT Facility ID: 63005889	820 EAST MAPLE ROAD 34977 WOODWARD AVENU	NNE 0 - 1/8 (0.120 mi.) NW 0 - 1/8 (0.122 mi.)	F20 E22	41 42
SUNOCO GASOLINE STAT COMERICA BANK BIRMIN Facility ID: 63005254	35001 WOODWARD AVENU 322 N. OLD WOODWARD	NW 1/8 - 1/4 (0.140 mi.) NW 1/4 - 1/2 (0.366 mi.)	I30 70	56 98
FIRST CHURCH OF CHRI Facility ID: 63005278	191 N. CHESTER ST.	WNW 1/4 - 1/2 (0.461 mi.)	79	109

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SPEEDWAY LLC Facility ID: 00016370	34750 WOODWARD AVE	SW 0 - 1/8 (0.029 mi.)	A2	8
GREEN'S ART SUPPLY GOLLING MOTORS, INC. Facility ID: 63005949	400 SOUTH OLD WOODWA 34500 WOODWARD AVENU	SW 1/8 - 1/4 (0.126 mi.) SSE 1/8 - 1/4 (0.165 mi.)	G24 J40	42 66
GOLLING MOTORS, INC. Facility ID: 63005949	34500 WOODWARD AVENU	SSE 1/8 - 1/4 (0.165 mi.)	J41	67
PARKING LOT (DIETZ C Facility ID: 50002129	985 E MAPLE RD	NE 1/8 - 1/4 (0.178 mi.)	K43	68
BUDGET RENT-A-CAR Facility ID: 00007720	1000 E MAPLE	ENE 1/8 - 1/4 (0.187 mi.)	K46	70
WOODWARD AND GEORGE, TIFFANY FLORIST Facility ID: 00042132	772-784 SOUTH OLD WO 772-784 S OLD WOODWA	S 1/4 - 1/2 (0.262 mi.) S 1/4 - 1/2 (0.262 mi.)	P65 P66	92 92
912 OLD WOODWARD, LL Facility ID: 63006025	912 SOUTH OLD WOODWA	SSE 1/4 - 1/2 (0.375 mi.)	Q71	98
912 OLD WOODWARD, LL Facility ID: 63006025	912 SOUTH OLD WOODWA	SSE 1/4 - 1/2 (0.375 mi.)	Q73	101
QUARTON WOODWARD SER Facility ID: 00033030	1599 S WOODWARD AVE	SSE 1/4 - 1/2 (0.414 mi.)	R74	101
WOODLINC/MICH LTD PA Facility ID: 00039226	1050 S OLD WOODWARD	SSE 1/4 - 1/2 (0.440 mi.)	S77	106
ERIC GHEEN Facility ID: 63006037	272 RAVINE RD	NW 1/4 - 1/2 (0.471 mi.)	80	109

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 03/10/2015 has revealed that

EXECUTIVE SUMMARY

there are 10 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
J C & C ENTERPRISES	700 E MAPLE RD	N 0 - 1/8 (0.098 mi.)	D11	26
JERRY BURNS CLEANERS	615 E MAPLE RD	N 0 - 1/8 (0.098 mi.)	13	27
SUNOCO SERVICE STATI	35001 WOODWARD AVE	NW 1/8 - 1/4 (0.140 mi.)	I32	56
BURTON KATZMAN	336 E MAPLE RD	WNW 1/8 - 1/4 (0.164 mi.)	39	65
UPTOWN ENTERTAINMENT	211 S OLD WOODWARD A	W 1/8 - 1/4 (0.166 mi.)	42	67
BIRMINGHAM CAMERA SH	168 S OLD WOODWARD A	WNW 1/8 - 1/4 (0.194 mi.)	49	73
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ESTATE MOTORS LTD	464 S OLD WOODWARD A	SSW 1/8 - 1/4 (0.146 mi.)	H37	63
MOBIL OIL CORP	1065 E MAPLE RD	ENE 1/8 - 1/4 (0.220 mi.)	M53	77
VILLAGE AMC/JEEP INC	666 S OLD WOODWARD A	S 1/8 - 1/4 (0.223 mi.)	N55	80
AMOCO OIL CO	1088 E MAPLE RD	ENE 1/8 - 1/4 (0.231 mi.)	M57	83

BEA: A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

A review of the BEA list, as provided by EDR, and dated 08/21/2013 has revealed that there are 14 BEA sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JAX KAR WASH #048	34745 WOODWARD	W 0 - 1/8 (0.047 mi.)	B4	14
WOODWARD BROWN ASSOC	34901 WOODWARD AVENU	NW 0 - 1/8 (0.077 mi.)	C10	26
BIRMINGHAM SERVICES	34977 WOODWARD AVENU	NW 0 - 1/8 (0.108 mi.)	E16	33
HAMILTON FUNERAL HOM	820 EAST MAPLE ROAD	NNE 0 - 1/8 (0.120 mi.)	F21	41
SUNOCO #0008-4178	35001 WOODWARD AVE	NW 1/8 - 1/4 (0.140 mi.)	I29	53
BROWN STREET OFFICE	200 EAST BROWN	WSW 1/8 - 1/4 (0.243 mi.)	63	92
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GOLLING MOTORS, INC.	34500 WOODWARD AVENU	SSE 1/8 - 1/4 (0.165 mi.)	J40	66
PARKING LOT (DIETZ C	985 E MAPLE RD	NE 1/8 - 1/4 (0.178 mi.)	K43	68
OSOS TONTOS LLC	985 EAST MAPLE	NE 1/8 - 1/4 (0.183 mi.)	K44	69
ELMWOOD PROPERTIES I	920-970 EAST MAPLE R	NE 1/8 - 1/4 (0.185 mi.)	K45	70
MOBIL GASOLINE STATI	1065 MAPLE ROAD	ENE 1/8 - 1/4 (0.220 mi.)	M52	76
JIMMIES RUSTICS	690 SOUTH OLD WOODWA	S 1/8 - 1/4 (0.239 mi.)	N62	91
WOODWARD AND GEORGE,	772-784 SOUTH OLD WO	S 1/4 - 1/2 (0.262 mi.)	P67	94
OFFICE BUILDING & PA	1000 SOUTH OLD WOODW	SSE 1/4 - 1/2 (0.416 mi.)	R75	105

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR US Hist Auto Stat: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR

EXECUTIVE SUMMARY

researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR US Hist Auto Stat list, as provided by EDR, has revealed that there are 10 EDR US Hist Auto Stat sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported	700 E MAPLE RD	N 0 - 1/8 (0.098 mi.)	D12	27
Not reported	34977 WOODWARD AVE	NW 0 - 1/8 (0.108 mi.)	E19	41
Not reported	35001 WOODWARD AVE	NW 1/8 - 1/4 (0.140 mi.)	I31	56
Not reported	300 PARK ST	NW 1/8 - 1/4 (0.248 mi.)	64	92
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported	34750 WOODWARD AVE	SW 0 - 1/8 (0.029 mi.)	A1	8
Not reported	401 S OLD WOODWARD A	SW 0 - 1/8 (0.124 mi.)	G23	42
Not reported	555 S OLD WOODWARD A	SSW 1/8 - 1/4 (0.164 mi.)	38	64
Not reported	880 BOWERS ST	SE 1/8 - 1/4 (0.194 mi.)	50	74
Not reported	1065 E MAPLE RD	ENE 1/8 - 1/4 (0.220 mi.)	M51	75
Not reported	835 HAYNES ST	SSE 1/8 - 1/4 (0.232 mi.)	O60	89

EDR US Hist Cleaners: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR US Hist Cleaners list, as provided by EDR, has revealed that there are 4 EDR US Hist Cleaners sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported	955 FOREST AVE	E 1/8 - 1/4 (0.140 mi.)	33	60
Not reported	458 S OLD WOODWARD A	SSW 1/8 - 1/4 (0.144 mi.)	H34	60
Not reported	606 S OLD WOODWARD A	S 1/8 - 1/4 (0.191 mi.)	L47	72
Not reported	608 S OLD WOODWARD A	S 1/8 - 1/4 (0.192 mi.)	L48	73

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 1 records.

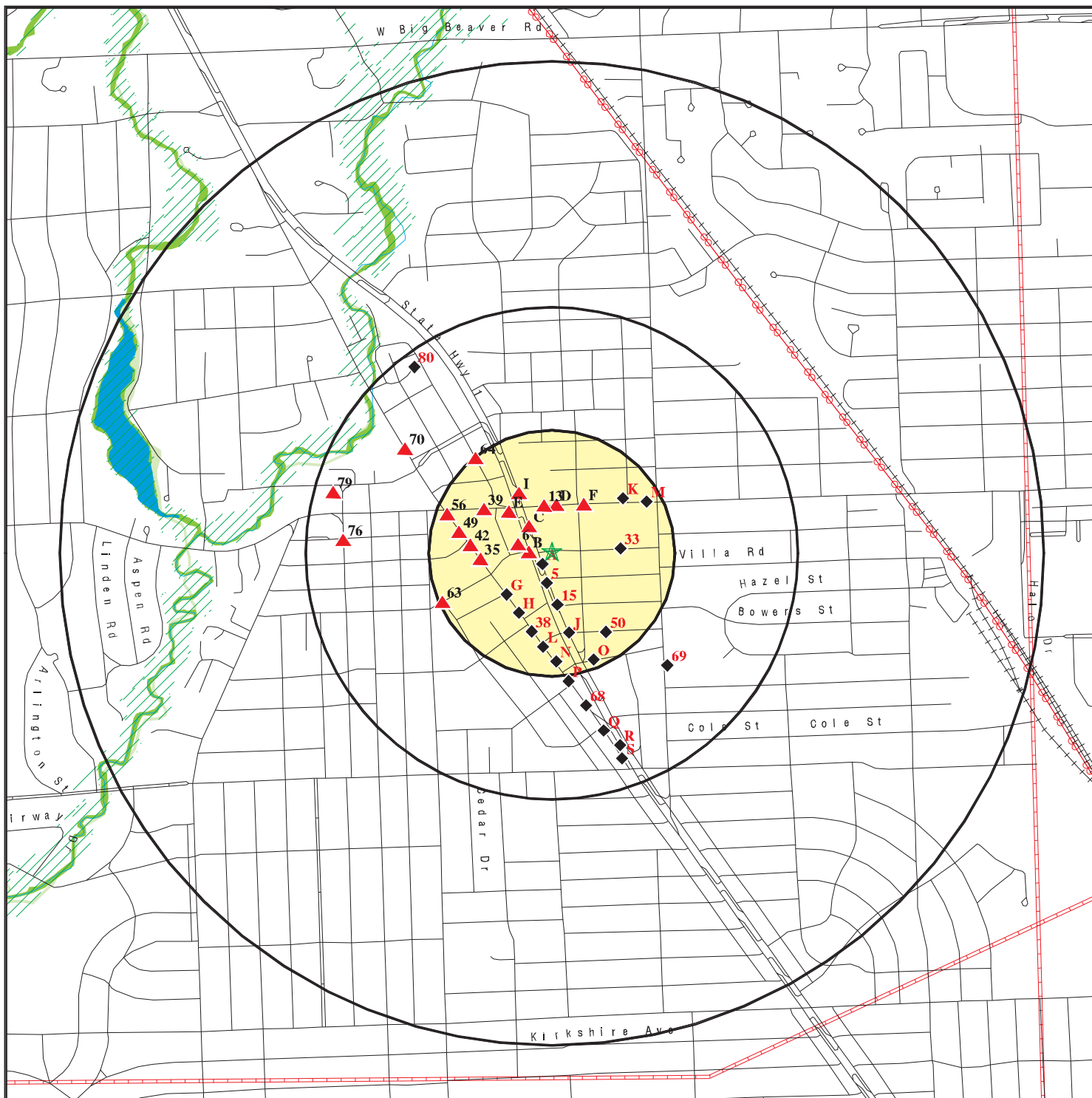
Site Name

OHM OF BIRMINGHAM *

Database(s)

DRYCLEANERS

OVERVIEW MAP - 4341397.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- National Priority List Sites
- Dept. Defense Sites

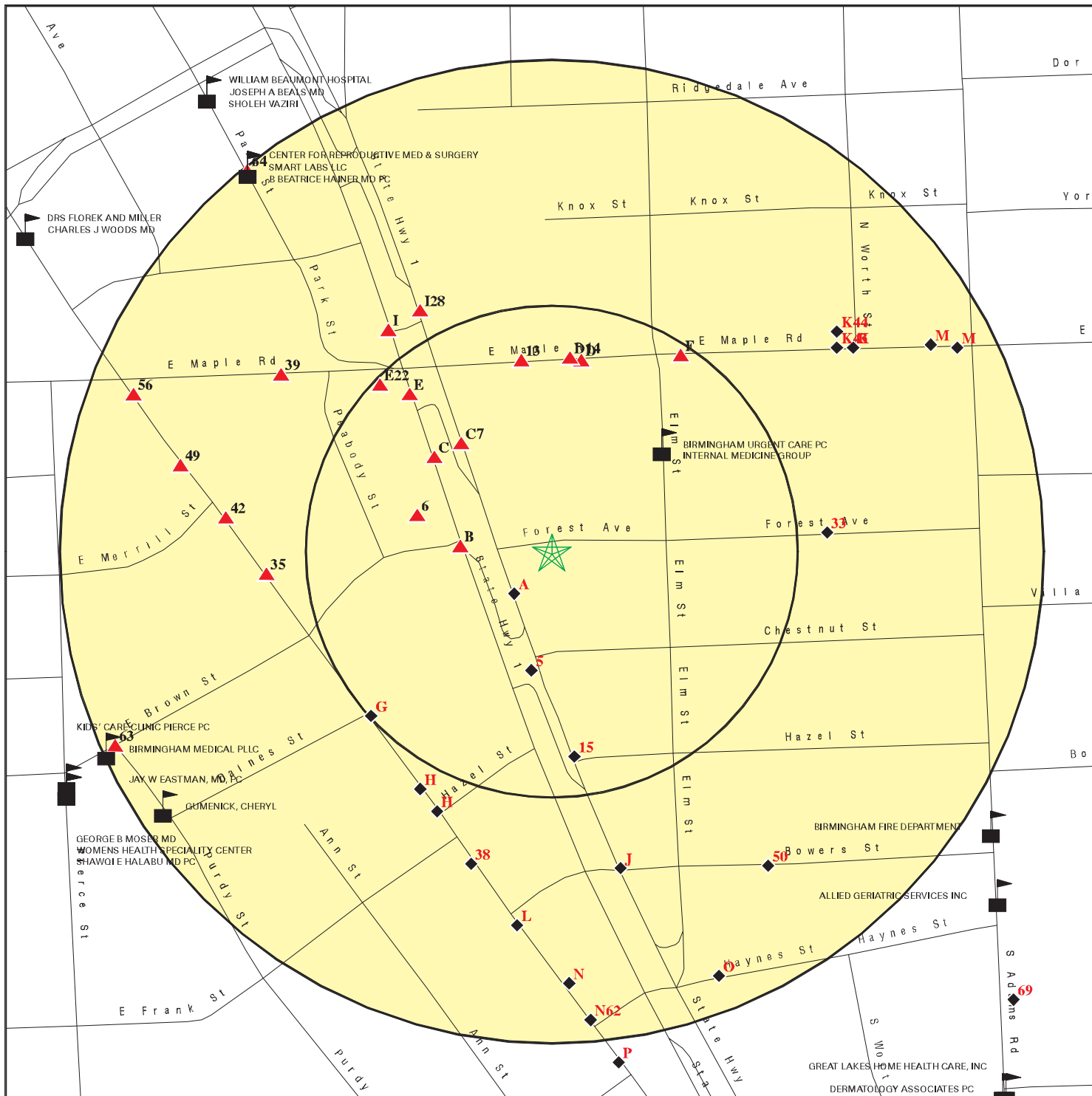
- Indian Reservations BIA
- ⚡ Power transmission lines
- ⚡ Pipelines
- ▨ 100-year flood zone
- ▨ 500-year flood zone
- National Wetland Inventory
- State Wetlands

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 750 Forest
 ADDRESS: 750 Forest Ave
 Birmingham MI 48009
 LAT/LONG: 42.5454 / 83.21

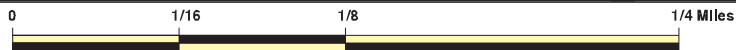
CLIENT: Partner Engineering and Science, Inc.
 CONTACT: Ana Perez
 INQUIRY #: 4341397.2s
 DATE: June 30, 2015 3:14 pm

DETAIL MAP - 4341397.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites

- Indian Reservations BIA
- 100-year flood zone
- 500-year flood zone



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 750 Forest
 ADDRESS: 750 Forest Ave
 Birmingham MI 48009
 LAT/LONG: 42.5454 / 83.21

CLIENT: Partner Engineering and Science, Inc.
 CONTACT: Ana Perez
 INQUIRY #: 4341397.2s
 DATE: June 30, 2015 3:16 pm

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
CERCLIS	0.500		0	0	0	NR	NR	0
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
<i>Federal CERCLIS NFRAP site List</i>								
CERC-NFRAP	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	1	NR	NR	NR	1
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-CESQG	0.250		5	4	NR	NR	NR	9
<i>Federal institutional controls / engineering controls registries</i>								
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
LUCIS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	0	NR	NR	0
<i>State and tribal leaking storage tank lists</i>								
LUST	0.500		3	6	7	NR	NR	16
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
UST	0.250		4	6	NR	NR	NR	10

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
FEMA UST	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
AUL	0.500		1	0	0	NR	NR	1
State and tribal voluntary cleanup sites								
INDIAN VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		1	1	1	NR	NR	3
Local Lists of Landfill / Solid Waste Disposal Sites								
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
HIST LF	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US CDL	TP		NR	NR	NR	NR	NR	0
PART 201	1.000		0	0	0	0	NR	0
INVENTORY	0.500		8	6	9	NR	NR	23
DEL PART 201	1.000		0	0	0	0	NR	0
CDL	TP		NR	NR	NR	NR	NR	0
US HIST CDL	TP		NR	NR	NR	NR	NR	0
Local Land Records								
LIENS 2	TP		NR	NR	NR	NR	NR	0
LIENS	TP		NR	NR	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		2	8	NR	NR	NR	10
DOT OPS	TP		NR	NR	NR	NR	NR	0
DOD	1.000		0	0	0	0	NR	0
FUDS	1.000		0	0	0	0	NR	0
CONSENT	1.000		0	0	0	0	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
ROD	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
BEA	0.500		4	8	2	NR	NR	14
INDIAN RESERV	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
WDS	TP		NR	NR	NR	NR	NR	0
COAL ASH	0.500		0	0	0	NR	NR	0
Financial Assurance	TP		NR	NR	NR	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
<u>EDR HIGH RISK HISTORICAL RECORDS</u>								
<i>EDR Exclusive Records</i>								
EDR MGP	1.000		0	0	0	0	NR	0
EDR US Hist Auto Stat	0.250		4	6	NR	NR	NR	10
EDR US Hist Cleaners	0.250		0	4	NR	NR	NR	4
<u>EDR RECOVERED GOVERNMENT ARCHIVES</u>								
<i>Exclusive Recovered Govt. Archives</i>								
RGA PART 201	TP		NR	NR	NR	NR	NR	0
RGA LF	TP		NR	NR	NR	NR	NR	0
RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		0	32	50	19	0	0	101

MAP FINDINGS SUMMARY

<u>Database</u>	<u>Search Distance (Miles)</u>	<u>Target Property</u>	<u>< 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>> 1</u>	<u>Total Plotted</u>
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NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

A1
SW
< 1/8
0.029 mi.
151 ft.

34750 WOODWARD AVE
BIRMINGHAM, MI 48009

Site 1 of 2 in cluster A

EDR US Hist Auto Stat 1015440841
N/A

Relative:
Lower
Actual:
768 ft.

EDR Historical Auto Stations:

Name: TOTAL PETROLEUM INCORPORATED
Year: 1999
Address: 34750 WOODWARD AVE

Name: TOTAL PETROLEUM INCORPORATED
Year: 2000
Address: 34750 WOODWARD AVE

Name: TOTAL PETROLEUM INC
Year: 2002
Address: 34750 WOODWARD AVE

Name: TOTAL PETROLEUM INC
Year: 2009
Address: 34750 WOODWARD AVE

Name: TOTAL PETROLEUM INC
Year: 2010
Address: 34750 WOODWARD AVE

A2
SW
< 1/8
0.029 mi.
151 ft.

SPEEDWAY LLC
34750 WOODWARD AVE
BIRMINGHAM, MI 48009

Site 2 of 2 in cluster A

RCRA-CESQG 1000844604
FINDS MID985666387
INVENTORY
LUST
UST

Relative:
Lower
Actual:
768 ft.

RCRA-CESQG:

Date form received by agency: 08/20/2012
Facility name: SPEEDWAY LLC
Facility address: 34750 WOODWARD AVE
BIRMINGHAM, MI 48009
EPA ID: MID985666387
Mailing address: PO BOX 1500
SPRINGFIELD, OH 45501
Contact: CHARLES A BESSE
Contact address: Not reported
Not reported
Contact country: US
Contact telephone: (937) 863-6272
Contact email: CABESSE@SPEEDWAY.COM
EPA Region: 05
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: SPEEDWAY LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 06/10/1999
Owner/Op end date: Not reported

Owner/operator name: SPEEDWAY LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 06/10/1999
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 06/03/2005
Site name: SPEEDWAY SUPERAMERICA LLC
Classification: Conditionally Exempt Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 09/17/1998
Site name: SPEEDWAY SUPERAMERICA LLC
Classification: Not a generator, verified

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 09/02/1993
Site name: SPEEDWAY SUPERAMERICA LLC
Classification: Conditionally Exempt Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003685968

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

INVENTORY:

Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54489
Longitude: -83.20977

LUST:

Facility ID: 00016370
Source: STATE OF MICHIGAN
Owner Name: Speedway LLC
Owner Address: PO Box 1500
Owner City,St,Zip: Springfield, OH 45501
Owner Contact: Not reported
Owner Phone: (937) 864-3000
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Speedway #8721
Latitude: 42.54488
Longitude: -83.20977
Date of Collection: 04/06/2007
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0161-14
Release Date: 12/09/2014
Substance Released: Gasoline, Gasoline, Gasoline, Diesel

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Release Status: Open
Release Closed Date: Not reported

Leak Number: C-1633-91
Release Date: 08/27/1991
Substance Released: Unknown
Release Status: Closed
Release Closed Date: 02/09/1996

UST:

Facility ID: 00016370
Facility Type: ACTIVE
Owner Name: SPEEDWAY LLC
Owner Address: PO BOX 1500
Owner City,St,Zip: SPRINGFIELD, OH 45501
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (937) 864-3000
Contact: Toby Rickabaugh
Contact Phone: (937) 864-3000
Date of Collection: 04/06/2007
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: GPS Code Meas. Standard Positioning Service SA Off
Latitude: 42.54488
Longitude: -83.20977

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: 04/21/1972
Remove Date: 03/02/1992
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 12000
Product: Gasoline
Install Date: 04/21/1974
Remove Date: 03/01/1992
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Tank ID: 3
Tank Status: **Removed from Ground**
Capacity: 12000
Product: Diesel
Install Date: 04/21/1974
Remove Date: 03/01/1992
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 4
Tank Status: **Removed from Ground**
Capacity: 1000
Product: FUEL OIL
Install Date: 04/22/1959
Remove Date: 03/01/1992
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: COPPER, Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 5
Tank Status: **Removed from Ground**
Capacity: 550
Product: Used Oil
Install Date: 04/22/1959
Remove Date: 03/01/1992
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 6
Tank Status: **Currently In Use**
Capacity: 12000
Product: Gasoline
Install Date: 05/01/1992
Remove Date: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Realease Detection: Automatic Line Leak Detectors, Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Cathodically Protected Steel
Impressed Device: No

Tank ID: 7

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPEEDWAY LLC (Continued)

1000844604

Tank Status: Currently In Use
Capacity: 10000
Product: Gasoline
Install Date: 05/01/1992
Remove Date: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Realease Detection: Automatic Line Leak Detectors, Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Cathodically Protected Steel
Impressed Device: No

Tank ID: 8
Tank Status: Currently In Use
Capacity: 10000
Product: Gasoline
Install Date: 05/01/1992
Remove Date: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Realease Detection: Automatic Line Leak Detectors, Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Cathodically Protected Steel
Impressed Device: No

Tank ID: 9
Tank Status: Currently In Use
Capacity: 8000
Product: Diesel
Install Date: 05/01/1992
Remove Date: Not reported
Tank Release Detection: Automatic Tank Gauging
Pipe Realease Detection: Automatic Line Leak Detectors, Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Cathodically Protected Steel
Impressed Device: No

B3
West
< 1/8
0.047 mi.
246 ft.

JAX KAR WASH
34745 WOODWARD AVENUE
OAKLAND (County), MI 48009
Site 1 of 2 in cluster B

INVENTORY S114035933
N/A

Relative:
Higher

INVENTORY:
Bea Number: 200101459LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

Actual:
771 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

B4
West
< 1/8
0.047 mi.
246 ft.

JAX KAR WASH #048
34745 WOODWARD
BIRMINGHAM, MI 48011
Site 2 of 2 in cluster B

INVENTORY **U003319644**
LUST **N/A**
UST
BEA
WDS

Relative:
Higher

INVENTORY:
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.53949
Longitude: -83.20706

Actual:
771 ft.

LUST:
Facility ID: 00001952
Source: STATE OF MICHIGAN
Owner Name: Jax Kar Wash #048
Owner Address: 34745 Woodward
Owner City,St,Zip: Birmingham, MI 48011
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Jax Kar Wash #048
Latitude: 42.53949
Longitude: -83.20706
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0859-00
Release Date: 10/27/2000
Substance Released: Unknown
Release Status: Open
Release Closed Date: Not reported

UST:
Facility ID: 00001952
Facility Type: CLOSED
Owner Name: JAX KAR WASH #048
Owner Address: 34745 WOODWARD
Owner City,St,Zip: BIRMINGHAM, MI 48011
Owner Country: USA
Owner Contact: Not reported
Owner Phone: Not reported
Contact: Abdeem Shakoor
Contact Phone: (781) 231-9300
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JAX KAR WASH #048 (Continued)

U003319644

Method of Collection: Address Matching-House Number
Latitude: 42.53949
Longitude: -83.20706

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 10000
Product: Gasoline
Install Date: 01/01/1966
Remove Date: 10/27/2000
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 10000
Product: Gasoline
Install Date: 01/01/1966
Remove Date: 10/27/2000
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

BEA:

Secondary Address: Not reported
BEA Number: 1459
District: Southeast MI
Date Received: 08/08/2001
Submitter Name: BMW CAR WASH, L.L.C.
Petition Determination: No Request
Petition Disclosure: 0
Category: Same Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: cokt
Division Assigned: Storage Tank Division

WDS:

Site Id: MIG000026887
WMD Id: 429618
Site Specific Name: WASH DEPOT
Mailing Address: 34745 WOODWARD AVE
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

5
South
< 1/8
0.061 mi.
323 ft.

FRED LAVERY CO
499 S HUNTER BLVD
BIRMINGHAM, MI 48009

UST **U003323187**
N/A

Relative:
Lower

UST:

Actual:
766 ft.

Facility ID: 00014864
Facility Type: ACTIVE
Owner Name: FRED LAVERY CO
Owner Address: 499 S HUNTER BLVD
Owner City,St,Zip: BIRMINGHAM, MI 48009-6706
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (313) 645-5930
Contact: BILL STANLEY
Contact Phone: (313) 645-5930
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.54307
Longitude: -83.20982

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 550
Product: Used Oil
Install Date: 02/27/1971
Remove Date: 07/19/1990
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 50
Product: HYD. OIL
Install Date: 02/27/1976
Remove Date: 07/19/1990
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 3
Tank Status: Currently In Use
Capacity: 50

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

U003323187

Product: HYD. OIL
Install Date: 02/27/1976
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 4
Tank Status: Currently In Use
Capacity: 50
Product: HYD. OIL
Install Date: 02/27/1983
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 5
Tank Status: Currently In Use
Capacity: 50
Product: HYD. OIL
Install Date: 02/26/1981
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 6
Tank Status: Currently In Use
Capacity: 50
Product: HYD. OIL
Install Date: 02/27/1984
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 7
Tank Status: Removed from Ground
Capacity: 50
Product: HYD. OIL

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

U003323187

Install Date: 02/27/1983
Remove Date: 07/19/1990
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 8
Tank Status: Currently In Use
Capacity: 50
Product: HYD. OIL
Install Date: 02/27/1984
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 9
Tank Status: Removed from Ground
Capacity: 50
Product: HYD. OIL
Install Date: 02/26/1982
Remove Date: 07/19/1990
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 10
Tank Status: Currently In Use
Capacity: 50
Product: HYD. OIL
Install Date: 02/27/1976
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Fiberglass Reinforced plastic
Impressed Device: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

6
WNW
< 1/8
0.071 mi.
374 ft.

WOODWARD BROWN ASSOCIATES, LLC
34901 WOODWARD AVENUE
OAKLAND (County), MI 48073

INVENTORY S114029255
N/A

Relative:
Higher

INVENTORY:
Bea Number: 201004572LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: 42.54567
Longitude: -83.21134

Actual:
773 ft.

C7
NW
< 1/8
0.072 mi.
379 ft.

HOLIDAY INN
34952 WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA-CESQG 1007098585
MIK541799672

Site 1 of 4 in cluster C

Relative:
Higher

RCRA-CESQG:
Date form received by agency: 07/31/2006
Facility name: HOLIDAY INN
Facility address: 34952 WOODWARD AVE
BIRMINGHAM, MI 48009
EPA ID: MIK541799672
Mailing address: 11853 BELDEN CT
LIVONIA, MI 48150
Contact: JOHN SCHIMETZ
Contact address: 34952 WOODWARD AVE
BIRMINGHAM, MI 48009
Contact country: US
Contact telephone: (734) 855-0105
Contact email: Not reported
EPA Region: 05
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Actual:
775 ft.

Owner/Operator Summary:
Owner/operator name: HOLIDAY INNS
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HOLIDAY INN (Continued)

1007098585

Owner/Op start date: 09/18/2001
Owner/Op end date: Not reported

Owner/operator name: HOLIDAY INNS
Owner/operator address: Not reported
Not reported

Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 09/18/2001
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 09/18/2001
Site name: HOLIDAY INN
Classification: Conditionally Exempt Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

**C8
NW
< 1/8
0.074 mi.
393 ft.**

**WEISS SAMONA
34901 WOODWARD AVENUE
BIRMINGHAM, MI 48009**

**US BROWNFIELDS 1016357344
FINDS N/A**

Site 2 of 4 in cluster C

**Relative:
Higher**

US BROWNFIELDS:
Recipient name: Oakland County
Grant type: Assessment
Property name: WEISS SAMONA
Property #: Not reported
Parcel size: .52

**Actual:
775 ft.**

Property Description: The Property was developed as a feed mill in 1915. From at least 1921 to at least 1931 the Property was used as a lumber and coal yard, with up to nine buildings and several areas labeled as lumber piles.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WEISS SAMONA (Continued)

1016357344

By 1944 the northern portion of the Property was developed with a bowling alley and by 1949 the southwest corner of the Property was developed with a hand laundry building. The southern portion of the Property was occupied by a used car lot by 1960. The bowling alley reportedly operated until at least 1973 when it was occupied for retail uses. A commercial strip mall building was constructed by 1974 and occupied the southern portion of the Property until 2005. Since the demolition of the buildings in 2005, the Property has been used as a parking lot.

Latitude:	Not reported
Longitude:	Not reported
HCM label:	Not reported
Map scale:	Not reported
Point of reference:	Not reported
Datum:	Not reported
ACRES property ID:	115761
Start date:	Not reported
Completed date:	Not reported
Acres cleaned up:	Not reported
Cleanup funding:	Not reported
Cleanup funding source:	Not reported
Assessment funding:	2800
Assessment funding source:	US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding:	Not reported
Redev. funding source:	Not reported
Redev. funding entity name:	Not reported
Redevelopment start date:	Not reported
Assessment funding entity:	EPA
Cleanup funding entity:	Not reported
Grant type:	H
Accomplishment type:	Phase I Environmental Assessment
Accomplishment count:	0
Cooperative agreement #:	00E92301
Ownership entity:	Private
Current owner:	Not reported
Did owner change:	Not reported
Cleanup required:	Unknown
Video available:	Not reported
Photo available:	Yes
Institutional controls required:	U
IC Category proprietary controls:	Not reported
IC cat. info. devices:	Not reported
IC cat. gov. controls:	Not reported
IC cat. enforcement permit tools:	Not reported
IC in place date:	Not reported
IC in place:	Not reported
State/tribal program date:	Not reported
State/tribal program ID:	Not reported
State/tribal NFA date:	Not reported
Air contaminated:	Not reported
Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported
Drinking water affected:	Not reported
Drinking water cleaned:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WEISS SAMONA (Continued)

1016357344

Groundwater affected:	Y
Groundwater cleaned:	Not reported
Lead contaminant found:	Y
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Y
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contams found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Y
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Y
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	.52
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WEISS SAMONA (Continued)

1016357344

Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported
Recipient name:	Oakland County
Grant type:	Assessment
Property name:	WEISS SAMONA
Property #:	Not reported
Parcel size:	.52
Property Description:	The Property was developed as a feed mill in 1915. From at least 1921 to at least 1931 the Property was used as a lumber and coal yard, with up to nine buildings and several areas labeled as lumber piles. By 1944 the northern portion of the Property was developed with a bowling alley and by 1949 the southwest corner of the Property was developed with a hand laundry building. The southern portion of the Property was occupied by a used car lot by 1960. The bowling alley reportedly operated until at least 1973 when it was occupied for retail uses. A commercial strip mall building was constructed by 1974 and occupied the southern portion of the Property until 2005. Since the demolition of the buildings in 2005, the Property has been used as a parking lot.
Latitude:	Not reported
Longitude:	Not reported
HCM label:	Not reported
Map scale:	Not reported
Point of reference:	Not reported
Datum:	Not reported
ACRES property ID:	115761
Start date:	Not reported
Completed date:	Not reported
Acres cleaned up:	Not reported
Cleanup funding:	Not reported
Cleanup funding source:	Not reported
Assessment funding:	5400
Assessment funding source:	US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding:	Not reported
Redev. funding source:	Not reported
Redev. funding entity name:	Not reported
Redevelopment start date:	Not reported
Assessment funding entity:	EPA
Cleanup funding entity:	Not reported
Grant type:	H
Accomplishment type:	Phase II Environmental Assessment
Accomplishment count:	0
Cooperative agreement #:	00E92301
Ownership entity:	Private
Current owner:	Not reported
Did owner change:	Not reported
Cleanup required:	Unknown
Video available:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WEISS SAMONA (Continued)

1016357344

Photo available:	Yes
Institutional controls required:	U
IC Category proprietary controls:	Not reported
IC cat. info. devices:	Not reported
IC cat. gov. controls:	Not reported
IC cat. enforcement permit tools:	Not reported
IC in place date:	Not reported
IC in place:	Not reported
State/tribal program date:	Not reported
State/tribal program ID:	Not reported
State/tribal NFA date:	Not reported
Air contaminated:	Not reported
Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported
Drinking water affected:	Not reported
Drinking water cleaned:	Not reported
Groundwater affected:	Y
Groundwater cleaned:	Not reported
Lead contaminant found:	Y
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Y
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contams found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Y
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Y
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	.52
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

WEISS SAMONA (Continued)

1016357344

Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported

FINDS:

Registry ID: 110043085050

Environmental Interest/Information System

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES)
 is an federal online database for Brownfields Grantees to
 electronically submit data directly to EPA.

C9
NW
 < 1/8
 0.074 mi.
 393 ft.

WOODWARD BROWN ASSOC LLC
34901 WOODWARD
BIRMINGHAM, MI 48009

INVENTORY S114029254
N/A

Site 3 of 4 in cluster C

Relative:
Higher

INVENTORY:

Bea Number:	Not reported
Township:	Birmingham
District:	Southeast MI
Data Source:	Part 201
Latitude:	42.54567
Longitude:	-83.21134

Actual:
775 ft.

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

C10 **WOODWARD BROWN ASSOCIATES, LLC** **BEA** **S110624723**
NW **34901 WOODWARD AVENUE**
< 1/8 **BIRMINGHAM, MI 48073**
0.077 mi.
405 ft. **Site 4 of 4 in cluster C**

Relative: BEA:
Higher Secondary Address: Not reported
 BEA Number: 4572
Actual: District: Southeast MI
775 ft. Date Received: 09/16/2010
 Submitter Name: Woodward Brown Associates, LLC
 Petition Determination: No Request
 Petition Disclosure: 0
 Category: No Hazardous Substance(s)
 Determination 20107A: No Request
 Reviewer: berakr
 Division Assigned: RRD

D11 **J C & C ENTERPRISES LLC** **RCRA NonGen / NLR** **1012211265**
North **700 E MAPLE RD**
< 1/8 **BIRMINGHAM, MI 48009**
0.098 mi.
520 ft. **Site 1 of 3 in cluster D**

Relative: RCRA NonGen / NLR:
Higher Date form received by agency: 12/01/2009
 Facility name: J C & C ENTERPRISES LLC
Actual: Facility address: 700 E MAPLE RD
775 ft. BIRMINGHAM, MI 48009
 EPA ID: MIK559424759
 Contact: CHERI TAUNT
 Contact address: 700 E MAPLE RD
 BIRMINGHAM, MI 48009
 Contact country: US
 Contact telephone: (248) 642-9185
 Contact email: Not reported
 EPA Region: 05
 Classification: Non-Generator
 Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:
 Owner/operator name: J C & C ENTERPRISES LLC
 Owner/operator address: Not reported
 Not reported
 Owner/operator country: Not reported
 Owner/operator telephone: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: 10/01/1992
 Owner/Op end date: Not reported

Owner/operator name: J C & C ENTERPRISES LLC
 Owner/operator address: Not reported
 Not reported
 Owner/operator country: Not reported
 Owner/operator telephone: Not reported
 Legal status: Private
 Owner/Operator Type: Owner

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

J C & C ENTERPRISES LLC (Continued)

1012211265

Owner/Op start date: 10/01/1992
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Waste code: D001
Waste name: IGNITABLE WASTE

Violation Status: No violations found

D12
North
< 1/8
0.098 mi.
520 ft.

**700 E MAPLE RD
BIRMINGHAM, MI 48009**

EDR US Hist Auto Stat 1015604989
N/A

Site 2 of 3 in cluster D

Relative:
Higher

EDR Historical Auto Stations:

Name: INFINITY INTL ENGINEERING LLC
Year: 2010
Address: 700 E MAPLE RD

Actual:
775 ft.

Name: INFINITY INTERNATIONAL ENGINEERING L
Year: 2011
Address: 700 E MAPLE RD

Name: INFINITY INTERNATIONAL ENGINEERING L
Year: 2012
Address: 700 E MAPLE RD

13
North
< 1/8
0.098 mi.
520 ft.

**JERRY BURNS CLEANERS
615 E MAPLE RD
BIRMINGHAM, MI 48009**

RCRA NonGen / NLR 1000465820
FINDS MID985605112

Relative:
Higher

RCRA NonGen / NLR:

Date form received by agency: 09/17/1998
Facility name: JERRY BURNS CLEANERS
Facility address: 615 E MAPLE RD
BIRMINGHAM, MI 48009
EPA ID: MID985605112
Contact: ARMEN NAZARIAN

Actual:
778 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JERRY BURNS CLEANERS (Continued)

1000465820

Contact address: 615 E MAPLE RD
BIRMINGHAM, MI 48009
Contact country: US
Contact telephone: (313) 646-8733
Contact email: Not reported
EPA Region: 05
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NAZARIAN ARMEN
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/01/1970
Owner/Op end date: Not reported

Owner/operator name: NAZARIAN ARMEN
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 01/01/1970
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 02/05/1991
Site name: JERRY BURNS CLEANERS
Classification: Small Quantity Generator

. Waste code: D001

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JERRY BURNS CLEANERS (Continued)

1000465820

Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003652379

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**D14
North
< 1/8
0.099 mi.
524 ft.**

**KROGER CO OF MICHIGAN
685 E MAPLE RD
BIRMINGHAM, MI 48009**

**RCRA-CESQG 1010785838
MIK996275632**

Site 3 of 3 in cluster D

**Relative:
Higher**

RCRA-CESQG:

Date form received by agency: 10/02/2007

Facility name: KROGER CO OF MICHIGAN

Facility address: 685 E MAPLE RD
BIRMINGHAM, MI 48009

EPA ID: MIK996275632

Mailing address: 4111 EXECUTIVE PKWY
WESTERVILLE, OH 43081

Contact: JIM WARD

Contact address: 685 E MAPLE RD
BIRMINGHAM, MI 48009

Contact country: US

Contact telephone: (614) 898-3506

Contact email: Not reported

EPA Region: 05

Classification: Conditionally Exempt Small Quantity Generator

Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: KROGER CO

Owner/operator address: Not reported

Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

KROGER CO OF MICHIGAN (Continued)

1010785838

Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 08/12/1998
Owner/Op end date: Not reported

Owner/operator name: KROGER CO
Owner/operator address: Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 08/12/1998
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Waste code: D001
Waste name: IGNITABLE WASTE

Violation Status: No violations found

15
South
< 1/8
0.105 mi.
553 ft.

FRED LAVERY CO
34602 WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA-CESQG 1000528909
FINDS MID985613389

Relative:
Lower

RCRA-CESQG:

Date form received by agency: 03/23/2010
Facility name: FRED LAVERY CO
Facility address: 34602 WOODWARD AVE
BIRMINGHAM, MI 48009
EPA ID: MID985613389
Mailing address: PO BOX 3017
BIRMINGHAM, MI 48012
Contact: ALI HAJI-SHETKH
Contact address: 34602 WOODWARD AVE
BIRMINGHAM, MI 48009
Contact country: US
Contact telephone: (248) 645-5930

Actual:
764 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Contact email: Not reported
EPA Region: 05
Land type: Private
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: LAVERY FRED
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 05/17/1991
Owner/Op end date: Not reported

Owner/operator name: LAVERY FRED
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 05/17/1991
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 10/19/2009
Site name: FRED LAVERY CO
Classification: Conditionally Exempt Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 03/16/2009
Site name: FRED LAVERY CO
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 07/28/2008
Site name: FRED LAVERY CO
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 08/13/2002
Site name: FRED LAVERY CO
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 10/14/1998
Site name: FRED LAVERY CO
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 05/17/1991
Site name: FRED LAVERY CO
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Facility Has Received Notices of Violations:

Regulation violated: Not reported
Area of violation: State Statute or Regulation
Date violation determined: 10/19/2009
Date achieved compliance: 11/09/2009
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/20/2009
Enf. disposition status: Not reported
Enf. disp. status date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRED LAVERY CO (Continued)

1000528909

Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: LDR - General
Date violation determined: 10/19/2009
Date achieved compliance: 11/09/2009
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/20/2009
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 10/19/2009
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: State Statute or Regulation
Date achieved compliance: 11/09/2009
Evaluation lead agency: State

Evaluation date: 10/19/2009
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: LDR - General
Date achieved compliance: 11/09/2009
Evaluation lead agency: State

FINDS:

Registry ID: 110003657757

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

E16
NW
< 1/8
0.108 mi.
570 ft.

BIRMINGHAM SERVICES INC. (SHELL - HUNTER)
34977 WOODWARD AVENUE
BIRMINGHAM, MI 44306
Site 1 of 5 in cluster E

SPILLS S104912434
AUL N/A
BEA
WDS

Relative:
Higher

PEAS:
Incident Date: 12/23/2000
Office Status: Not reported
Initials of Incoming Operator: Not reported
Time Received by DNRE Staff: Not reported
Time Occur: Not reported
Date Of PEAS Call: 12/23/2000

Actual:
778 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM SERVICES INC. (SHELL - HUNTER) (Continued)

S104912434

Complainant / Company: Sgt. Henry w/Michigan State Police
Complainant Address: Unknown
Company Involved: Foster's Oil, Inc.
DEQ Division Involved: SWQD/ State Police
Incident Description: into a storm drain. The Birmingham Fire Department is on the scene.A
gas tanker delivering gasoline accidentally pumped 103 gallons of
gasoline
Description: Not reported

AUL:

Status: Pending
Site Name: Not reported
Property: On-site location
Land Use Restriction Type: RC
Program Type: Part 213
Program Support Assigned User: Not reported
Program Support Assigned Date: Not reported
Legal Description Of Property: Not reported
Based On The Deq Ref #: 11121309003
MDEQ Reference Number: RC-RRD-213-09-003
Property Or Description Restricted Area: Not reported
Lead Division: RRD
File Name Of Hyperlinked Legal Doc: Not reported
Mapped Polygons Area In Acres: 0.2999999999999999
Mapped Polygons Area In Square Miles: Not reported
Date Data Entry Started: Not reported
Date Data Entry Finished: Not reported
Individual Or Staff Assoc With The Mapping: Not reported
Program Used To Map Restricted Features: Not reported
Date Legal Paperwork Stamped/Filed/Register Of Deeds: 01/12/2009
Commercial I Land Use Restriction: 0
Commercial Ii Land Use Restriction: 0
Commercial Iii Land Use Restriction: 0
Commercial Iv Land Use Restriction: 0
Industrial Land Use Restriction: 0
Residential Land Use Restriction: 1
Recreational Land Use Restriction: 0
Multiple Land-Use Restrictions: 0
Site Specific Restrictions: 0
Groundwater Consumption Restrictions: 0
Groundwater Contact Restrictions: 0
Special Well Construction Requirements: 0
Special Building Restrictions: 0
Excavation And Soil Movement Restrictions: 0
Soil Movement Requirements: 0
There Is A Restriction On All Construction: 0
Monitoring Well Protected, No Tampering Or Removal: 0
There Is An Exposure Barrier In Place: 0
There Is A Health And Safety Plan: 0
There Is A Permanent Marker On The Site: 0
Map Comments: Not reported
Comment: Gas Station, Birmingham Services Inc

BEA:

Secondary Address: (FORMERLY 120 S. HUNTER STREET)
BEA Number: 1071

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM SERVICES INC. (SHELL - HUNTER) (Continued)

S104912434

District: Southeast MI
Date Received: 02/07/2000
Submitter Name: ANDREW BOJI
Petition Determination: No Request
Petition Disclosure: 0
Category: Same Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: tempm
Division Assigned: Storage Tank Division

Secondary Address: Not reported
BEA Number: 4000
District: Southeast MI
Date Received: 09/12/2008
Submitter Name: Catalyst Development Co. 8, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: Same Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: tiernang
Division Assigned: Storage Tank Division

Secondary Address: (Formerly 120 Hunter)
BEA Number: 2187
District: Southeast MI
Date Received: 11/05/2003
Submitter Name: Fuller Central Park Properties IV, LLC
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: Affirmed
Reviewer: mitchelf
Division Assigned: Storage Tank Division

WDS:

Site Id: MIR000044230
WMD Id: 413573
Site Specific Name: CATALYST DEVELOPMENT CO 8 LLC
Mailing Address: 34977 WOODWARD AVE
Mailing City/State/Zip: 48104
Mailing County: OAKLAND

E17
NW
< 1/8
0.108 mi.
570 ft.

CATALYST DEVELOPMENT CO 8 LLC
34977 WOODWARD AVE
BIRMINGHAM, MI 48009
Site 2 of 5 in cluster E

RCRA-CESQG 1001961007
FINDS MIR000044230

Relative:
Higher

RCRA-CESQG:
Date form received by agency: 01/20/2009
Facility name: CATALYST DEVELOPMENT CO 8 LLC
Facility address: 34977 WOODWARD AVE
BIRMINGHAM, MI 48104
EPA ID: MIR000044230
Contact: MIKE BRYANT
Contact address: 34977 WOODWARD AVE
BIRMINGHAM, MI 48104

Actual:
778 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

1001961007

Contact country: US
Contact telephone: (269) 217-5157
Contact email: Not reported
EPA Region: 05
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: CATALYST DEVELOPMENT CO & LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 07/02/2008
Owner/Op end date: Not reported

Owner/operator name: CATALYST DEVELOPMENT CO & LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 07/02/2008
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CATALYST DEVELOPMENT CO 8 LLC (Continued)

1001961007

Used oil transporter: No
Waste code: D001
Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 06/10/2002
Site name: CATALYST DEVELOPMENT CO 8 LLC
Classification: Not a generator, verified

Waste code: D001
Waste name: IGNITABLE WASTE

Date form received by agency: 01/20/2000
Site name: CATALYST DEVELOPMENT CO 8 LLC
Classification: Small Quantity Generator

Waste code: D001
Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110006413087

Environmental Interest/Information System

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E18
NW
< 1/8
0.108 mi.
570 ft.

**SHELL - HUNTER
34977 WOODWARD AVE
BIRMINGHAM, MI 49007**

Site 3 of 5 in cluster E

**INVENTORY U003319719
LUST N/A
UST**

Relative:
Higher

INVENTORY:

Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.53925
Longitude: -83.20683

Actual:
778 ft.

LUST:

Facility ID: 00002267
Source: STATE OF MICHIGAN
Owner Name: Catalyst Development Co LLC
Owner Address: 100 W Michigan Ave Ste 300
Owner City,St,Zip: Kalamazoo, MI 49007
Owner Contact: Not reported
Owner Phone: (269) 492-6811

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Shell - Hunter
Latitude: 42.53925
Longitude: -83.20683
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0274-08
Release Date: 12/10/2008
Substance Released: Used Oil
Release Status: Open
Release Closed Date: Not reported

Leak Number: C-0480-89
Release Date: 12/08/1989
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 05/23/2000

Leak Number: C-1061-89
Release Date: 12/08/1989
Substance Released: Gasoline
Release Status: Closed
Release Closed Date: 05/23/2000

Leak Number: C-1336-98
Release Date: 12/30/1998
Substance Released: Unknown,Unknown
Release Status: Closed
Release Closed Date: 08/04/1999

UST:

Facility ID: 00002267
Facility Type: CLOSED
Owner Name: CATALYST DEVELOPMENT CO LLC
Owner Address: 100 W MICHIGAN AVE STE 300
Owner City,St,Zip: KALAMAZOO, MI 49007
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (269) 492-6811
Contact: Ms Patti Ownes
Contact Phone: (269) 492-6811
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.53925
Longitude: -83.20683

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Tank ID: 1
Tank Status: **Removed from Ground**
Capacity: 8000
Product: Gasoline
Install Date: 09/01/1971
Remove Date: 12/07/1999
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Realease Detection: Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 2
Tank Status: **Removed from Ground**
Capacity: 10000
Product: Gasoline
Install Date: 12/01/1982
Remove Date: 12/07/1999
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Realease Detection: Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 3
Tank Status: **Removed from Ground**
Capacity: 10000
Product: Gasoline
Install Date: 12/01/1982
Remove Date: 12/07/1999
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Realease Detection: Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 4
Tank Status: **Removed from Ground**
Capacity: 550
Product: Used Oil
Install Date: 04/15/1949
Remove Date: 10/13/1989
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 5

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Tank Status: Removed from Ground
Capacity: 15000
Product: Gasoline
Install Date: 12/01/1999
Remove Date: 10/29/2003
Tank Release Detection: Automatic Tank Gauging
Pipe Realease Detection: Automatic Line Leak Detectors,Interstitial Monitoring Double Walled Piping
Piping Material: Double Walled,ENVIRON GEOFLEX
Piping Type: Pressure
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 6
Tank Status: Removed from Ground
Capacity: 12000
Product: Gasoline, Diesel
Install Date: 12/01/1999
Remove Date: 10/29/2003
Tank Release Detection: Automatic Tank Gauging
Pipe Realease Detection: Automatic Line Leak Detectors,Interstitial Monitoring Double Walled Piping
Piping Material: Double Walled,ENVIRON GEOFLEX
Piping Type: Pressure
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 9
Tank Status: Removed from Ground
Capacity: 1000
Product: Used Oil
Install Date: 12/01/1989
Remove Date: 12/07/1999
Tank Release Detection: Inter Monitoring Double Walled Tank
Pipe Realease Detection: ,GroundWater Monitoring,Interstitial Monitoring/Second Containment,Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Gravity Fed?,Pressure
Construction Material: Double Walled,Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 10
Tank Status: Removed from Ground
Capacity: Not reported
Product: Kerosene
Install Date: Not reported
Remove Date: 12/01/1998
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Bare Steel
Piping Type: Suction: Valve at Tank
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL - HUNTER (Continued)

U003319719

Tank ID: 11
Tank Status: **Removed from Ground**
Capacity: 500
Product: Used Oil
Install Date: Not reported
Remove Date: 02/09/2009
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

**E19
NW
< 1/8
0.108 mi.
570 ft.**

**34977 WOODWARD AVE
BIRMINGHAM, MI 48009**

**EDR US Hist Auto Stat 1015441531
N/A**

Site 4 of 5 in cluster E

**Relative:
Higher**

EDR Historical Auto Stations:
Name: FAST TRACK AUTO REPAIR INC
Year: 2002
Address: 34977 WOODWARD AVE

**Actual:
778 ft.**

**F20
NNE
< 1/8
0.120 mi.
631 ft.**

**HAMILTON FUNERAL HOME PROPERTY
820 EAST MAPLE ROAD
OAKLAND (County), MI 48009**

**INVENTORY S114035507
N/A**

Site 1 of 2 in cluster F

**Relative:
Higher**

INVENTORY:
Bea Number: 201205134LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

**Actual:
770 ft.**

**F21
NNE
< 1/8
0.120 mi.
631 ft.**

**HAMILTON FUNERAL HOME PROPERTY
820 EAST MAPLE ROAD
BIRMINGHAM, MI 48009**

**BEA S111832674
N/A**

Site 2 of 2 in cluster F

**Relative:
Higher**

BEA:
Secondary Address: Not reported
BEA Number: 5134
District: Southeast MI
Date Received: 03/27/2012
Submitter Name: Maple Elm Development Company, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: Not reported
Determination 20107A: No Request
Reviewer: berakr

**Actual:
770 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HAMILTON FUNERAL HOME PROPERTY (Continued)

S111832674

Division Assigned: RD

**E22
NW
< 1/8
0.122 mi.
643 ft.**

**CATALYST DEVELOPMENT CO. 8, LLC
34977 WOODWARD AVENUE
OAKLAND (County), MI**

**INVENTORY S114029235
N/A**

Site 5 of 5 in cluster E

**Relative:
Higher**

INVENTORY:
Bea Number: 200804000LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: 42.54663
Longitude: -83.21171

**Actual:
779 ft.**

**G23
SW
< 1/8
0.124 mi.
655 ft.**

**401 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009**

**EDR US Hist Auto Stat 1015471205
N/A**

Site 1 of 3 in cluster G

**Relative:
Lower**

EDR Historical Auto Stations:
Name: AUTOMOTIVE ADVISORY PARTNERS LLC
Year: 2007
Address: 401 S OLD WOODWARD AVE

**Actual:
767 ft.**

**G24
SW
1/8-1/4
0.126 mi.
665 ft.**

**GREEN'S ART SUPPLY
400 SOUTH OLD WOODWARD
OAKLAND (County), MI 48009**

**INVENTORY S116710702
N/A**

Site 2 of 3 in cluster G

**Relative:
Lower**

INVENTORY:
Bea Number: 201406069LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: Not reported
Longitude: Not reported

**Actual:
767 ft.**

**G25
SW
1/8-1/4
0.126 mi.
665 ft.**

**GREEN'S ART SUPPLY
400 SOUTH OLD WOODWARD AVENUE
BIRMINGHAM, MI 48009**

**US BROWNFIELDS 1016603767
N/A**

Site 3 of 3 in cluster G

**Relative:
Lower**

US BROWNFIELDS:
Recipient name: Oakland County Michigan
Grant type: Assessment
Property name: GREEN'S ART SUPPLY
Property #: 19-36-205-042
Parcel size: .58

**Actual:
767 ft.**

MAP FINDINGS

GREEN'S ART SUPPLY (Continued)

1016603767

Property Description:	Original development of the subject property occurred prior to 1921 with four residential dwellings. The former northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. The eastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions) until the early 1950s when the building was demolished. The central dwelling was demolished in 1930, and the northern and central portions of the subject property were redeveloped with a gasoline filling station and automotive service garage in late 1930. The former western dwelling was demolished between 1931 and 1940, and the area was converted into a parking lot. The northern and central portions of the property were occupied by SternalGs Auto Supply/Service until 1957 and Standard Oil Company in at least 1945. The southern warehouse portion of the current building was constructed between 1949 and 1952, and was historically utilized as offices for an Edsel automotive dealership until approximately 1957. The building was redeveloped for retail use in 1958 and the northern portion of the building was expanded between 1963 and 1967 to include the current layout. The property has been occupied by GreenGs Art Supply since 1958.
Latitude:	42.543816
Longitude:	-83.21211
HCM label:	Address Matching-House Number
Map scale:	Not reported
Point of reference:	Entrance Point of a Facility or Station
Datum:	North American Datum of 1983
ACRES property ID:	170095
Start date:	Not reported
Completed date:	Not reported
Acres cleaned up:	Not reported
Cleanup funding:	Not reported
Cleanup funding source:	Not reported
Assessment funding:	1200
Assessment funding source:	US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding:	Not reported
Redev. funding source:	Not reported
Redev. funding entity name:	Not reported
Redevelopment start date:	Not reported
Assessment funding entity:	EPA
Cleanup funding entity:	Not reported
Grant type:	P
Accomplishment type:	Phase I Environmental Assessment
Accomplishment count:	1
Cooperative agreement #:	00E01208
Ownership entity:	Not reported
Current owner:	Not reported
Did owner change:	Not reported
Cleanup required:	No
Video available:	No
Photo available:	Yes
Institutional controls required:	N
IC Category proprietary controls:	Not reported
IC cat. info. devices:	Not reported
IC cat. gov. controls:	Not reported
IC cat. enforcement permit tools:	Not reported
IC in place date:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

IC in place:	No
State/tribal program date:	Not reported
State/tribal program ID:	Not reported
State/tribal NFA date:	Not reported
Air contaminated:	Not reported
Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported
Drinking water affected:	Not reported
Drinking water cleaned:	Not reported
Groundwater affected:	Not reported
Groundwater cleaned:	Not reported
Lead contaminant found:	Y
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Not reported
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contaminants found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Y
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Y
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	.58
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Selenium cleaned up: Not reported
SVOCs cleaned up: Not reported
Unknown clean up: Not reported
Arsenic contaminant found: Not reported
Cadmium contaminant found: Not reported
Chromium contaminant found: Not reported
Copper contaminant found: Not reported
Iron contaminant found: Not reported
Mercury contaminant found: Not reported
Nickel contaminant found: Not reported
No contaminant found: Not reported
Pesticides contaminant found: Not reported
Selenium contaminant found: Not reported
SVOCs contaminant found: Not reported
Unknown contaminant found: Not reported
Future Use: Multistory 0
Media affected Bluiding Material: Not reported
Media affected indoor air: Not reported
Building material media cleaned up: Not reported
Indoor air media cleaned up: Not reported
Unknown media cleaned up: Not reported
Past Use: Multistory Not reported

Recipient name: Oakland County Michigan
Grant type: Assessment
Property name: GREEN'S ART SUPPLY
Property #: 19-36-205-042
Parcel size: .58

Property Description: Original development of the subject property occurred prior to 1921 with four residential dwellings. The former northern dwelling was converted into a vulcanizing operation between 1921 and 1926, which operated at the property until the structure was demolished in 1930. The eastern dwelling was redeveloped as a plumbing supply company between 1921 and 1926, which operated (and included several additions) until the early 1950s when the building was demolished. The central dwelling was demolished in 1930, and the northern and central portions of the subject property were redeveloped with a gasoline filling station and automotive service garage in late 1930. The former western dwelling was demolished between 1931 and 1940, and the area was converted into a parking lot. The northern and central portions of the property were occupied by SternalGs Auto Supply/Service until 1957 and Standard Oil Company in at least 1945. The southern warehouse portion of the current building was constructed between 1949 and 1952, and was historically utilized as offices for an Edsel automotive dealership until approximately 1957. The building was redeveloped for retail use in 1958 and the northern portion of the building was expanded between 1963 and 1967 to include the current layout. The property has been occupied by GreenGs Art Supply since 1958.

Latitude: 42.543816
Longitude: -83.21211
HCM label: Address Matching-House Number
Map scale: Not reported
Point of reference: Entrance Point of a Facility or Station
Datum: North American Datum of 1983
ACRES property ID: 170095
Start date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Completed date:	Not reported
Acres cleaned up:	Not reported
Cleanup funding:	Not reported
Cleanup funding source:	Not reported
Assessment funding:	9900
Assessment funding source:	US EPA - Brownfields Assessment Cooperative Agreement
Redevelopment funding:	Not reported
Redev. funding source:	Not reported
Redev. funding entity name:	Not reported
Redevelopment start date:	Not reported
Assessment funding entity:	EPA
Cleanup funding entity:	Not reported
Grant type:	P
Accomplishment type:	Phase II Environmental Assessment
Accomplishment count:	0
Cooperative agreement #:	00E01208
Ownership entity:	Not reported
Current owner:	Not reported
Did owner change:	Not reported
Cleanup required:	No
Video available:	No
Photo available:	Yes
Institutional controls required:	N
IC Category proprietary controls:	Not reported
IC cat. info. devices:	Not reported
IC cat. gov. controls:	Not reported
IC cat. enforcement permit tools:	Not reported
IC in place date:	Not reported
IC in place:	No
State/tribal program date:	Not reported
State/tribal program ID:	Not reported
State/tribal NFA date:	Not reported
Air contaminated:	Not reported
Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported
Drinking water affected:	Not reported
Drinking water cleaned:	Not reported
Groundwater affected:	Not reported
Groundwater cleaned:	Not reported
Lead contaminant found:	Y
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Not reported
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contams found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN'S ART SUPPLY (Continued)

1016603767

Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Y
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Y
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	.58
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	Not reported
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported
Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	0
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

H26 SSW 1/8-1/4 0.137 mi. 723 ft.	FRANKLIN SAVINGS BANK 479 S OLD WOODWARD AVE BIRMINGHAM, MI 48009 Site 1 of 5 in cluster H	UST	U003867174 N/A
--	---	------------	---------------------------------

Relative: Lower	UST:	
Actual: 765 ft.	Facility ID: 00013244 Facility Type: CLOSED Owner Name: FRANKLIN BANK Owner Address: PO BOX 5006 Owner City,St,Zip: SOUTHFIELD, MI 48086-5006 Owner Country: USA Owner Contact: Not reported Owner Phone: (248) 358-9526 Contact: DOUGLAS DOSSIN Contact Phone: (313) 358-0818 Date of Collection: 01/11/2001 Accuracy: 100 Accuracy Value Unit: FEET Horizontal Datum: NAD83 Source: STATE OF MICHIGAN Point Line Area: POINT Desc Category: Plant Entrance (Freight) Method of Collection: Address Matching-House Number Latitude: 42.54392 Longitude: -83.21143	
	Tank ID: 1 Tank Status: Removed from Ground Capacity: 1000 Product: Used Oil Install Date: Not reported Remove Date: 09/28/1988 Tank Release Detection: Not reported Pipe Release Detection: Not reported Piping Material: Unknown Piping Type: Not reported Construction Material: Asphalt Coated or Bare Steel Impressed Device: No	

H27 SSW 1/8-1/4 0.138 mi. 728 ft.	WOODWARD DETROIT CVS LLC 444 S OLD WOODWARD AVE BIRMINGHAM, MI 48009 Site 2 of 5 in cluster H	RCRA-LQG	1014954689 MIK166505639
--	--	-----------------	--

Relative: Lower	RCRA-LQG:	
Actual: 765 ft.	Date form received by agency: 01/21/2015 Facility name: WOODWARD DETROIT CVS LLC Facility address: 444 S OLD WOODWARD AVE BIRMINGHAM, MI 48009 EPA ID: MIK166505639 Mailing address: ONE CVS DR WOONSOCKET, RI 02895 Contact: WENDY L BRANT Contact address: Not reported Not reported Contact country: Not reported Contact telephone: (401) 765-1500	

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Contact email: WENDY.BRANT@CVSCAREMARK.COM
EPA Region: 05
Classification: Large Quantity Generator
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Owner/Operator Summary:

Owner/operator name: WOODWARD DETROIT CVS LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 03/31/1998
Owner/Op end date: Not reported

Owner/operator name: WOODWARD DETROIT CVS LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 03/31/1998
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

Historical Generators:

Date form received by agency: 10/22/2014

Site name: WOODWARD DETROIT CVS LLC

Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 05/16/2014

Site name: WOODWARD DETROIT CVS LLC

Classification: Large Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 02/28/2014

Site name: CVS PHARMACY #8136

Classification: Large Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: D002
. Waste name: CORROSIVE WASTE

. Waste code: D007
. Waste name: CHROMIUM

. Waste code: D009
. Waste name: MERCURY

. Waste code: D010
. Waste name: SELENIUM

. Waste code: D011
. Waste name: SILVER

. Waste code: D024
. Waste name: M-CRESOL

. Waste code: P001
. Waste name: 2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%

. Waste code: P075
. Waste name: NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS

. Waste code: P081
. Waste name: 1,2,3-PROPANETRIOL, TRINITRATE (R) (OR) NITROGLYCERINE (R)

. Waste code: P188
. Waste name: BENZOIC ACID, 2-HYDROXY-, COMPD. WITH (3AS-CIS)-1,2,3,3A,8,8A-HEXAHYDRO-1,3A,8-TRIMETHYLPYRROLO[2,3-B]INDOL-YL METHYLCARBAMATE ESTER (1:1) (OR) PHYSOSTIGMINE SALICYLATE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODWARD DETROIT CVS LLC (Continued)

1014954689

. Waste code: U122
. Waste name: FORMALDEHYDE

. Waste code: U165
. Waste name: NAPHTHALENE

. Waste code: U188
. Waste name: PHENOL

Date form received by agency: 07/29/2013
Site name: WOODWARD DETROIT CVS LLC
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 05/21/2012
Site name: WOODWARD DETROIT CVS LLC
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

**I28
NNW
1/8-1/4
0.140 mi.
738 ft.**

**WM BEAUMONT HOSPITAL
35046 WOODWARD AVE
BIRMINGHAM, MI 48009**

**RCRA-CESQG 1016453456
FINDS MIK132883016**

Site 1 of 5 in cluster I

**Relative:
Higher**

RCRA-CESQG:
Date form received by agency: 02/05/2014
Facility name: WM BEAUMONT HOSPITAL
Facility address: 35046 WOODWARD AVE
SUITE L10/SUITE L11
BIRMINGHAM, MI 48009

**Actual:
779 ft.**

EPA ID: MIK132883016
Contact: DAVE MULKA
Contact address: Not reported
Not reported
Contact country: US
Contact telephone: (248) 690-4001
Contact email: Not reported
EPA Region: 05
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WM BEAUMONT HOSPITAL (Continued)

1016453456

hazardous waste

Owner/Operator Summary:

Owner/operator name: WM BEAUMONT HOSPITAL
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 11/12/2013
Owner/Op end date: Not reported

Owner/operator name: WM BEAUMONT HOSPITAL
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 11/12/2013
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Universal Waste Summary:

Waste type: Pesticides
Accumulated waste on-site: Yes
Generated waste on-site: Yes

Waste code: D001
Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110058886987

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WM BEAUMONT HOSPITAL (Continued)

1016453456

Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**I29
NW
1/8-1/4
0.140 mi.
739 ft.**

**SUNOCO #0008-4178
35001 WOODWARD AVE
BIRMINGHAM, MI 48009**

Site 2 of 5 in cluster I

**LUST U003320721
UST N/A
BEA
WDS**

**Relative:
Higher**

LUST:

Facility ID: 00005935
Source: STATE OF MICHIGAN
Owner Name: Sunoco Inc (R&M)
Owner Address: 1735 Market St 12nd Floor
Owner City,St,Zip: Philadelphia, PA 19103
Owner Contact: Environmental Compliance Officer
Owner Phone: (215) 246-8513
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Sunoco #0008-4178
Latitude: 42.54698
Longitude: -83.21428
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0924-96
Release Date: 11/07/1996
Substance Released: Unknown
Release Status: Closed
Release Closed Date: 06/08/2010

**Actual:
779 ft.**

UST:

Facility ID: 00005935
Facility Type: CLOSED
Owner Name: SUNOCO INC (R&M)
Owner Address: 1735 MARKET ST 12ND FLOOR
Owner City,St,Zip: PHILADELPHIA, PA 19103
Owner Country: USA
Owner Contact: Environmental Compliance Officer
Owner Phone: (215) 246-8513
Contact: Kathleen McCaney
Contact Phone: (215) 246-8513
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

Method of Collection: Address Matching-House Number
Latitude: 42.54698
Longitude: -83.21428

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 6000
Product: Diesel,6
Install Date: 05/05/1982
Remove Date: 04/01/1988
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Composite(Steel w/Fiberglass),Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 1000
Product: Used Oil
Install Date: 05/05/1970
Remove Date: 04/01/1988
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Bare Steel,Fiberglass reinforced plastic
Piping Type: Gravity Fed?
Construction Material: Asphalt Coated or Bare Steel,Composite(Steel w/Fiberglass)
Impressed Device: No

Tank ID: 3
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: 05/05/1981
Remove Date: 10/01/2003
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing
Pipe Realease Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Composite(Steel w/Fiberglass)
Impressed Device: No

Tank ID: 4
Tank Status: Removed from Ground
Capacity: 8000
Product: Gasoline
Install Date: 05/05/1982
Remove Date: 10/01/2003
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing
Pipe Realease Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Composite(Steel w/Fiberglass),Fiberglass Reinforced plastic

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO #0008-4178 (Continued)

U003320721

Impressed Device: No

Tank ID: 5
Tank Status: Removed from Ground
Capacity: 8000
Product: Gasoline
Install Date: 05/05/1982
Remove Date: 10/01/2003
Tank Release Detection: Automatic Tank Gauging,Inventory Control,Tank Tightness Testing
Pipe Realease Detection: Automatic Line Leak Detectors,Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Pressure
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 6
Tank Status: Removed from Ground
Capacity: 1000
Product: Used Oil
Install Date: 04/01/1988
Remove Date: 10/14/1998
Tank Release Detection: Tank Tightness Testing
Pipe Realease Detection: Line Tightness Testing
Piping Material: Fiberglass reinforced plastic
Piping Type: Gravity Fed?
Construction Material: Composite(Steel w/Fiberglass)
Impressed Device: No

BEA:

Secondary Address: Not reported
BEA Number: 2477
District: Southeast MI
Date Received: 07/30/2004
Submitter Name: Birmingham Property, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: Environmental Response Division

WDS:

Site Id: MID087750204
WMD Id: 397695
Site Specific Name: HORTONS BIRMINGHAM SUNOCO NUMBER 84178
Mailing Address: 1801 MARKET STREET
Mailing City/State/Zip: 19103
Mailing County: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

I30 **SUNOCO GASOLINE STATION (FORMER)** **INVENTORY** **S114038915**
NW **35001 WOODWARD AVENUE** **N/A**
1/8-1/4 **OAKLAND (County), MI 48009**
0.140 mi.
739 ft. **Site 3 of 5 in cluster I**

Relative: INVENTORY:
Higher Bea Number: 200402477LV
 Township: Birmingham
Actual: District: Southeast MI
779 ft. Data Source: BEA
 Latitude: Not reported
 Longitude: Not reported

I31 **35001 WOODWARD AVE** **EDR US Hist Auto Stat** **1015442730**
NW **BIRMINGHAM, MI 48009** **N/A**
1/8-1/4
0.140 mi.
739 ft. **Site 4 of 5 in cluster I**

Relative: EDR Historical Auto Stations:
Higher Name: MORTONS BIRMINGHAM SUNOCO
 Year: 1999
Actual: Address: 35001 WOODWARD AVE
779 ft.
 Name: MORTONS BIRMINGHAM SUNOCO
 Year: 2000
 Address: 35001 WOODWARD AVE
 Name: BIRMINGHAM SUNOCO
 Year: 2001
 Address: 35001 WOODWARD AVE

I32 **SUNOCO SERVICE STATION 84178** **RCRA NonGen / NLR** **1004722718**
NW **35001 WOODWARD AVE** **FINDS** **MID087750204**
1/8-1/4 **BIRMINGHAM, MI 48009**
0.140 mi.
739 ft. **Site 5 of 5 in cluster I**

Relative: RCRA NonGen / NLR:
Higher Date form received by agency: 03/01/2004
 Facility name: SUNOCO SERVICE STATION 84178
Actual: Facility address: 35001 WOODWARD AVE
779 ft. BIRMINGHAM, MI 48009
 EPA ID: MID087750204
 Mailing address: 1801 MARKET STREET
 PHILADELPHIA, PA 19103
 Contact: LINDA HOFFMAN
 Contact address: Not reported
 Not reported
 Contact country: US
 Contact telephone: (215) 977-6841
 Contact email: Not reported
 EPA Region: 05
 Land type: Other land type
 Classification: Non-Generator
 Description: Handler: Non-Generators do not presently generate hazardous waste

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Owner/Operator Summary:

Owner/operator name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 11/08/2003
Owner/Op end date: Not reported

Owner/operator name: CURRENT OWNER-OPERATOR IS NOT REGULATED
Owner/operator address: Not reported
Not reported
Owner/operator country: US
Owner/operator telephone: Not reported
Legal status: Other
Owner/Operator Type: Owner
Owner/Op start date: 11/07/2003
Owner/Op end date: Not reported

Owner/operator name: CURRENT OWNER-OPERATOR IS NOT REGULATED
Owner/operator address: Not reported
Not reported
Owner/operator country: US
Owner/operator telephone: Not reported
Legal status: Other
Owner/Operator Type: Operator
Owner/Op start date: 11/07/2003
Owner/Op end date: Not reported

Owner/operator name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 11/08/2003
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Used oil transporter: No

Historical Generators:

Date form received by agency: 11/07/2003
Site name: SUNOCO INC
Classification: Not a generator, verified

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 11/07/2003
Site name: SUNOCO INC
Classification: Not a generator, verified

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 11/22/2002
Site name: SUNOCO INC
Classification: Large Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 10/14/1998
Site name: SUNOCO INC
Classification: Conditionally Exempt Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 01/01/1992
Site name: SUNOCO SERVICE STATION
Classification: Large Quantity Generator

Date form received by agency: 08/18/1980
Site name: SUNOCO INC
Classification: Conditionally Exempt Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Facility Has Received Notices of Violations:

Regulation violated: Not reported
Area of violation: State Statute or Regulation
Date violation determined: 11/22/2002
Date achieved compliance: 03/13/2003
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 12/05/2002
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

Regulation violated: Not reported
Area of violation: Universal Waste - Small Quantity Handlers
Date violation determined: 11/22/2002
Date achieved compliance: 03/13/2003
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 12/05/2002
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Used Oil - Generators
Date violation determined: 11/22/2002
Date achieved compliance: 03/13/2003
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 12/05/2002
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 11/22/2002
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Used Oil - Generators
Date achieved compliance: 03/13/2003
Evaluation lead agency: State

Evaluation date: 11/22/2002
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Universal Waste - Small Quantity Handlers
Date achieved compliance: 03/13/2003
Evaluation lead agency: State

Evaluation date: 11/22/2002
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: State Statute or Regulation
Date achieved compliance: 03/13/2003
Evaluation lead agency: State

FINDS:

Registry ID: 110003607124

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUNOCO SERVICE STATION 84178 (Continued)

1004722718

corrective action activities required under RCRA.

HAZARDOUS WASTE BIENNIAL REPORTER

33
East
1/8-1/4
0.140 mi.
741 ft.

955 FOREST AVE
BIRMINGHAM, MI 48009

EDR US Hist Cleaners 1015108464
N/A

Relative:
Lower

EDR Historical Cleaners:

Name: TRI CITY CLEANERS INC
Year: 2001
Address: 955 FOREST AVE

Actual:
763 ft.

Name: TRI CITY CLEANERS INC
Year: 2002
Address: 955 FOREST AVE

H34
SSW
1/8-1/4
0.144 mi.
762 ft.

458 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

EDR US Hist Cleaners 1015063709
N/A

Site 3 of 5 in cluster H

Relative:
Lower

EDR Historical Cleaners:

Name: MITCHELL GEORGE E CLEANERS
Year: 2001
Address: 458 S OLD WOODWARD AVE

Actual:
765 ft.

Name: GEORGE E MITCHELL CLEANERS
Year: 2004
Address: 458 S OLD WOODWARD AVE

Name: GEORGE E MITCHELL CLEANERS
Year: 2006
Address: 458 S OLD WOODWARD AVE

Name: GEORGE E MITCHELL CLEANERS
Year: 2007
Address: 458 S OLD WOODWARD AVE

Name: GEORGE E MITCHELL CLEANERS INC
Year: 2008
Address: 458 S OLD WOODWARD AVE

Name: GEORGE E MITCHELL CLEANERS
Year: 2010
Address: 458 S OLD WOODWARD AVE

Name: MITCHELL GEORGE E CLEANERS
Year: 2011
Address: 458 S OLD WOODWARD AVE

Name: GEORGE MITCHELL CLEANERS WOODWARD

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

(Continued)

1015063709

Year: 2012
Address: 458 S OLD WOODWARD AVE

35
West
1/8-1/4
0.145 mi.
767 ft.

ESSCO OF BIRMINGHAM LLC
255 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA-CESQG

1017770828
MIK656803600

Relative:
Higher

RCRA-CESQG:

Actual:
772 ft.

Date form received by agency: 01/21/2015
Facility name: ESSCO OF BIRMINGHAM LLC
Facility address: 255 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
EPA ID: MIK656803600
Mailing address: 210 OLD WOODWARD AVE
SUITE 230
BIRMINGHAM, MI 48009
Contact: STEFANIE FOUMIA
Contact address: Not reported
Not reported
Contact country: Not reported
Contact telephone: (248) 645-5900
Contact email: JESSHAKI@ESSCODEVELOPMENT.COM
EPA Region: 05
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: ESSCO OF BIRMINGHAM LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 06/01/2000
Owner/Op end date: Not reported

Owner/operator name: ESSCO OF BIRMINGHAM LLC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESSCO OF BIRMINGHAM LLC (Continued)

1017770828

Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 06/01/2000
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Waste code: D001
Waste name: IGNITABLE WASTE

Violation Status: No violations found

H36
SSW
1/8-1/4
0.146 mi.
772 ft.

**ESTATE MOTORS LTD
464 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009**

**LUST U003330063
WDS N/A**

Site 4 of 5 in cluster H

Relative:
Lower

LUST:

Facility ID: 00015180
Source: STATE OF MICHIGAN
Owner Name: OWNER ADDRESS UNKNOWN
Owner Address: Not Recorded
Owner City,St,Zip: Not Recorded, XX 99999
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Estate Motors
Latitude: 42.54384
Longitude: -83.21181
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Actual:
765 ft.

Leak Number: C-1669-91
Release Date: 08/09/1991
Substance Released: Unknown
Release Status: Closed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS LTD (Continued)

U003330063

Release Closed Date: 01/06/1993

Leak Number: C-2071-92

Release Date: 11/20/1992

Substance Released: Gasoline

Release Status: Closed

Release Closed Date: 06/30/1994

WDS:

Site Id: MID040571135

WMD Id: 395465

Site Specific Name: ESTATE MOTORS LTD

Mailing Address: 464 S OLD WOODWARD AVE

Mailing City/State/Zip: 48009

Mailing County: OAKLAND

H37
SSW
1/8-1/4
0.146 mi.
772 ft.

ESTATE MOTORS LTD
464 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA NonGen / NLR **1000158893**
FINDS **MID040571135**

Site 5 of 5 in cluster H

Relative:
Lower

RCRA NonGen / NLR:

Date form received by agency: 11/02/1998

Facility name: ESTATE MOTORS LTD

Facility address: 464 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

EPA ID: MID040571135

Contact: JOHN POLK

Contact address: 464 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

Contact country: US

Contact telephone: (313) 644-8400

Contact email: Not reported

EPA Region: 05

Classification: Non-Generator

Description: Handler: Non-Generators do not presently generate hazardous waste

Actual:
765 ft.

Owner/Operator Summary:

Owner/operator name: NAME NOT REPORTED

Owner/operator address: Not reported

Not reported

Owner/operator country: Not reported

Owner/operator telephone: Not reported

Legal status: Private

Owner/Operator Type: Operator

Owner/Op start date: 01/01/1970

Owner/Op end date: Not reported

Owner/operator name: HESQUIERE CHARLES G JR

Owner/operator address: Not reported

Not reported

Owner/operator country: Not reported

Owner/operator telephone: Not reported

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: 01/01/1970

Owner/Op end date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ESTATE MOTORS LTD (Continued)

1000158893

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 10/06/1986
Site name: ESTATE MOTORS LTD
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003593111

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

38
SSW
1/8-1/4
0.164 mi.
865 ft.

555 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

EDR US Hist Auto Stat 1015552167
N/A

Relative:
Lower

EDR Historical Auto Stations:

Name: PETES BODY SHOP
Year: 2012
Address: 555 S OLD WOODWARD AVE

Actual:
763 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

39
WNW
1/8-1/4
0.164 mi.
868 ft.

BURTON KATZMAN
336 E MAPLE RD
BIRMINGHAM, MI 48009

RCRA NonGen / NLR **1007990194**
MIK851343467

Relative:
Higher

RCRA NonGen / NLR:

Actual:
780 ft.

Date form received by agency: 11/01/2005
Facility name: BURTON KATZMAN
Facility address: 336 E MAPLE RD
BIRMINGHAM, MI 48009
EPA ID: MIK851343467
Mailing address: 30100 TELEGRAPH RD
BINGHAM FARMS, MI 48025
Contact: COLLEEN LOREDO
Contact address: 336 E MAPLE RD
BIRMINGHAM, MI 48009
Contact country: US
Contact telephone: (313) 382-2500
Contact email: Not reported
EPA Region: 05
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 11/02/2005
Owner/Op end date: Not reported

Owner/operator name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 11/02/2005
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BURTON KATZMAN (Continued)

1007990194

Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 02/22/2005
Site name: BURTON KATZMAN
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 01/01/1980
Site name: BURTON KATZMAN
Classification: Not a generator, verified

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

J40
SSE
1/8-1/4
0.165 mi.
869 ft.

GOLLING MOTORS, INC.
34500 WOODWARD AVENUE
BIRMINGHAM, MI 48009

INVENTORY S111333595
BEA N/A

Site 1 of 2 in cluster J

Relative:
Lower

INVENTORY:
Bea Number: Not reported
Township: Birmingham
District: Southeast MI
Data Source: Part 201
Latitude: 42.54345
Longitude: -83.20896

Actual:
762 ft.

BEA:

Secondary Address: Not reported
BEA Number: 4941
District: Southeast MI
Date Received: 10/05/2011
Submitter Name: Golling Motors, Inc.
Petition Determination: No Request
Petition Disclosure: 0
Category: Not reported
Determination 20107A: No Request
Reviewer: berakr
Division Assigned: RD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

J41
SSE
1/8-1/4
0.165 mi.
869 ft.

GOLLING MOTORS, INC.
34500 WOODWARD AVENUE
OAKLAND (County), MI 48009

INVENTORY S114029283
N/A

Site 2 of 2 in cluster J

Relative:
Lower

INVENTORY:
Bea Number: 201104941LV
Township: Birmingham
District: Southeast MI
Data Source: BEA
Latitude: 42.54345
Longitude: -83.20896

Actual:
762 ft.

42
West
1/8-1/4
0.166 mi.
879 ft.

UPTOWN ENTERTAINMENT
211 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA NonGen / NLR 1016958103
MIK151544753

Relative:
Higher

RCRA NonGen / NLR:
Date form received by agency: 01/10/2014
Facility name: UPTOWN ENTERTAINMENT
Facility address: 211 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
EPA ID: MIK151544753
Contact: DUSTIN HAURWELL
Contact address: Not reported
Not reported
Contact country: Not reported
Contact telephone: (248) 723-6230
Contact email: Not reported
EPA Region: 05
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Actual:
776 ft.

Owner/Operator Summary:

Owner/operator name: UPTOWN ENTERTAINMENT
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/10/2014
Owner/Op end date: Not reported

Owner/operator name: UPTOWN ENTERTAINMENT
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 01/10/2014
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

UPTOWN ENTERTAINMENT (Continued)

1016958103

Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

**K43
NE
1/8-1/4
0.178 mi.
940 ft.**

**PARKING LOT (DIETZ CORP)
985 E MAPLE RD
BIRMINGHAM, MI 48009**

**INVENTORY S102851965
LUST N/A
BEA**

Site 1 of 4 in cluster K

**Relative:
Lower**

INVENTORY:
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54696
Longitude: -83.20728

**Actual:
767 ft.**

LUST:
Facility ID: 50002129
Source: STATE OF MICHIGAN
Owner Name: Nrt Owner
Owner Address: Unknown
Owner City,St,Zip: Unknown, MI 99999
Owner Contact: Not reported
Owner Phone: Not reported
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Parking Lot (dietz Corp)
Latitude: 42.54696
Longitude: -83.20728
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0999-97
Release Date: 10/14/1997
Substance Released: Unknown

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PARKING LOT (DIETZ CORP) (Continued)

S102851965

Release Status: Open
Release Closed Date: Not reported

BEA:

Secondary Address: Not reported
BEA Number: 430
District: Southeast MI
Date Received: 09/12/1997
Submitter Name: PAUL DIETZ
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: Affirmed
Reviewer: temppm
Division Assigned: Storage Tank Division

Secondary Address: Not reported
BEA Number: 566
District: Southeast MI
Date Received: 03/23/1998
Submitter Name: BSP REALTY
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: Affirmed
Reviewer: temppm
Division Assigned: Storage Tank Division

**K44
NE
1/8-1/4
0.183 mi.
966 ft.**

**OSOS TONTOS LLC
985 EAST MAPLE
BIRMINGHAM, MI 48104
Site 2 of 4 in cluster K**

**BEA S113828182
N/A**

**Relative:
Lower**

BEA:

Secondary Address: Not reported
BEA Number: 5627
District: Southeast MI
Date Received: 06/25/2013
Submitter Name: Osos Tontos LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: Not reported
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: Storage Tank Division

**Actual:
768 ft.**

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

K45
NE
1/8-1/4
0.185 mi.
976 ft.

ELMWOOD PROPERTIES I, LLC
920-970 EAST MAPLE ROAD
BIRMINGHAM, MI

BEA **S104912490**
N/A

Site 3 of 4 in cluster K

Relative:
Lower

BEA:
Secondary Address: Not reported
BEA Number: 1133
District: Southeast MI
Date Received: 05/02/2000
Submitter Name: ELMWOOD PROPERTIES I, LLC
Petition Determination: Affirmed
Petition Disclosure: 1
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: temppm
Division Assigned: Environmental Response Division

Actual:
767 ft.

K46
ENE
1/8-1/4
0.187 mi.
987 ft.

BUDGET RENT-A-CAR
1000 E MAPLE
BIRMINGHAM, MI 48174

INVENTORY **U000261651**
LUST **N/A**
UST
WDS

Site 4 of 4 in cluster K

Relative:
Lower

INVENTORY:
Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.5467
Longitude: -83.20654

Actual:
766 ft.

LUST:
Facility ID: 00007720
Source: STATE OF MICHIGAN
Owner Name: Conine Rentals, Inc
Owner Address: 8715 Wickham Rd
Owner City,St,Zip: Romulus, MI 48174-1915
Owner Contact: Not reported
Owner Phone: (734) 326-6880
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Budget Rent A Car
Latitude: 42.54670
Longitude: -83.20653
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0844-90
Release Date: 05/11/1990
Substance Released: Not reported
Release Status: Open
Release Closed Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUDGET RENT-A-CAR (Continued)

U000261651

Leak Number: C-0990-90
Release Date: 06/01/1990
Substance Released: Not reported
Release Status: Open
Release Closed Date: Not reported

UST:

Facility ID: 00007720
Facility Type: CLOSED
Owner Name: CONINE RENTALS, INC
Owner Address: 8715 WICKHAM RD
Owner City,St,Zip: ROMULUS, MI 48174-1915
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (734) 326-6880
Contact: MARY BOYD
Contact Phone: (313) 540-3211
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.54670
Longitude: -83.20653

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 10000
Product: Gasoline
Install Date: Not reported
Remove Date: 06/17/1991
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 10000
Product: Gasoline
Install Date: Not reported
Remove Date: 06/17/1991
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 3
Tank Status: Removed from Ground

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUDGET RENT-A-CAR (Continued)

U000261651

Capacity: 1000
Product: Kerosene
Install Date: Not reported
Remove Date: 06/17/1991
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 4
Tank Status: Removed from Ground
Capacity: 550
Product: Used Oil
Install Date: Not reported
Remove Date: 06/17/1991
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

WDS:

Site Id: MIG000018867
WMD Id: 453923
Site Specific Name: BUDGET RENT A CAR
Mailing Address: 1000 E MAPLE RD
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

L47
South
1/8-1/4
0.191 mi.
1008 ft.

606 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

EDR US Hist Cleaners 1015080108
N/A

Site 1 of 2 in cluster L

Relative:
Lower

EDR Historical Cleaners:
Name: SOMERSET CLNR & SHIRT LNDRY
Year: 2002
Address: 606 S OLD WOODWARD AVE

Actual:
762 ft.

Name: SOMERSET CLNR & SHIRT LNDRY
Year: 2003
Address: 606 S OLD WOODWARD AVE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

L48
South
1/8-1/4
0.192 mi.
1013 ft.

608 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

EDR US Hist Cleaners 1015080306
N/A

Site 2 of 2 in cluster L

Relative:
Lower

EDR Historical Cleaners:

Name: SOMERSET CLEANERS & SHIRT LAUNDRY
Year: 1999
Address: 608 S OLD WOODWARD AVE

Actual:
762 ft.

Name: ESQUIRE CLEANERS
Year: 2011
Address: 608 S OLD WOODWARD AVE

Name: ESQUIRE CLEANERS
Year: 2012
Address: 608 S OLD WOODWARD AVE

49
WNW
1/8-1/4
0.194 mi.
1022 ft.

BIRMINGHAM CAMERA SHOP
168 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA NonGen / NLR 1000828149
FINDS MID985652064

Relative:
Higher

RCRA NonGen / NLR:

Date form received by agency: 06/20/1994
Facility name: BIRMINGHAM CAMERA SHOP
Facility address: 168 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
EPA ID: MID985652064
Contact: WILLIAM DAY
Contact address: 168 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

Actual:
779 ft.

Contact country: US
Contact telephone: (248) 644-0510
Contact email: Not reported
EPA Region: 05
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: DAY WILLIAM
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 01/01/1970
Owner/Op end date: Not reported

Owner/operator name: DAY WILLIAM
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM CAMERA SHOP (Continued)

1000828149

Owner/Op start date: 01/01/1970
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 10/01/1992
Site name: BIRMINGHAM CAMERA SHOP
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003675443

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

50
SE
1/8-1/4
0.194 mi.
1023 ft.

880 BOWERS ST
BIRMINGHAM, MI 48009

EDR US Hist Auto Stat 1015661800
N/A

Relative:
Lower

EDR Historical Auto Stations:

Name: PARMLEYS PAINT & BODY WORKS
Year: 2001
Address: 880 BOWERS ST

Actual:
760 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

(Continued)

1015661800

Name: PARMLEYS PAINT & BODY WORKS
Year: 2002
Address: 880 BOWERS ST

Name: PARMLEYS PAINT & BODY WORKS
Year: 2003
Address: 880 BOWERS ST

Name: PRMLYS PAINT & BODY WORKS INC
Year: 2004
Address: 880 BOWERS ST

Name: PARMLEYS PAINT & BODY WORKS INC
Year: 2007
Address: 880 BOWERS ST

Name: PARMLEYS PAINT & BODY WORKS INC
Year: 2008
Address: 880 BOWERS ST

Name: PARMLEYS PAINT & BODY WORKS INC
Year: 2009
Address: 880 BOWERS ST

Name: PARMLEYS PAINT & BODY WORKS
Year: 2010
Address: 880 BOWERS ST

Name: PARMLEYS PAINT & BODY WORKS INC
Year: 2011
Address: 880 BOWERS ST

Name: PARMLEYS PAINT & BODY WORKS INC
Year: 2012
Address: 880 BOWERS ST

M51
ENE
1/8-1/4
0.220 mi.
1159 ft.

1065 E MAPLE RD
BIRMINGHAM, MI 48009

Site 1 of 5 in cluster M

EDR US Hist Auto Stat 1015143182
N/A

Relative:
Lower

EDR Historical Auto Stations:

Actual:
765 ft.

Name: ADAMS MAPLE MOBIL
Year: 1999
Address: 1065 E MAPLE RD

Name: ADAMS MAPLE MOBIL
Year: 2000
Address: 1065 E MAPLE RD

Name: ADAMS MPL MOBIL MJR & MINOR
Year: 2001
Address: 1065 E MAPLE RD

Name: ADAMS MAPLE MOBIL
Year: 2002
Address: 1065 E MAPLE RD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

(Continued)

1015143182

Name: ADAMS MAPLE MOBIL
Year: 2003
Address: 1065 E MAPLE RD

Name: ADAMS MAPLE MOBIL
Year: 2005
Address: 1065 E MAPLE RD

Name: MAPLE ADAMS MOBIL STATION
Year: 2008
Address: 1065 E MAPLE RD

Name: MAPLE ADAMS MOBIL STATION
Year: 2009
Address: 1065 E MAPLE RD

Name: MAPLE ADAMS MOBIL STATION
Year: 2010
Address: 1065 E MAPLE RD

Name: MAPLE ADAMS MOBIL STATION
Year: 2011
Address: 1065 E MAPLE RD

Name: MAPLE ADAMS MOBIL STATION
Year: 2012
Address: 1065 E MAPLE RD

M52
ENE
1/8-1/4
0.220 mi.
1159 ft.

MOBIL GASOLINE STATION
1065 MAPLE ROAD
BIRMINGHAM, MI
Site 2 of 5 in cluster M

BEA S107702185
N/A

Relative:
Lower

BEA:
Secondary Address: Not reported
BEA Number: 2493
District: Southeast MI
Date Received: 08/16/2004
Submitter Name: Hannawa Adams, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: Same Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: schlaufj
Division Assigned: Storage Tank Division

Actual:
765 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

M53
ENE
1/8-1/4
0.220 mi.
1159 ft.

MOBIL OIL CORP
1065 E MAPLE RD
BIRMINGHAM, MI 48009

RCRA NonGen / NLR **1000528625**
FINDS **MID985610443**

Site 3 of 5 in cluster M

Relative:
Lower

RCRA NonGen / NLR:

Actual:
765 ft.

Date form received by agency: 12/31/2001
Facility name: MOBIL OIL CORP
Facility address: 1065 E MAPLE RD
BIRMINGHAM, MI 48009
EPA ID: MID985610443
Mailing address: 30 OAK HOLLOW ST
SOUTHFIELD, MI 4803
Contact: DAVID WRIGHT
Contact address: 1065 E MAPLE RD
BIRMINGHAM, MI 48009
Contact country: US
Contact telephone: (313) 948-5028
Contact email: Not reported
EPA Region: 05
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 01/01/2002
Owner/Op end date: Not reported

Owner/operator name: NO ACTIVE O/OP AS NOT GENERATING WASTE
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/01/2002
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MOBIL OIL CORP (Continued)

1000528625

Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 04/09/1991
Site name: MOBIL OIL CORP
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003655688

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

N54
South
1/8-1/4
0.220 mi.
1159 ft.

VILLAGE JEEP EAGLE
666 S WOODWARD
BIRMINGHAM, MI 48098

Site 1 of 3 in cluster N

UST U003320620
N/A

Relative:
Lower

UST:

Actual:
760 ft.

Facility ID: 00005612
Facility Type: ACTIVE
Owner Name: CHRYSLER REALTY CORP
Owner Address: 1450 W LONG LAKE RD STE 280
Owner City,St,Zip: TROY, MI 48098
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (313) 737-0299
Contact: F.G. NEUMAN
Contact Phone: (313) 229-8639
Date of Collection: Not reported
Accuracy: 15
Accuracy Value Unit: METERS
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Not reported
Method of Collection: Interpolation-Map
Latitude: 42.54253
Longitude: -83.20964

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VILLAGE JEEP EAGLE (Continued)

U003320620

Tank ID: 1
Tank Status: **Removed from Ground**
Capacity: 250
Product: Not reported
Install Date: 05/07/1966
Remove Date: 08/30/1990
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 2
Tank Status: **Currently In Use**
Capacity: 50
Product: HYD. FLUID
Install Date: 05/07/1966
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 3
Tank Status: **Currently In Use**
Capacity: 50
Product: HYD. FLUID
Install Date: 05/07/1966
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 4
Tank Status: **Currently In Use**
Capacity: 50
Product: HYD. FLUID
Install Date: 05/07/1966
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 5

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VILLAGE JEEP EAGLE (Continued)

U003320620

Tank Status: Currently In Use
Capacity: 50
Product: HYD FLUID
Install Date: 05/07/1966
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 6
Tank Status: Currently In Use
Capacity: 50
Product: HYD. FLUID
Install Date: 05/07/1966
Remove Date: Not reported
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

N55
South
1/8-1/4
0.223 mi.
1177 ft.

VILLAGE AMC/JEEP INC
666 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009

RCRA NonGen / NLR 1000276202
FINDS MID058819707

Site 2 of 3 in cluster N

Relative:
Lower

RCRA NonGen / NLR:
Date form received by agency: 09/17/1998
Facility name: VILLAGE AMC/JEEP INC
Facility address: 666 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
EPA ID: MID058819707
Contact: ROBERT CANN
Contact address: 666 S OLD WOODWARD AVE
BIRMINGHAM, MI 48009
Contact country: US
Contact telephone: (313) 646-3900
Contact email: Not reported
EPA Region: 05
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Actual:
760 ft.

Owner/Operator Summary:

Owner/operator name: VILLAGE AMC/JEEP INC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/01/1970

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

VILLAGE AMC/JEEP INC (Continued)

1000276202

Owner/Op end date: Not reported

Owner/operator name: VILLAGE AMC/JEEP INC

Owner/operator address: Not reported

Not reported

Owner/operator country: Not reported

Owner/operator telephone: Not reported

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: 01/01/1970

Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Mixed waste (haz. and radioactive): No

Recycler of hazardous waste: No

Transporter of hazardous waste: No

Treater, storer or disposer of HW: No

Underground injection activity: No

On-site burner exemption: No

Furnace exemption: No

Used oil fuel burner: No

Used oil processor: No

User oil refiner: No

Used oil fuel marketer to burner: No

Used oil Specification marketer: No

Used oil transfer facility: No

Used oil transporter: No

. Waste code: D001

. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 09/09/1985

Site name: VILLAGE AMC/JEEP INC

Classification: Small Quantity Generator

. Waste code: D001

. Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003599428

Environmental Interest/Information System

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Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

56
WNW
1/8-1/4
0.227 mi.
1199 ft.

FULLER CENTRAL PARK PROPERTIES LLC
111 S OLD WOODWARD
BIRMINGHAM, MI 48009

RCRA-CESQG 1016142307
FINDS MIK478599987

Relative:
Higher

RCRA-CESQG:

Date form received by agency: 03/12/2013

Facility name: FULLER CENTRAL PARK PROPERTIES LLC

Facility address: 111 S OLD WOODWARD
BIRMINGHAM, MI 48009

EPA ID: MIK478599987

Mailing address: 112 PEABODY ST
BIRMINGHAM, MI 48009

Contact: STEVEN G QUINTAL

Contact address: Not reported

Contact address: Not reported

Contact country: US

Contact telephone: (248) 642-0024

Contact email: STEVE@FULLERCENTRALPARK.COM

EPA Region: 05

Classification: Conditionally Exempt Small Quantity Generator

Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: FULLER CENTRAL PARK PROPERTIES LLC

Owner/operator address: Not reported

Owner/operator address: Not reported

Owner/operator country: Not reported

Owner/operator telephone: Not reported

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: 06/01/1976

Owner/Op end date: Not reported

Owner/operator name: FULLER CENTRAL PARK PROPERTIES LLC

Owner/operator address: Not reported

Owner/operator address: Not reported

Owner/operator country: Not reported

Owner/operator telephone: Not reported

Legal status: Private

Owner/Operator Type: Operator

Owner/Op start date: 06/01/1976

Owner/Op end date: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FULLER CENTRAL PARK PROPERTIES LLC (Continued)

1016142307

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

. Waste code: D001
 . Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110055448608

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

M57
ENE
1/8-1/4
0.231 mi.
1218 ft.

AMOCO OIL CO
1088 E MAPLE RD
BIRMINGHAM, MI 48009

Site 4 of 5 in cluster M

RCRA NonGen / NLR **1000529367**
FINDS **MID985618065**

Relative:
Lower

RCRA NonGen / NLR:

Date form received by agency: 09/17/1998

Facility name: AMOCO OIL CO
 Facility address: 1088 E MAPLE RD
 BIRMINGHAM, MI 48009

EPA ID: MID985618065
 Mailing address: 30230 ORCHARD LAKE RD
 FARMINGTON HILLS, MI 48334

Contact: KAYE CLEGHORN
 Contact address: 1088 E MAPLE RD
 BIRMINGHAM, MI 48009

Contact country: US
 Contact telephone: (313) 855-1060
 Contact email: Not reported

EPA Region: 05
 Classification: Non-Generator

Description: Handler: Non-Generators do not presently generate hazardous waste

Actual:
764 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

AMOCO OIL CO (Continued)

1000529367

Owner/Operator Summary:

Owner/operator name: AMOCO OIL CO
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/01/1970
Owner/Op end date: Not reported

Owner/operator name: AMOCO OIL CO
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 01/01/1970
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 06/02/1991
Site name: AMOCO OIL CO
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003660459

Environmental Interest/Information System

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

AMOCO OIL CO (Continued)

1000529367

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

M58
ENE
1/8-1/4
0.231 mi.
1218 ft.

BIRMINGHAM STANDARD
1088 E MAPLE RD
BIRMINGHAM, MI 48009
Site 5 of 5 in cluster M

LUST **U000261690**
UST **N/A**
WDS

Relative:
Lower

LUST:
Facility ID: 00001897
Source: STATE OF MICHIGAN
Owner Name: Birmingham Standard
Owner Address: 4215 Yorba Linda Blvd
Owner City,St,Zip: Royal Oak, MI 48073-6463
Owner Contact: Not reported
Owner Phone: (313) 642-4888
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Amoco #5349
Latitude: 42.54671
Longitude: -83.20611
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Actual:
764 ft.

Leak Number: C-0863-85
Release Date: 01/01/1900
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 05/21/1996

UST:
Facility ID: 00001897
Facility Type: CLOSED
Owner Name: BIRMINGHAM STANDARD
Owner Address: 4215 YORBA LINDA BLVD
Owner City,St,Zip: ROYAL OAK, MI 48073-6463
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (313) 642-4888
Contact: J E WESTON
Contact Phone: (734) 953-7013
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.54671
Longitude: -83.20611

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 4000
Product: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 4000
Product: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 3
Tank Status: Removed from Ground
Capacity: 5500
Product: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 4
Tank Status: Removed from Ground
Capacity: 5500
Product: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BIRMINGHAM STANDARD (Continued)

U000261690

Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 5
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: 04/11/1952
Remove Date: 11/22/1994
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 6
Tank Status: Removed from Ground
Capacity: 560
Product: Diesel
Install Date: 04/11/1952
Remove Date: 01/31/1994
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 7
Tank Status: Removed from Ground
Capacity: 560
Product: Used Oil
Install Date: 04/11/1986
Remove Date: 11/22/1994
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel, Cathodically Protected Steel
Impressed Device: No

WDS:

Site Id: MID985618065
WMD Id: 405686
Site Specific Name: AMOCO OIL CO 5349 BIRMINGHAM
Mailing Address: 30230 ORCHARD LAKE RD
Mailing City/State/Zip: 48334
Mailing County: OAKLAND

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

O59 **GOODYEAR TIRE CENTER 1685**
SSE **835 HAYNES ST**
1/8-1/4 **BIRMINGHAM, MI 48009**
0.232 mi.
1224 ft. **Site 1 of 3 in cluster O**

LUST **U000263055**
UST **N/A**
WDS

Relative:
Lower

LUST:
Facility ID: 00021777
Source: STATE OF MICHIGAN
Owner Name: Goodyear Tire Center
Owner Address: Po Box 5099
Owner City,St,Zip: Southfield, MI 48086-5099
Owner Contact: Not reported
Owner Phone: (734) 647-3370
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Goodyear Tire & Rubber Co
Latitude: 42.54196
Longitude: -83.20949
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Actual:
759 ft.

Leak Number: C-0700-93
Release Date: 06/04/1993
Substance Released: Used Oil
Release Status: Closed
Release Closed Date: 09/30/1994

UST:
Facility ID: 00021777
Facility Type: CLOSED
Owner Name: GOODYEAR TIRE CENTER
Owner Address: PO BOX 5099
Owner City,St,Zip: SOUTHFIELD, MI 48086-5099
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (734) 647-3370
Contact: ERIC SCHULTZ
Contact Phone: (734) 647-3370
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.54196
Longitude: -83.20949

Tank ID: 1
Tank Status: **Removed from Ground**
Capacity: 500
Product: Used Oil
Install Date: 04/16/1975

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GOODYEAR TIRE CENTER 1685 (Continued)

U000263055

Remove Date: 06/04/1993
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Bare Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

WDS:

Site Id: MID985643790
WMD Id: 407279
Site Specific Name: HALBEISEN TOM INC
Mailing Address: 835 HAYNES ST
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

O60
SSE
1/8-1/4
0.232 mi.
1224 ft.

835 HAYNES ST
BIRMINGHAM, MI 48009

EDR US Hist Auto Stat 1015651826
N/A

Site 2 of 3 in cluster O

Relative:
Lower

EDR Historical Auto Stations:

Name: GOODYEAR TIRE CENTERS
Year: 2001

Actual:
759 ft.

Address: 835 HAYNES ST

O61
SSE
1/8-1/4
0.232 mi.
1224 ft.

HALBEISEN TOM INC
835 HAYNES ST
BIRMINGHAM, MI 48009

RCRA-CESQG 1000691549
FINDS MID985643790

Site 3 of 3 in cluster O

Relative:
Lower

RCRA-CESQG:

Date form received by agency: 04/19/2004
Facility name: HALBEISEN TOM INC
Facility address: 835 HAYNES ST
BIRMINGHAM, MI 48009
EPA ID: MID985643790
Contact: THOMAS HALBEISEN
Contact address: 835 HAYNES ST
BIRMINGHAM, MI 48009

Actual:
759 ft.

Contact country: US
Contact telephone: (248) 647-3370
Contact email: Not reported
EPA Region: 05
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: HALBEISEN TOM INC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 06/05/1992
Owner/Op end date: Not reported

Owner/operator name: HALBEISEN TOM INC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 06/05/1992
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 07/22/2003
Site name: HALBEISEN TOM INC
Classification: Conditionally Exempt Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 06/23/2003

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HALBEISEN TOM INC (Continued)

1000691549

Site name: HALBEISEN TOM INC
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 11/16/1998
Site name: HALBEISEN TOM INC
Classification: Not a generator, verified

. Waste code: D001
. Waste name: IGNITABLE WASTE

Date form received by agency: 06/05/1992
Site name: HALBEISEN TOM INC
Classification: Small Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

FINDS:

Registry ID: 110003671893

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

N62
South
1/8-1/4
0.239 mi.
1261 ft.

JIMMIES RUSTICS
690 SOUTH OLD WOODWARD
BIRMINGHAM, MI

BEA S107596787
N/A

Site 3 of 3 in cluster N

Relative:
Lower

BEA:
Secondary Address: Not reported
BEA Number: 3058
District: Southeast MI
Date Received: 02/08/2006
Submitter Name: Perimeter Properties
Petition Determination: No Request
Petition Disclosure: 0
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: williams
Division Assigned: Environmental Response Division

Actual:
759 ft.

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance	Site	Database(s)	
Elevation			

63 WSW 1/8-1/4 0.243 mi. 1281 ft.	BROWN STREET OFFICE BUILDING 200 EAST BROWN BIRMINGHAM, MI	BEA	S109094147 N/A
--	---	------------	--------------------------

Relative: Higher	BEA:	Secondary Address: Not reported BEA Number: 3891 District: Southeast MI Date Received: 05/02/2008 Submitter Name: SMS & Associates, LLC Petition Determination: Affirmed Petition Disclosure: 1 Category: No Hazardous Substance(s) Determination 20107A: No Request Reviewer: tiernang Division Assigned: RRD
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64 NW 1/8-1/4 0.248 mi. 1309 ft.	300 PARK ST BIRMINGHAM, MI 48009	EDR US Hist Auto Stat	1015399803 N/A
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Relative: Higher	EDR Historical Auto Stations:	Name: PHOENIX AUTOMOTIVE Year: 2006 Address: 300 PARK ST
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P65 South 1/4-1/2 0.262 mi. 1382 ft.	WOODWARD AND GEORGE, LLC 772-784 SOUTH OLD WOODWARD OAKLAND (County), MI 48009 Site 1 of 3 in cluster P	INVENTORY	S114039925 N/A
---	---	-----------	--------------------------

Relative: Lower	INVENTORY:	Bea Number: 200804025LV Township: Birmingham District: Southeast MI Data Source: BEA Latitude: Not reported Longitude: Not reported
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P66 South 1/4-1/2 0.262 mi. 1382 ft.	TIFFANY FLORIST 772-784 S OLD WOODWARD BIRMINGHAM, MI 48009 Site 2 of 3 in cluster P	INVENTORY LUST UST	U004123610 N/A
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Relative: Lower	INVENTORY:	Bea Number: Not reported Township: Not reported District: Southeast MI Data Source: Part 213 Latitude: 42.54149 Longitude: -83.20968
---------------------------	------------	---

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TIFFANY FLORIST (Continued)

U004123610

LUST:

Facility ID: 00042132
Source: STATE OF MICHIGAN
Owner Name: Virginia C Clohset Trust
Owner Address: c/o Phil Clohset1595 Northlawn
Owner City,St,Zip: Birmingham, MI 48009
Owner Contact: Not reported
Owner Phone: (248) 646-6534
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Tiffany Florist
Latitude: 42.54149
Longitude: -83.20967
Date of Collection: 03/14/2014
Method of Collection: Interpolation-Photo
Accuracy: 10
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0157-08
Release Date: 07/21/2008
Substance Released: Gasoline,Gasoline
Release Status: Open
Release Closed Date: Not reported

UST:

Facility ID: 00042132
Facility Type: CLOSED
Owner Name: VIRGINIA C CLOHSET TRUST
Owner Address: C/O PHIL CLOHSET1595 NORTHLAWN
Owner City,St,Zip: BIRMINGHAM, MI 48009
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (248) 646-6534
Contact: Phil Clohset
Contact Phone: (248) 646-6534
Date of Collection: 03/14/2014
Accuracy: 10
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Interpolation-Photo
Latitude: 42.54149
Longitude: -83.20967

Tank ID: 1
Tank Status: Closed in Ground
Capacity: 1000
Product: Gasoline
Install Date: 01/01/1947
Remove Date: 07/07/2008
Tank Release Detection: Not reported
Pipe Release Detection: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TIFFANY FLORIST (Continued)

U004123610

Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 500
Product: Gasoline
Install Date: 01/01/1947
Remove Date: 07/10/2008
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Not reported
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 3
Tank Status: Removed from Ground
Capacity: 500
Product: Gasoline
Install Date: 01/01/1947
Remove Date: 07/10/2008
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Not reported
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

P67
South
1/4-1/2
0.262 mi.
1382 ft.

WOODWARD AND GEORGE, LLC
772-784 SOUTH OLD WOODWARD
BIRMINGHAM, MI 48009

BEA S109345280
N/A

Site 3 of 3 in cluster P

Relative:
Lower

BEA:
Secondary Address: Not reported
BEA Number: 4025
District: Southeast MI
Date Received: 10/17/2008
Submitter Name: Woodward and George, LLC
Petition Determination: No Request
Petition Disclosure: 0
Category: No Hazardous Substance(s)
Determination 20107A: No Request
Reviewer: mitchelf
Division Assigned: RRD

Actual:
759 ft.

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

68
SSE
1/4-1/2
0.317 mi.
1672 ft.

AMERICAR
860 S WOODWARD
BIRMINGHAM, MI 48304

LUST **U000263070**
UST **N/A**
WDS

Relative:
Lower

LUST:
Facility ID: 00034958
Source: STATE OF MICHIGAN
Owner Name: Beier Dean G % Robert R. Shuman
Owner Address: 200 E LONG LAKE RD SUITE 110
Owner City, St, Zip: BLOOMFIELD HILLS, MI 48304
Owner Contact: Not reported
Owner Phone: (313) 645-9400
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Americar Rental
Latitude: 42.54084
Longitude: -83.20877
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Actual:
758 ft.

Leak Number: C-0468-89
Release Date: 08/29/1989
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 08/16/1990

UST:
Facility ID: 00034958
Facility Type: CLOSED
Owner Name: BEIER DEAN G % ROBERT R. SHUMAN
Owner Address: 200 E LONG LAKE RD SUITE 110
Owner City, St, Zip: BLOOMFIELD HILLS, MI 48304
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (313) 645-9400
Contact: Not reported
Contact Phone: () -
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.54084
Longitude: -83.20877

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 1000
Product: Heating Oil
Install Date: 01/01/1948

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

AMERICAR (Continued)

U000263070

Remove Date: 02/15/1991
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Unknown
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 1000
Product: Used Oil
Install Date: 01/01/1948
Remove Date: 02/15/1991
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Unknown
Impressed Device: No

WDS:
Site Id: MIG000012614
WMD Id: 456124
Site Specific Name: AMERICAR RENTAL SYSTEM
Mailing Address: 860 S OLD WOODWARD AVE
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

69
SE
1/4-1/2
0.327 mi.
1727 ft.

**THE PLANT STATION
720 ADAMS
BIRMINGHAM, MI 48011**

**LUST U003324173
UST N/A**

**Relative:
Lower**

LUST:
Facility ID: 00018613
Source: STATE OF MICHIGAN
Owner Name: Lynn E. Arft
Owner Address: 720 ADAMS
Owner City,St,Zip: BIRMINGHAM, MI 48011
Owner Contact: Not reported
Owner Phone: (313) 642-8900
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: The Plant Station
Latitude: 42.54215
Longitude: -83.20557
Date of Collection: 10/05/2004
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

**Actual:
756 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

THE PLANT STATION (Continued)

U003324173

Leak Number: C-0922-97
Release Date: 10/13/1997
Substance Released: Gasoline,Unknown
Release Status: Closed
Release Closed Date: 11/24/1998

UST:

Facility ID: 00018613
Facility Type: CLOSED
Owner Name: LYNN E. ARFT
Owner Address: 720 ADAMS
Owner City,St,Zip: BIRMINGHAM, MI 48011
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (313) 642-8900
Contact: LYNN E. ARFT
Contact Phone: (313) 642-8900
Date of Collection: 10/05/2004
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.54215
Longitude: -83.20557

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 4000
Product: Gasoline
Install Date: 04/11/1985
Remove Date: 07/01/1987
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel,Cathodically Protected Steel
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: 04/11/1958
Remove Date: 07/01/1987
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 3
Tank Status: Removed from Ground

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

THE PLANT STATION (Continued)

U003324173

Capacity: 6000
 Product: Gasoline
 Install Date: 04/11/1958
 Remove Date: 07/01/1987
 Tank Release Detection: Not reported
 Pipe Release Detection: Not reported
 Piping Material: Galvanized Steel
 Piping Type: Not reported
 Construction Material: Asphalt Coated or Bare Steel
 Impressed Device: No

Tank ID: 4
Tank Status: Removed from Ground
 Capacity: 6000
 Product: Gasoline
 Install Date: 04/11/1969
 Remove Date: 07/01/1987
 Tank Release Detection: Not reported
 Pipe Release Detection: Not reported
 Piping Material: Galvanized Steel
 Piping Type: Not reported
 Construction Material: Asphalt Coated or Bare Steel
 Impressed Device: No

**70
 NW
 1/4-1/2
 0.366 mi.
 1934 ft.**

**COMERICA BANK BIRMINGHAM
 322 N. OLD WOODWARD
 BIRMINGHAM, MI 48009**

**INVENTORY S114028625
 N/A**

**Relative:
 Higher**

INVENTORY:
 Bea Number: Not reported
 Township: Birmingham
 District: Southeast MI
 Data Source: Part 201
 Latitude: 42.54826
 Longitude: -83.2162

**Actual:
 771 ft.**

**Q71
 SSE
 1/4-1/2
 0.375 mi.
 1981 ft.**

**912 OLD WOODWARD, LLC
 912 SOUTH OLD WOODWARD AVENUE
 OAKLAND (County), MI 48009**

**INVENTORY S116385988
 N/A**

Site 1 of 3 in cluster Q

**Relative:
 Lower**

INVENTORY:
 Bea Number: 201405920LV
 Township: Birmingham
 District: Southeast MI
 Data Source: BEA
 Latitude: Not reported
 Longitude: Not reported

**Actual:
 756 ft.**

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

Q72
SSE
1/4-1/2
0.375 mi.
1981 ft.

912 SOUTH OLD WOODWARD
912 SOUTH OLD WOODWARD
BIRMINGHAM, MI 48009

US BROWNFIELDS **1016603615**
FINDS **N/A**

Site 2 of 3 in cluster Q

Relative:
Lower

US BROWNFIELDS:

Actual:
756 ft.

Recipient name: Grant type: Property name: Property #: Parcel size: Property Description: Latitude: Longitude: HCM label: Map scale: Point of reference: Datum: ACRES property ID: Start date: Completed date: Acres cleaned up: Cleanup funding: Cleanup funding source: Assessment funding: Assessment funding source: Redevelopment funding: Redev. funding source: Redev. funding entity name: Redevelopment start date: Assessment funding entity: Cleanup funding entity: Grant type: Accomplishment type: Accomplishment count: Cooperative agreement #: Ownership entity: Current owner: Did owner change: Cleanup required: Video available: Photo available: Institutional controls required: IC Category proprietary controls: IC cat. info. devices: IC cat. gov. controls: IC cat. enforcement permit tools: IC in place date: IC in place: State/tribal program date: State/tribal program ID: State/tribal NFA date: Air contaminated:	Oakland County Michigan Assessment 912 SOUTH OLD WOODWARD 08-19-36-279-004 .11 Standard and historical sources document the property was developed with the current building in 1927. Prior to that, the property was vacant land. The property was occupied by a plumber in at least 1931, a steel processing and heat treating company and a tool manufacturer in at least 1944, various automotive service garages from 1947 until 1967, and has been occupied by various offices since 1969. 42.539969 -83.20807000000002 Address Matching-House Number Not reported Entrance Point of a Facility or Station North American Datum of 1983 171161 Not reported Not reported Not reported Not reported Not reported 4000 US EPA - Brownfields Assessment Cooperative Agreement Not reported Not reported Not reported Not reported EPA Not reported P Phase II Environmental Assessment 1 00E01208 Not reported Not reported Not reported No No Yes N Not reported Not reported Not reported Not reported Not reported No Not reported Not reported Not reported Not reported
---	---

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

912 SOUTH OLD WOODWARD (Continued)

1016603615

Air cleaned:	Not reported
Asbestos found:	Not reported
Asbestos cleaned:	Not reported
Controlled substance found:	Not reported
Controlled substance cleaned:	Not reported
Drinking water affected:	Not reported
Drinking water cleaned:	Not reported
Groundwater affected:	Not reported
Groundwater cleaned:	Not reported
Lead contaminant found:	Not reported
Lead cleaned up:	Not reported
No media affected:	Not reported
Unknown media affected:	Not reported
Other cleaned up:	Not reported
Other metals found:	Not reported
Other metals cleaned:	Not reported
Other contaminants found:	Not reported
Other contaminants found description:	Not reported
PAHs found:	Not reported
PAHs cleaned up:	Not reported
PCBs found:	Not reported
PCBs cleaned up:	Not reported
Petro products found:	Not reported
Petro products cleaned:	Not reported
Sediments found:	Not reported
Sediments cleaned:	Not reported
Soil affected:	Y
Soil cleaned up:	Not reported
Surface water cleaned:	Not reported
VOCs found:	Y
VOCs cleaned:	Not reported
Cleanup other description:	Not reported
Num. of cleanup and re-dev. jobs:	Not reported
Past use greenspace acreage:	Not reported
Past use residential acreage:	Not reported
Past use commercial acreage:	.11
Past use industrial acreage:	Not reported
Future use greenspace acreage:	Not reported
Future use residential acreage:	Not reported
Future use commercial acreage:	.11
Future use industrial acreage:	Not reported
Greenspace acreage and type:	Not reported
Superfund Fed. landowner flag:	Not reported
Arsenic cleaned up:	Not reported
Cadmium cleaned up:	Not reported
Chromium cleaned up:	Not reported
Copper cleaned up:	Not reported
Iron cleaned up:	Not reported
mercury cleaned up:	Not reported
nickel cleaned up:	Not reported
No clean up:	Not reported
Pesticides cleaned up:	Not reported
Selenium cleaned up:	Not reported
SVOCs cleaned up:	Not reported
Unknown clean up:	Not reported
Arsenic contaminant found:	Not reported
Cadmium contaminant found:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

912 SOUTH OLD WOODWARD (Continued)

1016603615

Chromium contaminant found:	Not reported
Copper contaminant found:	Not reported
Iron contaminant found:	Not reported
Mercury contaminant found:	Not reported
Nickel contaminant found:	Not reported
No contaminant found:	Not reported
Pesticides contaminant found:	Not reported
Selenium contaminant found:	Not reported
SVOCs contaminant found:	Not reported
Unknown contaminant found:	Not reported
Future Use: Multistory	Not reported
Media affected Bluiding Material:	Not reported
Media affected indoor air:	Not reported
Building material media cleaned up:	Not reported
Indoor air media cleaned up:	Not reported
Unknown media cleaned up:	Not reported
Past Use: Multistory	Not reported

FINDS:

Registry ID: 110059657697

Environmental Interest/Information System

US EPA Assessment, Cleanup and Redevelopment Exchange System (ACRES)
 is an federal online database for Brownfields Grantees to
 electronically submit data directly to EPA.

Q73
SSE
 1/4-1/2
 0.375 mi.
 1981 ft.

912 OLD WOODWARD, LLC
912 SOUTH OLD WOODWARD AVENUE
BIRMINGHAM, MI 48009

INVENTORY S116385989
N/A

Site 3 of 3 in cluster Q

Relative:
Lower

INVENTORY:

Bea Number:	Not reported
Township:	Birmingham
District:	Southeast MI
Data Source:	Part 201
Latitude:	Not reported
Longitude:	Not reported

Actual:
756 ft.

R74
SSE
 1/4-1/2
 0.414 mi.
 2185 ft.

QUARTON WOODWARD SERVICE
1599 S WOODWARD AVE
BIRMINGHAM, MI 48301

INVENTORY U000261883
LUST N/A
UST
WDS

Site 1 of 2 in cluster R

Relative:
Lower

INVENTORY:

Bea Number:	Not reported
Township:	Not reported
District:	Southeast MI
Data Source:	Part 213
Latitude:	42.53976
Longitude:	-83.20729

Actual:
755 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

LUST:

Facility ID: 00033030
Source: STATE OF MICHIGAN
Owner Name: Mr Alex Fratarcongli
Owner Address: 2507 W Maple Rd
Owner City,St,Zip: Bloomfield Hills, MI 48301-2750
Owner Contact: Not reported
Owner Phone: (248) 642-2882
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Quarton Woodward Service
Latitude: 42.53975
Longitude: -83.20728
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-0328-97
Release Date: 05/19/1997
Substance Released: Gasoline
Release Status: Open
Release Closed Date: Not reported

UST:

Facility ID: 00033030
Facility Type: CLOSED
Owner Name: MR ALEX FRATARCONGELI
Owner Address: 2507 W MAPLE RD
Owner City,St,Zip: BLOOMFIELD HILLS, MI 48301-2750
Owner Country: USA
Owner Contact: Not reported
Owner Phone: (248) 642-2882
Contact: ALEX FRATERCZNGELI
Contact Phone: (248) 642-2882
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.53975
Longitude: -83.20728

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 3
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 4
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 5
Tank Status: Removed from Ground
Capacity: 6000
Product: Diesel
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUARTON WOODWARD SERVICE (Continued)

U000261883

Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 6
Tank Status: Removed from Ground
Capacity: 550
Product: Used Oil
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

Tank ID: 7
Tank Status: Removed from Ground
Capacity: 550
Product: Diesel
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 8
Tank Status: Removed from Ground
Capacity: 550
Product: Used Oil
Install Date: Not reported
Remove Date: 05/21/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

WDS:

Site Id: MIR000022970
WMD Id: 411471
Site Specific Name: QUARTON WOODWARD SVC
Mailing Address: 2507 W MAPLE RD
Mailing City/State/Zip: 48322
Mailing County: OAKLAND

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

R75 **OFFICE BUILDING & PARLING LOT**
SSE **1000 SOUTH OLD WOODWARD AVENUE**
1/4-1/2 **BIRMINGHAM, MI**
0.416 mi.
2199 ft. **Site 2 of 2 in cluster R**

BEA **S110624681**
N/A

Relative: **BEA:**
Lower Secondary Address: Not reported
 BEA Number: 4565
Actual: District: Southeast MI
755 ft. Date Received: 08/18/2010
 Submitter Name: Perimeter Properties, LLC
 Petition Determination: No Request
 Petition Disclosure: 0
 Category: No Hazardous Substance(s)
 Determination 20107A: No Request
 Reviewer: mitchelf
 Division Assigned: Storage Tank Division

76 **PROPOSED BALDWIN HOUSE SITE**
West **200 CHESTER**
1/4-1/2 **BIRMINGHAM, MI 48034**
0.425 mi.
2242 ft.

LUST **U001777213**
UST **N/A**
WDS

Relative: **LUST:**
Higher Facility ID: 00037464
 Source: STATE OF MICHIGAN
Actual: Owner Name: Birmingham Ltd Divided Assc Ptn
782 ft. Owner Address: 29777 Telegraph Rd Ste 2100
 Owner City,St,Zip: Southfield, MI 48034-7637
 Owner Contact: Not reported
 Owner Phone: (313) 358-2323
 Country: USA
 District: Region 1 - SE Michigan District Office
 Site Name: Baldwin House Site
 Latitude: 42.54567
 Longitude: -83.21853
 Date of Collection: 01/11/2001
 Method of Collection: Address Matching-House Number
 Accuracy: 100
 Accuracy Value Unit: FEET
 Horizontal Data: NAD83
 Point Line Area: POINT
 Desc Category: Plant Entrance (Freight)

Leak Number: C-0628-93
Release Date: 05/19/1993
Substance Released: Heating Oil
Release Status: Closed
Release Closed Date: 03/23/1995

UST:
Facility ID: 00037464
Facility Type: CLOSED
Owner Name: BIRMINGHAM LTD DIVIDED ASSC PTN
Owner Address: 29777 TELEGRAPH RD STE 2100
Owner City,St,Zip: SOUTHFIELD, MI 48034-7637
Owner Country: USA
Owner Contact: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PROPOSED BALDWIN HOUSE SITE (Continued)

U001777213

Owner Phone: (313) 358-2323
Contact: Marv Rubin
Contact Phone: (313) 358-2323
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.54567
Longitude: -83.21853

Tank ID: 1
Tank Status: Closed in Ground
Capacity: Not reported
Product: UNK
Install Date: Not reported
Remove Date: 01/01/1969
Tank Release Detection: Not reported
Pipe Release Detection: Not reported
Piping Material: Unknown
Piping Type: Not reported
Construction Material: Unknown
Impressed Device: No

WDS:

Site Id: MIK756294448
WMD Id: 489340
Site Specific Name: BALDWIN HOUSE
Mailing Address: 200 CHESTER ST
Mailing City/State/Zip: 48009
Mailing County: OAKLAND

S77 WOODLINC/MICH LTD PARTNERSHIP
SSE 1050 S OLD WOODWARD AVE
1/4-1/2 BIRMINGHAM, MI 48009
0.440 mi.
2324 ft. Site 1 of 2 in cluster S

INVENTORY U003834711
LUST N/A

Relative:
Lower

INVENTORY:

Bea Number: Not reported
Township: Not reported
District: Southeast MI
Data Source: Part 213
Latitude: 42.54058
Longitude: -83.20848

Actual:
755 ft.

LUST:

Facility ID: 00039226
Source: STATE OF MICHIGAN
Owner Name: Woodlinc/Mich Ltd Partnership
Owner Address: 1000 S Old Woodward Ave Ste 201
Owner City,St,Zip: Birmingham, MI 48009-6796
Owner Contact: Not reported
Owner Phone: (248) 647-3250

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WOODLINC/MICH LTD PARTNERSHIP (Continued)

U003834711

Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Woodlinc/mich Ltd Partnership
Latitude: 42.54057
Longitude: -83.20848
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-1071-96
Release Date: 12/20/1996
Substance Released: Gasoline
Release Status: Open
Release Closed Date: Not reported

S78
SSE
1/4-1/2
0.456 mi.
2406 ft.

MOBIL SS #03-KPV
1991 S WOODWARD AVE
BIRMINGHAM, MI 48009

Site 2 of 2 in cluster S

LUST **U003330104**
UST **N/A**

Relative:
Lower

LUST:

Facility ID: 00016687
Source: STATE OF MICHIGAN
Owner Name: Mobil Oil Corp
Owner Address: 19309 Carlisle Street
Owner City,St,Zip: Dearborn, MI 48124-3802
Owner Contact: Not reported
Owner Phone: (512) 380-7132
Country: USA
District: Region 1 - SE Michigan District Office
Site Name: Mobil #03-kpv
Latitude: 42.53923
Longitude: -83.20682
Date of Collection: 01/11/2001
Method of Collection: Address Matching-House Number
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Data: NAD83
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)

Leak Number: C-2008-90
Release Date: 10/10/1990
Substance Released: Not reported
Release Status: Closed
Release Closed Date: 11/30/1995

UST:

Facility ID: 00016687
Facility Type: CLOSED
Owner Name: MOBIL OIL CORP
Owner Address: 19309 CARLYSLE STREET
Owner City,St,Zip: DEARBORN, MI 48124-3802
Owner Country: USA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MOBIL SS #03-KPV (Continued)

U003330104

Owner Contact: Not reported
Owner Phone: (512) 380-7132
Contact: NORMA E HILL
Contact Phone: (800) 327-8431
Date of Collection: 01/11/2001
Accuracy: 100
Accuracy Value Unit: FEET
Horizontal Datum: NAD83
Source: STATE OF MICHIGAN
Point Line Area: POINT
Desc Category: Plant Entrance (Freight)
Method of Collection: Address Matching-House Number
Latitude: 42.53923
Longitude: -83.20682

Tank ID: 1
Tank Status: Removed from Ground
Capacity: 10000
Product: Gasoline
Install Date: 04/22/1983
Remove Date: 12/23/1997
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Realease Detection: Automatic Line Leak Detectors
Piping Material: Fiberglass reinforced plastic
Piping Type: Not reported
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 2
Tank Status: Removed from Ground
Capacity: 8000
Product: Gasoline
Install Date: 04/22/1983
Remove Date: 12/23/1997
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Realease Detection: Automatic Line Leak Detectors
Piping Material: Fiberglass reinforced plastic
Piping Type: Not reported
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Tank ID: 3
Tank Status: Removed from Ground
Capacity: 6000
Product: Gasoline
Install Date: 04/22/1983
Remove Date: 12/23/1997
Tank Release Detection: Automatic Tank Gauging,Inventory Control
Pipe Realease Detection: Automatic Line Leak Detectors
Piping Material: Fiberglass reinforced plastic
Piping Type: Not reported
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MOBIL SS #03-KPV (Continued)

U003330104

Tank ID: 4
Tank Status: Removed from Ground
Capacity: 550
Product: Used Oil
Install Date: 04/21/1968
Remove Date: 09/28/1990
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Galvanized Steel
Piping Type: Not reported
Construction Material: Asphalt Coated or Bare Steel
Impressed Device: No

Tank ID: 5
Tank Status: Removed from Ground
Capacity: 1000
Product: Used Oil
Install Date: 10/01/1988
Remove Date: 12/23/1997
Tank Release Detection: Not reported
Pipe Realease Detection: Not reported
Piping Material: Fiberglass reinforced plastic
Piping Type: Not reported
Construction Material: Fiberglass Reinforced plastic
Impressed Device: No

79
WNW
1/4-1/2
0.461 mi.
2435 ft.

FIRST CHURCH OF CHRIST
191 N. CHESTER ST.
BIRMINGHAM, MI 48009

INVENTORY S114028648
N/A

Relative:
Higher

INVENTORY:
Bea Number: Not reported
Township: Birmingham
District: Southeast MI
Data Source: Part 201
Latitude: 42.54709
Longitude: -83.21811

Actual:
780 ft.

80
NW
1/4-1/2
0.471 mi.
2485 ft.

ERIC GHEEN
272 RAVINE RD
BIRMINGHAM, MI 48009

INVENTORY S117057927
WDS N/A

Relative:
Lower

INVENTORY:
Bea Number: Not reported
Township: Birmingham
District: Southeast MI
Data Source: Part 201
Latitude: Not reported
Longitude: Not reported

Actual:
758 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ERIC GHEEN (Continued)

S117057927

WDS:

Site Id:	MIK407668698
WMD Id:	493758
Site Specific Name:	LOCAL HOME CLEANUP
Mailing Address:	272 RAVINE RD
Mailing City/State/Zip:	48009
Mailing County:	OAKLAND

Count: 1 records.

ORPHAN SUMMARY

<u>City</u>	<u>EDR ID</u>	<u>Site Name</u>	<u>Site Address</u>	<u>Zip</u>	<u>Database(s)</u>
BIRMINGHAM	S110624752	OHM OF BIRMINGHAM *	33989 S. WOODWARD	48009	DRYCLEANERS

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 03/26/2015	Source: EPA
Date Data Arrived at EDR: 04/08/2015	Telephone: N/A
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/08/2015
Number of Days to Update: 75	Next Scheduled EDR Contact: 07/20/2015
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 03/26/2015	Source: EPA
Date Data Arrived at EDR: 04/08/2015	Telephone: N/A
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/08/2015
Number of Days to Update: 75	Next Scheduled EDR Contact: 07/20/2015
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 03/26/2015	Source: EPA
Date Data Arrived at EDR: 04/08/2015	Telephone: N/A
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/08/2015
Number of Days to Update: 75	Next Scheduled EDR Contact: 07/20/2015
	Data Release Frequency: Quarterly

Federal CERCLIS list

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 10/25/2013	Source: EPA
Date Data Arrived at EDR: 11/11/2013	Telephone: 703-412-9810
Date Made Active in Reports: 02/13/2014	Last EDR Contact: 05/29/2015
Number of Days to Update: 94	Next Scheduled EDR Contact: 09/07/2015
	Data Release Frequency: Quarterly

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 03/26/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/08/2015	Telephone: 703-603-8704
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 04/08/2015
Number of Days to Update: 64	Next Scheduled EDR Contact: 07/20/2015
	Data Release Frequency: Varies

Federal CERCLIS NFRAP site List

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 10/25/2013	Source: EPA
Date Data Arrived at EDR: 11/11/2013	Telephone: 703-412-9810
Date Made Active in Reports: 02/13/2014	Last EDR Contact: 05/29/2015
Number of Days to Update: 94	Next Scheduled EDR Contact: 09/07/2015
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/10/2015
Date Data Arrived at EDR: 03/31/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 72

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 03/31/2015
Next Scheduled EDR Contact: 07/13/2015
Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/10/2015
Date Data Arrived at EDR: 03/31/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 72

Source: Environmental Protection Agency
Telephone: 312-886-6186
Last EDR Contact: 03/31/2015
Next Scheduled EDR Contact: 07/13/2015
Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/10/2015
Date Data Arrived at EDR: 03/31/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 72

Source: Environmental Protection Agency
Telephone: 312-886-6186
Last EDR Contact: 03/31/2015
Next Scheduled EDR Contact: 07/13/2015
Data Release Frequency: Quarterly

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/10/2015
Date Data Arrived at EDR: 03/31/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 72

Source: Environmental Protection Agency
Telephone: 312-886-6186
Last EDR Contact: 03/31/2015
Next Scheduled EDR Contact: 07/13/2015
Data Release Frequency: Quarterly

RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/10/2015
Date Data Arrived at EDR: 03/31/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 72

Source: Environmental Protection Agency
Telephone: 312-886-6186
Last EDR Contact: 03/31/2015
Next Scheduled EDR Contact: 07/13/2015
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal institutional controls / engineering controls registries

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 03/16/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/17/2015	Telephone: 703-603-0695
Date Made Active in Reports: 06/02/2015	Last EDR Contact: 06/01/2015
Number of Days to Update: 77	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: Varies

US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 03/16/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/17/2015	Telephone: 703-603-0695
Date Made Active in Reports: 06/02/2015	Last EDR Contact: 06/01/2015
Number of Days to Update: 77	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: Varies

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/28/2015	Source: Department of the Navy
Date Data Arrived at EDR: 05/29/2015	Telephone: 843-820-7326
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 05/18/2015
Number of Days to Update: 13	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Varies

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 03/30/2015	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 03/31/2015	Telephone: 202-267-2180
Date Made Active in Reports: 06/02/2015	Last EDR Contact: 03/31/2015
Number of Days to Update: 63	Next Scheduled EDR Contact: 07/13/2015
	Data Release Frequency: Annually

State- and tribal - equivalent CERCLIS

SHWS: This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

This state does not maintain a SHWS list. See the Federal CERCLIS list and Federal NPL list.

Date of Government Version: N/A	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 10/31/2013	Telephone: 517-284-5103
Date Made Active in Reports: 11/20/2013	Last EDR Contact: 04/23/2015
Number of Days to Update: 20	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: No Update Planned

State and tribal landfill and/or solid waste disposal site lists

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SWF/LF: Solid Waste Facilities Database

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 03/30/2015	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 03/31/2015	Telephone: 517-335-4035
Date Made Active in Reports: 04/14/2015	Last EDR Contact: 03/31/2015
Number of Days to Update: 14	Next Scheduled EDR Contact: 07/13/2015
	Data Release Frequency: Semi-Annually

State and tribal leaking storage tank lists

LUST: Leaking Underground Storage Tank Sites

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 04/29/2015	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 05/22/2015	Telephone: 517-373-9837
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 05/22/2015
Number of Days to Update: 31	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Annually

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 04/30/2015	Source: EPA Region 8
Date Data Arrived at EDR: 05/05/2015	Telephone: 303-312-6271
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 48	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Quarterly

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land

Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 04/30/2015	Source: EPA, Region 5
Date Data Arrived at EDR: 05/29/2015	Telephone: 312-886-7439
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 24	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 09/30/2014	Source: EPA Region 4
Date Data Arrived at EDR: 03/03/2015	Telephone: 404-562-8677
Date Made Active in Reports: 03/13/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 10	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Semi-Annually

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 03/17/2015	Source: EPA Region 6
Date Data Arrived at EDR: 05/01/2015	Telephone: 214-665-6597
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 01/26/2015
Number of Days to Update: 52	Next Scheduled EDR Contact: 05/11/2015
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 02/03/2015	Source: EPA Region 10
Date Data Arrived at EDR: 02/12/2015	Telephone: 206-553-2857
Date Made Active in Reports: 03/13/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 29	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Quarterly

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 01/08/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/08/2015	Telephone: 415-972-3372
Date Made Active in Reports: 02/09/2015	Last EDR Contact: 01/08/2015
Number of Days to Update: 32	Next Scheduled EDR Contact: 05/11/2015
	Data Release Frequency: Quarterly

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 02/03/2015	Source: EPA Region 1
Date Data Arrived at EDR: 04/30/2015	Telephone: 617-918-1313
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/03/2015
Number of Days to Update: 53	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 03/30/2015	Source: EPA Region 7
Date Data Arrived at EDR: 04/28/2015	Telephone: 913-551-7003
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 55	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Varies

State and tribal registered storage tank lists

UST 2: Underground Storage Tank Listing
A listing of underground storage tank site locations that have unknown owner information.

Date of Government Version: 05/04/2015	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 05/06/2015	Telephone: 517-335-7211
Date Made Active in Reports: 05/14/2015	Last EDR Contact: 04/16/2015
Number of Days to Update: 8	Next Scheduled EDR Contact: 08/03/2015
	Data Release Frequency: Annually

UST: Underground Storage Tank Facility List
Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 05/05/2015	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 05/22/2015	Telephone: 517-335-4035
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 05/22/2015
Number of Days to Update: 31	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Annually

AST: Aboveground Tanks
Registered Aboveground Storage Tanks.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/02/2015
Date Data Arrived at EDR: 03/03/2015
Date Made Active in Reports: 03/13/2015
Number of Days to Update: 10

Source: Dept of Environmental Quality
Telephone: 517-373-8168
Last EDR Contact: 05/18/2015
Next Scheduled EDR Contact: 08/31/2015
Data Release Frequency: No Update Planned

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 04/30/2015
Date Data Arrived at EDR: 05/26/2015
Date Made Active in Reports: 06/22/2015
Number of Days to Update: 27

Source: EPA Region 5
Telephone: 312-886-6136
Last EDR Contact: 04/27/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 09/30/2014
Date Data Arrived at EDR: 03/03/2015
Date Made Active in Reports: 03/13/2015
Number of Days to Update: 10

Source: EPA Region 4
Telephone: 404-562-9424
Last EDR Contact: 04/27/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Semi-Annually

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 02/03/2015
Date Data Arrived at EDR: 04/30/2015
Date Made Active in Reports: 06/22/2015
Number of Days to Update: 53

Source: EPA, Region 1
Telephone: 617-918-1313
Last EDR Contact: 04/28/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 09/23/2014
Date Data Arrived at EDR: 11/25/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 65

Source: EPA Region 7
Telephone: 913-551-7003
Last EDR Contact: 04/27/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 12/14/2014
Date Data Arrived at EDR: 02/13/2015
Date Made Active in Reports: 03/13/2015
Number of Days to Update: 28

Source: EPA Region 9
Telephone: 415-972-3368
Last EDR Contact: 01/26/2015
Next Scheduled EDR Contact: 05/11/2015
Data Release Frequency: Quarterly

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/06/2015	Source: EPA Region 10
Date Data Arrived at EDR: 05/19/2015	Telephone: 206-553-2857
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 34	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Quarterly

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 03/17/2015	Source: EPA Region 6
Date Data Arrived at EDR: 05/01/2015	Telephone: 214-665-7591
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 01/26/2015
Number of Days to Update: 52	Next Scheduled EDR Contact: 05/11/2015
	Data Release Frequency: Semi-Annually

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 04/30/2015	Source: EPA Region 8
Date Data Arrived at EDR: 05/05/2015	Telephone: 303-312-6137
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 48	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Quarterly

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010	Source: FEMA
Date Data Arrived at EDR: 02/16/2010	Telephone: 202-646-5797
Date Made Active in Reports: 04/12/2010	Last EDR Contact: 04/13/2015
Number of Days to Update: 55	Next Scheduled EDR Contact: 07/27/2015
	Data Release Frequency: Varies

State and tribal institutional control / engineering control registries

AUL: Engineering and Institutional Controls

A listing of sites with institutional and/or engineering controls in place.

Date of Government Version: 06/08/2015	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 06/09/2015	Telephone: 517-373-4828
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 06/01/2015
Number of Days to Update: 13	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: Varies

State and tribal voluntary cleanup sites

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 09/29/2014	Source: EPA, Region 1
Date Data Arrived at EDR: 10/01/2014	Telephone: 617-918-1102
Date Made Active in Reports: 11/06/2014	Last EDR Contact: 04/02/2015
Number of Days to Update: 36	Next Scheduled EDR Contact: 07/13/2015
	Data Release Frequency: Varies

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/20/2008
Date Data Arrived at EDR: 04/22/2008
Date Made Active in Reports: 05/19/2008
Number of Days to Update: 27

Source: EPA, Region 7
Telephone: 913-551-7365
Last EDR Contact: 04/20/2009
Next Scheduled EDR Contact: 07/20/2009
Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS: Brownfields and USTfield Site Database

All state funded Part 201 and 213 sites, as well as LUST sites that have been redeveloped by private entities using the BEA process. Be aware that this is not a list of all of the potential brownfield sites in Michigan.

Date of Government Version: 07/27/2012
Date Data Arrived at EDR: 07/31/2012
Date Made Active in Reports: 09/20/2012
Number of Days to Update: 51

Source: Dept of Environmental Quality
Telephone: 517-373-4805
Last EDR Contact: 04/27/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

BROWNFIELDS 2: Brownfields Building and Land Site Locations

A listing of brownfield building and land site locations. The listing is a collaborative effort of Michigan Economic Development Corporation, Michigan Economic Developers Association, Detroit Edison, Detroit Area Commercial Board of Realtors

Date of Government Version: 04/09/2007
Date Data Arrived at EDR: 04/10/2007
Date Made Active in Reports: 05/01/2007
Number of Days to Update: 21

Source: Economic Development Corporation
Telephone: 888-522-0103
Last EDR Contact: 06/15/2015
Next Scheduled EDR Contact: 09/14/2015
Data Release Frequency: Varies

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 03/23/2015
Date Data Arrived at EDR: 03/24/2015
Date Made Active in Reports: 06/02/2015
Number of Days to Update: 70

Source: Environmental Protection Agency
Telephone: 202-566-2777
Last EDR Contact: 03/24/2015
Next Scheduled EDR Contact: 07/06/2015
Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 04/23/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: No Update Planned

HIST LF: Inactive Solid Waste Facilities

The database contains historical information and is no longer updated.

Date of Government Version: 03/01/1997
Date Data Arrived at EDR: 02/28/2003
Date Made Active in Reports: 03/06/2003
Number of Days to Update: 6

Source: Dept of Environmental Quality
Telephone: 517-335-4034
Last EDR Contact: 02/28/2003
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

SWRCY: Recycling Facilities

A listing of recycling center locations.

Date of Government Version: 04/11/2015
Date Data Arrived at EDR: 04/14/2015
Date Made Active in Reports: 04/21/2015
Number of Days to Update: 7

Source: Dept of Environmental Quality
Telephone: 517-241-5719
Last EDR Contact: 06/23/2015
Next Scheduled EDR Contact: 10/12/2015
Data Release Frequency: Varies

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 05/01/2015
Next Scheduled EDR Contact: 08/17/2015
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 02/25/2015
Date Data Arrived at EDR: 03/10/2015
Date Made Active in Reports: 03/25/2015
Number of Days to Update: 15

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 05/29/2015
Next Scheduled EDR Contact: 09/14/2015
Data Release Frequency: Quarterly

PART 201: Part 201 Site List

A Part 201 Listed site is a location that has been evaluated and scored by the DEQ using the Part 201 scoring model. The location is or includes a "facility" as defined by Part 201, where there has been a release of a hazardous substance(s) in excess of the Part 201 residential criteria, and/or where corrective actions have not been completed under Part 201 to meet the applicable cleanup criteria for unrestricted residential use. The Part 201 List does not include all of the sites of contamination that are subject to regulation under Part 201 because owners are not required to inform the DEQ about the sites and can pursue cleanup independently. Sites of environmental contamination that are not known to DEQ are not on the list, nor are sites with releases that resulted in low environmental impact.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/01/2013
Date Data Arrived at EDR: 10/03/2014
Date Made Active in Reports: 10/03/2014
Number of Days to Update: 0

Source: Department of Environmental Quality
Telephone: 517-284-5103
Last EDR Contact: 04/23/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: No Update Planned

INVENTORY: Inventory of Facilities

The Inventory of Facilities has three data sources: Facilities under Part 201, Environmental Remediation, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA) identified through state funded or private party response activities (Projects); Facilities under Part 213, Leaking Underground Storage Tanks of the NREPA; and Facilities identified through submittals of Baseline Environmental Assessments (BEA) submitted pursuant to Part 201 or Part 213 of the NREPA. The Part 201 Projects Inventory does not include all of the facilities that are subject to regulation under Part 201 because owners are not required to inform the Department of Environmental Quality (DEQ) about the facilities and can pursue cleanup independently. Facilities that are not known to DEQ are not on the Inventory, nor are locations with releases that resulted in low environmental impact. Part 213 facilities listed here may have more than one release; a list of releases for which corrective actions have been completed and list of releases for which corrective action has not been completed is located on the Leaking Underground Storage Tanks Site Search webpage. The DEQ may or may not have reviewed and concurred with the conclusion that the corrective actions described in a closure report meets criteria. A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

Date of Government Version: 04/01/2015
Date Data Arrived at EDR: 04/29/2015
Date Made Active in Reports: 05/14/2015
Number of Days to Update: 15

Source: Department of Environmental Quality
Telephone: 517-284-5136
Last EDR Contact: 04/29/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Quarterly

DEL PART 201: Delisted List of Contaminated Sites

A deleted site has been removed from the Part 201 List because information known to the DEQ at the time of the evaluation does not support inclusion on the Part 201 List. This designation is often applied to sites where changes in cleanup criteria resulted in a determination that the site no longer exceeds any applicable cleanup criterion. A delisted site has been removed from the Part 201 List because response actions have reduced the levels of contaminants to concentrations which meet or are below the criteria for unrestricted residential use.

Date of Government Version: 08/01/2013
Date Data Arrived at EDR: 08/01/2013
Date Made Active in Reports: 09/11/2013
Number of Days to Update: 41

Source: Dept of Environmental Quality
Telephone: 517-373-9541
Last EDR Contact: 04/23/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

CDL: Clandestine Drug Lab Listing

A listing of clandestine drug lab locations.

Date of Government Version: 10/20/2008
Date Data Arrived at EDR: 11/18/2008
Date Made Active in Reports: 11/21/2008
Number of Days to Update: 3

Source: Department of Community Health
Telephone: 517-373-3740
Last EDR Contact: 04/27/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 02/25/2015
Date Data Arrived at EDR: 03/10/2015
Date Made Active in Reports: 03/25/2015
Number of Days to Update: 15

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 05/29/2015
Next Scheduled EDR Contact: 09/14/2015
Data Release Frequency: No Update Planned

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 02/18/2014
Date Data Arrived at EDR: 03/18/2014
Date Made Active in Reports: 04/24/2014
Number of Days to Update: 37

Source: Environmental Protection Agency
Telephone: 202-564-6023
Last EDR Contact: 04/27/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

LIENS: Lien List

An Environmental Lien is a charge, security, or encumbrance upon title to a property to secure the payment of a cost, damage, debt, obligation, or duty arising out of response actions, cleanup, or other remediation of hazardous substances or petroleum products upon a property, including (but not limited to) liens imposed pursuant to CERCLA 42 USC * 9607(1) and similar state or local laws. In other words: a lien placed upon a property's title due to an environmental condition

Date of Government Version: 03/15/2015
Date Data Arrived at EDR: 04/21/2015
Date Made Active in Reports: 05/14/2015
Number of Days to Update: 23

Source: Dept of Environmental Quality
Telephone: 517-241-7603
Last EDR Contact: 04/16/2015
Next Scheduled EDR Contact: 08/03/2015
Data Release Frequency: Varies

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 03/30/2015
Date Data Arrived at EDR: 03/31/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 72

Source: U.S. Department of Transportation
Telephone: 202-366-4555
Last EDR Contact: 03/31/2015
Next Scheduled EDR Contact: 07/13/2015
Data Release Frequency: Annually

PEAS: Pollution Emergency Alerting System

Environmental pollution emergencies reported to the Department of Environmental Quality such as tanker accidents, pipeline breaks, and release of reportable quantities of hazardous substances.

Date of Government Version: 06/10/2015
Date Data Arrived at EDR: 06/12/2015
Date Made Active in Reports: 06/22/2015
Number of Days to Update: 10

Source: Dept of Environmental Quality
Telephone: 517-373-8427
Last EDR Contact: 06/05/2015
Next Scheduled EDR Contact: 09/21/2015
Data Release Frequency: Quarterly

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/10/2015
Date Data Arrived at EDR: 03/31/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 72

Source: Environmental Protection Agency
Telephone: 312-886-6186
Last EDR Contact: 03/31/2015
Next Scheduled EDR Contact: 07/13/2015
Data Release Frequency: Varies

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/31/2012
Date Data Arrived at EDR: 08/07/2012
Date Made Active in Reports: 09/18/2012
Number of Days to Update: 42

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 05/05/2015
Next Scheduled EDR Contact: 08/17/2015
Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 04/14/2015
Next Scheduled EDR Contact: 07/27/2015
Data Release Frequency: Semi-Annually

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 06/06/2014
Date Data Arrived at EDR: 09/10/2014
Date Made Active in Reports: 09/18/2014
Number of Days to Update: 8

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285
Last EDR Contact: 06/12/2015
Next Scheduled EDR Contact: 09/21/2015
Data Release Frequency: Varies

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 04/17/2015
Date Made Active in Reports: 06/02/2015
Number of Days to Update: 46

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 06/22/2015
Next Scheduled EDR Contact: 10/12/2015
Data Release Frequency: Varies

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 11/25/2013
Date Data Arrived at EDR: 12/12/2013
Date Made Active in Reports: 02/24/2014
Number of Days to Update: 74

Source: EPA
Telephone: 703-416-0223
Last EDR Contact: 06/12/2015
Next Scheduled EDR Contact: 09/21/2015
Data Release Frequency: Annually

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 09/14/2010
Date Data Arrived at EDR: 10/07/2011
Date Made Active in Reports: 03/01/2012
Number of Days to Update: 146

Source: Department of Energy
Telephone: 505-845-0011
Last EDR Contact: 05/26/2015
Next Scheduled EDR Contact: 09/07/2015
Data Release Frequency: Varies

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 12/30/2014
Date Data Arrived at EDR: 12/31/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 29

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 06/03/2015
Next Scheduled EDR Contact: 09/14/2015
Data Release Frequency: Semi-Annually

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2013
Date Data Arrived at EDR: 02/12/2015
Date Made Active in Reports: 06/02/2015
Number of Days to Update: 110

Source: EPA
Telephone: 202-566-0250
Last EDR Contact: 01/29/2015
Next Scheduled EDR Contact: 06/08/2015
Data Release Frequency: Annually

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2012
Date Data Arrived at EDR: 01/15/2015
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 14

Source: EPA
Telephone: 202-260-5521
Last EDR Contact: 03/27/2015
Next Scheduled EDR Contact: 07/06/2015
Data Release Frequency: Every 4 Years

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009
Date Data Arrived at EDR: 04/16/2009
Date Made Active in Reports: 05/11/2009
Number of Days to Update: 25

Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Telephone: 202-566-1667
Last EDR Contact: 05/20/2015
Next Scheduled EDR Contact: 09/07/2015
Data Release Frequency: Quarterly

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009
Date Data Arrived at EDR: 04/16/2009
Date Made Active in Reports: 05/11/2009
Number of Days to Update: 25

Source: EPA
Telephone: 202-566-1667
Last EDR Contact: 05/20/2015
Next Scheduled EDR Contact: 09/07/2015
Data Release Frequency: Quarterly

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2007
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009
Date Data Arrived at EDR: 12/10/2010
Date Made Active in Reports: 02/25/2011
Number of Days to Update: 77

Source: EPA
Telephone: 202-564-4203
Last EDR Contact: 04/10/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 01/23/2015
Date Data Arrived at EDR: 02/06/2015
Date Made Active in Reports: 03/09/2015
Number of Days to Update: 31

Source: Environmental Protection Agency
Telephone: 202-564-5088
Last EDR Contact: 04/09/2015
Next Scheduled EDR Contact: 07/27/2015
Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 07/01/2014
Date Data Arrived at EDR: 10/15/2014
Date Made Active in Reports: 11/17/2014
Number of Days to Update: 33

Source: EPA
Telephone: 202-566-0500
Last EDR Contact: 04/17/2015
Next Scheduled EDR Contact: 07/27/2015
Data Release Frequency: Annually

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 03/31/2015
Date Data Arrived at EDR: 04/09/2015
Date Made Active in Reports: 06/11/2015
Number of Days to Update: 63

Source: Nuclear Regulatory Commission
Telephone: 301-415-7169
Last EDR Contact: 06/04/2015
Next Scheduled EDR Contact: 09/21/2015
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 04/07/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/09/2015	Telephone: 202-343-9775
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 04/09/2015
Number of Days to Update: 63	Next Scheduled EDR Contact: 07/20/2015
	Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 01/18/2015	Source: EPA
Date Data Arrived at EDR: 02/27/2015	Telephone: (312) 353-2000
Date Made Active in Reports: 03/25/2015	Last EDR Contact: 06/10/2015
Number of Days to Update: 26	Next Scheduled EDR Contact: 09/21/2015
	Data Release Frequency: Quarterly

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

RMP: Risk Management Plans

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 02/01/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/13/2015	Telephone: 202-564-8600
Date Made Active in Reports: 03/25/2015	Last EDR Contact: 04/27/2015
Number of Days to Update: 40	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2011
Date Data Arrived at EDR: 02/26/2013
Date Made Active in Reports: 04/19/2013
Number of Days to Update: 52

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 05/29/2015
Next Scheduled EDR Contact: 09/07/2015
Data Release Frequency: Biennially

UIC: Underground Injection Wells Database

A listing of underground injection well locations. The UIC Program is responsible for regulating the construction, operation, permitting, and closure of injection wells that place fluids underground for storage or disposal.

Date of Government Version: 04/28/2015
Date Data Arrived at EDR: 04/29/2015
Date Made Active in Reports: 05/14/2015
Number of Days to Update: 15

Source: Dept of Environmental Quality
Telephone: 517-241-1515
Last EDR Contact: 04/27/2015
Next Scheduled EDR Contact: 08/10/2015
Data Release Frequency: Varies

DRYCLEANERS: Drycleaning Establishments

A listing of drycleaning facilities in Michigan.

Date of Government Version: 01/21/2015
Date Data Arrived at EDR: 01/22/2015
Date Made Active in Reports: 02/20/2015
Number of Days to Update: 29

Source: Dept of Environmental Quality
Telephone: 517-335-4586
Last EDR Contact: 04/16/2015
Next Scheduled EDR Contact: 08/03/2015
Data Release Frequency: Annually

NPDES: List of Active NPDES Permits

General information regarding NPDES (National Pollutant Discharge Elimination System) permits and NPDES Storm Water permits.

Date of Government Version: 04/07/2015
Date Data Arrived at EDR: 04/09/2015
Date Made Active in Reports: 04/21/2015
Number of Days to Update: 12

Source: Dept of Environmental Quality
Telephone: 517-241-1300
Last EDR Contact: 04/09/2015
Next Scheduled EDR Contact: 07/20/2015
Data Release Frequency: Varies

AIRS: Permit and Emissions Inventory Data

Permit and emissions inventory data.

Date of Government Version: 03/24/2015
Date Data Arrived at EDR: 03/25/2015
Date Made Active in Reports: 03/31/2015
Number of Days to Update: 6

Source: Dept of Environmental Quality
Telephone: 517-373-7074
Last EDR Contact: 06/17/2015
Next Scheduled EDR Contact: 10/05/2015
Data Release Frequency: Varies

BEA: Baseline Environmental Assessment Database

A BEA is a document that new or prospective property owners/operations disclose to the DEQ identifying the property as a facility pursuant to Part 201 and Part 213. The Inventory of BEA Facilities overlaps in part with the Part 201 Projects facilities and Part 213 facilities. There may be more than one BEA for each facility.

Date of Government Version: 08/21/2013
Date Data Arrived at EDR: 08/23/2013
Date Made Active in Reports: 09/12/2013
Number of Days to Update: 20

Source: Dept of Environmental Quality
Telephone: 517-373-9541
Last EDR Contact: 05/18/2015
Next Scheduled EDR Contact: 08/31/2015
Data Release Frequency: No Update Planned

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 12/08/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 34

Source: USGS
Telephone: 202-208-3710
Last EDR Contact: 04/14/2015
Next Scheduled EDR Contact: 07/27/2015
Data Release Frequency: Semi-Annually

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011
Date Data Arrived at EDR: 03/09/2011
Date Made Active in Reports: 05/02/2011
Number of Days to Update: 54

Source: Environmental Protection Agency
Telephone: 615-532-8599
Last EDR Contact: 05/21/2015
Next Scheduled EDR Contact: 08/31/2015
Data Release Frequency: Varies

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 04/22/2013
Date Data Arrived at EDR: 03/03/2015
Date Made Active in Reports: 03/09/2015
Number of Days to Update: 6

Source: Environmental Protection Agency
Telephone: 703-308-4044
Last EDR Contact: 05/14/2015
Next Scheduled EDR Contact: 08/24/2015
Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 11/25/2014
Date Data Arrived at EDR: 11/26/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 64

Source: Environmental Protection Agency
Telephone: 703-603-8787
Last EDR Contact: 04/10/2015
Next Scheduled EDR Contact: 07/20/2015
Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust.

Date of Government Version: 04/05/2001
Date Data Arrived at EDR: 10/27/2010
Date Made Active in Reports: 12/02/2010
Number of Days to Update: 36

Source: American Journal of Public Health
Telephone: 703-305-6451
Last EDR Contact: 12/02/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 10/25/2013
Date Data Arrived at EDR: 10/17/2014
Date Made Active in Reports: 10/20/2014
Number of Days to Update: 3

Source: EPA
Telephone: 202-564-6023
Last EDR Contact: 05/14/2015
Next Scheduled EDR Contact: 08/24/2015
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Financial Assurance 1: Financial Assurance Information Listing

Financial assurance information.

Date of Government Version: 04/20/2015	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 04/23/2015	Telephone: 517-335-6610
Date Made Active in Reports: 05/14/2015	Last EDR Contact: 04/06/2015
Number of Days to Update: 21	Next Scheduled EDR Contact: 07/06/2015
	Data Release Frequency: Varies

WDS: Waste Data System

The Waste Data System (WDS) tracks activities at facilities regulated by the Solid Waste, Scrap Tire, Hazardous Waste, and Liquid Industrial Waste programs.

Date of Government Version: 05/22/2015	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 05/26/2015	Telephone: 517-284-6562
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 05/21/2015
Number of Days to Update: 27	Next Scheduled EDR Contact: 09/07/2015
	Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005	Source: Department of Energy
Date Data Arrived at EDR: 08/07/2009	Telephone: 202-586-8719
Date Made Active in Reports: 10/22/2009	Last EDR Contact: 04/15/2015
Number of Days to Update: 76	Next Scheduled EDR Contact: 07/27/2015
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 07/01/2014	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/10/2014	Telephone: N/A
Date Made Active in Reports: 10/20/2014	Last EDR Contact: 06/12/2015
Number of Days to Update: 40	Next Scheduled EDR Contact: 09/21/2015
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 10/19/2011	Telephone: 202-566-0517
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 05/01/2015
Number of Days to Update: 83	Next Scheduled EDR Contact: 08/10/2015
	Data Release Frequency: Varies

COAL ASH: Coal Ash Disposal Sites

Coal fired power plants in Southeast Michigan that have coal ash handling on site.

Date of Government Version: 10/15/2014	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 10/16/2014	Telephone: 586-753-3754
Date Made Active in Reports: 11/26/2014	Last EDR Contact: 04/06/2015
Number of Days to Update: 41	Next Scheduled EDR Contact: 07/20/2015
	Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 03/09/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/10/2015	Telephone: 202-566-1917
Date Made Active in Reports: 03/25/2015	Last EDR Contact: 05/14/2015
Number of Days to Update: 15	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 01/05/2011	Source: Dept of Environmental Quality
Date Data Arrived at EDR: 01/07/2011	Telephone: 517-335-4034
Date Made Active in Reports: 02/14/2011	Last EDR Contact: 06/23/2015
Number of Days to Update: 38	Next Scheduled EDR Contact: 10/12/2015
	Data Release Frequency: Varies

US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/16/2014	Source: EPA
Date Data Arrived at EDR: 10/31/2014	Telephone: 202-564-2496
Date Made Active in Reports: 11/17/2014	Last EDR Contact: 06/22/2015
Number of Days to Update: 17	Next Scheduled EDR Contact: 10/22/2015
	Data Release Frequency: Annually

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

Date of Government Version: 10/16/2014	Source: EPA
Date Data Arrived at EDR: 10/31/2014	Telephone: 202-564-2496
Date Made Active in Reports: 11/17/2014	Last EDR Contact: 06/22/2015
Number of Days to Update: 17	Next Scheduled EDR Contact: 10/05/2015
	Data Release Frequency: Annually

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005	Source: U.S. Geological Survey
Date Data Arrived at EDR: 02/06/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 04/14/2015
Number of Days to Update: 339	Next Scheduled EDR Contact: 07/27/2015
	Data Release Frequency: N/A

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 05/07/2015
Number of Days to Update: 88	Next Scheduled EDR Contact: 08/24/2015
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

EDR US Hist Auto Stat: EDR Exclusive Historic Gas Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR US Hist Cleaners: EDR Exclusive Historic Dry Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA PART 201: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 12/24/2013
Number of Days to Update: 176

Source: Department of Environmental Quality
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 12/24/2013
Number of Days to Update: 176

Source: Department of Environmental Quality
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Quality in Michigan.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 01/13/2014
Number of Days to Update: 196

Source: Department of Environmental Quality
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 07/30/2013
Date Data Arrived at EDR: 08/19/2013
Date Made Active in Reports: 10/03/2013
Number of Days to Update: 45

Source: Department of Energy & Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 05/18/2015
Next Scheduled EDR Contact: 08/31/2015
Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2012
Date Data Arrived at EDR: 04/29/2015
Date Made Active in Reports: 05/29/2015
Number of Days to Update: 30

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 04/14/2015
Next Scheduled EDR Contact: 07/27/2015
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/01/2015
Date Data Arrived at EDR: 05/06/2015
Date Made Active in Reports: 05/20/2015
Number of Days to Update: 14

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 05/06/2015
Next Scheduled EDR Contact: 08/17/2015
Data Release Frequency: Annually

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2013
Date Data Arrived at EDR: 07/21/2014
Date Made Active in Reports: 08/25/2014
Number of Days to Update: 35

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 04/16/2015
Next Scheduled EDR Contact: 08/03/2015
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2013
Date Data Arrived at EDR: 07/15/2014
Date Made Active in Reports: 08/13/2014
Number of Days to Update: 29

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 05/26/2015
Next Scheduled EDR Contact: 09/07/2015
Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 03/19/2015
Date Made Active in Reports: 04/07/2015
Number of Days to Update: 19

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 06/11/2015
Next Scheduled EDR Contact: 09/28/2015
Data Release Frequency: Annually

Oil/Gas Pipelines

Source: PennWell Corporation
Telephone: 281-546-1505

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by PennWell Corporation. This information is provided on a best effort basis and PennWell Corporation does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of PennWell.

Electric Power Transmission Line Data

Source: PennWell Corporation
Telephone: 800-823-6277

This map includes information copyrighted by PennWell Corporation. This information is provided on a best effort basis and PennWell Corporation does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of PennWell.

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.
Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services
Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Day Care Centers, Group & Family Homes

Source: Bureau of REgulatory Services

Telephone: 517-373-8300

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetlands Inventory

Source: Department of Natural Resources

Telephone: 517-241-2254

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

STREET AND ADDRESS INFORMATION

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GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

750 FOREST
750 FOREST AVE
BIRMINGHAM, MI 48009

TARGET PROPERTY COORDINATES

Latitude (North):	42.5454 - 42° 32' 43.44"
Longitude (West):	83.21 - 83° 12' 36.00"
Universal Tranverse Mercator:	Zone 17
UTM X (Meters):	318535.3
UTM Y (Meters):	4712487.0
Elevation:	769 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	42083-E2 BIRMINGHAM, MI
Most Recent Revision:	1981

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

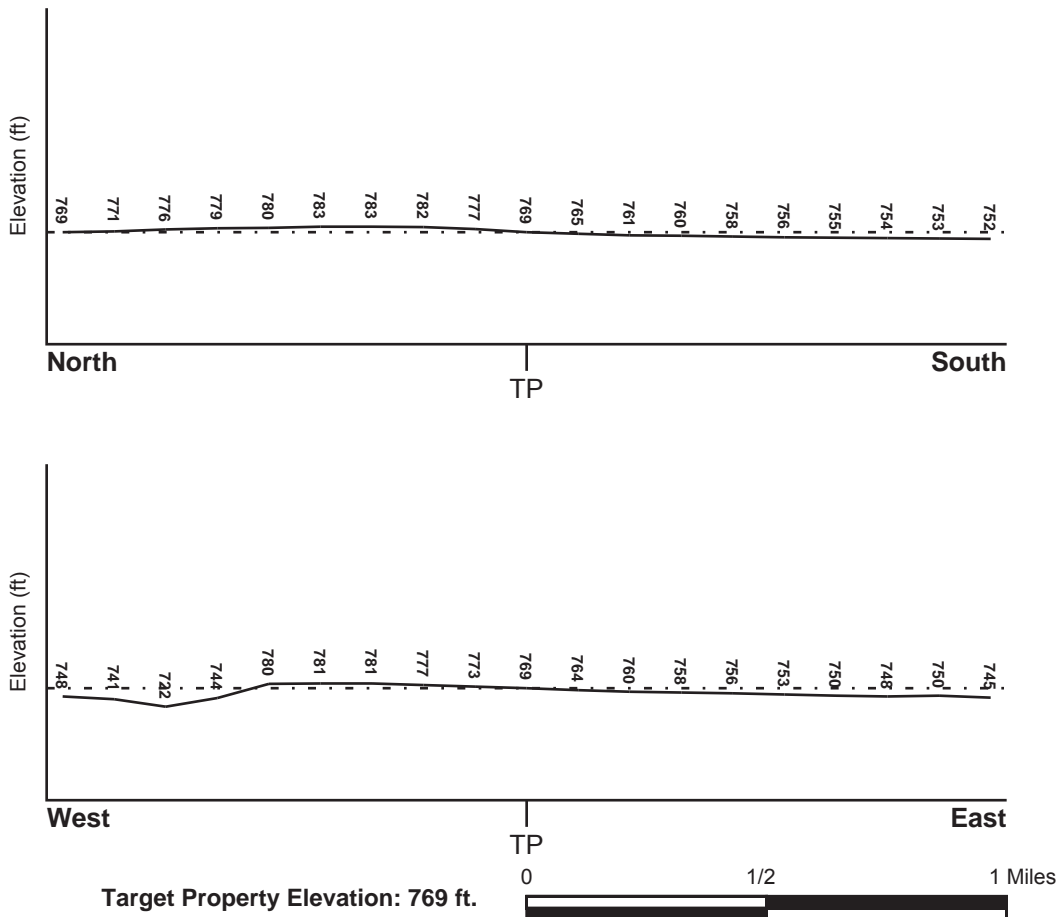
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General SE

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Target Property County</u> OAKLAND, MI	<u>FEMA Flood Electronic Data</u> YES - refer to the Overview Map and Detail Map
Flood Plain Panel at Target Property:	26125C - FEMA DFIRM Flood data
Additional Panels in search area:	Not Reported

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u> BIRMINGHAM	<u>NWI Electronic Data Coverage</u> YES - refer to the Overview Map and Detail Map
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HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Site-Specific Hydrogeological Data:*

Search Radius:	1.25 miles
Status:	Not found

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

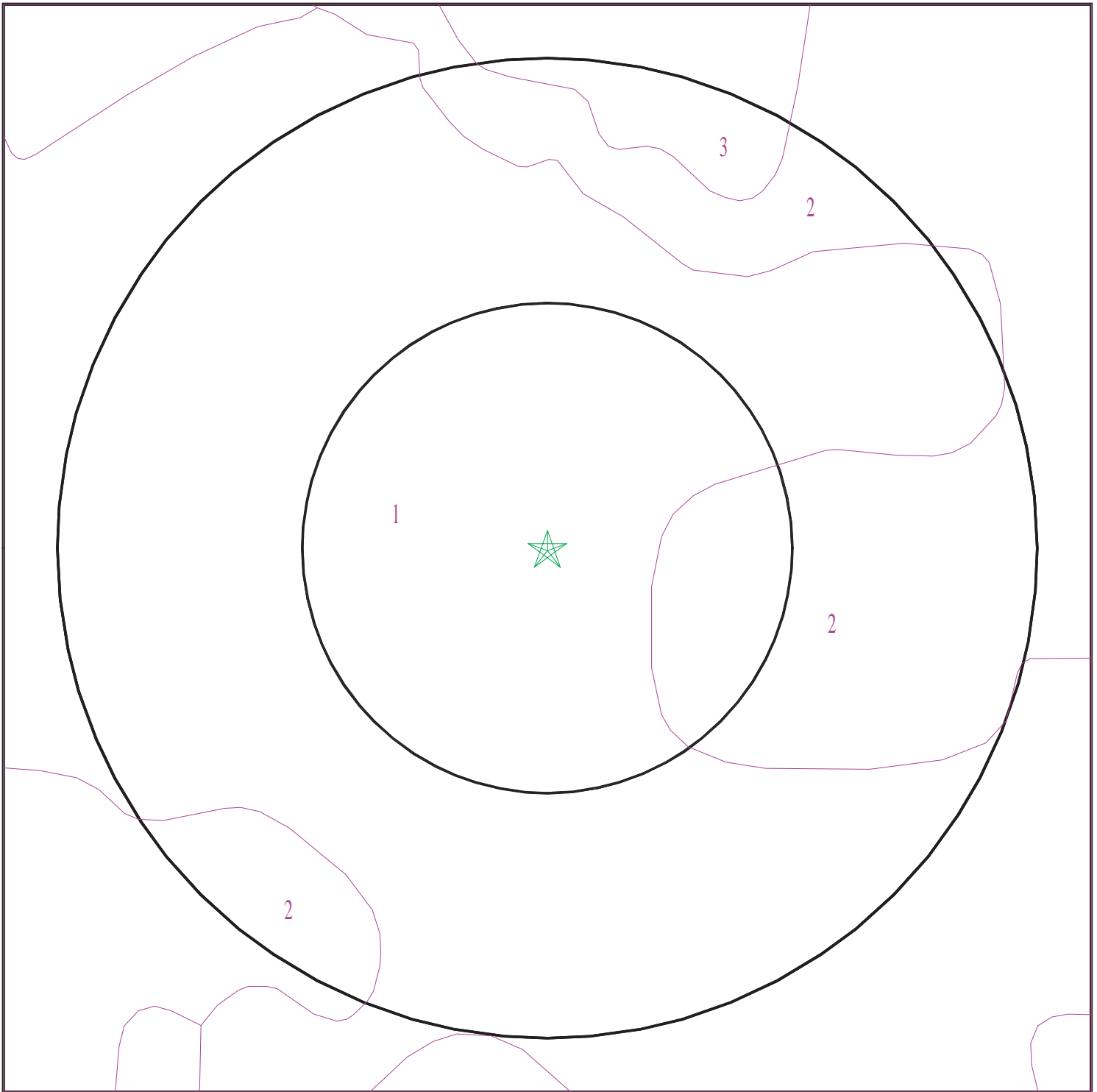
Era: Paleozoic
System: Devonian
Series: Upper Devonian
Code: D3 (*decoded above as Era, System & Series*)

GEOLOGIC AGE IDENTIFICATION

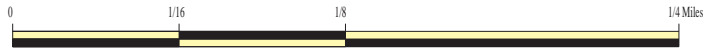
Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

SSURGO SOIL MAP - 4341397.2s



- ★ Target Property
- ∩ SSURGO Soil
- ∩ Water



SITE NAME: 750 Forest
ADDRESS: 750 Forest Ave
Birmingham MI 48009
LAT/LONG: 42.5454 / 83.21

CLIENT: Partner Engineering and Science, Inc.
CONTACT: Ana Perez
INQUIRY #: 4341397.2s
DATE: June 30, 2015 3:17 pm

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

Soil Map ID: 1

Soil Component Name: Urban land

Soil Surface Texture:
Hydrologic Group: Not reported

Soil Drainage Class:
Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

Soil Map ID: 2

Soil Component Name: Urban land

Soil Surface Texture:
Hydrologic Group: Not reported

Soil Drainage Class:
Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 46 inches

No Layer Information available.

Soil Map ID: 3

Soil Component Name: Urban land

Soil Surface Texture:
Hydrologic Group: Not reported

Soil Drainage Class:

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 130 inches

No Layer Information available.

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
2	USGS40000482179	1/2 - 1 Mile West
3	USGS40000482170	1/2 - 1 Mile West
10	USGS40000482203	1/2 - 1 Mile NE

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	MI2033663	0 - 1/8 Mile NW

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

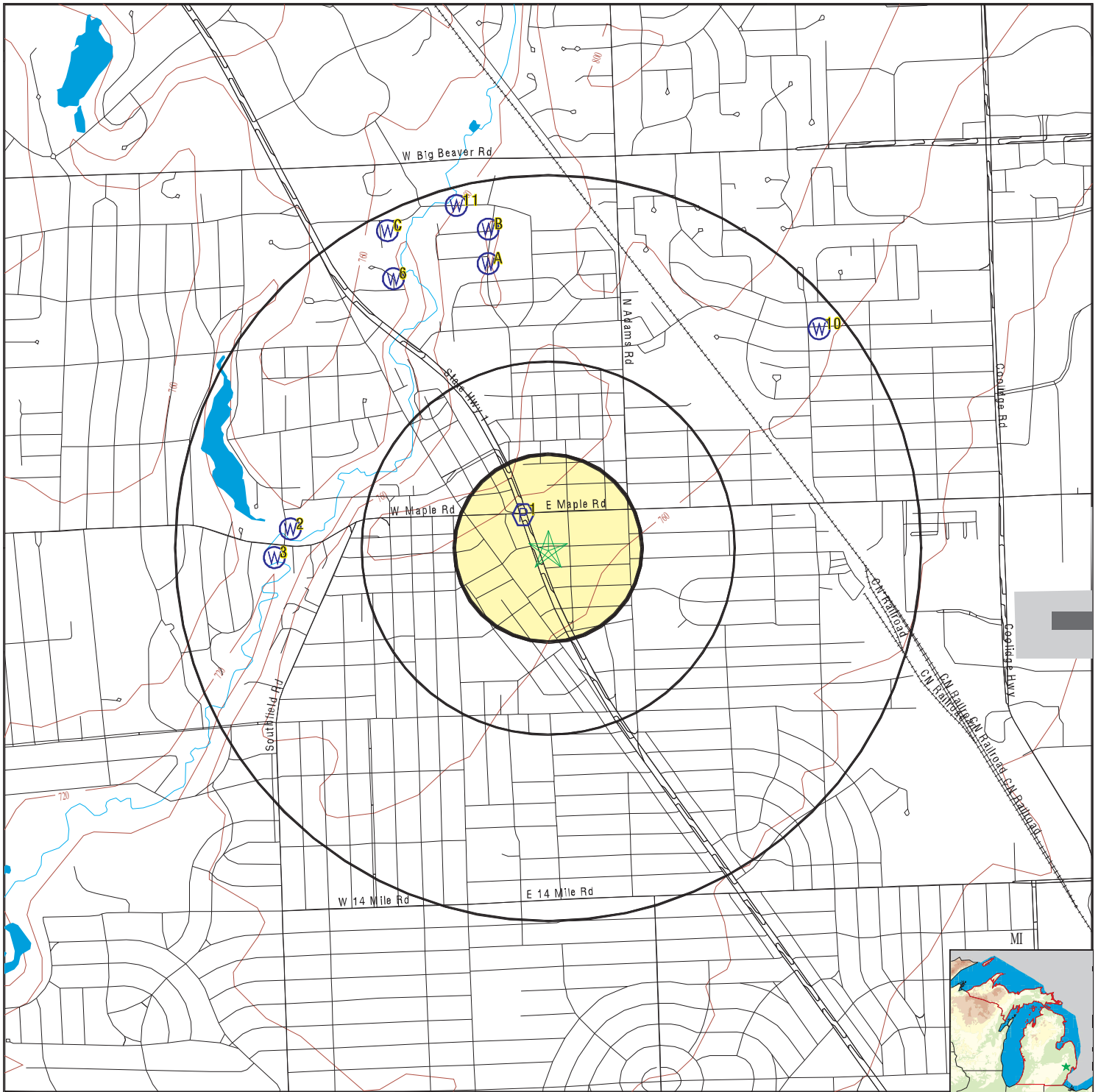
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A4	MI3000000095936	1/2 - 1 Mile NNW
A5	MI3000000096148	1/2 - 1 Mile NNW
6	MI3000000095906	1/2 - 1 Mile NNW

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

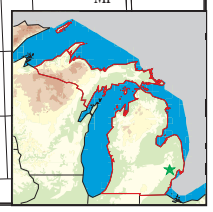
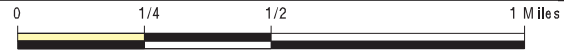
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
B7	MI3000000096323	1/2 - 1 Mile North
B8	MI3000000096345	1/2 - 1 Mile North
C9	MI3000000096235	1/2 - 1 Mile NNW
11	MI3000000096524	1/2 - 1 Mile NNW
C12	MI3000000096414	1/2 - 1 Mile NNW

PHYSICAL SETTING SOURCE MAP - 4341397.2s



- County Boundary
- Major Roads
- Contour Lines
- Airports
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons

- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells



SITE NAME: 750 Forest
 ADDRESS: 750 Forest Ave
 Birmingham MI 48009
 LAT/LONG: 42.5454 / 83.21

CLIENT: Partner Engineering and Science, Inc.
 CONTACT: Ana Perez
 INQUIRY #: 4341397.2s
 DATE: June 30, 2015 3:16 pm

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

1
NW
0 - 1/8 Mile
Higher

FRDS PWS MI2033663

PWS ID: MI2033663
Date Initiated: 7706 Date Deactivated: Not Reported
PWS Name: NATIVITY EPISCOPAL CHURCH
 21220 FOURTEEN MILE ROAD
 BIRMINGHAM 48010

Addressee / Facility: System Owner/Responsible Party
 JOHN FREDENBURGH
 S

Facility Latitude: 42 32 48 Facility Longitude: 083 12 41
City Served: BLOOMFIELD
Treatment Class: Untreated Population: 00000140

Violations information not reported.

2
West
1/2 - 1 Mile
Lower

FED USGS USGS40000482179

Org. Identifier: USGS-MI
Formal name: USGS Michigan Water Science Center
Monloc Identifier: USGS-423246083132501
Monloc name: 02N 10E 36BBBA 01
Monloc type: Well
Monloc desc: Not Reported
Huc code: 04090004 Drainagearea value: Not Reported
Drainagearea Units: Not Reported Contrib drainagearea: Not Reported
Contrib drainagearea units: Not Reported Latitude: 42.5461456
Longitude: -83.2235418 Sourcemap scale: Not Reported
Horiz Acc measure: 5 Horiz Acc measure units: seconds
Horiz Collection method: Interpolated from map
Horiz coord refs: NAD83 Vert measure val: 725
Vert measure units: feet Vertacc measure val: 10
Vert accmeasure units: feet
Vertcollection method: Interpolated from topographic map
Vert coord refs: NGVD29 Countrycode: US
Aquifername: Sand and gravel aquifers (glaciated regions)
Formation type: Pleistocene Series
Aquifer type: Not Reported
Construction date: 19210101 Welldepth: 96
Welldepth units: ft Wellholedepth: Not Reported
Wellholedepth units: Not Reported

Ground-water levels, Number of Measurements: 1

Date	Feet below Surface	Feet to Sealevel

1921-01-01	20.00	

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

3
West
1/2 - 1 Mile
Lower

FED USGS USGS40000482170

Org. Identifier:	USGS-MI		
Formal name:	USGS Michigan Water Science Center		
Monloc Identifier:	USGS-423242083132801		
Monloc name:	02N 10E 36BBBC 01		
Monloc type:	Well		
Monloc desc:	Not Reported		
Huc code:	04090004	Drainagearea value:	Not Reported
Drainagearea Units:	Not Reported	Contrib drainagearea:	Not Reported
Contrib drainagearea units:	Not Reported	Latitude:	42.5450345
Longitude:	-83.2243751	Sourcemap scale:	Not Reported
Horiz Acc measure:	5	Horiz Acc measure units:	seconds
Horiz Collection method:	Interpolated from map		
Horiz coord refsys:	NAD83	Vert measure val:	725
Vert measure units:	feet	Vertacc measure val:	10
Vert accmeasure units:	feet		
Vertcollection method:	Interpolated from topographic map		
Vert coord refsys:	NGVD29	Countrycode:	US
Aquifername:	Not Reported		
Formation type:	Not Reported		
Aquifer type:	Not Reported		
Construction date:	Not Reported	Welldepth:	207
Welldepth units:	ft	Wellholedepth:	Not Reported
Wellholedepth units:	Not Reported		

Ground-water levels, Number of Measurements: 0

A4
NNW
1/2 - 1 Mile
Higher

MI WELLS MI3000000095936

Wellid:	63000004244	Import id:	63028025008
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	DR SAMIR M RAGHEB		
Well addr:	1130 OXFORD		
Well depth:	116		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	25
Const date:	1969-02-05 00:00:00.000	Case type:	Unknown
Case dia:	6		
Case depth:	113.3		
Screen frm:	111		
Screen to:	116		
Swl:	48		
Test depth:	100		
Test hours:	5		
Test rate:	55	Test methd:	Unknown
Grouted:	0	Pmp cpcity:	0
Latitude:	42.55599085		
Longitude:	-83.21317482		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographoc Map Interpolation	Depth flag:	Not Reported
Elev flag:	ELEV_DIF > 20 feet -- Abs(Elevation feet DEM_Elevation) > 20 feet		
Swl flag:	Not Reported		
Elev dem:	777	Elev dif:	29
Elev miv:	748	Aq code:	Drift Well
Aq flag:	Not Reported		
Pct aq:	20		
Pct aq d:	20	Pct aq r:	0
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	43
Pct cm d:	43	Pct cm r:	0
Pct pcm:	37	Pct pcm d:	37
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported	Rock top:	-1
D r type:	Not Reported	Spc cpcity:	0
A thicknes:	6	A pct aq:	100
A pct maq:	0	A pct pcm:	0
A pct cm:	0	A pct na:	0
A thickns2:	68	A pct aq2:	9
A pct maq2:	0	A pct pcm2:	35
A pct cm2:	56	A pct na2:	0
A hit swl:	F	A hit top:	F
A hit rock:	F	A sc lith1:	Sand
A sc lmod1:	Fine To Medium	A sc lmaq1:	AQ
A sc lpct1:	80	A sc lith2:	Gravel
A sc lmod2:	Not Reported	A sc lmaq2:	AQ
A sc lpct2:	20	Pct aq 1:	85
Pct maq 1:	0	Pct cm 1:	0
Pct pcm 1:	15	Pct na 1:	0
Pct aq 2:	0	Pct maq 2:	0
Pct cm 2:	20	Pct pcm 2:	80
Pct na 2:	0	Pct aq 3:	0
Pct maq 3:	0	Pct cm 3:	100
Pct pcm 3:	0	Pct na 3:	0
Pct aq 4:	0	Pct maq 4:	0
Pct cm 4:	100	Pct pcm 4:	0
Pct na 4:	0	Pct aq 5:	0
Pct maq 5:	0	Pct cm 5:	30
Pct pcm 5:	70	Pct na 5:	0
Pct aq 6:	0	Pct maq 6:	0
Pct cm 6:	0	Pct pcm 6:	0
Pct na 6:	0	Pct aq 7:	0
Pct maq 7:	0	Pct cm 7:	0
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Within sec:	Y	Loc match:	Y
Aq code 1:	D		
Hit swl:	F		
Athk2:	68		
Horiz Conduct:	1.50359		
Vert Conduct:	.00018		
T2:	102.2438		
D50plek:	13.77063		

**A5
NNW
1/2 - 1 Mile
Higher**

MI WELLS MI300000096148

Wellid:	63000004243	Import id:	63028025007
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	ANDREW P TRESTRAIL		
Well addr:	1250 OXFORD		
Well depth:	118		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	414
Const date:	1988-03-16 00:00:00.000	Case type:	Steel-black
Case dia:	4		
Case depth:	118		
Screen frm:	113		
Screen to:	118		
Swl:	34		
Test depth:	52		
Test hours:	4		
Test rate:	35	Test methd:	Unknown
Grouted:	1	Pmp cpcity:	0
Latitude:	42.55690875		
Longitude:	-83.21311792		
Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographic Map Interpolation	Depth flag:	Not Reported
Elev flag:	ELEV_DIF > 20 feet -- Abs(Elevation feet DEM_Elevation) > 20 feet		
Swl flag:	Not Reported		
Elev dem:	781	Elev dif:	33
Elev miv:	748	Aq code:	Drift Well
Aq flag:	Not Reported		
Pct aq:	45		
Pct aq d:	45	Pct aq r:	0
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	42
Pct cm d:	42	Pct cm r:	0
Pct pcm:	13	Pct pcm d:	13
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported	Rock top:	-1
D r type:	Not Reported	Spc cpcity:	0
A thicknes:	16	A pct aq:	100
A pct maq:	0	A pct pcm:	0
A pct cm:	0	A pct na:	0
A thickns2:	84	A pct aq2:	24

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

A pct maq2:	0	A pct pcm2:	18
A pct cm2:	58	A pct na2:	0
A hit swl:	F	A hit top:	F
A hit rock:	F	A sc lith1:	Sand
A sc lmod1:	Wet/Moist	A sc lmaq1:	AQ
A sc lpct1:	100	A sc lith2:	Not Reported
A sc lmod2:	Not Reported	A sc lmaq2:	Not Reported
A sc lpct2:	0	Pct aq 1:	100
Pct maq 1:	0	Pct cm 1:	0
Pct pcm 1:	0	Pct na 1:	0
Pct aq 2:	65	Pct maq 2:	0
Pct cm 2:	35	Pct pcm 2:	0
Pct na 2:	0	Pct aq 3:	0
Pct maq 3:	0	Pct cm 3:	100
Pct pcm 3:	0	Pct na 3:	0
Pct aq 4:	20	Pct maq 4:	0
Pct cm 4:	80	Pct pcm 4:	0
Pct na 4:	0	Pct aq 5:	0
Pct maq 5:	0	Pct cm 5:	35
Pct pcm 5:	65	Pct na 5:	0
Pct aq 6:	0	Pct maq 6:	0
Pct cm 6:	0	Pct pcm 6:	0
Pct na 6:	0	Pct aq 7:	0
Pct maq 7:	0	Pct cm 7:	0
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0
Within sec:	Y	Loc match:	Y
Aq code 1:	D		
Hit swl:	F		
Athk2:	84		
Horiz Conduct:	2.57327		
Vert Conduct:	.00017		
T2:	216.1549		
D50plek:	34.39996		

6
 NNW
 1/2 - 1 Mile
 Lower

MI WELLS MI300000095906

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Wellid:	63000004238	Import id:	63028025002
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	SCOTT J SELIGMAN TR		
Well addr:	73 JUDY		
Well depth:	150		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	131
Const date:	1967-12-26 00:00:00.000	Case type:	Unknown
Case dia:	4		
Case depth:	146		
Screen frm:	146		
Screen to:	150		
Swl:	10		
Test depth:	144		
Test hours:	3		
Test rate:	40	Test methd:	Unknown
Grouted:	0	Pmp cpcity:	0
Latitude:	42.55586365		
Longitude:	-83.21811452		
Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographoc Map Interpolation	Depth flag:	Not Reported
Elev flag:	Not Reported		
Swl flag:	Not Reported		
Elev dem:	748	Elev dif:	0
Elev miv:	748	Aq code:	Drift Well
Aq flag:	Not Reported		
Pct aq:	31		
Pct aq d:	31	Pct aq r:	0
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	27
Pct cm d:	27	Pct cm r:	0
Pct pcm:	43	Pct pcm d:	43
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported	Rock top:	-1
D r type:	Not Reported	Spc cpcity:	0
A thicknes:	40	A pct aq:	100
A pct maq:	0	A pct pcm:	0
A pct cm:	0	A pct na:	0
A thickns2:	140	A pct aq2:	29
A pct maq2:	0	A pct pcm2:	46
A pct cm2:	26	A pct na2:	0
A hit swl:	F	A hit top:	F
A hit rock:	F	A sc lith1:	Sand
A sc lmod1:	Fine	A sc lmaq1:	AQ
A sc lpct1:	100	A sc lith2:	Not Reported
A sc lmod2:	Not Reported	A sc lmaq2:	Not Reported
A sc lpct2:	0	Pct aq 1:	30
Pct maq 1:	0	Pct cm 1:	70
Pct pcm 1:	0	Pct na 1:	0
Pct aq 2:	0	Pct maq 2:	0
Pct cm 2:	100	Pct pcm 2:	0
Pct na 2:	0	Pct aq 3:	0
Pct maq 3:	0	Pct cm 3:	30
Pct pcm 3:	70	Pct na 3:	0
Pct aq 4:	0	Pct maq 4:	0
Pct cm 4:	0	Pct pcm 4:	100
Pct na 4:	0	Pct aq 5:	0
Pct maq 5:	0	Pct cm 5:	0
Pct pcm 5:	100	Pct na 5:	0

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pct aq 6:	60	Pct maq 6:	0
Pct cm 6:	0	Pct pcm 6:	40
Pct na 6:	0	Pct aq 7:	100
Pct maq 7:	0	Pct cm 7:	0
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0
Within sec:	Y	Loc match:	Y
Aq code 1:	D		
Hit swl:	F		
Athk2:	140		
Horiz Conduct:	7.1488		
Vert Conduct:	.00035		
T2:	1000.8326		
D50plek:	243.77624		

**B7
North
1/2 - 1 Mile
Higher**

MI WELLS MI3000000096323

Wellid:	63000004237	Import id:	63028025001
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	THOMAS A HILBORN		
Well addr:	290 HARROW		
Well depth:	147		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	25
Const date:	1976-03-01 00:00:00.000	Case type:	Unknown
Case dia:	6		
Case depth:	136		
Screen frm:	136		
Screen to:	147		
Swl:	24		
Test depth:	133		
Test hours:	3		
Test rate:	20	Test methd:	Unknown
Grouted:	0	Pmp cpcity:	0
Latitude:	42.55772835		
Longitude:	-83.21330562		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographoc Map Interpolation	Depth flag:	Not Reported
Elev flag:	ELEV_DIF > 20 feet -- Abs(Elevation feet DEM_Elevation) > 20 feet		
Swl flag:	Not Reported		
Elev dem:	777	Elev dif:	29
Elev niv:	748	Aq code:	Drift Well
Aq flag:	Not Reported		
Pct aq:	13		
Pct aq d:	13	Pct aq r:	0
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	76
Pct cm d:	76	Pct cm r:	0
Pct pcm:	8	Pct pcm d:	8
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported	Rock top:	-1
D r type:	Not Reported	Spc cpcity:	0
A thicknes:	11	A pct aq:	100
A pct maq:	0	A pct pcm:	0
A pct cm:	0	A pct na:	0
A thickns2:	123	A pct aq2:	15
A pct maq2:	0	A pct pcm2:	10
A pct cm2:	75	A pct na2:	0
A hit swl:	F	A hit top:	F
A hit rock:	F	A sc lith1:	Sand
A sc lmod1:	Fine	A sc lmaq1:	AQ
A sc lpct1:	64	A sc lith2:	Sand
A sc lmod2:	Very Fine	A sc lmaq2:	AQ
A sc lpct2:	36	Pct aq 1:	0
Pct maq 1:	0	Pct cm 1:	75
Pct pcm 1:	0	Pct na 1:	25
Pct aq 2:	0	Pct maq 2:	0
Pct cm 2:	100	Pct pcm 2:	0
Pct na 2:	0	Pct aq 3:	0
Pct maq 3:	0	Pct cm 3:	100
Pct pcm 3:	0	Pct na 3:	0
Pct aq 4:	40	Pct maq 4:	0
Pct cm 4:	60	Pct pcm 4:	0
Pct na 4:	0	Pct aq 5:	0
Pct maq 5:	0	Pct cm 5:	100
Pct pcm 5:	0	Pct na 5:	0
Pct aq 6:	0	Pct maq 6:	0
Pct cm 6:	96	Pct pcm 6:	4
Pct na 6:	0	Pct aq 7:	0
Pct maq 7:	0	Pct cm 7:	0
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Within sec:	Y	Loc match:	Y
Aq code 1:	D		
Hit swl:	F		
Athk2:	123		
Horiz Conduct:	.11019		
Vert Conduct:	.0002		
T2:	13.5536		
D50plek:	3.7634		

B8
North
1/2 - 1 Mile
Higher

MI WELLS MI3000000096345

Wellid:	63000004245	Import id:	63028025009
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	BETTIANN ALESSANDRI		
Well addr:	1360 OXFORD		
Well depth:	124		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	414
Const date:	1997-05-10 00:00:00.000	Case type:	Steel-black
Case dia:	5		
Case depth:	116		
Screen frm:	116		
Screen to:	124		
Swl:	25		
Test depth:	110		
Test hours:	2		
Test rate:	12	Test methd:	Unknown
Grouted:	1	Pmp cpcity:	0
Latitude:	42.55785745		
Longitude:	-83.21296502		
Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographic Map Interpolation	Depth flag:	Not Reported
Elev flag:	ELEV_DIF > 20 feet -- Abs(Elevation feet DEM_Elevation) > 20 feet		
Swl flag:	Not Reported		
Elev dem:	781	Elev dif:	33
Elev miv:	748	Aq code:	Drift Well
Aq flag:	Not Reported		
Pct aq:	11		
Pct aq d:	11	Pct aq r:	0
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	32
Pct cm d:	32	Pct cm r:	0
Pct pcm:	17	Pct pcm d:	17
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported	Rock top:	-1
D r type:	Not Reported	Spc cpcity:	0
A thicknes:	46	A pct aq:	30
A pct maq:	0	A pct pcm:	0
A pct cm:	0	A pct na:	70
A thickns2:	99	A pct aq2:	14

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

A pct maq2:	0	A pct pcm2:	21
A pct cm2:	32	A pct na2:	32
A hit swl:	F	A hit top:	F
A hit rock:	F	A sc lith1:	Sand
A sc lmod1:	Fine	A sc lmaq1:	AQ
A sc lpct1:	100	A sc lith2:	Not Reported
A sc lmod2:	Not Reported	A sc lmaq2:	Not Reported
A sc lpct2:	0	Pct aq 1:	0
Pct maq 1:	0	Pct cm 1:	15
Pct pcm 1:	0	Pct na 1:	85
Pct aq 2:	0	Pct maq 2:	0
Pct cm 2:	100	Pct pcm 2:	0
Pct na 2:	0	Pct aq 3:	0
Pct maq 3:	0	Pct cm 3:	85
Pct pcm 3:	15	Pct na 3:	0
Pct aq 4:	0	Pct maq 4:	0
Pct cm 4:	0	Pct pcm 4:	90
Pct na 4:	10	Pct aq 5:	0
Pct maq 5:	0	Pct cm 5:	0
Pct pcm 5:	0	Pct na 5:	100
Pct aq 6:	0	Pct maq 6:	0
Pct cm 6:	0	Pct pcm 6:	0
Pct na 6:	0	Pct aq 7:	0
Pct maq 7:	0	Pct cm 7:	0
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0
Within sec:	Y	Loc match:	Y
Aq code 1:	Not Reported		
Hit swl:	Not Reported		
Athk2:	0		
Horiz Conduct:	0		
Vert Conduct:	0		
T2:	0		
D50plek:	0		

C9
 NNW
 1/2 - 1 Mile
 Lower

MI WELLS MI300000096235

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Wellid:	63000004241	Import id:	63028025005
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	RICHARD J PERRY		
Well addr:	94 MANOR CT		
Well depth:	70		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	25
Const date:	1984-06-03 00:00:00.000	Case type:	Unknown
Case dia:	4		
Case depth:	68.5		
Screen frm:	68.5		
Screen to:	70		
Swl:	0		
Test depth:	30		
Test hours:	1.5		
Test rate:	20	Test methd:	Unknown
Grouted:	0	Pmp cpcity:	0
Latitude:	42.55732465		
Longitude:	-83.21866952		
Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographoc Map Interpolation	Depth flag:	Not Reported
Elev flag:	Not Reported		
Swl flag:	SWL = 0		
Elev dem:	751	Elev dif:	3
Elev miv:	748	Aq code:	Drift Well
Aq flag:	Not Reported		
Pct aq:	3		
Pct aq d:	3	Pct aq r:	0
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	81
Pct cm d:	81	Pct cm r:	0
Pct pcm:	16	Pct pcm d:	16
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported		
D r type:	Not Reported		
A thicknes:	3	Rock top:	-1
A pct maq:	0	Spc cpcity:	0
A pct cm:	20	A pct aq:	80
A thickns2:	70	A pct pcm:	0
A pct maq2:	0	A pct na:	0
A pct cm2:	81	A pct aq2:	3
A hit swl:	F	A pct pcm2:	16
A hit rock:	F	A pct na2:	0
A sc lmod1:	Not Reported	A hit top:	F
A sc lpct1:	67	A sc lith1:	Sand & Gravel
A sc lmod2:	Not Reported	A sc lmaq1:	AQ
A sc lpct2:	33	A sc lith2:	Clay
Pct maq 1:	0	A sc lmaq2:	CM
Pct pcm 1:	0	Pct aq 1:	0
Pct aq 2:	0	Pct cm 1:	100
Pct cm 2:	100	Pct na 1:	0
Pct na 2:	0	Pct maq 2:	0
Pct maq 3:	0	Pct pcm 2:	0
Pct pcm 3:	55	Pct aq 3:	0
Pct aq 4:	0	Pct cm 3:	45
Pct cm 4:	0	Pct na 3:	0
Pct na 4:	0	Pct maq 4:	0
Pct maq 5:	0	Pct pcm 4:	0
Pct pcm 5:	0	Pct aq 5:	0
		Pct cm 5:	0
		Pct na 5:	0

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pct aq 6:	0	Pct maq 6:	0
Pct cm 6:	0	Pct pcm 6:	0
Pct na 6:	0	Pct aq 7:	0
Pct maq 7:	0	Pct cm 7:	0
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0
Within sec:	Y	Loc match:	Y
Aq code 1:	D		
Hit swl:	F		
Athk2:	70		
Horiz Conduct:	.02907		
Vert Conduct:	.00012		
T2:	2.0347		
D50plek:	.37006		

**10
NE
1/2 - 1 Mile
Lower**

FED USGS USGS40000482203

Org. Identifier:	USGS-MI		
Formal name:	USGS Michigan Water Science Center		
Monloc Identifier:	USGS-423314083114501		
Monloc name:	02N 11E 30DBBB 02		
Monloc type:	Well		
Monloc desc:	Not Reported		
Huc code:	04090004	Drainagearea value:	Not Reported
Drainagearea Units:	Not Reported	Contrib drainagearea:	Not Reported
Contrib drainagearea units:	Not Reported	Latitude:	42.5539233
Longitude:	-83.1957634	Sourcemap scale:	Not Reported
Horiz Acc measure:	5	Horiz Acc measure units:	seconds
Horiz Collection method:	Interpolated from map		
Horiz coord refsys:	NAD83	Vert measure val:	762
Vert measure units:	feet	Vertacc measure val:	10
Vert accmeasure units:	feet		
Vertcollection method:	Interpolated from topographic map		
Vert coord refsys:	NGVD29	Countrycode:	US
Aquifername:	Sand and gravel aquifers (glaciated regions)		
Formation type:	Pleistocene Series		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Aquifer type:	Not Reported	Welldepth:	240
Construction date:	19280101	Wellholedepth:	Not Reported
Welldepth units:	ft		
Wellholedepth units:	Not Reported		

Ground-water levels, Number of Measurements: 1

Date	Feet below Surface	Feet to Sealevel

1928-09-01	13.00	

**11
NNW
1/2 - 1 Mile
Lower**

MI WELLS MI300000096524

Wellid:	63000004242	Import id:	63028025006
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	MASAT IZU		
Well addr:	265 MANOR RD		
Well depth:	94		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	25
Const date:	1976-05-21 00:00:00.000	Case type:	Unknown
Case dia:	6		
Case depth:	87.7		
Screen frm:	88		
Screen to:	93		
Swl:	18		
Test depth:	50		
Test hours:	4		
Test rate:	80	Test methd:	Unknown
Grouted:	0	Pmp cpcity:	0
Latitude:	42.55870845		
Longitude:	-83.21481572		
Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographoc Map Interpolation	Depth flag:	Not Reported
Elev flag:	Not Reported		
Swl flag:	Not Reported		
Elev dem:	751	Elev dif:	3
Elev miv:	748	Aq code:	Drift Well
Aq flag:	Not Reported		
Pct aq:	19		
Pct aq d:	19	Pct aq r:	0
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	39
Pct cm d:	39	Pct cm r:	0
Pct pcm:	32	Pct pcm d:	32
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported	Rock top:	-1
D r type:	Not Reported	Spc cpcity:	0
A thickns:	15	A pct aq:	47
A pct maq:	0	A pct pcm:	0
A pct cm:	0	A pct na:	53
A thickns2:	75	A pct aq2:	9

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

A pct maq2:	0	A pct pcm2:	31
A pct cm2:	49	A pct na2:	11
A hit swl:	F	A hit top:	F
A hit rock:	F	A sc lith1:	Lithology Unknown
A sc lmod1:	Not Reported	A sc lmaq1:	NA
A sc lpct1:	100	A sc lith2:	Not Reported
A sc lmod2:	Not Reported	A sc lmaq2:	Not Reported
A sc lpct2:	0	Pct aq 1:	55
Pct maq 1:	0	Pct cm 1:	0
Pct pcm 1:	45	Pct na 1:	0
Pct aq 2:	0	Pct maq 2:	0
Pct cm 2:	0	Pct pcm 2:	100
Pct na 2:	0	Pct aq 3:	0
Pct maq 3:	0	Pct cm 3:	95
Pct pcm 3:	5	Pct na 3:	0
Pct aq 4:	10	Pct maq 4:	0
Pct cm 4:	90	Pct pcm 4:	0
Pct na 4:	0	Pct aq 5:	0
Pct maq 5:	0	Pct cm 5:	0
Pct pcm 5:	0	Pct na 5:	0
Pct aq 6:	0	Pct maq 6:	0
Pct cm 6:	0	Pct pcm 6:	0
Pct na 6:	0	Pct aq 7:	0
Pct maq 7:	0	Pct cm 7:	0
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0
Within sec:	Y	Loc match:	Y
Aq code 1:	Not Reported		
Hit swl:	Not Reported		
Athk2:	0		
Horiz Conduct:	0		
Vert Conduct:	0		
T2:	0		
D50plek:	0		

C12
 NNW
 1/2 - 1 Mile
 Lower

MI WELLS MI300000096414

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Wellid:	63000004240	Import id:	63028025004
County:	Oakland	Township:	Bloomfield
Town range:	02N 10E	Section:	25
Owner name:	SHERYL RYAN		
Well addr:	86 MANOR RD		
Well depth:	255		
Well type:	Household		
Wssn:	0		
Well num:	Not Reported	Driller id:	25
Const date:	1979-01-08 00:00:00.000	Case type:	Unknown
Case dia:	4		
Case depth:	203.8		
Screen frm:	0		
Screen to:	0		
Swl:	25		
Test depth:	150		
Test hours:	9		
Test rate:	11	Test methd:	Unknown
Grouted:	0	Pmp cpcity:	0
Latitude:	42.55813405		
Longitude:	-83.21818952		
Methd coll:	Address Matching-House Number		
Elevation:	748		
Elev methd:	Topographoc Map Interpolation	Depth flag:	Not Reported
Elev flag:	Not Reported		
Swl flag:	Not Reported		
Elev dem:	748	Elev dif:	0
Elev miv:	748	Aq code:	Rock Well
Aq flag:	Not Reported		
Pct aq:	27		
Pct aq d:	9	Pct aq r:	68
Pct maq:	0	Pct maq d:	0
Pct maq r:	0	Pct cm:	64
Pct cm d:	78	Pct cm r:	32
Pct pcm:	9	Pct pcm d:	13
Pct pcm r:	0	Pct na:	0
Pct na d:	0	Pct na r:	0
Pct flag:	Not Reported	Rock top:	179
D r type:	Not Reported	Spc cpcity:	0
A thicknes:	0	A pct aq:	0
A pct maq:	0	A pct pcm:	0
A pct cm:	0	A pct na:	0
A thickns2:	0	A pct aq2:	0
A pct maq2:	0	A pct pcm2:	0
A pct cm2:	0	A pct na2:	0
A hit swl:	F	A hit top:	F
A hit rock:	F	A sc lith1:	Not Reported
A sc lmod1:	Not Reported	A sc lmaq1:	Not Reported
A sc lpct1:	0	A sc lith2:	Not Reported
A sc lmod2:	Not Reported	A sc lmaq2:	Not Reported
A sc lpct2:	0	Pct aq 1:	0
Pct maq 1:	0	Pct cm 1:	100
Pct pcm 1:	0	Pct na 1:	0
Pct aq 2:	0	Pct maq 2:	0
Pct cm 2:	100	Pct pcm 2:	0
Pct na 2:	0	Pct aq 3:	0
Pct maq 3:	0	Pct cm 3:	100
Pct pcm 3:	0	Pct na 3:	0
Pct aq 4:	15	Pct maq 4:	0
Pct cm 4:	85	Pct pcm 4:	0
Pct na 4:	0	Pct aq 5:	30
Pct maq 5:	0	Pct cm 5:	70
Pct pcm 5:	0	Pct na 5:	0

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pct aq 6:	0	Pct maq 6:	0
Pct cm 6:	100	Pct pcm 6:	0
Pct na 6:	0	Pct aq 7:	24
Pct maq 7:	0	Pct cm 7:	76
Pct pcm 7:	0	Pct na 7:	0
Pct aq 8:	0	Pct maq 8:	0
Pct cm 8:	0	Pct pcm 8:	0
Pct na 8:	0	Pct aq 9:	0
Pct maq 9:	0	Pct cm 9:	0
Pct pcm 9:	0	Pct na 9:	0
Pct aq 10:	0	Pct maq 10:	0
Pct cm 10:	0	Pct pcm 10:	0
Pct na 10:	0	Pct aq 11:	0
Pct maq 11:	0	Pct cm 11:	0
Pct pcm 11:	0	Pct na 11:	0
Pct aq 12:	0	Pct maq 12:	0
Pct cm 12:	0	Pct pcm 12:	0
Pct na 12:	0	Pct aq 13:	0
Pct maq 13:	0	Pct cm 13:	0
Pct pcm 13:	0	Pct na 13:	0
Within sec:	Y	Loc match:	Y
Aq code 1:	R		
Hit swl:	F		
Athk2:	0		
Horiz Conduct:	.56644		
Vert Conduct:	.00019		
T2:	90.06332		
D50plek:	28.58307		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

State Database: MI Radon

Radon Test Results

Zipcode	Test Date	LT Sign	Result
48009	4/21/2007		1.5
48009	1/14/2008		1.5
48009	7/14/2004		1.5
48009	4/7/2006		1.5
48009	4/12/2002		1.4
48009	7/29/2004		1.4
48009	7/27/2009		1.5
48009	10/19/2009		1.5
48009	5/29/2001		1.4
48009	1/29/2009		1.4
48009	4/7/2006		1.4
48009	12/4/2006		1.4
48009	5/28/2003		1.3
48009	1/24/2009		1.3
48009	1/6/1997		1.2
48009	8/22/2002		1.2
48009	5/24/2002		1.2
48009	3/26/2004		1.2
48009	3/26/2004		1.2
48009	3/26/2004		1.2
48009	2/8/2005		1.2
48009	10/13/1995		1.1
48009	7/1/1998		1.1
48009	5/10/2002		1.1
48009	5/31/2002		1.1
48009	2/24/2003		1.1
48009	1/27/2009		1.2
48009	1/24/2009		1.2
48009	2/17/2009		1.2
48009	2/14/2009		1.2
48009	2/2/2009		1.1
48009	3/22/2004		1.1
48009	3/7/2008		1.1
48009	6/8/2002		1.0
48009	2/2/2009		1.1
48009	7/3/1995		1.0
48009	2/26/1999		1.0
48009	2/16/2005		1.9
48009	2/2/2006		1.9
48009	11/15/2001		1.9
48009	4/20/1998		1.9
48009	3/11/2003		1.8
48009	10/13/2008		1.9
48009	10/27/2000		1.9
48009	2/27/2009		1.9
48009	4/3/2009		1.9
48009			

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

	1/13/1996		1.8
48009	2/21/1995		1.8
48009	11/20/2007		1.8
48009	10/13/1995		1.7
48009	7/29/2003		1.7
48009	4/29/2002		1.7
48009	10/31/2002		1.7
48009	1/18/2003		1.7
48009	1/28/2003		1.7
48009	11/22/2003		1.6
48009	12/30/2003		1.6
48009	2/7/2009		1.7
48009	1/29/2009		1.7
48009	5/11/2007	<	0.3
48009	5/7/2005		0.5
48009	3/8/2004		0.5
48009	1/29/2004	<	0.3
48009	1/12/2004	<	0.3
48009	4/7/2006	<	0.3
48009	6/2/2004	<	0.3
48009	3/21/2007		0.5
48009	8/30/1999		0.5
48009	11/16/2004	<	0.3
48009	3/18/1994		0.5
48009	3/18/1994		0.5
48009	9/26/1998	<	0.3
48009	2/18/1999	<	0.3
48009	1/22/2008	<	0.3
48009	5/20/2003	<	0.3
48009	5/10/2002	<	0.3
48009	5/23/2002	<	0.3
48009	4/15/2002	<	0.3
48009	1/15/2007	<	0.3
48009	1/20/1998		0.8
48009	7/3/1995		0.8
48009	3/15/2004		0.7
48009	3/19/2003		0.8
48009	3/29/2004		0.8
48009	4/17/2004		0.6
48009	3/24/2006		0.8
48009	10/9/2004		0.9
48009	2/9/2004		0.9
48009	2/21/2004		0.9
48009	11/10/2006		0.9
48009	1/21/2008		0.6
48009	1/15/2008		0.6
48009	1/29/2009		0.6
48009	3/13/2009		0.7
48009	2/20/2009		0.6
48009	1/24/2009		0.8
48009	2/7/2009		0.8
48009	1/24/2009		0.6
48009	2/3/2009		0.9
48009	7/1/1998		0.7
48009	3/19/2003		0.6
48009	4/13/2002		0.6
48009			

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

	4/1/2002		0.6
48009	1/26/2009		0.9
48009	4/24/2002		0.5
48009	4/22/2003		0.6
48009	1/26/2009		2.6
48009	1/22/2009		2.8
48009	1/7/2002		2.5
48009	11/23/2007		2.4
48009	11/9/2007		2.4
48009	9/28/1999		2.4
48009	10/30/2006		2.2
48009	3/23/2009		2.4
48009	1/26/2009		2.3
48009	12/3/1994		2.2
48009	4/23/2002		2.2
48009	4/29/2002		2.2
48009	2/7/2003		2.2
48009	1/8/2007		2.3
48009	2/25/2002		2.1
48009	12/2/2002		2.7
48009	11/14/2003		2.6
48009	6/10/2002		2.7
48009	1/13/2006		2.6
48009	10/31/2009		3.0
48009	1/3/2004		2.8
48009	11/3/2007		2.7
48009	11/7/2007		3.8
48009	7/28/2008		3.6
48009	5/21/2004		3.5
48009	4/28/2003		3.5
48009	1/2/2010		3.5
48009	9/8/2009		3.5
48009	11/6/2008		3.4
48009	2/25/2004		3.2
48009	4/9/2004		3.3
48009	11/10/2007		3.2
48009	1/24/2009	<	0.3
48009	11/11/2003		3.7
48009	1/25/2010	<	0.3
48009	1/4/1997		3.8
48009	1/14/2002		3.8
48009	6/9/2003		3.8
48009	11/22/1997		3.6
48009	7/16/2007		5.6
48009	7/16/1999		5.5
48009	1/24/2009		5.9
48009	6/12/2004		4.7
48009	10/20/2008		5.0
48009	9/29/2007		5.0
48009	3/13/2002		4.6
48009	5/27/2002		4.6
48009	6/9/2008		6.7
48009	7/6/2007		7.7
48009	4/12/2002		2.0
48009	5/8/2002		2.0
48009	9/17/2001		22.4
48009			

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

	3/5/2009	14.4
48009	2/7/2009	12.6
48009	5/27/2002	8.0
48009	6/24/2002	10.8
48009	7/24/1999	8.6
48009	1/24/2009	2.1
48009	11/7/2008	4.2
48009	10/10/2006	4.2
48009	8/19/2008	4.1
48009	2/1/2008	4.5
48009	10/23/2007	4.5

Federal EPA Radon Zone for OAKLAND County: 2

- Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for Zip Code: 48009

Number of sites tested: 5

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	Not Reported	Not Reported	Not Reported	Not Reported
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	1.780 pCi/L	100%	0%	0%

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

HYDROLOGIC INFORMATION

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetlands Inventory

Source: Department of Natural Resources

Telephone: 517-241-2254

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

Water Well Data

Source: Department of Environmental Quality

Telephone: 517-335-9218

The data in this file was obtained from Wellogis, the Michigan Department of Environmental Quality Statewide Groundwater Database (SGWD). Wellogis contains approximately 425,000 water well records found within the State of Michigan, and although it represents the best available data, it cannot be considered a complete database of all the wells or well records in existence.

OTHER STATE DATABASE INFORMATION

Michigan Oil and Gas Wells

Source: Department of Environmental Quality

Telephone: 517-241-1528

Locations of oil and gas wells are compiled from permit records on file at the Geological Survey Division (GSD), Michigan Department of Natural Resources.

RADON

State Database: MI Radon

Source: Department of Environmental Quality

Telephone: 517-335-9551

Radon Test Results

Michigan Radon Test Results

Source: Department of Environmental Quality

Telephone: 517-335-8037

These results are from test kits distributed by the local health departments and used by Michigan residents. There is no way of knowing whether the devices were used properly, whether there are duplicates (or repeat verification) test (i.e., more than one sample per home), etc.

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

STREET AND ADDRESS INFORMATION

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APPENDIX D: QUALIFICATIONS

Jan Grulke
Partner Associate



Education

B.S., Education, Western Michigan University, 1981

Registrations

OSHA CFR 1910.120 40-Hour Safety Training and Certified Asbestos Building Inspector, Mold Supervisor Training

Summary of Professional Experience

Ms. Grulke has 13 years of experience in the environmental service industry. She has significant experience in due diligence assessments for a variety of property types and the needs and requirements of varied number of reporting standards, including ASTM standards, EPA's All Appropriate Inquiry (AAI), and customized client formats. Specifically, Ms. Grulke has performed Transaction Screens, Phase I and II Environmental Site Assessments and Updates, and Baseline Environmental Assessments of commercial, industrial and multi-family residential properties. In addition, Ms. Grulke has managed site assessments and asbestos-related projects.

Ms. Grulke has served as a Project Consultant where she performed, managed, and reviewed environmental site assessments on various industrial, commercial, institutional and residential properties. Assessments have included limited and comprehensive surveys for asbestos, lead-based paint, and radon. She has also managed subsurface investigations to determine the presence of contamination in soil and groundwater, prepared Baseline Environmental Assessments (BEAs), has prepared written reports in formats prescribed by various fiduciary institutions, and performs peer reviews on environmental site assessments completed by other environmental firms.

Finally, Ms. Grulke's diversity across residential, industrial, and commercial environments is a major contribution to Partner Engineering and Science's Associate team in the Great Lakes region of the United States.

Steven Weatherton
Project Manager



Education

B.S. Environmental Science, University of California, Riverside, 1995

Registrations

Cal-OSHA Certified Asbestos Site Surveillance Technician, #00-2812

DPH Lead in Construction Certified Inspector/ Assessor/ Project Monitor, #10466

Training

EPA Asbestos Contractor Supervisor/ Building Inspector/ Management Planner

OSHA 40-Hour HAZWOPER

OSHA Hazardous Site Supervisor/ Emergency Response Incident Command/ First Responder

Professional Affiliations

Society of American Military Engineers (SAME)

Summary of Professional Experience

Mr. Weatherton has 16 years of experience in the environmental and industrial hygiene service industries. He has significant experience in due diligence assessments for a variety of property types and the needs and requirements of varied number of reporting standards, including ASTM standards, EPA's All Appropriate Inquiry (AAI), and customized client formats. Specifically, Mr. Weatherton has performed Phase I Environmental Site Assessments, Environmental Transaction Screens, Phase II and III Subsurface Investigations, Asbestos Surveys, Lead-based Paint Surveys, Radon Studies, and Mold Assessments.

Finally, Mr. Weatherton's diversity across residential, industrial, municipal, and commercial environments is a major contribution to Partner Engineering and Science's team in the West, Southwest, and Rocky Mountain regions of the United States.

Relevant Project Experience

Asbestos

Performed several asbestos surveys throughout Northern and Southern California, Arizona and Nevada for major national and Southern California lenders, school district and hospitals. Work included collecting bulk samples of suspect material under the supervision of a Certified Asbestos Consultant (CAC).

Managed and completed an AHERA and NESHAPS Asbestos Management plan for the United States Department of Interior, Bureau of Indian Affairs High School in Riverside, California. Work included the survey of over 40 buildings on a campus spanning over 80 acres.

Performed several air clearance monitoring for LAUSD and Kaiser Permanente under the supervision of a CAC.

Performed several surveys and abatement monitoring of flooring for LAUSD and Kaiser Permanente. Work included the collection of bulk samples of interior and exterior walls, flooring, ceilings, roofing, and HVAC equipment under the supervision of a CAC.

Phase I Environmental Site Assessments

Completed several Phase I Environmental Site Assessments (ESA) on gasoline service stations, industrial/commercial and undeveloped properties and parcels ranging in size from 1 to 1,500 acres throughout Northern and Southern California and Nevada. Work has included the identification of historical dump areas, former oil refineries, historical agricultural areas, and potentially contaminated sites due to past use.

Completed several Phase I+ ESA's for LAUSD for proposed school sites.

Completed Transaction Screening Processes (TSP's) for commercial and industrial properties in Los Angeles, Orange, Ventura, and San Diego Counties for major Southern California lenders and developers. Work included the identification of potential environmental hazards from adjacent properties developing into Limited Phase I ESA's.

Phase II Environmental Site Assessments

Under responsible charge of a Professional Geologist, accomplished several Phase II ESA's throughout Northern and Southern California and Nevada for major Southern California lenders and school districts. Work included the identification of possible historical underground storage tanks, and potential environmental concerns associated with historical site usage. Work also included the collection of soil samples for analysis of environmental contaminants.

Performed geophysical assessments of commercial and industrial properties in Los Angeles County. Work included the identification of buried utility lines and piping with the use of Ground Penetrating Radar and Line Tracing.

Monitored the excavation of contaminated soil in the City of Santa Clarita, California for a major Southern California developer. Work included the collection of soil samples for fecal coliform and contaminants, the collection of air samples for dust particulates, and the constant monitoring of wind speed to comply with AQMD regulations.

Performed a soil gas survey for a major school district in Los Angeles County. Work included collecting gas samples and monitoring for contaminants.

Monitored the excavation of contaminated soil in the City of Azusa, California for the Azusa Police Department. Work included the collection of soil samples for analysis of environmental contaminants and compliance with AQMD standards.

Monitored the excavation of soil and search for underground storage tanks (UST) in Beverly Hills, California for a car dealership. Work included the onsite testing of soil samples and the monitoring of UST discovery.

Performed groundwater monitoring of current gasoline service stations across Northern California for a major petroleum company. Work included the installation and sample collection of wells.

Other Environmental Work

Performed numerous lab packs of hazardous chemicals and substances at clandestine methamphetamine drug labs in San Bernardino, Riverside, Los Angeles, and Kern Counties for DTSC. Work included hazardous materials categorization, hazardous waste manifestation, and identification of environmental hazards to local communities.

Managed and coordinated the completion of several Tier I and Tier II Spill Protection Control and Countermeasure (SPCC) plans and an update of a Chemical SPCC (CSPCC) plan and Hazardous Materials Business Emergency Plan (BEP) for the City of Corona Department of Water and Power.

Performed inspection work for LAUSD, ensuring contractors complied with school district regulations, in the installation of new floors within the schools. Work included monitoring contractors work, coordination between contractor, district, and construction management firms managing, two other inspectors, and billing.

Performed an environmental site assessment for the North Atlantic Treaty Organization (NATO) Taskforce Kosovo of an abandoned battery manufacturing facility. Work included the identification of hazardous materials and potential threat to the surrounding environment and the redevelopment of the site.

Managed hazardous waste removal and emergency response operations, and has experience in Vacuum Truck Operations, Hazardous Materials Categorization, and Lab Packing.

Special Profile:

Retired Commissioned Officer (rank of Captain) in the California Army National Guard with over 22 years of service, 16 years in positions of leadership. Previous assignments include the following:

- **Communications Officer**
Taskforce Sabre, Multi-National Taskforce East, Camp Bondsteel, Kosovo

Supervised 4 personnel in the installation, operation and maintenance of all communication equipment and computer systems for a maneuver battalion located at Camp Bondsteel, Kosovo in support of Operation Enduring Freedom and the Global War on Terrorism. Awarded Army Commendation Medal for developing standard operating procedures for communications operations, developing an integrated communications

plan between U.S. and Portuguese forces, and successfully managing over five different communication systems.

- **Communications Officer**
Joint Detention Group, Joint Taskforce Guantanamo, Guantanamo Bay, Cuba

Supervised over 7 personnel in the installation, operation and maintenance of all communication equipment and computer systems for the detention facility located at Guantanamo Bay, Cuba in support of Operation Enduring Freedom and the Global War on Terrorism. Awarded Army Commendation Medal for providing uninterrupted communications during a hurricane, developing a database for tracking information technology requests, and training joint service personnel on new communication systems.



30150 ORCHARD LAKE ROAD STE 150
FARMINGTON HILLS, MI 48334-2989
O: 248.626.8890 F: 248.626.1978

Tuesday, May 31, 2016

Ms. Jana Ecker
Planning Director
City of Birmingham
Planning Division
151 Martin Street
P.O. Box 3001
Birmingham, MI 48012

In Re: Villa Lofts Development Project, Addresses 2000 – 2070 Villa, Birmingham MI 48009

Dear Ms. Ecker

As we discussed earlier today, our company has an approved development plan for the addresses listed above. Approval is scheduled to expire on June 9th, 2016.

Due to unexpected delays in securing financing for the project, we will need to request an extension of approval. We ask to be included on the meeting agenda for the Planning Board's next upcoming meeting, so that we may formally present our request.

Thank you for your time and consideration,

Emily K. Clapp
Construction Coordinator



MEMORANDUM

Planning Division

DATE: June 1, 2016
TO: Planning Board
FROM: Jana L. Ecker, Planning Director
SUBJECT: Outdoor Display and Storage

Over the past several years, the Planning Board has been holding study sessions aimed at creating standards that would regulate outdoor displays and storage to add to the Zoning Ordinance. To commence the study of outdoor display, sales and storage, a review of the current ordinance regulations was conducted in April of 2013. The chart below summarizes the zone districts that specifically permit outdoor display, sales and/or storage and indicate if there are any standards or regulations related to these uses.

Zone District	Outdoor Display Permitted	Outdoor Sales Permitted	Outdoor Storage Permitted	Standards?
O1				N
O2	X	X		N
B1				N
B2	X	X	X	Y
B2B	X	X	X	Y
B2C	X	X	X	Y
B3				
B4	X	X		Y
MX	X	X	X	Y
P				

In general, the current approach to outdoor display, sales and storage throughout the Zoning Ordinance is inconsistent and scattered. The use of inconsistent terms occurs across various sections of the Zoning Ordinance, and varying standards are in place across the different zone districts. In addition, the outdoor display, sales and storage standards are located in numerous sections of the Zoning Ordinance, including two different locations in Article 4, Development Standards and also throughout Article 5, Use Specific Standards. Finally, notably absent are definitions for any of these terms.

Over several study sessions Planning Board members reviewed the existing ordinance language, and requested staff to prepare draft ordinance language and to provide definitions for outdoor display and outdoor storage. The Board requested the addition of standards to control the location, size and looks of both outdoor display and storage areas, without imposing extensive and detailed standards. It was also discussed that ice machines, propane storage and similar

displays may be best around the side or rear of buildings, and not in the front. Suggestions on the amount of outdoor display ranged from setting a percentage limit of the gross square footage of the floor area of the primary building, to allowing unlimited display but requiring high standards of maintenance and screening. There was also discussion regarding the use of parking spaces for display.

Draft ordinance language was presented at the March 9, 2016 Planning Board meeting that incorporated many of the concepts that had been discussed during previous study sessions. At that time, the Board expressed a desire to simplify the draft ordinance by pushing all storage to the rear or side of buildings with full screening, eliminating any use of parking spaces for displays and requiring design review for any outdoor display regardless of use. It was also suggested that the amount of outdoor display area permitted be a ratio of the principal building frontage, similar to the way that signage is regulated. For the purposes of discussion, draft ordinance language was presented at the April 13, 2016 Planning Board meeting to allow three (3) square feet of display area for each foot of principal building frontage. In addition, the definition of principal building frontage contained in the Sign Ordinance was added to Article 09 of the Zoning Ordinance.

At the April 13, 2016 Planning Board meeting it was requested that staff provide additional examples of how much display area would result from principal building frontage calculations that allow 3/1, 2/1, and 1/1 square feet of display area per linear foot of frontage. In addition, the Planning Board requested that language be added prohibiting ice machines and propane storage in the front open space.

On May 11, 2016, the Planning Division presented several outdoor display scenarios at existing sites to illustrate the potential size of outdoor display areas based on several different ratios being considered for review and discussion. Based on these illustrations, the Planning Board recommended a ratio of 0.5 sq.ft. of outdoor display space per linear foot of building frontage. Board members also requested that site plan and design review be conducted for all gasoline stations and convenience stores. Additional information was also requested from the City Attorney regarding amortization clauses or "sunset clauses" to determine how much notice is required to remove outdoor storage and display areas that have not previously been approved through the site plan and/or design review process.

Accordingly, the draft ordinance language has been amended to reflect the requested changes. All changes from last month are shown in **green type**. A letter from the City Attorney regarding sunset clause provisions and notice requirements is also attached for your review.

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.23, O2 (OFFICE/COMMERCIAL) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES, TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.23 O2 (Office/Commercial) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Kennel*
- Laboratory – medical/dental*
- Loading facility – off street*
- Parking facility – off street*
- Pharmacy*
- Outdoor café*
- **Outdoor display***
- Commercial or office uses which are customarily incidental to the permitted principal uses of the same lot

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.27, B1 (OFFICE-RESIDENTIAL) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.27 B1 (Neighborhood Business) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Alcoholic beverage sales*
- Kennel*
- Laboratory – medical/dental*
- Loading facility – off-street*
- Outdoor café
- **Outdoor display***
- Parking facility – off-street*
- Sign

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.29, B2 (GENERAL BUSINESS) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.29 B2 (General Business) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Alcoholic beverage sales (off-premise consumption)*
- Kennel*
- Laboratory – medical/dental*
- Loading facility – off-street
- Outdoor café*
- Outdoor display of goods*
- ~~Outdoor sales*~~
- Outdoor storage*
- Parking facility – off-street
- Retail fur sales cold storage facility
- Sign

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.31, B2B (GENERAL BUSINESS) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.31 B2B (General Business) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Alcoholic beverage sales (off-premise consumption)*
- Kennel*
- Laboratory – medical/dental*
- Loading facility – off-street
- Outdoor café*
- Outdoor display of goods*
- ~~Outdoor sales*~~
- Outdoor storage*
- Parking facility – off-street
- Sign

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.33, B2C (GENERAL BUSINESS) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.33 B2C (General Business) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Alcoholic beverage sales (off-premise consumption)*
- Kennel*
- Laboratory – medical/dental*
- Loading facility – off-street
- Outdoor café*
- Outdoor display of goods*
- ~~Outdoor sales*~~
- Outdoor storage*
- Parking facility off-street
- Sign

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.35, B3 (OFFICE-RESIDENTIAL) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.35 B3 (Business-Residential) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Laboratory – medical/dental*
- Loading facility – off-street
- Outdoor café*
- **Outdoor display***
- Parking facility – off-street
- Parking structure
- Shelter building*
- Sign
- Swimming pool - public

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.37, B4 (BUSINESS RESIDENTIAL) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.37 B4 (Business-Residential) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Alcoholic beverage sales*
- Laboratory – medical/dental*
- Loading facility – off-street
- Outdoor café*
- Outdoor display of goods*
- ~~Outdoor sales*~~
- Parking facility – off-street
- Retail fur sales cold storage facility
- Sign

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 2.39, MX (MIXED USE) DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES TO AMEND THE ACCESSORY PERMITTED USES.

Section 2.39 MX (Mixed Use) District Intent, Permitted Uses, and Special Uses

Accessory Permitted Uses

- Alcoholic beverage sales*
- Dwelling – accessory*
- Garage – private
- Greenhouse – private
- Home occupation
- Loading facility – off-street*
- Outdoor café*
- ~~Outdoor sales or display of goods*~~
- **Outdoor storage***
- Parking facility – off-street*
- Parking structure*
- Renting of rooms*
- Sign
- Swimming pool – private

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 4.12 FN-03, FENCE STANDARDS, TO REMOVE THE OUTDOOR STORAGE FENCE PROVISIONS FROM THIS SECTION.

Section 4.12 FN-03

~~B2-B2B-B2G~~ Reserved.

~~The following fence standards apply:~~

- ~~A. Enclosing Outside Storage: Fences are required for the enclosing of areas of outside storage of goods, material or equipment. The fences shall not be less than 6 feet in height above grade.~~
- ~~B. Fence construction: Unchanged.~~

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 4, SECTION 4.57, SCREENING STANDARDS, TO ADD SCREENING STANDARDS FOR OUTDOOR STORAGE.

Section 4.57 SC-04

This Screening Standards section applies to the following districts:

O1 O2 B1 B2 B2B B2C B3 B4 MX TZ3

- A. Unchanged.
- B. **Screening of Outdoor Storage:** All outdoor storage areas shall be fully screened from view on all sides. Screening shall be constructed of materials compatible with the principal building. Wire fences with inserted strips of metal, plastic and similar materials shall not be substituted for the required screening.

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTIONS 4.67 TO 4.72, STORAGE AND DISPLAY STANDARDS, TO AMEND THE OUTDOOR DISPLAY AND STORAGE STANDARDS IN O1, O2, B2, B2B, B2C, B4 AND MX.

Section 4.67 SD-02

This Storage and Display Standards section applies to the following districts:

O1 O2 B1 B2 B2B B2C B3 B4 MX TZ3

The following storage and display standards apply:

- A. Outdoor Display: Outdoor display is permitted as an accessory use to a permitted principal use on the same property, subject to the following standards:
1. All outdoor displays at gasoline service stations and convenience stores are required to obtain Site Plan & Design Review approval in accordance with Article 7 of the Zoning Ordinance. Outdoor displays for any other permitted principal uses on a site are required to obtain Design Review Approval in accordance with Article 7 of the Zoning Ordinance;
 2. Outdoor displays shall be permitted only as an accessory use on the same lot as the permitted principal use or Special Land Use, and shall not be operated as a separate business;
 3. Outdoor displays shall not exceed a maximum of 4' in height;
 4. For all buildings, including multi-tenant, the combined area of outdoor displays shall not exceed ~~3~~ 0.5 square feet for each linear foot of the width of the building on the side where the primary entrance to the business is located, which may or may not front a street. The Historic District Commission, Design Review Board or Planning Board may designate an alternate horizontal building width;
 5. Outdoor display areas shall be located on concrete, asphalt, or paved areas and shall not be located on or within lawn areas or landscaping areas;

6. Furniture or shelving used to display goods outside must be made of finished metal or wood or a material of comparable quality and maintained in a good condition;
7. ~~Where an outdoor display is located on a public sidewalk,~~ An unobstructed path not less than five feet in width shall be continuously maintained for pedestrian access to all business entrances and no point of access or egress from any building shall be blocked at any time;
8. Propane ~~tanks~~ **containers** and ice machines are not permitted ~~between the building and the front lot line OR~~ **between the building and any frontage line;**
9. All outdoor display areas must be kept clean, orderly, and maintained.

B. Outdoor Storage: Outdoor storage is permitted as an accessory use to the principle use subject to the following standards:

1. Outdoor storage is permitted on private property in the side and rear open space with administrative approval in accordance with Article 7, Section 7.14.
2. Outdoor storage is prohibited in the front open space or a side open space abutting a side street;
3. Outdoor storage shall not exceed 6' in height and must be screened in accordance with Article 4, Section 4.57;
4. Outdoor storage shall be located on concrete, asphalt, or paver areas and shall not be located on or within lawn areas or landscaping areas;
5. All outdoor storage areas must be kept clean, orderly, and maintained;

Section 4.678 SD-023 O1

This storage and display Standards section applies to the following district:

- ~~A. Outdoor Storage: The outdoor storage of goods or materials is prohibited.~~
- AB.** Unchanged.
- BE.** Unchanged.

~~Section 4.68 SD-03 O2~~

- ~~A. Outdoor Storage: The outdoor storage of goods or materials is prohibited.~~
- ~~B. Outdoor Sales and Display: Outdoor sales and/or display of merchandise is prohibited except it may be permitted for uses requiring a special land use permit.~~

~~Section 4.69 SD-04~~ ~~B2 B2B B2C MX~~

~~A. Outdoor Sales and Display:~~

- ~~1. Customary incidental outside areas for display and sale of products are permitted provided such areas are improved and maintained with a paved surface having a suitable base so as to provide a permanent, durable and dustless surface.~~
- ~~2. The area shall be graded and drained so as to collect and dispose of all surface water accumulated within the area without allowing runoff to flow over abutting public or private property.~~

Section 4.7069 SD-054 B1

Unchanged.

Section 4.7170 SD-065 B3

Unchanged.

Section 4.721 SD-076 B4

~~The following storage and display standards apply:~~

~~A. Outdoor Sales and Display: The outdoor display and sale of merchandise regularly offered for sale by the principal use indoors is permitted subject to the following:~~

- ~~1. The display and sale shall take place on private property only and shall not occupy a public right-of-way or any other public property.~~
- ~~2. The display and sale shall take place on not more than 2 occasions in each calendar year. Each occasion shall involve not more than 3 days.~~
- ~~3. The display and sale shall be permitted in addition to the limitations set in subsection 2 of this section on days during which there is a general sales event involving several merchants when such event has been approved by the City Commission.~~

~~14. The City Commission shall have the authority to waive any permit fees, requirements, or licenses in those instances where a community function, sponsored by a charitable, civic or community organization, has been approved by the City Commission.~~

Section 4.72 Reserved.

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 5.10, B2 DISTRICT, B2B DISTRICT, B2C DISTRICT, USE SPECIFIC STANDARDS TO AMEND THE OUTDOOR DISPLAY AND STORAGE STANDARDS.

A – I Unchanged

~~J. Outdoor Display of Goods: The outdoor display of goods is permitted provided such areas are improved and maintained with a paved surface having a suitable base to provide a permanent durable and dustless surface. Such area shall be graded and drained to collect and dispose of all surface water accumulated within the area without flowing the same over abutting public or private property.~~

~~K. Outdoor Sales of Goods: The outdoor sales of goods is permitted provided such areas are improved and maintained with a paved surface having a suitable base to provide a permanent durable and dustless surface. Such area shall be graded and drained to collect and dispose of all surface water accumulated within the area without flowing the same over abutting public or private property.~~

~~L. Outdoor Storage of Goods: The outdoor storage of goods, materials or equipment is permitted provided such storage areas conform to Section 4.12.~~

M-J. Unchanged.

N-K. Unchanged.

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 5.12, B4 DISTRICT, USE SPECIFIC STANDARDS TO AMEND THE OUTDOOR DISPLAY AND STORAGE STANDARDS.

A – H Unchanged

~~I. Outdoor Display of Goods: The outdoor display of goods is permitted provided such areas are improved and maintained with a paved surface having a suitable base to provide a permanent durable and dustless surface. Such area shall be graded and drained to collect and dispose of all surface water accumulated within the area without flowing the same over abutting public or private property.~~

~~J. Outdoor Sales of Goods: The outdoor sales of goods is permitted provided such areas are improved and maintained with a paved surface having a suitable base to provide a permanent durable and dustless surface. Such area shall be graded and drained to collect and dispose of all surface water accumulated within the area without flowing the same over abutting public or private property.~~

~~K. I.~~ Unchanged

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND SECTION 5.13, MX DISTRICT, USE SPECIFIC STANDARDS TO AMEND THE OUTDOOR DISPLAY AND STORAGE STANDARDS.

A – G Unchanged

~~H. Outdoor Sales of Goods: The outdoor sales of goods is permitted provided such areas are improved and maintained with a paved surface having a suitable base to provide a permanent durable and dustless surface. Such area shall be graded and drained to collect and dispose of all surface water accumulated within the area without flowing the same over abutting public or private property.~~

~~I. Outdoor Storage of Goods: The outdoor storage of goods, material or equipment is permitted and shall be enclosed with a screen wall.~~

~~J.~~H. Unchanged

~~K.~~I. Unchanged

~~L.~~J. Unchanged

~~M.~~K. Unchanged

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 9, SECTION 9.02, DEFINITIONS, TO ADD DEFINITIONS FOR OUTDOOR DISPLAY, OUTDOOR STORAGE AND BUILDING FRONTAGE, PRINCIPAL.

Article 9, Section 9.02

Outdoor Display– The placement of any item(s) outside a building for decorative display and accessible to the public for the purpose of sale, rent, lease or exhibit.

Outdoor Storage –The storage of any materials not fully enclosed within a building that are directly related to the principal use on the same property, excluding trash containers.

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, Clerk

CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, APRIL 10, 2013
City Commission Room
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held April 10, 2013. Chairman Robin Boyle convened the meeting at 7:30 p.m.

Present: Chairman Robin Boyle; Board Members Scott Clein, Carroll DeWeese, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

Absent: Student Representative Arshon Afrakhteh

Administration: Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

04-62-13

STUDY SESSION
Outdoor Display and Storage

Ms. Ecker noted The Planning Board recently added the issue of outdoor sales and storage to the annual Action List, and at the last Planning Board meeting several photos of outdoor storage were passed around for discussion purposes.

To commence the study of outdoor display, sales and storage, Ms. Ecker presented a review of the current ordinance regulations on the subject.

The use of inconsistent terms occurs across various sections of the Zoning Ordinance, and varying standards are in place across the different zone districts. In addition, the outdoor display, sales and storage standards are located in numerous sections of the Zoning Ordinance, including two different locations in Article 4, Development Standards and also throughout Article 5, Use Specific Standards. Finally, notably absent are any definitions for any of these terms.

Thus, Ms. Ecker advised that the Planning Board may wish to consider adopting definitions for the terms outdoor display and/or outdoor sales and outdoor storage. Once the definitions of each have been clarified, ordinance amendments should clearly state in which zone districts each, all or none of these uses are permitted, and clear standards for such uses should be considered. For example, standards for the maximum area for outdoor display, sales or storage could be provided, regulations with regard to the location of such uses on the lot (in the rear, storefront, not blocking pedestrian pathways etc.), screening requirements and aesthetic standards for display fixtures could also be included.

Outdoor display, sales and storage definitions, regulations and information from various cities were provided for the board's review and comment.

Ms. Whipple-Boyce observed that outdoor displays are a problem in the transition areas. There may be a problem of policing as well. Mr. Koseck thought it gets back to whether the merchant cares. The question is how to go about modifying the language of the ordinance to allow displays, but in a controlled manner that would look better. Mr. DeWeese commented the City has paid a lot of attention to buildings, but not much attention to the ancillaries.

Ms. Whipple-Boyce said she doesn't object to displays during business hours because sometimes they are interesting and they draw people. She thought a time restriction would discourage outdoor storage of materials.

Mr. DeWeese thought there is an appropriateness to having some things out on the street. He was interested in defining the standard of what they are trying to achieve, perhaps with a form based approach. There might be a trade-off that would give an incentive to property owners to find it in their self-interest to pay more attention to their display.

Chairman Boyle noted here is a distinction between a display and storage. Also, timing is something to contemplate. He asked staff to continue collecting information and to provide some ordinance language for the board to consider.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, APRIL 24, 2013
City Commission Room**

151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held April 24, 2013. Vice-Chairperson Gillian Lazar convened the meeting at 7:30 p.m.

Present: Chairman Robin Boyle (arrived at 7:56 p.m.); Board Members Scott Clein (arrived at 7:45 p.m.), Carroll DeWeese, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams; Student Representative Arshon Afrakhteh

Absent: Bert Koseck

Administration: Matthew Baka, Sr. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

04-73-13

STUDY SESSION

Outdoor Display and Storage

Ms. Ecker continued the discussion from the last meeting on April 10, 2013 when the Planning Board began considering outdoor display and storage issues around the City. Board members reviewed the existing ordinance language, and requested staff to prepare draft ordinance language to define outdoor display and outdoor storage. Board members felt that each use should be distinguished by the short-term or long-term nature of the outdoor display, and that limited hours should be considered. In addition, the board requested the addition of standards to control the location, size and looks of both outdoor display and storage areas, without imposing extensive and detailed standards. It was also discussed that ice machines, propane storage and similar displays may be best around the side or rear of buildings, and not in the front. Board members also expressed the need for improved code enforcement for outdoor storage.

Ms. Ecker advised that based on the direction of the Planning Board, draft ordinance language to define and regulate outdoor display and outdoor storage has been provided along with additional regulations and information from various cities.

For all of the zone districts where outdoor display and storage are allowed, special standards have been set up for outdoor display and a separate set of standards for outdoor storage.

Ms. Ecker explained that nothing in the draft ordinance pertains to residential; it is only for commercial and mixed-use districts. The wording does not say anything about appeals. Mr. DeWeese thought an appeal process should be included. Also, that the display must be aesthetically compatible, so there is the flexibility to turn someone down in an egregious situation. Ms. Whipple-Boyce wanted to see some language about height of the display.

In calculating the percentage of space for display, Mr. Clein suggested language to the effect that 20% of the building gross floor area, or not to exceed "x" sq. ft., would be allowed. Also, he thought they may want to be more lenient in requiring businesses to meet their parking requirement before taking up a space for display purposes.

Chairman Boyle said to say that outdoor displays should not be located within handicap accessible parking spaces, and that's all. That way, it leaves the option for someone to take up more spaces.

It was noted that decorative displays in commemoration of national holidays should be allowed and that inflatables are prohibited.

Consensus was that outdoor display permits can be issued for seasonal use. It was thought that if a display is valuable it will be brought in at night by the retailer.

Discussion determined that having temporary and permanent outdoor displays should not require that goods sold on a regular basis must also be displayed within the principal building. They can remain outside.

The language for outdoor storage suggests the storage areas be limited to 10% of the gross floor area of the primary building. Mr. DeWeese suggested having no limits in terms of the percentage of space but include maintenance and shielding requirements.

This discussion will be continued at a future meeting.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, AUGUST 28, 2013
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held August 28, 2013. Chairman Robin Boyle convened the meeting at 7:32 p.m.

Present: Chairman Robin Boyle; Board Members Carroll DeWeese, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

Absent: Board Member Scott Clein; Student Representative Arshon Afrakhteh

Administration: Matthew Baka, Sr. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

08-149-13

**STUDY SESSION
Outdoor Display and Storage**

Ms. Ecker recalled that on April 10, 2013, the Planning Board began the discussion of outdoor display and storage issues around the City. Planning Board members reviewed the existing ordinance language, and requested staff to prepare draft ordinance language to define outdoor display and outdoor storage. Board members felt that each use should be distinguished by the short-term or long-term nature of the outdoor display and that limited hours should be considered.

On April 24, 2013, the Planning Board continued the discussion on outdoor storage/display and commented on the draft ordinance changes provided by the Planning Dept.

Based on the direction of the Planning Board, staff revised draft ordinance language to define and regulate outdoor display and outdoor storage was presented. The changes that have been made from the previous draft are as follows: The general 20% limit on the display area has been eliminated in favor of allowing the limited use of parking spaces instead. This would allow the business owners to provide unlimited display on private property with the exception of the parking area. The parking would not be counted against the requirement as currently drafted. Display furniture material standards similar to those for outdoor dining have also been added. The outdoor storage section has been revised to prohibit outdoor storage in the front open space, and to only allow long-term storage such as ice machines and propane on the side or rear of buildings.

Discussion determined that sheds are considered accessory structures and would require a permit. Items for storage must be enclosed. Mr. Koseck thought that a temporary outdoor display for sale is fine if it is approved administratively. Ms. Ecker added that seasonal or temporary display areas may occupy three parking spaces or 20% of the parking lot, whichever is more. Mr. Koseck said any permanent fixture on the building exterior should be avoided. Mr. DeWeese felt something that is compatible with the building might be acceptable but it should require administrative review.

Ms. Whipple-Boyce voiced her opinion that moving storage to the rear may create problems in the alleys that the board is working to improve. Anything that can be inside should be. Ms. Ecker agreed to e-mail to the board members an example of outdoor storage requirements that are very rigid and clear-cut. Mr. DeWeese said if someone wanted an exception there might be an option for administrative approval or Planning Board review.

It was agreed to put this item off for one more month.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, JANUARY 22, 2014
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held January 22, 2014. Chairman Robin Boyle convened the meeting at 7:30 p.m.

Present: Chairman Robin Boyle; Board Members Carroll DeWeese, Scott Clein, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

Absent: Board Member Bert Koseck; Student Representative Arshon Afrakhteh

Administration: Matthew Baka, Sr. Planner
Ken Cooper, Asst. Building Official
Jana Ecker, Planning Director
Bruce Johnson, Building Official
Carole Salutes, Recording Secretary

01-18-14

**STUDY SESSION
Outdoor Storage**

The consensus was that it doesn't make sense to go forward with this matter until after Transitional Zoning has gone to the City Commission.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, JANUARY 27, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on January 27, 2016. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Member Daniel Share

Absent: Board Member Gillian Lazar

Administration: Matthew Baka, Senior Planner
John Connaughton, Fire Chief
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

4. Outdoor Storage

Mr. Baka recalled that on April 10, 2013, the Planning Board began the discussion of outdoor display and storage issues around the City. Planning Board members reviewed the existing ordinance language, and requested staff to prepare draft ordinance language to define outdoor display and outdoor storage. In general the approach to outdoor display, sales and storage throughout the Zoning Ordinance is inconsistent and scattered. Board members felt that each use should be distinguished by the short-term or long-term nature of the outdoor display and that limited hours should be considered.

On April 24 and August 28, 2013, the Planning Board continued the discussion on outdoor storage/display and commented on the draft ordinance changes provided by the Planning Dept. Suggestions on the amount of outdoor display ranged from setting a percentage limit of the gross square footage of the floor area of the primary building to allowing unlimited display but requiring high standards of maintenance and screening. There was also discussion regarding the use of parking spaces for display and it was suggested that displays in parking spaces not be counted against the parking requirement.

The draft ordinance language presented was intended to reflect the Planning Board's comments. Other factors the board may wish to consider are whether outdoor storage and/or display should be permitted in the O-1, B-1, or B-3 Zones. As currently drafted, neither activity is permitted in those zones.

Mr. Baka thought the board should start by focusing on the outdoor display standards. It may be advisable to put a limit on how high people can store products. Item A (4) in Section 4.65 SD-04 states seasonal or temporary display areas may occupy three parking spaces or 20% of the parking lot, whichever is more.

Mr. Koseck noted that none of the standards will work unless someone is policing them. He thought propane, ice machines, etc. should be pushed around the corner or to the rear. Ms. Whipple-Boyce said gas stations and convenience stores are the main offenders. Maybe the board needs to get more specific about those businesses. Wiper fluid could be sold from the inside of the building. She also thought other items left outside such as picnic tables and barbeques might be addressed. Mr. Share said the outdoor displays should be brought in at night and the various blue beasts kept out of the front.

Mr. Baka indicated he will switch the language in Item A (4) in Section 4.65 to say that temporary display areas may occupy three parking spaces or 20% of the parking lot, whichever is less. Ms. Ecker stated that staff will run several sites through the draft ordinance, and provide pictures of the selected sites from all sides so that the board can evaluate how this ordinance would apply.

There was no discussion from the public at 10:03 p.m.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, MARCH 9, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on March 9, 2016. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Member Lisa Prasad; Student Representative Colin Cusimano

Absent: Board Members Bert Koseck, Gillian Lazar; Alternate Board Member Daniel Share

Administration: Matthew Baka, Senior Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary
03-38-16

2. Outdoor Storage and Display

Mr. Baka recalled that over several study sessions Planning Board members reviewed the existing ordinance language, and requested staff to prepare draft ordinance language and to provide definitions for outdoor display and outdoor storage. Board members felt that each use should be distinguished by the short term or long term nature of the outdoor display, and that limited hours should be considered. In addition, the board requested the addition of standards to control the location, size and looks of both outdoor display and storage areas, without imposing extensive and detailed standards.

Continuing discussion from the last study session, the board had requested that staff go out and investigate how some of the proposed regulations would affect some existing sites throughout town. What they found is for the most part the existing conditions are permitted under the ordinance. Mr. Baka presented a PowerPoint that was prepared with photos taken at three sites in Birmingham that currently have outdoor storage and/or display. One idea the board had talked about last time was not to allow any storage in the front open space. Any layout of materials in the front open space might require a Design Review. Under the proposed draft language, outdoor displays must be brought in every night.

Mr. Williams pointed out there is a distinction between outdoor storage and items on display that are for sale. For sale items should have standards set up to regulate their

appearance. Ms. Whipple-Boyce thought part of the problem becomes the amount of display that is put out.

Mr. Baka advised that currently the ordinance allows 20% of the floor area of the building for outdoor storage, or 1,000 sq. ft., whichever is more. Also storage is limited to 6 ft. in height. Ms. Whipple-Boyce thought maybe a Design Review of outdoor displays/storage is what is needed because there are less than ten sites in town to consider.

Mr. Boyle suggested inserting requirements for gas stations that they must submit a site plan that includes all proposed outdoor displays/storage and if more is added they have to come in for Design Review. Ms. Ecker said that can be discussed with the City Attorney to see if he has any objections to singling out this one use.

The board decided that all outdoor storage must not be visible and outdoor display is anything not stored in a box that is on a shelf for sale. Outdoor display should take up no more than 500 sq. ft. or a percentage of the linear building frontage, and height is capped at 4 ft. from grade.

Ms. Ecker summarized the discussion. Outdoor display should be limited in square footage, limited in height, allowed in the front with design review. Outdoor storage definitions should be more clear, and only permitted in the rear if screened.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, APRIL 13, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on April 13, 2016. Chairman Scott Clein convened the meeting at 7:30 p.m.

Present: Chairman Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Gillian Lazar, Janelle Whipple-Boyce, Bryan Williams

Absent: Alternate Board Members Lisa Prasad, Daniel Share; Student Representative Colin Cusimano

Administration: Matthew Baka, Senior Planner
Sean Campbell, Asst. Planner
Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

04-62-16

DESIGN REVIEW

Outdoor display and storage

Mr. Baka provided background. He noted that over the past several years, the Planning Board has been holding study sessions aimed at creating standards to add to the Zoning Ordinance that would regulate outdoor displays and storage. They have talked about coming up with a ratio similar to the way the allowable amount of signage is calculated. The square footage of signage is determined by a ratio of 1/1 from the linear footage across the principal building frontage.

Ms. Whipple-Boyce thought it should be required that outdoor display be so many feet away from the entry door.

Ms. Ecker advised that if the board wants all gas stations to come to the Planning Board for outdoor storage review, the ordinance language should specify that as not all existing gas stations currently operate under a Special Land Use Permit ("SLUP"). Other types of establishments would have to get approval from the Design Review Board. The board then discussed at what point display turns into storage. Ms. Ecker defined outdoor display as the placement of any item or items outside of a building for decorative display and that are accessible to the public for the purpose of sale or exhibit. Locked ice and propane containers are therefore outdoor storage as they are not accessible to the public. Board members thought that storage of propane and ice should not be permitted on the front of a building.

Draft language has been written to allow three (3) sq. ft. of display area for each foot of principal building frontage. It was thought that was too much. Consensus was that displays can change without the business having to come back before a board for further review.

Mr. Baka agreed to bring examples next time so the board could see the difference between 1, 2, and 3 sq. ft. of display space for each foot of linear frontage.

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, MAY 11, 2016
City Commission Room
151 Martin Street, Birmingham, Michigan**

Minutes of the regular meeting of the City of Birmingham Planning Board held on May 11, 2016. Vice-Chairperson Gillian Lazar convened the meeting at 7:30 p.m.

Present: Board Members Stuart Jeffares, Bert Koseck, Gillian Lazar, Daniel Share, Janelle Whipple-Boyce, Bryan Williams; Student Representative Colin Cusimano

Absent: Chairman Scott Clein; Board Member Robin Boyle.

Administration: Jana Ecker, Planning Director
Carole Salutes, Recording Secretary

05-85-16

2. Outdoor Storage and Display

Ms. Ecker thought the board is getting close to a determination on this item as well. She summarized what was discussed at the last meeting. The comments were whether ice machines and propane storage should be prohibited in the front and put around on the side or the rear of buildings. Also the board talked about simplifying the draft ordinance, eliminating the use of parking spaces for display, and requiring design review for outdoor display regardless of the use. Accordingly, the draft ordinance language has been amended to reflect the requested changes.

Further, the board had asked for examples of storage based on building frontage.

Board members agreed that ice machines and propane storage should not be between the building and any frontage line on a street. Mr. Share suggested using the term propane containers rather than tanks. Mr. Williams thought the board should only identify those items that they want to prohibit or limit, propane being one. Ms. Whipple-Boyce suggested saying that seasonal goods such as flower displays need to be on a concrete or paved surface.

Ms. Ecker noted a section had been added to the draft ordinance saying all outdoor displays at gasoline service stations are required to obtain Site Plan and Design Review. Any other outdoor displays for other principal uses on a site only have to get Design Review, which costs less. It was noted that convenience stores are offenders also and they should be required to obtain Site Plan and Design Review as well, regardless of the Zone District.

Ms. Ecker presented layouts showing how many square feet would be taken up for storage given a 1 x 1, 2 x 1 and 3 x 1 ratio of the front linear footage. The consensus was to use a .5 x 1 ratio.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Koseck to set a public hearing to June 8, 2016 to discuss outdoor storage and display.

Discussion considered that the ordinance amendments would only affect any new business or new storage and display unless a sunset provision is added. It was decided that issue should be sent to the City Attorney for his opinion on the use of sunset clauses and how soon a sunset clause could be invoked.

Ms. Whipple-Boyce and Mr. Koseck withdrew their motion.



MEMORANDUM

Planning Division

DATE: June 3, 2016

TO: Planning Board

FROM: Jana L. Ecker, Planning Director

SUBJECT: Update Memo on Transition Zone 2 (TZ-2)

On September 21, 2015, the City Commission held a continued public hearing on the transitional zoning proposals recommended by the Planning Board. After much discussion and public input, the City Commission took action to create the TZ-1 and TZ-3 zoning classifications, and rezoned several properties into each of these zone districts.

However, the City Commission referred the portion of the ordinance related to TZ-2 back to the Planning Board, along with those properties that had been recommended for rezoning to the new TZ-2 zone district. The City Commission referred these matters back to the Planning Board for further study, and asked the Planning Board to consider the comments made by the City Commission and members of the public with regard to the proposed TZ-2 properties. In addition, several commissioners requested that the Planning Board consider whether to make some, or all, of the commercial uses in the proposed TZ-2 district Special Land Use Permits. Please see attached meeting minutes that follow this memo for further detail.

On March 9, 2016, the Planning Board discussed the history of the transitional zoning study and the direction of the City Commission for the Planning Board to further study the portion of the ordinance related to TZ-2, as well as those properties that had been recommended for rezoning to the new TZ-2 Zone District. The consensus of the Planning Board was to limit continued study to the ordinance language for TZ-2 along with the TZ-2 parcels unless the City Commission says otherwise. Board members requested staff to present charts comparing the proposed uses in TZ1, TZ2 and TZ3 at the next meeting, and to prepare aerial maps for each of the proposed TZ2 properties to assist the board in understanding the neighborhood context in each case.

Please find attached the following for review and discussion:

- **Appendix A:** Previously proposed TZ2 ordinance amendments (**blue text** and ~~strike through~~ text shows changes made based on April 2016 comments of the Planning Board);
- **Appendix B:** Zoning map of the City identifying all parcels previously considered for TZ2 zoning classification;
- **Appendix C:** Aerial imagery of each area containing parcels previously considered for TZ2 zoning classification;
- **Appendix D:** Charts detailing current vs. proposed uses and development standards for all properties considered for TZ2 zoning classification; and

- **Appendix E:** Recent meeting minutes pertaining to the study of TZ2 ordinance language and properties considered for rezoning to TZ2.

On April 13, 2016, the Planning Board discussed the uses and development standards for the previously proposed TZ2 district. Consensus was that the biggest issue was regarding permitted uses in TZ2. There was much discussion regarding whether to reduce the number of permitted uses, increase uses permitted with a SLUP, or move some of the previously proposed SLUP uses into the permitted use column. The Board recommended removing grocery stores, drycleaners, delicatessens and parking structures as permitted uses in TZ2 (either with or without a SLUP), to remove the need for bakeries and coffee shops to obtain a SLUP, and to move health club/studio from the list of permitted uses into the column requiring a SLUP. Board members requested these changes to be made to the draft ordinance language and indicated they would discuss the revised uses again at the May study session.

Based on the Planning Board's comments at the April meeting, it appeared that the only remaining issues to be further studied for TZ2 was to conduct a thorough review of uses. To assist in the discussion of permitted uses in TZ2 (and in relationship to TZ1 and TZ3), the Planning Division compiled a chart that listed all permitted uses in TZ1, TZ2 (as proposed) and TZ3.

On May 11, 2016, the Planning Board focused discussion on the uses originally proposed in the TZ2 zone district, and evaluated each use for TZ2, and in relation to the uses permitted in TZ1 and TZ3 to ensure a graduated use system was proposed. Consensus was reached on which uses should be permitted in each of the transitional zoning district. Please see the attached chart updated based on the consensus reached on May 11, 2016. Board members wished to discuss these suggested changes with the City Commission at their joint meeting on June 20, 2016. Finally, board members discussed the fact that several uses were already removed from the O1 and O2 zoning classification back when the study was focused on these districts only, and requested that these uses be identified as well to show the changes that have been recommended throughout this long study period.

A review of the Planning Board's past efforts indicates that in 2008, the Planning Board recommended changes to the O1 and O2 zone districts to add a district intent for each to clarify that a mix of uses was permitted, and further recommended the elimination of stadium as a permitted use. The City Commission approved the proposed changes and then directed the Planning Board to study all of the permitted uses in O1 and O2 to determine whether such uses were appropriate given the close proximity of most O1 and O2 sites to residential properties.

Accordingly, the Planning Board commenced a study of appropriate uses in the O1 and O2 office districts. A subcommittee was created, extensive study was done, and public input was collected to determine which uses would be most appropriate for O1 and O2 office properties. After 3 years of study in 2011, the Planning Board made the following recommendations for changes to permitted uses in O1 and O2:

O1 Permitted Uses

Residential Permitted Uses

- adult foster care group home
- dwelling - multiple-family
- dwelling - one-family(R5)
- dwelling - two-family
- live/work unit
- single-family cluster*

Institutional Uses

- government office
- philanthropic use
- school – public

Recreational Uses

- park
- ~~swimming pool – semiprivate~~

Commercial Permitted Uses

- **artisan use**
- barber/beauty salon
- **boutique**
- dental/medical office
- ~~hair replacement establishment~~
- **health club/studio**
- office use
- ~~veterinary clinic*~~

Accessory Permitted Uses

- ~~kennel*~~
- laboratory - medical/dental*
- loading facility - off-street*
- parking facility - off-street*
- pharmacy*
- outdoor cafe*
- **commercial or office uses which are customarily incidental to the permitted principal uses on the same lot**

Uses Requiring a SLUP

- bistro (only permitted in the Triangle District and Overlay District)*
- church

* = Use Specific Standards in Section 5.06 Apply

() = Subject to Regulations of the Specified District

O2 Permitted Uses

Residential Permitted Uses

- adult foster care group home
- dwelling - multiple-family
- dwelling - one-family(R5)
- dwelling - two-family
- live/work unit
- single-family cluster*

Institutional Uses

- government office
- philanthropic use
- school – public

Recreational Uses

- park
- ~~swimming pool – semiprivate~~

Commercial Permitted Uses

- art gallery
- **artisan use**
- bakery
- bank without drive-through facility
- barber/beauty salon
- boutique
- ~~clinic~~
- ~~clothing store~~
- dental/medical office
- flower/gift shop
- ~~hair replacement establishment~~
- **health club/studio**
- ~~interior design shop~~
- ~~jewelry store~~
- ~~leather and luggage goods shop~~
- office
- photography studio
- specialty food store
- specialty home furnishing shop
- ~~tailor~~
- tobacconist
- ~~veterinary clinic*~~

Accessory Permitted Uses

- ~~kennel*~~
- laboratory - medical/dental*
- loading facility - off-street*
- parking facility - off-street*

- pharmacy*
- outdoor cafe*
- commercial or office uses which are customarily incidental to the permitted principal uses of the same lot

Uses Requiring a SLUP

- bank with drive-through facility
- bistro (only permitted in the Triangle District and Downtown Overlay District)*
- **church**
- display of broadcast media devices (only permitted in conjunction with a gasoline service station)
- food or drink establishment*

* = Use Specific Standards in Section 5.07 Apply

() = Subject to Regulations of the Specified District

In addition to recommendations on changes to permitted uses in O1 and O2, the Planning Board had also recommended, and the City Commission considered, creating new classifications of O3 and O4 to accommodate some of the uses that were proposed for elimination from O1 and O2. However, after much discussion, the City Commission did not approve the recommended changes to the permitted uses in either the O1 or the O2 zoning districts, nor did they approve the creation of O3 and O4 office classifications. The City Commission agreed that much work had been done, however they wished to discuss their concerns further at an upcoming joint meeting.

Thus, since 2011, the Planning Board has been studying both uses and development standards that are appropriate not only for O1 and O2 properties, but for all properties that have been identified as transitional properties across the City where abutting residents share similar concerns.

In addition to reviewing the appropriate uses in TZ1, TZ2 and TZ3, the Planning Board may also wish to discuss whether to include any recommendations for properties to be rezoned to TZ2, or whether to simply recommend approval of the TZ2 classification and allow individual property owners to apply for rezoning to the district as the need arises.

Transitional zoning will be one of the agenda items for the joint meeting on June 20, 2016 as previously requested by the Planning Board.

APPENDIX A:

ORDINANCE NO. _____
THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 02 DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES, SECTION 2.43, **TZ2 (TRANSITION ZONE)** DISTRICT TO ADOPT THE FOLLOWING LIST OF PERMITTED USES IN THIS ZONE DISTRICT.

Article 02, section 2.43 shall be established as follows:

District Intent

- A. Provide for a reasonable and orderly transition from, and buffer between commercial uses and predominantly single-family residential areas or for property which either has direct access to a major traffic road or is located between major traffic roads and predominantly single-family residential areas.**
- B. Develop a fully integrated, mixed-use, pedestrian-oriented environment between residential and commercial districts by providing for graduated uses from the less intense residential areas to the more intense commercial areas.**
- C. Plan for future growth of transitional uses which will protect and preserve the integrity and land values of residential areas.**
- D. Regulate building height and mass to achieve appropriate scale along streetscapes to ensure proper transition to nearby residential neighborhoods.**
- E. Regulate building and site design to ensure compatibility with adjacent residential neighborhoods.**
- F. Encourage right-of-way design that calms traffic and creates a distinction between less intense residential areas and more intense commercial areas.**

Residential Permitted Uses

- dwelling – attached single family
- dwelling – single family (R3)
- dwelling – multi-family

Commercial Permitted Uses

- art gallery
- artisan use
- **bakery**
- barber/beauty salon
- bookstore

- boutique
- coffee shop
- drugstore
- gift shop/flower shop
- hardware
- ~~health club/studio~~
- jewelry store
- neighborhood convenience store
- office
- tailor

Accessory Permitted Uses

- family day care home
- home occupation*
- parking – off-street

Uses Requiring a Special Land Use Permit

- any permitted commercial use with interior floor area over 3,000 sq. ft. per tenant
- assisted living
- ~~bakery~~
- bank/credit union with drive-thru
- church and religious institution
- ~~coffee shop~~
- ~~delicatessen~~
- ~~dry cleaner~~
- essential services
- food and drink establishment
- government office/use
- ~~grocery store~~
- health club/studio
- independent hospice facility
- independent senior living
- ~~parking structure~~
- school – private and public
- skilled nursing facility
- specialty food shop

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

ORDINANCE NO. _____
THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 02 DEVELOPMENT STANDARDS, SECTION 2.44, **TZ2 (TRANSITION ZONE)** DISTRICT TO ADOPT THE FOLLOWING DEVELOPMENT STANDARDS IN THIS ZONE DISTRICT.

Article 02, section 2.44 shall be established as follows:

Minimum Lot Area per Unit:

- n/a

Minimum Open Space:

- n/a

Maximum Lot Coverage

- n/a

Front Yard Setback:

- 0-5 feet
- **Building façade shall be built to within 5 feet of the front lot line for a minimum of 75% of the street frontage length.**

Minimum Rear Yard Setback:

- 10 feet
- 20 feet abutting single family zoning district

Minimum Side Yard Setback

- 0 feet from interior side lot line
- 10 feet from side lot line abutting a single family district

Minimum Floor Area per Unit

- n/a

Maximum Total Floor Area

- n/a

Building Height

- 30 feet and 2 stories maximum
- For sloped roofs, the eave line shall be no more than 24 feet and the roof peak shall be no more than 35 feet.
- first story shall be minimum of 14 feet, floor to floor

ORDAINED this _____ day of _____, 2016 to become effective 7 days after publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 4, SECTION 4.53, PK-09

Article 4, section 4.53 PK-09

**This Development Standards section applies to the following districts:
TZ1, TZ2, TZ3**

Parking lots shall meet the following requirements:

- 1. Parking lot frontage: Parking lots (not located in the road right-of-way) are permitted only in side and rear yards as follows:**
 - a. When parking is located in a side yard (behind the front building line) and has frontage on a public right-of-way, no more than 25% of the total site's frontage or 60 feet, whichever is less, shall be occupied by parking lot.**
 - b. For a corner lot, the cumulative total of both frontages occupied by parking shall be no more than 25% or 60 feet, whichever is less, and the building shall be located at the corner of the lot adjacent to the intersection.**
 - c. For a double frontage lot or a lot that has frontage on 3 streets, the cumulative total of all frontages occupied by parking shall be no more than 35% of the total site's frontage or 60 feet, whichever is less.**
- 2. Screening: Where an off-street parking lot is visible from a street, it shall be screened by a 3 foot tall screen wall located between the parking lot and the sidewalk, meeting the requirements of Section 4.53. Where a parking lot is adjacent to a single family residential district, a 6 foot tall brick screen wall meeting the requirements of Section 4.53 shall be provided between the parking lot and the residential use.**
- 3. Structures: Parking structures shall only be permitted where there is usable building space for a portion of the ground level along the street frontage. Where a parking structure is provided or parking is located on the ground level below the building, usable building space to a depth of at least 20 feet shall be provided in front of the parking for the minimum required building length.**
- 4. Required parking: Each use shall provide the parking required by the off street parking space requirement of Article 04 Table A, except as provided for in this Section. Off street parking shall be provided for within 300 feet of the building being served.**
- 5. On-street parking: On-street parking shall be allowed on all street frontages, where permitted by the Police Department. On-street parking located along a**

lot's frontage may be credited towards meeting the parking requirements for that use, provided the streetscape is improved to meet the requirements of Section 3.24.

6. **Driveway access:** Driveway access to off-street parking lots shall be located to provide safe separation from street intersections. Driveways shall be aligned with driveways on the opposite side of the street or offset to avoid turning movement conflicts.

ORDAINED this _____ day of _____, 2016 to become effective upon publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

CITY OF BIRMINGHAM
ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE
OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 4, SECTION 4.58, SC-06

Article 4, section 4.58 SC-06

**This Development Standards section applies to the following districts:
TZ1, TZ2, TZ3**

Parking lots shall meet the following requirements:

- 1. Buffer Requirements: All developments within shall provide a physical and visual buffer from adjoining single-family properties in the required setbacks adjacent to single-family uses and zones. A required buffer zone must contain a minimum 6 feet high masonry wall with a sloping stone cap along the length of the subject property that abuts a single family property. All required buffer walls must provide varying textures, materials and/or design along the length. Blank, monotonous walls are not permitted. Buffer walls must include a two (2) foot row of landscaping on the parking lot side of the wall.**

ORDAINED this _____ day of _____, 2016 to become effective upon publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

CITY OF BIRMINGHAM
ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE
OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 3, SECTION 4.63, SB-06

Article 4, section 4.63 SB-06

**This Development Standards section applies to the following districts:
TZ2, TZ3**

A. **Front Yard Setback Exceptions:** In the TZ2 and TZ3 Districts, 75% of the length of the ground level street-facing façade of the building must be built within 5 feet of the front lot line. The precise setback between 0 and 5 feet shall be consistent with the front building line along the block, or as determined by the Planning Board where a clear setback doesn't exist. The Planning Board may grant exceptions to allow a greater amount of the building to be setback when the front yard area, or forecourt, is used for one or more purposes listed below.

1. Widening the sidewalk along the frontage of the building.
2. Providing a public gathering area or plaza that offers seating, landscape enhancements, public information and displays, fountains, or other pedestrian amenities.
3. Providing outdoor seating for the proposed use.

ORDAINED this _____ day of _____, 2016 to become effective upon publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

CITY OF BIRMINGHAM
ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE
OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 4, SECTION 4.69, ST-01

Article 4, section 4.69 ST-01

**This Development Standards section applies to the following districts:
TZ1, TZ2, TZ3**

- A. Street Design: All streets shall be constructed to meet the requirements of the City Birmingham.**
- B. Sidewalks: Sidewalks in the Zoning Transition Overlay District shall be a minimum of 6 feet wide. Sidewalks along Woodward Avenue shall be a minimum of 7 feet wide. The Planning Board may allow the sidewalk along blocks that are occupied by only residential uses to be a minimum of 5 feet wide.**
- C. Street Tree: One (1) canopy tree shall be provided for every 40 feet of frontage and may be planted within a grass boulevard or within tree grates or tree wells in the sidewalk.**
- D. Street Design: The entrances of streets into adjacent single family residential neighborhoods shall be designed to calm traffic, encourage pedestrian use and provide a distinction between less intense residential areas and more intense commercial or mixed use areas. All such street entrances and intersections of such streets with major traffic roads may include the following elements:**
 - 1. Curb extensions on the mainly residential street to narrow road width, reduce crosswalk length and to encourage slower vehicular speeds;**
 - 2. Enhanced pedestrian crosswalks, including ADA compliant ramps, highly visible pavement markings, and pedestrian countdown signals;**
 - 3. Installation of a speed table on the residential street if recommended by the Multi-Modal Transportation Board; and**
 - 4. Installation of a pedestrian crossing island on adjacent major traffic roads if recommended by the Planning Board and/or the Birmingham Multi-Modal Transportation Plan.**
- E. Vias: Vias shall be permitted in the Zoning Transition Overlay District and shall be required where necessary to provide access to parking lots, loading areas and garages at the property or to improve pedestrian connectivity.**
 - 1. Vias serving as access to residential garages shall be located within an easement with a minimum pavement necessary for circulation and emergency vehicle access.**

2. Vias accessing commercial parking lots and loading areas in the rear of a site may be used as drive aisles in interior block parking lots with parking spaces along the alleys.

F. **Street Furniture:** Benches and trash receptacles shall be provided by the developer in park and plaza areas and along adjoining sidewalks where the Planning Board determines that pedestrian activity will benefit from these facilities.

G. **Bicycle Facilities:** All developments shall be designed to accommodate bicycle travel, including the provision of bike racks. All parking lots for commercial, recreational and institutional uses shall include sufficient bike racks to allow the parking of a minimum of one bike for every 10 automobiles or one bike for every 3,000 square feet of building floor area, whichever is greater.

ORDAINED this _____ day of _____, 2016 to become effective upon publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

CITY OF BIRMINGHAM
ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO ADD CHAPTER 126, ZONING, OF THE CODE
OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 4, SECTION 4.78, SS - 10

Article 4, section 4.78 SS - 09

**This Use Specific Standards section applies to the following districts:
TZ2, TZ3**

A. Corner Parcels:

Corner parcels in the Zoning Transition Overlay shall be developed with the front lot line facing a city major street as defined in P.A. 51. of 1959. The Planning Board may approve an alternative front lot line if the board finds that:

1. There are no city major streets fronting on the subject parcel; or
2. The use of an alternative front lot line would be more compatible with the scale and massing of adjacent residential land uses.

B. Facade Requirements:

Walls that face a public street, plaza, green or park shall include windows and architectural features customarily found on the front of a building, such as awnings, cornice work, edge detailing or decorative finish materials.

1. Blank walls longer than 20 feet are not permitted on any front façade. Blank walls longer than 30 feet are not permitted on any façade.
2. All buildings shall have a main entrance that is located on at least one (1) street front. Main entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas.
3. For buildings longer than 100 feet, there shall be a minimum of one (1) usable entrance every full 50 feet of frontage along the front public sidewalk and shall provide architectural variation to visually break the building up on all facades.
4. Garage doors shall not be permitted on a front façade.

C. Roof Design:

1. Mansard roofs shall not be permitted on single story buildings. Pitched and mansard roofs shall not be permitted with eaves below a height of 20 feet. All roof edges shall be accentuated in a manner proportionate to the size of the building and length of the wall.
2. Flat roofs shall be enclosed by parapets.

3. All rooftop mounted equipment shall be screened from view on all sides of the building.
4. Parapets and other screening treatment shall use high quality building materials and shall blend with the design of the building in terms of color, materials, scale and height.

D. Building Materials:

The following exterior finish materials are required on the front façade and any façade facing a street, plaza, park or parking area. These requirements do not include areas devoted to windows and doors.

1. All walls exposed to public view from the street, or parking area shall be constructed of not less than 60% brick, stone or glass. Panel brick and tilt-up brick textured paneling shall not be permitted.
2. The remaining façade may include wood siding or fiber cement siding. Exterior insulation finish systems (EFIS) may be used for architectural detailing above the first floor.
3. Buildings that have upper stories shall be designed to create a distinct and separated ground floor area through the use of accent such as a string course, change in material or textures, or an awning or canopy between the first and second stories.

ORDAINED this _____ day of _____, 2016 to become effective upon publication.

Rackeline J. Hoff, Mayor

Laura Pierce, City Clerk

CITY OF BIRMINGHAM
ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND CHAPTER 126, ZONING, OF THE CODE
OF THE CITY OF BIRMINGHAM:

TO ADD ARTICLE 5, SECTION 5.15, TRANSITION ZONE 2 –

Article 5, section 5.15 Transition Zone 2

**This Use Specific Standards section applies to the following district:
TZ2**

A. Hours of Operation: Operating hours for all non-residential uses, excluding office, shall begin no earlier than 7:00 a.m. and end no later than 9:00p.m. However, the Planning Board may approve an extension of the hours of operation for a specific tenant/occupant upon request if the board finds that:

- 1. The use is consistent with and will promote the intent and purpose of this Zoning Ordinance;**
- 2. The use will be compatible with adjacent uses of land, existing ambient noise levels and will not be injurious to the surrounding neighborhood; and**
- 3. The use is in compliance with all other requirements of this Zoning Ordinance.**

ORDAINED this _____ day of _____, 2016 to become effective upon publication.

Rackeline J. Hoff, Mayor

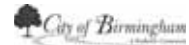
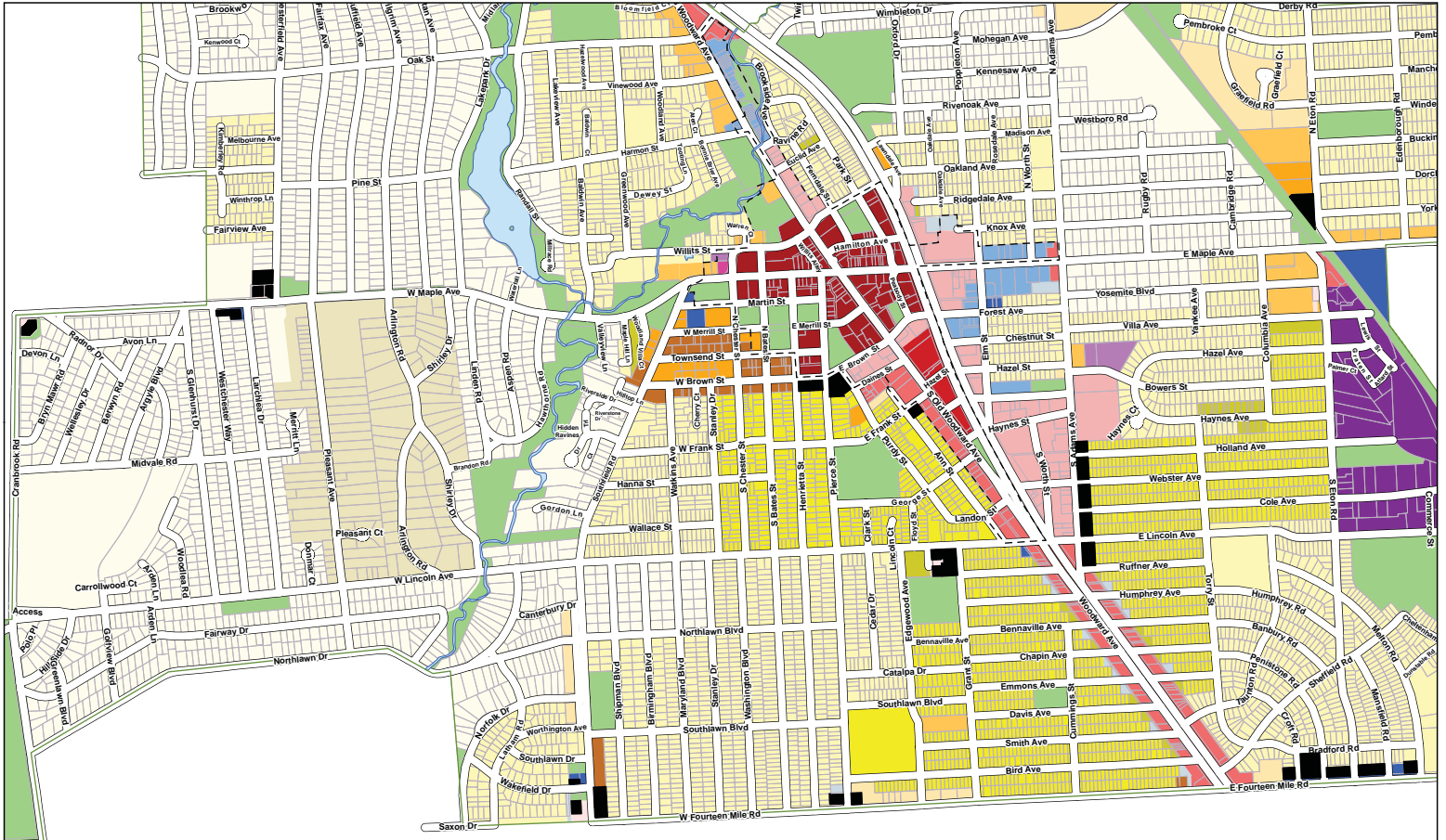
Laura Pierce, City Clerk

	TZ1	TZ2	TZ3
Residential Permitted Uses	<ul style="list-style-type: none"> • Dwelling – attached single family • Dwelling – single family (R3) • Dwelling – multi-family 	<ul style="list-style-type: none"> • Dwelling – attached single family • Dwelling – single family (R3) • Dwelling – multi-family 	<ul style="list-style-type: none"> • Dwelling – attached single family • Dwelling – single family (R3) • Dwelling – multi-family
Commercial Permitted Uses		<ul style="list-style-type: none"> • Art gallery • Artisan use • Bakery • Bank/credit union • Barber/beauty salon • Bookstore • Boutique • Coffee shop • Neighborhood Convenience store • Delicatessen • Drugstore • Dry Cleaner (no on site plant) • Gift shop/flower shop • Hardware • Health club/studio • Jewelry store • Office • Specialty Food Shop • Tailor 	<ul style="list-style-type: none"> • Art gallery • Artisan use • Bakery • Bank/credit union • Barber/beauty salon • Bookstore • Boutique • Coffee Shop • Neighborhood Convenience store • Delicatessen • Drugstore • Dry Cleaner (no on site plant) • Gift shop/flower shop • Hardware • Health club/studio • Jewelry store • Office • Specialty Food Shop • Tailor
Accessory Permitted Uses	<ul style="list-style-type: none"> • Family day care home • Home occupation* • Parking – off-street 	<ul style="list-style-type: none"> • Family day care home • Home occupation* • Parking – off-street 	<ul style="list-style-type: none"> • Family day care home • Home occupation* • Parking – off-street

	TZ1	TZ2	TZ3
Uses Requiring a Special Land Use Permit	<ul style="list-style-type: none"> • Assisted Living • Church and Religious Institution • Essential services • Government Office/Use • Independent hospice facility • Independent senior living • Parking Structure • School – private and public • Skilled nursing facility 	<ul style="list-style-type: none"> • Any permitted commercial use with interior floor area over 3,000 sq. ft. per tenant • Assisted living • Bakery • Barber/Beauty Salon • Bank/credit union with drive-thru • Church and religious institution • Coffee shop • Delicatessen • Dry cleaner • Essential services • Food and drink establishment • Government office/use • Grocery store • Health club/studio • Independent hospice facility • Independent senior living • Parking structure • School – private and public • Skilled nursing facility • Specialty food shop - 	<ul style="list-style-type: none"> • Any permitted commercial use with interior floor area over 4,000 sq. ft. per tenant • Assisted living • Bakery • Bank/credit union with drive-thru • Church and religious institution • Coffee shop • Delicatessen • Dry cleaner with plant • Essential services • Food and drink establishment • Government office/use • Grocery store • Independent Hospice facility • Independent senior living • Parking structure • School – private and public • Skilled nursing facility • Specialty food shop • Veterinary clinic

APPENDIX B:

TZ2 Transitional Zoning Proposals



1,500 750 0 1,500 Feet

Coordinate System: State Plane Coordinate System Michigan South Zone 2113 Projection: Lambert Conformal
 Conic Units: International Feet, Datum: NAD83
 Data Sources: Oakland County GIS Utility, City of Birmingham
 Updated: December 1, 2015

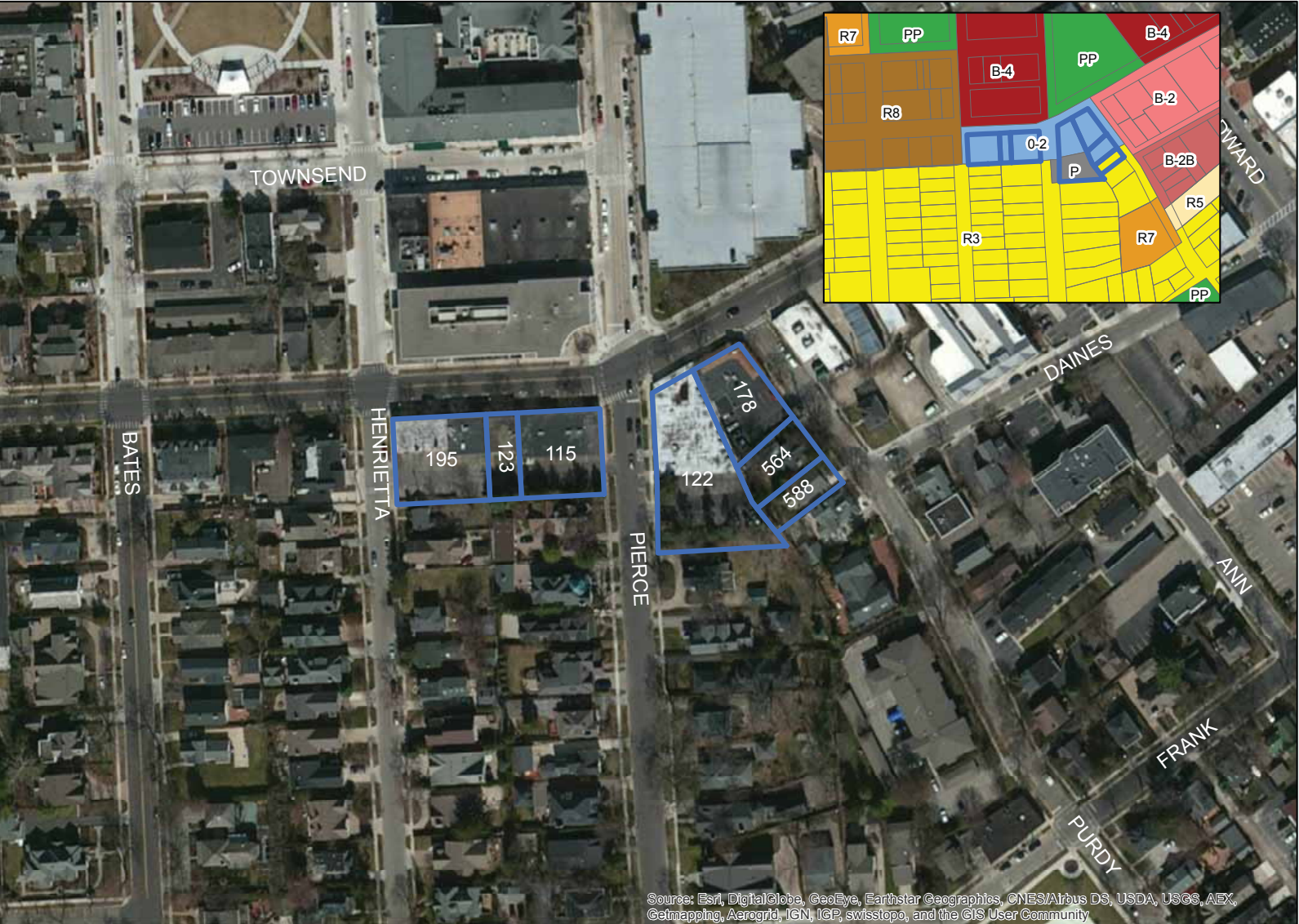
**City of Birmingham
Zoning Map**

Zoning Districts

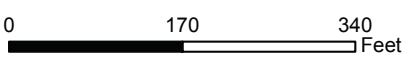
- | | | |
|--------------------------------|--------------------------------|---------------------------|
| R1 Single-Family Residential | R7 Multiple-Family Residential | B-2B General Business |
| R1-A Single-Family Residential | R8 Multiple-Family Residential | B-3 Office-Residential |
| R2 Single-Family Residential | TZ1 Transitional Zoning 1 | B-4 Business-Residential |
| R3 Single-Family Residential | TZ2 Transitional Zoning | O-2 Office Commercial |
| R4 Two-Family Residential | MX Mixed-Use | O-1 Office |
| R5 Multiple-Family Residential | B-1 Neighborhood Business | P Parking |
| R6 Multiple-Family Residential | B-2 General Business | PP Public Property |
| | | Downtown Overlay Boundary |

APPENDIX C:

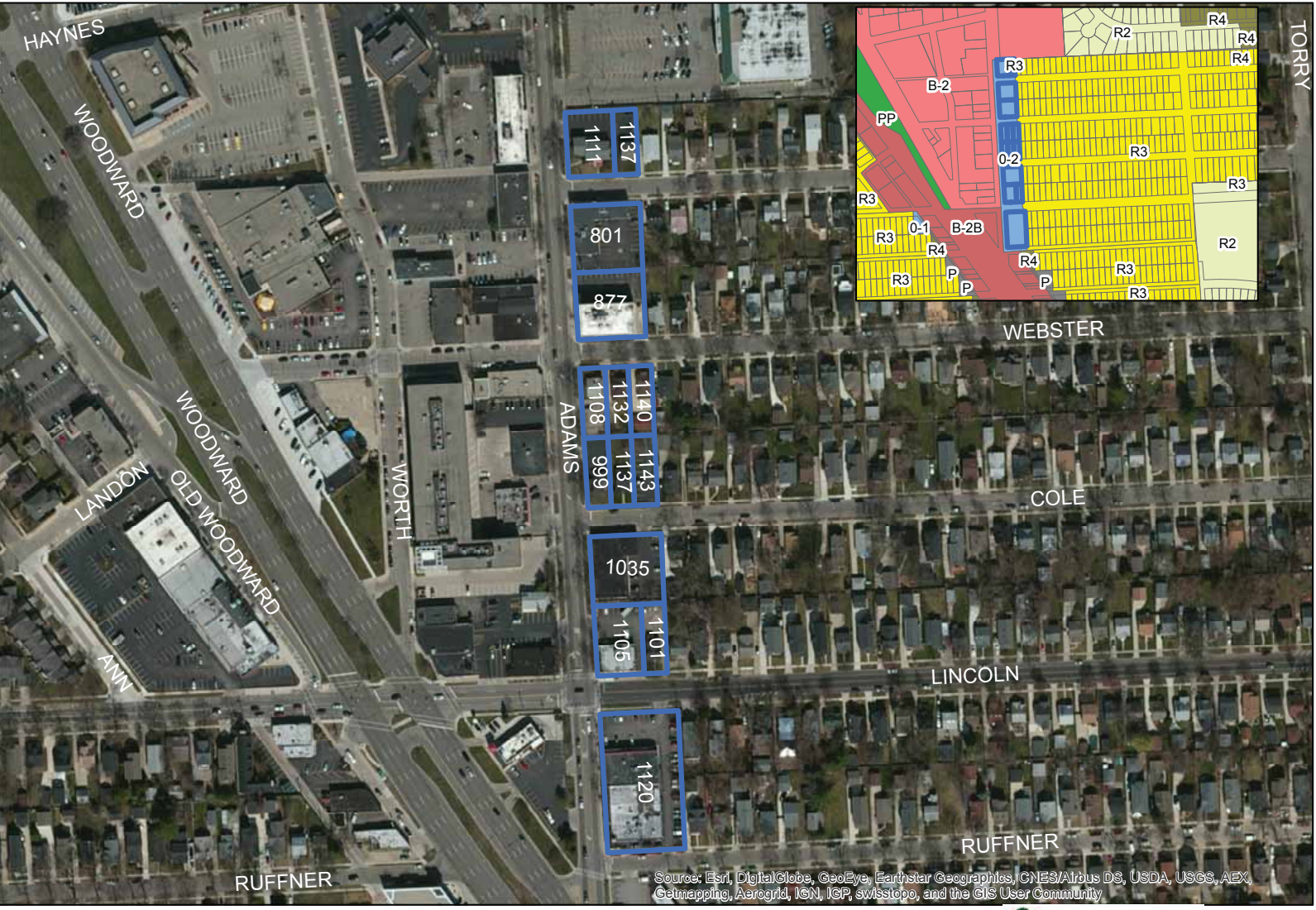
195, 123, 115 W. Brown; 122, 178 E Brown; 564, 588 Purdy



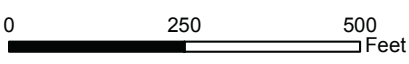
 TZ2 Proposals



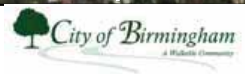
1111, 1137 Holland; 801, 877, 999, 1035, 1105 S Adams Rd;
 1108, 1132, 1140 Webster; 1137, 1143 Cole St; 1101, 1120 E Lincoln



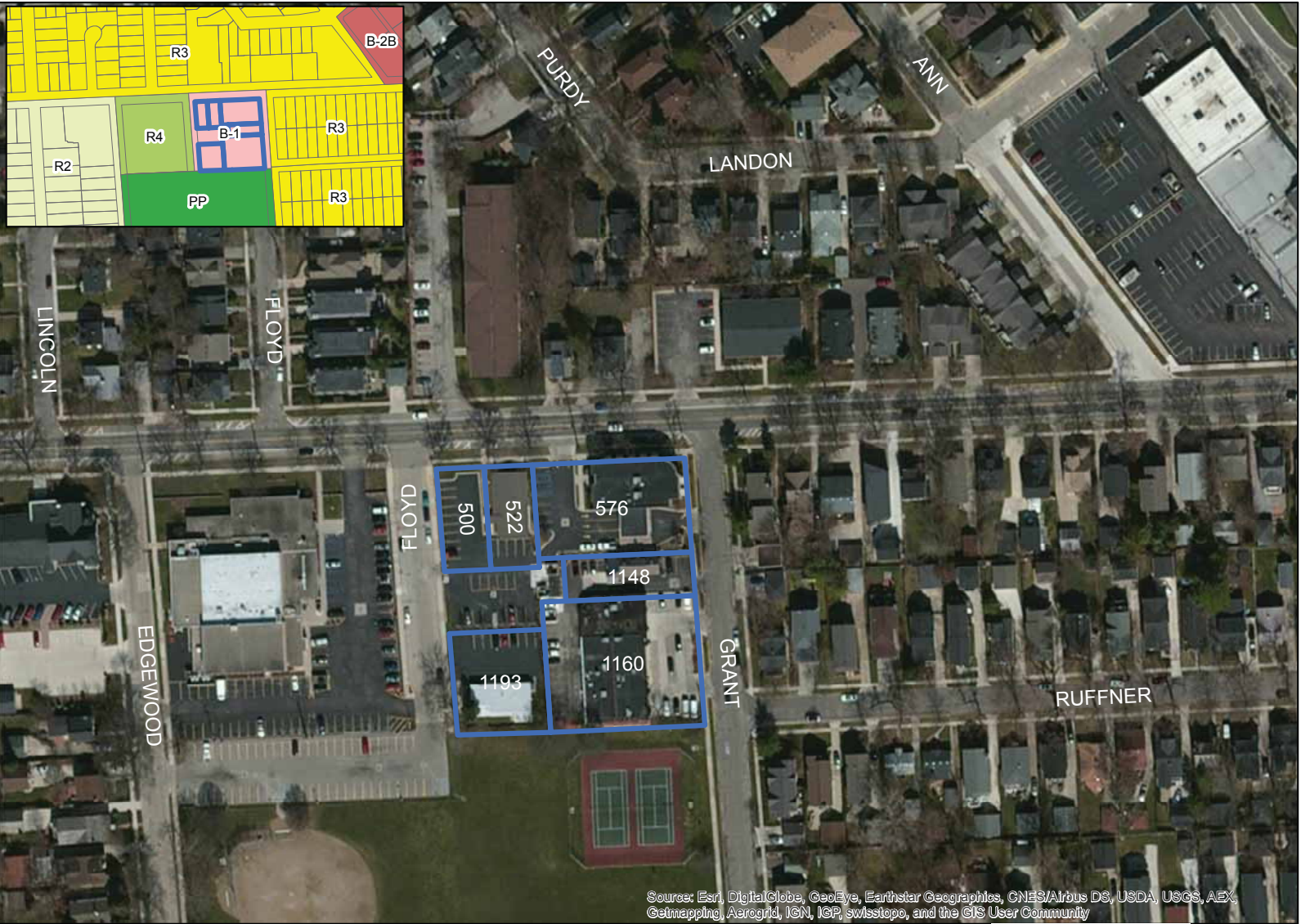
TZ2 Proposals



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

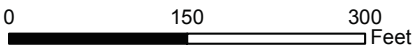


500, 522, 576 E. Lincoln; 1148, 1160 Grant; 1193 Floyd

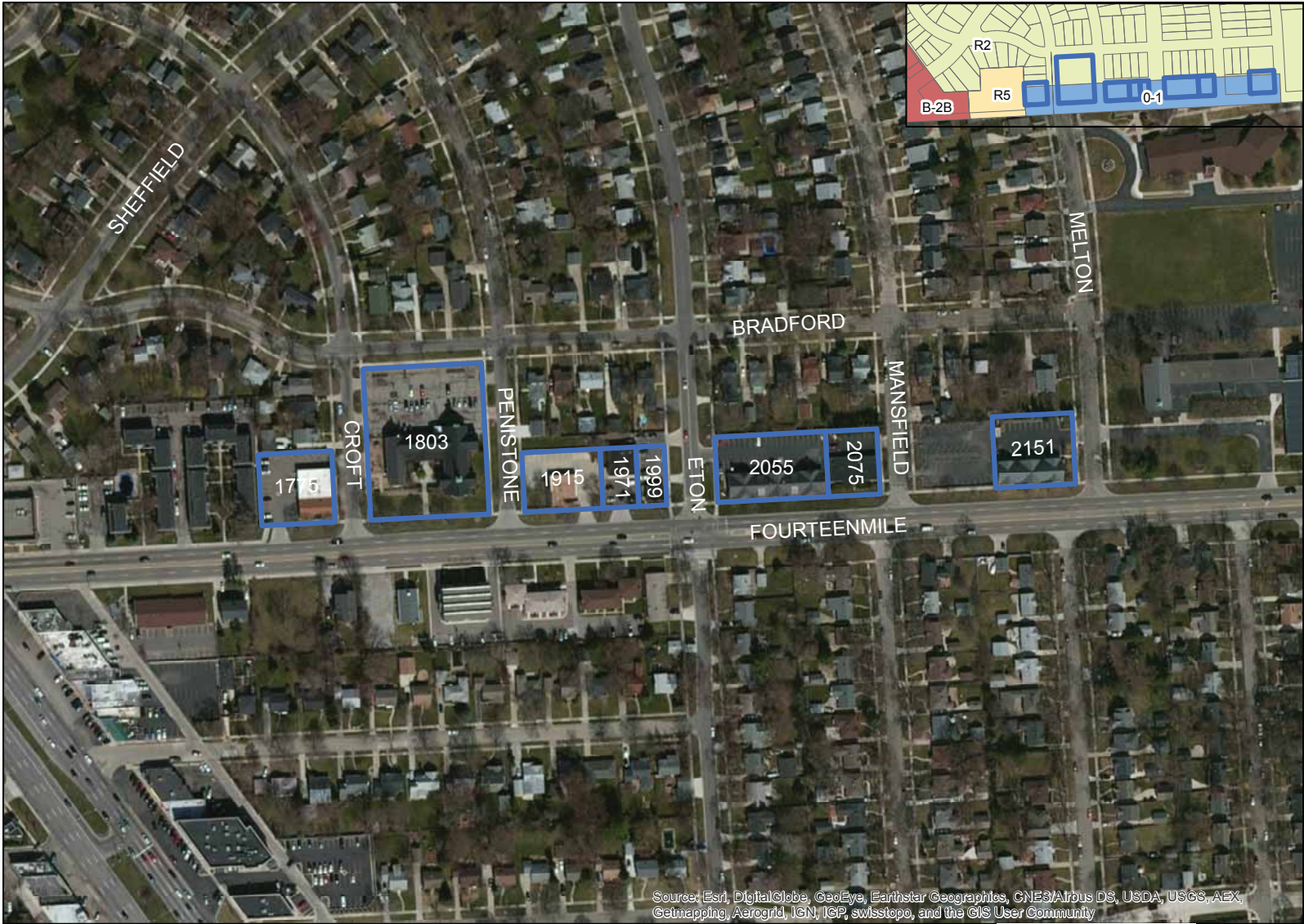


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

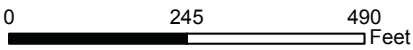
 TZ2 Proposals



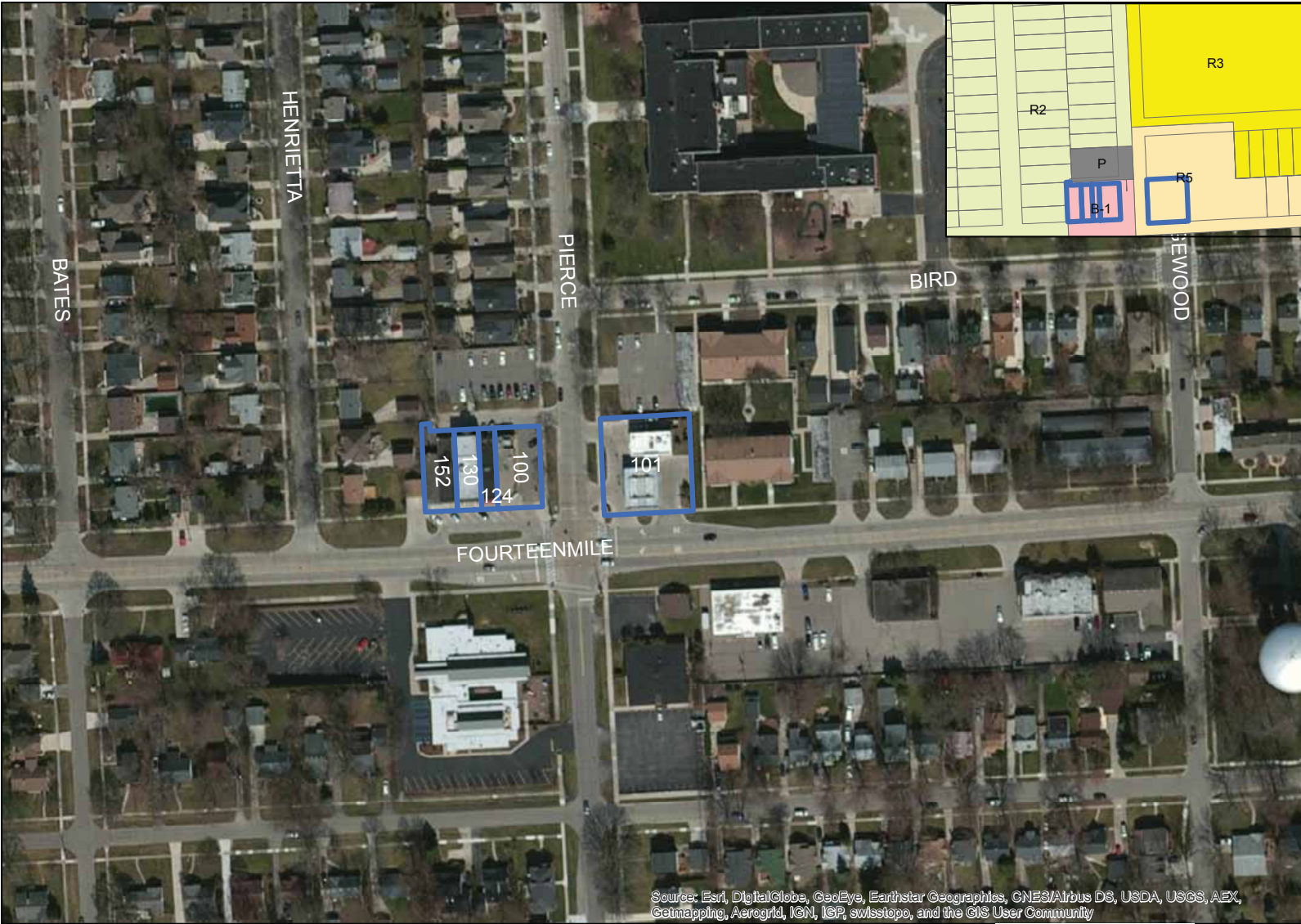
1775, 1803, 1915, 1971, 1999, 2055, 2075, 2151 Fourteen Mile Rd.



 TZ2 Proposals

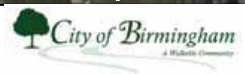
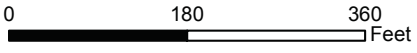


100, 124, 130, 152 W Fourteen Mile Rd; 101 E. Fourteen Mile Rd.

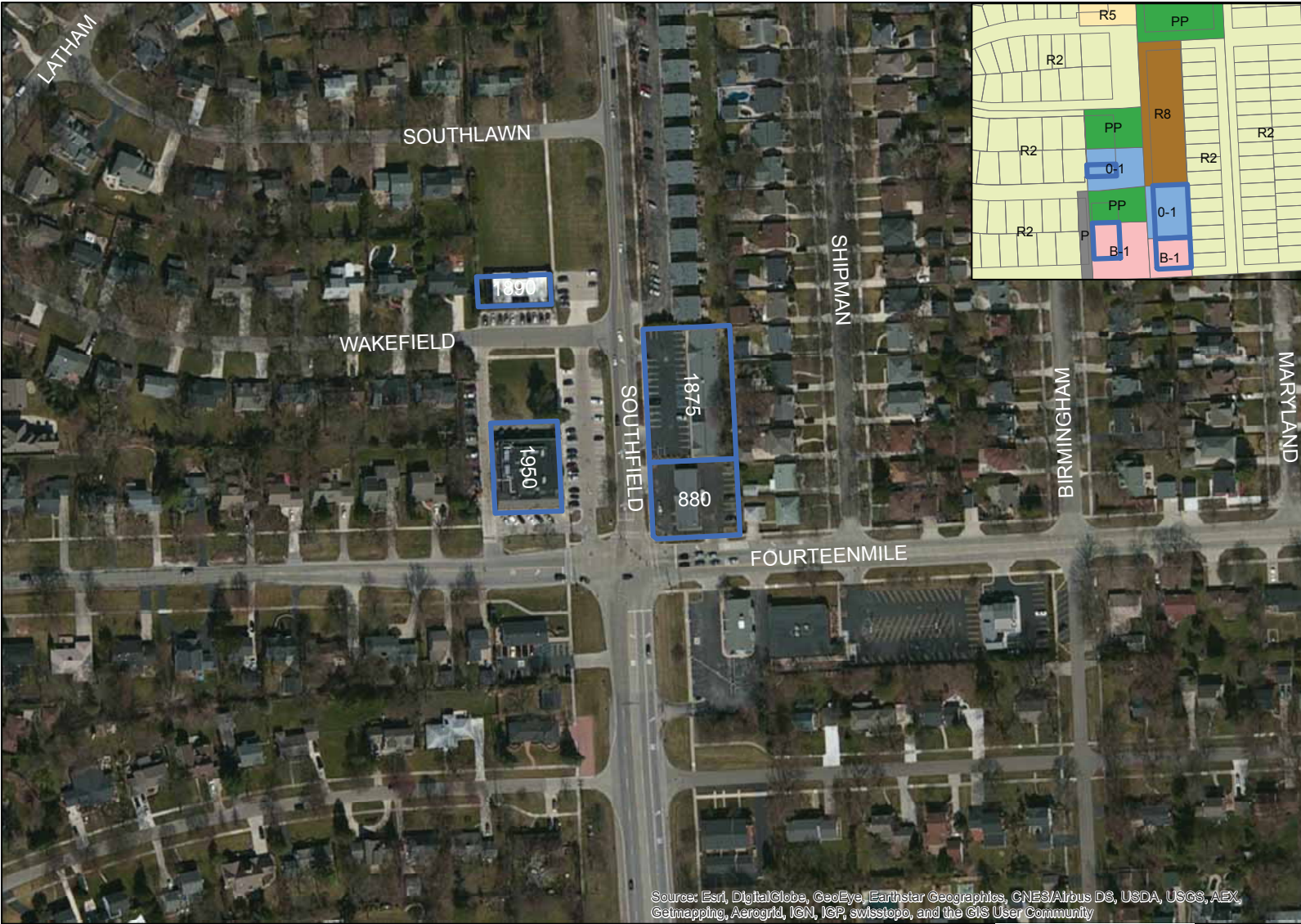


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

 TZ2 Proposals

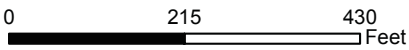


1712, 1728, 1732, 1740, 1744, 1794, 1821 W. Maple Rd.

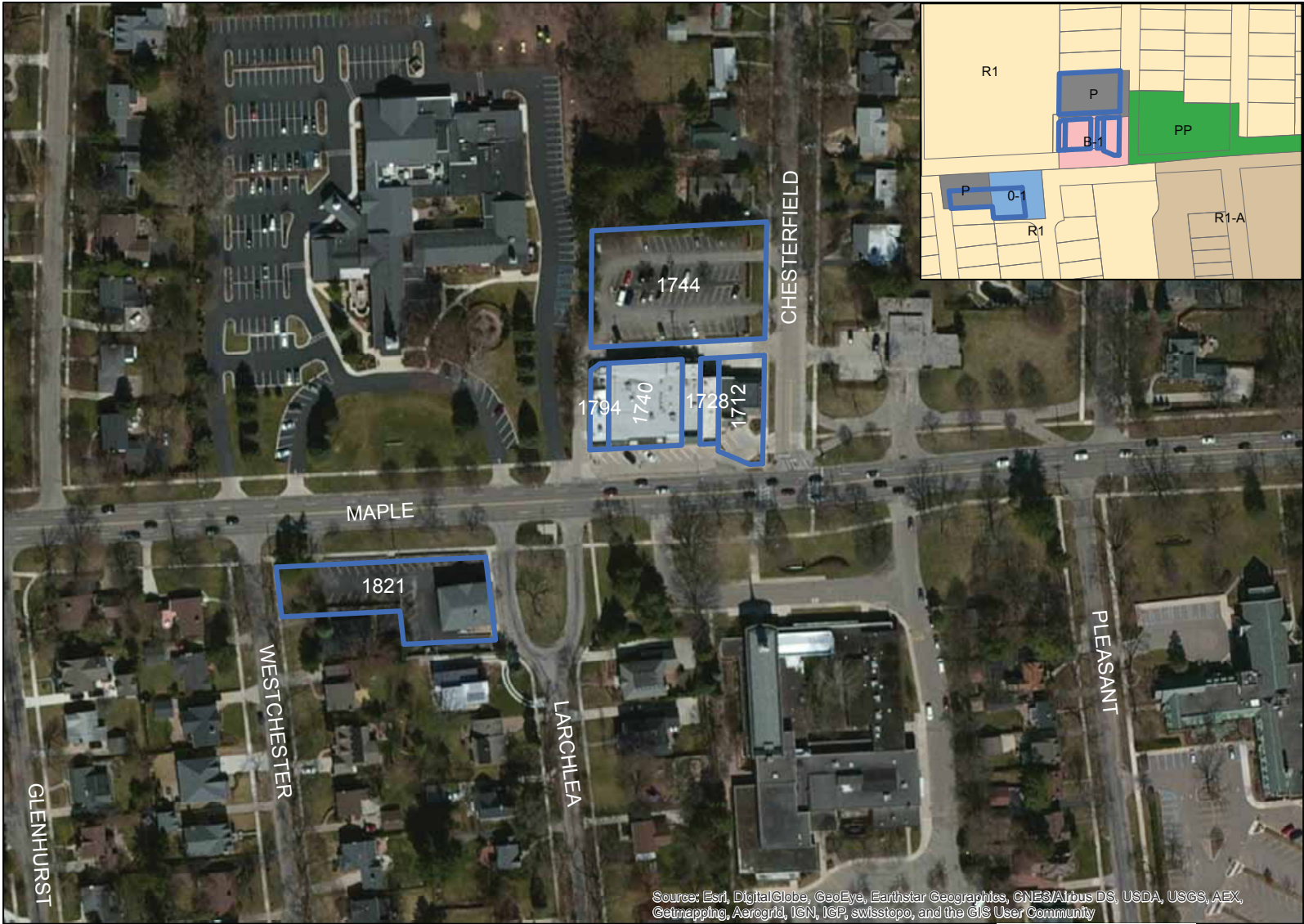


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

 TZ2 Proposals

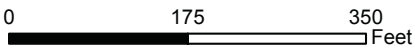


1712, 1728, 1732, 1740, 1744, 1794, 1821 W. Maple Rd.

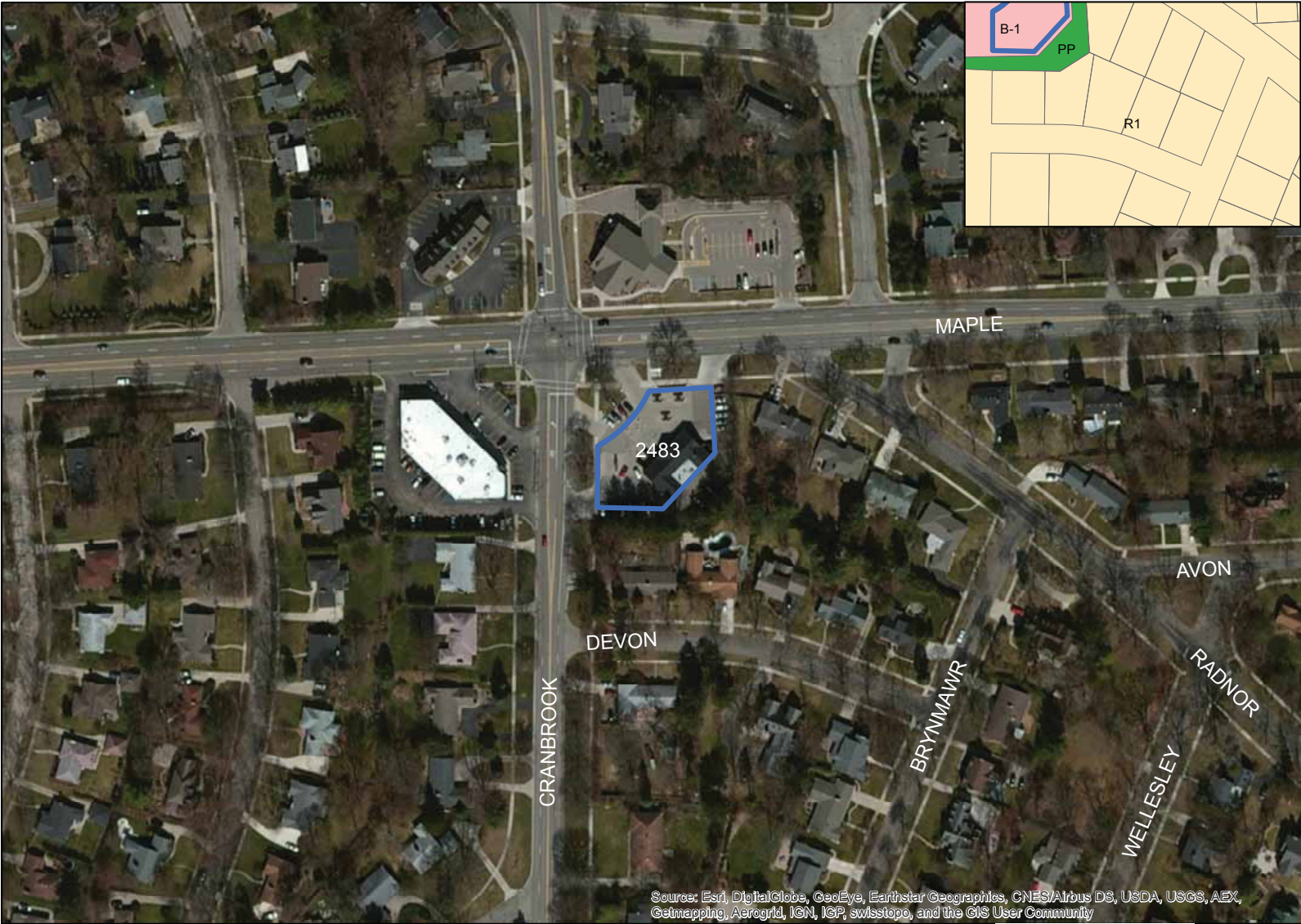


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

 TZ2 Proposals

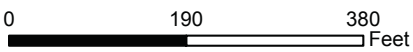


2483 W. Maple Rd.

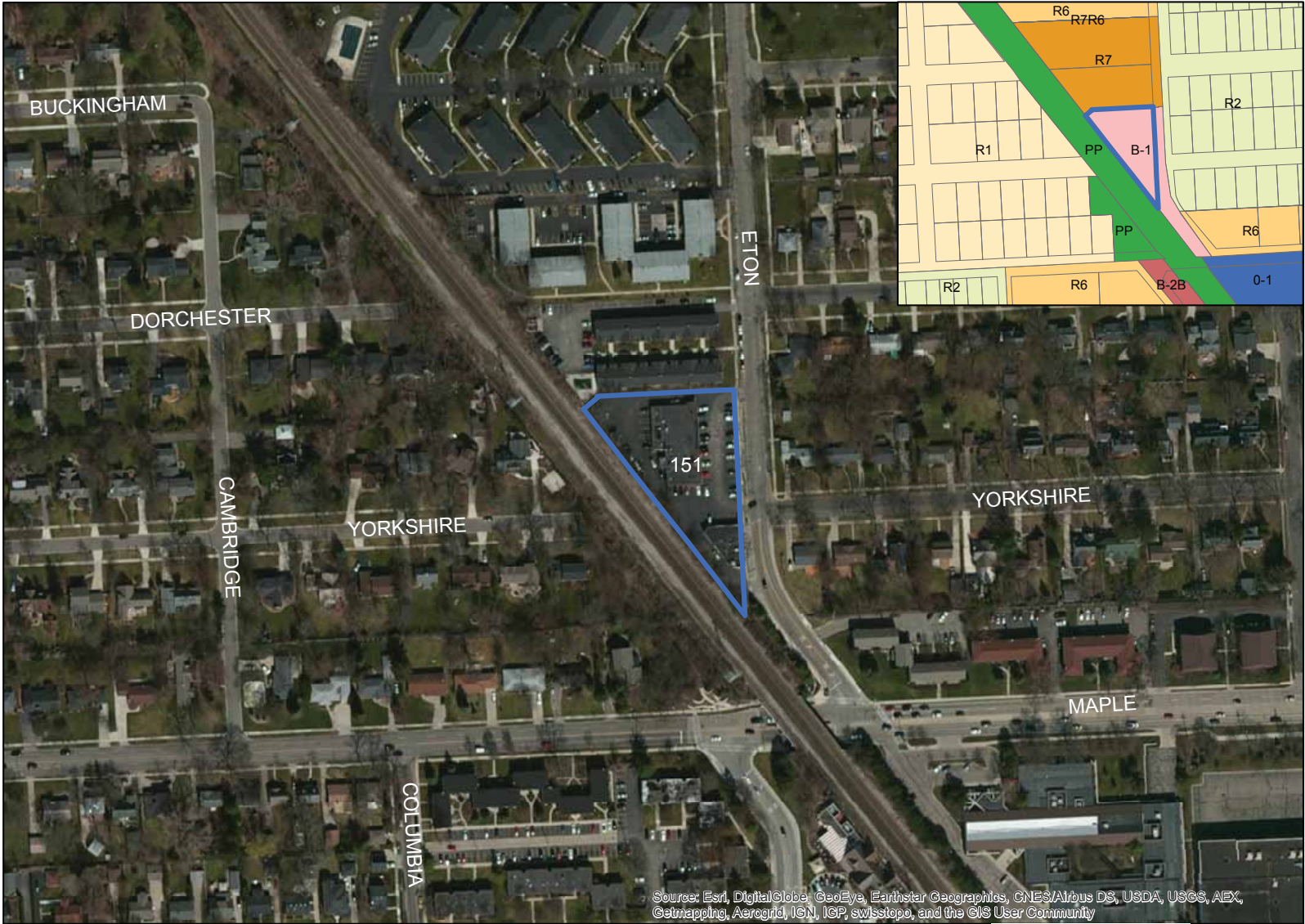


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

 TZ2 Proposals

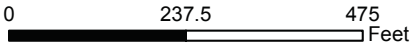


151 N. Eaton

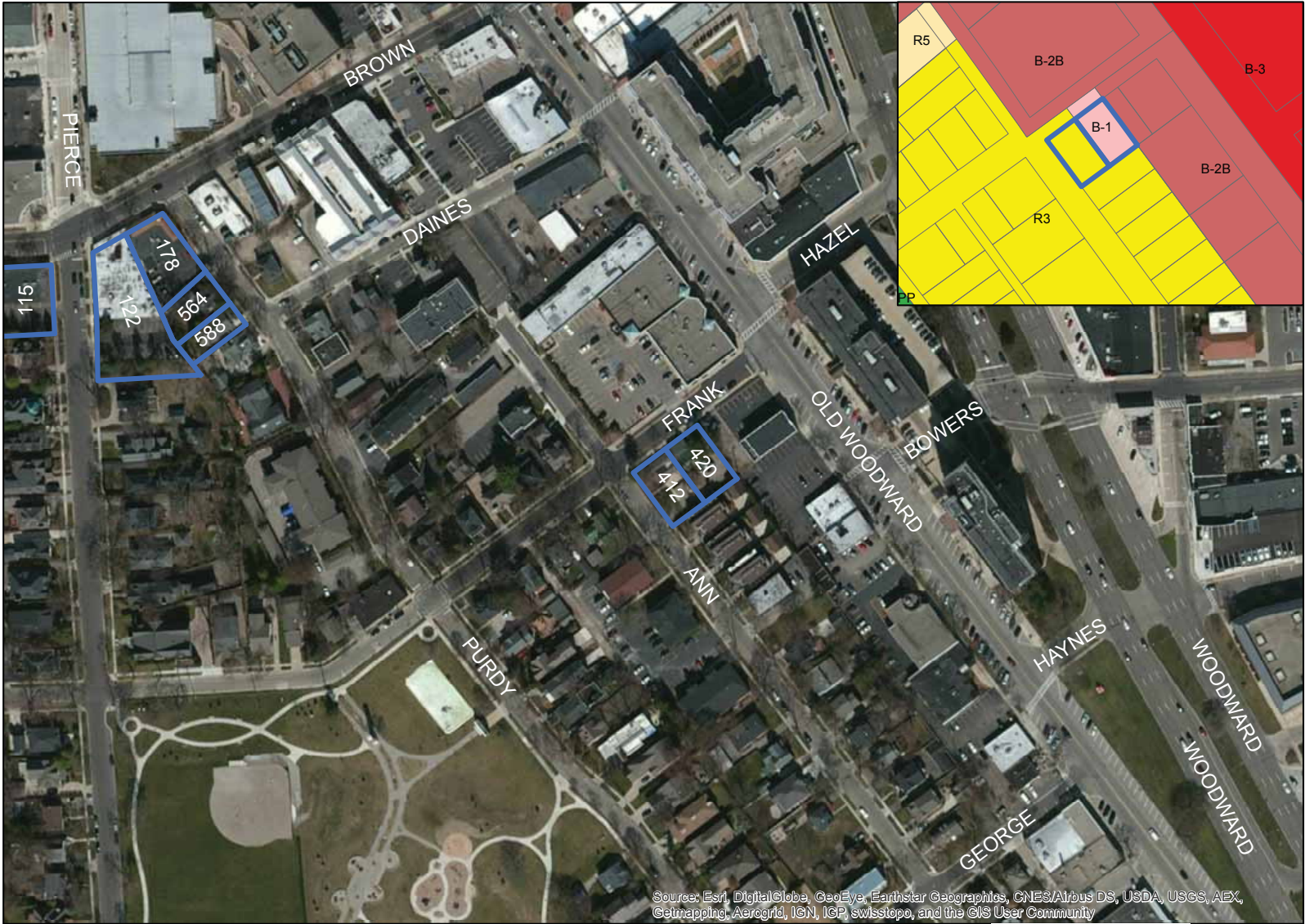


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

 TZ2 Proposals

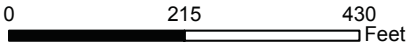


412 & 420 E. Frank St.

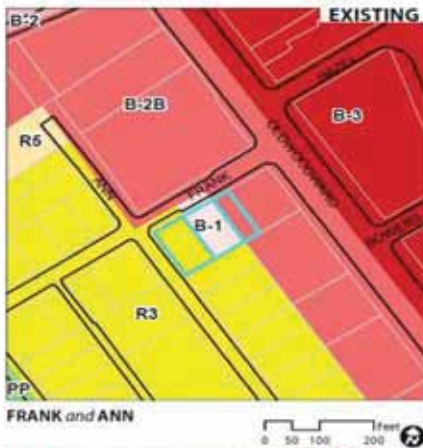


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

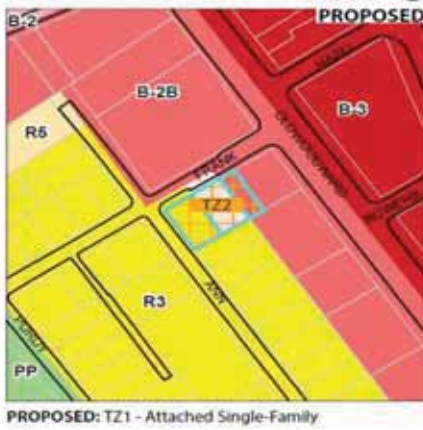
 TZ2 Proposals



E. FRANK – R3/B1/B2B TO TZ2



Source: Bing



Source: Google



Source: Google

Total property area – approx. 15,000 sq. ft.

of residential units currently permitted – 1 unit on R3 parcel
0 units on B1 parcel
No limit on B2b parcel

of units permitted under TZ1 zoning - 5

412 E. FRANK - R3 TO TZ2

R3 – Single family Residential

Residential Permitted Uses

- ~~adult foster care group home~~
- dwelling - one-family
- ~~single family cluster*~~

Institutional Permitted Uses

- government office
- school – ~~public~~

Recreational Permitted Uses

- ~~park~~

Accessory Permitted Uses

- family day care home*
- ~~garage – private~~
- ~~greenhouse – private~~
- home occupation*
- ~~parking facility – private off-street~~
- ~~parking – public, off-street*~~
- ~~renting of rooms*~~
- ~~sign~~
- ~~swimming pool – private~~
- ~~any use customarily incidental to the permitted principal use~~

Uses Requiring a Special Land Use Permit

- assisted living
- church
- ~~continued care retirement community~~
- independent hospice facility
- independent senior living
- ~~medical rehabilitation facility~~
- ~~parking (accessory) – public, off-street~~
- ~~philanthropic use~~
- ~~public utility building~~
- ~~publicly owned building~~
- school - private
- skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family

Dwelling – multiple family

Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery

Artisan use

Barber/Beauty Salon

Bookstore

Boutique

Drugstore

Gift shop/flower shop

Hardware

Health club/studio

Jewelry store

Neighborhood convenience store

Office

Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant

Assisted Living

Bakery

Bank/credit union with drive-thru

Church or religious institution

Coffee shop

Delicatessen

Dry cleaner

Essential services

Food & drink establishment

Government office/use

Grocery store

Independent hospice facility

Independent senior living

Parking Structure

School – private and public (**now requires SLUP**)

Skilled nursing facility

Specialty food shop

420 E. FRANK - B1 TO T22

Institutional Uses

Church
Community center
Government office
Government use
School—private, public
Social Club

Recreational Uses

Recreational club
Swimming pool—public, semiprivate

Commercial Permitted Uses

Bakery
Barber/beauty salon
Drugstore
Dry cleaning
Grocery store
Hardware store
Neighborhood convenience store
Office
Shoe store/shoe repair
Tailor

Other Permitted Uses

Utility substation

Existing Uses with SLUP

Alcoholic beverage sales (off-premise consumption)
Alcoholic beverage sales (on-premise consumption)
Child care center
Continued care retirement community
Drive-in facility
Gasoline service station
Independent hospice facility
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner (now requires SLUP)
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store (now requires SLUP)
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

E. FRANK PARKING – B2B TO TZ2

B2b – General Business

Residential Permitted Uses

- dwelling - multiple-family
- dwelling - one-family*
- dwelling - two-family*
- live/work unit

Institutional Permitted Uses

- church
- ▲ community center
- ▲ garage – public
- government office
- government use
- ▲ loading facility – off street
- ▲ parking facility – off street
- school - private, public
- ▲ social club

Recreational Permitted Uses

- ▲ bowling alley
- ▲ outdoor amusement*
- ▲ recreational club
- ▲ swimming pool – public & semiprivate

Commercial Permitted Uses

- ▲ auto sales agency
- ▲ bakery
- bank
- barber shop/beauty salon
- ▲ catering
- ▲ child care center
- ▲ clothing store
- ▲ delicatessen
- drugstore
- ▲ dry-cleaning
- flower/gift shop
- ▲ food or drink establishment*
- ▲ furniture
- ▲ greenhouse
- ▲ grocery store
- hardware store
- ▲ hotel
- jewelry store
- ▲ motel
- neighborhood convenience store
- office
- ▲ paint
- ▲ party store
- ▲ retail photocopying
- ▲ school business
- ▲ shoe store/shoe repair
- ▲ showroom of electricians/plumbers
- tailor
- ▲ theater*

Other Permitted Uses

- ▲ utility substation

Accessory Permitted Uses

- ▲ alcoholic beverage sales (off-premise consumption)*
- ▲ kennel*

- laboratory – medical/dental*
- ▲ loading facility – off street
- outdoor cafe*
- ▲ outdoor display of goods*
- ▲ outdoor sales*
- ▲ outdoor storage*
- parking facility - off-street
- ▲ sign

Uses Requiring a Special Land Use Permit

- ▲ alcoholic beverage sales (on-premise consumption)
 - assisted living
 - ▲ auto laundry
 - ▲ bistro (only permitted in the Triangle District)*
 - ▲ bus/train passenger station and waiting facility
 - ▲ continued care retirement community
 - ▲ display of broadcast media devices (only permitted in conjunction with a gasoline service station)
 - ▲ drive-in facility
 - ▲ establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development (only permitted on those parcels within the Triangle District identified on Exhibit 1; Appendix C)
 - ▲ funeral home
 - ▲ gasoline full service station*
 - ▲ gasoline service station
 - independent hospice facility
 - independent senior living
 - skilled nursing facility
 - ▲ trailer camp
- Uses Requiring City Commission Approval**
- ▲ regulated uses*

Residential Permitted Uses

Dwelling – attached single family

Dwelling – multiple family

Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery

Artisan use

Barber/Beauty Salon

Bookstore

Boutique

Drugstore

Gift shop/flower shop

Hardware

Health club/studio

Jewelry store

Neighborhood convenience store

Office

Tailor

Uses with SLUP

Any permitted commercial use with i area over 3,000 sq.ft. per tenar

Assisted Living

Bakery (now requires SLUP)

Bank/credit union with drive-thru

Church or religious institution

Coffee shop

Delicatessen

Dry cleaner (now requires SLUP)

Essential services

Food & drink establishment

Government office/use (now requires SLUP)

Grocery store (now requires SLUP)

Independent hospice facility

Independent senior living

Parking Structure

School – private and public (now req

Skilled nursing facility

Specialty food shop

BROWN AT PIERCE



BROWN and PURDY, PURDY and DAINES



Source: Bing



PROPOSED: T22 - Mixed-Use



Source: Google



Source: Google

EXISTING USES: 02

PROPOSED USES: TZ2

Residential Permitted Uses

Adult foster care group home
Dwelling – multiple family
Dwelling – one-family (R5)
Dwelling – two family
Live/work unit
Single-family cluster

Institutional Uses

Government office
Philanthropic use
School – public

Recreational Uses

Park
Swimming pool – semiprivate

Commercial Permitted Uses

Art gallery
Bakery
Bank without drive-through facility
Barber/beauty salon
Boutique
Clinic
Clothing store
Flower/gift shop
Hair replacement establishment
Interior design shop
Jewelry store
Leather and luggage goods shop
Office
Photographic studio
Specialty food store
Specialty home furnishing shop
Tailor
Tobacconist
Veterinary clinic

Existing Uses with SLUP

Assisted Living
Bank with drive-through facility
Bistro (only in Triangle District)
Continued care retirement community
Display of broadcast media devices (only permitted with gasoline service station)
Establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development (only permitted on those parcels within the Triangle District identified on Exhibit 1: Appendix C)
Food and drink establishment
Independent hospice facility
Independent senior living
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

EXISTING USES: P

PROPOSED USES: TZ2

Residential Permitted Uses

Adult foster care group home (R7)
Dwelling – multiple-family (R7)
Dwelling – one-family (R7)
Dwelling – two-family (R7)
Live/work unit
Single family cluster (R7)

Institutional Uses

Government office (R7)
Parking facility—off street
Philanthropic use
School—public (R7)

Recreational Uses

Park (R7)
Swimming pool, semiprivate (R7)

Existing Uses with SLUP

Assisted living
Bistro (only in Triangle District)
Church
Community center
Continued care retirement community
Independent hospice facility
Independent senior living
Publicly owned building
Public utility building
Recreational club
School - private
Skilled nursing facility
Social club

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor
Uses with SLUP
Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure (now requires SLUP)
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

EXISTING USES: R3

PROPOSED USES: TZ2

Residential Permitted Uses

Adult foster care group home
Dwelling – one-family
Single family cluster

Institutional Uses

Government office
School—public

Recreational Uses

Park

Existing Uses with SLUP

Assisted living
Church
Continued care retirement community
Independent hospice facility
Independent senior living
Medical rehabilitation facility
Parking (accessory) – public, off-street
Philanthropic use
Public utility building
Publicly owned building
School - private
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

S. ADAMS, ADAMS SQUARE TO LINCOLN



S. ADAMS between ADAMS SQUARE and LINCOLN



Source: Bing



PROPOSED: T22 - Mixed-Use



Source: Google



Source: Google



EXISTING USES: 02

PROPOSED USES: TZ2

Residential Permitted Uses

Adult foster care group home
Dwelling – multiple family
Dwelling – one-family (R5)
Dwelling – two family
Live/work unit
Single-family cluster

Institutional Uses

Government office
Philanthropic use
School – public

Recreational Uses

Park
Swimming pool – semiprivate

Commercial Permitted Uses

Art gallery
Bakery
Bank without drive-through facility
Barber/beauty salon
Boutique
Clinic
Clothing store
Flower/gift shop
Hair replacement establishment
Interior design shop
Jewelry store
Leather and luggage goods shop
Office
Photographic studio
Specialty food store
Specialty home furnishing shop
Tailor
Tobacconist
Veterinary clinic

Existing Uses with SLUP

Assisted Living
Bank with drive-through facility
Bistro (only in Triangle District)
Continued care retirement community
Display of broadcast media devices (only permitted with gasoline service station)
Establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development (only permitted on those parcels within the Triangle District identified on Exhibit 1: Appendix C)
Food and drink establishment
Independent hospice facility
Independent senior living
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

LINCOLN AT GRANT



E. LINCOLN and GRANT



Source: Bing



PROPOSED: T22 - Mixed-Use



Source: Google



Source: Google

EXISTING USES: B1

PROPOSED USES: TZ2

Institutional Uses

Church
Community center
Government office
Government use
School—private, public
Social Club

Recreational Uses

Recreational club
Swimming pool—public, semiprivate

Commercial Permitted Uses

Bakery
Barber/beauty salon
Drugstore
Dry cleaning
Grocery store
Hardware store
Neighborhood convenience store
Office
Shoe store/shoe repair
Tailor

Other Permitted Uses

Utility substation

Existing Uses with SLUP

Alcoholic beverage sales (off-premise consumption)
Alcoholic beverage sales (on-premise consumption)
Child care center
Continued care retirement community
Drive-in facility
Gasoline service station
Independent hospice facility
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner (now requires SLUP)
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store (now requires SLUP)
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

E. 14 MILE ROAD EAST OF WOODWARD



14 MILE east of WOODWARD



Source: Bing



PROPOSED: TZ2 - Mixed-Use



Source: Google



Source: Google



EXISTING USES: 01

PROPOSED USES: TZ2

Residential Permitted Uses

~~Adult foster care group home~~
Dwelling – multiple family
Dwelling – one-family (R5)
Dwelling – two family
Live/work unit
Single family cluster

Institutional Uses

~~Government office~~
Philanthropic use
School – public

Recreational Uses

~~Park~~
~~Swimming pool – semiprivate~~

Commercial Permitted Uses

~~Barber/beauty salon~~
~~Hair replacement establishment~~
Office
~~Veterinary clinic~~

Existing Uses with SLUP

Assisted Living
Bistro (only in Triangle District)
Church
Continued care retirement community
Independent hospice facility
Independent senior living
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

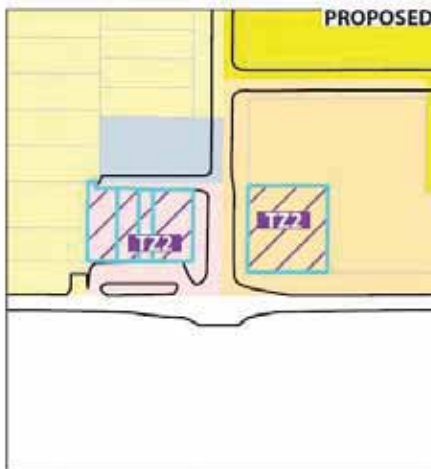
14 MILE ROAD AT PIERCE



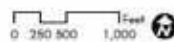
14 MILE and PIERCE



Source: Bing



PROPOSED: T22 - Mixed-Use



Source: Google



Source: Google

EXISTING USES: B1

PROPOSED USES: TZ2

Institutional Uses

Church
Community center
Government office
Government use
School—private, public
Social Club

Recreational Uses

Recreational club
Swimming pool—public, semiprivate

Commercial Permitted Uses

Bakery
Barber/beauty salon
Drugstore
Dry cleaning
Grocery store
Hardware store
Neighborhood convenience store
Office
Shoe store/shoe repair
Tailor

Other Permitted Uses

Utility substation

Existing Uses with SLUP

Alcoholic beverage sales (off-premise consumption)
Alcoholic beverage sales (on-premise consumption)
Child care center
Continued care retirement community
Drive-in facility
Gasoline service station
Independent hospice facility
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner (now requires SLUP)
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store (now requires SLUP)
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

EXISTING USES: R5

PROPOSED USES: TZ2

Residential Permitted Uses

~~Adult foster care group home (R4)~~
Dwelling – multiple-family
Dwelling – one-family (R4)
~~Dwelling – two-family (R4)~~
Single family cluster (R4)

Institutional Uses

~~Government office (R4)~~
~~Philanthropic use (R4)~~
~~School – public (R4)~~

Recreational Uses

~~Park (R4)~~
~~Swimming pool – semiprivate~~

Existing Uses with SLUP

Assisted living
Church
~~Continued care retirement community~~
Independent hospice facility
Independent senior living
~~Parking (accessory) – public, off-street~~
~~Public utility building~~
~~Publicly owned building~~
School - private
Skilled nursing facility

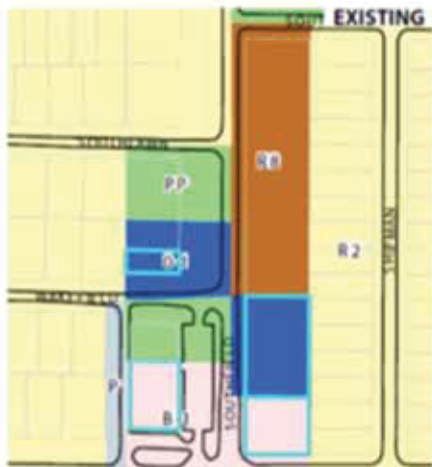
Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

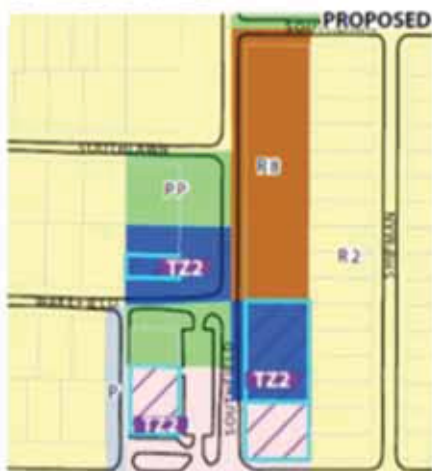
Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor
Uses with SLUP
Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

SOUTHFIELD AT 14 MILE



Source: Bing



Source: Google



Source: Google

PROPOSED: T22 - Mixed-Use



EXISTING USES: B1

PROPOSED USES: TZ2

Institutional Uses

Church
Community center
Government office
Government use
School—private, public
Social Club

Recreational Uses

Recreational club
Swimming pool—public, semiprivate

Commercial Permitted Uses

Bakery
Barber/beauty salon
Drugstore
Dry cleaning
Grocery store
Hardware store
Neighborhood convenience store
Office
Shoe store/shoe repair
Tailor

Other Permitted Uses

Utility substation

Existing Uses with SLUP

Alcoholic beverage sales (off-premise consumption)
Alcoholic beverage sales (on-premise consumption)
Child care center
Continued care retirement community
Drive-in facility
Gasoline full service station
Independent hospice facility
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner (now requires SLUP)
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store (now requires SLUP)
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

EXISTING USES: 01

PROPOSED USES: TZ2

Residential Permitted Uses

~~Adult foster care group home~~
Dwelling – multiple family
Dwelling – one-family (R5)
Dwelling – two family
Live/work unit
Single family cluster

Institutional Uses

~~Government office~~
Philanthropic use
School – public

Recreational Uses

~~Park~~
~~Swimming pool – semiprivate~~

Commercial Permitted Uses

~~Barber/beauty salon~~
~~Hair replacement establishment~~
Office
~~Veterinary clinic~~

Existing Uses with SLUP

Assisted Living
Bistro (only in Triangle District)
Church
Continued care retirement community
Independent hospice facility
Independent senior living
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

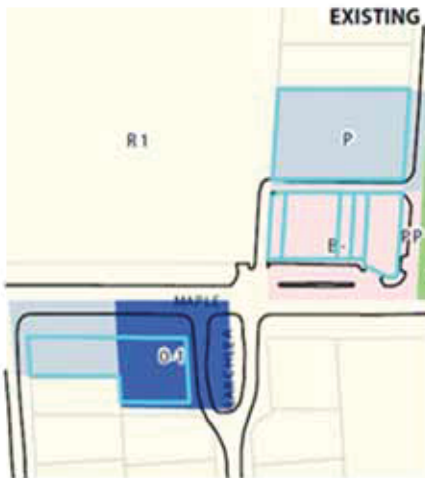
Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

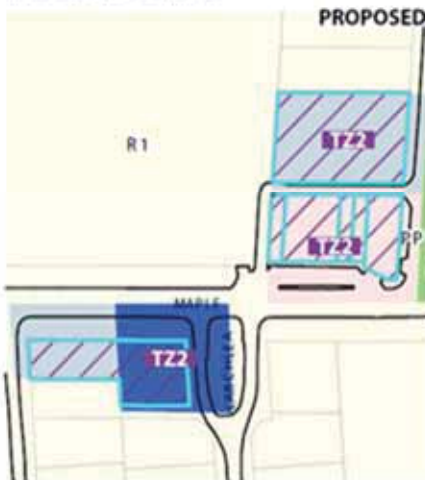
MILLS PHARMACY PLAZA/ W. MAPLE & LARCHLEA



MAPLE and CHESTERFIELD



Source: Bing



PROPOSED: T22 - Mixed-Use



Source: Google



Source: Google

EXISTING USES: B1

PROPOSED USES: TZ2

Institutional Uses

Church
Community center
Government office
Government use
School—private, public
Social Club

Recreational Uses

Recreational club
Swimming pool—public, semiprivate

Commercial Permitted Uses

Bakery
Barber/beauty salon
Drugstore
Dry cleaning
Grocery store
Hardware store
Neighborhood convenience store
Office
Shoe store/shoe repair
Tailor

Other Permitted Uses

Utility substation

Existing Uses with SLUP

Alcoholic beverage sales (off-premise consumption)
Alcoholic beverage sales (on-premise consumption)
Child care center
Continued care retirement community
Drive-in facility
Gasoline service station
Independent hospice facility
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner (now requires SLUP)
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store (now requires SLUP)
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

EXISTING USES: 01

PROPOSED USES: TZ2

Residential Permitted Uses

~~Adult foster care group home~~
Dwelling – multiple family
Dwelling – one-family (R5)
Dwelling – two family
Live/work unit
Single family cluster

Institutional Uses

~~Government office~~
Philanthropic use
School – public

Recreational Uses

~~Park~~
~~Swimming pool – semiprivate~~

Commercial Permitted Uses

~~Barber/beauty salon~~
~~Hair replacement establishment~~
Office
~~Veterinary clinic~~

Existing Uses with SLUP

Assisted Living
Bistro (only in Triangle District)
Church
Continued care retirement community
Independent hospice facility
Independent senior living
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

EXISTING USES: P

PROPOSED USES: TZ2

Residential Permitted Uses

Adult foster care group home (R7)
Dwelling – multiple-family (R7)
Dwelling – one-family (R7)
Dwelling – two-family (R7)
Live/work unit
Single family cluster (R7)

Institutional Uses

Government office (R7)
Parking facility—off street
Philanthropic use
School—public (R7)

Recreational Uses

Park (R7)
Swimming pool, semiprivate (R7)

Existing Uses with SLUP

Assisted living
Bistro (only in Triangle District)
Church
Community center
Continued care retirement community
Independent hospice facility
Independent senior living
Publicly owned building
Public utility building
Recreational club
School - private
Skilled nursing facility
Social club

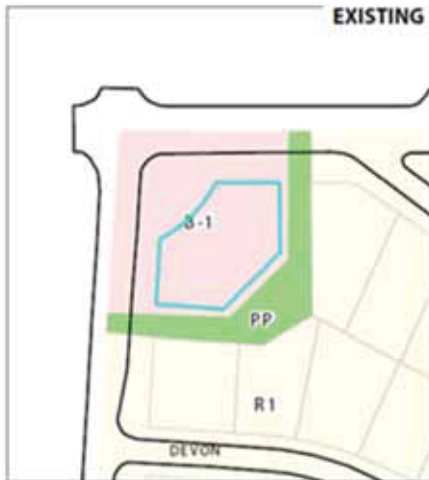
Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor
Uses with SLUP
Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store
Independent hospice facility
Independent senior living
Parking Structure (now requires SLUP)
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

W. MAPLE AND CRANBROOK



MAPLE and CRANBROOK



PROPOSED: T22 - Mixed-Use



EXISTING USES: B1

PROPOSED USES: TZ2

Institutional Uses

Church
Community center
Government office
Government use
School—private, public
Social Club

Recreational Uses

Recreational club
Swimming pool—public, semiprivate

Commercial Permitted Uses

Bakery
Barber/beauty salon
Drugstore
Dry cleaning
Grocery store
Hardware store
Neighborhood convenience store
Office
Shoe store/shoe repair
Tailor

Other Permitted Uses

Utility substation

Existing Uses with SLUP

Alcoholic beverage sales (off-premise consumption)
Alcoholic beverage sales (on-premise consumption)
Child care center
Continued care retirement community
Drive-in facility
Gasoline service station
Independent hospice facility
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

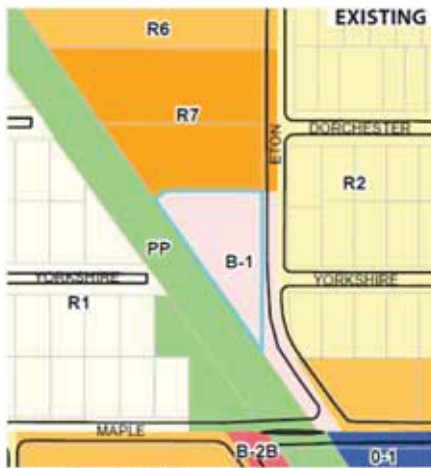
Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner (now requires SLUP)
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store (now requires SLUP)
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

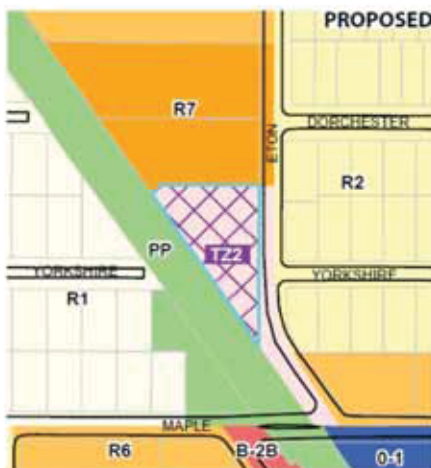
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E. MAPLE and N. ETON



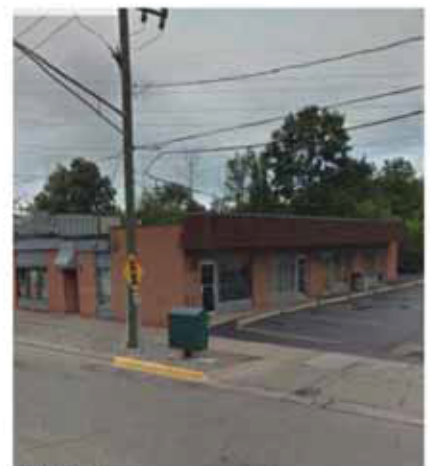
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PROPOSED: TZ3 - Mixed-Use



Source: Google



Source: Google

EXISTING USES: B1

PROPOSED USES: TZ2

Institutional Uses

Church
Community center
Government office
Government use
School—private, public
Social Club

Recreational Uses

Recreational club
Swimming pool—public, semiprivate

Commercial Permitted Uses

Bakery
Barber/beauty salon
Drugstore
Dry cleaning
Grocery store
Hardware store
Neighborhood convenience store
Office
Shoe store/shoe repair
Tailor

Other Permitted Uses

Utility substation

Existing Uses with SLUP

Alcoholic beverage sales (off-premise consumption)
Alcoholic beverage sales (on-premise consumption)
Child care center
Continued care retirement community
Drive-in facility
Gasoline service station
Independent hospice facility
Skilled nursing facility

Residential Permitted Uses

Dwelling – attached single family
Dwelling – multiple family
Dwelling – single family (R3)

Commercial Permitted Uses

Art gallery
Artisan use
Barber/Beauty Salon
Bookstore
Boutique
Drugstore
Gift shop/flower shop
Hardware
Health club/studio
Jewelry store
Neighborhood convenience store
Office
Tailor

Uses with SLUP

Any permitted commercial use with interior floor area over 3,000 sq.ft. per tenant
Assisted Living
Bakery (now requires SLUP)
Bank/credit union with drive-thru
Church or religious institution
Coffee shop
Delicatessen
Dry cleaner (now requires SLUP)
Essential services
Food & drink establishment
Government office/use (now requires SLUP)
Grocery store (now requires SLUP)
Independent hospice facility
Independent senior living
Parking Structure
School – private and public (now requires SLUP)
Skilled nursing facility
Specialty food shop

APPENDIX E:

City Commission Minutes September 21, 2015

UNFINISHED BUSINESS

09-204-15 CONTINUED PUBLIC HEARING TO CONSIDER ZONING ORDINANCE AMENDMENTS TRANSITIONAL ZONING

Mayor Sherman reopened the Public Hearing to consider amendments to Chapter 126, Zoning, of the Code of the City of Birmingham at 7:44 PM.

Planner Baka explained the recent revision to TZ1 requested by the City Commission prohibits garage doors on the front elevation. Commissioner Rinschler pointed out the previous discussion to eliminate all non-residential uses from TZ1. City Manager Valentine noted that any modifications to TZ1 could be addressed tonight.

Mr. Baka explained that TZ1 allows for attached single-family or multi-family two-story residential and provides transition from low density commercial to single family homes. He noted the maximum height is thirty-five feet with a two-story minimum and three-story maximum.

Commissioner McDaniel questioned why other properties on Oakland Street were removed from the original proposal. Mr. Baka explained that it was based on the objections from the homeowners as the current residents did not want their properties rezoned. Commissioner Rinschler pointed out that the rezoning is not about what is there currently, but what could be there in the future.

Mayor Pro Tem Hoff commented that the setback in TZ1 is required to have a front patio or porch which is very limiting with the five foot setback. She questioned why one-story is not allowed. Planner Ecker explained that two-stories will allow for more square footage and it is intended to be a buffer from the downtown to residential.

Commissioner Rinschler suggested that post office, social security office, school, nursing center, and church be removed from the list of uses so it is only residential use. He noted that the City is trying to create a buffer so there are no businesses abutting residential. He suggested a future Commission review the residential standards. Commissioners Dilgard and McDaniel agreed.

Ms. Ecker commented on the front setback requirement. She noted that the development standards include a waiver which would allow the Planning Board to move the setback further if a larger patio or terrace is desired.

Commissioner Nickita commented on the additional uses in TZ1. He noted that this is a zoning designation which is essentially residentially focused allowing for multi-family. He stated that those uses which stand out to be residential are independent senior living and independent

hospice which are aligned with multi-family residential uses. The Commission discussed the intensity of each use including assisted living.

Mayor Sherman summarized the discussion from the Public Hearing at the previous meeting. He explained that the three ordinances were presented to the Commission – TZ1 which is strictly residential; TZ2 which is residential, but allows for some commercial; and TZ3 which does allow for residential, but is more commercial in nature. At the hearing, people were comfortable with the language in TZ2 and TZ3. There were concerns and questions with TZ1 and the Commission requested staff make revisions to TZ1. The Commission then discussed the parcels that were proposed to be rezoned into the TZ2 and TZ3 categories. Discussion was not held regarding the TZ1 parcels at that time.

Commissioner Nickita suggested that in considering the commercial permitted uses and the Special Land Use Permit (SLUP) uses that several uses would be better served with a SLUP such as convenience store, drug store, and hardware store. Commissioners Rinschler and Hoff agreed.

Commissioner Rinschler noted the trouble with defining uses. He questioned why not let all the uses require SLUP's. Commissioner McDaniel suggested developing standards to evaluate SLUP's. Commissioner Nickita noted that it is not a one size fits all.

Mayor Sherman summarized the discussion that TZ1 would be restricted to solely residential; in TZ2 residential would be allowed, but any commercial uses would require a SLUP; in TZ3 would remain as drafted.

Bill Finnicum, 404 Bates, stated that having zero to five foot setbacks is unpractical. He suggested that the biggest danger is losing the character and rhythm of the streets.

Michael Murphy, 1950 Bradford, stated that the suggestion to require a SLUP is an acceptable compromise.

In response to a question from Commissioner Moore regarding parking, Ms. Ecker explained that commercial entities must provide for their own parking on-site if they are not in the parking assessment district. On-street parking can only be counted if the property is located in the triangle district.

Reed Benet, 271 Euclid, stated that changing the zoning from single family residential to protect single family residential is illogical.

Ms. Ecker confirmed for David Crisp, 1965 Bradford, that the parcels on 14 Mile would not be able to count the on-street parking unless they came through a separate application process and tried to get approval of the City Commission.

A resident at 1895 Bradford stated that the more uses which are subject to a SLUP would decrease the predictability of the neighborhood in the future and the value of the zoning effort.

Benjamin Gill, 520 Park, stated that the height of the buildings should be controlled by the neighborhood.

Irving Tobocman, 439 Greenwood, questioned the restriction on the depth of a porch relative to the setback on the street.

David Kolar, commercial real estate broker, expressed concern with the unintended consequences of making everything a SLUP. He noted that a SLUP is a high barrier of entry for small businesses. He suggested defining the appropriate uses in the TZ1, TZ2, and TZ3 districts.

Erik Morganroth, 631 Ann, expressed support of the idea of limitations and commented that the SLUP is most appropriate.

Mr. Baka discussed the parcels proposed in TZ1. He noted the proposal increases the number of units currently permitted at 404 Park from two to four, increase the number of units currently permitted on the parcel at Willits and Chester from two units to a maximum of five, and set the number of units currently permitted on the post office parcel from no limit to one unit for every 3,000 square feet. He discussed the lot area and setbacks.

Mr. Baka confirmed for Mayor Pro Tem Hoff that if the post office moved, a single family residential would be permitted.

Commissioner Rinschler expressed concern that only one lot was included in the 404 Park area. He suggested either extend it to the other parcels on Oakland Street or direct the Planning Board to reopen the hearing to redo the process including all three parcels.

Commissioner Moore stated that there is still a strong potential of economic viability to having those remain single family residential. The purpose of the ordinance is not to invade or lessen a neighborhood, but to enhance the neighborhood by protecting it and ensuring it will be contextual and there are building standards. Commissioner McDaniel agreed.

Commissioner Dilgard stated that the Planning Board was correct with the proposed zoning on 404 Park.

Mayor Sherman pointed out that Commission Nickita recused himself from 404 Park as he was involved with a project with someone who has an interest in 404 Park.

Mayor Sherman agreed with Commissioner Rinschler and noted that the zoning that is suggested does not make a lot of sense.

The following individuals spoke regarding 404 Park:

- Debra Frankovich expressed concern with sectioning out one double lot as it appears to support one property owners best interest.
- Tom Ryan, representing the Host's who are the property owners just north of 404 Park, commented that to single out one parcel is not appropriate.
- Benjamin Gill, 525 Park, expressed opposition to the rezoning of this parcel.
- Bill Finnicum, 404 Bates, commented that the rezoning will only benefit the property owner and will harm the adjacent property owner.

- Chuck DiMaggio, with Burton Katzman Development, explained the history of the property and noted that the Planning Board has spent thirty months studying 404 Park and the other transitional properties.
- Brad Host, 416 Park, stated that the residents are not interested in being rezoned.
- Kathryn Gaines, 343 Ferndale, agreed that Oakland is the buffer. She questioned what four units on that corner bring to the neighborhood that two could not.
- Bev McCotter, 287 Oakland, stated that she does not want the development of this lot into four units.
- Jim Mirro, 737 Arlington, stated that Oakland is the buffer and stated that the parcel should not be rezoned as proposed.
- Ann Stallkamp, 333 Ferndale, stated that she is against the TZ1 rezoning on Park and stated that 404 Park should be taken off the list.
- David Bloom questioned the number of units which would be allowed on the Bowers property.
- Reed Benet, 271 Euclid, commented that it is illogical that this has gone on for three years.
- Chuck DiMaggio, with Burton Katzman Development, noted that they want to do something that benefits the community and provide the proper transition and lead in to the downtown and is compatibility with the neighborhood.
- Tom Ryan, representing the Host's who are the property owners just north of 404 Park, commented that this is not a transition zone and there are ways to put more than one unit on the parcel.

The Mayor closed the Public Hearing at 9:21 PM.

MOTION: Motion by Rinschler, seconded by Dilgard:

To adopt the ordinances amending Chapter 126, Zoning, of the Code of the City of Birmingham as suggested with the following modifications: to modify TZ1 with the changes presented plus the elimination of all non-residential uses; to modify TZ2 that all commercial uses require a SLUP, and TZ3 would remain as proposed: (TZ2 RESCINDED)

- TO ADD ARTICLE 02 DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES, SECTION 2.41, TZ1 (TRANSITION ZONE) DISTRICT TO CREATE A DISTRICT INTENT AND LIST PERMITTED AND SPECIAL USES IN THIS ZONE DISTRICT;
- TO ADD ARTICLE 02 DEVELOPMENT STANDARDS, SECTION 2.42, TZ1 (TRANSITION ZONE) DISTRICT TO CREATE DEVELOPMENT STANDARDS IN THIS ZONE DISTRICT;
- TO ADD ARTICLE 02 DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES, SECTION 2.43, TZ2 (TRANSITION ZONE) DISTRICT TO CREATE A DISTRICT INTENT AND LIST PERMITTED AND SPECIAL USES IN THIS ZONE DISTRICT;
- TO ADD ARTICLE 02 DEVELOPMENT STANDARDS, SECTION 2.44, TZ2 (TRANSITION ZONE) DISTRICT TO CREATE DEVELOPMENT STANDARDS IN THIS ZONE DISTRICT;
- TO ADD ARTICLE 02 DISTRICT INTENT, PERMITTED USES, AND SPECIAL USES, SECTION 2.45, TZ3 (TRANSITION ZONE) DISTRICT TO CREATE A DISTRICT INTENT AND LIST PERMITTED AND SPECIAL USES IN THIS ZONE DISTRICT;

- TO ADD ARTICLE 02 DEVELOPMENT STANDARDS, SECTION 2.46, TZ3 (TRANSITION ZONE) DISTRICT TO CREATE DEVELOPMENT STANDARDS IN THIS ZONE DISTRICT;
- TO ADD ARTICLE 4, SECTION 4.53, PARKING STANDARDS, PK-09, TO CREATE PARKING STANDARDS FOR TZ1, TZ2 AND TZ3 ZONE DISTRICTS;
- TO ADD ARTICLE 4, SECTION 4.58, SCREENING STANDARDS, SC-06, TO CREATE SCREENING STANDARDS FOR TZ1, TZ2 AND TZ3 ZONE DISTRICTS;
- TO ADD ARTICLE 4, SECTION 4.62, SETBACK STANDARDS, SB-05, TO CREATE SETBACK STANDARDS FOR TZ1 ZONE DISTRICTS;
- TO ADD ARTICLE 4, SECTION 4.63, SETBACK STANDARDS, SB-06, TO CREATE SETBACK STANDARDS FOR TZ2 AND TZ3 ZONE DISTRICTS;
- TO ADD ARTICLE 4, SECTION 4.69, STREETScape STANDARDS, ST-01, TO CREATE STREETScape STANDARDS FOR TZ1, TZ2 AND TZ3 ZONE DISTRICTS;
- TO ADD ARTICLE 4, SECTION 4.77, STRUCTURE STANDARDS, SS – 09, TO CREATE STRUCTURE STANDARDS FOR THE TZ1 ZONE DISTRICT;
- TO ADD ARTICLE 4, SECTION 4.78, STRUCTURE STANDARDS, SS – 10, TO CREATE STRUCTURE STANDARDS FOR TZ2 AND TZ3 ZONE DISTRICTS;
- TO ADD ARTICLE 5, SECTION 5.14, TRANSITION ZONE 1, TO CREATE USE SPECIFIC STANDARDS FOR THE TZ1 ZONE DISTRICT;
- TO ADD ARTICLE 5, SECTION 5.15, TRANSITION ZONES 2 AND 3, TO CREATE USE SPECIFIC STANDARDS FOR THE TZ2 AND TZ3 ZONE DISTRICTS;

Commissioner Moore commented that an important part of this package is the building standards for the transitional areas where commercial abuts residential. Requiring SLUP's in the TZ2 district will be more cumbersome for the small proprietor. There may be some unintended consequences.

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Rinschler, seconded by Dilgard:
To amend Chapter 126, Zoning, of the Code of the City of Birmingham, Article 4, all Sections noted below, to apply to each Section to the newly created TZ1, TZ2, and/or TZ3 Zone Districts as indicated: (TZ2 RESCINDED)

Ordinance Section Name	Section Number	Applicable Zone to be Added
Accessory Structures Standards (AS)	4.02 4.03 4.04	TZ1, TZ2, TZ3 TZ1 TZ1, TZ2, TZ3
Essential Services Standards (ES)	4.09	TZ1, TZ2, TZ3
Fence Standards (FN)	4.10 4.11	TZ1, TZ2, TZ3 TZ1
Floodplain Standards (FP)	4.13	TZ1, TZ2, TZ3
Height Standards (HT)	4.16 4.18	TZ1, TZ2, TZ3 TZ1, TZ2, TZ3
Landscaping Standards (LA)	4.20	TZ1, TZ2, TZ3
Lighting Standards (LT)	4.21 4.22	TZ1, TZ2, TZ3 TZ1, TZ2, TZ3
Loading Standards (LD)	4.24	TZ1, TZ2, TZ3
Open Space Standards (OS)	4.30	TZ1, TZ2, TZ3
Outdoor Dining Standards (OD)	4.44	TZ2, TZ3

Parking Standards (PK)	4.45 4.46 4.47	TZ1, TZ2, TZ3 TZ1, TZ2, TZ3 TZ1, TZ2, TZ3
Screening Standards (SC)	4.53	TZ1, TZ2, TZ3
Setback Standards (SB)	4.58	TZ1, TZ2, TZ3
Structure Standards (SS)	4.69	TZ1, TZ2, TZ3
Temporary Use Standards (TU)	4.77	TZ1, TZ2, TZ3
Utility Standards (UT)	4.81	TZ2, TZ3
Vision Clearance Standards (VC)	4.82	TZ1, TZ2, TZ3
Window Standards (WN)	4.83	TZ2, TZ3

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Hoff, seconded by Nickita:
To amend Article 9, Definitions, Section 9.02 to add definitions for boutique, parking, social club, tobacconist, indoor recreation facility, and specialty food store.

VOTE: Yeas, 7
Nays, None Absent, None

In response to a question from Commissioner Nickita, City Manager Valentine explained that there was a question on the current use of the property at 412 & 420 East Frank zoned R3.

Staff has determined that the property appears to be in violation of the zoning ordinance with regard to the current use. It is currently under investigation as the current zoning is residential and the current use appears to be commercial. He noted that it is an enforcement issue.

City Attorney Currier stated that the Commission action on the rezoning is independent of the violation. He stated that staff has not had access to the property as of yet.

Commissioner Nickita stated that the current use may have an effect on how the Commission views the property. Commissioner Rinschler responded that the current use has no bearing on the future zoning.

MOTION: Motion by Hoff, seconded by McDaniel:

To approve the rezoning of 412 & 420 E. Frank, Parcel # 1936253003, Birmingham MI. from B1-Neighborhood Business, B2B-General Business, R3-Single-Family Residential to TZ2 – Mixed Use to allow commercial and Residential uses which are compatible with adjacent Single-Family Residential uses.

Mr. Baka explained for Patty Shayne that the property would be commercial or residential zone.

Erik Morganroth, 631 Ann, questioned why R3 would not be zoned TZ1 as it is a corner buffer lot.

Eric Wolfe, 393 Frank, stated that rezoning is not necessary on these parcels.

Nirav Doshi, 659 Ann, stated that the R3 should not be converted to TZ2. It should stay residential.

The Commission discussed the possibility of removing R3 out of the motion. Mayor Pro Tem Hoff suggested amending the motion to remove R3. There was no second.

Commissioner McDaniel suggested referring this back to the Planning Board to consider what has been proposed. Mr. Baka noted that the property owner requested to be in the study so they could consolidate the parcels under a single zone. Commissioner Nickita concurred that this should be reconsidered at the Planning Board level.

Mayor Pro Tem Hoff withdrew the motion. MOTION WITHDRAWN

MOTION: Motion by Nickita, seconded by Rinschler:

To send this item back to the Planning Board with direction based on the conversation tonight.

VOTE: Yeas, 7

Nays, None Absent, None

MOTION: Motion by McDaniel, seconded by Nickita:

To approve the rezoning of 151 N. Eton, Birmingham MI from B-1 Neighborhood Business to TZ2 - Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses. (RESCINDED)

Dorothy Conrad stated that the Pembroke neighborhood does not object.

David Kolar stated that he was in favor of TZ2, until the SLUP requirement was added tonight which he objects. He stated that an identified number of basic uses is needed as these are small units.

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Hoff, seconded by McDaniel:
To approve the rezoning of 2483 W. Maple Rd. Birmingham MI. from B1- Neighborhood Business to TZ2 - Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses. (RESCINDED)

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Dilgard, seconded by McDaniel:
To approve the rezoning of 1712, 1728, 1732, 1740, 1744, 1794 & 1821 W. Maple Rd. Birmingham, MI. from B1-Neighborhood Business, P-Parking, O1-Office to TZ2 - Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses. (RESCINDED)

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Nickita, seconded by Dilgard:
To approve the rezoning of 880 W. Fourteen Mile Rd., 1875, 1890 & 1950 Southfield Rd. Birmingham, MI. from B1-Neighborhood Business and O1-Office to TZ2 - Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses. (RESCINDED)

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Nickita, seconded by Hoff:
To approve the rezoning of 100, 124, 130 & 152, W. Fourteen Mile Rd. & 101 E. Fourteen Mile Rd., Birmingham, MI. from B1-Neighborhood Business, P-Parking, and R5-Multi-Family Residential to TZ2 - Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses. (RESCINDED)

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by McDaniel, seconded by Moore:

To approve the rezoning of 1775, 1803, 1915, 1971, 1999, 2055, 2075 & 2151 Fourteen Mile Rd., Parcel # 2031455006, Birmingham, MI. from O1-Office to TZ2-Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses. (NO VOTE TAKEN)

Commissioner Moore stated that he will oppose this item. He stated that he approves the concept, but thinks the timing is wrong due to future changes to Woodward Avenue.

Dorothy Conrad noted that the current uses along 14 Mile Road are offices. There is no benefit to the neighborhood by changing the zoning to allow commercial uses with a SLUP.

David Kolar stated his objection and noted that the property owners should be notified that every use now requires a SLUP. It is a big change for a property owner.

City Attorney Currier stated the addition of the SLUP requirement is an additional restriction which was not part of the original notice to the property owners. He noted that this could be an issue for those not aware that the SLUP requirement was added tonight. In response to a question from the Commission, Mr. Currier confirmed that renotification to the property owners would be needed and the ordinance to add the SLUP restriction would have to go back to the Planning Board.

MOTION: Motion by Nickita, seconded by Hoff:

To rescind the motions regarding TZ2 for review of the Planning Board.

VOTE: Yeas, 7
Nays, None Absent, None

Mr. Valentine explained that TZ2 will be sent back to the Planning Board to hold a public hearing to incorporate the proposed language to include the SLUP restriction for commercial uses, and then back to the City Commission.

MOTION: Motion by Hoff, seconded by McDaniel:

To rescind the adoption of the TZ2 ordinance and all housekeeping pertaining to TZ2, but not TZ1 or TZ3, and refer TZ2 to the Planning Board per the discussion and to have the Planning Board take into consideration the discussion from the City Commission and from the public to arrive at a conclusion.

Commissioner Dilgard stated that he does not agree with the direction that everything has to be a SLUP. If it is sent back to the Planning Board, he suggested a SLUP be required for properties 1500 square feet or greater rather than just a blanket SLUP regardless the size of the property.

Commissioner McDaniel agreed and expressed concern that a 1500 square foot store would have to pay high fees for the approvals.

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Hoff, seconded by Nickita:
To approve the rezoning of 36801, 36823 & 36877 Woodward, Parcel #'s 1925101001, 1925101006, 1925101007, 1925101008, 1925101009, Birmingham MI from O1- Office & P-Parking to TZ3 - Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses.

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Nickita, seconded by McDaniel:
To approve the rezoning of 1221 Bowers & 1225 Bowers Birmingham, MI from O1- Office/ P -

Parking to TZ1 - Attached Single-Family to allow Attached Single-Family, Multi-Family Residential uses which are compatible with adjacent Single-Family Residential uses.

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Dilgard, seconded by Hoff:
To approve the rezoning of 400 W. Maple Birmingham, MI from O1 Office to TZ3 Mixed Use to allow Commercial and Residential uses which are compatible with adjacent Single-Family Residential uses.

VOTE: Yeas, 7
Nays, None Absent, None

MOTION: Motion by Nickita, seconded by Dilgard:
To approve the rezoning of 191 N. Chester Rd. Birmingham, MI. from R-2 Single-Family Residential to TZ1 - Attached Single-Family to allow Attached Single-Family and Multi-Family Residential uses which are compatible with adjacent Single-Family Residential uses.

VOTE: Yeas, 7
Nays, None Absent, None

Mr. Currier noted that a protest petition was received on 404 Park which requires a $\frac{3}{4}$ vote of the elected Commission. Mayor Sherman noted that six votes are needed and Commissioner Nickita has recused himself from this item.

MOTION: Motion by Dilgard, seconded by Moore:
To approve the rezoning of Parcel # 1925451021, Known as 404 Park Street, Birmingham, MI. from R-2 Single-Family Residential to TZ1 - Attached Single-Family to allow attached Single-Family and Multi-Family Residential which are compatible with adjacent Single-Family Residential uses.

Commissioner Rinschler stated that if a buffer zone is being created, it should include properties further down Oakland. He stated that he considers rental properties as commercial development.

Mayor Pro Tem Hoff stated that she will not support the motion. She noted that the plans look good, however she has heard from residents who are very unhappy about this.

Mayor Sherman noted that he will not support the motion. If a buffer zone is going to be created, it should be the entire side of the street. He noted that Oakland is an entranceway into the City. Eventually, there may be that transition, but now is not the time.

VOTE: Yeas, 3 (Dilgard, McDaniel, Moore) Nays, 3 (Hoff, Rinschler, Sherman)
Absent, None Recusal, 1 (Nickita)

Commissioner Rinschler and Commissioner Dilgard agreed that this should be referred back to the Planning Board based on the discussion.

Planning Board Minutes
March 9, 2016

4. Transitional Zoning (TZ-2)

Chairman Clein noted the purpose of this study session is to re-acquaint the board with the process thus far so they can determine what the next steps might be.

Ms. Ecker recalled that on September 21, 2015, the City Commission held a continued public hearing on the transitional zoning proposals recommended by the Planning Board. After much discussion and public input, the City Commission referred the portion of the ordinance related to TZ-2 back to the Planning Board for further study, along with those properties that had been recommended for rezoning to the new TZ-2 Zone District. The City Commission asked the Planning Board to consider the comments made by the City Commission and members of the public with regard to the proposed TZ-2 properties. In addition, several commissioners requested that the Planning Board consider whether to make some, or all, of the commercial uses in the proposed TZ-2 District Special Land Use Permits ("SLUPs").

Consensus was that the board will only look at the ordinance language for TZ-2 along with the TZ-2 parcels unless the City Commission says otherwise. Ms. Whipple-Boyce said it would be helpful to have the commercial uses that were approved for TZ-1 and TZ-3 when the board is looking at the uses of TZ-2. Mr. Williams agreed the charts would be very helpful. Also he would like to see a Google map of the TZ-2 properties to understand their context from all sides.

Planning Board Minutes
April 13, 2016

STUDY SESSION

Transitional Zoning TZ-2

Ms. Ecker recalled that on March 9, 2016, the Planning Board discussed the history of the transitional zoning study and the direction from the City Commission for the Planning Board to further study the portion of the ordinance related to TZ-2, as well as those properties that had been recommended for rezoning to the new TZ-2 Zone District. The consensus of the Planning Board was to limit continued study to the ordinance language for TZ-2 along with the TZ-2 parcels unless the City Commission says otherwise. Board members requested staff to present charts comparing the proposed uses in TZ-1, TZ-2 and TZ-3 at the next meeting, and to prepare aerial maps for each of the proposed TZ-2 properties to assist the board in understanding the neighborhood context in each case. Charts, maps and aerial photos were included in this month's materials for review by the board.

Ms. Ecker noted that the only difference between TZ-2 and TZ-3 is that TZ-3 allows a veterinarian office and a 1,000 sq. ft. larger commercial space without needing a Special Land Use Permit ("SLUP").

Mr. Williams recalled there were a number of former Commissioners who felt that all of TZ-2 should have SLUPs for permitted uses. He has no idea what the new City Commission wants to do with TZ-2. Personally, he is opposed to a SLUP for everything. He thought the SLUP should only come into play if the uses go beyond what was originally permitted in the underlying zoning. What is developed in TZ-2 is not a significant expansion, but it is a consolidation. All of the properties coming from the categories where it is not a significant expansion would stay as TZ-2. Create a TZ-4, basically three or four properties along Fourteen Mile Rd., and give them SLUPs. In his view a few properties caused TZ-2 to be derailed by the former City Commission. Now the only unknown is what this City Commission wants. He doesn't think the Planning board was that far off in its original presentation to them.

Chairman Clein wondered if TZ-2 should be a bit more restrictive with fewer permitted uses so there is more of a separation between TZ-2 and TZ-3.

Mr. Boyle thought TZ-2 should be simplified so there is the intent of having a modest amount of mixed uses with some commercial activity, and there are not lots of regulations which is what a SLUP is. Discussion concerned making health club a SLUP use because of the need for parking, and its effect on the neighborhood. Mr. Williams suggested making anything a SLUP that impinges on the neighborhood in terms of its demands. Leave many of the uses the way they are because they are not that controversial.

Ms. Whipple-Boyce felt differently. She wanted to take some of the SLUP uses and put them into permitted uses because she thinks the whole idea is to activate the buildings and get small

business owners into the spaces. She feels the board went wrong by taking some of the permitted uses away, and they have become too restrictive with what is being proposed for TZ-2. Mr. Jeffares thought that once you restrict the uses you will end up with empty stores.

Mr. Williams recalled that back in history the board took out some of the most objectionable uses. Their mistake was that they didn't report on that to the City Commission as part of this package. Now when they go forward to the Commission they have to go back and tell the whole story because the Commission needs to understand the original charge years ago and what has happened since. Mr. Boyle added that in the joint session it behooves this board to be very clear about what it wants and not apologize.

Ms. Whipple-Boyce thought there could be a way to clean up the uses so there is a better distinction between TZ-2 and TZ-3. Mr. Boyle said that understanding the long history is important along with presenting it in a logical simplified way to the Commission.

The group's consensus was to remove from TZ-2 drycleaner, grocery store, delicatessen, parking structure; make health club a SLUP; move coffee shop and bakery up from uses requiring a SLUP to permitted uses. All TZ-2 requirements kick in upon a change in use. A 3,000 sq. ft. limitation applies to permitted uses. Larger permitted uses require a SLUP.

It was agreed to look at the revised list of uses and start talking about them at the next study session.

**Planning Board Minutes
May 11, 2016**

3. Transitional Zoning (TZ-2)

Mr. Williams stated the Planning Board does not know what this new City Commission wants. Therefore, the board should see if it can agree on what the standards should be for TZ-2. Either let individual property owners come before this board to apply for rezoning to the district, or at the June joint meeting with the City Commission ask the Commission how they want to handle the various properties that were included within the previous recommendation for TZ-2. What was sent back was primarily what the uses and standards were. He thought the TZ-2 uses are more permissive now than the TZ-3 and it should be reversed. Therefore TZ-2 in relationship to TZ-3 uses should be tonight's focus. If this becomes too difficult in terms of Special Land Use Permits ("SLUPS") the buildings will either remain vacant or they won't change in accordance with what the board wants to achieve. He thinks there should be fewer SLUP requirements in TZ-3. Mr. Share raised the point that there isn't enough difference between TZ-2 and TZ-3 to spend any time saying they are different.

The board went over the uses for TZ-2 and TZ-3 to see which ones make sense and which ones can be changed to not requiring a SLUP. Consensus was as follows:

TZ-2 Commercial Permitted Uses	TZ-3 Commercial Permitted Uses
Art gallery Artisan use Bakery Bank or credit union (no drive-through) Bookstore Boutique Coffee Shop Delicatessen Drugstore (limited by size restriction) Drycleaner pickup Gift shop/flower shop Hardware (limited by of size restriction) Jewelry store Office (limited by size restriction) Specialty food shop Tailor	Art gallery Artisan use Bank or credit union (no drive-through) Bakery Barber/beauty salon Bookstore Boutique Coffee shop Delicatessen Drugstore (limited by size restriction) Drycleaner pickup Gift shop/flower shop Hardware (limited by size restriction) Health club/studio Jewelry store Convenience store Office (limited by size restriction) Specialty food shop Tailor
TZ-2 Uses Requiring a SLUP	TZ-3 Uses Requiring a SLUP
Any permitted commercial use with interior floor area over 3,000 sq. ft. per tenant	Any permitted commercial use with interior floor area over 4,000 sq. ft. per tenant

Assisted living Bank or credit union (w/drive-through) Barber/beauty salon Church and religious institution Essential services Church and religious institution Government office/use Health club/studio Independent senior living	Assisted living Bank or credit union (w/drive-through) Church and religious institution Drycleaner with a plant Essential services Food and drink establishment Government office/use Grocery store Hospice facility Independent senior living Parking structure School – private and public Skilled nursing facility Veterinary clinic
--	--

Board members were in agreement with talking to the City Commission at the June 20 joint meeting about tweaking TZ-3 somewhat. Present the chart along with definitions. The Planning Board has been responsive to the neighbors throughout the study, so Ms. Ecker agreed to go back and figure out what uses the board has outlawed starting from the beginning of the O-1 and O-2 study.

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Walkable Cities Benefiting Aging Communities



There are numerous benefits of cities that are friendlier to citizens not using private vehicles as a means of transportation. Links have been made between more 'walkable' cities or neighborhoods and decreased poverty, chronic health issues, crime, and food deserts. One aspect that is rarely discussed, however, is the benefit walkable cities have for our aging population.

Perhaps the greatest fear for the majority of aging baby boomers is the loss of independence or of becoming a burden to those responsible for their care. Within most traditional cities, the loss of a driver's license is the start of all those fears becoming a reality. Suddenly, you are dependent upon a family member to take you to appointments or grocery shopping. It becomes difficult to even travel to visit people without assistance.

Many of these fears may appear to be isolated incidences, but as our largest generation begins to reach retirement age, they are becoming more pronounced. Advancements in medical technology have also [enabled baby boomers to live longer](#), meaning that without some changes, more of them are going to be in need of regular assistance in completing day to day tasks.

Walkable Cities Comforting

Walkable cities offer some level of comfort to baby boomers fearing a loss of independence because they are designed in such a way that allows even those without a personal vehicle to travel efficiently. They are typically [neighborhoods of mixed](#)

[development](#), various shops and grocers are mixed in with doctors' offices and family residences. Because of limited parking, these areas naturally lend themselves to taking a stroll.



Having the ability to go walk around to meet our necessary needs may not seem like much, but as we age it can become a lifeline to an independent life. Walking also offers far more opportunities to become connected with the community, which can ultimately reduce loneliness often experienced by the elderly. Seniors that are able to get out of the house and connect are less likely to fall into depression, which can exasperate any number of chronic health issues they may be experiencing.

The community feel brought about by walkable cities is beginning to become more of a national discussion. [Rutgers University](#) professor, Emily Greenfield recently wrote an article calling for greater political power to be focused upon age friendly

community initiatives. [According to the article](#), these initiatives:

- Are developed in specific geographical areas, which typically are small in size, such as a municipality, neighborhood, or even a cluster of large apartment buildings
- Share an emphasis on enhancing older adults' health and well-being, as well as their ability to age in place and connection to their community

Growing Old in a Mixed Neighborhood

Both points emphasize the added benefits of growing old in a mixed neighborhood where developing a community connection becomes significantly easier. A number of non-profit organizations and federal initiatives are beginning to make some headway, but it is a slow process.

Ultimately, for senior citizens the benefits of small walkable communities are not just limited to a greater degree of freedom and community engagement. Regardless, they are truly compelling reasons in and of themselves to push for greater initiatives geared towards the development of more cities without the necessity of a private vehicle. Loss of freedom and fears of becoming a burden do not have to be the basis of growing old.



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Cutting the Cost of Parking Requirements

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SHARELINES

Parking reforms may be the easiest way to achieve a more just society.

A city can be friendly to people or it can be friendly to cars, but it can't be both.

Enrique Peñalosa

At the dawn of the automobile age, suppose Henry Ford and John D. Rockefeller had hired you to devise policies to increase the demand for cars and gasoline. What planning regulations would make a car the obvious choice for most travel? First, segregate land uses (housing here, jobs there, shopping somewhere else) to increase travel demand. Second, limit density at every site to spread the city, further increasing travel demand. Third, require ample off-street parking everywhere, making cars the default way to travel.

American cities have unwisely embraced each of these car-friendly policies, luring people into cars for 87 percent of their daily trips. Zoning ordinances that segregate land uses, limit density, and require lots of parking create drivable cities but prevent walkable neighborhoods. Urban historians often say that cars have changed cities, but planning policies have also changed cities to favor cars over other forms of transportation.

Minimum parking requirements create especially severe problems. In *The High Cost of Free Parking*, I argued that parking requirements subsidize cars, increase traffic congestion and carbon emissions, pollute the air and water, encourage sprawl, raise housing costs, degrade urban design, reduce walkability, damage the economy, and exclude poor people. To my knowledge, no city planner has argued that parking requirements do not have these harmful effects. Instead, a flood of recent research has shown they do have these effects. We are poisoning our cities with too much parking.

Minimum parking requirements are almost an established

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religion in the planning profession. One shouldn't criticize anyone else's religion but, when it comes to parking requirements, I'm a protestant and I think the profession needs a reformation.

The High Cost of Minimum Parking Requirements

Planners are placed in a difficult position when asked to set parking requirements in zoning ordinances because they don't know the demand for parking at every art gallery, bowling alley, dance hall, fitness club, hardware store, movie theater, night club, pet store, tavern, zoo, and hundreds of other land uses. Planners also do not know how much parking spaces cost or how the parking requirements affect everything else in the city. Nevertheless, planners must set the parking requirements for every land use and have adopted a veneer of professional language to justify the practice. Planning for parking is an ad-hoc talent learned on the job and is more a political activity than a professional skill. Despite a lack of both theory and data, planners have managed to set parking requirements for hundreds of land uses in thousands of cities—the ten thousand commandments for off-street parking.

Without knowing how much the required parking spaces cost to build, planners cannot know how much parking requirements increase the cost of housing. Small, spartan apartments cost much less to build than large, luxury apartments, but their parking spaces cost the same. Many cities require the same number of spaces for all apartments regardless of their size; the cost of the required parking thus greatly increases the price of low-income housing.

Parking requirements reduce the cost of owning a car but raise the cost of everything else. Recently, I estimated that the parking spaces required for shopping centers in Los Angeles increase the cost of building a shopping center by 67 percent if the parking is in an aboveground structure and by 93 percent if the parking is underground.

Developers would provide some parking even if cities did not require it, but parking requirements would be superfluous if they did not increase the parking supply. This increased cost is then passed on to all shoppers. For example, parking

requirements raise the price of food at a grocery store for everyone, regardless of how they travel. People who are too poor to own a car pay more for their groceries to ensure that richer people can park free when they drive to the store.

A single parking space can cost far more to build than the net worth of many American households.

Minimum parking requirements resemble what engineers call a kludge: an awkward but temporarily effective solution to a problem, with lots of moving parts that are clumsy, inefficient, redundant, hard to understand, and expensive to maintain. Instead of reasoning about parking requirements, planners must rationalize them. Parking requirements result from complex political and economic forces, but city planners enable these requirements and sometimes even oppose efforts to reform them. Ultimately, the public bears the high cost of this pseudoscience.

The Median is the Message

Cities require parking for every building without considering how the required spaces place a heavy burden on poor people. A single parking space, however, can cost far more to build than the net worth of many American households.

In recent research, I estimated that the average construction cost (excluding land cost) for parking structures in 12 American cities in 2012 was \$24,000 per space for aboveground parking, and \$34,000 per space for underground parking (Table 1).

TABLE 1
The Construction Cost of a Parking Space

CITY	CONSTRUCTION COST PER SQUARE FOOT		CONSTRUCTION COST PER PARKING SPACE	
	UNDERGROUND \$/SQ FT (1)	ABOVEGROUND \$/SQ FT (2)	UNDERGROUND \$/SPACE (3) = (1) x 330	ABOVEGROUND \$/SPACE (4) = (2) x 330
Boston	\$95	\$75	\$31,000	\$25,000
Chicago	\$110	\$88	\$36,000	\$29,000
Denver	\$78	\$55	\$26,000	\$18,000
Honolulu	\$145	\$75	\$48,000	\$25,000
Las Vegas	\$105	\$68	\$35,000	\$22,000
Los Angeles	\$108	\$83	\$35,000	\$27,000
New York	\$105	\$85	\$35,000	\$28,000
Phoenix	\$80	\$53	\$26,000	\$17,000
Portland	\$105	\$78	\$35,000	\$26,000
San Francisco	\$115	\$88	\$38,000	\$29,000
Seattle	\$105	\$75	\$35,000	\$25,000
Washington, DC	\$88	\$68	\$29,000	\$22,000
Average	\$103	\$74	\$34,000	\$24,000

By comparison, in 2011 the median net worth (the value of assets minus debts) was only \$7,700 for Hispanic households and \$6,300 for Black households in the United States (Figure 1). One space in a parking structure therefore costs at least three times the net worth of more than half of all Hispanic and Black households in the country. Nevertheless, cities require several parking spaces per household by requiring them at home, work, stores, restaurants, churches, schools, and everywhere else.

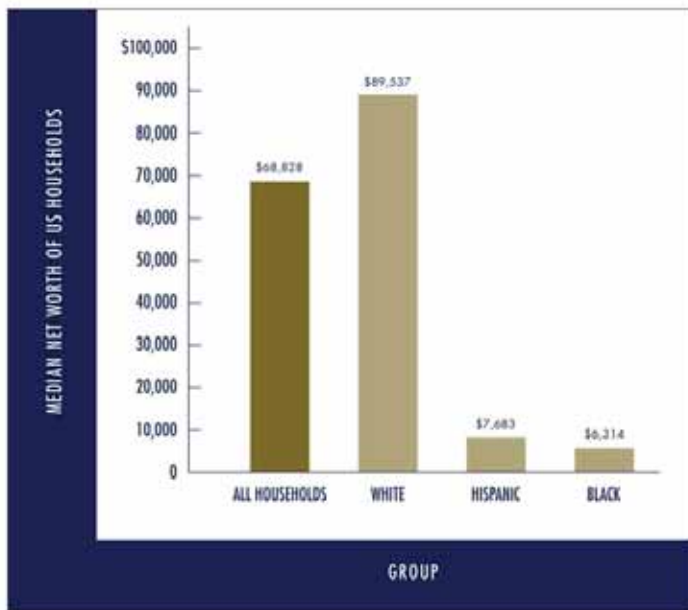


FIGURE 1
Median Net Worth of US Households, 2011

Many families have a negative net worth because their debts exceed their assets: 18 percent of all households, 29 percent of Hispanic households, and 34 percent of Black households

had zero or negative net worth in 2011 (Figure 2). The only way these indebted people can use the required parking spaces is to buy a car, which they often must finance at a high, subprime interest rate. In a misguided attempt to provide free parking for everyone, cities have created a serious economic injustice by forcing developers to build parking spaces that many people can ill afford.

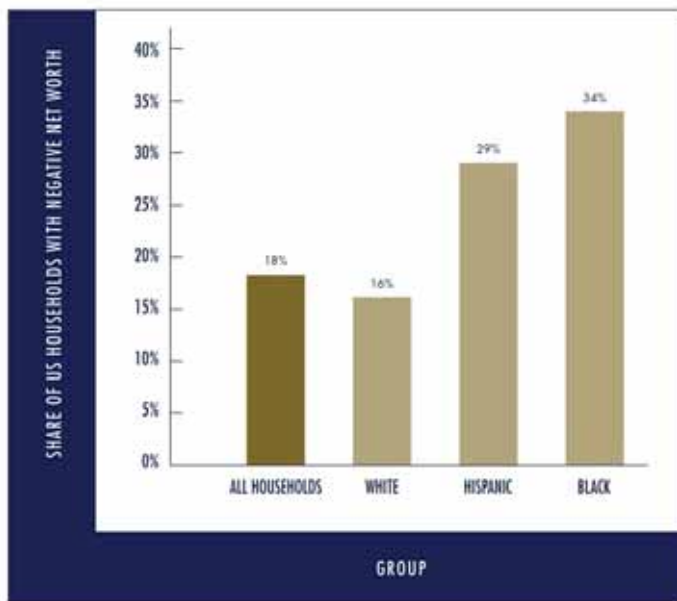


FIGURE 2
Share of US Households
with Zero or Negative
Net Worth, 2011

Urban planners cannot do much to counter the inequality of wealth in the US, but they can help to reform parking requirements that place heavy burdens on minorities and the poor. Simple parking reforms may be city planners' cheapest, fastest, and easiest way to achieve a more just society.

Putting a Cap on Parking Requirements

Off-street parking requirements increase the cost and reduce the supply of affordable housing. Most cities do not intend to exclude low-income residents when they require off-street parking, but even good intentions can produce bad results. Thoughtless planning for parking can be as harmful as a perverse and deliberate scheme.

Perhaps because of growing doubts about parking requirements, a few cities have begun to reduce or remove them, at least in their downtowns. Planners and elected officials are beginning to recognize that parking requirements increase the cost of housing, prevent infill development on

small lots where it is difficult to build all the required parking, and prohibit new uses for older buildings that lack the required parking spaces.



According to recent newspaper articles, some of the reasons cities have reduced or removed their parking requirements include “to promote the creation of downtown apartments” (Greenfield, Massachusetts), “to see more affordable housing” (Miami), “to meet the needs of smaller businesses” (Muskegon, Michigan), “to give business owners more flexibility while creating a vibrant downtown” (Sandpoint, Idaho), and “to prevent ugly, auto-oriented townhouses” (Seattle).

Given this policy momentum, I thought the time to reform parking requirements in California had arrived when the legislature considered Assembly Bill 904 (the Sustainable Minimum Parking Requirements Act of 2012). AB 904 would have set an upper limit on how much parking cities can require in transit-rich districts: no more than one space per dwelling unit or two spaces per 1,000 square feet of commercial space. The bill defined these districts as areas within a quarter mile of transit lines that run every 15 minutes or better. If passed it would have been a huge boon for both housing and transit.

There are good reasons to adopt this policy. Federal and state governments give cities billions of dollars every year to build and operate mass transit systems, yet most cities require ample parking everywhere on the assumption that nearly everyone will drive for almost every trip. Minimum parking requirements counteract all these transit investments.

For example, Los Angeles is building its Subway to the Sea

under Wilshire Boulevard, which already boasts the city's most frequent bus service. Nevertheless, along parts of Wilshire the city requires at least 2.5 parking spaces for each dwelling unit, regardless of the number of rooms. Similarly, 20 public transit lines serve the UCLA campus near Wilshire Boulevard in Westwood, with 119 buses per hour arriving during the morning peak. Nevertheless, across the street from campus, Los Angeles requires 3.5 parking spaces for every apartment that contains more than four rooms. We have expensive housing for people but we want free parking for cars.

Also on Wilshire Boulevard, Beverly Hills requires 22 parking spaces per 1,000 square feet for restaurants, which means the parking lot is seven times larger than the restaurant it serves. Public transit in this over-parked environment resembles a rowboat in the desert.

A city where everyone happily pays for everyone else's free parking is a fool's paradise.

Cities seem willing to pay any price and bear any burden to assure the survival of free parking. But do people really want free parking more than affordable housing, clean air, walkable neighborhoods, good urban design, and many other public goals? A city where everyone happily pays for everyone else's free parking is a fool's paradise.

Why Cap Parking Requirements?

Minimum parking requirements create an asphalt wasteland that blights the environment. A powerful force field of free parking encourages everyone to drive everywhere. A cap on parking requirements in transit-rich neighborhoods can reduce this parking blight by making parking-light development feasible.

How will reducing off-street parking requirements affect development? Zhan Guo and Shuai Ren at New York University studied the results when London shifted from minimum parking requirements with no maximum, to maximum parking limits with no minimum. Comparing

developments completed before and after the reform in 2004, they found that the parking supplied after the reform was only 52 percent of the previous minimum required and only 68 percent of the new maximum allowed. This result implies that the previous minimum was almost double the number of parking spaces that developers would have voluntarily provided. Guo and Ren concluded that removing the parking minimum caused 98 percent of the reduction in parking spaces, while imposing the maximum caused only 2 percent of the resulting reduction. Removing the minimum had a far greater effect than imposing a maximum.

Cities usually require or restrict parking without considering the middle ground of neither a minimum nor a maximum. This behavior recalls a Soviet maxim: "What is not required must be prohibited." AB 904, however, was something new. It would not have restricted parking but instead would have imposed a cap on minimum parking requirements, a far milder reform. A cap on how much parking cities can require will not limit the parking supply because developers can always provide more parking than the zoning requires if they think market demand justifies the cost.

There are precedents for placing limits on parking requirements. Oregon's Transportation Systems Plan requires local governments to amend their land-use and subdivision regulations to achieve a 10 percent reduction in the number of parking spaces per capita. The United Kingdom's transport policy guidelines for local planning specify that "plans should state maximum levels of parking for broad classes of development ... There should be no minimum standards for development, other than parking for disabled people."

Failure and Then Success in the Legislature

To my dismay, the California Chapter of the American Planning Association (APA) lobbied against AB 904, arguing that it "would restrict local agencies' ability to require parking in excess of statewide ratios for transit intensive areas unless the local agency makes certain findings and adopts an ordinance to opt out of the requirement."

City planners must, of course, take direction from elected officials, but the APA represents the planning profession, not cities. AB 904 gave the planning profession an opportunity to

support a reform that would coordinate parking requirements with public transportation, but instead the California APA insisted that cities should retain full control over parking requirements, despite their poor stewardship.

Like the automobile itself, parking is a good servant but a bad master.

AB 904 failed to pass in 2012 but was resurrected in a weaker form as AB 744 and was successful in 2015. AB 744 addresses the parking requirements for low-income housing within half a mile of a major transit stop. If a development is entirely composed of low-income rental housing units, California now caps the parking requirement at 0.5 spaces per dwelling unit. It also caps the parking requirement for a development that includes at least 20 percent low-income or 10 percent very low-income housing at 0.5 spaces per bedroom. Developers can of course provide more parking if they want to, but cities cannot require more parking unless they conduct a study that demonstrates a need.

Affordable housing advocates initially opposed AB 744 because it would have capped the parking requirements for all housing in transit-rich areas. Another California law (SB 1818) already reduces the parking requirements for developments that include some affordable units. Reducing the parking requirements for all housing would therefore dilute the existing incentive to include affordable units in market-rate developments. Confining AB 744's parking reduction to affordable housing was therefore necessary to gain political support from the affordable housing advocates, even though a cap on parking requirements for all housing would increase the supply and reduce the price of housing without any subsidy.

Statewide caps on parking requirements may be difficult to impose in the face of the demand for local control in all land use decisions. Nevertheless, the California experience shows that a statewide cap can be feasible if it is linked to affordable housing. This link attracted political support from affordable housing advocates who know that parking requirements are a severe burden on housing development, and that reducing the parking requirements for affordable

housing will increase its supply.

Without the support from affordable housing advocates, California's cap on parking requirements near transit would probably not have been enacted. Until more people recognize that parking requirements cause widespread damage, one way to increase political support for a cap on parking requirements is to use it as an incentive for building affordable housing. This approach, however, may then lead affordable housing advocates to oppose any general reduction in parking requirements even if it will make all housing more affordable.



An Arranged Marriage

Many believe that Americans freely chose their love affair with the car, but it was an arranged marriage. By recommending parking requirements in zoning ordinances, the planning profession was both a matchmaker and a leading member of the wedding party. But no one provided

a good prenuptial agreement. Planners should now become marriage counselors or divorce lawyers where the relationship between people and cars no longer works well.

Like the automobile itself, parking is a good servant but a bad master. Parking should be friendly—easy to find, easy to use, and easy to pay for—but cities should not require or subsidize parking. Cities will look and work much better when markets rather than planners and politicians govern decisions about the number of parking spaces. Putting a cap on parking requirements is a good place to start.

Further Readings

[California Assembly Bill 744. 2015. "AB-744 Planning and Zoning: Density Bonuses."](#)

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Letters about AB 904 from mayors, planning academics, planning practitioners, and the California Chapter of APA are available [here](#).

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Categories: [ACCESS 48](#), [Spring 2016](#) | Tags: [Parking](#), [Transportation & Land Use](#), [Transportation Policy & Planning](#)


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Woodward Avenue

COMPLETE STREETS

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.

WOODWARD AT A GLANCE...
Woodward Avenue is an iconic urban scenic byway and the spine of the Detroit metropolitan region that traverses eleven communities from Downtown Detroit to the City of Pontiac. Woodward Avenue is perhaps the most critical corridor in the region and state as 1 in 10 Michiganders live along Woodward Avenue. It also represents the "Main Street" of many corridor communities, including Detroit, Highland Park, Ferndale, and Pontiac.
The future Woodward Avenue vision paints a picture of a livable, walkable, pedestrian, and transit-friendly multi-modal corridor. Building upon the future rapid transit, it aims to create a different future for Woodward Avenue that focuses on being a safe, secure, stable, well-linked, and economically stimulated place for its communities.

COMPLETE STREETS RECOMMENDED ELEMENTS FOR WOODWARD AVENUE

Street Trees
A consistent layout of street planting will bring order to Woodward Avenue and create spaces that will improve each neighborhood's identity. The proper design of irrigation and establishment of landscape maintenance protocols will help street trees to reach maturity. Mature plantings in ordered, urban streetscapes exude a sense of calm and stability. Street trees will also provide environmental benefits and assist in calming traffic.

Pedestrian Zone
Providing ample space within the pedestrian zone will synthesize a variety of activities, including the movement of pedestrians and outdoor dining/retail operations. Enhanced pedestrian crossings with curb extensions and pedestrian refuge islands (where feasible) at mid-block locations and major intersections will improve connectivity and safety for pedestrians throughout the corridor.

On-Street Parking
Maintaining on-street parking spaces (where feasible) will increase the visibility of business along the corridor and will have a traffic calming effect on adjacent general purpose lanes.

Branding
Building on the brand established by the Woodward Avenue Action Association (WAA) will provide consistency and recognition throughout the corridor, further enhancing its sense of place. This brand can be applied to signage, wayfinding, kiosks, and many other elements.

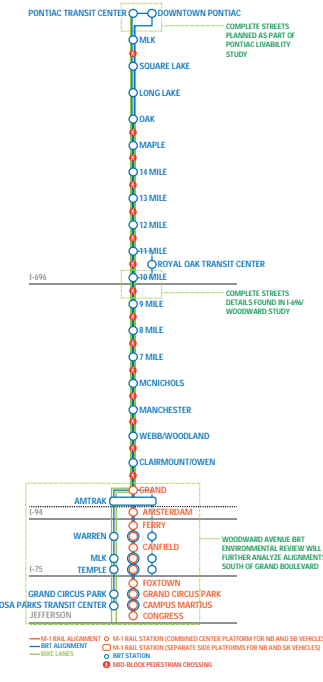
Cycle Tracks
Raised bicycle tracks will be constructed adjacent to sidewalks but will be delineated from pedestrian zones by unique paving colors or materials. Raised bicycle facilities will foster a greater sense of safety for less advanced cyclists and also reduce maintenance challenges.

Stormwater Management
Streetscape vegetation will be designed and programmed to filter stormwater from impervious surfaces. These elements improve the aesthetics of the street and will act as buffers between different modes of travel.

Mixed-Use Development
Complete streets will produce greater volumes of all types of travel, providing the foundation for intensified private development that combines uses. Ground floor retail with a high percentage of windows can help activate the street.

Furnishing
Streetscape elements, such as lighting, benches, trash receptacles, informational kiosks, bike share facilities, and many others, will have a powerful effect on the identity of the corridor if designed as a unified brand.

Rapid Transit
Two rapid transit systems, M-1 Rail (in construction) and Woodward Avenue bus rapid transit (BRT) (planned), will provide premium transit service throughout the corridor and are projected to serve over 40,000 users each day.



Woodward Avenue

COMPLETE STREETS JEFFERSON AVE. TO GRAND BOULEVARD

EXISTING CONDITIONS

The width and character of Woodward Avenue is fairly consistent within this segment of the corridor. Within Downtown Detroit (south of Park Avenue), wider sidewalks have been implemented that include the use of higher quality materials, planters, street trees, and furnishings. Vehicle travel lanes within this segment have been reduced from seven (7) to four (4). Continental crosswalk design (12" bars perpendicular to the path of travel) is used within this segment at most intersections and mid-block locations. On-street parking is provided in select locations throughout this segment.

Extending from the northern portion of Downtown Detroit (north of Park Avenue) and into Midtown and New Center, nine (9) vehicle travel lanes including a center-turn lane and narrower sidewalks make up the 110' right-of-way. Throughout most of this segment, some street trees and lighting are provided within the sidewalk. Transverse crosswalk design (12" parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations. On-street parking is provided throughout the entire segment.

SEGMENT COMMUNITY

Detroit

RECOMMENDATIONS








Between Jefferson and Grand Boulevard, vehicle travel lanes will be impacted by the construction of the M-1 Rail streetcar lines, which will primarily operate in curbside lanes until just before Grand Boulevard when the streetcar transitions to center-running operations. The existing nine (9) vehicle travel lanes will be reduced to seven (7), two (2) of which will share space with the streetcar. This reduction allows for wider sidewalks, the inclusion of on-street parking along the eastern edge of the street, and a median within the center-turn-lane.

Planned bicycle facilities on Cass Avenue (one block west of Woodward Avenue) will serve the corridor. Cass Avenue was chosen to accommodate bicycle facilities due to concerns over bicycle safety associated with the streetcar tracks and will still allow space for future bus rapid transit (BRT) along Cass Avenue.

The pedestrian zone within this segment is recommended to include sidewalks on each side of the street at least 14' in width. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12" bars perpendicular to the path of travel), and may be further accented with colored paint.

Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk and in the median), which will use a combination of soils, mulch, and plants that help filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WA3 will be incorporated within wayfinding elements and permanent/seasonal banners.

-  **RAPID TRANSIT**
Shared streetcar-vehicle lanes will provide premium transit in this segment
-  **PEDESTRIAN ZONE**
Wide sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands
-  **ON-STREET PARKING**
On-street, parallel parking accommodated on the east edge of the street
-  **FURNISHING**
Amenities consistent with Woodward corridor, including space for outdoor dining, bike share facilities, and M-1 Rail stations
-  **STREET TREES**
Mature street trees in planters and/or grates spaced 40' apart
-  **STORMWATER MANAGEMENT**
Permeable paving materials for all sidewalks and filtration planters 40' apart
-  **BRANDING**
Signage, wayfinding, colors, and materials consistent with Woodward brand

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: JEFFERSON TO GRAND
RIGHT-OF-WAY = 120'



Woodward Avenue

COMPLETE STREETS GRAND BOULEVARD TO MCNICHOLS RD.

EXISTING CONDITIONS

This segment, between Grand Boulevard and McNichols Road, represents the narrowest right-of-way along the entire Woodward Avenue corridor. The right-of-way is 100', consisting of seven (7) vehicle travel lanes including a center turn-lane and 1/4 sidewalks on both sides of the street. Throughout most of this segment, some street trees and lighting are provided within the sidewalk. On-street parking is not specifically delineated in this segment, but the outside lane is generally used for this purpose. Transverse crosswalk design (12' parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations.

SEGMENT COMMUNITIES

Detroit and Highland Park

RECOMMENDATIONS

Between Grand Boulevard and McNichols Road, the existing seven (7) vehicle travel lanes will be reduced to four (4). This reduction allows for dedicated transit lanes physically separated from vehicle travel lanes and two-way raised cycle tracks on each side of the street.

The two-way raised cycle tracks will be 12' in total width and will be accommodated within space from the existing sidewalk. The cycle tracks will include two (2) bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol and arrow markings (MTCOD Figure 9C-3). A 1' buffer and curb will separate cycle tracks from vehicular traffic. The cycle tracks will begin north of Grand Boulevard and be linked directly to planned bicycle facilities on Cass Avenue.

The remaining space from the existing sidewalk will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12' bars perpendicular to the path of travel) and may be further accented with colored paint.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WAG will be incorporated within wayfinding elements and permanent/seasonal banners.

RAPID TRANSIT

Dedicated bus rapid transit lanes will provide premium transit in this segment

CYCLE TRACKS

Two-way raised cycle tracks (NB/SB) adjacent to sidewalk with 1' buffer and curb will separate cycle tracks from vehicular traffic

PEDESTRIAN ZONE

Reconstructed sidewalks and enhanced pedestrian crossings

FURNISHING

Amenities consistent with Woodward corridor

STORMWATER MANAGEMENT

Permeable paving materials for all sidewalks and filtration planters 40' apart

BRANDING

Signage, wayfinding, colors, and materials consistent with Woodward brand

VISION

Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION

All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: GRAND TO MCNICHOLS
RIGHT-OF-WAY = 100'



Woodward Avenue

COMPLETE STREETS MCNICHOLS ROAD TO 8 MILE ROAD

EXISTING CONDITIONS

This segment, between McNichols Road and 8 Mile Road, represents the beginning of the widest right-of-way along the Woodward Avenue corridor. The right-of-way is 200', consisting of ten (10) vehicle travel lanes, a wide median, and 14' sidewalks on both sides of the street. Throughout most of this segment, some street trees and lighting are provided within the sidewalk. On-street parking is provided in select locations throughout this segment along the east edge of the street. Transverse crosswalk design (12" parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations.

SEGMENT COMMUNITY

Detrot

RECOMMENDATIONS









Between McNichols Road and 8 Mile Road, the existing ten (10) vehicle travel lanes will be reduced to six (6). This reduction allows for this segment to be redesigned as a multiway boulevard that will include dedicated transit lanes physically separated from vehicle travel lanes, an enhanced pedestrian zone, two-way raised cycle tracks on each side of the street, and on-street parking on both sides of the street separated from traffic by an 8' landscaped median.

The two-way raised cycle tracks will be 12' in total width and will be accommodated adjacent to the sidewalk. The cycle tracks will include two 4' bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol, and arrow markings (M TCD Figure 9C-3). A 3' buffer and curb will separate the cycle tracks from on-street parking.

The remaining 10' will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12" bars perpendicular to the path of travel) and may be further accented with colored paint.

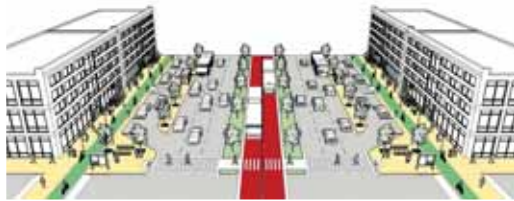
Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk and in the median), which will use a combination of soils, mulch, and plants that help filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WAC will be incorporated within wayfinding elements and permanent/seasonal banners.

-  **RAPID TRANSIT**
Dedicated bus rapid transit lanes will provide premium transit in this segment
-  **CYCLE TRACKS**
Two-way raised cycle tracks (NB SB) adjacent to sidewalk with 3' buffer from on-street parking
-  **PEDESTRIAN ZONE**
Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands
-  **FURNISHING**
Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities
-  **STREET TREES**
Mature street trees in planters and/or grates spaced 40' apart
-  **STORMWATER MANAGEMENT**
Permeable paving materials for all sidewalks and filtration planters 40' apart
-  **BRANDING**
Signage, wayfinding, colors, and materials consistent with Woodward
-  **ON-STREET PARKING**
On-street, parallel parking accommodated within multiway boulevard

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: MCNICHOLS TO 8 MILE
RIGHT-OF-WAY = 200'



Woodward Avenue

COMPLETE STREETS

8 MILE ROAD TO OAKRIDGE AVENUE

EXISTING CONDITIONS

This segment, between Mile Road and Oakridge Avenue, is the first segment within Oakland County, extending through the City of Ferndale from its southern border with Detroit and its northern border with Pleasant Ridge. The Woodward Avenue / 9 Mile intersection represents the center of Downtown Ferndale, which produces higher levels of pedestrian activity extending to downtown business in each direction. The right-of-way is 200', consisting of eight (8) vehicle travel lanes, a wide median, and sidewalks on both sides of the street, although frequent curb extensions into the parking areas (primarily at crosswalks) expand the sidewalk to 14'. Street trees and lighting are present within the sidewalk and median for the entire segment. On-street parking is provided throughout this segment along both edges of the street. Transverse crosswalk design (12" parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations, while colored paint is used to delineate crosswalks at more prominent intersections (i.e. 9 Mile, Fielding Street).

SEGMENT COMMUNITY

Ferndale

RECOMMENDATIONS








Between Mile Road and Oakridge Avenue, the existing eight (8) vehicle travel lanes will be reduced to six (6). This reduction allows for this segment to be redesigned as a multiway boulevard that will include dedicated transit lanes physically separated from vehicle travel lanes, an enhanced pedestrian zone, two-way raised cycle tracks on each side of the street, and on-street parking on both sides of the street separated from traffic by an landscaped median.

The two-way raised cycle tracks will be 10' in total width and will be accommodated adjacent to the sidewalk. The cycle tracks will include two 4' bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol, and arrow markings (M TCD Figure 9C-3). A 3' buffer and curb will separate the cycle tracks from on-street parking.

The remaining 10' will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12" bars perpendicular to the path of travel) and may be further accented with colored paint.

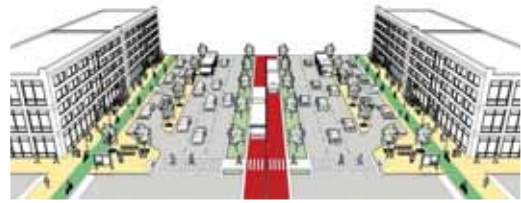
Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk and in the median), which will use a combination of soils, mulch, and plants that help filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WAO will be incorporated within wayfinding elements and permanent/seasonal banners.

-  **RAPID TRANSIT**
Dedicated bus rapid transit lanes will provide premium transit in this segment
-  **CYCLE TRACKS**
Two-way raised cycle tracks (NB SB) adjacent to sidewalk with 3' buffer from on-street parking
-  **PEDESTRIAN ZONE**
Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands
-  **FURNISHING**
Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities
-  **STREET TREES**
Mature street trees in planters and/or grates spaced 40' apart
-  **STORMWATER MANAGEMENT**
Permeable paving materials for all sidewalks and filtration planters 40' apart
-  **BRANDING**
Signage, wayfinding, colors, and materials consistent with Woodward brand
-  **ON-STREET PARKING**
On-street, parallel parking accommodated within multiway boulevard

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: MILE TO OAKRIDGE
RIGHT-OF-WAY = 200'



Woodward Avenue

COMPLETE STREETS OAKRIDGE AVE. TO WASHINGTON AVE.

EXISTING CONDITIONS

This segment, between Oakridge Avenue and the area north of - 9 represents the segment that extends through the City of Pleasant Ridge from its southern border with Ferndale to its northern border with Royal Oak. The right-of-way is 200', consisting of eight (8) vehicle travel lanes, a wide median, and sidewalks on both sides of the street. Street trees and lighting are present within the sidewalk and median for the entire segment. On-street parking is provided in select locations throughout this segment along the east edge of the street. Transverse crosswalk design (12" parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations.

This segment includes the - 9 /Woodward Avenue interchange, which presents a unique set of conditions for consideration. Please reference the - 9 interchange Study for a detailed complete streets strategy for this area.

SEGMENT COMMUNITY

Pleasant Ridge

RECOMMENDATIONS









Between Oakridge Avenue and the area north of - 9, the existing eight (8) vehicle travel lanes will be reduced to six (6). This reduction allows for this segment to be redesigned as a multiway boulevard that will include dedicated transit lanes physically separated from vehicle travel lanes, an enhanced pedestrian zone, two-way raised cycle tracks on each side of the street, and on-street parking on both sides of the street separated from traffic by an landscaped median.

The two-way raised cycle tracks will be 10' in total width and will be accommodated adjacent to the sidewalk. The cycle tracks will include two (2) bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol, and arrow markings (M TCD Figure 9C-3). A 3' buffer and curb will separate the cycle tracks from on-street parking.

The remaining 10' will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12" bars perpendicular to the path of travel), and may be further accented with colored paint.

Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk and in the median), which will use a combination of soils, mulch, and plants that help filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WA3 will be incorporated within wayfinding elements and permanent/seasonal banners.

-  **RAPID TRANSIT**
Dedicated bus rapid transit lanes will provide premium transit in this segment
-  **CYCLE TRACKS**
Two-way raised cycle tracks (NB SB) adjacent to sidewalk with 3' buffer from on-street parking
-  **PEDESTRIAN ZONE**
Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands
-  **FURNISHING**
Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities
-  **STREET TREES**
Mature street trees in planters and/or grates spaced 40' apart
-  **STORMWATER MANAGEMENT**
Permeable paving materials for all sidewalks and filtration planters 40' apart
-  **BRANDING**
Signage, wayfinding, colors, and materials consistent with Woodward brand
-  **ON-STREET PARKING**
On-street, parallel parking accommodated within multiway boulevard

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: OAKRIDGE TO I-
RIGHT-OF-WAY = 200'



Woodward Avenue

COMPLETE STREETS WASHINGTON AVENUE TO 11 MILE ROAD

EXISTING CONDITIONS

This segment, between the area north of - 9 and 11 Mile, extends through the southern portion of Royal Oak and Huntington Woods. The right-of-way is 200', consisting of eight (8) vehicle travel lanes, a wide median, and sidewalks on both sides of the street. Street trees and lighting are present within the sidewalk and median in select locations throughout this segment. The space between the sidewalk and vehicle travel lanes varies from block to block, including a variety of conditions e.g. grass lawns, slip roads with parallel parking, and slip roads with angled parking. Transverse crosswalk design (12" parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations.

SEGMENT COMMUNITIES

Huntington Woods and Royal Oak

RECOMMENDATIONS









Between the area north of - 9 and 11 Mile Road, the existing eight (8) vehicle travel lanes will be reduced to six (6). This reduction allows for this segment to be redesigned as a multiway boulevard that will include dedicated transit lanes physically separated from vehicle travel lanes, an enhanced pedestrian zone, two-way raised cycle tracks on each side of the street, and on-street parking on both sides of the street separated from traffic by an landscaped median.

The two-way raised cycle tracks will be 10' in total width and will be accommodated adjacent to the sidewalk. The cycle tracks will include two 4' bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol, and arrow markings (M TCD Figure 9C-3). A 3' buffer and curb will separate the cycle tracks from on-street parking.

The remaining 10' will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12" bars perpendicular to the path of travel) and may be further accented with colored paint.

Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk and in the median), which will use a combination of soils, mulch, and plants that help filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WAC will be incorporated within wayfinding elements and permanent/seasonal banners.

-  **RAPID TRANSIT**
Dedicated bus rapid transit lanes will provide premium transit in this segment
-  **CYCLE TRACKS**
Two-way raised cycle tracks (NB SB) adjacent to sidewalk with 3' buffer from on-street parking
-  **PEDESTRIAN ZONE**
Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands
-  **FURNISHING**
Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities
-  **STREET TREES**
Mature street trees in planters and/or grates spaced 40' apart
-  **STORMWATER MANAGEMENT**
Permeable paving materials for all sidewalks and filtration planters 40' apart
-  **BRANDING**
Signage, wayfinding, colors, and materials consistent with Woodward brand
-  **ON-STREET PARKING**
On-street, parallel parking accommodated within multiway boulevard

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: 1- TO 11 MILE
RIGHT-OF-WAY = 200'



Woodward Avenue

COMPLETE STREETS 11 MILE ROAD TO 14 MILE ROAD

EXISTING CONDITIONS

This segment, between the area north of 9 and 11 Mile, extends through the southern portion of Royal Oak and Huntington Woods. The right-of-way is 200', consisting of eight (8) vehicle travel lanes, a wide median, and sidewalks on both sides of the street. Street trees and lighting are present within the sidewalk and median in select locations throughout this segment. The space between the sidewalk and vehicle travel lanes varies from block to block, including a variety of conditions e.g. grass lawns, slip roads with parallel parking, and slip roads with angled parking. Transverse crosswalk design (12" parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations.

SEGMENT COMMUNITIES

Berkeley and Royal Oak

RECOMMENDATIONS









Between 11 Mile Road and 14 Mile Road, the existing eight (8) vehicle travel lanes will be reduced to six (6). This reduction allows for this segment to be redesigned as a multiway boulevard that will include dedicated transit lanes physically separated from vehicle travel lanes, an enhanced pedestrian zone, two-way raised cycle tracks on each side of the street, and on-street parking on both sides of the street separated from traffic by an landscaped median.

The two-way raised cycle tracks will be 10' in total width and will be accommodated adjacent to the sidewalk. The cycle tracks will include two (2) bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol, and arrow markings (M TCD Figure 9C-3). A 3' buffer and curb will separate the cycle tracks from on-street parking.

The remaining 10' will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12" bars perpendicular to the path of travel) and may be further accented with colored paint.

Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk and in the median), which will use a combination of soils, mulch, and plants that help filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WAO will be incorporated within wayfinding elements and permanent/seasonal banners.

-  **RAPID TRANSIT**
Dedicated bus rapid transit lanes will provide premium transit in this segment
-  **CYCLE TRACKS**
Two-way raised cycle tracks (NB SB) adjacent to sidewalk with 3' buffer from on-street parking
-  **PEDESTRIAN ZONE**
Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands
-  **FURNISHING**
Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities
-  **STREET TREES**
Mature street trees in planters and/or grates spaced 40' apart
-  **STORMWATER MANAGEMENT**
Permeable paving materials for all sidewalks and filtration planters 40' apart
-  **BRANDING**
Signage, wayfinding, colors, and materials consistent with Woodward brand
-  **ON-STREET PARKING**
On-street, parallel parking accommodated within multiway boulevard

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: 11 MILE TO 14 MILE
RIGHT-OF-WAY = 200'



Woodward Avenue

COMPLETE STREETS 14 MILE ROAD TO QUARTON ROAD

EXISTING CONDITIONS

This segment, between 14 Mile Road and Quarton Road, extends through the City of Birmingham and a portion of Bloomfield Township. The right-of-way is 200', consisting of eight (8) vehicle travel lanes, a wide median, and sidewalks on both sides of the street. Street trees and lighting are present within the sidewalk and median in select locations throughout this segment. The space between the sidewalk and vehicle travel lanes varies from block to block, including a variety of conditions e.g. grass lawns, slip roads with parallel parking, and slip roads with angled parking. Transverse crosswalk design (12" parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations.

SEGMENT COMMUNITIES

Birmingham and Bloomfield Township

RECOMMENDATIONS









Between 14 Mile Road and Quarton, the existing eight (8) vehicle travel lanes will be reduced to six (6). This reduction allows for this segment to be redesigned as a multiway boulevard that will include dedicated transit lanes physically separated from vehicle travel lanes, an enhanced pedestrian zone, two-way raised cycle tracks on each side of the street, and on-street parking on both sides of the street separated from traffic by an 8' landscaped median.

The two-way raised cycle tracks will be 10' in total width and will be accommodated adjacent to the sidewalk. The cycle tracks will include two 4' bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol, and arrow markings (M TCD Figure 9C-3). A 3' buffer and curb will separate the cycle tracks from on-street parking.

The remaining 10' will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12" bars perpendicular to the path of travel) and may be further accented with colored paint.

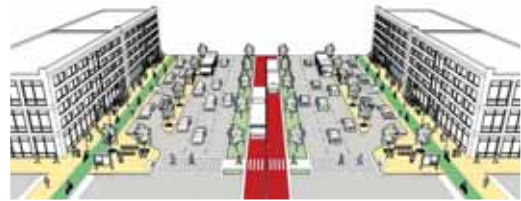
Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk and in the median), which will use a combination of soils, mulch, and plants that help filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WAG will be incorporated within wayfinding elements and permanent/seasonal banners.

-  **RAPID TRANSIT**
Dedicated bus rapid transit lanes will provide premium transit in this segment
-  **CYCLE TRACKS**
Two-way raised cycle tracks (NB SB) adjacent to sidewalk with 3' buffer from on-street parking
-  **PEDESTRIAN ZONE**
Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands
-  **FURNISHING**
Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities
-  **STREET TREES**
Mature street trees in planters and/or grates spaced 40' apart
-  **STORMWATER MANAGEMENT**
Permeable paving materials for all sidewalks and filtration planters 40' apart
-  **BRANDING**
Signage, wayfinding, colors, and materials consistent with Woodward brand
-  **ON-STREET PARKING**
On-street, parallel parking accommodated within multiway boulevard

VISION
Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION
All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: 1 MILE TO QUARTON
RIGHT-OF-WAY = 200'



Woodward Avenue

COMPLETE STREETS QUARTON ROAD TO SOUTH BOULEVARD

EXISTING CONDITIONS

This segment, between Quarton Road and South Boulevard, extends through the City of Bloomfield Hills and Bloomfield Township. The right-of-way is 200', consisting of eight (8) vehicle travel lanes and a wide median. Sidewalks are only present in select locations within Bloomfield Township, north of Hickory Grove Road. Street trees and lighting are present within the sidewalk and median in select locations throughout this segment. The space between the edge of the right-of-way and vehicle travel lanes varies from block to block, including a variety of conditions e.g. grass lawns, driveways, and surface parking access. Transverse crosswalk design (12' parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections.

SEGMENT COMMUNITIES

Bloomfield Hills, Bloomfield Township, and Pontiac

RECOMMENDATIONS

Between Quarton Road and South Boulevard, the existing eight (8) vehicle travel lanes will be maintained, although one (1) lane in each direction will be converted to a shared transit-vehicle lane adjacent to the median.

Two-way raised cycle tracks will be 12' in total width and will be accommodated within space between the existing curb and newly constructed sidewalks. The cycle tracks will include two (2) bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol and arrow markings (M.TCD Figure 9C-3). A 1' buffer and curb will separate the cycle tracks from vehicular traffic.

The sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12' bars perpendicular to the path of travel) and may be further accented with colored paint.

Vegetation within this segment will consist of mature street trees planted no more than 40' apart to provide a consistent canopy. The trees can be planted in designated tree grates or within vegetated planters (located both at the edge of the sidewalk, in the landscaped buffer, and in the median), which will use a combination of soils, mulch, and plants that help to filter stormwater.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding and lighting. Branding established by W&A will be incorporated within wayfinding elements and permanent/seasonal banners.

RAPID TRANSIT

Mixed traffic bus rapid transit lanes will provide premium transit in this segment

CYCLE TRACK

Two-way raised cycle tracks (NB/SB) adjacent to sidewalk with 1' buffer and curb will separate the cycle tracks from vehicular traffic

PEDESTRIAN ZONE

Connect to shared-use path () on both sides of the street in Bloomfield Township. Addition of sidewalks in the remaining section with enhanced pedestrian crossings and curb extensions

STREET TREES

Mature street trees in planters and/or grates spaced 40' apart

FURNISHING

Amenities consistent with Woodward corridor, including space for bike share facilities

STORMWATER MANAGEMENT

Permeable paving materials for all sidewalks and filtration planters 40' apart

BRANDING

Signage, wayfinding, colors, and materials consistent with Woodward brand

VISION

Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION

All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: QUARTON TO SOUTH
RIGHT-OF-WAY = 200'



Woodward Avenue

COMPLETE STREETS SOUTH BOULEVARD TO PONTIAC LOOP

EXISTING CONDITIONS

This segment, between South Boulevard and the Pontiac Loop, extends through the City of Pontiac from its southern border with Bloomfield Township to the southern edge of its downtown. The right-of-way is 120', consisting of six (6) vehicle travel lanes, a narrow median, and 12' sidewalks on both sides of the street. Street trees and lighting are present within the sidewalk and median in select locations throughout this segment. The space between the sidewalk primarily consists of grass lawns and driveways. Transverse crosswalk design (12' parallel lines to delineate the edge of the crosswalk) is used within this segment at most intersections and mid-block locations.

SEGMENT COMMUNITY

Pontiac

RECOMMENDATIONS

Between South Boulevard to the Pontiac Loop, the existing six (6) vehicle travel lanes will be reduced to four (4). This reduction allows for dedicated transit lanes and two-way raised cycle tracks on each side of the street.

The two-way raised cycle tracks will be 12' in total width and will be accommodated within space from the existing sidewalk. The cycle tracks will include two (2) bicycle only lanes, delineated from the sidewalk by unique paving colors or materials and bicycle lane word, symbol, and arrow markings (M TCD Figure 9C-3). A 1' buffer and curb will separate the cycle tracks from vehicular traffic.

The remaining space will accommodate the pedestrian-only zone. Sidewalks will be constructed with enhanced finishes and materials consistent with the overall design of the corridor, although unique patterns and colors can be used to identify this segment. Continental crosswalk design will be used for all crosswalks (12' bars perpendicular to the path of travel) and may be further accented with colored paint.

Furnishing within this segment will be consistent with the design of the corridor, although unique patterns and colors can be used to identify this segment. Furnishing elements may include seating, trash receptacles, bicycle parking, wayfinding, and lighting. Branding established by WAG will be incorporated within wayfinding elements and permanent/seasonal banners.

RAPID TRANSIT

Dedicated bus rapid transit lanes will provide premium transit in this segment

CYCLE TRACK

Two-way raised cycle tracks (NB SB) adjacent to sidewalk with 1' buffer and curb will separate the cycle tracks from vehicular traffic

PEDESTRIAN ZONE

Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands

FURNISHING

Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities

STREET TREES

Mature street trees in planters and/or grates spaced 40' apart

STORMWATER MANAGEMENT

Permeable paving materials for all sidewalks and filtration planters 40' apart

BRANDING

Signage, wayfinding, colors, and materials consistent with Woodward brand

VISION

Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION

All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: SOUTH TO PONTIAC LOOP
RIGHT-OF-WAY = 120'



Woodward Avenue

COMPLETE STREETS PONTIAC LOOP

EXISTING CONDITIONS

This segment includes the entire Woodward Avenue loop that encompasses Downtown Pontiac. The right-of-way is 90', consisting of four (4) to five (5) northbound travel lanes and 10' to 10' sidewalks that are set 10' to 10' back from the roadway.

The loop segregates Downtown Pontiac from surrounding communities, hindering economic growth, cutting off businesses from surrounding neighborhoods, and leaving small residential pockets isolated from community context and amenities.

The right-of-way is a physical barrier to pedestrian access and activity in Downtown Pontiac, while the one-way direction of traffic promotes high speeds and in several areas makes it difficult and confusing for people to access the downtown.

SEGMENT COMMUNITY

Pontiac

RECOMMENDATIONS

The Recommended Alternative of the Downtown Pontiac Transportation Assessment is a balanced improvement that consists of:

1. Two-way conversion of the entire Woodward Loop

- Four (4) to five (5) lane cross section on the west side serving as a through route.
- Two (2) to three (3) lane cross section on the east side serving as a local street

The local street fits both the downtown and neighborhood context and functions as a local street with an on-road cycle track and some on-street parking.

2. Enhanced bicycle and pedestrian amenities

- Completion of the sidewalk network
- Two-way on-road cycle track on the east side
- Two-way shared use path on the west side
- Addition of a narrow landscaped median
- Rerouting the Clinton River Trail through downtown Pontiac using Pike Street

3. Connection of Wesson Street across Woodward Avenue

- Creation of a Gateway at the southern end of the Woodward Loop

RAPID TRANSIT

Dedicated bus rapid transit lanes will provide premium transit in this segment

CYCLE TRACK

Two-way cycle tracks (east) and a two-way shared use path (west)

PEDESTRIAN ZONE

Reconstructed sidewalks, enhanced pedestrian crossings with curb extensions, and pedestrian refuge islands

FURNISHING

Amenities consistent with Woodward corridor, including space for outdoor dining and bike share facilities

STREET TREES

Mature street trees in planters and/or grates spaced 40' apart

STORMWATER MANAGEMENT

Permeable paving materials for all sidewalks and filtration planters 40' apart

BRANDING

Signage, wayfinding, colors, and materials consistent with Woodward brand

VISION

Woodward Avenue will be a complete street that provides safe and efficient means of travel for all users; creates excellent quality of place that benefits local residents; builds value for property; and inspires visitors to return.

MISSION

All stakeholders shall work together to create a cohesive corridor plan that balances the needs and benefits of all users, neighborhoods, and communities that is significantly completed by 2025.



TYPICAL CROSS SECTION: PONTIAC LOOP
RIGHT-OF-WAY = 90'

