

It is expected that a Quorum of the Joint Review Board, Board of Public Works, Park Board, Administration Committee, Personnel Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Menasha City Center
100 Main Street, Menasha
Rooms 132 and 133**

**December 7, 2021
3:30 PM**

AGENDA

**PER CITY OF MENASHA COVID-19 GUIDELINES, ALL ATTENDEES
ARE REQUIRED TO WEAR A FACE COVERING**

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. PUBLIC HEARING

1. Special Use Permit – Automotive Sales and Service Facility in the C-1 Central Business District located at 1415 Appleton Road (Parcel 6-01651-00) – TriCity Auto
2. Special Use Permit – Mini Warehouse Expansion in the C-4 Business Park District located at 1281 Midway Road (Parcel 6-01654-00) – Midway Road II, LLC

D. MINUTES TO APPROVE

1. Minutes of November 2, 2021 Plan Commission Meeting

E. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

F. DISCUSSION / ACTION ITEMS

1. Special Use Permit and Site Plan – Automotive Sales and Service Facility in the C-1 Central Business District located at 1415 Appleton Road (Parcel 6-01651-00) – TriCity Auto
2. Special Use Permit and Site Plan – Mini Warehouse Expansion in the C-4 Business Park District located at 1281 Midway Road (Parcel 6-01654-00) – Midway Road II, LLC
3. Site Plan Amendment Review – Lakeshore Condominiums located at 3002 Community Way – Lake Park Menasha, LLC
4. Site Plan Review – Day Care Addition located at 1478 Midway Road (Parcel 6-01262-00) – UWO Fox Valley
5. Certified Survey Map – Lot Combination – 1735 Racine Road (Parcels 4-00762-02, 4-00761-05 and 4-00761-06) – Miron Construction Co. Inc.
6. Certified Survey Map – Lot Division – Seventh Street (Parcel 5-00491-00) – Habitat for Humanity
7. 2022 Meeting Calendar

G. COMMUNICATION

1. Set Next Meeting

H. ADJOURNMENT

If you have questions, please call the Community Development Department at (920) 967-3650 between 8:00 AM – 4:00 PM, Monday through Friday.

Menasha is committed to its diverse population. Our Non-English speaking population or those with disabilities are invited to contact the Community Development Department at 967-3650 at least 24-hours in advance of the meeting so special accommodations can be made.

CITY OF MENASHA
Plan Commission
Menasha City Center, Room 133 – 100 Main Street
November 2, 2021
DRAFT MINUTES

A. CALL TO ORDER

The meeting was called to order at 3:31 PM by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Alderperson Schmidt, DPW Jungwirth, Commissioners Benner and Sturm.

PLAN COMMISSION MEMBERS EXCUSED: Commissioners Cruickshank and Homan.

OTHERS PRESENT: CDD Schroeder, CDC Heim, Scott Anderson (Davel Engineering), Tony Creten (Miron Construction), Noeh Ricks (Miron Construction), Aaron Breitenfeldt (Robert E. Lee & Assoc), Cole Alsbach (Dark Horse Development), Sam Schmidt (Dark Horse Development), Kurt Geiger (Miron/Excel), Alderperson Tom Grade (District 6), Sandra Dabill Taylor (545 Broad Street).

C. PUBLIC HEARING

1. **Special Use Permit – Multifamily Use in the C-2 Central Business District located at 130 Main Street – DH 130 Main LLC**

CDD Schroeder provided an overview of the proposed special use permit.

Sandra Dabill Taylor – 545 Broad Street. Stated she is not opposed to approving the special use permit or the mixed use for this location. Her concern is that TIF funds are being utilized for the façade and the natural brick will be painted and the color of the building will be dated. The other concern is that only the façade is being reviewed at this time while other site plan items will be brought back for Plan Commission approval at a later date

With no other comments, Mayor Merkes closed the hearing at 3:37 PM.

D. MINUTES TO APPROVE

1. **Minutes of the October 19, 2021 Plan Commission Meeting**

Motion by DPW Jungwirth, seconded by Alderperson Schmidt, to approve the October 19, 2021 Plan Commission meeting minutes. The motion carried.

E. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. Sandra Dabill Taylor – 545 Broad Street. Stated that the blue panels on the project at 130 Main Street exceed the 25% allowed for EIFS material. Also commented on Comprehensive Plan recommended by the Plan Commission and approved by the Common Council as it relates to several items on the agenda and the attendance by Plan Commission members.

F. DISCUSSION / ACTION ITEMS

1. **Special Use Permit and Site Plan (Façade Only) – Multifamily Use in the C-2 Central Business District located at 130 Main Street – DH 130 Main LLC**

CDD Schroeder provided an in depth review of the overall project and special use permit application. Staff did note that the code does not allow for more than 25% EFIS. The current proposal while being an existing building with an added fourth floor was roughly 32%. Staff added a condition that floors 1-3 should have a different material. The applicant prior to the meeting noted a premanufactured paneling system would be used.

The following items were discussed:

- Staining of the existing brick vs. leaving it natural
- Replacement of windows
- Construction of the fourth floor and concerns of the weight
- Zoning Code Requirements for the C-2 district and existing buildings
- EIFS failures and allowing all EIFS on the areas called out.
- The use of one material on floors 1-3 and a second material on the fourth floor and how they may weather and possibility of changes in color overtime.
- Warranty/longevity of the stain and materials selected.

Motion by Mayor Merkes, seconded by Comm. Sturm to approve the architectural elements of the building as required per the Site Plan approval per Section 13-1-12(f) with the following conditions:

1. The existing nonconforming internally illuminated cabinet signs shall be removed from the building.
2. Finding this is a retrofit to an existing building with existing constraints with the openings, windows, brick, and structure concerns that the Plan Commission allow for a high durable EFIS material to be used on the entire building considering this a Large Building per code.

Discussion ensued regarding durability of materials, longevity, warranties, staining and precedent setting.

The motion withdrawn.

Motion by Mayor Merkes, seconded by Comm. Sturm to approve the architectural elements of the building as required per the Site Plan approval per Section 13-1-12(f) with the following conditions:

1. The existing nonconforming internally illuminated cabinet signs shall be removed from the building.
2. The EFIS material shall not exceed 25% of the overall façade less the glazing with floors 1-3 shall having a durable premanufactured panel system and floor 4 shall having EIFS

The motion carried.

Motion by Mayor Merkes, seconded by Alderperson Schmidt to approve the special use permit for 130 Main Street (Parcel #2-00061-00) finding the use is compatible with the comprehensive plan and Section 13-1-11 of the City Zoning Code, with the following conditions:

1. Prior to issuance of a certificate of occupancy, the Applicant shall submit a separate site plan application to be approved and reviewed by the City Plan Commission for the consideration of resurfacing the parking lot, adding landscaping, lighting amendments, and adding dumpster enclosures.

The motion carried.

2. **Final Plat – 1st Addition to Lake Park Heights - Menasha Real Estate LLC**

CDC Heim presented the final plat to the Plan Commission. Discussion ensued regarding the future planning of subdivisions, specifically in regards to parks abutting residential lots.

General Discussion ensued in regards to the lot out of the subdivision and the existing park lands having owner occupied properties directly abutting a park.

Motion by Mayor Merkes, second by Alderperson Schmidt to approve the 1st Addition to Lake Park Heights Final Plat as presented finding the plat conforms to the Municipal Ordinance, the City Comprehensive Plan, and surrounding development with the following conditions:

1. The following “Notes” shall be placed on the Final Plat:
 - a. Indicate sidewalk continuation on west side of Lotus Trail, north to south side of Winnipeg Street (Lots 111, 110, 109, and 108) to connect to the twenty (20) foot trail easement along the west side of Lot 108 on the final plat.
 - b. Language shall be added to the Final Plat regarding Drainage Easement Restrictions, specifically that (1) It is the owner’s responsibility to maintain

drainage ways and drainage structures, (2) The City has the right to perform maintenance if the property owners fail to do so, (3) Developer/lot owner shall comply with the approved surface drainage plan, (4) Storm Detention (if installed) and Drainage Way areas shall be constructed in accordance with the approved plan.

2. Finding the cul-du-sac was necessary due to topographical issues.
The motion carried on roll call vote 4-1, Comm. Sturm voting Nay.

3. Site Plan Review – Storage Building located at 670/680 Airport Road – LD Properties LLC

CDC Heim presented the site plan review for 670/680 Airport Road for an additional 40 unit storage building. Main concerns discussed by the commission included the proposed fourth driveway, impervious drainage, stormwater, and the comprehensive plan being an existing site.

Clarification was added that only the new building will have the brick materials on the front, however, the entire front would be landscaped.

Motion by Alderperson Schmidt, seconded by DPW Jungwirth to approve the site plan as presented for 670/680 Airport Road (parcel # 4-00798-00) with the following conditions:

- 1) Prior to the issuance of building permits, a site improvement agreement must be recorded for the proposed development.
- 2) Submit a revised lighting plan to meet 13-1-13(h) of City Ordinance to be reviewed and approved by Community Development Staff.
- 3) A cross access easement shall be obtained with property owner to the east.
- 4) Developer shall discharge a majority of the stormwater created on the site to the storm sewer within Airport Road and work with the Engineering staff and the WDNR to obtain necessary permits.
- 5) If stormwater discharge to the north is increased, the property owner shall obtain written permission from the property owner stating they are accepting of the additional imperviousness drainage towards their property, and all applicable easement documents, in any, shall also be produced that relate to stormwater conveyance through adjacent properties.

The motion carried.

4. Site Plan Amendment Review – Outdoor Storage Area located at 1737 Racine Road and 1800 Bud Drive – Miron Construction

CDD Schroeder provide an overview of the projecting noting past approvals and proposed use. It was noted that the Zoning code specifically states that traffic circulation areas and parking areas shall be hardsurfaced and does not mentioned outdoor storage yards within Industrial properties.

Motion by Alderperson Schmidt, seconded by Comm. Sturm to approve the site plan amendment as presented for 1737 Racine Road and 1800 Bud Drive (parcel #4-00762-02 and #4-00761-05) allowing the gravel storage area with the following conditions:

1. A storm water management plan is submitted by the Applicant and approved by the Public Works Department.
2. Prior to work commencing, a stormwater management agreement must be recorded for the proposed developments.
3. Storage areas, pavement and buildings shall maintain a 10' setback from all property lines.
4. Any established traffic circulation shall be hardsurfaced per Municipal Code.

The motion carried.

G. COMMUNICATION

1. Set Next Meeting Date

The next meeting date was set for Tuesday, December 7, 2021 at 3:30 PM.

H. ADJOURNMENT

Motion by Alderperson Schmidt, seconded by Comm. Benner, to adjourn at 5:02 PM. The motion carried.

Minutes respectfully submitted by CDD Schroeder.



MEMORANDUM

To: Plan Commission
From: Community Development Department/SS
Date: December 7, 2021
Re: **Special Use Permit and Site Plan Review – TriCity Auto – 1415 Appleton Road (Parcel 6-01651-00)**

TriCity Auto currently operates a vehicle sales and maintenance service facility at 1415 Appleton Road in Menasha. The applicant is proposing to build a new office and maintenance facility and revamp the entire parking lot for outdoor display of vehicles. The parcel is zoned General Commercial District (C-1). The use and dimensions of the proposed building are in conformance with the City's General Commercial District (C-1).

The City of Menasha Zoning Code within a General Commercial District (C-1), any automotive sales and maintenance facility requires a special use permit as well as a site plan review by the Plan Commission for any proposed new construction. This review includes evaluation of the site, architectural components, lighting, landscaping, and a special use permit review. The following is a breakdown of the submitted applications.

Special Use Permit

When reviewing special use permit applications, the Plan Commission shall consider the following per Section 13-1-11(b) of the City of Menasha Code of Ordinances:

1. The use shall be compatible with adjacent land uses so that existing uses will not be depreciated in value, and there will be no deterrents to development of vacant land;

The use is existing and compatible with adjacent commercial land and will not cause any depreciation of value nor deter development of adjacent land. This new development and investment will increase the value of the corridor.

2. The use shall have an appearance that will not have an adverse effect upon adjacent properties;

The proposed building's appearance will not have a negative impact on adjacent properties. The proposed building consists of a large amount of stone and block and will be a great improvement to the area.

3. The use shall be reasonably related to the overall needs of the City and to existing land use patterns;

Appleton Road is a commercial corridor. This investment into the property meets the overall needs of the community, the existing land use patterns and the comprehensive plan.

4. The use will not cause traffic hazards or congestion;

Being an existing use, the proposed development will not negatively impact traffic in the area and poses no traffic hazards.

5. The use shall have adequate utilities, access roads, drainage, and other necessary facilities.

The use will have all adequate utilities, access roads, drainage and other necessary facilities.

Site Plan Review

Site/Architectural

The applicant is proposing to construct a new 7,392 square foot building consisting of 1,632 square feet of office/showroom space and 5,760 square feet of shop space. This is a great improvement for the business in comparison to the existing 2,400 square foot building including shop space and offices.

The structure includes 5 front facing service bays with 3 of the bays being drive through.

The façade exceeds the 50% masonry requirement with roughly 62% of the building being natural stone and split face block. The remainder of the façade along the roof line is a metal wall panel.

The property has adequate parking 76 total spaces, however, four of the drive aisles are only 23 feet wide and are required to be a minimum of 24 feet wide. In reviewing the site there is space to stretch the site to the east and south to accommodate 24 foot width within these aisles.

Mechanical equipment is not noted on the site plan. Any mechanical equipment will be required to be screened per Section 13-1-12(f)(6) of the Zoning Code.

There is also a noted trash location, but no indication of any details of the actual enclosure. Per Section 13-1-12(e)(5) of the Zoning Code, these shall be screened reaching a minimum height of 6 feet and 75% opacity at the time of installation.

Landscape

Per Section 13-1-12(g), landscaping requirements are broken down into three areas: landscape adjacent to the building, perimeter landscaping and parking lot landscaping. Overall the landscape plan is good, but does fall short in a few categories. Staff is recommending the following: 1) three shrubs minimum of 1 coniferous be added to the perimeter/parking landscape area south of the access drive aisle 2) two coniferous shrubs be added to the perimeter/parking landscape area north of the access drive aisle 3) a 3 foot landscape area shall be added the north façade of the shop building west of the office 4) landscaping is added along the southern property line to meet the interior parking landscape area including an additional island and planting along the property line to the building.

Lighting

All of the fixtures submitted are full cutoff fixtures meeting requirements of the code. However, the submitted plan does not meet code in a few areas: 1) the maximum light trespassing on the property lines north and south in a few areas exceeds 0.5fc 2) the proposed height of the light poles is currently taller than the principal structure being 17'2" 3) the maximum foot candles of the parking/outdoor display area exceeds the max 5.0 footcandles. Staff is recommending prior to issuance of a site improvement agreement, a lighting plan meeting the lighting ordinance of Section 13-1-12(h) of the Zoning Code be submitted and approved.

Stormwater

The Public Works Department has reviewed the proposed grading, erosion control and stormwater management plan and does not see any major concerns. Due to the site draining into the regional detention facility, the development will be buying into that system. That said, per Director Jungwirth, there is still a large amount of impervious surface draining to the adjacent property to the south. Unless other measures are taken, written permission from this owner shall be obtained.

Recommendation

Staff recommends approval of the special use permit as presented for TriCity Auto for an Automotive Sales and Service Facility at 1415 Appleton Road, Parcel 6-01651-00, finding that the use is existing and conforms to the comprehensive plan.

Staff recommends approval of the site plan as presented for TriCity Auto for an Automotive Sales and Service Facility at 1415 Appleton Road, Parcel 6-01651-00, with the following conditions:



- 1) Prior to the issuance of permits, a stormwater and site improvement agreement must be recorded for the proposed development.**
- 2) Prior to issuance of permits a final stormwater management plan is submitted and approved by the Public Works Department.**
- 3) The Special Use Permit is approved.**
- 4) A lighting plan meeting section 13-1-12(h) is submitted and approved prior to executing a site improvement agreement.**
- 5) A landscape plan meeting section 13-1-12(g) is submitted as recommended in staff memo dated December 7, 2021 and approved prior to the execution of a site improvement agreement.**
- 6) Any ground mounted mechanical equipment is screened meeting section 13-1-12(f)(6).**
- 7) A dumpster enclosure is submitted meeting section 13-1-12(e)(5) prior to the execution of a site improvement agreement.**

Special Use Permit Location

Proposed Use: Automotive, Truck, Recreational Vehicles, and Heavy Equipment Repair and Maintenance Services



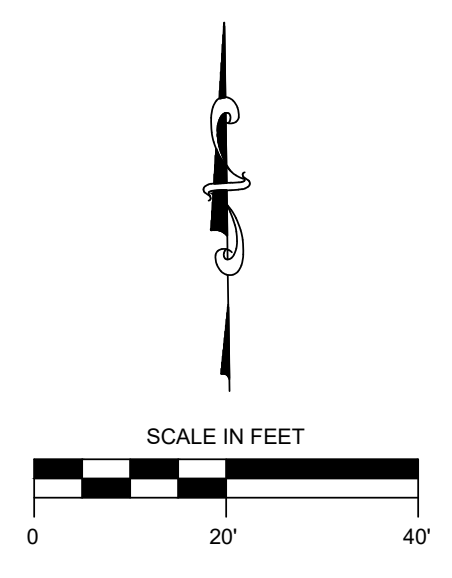
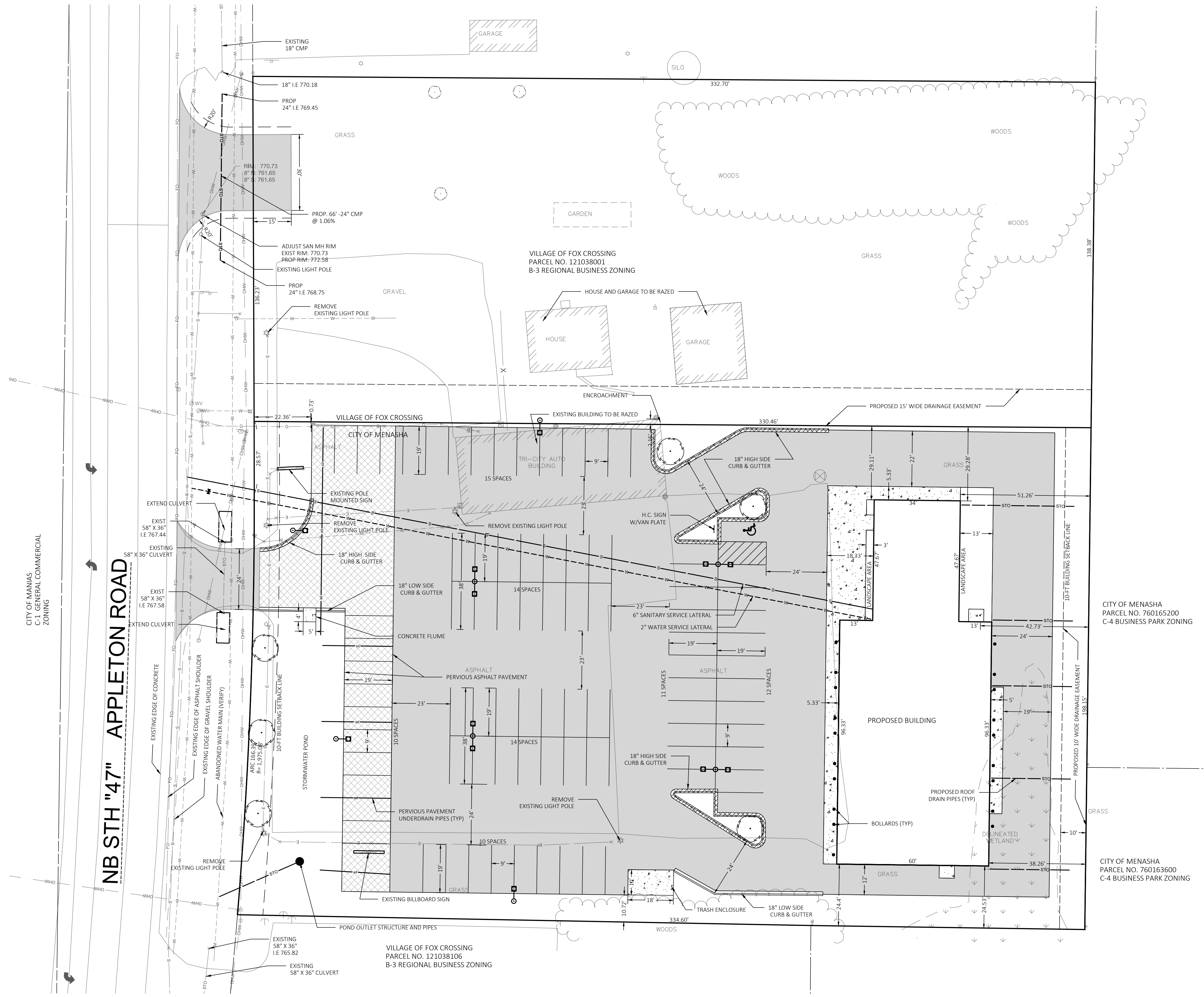
Legend

-  1415 Appleton Road
-  Parcel Number 6-01654-00

N



1 inch = 200 feet



ISSUED FOR PERMITTING

SITE DATA
 ZONING: C1 - GENERAL COMMERCIAL
 MINIMUM FRONT YARD SETBACK 10-FT
 MINIMUM SIDE YARD SETBACK NONE, UNLESS ABUTTING A RESIDENTIAL USE
 MINIMUM REAR YARD SETBACK 10-FT
 MAXIMUM COVERAGE OF BUILDINGS 30% ALLOWED, 11.4% PROPOSED

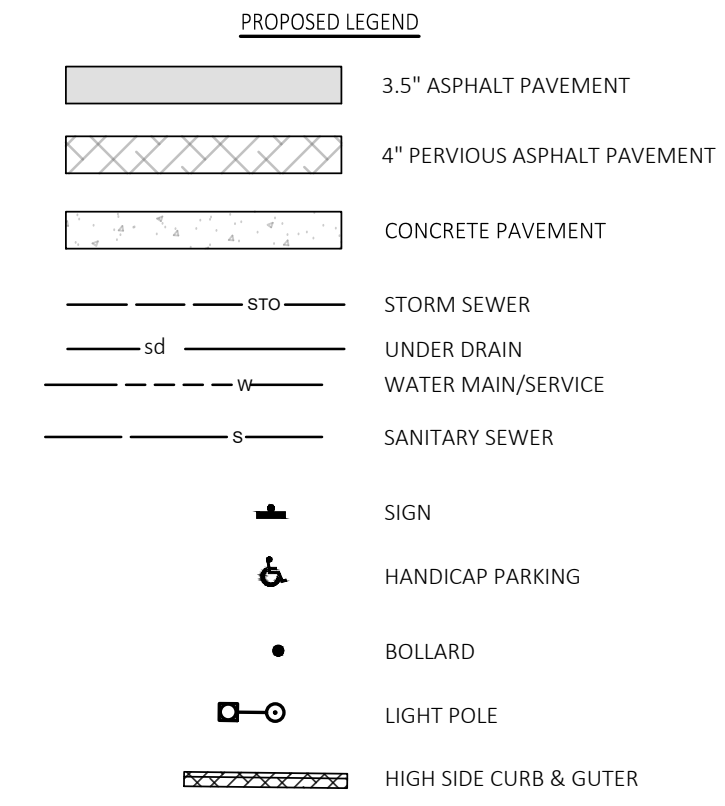
EXISTING PARKING STALL: APPROXIMATELY 76 SPACE FOR EMPLOYEES AND SALES
 PROPOSED PARKING STALL: 12 EMPLOYEE/VISITOR SPACES AND 64 SPACES FOR CAR SALES, 76 TOTAL

PARCEL ID: 760165100
 LOT SIZE: 65,048 SF (1.493AC)

GREEN/LANDSCAPE COVERAGE:
 MINIMUM = 15%
 EXISTING = 47.2%
 PROPOSED = 28.2%

EXISTING IMPERVIOUS: 34,386 SF (0.789 AC)
 PROPOSED IMPERVIOUS: 46,716 SF (1.072 AC)
 ADDITIONAL IMPERVIOUS AREA: 12,330 SF (0.283 AC)

TOTAL DISTURBED AREAS: APPROXIMATELY 61,000 SF (1.4 AC)



NO.	REVISION DESCRIPTION	DATE

Paynet+Dolan
 A WALBECK COMPANY
 www.paynetdolan.com
 (920) 767-7559

PROJECT
TRI-CITY AUTO
 1415 Appleton Road, MENASHA, WI

CLIENT
FRONTIER BUILDERS AND CONSULTANTS
 2920 N. PROGRESS DRIVE

PROFESSIONAL ENGINEER
 STEVEN KOLAR
 E-35047
 GREENVILLE, WIS.

SHEET TITLE
SITE PLAN

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Drawing Scale: **1" = 20'**
 Drawn: **SPK**
11/10/2021
 Checked: **CD**
11/10/2021
 P&D Project No: **490540**
 Sheet No: **C1**

- NOTES:**
- DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FLANGE UNLESS OTHERWISE NOTED.
 - ALL SURFACES THAT MAY BE DISTURBED IN ANY STREET ROW OPENINGS SHALL BE REPLACED IN SUBSTANTIALLY THE SAME CONDITION AS THEY WERE PRIOR TO SUCH DISTURBANCE.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTORS SHALL MAKE THEIR OWN DETERMINATION AND VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

THE CLIENT AND/OR OTHER RECIPIENTS AGREE TO THE FULLEST EXTENT PERMITTED BY LAW TO INDEMNIFY AND HOLD PAYNE AND DOLAN HARMLESS FOR ANY REUSE OF OR FROM CHANGES MADE TO THE ORIGINAL DRAWING OR DATA WITHOUT PRIOR WRITTEN CONSENT BY PAYNE AND DOLAN.

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE."



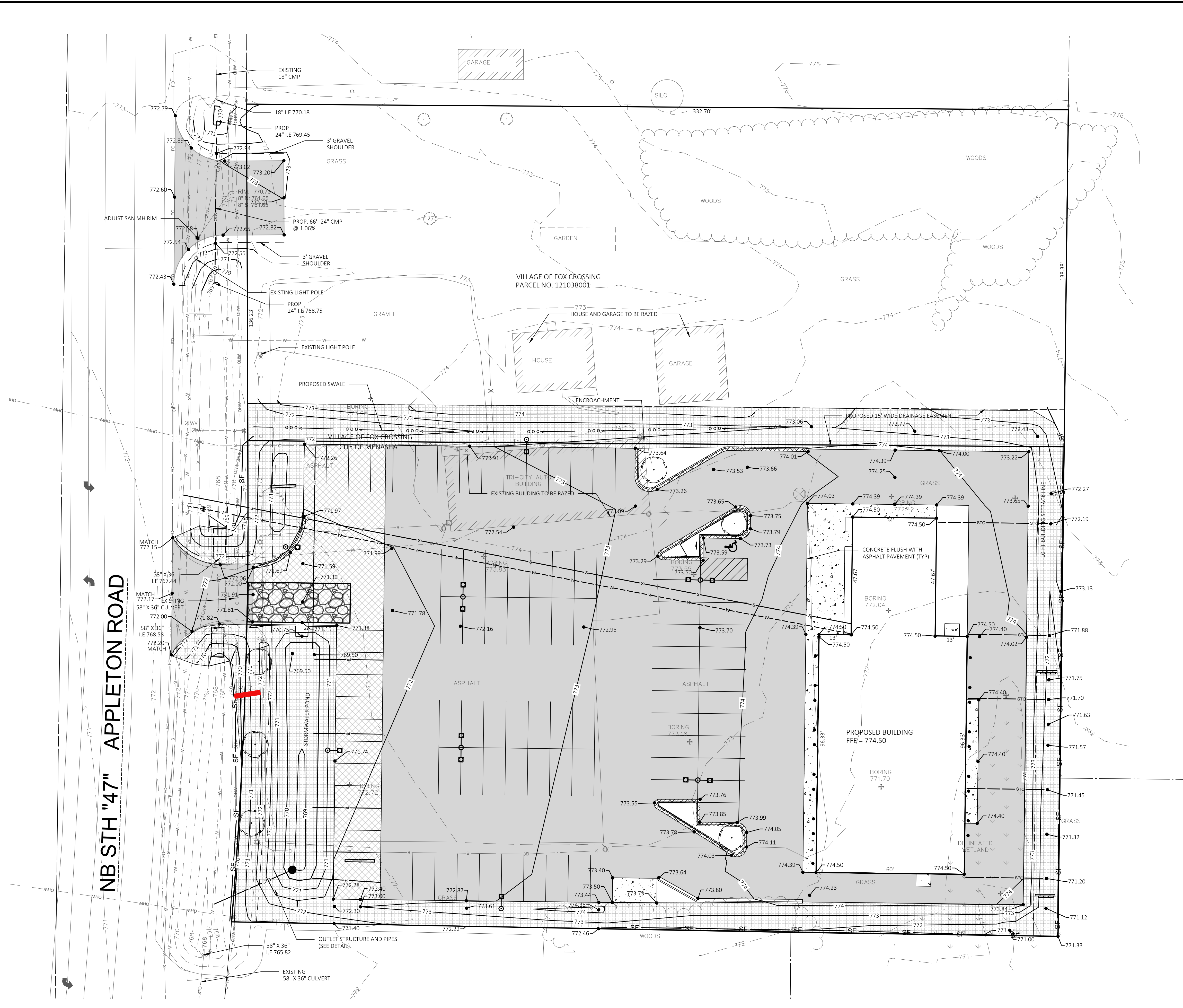


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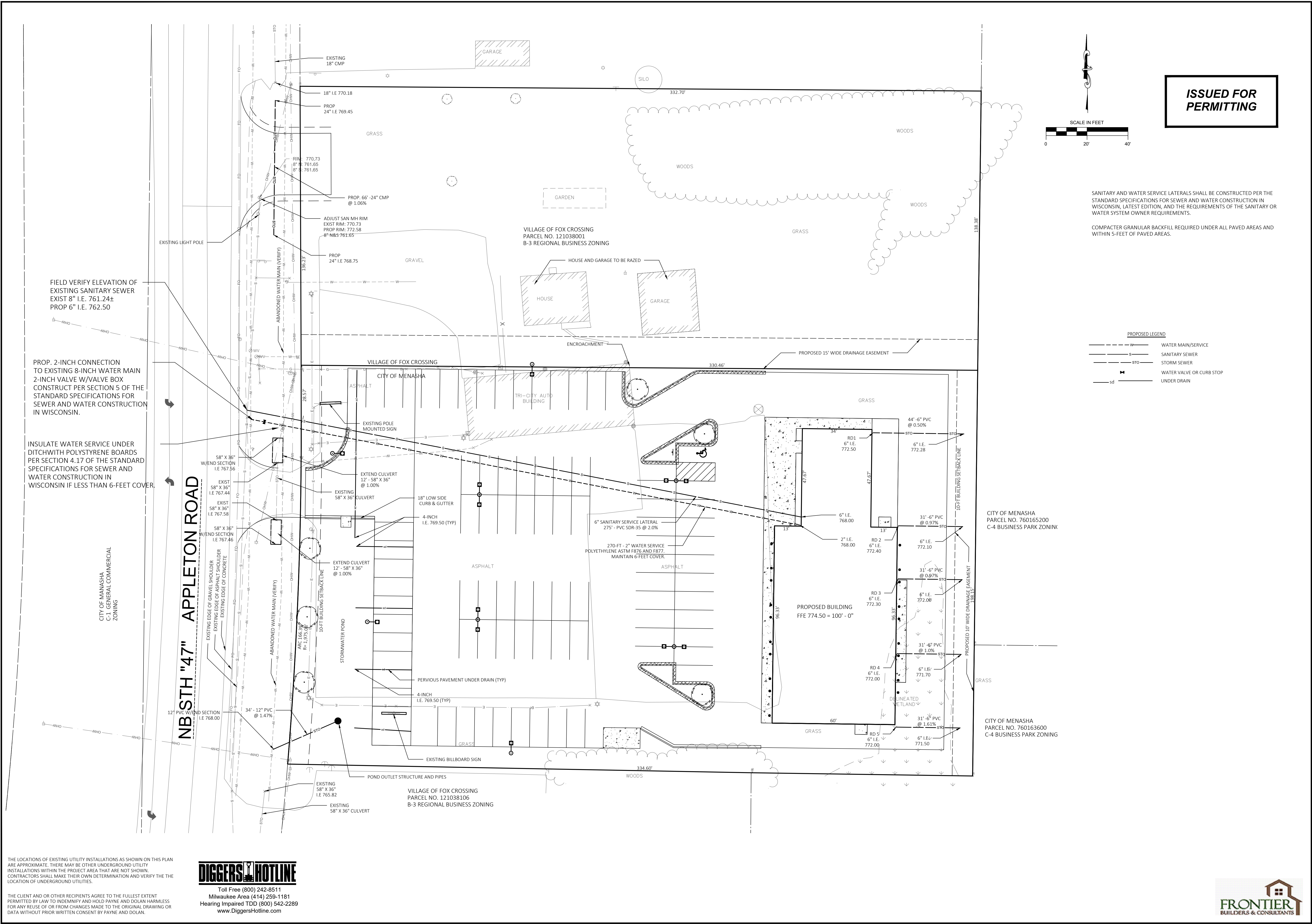
FRONTIER BUILDERS & CONSULTANTS logo, ISSUED FOR PERMITTING stamp, SCALE IN FEET (0-40), and NORTH arrow.

PROPOSED LEGEND table listing pavement types (3.5" ASPHALT, 4" PERVIOUS ASPHALT, CONCRETE), drainage features (DRAINAGE ARROW, PROPOSED CONTOUR), utility lines (STORM SEWER, WATER MAIN, SANITARY SEWER, UNDER DRAIN), and erosion control measures (SIGN, PERIMETER EROSION CONTROL, TRACKING PAD, EROSION BALES).

SURVEY MONUMENTS and TOPO SYMBOLS table listing symbols for BENCHMARK, CONTROL POINT, EXISTING GAS LINE, EXISTING ELECTRIC GENERAL, and various TOPO SYMBOLS like BOLLARD, CATV PEDESTAL, and TREE, DECIDUOUS.

- EROSION CONTROL: THE FOLLOWING EROSION AND POLLUTANT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THIS SITE AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME THAT THE SITE IS STABILIZED. EROSION CONTROL MEASURES: 1. VEHICLE TRACKING MATS SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES. 2. CONTRACTOR SHALL BE RESPONSIBLE TO PROMPTLY CLEAN UP ALL SEDIMENT DEPOSITS THAT OCCUR OFF-SITE BY THE END OF EACH WORKDAY. 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES UNTIL THE SITE HAS BEEN STABILIZED. 4. DRAINAGE WAYS ARE TO BE SEEDED AND MULCHED OR SODDED AS SOON AS POSSIBLE. 5. ALL AREAS OF BARE SOIL LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE SEEDDED WITH A FAST GROWING ANNUAL GRASS (TEMPORARY) SUCH AS OATS AND RYE AND MULCHED. 6. DEWATERING IS NOT ANTICIPATED. 7. DUST CONTROL MEASURES FOR CONSTRUCTION ACTIVITIES SHALL INCLUDE MINIMIZATION OF SOIL DISTURBANCE. 8. CONTRACTOR SHALL HAVE A DESIGNATED AREA FOR TRASH AND PROMPTLY DISPOSE OF ALL WASTE MATERIAL. 9. ANY SPILL THAT MAY OCCUR SHALL BE PROMPTLY CLEANED UP PER LOCAL AND STATE REQUIREMENTS.

Revision table, Paynet+Dolan logo, PROJECT: TRI CITY AUTO BUILDING AND PARKING, CLIENT: 1415 Appleton Road, Menasha, WI, FRONTIER BUILDERS AND CONSULTANTS, 2920 N. PROGRESS DRIVE, Steven Kolar Professional Engineer, GRADING & EROSION CONTROL PLAN, SHEET TITLE, COPYRIGHT NOTICE, Drawing Scale: 1" = 20', Drawn: SPK 11/10/2021, Checked: CD 11/10/2021, P&D Project No: 490540, Sheet No: C2



FIELD VERIFY ELEVATION OF EXISTING SANITARY SEWER EXIST 8" I.E. 761.24± PROP 6" I.E. 762.50

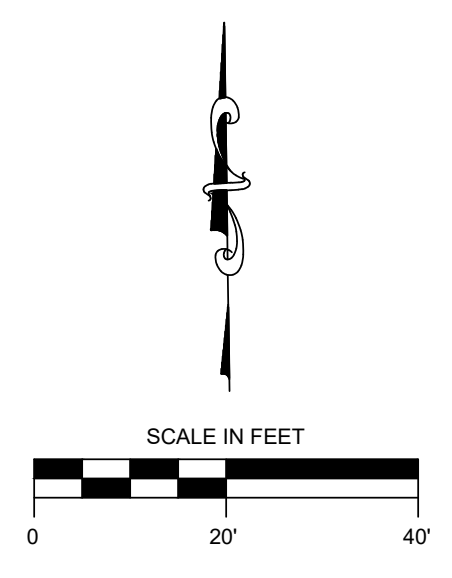
PROP. 2-INCH CONNECTION TO EXISTING 8-INCH WATER MAIN 2-INCH VALVE W/VALVE BOX CONSTRUCT PER SECTION 5 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

INSULATE WATER SERVICE UNDER DITCH WITH POLYSTYRENE BOARDS PER SECTION 4.17 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN IF LESS THAN 6- FEET COVER.

CITY OF MANASHA
C-1 GENERAL COMMERCIAL ZONING

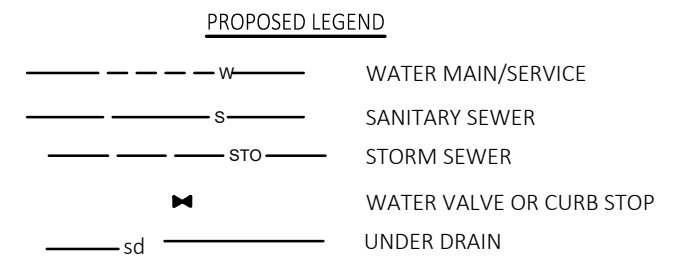
NB STH "47" APPLETON ROAD

ISSUED FOR PERMITTING



SANITARY AND WATER SERVICE LATERALS SHALL BE CONSTRUCTED PER THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE REQUIREMENTS OF THE SANITARY OR WATER SYSTEM OWNER REQUIREMENTS.

COMPACTER GRANULAR BACKFILL REQUIRED UNDER ALL PAVED AREAS AND WITHIN 5- FEET OF PAVED AREAS.



NO	REVISION DESCRIPTION	DATE

Paynet+Dolan
A WALBECC COMPANY
www.walbeccgroup.com
(920) 767-7559

PROJECT: **TRI CITY AUTO BUILDING AND PARKING**
1415 Appleton Road, Menasha, WI

CLIENT: **FRONTIER BUILDERS AND CONSULTANTS**
2920 N. PROGRESS DRIVE

WISCONSIN PROFESSIONAL ENGINEER
STEVEN KOLAR
E-35847
GREENVILLE, WIS.

PRELIMINARY UTILITY PLAN

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Drawn: SPK 11/10/2021
Checked: CD 11/10/2021
P&D Project No: 490540
Sheet No: C3

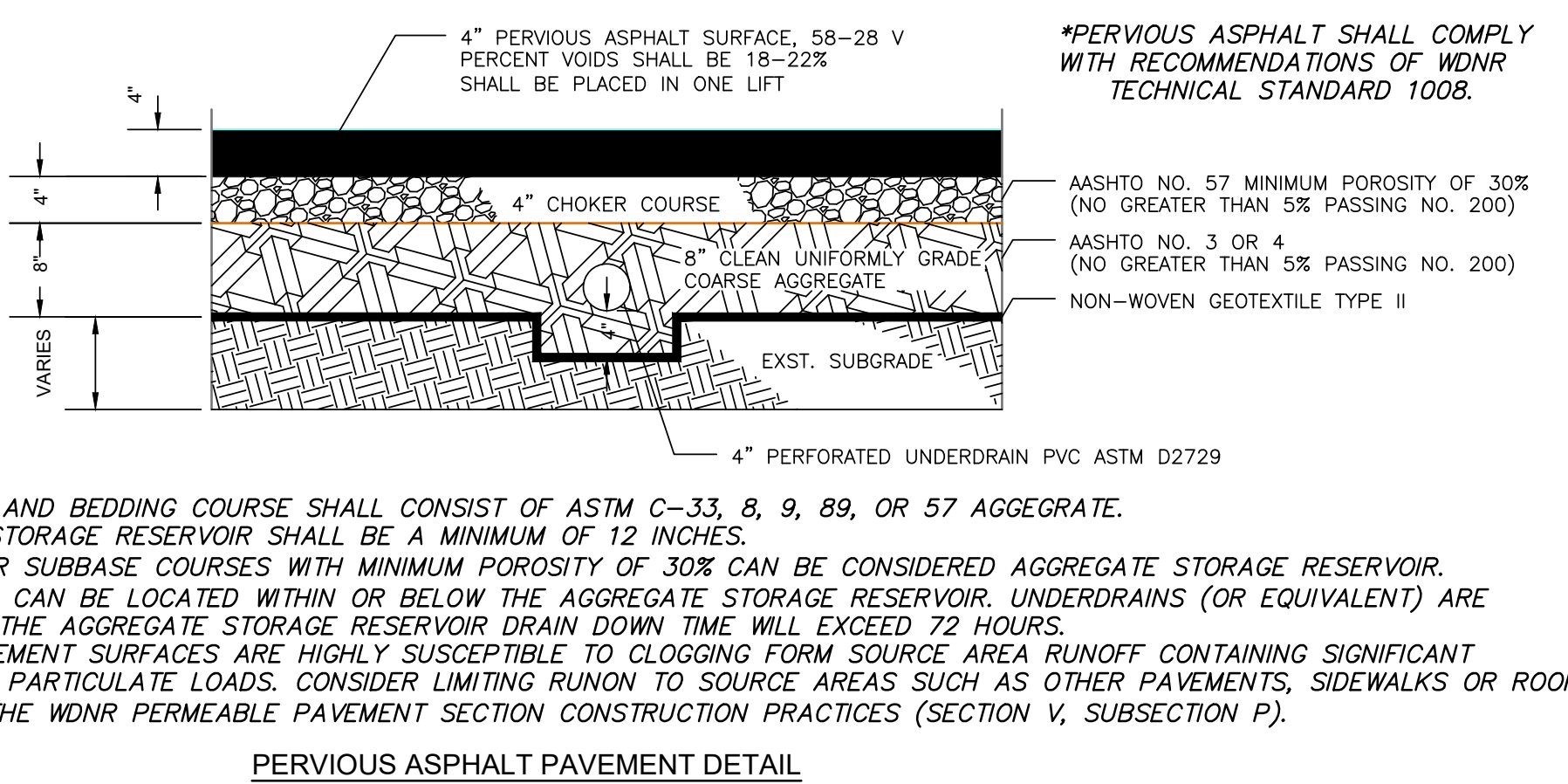
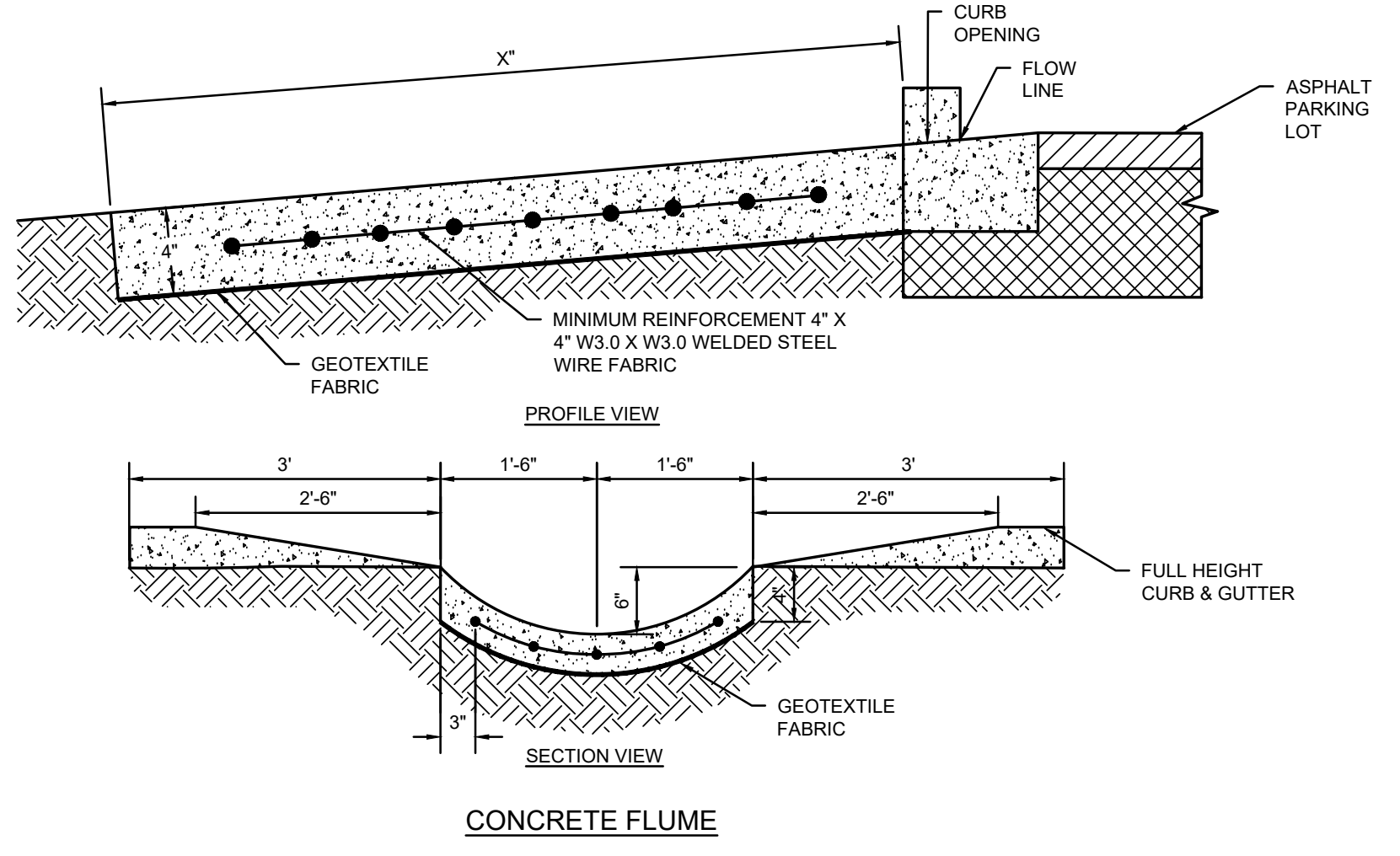
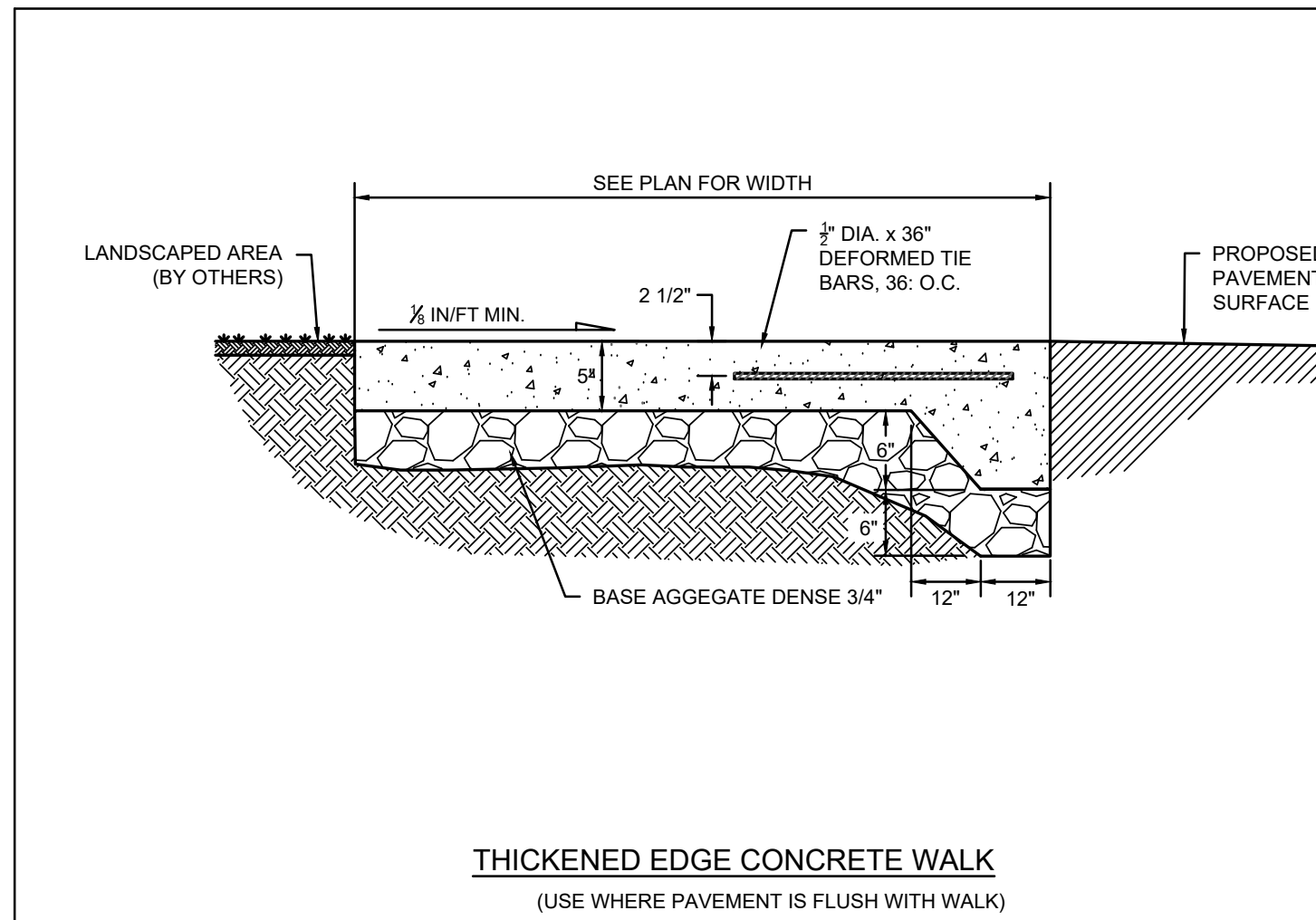
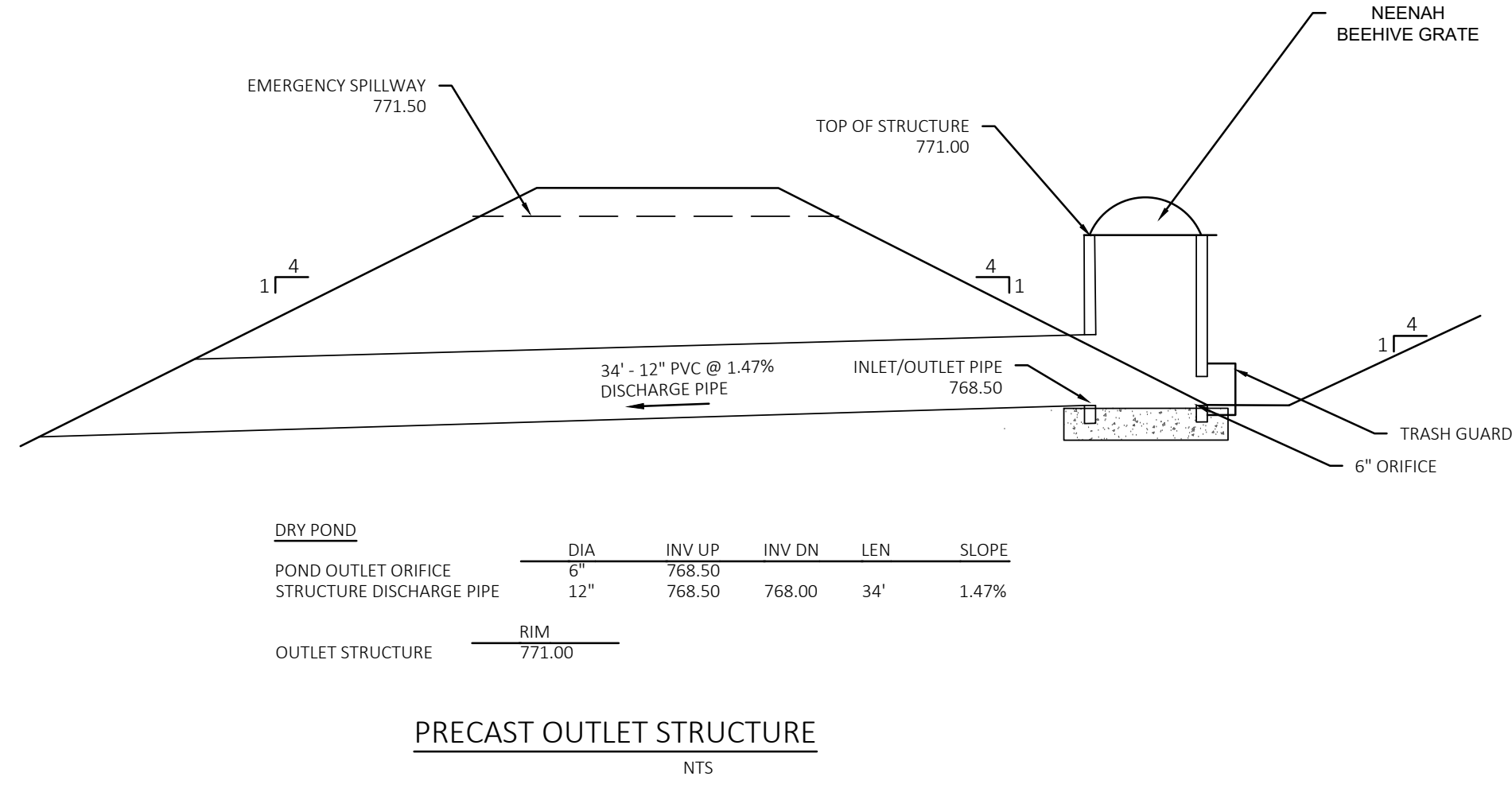
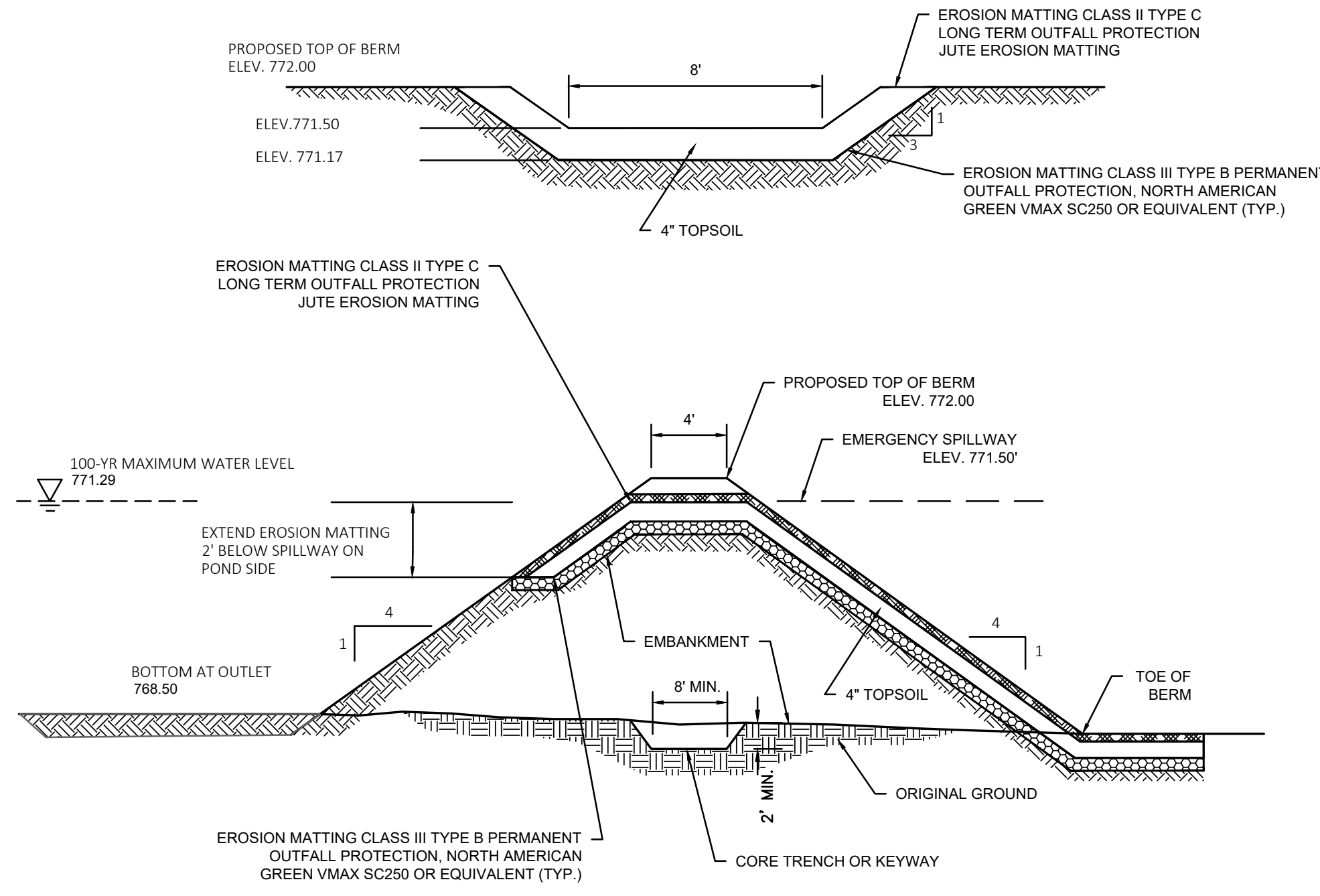
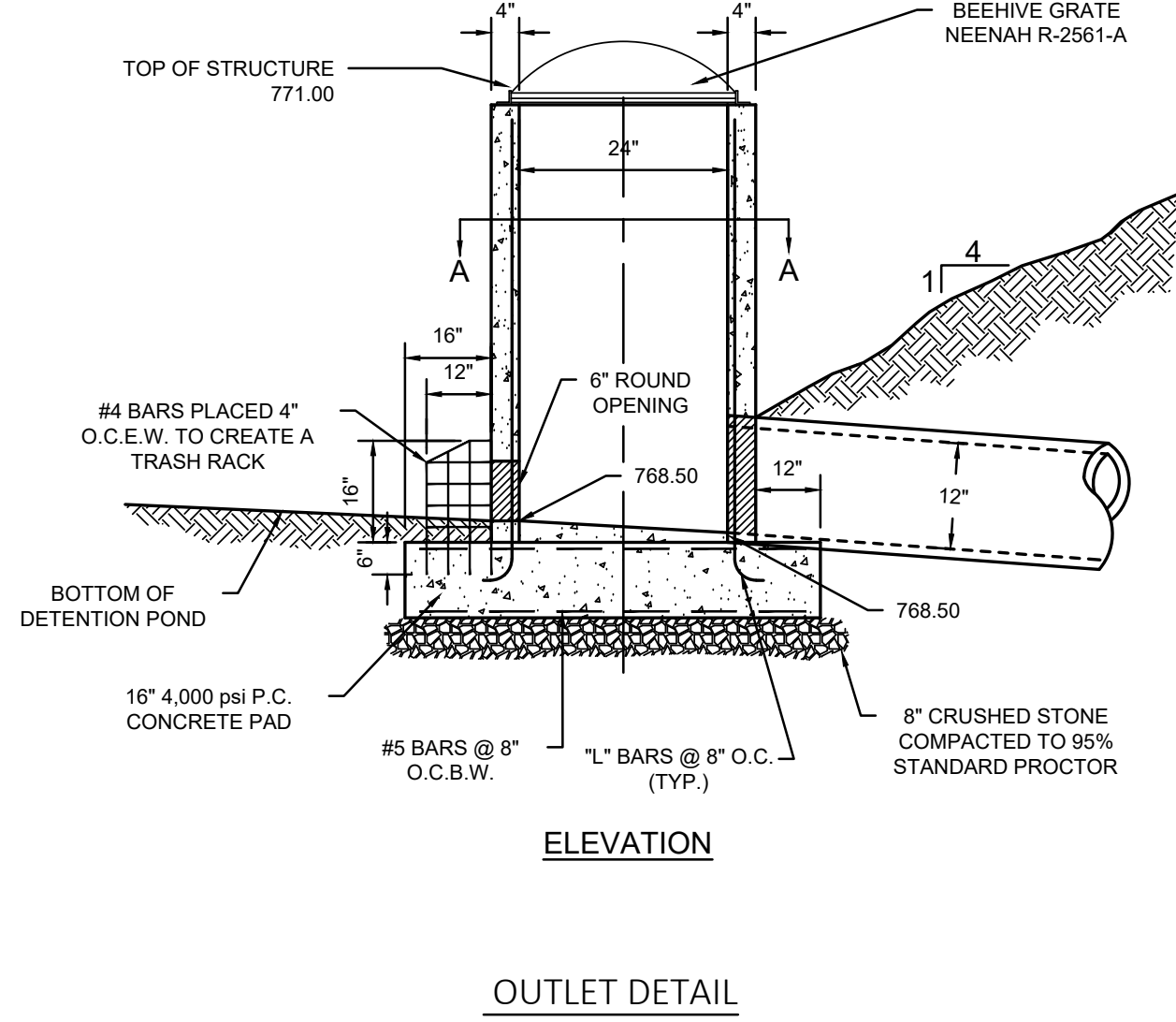
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTORS SHALL MAKE THEIR OWN DETERMINATION AND VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

THE CLIENT AND/OR OTHER RECIPIENTS AGREE TO THE FULLEST EXTENT PERMITTED BY LAW TO INDEMNIFY AND HOLD PAYNE AND DOLAN HARMLESS FOR ANY REUSE OF OR FROM CHANGES MADE TO THE ORIGINAL DRAWING OR DATA WITHOUT PRIOR WRITTEN CONSENT BY PAYNE AND DOLAN.

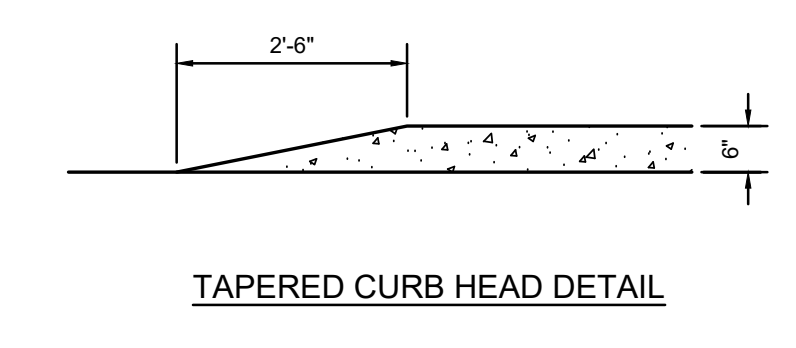
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FRONTIER BUILDERS & CONSULTANTS

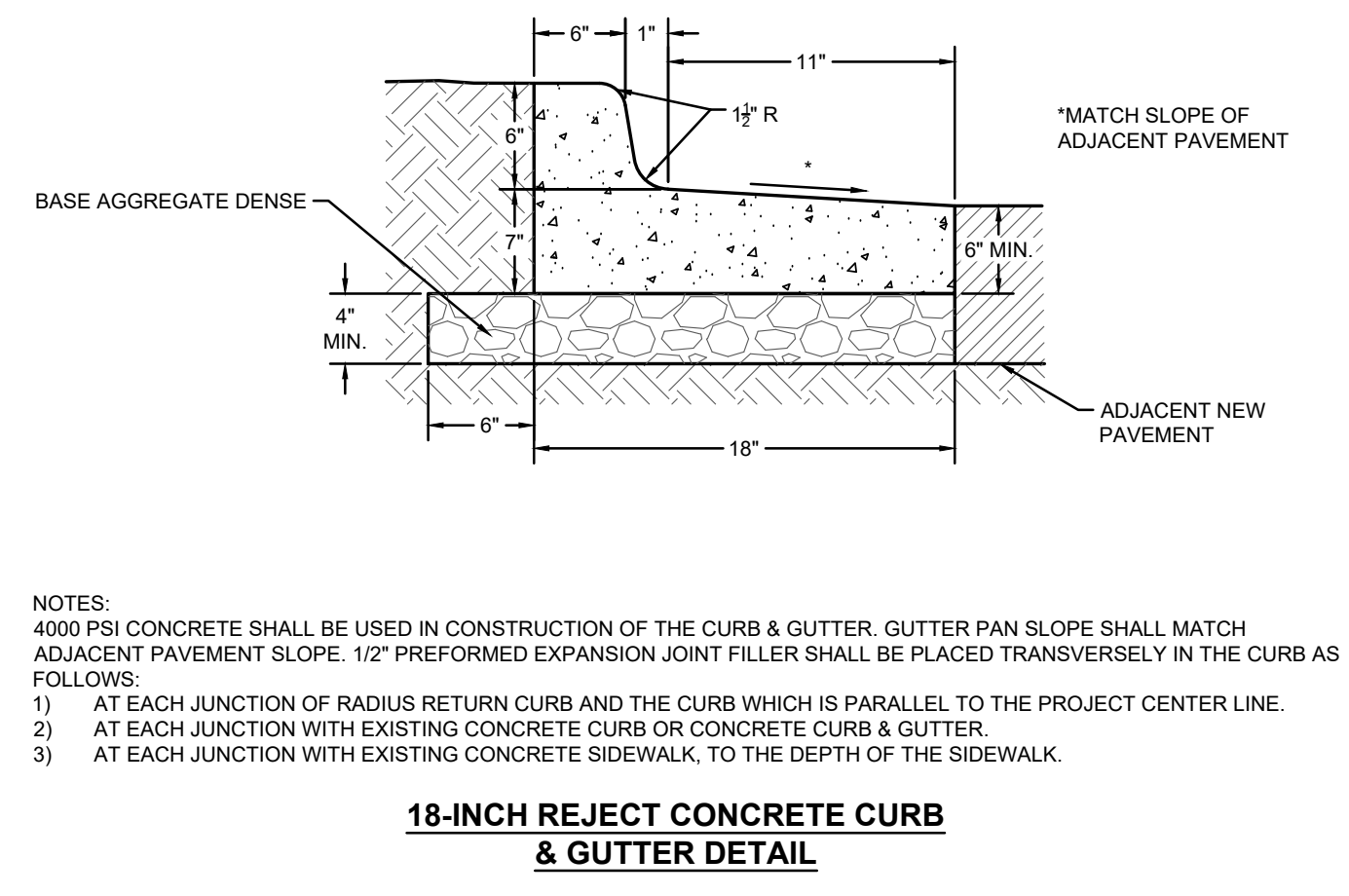
Nov 12, 2021 7:51am S:\Design & Construction Services\080-C3D\Frontier\Tri City Auto Building\030-Sheets\Plan\DETAILS.dwg



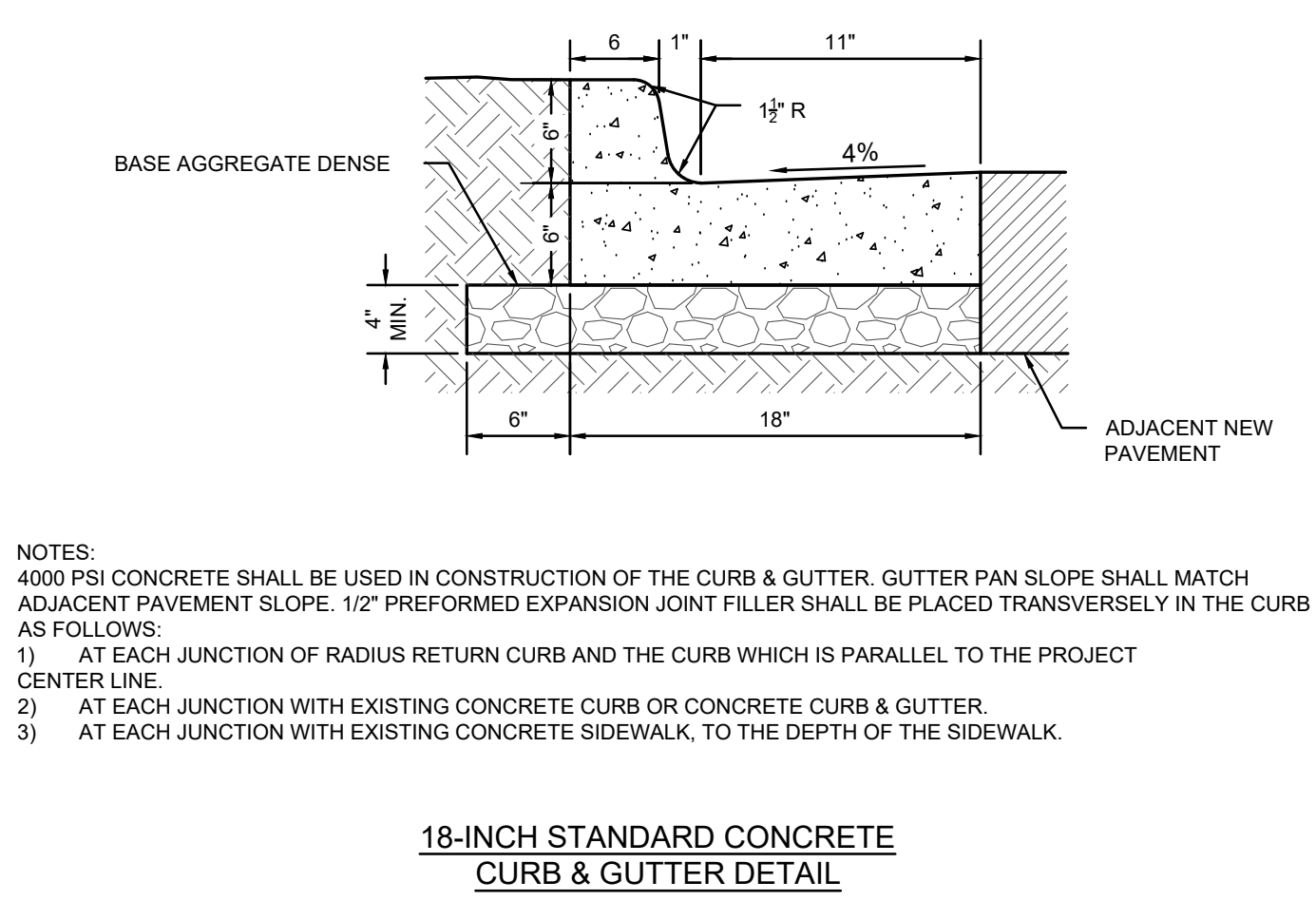
- NOTES:**
1. JOINT STONE AND BEDDING COURSE SHALL CONSIST OF ASTM C-33, 8, 9, 89, OR 57 AGGREGATE.
 2. AGGREGATE STORAGE RESERVOIR SHALL BE A MINIMUM OF 12 INCHES.
 3. BASE AND/OR SUBBASE COURSES WITH MINIMUM POROSITY OF 30% CAN BE CONSIDERED AGGREGATE STORAGE RESERVOIR.
 4. UNDERDRAINS CAN BE LOCATED WITHIN OR BELOW THE AGGREGATE STORAGE RESERVOIR. UNDERDRAINS (OR EQUIVALENT) ARE REQUIRED IF THE AGGREGATE STORAGE RESERVOIR DRAIN DOWN TIME WILL EXCEED 72 HOURS.
 5. POROUS PAVEMENT SURFACES ARE HIGHLY SUSCEPTIBLE TO CLOGGING FROM SOURCE AREA RUNOFF CONTAINING SIGNIFICANT SEDIMENT OR PARTICULATE LOADS. CONSIDER LIMITING RUNON TO SOURCE AREAS SUCH AS OTHER PAVEMENTS, SIDEWALKS OR ROOFS.
 6. COMPLY TO THE WDMR PERMEABLE PAVEMENT SECTION CONSTRUCTION PRACTICES (SECTION V, SUBSECTION P).



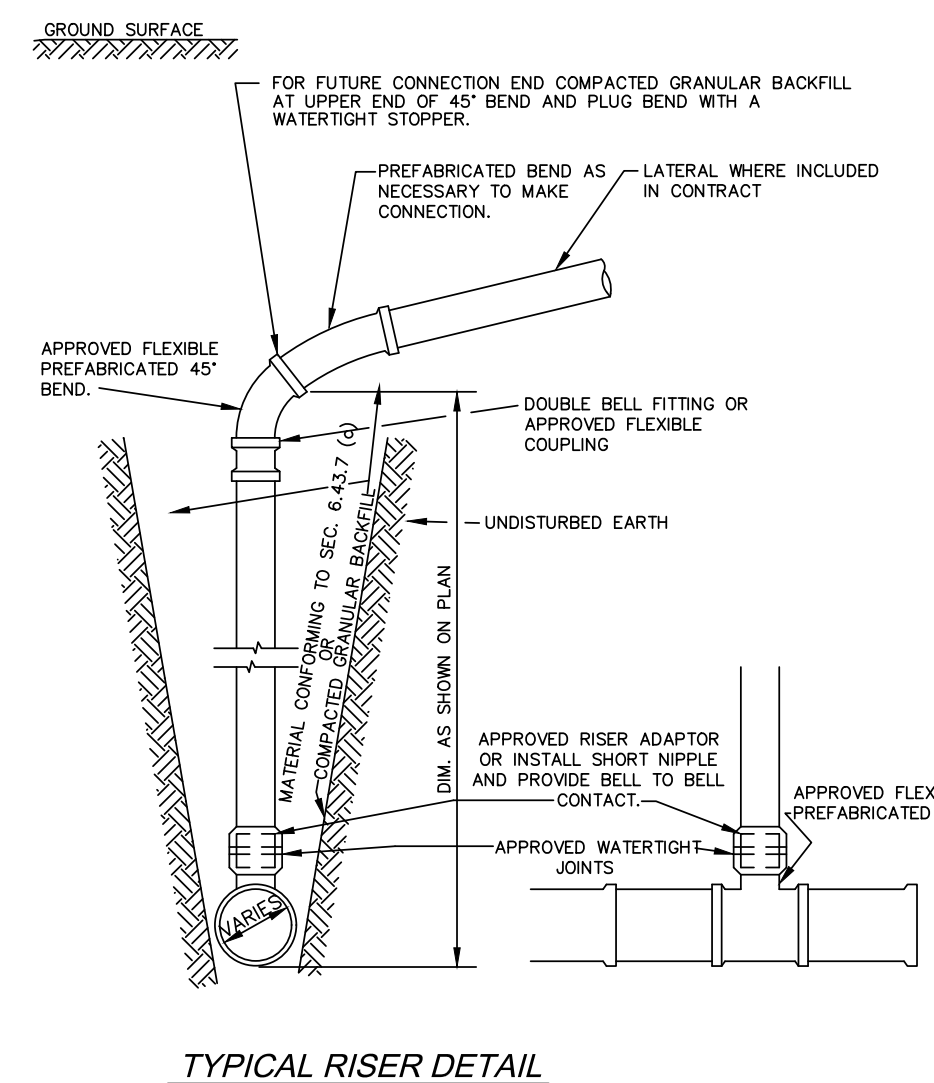
ISSUED FOR PERMITTING



- NOTES:**
- 4000 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF THE CURB & GUTTER. GUTTER PAN SLOPE SHALL MATCH ADJACENT PAVEMENT SLOPE. 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB AS FOLLOWS:
- 1) AT EACH JUNCTION OF RADIUS RETURN CURB AND THE CURB WHICH IS PARALLEL TO THE PROJECT CENTER LINE.
 - 2) AT EACH JUNCTION WITH EXISTING CONCRETE CURB OR CONCRETE CURB & GUTTER.
 - 3) AT EACH JUNCTION WITH EXISTING CONCRETE SIDEWALK, TO THE DEPTH OF THE SIDEWALK.



- NOTES:**
- 4000 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF THE CURB & GUTTER. GUTTER PAN SLOPE SHALL MATCH ADJACENT PAVEMENT SLOPE. 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB AS FOLLOWS:
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NO.	REVISION DESCRIPTION	DATE

Paynet+Dolan
A WALBECC COMPANY
www.walbecc.com
(920) 767-7559

PROFESSIONAL ENGINEER
STEVEN KOLAR
E-35047
GREENVILLE, W.S.

CLIENT:
FRONTIER BUILDERS AND CONSULTANTS
2920 N. PROGRESS DRIVE

PROJECT:
TRI CITY AUTO BUILDING AND PARKING
1415 Appleton Road, Menasha, WI

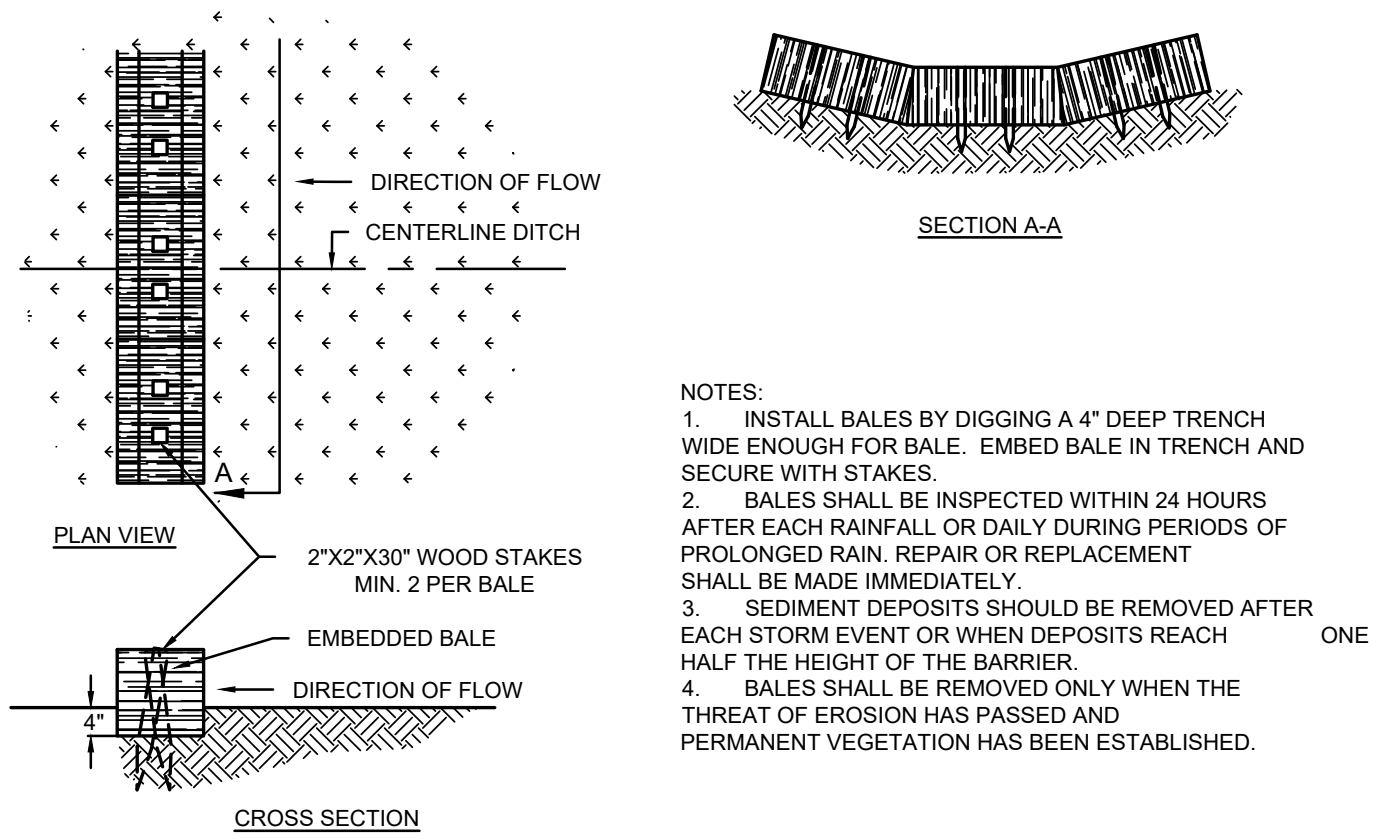
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Drawn: SPK 11/10/2021

Checked: CD 11/10/2021

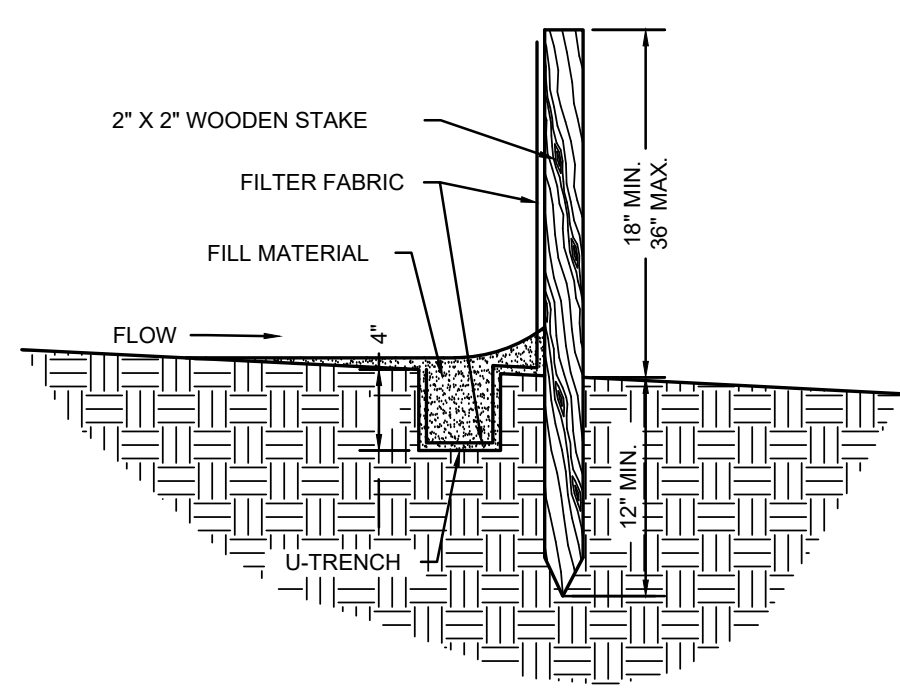
P&D Project No: 490540

Sheet No: C4



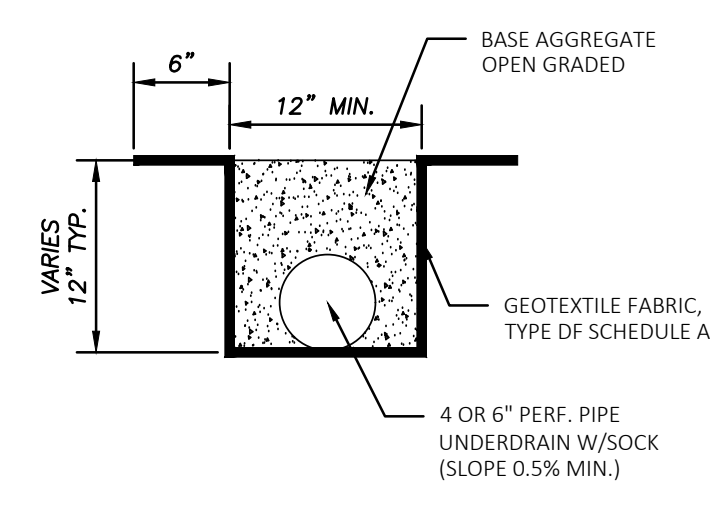
- NOTES:**
- INSTALL BALES BY DIGGING A 4" DEEP TRENCH WIDE ENOUGH FOR BALE. EMBED BALE IN TRENCH AND SECURE WITH STAKES.
 - BALES SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH HALF THE HEIGHT OF THE BARRIER.
 - BALES SHALL BE REMOVED ONLY WHEN THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

EROSION BALES DETAIL



- NOTES:**
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY AND/OR WITHIN 24 HOURS OF CONSTRUCTING DITCHES, DIVERSIONS, OR OTHER CHANNELS.
 - SILT FENCE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - GRAB STRENGTH: 100 LBS. (ASTM D-1682)
 - MULLEN BURST: 200 PSI MIN. (ASTM D-3786)
 - EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE. BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - WATER FLOW RATE OF 10 GAL/MIN/SQ. FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
 - ULTRA VIOLET RADIATION STABILITY OF 90%
 - IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
 - INSTALLATION PROCEDURE AS FOLLOWS:
 - EXCAVATE A U-TRENCH UPSLOPE FROM THE LINE OF STAKES.
 - INSTALL SILT FENCE IN TRENCH. CARE SHOULD BE TAKEN TO AVOID TEARING FABRIC. TORN FABRIC SHALL BE REMOVED AND A NEW SEGMENT OF SILT FENCE SHALL BE PLACED. STAKES SHALL BE DRIVEN A MINIMUM OF 12" DEEP. SILT FENCE SHALL BE A MINIMUM OF 18" AND A MAXIMUM OF 36" IN HEIGHT.
 - FIT LOWER 8" OF FILTER FABRIC INTO U-TRENCH. BACKFILL AND COMPACT U-TRENCH.
 - SILT FENCE SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH ONE HALF THE HEIGHT OF THE BARRIER.
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SILT FENCE DETAIL PERIMETER CONTROL



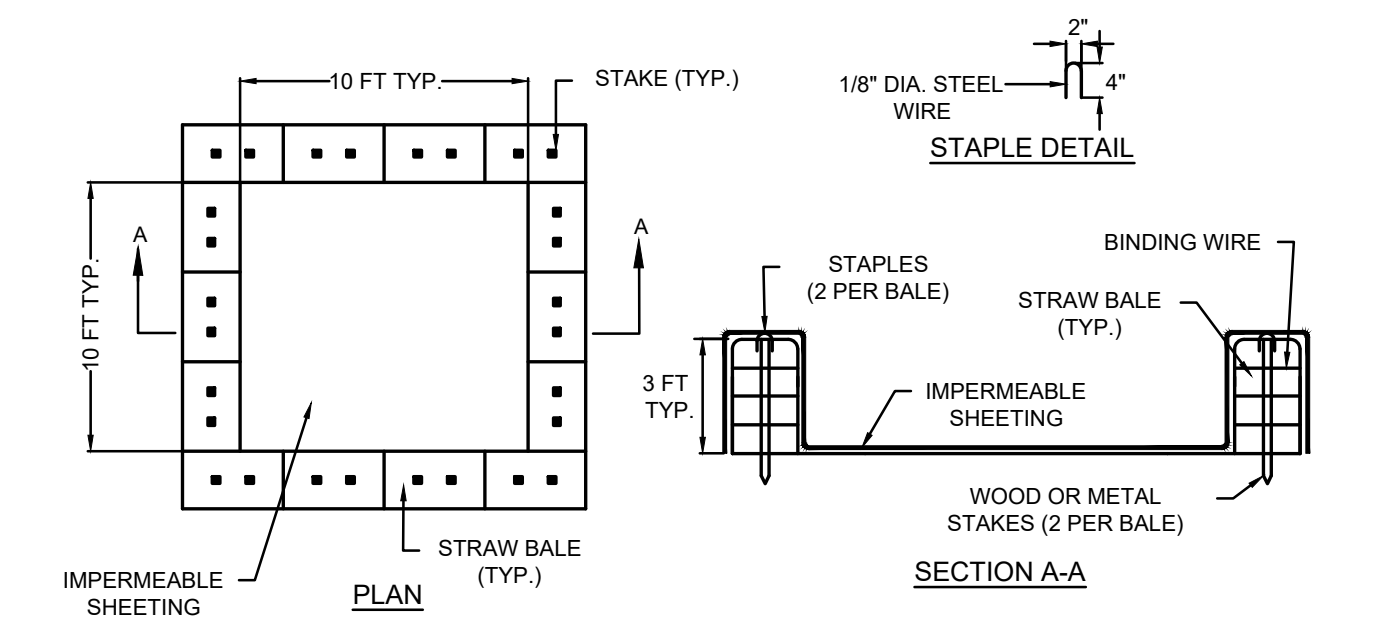
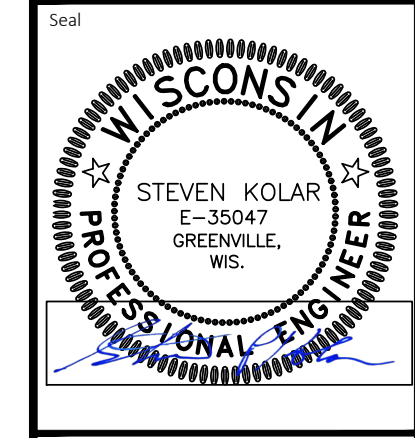
4 OR 6-INCH PERFORATED PIPE UNDERDRAIN WITH SILT SOCK

ISSUED FOR PERMITTING

NO.	REVISION DESCRIPTION	DATE



PROJECT: TRI CITY AUTO BUILDING AND PARKING
 CLIENT: 1415 Appleton Road, Menasha, WI
 FRONTIER BUILDERS AND CONSULTANTS
 2920 N. PROGRESS DRIVE

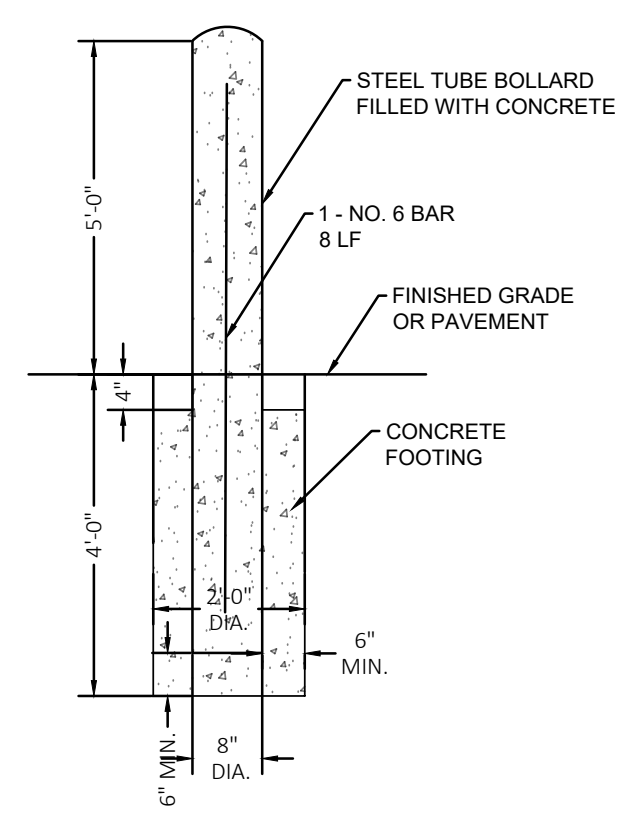


NOTE: CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

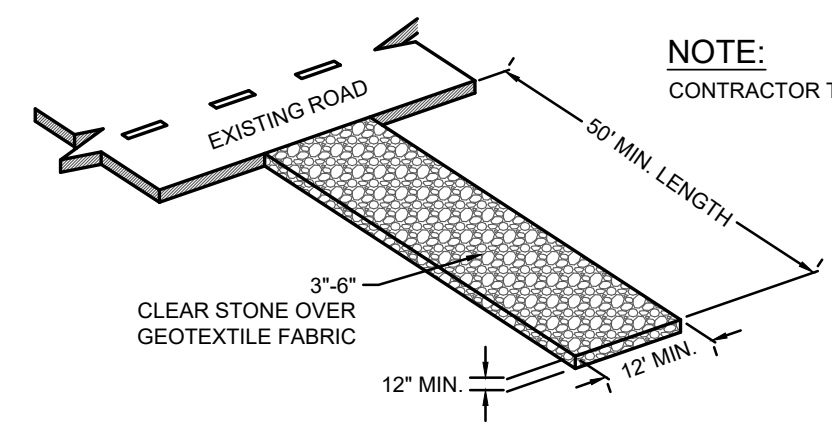
CONSTRUCTION SPECIFICATIONS

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

WASHOUT STRUCTURE WITH STRAW BALES

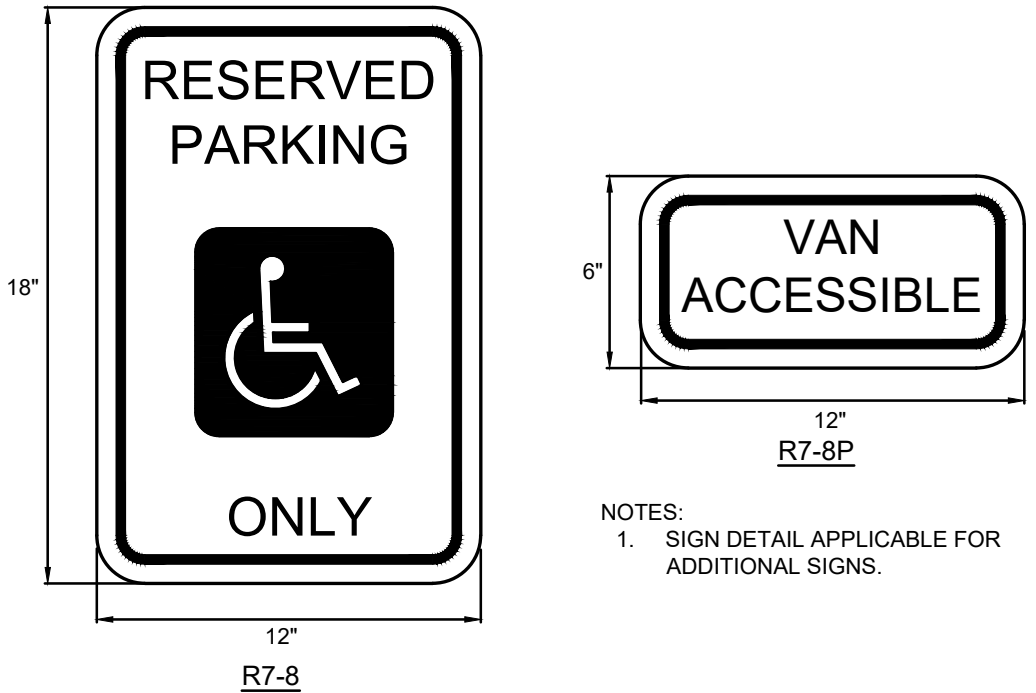


STEEL TUBE BOLLARD FILLED WITH CONCRETE

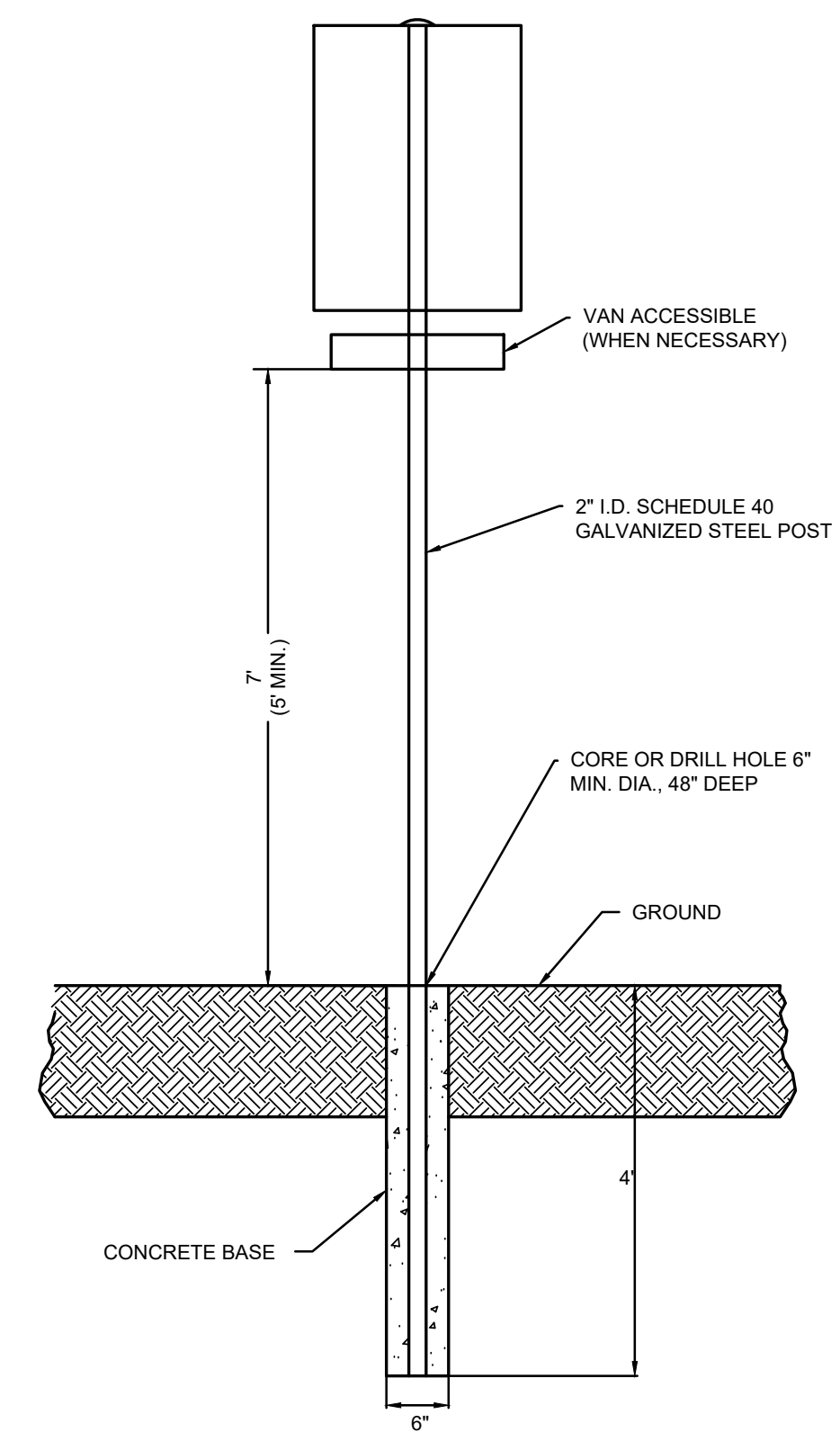


- GENERAL NOTES**
- TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6-INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED ON A 3-INCH SIEVE.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK, ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH WIDOT TYPE "R" GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM 50-FEET LONG.
 - ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
 - TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE



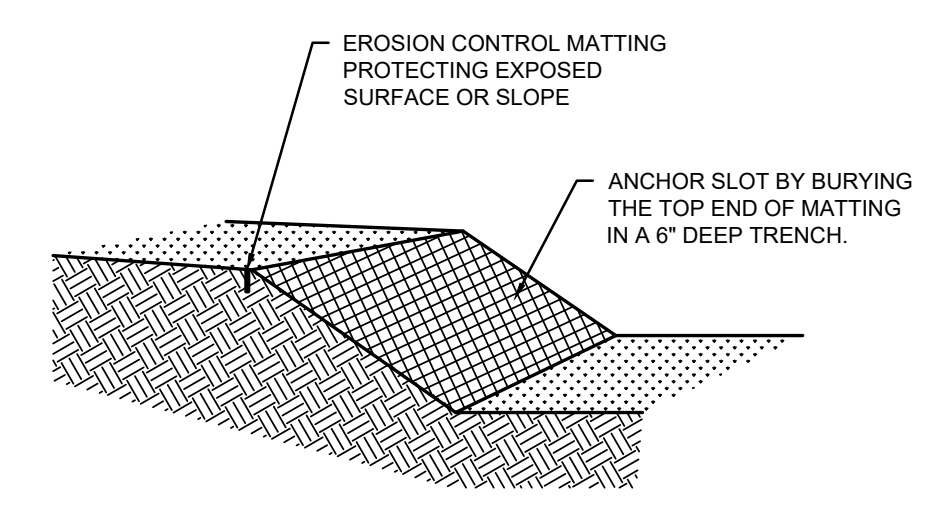
ACCESSIBLE PARKING SIGNS



- NOTES:**
- SIGN POST SHALL BE INSTALLED MINIMUM OF 2' BEHIND THE BACK OF CURB OR EDGE OF PAVEMENT.
 - 7' TO THE BOTTOM OF THE LOWEST SIGN ALONG ACCESSIBLE ROUTES. 5' TO THE BOTTOM OF THE THE MAIN SIGN IN ALL OTHER LOCATIONS.

SIGN POST INSTALLATION IN LANDSCAPE AREA

- NOTES:**
- PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLOUDS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
 - THE MATTING SHALL BE ANCHORED ALONG ITS ENTIRE PERIMETER WITH A 6"x6" ANCHOR TRENCH. AFTER MATTING IS LAID IN TRENCH, BACKFILL, AND COMPACT WITH SOIL OR GRAVEL.
 - THE MATTING SHALL BE ANCHORED TO THE GROUND USING 10 GAUGE WIRE STAPLES, 6" IN LENGTH BY 1" WIDE WITH A COVERAGE NOT LESS THAN 1 STAPLE PER EVERY 4 SQUARE FEET OF MATTING.
 - INSTALLATIONS SHALL ALSO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED GUIDELINES.
 - EROSION CONTROL MATTING SHALL BE ONE OF THE FOLLOWING:
 - JUTE MAT COMPOSED OF A JUTE YARN WEAIVED IN A BASIC MANNER AND FREE OF ANY DYE AND HAVING A MINIMUM UNIT WEIGHT OF 2.7 LBS. PER SQ. YARD
 - WOOD FIBER MAT COMPOSED OF WOOD FIBERS ENCASED IN A NETTING MADE OF NYLON, COTTON OR SIMILAR MATERIAL AND HAVING A MINIMUM UNIT WEIGHT OF 1.0 LBS. PER SQ. YARD
 - SYNTHETIC WEBBING MAT MADE OF POLYVINYL CHLORIDE POLYPROPYLENE MONOFILMENTS HAVING A MINIMUM UNIT WEIGHT OF 11 OUNCES PER SQ. YARD AND ANIMUM TENSILE STRENGTH OF 25 LBS. IN ALL DIRECTIONS. (ASTM D-1682.64)
 - MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSEENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
 - STAPLES SHALL BE REMOVED FROM THE GROUND ONCE THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.



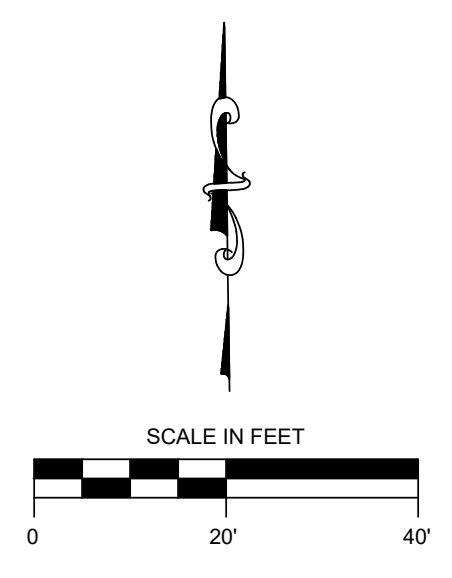
EROSION CONTROL MATTING

DETAILS

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 Drawn: SPK 10/22/2021
 Checked: CD 11/10/2021
 P&D Project No: 490540
 Sheet No.





**PRELIMINARY
NOT FOR
CONSTRUCTION**

- | SURVEY MONUMENTS | | TOPO SYMBOLS | |
|------------------|---------------------------|--------------|------------------------|
| | BENCHMARK | | BOLLARD |
| | CONTROL POINT | | CATV PEDESTAL |
| TOPO LINEWORK | | | ELECTRIC PEDESTAL |
| | EXISTING GAS LINE | | GUY WIRE ANCHOR |
| | EXISTING ELECTRIC GENERAL | | INLET, CURB |
| | EXISTING OVERHEAD WIRE | | INLET, SQUARE |
| | EXISTING TELEPHONE | | JUNCTION BOX |
| | EXISTING FIBER OPTIC | | LIGHT POLE |
| | EXISTING WATER LINE | | PINE |
| | EXISTING STORM SEWER LINE | | SIGN |
| | EXISTING SANITARY SEWER | | STEAM MANHOLE |
| | EXISTING FENCE | | TREE, DECIDUOUS |
| | SHWALE/DITCH LINE | | UTILITY MARKER |
| | PROPERTY LINE | | UTILITY POLE |
| | MOWLINE | | AIR CONDITIONER |
| | | | DOWN SPOUT |
| | | | TELEPHONE JUNCTION BOX |
| | | | WATER VALVE |

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTORS SHALL MAKE THEIR OWN DETERMINATION AND VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

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NO	REVISION DESCRIPTION	DATE

Payne+Dolan
A WALBECC COMPANY
www.walbecc.com
(920) 787-7559

PROJECT:
TRI CITY AUTO BUILDING AND PARKING
1415 Appleton Road, Menasha, WI

CLIENT:
FRONTIER BUILDERS AND CONSULTANTS
2920 N. PROGRESS DRIVE

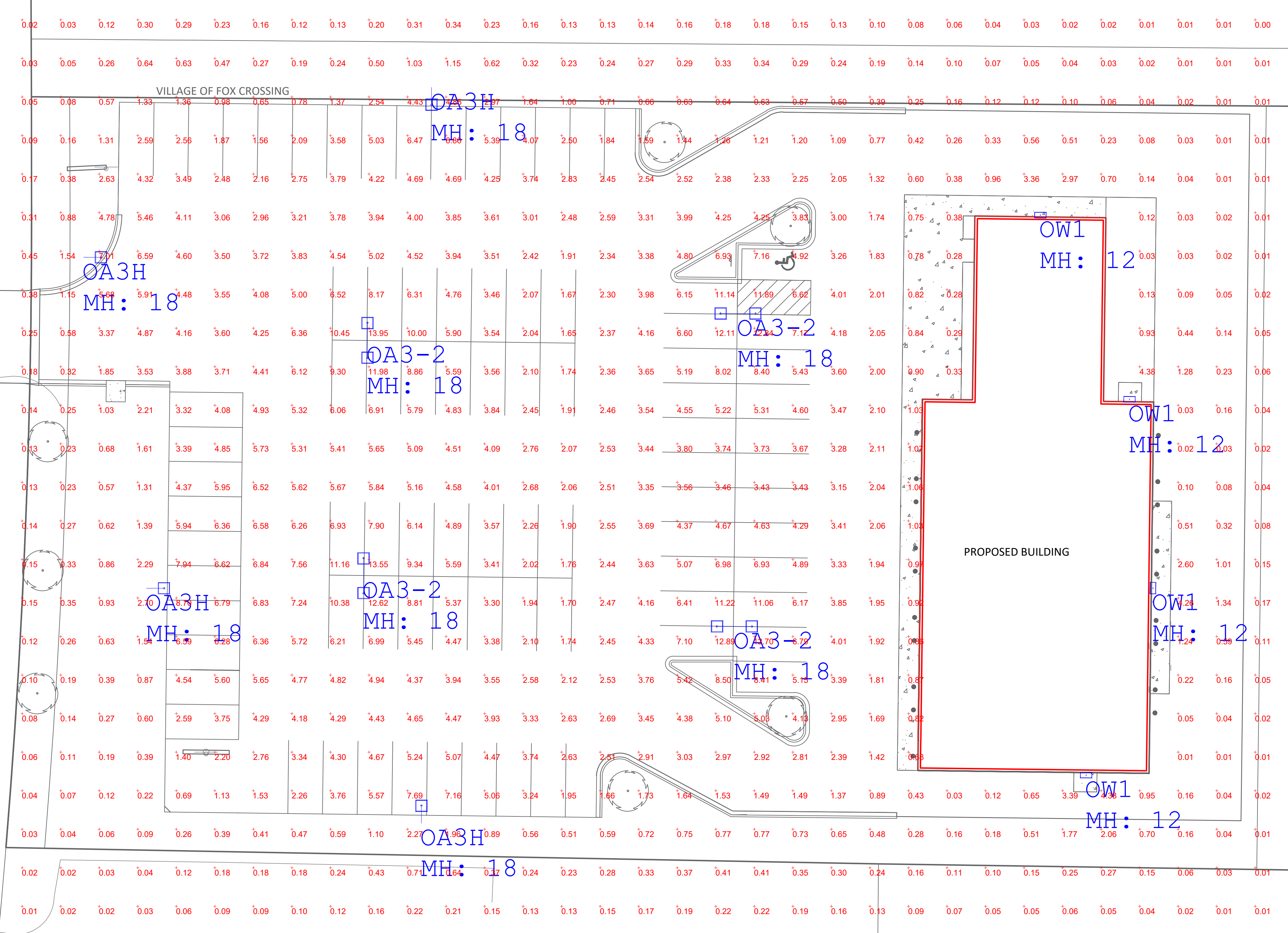
SHEET TITLE:
TOPOGRAPHIC SURVEY

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Drawing Scale: 1" = 20'
Drawn: SPK
10/13/2021
Checked:
P&D Project No: 490540
Sheet No:

C6

NB STH "47" APPLETON ROAD



Luminaire Schedule								
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens
4	OA3-2	BACK-BACK	0.950	LITHONIA	(2) RSX1 LED P4 xxK R3 (volt) SPA (finish) + 15' SSS POLE + 3' BASE	133	1064	16359
4	OA3H	SINGLE	0.950	LITHONIA	RSX1 LED P4 xxK R3 (volt) SPA HS (finish) + 15' SSS POLE + 3' BASE	133	532	12479
4	OW1	SINGLE	0.950	LITHONIA	WDGE1 LED P2 xxK 80CRI VF MVOLT (mount) (finish)	15	60	1979

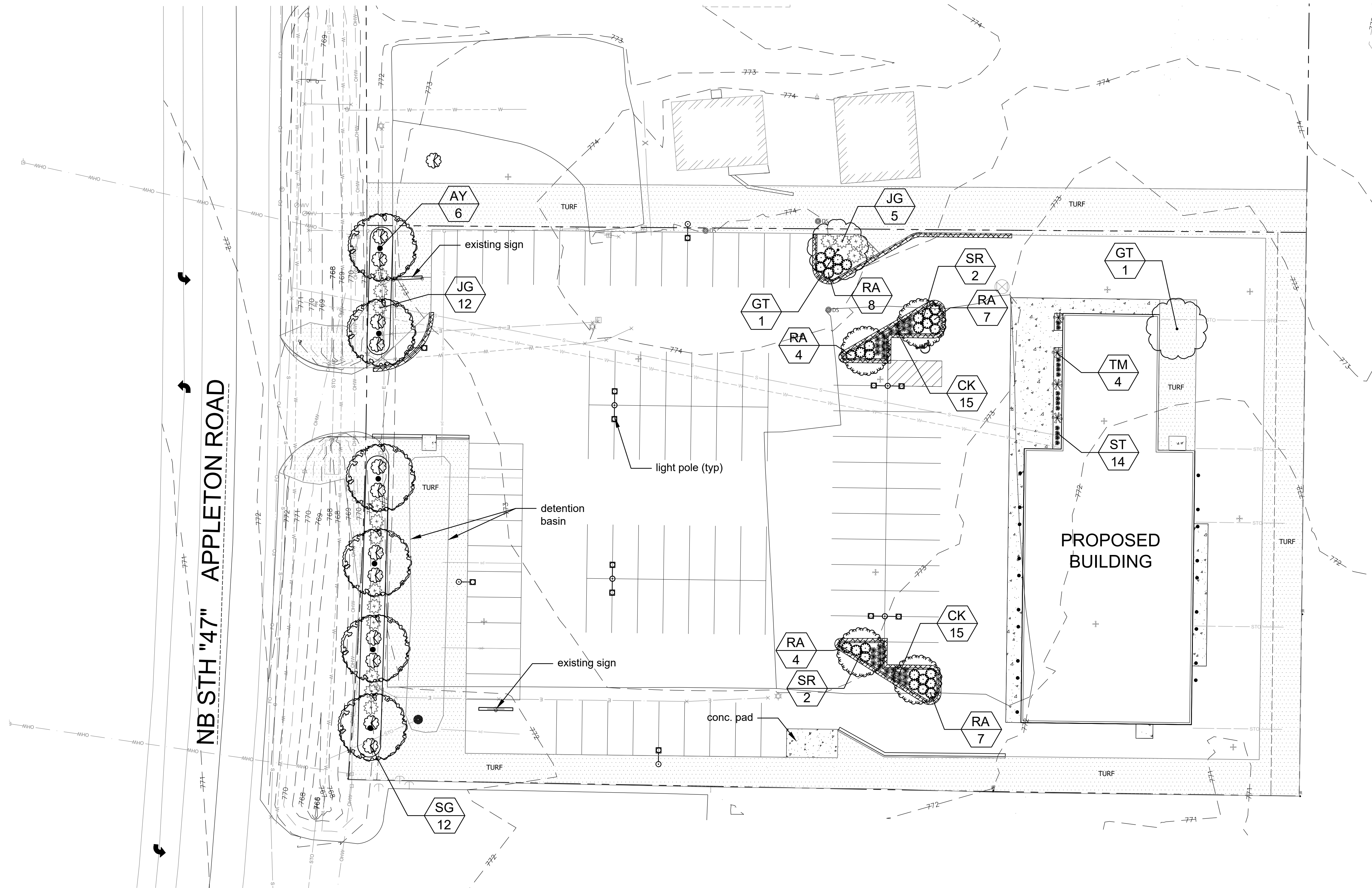
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	2.42	13.95	0.00	N.A.	N.A.
PARKING AREA	Illuminance	Fc	4.63	14.0	1.4	3.31	10.00



#	DATE	COMMENTS

DRAWN BY : AD	DATE : NOV 9, 2021	SCALE : 1/16" = 1'- 0"
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TRI-CITY AUTO
 MENASHA, WISCONSIN
 LIGHTING LAYOUT



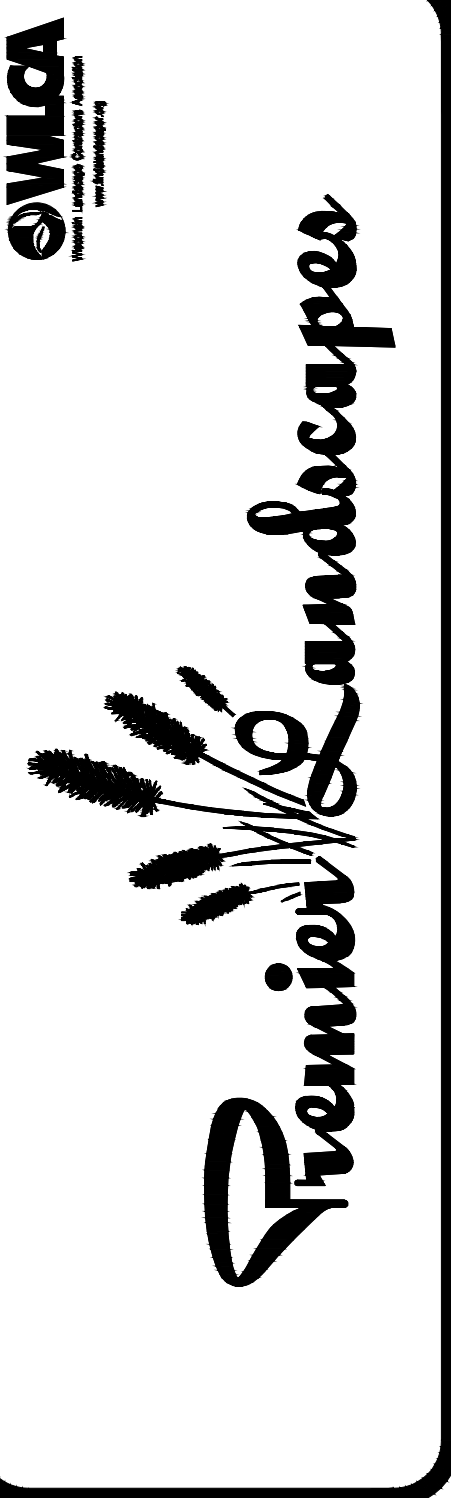
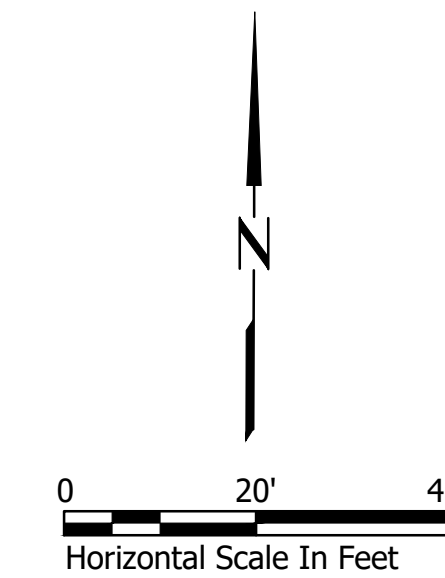
Plant Schedule

Key	Botanical Name	Common Name	Qty	Install Size	Mature Height	Root	Spacing
Canopy Trees							
AY	Acer miyabei 'Morton'	State Street Maple	6	1.5' Cal.	45'	B&B	as shown
GT	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2	1.5' Cal.	50'	B&B	as shown
SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	4	1.5' Cal.	25'	B&B	as shown
Evergreen Shrubs							
JG	Juniperus chinensis 'Sea Green'	Sea Green Juniper	17	18" spread	4.5' High	Container	5' o.c.
TM	Thuja occidentalis 'Bobozam Mr. Bowling Ball'	Mr. Bowling Ball Arborvitae	4	18" High	2.5' High	Container	as shown
Deciduous Shrubs							
RA	Rhus aromatica 'Grow Low'	Grow Low Sumac	30	18" High	3.5' High	Container	4' o.c.
SG	Spiraea x cinera 'Grefsheim'	Grefsheim Spirea	12	18" High	4' High	Container	5' o.c.
Perennials/Grasses							
CK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	30	1 Gal.	4' High	Container	20" o.c.
ST	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	14	1 Gal.	2' High	Container	20" o.c.



Gerard A. Revolinski

LANDSCAPE PLAN



LANDSCAPE DEVELOPMENT FOR
 TRI CITY AUTO SALES
 1415 APPLETON ROAD
 MENASHA, WISCONSIN

LANDSCAPE ARCHITECTURE
 DESIGN BY: GAR
 DRAWN BY: GAR
 DATE: 11/17/2021
 REVISED:
 SCALE: 1"=20'-0"
 SHEET: L100



TREES ON THE MOVE
 5611 S. Calhoun Road
 New Berlin, WI 53151
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 treesonthemove.com

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PRELIMINARY

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PROPOSED BUILDING FOR:
TRI CITY AUTO SALES

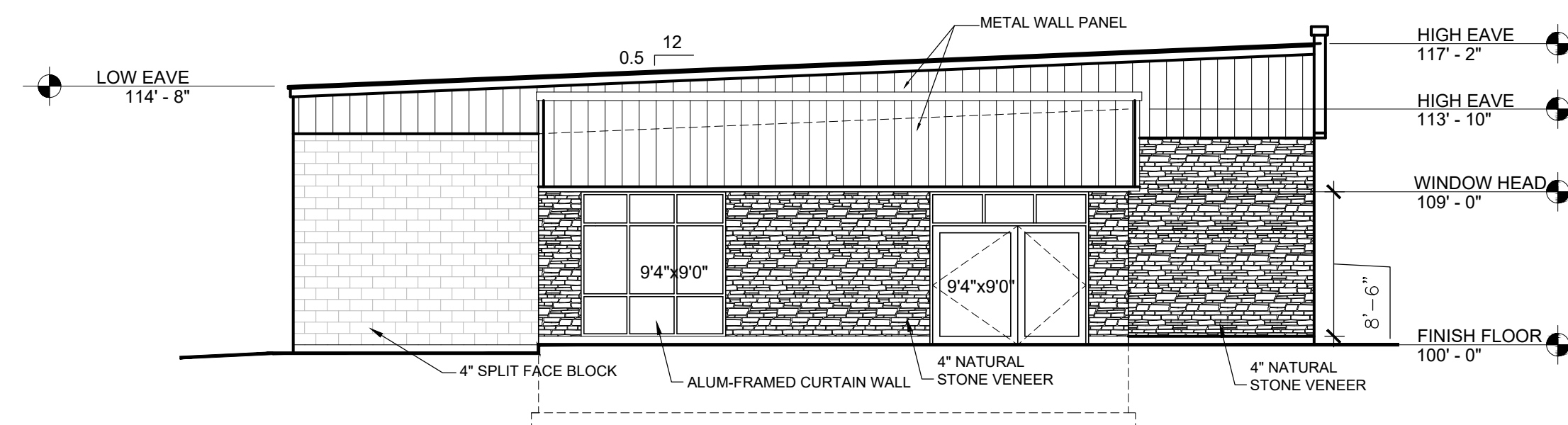
MENASHA, WI

**Sheet Title:
ELEVATIONS**

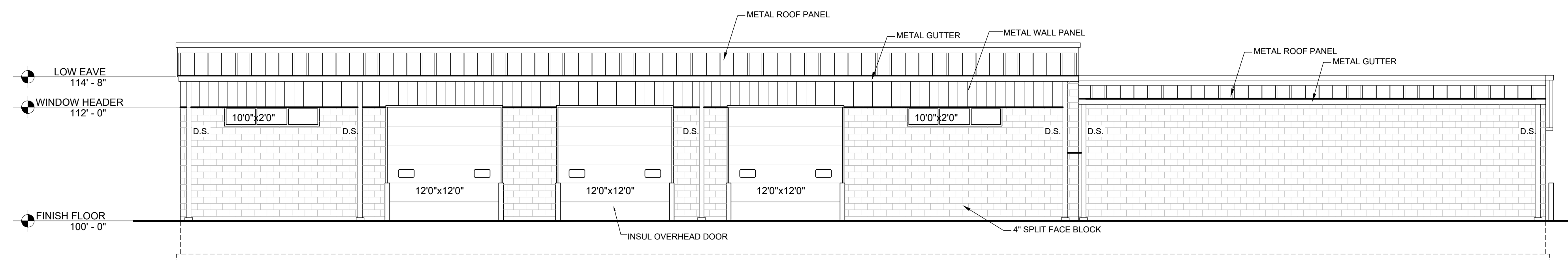
Revision:

Mark:	Date:	Description:
1	8-29-2021	-
2	9-3-2021	-
3	9-22-2021	-
4	9-28-2021	-
5	11-16-2021	-

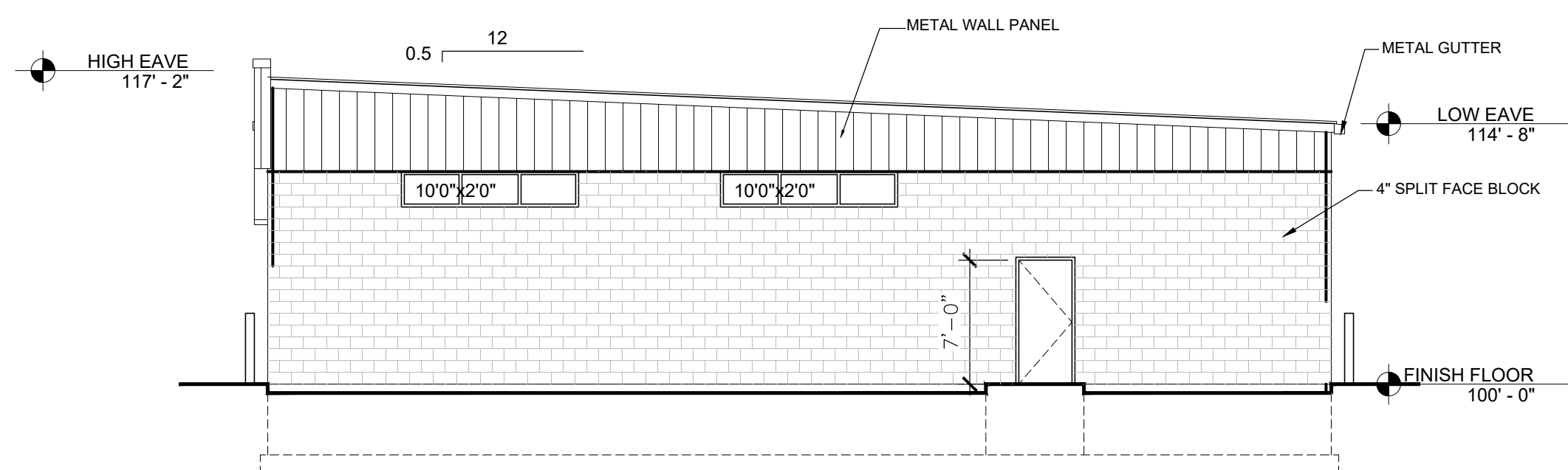
Project Number	0000
Date Issued	07-13-2021
Sheet Number	A2.0



NORTH ELEVATION
1/16" = 1'-0"

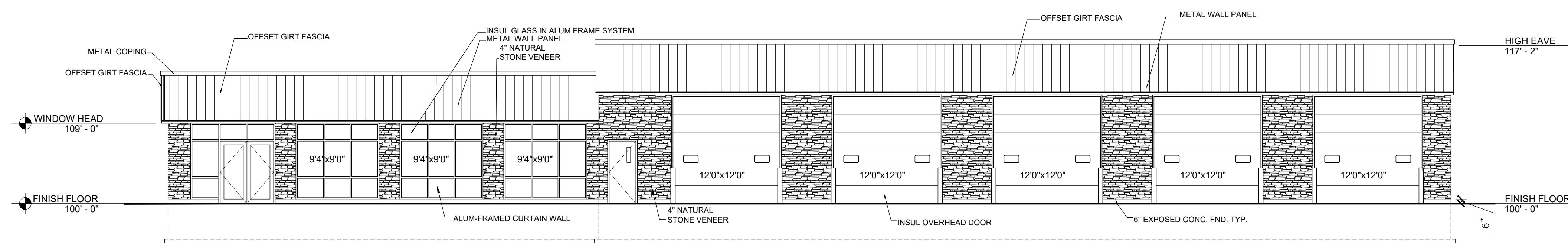


EAST ELEVATION
1/16" = 1'-0"



SOUTH ELEVATION
1/16" = 1'-0"

BUILDING DATA:		
6,345 TOTAL SQUARE FEET ALL SIDES		
O.H DOOR:	1,152 S.F.	18%
WINDOWS/WALK DOOR	626 S.F.	10%
NATURAL STONE/SPLIT FACE STONE	2,847 S.F.	45%
METAL WALL PANEL	1,730 SF.	27%



WEST ELEVATION
1/16" = 1'-0"



MEMORANDUM

To: Plan Commission
From: Community Development Department/KH
Date: December 7, 2021
Re: **Special Use Permit and Site Plan Review – Midway Road II, LLC - 1281 Midway Road
(Parcel # 6-01654-00)**

Midway Road II, LLC, has submitted an application for a special use permit to construct two additional storage unit buildings and pave the existing gravel drive/access areas. The parcel is zoned Business Park District (C-4). The use and dimensions of the proposed buildings are in conformance with the City's Business Park District (C-4).

The City of Menasha Zoning Code within a Business Park District (C-4), expansion of mini warehouse facilities in existence prior to January 1, 1991 requires a special use permit as well as a site plan review by the Plan Commission for any proposed new construction. This review includes evaluation of the site, architectural components, lighting, landscaping, and a special use permit review. The following is a breakdown of the submitted applications.

Special Use Permit

When reviewing special use permit applications, the Plan Commission shall consider the following per Section 13-1-11(b) of the City of Menasha Code of Ordinances:

- 1. The use shall be compatible with adjacent land uses so that existing uses will not be depreciated in value, and there will be no deterrents to development of vacant land;**
The use is existing and compatible with adjacent commercial land and will not cause any depreciation of value nor deter development of adjacent land.
- 2. The use shall have an appearance that will not have an adverse effect upon adjacent properties;**
The proposed buildings appearance will not have a negative impact on adjacent properties. The proposed buildings are located on an interior lot. The building elevations that abut neighboring properties consists of split-face block, regular block, and corrugated metal panel.
- 3. The use shall be reasonably related to the overall needs of the City and to existing land use patterns;**
There is high demand for storage unit rentals; therefore the property meets the overall needs of the community, the existing land use patterns and the comprehensive plan.
- 4. The use will not cause traffic hazards or congestion;**
This type of use does not typically generate a lot of traffic; therefore, the proposed development will not negatively impact traffic in the area and poses no traffic hazards.

5. The use shall have adequate utilities, access roads, drainage, and other necessary facilities.

The use will have all adequate utilities, access roads, drainage and other necessary facilities.

Site Plan Review

Site/Architectural

The applicant is proposing to construct two storage unit buildings; Unit 1 being 5,229 sq. ft. and Unit 2 being 7,714 sq. ft. They are also proposing to pave all the general driving and access areas on the site.

The façade meets the 50% masonry requirement with roughly 65% of the building being masonry block. The remainder of the façade along the roof line is a metal wall panel; however this is over the 25% allowed. The façade will need to be revised to meet requirements outlined in Sec. 13-1-12(f).

The property is not required to have any on-site parking.

Landscape

Per Section 13-1-12(g), landscaping requirements are broken down into three areas: landscape adjacent to the building, perimeter landscaping and parking lot landscaping. There are no requirements for landscaping adjacent to the building as the buildings do not face a public street. Perimeter landscaping is being installed along the southern lot line with grass being installed along the remainder of the perimeter.

Lighting

Per the provided lighting plan, the light plan is in compliance with a total of 20 outdoor light fixtures. All of the lighting is full cut-off and meets the City of Menasha Lighting Ordinance 13-1-13 (h).

Stormwater

There is an existing stormwater pond on the adjacent property to which this new development will tie into. There is an existing retention pond agreement and easements between the owners (Midway Road, LLC, Midway Road II, LLC, and C.W. Huffer, LLP) for maintenance and access to this pond. The Public Works Department has reviewed the proposed grading, erosion control and stormwater management plan. There are a couple of items they have requested and will continue to work with the engineering firm to complete.

Recommendation

Staff recommends approval of the special use permit as presented for Midway Road II, LLC for expansion for mini warehousing at 1281 Midway Road, Parcel 6-01654-00, finding that the use is existing and conforms to the comprehensive plan.

Staff recommends approval of the site plan as presented for Midway Road II, LLC for expansion of mini warehousing at 1251 Midway Road, Parcel 6-01654-00, with the following conditions:



- 1) Prior to the issuance of building permits a site improvement agreement must be recorded for the proposed development.**
- 2) Prior to the issuance of building permits a stormwater maintenance agreement, signed by all three property owners, must be recorded for the proposed development.**
- 3) Revised building elevations meeting section 13-1-12(f) is submitted and approved prior to executing the site improvement agreement.**

Special Use Permit Location

Proposed Use: Expansion of Mini Warehouse Facilities



Legend

-  1281 Midway Road
-  Parcel Number 6-01654-00

N



1 inch = 200 feet

PROPOSED BUILDINGS FOR: MIDWAY ROAD II, LLC

1281 Midway Rd, Menasha, WI 54952

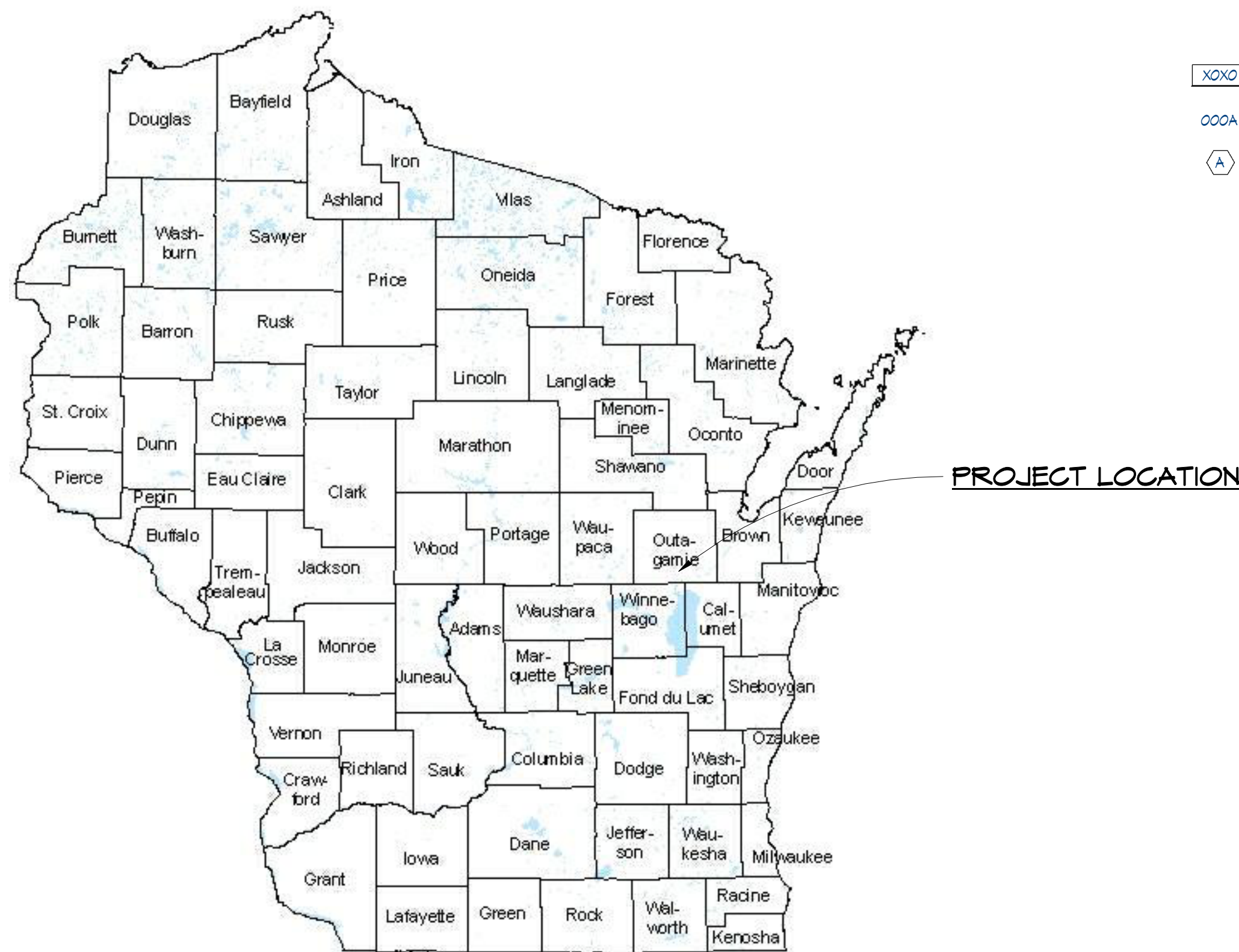
GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- ALL WORK TO BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND LOCAL ORDINANCES.
- EACH CONTRACTOR IS TO OBTAIN AND PAY FOR PERMITS, LICENSES, & FEES.
- EACH CONTRACTOR SHALL COORDINATE HIS OR HER WORK WITH UTSCHIG INC. FOR THE PROJECT.
- EACH CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND REPORT ANY VARIATIONS TO THE DRAWINGS TO UTSCHIG INC.
- ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR FIRE PROTECTION CONDUIT, PIPING OR DUCTWORK ARE TO BE REPAIRED BY THE RESPONSIBLE TRADE. ANY HOLES OR PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE APPROPRIATELY FIRESTOPPED, DAMPERED, OR SEALED AS REQUIRED BY CODE.
- CLEANING BY EACH TRADE TO BE DONE ON FINAL WORK DAY OF EACH WEEK TO ENSURE SAFE WORKING CONDITIONS. ALL TRADES TO CLEAN UP ALL ITEMS RELATED TO THEIR SPECIFIC WORK. GARBAGE TO BE PLACED IN PROJECT SUPPLIED DUMPSTER BY UTSCHIG INC.
- FINAL CLEANING TO BE BY UTSCHIG INC.
- EACH DESIGN/BUILD CONTRACTOR TO SUBMIT THREE COPIES OF STATE APPROVED DRAWINGS TO ARCHITECT ALONG WITH SPECIFICATIONS OF THE PRODUCTS TO BE INSTALLED PRIOR TO BEGINNING OF WORK.

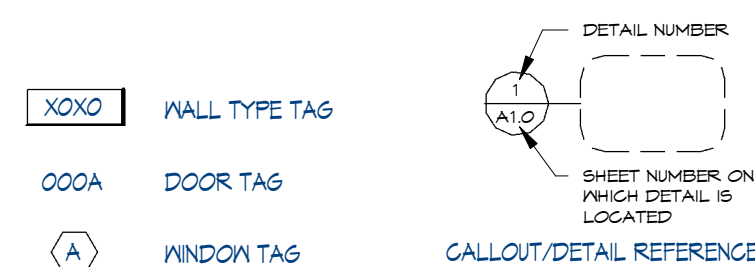
PROJECT CODES:

BUILDING CODE	2015 INTERNATIONAL BUILDING CODE
OCCUPANCY CLASS	S-1 STORAGE
CLASS OF CONST.	TYPE 2B
GROUND SNOW LOAD	40 LBS
COLLATERAL LOAD	5 LBS
WIND LOAD	115 MPH
WIND EXPOSURE	C
SEISMIC CATEGORY	A
AUTOMATIC FIRE SPRINKLER SYSTEM	NONE
SOIL BEARING PRESSURE	2,000 LBS ASSUMED
EXIT SIGNS	INSTALL PER IBC SECTION 1011
FIRE EXTINGUISHERS	INSTALL PER NFPA 1 & LOCAL CODES

PROJECT LOCATION:



DRAWING SYMBOLS:



ARCHITECT:

UTSCHIG INC.
JEREMY J WESENER
N1040 CRAFTSMEN DRIVE
GREENVILLE, WI 54942
920-757-0999

SHEET INDEX:

GENERAL	BID SET	STATE	FOR CONSTRUCTION
TO.1	TITLE SHEET	8/20/21	
CIVIL			
C1.0	COVER SHEET	8/20/21	
C1.1	SITE PLAN	8/20/21	
C1.2	SITE PLAN KEYNOTES	8/20/21	
C1.3	TOPOGRAPHIC SURVEY	8/20/21	
C2.1	UTILITY LAYOUT PLAN	8/20/21	
C3.1	DRAINAGE PLAN	8/20/21	
C4.1	EROSION CONTROL PLAN	8/20/21	
C4.2	EROSION CONTROL DETAILS	8/20/21	
C4.3	EROSION CONTROL DETAILS	8/20/21	
C5.1	STANDARD DETAILS	8/20/21	
E1.1	PHOTOMETRICS	10/14/21	
L1.1	LANDSCAPING PLAN	8/27/21	
STRUCTURAL			
S1.1	OVERALL FOUNDATION PLAN	8/20/21	
ARCHITECTURAL			
A1.1	BLDG 1 - FLOOR PLAN & ELEVATIONS	8/20/21	
A1.2	BLDG 2 - FLOOR PLAN	8/20/21	
A2.1	BLDG 2 - ELEVATIONS	8/20/21	
A3.1	BUILDING SECTIONS	8/20/21	
A5.1	DETAILS	8/20/21	
A6.1	ROOM & DOOR FINISH SCHEDULE	8/20/21	



1
TO.1 VIEW FROM MIDWAY ROAD

PROPOSED BUILDINGS FOR:
MIDWAY ROAD II, LLC
1281 Midway Rd., Menasha, WI 54952
TITLE SHEET

No.	Date	Description

Architect of Record

ISSUED FOR CONSTRUCTION

Drawn By	Approved By
JUN	Checker
Project No.	Date
20-2252	01/13/21
Sheet No.	

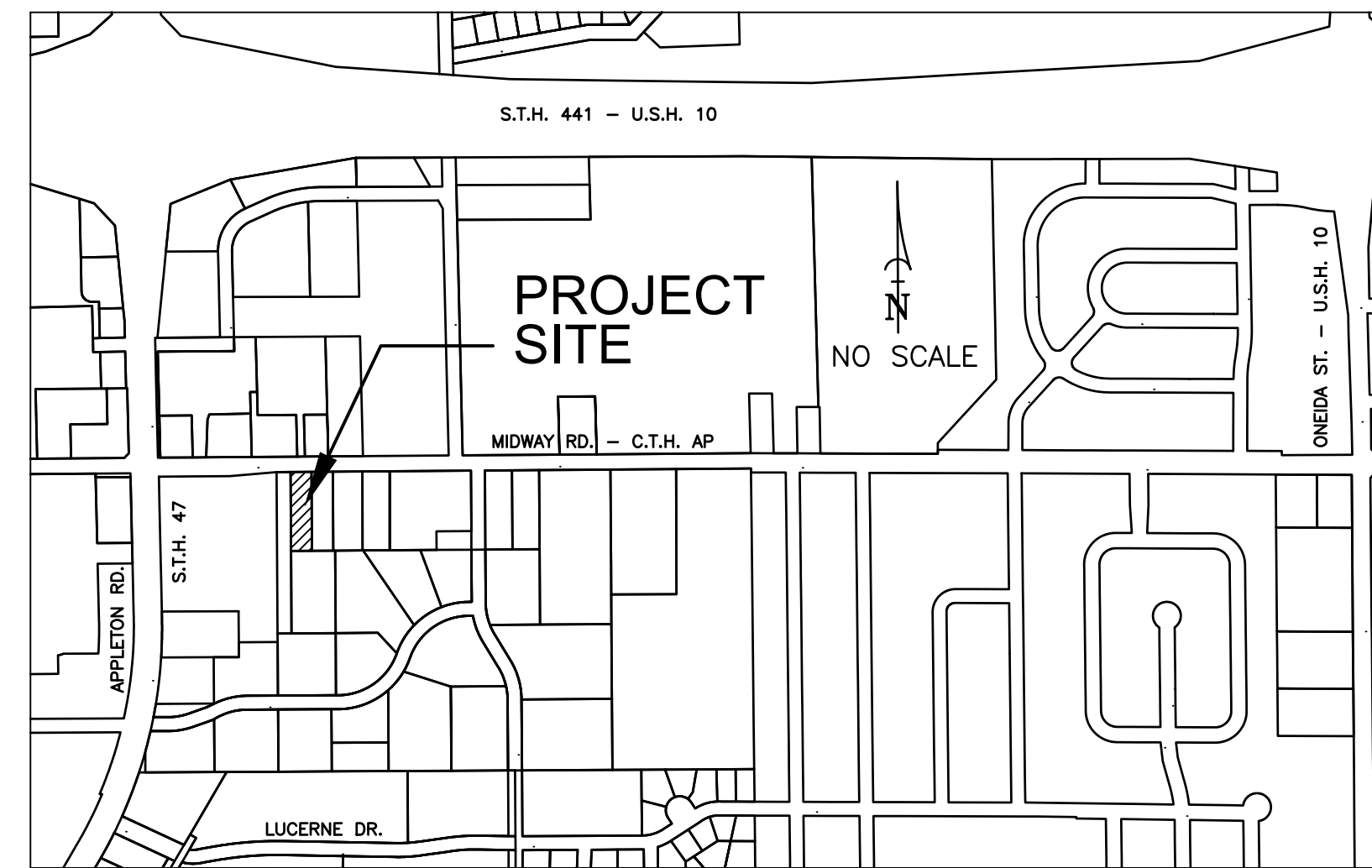
TO.1

MIDWAY ROAD STORAGE BUILDINGS

CITY OF MENASHA, OUTAGAMIE COUNTY, WISCONSIN

PERTINENT CONTACTS	CONTACT PERSON	PHONE
MUNICIPALITY		
CITY OF MENASHA	SAM SCHROEDER	920-967-3650
OWNER		
MIDWAY ROAD II, LLC	ERIC JACOBSON	920-850-4209
DESIGN - BUILDER		
UTSCHIG, INC.	JEREMY WESENER	920-757-0999
ENGINEER / SURVEYOR		
MARTENSON & EISELE	JACK RICHESON	920-731-0381
MARTENSON & EISELE	GARY ZHRINGER	920-731-0381

LOCATION MAP



REVISION TRACKERS

DESIGN DEVELOPMENT REVISION TRACKER

NO.	DATE	DESCRIPTION
1	10/15/2021	STORM UTILITY REVISIONS

CONSTRUCTION DOCUMENT REVISION TRACKER

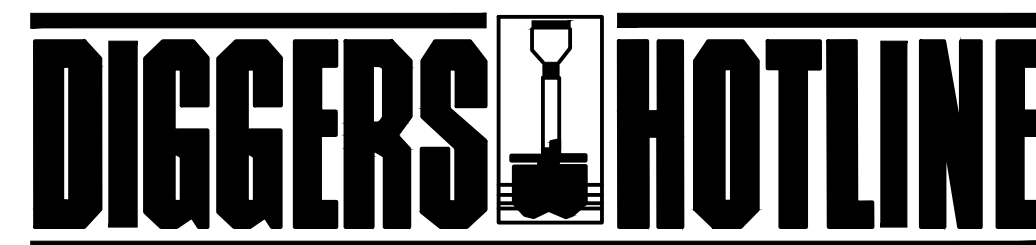
NO.	DATE	DESCRIPTION

RECORD DRAWING REVISION TRACKER

NO.	DATE	DESCRIPTION

INDEX OF SHEETS

DRAWING NO.	DESCRIPTION:
C1.0	COVER SHEET
C1.1	SITE PLAN
C1.2	SITE PLAN KEYNOTES
C1.3	TOPOGRAPHIC SURVEY
C2.1	UTILITY LAYOUT PLAN
C3.1	DRAINAGE PLAN
C4.1	EROSION CONTROL PLAN
C4.2	EROSION CONTROL DETAILS
C4.3	EROSION CONTROL DETAILS
C5.1	STANDARD DETAILS



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

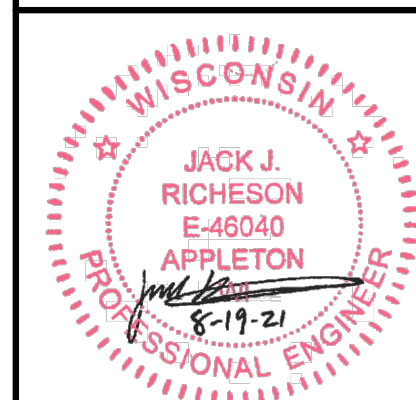
Martenson & Eisele, Inc.
1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381

Planning
Environmental
Surveying
Engineering
Architecture

DRAWN BY	CRC	CHECKED	ALM	APPROVED	JUR	FIELDWORK	
						MLR	DATE

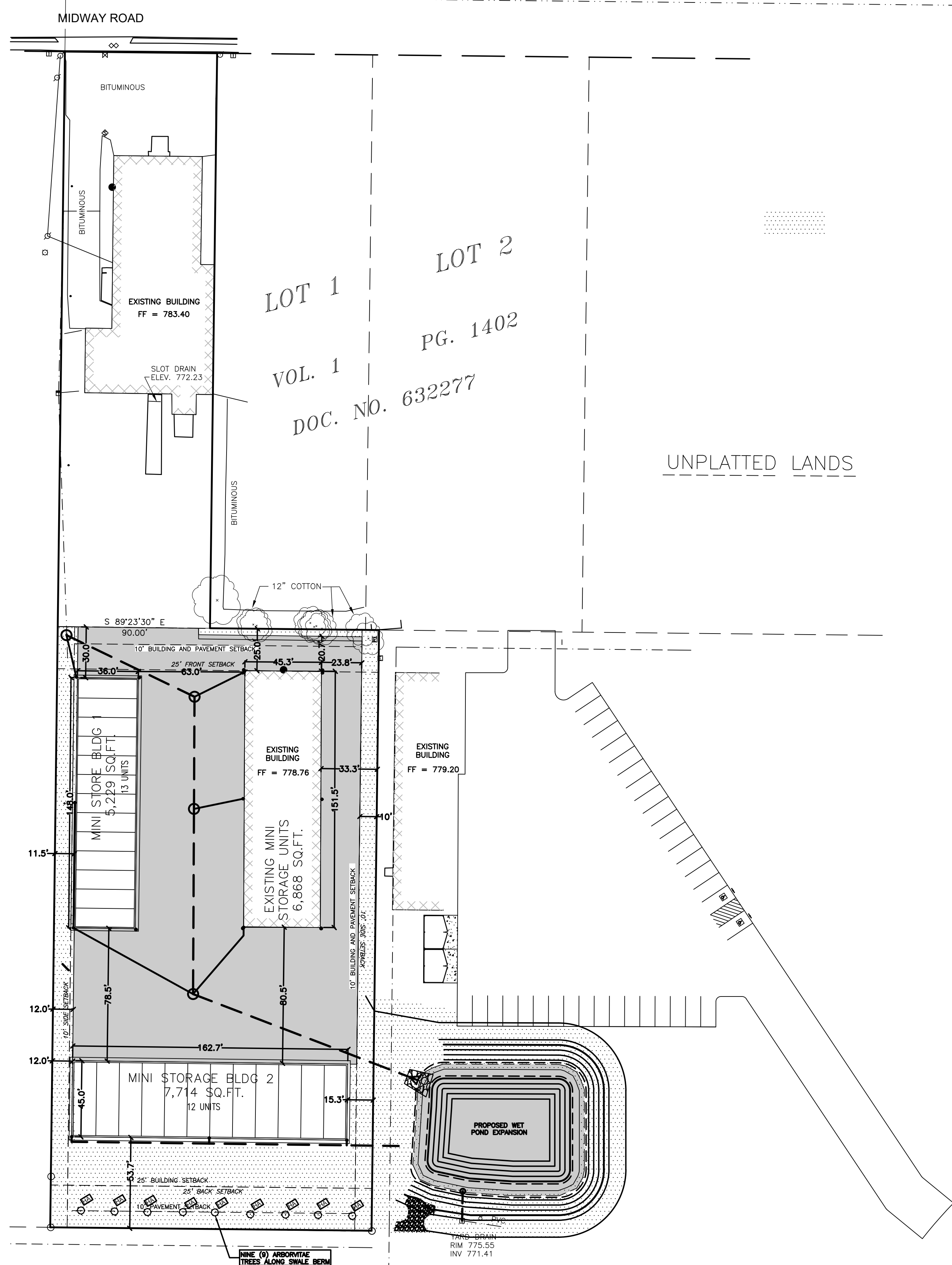
COVER SHEET
MIDWAY ROAD STORAGE BUILDINGS
CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE DATE
BAR SCALE 08-23-2021
COMPUTER FILE
1-0178-017de.dwg



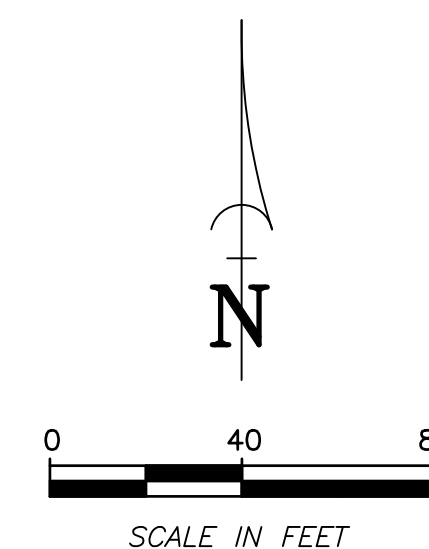
DRAWING NO.
C1.0

SITE PLAN: MIDWAY ROAD STORAGE BUILDINGS



LEGEND

- ASPHALT PAVEMENT
- RESTORED GRASS



OWNER/APPLICANT:

MIDWAY ROAD II, LLC
 ATTN: ERIC JACOBSON
 733 MIDWAY ROAD
 MENASHA, WI 54952
 (920) 850-4209

ENGINEER:

MARTENSON & EISELE, INC.
 ATTN: JACK RICHESON, P.E.
 1377 MIDWAY ROAD
 MENASHA, WI 54952
 jackr@martenson-eisele.com
 PHONE: 920-731-0381

SITE DATA:

AREA = 67,516 SF (1.55 AC)

EXISTING:

EXISTING ROOF: 6,868 SF
 EXISTING PAVEMENT: 40,494 SF
 EXISTING GREEN SPACE: 20,154 SF
 PERCENT IMPERVIOUS: 70.1%

PROPOSED (TOTAL):

PROPOSED ROOF: 19,811 SF
 PROPOSED PAVEMENT: 31,182 SF
 PROPOSED GREEN SPACE: 16,523 SF
 PERCENT IMPERVIOUS: 75.5%

LANDSCAPING REQUIREMENTS

REQUIREMENTS OF SECTION 13-1

SITE PLAN NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL OF CITY OF MENASHA REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
- ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D, LATEST VERSION.
- THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
- NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

ZONING DATA

CURRENT ZONING DISTRICT:
 C-4 OR BUSINESS PARK DISTRICT

SITE/PROJECT INFORMATION

PROPERTY ADDRESS:
 1281 MIDWAY ROAD, MENASHA, WI 54952

PARCEL NUMBER: 760165300 & 760165400

PARKING CALCULATIONS

REQUIREMENTS OF SECTION 13-1-51

NRCS SOILS

NhA--Neeenah Silty Clay Loam
 Hydrologic Soil Type D.
 WnB--Winneconne Silty Clay Loam
 Hydrologic Soil Type D.

LEGAL DESCRIPTION

PART OF THE NORTHWEST 1/4 OF THE
 NORTHWEST 1/4, SECTION 12,
 TOWNSHIP 20 NORTH, RANGE 17 EAST,
 CITY OF MENASHA, WINNEBAGO COUNTY,
 WISCONSIN.

PERTINENT CONTACTS	CONTACT PERSON	PHONE
CITY OF MENASHA	SAM SCHROEDER	920-967-3650
DESIGN BUILDER	JEREMY WESENER	920-757-0999
SURVEYOR (M&E)	GARY ZHRINGER	920-731-0381
ENGINEER (M&E)	JACK RICHESON	920-731-0381

TOPOGRAPHIC LEGEND		
	OVERHEAD POWER LINES	
	UNDERGROUND ELECTRIC	
	UNDERGROUND TELEPHONE	
	UNDERGROUND FIBEROPTIC	
	UNDERGROUND GAS	
	UNDERGROUND CABLE TV	
	EXIST. FENCE LINE	
	SIGN	
	POWER POLE	
	GUY	
	LIGHT POLE	
	TELEPHONE PEDESTAL	
	ELECTRIC PEDESTAL	
	CABLE PEDESTAL	
	EXIST. HYDRANT	
	WATER VALVE	
	WATER STOP BOX	

Martenson & Eisele, Inc.
 Planning
 Environmental
 Surveying
 Engineering
 Architecture
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381

DRAWN BY	CHECKED	APPROVED	FIELDWORK	MLR	
				DATE	NO.
CRG	ALM	JUR			
** REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **				NO.	DATE
1				10/15/2021	

SITE PLAN
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	08-23-2021

COMPUTER FILE
 1-0178-017de.dwg

DRAWING NO.
 C1.1

SITE PLAN KEYNOTES: MIDWAY ROAD STORAGE BUILDINGS

BM-1

MIDWAY ROAD

BITUMINOUS

BITUMINOUS

EXISTING BUILDING
FF = 783.40

SLOT DRAIN
ELEV. 772.23

LOT 1

LOT 2

VOL. 1

PG. 1402

DOC. NO. 632277

UNPLATTED LANDS

S 89°23'30" E
90.00'

12" COTTON

EXISTING BUILDING
FF = 778.76

EXISTING BUILDING
FF = 779.20


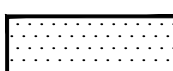
14' SIDE SETBACK

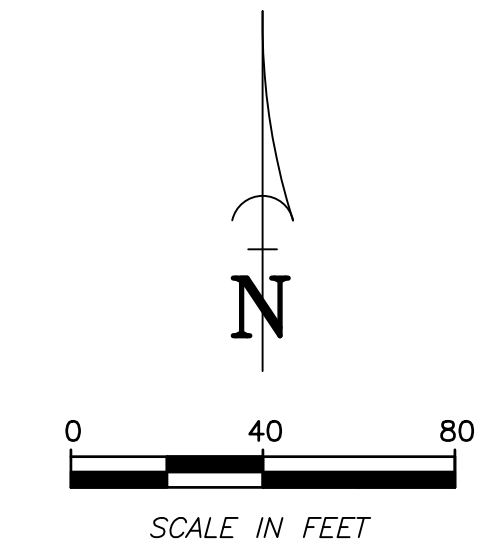
28' BACK SETBACK

PROPOSED WET POND EXPANSION

RIM 775.55
INV 771.41

LEGEND

-  PAVEMENT
-  GRASS



PLAN KEY LEGEND

① STANDARD PARKING & DRIVING AREAS	①
② STORM SEWER PRE-CAST MANHOLE	②
③ CLASS "B" BEDDING FOR PVC PIPE	③
④ SAFETY/TRASH GUARD FOR FLARED ENDS	④
⑤ ENDWALL RIP-RAP DETAIL	⑤
⑥ EXTERIOR DOWNSPOUT COLLECTOR	⑥
⑦ PIPE BOLLARD DETAIL	⑦
⑧ LATERAL CLEANOUT	⑧

TOPOGRAPHIC LEGEND

<ul style="list-style-type: none"> ■ 1" x 18" IRON PIPE FOUND ▲ 1-1/4" x 30" REBAR FOUND ✕ CHISELED "X" SET □ 3/4" REBAR FOUND ○ 1" IRON PIPE FOUND △ 1-1/4" REBAR FOUND ■ 2" IRON PIPE FOUND ● CHISELED "X" FOUND ⊕ GOVERNMENT CORNER ⊙ RECORDED AS ⊙ CONFEROUS TREE ⊙ DECIDUOUS TREE ⊙ EXIST. WOODS LINE ⊙ WETLANDS ⊙ TELEPHONE MANHOLE 	<ul style="list-style-type: none"> —OH— OVERHEAD POWER LINES —E— UNDERGROUND ELECTRIC —T— UNDERGROUND TELEPHONE —FIBER— UNDERGROUND FIBEROPTIC —G— UNDERGROUND GAS —CATV— UNDERGROUND CABLE TV —X—X— EXIST. FENCE LINE —S—S— EXIST. WATER MAIN ⊙ POWER POLE ⊙ GUY ⊙ LIGHT POLE ⊙ TELEPHONE PEDESTAL ⊙ ELECTRIC PEDESTAL ⊙ CABLE PEDESTAL ⊙ EXIST. HYDRANT ⊙ WATER VALVE ⊙ WATER STOP BOX 	<ul style="list-style-type: none"> ⊙ GAS VALVE ⊙ EXIST. STORM MANHOLE ⊙ STORM INLET ⊙ YARD DRAIN ⊙ EXIST. SANITARY MANHOLE ⊙ EXIST. SAN. SEWER ⊙ EXIST. STD. SEWER ⊙ EXIST. WATER MAIN ⊙ EXIST. SPOT ELEVATION —000— CONTOUR W/ ELEVATION 000.000 EXIST. TOP OF CURB ELEV. 000.000 EXIST. FLOW LINE ELEV. FF = 000.00 FIRST FLOOR = 000.00 ⊙ TOPSOIL DEPTH ⊙ INFILTRATION SOIL BORING
--	---	--

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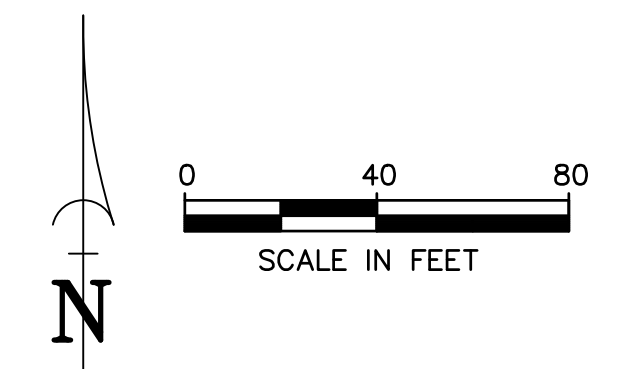
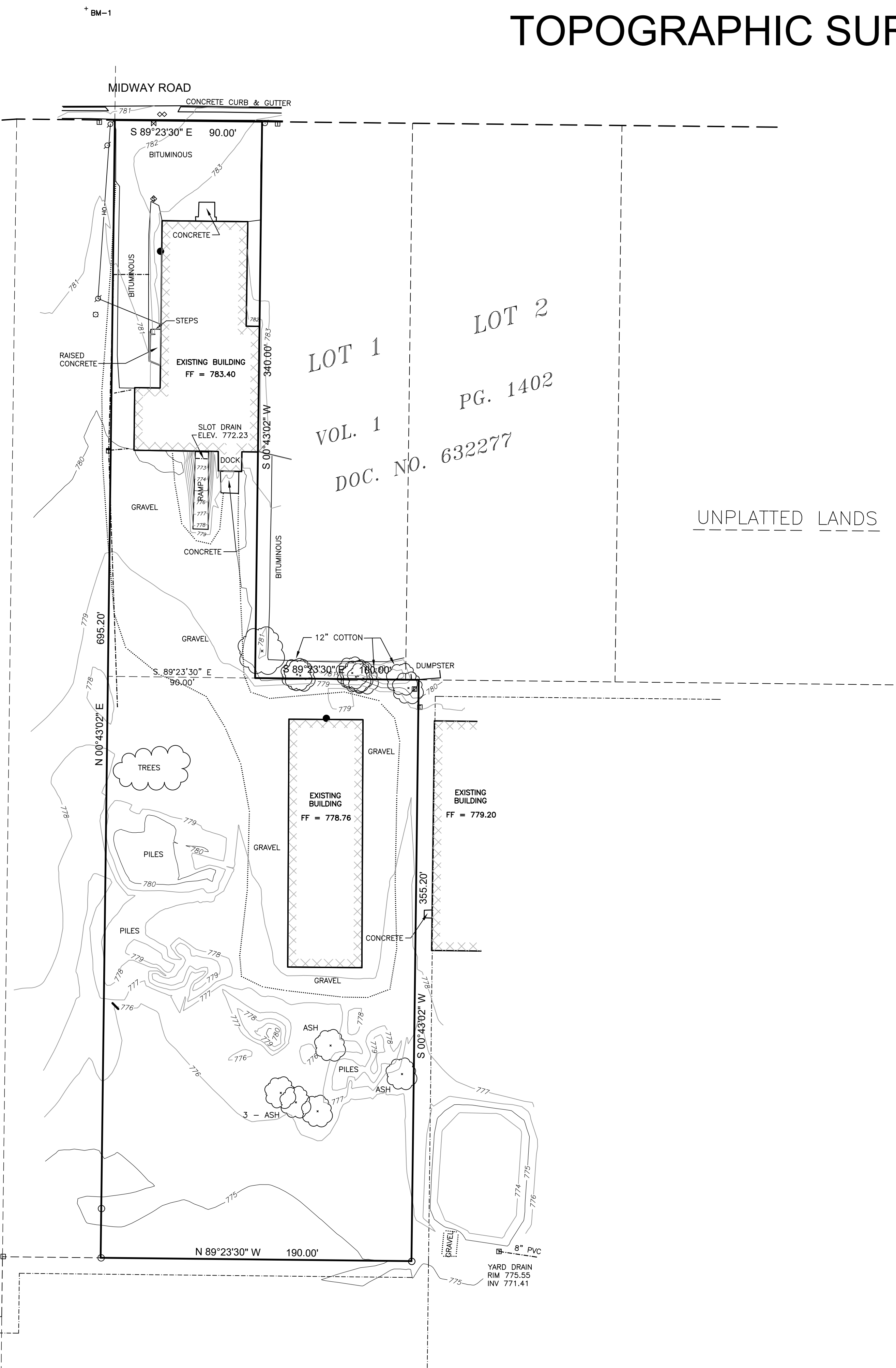
DRAWN BY	CHECKED	APPROVED	FIELDWORK	
			MLR	DATE
CRG	ALM	JUR		
** REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **				
NO.	DATE	NO.	DATE	DATE
1	10/15/2021			

SITE PLAN KEYNOTES
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE: BAR SCALE
 DATE: 08-23-2021
 COMPUTER FILE: 1-0178-017de.dwg

DRAWING NO. C1.2

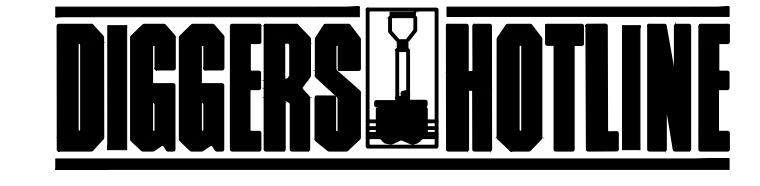
TOPOGRAPHIC SURVEY



LOT 1
LOT 2
VOL. 1
PG. 1402
DOC. NO. 632277

UNPLATTED LANDS

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT	783.59



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- TOPOGRAPHIC SURVEY NOTES**
- UTILITY AND LATERAL LOCATIONS SHOWN ARE BASED ON FIELD MARKINGS BY LOCATING COMPANIES AND THE CITY OF MENASHA, AND/OR MAPPING FROM THE RESPECTIVE UTILITY. THEREFORE THE LOCATIONS SHOWN ON THIS DRAWING CANNOT BE GUARANTEED. CONTACT DIGGERS HOTLINE AND THE CITY OF MENASHA PRIOR TO CONSTRUCTION.
 - BASE SURVEY WAS PREPARED BY M&E, DECEMBER 2015. UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND AVOID DAMAGE THERETO.
 - HORIZONTAL DATUM IS BASED WINNEBAGO COUNTY, WISCONSIN COUNTY COORDINATE SYSTEM.
 - ACCURACY CAN BE IMPACTED BY WINTER CONDITIONS, I.E. FROST HEAVE, SNOW AND ICE COVER. MARTENSON & EISELE, INC. MAKES NO WARRANTY FOR INACCURACIES CAUSED BY THESE WINTER CONDITIONS.

TOPOGRAPHIC LEGEND		
<ul style="list-style-type: none"> ▲ 1" x 18" IRON PIPE SET ■ 1-1/4" x 30" REBAR SET × CHESELED "x" SET ○ 3/4" REBAR FOUND □ 1" IRON PIPE FOUND △ 1-1/4" REBAR FOUND ◇ 2" IRON PIPE FOUND ⊙ CHESELED "x" FOUND ⊕ GOVERNMENT CORNER ⊙ CONIFEROUS TREE ⊙ DECIDUOUS TREE ⊙ EXIST. WOODS LINE ⊙ WETLANDS ⊙ SOIL BORING 	<ul style="list-style-type: none"> —OH— OVERHEAD POWER LINES —E— UNDERGROUND ELECTRIC —T— UNDERGROUND TELEPHONE —FIBER— UNDERGROUND FIBEROPTIC —GAS— UNDERGROUND GAS —CATV— UNDERGROUND CABLE TV —X—X— EXIST. FENCE LINE ⊙ SIGN ⊙ POWER POLE ⊙ GUY ⊙ LIGHT POLE ⊙ TELEPHONE PEDESTAL ⊙ ELECTRIC PEDESTAL ⊙ CABLE PEDESTAL ⊙ EXIST. HYDRANT ⊙ WATER VALVE ⊙ WATER STOP BOX 	<ul style="list-style-type: none"> ⊙ GAS VALVE ⊙ EXIST. STORM MANHOLE ⊙ STORM INLET ⊙ YARD DRAIN ⊙ EXIST. SANITARY MANHOLE ⊙ EXIST. SAN. SEWER ⊙ EXIST. STO. SEWER ⊙ EXIST. WATER MAIN ⊙ EXIST. SPOT ELEVATION ⊙ CONTOUR W/ ELEVATION 000.00± EXIST. TOP OF CURB ELEV. 000.00± EXIST. FLOW LINE ELEV. FF = 000.00 FIRST FLOOR = 000.00 ⊙ TOPSOIL DEPTH ⊙ INFILTRATION SOIL BORING

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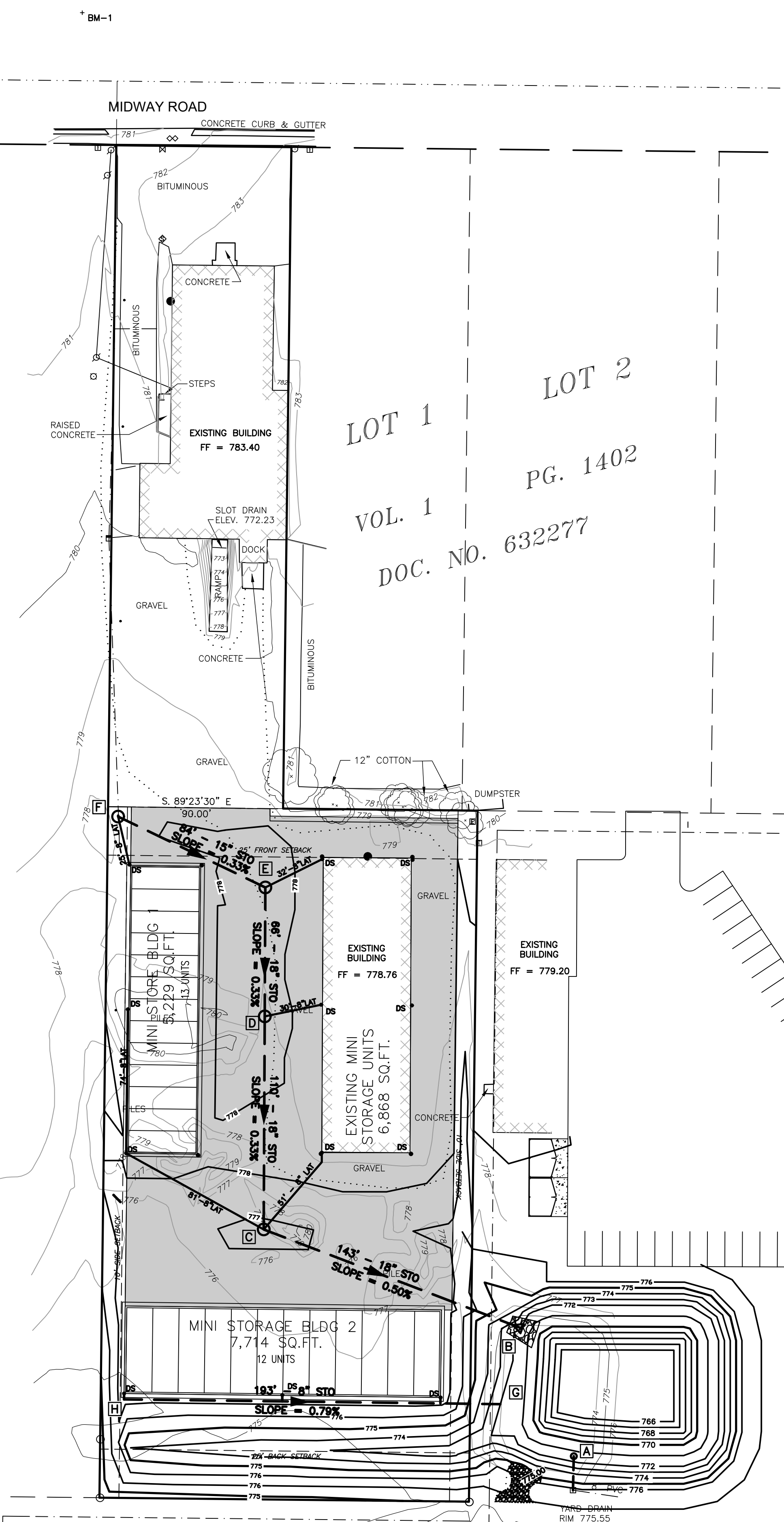
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			FIELDWORK	REVISION
EAE				

TOPOGRAPHIC SURVEY
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE: _____ DATE: 12/11/15
 BAR SCALE: _____
 COMPUTER FILE: 1-0178-017topo.dwg

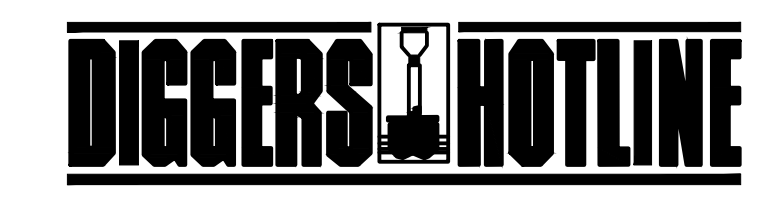
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UTILITY LAYOUT PLAN: MIDWAY ROAD STORAGE BUILDINGS



PROPOSED STORM UTILITY SCHEDULE				
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)	INLET TYPE
A	(SEE C3.2)	POND OUTLET STRUCTURE	(SEE C3.2)	(SEE C3.2)
EW B	-	INV 18" NW 771.50	-	18" ENDWALL
MH C	776.75	INV 8" NW 772.42 INV 18" N,SE 772.22	4.53	48" GRATED STO MH
MH D	777.30	INV 8" W 772.78 INV 18" N 772.78 INV 18" S 772.58	4.72	36" GRATED STO MH
MH E	777.00	INV 8" NE 773.20 INV 15" NW 773.00 INV 18" S 773.00	4.00	36" GRATED STO MH
MH F	778.20	INV 8" S 777.05 INV 8" N 773.48 INV 15" SE 773.28	4.92	36" GRATED STO MH
EW G	-	INV 8" W 772.00	-	8" PIPE END
MH H	777.75	INV 8" E 773.50	4.25	8" DOWNSPOUT CONNECTION

UNPLATTED LANDS



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL 811 or Toll Free 1-800-242-8511
 (262)432-7910
 Emergency Only (877) 500-9592
 FAX 1-800-338-3860
 FAX (414) 259-0947
 Hearing Impaired TDD 1-800-542-2289

WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

BENCHMARK DATA

I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT	783.59

UTILITY PLAN NOTES

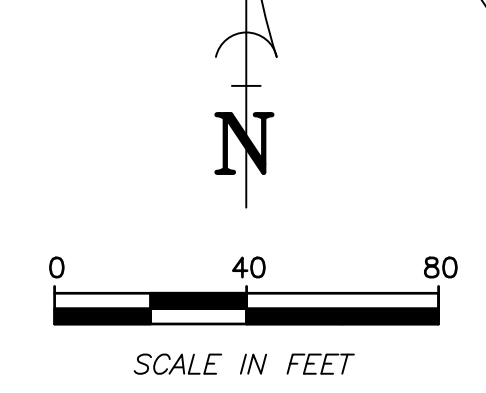
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
- ALL UTILITY CONNECTIONS SHALL BE DONE IN ACCORDANCE WITH THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, 6TH EDITION" AND THE SANITARY DISTRICT STANDARD SPECIFICATIONS.
- ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
- THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
- CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

UTILITY LAYOUT PLAN LEGEND

EXISTING CONTOUR	STORM MANHOLE
PROPOSED CONTOUR	STORM INLET
STORM MAIN	SANITARY MANHOLE
WATER MAIN	HYDRANT
SANITARY MAIN	WATER VALVE
UTILITY LATERAL	

TOPOGRAPHIC LEGEND

1" x 18" IRON PIPE SET	OVERHEAD POWER LINES	GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	EXIST. STORM MANHOLE
CHESEBOLD "Y" SET	UNDERGROUND TELEPHONE	STORM INLET
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC	YARD DRAIN
1" IRON PIPE FOUND	UNDERGROUND GAS	EXIST. SANITARY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	EXIST. SAN. SEWER
2" IRON PIPE FOUND	EXIST. FENCE LINE	EXIST. STO. SEWER
CHESEBOLD "Y" FOUND	SIGN	EXIST. WATER MAIN
GOVERNMENT CORNER	POWER POLE	EXIST. SPOT ELEVATION
RECORDED AS	GUY	CONTOUR W/ ELEVATION
CONFEROUS TREE	LIGHT POLE	EXIST. TOP OF CURB ELEV.
DECIDUOUS TREE	TELEPHONE PEDESTAL	EXIST. FLOW LINE ELEV.
EXIST. WOODS LINE	ELECTRIC PEDESTAL	FF = 000.00 FIRST FLOOR = 000.00
WETLANDS	CABLE PEDESTAL	STORM INLET
SOIL BORING	EXIST. HYDRANT	TOPSOIL DEPTH
	WATER VALVE	INFILTRATION SOIL BORING
	WATER STOP BOX	



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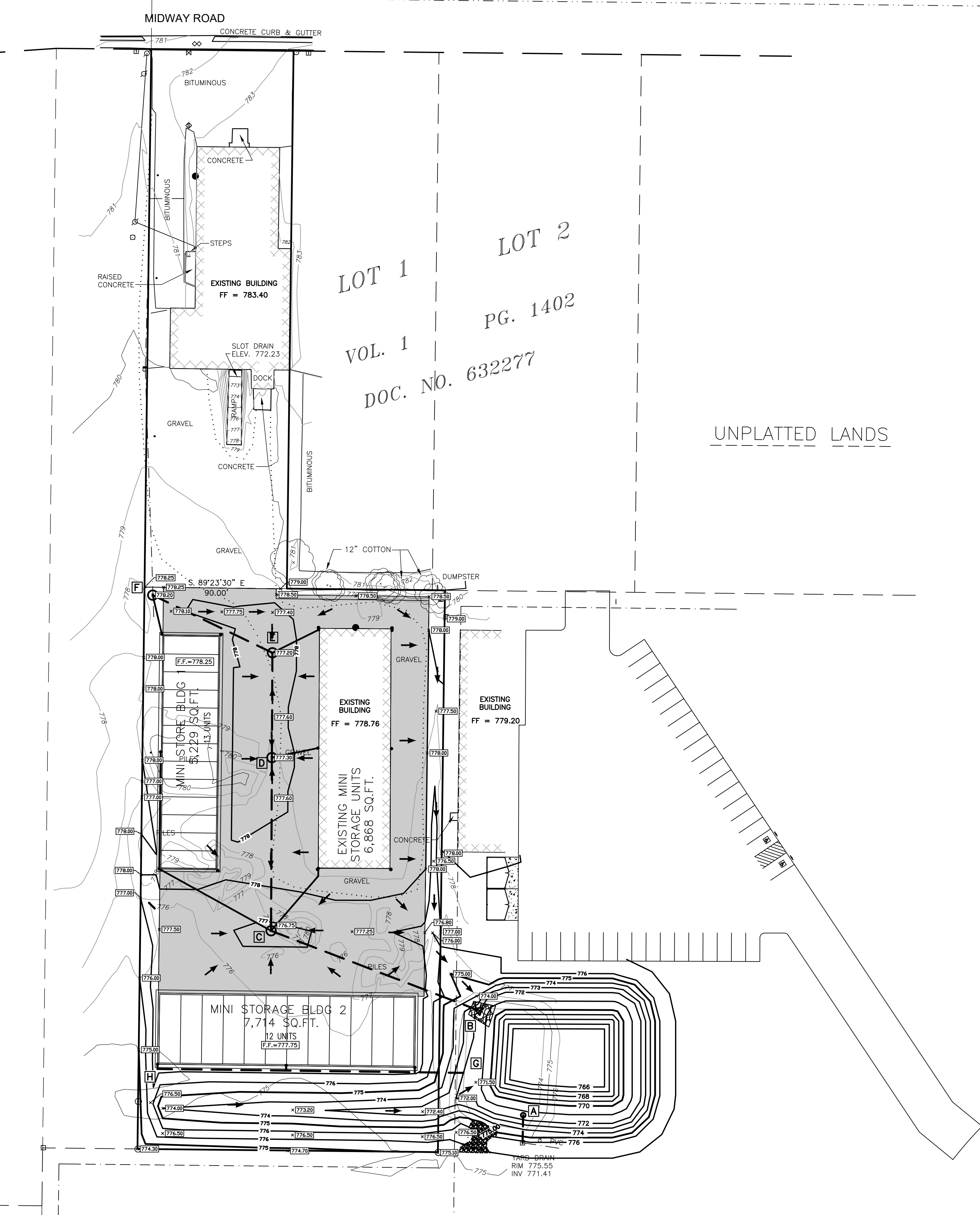
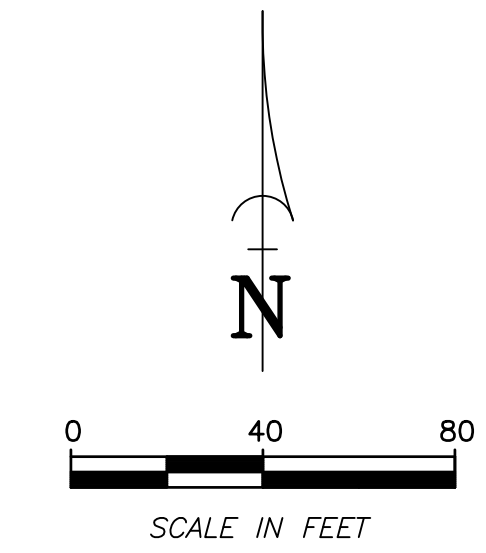
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NO.	NO.	NO.	NO.	NO.	DATE
1					10/5/2021

UTILITY LAYOUT PLAN
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	08-23-2021

COMPUTER FILE
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DRAINAGE PLAN: MIDWAY ROAD STORAGE BUILDINGS



LOT 1
LOT 2
VOL. 1
PG. 1402
DOC. NO. 632277

UNPLATTED LANDS

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT	783.59

- DRAINAGE PLAN NOTES**
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
 - ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MENASHA'S STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
 - THIS FINAL DRAINAGE PLAN INDICATES DRAINAGE ALONG LOT LINES, MAJOR DRAINAGE SWALES AND CONCEPTUAL DRAINAGE FOR EACH LOT. THE SITE PLANNER FOR EACH INDIVIDUAL HOME SITE SHOULD DESIGN DETAILED DRAINAGE FOR THE INTERIOR OF THE LOT BASED ON THIS INFORMATION. GRADE AT FOUNDATION ELEVATIONS MAY VARY SIGNIFICANTLY DEPENDING UPON ARCHITECTURE. THE SITE PLANNER SHOULD CONSULT AN ENGINEER TO DETERMINE GRADE AT FOUNDATION ELEVATION.
 - THE PROPOSED ELEVATIONS SHOWN ON THE DRAINAGE PLANS THAT ARE ADJACENT TO ABUTTING PROPERTIES MAY VARY FROM 5' TO 10' FROM THE PROPERTY CORNERS.
 - PER WI. ADMIN. CODE, COMM 21.12: THE FINISHED GRADE OF THE SOIL SHALL SLOPE AWAY FROM THE DWELLING AT A RATE OF AT LEAST 1/4-INCH PER FOOT FOR A MINIMUM DISTANCE OF 10 FEET, OR TO THE LOT LINE, WHICHEVER IS LESS.
 - THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
 - ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
 - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
 - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
 - LOTS WITH AN EXCESS FILL HEIGHT OF 3' SHALL BE STRIPPED OF TOPSOIL AND COMPACT EACH LAYER TO 95 PERCENT OF MAXIMUM DENSITY, OR MORE, BEFORE PLACING SUBSEQUENT LAYER.

DRAINAGE PLAN LEGEND			
	EXISTING CONTOUR	X 000.00	PROPOSED ELEVATION
	PROPOSED CONTOUR	X (000.00)	PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN	+ 883.73	EXISTING ELEVATION
	STORM MANHOLE	000.0	PROPOSED GROUND AT FOUNDATION
	2' x 3' PRECAST STORM INLET	←	DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND			
	1" x 18" IRON PIPE SET		OVERHEAD POWER LINES
	1-1/4" x 30" REBAR SET		UNDERGROUND ELECTRIC
	3/4" REBAR FOUND		UNDERGROUND TELEPHONE
	1" IRON PIPE FOUND		UNDERGROUND FIBEROPTIC
	1-1/4" REBAR FOUND		UNDERGROUND GAS
	2" IRON PIPE FOUND		UNDERGROUND CABLE TV
	CHESELED "X" FOUND		EXIST. FENCE LINE
	GOVERNMENT CORNER		SIGN
	RECORDED AS		POWER POLE
	CONFERIOUS TREE		GUY
	DECIDUOUS TREE		LIGHT POLE
	EXIST. WOODS LINE		ELECTRIC PEDESTAL
	WETLANDS		ELECTRIC PEDESTAL
	SOIL BORING		CABLE PEDESTAL
			EXIST. HYDRANT
			WATER VALVE
			WATER STOP BOX
			GAS VALVE
			EXIST. STORM MANHOLE
			STORM INLET
			YARD DRAIN
			EXIST. SANITARY MANHOLE
			EXIST. SAN. SEWER
			EXIST. STD. SEWER
			EXIST. FLOW LINE ELEV.
			FF = 000.00 FIRST FLOOR = 000.00
			TOPSOIL DEPTH
			INFILTRATION SOIL BORING

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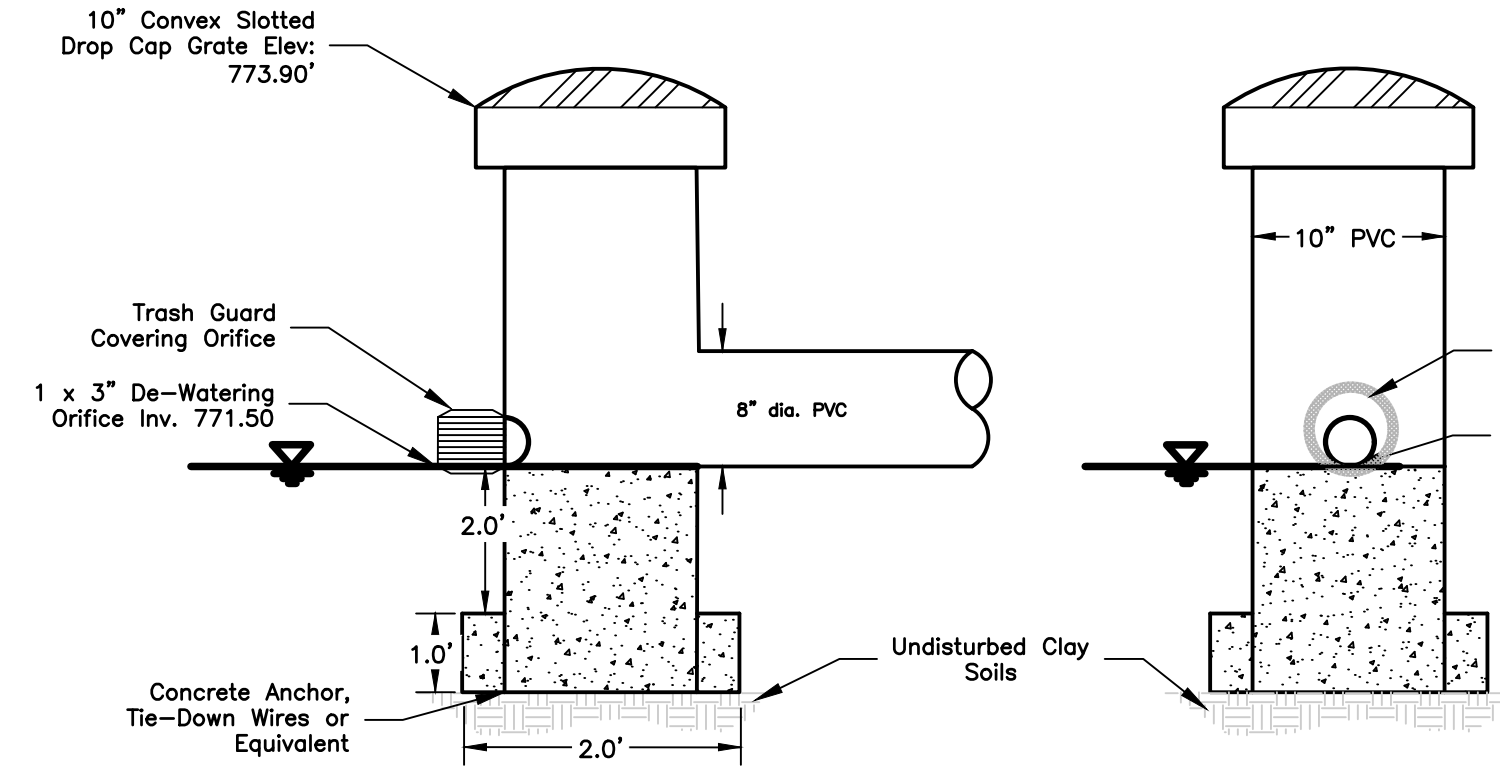
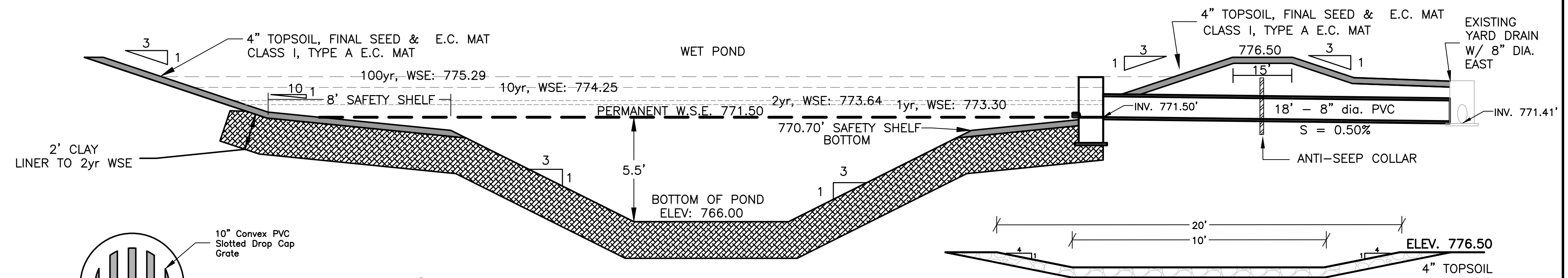
DRAINAGE PLAN
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	08-23-2021

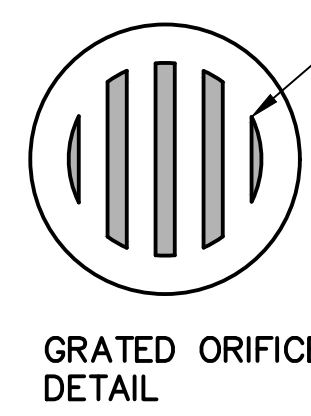
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STORMWATER POND DETAILS: MIDWAY ROAD STORAGE BUILDINGS

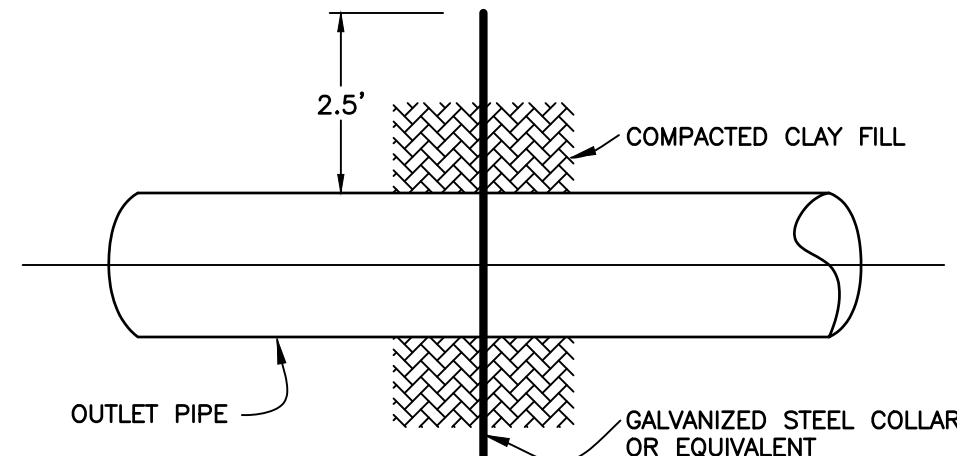
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OUTLET STRUCTURE REPLACEMENT (N.T.S.)



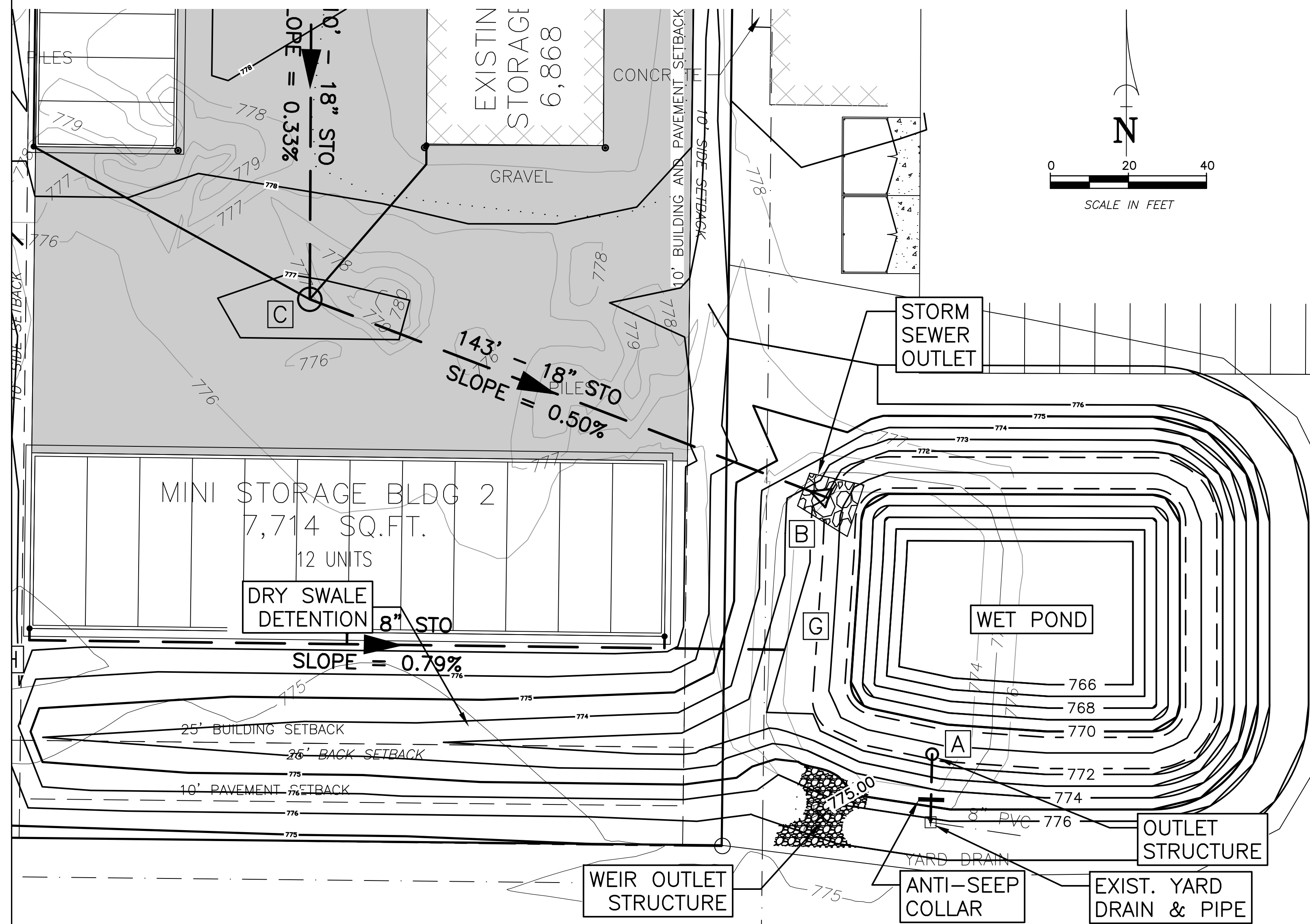
GRADED ORIFICE DETAIL



ANTI-SEEP COLLAR (N.T.S.)

EMERGENCY/WEIR OUTLET STRUCTURE (N.T.S.)

	Post (Prop. Control)	Post-Develop. W.S. Elev.
<i>Q</i> _{peak} (1yr Storm Event)	0.31 cfs	
<i>Q</i> _{peak} (2yr Storm Event)	0.34 cfs	
<i>Q</i> _{peak} (10yr Storm Event)	1.94 cfs	
<i>Q</i> _{peak} (100yr Storm Event)	7.32 cfs	
<hr/>		
Detention (1yr Storm Event)	0.376 ac-ft	773.30
Detention (2yr Storm Event)	0.462 ac-ft	773.64
Detention (10yr Storm Event)	0.636 ac-ft	774.25
Detention (100yr Storm Event)	1.001 ac-ft	775.29



POND CONSTRUCTION

Topsoil Stripping
 The pond construction limits will be staked by Martenson & Eisele, Inc. The contractor shall strip the area free of topsoil and stockpile at locations as indicated on the Erosion Control Plan.

Unclassified Excavation
 Unclassified excavation shall include the removal and disposal of all materials encountered in the excavation for the ponds other than specific materials which have been classified and bid upon as a separate bid item for this project. When excavating for the ponds, the excavation limits shall be the limits per the pond construction plans.

Fine Grading
 Fine grading shall consist of shaping and compacting the total cross section and limits of the ponds according to the typical cross section illustrated on the plans. Fine Grading shall include the grading of the spillway. All costs associated shall be included in the unit price bid.

Clay Liner and Pond Berm
 This pond shall be constructed with a clay liner meeting the standards of the WDNR Type B Liners as listed in Technical Standard 1001. The following items are the criteria for the construction of the clay liner and pond berm.

- Properties**
- Permeability: 1 x 10⁻⁶ cm/sec or less.
 - Grain Size: P200 content 50% by weight or greater. Larger than 2 in. in longest dimension shall be removed.
 - Clay Content: 25% by weight or greater (0.002mm).
 - Liquid Limit: 16 or greater with no values of less than 14.
 - Plasticity Index: 7 or greater with no value less than 5.
 - Free of stones and inclusions of other soil types larger than 2 in. in largest dimension.
 - Non-organic soil classified as CL or CH by United Soil Classification System.

- Clay Placement**
1. Do not place clay until sub-grade elevation is documented and approved by Engineer.
 2. Shape sub-grade to provide specified clay thickness smooth and free from loose stones.
 - a. Place in 8" loose lifts perpendicular to slope, in designated thickness shown on Drawings.
 - b. Maximum Compacted Lift Thickness: 6" but not greater than depth of sheepfoot.
 - c. Tolerance: Maximum acceptable variation for each lift thickness is 1".
 - d. Place clay as backfill material for outlet structure and associated piping within pond berm.
 3. Compaction:
 - a. Minimum Compaction: 90% of dry density, ASTM D1557 Modified Proctor.
 - b. Maximum Permeability: 1 x 10⁻⁶ cm/sec, laboratory falling head permeability test.
 4. Material distribution and gradation throughout clay material shall be free from lenses, pockets, streaks or layers of material differing substantially in texture or gradation from surrounding material. Blend clay prior to compaction. Prevent sand or other soil types from mixing into clay or forming seams.
 5. Uniformly distribute moisture and disc each lift of clay material prior to compaction. Dry clay material too wet to obtain desired density, proper moisture content. Do not place clay at moisture content less than 2% over optimum as defined by ASTM D1557. No additional payment will be made for drying clay materials.
 6. Place layers of clay to form continuous monolithic material. Condition excessively dry or wet soil before placement of additional lifts. Knead each lift into previously placed lift with sheepfoot roller, or similar kneading type compactor.
 7. Construct sidewall liners in lifts parallel to side slope.
 8. Protect buried pipes, and similar installations when constructing overlying portions of liner system or pond berm.
 9. Do not place clay when air temperature is below of 32°F, unless CONTRACTOR can demonstrate fill material temp. is above freezing.
 10. Install clay liner in accordance with Drawings.

- Field Quality Control**
1. General Testing Requirements
 - a. Construction quality control testing will be performed throughout project by the Contractor's geotechnical soil engineer.
 - b. Test locations shall be selected at random by the Contractor's geotechnical soil engineer. CONTRACTOR shall assist in testing.
 2. Testing frequency for construction quality control shall be as indicated below
 3. Initial Sampling
 - a. Contractor shall assist geotechnical soil engineer in collecting two representative bulk samples within 7 days of receiving Notice to Proceed, or as weather permits after that week, of import clay borrow location and onsite clay material.
 - b. Test to be performed on each bulk sample collected and tested by geotechnical soil engineer shall include:
 1. Grain size Analysis (ASTM D6913 & D1140).
 2. Atterberg Limits (ASTM D4318).
 3. Modified Proctor Compaction Test (ASTM D1557).
 4. Compaction:
 - a. Contractor's geotechnical soil engineer will perform one compaction test per each 200 CY on in-place material.
 - b. Degree of Compaction: 90% Modified Proctor, ASTM D1557, Method D

4. Thickness Verification:
 - a. Thickness of clay liner shall be verified by surveying sub-grade elevation and surveying elevation of clay surface, after completion of testing of in-place clay. Survey will be performed by OWNER's retained ENGINEER.
5. Final Acceptance of Surface:
 - a. Thickness of clay liner and surface elevations shall conform to Drawings.
 - b. Finish surface with smooth-drum roller.
 - c. Assist geotechnical soil engineer in collecting minimum of four in-place clay liner samples (Shelby Tube Method) per pond. Test to be performed by Contractor's geotechnical soil engineer on each tube.
 1. Dry Density.
 2. Atterberg Limits (ASTM D4318).
 3. Grain Size Analysis (ASTM D6913 & D1140).
 4. Falling Head Permeability (ASTM D5084).
- d. Rework areas that fail testing as follows:
 1. Define rework area.
 2. Disc.
 3. Condition soil for moisture content.
 4. Compact.
 5. Retest.
- e. Notify OWNER and ENGINEER when area(s) are ready for retest.
- f. Areas that fail testing shall have material removed and replaced at no cost to OWNER

Excess Material

1. Clay material not suitable for backfilling and excess material shall be hauled to locations specified by OWNER.

Geo-textile Fabric
 The geo-textile fabric for under the riprap shall consist of Type "HR" porous non-woven fabric with multiple layers of randomly arranged fibers. The Engineer shall inspect fabric prior to placement of riprap and during placement of riprap. Damaged filter fabric shall be replaced at Contractor's expense.

Riprap
 The Contractor shall trim and shape the bed for the fabric prior to the placement of the riprap as indicated on the plan. The riprap shall be clean washed riprap measuring 12" thick measured perpendicular to the slope. (24" total depth)

All equipment, labor, and materials used to install and maintain the riprap shall be included in the unit price bid for Medium Rip-Rap & Type "HR" Filter Fabric, square yards.

Outlet Structures/Piping Etc.
 Construction of the Outlet Structures with trash guards, pipe, concrete apron endwalls with trash guard, and spillways shall be in accordance with the details on the plans. All costs associated with the supply, installation and construction of all items involved with the outlet structures, pipe, concrete apron endwalls, and spillways shall be included in the price bid.

Restoration
 The Contractor shall seed, fertilize and mulch the pond only above the normal water surface. Restoration of the pond shall be in accordance with Section 3.10(d) (Permanent Seed).

Erosion Control Vegetative Mat
 The area above the normal water surface shall be matted with Class I, Type B Curlex, or equal, erosion control vegetative mats as listed in the Product Acceptability List (PAL) for Multi-Model Applications published by the Wisconsin Department of Transportation, current edition.

Topsoil
 Topsoil shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction, 2016 Edition, Section 625.

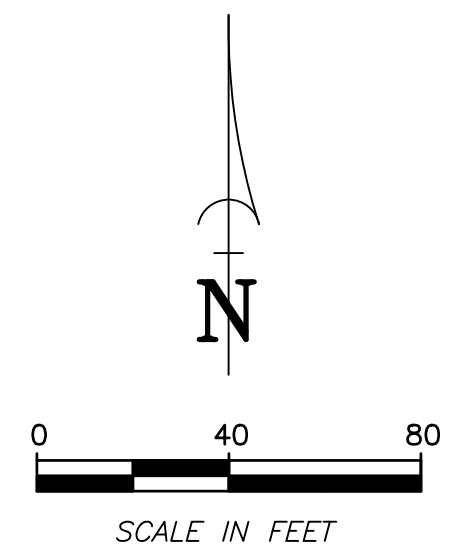
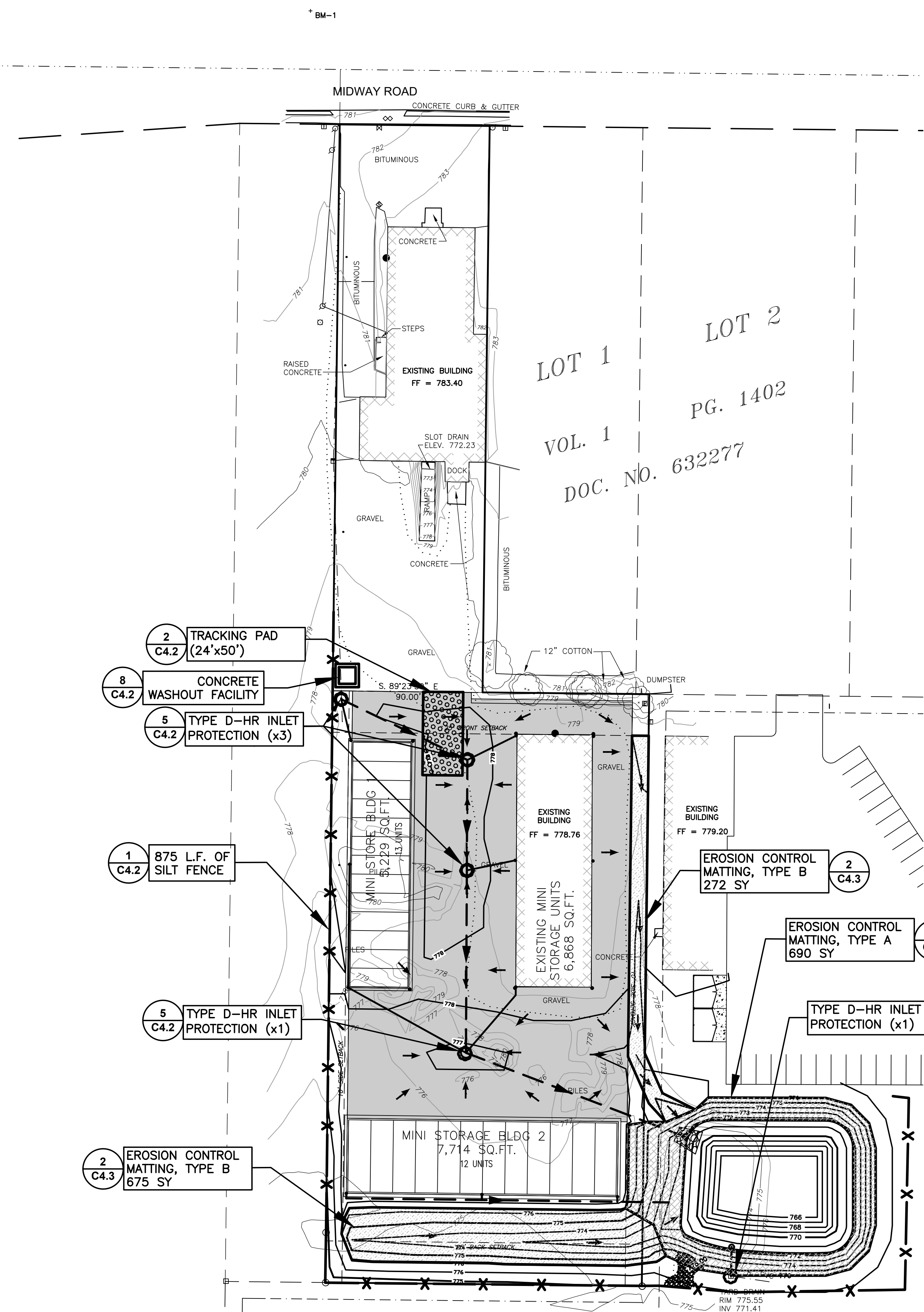
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				JUR	NO.
GRC	ALM				
** REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **				DATE	NO.
				10/16/2021	

POND DETAILS
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	08-23-2021
COMPUTER FILE	
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DRAWING NO.	
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EROSION CONTROL PLAN: MIDWAY ROAD STORAGE BUILDINGS

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LOT 1
 LOT 2
 VOL. 1
 PG. 1402
 DOC. NO. 632277

EROSION CONTROL NOTES	
1.	THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
2.	ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3.	THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
4.	THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
5.	THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
6.	INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
7.	SILT FENCES DAMAGED DURING LATERAL CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.

CONTRACTOR RESPONSIBILITIES	
1.	NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY;
2.	NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION;
3.	OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
4.	INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN;
5.	REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES;
6.	MAINTAIN ALL ON- AND OFF- SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN.
7.	REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN.
8.	INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS.
9.	ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
10.	KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE.
11.	ALL AREAS BEING SEEDED SHOULD HAVE A MINIMUM OF 4 INCHES OF SUITABLE TOPSOIL.
12.	GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED.
13.	ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF COMPLETION OF WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS.
14.	GRADE & GRAVEL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION.

GENERAL NOTES	
1.	SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)
2.	WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
3.	TRACKING. THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLEAR AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROAD WAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRACKING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24'X50' MIN).
4.	DRAIN INLET PROTECTION. ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS.
5.	SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
6.	DISTURBANCE TIMING. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.

EROSION CONTROL PLAN KEY LEGEND	
	1 SILT FENCE (C4.2)
	2 TRACKING PROTECTION (C4.2)
	3 INLET PROTECTION TYPES A, B, C, & D (C4.2)
	4 INLET PROTECTION TYPE D-M (C4.2)
	5 INLET PROTECTION TYPE D-HR (C4.2)
	6 SANDBAG CULVERT PIPE DITCH CHECK (C4.2)
	7 DEWATERING DETAIL (C4.2)
	8 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE A) (C4.3)
	9 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE B) (C4.3)
	10 SEDIMENT LOG INLET PROTECTION (C4.3)
	11 SEDIMENT LOG CHANNEL DITCH CHECK (C4.3)

TOPOGRAPHIC LEGEND	
	OVERHEAD POWER LINES
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND FIBEROPTIC
	UNDERGROUND GAS
	EXIST. SAN. SEWER
	UNDERGROUND CABLE TV
	EXIST. FENCE LINE
	SIGN
	POWER POLE
	OUT
	EXIST. W/ ELEVATION
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	CABLE PEDESTAL
	EXIST. W/ VALVE
	EXIST. W/ MAN
	EXIST. STD. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR W/ ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	FIRST FLOOR = 000.00
	TOPSOIL DEPTH
	INFILTRATION SOIL BORING
	GAS VALVE
	EXIST. STORM MANHOLE
	STORM INLET
	YARD DRAIN
	EXIST. SANITARY MANHOLE
	EXIST. SAN. SEWER
	EXIST. STD. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR W/ ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	FIRST FLOOR = 000.00
	TOPSOIL DEPTH
	INFILTRATION SOIL BORING

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10/15/2021			

EROSION CONTROL PLAN
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	08-23-2021
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DRAWING NO.	
C4.1	

EROSION CONTROL DETAILS: MIDWAY ROAD STORAGE BUILDINGS

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 Engineering
 Architecture

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 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381

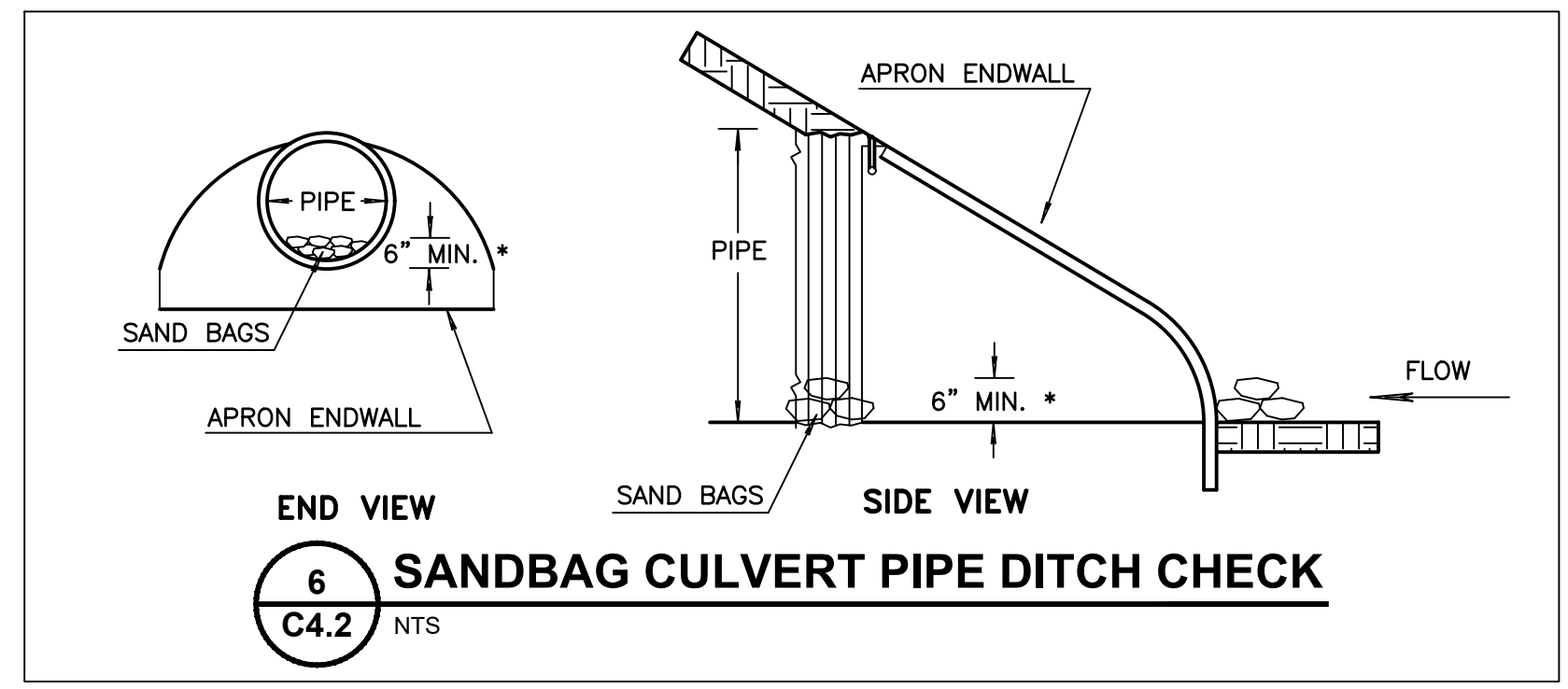
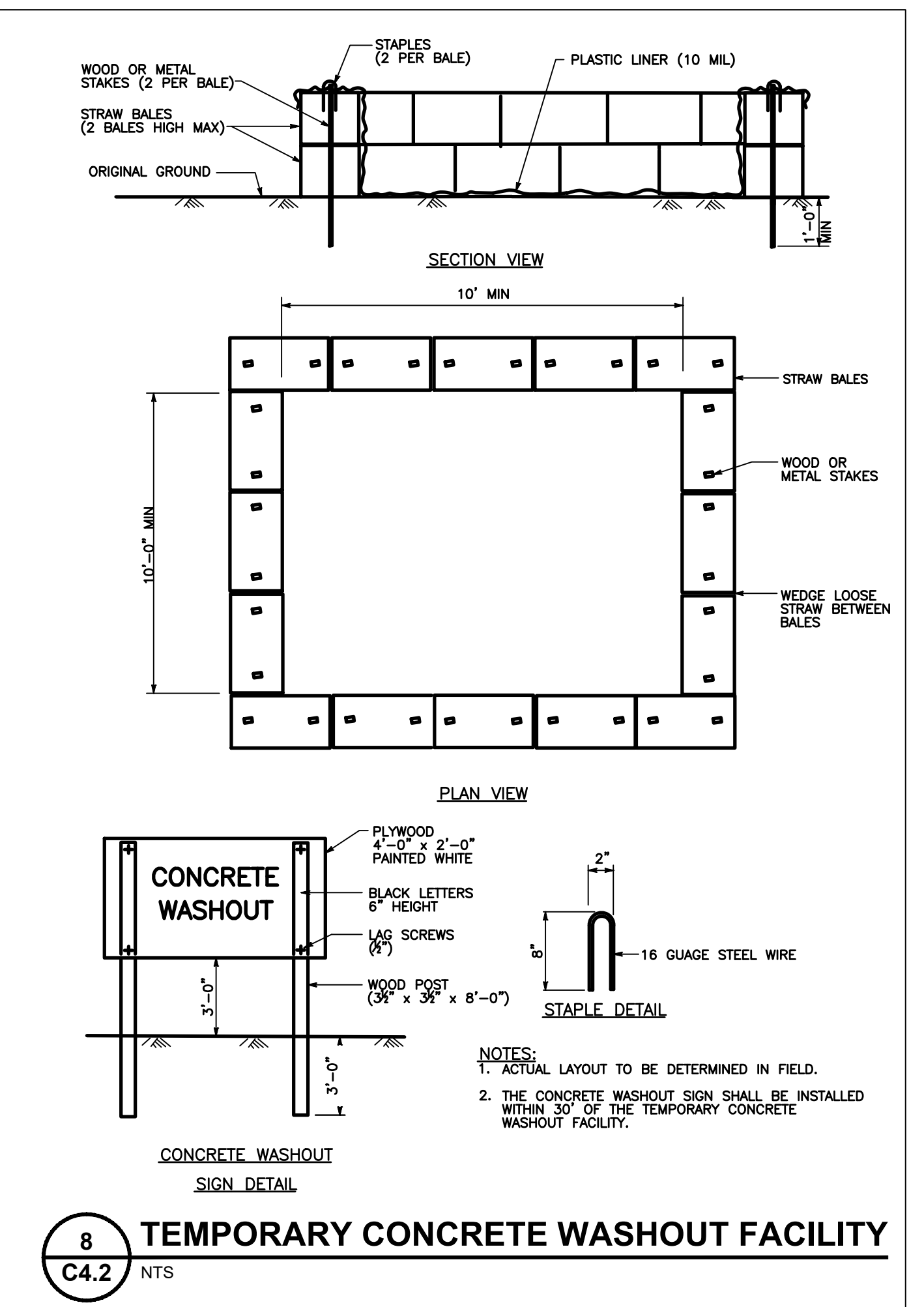
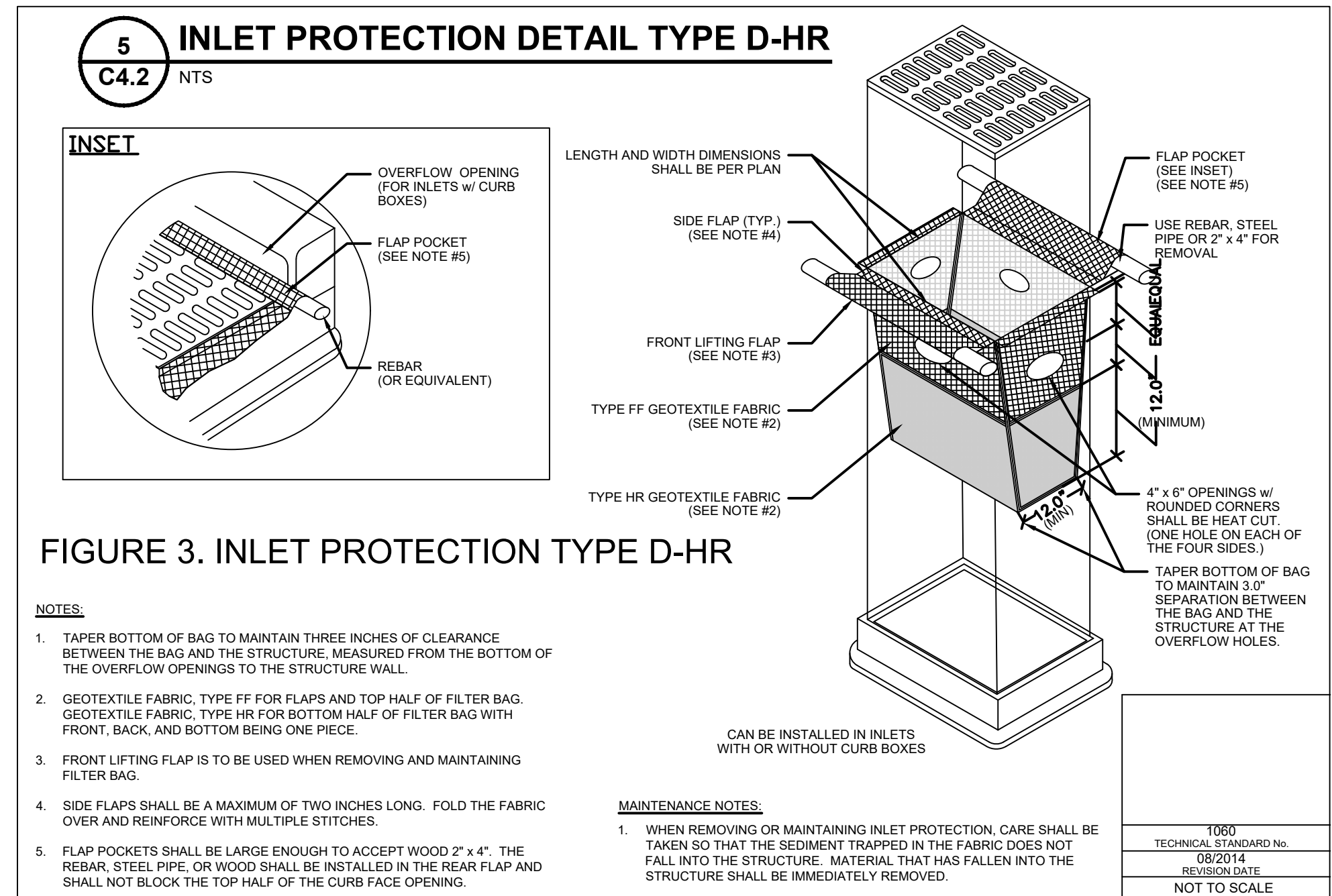
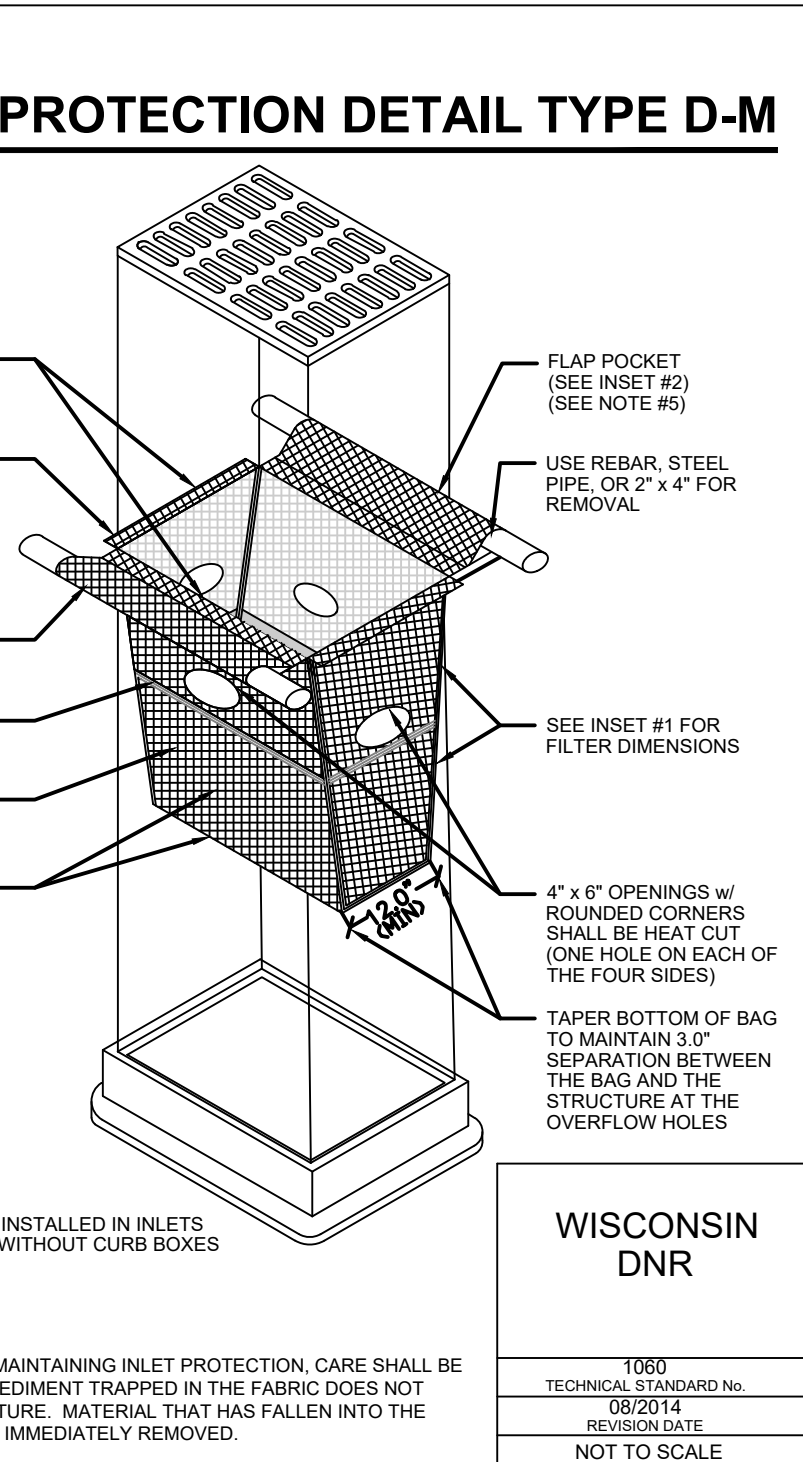
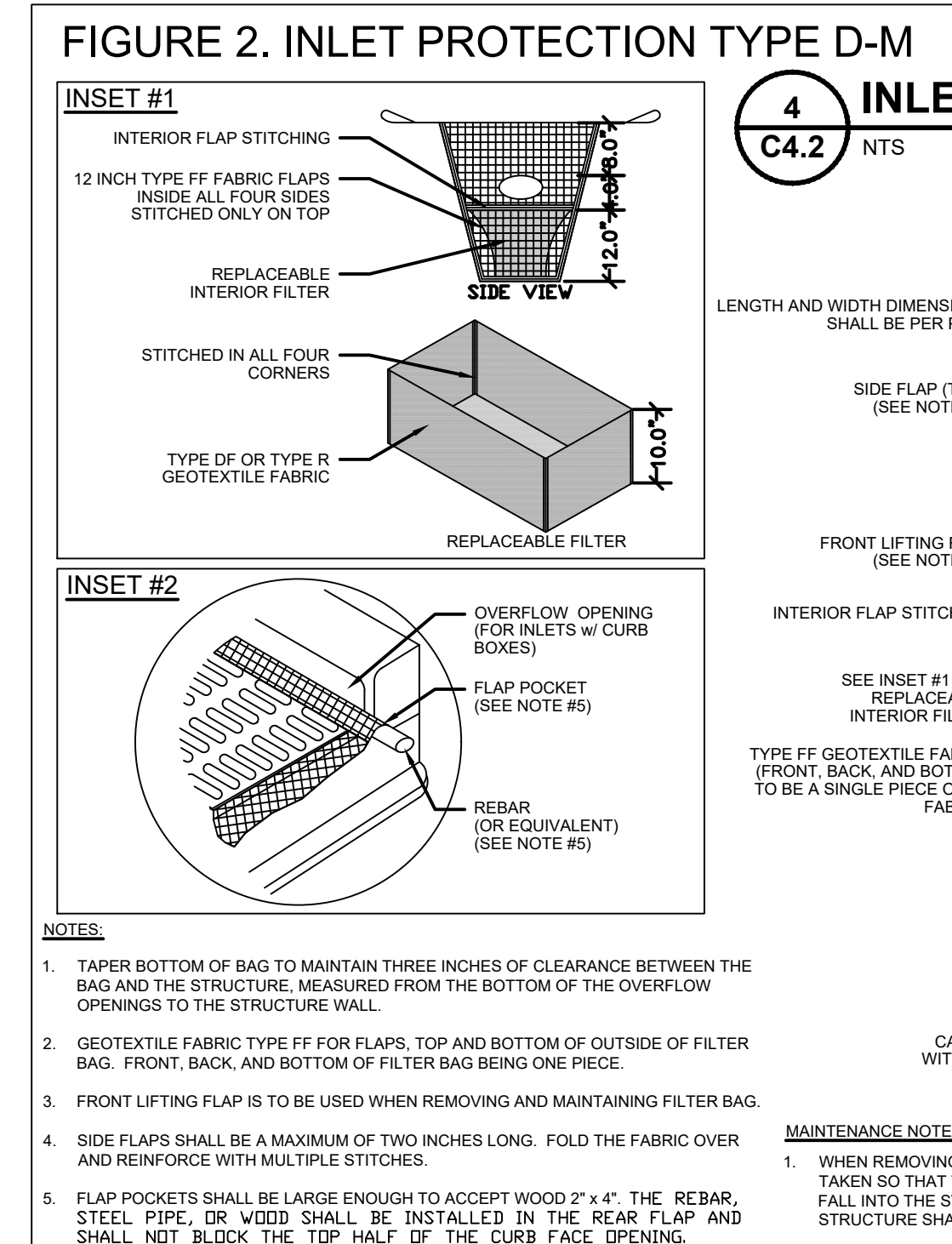
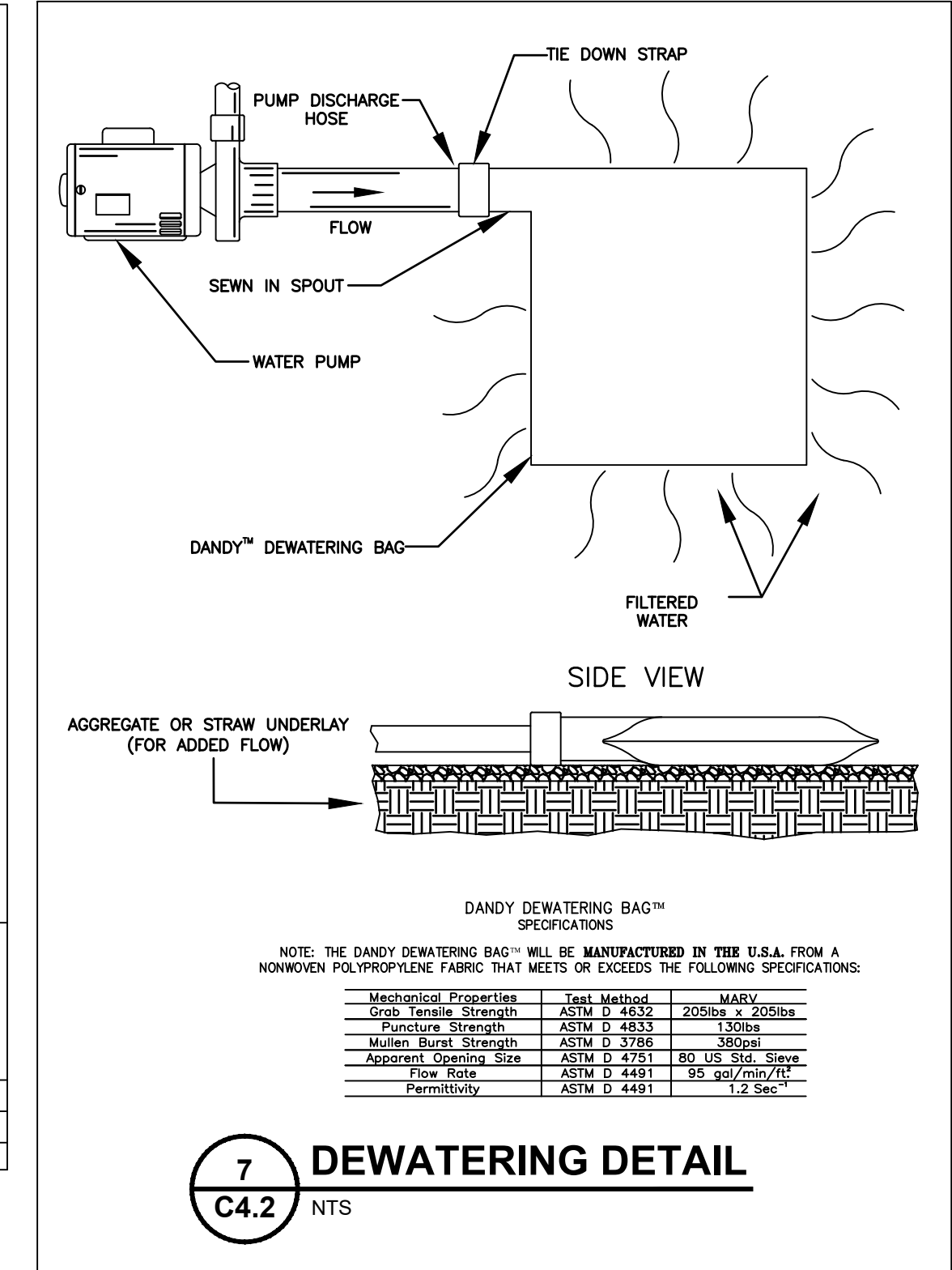
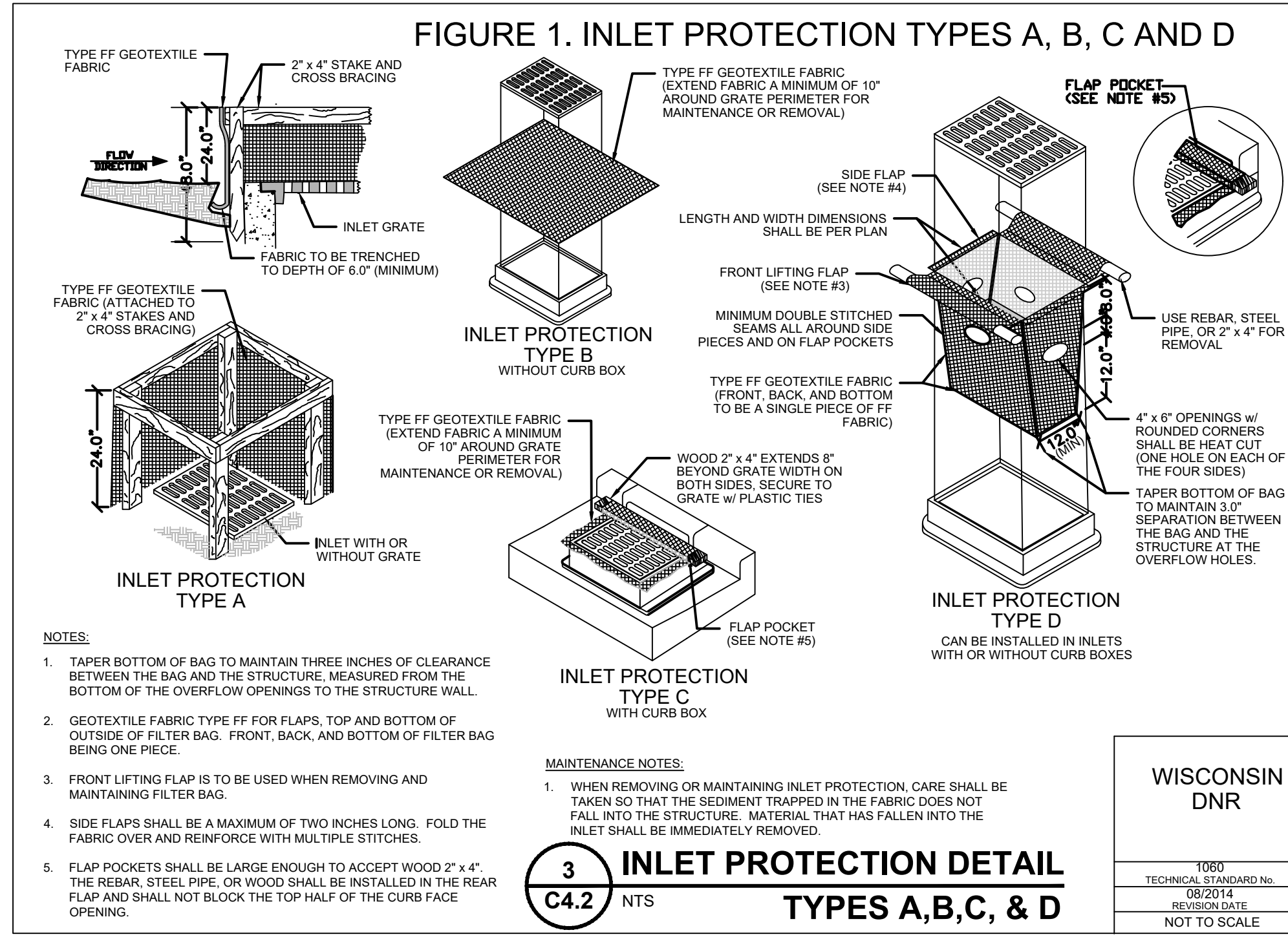
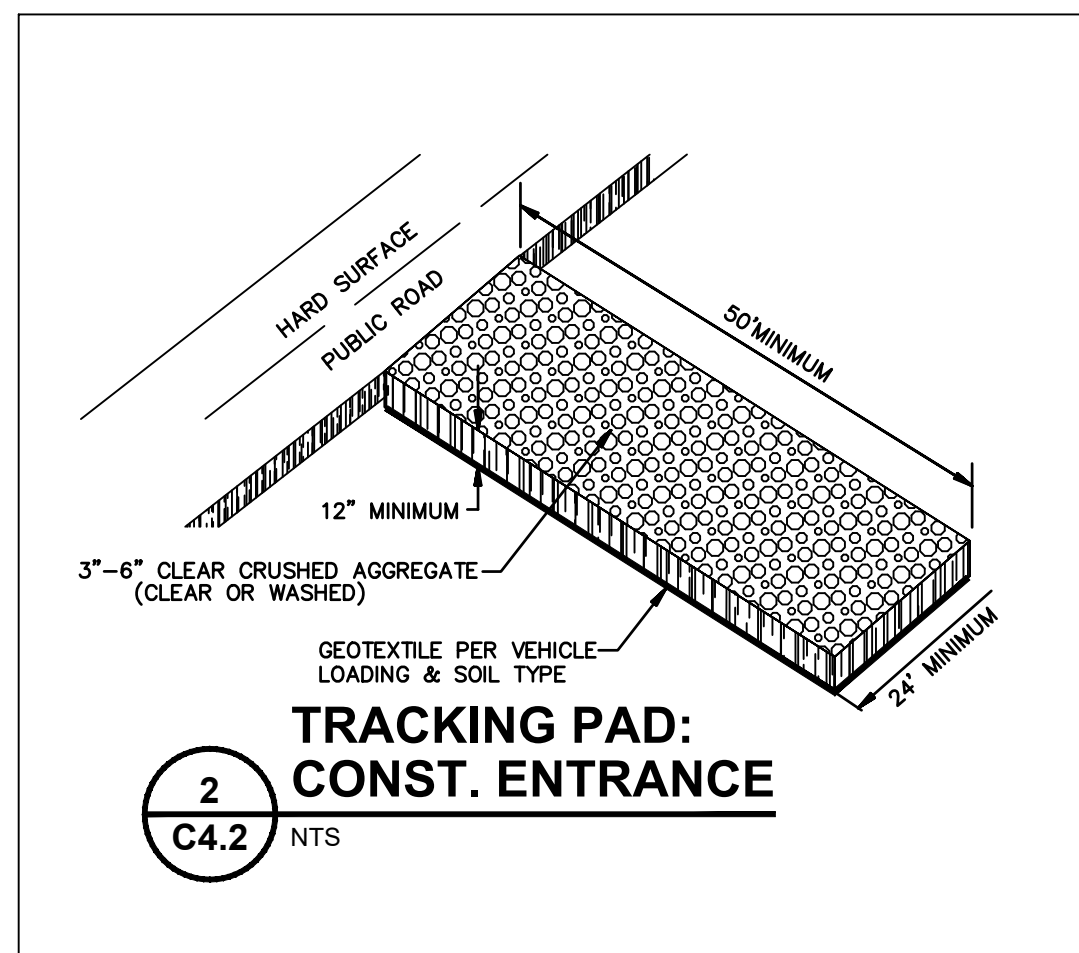
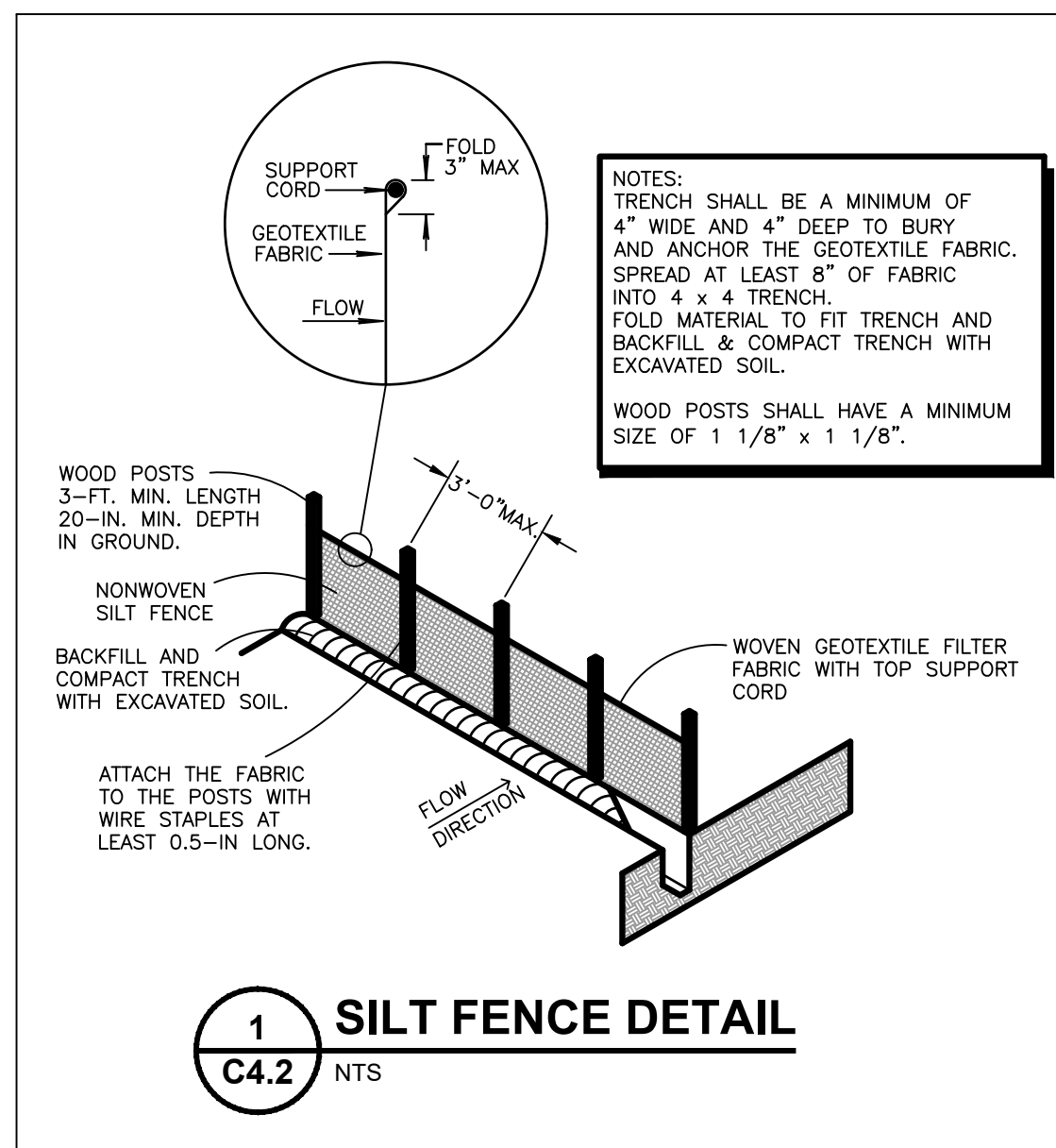
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EROSION CONTROL DETAILS MIDWAY ROAD STORAGE BUILDINGS

CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

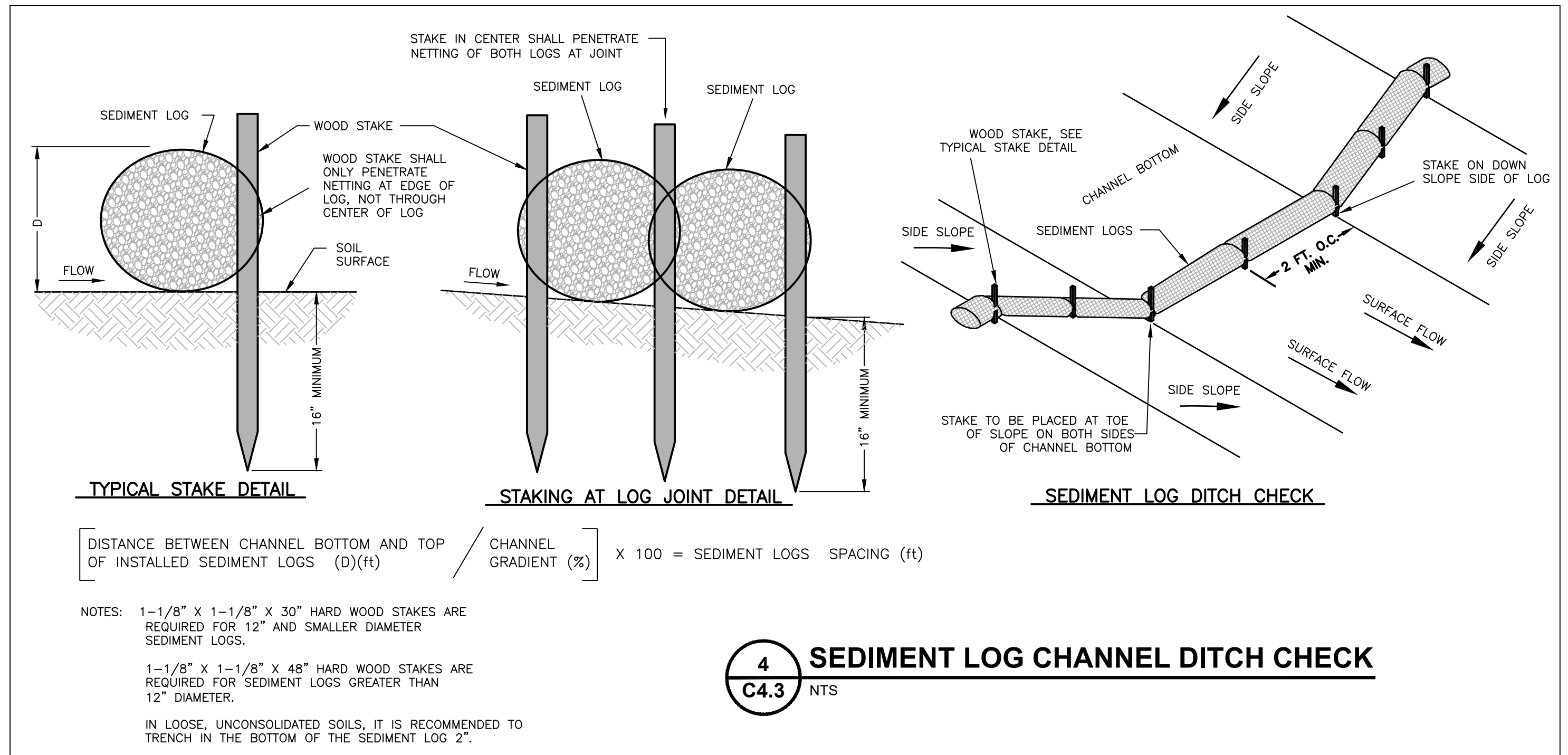
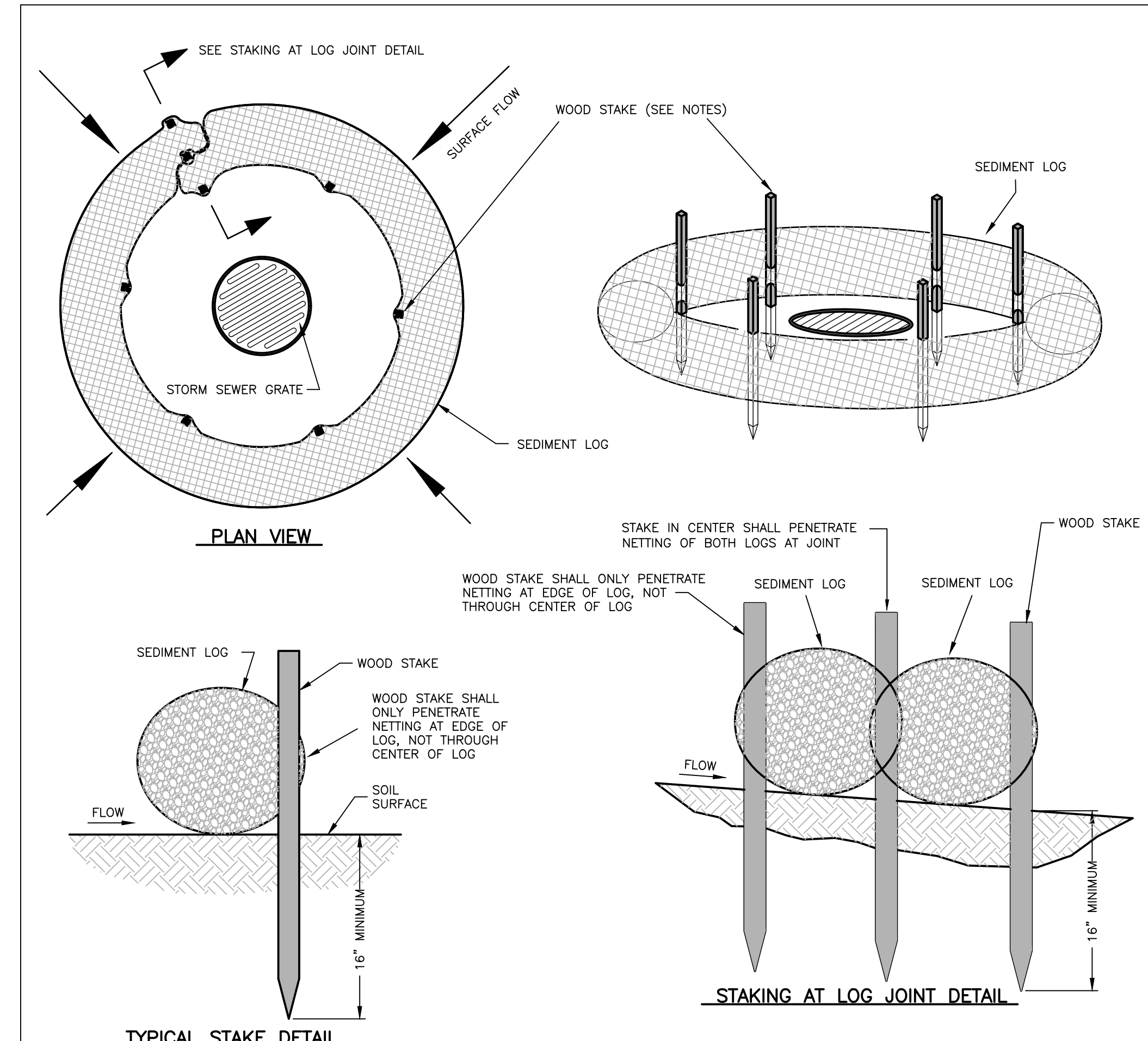
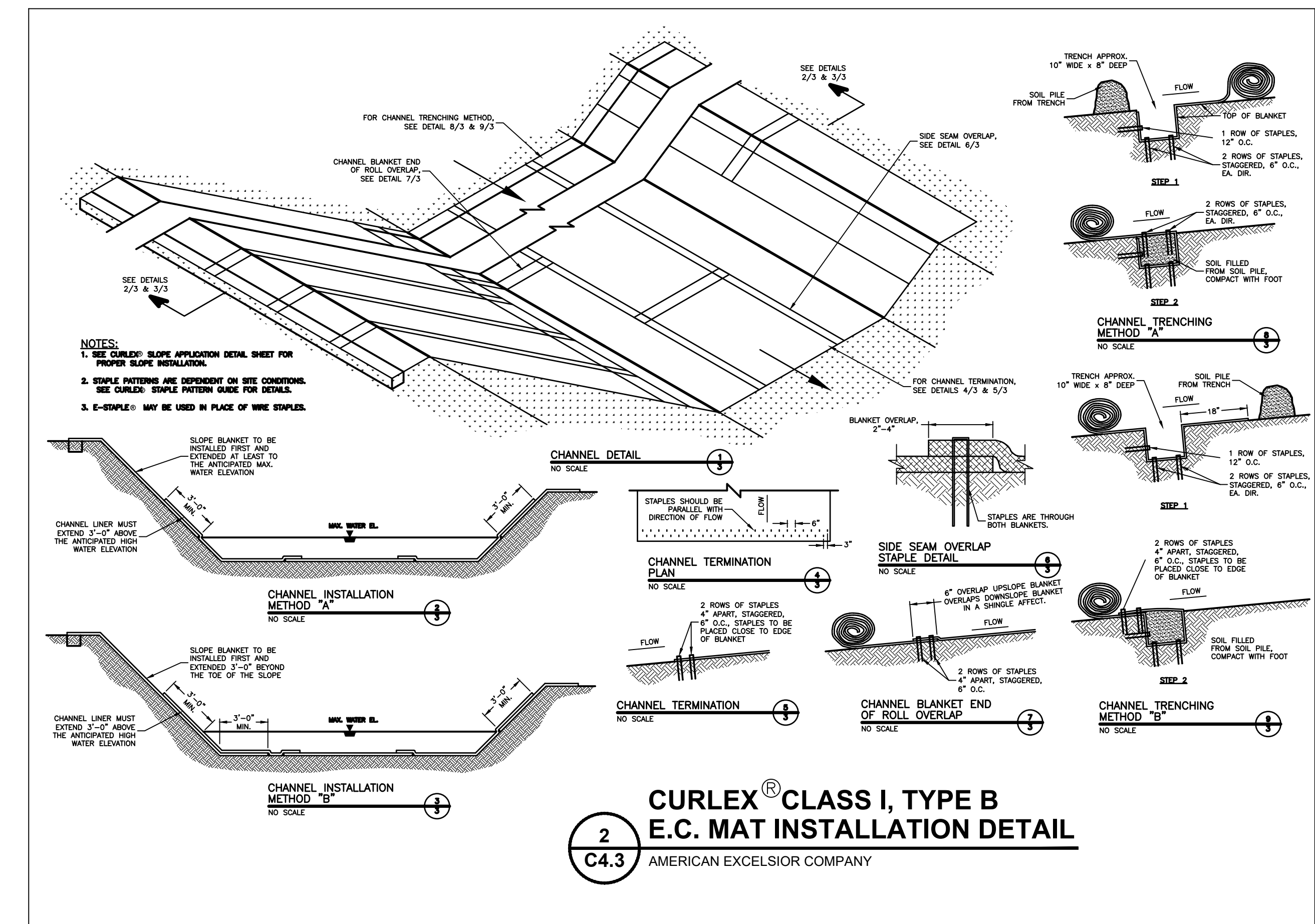
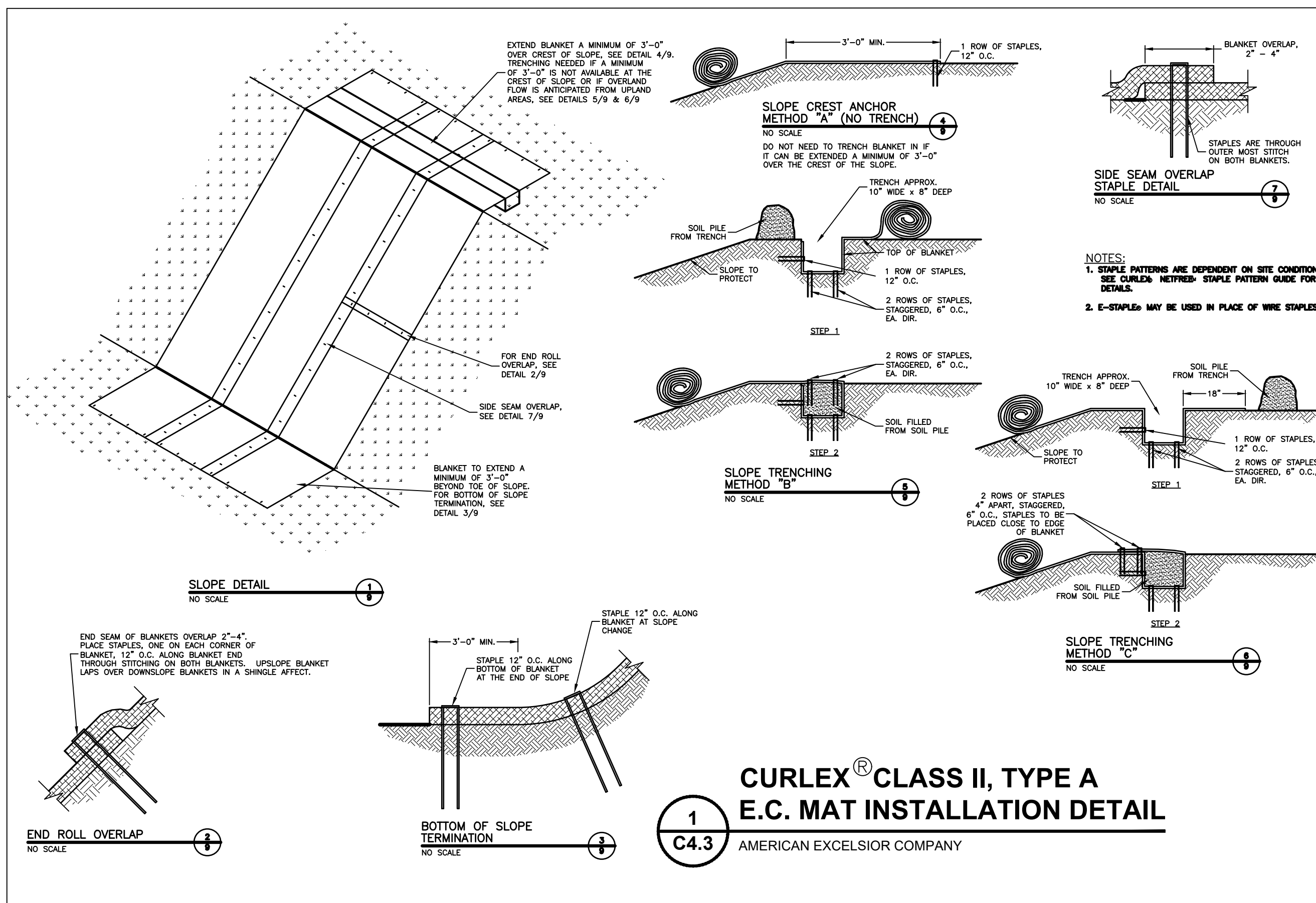
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DRAWING NO.
 C4.2



NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.

EROSION CONTROL DETAILS: MIDWAY ROAD STORAGE BUILDINGS



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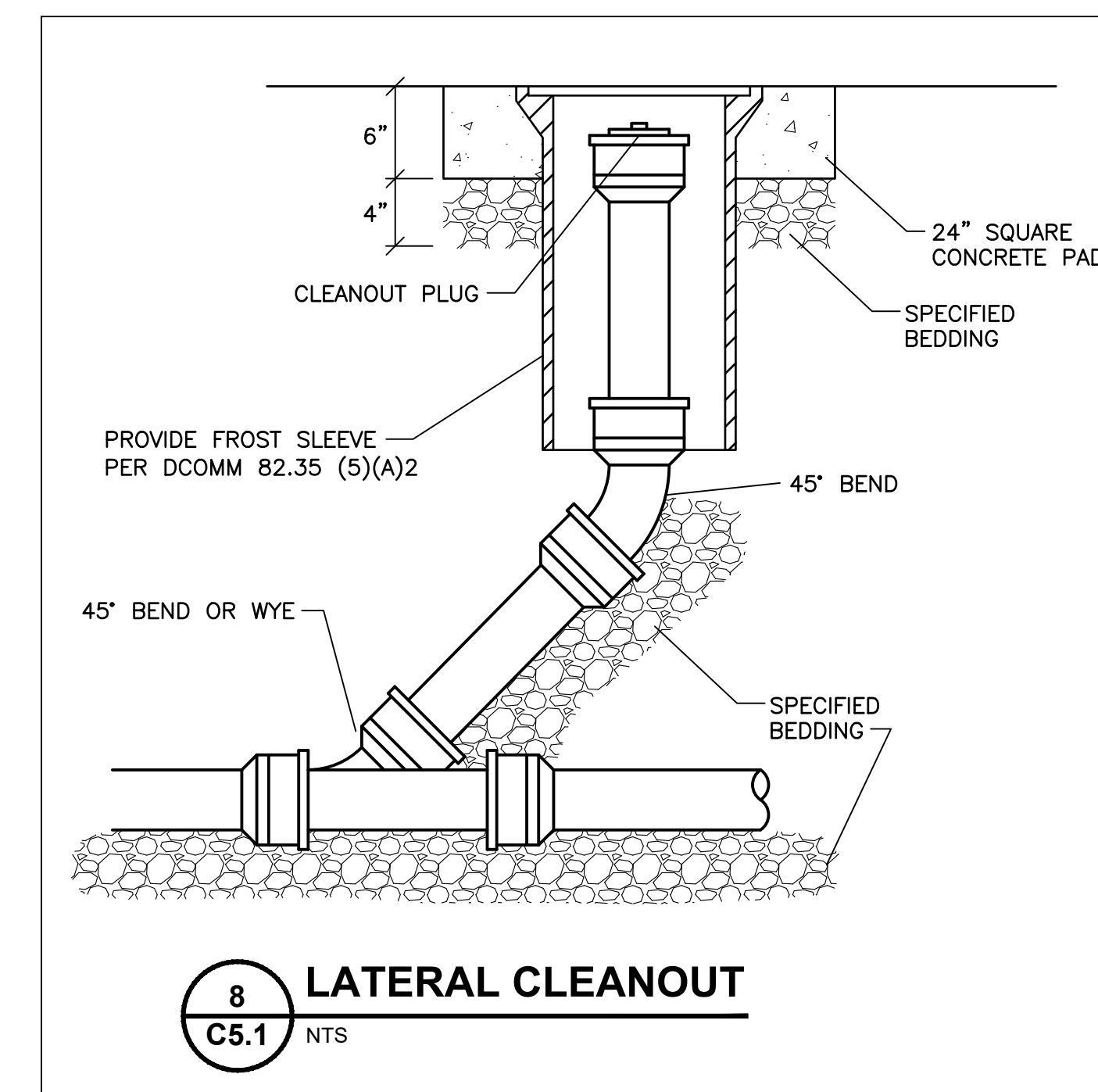
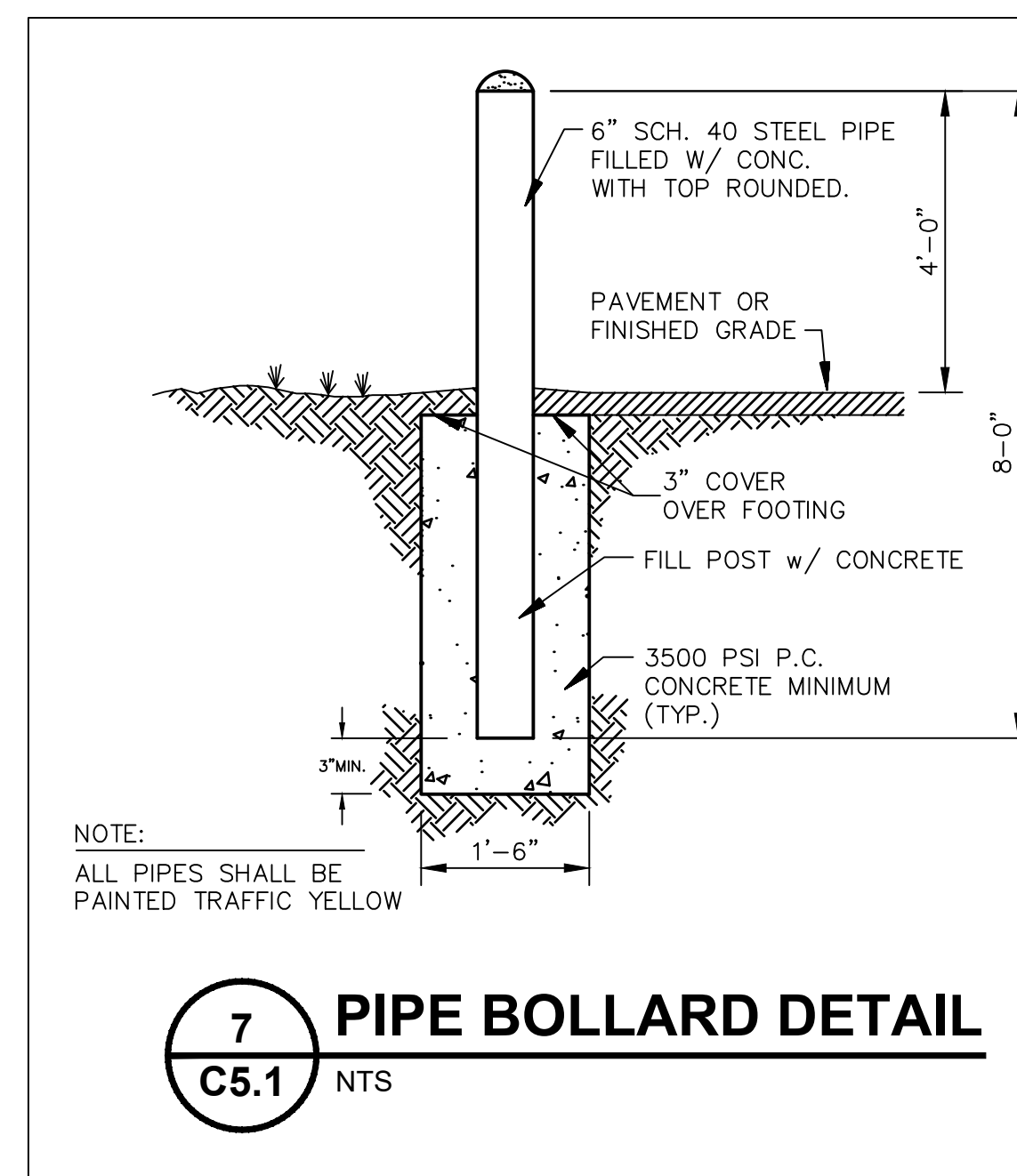
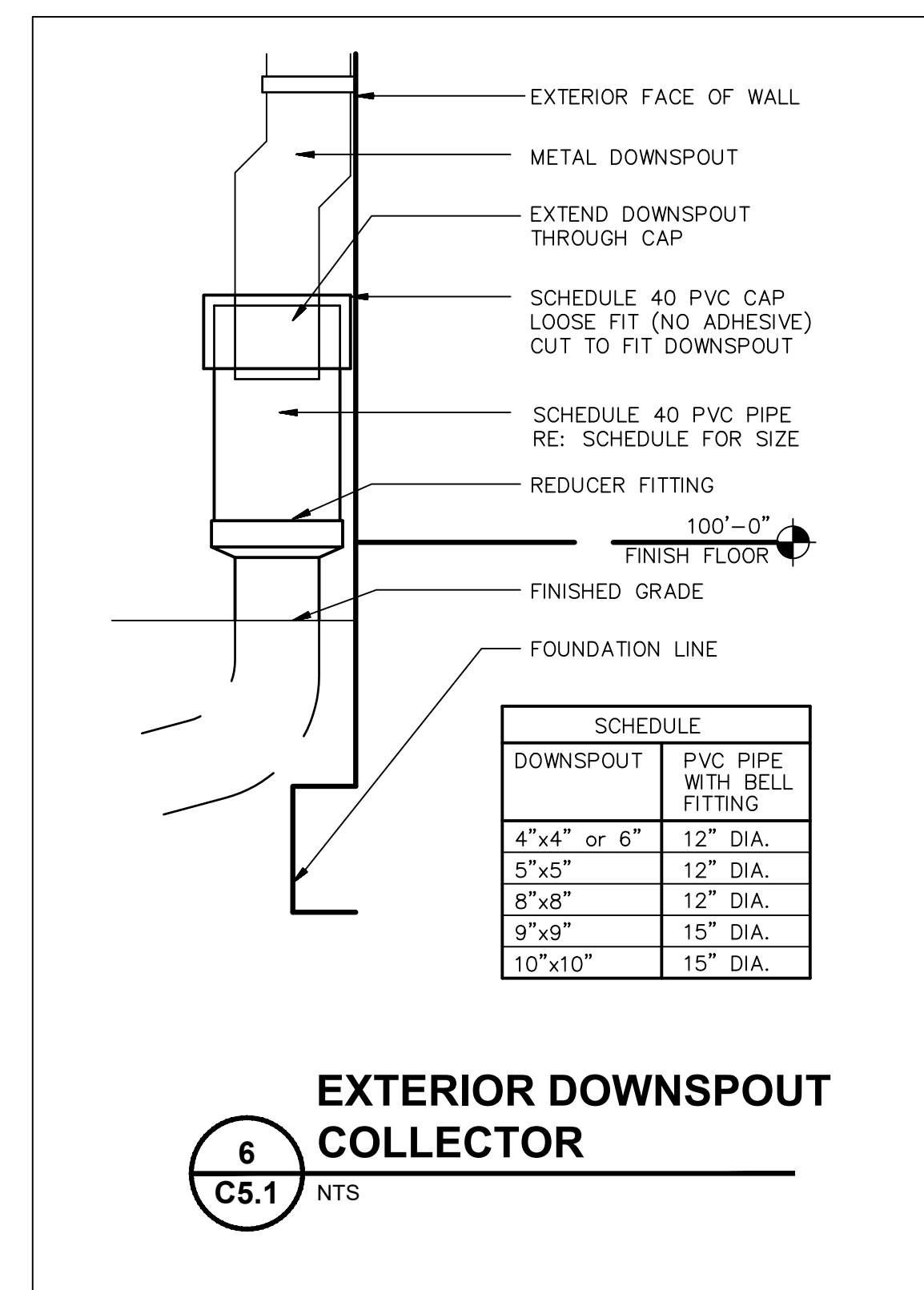
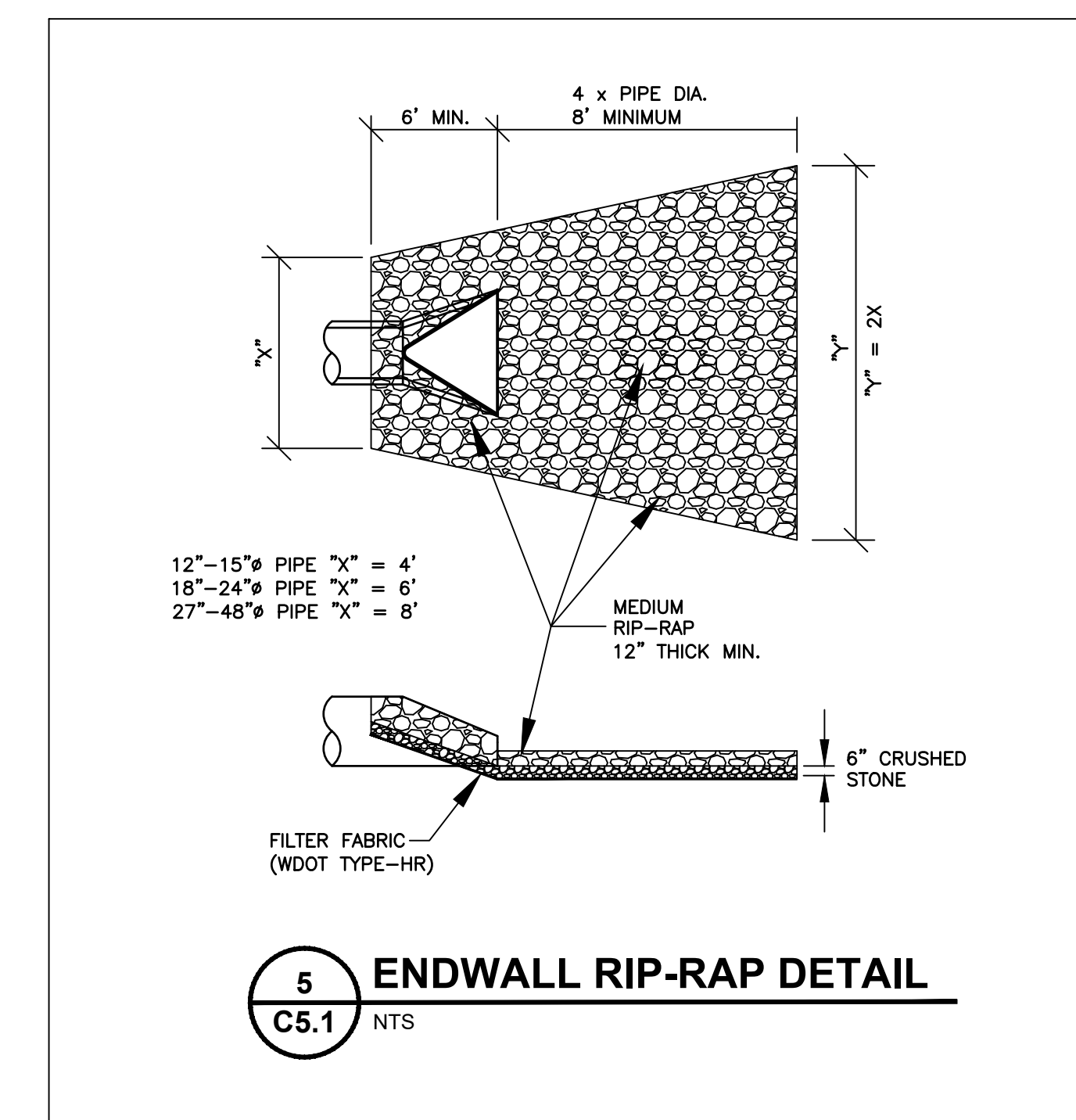
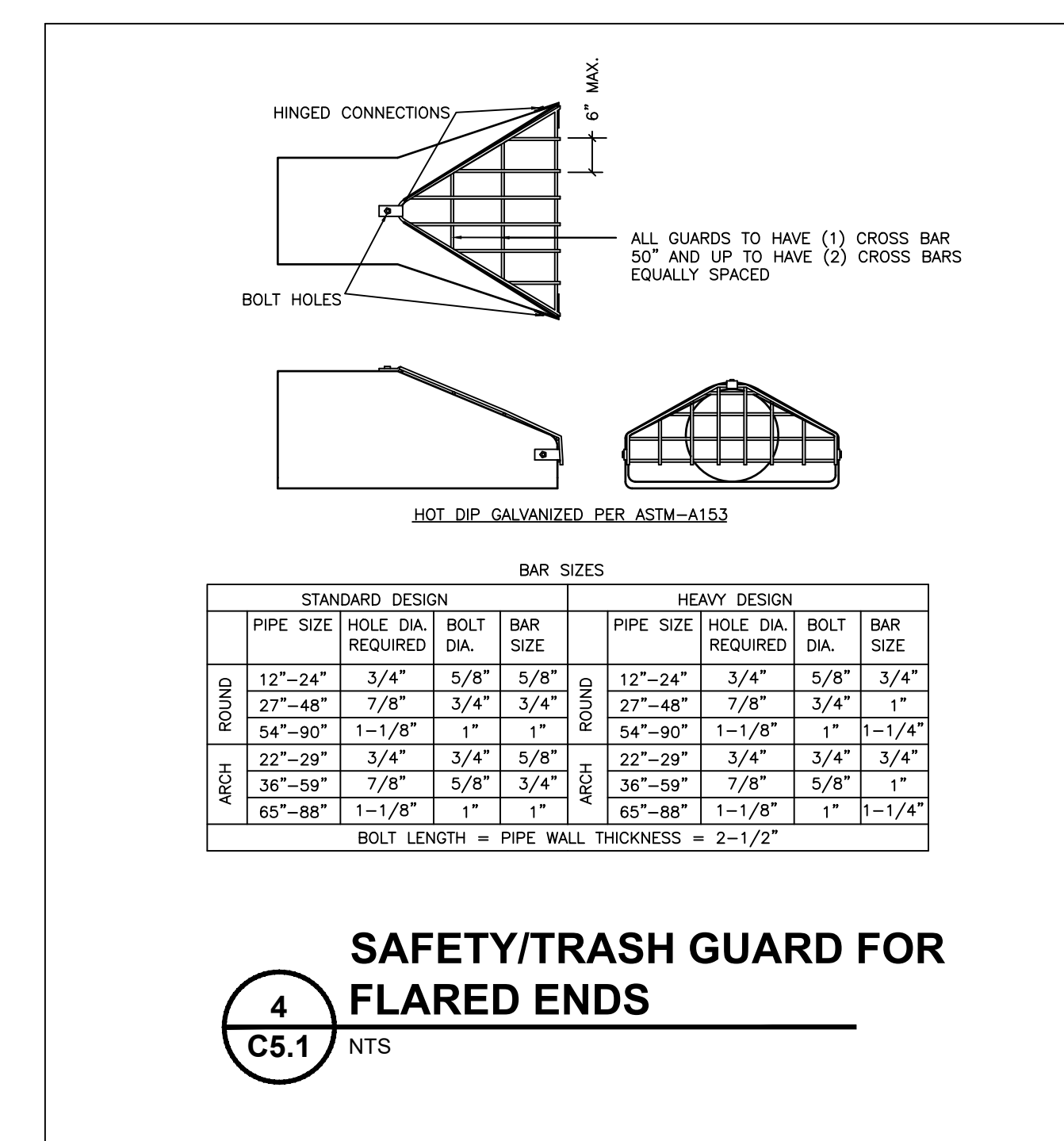
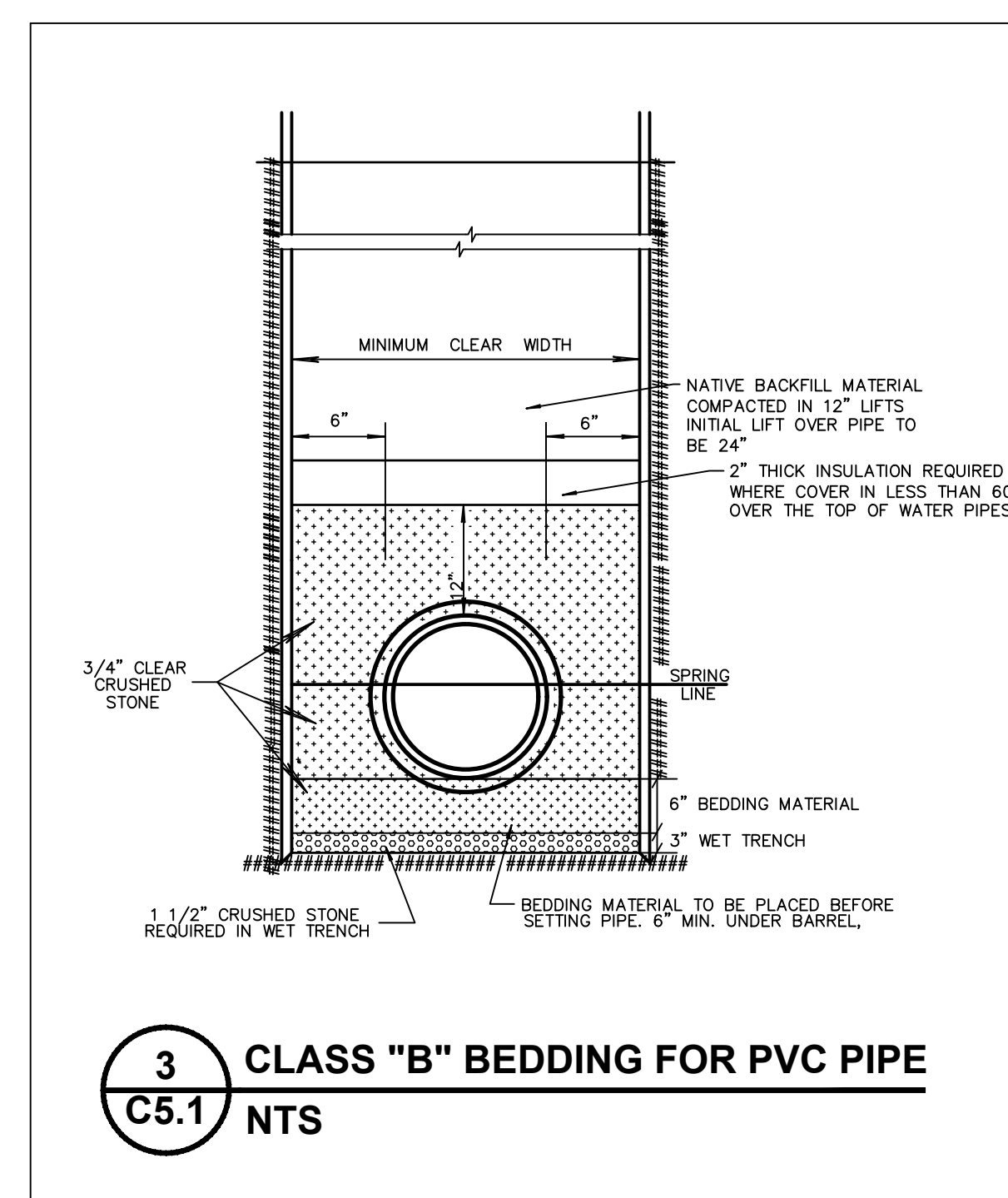
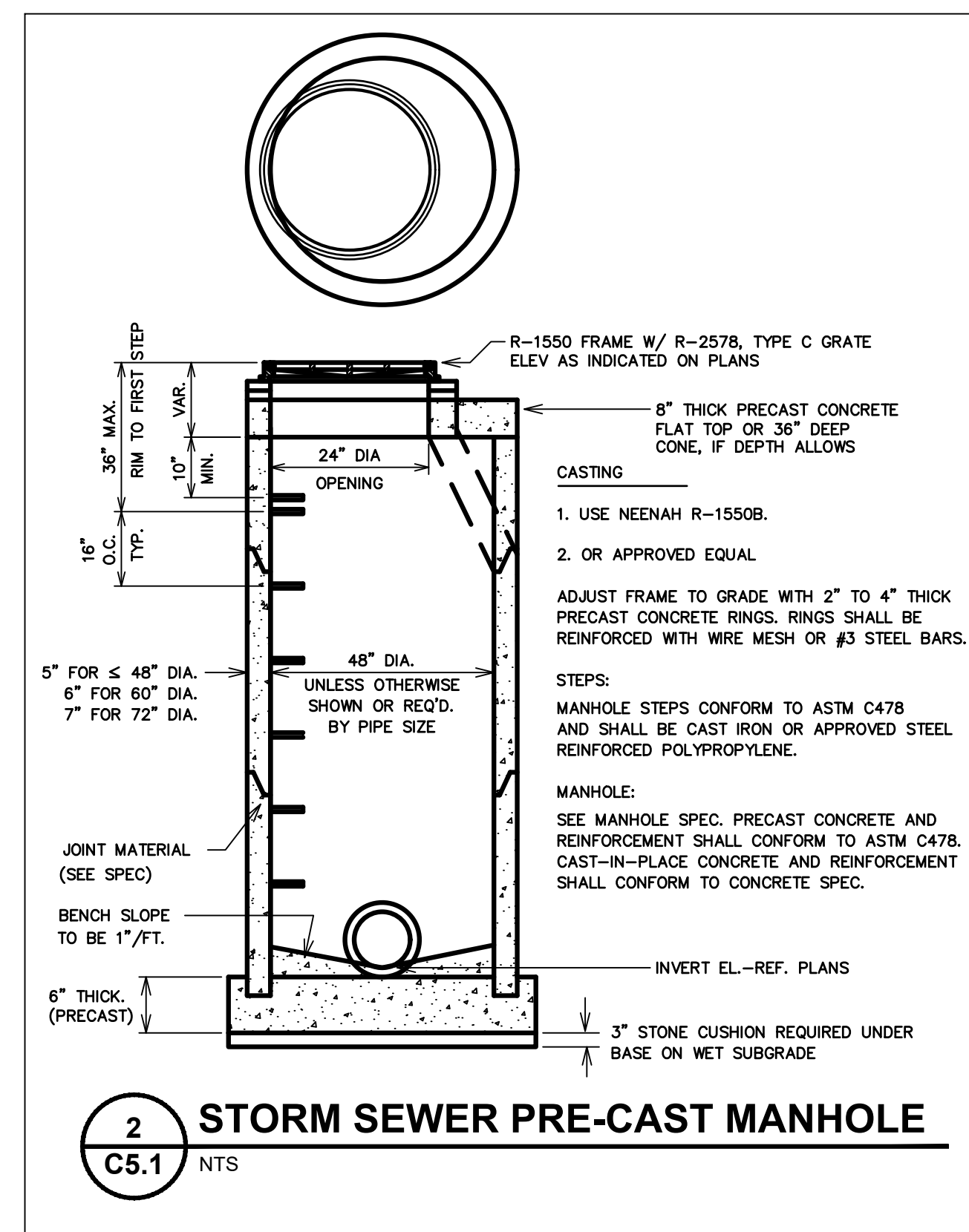
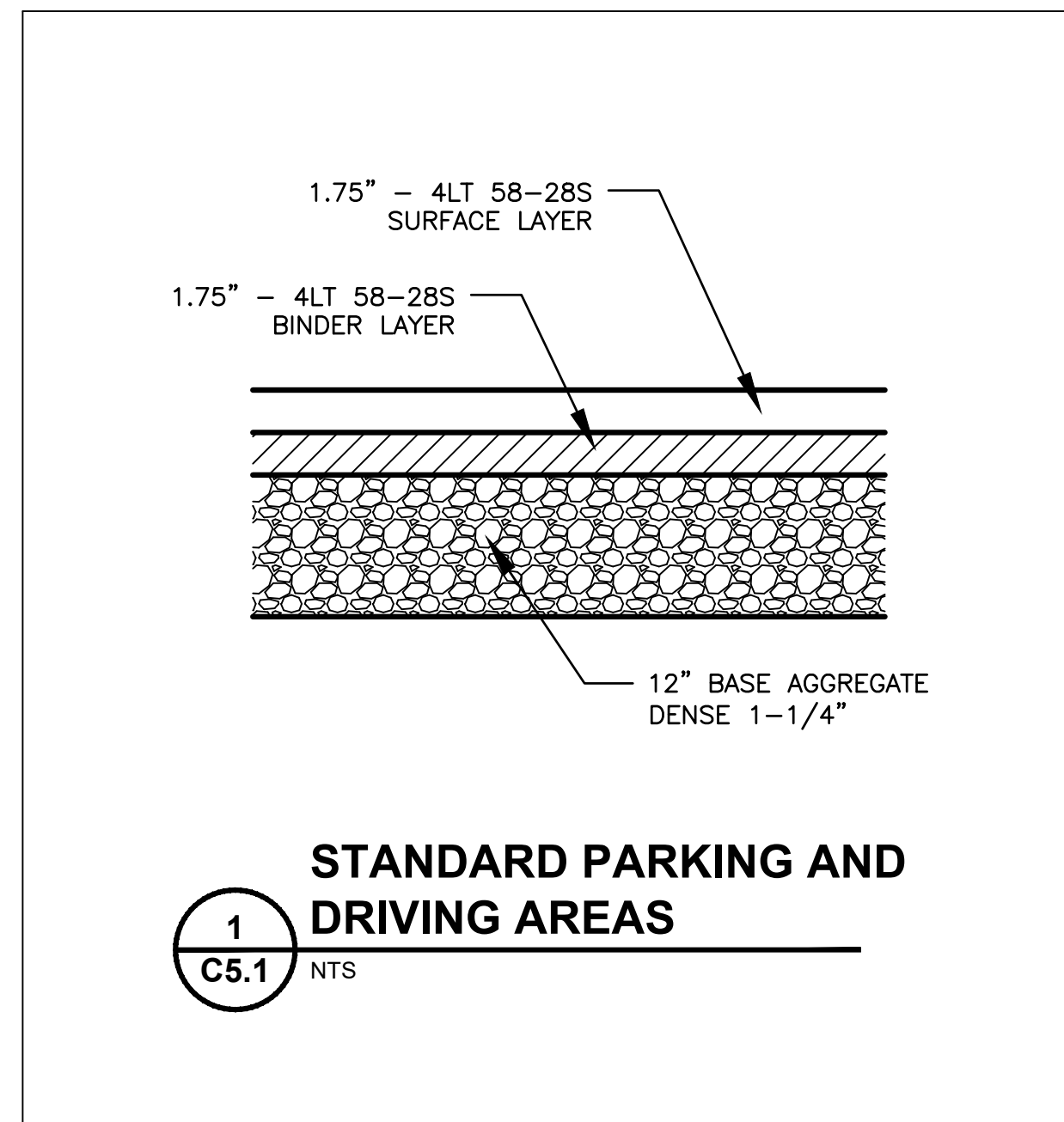
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EROSION CONTROL DETAILS
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

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STANDARD DETAILS: MIDWAY ROAD STORAGE BUILDINGS



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 www.martenson-eisele.com
 Engineering
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 Architecture

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NO.	DATE	NO.	DATE	NO.	DATE
1	10/15/2021				

STANDARD DETAILS
MIDWAY ROAD STORAGE BUILDINGS
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
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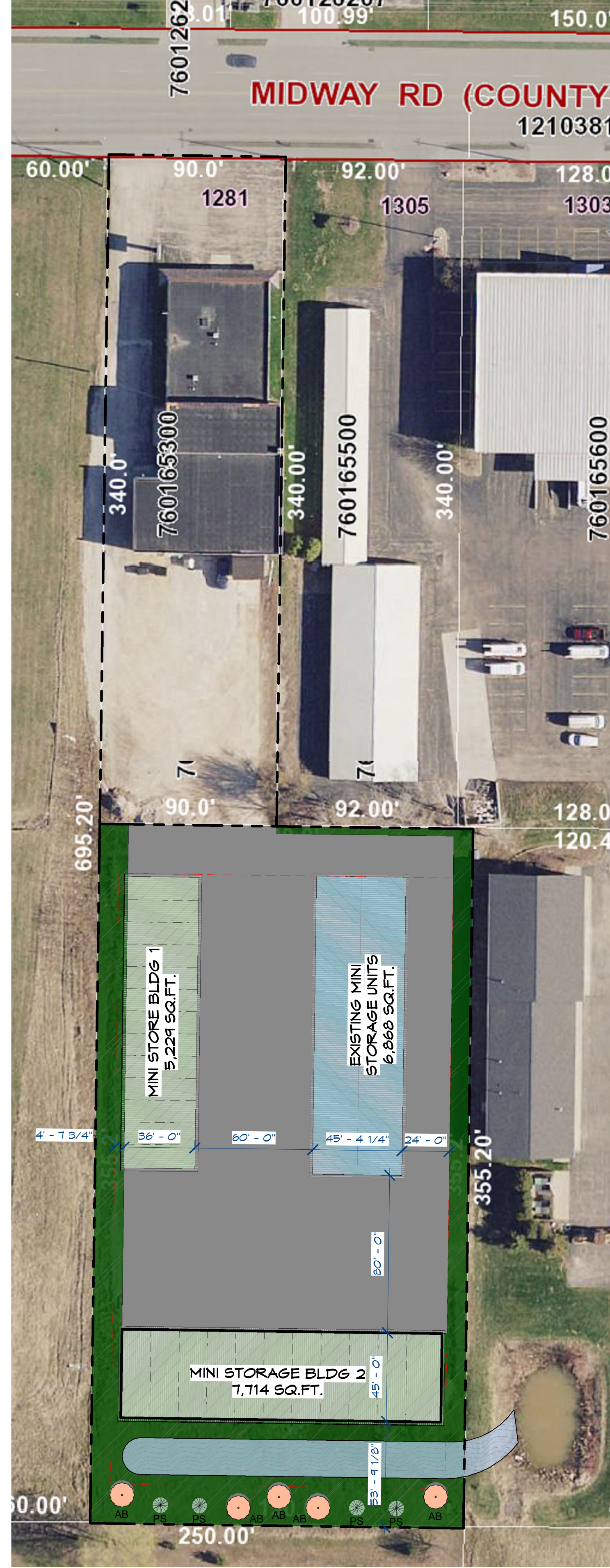
UTSCHIG
The Construction Solutions Provider
PROFESED BUILDINGS FOR:
MIDWAY ROAD II, LLC
1281 MIDWAY RD., MARIETTA, GA 30067
PHOTOMETRICS

ISSUED FOR CONSTRUCTION
E1.1
10/14/2021 10:16:25 AM

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lot	+	2.7 fc	25.3 fc	0.1 fc	253.0:1	27.0:1
Outside Lot	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

Schedule				
Symbol	Label	Quantity	Manufacturer	Catalog Number
□	A	20	Lithonia Lighting	WPX3 LED 40K Mvolt

LANDSCAPING SCHEDULE						
QUANTITY	KEY	PLAN LABEL	COMMON NAME	INITIAL SIZE	MATURE SIZE	PLANT TYPE
5	AB	Acer Rubrum	AUTUMN BLAZE	5' TALL	60'X20'	DECIDUOUS
4	PS	Picea pungens	COLORADO BLUE SPRUCE	4' TALL	50'	EVERGREEN



1 LANDSCAPING PLAN
L1.1 1" = 40'-0"

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Drawn By JUN	Approved By JUN
Project No. 20-2252	Date 01/13/21
Sheet No.	

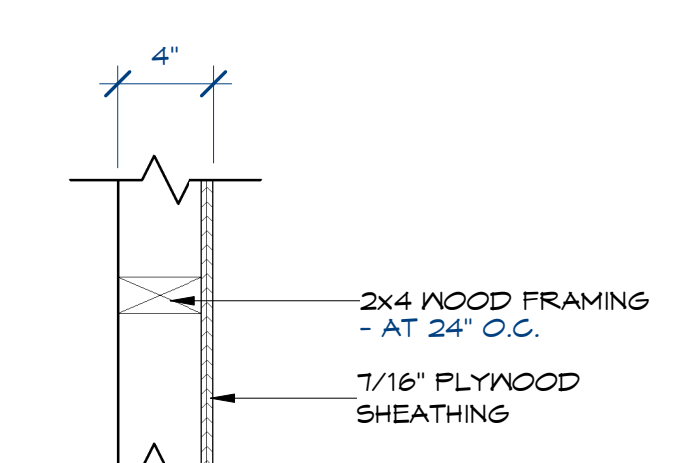
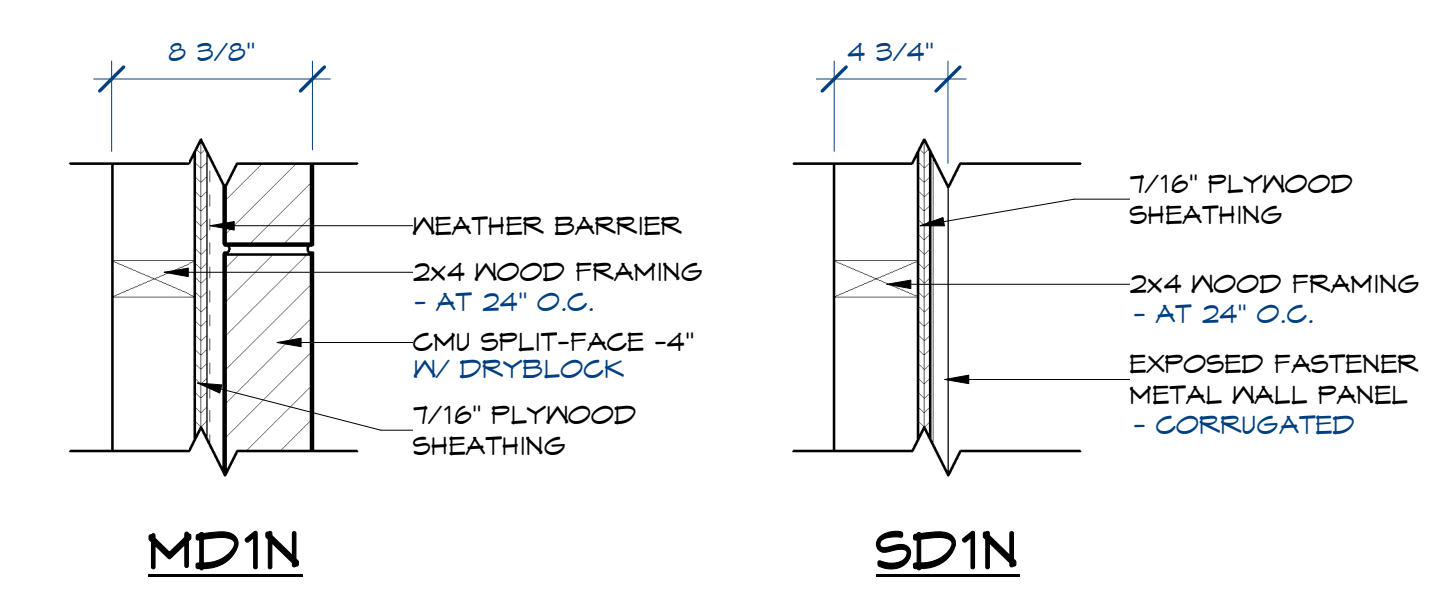
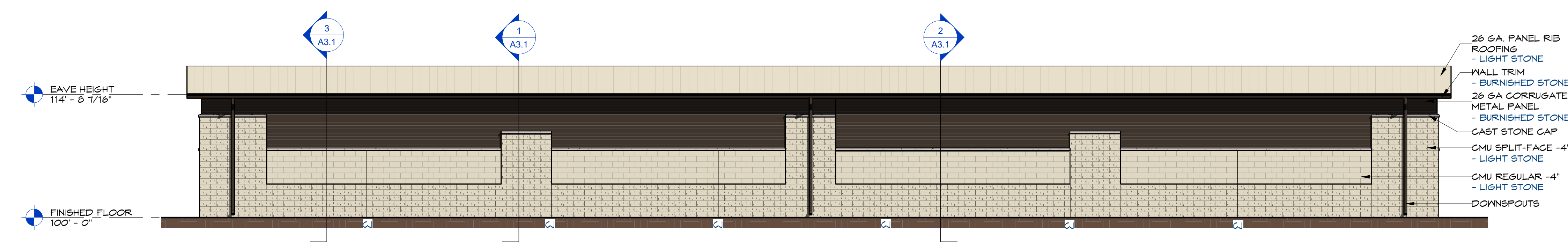
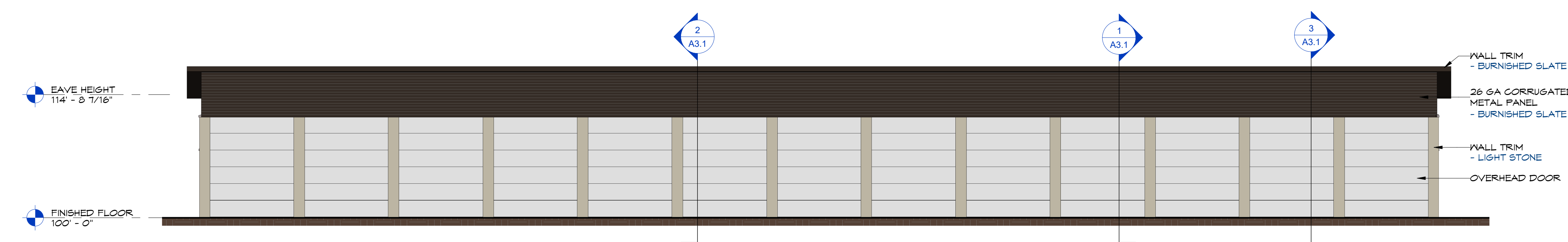
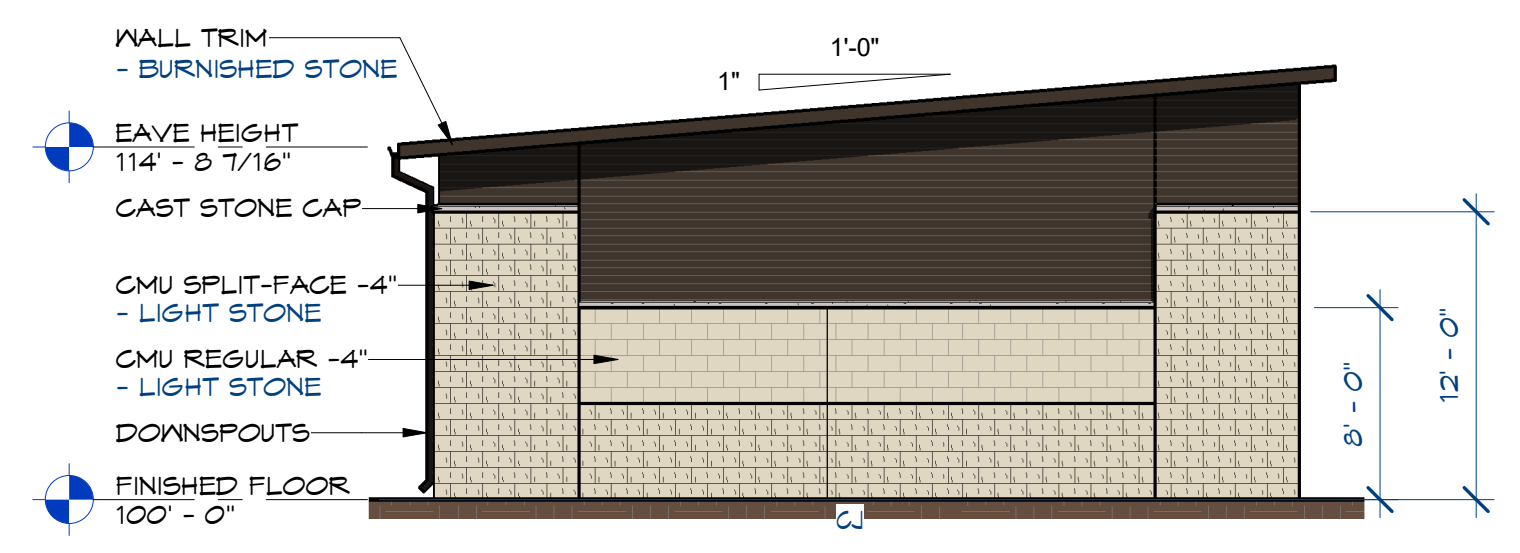
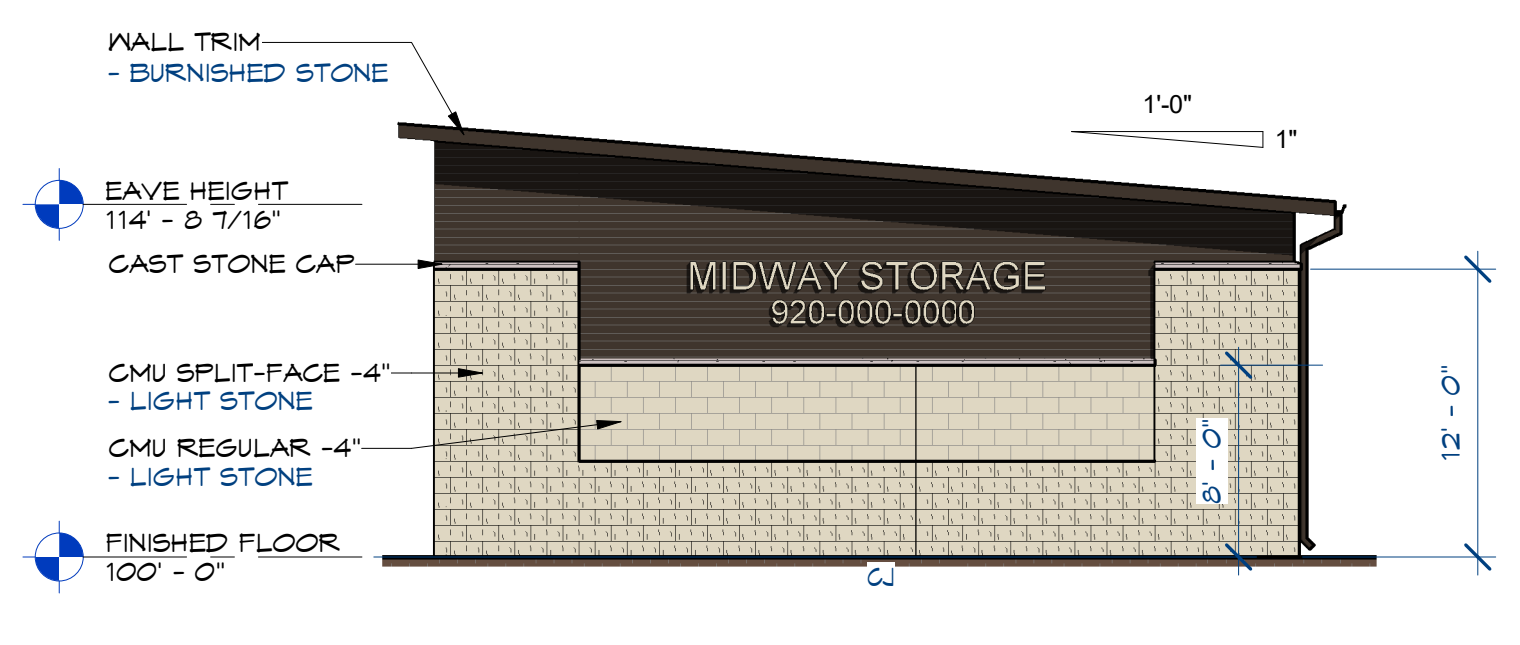
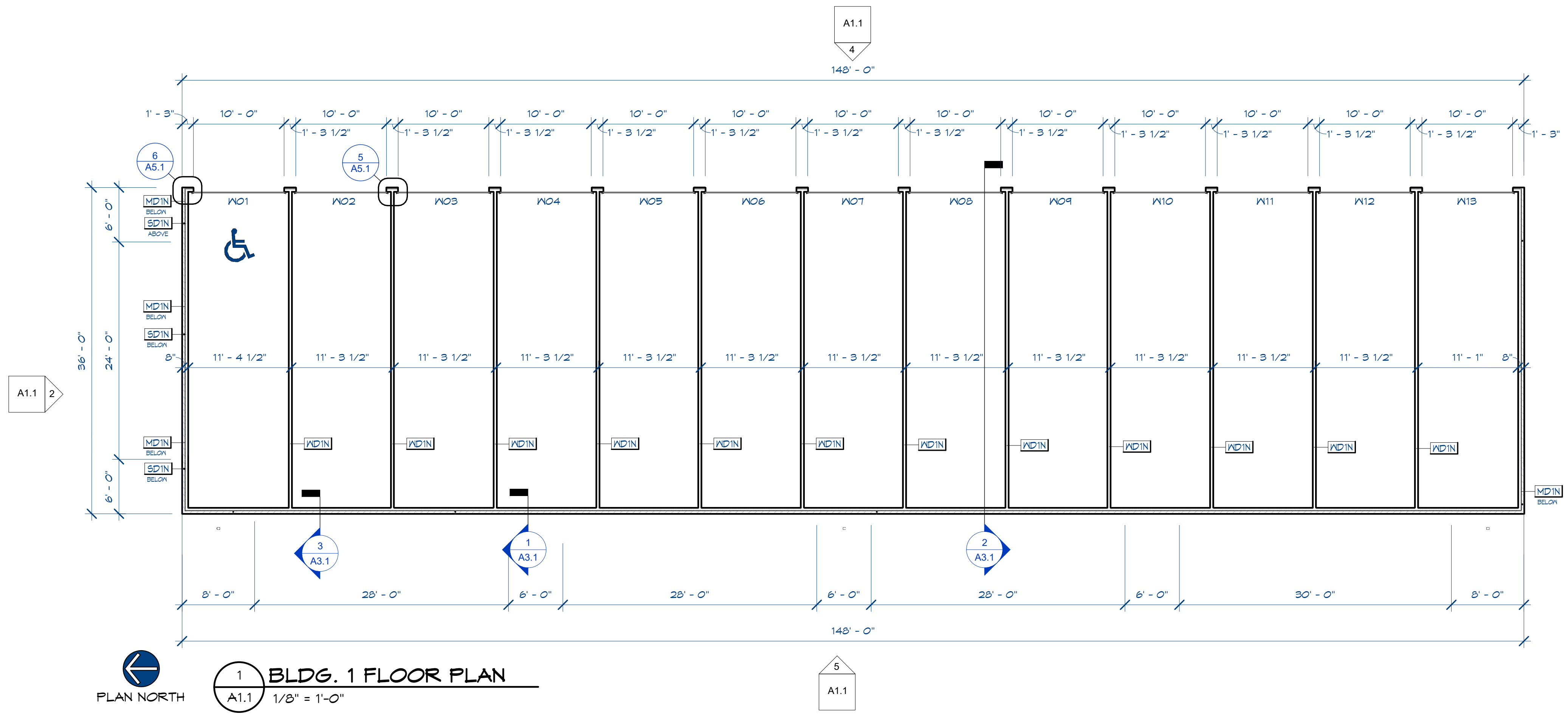
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No.	Date	Description

Page Information

PROPOSED BUILDINGS FOR:
MIDWAY ROAD II, LLC
1281 Midway Rd., Menasha, WI 54952
LANDSCAPING PLAN

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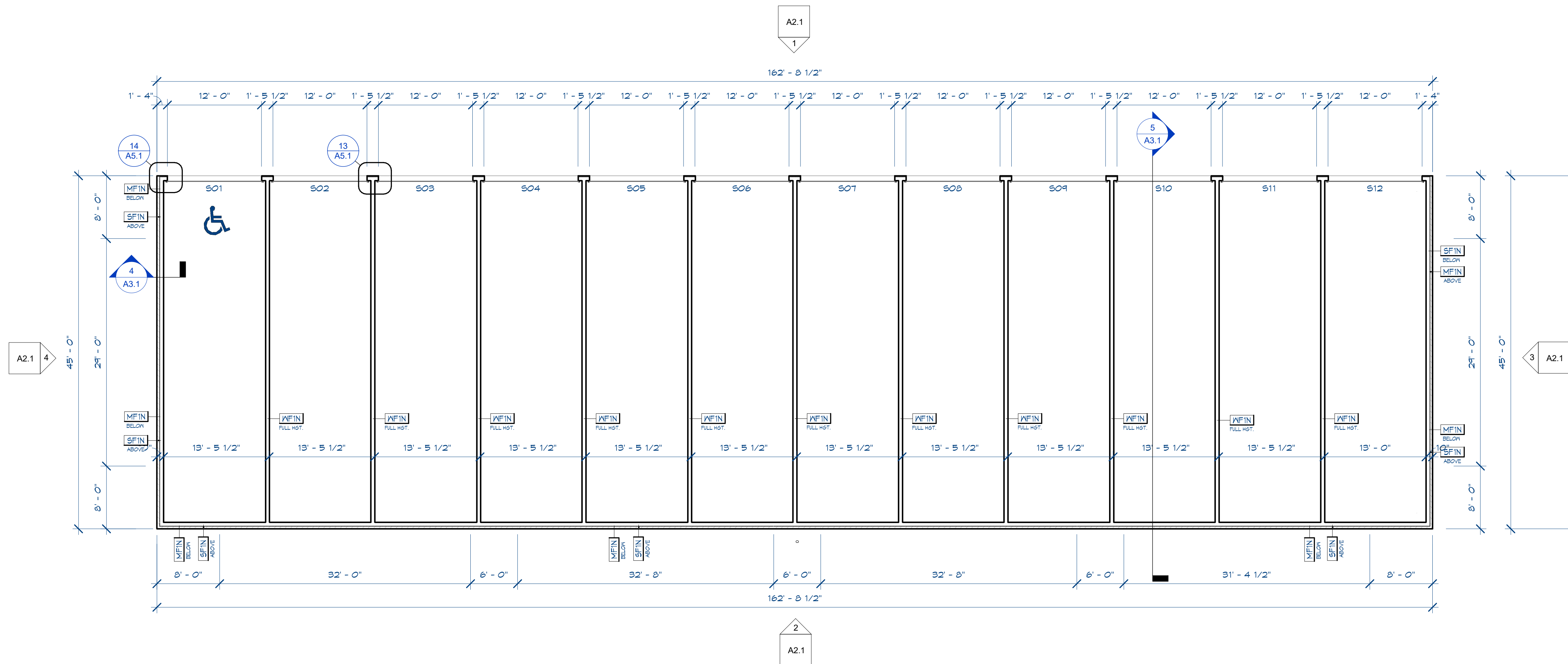


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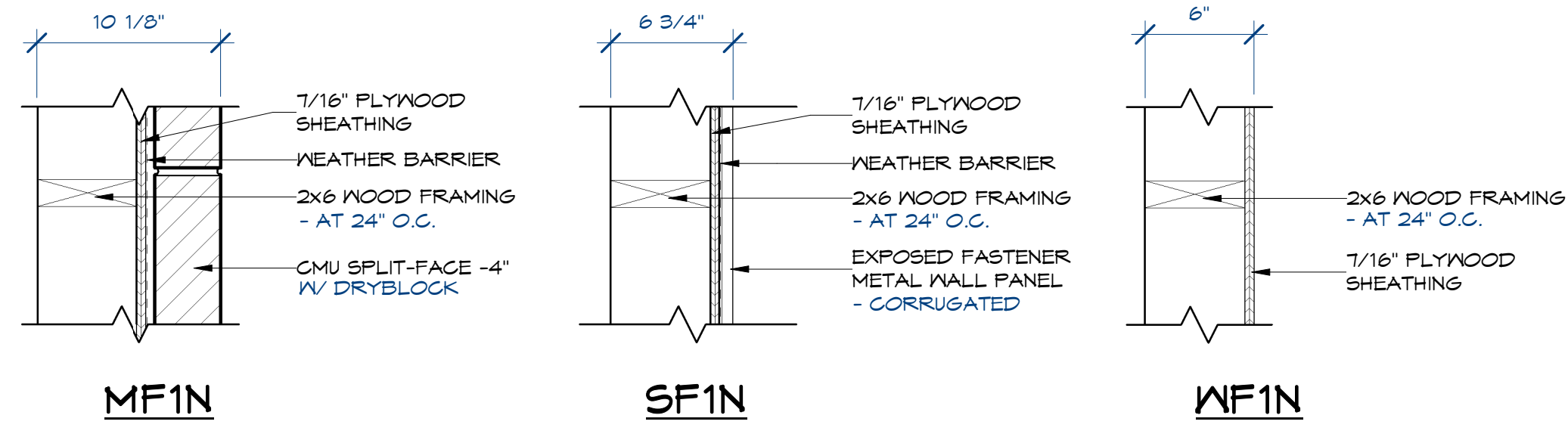
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Project No. 20-2252	Date 01/13/21
Sheet No.	



1 BLDG. 2 FLOOR PLAN
 A1.2 1/8" = 1'-0"



WALL TYPES
 NO SCALE

No.	Date	Description

No.	Date	Description

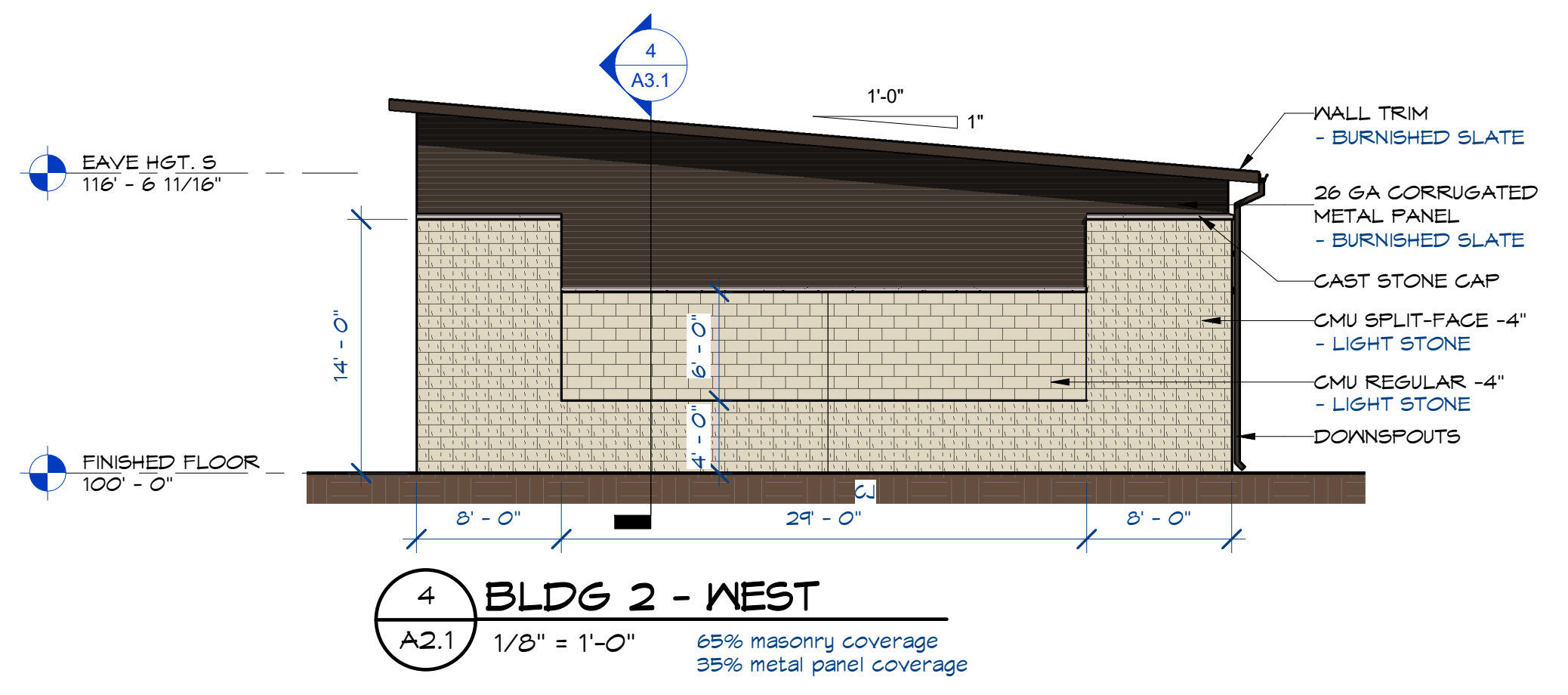
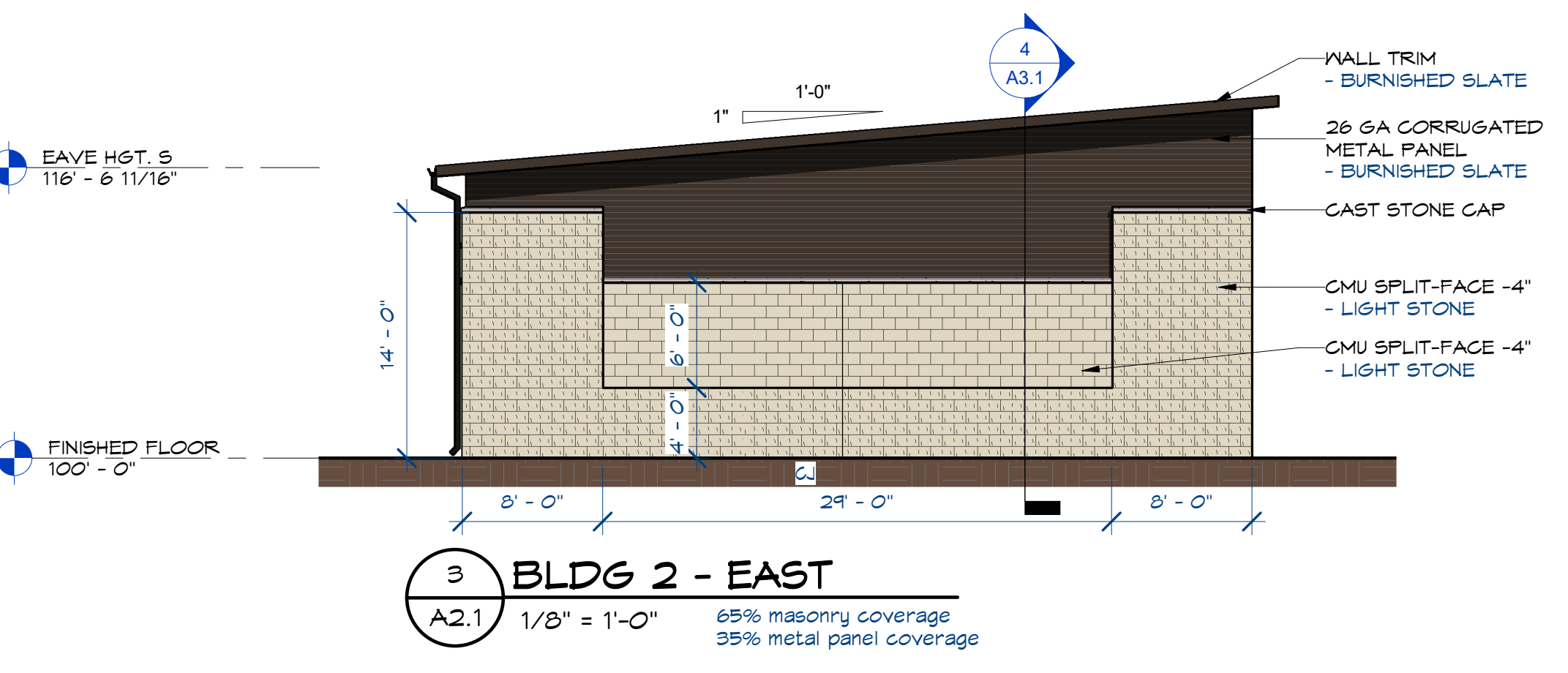
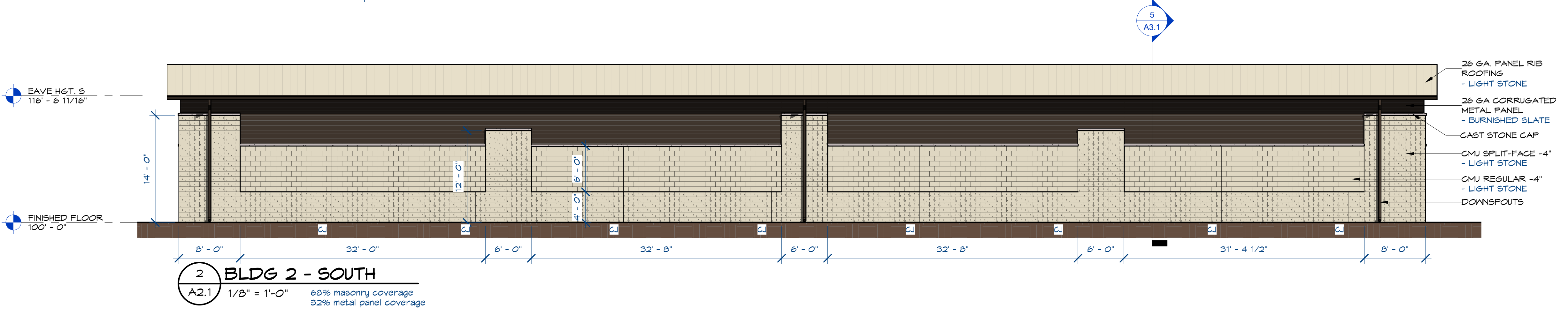
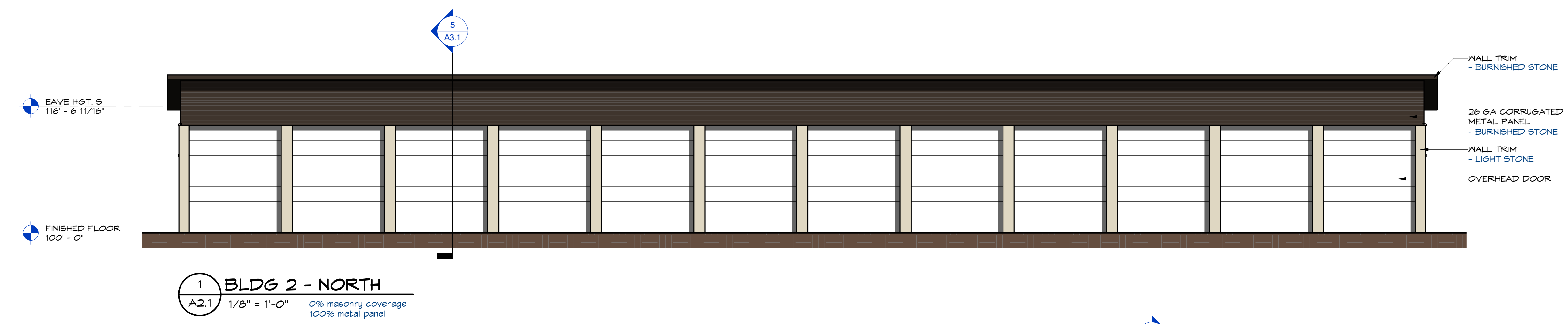
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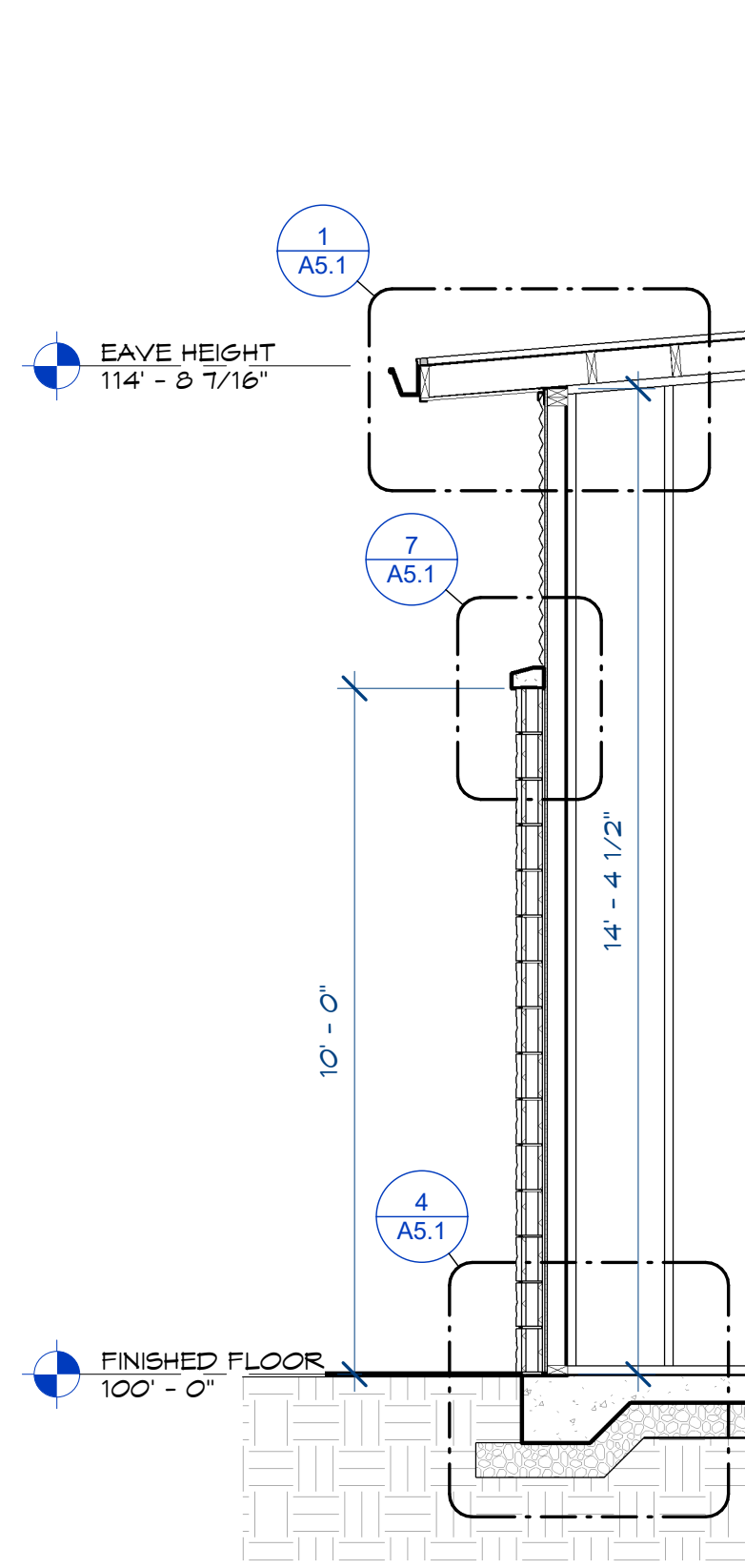
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Drawn By JUN	Approved By JUN
Project No. 20-2252	Date 01/13/21
Sheet No.	

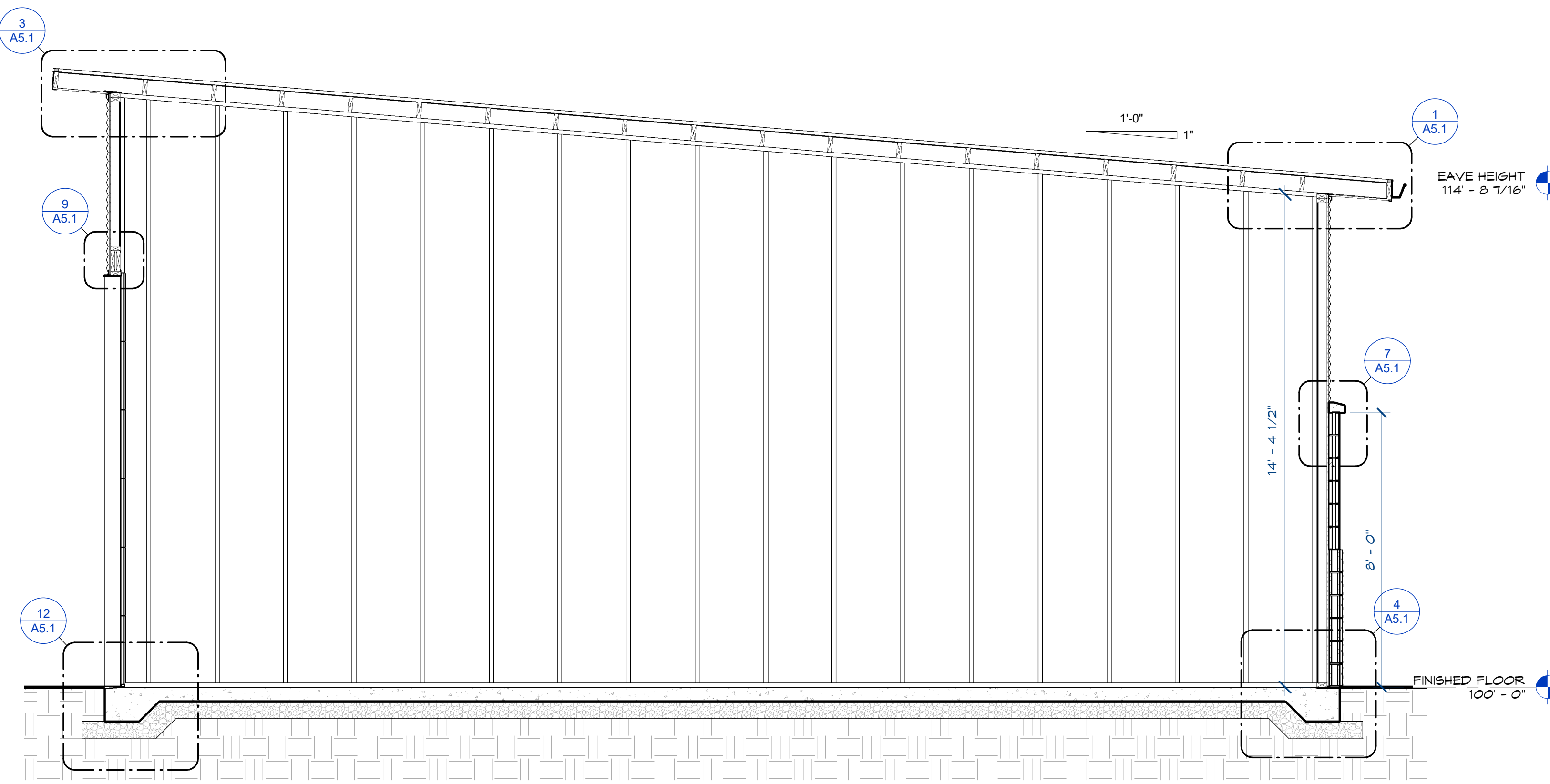
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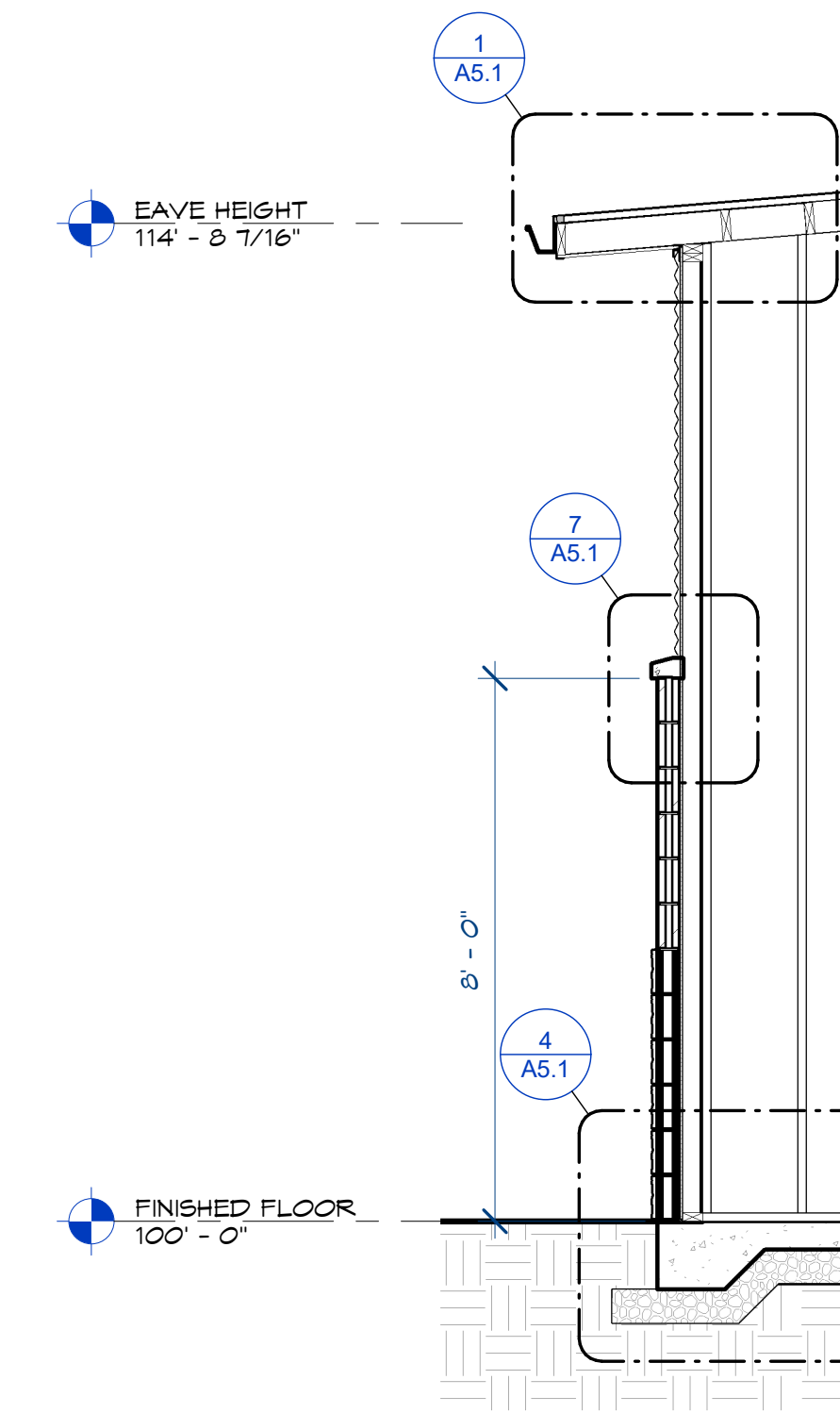




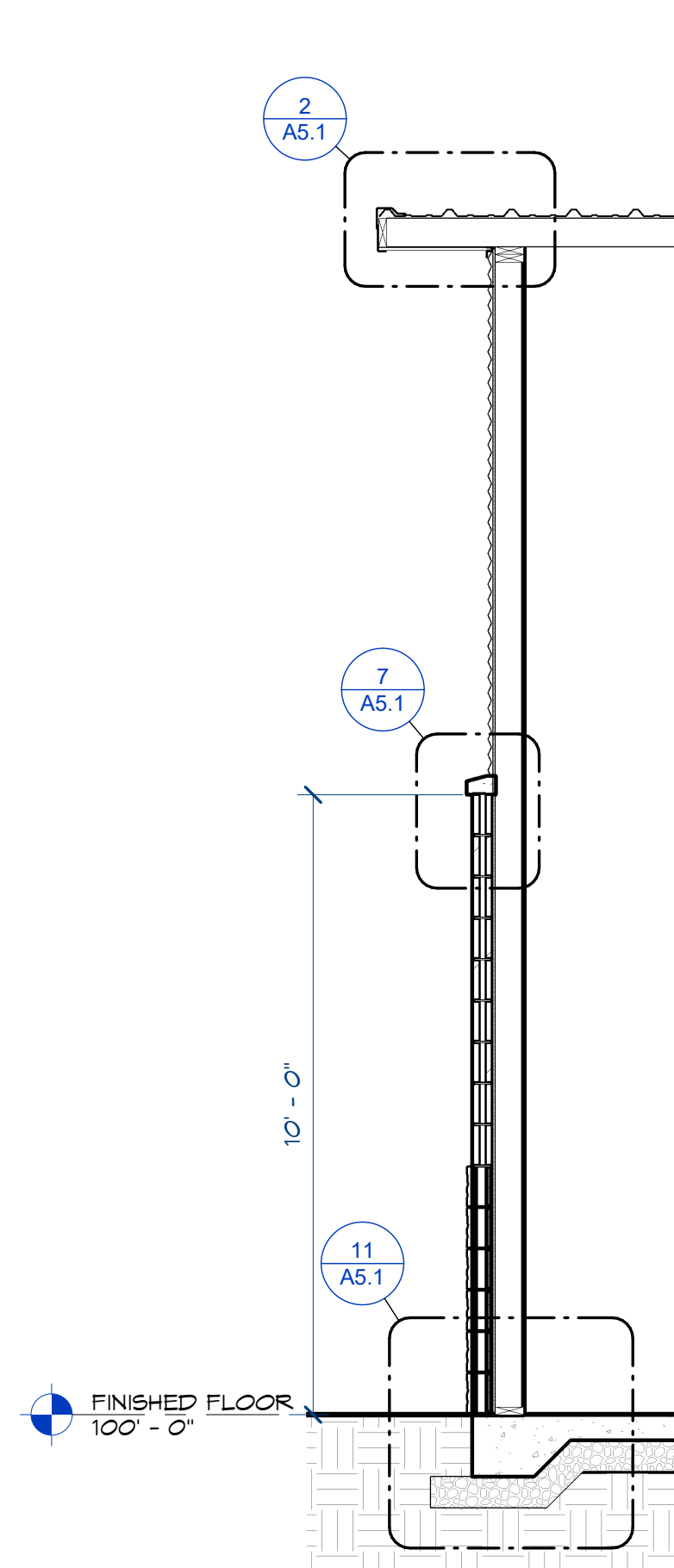
1 BLDG 1 SECTION
 A3.1 3/8" = 1'-0"
 AS REFERENCED BY:A1.1



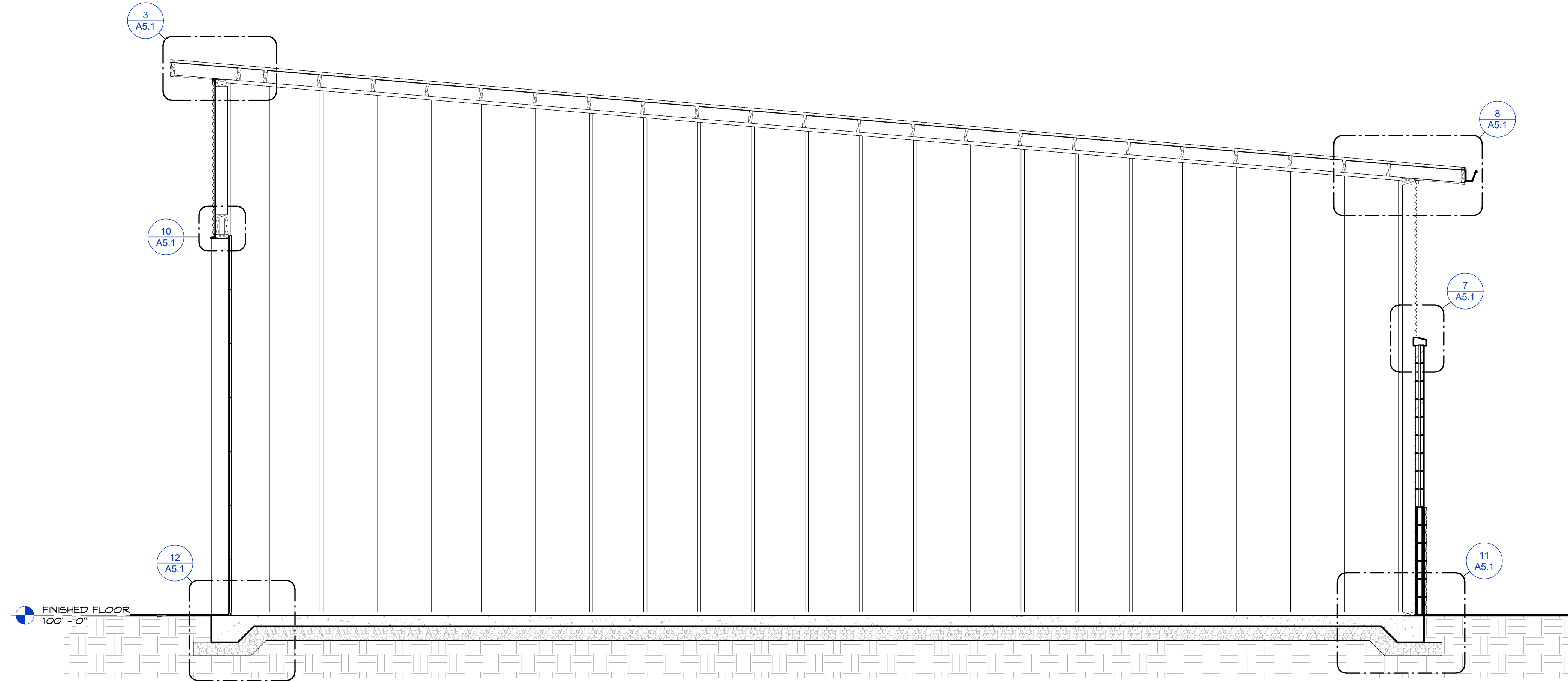
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 A3.1 3/8" = 1'-0"
 AS REFERENCED BY:A1.1



3 BLDG 1 SECTION
 A3.1 3/8" = 1'-0"
 AS REFERENCED BY:A1.1



4 BLDG 2 SECTION
 A3.1 3/8" = 1'-0"
 AS REFERENCED BY:A1.2



5 BLDG 2 SECTION
 A3.1 3/8" = 1'-0"
 AS REFERENCED BY:A1.2

No.	Date	Description

ISSUED FOR CONSTRUCTION

Drawn By JUN	Approved By JUN
Project No. 20-2252	Date 01/13/21
Sheet No.	

A3.1



MEMORANDUM

To: Plan Commission
From: Community Development Department/SS
Date: December 7, 2021
Re: Site Plan Amendment – Lake Park Menasha, LLC – 3002 Community Way

Last fall, Lake Park Menasha LLC submitted an application for a special use permit and site plan review to allow the construction of an 8-unit condominium development at 3002 Community Way. This project was approved. This development was part of a larger development agreement including a 64-unit apartment building south of Community Way and a future 34-unit apartment building (phase 2) south of community way. The 64-unit apartment building is completed, but due to rising cost with covid, the condominium building never commenced construction. Throughout this past year, the developers has attempted multiple times to reduce the costs of the project to make the project financially feasible only to find themselves in the same position.

The latest revisions as presented today, however, does meet the necessary criteria. The applicant is requesting a site plan amendment to the former approved project. The amendment includes reducing the number of units from 8 to 6 and removing the walkout basements. These units will still be a high end condominium development with enclosed parking. The parcel is zoned General Commercial District (C-1). The property is currently used as vacant land. The use and dimensions of the proposed building are in conformance with the City's General Commercial District (C-1).

Site Plan Review

Site/Architectural

The proposed development is for a single story six (6) unit multifamily condominium development.

A typical unit size is 1,570 square feet with each unit having 2 bedrooms and 2 baths. The structure has adequate parking providing 2 car garages for all units and a small parking lot for overflow parking.

The façade as proposed does not meets the 25% masonry requirement. In discussion with the architect and developer, they are willing to propose to extend the brick half wall around the entire north façade and the southern façade through the fire sprinkler room on the south end. The remainder of the building will be made up of a mixture of lap siding, board and batten siding, and shake shingle siding. Noted on the plan set it states composite or vinyl. Due to the maximum 25% of the façade being permitted to be vinyl, the developer has agreed that the siding material will be some sort of composite material. There are architectural elements of the building including: offset recesses, projections, changes in plane, changes in highest, etc.

Mechanical equipment is not noted on the site plan but the applicant intends to have internal mechanicals with the potential for minimal outdoor ground mounted climate control units in the future. (Residential style AC units).

The dumpster enclosure noted on the site plan will be removed and grass be planted in its place. Due to the size of the development, each individual unit will have their own trash and recycling arts.

Landscape

Per Section 13-1-12(g), landscaping requirements are broken down into three areas: landscape adjacent to the building, perimeter landscaping and parking lot landscaping. Landscaping adjacent to the building and Interior parking lot landscaping meets requirements. Perimeter landscaping meets requirements if the existing landscaping is granted by the Plan Commission. It was noted on the previous plan and confirmed with the developer that the intention remains to leave the existing vegetation not in conflict with the site. Existing wooded area is being used to meet the perimeter landscaping requirement. Staff has visited the site and has confirmed there are enough existing trees to meet this requirement. Per Section 13-1-12(g)(4), perimeter landscaping requirements may be waived by Plan Commission if the site is already heavily wooded. Staff feels the site meets this definition and is heavily wooded.

Lighting

Being a residential structure the lighting will be minimal and residential sconces will be used on the exterior next to the garage door, front door, and back doors. All of the lighting is full cut-off or less than 1,200 lumens and is covered by frosted glass and meets the City of Menasha Lighting Ordinance 13-1-13(h).

Stormwater

The Public Works Department has reviewed the proposed storm water management plan and does not see any major concerns provided that the appropriate permits, agreements, and plans are carried out for the project.

Staff recommends approval of the site plan as presented for 3002 Community Way (parcel #7-00170-04) with the following conditions:

- 1) Prior to the issuance of building permits, a stormwater and site improvement agreement must be recorded for the proposed development.**
- 2) Prior to issuance of building permits a stormwater management plan is submitted and approved by the Public Works Department.**
- 3) Plan Commission finds the site “already heavily wooded” and waves the perimeter landscaping requirements.**
- 4) A minimum of 25% of the façade shall be brick and the remaining building materials shall be composite not vinyl.**

PROJECT:
LAKE PARK CONDOMINIUMS
MENASHA, WI



PURE architecture studio, llc
735 N Water Street, Suite 1228
Milwaukee, WI 53202
www.pure-arch.com

CONSULTANTS



PROJECT

**LAKE PARK
CONDOS**

Community Way
Menasha, WI

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

OWNER

**LAKE PARK
MENASHA LLC**

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20106
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	11.10.2021

SHEET

TITLE PAGE

G000

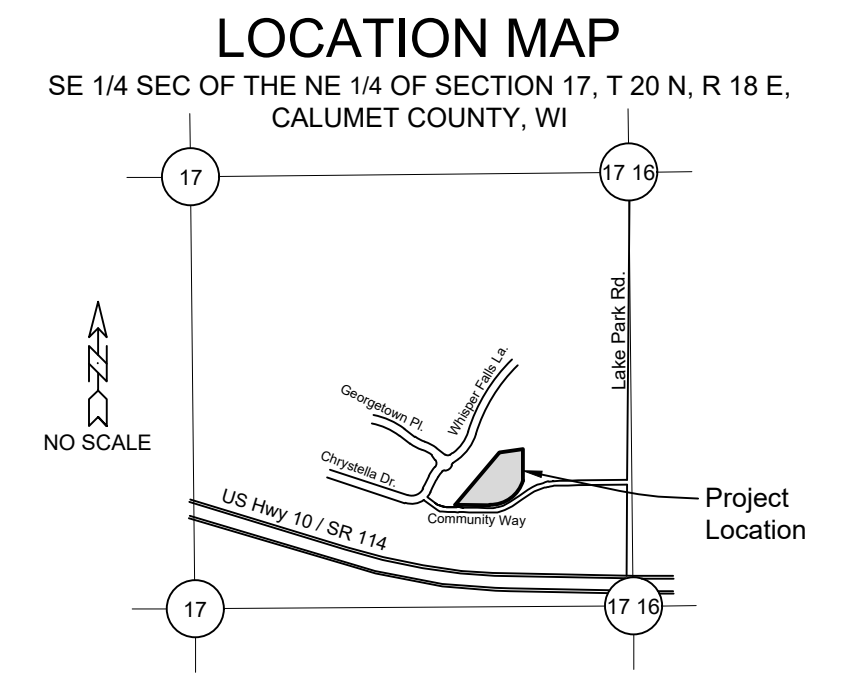
ISSUED FOR: MUNICIPAL SUBMITTAL (NOT FOR CONSTRUCTION)

ARCHITECT:
PURE architecture studio, llc
Milwaukee, WI

Lake Park Menasha

City of Menasha, Calumet County, WI

For: Lake Park Menasha, LLC



SITE INFORMATION:

Legal Description: Lot 4, Lake Park Villas
 Parcel #: 770170004
 Current Use: Vacant
 Proposed Use: Multi-Family Housing

Current Zoning: C1 - General Commercial
 Adjacent Zoning:
 North - PUD - Planned Unit Development
 South - C1 - General Commercial
 East - C1 - General Commercial
 West - PUD - Planned Unit Development

Site Areas	Area	Percentage
Parcel Area:	79,596 SF	(1.82 Acres)
Total Existing Impervious:	0 SF	(0%)
Proposed Building Area:	12,511 SF	
Proposed Pavement Area:	10,987 SF	
Proposed Sidewalk Area:	1,074 SF	
Total Proposed Impervious:	24,572 SF	(31%)
Total Proposed Greenspace:	55,024 SF	(69%)

PARKING CALCULATIONS

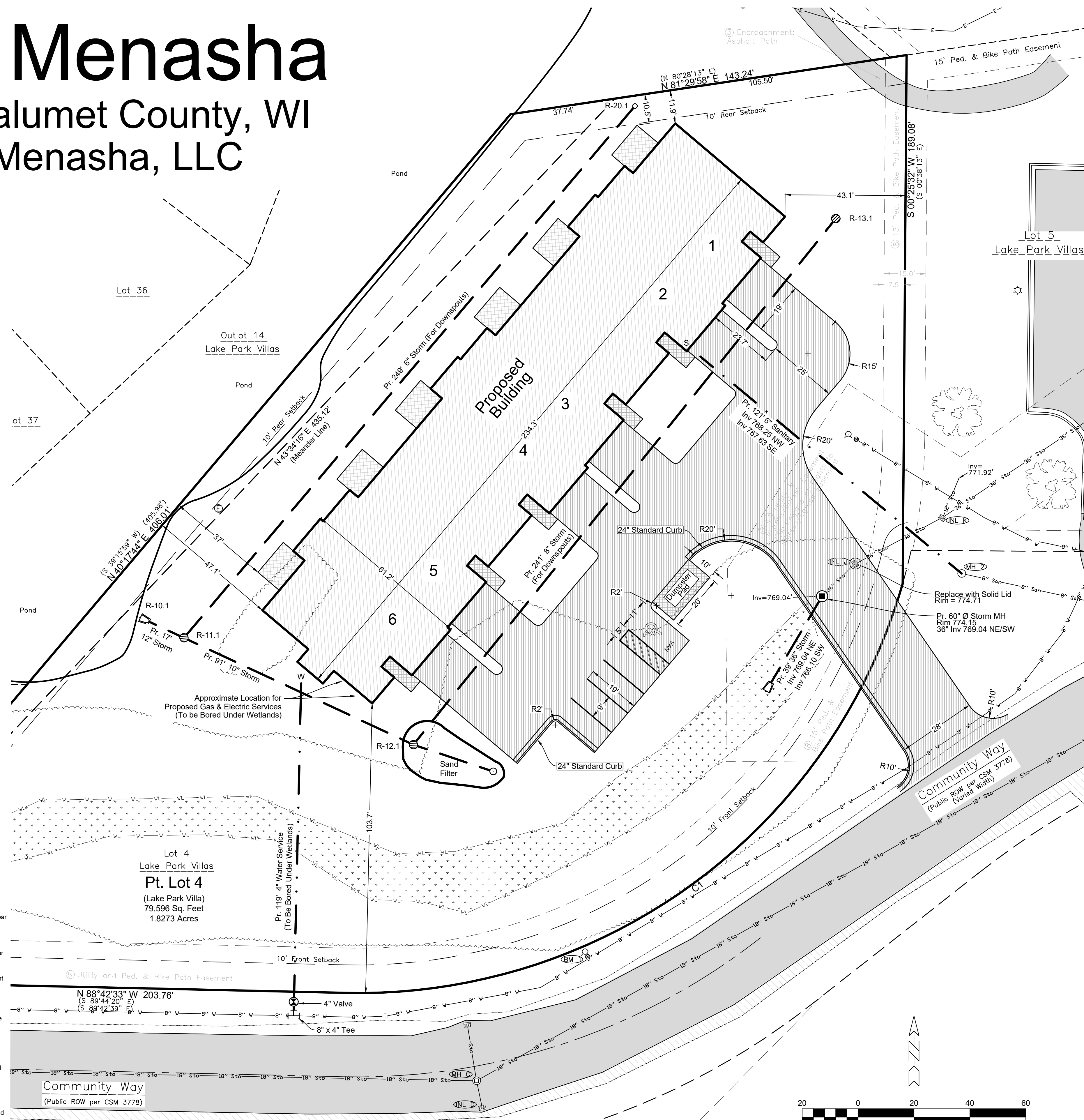
Residents' Parking:	12
Visitor Parking:	5
Parking Stalls Proposed:	17
Parking Stalls Required (1.5 stalls per unit):	9

PROPERTY OWNER:

Lake Park Menasha, LLC
 John T. Ford
 833 E. Michigan Street, Suite 1000
 Milwaukee, WI 53202
 Telephone: (414) 399-0165
 Email: jford@catalystdevelops.com

ARCHITECT:

PURE architecture studio, llc
 Adam Almquist
 735 N. Water Street, Suite 1228
 Milwaukee, WI 53202
 Telephone: (414) 399-9016



Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the City of Menasha.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point five feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).

Sanitary Sewer Pipe shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with water tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.

Each unit has a sanitary demand of 20 DFUs and water demand of 15.5 WSFUs.

Building sanitary demand is 160 DFUs and water demand is 124 WSFUs.

A 4" water service is proposed for sprinkler system.

SHEET INDEX:	
Sheet	Page
Site & Utility Plan	1.0
ALTA/NPS Land Title Survey	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Construction & Erosion Control Details	2.1
Sewer & Water Details	2.2

SITE & UTILITY PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: (920) 991-1866 Fax: (920) 441-0804
 www.davel.pro

LEGEND

—OH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	●	Benchmark
—San—	Sanitary Sewer (Pipe Size)	○	Clean Out / Curb Stop / Pull Box	●	3/4" x 18" Steel Rebar @ 1.50lb/LF SET
—Sto—	Storm Sewer (Pipe Size)	○	Sanitary Manhole	○	1" Rebar Found
—E—	Underground Electric	○	Inlet	○	1" Iron Pipe Found
—G—	Underground Gas Line	○	Catch Basin / Yard Drain	○	Government Corner
—T—	Underground Telephone	○	Hydrant	○	Asphalt Pavement
—W—	Water Main (Pipe Size)	○	Utility Valve	○	Concrete Pavement
—F—	Fence - Steel	○	Utility Pole	○	Proposed Building
—VL—	Existing Easement Line	○	Guy Wire / Pump	○	Proposed Asphalt
—WL—	Wetlands (By Others)	○		○	Proposed Concrete
—TL—	Treeline	○		○	Proposed Gravel
—C—	Culvert	○		○	Proposed Reducer
—800—	Index Contour	○		○	Proposed Plug
—799—	Intermediate Contour	○		○	Proposed Water MH
—S—	Proposed Storm Sewer	○		○	Proposed Tee
—SS—	Proposed Sanitary Sewer	○		○	Proposed Cross
—608—	Proposed Water Main	○		○	Proposed 90° Bend
—C—	Proposed Contour	○		○	Proposed 45° Bend
—S—	Proposed Swale	○		○	Proposed Curb Stop
—C—	Proposed Culvert	○		○	Proposed Cleanout

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ALTA/NSPS LAND TITLE SURVEY

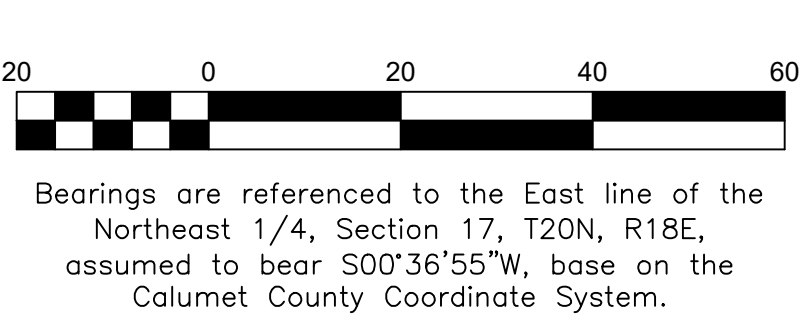
Part of Lot 4 of Lake Park Villas, being part of the of the SE 1/4 of the NE 1/4 of Section 17, Township 20 North, Range 18 East, City of Menasha, Calumet County, Wisconsin

LEGEND

Overhead Electric Lines
 Utility Guy Wire
 Sanitary Sewer (Pipe Size)
 Storm Sewer (Pipe Size)
 Underground Electric
 Underground Gas Line
 Underground Telephone
 Utility Valve
 Water Main (Pipe Size)
 Existing Easement Line
 Wetlands (By Others)
 Trestle
 Culvert
 Index Contour
 Intermediate Contour

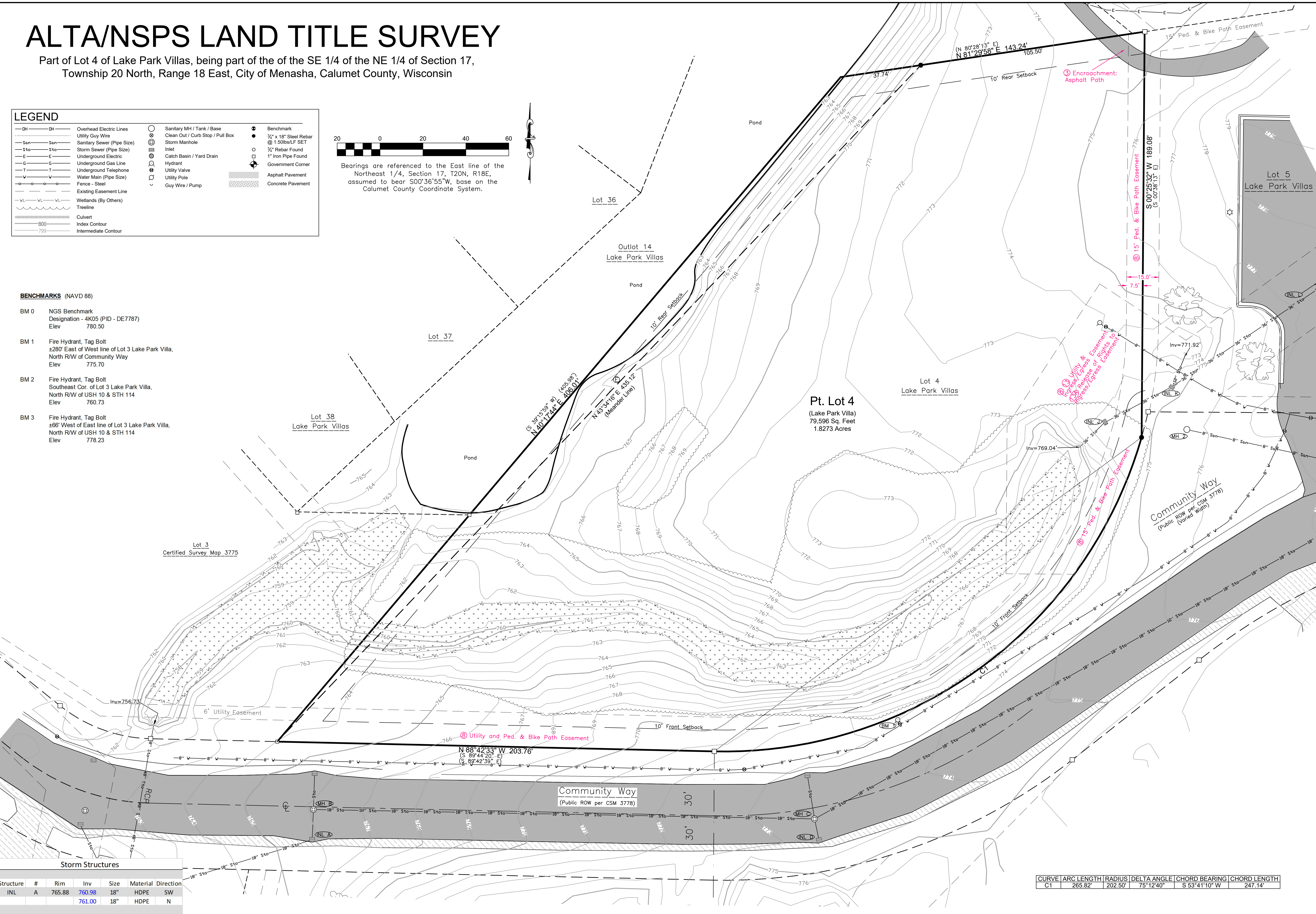
Sanitary MH / Tank / Base
 Clean Out / Catch Stop / Pull Box
 Storm Manhole
 Inlet
 Catch Basin / Yard Drain
 Hydrant
 Utility Valve
 Water Main / Pump
 Guy Wire / Pump

Benchmark
 3/2" x 18" Steel Rebar @ 1.50bu/LF SET
 1/2" Rebar Found
 1" Iron Pipe Found
 Government Corner
 Asphalt Pavement
 Concrete Pavement



BENCHMARKS (NAVD 88)

BM 0	NGS Benchmark	Designation - 4K05 (PID - DE778)	Elev	780.50
BM 1	Fire Hydrant, Tag Bolt	±287' East of West line of Lot 3 Lake Park Villa, North R/W of Community Way	Elev	775.70
BM 2	Fire Hydrant, Tag Bolt	Southeast Cor. of Lot 3 Lake Park Villa, North R/W of USH 10 & STH 114	Elev	760.73
BM 3	Fire Hydrant, Tag Bolt	±66' West of East line of Lot 3 Lake Park Villa, North R/W of USH 10 & STH 114	Elev	778.23



Storm Structures

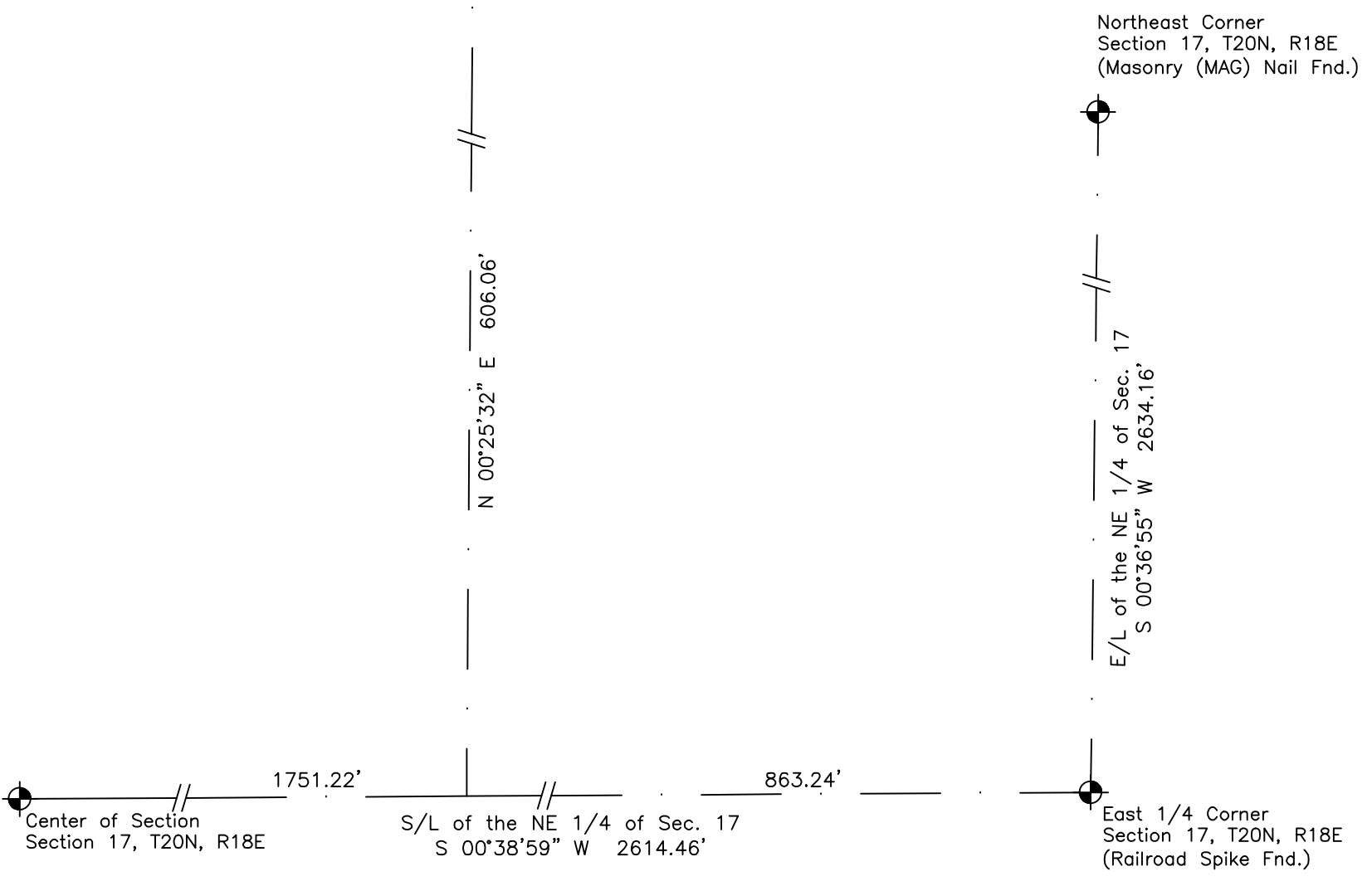
Structure #	Rim	Inv	Size	Material	Direction	
INL A	765.88	760.98	18"	HDPE	SW	
	761.00	18"	HDPE	N		
MH B	766.08	761.08	18"	HDPE	S	
	761.18	18"	HDPE	E		
	761.18	12"	HDPE	N		
	773.50	768.68	18"	HDPE	W	
MH C	768.92	12"	HDPE	N		
	768.92	12"	HDPE	S		
	768.71	18"	HDPE	NE		
	773.26	769.27	12"	HDPE	N	
MH E	772.82	766.07	18"	HDPE	SW	
	766.31	18"	HDPE	E		
	766.31	12"	HDPE	NW		
	766.31	12"	HDPE	S		
INL F	777.54	772.54	12"	HDPE	N	
	MH G	779.45	773.15	18"	HDPE	W
		773.30	15"	HDPE	S	
		10"	HDPE	NE		
10"		HDPE	SE			
MH H	779.54	773.90	15"	HDPE	N	
	8"	PVC	SE			
INL I	779.07	774.57	10"	HDPE	NW	
	INL J	774.71	769.37	36"	HDPE	SW
769.37		36"	HDPE	NE		
INL K	775.04	770.64	12"	HDPE	N	
		769.99	36"	HDPE	SW	
	769.99	36"	HDPE	NE		
INL L	778.85	771.15	36"	HDPE	SW	
	771.15	36"	HDPE	NE		

Sanitary Structures

Structure #	Rim	Inv	Size	Material	Direction
MH 1	780.38	765.92	10"	PVC	N
	765.93	10"	PVC	S	
MH 2	775.63	767.53	8"	PVC	SE
	MH 3	777.18	762.98	18"	PVC
763.03		18"	PVC	W	
MH 4	768.75	753.65	18"	PVC	E
	753.70	18"	PVC	W	
MH 5	758.38	743.23	18"	PVC	E
	743.20	18"	PVC	W	

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	265.82	202.50	75°12'40"	S 53°41'10" W	247.14

- ### General Notes:
- Parcels are currently Zoned: C-1 General Commercial District (Per City Zoning Map)
 Front Yard: 10 Feet
 Side Yard: none, Unless abutting residential district, then transitional area requirements apply
 Rear Yard: 10 Feet
 Height: 45 Feet (3 stories)
 - Subject Site is Mapped as Zone X: Areas Determined to be Outside the 0.2% Annual Chance Floodplain - per FIRM Map No. 55015C0028E with effective date of February 4, 2009.
 - Total land area is 79,596 Square Feet (1.8273 Acres)
 - Community Way, public right of ways, is adjacent to the site as mapped.
 - There are no platable offsite easements provided within Schedule B of the Title Commitment or found while researching the parcel.
 - Existing utilities shown are indicated in accordance with available records and field measurements. Obtain exact locations & elevations of all utilities, including sewer & water from the owners of the respective utilities. To contact Digger's Hotline, call 811.
 - Wetlands are shown per provided CAD file by Client. Davel Engineering and Environmental Inc shall not be held responsible for the accuracy of this delineated feature.



First American Title Insurance Company - Evans Title Division
File No. 3032369 - Notes to Schedule B - II

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:
4, 6-7, 16 & 17 = Items that cannot be shown on a map.

- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or by making inquiry of persons in possession of the land.
(No Observed Burden to Subject Parcel)
- Easements, claims of easements or encumbrances that are not shown by the Public Records.
(No Observed Burden to Subject Parcel)
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflict in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
(Encroachment: Asphalt path encroaches on the subject parcel and does not follow dedicated easement for such use - Mapped and Labeled on this instrument)
- Defects, liens, encumbrances, adverse claims, or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date of the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
(No Observed Burden to Subject Parcel)
- Utility easement provisions as set out on the recorded Plat.
(Mapped and Labeled on this instrument)
- Restricted Access to U.S.H. "10" and S.T.H. "114" as set forth in Award of Damages recorded March 17, 1966, in Volume/Jacket/Reel Y of Misc., on Page/Image 231, as Document No. 106637.
(Described Restrictions do not affect subject parcel)
- Permanent Easement Recorded: August 8, 2000 Volume/Jacket/Reel: 5189 Page/Image: 2 Document No: 306122
(Described Easement does not affect subject parcel)
- Permanent Easement Recorded: August 8, 2000 Volume/Jacket/Reel: 5189 Page/Image: 4 Document No: 306123
(Described Easement does not affect subject parcel)
- Notes as set out on the Plat of Lake Park Villas providing as follows:
 A) Building setback is 18 feet for lots fronting Fountain Way, Whisper Falls Lane and Georgetown Place. Building setback is 25 feet from the private road for lots fronting Clover Court, Eden Court, Whisper Falls Court and Kelsey Pond Court.
(Not part of Subject Parcel - Subject parcel does not front on either of these roads)
 B) All Lots and blocks are hereby restricted so that no owner, possessor, user, licensee, or other person may have any right of direct vehicular ingress from or egress to any highway lying within the right of way of 10'/S.T.H. "114" as shown on the subdivision map; it is expressly intended that this restriction constitute a restriction for the benefit of the public as provided in s.236.293, Wisconsin Statutes and shall be enforceable by the department or its assigns. Any access shall be allowed only by special exception. Any access allowed by special exception shall be confirmed and granted only through the driveway permitting process and all permits are revocable.
(Not part of Subject Parcel - Subject parcel does not front USH 10 and STH 114)
 C) As owners we hereby restrict Lots 8-11 and 13-16 in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with C.T.H. "LP" as shown on the plat; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to Section 236.293, Wisconsin Statutes, and shall be enforceable by the Town of Harrison and Calumet County.
(Not part of Subject Parcel - Subject parcel does not front on CTH LP)
 D) The right of way of U.S.H. "10"/S.T.H. "114" matches DOT Project T019-4(14).
 E) No improvements or structures are allowed between the right of way line and the highway setback line. Improvements and structures include, but are not limited to, signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in Section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the County Highway Department.
(Not part of Subject Parcel - Subject parcel does not front USH 10 and STH 114)
 F) The lots in this land division may experience noise at levels exceeding the levels in s Trans 405.04, Table 1. These levels are based on Federal Standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the Department to the highway's through-lane capacity.
(Not map related items, warning of HWY noise)
- Easements for public utilities, storm sewer, pedestrian and bike path, utility ingress and egress, drainage easements, sanitary sewer, construction, watermain and lift station as disclosed by the subdivision plat.
(Mapped and Labeled on this instrument)
- Ingress/Egress Easement revised by instruments recorded on July 3, 2019 as Document No. 539984, 539985, 539986, 539987 and 539988.
(Mapped and Labeled on this instrument - ALL documents release rights of ingress/egress to easement as dedicated on Lake Park Villas)
- Pedestrian and Bike Path Easement revised by instrument recorded on March 8, 2017 as Document No. 520722.
(Described Instrument does not affect subject parcel)
- Setback lines as disclosed by the subdivision plat.
(Mapped and Labeled on this instrument)
- Terms and provisions of Easement Agreement recorded on March 8, 2017 as Document No. 520723.
(Described Instrument does not affect subject parcel)

Legal Description
 (Per Commitment File No.: 3032369 with an effective date of May 11, 2020)
 The Land referred to herein below is situated in the County of Calumet, State of WI, and is described as follows:
 (PART OF LEGAL DESCRIPTION AS STATED IN COMMITMENT NO. 3032369)
 Lot 4 and 3, LAKE PARK VILLA, City of Menasha, Calumet County, Wisconsin; EXCEPTING therefrom that portion lying within Certified Survey Map No. 3778, Calumet County Registry.
 APN: Part of 7-01700-03 and Part of 7-01700-04

Surveyor's Certificate
 I, Scott R. Andersen, Professional land surveyor, hereby certify that in full compliance with the provisions of Chapter A-E 7 of the Wisconsin Administrative Code, and under the direction and control of Lakeshore Ridge Apartments, LLC, interested party of the subject property, that this survey is correct to the best of my knowledge and belief, that this survey is PART of the property as described in ALTA Commitment for Title Insurance File No. 3032369, and that this land is Part of Lot 4 of Lake Park Villas, being part of the Southeast 1/4 of the Northeast 1/4 of Section 17, Township 20 North, Range 18 East, in the City of Menasha, Calumet County, Wisconsin containing 79,596 Square Feet (1.8273 Acres) of land described as follows:
 Commencing at the Northeast Corner of Section 17; thence S00°36'55"W along the east line of the Northeast 1/4 of said Section 17, 2634.16 feet to the East 1/4 Corner of said Section 17; thence S89°38'59"W, 863.24 feet; thence N00°25'32"E, 606.06 feet to the North right of way line of Community Way as dedicated per Certified Survey Map No. 3778 and to the point of beginning; thence N88°42'33"W along said north right of way line, 203.76 feet to the westerly line of Lot 4 of Lake Park Villas; thence N40°17'44"E along said westerly line, 406.01 feet to the northerly line of said Lot 4; thence N81°29'58"E along said northerly line, 143.24 feet to the common line between Lot 4 and Lot 5 of Lake Park Villas; thence S00°25'32"W along said common line, 189.06 feet to the north right of way of Community Way as dedicated per Certified Survey Map No. 3778 and to a point of curvature of a curve to the right having a radius of 202.50 feet and a delta angle of 75°12'40"; thence Southwesterly 265.82 feet along said right of way and along the arc of a curve which has a chord that bears S53°41'10"W 247.14 feet to the point of beginning. Said parcel is subject to all easements and restrictions or recorded.

To: Lakeshore Ridge Apartments, LLC, a Wisconsin limited liability company; and First American Title Insurance Company - Evans Title Division.
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the "2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS, and includes items 1, 3, 4, 5, and 11 of Table A thereof. The field work was completed on July 22, 2020. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor professional in the State of Wisconsin, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.
 Date of Map: _____

Scott R. Andersen PLS-3169



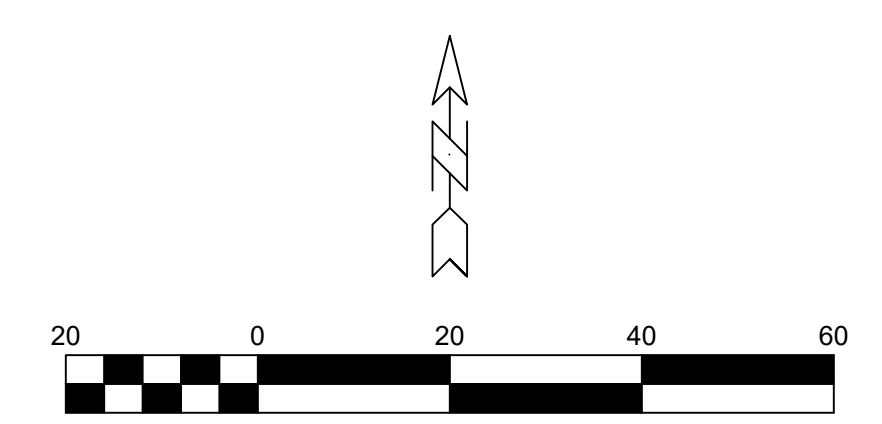
BENCHMARKS (NAVD 88)

BM 0	NGS Benchmark	Designation - 4K05 (PID - DE7787)	Elev 780.50
BM 1	Fire Hydrant, Tag Bolt	±280' East of West line of Lot 3 Lake Park Villa, North RW of Community Way	Elev 775.70
BM 2	Fire Hydrant, Tag Bolt	Southeast Cor. of Lot 3 Lake Park Villa, North RW of USH 10 & STH 114	Elev 760.73
BM 3	Fire Hydrant, Tag Bolt	±66' West of East line of Lot 3 Lake Park Villa, North RW of USH 10 & STH 114	Elev 778.23

- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - Vegetation beyond slopes shall remain.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
 - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

LEGEND

—DH—DH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	●	Benchmark
—U—U—	Utility Guy Wire	⊗	Clean Out / Curb Stop / Pull Box	●	1/2" x 18" Steel Rebar @ 1.50bs/LF SET
—San—San—	Sanitary Sewer (Pipe Size)	⊕	Storm Manhole	○	1/2" Rebar Found
—Sto—Sto—	Storm Sewer (Pipe Size)	⊕	Inlet	○	1" Iron Pipe Found
—E—E—	Underground Electric	⊕	Catch Basin / Yard Drain	⊕	Government Corner
—G—G—	Underground Gas Line	⊕	Hydrant	⊕	Asphalt Pavement
—T—T—	Underground Telephone	⊕	Utility Valve	⊕	Concrete Pavement
—W—W—	Water Main (Pipe Size)	⊕	Utility Pole	⊕	
—F—F—	Fence - Steel	⊕	Guy Wire / Pump	⊕	
---	Existing Easement Line				
---	Wetlands (By Others)				
---	Treeline				
---	Culvert				
---	Index Contour				
---	Intermediate Contour				
---	Proposed Storm Sewer				
---	Proposed Contour				
---	Proposed Swale				
---	Proposed Culvert				
---	Adjacent Plat Grade				
---	Prop. Lot Corner Elevation				
---	Proposed Spot Elevation				
---	Proposed Top of Wall Elevation				
---	Proposed Bottom of Wall Elevation				
---	Proposed Storm Manhole				
---	Proposed Curb Inlet				
---	Prop. Catch Basin / Yard Drain				
---	Proposed Endwall				
---	Proposed Rip Rap				
---	Prop. Drainage Direction				
---	Prop. Grade at Foundation				
---	Existing Grade				



STORM SEWER STRUCTURE SUMMARY

Structure	Type	Size	Cover	Final Grade		Plan		Final Grade		Plan	
				Rim	Invert	Rim	Invert	Depth	Depth		
R-10.1	Endwall	30" ID	---	---	763.20	---	---	---	---	---	---
R-11.1	Yard Drain	30" ID	R-2510-2	766.70	763.26	766.70	763.26	3.44	3.44	---	---
R-12.1	Yard Drain	30" ID	R-2510-2	768.70	763.85	768.70	763.85	4.85	4.85	---	---
R-13.1	Yard Drain	30" ID	R-2510-2	770.03	764.94	770.03	764.94	5.09	5.09	---	---
R-20.1	Clean Out	#N/A	#N/A	770.73	766.15	770.73	766.15	4.58	4.58	---	---
				Total =		17.95		17.95			

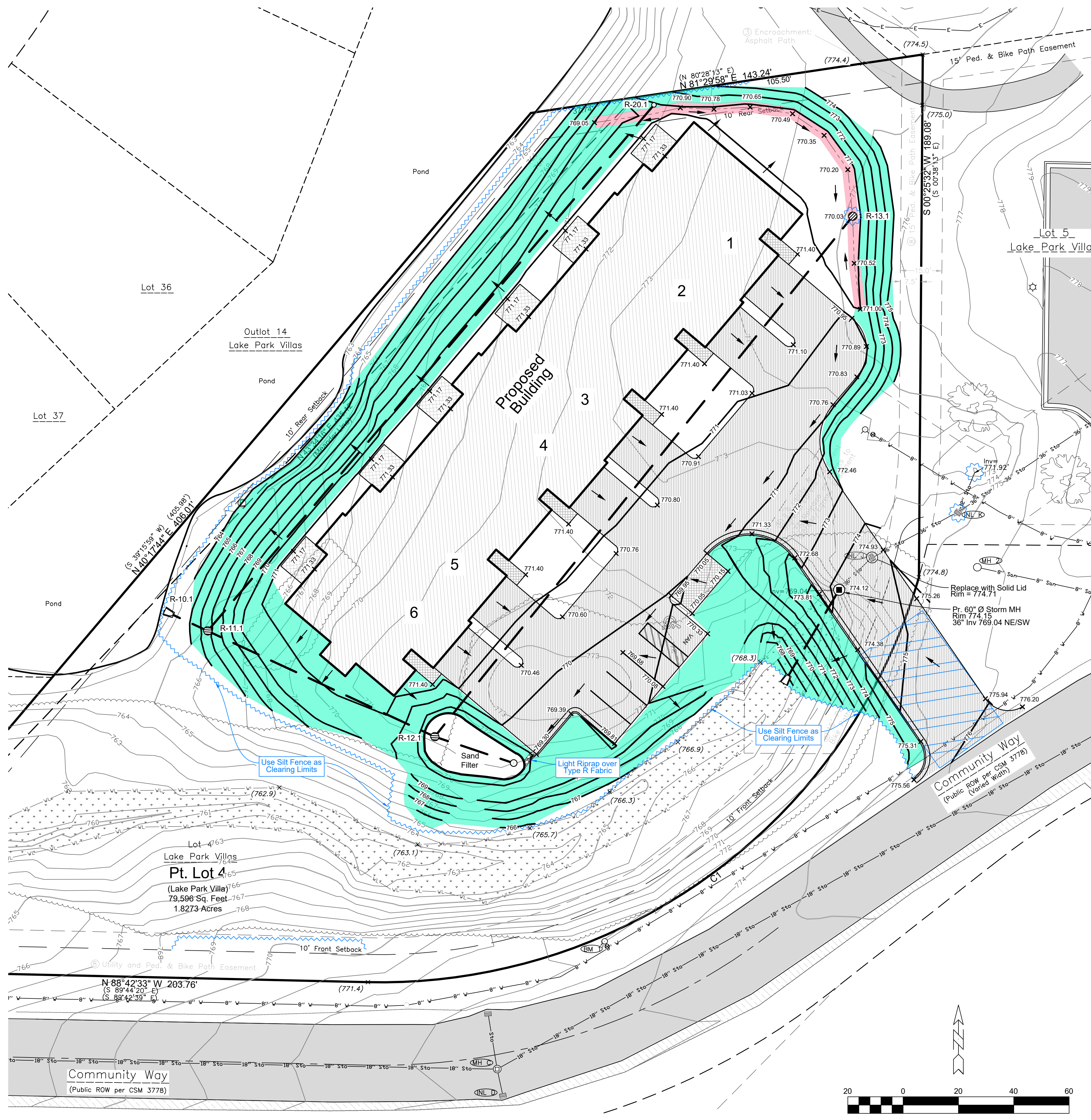
STORM SEWER PIPE SUMMARY

Reach	US DS	US Inv	DS Inv	Length	Slope	Size (in)	Node Drop	Phase	Area			Flow			Capacity			Velocity			
									Total (SF)	Grass (SF)	Roof (SF)	Pavement (SF)	Runoff (GPM)	Pipe Flow (GPM)	Capacity (GPM)	Runoff (cfs)	Pipe Flow (cfs)	Capacity (cfs)	Velocity (ft/s)	Capacity Check	
R-11.1	R-10.1	763.26	763.20	17	0.0035	12	0.00		0	0	0	0	0	978	1025	0.00	2.18	2.28	2.9	---	
R-12.1	R-11.1	763.85	763.39	91	0.0050	10	0.00		16996	4536	0	12460	427	736	753	0.95	1.64	1.68	3.1	---	
R-13.1	R-12.1	764.94	763.98	241	0.0040	8	0.00		13490	7275	6215	0	309	309	372	0.69	0.69	0.83	2.4	---	
R-20.1	R-11.1	766.15	763.66	249	0.0100	6	0.00		6296	0	6296	0	242	242	273	0.54	0.54	0.61	3.1	---	
				Total =		598															

EROSION & SEDIMENT CONTROL PLAN

Lake Park Menasha, Calumet County, WI
For: Lake Park Menasha, LLC

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- ### Planned Sediment and Erosion Control Practices
- All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day. All off-site sediment deposits occurring as a result of construction work or a storm event shall be cleaned up at a minimum of the end of each day or as necessary. Flushing shall not be allowed.
- Diverting Flow**
 - Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the pond and storm sewers.
 - Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used upslope of any soil piles to reduce the amount of sediment transported. **All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.**
 - Overland Flow**
 - Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056.** It will be placed at the following locations:
 - along the site boundary where runoff will leave the site
 - at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - Provide reinforced silt fence along wetland boundary.
 - Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058.** In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.
 - Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding shall be in accordance with DNR Technical Standard 1059.** Seed mixture 2D (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than October 15th. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.
 - Trapping Sediment in Channelized Flow**
 - Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. **All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062.** Ditch Checks will be used where indicated on the plan as specified diameter sediment logs. Additional ditch checks may be required in areas where erosion is occurring.
 - Permanent Channel Stabilization**
 - Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of pipe outlets will be stabilized using riprap as shown on the plan.
 - Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel. Vegetated waterways will be used in the following areas:
 - drainage swales as indicated on the plans;
 - Inlet Protection Barriers** - Intended to prevent the sedimentation of storm water conveyance structures. **All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060.** As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
 - Stone Tracking Pad** - Intended to reduce the amount of sediment transported onto public roads. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057.** A tracking pad will be constructed at the site entrance to each phase and/or building.
 - Dust Control** - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.
 - Dewatering BMP** - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.**
 - If dewatering is required, the contractor will need to direct the discharge to a stable outlet. The pump shall discharge into a Type 1 Sediment Bag. The bag shall discharge to the treatment channel or stormwater pond. The treatment channel shall consist of the following:
 - A flat bottom that is six-feet wide
 - Length not less than fifty-feet. Actual length required to be determined by onsite soil test.
 - Lined with a woven separation fabric covered by jute netting.
 - Flocculants shall be placed in the channel perpendicular to the direction of flow. Spacing to be determined by onsite testing.
 - Prior to dewatering, a qualified contractor shall perform the sediment testing and select the proper flocculants and determine the necessary length of the treatment channel.
 - Upon completion of the dewatering operation, all materials must be disposed of properly. The jute netting can be buried on site. The separation fabric must be removed from the site. Disposal of all materials shall be in accordance with all state and local requirements.
 - Once the pond is constructed, dewatering discharges shall be directed into the pond in a non-erosive condition.
 - Waste Material** - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

- ### Sequence of Construction
- Obtain plan approval and other applicable permits.
 - Install & maintain all erosion & sediment control measures: **December 2021.**
 - Strip topsoil, utility construction: **December 2021.**
 - Site grading: **December 2021.**
 - Grade and gravel construction: **January - February 2021.**
 - Building Construction: **February 2022 - May 2022.**
 - Stabilize lawn and ditch areas no later than one week after final grade is established. **May 15, 2022**
 - Asphalt Paving: **May 2022**
 - Remove all temporary measures, topsoil critical areas, and establish vegetation. Water if necessary to establish healthy and well rooted vegetation.
- Note: The dates provided are approximate and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

- ### Maintenance Plan
- The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:
- All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
 - Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
 - Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
 - Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to the DNR website for a template: <http://dnr.wi.gov/files/PDF/forms/34003400-187.pdf>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the City of Menasha.

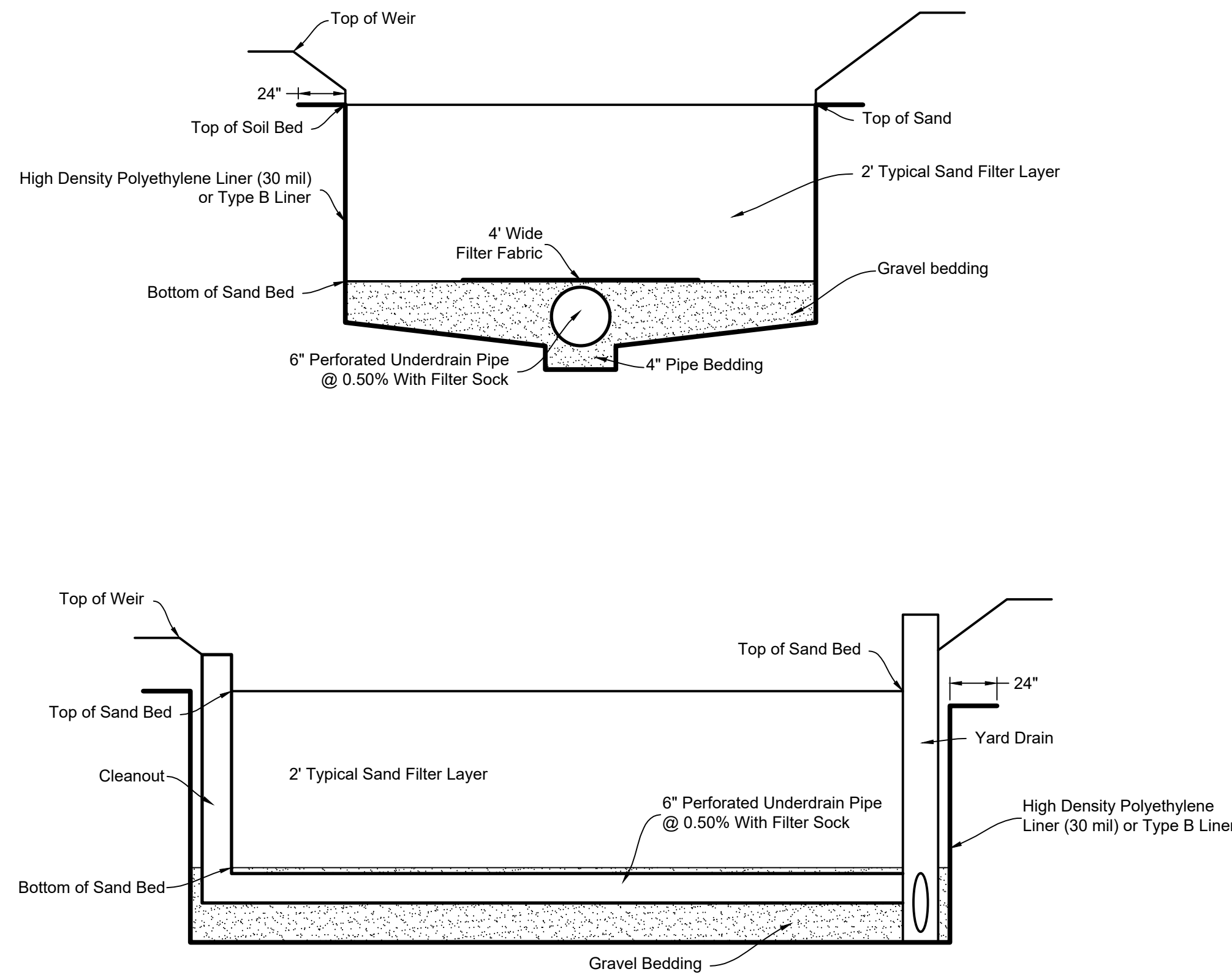
Responsible Parties

Best Management Practices (BMPs) Construction and Maintenance:
To be Determined (TBD)

BMP Inspection and Compliance Enforcement:
City of Menasha
Wisconsin Department of Natural Resources

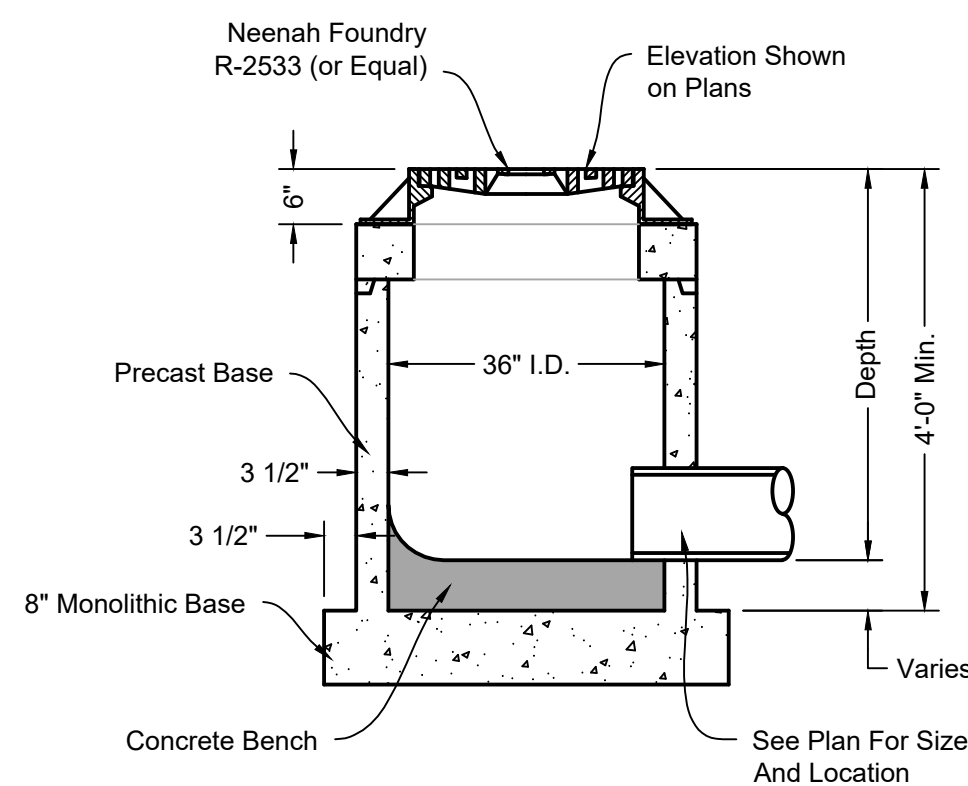
LEGEND

	Overhead Electric Lines		Sanitary MH / Tank / Base		Benchmark
	Utility Guy Wire		Clean Out / Curb Stop / Pull Box		3/4" x 18' Steel Rebar
	Sanitary Sewer (Pipe Size)		Storm Manhole		1.50cuL SET
	Storm Sewer (Pipe Size)		Inlet		3/4" Rebar Found
	Underground Electric		Catch Basin / Yard Drain		1' Iron Pipe Found
	Underground Gas Line		Hydrant		Government Corner
	Underground Telephone		Utility Valve		Asphalt Pavement
	Water Main (Pipe Size)		Utility Pole		Concrete Pavement
	Fence - Steel		Guy Wire / Pump		
	Existing Easement Line				
	Wetlands (By Others)				
	Treeline				
	Culvert		Proposed Storm Manhole		Proposed Building
	Index Contour		Proposed Curb Inlet		Proposed Asphalt
	Intermediate Contour		Prop. Catch Basin / Yard Drain		Proposed Concrete
	800		Proposed Endwall		Proposed Gravel
	750		Proposed Rip Rap		Proposed Erosion Mat
	Proposed Storm Sewer		Prop. Drainage Direction		Class I Type B Erosion Mat
	Proposed Curb Inlet		Proposed Silt Fence		Urban Type B Erosion Mat
	Proposed Swale		Proposed Tracking Pad		
	Proposed Culvert		Proposed Ditch Check		
	Proposed Silt Fence				
	Prop. Drainage Direction		Proposed Inlet Protection		
			Type of Inlet Protection		



SAND FILTER DETAIL SECTIONS

Sand Filter Detail Table	
Biofilter	
Soil Bed Area Required (sq. ft.)	550
Perimeter Treatment	Grass
Top of Weir Elev. (overflow path)	769.20
Top of Soil Bed Elev.	768.20
Bottom of Soil Bed Elev.	766.20
Yard Drain Rim Elev.	768.70
Yard Drain Outlet Pipe Invert Elev.	763.85
Yard Drain Underdrain Invert Elev.	765.60
Cleanout Rim Elev.	768.70
Cleanout Underdrain Invert Elev.	765.75
Underdrain Pipe Length (ft)	30.00
Underdrain Pipe Diameter (ft)	0.50



STORM CATCH BASIN

Sand Filter Specifications:

1. Sand Filter Media:
Media shall be uniformly mixed and consist of 100% sand. Sand component shall be USDA classified coarse sand texture with 0.02" to 0.04" diameter, ASTM C33 (Fine Aggregate Concrete Sand), or Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5.3.4. (Fine Aggregate Concrete Sand) 2005 edition, or an equivalent as approved by the administering authority. Sand component shall be pre-washed to remove clay and silt particles and then well-drained or dried prior to mixing. The preferred sand component consists of mostly SiO₂, but sand consisting of dolomite or calcium carbonate may also be used. Manufactured sand or stone dust is not allowed.

2. Perforated Underdrain:
Underdrain shall be a minimum 6" diameter corrugated polyethylene pipe with circular or slotted perforations. At a minimum, 4" to 10" diameter pipes shall have 1.0 square inch of perforated open area per linear foot of pipe length, 12" to 18" diameter pipes shall have 1.5 square inches of perforated open area per linear foot of pipe length, and 18" diameter or larger pipes shall have 2.0 square inches of perforated open area per linear foot of pipe length. Circular perforations shall not exceed 0.19" for 4" to 10" diameter pipes or 0.38" for pipes greater than 10" diameter. The width of slot perforations shall not exceed 0.13". The underdrain pipe shall satisfy section 612.2.5, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.

A filter sock shall be installed on the perforated underdrain pipe. The filter sock shall prevent sand particles from entering the pipe. The filter sock shall be capable of passing water at a flow rate equal to or greater than the flow rate capacity of the underdrain pipe perforations. The filter sock shall satisfy section 612.2.8(1-3), State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.

Filter fabric shall not extend laterally from either side of underdrain pipe for more than 2". Filter fabric shall satisfy section 645.2.4, Schedule Test B, State of Wisconsin Standard Specifications for Highway and Structure Construction, 2003 edition.

Gravel bedding shall meet the coarse aggregate #2 of the Wisconsin Standards and Specifications for Highway and Structure Construction, Section 501.2.5, 2003 edition.

3. Construction:

Contractor shall submit material certifications for review and approval prior to installation. Certifications shall state that materials satisfy specifications. Construction site runoff from disturbed areas shall not be allowed to enter the sand filter device. Runoff from all upslope disturbed pervious areas shall be diverted away from the sand filter device until a permanent perennial vegetative cover is established with a uniform density of at least 70% sediment laden runoff will prematurely clog the sand filter device. Construction shall be suspended during periods of rainfall or snowmelt. Construction shall remain suspended if ponded water or residual soil moisture contributes to soil smearing, clumping, or other forms of compaction.

The pond shall be constructed with a Type B Liner with the following WDNr specifications (Wet Detention Pond Technical Standard 1001). Liners include: Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PPL) or any liner satisfying Type A Liner criteria.

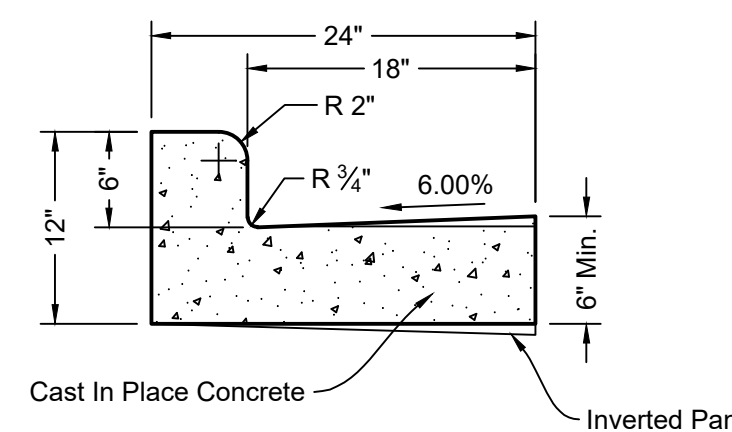
Clay liners specifications are as follows:

- 50% fines (200 sieve) or more.
- Hydraulic conductivity of 1 x 10⁻⁶ cm/sec or less.
- Average liquid limit of 16 or greater, with no value less than 14.
- Average Pl of 7 or more, with no values less than 5.
- Clay compaction and documentation as specified in NRCS Wisconsin Construction Specification 204, Earthfill for Waste Storage Facilities.
- Minimum thickness of 2 feet.
- If in-situ soils meet the above requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1 x 10⁻⁶ cm/sec to a depth of 4 feet below the pond bottom, the in-situ soils then satisfy the pond liner requirements.

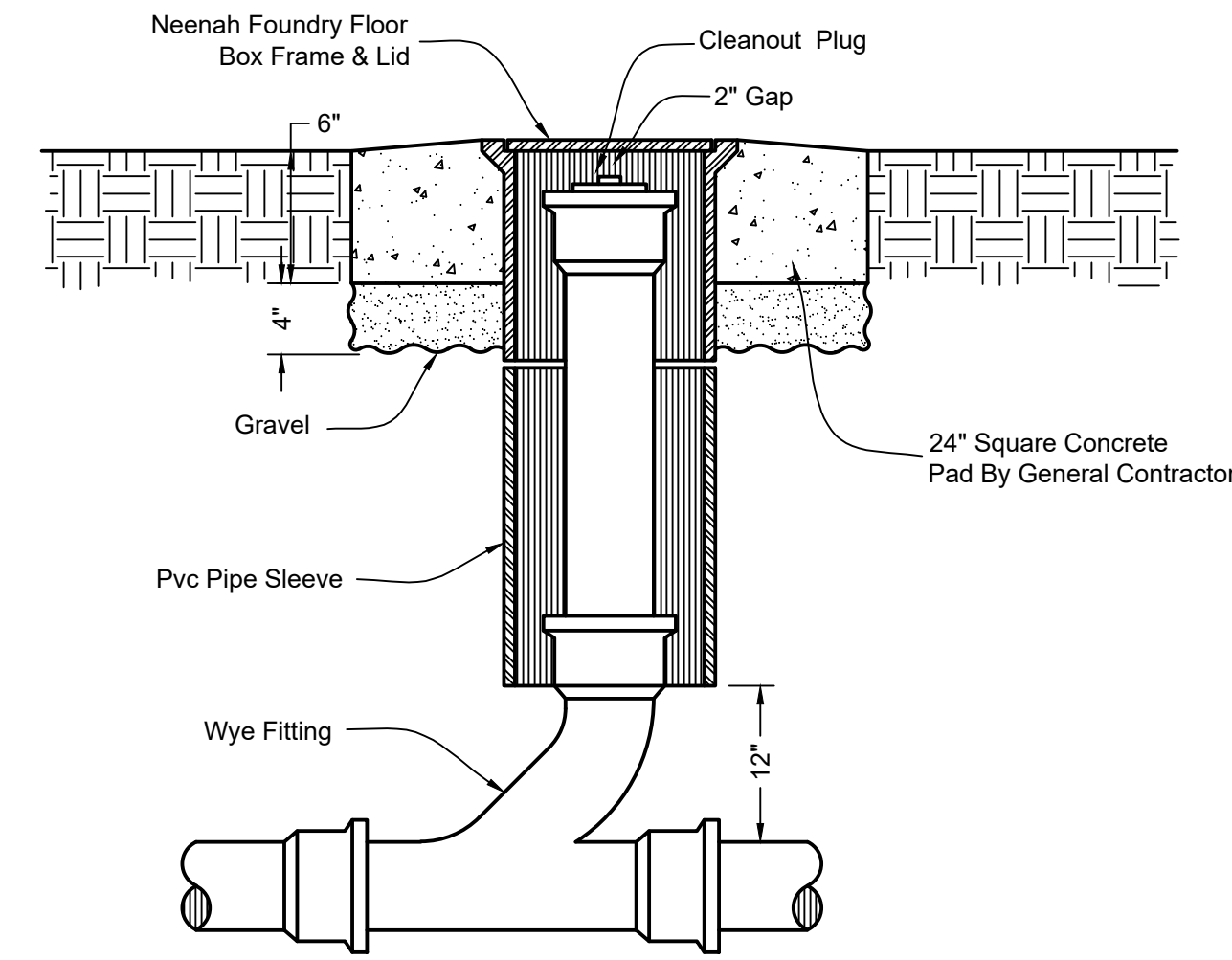
HDPE liner specifications are as follows:

- Minimum thickness of 40 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
- PPL liner Specifications are as follows:
- Minimum thickness of 30 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.

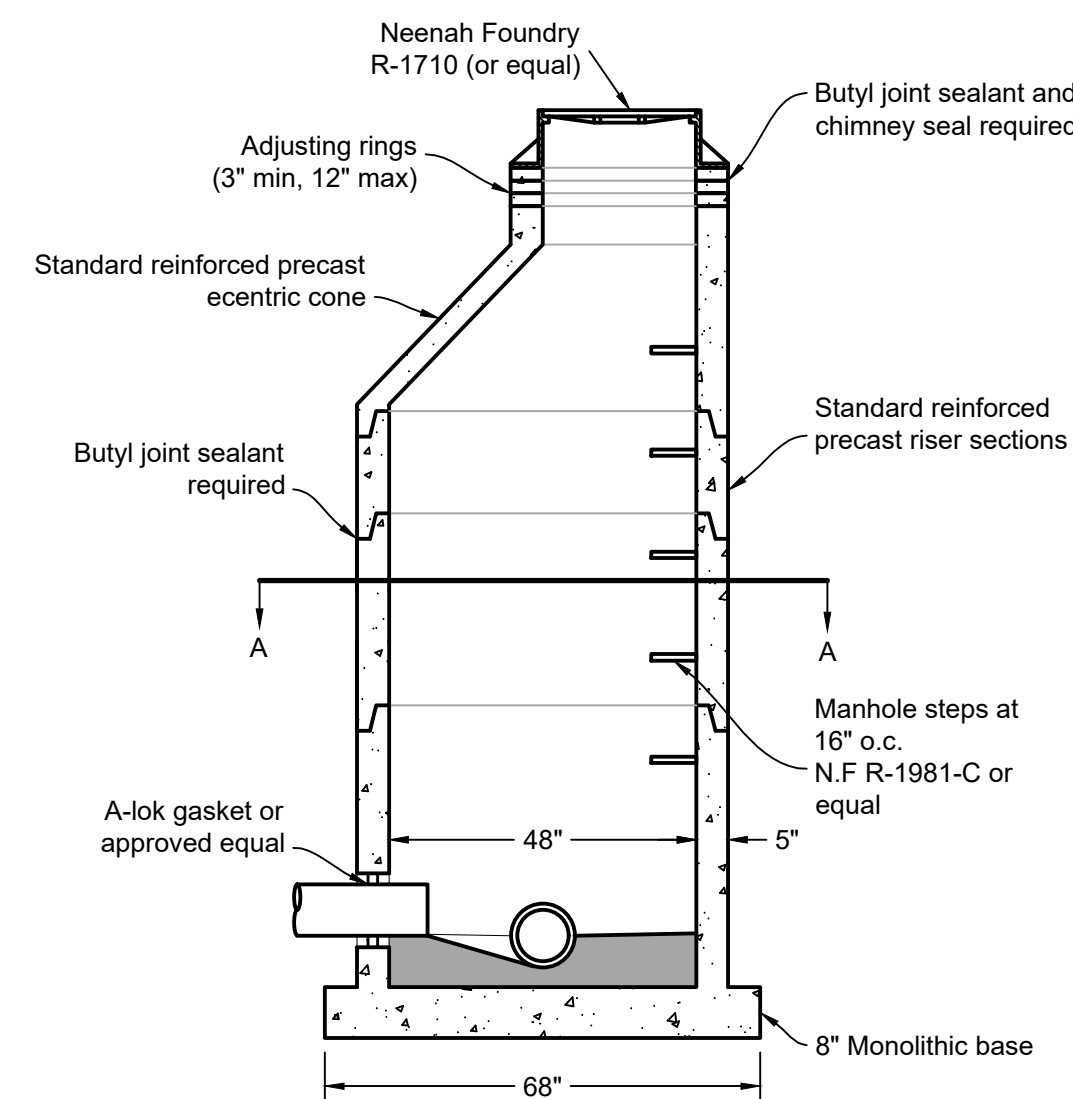
The sand filter was designed in accordance with DNR Technical Standard 1004 - Bioretention For Infiltration. Any standing water above the sand media is to drain within 24 hours and any water within the sand media (below the surface) is to drain within 72 hours. Should these drawdown times be exceeded, maintenance to the sand filter and outlet structure is required.



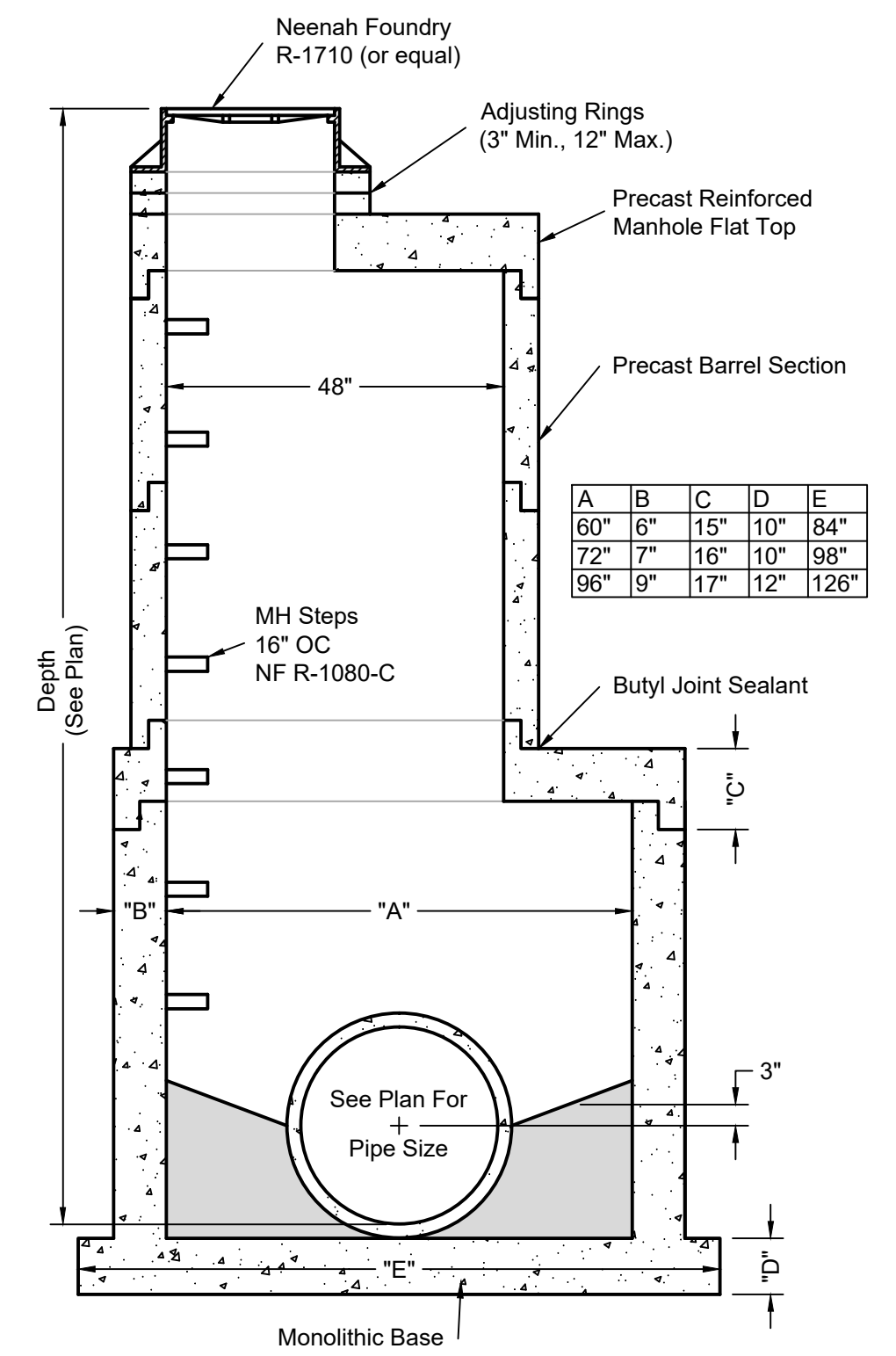
24" STANDARD CURB



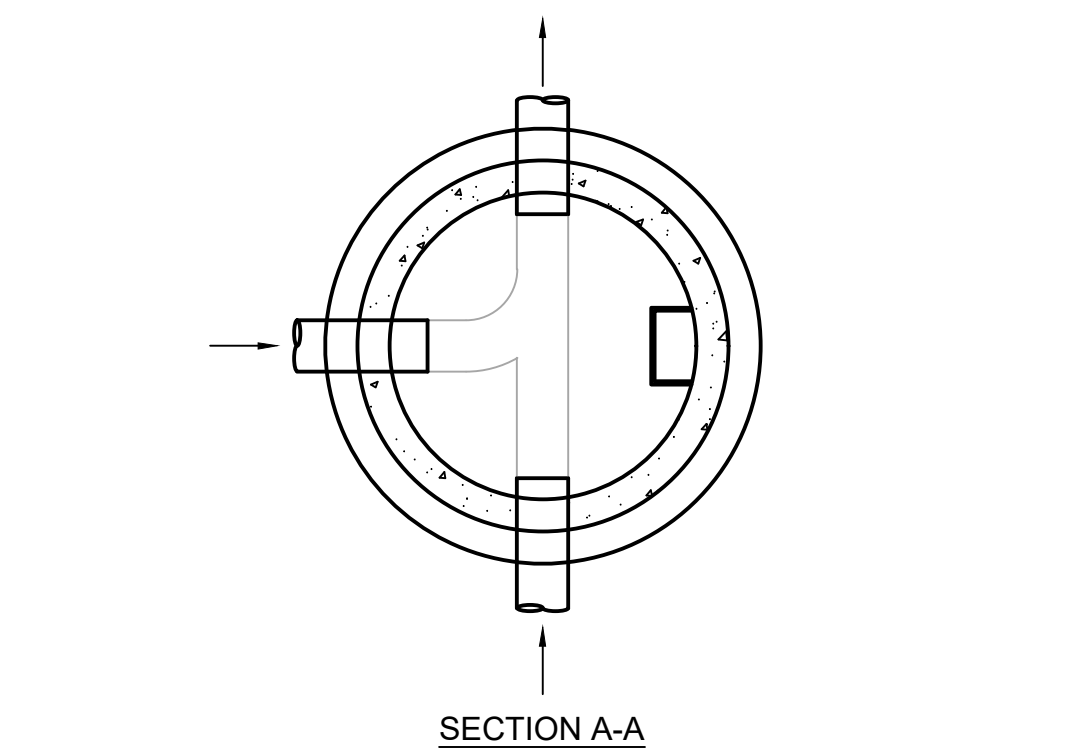
OUTDOOR CLEANOUT



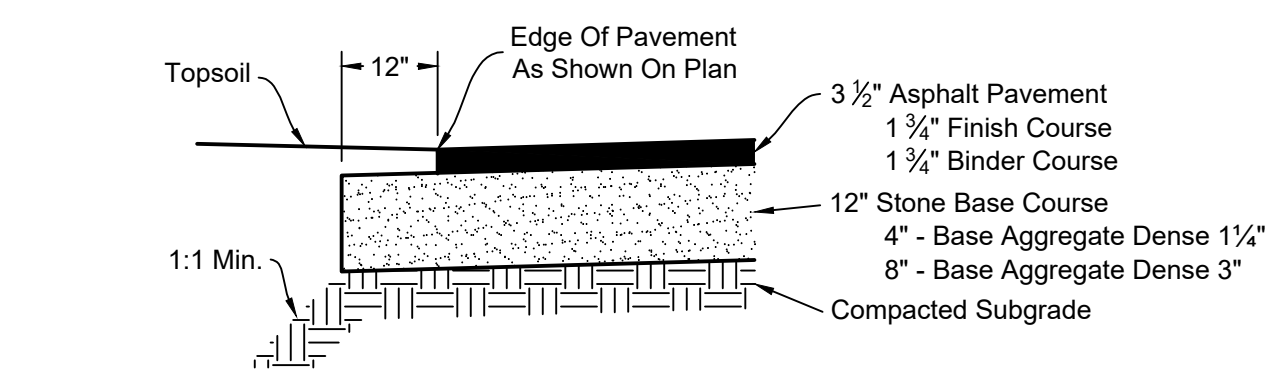
SANITARY MANHOLE



LARGE DIAMETER STORM MANHOLE



ENDWALL PIPE GRATE

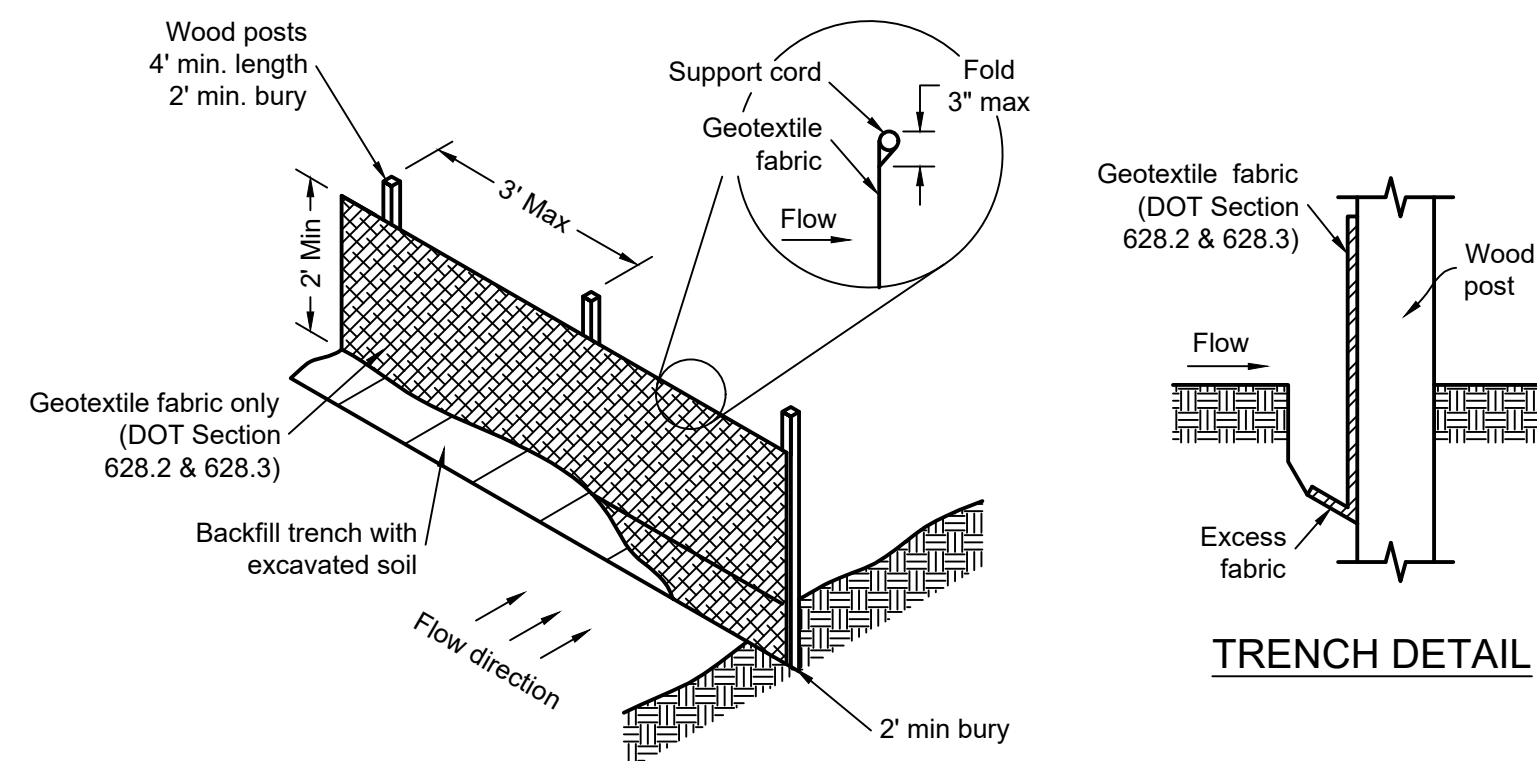


PAVEMENT SECTION

CONSTRUCTION DETAILS

Lake Park Menasha
City of Menasha, Calumet County, WI
For: Lake Park Menasha, LLC

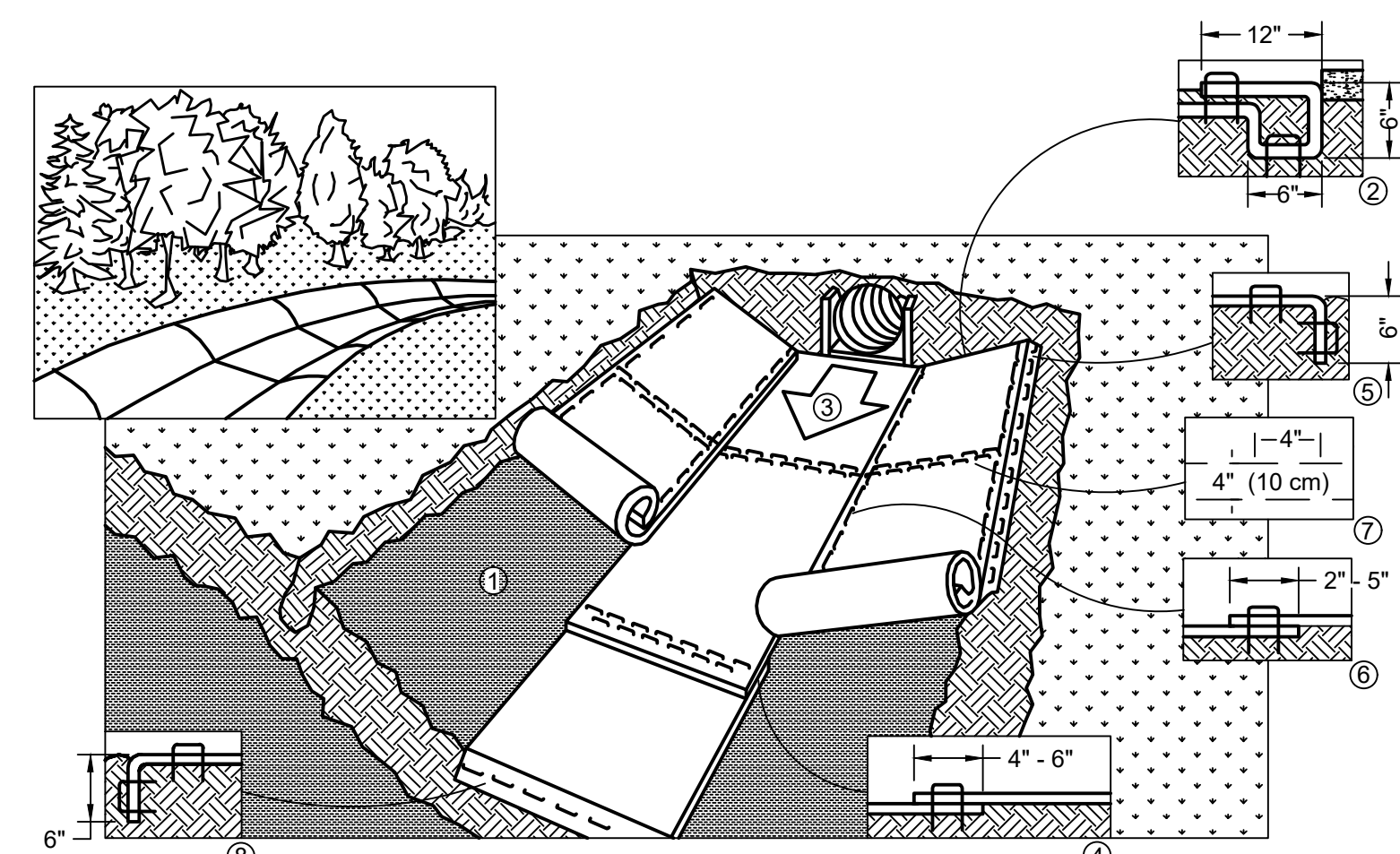
REVISED 11/16/2021



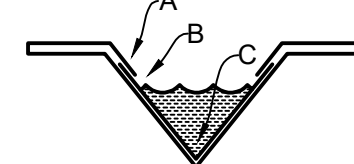
Silt fence notes:

1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
- Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
2. Begin at the top of the channel by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECP's.
3. Roll center RECP's in direction of water flow in bottom of channel. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
4. Place consecutive RECP's end over end (shingle style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.
5. Full length edge of RECP's at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
6. Adjacent RECP's must be overlapped approximately 2" - 5" (5cm - 12.5 cm) (depending on RECP's type) and stapled.
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.
8. The terminal end of the RECP's must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
- Note:
- * In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.
9. Detail provided by North American Green (www.nagreen.com)



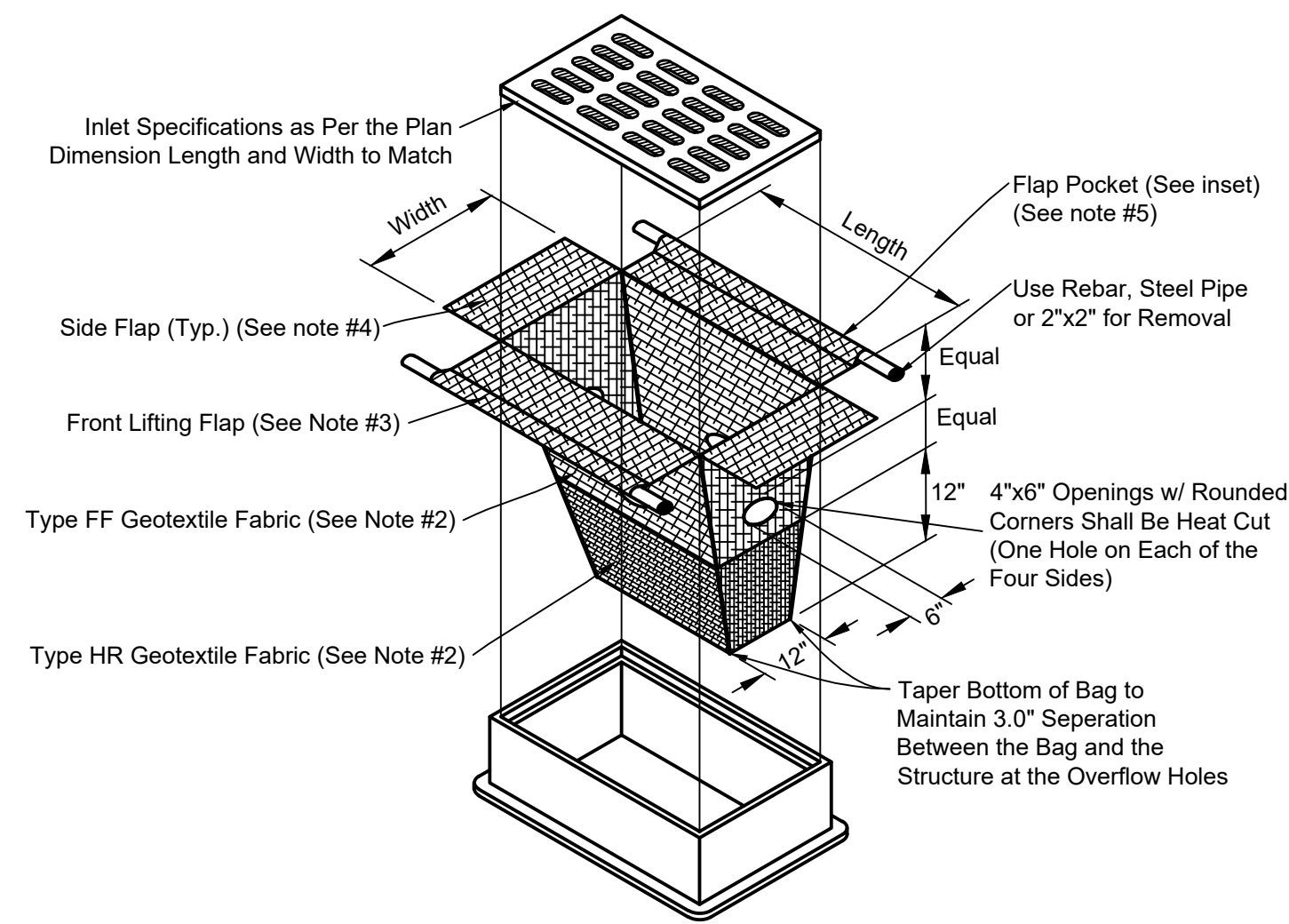
- Critical Points**
- A. Overlaps and seams
 - B. Projected Water line
 - C. Channel Bottom/side slope vertices

Note:
* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

** In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.

EROSION MAT CHANNEL INSTALLATION

DNR TECHNICAL STANDARD 1053



INLET PROTECTION, TYPE D-HR

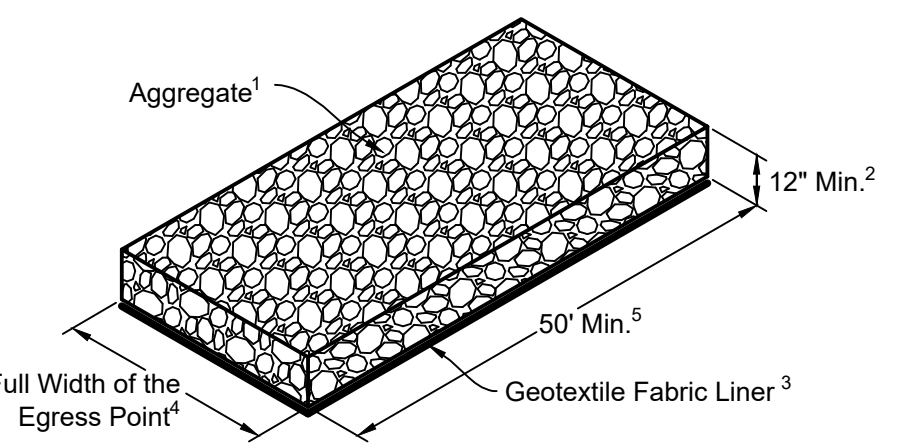
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)

NOTES:

1. Taper bottom of bag to maintain three inches of clearance between the bag and the structure, measured from the bottom of the overflow openings to the structure wall.
2. Geotextile fabric, Type FF for flaps and top half of filter bag. Geotextile fabric, Type HR for bottom half of filter bag. Geotextile fabric, Type HR for bottom half of filter bag with front, back, and bottom being one piece.
3. Front lifting flap is to be used when removing and maintaining filter bag. Side flaps shall be a maximum of two inches long. Fold the fabric over and reinforce with multiple stitches.
4. Flap pockets shall be large enough to accept wood 2" x 2". The rebar, steel pipe, or wood shall be installed in the rear flap and shall not block the top half of the curb face opening.

MAINTENANCE NOTES:

1. When removing or maintaining inlet protection, care shall be taken so that the sediment trapped in the fabric does not fall into the structure. Material that has fallen into the inlet shall be immediately removed.



TRACKING PAD DETAIL

Note 1 Use hard, durable, angular stone or recycled concrete meeting the gradation in Table 1. Where this gradation is not available, meet the gradation in Wisconsin Department of Transportation (DOT) 2018 Standard Specification, Section 312, Select Crushed Material.

Note 2 Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.

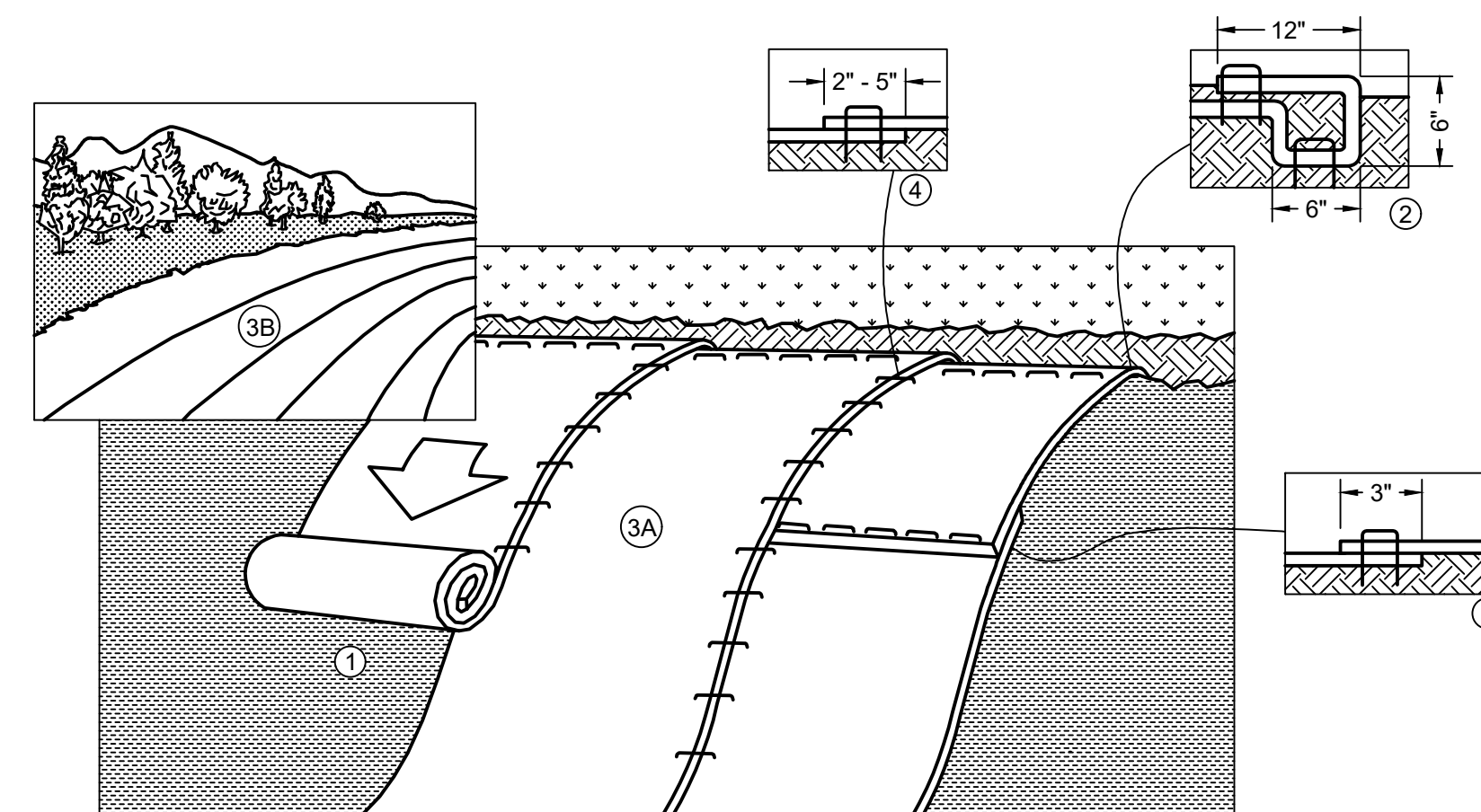
Note 3 Select fabric type based on soil conditions and vehicles loading.

Note 4 Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.

Note 5 If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

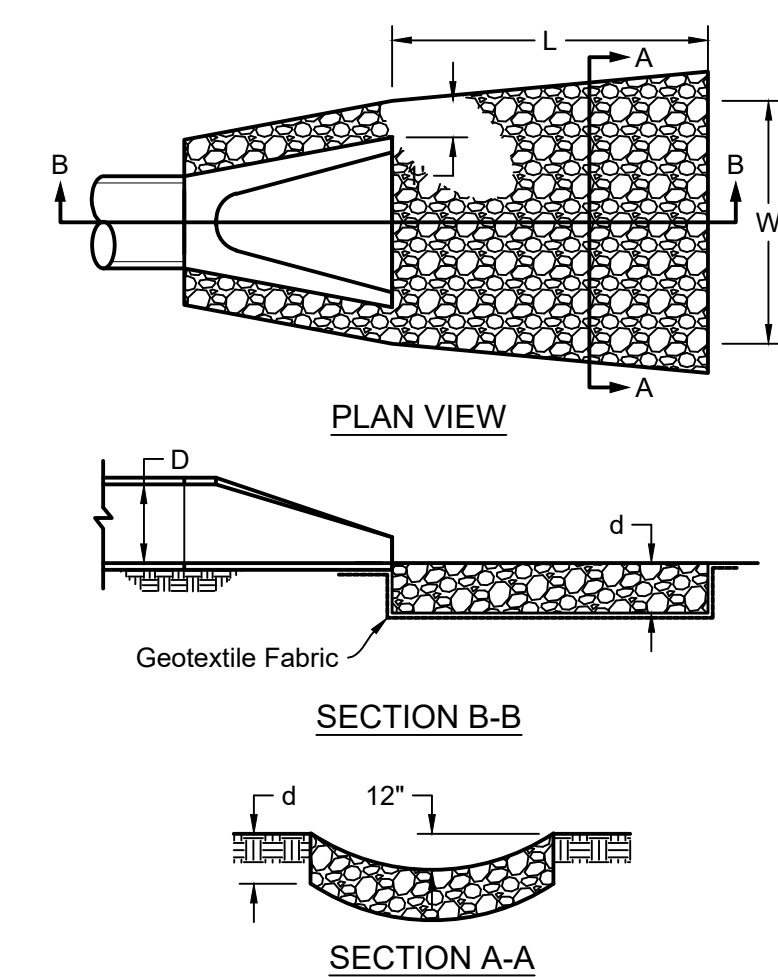
TABLE 1: GRADATION FOR STONE TRACKING PADS

Sieve Size	Percent by weight passing
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
- Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
2. Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.
3. Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
- Note: * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.
6. Detail provided by North American Green (www.nagreen.com)
7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



D	12"	15"	18"	21"	24"	30"	36"	42"	48"	54"	60"
L	10	12	18	20	20	25	28	33	37	40	45
W	11	13	20	22	24	28	32	38	42	45	50
d	12	12	12	18	18	18	24	24	24	24	24
Riprap	Light	Light	Med.	Med.	Med.	Heavy	Heavy	Heavy	Heavy	Heavy	Heavy
cu yds	2.6	3.6	7.8	14.3	15.6	22.6	38.4	53.2	65.8	76.3	95.0

Notes:

1. Excavate below channel outlet and widen channel outlet to the required riprap thickness for each apron. Foundation to be set to zero grade and smoothed.
2. Place geotextile fabric on bottom and sides of prepared foundation. Fabric shall extend under endwall in accordance with DOT specifications. (DOT Section 628.2 & 628.3)
3. Exercise care in placement of riprap to avoid damage to filter fabric.
4. Use riprap conforming to Wisconsin DOT specifications. (DOT Section 606.2 & 606.3)
5. Use DOT Type R geotextile fabric for light riprap. Use Type HR for medium and heavy riprap. (DOT Section 606.2, 606.3, 628.2 & 628.3)
6. Use 12" dimension for pipes less than 12" in diameter.

OUTLET PROTECTION



Landscape Requirements

Perimeter Planting: 3' Tree per 35' Linear Ft adjacent to street, 25% of Length w/ Plants, 25-75% of Plants Evergreen
 Community Way = 408' (excludes vision triangle)
 Total Length = 591' Total Street & Parking = 78'
 Total Required = 280.5 Evergreen Required = 25.3 - 76.1
 Trees Required = 11.6 Length w/ Plants Required = 101.5
 Actual = +10 Existing Trees Actual = 343 Existing Vegetation

Landscape Adjacent to Building: 3' Wide along Street & Parking, 50% of Length with Plants, 25-50% Evergreen
 Total Required = 280.5 Evergreen Required = 70.13-140.25
 Actual Length = 283 Actual Evergreen = 128

Parking Islands: 1 Tree per Island + 5 Shrubs (50% Evergreen)
 1 Parking Island
 Actual Trees = 1
 Actual Shrubs = 10

Parking Perimeter: 1 Tree per 30' Linear Ft + 5 Shrubs (50% Evergreen)
 Actual Length = 52 Parking Stalls
 Trees Required = 1.73 Shrubs Required = 8.6 Evergreen Required = 4.3
 Actual Trees = 2 Actual Shrubs = 13 Actual Evergreen = 8
 Added Island Planting along East Side of Driveways for Units 1 & 2 with 2 Trees + 5 Shrubs

Screen Planting by outside dumpster, Juniper screen around 2 sides. Parking & Driveway other 2 sides.

Transitional Area: 75% Screen adjacent to Residential Uses
 Screen Required = 4050 sq ft
 Pond Outlet Separates Residential Use from Commercial Use
 Actual Trees = 6 = 800 sq ft = 80' of Existing Vegetation
 Added Screen Planting along East Lot Line (Separates Commercial Use)
 East Lot Line = 3 Trees + 10 Shrubs

Landscape Design by: Christine Kosiorek, PLA
 Lowrey's Landscaping Center, Inc.
 N3310 State Rd 47
 Appleton, WI
 600733-0560
 August 25, 2020 rev. 11-17-21

Symbol	Label	Qty	Scientific Name	Common Name	Size @ Planting	Size @ Maturity
Canopy Trees						
AFS	7		Acer x freemannii 'Sienna Glen'	Sienna Glen Maple	1.5"	40-50' Ht x 30-40' Spread
BNH	0		Betula nigra 'Heritage'	Heritage River Birch	10-12' Clump	40-60' Ht x 25-35' Spread
CS	5		Catalpa speciosa	Catalpa	1.5"	40-50' Ht x 20-40' Spread
TCG	4		Tilia cordata 'Greenspire'	Greenspire Linden	1.5"	40-50' Ht x 25-35' Spread
Shrubs						
DVL	5		Diervilla lonicera	Bush Honeysuckle	#3	2-3' Ht x 3-4' Spread
HAI	4		Hydrangea aborescens 'Abetwo'	Incrediball Hydrangea	#3	3-4' Ht x 3-4' Spread
HPB	2		H. paniculata 'LVOBO'	Bobo Hydrangea	#3	3-4' Ht x 3-4' Spread
JCC	3		Juniperus chinensis 'Blue Point'	Blue Point Juniper	5'	10-12' Ht x 5-7' Spread
JCC	0		Juniperus chinensis 'Blue Chip'	Blue Chip Juniper	#3	1-2' Ht x 4-5' Spread
PDM	9		Physocarpus opulifolius 'Donna May'	Little Devil Ninebark	#3	3-4' Ht x 4-5' Spread
POS	15		P. opulifolius 'Seward'	Summer Wine Ninebark	#5	5-6' Ht x 5-7' Spread
RFR	3		Rhamnus frangula 'Ron Williams'	FineLine Buckthorn	#3	6-8' Ht x 2-3' Spread
SBA	23		Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#3	2-4' Ht x 3-4' Spread
SBG	16		S. x bumalda 'Goldflame'	Goldflame Spiraea	#3	2-3' Ht x 2-4' Spread
TOH	10		Thuja occidentalis 'Hetz Midger'	Hetz Midger Arborvitae	#5	3-4' Ht x 3-4' Spread
VXJ	7		Viburnum x 'juddi'	Judd Viburnum	#5	5-7' Ht x 5-7' Spread
Perennials & Grasses						
HRS	40		Hemerocallis 'Ruby Stella'	Ruby Stella Daylily	#1	1-2' Ht x 2' Spread

- Landscape Notes**
- Planting Beds & Islands: Remove stones, sticks, construction debris and other extraneous materials from planting area. Install 12" of 3:2 ratio of pulverized topsoil and organic matter and rototill into subsoil at depth of 6-8". Rake smooth and assure positive pitch. Install 1.5" American Heritage Decorative Stone over Landscape Fabric. Edge all planting beds with Professional Poly Vinyl edging.
 - Planting Restrictions: Provide trees, shrubs, evergreens, perennials and grasses as per size and root condition in Plant List. Provide plant material certificates at time of planting.
 - Trees: All trees to be staked. Trees in turf area or seeded area to have 3' dia. circle of Shredded Hardwood mulch at 3" depth and shovel out edge separating mulch from lawn area. Trellis herbicide placed on soil prior to mulching.
 - Plant Warranty Period: All plant material will have (One) 1 full year warranty replacement from date of substantial completion. Maintenance Period: Maintenance period will last for a period of 60 days from substantial completion date. Provide all maintenance services at minimum, watering, staking leaning trees, pruning, deadheading, weeding, and removing trash and debris from planting and landscape areas, repairing settling of stone, mulch, topsoil and/or plants, application of pesticides, chemicals and fertilizers when required. At minimum contractor shall plan weekly maintenance visits and provide documentation of activities to Owner of activities.
 - Planting schedule represents quantities for base bid only.
 - Lawn: Seed with 50/50 Blend Kentucky Bluegrass & Perennial Ryegrass at rate of 4#/1000 sq ft. Seed areas installed on 4" minimum fertile topsoil. Loosen subgrade to minimum of 4"; remove stones, sticks, grasses and other extraneous materials. Fertilize using commercial grade starter fertilizer, non phosphorous at 5# per 1000 sq ft. Straw mulch, clean mulch and seed free, salt marsh hay or threated straw of wheat, rye or oats. Erosion mat per erosion control plan. Seed Sanitary Easement. Plant during non-freezing weather. All contractors shall verify the location of private utilities prior to start of work. Contact Diggers Hotline 5 days prior to start of construction.
 - Planting Beds: Remove stones, sticks, construction debris and other extraneous materials from planting area. Install 12" of 3:2 ratio of pulverized topsoil and organic matter and rototill into subsoil at depth of 6-8". Rake smooth and assure positive pitch. Install Trellis herbicide on soil prior to planting mulch. Mulch with Shredded Hardwood Mulch at rate of 3" depth. Edge all planting beds with Professional Poly Vinyl Edging.
 - Sand Filter Area: Hardwood Mulch. Plant 1'-6" OC in 'X' Pattern. Plant in groups of 3-5 per species. 32 plants of each of the following: Aster sporeus, Adiciclas tuberosa, Carex breviar, Monarda fistulosa, Panicum virgatum, Rudbeckia hirta, Schizachyrium scoparium, Tradescantia chiensis

LEGEND

—DH—DH—	Overhead Electric Lines	○	Sanitary MH / Tank / Base	●	Benchmark
—San—San—	Utility Guy Wire	⊗	Clean Out / Curb Stop / Pull Box	●	3/2" x 18" Steel Rebar @ 1.50lbs/LF SET
—Sto—Sto—	Storm Sewer (Pipe Size)	⊕	Inlet	□	3/4" Rebar Found
—E—E—	Underground Electric	⊕	Catch Basin / Yard Drain	□	1" Iron Pipe Found
—G—G—	Underground Gas Line	⊕	Hydrant	⊕	Government Corner
—T—T—	Underground Telephone	⊕	Utility Valve	⊕	Asphalt Pavement
—W—W—	Water Main (Pipe Size)	⊕	Utility Pole	⊕	Concrete Pavement
—o—o—	Fence - Steel	⊕	Guy Wire / Pump	⊕	Proposed Building
—VL—VL—	Existing Easement Line	⊕		⊕	Proposed Asphalt
—WL—WL—	Wetlands (By Others)	⊕		⊕	Proposed Concrete
—T—T—	Treeline	⊕		⊕	Proposed Gravel
—800—	Culvert	⊕		⊕	
—799—	Index Contour	⊕		⊕	
—799—	Intermediate Contour	⊕		⊕	

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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: (920) 991-1866 Fax: (920) 441-0804
 www.davelpro

LANDSCAPE PLAN

Lake Park Menasha
 City of Menasha, Calumet County, WI
 For: Lake Park Menasha, LLC

REVISED 11/16/2021

Date: 11/17/2021
 Filename: 6214engr.dwg
 Author: MDB
 Last Saved by: mitch
 Page: L1.0



PURE architecture studio, llc
735 N Water Street, Suite 1228
Milwaukee, WI 53202
www.pure-arch.com

FLOOR PLAN KEYNOTES

- 1 FIRE DEPARTMENT KNOX BOX (G.C. TO VERIFY LOCATION WITH FIRE MARSHAL)
- 2 PROPOSED ELECTRICAL GAS METER LOCATION (BY DESIGN/BUILD MECHANICAL/ELECTRICAL CONTRACTORS) - COORDINATE LOCATION WITH CIVIL
- 3 INSULATE ALL SPRINKLER ROOM SURROUNDING WALLS/CEILING (R-21 MINIMUM). G.C. TO VERIFY SPRINKLER ROOM SIZE IS ADEQUATE WITH DESIGN/BUILD PLUMBING/FIRE PROTECTION CONTRACTORS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY ISSUES
- 4 NOT USED
- 5 ADA-COMPLIANT SITE ACCESS REQUIRED TO ALL MAIN ENTRY DOORS (1:20 MAXIMUM WALKWAY SLOPE, 1:18 MAXIMUM WALKWAY SLOPE WITHIN 60' OF DOOR, 1:48 MAXIMUM CROSS-SLOPE, ADA-COMPLIANT DOOR CLEARANCES, ADA-COMPLIANT DOOR THRESHOLDS, NO STEPS) - COORDINATE WITH CIVIL

CONSULTANTS

PROJECT

LAKE PARK CONDOS

Community Way
Menasha, WI

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OWNER

LAKE PARK MENASHA LLC

REVISIONS

NO.	DESCRIPTION	DATE

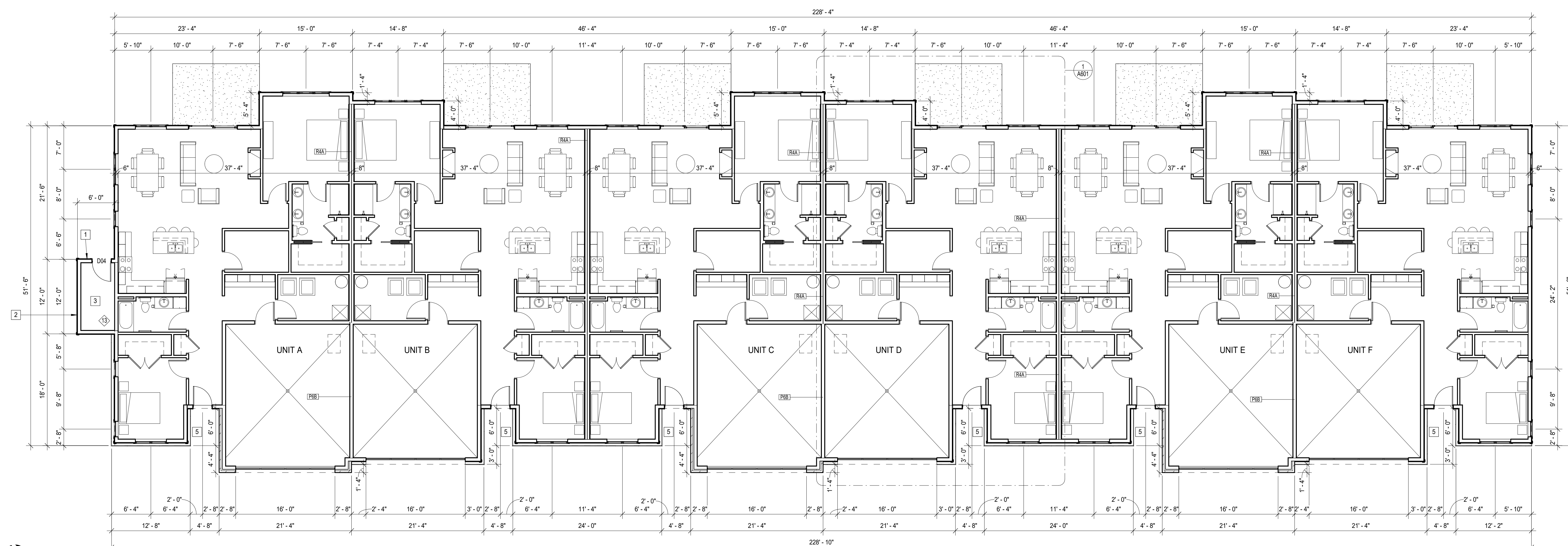
INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20106
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	11.10.2021

SHEET

1ST FLOOR PLAN

A101



1 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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Milwaukee, WI 53202
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ELEVATION KEYNOTES

- (1) DIMENSIONAL ASPHALT SHINGLE ROOFING (RF1)
- (2) BRICK VENEER (BR1)
- (3) COMPOSITE OR VINYL LAP SIDING (CM1)
- (4) COMPOSITE OR VINYL BOARD & BATTEN SIDING (CM2)
- (5) COMPOSITE OR VINYL SHAKE/SINGLE SIDING (CM3)
- (6) PRECAST/STONE SILLBAND (ECN1)
- (7) PRECAST/STONE LINTEL (ECN2)
- (8) PREFINISHED ALUMINUM FASCIA/SOFFIT (AM3)
- (9) PREFINISHED ALUMINUM GUTTER (AM2)
- (10) NOT USED
- (11) FIBERGLASS OR VINYL WINDOW SYSTEM (WHITE OR BLACK, TBD)(FW1)
- (12) FIBERGLASS OR VINYL SLIDING PATIO DOOR SYSTEM (WHITE OR BLACK, TBD)(FW1)
- (13) INSULATED ENTRY DOOR SYSTEM (ED1)
- (14) PREFINISHED METAL INSULATED OVERHEAD DOOR (OHD1)
- (15) DECORATIVE GABLE BRACKET (GB1)
- (16) PROPOSED GASELECTRIC METER LOCATION (VERIFY W/ DESIGNBUILD MEP CONTRACTORS & CIVIL ENGINEER)
- (17) 5/4x4 PREFINISHED COMPOSITE TRIM BOARD (CM4)
- (18) 5/4x6 PREFINISHED COMPOSITE TRIM BOARD (CM5)
- (19) NOT USED
- (20) DECORATIVE GABLE VENT
- (21) NOT USED
- (22) DECORATIVE LIGHT FIXTURE (BY DESIGNBUILD ELECTRICAL CONTRACTOR)
- (23) MASONRY VENEER CONTROL JOINT (SEE 1/A802)

PROJECT

LAKE PARK CONDOS

Community Way
Menasha, WI

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OWNER

LAKE PARK MENASHA LLC

REVISIONS

NO.	DESCRIPTION	DATE

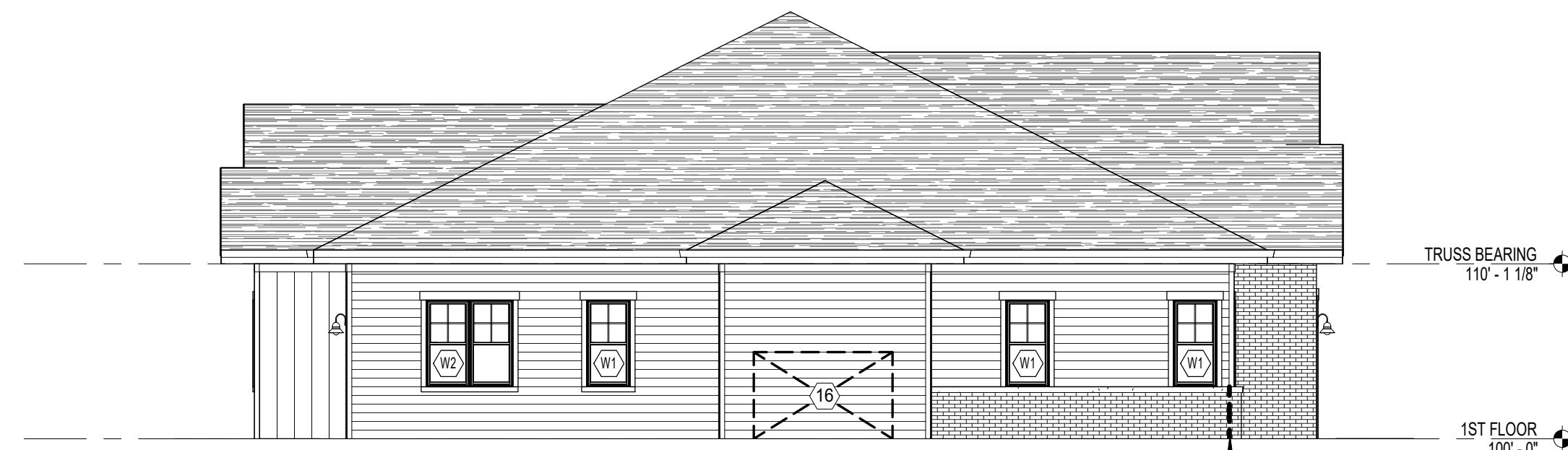
INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20106
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	11.10.2021

SHEET

BUILDING ELEVATIONS

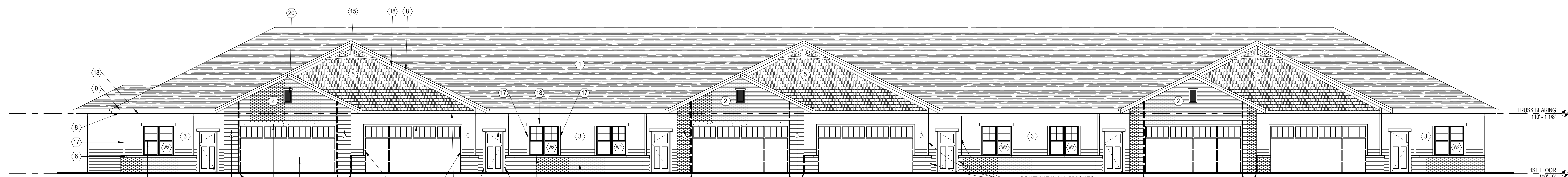
A401



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

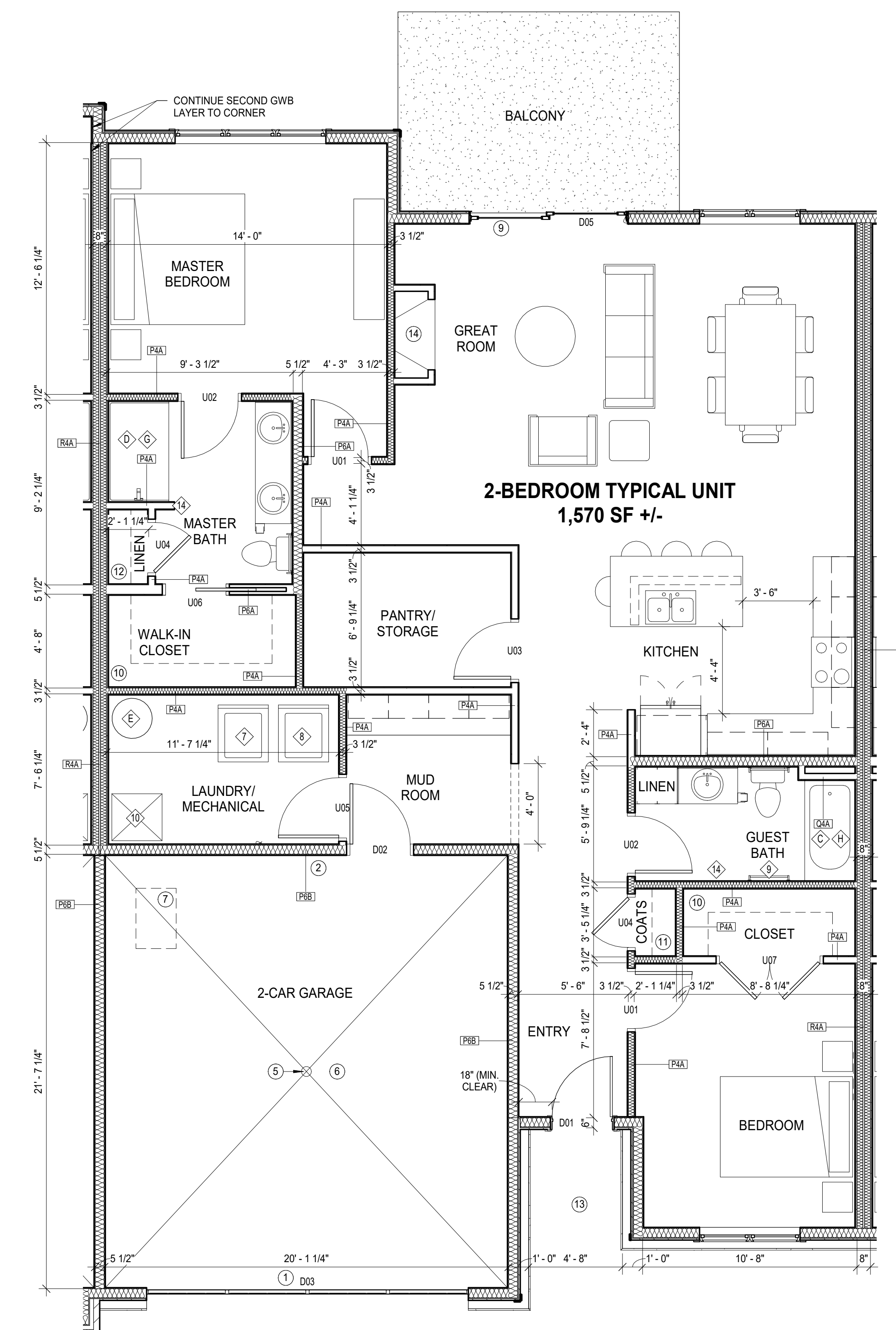


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UNIT PLAN KEYNOTES

- ① T.O. SLAB AT GARAGE OVERHEAD DOOR THRESHOLD IS 100'-0" (COORDINATE WITH CIVIL)
- ② T.O. SLAB AT BACK OF GARAGE IS 100'-0"
- ③ ALIGN FACE OF GWB
- ④ NOT USED
- ⑤ SLOPE FLOOR 1/4" PER FOOT (MAXIMUM) TO FLOOR DRAIN (BY DESIGN/BUILD PLUMBING CONTRACTOR)
- ⑥ DESIGN/BUILD FIRE PROTECTION CONTRACTOR TO PROVIDE DRY OR FREEZE-PROOF SPRINKLER SYSTEM (UNHEATED GARAGE)
- ⑦ 1-HOUR INSULATED FIRE RATED ACCESS PANEL WITH SELF-CLOSING DOOR (20"x30" MINIMUM CLEAR OPENING). COORDINATE LOCATION WITH ROOF TRUSS LAYOUT. 30" MINIMUM CLEAR HEADROOM TO BE PROVIDED AT ATTIC DIRECTLY ABOVE ACCESS PANEL.
- ⑧ NOT USED
- ⑨ OPERABLE SLIDING DOOR PANEL
- ⑩ BEDROOM CLOSET SHELVING (SEE 13/A901)
- ⑪ COAT CLOSET SHELVING (SEE 14/A901)
- ⑫ LINEN CLOSET SHELVING (SEE 15/A901)
- ⑬ ADA-COMPLIANT SITE ACCESS REQUIRED TO ALL MAIN ENTRY DOORS (1:20 MAXIMUM WALKWAY SLOPE, 1:48 MAXIMUM WALKWAY SLOPE WITHIN 80" OF DOOR, 1:48 MAXIMUM CROSS-SLOPE, ADA-COMPLIANT DOOR CLEARANCES, ADA-COMPLIANT DOOR THRESHOLDS, NO STEPS) - COORDINATE WITH CIVIL
- ⑭ NATURAL GAS FIREPLACE (BY DESIGN/BUILD MECHANICAL CONTRACTOR)



1 TYPICAL UNIT PLANS
SCALE: 1/4" = 1'-0"

PROJECT

LAKE PARK CONDOS

Community Way
Menasha, WI

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OWNER

LAKE PARK MENASHA LLC

REVISIONS

NO.	DESCRIPTION	DATE

INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	20106
ISSUED FOR	NOT FOR CONSTRUCTION
DATE	11.10.2021

SHEET

ENLARGED PLANS

A601



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Lake Park Condos

front perspective
11.10.2021



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Lake Park Condos

rear perspective
11.10.2021



MEMORANDUM

To: Plan Commission
From: Community Development Department/KH
Date: December 7, 2021
Re: **Site Plan Review Amendment – 1478 Midway Road – UWO Fox Cities Child Care Center Building Addition (Parcel # 6-01262-00)**

Martin Riley Architect and Engineers has submitted an application for a site plan review to allow the construction of a 2,076 square foot addition to the existing Child Care Center located on the UWO Fox Cities campus. This addition will house a storage room, two conference rooms and an activity room and is also being constructed to be used as a storm shelter. The parcel is zoned Government Use District (GU). The uses and dimensions of the proposed building addition is in conformance with the City's Government Use District (GU); as well as in conformance with the City's Comprehensive Plan.

The City of Menasha Zoning Code requires a site plan review by the Plan Commission for any proposed new construction within the Government Use District. This review includes evaluation of the site, architectural components, lighting, and landscaping. The following is a breakdown of the submitted applications.

Site Plan Review

Site/Architectural

The building addition meets all setbacks. There is ample parking available on the site as a whole. There are three spaces dedicated for drop-off which will be marked by signage.

Building materials for new or existing structures are not specifically called out for the GU district within Section 13-1-12 of the City of Menasha Zoning Code. The addition will match the existing structure with reference to siding and roofing materials and the concrete brick low belt course to make the addition seamless. This will also help keep the cohesive feel of the campus setting.

Landscape

Per Section 13-1-12(g), landscaping requirements are broken up into three areas: landscape adjacent to the building, perimeter landscaping and parking lot landscaping. Landscaping adjacent to the building addition will include six shrubs within a mulched landscaped area. The site, as a whole, meets landscape requirements. With this building addition being located within the interior of the site and not adjacent or facing street right of way, little landscaping is required.

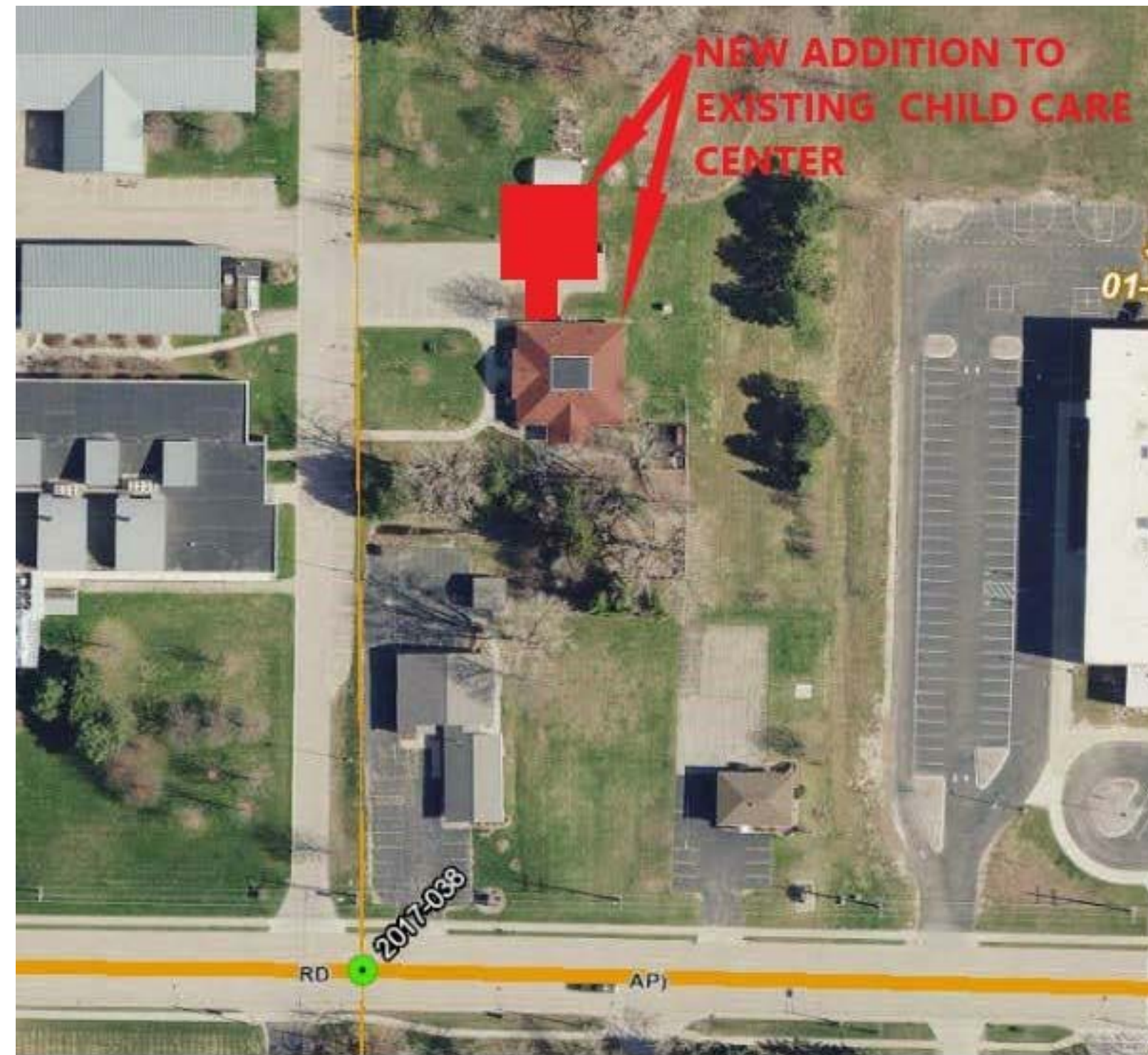
Lighting

There are three wall mounted lights proposed at each exit. The light fixtures are full cut-off and meet Sec. 13-1-12(h) Outdoor Lighting. As there is not a full lighting plan required for this site, a photometric plan was not prepared for this project.

Staff recommends approval of the site plan amendment as presented for 1478 Midway Road (parcel #4-01262-00) allowing the building addition to the Child Care Center with the following conditions:

- 1) Prior to the issuance of building permits, a site improvement agreement must be recorded for the proposed development.**

UWO Fox Cities Campus Child Care Center Building Addition

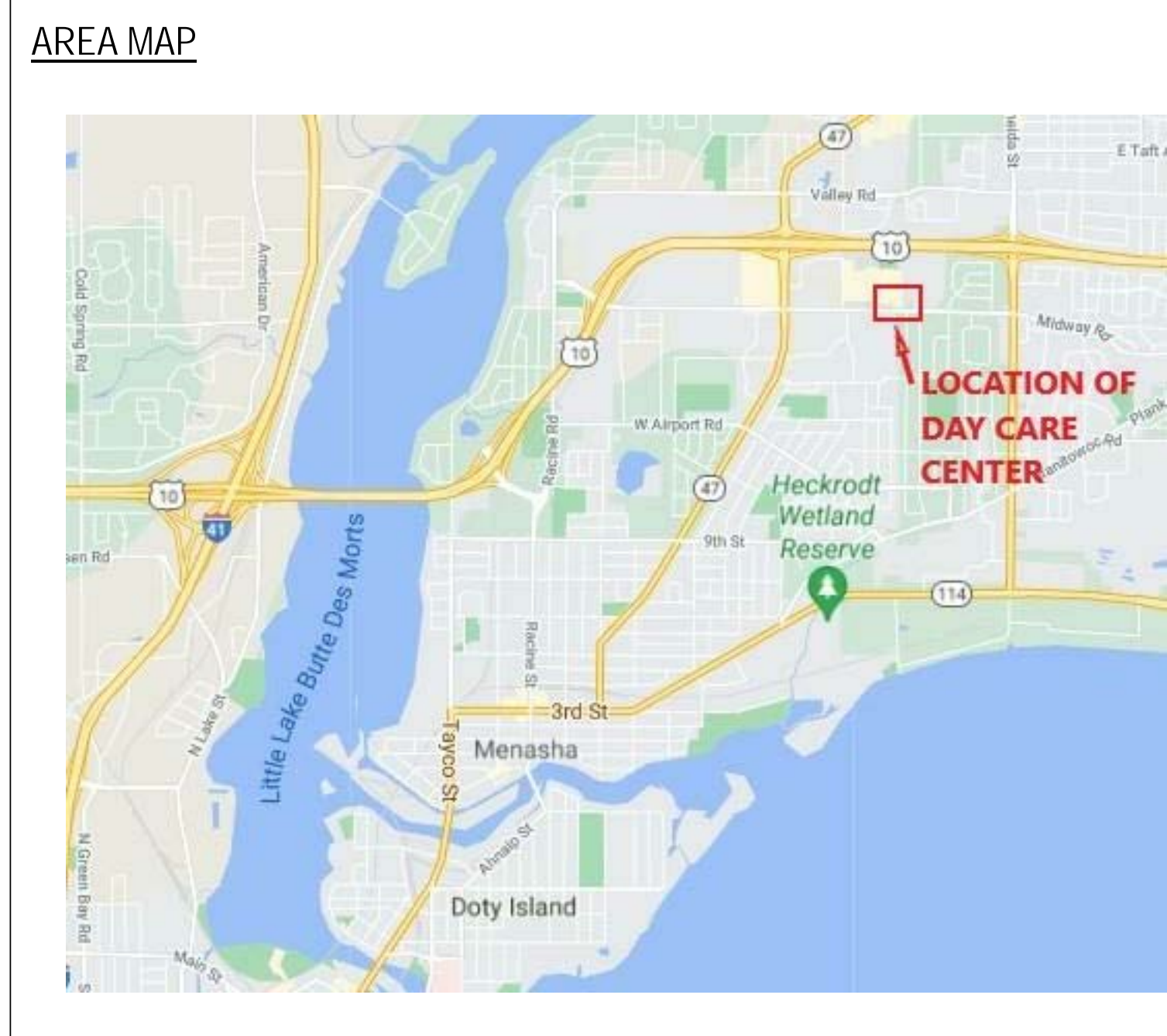


1478 Midway Road
Menasha, WI 54952



SYMBOLS KEY

EARTHWORK	WOOD	NON-ASBESTOS BUILDING MATERIAL TEST LOCATION	ASBESTOS BUILDING MATERIAL TEST LOCATION
<ul style="list-style-type: none"> EARTH UNDISTURBED FILL EARTH COMPACTED FILL GRANULAR FILL SAND 	<ul style="list-style-type: none"> LUMBER FINISH WOOD WOOD BLOCKING PLYWOOD 	<ul style="list-style-type: none"> L0001 	<ul style="list-style-type: none"> L0001
CONCRETE	INSULATION	ELEVATION TARGET	ENLARGED PLAN/DETAIL
<ul style="list-style-type: none"> CONCRETE 	<ul style="list-style-type: none"> BATTLOOSE INSULATION RIGID INSULATION 	<ul style="list-style-type: none"> NEW ELEVATION POINT EXISTING ELEVATION POINT ELEVATION TARGET EL=100'-0" 	<ul style="list-style-type: none"> 1 DETAIL A101 SHEET
GLASS		COLUMN CENTERLINE	DETAIL
<ul style="list-style-type: none"> GLASS GLASS BLOCK 		<ul style="list-style-type: none"> 1 BUILDING SECTION 1 WALL SECTION 	<ul style="list-style-type: none"> A101 SHEET ELEVATIONS
MASONRY	METALS	WORK DESCRIPTION NOTE	DETAIL DESCRIPTION NOTES
<ul style="list-style-type: none"> CONCRETE MASONRY UNIT BRICK 	<ul style="list-style-type: none"> STEEL ALUMINUM 	<ul style="list-style-type: none"> XX 	<ul style="list-style-type: none"> XX
		DEMO WORK DESCRIPTION NOTE	WINDOW OR ROOF AREA
		<ul style="list-style-type: none"> XX 	<ul style="list-style-type: none"> XX



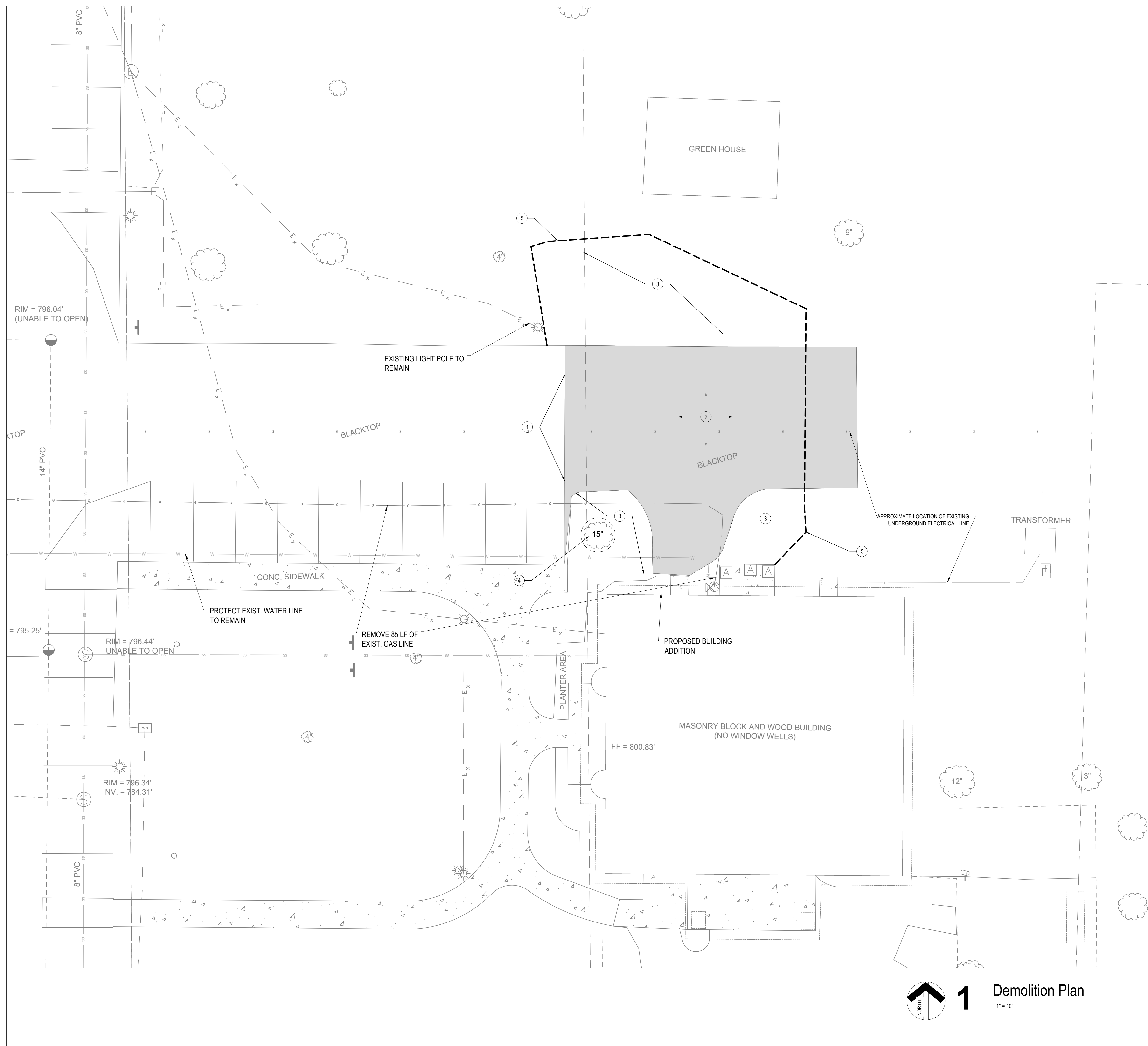
INDEX OF DRAWINGS

T101	TITLE SHEET
C101	DEMOLITION PLAN
C800	SITE DETAILS
C900	EROSION CONTROL PLAN
S001	STRUCTURAL SPECIFICATIONS
S101	FOUNDATION PLANS
S201	FRAMING PLANS
S600	STRUCTURAL DETAILS
A001	LIFE SAFETY PLAN
A101	ARCHITECTURAL SITE PLAN
A201	FLOOR PLAN
A300	BUILDING ELEVATIONS
A400	REFLECTED CEILING PLAN
A401	BUILDING SECTION
A402	BUILDING SECTION
A403	BUILDING DETAILS
A410	WALL SECTIONS
A501	DOOR AND WINDOW SCHEDULE, DETAILS
A502	PARTITION TYPES, DETAILS
A601	FINISH PLAN AND ROOM FINISH SCHEDULE
A602	INTERIOR ELEVATIONS AND PLANS
R101	ROOF PLAN
G001	MECHANICAL LEGEND AND NOTES
M101	MECHANICAL PLAN
M501	MECHANICAL SCHEDULES
E101	ELECTRICAL PLANS
P101	PLUMBING PLAN
P501	PLUMBING SCHEDULES AND DETAILS

CONSTRUCTION DOCUMENTS

<p>MARTIN RILEY architects • engineers</p> <p>404 N. Main Street, Suite 601 Oshkosh, Wisconsin 54901</p> <p>www.martin-riley.com ph 920.267.3600</p>		<p>DATE: 2021-10-18</p> <p>SET NUMBER:</p>	<p>MEP</p> <p>CIVIL</p>
<p>ARCHITECT</p> <p>ROGER G. KLUCK 6961 MENOMONEE FALLS, WI</p> <p>ARCHITECT</p> <p>10-18-2021</p>		<p>STRUCTURAL</p> <p>JEREMY L. BRICKEY E-39900 FORT WAYNE, IN</p> <p>PROFESSIONAL ENGINEER</p> <p>10-13-2021</p>	<p>MEP</p> <p>RONALD P. SCHEELE JR. E-47060-6 FORT WAYNE, IN</p> <p>PROFESSIONAL ENGINEER</p> <p>10-18-2021</p>

Child Care Center Building Addition
COMMISSION NO. 021043

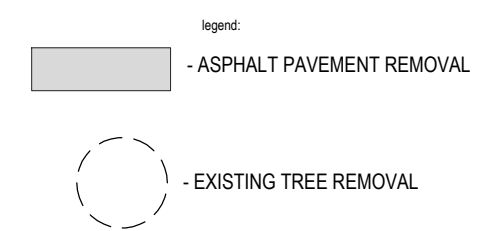


General Demolition Notes

1. **LITTERING STREETS-** THE CONTRACTOR SHALL REMOVE ANY DEMOLITION DEBRIS OR MUD FROM ANY STREET, ALLEY, RIGHT OF WAY RESULTING FROM THE EXECUTION OF THE DEMOLITION WORK. LITTERING OF THE SITE SHALL NOT BE PERMITTED. ALL WASTE MATERIALS SHALL BE PROMPTLY REMOVED FROM THE SITE.
2. **STREET CLOSURES-** IF IT SHOULD BECOME NECESSARY TO CLOSE ANY TRAFFIC OR PARKING LANES, CONTRACTOR SHALL BE RESPONSIBLE TO ACQUIRE NECESSARY PERMITS AND PLACE ADEQUATE BARRICADES AND WARNING SIGNS AS REQUIRED BY THE CITY AND/OR COUNTY. STREET OR LANE CLOSURES SHALL BE COORDINATED WITH THE APPROPRIATE JURISDICTIONAL AUTHORITY.
3. **GENERAL PROTECTION-WHERE APPLICABLE**
 - A. **SIDEWALKS-** THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PUBLIC SIDEWALKS, IF SCHEDULED TO REMAIN, ADJUTING OR ADJACENT TO THE PROJECT SITE. REPAIR OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE WORK (REPLACEMENT PER THE CITY AND/OR COUNTY STANDARDS).
 - B. **PEDESTRIAN ACCESS/VEHICULAR TRAFFIC-** IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE AND CONSTRUCT NECESSARY WARNING SIGNS, BARRICADES FENCING OR TEMPORARY ACCESS AS DIRECTED BY OWNER OR LOCAL AUTHORITY.
 - C. **DEMOLITION HOURS-** CONTRACTOR SHALL COMPLY WITH ANY RESTRICTIONS TO WORKING HOURS AS DIRECTED BY LOCAL AUTHORITY.
 - D. **NOISE POLLUTION-** ALL CONSTRUCTION EQUIPMENT SHALL BE IN GOOD REPAIR AND ADEQUATELY MUFFLED, OR AS DIRECTED BY LOCAL AUTHORITY.
 - E. **DUST CONTROL-** THE CONTRACTOR SHALL TAKE APPROPRIATE ACTIONS TO MINIMIZE ATMOSPHERIC POLLUTION. SUCH PRECAUTIONS SHALL INCLUDE, BUT NOT LIMITED TO, USE OF WATER OR CHEMICALS FOR DUST CONTROL IN THE DEMOLITION OF BUILDING STRUCTURES, PAVING OF LAND AND AS REQUIRED BY LOCAL AUTHORITY. OPEN-BODY TRUCKS LIKELY OF CREATING AIRBORNE DUSTS SHALL BE COVERED.
4. **REQUIREMENTS FOR THE REDUCTIONS OF FIRE HAZARDS-** THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING AND MAINTAINING THE CORRECT TYPE AND CLASS OF FIRE EXTINGUISHER ON SITE. NO MATERIAL OBSTRUCTIONS OR DEBRIS SHALL BE PLACED OR ALLOWED TO ACCUMULATE WITHIN 15 FEET OF ANY FIRE HYDRANT.
5. **PROTECTION OF PUBLIC UTILITIES-** THE CONTRACTOR SHALL NOT DAMAGE EXISTING FIRE HYDRANTS, TRAFFIC SIGNALS, POWER POLES, TELEPHONE POLES, FIRE ALARM BOXES, WIRE CABLES AND/OR UNDERGROUND UTILITIES TO REMAIN OR OTHER APPURTENANCES IN THE VICINITY OF THE SITE.
6. **PROTECTION OF ADJACENT PROPERTIES-** THE CONTRACTOR SHALL NOT DAMAGE OR CAUSE TO BE DAMAGED ANY PUBLIC RIGHT-OF-WAY, STRUCTURES, PARKING LOTS, DRIVES, STREETS, SIDEWALKS, UTILITIES, LAWNS OR ANY OTHER PROPERTY ADJACENT TO THE PROJECT SITE.
7. **GENERAL DEMOLITION NOTE-** THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION AND SHALL INSPECT THE SITE FOR ITS CHARACTER AND THE TYPE OF IMPROVEMENTS TO BE DEMOLISHED. THE DEMOLITION LIMITS SHALL BE RELEASED TO THE CONTRACTOR UPON AWARD OF CONTRACT AND NOTICE TO PROCEED. THE CONTRACTOR SHALL HAVE FULL CONTROL OF DEMOLITION PROGRESS AND CLEARANCE OF THE SITE, SUBJECT TO THE PROJECT MANUAL AND SPECIFICATIONS.

Typical Site Demolition Notes

1. SAW CUT EXISTING PAVEMENT PRIOR TO REMOVAL.
 2. REMOVE ASPHALT PAVEMENT IN ITS ENTIRETY.
 3. CLEARING AND GRUBBING, TOPSOIL REMOVAL.
 4. REMOVE EXISTING TREE- SEE SPECIFICATION FOR EXTENTS.
 5. GRADING LIMITS
- Note: ALL DEMOLISHED MATERIAL FROM CONSTRUCTION ACTIVITIES SHALL BE REMOVED OFF-SITE AND DISPOSED OF IN A LEGAL MANNER.



New Construction and Renovation Work for:
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 1478 Midway Road
 Menasha, WI 54952



2169 Carlton Road
 Oshkosh, Wisconsin 54904
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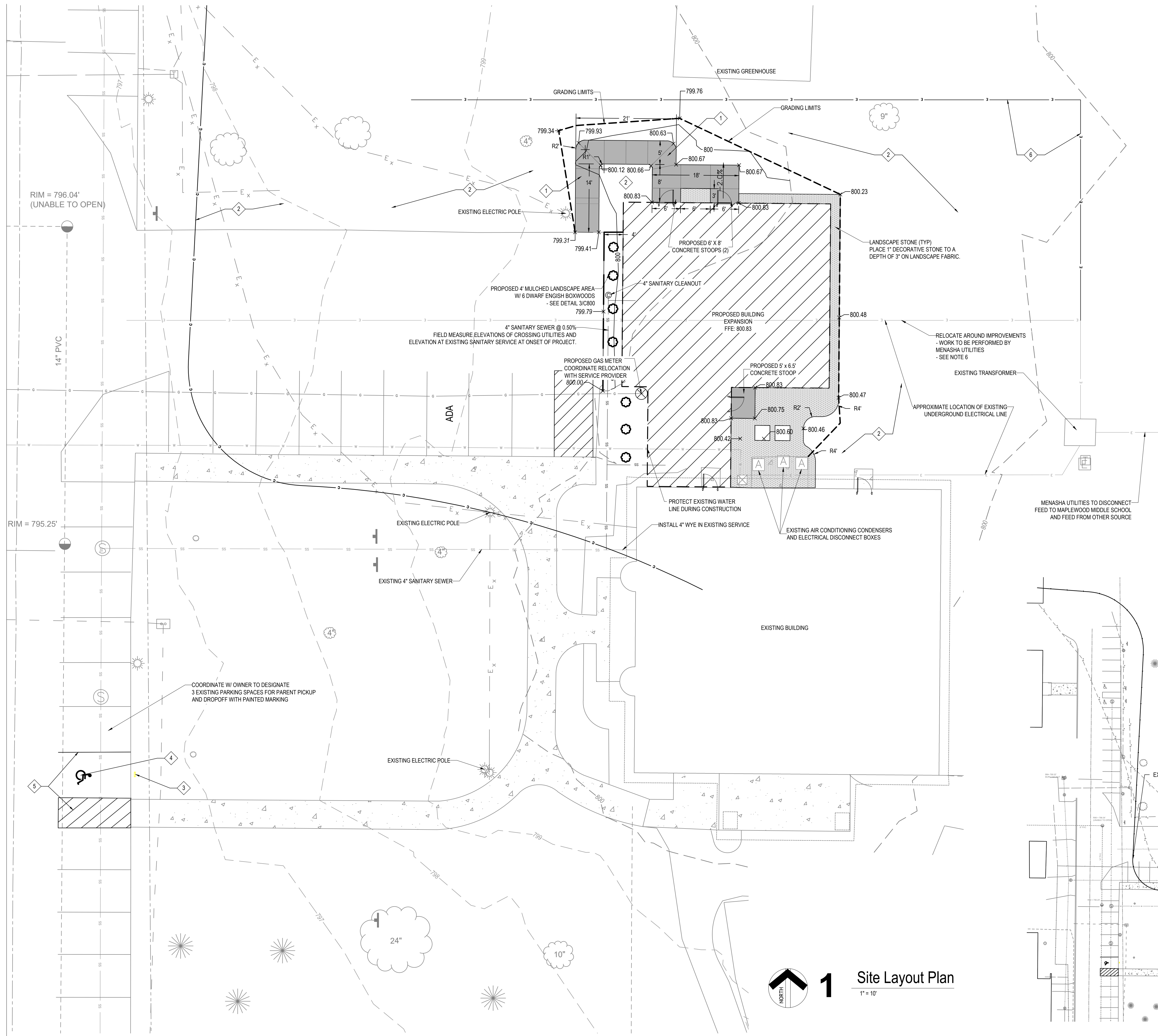
REVISION: _____ DATE: _____

DRAWN BY: AM, JD REVIEWED BY: TDE
 COMMISSION NUMBER: Q21043 DATE: 2021-10-18

1 Demolition Plan
 1" = 10'

C101

DEMOLITION PLAN



General Construction Notes

1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH STATE, COUNTY AND LOCAL CODES INCLUDING ALL AMENDMENTS.
2. ALL PERMITTING FEES SHALL BE PAID FOR BY THE CONTRACTOR.
3. CONTRACTOR SHALL PROTECT ALL ADJACENT IMPROVEMENTS, BUILDINGS, INFRASTRUCTURE, PAVEMENTS, PAVEMENT MARKINGS, WALKS, GRASS, ETC DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
4. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PLACE APPROPRIATE EROSION CONTROL MEASURES TO ENSURE NO SEDIMENT LEAVES THE SITE OR ENTERS ON-SITE OR PUBLIC STORM SYSTEMS.
5. CONTRACTOR TO MATCH CONSTRUCTION LIMITS TO EXISTING GRADES AND PROVIDE POSITIVE DRAINAGE TO EXISTING DRAINAGE PATHS/ SYSTEMS.
6. CONTRACTOR SHALL ADJUST ALL CASTINGS TO GRADE WITHIN OR ADJACENT TO THE WORK.
7. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS BY PLACING TOPSOIL, IF REQUIRED, GRADING TO ESTABLISH POSITIVE DRAINAGE, SEEDING AND MULCH.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES, LOCAL, COUNTY JURISDICTIONS AND UTILITIES.

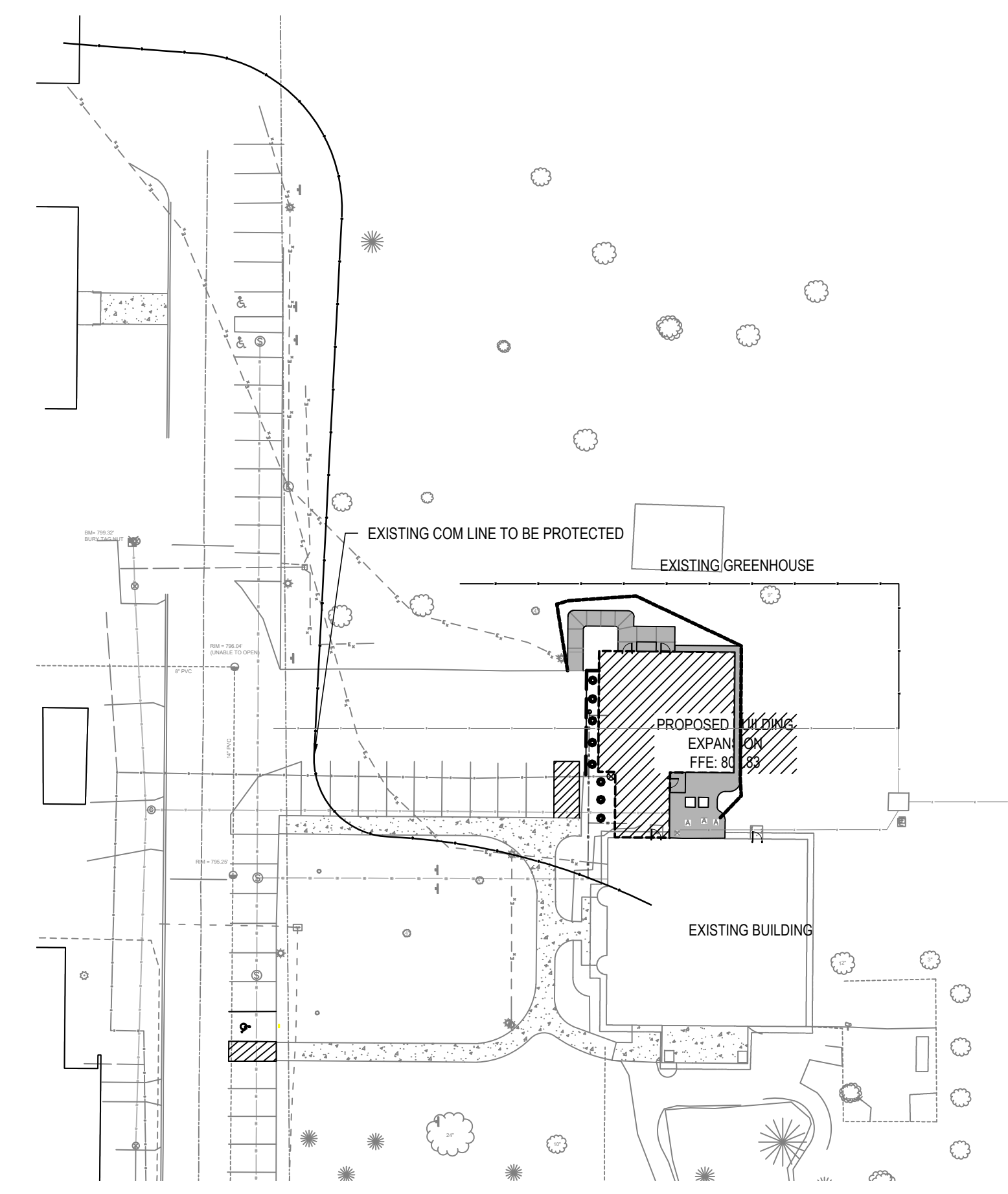
Typical Site Work Description Notes

1. CONCRETE WALK- TYPICAL - SEE DETAIL 1 & 2/C800
2. RESTORATION OF DISTURBED AREAS, FINE GRADE TOPSOIL, GRASS SEEDING, AND COVER W/ STRAW MULCH.
 - APPLY WATER WITH A FINE SPRAY IMMEDIATELY AFTER EACH AREA HAS BEEN SEEDED. SATURATE TO 4" OF SOIL
 - FOLLOWING GERMINATION, IMMEDIATELY RE-SEED AREAS WITHOUT GERMINATED SEEDS THAT ARE LARGER THAN 4" X 4"
 - FURNISH MAINTENANCE OF SEEDED AREAS OF THREE MONTHS FROM DATE OF SUBSTANTIAL COMPLETION OR ONE GROWING SEASON IF SUBSTANTIAL COMPLETION OCCURS LATER THAN 3 MONTHS PRIOR TO FIRST FROST.
 - WATER TO PREVENT GRASS AND SOIL FROM DRYING OUT.
 - ROLL SURFACE TO REMOVE MINOR DEPRESSIONS OR IRREGULARITIES
 - PROTECT SEEDED AREAS WITH WARNING SIGNS AND KEEP FREE OF WEEDS DURING MAINTENANCE PERIOD.
3. HANDICAP PARKING SIGN W/ VAN ACCESSIBLE IDENTIFICATION SIGN BELOW - NEW - SEE DETAIL 4/C800
4. PAVEMENT MARKING, HC SYMBOL - SEE DETAIL 5/C800
5. PAVEMENT MARKING, STRIPED ACCESSIBLE AISLE - 4" SOLID, PAINTED BLUE PERIMETER W/ 2" O.C. INTERNAL DIAGONALS.
6. PROPOSED RELOCATION OF EXIST. ELECTRICAL LINE - WORK TO BE PERFORMED BY MENASHA UTILITIES, COORDINATED RECONNECTION POINT W/ MENASHA UTILITIES.

- - - - - XXX - EXISTING MAJOR CONTOUR
- - - - - XXX - EXISTING MINOR CONTOUR
- - - - - XXX - PROPOSED MAJOR CONTOUR
- - - - - XXX - PROPOSED MINOR CONTOUR

CONCRETE PAVEMENT SECTION

1 Site Layout Plan
1" = 10'



1 Site Layout Plan
1" = 40'

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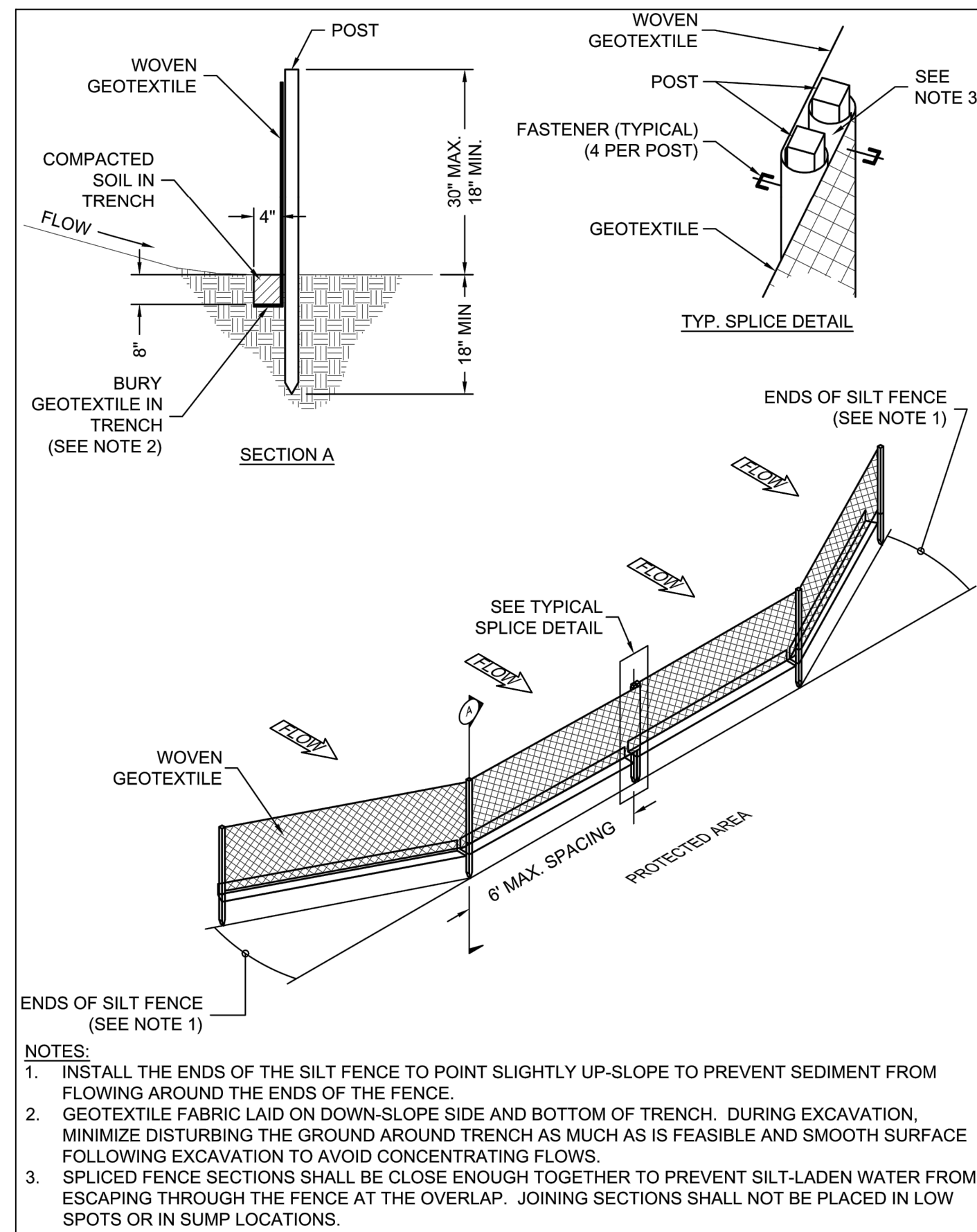
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C200

SITE LAYOUT PLAN



SILT FENCE

SPECIFICATIONS
Note: Silt fence is not recommended for use as a diversion and should not be used across a stream, channel, ditch, swale, or anywhere that concentrated flow is anticipated.

Drainage Area
 - Limited to one-quarter acre per 100 linear feet of fence.
 - Further restricted by slope steepness (see Table 1).

Effective Life
 - Six months (maximum).

Location
 - Installed parallel to the slope contour.
 - Minimum of 10 feet beyond the toe of the slope to provide a broad, shallow sediment pool.
 - Accessible for maintenance (removal of sediment and silt fence repair).

Spacing
Table 1 - Slope Steepness Restrictions

Trench
 - Depth: eight inches minimum.
 - Width: four inches minimum.
 - After installing fence, backfill with soil material and compact (to bury and anchor the lower portion of the fence fabric).

Note: An alternative to trenching is to use mechanical fasteners to secure the fabric to the posts. Allow for at least 12 inches of fabric below ground level. Complete the silt fence installation, following steps 1 through 6 above.

Materials and Silt Fence Specifications
 - Fabric - woven or non-woven geotextile fabric meeting specified minimums outlined in Table 2.

Table 2 - Geotextile Fabric Specifications for Silt Fence (minimum)

- Height a minimum of 18 inches above ground level (30 inches maximum).
- Reinforcement: fabric securely fastened to posts with wood lathe.
- Support Posts - 2 x 2 inch hardwood posts. Steel fence posts may be substituted for hardwood posts (steel posts should have projections for fastening fabric).
- Spacing - Eight feet maximum if fence is supported by wire mesh fencing.
 - Six feet maximum for extra-strength fabric without wire backing.

- NOTES:**
1. INSTALL THE ENDS OF THE SILT FENCE TO POINT SLIGHTLY UP-SLOPE TO PREVENT SEDIMENT FROM FLOWING AROUND THE ENDS OF THE FENCE.
 2. GEOTEXTILE FABRIC LAID ON DOWN-SLOPE SIDE AND BOTTOM OF TRENCH. DURING EXCAVATION, MINIMIZE DISTURBING THE GROUND AROUND TRENCH AS MUCH AS IS FEASIBLE AND SMOOTH SURFACE FOLLOWING EXCAVATION TO AVOID CONCENTRATING FLOWS.
 3. SPLICED FENCE SECTIONS SHALL BE CLOSE ENOUGH TOGETHER TO PREVENT SILT-LADEN WATER FROM ESCAPING THROUGH THE FENCE AT THE OVERLAP. JOINING SECTIONS SHALL NOT BE PLACED IN LOW SPOTS OR IN SUMP LOCATIONS.

6 Temporary Silt Fence
 NTS

INSTALLATION

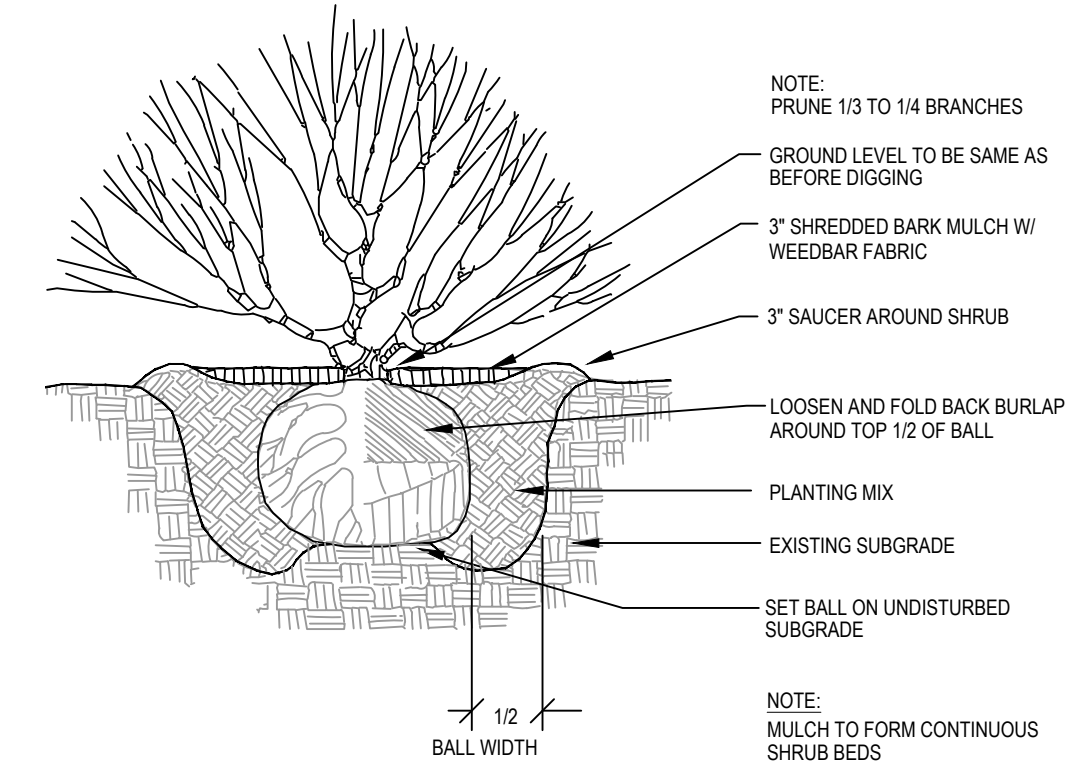
- Prefabricated silt fence
- Lay out the location of the fence so that it is parallel to the contour of the slope and at least 10 feet beyond the toe of the slope to provide a sediment storage area. Turn the ends of the fence up slope such that the point of contact between the ground and the bottom of the fence end terminates at a higher elevation than the top of the fence at its lowest point.
- Excavate an eight-inch deep by four-inch wide trench along the entire length of the fence line. Installation by plowing is also acceptable.
- Install the silt fence with the filter fabric located on the up-slope side of the excavated trench and the support posts on the down-slope side of the trench.
- Drive the support posts at least 18 inches into the ground, lightly stretching the fabric between the posts as each is driven into the soil. A minimum of 12 inches of the filter fabric should extend into the trench. (If it is necessary to join the ends of two fences, use the wrap joint method shown.)
- Lay the lower four inches of filter fabric on the bottom of the trench and extend it toward the up-slope side of the trench.
- Backfill the trench with soil material and compact it in place.

Note: If the silt fence is being constructed on-site, attach the filter fabric to the support posts (refer to Tables 1 and 2 for spacing and geotextile specifications) and attach wooden lathe to secure the fabric to the posts. Allow for at least 12 inches of fabric below ground level. Complete the silt fence installation, following steps 1 through 6 above.

MAINTENANCE

- Inspect within 24 hours of a rain event and at least once every seven calendar days.
- If fence fabric tears, starts to decompose, or in any way becomes ineffective, replace the affected portion immediately. **NOTE: ALL REPAIRS SHOULD MEET SPECIFICATIONS AS OUTLINED WITHIN THIS MEASURE.**
- Remove deposited sediment when it is causing the filter fabric to bulge or when it reaches one-half the height of the fence at its lowest point. When contributing drainage area has been stabilized, remove the fence and sediment deposits, grade the site to blend with the surrounding area, and stabilize.

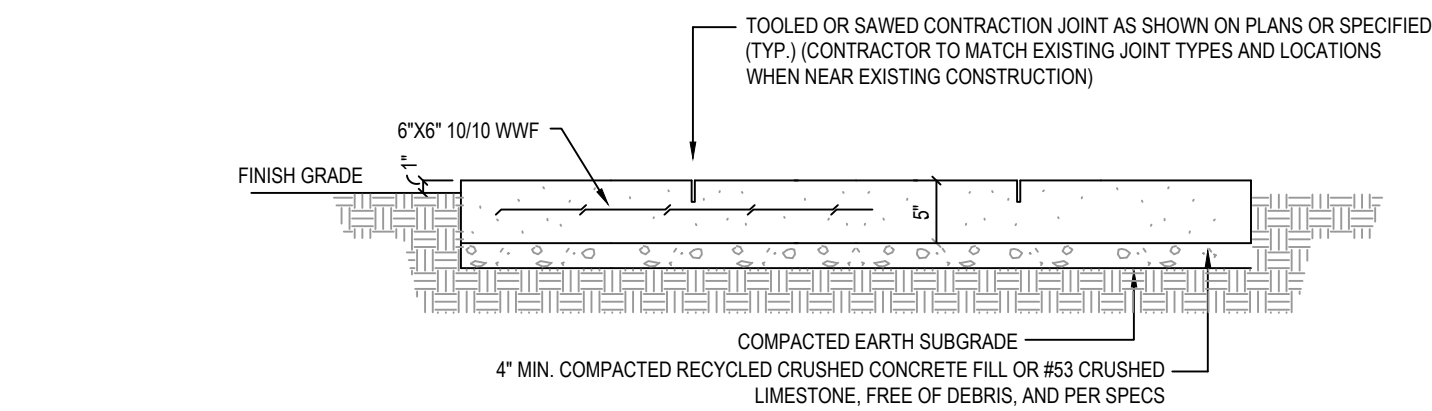
NOTE:
 FILTER TUBE/FILTER SOCKS MAY BE SUBSTITUTED



SHRUB PLANTING DETAIL - TYPICAL

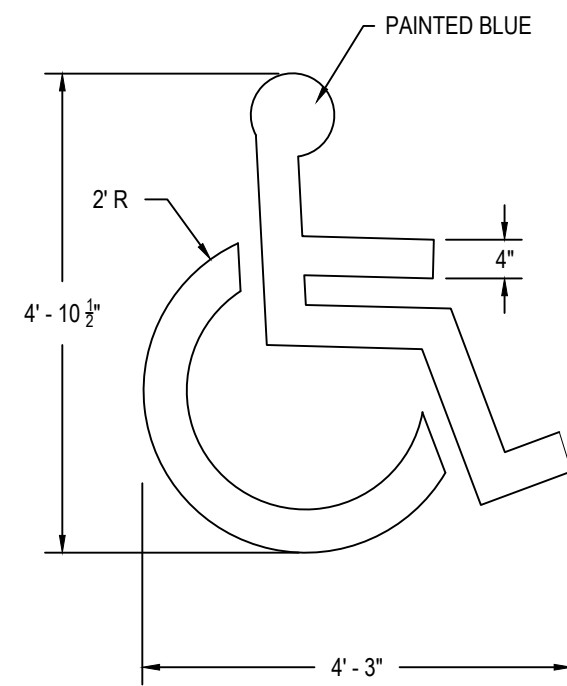
3 Shrub Planting Detail
 NTS

GENERAL NOTE FOR BASE MATERIAL:
 RECYCLED CRUSHED CONCRETE FILL IS ALLOWED AS A BASE MATERIAL ONLY FOR CONCRETE SIDEWALKS, CONCRETE CURB WALKS, HEAVY DUTY SIDEWALKS, AND HEAVY DUTY CONCRETE CURB WALK. RECYCLED CRUSHED CONCRETE FILL IS NOT ALLOWED AS A BASE FOR CONCRETE CROSSWALKS, CONCRETE PAVEMENT, AND ASPHALT PAVEMENTS.

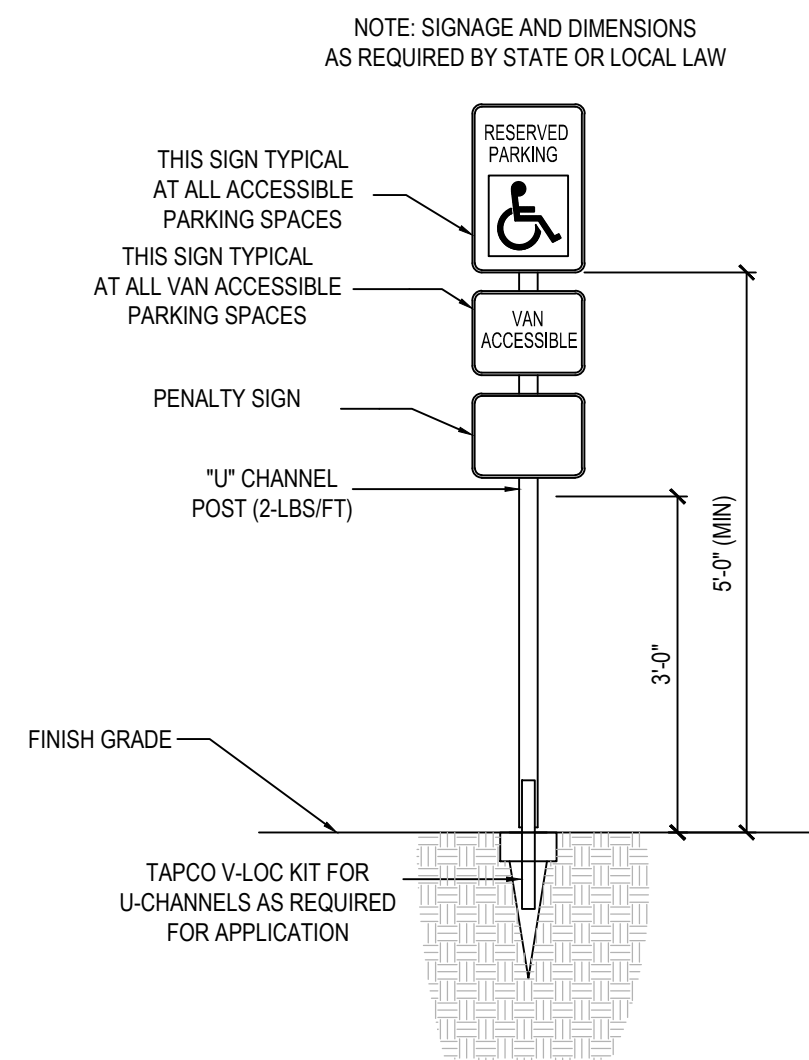


Typical Pavement/Walk Edge Detail

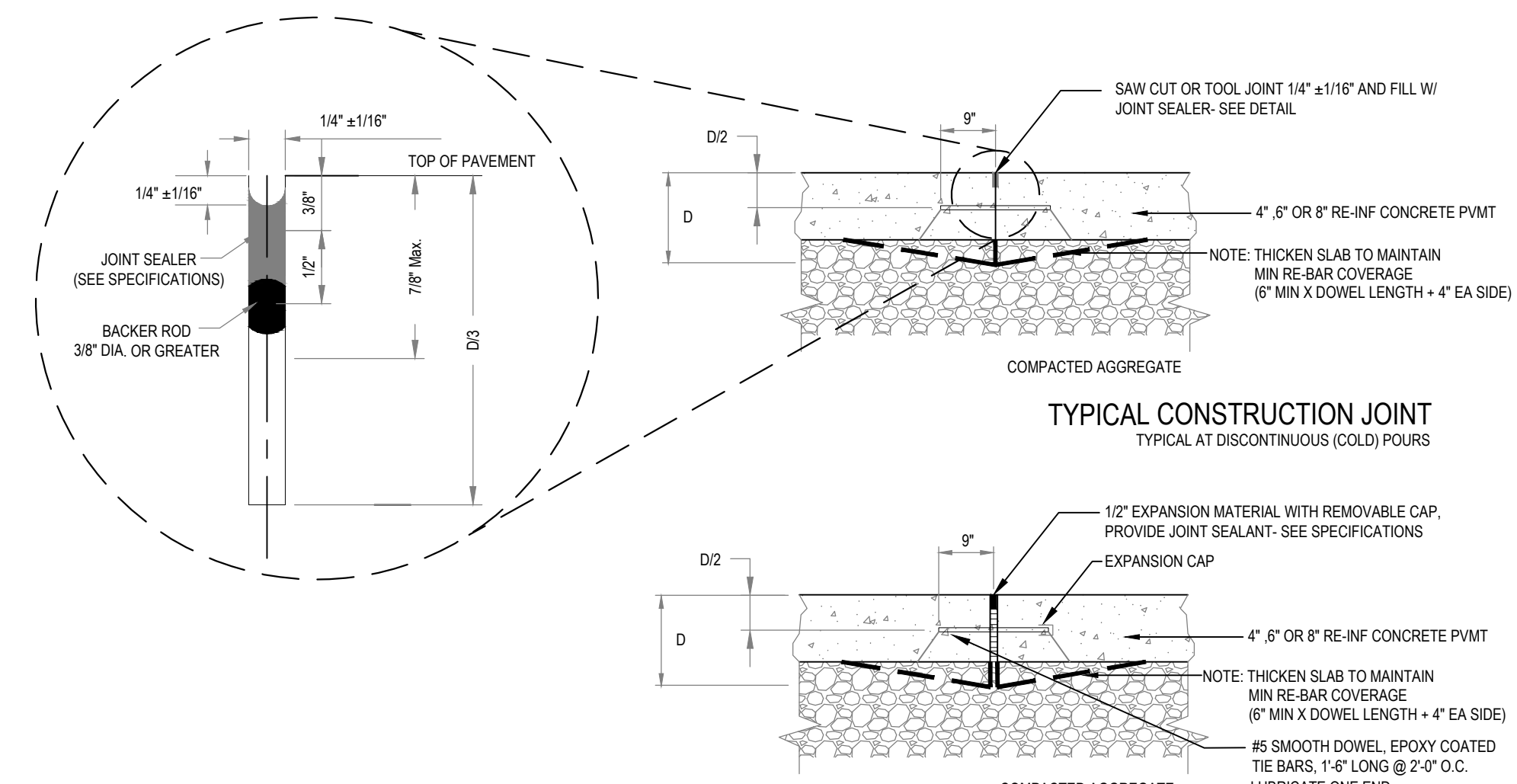
2 Concrete Sidewalk Detail
 NTS
 SW-SD



5 Accessibility Marking
 NTS



4 ADA Parking Signs Detail
 NTS



TYPICAL EXPANSION JOINT

1 Concrete Joint Details
 NTS

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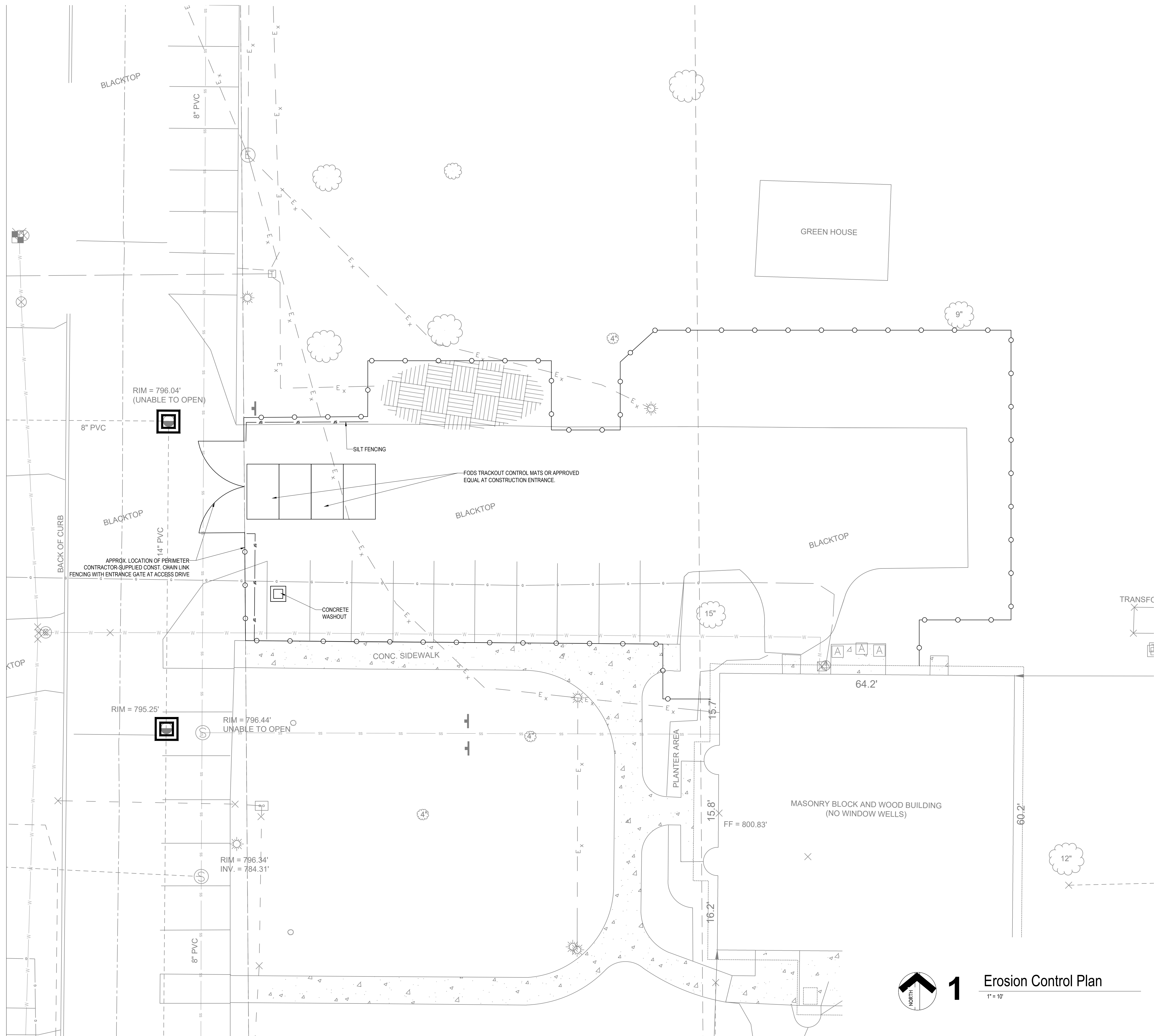
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 REVIEWED BY: TDE
 DATE: 2021-10-18

C800

SITE DETAILS



General Erosion Control Notes

1. THE ROADWAYS AND TEMPORARY CONSTRUCTION ENTRANCE SHALL BE KEPT CLEAN OF SEDIMENT AND OTHER DEBRIS. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING SAID POLLUTANTS FROM ROADWAYS AS NECESSARY. THERE SHALL BE NO DIRT, DEBRIS OR STORAGE OF MATERIALS IN THE STREET.
2. ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS SOON AS APPLICABLE. CONTROL MEASURES SHALL MEET OR EXCEED THOSE SHOWN IN "THE INDIANA STORMWATER QUALITY MANUAL". NOTE: ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
3. THE CONTRACTOR SHALL MAINTAIN AND INSPECT ALL EROSION CONTROL MEASURES UNTIL THE PROJECT IS TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL REVIEW THE EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN 1 BUSINESS DAY FOLLOWING EACH STORM EVENT OF 1/2" OR MORE. CORRECTIVE MEASURES ARE TO BE TAKEN IF ANY MEASURE IS IN NEED OF REPAIR OR FAILING TO ACHIEVE THE DESIRED EFFECT. THE CONTRACTOR SHALL KEEP A LOG OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES PERFORMED. THE LOG SHALL BE AVAILABLE FOR REVIEW BY A REPRESENTATIVE OF THE CITY OF MENASHA, THE COUNTY AND ANY OTHER AGENCY HAVING JURISDICTION. THE OWNER WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE PERMANENT MEASURES ONLY AFTER ALL CONSTRUCTION IS COMPLETE.
4. NO SEDIMENT SHALL BE ALLOWED TO LEAVE THE SITE. ANY ADDITIONAL MEASURES REQUIRED TO ACCOMPLISH THIS TASK SHALL BE IMPLEMENTED IMMEDIATELY. THE CONTRACTOR SHALL RECTIFY ANY DAMAGES TO SEDIMENTS OR EROSION TO ADJACENT PROPERTIES.
5. THE CONTRACTOR SHALL USE WATER TRUCKS AND OTHER REASONABLE METHODS TO REDUCE AIRBORNE AND WIND EROSION.
6. CONTRACTOR SHALL ENSURE WASTES OR UNUSED CONSTRUCTION MATERIALS, GARBAGE, DEBRIS, CLEANING WASTES OR WASTE WATER, ARE NOT CARRIED OFF BY RUNOFF FROM SITE BUT DISPOSED OF IN A PROPER MANNER. TRASH AND DEBRIS LEFT FROM THE CONSTRUCTION ACTIVITY SHALL BE PICKED UP AT THE END OF EACH WORK DAY.
7. CONTRACTOR SHALL INSTALL, IDENTIFY BY SIGN AND MAINTAIN CONCRETE WASHOUT AREA(S).

EC Sequencing and Staging Notes

1. A STABILIZED CONSTRUCTION ENTRANCE, PERIMETER SILT FENCE AND ROCK CHECK DAMS FOR EXISTING DRAINAGE OUTLET (WHERE APPLICABLE) SHALL BE INSTALLED PRIOR TO BEGINNING OTHER EARTH DISTURBING ACTIVITIES.
2. WHENEVER POSSIBLE, EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO PERFORMING OTHER EARTH DISTURBING ACTIVITIES.
3. MINIMIZE EROSION FROM EXPOSED AREAS BY PROVIDING AND MAINTAINING TEMPORARY OR PERMANENT STABILIZATION MEASURES. EROSION CONTROL MEASURES TO PROTECT EXPOSED AREAS SHALL BE INSTALLED AT THE END OF EACH WORK DAY.
4. AREAS TO BE PAVED SHALL BE STABILIZED WITH STONE COVER. THE TEMPORARY STONE COVER SHALL BE EQUIVALENT TO THE PROPOSED STONE BASE MATERIAL.
5. ALL AREAS TO REMAIN UNWORKED FOR MORE THAN 14 DAYS SHALL BE STABILIZED BY COVERING OR BY EQUIVALENT EROSION CONTROL MEASURES.
6. FOR AREAS TO BE PERMANENTLY SEEDED, COMPLETE SEEDING WITHIN 24 HOURS OF REACHING FINAL GRADE. SEE EROSION CONTROL SPECIFICATIONS FOR TEMPORARY SEEDING.

- symbol key:
- FABRIC DROP INLET PROTECTION (INITIAL) and FABRIC BASKET INLET PROTECTION or STONE BAG RING
 - CONCRETE WASHOUT
 - SILT FENCE ALTERNATE MEASURE: FILTER SOCK
 - TEMPORARY SOIL STOCKPILE
 - EROSION CONTROL BLANKETS
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED STORM SEWER
-
- XXX- -EXISTING MAJOR CONTOUR
 - XXX- -EXISTING MINOR CONTOUR
 - XXX- -PROPOSED MAJOR CONTOUR
 - XXX- -PROPOSED MINOR CONTOUR

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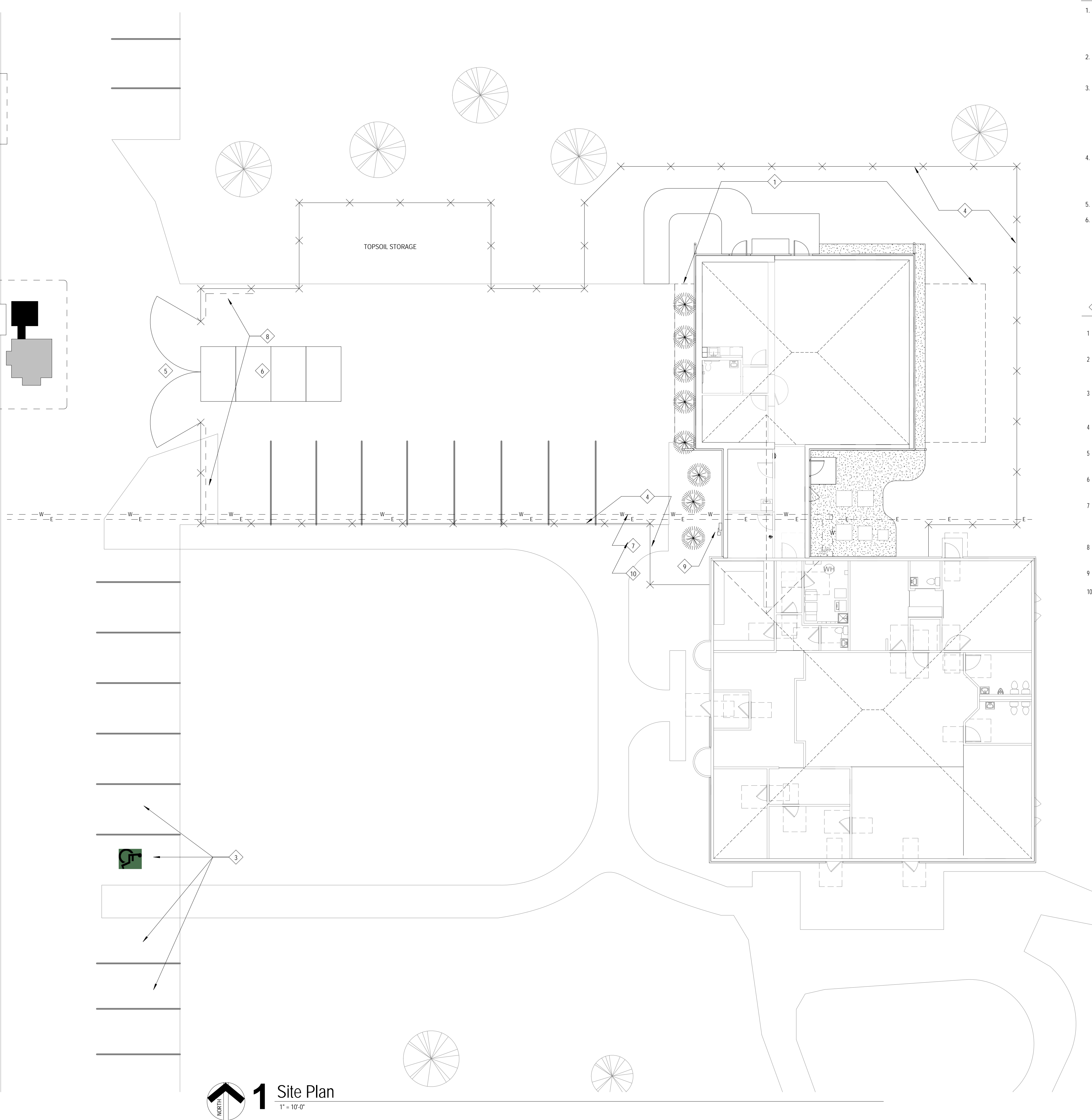
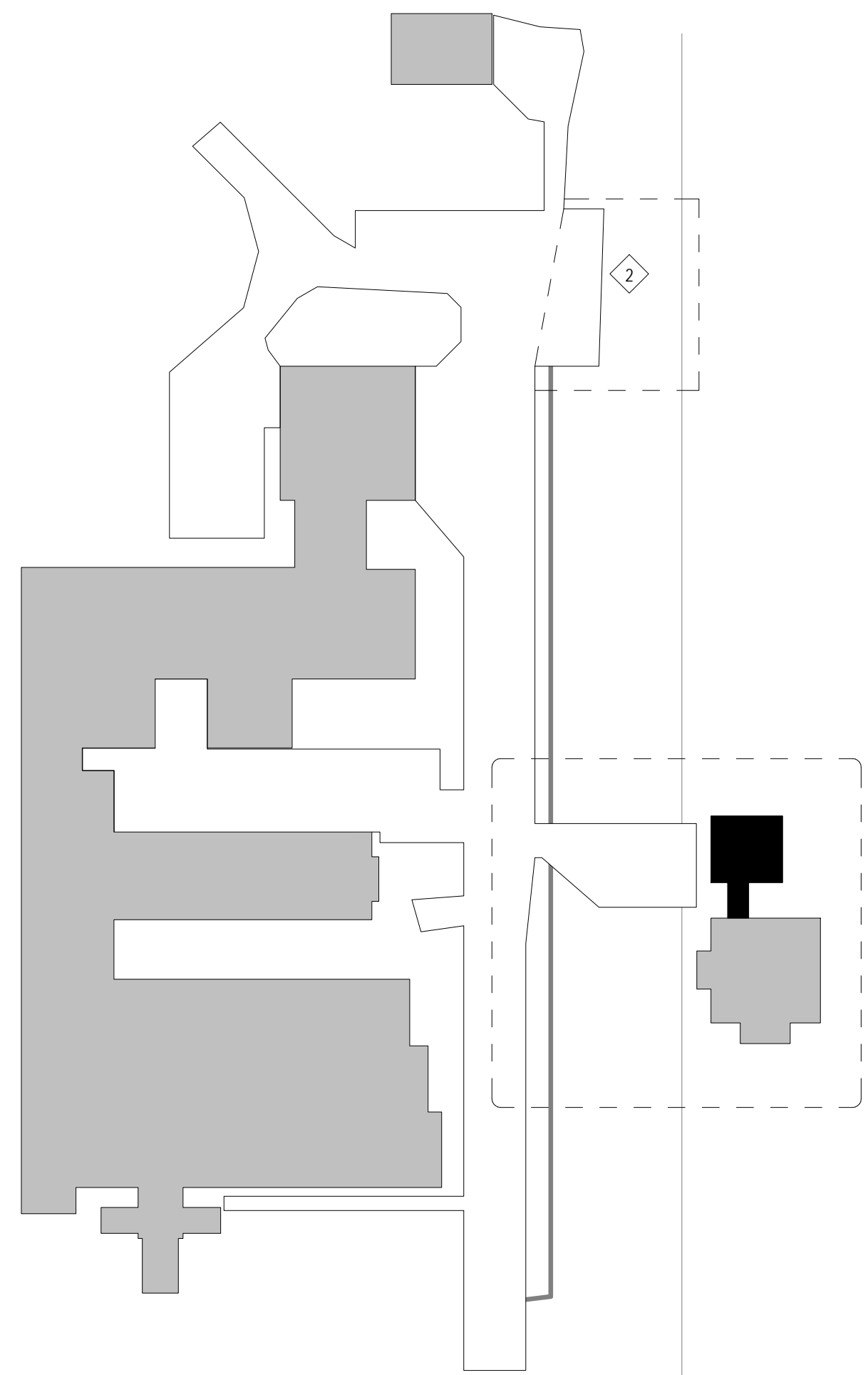
DRAWN BY: AM, JD REVIEWED BY: TDE
 COMMISSION NUMBER: Q21043 DATE: 2021-10-18

1 Erosion Control Plan
1" = 10'

C900
EROSION CONTROL PLAN

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2 Overall Site Plan
 1" = 80'-0"



1 Site Plan
 1" = 10'-0"

General Notes

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL OR OTHER GOVERNING BODIES' CODES. ADDITIONALLY, WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS OR GUIDELINES.
2. ALL DIMENSIONS ARE TO THE FACE OF MASONRY, FACE OF EXISTING WALL AND/OR FACE OF NEW FRAMING UNLESS NOTED OTHERWISE.
3. INDICATED DIMENSIONS ARE TAKEN FROM CASUAL FIELD OBSERVATIONS AND EXISTING DRAWINGS. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES. ALL CHANGES TO THE WORK SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION EFFORTS OF ALL SUB-CONTRACTORS. FAILURE TO ANTICIPATE CHANGES OR MODIFICATIONS SHALL NOT BE THE BASIS FOR ADDITIONAL COST REQUESTS.
5. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
6. CONTRACTOR TO PROVIDE EITHER 2x WOOD BLOCKING INFILL OR METAL BACKING PLATES FOR THE SUPPORT OF ALL WALL MOUNTED EQUIPMENT INCLUDING CABINETS, TOILET ACCESSORIES, ETC. AS REQUIRED TO ALLOW FOR PROPER ATTACHMENT. CONTRACTOR TO FIELD VERIFY THE SCOPE OF WORK.

Work Description Notes

1. EXISTING PARKING TO BE DEMOLISHED FOR NEW ADDITION
2. AREA FOR TEMPORARY MATERIALS STORAGE. VERIFY SIZE AND LOCATION WITH UNIVERSITY GROUNDS AND MAINTENANCE
3. OWNER TO DESIGNATE FOUR (4) PARKING SPACES FOR PARENT PICKUP AND DROPOFF INCLUDING AT LEAST ONE (1) ADA SPACE
4. APPROX. LOCATION OF CONTRACTOR-SUPPLIED CHAIN LINK FENCE & FRAME
5. SECURITY FENCE GATES CHAINED AND LOCKABLE BY CONTRACTOR
6. TIRE CLEANING MATS OR APPROVED EQUAL. SEE SHEET C900 FOR PRODUCT INFORMATION
7. APPROXIMATE LOCATION OF EXISTING WATER MAIN LATERAL TO REMAIN. PROTECT DURING EXCAVATION AND CONSTRUCTION. BUILD FOUNDATION WALLS AROUND WATER PIPING.
8. SILT FENCING ALONG PERIMETER FENCE FACING ACCESS ROAD
9. NEW POSITION OF GAS METER
10. APPROXIMATE LOCATION OF EXISTING ELECTRICAL SERVICE LINE FROM TRANSFORMER TO REMAIN. PROTECT DURING EXCAVATION AND CONSTRUCTION. BUILD FOUNDATION WALLS AROUND ELECTRICAL SERVICE POWER UNDERGROUND CABLE

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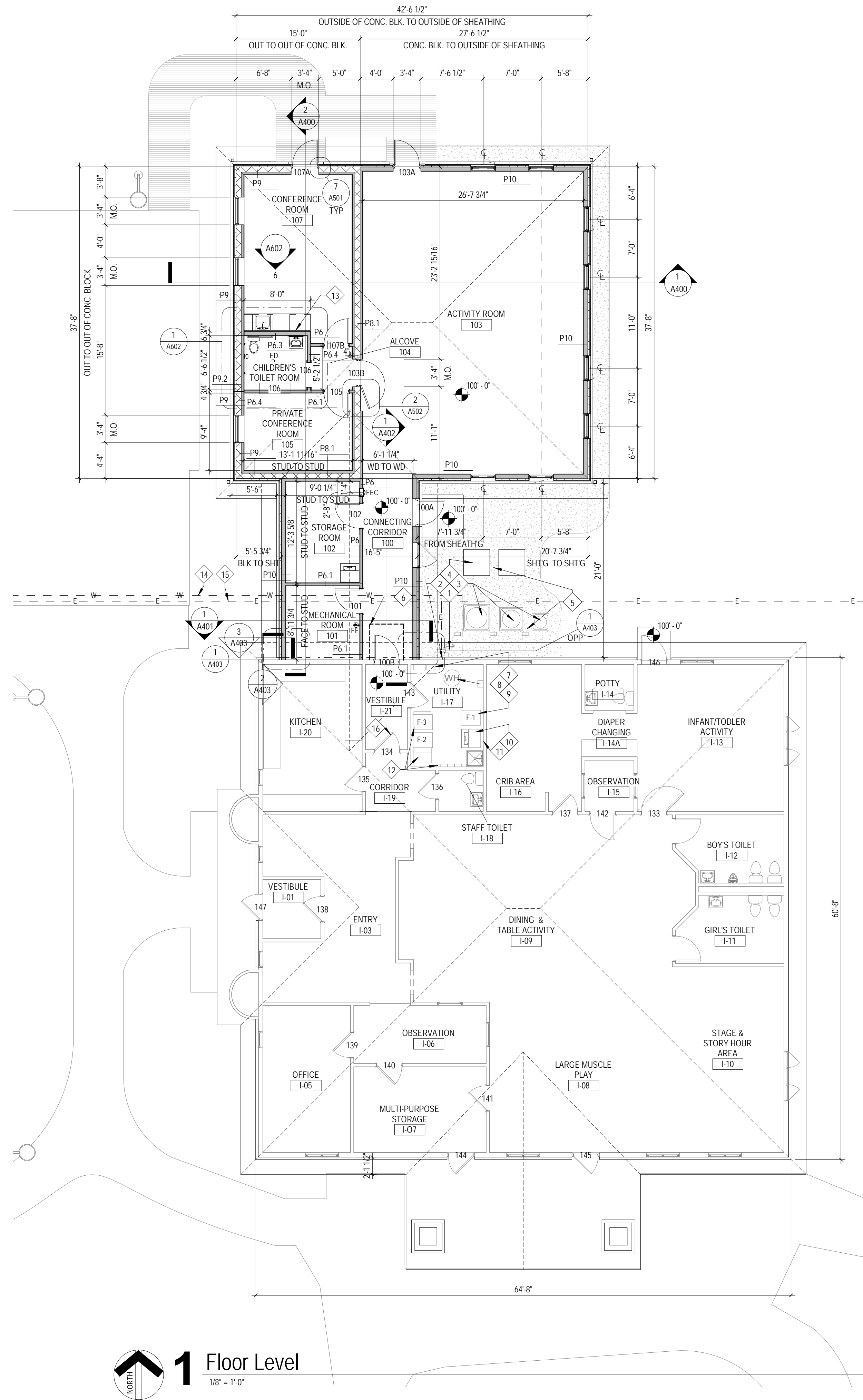
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REVISION	DATE

DRAWN BY:	NB	REVIEWED BY:	Checker
COMMISSION NUMBER:	021043	DATE:	2021-10-18

A010

ARCHITECTURAL SITE PLAN



1 Floor Level
 1/8" = 1'-0"

Work Description Notes

- EXISTING GAS METER AND RELATED PIPING TO BE RELOCATED OUTSIDE OF NEW MECHANICAL ROOM
- EXISTING ELECTRICAL SERVICE BOX WITH METER ATTACHED
- EXISTING AC CONDENSERS
- NEW CONDENSER UNITS W/ CONC. PADS
- SURROUND PADS WITH DECORATIVE STONE. SEE A410
- REMOVE EXISTING CONCRETE STOOP & PART OF SILL AT EXISTING DOOR. SEE 6500
- EXISTING ELECTRIC SERVICE PANELS
- EXISTING WATER HEATER
- EXISTING TELECOM BOXES
- EXISTING WASHER/DRYER UNIT TO BE RELOCATED TO 102
- WALL AREA DESIGNATED FOR FUTURE IT PANELS/RACKS
- EXISTING FURNACES AND DUCTWORK
- PROVIDE BLOCKING IN WALL FOR FUTURE TV MOUNTING
- EXISTING WATER MAIN LATERAL TO REMAIN. VERIFY LOCATION & PROTECT DURING CONSTRUCTION. BUILD FOUNDATION WALLS AROUND WATER PIPING.
- EXISTING ELECTRICAL POWER UNDERGROUND LINE TO REMAIN. VERIFY LOCATION & PROTECT DURING CONSTRUCTION. BUILD FOUNDATION WALLS AROUND ELECTRICAL UNDERGROUND POWER LINE.
- CUT NEW 1/4" TEMPERED GLASS LITE INTO EXISTING DOOR. SEE ELEVATION 'N' & PROVIDE MATCHING WOOD STOPS. FILL HOLES. TOUCH UP SCRATCHES & CHIPS. STAIN & FILL. TOUCH UP & STOPS, DOOR AND FRAME TO MATCH EXISTING. REFINISH VARNISH ON DOOR & FRAME.

General Demolition Notes

- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL ITEMS REMOVED FROM THE BUILDING. ITEMS NOT WANTED BY OWNER SHALL BECOME PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
- FAILURE OF AFFECTED TRADES TO RECOGNIZE DEMOLITION AS A COMPONENT OF A SYSTEM SHALL NOT BE CAUSE FOR AN EXTRA.
- ALL EXISTING CONSTRUCTION SHOWN IS FOR REPRESENTATION PURPOSES ONLY. CONTRACTOR TO FIELD VERIFY CONDITIONS AND ALL EXISTING CONSTRUCTION TO BE DEMOLISHED.
- CONTRACTOR SHALL REMOVE ALL INCIDENTAL ITEMS SURFACE MOUNTED TO WALLS, INCLUDING BUT NOT LIMITED TO EMERGENCY LIGHTS, SIGNAGE, ELECTRICAL COMPONENTS, ETC.
- CONTRACTOR SHALL PATCH AND REPAIR ANY WALLS, FLOORS AND CEILING AFFECTED BY DEMOLITION.
- DISCONNECT AND COMPLETELY REMOVE ALL CONDUIT, WIRE BOXES, ETC TO BE RENDERED OBSOLETE BY THIS WORK, UNLESS OTHERWISE NOTED. REMOVE WIRE & CONDUIT BACK TO ITS SOURCE.
- MAINTAIN CONTINUITY OF EXISTING CIRCUITS AFFECTED BY DEMOLITION WORK. VERIFY THAT EQUIPMENT TO REMAIN IS FUNCTIONAL AFTER DEMOLITION.
- CONTRACTOR SHALL DESIGN AND PROVIDE ALL TEMPORARY SHORING NECESSARY TO COMPLETE THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REWORK TO ACCOMPLISH THIS PROJECT AS SET FORTH IN THESE DOCUMENTS. THE CONTRACTOR SHALL TAKE INTO CONSIDERATION ALL SHEETS TO DETERMINE THE FULL SCOPE OF DEMOLITION AND REWORK REQUIRED.
- PREPARE ALL SALVAGED MATERIALS FOR RE-INSTALLATION. PROVIDE ANY REQUIRED FASTENERS, ACCESSORIES OR OTHER COMPONENTS FOR INSTALLATION.

General Notes

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL OR OTHER GOVERNING BODIES' CODES. ADDITIONALLY, WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS OR GUIDELINES.
- ALL DIMENSIONS ARE TO THE FACE OF MASONRY, FACE OF EXISTING WALL AND/OR FACE OF NEW FRAMING UNLESS NOTED OTHERWISE.
- INDICATED DIMENSIONS ARE TAKEN FROM CASUAL FIELD OBSERVATIONS AND EXISTING DRAWINGS. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES. ALL CHANGES TO THE WORK SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION EFFORTS OF ALL SUB-CONTRACTORS. FAILURE TO ANTICIPATE CHANGES OR MODIFICATIONS SHALL NOT BE THE BASIS FOR ADDITIONAL COST REQUESTS. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO PROVIDE EITHER 2x WOOD BLOCKING INFILL OR METAL BACKING PLATES FOR THE SUPPORT OF ALL WALL MOUNTED EQUIPMENT INCLUDING CABINETS, TOILET ACCESSORIES, ETC. AS REQUIRED TO ALLOW FOR PROPER ATTACHMENT. CONTRACTOR TO FIELD VERIFY THE SCOPE OF WORK.

New Construction and Renovation Work for :
Child Care Center Building Addition
 1478 Midway Road
 Menasha, WI 54952



404 N. Main Street, Suite 601
 Oshkosh, Wisconsin 54901
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 ph 920.267.3600

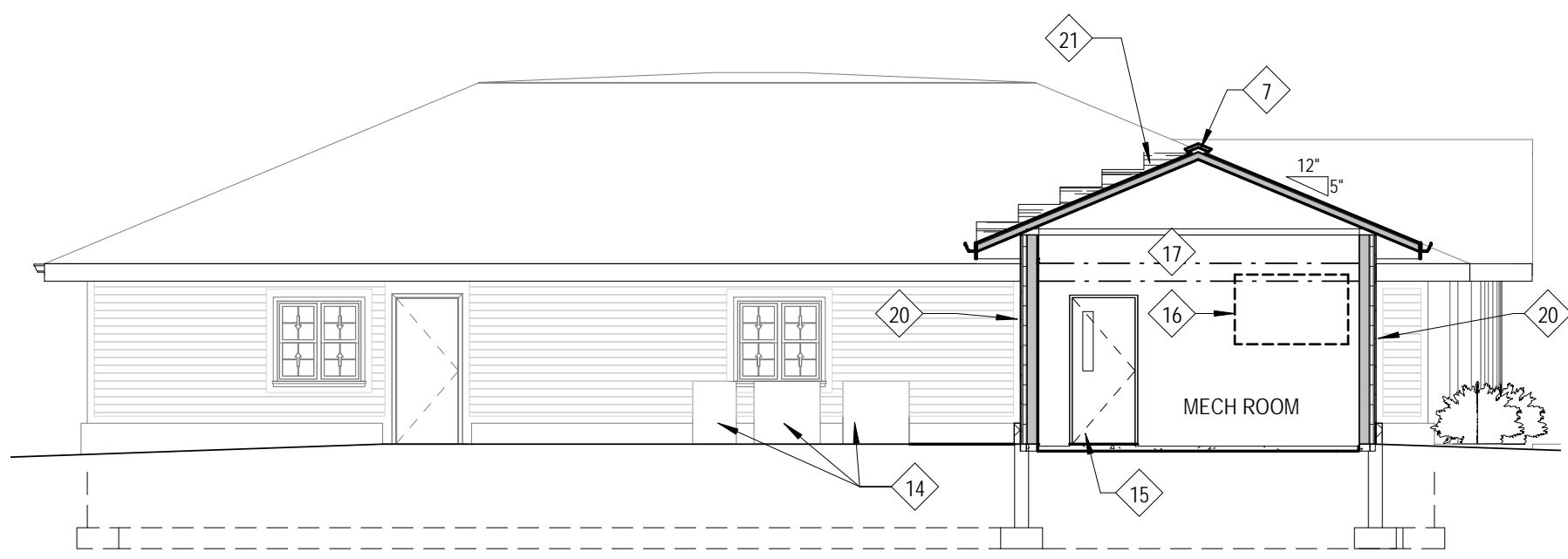
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REVISION	DATE

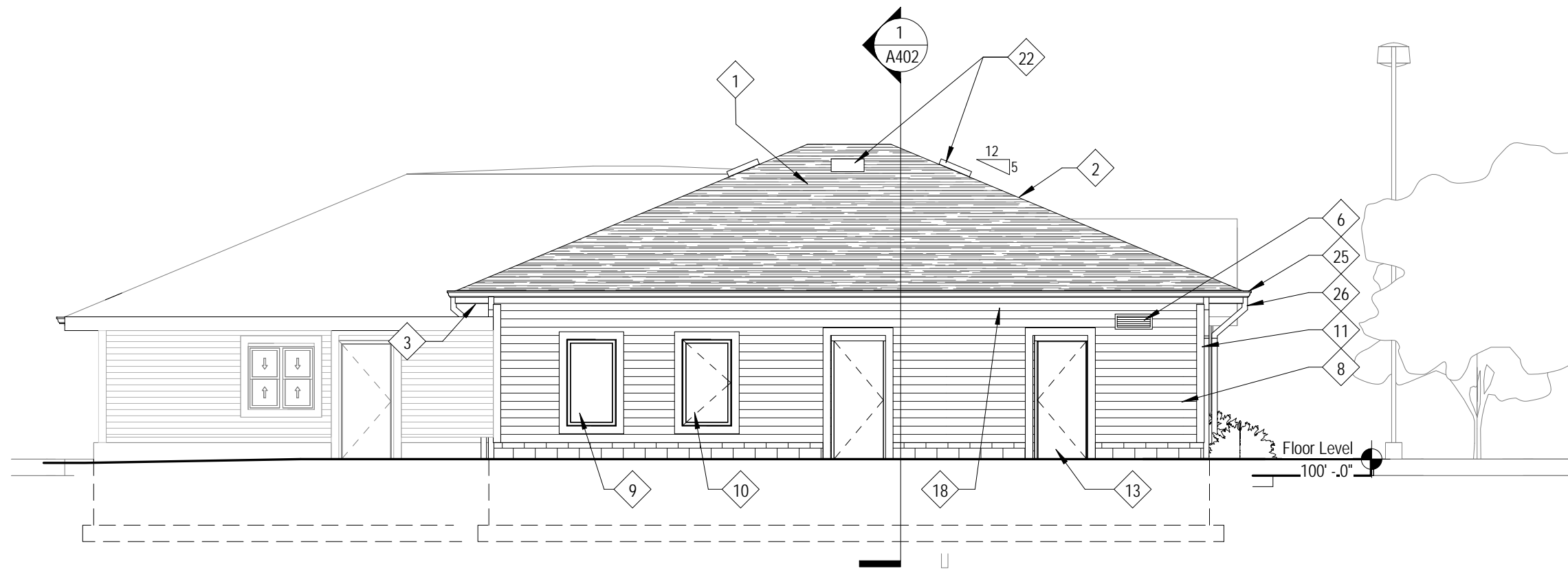
DRAWN BY:	RGK	REVIEWED BY:	RGK
COMMISSION NUMBER:	021043	DATE:	2021-10-18

A101

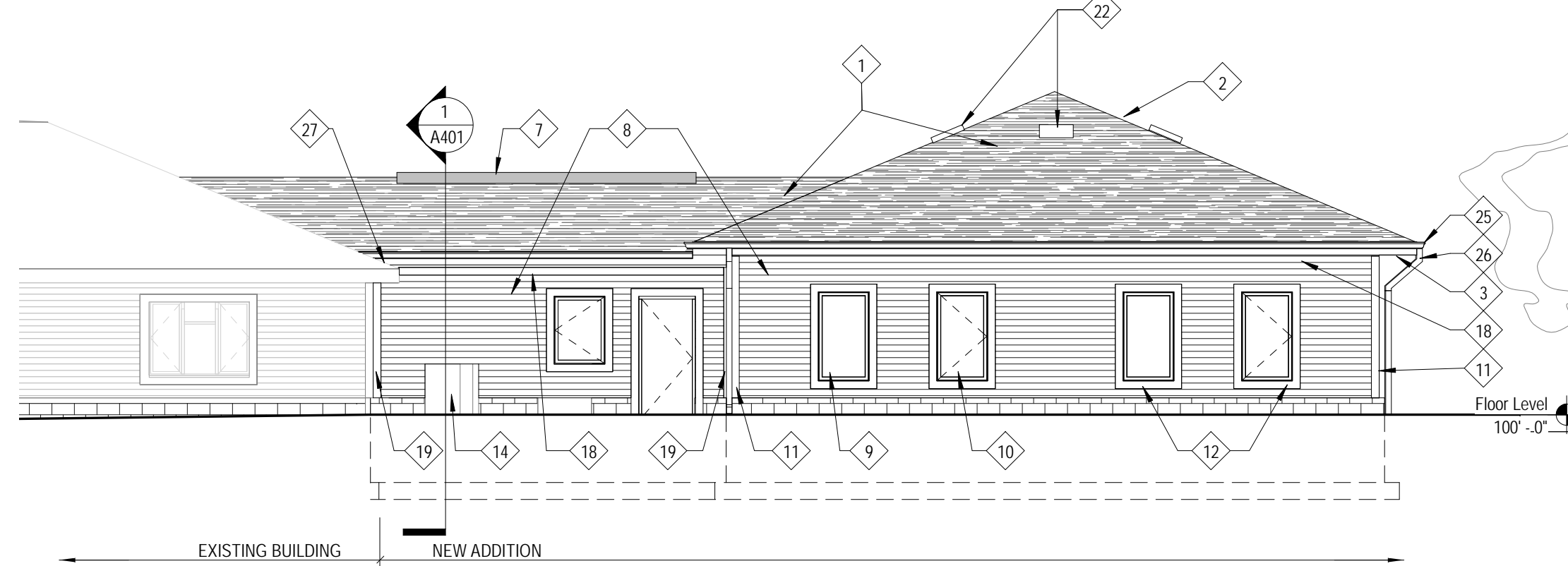
FLOOR PLAN



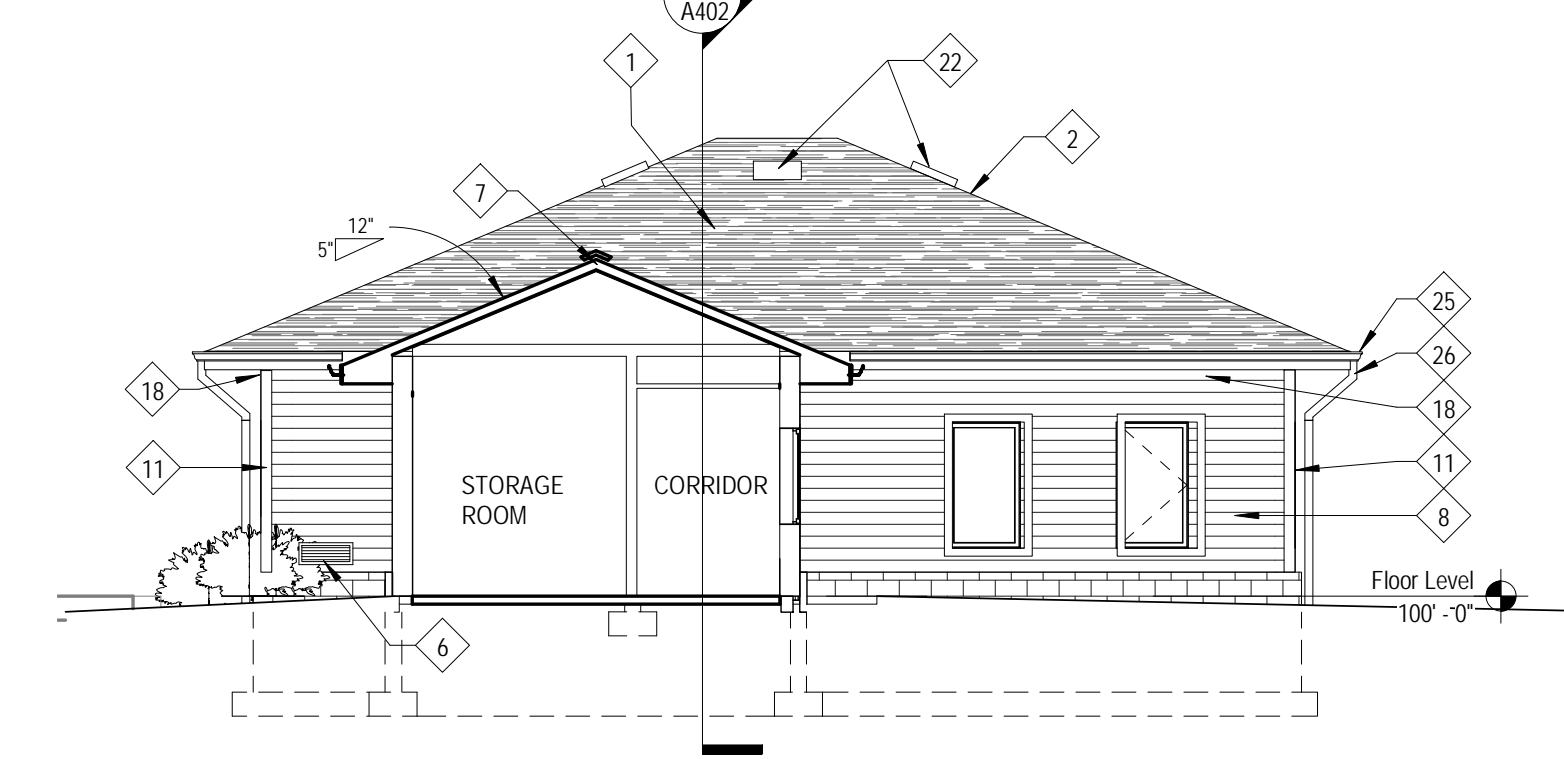
5 North - Existing
1/8" = 1'-0"



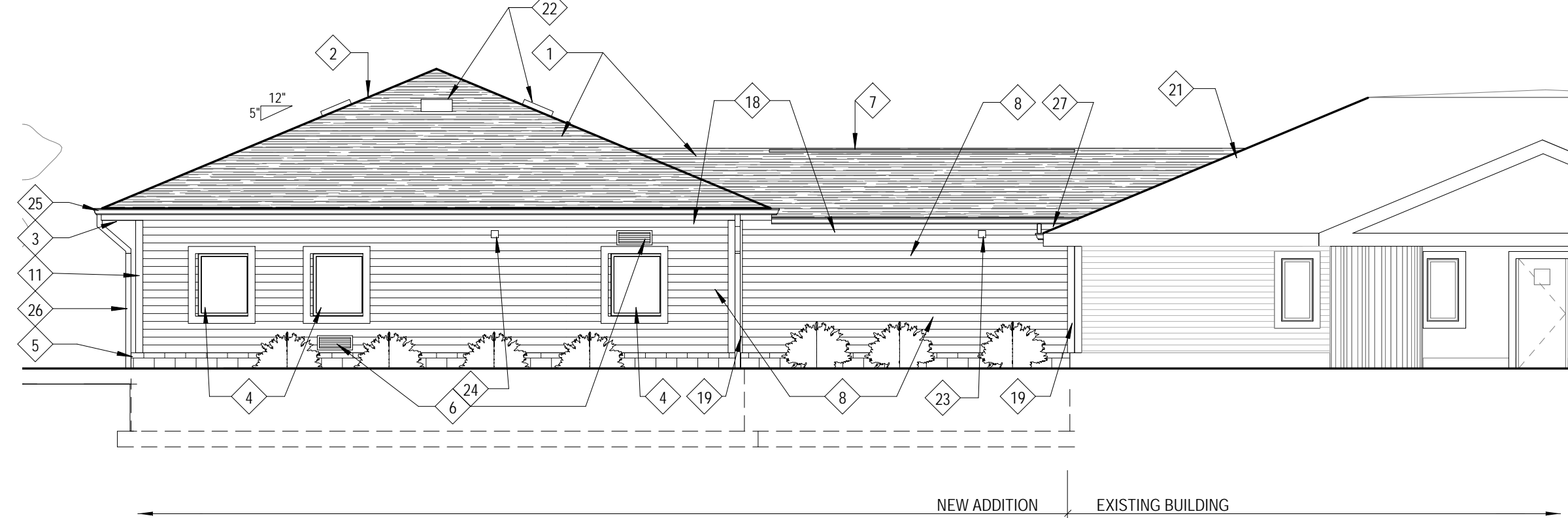
4 North
1/8" = 1'-0"



3 East
1/8" = 1'-0"



2 South
1/8" = 1'-0"



1 West
1/8" = 1'-0"

General Notes

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5. CONTRACTOR TO PROVIDE EITHER 2x WOOD BLOCKING INFILL OR METAL BACKING PLATES FOR THE SUPPORT OF ALL WALL MOUNTED EQUIPMENT INCLUDING CABINETS, TOILET ACCESSORIES, ETC. AS REQUIRED TO ALLOW FOR PROPER ATTACHMENT. CONTRACTOR TO FIELD VERIFY THE SCOPE OF WORK.

Work Description Notes:

1. DIMENSIONAL SHINGLES TO MATCH EXISTING
2. SHINGLED HIP RIDGE
3. PREFINISHED ALUMINUM FASCIA & SOFFIT PANELS
4. FEMA TORNADO RATED WINDOW
5. CONC. BRICK LOW BELT COURSE TO MATCH EXISTING HEIGHT ABOVE GRADE
6. PREFINISHED ALUMINUM LOUVER, 8"x24"
7. RIDGE VENT
8. VINYL SIDING W/ 4 1/2" EXPOSURE
9. FIXED WINDOW
10. OPERABLE WINDOW
11. VINYL CORNER TRIM 5"
12. VINYL TRIM (5") AROUND ALL WINDOWS, DOORS
13. FEMA TORNADO RATED DOOR
14. EXISTING AC CONDENSERS
15. EXISTING EXTERIOR DOOR TO BE REPLACED WITH NEW INTERIOR DOOR
16. EXISTING WINDOW TO BE REMOVED AND WALL OPENING INFILLED. PATCH INTERIOR TO MATCH EXISTING WALL SURFACE. PATCH EXTERIOR SHEATHING TO MATCH. INFILL FIBERGLASS INSULATION & VAPOR RETARDER
17. EXISTING SIDING / ROOFING TO BE REMOVED IN CORRIDOR PROFILE
18. 5" CONTINUOUS VINYL TRIM UNDER SOFFIT
19. 5" INSIDE CORNER VINYL TRIM
20. NEW 5" VINYL TRIM AT TRIMMED BACK VINYL SIDING
21. NEW MATCHING DIMENSIONAL SHINGLES PATCHED IN BLENDING WITH EXISTING SHINGLES
22. PREFINISHED RECTANGULAR ROOF VENT
23. DRYER VENT CAP
24. TOILET ROOM EXHAUST VENT CAP
25. CONTINUOUS PREFINISHED ALUM K STYLE GUTTER TO MATCH EXISTING GUTTER COLOR. ADD LEAF SCREEN TO ALL NEW GUTTER.
26. PREFINISHED ALUM DOWNSPOUTS
27. PREFINISHED ALUMINUM FASCIA COVER OVER STEP FLASHING WHERE FASCIA MEETS SHINGLES

New Construction and Renovation Work for:
Child Care Center Building Addition

1478 Midway Road
Menasha, WI 54952



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REVISION: _____ DATE: _____

DRAWN BY: Author
COMMISSION NUMBER: O21043
REVIEWED BY: _____
CHECKER DATE: 2021-10-18

A200

BUILDING ELEVATIONS



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General Electrical Notes

- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES & AMENDMENTS.
- SEE SPECIFICATION BOOK FOR ADDITIONAL REQUIREMENTS.
- PROVIDE EVERYTHING NECESSARY TO MAKE REQUIRED SYSTEMS AND FEATURES COMPLETE AND FUNCTIONAL INCLUDING BUT NOT LIMITED TO: FITTINGS, ADAPTERS, WIRE, BOXES, RACEWAY, HARDWARE, TEMPORARY CONNECTIONS AND SUPPORTS.
- DRAWING ORGANIZATION IS NOT TRADE SPECIFIC AND IS NOT INTENDED FOR DIVISION OF WORK AMONG SUBCONTRACTORS. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROPERLY DISSEMINATE WORK ON ALL SHEETS AND COORDINATE WITH EVERY SUBCONTRACTOR IN ORDER TO PROVIDE A COMPLETE PROJECT.
- ELECTRICAL DRAWINGS ARE SCHEMATIC IN NATURE. ALL DEVICES AND EQUIPMENT ARE SHOWN IN APPROXIMATE LOCATIONS. CONTRACTORS TO COORDINATE THEIR WORK WITH ALL OTHER TRADES ON SITE. EXTRAS WILL NOT BE GIVEN FOR FORESEEABLE WORK COORDINATION.
- PROTECT ALL EQUIPMENT AND FINISHES, NEW AND EXISTING, FROM DUST DEBRIS AND DAMAGE. FINAL CLEAN-UP SHALL BE PERFORMED TO PROVIDE A CLEAN, DUST FREE ENVIRONMENT TO THE OWNER.
- EXCEPT WHERE NOTED OTHERWISE, SIZE BRANCH CIRCUIT CONDUCTORS WITHIN THE FOLLOWING MAXIMUM LENGTH LIMITS: (MEASURE TO THE CENTER OF THE LOAD FOR LIGHTING AND MOST REMOTE OUTLET FOR RECEPTACLE CIRCUITS). MINIMUM CONDUCTOR SIZE FOR 120V 20A CIRCUIT: #12; #11, 110 FEET - #10, 165 FEET - #8, 270 FEET - #6
- PROVIDE ADDITIONAL DERATING PER NEC SECTION 310 FOR ALL HOME RUNS WITH MORE THAN THREE CURRENT CARRYING CONDUCTORS IN A SINGLE RACEWAY.
- SHARING OF NEUTRALS SHALL NOT BE PERMITTED.
- PROVIDE BACKBOX AND 3/4" CONDUIT TO ATTIC WITH PULL WIRE FOR ALL TELEPHONE/DATA/AUDIO OUTLETS.

Electrical Legend

SEE TITLE SHEET FOR ADDITIONAL SYMBOLS AND ABBREVIATIONS. SYMBOLS IN THIS LIST ARE NOT DRAWN TO SCALE. SYMBOLS IN THIS LIST, MAY NOT APPLY TO THIS PROJECT HEIGHTS LISTED HERE APPLY UNLESS NOTED OTHERWISE HEIGHTS ARE TO THE BOTTOM OF THE DEVICE COMPONENTS SHOWN IN GRAY ARE EXISTING OR SPECIFIED IN OTHER VIEWS.

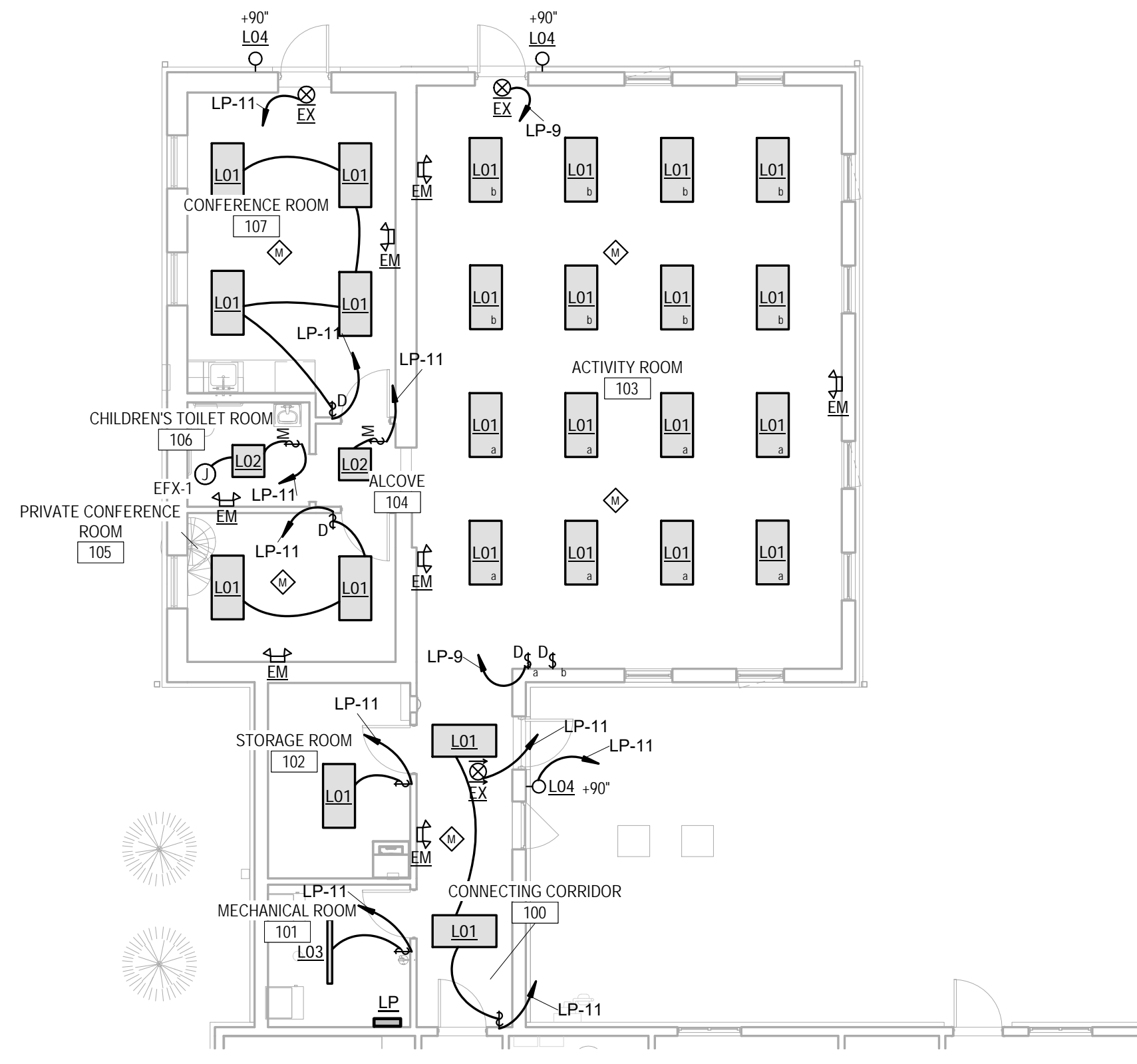
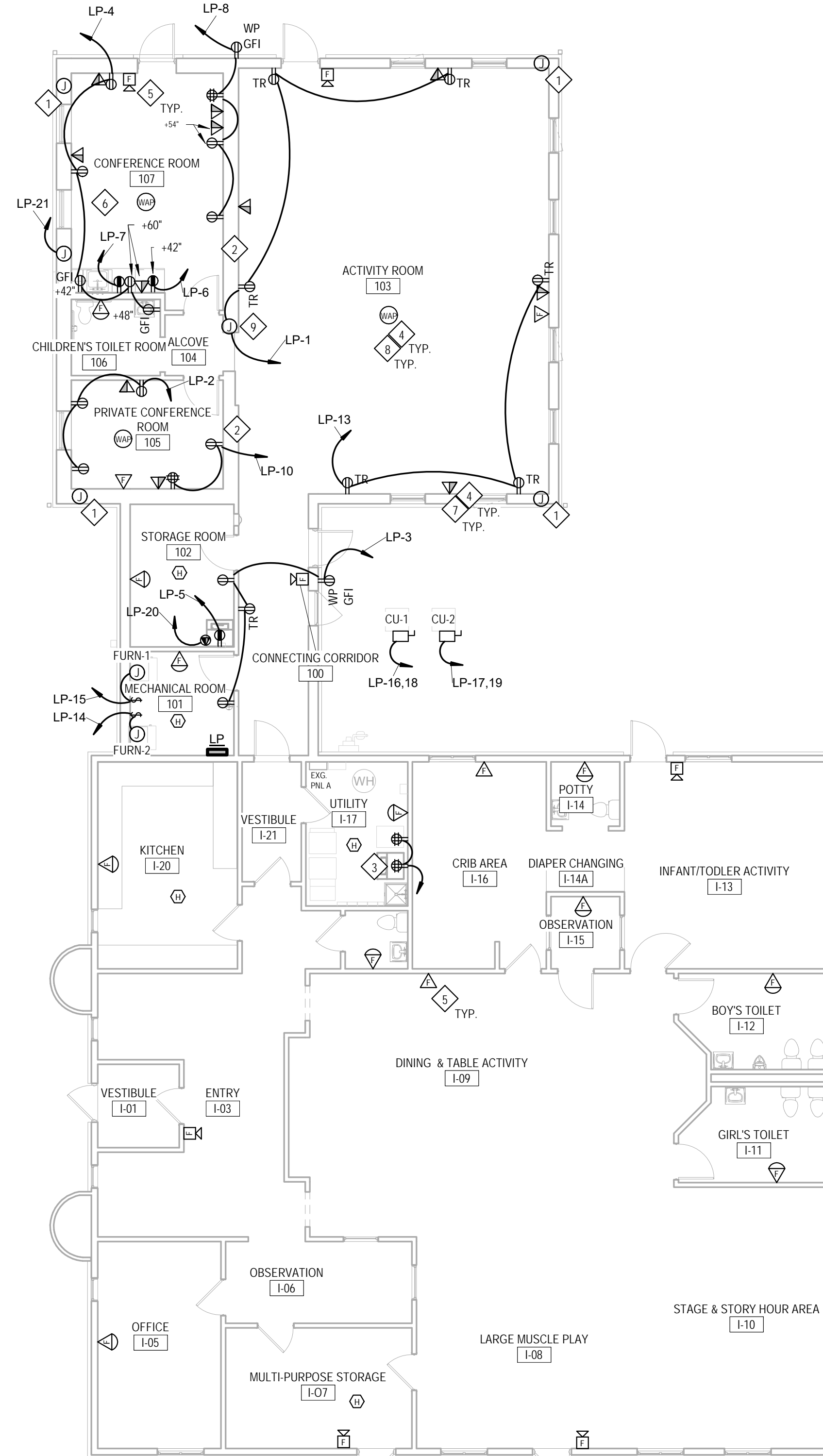
- ◇ HOME RUN TO PANEL & CIRCUIT NO.
- XX MARK FOR SCHEDULED ITEM
- LIGHT FIXTURE: CEILING MOUNTED
- LIGHT FIXTURE: WALL MOUNTED.
- ⚡ EMERGENCY LIGHT WALL PACK.
- ⚡ SINGLE POLE SWITCH: +44" AFF
- ⚡ THREE-WAY SWITCH: +44" AFF
- ⚡ MOTION DETECTOR SWITCH: +44" AFF
- ⚡ OCCUPANCY SENSOR - CEILING MOUNTED
- ⚡ EXIT LIGHT: CEILING MOUNTED: NO DIRECTION
- ⚡ EXIT LIGHT: CEILING MOUNTED: DIRECTIONAL
- ▬ PANEL BOARD (SURFACE MOUNT): +72" AFF
- ⚡ SAFETY DISCONNECT SWITCH: NON FUSED, +66" AFF TO TOP
- XX XX DENOTES AMPERE RATING
- ⊕ DUPLEX RECEPTACLE: +16" AFF
- ⊕⊕ DOUBLE DUPLEX RECEPTACLE: +16" AFF
- ⊕⊕⊕ TAMPER-RESISTANT RECEPTACLE: +16" AFF
- ⊕ DEDICATED RECEPTACLE: +16" AFF
- ⊕ JUNCTION BOX
- ⊕ TELEPHONE/DATA OUTLET: 2 PORTS +16"
- ⚡ FIRE ALARM HORN/STROBE +80" AFF
- ⚡ FIRE ALARM STROBE +80" AFF
- ⊕ MANUAL PULL STATION
- ⊕ MANUAL PULL STATION WITH HORN/LIGHT
- ⊕ HEAT DETECTOR
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE & CARBON MONOXIDE DETECTOR
- ⊕ WIRELESS ACCESS POINT - CEILING MOUNTED

Work Description Notes

- JUNCTION BOX, BLANK COVERPLATE, AND CONDUIT W/ PULLSTRING TO ACCESS THE INSIDE FOR FUTURE SECURITY CAMERAS.
- ALL POWER/DATA CONDUIT PENETRATIONS TO THE INSIDE OF STORM/HELTER WALL TO HAVE REQUIRED FIRE-RATED FIBER STOPPING FIRE CALK CONFIRM HEIGHT AND LOCATION OF PENETRATIONS WITH OWNER/ARCHITECT.
- DATA CABINET TO BE LOCATED IN RELOCATED WASHER/DRYER LOCATION. PROVIDE (2) 2" CONDUITS ABOVE CEILING TO EXTERIOR FOR INCOMING FIBER. COORDINATE LOCATION WITH OWNER/ARCHITECT. WASHER DRYER DEVICE AND WIRING TO BE REMOVED. PROVIDE NEW POWER FOR DATA CABINET. CONFIRM LOCATION WITH OWNER/ARCHITECT.
- FOR EACH DATA RECEPTACLE AND ACCESS POINT, E.C. IS TO PROVIDE JUNCTION BOX, CONDUIT, AND CAT6 CABLES BACK TO DATA CABINET LOCATED IN I-17 UTILITY RM.
- WIRE FIRE ALARM DEVICES TO OPERATE/COMMUNICATE WITH EXISTING NOTIFIER NFS-3030 SYSTEM LOCATED IN MAIN BUILDING. FIRE ALARM CABLE TO BE CONCEALED IN WALL OR CEILING. ALL EXPOSED CABLE TO BE IN ELECTRICAL WIREWAY.
- SEE DETAIL 9/E101 FOR TV WALLBOX.
- SEE 6/E101 FOR DATA RECEPTACLE DETAIL.
- SEE 7/E101 FOR WIRELESS ACCESS POINT JUNCTION DETAIL.
- PROVIDE POWER TO ABOVE DOOR FRAME FOR DOOR CLOSE OPERATOR.
- EXISTING INCOMING FIBER DATA LINE. INCLUDING BACKBONE CABLE TO BE ROUTED TO UTILITY RM. I-17. REFER TO SHEET C-200 FOR FIBER ROUTING FROM EXISTING MAIN BUILDING.

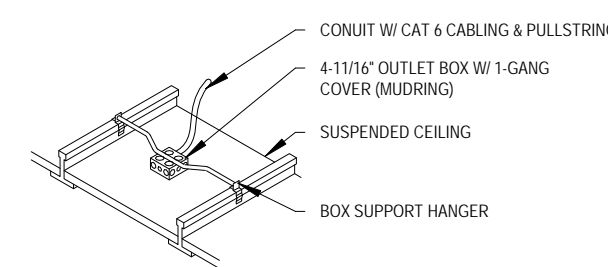
LIGHTING FIXTURE SCHEDULE								
TAG	MFG	MODEL	DESCRIPTION	MAX WATTS	MOUNTED	NOTES	ACCEPTABLE MFG/MODEL	ACCEPTABLE MFG/MODEL
EM	LITHONIA LIGHTING	EUZC	LED EMERGENCY LIGHT	3	WALL		HUBBELL	COOPER
EX	LITHONIA LIGHTING	ECR LED HO RO M6	LED EXT SIGN	5	CEILING/WALL		HUBBELL	COOPER
L01	LITHONIA LIGHTING	2BLT4 48L AD5M MVOLT E21 LP835	2X4 LED TROFFER	38	CEILING		HUBBELL	COOPER
L02	LITHONIA LIGHTING	2BLT2 48L AD5M MVOLT E21 LP835	2X2 LED TROFFER	22	CEILING		HUBBELL	COOPER
L03	LITHONIA LIGHTING	CSS L48 4000LM MVOLT 40K 80CRI	4FT LED STRIP FIXTURE	35	CEILING/SUSPENDED		HUBBELL	COOPER
L04	LITHONIA LIGHTING	WPX1 LED P1 40K MVOLT 4AWC PE DDBXD	LED WALLPACK	11	WALL		HUBBELL	COOPER

PANEL: LP											
AMPS 100 A	PHASE 1	WIRE 3	VOLTAGE 120/240	MOUNTING SURFACE	MAIN 100 A MLO	REMARKS: NEMA 1, BOLT ON BREAKERS, 10KAIC					
DESCRIPTION	Circuit Number	TRIP	POLE	PHASE A (kVA)	PHASE B (kVA)	PHASE C (kVA)	POLE	TRIP	Circuit Number	DESCRIPTION	
RECEPTS	LP-1	20 A	1	0.54	0.54		1	20 A	LP-2	RECEPTS	
RECEPTS	LP-3	20 A	1		0.72	0.90		1	20 A	LP-4	RECEPTS
WASHER	LP-5	20 A	1	1.00	1.00		1	20 A	LP-6	MICROWAVE	
REFRIGERATOR	LP-7	20 A	1		1.00	0.72		1	20 A	LP-8	CONF. RECEPTS
LIGHTS	LP-9	20 A	1	0.63	0.36		1	20 A	LP-10	RECEPTS	
LIGHTS	LP-11	20 A	1	0.47	0.36		1	20 A	LP-12	Power	
RECEPTS	LP-13	20 A	1	0.54	0.00		1	20 A	LP-14	FURN-2	
FURN-1	LP-15	20 A	1	0.00	2.25		2	30 A	LP-16	CU-1	
CU-2	LP-17	30 A	2	2.25	2.25		-	-	LP-18	-	
EMERGENCY EXHAUST	LP-19	-	-		2.25	1.00	1	30 A	LP-20	DRYER	
	LP-21								LP-22		
	LP-23								LP-24		
	LP-25								LP-26		
	LP-27								LP-28		
	LP-29								LP-30		
	LP-31								LP-32		
	LP-33								LP-34		
	LP-35								LP-36		
	LP-37								LP-38		
	LP-39								LP-40		
	LP-41								LP-42		

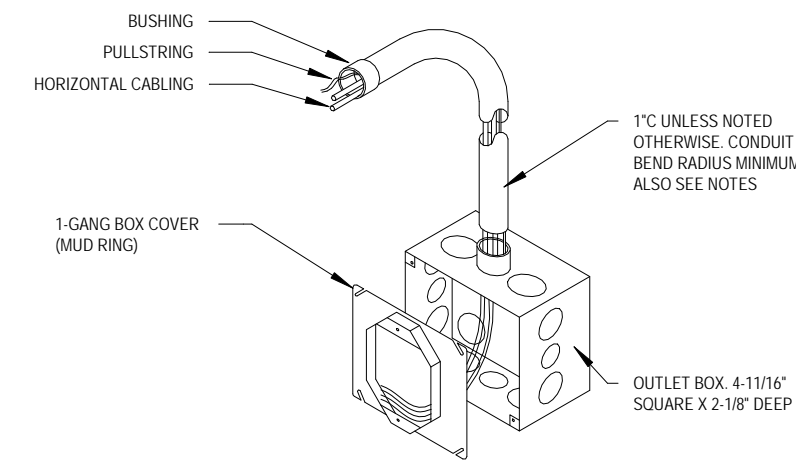


2 Lighting - First Floor
1/8" = 1'-0"

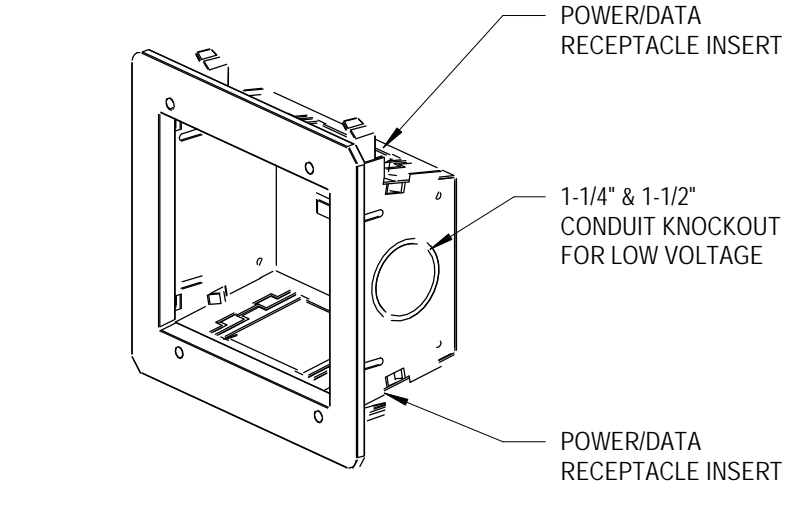
1 Power - First Floor
1/8" = 1'-0"



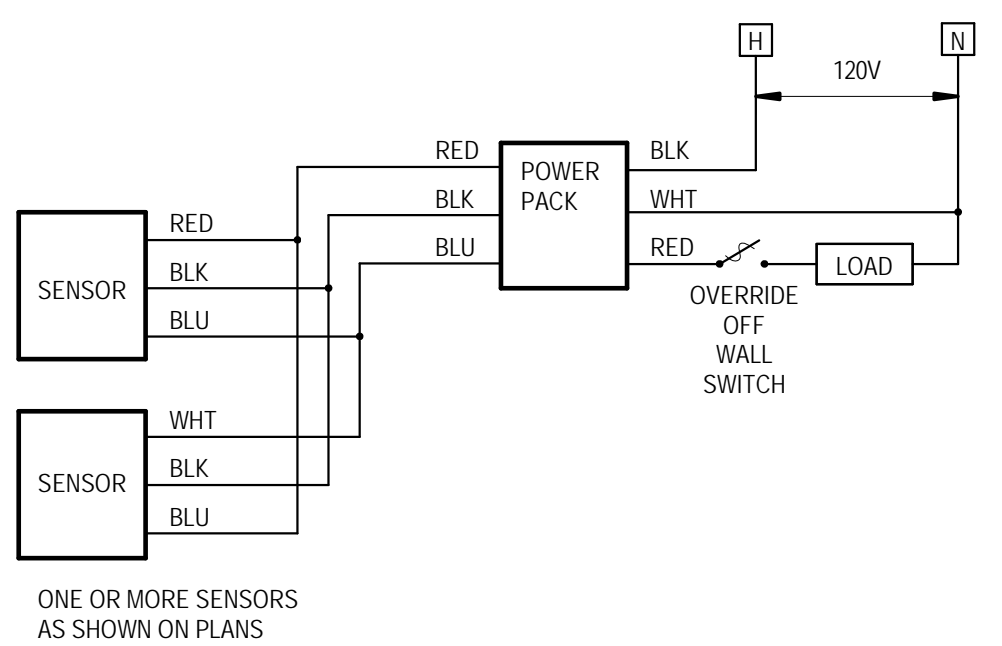
7 WAP Equipment Outlet
NTS



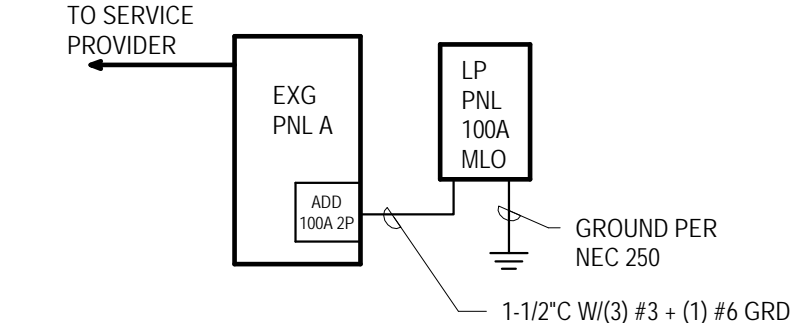
6 Data Receptacle Detail
NTS



5 TV Wallbox Detail
NTS



4 Occupancy Sensor Diagram
NTS



3 Electrical Riser Diagram
NTS

021043 - Child Care Center Building
11/15/2021 11:19:07 AM
C:\Users\krominski\Documents\021043 UWOSH Fox Cities Child Care Addition - MEP - krominski\main\mri-ley.com.rvt
Project Status

REVISION: _____ DATE: _____

DRAWN BY: VRK REVIEWED BY: RPS
COMMISSION NUMBER: 021043 DATE: 2021-10-18

E101

ELECTRICAL PLANS



MEMORANDUM

To: Plan Commission
From: Community Development Department/SS
Date: December 7, 2021
**Re: Certified Survey Map Lot Consolidation – 1737 Racine Road and 1800 Bud Drive –
Parcels 4-00762-02, 4-00761-05 and 4-00761-06**

Over this past fall Miron has submitted plans to construct a new building, expand the yard and expand another building on the premise. Due to one of the buildings being proposed crossing a property line, a condition was added that the site had to be combined via a certified survey map (CSM) prior to the issuance of permits.

Attached is a CSM to consolidate three property along Racine Road and south of Bud Drive including parcels 4-00762-02, 4-00761-05 and 4-00761-06.

All of these properties are currently zoned I-1 Heavy Industrial. There are multiple uses on the property all falling under the umbrella of Miron's yard including indoor and outdoor storage, crane shop and overall maintenance. The proposed CSM is consistent with the City of Menasha Comprehensive Plan.

Staff Recommendation

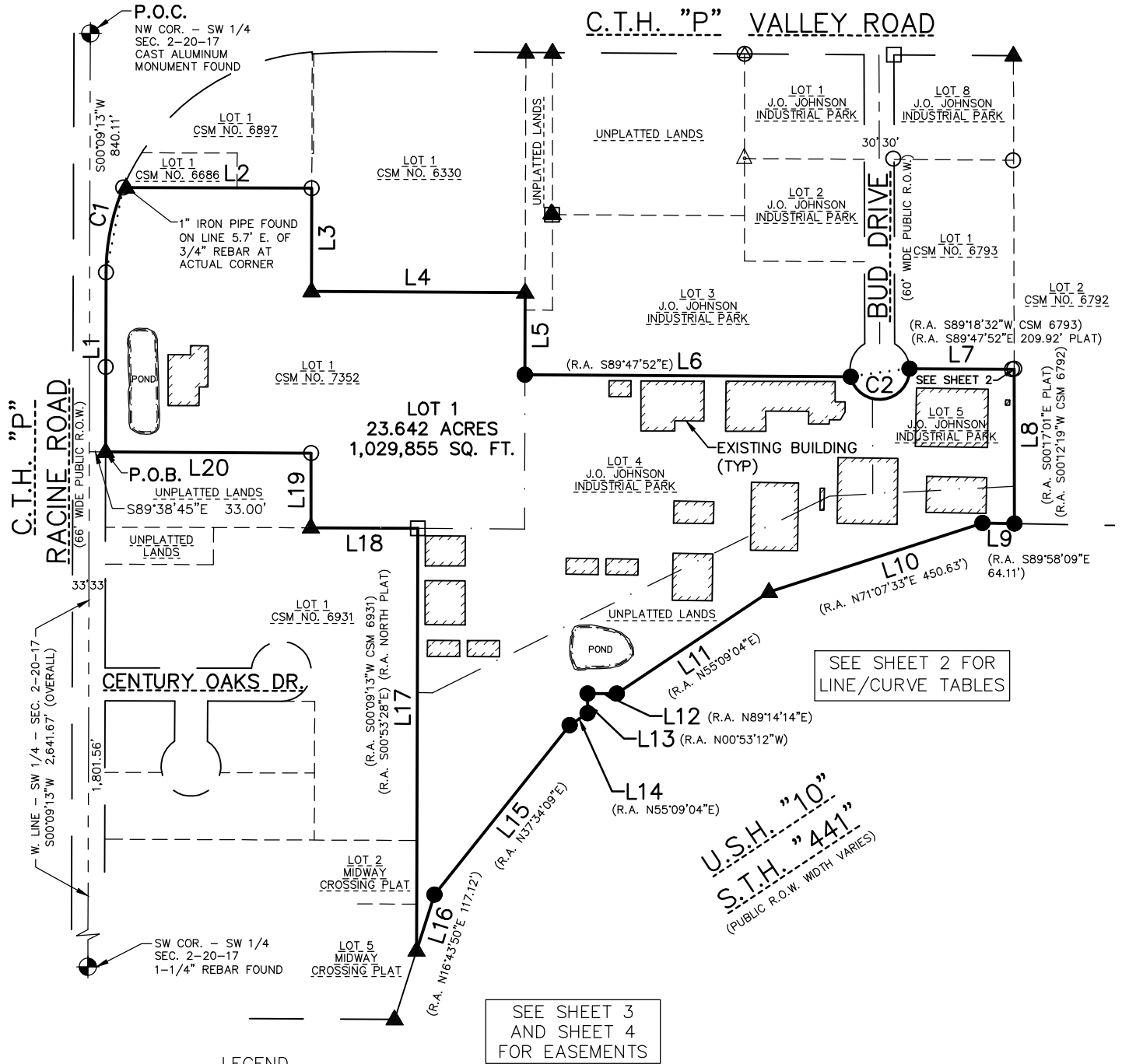
Staff recommends the Plan Commission approve the Certified Survey Map as proposed consolidating parcel 4-00762-02, 4-00761-05 and 4-00761-06 finding the survey cleans up property boundaries and is consistent with the comprehensive plan.

CERTIFIED SURVEY MAP NO.

FOR

SUNSHINE REAL ESTATE, LLP

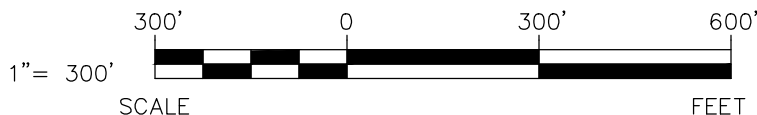
LOT 1, CSM NO. 7352, LOT 4 AND LOT 5, J.O. JOHNSON INDUSTRIAL PARK & PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4, ALL BEING LOCATED IN PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4 OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- ▲ - 1" IRON PIPE FOUND
- - 3/4" REBAR FOUND
- ⊙ - 1" REBAR FOUND
- - 1-1/4" REBAR FOUND
- △ - T-POST FOUND
- ⊗ - SECTION CORNER MONUMENT FOUND

NORTH POINT REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, WINNEBAGO COUNTY. THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 2 HAS A BEARING OF SOUTH 00°-09'-13" WEST.



OWNER:
SUNSHINE REAL ESTATE, LLP
1471 MCMAHON DRIVE
NEENAH, WI 54956

SHEET 1 OF 6 SHEETS



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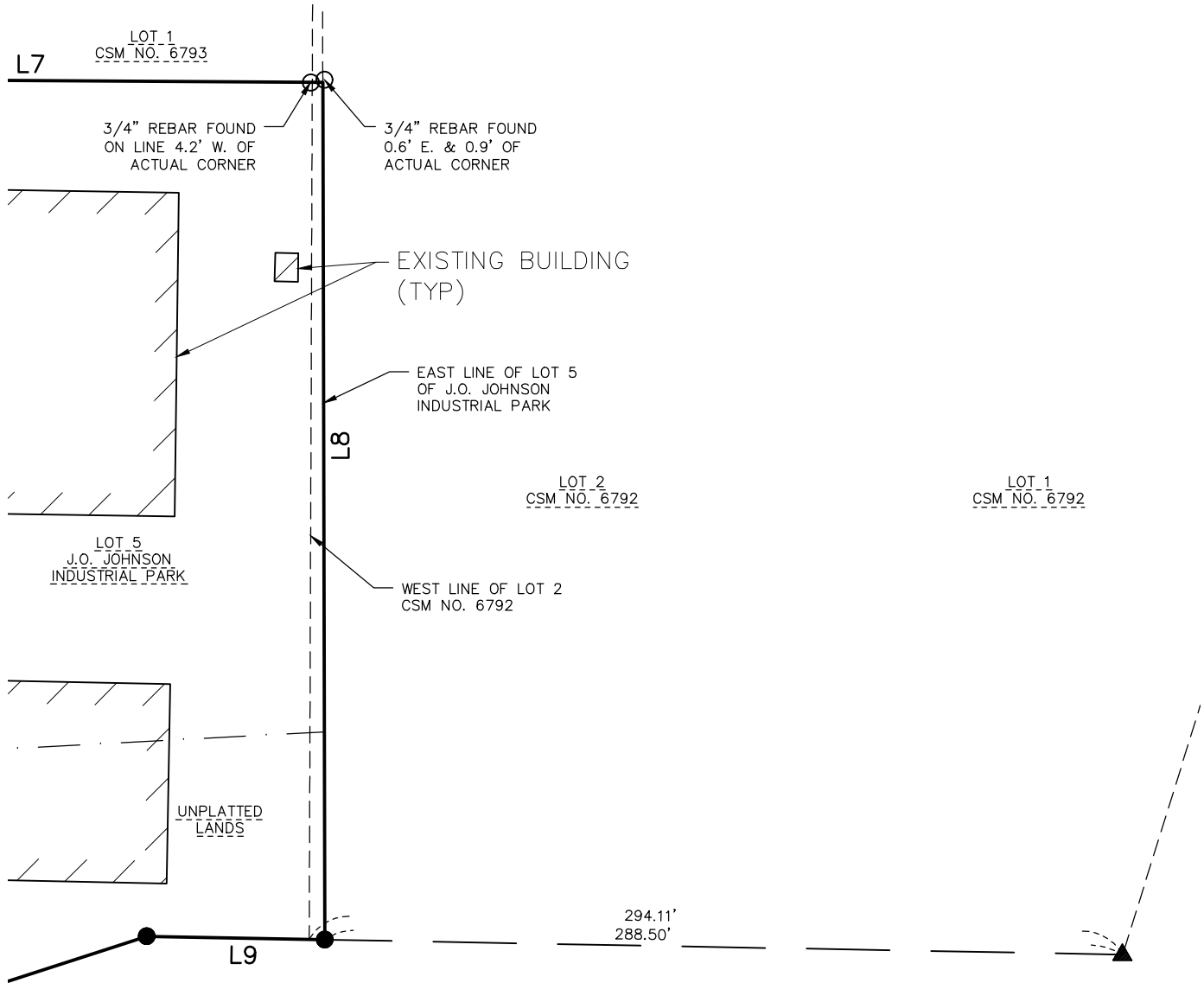
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Phone: (920) 926-9800
www.EXCELENGINEER.com
JOB NO. 2058100

CERTIFIED SURVEY MAP NO.

FOR

SUNSHINE REAL ESTATE, LLP

LOT 1, CSM NO. 7352, LOT 4 AND LOT 5, J.O. JOHNSON INDUSTRIAL PARK & PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4, ALL BEING LOCATED IN PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4 OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



Curve Table							
Curve	Length	Radius	Chord Bearing	Chord Length	Delta	Tangent	Tangent
C1	175.19'	445.30'	N11°25'26"E	174.06'	022°32'28"	N22°41'40"E	N00°09'12"E
C2	175.77'	60.00'	N82°09'42"E	119.33'	167°51'06"	S13°54'45"E	N01°45'50"W

Line Table		
Line #	Direction	Length
L1	N00°09'13"E	360.14'
L2	S89°48'40"E	378.48'
L3	S00°09'15"W	207.05'
L4	S89°38'45"E	429.00'
L5	S00°09'15"W	164.99'
L6	S89°38'37"E	654.12'
L7	S89°38'37"E	209.91'
L8	S00°07'46"E	309.85'
L9	N88°55'51"W	64.39'
L10	S72°05'51"W	450.48'

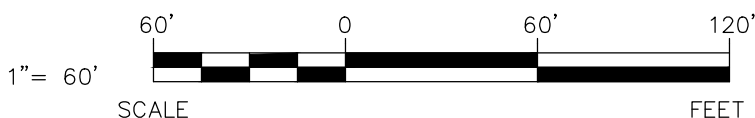
Line Table		
Line #	Direction	Length
L11	S56°12'42"W	367.42'
L12	N89°43'02"W	58.55'
L13	S00°08'09"W	39.56'
L14	S56°10'25"W	43.20'
L15	S38°35'30"W	435.35'
L16	S17°45'05"W	118.25'
L17	N00°09'14"E	848.09'
L18	N89°38'45"W	214.50'
L19	N00°09'15"E	150.00'
L20	N89°38'45"W	412.50'

LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- ▲ - 1" IRON PIPE FOUND
- - 3/4" REBAR FOUND

OWNER:
SUNSHINE REAL ESTATE, LLP
1471 MCMAHON DRIVE
NEENAH, WI 54956

SHEET 2 OF 6 SHEETS





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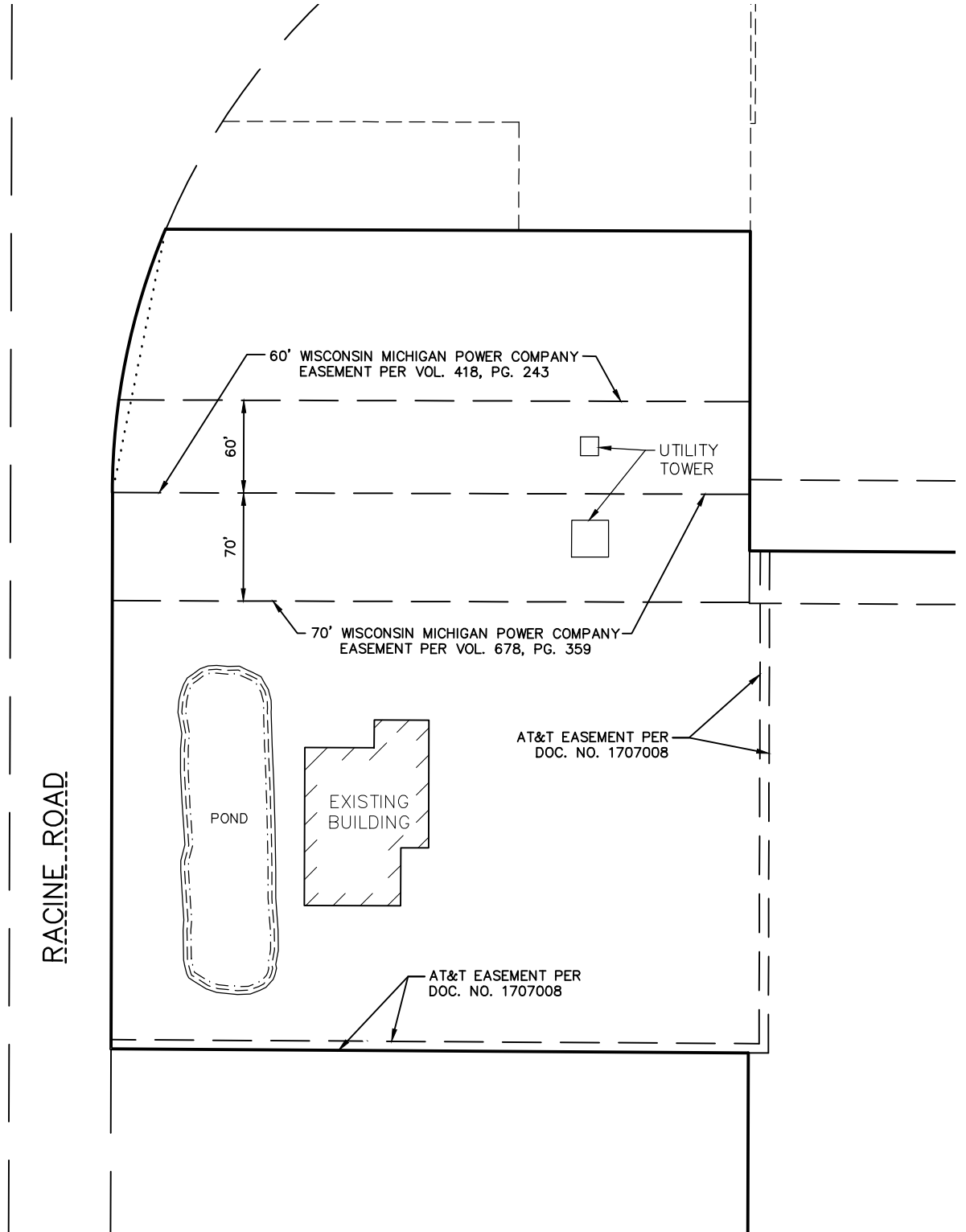
100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
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CERTIFIED SURVEY MAP NO.

FOR

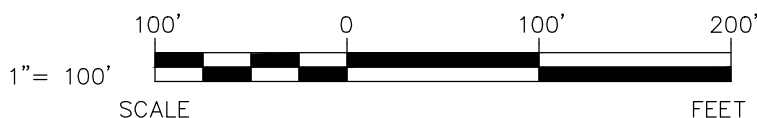
SUNSHINE REAL ESTATE, LLP

LOT 1, CSM NO. 7352, LOT 4 AND LOT 5, J.O. JOHNSON INDUSTRIAL PARK & PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4, ALL BEING LOCATED IN PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4 OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



OWNER:
SUNSHINE REAL ESTATE, LLP
1471 MCMAHON DRIVE
NEENAH, WI 54956

SHEET 3 OF 6 SHEETS



EXCEL
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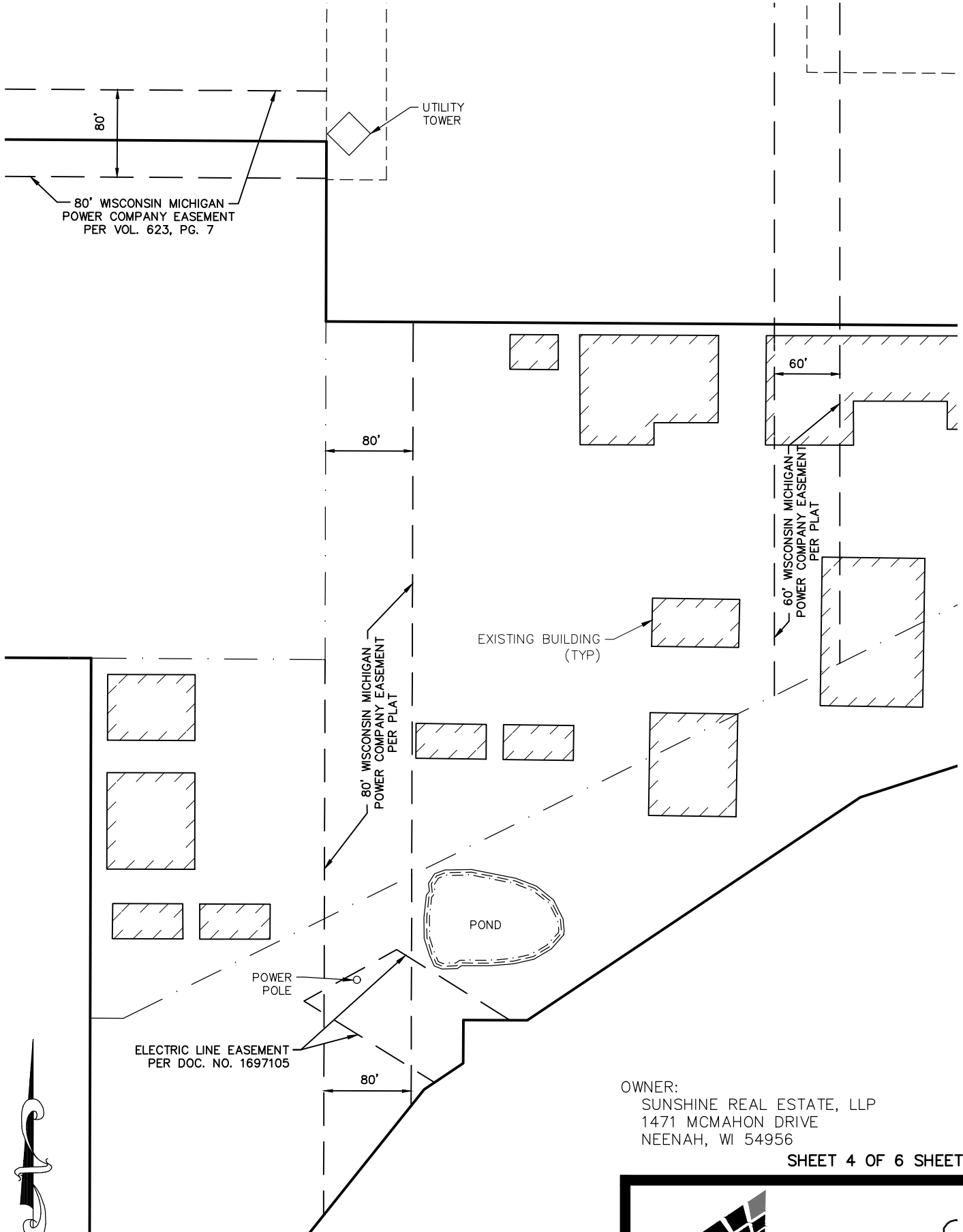
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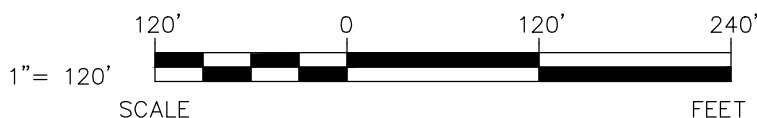
SUNSHINE REAL ESTATE, LLP

LOT 1, CSM NO. 7352, LOT 4 AND LOT 5, J.O. JOHNSON INDUSTRIAL PARK & PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4, ALL BEING LOCATED IN PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4 OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



OWNER:
SUNSHINE REAL ESTATE, LLP
1471 MCMAHON DRIVE
NEENAH, WI 54956

SHEET 4 OF 6 SHEETS



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CERTIFIED SURVEY MAP NO. _____

LOT 1, CSM NO. 7352, LOT 4 AND LOT 5, J.O. JOHNSON INDUSTRIAL PARK & PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4, ALL BEING LOCATED IN PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4 OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Sunshine Real Estate, LLP bounded and described as follows:

Lot 1 of Certified Survey Map No. 7352, recorded in the Winnebago County Register of Deeds Office as Document No. 1764595, Lot 4 and Lot 5 of J.O. Johnson Industrial Park Plat, recorded in the Winnebago County Register of Deeds Office as Document No. 556321 and part of the Northwest 1/4, Northeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 2, all being located in part of the Northwest 1/4, Northeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 2, Township 20 North, Range 17 East, City of Menasha, Winnebago County, Wisconsin being more particularly described as follows:

Commencing at the Northwest corner of the Southwest 1/4 of said Section 2; thence South 00°-09'-13" West along the West line of said Southwest 1/4, a distance of 840.11 feet; thence South 89°-38'-45" East, a distance of 33.00 feet to the Easterly right-of-way line of Racine Road, said point being the point of beginning; thence North 00°-09'-13" East along said Easterly right-of-way line, a distance of 360.14 feet; thence Northeasterly 175.19 feet along said Easterly right-of-way line on a curve to the right having a radius of 445.30 feet, the chord of said curve bears North 11°-25'-26" East, a chord distance of 174.06 feet to the Northwest corner of said Lot 1; thence South 89°-48'-40" East along a North line of said Lot 1, a distance of 378.48 feet; thence South 00°-09'-15" West along a Northerly line of said Lot 1, a distance of 207.05 feet; thence South 89°-38'-45" East along a North line of said Lot 1, a distance of 429.00 feet to the Northeast corner of said Lot 1; thence South 00°-09'-15" West along the East line of said Lot 1, a distance of 164.99 feet to the North line of said Lot 4; thence South 89°-38'-37" East along said North line, a distance of 654.12 feet to the South right-of-way line of Bud Drive; thence Northeasterly 175.77 feet along said South line on a curve to the left having a radius of 60.00 feet, the chord of said curve bears North 82°-09'-42" East, a chord distance of 119.33 feet; thence South 89°-38'-37" East along the North line of said Lot 5, a distance of 209.91 feet to the Northeast corner of said Lot 5; thence South 00°-07'-46" East along the East line of said Lot 5, a distance of 309.85 feet to the Northerly right-of-way line of U.S.H. "10" / S.T.H. "441"; thence North 88°-55'-51" West along said Northerly line, a distance of 64.39 feet; thence South 72°-05'-51" West along said Northerly line, a distance of 450.48 feet; thence South 56°-12'-42" West along said Northerly line, a distance of 367.42 feet; thence North 89°-43'-02" West along said Northerly line, a distance of 58.55 feet; thence South 00°-08'-09" West along said Northerly line, a distance of 39.56 feet; thence South 56°-10'-25" West along said Northerly line, a distance of 43.20 feet; thence South 38°-35'-30" West along said Northerly line, a distance of 435.35 feet; thence South 17°-45'-05" West along said Northerly line, a distance of 118.25 feet; thence North 00°-09'-14" East along the Southerly extension of the West line of said Lot 4 and said West line, a distance of 848.09 feet to the South line of said Lot 1; thence North 89°-38'-45" West along said South line, a distance of 214.50 feet; thence North 00°-09'-15" East along a Southerly line of said Lot 1, a distance of 150.00 feet; thence North 89°-38'-45" West along a South line of said Lot 1, a distance of 412.50 feet to the point of beginning and containing 23.642 acres (1,029,855 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Menasha in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 2058100

CERTIFIED SURVEY MAP NO. _____

LOT 1, CSM NO. 7352, LOT 4 AND LOT 5, J.O. JOHNSON INDUSTRIAL PARK & PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4, ALL BEING LOCATED IN PART OF THE NW 1/4, NE 1/4 & SW 1/4 OF THE SW 1/4 OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

Sunshine Real Estate, LLP, a limited liability partnership duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner does hereby certify that said limited liability partnership caused the land described on this plat to be surveyed, divided and mapped as represented on this plat.

Sunshine Real Estate, LLP, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Menasha

WITNESS the hand and seal of said owner this _____ day of _____, 2021.

Sunshine Real Estate, LLP

(Print) _____, _____
(Title)

STATE OF WISCONSIN)
_____ COUNTY)SS

Personally came before me this _____ day of _____, 2021, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, _____
My Commission Expires: _____

COMMON COUNCIL RESOLUTION

Resolved by the Common Council of the City of Menasha, that this Certified Survey Map is hereby approved. Passed and approved by resolution number _____ this _____ day of _____, 2021.

Dated this _____ day of _____, 2021.

Mayor

City Clerk

TREASURER'S CERTIFICATE

I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands shown hereon.

City Treasurer Date

County Treasurer Date



MEMORANDUM

To: Plan Commission
From: Community Development Department/KH
Date: December 7, 2021
Re: **CSM Lot Division – Seventh Street (Parcel # 5-00491-00)**

Martenson & Eisele Inc., on behalf of Greater Fox Cities Area Habitat for Humanity, Inc., is requesting approval of a Certified Survey Map (CSM) that will divide an existing parcel on Seventh Street, Parcel No. 5-00491-00, into two separate parcels. The existing lot is located within the nine-hundred block of Seventh Street. The purpose of the request is to divide the existing parcel to create for two buildable residential lots.

The lot is currently zone R-3 Multi-Family, Medium Density Residence District allowing for single or multi-family dwellings. The existing lot is 15,116 ft². The two newly created lots will each be 7,558 ft², respectively.

The size, setbacks, and dimension requirements would meet city standards for the R-3 Multi-Family, Medium Density Residence District for both lots. Furthermore, the proposed CSM will not create any zoning nonconformities and is consistent with the City of Menasha Comprehensive Plan.

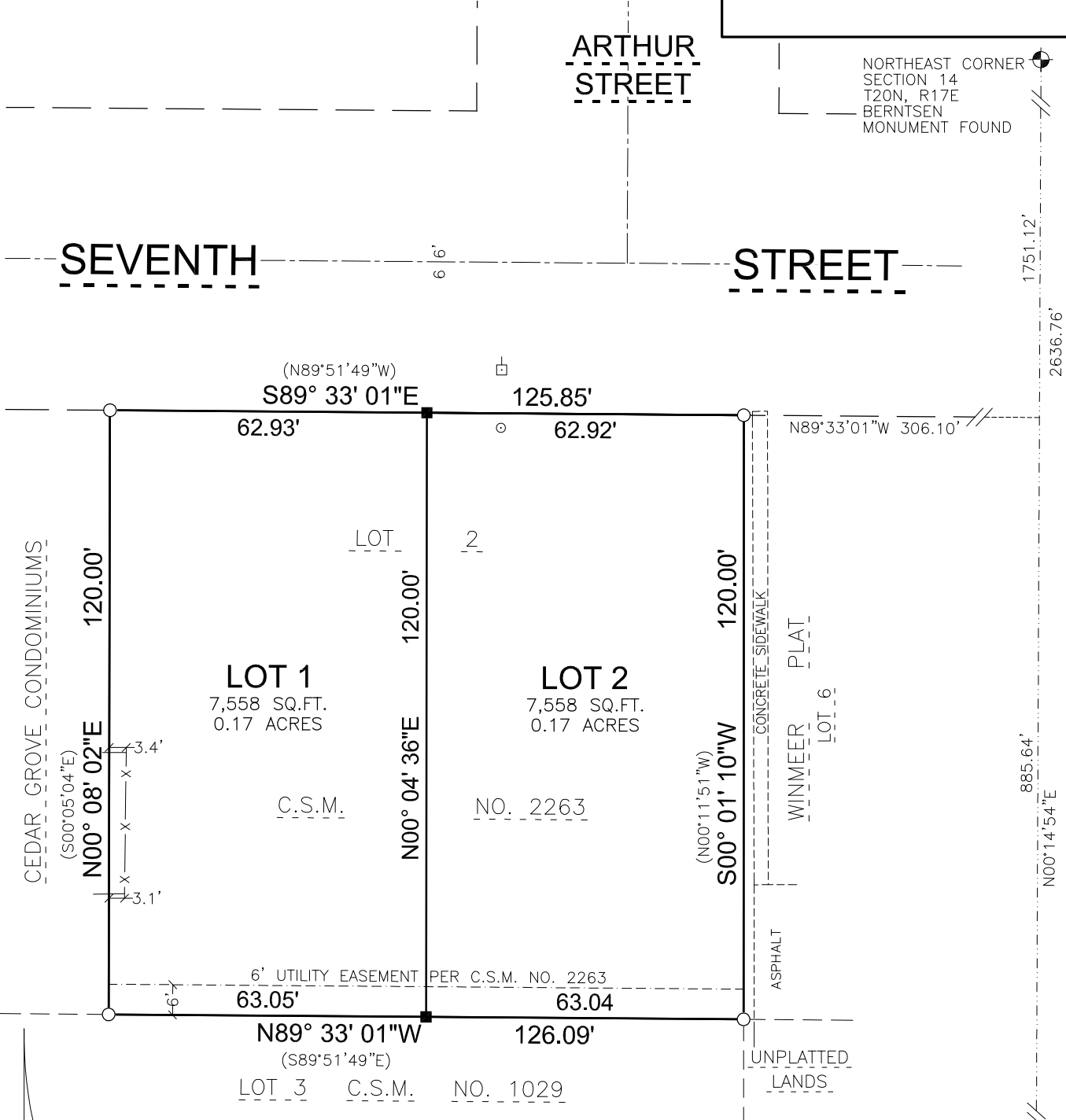


Staff Recommendation

Staff recommends the Plan Commission approve the Certified Survey Map as proposed dividing Parcel 5-00491-00 into two parcels.

CERTIFIED SURVEY MAP NO. _____

LOT 2 OF CERTIFIED SURVEY MAP NO. 2263, BEING PART OF LOT 4 AND ALL OF LOT 5, WINMEER PLAT; LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 14, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



NORTHEAST CORNER
SECTION 14
T20N, R17E
BERNTSEN
MONUMENT FOUND

SEVENTH

ARTHUR STREET

STREET

CEDAR GROVE CONDOMINIUMS

(S00°05'04"E)

N00°08'02"E

120.00'

3.4'

3.1'

6'

63.05'

N89°33'01"W

(S89°51'49"E)

126.09'

LOT 3 C.S.M. NO. 1029

6'

63.04'

S00°01'10"W

(N00°11'51"W)

120.00'

CONCRETE SIDEWALK

ASPHALT

UNPLATTED LANDS

WINMEER PLAT LOT 6

885.64'

N00°14'54"E

2636.76'

1751.12'

N89°33'01"W

306.10'

62.93'

(N89°51'49"W)

S89°33'01"E

125.85'

62.92'

LOT 2

7,558 SQ.FT. 0.17 ACRES

C.S.M. NO. 2263

LOT 1

7,558 SQ.FT. 0.17 ACRES

C.S.M.

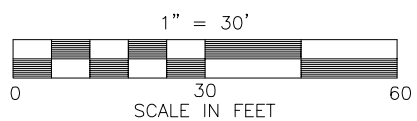
LOT 2

7,558 SQ.FT. 0.17 ACRES

C.S.M. NO. 2263



BEARINGS ARE REFERENCED TO THE WINNEBAGO COUNTY COORDINATE SYSTEM WHICH HAS THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 14, BEARING N 00°14'54" E



LEGEND

- 1" O.D. IRON PIPE SET, 18" LONG, WEIGHING 1.130 LBS. PER LIN. FOOT
- 3/4" REBAR FOUND
- ⊙ GOVERNMENT CORNER
- () PREVIOUSLY RECORDED AS
- ⊥ POWER POLE
- ⊙ GUY WIRE
- X— EXISTING FENCE

Martenson & Eisele, Inc.



1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381

Planning
Environmental
Surveying
Engineering
Architecture

SURVEY FOR:
HABITAT FOR HUMANITY
921 MIDWAY ROAD
MENASHA, WI 54952

PROJECT NO. 1-0046-035
FILE 1-0046-035csm.dwg SHEET 1 OF 3
THIS INSTRUMENT WAS DRAFTED BY: A.Sedlor

CERTIFIED SURVEY MAP NO. _____

LOT 2 OF CERTIFIED SURVEY MAP NO. 2263, BEING PART OF LOT 4 AND ALL OF LOT 5, WINMEER PLAT;
LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 14, TOWNSHIP 20 NORTH,
RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, GARY A. ZHRINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:
THAT I HAVE SURVEYED, DIVIDED AND MAPPED AT THE DIRECTION OF GREATER FOX CITIES AREA HABITAT
FOR HUMANITY, INC., LOT 2 OF CERTIFIED SURVEY MAP NO. 2263, BEING PART OF LOT 4 AND ALL OF
LOT 5, WINMEER PLAT; LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 14, TOWNSHIP
20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN, MORE FULLY DESCRIBED
AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 14; THENCE NORTH 00 DEGREES 14 MINUTES 54
SECONDS EAST, ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION, A DISTANCE OF 885.64
FEET; THENCE NORTH 89 DEGREES 33 MINUTES 01 SECONDS WEST, A DISTANCE OF 306.10 FEET TO THE
POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 01 MINUTES 10 SECONDS WEST, ALONG THE EAST LINE
OF CERTIFIED SURVEY MAP NO. 2263, A DISTANCE OF 120.00 FEET; THENCE NORTH 89 DEGREES 33
MINUTES 01 SECONDS WEST, ALONG THE SOUTH LINE OF LOT 2 OF SAID CERTIFIED SURVEY MAP NO. 2263,
A DISTANCE OF 126.09 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 02 SECONDS EAST, ALONG THE WEST
LINE OF SAID LOT 2, A DISTANCE OF 120.00 FEET; THENCE SOUTH 89 DEGREES 33 MINUTES 01 SECONDS
EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SEVENTH STREET, A DISTANCE OF 125.85 FEET TO THE
POINT OF BEGINNING. CONTAINING 15,116 SQUARE FEET [0.34 ACRES]. SUBJECT TO ALL EASEMENTS AND
RESTRICTIONS OF RECORD.

THAT I HAVE FULLY COMPLIED WITH CHAPTER 236 OF THE WISCONSIN STATUTES AND WITH THE CITY OF
MENASHA AND WINNEBAGO COUNTY SUBDIVISION ORDINANCE IN SURVEYING, DIVIDING AND MAPPING THE
SAME.

THAT THIS MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR
BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

GIVEN UNDER MY HAND THIS 18TH DAY OF NOVEMBER, 2021.

GARY A. ZHRINGER, PROFESSIONAL LAND SURVEYOR S-2098

**THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING
RECORDED INSTRUMENTS**

OWNERS OF RECORD: GREATER FOX CITIES AREA HABITAT FOR HUMANITY, INC. RECORDING INFORMATION: DOCUMENT NO. 1865268 PARCEL NUMBER: 705-0491

COMMON COUNCIL RESOLUTION:

RESOLVED BY THE COMMON COUNCIL OF THE CITY OF MENASHA, THAT THIS CERTIFIED SURVEY MAP IS
HEREBY APPROVED.

DATED THIS _____ DAY OF _____, 20__.

MAYOR

CITY CLERK

TREASURER'S CERTIFICATE:

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE
LANDS SHOWN HEREON.

CITY TREASURER

DATE

COUNTY TREASURER

DATE

CERTIFIED SURVEY MAP NO. _____

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LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 14, TOWNSHIP 20 NORTH,
RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE:

GREATER FOX CITIES AREA HABITAT FOR HUMANITY, INC., A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION, CAUSED THE LAND ABOVE DESCRIBED TO BE SURVEYED, MAPPED, AND DIVIDED AS SHOWN AND REPRESENTED ON THIS MAP.

GREATER FOX CITIES AREA HABITAT FOR HUMANITY, INC., FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: CITY OF MENASHA

DATED THIS _____ DAY OF _____, 20____.

JOHN WEYENBERG, PRESIDENT/CEO

STATE OF WISCONSIN)
) SS
WINNEBAGO COUNTY)

PERSONALLY CAME BEFORE ME ON THE _____ DAY
OF _____, 20____, THE ABOVE OWNER(S) TO ME
KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FOREGOING
INSTRUMENT AND ACKNOWLEDGE THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION (IS PERMANENT)
(EXPIRES: _____)



**2022 Meeting Internal Schedule and Deadlines
(Option 1)**

Monday 4:00 PM Complete Application Deadline	Tuesday 3:30 PM Plan Commission	Monday 6:00 PM City Council
12/27/2021	1/11/2022	2/7/2022
1/10/2022	1/25/2022	2/7/2022
1/24/2022	2/8/2022	2/21/2022
2/7/2022	2/22/2022	3/7/2022
2/21/2022	3/8/2022	3/21/2022
3/7/2022	3/22/2022	4/4/2022
3/21/2022	4/5/2022	4/19/2022
	<i>No 2nd April Meeting</i>	
4/18/2022	5/3/2022	5/16/2022
5/2/2022	5/17/2022	6/6/2022
5/23/2022	6/7/2022	6/20/2022
6/6/2022	6/21/2022	7/5/2022
6/27/2022	7/12/2022	8/1/2022
	<i>No 2nd July Meeting</i>	
7/18/2022	8/2/2022	8/15/2022
8/1/2022	8/16/2022	9/6/2022
8/29/2022	9/13/2021	10/3/2022
	<i>No 2nd Sept Meeting</i>	
9/19/2022	10/4/2022	10/17/2022
10/3/2022	10/18/2022	11/7/2022
10/24/2022	11/8/2022	11/21/2022
	<i>No 2nd Nov Meeting</i>	
11/21/2022	12/6/2022	12/19/2022
12/5/2022	12/20/2022	TBD

Bold = Irregular Meeting Dates

***Standing Meeting Schedule** reserved for emergencies, time sensitive materials or the quantity of applications – based on the discretion of the Community Development Dept.



**2022 Meeting Internal Schedule and Deadlines
(Option 2)**

Monday 4:00 PM Complete Application Deadline	Tuesday 3:30 PM Plan Commission	Monday 6:00 PM City Council
12/27/2021	1/11/2022	2/7/2022
1/10/2022	1/25/2022	2/7/2022
1/17/2022	2/1/2022	2/21/2022
1/31/2022	2/15/2022	3/7/2022
2/14/2022	3/1/2022	3/21/2022
2/28/2022	3/15/2022	4/4/2022
3/21/2022	4/5/2022	4/19/2022
	<i>No 2nd April Meeting</i>	
4/18/2022	5/3/2022	5/16/2022
5/2/2022	5/17/2022	6/6/2022
5/23/2022	6/7/2022	6/20/2022
6/6/2022	6/21/2022	7/5/2022
6/27/2022	7/12/2022	8/1/2022
	<i>No 2nd July Meeting</i>	
7/18/2022	8/2/2022	8/15/2022
8/1/2022	8/16/2022	9/6/2022
8/29/2022	9/13/2021	10/3/2022
	<i>No 2nd Sept Meeting</i>	
9/19/2022	10/4/2022	10/17/2022
10/3/2022	10/18/2022	11/7/2022
10/17/2022	11/1/2022	11/21/2022
10/31/2022	11/15/2022	12/5/2022
11/21/2022	12/6/2022	12/19/2022
12/5/2022	12/20/2022	TBD

Bold = Irregular Meeting Dates

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