



MEETING AGENDA

Due to the ongoing public health emergency, and based on the authority provided by Governor Pritzker's Executive Order 2020-07, dated March 16, 2020 suspending the Open Meetings Act physical presence requirement, this meeting will be conducted electronically. The meeting will still be broadcast live on Channel 6 and the Village website.

Public comments are welcome on any topic related to the business of the Village Board at Regular and Special Meetings when received by email or in writing by the Village Clerk prior to 4:30 p.m. on the day of the meeting. Emailed comments may be sent to Village Clerk Christine Bruton at cbruton@villageofhinsdale.org. Written comments may be submitted to the attention of the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521. While emailed or written comments are encouraged, public comment may also be made by phoning into the meeting at 312.667.4792 Conference Code 581537. If you have questions regarding communication to the Board during the meeting, please contact Assistant Village Manager/Director of Public Safety Brad Bloom at 630.789.7007.

REGULAR MEETING OF THE VILLAGE BOARD OF TRUSTEES

Tuesday, April 7, 2020

7:30 P.M.

This meeting will be conducted electronically. A live audio stream of the meeting will be available to the public via Channel 6 or on the Village website

(Tentative and Subject to Change)

(Page numbers noted below refer to the location of the item in the online packet)

- 1. CALL TO ORDER/ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES**
 - a) Special Meeting of March 16, 2020 – **page 4**
- 4. VILLAGE PRESIDENT'S REPORT**
- 5. CITIZENS' PETITIONS*** (Pertaining to items appearing on this agenda)
- 6. FIRST READINGS – INTRODUCTION****

*Items included for First Reading - Introduction may be disposed of in any one of the following ways: (1) moved to Consent Agenda for the subsequent meeting of the Board of Trustees; (2) moved to Second Reading/Non-Consent Agenda for consideration at a future meeting of the Board of Trustees; or (3) referred to Committee of the Whole or appropriate Board or Commission. (Note that zoning matters will not be included on any Consent Agenda; all zoning matters will be afforded a First and a Second Reading. Zoning matters indicated below by **.)*

Zoning & Public Safety (Chair Stifflear)

- a) Approve an Ordinance approving a Second Major Adjustment to a Planned Development and associated Exterior Appearance and Site Plan for Façade and Signage updates at 420 E. Ogden Avenue – Continental AutoSport** **page 14**

7. CONSENT AGENDA

*All items listed below have previously had a First Reading of the Board or are considered Routine*** and will be moved forward by one motion. There will be no separate discussion of these items unless a member of the Village Board or citizen so request, in which event the item will be removed from the Consent Agenda.*

Administration & Community Affairs (Chair Hughes)

- a) Approval and payment of the accounts payable for the period of March 16, 2020 to April 7, 2020, in the aggregate amount of \$1,688,943.13 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk*** **page 58**

8. SECOND READINGS / NON-CONSENT AGENDA – ADOPTION

*These items require action of the Board. Typically, items appearing for Second Reading have been referred for further discussion/clarification or are zoning cases that require two readings. In limited instances, items may be included as Non-Consent items and have not had the benefit of a First Reading due to emergency nature or time sensitivity, or when the item is a referral to another Board or Commission*****

Administration & Community Affairs (Chair Hughes)

- a) Waive the first reading and approve extending the purchase date for animal and vehicle licenses to June 15, 2020, and delay the imposition of late fees for vehicle licenses purchased until June 16, 2020**** **page 58**

Zoning & Public Safety (Chair Stifflear)

- b) Approve the execution of a deed and permanent easement of parcel 085 and 085P transferring parcels from the Village of Hinsdale to the IL Tollway (*Second Reading – April 23, 2019*) **page 83**
- c) Approve an Ordinance Approving Variations Relative to the Replacement and/or Construction of New Improvements for Hinsdale Central High School at 5500 S. Grant Street, Hinsdale, Illinois – Hinsdale Township High School District 86 - Case Number V-05-19** (*First Reading – March 3, 2020, Second Reading – March 16, 2020*) **page 85**
- d) Approve an Ordinance Approving an Exterior Appearance and Site Plan for a New Natatorium and Various Other Improvements for Hinsdale Central High School at 5500 S. Grant Street - Hinsdale Township High School District 86** (*First Reading – March 3, 2020, Second Reading – March 16, 2020*) **page 180**
- e) Approve an ordinance approving a variation from Section 6-111(E) of the Village of Hinsdale Zoning Ordinance at 908 N. Elm Street, Hinsdale, IL – Case Number V-06-19** (*First Reading – March 16, 2020*) **page 222**

9. DISCUSSION ITEMS

- a) Parking deck update
- b) Tollway update

10. DEPARTMENT AND STAFF REPORTS

- a) Treasurer's
- b) Parks & Recreation
- c) Community Development
- d) Fire

11. REPORTS FROM ADVISORY BOARDS AND COMMISSIONS

12. OTHER BUSINESS

13. NEW BUSINESS

14. CITIZENS' PETITIONS* (Pertaining to any Village issue)

15. TRUSTEE COMMENTS

16. CLOSED SESSION– 5 ILCS 120/2(c) (1)/(2)/(3)/(5)/(8)/(11)/(21)

17. ADJOURNMENT

*The opportunity to speak to the Village Board pursuant to the Citizens' Petitions portions of a Village Board meeting agenda is provided for those who wish to comment on an agenda item or Village of Hinsdale issue. The Village Board appreciates hearing from our residents and your thoughts and questions are valued. The Village Board strives to make the best decisions for the Village and public input is very helpful. Please use the podium as the proceedings are videotaped. Please announce your name before commenting.

*****The Village Board reserves the right to take final action on an Item listed as a First Reading if, pursuant to motion, the Board acts to waive the two reading policy.***

******Routine items appearing on the Consent Agenda may include those items that have previously had a First Reading, the Accounts Payable and previously-budgeted items that fall within budgetary limitations and have a total dollar amount of less than \$500,000.***

*******Items included on the Non-Consent Agenda due to "emergency nature or time sensitivity" are intended to be critical business items rather than policy or procedural changes. Examples might include a bid that must be awarded prior to a significant price increase or documentation required by another government agency to complete essential infrastructure work.***

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to promptly contact Darrell Langlois, ADA Coordinator, at 630-789-7014 **or by TDD at 630-789-7022** to allow the Village of Hinsdale to make reasonable accommodations for those persons.

Website <http://villageofhinsdale.org>

VILLAGE OF HINSDALE
VILLAGE BOARD OF TRUSTEES
MINUTES OF THE SPECIAL MEETING
March 16, 2020

The specially scheduled meeting of the Hinsdale Village Board of Trustees was called to order by Village President Tom Cauley in Memorial Hall of the Memorial Building on Tuesday, March 16, 2020 at 7:32 p.m., roll call was taken.

Present: Trustees Matthew Posthuma, Luke Stifflear, Gerald J. Hughes, Neale Byrnes, and President Tom Cauley

Absent: Trustees Scott Banke and Laurel Haarlow

Also Present: Village Manager Kathleen A. Gargano, Assistant Village Manager/Director of Public Safety Brad Bloom, Police Chief Brian King, Finance Director Darrell Langlois, Director of Community Development/Building Commissioner Robb McGinnis, Director of Public Services George Peluso, Superintendent of Parks & Forestry John Finnell and Village Clerk Christine Bruton

PLEDGE OF ALLEGIANCE

President Cauley led those in attendance in the Pledge of Allegiance.

APPROVAL OF MINUTES

a) **Regular Meeting of March 3, 2020**
Following changes to the draft minutes, Trustee Byrnes moved to **approve the draft minutes of the regular meeting of March 3, 2020, as amended.** Trustee Hughes seconded the motion.

- AYES:** Trustees Stifflear, Hughes, Byrnes and President Cauley
- NAYS:** None
- ABSTAIN:** Trustee Posthuma
- ABSENT:** Trustees Banke and Haarlow

Motion carried.

VILLAGE PRESIDENT'S REPORT

President Cauley reported on the emergency measures taken by the State of Illinois in response to the COVID-19 virus. Governor Pritzker has limited public gatherings, and bars and restaurants will be closed beginning tonight at 9:00 p.m. However, it is anticipated that grocery stores, pharmacies and gas stations will remain open. The Department of Community and Economic Opportunity (DCEO) has a survey where it is collecting data related to the impact of COVID-19. He encouraged Hinsdale small businesses to complete the survey. This link is on the Village

website. Staff is also staying abreast of and State or Federal initiatives to assist small business owners, noting these businesses make up the bulk of Hinsdale's retail community. Out of an abundance of caution for Village employees, Village Hall is closed to the public, however, all essential municipal services, Public Services, Police and Fire, will remain in operation. There are drop-off locations at the Police Department and at the front door of Memorial Hall, staff will continue to process Village business and answer phones. The Village Board intends to continue to hold meetings for the foreseeable future. Village Manager Kathleen Gargano added that by executive order, changes have been made to the Open Meetings Act regulations regarding meetings; and between now and the next meeting, the details will be worked out.

President Cauley urged people to visit the Village website for up-to-date information on the status of meetings and municipal services. He reminded residents to practice social distancing to slow down the spread of the virus, and to stay home to the greatest degree possible. He noted this is an ever-evolving situation and the Village continues to adjust as information becomes available. If people have questions, they should call the Village offices or him directly.

President Cauley reported good news with respect to the recent rash of car thefts. Last week the Hinsdale Police Department arrested seven individuals responsible for overnight auto thefts and burglaries that occurred in the Village. A stolen automobile and firearms were recovered in raids in South Holland and Dolton. The Police Chief anticipates additional arrests and additional criminal charges. He reminded residents how important it is to lock their vehicles and remove their key fobs to help eliminate the opportunity for overnight crime.

Finally, President Cauley said he got a call from a resident because the Community House has determined to close as a polling place tomorrow, and voters have been directed to the fairgrounds in Wheaton. Staff made an attempt to move the polling place to Memorial Hall, however, the County wouldn't allow it at this late date.

Chamber of Commerce – Annual Event Calendar *(Item taken out of order)*

Ms. Eva Field and Ms. Melissa Waters, representing the Chamber of Commerce, addressed the Board regarding their request to the Village for support for their annual events. Ms. Field noted that the Garage Sale has been dropped for the time being, but the Wine Walk was very successful. The Board had no objections to the Chamber requests.

CITIZENS' PETITIONS

None.

FIRST READINGS – INTRODUCTION *(Items taken out of order)*

Zoning & Public Safety (Chair Stifflear)

- a) **Approve an ordinance approving a variation from Section 6-111(E) of the Village of Hinsdale Zoning Ordinance at 908 N. Elm Street, Hinsdale, IL – Case Number V-06-19**

Trustee Stifflear introduced the item that comes to this Board, following a recommendation of the Zoning Board of Appeals to approve a request for an increase in floor area ratio (FAR) for an O-3 pre-code structure. The current medical building is already over the allowable FAR, and they are requesting an additional 294' square feet, a .1% increase, in order to enclose the entry and create a vestibule. The Zoning Board of Appeals approved the request 6-0 at a public hearing held on January 15, and Trustee Stifflear agrees this request meets the criteria for approval.

The Board agreed to move this item forward for a second reading at their next meeting.

b) **Approve a Referral to Plan Commission of a Request to Hold a Public Hearing for Consideration of, and a Recommendation to the Board of Trustees on, a Temporary 180-day Moratorium on the Issuance of any Demolition Permits or other Building or Zoning Approvals involving the Demolition of Landmarked Single-Family Homes, or of any Single Family Homes within the Village or within the Robbins Park and Central Business District Historic Districts**

Trustee Stifflear introduced the item which is a follow-up on a proposed moratorium that President Cauley discussed in his remarks two weeks ago regarding the teardown of historically significant homes in the Robbins Park historic district. This matter can be heard by the Board, or referred to the Plan Commission with a vote tonight. Any potential moratorium will allow a debate on what a long-term historic preservation ordinance may codify to protect historically significant structures, and insure that those homes are not razed during the process. The Plan Commission would hear public comment and provide the Board with a recommendation. At the last meeting of the Village Board, Historic Preservation Commission members asked the Village to do something about this. If the Plan Commission holds a public hearing, it would come back to the Village Board for a final vote. Trustee Stifflear suggested the Board consider and provide direction to the Plan Commission regarding the length of the moratorium, six months has been recommended; whether the moratorium should be Village-wide or apply only to Robbins Park and/or the Central Business District (CBD); apply to all buildings, or only to contributing buildings, and if we include all buildings, a waiver or appeal process should be considered. President Cauley noted this matter addresses the concept of having a moratorium, not regulations to preserve historic homes. He views the Board of Trustees as an appellate body and that public hearings should be conducted by the Plan Commission the Zoning Board of Appeals. This is a sensitive issue, lots of people in the community want to see older homes preserved, but owners want to develop them, or they can't sell them as they are. The Historic Preservation Commission has asked us to do something, but we don't know what that is yet. No determinations have been made.

Trustee Hughes reminded the Board there are significant homes outside the Robbins historic district. He would suggest, in terms of scope, that the moratorium apply to contributing homes in Robbins and something based on age, pre-war homes, located outside the district. Director of Community Development Robb McGinnis said there were about 40 demolitions in 2019, and since 2008, 24 homes were demolished in Robbins, 19 of which were contribution homes.

Trustee Posthuma agrees property rights should be protected, but also agrees this issue should be looked at. Discussion followed regarding the length of the moratorium the Board agreed to keep it as short as possible to realistically evaluate the problem, but no more than 6 months. Trustee Stifflear agrees that property rights are important, and that this

should only apply to properties that contribute to the historic definition in Robbins and the CBD.

Mr. Mike Ryan, 125 E. Eighth Street, addressed the Board, and echoed their comments but stressed that some houses might not be worthy of being on a list of what is unique and special, stating that some houses should truly come down. He appreciates the Board's consideration of the property rights of owners. President Cauley said he would like to see the opportunity for rehabbing these homes maximized, possibly with incentives regarding FAR, or waiving construction fees or setback requirements.

Mr. Mark Weber, 427 S. Stough, addressed the Board stating he is building a home at 6th & County Line that was a tear down. They looked at rehabbing the property, but they couldn't make the numbers work; economics ruled the outcome. He is concerned about property rights, and he wants Hinsdale to grow. He agrees it would be best to work through this issue quickly.

Trustee Stifflear made an initial motion that was revised following discussion of the Board regarding whether or not to include buildings outside the Robbins historic district, and if so, of what vintage. The Board agreed to make the motion more broad and let the Plan Commission refine the parameters. Trustee Byrnes asked that the motion include parameters for a waiver process. Ms. Gargano asked that the motion include landmarked homes.

Trustee Stifflear moved to **Approve and refer to Plan Commission a request to hold a public hearing for consideration and recommendation to the Village Board on a temporary, not to be longer than 180 days, moratorium on the issuance of demolition permits or other building or zoning approvals, involving the demolition of any single-family home or building that is historically significant or landmarked, Village-wide.** Trustee Posthuma seconded the motion.

AYES: Trustees Posthuma, Stifflear, Hughes, and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: Trustees Banke and Haarlow

Motion carried.

c) **Approve an ordinance to change certain parking regulations in the Central Business District (CBD)**

Trustee Stifflear introduced the item that relates to new parking regulations in the central business district once the new parking deck is open sometime this summer. He believes there is general agreement on the Board regarding the following: the goal of the parking ordinance is to move merchants and employees off the street and into the deck to free up spaces for shoppers and restaurant patrons; move to zoned parking that includes 3-hour parking in metered spots, 6-hour free parking for everyone in the lower level of the parking deck, and 8-hour parking in the Washington and Garfield lots for \$1.00/per day. Merchants and employees will have free and unlimited access to the deck after registering their vehicles. If registered vehicles park on the street in a metered spot, a ticket will be issued. Ticket fees will increase from \$8 to \$25. Parking will be monitored by License Plat Reading (LPR) technology. Vehicles parked in the CBD for greater than three hours total, including multiple spots, will be ticketed. Fines are being increased as a way to influence behavior, not as a

revenue generating tool. Additional 15-minute spots will be added to high traffic areas, such as Starbucks or a dry cleaner. Additional commuter permits will be issued. The other matter to bring to resolution is the resident versus non-resident parking matter; should everyone park for free in the CBD or should residents park for free, and non-residents continue to pay a per hour charge to be collected by the meters.

Trustee Hughes stated he believes the question is whether or not the Village continues, for some period of time, to require non-residents to pay for on-street parking in the CBD on a per use basis. Initially, the thought was to enable residents not to have to feed meters by building those costs into the price of their vehicle sticker. The benefit would be convenience, and possibly an incentive to patronize the businesses in town because their parking was already paid. He noted that estimates indicate that only 10% of the people parking in the CBD are residents. He believes the only people actually parking for free are non-residents. He explained the cost to each Hinsdale household over the next 20 years for the parking deck is about \$50.00 annually. He asked what will work best to accomplish the objective of making street parking readily available, what is practical, and what is fair. The CMAP study recommended using price is a tool to allocate sparse parking inventory. Price, limits, and supply are the tools we have now, but he does not believe it is safe to cast aside price as a tool and assume limit and supply are adequate tools because true demand is still unknown. Human behavior is unpredictable, and it is unknown how easy it will be to get people to park in the garage. The time limit could be a factor. He recommends solving all other issues, before eliminating price.

Trustee Posthuma agrees, and wants to make sure the deck does what it's supposed to do, which is free up CBD parking. He would like people's first inclination be to park at the deck, but is concerned that if parking is free downtown, people will not be incented to use the deck. He agrees residents are already paying for parking in many ways. Trustee Byrnes believes the signage will be a problem, as well as the message sent to non-residents, which he believes could be a barrier to sales in the CBD. He noted that if all the merchants and employees that are currently parking on the street parked in the deck, it would be full.

President Cauley explained that he sees the cost of the deck to the resident or non-resident in the same way as the cost of infrastructure work. When the streets are fixed, anybody can drive on them. The deck is another infrastructure project. No other town charges different rates depending on residency, many towns have free parking. He believes the signage would create complexity, but it is the three-hour time limit that controls the problem, not the fee. If estimates are correct that 80% of downtown shoppers are non-residents, their patronage is central to the vitality and vibrancy of the downtown. Free parking will contribute to this, it is good for everybody, and residents will get a benefit from sales tax revenues. He recommends keeping the meters, make the parking free, and if it doesn't work, then change it. Trustee Stifflear thinks the inconvenience of not charging residents and charging non-residents outweighs some of the possible problems, and agrees the meters will still be in place if we have to make a change.

The Board agreed to move this item forward for a second reading at their next meeting.

Administration & Community Affairs (Chair Hughes)

- a) **Approve an Ordinance Amending Section 6-6-5 (Village Permit Parking Lots) of Title 6 (Motor Vehicles and Traffic), Chapter 6 (Stopping, Standing and Parking) of the Village Code of the Village of Hinsdale Relative to Parking Permit Fees**

Trustee Hughes introduced the item regarding whether commuter lot permit fees should be raised from \$310/per 6 months to \$375/per six months. He explained there are a variety of reasons to do this including the fact there has not been an increase since 2006, and there is a 15 month waiting list. He thinks the wait list should be under one year; President Cauley concurs. Discussion followed regarding the amount of the increase. The Board agreed they would feel better if this fee was reviewed more often, but pointed out that this is about the same as an annual cost of living increase, or about \$5.00/per year.

Trustee Byrnes noted the permit price for the Highlands and West Highlands stations is not being raised, and are \$280/per six months. Ms. Gargano explained that the motivation for reviewing the fees was an effort to manage downtown parking, but staff can review Highland fees and paybox rates, too. She cautioned that with respect to the Highlands parking, the Village receives METRA funds, and therefore METRA needs to be consulted about raising any fees.

The Board agreed to move this item to the consent agenda of their next meeting.

CONSENT AGENDA

Administration & Community Affairs (Chair Hughes)

- a) On behalf of Trustee Haarlow, Trustee Hughes moved **Approval and payment of the accounts payable for the period of March 4, 2020 to March 16, 2020, in the aggregate amount of \$1,329,100.92 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk.**

AYES: Trustees Posthuma, Stifflear, Hughes, and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: Trustees Banke and Haarlow

Motion carried.

The following items were approved by omnibus vote:

- b) **Approve an Ordinance to Collect Cable Public Education Government (PEG) fees to fund the replacement of cable broadcast equipment (First Reading – March 3, 2020)**
- c) **Accept a proposal from Williams Architects/Aquatics for design engineering and construction management services for Community Pool renovations in the amount of \$61,800 (First Reading – March 3, 2020)**

Environment & Public Services (Chair Byrnes)

- d) **Approve the award of Custodial Services Bid #1669 to Bravo Service, Inc., for custodial services within Village facilities for one term (20 months), in the amount not to exceed \$117,000**

Trustee Byrnes moved to **approve the Consent Agenda, as presented.** Trustee Posthuma seconded the motion.

AYES: Trustees Posthuma, Stifflear, Hughes, and Byrnes
NAYS: None
ABSTAIN: None
ABSENT: Trustees Banke and Haarlow

Motion carried.

SECOND READINGS / NON-CONSENT AGENDA – ADOPTION

Zoning & Public Safety (Chair Stifflear)

- a) **Approve an Ordinance Approving an Exterior Appearance and Site Plan for Expansion and Redevelopment of a Paddle Court Warming Hut – Hinsdale Platform Tennis Association – 5901 S. County Line Road** *(First Reading – March 3, 2020)*

Trustee Stifflear introduced the item that relates to the expansion and renovation of the HPTA paddle hut located at the southeast corner of KLM, zoned Open Space. He noted the Plan Commission reviewed this request in February 2020, and recommended approval by a vote of 6-0. He noted there were no public comments on this matter.

Trustee Stifflear moved to **Approve an Ordinance Approving an Exterior Appearance and Site Plan for Expansion and Redevelopment of a Paddle Court Warming Hut – Hinsdale Platform Tennis Association – 5901 S. County Line Road.** Trustee Hughes seconded the motion.

AYES: Trustees Posthuma, Stifflear, Hughes, and Byrnes
NAYS: None
ABSTAIN: None
ABSENT: Trustees Banke and Haarlow

Motion carried.

- b) **Approve an Ordinance Approving Variations Relative to the Replacement and/or Construction of New Improvements for Hinsdale Central High School at 5500 S. Grant Street, Hinsdale, Illinois – Hinsdale Township High School District 86 - Case Number V-05-19** *(First Reading – March 3, 2020)*

Trustee Stifflear introduced this and the following item regarding Hinsdale Central High School. He recapped the five unanimously recommended ZBA variations, and noted that the majority of these variations are pre-existing, but because of the expansion they have to be reconsidered. The second matter before the Board is in regards to the new two-story structure, 33,040 square foot pool facility and site renovations. This was reviewed by the Plan Commission and recommended by a vote of 5-0. Neighbors were notified, and questions regarding construction updates and construction traffic were addressed.

Ms. Bonnie Sartore, 5716 Foxgate Lane, addressed the Board representing the Foxgate Homeowners Association. Their concern is the relief for only 23 additional parking spaces. They have been neighbors to the high school for a long time, and support this project in the majority, but the parking situation is unacceptable and dangerous. Every current space is filled, 23 additional spaces is not adequate for the additional activity this project will cause. She said they did not get notice of the public hearing nor has there been any community outreach. President Cauley noted the school is landlocked, and asked her what the

alternative might be. She said she doesn't know, but stressed there will be a whole different level of activity. She thinks they need a parking garage. She complained the project has gone so far, and the communication with neighbors has been nil.

Trustee Stifflear is sympathetic, and noted that numbers indicate that enrollment will stay flat or go down. He said when this project came in front of the Board he was surprised there were 23 new parking spots. Although there could be increased intensity of use because of the pool, this parking issue predates this project. Practically, it is impossible to provide what the code prescribes.

President Cauley is worried about the process. When the Board is told residents don't have concerns, but show up at second read stating they didn't get notice, he is inclined to hold up to talk to these residents.

Mr. Graal, representing the school, addressed the Board. He said Foxgate was on the resident notification list, letters were sent, and signage was posted onsite. There was an issue with letters, so they postponed the Plan Commission hearing and resent the mailing. The certified mailing receipts have been returned to the Village. They have conducted monthly facility meetings for almost a year that have been posted and are open to the public. They have had conversations with other residents on 57th Street regarding property damage from flying baseballs, and with residents about the fence off the alleyway. Mr. Graal said he will bring this matter back to the district. Staff will verify who has received the certified mailings.

The Board agreed to postpone action on this item for further consideration at their next meeting.

Trustee Byrnes asked about the netting at the baseball field proposed for the first base line on 57th Street, but not the third base line along Grant Street where parking is allowed. Mr. Graal explained that his team looked at installation along Grant Street, but it was a cost concern. Trustee Byrnes said his vote is contingent on modifying the net, and it was noted that Trustee Banke also had concerns about this issue. Mr. Graal clarified the Board wants netting on the first and third base lines, but not the backstop. He will bring this back to the district, and although he doesn't have exact numbers, he estimates the cost of the safety netting as requested would be between \$35,000 – \$50,000.

- c) **Approve an Ordinance Approving an Exterior Appearance and Site Plan for a New Natatorium and Various Other Improvements for Hinsdale Central High School at 5500 S. Grant Street - Hinsdale Township High School District 86** (First Reading – March 3, 2020)**

The Board agreed to postpone action on this item for further consideration at their next meeting.

- d) **Approve an Ordinance Approving an Exterior Appearance and Site Plan for Expansion and Redevelopment of an Existing Building – Dr. Vanwormer-Hartman - 110 E. Ogden Avenue** (First Reading – March 3, 2020)**

Trustee Stifflear introduced the item for a property that has been vacant for 10 years. The applicant has provided a code compliant site plan for a medical office facility, and has addressed Plan Commission recommendations. A fence cannot be installed on the south lot line because that is private property, but there is a 10' foot green space in the parking lot setback and arborvitae will be planted densely to provide a barrier.

Trustee Stifflear moved to **Approve an Ordinance Approving an Exterior Appearance and Site Plan for Expansion and Redevelopment of an Existing Building – Dr. Vanwormer-Hartman - 110 E. Ogden Avenue.** Trustee Hughes seconded the motion.

AYES: Trustees Posthuma, Stifflear, Hughes, and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: Trustees Banke and Haarlow

Motion carried.

DISCUSSION ITEMS

a) **Parking deck update**

Assistant Village Manager/Director of Public Safety Brad Bloom stated there is nothing new to report.

b) **Tollway update**

Mr. Bloom reported the sound walls on Peirce Park are expected to be complete by April 1, and the landscaping is finished.

c) **Chamber of Commerce – Annual Event Calendar** (*Addressed earlier with Presidents Report*)

d) **Integrated Pest Management (IPM)**

Superintendent of Parks & Forestry John Finnell, acting as IPM Manager for the Village, gave his annual report to the Board and residents. He stated the goal of integrated pest management is the control of insects, disease, weeds and other pests through environmentally sensitive and economical practices. Hinsdale has had annual compliance since 1995 ensuring public health, safety, and welfare by limiting reliance on chemical pesticides. He outlined the IPM process for turf maintenance, prairie maintenance, tree preservation, sustainable landscape, and mosquito abatement. Recommendations were made for 2020 work in these areas.

DEPARTMENT AND STAFF REPORTS

a) **Engineering**

b) **Public Services**

The report(s) listed above were provided to the Board. There were no additional questions regarding the content of the department and staff reports.

Ms. Gargano reported Village measures with respect the ever-changing developments with the coronavirus. The best place to check for current information is the Illinois Department of Public Health (IDPH) website, there is information and links on the Village website, and there is information running on Channel 6. Staff will continue to provide updated information to residents. Regarding reported activity at the DuPage Medical Group offices, she explained they are serving as a test facility, but it is not open to the public, only for IDPH referred patients. Ms. Gargano complimented Department Head staff because in February when reports were coming in from China, they took steps to identify how to address social

distancing and still maintain service delivery to residents. She said the general service telephone numbers are still being answered by staff during this period when offices are closed to the public.

Trustee Hughes commented on the idea of a remote meeting and thinks this is a good idea, although probably not for the next Board meeting. However, if this lasts a long time, and there is a light agenda, we should learn how to do this. Ms. Gargano said we don't have 'turnkey' technology at this time, but will look at everything we can to make it available in the future.

REPORTS FROM ADVISORY BOARDS AND COMMISSIONS

No reports.

CITIZENS' PETITIONS

None.

TRUSTEE COMMENTS

None.

ADJOURNMENT

There being no further business before the Board, President Cauley asked for a motion to adjourn. Trustee Hughes moved to **adjourn the specially scheduled meeting of the Hinsdale Village Board of Trustees of March 16, 2020.** Trustee Byrnes seconded the motion.

AYES: Trustees Posthuma, Stifflear, Hughes, and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: Trustees Banke and Haarlow

Motion carried.

Meeting adjourned at 9:09 p.m.

ATTEST: _____

Christine M. Bruton, Village Clerk



REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: First Reading – ZPS
SUBJECT: Major Adjustment to the Planned Development/Exterior Appearance and Site Plan for Façade and new Signage updates for the Commercial Building at 420 E. Ogden Avenue in the B-3 General Business District
Continental AutoSports – Ferrari - Case A-04-2020
MEETING DATE: April 7, 2020
FROM: Chan Yu, Village Planner

Recommended Motion

Move to approve an ordinance approving a Second Major Adjustment for Exterior Appearance and Site Plan changes for building façade update and new signage for the commercial building at 420 E. Ogden Avenue – Continental AutoSport.

Background

At the February 18, 2020, Village Board meeting, the Board of Trustees expressed concern over the initially proposed larger two (2) new ground signs; specifically, in regards to the 20' height as introduced by the applicant at said Village Board meeting. Based on the feedback from the Trustees, the applicant revised the request to keep the existing ground sign, and propose a second ground sign with same dimensions as the approved ground sign from 2013 (14'-9" tall and 2'-8.5" wide).

After the Village Board referred this application to the Plan Commission (PC) on February 18, 2020, the PC reviewed the revised application for one (1) additional ground sign, to match the existing ground sign at its March 11, 2020, meeting. With no issues with the proposed front façade improvements, wall signs, and additional ground sign to match the existing ground sign, the PC unanimously recommended, 7-0 (2 absent) that the Board of Trustees approve the application as submitted. There were no public comments at the PC meeting by neighbors.

For historical context of this Planned Development, on October 19, 2010, the Board of Trustees approved Ordinance O2010-49, approving a Special Use Permit for a Planned Development and Site Plans and Exterior Appearance plans for façade changes for the Continental AutoSports Ferrari and Maserati Dealership at 420 E. Ogden Avenue. Per the Ordinance exhibit, the front elevation illustrated the grey tiled front façade of the building and a Ferrari and Maserati Wall sign.

On May 21, 2013, the Board of Trustees approved Ordinance O2013-10, approving a Major Adjustment to a Planned Development for two (2) new ground signs for the Ferrari and Maserati Dealership. This Ordinance allowed the dealership to install:

- 2 ground signs instead of 1 allowed by Code
- 5 colors instead of 3 colors allowed by Code
- Setback relief of 8' front yard and 4' side-yard instead of 10' and 6', respectively

- Height relief for 15' ground signs instead of 8' (sign 1) and 6' (sign 2) per Code

This second major adjustment is a request to update the front façade and install one new ground sign to reflect that the dealership is exclusively a Ferrari dealership and no longer features Maserati. To this end, the applicant removed the former Maserati ground sign. In regards to ground signage, this application includes four (4) code waivers:

- 2 ground signs instead of 1 allowed by Code (same as previous 2013 request)
- 5 colors instead of 3 colors allowed by Code (same as previous 2013 request)
- Setback relief of 8' front yard and 4' side-yard instead of 10' and 6', respectively (same as previous 2013 request)
- Height relief for 14'-9" ground sign instead of 8' (sign 1) and 6' (sign 2) per Code (same as previous 2013 request)

Of note, the location of the second ground sign is for a new location next to (and west) of the front entrance ingress/egress. The other ground sign is existing and will remain at the east end of the subject property.

This Major Adjustment request also includes an exterior façade change in materials to aluminum composite material (ACM) cladding similar to the Land Rover/Jaguar dealership at 336 E. Ogden Avenue and replacing two (2) wall signs. The proposed color for the ACM cladding is metallic Ferrari grey. The proposed "Ferrari" text wall sign is stainless steel with a chrome finish.

The second wall sign is a logo, featuring 5 colors and the glorious Ferrari prancing horse logo. Both wall signs are proposed to be illuminated. The "Ferrari" text wall sign is 4'-4 ¾" tall and 24'-8" wide for an area of 108.6 SF and the logo wall sign 3'-1" tall and 4'-11" wide for an area of 15.16 SF (identical dimensions as the existing logo sign). Combined, the sign area is 123.76 SF, and 23.76 SF over the maximum permitted by the Code. Regarding the two (2) wall signs, this request includes two (2) code waivers:

- Larger signage of 123.76 SF instead of 100 SF allowed by Code
- Internally illuminated translucent background (same as current logo wall sign)

Discussion & Recommendation

On March 11, 2020, the PC reviewed the revised application for one (1) additional ground sign, to match the existing ground sign at its public meeting. With no issues with the proposed front façade improvements, wall signs, and additional ground sign to match the existing ground sign, the PC unanimously recommended, 7-0 (2 absent) that the Board of Trustees approve the application as submitted. There were no public comments at the PC meeting by neighbors.

Village Board and/or Committee Action

At the February 18, 2020, Village Board meeting, the Board of Trustees referred this application to the PC for review and consideration, with a request that the PC note that the Village Board shared concerns for the requested 20' tall ground sign, and that it is too tall.

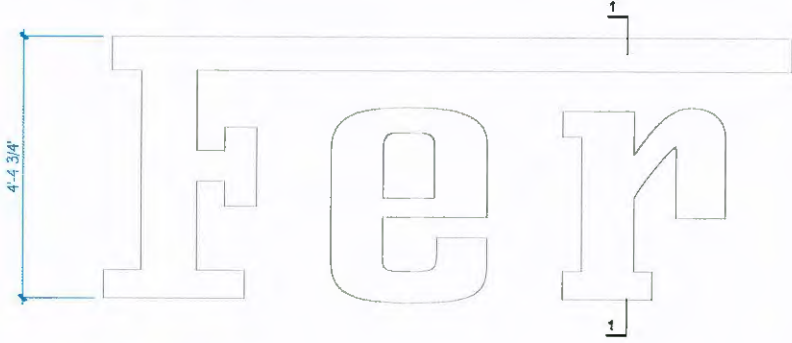


Documents Attached

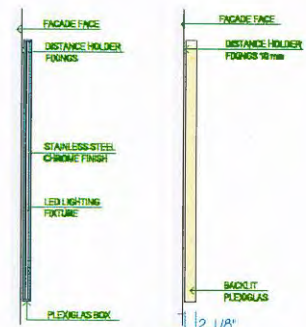
1. Major Adjustment and Exterior Appearance/Site Plan Application
2. Ordinance O2013-10 (May 21, 2013) and Ordinance O2010-49 (October 19, 2010)
3. Street View of 420 E. Ogden Avenue from three (3) directional views
4. Zoning Map and Project Location
5. Aerial View Map of 420 E. Ogden Avenue
6. Birds Eye View Map of 420 E. Ogden Avenue
7. Definition of "Substantial Conformity" per the Zoning Code Section 12-206



EXAMPLE VIEW AT NIGHT

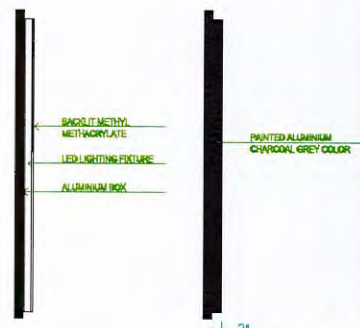
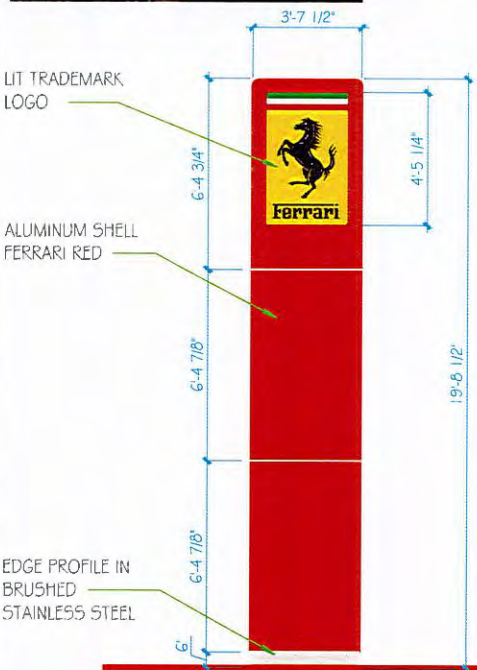


FRONT ELEVATION
SCALE 1:20



SECTION
SCALE 1:20

SIDE ELEVATION
SCALE 1:20



EXAMPLE VIEW AT NIGHT

BUILDING SIGNAGE

SCALE: 1/2" = 1'-0"

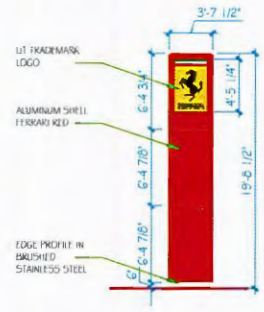
MONUMENT SIGN ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 01/31/20
SHEET: Exterior Signage

5012 Fairview Ave.
Downers Grove, IL 60515
630.789.2513
studio21architects.com

Continental AutoSports Signage
420 E. Ogden Avenue, Hinsdale, IL 60521



MONUMENT SIGN ELEVATION

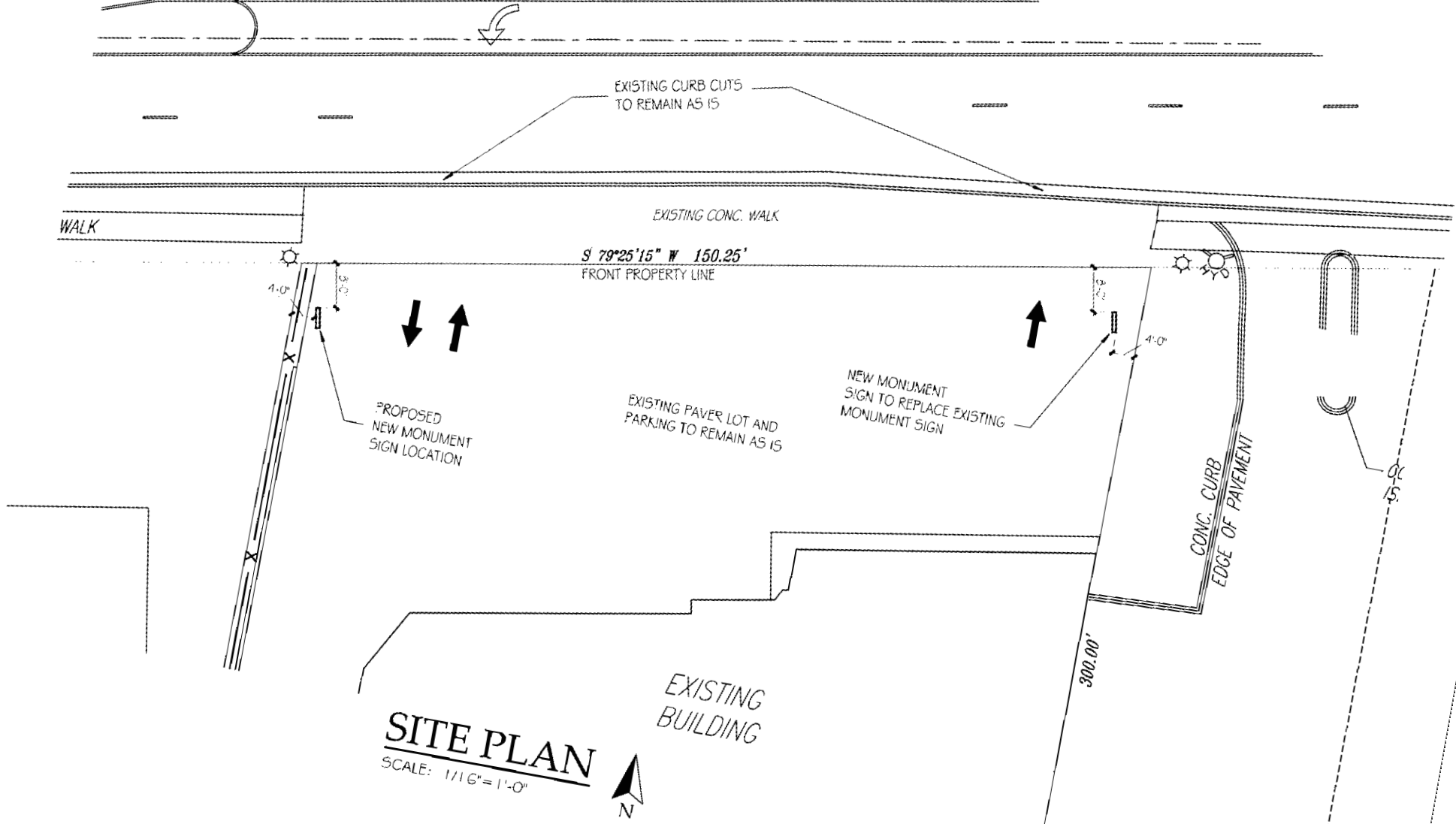


NORTH ELEVATION

5012 Fairview Ave.
Downers Grove, IL 60515
630.789.2513
studio21architects.com



OGDEN AVE - U.S. RT. 34



SITE PLAN

SCALE: 1/16" = 1'-0"



5012 Fairview Ave.
Downers Grove, IL 60515
630.789.2513
studio21architects.com



VILLAGE OF HINSDALE

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant
Name: <u>Continental AutoSports</u>
Address: <u>420 E Ogden</u>
City/Zip: <u>Hinsdale, IL 60521</u>
Phone/Fax: <u>(630) 655 / 3535</u>
E-Mail: <u>jkw@continentalmotors.com</u>

Owner
Name: <u>Joel Weinberger</u>
Address: <u>420 E Ogden</u>
City/Zip: <u>Hinsdale, IL 60521</u>
Phone/Fax: <u>(630) 655 / 3535</u>
E-Mail: <u>jkw@continentalmotors.com</u>

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: <u>A William Styczynski</u>
Title: <u>Architect, Studio21 Architects.com</u>
Address: <u>5012 Fairview Ave</u>
City/Zip: <u>Downers Grove, IL 60515</u>
Phone/Fax: <u>(630) 789 / 2513</u>
E-Mail: <u>Bill@Studio21architects.com</u>

Name: _____
Title: _____
Address: _____
City/Zip: _____
Phone/Fax: () _____ / _____
E-Mail: _____

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)
1) _____
2) _____
3) _____

II. SITE INFORMATION

Address of subject property: 420 E Ogden

Property identification number (P.I.N. or tax number): 09 - 01 - 212 - 004

Brief description of proposed project: Upgrade existing facade and signage

General description or characteristics of the site: Existing Ferrari dealership

Existing zoning and land use: B-3 General Business District

Surrounding zoning and existing land uses:

North: O-3 South: R-3

East: B-3 West: B-3

Proposed zoning and land use: B-3 General Business District

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

<input type="checkbox"/> Site Plan Approval 11-604	<input type="checkbox"/> Map and Text Amendments 11-601E Amendment Requested: _____
<input type="checkbox"/> Design Review Permit 11-605E	_____
<input type="checkbox"/> Exterior Appearance 11-606E	<input checked="" type="checkbox"/> Planned Development 11-603E
<input type="checkbox"/> Special Use Permit 11-602E Special Use Requested: _____	<input type="checkbox"/> Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 420 E Ogden

The following table is based on the B-3 Zoning District. - PLANNED DEVELOPMENT

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)		
Minimum Lot Depth		
Minimum Lot Width		
Building Height		
Number of Stories		
Front Yard Setback	100'	91.07'
Corner Side Yard Setback	-	-
Interior Side Yard Setback	10' / 10'	24.4' / 0'
Rear Yard Setback	20'	60.69'
Maximum Floor Area Ratio (F.A.R.)*		
Maximum Total Building Coverage*		
Maximum Total Lot Coverage*		
Parking Requirements		
Parking front yard setback		
Parking corner side yard setback		
Parking interior side yard setback		
Parking rear yard setback		
Loading Requirements		
Accessory Structure Information		

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 30 day of Jan, 2020, I/We have read the above certification, understand it, and agree to abide by its conditions.

[Signature]
Signature of applicant or authorized agent

Joel Weinberger
Name of applicant or authorized agent

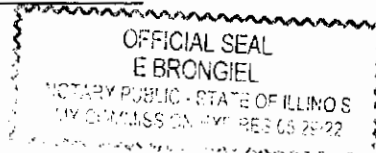
Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 30 day of
Jan, 2020.

[Signature]
Notary Public

4





**MAJOR ADJUSTMENT TO PLANNED
DEVELOPMENT
COMMUNITY DEVELOPMENT
DEPARTMENT**

***Must be accompanied by completed Plan Commission Application**

Address of proposed request: 420 E Ogden Avenue

Proposed Planned Development request: N/A

Amendment to Adopting Ordinance Number: 02003-45, 2010-49

REVIEW CRITERIA:

Paragraph 11-603K2 of the Hinsdale Zoning Code regulates Major Adjustments to a Final Planned Development that are under construction and Subsection 11-603L regulates Amendments to Final Plan Developments Following Completion of Development and refers to Subsection 11-603K. Any adjustment to the Final Plan not authorized by Paragraph 11-603K1 shall be considered to be a Major Adjustment and shall be granted only upon application to, and approval by, the Board of Trustees. The Board of Trustees may, by ordinance duly adopted, grant approval for a Major Adjustment without a hearing upon finding that any changes in the Final Plans as approved will be in substantial conformity with said Final Plan. If the Board of Trustees determines that a Major Adjustment is not in substantial conformity with the Final Plan as approved, then the Board of Trustees shall refer the request to the Plan Commission for further hearing and review.

1. Explain how the proposed major adjustment will be in substantial conformity with said plan.

The changes requested are limited to the front building facade and monument pylon signs. The building itself remains essentially the same, replacing the existing EFIS with new ACM material and updating the building mounted signage as shown in the proposed elevation. The site monument pylon signs would also change. One taller Ferrari pylon will replace the existing Ferrari pylon in the location where the two previous pylons were located. See photo from October 2018. A second Ferrari Pylon will be located on the east side of the property to help define and reinforce the driveway entrance location. The exterior will remain substantially unchanged.

2. Explain the reason for the proposed major adjustment.

The changes proposed are requested in order to conform with the latest Ferrari design guidelines, which include facade materials and signage. These changes also reflect that the facility is now solely a Ferrari dealership and no longer includes Maserati.



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 420 E Ogden Avenue

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

These modifications will have no affect on open spaces

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

The exterior facade will have ACM cladding similar to Land Rover

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

This change has minimal affect on the character of the existing facility, the quality of the design is of similar quality or better.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

This work will have no affect on the quality of the site development

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

The height of the building remains unchanged.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The size and height of the facade remains unchanged.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The windows remain unchanged.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

The rhythm of solids and voids remains unchanged.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The relationship of the building to open space and other buildings remains unchanged

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

No changes to entrance or projections.

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The facade is changed to an ACM material which is consistent with other dealerships, including the Land Rover.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

No change in roof shape.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

No change in building facade massing.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The scale of the building remains the same.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The horizontal character of the facade remains unchanged

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

The redesign is consistent with the Ferrari brand.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The proposed changes are consistent with the Planned Development.

2. The proposed site plan interferes with easements and rights-of-way.

The proposed changes are consistent with the Planned Development.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The proposed changes are consistent with the Planned Development.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

The proposed changes are consistent with the Planned Development.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

The proposed changes are consistent with the Planned Development.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

The proposed changes are consistent with the Planned Development.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

The proposed changes are consistent with the Planned Development.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

The proposed changes are consistent with the Planned Development.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

The proposed changes are consistent with the Planned Development.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The proposed changes are consistent with the Planned Development.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

The proposed changes are consistent with the Planned Development.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

The proposed changes are consistent with the Planned Development.



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant
Name: <u>Continental AutoSports</u>
Address: <u>420 E Ogden</u>
City/Zip: <u>Hinsdale, IL 60521</u>
Phone/Fax: (<u>630</u>) <u>655</u> / <u>3535</u>
E-Mail: <u>jkw@continentalmotors.com</u>
Contact Name: <u>Joel Weinberger</u>

Contractor
Name: <u>LaMantia Construction</u>
Address: <u>20 E Ogden</u>
City/Zip: <u>Hinsdale, IL 60521</u>
Phone/Fax: (<u>630</u>) <u>663</u> / <u>9900</u>
E-Mail: <u>DCapocci@LaMantia.com</u>
Contact Name: <u>Doug Capocci</u>

ADDRESS OF SIGN LOCATION: <u>420 E Ogden</u>
ZONING DISTRICT: <u>B-3 General Business District</u>
SIGN TYPE: <u>Monument Sign</u>
ILLUMINATION <u>Internally Illuminated</u>

*Illumination cannot exceed 50 foot-candles as defined in Section 9-106(E)(b)

Sign Information:
Overall Size (Square Feet): <u>39.71</u> (<u>2'-9"</u> x <u>14'-4"</u>)
Overall Height from Grade: <u>14'-9"</u> Ft.
Proposed Colors (Maximum of Three Colors):
① <u>Red</u>
② <u>Black</u>
③ <u>Yellow</u>

Site Information:
Lot/Street Frontage: <u>150.19'</u>
Building/Tenant Frontage: <u>129'-9"</u>
Existing Sign Information:
Business Name: <u>Ferrari (Pylon)</u>
Size of Sign: <u>39.71</u> Square Feet
Business Name: _____
Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

<u>[Signature]</u>	<u>03/05/2020</u>
Signature of Applicant	Date
<u>[Signature]</u>	<u>03/05/20</u>
Signature of Building Owner	Date

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant
Name: <u>Continental AutoSports</u>
Address: <u>420 E Ogden</u>
City/Zip: <u>Hinsdale, IL 60521</u>
Phone/Fax: (<u>630</u>) <u>655</u> / <u>3535</u>
E-Mail: <u>jkw@continentalmotors.com</u>
Contact Name: <u>Joel Weinberger</u>

Contractor
Name: <u>LaMantia Construction</u>
Address: <u>20 E Ogden</u>
City/Zip: <u>Hinsdale, IL 60521630</u>
Phone/Fax: (<u>630</u>) <u>663</u> / <u>9900</u>
E-Mail: <u>DCapocci@LaMantia.com</u>
Contact Name: <u>Doug Capocci</u>

ADDRESS OF SIGN LOCATION: <u>420 E Ogden</u> ZONING DISTRICT: <u>B-3 General Business District</u> SIGN TYPE: <u>Wall Sign</u> ILLUMINATION <u>Back Lit</u>
--

Sign Information: Overall Size (Square Feet): <u>108.6</u> (<u>24'-8"</u> x <u>4'-4 3/4"</u>) Overall Height from Grade: <u>18'-6"</u> Ft. Proposed Colors (Maximum of Three Colors): ① <u>Steel Chrome</u> ② _____ ③ _____
--

Site Information: Lot/Street Frontage: <u>150.19'</u> Building/Tenant Frontage: <u>129'-9"</u> Existing Sign Information: Business Name: <u>Ferrari (Wall)</u> Size of Sign: <u>73</u> Square Feet Business Name: _____ Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature] _____ Date 1/30/2020
Signature of Applicant

[Signature] _____ Date 1/30/2020
Signature of Building Owner

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant
Name: Continental AutoSports
Address: 420 E Ogden
City/Zip: Hinsdale, IL 60521
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Contact Name: Joel Weinberger

Contractor
Name: LaMantia Construction
Address: 20 E Ogden
City/Zip: Hinsdale, IL 60521630
Phone/Fax: (630) 663 / 9900
E-Mail: DCapocci@LaMantia.com
Contact Name: Doug Capocci

ADDRESS OF SIGN LOCATION: 420 E Ogden
ZONING DISTRICT: B-3 General Business District
SIGN TYPE: Wall Sign
ILLUMINATION Internally Illuminated

Sign Information:
Overall Size (Square Feet): 15.16 (3'-1" x 4'-11")
Overall Height from Grade: 18'-9" Ft.
Proposed Colors (Maximum of Three Colors):
① Red
② Black
③ Yellow

Site Information:
Lot/Street Frontage: 150.19'
Building/Tenant Frontage: 129'-9"
Existing Sign Information:
Business Name: Ferrari Logo (Wall)
Size of Sign: 15.16 Square Feet
Business Name: _____
Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Joel Weinberger
Signature of Applicant

1/30/2020
Date

[Signature]
Signature of Building Owner

1/30/2020
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE
Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)
Plan Commission Approval Date: _____ Administrative Approval Date: _____

WARNING



CALL BEFORE YOU DIG 800-800-0123

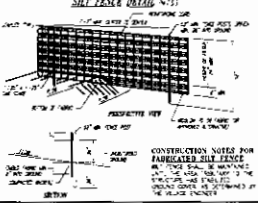
BENCHMARK: A PERMANENT BENCHMARK SHALL BE ESTABLISHED ON THE BASIS OF THE CONTROL POINT...

NOTES: EXISTING ELEVATION AND STRUCTURE MATERIALS TO BE REMOVED FROM THE SITE AND DISPOSED...

LEGEND table with symbols for various site features like utility lines, structures, and terrain.

GENERAL NOTES: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION CODE...

CONSTRUCTION SCHEDULE table with columns for activity and duration.

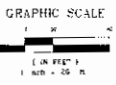


SITE PLAN, BOUNDARY AND TOPOGRAPHIC SURVEY OF

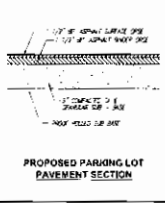
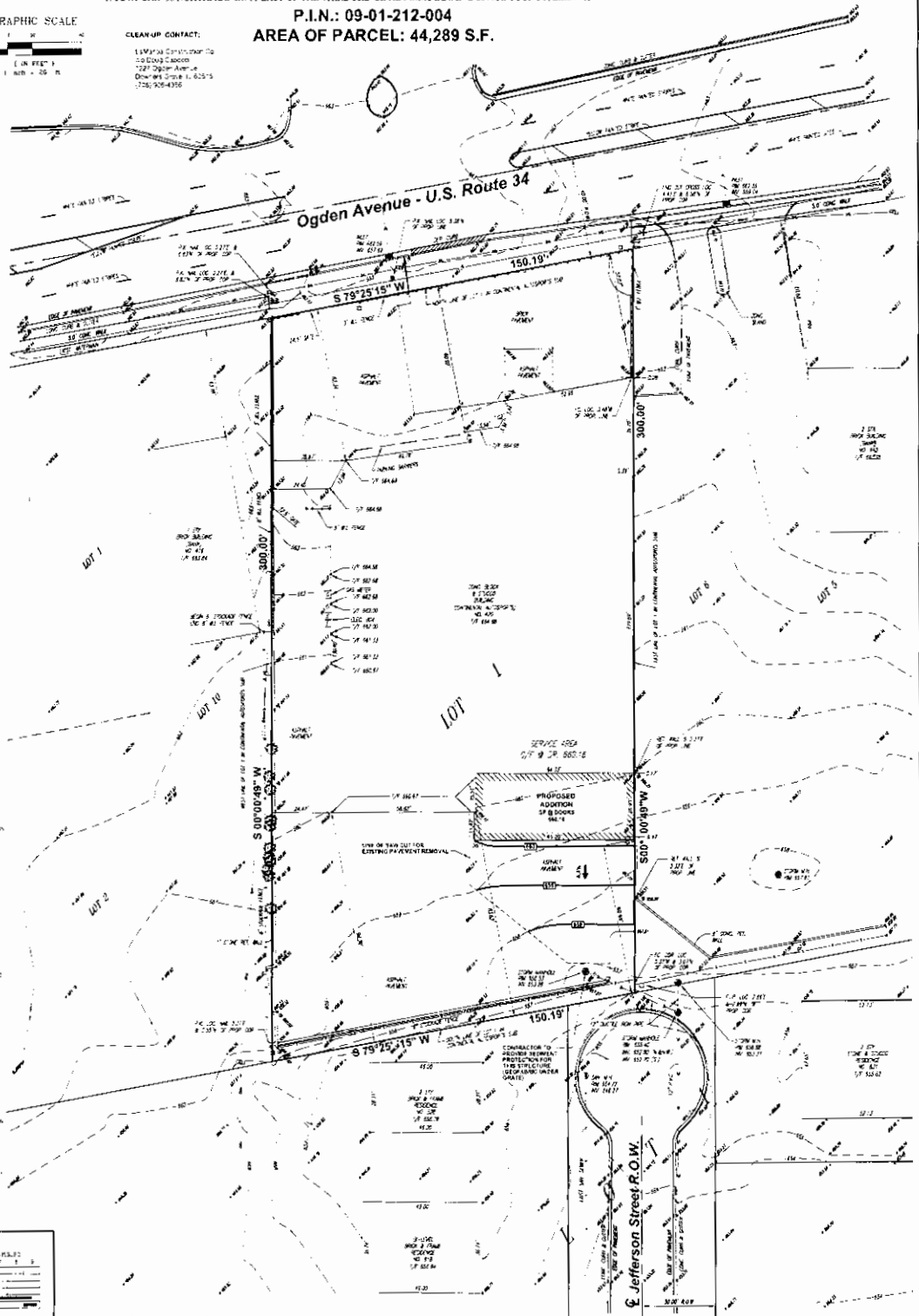
LOT 1 IN CONTINENTAL AUTOSPORTS, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

P.I.N.: 09-01-212-004 AREA OF PARCEL: 44,289 S.F.

CLEANUP CONTACT: 530 W. Madison Street, Chicago, IL 60601



Existing Lot Size: 44,289 S.F. Existing Drainage Conditions: 8,270 S.F. Road North to Ogden Ave.



PROFESSIONAL ENGINEER'S SEAL, STATE OF ILLINOIS, GENESIS SURVEYING AND ENGINEERING P.C., dated this 24th day of August 2010.

REVISIONS table with columns for date, description, and revision number.

Genesis Surveying and Engineering P.C. PROFESSIONAL DESIGN & SURVEY INC. 164-020102

SITE PLAN, BOUNDARY AND TOPOGRAPHIC SURVEY CONTINENTAL AUTOSPORTS HUNSDALE, IL 60521

PLANS PREPARED FOR LAMANTIA CONSTRUCTION CO. 1227 OGDEN AVENUE DOWNERS GROVE, IL 60515

PROJ. NO. 10-01-001, DRAWN BY D.S., DATE: 08-06-10

GENESIS JOB NO. 08-062 SHEET 1 OF 1

VILLAGE OF HINSDALE

ORDINANCE NO. O2013-10

AN ORDINANCE APPROVING A MAJOR ADJUSTMENT TO A PLANNED DEVELOPMENT FOR TWO NEW MONUMENT SIGNS AT 420 E. OGDEN – CONTINENTAL MOTORSPORTS

WHEREAS, a Planned Development for Continental Motorsports (the "Applicant") at 420 E. Ogden Avenue (the "Subject Property") was originally approved by Ordinance on October 19, 2010 (the "Planned Development"); and

WHEREAS, the Subject Property is improved with a Ferrari/Maserati auto dealership, and is legally described in Exhibit A attached hereto and made a part hereof; and

WHEREAS, part of the original approval of the Planned Development included an existing, outdated and non-conforming pylon sign that had been on the Subject Property for many years; and

WHEREAS, Ferrari/Maserati is now requiring the Applicant to update its signage and branding. Rather than simply replace the panel on the existing pylon sign, the Applicant is proposing to improve the site with the signage required and authorized by Ferrari/Maserati in the form of two monument signs (one for Ferrari and one for Maserati) that are more vertical in nature and less obtrusive than the existing pylon sign (the "proposed signs"). One sign would replace the existing pylon sign, and the second would be on the opposite side of the Subject Property, mirroring the size and setbacks of the first. Plans and specifications depicting the proposed signs are attached hereto as Exhibit B and made a part hereof; and

WHEREAS, replacing the existing sign with the proposed signs from Ferrari/Maserati requires several waivers due to the specific design requirements, and is a major adjustment to the approved final plan for the Planned Development requiring the approval of the Village Board pursuant to Subsections 11-603(L) and 11-603(K)(2) of the Hinsdale Zoning Code; and

WHEREAS, the Applicant has now submitted an application for a major adjustment to the Planned Development to allow for the proposed signs and related waivers on the Subject Property (the "Application"); and

WHEREAS, the Zoning and Public Safety Committee considered the Application at a public meeting on April 22, 2013 and, after finding the proposed signs and related waivers to be in substantial conformity with the Planned Development, recommended to this President and Board of Trustees approval of the major adjustment on a vote of 3-0 with 1 abstention; and

WHEREAS, the Board of Trustees of the Village have duly considered the recommendation of the Zoning and Public Safety Committee, and all of the materials, facts and circumstances affecting the Application, and find that the Application proposes changes to the approved final plan for the Planned Development that, as approved by this Ordinance, will be in substantial conformity with the approved final plan for the Planned Development, in conformance with Subsection 11-603(L) and 11-603(K)(2) of the Hinsdale Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the Board of Trustees.

SECTION 2: Approval of Major Adjustment to the Approved Planned Development. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and pursuant to Subsections 11-603(L) and 11-603(K)(2) of the Hinsdale Zoning Code, approve the major adjustment to the previously approved final plan for the Planned Development, to allow for the proposed signs and related waivers as follows:

- To allow two ground signs instead of the one allowed by Code;
- To allow a total square footage of 81.25 square-feet in lieu of the 50 square-feet allowed;
- To allow the Ferrari sign to have five colors in lieu of the three allowed by Code;
- To allow both signs to maintain the existing setback of the existing pylon sign, which would result in a front-yard setback of 8'-0" in lieu of the required 10'-0", and side-yard setbacks of 4'-0" in lieu of the 6'-0" required.
- To allow both signs to be 15.0 feet in height in lieu of the 8'-0" height allowed for the first sign and the 6'-0" height allowed for the second.

The Planned Development is hereby amended to the extent provided, but only to the extent provided, by the approvals granted herein.

SECTION 3: Conditions on Approvals. The approvals granted in Section 2 of this Ordinance are subject to the following conditions:

- A. **No Authorization of Work.** This Ordinance does not authorize the commencement of any work relative to installation of the signs. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind shall be commenced relative to the signs until all permits, approvals, and other authorizations for such work have been

properly applied for, paid for, and granted in accordance with applicable law.

- B. Compliance with Plans. All work relative to installation of the signs shall be undertaken only in strict compliance with the approved plans and specifications for the signs, including those attached hereto as **Exhibit B** and made a part hereof.
- C. Compliance with Codes, Ordinances, and Regulations. Except as specifically set forth in this Ordinance, the provisions of the Planned Development, the Hinsdale Municipal Code and the Hinsdale Zoning Code shall apply and govern the installation of the signs on the Subject Property. All work related to the signs shall comply with all Village codes, ordinances, and regulations at all times.
- D. Building Permits. The Applicant shall submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.

SECTION 4: Violation of Condition or Code. Any violation of any term or condition stated in this Ordinance, the Ordinance approving the Planned Development, any previous amendments thereto, or of any applicable code, ordinance, or regulation of the Village shall be grounds for rescission by the Board of Trustees of the approvals set forth in this Ordinance.

SECTION 5: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

SECTION 6: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED this 21st day of May 2013.

AYES: Trustees Elder, Angelo, Haarlow, Hughes, LaPlaca, Saigh

NAYS: None

ABSENT: None

APPROVED this 21st day of May 2013.



Thomas K. Cauley, Jr.
Thomas K. Cauley, Jr., Village President

Christine M. Bruton
Christine M. Bruton, Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE CONDITIONS OF THIS ORDINANCE:

By: *John Wemborg*

Its: *Tres.*

Date: *5/16/13*, 2013

EXHIBIT A

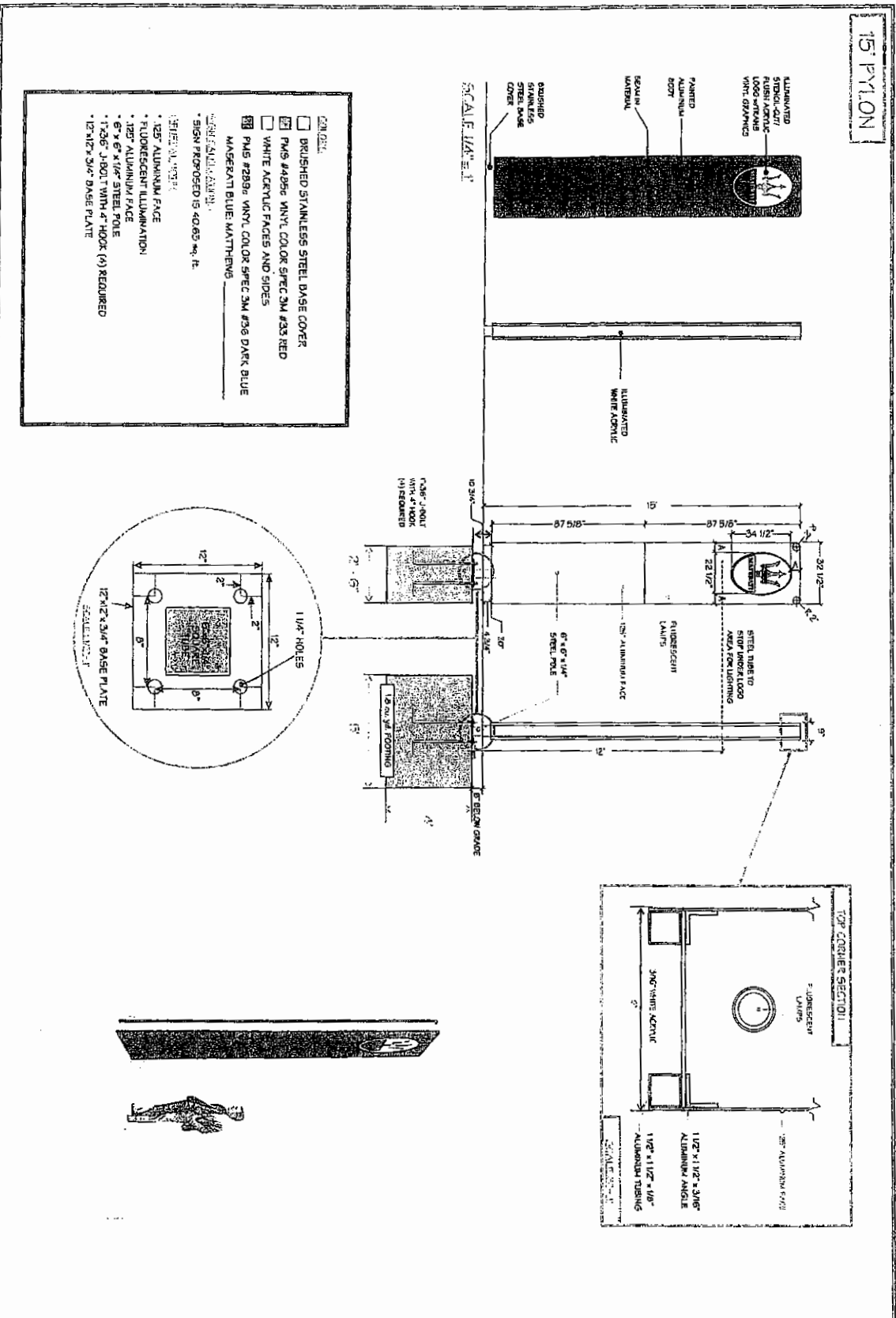
LOT 1 IN CONTINENTAL MOTORSPORTS, BEING A SUBDIVISION
OF PART OF THE NORTHEAST QUARTER OF SECTION 1,
TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

PIN: 09-01-212-004

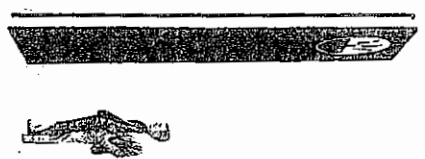
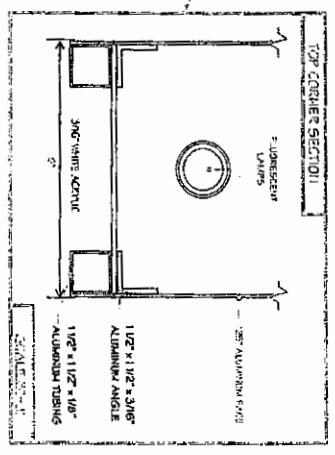
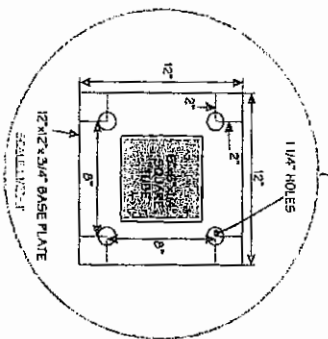
COMMONLY KNOWN AS: 420 E. OGDEN AVENUE, HINSDALE,
ILLINOIS

EXHIBIT B

**PLANS AND SPECIFICATIONS
(ATTACHED)**



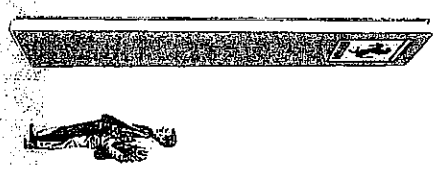
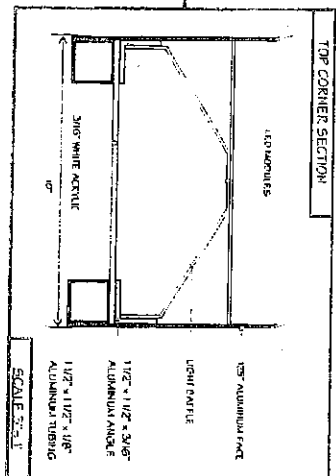
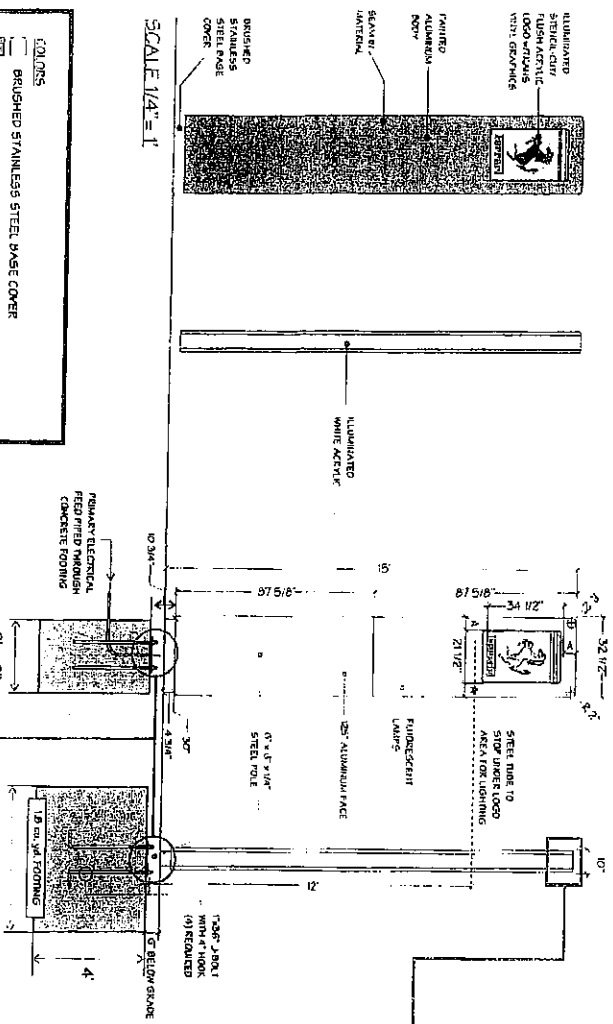
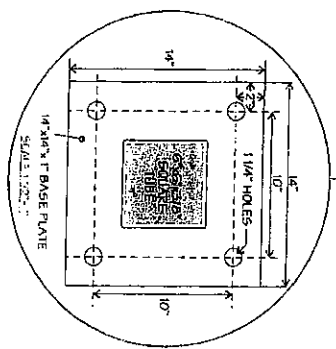
- 2" SCALE**
- BRUSHED STAINLESS STEEL BASE COVER
 - PMS #495C VINYL COLOR SPEC 3M #35 RED
 - WHITE ACRYLIC FACES AND SIDES
 - PMS #289B VINYL COLOR SPEC 3M #36 DARK BLUE
- MATERIALS:**
- SIGN PROPOSED IS 40.65 Hg. H.
 - 1/2" ALUMINUM FACE
 - FLUORESCENT ILLUMINATION
 - 1/2" ALUMINUM FACE
 - 6" x 6" 1/4" STEEL POLE
 - 1/2" J-BOLT WITH 4" HOOK (4) REQUIRED
 - 12" X 3 3/4" BASE PLATE



NATIONAL SIGN CORPORATION www.nationalsign.com 780 FORT 600 RD. DEERUN, CT PHONE (860) 829-9000	
PROJECT LOCATION 155 JOHN DETHSCH SQUARE NORTH ATTLEBORO, MA PHONE (508) 809-4636	CLIENT/CONTACT
DATE 11-05-12	PROJECT MANAGER TONY BAKER
DESIGNER DDD	REVISIONS
ORDER NO. 390295-01	REV. NO. 000
SCALE 1/8" = 1'-0"	PROJECT LOCATION 155 JOHN DETHSCH SQUARE NORTH ATTLEBORO, MA
DATE 11-05-12	PROJECT MANAGER TONY BAKER
DESIGNER DDD	REVISIONS
ORDER NO. 390295-01	REV. NO. 000
SCALE 1/8" = 1'-0"	PROJECT LOCATION 155 JOHN DETHSCH SQUARE NORTH ATTLEBORO, MA
DATE 11-05-12	PROJECT MANAGER TONY BAKER
DESIGNER DDD	REVISIONS
ORDER NO. 390295-01	REV. NO. 000
SCALE 1/8" = 1'-0"	PROJECT LOCATION 155 JOHN DETHSCH SQUARE NORTH ATTLEBORO, MA

SIGNAGE

- COLORS**
- BRUSHED STAINLESS STEEL BASE COVER
 - PMS 2486B VINYL COLOR SPEC. 3M 435 RED
 - WHITE ACRYLIC SIDES AND SIDES
 - PMS #356C GREEN
 - PMS # PROCESS YELLOW
 - MATTE BLACK
- MATERIALS:**
- SIGN PROPOSED IS 40.63 sq. ft.
 - ALUMINUM LETTERS
 - ACRYLIC LOGO WITH VINYL GRAPHICS
 - WHITE ACRYLIC SIDE PANELS
 - LED ILLUMINATION
 - .125" ALUMINUM FACE
 - 6" x 6" x 1/2" STEEL TUBE
 - 1.36" J-BOLT WITH 4" HOOK (4) REQUIRED
 - 12"x12"x.5/8" BASE PLATE
 - 5" D x 9" W x 2" L CONCRETE FOOTING (1.8-cu-ft)
 - ELECTRICAL FEED THROUGH FOOTING TO CENTER OF SIGN
 - ELECTRICAL REQUIREMENTS
 - (1) 20AMP-120 VOLT CIRCUIT



NATIONAL SIGN CORPORATION
www.nationalsign.com

780 FOUR ROD RD
BERLIN, CT
PHONE (860) 829-5060

195 JOHN RIESCH SQUARE
NORTH ATTLEBORO, MA
PHONE (508) 808-4636

DESIGNED BY: TON BAKER

DESIGNED BY: TON BAKER

DATE: 08-16-13

PROJECT: TOM BAKER

SCALE: 1/4" = 1'

CLIENT: VARIOUS LOCAL BUS

DESIGNER: MASEMAN ARCHITECTURE

PROJECT NO: 00000-03

SCALE: 1/4" = 1'

DATE: 08-16-13

PROJECT: TOM BAKER

SCALE: 1/4" = 1'

VILLAGE OF HINSDALE

ORDINANCE NO. 2010-49

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR A PLANNED DEVELOPMENT AND SITE PLANS AND EXTERIOR APPEARANCE PLANS FOR FAÇADE CHANGES FOR THE COMMERCIAL BUILDING LOCATED AT 420 EAST OGDEN AVENUE
(Plan Commission Case No. A-13-2010)**

WHEREAS, John Weinberger/Continental Motorports (the "Applicant") is the legal title owner of the property located at 420 East Ogden Avenue, Hinsdale, Illinois (the "Subject Property"), which Subject Property is legally described in Exhibit A, attached and incorporated herein by reference; and

WHEREAS, the Applicant has applied for a planned development, which is required to be processed as a special use in the B-3 General Business District, for the expansion of an existing car dealership at the Subject Property and the construction of improvements to the façade at the Subject Property; and

WHEREAS, the Hinsdale Plan Commission conducted a public hearing and deliberated on the Application on September 8, 2010, pursuant to notice thereof properly published in the Hinsdalean on August 19, 2010, and, after considering all of the testimony and evidence presented at the public hearing, the Plan Commission recommended approval of the Application subject to numerous conditions and recommendations, all as set forth in the Plan Commission's Findings and Recommendations for Plan Commission Case Number A-13-2010; and

WHEREAS, the Zoning and Public Safety Committee of the Board of Trustees of the Village of Hinsdale, at a public meeting on September 20, 2010, considered the Application and the Findings and Recommendation of the Plan Commission and made its recommendation to the Board of Trustees; and

WHEREAS, the President and Board of Trustees of the Village of Hinsdale have reviewed the recommendation of the Zoning and Public Safety Committee, the Findings and Recommendation of the Plan Commission, and all of the materials, facts, and circumstances related to the Application, and they find that the Application satisfies the standards set forth in the Hinsdale Zoning Code relating to the requested approvals, but only subject to the conditions set forth in this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

Section 1. Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

Section 2. Approval of a Special Use Permit for a Planned Development. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and by Sections 11-602 and 11-603 of the Hinsdale Zoning Code, approves a special use permit authorizing a Planned Development for the Subject Property for the expansion of an existing car dealership and the construction of improvements to the façade pursuant to the plans prepared by Styczynski, Walker and Associates, in the form attached hereto, and by this reference incorporated herein, as Exhibit B (the "Approved Detailed Plans"). The approval granted in this Section 2 is subject to the conditions set forth in Section 6 of this Ordinance.

Section 3. Modifications of Certain Zoning Code Regulations for the Property Located at 420 East Ogden Avenue. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and by Subsection 11-603H of the Hinsdale Zoning Code, modifies the following provisions of the Hinsdale Zoning Code for the property located at 420 East Ogden Avenue as part of the Planned Development, subject to the conditions set forth in Section 6 of this Ordinance:

- A. The number of parking spaces shall be 40 spaces rather than the required 100 spaces;
- B. There shall be no loading spaces rather than the required one (1) loading space;
- C. The front yard setback shall be 91.07 feet rather than the required 100 feet;
- D. There shall be no side yard (east) setback rather than the required 10 feet; and
- E. The total lot coverage shall be 100% rather than the required 90%.

Section 4. Approval of Site Plan. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and by Section 11-604 of the Hinsdale Zoning Code, hereby approves the site plan for the proposed development in the form attached hereto, and by this reference incorporated herein, as Exhibit C (the "Approved Site Plan"), subject to the conditions set forth in Section 6 of this Ordinance.

Section 5. Approval of Exterior Appearance Plans. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and

by Section 11-606 of the Hinsdale Zoning Code, hereby approves the exterior appearance plans for the planned development in the form attached hereto, and by this reference incorporated herein, as Exhibit B (the "Approved Exterior Appearance Plans"), subject to the conditions stated in Section 6 of this Ordinance.

Section 6. Conditions on Approvals. The approvals granted in Sections 2 through 5 of this Ordinance are granted expressly subject to all of the following conditions:

- A. No Authorization of Work. This Ordinance does not authorize the commencement of any work on the Subject Property. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind shall be commenced on the Subject Property until all conditions of this Ordinance precedent to such work have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Approved Plans. All development within the Subject Property shall be undertaken only in strict compliance with the Village-approved plans, including without limitation, the Approved Detailed Plans, the Approved Exterior Appearance Plans, the approved Site Plan and other Village-approved plans.
- C. Compliance with Codes, Ordinances, and Regulations. Except as specifically set forth in this Ordinance, the provisions of the Hinsdale Municipal Code and the Hinsdale Zoning Code shall apply and govern the development of the Subject Property. All such development shall comply with all Village codes, ordinances, and regulations at all times.
- D. Building Permits. The Applicant shall submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.

Section 7. Violation of Condition or Code. Any violation of (i) any term or condition stated in this Ordinance or (ii) any applicable code, ordinance, or regulation of the Village shall be grounds for the immediate rescission by the Board of Trustees of the approvals made in this Ordinance.

Section 8. Severability and Repeal of Inconsistent Ordinances. If any section, paragraph, clause or provision of this Ordinance shall be held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this Ordinance, and all ordinances, resolutions or orders, or

parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

Section 9. Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

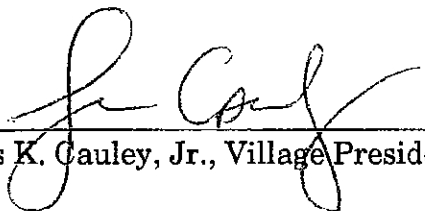
PASSED this 19th day of October 2010.

AYES: Trustees Angelo, Saigh, LaPlaca and Geoga

NAYS: None


ABSENT: Trustees Williams and Schultz

APPROVED this 19th day of October 2010.



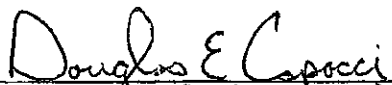
Thomas K. Cauley, Jr., Village President





Christine M. Bruton, Deputy Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE CONDITIONS OF THIS ORDINANCE:


By: as agent for Continental
Its:

Date: 10/14, 2010

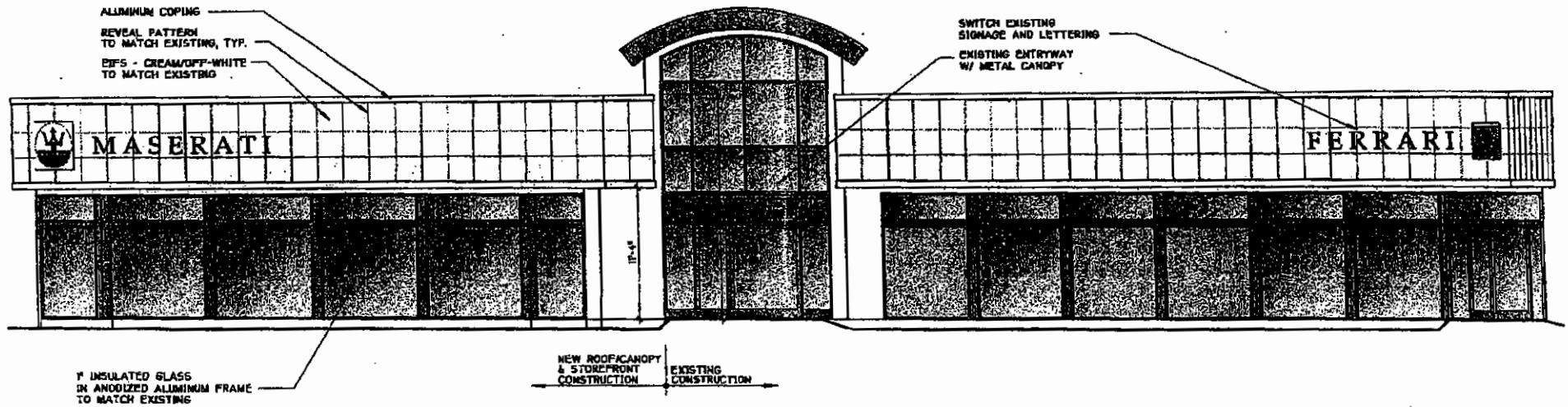
EXHIBIT A

LEGAL DESCRIPTION

LOT 1 IN CONTINENTAL AUTOSPORTS, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

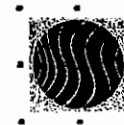
Continental AutoSports

420 E. Ogden Avenue, Hinsdale, Illinois



NORTH ELEVATION

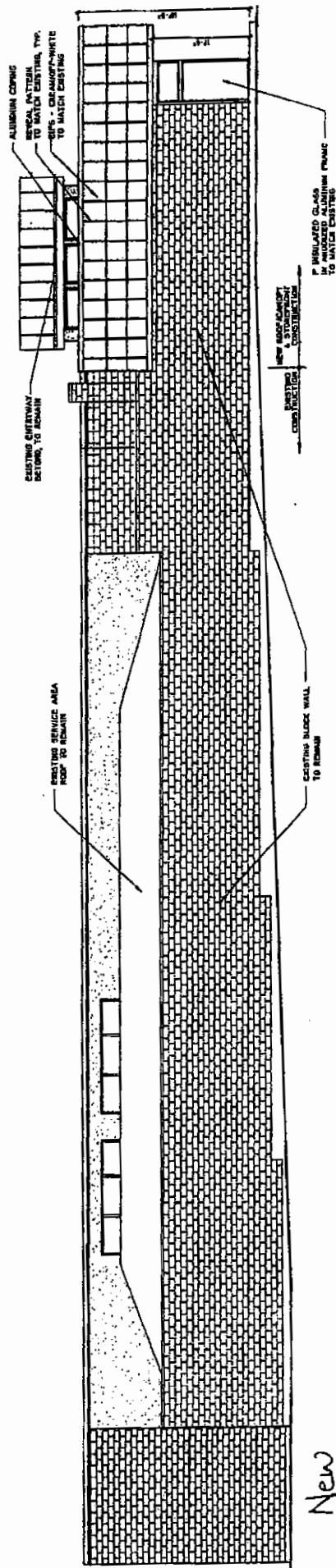
SCALE: 1/8" = 1'-0"



STYCZYNSKI WALKER & ASSOCIATES

architects

P.O. Box 1293 • Wheeling, Illinois 60550 • 630.769.2313



New
EAST ELEVATION

SCALE: 3/32" = 1'-0"

EXHIBIT

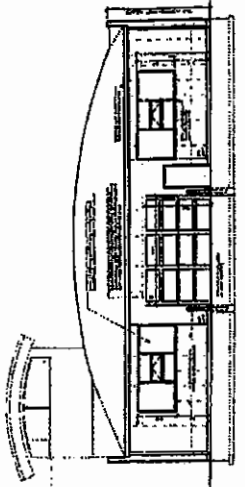
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09204
A4.1

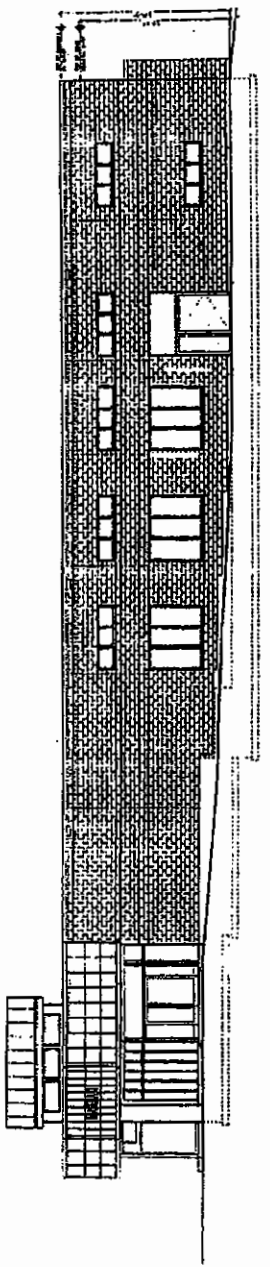
06/09/10
DATE OF THE NEXT ISSUE
PROJECT

Styczynski Walker & Associates
ARCHITECTS
P.O. Box 1233
Westport, Illinois
62591
TEL: 618/233-1111 FAX: 618/233-1111

Continental AutoSports Showroom/Roof Renovation
420 S. Ogden Avenue, Hinsdale, Illinois
LaMamba Construction Co., Inc.
1100 W. Ogden Avenue, Brookfield, Illinois
TEL: 708/433-3000 FAX: 708/433-3000



SOUTH ELEVATION



WEST ELEVATION

EXHIBIT 11
Exhibit Lot Size: 44,289 S.F.
Existing Drainage Conditions:
8,270 S.F. Area North to Ogden Ave.
20,019 S.F. Area South to Jefferson St.
Proposed Drainage Conditions:
Unchanged from existing.

SITE PLAN, BOUNDARY AND TOPOGRAPHIC SURVEY OF LOT 1 IN CONTINENTAL AUTOSPORTS, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 25 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPage COUNTY, ILLINOIS.

P.I.N.: 09-01-212-004
AREA OF PARCEL: 44,289 S.F.



OLSON & COMPANY
Landscape Construction Co.
2400 DuPage Ave.
1207 Chapel Grove
Downers Grove, IL 60515
(708) 484-1300

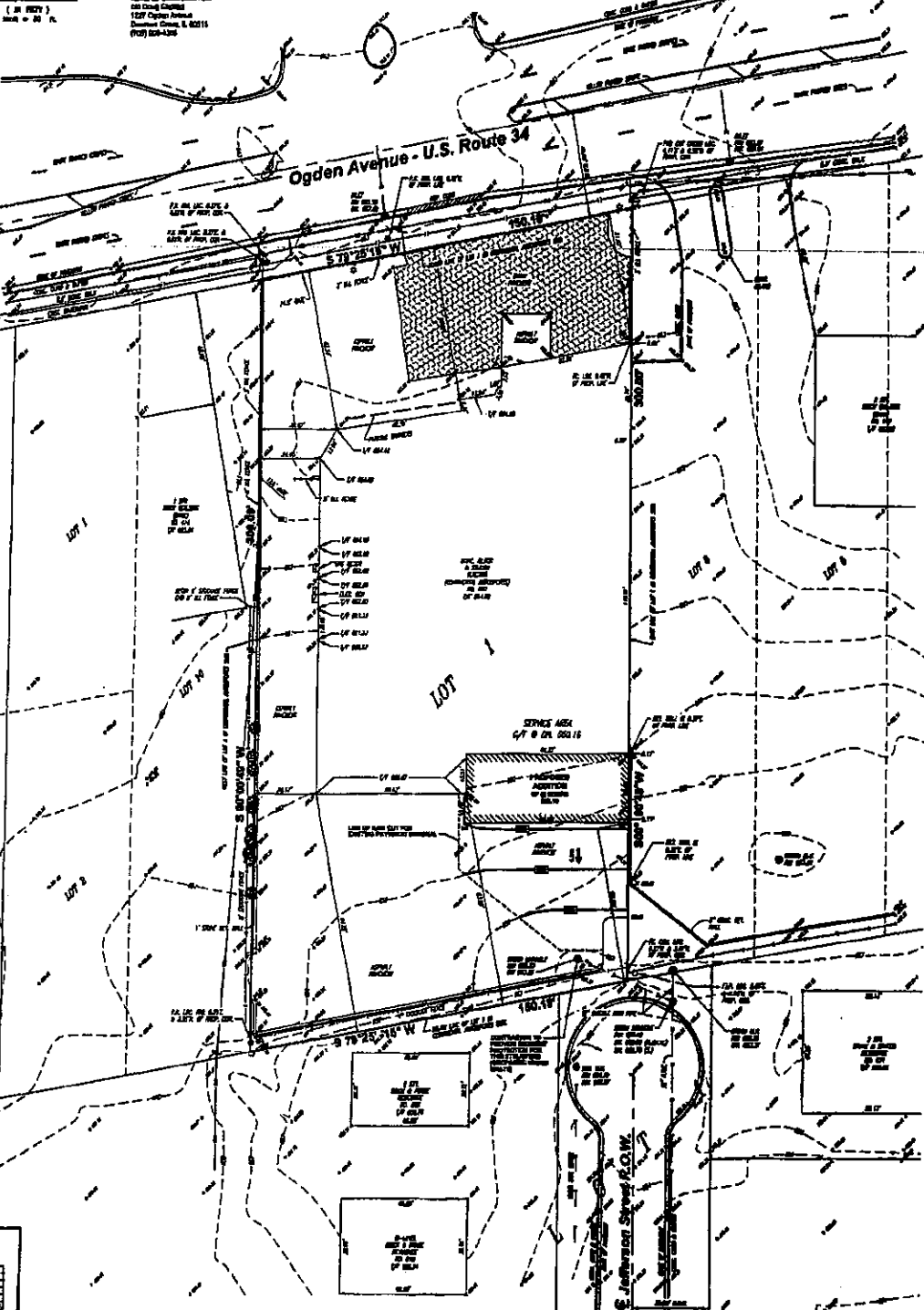
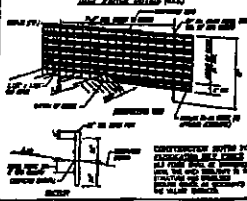
BENCHMARK:
A BENCHMARK IS AN ELEMENT ESTABLISHED IN CONNECTION WITH THE CONTROL POINTS TO BE PLACED AT THE HORIZONTAL CORNER OF THE LOT AND TO BE PLACED AT THE CORNER OF THE LOT.

ELEVATION BENCH:
THE BENCH MARK IS A CONCRETE OR METAL MARK SET IN PLACE TO BE PROTECTED FROM THE SITE AND IMPROVED TO REMAIN AS A BENCHMARK FOR THE ENTIRE LIFE OF THE PROJECT.

- Legend symbols for various site features like trees, structures, and boundaries.

GENERAL NOTES:
ALL CONCRETE AND MASONRY IMPROVEMENTS SHALL BE CONFORMED TO THE REQUIREMENTS WITH APPROVAL FROM THE PERMISSIBLE CODES.
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES LOCATED NEARBY AND SHALL MAINTAIN SAME THROUGHOUT THE CONSTRUCTION PERIOD.
ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED WITH MATERIALS MATCHING EXISTING MATERIALS.
THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
ALL UTILITIES SHALL BE RELOCATED TO THE PROPERTY LINE OR AS REQUIRED BY THE PERMISSIBLE CODES.

CONSTRUCTION SCHEDULE	
NO.	DESCRIPTION
1	Site Preparation
2	Foundation
3	Structural Steel
4	Roofing
5	Exterior Finishes
6	Interior Finishes
7	Mechanical/Electrical
8	Final Inspection



PROFESSIONAL ENGINEER'S SEAL

STATE OF ILLINOIS
COUNTY OF DUPage
I, OLSON & COMPANY, P.C., a limited liability partnership, being duly licensed and qualified as a Professional Engineer, do hereby certify that the enclosed drawings and specifications have been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Illinois.
DATE THIS _____ DAY OF _____, A.D. 20__

Genetic Surveying and Engineering, P.C.
PROFESSIONAL DESIGN FIRM No. 114-02222
8055 BATTLEDOWN ROAD SUITE 102
WANDERSVILLE ILLINOIS 60558
PH 630-833-8200 FAX 630-833-8202

SITE PLAN, BOUNDARY AND TOPOGRAPHIC SURVEY
CONTINENTAL AUTOSPORTS
HINSDALE, IL 60521
DATE OF FIELD WORK COMPLETION: 04-26-05

PLANS PREPARED FOR:
LAMANTIA CONSTRUCTION CO.
1121 OGDEN AVENUE
DOWNERS GROVE, IL 60515

REVISIONS	
NO.	DATE
1	04-26-05

DRAWERS JOB NO.
08-062
SHEET 1 OF 1

Attachment 3: Street View of 420 E. Ogden Ave.

Proposed Ground Sign Location



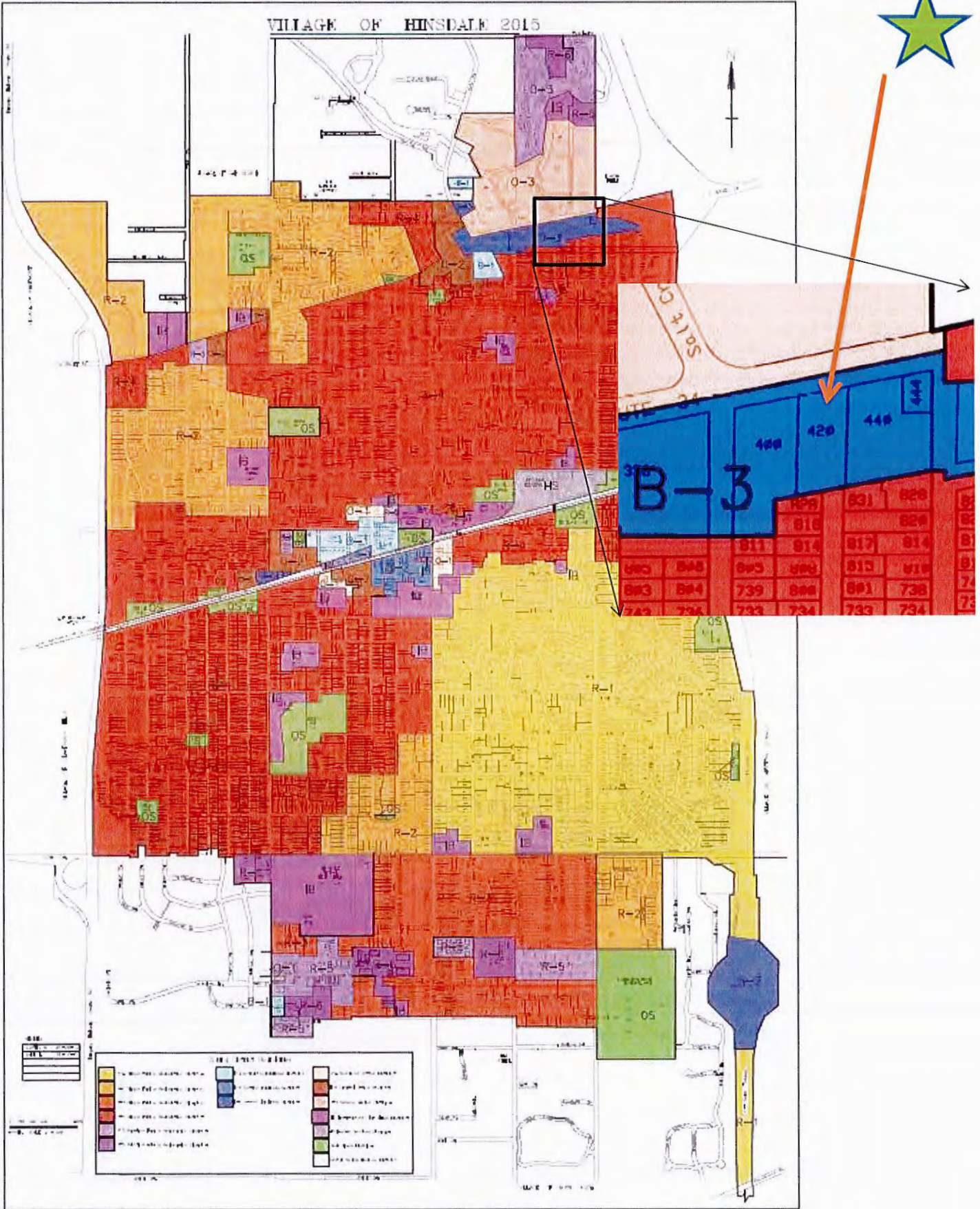
Attachment 3: Street View of 420 E. Ogdan Ave. (facing South)



Attachment 3: Street View of 420 E. Ogden Ave. (facing southwest)



Attachment 4: Village of Hinsdale Zoning Map and Project Location



Attachment 5: Aerial View of 420 E. Ogden Avenue



Attachment 5

Attachment 6: Birds Eye View of 420 E. Ogden Avenue (facing south)




Definition of “Substantial Conformity” per the Zoning Code Section 12-206

Substantial Conformity: For the purposes of granting plan approvals relating to planned developments and site plans, a newly submitted plan shall be deemed to be in substantial conformity with a previously approved plan if, but only if, the newly submitted plan:

- A. Does not increase the number of dwelling units, the gross floor area of the development, or the gross floor area devoted to any particular use; and
- B. Does not increase building coverage by more than ten percent (10%) of the percentage of the previously approved plan; and
- C. Does not change the orientation of any building by more than two percent (2%) compared to the previously approved plan; and
- D. Does not decrease open space; and
- E. Does not change the general location of any open space in any manner to detract from its intended function in the previously approved plan; and
- F. Does not change the general location and arrangement of land uses within the development as shown on the previously approved plan; and
- G. Does not change or relocate rights of way shown on the previously approved plan in any manner or to any extent that would decrease their functionality, adversely affect their relation to surrounding land use and rights of way elements, or reduce their effectiveness as buffers or amenities; and
- H. Does not alter the percentage of any land use in any stage of the development by more than ten (10) percentage points as compared to its percentage in the previously approved plan; and
- I. Does not delay any stage of the previously approved development schedule by more than twelve (12) months; and
- J. Does not violate any applicable law or ordinance; and
- K. Does not depart from the previously approved plan in any other manner determined by the reviewing body or official, based on stated findings and conclusions, to be a material deviation from the previously approved plan.



REQUEST FOR BOARD ACTION
Finance

AGENDA SECTION: Consent – ACA
SUBJECT: Accounts Payable-Warrant #1717
MEETING DATE: April 7, 2020
FROM: Darrell Langlois, Finance Director 

Recommended Motion

Approve payment of the accounts payable for the period of March 17, 2020 through April 7, 2020 in the aggregate amount of \$1,688,943.13 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk.

Background

At each Village Board meeting the Village Treasurer submits a warrant register that lists bills to be paid and to ratify any wire transfers that have been made since the last Village Board meeting. Supporting materials for all bills to be paid are reviewed by Village Treasurer and one Village Trustee prior to the Village Board meeting.

Discussion & Recommendation

After completion of the review by the Village Treasurer and Village Trustee approval of Warrant #1717 is recommended.

Budget Impact

N/A

Village Board and/or Committee Action

Village Board agenda policy provides that the Approval of the Accounts Payable should be listed on the Consent Agenda

Documents Attached

1. Warrant Register #1717

VILLAGE OF HINSDALE

ACCOUNTS PAYABLE WARRANT REGISTER #1717

FOR PERIOD March 17, 2020 through April 7, 2020

The attached Warrant Summary by Fund and Warrant Register listing TOTAL DISBURSEMENTS FOR ALL FUNDS of \$1,688,943.13 reviewed and approved by the below named officials.

APPROVED BY Samuel J. Langlois DATE 4/3/20
VILLAGE TREASURER/FINANCE DIRECTOR

APPROVED BY _____ DATE _____
VILLAGE MANAGER

APPROVED BY _____ DATE _____
VILLAGE TRUSTEE

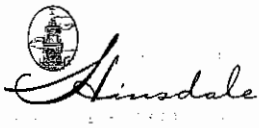
Village of Hinsdale
#1717
Summary By Fund

Receipts By Fund	Fund	Regular Checks	ACH/Wire Transfers	Total
General Fund	100	256,891.89	171,750.58	428,642.47
2013A Bond Fund	305	475.00	-	475.00
Capital Project Fund	400	931,871.48	-	931,871.48
Water & Sewer Operations	600	30,503.19	-	30,503.19
Water & Sewer Capital	620	4,966.00	-	4,966.00
Escrow Funds	720	27,650.00	-	27,650.00
Flexible Benefit Fund	730	662.58		662.58
Payroll Revolving Fund	740	11,812.17	252,347.49	264,159.66
Library Operating Fund	900	12.75	-	12.75
Total		1,264,845.06	424,098.07	1,688,943.13

Village of Hinsdale
Schedule of Bank Wire Transfers and ACH Payments
1717

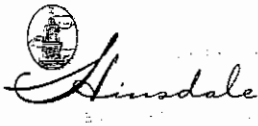
DATE	DESCRIPTION	CREDIT/MEMO	AMOUNT
Electronic Federal Tax Payment Systems			
3/20/2020	Village Payroll #6 - Calendar 2020	FWH/FICA/Medicare	\$ 88,960.58
4/3/2020	Village Payroll #7 - Calendar 2020	FWH/FICA/Medicare	\$ 84,900.19
Illinois Department of Revenue			
3/20/2020	Village Payroll #6 - Calendar 2020	State Tax Withholding	\$ 18,911.38
4/3/2020	Village Payroll #7 - Calendar 2020	State Tax Withholding	\$ 18,200.37
ICMA - 457 Plans			
3/20/2020	Village Payroll #6 - Calendar 2020	Employee Withholding	\$ 18,308.68
4/3/2020	Village Payroll #7 - Calendar 2020	Employee Withholding	\$ 17,694.41
HSA PLAN CONTRIBUTION			
3/20/2020	Village Payroll #6 - Calendar 2020	Employer/Employee Withholding	\$ 1,185.94
4/3/2020	Village Payroll #7 - Calendar 2020	Employer/Employee Withholding	\$ 4,185.94
Intergovernmental Personnel Benefit Cooperative		Employee Insurance	\$ 171,750.58
Illinois Municipal Retirement Fund		Employer/Employee	\$ -
Total Bank Wire Transfers and ACH Payments			\$ 424,098.07

ipbc-general	171,750.58
payroll	<u>252,347.49</u>
	424,098.07



Warrant Register 1717

Invoice	Description	Invoice/Amount
AMERICAN EXPRESS		
8-03003-031020	MISC FEB CHARGES	2,605.90
8-03003-031020	MISC FEB CHARGES	49.95
8-03003-031020	MISC FEB CHARGES	59.95
8-03003-031020	MISC FEB CHARGES	0.99
8-03003-031020	MISC FEB CHARGES	35.00
8-03003-031020	MISC FEB CHARGES	-349.99
8-03003-031020	MISC FEB CHARGES	-0.86
Check Date 3/19/2020 Total For Check # 105553		2,400.94
BMO HARRIS BANK N.A. PYMT		
FEB2020	FEB2020 CHARGES	5.88
FEB2020	FEB2020 CHARGES	24.90
FEB2020	FEB2020 CHARGES	20.00
FEB2020	FEB2020 CHARGES	1,384.11
FEB2020	FEB2020 CHARGES	13.99
FEB2020	FEB2020 CHARGES	13.98
FEB2020	FEB2020 CHARGES	1,709.64
FEB2020	FEB2020 CHARGES	30.84
FEB2020	FEB2020 CHARGES	129.99
FEB2020	FEB2020 CHARGES	28.99
FEB2020	FEB2020 CHARGES	199.99
FEB2020	FEB2020 CHARGES	349.99
FEB2020	FEB2020 CHARGES	25.00
FEB2020	FEB2020 CHARGES	95.02
FEB2020	FEB2020 CHARGES	42.50
FEB2020	FEB2020 CHARGES	49.80
FEB2020	FEB2020 CHARGES	144.52
FEB2020	FEB2020 CHARGES	348.08
FEB2020	FEB2020 CHARGES	4.53
FEB2020	FEB2020 CHARGES	5.00
FEB2020	FEB2020 CHARGES	7.00
FEB2020	FEB2020 CHARGES	15.96
FEB2020	FEB2020 CHARGES	15.96
FEB2020	FEB2020 CHARGES	19.49
FEB2020	FEB2020 CHARGES	16.99
FEB2020	FEB2020 CHARGES	17.93
FEB2020	FEB2020 CHARGES	17.99



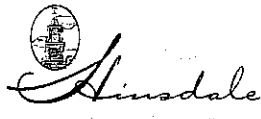
Warrant Register 1717

Invoice	Description	Invoice/Amount
FEB2020	FEB2020 CHARGES	4.93
FEB2020	FEB2020 CHARGES	29.98
FEB2020	FEB2020 CHARGES	108.26
FEB2020	FEB2020 CHARGES	57.35
FEB2020	FEB2020 CHARGES	15.99
FEB2020	FEB2020 CHARGES	21.60
FEB2020	FEB2020 CHARGES	-57.35
FEB2020	FEB2020 CHARGES	41.98
FEB2020	FEB2020 CHARGES	24.99
FEB2020	FEB2020 CHARGES	245.00
FEB2020	FEB2020 CHARGES	5.00
FEB2020	FEB2020 CHARGES	51.00
FEB2020	FEB2020 CHARGES	90.25
FEB2020	FEB2020 CHARGES	51.00
FEB2020	FEB2020 CHARGES	25.90
FEB2020	FEB2020 CHARGES	46.68
FEB2020	FEB2020 CHARGES	19.99
FEB2020	FEB2020 CHARGES	95.00
FEB2020	FEB2020 CHARGES	127.45
FEB2020	FEB2020 CHARGES	100.00
FEB2020	FEB2020 CHARGES	12.99
FEB2020	FEB2020 CHARGES	58.76
FEB2020	FEB2020 CHARGES	104.49
FEB2020	FEB2020 CHARGES	390.00
FEB2020	FEB2020 CHARGES	350.00
FEB2020	FEB2020 CHARGES	34.51
FEB2020	FEB2020 CHARGES	695.00
FEB2020	FEB2020 CHARGES	250.00
FEB2020	FEB2020 CHARGES	510.00
FEB2020	FEB2020 CHARGES	62.15
FEB2020	FEB2020 CHARGES	43.52
FEB2020	FEB2020 CHARGES	75.06
FEB2020	FEB2020 CHARGES	330.26
	Check Date 3/19/2020 Total For Check # 105554	8,759.81
BNSF RAILWAY COMPANY		
20-64998-A	2020 INFRASTRUCTURE PROJ	4,966.00
	Check Date 3/19/2020 Total For Check # 105555	4,966.00



Warrant Register 1717

Invoice	Description	Invoice/Amount
ILLINOIS ENVIRONMENTAL		
PROJ L17-4511- APR20	PRINCIPAL & INTEREST	11,081.13
PROJ L17-4511- APR20	PRINCIPAL & INTEREST	1,787.30
	Check Date 3/19/2020 Total For Check # 105556	12,868.43
ASBAHI, MAZEN		
24838	KLM SEC DEP EN190414	200.00
	Check Date 3/19/2020 Total For Check # 105557	200.00
TULLIS, STEVEN		
031320	FLEX SPENDING REIMBURSE	662.58
	Check Date 3/19/2020 Total For Check # 105558	662.58
ZIEMER, ANDREW		
031820	TUITION REIMBURSE	680.40
	Check Date 3/19/2020 Total For Check # 105559	680.40
AFLAC-FLEXONE		
032020	AFLAC COVERAGE	270.51
032020	AFLAC COVERAGE	190.88
032020	AFLAC COVERAGE	385.26
	Check Date 3/19/2020 Total For Check # 105560	846.65
NATIONWIDE RETIREMENT SOL		
032020	457 BENEFIT	525.00
032020	457 BENEFIT	101.52
	Check Date 3/19/2020 Total For Check # 105561	626.52
NATIONWIDE TRUST CO FSB		
032020	PEHP CONTRIBUTIONS	409.59
032020	PEHP CONTRIBUTIONS	2,326.53
032020	PEHP CONTRIBUTIONS	589.76
	Check Date 3/19/2020 Total For Check # 105562	3,325.88
STATE DISBURSEMENT UNIT		
032020	CHILD SUPPORT PAYMENT	230.77
	Check Date 3/19/2020 Total For Check # 105563	230.77
VSP ILLINOIS - 30048087		
032020	VISION INSURANCE	134.33
032020	VISION INSURANCE	380.25
	Check Date 3/19/2020 Total For Check # 105564	514.58



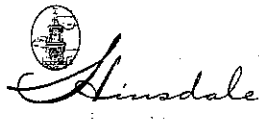
Warrant Register 1717

Invoice	Description	Invoice/Amount
EKL,WILLIAMS & PROVENZALE LLC		
040120	RETAINER FEE	2,500.00
	Check Date 4/1/2020 Total For Check # 105565	2,500.00
3G SAFETY SUPPLY		
191199	SVC CALIBRATION 2 METERS	140.00
	Check Date 4/7/2020 Total For Check # 105566	140.00
A BLOCK MARKETING INC		
LC00015541	WOOD CHIP DISPOSAL	30.00
LC00015539	LOG DISPOSAL	30.00
LC00015469	WOOD CHIP DISPOSAL	30.00
LC00015848	WOOD CHIP DISPOSAL	30.00
	Check Date 4/7/2020 Total For Check # 105567	120.00
ALLIED GARAGE DOOR INC		
148760	REPAIRS TO OVERHEAD BY DOOR	510.50
	Check Date 4/7/2020 Total For Check # 105568	510.50
AMALGAMATED BK OF CHICAGO		
TRUST #1855164008	ADMIN FEE GO REF BONDS 2013A-LIB	475.00
	Check Date 4/7/2020 Total For Check # 105569	475.00
AMERICAN LITHOGRAPHY		
255948	BROCHURE PRINTING	7,289.00
	Check Date 4/7/2020 Total For Check # 105570	7,289.00
AMITA HEALTH		
032008	FEB 2020 EXEC HEALTH CHARGES	150.00
	Check Date 4/7/2020 Total For Check # 105571	150.00
ANDRES MEDICAL BILLING LT		
248520	FEB COLLECTIONS	2,269.14
	Check Date 4/7/2020 Total For Check # 105572	2,269.14
ASTRO OPTICS LLC		
SI-129240	BANDING STRAP	146.63
	Check Date 4/7/2020 Total For Check # 105573	146.63
AT & T		
63032338639258- FEB	VEECK PARK-WP 2-14/3/13	323.97
	Check Date 4/7/2020 Total For Check # 105574	323.97



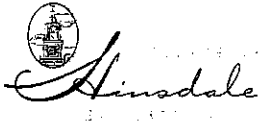
Warrant Register 1717

Invoice	Description	Invoice/Amount
ATLAS BOBCAT LLC		
BH11370	TIRE REPAIR KIT	70.53
BH1194	AIR FILTERS - #105	118.93
	Check Date 4/7/2020 Total For Check # 105575	189.46
AWWA		
7001762578	AWWA MEMBERSHIP FEE	2,131.00
	Check Date 4/7/2020 Total For Check # 105576	2,131.00
BAECORE GROUP		
153-08	DESKTOP PROCEDURES ACCOUNTING	4,290.00
	Check Date 4/7/2020 Total For Check # 105577	4,290.00
BAGSPOT PET WASTE		
BGSPT-4942	POO BAGS FOR KLM	1,170.00
	Check Date 4/7/2020 Total For Check # 105578	1,170.00
BEACON SSI INCORPORATED		
91557	WP FUEL SYSTEM INSPECTION	125.00
91601	WP FUEL SYSTEM INSPECTION	585.00
91558	MONTHLY ISPECT FUEL TANK-FEB	125.00
	Check Date 4/7/2020 Total For Check # 105579	835.00
BULLSEYE TELECOM		
35717030	PHONE CHARGES-MAR20	682.33
35717030	PHONE CHARGES-MAR20	71.37
35717030	PHONE CHARGES-MAR20	66.77
35717030	PHONE CHARGES-MAR20	267.09
35717030	PHONE CHARGES-MAR20	66.77
35717030	PHONE CHARGES-MAR20	645.34
35717030	PHONE CHARGES-MAR20	317.08
35717030	PHONE CHARGES-MAR20	71.37
35717030	PHONE CHARGES-MAR20	66.77
35717030	PHONE CHARGES-MAR20	138.14
35717030	PHONE CHARGES-MAR20	44.66
	Check Date 4/7/2020 Total For Check # 105580	2,437.69
CALL ONE		
220218	PHONE CHARGES MAR	1,052.72
220218	PHONE CHARGES MAR	3,321.06
220218	PHONE CHARGES MAR	204.97
220218	PHONE CHARGES MAR	126.09
220218	PHONE CHARGES MAR	235.26



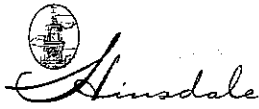
Warrant Register 1717

Invoice	Description	Invoice/Amount
220218	PHONE CHARGES MAR	125.57
	Check Date 4/7/2020 Total For Check # 105581	5,065.67
CDW-GOVERNMENT INC.		
VJV6182	ZEBRA PRINTER	628.60
XCC1152	LAPTOPS	1,430.74
	Check Date 4/7/2020 Total For Check # 105582	2,059.34
CHICAGOLAND CIRCULATION		
2298	SUMMER 2020 BROCHURES DELIVERY	1,006.50
	Check Date 4/7/2020 Total For Check # 105583	1,006.50
CINTAS CORPORATION 769		
4044434302	MAT SERVICE	22.85
4044434302	MAT SERVICE	27.42
4044434302	MAT SERVICE	21.39
4044434302	MAT SERVICE	12.15
4044434302	MAT SERVICE	46.07
4044434302	MAT SERVICE	42.97
14923383	FLOOR MATS	22.85
14923383	FLOOR MATS	27.42
14923383	FLOOR MATS	21.39
14923383	FLOOR MATS	12.15
14923383	FLOOR MATS	46.07
14923383	FLOOR MATS	42.97
5016271496	PUB SVC REFILL MED CABINET	258.28
	Check Date 4/7/2020 Total For Check # 105584	603.98
CITI CARDS		
005300011637	OFFICE SUPPLIES	93.97
	Check Date 4/7/2020 Total For Check # 105585	93.97
CLARK BAIRD SMITH LLP		
12357	LEGAL FILE FEB	13,216.25
	Check Date 4/7/2020 Total For Check # 105586	13,216.25
COEO SOLUTIONS		
1031719	FIBER INTERNET CONNECT	2,302.43
	Check Date 4/7/2020 Total For Check # 105587	2,302.43
COLLEGE OF DUPAGE		
12151	CLASS	149.00
	Check Date 4/7/2020 Total For Check # 105588	149.00



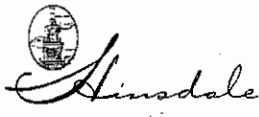
Warrant Register 1717

Invoice	Description	Invoice/Amount
COMCAST		
8771201110009242- MAR	PD/FD 3/16 TO 4/15	69.78
8771201110009242- MAR	PD/FD 3/16 TO 4/15	69.77
Check Date 4/7/2020 Total For Check # 105589		139.55
COMED		
0015093062	57TH STREET	360.99
0075151076	ELEANOR PARK	761.43
0203017056	WARMING HOUSE/PADDLE HUT	324.13
0203065105	CHESTNUT PARKING	39.80
0381057101	CLOCK TOWER	25.23
0395122068	STREET LIGHTS	52.26
0417073048	314 SYMONDS DR	436.93
0471095066	FOUNTAIN	39.02
0499147045	BURLINGTON PARK	29.19
0639032045	ROBBINS PARK	19.74
0697168013	STREET LIGHTS	34.00
0825110049	PD CAMERA-440 E OGDEN	31.17
1107024145	LANDSCAPE LIGHTS 650	26.80
1993023010	RADIO EQUIPMENT FD	199.25
2378029015	WASHINGTON	37.84
2425068008	VEECK PARK	399.28
3454039030	VEECK PARK-WP	979.45
6583006139	BURLINGTON PARK	25.23
7011157008	NS CBQ RR	28.81
7011378007	PIERCE PARK	155.88
7011481018	WALNUT STREET	26.06
7093551008	KLM LODGE	871.13
7093551008	KLM LODGE	217.78
7261620005	SAFETY TOWN	20.37
8521083007	ROBBINS PARK	646.53
8521342001	TRAIN STATION	717.16
Check Date 4/7/2020 Total For Check # 105590		6,505.46
COMED		
8521400008	WATER PLANT	35.18
8605174005	BROOK PARK	347.71
8605437007	POOL	471.10



Warrant Register 1717

Invoice	Description	Invoice/Amount
8689206002	ELEANOR PARK	35.96
8689480008	STOUGH PARK	19.40
8689640004	BURNS FIELD	22.82
	Check Date 4/7/2020 Total For Check # 105591	932.17
COMED-6112		
1653148069	TRAFFIC SIGNALS	46.92
	Check Date 4/7/2020 Total For Check # 105592	46.92
COMMERCIAL COFFEE SERVICE		
157582	PUB SVC COFFEE	117.00
	Check Date 4/7/2020 Total For Check # 105593	117.00
COMMUNICATIONS DIRECT		
IN156865	HEAD PHONE AIR SEALS FOR VEHICLE	131.80
	Check Date 4/7/2020 Total For Check # 105594	131.80
COMPASS MINERALS AMERICA		
594769	BULK ROCK SALT	8,645.26
603490	BULK ROCK SALT	9,113.99
	Check Date 4/7/2020 Total For Check # 105595	17,759.25
CONRAD POLYGRAPH, INC		
3849	CANDIDATE POLYGRAPH	160.00
	Check Date 4/7/2020 Total For Check # 105596	160.00
CONSTELLATION NEWENERGY		
2841240	GAS 2-1 TO 2-29-20	638.35
2841240	GAS 2-1 TO 2-29-20	638.34
2841240	GAS 2-1 TO 2-29-20	1,284.01
2841240	GAS 2-1 TO 2-29-20	1,227.15
2841240	GAS 2-1 TO 2-29-20	401.13
2841240	GAS 2-1 TO 2-29-20	1,061.06
	Check Date 4/7/2020 Total For Check # 105597	5,250.04
CORE & MAIN LP		
M035945	50X1" WATER METER COUPLINGS	875.00
M035934	MXU'S AND TOUCHPADS	3,850.00
	Check Date 4/7/2020 Total For Check # 105598	4,725.00
COURTNEYS SAFETY LANE		
301169957	SAFETY LANE #15	40.50
3013161	SAFETY INSPECTION #15	40.50
3013155	SAFETY INSPECTION MED85	40.50
	Check Date 4/7/2020 Total For Check # 105599	121.50



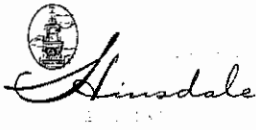
Warrant Register 1717

Invoice	Description	Invoice/Amount
DAILY HERALD PADDOCK PUB		
44635	LEGAL AD-KLM TENNIS HUT	278.30
	Check Date 4/7/2020 Total For Check # 105600	278.30
DAVE SOLTWISCH PLUMBING		
47770447J	PD STATION REPAIRS	564.00
	Check Date 4/7/2020 Total For Check # 105601	564.00
DEPENDENT SPECIALIST INC		
1992	GO LIVE-DEPENDENT VERIFICATION	1,000.00
	Check Date 4/7/2020 Total For Check # 105602	1,000.00
DETECTION SYSTEMS &		
A24612	POOL REPAIR	360.00
A24613	KLM PADDLE HUT REPAIR	1,470.00
	Check Date 4/7/2020 Total For Check # 105603	1,830.00
DIRECT ADVANTAGE INC		
1899	MARCH 2020 RETAINER FEE	1,500.00
	Check Date 4/7/2020 Total For Check # 105604	1,500.00
DISCOUNT FENCE		
309799	FENCE REPAIR KLM	985.00
	Check Date 4/7/2020 Total For Check # 105605	985.00
DISCOVERY BENEFITS		
0001134295-IN	FSA MONTHLY-FEB 2020	12.75
0001134295-IN	FSA MONTHLY-FEB 2020	12.75
0001134295-IN	FSA MONTHLY-FEB 2020	12.75
0001134295-IN	FSA MONTHLY-FEB 2020	21.25
0001134295-IN	FSA MONTHLY-FEB 2020	4.25
0001134295-IN	FSA MONTHLY-FEB 2020	4.25
0001134295-IN	FSA MONTHLY-FEB 2020	12.75
	Check Date 4/7/2020 Total For Check # 105606	80.75
DOCU-SHRED, INC.		
46377	BIN DESTRUCTION	80.00
45706	DOCUMENT DESTRUCTION	40.00
	Check Date 4/7/2020 Total For Check # 105607	120.00
DREISILKER ELECTRIC MOTORS INC		
1149625	REPLACE MOTOR FAN UNIT	323.82
	Check Date 4/7/2020 Total For Check # 105608	323.82



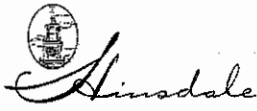
Warrant Register 1717

Invoice	Description	Invoice/Amount
DUPAGE COUNTY DIV OF TRAN		
4487	NO PARKING SIGNS	113.28
	Check Date 4/7/2020 Total For Check # 105609	113.28
DUPAGE MAYORS & MANAGERS		
11022A	JAN 20 LEGISLATIVE MTG	110.00
	Check Date 4/7/2020 Total For Check # 105610	110.00
EA MEDICAL, LLC		
111503	EDU-435	8,130.00
	Check Date 4/7/2020 Total For Check # 105611	8,130.00
ECOTURF MIDWEST INC		
18793	TREE WATERING BAGS	1,600.00
	Check Date 4/7/2020 Total For Check # 105612	1,600.00
ETP LABS, INC		
20-134332	MONTHLY DISTRIBUTION SAMPLES	216.00
	Check Date 4/7/2020 Total For Check # 105613	216.00
FACTORY MOTOR PARTS CO		
50-2763313	GREASE GUNS FOR UNIT #15	51.98
50-2753521	BLOWER MOTOR CONNECTION-#825	52.56
	Check Date 4/7/2020 Total For Check # 105614	104.54
FIRE SAFETY CONSULTANTS		
2020-31	3RD PARTY SUPPSN/DET REVIEW	225.00
2020-141	3RD PARTY SUPPSN/DET REVIEW	1,148.50
	Check Date 4/7/2020 Total For Check # 105615	1,373.50
FIRESTONE STORES		
132328	NEW TIRES #32	589.36
	Check Date 4/7/2020 Total For Check # 105616	589.36
FORESTRY SUPPLIERS		
665757-00	TOOLS FOR PRAIRIE BURN	104.50
	Check Date 4/7/2020 Total For Check # 105617	104.50
FULLERS SERVICE CENTER IN		
175-FEB20	CAR WASHES-FEB	216.00
82298911548	CAR WASH	8.00
	Check Date 4/7/2020 Total For Check # 105618	224.00
GALLS		
015057301	UNIFORM	52.69
015000392	UNIFORM-GLOVES	23.30



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Invoice	Description	Invoice/Amount
015096387	UNIFORM ALLOW	92.40
015057297	UNIFORM ALLOW	51.76
	Check Date 4/7/2020 Total For Check # 105619	220.15
GOVTEMPS USA, LLC		
297924	CONSULTING 2/2-2/9 D'ONOFRIO	978.25
2989301	CONSULT HOURS-WEEK 3/1 & 3/8	616.00
2989300	CONSULT HOURS 3/1 & 3/8	2,280.88
2924366	TEMP HELP	1,842.75
	Check Date 4/7/2020 Total For Check # 105620	5,717.88
GRAINGER, INC.		
801691684	BOOT SCRUBBER	24.07
	Check Date 4/7/2020 Total For Check # 105621	24.07
GREAT LAKES CONCRETE, LLC		
237105	SEWER PIPE REPAIR COUPLINGS	198.66
	Check Date 4/7/2020 Total For Check # 105622	198.66
HOLLAND HARDWARE		
031257	WINDOW SCREEN REPAIR	52.18
	Check Date 4/7/2020 Total For Check # 105623	52.18
HOME DEPOT CREDIT SERVICE		
MAR2020	MISC HARDWARE	73.83
MAR2020	MISC HARDWARE	55.92
MAR2020	MISC HARDWARE	153.93
MAR2020	MISC HARDWARE	197.32
MAR2020	MISC HARDWARE	265.74
MAR2020	MISC HARDWARE	15.92
MAR2020	MISC HARDWARE	19.00
MAR2020	MISC HARDWARE	18.20
MAR2020	MISC HARDWARE	7.94
MAR2020	MISC HARDWARE	5.36
	Check Date 4/7/2020 Total For Check # 105624	813.16
IGFOA		
320316	2020 DUES	100.00
	Check Date 4/7/2020 Total For Check # 105625	100.00
IL JUVENILE OFFICER ASSOC		
031920	IJOA/DJOA CONF	175.00
	Check Date 4/7/2020 Total For Check # 105626	175.00



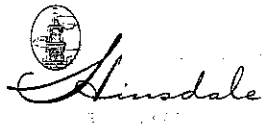
Warrant Register 1717

Invoice	Description	Invoice/Amount
ILLINOIS FIRE CHIEFS ASSN		
2020-3075	ANNUAL DUES	450.00
	Check Date 4/7/2020 Total For Check # 105627	450.00
ILLINOIS TOLLWAY		
G127000003215	TOLL FEES	138.67
	Check Date 4/7/2020 Total For Check # 105628	138.67
INDUSTRIAL ELECTRIC		
6101	POLICE CAMERA ELECTRIC PARTS	3.83
6100	POLICE CAMERA ELECTRIC PARTS	317.62
6102	POLICE CAMERA ELECTRIC PARTS	340.00
6099	KLM STREET LIGHT REPAIR	409.20
6097	STREET LIGHT REPAIR	5.00
6098	BALLAST FOR BOARD ROOM	70.00
	Check Date 4/7/2020 Total For Check # 105629	1,145.65
INTERNATIONAL EXTERMINATO		
03-1375	PEST CONTROL	273.00
	Check Date 4/7/2020 Total For Check # 105630	273.00
INTERSTATE BILLING SERVIC		
3018414444	RADIATOR HOSE/THERMOSTAT	107.47
	Check Date 4/7/2020 Total For Check # 105631	107.47
IRMA		
SALES0018161	FEB DEDUCTIBLE	3,974.75
	Check Date 4/7/2020 Total For Check # 105632	3,974.75
JOHNSON CONTROLS SECURITY		
34003897	BURNS FOB SYSTEM	1,097.30
	Check Date 4/7/2020 Total For Check # 105633	1,097.30
JS WHITE ASSOCIATES LLC		
1165	MARCH ACCOUNTING SVCS	3,348.00
1143	ACCOUNTING SVC-FEB	6,678.00
	Check Date 4/7/2020 Total For Check # 105634	10,026.00
KATHLEEN W BONO CSR		
8441	HISTORIC PRES COMMISSION	1,333.10
	Check Date 4/7/2020 Total For Check # 105635	1,333.10
KH KIMS TAE KWON DO		
031220	WINTER 2020 SESSION	643.50
	Check Date 4/7/2020 Total For Check # 105636	643.50



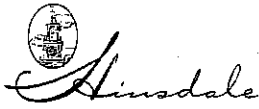
Warrant Register 1717

Invoice	Description	Invoice/Amount
KIPPS LAWNMOWER SALES		
484964	SNOWBLOWER PARTS	37.26
484985	IDLER SPRING-SNOWBLOWER PART	4.55
	Check Date 4/7/2020 Total For Check # 105637	41.81
KLEIN, THORPE, JENKINS LTD		
208971-208979	LEGAL FEES THRU 2/29/20	19,973.44
	Check Date 4/7/2020 Total For Check # 105638	19,973.44
LAKESHORE RECYCLING SYS		
PS312289	CBD STREET SWEEP	208.08
	Check Date 4/7/2020 Total For Check # 105639	208.08
LAPSHIN, TRACY		
WS20	WS20 FENCING	1,091.20
	Check Date 4/7/2020 Total For Check # 105640	1,091.20
LINCHPIN SEO		
16102	KLM MARKETING MARCH 2020	400.00
	Check Date 4/7/2020 Total For Check # 105641	400.00
LINDCO EQUIPMENT SALES IN		
200248P	SOLE SOURCE	1,105.47
	Check Date 4/7/2020 Total For Check # 105642	1,105.47
LOWER DESPLAINES		
264	MEMBERSHIP DUES THRU 2/28/21	3,335.00
	Check Date 4/7/2020 Total For Check # 105643	3,335.00
MAC SPORTS GROUP		
17155	SKYHAWKS-T-BALL	608.30
	Check Date 4/7/2020 Total For Check # 105644	608.30
MACQUEEN EQUIPMENT LLC		
P00563	PROXIMITY SWITCH FOR ENGINE	179.80
	Check Date 4/7/2020 Total For Check # 105645	179.80
MANGANIELLO, JIM		
MARCH2020	MARCH METER READINGS	77.50
	Check Date 4/7/2020 Total For Check # 105646	77.50
MAZEPA, DANIEL		
031920	CONFERENCE	200.00
	Check Date 4/7/2020 Total For Check # 105647	200.00



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Invoice	Description	Invoice/Amount
MCMASTER-CARR		
35987014	LPR EXTENTION/CAMERA PARTS	196.04
	Check Date 4/7/2020 Total For Check # 105648	196.04
MENARDS		
44979	LIGHT TIMER	10.67
45022	TRASH BAGS	19.94
45024	TRASH BAGS	89.73
45182	GARDEN HOSE & LEAD HOSE	117.96
45031	CLEANING SUPPLIES	7.99
45031	CLEANING SUPPLIES	7.99
45031	CLEANING SUPPLIES	7.99
45031	CLEANING SUPPLIES	7.99
45031	CLEANING SUPPLIES	7.99
45031	CLEANING SUPPLIES	15.06
	Check Date 4/7/2020 Total For Check # 105649	293.31
MENNON RUBBER & SAFETY		
38383	UNIFORM ALLOWANCE	255.23
	Check Date 4/7/2020 Total For Check # 105650	255.23
MICHAEL TODD & CO INC		
170615	#91 BOBCAT BROOM BRUSHES	580.19
	Check Date 4/7/2020 Total For Check # 105651	580.19
MIDWEST PAVING EQUIP		
1781	ASPHALT RECYCLER & HOT BOX	19,420.00
	Check Date 4/7/2020 Total For Check # 105652	19,420.00
MINER ELECTRONICS		
15290	UNIT #6/UNIT #2 W WAY RADIOS	986.00
	Check Date 4/7/2020 Total For Check # 105653	986.00
MUNICIPAL EMERGENCY SVCS		
IN1434291	6 SCBA MASK	1,523.92
IN1407825	REPLACE BATTERIES-THERMAL	1,074.00
	Check Date 4/7/2020 Total For Check # 105654	2,597.92
NAPA AUTO PARTS		
4343-650082	ANTIFREEZE	107.94
4343-651589	FLASHLIGHTS	25.99
4343-651589	FLASHLIGHTS	25.99
	Check Date 4/7/2020 Total For Check # 105655	159.92



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Invoice	Description	Invoice/Amount
NELS J JOHNSON TREE EXPT		
131705	TREE PRUNING PER CONTRACT	3,984.75
131718	TREE PRUNING PER CONTRACT	680.00
131758	TREE PRUNING PER CONTRACT	5,755.75
131759	TREE PRUNING PER CONTRACT	1,762.75
131708	TREE PRUNING PER CONTRACT	1,546.75
131719	TREE PRUNING-ROBBINS PARK	785.00
	Check Date 4/7/2020 Total For Check # 105656	14,515.00
NEUCO INC		
4312214	CONTROL BOARD-POOL	228.53
	Check Date 4/7/2020 Total For Check # 105657	228.53
NICOR GAS		
13270110003	350 N VINE-2/15-3/17/20	301.29
12952110000	5905 S COUNTY LINE 2/16-3/19	239.25
06677356575	PLATFORM TENNIS 2/16-3/19	641.78
38466010006	121 SYMONDS 2/17-3/17	64.97
38466010006	121 SYMONDS 2/17-3/17	64.97
90077900000	YOUTH CENTER 2/16-3/17	267.27
	Check Date 4/7/2020 Total For Check # 105658	1,579.53
NUCO2 INC		
62497002	CYLINDER RENTAL	100.63
	Check Date 4/7/2020 Total For Check # 105659	100.63
NUTOYS LEISURE PRODUCTS		
50102	PLAYGROUND REPLACEMENT PARTS	3,651.10
50118	PLAYGROUND REPAIR PARTS	38.00
	Check Date 4/7/2020 Total For Check # 105660	3,689.10
ONE STEP		
157248	SWIM/DIVE LESSON	217.31
	Check Date 4/7/2020 Total For Check # 105661	217.31
JABER, NORA		
24854	KLM SEC DEP #24854 COVID-19	950.00
	Check Date 4/7/2020 Total For Check # 105662	950.00
LANE, MEGAN		
210941	CLASS CANCEL	30.00
	Check Date 4/7/2020 Total For Check # 105663	30.00



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Invoice	Description	Invoice/Amount
LI, XIONG		
24754	STMWR-556 N COUNTY LN-#24754	11,950.00
	Check Date 4/7/2020 Total For Check # 105664	11,950.00
NIELD, CHRISTOPHER & LYNN		
25220	CONT BD-801 THE PINES #25220	4,500.00
	Check Date 4/7/2020 Total For Check # 105665	4,500.00
REBRAG INC-434 E 6TH ST		
24347	STMWR BD-5597 S OAK #24347	11,200.00
	Check Date 4/7/2020 Total For Check # 105666	11,200.00
ORBIS SOLUTIONS		
5570016	AFTER HOURS SUPPORT	525.00
5569994	EMERG IT SUPPORT SET-UP COVID-19	5,137.50
	Check Date 4/7/2020 Total For Check # 105667	5,662.50
PERSONNEL STRATEGIES LLC		
030520	PD PSYCH EXAMS	1,100.00
	Check Date 4/7/2020 Total For Check # 105668	1,100.00
PRAXAIR DISTRIBUTION, INC		
90511298	CYLINDER RENTAL	116.25
	Check Date 4/7/2020 Total For Check # 105669	116.25
RAILROAD MANAGEMENT CO		
404290	60" STORM PIPE EASEMENT CROSSING	517.85
	Check Date 4/7/2020 Total For Check # 105670	517.85
RAY O'HERRON CO INC		
2011698-IN	GLOVE POUCH	20.74
	Check Date 4/7/2020 Total For Check # 105671	20.74
REMPE-SHARPE & ASSOCIATES INC		
27339	2020 MAINT PROJ-VOB APPROVE 2/4/20	37,992.78
	Check Date 4/7/2020 Total For Check # 105672	37,992.78
ROMEVILLE FIRE ACADEMY		
2020-063	FIRE ACADEMY	2,950.00
	Check Date 4/7/2020 Total For Check # 105673	2,950.00
SHERWIN WILLIAM-WESTMONT		
8339-1	GRAFFITI REMOVER	31.44
	Check Date 4/7/2020 Total For Check # 105675	31.44

VOID 105674



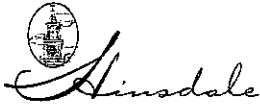
Warrant Register 1717

Invoice	Description	Invoice/Amount
SOIL AND MATERIAL CONSULT		
45095	QA/QC TESTING FOR DECK	45.00
	Check Date 4/7/2020 Total For Check # 105676	45.00
SUBURBAN DOOR CHECK		
IN524280	REPLACE HR LOCK	108.00
IN524248	REPAIR LOCK KEYS	171.50
	Check Date 4/7/2020 Total For Check # 105677	279.50
TASC-CLIENT INVOICES		
IN1734688	ADMIN FEE	294.84
	Check Date 4/7/2020 Total For Check # 105678	294.84
TELCOM INNOVATIONS GROUP		
34764	ANNUAL AGREEMENT 4-10-20 TO 4-9-21	2,425.00
	Check Date 4/7/2020 Total For Check # 105679	2,425.00
THE HINSDALEAN		
7313	#V-01-20	188.00
7345	LEGAL NOTICE	117.00
7374	#A-08-2020	188.00
	Check Date 4/7/2020 Total For Check # 105680	493.00
THE LIFEGUARD STORE		
inv967170	ADA STAIRS POOL	4,784.00
	Check Date 4/7/2020 Total For Check # 105681	4,784.00
THE POLICE & SHERIFFS		
131918	ID CARDS FOR FIRE DEPT	369.65
	Check Date 4/7/2020 Total For Check # 105682	369.65
THIRD MILLENIUM		
24510	VEHICLE STICKER APPS & MAILING	6,997.01
24547	UTILITY BILLING 3/4/20	1,105.10
	Check Date 4/7/2020 Total For Check # 105683	8,102.11
THOMPSON ELEVATOR INSPEC		
841916997	FEB CLEAR CHARGES	201.75
	Check Date 4/7/2020 Total For Check # 105684	201.75
TRAFFIC CONTROL & PROTECT		
103263	STREET NAME SIGN BLANKS	326.90
103389	STREET NAME SIGNS	699.50
103488	VEHICLE STICKER NUMBERS	66.05
	Check Date 4/7/2020 Total For Check # 105685	1,092.45



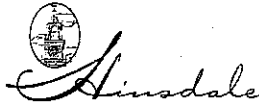
Warrant Register 1717

Invoice	Description	Invoice/Amount
TRESSLER, LLP		
415009	PROF FEES THRU 2/29/20	1,500.00
415010	PROF FEE THRU 2/29/20	2,400.00
415011	PROF FEES THRU 2/29/20	1,758.00
	Check Date 4/7/2020 Total For Check # 105686	5,658.00
TRUSTWORTHY CLEANING		
14	FEB LODGE CLEANING	540.00
	Check Date 4/7/2020 Total For Check # 105687	540.00
TYLER TECHNOLOGIES, INC		
045-295009	SAAS CONTRACT IMPLEMENTATION	1,280.00
	Check Date 4/7/2020 Total For Check # 105688	1,280.00
ULINE		
117595991	CLORAX WIPES	193.95
	Check Date 4/7/2020 Total For Check # 105689	193.95
UPS STORE #3276		
11076	SHIPPING PKG-PUB WORKS	24.00
	Check Date 4/7/2020 Total For Check # 105690	24.00
US GAS		
331052	MEDICAL OXYGEN REPLACEMENT	133.47
	Check Date 4/7/2020 Total For Check # 105691	133.47
VERIZON WIRELESS		
9849337442	IPADS & MDT'S	189.02
9849337442	IPADS & MDT'S	521.45
9849337442	IPADS & MDT'S	86.37
9849043786	VOICE & MOBILE BROADBAND	88.05
	Check Date 4/7/2020 Total For Check # 105692	884.89
VIGILANT SOLUTIONS, LLC		
31258ri	MOBILE PARKING LPR	18,330.00
	Check Date 4/7/2020 Total For Check # 105693	18,330.00
VILLAGE TRUE VALUE HDWE		
234221	PHONE CABLE & CONNECTIONS	30.57
234529	SUMP PUMP	80.82
234529	SUMP PUMP	80.83
264580	FD HOOKUP FAX	30.57
	Check Date 4/7/2020 Total For Check # 105694	222.79



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Invoice	Description	Invoice/Amount
VULCAN CONST MATERIALS LL		
32222434	CA-6 STONE BACKFILL	540.87
	Check Date 4/7/2020 Total For Check # 105695	540.87
WAREHOUSE DIRECT INC		
4598141-0	JANITORIAL SUPPLIES	145.39
4602665-0	OFFICE SUPPLIES	359.05
4605141-0	OFFICE SUPPLIES	81.77
4598713-0	OFFICE SUPPLIES	438.49
4598713-1	OFFICE SUPPLIES	6.59
4603043-0	OFFICE SUPPLIESZ	56.70
4611721-0	OFFICE SUPPLY	199.99
4553013-0	OFFICE SUPPLIES	70.40
4553013-0	OFFICE SUPPLIES	70.40
C4584646-0	CREDIT	-105.78
4606517-0	OFFICE SUPPLY	37.00
4606508-0	OFFICE SUPPLY	51.59
4604913-0	JANITORIAL SUPPLIES	296.41
4626828-0	OFFICE SUPPLIES	534.11
4626828-0	OFFICE SUPPLIES	8.79
	Check Date 4/7/2020 Total For Check # 105696	2,250.90
WESTSIDE TRACTOR		
N90592	NEW CHIPPER FILTERS #105	111.86
	Check Date 4/7/2020 Total For Check # 105697	111.86
WIGHT CONSTRUCTION		
PAYMENT #16	PAYMENT APPLICATION #16	893,833.70
	Check Date 4/7/2020 Total For Check # 105698	893,833.70
ZOLL MEDICAL CORP		
3016216	CHARGE TO DIAGNOSE AED	241.32
	Check Date 4/7/2020 Total For Check # 105699	241.32
AFLAC-FLEXONE		
040320	AFLAC INSURANCE COVERAGE	270.51
040320	AFLAC INSURANCE COVERAGE	385.26
040320	AFLAC INSURANCE COVERAGE	190.88
	Check Date 4/2/2020 Total For Check # 105700	846.65



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Invoice	Description	Invoice/Amount
COLONIAL LIFE PROCESSING		
040320	COLONIAL LIFE INSURANCE	92.36
	Check Date 4/2/2020 Total For Check # 105701	92.36
ILLINOIS FRATERNAL ORDER		
040320	UNION DUES	864.00
	Check Date 4/2/2020 Total For Check # 105702	864.00
NATIONWIDE RETIREMENT SOL		
040320	457 CONTRIBUTIONS	525.00
040320	457 CONTRIBUTIONS	101.82
	Check Date 4/2/2020 Total For Check # 105703	626.82
NATIONWIDE TRUST CO FSB		
040320	PEHP CONTRIBUTIONS	409.59
040320	PEHP CONTRIBUTIONS	2,326.53
040320	PEHP CONTRIBUTIONS	615.05
	Check Date 4/2/2020 Total For Check # 105704	3,351.17
NCPERS GRP LIFE INS#3105		
040320	ADDITIONAL LIFE INSURANCE	256.00
	Check Date 4/2/2020 Total For Check # 105705	256.00
STATE DISBURSEMENT UNIT		
040320	CHILD SUPPORT PAYMENT	230.77
	Check Date 4/2/2020 Total For Check # 105706	230.77
	Total For ALL Checks	1,264,845.06



REQUEST FOR BOARD ACTION
Finance

AGENDA SECTION: Second Reading/Non-Consent– ACA
SUBJECT: Animal and Vehicle License Deadline Extension
MEETING DATE: April 7, 2020
FROM: Darrell Langlois, Assistant Village Manager/Finance Director

Recommended Motion

Waive the first reading and approve extending the purchase date for animal and vehicle licenses to June 15, 2020 and delay the imposition of late fees for vehicles licenses purchased until June 16, 2020.

Background

At the end of February, animal and vehicle license (or vehicle “stickers”) renewal notices were sent to all Village residents. On March 2, animal licenses and vehicle stickers officially went on sale to the public. The Village Code requires that animal vehicle licenses are purchased by April 30 each year, and the Village Code imposes a \$25 penalty on all vehicle stickers purchased after May 1.

Discussion & Recommendation

As of March 31, the number of vehicle stickers sold is approximately 800 below the same point in the prior year. Some of this delay is likely due to the COVID-19 situation. With the Governor’s shelter in place order now being extended at least through April 30 and the fact that some residents may have been recently laid off from work or experienced other financial hardship, this will likely continue to have an impact of vehicle sticker sales. Due to the potential impact of these issues on Village residents, Village staff recommends that the required purchase date for animal and vehicle licenses be extended to June 15 and that penalties for vehicle stickers not be imposed until June 16. Please note that we have received a couple of emails from Village residents on this issue, and similar payment accommodations are being made nationally in response to COVID-19

With the deadline soon approaching and in order to communicate this extension as quickly as possible to Village residents, staff recommends waving the first reading of this item.

Budget Impact

There is no budget impact due to this recommendation as this will only extend the time for people to pay.

Village Board and/or Committee Action

N/A

Documents Attached

None



REQUEST FOR BOARD ACTION
Administration

AGENDA SECTION: ZPS Second Read Non-Consent
SUBJECT: Transfer of Village Land Parcel to IL Tollway
MEETING DATE: April 7, 2020
FROM: Kathleen Gargano, Village Manager, Bradley Bloom, Assistant Village Manager/Director of Public Safety

Recommended Motion

Approve the execution of a deed and permanent easement of parcel 085 and 085P transferring parcels from the Village of Hinsdale to the Illinois Tollway.

Background

The Village's Intergovernmental Agreement (IGA) with the Tollway included the transfer of Parcel 085 to the Tollway. The Tollway has since determined that they now wish to change a portion of Parcel 085 to a permanent easement, which is illustrated on the attached plat as "085P".

Parcel 085P is located near the cul-de-sac where Mills intersects with the south side of the pedestrian bridge, and includes 1,431' square feet. Per the IGA, the Tollway has agreed to restore any portion of the cul-de-sac that could be damaged during Tollway construction.

Discussion & Recommendation

The Village's engineer has reviewed the parcel 085 and 085P and determined that transferring the parcel to the Tollway will not interfere with the Village's underground infrastructure.

The Village's attorney, William Ryan who represents the Village on Tollway matters, recommends the Village Board approve the transfer of these parcels. Mr. Ryan anticipates having an amendment to the IGA with the Tollway that would include the transfer of these parcels within the next 60 days.

Budget Impact

N/A

Village Board and/or Committee Action

The Intergovernmental Agreement with the Tollway was approved by a unanimous vote of the Village Board on April 23, 2019, and serves as a First Reading in this matter as Parcel 085 was included with the agreement.

Documents Attached

1. Parcel Plat 085 and 085P

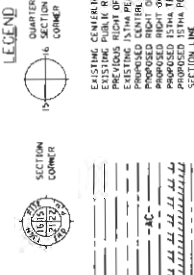
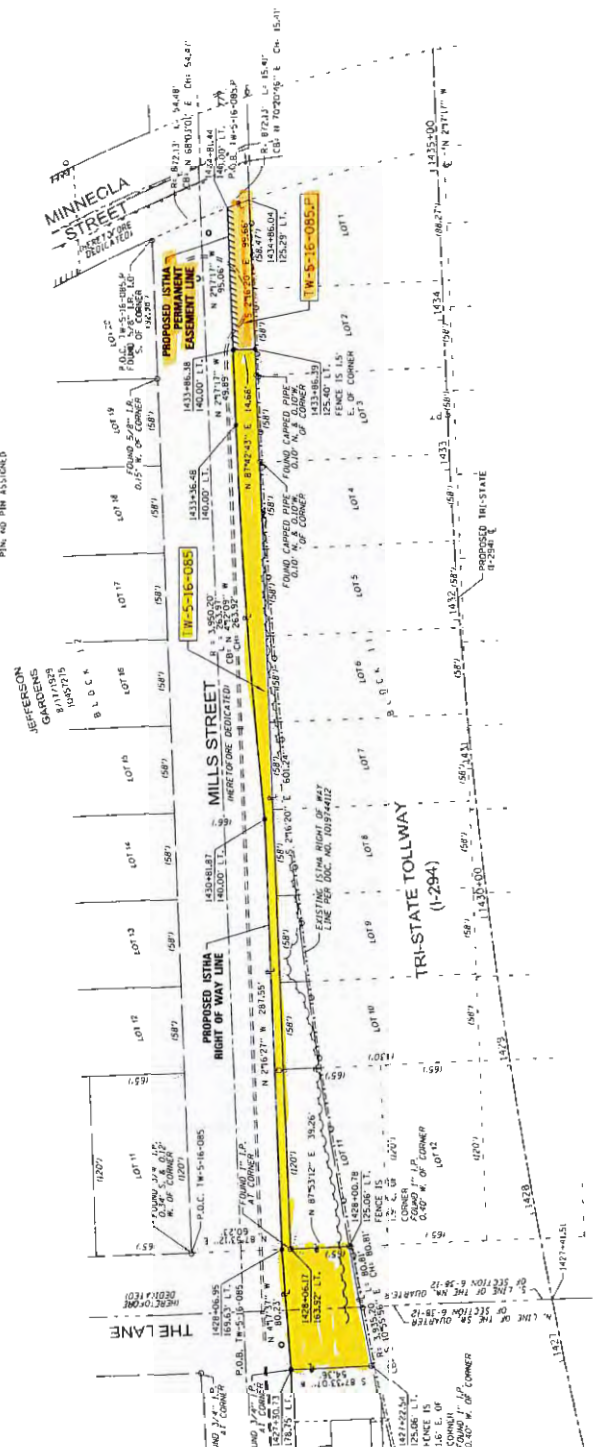
PARCEL PLAT

TRI-STATE TOLLWAY

WEST HALF OF SECTION 6, TWP. 38 NORTH, RANGE 12 EAST, 3RD P.M.
COOK COUNTY, ILLINOIS

PLAT NO. PIN ASSIGNED

PROPOSED CURVE 1234-C-006, IN
 P1 STA 1+294.25
 D 12' 56" 04" (R1)
 L 11' 30" 13"
 C 924.65
 L 11' 30" 13"
 P1 STA 1+294.25
 PC STA 1+294.00+0.25
 PI STA 1+315.36+0.00



TOPO LEGEND

- TOPIC SYMBOL
- POWER POLE
- WOODPILE
- SHOULDER QUADRA
- CONCRETE CURB
- CONCRETE CURB
- MANHOLE
- CATCH BASIN
- FLARED END SECTION
- BERM
- BUSH
- CUT WIRE ANCHOR
- GRADE POST

STATE OF ILLINOIS)
 COUNTY OF COOK)

THIS IS TO CERTIFY THAT I, CONVENTINE FERIS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SUPERVISED THE PARCEL PLAT SHOWN HEREON, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE PLAT IS ACCURATE AND COMPLETE AS SHOWN, AND THAT THE POSITIONS SHOWN THEREON ARE CORRECT AND TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE POSITIONS SHOWN THEREON ARE CORRECT AND TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FIELD WORK COMPLETED ON 8/25/2018.

DATE AT CHICAGO, ILLINOIS THIS 11TH DAY OF FEBRUARY, 2019.

CONVENTINE FERIS
 PROFESSIONAL LAND SURVEYOR NO. 2159
 LICENSE EXPIRATION DATE: 11/30/2020

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS ANNUAL STANDARDS FOR A BOUNDARY SURVEY. ALL DIMENSIONS ARE MEASURED UNLESS OTHERWISE SPECIFIED. BEARINGS AND DISTANCES SHOWN HEREON REFER TO THE ILLINOIS STATE PLATE COORDINATE SYSTEM, ILLINOIS NORTH AMERICAN DATUM OF 1983 (NAD 83). ALL CALCULATED AREA VALUES ARE "GROSS" NOT "NET" (VOIDING).

COMBINED SCALE FACTOR
 GRID SCALE FACTOR X ELEV. FACTOR = 0.99996470

CONTRACT NO. J-17-4256
 DRAWING NO. 1 OF 1

LEGAL DESCRIPTION:
 THAT PART OF LOTS 1014, 1015, 1016, 1017, 1018 AND 1019 OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED AUGUST 17, 1929 AS DOCUMENT NUMBER 10497275 IN COOK COUNTY, ILLINOIS, BEARINGS BASED ON ILLINOIS STATE PLANE COORDINATES, EAST ZONE, AND 83' CORRECTIONS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 11 IN BLOCK 12 IN SAID JEFFERSON GARDENS, THENCE NORTH 87 DEGREES 53 MINUTES 12 SECONDS EAST ALONG THE EASTERN PROLONGATION OF THE NORTH LINE OF SAID LOT 11, 143.15 FEET TO THE POINT OF BEGINNING; THENCE NORTH 2 DEGREES 16 MINUTES 27 SECONDS WEST, 28.25 FEET TO THE POINT OF BEGINNING; THENCE NORTH 4 DEGREES 16 MINUTES 03 SECONDS WEST, 69 DEGREES 03 MINUTES 01 SECONDS EAST, 54.47 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTHWESTERLY 104.1 FEET ON SAID CURVE TO THE RIGHT HAVING A RADIUS OF 89.13 FEET, BEARING NORTH 87 DEGREES 53 MINUTES 12 SECONDS EAST ALONG SAID EAST LINE, 19.66 FEET; THENCE SOUTH 2 DEGREES 16 MINUTES 27 SECONDS WEST, 14.88 FEET; THENCE NORTH 2 DEGREES 16 MINUTES 27 SECONDS WEST, 14.88 FEET TO THE POINT OF BEGINNING.

SAID PARCEL, TWP-38-16-085-P, CONTAINS 0.233 ACRES, OR 14.31 SQUARE FEET, MORE OR LESS.

AMERICAN
 SURVEYING & ENGINEERING, P.C.
 SURVEYORS-ENGINEERS
 1400 N. LAUREL STREET, SUITE 100
 CHICAGO, ILLINOIS 60642

PARCEL NUMBER	OWNER	TOTAL HOLDING ACRES	PART TAKEN ACRES	REMAINING ACRES	ESTIMATED ACRES	ACQUISITION PURPOSE	PERMANENT TAX INDEX NUMBER
TW-38-16-085-P <td>THE VILLAGE OF WILMINGTON, ILLINOIS <td>0.250</td> <td>0.0217</td> <td>0.2283</td> <td>0.233</td> <td>ROADWAY <td>NO PIN ASSIGNED</td> </td></td>	THE VILLAGE OF WILMINGTON, ILLINOIS <td>0.250</td> <td>0.0217</td> <td>0.2283</td> <td>0.233</td> <td>ROADWAY <td>NO PIN ASSIGNED</td> </td>	0.250	0.0217	0.2283	0.233	ROADWAY <td>NO PIN ASSIGNED</td>	NO PIN ASSIGNED
TW-38-16-085-P <td>AMERICAN SURVEYING & ENGINEERING, P.C. <td>0.250</td> <td>0.0217</td> <td>0.2283</td> <td>0.233</td> <td>ROADWAY <td>NO PIN ASSIGNED</td> </td></td>	AMERICAN SURVEYING & ENGINEERING, P.C. <td>0.250</td> <td>0.0217</td> <td>0.2283</td> <td>0.233</td> <td>ROADWAY <td>NO PIN ASSIGNED</td> </td>	0.250	0.0217	0.2283	0.233	ROADWAY <td>NO PIN ASSIGNED</td>	NO PIN ASSIGNED

AMERICAN SURVEYING & ENGINEERING, P.C.
 SURVEYORS-ENGINEERS
 1400 N. LAUREL STREET, SUITE 100
 CHICAGO, ILLINOIS 60642

CAD DRAFTING BY: ROBE BACHARA
 CALCULATIONS BY: ROBE BACHARA
 CHECKED BY: GARY BRADSHAW
 APPROVED BY: CONVENTINE FERIS

ILLINOIS STATE TOLL HIGHWAY AUTHORITY
 2700 OGDEN AVENUE
 DOWNERS GROVE, ILLINOIS 00515



REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: Second Reading - ZPS
SUBJECT: Consideration of Requests for Variation-5500 S. Grant Street
(Hinsdale Central) ZBA Case V-05-19
MEETING DATE: April 7, 2020
FROM: Robert McGinnis, Director of Community Development/Building
Commissioner

Recommended Motion

Approve an Ordinance Approving Variations Relative to the Replacement and/or Construction of New Improvements for Hinsdale Central High School at 5500 S. Grant Street, Hinsdale, Illinois – Hinsdale Township High School District 86 - Case Number V-05-19

Background

In this application for variation, the applicant requests relief from;

1. 9-104(J)(1)(e)(xi) To allow a reduction in required parking from 882 to 583 spaces. It should be noted that the existing count is 560 and that the plan is to increase the count as part of the project to 583.
2. 9-104(H)(2)(g&i); 9-105(c)(2); 9-107(A)(1&2); 9-107(B) To waive landscape island, 10' open space buffer, and loading space screening requirements in order to maximize the number of parking spaces.
3. 9-12-3(E) To waive the 8' height limitation on fences for the construction of safety netting at the baseball field on the northeast corner of Grant and 57th.
4. 9-12-3(D&E); 7-310 To waive the 8' height limitation on fences and the setback requirements in order to replace the existing chain link tennis court fencing, track fencing, baseball field backstop, and miscellaneous athletic field fencing.
5. 7-310; 9-107(H)(2) To waive the building setback, building height, and screening requirements for the construction of 2 soccer field team shelters and a press box.

This relief is being requested in order to replace and/or construct new improvements as part of the capital improvement program for Hinsdale Central High School. The requested variations are explained in the attached Application for Variation and summarized on the Table of Compliance.

A copy of the Final Decision for those variation requests approved by the Zoning Board of Appeals is attached as well.

Discussion & Recommendation

Following a public hearing held on January 15, 2020, the Zoning Board of Appeals of the Village of Hinsdale ("ZBA") recommended approval of the Requested Variations on a unanimous vote of six (6) in favor and zero (0) opposed, with one (1) member absent.

Budget Impact

N/A

Village Board and/or Committee Action


At their meeting of March 3, the Village Board agreed to move this item forward for a second reading at their next meeting.

At their meeting of March 16, 2020 the Village Board determined to hold the item until the next meeting for two reasons:

1. Comments made by a resident asserting that proper notice was not given. Staff subsequently determined that proper notice was received by the homeowner as part of the public hearing process (Document 1)
2. Request by Board members for additional safety netting on the 3rd base line of the Junior Varsity baseball field along Grant Street. The applicant has agreed to install the additional netting as requested. (Document 2)

Documents Attached

1. Copy of signed Certified mailing receipt
2. Letter from Mr. N. Graal on behalf of District 86
3. Draft Ordinance
4. Approved Findings of Fact and Recommendation
5. ZBA Application
6. ZBA Final Decision
7. Transcript

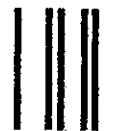
SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature x <i>John Lutz</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee	
1. Article Addressed to: HARRIS BANK L1490 5716 FOXGATE LN HINSDALE, IL 60521  9590 9402 4071 8092 6770 29	B. Received by (Printed Name)	C. Date of Delivery
2. Article Number (Transfer from service label) 7018 1130 0000 3992 4334	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
PS Form 3811, July 2015 PSN 7530-02-000-9053	3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail™ <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	

Domestic Return Receipt

USPS TRACKING#



9590 9402 4071 8092 6770 29

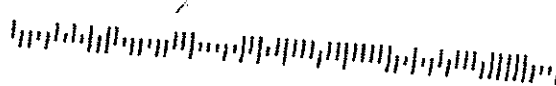


First-Class Mail
 Postage & Fees Paid
 USPS
 Permit No. G-10

**United States
Postal Service**

• Sender: Please print your name, address, and ZIP+4® in this box•

Hinsdale Township High School District 86
 Administrative Center
 5500 South Grant Street
 Hinsdale, IL 60521





March 31, 2020

Mr. Robert McGinnis, MCP
Director of Community Development / Building Commissioner
Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, Illinois 60521

To Whom it May Concern:

In response to the Board of Trustee comments regarding safety netting at the meeting on March 16, 2020, the District will revise our application as follows:

1. In regard to the Junior Varsity baseball field on 57th and Grant Streets, the District will provide safety netting, on three sides of the baseball field. This includes:
 - a. First base line / 57th Street frontage.
 - b. Third base line / Grant street frontage.
 - c. Backstop / corner of 57th and Grant Streets frontage.

Please contact me with any further concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Nicholas T. Graal", with a long horizontal flourish extending to the right.

Nicholas T. Graal, AIA, LEED BD+C

Project Architect on behalf of Hinsdale Township High School District 86

VILLAGE OF HINSDALE

ORDINANCE NO. _____

AN ORDINANCE APPROVING VARIATIONS RELATIVE TO THE REPLACEMENT AND/OR CONSTRUCTION OF NEW IMPROVEMENTS FOR HINSDALE CENTRAL HIGH SCHOOL AT 5500 S. GRANT STREET, HINSDALE, ILLINOIS – HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT 86 - CASE NUMBER V-05-19

WHEREAS, the Village of Hinsdale received an application (the "Application") from ARCON Associates, Inc. on behalf of Hinsdale Township High School District 86 (the "Applicant") for variations relative to the replacement and/or construction of new improvements at Hinsdale Central High School, on property located in the IB Institutional Buildings Zoning District at 5500 S. Grant Street (the "Subject Property"); and

WHEREAS, the improvements proposed by the Applicant at this time are Phase I of a program of improvements and upgrades to the High School over the next three (3) years. The general scope of Phase I improvements includes a natatorium addition, buildings and grounds addition, parking lot reconfigurations and modifications due to loading dock relocation; associated landscaping, artificial turf replacement, tennis court and fencing replacement, running track and fence replacement, separation of storm and sanitary utilities due to Flagg Creek Water Reclamation District requirements, chain-link baseball field backstop and fence replacement, baseball field sports safety netting installation, privacy fencing, soccer field team shelter and press box replacements, emergency generator replacement, and various other ADA and health/life safety improvements on site (collectively, the "Phase I Improvements"); and

WHEREAS, the Applicant has requested variations to the following Sections of the Zoning Code of the Village of Hinsdale ("Zoning Code") over which the Village President and Board of Trustees, upon a recommendation from the Zoning Board of Appeals of the Village of Hinsdale ("ZBA") has final authority:

- A variation from Section 9-104(J)(1)(e)(xi) of the Zoning Code, to allow a reduction in required parking from 882 to 583 spaces (existing parking count is 560, so Phase I Improvements will actually increase the count to 583);
- A variation from Section 9-104(H)(2)(g & i); 9-105(c)(2); 9-107(A)(1&2); 9-107(B) of the Zoning Code, to provide relief from landscape island, ten (10) foot open space buffer, and loading space screening requirements in order to maximize the number of parking spaces on the Property; and
- A variation from Section 9-107(H)(2) of the Zoning Code, to provide relief from the building setback requirements for the construction of two (2) soccer field team shelters and a press box.

Collectively, these variation requests are the "Requested Variations;" and

WHEREAS, in addition to the Requested Variations, additional variations were requested over which the Zoning Board of Appeals of the Village has final authority. Those additional variations were approved by the Zoning Board of Appeals; and

WHEREAS, the Subject Property is legally described in Exhibit A attached hereto and made a part hereof; and

WHEREAS, the Application has been referred to the Zoning Board of Appeals of the Village, and has been processed in accordance with the Zoning Code, as amended; and

WHEREAS, on Wednesday, January 15, 2020, the Zoning Board of Appeals of the Village of Hinsdale held a public hearing pursuant to notice given in accordance with State law and the Zoning Code, relative to the Requested Variations; and

WHEREAS, the Zoning Board of Appeals, after considering all of the testimony and evidence presented at the public hearing, recommended approval of the Requested Variations on a unanimous vote of six (6) in favor and zero (0) opposed, with one (1) member absent; and

WHEREAS, the Zoning Board of Appeals has filed its report of Findings and Recommendation regarding the Requested Variations in Case Number V-05-19 with the President and Board of Trustees, a copy of which is attached hereto as Exhibit B and made a part hereof; and

WHEREAS, the President and Board of Trustees of the Village of Hinsdale have reviewed and duly considered the Findings and Recommendation of the Zoning Board of Appeals, and all of the materials, facts, and circumstances related to the Application; and

WHEREAS, the President and Board of Trustees find that the Application satisfies the standards established in Sections 11-503 of the Hinsdale Zoning Code governing variations.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Adoption of Findings and Recommendation. The President and Board of Trustees of the Village of Hinsdale approve and adopt the findings and recommendation of the Zoning Board of Appeals, a copy of which is attached hereto as

Exhibit B and made a part hereof, and incorporate such findings and recommendation herein by reference as if fully set forth herein.

SECTION 3: Requested Variations. The President and Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and Subsection 11-503(A) of the Hinsdale Zoning Code, GRANT the following Requested Variations as follows:

- A variation to Section 9-104(J)(1)(e)(xi) of the Zoning Code, to allow a reduction in required parking from 882 to 583 spaces (existing parking count is 560);
- to Section 9-104(H)(2)(g & i); 9-105(c)(2); 9-107(A)(1&2); 9-107(B) of the Zoning Code, to provide relief from landscape island, ten (10) foot open space buffer, and loading space screening requirements; and
- to Section 9-107(H)(2) of the Zoning Code, to provide relief from the building setback requirements for the construction of two (2) soccer field team shelters and a press box.

These Requested Variations are granted for the Subject Property commonly known as 5500 S. Grant Street, and legally described in **Exhibit A** attached hereto and made a part hereof.

SECTION 4: Severability and Repeal of Inconsistent Ordinances. If any section, paragraph, clause or provision of this Ordinance shall be held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this Ordinance, and all ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

SECTION 5: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED this ____ day of _____ 2020.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this ____ day of _____ 2020 and attested by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

PARCEL I: LOTS 1 AND 2, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PARINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL II: THE EAST 350 FEET OF THE NORTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL III: THE EAST 350 FEET OF THE SOUTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IV: THE NORTH HALF OF LOT 3 (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL V: THE SOUTH HALF OF THE NORTH HALF (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VI: THE SOUTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VII: THE NORTH HALF OF LOT 4, (EXCEPT THE EAST 200 FEET THEREOF) IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VIII: LOT 1, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IX: LOT 5, (EXCEPT THE EAST 150 FEET THEREOF), IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL X: THE WEST 75 FEET OF THE EAST 150 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XI: THE EAST 75 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XII: THE EAST 60 FEET OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XIII: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE SOUTH 33 FEET THEREOF, IN DUPAGE COUNTY, ILLINOIS

PARCEL XIV: LOTS 11 THROUGH 20, BOTH INCLUSIVE, IN BLOCK 2, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 5500 South Grant Street, Hinsdale, Illinois
PINS: 09-13-100-017, 09-13-100-008, 09-13-100-011, 09-13-100-012, 09-13-100-013, 09-13-100-014, 09-13-100-015 & 09-13-101-027

EXHIBIT B

FINDINGS OF FACT AND RECOMMENDATION

(ATTACHED)

**FINDINGS OF FACT AND RECOMMENDATION OF THE
VILLAGE OF HINSDALE ZONING BOARD OF APPEALS TO
THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES**

ZONING CASE NO: V-05-19

PETITIONER: ARCON Associates, Inc. on behalf of Hinsdale Township High School District 86

APPLICATION: For certain Variations from the Zoning Code of the Village of Hinsdale ("Zoning Code") relative to the replacement and/or construction of new improvements at Hinsdale Central High School, at 5500 S. Grant Street, Hinsdale, Illinois.

MEETING HELD: A Public Hearing was held on Wednesday, January 15, 2020, in Memorial Hall, in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois, pursuant to a notice published in The Hinsdalean on November 28, 2019.

PROPERTY: The subject property is commonly known as 5500 S. Grant Street, Hinsdale, Illinois (the "Property") and is legally described in Exhibit A attached hereto and made a part hereof.

SUMMARY OF REQUEST: The Village of Hinsdale has received a request from ARCON Associates, Inc., on behalf of property owner Hinsdale Township High School District 86 (the "Applicant") for certain variations relative to the replacement and/or construction of new improvements to the existing building known as Hinsdale Central High School located on the Property at 5500 S. Grant Street (the "Application"). The improvements proposed at this time are Phase I of a program of improvements and upgrades to the High School over the next three (3) years. The general scope of Phase I improvements include a natatorium addition, buildings and grounds addition, parking lot reconfigurations and modifications due to loading dock relocation; associated landscaping, artificial turf replacement, tennis court and fencing replacement, running track and fence replacement, separation of storm and sanitary utilities due to Flagg Creek Water Reclamation District requirements, chain-link baseball field backstop and fence replacement, baseball field sports safety netting installation, privacy fencing, soccer field team shelter and press box replacements, emergency generator replacement, and various other ADA and health/life safety improvements on site (collectively, the "Phase I Improvements").

This Property is located in the IB Institutional Buildings Zoning District in the Village of Hinsdale at the southwest corner of Ogden Avenue and Oak Street.

The Applicant has requested variations to the following Sections of the Village Code and Zoning Code of the Village of Hinsdale ("Zoning Code") over which the Village

President and Board of Trustees, upon a recommendation from the Zoning Board of Appeals of the Village of Hinsdale ("ZBA") has final authority:

- to Section 9-104(J)(1)(e)(xi) of the Zoning Code, to allow a reduction in required parking from 882 to 583 spaces (existing parking count is 560, so Phase I Improvements will actually increase the count to 583);
- to Section 9-104(H)(2)(g & i); 9-105(c)(2); 9-107(A)(1&2); 9-107(B) of the Zoning Code, to provide relief from landscape island, ten (10) foot open space buffer, and loading space screening requirements in order to maximize the number of parking spaces on the Property; and
- to Section 9-107(H)(2) of the Zoning Code, to provide relief from the building setback requirements for the construction of two (2) soccer field team shelters and a press box.

Collectively, these variation requests shall be referred to herein as the "Requested Variations."

In addition to the Requested Variations, additional variations over which the Zoning Board of Appeals of the Village of Hinsdale ("ZBA") has final authority were considered. Those variations were:

- to Section 9-12-3(E) of the Village Code, to allow a fence higher than the eight (8) foot limitation on fences in order to provide for the construction of safety netting at the baseball field on the northeast corner of Grant and 57th Street; and
- to Section 9-12-3(D & E) of the Village Code and Section 7-310 of the Zoning Code, to allow a fence higher than the eight (8) foot height limitation on fences and to allow a location for such fences where not otherwise allowed by the setback requirements in order to provide for the like-kind replacement of the existing chain link tennis court fencing, track fencing, baseball field backstop and miscellaneous athletic field fencing; and
- to Section 7-310 of the Zoning Code to allow building height and screening requirements in excess of those allowed by the Zoning Code for the construction of two (2) soccer field team shelters and a press box

Together, these are the "Additional Variations" and, collectively with the Requested Variations, the "Variations". The final decision of the ZBA on the Additional Variations is detailed in a separate Final Decision issued by the ZBA. The collective Variations are all described in more detail in the Application, a copy of which is attached hereto as **Exhibit B** and made a part hereof.

On January 15th, 2020, following the conclusion of the public hearing on this matter, the ZBA indicated its approval of the Requested Variations on a vote of six (6) in favor, zero

(0) opposed, and one (1) absent, and directed the preparation of this Findings and Recommendation.

PUBLIC HEARING: At the combined public hearing on the Variations, Project Architect Nick Graal testified as the representative of the Applicant on the Variations.

The representative of Applicant reviewed the Variations for the benefit of the ZBA, and how, in the opinion of the Applicant, the standards for Variations had been met.

In terms of the variation for off-street parking and the off-street parking lot and loading zone landscape and screening requirement, the representative of Applicant noted that the Property has been an existing public high school since 1948. The existing parking facilities do not currently have landscape screening or landscape islands, and the current parking lot count does not meet the count requirements. The high school has expanded throughout the years as population and academic needs have grown and changed, but additional land acquisitions are limited and cost prohibitive due to land value in the area. They are proposing an expansion of the southeast parking lot, and proposing alleviation of the landscape and screening requirements in order to maximize the amount of parking provided onsite. Current parking demands outweigh available parking. There is enough parking for staff, but there is a high request for student parking, despite busing being available throughout the District.

None of the Phase I Improvements expand the student population, but are instead addressing current needs of the facility. They are attempting to increase parking to accommodate demand, but cannot provide an increase if required to meet landscape island and other requirements. Meeting the required parking requirements in the Zoning Code would require removal of the junior varsity baseball field, and even then, the Code requirements could not be met. If current facilities are sacrificed to meet parking requirements, the High School will not be able to provide the same level of service to the community as it does today.

A parking garage was not part of the referendum that is funding the Phase I Improvements, and a parking garage may have a severe detrimental impact on surrounding properties. It was noted that the Variations may decrease congestion in the public streets due to the added parking spaces.

The representative of the Applicant then addressed the Variations for tennis court fencing, track fencing, baseball field backstop and fencing and miscellaneous athletic field fencing. All fields are currently fenced; the Variations address replacement of existing fencing. The Applicant also proposes a Variation to allow protective netting in the form of safety sports netting, at the Junior Varsity Baseball Field, to address some community concerns regarding foul balls and home runs. The position of the Junior Varsity Baseball Field on the lot relative to the adjacent properties to the east and south creates a unique physical condition. The safety netting would prevent foul balls from going off-site, and home runs from striking vehicles in the parking lot. The Phase I Improvements will increase the safety

of the area. Fencing materials other than chain-link would prevent viewing the sports activities taking place.

While the Applicant is seeking a Variation for landscape screening, it does intend to provide landscaping to the extent feasible at the perimeter of the parking lot expansion, including about seventeen (17) six-foot (6') tall Arborvitae.

The Variation for the soccer field accessory structures was also addressed. The existing physical layout of the site presents design challenges, as does the existing water tower public utility on-site. Grading issues prevent shifting the soccer field any further east. The only practical solution is to replace the player shelters and press box in their current locations within the setback. Better quality materials matching the aesthetic of the softball field are proposed. The structures are screened by existing, very tall evergreen trees and grading on the east end portion of the site. A height Variation is sought to allow the press box to be nineteen (19) feet tall, which, according to the representative of the Applicant, is a pretty standard height for site lines from a press box.

During his presentation, the representative of the Applicant answered various questions posed by the members of the ZBA.

John Ochoa of 5620 S. Washington was present to express general support for the Variations. His home abuts the east side of the teacher's parking lot. He stated that the Variations are more appealing than the alternatives necessary to meet Code.

There being no further questions or members of the public wishing to speak on the application, the portion of the Public Hearing related to the Requested Variations was closed.

Members discussed the Requested Variations and agreed that the standards for variations set forth in 11-503(F) of the Hinsdale Zoning Code had been met. Motions to approve the Requested Variations were made by Member Alesia and seconded by Member Engel.

AYES: Members Moberly, Murphy, Podliska, Alesia, Engel,
Chairman Neiman

NAYS: None

ABSTAIN: None

ABSENT: Member Giltner

FINDINGS: The following are the Findings of the ZBA relative to the Requested Variations:

1. *General Standard: Carrying out the strict letter of the provisions of the Zoning Code would create a particular hardship or a practical difficulty, based on satisfaction of the standards below:*

2. *Unique Physical Condition: The Subject Property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot. The Property is landlocked and there are limited opportunities for expansion. All members agree that the long-existing precode school structure on the Property, along with the physical layout of the structures, athletic fields, uses and parking on the Property, proximity of the use to the adjacent neighbors, safety concerns, and landlocked nature of the Property, are driving the request for the Requested Variations and create a unique physical condition. The Requested Variations in some cases concern like-kind replacements of existing fences and other structures.*

3. *Not Self-Created: The unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of the Zoning Code, for which no compensation was paid. The need for the Requested Variations is not self-created, and is in part driven by the existing physical conditions present on the Property, and the landlocked nature of the Property. The ZBA finds this standard to have been met.*

4. *Denied Substantial Rights: The carrying out of the strict letter of the provisions from which a variation is sought would deprive the owner of the subject property of substantial rights commonly enjoyed by owners of other lots subject to the same provision. In this case, requiring the Applicant to conform to the provisions of the Zoning Code for which relief is sought would cause the loss of various on-site amenities to the community provided by Applicant, and would negatively impact both the neighbors and the Applicant's ability to serve the community. The proposed parking expansion will actually decrease the extent of an existing non-conformity in the same manner as other comparable schools.*

5. *Not Merely Special Privilege: The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation. The Variations are not sought to make more money from use of the Property, but are instead*

sought in order to make necessary improvements to the Property without negatively impacting site conditions and adjacent neighbors.

6. *Code And Plan Purposes: The variation would not result in a use or development of the subject property that would not be in harmony with the general and specific purposes for which the Zoning Code and the provision from which a variation is sought were enacted or the general purpose and intent of the official comprehensive plan. The Variations are consistent with the existing use. The ZBA found this standard to have been met.*

7. *Essential Character Of The Area: The variation would not result in a use or development on the subject property that:*

(a) would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or (b) would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or (c) would substantially increase congestion in the public streets due to traffic or parking; or (d) would unduly increase the danger of flood or fire; or (e) would unduly tax public utilities and facilities in the area; or (f) would endanger the public health or safety.

The granting of the Requested Variations will allow needed improvements to occur at the Property, without negatively impacting existing site amenities or adjacent neighbors. The building, fields, fencing and other structures already exist, and the utilities are already in place. The Requested Variations will not endanger the public health or safety.

8. *No Other Remedy: There is no means other than the requested variations by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property. Limited options exist at this landlocked site. The ZBA finds this standard to have been met.*

RECOMMENDATION:

Based on the Findings set forth above, the ZBA, by a vote of six (6) in favor, zero (0) opposed and one (1) absent, recommends to the President and Board of Trustees that the following Requested Variations, as described in the Application, a copy of which is attached hereto as Exhibit B and made a part hereof, relative to construction of the Phase I Improvements located in the IB Institutional Building Zoning District at 5500 S. Grant Street, be GRANTED:

- **to Section 9-104(J)(1)(e)(xi) of the Zoning Code, to allow a reduction in required parking from 882 to 583 spaces (existing parking count is 560, so Phase I Improvements will actually increase the count to 583);**

- to Section 9-104(H)(2)(g & i); 9-105(c)(2); 9-107(A)(1&2); 9-107(B) of the Zoning Code, to eliminate the landscape island, ten (10) foot open space buffer and screening requirements in the existing/modified parking lot west of Grant Street, existing parking lot east of Grant Street and the new parking lot extension east of Grant Street, and eliminate the loading space screening requirements, all in order to maximize the number of parking spaces on the Property; and
- to Section 9-107(H)(2) of the Zoning Code, to provide relief from the building setback requirements for the construction of two (2) soccer field team shelters and a press box in a corner yard setback.

Signed: _____
Robert Neiman, Chair
Zoning Board of Appeals
Village of Hinsdale

Date: _____

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

PARCEL I: LOTS 1 AND 2, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL II: THE EAST 350 FEET OF THE NORTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL III: THE EAST 350 FEET OF THE SOUTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IV: THE NORTH HALF OF LOT 3 (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL V: THE SOUTH HALF OF THE NORTH HALF (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VI: THE SOUTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND

THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VII: THE NORTH HALF OF LOT 4, (EXCEPT THE EAST 200 FEET THEREOF) IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VIII: LOT 1, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IX: LOT 5, (EXCEPT THE EAST 150 FEET THEREOF), IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL X: THE WEST 75 FEET OF THE EAST 150 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XI: THE EAST 75 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF

SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XII: THE EAST 60 FEET OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XIII: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE SOUTH 33 FEET THEREOF, IN DUPAGE COUNTY, ILLINOIS

PARCEL XIV: LOTS 11 THROUGH 20, BOTH INCLUSIVE, IN BLOCK 2, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 5500 South Grant Street, Hinsdale, Illinois
PINS: 09-13-100-017, 09-13-100-008, 09-13-100-011, 09-13-100-012, 09-13-100-013, 09-13-100-014, 09-13-100-015 & 09-13-101-027

EXHIBIT B

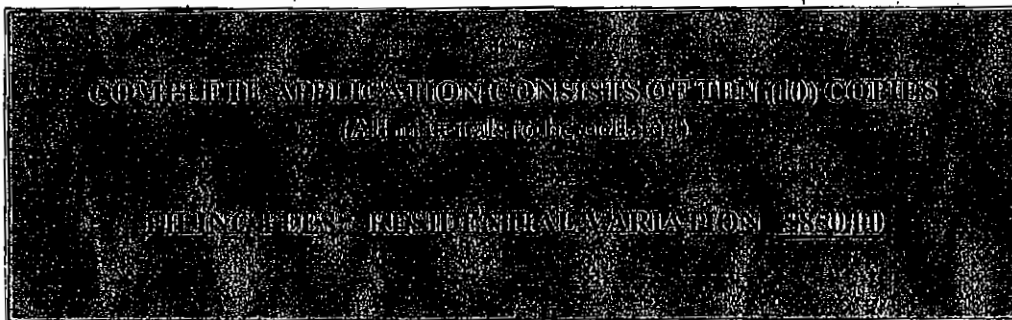
APPLICATION FOR VARIATIONS

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Zoning Calendar No. V-05-19

VILLAGE OF HINSDALE
APPLICATION FOR VARIATION



NAME OF APPLICANT(S): ARCON Associates, Inc
Nicholas Graal, Project Architect

ADDRESS OF SUBJECT PROPERTY: Hinsdale Central High School
5500 South Grant Street

TELEPHONE NUMBER(S): 630-495-1900

If Applicant is not property owner, Applicant's relationship to property owner.
District Architect

DATE OF APPLICATION: November 11, 2019

SECTION I

Please complete the following:

1. Owner. Name, address, and telephone number of owner: Hinsdale Township
High School District 86
5500 South Grant Street, Hinsdale, Illinois 60521, 630-655-6100

2. Trustee Disclosure. In the case of a land trust the name, address, and telephone number of all trustees and beneficiaries of the trust: Not Applicable

3. Applicant. Name, address, and telephone number of applicant, if different from owner, and applicant's interest in the subject property: ARCON Associates, Inc., 2050 S. Finely Road, Suite 40, Lombard, Illinois 60148
630-495-1900, District Architect

4. Subject Property. Address and legal description of the subject property: (Use separate sheet for legal description if necessary.) See Attachment 'A'

5. Consultants. Name and address of each professional consultant advising applicant with respect to this application:
 - a. Attorney: Hodges, Loizzi, Eisenhammer, Rodick & Kohn LLP
3030 Salt Creek Lane, Suite 202, Arlington Heights, Illinois 60005
 - b. Engineer: Erikson Engineering Associates, LTD.
145 Commerce Drive, Suite A, Grayslake, Illinois 60030
 - c. Owner's Representative: Cotter Consulting
745 McClintock Drive, Suite 130, Burr Ridge, Illinois 60527
 - d. Construction Manager: Pepper Construction
411 Lake Zurich Road, Barrington, Illinois 60010

6. Village Personnel. Name and address of any officer or employee of the Village with an interest in the Owner, the Applicant, or the Subject Property, and the nature and extent of that interest:

Steve Cashman, Hinsdale IL, Chair of Village of Hinsdale Plan Commission,
a. School District 86 Facilities Committee Member

b. _____

7. Neighboring Owners. Submit with this application a list showing the name and address of each owner of (1) property within 250 lineal feet in all directions from the subject property; and (2) property located on the same frontage or frontages as the front lot line or corner side lot line of the subject property or on a frontage directly opposite any such frontage or on a frontage immediately adjoining or across an alley from any such frontage. See Attachment 'B'

After the Village has prepared the legal notice, the applicant/agent must mail by certified mail, "return receipt requested" to each property owner/ occupant. The applicant/agent must then fill out, sign, and notarize the "Certification of Proper Notice" form, returning that form and all certified mail receipts to the Village.

8. Survey. Submit with this application a recent survey, certified by a registered land surveyor, showing existing lot lines and dimensions, as well as all easements, all public and private rights-of-way, and all streets across and adjacent to the Subject Property.
Survey attached

9. Existing Zoning. Submit with this application a description or graphic representation of the existing zoning classification, use, and development of the Subject Property, and the adjacent area for at least 250 feet in all directions from the Subject Property.
Site Plan attached and see attachment 'F'

10. Conformity. Submit with this application a statement concerning the conformity or lack of conformity of the approval being requested to the Village Official Comprehensive Plan and the Official Map. Where the approval being requested does not conform to the Official Comprehensive Plan or the Official Map, the statement should set forth the reasons justifying the approval despite such lack of conformity.
See Attachment 'C'

11. Zoning Standards. Submit with this application a statement specifically addressing the manner in which it is proposed to satisfy each standard that the Zoning Ordinance establishes as a condition of, or in connection with, the approval being sought.
See Attachment 'C'

12. Successive Application. In the case of any application being filed less than two years after the denial of an application seeking essentially the same relief, submit with this application a statement as required by Sections 11-501 and 11-601 of the Hinsdale Zoning Code.
See Attachment 'C'

SECTION II

When applying for a variation from the provisions of the Zoning Ordinance, you must provide the data and information required above, and in addition, the following:

1. Title. Evidence of title or other interest you have in the Subject Project, date of acquisition of such interest, and the specific nature of such interest.

See Attachment 'D'

2. Ordinance Provision. The specific provisions of the Zoning Ordinance from which a variation is sought:

See Attachment 'E'

3. Variation Sought. The precise variation being sought, the purpose therefor, and the specific feature or features of the proposed use, construction, or development that require a variation: (Attach separate sheet if additional space is needed.)

See Attachment 'E'

4. Minimum Variation. A statement of the minimum variation of the provisions of the Zoning Ordinance that would be necessary to permit the proposed use, construction, or development: (Attach separate sheet if additional space is needed.)

See Attachment 'E'

5. Standards for Variation. A statement of the characteristics of Subject Property that prevent compliance with the provisions of the Zoning Ordinance and the specific facts you believe support the grant of the required variation. In addition to your general explanation, you must specifically address the following requirements for the grant of a variation:

- (a) Unique Physical Condition. The Subject Property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure of sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the Subject Property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current lot owner.
- (b) Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the Subject Property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.
- (c) Denied Substantial Rights. The carrying out of the strict letter of the provision from which a variation is sought would deprive the owner of the Subject Property of substantial rights commonly enjoyed by owners of other lots subject to the same provision.
- (d) Not Merely Special Privilege. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.
- (e) Code and Plan Purposes. The variation would not result in a use or development of the Subject Property that would not be in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted or the general purpose and intent of the Official Comprehensive Plan.
- (f) Essential Character of the Area. The variation would not result in a use or development of the Subject Property that:
 - (1) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use development, or value of property of improvements permitted in the vicinity; or
 - (2) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or
 - (3) Would substantially increase congestion in the public streets due to traffic or parking; or

- (4) Would unduly increase the danger of flood or fire; or
- (5) Would unduly tax public utilities and facilities in the area; or
- (6) Would endanger the public health or safety.

(g) No Other Remedy. There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the Subject Project.
(Attach separate sheet if additional space is needed.)

See Attachment 'E'

SECTION III

In addition to the data and information required pursuant to any application as herein set forth, every Applicant shall submit such other and additional data, information, or documentation as the Village Manager or any Board of Commission before which its application is pending may deem necessary or appropriate to a full and proper consideration and disposition of the particular application.

1. A copy of preliminary architectural and/or surveyor plans showing the floor plans, exterior elevations, and site plan needs to be submitted with each copy of the zoning petitions for the improvements.
Plans Attached.
2. The architect or land surveyor needs to provide zoning information concerning the existing zoning; for example, building coverage, distance to property lines, and floor area ratio calculations and data on the plans or supplemental documents for the proposed improvements.

See Attachment 'F' and Site Plan

SECTION IV

1. Application Fee and Escrow. Every application must be accompanied by a non-refundable application fee of \$250.00 plus an additional \$600.00 initial escrow amount. The applicant must also pay the costs of the court reporter's transcription fees and legal notices for the variation request. A separate invoice will be sent if these expenses are not covered by the escrow that was paid with the original application fees.
2. Additional Escrow Requests. Should the Village Manager at any time determine that the escrow account established in connection with any application is, or is likely to become, insufficient to pay the actual costs of processing such application, the Village Manager shall inform the Applicant of that fact and demand an additional deposit in an amount deemed by him to be sufficient to cover foreseeable additional costs. Unless and until such additional amount is deposited by the Applicant, the Village Manager may direct that processing of the application shall be suspended or terminated.
3. Establishment of Lien. The owner of the Subject Property, and if different, the Applicant, are jointly and severally liable for the payment of the application fee. By signing the application, the owner has agreed to pay said fee, and to consent to the filing and foreclosure of a lien against the Subject Property for the fee plus costs of collection, if the account is not settled within 30 days after the mailing of a demand for payment.

SECTION V

The owner states that he/she consents to the filing of this application and that all information contained herein is true and correct to the best of his/her knowledge.

Name of Owner:

Tammy Prentiss, Superintendent

Signature of Owner:

Tammy Prentiss

Name of Applicant:

Nichols Group, Project Architect

Signature of Applicant:

[Signature]

Date:

11/5/19

ATTACHMENT A

Hinsdale Township High School District 86
Hinsdale Central High School
5500 S. Grant Street, Hinsdale, Illinois 60521

PARCEL I:

LOTS 1 AND 2, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL II:

THE EAST 350 FEET OF THE NORTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL III:

THE EAST 350 FEET OF THE SOUTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL IV:

THE NORTH HALF OF THE NORTH HALF OF LOT 3 (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL V:

THE SOUTH HALF OF THE NORTH HALF (EXCEPT THE EAST 350 FEET THEREOF) OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL VI:

THE SOUTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL VII:

THE NORTH HALF OF LOT 4 (EXCEPT THE EAST 200 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL VIII:

LOT 1, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED APRIL 16, 1946 AS DOCUMENT NO. 495827, IN DUPAGE COUNTY, ILLINOIS.

PARCEL IX:

LOT 5 (EXCEPT THE EAST 150 FEET THEREOF), IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED APRIL 16, 1946 AS DOCUMENT NO. 495827, IN DUPAGE COUNTY, ILLINOIS.

PARCEL X:

THE WEST 75 FEET OF THE EAST 150 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED APRIL 16, 1946 AS DOCUMENT NO. 495827, IN DUPAGE COUNTY, ILLINOIS.

PARCEL XI:

THE EAST 75 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED APRIL 16, 1946 AS DOCUMENT NO. 495827, IN DUPAGE COUNTY, ILLINOIS.

PARCEL XII:

THE EAST 60 FEET OF THE SOUTH HALF OF LOT 4, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

PARCEL XIII:

THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE SOUTH 33 FEET THEREOF, IN DUPAGE COUNTY, ILLINOIS.

PARCEL XIV:

LOTS 11 THROUGH 20, BOTH INCLUSIVE, IN BLOCK 2, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS.

ATTACHMENT C

Section I

9. Existing Zoning:

Subject Property is Zoned IB and is surrounded by the following zoning districts.

- a. North of Subject Property: R-2 to the Northeast and R-4 to the Northwest.
- b. East of Subject Property: R-3.
- c. South of Subject Property: R-3 to the Southeast and Southwest, R-5 to the South.
- d. West of Subject Property: R-6 and unincorporated DuPage County.
- e. See attached graphic representation (ARCON).

10. Conformity:

The Subject Property is currently zoned IB-Institution Building District, of which, buildings owned by a public body is a permitted use. The Subject Property is currently in conformity with Village Comprehensive plan and the Official Map zoned use and will continue to be in conformity if the approval requested is granted.

11. Zoning Standards:

On April 2, 2019, the voters of District 86 approved a bond proposition in the amount of \$139.8 million that will enable the District to make critical improvements and upgrades to the facilities at Hinsdale Central High School over the next three years. **This application is specifically for Phase I of these improvements only. Under separate cover, the District will submit applications to the Village of Hinsdale concerning the future phases. Work in future phases has been generally shown on the site plans submitted herewith for informational purposes only.**

The general scope of Phase I work at Hinsdale Central High School for which the District is seeking variation is as follows: a natatorium addition; buildings and grounds addition; parking lot reconfigurations and modifications due to loading dock relocation; associated landscaping; artificial turf replacement; tennis court and fencing replacement; running track and fence replacement; separation of storm and sanitary utilities due to Flagg Creek Water Reclamation District requirements; chain-link baseball field backstop and fence replacement, baseball field sports safety netting installation; privacy fencing; soccer field team shelter and press box replacements, emergency generator replacement, and various other ADA and health/life safety improvements on-site.

Phase I construction is tentatively scheduled to begin in the spring of 2020. Later phases are tentatively scheduled to begin in the spring of 2021.

The following Zoning Ordinance standards will be followed for the IB-Institutional Building District (Sec. 7-302):

(Sec. 7-310)

Minimum Lot Area: 350,000 SF, Width 200 FT x DEPTH 250 FT

Lot Area West of Grant Street: 1,501,284 SF

Lot Area East of Grant Street: 374,657 SF

Maximum Floor Area Ratio: .50 (750,642 SF west of Grant Street) allowed.

Maximum Height: 40'-0", increase remote from single family districts 1'-0" for every 5'-0" over a 25'-0" setback for a maximum of 10'-0". Therefore, maximum height is 50'-0' when 75'-0" or more from single family districts.

Proposed pool addition is 48'-0" (more than 75' from single family)

Setbacks: Front & Corner Yards: 35', Other yards: 25'

Proposed setbacks of additions are in excess of the requirements.

(Title 9, Chapter 12 Sec. 9-12-3)

Fences

(Sec. 7-310, E, 2)

Accessory Structure height Limitation: 15' from grade.

(Sec. 9-101, D, 1)

Accessory Storage Structure will not exceed 10% of either the floor area or the volume of the principal structure.

(Sec. 9-104)

Off Street Parking Requirements

(Sec. 9-104, I, 6)

Exemption for Institutional Uses, stall dimensions reduced by one-half foot in width (typical stall dimensions in new parking lots is 8'-6"(W)x 18'-0"(L).

(Sec. 9-105)

Off Street Loading Requirements.

(Sec. 9-106)

Signs

(Sec. 9-107)

Buffers and Landscaping

(Sec. 9-107, G)


New mechanical rooftop equipment will be fully screened.

See Zoning Code Matrix on the Site Plan sheet for further information.

12. Successive Application:

To the best of the applicant's knowledge there has been no prior application seeking essentially the same relief contained herewith.

ATTACHMENT D

 <p>First American Commitment</p>	<p>ALTA Commitment for Title Insurance</p> <p>ISSUED BY First American Title Insurance Company</p> <p>File No: 2977574</p>
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COMMITMENT FOR TITLE INSURANCE

Issued By

FIRST AMERICAN TITLE INSURANCE COMPANY

NOTICE

IMPORTANT-READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

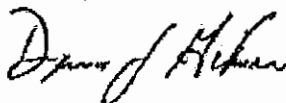
THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

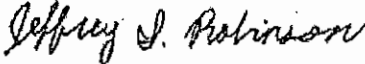
COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, **First American Title Insurance Company**, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

First American Title Insurance Company


Dennis J. Gilmore
President



Jeffrey S. Robinson
Secretary

If this jacket was created electronically, it constitutes an original document.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its Issuing agent that may be in electronic form.

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Form 50000317 (4-24-18)	Page 1 of 16	ALTA Commitment for Title Insurance (8-1-16) IInols
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COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I—Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance Issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its Issuing agent that may be in electronic form.

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6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured Identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The Issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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First American

Schedule A

ALTA Commitment for Title Insurance

ISSUED BY

First American Title Insurance Company

File No: 2977574

Transaction Identification Data for reference only:

First American Title Insurance Company - Metro Commercial Title e-mail: cmcc.il@firstam.com
Center

27775 Diehl Rd, Warrenville, IL 60555

Phone : (866)563-7707

Commitment No.: 2977574

Property Address: 5500 S. Grant Street, Hinsdale, IL 60521

Revision Date: July 18, 2019; July 23, 2019

Escrow e-mail: figures.il@firstam.com

Customer Reference:

SCHEDULE A

1. Commitment Date: June 25, 2019 8:00 AM
2. Policies to be Issued:
 - (a) ALTA® Owner's Policy
Proposed Insured: None
Proposed Policy Amount: \$0.00
 - (b) ALTA® Loan Policy
Proposed Insured: NONE
Proposed Policy Amount: NONE
3. The estate or interest in the Land described or referred to in this Commitment is
Fee Simple

4. The Title is, at the Commitment Date, vested in:

Board of Education Hinsdale Township High School District No. 86, as to Parcel I;

Trustees of Schools of Township 38, North Range 11 East, DuPage County, Illinois, as to Parcels II and III;

Trustees of Schools of Township Thirty-eight North, Range Eleven, East of the Third Principal Meridian, in DuPage County, Illinois, an Illinois corporation, as to Parcel IV;

County Board of School Trustees of DuPage County, Illinois for the use and benefit of Hinsdale Township High School District #86, DuPage and Cook Counties, Illinois, as to Parcel V;

County Board of School Trustees of DuPage County, Illinois, for the use and benefit of Hinsdale Township High School District No. 86; DuPage and Cook Counties, Illinois, as to Parcel VI;

County Board School Trustees of DuPage County, Illinois, for the use and benefit of Hinsdale Township High School District Number 86, DuPage and Cook Counties, Illinois, as to Parcel VII, and Lots 11, 12, 13 and 15 of Parcel XIV;

Board of Education of Hinsdale Township High School District 86, DuPage and Cook Counties, as to Parcel

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VIII;

Hinsdale Township High School District #86, as to Parcel IX;

Board of Education, Hinsdale Township High School, District 86 of DuPage and Cook Counties, as to Parcel X;

Board of Education, Hinsdale Township High School District 86, as to Parcel XI;

Board of Education Hinsdale Township High School Dist. 86, DuPage and Cook Counties, IL, as to Parcel XII;

Board of Education Hinsdale Township High School District Number Eighty-six (86), as to Parcel XIII;

County Board of School Trustees of DuPage County, Illinois for the use and benefit of Hinsdale Township High School District Number #86, as to Lot 14 of Parcel XIV;

Trustees of Schools of Township No. 38 North, Range 11 East of the Third Principal Meridian, for the use and benefit of Hinsdale Township High School District Number 86, DuPage and Cook Counties, Illinois, as to Lot 16, Parcel XIV;

Trustees of Schools of Township No. 38 North, Range No. 11 East, for the use and benefit of School District Number 86 of DuPage and Cook Counties, Illinois, as to Lot 17 of Parcel XIV;

Trustees of Schools of Township No. 38 North, Range No. 11 East, for the use and benefit of School District Number 86 of DuPage County, Illinois, as to Lot 18 of Parcel XIV;

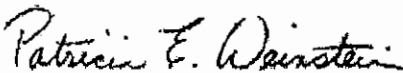
Trustees of Schools of Township No. 38 North, Range No. 11 East, for the use and benefit of School District Number 38 of DuPage and Cook Counties, Illinois, as to Lot 19 of Parcel XIV;

and

Trustees of Schools of Township No. 38 North, Range No. 11, East of the Third Principal Meridian, DuPage County, Illinois, for the use and benefit of Hinsdale Township High School district Number 86, DuPage and Cook Counties, Illinois, as to Lot 20 of Parcel XIV

5. The Land is described as follows:
SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF

First American Title Insurance Company

By: 
Authorized Countersignature

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First American

Schedule BI & BII

ALTA Commitment for Title Insurance

ISSUED BY

First American Title Insurance Company

File No: 2977574

Commitment No.: 2977574

SCHEDULE B, PART I

Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

SCHEDULE B, PART II

Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

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First American

Schedule BI & BII (Cont.)

ALTA Commitment for Title Insurance

ISSUED BY

First American Title Insurance Company

File No: 2977574

Commitment No.: 2977574

SCHEDULE B, PART II

Exceptions (Continued)

1. Rights or claims of parties in possession not shown by the public records.
2. Easements or claims of easements, not shown by Public Records.
3. Any encroachments, encumbrance, violation, variation, or adverse circumstance affecting Title that would be disclosed by an accurate survey of the Land pursuant to the "Minimum Standards of Practice," 68 III. Admin Code, Sec. 1270.56(b)(6)(P) for residential property or the ALTA/NSPS land title survey standards for commercial/Industrial property.
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Taxes, or special assessments, if any, not shown as existing liens by the Public Records.
6. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
7. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax Identification no.: 09-13-100-017
(Affects Parcels I through VII)

Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 06/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

8. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax Identification no.: 09-13-100-008
(Affects Parcel VIII)

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Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 06/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

9. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax Identification no.: 09-13-100-011
(Affects Parcel IX)

Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 06/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

10. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax Identification no.: 09-13-100-012
(Affects Parcel X)

Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 06/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

11. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax Identification no.: 09-13-100-013
(Affects Parcel XI)

Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 06/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

12. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax identification no.: 09-13-100-014
(Affects Parcel XII)

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Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 05/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

13. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax Identification no.: 09-13-100-015
(Affects Parcel XIII)

Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 06/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

14. General taxes and assessments for the year 2019, and subsequent years which are not yet due and payable.

Tax identification no.: 09-13-101-027
(Affects Parcel XIV)

Note for informational purposes 2018 taxes:

1st Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 06/03/2019)
2nd Installment in the amount of \$0.00 with a status of Not Billed. (Due Date 09/03/2019)

Note: If applicable, an original tax bill must be presented if taxes are to be paid at time of closing.

15. We should be furnished with evidence of payment of charges to the Sanitary District as noted herein through the month of closing.
16. We should be furnished with evidence of payment of Special Service Area charges. If paid through the real estate tax bill, please provide a copy of the detailed tax bill reflecting SSA as a line item.
17. We find no outstanding voluntary liens of record affecting subject property. An inquiry should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any security interest in the subject property.
18. We should be provided evidence of appropriate compliance with Illinois Statutes regarding the purchase/sale of the land by the Board of Education Hinsdale Township High School District No. 86, as to Parcel I; Trustees of Schools of Township 38, North Range 11 East, DuPage County, Illinois, as to Parcels II and III; County Board of School Trustees of DuPage County, Illinois for the use and benefit of Hinsdale Township High School District #86, DuPage and Cook Counties, Illinois, as to Parcel V; County Board of School Trustees of DuPage County, Illinois, for the use and benefit of Hinsdale Township High School District No. 86, DuPage and Cook Counties, Illinois, as to Parcel VI; County Board School Trustees of DuPage County, Illinois, for the use and benefit of Hinsdale Township High School District Number 86, DuPage and Cook Counties, Illinois, as to Parcel VII, and

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Lots 11, 12, 13 and 15 of Parcel XIV; Board of Education of Hinsdale Township High School District 86, DuPage and Cook Counties, as to Parcel VIII; Hinsdale Township High School District #86, as to Parcel IX; Board of Education, Hinsdale Township High School, District 86 of DuPage and Cook Counties, as to Parcel X; Board of Education, Hinsdale Township High School District 86, as to Parcel XI; Board of Education Hinsdale Township High School Dist. 86, DuPage and Cook Counties, IL, as to Parcel XII; Board of Education Hinsdale Township High School District Number Eighty-six (86), as to Parcel XIII; County Board of School Trustees of DuPage County, Illinois for the use and benefit of Hinsdale Township High School District Number #86, as to Lot 14 of Parcel XIV; Trustees of Schools of Township No. 38 North, Range No. 11 East, for the use and benefit of School District Number 86 of DuPage and Cook Counties, Illinois, as to Lot 17 of Parcel XIV; Trustees of Schools of Township No. 38 North, Range No. 11 East, for the use and benefit of School District Number 86 of DuPage County, Illinois, as to Lot 18 of Parcel XIV; Trustees of Schools of Township No. 38 North, Range No. 11 East, for the use and benefit of School District Number 38 of DuPage and Cook Counties, Illinois, as to Lot 19 of Parcel XIV; and Trustees of Schools of Township No. 38 North, Range No. 11, East of the Third Principal Meridian, DuPage County, Illinois, for the use and benefit of Hinsdale Township High School district Number 86, DuPage and Cook Counties, Illinois, as to Lot 20 of Parcel XIV; and Trustees of Schools of Township No. 38 North, Range 11 East of the Third Principal Meridian, for the use and benefit of Hinsdale Township High School District Number 86, DuPage and Cook Counties, Illinois, as to Lot 16, Parcel XIV.

19. Upon a conveyance or mortgage of the land, a certified copy of proper resolutions passed by the authorized representative(s) of Illinois authorizing the execution of the deed of conveyance or mortgage should be furnished.
20. We should be furnished with a certificate of Good Standing from the Illinois Secretary of State for Trustees of Schools of Township Thirty-eight North, Range Eleven, East of the Third Principal Meridian, in DuPage County, Illinois, an Illinois corporation, as to Parcel IV, a Corporation of Illinois.
21. Any lien, or right to a lien in favor of a property manager employed to manage the land. Note: we should be furnished either (a) an affidavit from the owner indicating that there is no property manager employed; or (b) a final lien waiver from the property manager acting on behalf of the owner.
22. Existing unrecorded leases, if any, and rights of parties in possession under such unrecorded leases.
23. Note: If any contemplated deed of conveyance of the land is exempt from the operation of the provisions of paragraph 1(a) of 765 ILCS 205/1, the plat act, such deed should be accompanied by a proper affidavit establishing to the satisfaction of the recorder of deeds of DuPage County, Illinois, that the conveyance is so exempt. If said conveyance is not so exempt, compliance should be had with the provisions of said paragraph 1(a).
24. It appears that the land described herein lies within the municipal boundaries of Hinsdale, please contact the municipality for any requirements which must be complied with prior to closing. The municipal phone number may be found at www.firstam.com/title/ill under Products and Resources, then Forms and Documents, then Municipal Transfer Stamp Requirements.
25. Relative to the deletion of Standard Exceptions 1 through 6, we should be furnished the following:
 - a) A current survey of the land, properly certified to the Company, made in accordance with (i) the accuracy requirements of a survey pursuant to the 'Minimum Standard Detail Requirements for Land Title Surveys' Jointly Established and Adopted by the American Land Title Association and National Society of Professional Surveyors (NSPS) February 23, 2016; and (ii) the Laws of the State of Illinois.

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b) A properly executed ALTA 2006 Loan and Extended Coverage Statement.

26. Note: The premises in question are located within the Flagg Creek Sanitary District which is accepting federal grants for pollution control pursuant to Public Law 92-500. The District must charge user charges separate from ad valorem taxes, which charges may be a continuing lien on the property. Attention is directed to ordinance recorded as document R75-19171.

Note: The Company should be provided with a letter from the Sanitary District stating all fees in connection with said services are paid current through the date of closing. The telephone number is of the Flagg Creek Sanitary District is (630)323-3299.

27. Flagg Creek Water Reclamation District Amended Ordinance No. 756 recorded as document no. R2009-037066 requiring payment of user charges prior to sale or transfer of real estate and further requiring evaluation of connection permits for sales of commercial property, and the terms and conditions contained therein.
28. Rights of way for drainage tiles, ditches, feeders and laterals, if any.
29. Rights of the Public, the State of Illinois and the Municipality in and to that part of the land, if any, taken or used for road purposes.
30. Rights of the interested parties to the free and unobstructed flow of the waters of the stream which may flow on or through the land.
31. Easements for public utilities, as shown on the plat of subdivision.
(Affects the East 8 feet of Parcel VIII; the North 5 feet of Parcels IX, X and XI)
32. Terms and conditions of the easement provisions noted on the plat of subdivision.
33. Building setback line(s) as shown on the plat of subdivision.
(Affects the West 25 feet of Parcel XIV)
34. Agreement for easements for the Village of Hinsdale recorded as document no. 787107 for a cast iron water pipe, and the terms and conditions contained therein.

(Affects Parcels I, II, III and XIII)
35. Easement agreement with the Village of Hinsdale recorded as document no. R91-056252 for the purpose of installing highway improvements, and the terms and conditions contained therein.

(Affects Parcels I, XIII and XIV)
36. Memorandum of grant of easement recorded as document no. R2010-127250, made by and between Board of Education of Hinsdale Township High School District No. 86, DuPage and Cook Counties, Illinois and Chicago SMSA Limited Partnership, d/b/a Verizon Wireless, and the terms and conditions contained therein.

(Affects Parcel XIII)

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37. Memorandum of easement agreement recorded as document no. R2014-052403 made by and between Board of Education of Hinsdale Township High School District 86 and New Cingular Wireless PCS, LLC, and the terms and conditions contained therein.
38. Agreement between the Village of Hinsdale and the Board of Education of School District 86 recorded as document no. R2001-056072 for the regulation of traffic, and the terms and conditions contained therein.
39. Agreement between the Village of Hinsdale and Hinsdale Township High School District 86 recorded as document no. R2019-001680, and the terms and conditions contained therein.
40. The property is subject to restrictions contained in Paragraph 5 of a contract dated October 21, 1997, as disclosed by a Trustee's Deed recorded as document no. R97-183981.

(Affects Parcel VIII)

41. Illinois Environmental Protection Agency Environmental No Further Remediation Letter recorded February 19, 2019 as document number R2019-011437.

Note: Land use restrictions/limitations: None

(Affects Parcels I through VII; XIII and XIV)

42. Ordinance recorded as document no. 603845 annexing property to the Village of Hinsdale, and the terms and conditions contained therein.

(Affects Parcels, I, II, III, IV and XIII)

43. Ordinance recorded as document no. 910424 annexing certain property to the Village of Hinsdale, and the terms and conditions contained therein.

(Affects Parcel XIV)

44. Ordinance No. 093-36 recorded as document no. R93-303069 establishing Special Service Area Number 7, and the terms and conditions contained therein.

45. Ordinance No. 094-3 recorded as document no. R94-022094 establishing Village of Hinsdale Special Service Area No. 7, and the terms and conditions contained therein.

46. Note: The Extended Coverage Endorsement, deleting Standard Exceptions 1 through 6, will be considered for approval upon receipt and review of the requirements referenced herein.

Limitation of Liability for Informational Report

IMPORTANT - READ CAREFULLY: THIS REPORT IS NOT AN INSURED PRODUCT OR SERVICE OR A REPRESENTATION OF THE CONDITION OF TITLE TO REAL PROPERTY. IT IS NOT AN ABSTRACT, LEGAL OPINION, OPINION OF TITLE, TITLE INSURANCE COMMITMENT OR PRELIMINARY REPORT, OR ANY FORM OF TITLE INSURANCE OR GUARANTY. THIS REPORT IS ISSUED EXCLUSIVELY FOR THE BENEFIT OF THE APPLICANT THEREFOR, AND MAY NOT BE USED OR RELIED UPON BY ANY OTHER PERSON. THIS REPORT MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT FIRST AMERICAN'S PRIOR WRITTEN CONSENT. FIRST AMERICAN DOES NOT REPRESENT OR WARRANT THAT THE INFORMATION HEREIN IS COMPLETE OR FREE FROM ERROR, AND THE INFORMATION HEREIN IS PROVIDED

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 <p>First American</p> <p>Exhibit A</p>	<p>ALTA Commitment for Title Insurance</p> <p>ISSUED BY</p> <p>First American Title Insurance Company</p> <p>File No: 2977574</p>
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Commitment File No.: 2977574

The Land referred to herein below is situated in the County of Dupage, State of IL, and is described as follows:

Parcel I:

Lots 1 and 2, in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel II:

The East 350 feet of the North half of the North half of Lot 3, in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel III:

The East 350 feet of the South half of the North half of Lot 3, in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel IV:

The North half of the North half of Lot 3 (except the East 350 feet thereof), in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel V:

The South half of the North half (except the East 350 feet thereof) of Lot 3, in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel VI:

The South half of Lot 3, in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel VII:

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The North half of Lot 4 (except the East 200 feet thereof), in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel VIII:

Lot 1, in Penzes Resubdivision of the South half of Lot 4 (except the East 60 feet thereof), in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of resubdivision recorded April 16, 1946 as document no. 495827, in DuPage County, Illinois.

Parcel IX:

Lot 5 (except the East 150 feet thereof), in Penzes Resubdivision of the South half of Lot 4 (except the East 60 feet thereof), in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of resubdivision recorded April 16, 1946 as document no. 495827, in DuPage County, Illinois.

Parcel X:

The West 75 feet of the East 150 feet of Lot 5, in Penzes Resubdivision of the South half of Lot 4 (except the East 60 feet thereof), in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of resubdivision recorded April 16, 1946 as document no. 495827, in DuPage County, Illinois.

Parcel XI:

The East 75 feet of Lot 5, in Penzes Resubdivision of the South half of Lot 4 (except the East 60 feet thereof), in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat of resubdivision recorded April 16, 1946 as document no. 495827, in DuPage County, Illinois.

Parcel XII:

The East 60 feet of the South half of Lot 4, in Block 7, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Parcel XIII:

The East half of the Northwest quarter of the Northwest quarter of Section 13, Township 38 North, Range 11 East of the Third Principal Meridian, excepting therefrom the South 33 feet thereof, in DuPage County, Illinois.

Parcel XIV:

Lots 11 through 20, both inclusive, in Block 2, in Branigar Brothers Hinsdale Farms, being a subdivision of the Southwest quarter and the Northwest quarter (except the East half of the Northwest quarter of the Northwest quarter) of Section 13,

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Township 38 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded April 5, 1920 as document no. 141390, in DuPage County, Illinois.

Note: For informational purposes only, the land is known as :

5500 S. Grant Street
Hinsdale, IL 60521

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ATTACHMENT E

Section II

2. Ordinance Provision:

- a. Sec. 7-310: Bulk, Space and Yard Requirements – Accessory Structures in required corner yard setback.
- b. Sec. 9-101, H, 2, g & i: Screening, Landscaping and Tree Planting Areas.
- c. Sec. 9-104, J, 1, e, xi: Required number of parking spaces for Secondary Schools.
- d. Sec. 9-105, C, 2: Off Street Loading Screening.
- e. Sec. 9-107, A, 1 & 2: Parking Lot Screening and Parking Lot Interior Landscaping.
- f. Sec. 9-107 B: Loading Space screening requirements.
- g. Sec. 9-107, H, 3: Screening for Outdoor Activity Areas.
- h. Title 9, Chapter 12, Sec. 9-12-3, subsection D: Construction Standards (material).
- i. Title 9, Chapter 12, Sec. 9-12-3, subsection E: Protective Fences.

3. Variation Sought:

In regards to Phase 1 additions and renovations to Hinsdale Central High School; the District is seeking the following approvals from the Village of Hinsdale for lack of conformity to the Village's zoning and land use requirements as follows.

Quantity of off-street parking:

General: Current allocations of the use of land by either buildings or athletic fields limits the ability of the District to add a significant quantity of additional off-street parking stalls. The project in its entirety does not raise the student or staff populations of the building. The additions and renovations are bringing the school's facilities on par with other local peer high school districts' facilities in regards to usability, condition and features. The current quantity of parking stalls on site is 560. The proposed modifications increase this quantity to 583. It would cause undue hardship if the Owner was to conform with the required 882 stalls. Reference Sec. 9-104, J, 1, e, xi.

Unique Physical Condition: The Subject Property is an existing public high school. The existing off-street parking counts do not meet current Zoning requirements.

Not Self-Created: The Subject Property has been a public high school since 1948 and has been expanded as the population and academic needs have grown in the community since that time. Additional land acquisitions for parking are limited and infeasible due to increased property costs in the area.

Denied Substantial Rights: The carrying out of the strict letter of the provision of the zoning code would interfere with the public high school's ability to provide academic, co-curricular and athletic activities on the site.

Not Merely Special Privilege: In order to help alleviate parking concerns on-site, the District is providing an addition 23 parking stalls over the existing amount. The addition of any further parking stalls would reduce the area of the site dedicated to buildings, athletic fields, open space and required property line setbacks.

Code and Plan Purposes: The Variation sought would not result in a use of the Subject Property that would not be in harmony with the Official Comprehensive Plan or current zoned district of IB Institutional Building.

Essential Character of the Area: The variation would not be detrimental to the public welfare and is in character of the existing use of the site. Existing parking stalls will not be reduced. The variation would not impair an adequate supply of light and air to any property in the vicinity. The variation would not substantially increase congestion in the public streets, and would result in an overall modest decrease, due to the extra stalls being provided. The variation would not unduly increase the danger of flood and fire, or unduly tax public utilities and facilities. The Subject Property will comply with the local authorities having jurisdiction in regards to stormwater management of the property. The variation would not endanger the public health or safety of the surrounding properties.

No Other Remedy: There is no means other than the requested variation that would permit a reasonable use of the Subject Project. Providing additional parking stalls would result in a reduction of building addition footprints (for academically needed facilities), athletic fields, setbacks, and other open landscaped areas on site.

Off street parking lot and loading, landscaping and screening requirements:

General: In order to maximize land use and ability to add parking stalls, the District is seeking to eliminate the landscaped parking island, 10' landscaped open space screening requirement and loading-space screening requirement. Currently, the existing parking facilities do not conform to these requirements. To conform with these requirements would result in a reduction of off-street parking stalls in lieu of an increase. Islands would also increase the time needed to clear parking lots of snow and maintain school start times. Reference Secs. 9-104, H, 2 g & l; 9-105, C, 2; 9-107, A, 1 & 2; Sec. 9-107 B.

Unique Physical Condition: The Subject Property is an existing public high school. The existing off-street parking lots do not meet current Zoning requirements for landscaping. The existing loading dock will be relocated to accommodate a future phase addition (Fine Arts). The existing loading dock is only screened on three sides.

Not Self-Created: The Subject Property has been a public high school since 1948 and has been expanded as the population and academic needs have grown in the community since that time. Additional land acquisitions for parking or loading zones are limited and infeasible due to increased property costs in the area.

Denied Substantial Rights: The carrying out of the strict letter of the provision of the zoning code would interfere with the public high school's ability to provide academic, co-curricular and athletic activities on the site.

Not Merely Special Privilege: The Subject Property currently does not meet the required number of off-street parking stalls and would be subject to a further decrease if the buffer and landscape requirements are not waived. The relocated loading area is in-set of the site, substantially away from adjacent properties.

Code and Plan Purposes: The Variation sought would not result in a use of the Subject Property that would not be in harmony with the Official Comprehensive Plan or current zoned district of IB Institutional Building.

Essential Character of the Area: The variation would not be detrimental to the public welfare and is in character of the existing use of the site. Existing parking stalls will not be reduced. Required loading spaces will be provided. Refuse containers will be fully screened. The variation would not impair an adequate supply of light and air to any property in the vicinity. The variation would not substantially increase congestion in the public streets, and would result in an overall modest decrease, due to the extra stalls being provided. The variation would not unduly increase the danger of flood and fire, or unduly tax public utilities and facilities. The Subject Property will comply with the local authorities having jurisdiction in regards to stormwater management of the property. The variation would not endanger the public health or safety of the surrounding properties.

No Other Remedy: There is no means other than the requested variation that would permit a reasonable use of the Subject Project. Providing additional landscaping and buffers would result in a reduction of parking lot stalls, building addition footprints (for academically needed facilities), athletic fields, setbacks, and other open landscaped areas on site.

Sports Safety Netting (Protective Fence):

General: 50' high sports safety netting systems are planned for the southern edge and northern edge of the baseball field located in the southeast corner of the site. The netting along 57th Street is to prevent foul balls from hitting adjacent properties across the street, a current problem. Netting along the north is required to protect parked vehicles in the extended parking lot. At the north parking lot, it is proposed to provide removable windscreen at the bottom of the safety netting structure to allow snow removal in the winter months. The netting systems are in excess of the 8'-0" high maximum fencing requirements. Reference Title 9, Chapter 12 Sec. 9-12-3, subsection E.

Unique Physical Condition: The Subject Property is an existing public high school. The existing baseball field abuts to the adjacent off-site residential properties and as well as the District owned parking lot to the North.

Not Self-Created: The Subject Property has been a public high school since 1948 and has been expanded as the population and academic needs have grown in the community since that time. Additional land acquisitions for open spaces are limited and infeasible due to increased property costs in the area.

Denied Substantial Rights: The carrying out of the strict letter of the provision of the zoning code would interfere with the public high school's ability to further protect the general public's property for the surround neighborhood, as well as on-site.

Not Merely Special Privilege: The variation addresses adjacent property owner's concerns about foul balls damaging property across 57th street.

Code and Plan Purposes: The Variation sought would not result in a use of the Subject Property that would not be in harmony with the Official Comprehensive Plan or current zoned district of IB Institutional Building.

Essential Character of the Area: The variation would not be detrimental to the public welfare and is in character of the existing use of the site. The netting would provide additional safety measures against property damage. The variation would not impair an adequate supply of light and air to any property in the vicinity. The netting system would be a mesh type system with

metal support poles, which would allow air and light to pass through. The variation would not substantially increase congestion in the public streets. The variation would not unduly increase the danger of flood and fire, or unduly tax public utilities and facilities. The variation would not endanger the public health or safety of the surrounding properties. It will further improve safety.

No Other Remedy: Standard height fencing systems would not provide adequate protection to the surrounding properties or parking lot to the north.

Tennis Court Fencing, Track fencing, baseball field backstop and fencing, miscellaneous athletic field fencing

General: Various existing chain-link fences are proposed including:

- a) Replacement of existing chain link tennis court fencing with windscreens. New is proposed to be Vinyl Coated, green color, 10 feet high.
- b) Replacement of existing chain link track fencing. New is proposed to be Vinyl Coated, black color, +/- 4 feet high.
- c) Replacement of existing baseball field chain-link backstop, first and third base line chain link fencing. New is proposed to be Vinyl Coated, black color, match existing back stop height, base line fences +/- 4 feet high. The existing back-stop is currently in the required 35' corner yard setback off of 57th Street. Moving the baseball field to correct this condition is not feasible on-site without the loss of parking and would negatively affect the adjacent properties to the east.
- d) Repair and infill of existing miscellaneous athletic field chain link fencing (adjacent to the football field and track area). New is proposed to be vinyl coated, black color in some areas, galvanized in others (to match to existing/adjacent), +/- 4 feet to 8 feet high.
- e) Reference Title 9, Chapter 12 Sec. 9-12-3, subsection D and E; Sec 7-310.

Unique Physical Condition: The Subject Property is an existing public high school. The existing chain-link fencing is a widely accepted standard fencing for the sport and other High Schools and athletic fields/parks in the area.

Not Self-Created: The Subject Property has been a public high school since 1948 and has been expanded as the population and academic needs have grown in the community since that time.

Denied Substantial Rights: The carrying out of the strict letter of the provision of the zoning code would interfere with the public high school's ability to further protect the general public's property for the surround neighborhood, as well as on-site.

Not Merely Special Privilege: Chain-link fencing is an existing condition and is a widely accepted standard for athletics.

Code and Plan Purposes: The Variation sought would not result in a use of the Subject Property that would not be in harmony with the Official Comprehensive Plan or current zoned district of IB Institutional Building.

Essential Character of the Area: The variation would not be detrimental to the public welfare and is in character of the existing use of the site, it matches an existing condition. The variation would not impair an adequate supply of light and air to any property in the vicinity. The variation would not substantially increase congestion in the public streets. The variation would

not unduly increase the danger of flood and fire, or unduly tax public utilities and facilities. The variation would not endanger the public health or safety of the surrounding properties.
No Other Remedy: Different types of fencing would not provide adequate protection and would also block spectator viewing.

Soccer Field accessory structures:

General: Replacement of (2) team shelters and (1) press box building. The existing accessory structures are currently located within the required corner yard setback of the subject property. The proposed new structures would generally the same footprint size of the existing. This would also require a variance for the 20' perimeter landscaped open space / landscape buffer/screening requirement per code. Height of new press box structure would also require a variance. Proposed building is >19 feet high. Reference Secs. 7-310; 9-107, H, 2.

NOTE: future application will seek variance to increase the size of the football field west side bleachers. Exact design is to be determined and will be submitted in the future, under separate cover.

Unique Physical Condition: The Subject Property is an existing public high school. The existing soccer field cannot be located anywhere else on-site.

Not Self-Created: The Subject Property has been a public high school since 1948 and has been expanded as the population and academic needs have grown in the community since that time. Additional land acquisitions for open spaces are limited and infeasible due to increased property costs in the area.

Denied Substantial Rights: The carrying out of the strict letter of the provision of the zoning code would interfere with the public high school's ability to have soccer field that meets today's competitive standards.

Not Merely Special Privilege:

Code and Plan Purposes: The Variation sought would not result in a use of the Subject Property that would not be in harmony with the Official Comprehensive Plan or current zoned district of IB Institutional Building.

Essential Character of the Area: The variation would not be detrimental to the public welfare and is in character of the existing use of the site, it matches an existing condition. The variation would not impair an adequate supply of light and air to any property in the vicinity. The variation would not substantially increase congestion in the public streets. The variation would not unduly increase the danger of flood and fire, or unduly tax public utilities and facilities. The variation would not endanger the public health or safety of the surrounding properties.

No Other Remedy: The soccer field cannot be moved elsewhere the subject property. Spectator bleachers are located on the opposite side of the field.

4. **Minimum Variation:**

Quantity of off-street parking:

Allow 583 total parking stalls in lieu of the required 882 for the subject property.

Off street parking lot and loading, landscaping and screening requirements:

Eliminate the off-street parking lot landscaped parking island requirements for the existing/modified parking lot west of Grant Street, existing parking lot east of Grant Street and new parking lot extension east of Grant Street.

Eliminate the off-street parking lot open space screening requirements for the existing/modified parking lot west of Grant Street, existing parking lot east of Grant Street and new parking lot extension east of Grant Street.

Eliminate the loading space screening requirement for the new loading dock area (Buildings and Grounds addition).

Sports Safety Netting (Protective Fence):

Allow a 50' protective netting fence system at the southern and northern edges of the baseball field located in the southeast corner of the site.

Tennis Court Fencing, Track fencing, baseball field backstop and fencing, miscellaneous athletic field fencing

Tennis Courts - Allow vinyl coated chain-link tennis court fencing, 10 feet high, with windscreens.

Track - Allow vinyl coated chain-link track fencing, +/- 4 feet high.

Baseball field-Allow vinyl coated chain-link backstop and baseline fencing, high to match to existing.

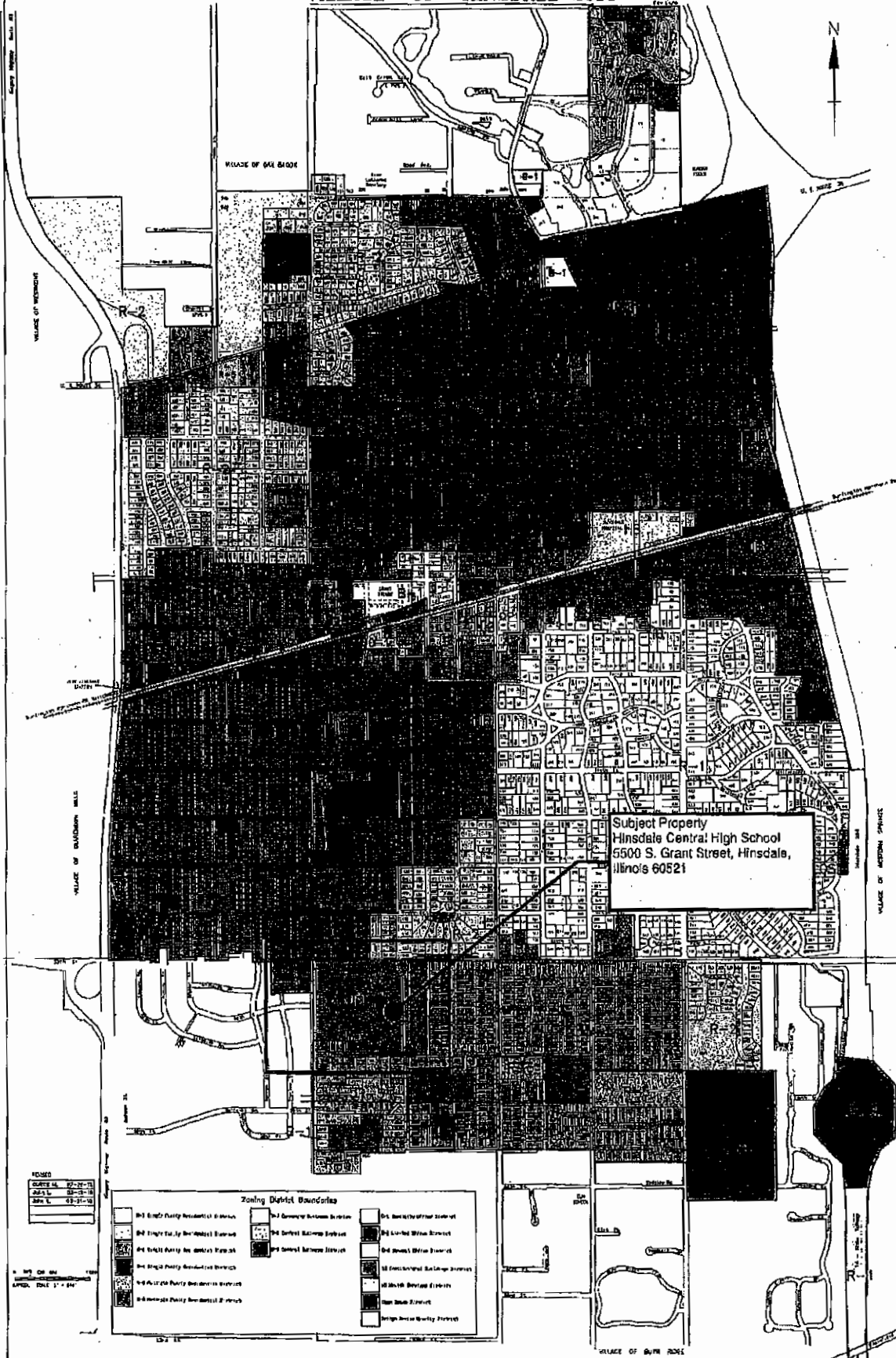
Repair and infill of existing miscellaneous athletic field chain link fencing-Allow use of chain-link fencing to match to existing.

Soccer Field accessory structures:

Allow the replacement of (2) team shelters and (1) press box structure within the required corner yard setback. Allow press box to be 19' high.

5. **Standards for Variation:** Refer to above responses.

ATTACHMENT F
VILLAGE OF HINSDALE 2019



Subject Property
Hinsdale Central High School
5500 S. Grant Street, Hinsdale,
Illinois 60521

REVISIONS

DATE	DESCRIPTION
07-27-11	ADDED
08-03-11	ADDED
03-27-12	ADDED

SCALE: 1" = 60'

Zoning District Boundaries

VILLAGE OF SOUTH RIDGE

TABLE OF COMPLIANCE

Address of subject property: 5500 South Grant Street

The following table is based on the IB Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	350,000 SF	1,501,285 SF	NO CHANGE
Lot Depth	250'	1263'	NO CHANGE
Lot Width	200'	1252'	NO CHANGE
Building Height	50'	VARIES BUT 47'-6" MAX.	48'-0" (Natorium Addition)
Number of Stories	NOT LISTED	2 STORIES	2 STORIES
Front Yard Setback	35'	VARIES BUT > 35'	NO CHANGE
Corner Side Yard Setback	35'	VARIES BUT > 35'	NO CHANGE
Interior Side Yard Setback	25'	VARIES BUT > 25'	NO CHANGE
Rear Yard Setback	25'	NOT APPLICABLE	NOT APPLICABLE
Maximum Floor Area Ratio (F.A.R.)*	.50 / 750,643 SF	.32 / 477,311 SF	.34 / 511,098 SF
Maximum Total Building Coverage*	NOT LISTED	17% / 254,937 SF	19% / 280,272 SF
Maximum Total Lot Coverage*	NOT LISTED	83% / 1,246,348 SF	81% / 1,221,013 SF
Parking Requirements	882 STALLS	560 STALLS	583 STALLS
Parking front yard setback	35'	>35'	NO CHANGE
Parking corner side yard setback	35'	WITHIN SETBACK	NO CHANGE
Parking interior side yard setback	25'	>25'	NO CHANGE
Parking rear yard setback	25'	WITHIN SETBACK	NO CHANGE
Loading Requirements	(3)	(4)	NO CHANGE
Accessory Structure Information	SAME AS BUILDING EXCEPT IN REAR OR SIDE YARDS	WITHIN SETBACK	NO CHANGE

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

SEE ATTACHED SHEET

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief.
B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
4. Location, size, and arrangement of all outdoor signs and lighting.
5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 3rd day of December, 2019, I/We have read the above certification, understand it, and agree to abide by its conditions.

Signature of applicant or authorized agent: Tammy Prentiss
Name of applicant or authorized agent: Tammy Prentiss

Signature of applicant or authorized agent: Nicholas Green
Name of applicant or authorized agent: Nicholas Green

SUBSCRIBED AND SWORN to before me this 3 day of December, 2019.

Notary Public: Catherine J. Ann



FINAL DECISION

**VILLAGE OF HINSDALE
ZONING BOARD OF APPEALS
PETITION FOR VARIATION**

ZONING CASE NO: V-05-19

PETITIONER: ARCON Associates, Inc. on behalf of Hinsdale Township High School District 86

APPLICATION: For certain Variations from the Zoning Code of the Village of Hinsdale ("Zoning Code") relative to the replacement and/or construction of new improvements at Hinsdale Central High School, at 5500 S. Grant Street, Hinsdale, Illinois.

MEETING HELD: A Public Hearing was held on Wednesday, January 15, 2020, in Memorial Hall, in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois, pursuant to a notice published in The Hinsdalean on November 28, 2019.

PROPERTY: The subject property is commonly known as 5500 S. Grant Street, Hinsdale, Illinois (the "Property") and is legally described in Exhibit A attached hereto and made a part hereof.

SUMMARY OF REQUEST: The Village of Hinsdale has received a request from ARCON Associates, Inc., on behalf of property owner Hinsdale Township High School District 86 (the "Applicant") for certain variations relative to the replacement and/or construction of new improvements to the existing building known as Hinsdale Central High School located on the Property at 5500 S. Grant Street (the "Application"). The improvements proposed at this time are Phase I of a program of improvements and upgrades to the High School over the next three (3) years. The general scope of Phase I improvements include a natatorium addition, buildings and grounds addition, parking lot reconfigurations and modifications due to loading dock relocation; associated landscaping, artificial turf replacement, tennis court and fencing replacement, running track and fence replacement, separation of storm and sanitary utilities due to Flagg Creek Water Reclamation District requirements, chain-link baseball field backstop and fence replacement, baseball field sports safety netting installation, privacy fencing, soccer field team shelter and press box replacements, emergency generator replacement, and various other ADA and health/life safety improvements on site (collectively, the "Phase I Improvements").

This Property is located in the IB Institutional Buildings Zoning District in the Village of Hinsdale at the southwest corner of Ogden Avenue and Oak Street.

The Applicant has requested variations to the following Sections of the Village Code and Zoning Code of the Village of Hinsdale ("Zoning Code") over which the Zoning Board of Appeals of the Village of Hinsdale ("ZBA") has final authority:

- to Section 9-12-3(E) of the Village Code, to allow a fence higher than the eight (8) foot limitation on fences in order to provide for the construction of safety netting at the baseball field on the northeast corner of Grant and 57th Street; and
- to Section 9-12-3(D & E) of the Village Code and Section 7-310 of the Zoning Code, to allow a fence higher than the eight (8) foot height limitation on fences and to allow a location for such fences where not otherwise allowed by the setback requirements in order to provide for the like-kind replacement of the existing chain link tennis court fencing, track fencing, baseball field backstop and miscellaneous athletic field fencing; and
- to Section 7-310 of the Zoning Code to allow building height and screening requirements in excess of those allowed by the Zoning Code for the construction of two (2) soccer field team shelters and a press box

Collectively, these variation requests shall be referred to herein as the "Requested Variations."

In addition to the Requested Variations, additional variations over which the Village President and Board of Trustees have final authority were sought and recommended for approval by the ZBA. Those variations were:

- to Section 9-104(J)(1)(e)(xi) of the Zoning Code, to allow a reduction in required parking from 882 to 583 spaces (existing parking count is 560, so Phase I Improvements will actually increase the count to 583);
- to Section 9-104(H)(2)(g & i); 9-105(c)(2); 9-107(A)(1&2); 9-107(B) of the Zoning Code, to provide relief from landscape island, ten (10) foot open space buffer, and loading space screening requirements in order to maximize the number of parking spaces on the Property;
- to Section 9-107(H)(2) of the Zoning Code, to provide relief from the building setback requirements for the construction of two (2) soccer field team shelters and a press box.

Together, these are the "Additional Variations" and, collectively with the Requested Variations, the "Variations". The findings and recommendation of the ZBA on the Additional Variations are detailed in a separate Findings and Recommendation from the ZBA to the Board of Trustees in this matter. The collective Variations are all described in more detail in the Application, a copy of which is attached hereto as **Exhibit B** and made a part hereof.

On January 15th, 2020, following the conclusion of the public hearing on this matter, the ZBA indicated its approval of the Requested Variations on a vote of six (6) in favor,

zero (0) opposed, and one (1) absent, and directed the preparation of this Final Decision.

PUBLIC HEARING: At the combined public hearing on the Variations, Project Architect Nick Graal testified as the representative of the Applicant on the Variations.

The representative of Applicant reviewed the Variations for the benefit of the ZBA, and how, in the opinion of the Applicant, the standards for Variations had been met.

In terms of the variation for off-street parking and the off-street parking lot and loading zone landscape and screening requirement, the representative of Applicant noted that the Property has been an existing public high school since 1948. The existing parking facilities do not currently have landscape screening or landscape islands, and the current parking lot count does not meet the count requirements. The high school has expanded throughout the years as population and academic needs have grown and changed, but additional land acquisitions are limited and cost prohibitive due to land value in the area. They are proposing an expansion of the southeast parking lot, and proposing alleviation of the landscape and screening requirements in order to maximize the amount of parking provided onsite. Current parking demands outweigh available parking. There is enough parking for staff, but there is a high request for student parking, despite busing being available throughout the District.

None of the Phase I Improvements expand the student population, but are instead addressing current needs of the facility. They are attempting to increase parking to accommodate demand, but cannot provide an increase if required to meet landscape island and other requirements. Meeting the required parking requirements in the Zoning Code would require removal of the junior varsity baseball field, and even then, the Code requirements could not be met. If current facilities are sacrificed to meet parking requirements, the High School will not be able to provide the same level of service to the community as it does today.

A parking garage was not part of the referendum that is funding the Phase I Improvements, and a parking garage may have a severe detrimental impact on surrounding properties. It was noted that the Variations may decrease congestion in the public streets due to the added parking spaces.

The representative of the Applicant then addressed the Variations for tennis court fencing, track fencing, baseball field backstop and fencing and miscellaneous athletic field fencing. All fields are currently fenced; the Variations address replacement of existing fencing. The Applicant also proposes a Variation to allow protective netting in the form of safety sports netting, at the Junior Varsity Baseball Field, to address some community concerns regarding foul balls and home runs. The position of the Junior Varsity Baseball Field on the lot relative to the adjacent properties to the east and south creates a unique physical condition. The safety netting would prevent foul balls from going off-site, and home runs from striking vehicles in the parking lot. The Phase I Improvements will increase the safety of the area. Fencing materials other than chain-link would prevent viewing the sports activities taking place.

While the Applicant is seeking a Variation for landscape screening, it does intend to provide landscaping to the extent feasible at the perimeter of the parking lot expansion, including about seventeen (17) six-foot (6') tall Arborvitaes.

The Variation for the soccer field accessory structures was also addressed. The existing physical layout of the site presents design challenges, as does the existing water tower public utility on-site. Grading issues prevent shifting the soccer field any further east. The only practical solution is to replace the player shelters and press box in their current locations within the setback. Better quality materials matching the aesthetic of the softball field are proposed. The structures are screened by existing, very tall evergreen trees and grading on the east end portion of the site. A height Variation is sought to allow the press box to be nineteen (19) feet tall, which, according to the representative of the Applicant, is a pretty standard height for site lines from a press box.

During his presentation, the representative of the Applicant answered various questions posed by the members of the ZBA.

John Ochoa of 5620 S. Washington was present to express general support for the Variations. His home abuts the east side of the teacher's parking lot. He stated that the Variations are more appealing than the alternatives necessary to meet Code.

There being no further questions or members of the public wishing to speak on the application, the portion of the Public Hearing related to the Requested Variations was closed.

Members discussed the Requested Variations and agreed that the standards for variations set forth in 11-503(F) of the Hinsdale Zoning Code had been met. Motions to approve the Requested Variations were made by Member Alesia and seconded by Member Engel.

AYES: Members Moberly, Murphy, Podliska, Alesia, Engel,
Chairman Neiman

NAYS: None

ABSTAIN: None

ABSENT: Member Giltner

FINDINGS: The following are the Findings of the ZBA relative to the Requested Variations:

1. *General Standard: Carrying out the strict letter of the provisions of the Zoning Code would create a particular hardship or a practical difficulty, based on satisfaction of the standards below:*

2. *Unique Physical Condition: The Subject Property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or*

nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot. The Property is landlocked and there are limited opportunities for expansion. All members agree that the long-existing precode school structure on the Property, along with the physical layout of the structures, athletic fields, uses and parking on the Property, proximity of the use to the adjacent neighbors, safety concerns, and landlocked nature of the Property, are driving the request for the Requested Variations and create a unique physical condition. The Requested Variations in some cases concern like-kind replacements of existing fences and other structures.

3. Not Self-Created: The unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of the Zoning Code, for which no compensation was paid. The need for the Requested Variations is not self-created, and is in part driven by the long-existing physical conditions present on the Property, and the landlocked nature of the Property. The ZBA finds this standard to have been met.

4. Denied Substantial Rights: The carrying out of the strict letter of the provisions from which a variation is sought would deprive the owner of the subject property of substantial rights commonly enjoyed by owners of other lots subject to the same provision. In this case, requiring the Applicant to conform to the provisions of the Zoning Code for which relief is sought would cause the loss of various on-site amenities to the community provided by Applicant, and would negatively impact both the neighbors and the Applicant's ability to serve the community in the same manner as other comparable schools.

5. Not Merely Special Privilege: The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation. The Variations are not sought to make more money from use of the Property, but are instead sought in order to make necessary improvements to the Property without negatively impacting site conditions and adjacent neighbors.

6. Code And Plan Purposes: The variation would not result in a use or development of the subject property that would not be in harmony with the general and specific purposes for which the Zoning Code and the provision from which a variation is sought were enacted or the general purpose and intent of the official comprehensive plan. The Variations are consistent with the existing use. The ZBA found this standard to have been met.

7. *Essential Character Of The Area: The variation would not result in a use or development on the subject property that:*

(a) would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or (b) would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or (c) would substantially increase congestion in the public streets due to traffic or parking; or (d) would unduly increase the danger of flood or fire; or (e) would unduly tax public utilities and facilities in the area; or (f) would endanger the public health or safety.

The granting of the Requested Variations will allow needed improvements to occur at the Property, without negatively impacting existing site amenities or adjacent neighbors. The building, fields, fencing and other structures already exist, and the utilities are already in place. The Requested Variations will not endanger the public health or safety.

8. *No Other Remedy: There is no means other than the requested variations by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.* Limited options exist at this landlocked site. The ZBA finds this standard to have been met.

In addition, Section 9-12-3 of the Village Code provides certain standards for fence variations. Those additional standards are that: 1) *the petitioner is affected by unique circumstances justifying relief from the provisions of Section 9-12-3,* 2) *the variation will not alter the essential character of the locality,* 3) *the variation will be in harmony with the general purpose and intent of Section 9-12-3,* 4) *the variation will set no unfavorable precedent either to the locality or to the village as a whole,* 5) *the variation will be the minimum necessary to afford relief to the petitioner,* and 6) *the variation will not adversely affect the public safety and general welfare.* The ZBA finds all of the foregoing standards to have been met, for the various reasons set forth above. In addition, due to the uniqueness of the Property as a high school, the variation will set no unfavorable precedent.

FINAL DECISIONS:

Based on the Findings set forth above, the ZBA, by a vote of six (6) in favor, zero (0) opposed and one (1) absent, **APPROVES** and **GRANTS** the following Requested Variations, as described in the Application, a copy of which is attached hereto as Exhibit B and made a part hereof, relative to construction of the Phase I Improvements located in the IB Institutional Building Zoning District at 5500 S. Grant Street:

1. **A Variation to Section 9-12-3(E) of the Village Code to allow a fence higher than the eight (8) foot limitation on fences in order to provide for the construction of fifty (50) foot high protective safety netting system at the baseball field on the northeast corner of Grant and 57th Street; and**

2. A Variation to Section 9-12-3(D & E) of the Village Code and Section 7-310 of the Zoning Code, to allow a fence higher than the eight (8) foot height limitation on fences and the setback requirements in order to provide for the replacement of the existing chain link tennis court fencing with ten (10) foot high vinyl-coated fencing with windscreens, vinyl-coated four (4) foot high track fencing, vinyl-coated chain-link backstop and baseline baseball fencing with heights that match the existing fencing, and use of miscellaneous chain-link athletic field fencing for repair and infill of existing fencing; and

3. A Variation to Section 7-310 of the Zoning Code to allow building height and screening requirements in excess of those allowed by the Zoning Code for the construction of two (2) soccer field team shelters and a nineteen (19) foot high press box without the required twenty (20) foot perimeter landscaped open space/landscape buffer/screening requirement.

AYES: _____

NAYS: _____

ABSENT: _____

Signed: _____

Robert Neiman, Chair
Zoning Board of Appeals
Village of Hinsdale

Date: _____

Filed this ___ day of _____, 2020, with the office of the Building Commissioner.

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

PARCEL I: LOTS 1 AND 2, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PARINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL II: THE EAST 350 FEET OF THE NORTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL III: THE EAST 350 FEET OF THE SOUTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IV: THE NORTH HALF OF LOT 3 (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL V: THE SOUTH HALF OF THE NORTH HALF (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VI: THE SOUTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO

THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VII: THE NORTH HALF OF LOT 4, (EXCEPT THE EAST 200 FEET THEREOF) IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VIII: LOT 1, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IX: LOT 5, (EXCEPT THE EAST 150 FEET THEREOF), IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS .

PARCEL X: THE WEST 75 FEET OF THE EAST 150 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XI: THE EAST 75 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XII: THE EAST 60 FEET OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE

FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XIII: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE SOUTH 33 FEET THEREOF, IN DUPAGE COUTNY, ILLINOIS

PARCEL XIV: LOTS 11 THROUGH 20, BOTH INCLUSIVE, IN BLOCK 2, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 5500 South Grant Street, Hinsdale, Illinois
PINS: 09-13-100-017, 09-13-100-008, 09-13-100- 011, 09-13-100-012, 09-13-100-013, 09-13-100-014, 09-13-100-015 & 09-13-101-027

STATE OF ILLINOIS)
) SS:
COUNTY OF DU PAGE)

VILLAGE OF HINSDALE
ZONING BOARD OF APPEALS

In Re the Matter of:)
)
5500 South Grant Street)
Hinsdale Central High School)
Case No. V-05-19)

REPORT OF PROCEEDINGS had and testimony
taken at the Public Hearing of the above-
entitled matter before the Hinsdale Zoning Board
of Appeals, at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 15th day of January, 2020, at
the hour of 6:48 p.m.

BOARD MEMBERS PRESENT:

- MR. ROBERT NEIMAN, Chairman;
- MR. JOSEPH ALESIA, Member;
- MS. KATHRYN ENGEL, Member;
- MR. GARY MOBERLY, Member;
- MR. THOMAS MURPHY, Member;
- MR. JOHN PODLISKA, Member.

2

1 ALSO PRESENT:
 2 MR. ROBERT MC GINNIS, Director of Community
 Development/Building;
 3
 4 MS. CHRISTINE BRUTON, Deputy Clerk and
 Board's secretary;
 5
 6 MR. NICHOLAS GRAAL, Arcon Associates,
 Architect;
 7
 8 MR. JOHN OCHOA.

8 CHAIRMAN NEIMAN: The next case on our
 9 agenda for public hearing is Case V-05-19 -
 10 5500 South Grant Street, Hinsdale Central High
 11 School.
 12 MR. GRAAL: Good evening. I'm Nick
 13 Graal with Arcon Associates, project architect
 14 representing School District 86 tonight.
 15 CHAIRMAN NEIMAN: So to suggest a way
 16 to go through this case, because there are five
 17 separate variance requests, if you could take us
 18 through a very brief overview of each variance
 19 or variance requests one at a time, go through
 20 why you believe you meet criteria for the
 21 variance, and then move on to the next --
 22 Should we, Robb, is it your

3

1 suggestion that we vote on each one? Or go
 2 through all five, then close the hearing, and
 3 then vote on each of the five?
 4 MR. MC GINNIS: Correct.
 5 CHAIRMAN NEIMAN: The latter?
 6 MR. MC GINNIS: Yes. That would be
 7 great, yes.
 8 CHAIRMAN NEIMAN: So if you could take
 9 us through one variance request at a time, why
 10 you meet the criteria.
 11 MR. GRAAL: Sure.
 12 CHAIRMAN NEIMAN: And then move on to
 13 1, 2, 3, 4, and 5. Then we will hear from
 14 anybody else who wishes to address us. Then we
 15 will close the public hearing, and then we will
 16 vote. Okay. Glad we got it.
 17 MR. GRAAL: I will try to be as brief
 18 and try to do it in a summary fashion as
 19 possible.
 20 We do have several variances that
 21 we are requesting. The first variance is the
 22 quantity of off-street parking. And really with

4

1 meeting the seven criteria, you will probably
 2 hear me repeat the same things for each one with
 3 some nuances there.
 4 As far as unique physical
 5 condition, the subject property has been an
 6 existing public high school since 1948. This is
 7 not self-created.
 8 CHAIRMAN NEIMAN: Well, tell us
 9 which -- We are just talking about the parking
 10 one first? That's what I was suggesting.
 11 MR. GRAAL: Correct. I will go through
 12 the parking variance first.
 13 CHAIRMAN NEIMAN: The parking, okay.
 14 MR. MURPHY: It looks to me like 1 and
 15 2, it's all the same answers for all the same
 16 issues for the amount of required parking and
 17 the removal of the landscape island. It looks
 18 like 3 and 4, with respect to the height of the
 19 fence, I'm just --
 20 Is there any reason -- We could
 21 just address 1 and 2 collectively and 3 and 4?
 22 I'm just trying and make it simple.

5

1 CHAIRMAN NEIMAN: That will work.
 2 MR. MOBERLY: Good idea.
 3 MR. MURPHY: If you go 5 times 7,
 4 that's 35 different headings. We're cutting it
 5 down a little bit by combining. I'm trying to
 6 make it easier. But, yes, you need to address
 7 the parking issues by themselves. How long the
 8 high school has been there, but the parking
 9 issues by themselves. And does that make sense?
 10 MR. GRAAL: Okay. To address the
 11 variances No. 1 and 2 in regards to quantity of
 12 off-street parking and the off-street parking
 13 lot and loading zone landscape and screen
 14 requirements.
 15 Unique physical condition, again,
 16 this property has been a school since 1948. The
 17 existing parking facilities right now do not
 18 have landscape screening or landscape islands in
 19 them currently, and the current property does
 20 not meet the current parking lot count to zoning
 21 today.
 22 Not self-created, the school has

6

1 been expanded throughout the years as the
 2 population and academic needs have grown and
 3 changed throughout the community. And
 4 additional land acquisitions are limited and
 5 cost prohibitive due to land value in the area.
 6 In order to address the quantity of
 7 parking, we are doing an expansion of the
 8 parking lot. We are requesting alleviation of
 9 the zoning and the landscape and the screening
 10 requirements in order to maximize the amount of
 11 parking we can provide onsite.
 12 MR. ALESIA: To the south end of the
 13 lot on the screen?
 14 MR. GRAAL: Correct, to the southeast
 15 portion.
 16 MR. MC GINNIS: So you are going to
 17 lose some of that grass?
 18 MR. GRAAL: Correct.
 19 MR. PODLISKA: The requests for parking
 20 now, are you able to meet the demand for parking
 21 as it presently exists? In other words, I take
 22 it there has to be, if you want to park, if you

7

1 are a student, you want to park, you have to
 2 apply.
 3 MR. GRAAL: That's correct. And demand
 4 outweighs what is available. We do have enough
 5 parking for staff, but there is a high request
 6 for student parking. But the school district
 7 does provide busing capabilities throughout the
 8 community.
 9 MR. MURPHY: Property that backs up
 10 against 55th Street, you could make a lot of
 11 money for parking spaces for students in your
 12 driveway.
 13 MR. PODLISKA: Can you give us an idea
 14 of how many requests for parking permits the
 15 school gets as opposed to how many they can
 16 accommodate?
 17 MR. GRAAL: I don't know that offhand.
 18 I would have to look to the school district. We
 19 don't have that information.
 20 MR. MOBERLY: My information is eight
 21 years old, but at that time only seniors could
 22 apply to park. Juniors and sophomores, even if

8

1 they had their license, the answer was no. I
 2 believe there was some sort of lottery system.
 3 So not every senior could even get a parking
 4 spot. They encouraged carpooling and walking
 5 and using the public transportation; but it's a
 6 very, very hot commodity.
 7 MR. PODLISKA: And is that expected to
 8 become greater or less in future years?
 9 MR. GRAAL: We are not expanding. None
 10 of the additions that are proposed to the
 11 building are expanding the student population.
 12 They are addressing current needs of the
 13 facility. So I can't predict how many more
 14 people will want to drive in the future, but I
 15 would suspect that the need will be sustained.
 16 The request will be sustained throughout the
 17 near future.
 18 MR. PODLISKA: Because I guess this
 19 would be an easier call if at the present time
 20 you only had, say, 400 applications for parking
 21 spaces and you were dealing with the difference
 22 between 500 versus 800. But it's more

9

1 problematic if we are already at a point where
 2 people need more parking spaces than we are able
 3 to provide now.
 4 MR. GRAAL: I think we are addressing
 5 that. We are increasing the amount of parking.
 6 The proposed plan has a modest increase of about
 7 10 or so spots.
 8 And if we were to provide landscape
 9 islands and the other requirements, we would be
 10 less than providing ten more. We would even be
 11 providing less than what's there now. So we are
 12 trying to address the parking situation as best
 13 we can without taking up athletic fields,
 14 reducing the size of the additions. There is
 15 not much else we can do there that makes sense.
 16 I mean the parcels that are on the
 17 south, the residential parcels that kind of form
 18 an island on the southwest portion of the site,
 19 they are so far removed from the rest of the
 20 building, and there is grading concerns, and the
 21 sheer size of land available, it's not really
 22 feasible to add parking.

10

1 MR. PODLISKA: In that southwest
 2 corner?
 3 MR. GRAAL: In that southwest corner,
 4 what the school district property currently
 5 owns. Even if we expanded to the other parcel,
 6 if that was a possibility, which it really isn't
 7 at this time, you are not gaining much at all.
 8 MR. PODLISKA: So it looks like that if
 9 you had to meet the zoning requirement it would
 10 be that junior varsity baseball field that would
 11 have to be sacrificed I take it, right?
 12 MR. GRAAL: Yes. The current lot
 13 encroaches onto that field slightly but not --
 14 It is still an appropriate size junior varsity
 15 field, so, yes. If we were to meet the zoning
 16 requirement, that JV ball field would no longer
 17 be useable.
 18 MR. PODLISKA: That's what's in the
 19 balance here. We might as well try and sort
 20 this out. Would that field, would that give us
 21 the whole 800 and some odd spaces; or would you
 22 still be short?

11

1 MR. GRAAL: No, you'd still be shy.
 2 With the amount of what's available onsite,
 3 really it's not feasible to meet the letter of
 4 the law to the code. We would lose more than
 5 the JV ball fields. We would start getting into
 6 the other areas, which is a detriment to what
 7 the school can provide as far as cocurricular
 8 and athletic activities. It would be a
 9 detriment to the community because we couldn't
 10 provide those services.
 11 MR. MOBERLY: But all the staff has a
 12 place to park, is that correct?
 13 MR. GRAAL: That's correct.
 14 MR. MOBERLY: And they drive from
 15 Naperville and Aurora and Chicago, all over. So
 16 they need a place to park. I'm not sure a
 17 healthy 16-, 17-, 18-year-old needs to have a
 18 parking spot when there is busing service and
 19 bicycle. You and I walked uphill every day each
 20 way to school for four miles in a blizzard. So
 21 the word need to me is subjective. I would
 22 rather have a junior varsity ball field. I know

12

1 you are making a good point, but service to the
 2 community is having JV ball fields rather than
 3 more parking.
 4 MR. PODLISKA: Which that articulates
 5 the hardship we face here if we try to push to
 6 what the code requires, right?
 7 MR. GRAAL: Right. You would lose
 8 facilities.
 9 MR. MOBERLY: I'm going to get a lot of
 10 angry, irate emails or something from all the
 11 children that want to drive to school. Sorry.
 12 MR. GRAAL: So I think through those
 13 comments we touched on denied substantial
 14 rights. If we do carry out to the letter of the
 15 law, we will lose current facilities; and we
 16 will not be able to provide the same level of
 17 service to the community as we do today.
 18 MR. PODLISKA: Has there been any
 19 discussion about a garage, in other words, doing
 20 a second level?
 21 MR. GRAAL: No. That was not included
 22 in the referendum that was passed by the

13

1 community.
 2 MR. PODLISKA: Well, that would be the
 3 first point that we are talking about, very
 4 substantial financial commitment to do that.
 5 MR. GRAAL: Correct. And it would, the
 6 aesthetics for surrounding property versus a
 7 surface lot to a parking garage, I would say
 8 that would be a severe detrimental impact to the
 9 surrounding properties.
 10 Not merely special privilege. The
 11 variations sought are common to other high
 12 schools in the area. This also -- again, we
 13 touched on this -- maintains the status quo in
 14 order to provide the current level of academics,
 15 cocurricular activities, athletics onsite.
 16 Code and plan purposes, the
 17 variations being sought are all inline in
 18 regards to the parking. With the current use of
 19 the subject property zoned IB Institutional, no
 20 changes are proposed. This is a high school.
 21 We are going to keep it as a high school.
 22 Essential character of the area,

14

1 the variations would not materially be
 2 detrimental to public welfare or materially
 3 injurious to the enjoyment, use, or development
 4 of surrounding properties. We are expanding an
 5 existing parking lot and reconfiguring another
 6 existing parking lot for loading zone purposes.
 7 The variations would not impair
 8 adequate supply of light or air to the adjacent
 9 properties. It's a surface parking lot.

07.01.25PM 10 The variations would not increase
 11 congestion in the public streets due to traffic
 12 or parking. It will decrease with the modest
 13 increase in parking. I'm not saying it's going
 14 to improve that much, but we are proposing the
 15 adding of parking spaces.

16 Variations would not unduly
 17 increase the danger of fire or flood. These
 18 surface improvements are all going through the
 19 appropriate authorities having jurisdiction as
 07.01.25PM 20 far as stormwater management; so getting the
 21 appropriate approvals there.

22 The variations would not tax the

15

1 public utilities and facilities in the area.
 2 Again, we are working with the local authorities
 3 having jurisdiction as far as stormwater
 4 management, site runoff.

5 The variations would not endanger
 6 the public health, safety, or welfare. Again,
 7 this is an extension of existing lots or
 8 reconfiguring the existing lots.

9 No other remedy. The proposed
 07.02.15PM 10 parking lots maximize what we have onsite.
 11 Again, if we were to expand those lots, the
 12 first thing that would go would be JV baseball
 13 fields and, again, the other athletic fields and
 14 green spaces onsite.

15 Shall I move on to items 3 and 4
 16 in regarding fencing?

17 CHAIRMAN NEIMAN: Anybody have any
 18 questions about the parking, anything further?
 19 Please.

07.02.15PM 20 MR. GRAAL: Variances are requested for
 21 tennis court fencing, track fencing, baseball
 22 field backstop and fencing, and miscellaneous

18

1 athletic field fencing. These fencings are all
 2 currently onsite. We are calling out for their
 3 replacement.

4 We are also proposing a variation
 5 to allow protective netting, safety sports
 6 netting, at the JV baseball field, to currently
 7 address some community concerns in regards to
 8 foul balls.

9 The unique physical condition here
 07.03.15PM 10 is the position where the JV baseball field is
 11 located on the lot in regards to the adjacent
 12 properties to the east and south.

13 MR. ALESIA: Speaking of community just
 14 in general, have we received any objections from
 15 any neighbors as to any of these variances?

16 MR. GRAAL: No objections so far. We
 17 did have some community contact. Mr. Ochoa did
 18 ask us to take a look at the parking lot
 19 expansion to see if there was any way to soften
 07.04.15PM 20 that edge. We are asking for variances
 21 regarding the landscape screening, but we do
 22 propose to have some landscape over there.

17

1 If I can zoom in here. If you see
 2 to the right-hand portion of the screen, we are
 3 proposing to add at the eastern edge of the
 4 parking lot several, actually more than several,
 5 about 17 Arborvitaes, 6-foot tall, to help
 6 soften that edge against the property line
 7 there.

8 So although we are seeking
 9 variances in regards to landscaping, we are
 07.03.15PM 10 trying to provide as much landscaping as
 11 feasible and also to help address some concerns
 12 that were raised.

13 Other than that, there has been no
 14 real negative responses. We did go to Plan
 15 Commission the other week. We are doing Plan
 16 Commission in conjunction with this application,
 17 and some concerns were raised about just
 18 communication as we go through construction and
 19 construction traffic.

07.05.15PM 20 We are looking at ways with the
 21 District to help keep the community and
 22 surrounding neighbors informed on a more

18

1 up-to-date and timely basis.

2 The fencing, not self-created.

3 Again, these are existing athletic fields and

4 ball fields. And in regards to the safety

5 netting that's proposed, that is in regards to

6 some community concerns about foul balls on that

7 field; and that's being proposed to protect

8 errant foul balls from going offsite.

9 MR. ALESIA: What about home runs for

10 the new parking lot? I know some kids that are

11 coming up.

12 MR. GRAAL: We look forward to that for

13 sure. We do propose safety netting along the

14 south edge of the new parking lot, which would

15 take care of any good home runs to protect the

16 vehicles onsite.

17 CHAIRMAN NEIMAN: Especially important

18 in light of the video camera in center field

19 relaying the signals to the Hinsdale Central

20 dugout.

21 MR. MOBERLY: You are joking, of

22 course.

19

1 CHAIRMAN NEIMAN: Yes.

2 MR. MOBERLY: Be careful, let's

3 clarify. LT is listening to this.

4 MR. GRAAL: Denied substantial rights.

5 If we were carrying out to the letter for

6 zoning, we wouldn't be able to provide athletic

7 fields that are of equal quality to any public

8 park or public high school facility. Chainlink

9 fence is a common fencing material for those

10 purposes. Again, it's what's out there now.

11 For the safety netting, if we did

12 not provide that, we would not be addressing the

13 community's concerns and foul balls or home runs

14 could potentially be an issue.

15 Not merely a special privilege.

16 Again, the safety netting is due to community

17 concerns and safety concerns. And the chainlink

18 fence replacements are related to general

19 athletic field standards.

20 Code and plan purposes. Again, we

21 are not changing the use of any of these

22 athletic fields. The tennis courts will be

20

1 tennis courts. The baseball field will be a

2 baseball field. The track will be the track.

3 These are really maintenance items at the end of

4 the day.

5 Essential character of the area.

6 These will not be a detriment to the public

7 welfare. They actually increase the safety of

8 the area. The fencing proposed does not impair

9 any supply of light or air. The netting that's

10 proposed is a standard netting, see-through,

11 light and air can pass through. Chainlink fence

12 also, by nature, light and air passes through.

13 The variations will not increase

14 traffic or parking in the existing facilities.

15 The variations will not increase the danger of

16 flood or fire. Variations will not tax

17 utilities. These are fencing. The variations

18 will not endanger the public health or safety.

19 They actually help to improve it.

20 No other remedy. If we were to go

21 with a different fencing type, spectators would

22 not be able to view the tennis match.

21

1 Spectators would not be able to view really any

2 of the athletic activities going on. If we were

3 denied the right to put safety netting with that

4 variance, we would not be able to address the

5 community's concerns. Standard backstop and

6 fence for a baseball field just won't cut it.

7 The final variation. This is in

8 regards to the soccer field accessory

9 structures. These are on the west portion of

10 the site. The soccer field is just south of the

11 football stadium. Currently there are two

12 player shelters. They are of a wood stud and

13 siding construction, as well as a storage and

14 press box building that's in the center of

15 those.

16 The unique physical condition is

17 the location of that soccer field onsite.

18 Again, the east portion of the athletic fields

19 we have the football stadium, the tennis courts,

20 practice field, and soccer field, and as well as

21 another challenge onsite. There is a water

22 tower public utility that we have to work

22

1 around.

2 The variations in regards to these

3 accessory structures being within the required

4 setback, we cannot shift the soccer field any

5 further to the east due to grading issues with

6 the surrounding fields and the layout. This

7 isn't self-created. We are replacing the

8 structures one-for-one in their existing

9 locations.

07-12-11 PM 10 Denied substantial rights. If we

11 are not granted the variance to demolish and

12 rebuild these structures where they are

13 currently at, we would not be able to provide

14 player shelters or press box for -- This is the

15 varsity. This is where the varsity plays for

16 the soccer team.

17 We are also proposing better

18 aesthetic quality materials more matching the

19 softball field. Behind the District

07-12-11 PM 20 Administration Center, there is a softball field

21 to the northeast of the site. We are matching

22 those player shelters and dugouts. It's painted

23

1 masonry with standing seam metal roof. They are

2 more decorative than the current wood stud and

3 wood siding structures that are out there

4 currently.

5 Not merely special privilege. It's

6 pretty common for soccer fields to have player

7 shelters and a press box structure as compared

8 to other high school athletic fields.

9 Code and plan purposes. Again,

07-12-11 PM 10 these are for the soccer fields, one-to-one

11 replacement. We are not changing what the

12 athletic field is, what services we provide, or

13 changing the zoning from IB Institutional.

14 Essential character of the area.

15 Variations will not be a material detriment to

16 the public welfare or injurious to the enjoyment

17 of surrounding properties. It's one-for-one

18 replacement of the structures that are out

19 there.

07-14-09 PM 20 Variations would not impair an

21 adequate supply of light and air to the adjacent

22 properties or improvements. The structures

24

1 themselves are screened by existing, very tall

2 evergreen trees and grading on the east end

3 portion of the site.

4 We are seeking a variance for the

5 press box to be 19 feet, which is pretty

6 standard for site lines for a press box.

7 The variations would not increase

8 congestion on the public streets or traffic or

9 parking. Again, it's one-for-one replacement of

07-12-11 PM 10 existing structures. We are not expanding the

11 soccer fields or adding another soccer field.

12 Variations would not unduly

13 increase the danger of fire or flood. Again,

14 it's a one-for-one replacement of the

15 structures. We are working with the local

16 authorities, having jurisdiction as far as

17 stormwater management. We are proposing to

18 regrade the soccer field. There is currently

19 drainage issues on that field we are looking to

07-12-11 PM 20 correct.

21 Variations would not tax the public

22 utilities and facilities in the area. The

25

1 variations would not endanger the public health

2 or welfare of the surrounding properties.

3 No other remedy. If we were not

4 allowed to build these structures within the

5 setback, we would not be able to replace the

6 structures that are there currently. We would

7 have to take those down because they are in need

8 of repair, and we would not be able to replace

9 them. We cannot move the soccer field any

07-12-11 PM 10 further to the east, so we would have to go

11 without.

12 CHAIRMAN NEIMAN: Any Board members

13 have any questions about the fifth variance?

14 MR. ALESIA: So the new ones are going

15 where the old ones are?

16 MR. GRAAL: That's correct.

17 MR. MOBERLY: You said it's a painted

18 masonry?

19 MR. GRAAL: That's correct.

07-14-09 PM 20 MR. MOBERLY: What color?

21 MR. GRAAL: I believe the ones out

22 there right now are white? Are they tan? I was

1 going to say they are tan.
 2 MR. MOBERLY: Just don't paint it
 3 black. Robb, you got that joke? Don't paint it
 4 black.
 5 MR. MC GINNIS: Got it.
 6 CHAIRMAN NEIMAN: Are you going to let
 7 us in on that?
 8 MR. MOBERLY: After the meeting, it's
 9 somewhat controversial, although it was a great
 10 song.
 11 CHAIRMAN NEIMAN: You are dating
 12 yourself, Gary.
 13 Okay. Any other questions?
 14 Okay. Thank you.
 15 Anyone else in the audience who
 16 wants to address the Board on this matter?
 17 MR. OCHOA: Good evening. My name is
 18 John Ochoa. I live at 5620 South Washington
 19 Street. In full disclosure, I am also currently
 20 sitting on a special committee of the school
 21 board to assist the building committee with the
 22 referendum implementation. And a number of

07:16:55PM

07:17:22PM

1 years ago, I was sitting on your side of the
 2 table, too.
 3 CHAIRMAN NEIMAN: Congratulations on
 4 your promotion.
 5 MR. OCHOA: Thank you for your service.
 6 So I'm here to speak generally in
 7 support of the variances that are being
 8 requested. My house abuts the east side of the
 9 teacher parking lot there. And so when you talk
 10 about the parking variances, as you already
 11 discussed, the alternatives are kind of less
 12 appealing than granting the variances, either a
 13 parking structure, which, as a neighbor, would
 14 not be desirable, or paving over more of the
 15 area where the ball field is now would also not
 16 be desirable as a neighbor. So I'm in support
 17 of that.
 18 In support, generally speaking, of
 19 the fencing for the safety purposes for foul
 20 balls and such. What originally brought this to
 21 my attention really was the fencing along the
 22 east side of the parking lot there because

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1 that's where a parking lot abuts residential
 2 property. And the ordinance requires landscape
 3 buffers, as well as fencing, screening fencing,
 4 to separate residences from parking lots. So
 5 I'm glad to see that the school district is
 6 proposing a solid fence. Details matter here so
 7 I am interested in what kind of fence exactly,
 8 what the color will be, what the details will
 9 look like.
 10 I'm also glad to see that there
 11 looks like they are putting some landscaping in
 12 some areas. Although it's a little bit hard to
 13 tell, Nick, exactly how far these Arborvitae
 14 stretch. But whatever landscaping could be
 15 provided would be beneficial to all the
 16 residences there because you are still kind of,
 17 even though there is a fence, you are still
 18 looking at a parking lot and a school property.
 19 One suggestion I might have, might
 20 be a bit unorthodox, is to offer to put the
 21 landscaping on the residents' side of the fence
 22 as opposed to the school side of the fence.

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1 These are all very deep lots on Washington
 2 Street. They are all 300-foot deep lots, and I
 3 dare say some of the neighbors might actually
 4 appreciate landscaping even if it was on their
 5 own property. They would do a better job of
 6 screening both the fence and the parking lot
 7 that way and not impinge on the parking, the
 8 parking lot area.
 9 CHAIRMAN NEIMAN: Wouldn't the school
 10 district then have to go to each of the property
 11 owners to see if that's what they want?
 12 MR. OCHOA: I would imagine so, yes.
 13 I'm just throwing that out there as a means to
 14 kind of make both, a win-win for both parties.
 15 The landscaping, more landscaping would be
 16 desirable. I think the ordinance actually
 17 requires a wider landscape strip than they are
 18 probably providing right now. So I think that,
 19 I'm not sure how all the other neighbors would
 20 feel. Speaking for me personally, I would be
 21 happy to let them plant evergreens on my
 22 property and save their asphalt on their side of

07:20:19PM

07:20:51PM

1 the property; but other neighbors may feel
2 differently.

3 So generally speaking, like I said,
4 I'm speaking here in favor of the variances that
5 are required; and that's my statement.

6 CHAIRMAN NEIMAN: Great. Thank you.
7 Anybody else who wishes to address the Board on
8 any of these items?

9 Okay. Do I hear a motion to close
10 the public hearing on Case V-05-2019?

11 MR. ALESIA: So moved.

12 MS. ENGEL: Second.

13 CHAIRMAN NEIMAN: Roll call, please.

14 MS. BRUTON: Member Moberly?

15 MR. MOBERLY: Yes.

16 MS. BRUTON: Member Alesia?

17 MR. ALESIA: Yes.

18 MS. BRUTON: Member Murphy?

19 MR. MURPHY: Yes.

20 MS. BRUTON: Member Engel?

21 MS. ENGEL: Yes.

22 MS. BRUTON: Member Podliska?

1 MR. PODLISKA: Yes.

2 MS. BRUTON: Chairman Neiman?

3 CHAIRMAN NEIMAN: Yes.

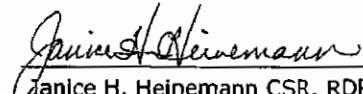
4 * * *

5 (Which were all the proceedings had
6 in the above-entitled cause.)

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STATE OF ILLINOIS)
) ss.
COUNTY OF DU PAGE)

I, JANICE H. HEINEMANN, CSR, RDR, CRR,
do hereby certify that I am a court reporter
doing business in the State of Illinois, that I
reported in shorthand the testimony given at the
hearing of said cause, and that the foregoing is
a true and correct transcript of my shorthand
notes so taken as aforesaid.


Janice H. Heinemann CSR, RDR, CRR
License No. 084-001391

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STATE OF ILLINOIS)
) SS:
COUNTY OF DU PAGE)

VILLAGE OF HINSDALE
ZONING BOARD OF APPEALS

In Re the Matter of:)
)
5500 South Grant Street)
Hinsdale Central High School)
Case No. V-05-19)

REPORT OF PROCEEDINGS had and testimony
taken at the Deliberations of the Public Hearing
in the above-entitled matter before the Hinsdale
Zoning Board of Appeals, at 19 East Chicago
Avenue, Hinsdale, Illinois, on the 15th day of
January, 2020, at the hour of 7:22 p.m.

BOARD MEMBERS PRESENT:

- MR. ROBERT NEIMAN, Chairman;
- MR. JOSEPH ALESIA, Member;
- MS. KATHRYN ENGEL, Member;
- MR. GARY MOBERLY, Member;
- MR. THOMAS MURPHY, Member;
- MR. JOHN PODLISKA, Member.

2

1 ALSO PRESENT:

2 MR. ROBERT MC GINNIS, Director of Community
Development/Building;

3

4 MS. CHRISTINE BRUTON, Deputy Clerk and
Board's secretary;

5 MR. NICHOLAS GRAAL, Arcon Associates,
Architect;

6

7 MR. JOHN OCHOA.

8

9 CHAIRMAN NEIMAN: So before we begin
our deliberations, we have been given a
10 memorandum from the Village counsel on the
11 level, limited level of deference that the
12 Zoning Board of Appeals should apply when
13 considering a variance request from a school
14 district. That limited standard is that schools
15 are still subject to municipal zoning authority
16 and processes as long as the municipality, in
17 this case the Zoning Board of Appeals, does not
18 act in a matter that either regulates
19 educational activities or frustrates a school
20 district's statutory duties.
21 I'm not sure any of the variance
22

3

1 requests before us this evening would involve
2 our regulating educational activities, might be
3 regulating sports activities. We might want to
4 consider athletics as part of the educational
5 purposes of Hinsdale Central.

6 I don't think the school district
7 has a statutory duty to do any of these things.
8 So I'm just throwing that out there because I
9 think there is a very limited level of deference
10 that applies given these particular variance
11 requests.

12 That being said, who wants to begin
13 deliberations?

14 MR. MOBERLY: I will start. I'm in
15 support of all the variances. Two of our
16 children have been through -- the only two --
17 have been to Hinsdale Central. I know the area.
18 It's a very tight facility. It's landlocked.
19 There is limited opportunities for expansion.
20 They've got a lot done, and they are going to
21 get even more done within the parameters of the
22 property that they own. So I think the one that

4

1 keeps screaming out to me is no other remedy, no
2 other remedy. We keep tweaking the different
3 things, and they really don't have a whole lot
4 of other remedies.

5 Mr. Ochoa, I don't know about if we
6 have the authority to tell the school board
7 where to landscape and where not to landscape,
8 or that's in the purview of the trustees or the
9 Plan Commission or some other body, but I don't
10 think that's our wheelhouse. But, yes, I
11 support the variances.

12 MS. ENGEL: I would say certainly for
13 the increased safety of everybody that drives
14 through there and lives there, fencing is
15 definitely something that I agree with.

16 I also walked quite a ways to
17 school back and forth in all kind of inclement
18 weather, and I didn't have a car. So the idea
19 of the necessity to drive when you have a bus, I
20 think as long as the faculty and the staff has
21 sufficient parking it's probably suitable. It
22 does seem a quite substantial amount of

5

1 additional parking to me, requirement, anyway.

2 MR. ALESIA: I would agree with Gary
3 for all the reasons stated.

4 CHAIRMAN NEIMAN: John?

5 MR. PODLISKA: I'm in agreement as well
6 with the statements that were made.

7 MR. MURPHY: Me, too.

8 CHAIRMAN NEIMAN: Okay. The only thing
9 I would add is neighbors adjoining the -- I
10 guess it's the soccer field and the landscaping,
11 10-foot Arborvitae, if properly spaced, they
12 grow really tall and really wide. So while the
13 first couple of years there may be space in
14 between, they get really big if they are taken
15 care of and that should provide adequate
16 screening as well.

17 But I agree with the other Board
18 members that the variation requests, the
19 variation standards have been met for each of
20 the five requests.

21 Robb, do you want us to vote
22 separately on each of the five; or can we vote

6

1 on all of them together?

2 MR. MC GINNIS: I think what's

3 important is to try and draw a distinction

4 between those that you have final authority over

5 and those that are going to the Board as a

6 recommendation.

7 So 3 and 4 and part of 5, if you

8 look at my memo, are within your purview. 5,

9 partially. You have got authority over building

10 setback under 7-310. So 3, 4, and part of 5

11 would be part of your final decision.

12 CHAIRMAN NEIMAN: But part of 5 has to

13 be recommended?

14 MR. MC GINNIS: Correct. The building

15 height and screening requirements for the press

16 box and the team shelters would move on to the

17 Board as a recommendation. But the building

18 setback is within your authority, and that's

19 specifically 7-310.

20 CHAIRMAN NEIMAN: Thank you for that

21 clarification.

22 MR. PODLISKA: Robb, reading your memo,

7

1 at the bottom, it seems to be saying that we do

2 have authority with respect to the soccer team

3 shelters and the press box. But you are saying

4 now that we do not, is that correct?

5 MR. MC GINNIS: I'm sorry. It's

6 increase in fence height and setback for the

7 baseball field backstop and the soccer team

8 shelters and press box but not for the height

9 and screening of those structures. I'm sorry if

10 that last sentence wasn't clear.

11 MR. PODLISKA: Oh, okay.

12 CHAIRMAN NEIMAN: Okay. So given that

13 the first two variance requests have to do with

14 the parking lot and are recommended decisions --

15 Correct?

16 MR. MC GINNIS: Correct.

17 CHAIRMAN NEIMAN: Do I hear a motion to

18 approve those first two variance requests to

19 recommend?

20 MR. ALESIA: So moved.

21 MS. ENGEL: Second.

22 CHAIRMAN NEIMAN: Roll call, please.

8

1 MS. BRUTON: Member Moberly?

2 MR. MOBERLY: Yes.

3 MS. BRUTON: Member Alesia?

4 MR. ALESIA: Yes.

5 MS. BRUTON: Member Murphy?

6 MR. MURPHY: Yes.

7 MS. BRUTON: Member Engel?

8 MS. ENGEL: Yes.

9 MS. BRUTON: Member Podliska?

10 MR. PODLISKA: Yes.

11 MS. BRUTON: Chairman Neiman?

12 CHAIRMAN NEIMAN: Yes.

13 I guess the next one we should deal

14 with, let's deal with the recommended part of 5;

15 or should we go to 3, 4, the part 3, 4, and the

16 part of 5 that are in our jurisdiction?

17 MR. MC GINNIS: How about the

18 recommendation on 5 to the Board, and we will

19 keep those grouped.

20 CHAIRMAN NEIMAN: Okay. So is there a

21 motion to recommend to the Board the portion of

22 the fifth variance request regarding building

9

1 height and screening requirements for the

2 construction of two soccer field, team shelters,

3 and a press box?

4 MR. ALESIA: So moved again.

5 MS. ENGEL: Second again.

6 CHAIRMAN NEIMAN: Roll call, please.

7 MS. BRUTON: Member Moberly?

8 MR. MOBERLY: Yes.

9 MS. BRUTON: Member Alesia?

10 MR. ALESIA: Yes.

11 MS. BRUTON: Member Murphy?

12 MR. MURPHY: Yes.

13 MS. BRUTON: Member Engel?

14 MS. ENGEL: Yes.

15 MS. BRUTON: Member Podliska?

16 MR. PODLISKA: Yes.

17 MS. BRUTON: Chairman Neiman?

18 CHAIRMAN NEIMAN: Yes.

19 And then the last vote I think we

20 need to take is whether or not to approve the

21 third variance request, the fourth variance

22 request, and the building setback portion of the

1 fifth variance request.
 2 MR. MURPHY: So motion.
 3 MR. MOBERLY: Second.
 4 CHAIRMAN NEIMAN: Roll call, please.
 5 MS. BRUTON: Member Moberly?
 6 MR. MOBERLY: Yes.
 7 MS. BRUTON: Member Alesia?
 8 MR. ALESIA: Yes.
 9 MS. BRUTON: Member Murphy?
 10 MR. MURPHY: Yes.
 11 MS. BRUTON: Member Engel?
 12 MS. ENGEL: Yes.
 13 MS. BRUTON: Member Podliska?
 14 MR. PODLISKA: Yes.
 15 MS. BRUTON: Chairman Neiman?
 16 CHAIRMAN NEIMAN: Yes.
 17 And Chris, I would again ask,
 18 especially on the portions of our decision, our
 19 recommended decisions, these approvals that you
 20 spell out based on both the record and the
 21 application why we found that the applicant met
 22 the variation standards. Thank you.

STATE OF ILLINOIS)
) ss.
 COUNTY OF DU PAGE)

I, JANICE H. HEINEMANN, CSR, RDR, CRR,
 do hereby certify that I am a court reporter
 doing business in the State of Illinois, that I
 reported in shorthand the testimony given at the
 hearing of said cause, and that the foregoing is
 a true and correct transcript of my shorthand
 notes so taken as aforesaid.

Janice H. Heinemann

 Janice H. Heinemann CSR, RDR, CRR
 License No. 084-001391

1 * * *
 2 (Which were all the proceedings had
 3 in the above-entitled cause.)
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REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: Second Reading – ZPS

SUBJECT: Exterior Appearance and Site Plan for New Natatorium and various Renovations for the Hinsdale Central High School
5500 S. Grant Street in the IB Institutional Buildings District
Case A-39-2019

MEETING DATE: March 16, 2020

FROM: Chan Yu, Village Planner

Recommended Motion

Approve an Ordinance approving an Exterior Appearance and Site Plan for a new natatorium and various other improvements for Hinsdale Central High School at 5500 S. Grant Street – Hinsdale Township High School District 86.

Background

The Village of Hinsdale has received an Exterior Appearance/Site Plan review application from ARCON Associates, Inc. on behalf of Hinsdale Township High School D86, requesting approval to construct a new 2-story, 33,040 SF natatorium in addition to various other site renovations at the Hinsdale Central High School at 5500 S. Grant Street. The majority of improvements will not affect the exterior appearance of the high school and related to replacing, for example, the: tennis courts and fencing, soccer field re-grading and re-soddening, soccer field shelter and press box replacement, and football field turf replacement. The proposed project will not increase the student population.

This request was also reviewed by the Zoning Board of Appeals (ZBA), concurrently, for five (5) variation requests related to the: (1) number of parking spaces, (2) parking lot landscape island and screening, (3) height limitation to install a baseball safety netting system, (4) height limitation and setback requirements on fences to replace the tennis court, track, baseball field backstop and various other athletic fencing, and (5) waive building setback, height and screening requirements for the 2 soccer field team shelters and press box. On January 15, 2020, the ZBA unanimously approved the request, as submitted, 6-0, 1 absent.

Discussion & Recommendation

At the January 8, 2020, Plan Commission meeting, the PC unanimously recommended approval for the proposed exterior appearance and site plan improvements, as submitted, with the condition it is contingent on ZBA approval, 5-0, 1 abstained and 2 absent. There were public comments at the PC meeting by neighbors regarding construction updates and traffic during construction. The applicant were able to answer the questions by the neighbors.

Village Board and/or Committee Action

At the March 3, 2020, Board of Trustees meeting, the Village Board had no issues with the request and moved the item forward for Second Reading.



At the March 16, 2020 Board of Trustees meeting, the Village Board agreed to hold the item until the next meeting based on comments made by a resident asserting that proper notice was not given. Staff subsequently determined that proper notice was in fact given as part of the public hearing process.

Documents Attached

Ordinance

The following related materials were provided for the Board of Trustees of this item on March 3, 2020, and can be found on the Village website at:

https://www.villageofhinsdale.org/document_center/VillageBoard/2020/03%20MAR/VBOT%20packet%2003%2003%2020.pdf

Exterior Appearance and Site Plan Application and Exhibits

Zoning Map and Project Location

Street View of 5500 S. Grant Street (to illustrate the existing building color and materials)

Aerial View of 5500 S. Grant Street

Approved Plan Commission Findings and Recommendations

VILLAGE OF HINSDALE

ORDINANCE NO. _____

AN ORDINANCE APPROVING AN EXTERIOR APPEARANCE AND SITE PLAN FOR A NEW NATATORIUM AND VARIOUS OTHER IMPROVEMENTS FOR HINSDALE CENTRAL HIGH SCHOOL AT 5500 S. GRANT STREET - HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT 86

WHEREAS, ARCON Associates, Inc. on behalf of property owner Hinsdale Township High School District 86 (the "Applicant") has submitted an application (the "Application") seeking exterior appearance and site plan approval for a new natatorium and various other improvements for Hinsdale Central High School, on property located at 5500 S. Grant Street. (the "Subject Property"). The Subject Property is located in the Village's IB Institutional Buildings District and is legally described in Exhibit A attached hereto and made a part hereof; and

WHEREAS, the improvements proposed at this time are Phase I of a program of improvements and upgrades to the High School over the next three (3) years. The general scope of Phase I improvements includes a 33,040 square foot natatorium addition, buildings and grounds addition, parking lot reconfigurations and modifications due to loading dock relocation; associated landscaping, artificial turf replacement, tennis court and fencing replacement, running track and fence replacement, separation of storm and sanitary utilities due to Flagg Creek Water Reclamation District requirements, chain-link baseball field backstop and fence replacement, baseball field sports safety netting installation, privacy fencing, soccer field team shelter and press box replacements, emergency generator replacement, and various other ADA and health/life safety improvements on site (collectively, the "Phase I Improvements"). The proposed work related to the Phase I Improvements is depicted in the Exterior Appearance Plans and Site Plan attached hereto as Exhibit B and made a part hereof; and

WHEREAS, the Application has been referred to the Plan Commission of the Village and has been processed in accordance with the Hinsdale Zoning Code ("Zoning Code"), as amended; and

WHEREAS, the Applicant concurrently went before the Zoning Board of Appeals seeking variations related to the: (1) number of parking spaces, (2) parking lot landscape and screening, (3) height limitation to install a baseball safety netting system, (4) height limitation and setback requirements on fences to replace the tennis court, track, baseball field backstop and various other athletic fencing, and (5) waive building setback, height and screening requirements for two (2) soccer field team shelters and press box; and

WHEREAS, on January 8, 2020, the Plan Commission of the Village of Hinsdale reviewed the Exterior Appearance and Site Plan Application at a public meeting pursuant to notice given in accordance with the Zoning Code; and

WHEREAS, the Plan Commission, after considering all of the testimony and evidence presented at the public meeting, recommended approval of the proposed exterior appearance and site plan improvements on a vote of five (5) ayes, zero (0) nays, one (1) abstention, and two (2) absent, subject to Zoning Board of Appeals and Board of Trustees approval of the various concurrently requested variations for the Phase I Improvements, all as set forth in the Plan Commission's Findings and Recommendation in this case ("Findings and Recommendation"), a copy of which is attached hereto as **Exhibit C** and made a part hereof. The Plan Commission has filed its report of Findings and Recommendation regarding the approval sought in the Application with the President and Board of Trustees; and

WHEREAS, in response to discussion regarding the safety netting before the President and Board of Trustees, the Applicant has revised the Application to provide for safety netting on three (3) sides of the Junior Varsity Baseball Field at 57th and Grant, as detailed in a letter from the Project Architect dated March 31, 2020 (the "Safety Netting Letter"), a copy of which is attached hereto as **Exhibit D** and made a part hereof; and

WHEREAS, the President and Board of Trustees have duly considered the Findings and Recommendation of the Plan Commission, and all of the materials, facts and circumstances affecting the Application, and find that the Application, with the revisions made by the Safety Netting Letter, satisfies the standards established in subsection 11-604F of the Zoning Code governing site plan review, and the standards established in subsection 11-606E of the Zoning Code governing exterior appearance review, subject to the conditions stated in this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Approval of Exterior Appearance and Site Plans. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and Sections 11-604 and 11-606 of the Hinsdale Zoning Code, approves the Exterior Appearance and Site Plans attached to, and by this reference, incorporated into this Ordinance as **Exhibit B** (the "Approved Plans"), as modified by the Safety Netting Letter attached to, and by this reference, incorporated into this Ordinance as **Exhibit D**, subject to the conditions set forth in Section 3 of this Ordinance.

SECTION 3: Conditions on Approvals. The approvals granted in Section 2 of this Ordinance are expressly subject to all of the following conditions:

- A. **Compliance with Plans.** All work on the exterior of the Subject Property shall be undertaken only in strict compliance with the Approved Plans attached as **Exhibit B**, as modified by the Safety Netting Letter attached as **Exhibit D**,

- B. Compliance with Codes, Ordinances, and Regulations. Except as specifically set forth in this Ordinance, and the Final Decision of the Zoning Board of Appeals and Ordinance approved by the Board of Trustees relative to the requested variations for the Phase I Improvements, the provisions of the Hinsdale Municipal Code and the Hinsdale Zoning Code shall apply and govern all development on, and improvement of, the Subject Property. All such development and improvement shall comply with all Village codes, ordinances, and regulations at all times.
- C. Building Permits. The Applicant shall submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.
- D. Approval of Concurrently Requested Variations. The Exterior Appearance and Site Plan approvals are specifically conditioned on Zoning Board of Appeals and Board of Trustees approval of the concurrently requested variations for the Phase I Improvements.

SECTION 4: Violation of Condition or Code. Any violation of any term or condition stated in this Ordinance, or of any applicable code, ordinance, or regulation of the Village, shall be grounds for rescission by the Board of Trustees of the approvals set forth in this Ordinance.

SECTION 5: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict are hereby repealed.

SECTION 6: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

ADOPTED this _____ day of _____, 2020, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this _____ day of _____, 2020, and attested to by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE CONDITIONS OF THIS ORDINANCE:

By: _____

Its: _____

Date: _____, 2020

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

PARCEL I: LOTS 1 AND 2, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PARINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL II: THE EAST 350 FEET OF THE NORTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL III: THE EAST 350 FEET OF THE SOUTH HALF OF THE NORTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IV: THE NORTH HALF OF LOT 3 (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL V: THE SOUTH HALF OF THE NORTH HALF (EXCEPT THE EAST 350 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VI: THE SOUTH HALF OF LOT 3, IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VII: THE NORTH HALF OF LOT 4, (EXCEPT THE EAST 200 FEET THEREOF) IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OFR SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL VIII: LOT 1, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL IX: LOT 5, (EXCEPT THE EAST 150 FEET THEREOF), IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL X: THE WEST 75 FEET OF THE EAST 150 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XI: THE EAST 75 FEET OF LOT 5, IN PENZES RESUBDIVISION OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XII: THE EAST 60 FEET OF THE SOUTH HALF OF LOT 4 (EXCEPT THE EAST 60 FEET THEREOF), IN BLOCK 7, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

PARCEL XIII: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE SOUTH 33 FEET THEREOF, IN DUPAGE COUTNY, ILLINOIS

PARCEL XIV: LOTS 11 THROUGH 20, BOTH INCLUSIVE, IN BLOCK 2, IN BRANIGAR BROTHERS HINSDALE FARMS, BEING A SUBDVISION OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER (EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1920 AS DOCUMENT NO. 141390, IN DUPAGE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 5500 South Grant Street, Hinsdale, Illinois

PINS: 09-13-100-017, 09-13-100-008, 09-13-100- 011, 09-13-100-012, 09-13-100-013, 09-13-100-014, 09-13-100-015 & 09-13-101-027

EXHIBIT B

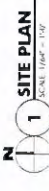
APPROVED EXTERIOR APPEARANCE AND SITE PLANS

(ATTACHED)

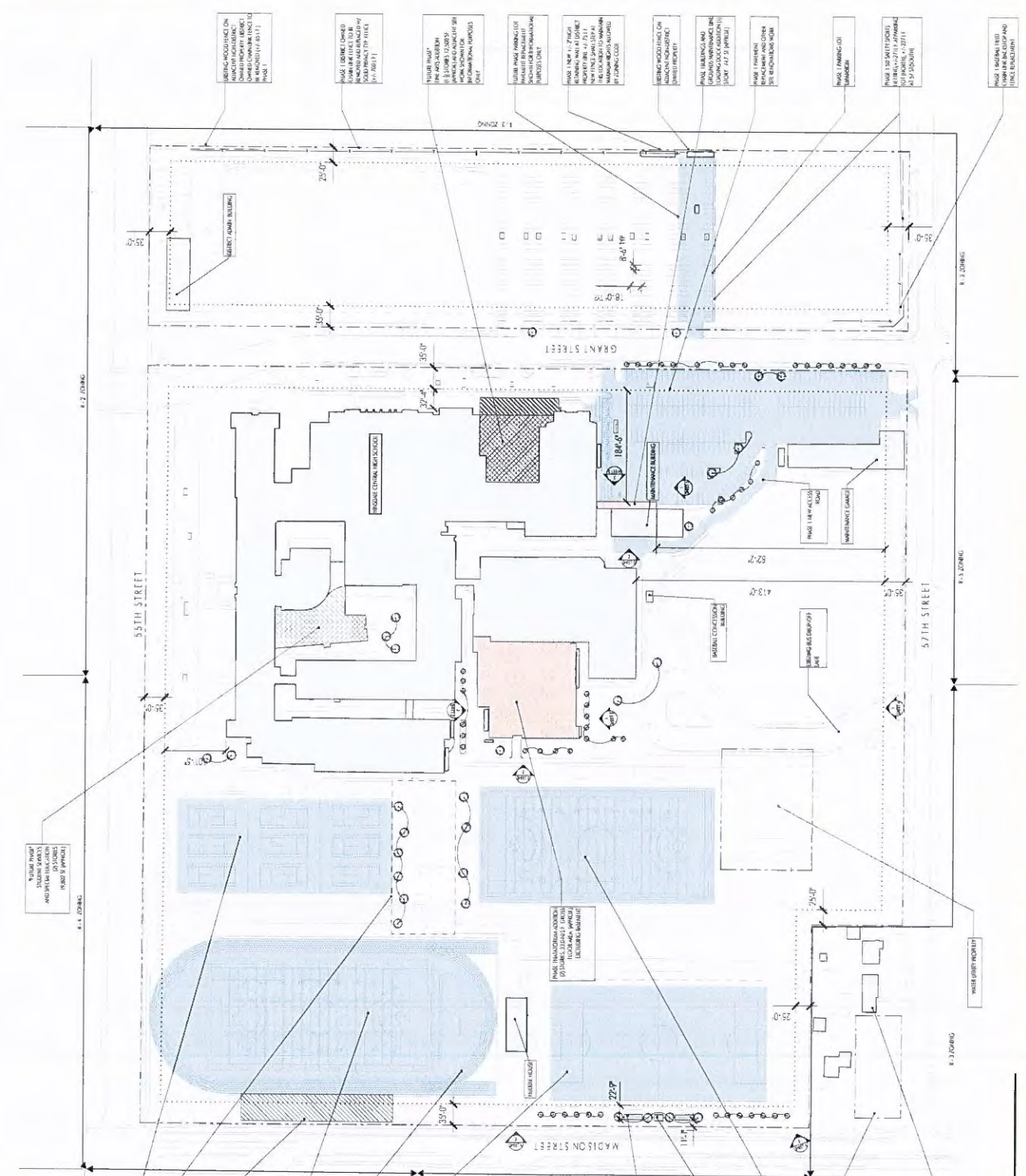


SITE PLAN

Hinsdale Township High School District 86
Additions and Remodeling at Hinsdale Central High School
Project No. 19048
December 11, 2019

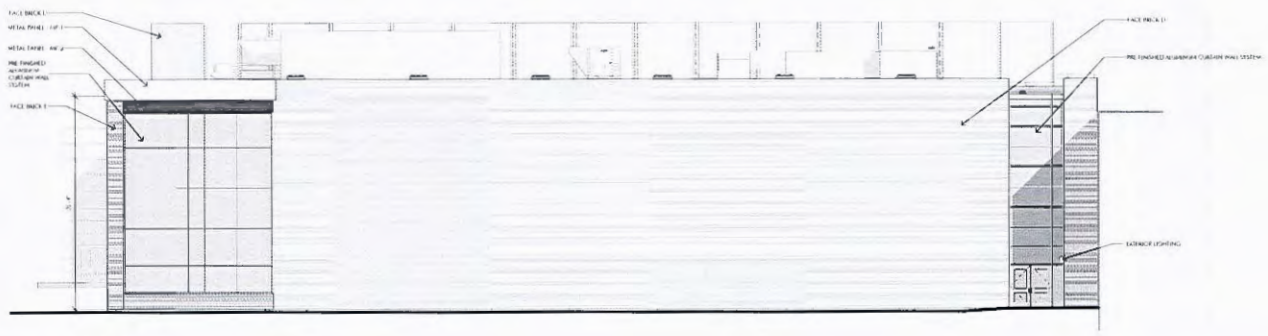


SURFACE LOTS	
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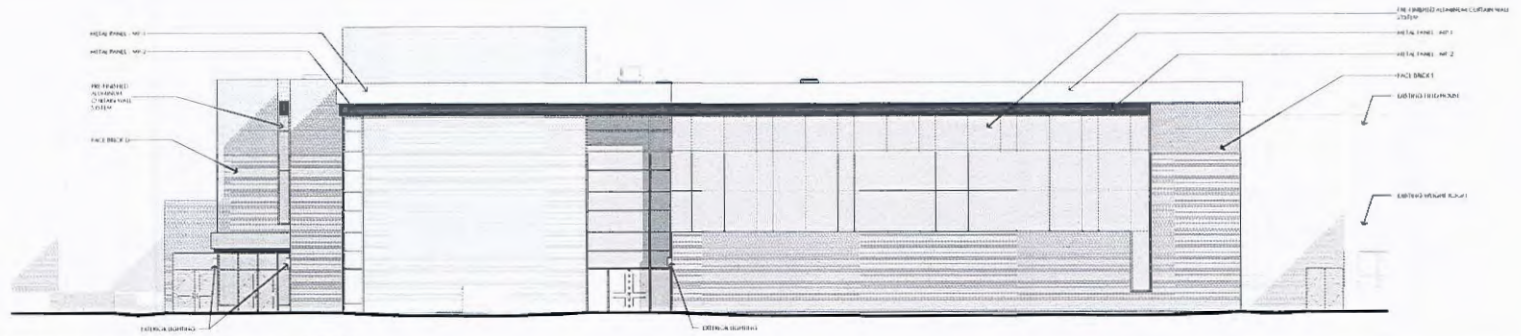


ZONING REQUIREMENTS:	
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NOTE:
 WALL MOUNTED
 BUILDING SIGNAGE
 TO BE DETERMINED
 BUT WILL FOLLOW
 REQUIREMENTS OF
 CODE SEC. 9-106.



1 PRESENTATION-POOL-SOUTH ELEVATION
 1/8" = 1'-0"



2 PRESENTATION-POOL-WEST ELEVATION
 1/8" = 1'-0"



3 PRESENTATION-POOL-NORTH ELEVATION
 1/8" = 1'-0"



Hinsdale Township High School District 86
 ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL
 PROJECT NO. 19048 December 11, 2019

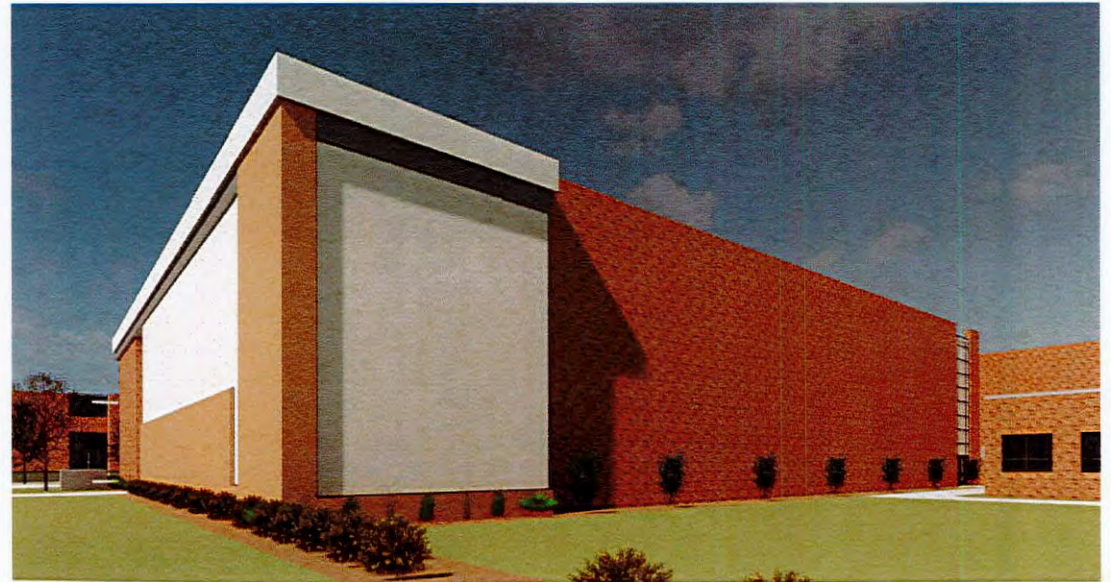
POOL EXTERIOR ELEVATIONS





NORTHWEST VIEW

SOUTHWEST VIEW



Hinsdale Township High School District 86

ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL

PROJECT NO. 19048

December 11, 2019

BP-2 - POOL EXTERIOR PERSPECTIVES



POOL ADDITION



STREET VIEW 1. 57TH STREET AND BUS LOOP WITH BUILDING ADDITION

POOL ADDITION



STREET VIEW 2. MADISON AT 56TH STREET WITH BUILDING ADDITION

POOL ADDITION



STREET VIEW 3. MADISON AT SOCCER FIELD WITH BUILDING ADDITION



Hinsdale Township High School District 86

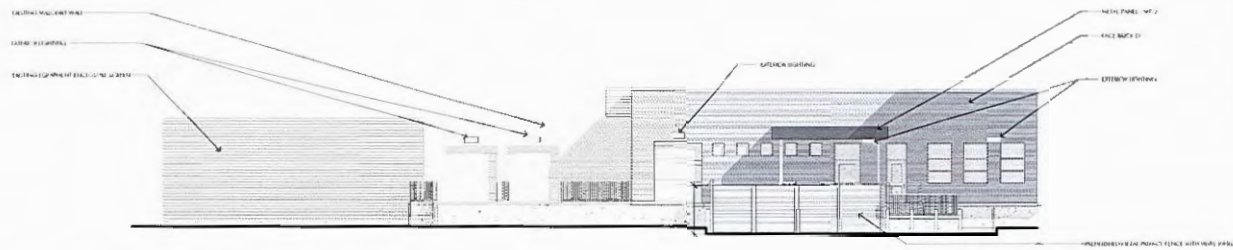
ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL

PROJECT NO. 19048

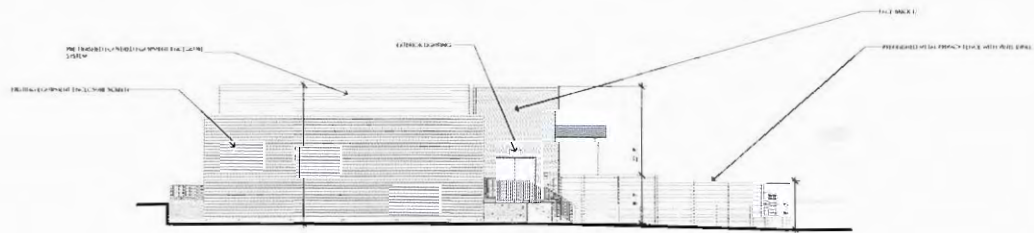
December 11, 2019

STREET VIEWS OF POOL ADDITION

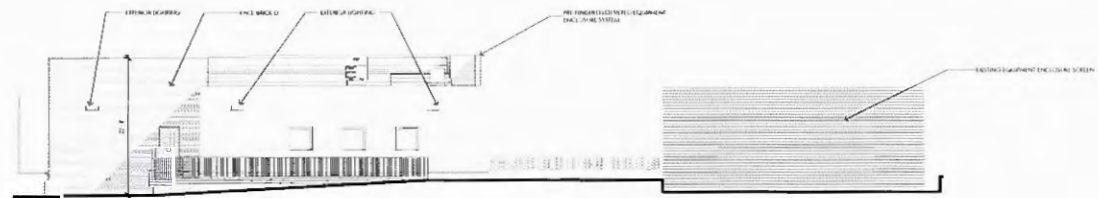




1 PRESENTATION-B&G-EAST ELEVATION
1/8" = 1'-0"



2 PRESENTATION-B&G-SOUTH ELEVATION
1/8" = 1'-0"



3 PRESENTATION-B&G-WEST ELEVATION
1/8" = 1'-0"



Hinsdale Township High School District 86

ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL

PROJECT NO. 19048

December 11, 2019

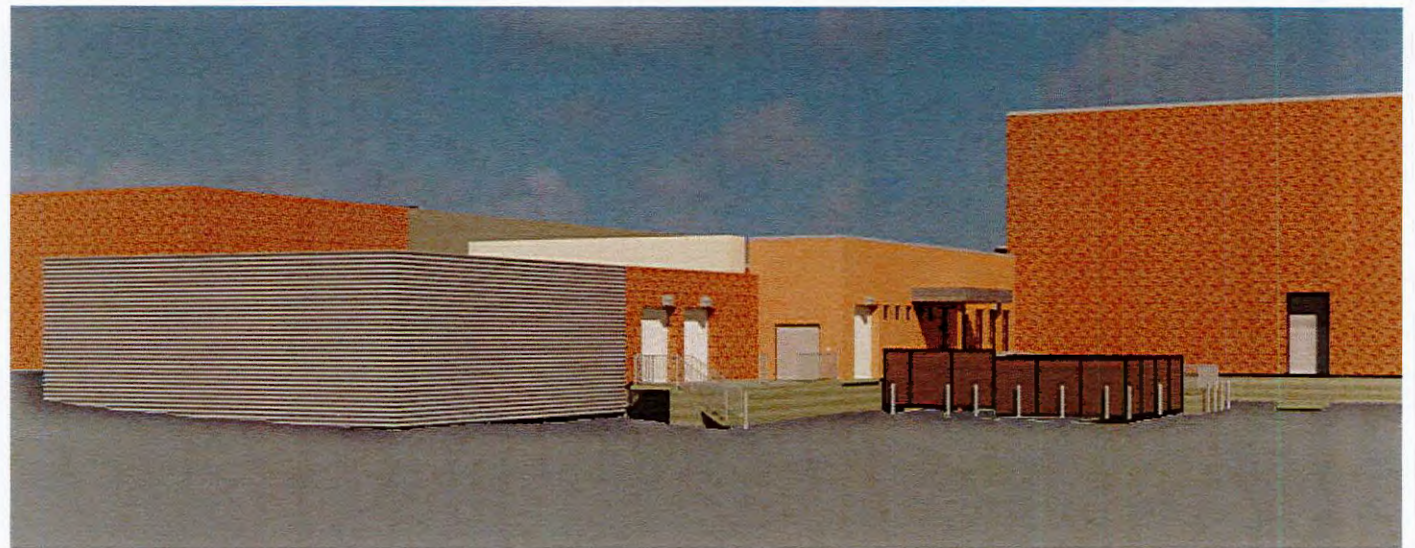
BP-2 - BUILDINGS AND GROUNDS EXTERIOR ELEVATIONS





EXTERIOR - B & G - VIEW 1

EXTERIOR - B & G - VIEW 2



Hinsdale Township High School District 86

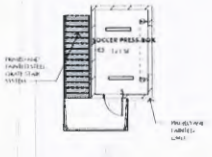
ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL

PROJECT NO. 19048

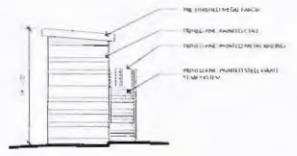
December 11, 2019

BP-2 - BUILDING & GROUNDS PERSPECTIVES

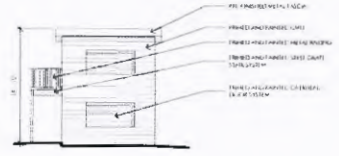




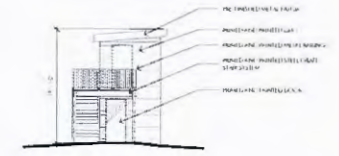
1 SOCCER PRESS BOX PLAN
1/8" = 1'-0"



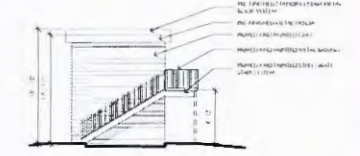
2 SOCCER PRESS BOX-NORTH
1/8" = 1'-0"



3 SOCCER PRESS BOX-EAST
1/8" = 1'-0"



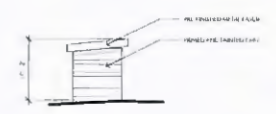
4 SOCCER PRESS BOX-SOUTH
1/8" = 1'-0"



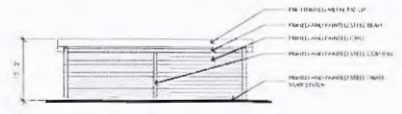
5 SOCCER PRESS BOX-WEST
1/8" = 1'-0"



6 SOCCER SHELTER PLAN
1/8" = 1'-0"



7 SOCCER SHELTER-SOUTH/NORTH
1/8" = 1'-0"



8 SOCCER SHELTER-EAST
1/8" = 1'-0"



9 SOCCER SHELTER-WEST
1/8" = 1'-0"



EX.1 NEW FENCE, IMAGE SHOWN FOR INFORMATION ONLY. EXACT COLORS, ETC. TO BE DETERMINED. SAMPLE IMAGE ONLY.



EX.2 NEW FENCE, IMAGE SHOWN FOR INFORMATION ONLY. EXACT COLORS, ETC. TO BE DETERMINED. SAMPLE IMAGE ONLY.



EX.1 NEW 50' SPORTS NETTING, IMAGE SHOWN FOR INFORMATION ONLY. EXACT COLORS, ETC. TO BE DETERMINED. SAMPLE IMAGE ONLY, REFER TO PLANS FOR PROPOSED CONFIGURATION.



EX.2 NEW 50' SPORTS NETTING, IMAGE SHOWN FOR INFORMATION ONLY. EXACT COLORS, ETC. TO BE DETERMINED. SAMPLE IMAGE ONLY, REFER TO PLANS FOR PROPOSED CONFIGURATION.

PROPOSED INSTALLATION AT JUNIOR VARSITY BASEBALL FIELD DOES NOT INCLUDE LIGHT FIXTURES, TYP.

PROPOSED INSTALLATION AT JUNIOR VARSITY BASEBALL FIELD DOES NOT INCLUDE LIGHT FIXTURES, TYP.



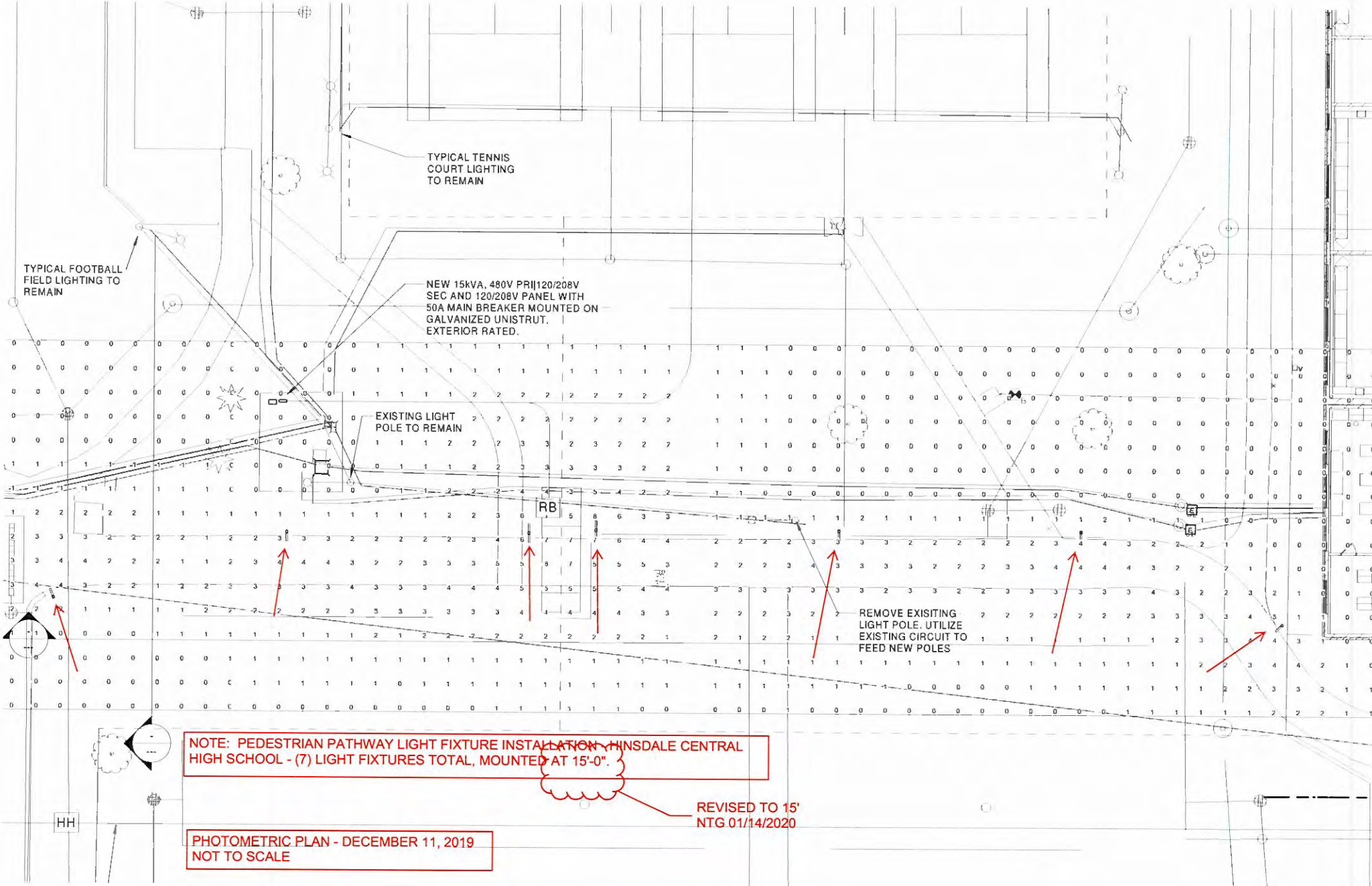
Hinsdale Township High School District 86

ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL
PROJECT NO. 19048

December 11, 2019

SOCCER SHELTERS





NOTE: PEDESTRIAN PATHWAY LIGHT FIXTURE INSTALLATION - HINSDALE CENTRAL HIGH SCHOOL - (7) LIGHT FIXTURES TOTAL, MOUNTED AT 15'-0".

REVISED TO 15'
NTG 01/14/2020

PHOTOMETRIC PLAN - DECEMBER 11, 2019
NOT TO SCALE

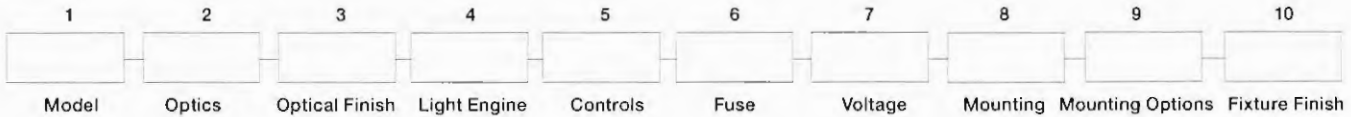
HH

FEATURES

- Integral Motion Sensor
- wiScape enabled
- IDA approved
- 20kV/10kA surge protection
- ANSI C136.41 receptacle
- IES Type II, III and IV distributions
- 3000K, 4000K, 5000K CCT
- Integral thermal protection
- 0-10V dimming ready
- IP66 optical system
- 120-277, 347 and 480VAC input
- Staggered twin mounting
- ANSI C136.31-2010 4G Rated



ORDERING CODE



1. MODEL

4" wide luminaire

- K41 Single fixture
- K42 Two fixtures 180° apart
- K43 Three fixtures 90° apart
- K44 Four fixtures 90° apart

2. OPTICS

Distribution Type, see "Luminaire Performance" on page 3

- T2 IES Type II
- T3 IES Type III
- T4 IES Type IV

3. OPTICAL FINISH

Standard white or may choose one. See "Luminaire Performance" on page 3 for detail.

- MO Optics in Matte Black finish
- FO Optics in fixture finish

4. LIGHT ENGINE

Lumen package, see "Luminaire Performance" on page 3 for detail

- 7050 5000K CCT, CRI 70, 64 watts
- 7040 4000K CCT, CRI 70, 64 watts
- 7030 3000K CCT, CRI 70, 64 watts
- 5050 5000K CCT, CRI 70, 46 watts
- 5040 4000K CCT, CRI 70, 46 watts
- 5030 3000K CCT, CRI 70, 46 watts

560nm monochromatic amber and or custom lumen package available by request. ¹

5. CONTROL

Options

- MPCR 7-pin Receptacle
- WIR wiScape connectivity
- WIRSC wiScape + motion sensor
- SCP Motion sensor + Photocell ⁴
- SWP SiteSync Pre-commissioned ⁵
- SWPM SiteSync Pre-commissioned + Motion Sensor⁶

Accessories:

- SCPREMOTE Handheld commissioning tool ⁴
- SWUSB SiteSync loaded on USB flash drive (Windows[®] operating system only) ⁵
- SWTAB SiteSync Windows[®] based Tablet ⁵
- SWBRG SiteSync Wireless Bridge Node ⁵
- SW7PR SiteSync 7-Pin Module
- NXOFM-1R1D-UNV NX 7-pin Module

6. FUSE

(may choose one)

- SF 120, 277, 347 Volt input
- DF 208, 240, 480 Volt input

7. VOLTAGE

120-277VAC input standard or may choose one

- 347 347VAC input
- 480 480VAC input

8. MOUNTING

Integral Pole

- PS410-125 10' luminaire height.
- PS412-125 12' luminaire height.
- PS414-125 14' luminaire height.
- PS416-125 16' luminaire height.
- PS418-125 18' luminaire height.
- PS420-125 20' luminaire height.

Tenon Mount

- TA23 Slips over a 2 3/8" / 60mm Ø x 4" / 102mm tall tenon

Side Mount

- SMK Mounts to the side of a square pole, K41 only

Wall Mount

- WMK K41 only

9. MOUNTING OPTIONS

Twin mount at staggered heights

Mounting holes for a fixture at 180°, K41... PS4... only, may choose one

- TS8 8' from bottom
- TS10 10' from bottom
- TS12 12' from bottom
- TS14 14' from bottom
- TS16 16' from bottom
- TS18 18' from bottom

Pole Accessories

May choose one

- GFI GFCI receptacle, 24" from top of pole
- RBC Duplex receptacle box with clear cover, wiring device(s) not included

10. FIXTURE FINISH

Standard Color

- AGN Antique Green
- BL Black
- BLT Matte Black
- CRT Corten
- DB Dark Bronze
- DGN Dark Green
- GT Graphite
- LG Light Grey
- MAL Matte Aluminum
- MDB Bronze Metallic
- MG Medium Grey
- TT Titanium
- WH Arctic White
- WDB Weathered Bronze
- VBV Verde Blue

Premium Color

- SHK Shamrock
- SPP Salt and Pepper
- SFM Sealoom
- WCP Weathered Copper
- RAL RAL 4 digit Color
- CUSTOM Custom Color

¹ Contact factory

⁴ Handheld commissioning tool is required to separately configure or adjust any number of SCP sensors

⁵ Specify group and zone at time of order. See www.hubbellighting.com/sitesync for more details. Order at least one SiteSync interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node.

⁶ When ordering with SiteSync, one of the following interface options must be chosen and ordered separately. Each option contains the SiteSync License, GUI and Bridge Node.



ARCHITECTURAL AREA LIGHTING
 17760 Rowland Street | City of Industry | CA 91748
 P 626.968.5666 | F 626.369.2695 | www.aal.net
 Copyright © 2014 September 18, 2018 12:46 PM

JOB
 TYPE
 NOTES

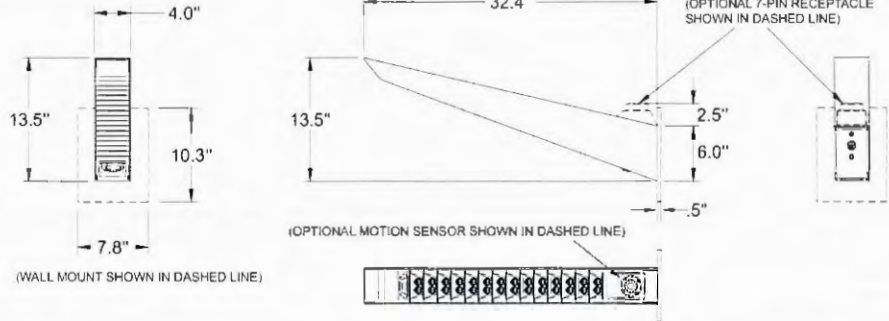
Kick™ – K4 Small Scale

TYPE

Side Mounted Luminaire

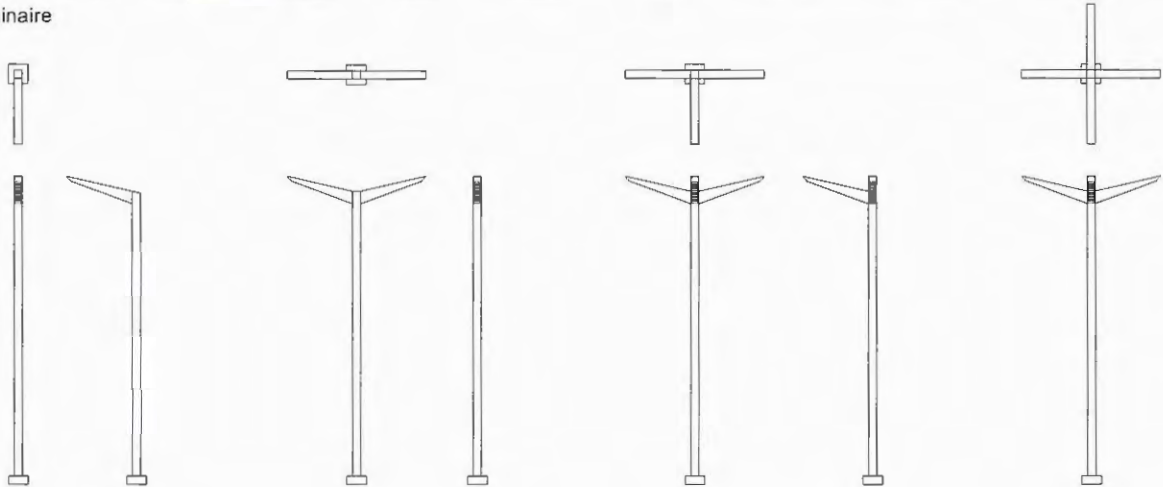
Mounts to the side of 4"/102mm square pole.

MODEL	K41-...-SMK
OVERALL HEIGHT	13.5" / 343mm
OVERALL LENGTH	32.4" / 823mm
OVERALL WIDTH	4" / 102mm
WEIGHT	15 lbs.
EPA	1.03



Integral Pole Luminaire

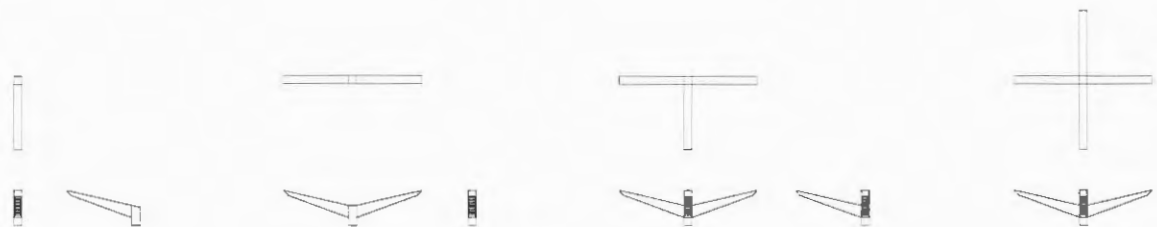
See page 6 for height and mounting detail
* Weight and EPA for fixtures only



MODEL	K41-...-PS4XX-125	K42-...-PS4XX-125	K43-...-PS4XX-125	K44-...-PS4XX-125
Overall Length	36.4" / 925mm	10" / 254mm	36.4" / 925mm	68.9" / 1750mm
Overall Width	10" / 254mm	68.9" / 1750mm	68.9" / 1750mm	68.9" / 1750mm
WEIGHT	15 lbs.	30 lbs.	45 lbs.	60 lbs.
EPA*	1.03	2.06	2.61	2.61

Tenon Mount Luminaire

Slips over a 2 3/8"/60mm diameter by 4"/102mm tall tenon



MODEL	K41-...-TA23	K42-...-TA23	K43-...-TA23	K44-...-TA23
Overall Height	17.5" / 445mm	17.5" / 445mm	17.5" / 445mm	17.5" / 445mm
Overall Length	36.4" / 925mm	10" / 254mm	36.4" / 925mm	68.9" / 1750mm
Overall Width	4" / 102mm	68.9" / 1750mm	68.9" / 1750mm	68.9" / 1750mm
WEIGHT	18.5 lbs.	33.5 lbs.	48.5 lbs.	63.5 lbs.
EPA*	1.33	2.42	2.61	2.61



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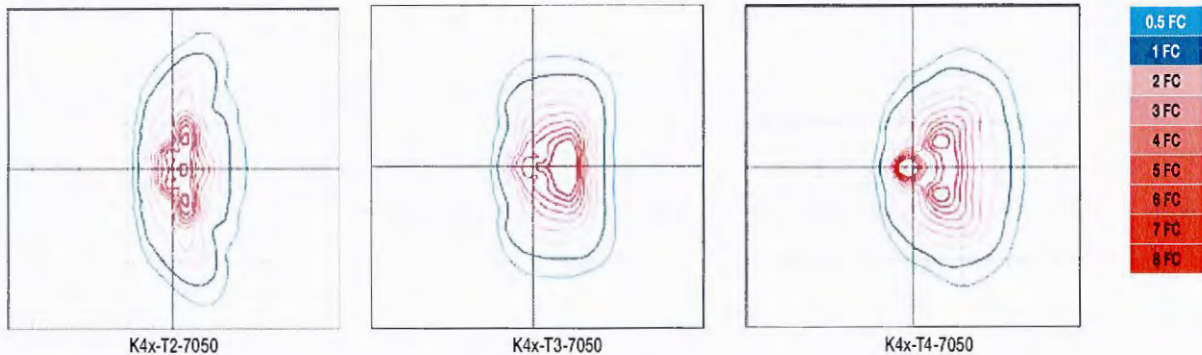
JOB
TYPE
NOTES

LUMINAIRE PERFORMANCE

Configuration				Ordering Code												Average System Watts							
Light Engine	Optical Finish	Distribution	Ordering Code	Bright White (5000K)						Neutral White (4000K)							Warm White (3000K)						
				Delivered Lumens	Efficacy (Lm/W)	BUG Rating			Delivered Lumens	Efficacy (Lm/W)	BUG Rating			Delivered Lumens	Efficacy (Lm/W)		BUG Rating						
				7050						7040						7030							
7000 series	Standard White	Type 2	T2	6932	108	2	2	2	6775	106	2	2	2	6536	102	2	2	2	64				
		Type 3	T3	6952	108	1	2	1	6795	106	1	2	1	6554	102	1	2	1					
		Type 4	T4	7691	120	2	2	2	7516	117	2	2	2	7250	113	2	2	1					
	Fixture Matched	Type 2	T2-FO	5614	87	2	2	2	5486	85	2	2	2	5292	83	2	2	2					
		Type 3	T3-FO	5788	84	1	2	1	5646	82	1	2	1	5456	79	1	2	1					
		Type 4	T4-FO	6131	96	2	2	2	5992	94	2	2	2	5780	90	2	2	1					
	Matte Black	Type 2	T2-MO	5602	88	2	0	1	5475	86	2	0	1	5281	83	1	0	1					
		Type 3	T3-MO	5773	90	1	0	1	5656	88	1	0	1	5442	85	1	0	1					
		Type 4	T4-MO	6117	96	2	0	1	5979	93	2	0	1	5767	90	2	0	1					
					5050						5040						5030						
	5000 series	Standard White	Type 2	T2	5239	113	1	2	1	5234	114	2	2	1	4999	108	1	2		1	46		
			Type 3	T3	5130	111	1	2	1	5125	112	1	2	1	4895	106	1	2		1			
Type 4			T4	5456	118	1	2	1	5451	118	1	2	1	5207	113	1	2	1					
Fixture Matched		Type 2	T2-FO	4003	87	1	2	1	4010	87	2	2	1	3820	83	1	2	1					
		Type 3	T3-FO	4048	88	1	2	1	4044	88	1	2	1	3863	84	1	2	1					
		Type 4	T4-FO	4503	98	1	2	1	4524	98	1	2	1	4297	93	1	2	1					
Matte Black		Type 2	T2-MO	4003	87	1	0	1	4000	87	1	0	1	3820	83	1	0	1					
		Type 3	T3-MO	4048	88	1	0	1	4045	88	1	0	1	3863	84	1	0	1					
		Type 4	T4-MO	4503	98	1	0	1	4499	98	1	0	1	4297	93	1	0	1					

-MO ies files should be used for -FO configurations in application layouts.

ISOLINE TEMPLATES 14' Mounting Height

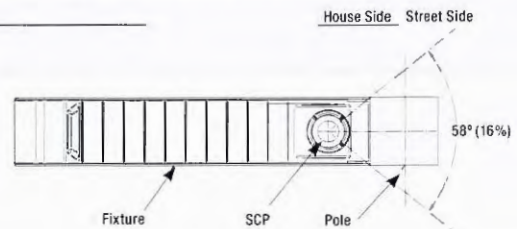


ELECTRICAL CHARACTERISTICS

Ordering Code	LED Current (mA)	System Wattage (W)	Input				Hz	Min. Power Factor	Max THD (%)	Dimming Range (V)	Source/Sink Current (mA)	Inrush Current Peak							
			Amps AC									(A)				T@50% (µs)			
			120	277	347	480						120	277	347	480	120	277	347	480
70XX	700	64	0.5	0.23	0.2	0.13	50/60	>0.9	20	0-10	1	15	32	41	63	50	155		
50XX	500	46	0.4	0.17	0.1	0.10													

SENSOR DETECTION RANGE

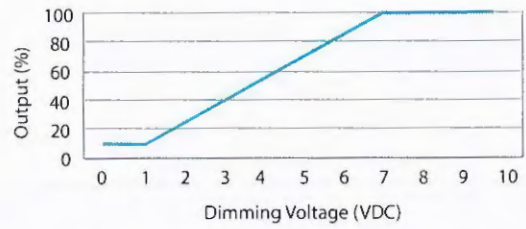
		SENSOR MOUNTING HEIGHT								RATIO
		8'	10'	12'	14'	16'	18'	20'		
COVERAGE	SCP	20'	25'	30'	35'	40'	45'	50'	1:2.5	
DIAMETER	WIRSC	16'	20'	24'	28'	32'	36'	40'	1:2	



TM-21 LIFETIME CALCULATION

Ambient Environment °C	Projected Lumen Maintenance (Khrs)					Reported L70
	25	50	60 (TM-21)	75	100	
25	98%	95%	94%	92%	90%	>60Khrs.
40	98%	96%	95%	93%	91%	

DIMMING CURVE



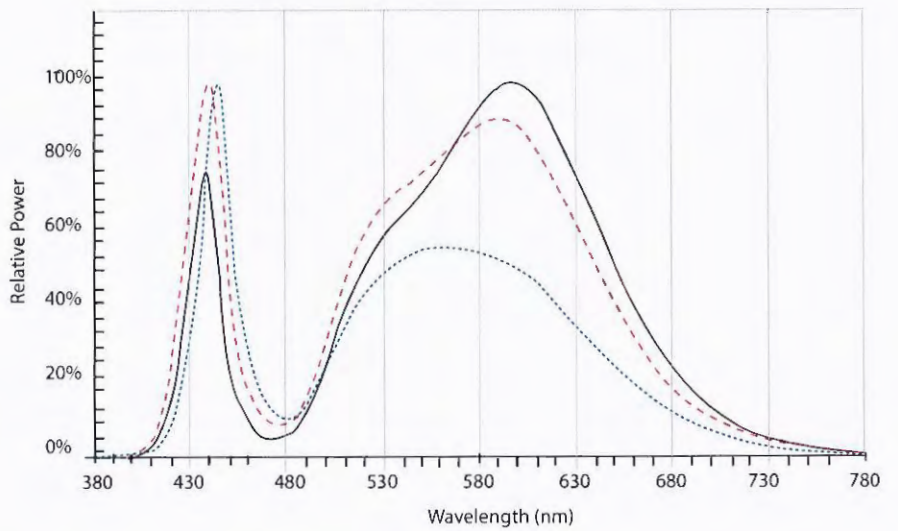
Note: Fixture does not dim to off, fixture dims to 10% minimum output.

COLOR CHARACTERISTICS

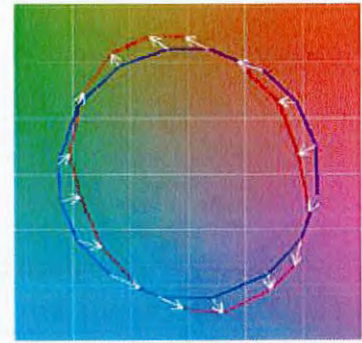
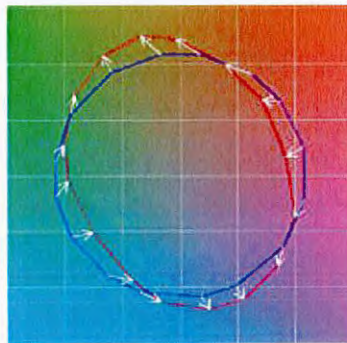
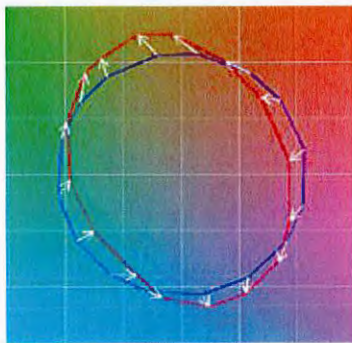
Value	Ordering Code		
	XX30	XX40	XX50
Rf	69	69	71
Rg	99	99	98
CCT(K)	3122	3852	5020
Duv	0.001	0.0004	0.0005
CIE Ra	74	73	74

Note: TM-30 reported at the discrete LED level, not fixture level.

SPECTRAL POWER DISTRIBUTION COMPARISON



COLOR VECTOR GRAPHIC



XX30

XX40

XX50

SPECIFICATIONS

HOUSING

- Housing shroud shall be fabricated 5052-H32 aluminum alloy with a rear mounting interface that shall be fabricated 304 stainless steel
- Housing mounting interface shall have a stamped silicone gasket
- Luminaire housing shall be free of any visible heat fins, hardware or fasteners.
- Bracketry and hardware shall be stainless steel.

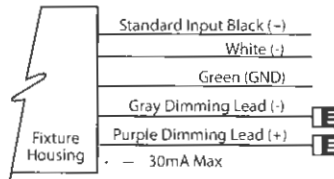
OPTICAL ARRAY

- LEDs shall be mounted to a metal printed circuit board assembly (MCPCB) with a uniform conformal coating over the panel surface and electrical features
- Optical lenses shall be clear injection molded PMMA acrylic.
- Each MCPCB and optic shall be sealed to an extruded 6063-T6 aluminum alloy heat spreader and sealed with a continuous one piece injection molded silicone rubber gasket. IP66.
- Patent Pending design of optical array shall independently shield each LED optic across the length of the aperture
- Optical surfaces shall be painted white unless the optional fixture finish (FO) or matte black finish (MO) is selected.
- Optional matte black finish optics (MO) are required to meet UO classification with zero percent uplight.
- Optional fixture finish optical surfaces (FO) shall not exceed BUG ratings of the standard white finish and shall be greater than or equal to the delivered lumens of the optional matte black optical surface finish (MO)

ELECTRICAL

- Drivers shall be in direct contact with the aluminum housing across the entire surface area of the widest face for maximum thermal transfer
- Luminaires shall have integral surge protection that shall be U.L. recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J. Surge protection device shall be wired in series
- Drivers shall be U.L. recognized
- Drivers shall not be compatible with current sourcing dimmers. consult factory for current list of known compatible dimming systems approved dimmers include Lutron Diva AVTV, Lutron Nova NFTV and NTFTV.

- Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array shall have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C.
- Luminaires not configured with a control system or ANSI C136 receptacle option shall be provided with 0-10 purple and gray dimming leads.



CONTROLS

- Wireless enabled fixtures shall support bi-directional radio frequency (RF) communications utilizing IEEE 802.15.4 operating in the 2.4GHZ ISM band
- Up to 1000' wireless range may be reduced by physical obstructions between lighting fixtures.
- Motion Sensor shall use passive infrared (PIR) sensing technology that reacts to changes in infrared energy (moving body heat) within the coverage area. Careful consideration must be given to obstructions that may block the sensor's line of sight.
- Factory default settings for SCP option shall be:
 - High mode: 10V
 - Low mode: 1V
 - Ramp-up rate: disabled
 - Fade-down rate: disabled
 - Photocell: Off
 - Sensitivity: Full
 - Time Delay, Fade to low: 5 minutes
 - Time Delay, Fade to off: 1 hour

MOUNTING AND INSTALLATION

- Integral pole mount luminaires shall require assembly of fixture(s) to the pole, mounting hardware, anchor bolts and anchor bolt template shall be included. See page 6 for additional considerations specific to the integral pole.
- Tenon mount luminaires shall require assembly of fixture(s) to the tenon adapter, mounting hardware shall be included. Tenon adapter shall be secured to the tenon with eight 5/16-18 stainless steel set screws.

- Side mount luminaires shall be supplied with hardware compatible with AAL mountings.
- Twin mounted staggered height fixtures shall be configured separately.

SERVICING

- Service access to the optical array and driver assembly shall be via a tool-less internal latch and have an audible click.
- Optical array shall be able to hang freely in an open service position for inspection of internal wire connections. Once in service position, the optical array shall be able to be removed for service by lifting the assembly up off the rear hinge and disconnecting the wiring plugs.
- Driver assembly shall be mounted to a prewired internal tray with quick disconnects for removal.

FINISH

- Luminaire finish shall consist of a five stage pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermostat super TGIC polyester powder coat finish.
- Luminaire finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

CERTIFICATION

- Luminaire shall be listed with UL for outdoor, wet location use, UL1598, UL 8750 and Canadian CSA Std. C22.2 no. 250.
- ANSI C136.31-2010 4G Vibration tested and compliant.
- IEC 66262 Mechanical Impact Code IK10
- IDA approved, 3000K and warmer CCTs only.

Warranty / Terms and Conditions of Sale Download:
<http://www.hubbelling.com/resources/warranty/>



ARCHITECTURAL AREA LIGHTING
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JOB
 TYPE
 NOTES

SPECIFICATIONS

Integral Pole

MODEL	HEIGHT		SHAFT		WT	MAXIMUM ALLOWABLE EPA (MPH)							
	OVERALL	POLE	SECTION			85	90	100	110	120	130	140	150
K4X-PS410-125	10' 7.5" / 3.24m	10'	4" SQ x .125"		28 lbs	15.4	13.5	10.4	8.1	6.4	5.0	4.0	3.1
K4X-PS412-125	12' 7.5" / 3.85m	12'	4" SQ x .125"		32 lbs	11.8	10.2	7.6	5.7	4.3	3.2	2.3	1.6
K4X-PS414-125	14' 7.5" / 4.46m	14'	4" SQ x .125"		37 lbs	9.1	7.7	5.5	3.9	2.6	1.7	0.95	0.33
K4X-PS416-125	16' 7.5" / 5.07m	16'	4" SQ x .125"		42 lbs	6.9	5.7	3.8	2.3	1.3	0.46	-	-
K4X-PS418-125	18' 7.5" / 5.68m	18'	4" SQ x .125"		48 lbs	4.9	3.9	2.2	0.95	0.01	-	-	-
K4X-PS420-125	20' 7.5" / 6.29m	20'	4" SQ x .125"		53 lbs	3.2	2.2	0.75	-	-	-	-	-

* - Consult factory for thicker shaft profiles and or custom heights not shown above.

CONSTRUCTION

- Base shall be cast aluminum #356 alloy and be heat treated to a T-6 condition.
- Shaft shall be extruded aluminum 6061 alloy and heat treated to a T-6 condition.
- Anchor bolts shall be hot dip galvanized steel. Eight galvanized hex nuts and flat washers, and a bolt circle template shall be provided. Anchor bolt for poles are 3/4" x 24" x 3".

WARNINGS

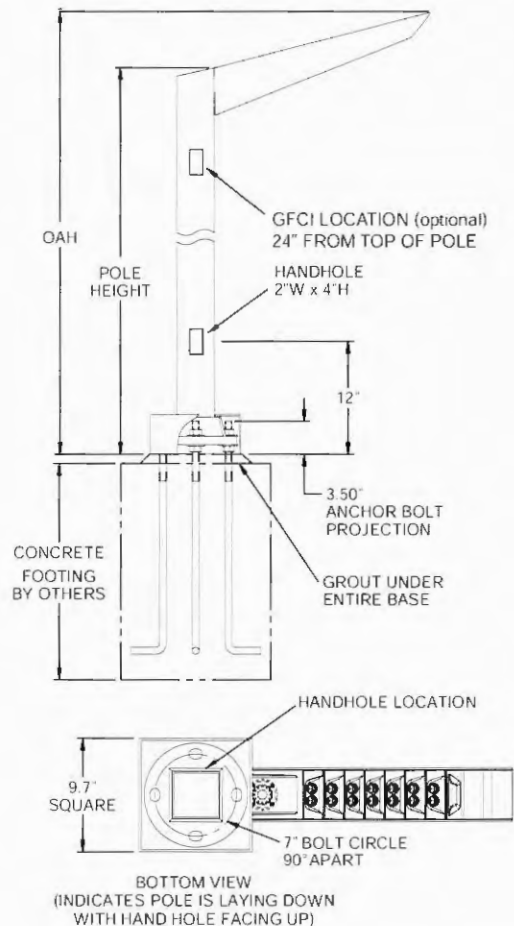
- Caution must be exercised in the selection of a design wind speed when the pole is to be installed in a special wind region (as indicated by the wind map) or in an area where wind speed is unpredictable.
- AAL recommends consulting a local engineer when the pole is to be installed in an area that may be subject to vibration, oscillations, and other fatigue effects which are not covered by the AAL warranty.
- The use of banners or other appendages can severely affect the loading of a pole. No banner or other appendage may be attached to an AAL pole unless approved by AAL.
- If the products are to be used on an existing foundation or on other structures, the customer assumes all responsibility for the structural integrity of the existing foundation, anchorage or structures and all the consequences arising there from.

CAUTION

- Poles should never be erected without the luminaire installed. Warranty is voided if the pole is erected without the luminaire.

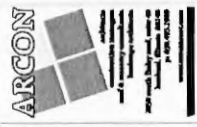
WARRANTY / TERMS AND CONDITIONS OF SALE

Download: <http://www.hubbellighting.com/resources/warranty/>



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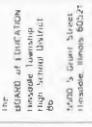
JOB
 TYPE
 NOTES



2070
KELLENDUM
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Hesside Centre
25th and Grant
Streets,
Hesside, Essex
S22 1JG
Hesside South
High School
Hill Rd
Corbridge
Essex, Essex S23 8JL
Administration
Center
2520 S Dean
Hesside Essex
S22 1JG

STAIRS OF ELEVATION
High School Building
Es



Utility Engineering
Professional Engineer
State of MD, License
No. 157743, 15757
P. 05/12/2011

Structural
AEC Engineering Group
11755 S. Virginia Street
Suite 100
Northridge, CA 91329
Tel: (818) 708-2000

Mechanical/Electrical
Professional Engineer
State of MD, License
No. 157743, 15757
P. 05/12/2011

REVISIONS	No.	Date	By
1	10/27/19		
2	10/28/19		

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Structure - IBID
ISSUE Date 07 2019
DRAWN JG
CHECKED JG
UTILITY EXHIBIT
Sheet
Number
CX301



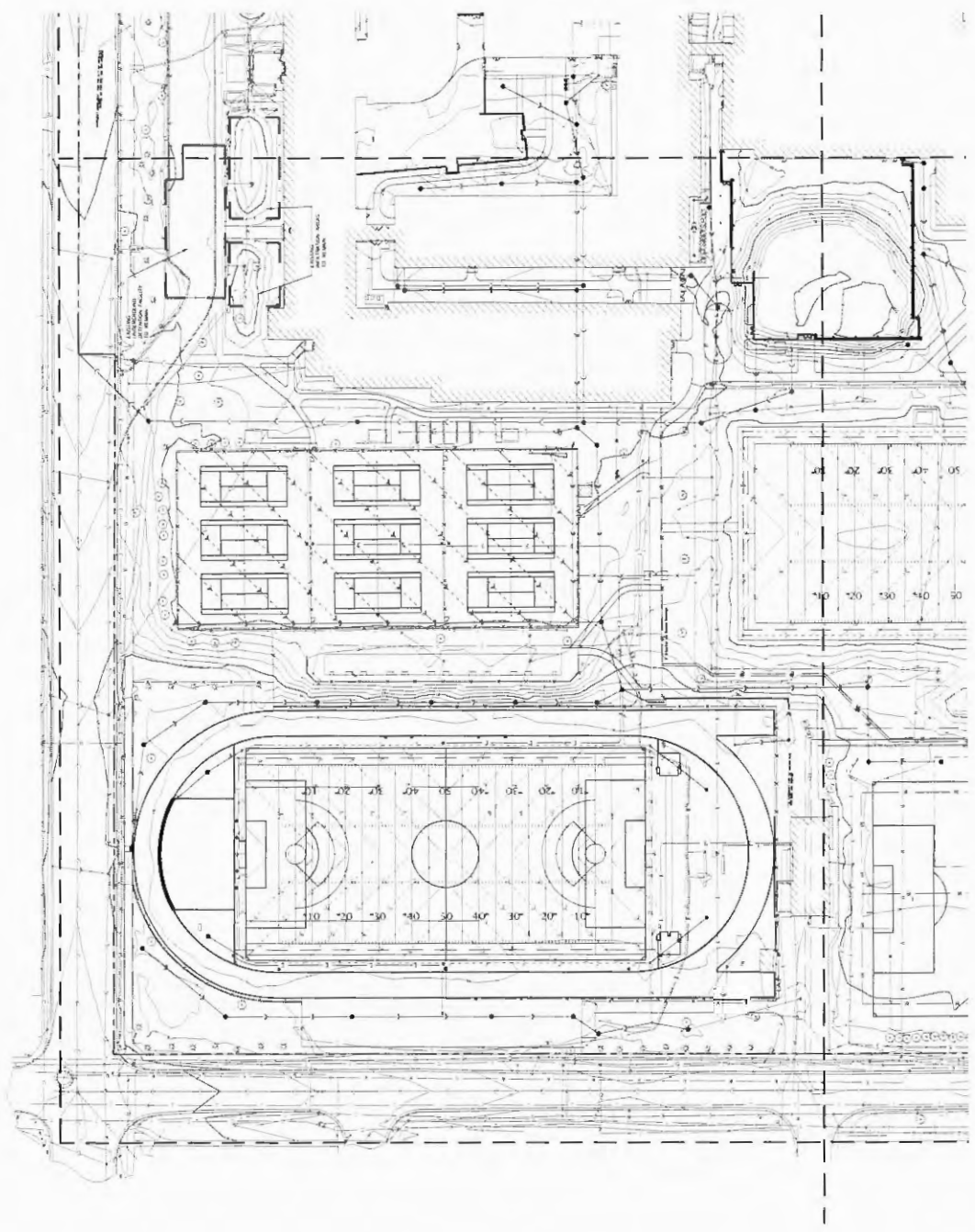
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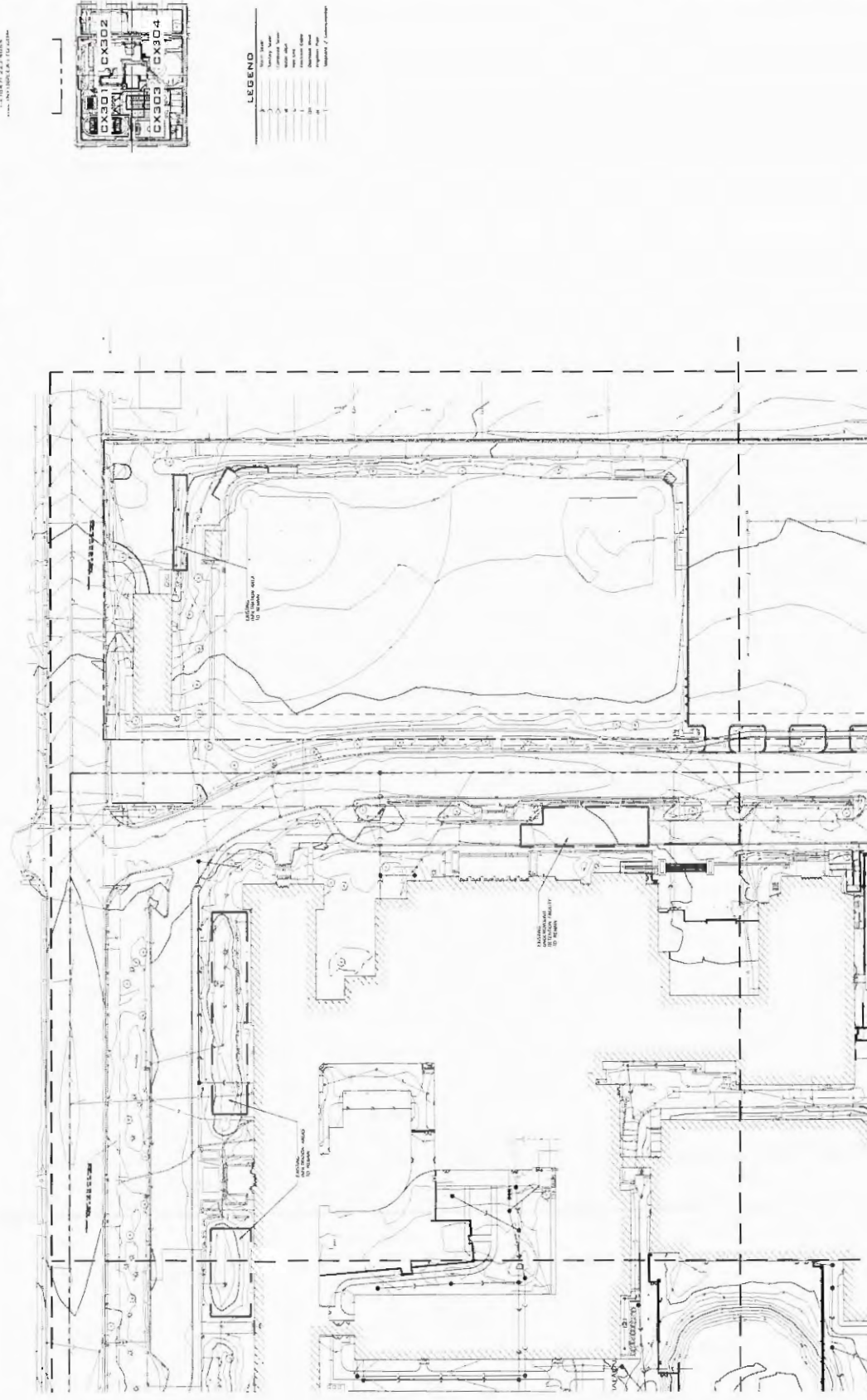
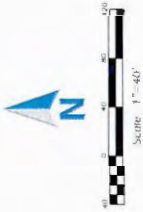
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25th and Grant
Streets,
Hesside, Essex
S22 1JG
Hesside South
High School
Hill Rd
Corbridge
Essex, Essex S23 8JL
Administration
Center
2520 S Dean
Hesside Essex
S22 1JG



LEGEND

Symbol	Description
1	Utility
2	Structure
3	Foundation
4	Site Work
5	Grading
6	Drainage
7	Retention / Containment





LEGEND

1	Utility Line
2	Structural Wall
3	Non-Structural Wall
4	Window
5	Door
6	Structural Column

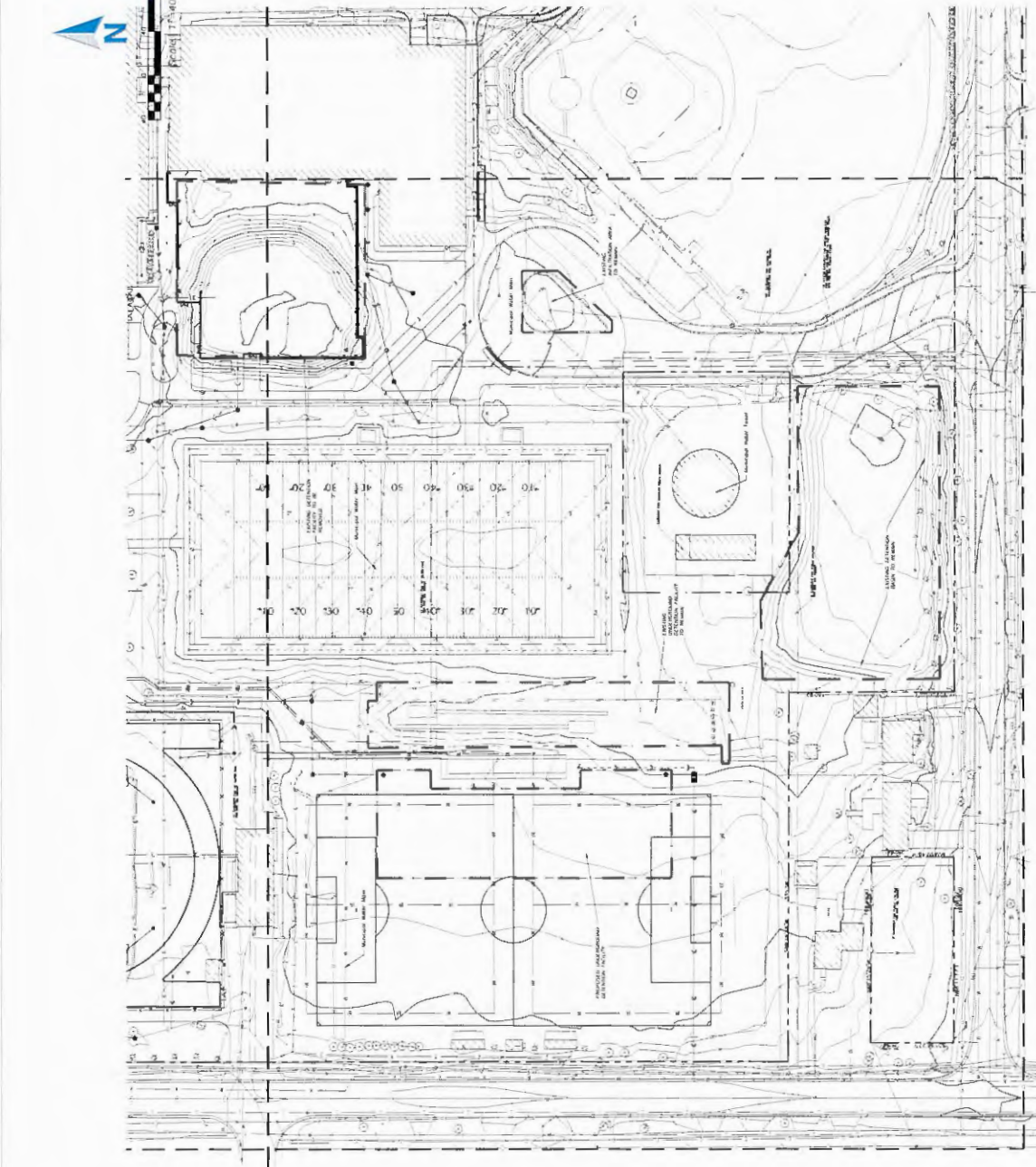
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02	10/25/19	[Signature]

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 Issue: 04.07.2019
 Date: 04.07.2019
 Drawn: JG
 Checked: JG

UTILITY EXHIBIT
 Sheet Number
CX302

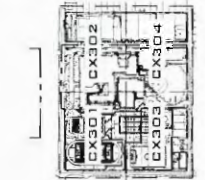
INTERNATIONAL ASSOCIATION OF ENGINEERS
 1115 WARDEN STREET
 TORONTO, ONTARIO M5P 2H5
 TEL: 416-461-1000
 FAX: 416-461-1001
 WWW.ERIKSSON-ENGINEERING.COM



ARCON
 Engineering
 Associates, Ltd.

ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.

1000 West 10th Street, Suite 100
 Regina, Saskatchewan S4P 0K6
 Canada
 Phone: (306) 766-1111
 Fax: (306) 766-1112
 Email: info@arcon.ca



LEGEND

1	Proposed Building
2	Proposed Parking
3	Proposed Driveway
4	Proposed Access
5	Proposed Utility
6	Proposed Fencing
7	Proposed Landscaping

2020 REFERENCE WORK

at
 Highways 100
 Main and Grant
 Streets
 Regina, Saskatchewan
 S4P 0K6
 Highways 100
 Main and Grant
 Streets
 Regina, Saskatchewan
 S4P 0K6
 Main and Grant
 Streets
 Regina, Saskatchewan
 S4P 0K6
 Main and Grant
 Streets
 Regina, Saskatchewan
 S4P 0K6

REGARDING UNDAULON
 HIGHWAY DISTRICT
 20

3000 S Grant Street,
 Regina, Saskatchewan S4P 0K6

3000 S Grant Street,
 Regina, Saskatchewan S4P 0K6



Eriksson Engineering
 Associates, Ltd.
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 S4P 0K6
 Canada
 Phone: (306) 766-1111
 Fax: (306) 766-1112
 Email: info@eriksson.ca

REVISIONS

No.	Date	By
01	10/07/19	jg
02	10/28/19	jg

PROJECT
 Location: H20

ISSUE
 Date: 04/01/2019

DRAWN
 Name: jg

CHECKED
 Name: jg

UTILITY EXHIBIT

Sheet
 Number: CX303



20270
KULLERWILM
WORK

Residential Center
John near Upt
Streets
B0521
Hinsdale South
High School
Village Park
Johannes, Illinois 60505
Administration
Center
2550 N. Upt
Hinsdale, Illinois
60521

THE BOARD OF EDUCATION
1199 Grand District
BB
2550 S. Glen Street
Hinsdale, Illinois 60524



J. H. ...
Professional Engineer
No. 123456789
State of Illinois
Exp. 12/31/2021
P. 123456789
Structural
1111 Engineering Group
1111
Newport, IL 60555
Mechanical/Structural
1111
1111
1111
1111

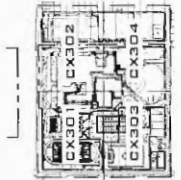
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	02	10/25/19	JH

PROJECT: 1111
ISSUE: 03.02.2019
DRAWN: JH
CHECKED: JH
DATE: 10/25/19
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ISSUE: 03.02.2019
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DATE: 10/25/19

Sheet
Name/No
CX304

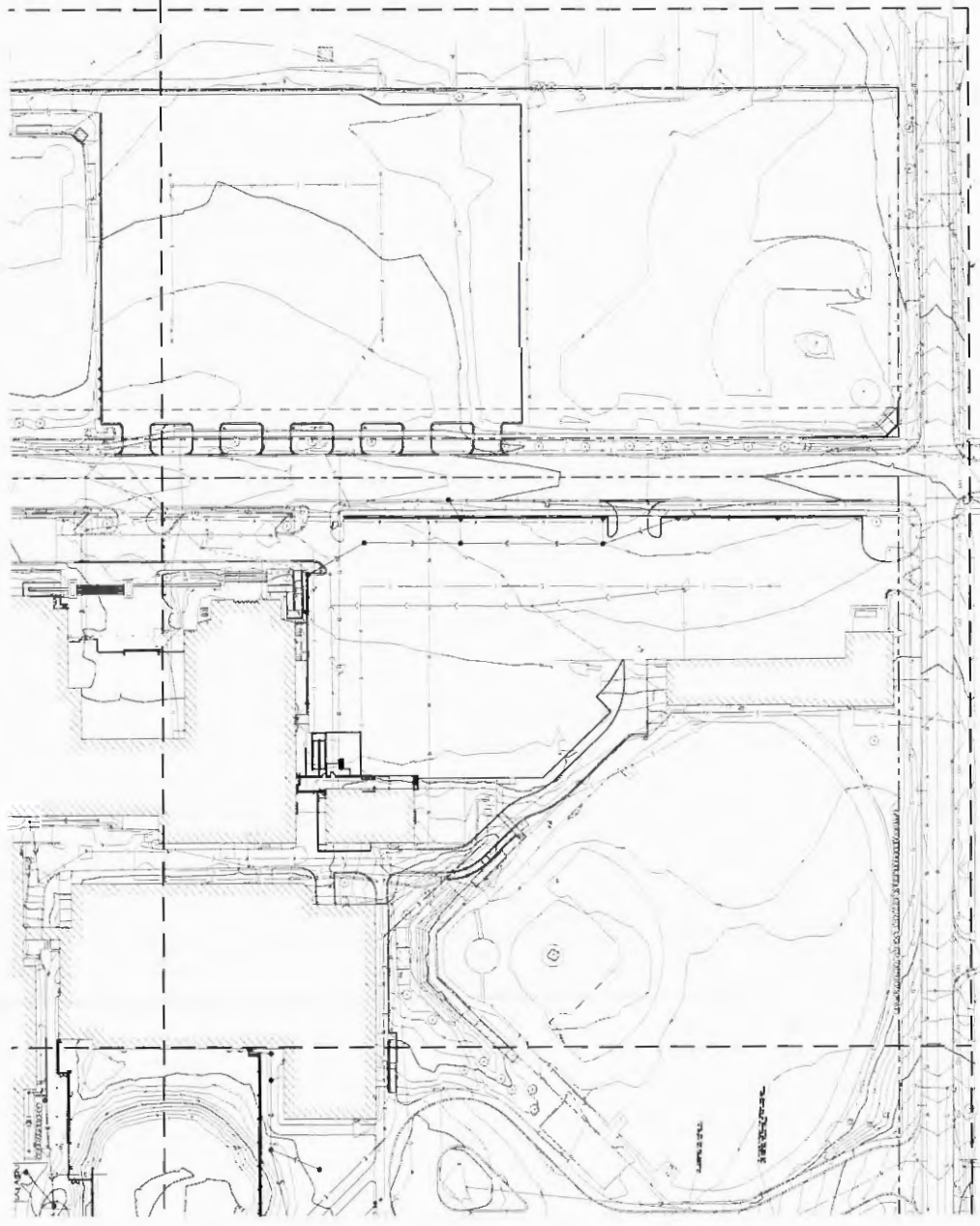


20270
KULLERWILM
WORK



LEGEND

Symbol	Description
1	Proposed Building
2	Proposed Parking
3	Proposed Driveway
4	Proposed Walkway
5	Proposed Utility
6	Proposed Stormwater
7	Proposed Retention
8	Proposed Erosion Control
9	Proposed Landscaping
10	Proposed Other



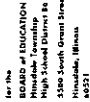


2019 South Liberty Road, Suite 400
 Hinsdale, Illinois 60521
 Phone: 630.329.1000
 www.arcon.com

ADDITIONS AND RENOVATIONS
BID PERIOD 2

Kindred Central
 High School
 High School and Gymnasium
 Hinsdale, Illinois 60521

For the
BOARD OF EDUCATION
 High School District 118
 5500 South Grant Street
 Hinsdale, Illinois
 60521



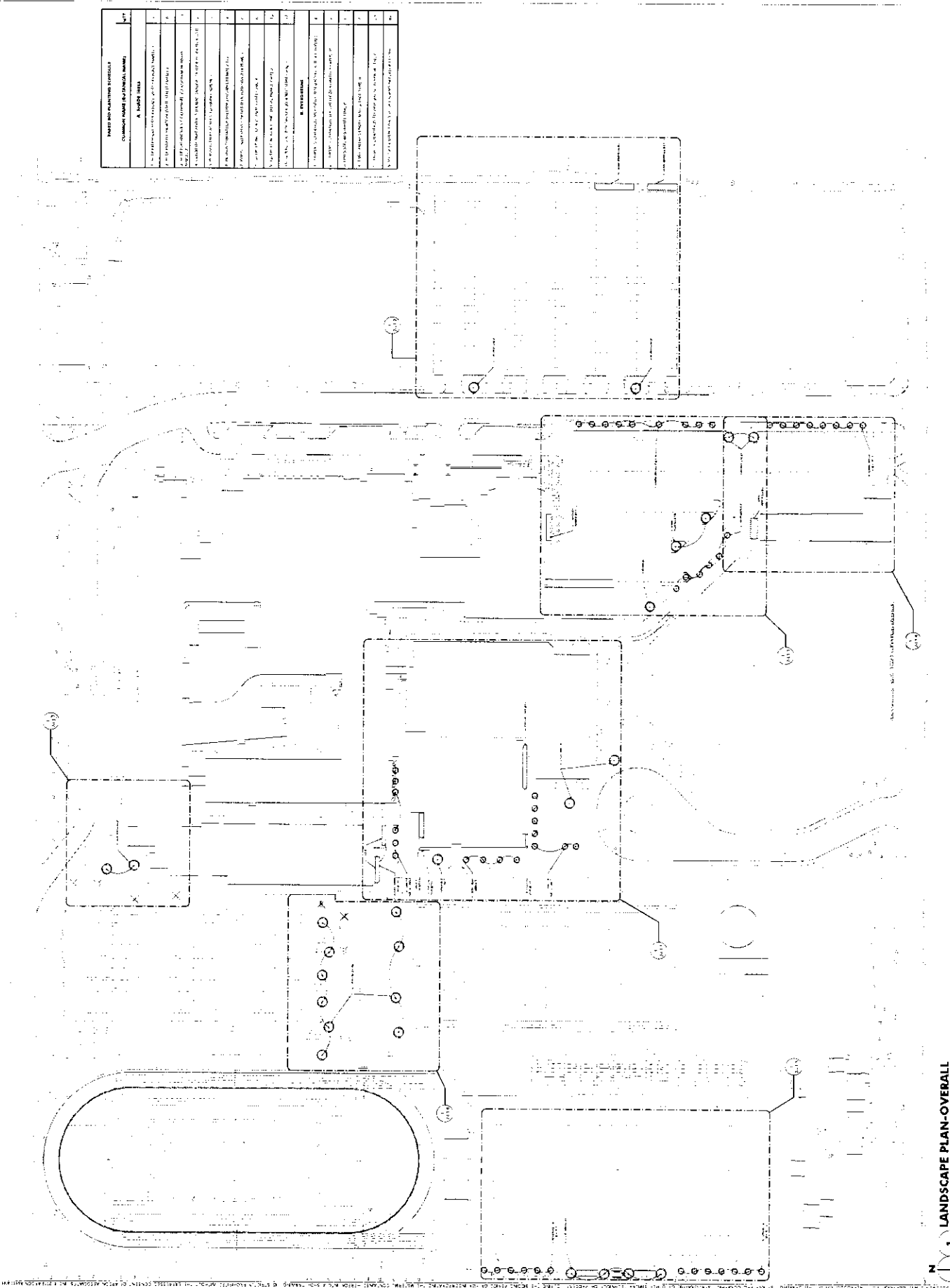
REGISTERED
 PROFESSIONAL ENGINEER
 No. 043-000000

REVISIONS
 No. Date By

Project Number:
19048
 Issue Date:
December 6, 2019
 Drawn by:
 JWB
 Sheet Title:
LANDSCAPE PLAN-OVERALL

Sheet Number:
2-L1.0

DATE PLOTTED: 12/10/19 10:52 AM
 PLOTTER: HP DesignJet T1100



NO.	REVISION	DATE
1	ISSUED FOR BIDDING	12/06/19
2	REVISED PER COMMENTS	12/06/19
3	REVISED PER COMMENTS	12/06/19
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50	REVISED PER COMMENTS	12/06/19

1 LANDSCAPE PLAN-OVERALL

 Scale: 1" = 30'-0"



ADDITIONS AND RENOVATIONS
BID PERIOD 2
 Hinsdale Central
 Hinsdale Township
 55th and Grand Streets
 Hinsdale, Illinois 60521

For the
BOARD of EDUCATION
 Hinsdale Township
 1800 North Lincoln Ave.
 55th and Grand Streets
 Hinsdale, Illinois 60521



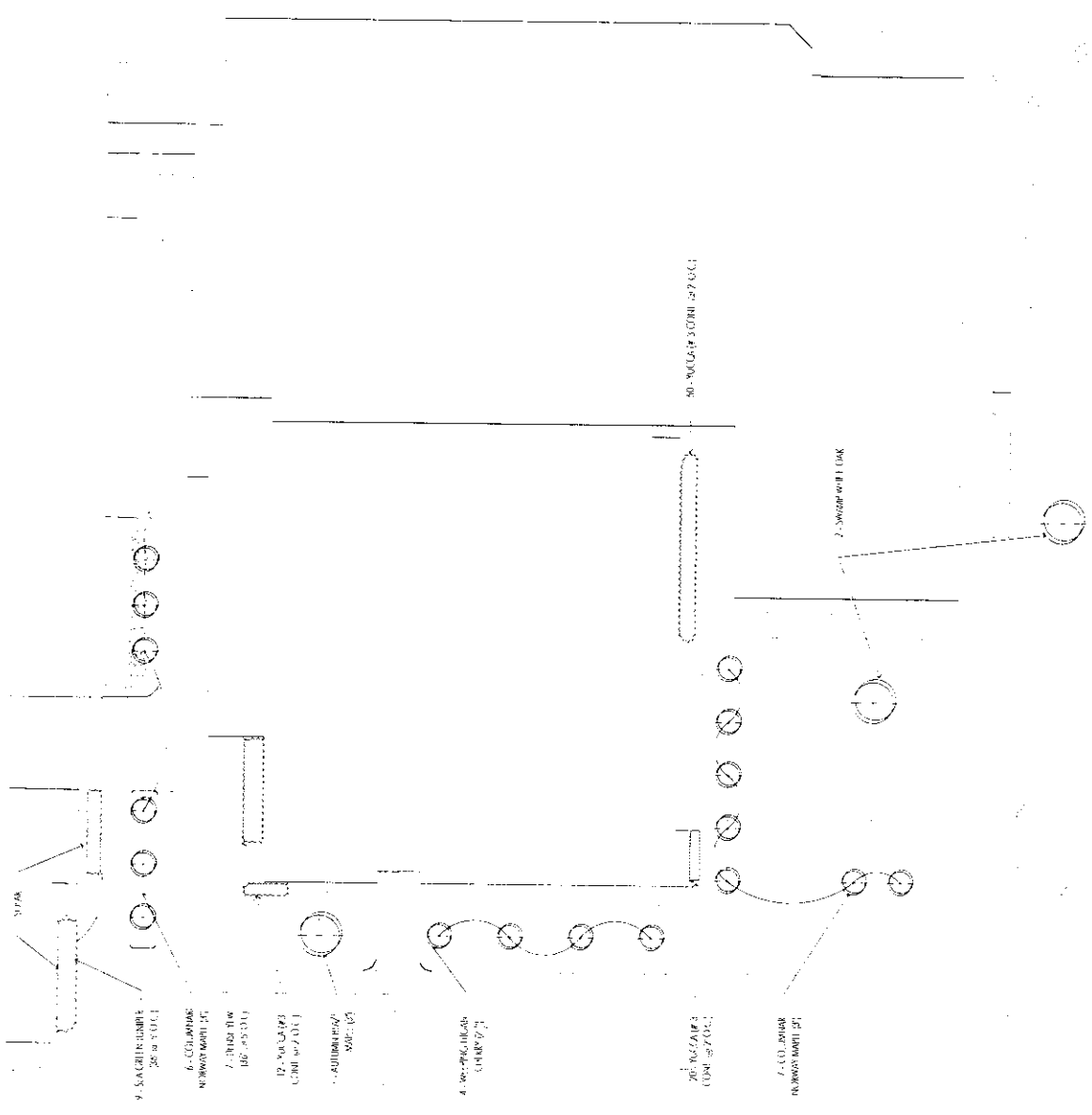
NOT TO BE USED
 FOR ANY OTHER PROJECT

REVISIONS
 No. Date By

Project Number:
1908B
 Issue Date:
December 6, 2019
 Drawn by:
 Approved by:
 Checked by:
 Underwriter/Publisher:
 Sheet Number

2-L1.1
 HINSDALE TOWNSHIP

REVISION	DATE	BY	DESCRIPTION
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LANDSCAPE PLAN-PARTIAL - Callout 1
 1



ADDITIONS AND RENOVATIONS
BID PERIOD 2

Hicksville Central
High School
35th and Great Streets
Hicksville, Illinois 60151

For the
BOARD OF EDUCATION
Hicksville Township
35th and Great Streets
Hicksville, Illinois
60151



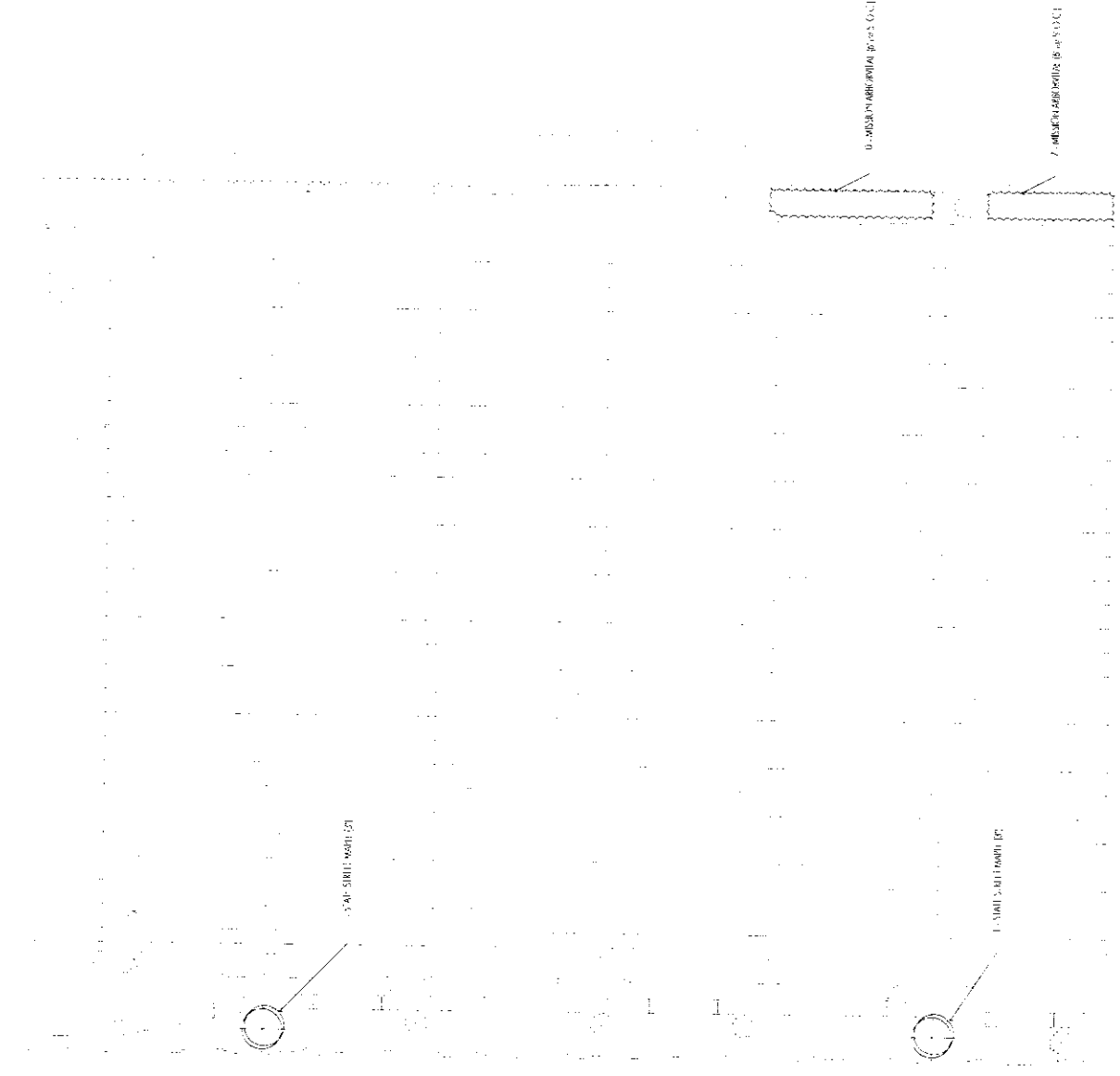
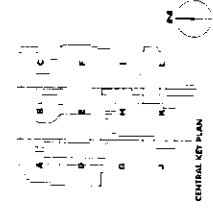
NOT BIDDING
FOR THIS PROJECT

REVISIONS
No. Date By

Project Number:
1700B
Issue Date:
December 6, 2019
Drawn by:
Checked by:
Scale:
Sheet Title:
Job Number:
Sheet Number

2-L1.2
CENTRAL VET PLAN

BIDDING REQUIREMENTS		BY
SECTION	REQUIREMENT	
A	GENERAL NOTES	1
B	CONCRETE	1
C	PAVING	1
D	LANDSCAPE	1
E	IRONWORK	1
F	MECHANICAL	1
G	ELECTRICAL	1
H	PLUMBING	1
I	ROOFING	1
J	WALLS	1
K	WOODWORK	1
L	PAINT	1
M	GLASS	1
N	SMALL METALS	1
O	STEEL ERECTION	1
P	MECHANICAL INSULATION	1
Q	MECHANICAL ELECTRICAL PLUMBING	1
R	MECHANICAL ELECTRICAL PLUMBING	1
S	MECHANICAL ELECTRICAL PLUMBING	1
T	MECHANICAL ELECTRICAL PLUMBING	1
U	MECHANICAL ELECTRICAL PLUMBING	1
V	MECHANICAL ELECTRICAL PLUMBING	1
W	MECHANICAL ELECTRICAL PLUMBING	1
X	MECHANICAL ELECTRICAL PLUMBING	1
Y	MECHANICAL ELECTRICAL PLUMBING	1
Z	MECHANICAL ELECTRICAL PLUMBING	1



6 - WALKWAY (CONCRETE) (SEE SCHEDULE)

7 - WALKWAY (CONCRETE) (SEE SCHEDULE)

8 - WALKWAY (CONCRETE) (SEE SCHEDULE)

9 - WALKWAY (CONCRETE) (SEE SCHEDULE)

LANDSCAPE PLAN - PARTIAL - Callout 2





ADDITIONS AND RENOVATIONS
PHASE 2

Highland, Central
 High School
 55th and Green Streets
 Highland, Illinois 60521

For The
BOARD OF EDUCATION
 Highland Central High School
 55th Street & Green Street
 Highland, Illinois
 60521



REGISTERED
 PROFESSIONAL ARCHITECT

REVISIONS
 No. Date By

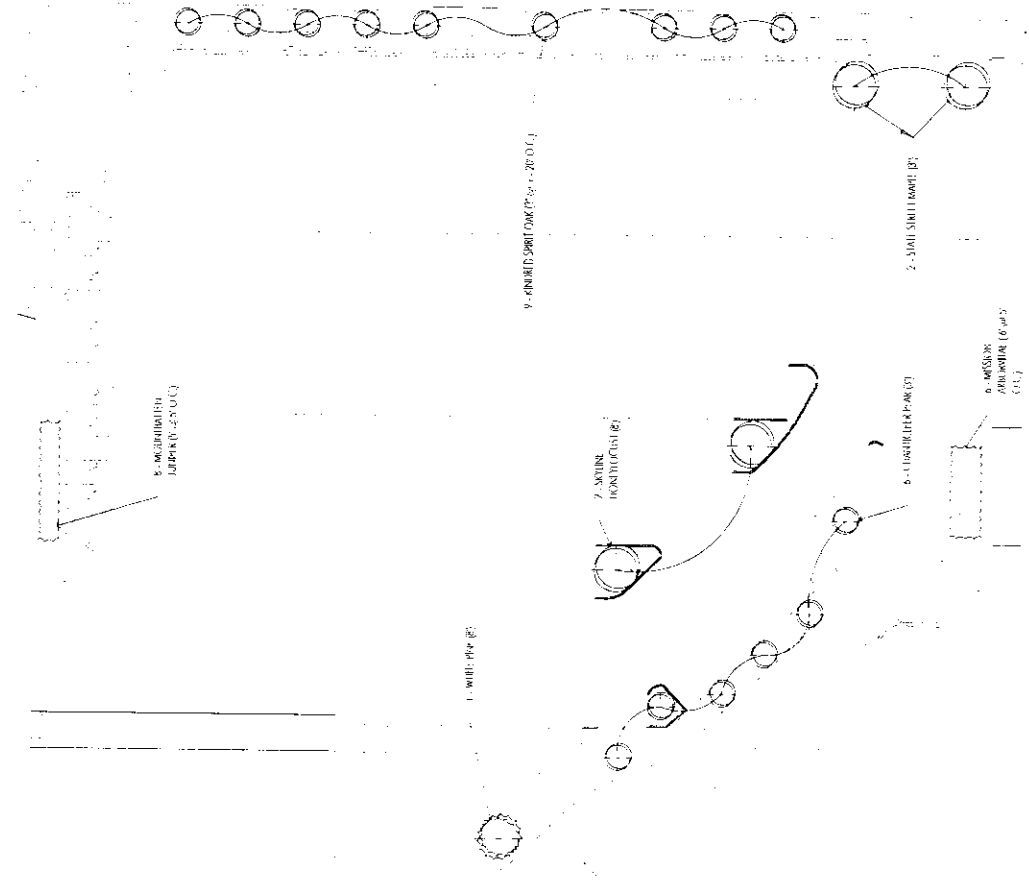
Project Number:
 10048
 Issue Date:
 December 6, 2019
 Drawn by:
 number
 Sheet Title:
 Landscape Plans/Details
 Sheet Number

2-L1.3

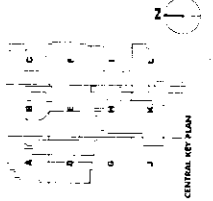
INCORPORATING

Architect 1

REVISION NUMBER	REVISION DESCRIPTION	DATE
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50	REVISED PERMITS	



LANDSCAPE PLAN - PARTIAL - Callout 3



CENTRAL KEY PLAN



ADDITIONS AND RENOVATIONS
RID PERIOD 2

For the
BOARD of EDUCATION
 Providence Public Schools
 High School District #6
 5800 South Grand Street
 Providence, Rhode Island
 02911



PROFESSIONAL
 ENGINEERING
 COMPANY

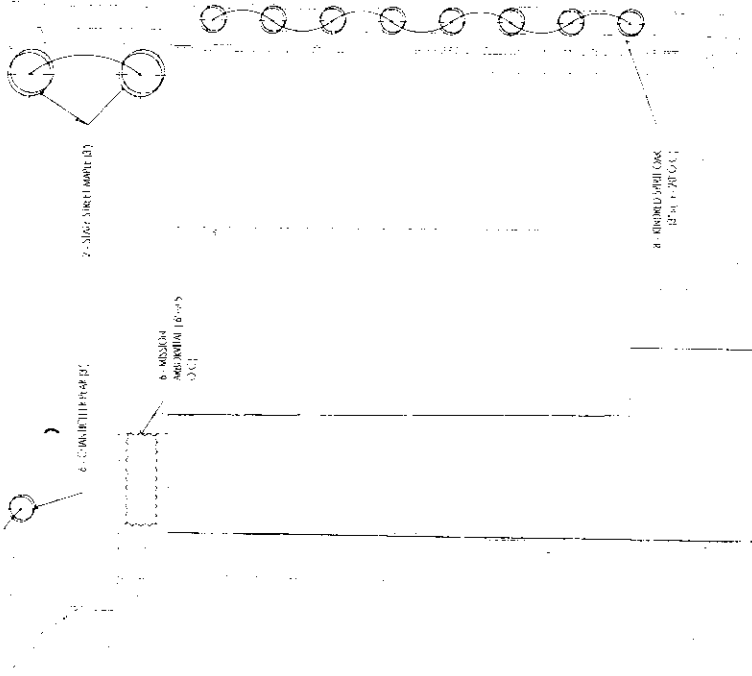
REVISIONS
 No. Date By

Project Number
 19048
 Issue Date
 December 6, 2019
 Drawn by
 Author
 Sheet Title
 Landscape Architectural
 Street Number

2-L1.4
 (R) (S) (L) (E) (N)

Attachment 1

NO.	REVISION	DATE
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LANDSCAPE PLAN-PARTIAL - Callout 4
 1/8" = 1'-0"



ARCON
 200 North Dearborn Street
 Chicago, Illinois 60610
 Tel: 312.467.1000
 Fax: 312.467.1001

ADDITIONS AND RENOVATIONS
MID PERIOD 2

Midstate Central
 50th and Grant Streets
 Hammond, Illinois 60421

For the
BOARD of EDUCATION
 Midstate Central
 50th and Grant Streets
 Hammond, Illinois 60421



APPROVED
 FOR THE
 BOARD OF EDUCATION

REVISIONS
 No. Date By

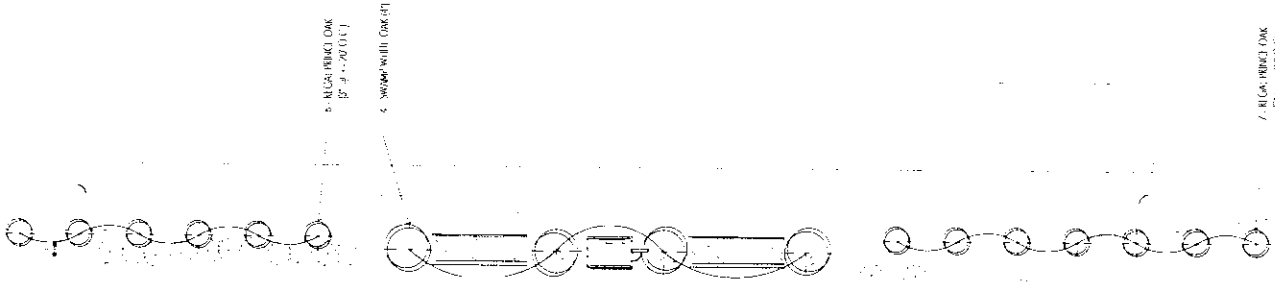
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TYONE
 Issue Date:
 November 6, 2019
 Drawn by:
 Sheet Title:
 LANSKAP PLAN-PARTIAL

Sheet Number:
2-L1.5
 PROJECT TOTAL: 11 SHEETS

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CENTRAL LCP PLAN



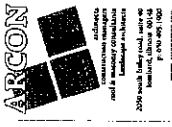
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2. BILGAL WERKO OAK
 5' x 4' x 20' (10')

3. BILGAL WERKO OAK
 5' x 4' x 20' (10')

LANDSCAPE PLAN-PARTIAL- Callout 5





ADDITIONS AND RENOVATIONS
MD PERIOD 2

High School
 5th and Grant Streets
 Haverhill, Illinois 62221

For the
BOARD of EDUCATION
 Haverhill High School
 High School number 24
 5500 South Grant Street
 Haverhill, Illinois
 62221



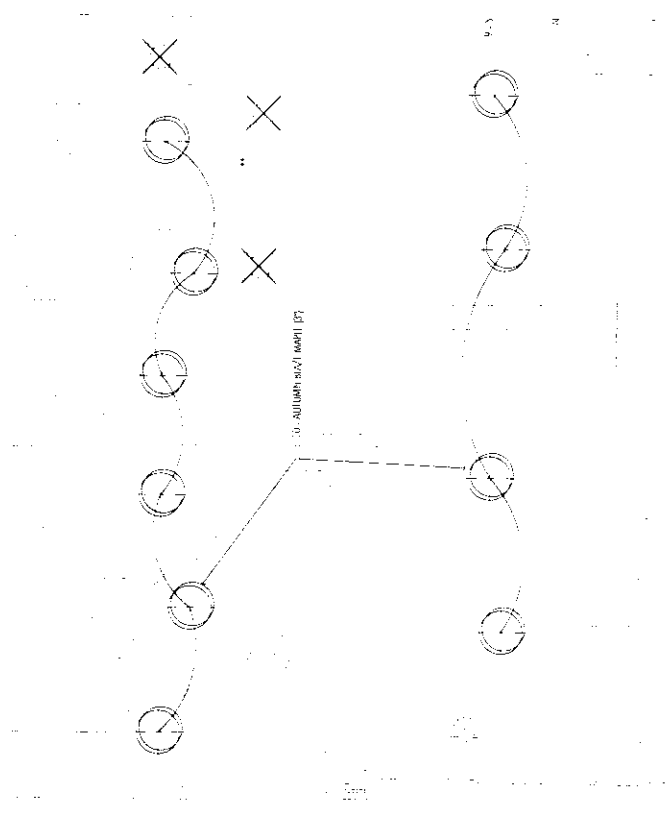
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 FOR ANY OTHER PROJECT

REVISIONS
 No. Date By

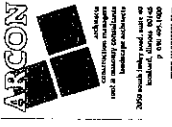
Project Number:
 17028
 Issue Date:
 December 6, 2019
 Drawn by:
 J. H. H.
 Sheet Title:
 LANDSCAPE RENOVATIONS

Sheet Number
2-L1.6
 PROJECT LISTING

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50	ADDITIONS AND RENOVATIONS	12/6/19



1 LANDSCAPE PLAN - PARTIAL - Callout 6



ADDITIONS AND RENOVATIONS
BID PERIOD 2

For the
BOARD of EDUCATION
 of the
High School District
 5700 South Central Street
 Hinsdale, Illinois
 60521



NOTHING TO BE
 CONSIDERED
 COMPLETE
 UNTIL THE
 CONTRACT IS
 SIGNED

REVISIONS
 No. Date By

Project Number:
 17024
 Drawn By:
 Date: December 6, 2019
 Drawn By:
 2 hour file
 UNIVERSITY ARCHITECTS

Sheet Number
2-L1.7
 DRAWING TITLE

Attachment 1

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50	2" x 4" x 8' LVL	1	EA



LANDSCAPE PLAN-PARTIAL - Callout 7
 1/16" = 1'-0"

EXHIBIT C

FINDINGS AND RECOMMENDATION

(ATTACHED)

HINSDALE PLAN COMMISSION

Application: Case A-39-2019 – Applicant: ARCON Associates / Hinsdale Central High School / District D86

Request: Exterior Appearance and Site Plan – 5500 S. Grant Street in the IB Institutional Buildings District

DATE OF PLAN COMMISSION (PC) REVIEW: January 8, 2020

DATE OF BOARD OF TRUSTEES 1ST READING: March 3, 2020

FINDINGS AND RECOMMENDATION

I. FINDINGS

1. The PC heard testimony from the applicant's architect, Mr. Nick Graal, on behalf of the Hinsdale Township High School District D86, and reviewed the plans through a PowerPoint presentation and reiterated the multiphase project that will be presented to the PC when it is ready (this being Phase 1). The plans for three new buildings, tennis courts and parking lot, field/turf replacement work were all covered. It was noted that the main feature of the request is for the new natatorium in the middle of the subject property. A few colored elevation slides of the natatorium was focused on, and stated the intent is to complement and match the existing buildings. The brick material, glazing, metal panel near the roof and curtain wall/frosted glazing (although illustrated as what appears to be a blank wall) is for solar control and privacy. In regards to the street view, it was shown to be very difficult to see the natatorium due to far setback distances and existing streetscape features (11-604(C)).
2. A Plan Commissioner requested that the applicant make its best effort to match the existing brick of the existing buildings. The applicant stated that they are trying and that a brick specialist has been to the school at least 3 times to match the brick (11-604(F)(1)(i)).
3. A Plan Commissioner asked if they have had any feedback from the neighbors. The applicant responded yes, in regards to the parking lot screening; and in response, addressed concerns by adding arborvitae on the east side of the parking lot to soften the edge. It was noted that the chain link fence will be replaced with a PVC privacy fence with painted metal supports (11-604(F)(1)(h)).
4. A neighbor asked about the traffic impact during construction on 57th and Madison. The applicant explained that they have not finalized their construction operations plan with the school district, however, acknowledged some construction traffic will occur (11-604(E)(4)).
5. A Plan Commissioner asked they have held any neighborhood meetings. The applicant replied yes, they hold a public meeting once a month, and will have a construction portal on the website with frequent updates on the construction.
6. The applicant has completed the notification requirements for the public meeting, and public comment was made by a few neighbors at the public meeting. The concerns raised included traffic during construction and notification updates throughout the construction process (11-604(E)(3)).
7. Chairman Cashman recused himself for this request because he is on the special committee for District 86, and asked Commissioner Crnovich to lead the public meeting.

II. RECOMMENDATIONS

Following a motion to recommend approval of the proposed exterior appearance and site plan as submitted, with the condition it is contingent on Zoning Board of Appeals approval (V-05-19), the Village of Hinsdale Plan Commission, on a vote of five (5) "Ayes," one (1) "Abstained and two (2) "Absent," recommends that the President and Board of Trustees approve the application as submitted.

THE HINSDALE PLAN COMMISSION By:

Stephen J. Cashman, Chairman

Dated this day of Feb. 12, 2020.

EXHIBIT D

SAFETY NETTING LETTER DATED MARCH 31, 2020

(ATTACHED)



March 31, 2020

Mr. Robert McGinnis, MCP
Director of Community Development / Building Commissioner
Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, Illinois 60521

To Whom it May Concern:

In response to the Board of Trustee comments regarding safety netting at the meeting on March 16, 2020, the District will revise our application as follows:

1. In regard to the Junior Varsity baseball field on 57th and Grant Streets, the District will provide safety netting, on three sides of the baseball field. This includes:
 - a. First base line / 57th Street frontage.
 - b. Third base line / Grant street frontage.
 - c. Backstop / corner of 57th and Grant Streets frontage.

Please contact me with any further concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Nicholas T. Graal", with a long horizontal flourish extending to the right.

Nicholas T. Graal, AIA, LEED BD+C
Project Architect on behalf of Hinsdale Township High School District 86



REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: Second Reading - ZPS
SUBJECT: Consideration of a Request for Variation-908 N. Elm Street
MEETING DATE: April 7, 2020
FROM: Robert McGinnis, Director of Community Development/Building
Commissioner

Recommended Motion

Approve an ordinance approving a variation from Section 6-111(E) of the Village of Hinsdale Zoning Ordinance at 908 N. Elm Street, Hinsdale, IL – Case Number V-06-19.

Background

In this application for variation, the applicant requests relief from the Floor Area Ratio (FAR) requirements set forth in section 6-111(E) of the Code in order to enclose an entrance into the building. It should be noted that the existing building is a pre-code structure and is already over the allowable FAR specified in the code by 21,240 square feet (or 43.5% vs. 35%). The specific request is for 294 square feet of relief or an increase of .1%.

Discussion & Recommendation

Following a public hearing held on January 15, 2020, the Zoning Board of Appeals of the Village of Hinsdale ("ZBA") recommended approval of the Requested Variations on a vote of six (6) in favor and zero (0) opposed, with one (1) member absent.

Budget Impact

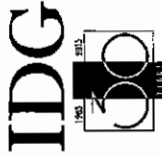
N/A

Village Board and/or Committee Action

At the March 16, 2020 Board of Trustees meeting, the Village Board had no issues with the request, other than a request for site drawings for the project (Document 1 attached). The agreed to move the item forward for Second Reading at their next meeting.

Documents Attached

1. Site Drawings
2. Draft Ordinance
3. Approved Findings of Fact and Recommendation
4. ZBA Application
5. Transcript



THE ILLINOIS DITCH GROUP, INC.
 AN ILLINOIS CORPORATION
 1001 SOUTH MICHIGAN STREET, SUITE 100
 CHICAGO, ILLINOIS 60605
 WWW.IDG.COM

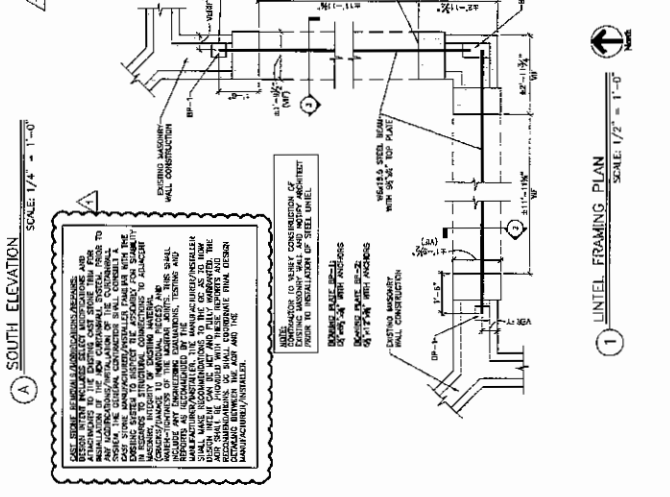
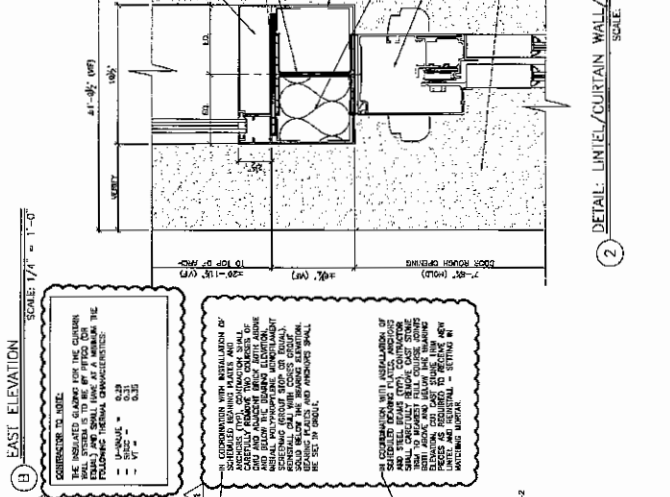
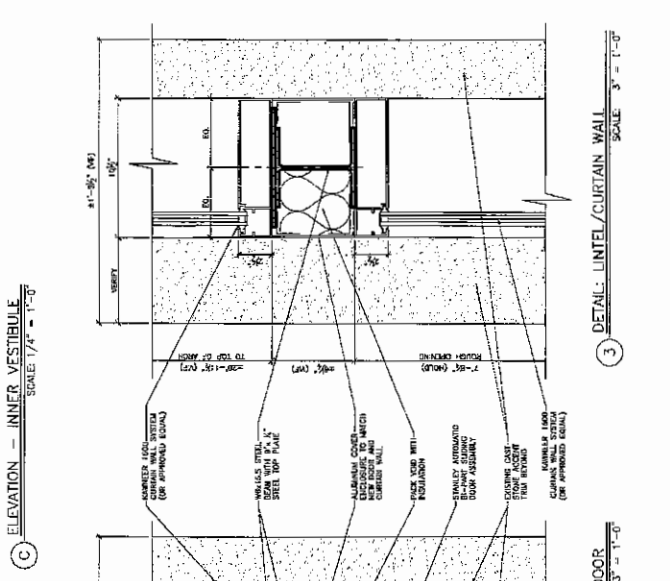
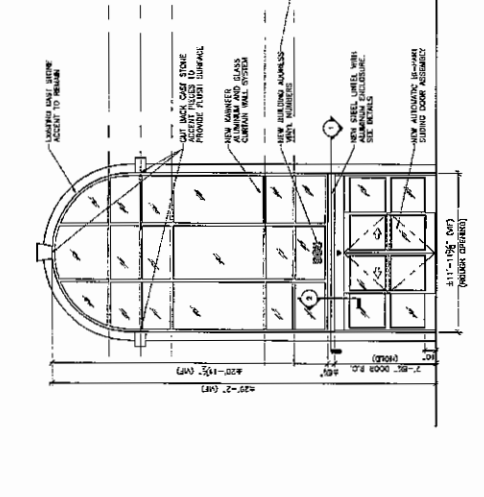
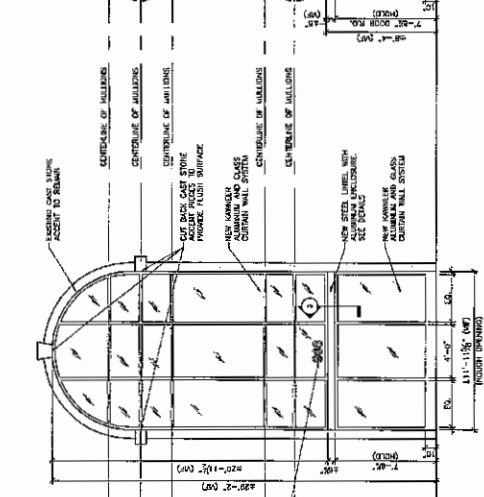
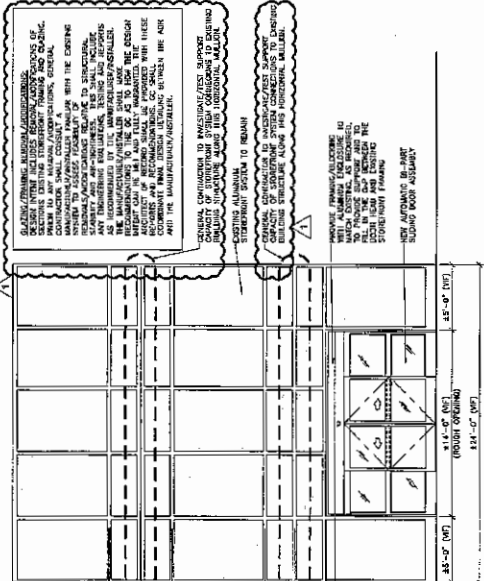
PROJECT DESIGN TEAM
 ARCHITECT: LARRY COOPER
 ENGINEER: DAVID JANKA
 STRUCTURAL: TIM LEE
 GENERAL CONTRACTOR: ROBERT BISHOP
 INTERIOR: [blank]

CBRE
 OFFICE PARK OF HINSDALE
 811 NORTH ELM STREET
 HINSDALE, ILLINOIS 60521



**BUILDING ENTRY/
 VESTIBULE**
 ELM PLAZA
 908 NORTH MICHIGAN ST.
 HINSDALE, ILLINOIS 60521

PROJ. NO. 21388-17 DATE
 SUBMITTED FOR APPROVAL 11/28/17
 FOR APPROVAL 07/24/17
 SHEET TITLE 07/07/17
 ELEVATIONS AND DETAILS
 EXCPT. NO. A-2



GENERAL CONTRACTOR TO INVESTIGATE/TEST SUPPORT STRUCTURE TO DETERMINE LOADS AND LOCATION OF SUPPORT SYSTEM TO REMAIN

REMOVE FINISHES EXISTING IN THIS AREA TO PROVIDE SUPPORT AND TO LOCATE LOADS AND EXISTING SUPPORT SYSTEM

NEW AUTOMATIC, 80-PART SLIDING DOOR ASSEMBLY

NEW 1/2" X 1/2" X 1/2" STEEL BEAM WITH 96" X 4" TOP FLANGE

REMOVE FINISHES EXISTING IN THIS AREA TO PROVIDE SUPPORT AND TO LOCATE LOADS AND EXISTING SUPPORT SYSTEM

NEW AUTOMATIC, 80-PART SLIDING DOOR ASSEMBLY

NEW 1/2" X 1/2" X 1/2" STEEL BEAM WITH 96" X 4" TOP FLANGE

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REMOVE FINISHES EXISTING IN THIS AREA TO PROVIDE SUPPORT AND TO LOCATE LOADS AND EXISTING SUPPORT SYSTEM

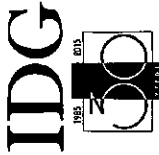
NEW AUTOMATIC, 80-PART SLIDING DOOR ASSEMBLY

NEW 1/2" X 1/2" X 1/2" STEEL BEAM WITH 96" X 4" TOP FLANGE

REMOVE FINISHES EXISTING IN THIS AREA TO PROVIDE SUPPORT AND TO LOCATE LOADS AND EXISTING SUPPORT SYSTEM

NEW AUTOMATIC, 80-PART SLIDING DOOR ASSEMBLY

NEW 1/2" X 1/2" X 1/2" STEEL BEAM WITH 96" X 4" TOP FLANGE



IDG INTERIOR DESIGN GROUP, INC.
 445 ROXBURY COMMONS DRIVE, SUITE 401
 BOSTON, MASSACHUSETTS 02116

PROJECT DESIGN TEAM
 ARCHITECT: LARRY COOPER
 DESIGNER: DAVID HANSA
 DRAWN BY: TONY DEBENE
 CHECKED BY:

CBRE

OFFICE: BANK OF AMERICA
 811 NORTH OLA STREET
 HINSDALE, ILLINOIS 60521



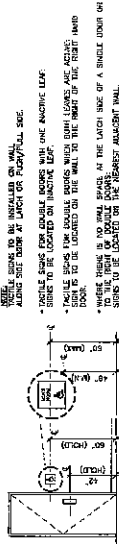
**BUILDING ENTRY/
 VESTIBULE**

505 WEST 34th ST.
 HINSDALE, ILLINOIS 60521

PROJ. NO. 21082-17
 SUBMITTED: 11/29/77
 DATE FOR APPROVAL: 07/14/77
 DATE FOR APPROVAL: 07/29/77
 DATE: 07/27/77

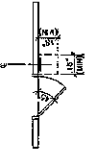
TYPICAL ACCESSIBILITY
 CLEARANCES FOR VESTIBULE
 MOUNTING HEIGHTS
 SHEET NO. N-2

**ACCESSIBLE
 MOUNTING HEIGHTS**



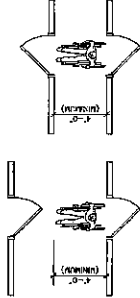
ACCESSIBLE MOUNTING HEIGHTS
 SCALE: 1/4"=1'-0"

NOTE: SWITCHES CONTAINED IN THE WALL SHALL BE LOCATED SO THAT A CLEARANCE OF 48" IS MAINTAINED BETWEEN THE CLOSED POSITION AND TOP OF OPEN POSITION.

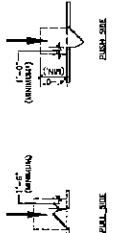


ACCESSIBLE MOUNTING HEIGHTS
 SCALE: 1/4"=1'-0"

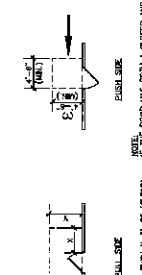
ACCESSIBILITY CLEARANCES



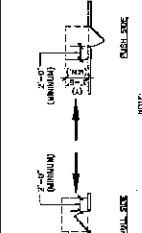
TWO HINGED DOORS IN A SERIES
 SCALE: 1/4"=1'-0"



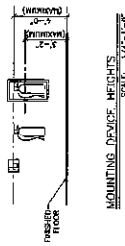
FRONT APPROACHES - SWINGING DOORS
 SCALE: 1/4"=1'-0"



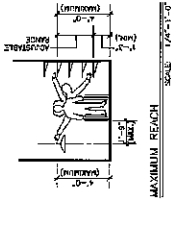
SIDE APPROACHES - SWINGING DOORS
 SCALE: 1/4"=1'-0"



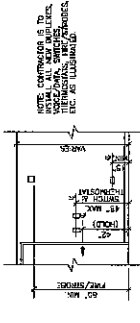
SIDE APPROACHES - SLIDING DOORS
 SCALE: 1/4"=1'-0"



MOUNTING HEIGHTS
 SCALE: 1/4"=1'-0"

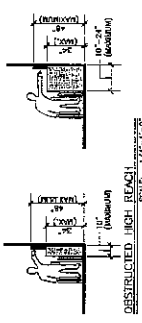


MAXIMUM REACH
 SCALE: 1/4"=1'-0"

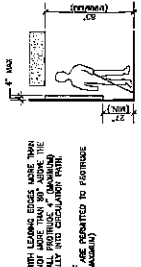


ACCESSIBLE ELECTRIC RECEPTACLES
 SCALE: 1/4"=1'-0"

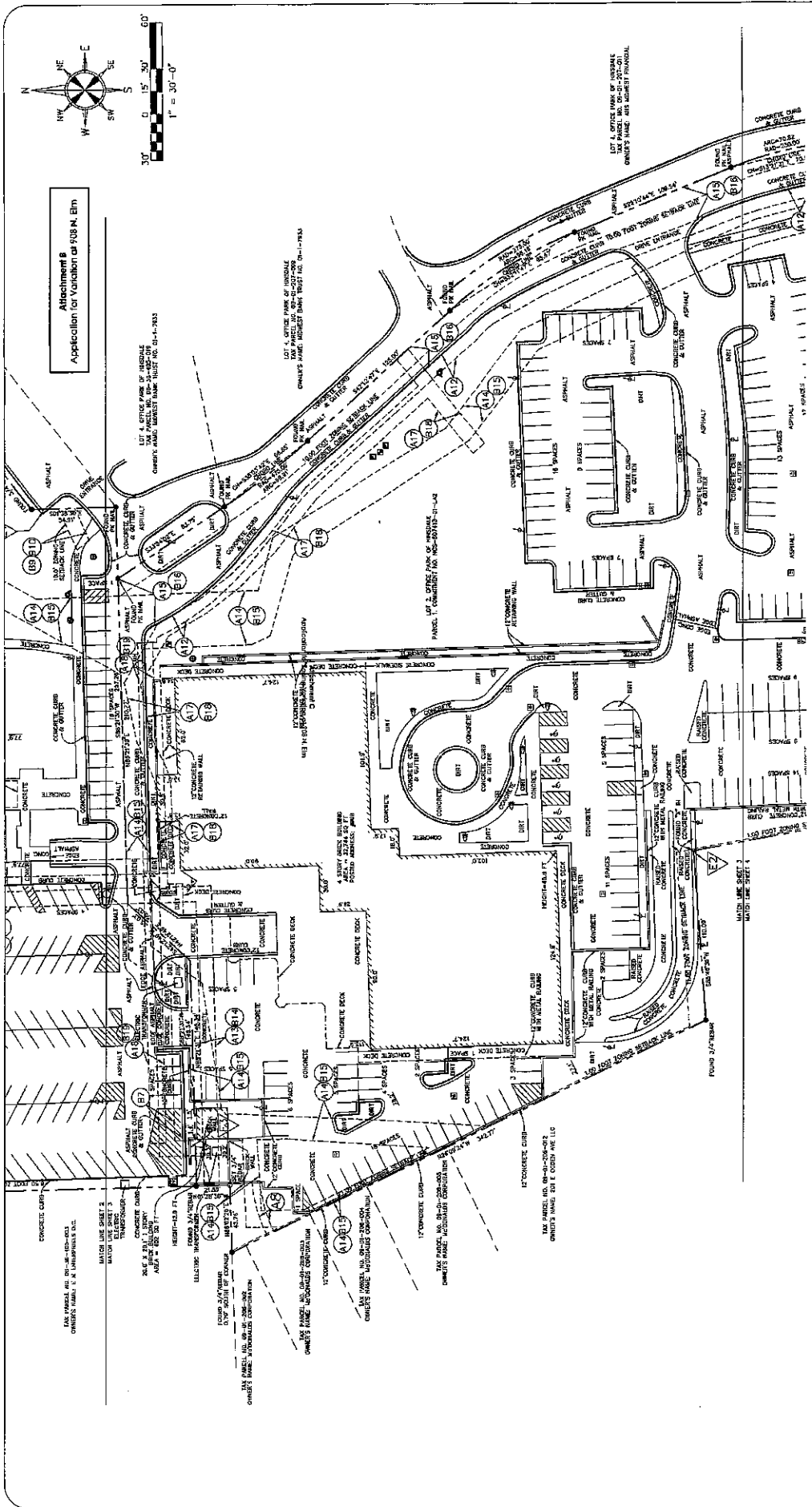
NOTE: RECEPTACLES WITH LEADING EDGES MORE THAN 3/16" AND NOT MORE THAN 90° ABOVE THE RECEPTACLE SHALL BE RECEPTACLES REQUIRING THE USE OF A RECEPTACLE ADAPTER.



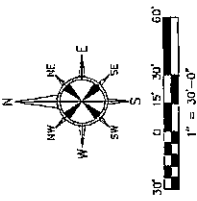
OBSTRUCTED HIGH REACH
 SCALE: 1/4"=1'-0"



INTRUSION LIMITS
 SCALE: 1/4"=1'-0"



Attachment B
 Application for Variation of PUS M. Elm

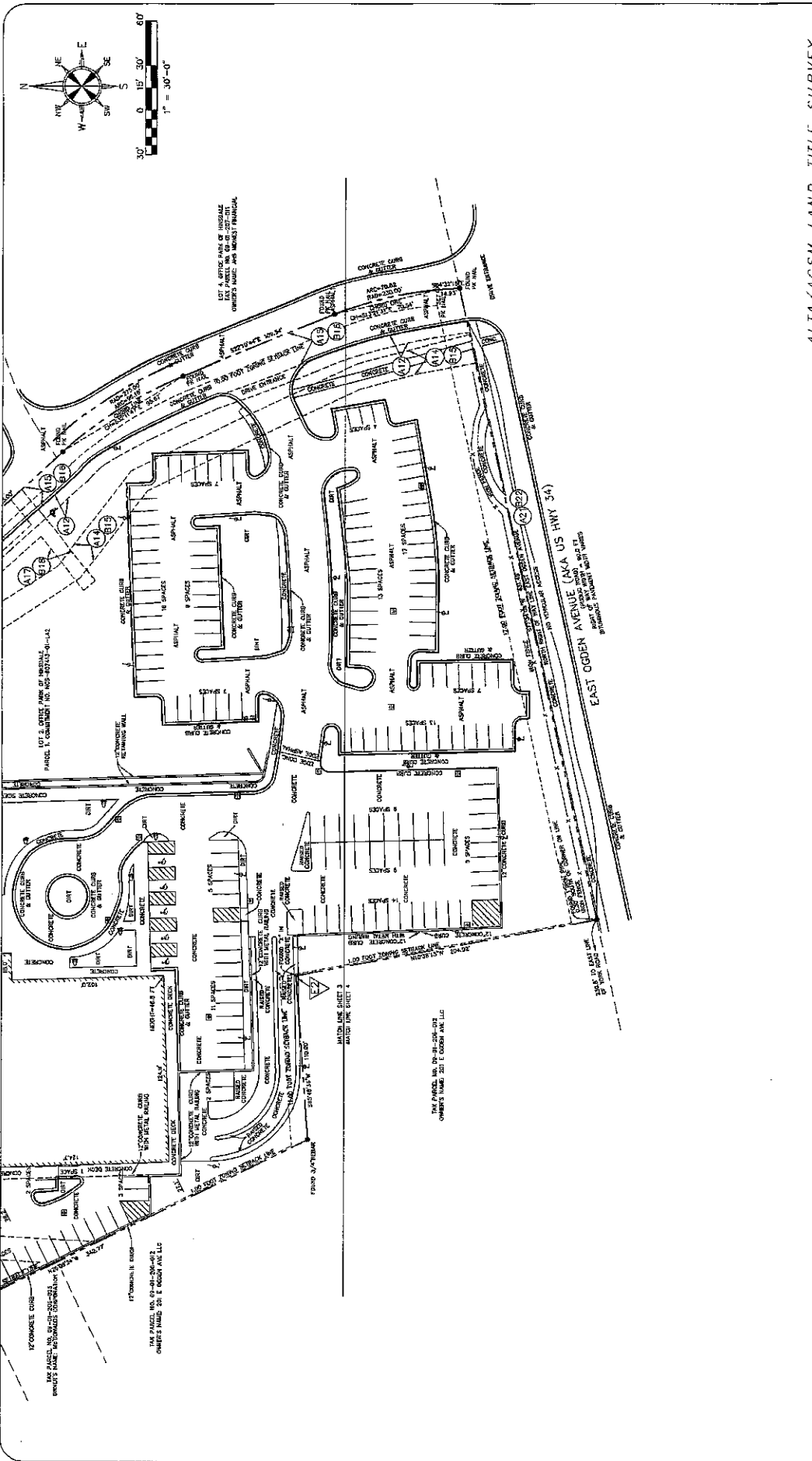


ALTA/ACSM LAND TITLE SURVEY

30505 BANNERBRIDGE ROAD
 SOLON, OHIO 44139
 T 1-440-809-8501
 kwalker@partneresl.com



Survey Prepared By:
 Sarko Engineering Inc.
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ALTA/ACSM LAND TITLE SURVEY

30505 BANBRIDGE ROAD
 SOLON, OHIO 44139
 T 330-809-8501
 kwalker@partneri.com

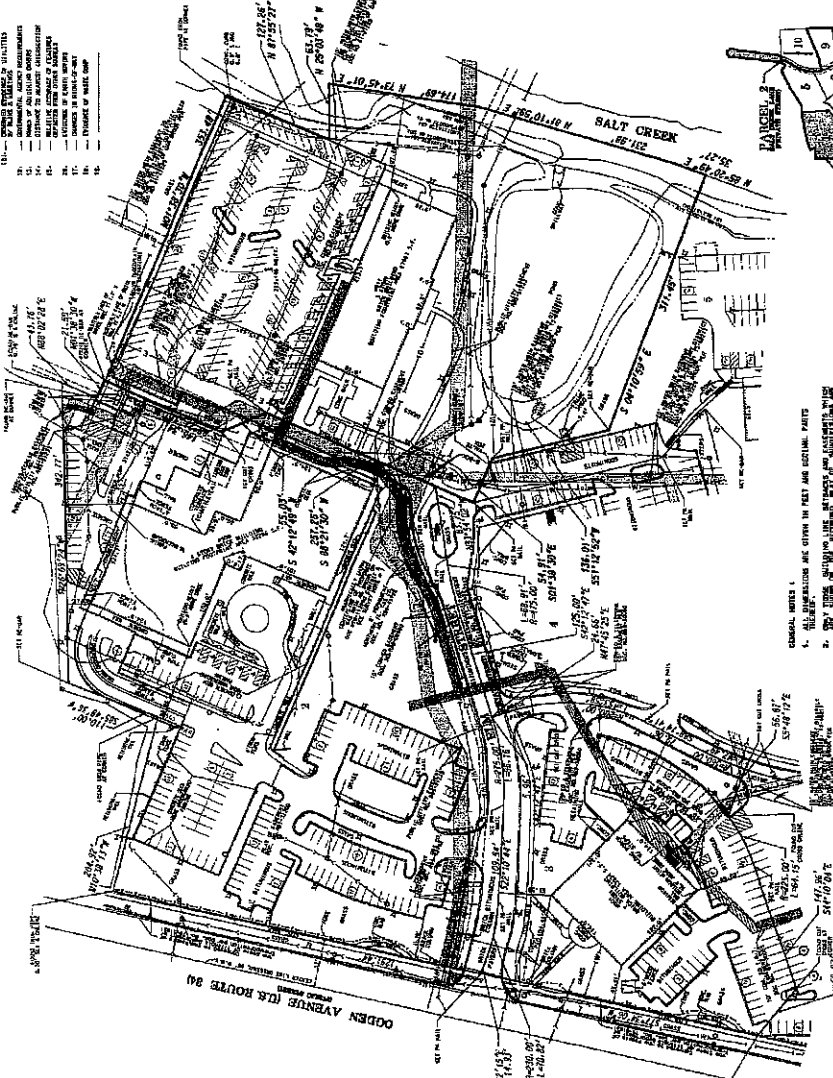


Survey Prepared By:
Sarko Engineering Inc.
 617 Highway 40
 Columbus, OH 43237
 Phone: 610-832-0337
 Fax: 610-832-6343
 Email: info@sarko.com

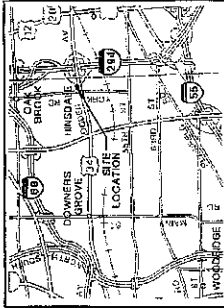
ALTA/ACSM LAND TITLE SURVEY

THIS SURVEY IS A PART OF A LARGER SURVEY OF THE VILLAGE OF HINSDALE, ILLINOIS, WHICH IS BEING CONDUCTED BY THE SURVEYOR. THE SURVEYOR HAS BEEN ADVISED THAT THE LANDS SHOWN ON THIS SURVEY ARE PART OF THE ESTATE OF THE LATE JOHN H. HINSDALE, DECEASED, AND THAT THE SURVEYOR IS NOT TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION FURNISHED TO HIM BY THE OWNER OF THE LANDS SURVEYED.

- KEY TO SYMBOLS**
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- GENERAL NOTES:**
1. ALL PARCELS ARE SHOWN IN FEET AND DECIMAL PARTS.
 2. THIS SURVEY IS A PART OF A LARGER SURVEY OF THE VILLAGE OF HINSDALE, ILLINOIS, WHICH IS BEING CONDUCTED BY THE SURVEYOR.
 3. THE SURVEYOR HAS BEEN ADVISED THAT THE LANDS SHOWN ON THIS SURVEY ARE PART OF THE ESTATE OF THE LATE JOHN H. HINSDALE, DECEASED, AND THAT THE SURVEYOR IS NOT TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION FURNISHED TO HIM BY THE OWNER OF THE LANDS SURVEYED.
 4. NO ENCROACHMENTS SHALL BE DEEMED FROM THIS SURVEY.
 5. CERTIFIED COPIES OF THIS SURVEY MAP ARE AVAILABLE UPON REQUEST.



- LEGEND**
- 1. UNIMPROVED LAND
 - 2. IMPROVED LAND
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STATE OF ILLINOIS

COUNTY OF COOK

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing petition, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

WITNESSED my hand and the seal of my office this 22 day of September, 2011.

NOTARY PUBLIC

ALTA/ACSM LAND TITLE SURVEY
LOT 1 - OFFICE PARK OF HINSDALE
HINSDALE, ILLINOIS

1 of 1

PROJECT NUMBER: 111-0849
 DATE: 09/22/11
 SCALE: AS SHOWN

CLIENT:
TRAMMELL CROW COMPANY
 2001 BASS AVENUE, SUITE 3400
 DALLAS, TEXAS 75201

OWNER:
MACIE CONSULTANTS LLC
 9874 W. HINSDALE RD., SUITE 800, HINSDALE, IL 60140
 CHICAGO, IL 60641
 PHONE: 708-488-4400
 FAX: 708-488-4400
 SURVEYOR: JOHN H. HINSDALE, LICENSE NO. 011-00001

PLANNERS:
 JOHN H. HINSDALE, LICENSE NO. 011-00001
 JAMES W. HINSDALE, LICENSE NO. 011-00002

DESCRIPTION OF PROJECT:
 THIS SURVEY IS A PART OF A LARGER SURVEY OF THE VILLAGE OF HINSDALE, ILLINOIS, WHICH IS BEING CONDUCTED BY THE SURVEYOR. THE SURVEYOR HAS BEEN ADVISED THAT THE LANDS SHOWN ON THIS SURVEY ARE PART OF THE ESTATE OF THE LATE JOHN H. HINSDALE, DECEASED, AND THAT THE SURVEYOR IS NOT TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION FURNISHED TO HIM BY THE OWNER OF THE LANDS SURVEYED.

VILLAGE OF HINSDALE

ORDINANCE NO. _____

AN ORDINANCE APPROVING A VARIATION FOR PROPERTY LOCATED AT 908 N. ELM STREET, HINSDALE, ILLINOIS – CASE NUMBER V-06-19

WHEREAS, the Village of Hinsdale has received an application (the "Application") from CBRE, property manager, on behalf of property owner GA HC REIT II Hinsdale MOB I (the "Applicant"), seeking a variation from the Hinsdale Zoning Code (the "Zoning Code") for property located at 908 N. Elm Street (the "Property"), located in the O-3 Office Zoning District; and

WHEREAS, the Property is legally described in **Exhibit A** attached hereto and made a part hereof; and

WHEREAS, the Application has been referred to the Zoning Board of Appeals of the Village, and has been processed in accordance with the Zoning Code, as amended; and

WHEREAS, the variation that is the subject of this Ordinance is for relief from the floor area ratio (FAR) requirements set forth in Section 6-111(E) of the Zoning Code in order to enclose an entrance into the building (the "Requested Variation"). The existing building is a pre-code structure and is already over the allowable FAR specified in the Zoning Code by 21,240 square feet (43.5% FAR vs. 35% allowed). The specific request is for 294 square feet of relief, an increase of 0.1%; and

WHEREAS, on January 15, 2020, the Zoning Board of Appeals of the Village of Hinsdale held a public hearing pursuant to notice given in accordance with State law and the Zoning Code, relative to the Requested Variation; and

WHEREAS, the Zoning Board of Appeals, after considering all of the testimony and evidence presented at the public hearing, recommended approval of the Requested Variation on a vote of six (6) in favor and zero (0) opposed, with one (1) member absent; and

WHEREAS, the Zoning Board of Appeals has filed its report of Findings and Recommendation regarding the Requested Variation in Case Number V-06-19 with the President and Board of Trustees, a copy of which is attached hereto as **Exhibit B** and made a part hereof; and

WHEREAS, the President and Board of Trustees of the Village of Hinsdale have reviewed and duly considered the Findings and Recommendation of the Zoning Board of Appeals, and all of the materials, facts, and circumstances related to the Application; and

WHEREAS, the President and Board of Trustees find that the Application satisfies the standards established in Section 11-503 of the Hinsdale Zoning Code governing variations.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Adoption of Findings and Recommendation. The President and Board of Trustees of the Village of Hinsdale approve and adopt the findings and recommendation of the Zoning Board of Appeals, a copy of which is attached hereto as **Exhibit B** and made a part hereof, and incorporate such findings and recommendation by reference as if fully set forth herein.

SECTION 3: Variation. The President and Board of Trustees, acting pursuant to the authority vested in them by the laws of the State of Illinois and Subsection 11-503(A) of the Hinsdale Zoning Code, grant the Requested Variation to Section 6-111(E) of the Zoning Code to allow for 294 square feet of relief from the floor area ratio (FAR) requirements in order to enclose an entrance into the building located at 908 N. Elm Street in the O-3 Office Zoning District.

SECTION 4: Severability and Repeal of Inconsistent Ordinances. If any section, paragraph, clause or provision of this Ordinance shall be held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this Ordinance, and all ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

SECTION 5: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED this ____ day of _____ 2020.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this ____ day of _____ 2020 and attested by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

LOT 2 IN OFFICE PARK OF HINSALE, BEING A SUBDIVISION OF PART SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DUPAGE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 908 N. Elm Street, Hinsdale, Illinois
PINS: 06-36-405-018 & 09-01-207-008

EXHIBIT B

FINDINGS OF FACT

(ATTACHED)

**FINDINGS OF FACT AND RECOMMENDATION OF THE
VILLAGE OF HINSDALE ZONING BOARD OF APPEALS TO
THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES**

ZONING CASE NO: V-06-19

PETITIONER: CBRE, property manager, on behalf of owner GA HC REIT II Hinsdale MOB I.

APPLICATION: For a Variation from the floor area ratio requirements set forth in Section 6-111(E) of the Zoning Code of the Village of Hinsdale ("Zoning Code") in order to enclose an entrance into the building at 908 N. Elm Street, Hinsdale, Illinois.

MEETING HELD: A Public Hearing was held on Wednesday, January 15, 2020, in Memorial Hall, in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois, pursuant to a notice published in The Hinsdalean on December 26, 2019.

PROPERTY: The subject property is commonly known as 908 N. Elm Street, Hinsdale, Illinois (the "Property") and is legally described in **Exhibit A** attached hereto and made a part hereof.

SUMMARY OF REQUEST: The Village of Hinsdale has received a request from Jim Doyle of CBRE, manager of the building on the Property, on behalf of property owner GA HC REIT II Hinsdale MOB I (the "Applicant") for a variation from the floor area ratio (FAR) requirements set forth in Section 6-111(E) of the Zoning Code in order to enclose an entrance into the building (the "Requested Variation"). The existing building is a pre-code structure and is already over the allowable FAR specified in the Zoning Code by 21,240 square feet (43.5% FAR vs. 35% allowed). The specific request is for 294 square feet of relief, an increase of .1%. The Property is located in the O-3 Office District in the Village. The Property is irregularly shaped, and includes 249,889 square feet of lot area.

The Board of Trustees, upon a recommendation from the Zoning Board of Appeals of the Village of Hinsdale ("ZBA"), has final authority over the Requested Variation.

The Requested Variation is described in more detail in the Application, a copy of which is attached hereto as **Exhibit B** and made a part hereof.

On January 15th, 2020, following the conclusion of the public hearing on this matter, the ZBA indicated its approval of the Requested Variation on a vote of six (6) in favor, zero (0) opposed, and one (1) absent, and directed the preparation of this Findings and Recommendation.

PUBLIC HEARING: At the public hearing on the Requested Variation, Owner's representative Jim Doyle and architect Ryan DeBari testified as the representative of the Applicant on the Variation.

Mr. DeBari testified that the main building entrance at the medical building on the Property has a single revolving door, and two (2) man doors. There is a covered entrance portico that has two (2) large arched openings. Many patrons need assistance with wheelchairs and walkers and canes, and can't get through the standard size revolving door. They instead use the automatic button on the man door, which then stays open for a period of time, allowing cold, heat and debris into the lobby.

The Applicant proposes to fill in and close the archways with an aluminum and glass storefront system in order to create a temperature-controlled vestibule that will create energy efficiency.

The building currently exceeds the FAR as it was constructed long before current zoning regulations. Enclosing the vestibule area will cause an increase to FAR of .1 percent.

Mr. DeBari addressed the standards for receiving a variation and how, in the opinion of the Applicant, the standards had been met. He noted that the building is unique in that, unlike other building in the area, it can be approached only on the south side where the vestibule is proposed. It has a circular drop-off area and a larger, dedicated main entrance than a lot of the other area buildings that have multiple points of entry. The conditions have existed since the original construction of the building. Other buildings in the area have similarly enclosed areas that were previously exterior areas around an entrance. The variation will allow the building to function more effectively and will be a benefit to the public. The variation will increase energy efficiency. The variation and its architecture will make the building consistent with other buildings in the area.

No comments were received from neighbors.

There being no further questions or members of the public wishing to speak on the application, the portion of the Public Hearing related to the Requested Variation was closed.

Members then discussed the Requested Variation and agreed that the standards for variations set forth in 11-503(F) of the Hinsdale Zoning Code had been met. A motion to approve the Requested Variation was made by Member Murphy and seconded by Member Moberly.

AYES: Members Moberly, Murphy, Podliska, Alesia, Engel,
Chairman Neiman

NAYS: None

ABSTAIN: None

ABSENT: Member Giltner

FINDINGS: The following are the Findings of the ZBA relative to the Requested Variation:

1. *General Standard: Carrying out the strict letter of the provisions of the Zoning Code would create a particular hardship or a practical difficulty, based on satisfaction of the standards below:*

2. *Unique Physical Condition: The Subject Property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot. The Property hosts a medical building that brings persons with wheelchairs, walkers, canes and the like to the Property. The long existing entrance set-up of a single standard sized revolving door, and man doors that stay open to the elements when automatically opened, results in cold, heat and debris entering the lobby of the building. The configuration of the Property and building results in there being only one main ADA accessible entrance to the building, unlike other nearby properties where buildings typically have multiple entrances.*

3. *Not Self-Created: The unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of the Zoning Code, for which no compensation was paid. The need for the Requested Variation is not self-created, and is in part driven by the long-existing building on the Property, and the original design and configuration of the entrance to that building. The ZBA finds this standard to have been met.*

4. *Denied Substantial Rights: The carrying out of the strict letter of the provisions from which a variation is sought would deprive the owner of the subject property of substantial rights commonly enjoyed by owners of other lots subject to the same provision. Other nearby buildings have created similar enclosed entrances. The ZBA finds this standard to have been met.*

5. *Not Merely Special Privilege: The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided,*

however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation. The Variation is not sought to make more money from use of the Property, but is instead sought in order to benefit the public patrons of the building and to increase energy efficiency. Other nearby buildings have created similar enclosed entrances. The ZBA finds this standard to have been met.

6. *Code And Plan Purposes:* The variation would not result in a use or development of the subject property that would not be in harmony with the general and specific purposes for which the Zoning Code and the provision from which a variation is sought were enacted or the general purpose and intent of the official comprehensive plan. The Variation is consistent with the existing use. The ZBA found this standard to have been met.

7. *Essential Character Of The Area:* The variation would not result in a use or development on the subject property that:

(a) would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or (b) would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or (c) would substantially increase congestion in the public streets due to traffic or parking; or (d) would unduly increase the danger of flood or fire; or (e) would unduly tax public utilities and facilities in the area; or (f) would endanger the public health or safety.

The building on the Property is long-existing. The granting of the Requested Variation will allow an improvement to occur at the Property that will benefit the public patrons, increase energy efficiency, and is consistent with improvements made to other buildings in the area. Utilities are already in place and there will be no traffic impact or other detrimental effects. The Requested Variation will not endanger the public health or safety.

8. *No Other Remedy:* There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property. The ZBA finds this standard to have been met.

RECOMMENDATION:

Based on the Findings set forth above, the ZBA, by a vote of six (6) in favor, zero (0) opposed and one (1) absent, recommends to the President and Board of Trustees that the following Requested Variation, as described in the Application, a copy of which is attached hereto as Exhibit B and made a part hereof, relative to the enclosure of an entrance area into the building on the Property located in the O-3 Office District at 908 N. Elm Street, be GRANTED:

- **Variation from the FAR requirements set forth in Section 6-111(E) of the Zoning Code, to allow enclosure of an entrance into the building, resulting in .1% increase in the FAR (an additional 294 square feet).**

Signed: _____
Robert Neiman, Chair
Zoning Board of Appeals
Village of Hinsdale

Date: _____

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

LOT 2 IN OFFICE PARK OF HINSALE, BEING A SUBDIVISION OF PART SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DUPAGE COUNTY, ILLINOIS

COMMONLY KNOWN AS: 908 N. Elm Street, Hinsdale, Illinois
PINS: 06-36-405-018 & 09-01-207-008

EXHIBIT B

**APPLICATION FOR VARIATION
(ATTACHED)**

V-06-19

Village of Hinsdale
Application for Variation

Section I

1. Owner – Name, address and telephone of Owner: **GA HC REIT II Hinsdale MOB I; Asset Manager: Mr. Charles Montemor, Colony Capital; (617) 235-6375**
2. Trustee Disclosure - In the case of a land trust, the name, address and telephone number of all trustees and beneficiaries of the trust: **N/A**
3. Applicant – Name, address and telephone number of applicant, if different from the owner, and applicant's interest in the subject property: **Mr. Jim Doyle, CBRE, 700 Commerce Drive, Suite 450, Oak Brook, Illinois 60523; (708) 269-9294. Mr. Doyle is with the Property Management team managing/operating the building.**
4. Subject Property – Address and legal description of the subject property: **908 N. Elm Street, Hinsdale, Illinois 60521 (See Attachment 'A' for legal description)**
5. Village Personnel – Name and address of any officer or employee of the Village with an interest in the Owner, the Applicant or the Subject Property, and the nature and extent of that interest: **N/A**
6. Neighboring Owners – Submit with this application a list showing the name and address of each owner of (1) property within 250 lineal feet in all directions from the subject property; and (2) property located on the same frontage or frontages as the front lot line or corner side lot line of the subject property or on a frontage directly opposite any such frontage or on a frontage immediately adjoining or across an alley from any such frontage: **Not required at this time**
7. Survey – Submit with this application a recent survey, certified by a registered land surveyor, showing existing lot lines and dimensions, as well as all easements, all public and private rights-of-way, and all streets across and adjacent to the Subject Property: **Please See Attachment 'B'**
8. Existing Zoning – Submit with this application a description or graphic representation of the existing zoning classification, use, and development of the Subject Property. The Subject Property is located in the O-3, General Office District. **Attached to this Application as Attachment 'C' is a portion of the Official Zoning Map of the Village in which the Subject Property is highlighted and depicts the use and development of adjacent areas at least 250 feet in all directions from the Subject Property. To the East is the same O-3 District, to the South across Ogden Ave. is the B-3 (General Business District). To the West is the**

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same O-3 District and B-3 (General Business District). To the North is the same O-3 District and B-1 (Community Business District).

9. Conformity – Submit with this application a statement concerning the conformity or lack of conformity of the approval being requested to the Village Official Comprehensive Plan and the Official Map. Where the approval being requested does not conform to the Official Comprehensive Plan or the Official Map, the statement should set forth the reasons justifying the approval despite such lack of conformity: **The approval of the Zoning Board of Appeals being sought by Applicant conforms to the Village Official Comprehensive Plan and the Official Map. As stated in Section I, Paragraph 8 of this Application, the Subject Property is located in the O-3 District and its uses and development conform to those permitted in that District.**

10. Zoning Standards – Submit with this application a statement specifically addressing the manner in which it is proposed to satisfy each standard that the Zoning Ordinance establishes as a condition of, or in connection with, the approval being sought. **Please see Attachment 'D'.**

11. Successive Application – In the case of any application being filed less than two years after the denial of an application seeking essentially the same relief, submit with this application a statement as required by Sections 11-501 and 11-601 of the Hinsdale Zoning Code. **N/A**

Section II

When applying for a variation from the provisions of the Zoning Ordinance, you must provide the data and information required above, and in addition, the following:

1. Title: Evidence of title or other interest you have in the Subject Property, date of acquisition of such interest, and the specific nature of such interest. **Not available.**
2. Ordinance Provision: The specific provisions of the Zoning Ordinance from which a variation is sought: **Sec. 6-111: Bulk, Space and Yard Requirements Table, Part E: Maximum Floor Area Ratio.**
3. Variation Sought: The precise variation being sought, the purpose thereof, and the specific feature or features of the proposed use, construction, or development that require a variation: **The Subject Property currently exceeds the maximum FAR as it was built prior to the current Zoning requirements. The proposed enclosure of the existing covered portico, which is 294 sq.ft., to create a temperature controlled entrance vestibule, would add to the total FAR. Therefore, a variation is being sought to minimally increase the existing FAR by 0.1%**
4. Minimum Variation: A statement of the minimum variation of the provisions of the Zoning Ordinance that would be necessary to permit the proposed use, construction, or development. **The variation sought by the Applicant, to enclose the existing covered building entrance/portico to create a temperature controlled vestibule, would only increase the Floor Area Ratio by 0.1%. This minimal increase will significantly improve the energy efficiency of the building as well as provide an easier and more comfortable means of entering and exiting the building for the many disabled visitors that come to the building on a daily basis.**
5. Standards for Variation: A statement of the characteristics of Subject Property that prevent compliance with the provisions of the Zoning Ordinance and the specific facts you believe support the grant of the required variation. In addition to your general explanation, you must specifically address the following requirements for the grant of a variation: **Please see Attachment 'D' for Applicant's general explanation for Applicant's statement regarding compliance with all specific standards for the grant of variation sought.**
 - a. Unique Physical Condition. The Subject Property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure of sign, whether conforming or nonconforming, irregular or substandard shape or size; exceptional topographical features; or other extraordinary

physical conditions peculiar to and inherent in the Subject Property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current lot owner.

- b. Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the Subject Property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.
- c. Denied Substantial Rights. The carrying out of the strict letter of the provision from which a variation is sought would deprive the owner of the Subject Property of substantial rights commonly enjoyed by Owners of other lots subject to the same provision.
- d. Not Merely Special Privilege. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.
- e. Code and Plan Purposes. The variation would not result in a use or development of the Subject Property that would not be in harmony with the general and specific purposes for which this Code and the provision from which a variation sought were enacted or the general purpose and intent of the Official Comprehensive Plan.
- f. Essential Character of the Area. The variation would not result in a use or development of the Subject Property that:
 - i. Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use development, or value of property of improvements permitted in the vicinity; or
 - ii. Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or
 - iii. Would substantially increase congestion in the public streets due to traffic or parking; or

- iv. Would unduly increase the danger of flood or fire; or
 - v. Would unduly tax public utilities and facilities in the area; or
 - vi. Would endanger the public health or safety.
- g. No Other Remedy. There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the Subject Property.

Section III

In addition to the data and information required pursuant to any application as herein set forth, every Applicant shall submit such other and additional data, information, or documentation as the Village Manager or any Board of Commission before which its application is pending may deem necessary or appropriate to a full and proper consideration and disposition of the particular application.

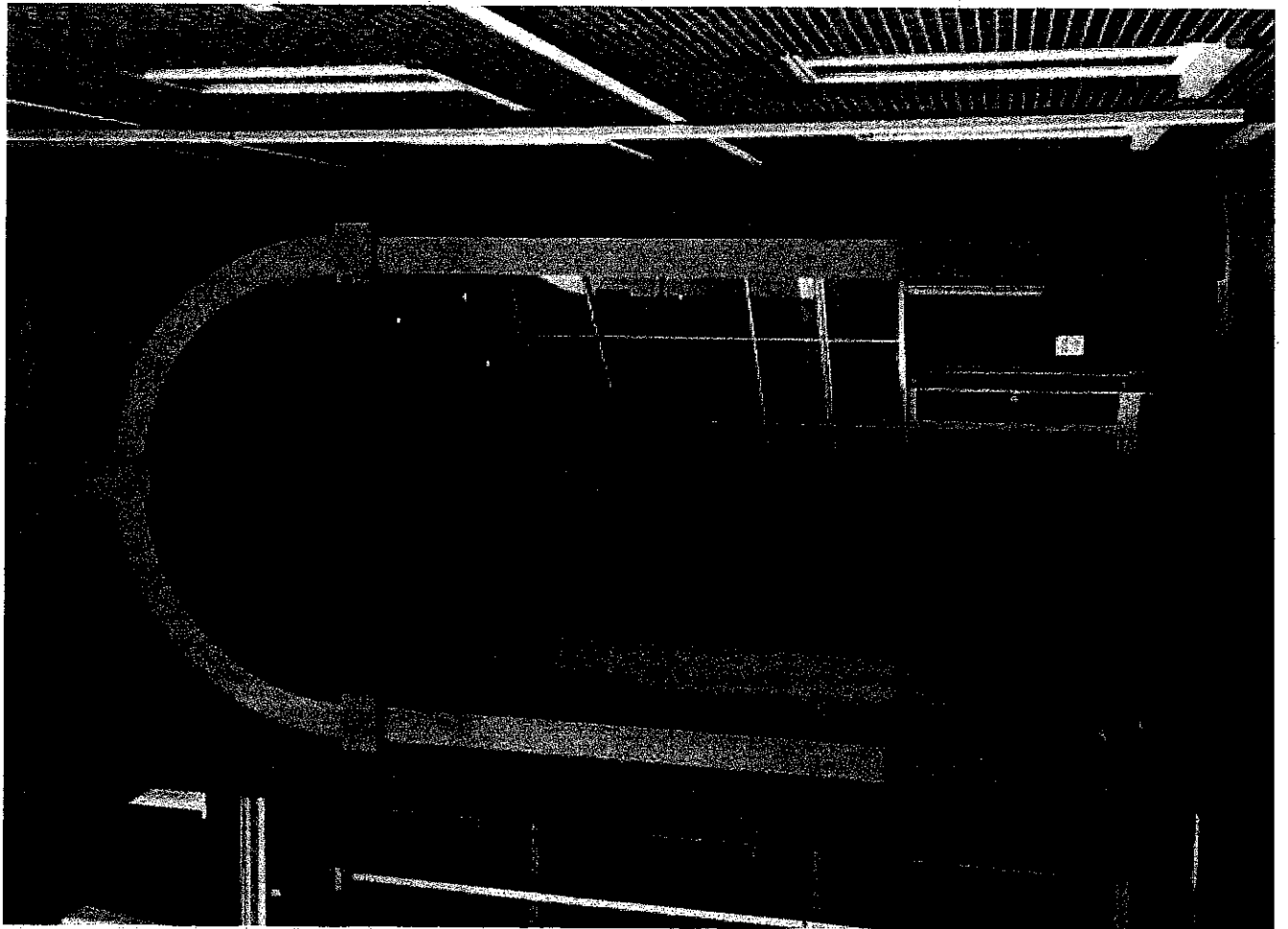
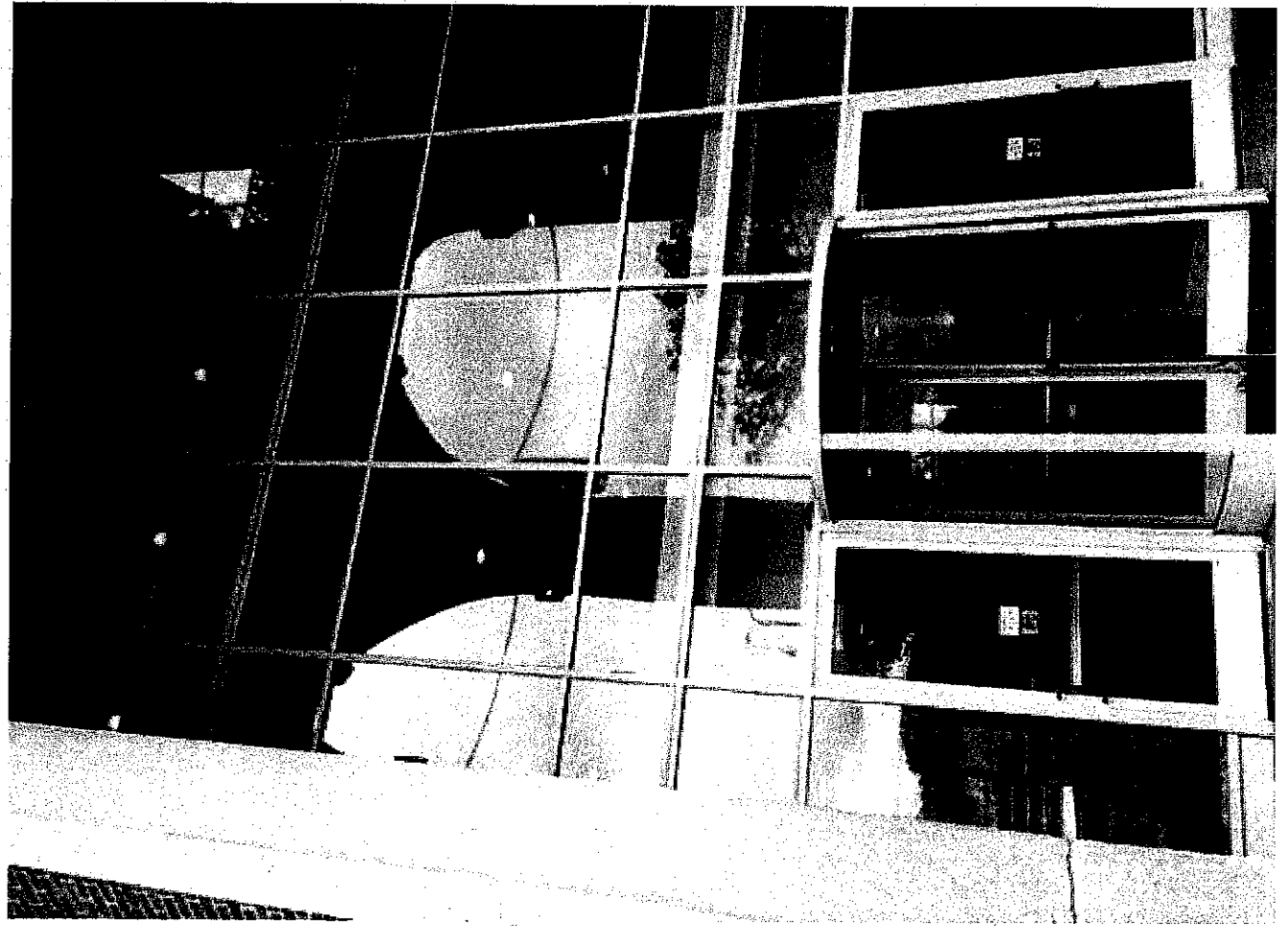
1. A copy of the preliminary Architectural and/or surveyor plans showing the floor plans, exterior elevations, and site plan needs to be submitted with each copy of the zoning petitions for the improvements. **Please see Attachment 'F', consisting of Floor Plans, Exterior Elevations and Details, as prepared by The Interior Design Group Ltd. Please also refer to Attachment 'F' for two (2) photos of the existing open portico and building entrance.**
2. The Architect or land surveyor needs to provide zoning information concerning the existing zoning; for example, building coverage, distance to property lines, and floor area ratio calculations and data on the plans or supplemental documents for the proposed improvements. **Please see Attachment 'G' for the Zoning Table of Compliance. As previously note in this Application, the existing FAR of 43.5% exceeds the current minimum code standards and the variation sought only increases the FAR by 0.1% to 43.6%.**

Attachment A

Application for Variation at 908 N. Elm

LOT 2 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART SECTION 36,
TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF
SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN,
ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT
R2002-243817, IN DUPAGE COUNTY, ILLINOIS.

Attachment F
Application for Variation at 908 N. Elm



Attachment G
 Application for Variation at 908 N. Elm
TABLE OF COMPLIANCE

Address of subject property: 908 Elm Street, Hinsdale, Illinois 60521

The following table is based on the O-3 Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	20,000	249,880 sq.ft. / No Change
Minimum Lot Depth	125'	+/-568' / No Change
Minimum Lot Width	80'	+/- 541' / No Change
Building Height	60' Max.	+/-48' / No Change
Number of Stories	5 Max.	4 / No Change
Front Yard Setback	25'	17' / No Change
Corner Side Yard Setback	25'	10' / No Change
Interior Side Yard Setback	10'	1'-0" / No Change
Rear Yard Setback	20'	0'-0" / No Change
Maximum Floor Area Ratio (F.A.R.)*	35%	43.6% / 43.5%
Maximum Total Building Coverage*	N/A	N/A
Maximum Total Lot Coverage*	50%	>50% / No Change
Parking Requirements	391 (8 Handicapped)	415 (11 Handicapped) / No Change
Parking front yard setback	25'	17' / No Change
Parking corner side yard setback	25'	25' / No Change
Parking interior side yard setback	10'	0' / No Change
Parking rear yard setback	20'	0' / No Change
Loading Requirements	2	2 / No Change
Accessory Structure Information	N/A	N/A (No Change)

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

STATE OF ILLINOIS)
) SS:
COUNTY OF DU PAGE)

VILLAGE OF HINSDALE
ZONING BOARD OF APPEALS

In Re the Matter of:)
)
908 North Elm Street)
Case No. V-06-19)

REPORT OF PROCEEDINGS had and testimony
taken at the Public Hearing of the above-
entitled matter before the Hinsdale Zoning Board
of Appeals, at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 15th day of January, 2020, at
the hour of 6:35 p.m.

BOARD MEMBERS PRESENT:

- MR. ROBERT NEIMAN, Chairman;
- MR. JOSEPH ALESIA, Member;
- MS. KATHRYN ENGEL, Member;
- MR. GARY MOBERLY, Member;
- MR. THOMAS MURPHY, Member;
- MR. JOHN PODLISKA, Member.

2

1 ALSO PRESENT:
 2 MR. ROBERT MC GINNIS, Director of Community
 Development/Building;
 3
 4 MS. CHRISTINE BRUTON, Deputy Clerk and
 Board's secretary;
 5
 6 MR. RYAN DE BARI, VP and Senior
 Architectural Associate, The Interior
 Design Group Ltd.;
 7
 8 MR. JIM DOYLE, Project Manager, CBRE,
 Inc.

9 (Mr. Jim Doyle, Mr. Ryan
 10 DeBari, Mr. Nicholas Graal,
 11 and Mr. John Ochoa were
 12 sworn.)
 13 CHAIRMAN NEIMAN: So the first public
 14 hearing on our docket this evening is
 15 Case V-06-19, 908 North Elm Street. Whoever is
 16 the applicant, come on up and begin your
 17 presentation.
 18 MR. DOYLE: Good to see everyone from
 19 last month. My name is Jim Doyle. I'm with
 20 CBRE, the owner's representative at 908 Elm.
 21 And with me is Ryan DeBari with IDG, architects.
 22 We are here to discuss the entrance renovation

3

1 at 908.
 2 MR. DE BARI: Do you want me to start
 3 with the general overview?
 4 CHAIRMAN NEIMAN: Yes. Just give us, I
 5 think we all remember this one from the last
 6 meeting. But maybe just give us a couple-minute
 7 overview of what the variance request involves.
 8 MR. DE BARI: Sure. Okay.
 9 CHAIRMAN NEIMAN: Then take us through
 10 the standards for the variation and explain why
 11 you think you meet the criteria.
 12 MR. DE BARI: Okay, thanks. So if you
 13 recall at 908 Elm, the main building entrance
 14 has just a single revolving door right now and
 15 two man doors, which is typical. There is kind
 16 of a covered entrance portico that has two large
 17 arched openings.
 18 So currently with that revolving
 19 door -- Well, I should say the main businesses
 20 in the building are, it's a medical office
 21 building. So a lot of the patrons visiting that
 22 need assistance with wheelchairs and walkers and

4

1 canes, and they can't get through a revolving
 2 door because it's a standard size. What they do
 3 is they hit that automatic button on the man
 4 door and open that door and that door stays open
 5 for quite a while. And because of that, all the
 6 cold or heat, or vice versa, it comes in, all
 7 the debris from outside gets in the lobby, makes
 8 everybody uncomfortable.
 9 So what the building is proposing
 10 to do is filling in and closing those two
 11 archways with an aluminum and glass storefront
 12 system that's similar to what they have on the
 13 other side of the building already with their
 14 glass atrium. That way we will create a
 15 temperature-controlled vestibule that will, you
 16 know, like the whole reason vestibules are
 17 required now is to make the building more energy
 18 efficient.
 19 The vestibule is proposed to have
 20 biparting doors like you would see in a lot of
 21 current medical buildings or hospitals. So when
 22 you approach the doors, they will open

5

1 automatically and create greater ease for the
 2 occupants coming in and out. So it both makes
 3 the building more energy efficient and helps the
 4 welfare of the occupants.
 5 So as far as variation goes, the
 6 current building exceeds the floor-area ratio as
 7 it was built far prior to the current zoning
 8 regulations. So by enclosing this, I think it's
 9 about just under 300 square feet, because it's
 10 an open portico per the code, enclosing that
 11 portico adds to your FAR. Since we are already
 12 over the floor-area ratio, we are increasing it,
 13 that's why the applicant is proposing to get a
 14 variation to increase that FAR. I think it
 15 turns out to be, I think it's a .1 percent
 16 increase. So that's the general overview. Any
 17 questions on that?
 18 Okay. So as far as the standards
 19 go, for the unique physical condition, this
 20 building is a little unique within the office
 21 park itself. Most of the buildings in the area
 22 can be approached pretty much from any side.

1 It's all on-grade. On this building in
2 particular, there is parking underneath the
3 building. So on three sides of the building
4 actually the 1st floor is above grade. So
5 those, so really the only main entrance to the
6 building accessibility-wise is on the south
7 side, which is where we are proposing this
8 entrance.

9 It's also unique in the fact that
10 it's got a very large, actually it's just
11 recently improved, circular drop-off area. They
12 have valet parking. All the ADA parking or a
13 lot more of ADA parking is at that entrance. So
14 it's a little unique within that general office
15 complex that they have such a large and really
16 dedicated main entrance where a lot of the other
17 buildings have many points of entry.

18 The existing physical conditions of
19 the building are existing. They have been
20 existing since the building was built. So,
21 therefore, the applicant now, the existing
22 conditions were not self-created by the

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1 available to any other property owners. And
2 then this really is not something that the
3 applicant is doing to seek any profit from.
4 It's really for the welfare of the occupants of
5 the building.

6 Let's see, as far as code and plan
7 purposes, the addition of the temperature-
8 controlled building entrance, like I said, would
9 result in the property becoming more energy
10 efficient and better serving the well-being of
11 the public so we feel that it's inline with the
12 code and plan purposes of the Village.

13 The essential character of the
14 area. As I mentioned before, the proposed
15 infill of those archways would be consistent
16 with the architecture and appearance of a lot of
17 the buildings within the office park. As I
18 said, the back side or the north side of the
19 building actually has a glass surround. They
20 have an elevator atrium. And so our proposed
21 infill will match that. So the character of the
22 infill will match the architecture of the

06:42:03PM

06:45:03PM

1 applicant. Like I said, they have been there
2 since the building was created.

3 As far as the substantial rights, a
4 lot of the other neighboring buildings within
5 the office park, although they did not have to
6 seek a variance to do it, because I think they
7 were within the FAR, a lot of the other
8 buildings in the office park had similar
9 conditions where they had exterior colonnades
10 that were open; and they've enclosed those to
11 create more usable space for the building and
12 to, I think, maybe create a nicer entrance. So
13 denial of the relief that the applicant is
14 seeking would prevent the applicant from getting
15 the full benefits that other buildings in the
16 area have been afforded that are similar.

17 Special privilege, again the
18 applicant is not seeking any special privilege
19 as a result of the variation being sought. It
20 is simply to create a nicer functioning entrance
21 for the building and the welfare of the public.
22 They are not seeking any rights that are not

1 surrounding buildings. And as far as there
2 really is no other remedy for this situation
3 other than what we are seeking. Like I said,
4 this is the main accessible entrance to the
5 building. It's not like we can direct people to
6 another entrance that it serves them better. So
7 this really is the best way to fill the need
8 that the building is looking for.

9 MR. MOBERLY: Is there a rendering of
10 what it will look like? I'm looking at various
11 pictures and diagrams in here but --

12 MR. DE BARI: It's probably the one
13 thing we don't have yet. There is that set of
14 construction drawings. You can see we have been
15 considering this for quite a while. Back in
16 2017 we did that set of construction drawings,
17 went into the Village, we got plan review
18 comments and responded. So there is on the one
19 page, there are elevations here.

20 MR. MOBERLY: Okay.

21 MR. DE BARI: Showing how we are going
22 to infill that. This is what we are talking

06:43:03PM

06:46:03PM

1 about. This is what the north side of the
2 building looks like in the corner. That's
3 basically what we are proposing to do would
4 match this exactly. This would be the brick and
5 stone archways of the entrance, and then we will
6 infill it with a storefront basically that will
7 match the inner piece, that way both sides of
8 the building will look consistent. The two
9 archways, one archway will just be all
10 storefront, you know, fixed. And then the other
11 archway will have the biparting doors.

08:44:38PM

12 MR. MOBERLY: Does this have to go to
13 the Plan Commission at some point?

14 MR. MC GINNIS: Yes, it will.

15 CHAIRMAN NEIMAN: We are just making
16 the recommendations.

17 MR. MOBERLY: Because I'm sure they
18 will opine on how it looks and everything.

19 MR. DE BARI: On the appearance?

08:45:02PM

20 MR. MURPHY: There is a reference in
21 Section 6 of the application regarding
22 neighboring owners. It says that list and the

1 notice is not required at this time. Is that
2 right, Robb? I just wondered why that was.

3 MR. DE BARI: It was at the time of our
4 prehearing. This was done before the
5 prehearing.

6 MR. MURPHY: Okay.

7 MR. DE BARI: So that was, that was a
8 fact at the prehearing. But since then, we did
9 provide notice; and I provided Robb with all the
10 receipts and the notice.

08:45:33PM

11 MS. BRUTON: I have got it.

12 MR. MURPHY: So this has been done.
13 This just wasn't updated?

14 MR. DE BARI: Correct.

15 MR. MURPHY: Got it.

16 CHAIRMAN NEIMAN: Just out of
17 curiosity, have any neighbors voiced any
18 opposition or made any comments?

19 MR. DE BARI: No. No comments.

08:45:48PM

20 MR. MC GINNIS: We've received nothing.

21 CHAIRMAN NEIMAN: Any Board members
22 have any questions of the applicant?

1 Okay. Thank you, gentlemen.

2 MR. DE BARI: All right. Thank you.

3 CHAIRMAN NEIMAN: Is there anyone else
4 in the audience who wants to address us on this
5 variance application?

6 Okay. Do I hear a motion to close
7 the public hearing on Case V-06-2019, 908 North
8 Elm?

9 MR. PODLISKA: So moved.

08:45:16PM

10 MR. MOBERLY: Second.

11 CHAIRMAN NEIMAN: Roll call, please.

12 MS. BRUTON: Member Moberly?

13 MR. MOBERLY: Yes.

14 MS. BRUTON: Member Alesia?

15 MR. ALESIA: Yes.

16 MS. BRUTON: Member Murphy?

17 MR. MURPHY: Yes.

18 MS. BRUTON: Member Engel?

19 MS. ENGEL: Yes.

20 MS. BRUTON: Member Podliska?

21 MR. PODLISKA: Yes.

22 MS. BRUTON: Chairman Neiman?

1 CHAIRMAN NEIMAN: Yes.

2 * * *

3 (Which were all the proceedings had
4 in the above-entitled cause.)

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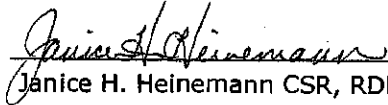
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STATE OF ILLINOIS)
) ss.
COUNTY OF DU PAGE)

I, JANICE H. HEINEMANN, CSR, RDR, CRR,
do hereby certify that I am a court reporter
doing business in the State of Illinois, that I
reported in shorthand the testimony given at the
hearing of said cause, and that the foregoing is
a true and correct transcript of my shorthand
notes so taken as aforesaid.



Janice H. Heinemann CSR, RDR, CRR
License No. 084-001391

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STATE OF ILLINOIS)
) SS:
 COUNTY OF DU PAGE)

VILLAGE OF HINSDALE
 ZONING BOARD OF APPEALS

In Re the Matter of:)
)
 908 North Elm Street)
 Case No. V-06-19)

REPORT OF PROCEEDINGS had and testimony taken at the Deliberations of the Public Hearing of the above-entitled matter before the Hinsdale Zoning Board of Appeals, at 19 East Chicago Avenue, Hinsdale, Illinois, on the 15th day of January, 2020, at the hour of 6:46 p.m.

BOARD MEMBERS PRESENT:

- MR. ROBERT NEIMAN, Chairman;
- MR. JOSEPH ALESIA, Member;
- MS. KATHRYN ENGEL, Member;
- MR. GARY MOBERLY, Member;
- MR. THOMAS MURPHY, Member;
- MR. JOHN PODLISKA, Member.

1 ALSO PRESENT:
 2 MR. ROBERT MC GINNIS, Director of Community
 Development/Building;
 3
 4 MS. CHRISTINE BRUTON, Deputy Clerk and
 Board's secretary;
 5
 6 MR. RYAN DE BARI, VP and Senior
 Architectural Associate, The Interior
 Design Group Ltd.;
 7
 8 MR. JIM DOYLE, Project Manager, CBRE,
 Inc.

9 CHAIRMAN NEIMAN: Who wants to begin
 10 the deliberations?

11 MR. MURPHY: Before my mother-in-law
 12 passed away, I had to take her to this place
 13 numerous times. This is a good idea. It's a
 14 mess. And it's hard to get ahold of -- It's
 15 hard to get the valet parkers up there. You are
 16 out in the open when you pull up. It's a long
 17 distance. The doors, one door is open a lot and
 18 blowing through it. She had a walker, trying to
 19 go through the circular door. I mean this, I
 20 was glad to see this.

21 MS. ENGEL: I would agree. And in the
 22 wind, it just seems like it, it just --

1 (Indicating.)

2 MR. MURPHY: I don't know why it was
 3 done this way to begin with.

4 MS. ENGEL: It intensifies everything
 5 when there is wind in terms of the difficulties
 6 of getting in and out of that space especially
 7 if you can't valet park. So I think for the
 8 safety and welfare of any patient that has to go
 9 there, I think it's a wonderful idea.

10 MR. PODLISKA: I agree.

11 MR. ALESIA: Agree.

12 MR. MOBERLY: Concur.

13 CHAIRMAN NEIMAN: Yes. I had the same
 14 reaction as the other Board members. This
 15 seemed like the easiest meeting of our variance
 16 standards that I have seen in a long time.

17 MR. MURPHY: I move to approve the
 18 variance.

19 MR. ALESIA: Recommend.

20 CHAIRMAN NEIMAN: Right, yes.

21 MR. MURPHY: Recommend.

22 MR. MOBERLY: Second.

1 CHAIRMAN NEIMAN: Roll call.

2 MS. BRUTON: Member Moberly?

3 MR. MOBERLY: Yes.

4 MS. BRUTON: Member Alesia?

5 MR. ALESIA: Yes.

6 MS. BRUTON: Member Murphy?

7 MR. MURPHY: Yes.

8 MS. BRUTON: Member Engel?

9 MS. ENGEL: Yes.

10 MS. BRUTON: Member Podliska?

11 MR. PODLISKA: Yes.

12 MS. BRUTON: Chairman Neiman?

13 CHAIRMAN NEIMAN: Yes. Chris, our

14 recommended decision will incorporate the

15 applicant's presentation as well?

16 MS. BRUTON: Yes.

17 CHAIRMAN NEIMAN: Okay. Thank you.

18 * * *

19 (Which were all the proceedings had
 20 in the above-entitled cause.)

21

22

STATE OF ILLINOIS)

) ss.

COUNTY OF DU PAGE)

I, JANICE H. HEINEMANN, CSR, RDR, CRR,
 do hereby certify that I am a court reporter
 doing business in the State of Illinois, that I
 reported in shorthand the testimony given at the
 hearing of said cause, and that the foregoing is
 a true and correct transcript of my shorthand
 notes so taken as aforesaid.

Janice H. Heinemann

Janice H. Heinemann CSR, RDR, CRR

License No. 084-001391

0	4:10, 4:12, 4:16 business [1] - 5:5	4:20 especially [1] - 3:6	L	1:3, 1:7, 5:1, 5:2 one [1] - 2:17 open [2] - 2:16, 2:17
084-001391 [1] - 5:12	C	F	law [1] - 2:11 License [1] - 5:12 Ltd [1] - 2:6	P
1	case [1] - 1:6 CBRE [1] - 2:7 certify [1] - 5:4 Chairman [2] - 1:15, 4:12 CHAIRMAN [8] - 2:9, 3:13, 3:20, 4:1, 4:13, 4:17 Chicago [1] - 1:10 Chris [1] - 4:13 CHRISTINE [1] - 2:3 circular [1] - 2:19 Clerk [1] - 2:3 Community [1] - 2:2 concur [1] - 3:12 correct [1] - 5:8 COUNTY [2] - 1:2, 5:2 court [1] - 5:4 CRR [2] - 5:3, 5:12 CSR [2] - 5:3, 5:12	foregoing [1] - 5:7	M	p.m [1] - 1:12 PAGE [2] - 1:2, 5:2 park [1] - 3:7 parkers [1] - 2:15 passed [1] - 2:12 patient [1] - 3:8 place [1] - 2:12 Podliska [1] - 4:10 PODLISKA [3] - 1:20, 3:10, 4:11 PRESENT [2] - 1:14, 2:1 presentation [1] - 4:15 PROCEEDINGS [1] - 1:7 proceedings [1] - 4:19 Project [1] - 2:7 Public [1] - 1:8 pull [1] - 2:16
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BARI [1] - 2:5 begin [2] - 2:9, 3:3 blowing [1] - 2:18 BOARD [2] - 1:3, 1:14 Board [2] - 1:10, 3:14 Board's [1] - 2:4 BRUTON [8] - 2:3, 4:2, 4:4, 4:6, 4:8,				

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MEMORANDUM

DATE: April 7, 2020

TO: President Cauley and the Village Board of Trustees

FROM: Heather Bereckis, Superintendent of Parks & Recreation

RE: March Staff Report

The following is a summary of activities completed by the Parks & Recreation Department during the month of March.

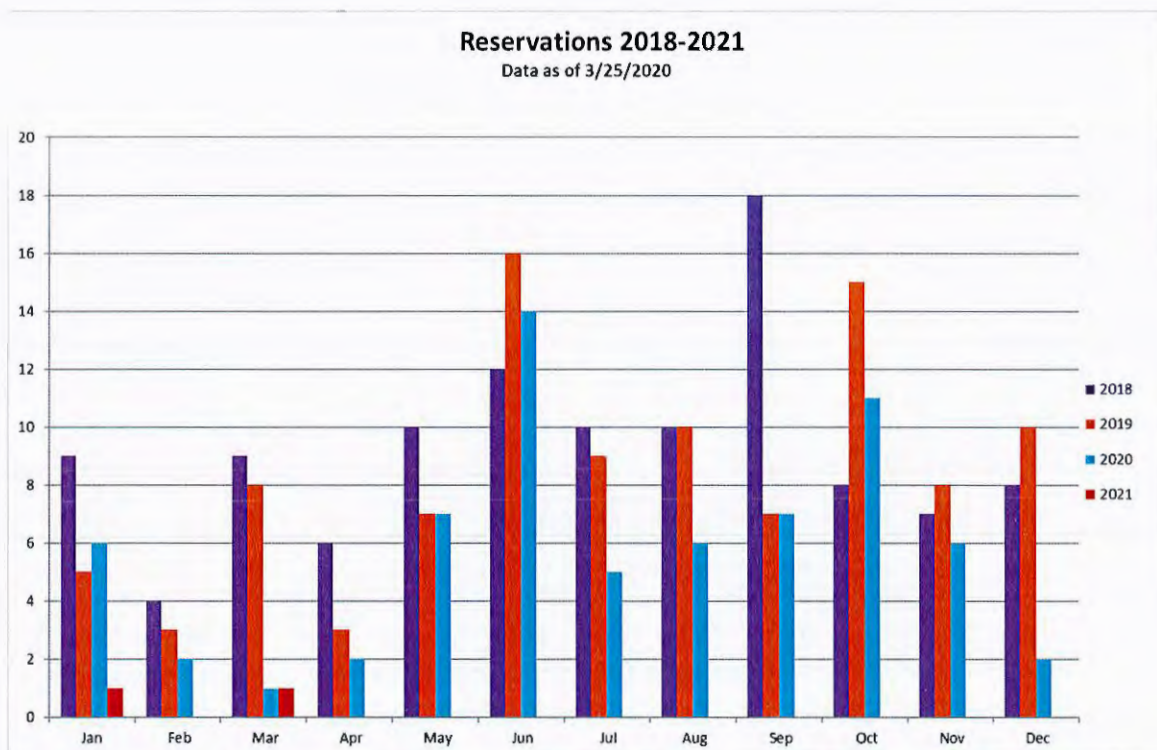
The Lodge at KLM Park

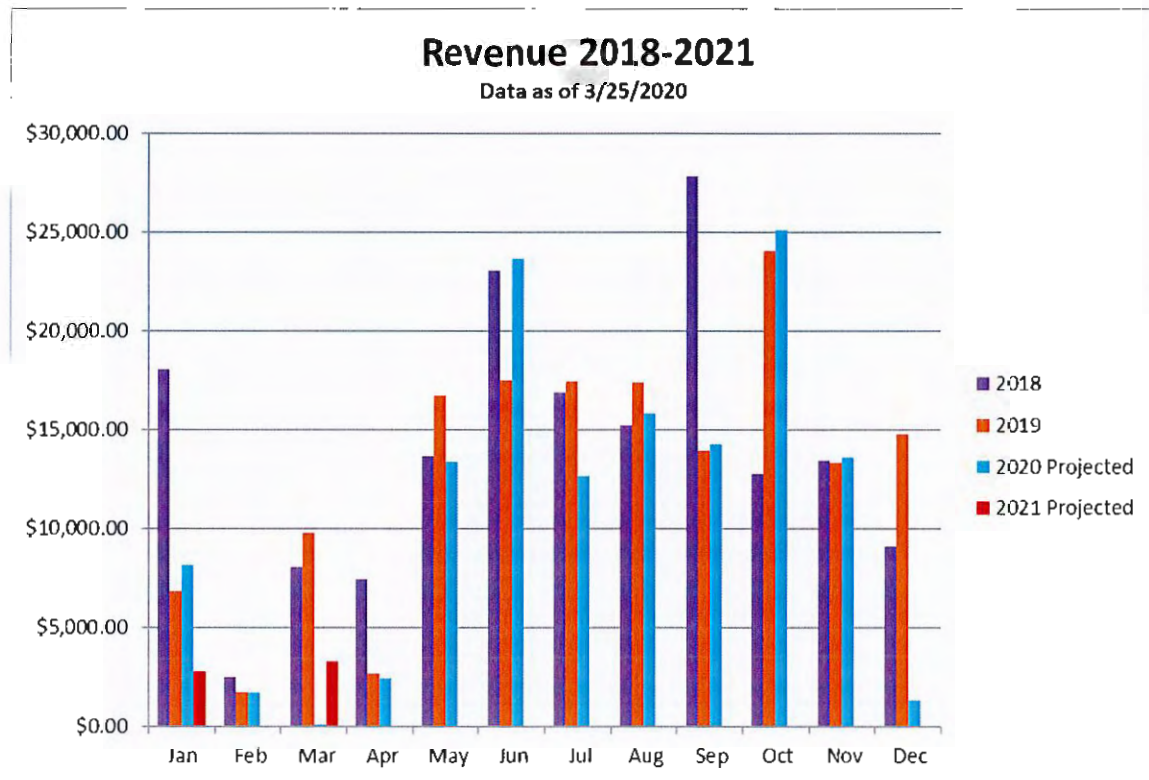
Preliminary gross rental and catering revenue for the calendar year-to-date is \$10,025. Rental revenue for the third month of the 2020 calendar year is \$100. In March, there was one event held at The Lodge, which was seven less than the prior year. This is a result of cancelled and rescheduled events due to COVID-19. Expenses for March are lower than the previous year due to fewer events being held.

REVENUES	March		YTD		Change Over the Prior year	2020 Annual Budget	CY 20 % of budget	2019-20 Annual Budget	FY 19-20 % of budget
	Prior Year	Current Year	Prior Year	Current Year					
The Lodge Rentals	\$9,804	\$100	\$18,384	\$10,025	(\$8,359)	\$145,000	7%	\$150,000	12%
Caterer's Licenses	\$0	\$500	\$0	\$500	\$500	\$15,000	3%	\$15,000	0%
Total Revenues	\$9,804	\$600	\$18,384	\$10,525	(\$7,859)	\$160,000	7%	\$165,000	11%
EXPENSES	March		YTD		Change Over the Prior year	2020 Annual Budget	CY 20 % of budget	2019-20 Annual Budget	FY 19-20 % of budget
	Prior Year	Current Year	Prior Year	Current Year					
Total Expenses	\$10,247	\$2,178	\$37,253	\$17,144	(\$20,109)	\$167,220	10%	\$236,243	16%
Net	(\$443)	(\$1,578)	(\$18,869)	(\$6,619)	\$12,250				

The Lodge Gross Monthly Revenues										
Month	2011/12 FY	2012/13 FY	2013/14 FY	2014/15 FY	2015/16 FY	2016/17 FY	2017/18 FY	2018/19 FY	2019/20 FY	2020 CY
May	\$ 8,561	\$ 8,801	\$ 16,796	\$ 13,745	\$ 16,000	\$ 12,200	\$ 9,725	\$ 13,675	\$ 16,744	
June	\$ 11,156	\$ 10,745	\$ 26,818	\$ 17,450	\$ 22,770	\$ 22,845	\$ 12,495	\$ 23,045	\$ 17,494	
July	\$ 13,559	\$ 9,786	\$ 18,650	\$ 12,909	\$ 27,475	\$ 12,550	\$ 15,000	\$ 16,874	\$ 17,466	
August	\$ 17,759	\$ 18,880	\$ 19,579	\$ 25,350	\$ 24,775	\$ 11,500	\$ 18,555	\$ 15,205	\$ 17,395	
September	\$ 14,823	\$ 14,498	\$ 12,137	\$ 24,510	\$ 15,250	\$ 12,645	\$ 15,410	\$ 27,860	\$ 13,980	
October	\$ 16,347	\$ 15,589	\$ 14,825	\$ 23,985	\$ 25,580	\$ 21,045	\$ 15,180	\$ 12,770	\$ 24,085	
November	\$ 8,256	\$ 11,612	\$ 8,580	\$ 14,724	\$ 14,825	\$ 6,700	\$ 12,500	\$ 13,450	\$ 13,365	
December	\$ 8,853	\$ 10,265	\$ 13,366	\$ 17,290	\$ 17,200	\$ 13,457	\$ 8,125	\$ 9,125	\$ 14,774	
January	\$ 1,302	\$ 4,489	\$ 250	\$ 8,450	\$ 2,850	\$ 4,624	\$ 18,089	\$ 6,855		\$ 8,175
February	\$ 2,301	\$ 6,981	\$ 7,575	\$ 3,120	\$ 2,400	\$ 4,550	\$ 2,495	\$ 1,725		\$ 1,750
March	\$ 2,506	\$ 7,669	\$ 4,245	\$ 6,725	\$ 8,945	\$ 5,944	\$ 8,045	\$ 9,804		\$ 100
April	\$ 2,384	\$ 4,365	\$ 3,600	\$ 12,695	\$ 9,125	\$ 4,300	\$ 7,482	\$ 2,700		
total	\$ 107,807	\$ 123,680	\$ 146,421	\$ 180,953	\$ 187,195	\$ 132,360	\$ 143,101	\$ 153,088	\$ 135,303	\$ 10,025

The graph below shows the past three years of Lodge revenue and the upcoming years' projections. Future projections are based on what is currently booked. Also included is a graph indicating the number of monthly reservations. Typically events are booked 6-18 months in advance of the rentals; however, if there are vacancies, staff will accept reservations within 5 days of an event. These tracking devices will be updated monthly.





Staff is currently working with the approved marketing plan for the 2019/20 FY, including the addition of Search Engine Optimization (SEO) and progressive marketing through The Knot. The committee is now working on reviewing charges for caterers and single use vendors. Staff is recommending a stub year on vendor licenses, so they align with the new calendar year budget. Vendors would pay eight months for 2020, and then a full 12 months starting in Jan 2021.

Upcoming Brochure & Activities

Brochure & Programming

The summer brochure was delivered to residents on March 16th. Registration began on 23rd for residents and will begin April 6th for non-residents. Even amid the COVID-19 issue, staff is still seeing residents register for summer programming.

Programs for winter/spring began in late December and will continue through May 2020. However, starting March 13th, all classes were postponed due to COVID-19, through at least April 7th. Most classes will be offered make-up sessions, if time allows. Those that are unable to be rescheduled will have credits placed on their household accounts for use towards future programming.



MEMORANDUM

Special Events

Spring special events, including the annual Egg Hunt and Park Clean-up Days have been cancelled due to COVID-19. The Park Clean-up Day will be rescheduled later in the year.

Future events include Taco Tuesday, Lunch on the Lawn, Movies in the Park, Unplug & Play, and Summer Brew & Q all in the month of June.

Field & Park Updates

Fields/Parks

All Fields have been closed to recreational user groups through at least April 7th. Many groups have indicated that they will not have league play until at least May. Staff has striped and prepped fields in preparation for groups to start as soon as allowable.

Peirce Park bathrooms had new flooring installed; an epoxy similar to that of the Pool and KLM bathrooms. New flooring at Burns is scheduled for April, providing the vendor is available to complete the work.

Grant Updates

In August, staff applied for the Open Space and Land Acquisition Development (OSLAD) Grant. On Friday, January 17th, Governor Pritzker announced that Hinsdale was one of 85 recipient of the OSLAD grant. The Village will be awarded \$400,000 for the Community Pool Redevelopment project. Funds transfer was indicated to happen on or around April 15th.

Staff submitted an application on behalf of the Village for the Park and Recreational Facility Construction (PARC) Grant on January 21st. Staff was notified that the grant had made it through round one of three, in early March. Round two notifications are expected in May, barring any changes or delays related to COVID-19. Notification of awards for this grant are expected in August 2020. Maybe add what this grant was submitted for?

Pool Updates

Pool passes went on sale March 1st online, and March 2nd for in-person registration. As in previous years, super passes sold out, and were awarded via a lottery system. There is currently a 40 person waitlist for super passes. Regular pool passes are still being purchased, with the Early-Bird rates ending on April 30th.



MEMORANDUM

DATE: February 26, 2020

TO: President Cauley and the Village Board of Trustees

CC: Kathleen A. Gargano, Village Manager

FROM: Robert McGinnis, Community Development Director/Building Commissioner *RM*

RE: **Community Development Department Monthly Report-February 2020**

In the month of February the department issued 78 permits including 5 new single family homes, 7 demolition permits, 14 residential alterations, and 1 commercial alteration. The department conducted 260 inspections and revenue for the month came in at just under \$145,000.

There are approximately 96 applications in house, including 8 single family homes and 11 commercial alterations. There are 30 permits ready to issue at this time, plan review turnaround is running approximately 2-3 weeks, and lead times for inspection requests are running approximately 24 hours.

The Engineering Division has continued to work with the department in order to complete site inspections and respond to drainage complaints. In total, 37 engineering inspections were performed for the month of February by the division. This does not include any inspection of road program work and is primarily tied to building construction and drainage complaints.

We currently have 23 vacant properties on our registry list. The department continues to pursue owners of vacant and blighted properties to either demolish them and restore the lots or come into compliance with the property maintenance code.

COMMUNITY DEVELOPMENT MONTHLY REPORT February 2020

PERMITS	THIS MONTH	THIS MONTH LAST YEAR	FEEs	FY TO DATE	TOTAL LAST YEAR TO DATE
New Single Family Homes	5	1			
New Multi Family Homes	0	0			
Residential Addns./Alts.	14	12			
Commercial New	0	0			
Commercial Addns./Alts.	1	5			
Miscellaneous	14	9			
Demolitions	7	0			
Total Building Permits	41	27	\$ 127,338.00	\$227,650.00	\$105,763.00
Total Electrical Permits	20	8	\$ 5,073.00	\$ 11,489.00	\$10,205.00
Total Plumbing Permits	17	10	\$ 12,486.00	\$ 20,328.00	\$10,559.00
TOTALS	78	45	\$ 144,897.00	\$259,467.00	\$ 126,527.00

Citations			\$250		
Vacant Properties	23				

INSPECTIONS	THIS MONTH	THIS MONTH LAST YEAR			
Bldg, Elec, HVAC	115	115			
Plumbing	40	26			
Property Maint./Site Mgmt.	68	49			
Engineering	37	38			
TOTALS	260	228			

REMARKS:

VILLAGE OF HINSDALE - February

2020

<i>Name</i>	<i>Ticket NO.</i>	<i>Location</i>	<i>Violation</i>	<i>Ord Fine</i>	<i>Result</i>
Arminio, Matt	12105	329 Springlake	Expired permit		ued until 2/11/2020
Close, Glenn	12663	316 E. 55th Street	Property Maintenance		fault judgement
Kathuria, Seema	12662	710 Wilson	Property Maintenance		ued until 3/10/2020
The Lauder Group LLC	12669	540 W. Ogden	Violation of work hours	250	250
The Redmond Company	12667	326 E. Ogden	Violation of work hours		dismissed

Total: 250 250

MONTHLY TOTAL: 250.00 250



DATE: April 2, 2020

TO: Thomas K. Cauley, Village President
Village Board of Trustees
Kathleen A. Gargano, Village Manager

FROM: John Giannelli, Fire Chief

RE: Executive Summary - Fire Department Activities for February 2020

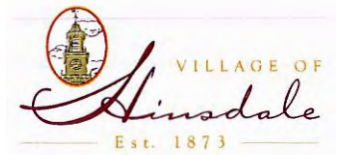
In summary, the Fire Department activities for February 2019 included responding to a total of **190** emergency incidents. There were **46** fire-related incidents, **114** emergency medical-related incidents, and **30** emergency/service-related incidents.

This month, the average response time from receiving a call to Department crews responding, averaged **1** minute and **12** seconds. Response time from receiving a call to Department crews arriving on the scene was **4** minutes and **20** seconds.

In the month of February, there was **no** dollar loss due to fires. Members assisted Clarendon Hills and Western Springs on various calls.

In the month of February, Chief Giannelli covered short shifts due to shift staffing shortages. The total hours covered were **48**, thereby saving the Village an estimated **\$2,280** in overtime.

Chief Giannelli and AC McElroy attended MABAS 10 Chief's, DuPage Chief's, and DUCOMM meetings.



Emergency Response

In **February**, the Hinsdale Fire Department responded to a total of **190** requests for assistance, for a total of **393** responses this calendar year. There were **32** simultaneous responses and **three (3)** train delays this month. The responses are divided into three basic response categories (Fire, Ambulance, and Emergency):

<i>Type of Response</i>	<i>February 2019</i>	<i>% of Total</i>	<i>Three Year Average February 2017-2018-2019</i>
Fire: (Includes incidents that involve fire, either in a structure, in a vehicle or outside of a structure, along with activated fire alarms and/or reports of smoke)	46	24%	47
Ambulance: (Includes ambulance requests, vehicle accidents and patient assists)	114	60%	110
Emergency: (Includes calls for leaks and spills, hazardous material response, power lines down, carbon monoxide alarms, trouble fire alarms, house lock outs, elevator rescues, and other service related calls)	30	16%	39
Simultaneous: (Responses while another call is on-going. Number is included in total)	32	11%	27
Train Delay: (Number is included in total)	3	2%	5
Total:	190	100%	404

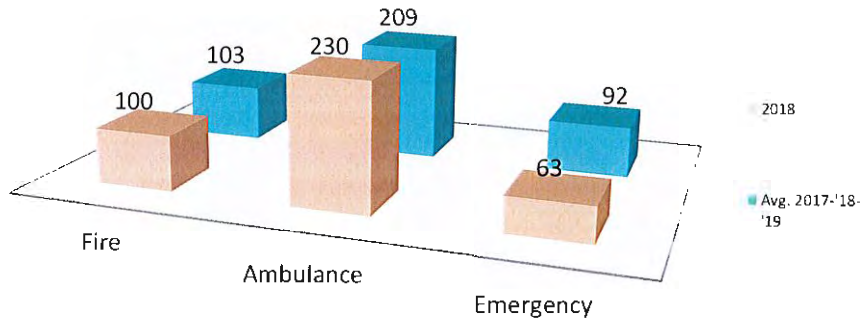
Year to Date Totals

Fire: 100	Ambulance: 230	Emergency: 63
2020 Total:	393	2017-18-19 Average: 404

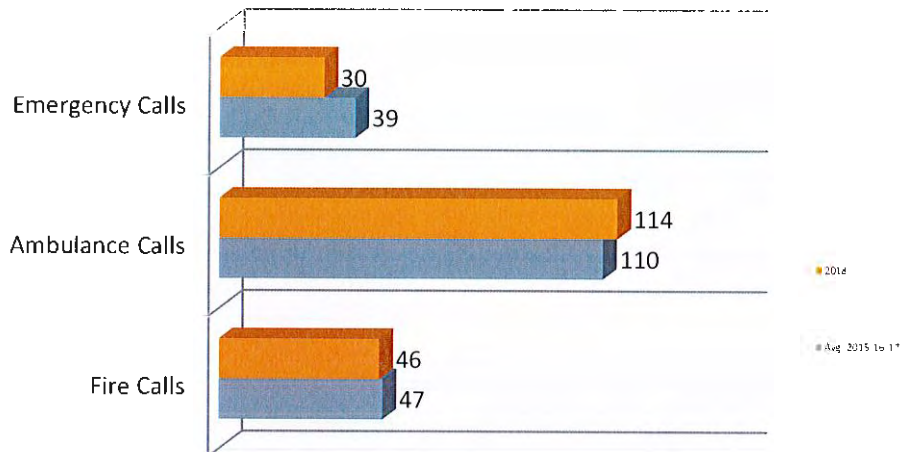


Emergency Response

Type of Responses Year to Date

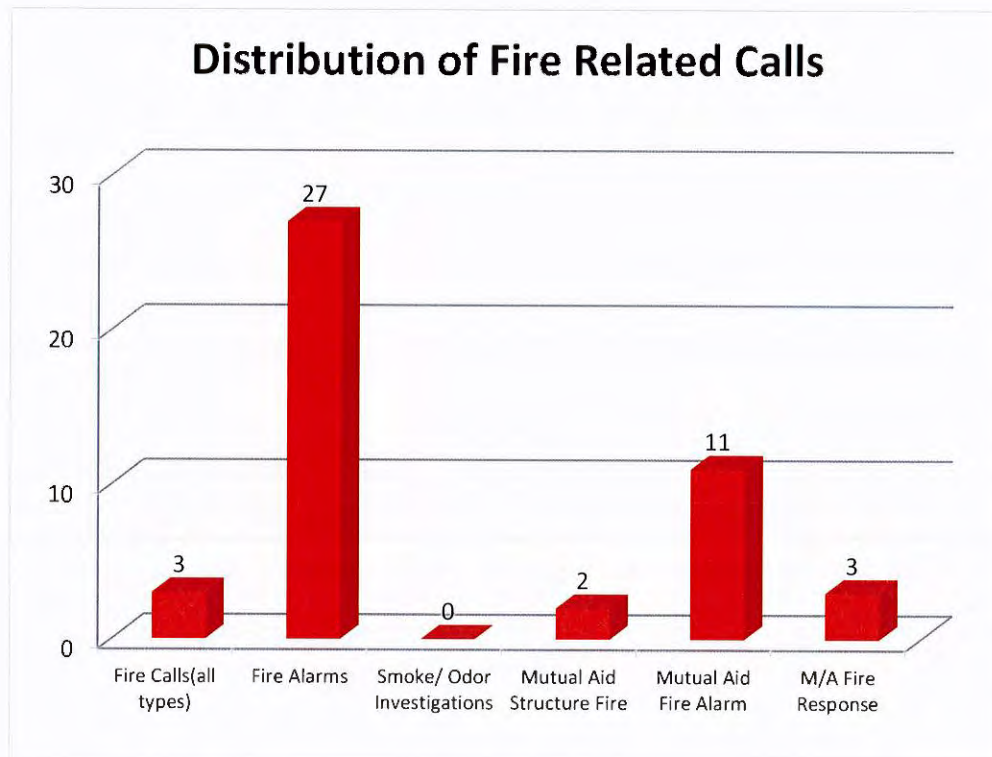
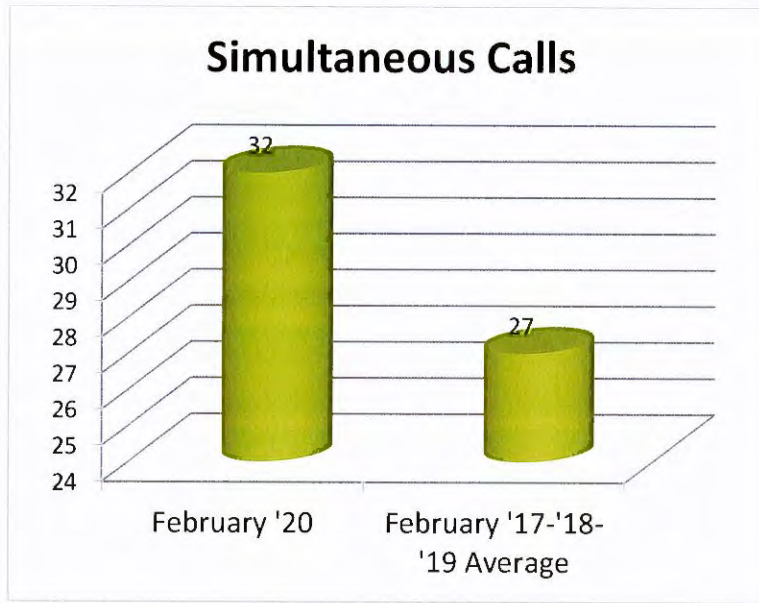


Total Calls for February



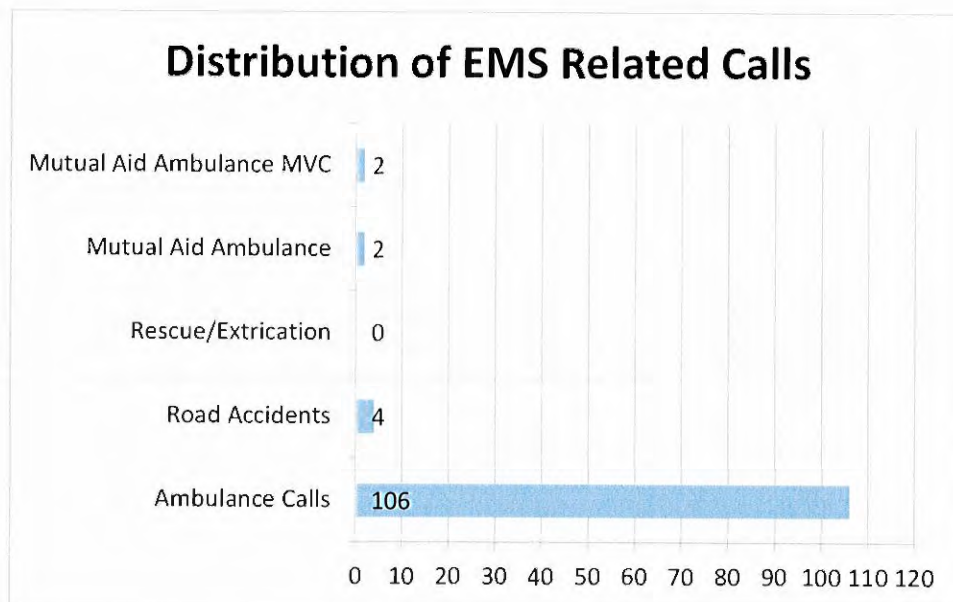
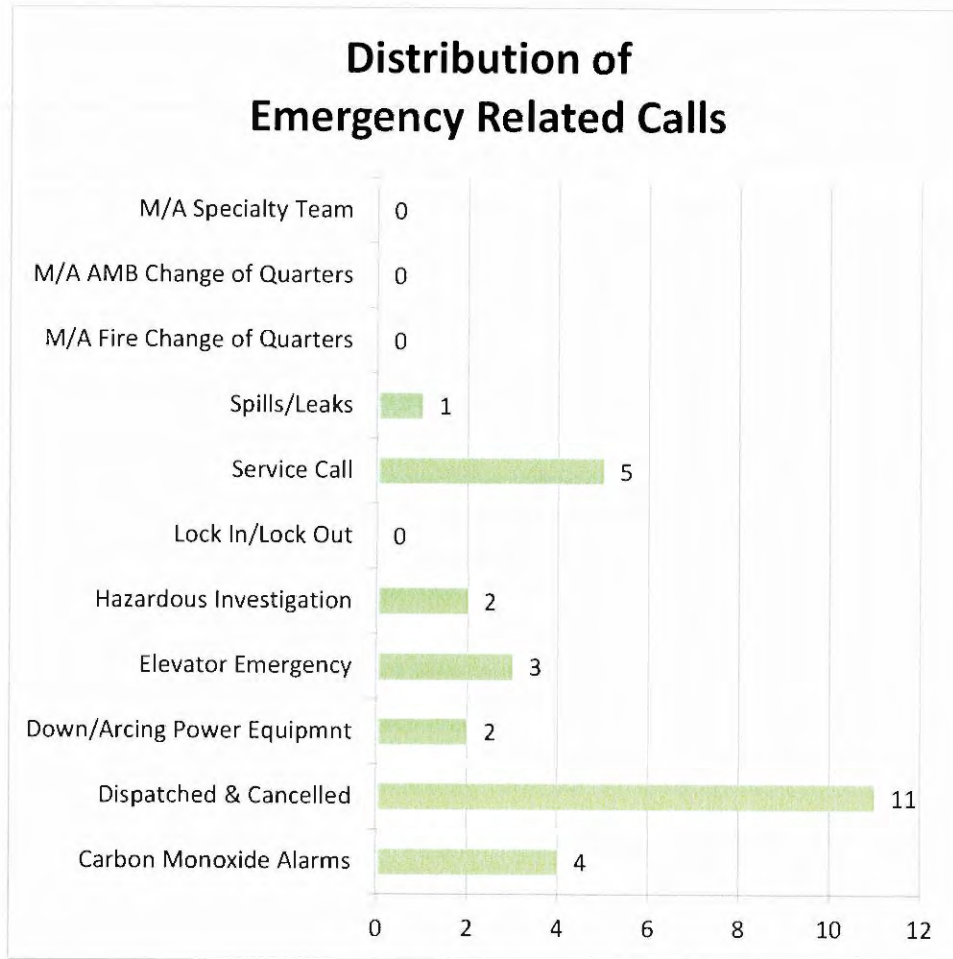


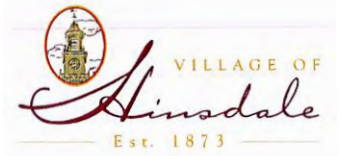
Emergency Response





Emergency Response





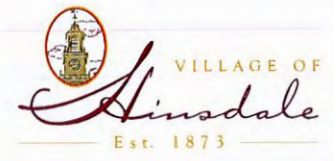
Incidents of Interest

Call

- #20-0214 – Members and Medic 84, Engine 84, and Tower 84 responded to the reported structure fire at 602 S. Garfield St. On arrival, members found a small fire on the stovetop and it was extinguished quickly. Firefighters assisted the resident in cleaning burned debris from the kitchen.
- #20-0254 – Members and Engine 84 responded for the burning odor inside at 5611 S. Elm St. On arrival, members scanned the basement using a Thermal Imager and discovered an overheated lighting fixture. The fixture was producing heat signatures in excess of 300F and beginning to melt the adjacent combustible materials. The fixture was disconnected and residents were instructed to contact a registered electrician to install a replacement.
- #20-0247 – Members and Tower 84 responded for the house fire in Western Springs. Upon arrival, T84 was given the assignment to hit the hydrant south of the house. Members set up the aerial ladder to the roof.
- #20-0317 – Members and Engine 84 responded to the reported structure fire in Clarendon Hills at 11 Oxford. Members went to the interior to help extinguish the fire and provided salvage and overhaul operations.
- #20-0324 – Members and Medic 84, Medic 85, Engine 84 responded to Manor Care for the cardiac arrest. Members arrive on the scene and continue CPR. Members apply LUCAS and ECG Monitor while teammates intubate and start an IV in the patient shinbone. Several rounds of medications were given and a pulse was regained. Pt was transported to Hinsdale ER where care was transferred.
- #20-0356 – Members and Tower 84 responded to 120 N. Oak St. for the elevator rescue at Hinsdale Hospital. On arrival, Hinsdale Hospital Security informed the crew that during the overnight hours, the Hospital Director was trapped in an elevator between the third and fourth floors (Oak elevators). T84's crew opened the outer and inner elevator doors and the trapped individual was helped out of the elevator using a ladder. The elevator was then taken out of service and Hinsdale Hospital building engineers scheduled maintenance.
- #20-0378 – Members and Tower 84 responded to 10 N. Clay St. for an individual trapped in the elevator. Crew members manually lowered the car to the first floor using the unit's emergency controls. The emergency evacuation latch was then used to open the car doors and remove the resident.
- #20-0383 – Members and Medic 84 and Engine 84 responded to the residence for the possible stroke patient. Upon arrival, the resident was quickly assessed and was found to have positive stroke symptoms. Hinsdale ED was contacted and a stroke alert was requested. The patient was rapidly transported to Hinsdale Hospital and placed in their stroke assessment and treatment protocol.



Hinsdale Fire Department – Monthly Report
February 2020



Training/Events

In addition to the daily training in EMS, Technical Rescue, Hazardous Materials, Firefighting, and vehicle checks, members completed the following specialized training:

- 02/05/20 – Gold Shift gave a Pub ED talk: Fear of Gear, Stop, Drop, and Roll and provided a station tour to a preschool group from Hinsdale Adventist Academy.
- 02/08/20 – Gold Shift members gave an impromptu discussion on how an AED works to the paddleball players at the KLM paddle courts using the AED at that location.
- 02/11/20 – Gold shift gave an Infant CPR discussion with a Village employee.
- 02/14/20 – FF/PM Wilson responded to the North Chicago Fire Department for a CISD debriefing. The debriefing was for the death an infant that happen that morning.
- 02/21/20 – Shift members tested Rope Assisted Search Procedure (RASP) Bags. These items are designed to improve crew orientation during search procedures, specifically during heavy smoke conditions.
- 02/24/20 – FF/PM Majewski placed the HFD Drone (Drone 84) into service. The device is a FAA registered unit and will be helpful in providing aerial views of emergency scenes as well as post-incident photo documentation.

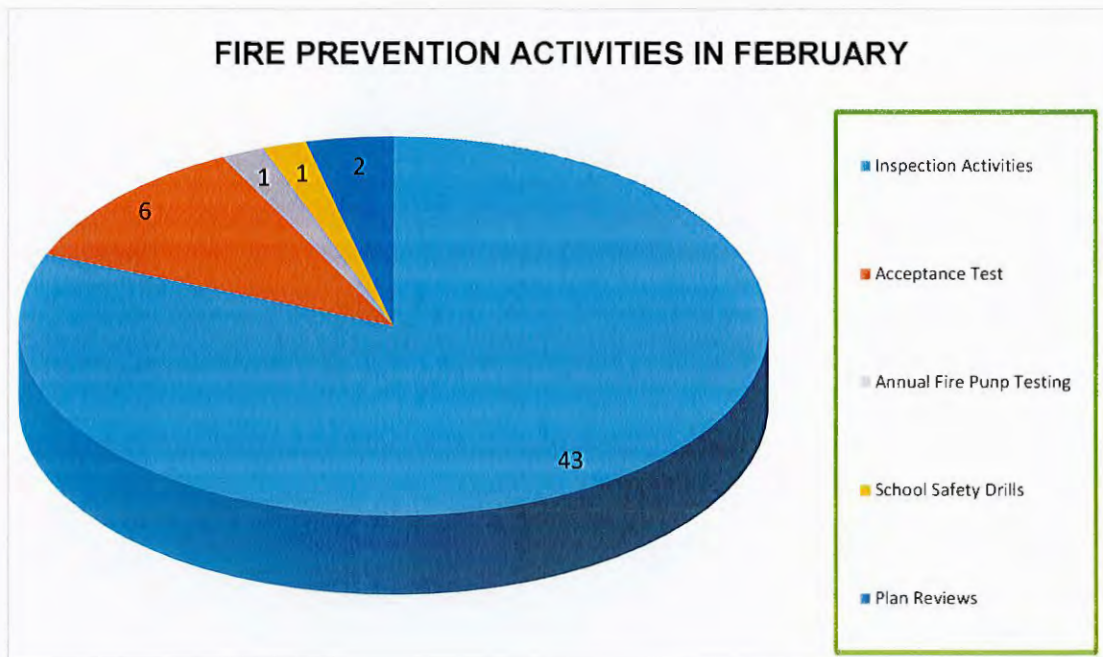
In February, FF/PM Wilson became the newly elected MABAS Division 10 Hazardous Materials Team Leader and Coordinator.

Throughout February, all members participated in extensive training evolutions with the new Scott SCBA Air Packs. Skills practiced included: Donning/Doffing for speed and accuracy, obstacle navigation, and firefighter rescue. All members have prepared for the new packs to be placed into service on March 1.



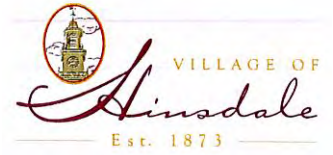
Public Education

The fire prevention bureau is responsible for conducting a variety of activities designed to educate the public, to prevent fires and emergencies, and to better prepare the public in the event a fire or medical emergency occurs.



Fire Prevention/Safety Education

- Attended the DuComm Chief Operations meeting to review operational challenges with the new CAD system and to discuss the new station alerting system, which went live in October for the Fire East talk group.
- Attended the DuComm Fire Marshal Meeting with Inspector Sible.
- Attended a special meeting with Chief Leahy, Matt Baarman and Brian Tegtmeier to review ongoing VHF fire east problems so an agreeable solution could be reached.
- Attended the ESTB meeting to show support for agencies still experiencing problems with the new CAD system and reporting system.



Inspection Activities

February 2020 had a total of 53 Fire Inspection Activities:

Inspections 30

- Initial (14)
- Fire Alarm (15)
- Occupancy (1)

Re-inspections 12

Acceptance Test 6

- Fire Alarm (3)
- Sprinkler (3)

Plan Reviews 2

- General (2)

Consultation 1

- Fire Alarm (1)

Annual Fire Pump Test 1

School Safety Drills

- Lock Down (1)

There was \$1,520.00 of inspection fees forwarded to the Finance Department for the month of February.

The year to date total (YTD) for inspection fees forwarded to the Finance Department for the 2020 calendar is \$8,785.00.