

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 1, 2022

AGENDA ITEM #1

ROWV-2022-000017

Applicant: City Initiated.

Location: Vicinity of 1830 Lincoln Avenue.

Requested Action: Request for vacation of alley right-of-way located west of and adjoining 1830 Lincoln Avenue.

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed vacation would enable the property owner at 1830 Lincoln Avenue to assemble the alley Right-of-Way adjoining their property with their existing property. The owner of this property indicates that this Right-of-Way experiences illegal cut through traffic, as well as excessive littering. If the requested segment of alley Right-of-Way is vacated, the remaining “L”-shaped alley within the subject block would continue to have access both from 18th Street to the east and from Allison Avenue to the south.
2. **Size of Site:** The requested segment of Right-of-Way encompasses a total 1,456 square feet of area.
3. **Existing Zoning (site):** “N5” Neighborhood District.
4. **Existing Land Use (site):** The subject area consists of an alley Right-of-Way.
5. **Adjacent Land Use and Zoning:**
 - East* – “N5”, Use is a one-household residential property.
 - West* – “N5”; Uses include a one-household residential property and two (2) vacant undeveloped parcels.
6. **General Neighborhood/Area Land Uses:** The applicant’s property consists of a one-household residential lot fronting Lincoln Avenue to the north of the Right-of-Way and alley right-of-way to the south of the Right-of-Way. The surrounding area consists of primarily residential uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is within the Mondamin Presidential neighborhood association. The neighborhood associations were notified of the public hearing by mailing of the Preliminary Agenda on August 12, 2022, and by mailing of the Final Agenda on August 26, 2022. Additionally, separate notifications of the hearing for this specific item were mailed on August 22, 2022 (10 days prior to the public hearing) to the primary titleholder on file with the Polk County Assessor for each property adjacent to the request right-of-way.

All agendas are mailed to the primary contact person designated to the City of Des Moines Neighborhood Development Division by the recognized neighborhood association. The Mondamin Presidential Neighborhood mailings were sent to Terri Mitchell, 1822 Jefferson Avenue, Des Moines, IA 50314.

8. **Relevant Zoning History:** On August 22, 2022, the City Council, by Roll Call 22-1319, initiated the vacation of this subject segment of Right-of-Way.
9. **PlanDSM: Creating Our Tomorrow Land Use Plan Designation:** Low Density Residential.
10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to vacate land dedicated for a specific public purpose, such as for streets and parks, to determine whether the land is still needed for such purpose or may be released (vacated) for other use. The recommendation of the Commission is forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Utilities:** While no utilities have been identified within the requested Right-of-Way, easements must be reserved for any existing utilities until such time that they are abandoned or relocated at the applicant's expense.
2. **Traffic/Access:** The requested vacation would not negatively impact access to private properties or traffic patterns. The remaining "L"-shaped alley within the subject block would continue to have access both from 18th Street to the east and from Allison Avenue to the south. Furthermore, when the vacant properties to the west of the requested alley Right-of-Way develop, a secondary access may be required off the undeveloped parcels to the south regardless of the vacation.

III. STAFF RECOMMENDATION

Staff recommends approval of the requested Right-of-Way vacation, subject to the reservation of easements for any existing utilities until such time that they are abandoned or relocated at the applicant's expense.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 1, 2022

AGENDA ITEM #2

SITE-2022-000081

Applicant: HRC NFS I LLC (owner), represented by Casey Port (officer).

Location: 210 Southwest 11th Street and 310 Southwest 11th Street.

Requested Action: Review and approval of a PUD Final Development Plan “Gray’s Station Linc – Parking Lot Reconfiguration/Site Improvements” to allow additions to and reconfigurations of the site’s bicycle and motor vehicle parking areas.

I. GENERAL INFORMATION

1. **Purpose of Request:** The site plan would allow for reconfigurations to the existing parking lot to create more motor vehicle parking spaces, as well the addition of a dedicated bicycle parking area in the northwest corner of the site.
2. **Size of Site:** 5.36 acres.
3. **Existing Zoning (site):** “Gray’s Station Legacy PUD” Planned Unit Development District.
4. **Existing Land Use (site):** Two, four-story mixed-use/residential buildings with accompanying accessory uses, such as a clubhouse, pool, and vehicular parking areas.
5. **Adjacent Land Use and Zoning:**
 - North* – “DX2”; Uses are West Martin Luther King, Jr. Parkway and an undeveloped parcel.
 - South* – “Gray’s Station PUD” and “Slate and Gray’s Landing PUD” ; Uses are Tuttle Street and multiple-household dwelling.
 - East* – “Gray’s Landing Office I PUD”; Uses are a hotel and an undeveloped parcel.
 - West* – “DX2”; Use is an undeveloped parcel.
6. **General Neighborhood/Area Land Uses:** The subject property is in the southwest portion of the downtown in the Gray’s Landing/Gray’s Station neighborhood, at the corner of Martin Luther King, Jr. Parkway and Southwest 11th Street. The surrounding area consists of vacant land, commercial uses, multiple-household residential uses, the Raccoon River, and Gray’s Lake Park.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Downtown Des Moines Neighborhood. All neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda on August 12, 2022, and the Final Agenda on August 26, 2022. Additionally, separate notifications of the

hearing for this specific item were mailed on August 22, 2022 (10 days prior to the hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the requested rezoning. The Downtown Des Moines Neighborhood Association mailings were sent to Brandon Brown, 120 Southwest 5th Street, Unit 101, Des Moines, IA 50309.

- 8. Relevant Zoning History:** The Gray's Station PUD rezoning and PUD Conceptual Plans were approved by the City Council on August 14, 2017, by Roll Call Number 17-1407 and Ordinance Number 15,600. The "Gray's Station – Linc" site plan was reviewed and recommended for approval by the Plan and Zoning Commission on February 15, 2018. On March 8, 2018, by Roll Call Number 18-0361, the City Council received and filed this communication, approving said site plan and finding it in conformance with the provisions set out in PlanDSM. This site plan was amended to add a plaza amenity on April 9, 2020.
- 9. PlanDSM Future Land Use Plan Designation:** Downtown Mixed Use.
- 10. Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of the Gray's Station PUD Conceptual Plan, all Gray's Station PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

The applicant has noted parking conflicts between residential and commercial users of their facilities during peak times. To alleviate some of this congestion, the applicant has proposed altering the existing parking lot islands and restriping/reconfiguring the existing motor vehicle parking spaces to create 25 additional motor vehicle parking spaces on their site. The applicant is also proposing a concrete pad connection between the existing multi-use trail along Martin Luther King, Jr. Parkway and the commercial spaces in the northwest corner of the site. This area will provide a pedestrian connection to the multiuse trail and serve as an enlarged bicycle parking space to serve both commercial and residential users of this site.

The proposed work would increase the site's impervious surface area by approximately 2,000 square feet, which represents a 0.5% increase in impervious area. Stormwater management impacts can be handled by the existing Gray's Station/Gray's Landing regional detention basin. The proposed work will maintain the site's existing tree canopy.

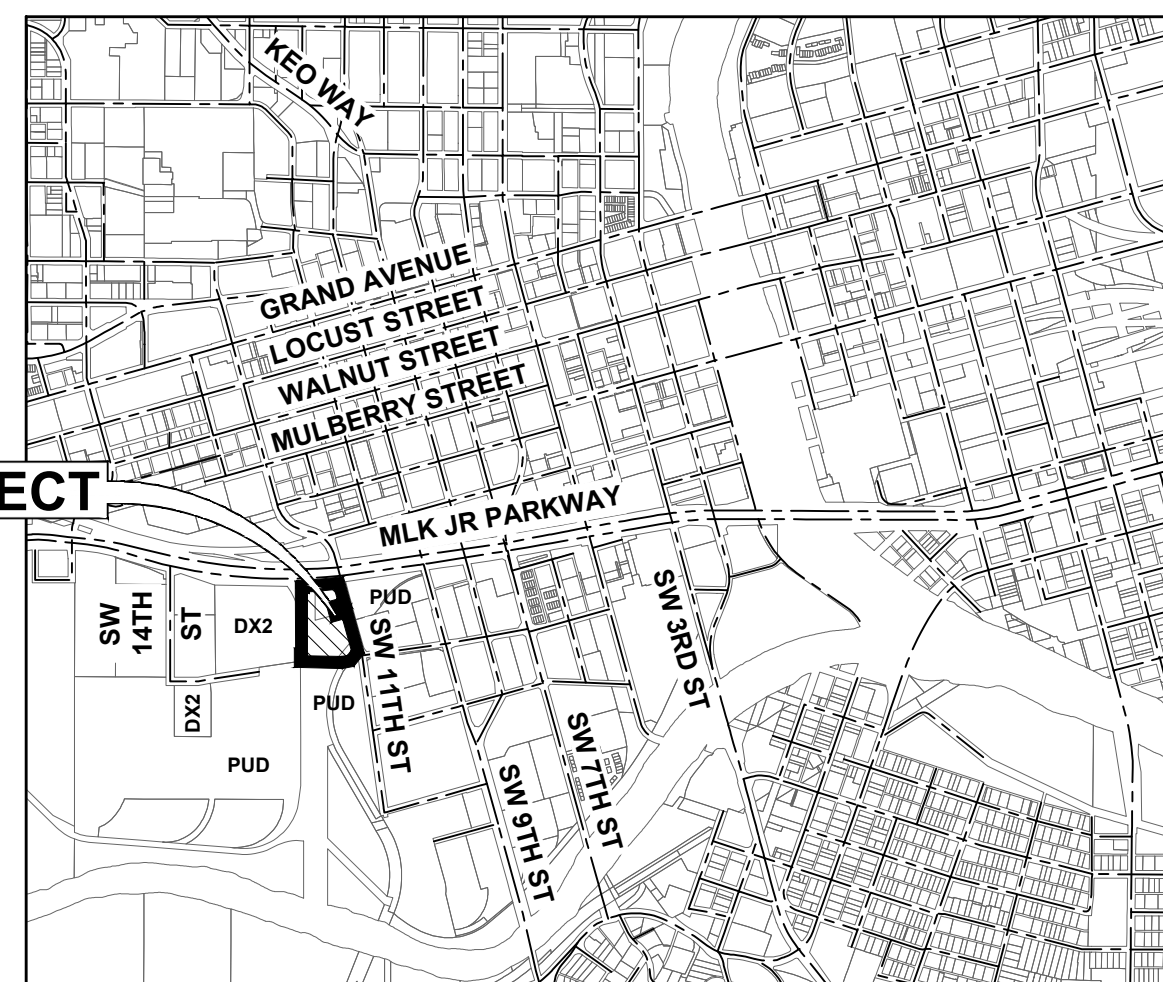
III. STAFF RECOMMENDATION

Staff recommends approval of the proposed PUD Final Development Plan subject to compliance with administrative review comments.

SITE PLAN FOR: GRAY'S STATION LINC - PARKING LOT RECONFIGURATION/SITE IMPROVEMENTS

210 SW 11TH ST. & 310 SW 11TH ST. DES MOINES, IOWA

VICINITY MAP



PROJECT

PROJECT SITE ADDRESS

210 SW 11TH STREET & 310 SW 11TH STREET

LAND USE

EXISTING: APARTMENT HOUSING
PROPOSED: APARTMENT HOUSING WITH PARKING AND SIDEWALK IMPROVEMENTS

DEVELOPMENT SUMMARY

SITE AREA: 5.36 ACRES (233,695 SF)

RESIDENTIAL UNIT SUMMARY

NORTH: 84 UNITS
SOUTH: 140 UNITS
224 UNITS

LOT AREA PER DWELLING UNIT

958 SF PER UNIT

COMMERCIAL PARKING REQUIREMENTS

COMMERCIAL SPACE: 18,750 SF

PARKING REQUIREMENT: MAX 3.75 SPACES PER 1,000 SF = 70 SPACES

EXISTING PARKING	NORTH	SOUTH	TOTAL
RESIDENTIAL:	19 SPACES	110 SPACES	129 SPACES
COMMERCIAL:	70 SPACES	0 SPACES	70 SPACES
GARAGE:	0 SPACES	32 SPACES	32 SPACES
ADA:	4 SPACES	5 SPACES	9 SPACES
	93 SPACES	147 SPACES	240 SPACES

PROPOSED PARKING	NORTH	SOUTH	TOTAL
RESIDENTIAL:	27 SPACES	127 SPACES	154 SPACES
COMMERCIAL:	70 SPACES	0 SPACES	70 SPACES
GARAGE:	0 SPACES	32 SPACES	32 SPACES
ADA:	4 SPACES	5 SPACES	9 SPACES
	101 SPACES	164 SPACES	265 SPACES

ZONING: GRAY'S STATION PUD-ZON2017-00087

BIKE RACK CAPACITY:	EXISTING	PROPOSED	NET GAIN
	30 BIKES	48 BIKES	+18 BIKES

BUILDING HEIGHT: 62 FEET

IMPERVIOUS AREA

	EXISTING	PROPOSED	NET GAIN
BUILDINGS:	68,944 SF	68,944 SF	--
PAVEMENT:	109,059 SF	110,310 SF	+1,251 SF
SIDEWALKS:	29,198 SF	29,963 SF	+765 SF
	207,201 SF	209,217 SF	+2,016 SF

OPEN SPACE PROVIDED: 26,494 SF (11%) 24,478 SF (10.5%) -2,016 SF

BUILDING SUMMARY

NORTH BUILDING	
TOTAL SQUARE FOOTAGE:	112,374 SF
BUILDING HEIGHT:	62' 9-5/8"
NUMBER OF FLOORS:	5 STORIES
SOUTH BUILDING	
TOTAL SQUARE FOOTAGE:	199,381 SF
BUILDING HEIGHT:	55' 5-5/8"
NUMBER OF FLOORS:	5 STORIES

SUBMITTAL DATES

PARKING LOT SITE PLAN AMENDMENT	06/08/2022
PARKING LOT SITE PLAN AMENDMENT SUBMITTAL #2	07/06/2022

DATE OF SURVEY

03/30/2016

BENCHMARK

- BRASS CAP IN NE CORNER OF TRAFFIC SIGNAL BASE
ELEV.=28.814
CITY OF DES MOINES ID. 725

INDEX OF SHEETS

NO.	DESCRIPTION
C0.1	COVER SHEET
C1.1-1.2	TOPOGRAPHIC SURVEY/ DEMOLITION PLAN
C2.1	REFERENCE PLAN
C2.2-2.3	DIMENSION PLAN
C3.1-3.2	GRADING PLAN
C4.1-4.2	UTILITY PLAN
C5.1-5.2	DETAILS
L1.1-1.2	LANDSCAPE PLAN
A.520	TRASH ENCLOSURE DETAILS

PLANNING & ZONING COMMISSION

FEBRUARY 15, 2018, COMMISSION APPROVED SITE PLAN SUBJECT TO COMPLIANCE WITH:

- COMPLIANCE WITH ALL ADMINISTRATIVE COMMENTS OF THE PERMIT AND DEVELOPMENT CENTER.
- PEDESTRIAN CROSSINGS SHALL BE IDENTIFIED ON SITE BY THE USE OF PAINT MARKINGS AND/OR MATERIAL VARIATION TO THE SATISFACTION OF THE PLANNING ADMINISTRATOR.
- ALL TRASH ENCLOSURES SHALL BE CONSTRUCTED OF MASONRY THAT IS COMPATIBLE WITH THE PRIMARY BUILDINGS AND SHALL HAVE SOLID STEEL GATES.
- ALL TRASH ENCLOSURES SHALL INCLUDE A PEDESTRIAN ENTRANCE AND BE CONSTRUCTED IN A MANNER THAT SHIELDS DIRECT VIEWS INTO THE ENCLOSURE WITHOUT THE USE OF A GATE TO THE SATISFACTION OF THE PLANNING ADMINISTRATOR.
- ALL SITE LIGHTING SHALL BE DIRECTED DOWNWARD AND SHIELDED FROM ADJOINING PROPERTIES. ANY POLE MOUNTED LIGHTING ALONG PRIVATE WALKWAYS SHALL NOT EXCEED 15 FEET IN HEIGHT AND ANY POLE MOUNTED LIGHTING IN A PARKING AREA SHALL NOT EXCEED 20 FEET IN HEIGHT.
- REVIEW AND APPROVAL OF ALL EXTERIOR BUILDING MATERIALS BY THE PLANNING ADMINISTRATOR.
- ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED WITH MATERIAL THAT IS ARCHITECTURALLY COMPATIBLE WITH THE BUILDING TO THE SATISFACTION OF THE PLANNING ADMINISTRATOR.
- ALL UTILITY METERS, TRANSFORMERS, GROUND-MOUNTED EQUIPMENT, AND OTHER UTILITIES SHALL BE PLACED ALONGSIDE OR REAR FACADES OF THE BUILDING.
- ALL SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARDS IDENTIFIED IN THE PUD CONCEPTUAL PLAN.
- THE DEVELOPER SHALL COORDINATE WITH DART ON ANY NECESSARY TRANSIT FACILITIES TO THE SATISFACTION OF THE PLANNING ADMINISTRATOR.
- PROVISION OF BIKE RACKS THROUGHOUT THE SITE TO THE SATISFACTION OF THE PLANNING ADMINISTRATOR.
- PROVISION OF TREE MITIGATION PLAN INFORMATION ON THE DEVELOPMENT PLAN TO THE SATISFACTION OF THE PLANNING ADMINISTRATOR.
- PROVISION OF STREET TREES TO THE SATISFACTION OF THE CITY ARBORIST AND PLANNING ADMINISTRATOR.
- REVIEW AND APPROVAL OF THE FINALIZE LANDSCAPE PLAN, INCLUDING THE HARDSCAPE AND SOFT CAPE ELEMENTS OF THE PLAZA BY THE PLANNING ADMINISTRATOR.
- EXISTING ELEMENTS OF THE MARTIN LUTHER KING, JR. PARKWAY STREETSCAPE SHALL BE MAINTAINED UNLESS DETERMINED NON-ESSENTIAL BY THE PLANNING ADMINISTRATOR.

GENERAL LEGEND

PROPOSED

LOT LINE	---
CENTER LINE	---
PERMANENT EASEMENT	- - P/E - - -
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY SIGN	
DETECTABLE WARNING PANEL	
SANITARY SEWER WITH SIZE	8" S
SANITARY SERVICE	S S S
STORM SEWER	15" ST
STORM SERVICE	ST ST
WATERMAIN WITH SIZE	8" W
WATER SERVICE	W W
SAWCUT (FULL DEPTH)	
SILT FENCE	

EXISTING

SANITARY MANHOLE	
FIRE HYDRANT	
WATER CURB STOP	
STORM SEWER MANHOLE	
DECIDUOUS TREE	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
TRAFFIC SIGN	
GAS VALVE BOX	
BENCHMARK	
SOIL BORING	
GAS MAIN	G
FIBER OPTIC	FO
OVERHEAD ELECTRIC	OE
UNDERGROUND ELECTRIC	E
SANITARY SEWER W/ SIZE	8" S
STORM SEWER W/ SIZE	15" ST
WATER MAIN W/ SIZE	8" W

APPLICANT

HUBBELL DEVELOPMENT SERVICES
CONTACT: KRIS SADDORIS
6900 WESTOWN PKWY
WEST DES MOINES, IA 50266
PH. (515) 243-3228
FX. (515) 280-2000

ENGINEER/ SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: RYAN HARDISTY
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

SLINGSHOT ARCHITECTURE
CONTACT: GREG WATTIER
305 EAST COURT AVE
DES MOINES, IOWA 50309
PH. (515) 243-0074

OWNER

HRC NFS I LLC
6900 WESTOWN PKWY
WEST DES MOINES, IA 50266

LEGAL DESCRIPTION

A PART OF OUTLOT 'Y', CENTRAL DES MOINES INDUSTRIAL PARK, AN OFFICIAL PLAT, AND A PART OF LOTS 81, 82 AND 85, FACTORY ADDITION, AN OFFICIAL PLAT, ALL BEING IN THE CITY OF DES MOINES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 4, SAID CENTRAL DES MOINES INDUSTRIAL PARK; THENCE NORTH 0°31'45" WEST ALONG THE WESTERLY LINE OF SAID OUTLOT 'Y', A DISTANCE OF 63.43 FEET; THENCE NORTH 87°29'10" EAST CONTINUING ALONG SAID WESTERLY LINE, 10.37 FEET; THENCE NORTH 0°12'49" WEST CONTINUING ALONG SAID WESTERLY LINE, 554.99 FEET TO THE NORTHEAST CORNER OF LOT 5, SAID CENTRAL DES MOINES INDUSTRIAL PARK; THENCE SOUTH 89°04'27" EAST ALONG THE NORTH LINE OF SAID OUTLOT 'Y', 15.36 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT 'Y'; THENCE NORTH 0°21'12" WEST ALONG THE WEST LINE OF SAID LOT 85, A DISTANCE OF 8.59 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF MARTIN LUTHER KING JR. PARKWAY; THENCE NORTH 86°10'40" EAST ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 100.23 FEET; THENCE NORTH 84°40'04" EAST CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 199.44 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SW 11TH STREET; THENCE SOUTH 15°27'22" EAST ALONG SAID WESTERLY RIGHT OF WAY LINE, 173.21 FEET; THENCE SOUTH 74°42'29" WEST, 100.00 FEET; THENCE SOUTH 15°27'21" EAST, 75.29 FEET; THENCE NORTH 74°32'27" EAST, 100.00 FEET TO SAID WESTERLY RIGHT OF WAY LINE; THENCE SOUTH 15°27'22" EAST ALONG SAID WESTERLY RIGHT OF WAY LINE, 344.37 FEET TO A CORNER ON THE EASTERLY LINE OF SAID LOT 81; THENCE SOUTH 39°15'32" WEST ALONG SAID EASTERLY LINE, 16.08 FEET; THENCE SOUTH 81°39'24" WEST, 474.36' TO THE POINT OF BEGINNING AND CONTAINING 5.36 ACRES (233,680 SQUARE FEET).

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.



SITE PLAN APPROVAL:

APPROVED APPROVED WITH CONDITION
See Exhibit "A" attached here to.

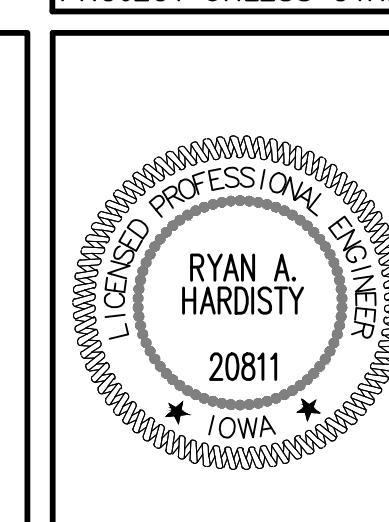
IN ACCORDANCE WITH SECTION 135-9, 2019 Des Moines MUNICIPAL CODE, AS AMENDED.
NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE DEVELOPMENT SERVICES DIRECTOR.

DEVELOPMENT SERVICES DIRECTOR _____ DATE _____

REFER TO TERRACON GEOTECHNICAL ENGINEERING REPORT PROJECT NO. 08175272-03 FOR GEOTECHNICAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

RYAN A. HARDISTY, P.E. _____ DATE _____

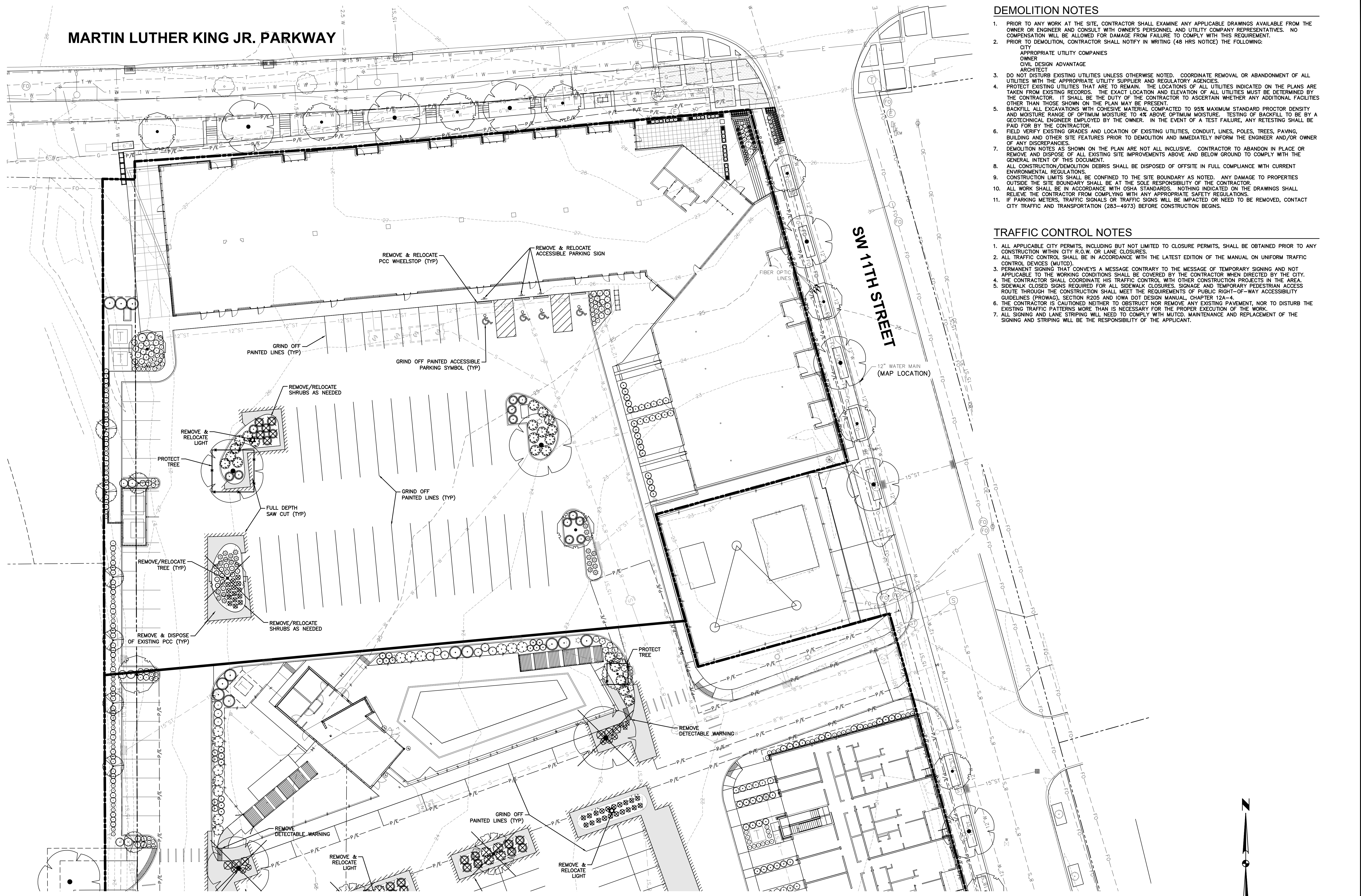
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2019
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GRAY'S STATION LINC - 2205.327

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DATE PLOTTED: 7/27/2022 4:28 PM
PLOTTER: HP DesignJet T1100e
SCALE: 1:1

MARTIN LUTHER KING JR. PARKWAY

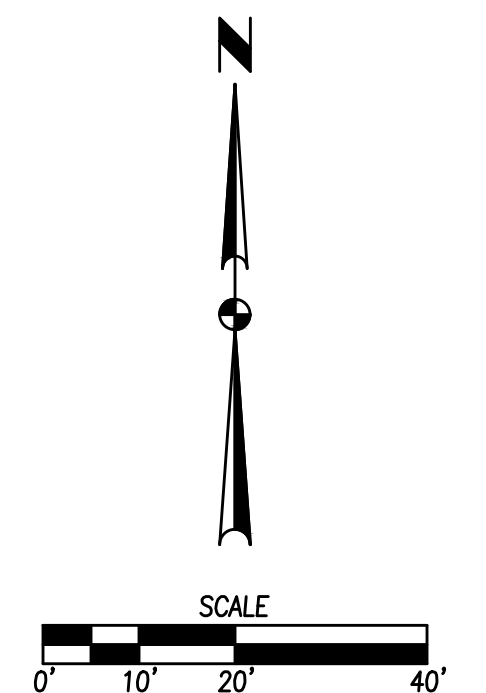


DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
CITY
APPROPRIATE UTILITY COMPANIES
OWNER
CIVIL DESIGN ADVANTAGE
ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- IF PARKING METERS, TRAFFIC SIGNALS OR TRAFFIC SIGNS WILL BE IMPACTED OR NEED TO BE REMOVED, CONTACT CITY TRAFFIC AND TRANSPORTATION (283-4973) BEFORE CONSTRUCTION BEGINS.

TRAFFIC CONTROL NOTES

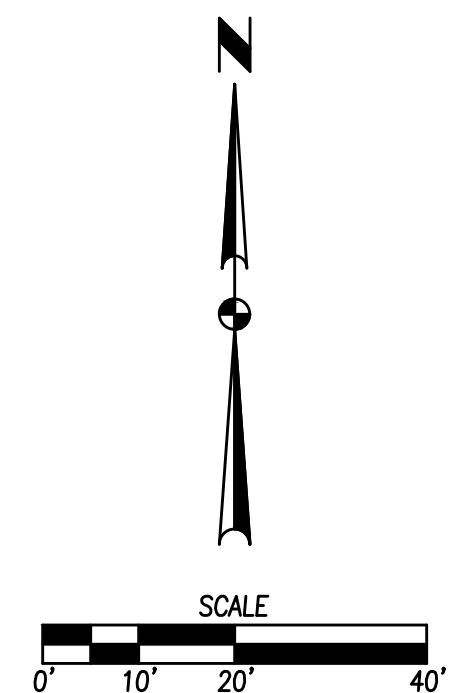
- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES, SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.



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 DATE: 7/27/22
 PLOTTED BY: GARY HALL
 COMMENT: ENG

<p>DATE 2022-07-11</p> <p>REVISIONS</p> <p>PARKING AMENDMENT SUBMITTAL #2 2022-07-11</p> <p>PARKING LOT PLAN AMENDMENT 2022-06-08</p>	<p>3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410</p>
<p>ESA CIVIL DESIGN ADVANTAGE</p>	<p>EICB ENGINEER-RAH</p>
<p>GRAY'S STATION LINC TOPOGRAPHICAL SURVEY/ DEMOLITION PLAN</p>	
<p>C1.1 2205.327</p>	

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REVISIONS	DATE
PARKING AMENDMENT SUBMITTAL #2	2022-07-11
PARKING LOT PLAN AMENDMENT	2022-06-08

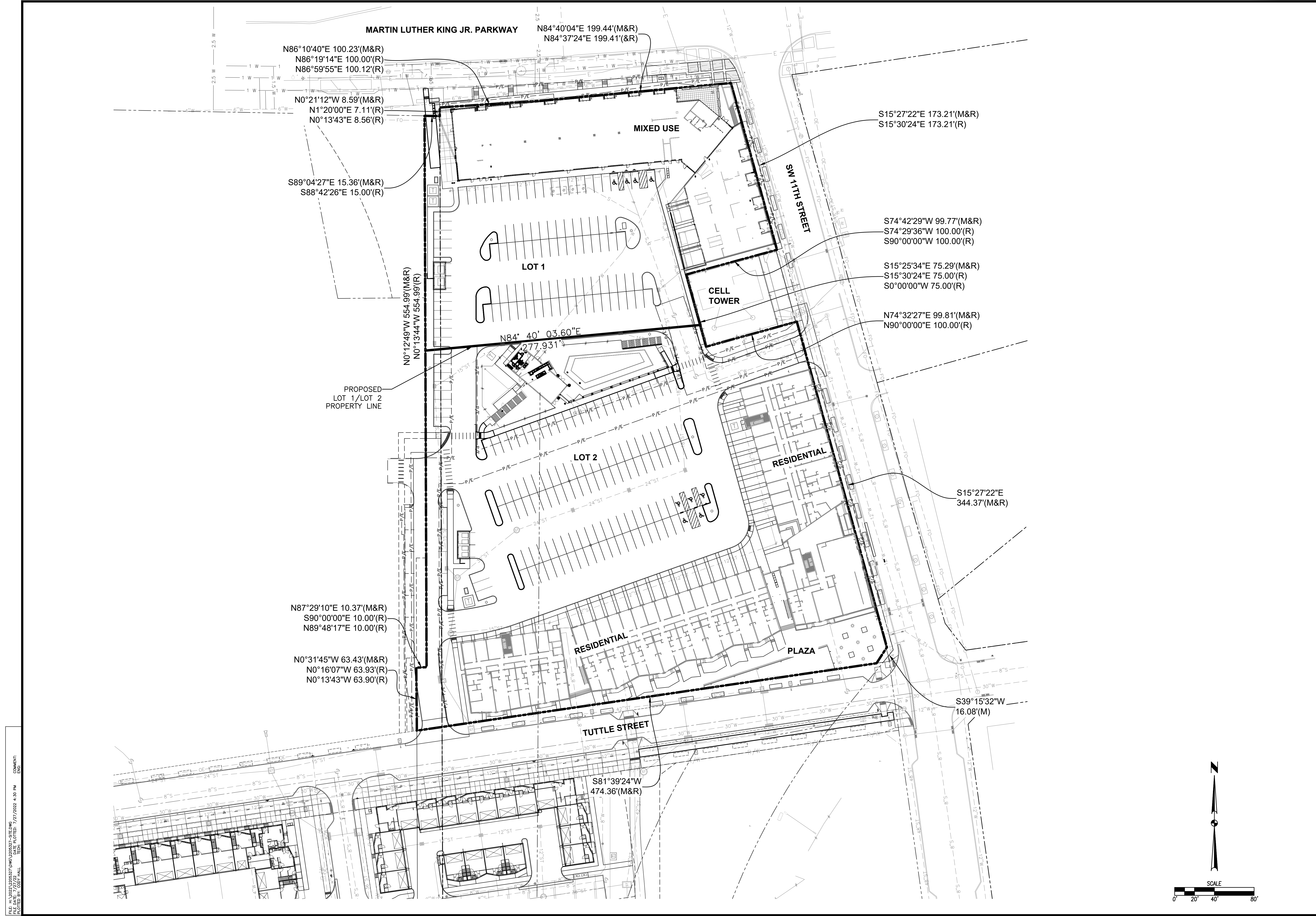
3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: RAH
EICH



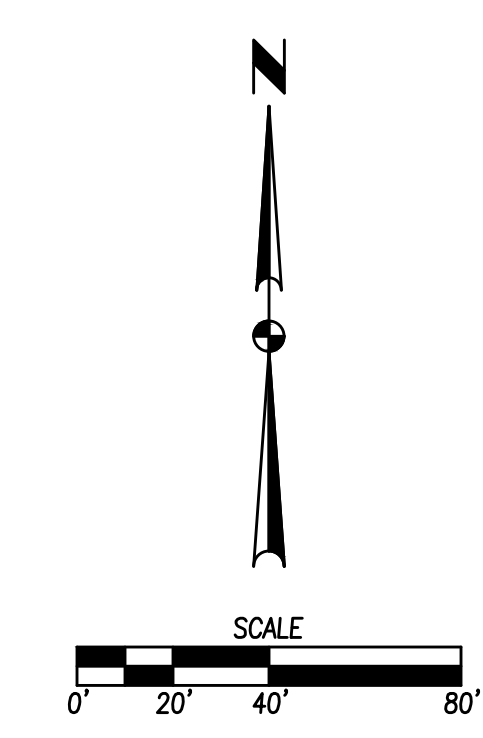
GRAY'S STATION LINC

TOPOGRAPHICAL SURVEY/DEMOLITION PLAN

DES MOINES, IOWA

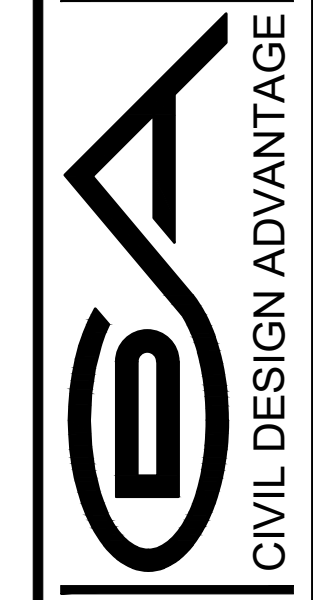


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 FILE DATE: 7/27/23
 PLOTTED BY: GARY HALL
 COMMENT:
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REVISIONS	DATE
PARKING AMENDMENT SUBMITTAL #2	2023-07-11
PARKING LOT PLAN AMENDMENT	2023-06-08

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER:RAH
 EICH

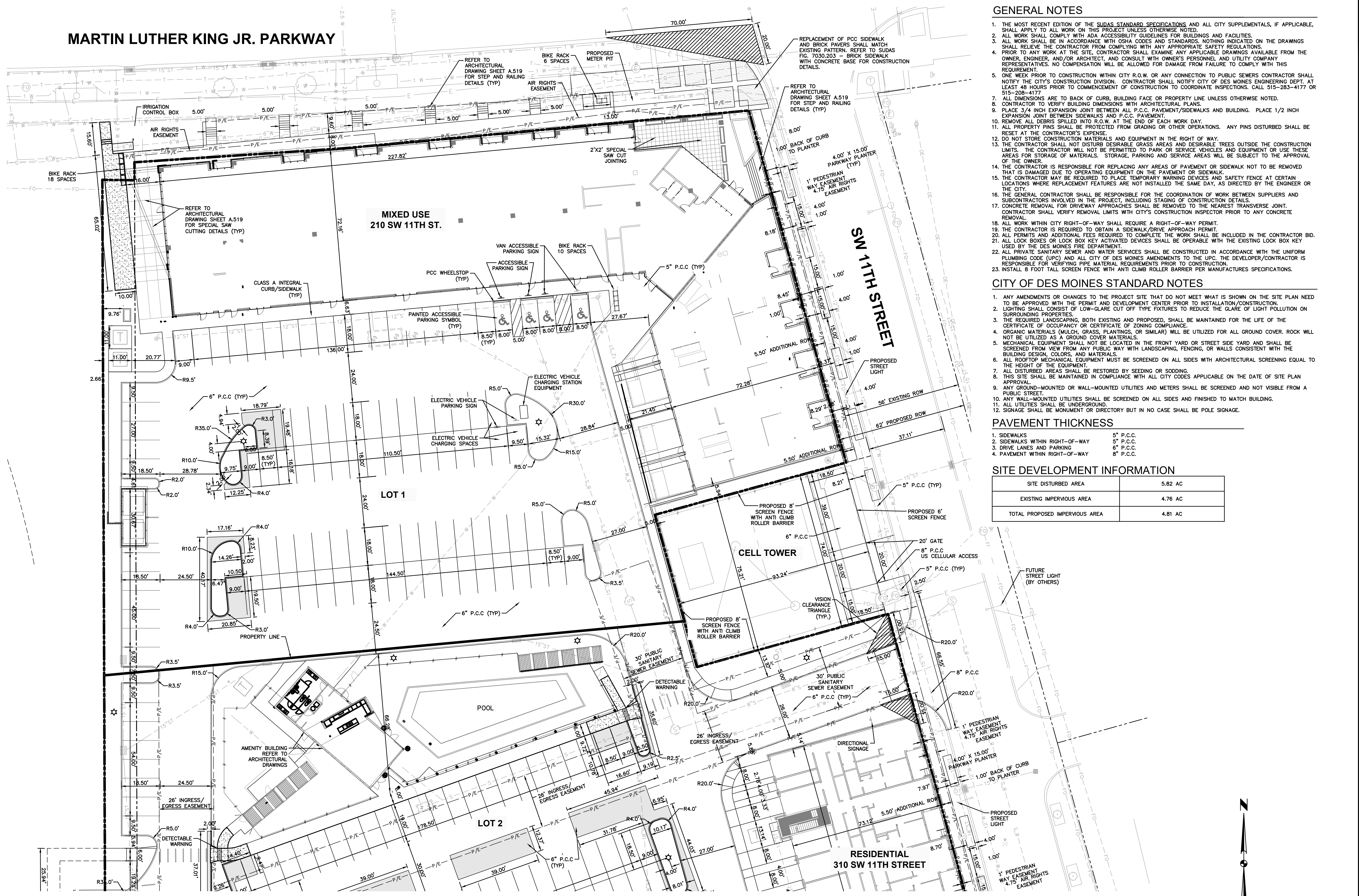


CIVIL DESIGN ADVANTAGE
 DES MOINES, IOWA

GRAY'S STATION LINC
REFERENCE PLAN

C2.1
 2205.327

MARTIN LUTHER KING JR. PARKWAY



GENERAL NOTES

- THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION. CONTRACTOR SHALL NOTIFY CITY OF DES MOINES ENGINEERING DEPT. AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION TO COORDINATE INSPECTIONS. CALL 515-283-4177 OR 515-208-4177.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
- ALL WORK WITHIN CITY RIGHT-OF-WAY SHALL REQUIRE A RIGHT-OF-WAY PERMIT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN A SIDEWALK/DRIVE APPROACH PERMIT.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
- ALL LOCK BOXES OR LOCK BOX KEY ACTIVATED DEVICES SHALL BE OPERABLE WITH THE EXISTING LOCK BOX KEY USED BY THE DES MOINES FIRE DEPARTMENT.
- ALL PRIVATE SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO THE UPC. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.
- INSTALL 8 FOOT TALL SCREEN FENCE WITH ANTI CLIMB ROLLER BARRIER PER MANUFACTURER'S SPECIFICATIONS.

CITY OF DES MOINES STANDARD NOTES

- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
- LIGHTING SHALL CONSIST OF LOW-GLARE OUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF ZONING COMPLIANCE.
- ORGANIC MATERIALS (MULCH, GRASS, PLANTINGS, OR SIMILAR) WILL BE UTILIZED FOR ALL GROUND COVER. ROCK WILL NOT BE UTILIZED AS A GROUND COVER MATERIALS.
- MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
- ALL DISTURBED AREAS SHALL BE RESTORED BY SEEDING OR SODDING.
- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODES APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- ANY GROUND-MOUNTED OR WALL-MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
- ANY WALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
- ALL UTILITIES SHALL BE UNDERGROUND.
- SIGNAGE SHALL BE MONUMENT OR DIRECTORY BUT IN NO CASE SHALL BE POLE SIGNAGE.

PAVEMENT THICKNESS

- SIDEWALKS 5" P.C.C.
- SIDEWALKS WITHIN RIGHT-OF-WAY 5" P.C.C.
- DRIVE LANES AND PARKING 6" P.C.C.
- PAVEMENT WITHIN RIGHT-OF-WAY 8" P.C.C.

SITE DEVELOPMENT INFORMATION

SITE DISTURBED AREA	5.82 AC
EXISTING IMPERVIOUS AREA	4.76 AC
TOTAL PROPOSED IMPERVIOUS AREA	4.81 AC

COMMENT: ENG.
 FILE DATE: 7/27/22
 PLOTTED BY: GARY HALL

DATE: 2022-07-11
 PARKING AMENDMENT SUBMITTAL #2: 2022-07-11
 PARKING LOT PLAN AMENDMENT: 2022-06-08

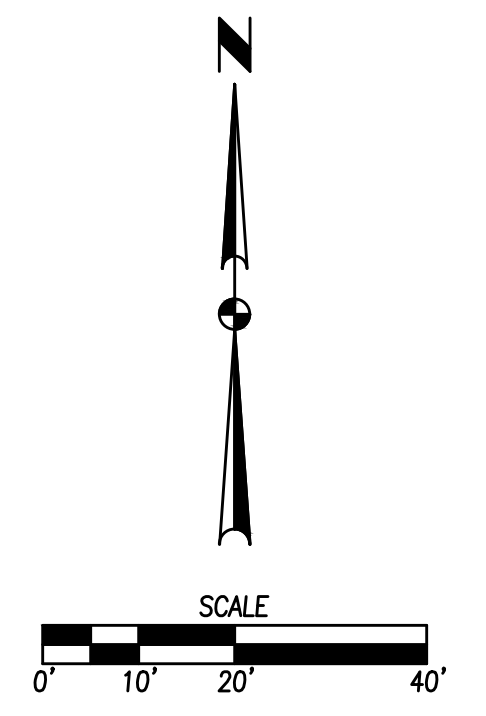
3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: RAH
 CIVIL DESIGN ADVANTAGE

DES MOINES, IOWA

GRAY'S STATION LINC
 DIMENSION PLAN

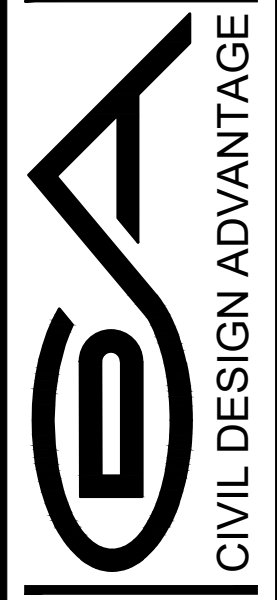
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COMMENT: ENG.
 FILE DATE: 7/27/22
 PLOTTED BY: GARY HALL
 DATE: 7/27/2022 4:30 PM

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CIVIL DESIGN ADVANTAGE
 DES MOINES, IOWA

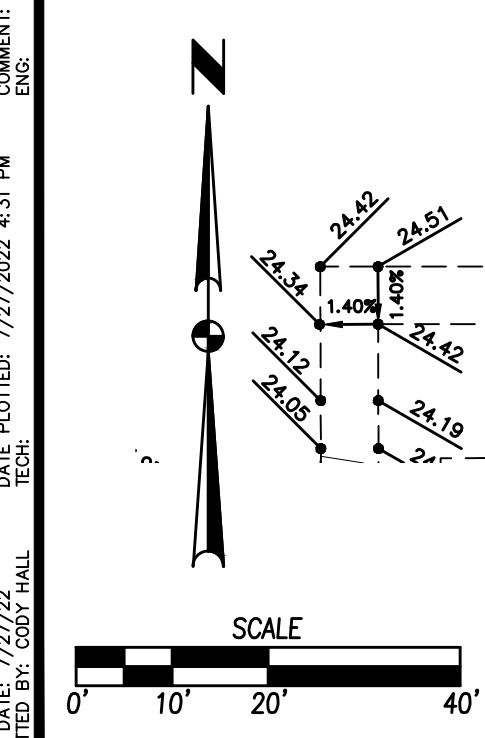
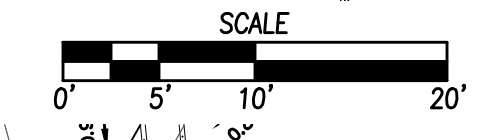
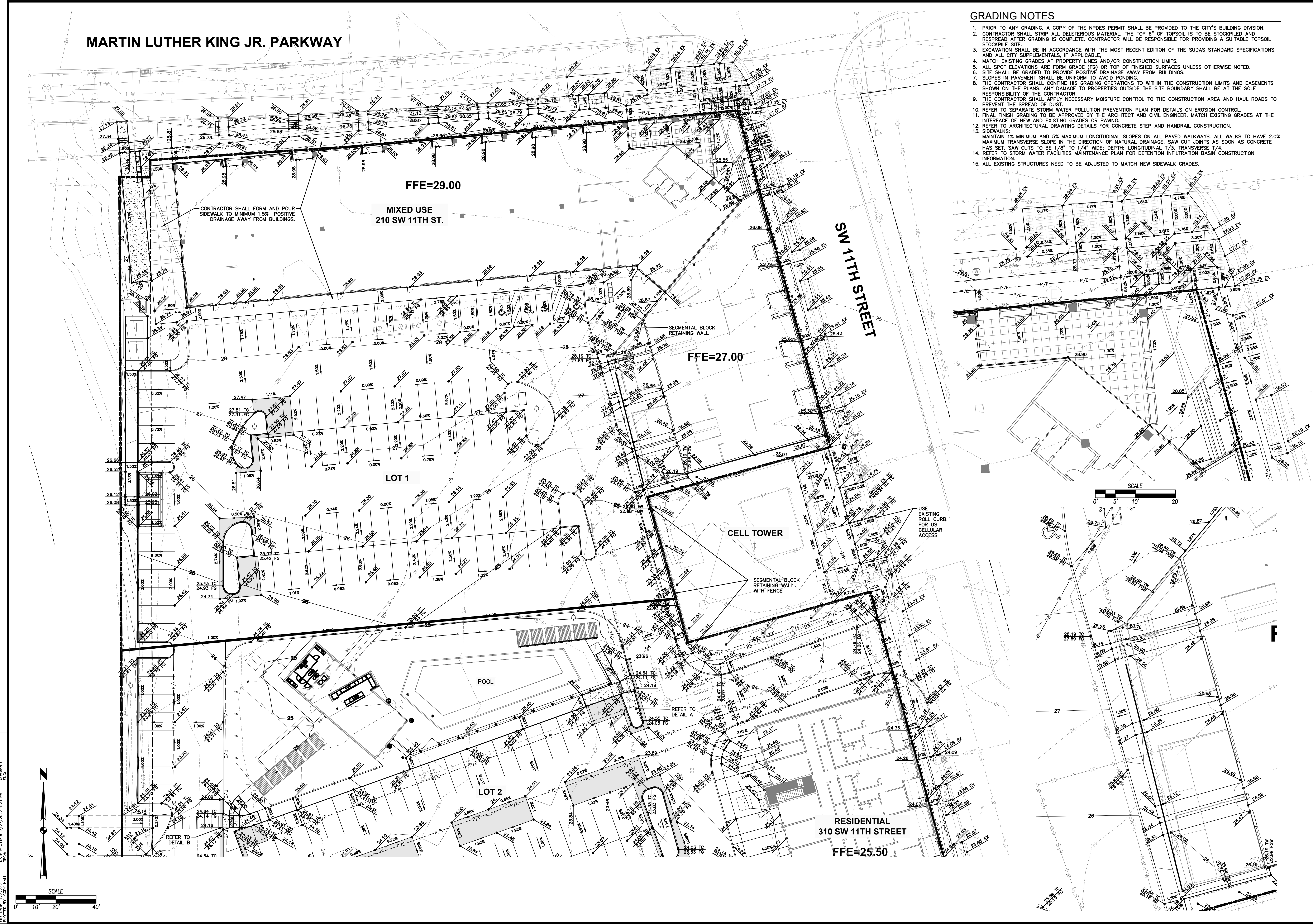
GRAY'S STATION LINC
DIMENSION PLAN

C2.3
 2205.327

MARTIN LUTHER KING JR. PARKWAY

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETED MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND Haul ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. REFER TO ARCHITECTURAL DRAWING DETAILS FOR CONCRETE STEP AND HANDRAIL CONSTRUCTION.
13. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
14. REFER TO STORM WATER FACILITIES MAINTENANCE PLAN FOR DETENTION INFILTRATION BASIN CONSTRUCTION INFORMATION.
15. ALL EXISTING STRUCTURES NEED TO BE ADJUSTED TO MATCH NEW SIDEWALK GRADES.



IN CHARGE: [Name], [Title]
 FILE DATE: 7/27/22
 PLOTTED BY: [Name]

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 PARKING LOT PLAN AMENDMENT

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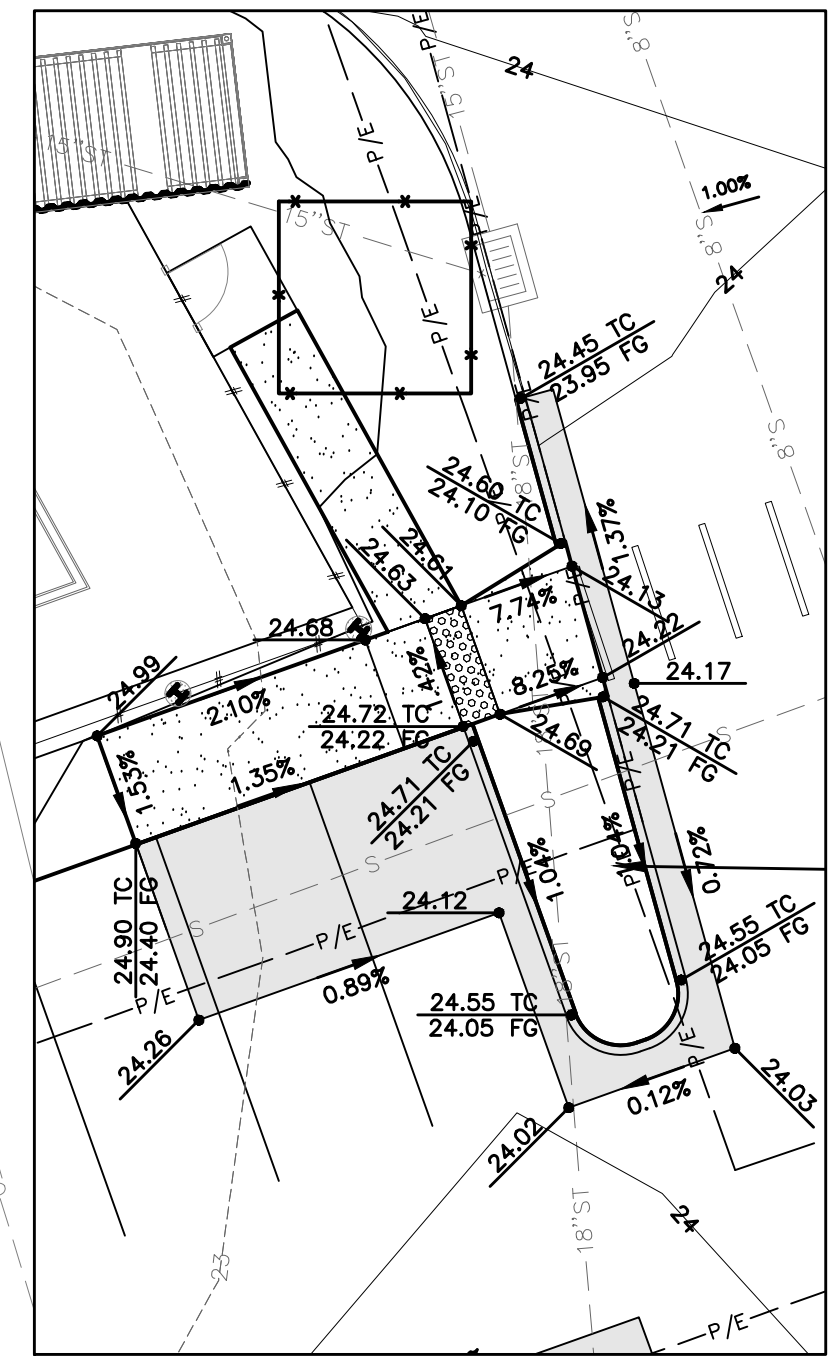
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DES MOINES, IOWA

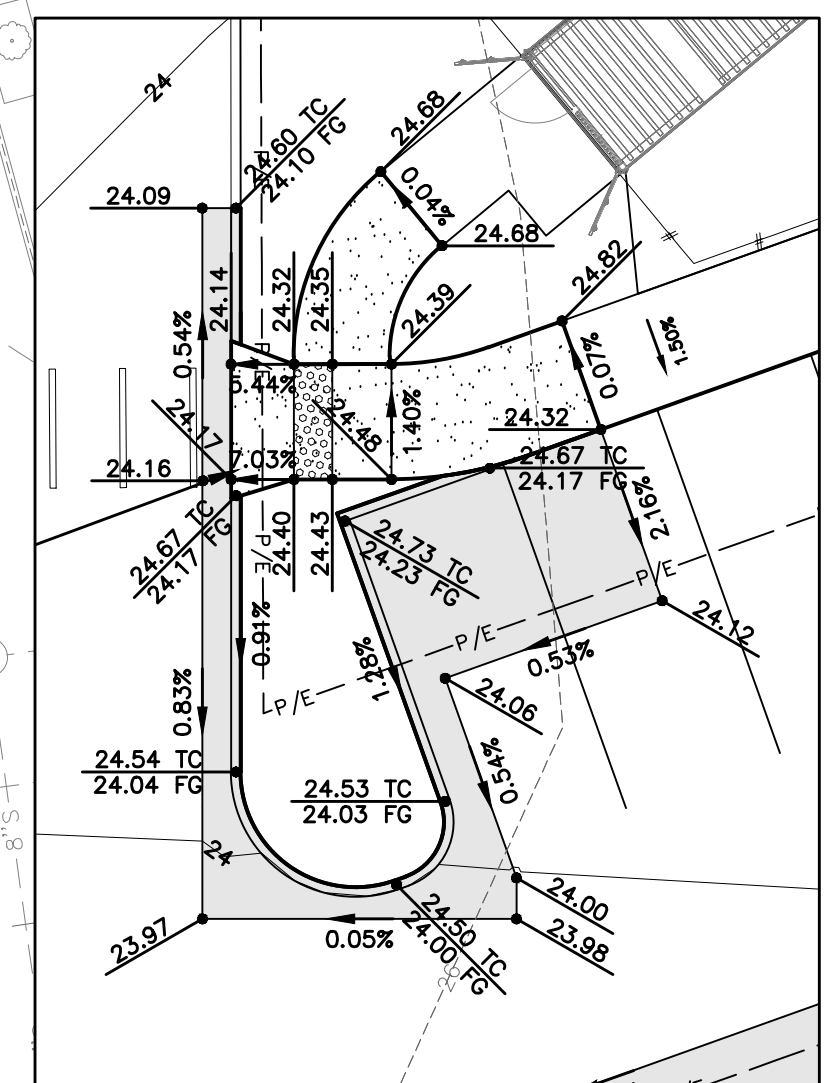
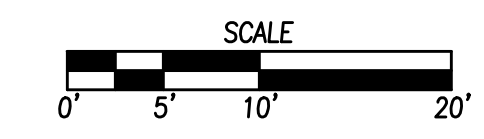
GRAY'S STATION LINC
 GRADING PLAN

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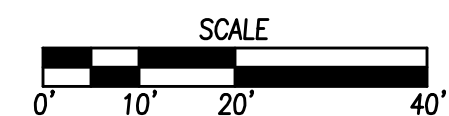
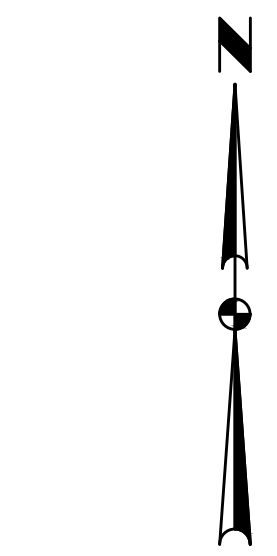
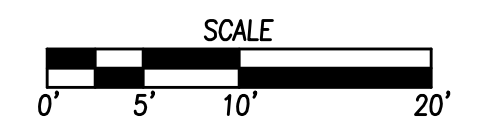
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DETAIL A



DETAIL B



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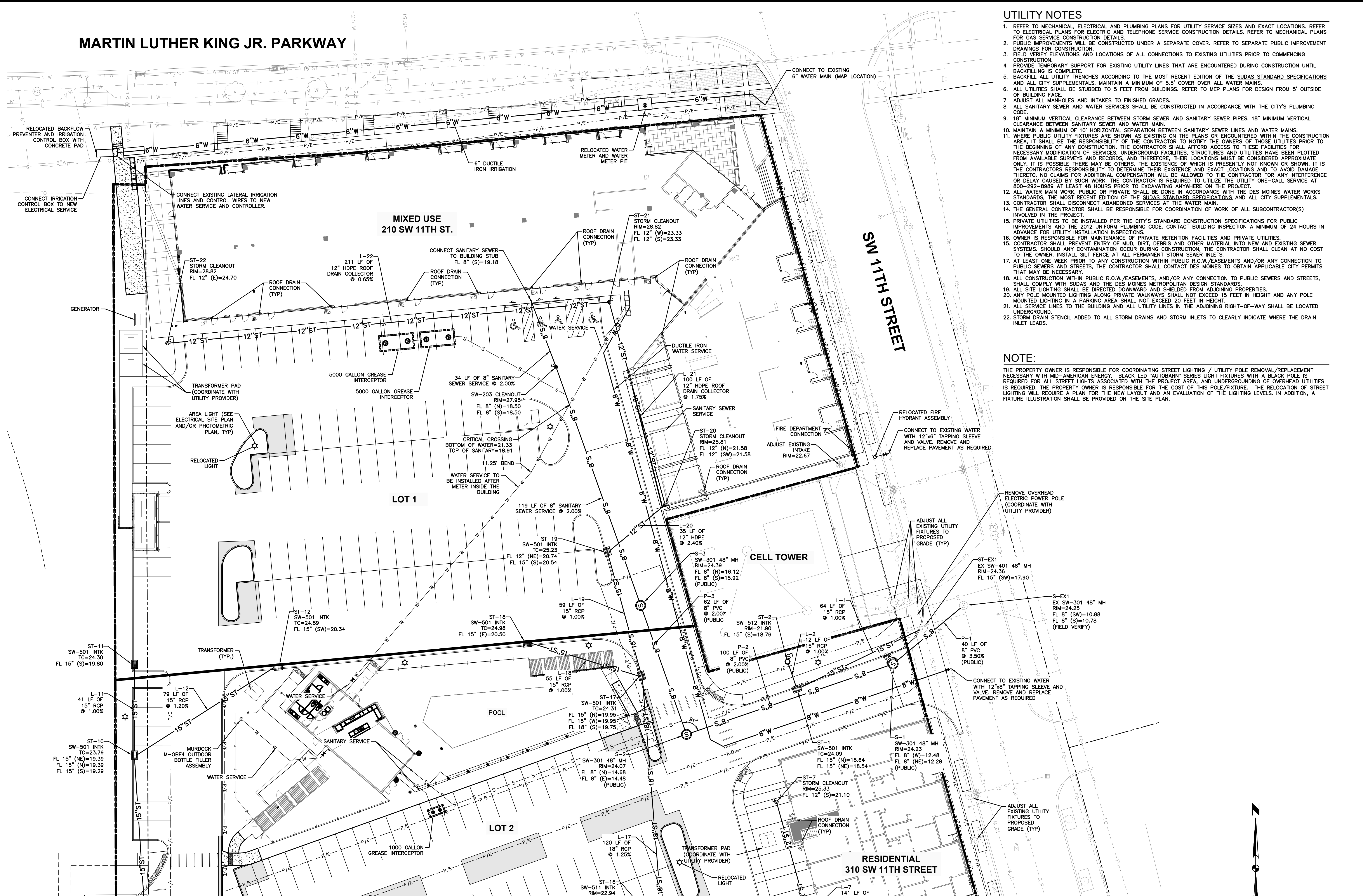


CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION LINC
GRADING PLAN

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MARTIN LUTHER KING JR. PARKWAY



UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- PUBLIC IMPROVEMENTS WILL BE CONSTRUCTED UNDER A SEPARATE COVER. REFER TO SEPARATE PUBLIC IMPROVEMENT DRAWINGS FOR CONSTRUCTION.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATER MAINS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATER MAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE DES MOINES WATER WORKS STANDARDS, THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- CONTRACTOR SHALL DISCONNECT ABANDONED SERVICES AT THE WATER MAIN.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INTAKES.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT DES MOINES TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH SUDAS AND THE DES MOINES METROPOLITAN DESIGN STANDARDS.
- ALL SITE LIGHTING SHALL BE DIRECTED DOWNWARD AND SHIELDED FROM ADJOINING PROPERTIES.
- ANY POLE MOUNTED LIGHTING ALONG PRIVATE WALKWAYS SHALL NOT EXCEED 15 FEET IN HEIGHT AND ANY POLE MOUNTED LIGHTING IN A PARKING AREA SHALL NOT EXCEED 20 FEET IN HEIGHT.
- ALL SERVICE LINES TO THE BUILDING AND ALL UTILITY LINES IN THE ADJOINING RIGHT-OF-WAY SHALL BE LOCATED UNDERGROUND.
- STORM DRAIN STENCIL ADDED TO ALL STORM DRAINS AND STORM INTAKES TO CLEARLY INDICATE WHERE THE DRAIN INLET LEADS.

NOTE:

THE PROPERTY OWNER IS RESPONSIBLE FOR COORDINATING STREET LIGHTING / UTILITY POLE REMOVAL/REPLACEMENT NECESSARY WITH MID-AMERICAN ENERGY. BLACK LED "AUTOBAHN" SERIES LIGHT FIXTURES WITH A BLACK POLE IS REQUIRED FOR ALL STREET LIGHTS ASSOCIATED WITH THE PROJECT AREA, AND UNDERGROUNDING OF OVERHEAD UTILITIES IS REQUIRED. THE PROPERTY OWNER IS RESPONSIBLE FOR THE COST OF THIS POLE/FIXTURE. THE RELOCATION OF STREET LIGHTING WILL REQUIRE A PLAN FOR THE NEW LAYOUT AND AN EVALUATION OF THE LIGHTING LEVELS. IN ADDITION, A FIXTURE ILLUSTRATION SHALL BE PROVIDED ON THE SITE PLAN.

DATE: 2022-07-11
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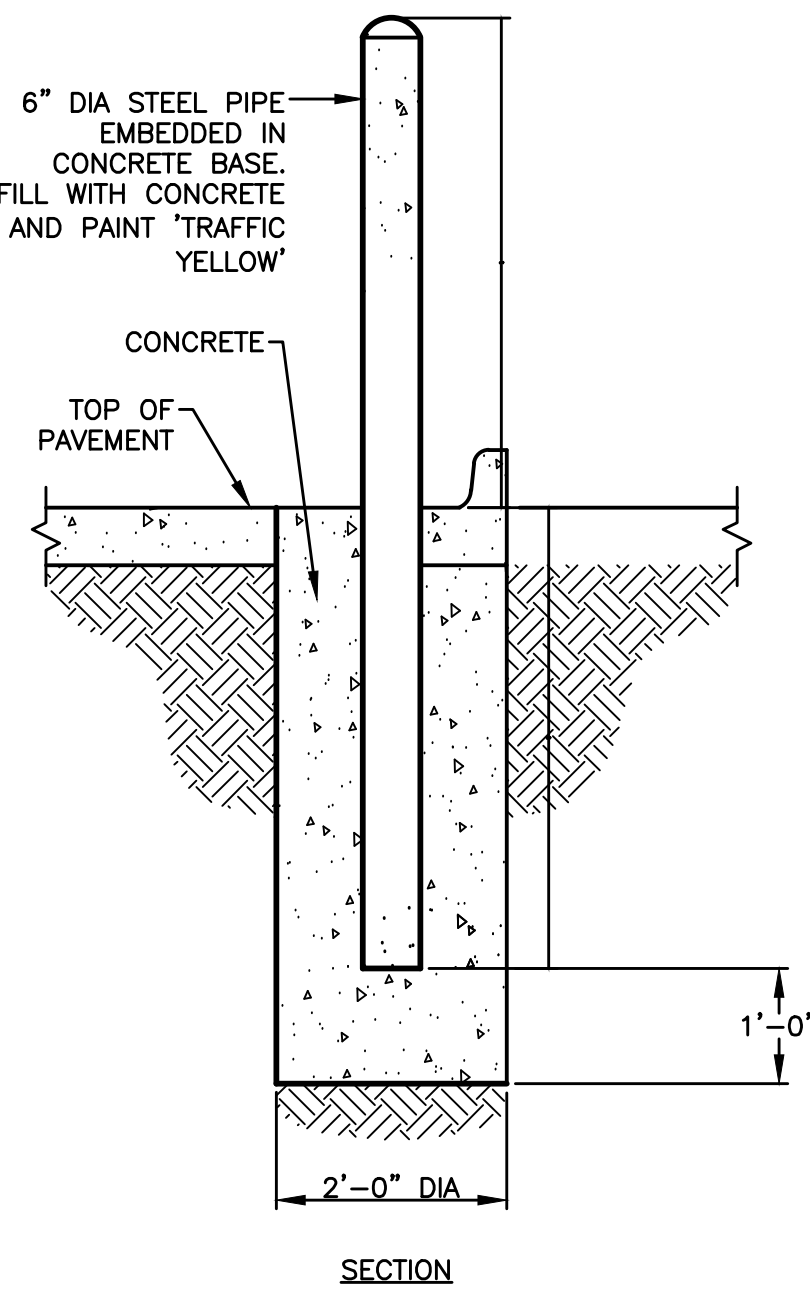
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 ENGINEER: RAH

DESIGN ADVANTAGE
 CIVIL DESIGN ADVANTAGE

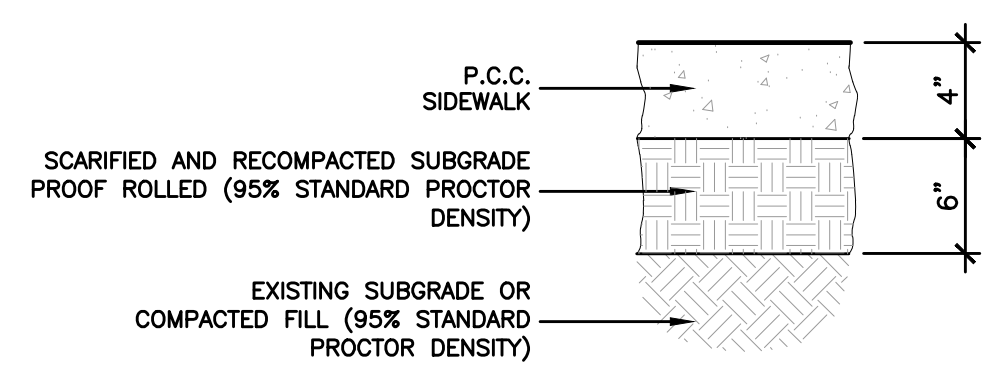
DES MOINES, IOWA

GRAY'S STATION LINC
 UTILITY PLAN

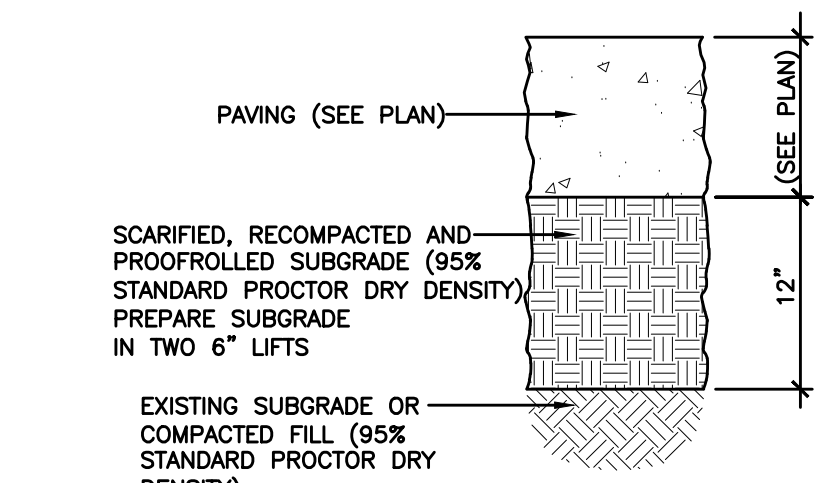
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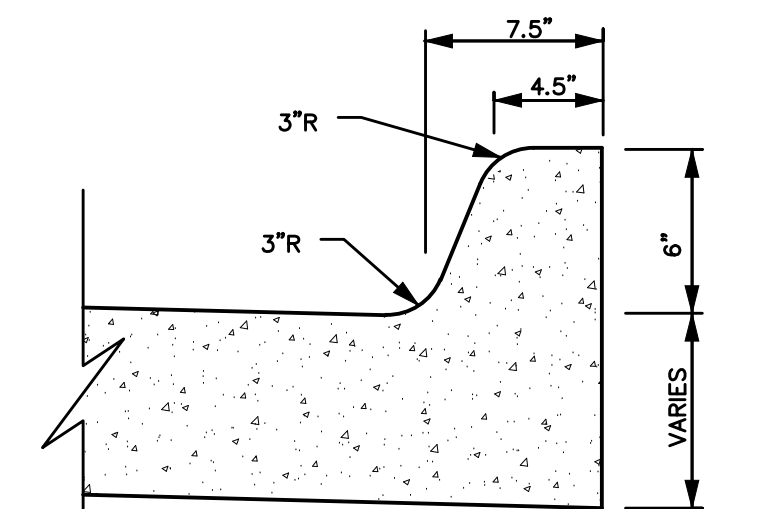
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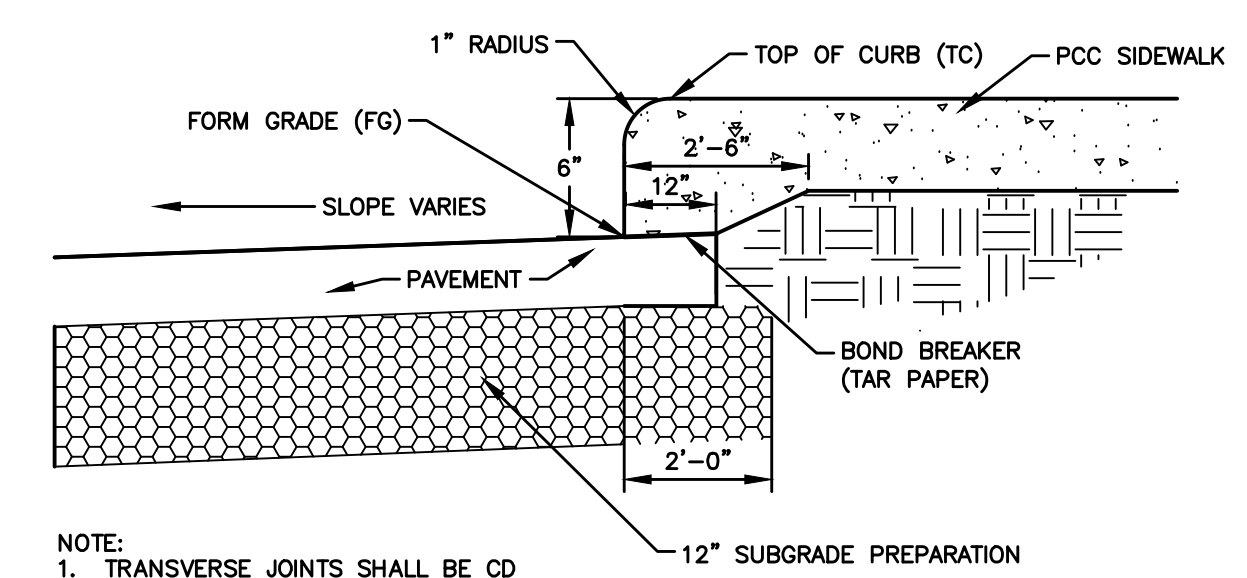
2 SIDEWALK
NOT TO SCALE



3 12" SUBGRADE PREPARATION
NOT TO SCALE

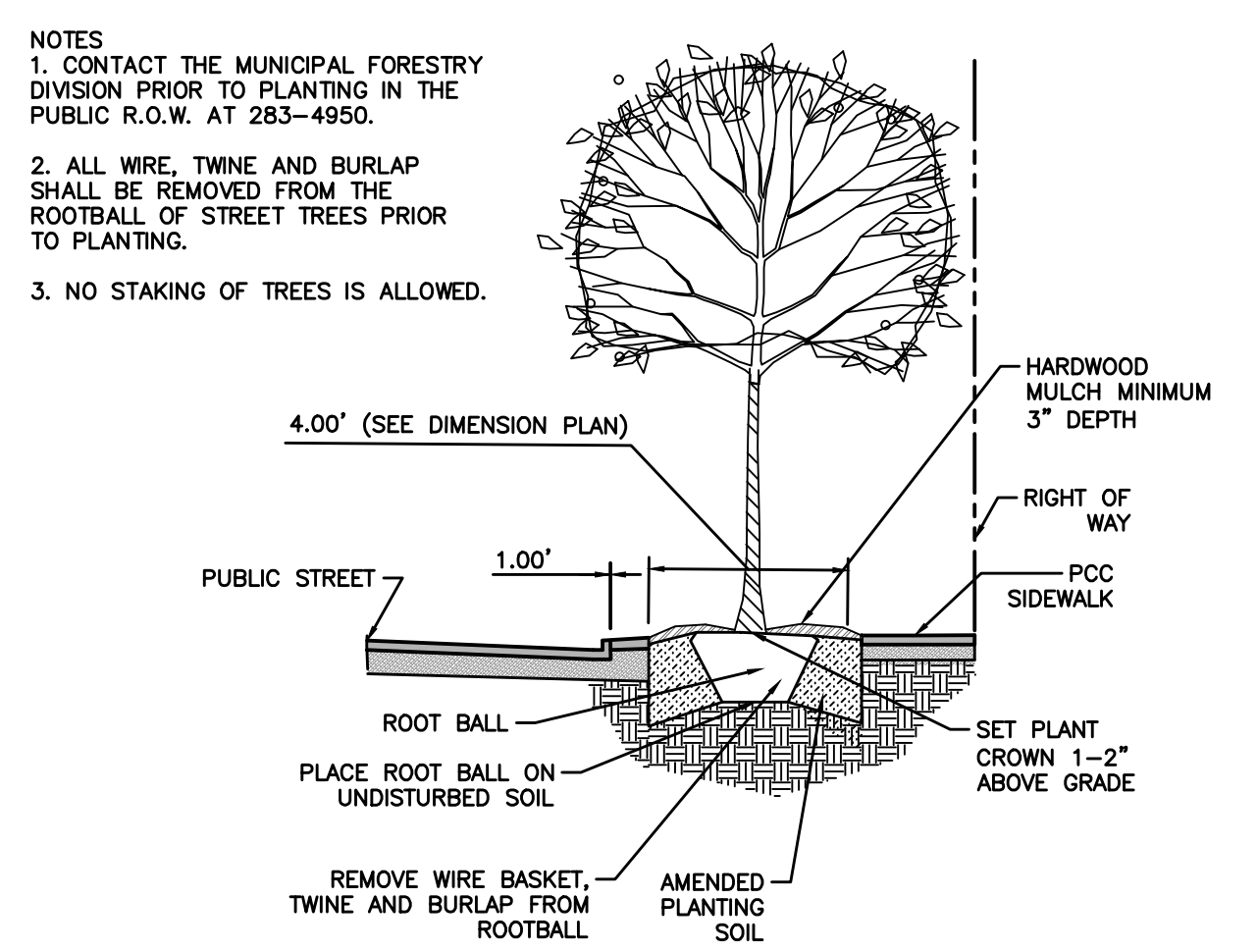


4 6" CURB
NOT TO SCALE



- NOTE:
1. TRANSVERSE JOINTS SHALL BE CD JOINTS AT 15' MAX. SPACING.
2. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-2 OR KT-2.

5 6" INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



- NOTES
1. CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4950.
2. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
3. NO STAKING OF TREES IS ALLOWED.

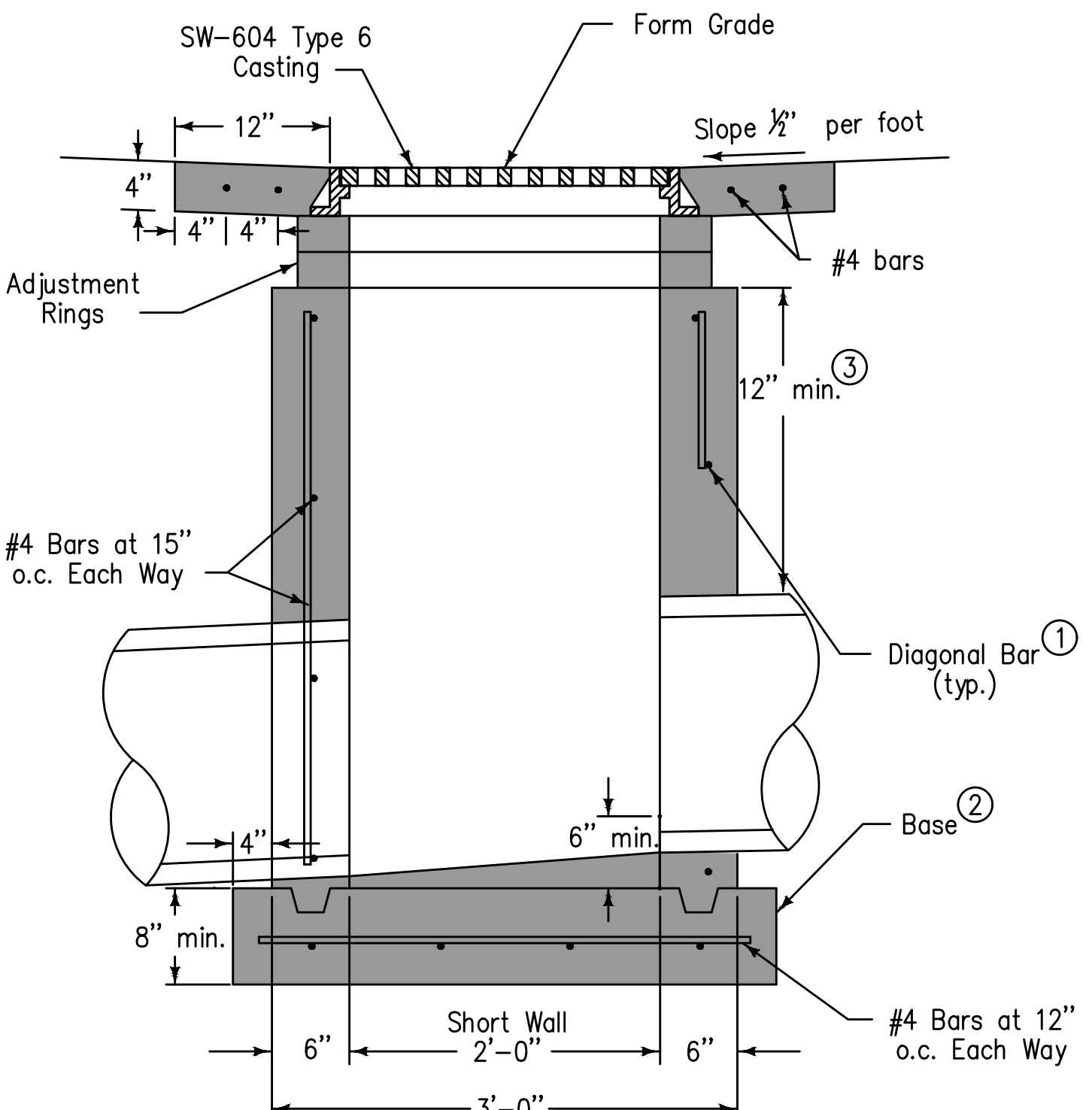
6 PARKWAY PLANTING
NOT TO SCALE

		P.O. Box 22326 Lincoln, NE 68542	PF: 402/421-9464 FX: 402/421-9479	WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com
TITLE: APEX BIKE RACK		PRODUCT NO.: AP2-02-SM	INCH TOLERANCES U.O.S. FRACTION--±1/16" ANG-----±1°	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.

*Available in powder coat and DuraCoat finishes

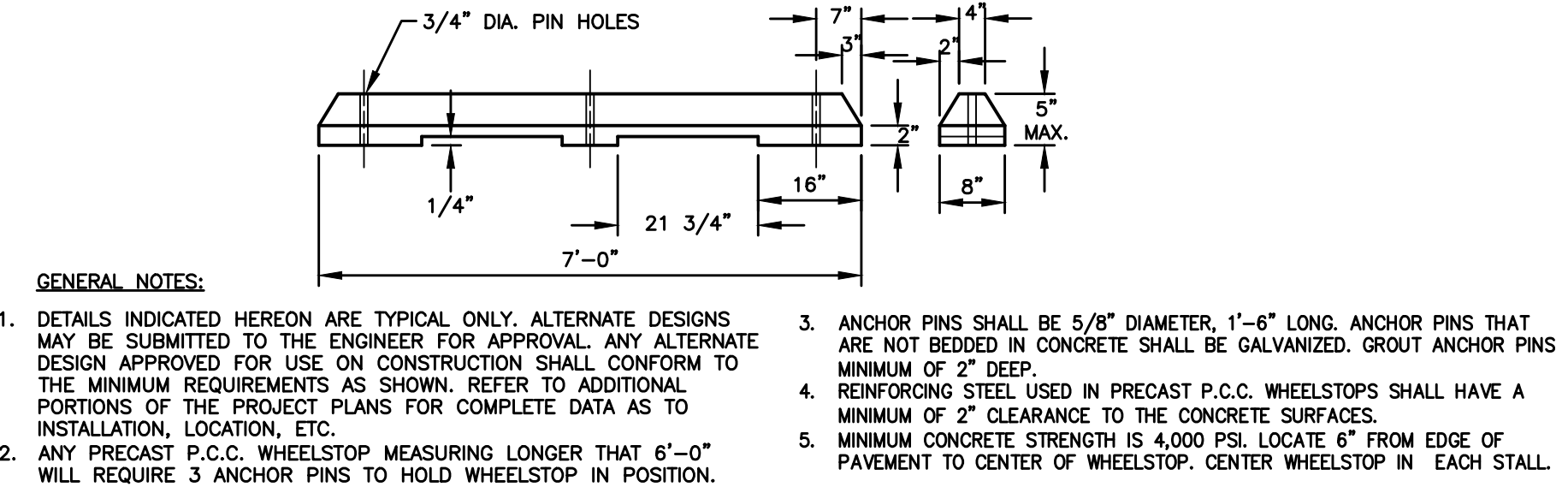
MATERIALS LIST
 (1) Tubing - Ø 2 3/8" x .154" Wall Steel Tubing
 (2) Surface Plate - Ø 7 1/2" x 1/4" Thick Steel Plate with Three Ø 9/16" Mounting Holes
 (3) Mounted with Six Ø 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

7 BIKE RACK
NOT TO SCALE



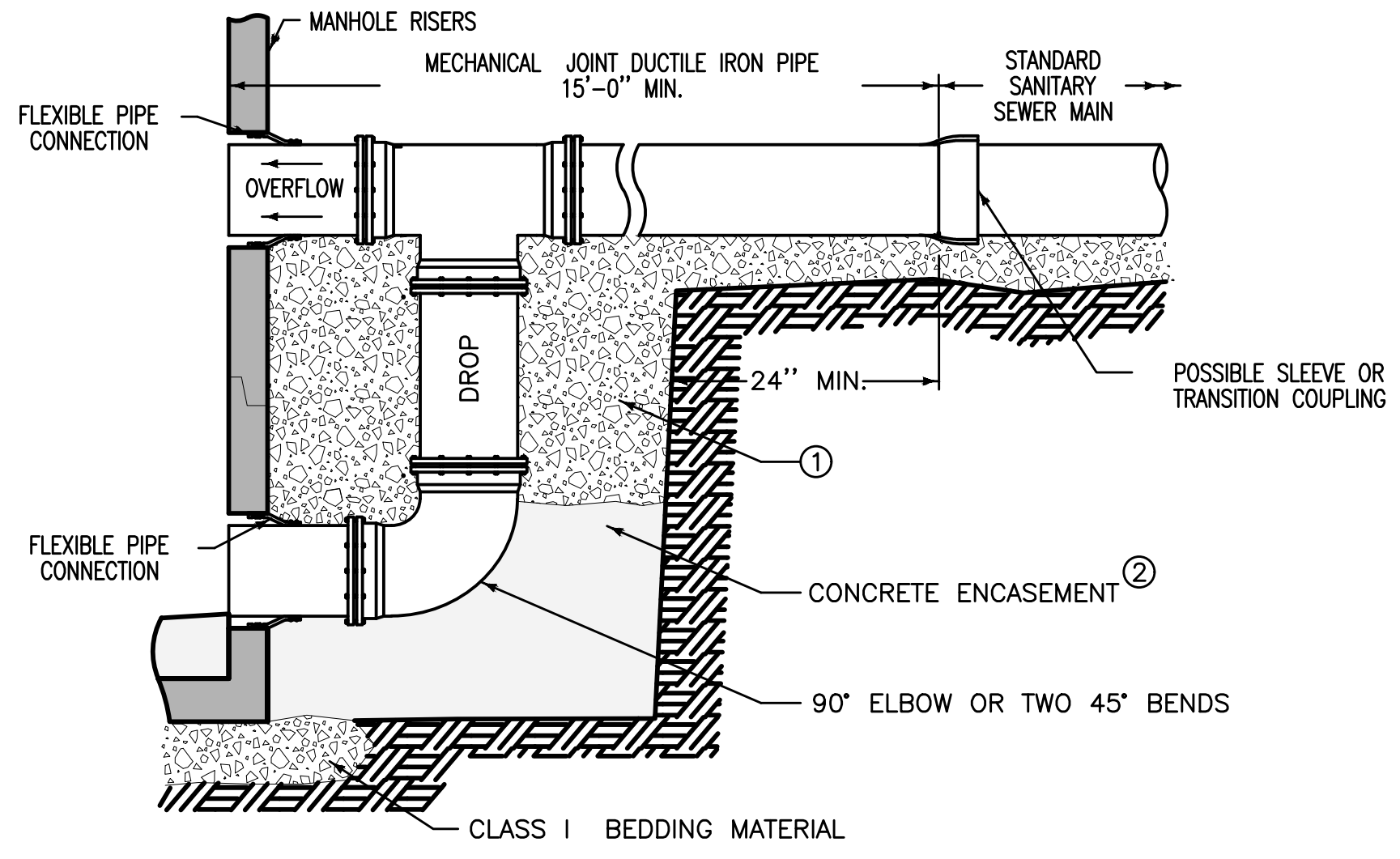
- Install four #4 diagonal bars at all pipe openings.
- Cast-in-place base shown. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.
- 12 inch minimum wall height above all pipes.

9 SW-511 INTAKE
NOT TO SCALE



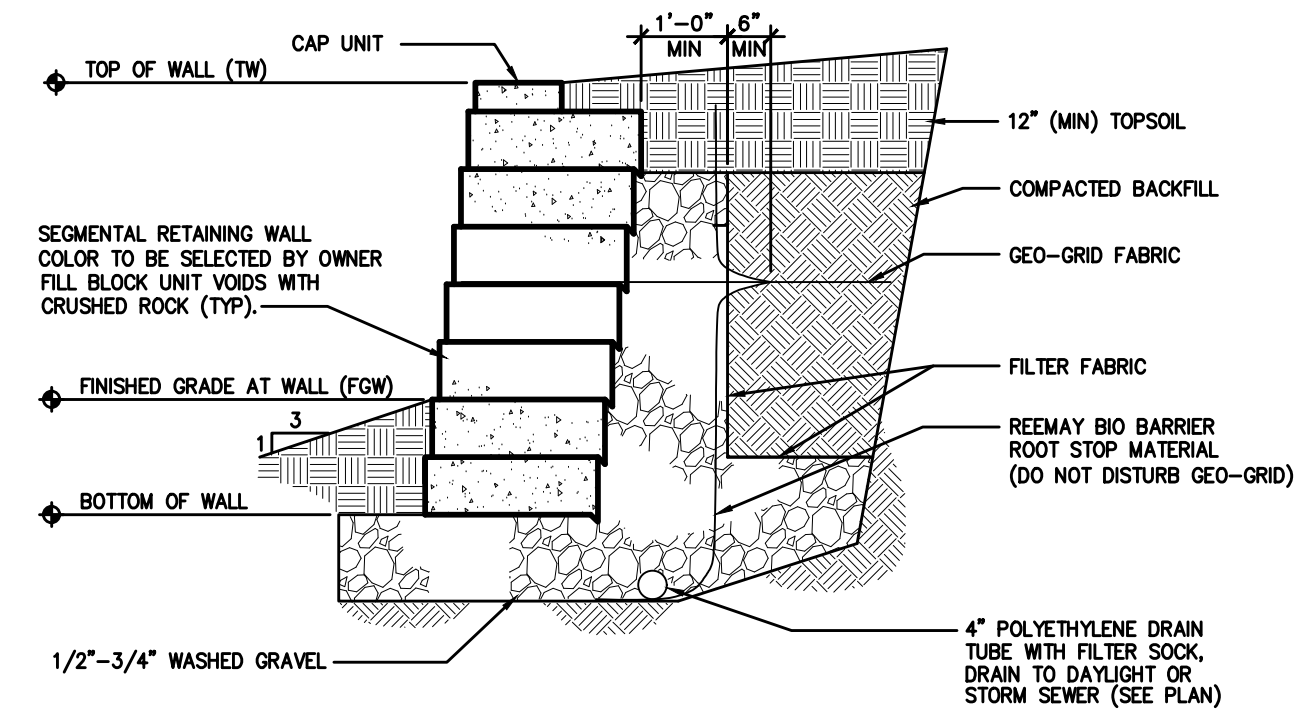
- GENERAL NOTES:
 1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
 2. ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.
 3. ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
 4. REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2' CLEARANCE TO THE CONCRETE SURFACES.
 5. MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH STALL.

8 P.C.C. WHEELSTOP
NOT TO SCALE



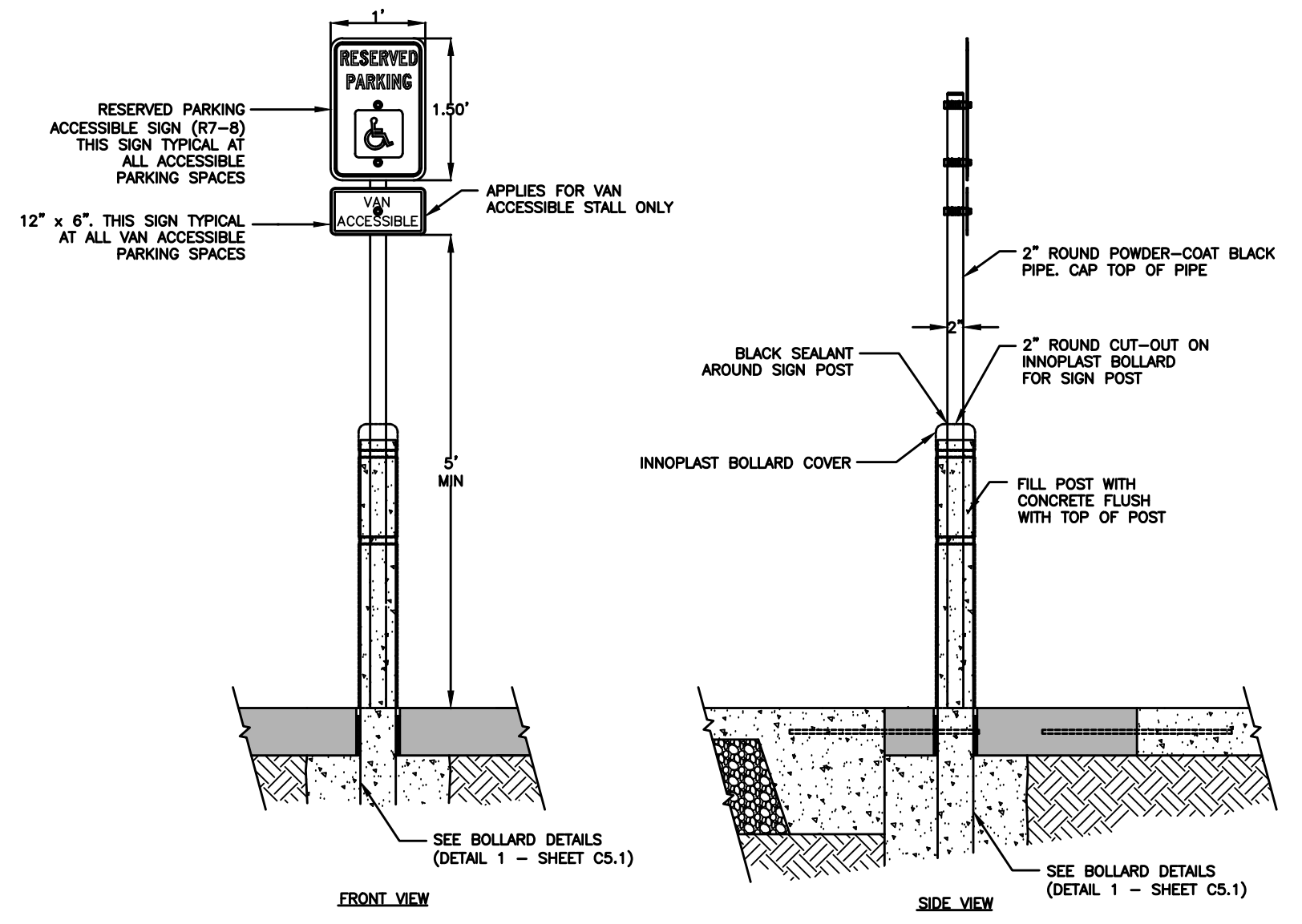
- PLACE CLASS 1 BEDDING MATERIAL, CLSM, FLOWABLE MORTAR, OR CONCRETE FROM TOP OF ELBOW TO BOTTOM OF SEWER MAIN.
- ENCASE ELBOW IN CONCRETE. 12 INCHES MINIMUM ON ALL SIDES.

10 SANITARY SEWER DROP CONNECTION
NOT TO SCALE



NOTE: CONTRACTOR TO SUBMIT FULL DESIGN DATA TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION AND ORDERING OF MATERIALS. WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF IOWA (RETAINING WALLS OVER 4' IN HEIGHT, AS MEASURED FROM BOTTOM OF FOOTING TO TOP OF WALL, WILL REQUIRE A SEPARATE PERMIT AND ENGINEERING DESIGN REVIEW BY THE CITY).

11 SEGMENTAL RETAINING WALL
NOT TO SCALE



12 BOLLARD-MOUNTED HANDICAP SIGN
NOT TO SCALE

COMMENTS:
 FILE DATE: 12/22/22
 PLOTTED BY: GARY WALL

STEP 1 - PEEL BACK ROPE/BURLAP/CAGE AND REMOVE SUFFICIENT SOIL TO EXPOSE ROOT FLARE.

STEP 2 - MEASURE FROM ROOT FLARE TO BOTTOM OF ROOT BALL.

STEP 3 - DIG HOLE TO DEPTH WHERE TOPMOST ROOTS ARE BURIED 1-2 INCHES AND THE ROOT FLARE SITS SLIGHTLY ABOVE GROUND LEVEL. DIG A HOLE 2-3 TIMES WIDER THAN THE DIAMETER OF THE ROOT BALL WITH SLOPING SIDES TO ALLOW FOR PROPER ROOT GROWTH.

STEP 4 - REMOVE LOWER THIRD OF WIRE CAGE.

STEP 5 - SET TREE IN HOLE. SUPPORT WITH SOME SOIL. ENSURE THAT IT'S STRAIGHT, THEN REMOVE ENTIRE WIRE CAGE AND TOP TWO-THIRDS OF BURLAP.

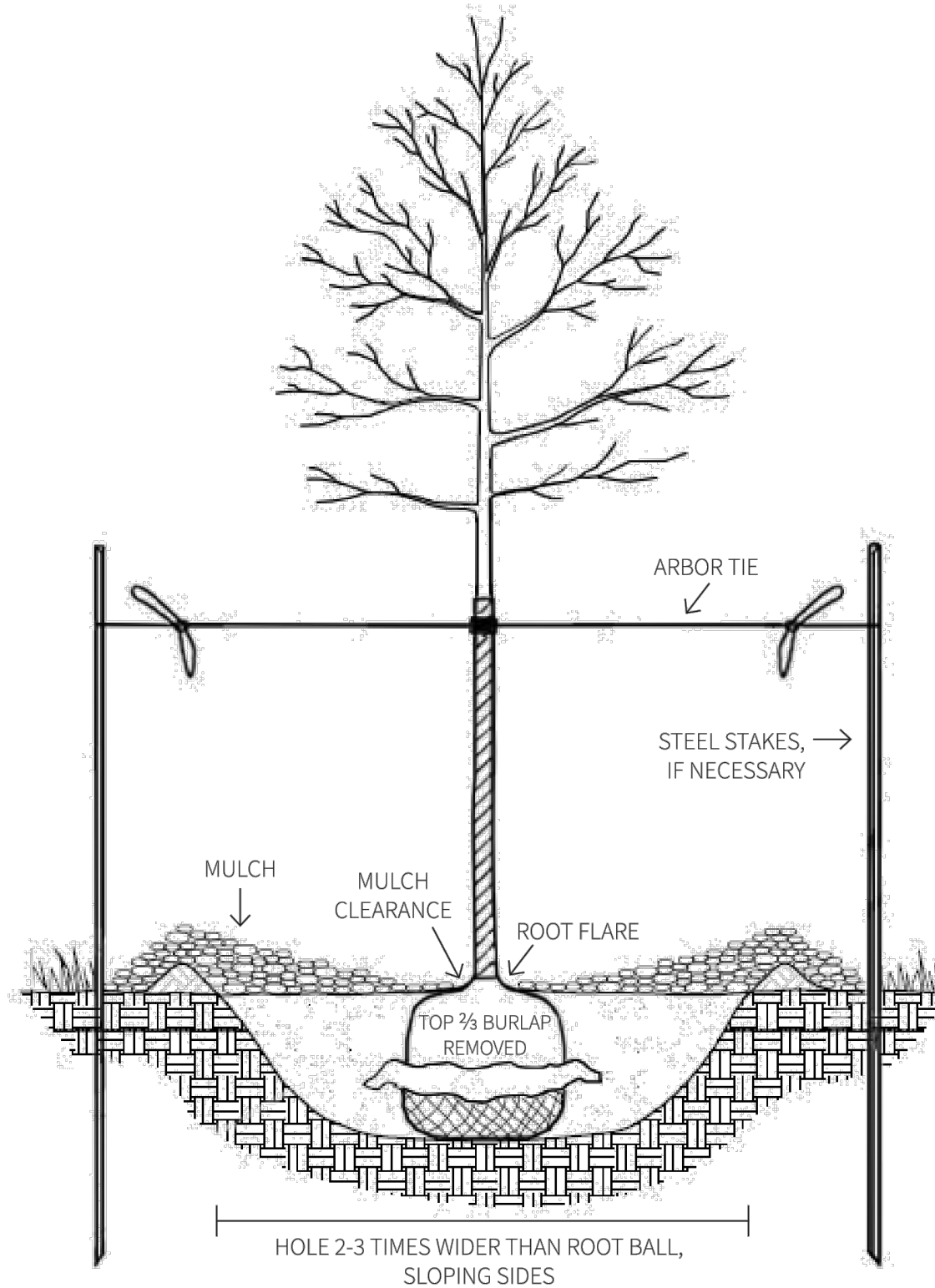
STEP 6 - BACKFILL WITH TWO-THIRDS OF LOOSE NATIVE SOIL (UNLESS IT'S ALL CLAY) AND USE WATER TO SETTLE. DO NOT TAMP OR STEP ON SOIL.

STEP 7 - BACKFILL BALANCE AND WATER AGAIN. EXCESS SOIL MAY BE USED TO CREATE A BERM/SAUCER OUTSIDE OF ROOT BALL.

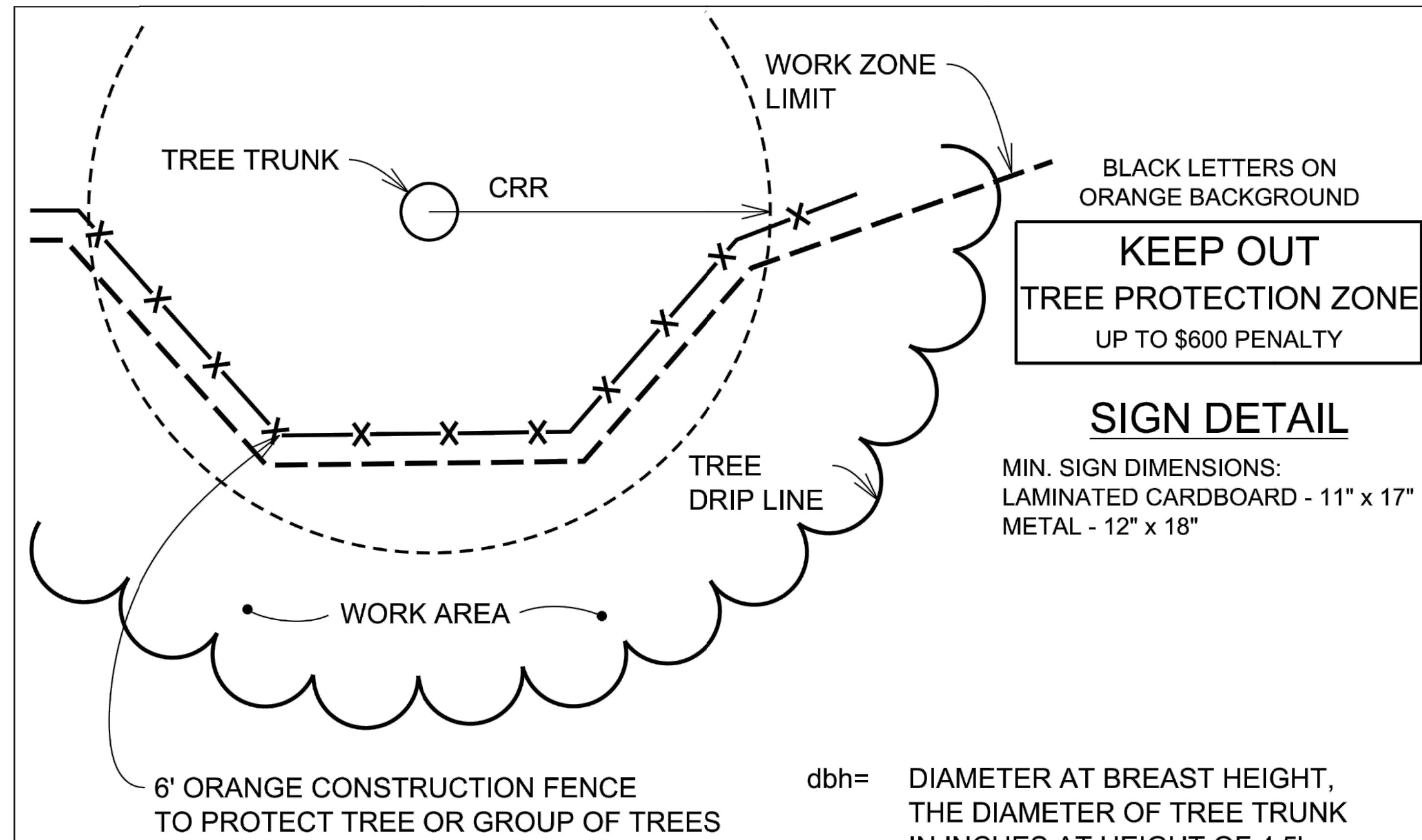
STEP 8 - ADD 2-4 INCHES OF WOOD MULCH, LEAVING A 1- TO 2-INCH CLEARANCE BETWEEN THE MULCH AND THE TRUNK.

STEP 9 - WATER A FINAL TIME.

STEP 10 - IF NECESSARY, PLACE TWO OPPOSING STEEL T-STAKES OUTSIDE THE ROOT BALL WITH ARBOR TIE SECURING TREE. TIES PREFERRED ON LOWER HALF OF TRUNK TO ALLOW MOVEMENT.

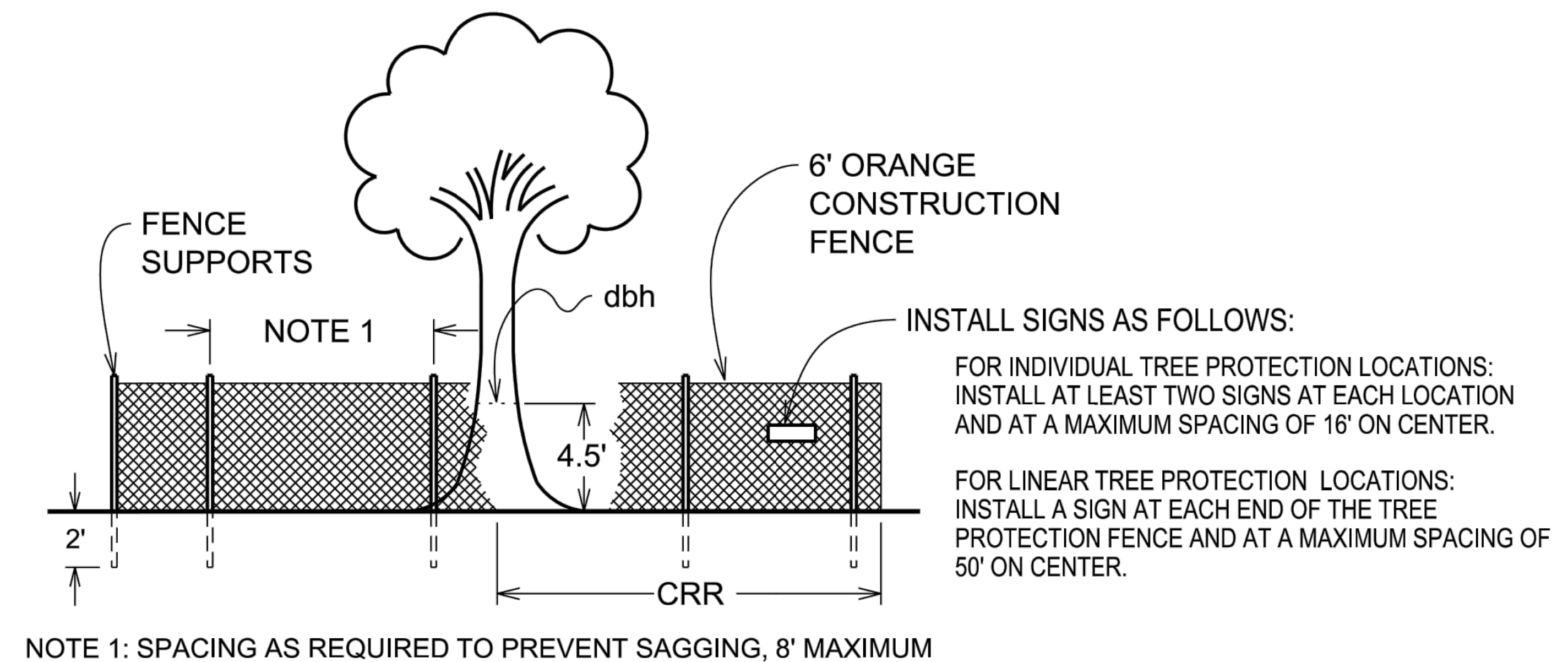


13 CITY PLANTING
NOT TO SCALE



dbh= DIAMETER AT BREAST HEIGHT, THE DIAMETER OF TREE TRUNK IN INCHES AT HEIGHT OF 4.5' ABOVE NATURAL GROUND.

CRR= CRITICAL ROOT RADIUS IS THE DISTANCE IN FEET EQUAL TO THE dbh IN INCHES. THIS IS THE DESIRED DISTANCE FROM THE TREE TRUNK AT WHICH FENCING IS INSTALLED.



TYPICAL TREE PROTECTION FENCING - WORK ZONE AREA

FIGURE TP-1

Supplemental Specifications for Tree Protection

14 TREE PROTECTION
NOT TO SCALE

MARTIN LUTHER KING JR. PARKWAY

GENERAL NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE MOST RECENT EDITION OF THE SUDAS STANDARDS SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
- SHREDDED HARDWOOD MULCH WITH WEED PREVENTER FABRIC SHALL BE PLACED IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE 4" SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4950.
- ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
- NO STAKING OF TREES IS ALLOWED.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL
BF	16	Dakota Pinnacle Asian White Birch	Betula platyphylla 'Fargo' TM	B&B	2"
GD	25	Honey Locust Street Keeper	Gleditsia triacanthos 'Draves'	B&B	2"
MG	2	Galaxy Magnolia	Magnolia x 'Galaxy'	B&B	1.5"
SR	5	Japanese Tree Lilac	Syringa reticulata	B&B	1.5"
TS	20	Silver Linden	Tilia tomentosa	B&B	2"
UD	6	Dynasty Elm	Ulmus parvifolia 'Dynasty'	B&B	1.5"
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	
BM	30	Green Tower Boxwood	Buxus sempervirens 'Monrue'	3 GAL	
BG	62	Boxwood Green Velvet	Buxus x 'Green Velvet'	3 GAL	
JF	15	Sea Green Juniper	Juniperus chinensis 'Sea Green'	3 GAL	
JB	11	Blue Chip Juniper	Juniperus horizontalis 'Blue Chip'	3 GAL	
PD	13	Diablo Purple Ninebark	Physocarpus opulifolius 'Monlo' TM	3 GAL	
PM	14	Dwarf Mugo Pine	Pinus mugo 'Compacta'	3 GAL	
PP	56	Pink Beauty Potentilla	Potentilla fruticosa 'Pink Beauty'	3 GAL	
PO	24	Luyken's Laurel	Prunus laurocerasus 'Otto Luyken'	3 GAL	
SC	52	Goldflame Spirea	Spiraea x bumalda 'Goldflame'	3 GAL	
WA	28	Weigela Wine & Roses	Weigela florida 'Alexandra' TM	1 GAL	
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	
CK	179	Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	
DP	11	Pixie Fountain Tufted Hair Grass	Deschampsia cespitosa 'Pixie Fountain'	1 GAL	
FE	179	Elijah's Blue Fescue	Festuca cinerea 'Elijah's Blue'	1 GAL	
HB	11	Blue Oat Grass	Helictotrichon sempervirens 'Blue Oats'	1 GAL	
MS	81	Adagio Eulalia Grass	Miscanthus sinensis 'Adagio'	1 GAL	
MP	7	Purple Silver Grass	Miscanthus sinensis 'Purpurescens'	1 GAL	
HM	36	Heavy Metal Blue Switch Grass	Panicum virgatum 'Heavy Metal'	1 GAL	
PH	18	Hamelin Fountain Grass	Pennisetum alopecuroides 'Hamelin'	1 GAL	
SL	132	Little Bluestem Grass	Schizachyrium scoparium	1 GAL	
SH	285	Prairie Dropseed	Sporobolus heterolepis	1 GAL	
ANNUALS/PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	
CA	6	American Dream Tickseed	Coreopsis rosea 'American Dream'	4" Pot	
EP	9	Prairie Splendor Coneflower	Echinacea purpurea 'Prairie Splendor'	4" Pot	
NW	14	Walkers Low Catmint	Nepeta x foassenii 'Walkers Low'	4" Pot	
RS	15	Indian Summer Black-Eyed Susan	Rudbeckia hirta 'Indian Summer'	4" Pot	
SA	6	Autumn Joy Stonecrop	Sedum spectabile 'Autumn Joy'	4" Pot	

INTERIOR PARKING CALCULATIONS

PARKING SPACES PROVIDED: 233 SPACES

REQUIRED	PROPOSED	EXISTING	NET
PLANTING BEDS (1/ 20 SPACES):	12 PLANTING BEDS	18 PLANTING BEDS	-4 PLANTING BEDS
TREES OVERSTORY (1/ PLANTING BED):	12 TREES	16 TREES	---
SHRUBS (3/ PLANTING BED):	36 SHRUBS	368 SHRUBS	-57 SHRUBS

PERIMETER PARKING CALCULATIONS

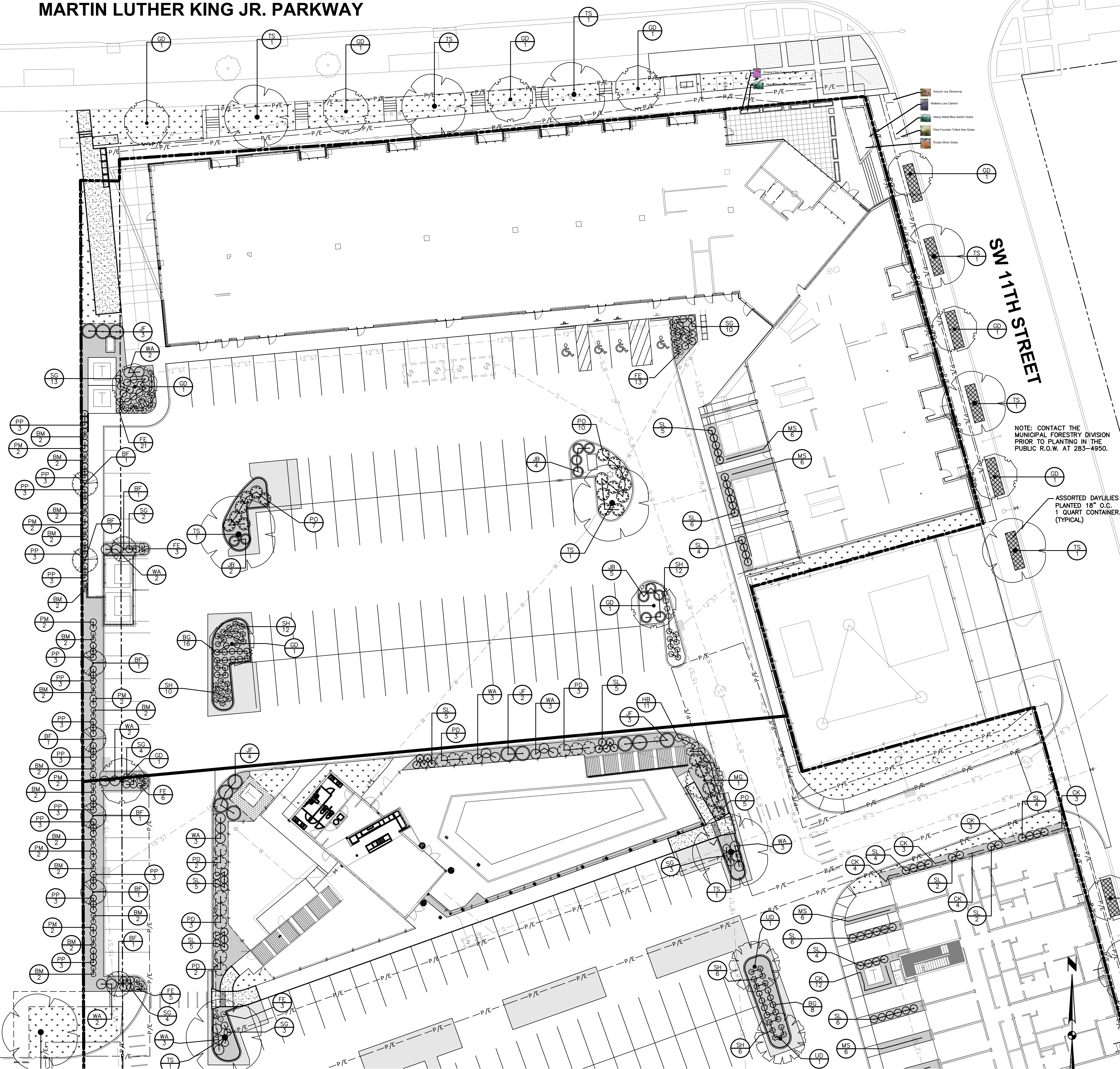
WEST PARKING PERIMETER: 240 LF

REQUIRED	PROVIDED
TREES (1/ 40 LF):	6 TREES
SHRUBS (10/ 40 LF):	60 SHRUBS
TREES:	6 TREES
SHRUBS:	64 SHRUBS

PARKWAY PLANTINGS CALCULATIONS

MARTIN LUTHER KING JR. PARKWAY: 242 LF
SOUTHWEST 11TH STREET: 486 LF
TUTTLE STREET: 400 LF

REQUIRED	PROVIDED
MLK PKWY (1/ 30 LF):	8 TREES
SW 11TH ST (1/ 30 LF):	16 TREES
TUTTLE ST (1/ 30 LF):	13 TREES
MLK PKWY:	8 TREES
SW 11TH ST:	16 TREES
TUTTLE ST:	13 TREES



NOTE: CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4950.

ASSORTED DAYLILIES PLANTED 18" O.C. 1 QUART CONTAINER. (TYPICAL)

COMMENT:
 DATE: 7/27/2022 4:34 PM
 FILE: 2022-07-11
 PLOTTED BY: GARY HALL

REVISIONS
 PARKING AMENDMENT SUBMITTAL #2
 PARKING LOT PLAN AMENDMENT
 DATE: 2022-07-11
 2022-06-08

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

EICH
 ENGINEER-RAH

CIVIL DESIGN ADVANTAGE

DES MOINES, IOWA

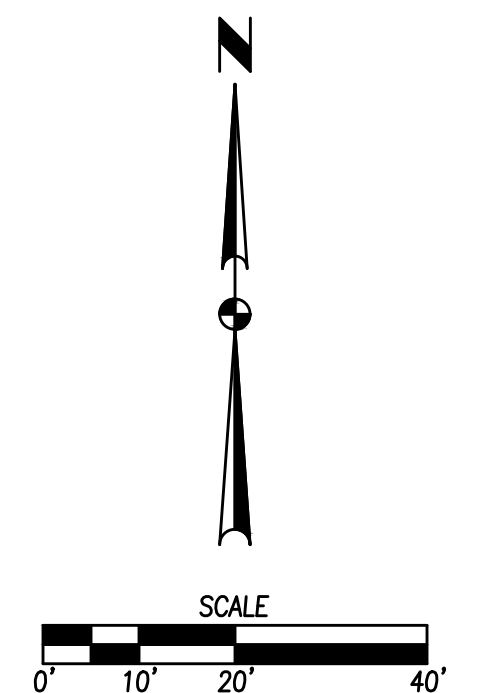
GRAY'S STATION LINC
 LANDSCAPE PLAN

L1.1
 2205.327



ASSORTED DAYLILIES
PLANTED 18" O.C.
1 QUART CONTAINER
(TYPICAL)

NOTE: CONTACT THE
MUNICIPAL FORESTRY DIVISION
PRIOR TO PLANTING IN THE
PUBLIC R.O.W. AT 283-4950.



FILE NAME: 2205.327\2205.327\2205.327.dwg
 DATE: 7/27/22
 PLOTTED BY: CORY WALL, PLOTTED DATE: 7/27/2022 4:34 PM
 COMMENT: ENG.

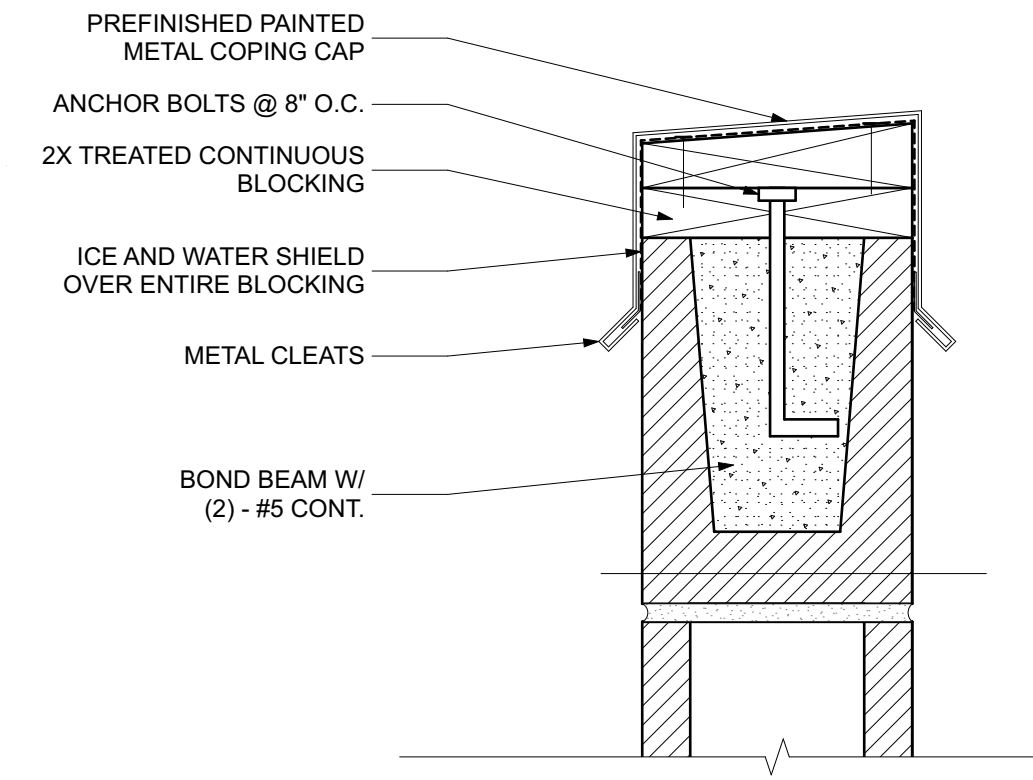
REVISIONS	DATE
PARKING AMENDMENT SUBMITTAL #2	2022-07-11
PARKING LOT PLAN AMENDMENT	2022-06-08

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: RAH EICH

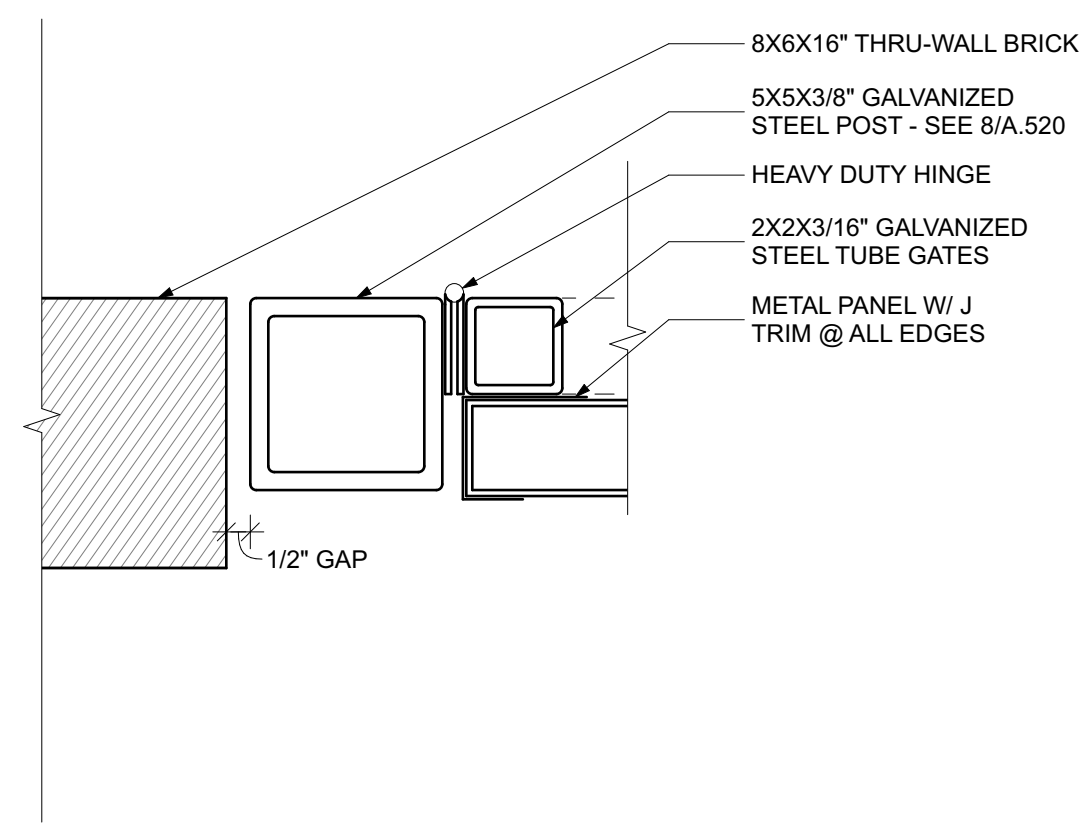


CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

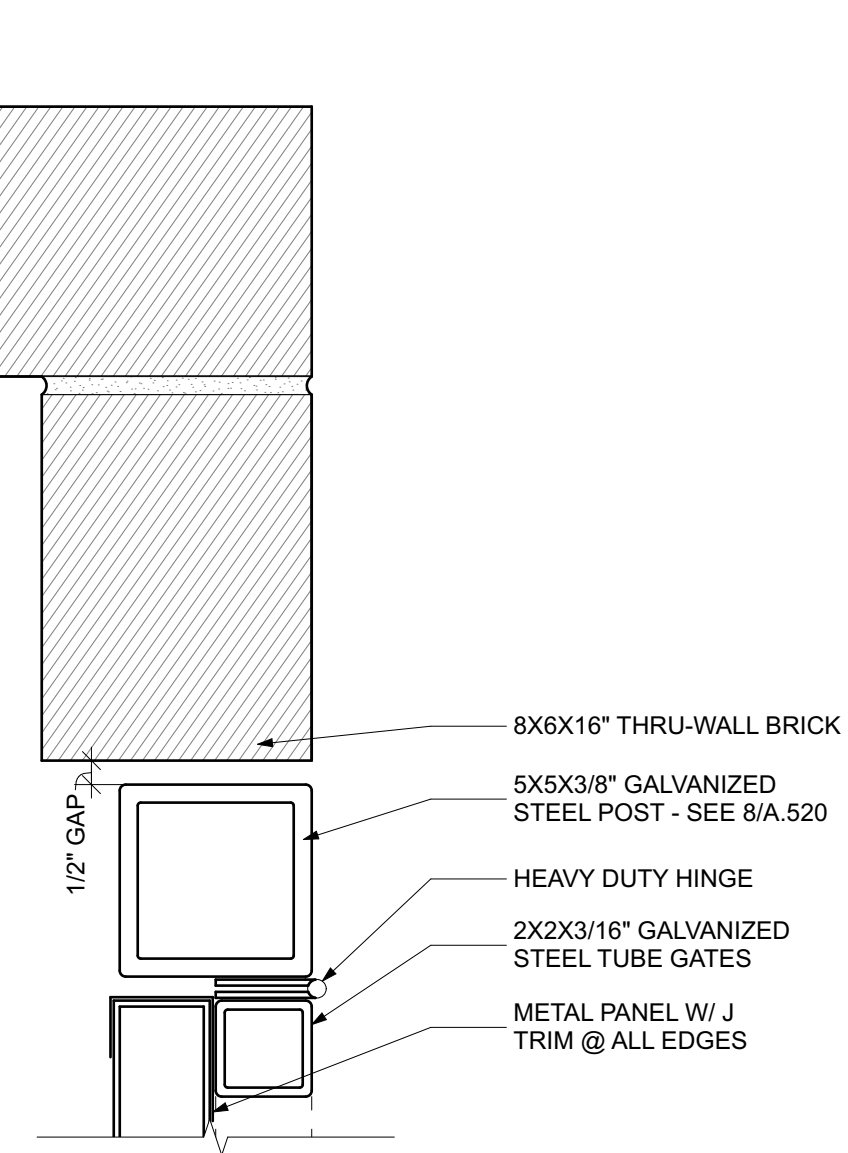
GRAY'S STATION LINC LANDSCAPE PLAN



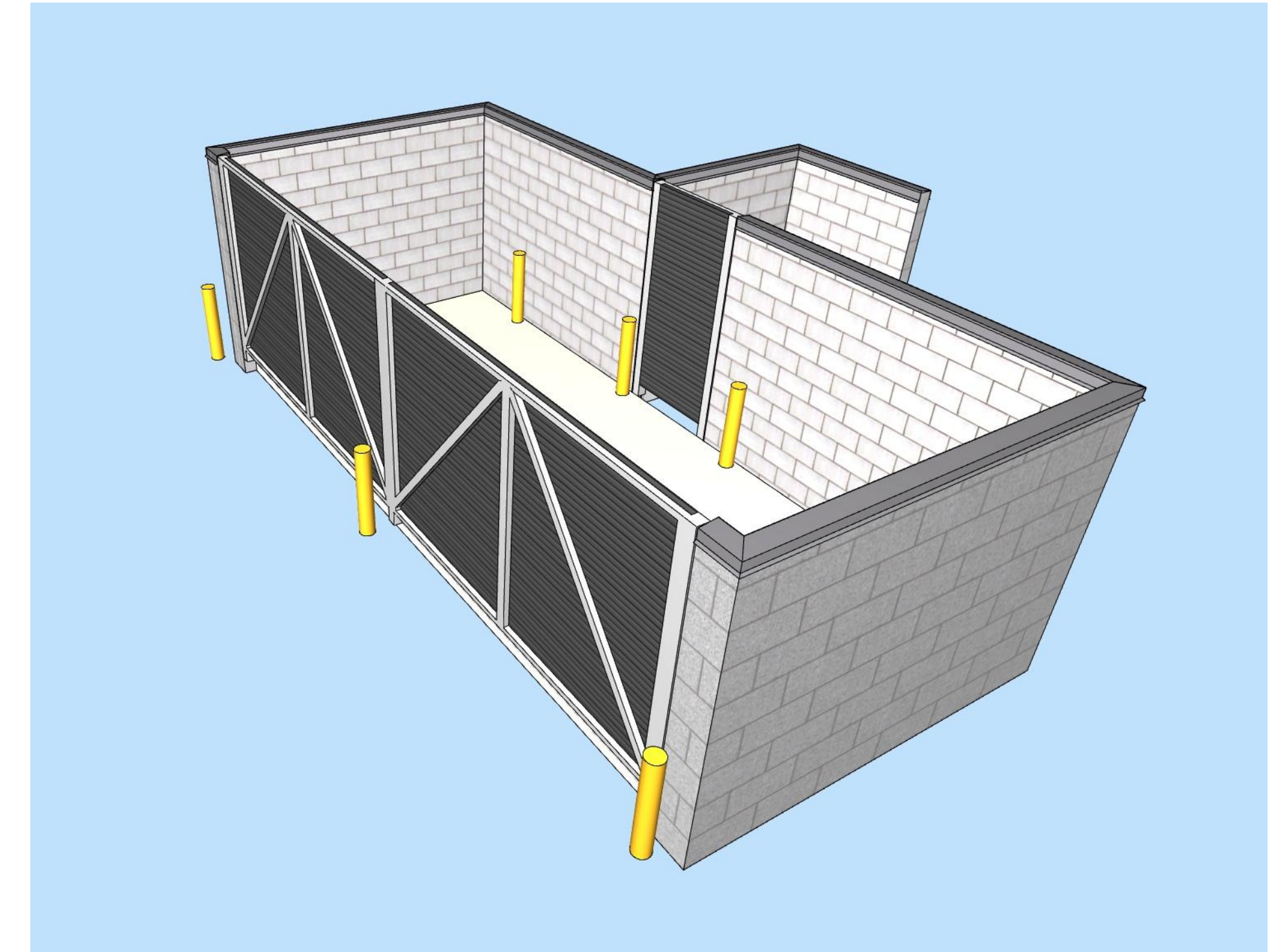
13
A.520 COPING DETAIL
SCALE: 3" = 1'-0"



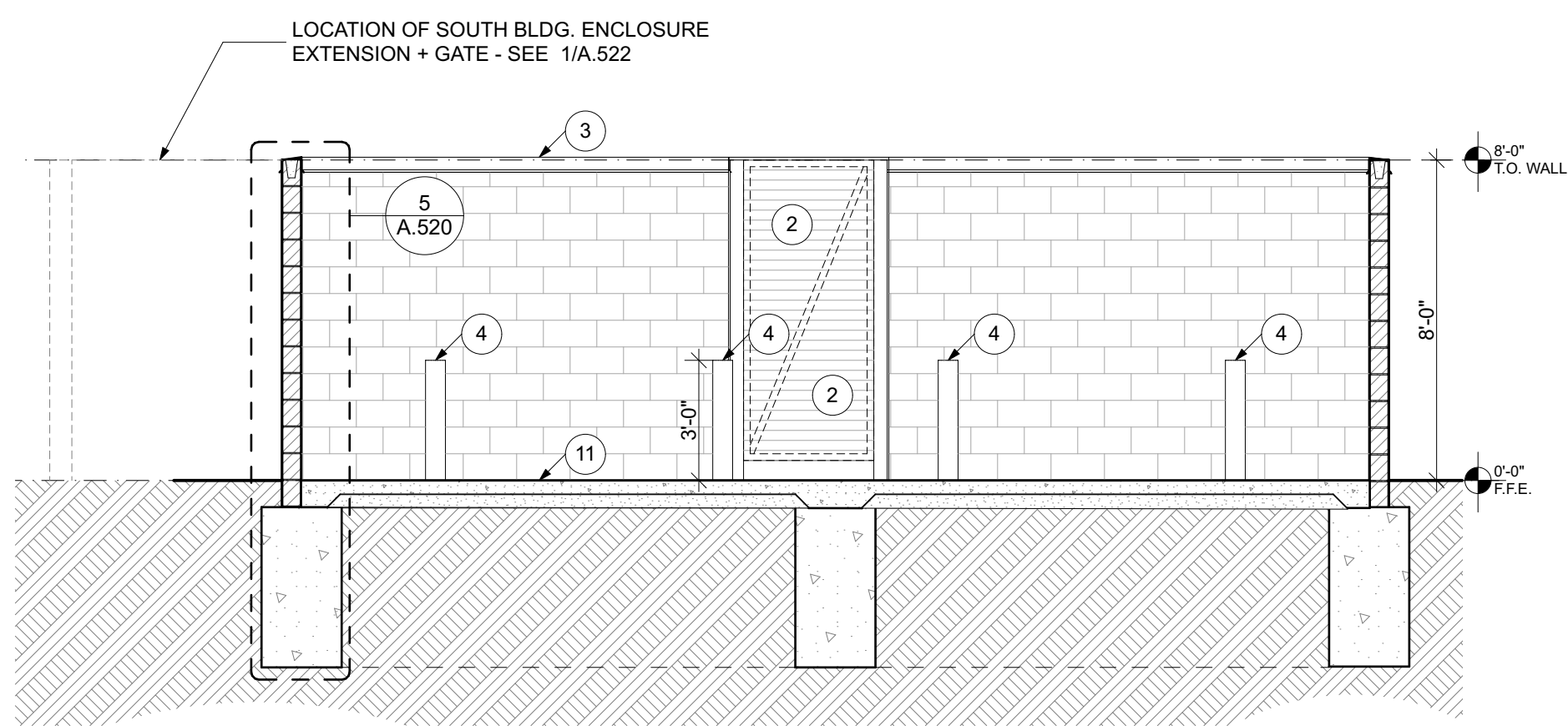
12
A.520 PLAN DETAIL 02
SCALE: 3" = 1'-0"



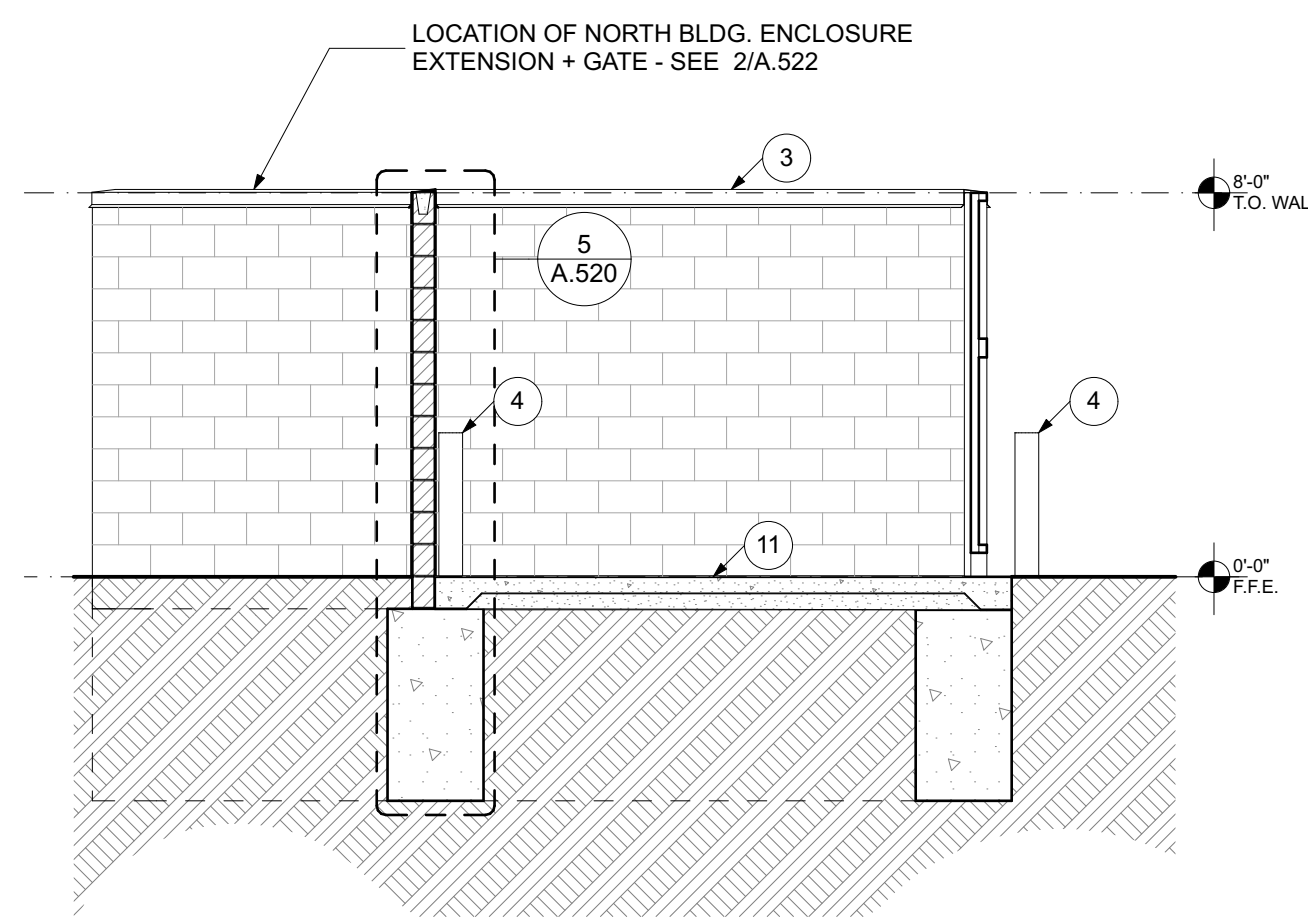
11
A.520 PLAN DETAIL 01
SCALE: 3" = 1'-0"



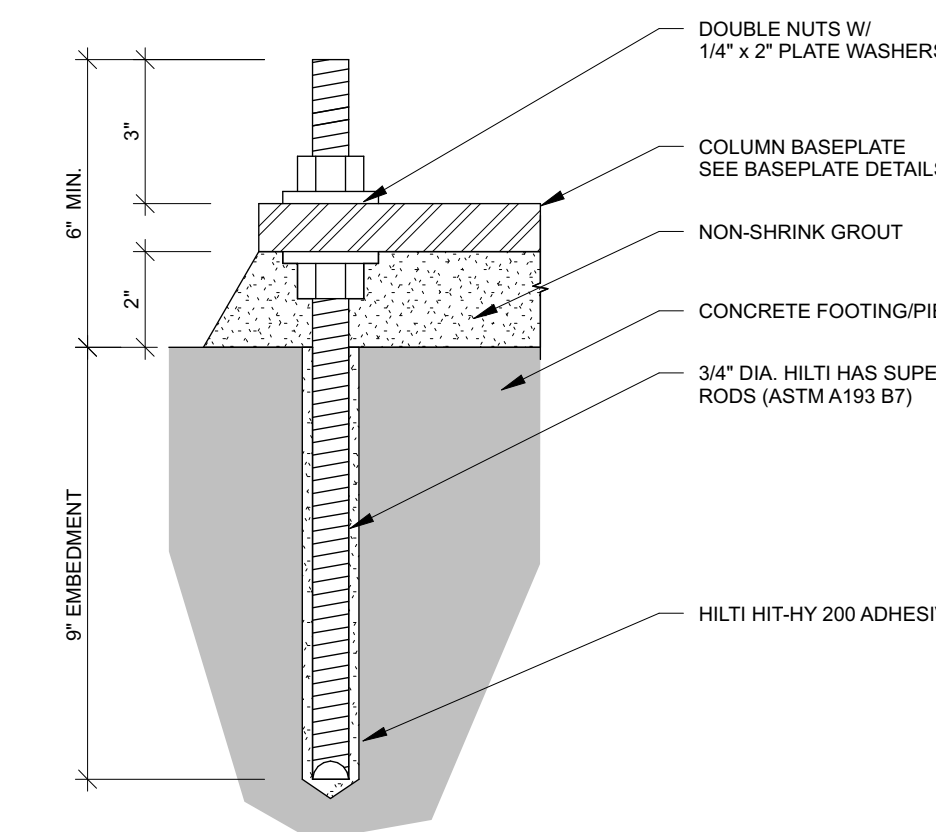
TRASH ENCLOSURE VIEW



10
A.520 LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



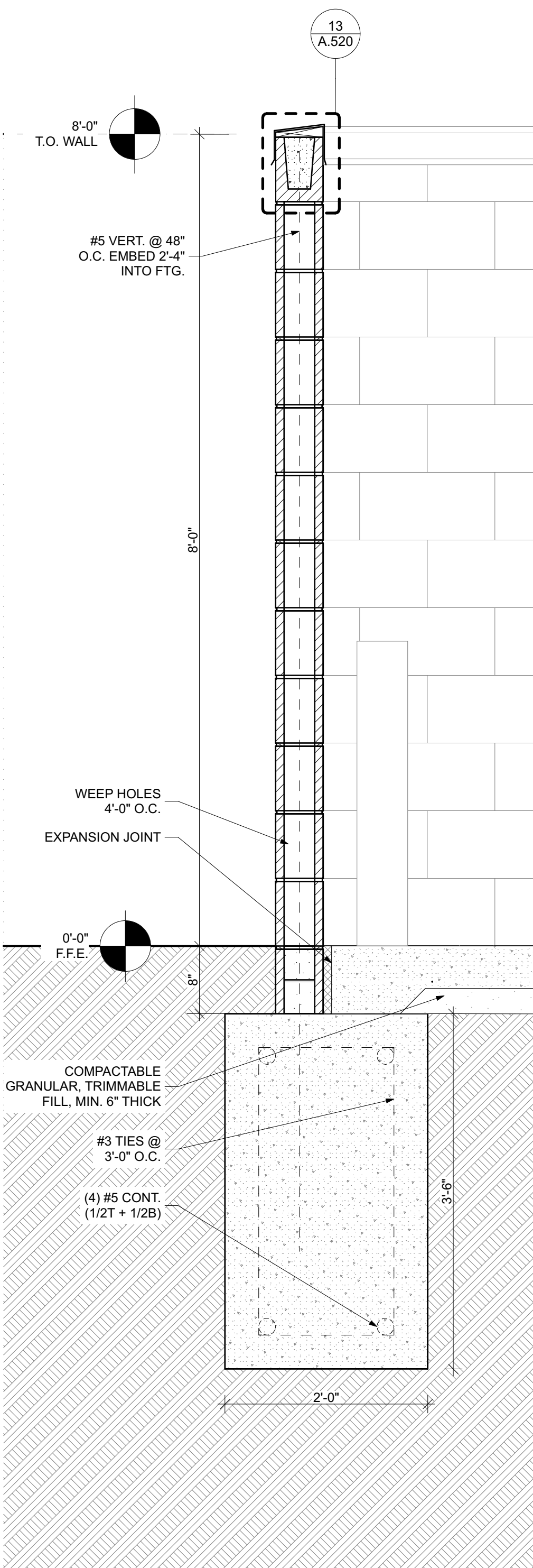
9
A.520 TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



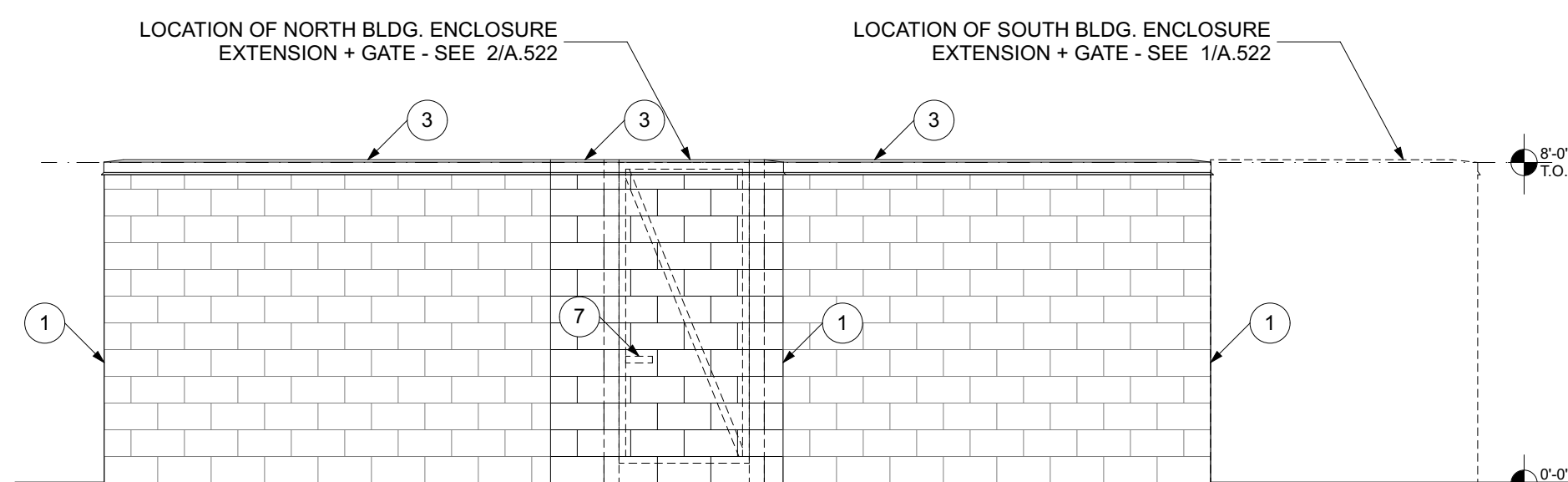
8
A.520 ANCHOR ROD SETTING
SCALE: 3" = 1'-0"

TRASH ENCLOSURE KEYNOTES

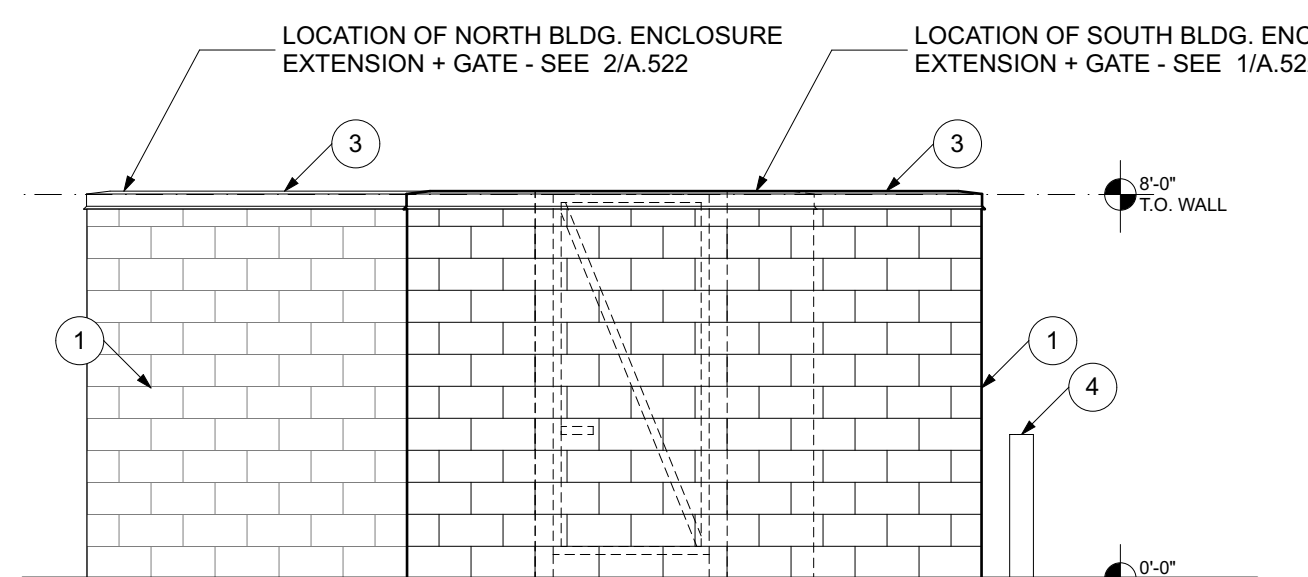
1. 8x6x16 STRUCTURAL BRICK - SEE SPEC.
2. METAL PANEL (MPF)
3. METAL COPING CAP
4. STEEL ROLLERS, 6" STEEL PIPE W/ FROST FTG. FILL W/ CONCRETE, PAINT
5. 4 YD DUMPMETER
6. HEAVY DUTY HINGE-REFER TO SPECIFICATIONS
7. HEAVY DUTY LATCH-REFER TO SPECIFICATIONS
8. CONE BOLT - HOOKER FENCE CO. 30707 CONE BOLT 5000-15
9. 8 YD DUMPMETER
10. HSS 3X3X3/8 POST W/ BASE PLATE 304X102-11 W/ 41 - 3/4" DIA. HLT HAS ANCHOR RODS
11. CONCRETE SLAB 5" THICK W/ WELDED WIRE FABRIC - WWF 6X8-W2-1 X W2-1
12. CONTINUOUS FOOTING SEE STRUCTURAL
13. CONTROL JOINTS
14. SIDEWALK - SEE CIVIL



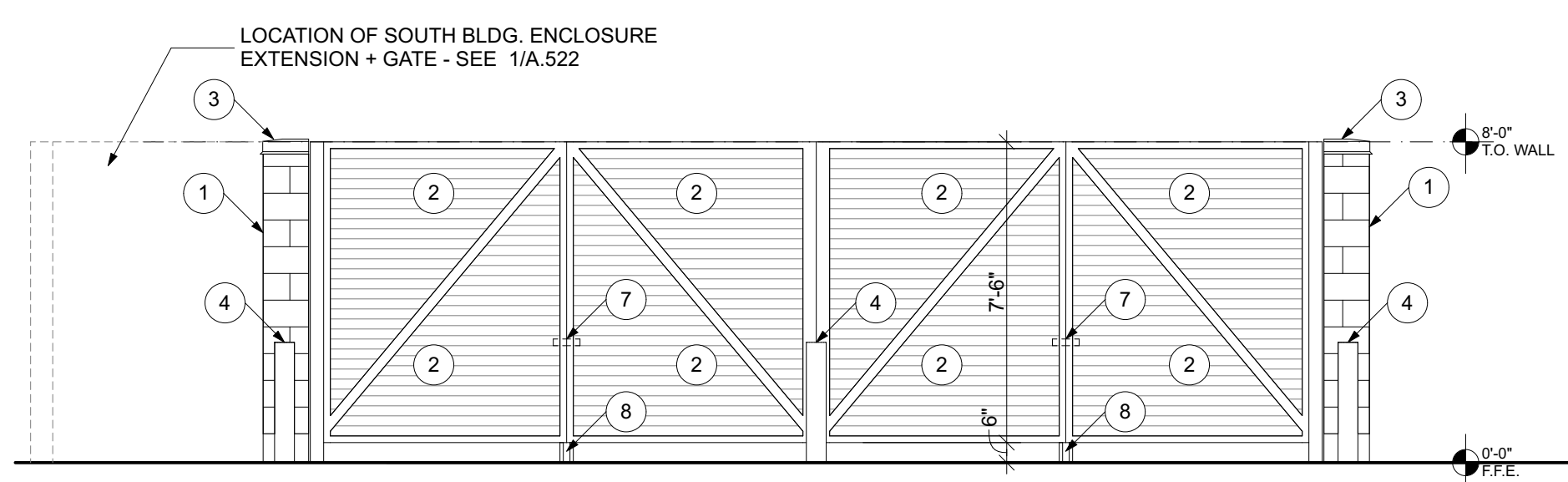
5
A.520 WEST WALL SECTION
SCALE: 1" = 1'-0"



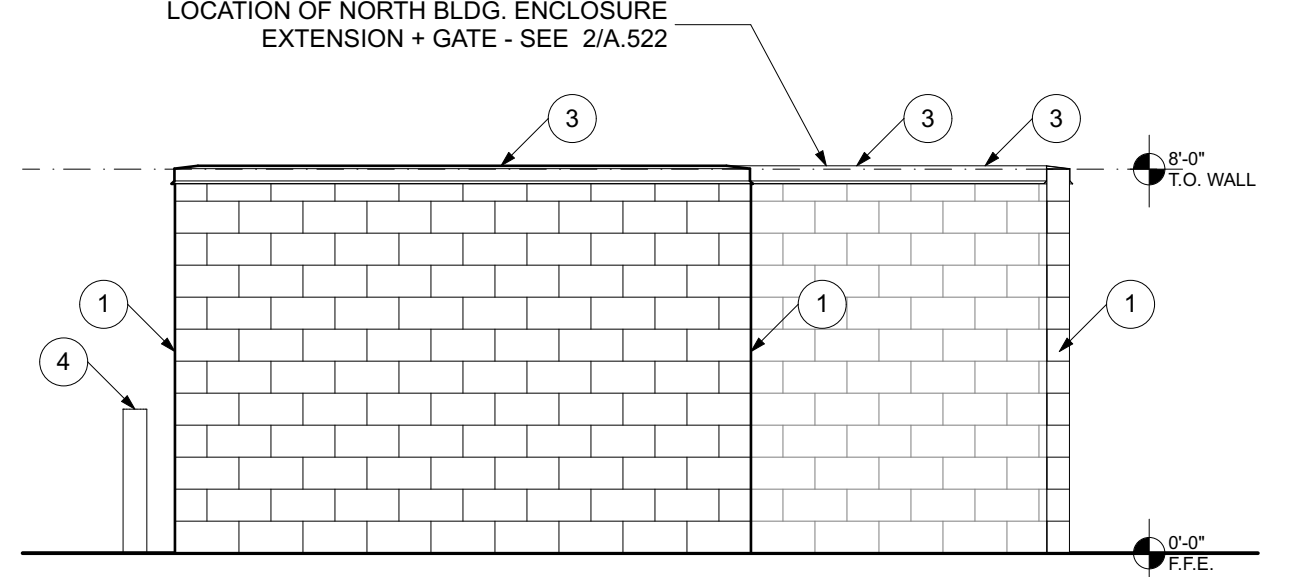
7
A.520 WEST ELEVATION
SCALE: 1/4" = 1'-0"



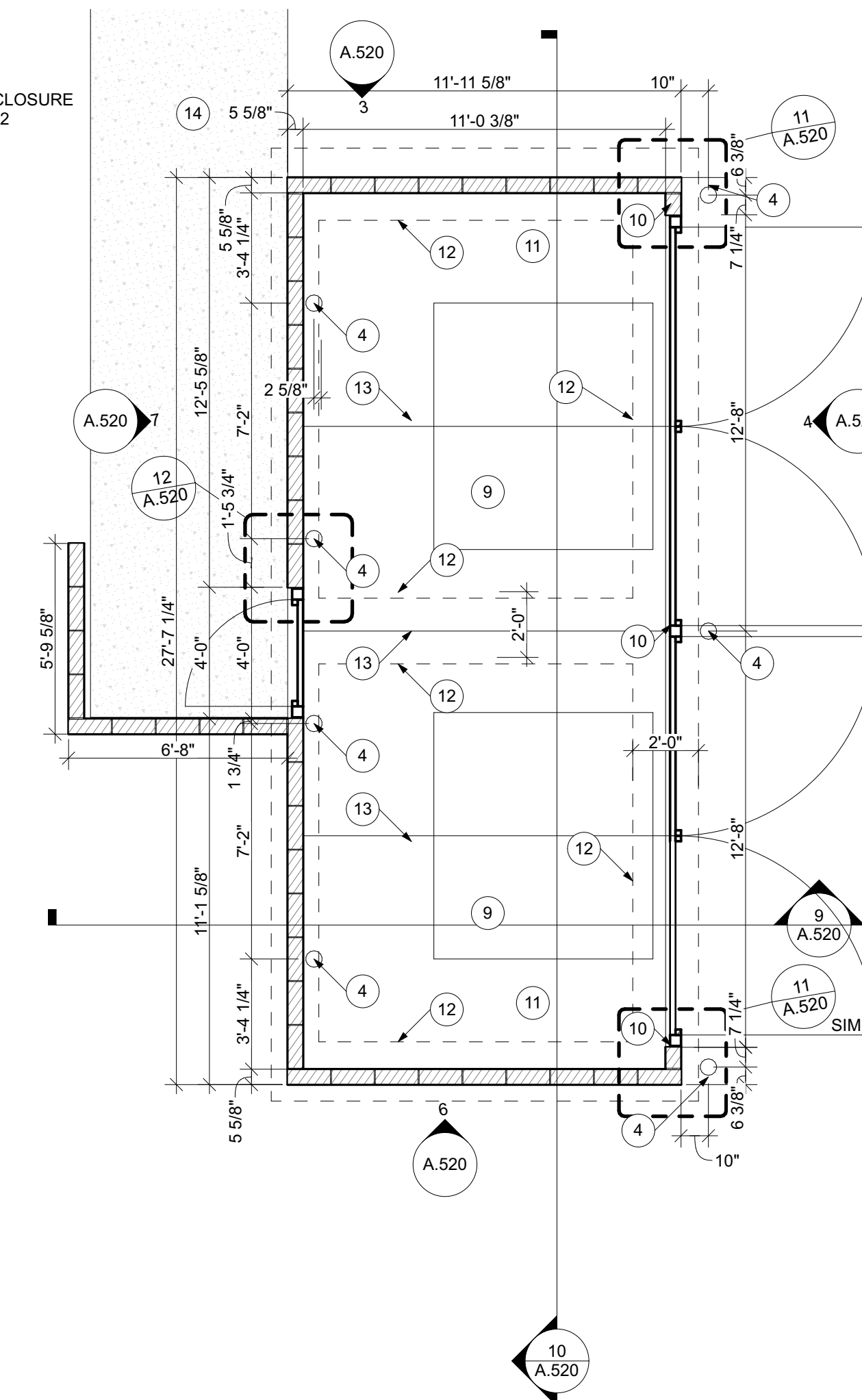
6
A.520 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



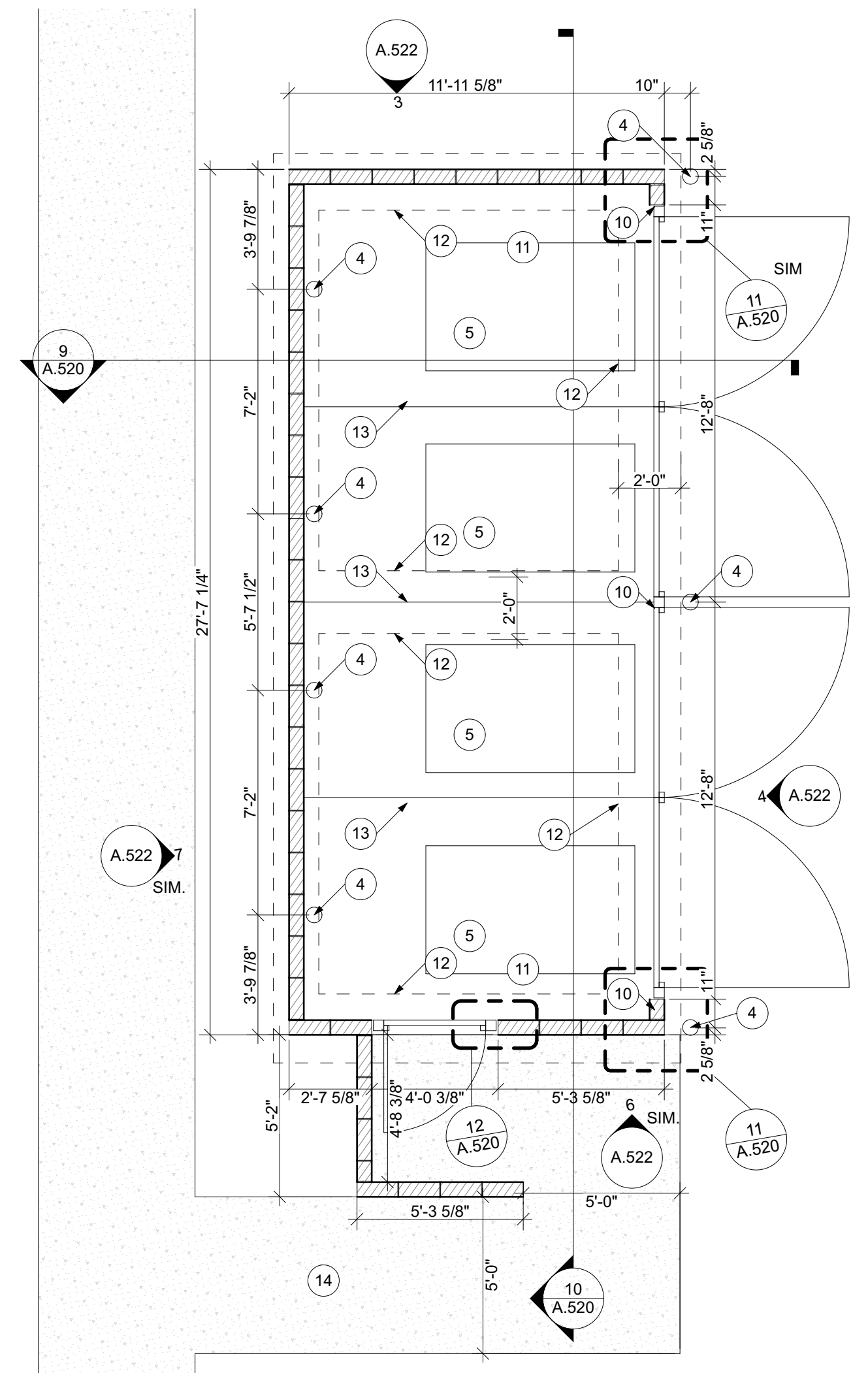
4
A.520 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3
A.520 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A.520 TRASH ENCLOSURE NORTH BLDG
SCALE: 1/4" = 1'-0"



1
A.520 TRASH ENCLOSURE SOUTH BLDG
SCALE: 1/4" = 1'-0"

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 1, 2022

AGENDA ITEMS #3A - #3C

**ZONG-2022-000068 &
ZONG-2022-000069**

Applicant: Geneva Sue Shoemaker(owner).

Location: 4970 Southeast 24th Court.

Requested Action: Part A) Determination as to whether the requested rezoning is in conformance with the PlanDSM Creating Our Tomorrow Comprehensive Plan.

Part B) Amendment to the PlanDSM Creating Our Tomorrow Plan future land use classification from Low Density Residential to Public/Semi-Public. (ZONG-2022-000069)

Part C) Rezone approximately 2.8 acres of the northeastern portion of the property from "N2b" Neighborhood District to "P2" Public, Civic, and Institutional District, to allow parceling of two existing cell towers from the residential property. (ZONG-2022-000068)

I. GENERAL INFORMATION

- 1. Purpose of Request:** The applicant is proposing to rezone approximately 2.8 acres of the subject property to allow subdivision of two existing cell towers from the remainder of the property, which would remain residentially zoned.

Any future construction or site improvements would be subject to compliance with the Large Scale Development Plan and future subdivision Plat.

- 2. Size of Site:** The subject property measures 15 acres in area.
- 3. Existing Zoning (site):** "N2b" Neighborhood District.
- 4. Existing Land Use (site):** The subject property consists of one parcel with a one-household dwelling to the western portion of the property and two existing cell tower sites in the northeast corner of the lot. The central portion of the property is used for agriculture with the remaining area dedicated to forested open space.
- 5. Adjacent Land Use and Zoning:**
 - North** – "P1", Use is a public park.
 - South** – "N2b"; Uses are one-household residential.
 - East** – "PUD"; Uses are one-household residential.
 - West** – "N2b"; Uses are one-household residential.

6. **General Neighborhood/Area Land Uses:** The subject property is located north of Easter Lake Drive and west of southeast 26th Court. The property consists of a one-household dwelling, two existing cell tower sites, and undeveloped open space. A one-household residential subdivision adjoins the property to the east with one-household dwellings to the south and Easter Lake Park adjoining to the north. Additional undeveloped open space adjoins the property along the west.
7. **Applicable Recognized Neighborhood(s):** The subject property is in the Easter Lake Area Neighborhood. The neighborhood associations were notified of the public hearing by mailing of the Preliminary Agenda on August 12, 2022, and by mailing of the Final Agenda on August 22, 2022. Additionally, separate notifications of the hearing for this specific item were mailed on June 12, 2022 (20 days prior to the public hearing) and August 22, 2022 (10 days prior to the public hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Easter Lake Area Neighborhood mailings were sent to Jim Bollard, 4007 SE 26th Street, Des Moines, IA 50320.

The applicant is required to conduct neighborhood outreach. They will be available to provide a summary of that outreach during the public hearing.

8. **Relevant Zoning History:** On December 16, 2009, by Docket No. ZON2009-00155, the Zoning Board of Adjustment approved a request granting an amended Conditional Use Permit with conditions for a 140-foot tall stealth monopole communications tower stating that the adverse visual impact of the tower would be minimized through careful design, siting, landscape screening and camouflaging techniques. Furthermore, the visual impact of the tower will be minimized by the existing surrounding tree canopy. By allowing the tower to be 140 feet tall, additional communications carriers can co-locate on the tower, thus reducing the need for additional towers in the area.
9. **PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Low Density Residential.
10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so

long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. PlanDSM Creating Our Tomorrow:** The applicant has requested the subject property be rezoned to “P2” Public, Civic, and Institutional District to allow subdivision of two existing cell towers to separate them from the remainder of the property, which would remain residentially zoned. The subject property is currently designated “Low Density Residential”. Plan DSM describes this designation as follows:

Low Density Residential:

Areas developed with a mix of single family, duplex and small multi-family units up to 12 units per net acre.

The applicant is proposing to rezone the subject area from “N2b” District to “P2” District. For the proposed rezoning to “N2b” District to be in conformance with PlanDSM, the future land use designation must be amended to “Public/Semi-Public. PlanDSM describes this designation as follows:

Public/Semi-Public:

Areas that are mostly open to public use or public access. May include government facilities, schools, hospitals, libraries, and community facilities.

The Zoning Ordinance states that the “P2” District is intended for civic and institutional facilities, such as religious assembly places, cultural or arts centers, community centers, schools, infrastructure, recreational facilities, and other institutional facilities. Infrastructure includes public or private infrastructure, including rail corridors and utility corridors or sites.

Staff believes that the proposal would minimize any adverse impacts when maintained and developed in accordance with all applicable regulations. The existing cell towers would continue to maintain appropriate design requirements and be subject to section 134-4 Wireless Telecommunications Facilities for any substantial changes or new equipment that may be proposed. Staff supports the rezoning of the subject property to “P2” District subject to the zoning conditions outlined in Section III of the Staff Report.

- 2. Planning and Design Ordinance:** Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code).
- 3. Traffic/Street System:** The future alignment of East Titus Avenue between cell tower sites will remain available for access until such time the remaining parcel is

platted for development in accordance with code. Right-of-way dedication to the City will be needed for any future development to occur.

III. STAFF RECOMMENDATION

Part A) Staff recommends that the requested rezoning be found in conformance with the PlanDSM Creating Our Tomorrow Comprehensive Plan.

Part B) Staff recommends approval of the request to amend PlanDSM future land use designation from Low Density Residential to Public/Semi-Public and remain Low Density Residential for the remainder of the property.

Part C) Staff recommends approval of the request to rezone the subject property from "N2b" Neighborhood District to "P2" Public, Civic, and Institutional District subject to following conditions:

- 1) The 50.32-foot by 323.44-foot access area to be located between the future cell tower parcels shall remain a part of the larger undeveloped parcel until such time the property is subdivided in accordance with a Large Scale Development Plan and subdivision plat regulations.
- 2) An access easement from East Titus Avenue to each of the cell tower parcels shall be provided until such time the access area is dedicated as public right-of-way.
- 3) Any new development shall be constructed in accordance with an approved Large Scale Development Plan and subdivision plat.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 1, 2022

AGENDA ITEMS #4A – #4B

ZONG-2022-000071

Applicant: Cole Lopez and Lia Guerra (owner).

Location: 2800 Brattleboro Avenue.

Requested Action: Part A) Determination as to whether the requested rezoning is in conformance with the PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Rezone property from “N5” Neighborhood District to “N5-2” Neighborhood District, to allow reuse of the existing structure for a duplex use. (ZONG-2022-000071)

GENERAL INFORMATION

1. **Purpose of Request:** The subject dwelling previously operated as a duplex. However, it was vacant for more than one (1) year which resulted in loss of approval to operate as more than a single household use. The applicant is proposing to rezone the subject property to allow reuse of the existing structure as a duplex.
2. **Size of Site:** 0.152 acres (6,600 square feet).
3. **Existing Zoning (site):** “N5” Neighborhood District.
4. **Existing Land Use (site):** The subject property consists of a dwelling with off-street parking at the rear of the property accessed via the alley.
5. **Adjacent Land Use and Zoning:**
 - North* – “MX2”; Uses are Drake University.
 - South* – “N5”; Uses are low density or low-medium density residential.
 - East* – “N5”; Uses are low density or low-medium density residential.
 - West* – “N5”; Uses are low density or low-medium density residential.
6. **General Neighborhood/Area Land Uses:** The subject property is located at the intersection of Brattleboro Avenue and 28th Street. It is located in the Drake Neighborhood, which is an area consisting of a mix of one-household residential, two-household residential, multiple-household residential, office, commercial, religious, educational, and institutional uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is located in the Drake Neighborhood Association. All neighborhood associations were notified of the public hearing by mailing of the Preliminary Agenda on August 12, 2022 and by mailing of the Final Agenda on August 26, 2022. Additionally, separate notifications

of the hearing for this specific item were mailed on August 12, 2022 (20 days prior to the public hearing) and August 22, 2022 (10 days prior to the public hearing) to the Drake Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Drake Neighborhood mailings were sent to Lori Calhoun, 2808 Cottage Grove Avenue, Des Moines, IA 50311.

The applicant will provide a summary of the neighborhood meeting at the public hearing.

8. Relevant Zoning History: None.

9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation: Low-Medium Density Residential.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject area owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. PlanDSM Creating Our Tomorrow: The subject property has a future land use designation of “Low-Medium Density Residential”. Plan DSM describes the designation as follows:

Low-Medium Density Residential: Areas developed with a mix of single family, duplex and small multi-family units up to 12 units per net acre.

Staff notes that the predominant character of the neighborhood is a mix of duplexes, house conversions, and apartment buildings on smaller-scaled parcels in a highly walkable area. Staff believes that the proposed duplex use would be consistent with the existing land use designation as it is included in the Low-Medium Density Residential definition.

The subject parcel is currently zoned “N5” District. The Zoning Ordinance describes this district as, “intended to preserve the scale and character of neighborhoods developed with a mix of bungalow and two-story houses, predominantly in the

Victorian, Revival, and Arts and Crafts styles pursuant to House D building type in section 135-2.16 of this code.”

The applicant is proposing to rezone the parcel to the “N5-2” District. For N district locations labeled with a “-2 extension, the maximum number of household units permitted per lot is two, pursuant to section 134-3.1.2 of this code”. The proposed “N5-2” District is consistent with the Low-Medium Density Residential designation since it allows for duplex uses.

- 2. Planning and Design Ordinance:** Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code). Should the rezoning be approved, the applicant would be required to prepare a site plan and building elevations for any proposed additions or modifications.

III. STAFF RECOMMENDATION

Part A) Staff recommends that the requested rezoning be found in conformance with PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Staff recommends approval of the rezoning of the subject property as “N5-2” Neighborhood District, to allow re-use of the dwelling as a duplex.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 1, 2022

AGENDA ITEM #5

SITE-2022-000087

Applicant: Stagecoach 2500 S.E. 43rd St. LLC (owner) represented by Jeff Polacek (officer).

Location: 2520 Southeast 43rd Street.

Requested Action: Review and approval of a Public Hearing Site Plan “Des Moines Outdoor Truck Storage” for the following Type 2 Design Alternatives in accordance with City Code Sections 135-9.2.4(B) and 135-9.3.1(B):

Part A) Waiver of the requirement for a public sidewalk along the street frontage per Section 135-8.5.2(A).

Part B) Allow an increase in outdoor light pole height to 40 feet where only 20 feet in height in vehicular areas is allowed per Section 135-8.2.1(E).

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to not add public sidewalk along their street frontage where it would be a standard requirement. They are also proposing to increase the height for the outdoor light poles in their parking lot from 20 feet to 40 feet. Design alternative review criteria can be found in Section I, subparagraph 10 of this report. Staff analysis of the proposal can be found in Section II of the report.
2. **Size of Site:** 739,829 square feet (16.98 acres).
3. **Existing Zoning (site):** “I2” Industrial District.
4. **Existing Land Use (site):** The site contains a fuel tank but is otherwise vacant.
5. **Adjacent Land Use and Zoning:**
 - North* – “I2”; Use is industrial.
 - South* – “EX”; Use is industrial.
 - East* – “I-2 General Industrial (Pleasant Hill)”; Use is industrial.
 - West* – “Vision Fuels PUD”; Use is vacant.
6. **General Neighborhood/Area Land Uses:** The subject property is located along the west side of the Southeast 43rd Street corridor south of the Vandalia Road intersection, in an area that has primarily industrial uses.

- 7. Applicable Recognized Neighborhood(s):** The subject property is not within 250 feet of a recognized neighborhood. Notifications of the hearing for this specific item were mailed on August 22, 2022 (10 days prior to the public hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.
- 8. Relevant Zoning History:** None.
- 9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Business Park.
- 10. Applicable Regulations:** Pursuant to Section 135-9.1.1.B of the Planning and Design Ordinance, the site plan review requirements of Chapter 135 are designed to ensure the orderly and harmonious development of property in a manner that shall:
- Promote the most beneficial relation between present and proposed future uses of land and the present and proposed future circulation of traffic throughout the city;
 - Permit present development of property commensurate with fair and orderly planning for future development of other properties in the various areas of the city with respect to the availability and capacity, present and foreseeable, of public facilities and services. The factors to be considered in arriving at a conclusion concerning proposed present development of property shall include the following:
 - The maximum population density for the proposed development, the proposed density of use, and consideration of the effect the proposal will have on the capacity of existing water and sanitary sewer lines to the end that existing systems will not become overloaded or capacity so substantially decreased that site use will inhibit or preclude planned future development;
 - Zoning restrictions at the time of the proposal;
 - The city's comprehensive plan;
 - The city's plans for future construction and provision for public facilities and services; and
 - The facilities and services already available to the area which will be affected by the proposed site use;
 - Encourage adequate provision for surface and subsurface drainage, in order to ensure that future development and other properties in various areas of the city will not be adversely affected;

- Provide suitable screening of parking, truck loading, refuse and recycling disposal, and outdoor storage areas from adjacent residential districts;
- Encourage the preservation of canopied areas and mature trees and require mitigation for the removal of trees; and
- Consider the smart planning principles set forth in Iowa Code Chapter 18B.

Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

- The design alternative provisions of Section 135-9.2.4 are intended to authorize the granting of relief from strict compliance with the regulations of this chapter as part of the site plan or alternate design documentation review process when specific site features or characteristics of the subject property, including the presence of existing buildings, creates conditions that make strict compliance with applicable regulations impractical or undesirable. The design alternative provisions are also intended to recognize that alternative design solutions may result in equal or better implementation of the regulation's intended purpose and greater consistency with the comprehensive plan.
- Consideration of requested design alternatives through the administrative and public hearing review processes will be evaluated on the merits of the applicable request and independently of prior requests from the same applicant, and may include the following criteria:
 - An evaluation of the character of the surrounding neighborhood, such as:
 - Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
 - Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s);
 - For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination will be based upon the assumption that such lots, as if developed, comply with the applicable requirements of this chapter for which a design alternative(s) has been requested;
 - The totality of the number and extent of design alternatives requested compared to the requirements of this chapter for each site plan or alternate design documentation reviewed;

- Whether the requested design alternative(s) is consistent with all relevant purpose and intent statements of this design ordinance and with the general purpose and intent of the comprehensive plan;
- Whether the requested design alternative(s) will have a substantial or undue adverse effect upon adjacent property, the character of the surrounding area or the public health, safety and general welfare;
- Whether any adverse impacts resulting from the requested design alternative(s) will be mitigated to the maximum extent feasible; and
- Other factors determined relevant by the community development director, plan and zoning commission, or city council as applicable.

II. ADDITIONAL APPLICABLE INFORMATION

A. Sidewalk: Section 135-8.5.2(A) of the Planning and Design Ordinance requires sidewalks as identified in the city’s transportation master plan. The proposed site is located along Southeast 43rd Street, which is deemed a “Priority 3” route for sidewalk implementation on the transportation master plan. Sidewalk implementation efforts are primarily focused on “Priority 1” and “Priority 2” designated streets. Staff is supportive of this Type 2 Design Alternative request as a city lead effort to install walk in this area is not likely to happen for the foreseeable future. Priority 3 routes are eligible for a Type 1 Design Alternative if all of the surrounding lots have buildings on them. The lot to the west is not developed. Therefore, staff could not approve the request administratively.

B. Outdoor Light Pole Height: Section 135-8.2.1(E) of the Planning and Design Ordinance allows for outdoor light pole height to be 20 feet in vehicular areas. The proposed site plan has light poles for the trucking and transportation terminal parking lot at 40 feet in height. The requested design alternative would not have a substantial or undue adverse effect upon adjacent property, the character of the surrounding area or the public health, safety and general welfare. There are no residential properties within a mile of this site, and the area surrounding the site is industrial. Staff is supportive of this Type 2 Design Alternative request.

III. STAFF RECOMMENDATION

Staff recommends approval of the Public Hearing Site Plan subject to compliance with all administrative comments, and approval of the following Type 2 Design Alternatives:

- A) Waiver of the requirement for a public sidewalk along the street frontage.
- B) Allow an increase in outdoor light pole height to 40 feet where only 20 feet in height in vehicular areas is allowed.

PROJECT: DES MOINES OUTDOOR TRUCK STORAGE

LEGAL DESCRIPTION

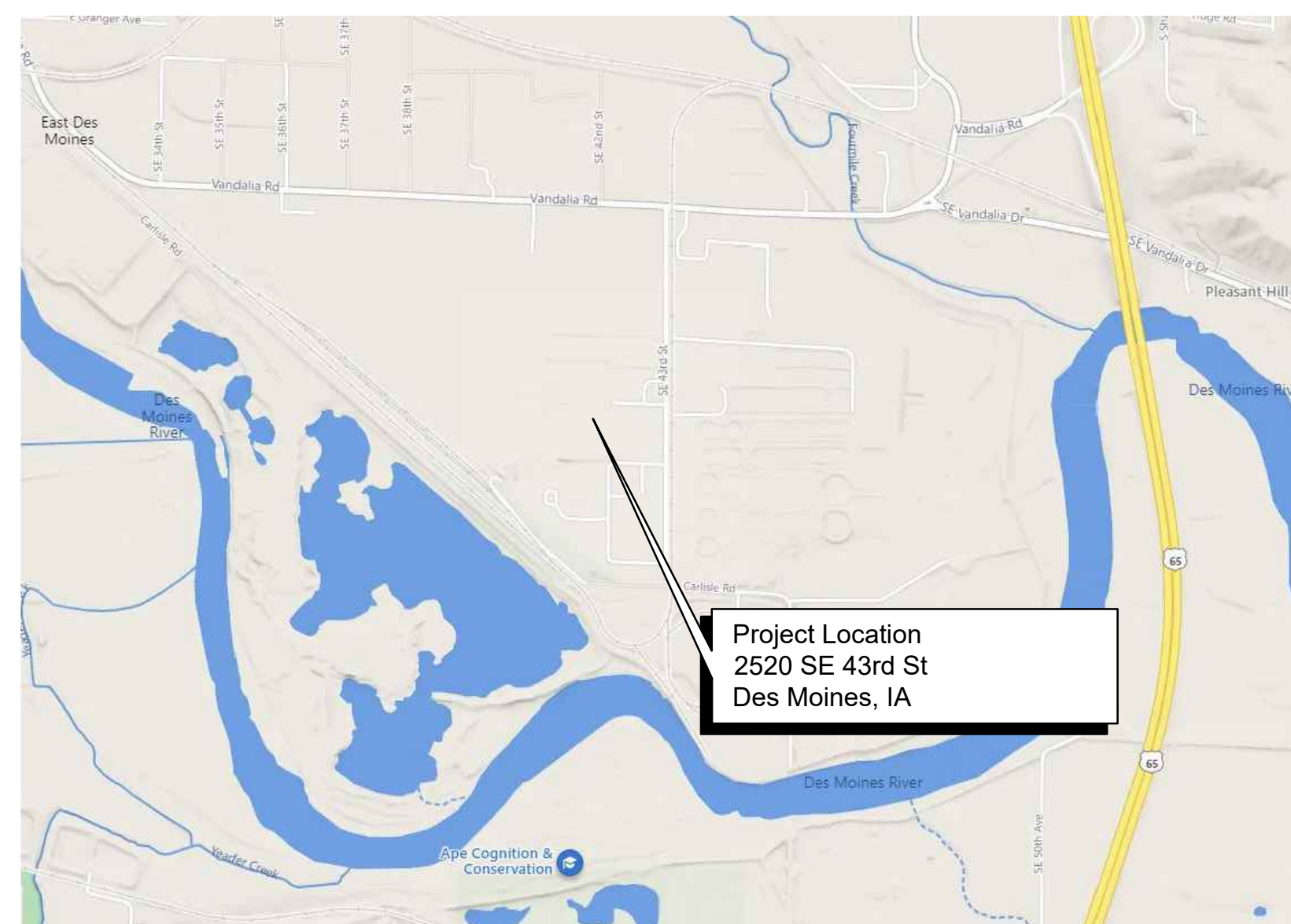
(PER TITLE COMMITMENT #660327 DATED MAY 6, 2022 PREPARED BY STEWART TITLE GUARANTY COMPANY)

Parcel D:
Part of the Southeast Quarter (SE ¼) of the Northwest Quarter (NW ¼) of Section 17, Township 78 North, Range 23, West of the 5th P.M., all being in and forming a part of the City of Des Moines, Polk County, Iowa, more particularly described as follows:
Commencing at the North Quarter (N ¼) corner of said Section 17;
Thence South 00 degrees 00 minutes 00 seconds East along the East line of the Northwest Quarter (NW ¼) of said Section 17, a distance of 2,087.54 feet to the point of beginning.
Thence South 00 degrees 00 minutes 00 seconds East a distance of 559.14 feet to the center of Section 17, Township 78 North, Range 23 West;
Thence North 87 degrees 56 minutes 04 seconds West a distance of 1,314.77 feet;
Thence North 00 degrees 05 minutes 29 seconds West a distance of 568.63 feet;
Thence South 87 degrees 31 minutes 23 seconds East a distance of 1,316.05 feet to the point of beginning, containing 17.014 acres, more or less, EXCEPT public road Right Of Way, as shown in Plat of Survey recorded in Book 8392, Page 785 in the Office of the Polk County Recorder, Polk County, Iowa.



SCHAEFFER CONSULTING, LLC
7649 CONCORD BLVD
INVER GROVE HEIGHTS, MN 55076

VICINITY MAP



INDEX OF DRAWINGS

C000	Title Sheet
C100	Demolition Plan
C200	Paving and Utility Plan
C250	Watermain Plan and Profile
C300	Grading and Erosion Control Plan
C400	Details
C401	Details
L100	Landscape Plan
L200	Landscape Tables and Details

SITE PLAN APPROVAL:

APPROVED APPROVED WITH CONDITIONS – SEE EXHIBIT "A"

IN ACCORDANCE WITH SECTION 135-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE DEVELOPMENT SERVICES DIRECTOR.

DEVELOPMENT SERVICES DIRECTOR: _____ DATE: _____

CITY OF DES MOINES NOTES

- All work in the city right-of-way shall be done in accordance with SUDAS and the City of Des Moines General Supplemental Specifications to SUDAS effective at the time of plan approval.
- All work in the city right-of-way requires a right-of-way permit.
- A Sidewalk / Drive Approach Permit is required.
- This site shall be maintained in compliance with all city code applicable on the date of site plan approval.
- Any amendments or changes to the project site that do not meet what is shown on the site plan need to be approved with the Permit and Development Center prior to installation/construction.
- Lighting must be low glare cut off type fixtures to reduce the glare of light pollution on surrounding properties.
- The required landscaping, both existing and proposed, shall be maintained for the life of the Certificate of Occupancy.
- All disturbed areas should be restored by seeding or sodding.
- All planting beds shall include non-living permeable materials such as mulch, and not including rock.
- No exterior dumpster will be provided on site.
- The Contractor is required to obtain a parking lot permit for the new paving.

PROJECT TEAM

Civil Engineer
T.J. Rose
Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110
Tel: 651-481-9120
trose@larsonengr.com

Property Owner
Stagecoach 2500 S.E. 43rd St. LLC
222 South Ninth Street
Suite 1600
Minneapolis, MN 55402

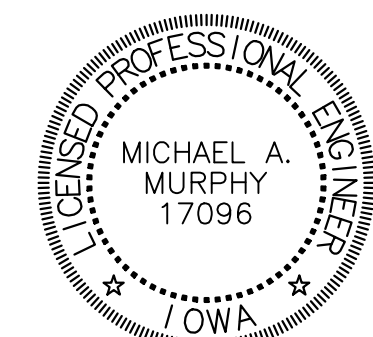
Attn: Jeff Polacek
(651) 216-8451

Landscape Architect
Zach Heitzman, PLA
Country Landscapes, Inc.
620 NE 44th Avenue
Des Moines, IA 50313
Tel: 515-232-6864
zach@countrylandscapes.com

Geotechnical Engineer
Andre' Gallet, PE
Terracon
600 SW 7th Street, Ste M
Des Moines, IA 50309
Tel: 515-244-5249

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. MURPHY, P.E.
PRINTED OR TYPED NAME
Michael A. Murphy
8.04.22
SIGNATURE & DATE
ENGINEER 17096
DISCIPLINE & REGISTRATION NO.
"C" DRAWINGS
PAGES OR SHEETS COVERED



SITE DATA

Project Type: Trucking and Transportation Terminal
Zoning: I2



SCHAEFFER
CONSULTING, LLC
7649 CONCORD BLVD
INVER GROVE HEIGHTS, MN 55076

DES MOINES
OUTDOOR TRUCK
STORAGE FACILITY
2520 SE 43RD STREET, DES MOINES, IA

Rev.	Date	Description
1	08.04.22	City Comments

Project #: 12226052.000
Drawn By: TJR
Checked By: MJW
Issue Date: 07.26.22
Sheet Title:

TITLE SHEET

Sheet:
C000

TREE REMOVAL & MITIGATION NOTES

1. Total tree canopy area to be preserved = 974 SF
2. Total tree canopy area to be removed = 29,445 SF
3. Refer to Sheet L100 - Landscape Plan for tree mitigation calculations in accordance with City Code Chapter 42, Article X, Section 42-555(b).

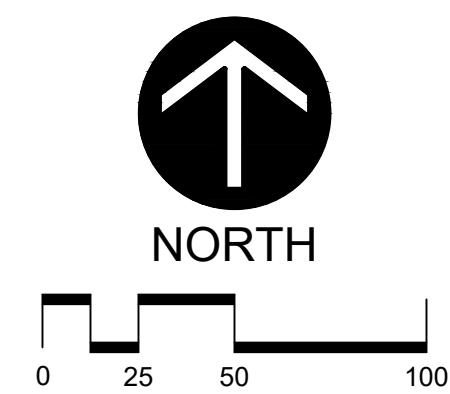
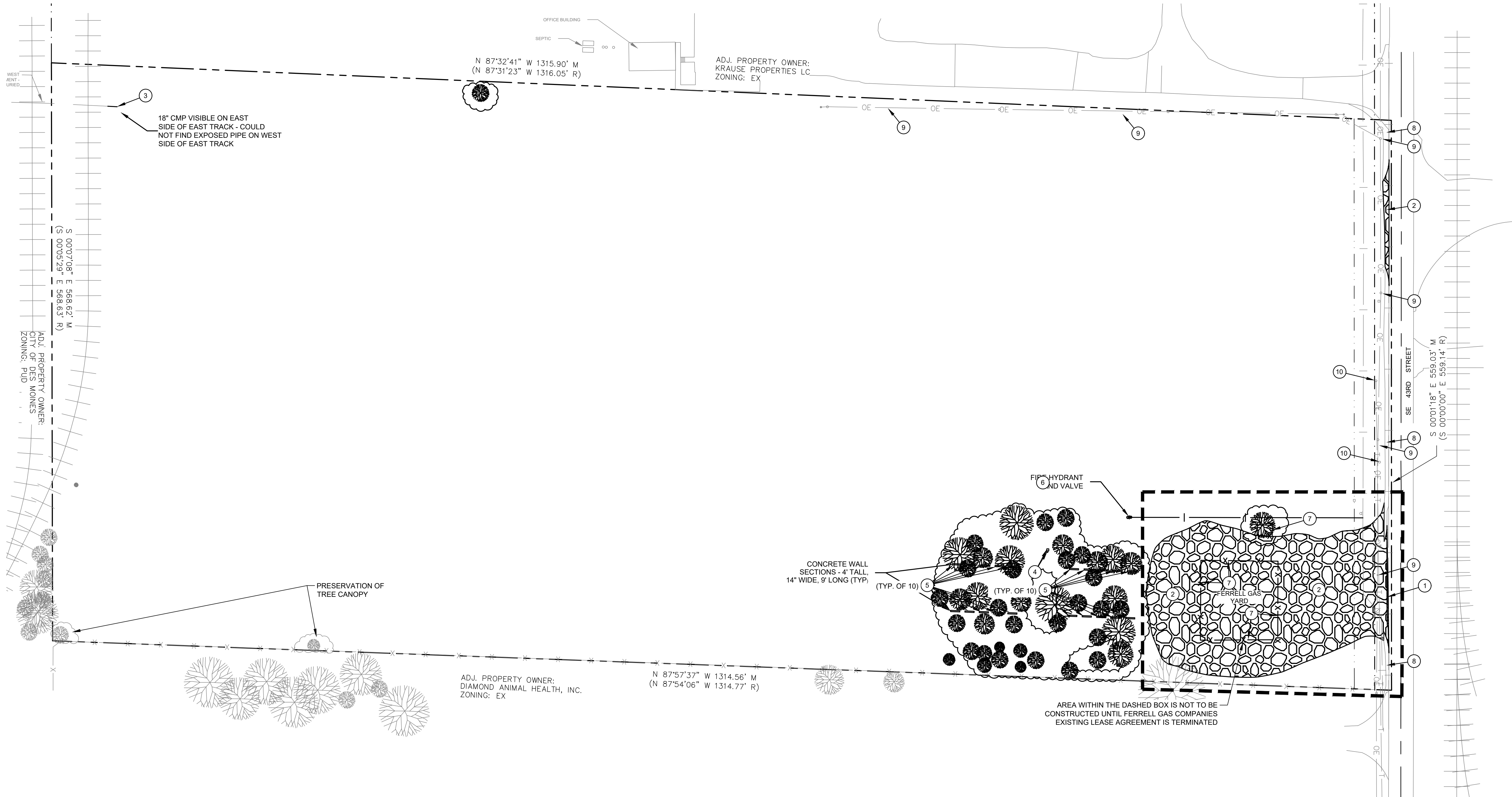
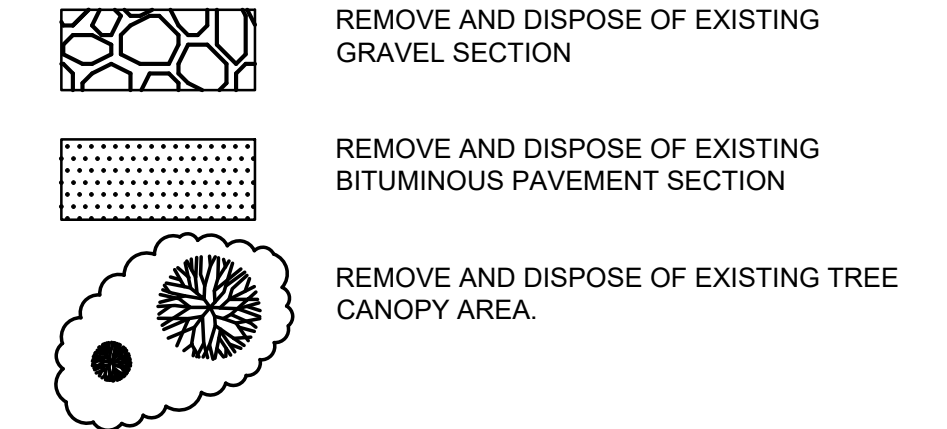
DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demotions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Iowa One Call (1-800-292-8989) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

KEY NOTES

- 1 REMOVE AND DISPOSE EXISTING BITUMINOUS PAVEMENT.
- 2 REMOVE AND DISPOSE EXISTING GRAVEL SECTION.
- 3 REMOVE AND DISPOSE OF EXISTING STORM UTILITY PIPE AND FLARED END SECTION.
- 4 REMOVE AND DISPOSE OF EXISTING ELECTRICAL UTILITY, COORDINATE WITH UTILITY PROVIDER.
- 5 REMOVE AND DISPOSE OF EXISTING CONCRETE WALL SECTIONS.
- 6 REMOVE AND DISPOSE OF EXISTING HYDRANT, VALVE, AND WATER PIPING PER CITY STANDARDS. VERIFY LOCATION OF EXISTING PIPING PRIOR TO CONSTRUCTION.
- 7 REMOVE AND DISPOSE OF EXISTING FENCE.
- 8 PROTECT EXISTING GRAVEL SHOULDER. IF DISTURBED DURING CONSTRUCTION, RESTORE TO MATCH EXISTING CONDITION.
- 9 PROTECT EXISTING POWER POLE AND OVERHEAD POWER LINES DURING CONSTRUCTION.
- 10 PROTECT EXISTING FIBER AND/OR TELECOMMUNICATIONS LINES DURING CONSTRUCTION.

SYMBOL LEGEND



Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110
651.461.9120 (F) 651.461.9201
www.larsonengr.com

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Client:

SCHAEFFER CONSULTING, LLC
7649 CONCORD BLVD
INVER GROVE HEIGHTS, MN 55076

Project Title:

DES MOINES OUTDOOR TRUCK STORAGE FACILITY
2520 SE 43RD STREET, DES MOINES, IA

Rev.	Date	Description
1	08.04.22	City Comments

Project #: 12226052.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 07.26.22
 Sheet Title:

DEMOLITION PLAN

Sheet:

C100

GENERAL NOTES

- The full project build-out shall be constructed by December 31, 2024, unless the site plan is otherwise amended by the City of Des Moines.

UTILITY NOTES

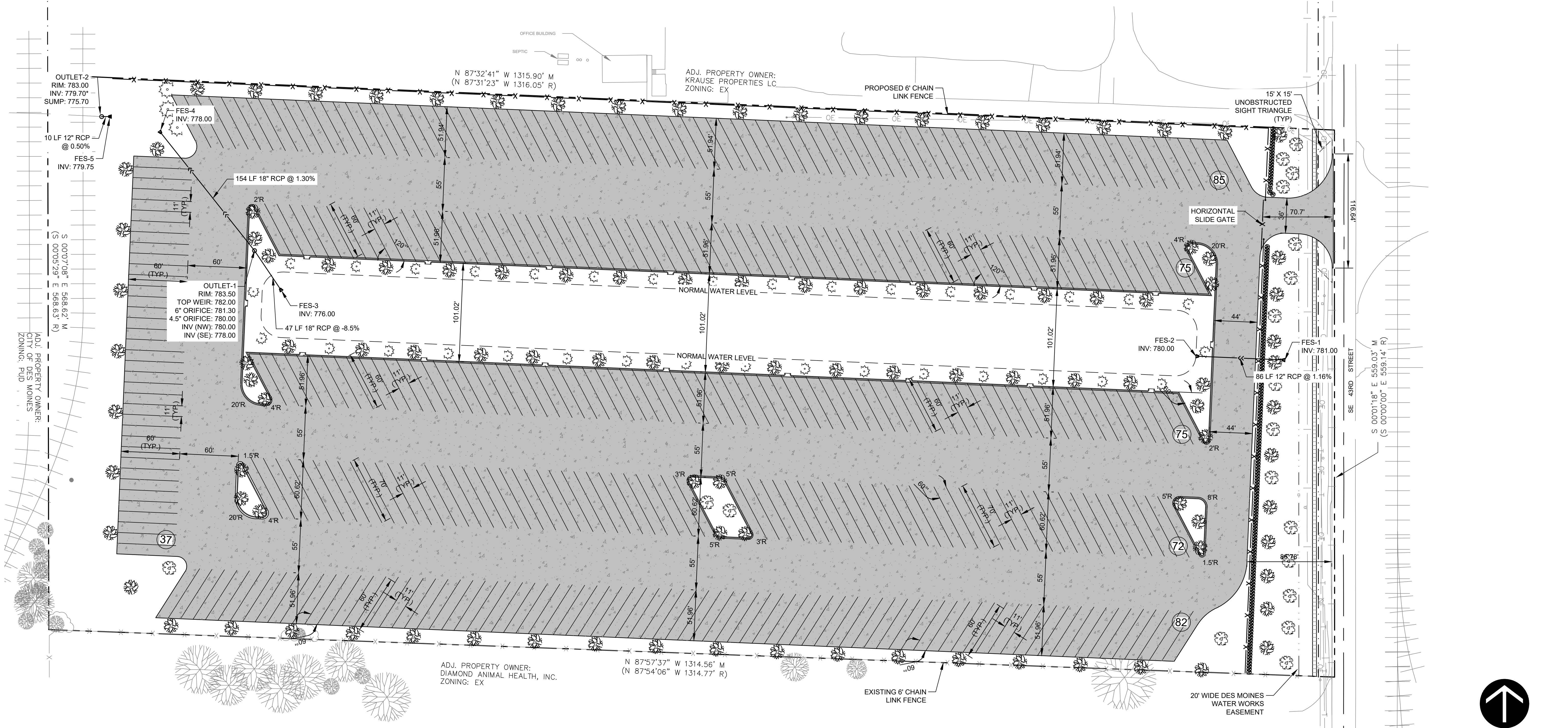
- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- All electric and communication utility lines shall be buried underground.

SYMBOL LEGEND

	NEW CONCRETE PAVEMENT WITH SUB BASE STABILIZED (504,921 SF) SEE DETAIL 1/C400
	STORM MANHOLE
	CATCH BASIN
	CURB INLET
	FLARED END
	SANITARY MANHOLE
	HYDRANT
	GATE VALVE & BOX
	WATER SHUTOFF
	LIGHT POLE
	CTV
	CABLE UNDERGROUND LINE
	ELECTRIC OVERHEAD LINE
	ELECTRIC UNDERGROUND LINE
	FIBER OPTIC UNDERGROUND LINE
	NATURAL GAS UNDERGROUND LINE
	SANITARY SEWER PIPE
	STORM SEWER PIPE
	TELEPHONE UNDERGROUND LINE
	WATERMAIN PIPE
	DRAINTILE PIPE

SITE AREA CALCULATIONS

Property Area	=	739,829 SF
Existing Impervious	=	33,422 SF (4.5%)
Proposed Impervious	=	510,078 SF (68.9%)
Impervious Area Allowed	=	510,078 SF (68.9%)
Disturbed Area	=	701,460 SF



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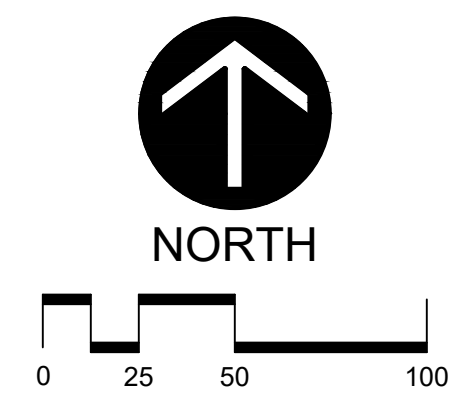
DES MOINES OUTDOOR TRUCK STORAGE FACILITY
 2520 SE 43RD STREET, DES MOINES, IA

Rev.	Date	Description
1	08.04.22	City Comments

Project #:	12226052.000
Drawn By:	TJR
Checked By:	MJW
Issue Date:	07.26.22

Sheet Title:
PAVING AND UTILITY PLAN

Sheet:
C200

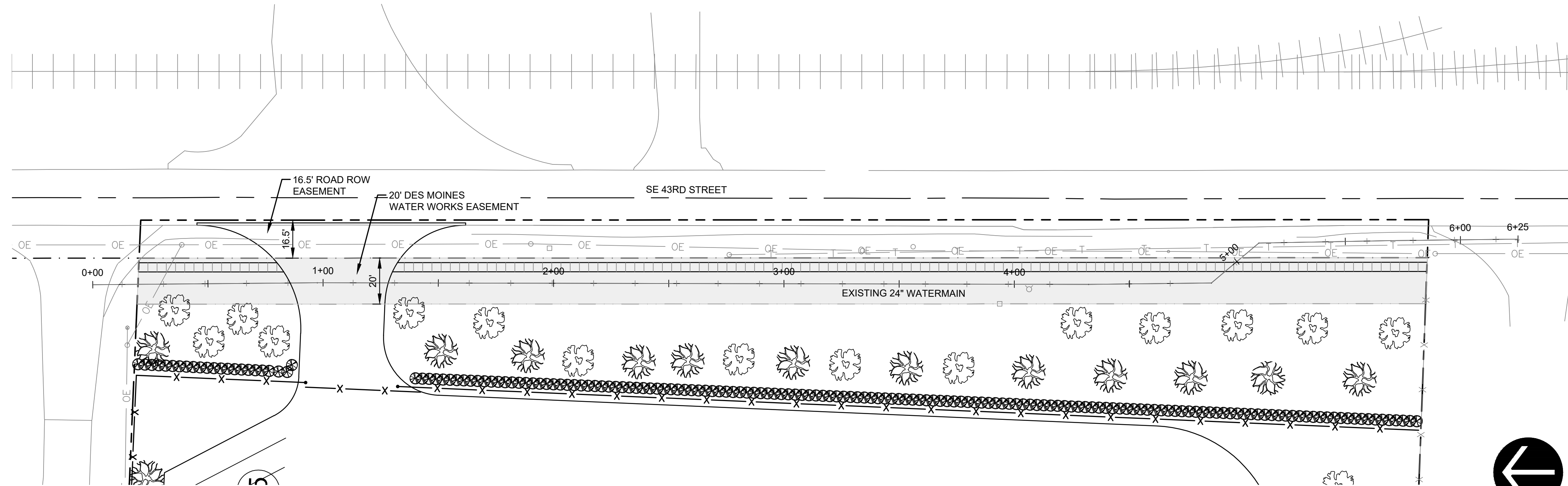


UTILITY NOTES

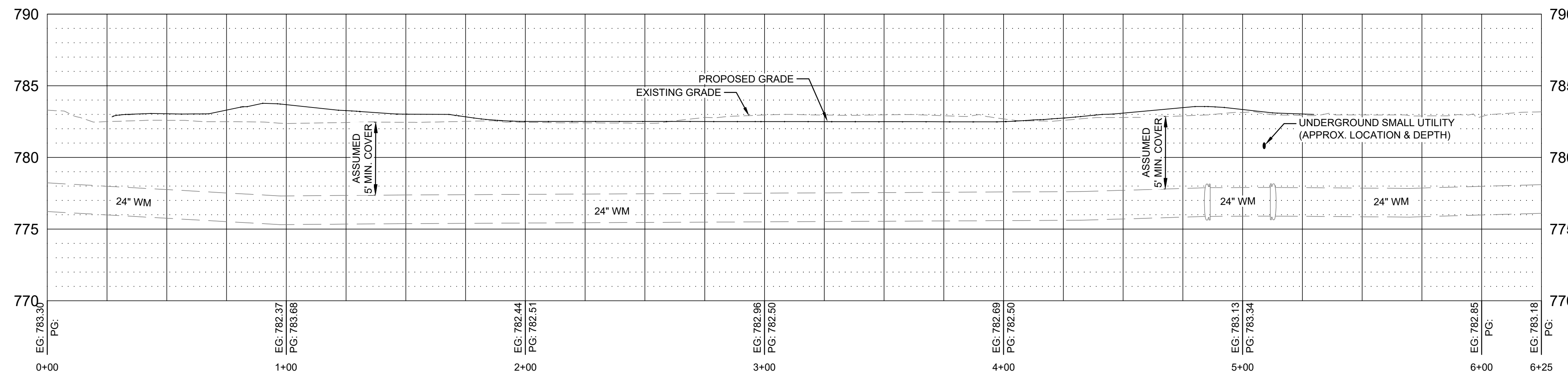
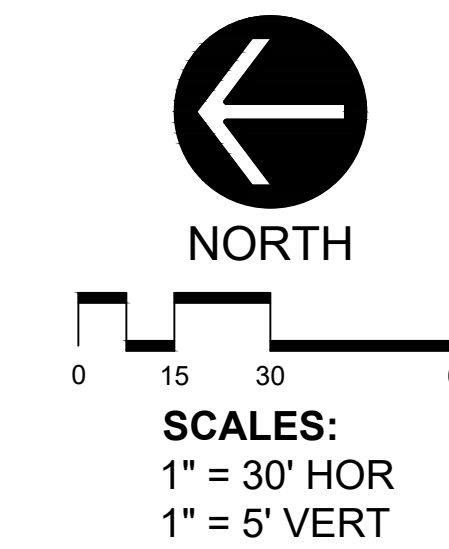
1. See sheet C200 for Utility Notes.

SYMBOL LEGEND

- | | | | | | |
|---|------------------|-----|------------------|-----------|---------------------|
| ○ | STORM MANHOLE | ⊗ | HYDRANT | --- | PROPERTY LINE |
| ○ | CATCH BASIN | ⊗ | GATE VALVE & BOX | - - - | EASEMENT LINE |
| □ | CURB INLET | • | WATER SHUTOFF | - · - · - | RIGHT-OF-WAY LINE |
| ▲ | FLARED END | ☀ | LIGHT POLE | --- | SETBACK LINE |
| ○ | SANITARY MANHOLE | --- | | --- | WETLAND |
| | | --- | | --- | SANITARY SEWER PIPE |
| | | --- | | --- | WATERMAIN PIPE |
| | | --- | | --- | STORM SEWER PIPE |
| | | --- | | --- | DRAIN TILE PIPE |



WATERMAIN PLAN VIEW



WATERMAIN PROFILE VIEW

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DES MOINES OUTDOOR TRUCK STORAGE FACILITY
 2520 SE 43RD STREET, DES MOINES, IA

Rev.	Date	Description
1	08.04.22	City Comments

Project #: 12226052.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 07.26.22

Sheet Title:
WATERMAIN PLAN AND PROFILE

Sheet:
C250

EROSION CONTROL NOTES

- Owner and Contractor shall obtain Iowa DNR-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Iowa Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with Iowa DNR disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with Iowa DNR regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof

- containment facility or impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with Iowa DNR regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- Slopes greater than or equal to 4:1 shall be stabilized with erosion control fabric.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.

Wet Pond (1P)			
	Rev	Required*	Provided
	Recharge Volume*	N/A	N/A
	WQv	Water Quality Volume*	52,045 CF
		Maximum Peak Release Rate (at outlet)	0.73 cfs
		Max. Storage - site watershed total (in watershed-inches)	96,560 CF
		High Water Elevation within Stormwater BMP	781.42'
1-year		Maximum Peak Release Rate (at outlet)	4.25 cfs
		Max. Storage - site watershed total (in watershed-inches)	160,303 CF
		High Water Elevation within Stormwater BMP	782.27'
10-year		Maximum Peak Release Rate (at outlet)	7.40 cfs
		Max. Storage - site watershed total (in watershed-inches)	218,448 CF
		High Water Elevation within Stormwater BMP	782.99'
		Auxiliary Spillway Elevation	783.69'
		Crest of Dam Elevation	-

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Refer to the Landscape Plan for restoration notes.
- All construction shall be performed in accordance with state and local standard specifications for construction.
- Upon completion of the project, the Contractor shall provide an as-built survey of the site, including all stormwater management facilities.

SYMBOL LEGEND

- 950 --- EXISTING CONTOURS
- 950 --- PROPOSED CONTOURS - MAJOR INTERVAL
- 949 --- PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- GRADE SLOPE
- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION

DES MOINES SURVEY BENCHMARK

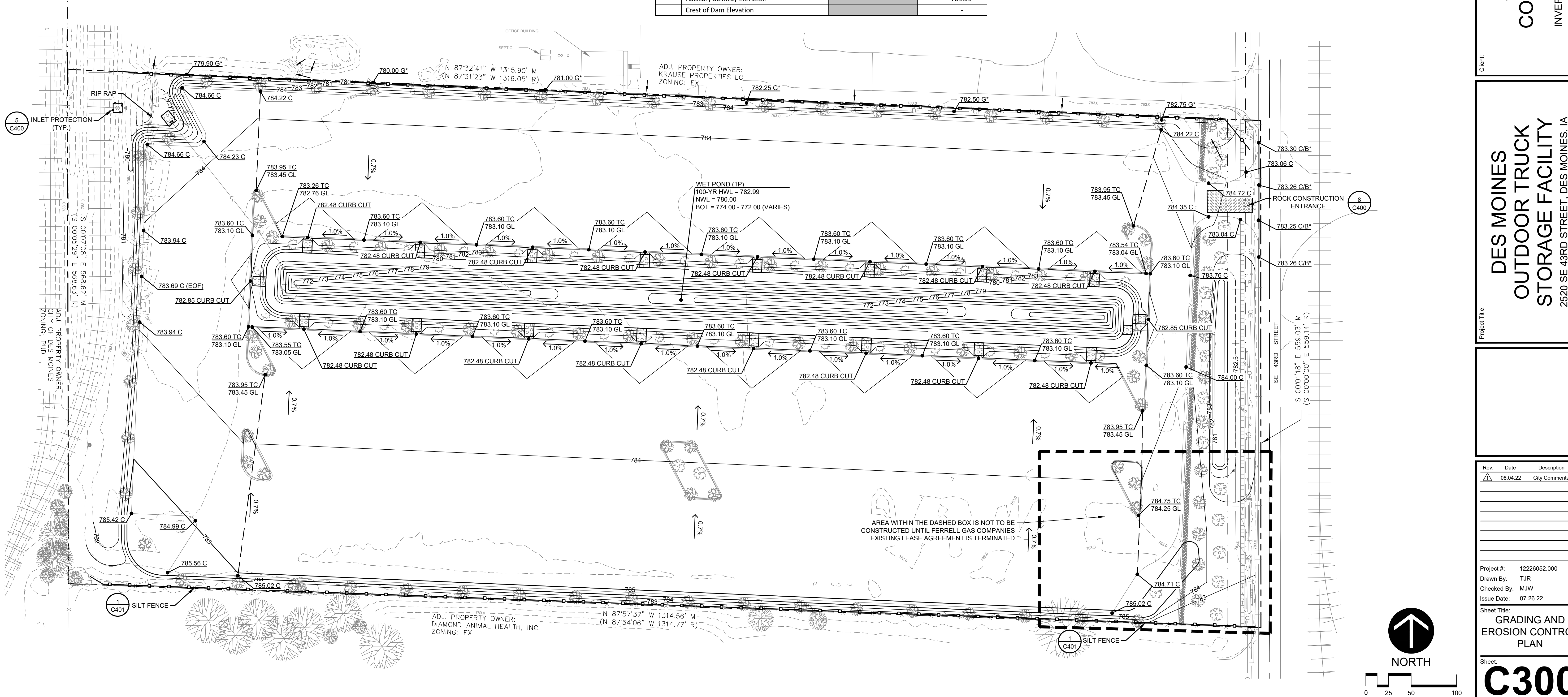
City of Des Moines benchmark located on Vandalia Road, west of SE 42nd Street, first pole west.

Description: RR spike in north face PP.

Elevation: 9.286

City of Des Moines Elevation 0.000 = NAVD 88 Elevation 773.936

- 950.00 TC
949.50 GL
- SPOT ABBREVIATIONS:
TC - TOP OF CURB
GL - GUTTER LINE
GO - GUTTER OUT
G - GRADE
B - BITUMINOUS
C - CONCRETE
EOP - EMERGENCY OVERFLOW
TW - TOP OF WALL
BW - BOTTOM OF WALL (FIG)
(*) - EXISTING TO BE VERIFIED



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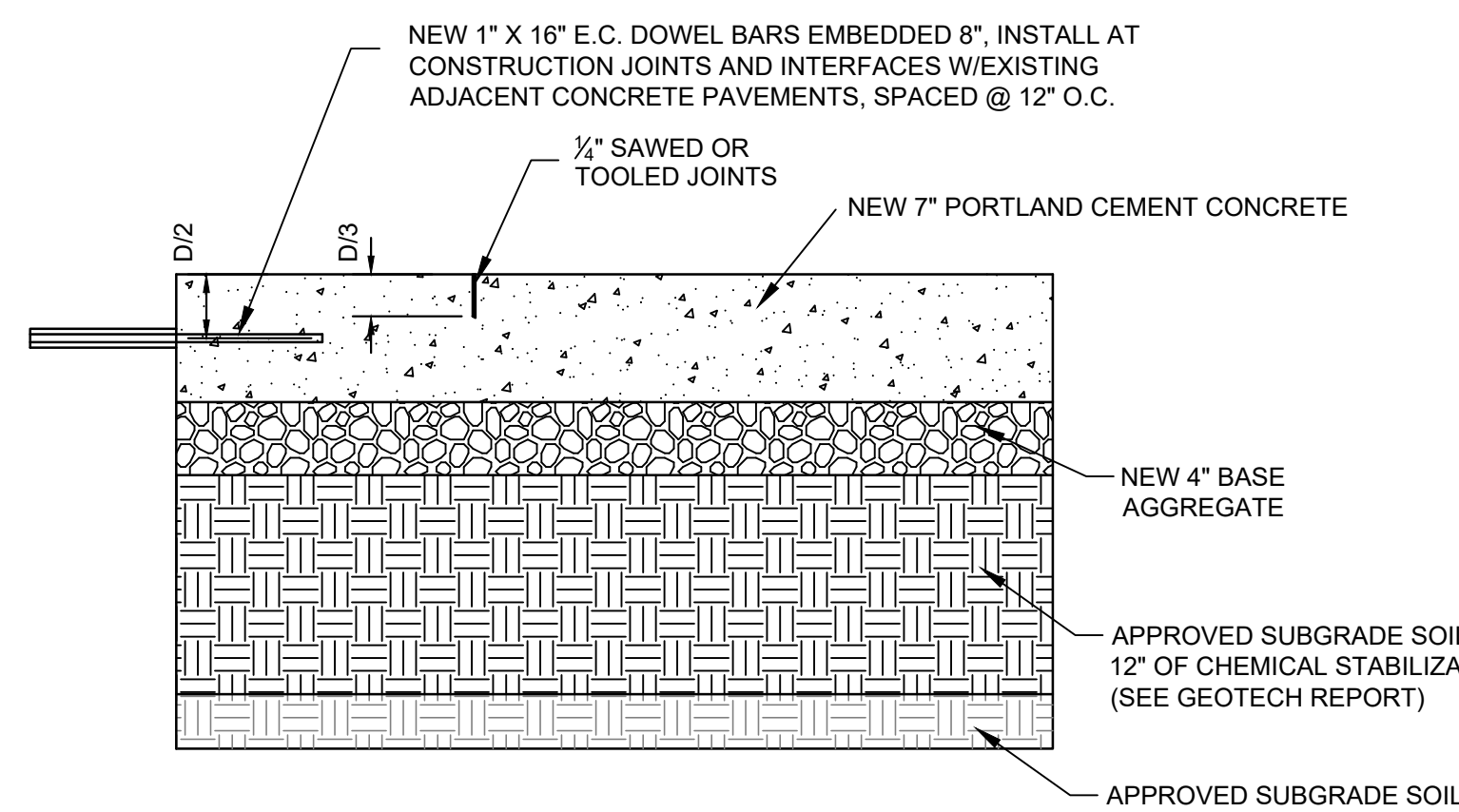
DES MOINES OUTDOOR TRUCK STORAGE FACILITY
2520 SE 43RD STREET, DES MOINES, IA

Rev.	Date	Description
1	08.04.22	City Comments

Project #: 12226052.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 07.26.22

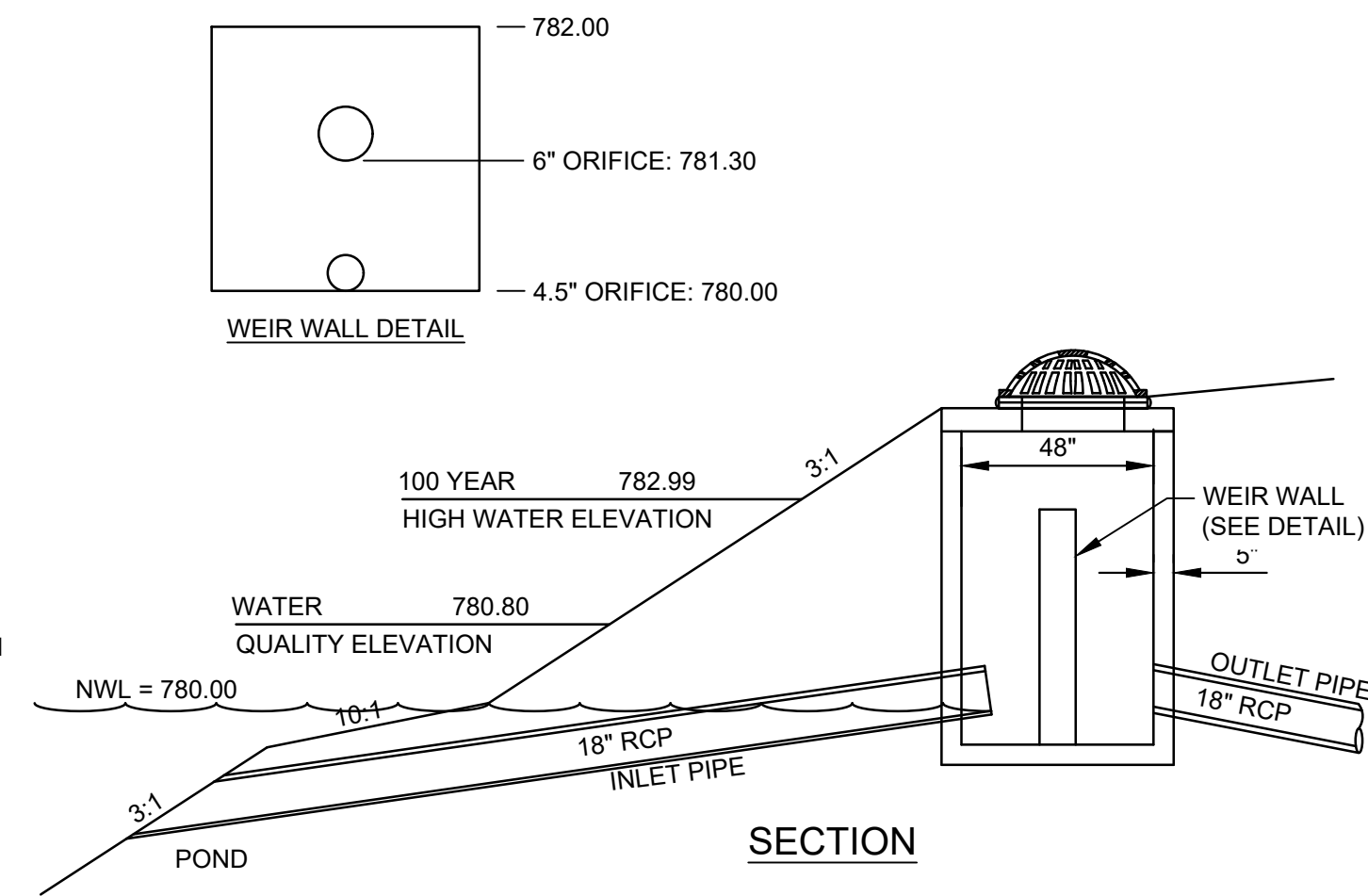
Sheet Title:
GRADING AND EROSION CONTROL PLAN

Sheet:
C300



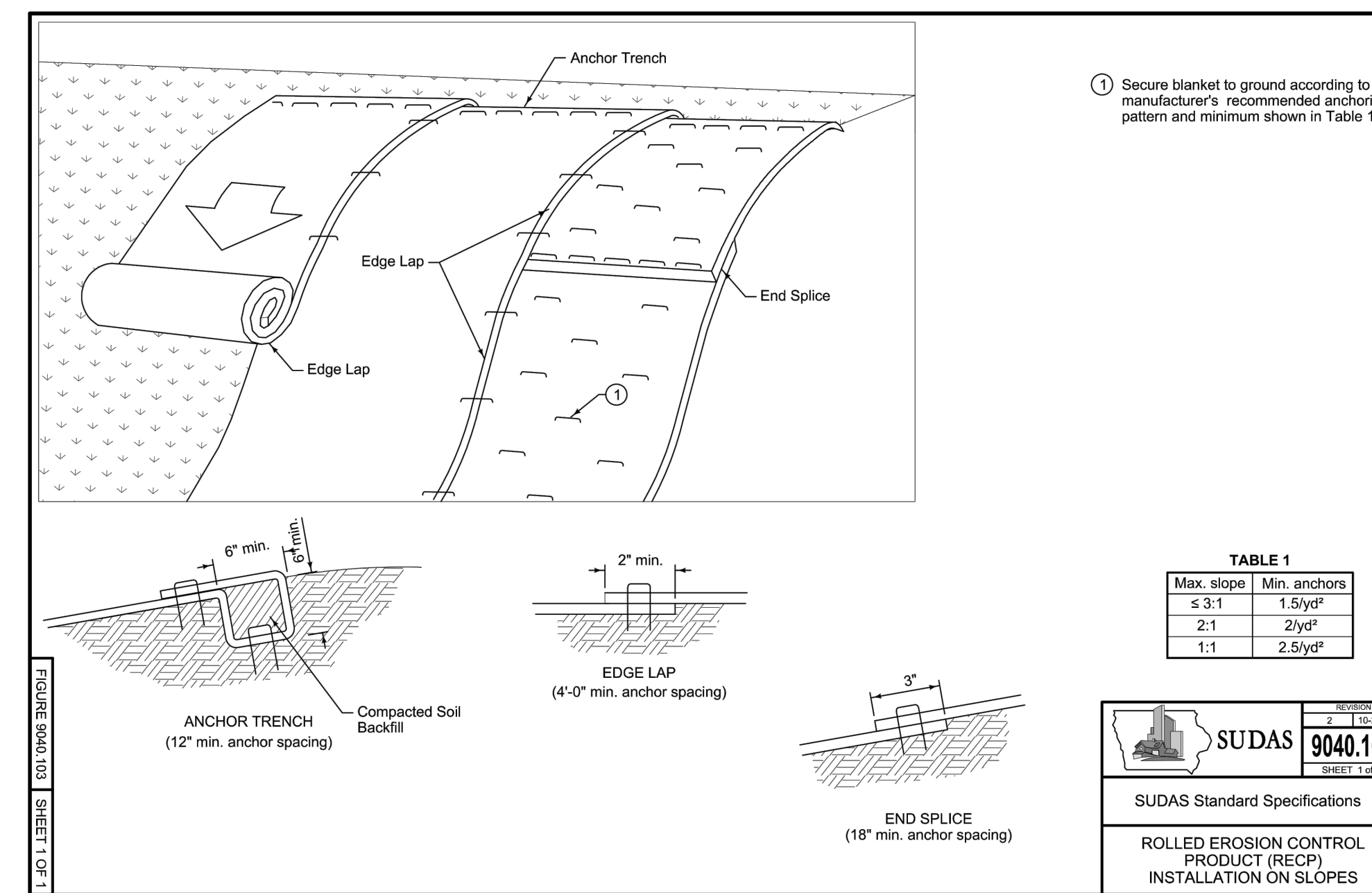
HEAVY-DUTY CONCRETE CONSTRUCTION DETAIL

1
C400
NOT TO SCALE



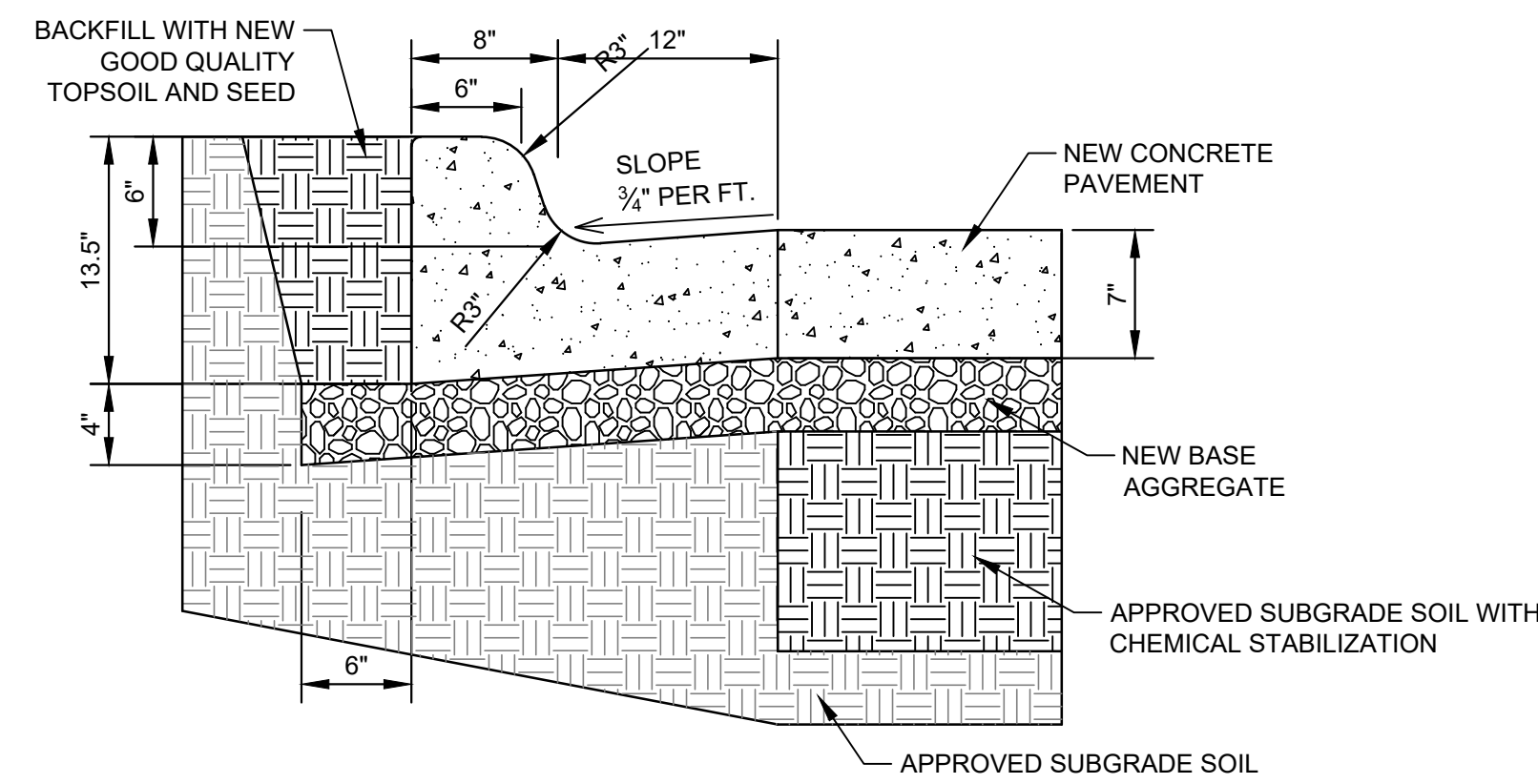
POND SKIMMER STRUCTURE

4
C400
NOT TO SCALE



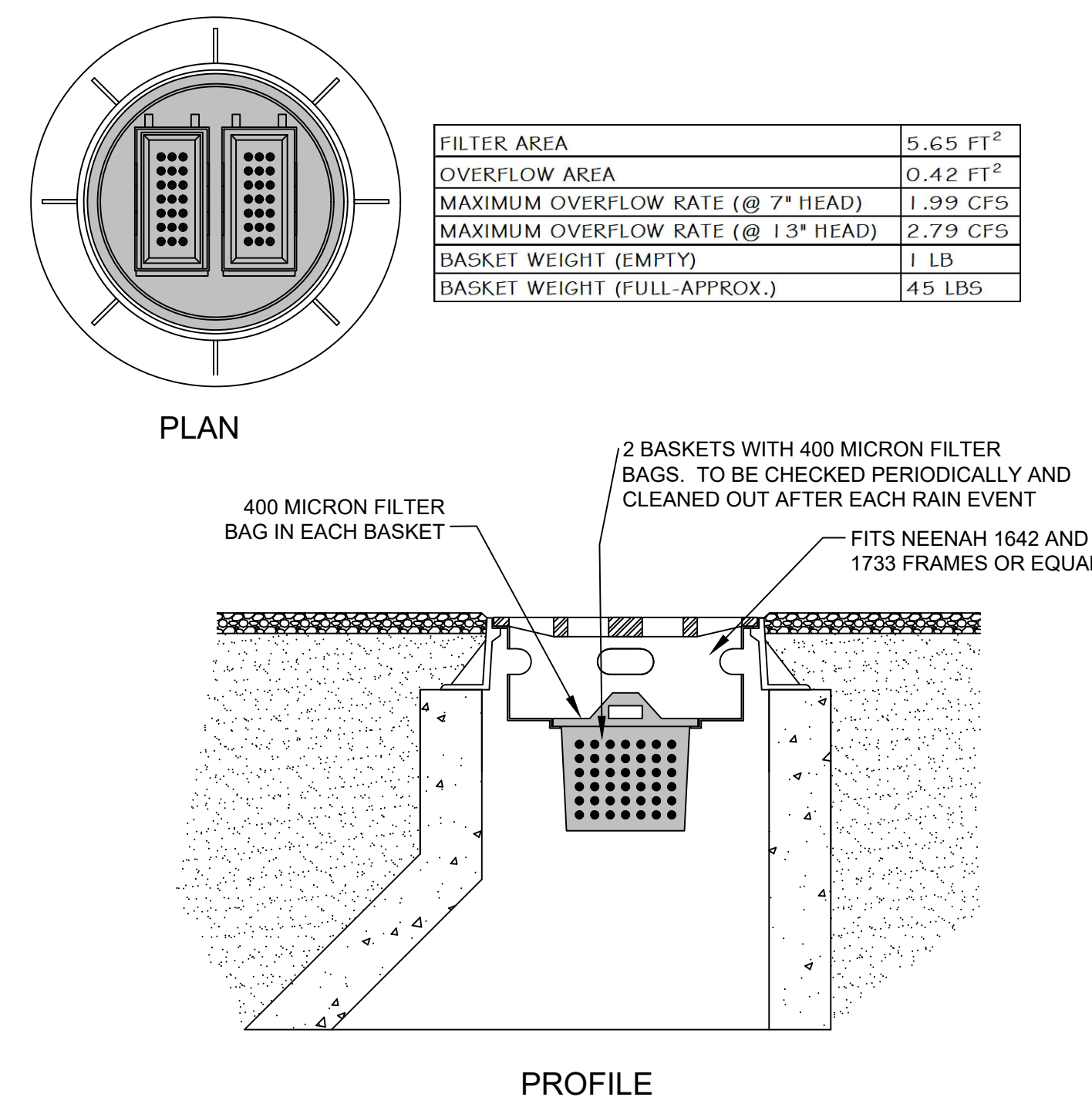
EROSION CONTROL BLANKET

6
C400
NOT TO SCALE



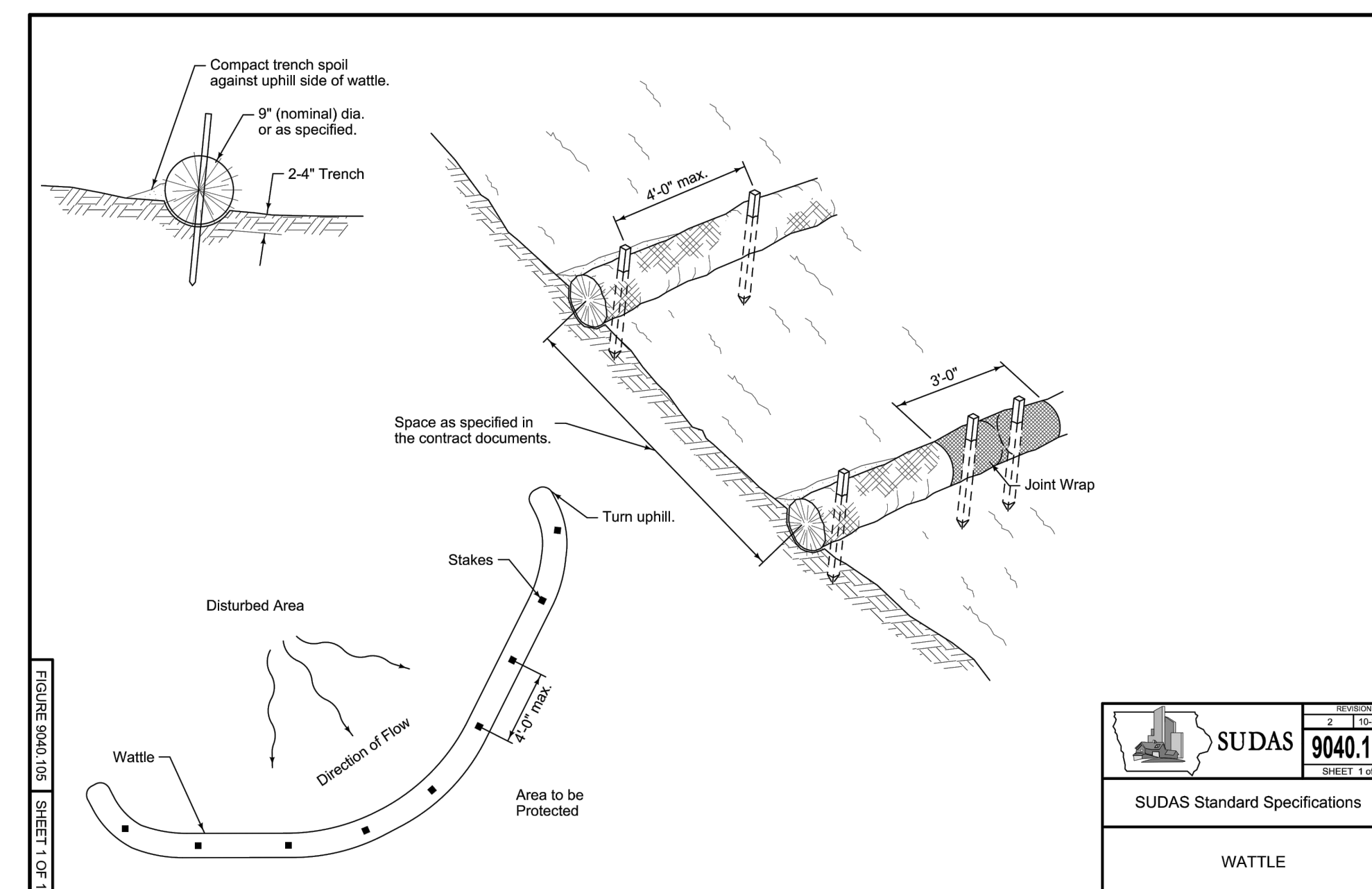
6" BARRIER CURB & GUTTER DETAIL

2
C400
NOT TO SCALE



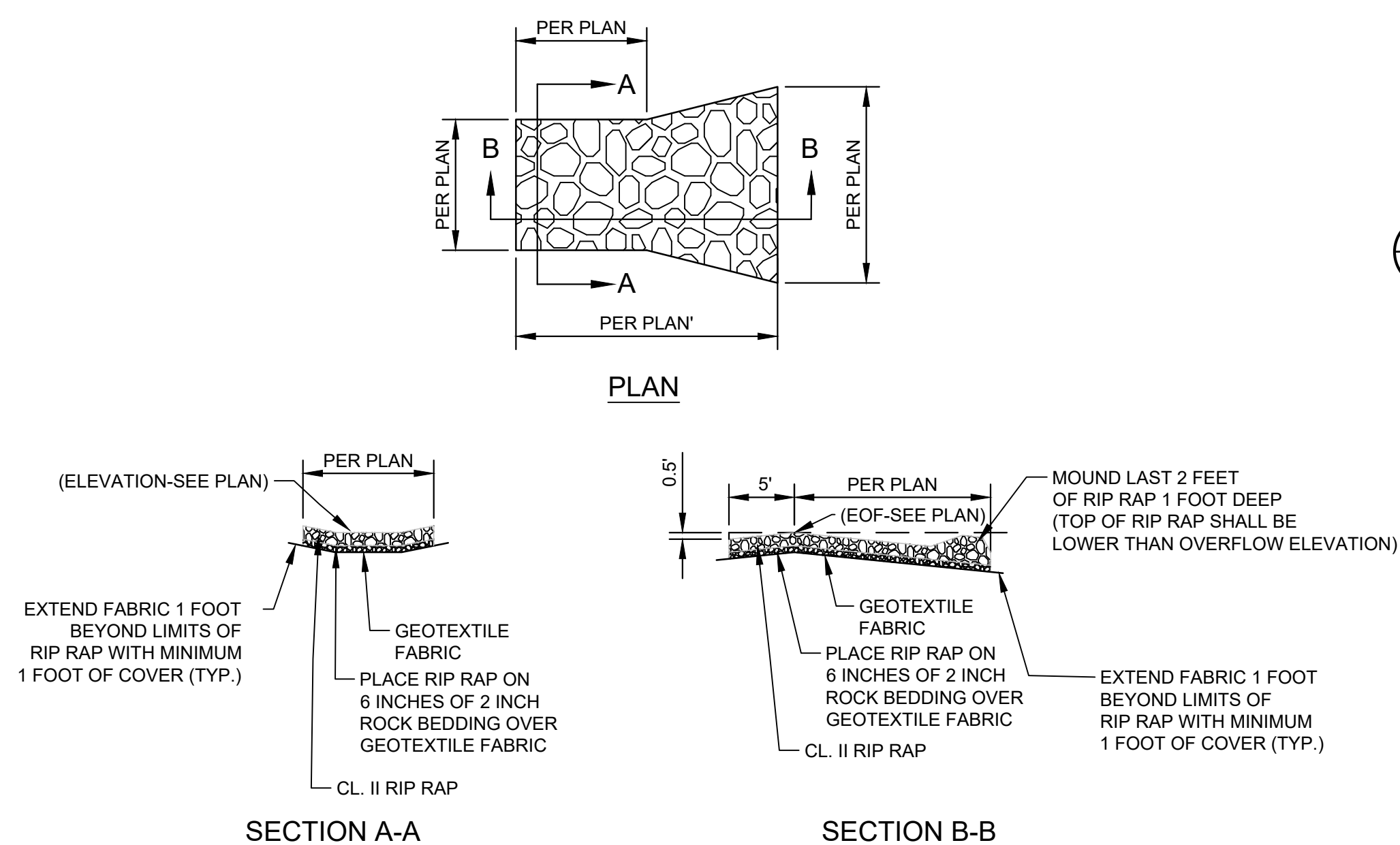
INFRA SAFE INLET PROTECTION DEVICE (OR APPROVED EQ.)

5
C400
NOT TO SCALE



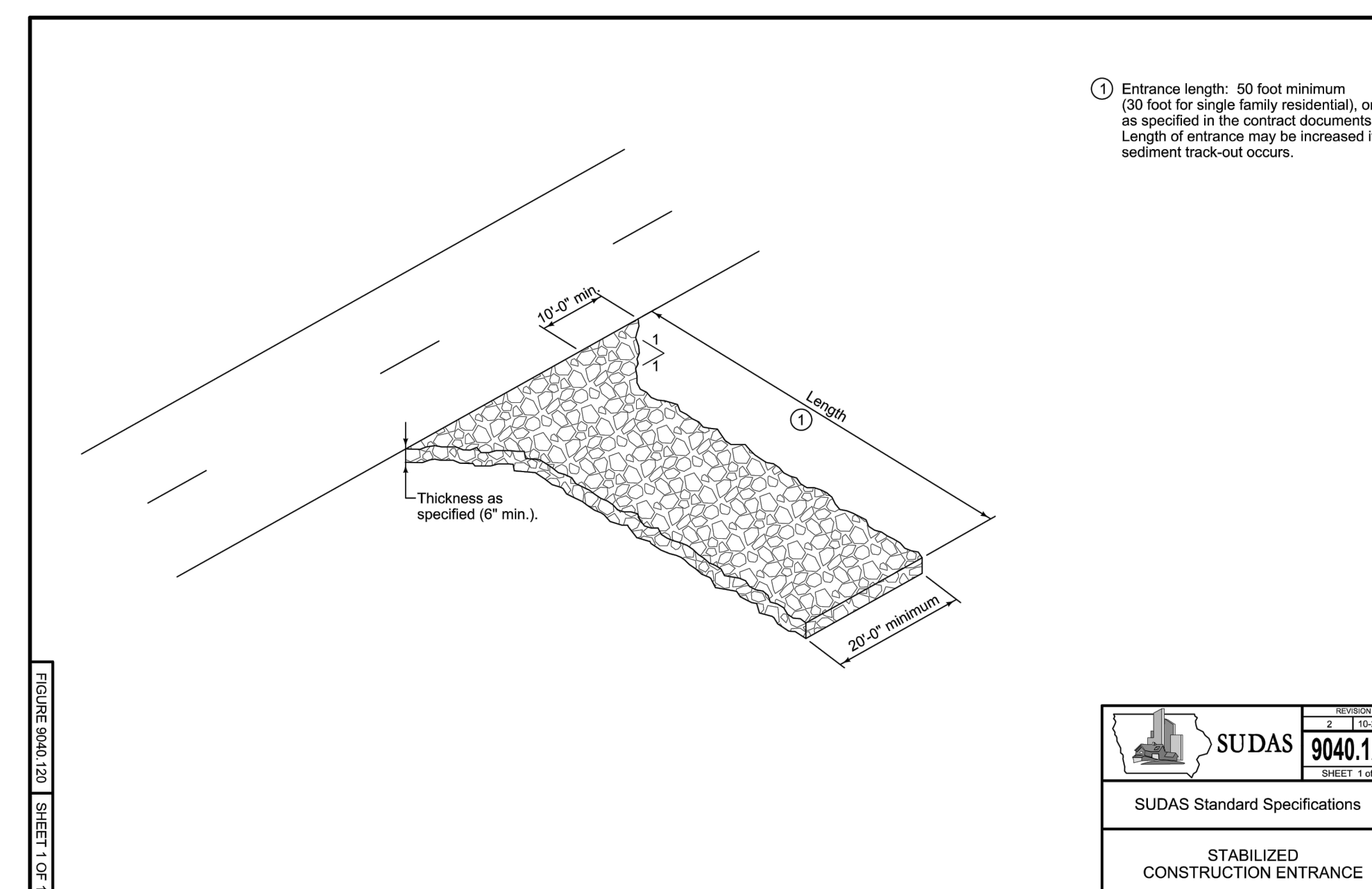
WATTLE DETAIL

7
C400
NOT TO SCALE



TYPICAL RIP RAP WEIR OVERFLOW

3
C400
NOT TO SCALE



ROCK CONSTRUCTION ENTRANCE

8
C400
NOT TO SCALE

Rev.	Date	Description
1	08.04.22	City Comments

Project #: 12226052.000
Drawn By: TJR
Checked By: MJW
Issue Date: 07.26.22
Sheet Title:

STABILIZED CONSTRUCTION ENTRANCE

Sheet:

C400

LANDSCAPING NOTES

- Contact the Municipal Forestry Division prior to planting in the public right-of-way at 515-283-4950.
- All wire, twine and burlap shall be removed from the rootball of street trees prior to planting.
- Restore all disturbed areas with 4" good quality topsoil and seed.

TREE REMOVAL & MITIGATION NOTES

- Total tree canopy area to be preserved = 974 SF
- Total tree canopy area to be removed = 29,445 SF
- In accordance with City Code Chapter 42, Article X, Section 42-555(b), one replacement tree shall be provided for every 2,000 SF impacted:
 29,445 SF / 2,000 = 30 Trees

LANDSCAPING CALCULATIONS

City Code Chapter 135, Article 7, Section 4 Site Trees, Paragraph 7.4.1.B
 = (15%)(739,829 SF) = 110,975 SF

Existing Tree Canopy Credit = 974 SF

Total Canopy Coverage Required = 110,001 SF (29,445 SF of impacted trees are included in this requirement)

City Code Chapter 135, Article 7, Section 5 Street Trees
 Street Frontage = 559 LF
 Street Trees = 559 / 30 = 19 trees (23 provided)

City Code Chapter 135, Article 7, Section 7 Frontage Buffer
 Street Frontage = 559 LF
 Shade Trees = 559 / 40 = 14 trees
 Shrubs = 559 / 3 = 187 shrubs (169 provided)

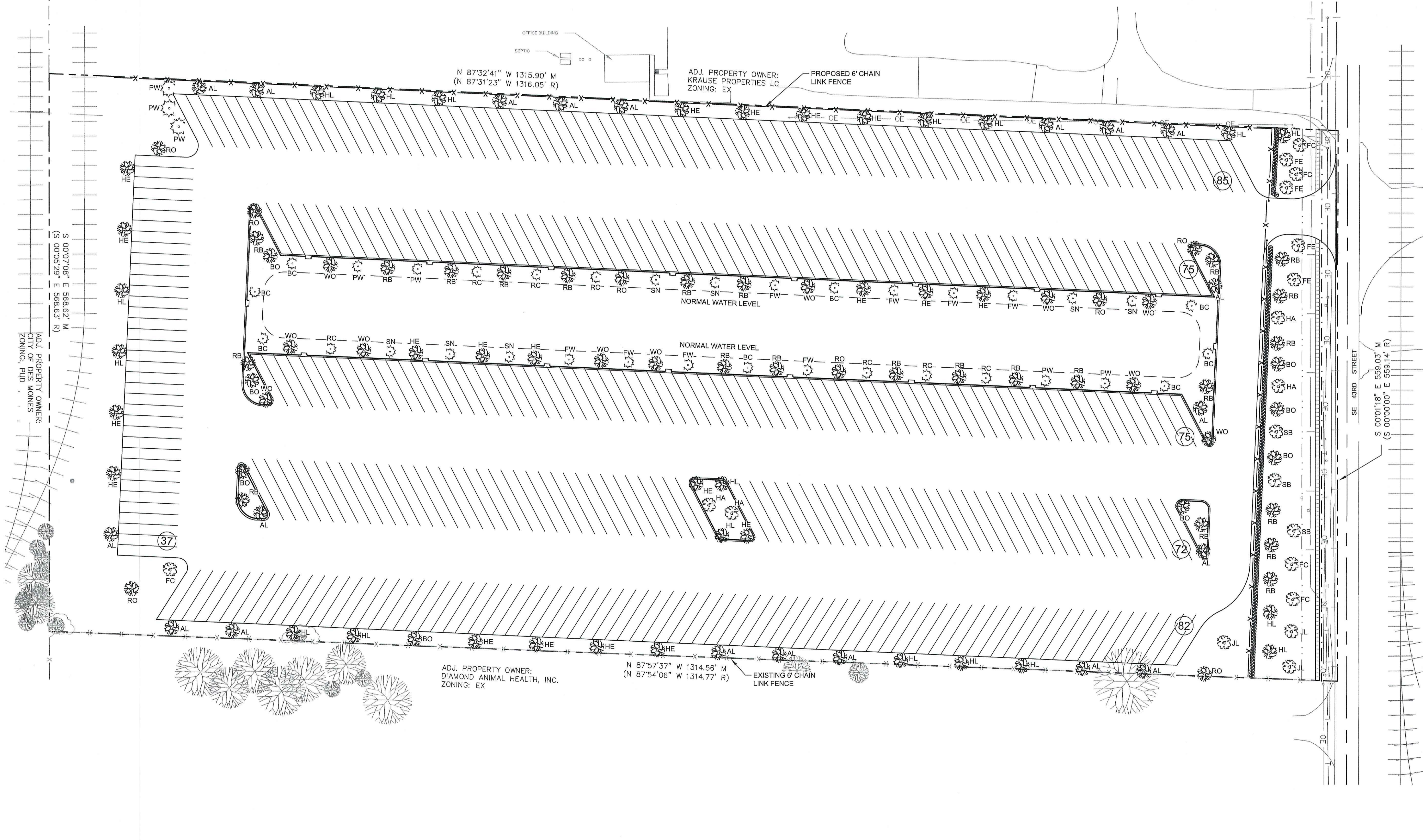
TABLE 135-7.4.2 CANOPY COVERAGE BY TREE SIZE AT MATURITY

Tree Size	Canopy Size	Trees Provided	Provided Canopy
Shade or Overstory	1,000 SF	109	109,000
Ornamental or Understory	700 SF	19	13,300
Evergreen or Coniferous	300 SF	37	11,100
Total =		165 (*)	133,400

- (*) 30 mitigated trees are included within this tree count.
- Refer to Landscaping Tables and Details Sheet for planting schedules.

SITE AREA CALCULATIONS

Property Area = 739,829 SF
 Existing Impervious = 33,422 SF (4.5%)
 Proposed Impervious = 510,078 SF (68.9%)
 Impervious Area Allowed = 510,078 SF (68.9%)
 Disturbed Area = 701,460 SF



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DES MOINES OUTDOOR TRUCK STORAGE FACILITY
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STATE OF IOWA
 ZACHARY K. HETZMAN
 LANDSCAPE ARCHITECT
 No. 00529
 08/05/2022

Rev.	Date	Description
1	08.04.22	City Comments

Project #: 12226052.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 07.26.22
 Sheet Title:

LANDSCAPE PLAN
 Sheet:
L100

PLANTING SCHEDULE - SHADE / OVERSTORY

Symbol	Common Name	Scientific Name	Planting Size (cal. in)	Planting Ht (ft)	Qty
BO	Bur Oak	Quercus macrocarpa	1.5	8	8
RO	Red Oak	Quercus rubra	1.5	8	8
WO	Swamp White Oak	Quercus bicolor	1.5	8	11
RB	River Birch	Betula nigra	1.5	8	24
AL	American Linden	Tilia americana	1.5	8	20
HE	Hybrid Elm	Ulmus spp.	1.5	8	20
HL	Honeylocust, Thornless	Gleditsia triacanthos var.	1.5	8	18
Total					109

PLANTING SCHEDULE - ORNAMENTAL / UNDERSTORY

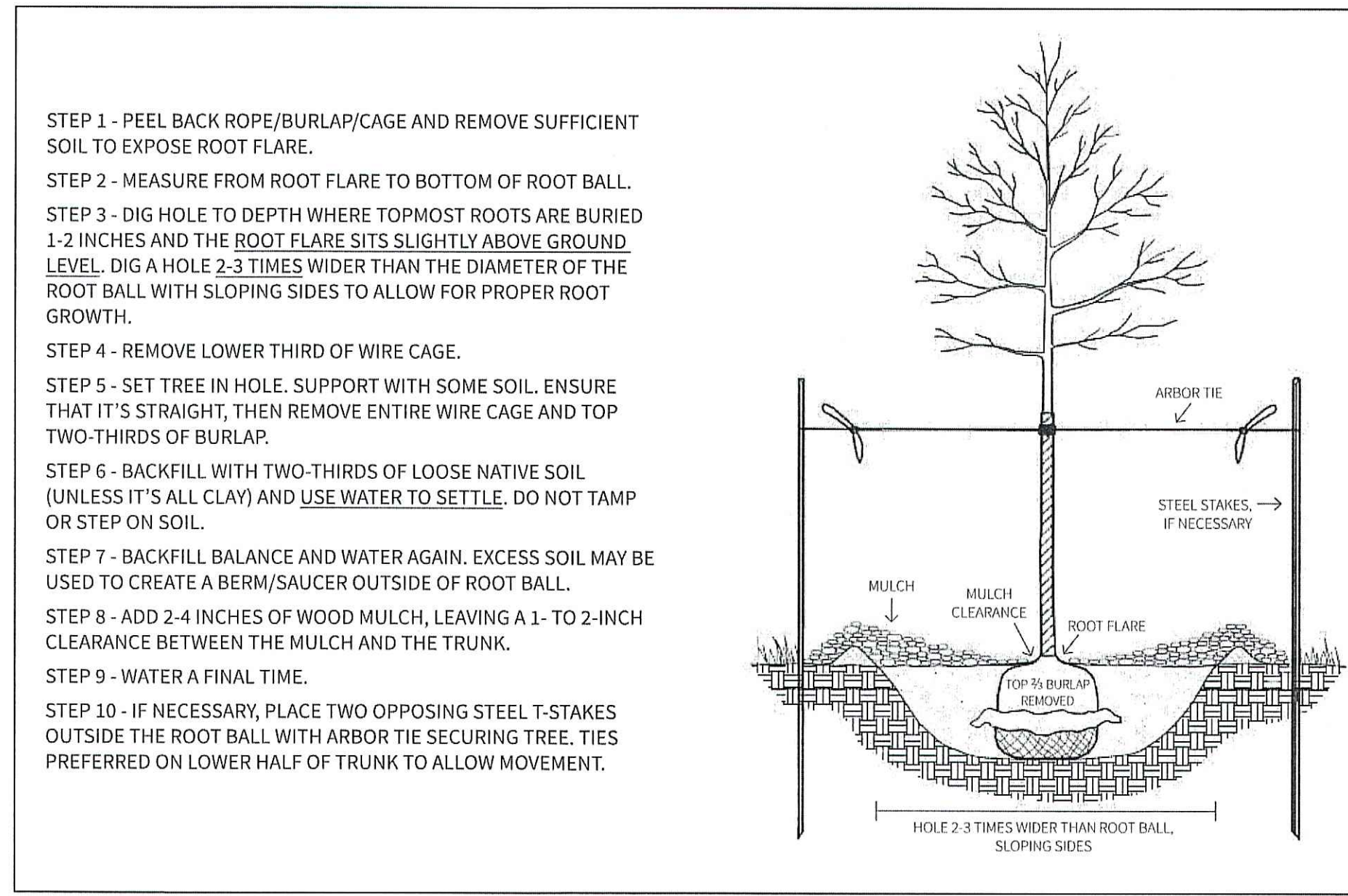
Symbol	Common Name	Scientific Name	Planting Size (cal. in)	Planting Ht (ft)	Qty
FC	Flowering Crabapple	Malus 'spring snow'	1.5	6	5
HA	Hophornbeam, American	Ostrya virginiana	1.5	6	4
JL	Japanese Tree Lilac	Syringa reticulata	1.5	6	3
FE	Redbud, Eastern	Cercis canadensis	1.5	6	4
SB	Serviceberry	Amelanchier sp.	1.5	6	3
Total					19

PLANTING SCHEDULE - EVERGREEN / CONIFEROUS

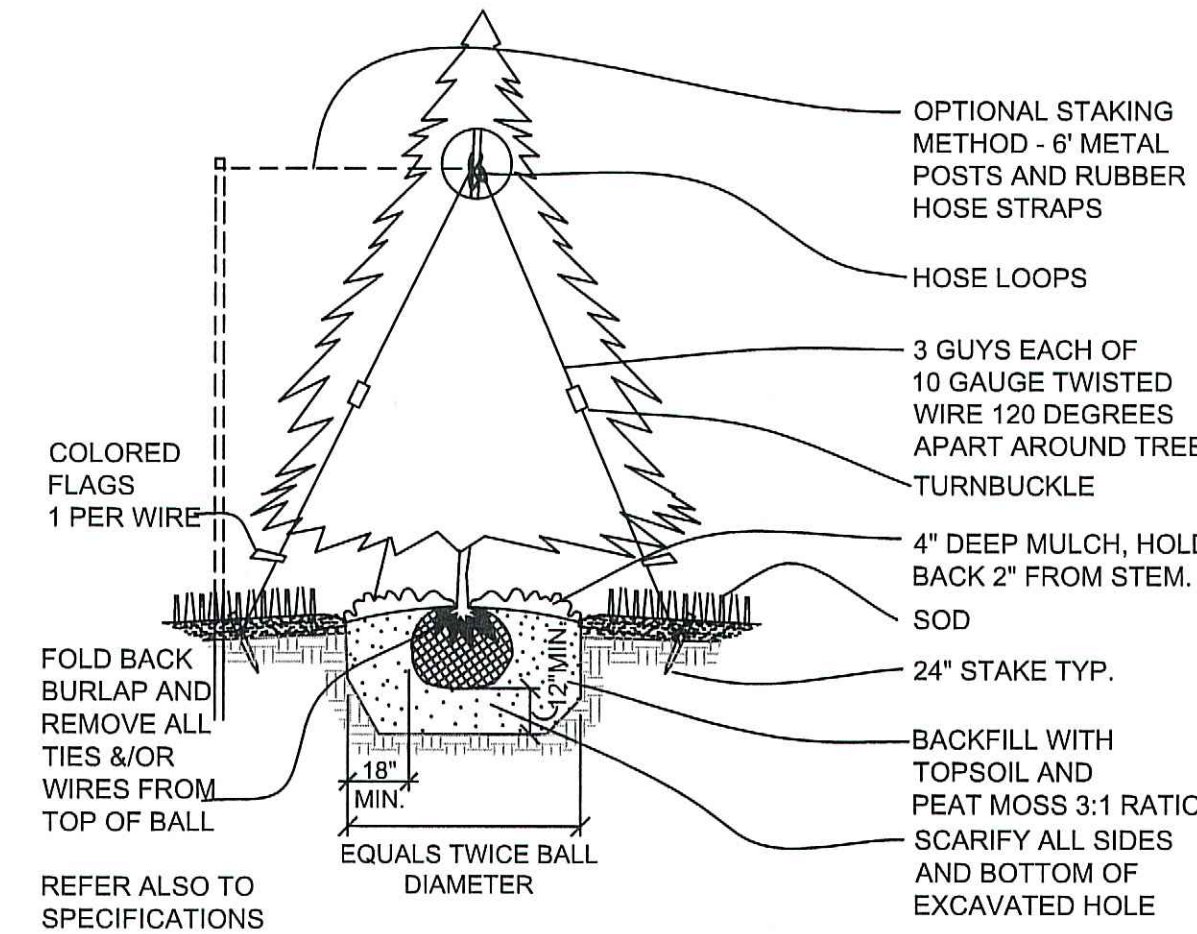
Symbol	Common Name	Scientific Name	Planting Size (cal. in)	Planting Ht (ft)	Qty
BC	Bald Cypress	Taxodium distichum	N/A	6	8
FW	Fir, White	Abies concolor	N/A	6	8
PW	Pine, Eastern White	Pinus strobus	N/A	6	7
RC	Red Cedar, Eastern	Juniperus virginiana	N/A	6	7
SN	Spruce, Norway	Picea abies	N/A	6	7
Total					37

PLANTING SCHEDULE - SHRUBS

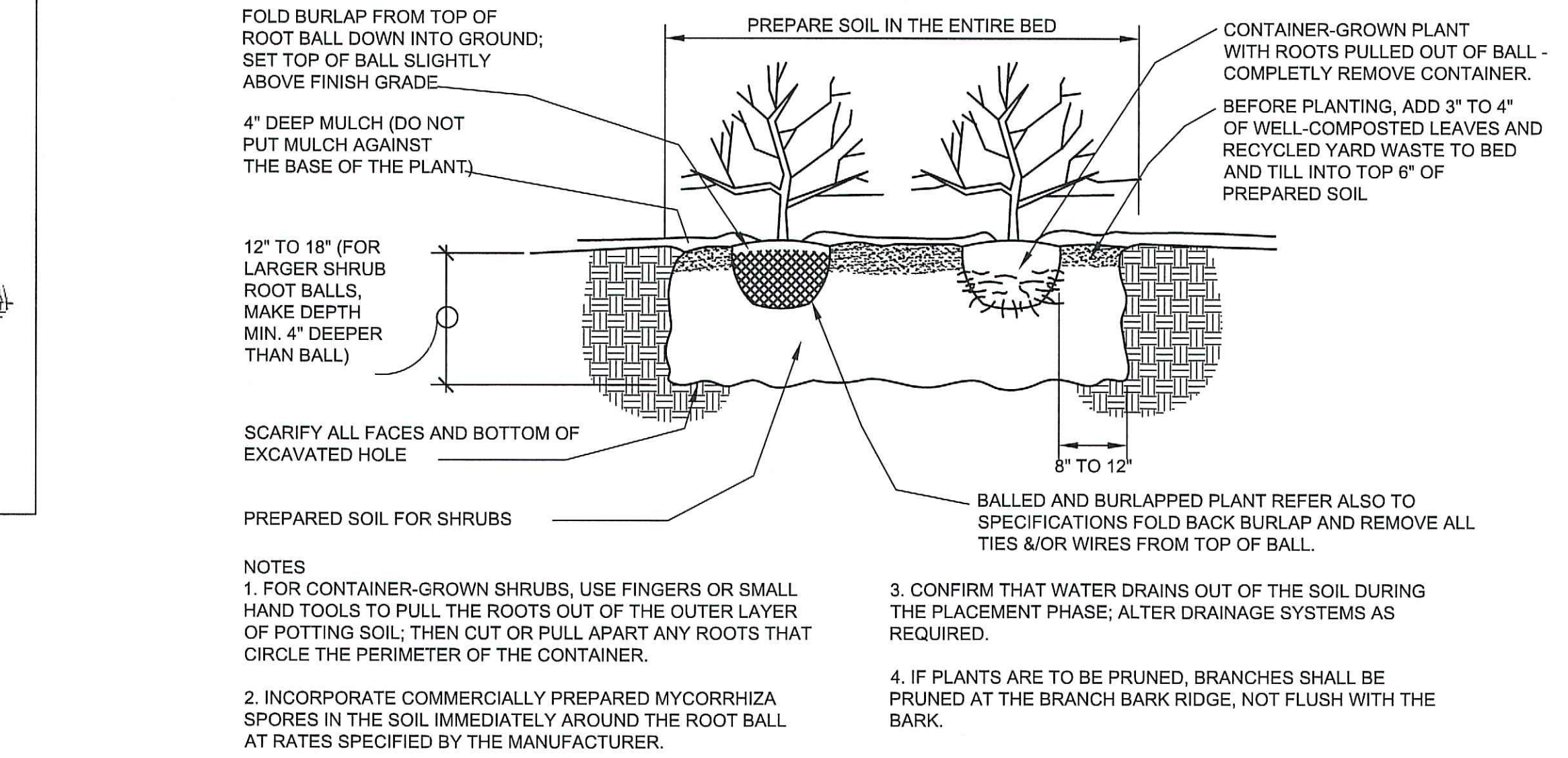
Symbol	Common Name	Scientific Name	Planting Size (gal)	Planting Ht (ft)	Qty
LP	Little Princess Spirea	Spiraea Japonica	3	N/A	169
Total					169



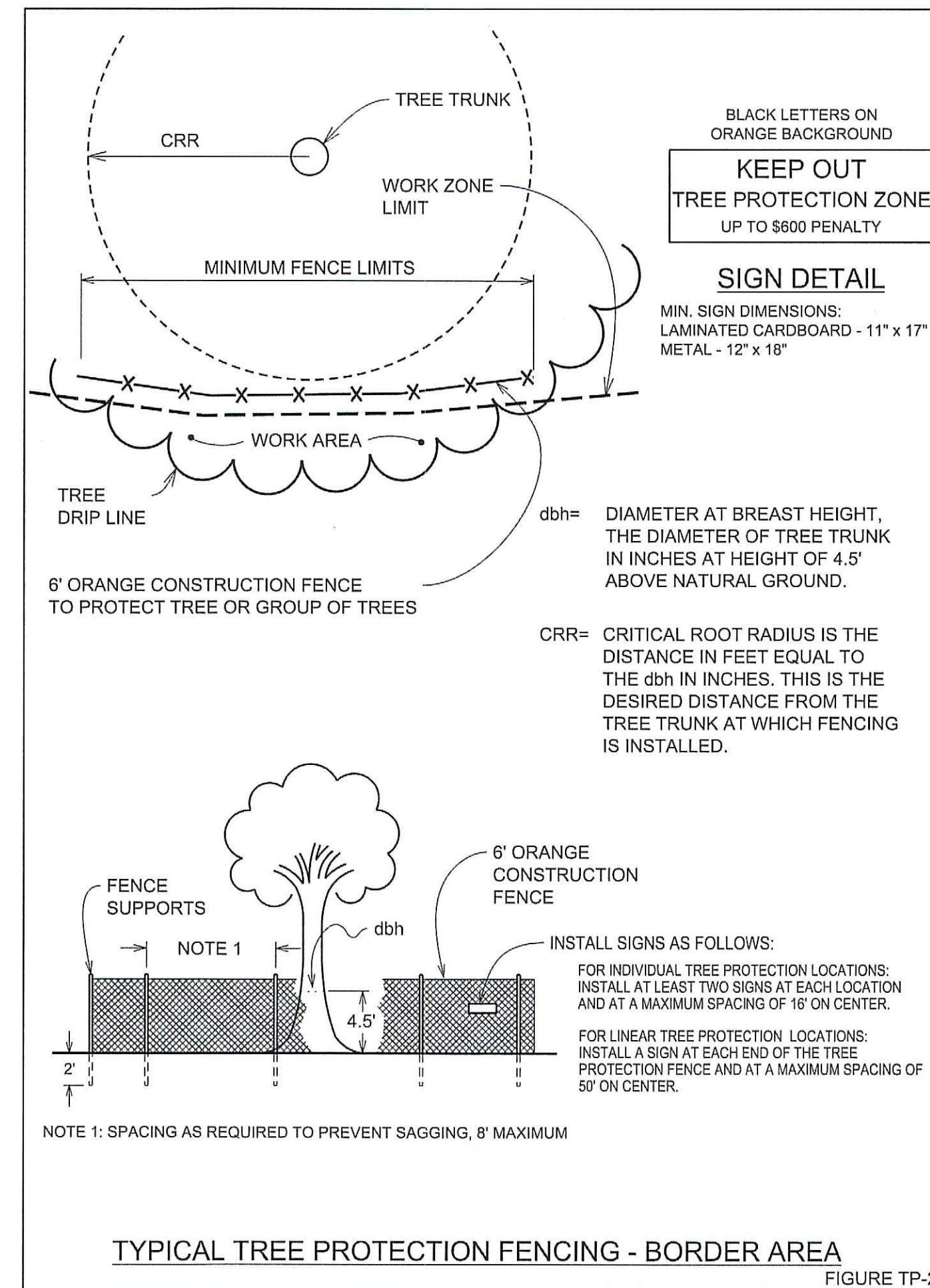
1 L200 NOT TO SCALE



2 L200 NOT TO SCALE



3 L200 NOT TO SCALE



4 L200 NOT TO SCALE

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2520 SE 43RD STREET, DES MOINES, IA

STATE OF IOWA
ZACHARY HETZMAN
LANDSCAPE ARCHITECT
NO. 00529

Rev.	Date	Description
1	08.04.22	City Comments

Project #: 12226052.000
Drawn By: TJR
Checked By: MJW
Issue Date: 07.26.22
Sheet Title:
LANDSCAPE TABLES AND DETAILS
Sheet:
L200

CITY OF DES MOINES PLAN & ZONING COMMISSION

STAFF REPORT AND RECOMMENDATION

Thursday, September 1, 2022

AGENDA ITEMS #6A-6C

**ZONG-2022-000072 &
ZONG-2022-000074**

Applicant: Zachary Finch and Cheryl Finch (owners).

Location: 3125 Kingman Boulevard.

Requested Action: A) Determination as to whether the requested rezoning is in conformance with the PlanDSM Creating Our Tomorrow Comprehensive Plan.

B) Amend the PlanDSM Creating Our Tomorrow Comprehensive Plan to revise the future land use designation from Low Density Residential to Medium Density Residential. (ZONG-2022-000074)

C) Rezone property from "N5-4" Mixed-Use District to "NX2" Mixed Use District, to allow use of the property for a multiple-household use with up to 8 dwelling units, where the existing structure has lost its previous non-conforming rights. (ZONG-2022-000072)

I. GENERAL INFORMATION

- 1. Purpose of Request:** The applicant is proposing to amend the land use plan and rezone the subject property to "NX2" District in order to allow use of the property for a multiple-household use with up to 8 dwelling units. The existing structure previously contained 8 dwelling units, but has lost its previous non-conforming rights since it has been vacant for a period longer than 6 months. The building has had fire and has been determined to be a public nuisance.

Any future construction or redevelopment of the subject properties must comply with all applicable site plan and design regulations contained in the Planning and Design Ordinance (Chapter 135 of City Code).

- 2. Size of Site:** 0.56 acres (24,704 square feet).
- 3. Existing Zoning (site):** "N5-4" Neighborhood District.
- 4. Existing Land Use (site):** The site currently houses a vacant structure that previously functioned as a multiple-household use with 8 dwelling units.

5. Adjacent Land Use and Zoning:

North – “N5-4”; Uses is a parking lot for an apartment building.

South – ‘N5-4’; Uses are Kingman Boulevard and a multi-household dwelling with 6 units.

East – “N5-4”; Use is an apartment building with 16 units.

West – “N5-4”; Use is an apartment building with 15 units.

6. General Neighborhood/Area Land Uses: The subject property along the north side of Kingman Boulevard just to the west of its intersection with 31st Street. The surrounding area includes a mix of single-household, duplex, and multiple-household uses.

7. Applicable Recognized Neighborhood(s): The subject property is located in the Drake Neighborhood Association. All neighborhood associations were notified of the September 1, 2022, public hearing by mailing of the Preliminary Agenda on August 12, 2022 and by mailing of the Final Agenda on August 26, 2022. Additionally, separate notifications of the hearing for this specific item were mailed on August 12, 2022 (20 days prior to the public hearing) and August 22, 2022 (10 days prior to the public hearing) to the Drake Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Drake Neighborhood mailings were sent to Lori Calhoun, 2808 Cottage Grove Avenue, Des Moines, IA 50311.

The applicant will provide a summary of the neighborhood meeting at the public hearing.

8. Relevant Zoning History: The subject property previously contained a legal non-conforming use with 8 dwelling units in the “N5-4” District. As a result of vacancy for a period long than 6 months, the property has lost the legal non-conforming status and does not conform to what is allowed in the zoning district.

9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation: The property is designated as Low Density Residential.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so

long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. PlanDSM: Creating Our Tomorrow:** The applicant is requesting that the future land use designation for the property be amended from “Low Density Residential” to “Medium Density Residential”. Plan DSM describes these designations as follows:

Low Density Residential: Areas developed with primarily single-family and two-family residential units with up to 6 dwelling units per net acre.

Medium Density Residential: Areas developed with mix of single family, two family and multi-family residential up to 17 dwelling units per net acre.

The subject parcel is currently zoned “N5-4” District. The Zoning Ordinance describes this district as, “intended to preserve the scale and character of neighborhoods developed with a mix of bungalow and two-story houses, predominantly in the Victorian, Revival, and Arts and Crafts styles pursuant to House D building type in section 135-2.16 of this code.” For N districts locations labeled with a “-4” extension, the maximum number of household units permitted per lot is four, pursuant to City Code Section 134-3.1.2.

The applicant is proposing to rezone the parcel to the “NX2” District. The Zoning Ordinance describes this district as, “intended for a mix of single-household houses with appropriately scaled and detailed multiple-household building types in the same neighborhood.”

Staff does not believe that the proposed Medium Density Residential designation is appropriate for this site since this designation allows for density up to 17 dwelling units per net acre. Therefore, the 0.56-acre subject property would be allowed to have a maximum of nine (9) dwelling units. Staff believes that a maximum of 9 dwelling units within this property and the existing Flat building type would not fit the character of this area and could be detrimental to the health, safety and well-being of those residing in the building within the subject property and those in the surrounding neighborhood. Staff believes that this designation is better placed along significant corridors, such as University Avenue, 31st Street, and 42nd Street.

However, Staff would be supportive of revising the future land use designation to Low-Medium Density Residential. Plan DSM describes this designation as follows:

Low-Medium Density Residential: Areas developed with mix of single family, duplex, and small multi-family residential up to 12 dwelling units per net acre.

Since this designation allows for density up to 12 dwelling units per net acre, the 0.56-acre subject property would be allowed to have a maximum of six (6) dwelling units. This Low-Medium Density Residential designation is appropriate in areas such as this that contain a diversity of housing options and serves as opportunities for infill housing and other similar scale uses. The property is within a walkable neighborhood with close proximity to other amenities. There is a DART transit route and bus stop within 250 feet of the subject property along 31st Street.

- 2. Building Code Requirements:** This structure has been determined to be a public nuisance. Permits are required for repairs, but permits will not stay any legal action. This building may require protection by an automatic sprinkler system in accordance with Chapter 9 of the International Building Code and Des Moines Municipal Code Chapters 26 and 46.

Building and site work must comply with accessibility requirements of the ANSI A117.1 standard for accessibility, International Building Code and International Existing Building Code. These codes require accessible parking, an accessible route from accessible parking to an accessible entrance, accessible means of egress, and accessible routes throughout the building.

- 3. Planning and Design Ordinance Requirements:** Any development must comply with all applicable site plan and design regulations of the City's Planning and Design Ordinance. Should the rezoning be approved, the applicant would be required to prepare a Site Plan and building elevations for review before the property can be occupied by the proposed use. This Site Plan will ensure that all requirements, including those pertaining to off-street parking, landscaping, screening, and stormwater management, are satisfied. If the property is rezoned to the requested "NX2" District, the Site Plan would likely be reviewed against either "Flat" Building Type or the "House D" Building Type.

Should the requested rezoning be denied, the existing "N5-4" Neighborhood District zoning regulations would allow for a maximum of 4 dwelling units only long as the site complies with all applicable site plan and design regulations of the City's Planning and Design Ordinance.

III. STAFF RECOMMENDATION

Part A) Staff recommends that the requested "NX2" District be found not in conformance with the existing PlanDSM future land use designation of Low Density Residential.

Part B) Staff recommends that PlanDSM: Creating Our Tomorrow Comprehensive Plan be amended to revise the future land use designation from Low Density Residential to

Low-Medium Density Residential. The requested Medium Density Residential would not be appropriate for this property.

Part C) Staff recommends approval of the request to rezone the property from “N5-4” Neighborhood District to “NX2” Mixed-Use District, only so long as the property owner agrees to the following conditions of approval:

1. Any use of the Property for a multiple-household residential use shall be limited to six (6) or fewer dwelling units.
2. Any use of the Property for a multiple-household residential use shall be in accordance with a Site Plan approved pursuant to all applicable standards of Des Moines Municipal Code Chapter 135.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 1, 2022

AGENDA ITEMS #7A – #7C ZONG-2022-000079 & ZONG-2022-000075

Applicant: 1348 E Euclid Ave, LLC (owner), represented by Brad Lowe (officer).

Location: Vicinity of 1331 East Douglas Avenue.

Requested Action: Part A) Determination as to whether the requested rezoning is in conformance with the PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Amend the PlanDSM: Creating Our Tomorrow Comprehensive Plan to revise the future land use designation of the property from Low Density Residential to Community Mixed Use. (ZONG-2022-000079)

Part C) Rezone the property from “N3a” Neighborhood District to “RX2” Mixed Use District, to allow use of the property in common with the property immediately to the south, which is being converted from a motel use to a multiple-household use. (ZONG-2022-000075)

GENERAL INFORMATION

1. **Purpose of Request:** The proposed rezoning would allow the subject properties, in common with the properties immediately to the south, to be redeveloped from a former motel use to a multiple-household residential use.
2. **Size of Site:** 0.813 acres (35,406 square feet).
3. **Existing Zoning (site):** “N3a” Neighborhood District.
4. **Existing Land Use (site):** The subject area consists of undeveloped land.
5. **Adjacent Land Use and Zoning:**
 - North** – “N3a”; Use is low density residential.
 - South** – “RX2”; Use is a former motel use.
 - East** – “MX3-V”; Use is retail sales.
 - West** – “MX3”; Use is retail sales.
6. **General Neighborhood/Area Land Uses:** The subject area is located near the intersection of the U.S. Highway 6/East Euclid Avenue and the U.S. Highway 69/East 14th Street corridor. The subject area is located in the Highland Park Neighborhood, which is an area consisting of a mix of one-household residential, multiple-household residential, office, commercial, educational, and institutional uses.

- 7. Applicable Recognized Neighborhood(s):** The subject area is located within the Highland Park Neighborhood Association. All neighborhood associations were notified of the public hearing by mailing of the Preliminary Agenda on July 1, 2022 and by mailing of the Final Agenda on July 15, 2022. Additionally, separate notifications of the hearing for this specific item were mailed on July 1, 2022 (20 days prior to the public hearing) and July 11, 2022 (10 days prior to the public hearing) to Highland Park Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Services Department on the date of the mailing. The Highland Park Neighborhood Association mailings were sent to Sherri Rosener, 106 Oak Park Avenue, Des Moines, IA 50313.

The applicant can provide a summary of the neighborhood meeting at the public hearing.

- 8. Relevant Zoning History:** On February 18, 2021, by Docket No. ZON2021-00010, the Plan and Zoning Commission recommended approval of a request to Rezone property from “MX3” Mixed Use District to “RX2” Mixed Use District, to allow the property to be redeveloped with ground floor Multiple Household Living use.
- 9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Low Density Residential within a Community Node.
- 10. Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject area owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. PlanDSM Creating Our Tomorrow:** The applicant is requesting that the future land use designation for the property be revised from “Low Density Residential” to “Community Mixed Use.” PlanDSM describes these designations as follows:

Low Density Residential

Areas developed with primarily single family and two family residential units with up to 6 dwelling units per net acre.

Community Mixed Use

Small- to medium-scale mixed use development, located on high capacity transit corridors or at the intersection of transportation corridors. Community mixed use areas include both a mix of medium density residential and a mix of retail and service establishments designed to attract customers from a large service area encompassing multiple neighborhoods and may include specialty retail that attracts regional customers.

Community Node

Mid-sized centers providing a range of daily needs and specialized services within a larger neighborhood context. Consist of a mix of housing, retail, and offices serving a larger population and geographical area than a neighborhood node. May include a shopping district including a grocery and drug store. Residential development including medium and high densities may occur.

The subject parcel is currently zoned “N3a” District. The Zoning Ordinance describes this district as, “intended to preserve the scale and character of residential neighborhoods developed predominantly during the 1950s, 1960s, and 1970s, typically in the ranch or split-level style pursuant to House B building type in section 135-2.14 of this code.”

The applicant is proposing to rezone the parcel to the “RX2” District. The Zoning Ordinance describes this district as, “intended for transitional areas between MX districts and N districts, providing for residential and office buildings at a scale and intensity higher than RX1”.

Staff believes the requested rezoning to “RX2” is appropriate given the proposed use in common with the southern properties, which are already zoned “RX2” District and the general location of the proposed project. Staff does believe that it is reasonably necessary to prohibit any driveway access to the Property from East Douglas Avenue.

- 2. Planning and Design Ordinance:** Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code). Should the rezoning be approved, the applicant would be required to prepare a site plan and building elevations for any proposed additions or modifications.

III. STAFF RECOMMENDATION

Part A) Staff recommends that the requested rezoning be found not in conformance with the existing PlanDSM future land use designation of Low Density Residential.

Part B) Staff recommends approval of the request to amend the PlanDSM: Creating Our Tomorrow Plan Future Land Use Map designation from Low Density Residential to Community Mixed Use.

Part C) Staff recommends approval of the rezoning of the subject area as "RX2" Mixed Use District, to allow use of the property in common with the property immediately to the south, which is being converted from a motel use to a multiple-household use, subject to the condition that there shall be no driveway access to the Property from East Douglas Avenue.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 1, 2022

AGENDA ITEM #8

SITE-2022-000047

Applicant: First Assembly of God Church (owner), represented by Jeffrey Ostrander (officer).

Location: Multiple parcels in the vicinity of 2725 Merle Hay Road.

Requested Action: Review and approval of a Public Hearing Site Plan “Reach Church Building and Site Improvements,” and for a Type 2 Design Alternative in accordance with City Code Sections 135-9.2.4(B) and 135-9.3.1(B), to waive the requirement to screen rooftop mechanical equipment, per City Code Section 135-4.5.5.

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed Site Plan would allow for façade updates, landscaping enhancements, and a major renovation to the interior of the building. Design Alternative review criteria can be found in Section I, subparagraph 10 of this report. Staff analysis of the proposal can be found in Section II of the report.
2. **Size of Site:** 6.78 acres.
3. **Existing Zoning (site):** “P2” Public, Civic, and Institutional District and “N3b” Residential District.
4. **Existing Land Use (site):** The site is composed of a large church, accessory parking areas, and accompanying landscaping features.
5. **Adjacent Land Use and Zoning:**
 - North** – “NX1” and “N3b” ; Uses are New York Avenue, a parking lot, and a one-household dwelling unit.
 - South** – “NX1” and “N3b” ; Uses are one-household dwelling units.
 - East** – “N3b” ; Uses are one-household dwelling units.
 - West** – “NX1”; Uses are Merle Hay Road and one-household dwelling units.
6. **General Neighborhood/Area Land Uses:** The subject property is located along Merle Hay Road, in a predominantly residential area. Commercial nodes are located about 500 feet from both the northern and southern extents of this site.
7. **Applicable Recognized Neighborhood(s):** The subject property is located in the Merle Hay Neighborhood. The neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on August 12, 2022, and by mailing of the Final Agenda on November 26, 2022. Additionally, separate notifications of the hearing for this specific item were mailed on August 22, 2022 (10 days prior to the

public hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Merle Hay Neighborhood Association mailings were sent to April Wyss, 2800 62nd Street, Des Moines, IA 50322.

8. Relevant Zoning History: None.

9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation: Low-Medium Density Residential.

10. Applicable Regulations: Pursuant to Section 135-9.1.1.B of the Planning and Design Ordinance, the site plan review requirements of Chapter 135 are designed to ensure the orderly and harmonious development of property in a manner that shall:

- Promote the most beneficial relation between present and proposed future uses of land and the present and proposed future circulation of traffic throughout the city;
- Permit present development of property commensurate with fair and orderly planning for future development of other properties in the various areas of the city with respect to the availability and capacity, present and foreseeable, of public facilities and services. The factors to be considered in arriving at a conclusion concerning proposed present development of property shall include the following:
 - The maximum population density for the proposed development, the proposed density of use, and consideration of the effect the proposal will have on the capacity of existing water and sanitary sewer lines to the end that existing systems will not become overloaded or capacity so substantially decreased that site use will inhibit or preclude planned future development;
 - Zoning restrictions at the time of the proposal;
 - The city's comprehensive plan;
 - The city's plans for future construction and provision for public facilities and services; and
 - The facilities and services already available to the area which will be affected by the proposed site use;

- Encourage adequate provision for surface and subsurface drainage, in order to ensure that future development and other properties in various areas of the city will not be adversely affected;
- Provide suitable screening of parking, truck loading, refuse and recycling disposal, and outdoor storage areas from adjacent residential districts;
- Encourage the preservation of canopied areas and mature trees and require mitigation for the removal of trees; and
- Consider the smart planning principles set forth in Iowa Code Chapter 18B. Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

- The design alternative provisions of Section 135-9.2.4 are intended to authorize the granting of relief from strict compliance with the regulations of this chapter as part of the site plan or alternate design documentation review process when specific site features or characteristics of the subject property, including the presence of existing buildings, creates conditions that make strict compliance with applicable regulations impractical or undesirable. The design alternative provisions are also intended to recognize that alternative design solutions may result in equal or better implementation of the regulation's intended purpose and greater consistency with the comprehensive plan.
- Consideration of requested design alternatives through the administrative and public hearing review processes will be evaluated on the merits of the applicable request and independently of prior requests from the same applicant, and may include the following criteria:
 - An evaluation of the character of the surrounding neighborhood, such as:
 - Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
 - Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s);
- For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character

determination will be based upon the assumption that such lots, as if developed, comply with the applicable requirements of this chapter for which a design alternative(s) has been requested;

- The totality of the number and extent of design alternatives requested compared to the requirements of this chapter for each site plan or alternate design documentation reviewed;
- Whether the requested design alternative(s) is consistent with all relevant purpose and intent statements of this design ordinance and with the general purpose and intent of the comprehensive plan;
- Whether the requested design alternative(s) will have a substantial or undue adverse effect upon adjacent property, the character of the surrounding area or the public health, safety and general welfare;
- Whether any adverse impacts resulting from the requested design alternative(s) will be mitigated to the maximum extent feasible; and
- Other factors determined relevant by the community development director, plan and zoning commission, or city council as applicable.

II. ADDITIONAL APPLICABLE INFORMATION

Per City Code Section 135-4.5.5(B), rooftop mechanical equipment, if not screened by the roof design, is required to be screened by architectural-quality metal screening material that is equal to the height of the equipment on all sides. Equipment is required to be set back from the edge of the roof so that it and the screening material are not visible from any adjoining right-of-way.

There are approximately 12 existing rooftop mechanical units, and 4 proposed. Staff understands that the existing units have never been screened. However, with major interior renovations proposed, it is appropriate to provide rooftop screening at this time. Building permits have not been applied for yet, but preliminary information has indicated that the project has a budget of approximately \$9,600,000. The applicant has provided a cost estimate of \$120,000 to screen the rooftop units, which represents 1.2% of the total cost. Outside of constructing major building additions or an entirely new building, there is likely to be no scope of work at this site that is greater than the one presented now.

Screening for rooftop mechanical equipment diminishes negative visual impacts from adjacent properties and the right-of-way, and generally preserves building design quality. The applicant has proposed to at least partially blend existing rooftop units with the color palette of the new façade materials. However, with such a large, prominent building on a major corridor that is also highly visible to adjacent residential areas, architectural-quality metal screening should be employed to limit visual impacts on surrounding properties and the surrounding rights of way and preserve the architectural integrity of the building.

Rooftop mechanical equipment screening also helps to abate negative auditory impacts that result from large appurtenances such as condensers, fans, generators, and the like that are frequently located on building roofs. Commercial-grade mechanical equipment is frequently cited as a noise pollutant in urban environments. Staff has concerns about allowing rooftop units to exist unscreened given the relatively close proximity of residential uses. Some of the existing and proposed rooftop units sit approximately 70 to 100 feet away from abutting residential properties. Environmental studies in other jurisdictions such as San Jose and Ontario, CA, have found that perceptible auditory impacts of commercial-grade rooftop mechanical equipment can occur at this distance.

For the reasons described above, staff does not support this Design Alternative request.

III. STAFF RECOMMENDATION

Staff recommends denial of the requested Type 2 Design Alternative to waive the requirement to screen rooftop mechanical equipment, per City Code Section 135-4.5.5.

Staff recommends approval of the proposed Public Hearing Site Plan subject to compliance with remaining administrative review comments.

REACH CHURCH SITE PLAN

PROPERTY DESCRIPTION:
LOTS 12-18 IN MERLE HAY PLACE. LOTS 3 & 4 EXCEPT THE EAST 160 FEET & THE WEST 300.6 FEET OF LOT 5 & THE WEST 270.6 FEET OF LOTS 6, 7 & 8 & LOT 9 EXCEPT THE EAST 25 FEET IN COLONIAL ACRES, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, IOWA

ADDRESS:
2725 MERLE HAY ROAD
DES MOINES, IA 50310

OWNER / PREPARED FOR:
REACH CHURCH, INC.
2725 MERLE HAY ROAD
DES MOINES, IA 50310
JEFF OSTRANDER (PASTOR)
JEFF@REACHCHURCH.ONE
515-279-9766

ARCHITECT:
MANTEL TETER
5013 N WASHINGTON ST
GLADSTONE, MO 64118
SKYLER PHELPS
816-931-5600
SPHELPS@MANTEL.TETER.COM

CONTACT:
BISHOP ENGINEERING
3501 104TH ST
URBANDALE, IA
DAVID BENTZ
DBBENTZ@BISHOPENGR.COM
515-473-0499

BUILDING USE/TYPE & HEIGHT:
CIVIC (ASSEMBLY - PLACE OF WORSHIP)
2 STORIES
MAX HEIGHT: 33'-4"
MIN HEIGHT: 25'-8"
SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING HEIGHTS

BULK REGULATIONS:
MINIMUM PRIMARY FRONTAGE SETBACK: 15'
MINIMUM NON-PRIMARY FRONTAGE SETBACK: 20'
MINIMUM INTERIOR SIDE SETBACK: 15'
MINIMUM REAR SETBACK: 15'

ZONING:
INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS PAGE ZONE: P2 (PUBLIC, CIVIC AND INSTITUTIONAL DISTRICT)

FOR AN OFFICIAL ZONING REPORT PLEASE CALL THE CITY OF DES MOINES AT 515-283-4207

PARKING COUNT:
STANDARD STALLS: 370
GATED STALLS: 28
HANDICAP STALLS: 20
TOTAL STALLS: 418

PARKING REQUIREMENTS:
1 PARKING SPACE PER 6 SEATS
1 BICYCLE PARKING SPACE PER 200 SEATS
TOTAL SEATS: 980
REQUIRED PARKING STALLS: 163.33
REQUIRED BICYCLE PARKING STALLS: 5

IMPERVIOUS SURFACE:
BUILDING: 50,252 SQ. FT. (17.04%)
PARKING: 155,910 SQ. FT. (52.87%)
SIDEWALK: 7,257 SQ. FT. (2.46%)

EX IMPERVIOUS: 213,419 SF (72.4%)
PROPOSED IMPERVIOUS: 211,333 SF (71.7%)

OPEN SPACE REQUIREMENTS:
TOTAL SITE AREA: 294,864 SQ. FT.
MINIMUM OPEN SPACE: 30% (88,459.2 SQ. FT.)

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = DES MOINES CITY DATUM

BM #5493, CUT TRIANGLE
NORTHING = 591026.55
EASTING = 1586301.77
ELEVATION = 144.94
DESCRIPTION: LOCATED ON WEST SIDE OF LIGHT POLE BASE, NORTH SIDE OF URBANDALE AVE & WEST OF MERLE HAY RD

POINT #9000, MAG NAIL
NORTHING = 589713.46
EASTING = 1586593.48
ELEVATION = 189.94
DESCRIPTION: LOCATED TWO STALLS NORTH OF THE MIDDLE LIGHT POLE ON THE EASTERN SECTION OF PARKING STALLS.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF DES MOINES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF DES MOINES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUB BASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF DES MOINES TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF DES MOINES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN / 515-252-6632)
- STORM AND SANITARY (CITY OF DES MOINES / 515-237-1359)
- FIBER OPTIC (CENTURYLINK / 918-547-0147)
(IOWA COMM. NETWORK / 800-572-3940)
(MEDIACOM / 515-246-6668)
- GAS (MIDAMERICAN / 515-252-6632)
- WATER (DES MOINES WATER WORKS / 515-323-6244)



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

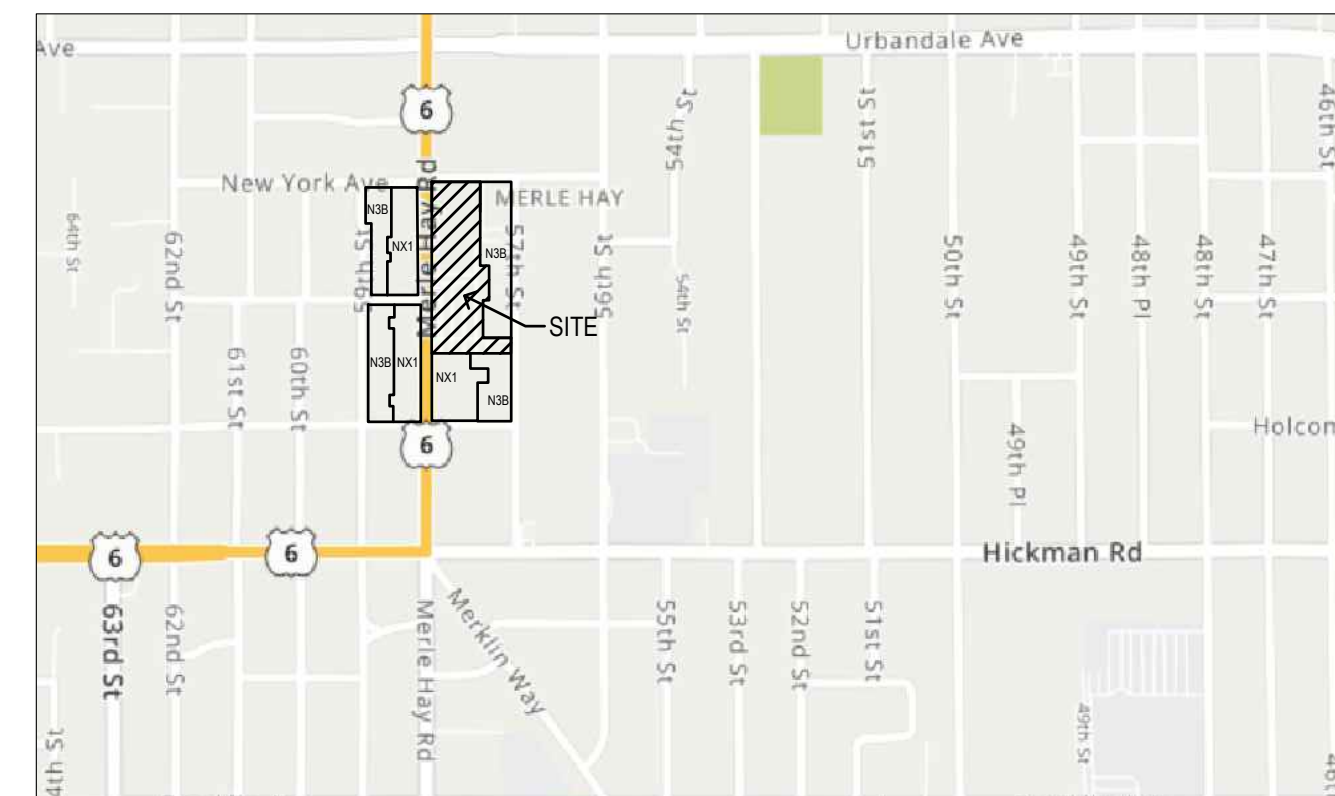
- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 02/16/22. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

CITY OF DES MOINES NOTES:

- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
- MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD, AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
- ALL NEW OUTDOOR LIGHTING MUST BE LOW GLARE CUT-OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES. POLE HEIGHTS SHALL NOT EXCEED 20 FEET.
- NEW LIGHTING/ ELECTRICAL LINES SHALL BE UNDERGROUND.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL DISTURBED AREAS SHALL BE RESTORED BY SEEDING OR SODDING PER LANDSCAPING PLAN. ANY AREA DISTURBED BY CONSTRUCTION ACTIVITY NOT SHOWN ON PLANS SHALL BE SEEDED.
- TO APPLY FOR PERMITS (SIDEWALK/APPROACH, GRADING, RIGHT-OF-WAY EXCAVATION/OBSTRUCTION, FLOODPLAIN, ETC.) WITH THE CITY OF DES MOINES PLEASE VISIT THE CUSTOMER SELF SERVICE (CSS) PORTAL. IF THIS IS YOUR FIRST TIME USING CSS OR APPLYING FOR PERMITS WITH THE CITY YOU WILL BE PROMPTED TO CREATE AN ACCOUNT BEFORE APPLYING.



VICINITY MAP
SCALE: 1" = 1,000'

ABBREVIATIONS:

AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
R/W RIGHT OF WAY
RCP RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

LEGEND:

— SAN — SANITARY SEWER
— ST — STORM SEWER
— W — WATER LINE
— G — GAS LINE
— U/E — UNDERGROUND ELECTRIC
— O/E — OVERHEAD ELECTRIC
— TEL — TELEPHONE LINE
— F/O — FIBER OPTIC
— CATV — CABLE TV

⊙ STORM MANHOLE
☒ CURB INTAKE
⊙ SURFACE INTAKE
⊙ FLARED END SECTION
⊙ SANITARY MANHOLE
⊙ CLEANOUT
⊙ FIRE HYDRANT
⊙ SPRINKLER
⊙ IRRIGATION CONTROL VALVE
⊙ WATER MANHOLE
⊙ WELL
⊙ WATER VALVE
⊙ WATER SHUT OFF
⊙ YARD HYDRANT
⊙ ELECTRIC MANHOLE
⊙ ELECTRIC METER
⊙ ELECTRIC RISER
⊙ ELECTRIC VAULT
⊙ POWER POLE
⊙ TRANSFORMER POLE
⊙ LIGHT POLE
⊙ ELECTRIC JUNCTION BOX
⊙ ELECTRIC PANEL
⊙ TRANSFORMER
⊙ GROUND LIGHT
⊙ GUY WIRE
⊙ ELECTRIC HANDHOLE
⊙ GAS METER
⊙ GAS VALVE
⊙ AIR CONDITIONING UNIT
⊙ TELEPHONE RISER
⊙ TELEPHONE VAULT
⊙ TELEPHONE MANHOLE
⊙ TRAFFIC SIGNAL MANHOLE
⊙ FIBER OPTIC MANHOLE
⊙ FIBER OPTIC RISER
⊙ FIBER OPTIC VAULT
⊙ CABLE TV RISER
⊙ SIGN
● BOLLARD
⊙ DENOTES NUMBER OF PARKING STALLS
● PROPERTY CORNER - FOUND AS NOTED
○ PROPERTY CORNER- PLACED AS NOTED
⊙ SECTION CORNER - FOUND AS NOTED

SHEET INDEX:

C0.1 COVER SHEET
C0.2 SITE SURVEY
C1.1 DEMO PLAN
C2.1-C2.2 LAYOUT PLAN
C3.1-C3.2 GRADING PLAN
C4.1 UTILITY PLAN
C5.1 LANDSCAPE PLAN
C6.1 DETAILS
C7.1 SWPPP

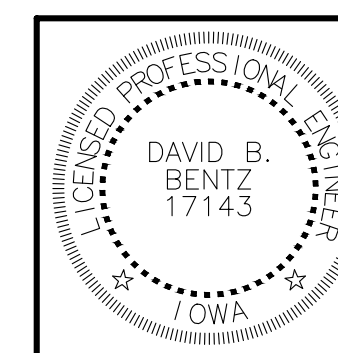
SITE PLAN APPROVAL:

APPROVED APPROVED WITH CONDITIONS – SEE EXHIBIT "A"

IN ACCORDANCE WITH SECTION 135-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

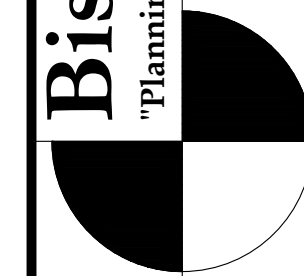
NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE DEVELOPMENT SERVICES DIRECTOR.

DEVELOPMENT SERVICES DIRECTOR: _____ DATE: _____



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: DAVID B. BENTZ, PE. 17143 DATE: _____
LICENSE RENEWAL DATE: DEC. 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1 - C7.1



3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217

Established 1959
Civil Engineering & Land Surveying

REFERENCE NUMBER:

DRAWN BY:
LR

CHECKED BY:

REVISION DATE:
1ST SUBMITTAL - 5-4-22
2ND SUBMITTAL - 7-19-22
3RD SUBMITTAL - 8-3-22

PROJECT NUMBER:
220066

SHEET NUMBER:
C0.1

PRELIMINARY - NOT FOR CONSTRUCTION

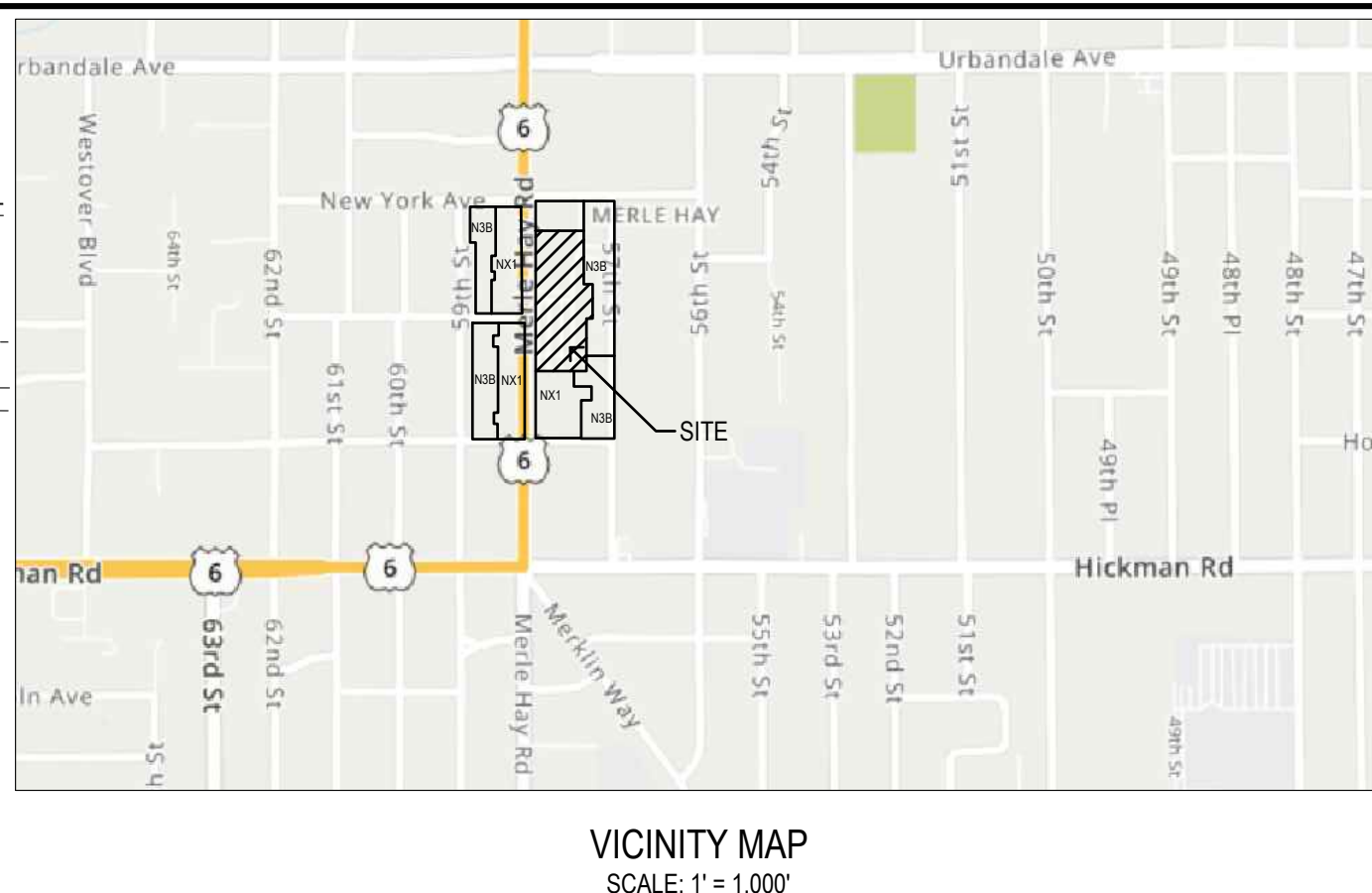
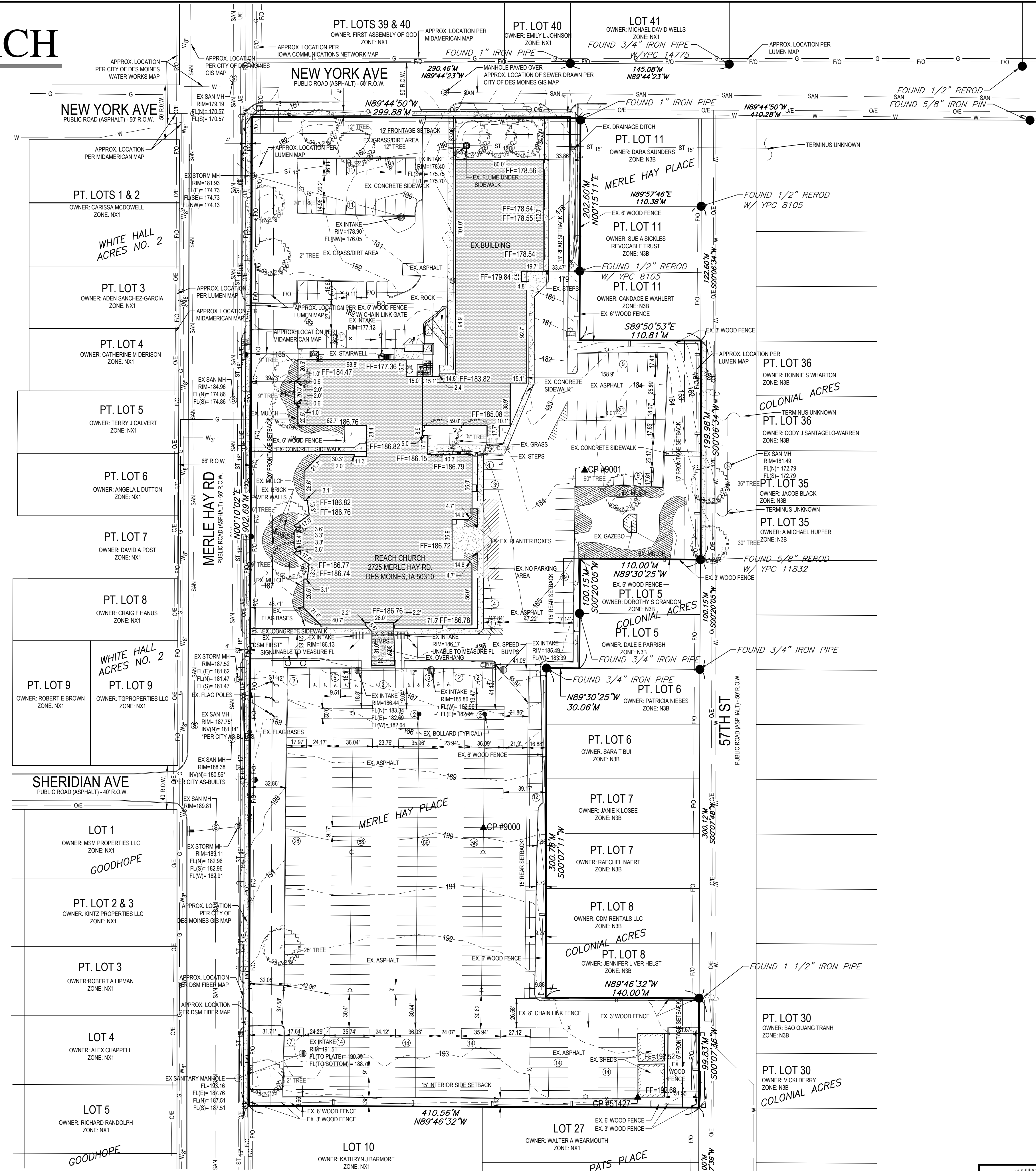
REACH CHURCH SITE SURVEY

- LEGEND:**
- SAN - SANITARY SEWER
 - ST - STORM SEWER
 - W - WATER LINE
 - G - GAS LINE
 - U/E - UNDERGROUND ELECTRIC
 - O/E - OVERHEAD ELECTRIC
 - TELE - TELEPHONE LINE
 - F/O - FIBER OPTIC
 - CATV - CABLE TV
 - STORM MANHOLE
 - CURB INTAKE
 - SURFACE INTAKE
 - FLARED END SECTION
 - SANITARY MANHOLE
 - CLEANOUT
 - FIRE HYDRANT
 - SPRINKLER
 - IRRIGATION CONTROL VALVE
 - WATER MANHOLE
 - WELL
 - WATER VALVE
 - WATER SHUT OFF
 - YARD HYDRANT
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 - ELECTRIC VAULT
 - POWER POLE
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 - ELECTRIC PANEL
 - TRANSFORMER
 - GROUND LIGHT
 - GUY WIRE
 - ELECTRIC HANDHOLE
 - GAS METER
 - GAS VALVE
 - AIR CONDITIONING UNIT
 - TELEPHONE RISER
 - TELEPHONE VAULT
 - TELEPHONE MANHOLE
 - TRAFFIC SIGNAL MANHOLE
 - FIBER OPTIC MANHOLE
 - FIBER OPTIC RISER
 - FIBER OPTIC VAULT
 - CABLE TV RISER
 - SIGN
 - BOLLARDS
 - 7 - DENOTES NUMBER OF PARKING STALLS
 - - PROPERTY CORNER - FOUND AS NOTED
 - - PROPERTY CORNER - PLACED 5/8" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
 - ⊕ - SECTION CORNER - FOUND AS NOTED
 - ▲ - SITE CONTROL POINT - MONUMENT AS NOTED
- ABBREVIATIONS:**
- AC - ACRES
 - ASPH - ASPHALT
 - BK - BOOK
 - CONC - CONCRETE
 - D - DEEDED DISTANCE
 - EX - EXISTING
 - ENCL - ENCLOSURE
 - FF - FINISHED FLOOR
 - FL - FLOW LINE
 - FRAC - FRACTIONAL
 - M - MEASURED DISTANCE
 - MH - MANHOLE
 - OPC - ORANGE PLASTIC CAP
 - P - PLATTED DISTANCE
 - PG - PAGE
 - POB - POINT OF BEGINNING
 - POC - POINT OF COMMENCEMENT
 - PRA - PREVIOUSLY RECORDED AS
 - PUE - PUBLIC UTILITY EASEMENT
 - ROW - RIGHT OF WAY
 - RPC - RED PLASTIC CAP
 - SF - SQUARE FEET
 - SAN - SANITARY
 - TYP - TYPICAL
 - YPC - YELLOW PLASTIC CAP
 - N - NORTH
 - S - SOUTH
 - E - EAST
 - W - WEST

- UTILITY MAPS PROVIDED BY:**
- ELECTRIC (MIDAMERICAN / 515-252-6632)
 - STORM AND SANITARY (CITY OF DES MOINES / 515-237-1359)
 - FIBER OPTIC (LUMEN / 918-547-0147)
(MEDIACOM / 515-246-6668)
(IOWA COMMUNICATIONS NETWORK / 800-572-3940)
(AUREON / 515-830-0445)
 - GAS (MIDAMERICAN / 515-252-6632)
 - WATER (DES MOINES WATER WORKS / 515-323-6244)

UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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PROPERTY DESCRIPTION:
LOTS 12-18 IN MERLE HAY PLACE. LOTS 3 & 4 EXCEPT THE EAST 160 FEET & THE WEST 300.6 FEET OF LOT 5 & THE WEST 270.6 FEET OF LOTS 6, 7 & 8 & LOT 9 EXCEPT THE EAST 25 FEET IN COLONIAL ACRES. AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, IOWA

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:
294,864 SQ. FT. (6.769 ACRES)

ADDRESS:
2725 MERLE HAY ROAD
DES MOINES, IA 50310

OWNER:
FIRST ASSEMBLY OF GOD CHURCH

PREPARED FOR:
STORY CONSTRUCTION
2810 WAKEFIELD CIRCLE
AMES, IA 50010

ZONING:
INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS PAGE ZONE: P2 (PUBLIC, CIVIC AND INSTITUTIONAL DISTRICT)

FOR AN OFFICIAL ZONING REPORT PLEASE CALL THE CITY OF DES MOINES AT 515-283-4207

PARKING COUNT:
STANDARD STALLS: 370
GATED STALLS: 28
HANDICAP STALLS: 20
TOTAL STALLS: 418

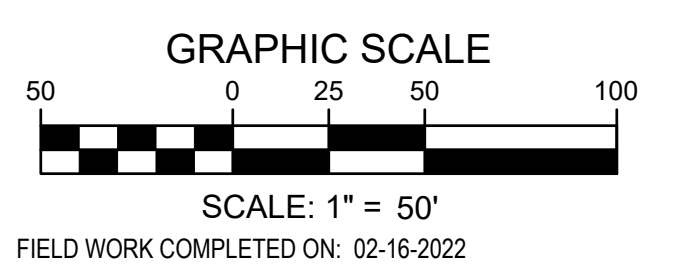
SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = DES MOINES CITY DATUM

BM #5493, CUT TRIANGLE
NORTHING = 510925.16
EASTING = 1586301.77
ELEVATION = 144.94
DESCRIPTION: LOCATED ON WEST SIDE OF LIGHT POLE BASE, NORTH SIDE OF URBANDALE AVE & WEST OF MERLE HAY RD

POINT #9000, MAG NAIL
NORTHING = 589713.46
EASTING = 1586593.48
ELEVATION = 189.94
DESCRIPTION: LOCATED TWO STALLS NORTH OF THE MIDDLE LIGHT POLE ON THE EASTERN SECTION OF PARKING STALLS.

NOTES:

- ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
- PARENTHESES () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES



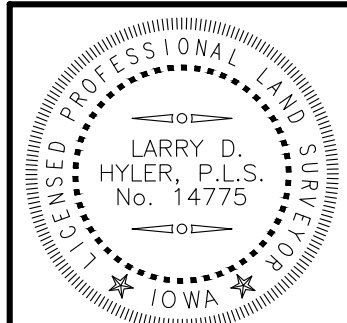
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"Planning Your Successful Development"

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Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying
Established 1959

2725 MERLE HAY ROAD
DES MOINES, IA 50310

SITE SURVEY

REFERENCE NUMBER:	
DRAWN BY:	LR
CHECKED BY:	MH
REVISION DATE:	
PROJECT NUMBER:	22066
SHEET NUMBER:	C0.2



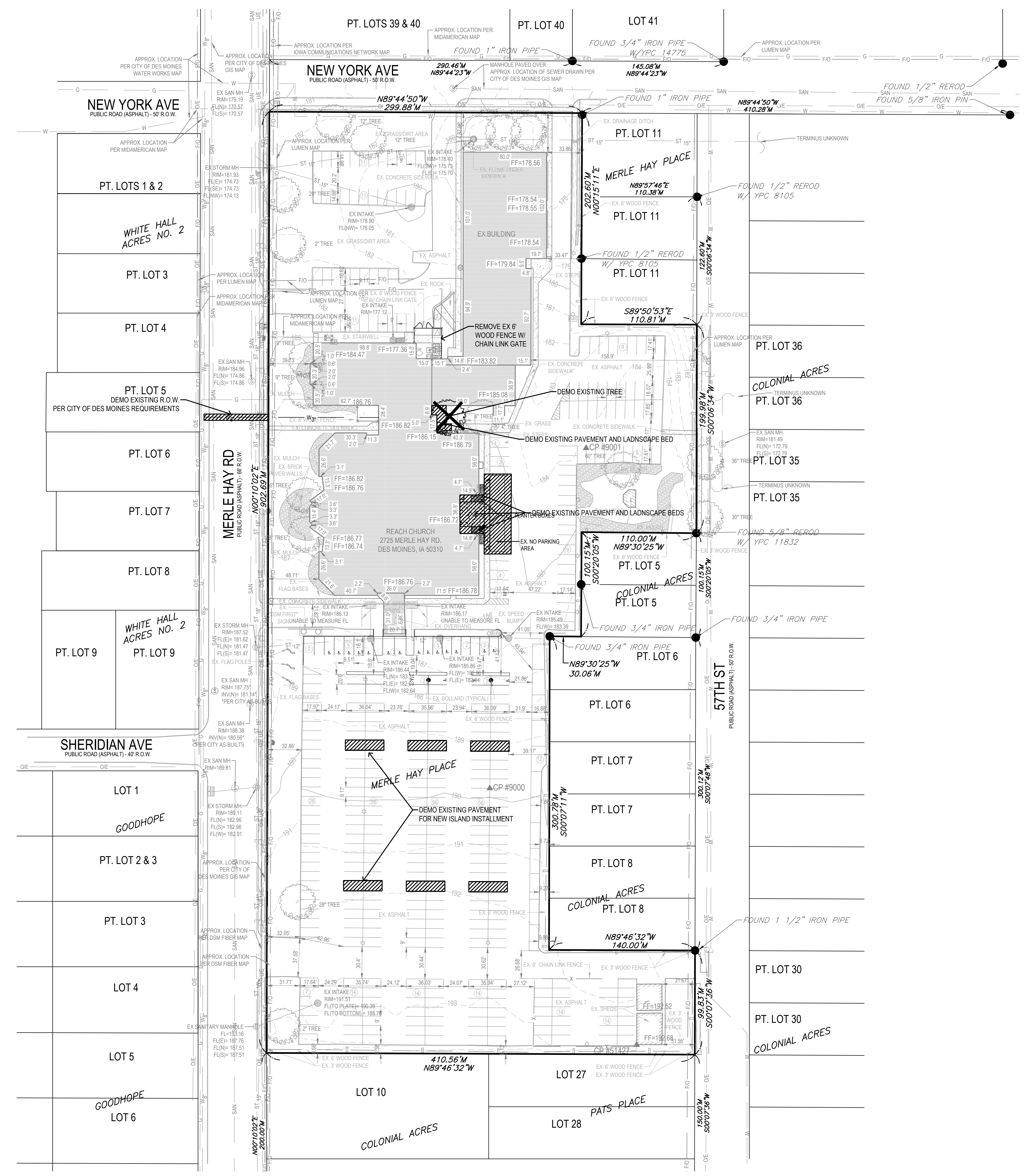
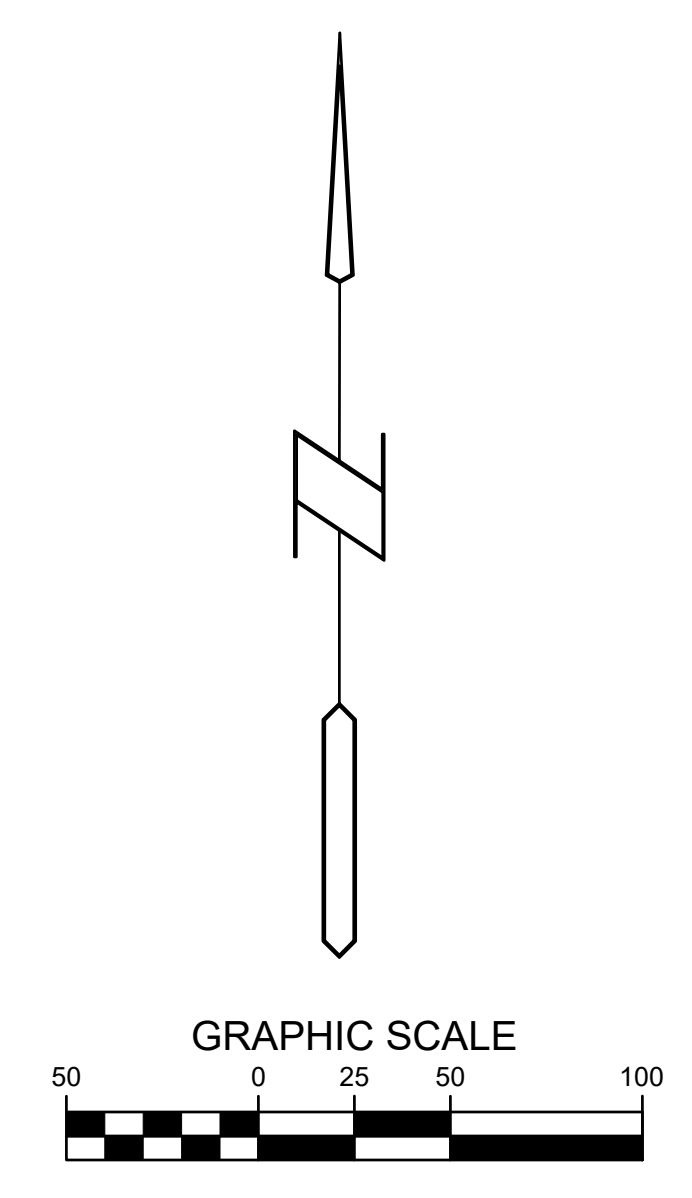
I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: PRELIMINARY DATE: _____
LARRY D. HYLER, P.L.S. 14775
LICENSE RENEWAL DATE: DEC. 31, 2022
PAGES OR SHEETS COVERED BY THIS SEAL: C0.2

PRELIMINARY- NOT FOR CONSTRUCTION

- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.

8/16/2022 9:25:16 AM L:\LAND PROJECTS 2022\20066 REACH CHURCH\DWG\CT DEMO.DWG



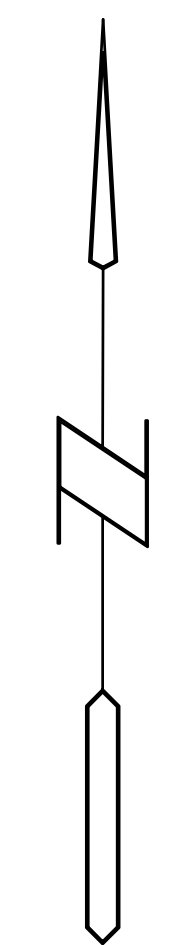
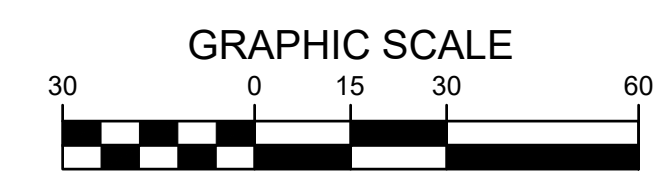
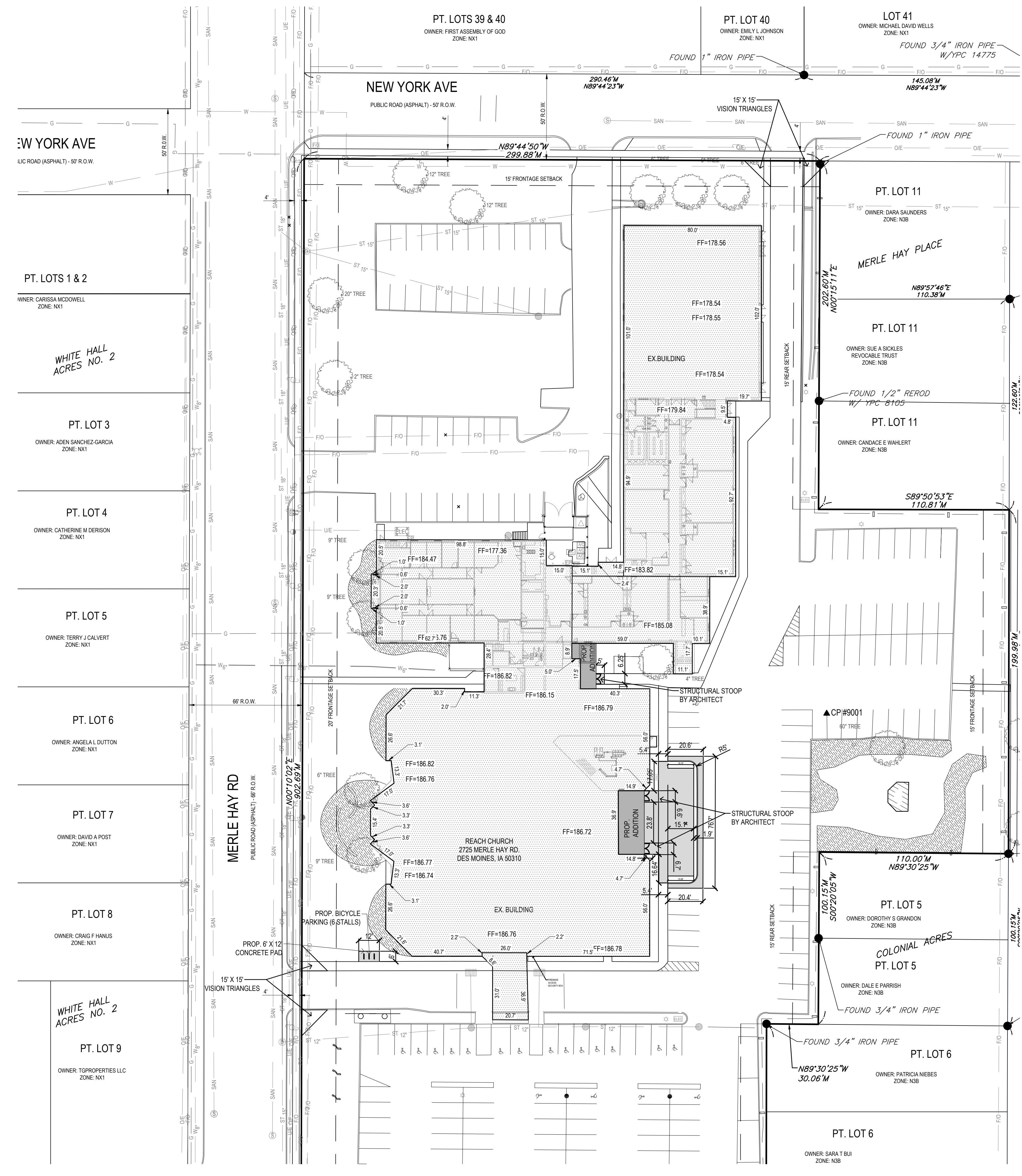
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**REACH CHURCH
 MERLE HAY ROAD, DES MOINES
 DEMO PLAN**

REFERENCE NUMBER:	
DRAWN BY:	LR
CHECKED BY:	
REVISION DATE:	1ST SUBMITTAL - 5-4-22 2ND SUBMITTAL - 7-19-22 3RD SUBMITTAL - 8-3-22
PROJECT NUMBER:	220066
SHEET NUMBER:	C1.1

PRELIMINARY- NOT FOR CONSTRUCTION

8/16/2022 9:25:22 AM L:\LAND PROJECTS 2022\20066 REACH CHURCH\DWG\C2.1 LAYOUT.DWG



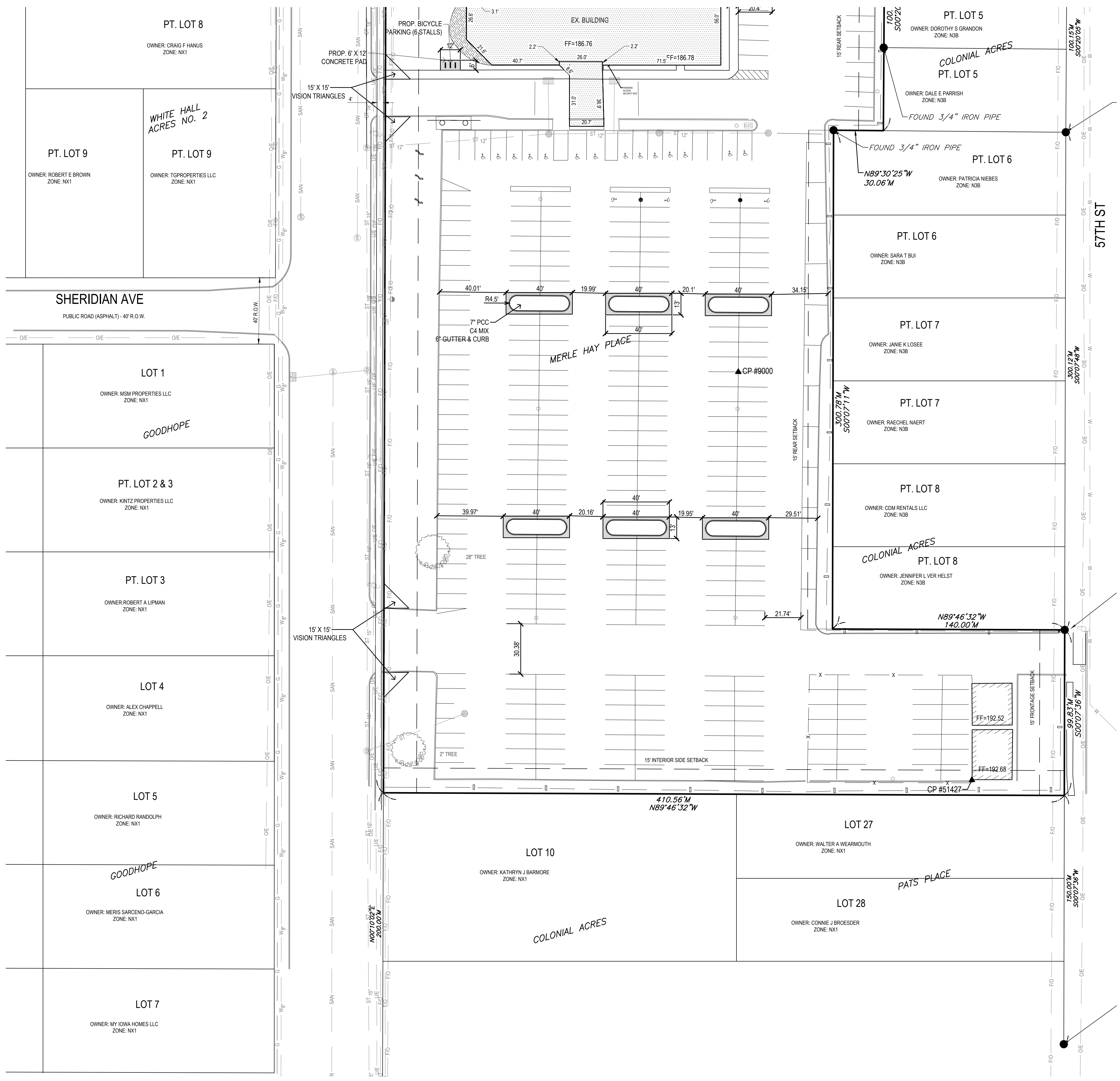
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REACH CHURCH
MERLE HAY ROAD, DES MOINES
LAYOUT PLAN

REFERENCE NUMBER:	
DRAWN BY:	LR
CHECKED BY:	
REVISION DATE:	
1ST SUBMITTAL -	5-4-22
2ND SUBMITTAL -	7-19-22
3RD SUBMITTAL -	8-3-22
PROJECT NUMBER:	220066
SHEET NUMBER:	C2.1

PRELIMINARY- NOT FOR CONSTRUCTION

8/16/2022 9:25:31 AM L:\LAND PROJECTS 2022\20066 REACH CHURCH\DWG\C2.3 LAYOUT.DWG



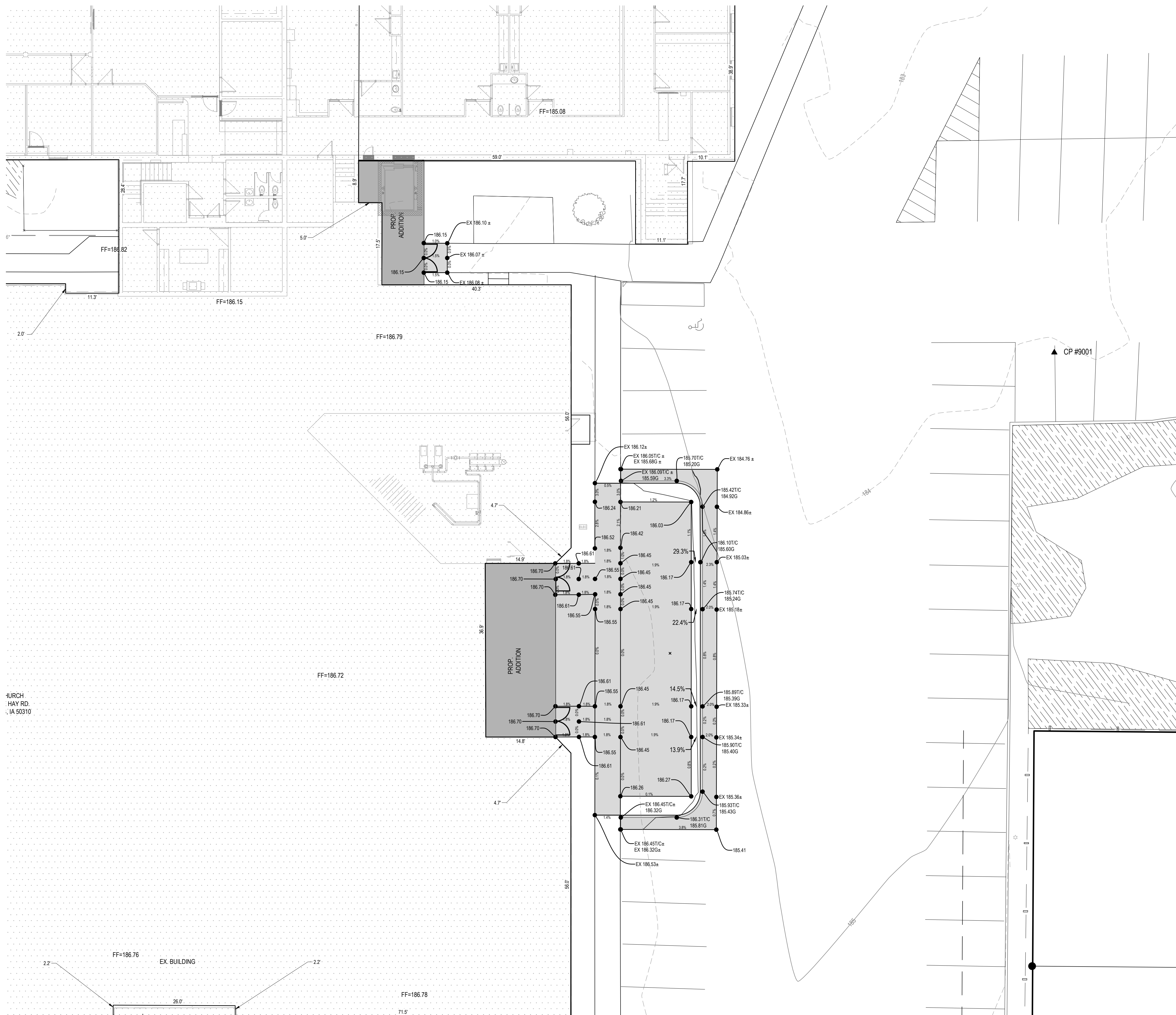
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REACH CHURCH
 MERLE HAY ROAD, DES MOINES
LAYOUT PLAN

REFERENCE NUMBER:	
DRAWN BY:	LR
CHECKED BY:	
REVISION DATE:	1ST SUBMITTAL - 5-4-22 2ND SUBMITTAL - 7-19-22 3RD SUBMITTAL - 8-3-22
PROJECT NUMBER:	220066
SHEET NUMBER:	C2.2

PRELIMINARY- NOT FOR CONSTRUCTION

8/16/2022 9:25:37 AM L:\LAND PROJECTS 2022\20066 REACH CHURCH\DWG\C3.1 GRADING.DWG

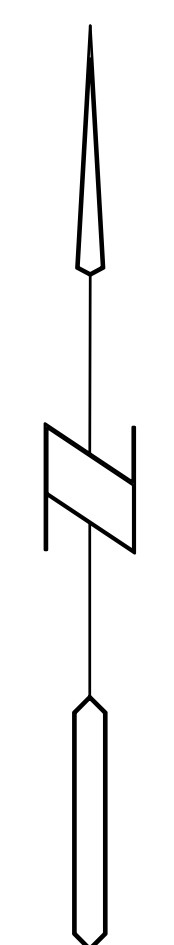
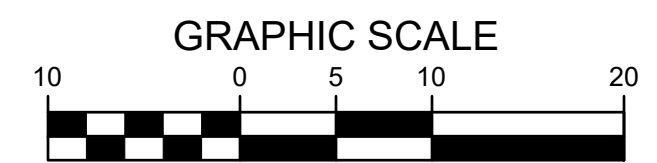


- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 3. **TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.**
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FINISHED GROUND ELEVATION
- TOP OF CURB ELEVATION
- GUTTER ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- EDGE OF WALK ELEVATION
- TOP OF STAIR ELEVATION
- BOTTOM OF STAIR ELEVATION

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



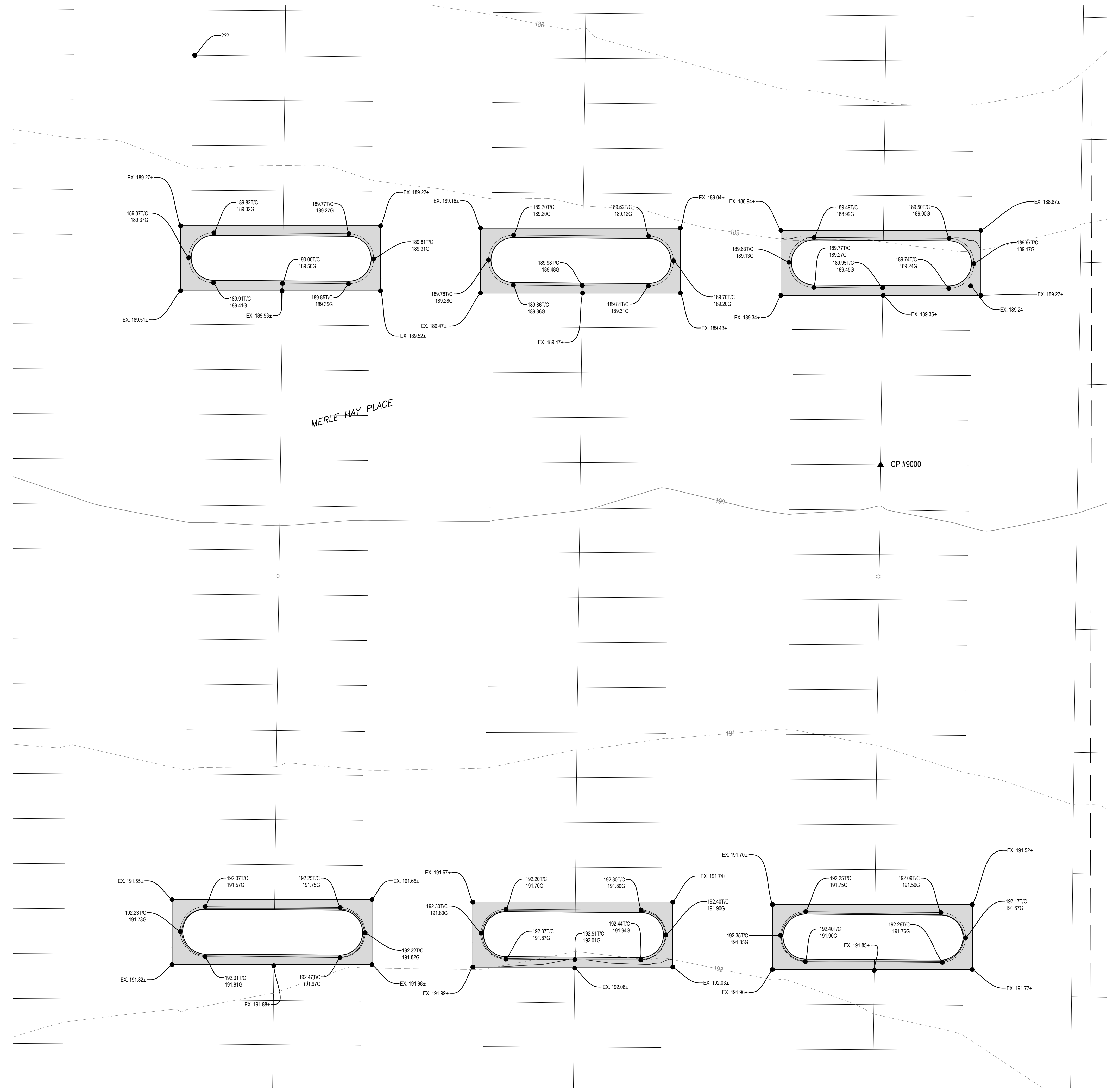
**REACH CHURCH
MERLE HAY ROAD, DES MOINES**

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3RD SUBMITTAL - 8-3-22	
PROJECT NUMBER:	220066
SHEET NUMBER:	C3.1

PRELIMINARY- NOT FOR CONSTRUCTION

8/16/2022 9:25:47 AM L:\LAND PROJECTS 2022\20066 REACH CHURCH\DWG\C3.2 GRADING.DWG

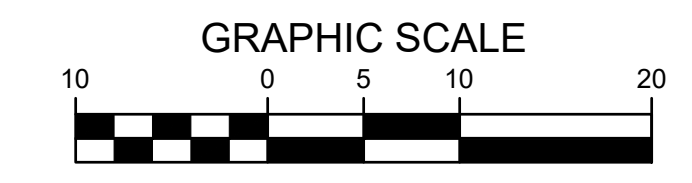
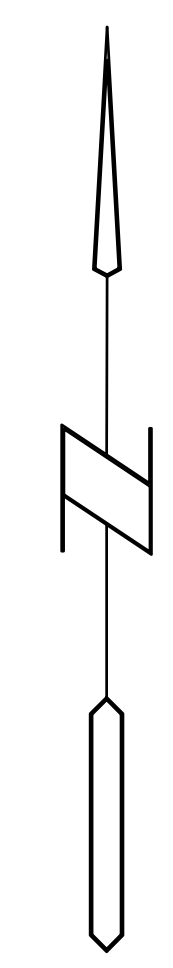


- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

EXISTING CONTOUR	- - - 150 - - -
PROPOSED CONTOUR	— 150 —
FINISHED GROUND ELEVATION	● 150.50
TOP OF CURB ELEVATION	● 150.50T/C
GUTTER ELEVATION	● 150.50G
TOP OF WALL ELEVATION	● 150.50T/W
BOTTOM OF WALL ELEVATION	● 150.50B/W
EDGE OF WALK ELEVATION	● 150.50E/W
TOP OF STAIR ELEVATION	● 150.50T/S
BOTTOM OF STAIR ELEVATION	● 150.50B/S

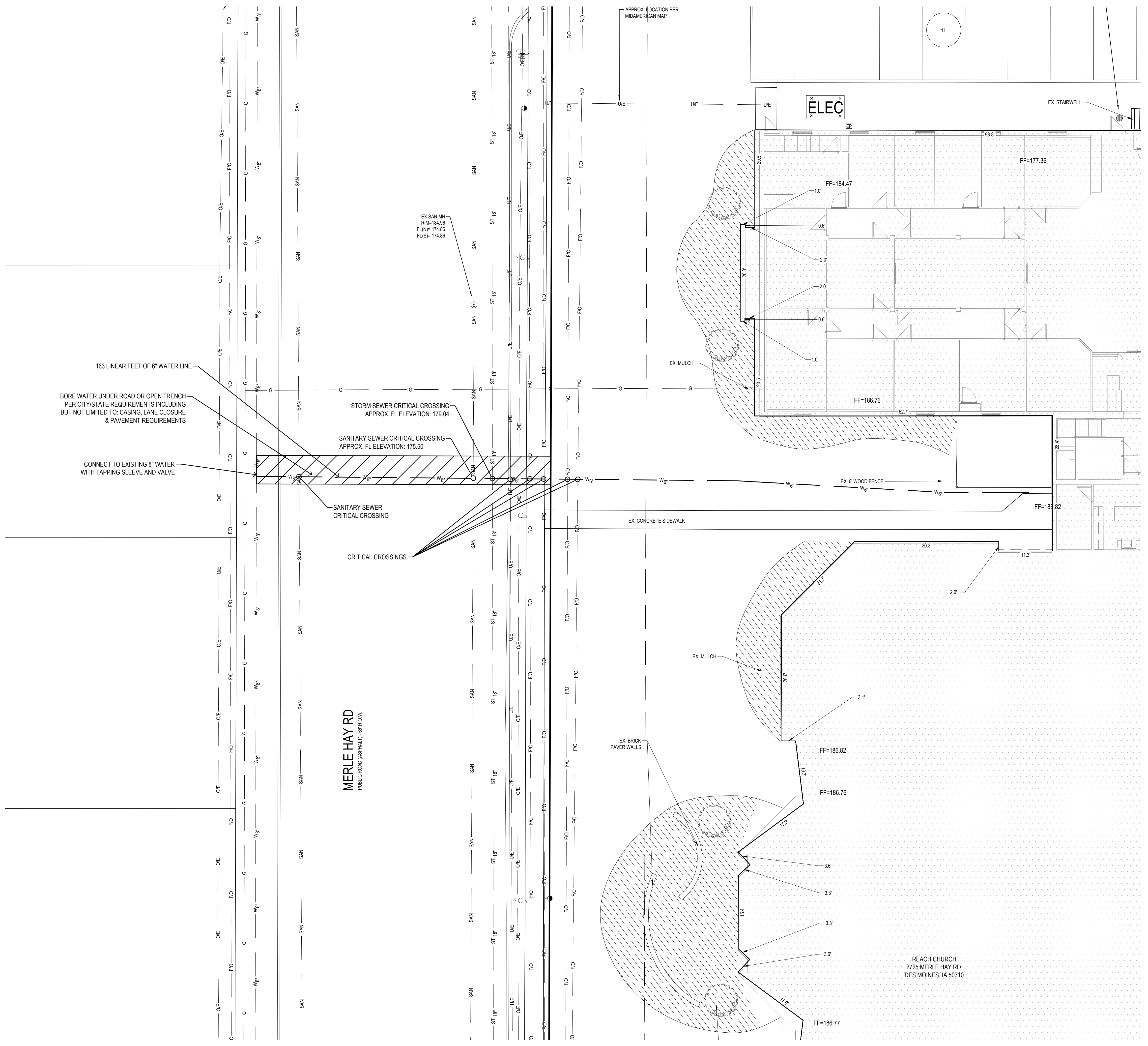
NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



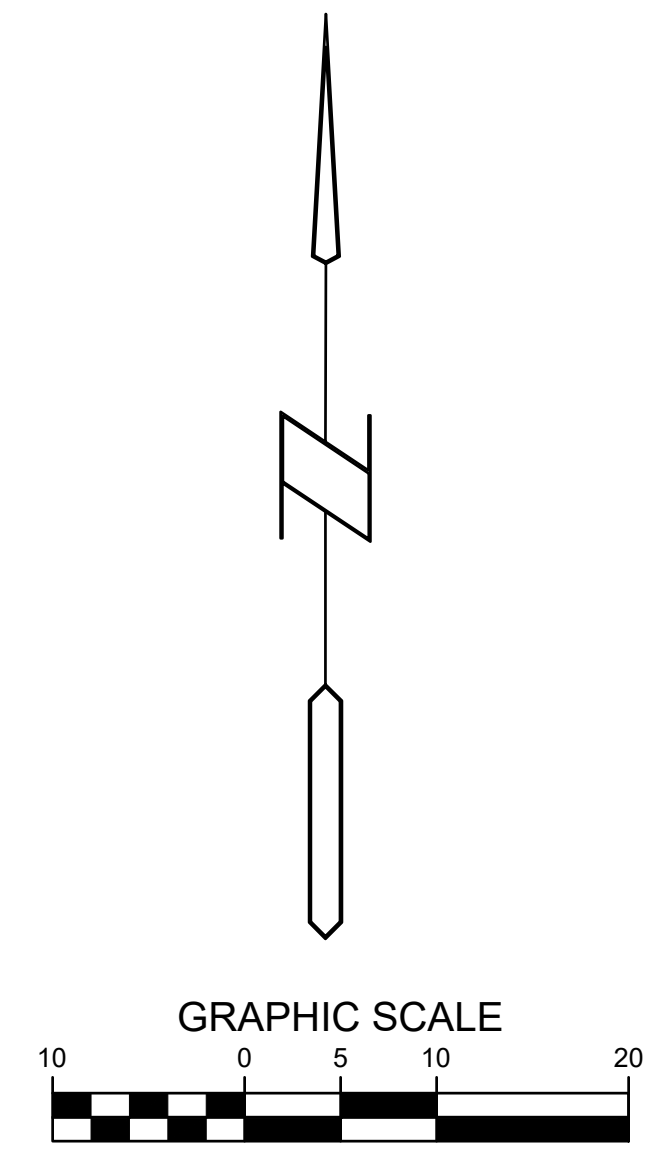
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REACH CHURCH
MERLE HAY ROAD, DES MOINES
GRADING PLAN

REFERENCE NUMBER:	
DRAWN BY:	LR
CHECKED BY:	
REVISION DATE:	1ST SUBMITTAL - 5-4-22 2ND SUBMITTAL - 7-19-22 3RD SUBMITTAL - 8-3-22
PROJECT NUMBER:	220066
SHEET NUMBER:	C3.2



- UTILITY NOTES:**
- ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 - ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
 - FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 - PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 - STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 - STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 - FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 - TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.



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REACH CHURCH MERLE HAY ROAD, DES MOINES	
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CHECKED BY:	
REVISION DATE: 1ST SUBMITTAL - 5-4-22 2ND SUBMITTAL - 7-19-22 3RD SUBMITTAL - 8-3-22	
PROJECT NUMBER: 220066	
SHEET NUMBER: C4.1	

LANDSCAPE REQUIREMENTS

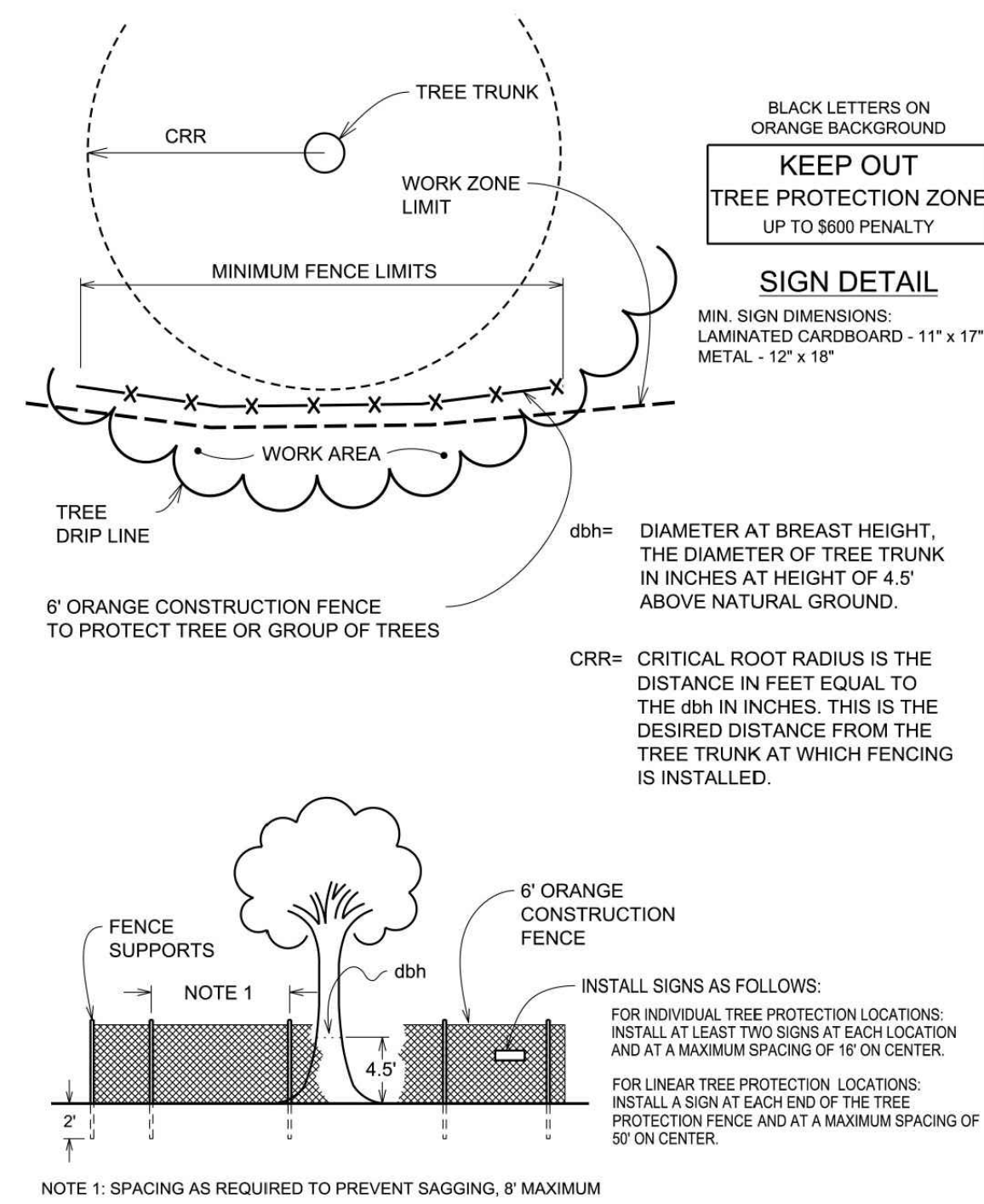
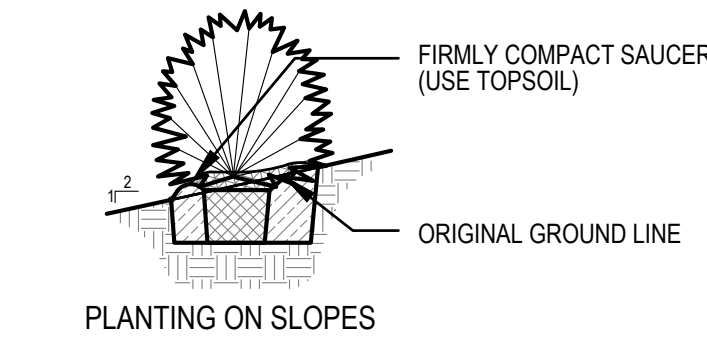
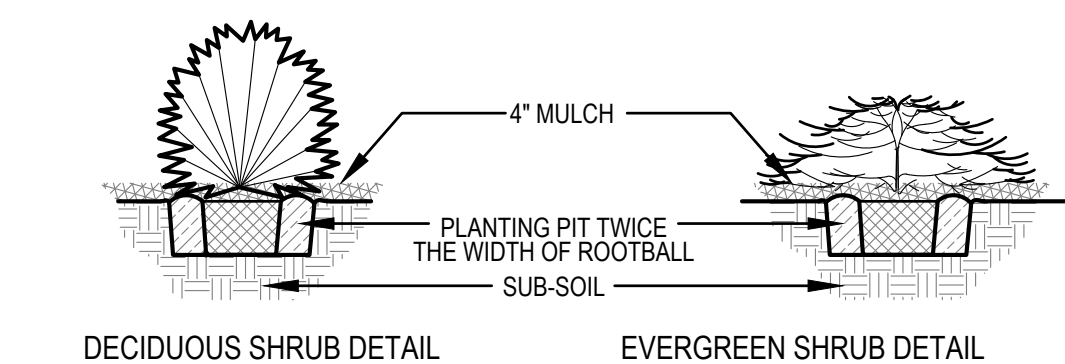
GENERAL OPEN SPACE REQUIREMENT	
TOTAL SQUARE FOOTAGE OF PROJECT AREA	294,864 SF
REQUIRED CANOPY COVERAGE (15%)	44,230 SF
TOTAL EXISTING TREE CANOPY (1,000 PER TREE X 18)	
TOTAL PROPOSED TREE CANOPY (1,000 PER TREE X 43)	18,000 SF
TOTAL TREE CANOPY	43,000 SF
FRONTAGE REQUIREMENTS (MERLE HAY ROAD)	
TOTAL LENGTH OF PARKING ADJACENT TO MERLE HAY ROAD	354 LF
REQUIRED OVERSTORY TREES (1 / 40 LF)	(8.85) 9
TOTAL EXISTING TREES PROVIDED (TO REMAIN)	2
TOTAL PROPOSED TREES	5
TOTAL FRONTAGE TREES	7
REQUIRED SHRUBS @ 36" O.C. (2 ROWS)	
TOTAL PROPOSED SHRUBS (2 ROWS @ 36" O.C.)	220

- NOTE:**
- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 515-283-4950.
 - ALL WIRE, TWINE, AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
 - NO STAKING OF STREET TREES IS ALLOWED.

LANDSCAPE NOTES:

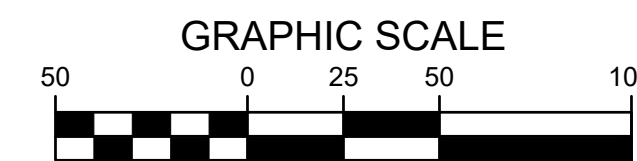
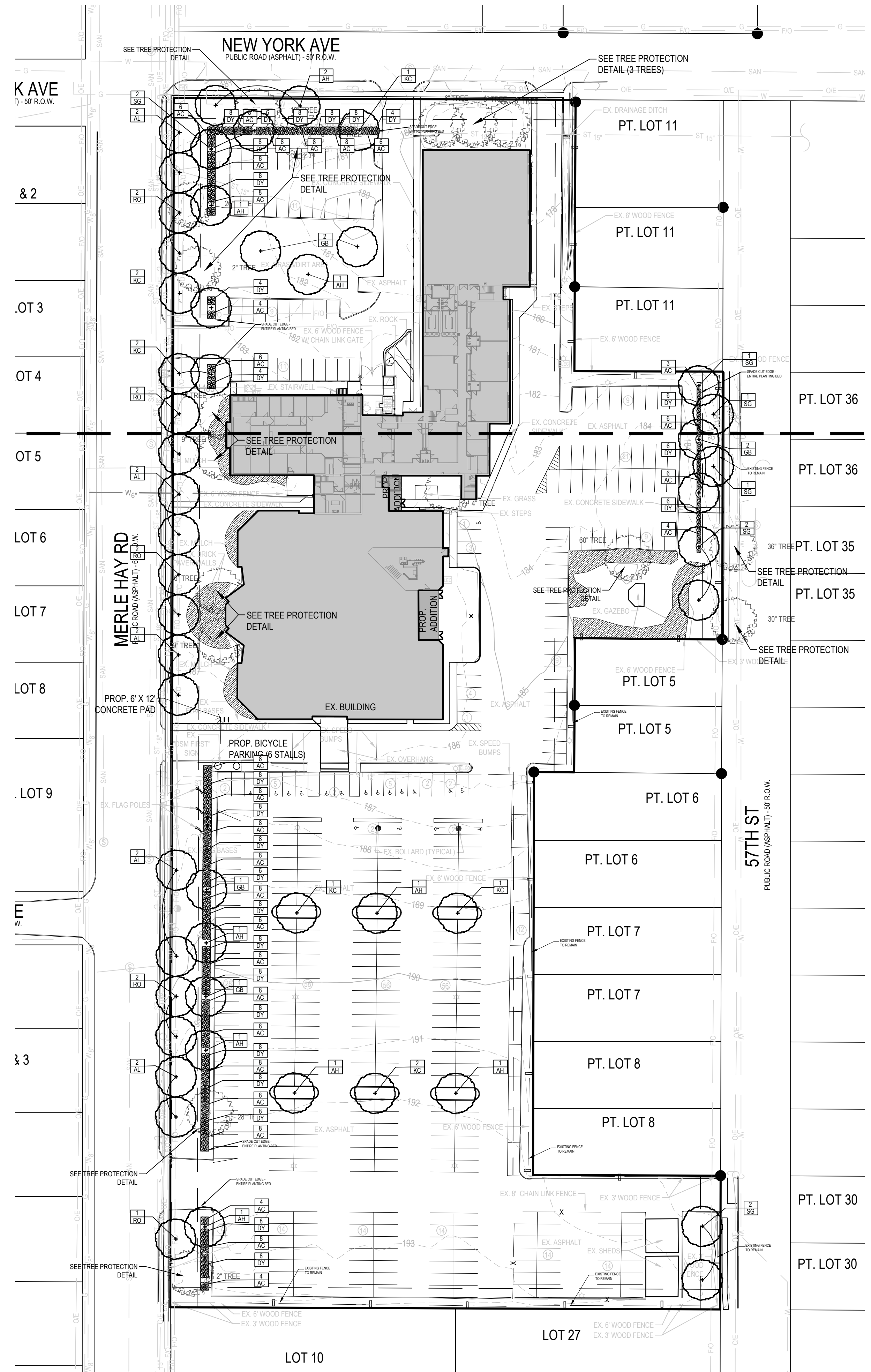
- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE.
- STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- SPADE CUT EDGE AROUND ALL NEW TREE/SHRUB PLANTING BEDS.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.
- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 515-283-4950.
- ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.

N:\LANDSCAPE ARCHITECTURE\LANDSCAPE DETAILS\SIDES MOINES CITY TREE PLANTING SPECIFICATIONS 2017.jpg



PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
AH	10	AMERICAN HORNBEAM	CARPINUS CAROLINIANA	2.0" CAL	B&B	MATCHED SPECIMENS
GB	6	GINKGO	GINKGO BILOBA	2.0" CAL	B&B	MATCHED SPECIMENS
KC	8	KENTUCKY COFFEETREE	GYMNOADUS DIOICUS	2.0" CAL	B&B	MATCHED SPECIMENS
SG	9	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	2.0" CAL	B&B	MATCHED SPECIMENS
RO	9	RED OAK	QUERCUS RUBRA	2.0" CAL	B&B	MATCHED SPECIMENS
AL	10	AMERICAN LINDEN	TILIA AMERICANA REDMOND'	2.0" CAL	B&B	MATCHED SPECIMENS
SHRUBS						
AC	197	ALPINE CURRANT	RIBES ALPINUM	#5	CONT	FULL FORM - MATCHED
DY	184	DENSIFORMIS YEW	TAXUS MEDIA DENSIFORMIS'	36"	B&B	FULL FORM - MATCHED



REFERENCE NUMBER:

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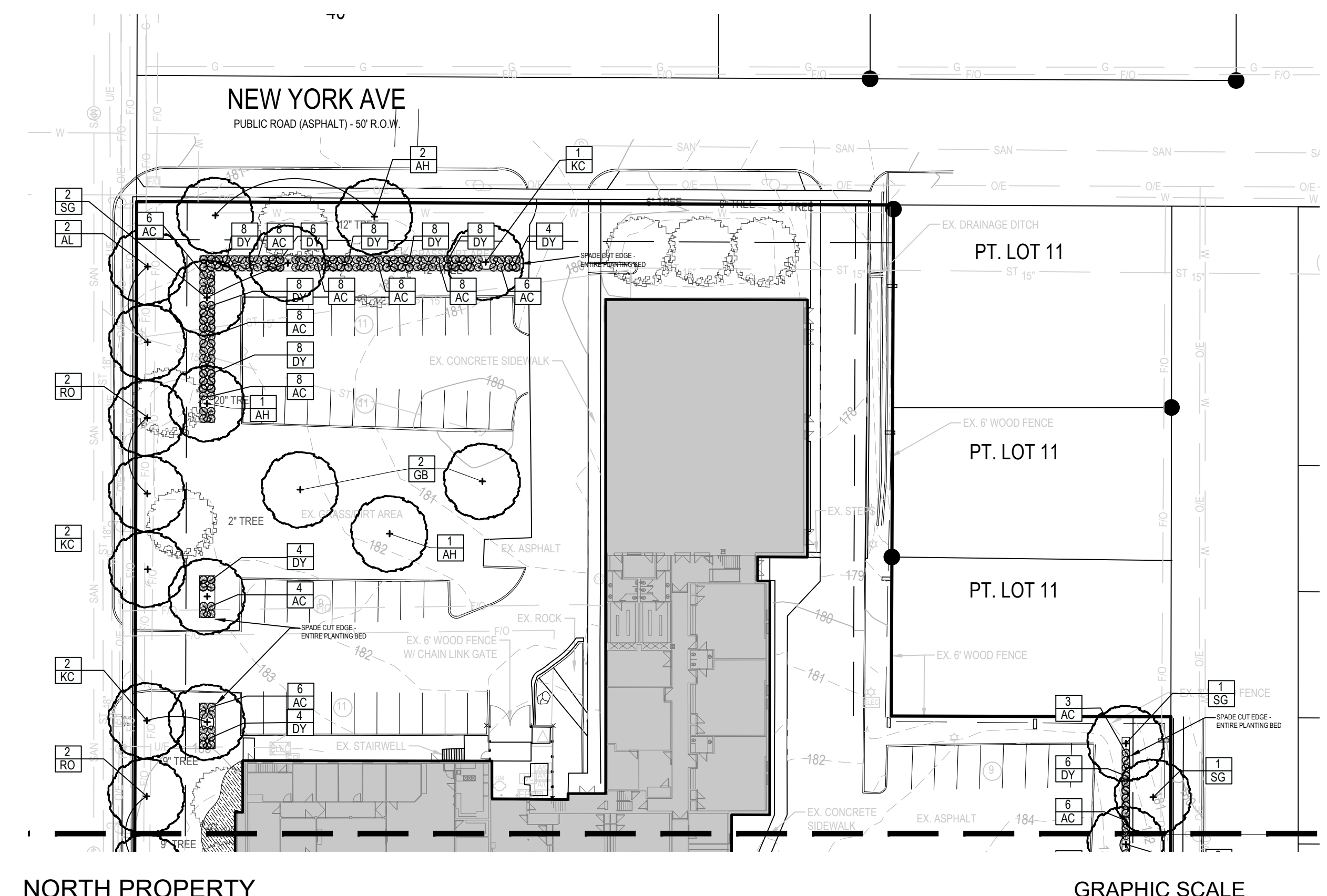
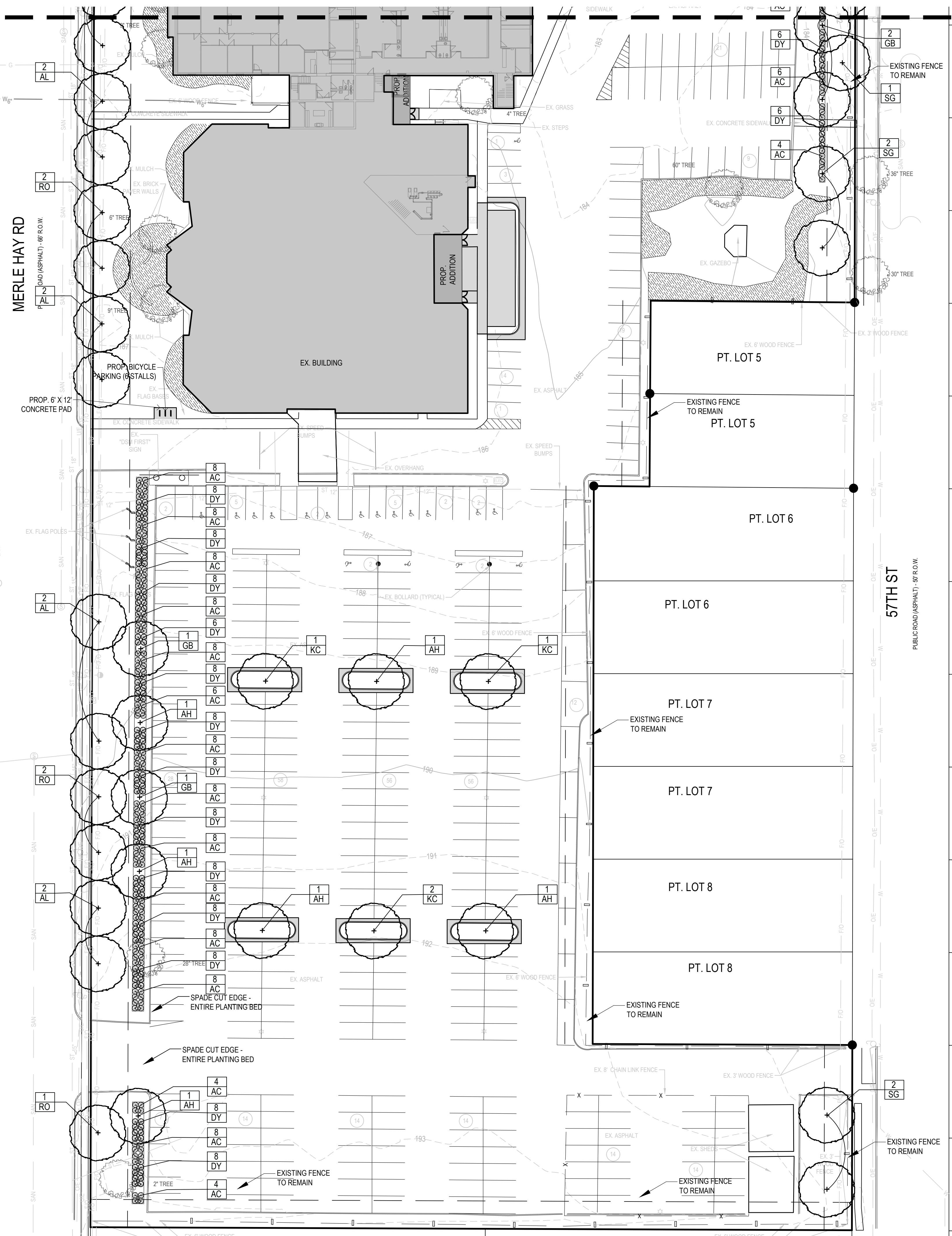
REVISION DATE:
1ST SUBMITTAL - 5-4-22
2ND SUBMITTAL - 7-19-22
3RD SUBMITTAL - 8-3-22

PROJECT NUMBER:
220066

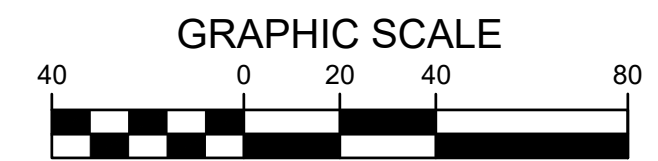
SHEET NUMBER:
C5.1

PRELIMINARY - NOT FOR CONSTRUCTION

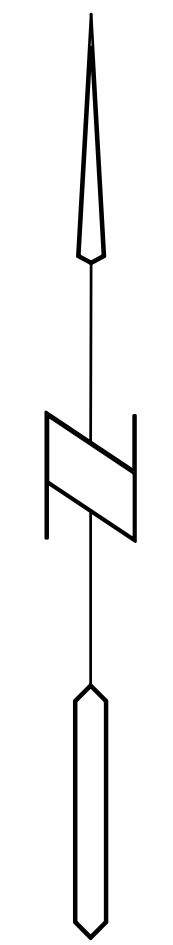
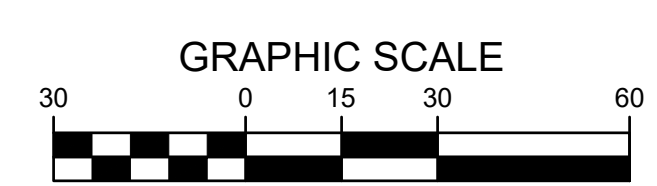
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NORTH PROPERTY



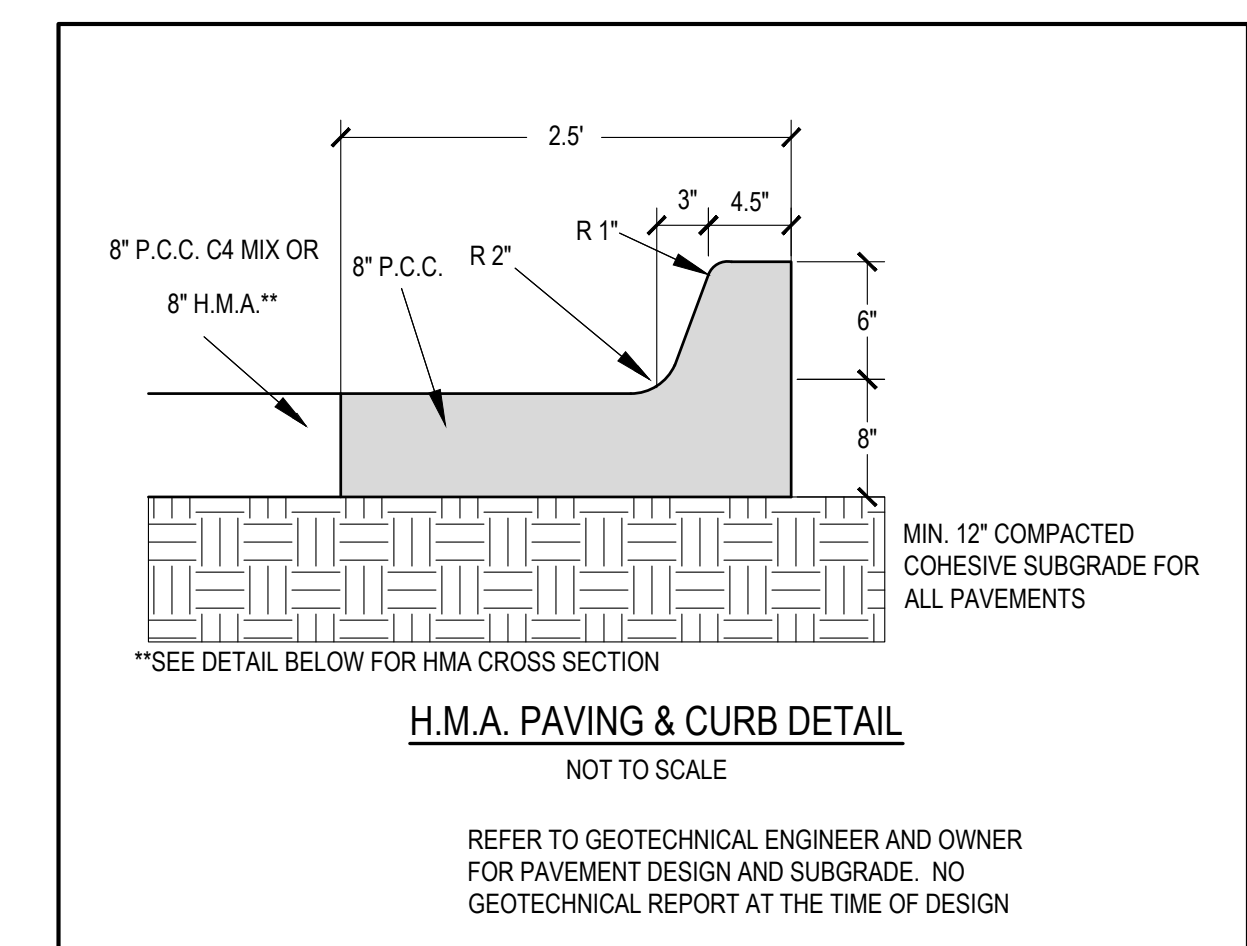
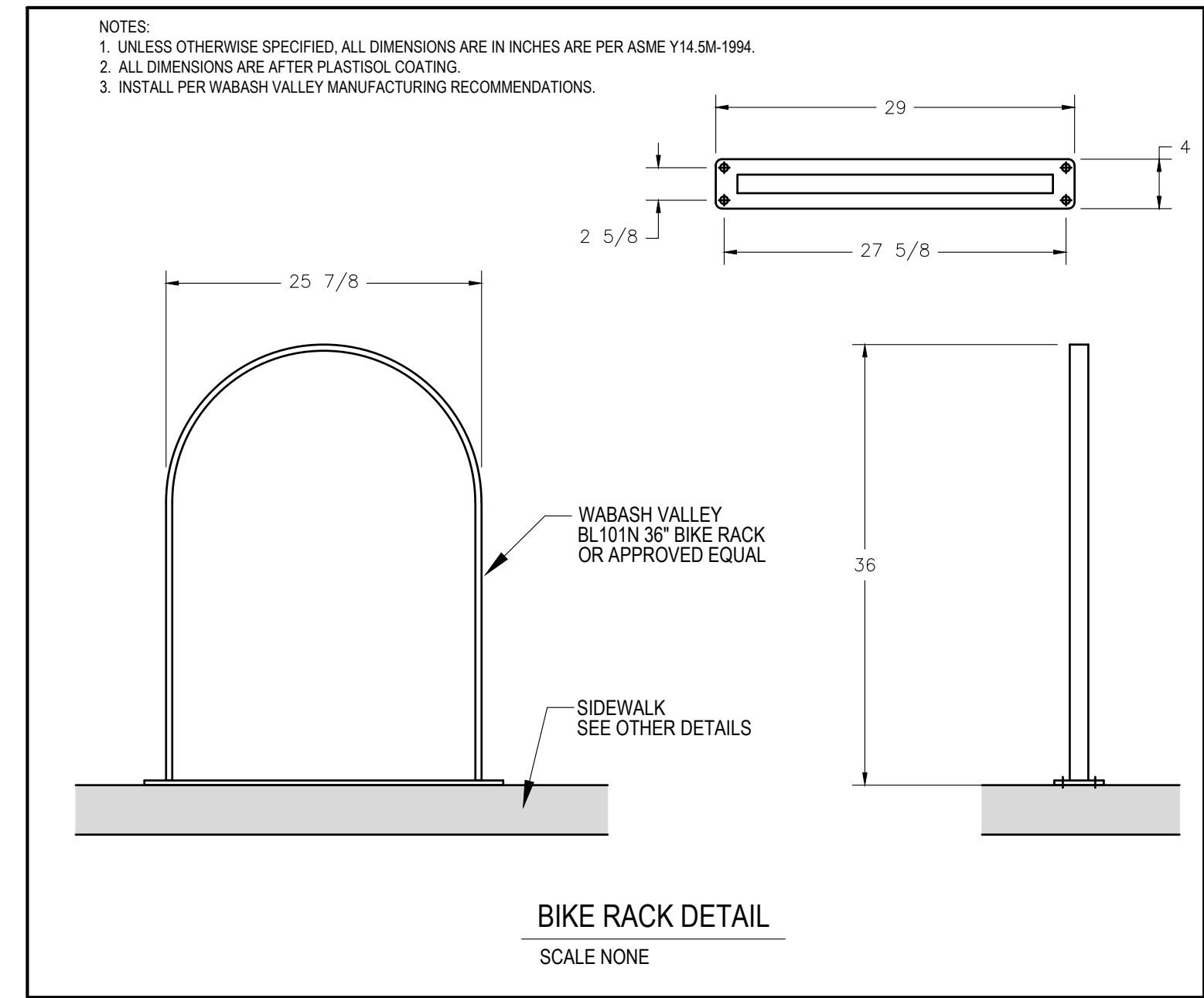
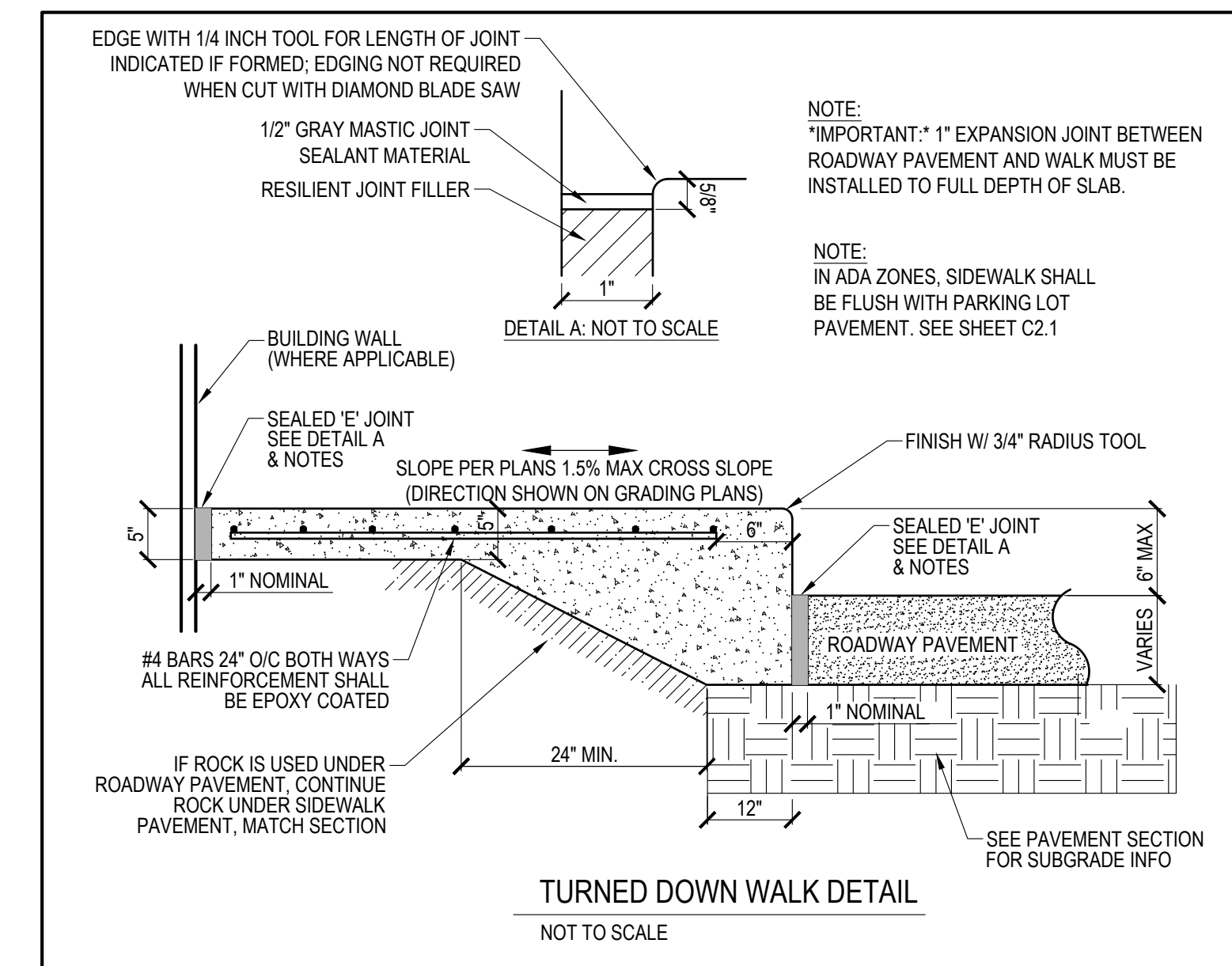
SOUTH PROPERTY



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REACH CHURCH
MERLE HAY ROAD, DES MOINES
LANDSCAPE PLAN

REFERENCE NUMBER:	
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CHECKED BY:	
REVISION DATE:	1ST SUBMITTAL - 5-4-22 2ND SUBMITTAL - 7-19-22 3RD SUBMITTAL - 8-3-22
PROJECT NUMBER:	220066
SHEET NUMBER:	C5.2



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REACH CHURCH
MERLE HAY ROAD, DES MOINES

DETAILS SHEET

REFERENCE NUMBER:
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CHECKED BY:
REVISION DATE: 1ST SUBMITTAL - 5-4-22 2ND SUBMITTAL - 7-19-22 3RD SUBMITTAL - 8-3-22
PROJECT NUMBER: 220066
SHEET NUMBER: C6.1

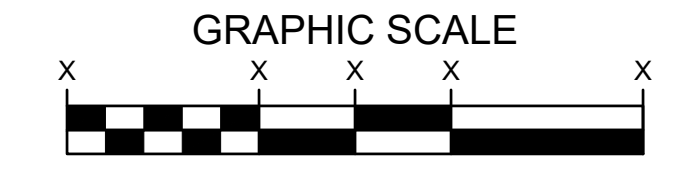
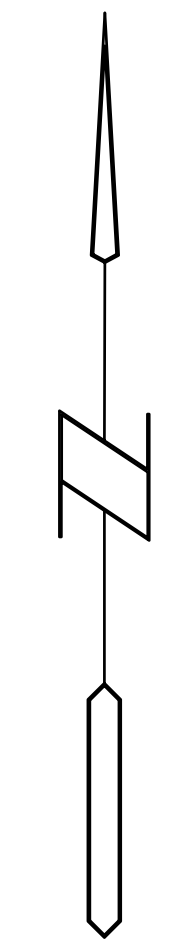
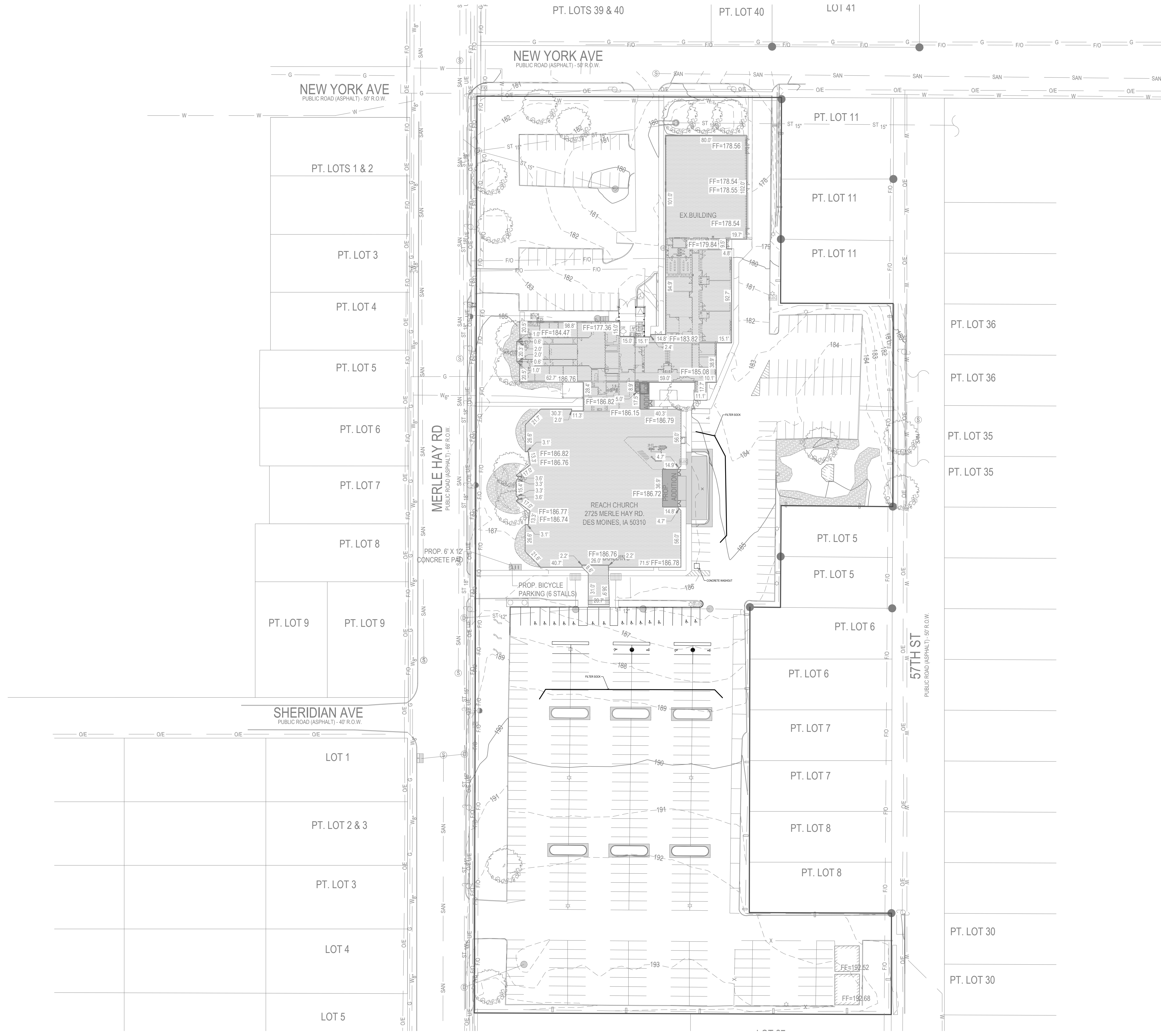
STORM WATER POLLUTION PREVENTION PLAN

EROSION CONTROL NOTES:

1. SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
2. SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
3. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
4. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
5. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
6. OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

1. AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.



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UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

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REACH CHURCH
MERLE HAY ROAD, DES MOINES
SWPPP

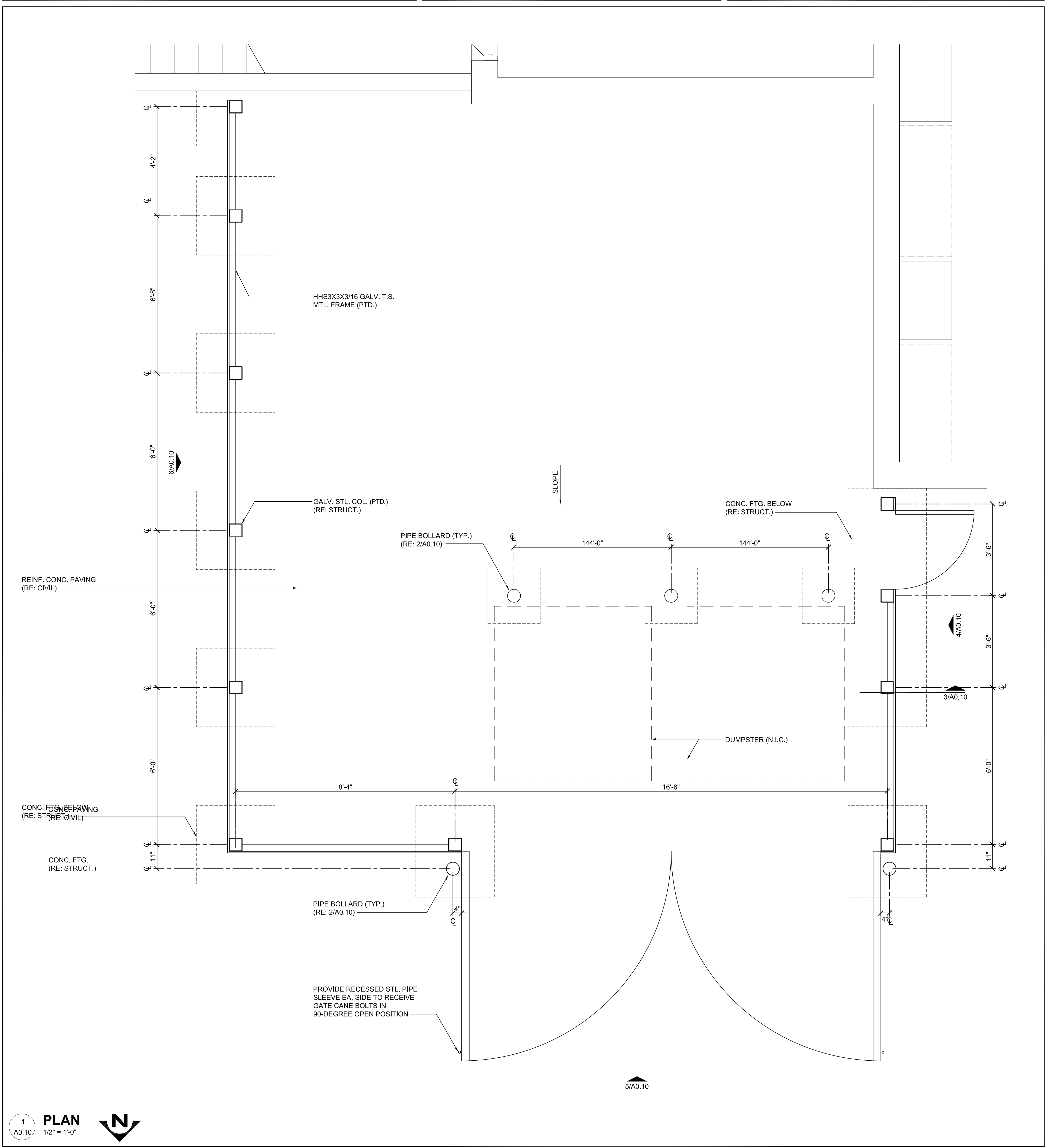
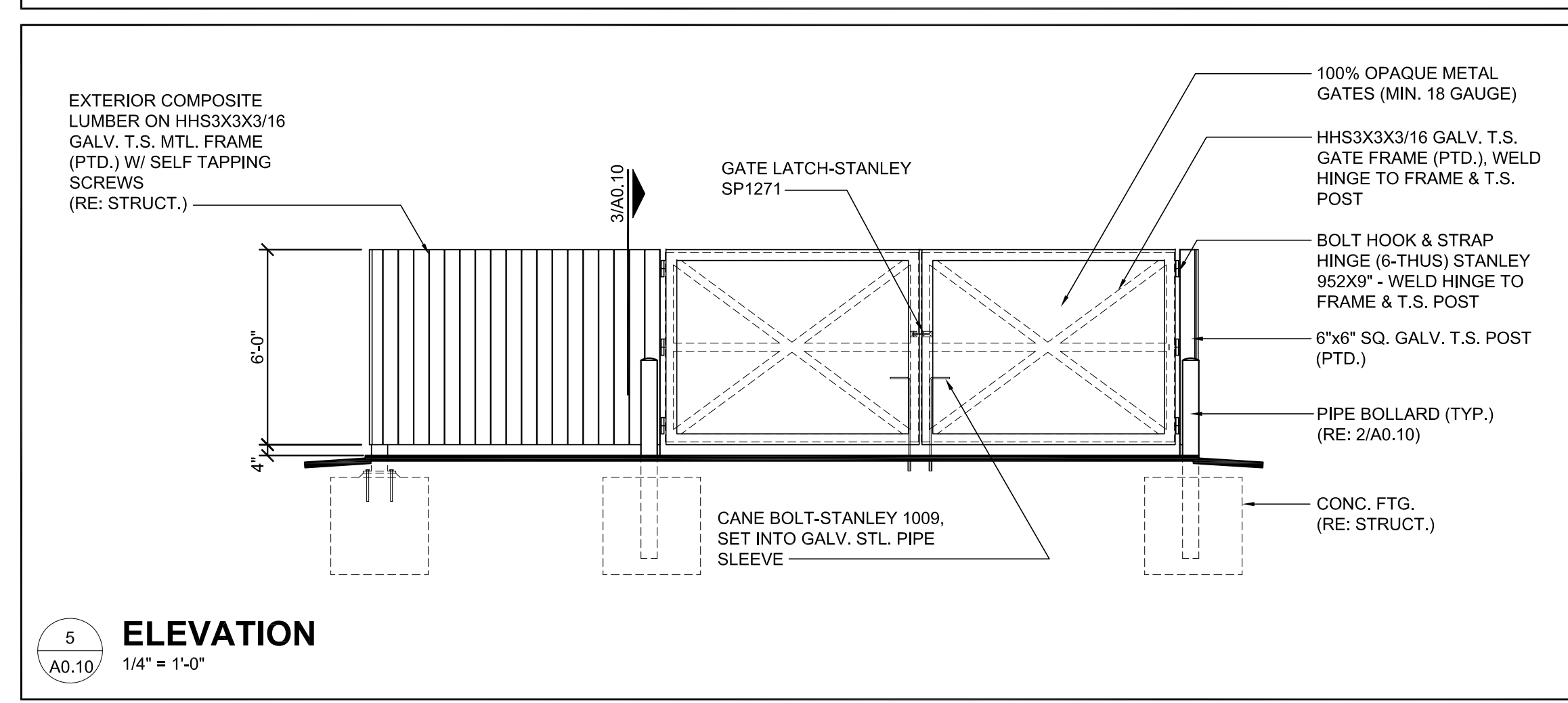
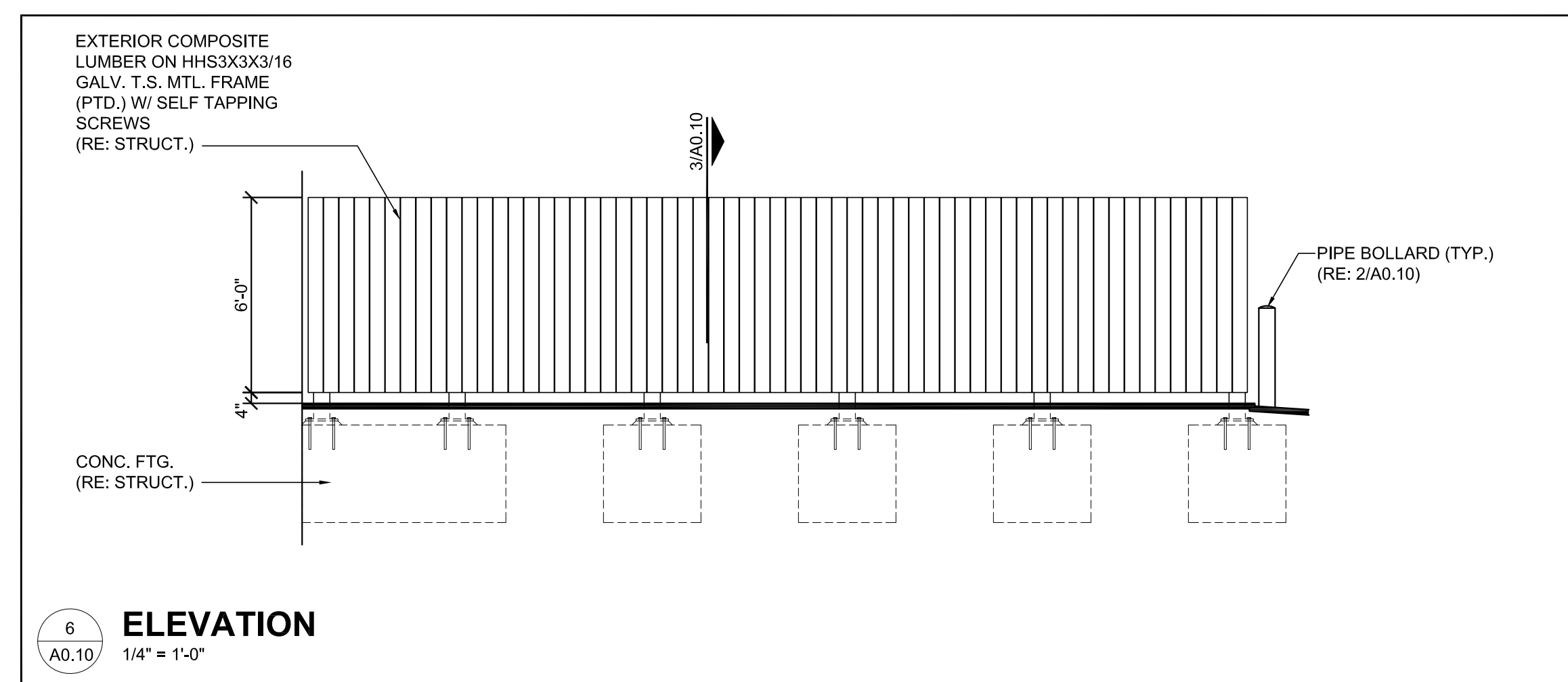
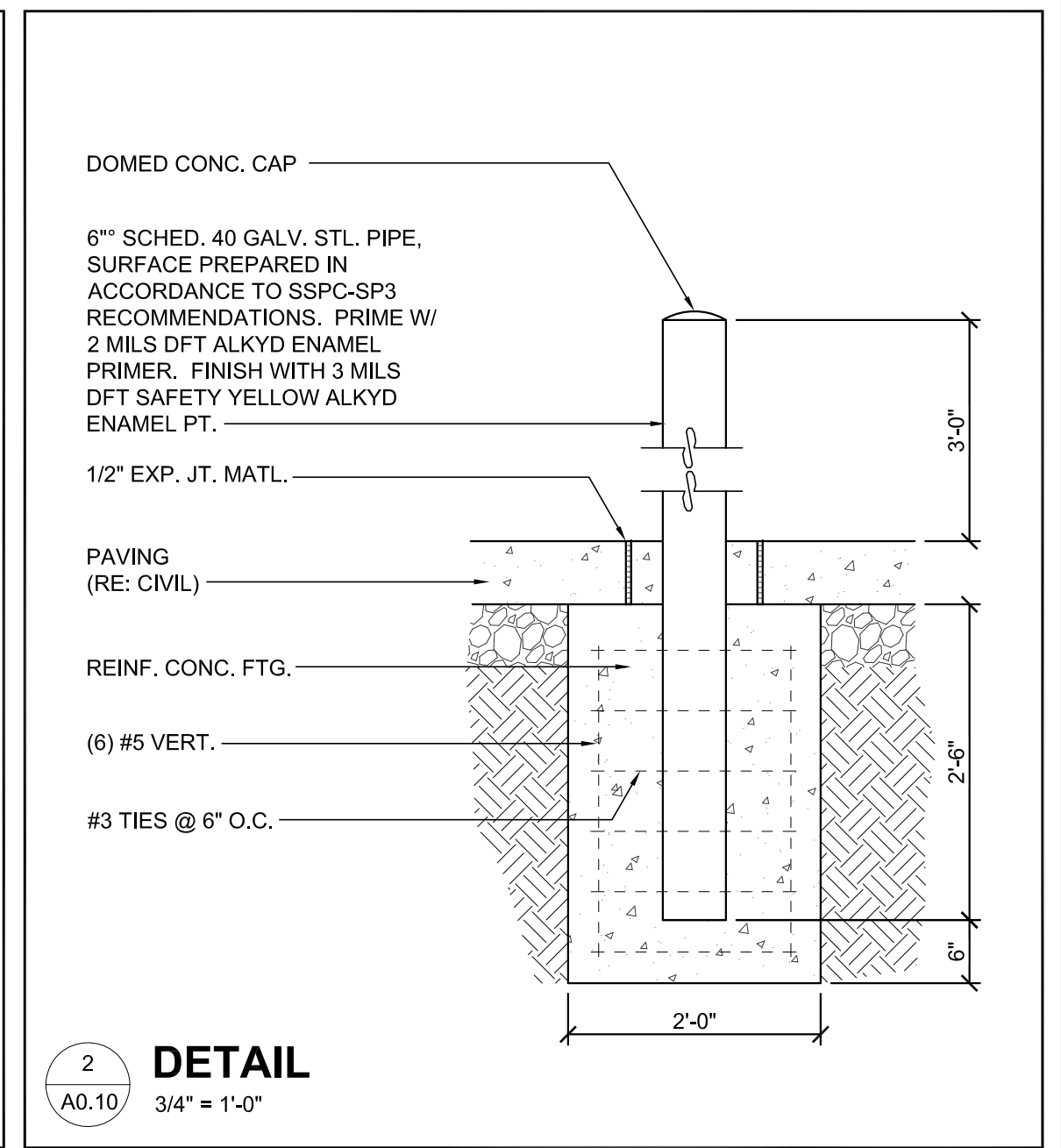
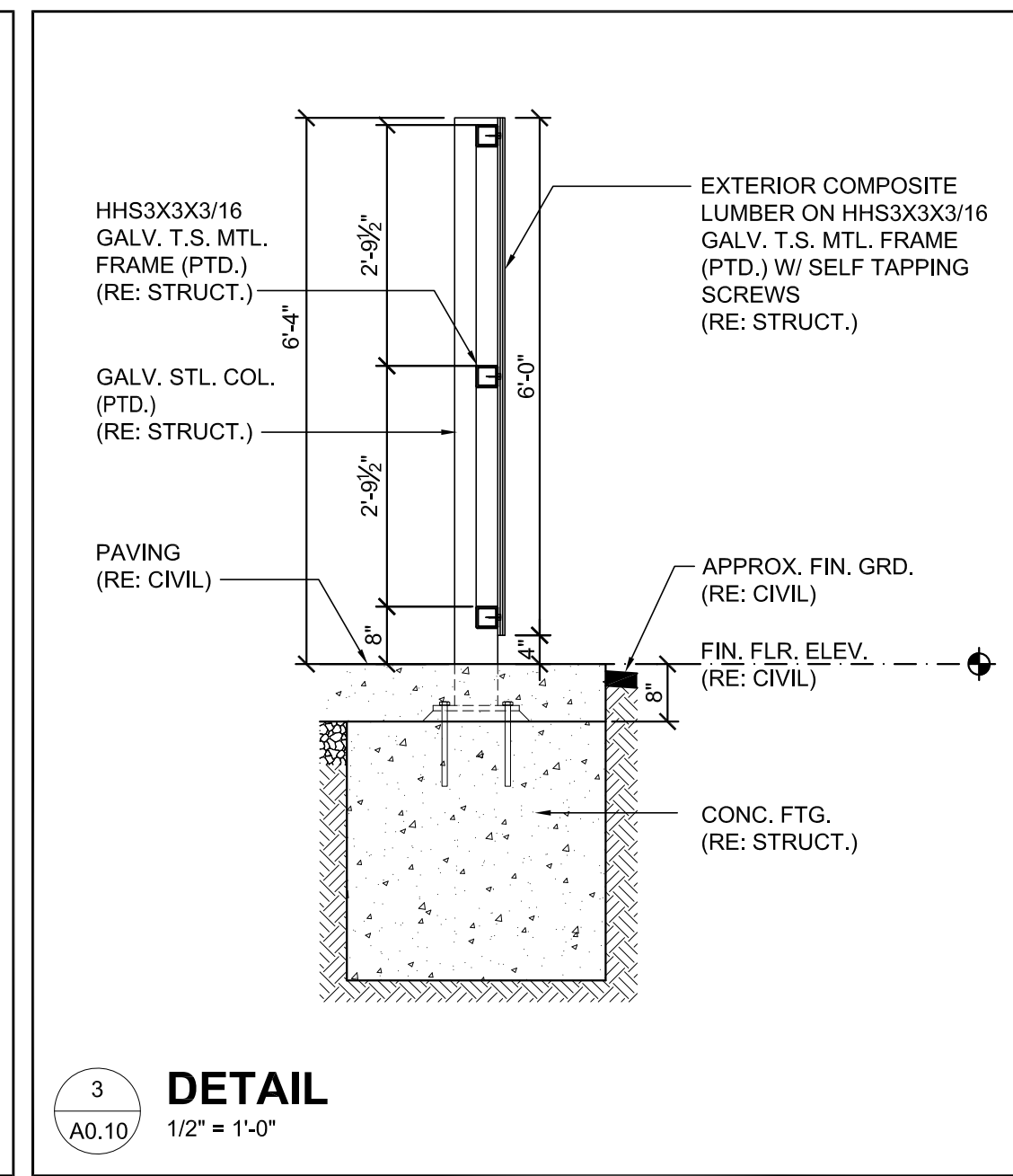
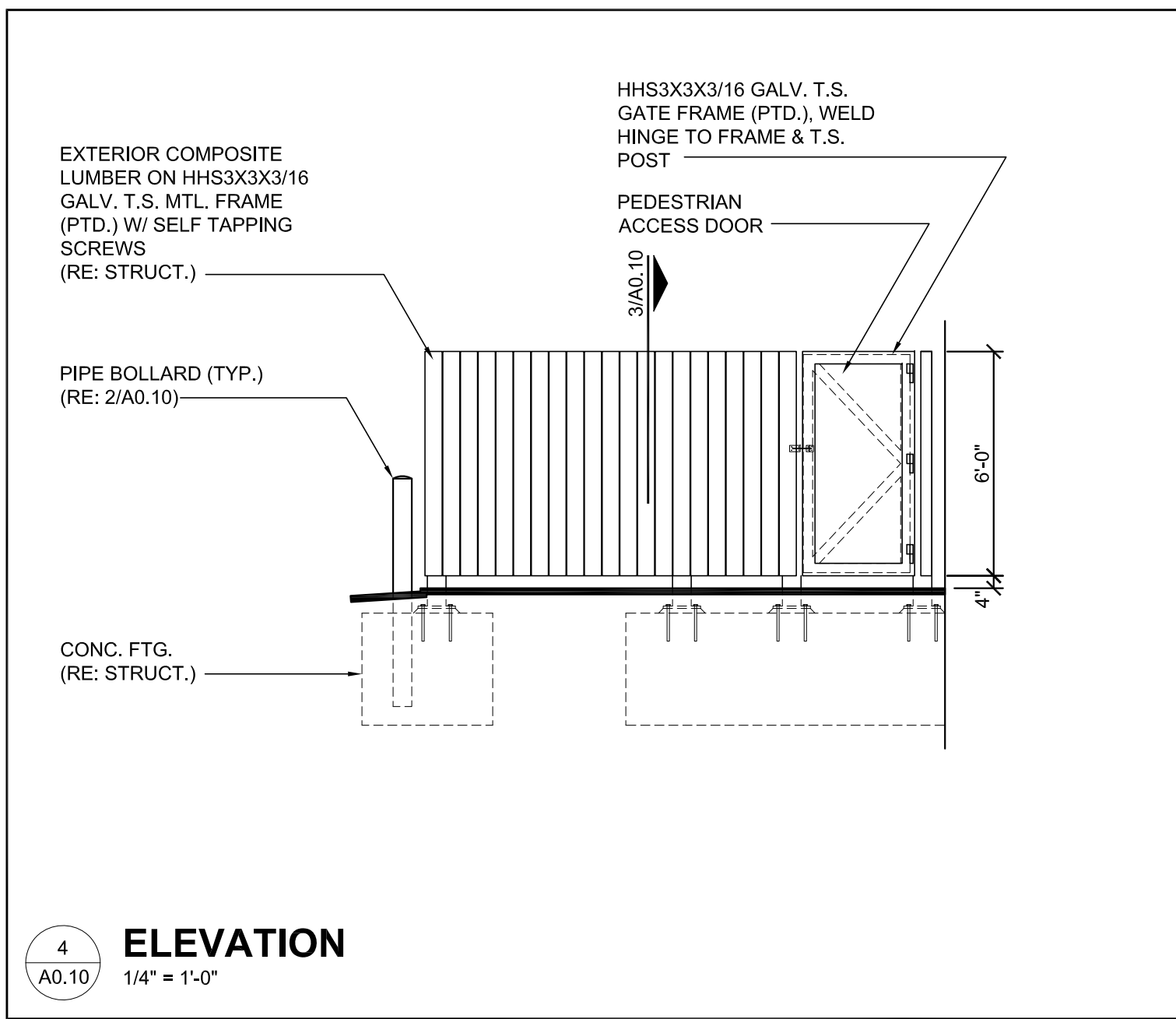
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PROJECT NUMBER:	220066
SHEET NUMBER:	C7.1

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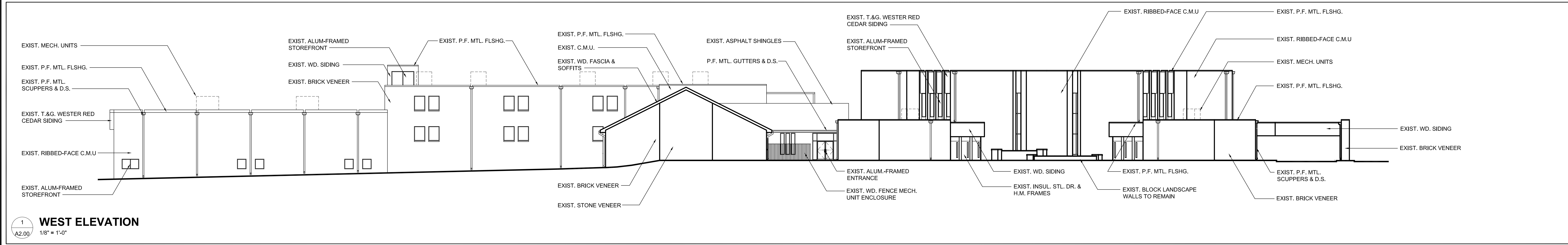
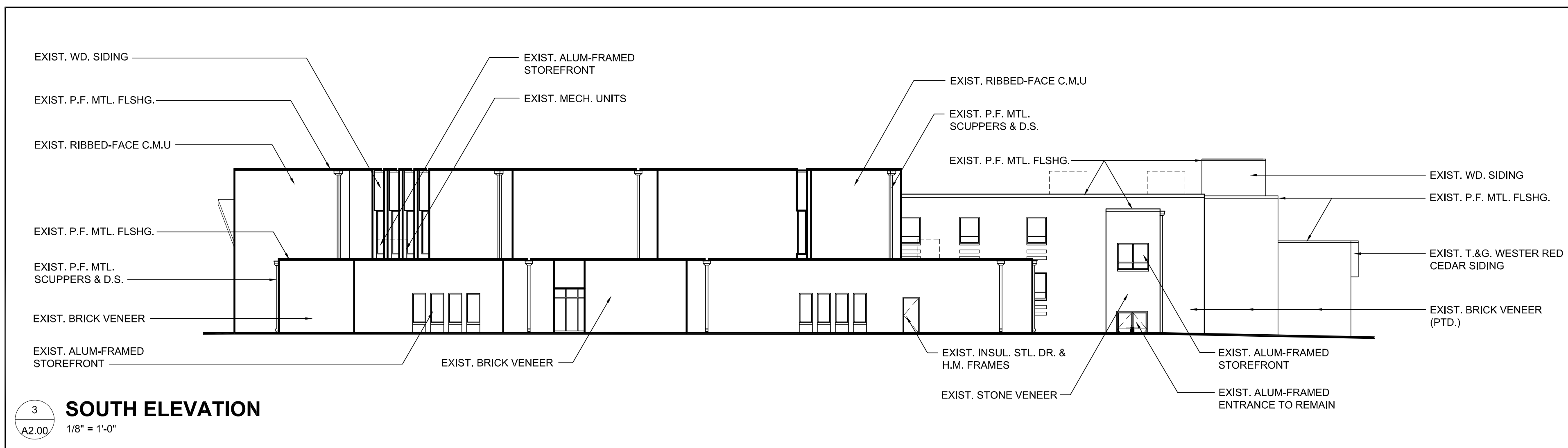
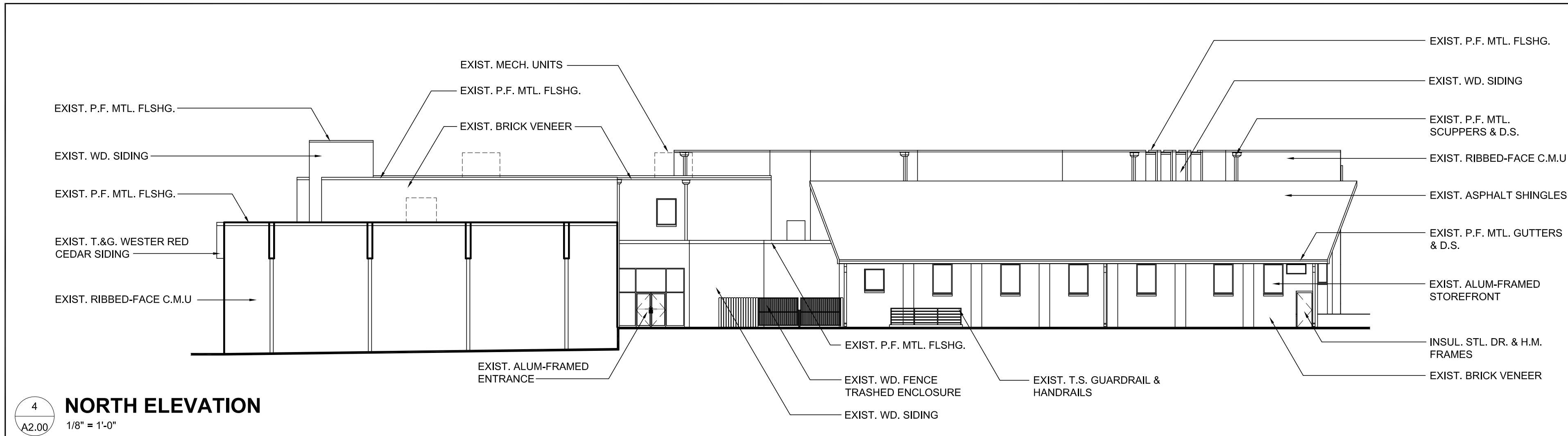


ADDITION TO AND RENOVATION FOR:
REACH CHURCH
2725 MERLE HAY ROAD
DES MOINES, IOWA 50310

PROJECT #: 20-811
ISSUE DATE: 5/23/22
DRAWN BY: BNA
CHECKED BY: SKP

REVISIONS:
7/20/22 - REV. PER CITY COM.
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SHEET No.
A0.10
SITE DETAILS

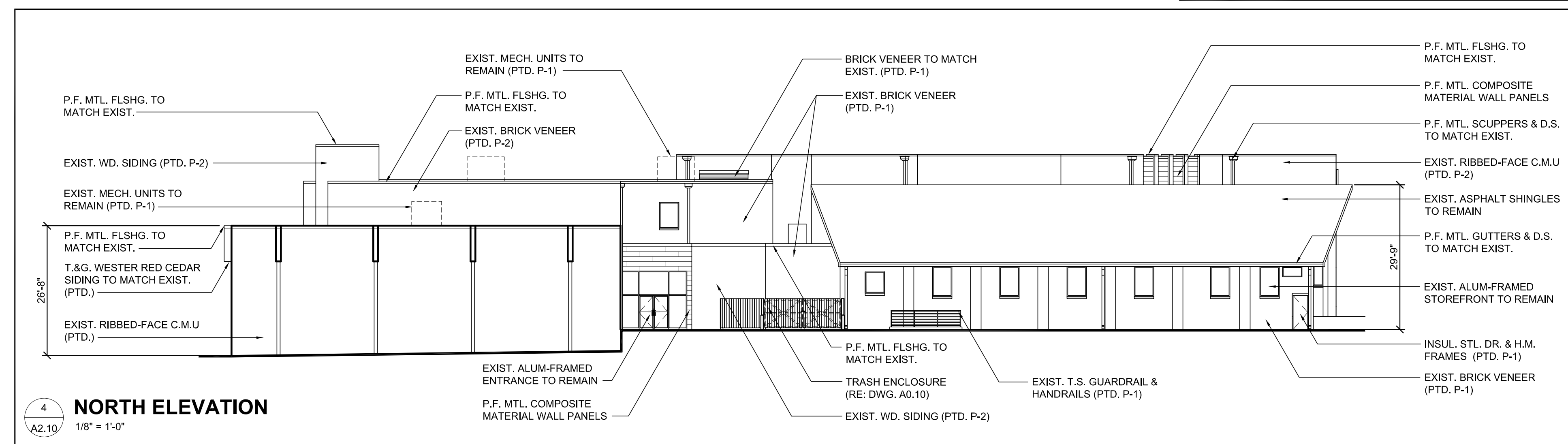


ADDITION TO AND RENOVATION FOR:
REACH CHURCH
2725 MERLE HAY ROAD
DES MOINES, IOWA 50310

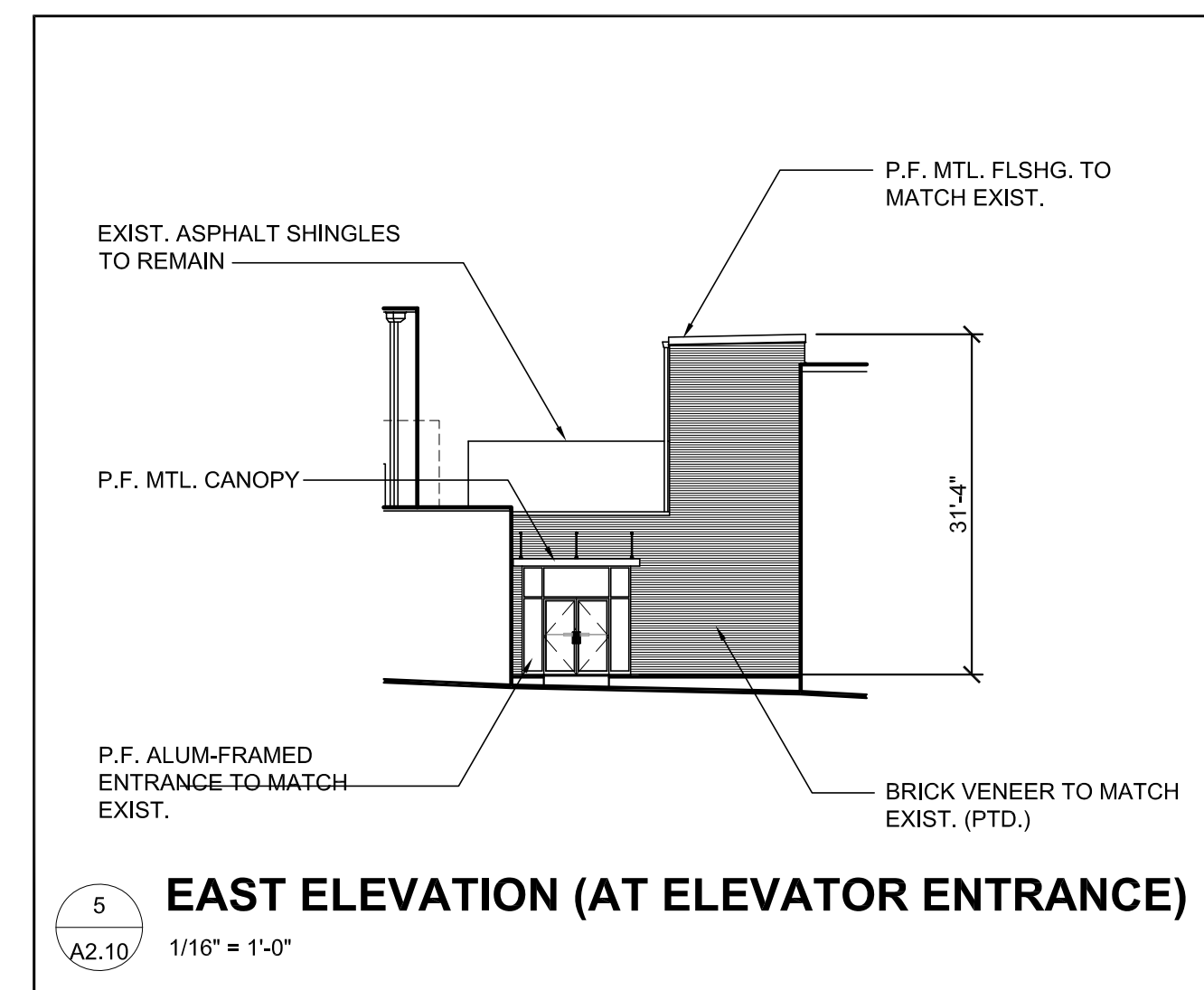
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ISSUE DATE: 5/23/22
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REVISIONS:
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SHEET No.
A2.00
EXISTING EXTERIOR BUILDING ELEVATIONS

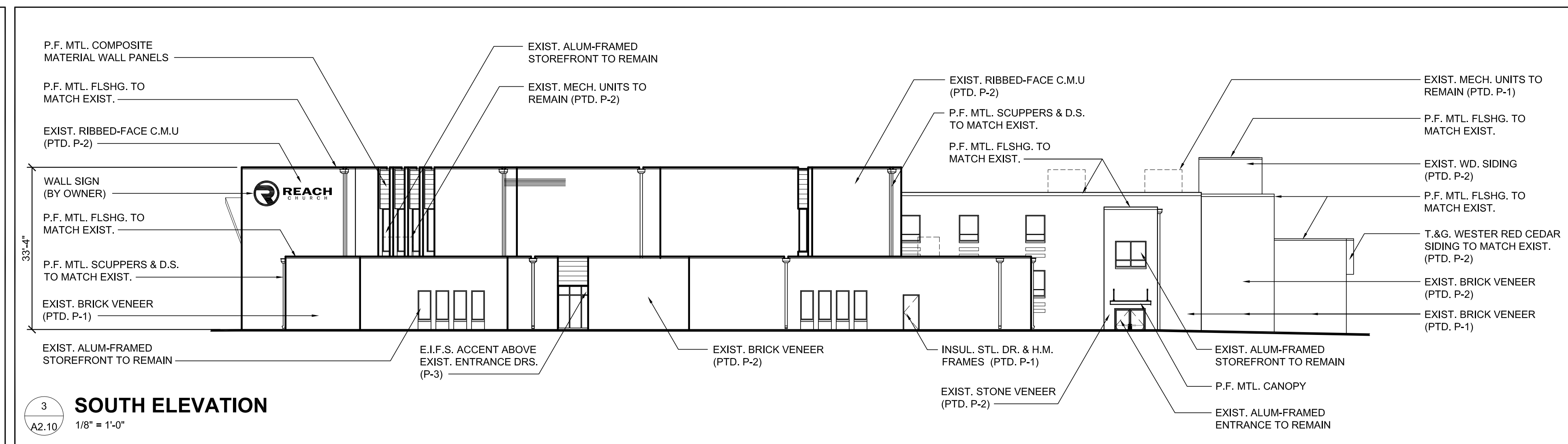
GENERAL ELEVATION NOTES:
1. PROPOSED EXTERIOR FACADE MATERIAL CHANGES DO NOT EXCEED 50% OF THE EXISTING FACADE.
2. ALL EXISTING BRICK VENEER, RIBBED-FACE C.M.U. AND T.&G. WESTER RED CEDAR SIDING SHALL BE PAINTED.



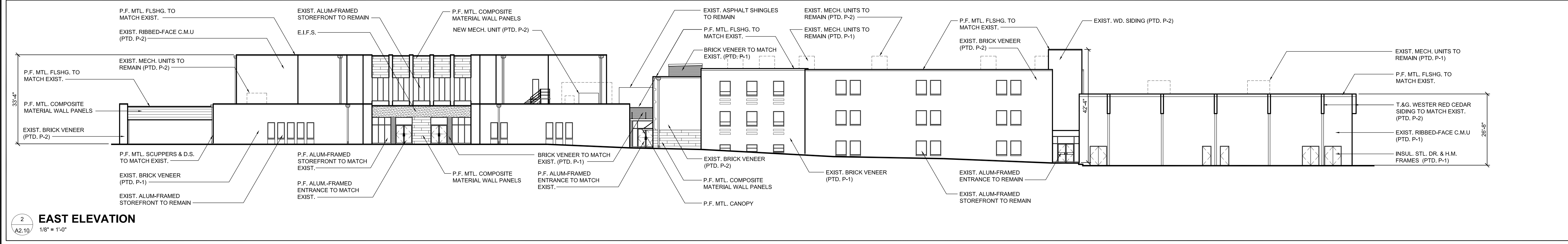
4 NORTH ELEVATION
A2.10/ 1/8" = 1'-0"



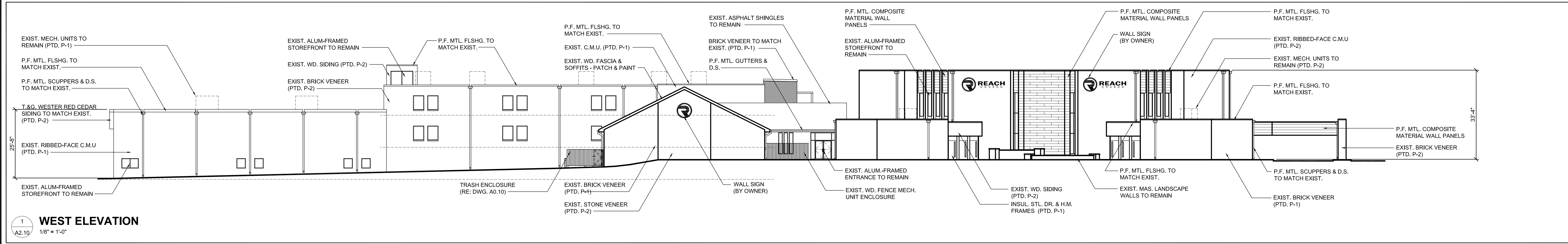
5 EAST ELEVATION (AT ELEVATOR ENTRANCE)
A2.10/ 1/8" = 1'-0"



3 SOUTH ELEVATION
A2.10/ 1/8" = 1'-0"



2 EAST ELEVATION
A2.10/ 1/8" = 1'-0"

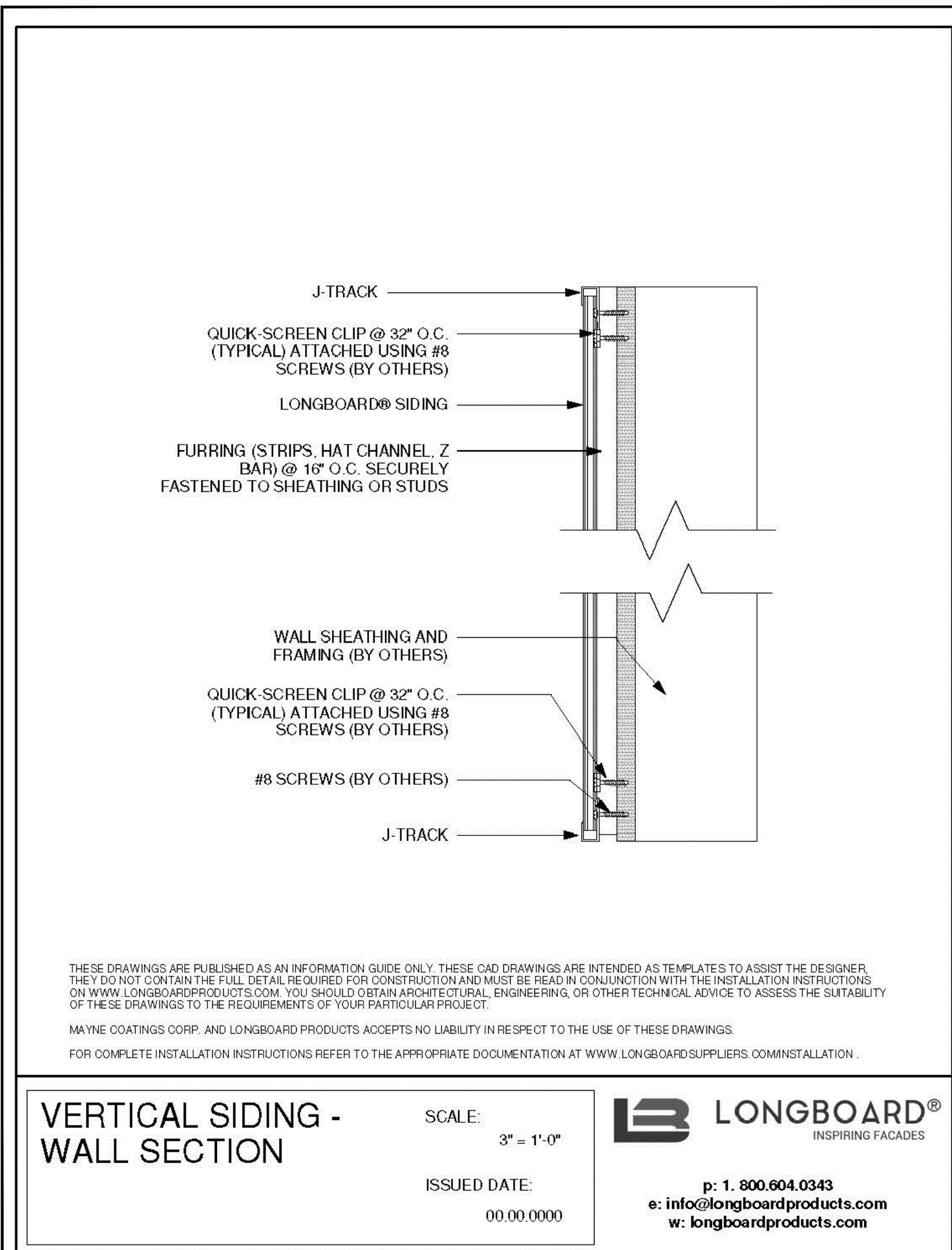


1 WEST ELEVATION
A2.10/ 1/8" = 1'-0"

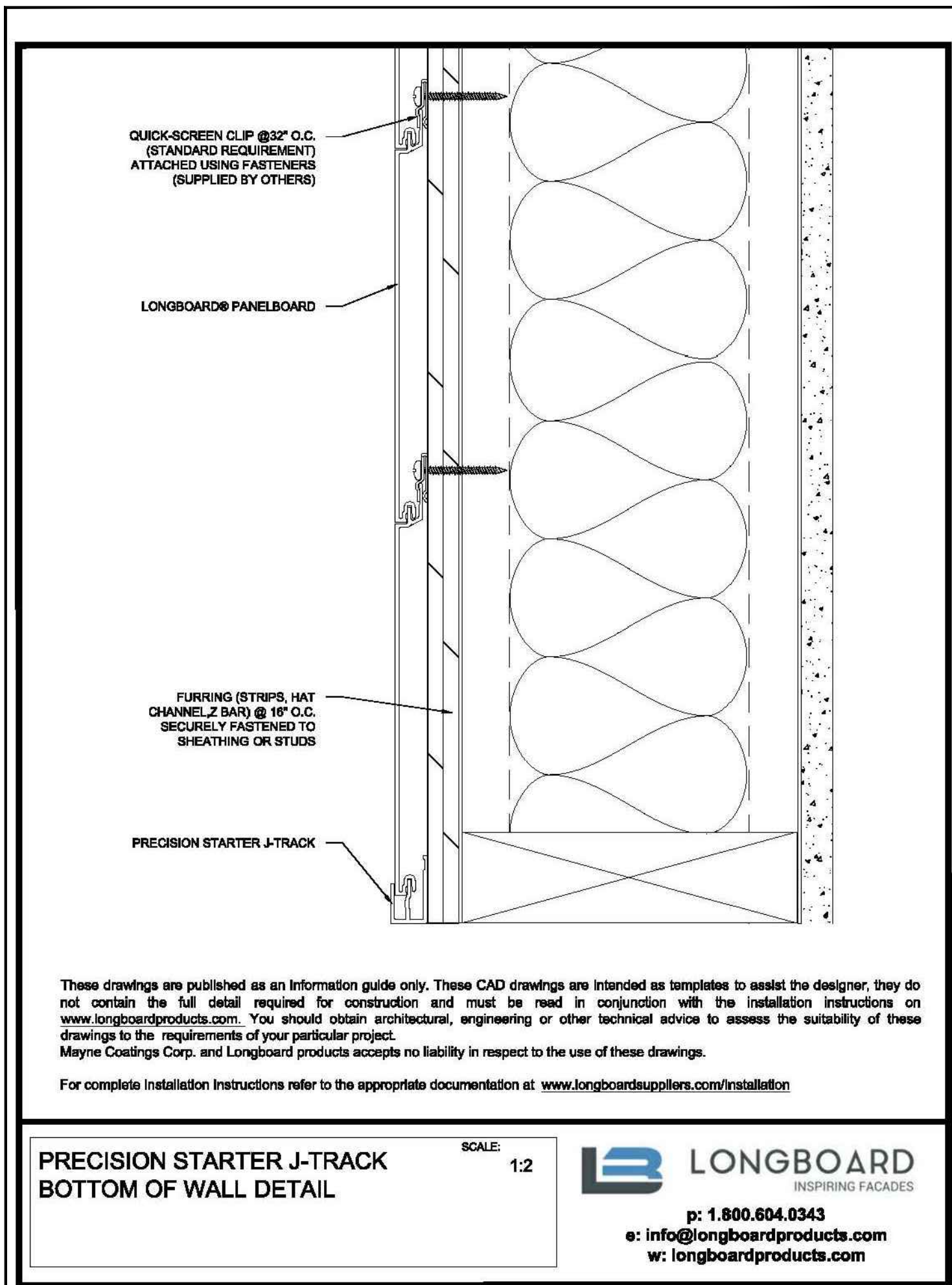
ADDITION TO AND RENOVATION FOR:
REACH CHURCH
2725 MERLE HAY ROAD
DES MOINES, IOWA 50310

PROJECT #: 20-811
ISSUE DATE: 5/23/22
DRAWN BY: BNA
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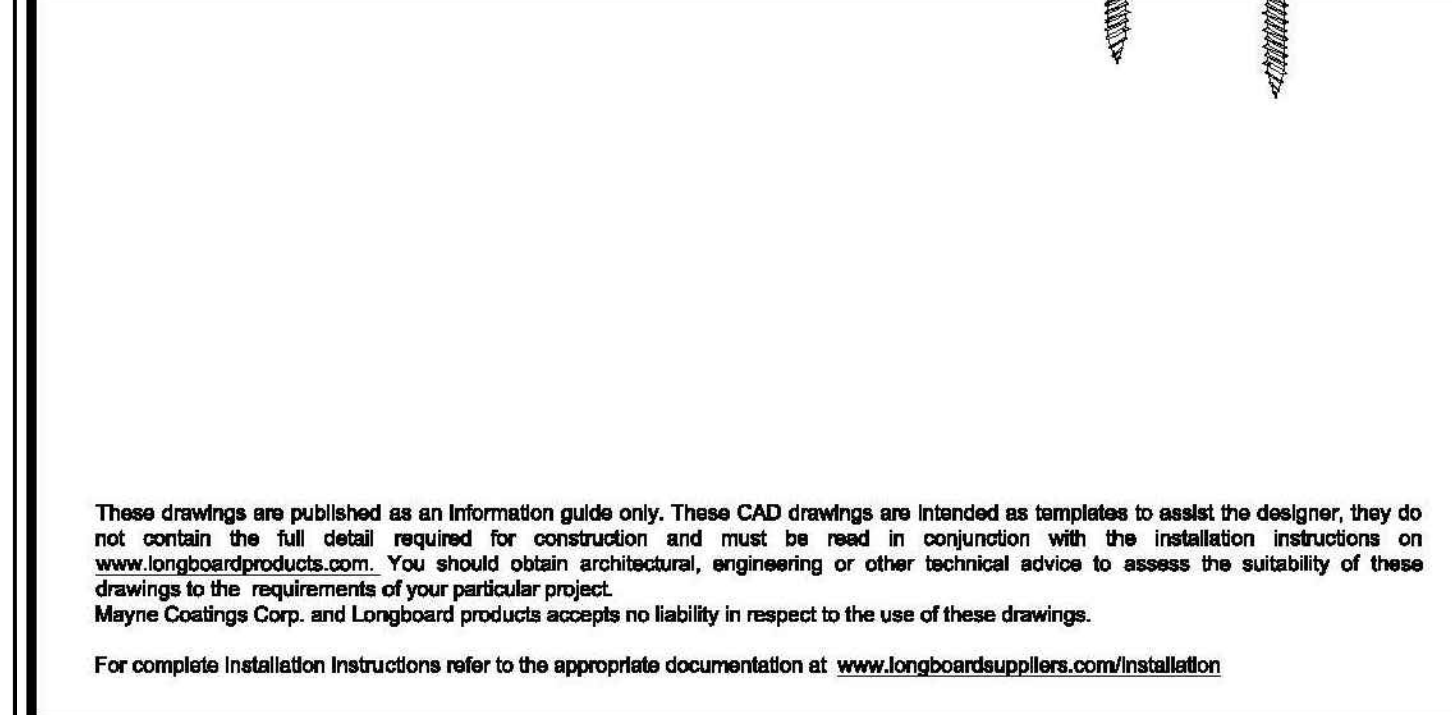
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PROPOSED EXTERIOR BUILDING ELEVATIONS



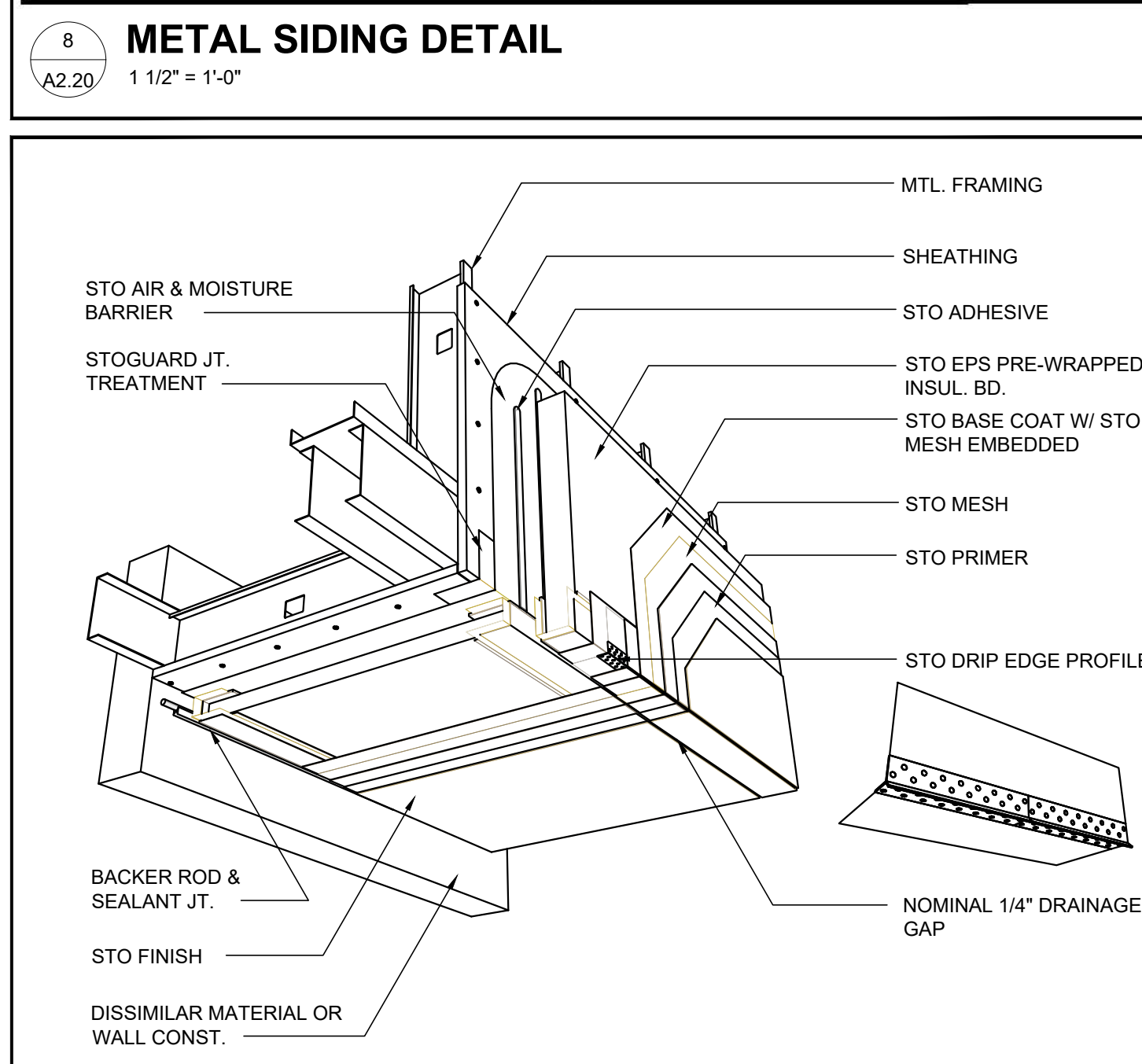
11 METAL SIDING DETAIL
A2.20 1 1/2" = 1'-0"



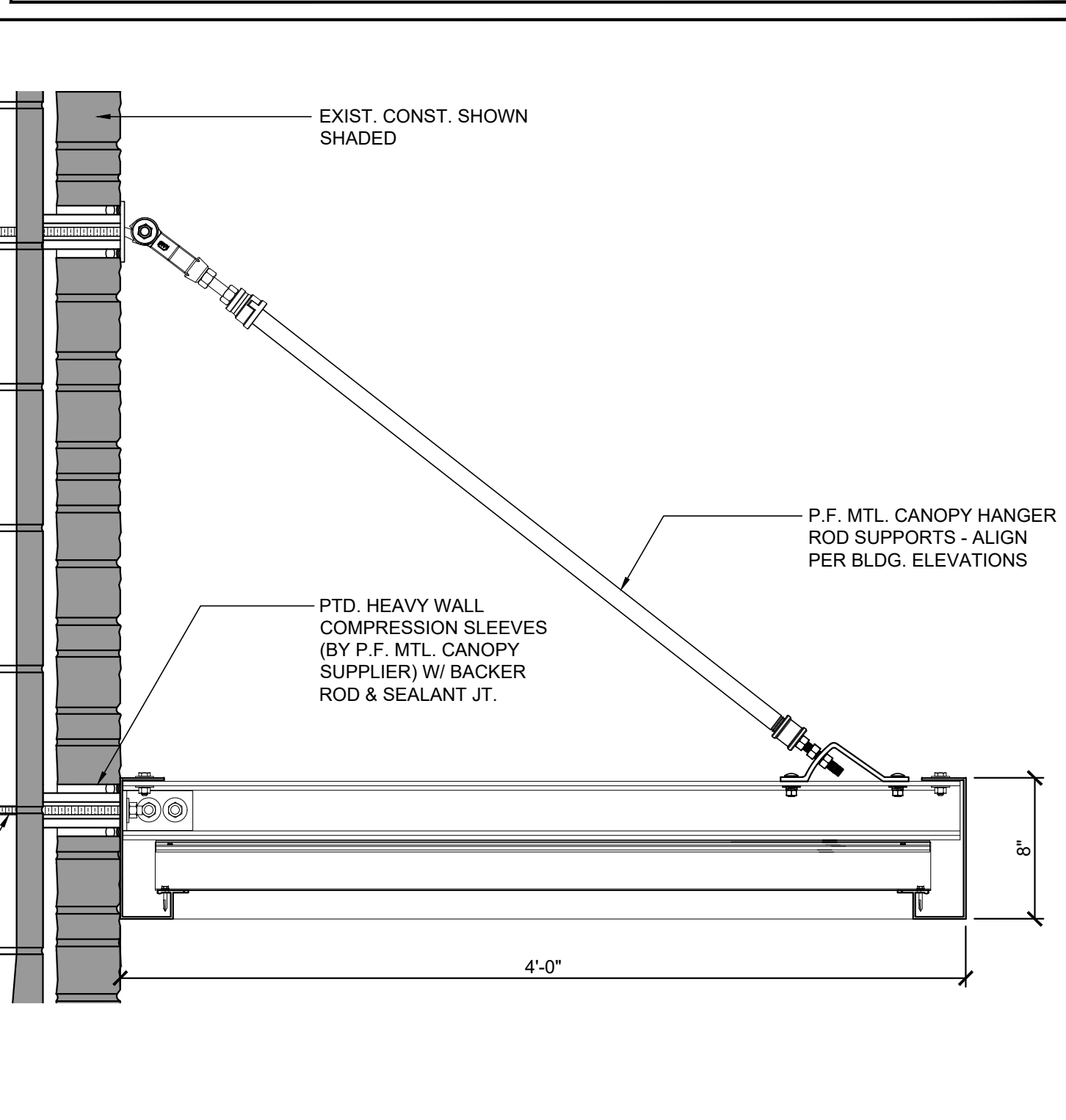
10 METAL SIDING DETAIL
A2.20 1 1/2" = 1'-0"



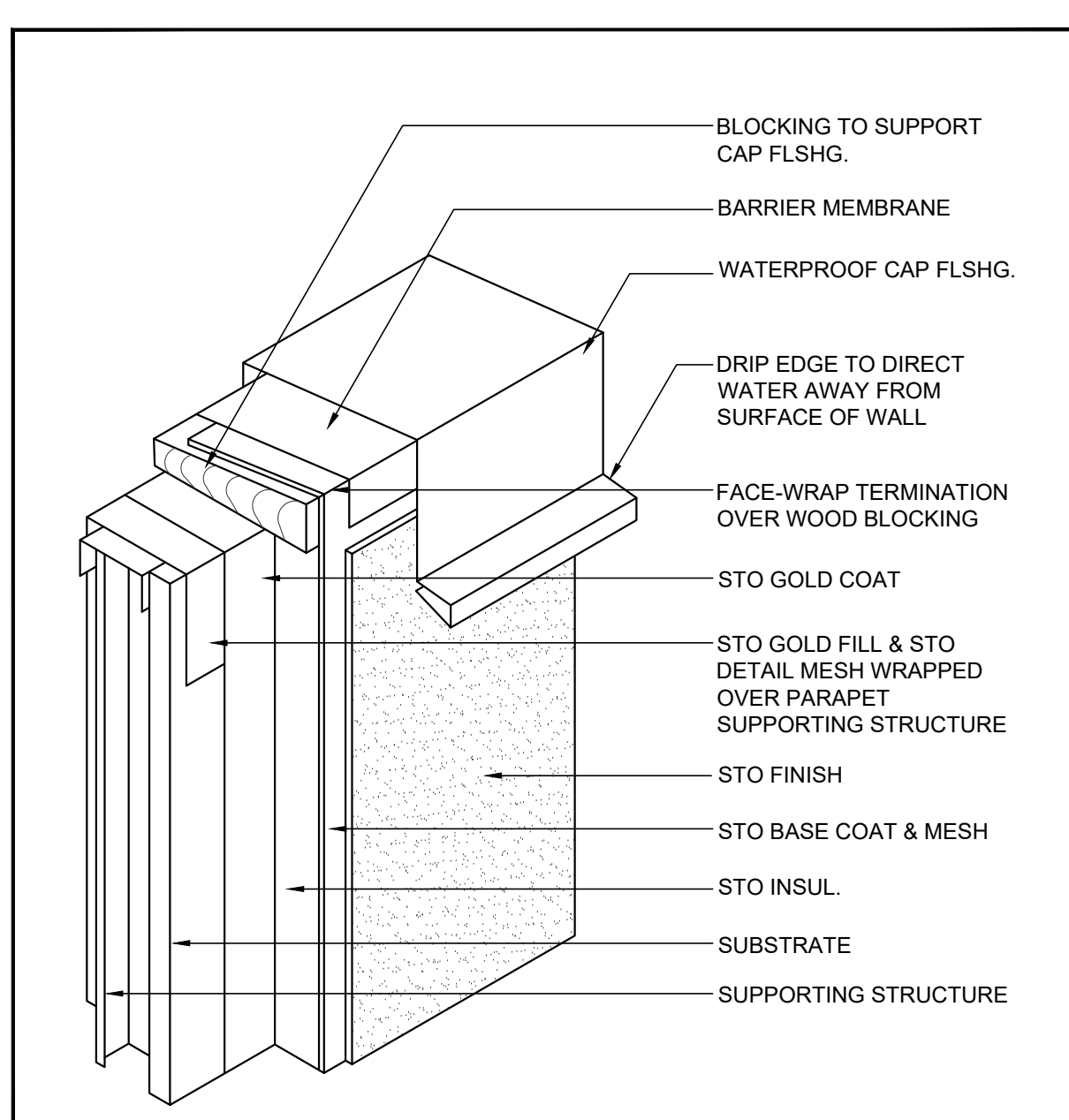
8 METAL SIDING DETAIL
A2.20 1 1/2" = 1'-0"



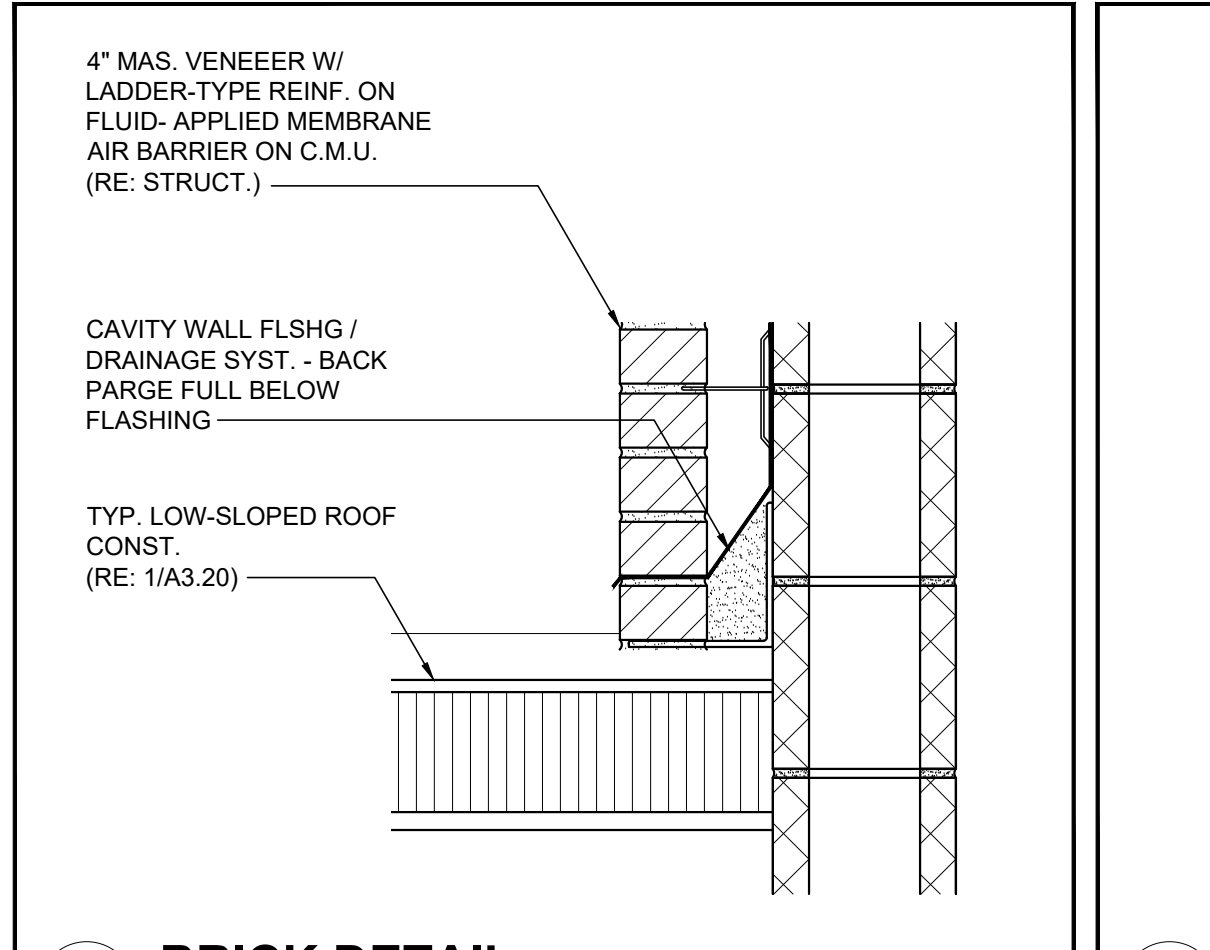
7 E.I.F.S. DETAIL
A2.20 N.T.S.



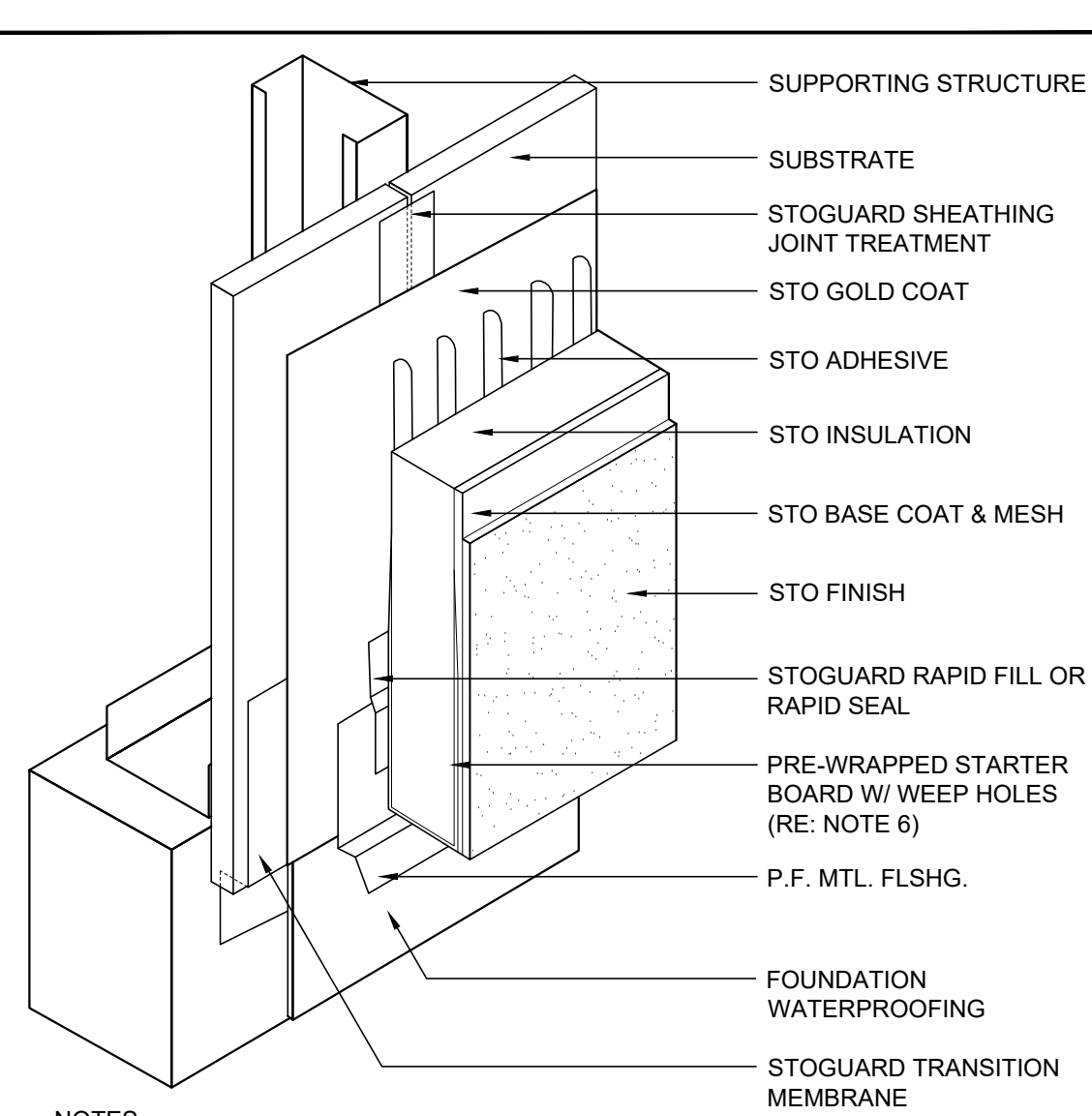
6 CANOPY DETAIL AT EXISTING WALL
A2.20 1 1/2" = 1'-0"



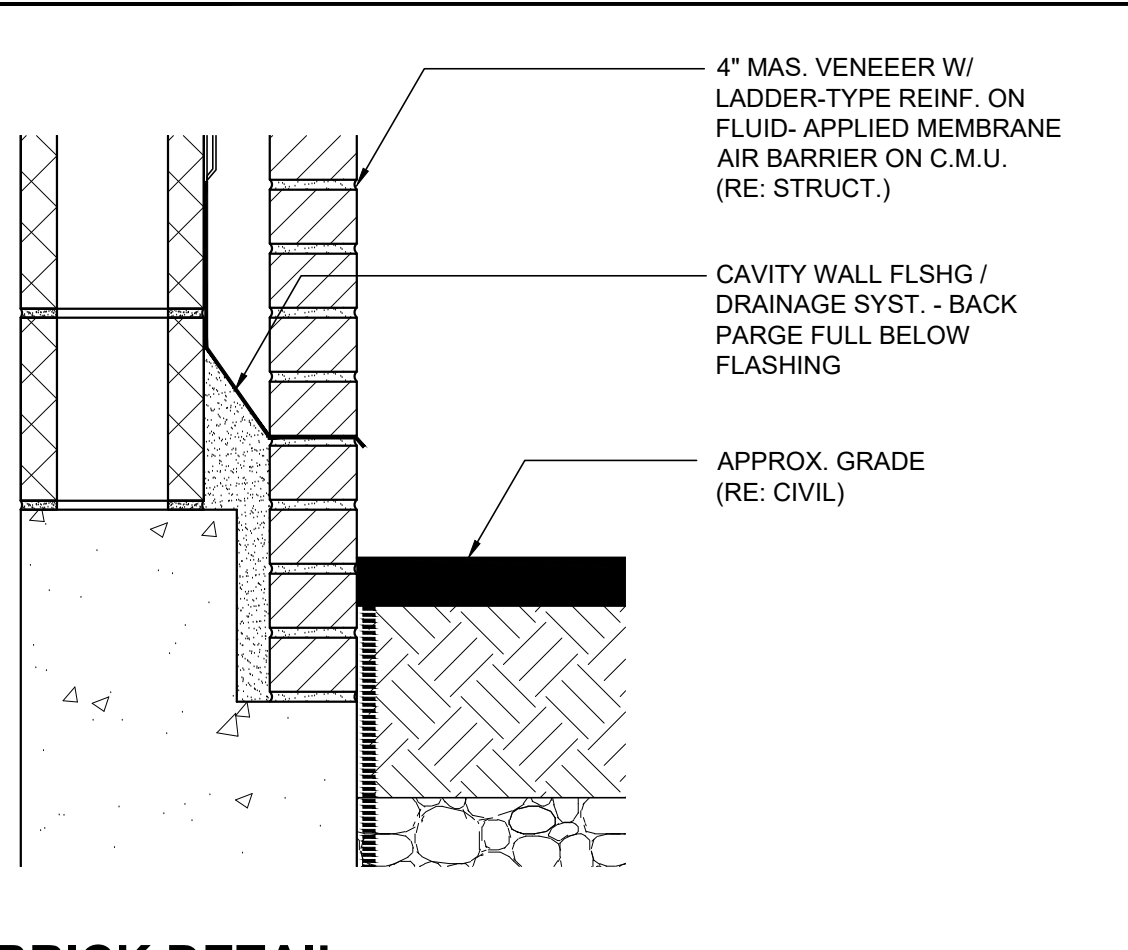
5 E.I.F.S. DETAIL
A2.20 N.T.S.



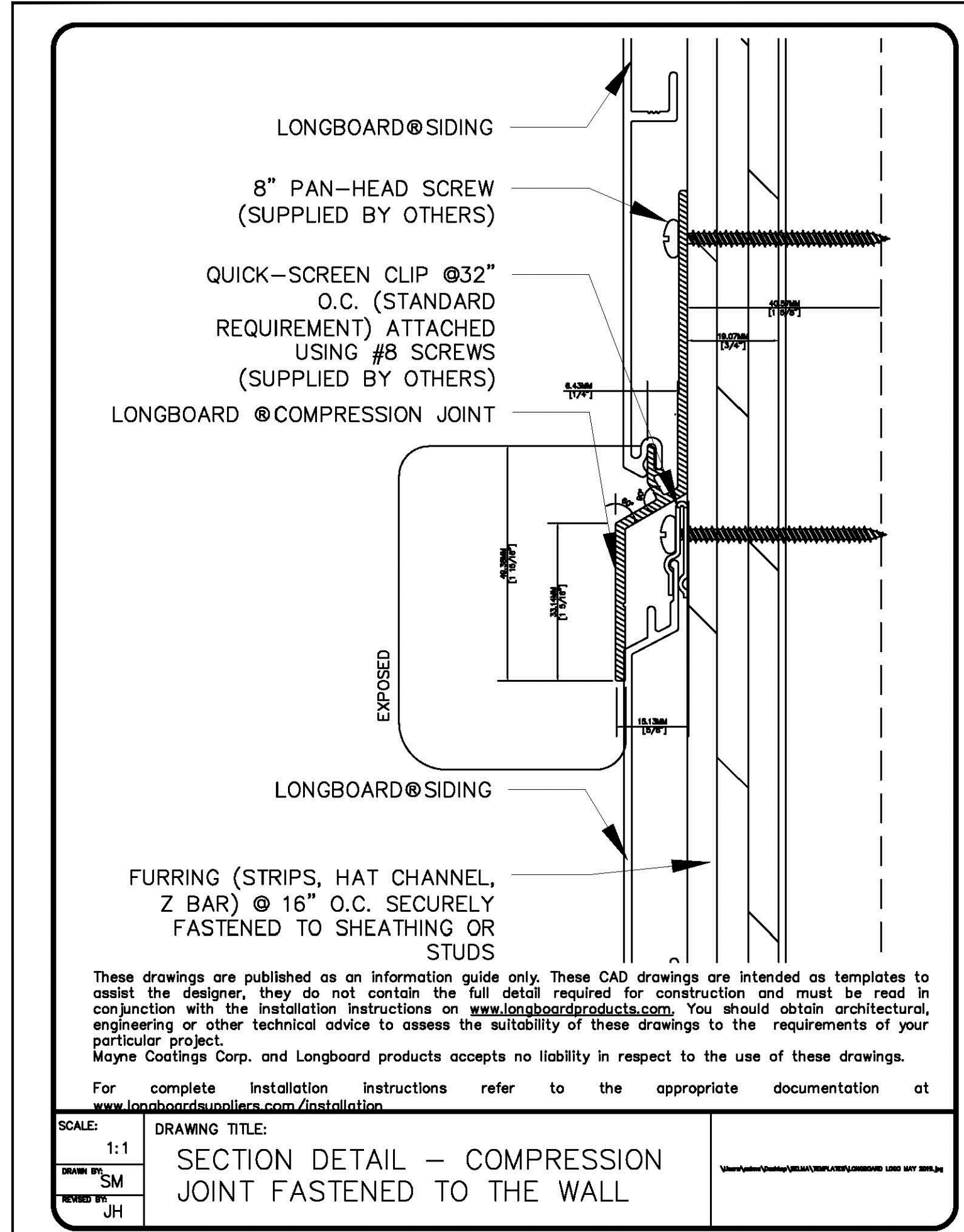
3 BRICK DETAIL
A2.20 1 1/2" = 1'-0"



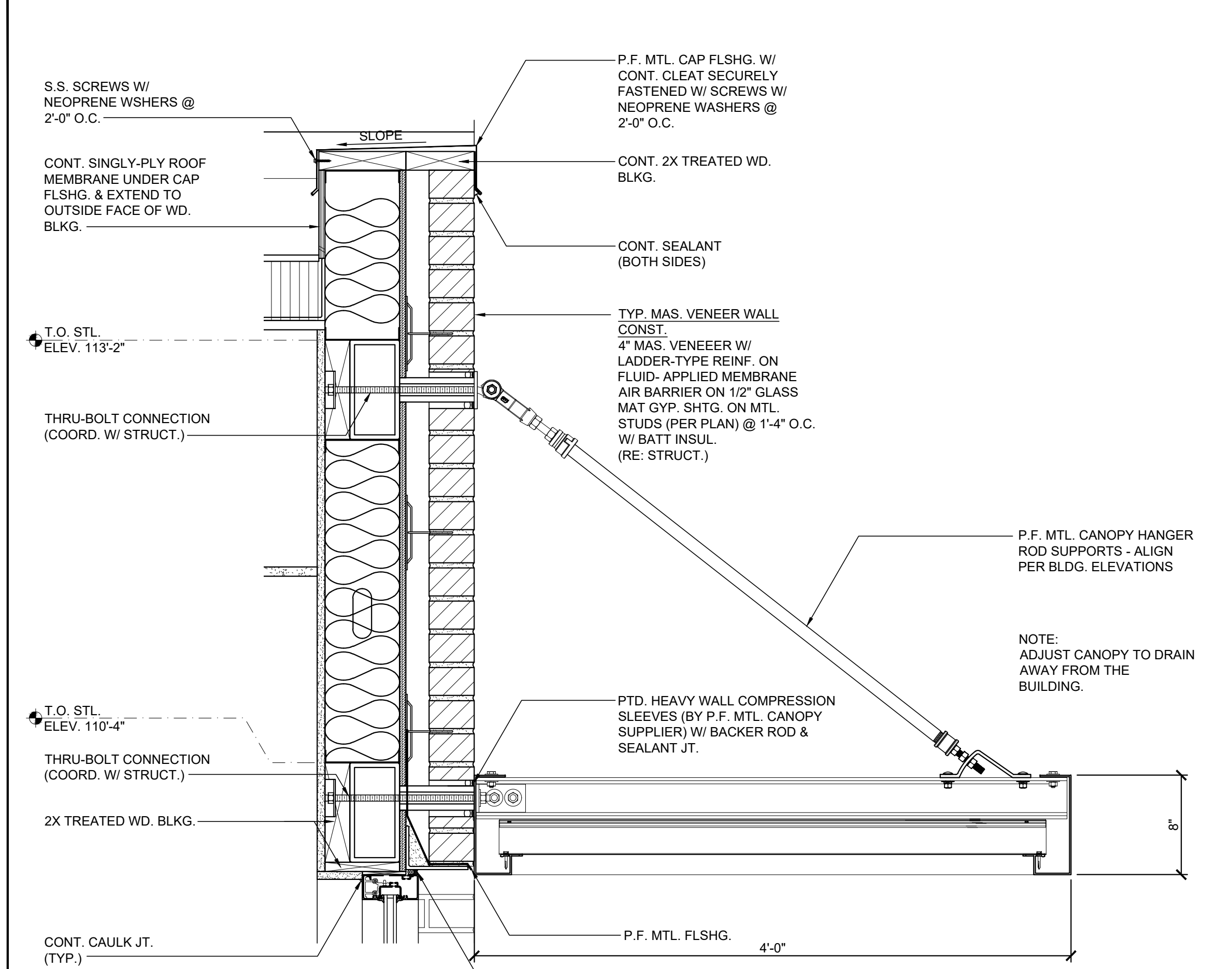
4 E.I.F.S. DETAIL
A2.20 N.T.S.



2 BRICK DETAIL
A2.20 1 1/2" = 1'-0"



9 METAL SIDING DETAIL
A2.20 1 1/2" = 1'-0"



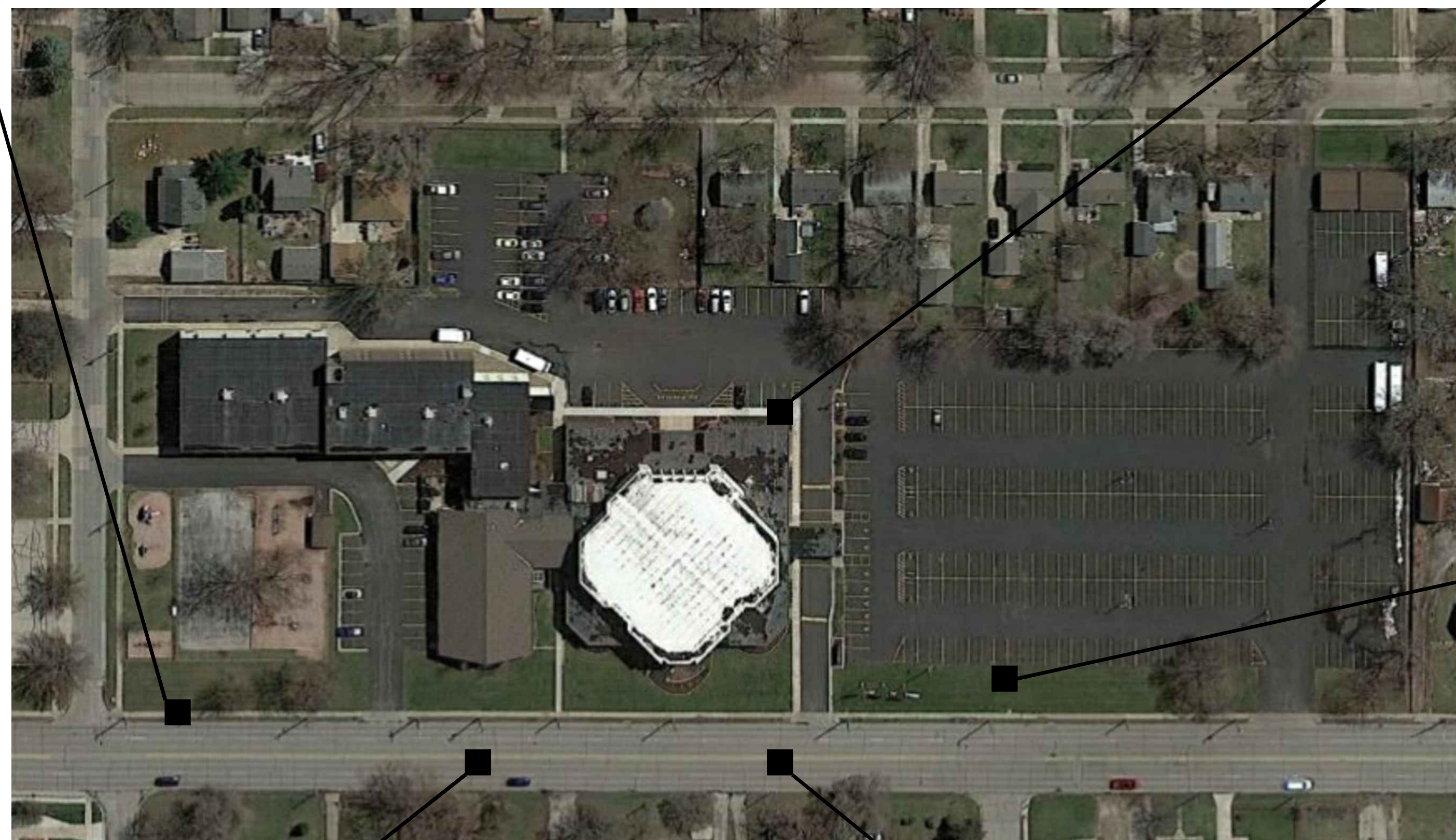
1 CANOPY DETAIL
A2.20 1 1/2" = 1'-0"

ADDITION TO AND RENOVATION FOR:
REACH CHURCH
2725 MERLE HAY ROAD
DES MOINES, IOWA 50310

PROJECT #: 20-811
ISSUE DATE: 5/23/22
DRAWN BY: BNA
CHECKED BY: SKP

REVISIONS:
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SHEET No.
A2.20
DETAILS



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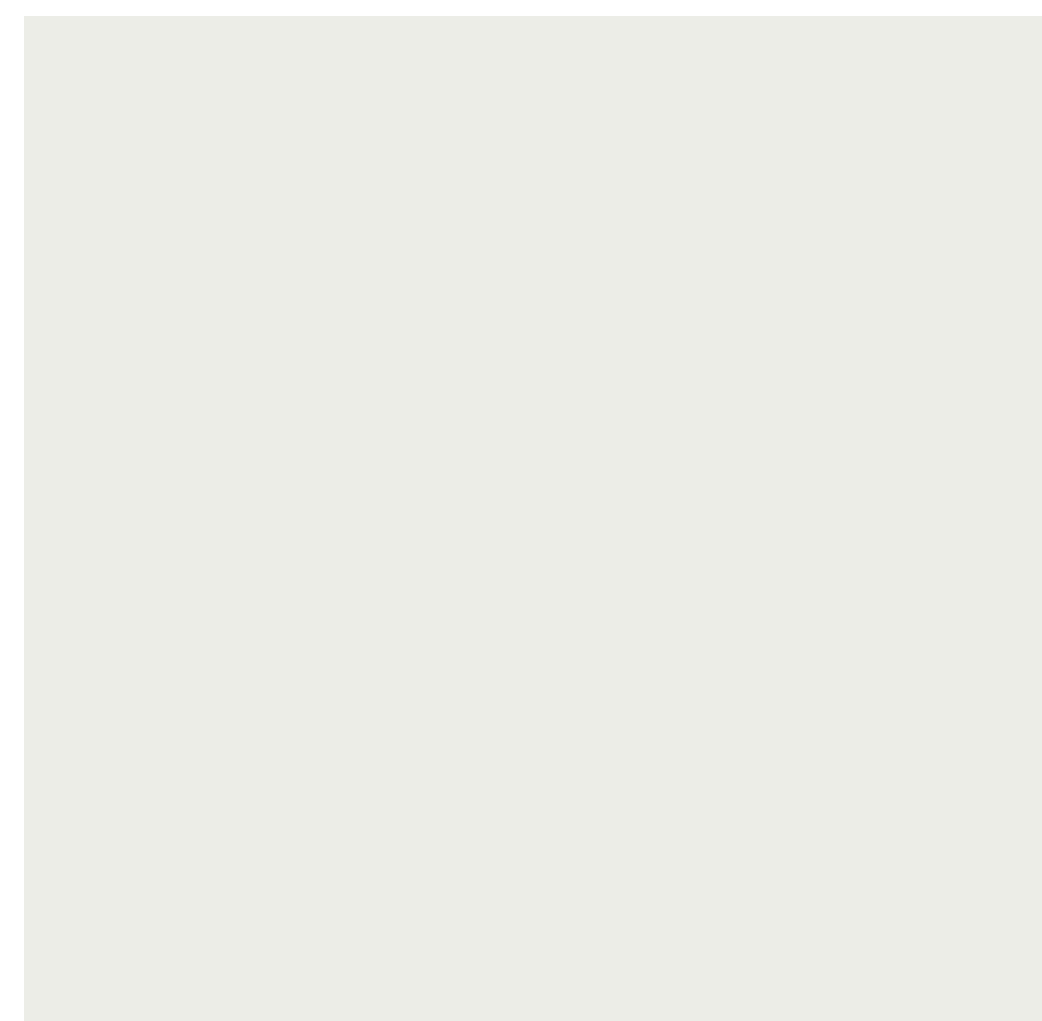
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ADDITION TO AND RENOVATION FOR:
REACH CHURCH
2725 MERLE HAY ROAD
DES MOINES, IOWA 50310

PROJECT #: 20-811
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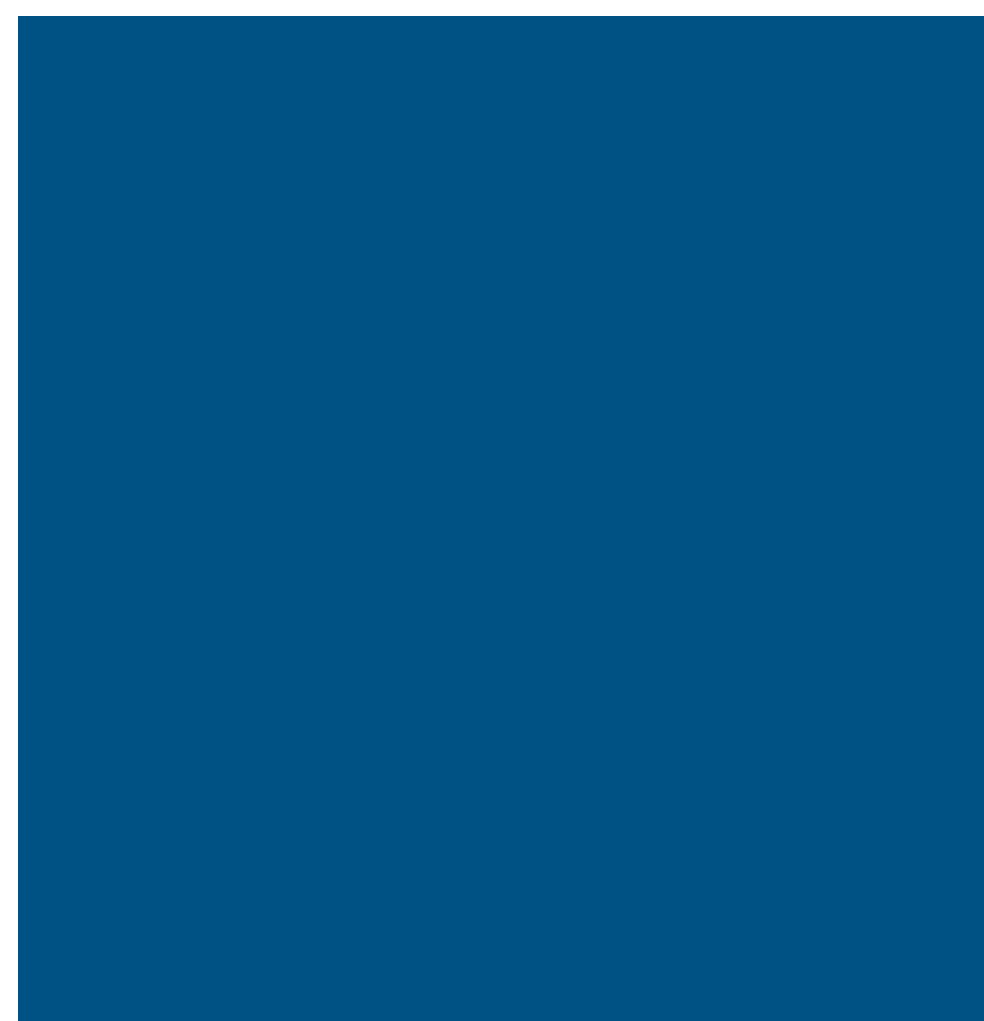
SHEET No.
A2.11
EXTERIOR PERSPECTIVES



EXISTING BRICK VENEER
SHERWIN WILLIAMS
COLOR P-1: SW 1005 PURE WHITE



EXISTING RIBBED FACED CMU, BRICK VENEER, STONE VENEER & T&G WOOD SIDING
SHERWIN WILLIAMS
COLOR P-2: SW 9565 FORGED STEEL



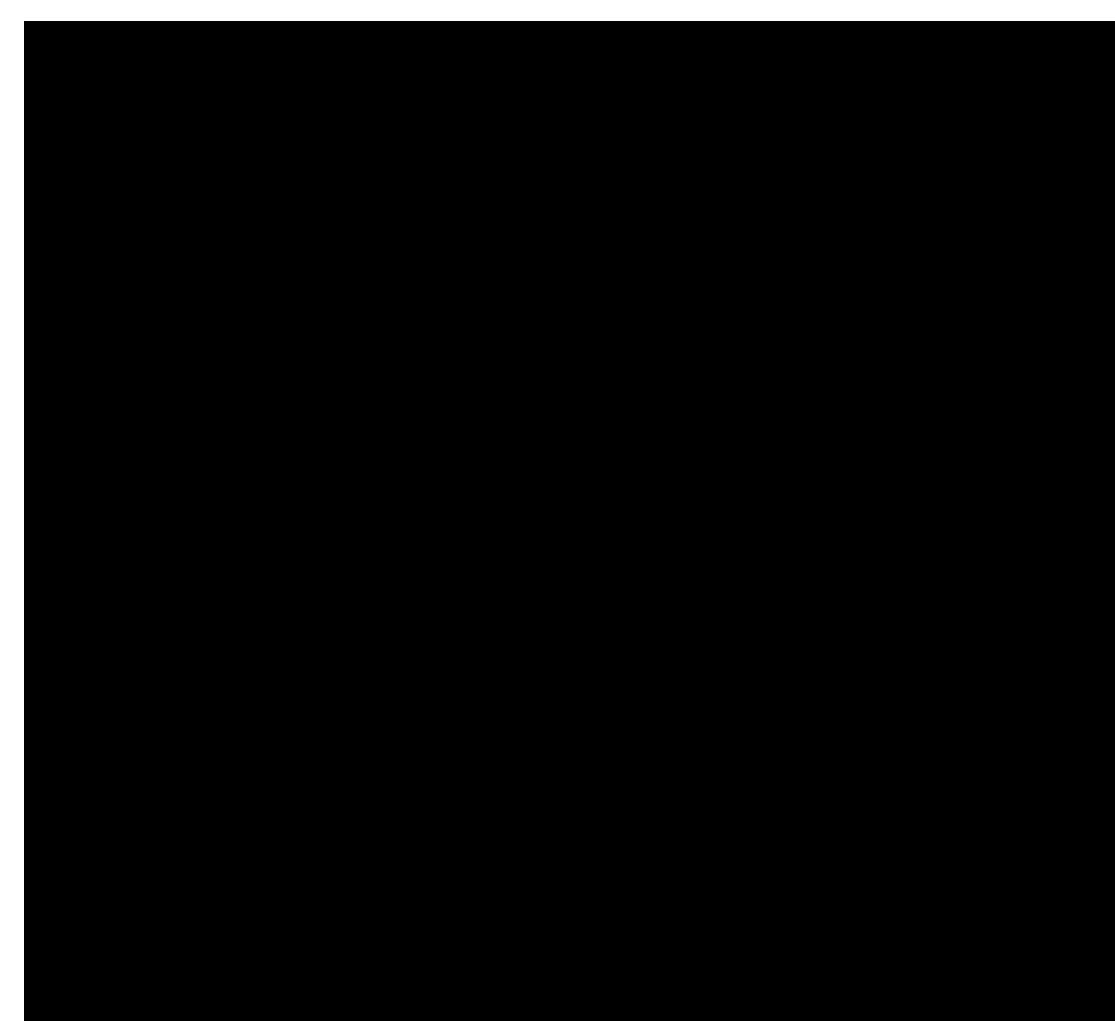
E.I.F.S. ACCENT
SHERWIN WILLIAMS
COLOR P-4: SW 6366 BLUE BLOOD



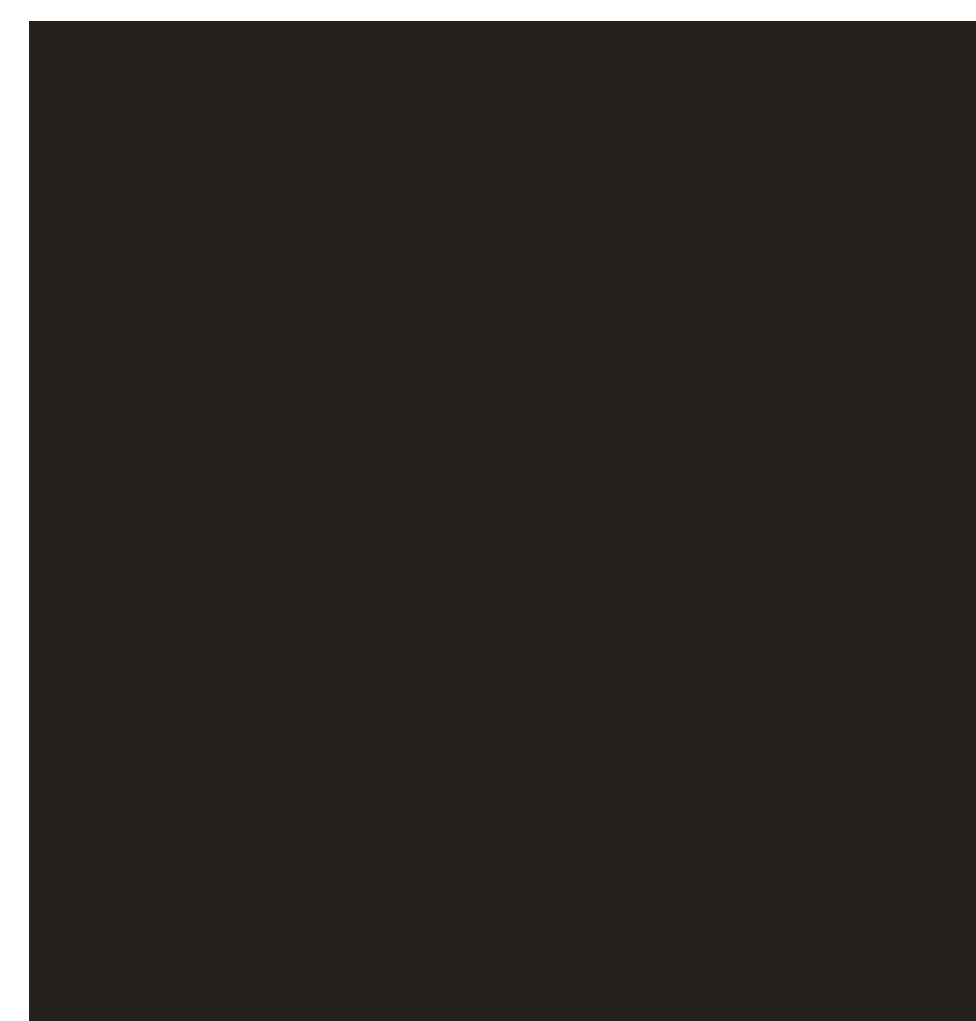
E.I.F.S.
SHERWIN WILLIAMS
COLOR P-3: SW 7668 MARCH WIND



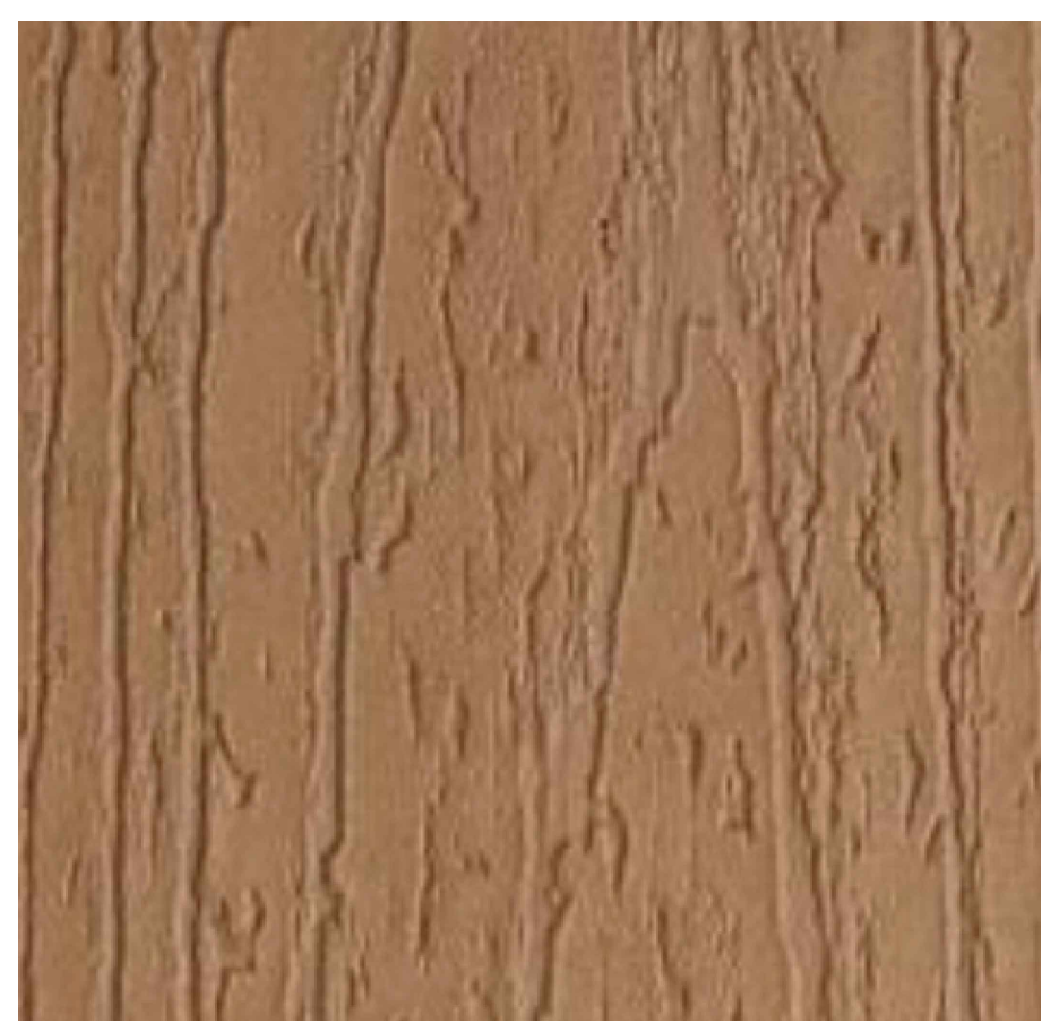
METAL COMPOSITE MATERIAL WALL PANELS
LONGBOARD PANELBOARD SIDING
COLOR: BLONDE OAK



P.F. ALUMINUM-FRAMED STOREFRONT & ENTRANCES
KAWNEER
COLOR: BLACK 729



P.F. METAL CANOPY
MAPES
COLOR: EXTRA DARK BRONZE



COMPOSITE WOOD TRASH ENCLOSURE
TREX
COLOR: ENHANCED BEACH DUNE



P.F. MTL. CAP FLSHG. SCUPPERS, D.S. & EXIST. WD. FASCIA & SOFFITS
BERRIDGE
COLOR: CHARCOAL

ADDITION TO AND RENOVATION FOR:
REACH CHURCH
2725 MERLE HAY ROAD
DES MOINES, IOWA 50310

PROJECT #: 20-811
ISSUE DATE: 5/23/22
DRAWN BY: BNA
CHECKED BY: SKP

REVISIONS:
7/20/22 - REV. PER CITY COM.
8/3/22 - REV. PER CITY COM.

SHEET No.

A2.12
EXTERIOR MATERIAL &
COLOR SELECTIONS