



DISCRETIONARY APPLICATION

For Public Display

Applicant:

Smeeke Drafting

Location:

1910 Tunbridge Tier Road, Interlaken

Proposal:

Dwelling and Outbuilding

DA Number:

DA 2022 / 00002

Date Advertised:

28 March 2022

Date Representation Period Closes:

11 April 2022

Responsible Officer:

Louisa Brown (Planning Officer)

Viewing Documents:

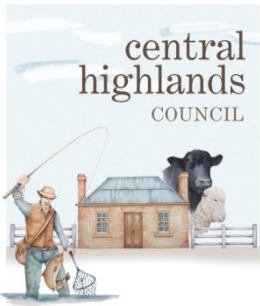
The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

development@centralhighlands.tas.gov.au



Development & Environmental Services
 19 Alexander Street
 BOTHWELL TAS 7030

Phone: (03) 6259 5503
 Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details: _____

Applicant Name

Postal Address Phone No:
 Fax No:

Email address

Owner/s Name
 (if not Applicant)

Postal Address Phone No:
 Fax No:

Email address:

Description of proposed use and/or development: _____

Address of new use and development:

Certificate of Title No: Volume No Lot No:

Description of proposed use or development:

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Current use of land and buildings:

Eg. Are there any existing buildings on this title? If yes, what is the main building used as?

Proposed Material: What are the proposed external wall colours What is the proposed roof colour

What is the proposed new floor area m². What is the estimated value of all the new work proposed:

<i>Is proposed development to be staged:</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Tick ✓
<i>Is the proposed development located on land previously used as a tip site?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Is the place on the Tasmanian Heritage Register?</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
<i>Have you sought advice from Heritage Tasmania?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Has a Certificate of Exemption been sought for these works?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

- The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
- In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
- I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature <div style="border: 1px solid black; padding: 5px; text-align: center;"><i>M.P. Walters</i></div> <small>(if not the Owner)</small>	Applicant Name <i>(Please print)</i> <div style="border: 1px solid black; padding: 5px; text-align: center;">Marcus Walters</div>	Date <div style="border: 1px solid black; padding: 5px; text-align: center;">24-12-2021</div>
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Land Owner(s) Signature <div style="border: 1px solid black; height: 20px;"></div>	Land Owners Name <i>(please print)</i> <div style="border: 1px solid black; height: 20px;"></div>	Date <div style="border: 1px solid black; height: 20px;"></div>
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Land Owner(s) Signature <div style="border: 1px solid black; height: 20px;"></div>	Land Owners Name <i>(please print)</i> <div style="border: 1px solid black; height: 20px;"></div>	Date <div style="border: 1px solid black; height: 20px;"></div>
---------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------

<p>Information</p> <p>If you provide an email address in this form then the Central Highlands Council (“the Council”) will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 (“the Act”).</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box</p>	<input type="checkbox"/>
<p>Heritage Tasmania</p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	
<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	



Department of Natural Resources and Environment Tasmania

GPO Box 1751, Hobart, TAS 7001 Australia
Ph (03) 6165 4678
www.parks.tas.gov.au



File Reference: 22/1050

Dear Nicole and David,

Access licence – 1910 Tunbridge Tier Road Interlaken – Approved

I am pleased to inform you, your application for an access licence to 1910 Tunbridge Tier Road, Interlaken has been approved by the Manager of Property Services on 8 March 2022.

The assessment of the application indicated there is Aboriginal heritage present within the reserved road and surrounding areas. Should you wish to upgrade the road you will need to contact Aboriginal Heritage Tasmania for advice.

The next steps are:

- Crown Law will post the invoice and the agreement to you for signing.
- Once the documents are signed, they are returned to Crown Law and then I can finalise the agreement.

Once finalised the access licence allows for:

- Construction or maintenance along the reserved road corridor to a standard that allows for access to the private property.

If you wish to upgrade or widen the existing track, only a minimal amount of vegetation should be removed and you should check with council whether they have any requirements, including as to whether there are any threatened species present.

Should you have any further queries about this matter, please contact me on 6165 4678 or alexandra.ford@nre.tas.gov.au

Yours sincerely
Alex Ford

Acting Senior Crown Land Officer
Property Services
Parks and Wildlife Service



Department of Natural Resources
and Environment Tasmania

GPO Box 1751, Hobart, TAS 7001 Australia
Ph 1300 TAS PARKS / 1300 827 727 Fax 03) 6223 8308
www.parks.tas.gov.au



Enquiries: Gerry Murrell
Phone: (03) 6165 3065
Email: propertyservices@parks.tas.gov.au
Our ref: 22/1274

18 February 2022

Smeeke Drafting
Attn: Marcus Walters
17 Bayfield Street
ROSNY PARK TAS 7018

E: marcus.walters@smeekesdrafting.com
nicoledruff@gmail.com

Dear Mr Walters,

**LODGEMENT OF PLANNING APPLICATION
NICOLE RUFF AND DAVID ACHESON
NEW DWELLING AND SHED
LOT 1, TUNBRIDGE ROAD, INTERLAKEN**

This letter, issued pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993* (LUPAA) is to confirm that the Crown consents to the making of the enclosed Planning Permit Application, insofar as the proposed development relates to Crown land managed by the Department Natural Resources and Environment Tasmania.

Crown consent is only given to the lodgement of this application. Any variation will require further consent from the Crown.

This letter does not constitute, nor imply, any approval to undertake works, or that any other approvals required under the *Crown Lands Act 1976* have been granted. If planning approval is given for the proposed development, the applicant will be required to obtain separate and distinct consent from the Crown before commencing any works on Crown land.

If you need more information regarding the above, please contact the officer nominated at the head of this correspondence.

Yours sincerely,

Tanya Simm
Acting Team Leader (Assessments)

Notice of Termination of Authority and Instrument of Delegation

DELEGATION OF THE DIRECTOR-GENERAL OF LANDS' FUNCTIONS UNDER THE LAND USE PLANNING AND APPROVALS ACT 1993

I, TIMOTHY WILLIAM BAKER, being and as the Director-General of Lands appointed under section 7 of the *Crown Lands Act 1976* ("the Act"), acting pursuant to section 23AA(5A) of the *Acts Interpretation Act*, hereby give notice that the authority of the holders of the offices of Deputy Secretary (Parks & Wildlife Service) (position number 700451), Manager - Crown Land Services (position number 707556), Team Leader - Crown Land Services (Unit Manager, Leases & Licences) (position number 340697) and Team Leader - Crown Land Services (Unit Manager, Policy & Projects) (position number 334958) to perform the functions conferred on the Director-General of Lands, as delegated on 20 December 2020 by Deidre Wilson, then Acting Director-General of Lands, is terminated with immediate effect.

Further, acting pursuant to section 52(1E) of the *Land Use Planning and Approvals Act 1993* ("the Act"), I hereby delegate the functions described (by reference to the relevant provision of the Act and generally) in Schedule I, to the persons respectively holding the offices of Deputy Secretary (Parks & Wildlife Service) (position number 700451), General Manager (Park Operations and Business Services) (position number 708581), Director (Operations) (position number 708050), Manager (Property Services) (position number 707556), Unit Manager (Operations) (position number 702124), and Team Leader (Assessments) (position number 334958) in accordance with the functions delegated to me by the Minister for Parks, being and as the Minister administering the *Crown Lands Act 1976*, by instrument dated 30 November 2021.

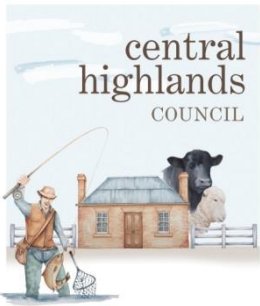
SCHEDULE I

Provision	Description of Functions
Section 52(1B)	Signing, and providing written permission for, applications for permits in relation to Crown land.

Dated at HOBART this 7th day of December 2021



.....
Tim Baker
DIRECTOR-GENERAL OF LANDS



Development & Environmental Services
 19 Alexander Street
 BOTHWELL TAS 7030

Phone: (03) 6259 5503
 Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

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Applicant Name

Postal Address Phone No:
 Fax No:

Email address

Owner/s Name
 (if not Applicant)

Postal Address Phone No:
 Fax No:

Email address:

Description of proposed use and/or development: [REDACTED]

Address of new use and development:

Certificate of Title No: Volume No Lot No:

Description of proposed use or development:

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

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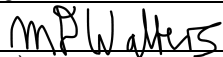
What is the proposed new floor area m². What is the estimated value of all the new work proposed:

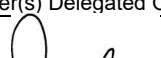
Is proposed development to be staged:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Tick ✓
Is the proposed development located on land previously used as a tip site?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
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- I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature"); **Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.**

Applicant Signature  (if not the Owner)	Applicant Name (Please print) Marcus Walters	Date 24-12-2021
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Land Owner(s) Delegated Officer Signature 	Land Owners Delegated Officer Name (please print) Jesse Walker The Crown In Right of Tasmania	Date 17/03/2022
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Land Owner(s) Signature	Land Owners Name (please print)	Date
<input type="text"/>	<input type="text"/>	<input type="text"/>

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<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	

Trim Reference: 62552

Permit #: 2172

21 July 2021

Forest Activity Permit

Subject to signing Schedule 1, this permit grants access to Permanent Timber Production Zone land on the following terms and conditions:

General Conditions

- This permit is valid from **02/08/2021 to 02/08/2024**;
- This permit allows for the **Access Licence** at locations specified in Schedule 2 of this permit ('Permit Locations');
- The person/s approved to undertake the activity which is the subject of this permit, are set out at Schedule 1 of this permit ('Permit Holders');
- The Permit Holders acknowledge and agree that their access and use of Permanent Timber Production Zone land is at their own risk, and they indemnify Sustainable Timber Tasmania from any liability for injury or damage arising out of their access and use of Permanent Timber Production Zone land under this permit;
- The Permit Holders must abide by any other direction, policy or guideline given to them by Sustainable Timber Tasmania relating to their access and use of Permanent Timber Production Zone land, including without limitation, those relating safety, fire prevention, and emergency procedures;
- Vehicle use is restricted to formed roads and tracks;
- Sustainable Timber Tasmania may revoke this permit at its discretion at any time upon notice to the Permit Holders;
- This permit does not authorise permission to enter private property;
- The Permit Holders must not approach, interfere or cause a nuisance to any active forest operation or other users of Permanent Timber Production Zone land, or collect within 1km of active operations;
- It is the responsibility of the Permit Holder to be aware of any fire hazards including wildfires and planned burns within the vicinity of the Permit Location(s). Wildfire information can be checked on the Tasmanian Fire Service website (www.fire.tas.gov.au). Information pertaining to planned burns can be checked on the Sustainable Timber Tasmania website (www.sttas.com.au/planned-burns);
- Permit Holders must be aware of eagle activity. Eagles displaying stress, such as being vocal (screeching) or flushing from the nest should be reported to Sustainable Timber Tasmania and all activity within 500 m of the nest ceased immediately;

- The Permit Holders must abide by the guidelines outlined in Unsupervised visitor safety and environment information;
- The Permit Holders should carry a copy of this letter while on Permanent Timber Production Zone land and produce it to a Forest Officer if requested.

Specific Conditions

- An Access Licence must be issued to obtain right of way over PTPZL
- If access is required over private property, it is up to the permit holder to negotiate this with the private landowner
- The permit holder must provide a copy of the FPP plan of the proposed new track section from 519150E,5338770N to 519140,5338620N to the Land Manager Regional Officer
- The FPP must be signed off by STT Forest Operations Manager (North East) as Landowner
- A gate can be erected (at the permit holder's expense) only at the boundary between PTPZL and Nicole Ruff property.
- The permit holder will not interfere with STT use of the road
- The permit holder is responsible of maintaining the road unless is damaged by STT carting operations
- Annual fees for this access are \$250 + GST per annum payable to STT
- Access Licence application fee is \$267.30 + GST payable to STT
- Forest Activity Assessment fee is \$750 + GST payable to STT
- A document preparation fee is \$200+GST
- The Road Access covers from 519140E,5338620N to 519665E,5338282N

To signify your agreement to the terms of this permit, please sign Schedule 1 where indicated alongside your name. By doing so you agree to be legally bound by the terms and conditions of this permit set out above. Please note that costs of up to \$1500, sometimes more, are incurred in preparing a Forest Activity Assessment. This cost is recovered from commercial businesses, but in the case of non-profit groups the fee is waived with the understanding that Sustainable Timber Tasmania is given sponsor-status in any communications and publicity about your activity.

Should you have any questions regarding this permit, or wish to discuss changes to the permit, please contact Ariana Iaconis Ariana.iaconis@sttas.com.au or 0427 398 198





Type text here

Stephen Rymer
Forest Manager (North)

SCHEDULE 1 Permit Holders

The person/s which are authorised by this permit are set out below. Please sign next to your name to show your acceptance of the terms and conditions of this permit.

	FULL NAME	ADDRESS	SIGNATURE	DATE
1.	Nicole Ruff	30 Brady Street, Midway Point, Tasmania 7171		09 August 2021
2.	David Acheson	30 Brady Street, Midway Point, Tasmania 7171		09 August 2021
3.				
4.				

SCHEDULE 2 Permit Location(s)

The locations authorised by this permit are defined below:

	LOCATION
1.	519140E;5338620N to 519665E;5338282N
2.	
3.	
4.	



CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO	
168930		1	
EDITION	DATE OF ISSUE		
2	13-Aug-2020		
Page 1		of 1	

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of ANSTEY Land District of SOMERSET
Lot 1 on Plan 168930
Derivation : Whole of 470A-OR-0P, (1000A-0A-0P) and Lot 1503
(640A-OR-0P) Granted George Carr Clarke, Whole of
(1000A-OR-0P) and Part of (840A-OR-0P) Granted to John Franks
Prior CT 149692/1

SCHEDULE 1

M834230 TRANSFER to NICOLE DAGMAR RUFF and DAVID CHARLES
ACHESON Registered 13-Aug-2020 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SEARCH OF TORRENS TITLE

VOLUME 168930	FOLIO 1
EDITION 1	DATE OF ISSUE 07-Jan-2015

SEARCH DATE : 07-Jul-2020

SEARCH TIME : 04.56 PM

DESCRIPTION OF LAND

Parish of ANSTEY Land District of SOMERSET

Lot 1 on Plan 168930

Derivation : Whole of 470A-0R-0P, (1000A-0A-0P) and Lot 1503 (640A-0R-0P) Granted George Carr Clarke, Whole of (1000A-0R-0P) and Part of (840A-0R-0P) Granted to John Franks Prior CT 149692/1

SCHEDULE 1

D126255 & D144171 P P WOODLAND COMPANY PTY LTD Registered 07-Jan-2015 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
D120616 PRIVATE TIMBER RESERVE pursuant to Section 15(1) of the Forest Practices Act 1985 (affecting part of the said land within described as shown hatched on the plan annexed thereto Registered 13-Oct-2015 at noon

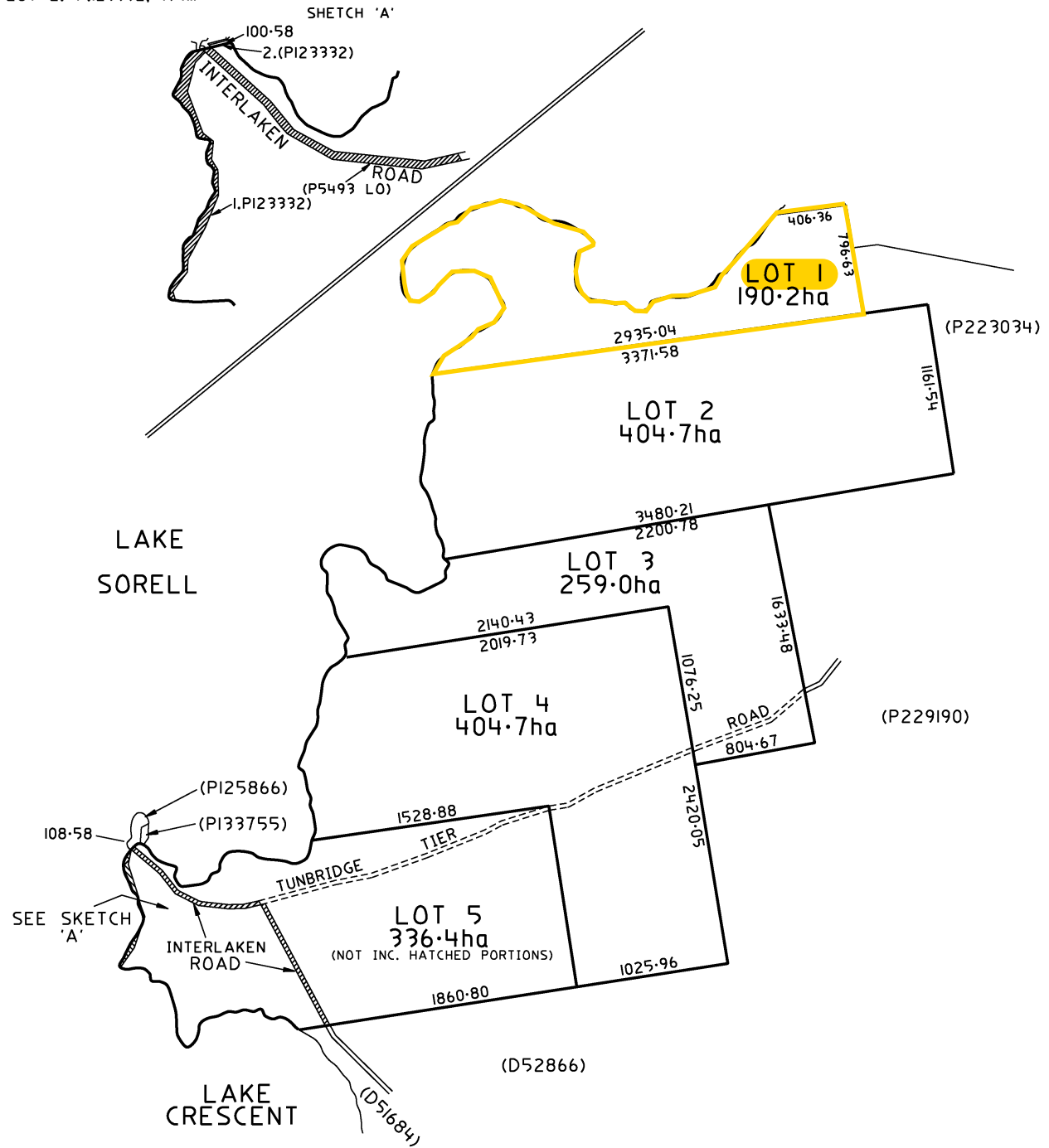
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER FOLIO REFERENCE CT 149692/1		PLAN OF TITLE LOCATION SOMERSET-ANSTEY		Registered Number P.168930
GRANTEE WHOLE OF (470A OR OP), (1000A OR OP) AND LOT 1503 (640A OR OP) GTD. TO GEORGE CARR CLARKE. WHOLE OF (1000A OR OP) AND PART OF (840A OR OP) GTD. TO JOHN FRANKS.		2/602 LO CONVERTED BY PLAN No.2/908 LO 2/596 LO COMPILED BY LTO NOT TO SCALE LENGTHS IN METRES		APPROVED 15 DEC 2014 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 105 (5033)	LAST UPI No	LAST PLAN No. P149692	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

SKETCH BY WAY OF ILLUSTRATION ONLY
"EXCEPTED LANDS"

P.5493 LO, NOTN 55/6324, 3.128ha
LOT 1, P.123332, 1.417ha
LOT 2, P.123332, 194m²



TASMANIAN LAND TITLES OFFICE

Blank Instrument Form Land Titles Act 1980





D120616

DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
168930	1	168930	18
168930	2	169707	5
168930	3		
168930	4		

1. Land affected: Part of the land as shown hatched on the plan annexed hereto and comprised in the abovementioned Folio/s of the register.

2. Name of Registered Proprietor: PP WOODLAND COMPANY PTY LTD

3. Date and page of gazette notice (attached): dated 30th September, 2015, Page 1422

4. This is a notification of a Private Timber Reserve, made pursuant to Section 15 (1) of the Forest Practices Act 1985.

Dated this _____ day of _____ 2015

Signed on behalf of Private Forests)
Tasmania in the presence:)

D Hall
.....
(Officer)

[Signature]
.....
(Witness)

Land Titles Office Use Only

13 OCT 2015

Alice Kawa

RECORDER OF TITLES

Version 1

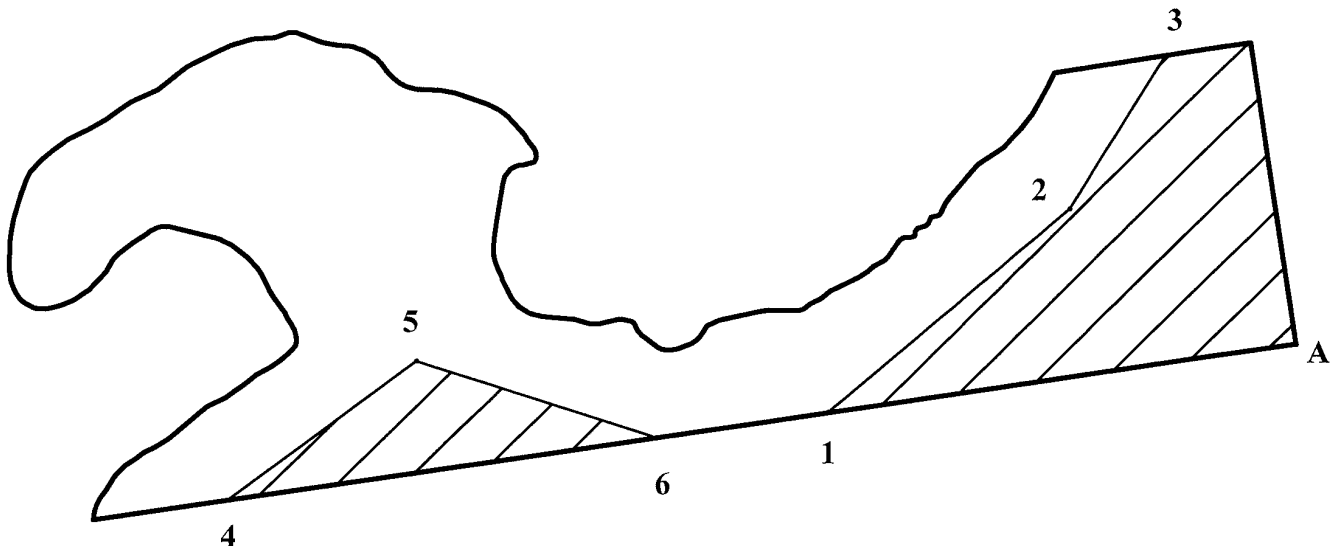
THE BACK OF THIS FORM MUST NOT BE USED

Stamp Duty

PRIVATE TIMBER RESERVE

Part title description

Label	PTR Internal Angle (degrees)	Distance (metres)
A to Point 1	Along title boundary	1152
A to Point 6	Along title boundary	1574
Point 1 to Point 2	31	770
Point 2 to Point 3	199	To title boundary
Point 4 to Point 5	28	570
A to Point 4	Along title boundary	2 617



Scale 1:17 500
Approximate

Title Reference Volume 168930 Folio 1

Title area depicted by thick black line. PTR area hatched only.

The Private Timber Reserve does not include roads and railways excluded from the title.

This diagram was prepared by Rob Smith an Officer with Private Forests Tasmania (PFT), for the purposes of the Forest Practices Act 1985 to depict a Private Timber Reserve.

Signature of PFT Officer

Date

23-3-15

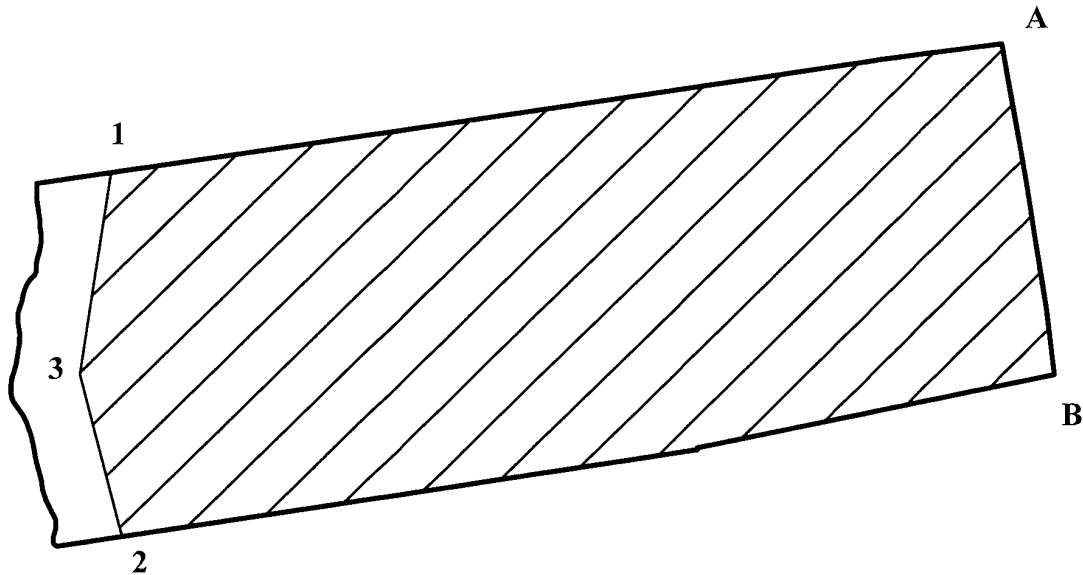
THE BACK OF THIS PAGE MUST NOT BE USED

atell

PRIVATE TIMBER RESERVE

Part title description

Label	PTR Internal Angle (degrees)	Distance (metres)
A to Point 1	Along title boundary	3121
B to Point 2	Along title boundary	3277
Point 2 to Point 3	95	584



Scale 1:25 000
Approximate

Title Reference Volume 168930 Folio 2

Title area depicted by thick black line. PTR area hatched only.

The Private Timber Reserve does not include roads and railways excluded from the title.

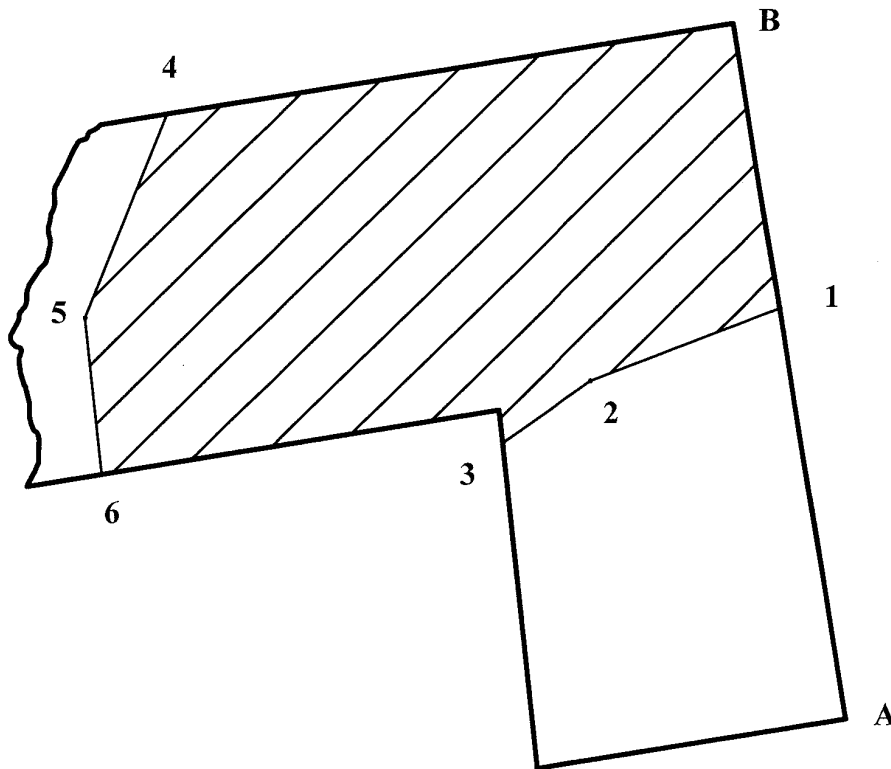
This diagram was prepared by Rob Smith an Officer with Private Forests Tasmania (PFT),
for the purposes of the Forest Practices Act 1985 to depict a Private Timber Reserve.

Signature of PFT Officer *R. Smith* Date 23-3-15

PRIVATE TIMBER RESERVE

Part title description

Label	PTR Internal Angle (degrees)	Distance (metres)
A to Point 1	Along title boundary	1450
B to Point 4	Along title boundary	1998
Point 1 to Point 2	101	705
Point 2 to Point 3	194	To title boundary
Point 4 to Point 5	120	763
Point 5 to Point 6	152	To title boundary



Scale 1:25 000
Approximate

Title Reference Volume 168930 Folio 4

Title area depicted by thick black line. PTR area hatched only.
The Private Timber Reserve does not include roads and railways excluded from the title.

This diagram was prepared by Rob Smith an Officer with Private Forests Tasmania (PFT),
for the purposes of the Forest Practices Act 1985 to depict a Private Timber Reserve.

Signature of PFT Officer *R. Smith* Date 23-3-15

THE BACK OF THIS PAGE MUST NOT BE USED

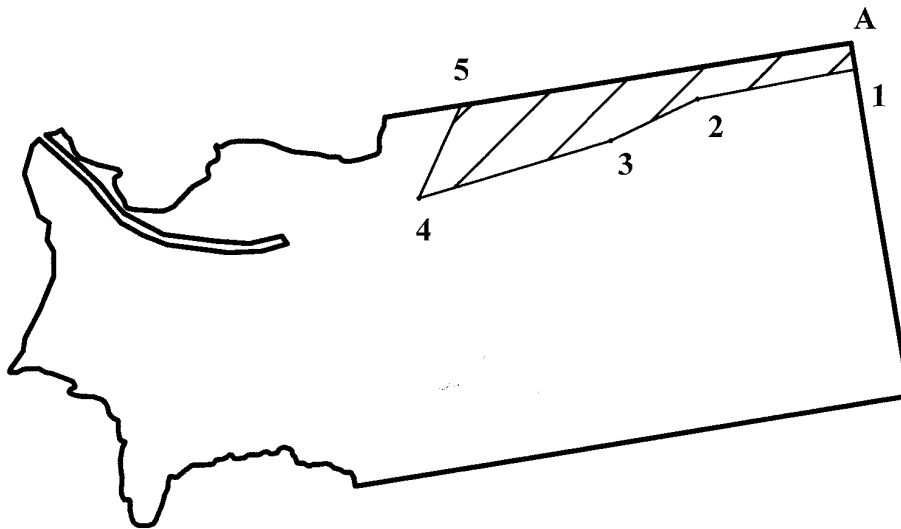
Attch

PRIVATE TIMBER RESERVE

169707/5

Part title description

Label	PTR Internal Angle (degrees)	Distance (metres)
A to Point 1	Along title boundary	94
Point 1 to Point 2	92	560
Point 2 to Point 3	195	336
Point 3 to Point 4	171	696
Point 4 to Point 5	49	To title boundary



Scale 1:25 000
Approximate

169707

Title Reference Volume ~~168930~~ Folio 5

Title area depicted by thick black line. PTR area hatched only.

The Private Timber Reserve does not include roads and railways excluded from the title.

This diagram was prepared by Rob Smith an Officer with Private Forests Tasmania (PFT), for the purposes of the Forest Practices Act 1985 to depict a Private Timber Reserve.

Signature of PFT Officer *R. Smith* Date 27-3-15

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1422

TASMANIAN GOVERNMENT GAZETTE

30 SEPTEMBER 2015

Forest Practices

Forest Practices Authority
24th August, 2015

FOREST PRACTICES ACT 1985

NOTIFICATION

IN ACCORDANCE with the provision of Section 11 of the *Forest Practices Act 1985*, and on the recommendation of the Forest Practices Authority, Her Excellency, the Governor-in-Council has declared part of each of the lands listed in the following schedule to be Private Timber Reserves.

SCHEDULE

PRIVATE TIMBER RESERVE

PART TITLE

Application No.	Owner	Land Title Reference	Location	Municipal Area
2212	Flowers, CR	C/T Vol 238259 Fol 1 C/T Vol 238260 Fol 1	Mayberry	Meander Valley Council
2210	PP Woodland Company Pty Ltd	C/T Vol 168930 Fol 1 C/T Vol 168930 Fol 2 C/T Vol 168930 Fol 3 C/T Vol 168930 Fol 4 C/T Vol 168930 Fol 5	Interlaken	Central Highlands Council

Given under my hand at Hobart in Tasmania on 24th August, 2015.

By Her Excellency's Command

C. WARNER, Governor.

PAUL HARRISS, Minister for Resources.

Forest Practices Authority
24th August, 2015

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SCHEDULE

PRIVATE TIMBER RESERVE

WHOLE TITLE

Application No.	Owner	Land Title Reference	Location	Municipal Area
2211	PP Woodland Company Pty Ltd	C/T Vol 241819 Fol 1	Arthurs Lake	Central Highlands Council

Given under my hand at Hobart in Tasmania on 24th August, 2015.

By Her Excellency's Command

C. WARNER, Governor.

PAUL HARRISS, Minister for Resources.

NOTE:- Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Version 1

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Handwritten initials

PIN OR STAPLE HERE
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FORM TO THE INSTRUMENT

ANNEXURE PAGE

PAGE 7 OF 7 PAGES
Vol. 168930 Fol. 1

1422

TASMANIAN GOVERNMENT GAZETTE

30 SEPTEMBER 2015

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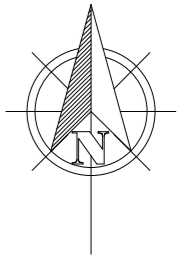
GENERAL NOTES:

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SMEEKES DRAFTING PTY LTD STANDARD BUILDING NOTES, SHEETS STANDARD-001 TO 014.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
- BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET-OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.
- TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1684.2 "TIMBER FRAMED CONSTRUCTION". T.P. DECK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLICATION FROM THE TIMBER PROMOTION COUNCIL "TIMBER DECKS - DESIGN AND CONSTRUCTION MANUAL".
- FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2870 "RESIDENTIAL SLABS AND FOOTINGS".
- PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH AS 3500.2 AND AS 3500.3 "THE NATIONAL PLUMBING AND DRAINAGE CODE". FIT ADJUSTABLE TEMPERING VALVES TO ALL ABLUTIONS IN ACCORDANCE WITH AS 1529 "CODE OF PRACTICE OF HOUSEHOLD TYPE HOT WATER SUPPLY SYSTEMS".
- WATER PROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3740 "WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS".
- ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000 "WIRING RULES". SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH TASMANIAN FIRE SERVICE AND AS 3786 "SMOKE ALARMS".
- GLAZING SHALL BE IN ACCORDANCE WITH AS 1288 "GLASS IN BUILDINGS - SELECTION AND INSTALLATION", WINDOWS TO COMPLY WITH AS 2047 "WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION".
- MIN. R5.1 INSULATION TO CEILING. MIN. R2.5 INSULATION TO ALL EXTERNAL WALLS.
- ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES".

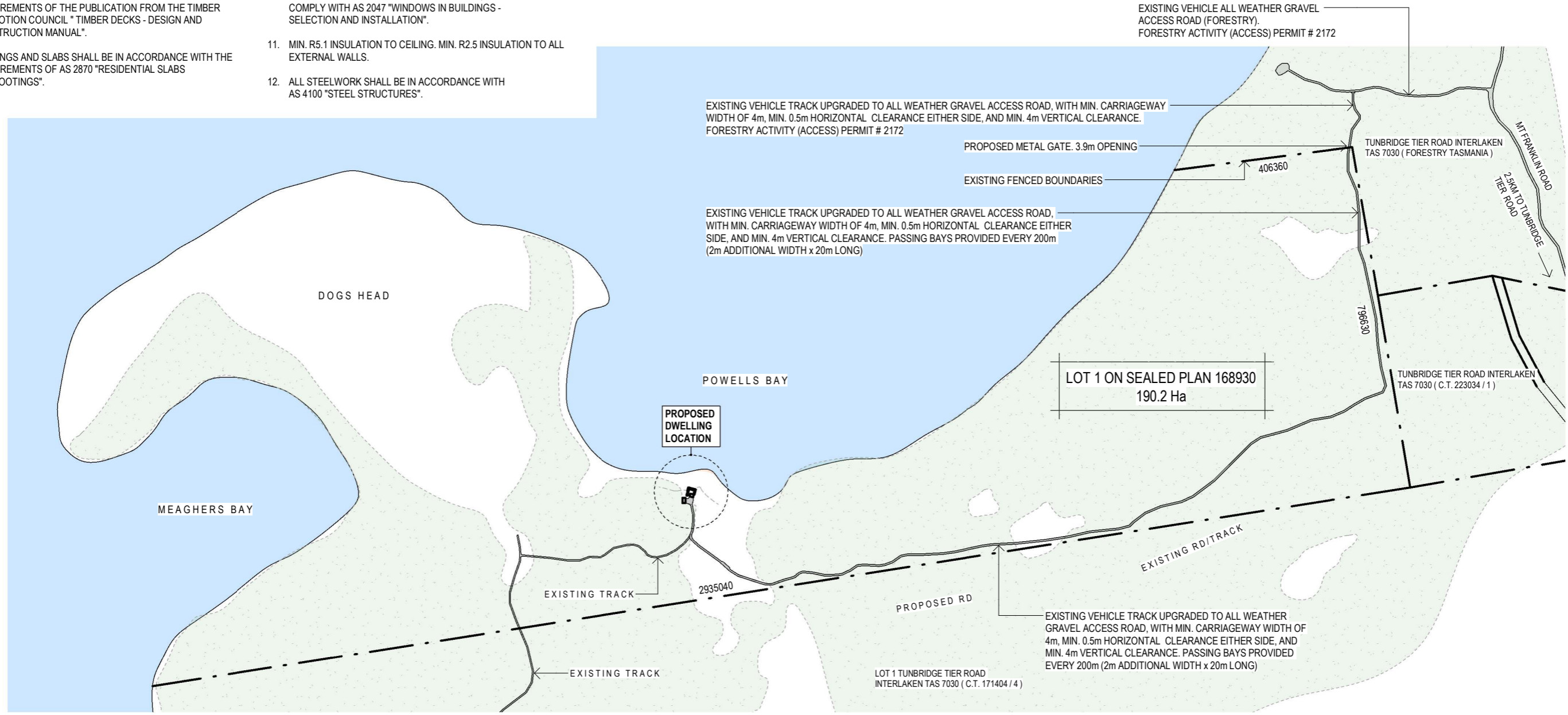
SITE DATA:

LAND TITLE REF. No. : LOT 1 ON SEALED PLAN 168930
 CLIMATE ZONE : ZONE 8
 DESIGN WIND SPEED : 'N3'
 SOIL CLASSIFICATION : CLASS 'M'
 BAL RATING : BAL-12.5

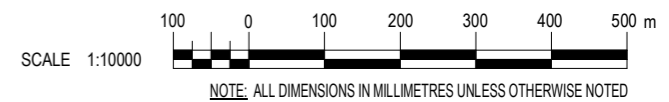
BUSHFIRE HAZARD SITE ASSESSMENT COMPLETED BY MARCUS WALTERS (BFP-155) FOR PREPARATION OF BHMP REPORT FOR BUILDING APPROVAL



C
B
A



SITE PLAN
SCALE 1 : 10000 @ A3

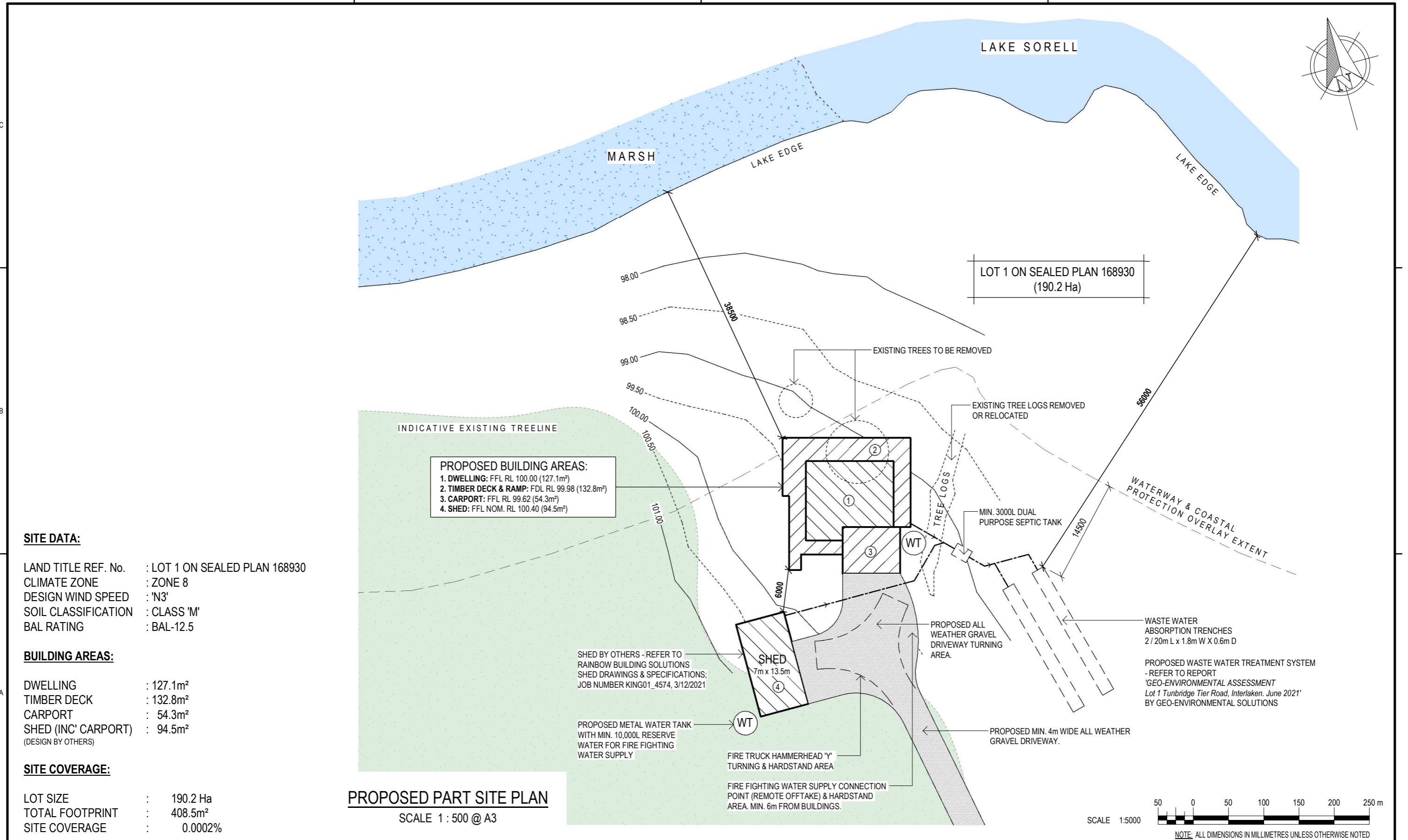


REV.	DESCRIPTION	REFERENCE	DESIGNED	M. WALTERS	CLIENT	NICOLE RUFF		
0	ISSUED FOR CLIENT FOR REVIEW. 23-12-2021	SITE PLAN RUFF-001 PROPOSED ORTHOGRAPHIC VIEWS RUFF-009	DRAWN	L. RAGUS	TITLE	PROPOSED DWELLING		
1	ISSUED FOR COUNCIL FOR PLANNING APPROVAL. 24-12-2021	SOIL & WATER MANAGEMENT PLAN RUFF-003	CHECKED	M. WALTERS	LOT 1 TUNBRIDGE TIER ROAD, INTERLAKEN, TAS. 7030			
		VEGETATION MANAGEMENT PLAN RUFF-004			SITE PLAN			
		PROPOSED GROUND FLOOR PLAN RUFF-005			DRG No.	RUFF	SHT. 001	SCALE 1:10000
		PROPOSED MEZZANINE FLOOR PLAN RUFF-006						A3
		PROPOSED ELEVATIONS 1 OF 2 RUFF-007						
		PROPOSED ELEVATIONS 2 OF 2 RUFF-008						

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 17 Bayfield Street, Rosny Park, TAS 7018
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 Email: admin@smeekesdrafting.com
 Website: www.smeekesdrafting.com

bdca
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

SD
 Building Designer Licence Nos. 723026951, 861284073 & CC6621



SITE DATA:

LAND TITLE REF. No. : LOT 1 ON SEALED PLAN 168930
 CLIMATE ZONE : ZONE 8
 DESIGN WIND SPEED : 'N3'
 SOIL CLASSIFICATION : CLASS 'M'
 BAL RATING : BAL-12.5

BUILDING AREAS:

DWELLING : 127.1m²
 TIMBER DECK : 132.8m²
 CARPORT : 54.3m²
 SHED (INC' CARPORT) : 94.5m²
 (DESIGN BY OTHERS)

SITE COVERAGE:

LOT SIZE : 190.2 Ha
 TOTAL FOOTPRINT : 408.5m²
 SITE COVERAGE : 0.0002%

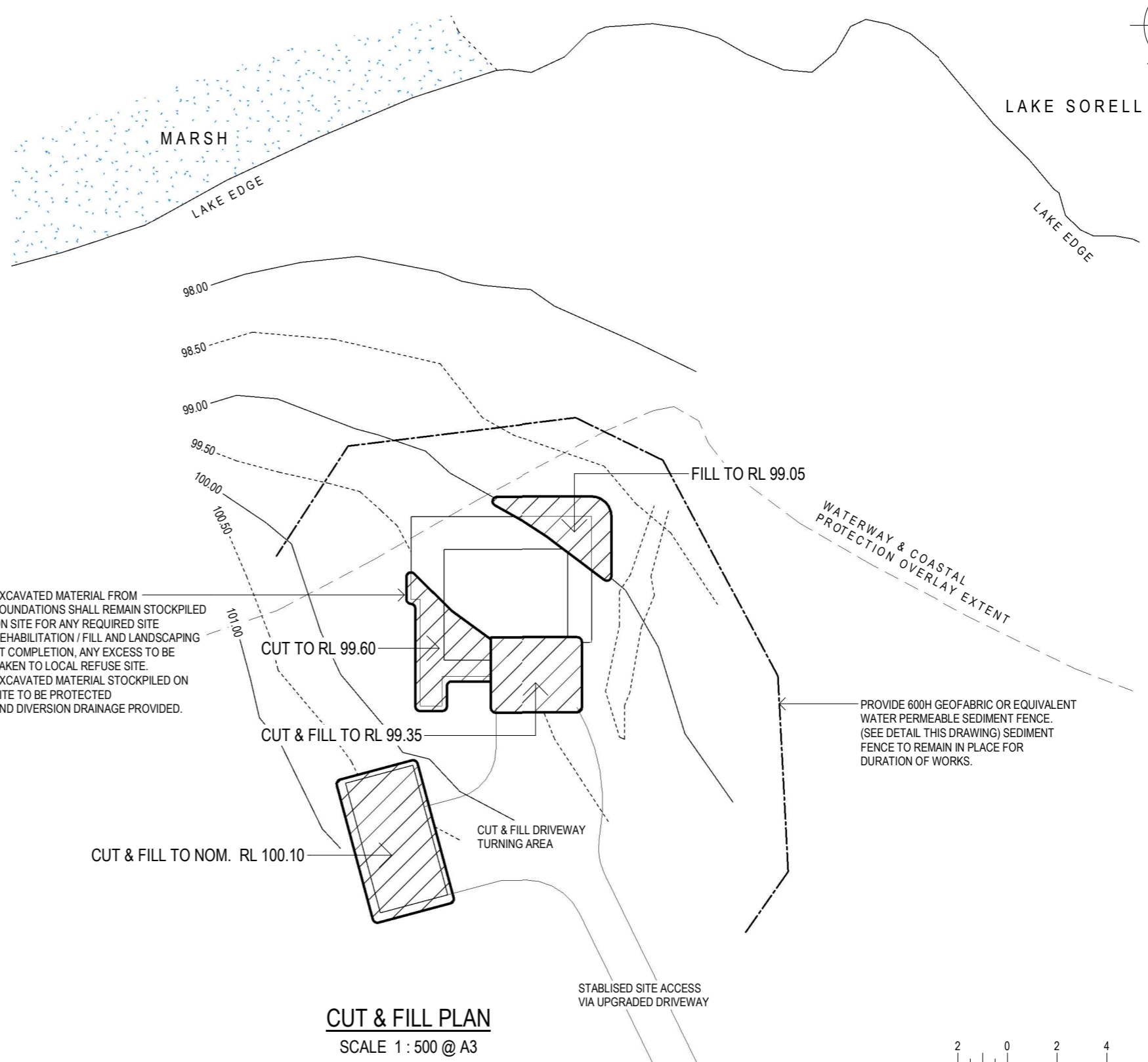
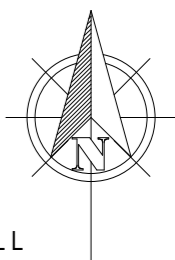
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		VEGETATION MANAGEMENT PLAN RUFF-004			PROPOSED PART SITE PLAN					
		PROPOSED GROUND FLOOR PLAN RUFF-005			DRG	RUFF	SHT.	002	SCALE	A3
		PROPOSED MEZZANINE FLOOR PLAN RUFF-006			No.				1 : 500	
		PROPOSED ELEVATIONS 1 OF 2 RUFF-007								
		PROPOSED ELEVATIONS 2 OF 2 RUFF-008								

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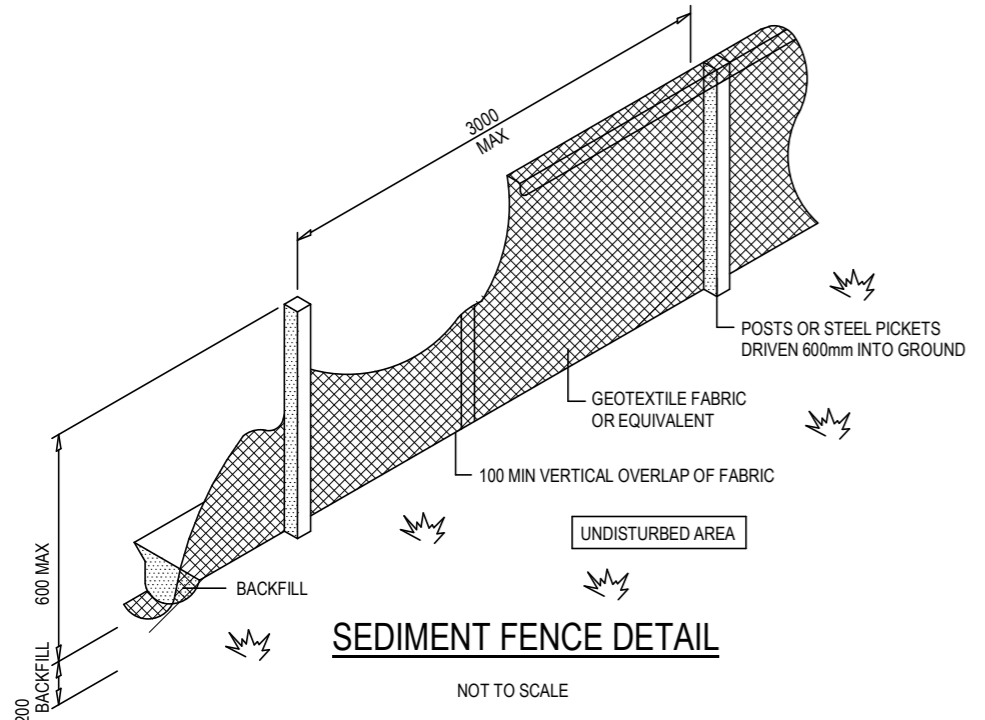
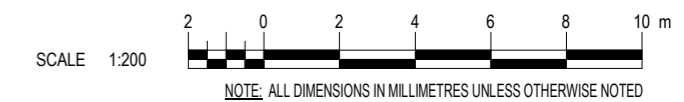
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CUT & FILL PLAN
SCALE 1 : 500 @ A3



SEDIMENT FENCE DETAIL
NOT TO SCALE

NOTES:

1. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
2. SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
3. PROVIDE TEMPORARY CONNECTION FROM DOWNPIPES TO STORMWATER DRAIN IMMEDIATELY FOLLOWING COMPLETION OF ROOF CLADDING, FASCIA AND GUTTER INSTALLATION. PERMANENT DOWNPIPE CONNECTION TO BE INSTALLED AT APPROPRIATE TIME OF DWELLING CONSTRUCTION.

PROTECTION WORKS NOTES:

1. THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.

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		VEGETATION MANAGEMENT PLAN RUFF-003			SOIL & WATER MANAGEMENT PLAN				
		PROPOSED GROUND FLOOR PLAN RUFF-004			DRG No.	RUFF	SHT. No.	003	SCALE 1:500
		PROPOSED MEZZANINE FLOOR PLAN RUFF-005							A3
		PROPOSED ELEVATIONS 1 OF 2 RUFF-006							
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		RUFF-008							

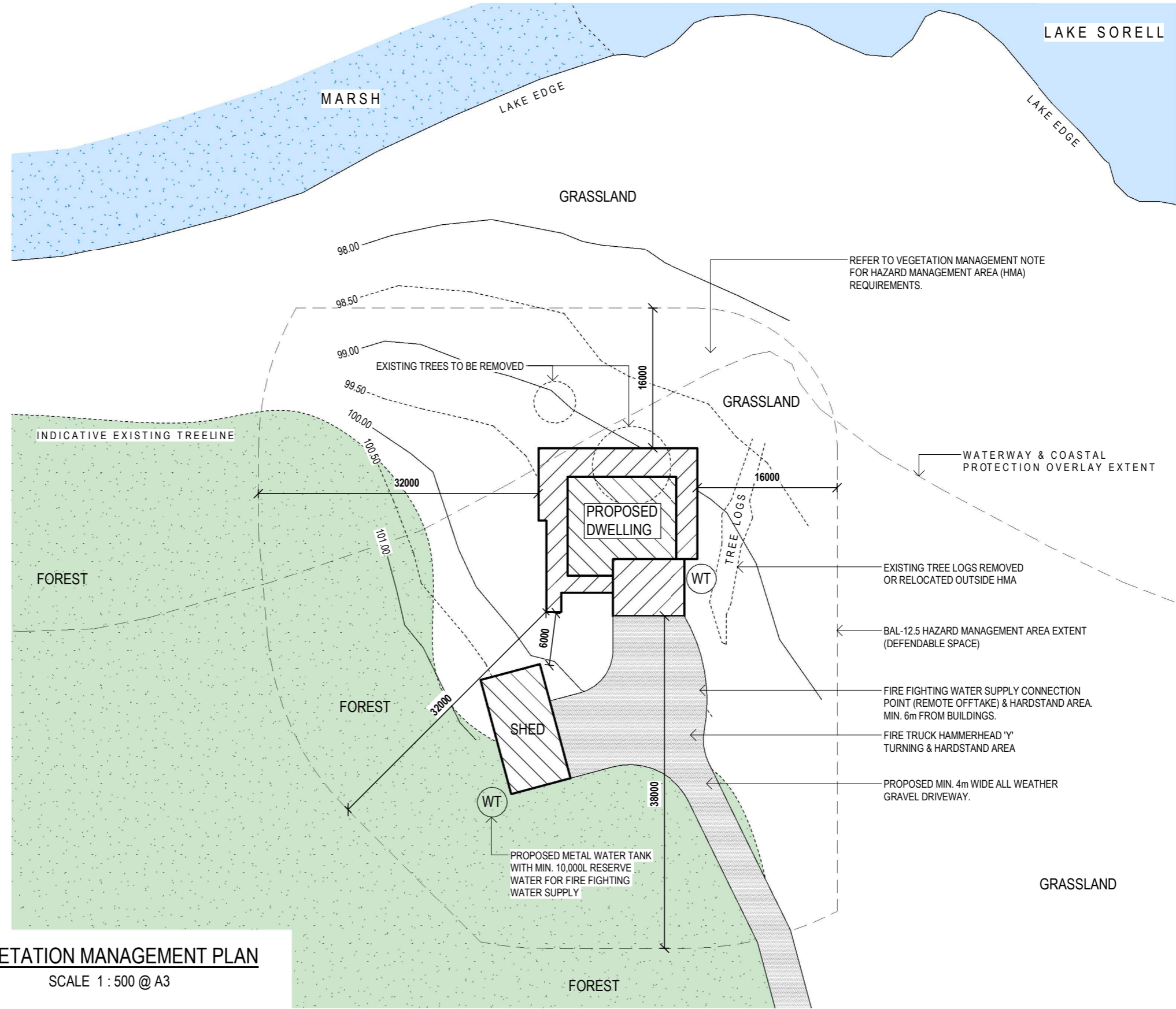
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VEGETATION MANAGEMENT NOTE:

EXTENT OF MODIFICATION TO VEGETATION FOR REQUIRED BUSHFIRE HAZARD MANAGEMENT AREA (BAL-12.5) AROUND THE PROPOSED DWELLING TO PROVIDE A DEFENDABLE SPACE.


- EXISTING GROUND COVER WITHIN THE HMA, CONSISTING MOSTLY OF NATIVE GRASSES, TO BE RETAINED AND MAINTAINED TO NO MORE THAN 100mm HIGH TO PROVIDE FOR LOW FUEL LOADS. REMOVE AND MINIMISE ALL GROUND LITTER (FALLEN LIMBS, STICKS, BARK, LEAVES).
- EXISTING MIDDLE GROWTH OF SHRUBS WITHIN THE HMA MODIFIED TO PROVIDE SEPARATION BETWEEN SMALL CLUMPS OF SHRUBS (3 - 4) AND NO MIDDLE GROWTH TO BE LOCATED UNDER TREES. SMALL SHRUBS WITHIN 3m THE DWELLING & LARGE SHRUBS WITHIN 6m OF THE DWELLING TO BE REMOVED.
- EXISTING TREES WITHIN THE HMA TO BE MAINTAINED BUT THINNED WHERE REQUIRED TO PROVIDE MIN. 6m CANOPY SEPARATION BETWEEN EACH TREE AND TO BE NO CLOSER THAN 6m TO THE DWELLING (FROM TREE CANOPY) OR NOT BE ABLE TO FALL ONTO THE BUILDING. PRUNE ALL BRANCHES LESS THAN 2m ABOVE GROUND.
- - THESE VEGETATION MODIFICATIONS ARE IN ACCORDANCE WITH FUTURE BHMP REQUIRED FOR BUILDING APPROVAL.



VEGETATION MANAGEMENT PLAN

SCALE 1 : 500 @ A3

REV.	DESCRIPTION	REFERENCE	DESIGNED	Designer	CLIENT
	SITE PLAN	RUFF-001	PROPOSED ORTHOGRAPHIC VIEWS	RUFF-009	NICOLE RUFF
	PROPOSED PART SITE PLAN	RUFF-002			TITLE
	SOIL & WATER MANAGEMENT PLAN	RUFF-003			PROPOSED DWELLING
	VEGETATION MANAGEMENT PLAN	RUFF-004			LOT 1 TUNBRIDGE TIER ROAD, INTERLAKEN, TAS. 7030
	PROPOSED GROUND FLOOR PLAN	RUFF-005			VEGETATION MANAGEMENT PLAN
	PROPOSED MEZZANINE FLOOR PLAN	RUFF-006			DRG No. RUFF
	PROPOSED ELEVATIONS 1 OF 2	RUFF-007			SHT. 004
	PROPOSED ELEVATIONS 2 OF 2	RUFF-008			SCALE 1:500
					A3


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 Email: admin@smeekesdrafting.com
 Website: www.smeekesdrafting.com
 Building Designer Licence Nos. 723026951, 861284073 & CC6621

CLIENT: NICOLE RUFF
 TITLE: PROPOSED DWELLING
 LOT 1 TUNBRIDGE TIER ROAD, INTERLAKEN, TAS. 7030
 VEGETATION MANAGEMENT PLAN
 DRG No. RUFF
 SH. 004
 SCALE 1:500
 A3

STAIRS / HANDRAIL NOTES:

- CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.9.1
- TREADS MUST HAVE A SLIP-RESISTANT FINISH OF A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.
- RISER AND GOING DIMENSIONS IN ACCORDANCE WITH BCA PART 3.9.1.4.
 RISER (R) MAX. 190 - MIN. 115
 GOING (G) MAX. 355 - MIN. 240
 SLOPE RELATIONSHIP
 2R + G MAX. 700 - MIN. 550
- INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.

FLOOR FINISHES LEGEND:

- C - CARPET
- CT - CERAMIC TILES
- NC - NATURAL CONCRETE
- TFB - TIMBER FLOOR BOARDS
- PC - POLISHED CONCRETE
- V - VINYL

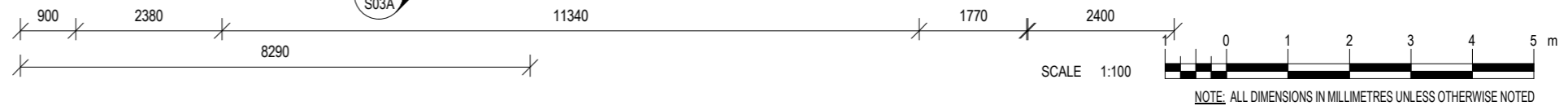
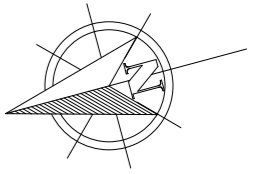
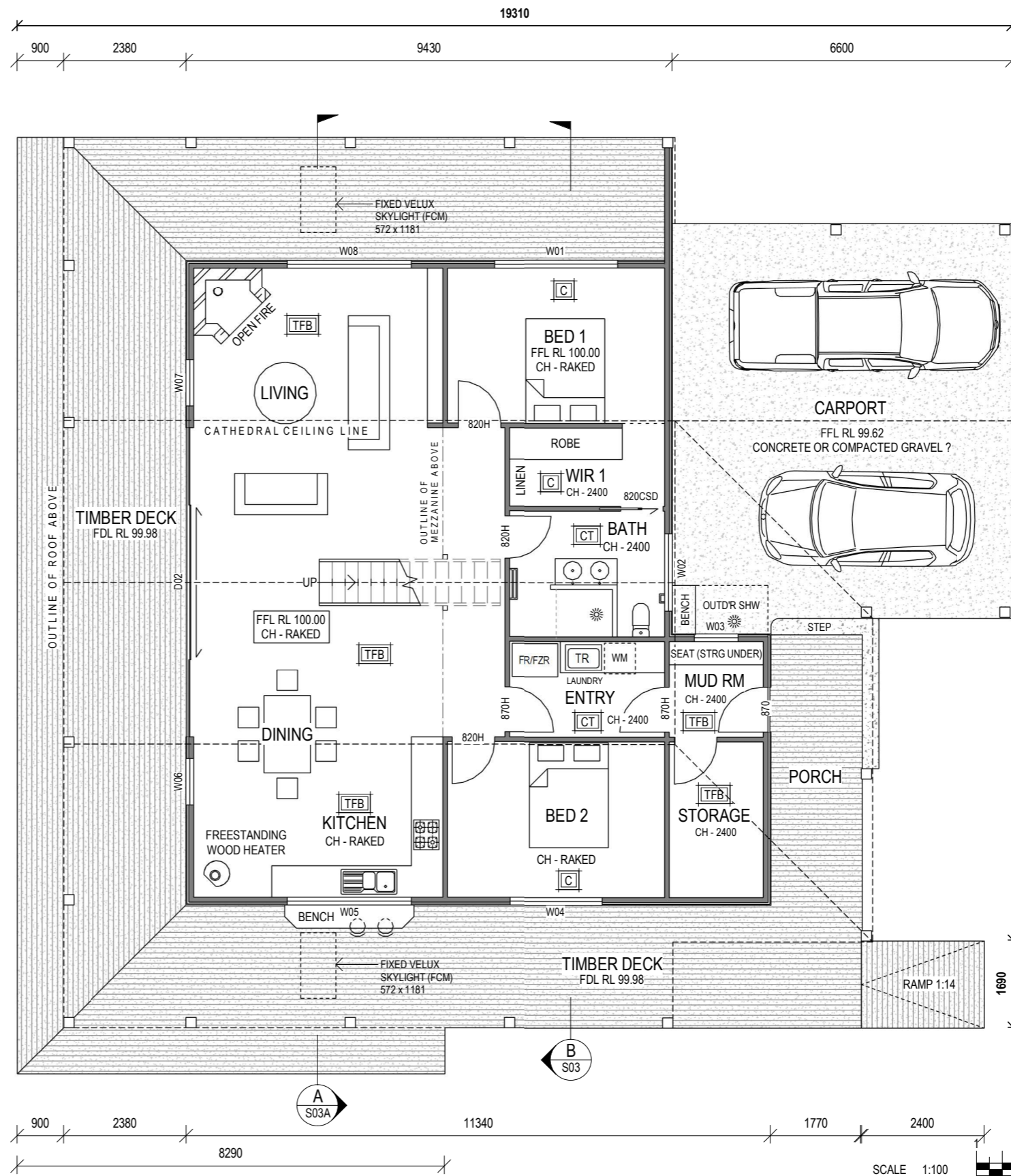
WINDOW LEGEND:

- 15 09 A
- TYPE
 WIDTH (900)
 HEIGHT (1500)

- A - AWNING
- BF - BIFOLD DOOR
- F - FIXED
- FR - FROSTED GLAZING
- GB - GLASS BRICK
- S - SLIDING
- SD - SLIDING DOOR
- STKSD - STACKING TYPE SLIDING DOOR


150mm EXT. WALL
 (10mm INT. PLASTERBOARD NOT INCL.)
 90mm INT. TIMBER STUD
 5mm PACKER (OVER STUD)
 35mm CAVITY BATTEN (HORIZ)
 20mm TIMBER CLADDING (VERT)

PROPOSED GROUND FLOOR PLAN
 SCALE 1 : 100 @ A3




NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

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		SOIL & WATER MANAGEMENT PLAN RUFF-003			LOT 1 TUNBRIDGE TIER ROAD, INTERLAKEN, TAS. 7030			
		VEGETATION MANAGEMENT PLAN RUFF-004			PROPOSED GROUND FLOOR PLAN			
		PROPOSED GROUND FLOOR PLAN RUFF-005			DRG No. RUFF			
		PROPOSED MEZZANINE FLOOR PLAN RUFF-006			SHT. 005			
		PROPOSED ELEVATIONS 1 OF 2 RUFF-007			SCALE 1:100			
		PROPOSED ELEVATIONS 2 OF 2 RUFF-008			A3			



BUILDING DESIGNERS
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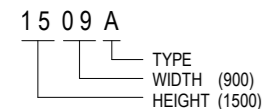
STAIRS / HANDRAIL NOTES:

- CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.9.1
- TREADS MUST HAVE A SLIP-RESISTANT FINISH OF A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.
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 SLOPE RELATIONSHIP
 2R + G MAX. 700 - MIN. 550
- INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.

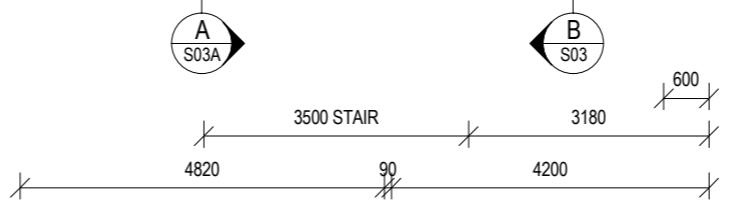
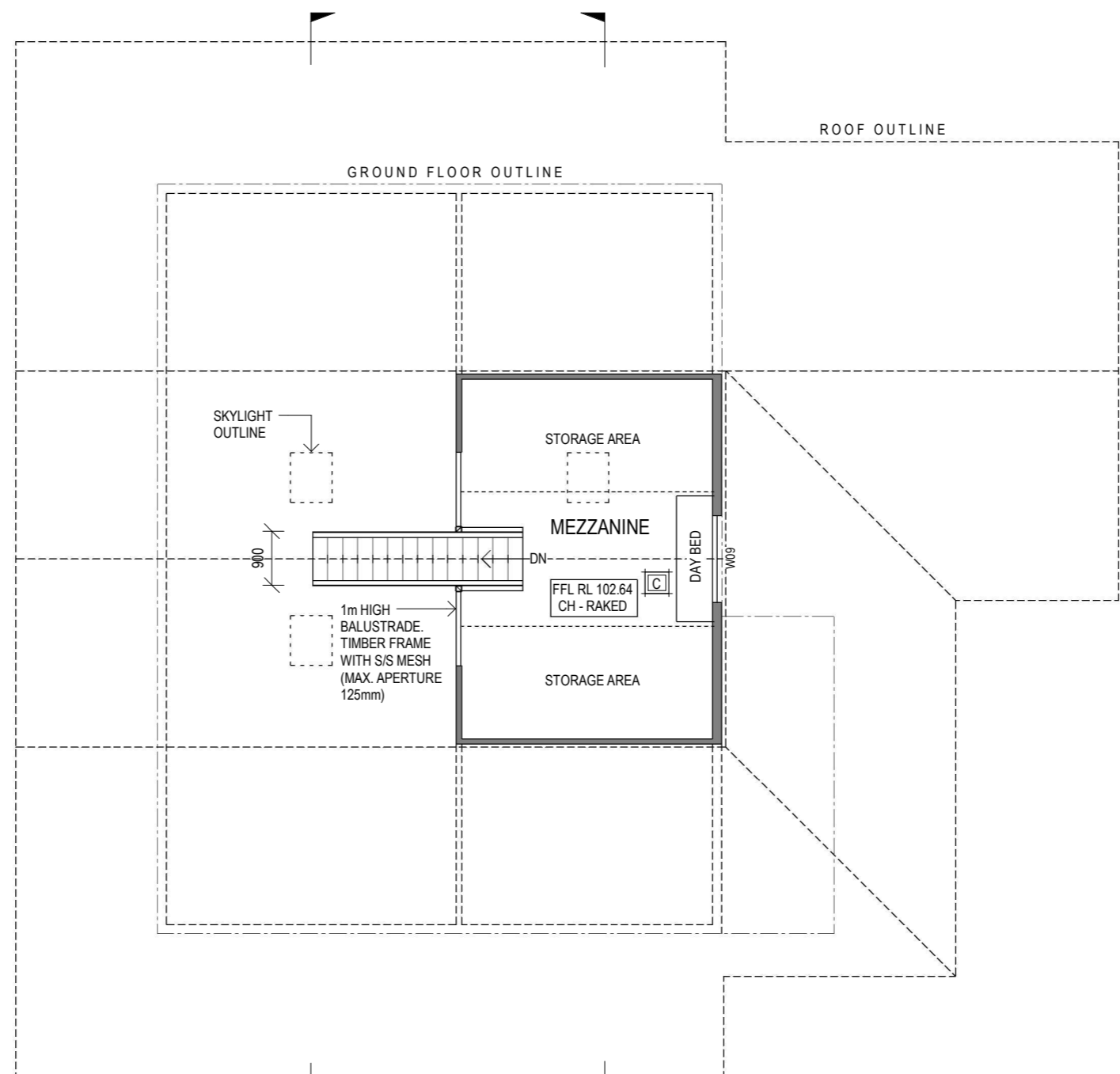
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- NC - NATURAL CONCRETE
- TFB - TIMBER FLOOR BOARDS
- PC - POLISHED CONCRETE
- V - VINYL

WINDOW LEGEND:

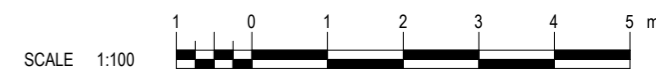


- A - AWNING
- BF - BIFOLD DOOR
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- S - SLIDING
- SD - SLIDING DOOR
- STKSD - STACKING TYPE SLIDING DOOR

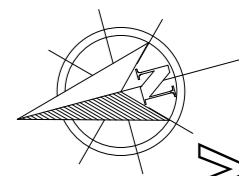


PROPOSED UPPER FLOOR MEZZANINE PLAN

SCALE 1 : 100 @ A3



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

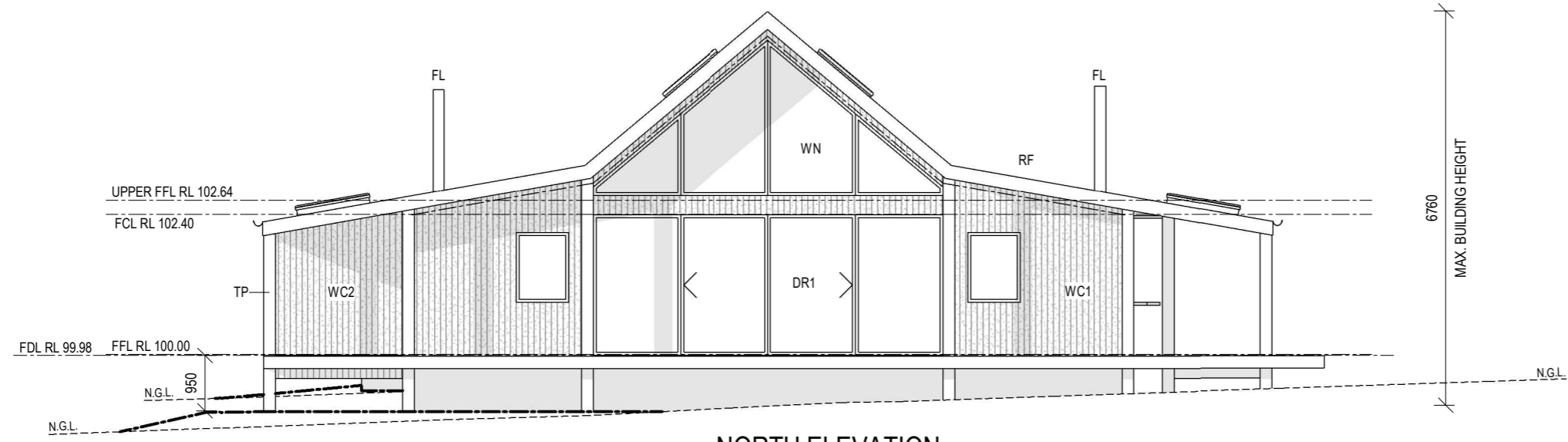


DRAFT - FOR CLIENT REVIEW ONLY

REV.	DESCRIPTION	REFERENCE	DESIGNED M. WALTERS	SMEEKES DRAFTING PTY LTD ABN 89 056 706 640 17 Bayfield Street, Rosny Park, TAS 7018 Office Phone: (03) 6234 6185 Email: admin@smeekesdrafting.com Website: www.smeekesdrafting.com	CLIENT NICOLE RUFF
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				BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA Building Designer Licence Nos. 723026951, 861284073 & CC6621	PROPOSED MEZZANINE FLOOR PLAN DRG No. RUFF SHT. 006 SCALE 1:100 A3

ELEVATION KEYNOTES:

DR1	TYP. DOUBLE GLAZED DOORS TO BAL-12.5. COLOUR OF FRAME - COLORBOND 'MONUMENT.'
FL	CHIMNEY FLUE. STAINLESS STEEL. 1800 MIN. HEIGHT ABOVE ROOF.
RF	COLORBOND 'CUSTOM ORB' ROOF CLADDING. COLOUR - COLORBOND 'MONUMENT.'
TP	STRUCTURAL TIMBER POST TO BAL-12.5. SPECIES, FINISH & COLOUR TO OWNER'S CHOICE.
WC1	ROUGH SAWN VERTICAL TIMBER CLADDING TO BAL-12.5. SPECIES & COLOUR TO OWNER'S CHOICE.
WC2	COLORBOND 'CUSTOM ORB' WALL CLADDING, VERTICAL. COLOUR - COLORBOND 'MONUMENT.'
WN	TYP. DOUBLE GLAZED WINDOWS TO BAL-12.5. COLOUR OF FRAME - COLORBOND 'MONUMENT.'



NORTH ELEVATION
SCALE 1 : 100 @ A3



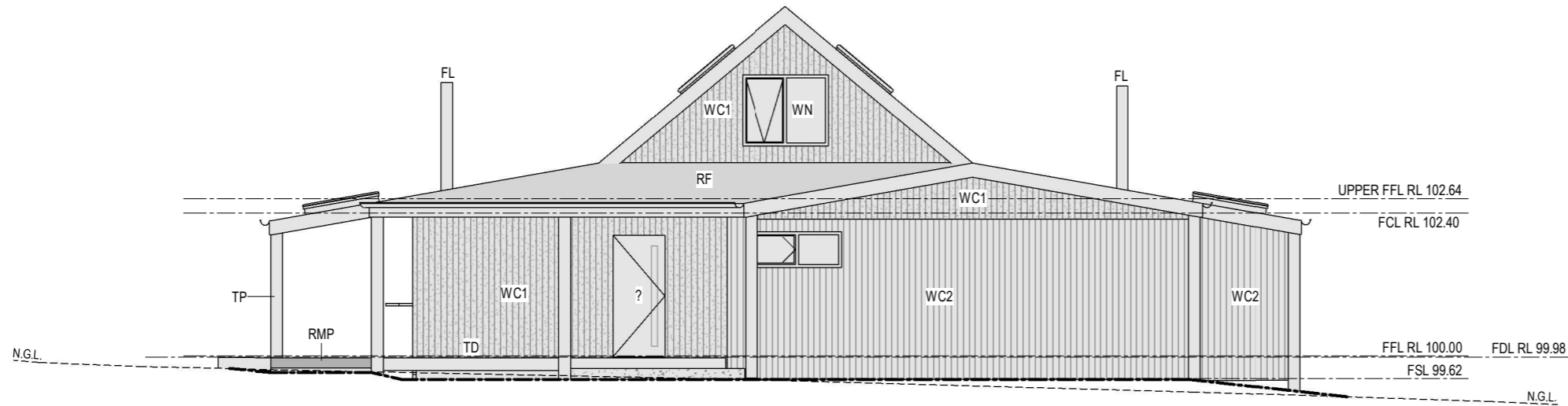
EAST ELEVATION
SCALE 1 : 100 @ A3



REV.	DESCRIPTION	REFERENCE	DESIGNED	M. WALTERS	SMEEKES DRAFTING PTY LTD ABN 89 056 706 640 17 Bayfield Street, Rosny Park, TAS 7018 Office Phone: (03) 6234 6185 Email: admin@smeekesdrafting.com Website: www.smeekesdrafting.com Building Designer Licence Nos. 723026951, 861284073 & CC6621	CLIENT	NICOLE RUFF					
0	ISSUED FOR CLIENT FOR REVIEW. 23-12-2021	SITE PLAN	DRAWN	L. RAGUS		TITLE	PROPOSED DWELLING					
1	ISSUED FOR COUNCIL FOR PLANNING APPROVAL. 24-12-2021	PROPOSED PART SITE PLAN	CHECKED	M. WALTERS		LOT 1 TUNBRIDGE TIER ROAD, INTERLAKEN, TAS. 7030						
		SOIL & WATER MANAGEMENT PLAN				PROPOSED ELEVATIONS 1 OF 2						
		VEGETATION MANAGEMENT PLAN				DRG	RUFF	SHT.	007	SCALE	1:100	A3
		PROPOSED GROUND FLOOR PLAN				No.						
		PROPOSED MEZZANINE FLOOR PLAN										
		PROPOSED ELEVATIONS 1 OF 2										
		PROPOSED ELEVATIONS 2 OF 2										

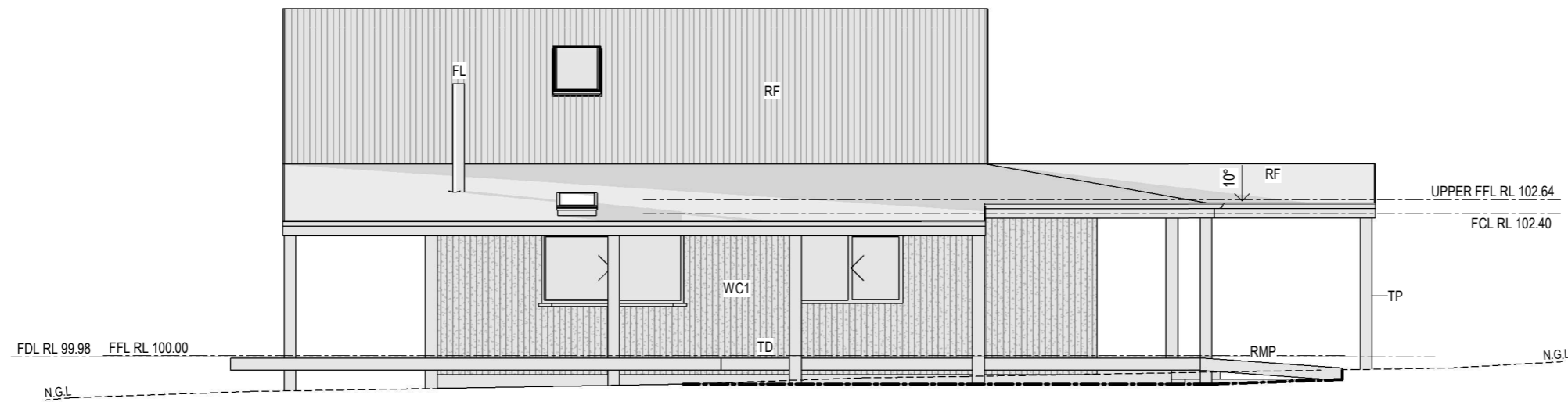
ELEVATION KEYNOTES:

FL	CHIMNEY FLUE. STAINLESS STEEL. 1800 MIN. HEIGHT ABOVE ROOF.
RF	COLORBOND 'CUSTOM ORB' ROOF CLADDING. COLOUR - COLORBOND 'MONUMENT'.
RMP	1:14 TIMBER RAMP TO BAL-12.5. SPECIES & COLOUR TO MATCH WALL CLADDING.
TD	HARDWOOD TIMBER DECK TO BAL-12.5. SPECIES & COLOUR TO MATCH WALL CLADDING.
TP	STRUCTURAL TIMBER POST TO BAL-12.5. SPECIES, FINISH & COLOUR TO OWNER'S CHOICE.
WC1	ROUGH SAWN VERTICAL TIMBER CLADDING TO BAL-12.5. SPECIES & COLOUR TO OWNER'S CHOICE.
WC2	COLORBOND 'CUSTOM ORB' WALL CLADDING, VERTICAL. COLOUR - COLORBOND 'MONUMENT'.
WN	TYP. DOUBLE GLAZED WINDOWS TO BAL-12.5. COLOUR OF FRAME - COLORBOND 'MONUMENT'.



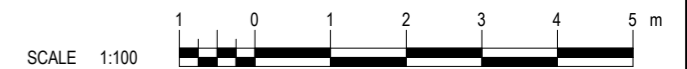
SOUTH ELEVATION

SCALE 1 : 100 @ A3



WEST ELEVATION

SCALE 1 : 100 @ A3



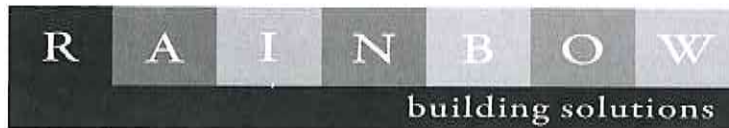
REV.	DESCRIPTION	REFERENCE	DESIGNED	M. WALTERS	SMEEKES DRAFTING PTY LTD ABN 89 056 706 640 17 Bayfield Street, Rosny Park, TAS 7018 Office Phone: (03) 6234 6185 Email: admin@smeeekesdrafting.com Website: www.smeeekesdrafting.com	CLIENT	NICOLE RUFF					
0	ISSUED FOR CLIENT FOR REVIEW. 23-12-2021	SITE PLAN RUFF-001	DRAWN	L. RAGUS		TITLE	PROPOSED DWELLING					
1	ISSUED FOR COUNCIL FOR PLANNING APPROVAL. 24-12-2021	PROPOSED PART SITE PLAN RUFF-002	CHECKED	M. WALTERS		LOT 1 TUNBRIDGE TIER ROAD, INTERLAKEN, TAS. 7030						
		SOIL & WATER MANAGEMENT PLAN RUFF-003				PROPOSED ELEVATIONS 2 OF 2						
		VEGETATION MANAGEMENT PLAN RUFF-004				DRG	RUFF	SHT.	008	SCALE	1:100	A3
		PROPOSED GROUND FLOOR PLAN RUFF-005				No.						
		PROPOSED MEZZANINE FLOOR PLAN RUFF-006										
		PROPOSED ELEVATIONS 1 OF 2 RUFF-007										
		PROPOSED ELEVATIONS 2 OF 2 RUFF-008										

ORTHOGRAPHIC KEYNOTES:

CS	CONCRETE SLAB. NATURAL TROWEL FINISH.
DR1	TYP. DOUBLE GLAZED DOORS TO BAL-12.5. COLOUR OF FRAME - COLORBOND 'MONUMENT.'
FL	CHIMNEY FLUE. STAINLESS STEEL.' 1800 MIN. HEIGHT ABOVE ROOF.
RF	COLORBOND 'CUSTOM ORB' ROOF CLADDING. COLOUR - COLORBOND 'MONUMENT'.
RMP	1:14 TIMBER RAMP TO BAL-12.5. SPECIES & COLOUR TO MATCH WALL CLADDING.
TD	HARDWOOD TIMBER DECK TO BAL-12.5. SPECIES & COLOUR TO MATCH WALL CLADDING.
TP	STRUCTURAL TIMBER POST TO BAL-12.5. SPECIES, FINISH & COLOUR TO OWNER'S CHOICE.
WC1	ROUGH SAWN VERTICAL TIMBER CLADDING TO BAL-12.5. SPECIES & COLOUR TO OWNER'S CHOICE.
WC2	COLORBOND 'CUSTOM ORB' WALL CLADDING, VERTICAL. COLOUR - COLORBOND 'MONUMENT.'
WN	TYP. DOUBLE GLAZED WINDOWS TO BAL-12.5. COLOUR OF FRAME - COLORBOND 'MONUMENT.'



REV.	DESCRIPTION	REFERENCE	DESIGNED	M. WALTERS	SMEEKES DRAFTING PTY LTD ABN 89 056 706 640 17 Bayfield Street, Rosny Park, TAS 7018 Office Phone: (03) 6234 6185 Email: admin@smeekesdrafting.com Website: www.smeekesdrafting.com Building Designer Licence Nos. 723026951, 861284073 & CC6621	CLIENT	NICOLE RUFF			
0	ISSUED FOR CLIENT FOR REVIEW. 23-12-2021	SITE PLAN RUFF-001 PROPOSED ORTHOGRAPHIC VIEWS RUFF-009	DRAWN	L. RAGUS		TITLE	PROPOSED DWELLING			
1	ISSUED FOR COUNCIL FOR PLANNING APPROVAL. 24-12-2021	SOIL & WATER MANAGEMENT PLAN RUFF-002	CHECKED	M. WALTERS		LOT 1 TUNBRIDGE TIER ROAD, INTERLAKEN, TAS. 7030				
		VEGETATION MANAGEMENT PLAN RUFF-003			PROPOSED ORTHOGRAPHIC VIEWS					
		PROPOSED GROUND FLOOR PLAN RUFF-004			DRG	RUFF	SHT.	009	SCALE	A3
		PROPOSED MEZZANINE FLOOR PLAN RUFF-005			No.					
		PROPOSED ELEVATIONS 1 OF 2 RUFF-006								
		PROPOSED ELEVATIONS 2 OF 2 RUFF-007								
		RUFF-008								



Specification Report

Distributor:
Rainbow Building
139 Main Rd

Spec. Date: 3/12/2021
Spec. Number: KING01_4574
Customer: Nicole Ruff

Site Address:
Lot 1 Tunbridge Tier Road,
Interlaken, TAS, 7030

Sorrel, 7172, TAS

Telephone: 1300 737 910 **Telephone:**

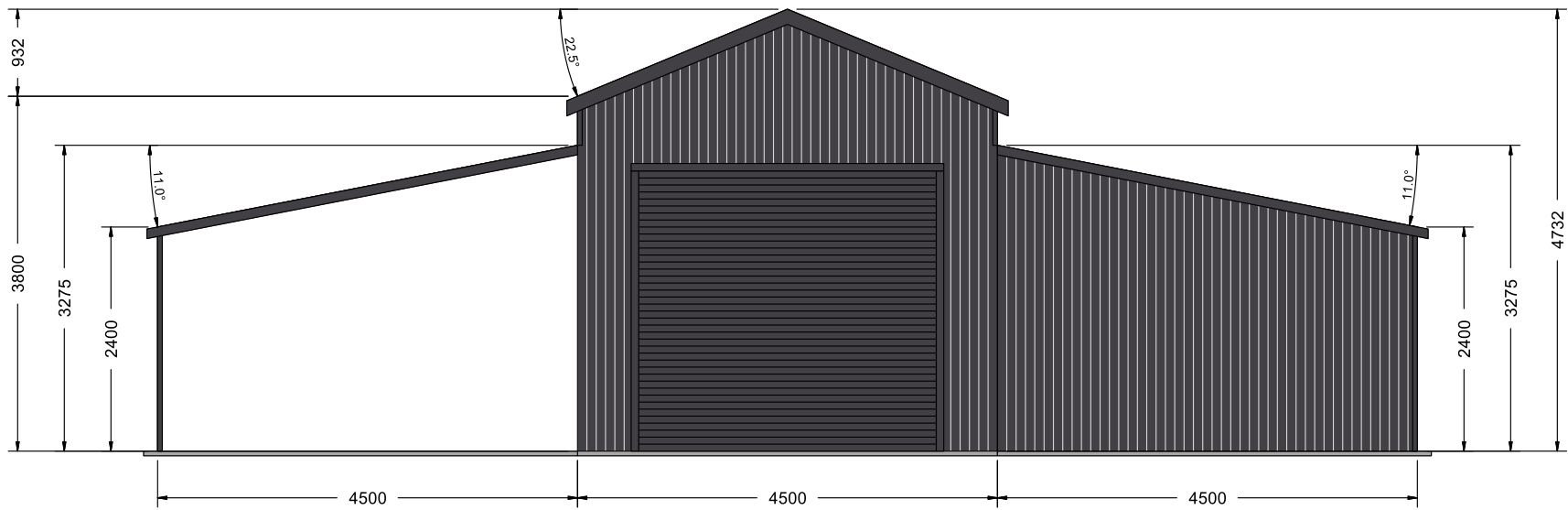
Building Description:	Main Building:	Left Skillion:	Right Skillion:
Span:	4.50m	4.50m	4.50m
Bay Size:	3.5m	3.50m	3.50m
Number of Bays:	2	2	2
Length:	7.00m	7.00m	7.00m
Wall Height:	3.80m	2.40m	2.40m
Apex Height:	4.73m	NA	NA
Roof Pitch:	22.5°	11°	11°
Roof Area:	34.09m ²	32.09m ²	32.09m ²
Roof Purlin Type:	TH64100	TH64100	TH64100
Roof Purlin Spacing (Internal):	600	600	600
Roof Purlin Spacing (End):	600	600	600
Purlin Lap:	10%	10	10
Wall Girt Type:	TH64100	TH64100	TH64100
Wall Girt Spacing:	1400	1400	1400
Girt Lap:	10%	10	10
Eave Purlin Type:	C15019	C15019	C15019
Column Size:	C15024	C15019	C15019
Rafter Size:	C15024	C15019	C15019
Mullion Size:	C15024	NA	NA
Knee Brace:	NA	NA	NA
Ridge Brace:	C10019	NA	NA
Wall Cladding:	0.42 BMT (0.47 TCT) Corrugated Colorbond®		
Roof Cladding:	0.42 BMT (0.47 TCT) Corrugated Colorbond®		
Down Pipes:	Downpipe 90mm Round		
Gutters:	Quad Gutter 115 High Tensile		
Barge:	Garage Barge		
Roller Doors:	1 x 3000H x 3250W (Opening: 3000H x 3190W) Series A Roller Door Manual Lift Colorbond		

JOE MAMIC & ASSOCIATES P/L
CONSULTING ENGINEERS AND
BUILDING SURVEYORS

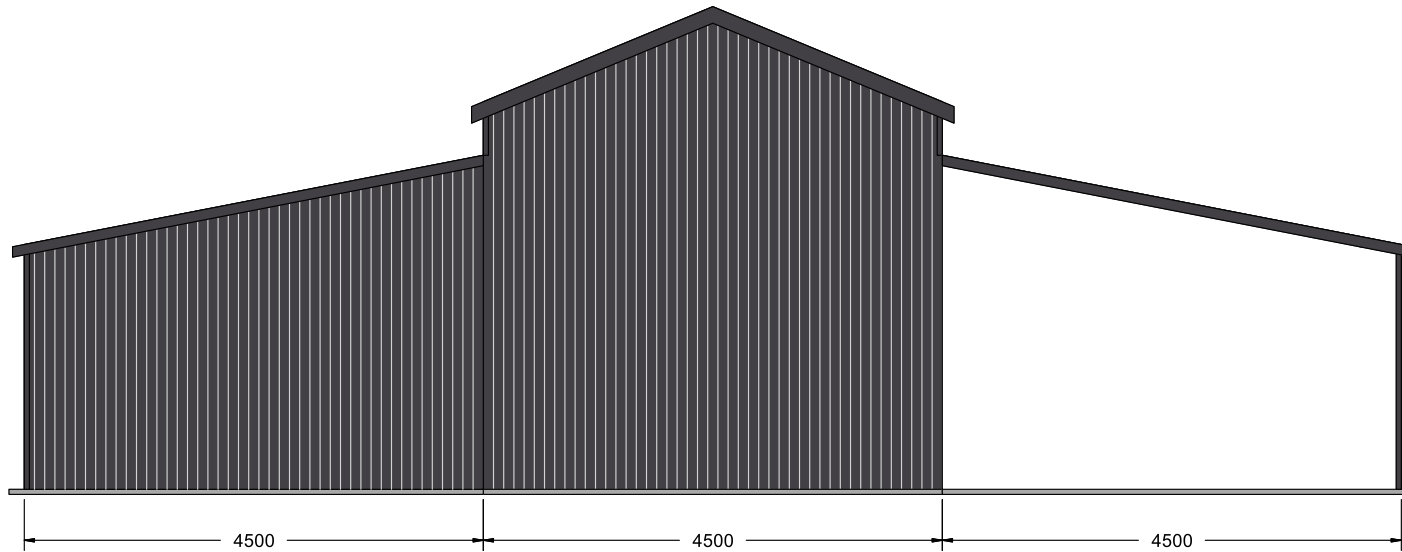
PH: 03 6231 4422
FAX: 03 6231 9277
EMAIL: office@mamic.com.au

GROUND LEVEL 421 ELIZABETH ST NORTH HOBART
PO BOX 143 NORTH HOBART TAS 7002

06 DEC 2021



FRONT ELEVATION

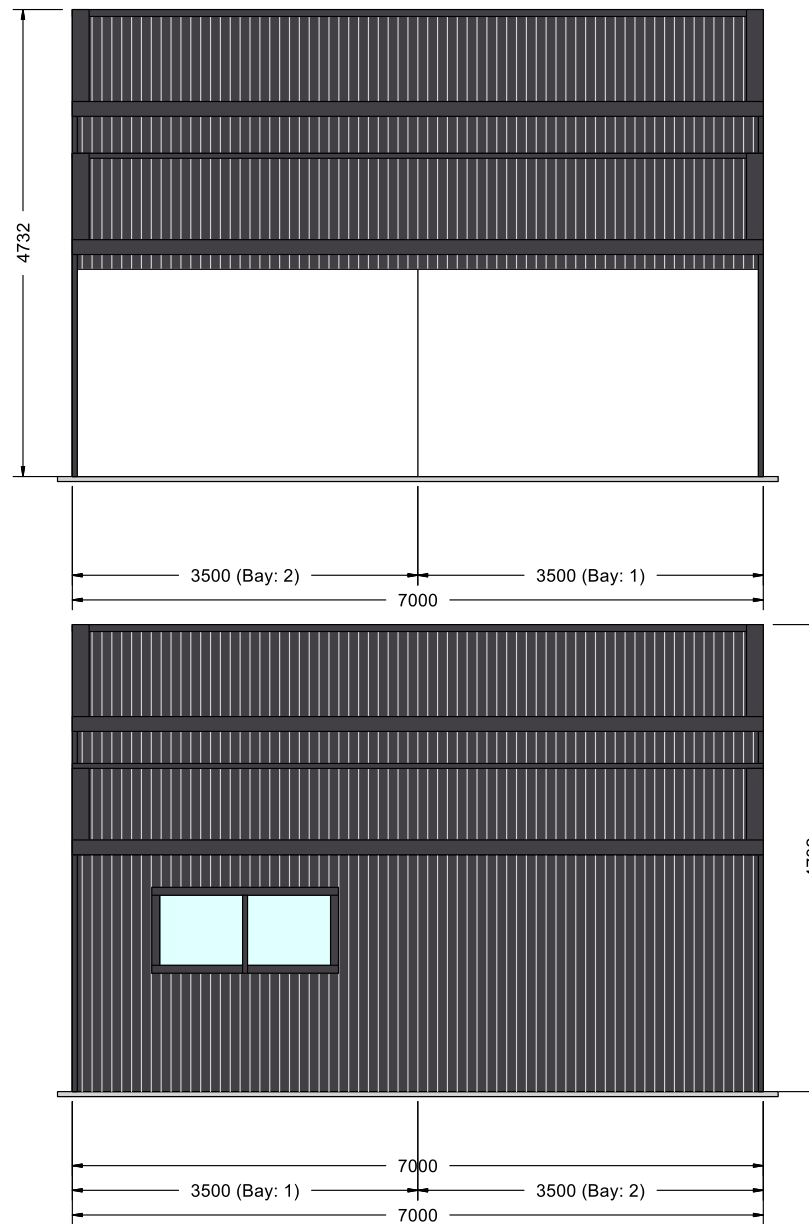


REAR ELEVATION

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Nicole Ruff
 SITE ADDRESS: Lot 1 Tunbridge Tier Road, Interlaken, TAS, 7030
 PHONE:
 EMAIL: Nicole.Ruff@skretting.com

DRAWING TITLE: End Elevations
 SCALE: 1:74.123
 DATE: 03-12-2021
 Job Number: KING01_4574
 Drawing Number: EE



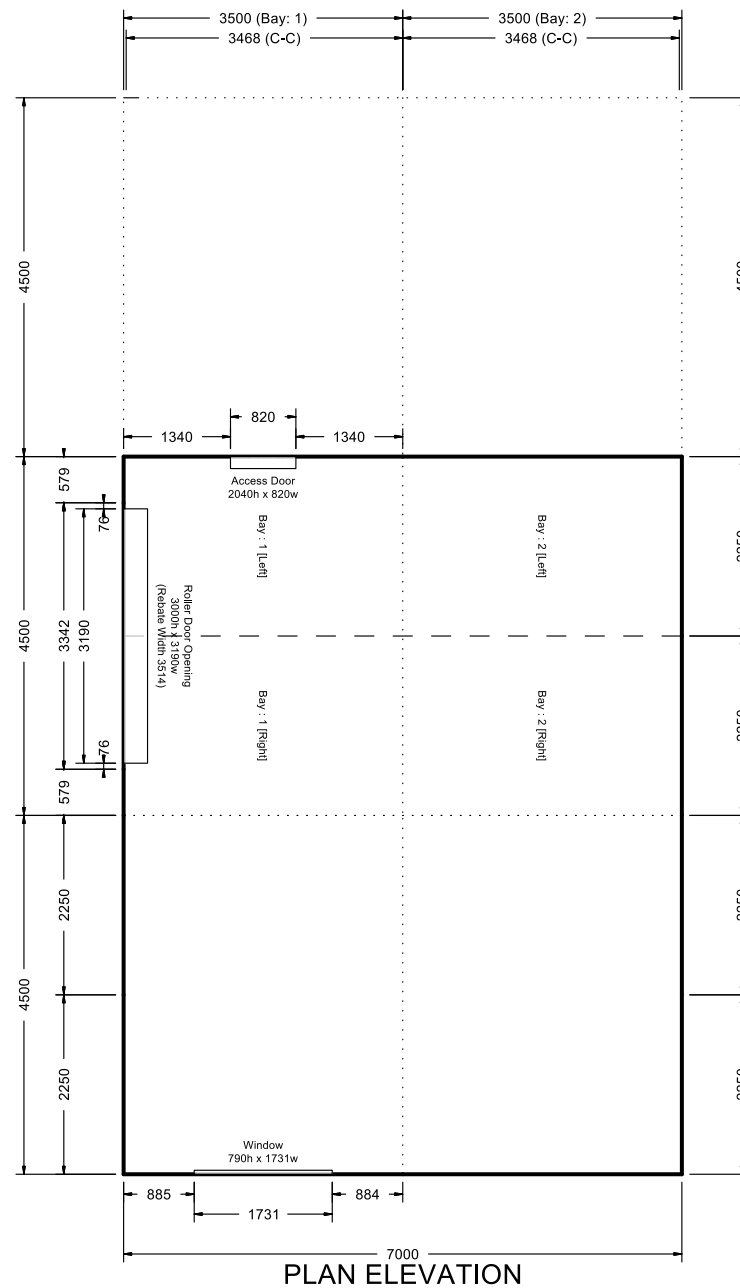
RIGHT ELEVATION

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Nicole Ruff
 SITE ADDRESS: Lot 1 Tunbridge Tier Road, Interlaken, TAS, 7030
 PHONE:
 EMAIL: Nicole.Ruff@skretting.com

DRAWING TITLE: Side Elevations
 SCALE: 1:76.599
 DATE: 03-12-2021
 Job Number: KING01_4574
 Drawing Number: SE



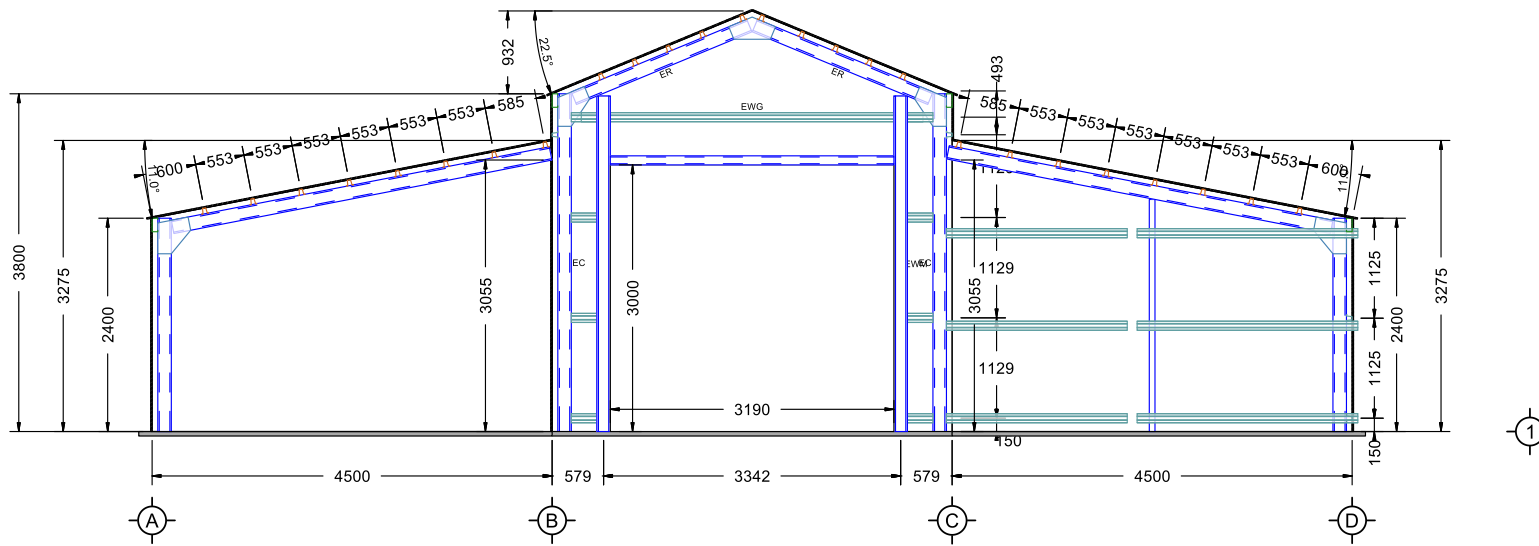


PLAN ELEVATION

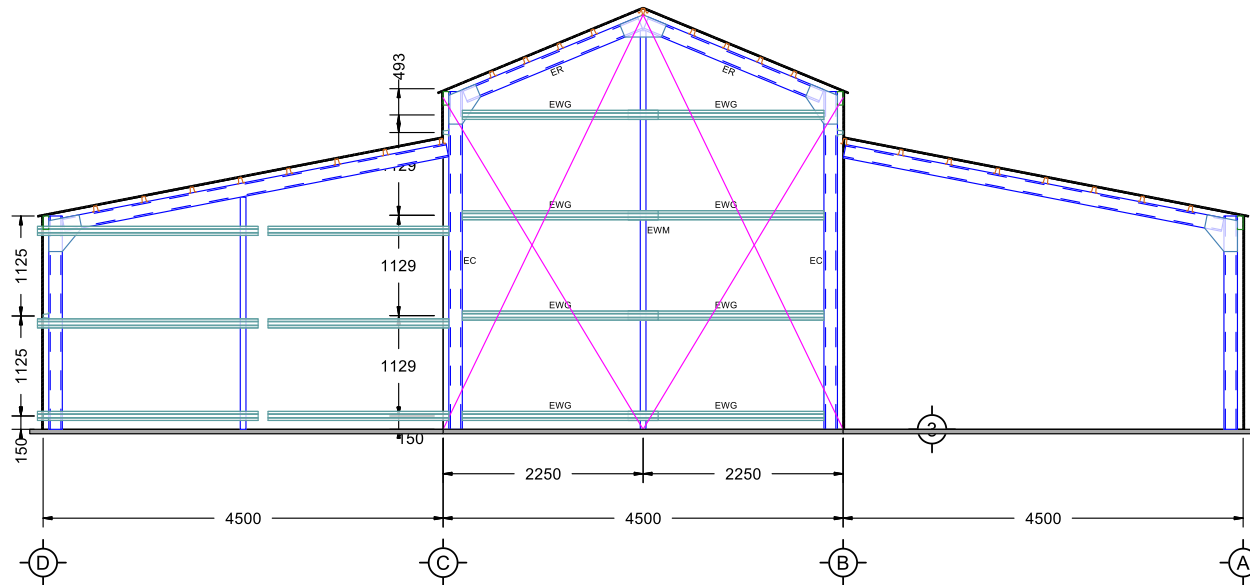
139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Nicole Ruff
 SITE ADDRESS: Lot 1 Tunbridge Tier Road, Interlaken, TAS, 7030
 PHONE:
 EMAIL: Nicole.Ruff@skretting.com

DRAWING TITLE: Plan Elevation
 SCALE: 1:94.807
 DATE: 03-12-2021
 Job Number: KING01_4574
 Drawing Number:



FRONT ELEVATION

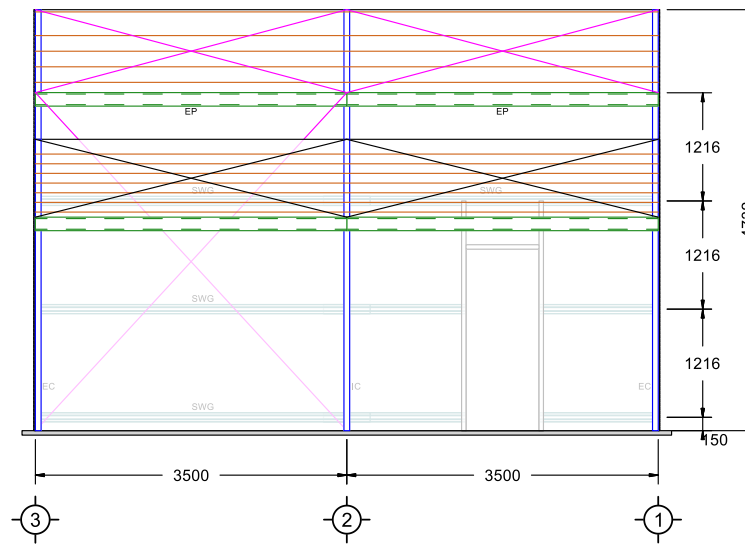


REAR ELEVATION

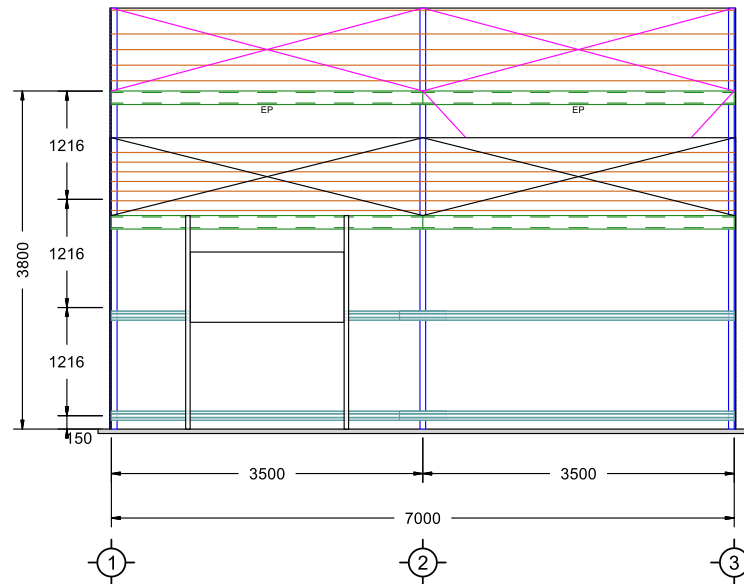
139 Main Road,
Sorell TAS 7172
Phone: 1300 737 910
Email: sales@rainbowbuilding.com.au

CLIENT: Nicole Ruff
SITE ADDRESS: Lot 1 Tunbridge Tier Road, Interlaken, TAS, 7030
PHONE:
EMAIL: Nicole.Ruff@skretting.com

DRAWING TITLE: End Frame Elevations
SCALE: 1:85.057
DATE: 03-12-2021
Job Number: KING01_4574
Drawing Number: EFE



LEFT ELEVATION



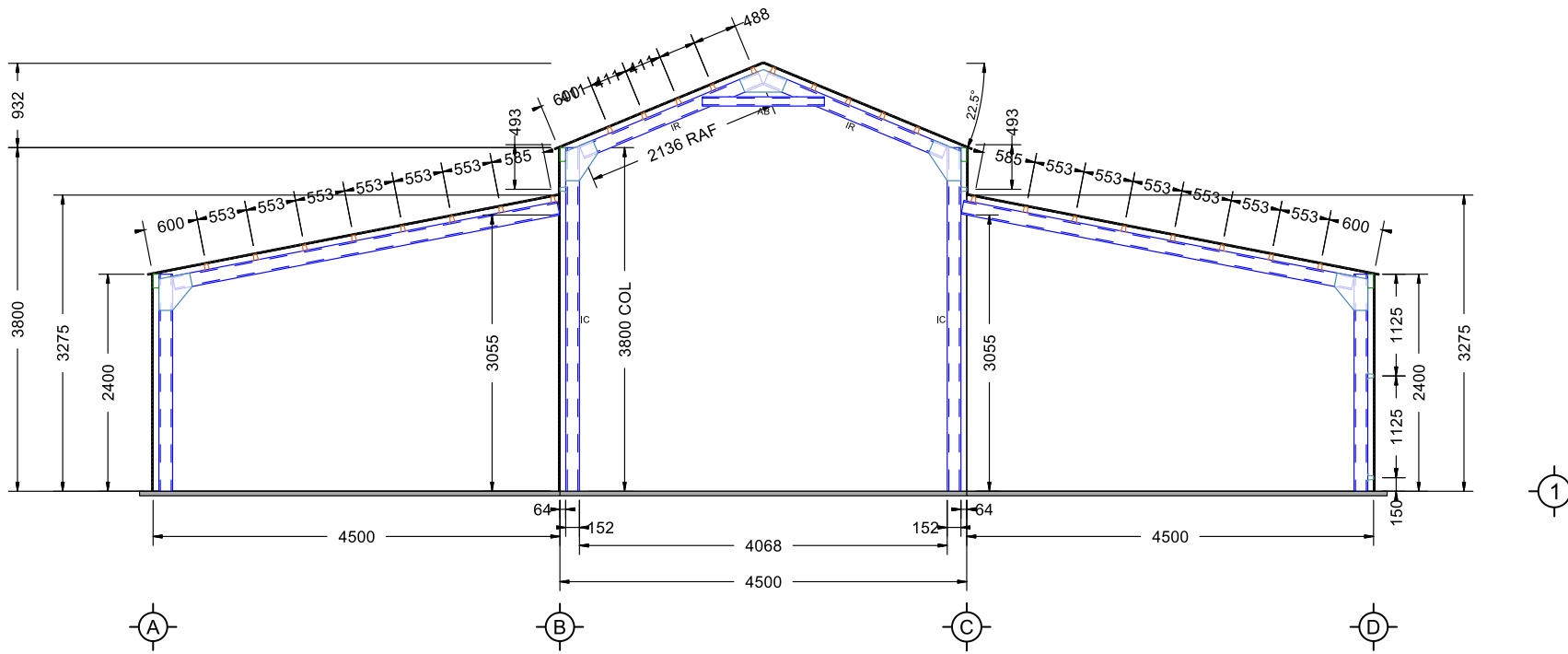
RIGHT ELEVATION

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Nicole Ruff
 SITE ADDRESS: Lot 1 Tunbridge Tier Road, Interlaken, TAS, 7030
 PHONE:
 EMAIL: Nicole.Ruff@skretting.com

DRAWING TITLE: Side Frame Elevations
 SCALE: 1:84.975
 DATE: 03-12-2021
 Job Number: KING01_4574
 Drawing Number: SFE



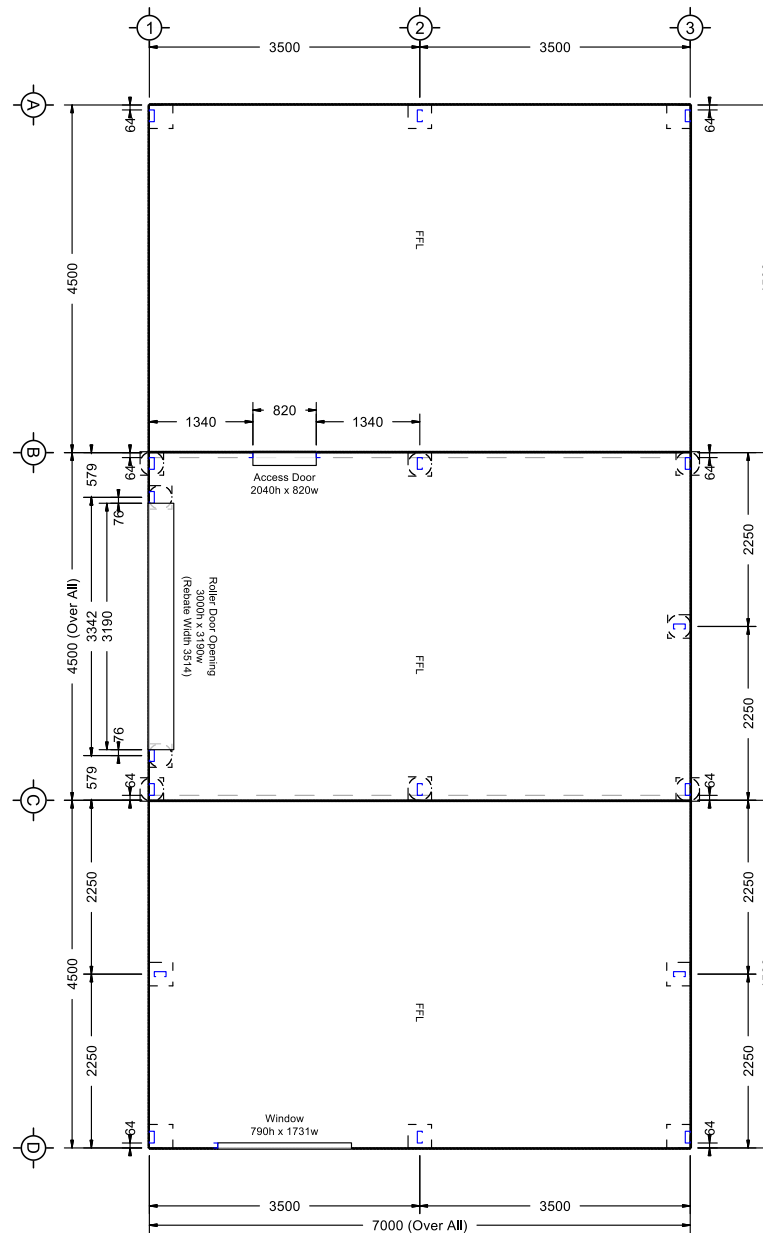


INTERMEDIATE ELEVATION

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Nicole Ruff
 SITE ADDRESS: Lot 1 Tunbridge Tier Road, Interlaken, TAS, 7030
 PHONE:
 EMAIL: Nicole.Ruff@skretting.com

DRAWING TITLE: Cross Section
 SCALE: 1:77.003
 DATE: 03-12-2021
 Job Number: KING01_4574
 Drawing Number: CS



FLOOR PLAN

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Nicole Ruff
 SITE ADDRESS: Lot 1 Tunbridge Tier Road, Interlaken, TAS, 7030
 PHONE:
 EMAIL: Nicole.Ruff@skretting.com

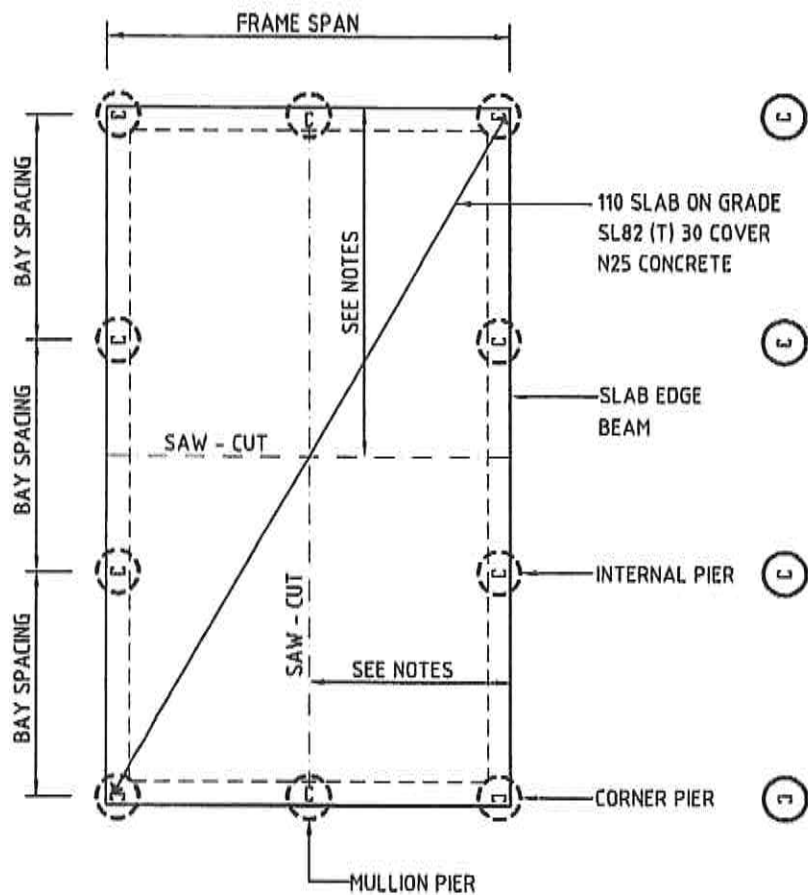
DRAWING TITLE: Floor Plan
 SCALE: 1:97.854
 DATE: 03-12-2021
 Job Number: KING01_4574
 Drawing Number: FP



FOUNDATION SPECIFICATION FOR ALL CONCRETE PIERS	
FRAME SPAN MAX C/C	PIER SIZE
4500	450 dia x 500d
6000	450 dia x 600d
7500	450 dia x 750d

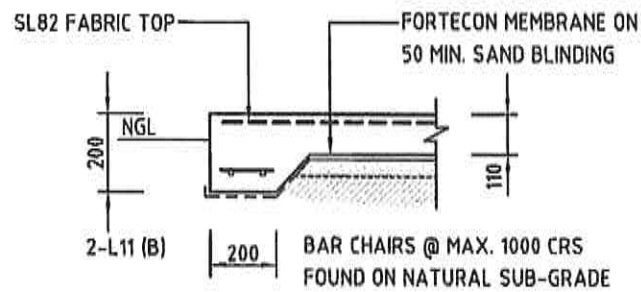
NOTE: STRIP SITE OF TOPSOIL VEGETATION MIN. 100 ROOT BALLS AND SOFT AREAS TO APPROVAL BEFORE PLACING ANY FILL BELOW SLAB ALL CONCRETE EDGE BEAMS MUST BE FOUNDED ON FIRM NATURAL SUB-GRADE. DEEPEN EDGE BEAMS AS REQUIRED

FOR SITE CLASSIFICATION A,S & M
OTHER SITE CLASSES BY OTHERS

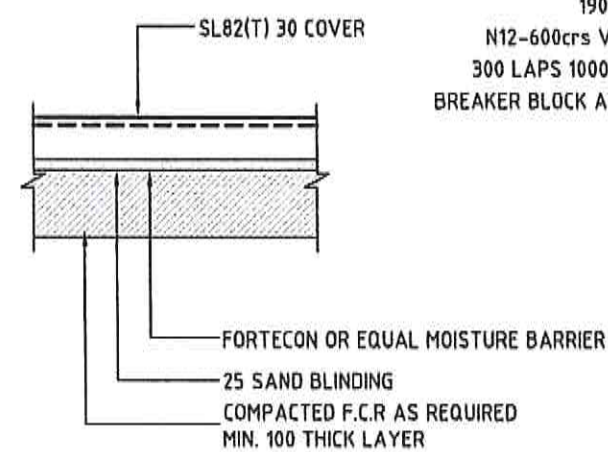


TYPICAL SLAB & PIER LAYOUT

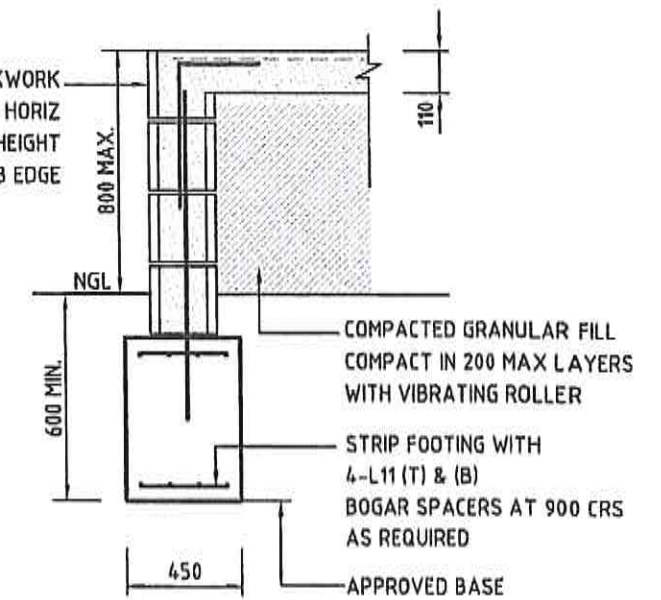
NOTES:
SLAB DESIGN FOR CLASS A,S & M TO AS 2870
TYPICALLY N25 CONCRETE 30mm COVER TO REO
LAP REO MIN. 225mm SUPPORT ON BAR CHAIRS AT 1000 MAX CRS
POUR PIER FOOTINGS INTEGRAL WITH SLAB
DO NOT PLACE INFILL CONCRETE SLAB AGAINST WALL SHEETING
PROVIDE 25mm POLYSTYRENE SHEET AS BARRIER



SLAB EDGE BEAM



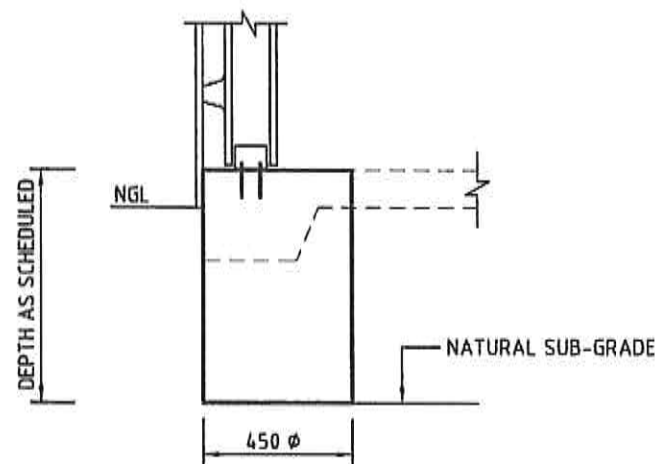
UNDER SLAB PREP



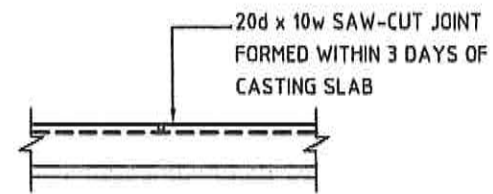
RETAINING WALL DETAILS

HEIGHT > 500mm HEIGHT < 1000mm

SKILLION PIER FOUNDATION WHERE REQUIRED (OPTIONAL)
NOTE: REFER SITE SPECIFICATION & ELEVATION DRAWINGS

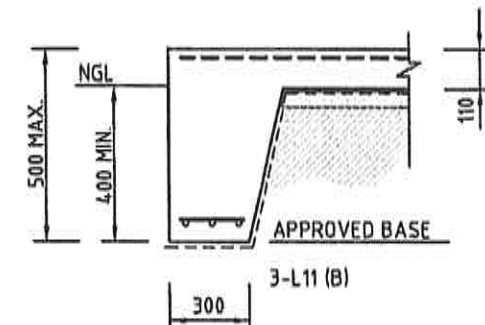


PIER/SLAB DETAIL



SLAB SAW-CUT DETAIL

WHERE SLAB O/A LENGTH > 9.0m
PLACE SAW CUTS AT NO MORE THAN 6m INTERVALS



RETAINING WALL DETAILS

HEIGHT < 500mm

NOTE: REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION

JOE MAMIC & ASSOCIATES P/L
CONSULTING ENGINEERS AND BUILDING SURVEYORS
PH: 03 6231 4422
FAX: 03 6231 9277
EMAIL: office@mamic.com.au
GROUND LEVEL 421 ELIZABETH ST NORTH HOBART
PO BOX 143 NORTH HOBART TAS 7002

06 DEC 2021

RAINBOW
building solutions
139 Main Road Sorell, TAS 7172 www.rainbowbuilding.com.au T: 1300 737 910

Project Title:
**RAINBOW BUILDING SOLUTIONS
SHED CONSTRUCTION DETAILS
MAX. 7.5m WIDE SHED CONSTRUCTION
FOOTING/SLAB DETAILS - CLASS 10A
STRUCTURES ONLY**

Scale:
N.T.S.

Job No.
RAINB-7.5

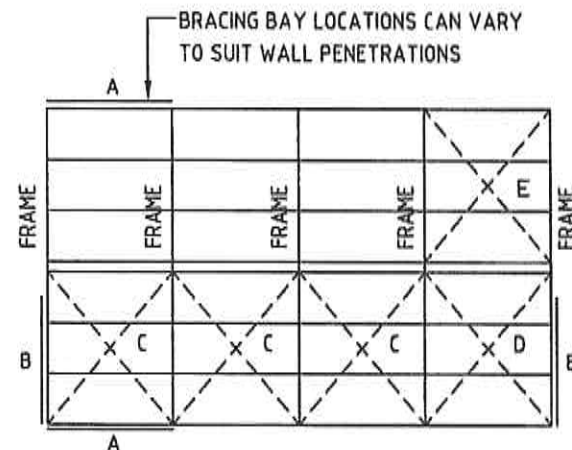
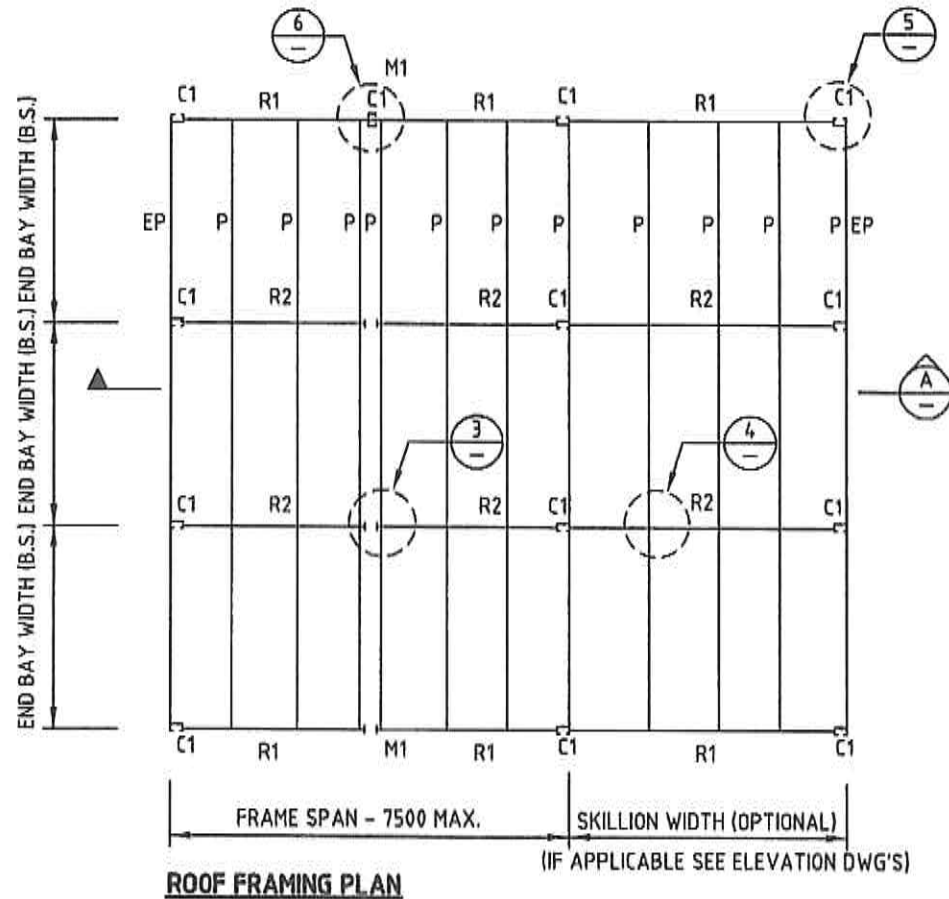
Drawing No. Rev.
S1 0

Designed by: JM Accreditation Number: CC411N Date: June '15

ROOF & WALL SHEETING MAX. SPAN TABLES			
CLADDING	LOCATION	END SPAN	INT SPAN
CORRUGATED 0.42 BMT	ROOF	900	1200
CORRUGATED 0.42 BMT	WALL	1200	1500
K-PANEL 0.42 BMT	WALL	1200	1500
MONOCLAD 0.42 BMT	ROOF	900	1200
MONOCLAD 0.42 BMT	WALL	1200	1500

RBS CONSTRUCTION NOTES:

- NOTES:
- REFER RAINBOW BUILDING SPECIFICATIONS FOR SITE SPECIFIC INFORMATION
 - END WALL CLADDING CAN BE DELETED TO ENABLE OPEN END BAYS
 - WALL CLADDING CAN BE DELETED ONE FULL SIDE PROVIDE MIN. 1 BRACED BAY EACH SIDE
 - WHERE 2 OR MORE BAYS OPEN SIDED & COLUMNS > 3.0m IN HEIGHT PROVIDE BACK TO BACK COLUMNS

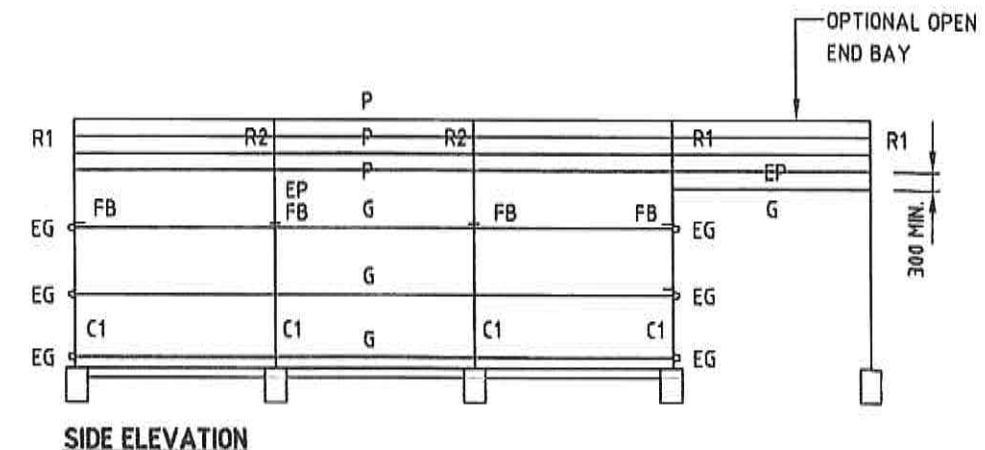
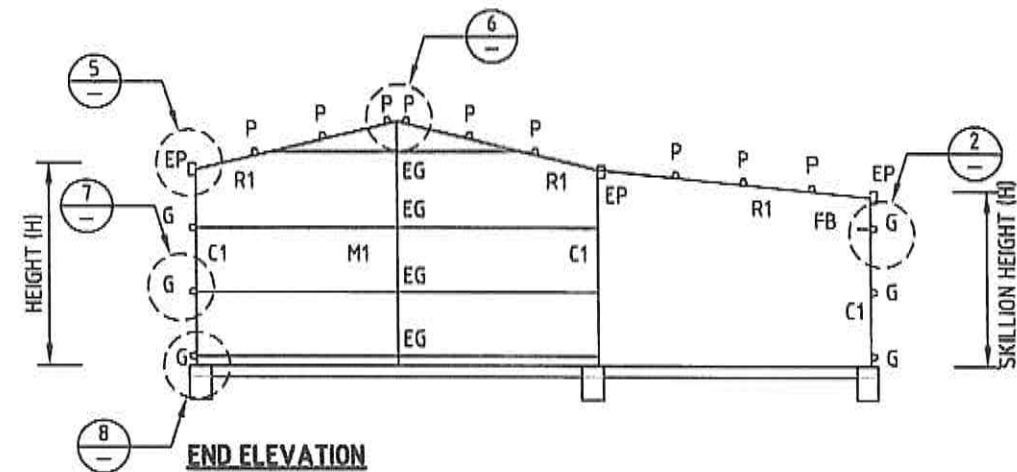
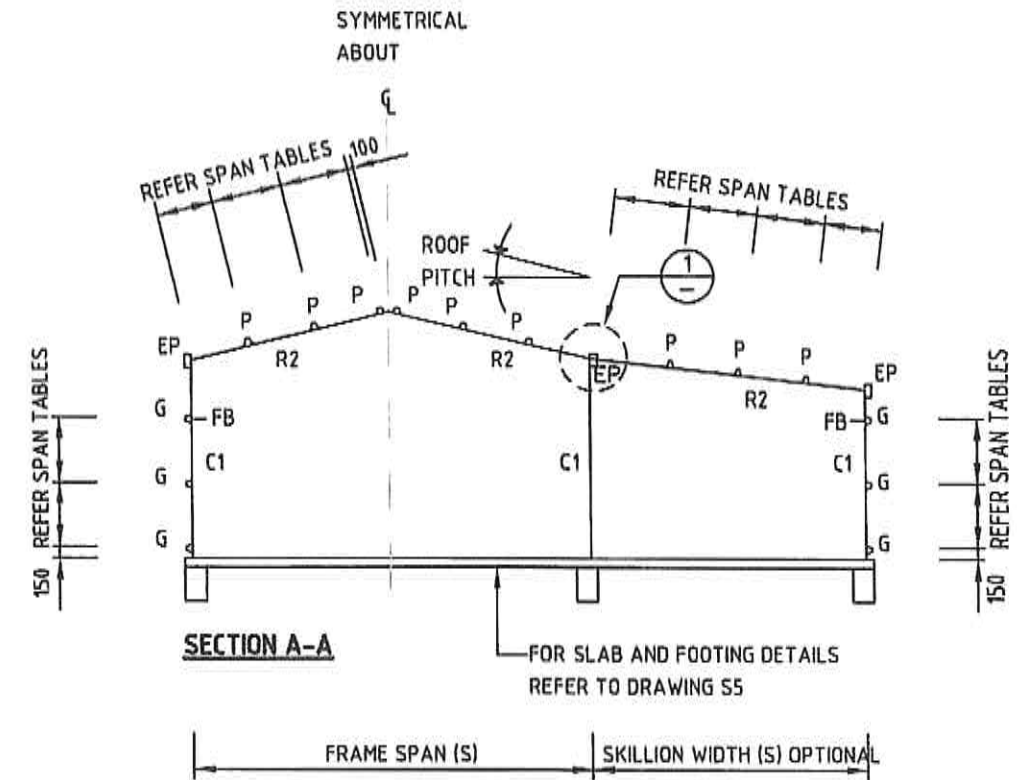


ROOF & WALL BRACING SCHEDULE

ALL BRACING 32 X 1.2 G500 GI STRAP 2 - 14-20 X 22 TEK SCREWS EACH END TO FRAMES WITH TENSIONER FIX TO EXTERNAL FACE OF COLUMNS & RAFTERS

MAX SPAN	6m	7.5m
BAY SIZE crs > 4.0m	B,C,D	B,C,D
LENGTH > 4 BAYS	A,B,C,D,E	A,B,C,D,E
HEIGHT > 3.0m	B,C,D	B,C,D

FRAMES UP TO 7.5M SPAN WITHIN THESE PARAMETERS REQUIRE NO BRACING



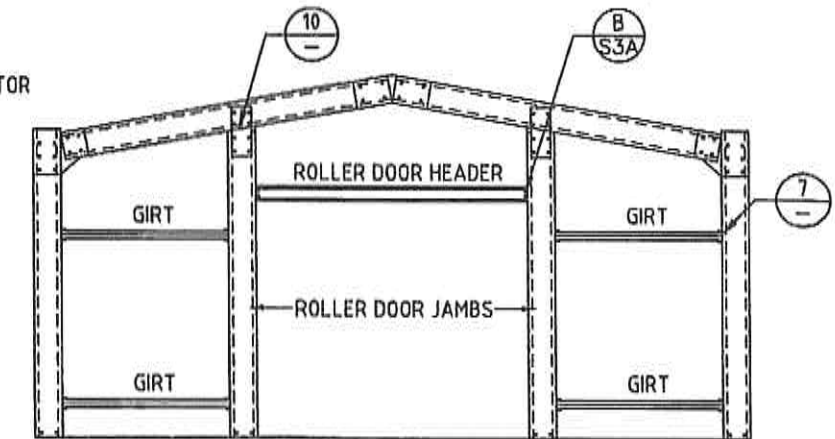
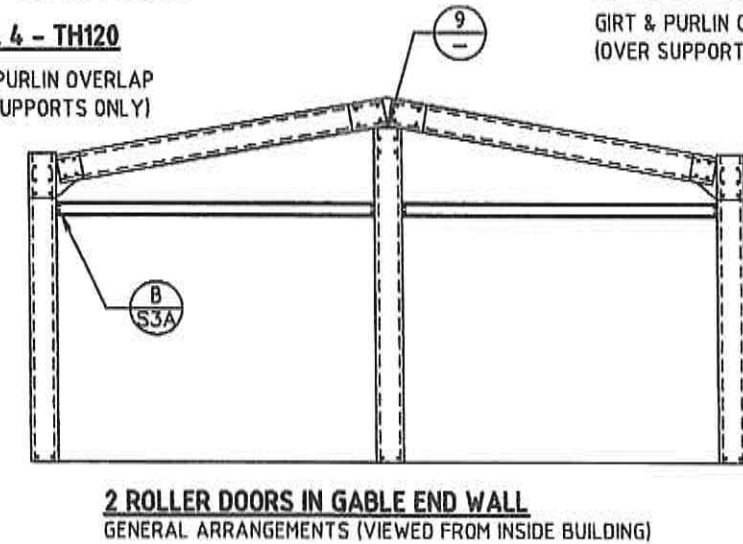
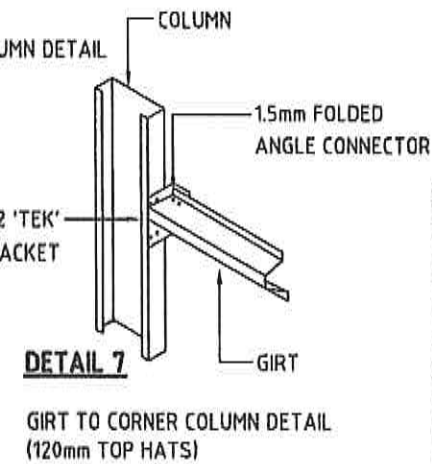
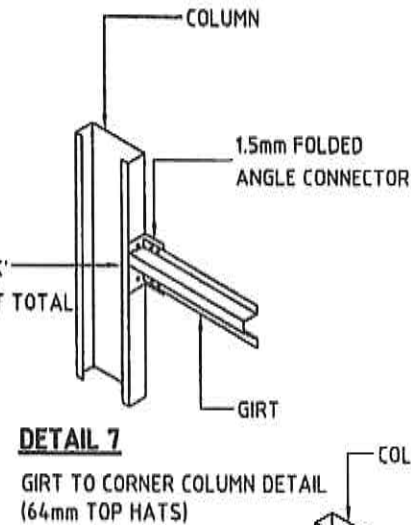
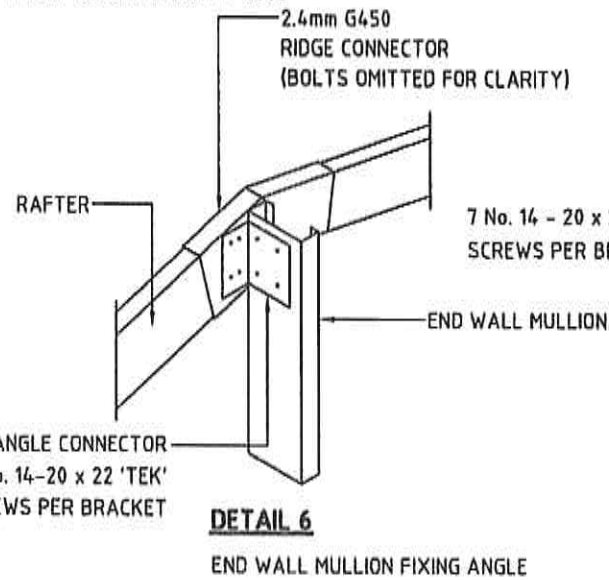
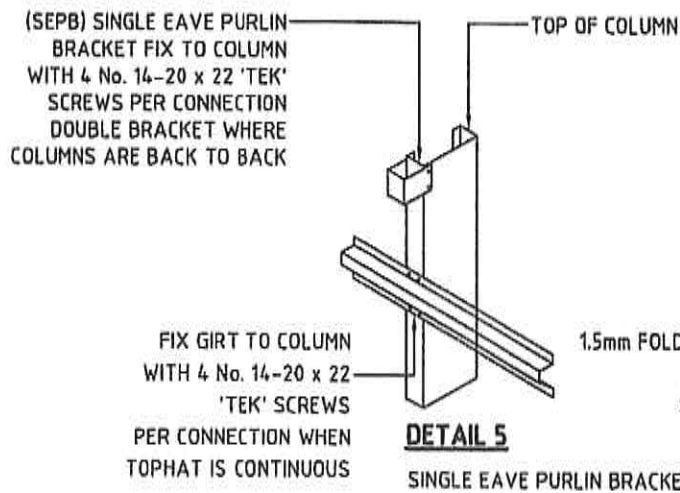
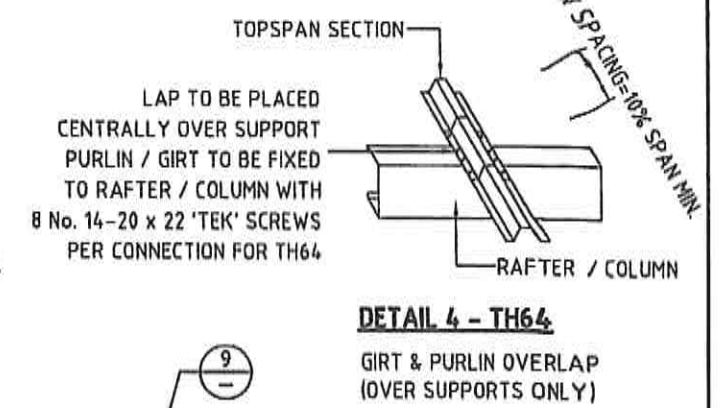
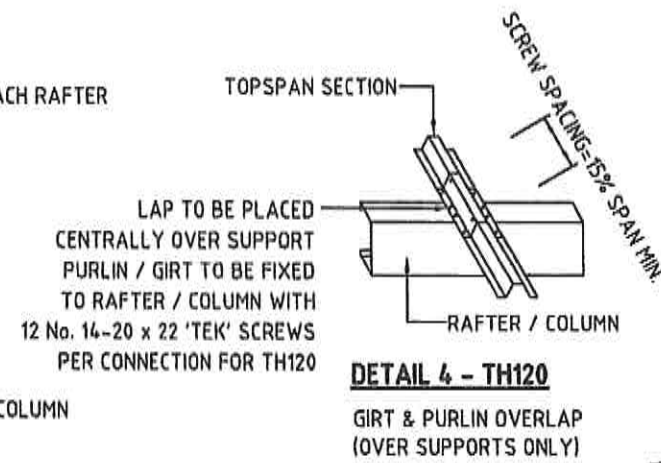
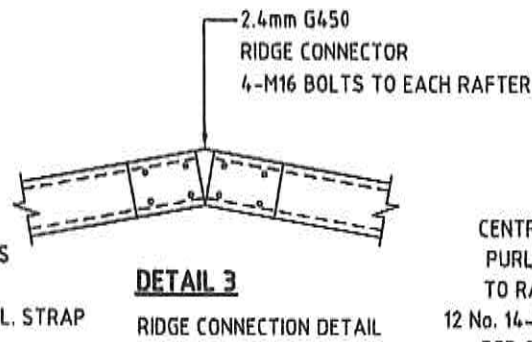
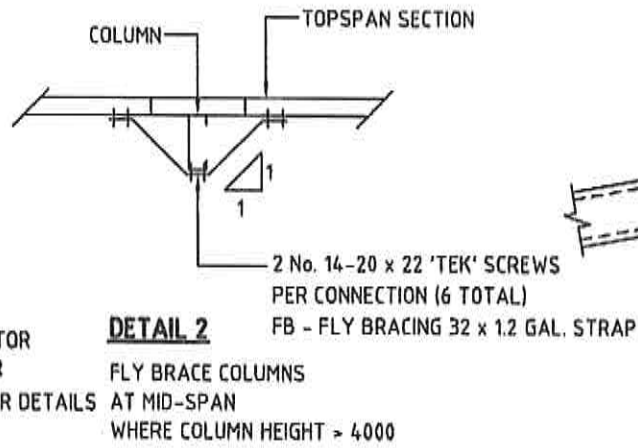
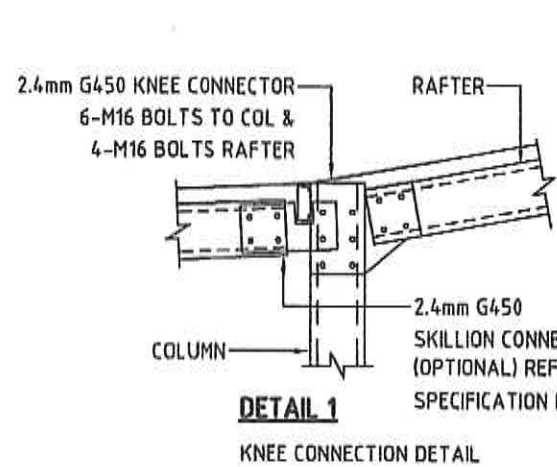
NOTE: REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION

JOE MAMIC & ASSOCIATES P/L
 CONSULTING ENGINEERS AND BUILDING SURVEYORS
 PH: 03 6231 4422
 FAX: 03 6231 9277
 EMAIL: office@mamic.com.au
 GROUND LEVEL 421 ELIZABETH ST NORTH HOBART
 PO BOX 143 NORTH HOBART TAS 7002

06 DEC 2021

RAINBOW
 building solutions
 139 Main Road Sorrell, TAS 7172 www.rainbowbuilding.com.au T: 1300 737 910

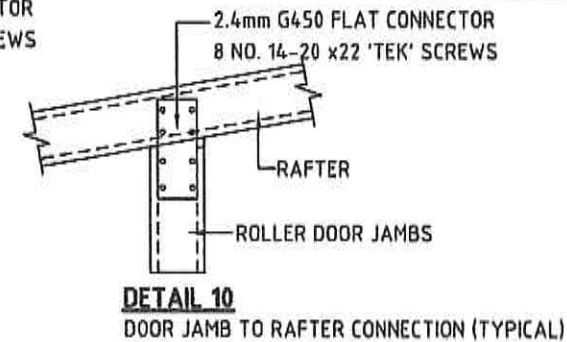
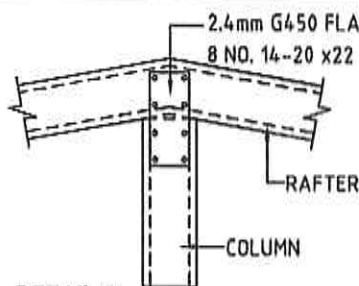
Project Title: RAINBOW BUILDING SOLUTIONS STEEL FRAME BUILDINGS MAX. 7.5m WIDE SHED CONSTRUCTION TYPICAL WALL FRAMING & ROOF FRAMING DETAILS
 Scale: N.T.S.
 Job No. RAINB - 7.5
 Drawing No. S2 Rev. 0
 Designed by: JM Accreditation Number: CC411N Date: June '15



FIX GIRTS TO COLUMN WITH 4 No. 14-20 x 22 'TEK' SCREWS PER CONNECTION WHEN TOPHAT IS CONTINUOUS

FRAME / SLAB / PIER FIXING	BOLT TO COLUMN	BOLT TO COLUMN
C100 FRAME	2-M12100 DYNABOLTS	2-M12x30 PURLIN BOLT, NUT & WASHER
C150 FRAME	2-M12100 DYNABOLTS	2-M16x30 PURLIN BOLT, NUT & WASHER
C200 FRAME	2-M16100 TRUBOLTS	2-M16x30 PURLIN BOLT, NUT & WASHER
C250 FRAME	2-M20160 TRUBOLTS	2-M16x40 (GR 8.8) HIGH TENSILE PURLIN BOLT, NUT & WASHER
C300 FRAME	3-M20160 TRUBOLTS	3-M16x40 (GR 8.8) HIGH TENSILE PURLIN BOLT, NUT & WASHER

NOTE: REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION



DETAIL 8
3mm G450 BASE CLEAT

JOE MAMIC & ASSOCIATES P/L
CONSULTING ENGINEERS AND BUILDING SURVEYORS

PH: 03 6231 4422
FAX: 03 6231 9277
EMAIL: office@mamic.com.au

GROUND LEVEL 421 ELIZABETH ST NORTH HOBART
PO BOX 143 NORTH HOBART TAS 7002

06 DEC 2021

RAINBOW
building solutions

139 Main Road Sorell, TAS 7172 www.rainbowbuilding.com.au T: 1300 737 910

Project Title:
**RAINBOW BUILDING SOLUTIONS
SHED CONSTRUCTION DETAILS
MAX. 7.5m WIDE SHED CONSTRUCTION
STEEL CONNECTION DETAILS SHEET 1**

Scale:
N.T.S.

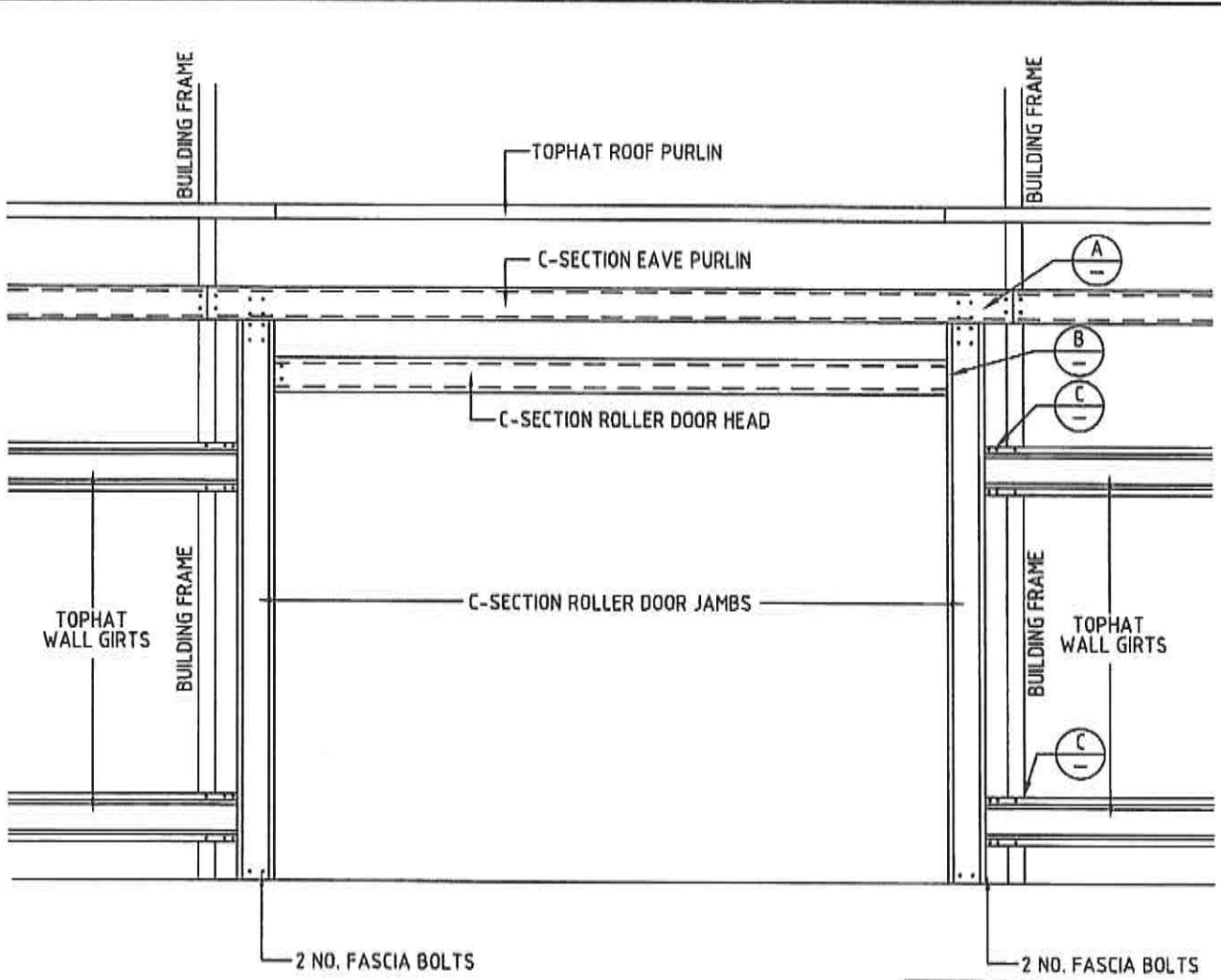
Job No.
RAINB - 7.5

Drawing No. Rev.
S3 0

Designed by: JM Accreditation Number: CC411N Date: June '15

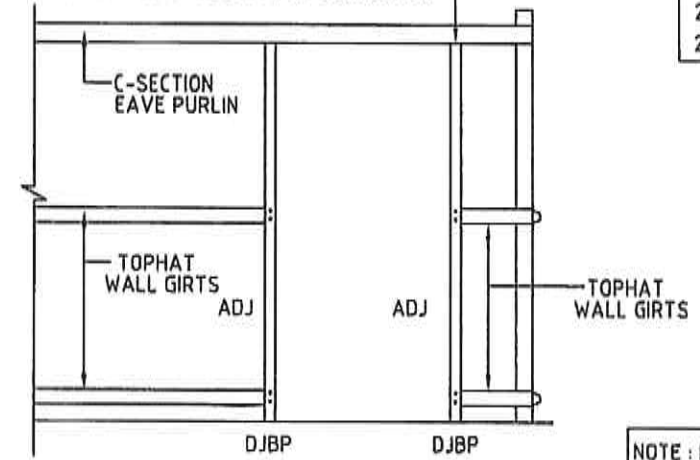
05 DEC 2021

JOE MAMIC & ASSOCIATES P/L
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 BUILDING SURVEYORS
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 FAX: 03 6231 9277
 EMAIL: office@mamic.com.au
 GROUND LEVEL 421 ELIZABETH ST NORTH HOBART
 PO BOX 143 NORTH HOBART TAS 7002



ROLLER DOOR SIDE (GUTTER) WALL DETAIL

MITRE CUT FOLD 50mm OF WINDOW JAMB FOR CONNECTION TO EAVE PURLIN
 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

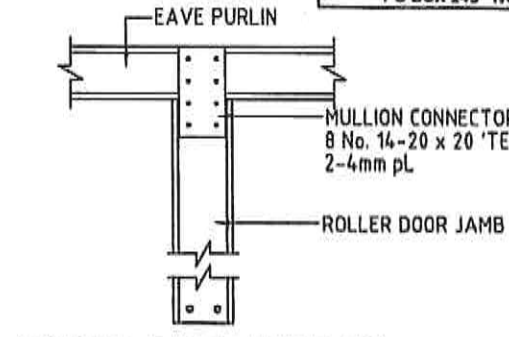


PERSONAL ACCESS DOOR DETAIL

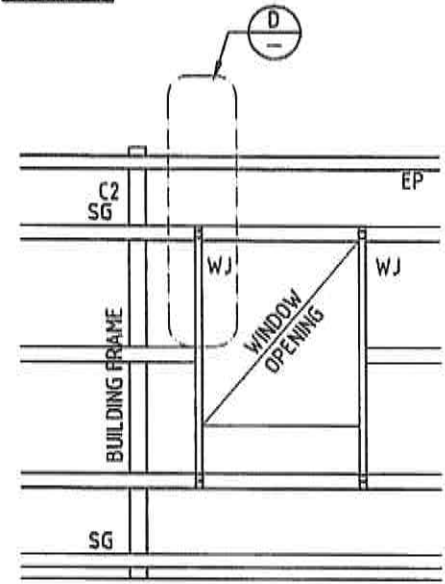
- ACCESS DOOR KIT COMPRISES**
- 2 NO. ACCESS DOOR JAMBS (ADJ)
 - BASE PLATE DJBP 2 NO. M12 x 70 DYNABOLTS
 - 2 NO. 50mm ANGLE CONNECTORS
 - 32 NO. 14-20x20 'TEKS' SCREWS
 - 2 NO. DYNABOLTS PER PA DOOR HEX HEAD -(Z)
 - 1 NO. ACCESS DOOR AND DOOR HARDWARE
 - DOOR HEAD FLASHING - 50x50 CORNER

- ROLLER DOOR KIT COMPRISES**
- C150 ROLLER DOOR JAMBS
 - 2 NO. M16x30 FASCIA BOLTS
 - 2 NO. M12x100 DYNA BOLTS
 - C100 ROLLER DOOR JAMBS
 - 2 NO. M12x30 FASCIA BOLTS
 - 2 NO. M12x100 DYNA BOLTS

NOTE: REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION

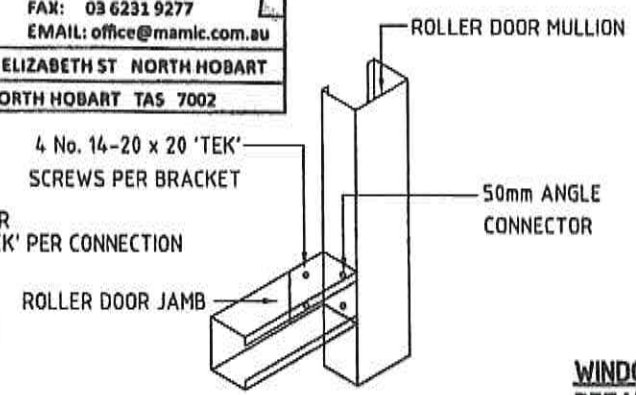


**SIDE WALL R/DOOR JAMB DETAIL
DETAIL-A**

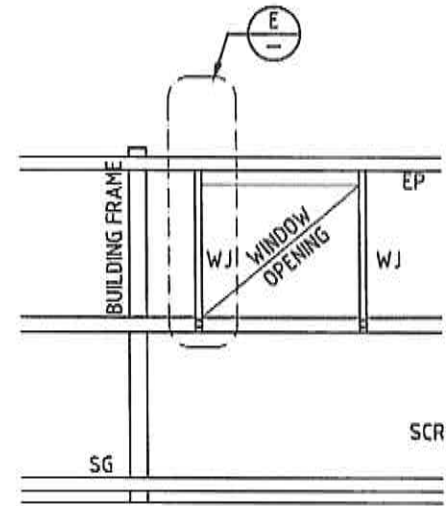


WINDOW DETAIL - OPTION 1

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING
 4 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

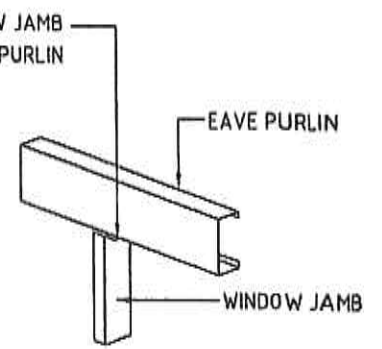


**ROLLER DOOR MULLION
DETAIL-B**



WINDOW DETAIL - OPTION 2

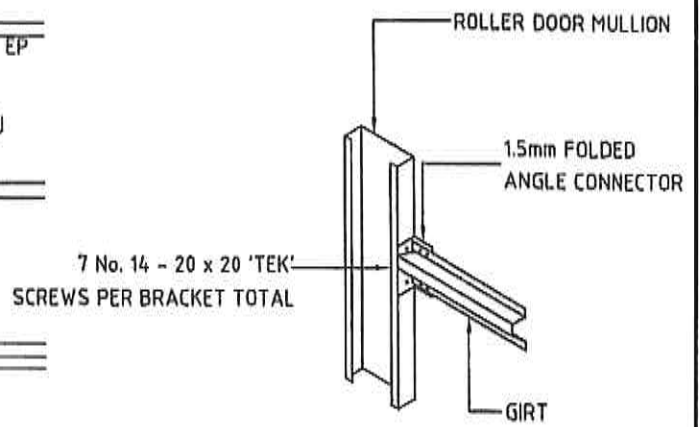
ALL CONNECTIONS TO BE 'TEKS' SCREWED USING
 4 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION



**WINDOW DETAIL TOP CONNECTION
DETAIL-E**

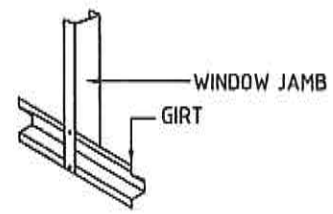
ALL CONNECTIONS TO BE 'TEKS' SCREWED USING
 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

- WINDOW FRAME KIT COMPRISES**
- 2 NO. WINDOW JAMBS (WJ)
 - 24 NO. 14-20x20 'TEKS' SCREWS
 - 1 NO. WINDOW & WINDOW HARDWARE



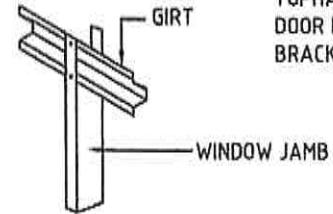
**ROLLER DOOR MULLION
DETAIL C**

TOPHAT WALL GIRT BUTTS INTO ROLLER DOOR MULLION USING 1.5mm END WALL GIRT BRACKET



**WINDOW DETAIL TOP CONNECTION
DETAIL-D**

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING
 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION



**WINDOW DETAIL BOTTOM CONNECTION
DETAIL-D & E**

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING
 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

R A I N B O W
 building solutions
 139 Main Road Sorrell, TAS 7172 www.rainbowbuilding.com.au T: 1300 737 910

Project Title:
**RAINBOW BUILDING SOLUTIONS
 SHED CONSTRUCTION DETAILS
 MAX. 7.5m WIDE SHED CONSTRUCTION
 STEEL CONNECTION DETAILS SHEET 2**

Scale:
 N.T.S.

Job No.
 RAINB - 7.5

Drawing No. Rev.
S3A 0

Designed by: JM Accreditation Number: CC411N Date: June '15

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant: Designer's project reference No:
 Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)

Description of work:

New Building:- 4.5m x 7m x 3.8m Gable Shed
 Left LeanTo: 4.5m x 7m x 2.4m
 Right LeanTo: 4.5m x 7m x 2.4m

(new building / alteration /
 addition / repair / removal /
 re-erection
 water / sewerage /
 stormwater /
 on-site wastewater
 management system /
 backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input checked="" type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/>		Performance Solution: <input type="checkbox"/> (X the appropriate box)

Other details:
 Structural design of foundations, concrete slab and steel building frame.
 All pier foundations must be excavated to approved natural sub-grade. Design BP 100kPa
 Slab Design suitable for Class A, S & M sites only.
 Site soil Classification to AS 2870 by others

Design documents provided:

The following documents are provided with this Certificate –

<i>Document description:</i>		
Drawing numbers: S1, S2, S3,S3A	Prepared by: Joe Mamic	Date: December 2021
Schedules:	Prepared by:	Date:
Specifications: Report	Prepared by: Joe Mamic	Date: December 2021
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:

AS1170.1 AS1170.2, AS4100, AS4600, AS3600

Any other relevant documentation:

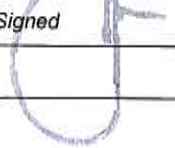
NIL

Attribution as designer:

I Joe Mamic am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Joe Mamic		06/12/2021
Licence No:	CC411N		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	By Others		06/12/2021

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

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- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I Emmanuel Deltas being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	By others		

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: *Owner name*
 Address
 Suburb/postcode

Designer details:

Name: *Category:*
 Business name: *Phone No:*
 Business address:
 Fax No:
 Licence No: *Email address:*

Details of the proposed work:

Owner/Applicant *Designer's project reference No.*
Address: *Lot No:*

Type of work: Building work Plumbing work

(X all applicable)

Description of work:

New building - 4.5m x 7m x 3.8m Gable Shed
 Left LeanTo: 4.5m x 7m x 2.4m
 Right LeanTo: 4.5m x 7m x 2.4m

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): *(X all applicable certificates)*

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: Performance Solution:

Other details:

Structural design of foundations, concrete slab and steel building frame.
 All pier foundations must be excavated to approved natural sub-grade. Design BP 100kPa
 Slab Design suitable for Class A, S & M sites only.
 Site Soil Classification to AS 2870 by others

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers: EE, SE, FPE, EFE, SFE, CS, FP	Prepared by: Rainbow Roofing & Garages Pty Ltd	Date: 3/12/2021
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:


AS1170.1, AS 1170.2, AS 4100, AS 4600, AS 3600

Any other relevant documentation:**Attribution as designer:**

I Philip Smith am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Rainbow Roofing & Garages Pty Ltd		3/12/2021
Licence No:	181916529		
Cert No:			

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

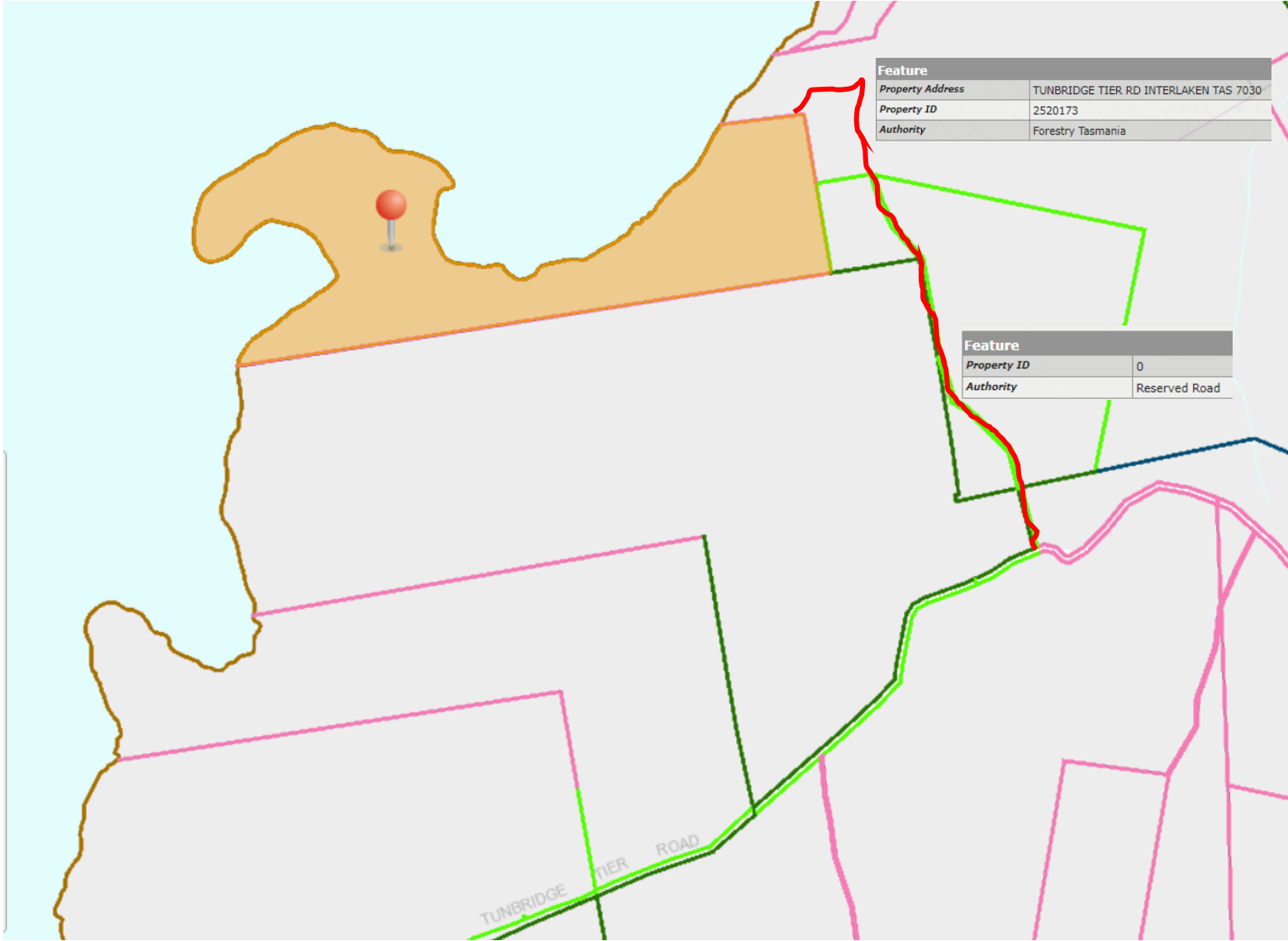
- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I Philip Smith being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	By others		



Feature	
Property Address	TUNBRIDGE TIER RD INTERLAKEN TAS 7030
Property ID	2520173
Authority	Forestry Tasmania

Feature	
Property ID	0
Authority	Reserved Road

TUNBRIDGE TIER ROAD

GEO-ENVIRONMENTAL ASSESSMENT

Lot 1 Tunbridge Tier Road

Interlaken

June 2021



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Introduction

Client:	Nicole Ruff
Date of inspection:	28/5/2021
Location:	Lot 1 Tunbridge Tier Rd, Interlaken (CT:168930/1)
Land description:	Approx. 180ha lot
Building type:	Proposed dwelling
Investigation:	AMS PowerProbe
Inspected by:	A. Plummer

Background information

Map:	Mineral Resources Tasmania, 1:250 000
Rock type:	Jurassic dolerite
Soil depth:	1.5 – 2m+
Planning overlays:	Historic Heritage, Waterway and Coastal Protection Area
Local meteorology:	Annual rainfall approx. 700mm
Local services:	Tank water with onsite wastewater

Site conditions

Slope and aspect:	Approx 2-3% slope to the North West
Site drainage:	Moderately well drained
Vegetation:	Mixed native species
Weather conditions:	Cloudy, approx. 10mm rainfall received in preceding 7 days.
Ground surface:	Slightly moist surface conditions

Investigation

A number of excavations were completed to identify the distribution of, and variation in soil materials on the site. A representative excavation at the approximate location indicated in the site plan was chosen for testing and classification according to AS2870-2011 and AS1547-2012 (see profile summary).

Profile summary

Hole 1 Depth (m)	Hole 2 Depth (m)	Hole 3 Depth (m)	Horizon	Description
0.0 – 0.30	0.0 – 0.30	0.0 – 0.30	A1	Dark Brown CLAYEY SAND (SC) , single grain, slightly moist medium dense consistency, gradual boundary to
0.30 – 0.60	0.30 – 0.50	0.30 – 0.50	B21	Yellowish Brown CLAYEY SAND (SC) , weak polyhedral structure, slightly moist medium dense consistency, gravels increasing with depth, gradual boundary to
0.60 – 1.50	0.50 – 0.80	0.50 – 2.0+	B22	Yellowish Brown SANDY CLAY (CL) , moderate polyhedral structure slightly moist stiff consistency, medium plasticity, gradual boundary to
	0.80 – 2.00		BC	Brownish Yellow SANDY SILT (ML) , moist very stiff consistency, weathered rock

Soil profile notes

Soils on the site have developed from Jurassic dolerite sediment and consist of gravelly and stony profiles dominated by clayey subsoils.

Site Classification

According to AS2870-2011 for construction the natural soil is classified as **Class M**, which is a moderately reactive site. Design and construction must be made in accordance with this classification.

Wind Classification

The AS 4055-2012 *Wind load for Housing* classification of the site is:

Region:	A
Terrain category:	TC2
Shielding Classification:	NS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed ($V_{h,u}$)	50 m/sec

Wastewater Classification & Recommendations

According to AS1547-2012 (on-site waste-water management) the natural soil is classified as **LIGHT CLAY (category 5)**. It is proposed to accommodate onsite wastewater using a dual-purpose septic tank with onsite absorption. A Design Loading Rate (DLR) of 7L/m²/day has therefore been assigned for primary treated effluent.

The proposed two-bedroom dwelling has a calculated maximum wastewater output of 480L/day. This is based on a tank water supply and a maximum occupancy of 5 people (120L/day/person).

Using the DLR of 7L/m²/day, an absorption area of at least 70m² will be required. This can be accommodated by two 20m x 1.8m x 0.6m absorption trenches connected to a dual-purpose septic tank (min 3000L) via a two-way splitter box to ensure equal distribution.

A cut-off drain will be required upslope of the application area to divert any surface water flows. A 100% reserve area must also be set aside and kept free from development for any future wastewater requirements. There is sufficient space available onsite to accommodate the required reserve due to the large property size (approx. 170ha). Therefore, a formal reserve area has not been assigned.

The following setback distances are required to comply with the Building Act 2016:

Upslope or level buildings:	3m
Downslope buildings:	6m
Upslope or level boundaries:	40m
Downslope boundaries:	4m
Downslope surface water:	29m

Compliance with Building Act 2016 Guidelines for On-site Wastewater Management Systems is outlined in the attached table.

The proposed onsite wastewater system will be located outside of the Waterway and Coastal Protection Area.

Construction recommendations

The natural soil is classified as **Class M**, which is a moderately reactive soil. All earthworks on site must comply with AS 3798-2007. Consideration is required to drainage and sediment control on site during and after construction.

During construction GES will need to be notified of any variation to the soil conditions or wastewater loading as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Certified Professional Soil Scientist

GES P/L

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Assessment Report
Site assessment for on-site waste water disposal

Assessment for Nicole Ruff	Assess. Date	21-Jun-21
	Ref. No.	
Assessed site(s) Lot 1 Tunbridge Tier Rd Interlaken	Site(s) inspected	24-May-21
Local authority Central Highlands	Assessed by	John Paul Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

Wastewater Characteristics

Wastewater volume (L/day) used for this assessment = 480 (using the 'No. of bedrooms in a dwelling' method)
 Septic tank wastewater volume (L/day) = 160
 Sullage volume (L/day) = 320
 Total nitrogen (kg/year) generated by wastewater = 4.3
 Total phosphorus (kg/year) generated by wastewater = 1.8

Climatic assumptions for site (Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	41	37	37	43	35	32	45	47	43	47	44	54
Adopted rainfall (R, mm)	41	37	37	43	35	32	45	47	43	47	44	54
Retained rain (Rr, mm)	37	33	33	39	32	29	41	42	39	42	40	49
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	93	77	58	24	11	1	-9	0	24	42	65	77
Annual evapotranspiration less retained rain (mm) =												463

Soil characteristics

Texture = Light clay Category = 5 Thick. (m) = 2
 Adopted permeability (m/day) = 0.24 Adopted LTAR (L/sq m/day) = 7 Min depth (m) to water = 5

Proposed disposal and treatment methods

Proportion of wastewater to be retained on site:	All wastewater will be disposed of on the site
The preferred method of on-site primary treatment:	In dual purpose septic tank(s)
The preferred method of on-site secondary treatment:	In-ground
The preferred type of in-ground secondary treatment:	Trench(es)
The preferred type of above-ground secondary treatment:	None
Site modifications or specific designs:	Not needed

Suggested dimensions for on-site secondary treatment system

Total length (m) = 39
 Width (m) = 1.8
 Depth (m) = 0.6
 Total disposal area (sq m) required = 70
 comprising a Primary Area (sq m) of: 70
 and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

To enter comments, click on the line below 'Comments'. (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

The calculated DLR for the category 5 soil present is 7L/sq m/day. An absorption area of at least 70sq m will be required. Therefore the system should have the capacity to cope with predicted climatic and loading events.

GES P/L**Land suitability and system sizing for on-site wastewater management**

Trench 3.0 (Australian Institute of Environmental Health)

Site Capability Report**Site assessment for on-site waste water disposal**

Assessment for Nicole Ruff

Assess. Date 21-Jun-21

Ref. No.

Assessed site(s) Lot 1 Tunbridge Tier Rd Interlaken

Site(s) inspected 24-May-21

Local authority Central Highlands

Assessed by John Paul Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	5,000	V. high	Very low		
	Density of disposal systems	/sq km	1	Mod.	Very low		
	Slope angle	degrees	2	High	Very low		
	Slope form	Straight simple		High	Low		
	Surface drainage	Imperfect		High	Moderate		
	Flood potential	Site floods <1:100 yrs		High	Very low		
	Heavy rain events	Infrequent		High	Moderate		
	Aspect (Southern hemi.)	Faces NE or NW		V. high	Low		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	480	High	Low		
	SAR of septic tank effluent		1.4	High	Low		
	SAR of sullage		2.5	High	Moderate		
	Soil thickness	m	2.0	V. high	Very low		
	Depth to bedrock	m	2.0	V. high	Low		
	Surface rock outcrop	%	0	V. high	Very low		
	Cobbles in soil	%	0	V. high	Very low		
	Soil pH		5.5	High	Low		
	Soil bulk density	gm/cub. cm	1.5	High	Low		
	Soil dispersion	Emerson No.	8	V. high	Very low		
	Adopted permeability	m/day	0.24	Mod.	Very low		
	Long Term Accept. Rate	L/day/sq m	7	High	Moderate		

To enter comments, click on the line below 'Comments' . (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

The site has the capability to accept onsite wastewater.

GES P/L

Land suitability and system sizing for on-site wastewater management
Trench 3.0 (Australian Institute of Environmental Health)

Environmental Sensitivity Report
Site assessment for on-site waste water disposal

Assessment for Nicole Ruff

Assess. Date 21-Jun-21

Ref. No.

Assessed site(s) Lot 1 Tunbridge Tier Rd Interlaken

Site(s) inspected 24-May-21

Local authority Central Highlands

Assessed by John Paul Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Cation exchange capacity	mmol/100g	75	High	Moderate		
	Phos. adsorp. capacity	kg/cub m	0.6	High	Moderate		
	Annual rainfall excess	mm	-463	High	Very low		
	Min. depth to water table	m	5	High	Very low		
	Annual nutrient load	kg	6.1	High	Low		
	G'water environ. value	Agric non-sensit		V. high	Low		
	Min. separation dist. required	m	2	High	Very low		
	Risk to adjacent bores	Very low		V. high	Very low		
	Surf. water env. value	Agric non-sensit		V. high	Low		
AA	Dist. to nearest surface water	m	50	V. high	Very high		
	Dist. to nearest other feature	m	50	V. high	Moderate		
	Risk of slope instability	Very low		V. high	Very low		
	Distance to landslip	m	200	V. high	Low		

To enter comments, click on the line below 'Comments'. (This yellow-shaded box and the buttons on this page will not be printed.)

Comments

Demonstration of wastewater system compliance to *Building Act 2016 Guidelines for On-site Wastewater Disposal*

Acceptable Solutions	Performance Criteria	Compliance
<p>A1</p> <p>Horizontal separation distance from a building to a land application area must comply with one of the following:</p> <ul style="list-style-type: none"> a) be no less than 6m; or b) be no less than: <ul style="list-style-type: none"> (i) 3m from an upslope building or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building. 	<p>P1</p> <ul style="list-style-type: none"> a) The land application area is located so that <ul style="list-style-type: none"> (i) the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.; and (ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation 	<p>Complies with A1 (a)</p> <p>Land application area will be located with minimum separation distance to proposed building of 3m.</p>
<p>A2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b)</p> <ul style="list-style-type: none"> (a) be no less than 100m; or (b) be no less than the following: <ul style="list-style-type: none"> (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water. 	<p>P2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with all of the following:</p> <ul style="list-style-type: none"> a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable. 	<p>Complies with A2 (b) (i)</p> <p>Land application area located 40m from downslope surface water (29m required)</p>

<p>A3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with either of the following:</p> <p>(a) be no less than 40m from a property boundary; or</p> <p>(b) be no less than:</p> <p style="padding-left: 40px;">(i) 1.5m from an upslope or level property boundary; and</p> <p style="padding-left: 40px;">(ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or</p> <p style="padding-left: 40px;">(iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.</p>	<p>P3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p>	<p>Complies with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary</p> <p>Complies with A3 (b) (ii) Land application area will be located with a minimum separation distance of 40m of downslope property boundary (4m required)</p>
<p>A4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p>	<p>P4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable</p>	<p>Complies with A4 No bore or well identified within 50m</p>

<p>A5</p> <p>Vertical separation distance between groundwater and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.6m if secondary treated effluent</p>	<p>P5</p> <p>Vertical separation distance between groundwater and a land application area must comply with the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable</p>	<p>Complies with A5 (a)</p> <p>No groundwater encountered</p>
<p>A6</p> <p>Vertical separation distance between a limiting layer and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.5m if secondary treated effluent</p>	<p>P6</p> <p>Vertical setback must be consistent with AS/NZS1547 Appendix R.</p>	<p>Complies with A6 (a)</p> <p>No limiting layer identified</p>
<p>A7</p> <p>nil</p>	<p>P7</p> <p>A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties</p>	<p>Complies</p>

AS1547:2012 – Loading Certificate – Septic System Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

Site Address: Lot 1 Tunbridge Tier Rd, Interlaken (CT 168930/1)

System Capacity: 4 people @ 120L/person/day

Summary of Design Criteria

DLR: 7L/m²/day.

Absorption area: 70m²

Reserve area location /use: Not assigned – more than 100% available

Water saving features fitted: Standard fixtures

Allowable variation from design flows: 1 event @ 200% daily loading per quarter

Typical loading change consequences: Expected to be minimal due to capacity of system and site area (provided loading changes within 25% of design)

Overloading consequences: Continued overloading may cause hydraulic failure of the absorption area and require upgrading/extension of the area. Risk considered acceptable due to visible signs of overloading and owner monitoring.

Underloading consequences: Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Risk considered acceptable.

Lack of maintenance / monitoring consequences: Issues of underloading/overloading and condition of the absorption area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Septic tank de-sludging must also be monitored to prevent excessive sludge and scum accumulation. Monitoring and regulation by the property owner required to ensure compliance.

Other operational considerations: Owners/occupiers must be aware of the operational requirements and limitations of the system, including the following; the absorption area must not be subject to traffic by vehicles or heavy stock and should be fenced if required. The absorption area must be kept with adequate grass cover to assist in evapotranspiration of treated effluent in the absorption trenches. The septic tank must be desludged at least every 3 years, and any other infrastructure such as septic tank outlet filters must also be cleaned regularly (approx. every 6 months depending upon usage). Foreign materials such as rubbish and solid waste must be kept out of the system.

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work
or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of Work'
Relevant calculations:	Reference the above report.
References:	AS2870-2011 residential slabs and footings AS1726-2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J3437

21/06/2021



A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)

Description of work:

(new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
<input type="checkbox"/>	Building design	Architect or Building Designer
<input type="checkbox"/>	Structural design	Engineer or Civil Designer
<input type="checkbox"/>	Fire Safety design	Fire Engineer
<input type="checkbox"/>	Civil design	Civil Engineer or Civil Designer
<input checked="" type="checkbox"/>	Hydraulic design	Building Services Designer
<input type="checkbox"/>	Fire service design	Building Services Designer
<input type="checkbox"/>	Electrical design	Building Services Designer
<input type="checkbox"/>	Mechanical design	Building Service Designer
<input type="checkbox"/>	Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
<input type="checkbox"/>	Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

Dual-purpose septic tank with onsite absorption

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Jun-21
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Jun-21
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by: Geo-Environmental Solutions	Date: Jun-21

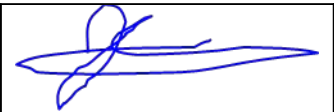
Standards, codes or guidelines relied on in design process:	
AS1547-2012 On-site domestic wastewater management.	
AS3500 (Parts 0-5)-2013 Plumbing and drainage set.	

Any other relevant documentation:	
Geo-Environmental Assessment - Lot 1 Tunbridge Tier Road, Interlaken - Jun-21	
Geo-Environmental Assessment - Lot 1 Tunbridge Tier Road, Interlaken - Jun-21	

Attribution as designer:	
---------------------------------	--

I John-Paul Cumming, am responsible for the design of that part of the work as described in this certificate;
The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		21/06/2021
Licence No:	CC774A		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater’s sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater’s infrastructure
- The works will not damage or interfere with TasWater’s works
- The works will not adversely affect TasWater’s operations
- The work are not within 2m of TasWater’s infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater’s water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I John-Paul Cumming..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	John-Paul Cumming		21/06/2021



Wastewater system:

Dual-purpose septic tank (min 3000L)

Cut-off drain
Two-way splitter box

Absorption Trenches
2 x 20m x 1.8m x 0.6m

Min 3m separation

Min 3m from upslope or level buildings
Min 6m from downslope buildings
Min 1.5m from upslope or level boundaries
Min 4m from downslope boundaries
Min 29m from downslope surface water

Refer to GES report

SITE DATA:

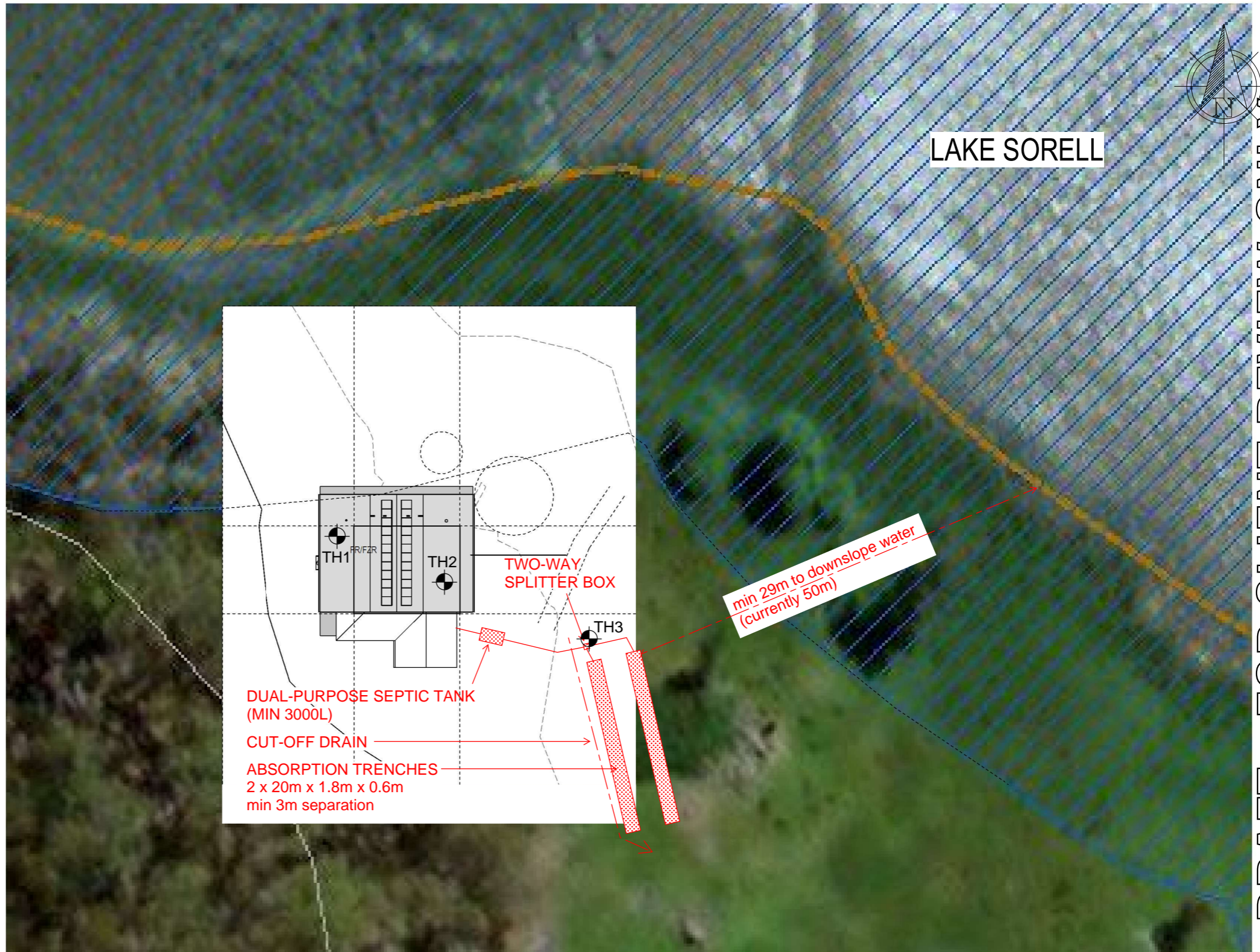
LAND TITLE REF. No. : LOT 1 ON SEALED PLAN 168930
CLIMATE ZONE : ASSUMED ZONE 7
DESIGN WIND SPEED : T.B.A.
SOIL CLASSIFICATION : T.B.A.
BAL RATING : BAL-12.5 T.B.C.

BUILDING AREAS:

EXISTING DWELLING : 000.0m²
EXISTING SHED : 00.0m²
TOTAL : 000.0m²

SITE COVERAGE:

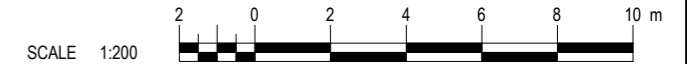
LOT SIZE : 0000m²
TOTAL FOOTPRINT : 000.0m²
SITE COVERAGE : 0.00%



PRELIMINARY

PART SITE PLAN

SCALE 1 : 500 @ A3



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

DRAFT - FOR CLIENT REVIEW ONLY

REV.	DESCRIPTION	REFERENCE	DESIGNED Designer	SMEEKES DRAFTING PTY LTD ABN 89 056 706 640 12 Warwick Street, Hobart, TAS 7000 Office Phone: (03) 6234 6185 Email: admin@smeekesdrafting.com Website: www.smeekesdrafting.com Building Designer Licence Nos. 723026951, 619068752 & CC6621	CLIENT Owner
0	ISSUED FOR CLIENT FOR REVIEW. 00-00-0000	SHEET TITLE 000-CLIENT	DRAWN Author		TITLE Project Name Enter address here
			CHECKED Checker		SITE PLAN
			BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	Building Designer Licence Nos. 723026951, 619068752 & CC6621	DRG No.
					SHT. A03
					SCALE 1 : 500
					A3

Design notes:

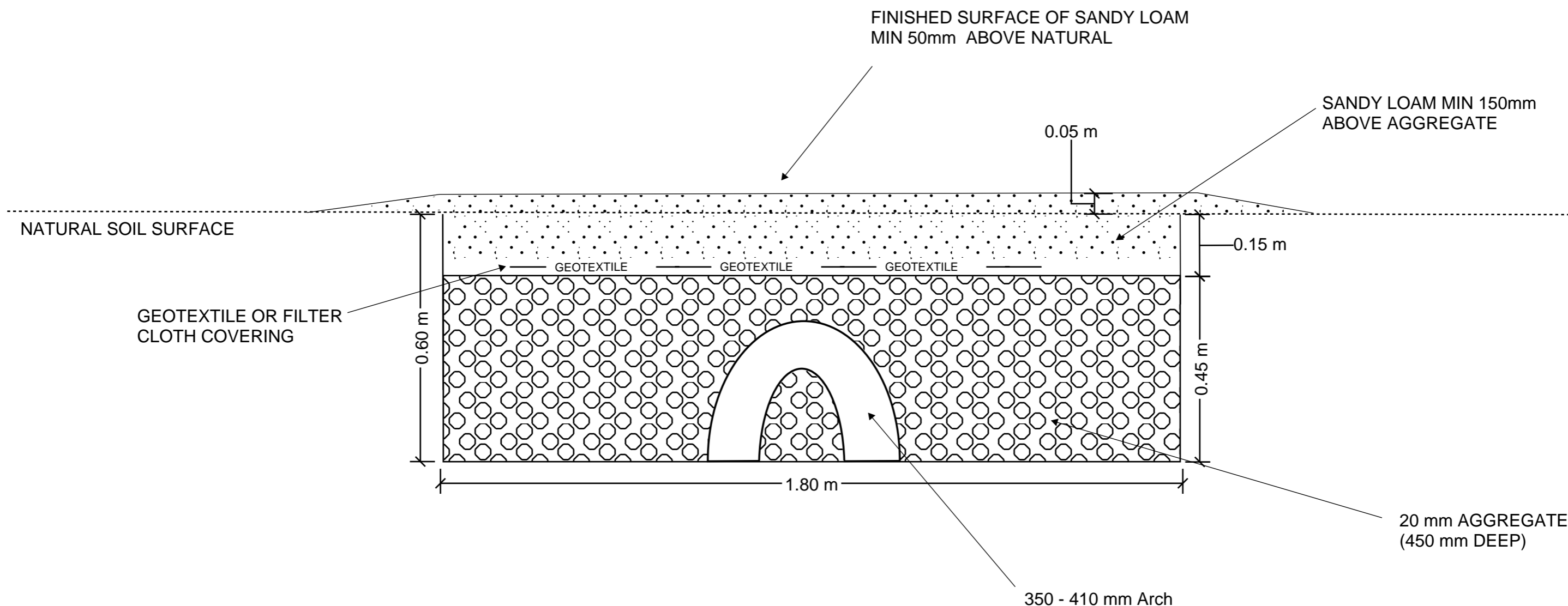
1. Absorption trench dimensions of up to 20m long by 0.60m deep by 1.8m wide
– total storage volume calculated at average 35% porosity.
2. Base of trenches to be excavated level and smearing and compaction avoided.
3. 350-410mm Arch should be placed in the centre of trench
4. Geotextile or filter cloth to be placed over the distribution arch to prevent clogging
5. Construction on slopes up to 10% to allow trench depth range 650mm upslope edge to 450mm on down slope edge
6. Dispersive soils gypsum to be incorporated into the base of the trench at a rate of 1kg/m²
7. All works on site to comply with AS3500 and Tasmanian Plumbing code.



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
T| 62231839 E| office@geosolutions.net.au



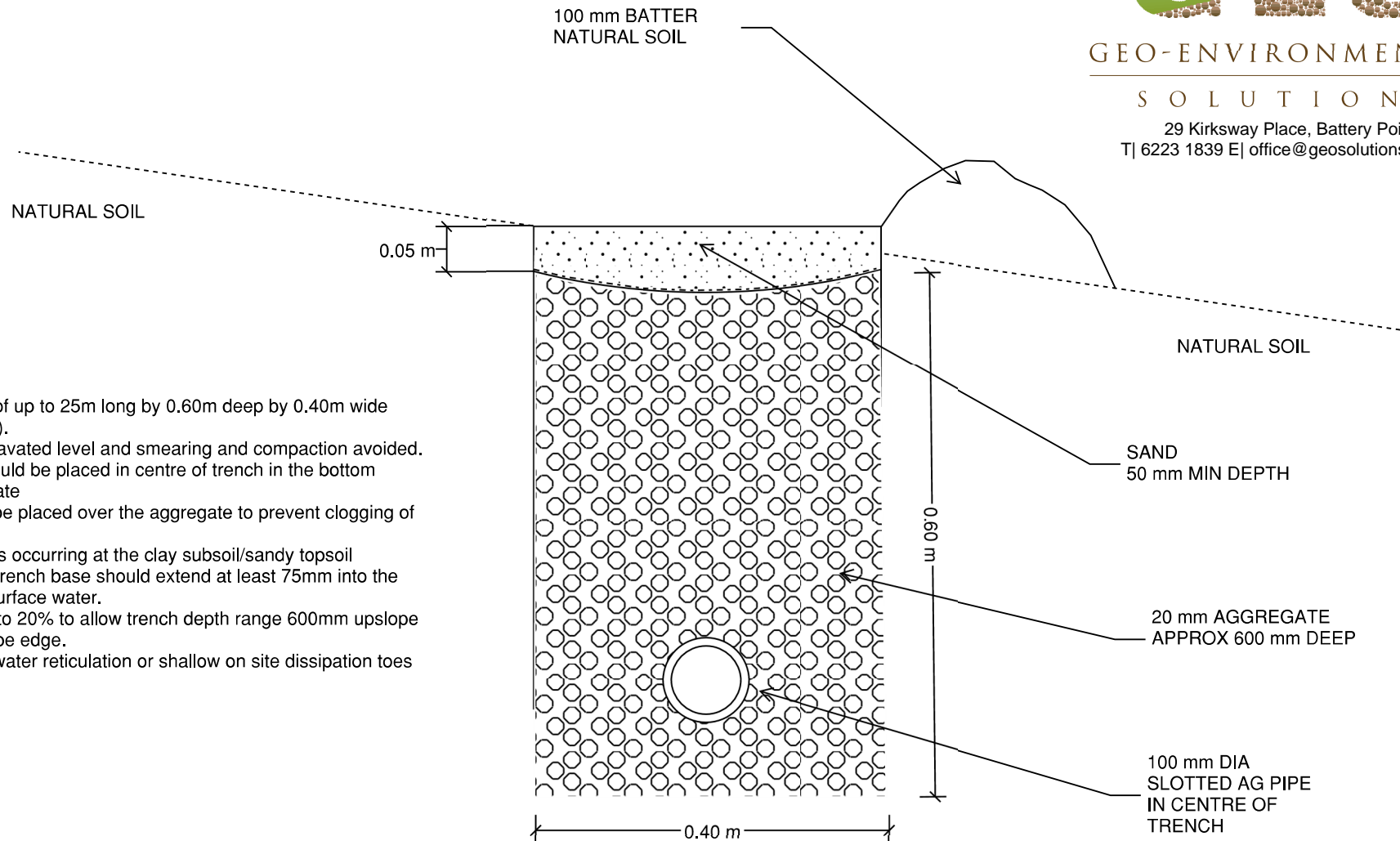
Do not scale from these drawings.
Dimensions to take precedence
over scale.

Geo-Environmental Solutions

Date: Jun 2020

Terraced Absorption Trench Detail

Sheet 1 of 1



Design notes:

1. Cut-off trench dimensions of up to 25m long by 0.60m deep by 0.40m wide (depths and widths minimum).
2. Base of trenches to be excavated level and smearing and compaction avoided.
3. 100mm slotted ag-pipe should be placed in centre of trench in the bottom 100mm of the 20mm aggregate
4. Geotextile or filter cloth to be placed over the aggregate to prevent clogging of the pipes and aggregate
5. If shallow subsurface flow is occurring at the clay subsoil/sandy topsoil boundary (duplex soils), the trench base should extend at least 75mm into the subsoil clay to capture sub-surface water.
6. Construction on slopes up to 20% to allow trench depth range 600mm upslope edge to 400mm on down slope edge.
7. Trench discharge to stormwater reticulation or shallow on site dissipation toes across the contour.