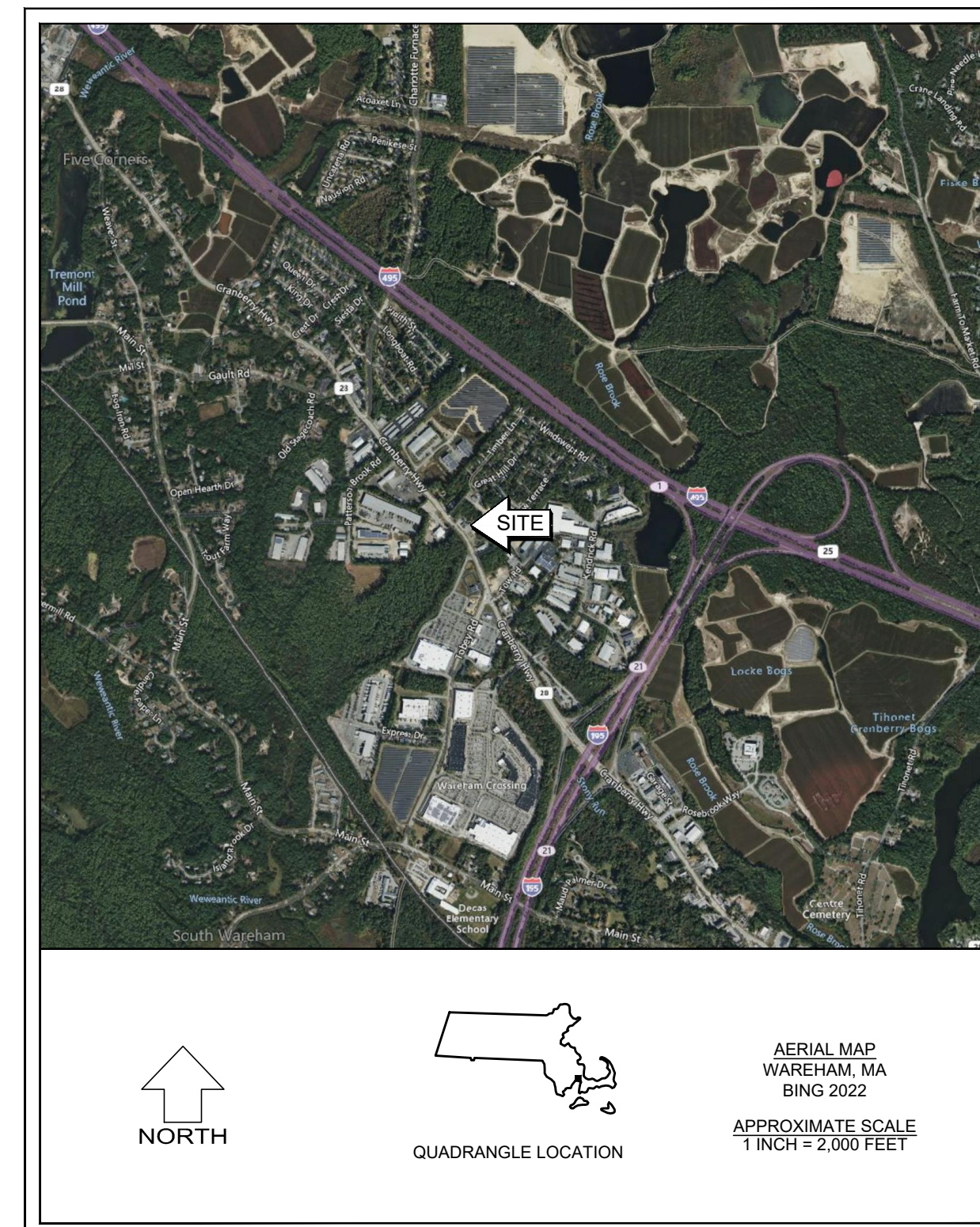


TRUE STORAGE FACILITY

2400 & 2402 CRANBERRY HIGHWAY
WAREHAM, MASSACHUSETTS

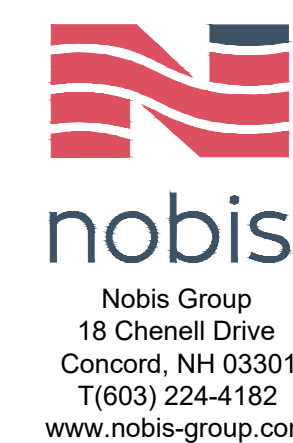
SITE ENGINEER
NOBIS GROUP - LOWELL, MA
ARCHITECT
BRADY SULLIVAN PROPERTIES - MANCHESTER, NH
SURVEYOR
CONTROL POINT ASSOCIATES, INC. - SOUTHBOROUGH, MA
SEPTIC DESIGNER
PROVENCHER ENGINEERING, LLC - MERRIMACK, NH



JULY 18, 2022
LATEST REVISION NOVEMBER 9, 2022

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LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
SUBJECT PROPERTY LINE		DRAIN MANHOLE	
OTHER PROPERTY LINE			
SETBACKS		CATCH BASIN	
EASEMENT			
STONE WALL		UTILITY POLE	
RETAINING WALL			
EDGE OF WETLAND		PAD MOUNTED TRANSFORMER	
STREAM / RIVER			
TREE LINE		SANITARY SEWER MANHOLE	
CHAIN LINK FENCE			
STOCKADE FENCE		SANITARY SEWER CLEAN-OUT	
GUARDRAIL (STEEL)			
GUARDRAIL (WOOD)		HYDRANT	
CENTERLINE			
EDGE OF GRAVEL		WATER VALVE	
EDGE OF PAVEMENT			
VERTICAL GRANITE CURB		WATER SHUT OFF	
TIP DOWN			
MAJOR CONTOUR		WATER SUPPLY WELL	
MINOR CONTOUR			
DRAIN LINE		GAS SHUT OFF	
ROOF DRAIN		GAS METER	
FOUNDATION DRAIN			
SWALE FLOW DIRECTION		SPOT GRADE	
SILT FENCE / WATTLE			
OVERHEAD UTILITY WIRE		CURB SPOT GRADE	
UNDERGROUND ELECTRIC			
UNDERGROUND TELECOM		SIGN POST	
SANITARY SEWER LINE			
WATER LINE		LIGHT POLE	
WATER SERVICE			
GAS LINE		TREE	
ZONING BOUNDARY LINE			
FLOOD ZONE LINE		CONCRETE	
		GRAVEL	
		RIP RAP	
		FLOW DIRECTION	
		INLET PROTECTION	
		SLOPE & DIRECTION	
		TEST PIT LOCATION	
		BORING LOCATION	
		MONITORING WELL LOCATION	
		PERC. TEST LOCATION	
		PHOTO LOCATION / DIRECTION	
		STEEP SLOPE	

GENERAL NOTES:

- THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT TITLED "STORMWATER MANAGEMENT REPORT FOR TRUE STORAGE FACILITY, 2400 & 2402 CRANBERRY HIGHWAY, WAREHAM, MA" DATED MARCH 2022 PREPARED BY NOBIS GROUP.
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "BOUNDARY & LOCATION SURVEY, 2400, 2402, & 2406 CRANBERRY HIGHWAY," DATED JULY 12, 2022, PROVIDED TO NOBIS GROUP BY CONTROL POINT ASSOCIATES, INC.
- THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR BRADY SULLIVAN PROPERTIES. FOR REVIEW BY THE TOWN OF WAREHAM VARIOUS DEPARTMENTS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT).
- THE CONTRACTOR SHALL OBTAIN COVERAGE UNDER EPA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FOR CONSTRUCTION ACTIVITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND IMPLEMENTING AN ENVIRONMENTAL PROTECTION AGENCY (EPA) STORM WATER POLLUTION PREVENTION PLAN PRIOR TO THE START OF CONSTRUCTION AND DURING CONSTRUCTION ON-SITE IN ACCORDANCE WITH THE EPA REGULATIONS UNDER THE CLEAN WATER ACT.

EROSION CONTROL NOTES:

CATCH BASINS: CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

SCHEDULE OF WORK
THIS WORK IS ANTICIPATED TO BEGIN IN THE SUMMER/FALL 2022 WITH A FINAL COMPLETION DATE IN SUMMER/FALL 2023. NO WINTER EARTH DISTURBANCE IS EXPECTED FOR THIS PROJECT. SHOULD WINTER WORK BE REQUIRED, THIS PLAN AND THE ACCOMPANYING STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE MODIFIED ACCORDINGLY.

ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.

- * DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
- * NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
- * PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
- * WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
- * WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- * AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
- * REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

EROSION CONTROL IMPLEMENTATION SCHEDULE
THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- * PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- * BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- * INSTALL PERMANENT STORM DRAIN SYSTEM.
- * INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- * REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
- * PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION:
EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

TEMPORARY GRADING: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDING AREAS WITHIN 48 HOURS AFTER SEEDING.

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
1. BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
 4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

EXCAVATION DEWATERING: SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MG/L), RESPECTIVELY.

STORMWATER POLLUTION PREVENTION PLAN:
THE PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE USEPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT, WHICH INCLUDES A WRITTEN STORM WATER POLLUTION PREVENTION (SWPPP) PLAN FOR CONSTRUCTION. THE SWPPP PLAN SHALL OUTLINE DETAILED SPECIFICATIONS FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, SHALL BE RESPONSIBLE FOR AMENDING THE SWPPP ACCORDINGLY, AND SHALL BE RESPONSIBLE FOR ANY PENALTIES RESULTING FROM LACK OF COMPLIANCE.

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:

GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

EROSION CONTROL SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN.)
WINTER RYE 80 (MIN.)	80 (MIN.)	85
RED FESCUE (CREEPING)	4 (MIN.)	80
PERENNIAL RYE GRASS	3 (MIN.)	90
RED CLOVER	3 (MIN.)	90
OTHER CROP GRASS	0.5 (MAX.)	
NOXIOUS WEED SEED	0.5 (MAX.)	
INERT MATTER	1.0 (MAX.)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN.)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

WINTER CONSTRUCTION NOTES:

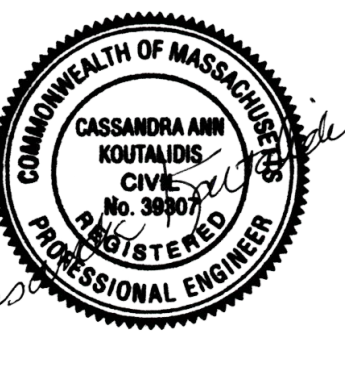
ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.



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TRUE STORAGE FACILITY

2400 & 2402
CRANBERRY HWY
WAREHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
3	11/09/22	RESPONSE TO MASSDOT COMMENTS
2	10/26/22	RESPONSE TO MASSDOT COMMENTS
1	07/18/22	RESPONSE TO MASSDOT COMMENTS

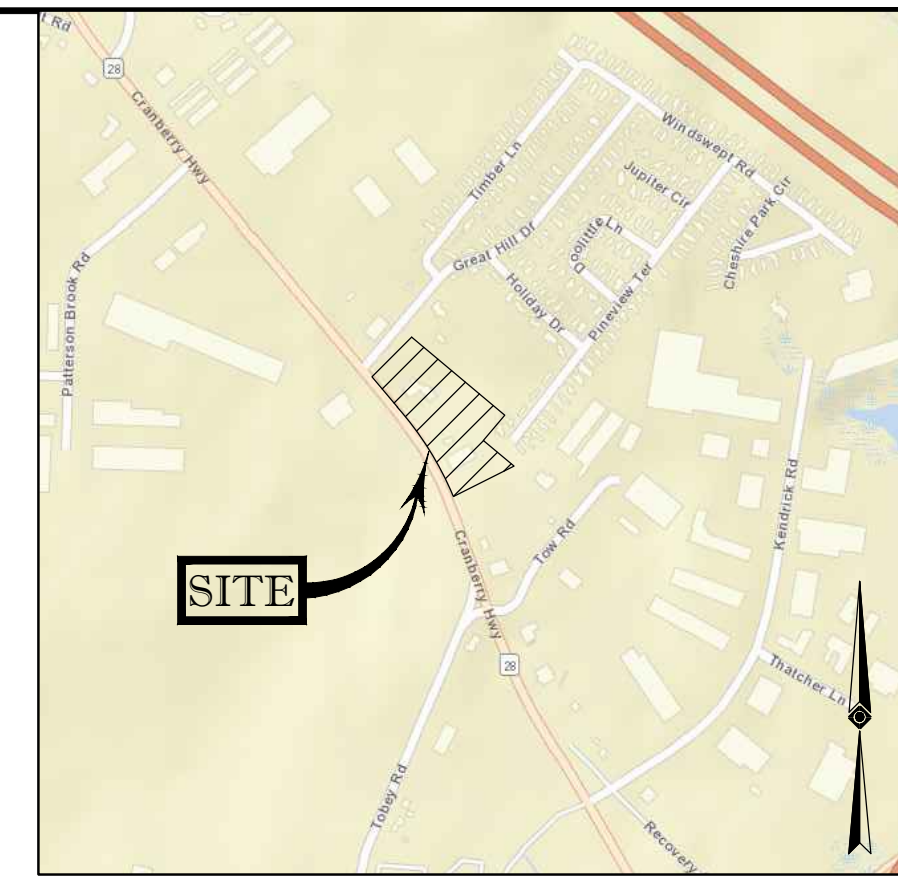
REVISIONS

SCALE:
AS NOTED

DATE:	APRIL 2022
NOBIS PROJECT NO.	95561.15
DRAWN BY:	SM
CHECKED BY:	CK
CAD DRAWING FILE:	95561.15-C-005-NOTES & LEGEND.dwg
SHEET TITLE	

GENERAL NOTES AND LEGEND

SHEET
G-1



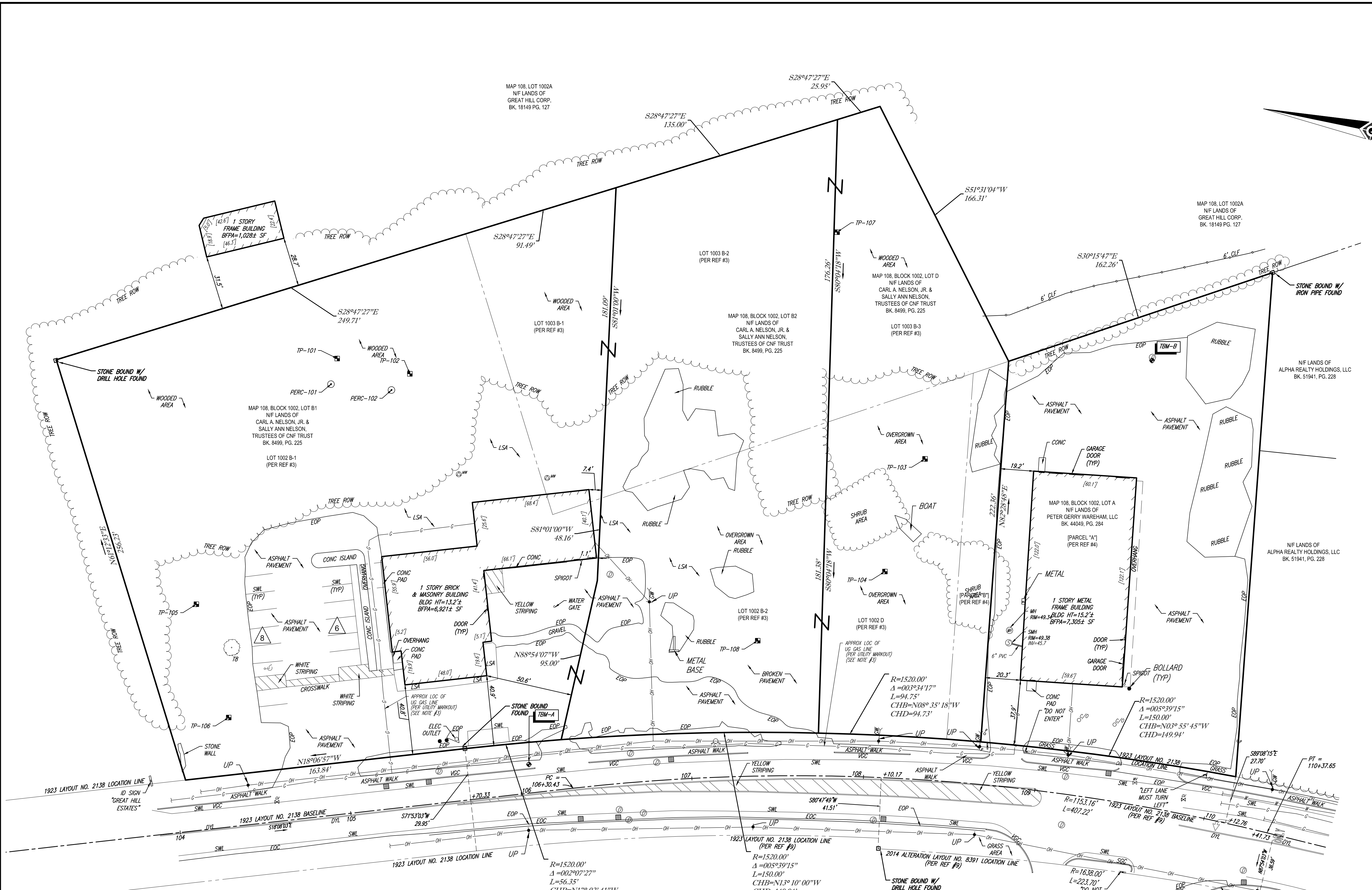
LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

NOTES:

- PROPERTY KNOWN AS LOTS A, B1, B2 & D AS SHOWN ON THE TOWN OF WAREHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 108.
- AREA: LOT A = 38,487 SQUARE FEET OR 0.883 ACRES
LOT B-1 = 80,363 SQUARE FEET OR 1.845 ACRES
LOT B-2 = 44,797 SQUARE FEET OR 1.028 ACRES
LOT D = 31,218 SQUARE FEET OR 0.717 ACRES
TOTAL = 194,865 SQUARE FEET OR 4.466 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- LOCUS PROPERTIES ARE LOCATED WHOLLY WITHIN THE INDUSTRIAL ZONING DISTRICT.
- SUBJECT PROPERTIES WERE CHECKED FOR THE PRESENCE OF WETLANDS ON JANUARY 12, 2021 BY GODDARD CONSULTING, LLC, CERTIFIED WETLAND SCIENTISTS. NO WETLANDS WERE FOUND ON THE PROPERTIES.
- PROPERTY LINES BETWEEN LOTS A, B-1, B-2 & D TO BE ELIMINATED AT FUTURE DATE.

REFERENCES:

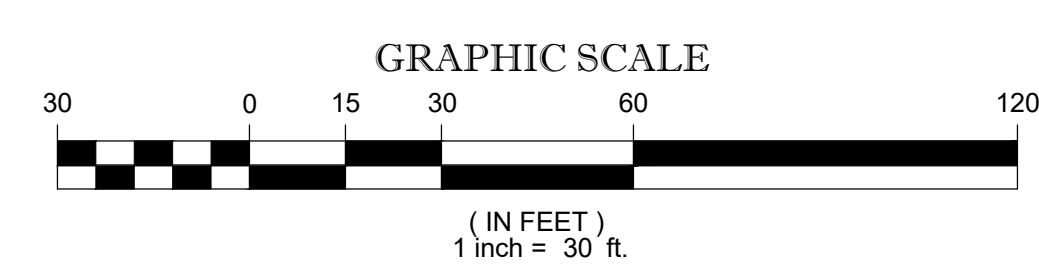
- THE TAX ASSESSOR'S MAP OF WAREHAM, PLYMOUTH COUNTY, MAP #108.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PLYMOUTH COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 486 OF 650," MAP NUMBER 25023C0486J, MAP EFFECTIVE DATE: JULY 17, 2012.
- MAP ENTITLED "DIVISION OF LAND PREPARED FOR M. EDWIN STRAWN, CRANBERRY HIGHWAY, WAREHAM, MASS." PREPARED BY CHARLES ROWLEY & ASSOCIATES, DATED OCTOBER 19, 1977. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 19, PLAN 971.
- MAP ENTITLED "PLAN OF LAND TO BE CONVEYED BY ALFRED H. HERMANSON & JOHN W. HERMANSON, CRANBERRY HIGHWAY, WAREHAM, MASS." PREPARED BY WALTER E. ROWLEY & ASSOCIATES, DATED MAY 7, 1968. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 3444, PLAN 537.
- MAP ENTITLED "PLAN OF LAND TO BE CONVEYED BY GREAT HILL MOBILEHOMES, INC., & ELMER MERRITT STRAWN, CRANBERRY HIGHWAY, WAREHAM, MASS." PREPARED BY WALTER E. ROWLEY & ASSOCIATES, DATED DECEMBER 17, 1971. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 3802, PLAN 606.
- MAP ENTITLED "PLAN OF LAND SURVEYED FOR ELMER MERRITT STRAWN, GREAT HILL, WAREHAM, MASS." PREPARED BY WALTER E. ROWLEY & ASSOCIATES, DATED NOVEMBER 24, 1969. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 3584, PLAN 696.
- MAP ENTITLED "APPROVAL NOT REQUIRED PLAN DRAWN FOR: NANCY S. ANGUS, TRUSTEE OF CRANWAY REALTY TRUST, 2416 CRANBERRY HIGHWAY, LLC, 2404, 2416, 2414 CRANBERRY HIGHWAY & TOW ROAD, LOTS 1, 2, 3, & 4, MAP 108, TOWN OF WAREHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JANUARY 30, 2019. LAST REVISED MARCH 20, 2019. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 63, PLAN 1009.
- MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF WAREHAM, PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS, DIVISION OF HIGHWAYS," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED NOVEMBER 6, 1923. LAYOUT NO. 2138, SHEET 10 OF 16.
- MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF WAREHAM, PLYMOUTH COUNTY, ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, DATED JUNE 12, 2014. LAYOUT NO. 8391, SHEET 1 OF 5.
- MAP ENTITLED "APPROVAL NOT REQUIRED PLAN, DRAWN FOR DONALD ANGUS IN WEST WAREHAM, MASSACHUSETTS, PREPARED FOR: CRANWAY REALTY TRUST," PREPARED BY EASTBOUND LAND SURVEY, INC., DATED FEBRUARY 3, 2006. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 52, PLAN 105.



CRANBERRY HIGHWAY
(PUBLIC-VARIABLE WIDTH)

LEGEND

	HYDRANT		TYPICAL
	WATER VALVE		DMH DRAINAGE/STORM MANHOLE
	GAS VALVE		SMH SANITARY/SEWER MANHOLE
	OVERHEAD WIRES		MH UNKNOWN MANHOLE
	APPROX. LOC. UNDERGROUND GAS LINE		CB CATCH BASIN OR INLET
	UTILITY POLE		TREE & TRUNK SIZE
	GUY WIRE		PARKING SPACE COUNT
	CLEAN OUT		DEPRESSED CURB
	SIGN		SWL SOLID WHITE LINE
	BOLLARD		SYL SOLID YELLOW LINE
	POST		DYL DOUBLE YELLOW LINE
	CHAIN LINK FENCE		HT HEIGHT
	EDGE OF CONCRETE		BLDG BUILDING
	EDGE OF PAVEMENT		BFPA BUILDING FOOTPRINT AREA
	LANDSCAPED AREA		SBWH STONE BOUND W/DRILL HOLE



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

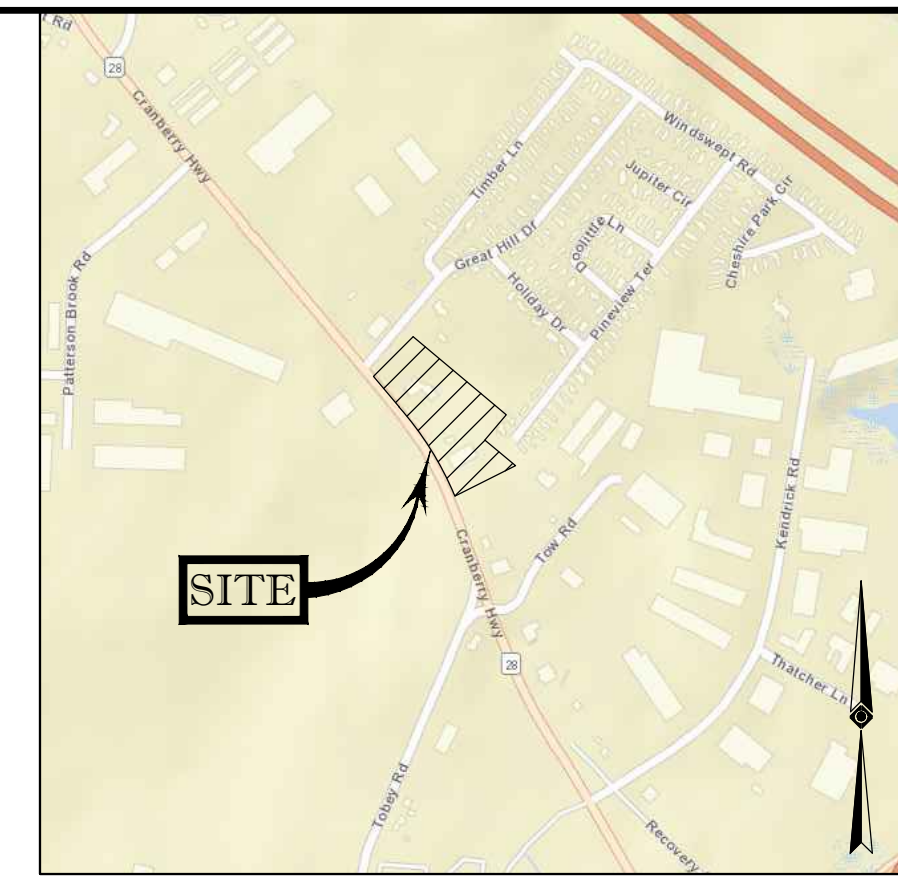
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FIELD BOOK PGS.	80-82	FIELD CREW	C.W.
REVISION	2	DATE	01-25-2021
DESCRIPTION OF REVISION	UPDATED PER MA DOT COMMENTS	SCALE	1"=30'
FIELD CREW	C.W.	FILE NO.	03-200378
DRAWN	R.J.K.	DWG. NO.	1 OF 1
APPROVED	G.L.H.		

BOUNDARY & LOCATION SURVEY
NOBIS ENGINEERING
2400, 2402 & 2406 CRANBERRY HIGHWAY
LOTS A, B1, B2 & D, BLOCK 1002, MAP 108
TOWN OF WAREHAM, PLYMOUTH COUNTY
COMMONWEALTH OF MASSACHUSETTS

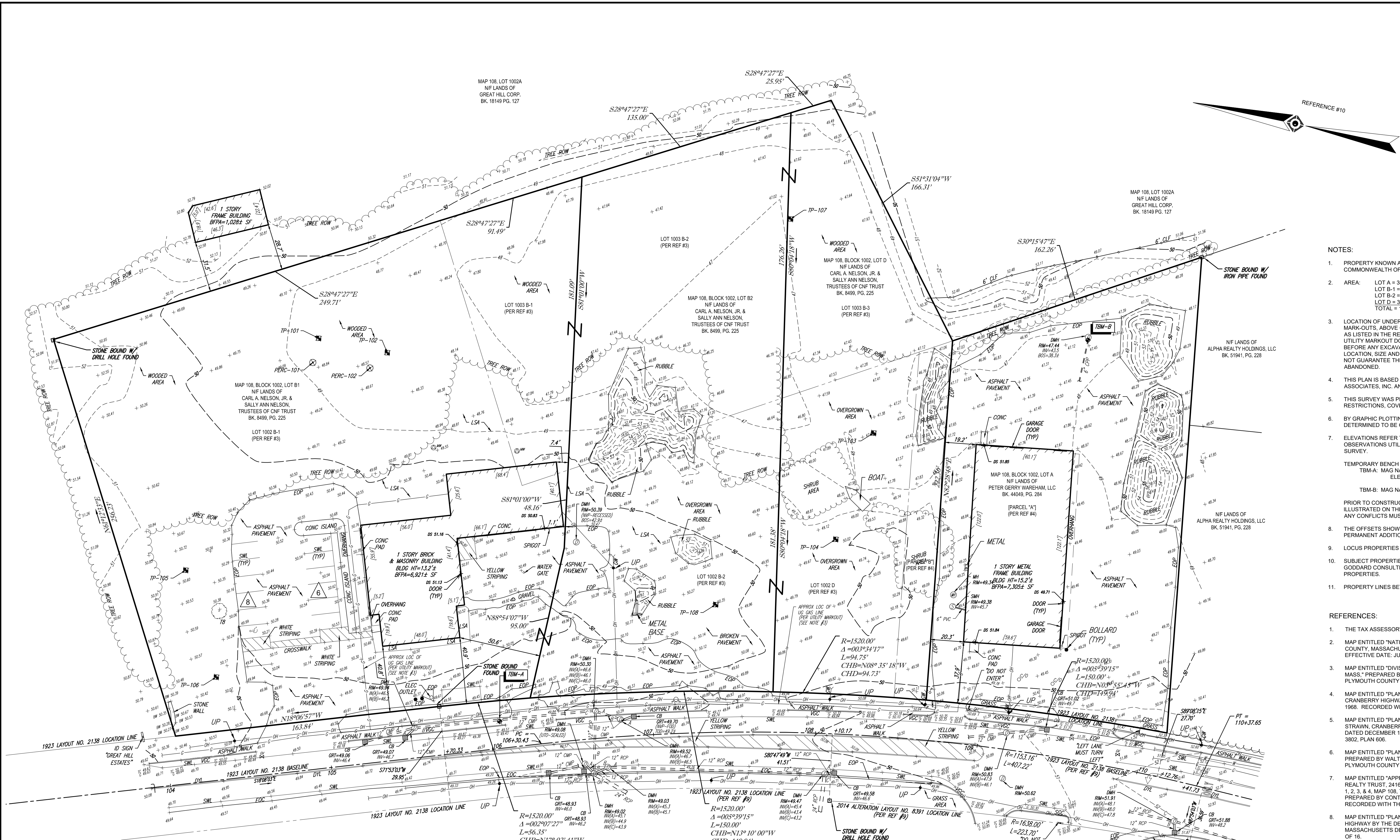
CONTROL POINT ASSOCIATES, INC.
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HAUPPAUGE, NY 631-580-2645
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2899
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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LOCUS MAP
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NOT TO SCALE



- NOTES:**
- PROPERTY KNOWN AS LOTS A, B1, B2 & D AS SHOWN ON THE TOWN OF WAREHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 108.
 - AREA: LOT A = 38,487 SQUARE FEET OR 0.883 ACRES
LOT B-1 = 80,353 SQUARE FEET OR 1.845 ACRES
LOT B-2 = 44,797 SQUARE FEET OR 1.028 ACRES
LOT D = 31,219 SQUARE FEET OR 0.717 ACRES
TOTAL = 194,855 SQUARE FEET OR 4.466 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:**
TBM-A: MAG NAIL SET IN ASPHALT WALK ON EASTERLY SIDE OF CRANBERRY HIGHWAY. ELEVATION = 49.77'
TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT. ELEVATION = 47.47'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - LOCUS PROPERTIES ARE LOCATED WHOLLY WITHIN THE INDUSTRIAL ZONING DISTRICT.
 - SUBJECT PROPERTIES WERE CHECKED FOR THE PRESENCE OF WETLANDS ON JANUARY 12, 2021 BY GODDARD CONSULTING, LLC, CERTIFIED WETLAND SCIENTISTS. NO WETLANDS WERE FOUND ON THE PROPERTIES.
 - PROPERTY LINES BETWEEN LOTS A, B-1, B-2 & D TO BE ELIMINATED AT FUTURE DATE.

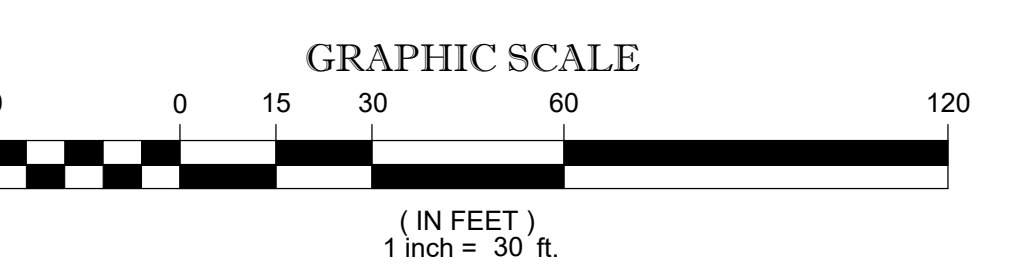
- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF WAREHAM, PLYMOUTH COUNTY, MAP #108.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PLYMOUTH COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 486 OF 650," MAP NUMBER 25023C0486J, MAP EFFECTIVE DATE: JULY 17, 2012.
 - MAP ENTITLED "DIVISION OF LAND PREPARED FOR R. EDWIN STRAWN, CRANBERRY HIGHWAY, WAREHAM, MASS." PREPARED BY CHARLES, ROWLEY & ASSOCIATES, DATED OCTOBER 19, 1977. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 19, PLAN 971.
 - MAP ENTITLED "PLAN OF LAND TO BE CONVEYED BY ALFRED H. HERMANSON & JOHN W. HERMANSON, CRANBERRY HIGHWAY, WAREHAM, MASS." PREPARED BY WALTER E. ROWLEY & ASSOCIATES, DATED MAY 7, 1968. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 3444, PLAN 537.
 - MAP ENTITLED "PLAN OF LAND TO BE CONVEYED BY GREAT HILL MOBILEHOMES, INC. & ELMER MERRITT STRAWN, CRANBERRY HIGHWAY, WAREHAM, MASS." PREPARED BY WALTER E. ROWLEY & ASSOCIATES, DATED DECEMBER 17, 1971. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 3802, PLAN 606.
 - MAP ENTITLED "PLAN OF LAND SURVEYED FOR ELMER MERRITT STRAWN, GREAT HILL, WAREHAM, MASS." PREPARED BY WALTER E. ROWLEY & ASSOCIATES, DATED NOVEMBER 24, 1969. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 3584, PLAN 698.
 - MAP ENTITLED "APPROVAL NOT REQUIRED PLAN DRAWN FOR: NANCY S. ANGUS, TRUSTEE OF CRAN-WAY REALTY TRUST, 2416 CRANBERRY HIGHWAY, LLC, 2404, 2416, 2414 CRANBERRY HIGHWAY & TOW ROAD, LOTS 1, 2, 3, 4, MAP 108, TOWN OF WAREHAM, PLYMOUTH COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JANUARY 30, 2019. LAST REVISED MARCH 20, 2019. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 63, PLAN 1009.
 - MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF WAREHAM, PLYMOUTH COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS, DIVISION OF HIGHWAYS," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED NOVEMBER 6, 1923. LAYOUT NO. 2138, SHEET 10 OF 16.
 - MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF WAREHAM, PLYMOUTH COUNTY, ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, DATED JUNE 12, 2014. LAYOUT NO. 8391, SHEET 1 OF 5.
 - MAP ENTITLED "APPROVAL NOT REQUIRED PLAN, DRAWN FOR DONALD ANGUS IN WEST WAREHAM, MASSACHUSETTS, PREPARED FOR CRAN-WAY REALTY TRUST," PREPARED BY EASTBOWN LAND SURVEY, INC., DATED FEBRUARY 3, 2006. RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS AS PLAN BOOK 52, PLAN 105.

LEGEND

--- 124 ---	EXISTING CONTOUR	CLF	CHAIN LINK FENCE
--- 125 ---	EXISTING SPOT ELEVATION	ECF	EDGE OF CONCRETE
X 123.45	EXISTING TOP OF CURB ELEVATION	EOP	EDGE OF PAVEMENT
X G 122.95	EXISTING GUTTER ELEVATION	LSA	LANDSCAPED AREA
X 1W 123.45	EXISTING TOP OF WALL ELEVATION	(TYP)	TYPICAL
X BW 122.95	EXISTING BOTTOM OF WALL ELEVATION	DMH	DRAINAGE/STORM MANHOLE
X OS 123.45	EXISTING DOOR SILL ELEVATION	SMH	SANITARY/SEWER MANHOLE
HYDRANT	HYDRANT	MH	UNKNOWN MANHOLE
WATER VALVE	WATER VALVE	CB	CATCH BASIN OR INLET
GAS VALVE	GAS VALVE	T	TREE & TRUNK SIZE
OVERHEAD WIRES	OVERHEAD WIRES	P	PARKING SPACE COUNT
APPROX. LOC. UNDERGROUND GAS LINE	APPROX. LOC. UNDERGROUND GAS LINE	DC	DEPRESSED CURB
UTILITY POLE	UTILITY POLE	SWL	SOLID WHITE LINE
GUY WIRE	GUY WIRE	SYL	SOLID YELLOW LINE
CLEAN OUT	CLEAN OUT	DYL	DOUBLE YELLOW LINE
SIGN	SIGN	HT	HEIGHT
BOLLARD	BOLLARD	BLDG	BUILDING
POST	POST	BPPA	BUILDING FOOTPRINT AREA
		SBWH	STONE BOUND W/DRILL HOLE

CRANBERRY HIGHWAY
(PUBLIC-VARIABLE WIDTH)

TWO WAY TRAFFIC
(ASPHALT ROADWAY)



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

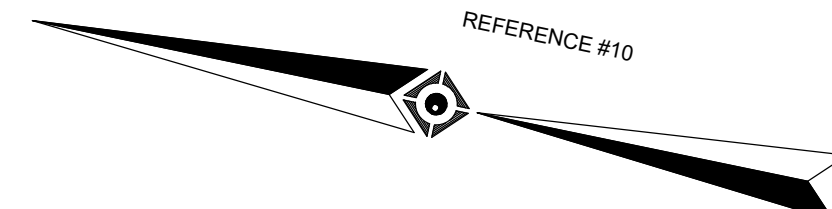
2	UPDATED PER MA DOT COMMENTS	R.J.K.	G.L.H.	7-12-2022	
1	REVISED TO ADD BORING LOCATIONS	C.W.	M.D.	11-13-21	
	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	01-12-2021				
FIELD BOOK NO.	20-17 MA				
FIELD BOOK PGS.	80-82				
FIELD CREW	C.W.				
DRAWN	R.J.K.				
APPROVED	G.L.H.	DATE	01-25-2021	SCALE	1"=30'
FILE NO.	03-200378	DWG. NO.	1	OF	1

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
NOBIS ENGINEERING
2400, 2402 & 2406 CRANBERRY HIGHWAY
LOTS A, B1, B2 & D, BLOCK 1002, MAP 108
TOWN OF WAREHAM, PLYMOUTH COUNTY
COMMONWEALTH OF MASSACHUSETTS

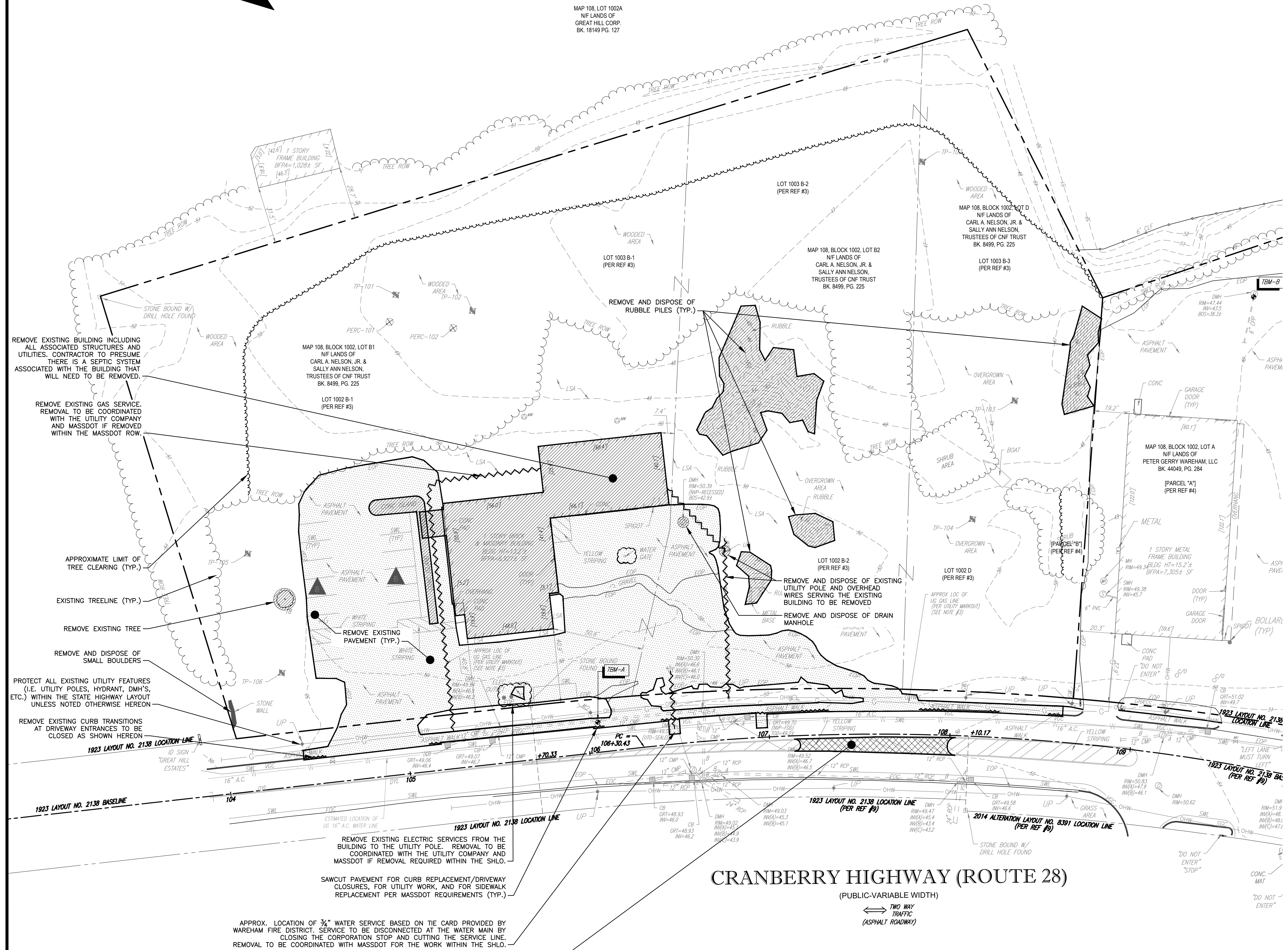
CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHAFFONT, PA 215-712-9800
HAUPPAUGE, NY 631-890-2445
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-657-2999
WARREN, NJ 908-664-0999

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PROJECT OR THE PURPOSE ORIGINAL INTENDED, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



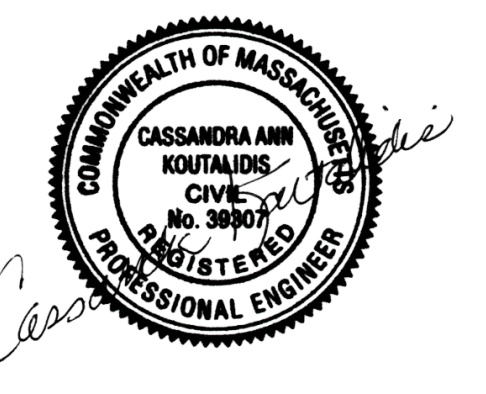
MAP 108, LOT 1002A
NF LANDS OF
GREAT HILL CORP.
BK. 18149, PG. 127



CRANBERRY HIGHWAY (ROUTE 28)

(PUBLIC-VARIABLE WIDTH)
TWO WAY TRAFFIC (ASPHALT ROADWAY)

- NOTES:**
- REFER TO SURVEYOR'S PLAN FOR PLAN REFERENCES ADDITIONAL NOTES, EXISTING DRAINAGE AND SANITARY SEWER INVERT INFORMATION.
 - LOCATION AND ELEVATION OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE TOWN FIRE AND POLICE DEPARTMENTS.
 - DEMOLISH STRUCTURES AND SITE FEATURES AS SHOWN HEREON AND REMOVE PAVEMENT TO LIMITS INDICATED.
 - CONTRACTOR IS RESPONSIBLE FOR OFF-SITE DISPOSAL OF CONSTRUCTION DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 - CONTRACTOR WILL COORDINATE REMOVAL/RELOCATION OF UNDERGROUND GAS AND OVERHEAD UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
 - ABATEMENT OF HAZARDOUS MATERIALS SUCH AS LEAD PAINT, ASBESTOS, ETC., WILL BE PERFORMED BY A LICENSED CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION. A PRE-DEMOLITION SURVEY WILL BE PERFORMED BY CONTRACTOR PRIOR TO THE START OF DEMOLITION ACTIVITIES TO ENSURE PROPER DEMOLITION AND DISPOSAL PROCEDURES.
 - DEMOLITION SEQUENCING WILL BE AS DIRECTED BY THE PRIME CONTRACTOR AND THE ARCHITECT.
 - ALL WORK PERFORMED TO CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE MUNICIPAL CONSTRUCTION STANDARDS AND MASSDOT CONSTRUCTION STANDARDS WITHIN THE ROUTE 28 RIGHT-OF-WAY.
 - REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND FOR CONSTRUCTION SEQUENCING NOTES.
 - CONTRACTOR WILL NOTIFY OWNER, ENGINEER, AND ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 - CONTRACTOR WILL PROTECT ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
 - CONTRACTOR WILL PROTECT ALL SITE FEATURES OUTSIDE LIMIT OF WORK SHOWN HEREON. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING SITE FEATURES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
 - DEMOLITION/REMOVAL OF EXISTING STORMWATER STRUCTURES AND PIPING WILL BE CONDUCTED DRY CONDITIONS TO THE EXTENT PRACTICAL. INSTALLATION OF NEW STRUCTURES AND PIPE WILL BE CONDUCTED PRIOR TO DEMOLITION TO THE EXTENT PRACTICAL.
 - EXISTING SEPTIC SYSTEMS WITHIN THE WORK AREA WILL BE DISCONTINUED PRIOR TO DEMOLITION. CONTRACTOR WILL REMOVE EXISTING PIPES CONNECTING TO THE BUILDING AND THE SEPTIC SYSTEM. CONTRACTOR WILL THEN DRAIN AND REMOVE EXISTING SEPTIC TANKS. ALL MATERIALS TO BE DISPOSED OF OFF-SITE.
 - VEHICULAR AND NON-VEHICULAR ACCESS PERMITS FROM MASSDOT ARE REQUIRED FOR THE WORK WITHIN THE ROUTE 28 RIGHT-OF-WAY.



NOT ISSUED FOR CONSTRUCTION

TRUE STORAGE FACILITY
2400 & 2402
CRANBERRY HWY
WAREHAM, MASSACHUSETTS

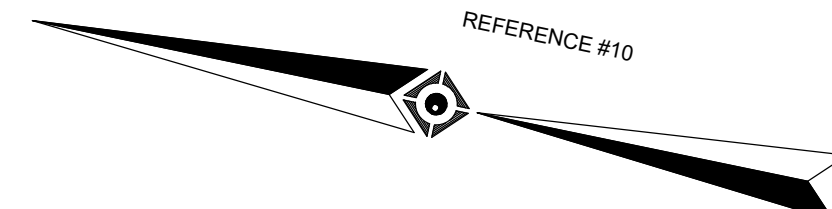
NO.	DATE	DESCRIPTION
1	11/09/22	RESPONSE TO MASSDOT COMMENTS
2	10/26/22	RESPONSE TO MASSDOT COMMENTS
3	07/18/22	RESPONSE TO MASSDOT COMMENTS

REVISIONS

DATE: APRIL 2022
NOBIS PROJECT NO. 95561.15
DRAWN BY: SM
CHECKED BY: CK
CAD DRAWING FILE: 95561.15-C-100-DEMO.dwg

DEMOLITION PLAN

SHEET
C-1



- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE LAYOUT FOR A PROPOSED STORAGE FACILITY BUILDING MERGING EXISTING LOTS A, B1, B2, & D FROM TAX MAP 108 BLOCK 1002.
 2. ALL BUILDING AND SITE CONSTRUCTION TO COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITY ACT (ADA) 2010 EDITION.
 3. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND / OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
 4. NO JURISDICTIONAL WETLANDS WERE FOUND ON THE SUBJECT PARCEL BASED ON AN INSPECTION MADE BY GODDARD CONSULTING, LLC'S CERTIFIED WETLAND SCIENTIST ON JANUARY 12, 2021.
 5. PROPOSED BUILDING WILL BE SERVICED BY MUNICIPAL WATER AND PRIVATE SEPTIC.
 6. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 7. A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
 8. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 9. CROSSWALK MARKINGS SHALL BE A MINIMUM OF 12-INCH WHITE REFLECTORIZED THERMOPLASTIC. CROSSWALK WIDTH SHALL BE 8 FEET.

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- PLAN REFERENCES:**
1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "BOUNDARY & LOCATION SURVEY: 2400, 2402, & 2406 CRANBERRY HIGHWAY", DATED JULY 12, 2022, PROVIDED TO NOBIS GROUP BY CONTROL POINT ASSOCIATES, INC.
 2. BUILDING FOOTPRINT REPRESENTS FIRST FLOOR PROVIDED TO NOBIS GROUP BY BRADY SULLIVAN ON APRIL 18, 2022. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS.

ZONING ANALYSIS

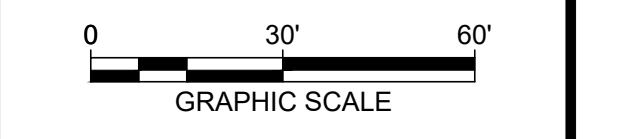
TAX MAP/BLOCK/LOT:	MAP 108 / BLOCK 1002 / LOTS A, B1, B2, & D
ADDRESS:	2400, 2402, & 2406 CRANBERRY HIGHWAY (MA ROUTE 28) WAREHAM, MASSACHUSETTS
ZONING DISTRICT:	INDUSTRIAL
MINIMUM LOT AREA	PROVIDED 30,000 SF
MINIMUM LOT FRONTAGE	PROVIDED 150'
MAXIMUM BUILDING COVERAGE	PROVIDED 50%
MAXIMUM LOT COVERAGE	PROVIDED 70% OR 60,000 SF
MAXIMUM BUILDING HEIGHT	PROVIDED 50'
BUILDING SETBACKS REQUIRED	REQUIRED
FRONT YARD	20' (50' ALONG MA ROUTE 28)
SIDE YARD	20'
REAR YARD	20'
LANDSCAPE BUFFER REQUIRED	REQUIRED
ADJACENT TO COMMERCIAL USE	REQUIRED
RESIDENTIAL	10'
COMMERCIAL/OFFICE	10'
INDUSTRIAL	20'

NOT ISSUED FOR CONSTRUCTION

TRUE STORAGE FACILITY
 2400 & 2402
 CRANBERRY HWY
 WAREHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
3	11/09/22	RESPONSE TO MASSDOT COMMENTS
2	10/26/22	RESPONSE TO MASSDOT COMMENTS
1	07/18/22	RESPONSE TO MASSDOT COMMENTS

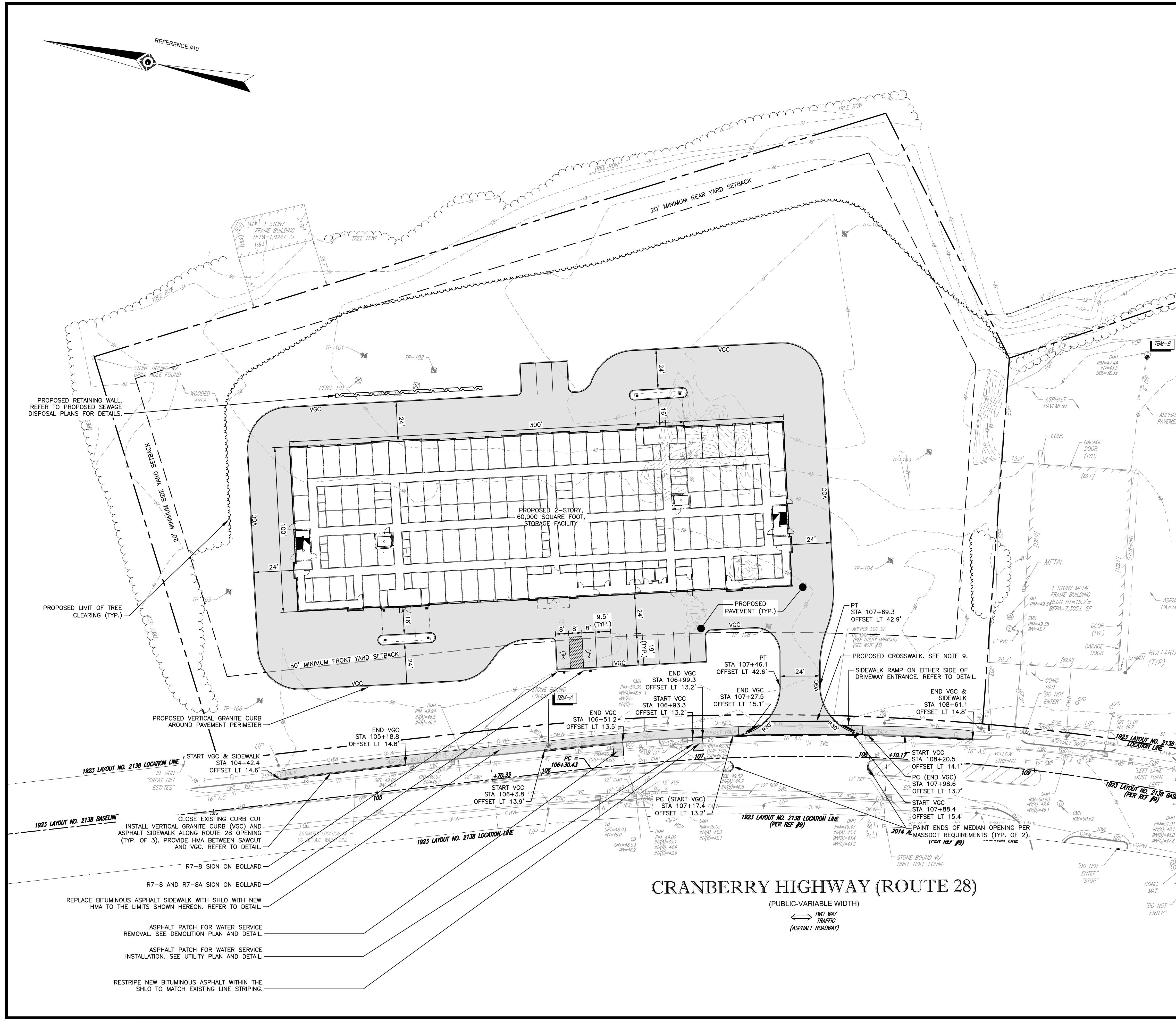
REVISIONS



DATE: APRIL 2022
 NOBIS PROJECT NO. 95561.15
 DRAWN BY: SM
 CHECKED BY: CK
 CAD DRAWING FILE: X-95561.15-BORDER.dwg
 SHEET TITLE

SITE LAYOUT PLAN

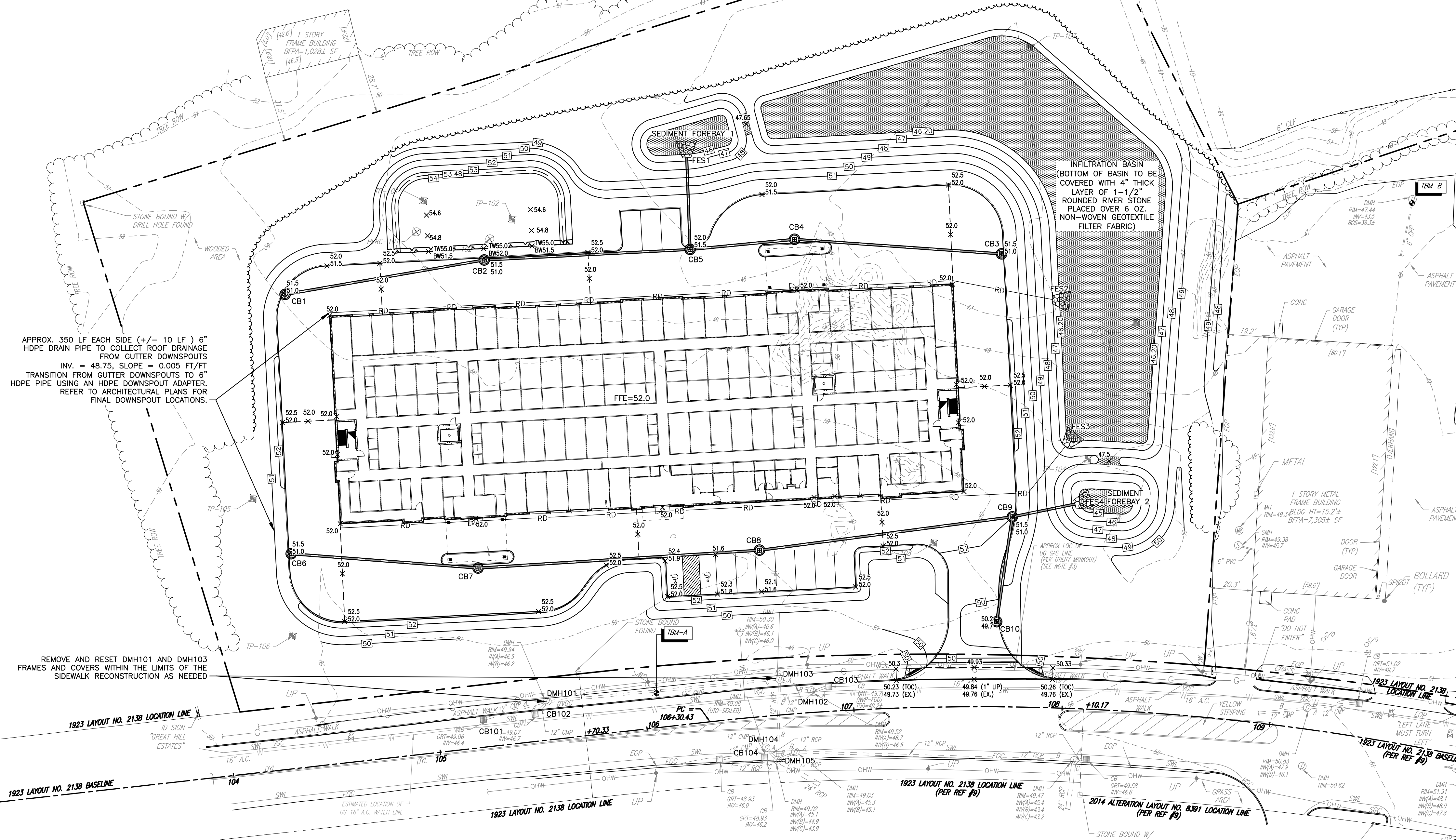
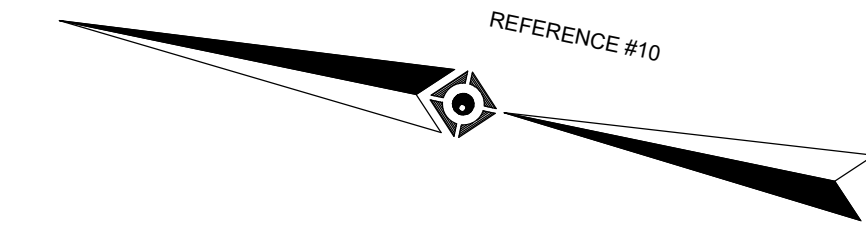
SHEET C-2



CRANBERRY HIGHWAY (ROUTE 28)

(PUBLIC-VARIABLE WIDTH)
 TWO WAY TRAFFIC (ASPHALT ROADWAY)

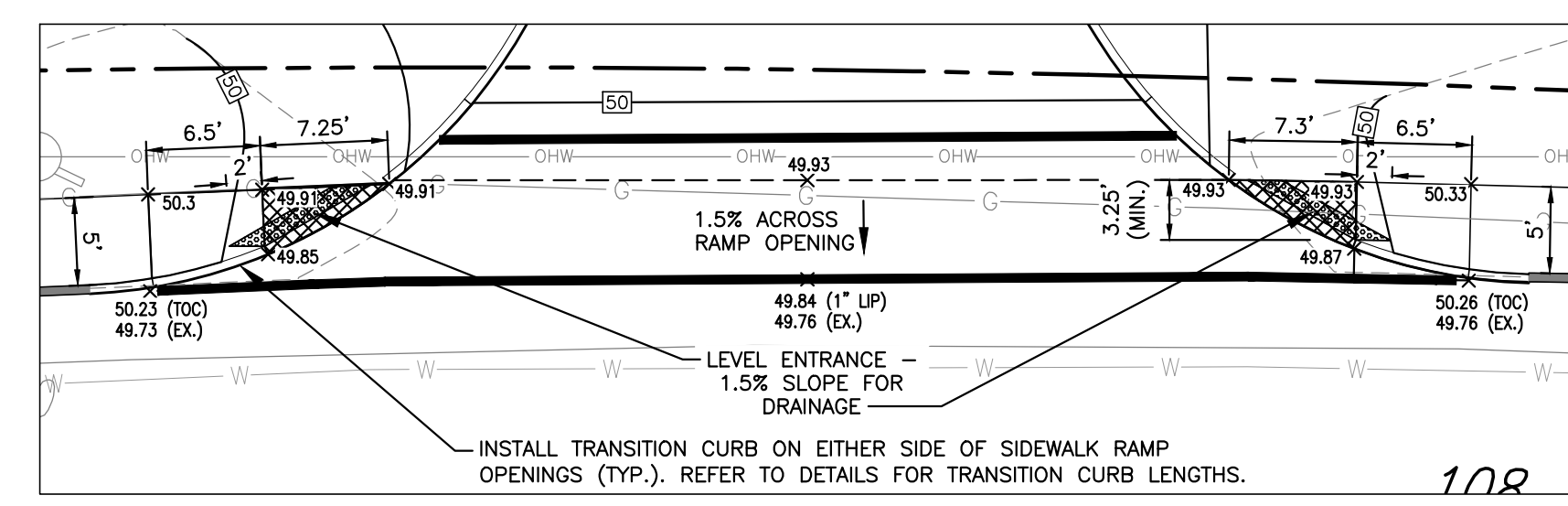
J:\95560.00 - Brady Sullivan Portfolio\95561.15 - 2400-2402 Cranberry Hwy - Wareham MA CAD\dwg\nobis files\X-95561.15-BORDER.dwg 11/09/2022 1:05 PM



APPROX. 350 LF EACH SIDE (+/- 10 LF) 6" HDPE DRAIN PIPE TO COLLECT ROOF DRAINAGE FROM GUTTER DOWNSPOUTS
 INV. = 48.75, SLOPE = 0.005 FT/FT
 TRANSITION FROM GUTTER DOWNSPOUTS TO 6" HDPE PIPE USING AN HDPE DOWNSPOUT ADAPTER. REFER TO ARCHITECTURAL PLANS FOR FINAL DOWNSPOUT LOCATIONS.

REMOVE AND RESET DMH101 AND DMH103 FRAMES AND COVERS WITHIN THE LIMITS OF THE SIDEWALK RECONSTRUCTION AS NEEDED

INFILTRATION BASIN
 (BOTTOM OF BASIN TO BE COVERED WITH 4" THICK LAYER OF 1-1/2" ROUNDED RIVER STONE PLACED OVER 6 OZ. NON-WOVEN GEOTEXTILE FILTER FABRIC)



SIDEWALK RAMP THROUGH DRIVEWAY INSET
 SCALE = 1"=10'

CRANBERRY HIGHWAY (ROUTE 28)

(PUBLIC-VARIABLE WIDTH)
 ← TWO WAY TRAFFIC (ASPHALT ROADWAY)

- NOTES:**
- REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR WILL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 - SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
 - FINISH WALK AND CURB ELEVATIONS WILL BE 6" ABOVE FINISH PAVEMENT.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK.
 - LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 - ALL WORK ON SITE. ALL UTILITY WORK AND ALL WORK WITHIN THE STATE HIGHWAY LAYOUT (SHL) WILL BE PERFORMED IN ACCORDANCE WITH THE MASSDOT STANDARD SPECIFICATIONS, LATEST EDITION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 - ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER WILL BE OVERLAIN WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
 - REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.

DRAINAGE SCHEDULE

- CB1**
 RIM = 51.0
 INV. OUT = 48.0
 L = 93 LF 12" HDPE (TO CB2)
 S = 0.0054 FT/FT
- CB2**
 RIM = 51.0
 INV. IN = 47.5
 INV. OUT = 47.4
 L = 95 LF 12" HDPE (TO CB5)
 S = 0.0053 FT/FT
- CB3**
 RIM = 51.0
 INV. OUT = 47.8
 L = 96 LF 12" HDPE (TO CB4)
 S = 0.0053 FT/FT
- CB4**
 RIM = 51.0
 INV. IN = 47.3
 INV. OUT = 47.2
 L = 46 LF 12" HDPE (TO CB5)
 S = 0.0065 FT/FT
- CB5**
 RIM = 51.5
 INV. IN = 46.9
 INV. IN = 46.9
 INV. OUT = 46.8
 L = 42 LF 12" HDPE (TO FES1)
 S = 0.0048 FT/FT
- FES1**
 INV. OUT = 46.6
- FES2**
 INV. OUT = 47.0
- FES3**
 INV. OUT = 47.0
- CB6**
 RIM = 51.0
 INV. OUT = 48.0
 L = 86 LF 12" HDPE (TO CB7)
 S = 0.0058 FT/FT
- CB7**
 RIM = 51.0
 INV. IN = 47.5
 INV. OUT = 47.4
 L = 131 LF 12" HDPE (TO CB9)
 S = 0.0053 FT/FT
- CB8**
 RIM = 51.2
 INV. IN = 46.7
 INV. OUT = 46.6
 L = 119 LF 12" HDPE (TO CB9)
 S = 0.005 FT/FT
- CB9**
 RIM = 51.0
 INV. IN = 46.0
 INV. IN = 46.0
 INV. OUT = 45.9
 L = 30 LF 12" HDPE (TO FES4)
 S = 0.005 FT/FT
- CB10**
 RIM = 49.7
 INV. OUT = 46.3
 L = 47 LF 12" HDPE (TO CB9)
 S = 0.0064 FT/FT
- FES4**
 INV. OUT = 45.75



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NOT ISSUED
 FOR
 CONSTRUCTION

TRUE STORAGE FACILITY
 2400 & 2402
 CRANBERRY HWY
 WAREHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
3	11/09/22	RESPONSE TO MASSDOT COMMENTS
4	10/26/22	RESPONSE TO MASSDOT COMMENTS
5	07/18/22	RESPONSE TO MASSDOT COMMENTS

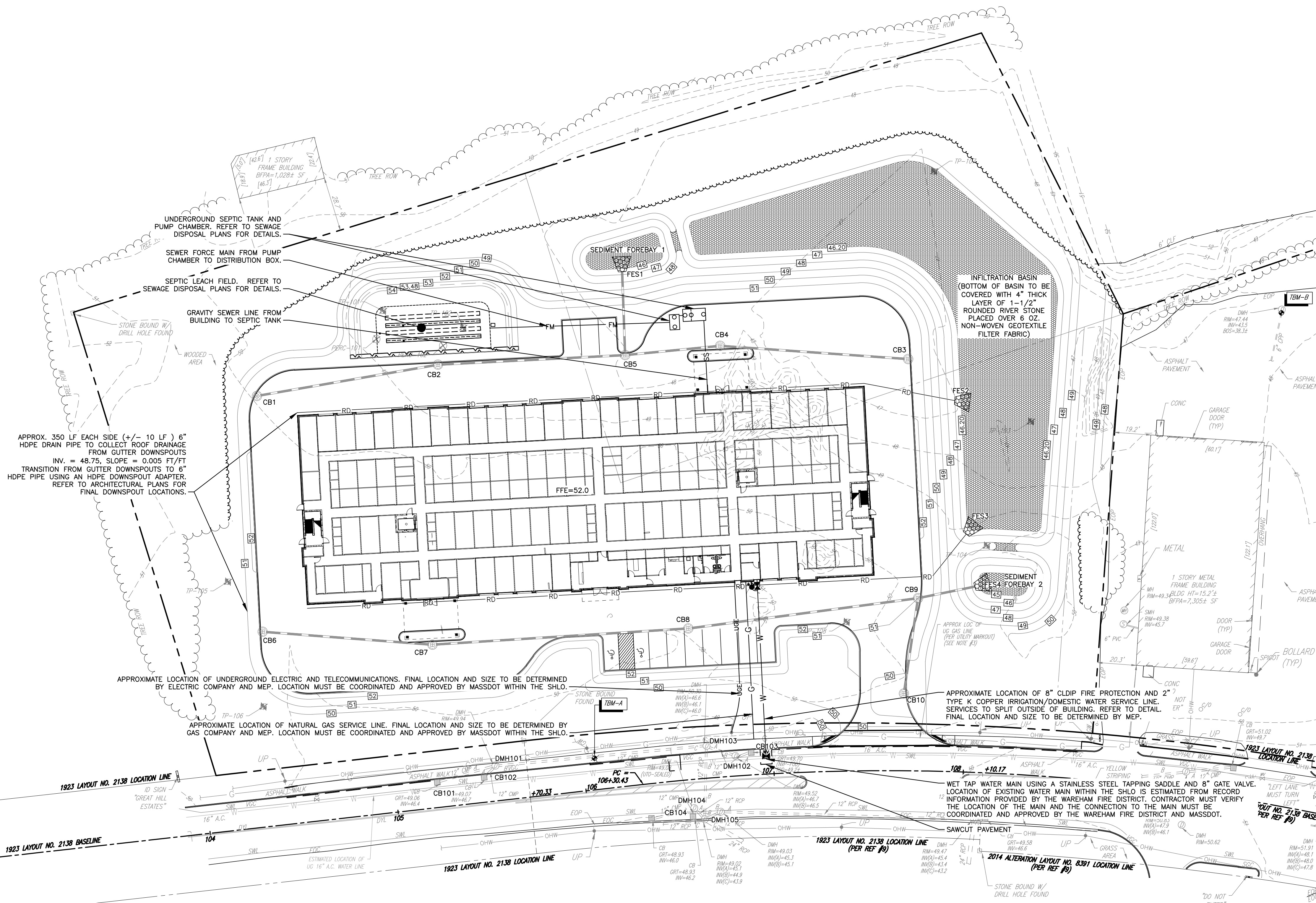
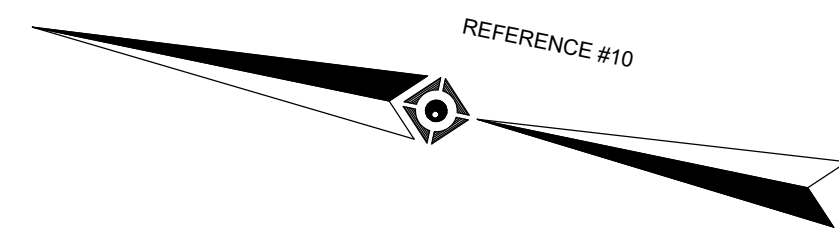
REVISIONS

0 30' 60'	
GRAPHIC SCALE	

DATE:	APRIL 2022
NOBIS PROJECT NO.	95561.15
DRAWN BY:	SM
CHECKED BY:	CK
CAD DRAWING FILE:	95561.15-C-300-G&D.dwg
SHEET TITLE	

GRADING & DRAINAGE PLAN

SHEET
C-3



APPROX. 350 LF EACH SIDE (+/- 10 LF) 6" HDPE DRAIN PIPE TO COLLECT ROOF DRAINAGE FROM GUTTER DOWNSPOUTS. INV. = 48.75, SLOPE = 0.005 FT/FT. TRANSITION FROM GUTTER DOWNSPOUTS TO 6" HDPE PIPE USING AN HDPE DOWNSPOUT ADAPTER. REFER TO ARCHITECTURAL PLANS FOR FINAL DOWNSPOUT LOCATIONS.

UNDERGROUND SEPTIC TANK AND PUMP CHAMBER REFER TO SEWAGE DISPOSAL PLANS FOR DETAILS.

SEWER FORCE MAIN FROM PUMP CHAMBER TO DISTRIBUTION BOX.

SEPTIC LEACH FIELD. REFER TO SEWAGE DISPOSAL PLANS FOR DETAILS.

GRAVITY SEWER LINE FROM BUILDING TO SEPTIC TANK.

APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS. FINAL LOCATION AND SIZE TO BE DETERMINED BY ELECTRIC COMPANY AND MEP. LOCATION MUST BE COORDINATED AND APPROVED BY MASSDOT WITHIN THE SHLO.

APPROXIMATE LOCATION OF NATURAL GAS SERVICE LINE. FINAL LOCATION AND SIZE TO BE DETERMINED BY GAS COMPANY AND MEP. LOCATION MUST BE COORDINATED AND APPROVED BY MASSDOT WITHIN THE SHLO.

INFILTRATION BASIN (BOTTOM OF BASIN TO BE COVERED WITH 4" THICK LAYER OF 1-1/2" ROUNDED RIVER STONE PLACED OVER 6 OZ. NON-WOVEN GEOTEXTILE FILTER FABRIC)

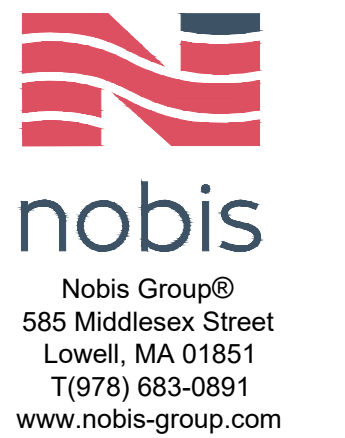
APPROXIMATE LOCATION OF 8" CLDIP FIRE PROTECTION AND 2" TYPE K COPPER IRRIGATION/DOMESTIC WATER SERVICE LINE. SERVICES TO SPLIT OUTSIDE OF BUILDING. REFER TO DETAIL. FINAL LOCATION AND SIZE TO BE DETERMINED BY MEP.

WET TAP WATER MAIN USING A STAINLESS STEEL TAPPING SADDLE AND 8" GATE VALVE. LOCATION OF EXISTING WATER MAIN WITHIN THE SHLO IS ESTIMATED FROM RECORD INFORMATION PROVIDED BY THE WAREHAM FIRE DISTRICT. CONTRACTOR MUST VERIFY THE LOCATION OF THE MAIN AND THE CONNECTION TO THE MAIN MUST BE COORDINATED AND APPROVED BY THE WAREHAM FIRE DISTRICT AND MASSDOT.

CRANBERRY HIGHWAY (ROUTE 28)

(PUBLIC-VARIABLE WIDTH)
 TWO WAY TRAFFIC (ASPHALT ROADWAY)

- NOTES:**
- REFER TO SURVEYOR'S PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
 - LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 - THE CONTRACTOR WILL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
 - THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES WILL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
 - ALL CONSTRUCTION WILL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES WILL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
 - THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
 - AS-BUILT PLANS WILL BE SUBMITTED TO TOWN OF WAREHAM AND MASSDOT.
 - CONTRACTOR WILL PLACE 2" WIDE METAL WIRE IMPREGNATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
 - PROPOSED RIM ELEVATIONS OF SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE.
 - DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
 - SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE. HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
 - CONTRACTOR WILL SET RIMS OF NEW SANITARY SEWER MANHOLES TO EXISTING FINISHED GRADE FOR THE WINTER SEASON. RIMS WILL BE RAISED IN THE SPRING PRIOR TO PLACEMENT OF 1" BITUMINOUS OVERLAY.
 - SERVICE LATERAL LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED IN THE FIELD BASED ON INPUT FROM TOWN INSPECTOR AND/OR PROJECT CLERK OF THE WORKS.
 - REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.



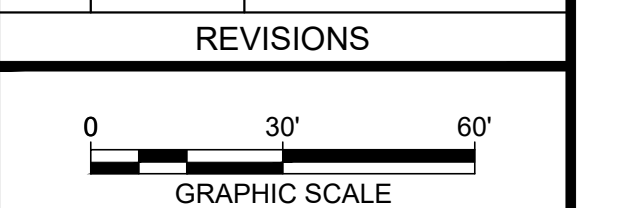
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 2400 & 2402
 CRANBERRY HWY
 WAREHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
3	11/09/22	RESPONSE TO MASSDOT COMMENTS
2	10/26/22	RESPONSE TO MASSDOT COMMENTS
1	07/18/22	RESPONSE TO MASSDOT COMMENTS



DATE:	APRIL 2022
NOBIS PROJECT NO.	95561.15
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CAD DRAWING FILE:	95561.15-C-400-UTILITY.dwg
SHEET TITLE	

UTILITY PLAN

SHEET
C-4

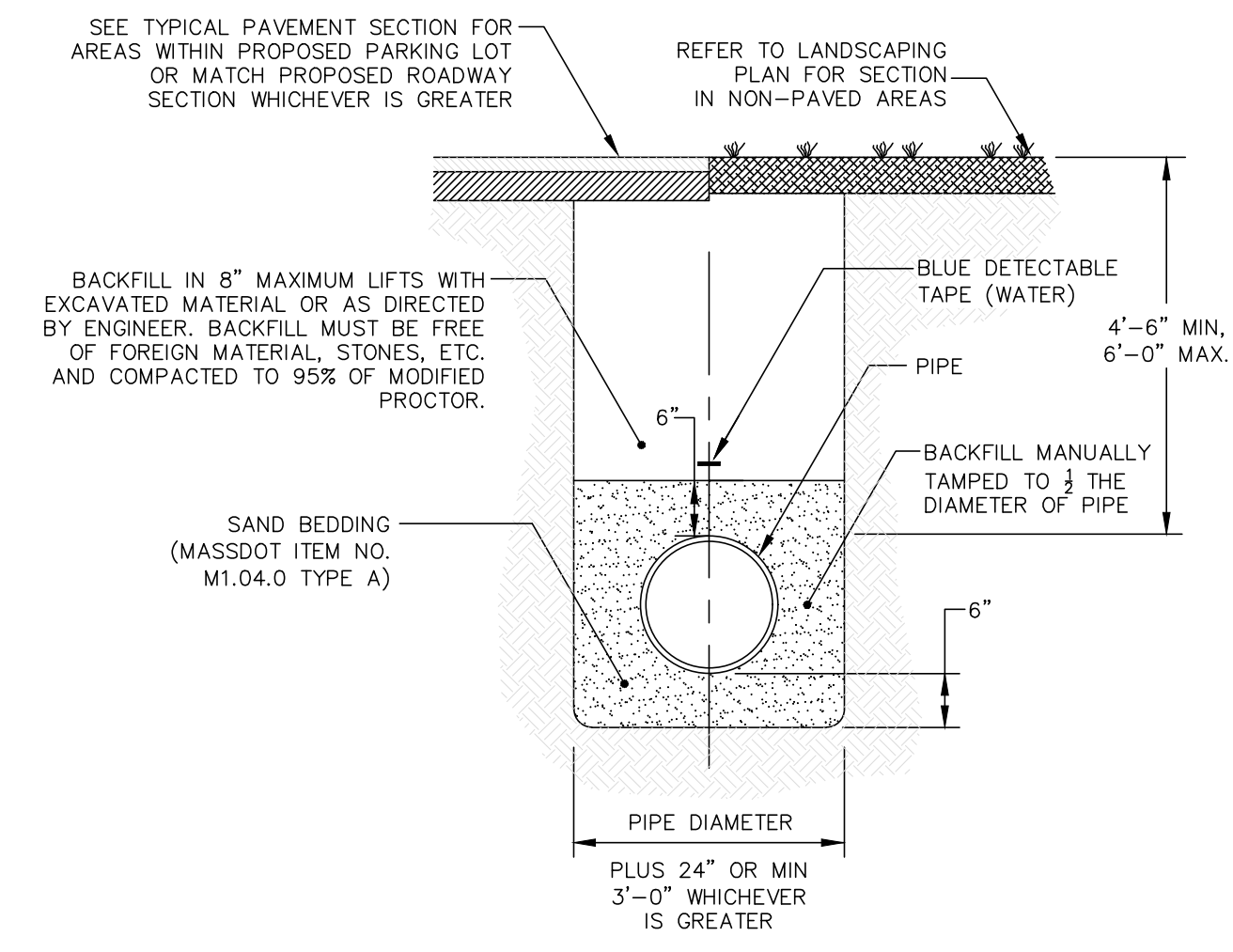


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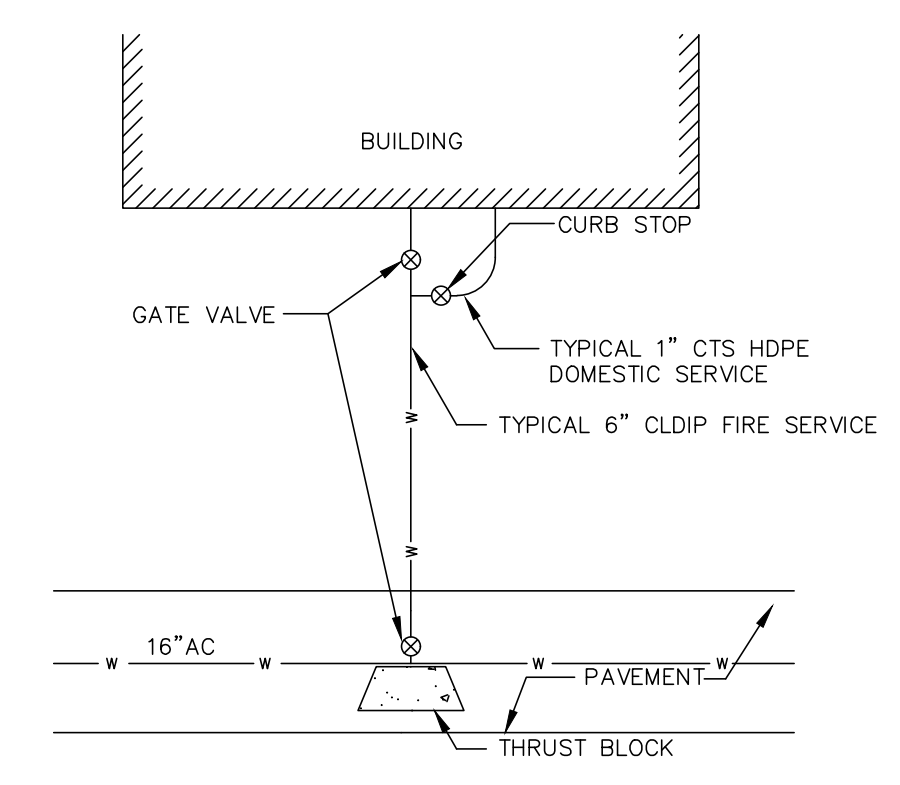


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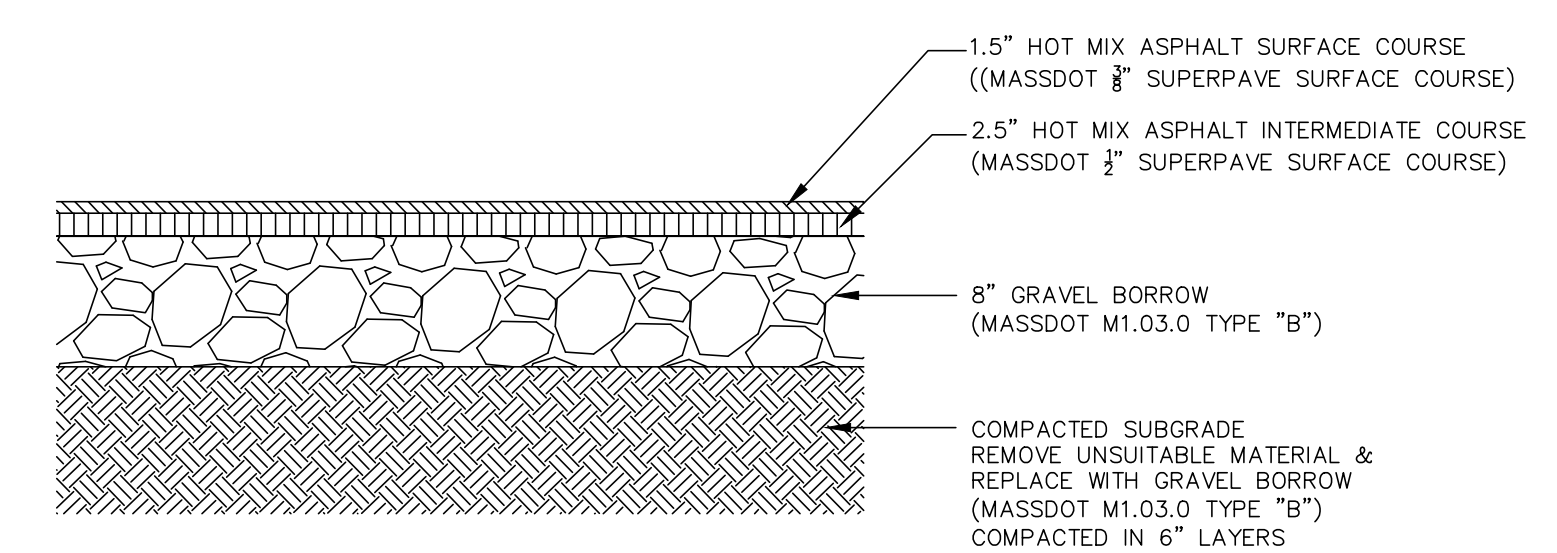
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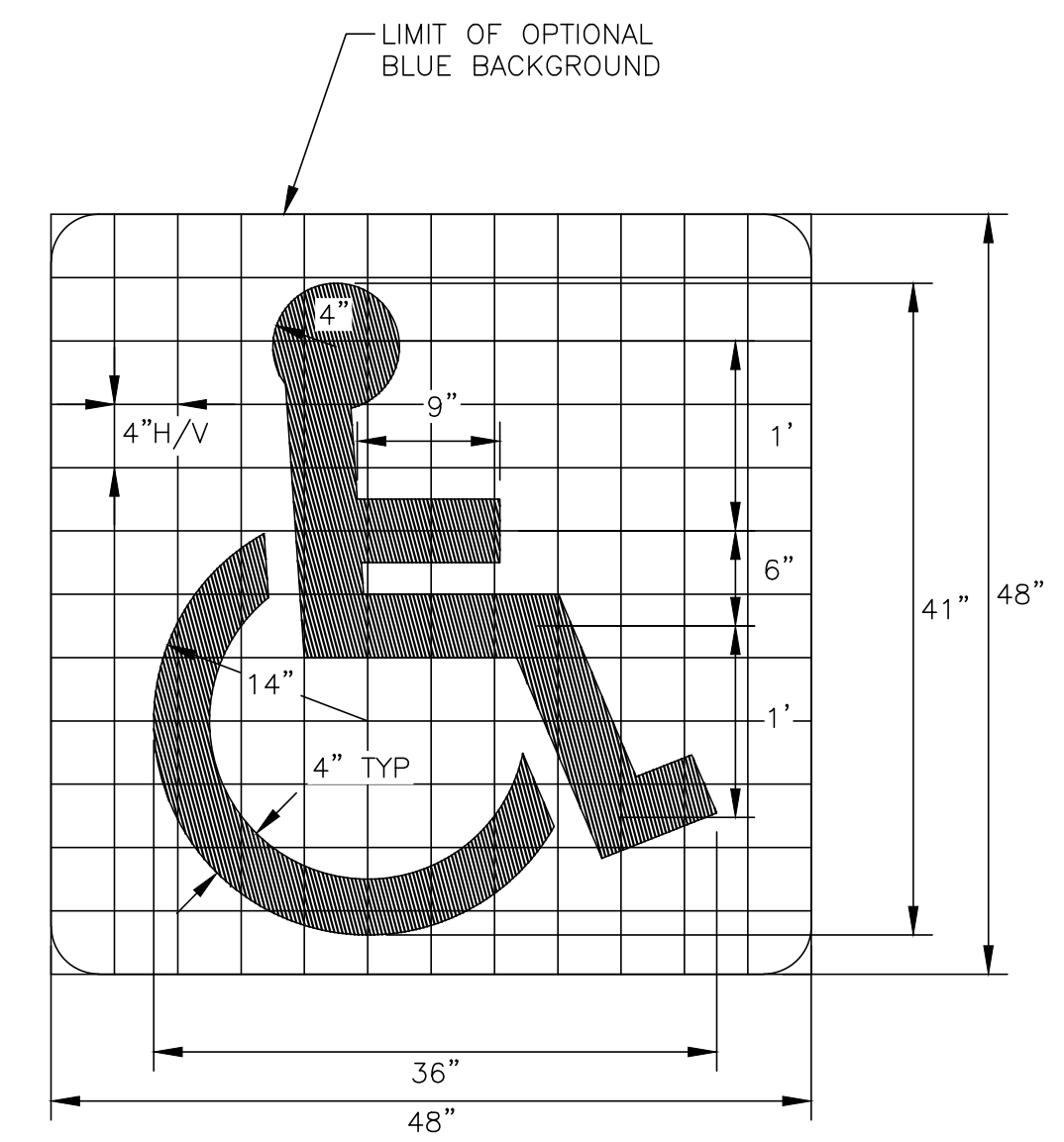
WATER TRENCH
 NOT TO SCALE



DOMESTIC WATER/FIRE SERVICE
 NOT TO SCALE

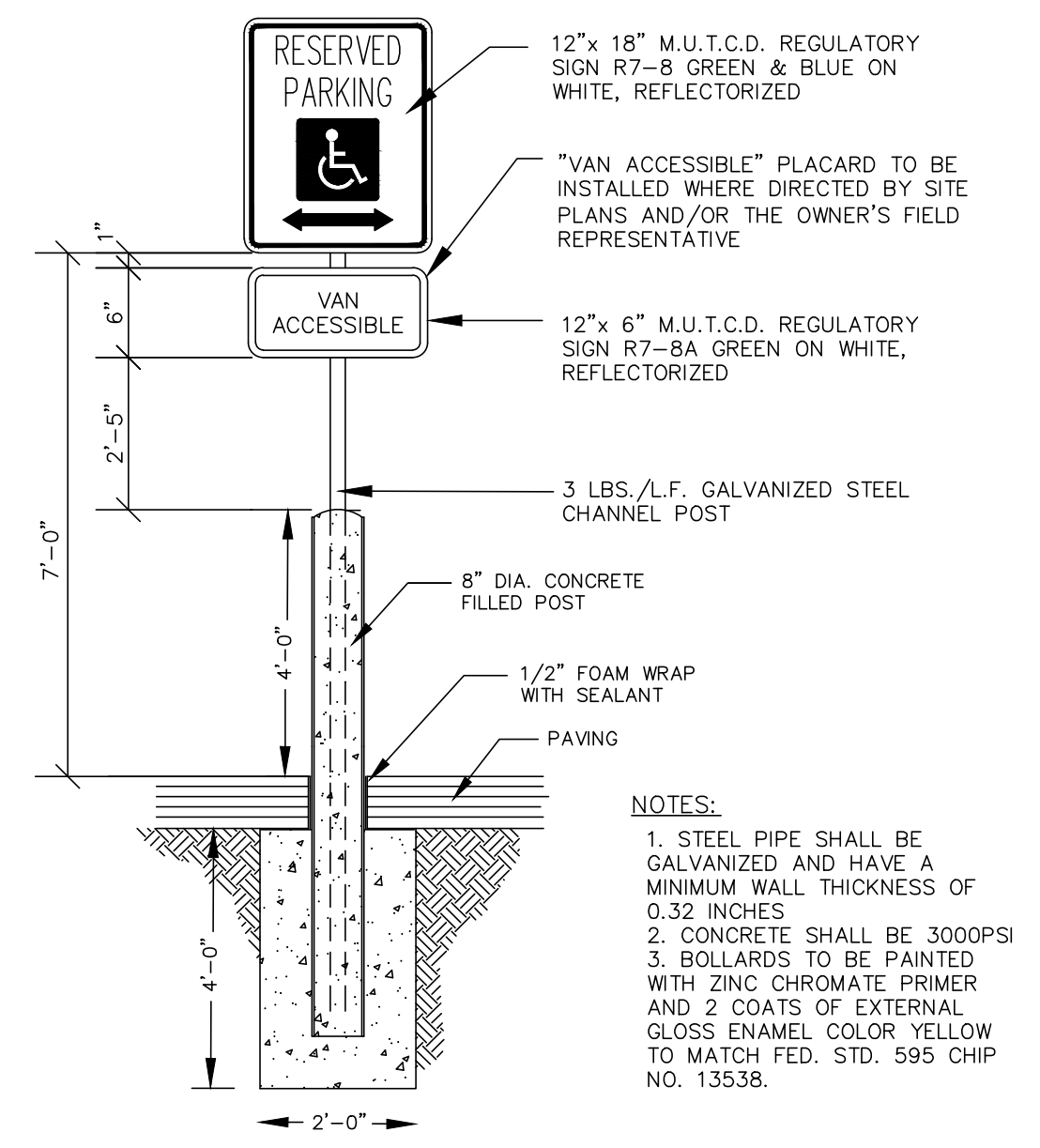


HMA DRIVEWAY PAVEMENT SECTION
 NOT TO SCALE



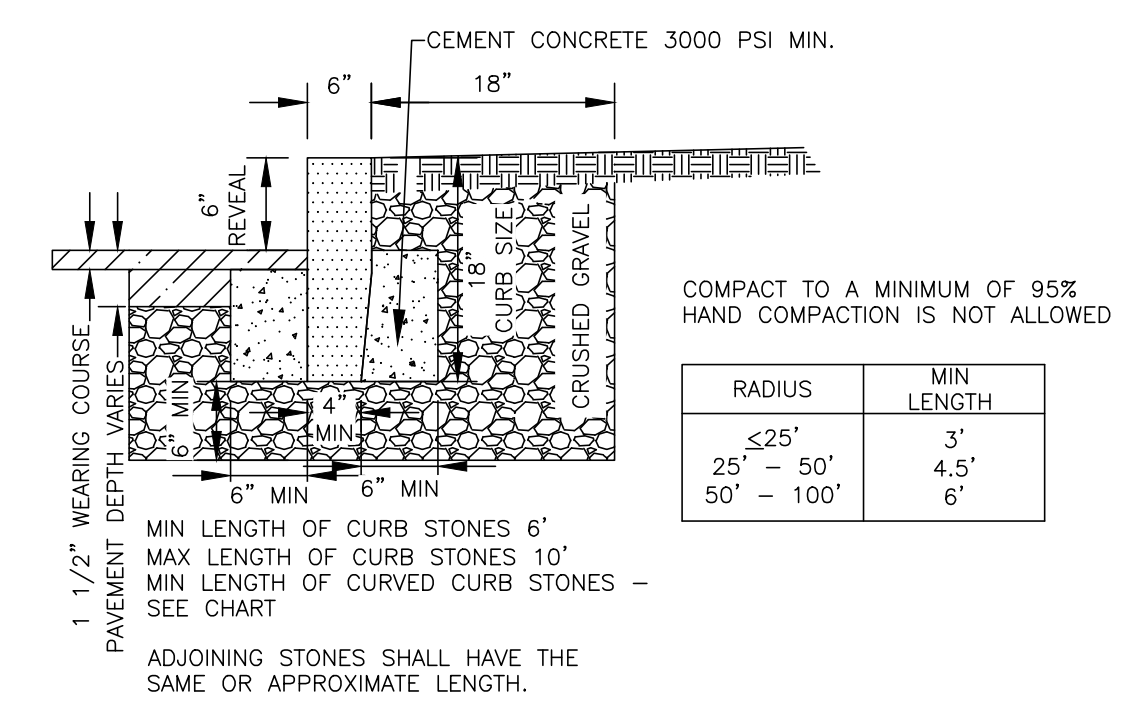
SYMBOL SHALL BE WHITE WITH AN OPTIONAL BLUE BACKGROUND

ACCESSIBLE PARKING SPACE PAVEMENT MARKING
 NOT TO SCALE



- NOTES:**
1. STEEL PIPE SHALL BE GALVANIZED AND HAVE A MINIMUM WALL THICKNESS OF 0.32 INCHES
 2. CONCRETE SHALL BE 3000PSI
 3. BOLLARDS TO BE PAINTED WITH ZINC CHROMATE PRIMER AND 2 COATS OF EXTERNAL GLOSS ENAMEL COLOR YELLOW TO MATCH FED. STD. 595 CHIP NO. 13538.

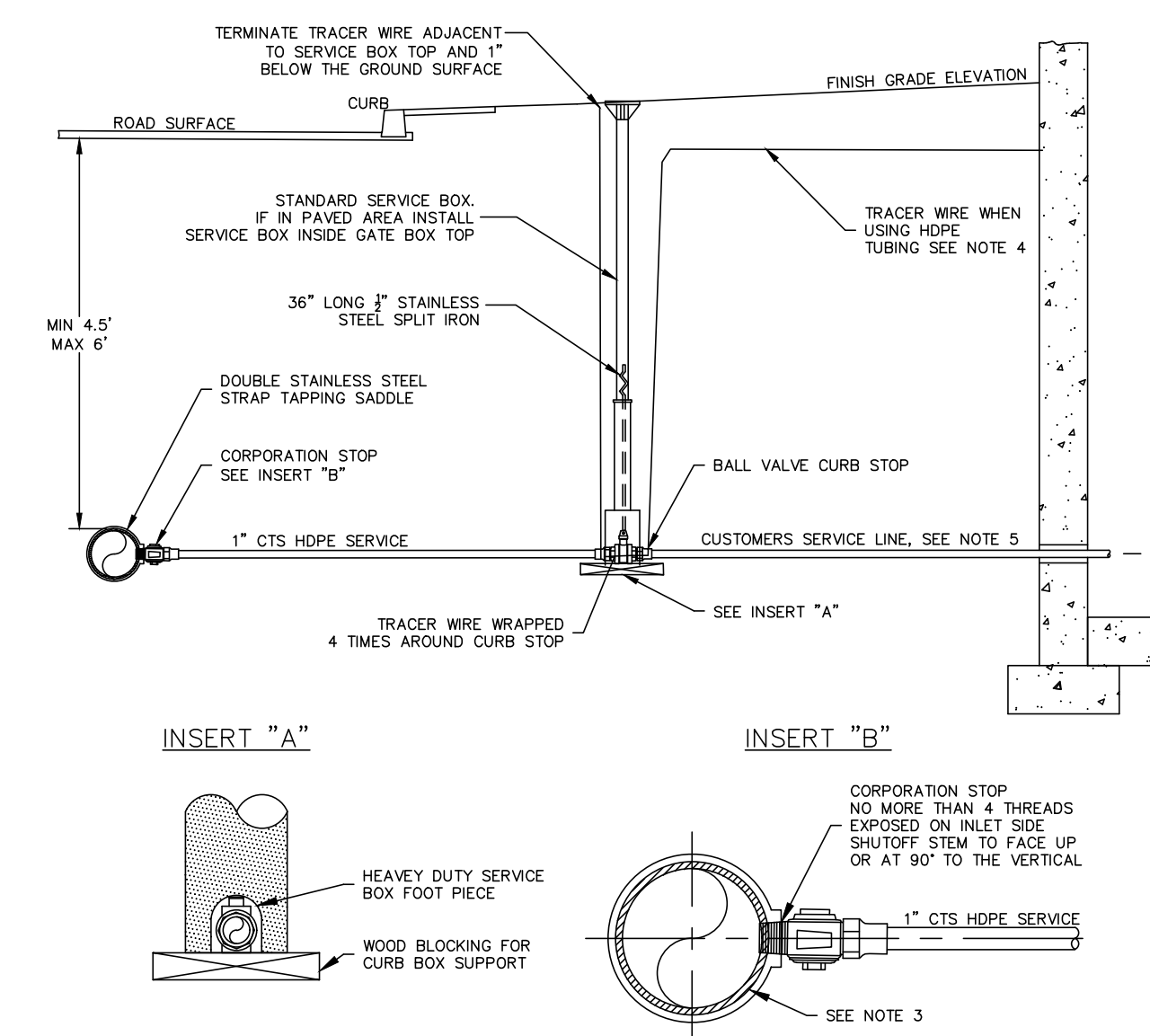
RESERVED PARKING SIGN ON BOLLARD
 NOT TO SCALE



FINISH SURFACE AND TOLERANCES FOR VERTICAL GRANITE CURB

AREA	FINISH SURFACE	TOLERANCE
TOP	6" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE. FRONT AND BACK ARRIS LINES PITCHED STRAIGHT AND PARALLEL.	+1/8" TO +1/8"
FRONT FACE	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10"	+1" TO -1/2"
BACK FACE EXPOSED	PLANE PARALLEL WITH FRONT FACE. STRAIGHT SPLIT TO 1 1/2" BELOW EXPOSED SURFACE. NO LARGER THAN 1/4" SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES.	+1" TO -1"
CONCEALED BOTTOM	BELOW 1 1/2" FROM EXPOSED SURFACE. APPROXIMATELY PARALLEL TO TOP. MINIMUM WIDTH: 3.5"	+1/2" TO -1 1/2"
ENDS EXPOSED PORTION	SQUARE WITH PLANES OF TOP AND FACE	SEE PLANS
JOINTS EXPOSED	MAX. WIDTH: 1/2"	
CONCEALED	TO BREAK BACK NO MORE THAN 8"	+3/4" TO -3/4"

VERTICAL GRANITE CURB
 NOT TO SCALE



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO L.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 4.5' AND MAXIMUM DEPTH OF 6' FROM TOP OF PIPE TO FINISH GRADE.
 3. THE TAPS ON THE WATER MAIN SHALL BE MADE THROUGH A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE.
 4. 12 GAUGE TRACER WIRE OR THICKER AS MANUFACTURED BY BMS, DIVISION OF ALBESTAR CORP., AVON, MA OR EQUIVALENT.
 5. SIZE OF CUSTOMERS SERVICE LINE TO BE DETERMINED BASED ON DISTANCE FROM STOP TO END, PRESSURE AND WATER DEMANDS WITHIN THE HOUSE.
 6. TAPS SHALL BE A MINIMUM OF 2' AWAY FROM THE NEXT CLOSEST TAP.

1" DOMESTIC SERVICE AND VALVE BOX INSTALLATION
 NOT TO SCALE

NO.	DATE	DESCRIPTION
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1	07/18/22	RESPONSE TO MASSDOT COMMENTS

REVISIONS

**SCALE:
 AS NOTED**

DATE: APRIL 2022
 NOBIS PROJECT NO. 95561.15
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**CONSTRUCTION
 DETAILS**

SHEET
C-6



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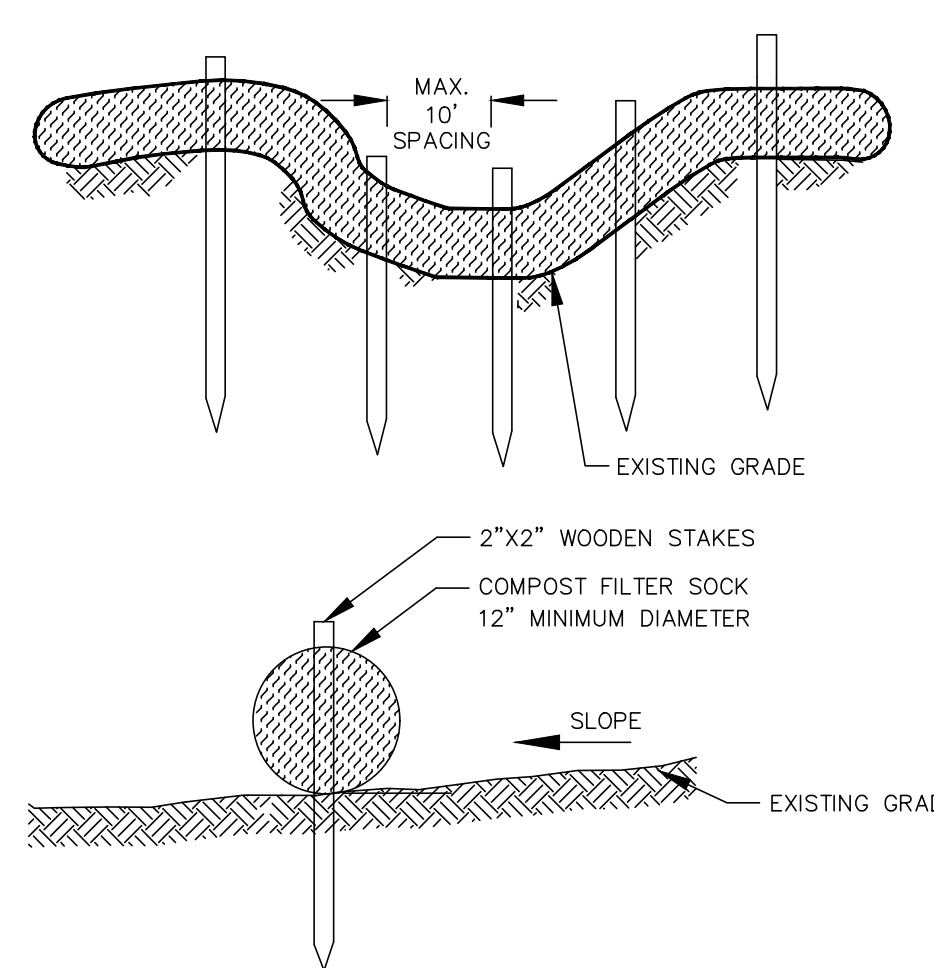
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REVISIONS
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SHEET TITLE	

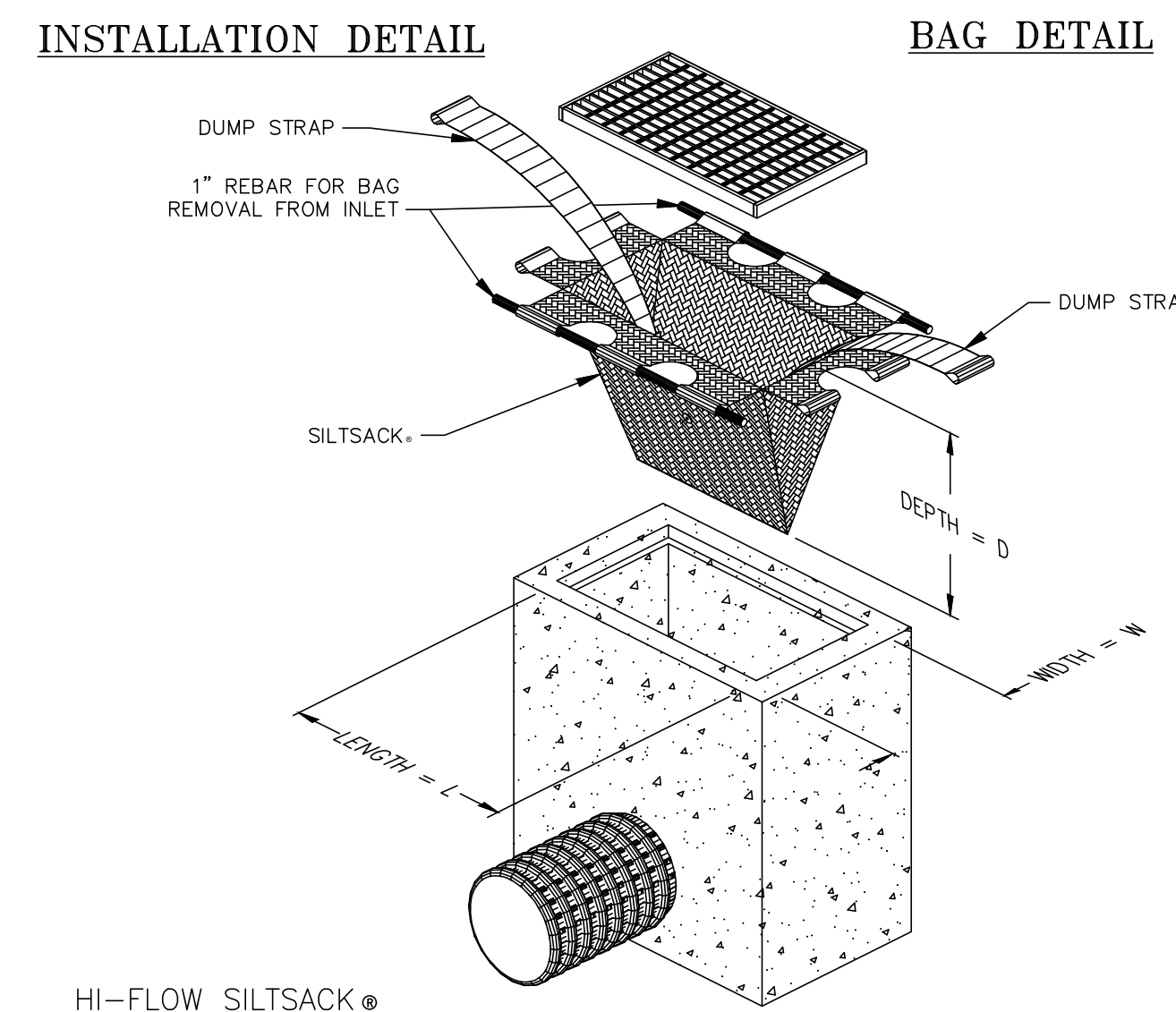
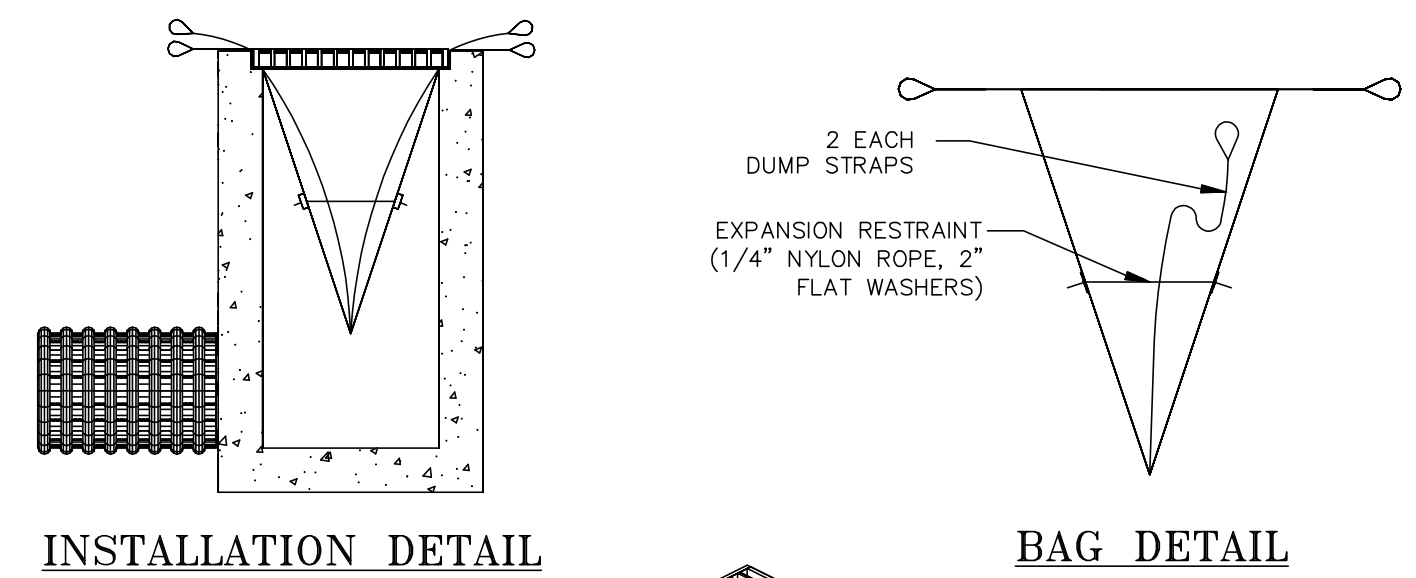
CONSTRUCTION
 DETAILS

SHEET
 C-7



- NOTES:**
1. TEMPORARY COMPOST FILTER SOCK SHOULD BE LOCATED AS SHOWN ON PLANS, DOWNSTREAM OF THE CONSTRUCTION AREA, ABUTTING WETLAND AREA & OPEN WATER AND ACROSS ANY DRAINAGE SWALE DOWNSTREAM FROM THE CONSTRUCTION AREA.
 2. STAKE SHOULD BE INSTALLED THROUGH THE MIDDLE OF THE PERIMETER CONTROL AND PLACED A MINIMUM OF 12" INTO GROUND.
 3. FILTER SOCKS OVERLAPPING SECTION TO BE A MINIMUM OF 18". STAKES SHOULD BE INSTALLED WITHIN THE OVERLAPPING SECTION.
 4. PROVIDE PERIODIC REMOVAL OF ACCUMULATED DEBRIS AND SEDIMENTS DURING CONSTRUCTION AND PRIOR TO DISMANTLING.

12" DIA. COMPOST FILTER SOCK
 NOT TO SCALE

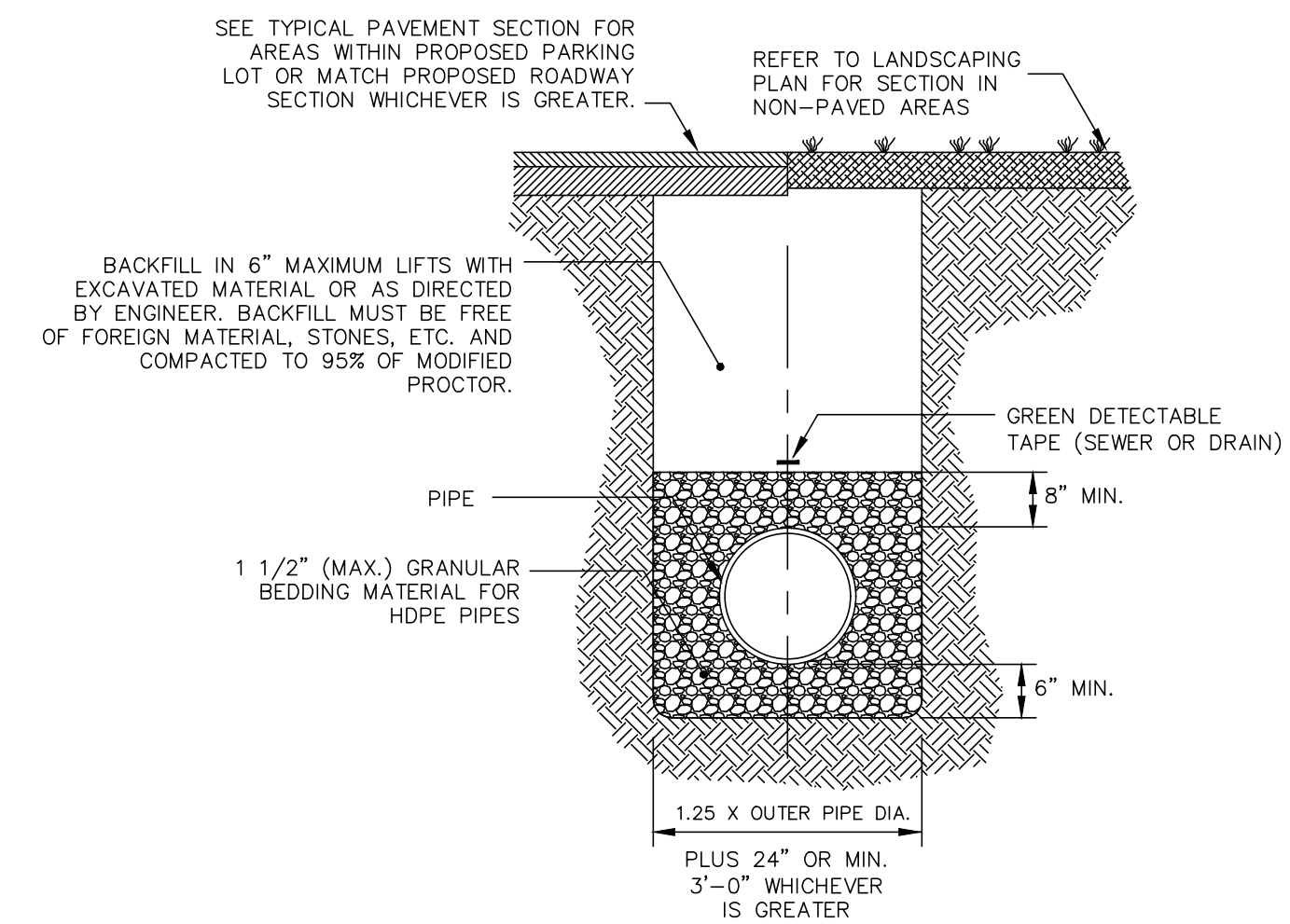


HI-FLOW SILTSACK®
 SPECIFICATIONS*

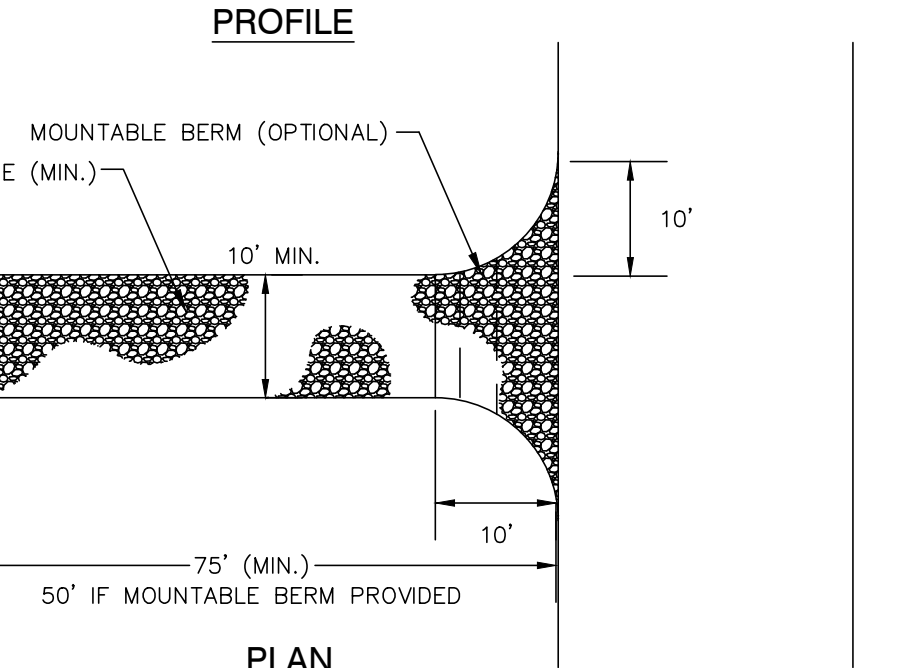
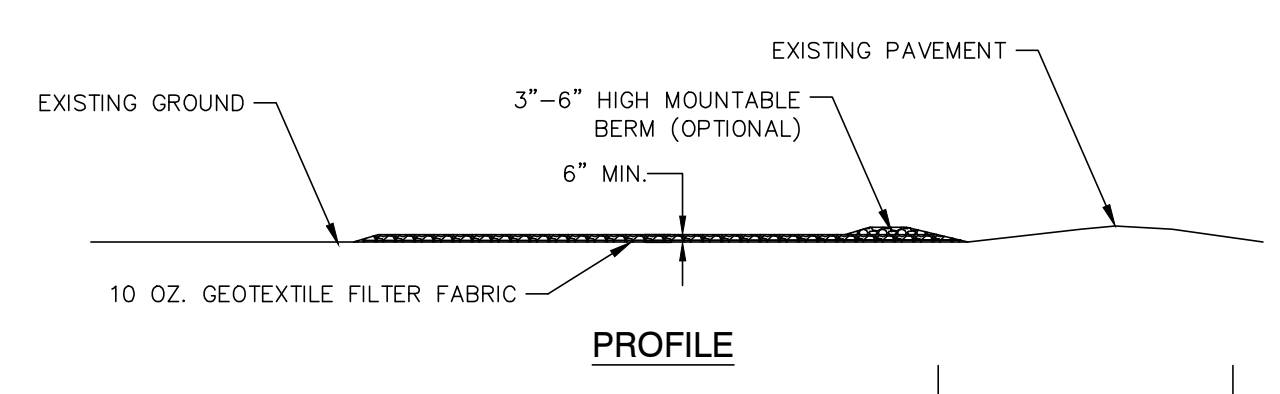
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

*NOTE: HIGH-FLOW SILTSACK TO BE INSTALLED ONLY AFTER PAVEMENT IS INSTALLED. PRIOR TO PAVING, COVER INLET WITH AN IMPERMEABLE WATER TIGHT BARRIER TO KEEP STORMWATER AND SEDIMENT FROM ENTERING BASIN.

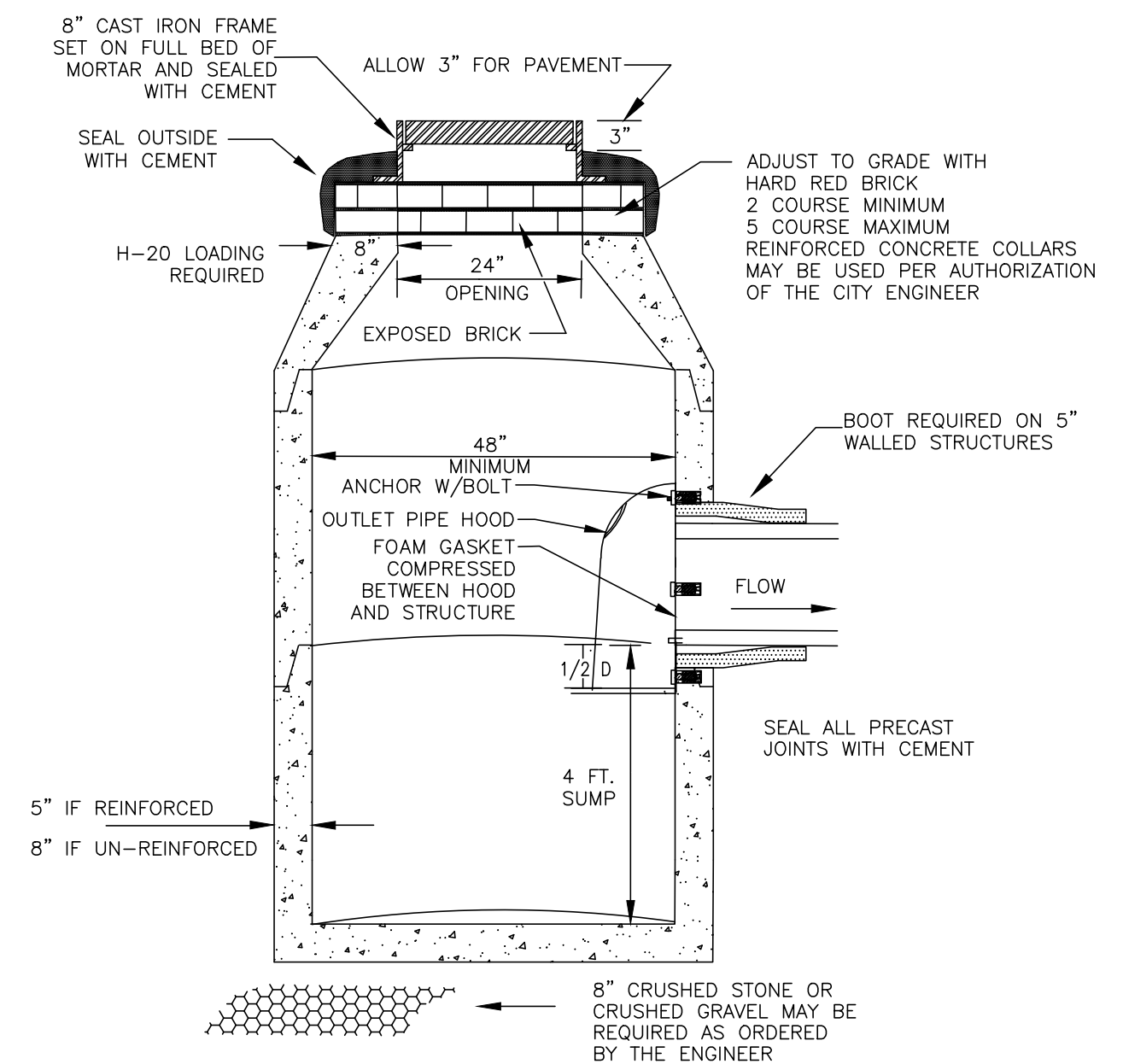
HI-FLOW SILTSACK DETAIL
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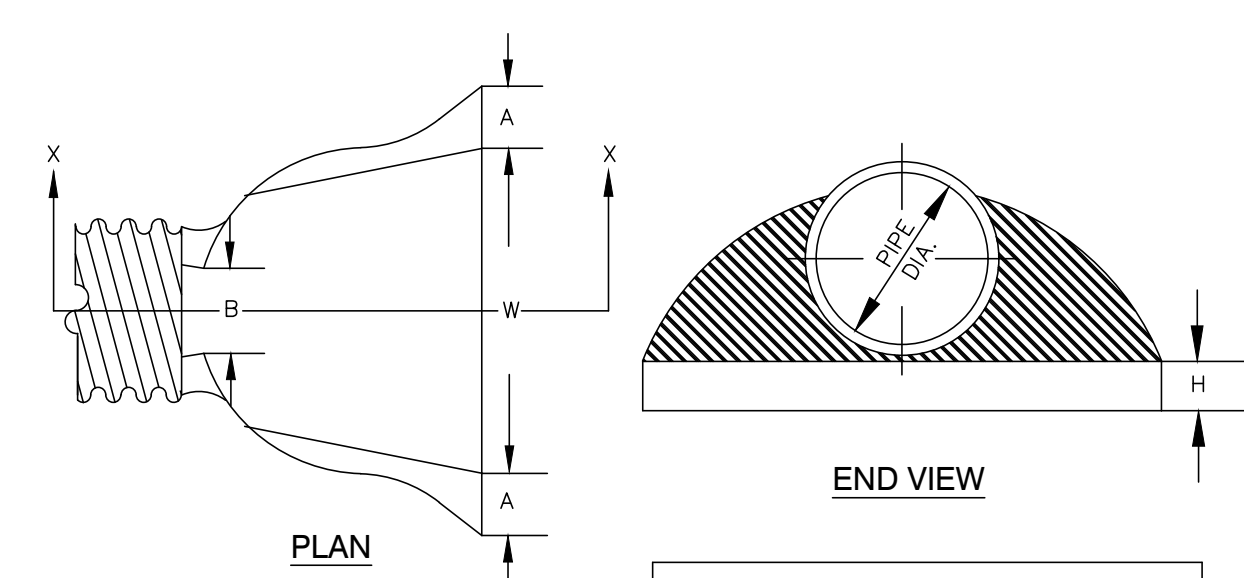
TYPICAL SANITARY SEWER & STORM DRAIN TRENCH DETAIL
 NOT TO SCALE



TRACKING PAD DETAIL
 NOT TO SCALE



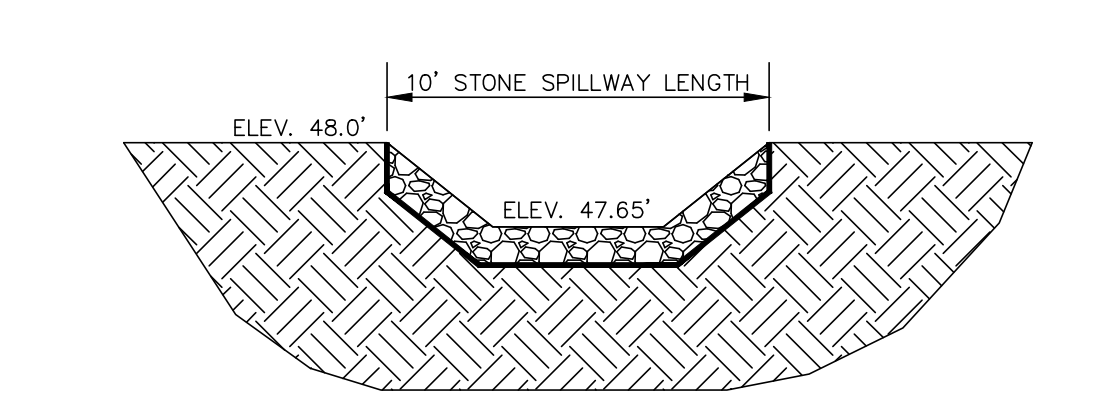
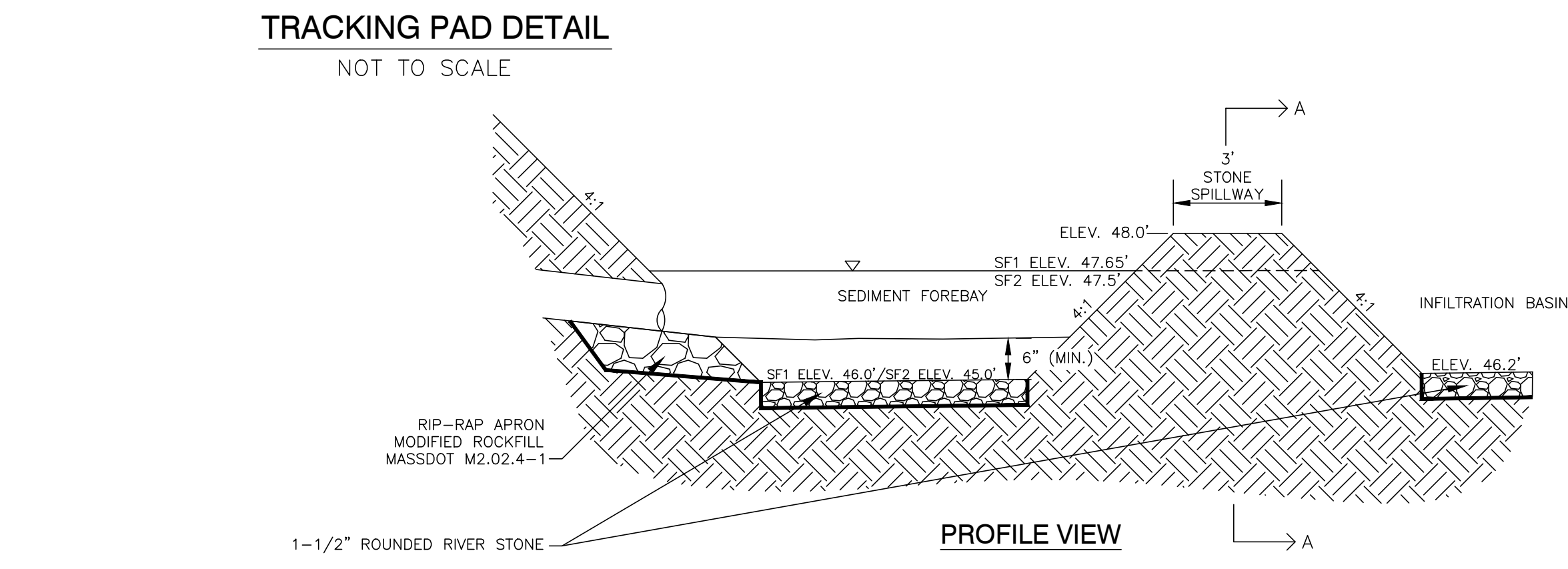
CATCH BASIN
 NOT TO SCALE



DIMENSION TABLE

PIPE DIA. ± 1"	A	B (MAX.)	H	L	W
12"	6.5"	10"	± 1"	± 1.5"	± 2"
15"	6.5"	10"	6.5"	25"	29"
18"	7.5"	15"	6.5"	32"	35"
24"	7.5"	18"	6.5"	36"	45"
30"	10.5"	N/A	7"	53"	68"
36"	10.5"	N/A	7"	53"	68"

POLYETHYLENE END SECTION
 NOT TO SCALE



SEDIMENT FOREBAY WITH STONE WEIR DETAIL
 NOT TO SCALE

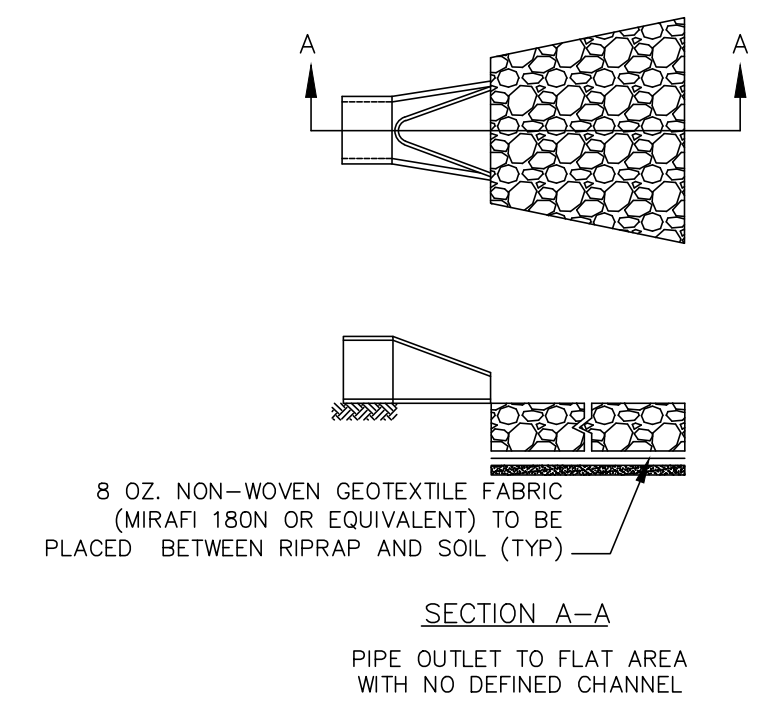


TABLE M2.02.4-1 MASSDOT MODIFIED ROCKFILL
 THICKNESS OF RIPRAP = 12" (min)

SIZE OF STONE (IN.)	PASSING PERCENTAGES
8	95-100
4	0-25
2-1/2	0-5

- NOTES:**
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON
 NOT TO SCALE

J:\95561.00 - Bredy, Sullivan, Portocarrero\95561.15 - 2400-2402 Cranberry Hwy - Wareham, MA\CAD\Drawings\95561.15-C-700-DETAILS.dwg 11/09/2022 1:06 PM



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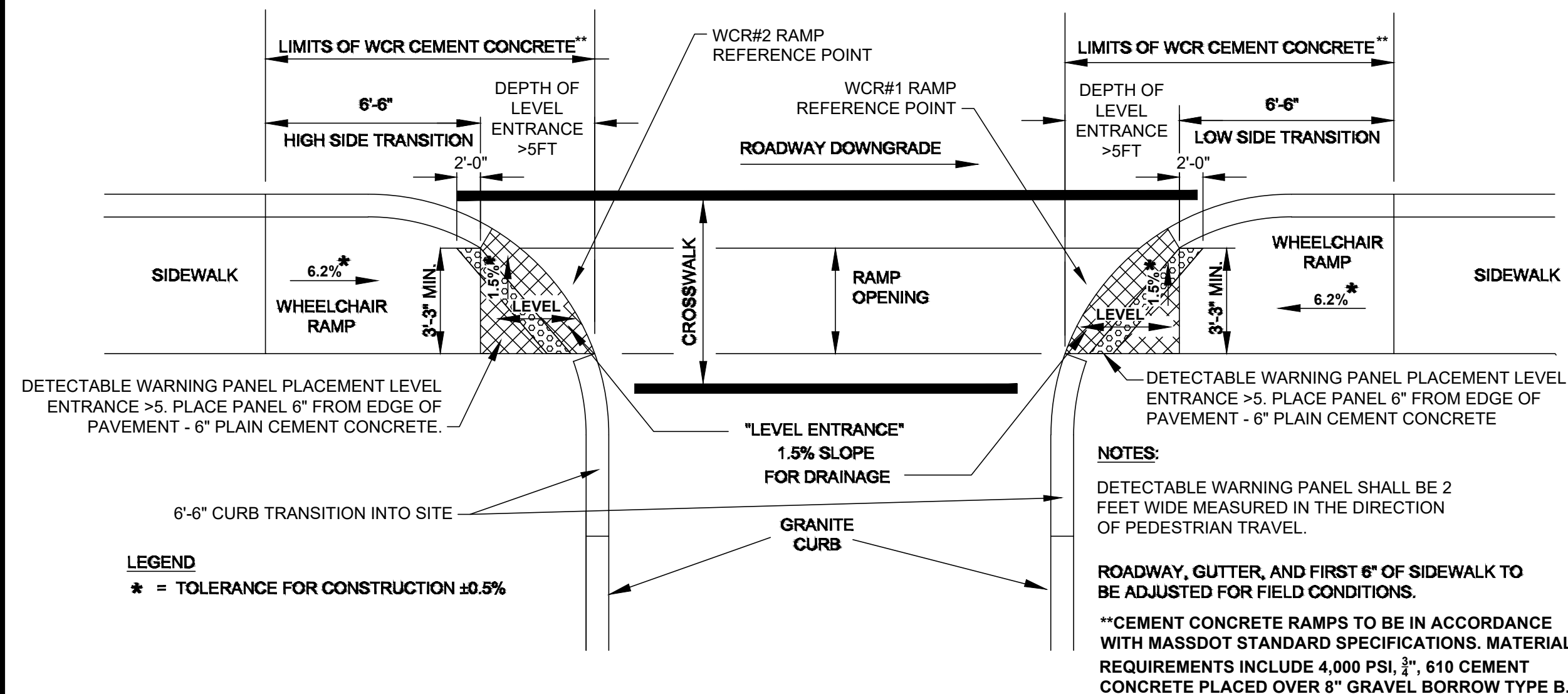
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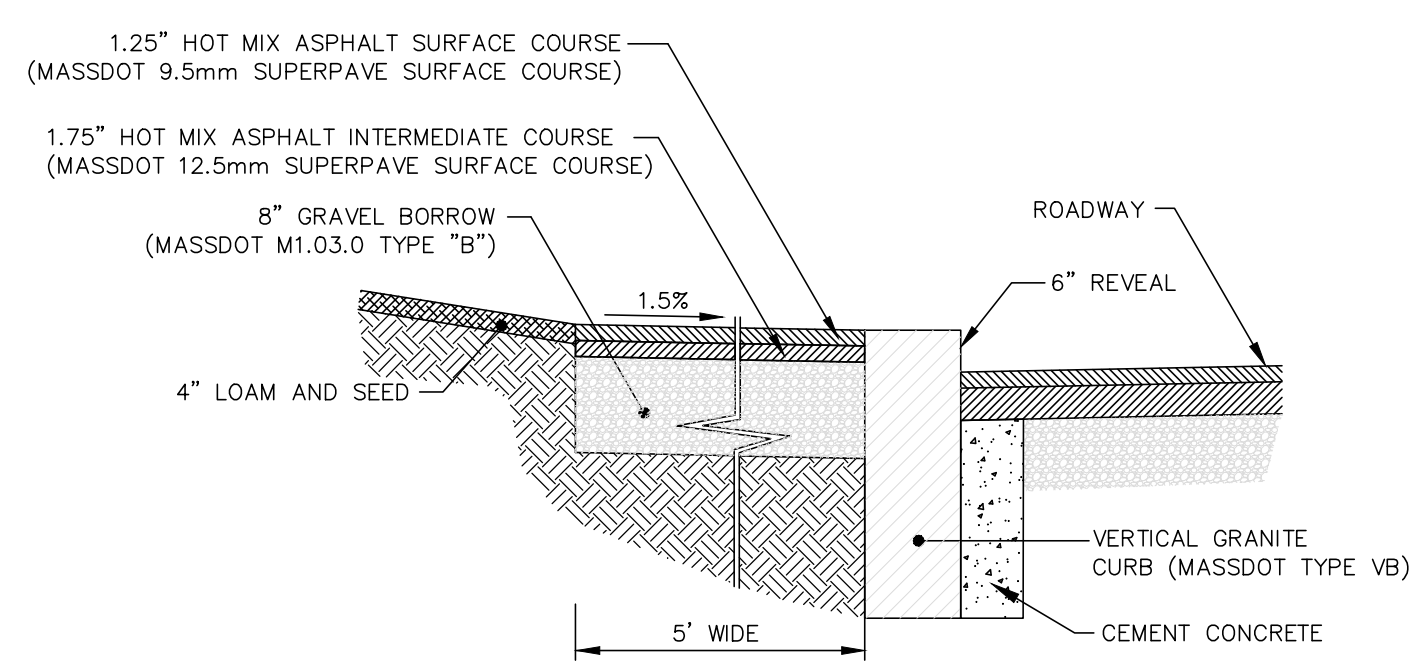
SHEET TITLE
**CONSTRUCTION
 DETAILS WITHIN
 STATE HIGHWAY
 LAYOUT (SHLO)**

SHEET
C-8



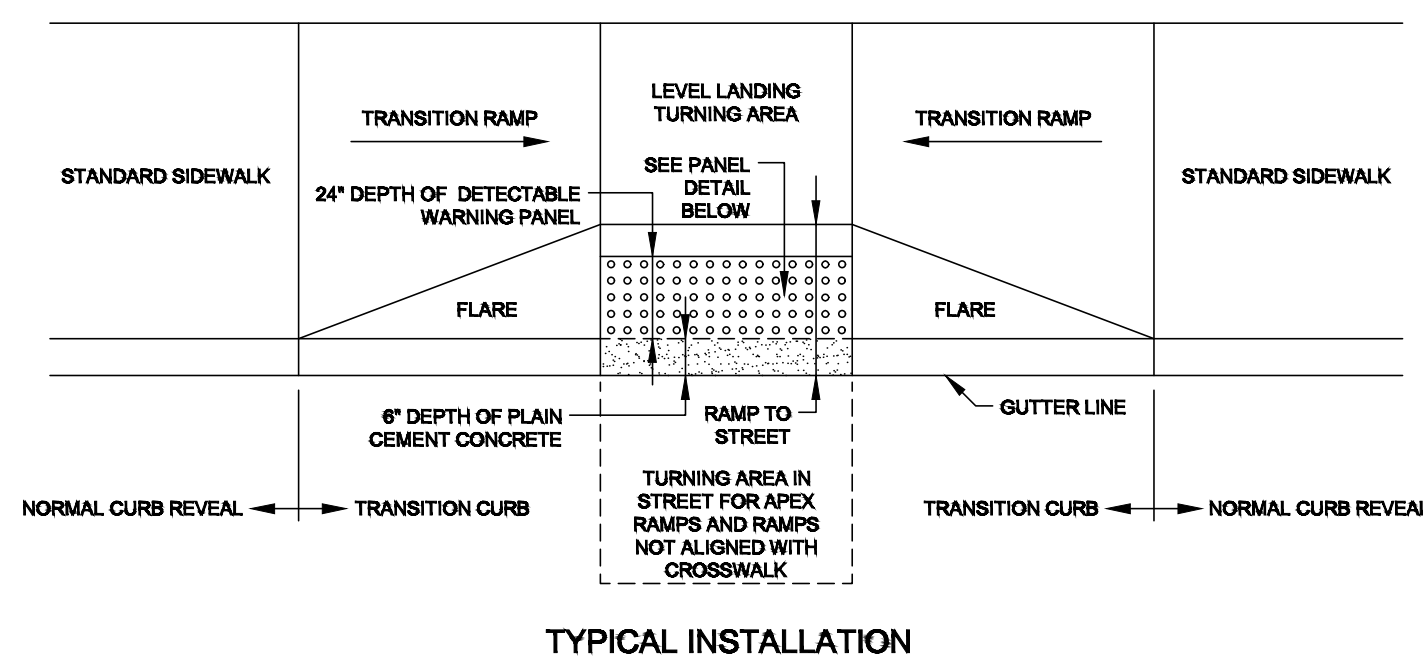
WCR #	RAMP REFERENCE POINT		WIDTH OF SIDEWALK (W)	WIDTH OF RAMP ENTRANCE	CLEAR PATH OF TRAVEL	ROADWAY GUTTER SLOPE	TRANSITION LENGTH
	STATION	OFFSET					
1	107+31.1	16.8' LT	5'-0"	3'-3" (MIN.)	3'-3" (MIN.)	0.83%	6.5'
2	107+84.8	17.0' LT	5'-0"	3'-3"	3'-3"	0%	6.5'

**E 107.6.0 - SIDEWALK RAMP THROUGH DRIVEWAY
 DETAIL WHERE LEVEL ENTRANCE EXCEEDS 5'**
 NOT TO SCALE

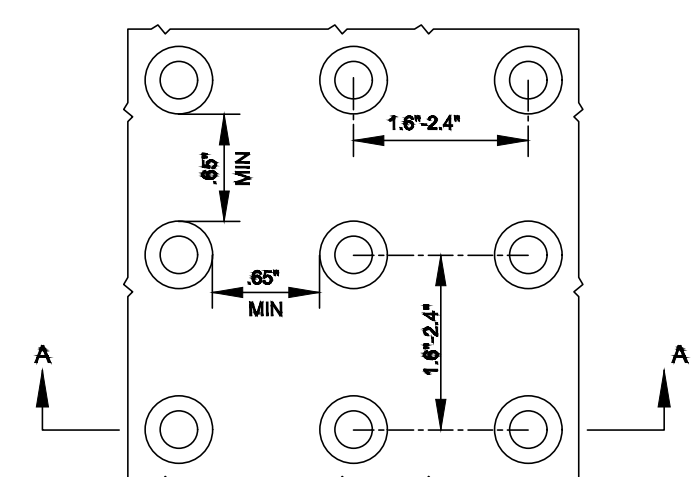


- NOTES:
1. BITUMINOUS SIDEWALK AND VERTICAL GRANITE CURB INSTALLATION TO MEET MASSDOT STANDARD SPECIFICATIONS WITHIN THE MASSDOT SHLO.
 2. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER MASSDOT SECTION M4 OF THE STANDARD SPECIFICATIONS MAY BE USED. ALL TEST REQUIREMENTS ARE WAIVED. HMA SHALL NOT BE USED AS A SUBSTITUTE.

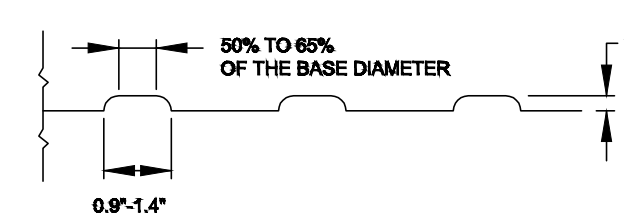
**BITUMINOUS SIDEWALK &
 VERTICAL GRANITE CURB**
 NOT TO SCALE



TYPICAL INSTALLATION

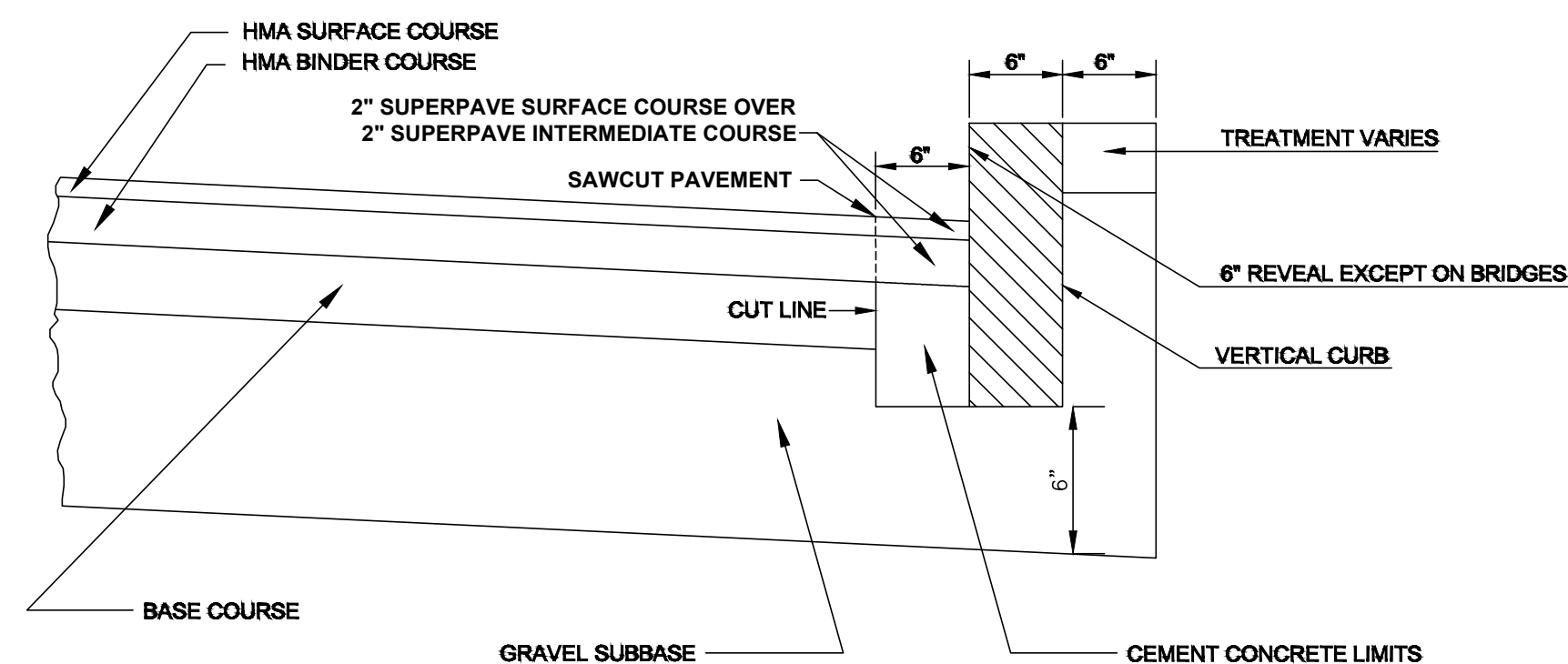


DETAIL OF DETECTABLE WARNING PANEL



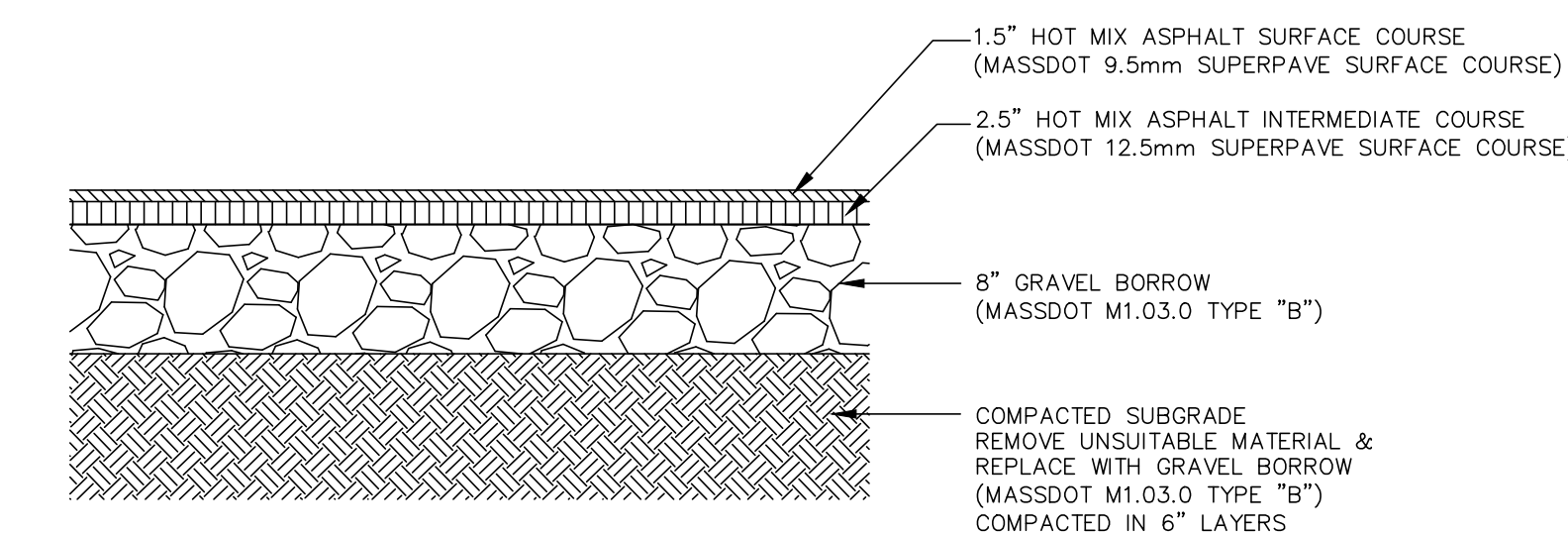
NOTE:
 PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

**E 107.6.5 - DETECTABLE WARNING PANEL
 FOR WHEELCHAIR RAMPS AND STANDARD
 RAMP TERMINOLOGY DETAILS**
 NOT TO SCALE



- NOTES:
1. THIS PROCEDURE IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE COURSE IS IN PLACE PRIOR TO BINDER AND TOP PLACEMENT.
 2. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BASE AND GRAVEL. REPLACE WITH CEMENT CONCRETE.
 3. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS MAY BE USED; ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT TO BE USED AS A SUBSTITUTE.

E 106.3.0 - METHOD OF SETTING VERTICAL CURB
 NOT TO SCALE



HMA DRIVEWAY PAVEMENT SECTION WITHIN SHLO
 NOT TO SCALE

NOTES:

- ALL TEMPORARY TRAFFIC CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.
- ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
- SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES" AND/OR "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).
- CONTRACTORS SHALL NOTIFY EACH ADJUTER AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.
- THE FIRST FIVE PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH TYPE A LIGHTS.
- THE ADVISORY SPEED LIMIT, IF REQUIRED, SHALL BE DETERMINED BY THE ENGINEER.
- DISTANCES ARE A GUIDE AND MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
- MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- MINIMUM LANE WIDTH IS TO BE 11 FEET (3.3m) UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.
- ALL SIGNS SHALL BE MOUNTED ON THEIR OWN STANDARD SIGN SUPPORTS.

LEGEND:

- REFLECTORIZED PLASTIC DRUM OR 36" CONE
- WORK ZONE
- WORK VEHICLE
- P/F POLICE/FLAGGER DETAIL
- DIRECTION OF TRAFFIC
- TRUCK MOUNTED ATTENUATOR
- TYPE III BARRICADE
- IMPACT ATTENUATOR
- TRAFFIC OR PEDESTRIAN SIGNAL
- CHANGEABLE MESSAGE SIGN
- MEDIAN BARRIER
- SIGN
- ARROW BOARD
- MEDIAN BARRIER WITH WARNING LIGHTS

THE IDEAL CAPACITY OF A MAJOR HIGHWAY IS GENERALLY CONSIDERED TO BE 1900 PASSENGER CARS PER HOUR PER LANE (PCPHPL). IN WORK ZONES ON A MULTI-LANE DIVIDED HIGHWAY, THE FOLLOWING VOLUME GUIDELINES HAVE BEEN SUGGESTED:

MEASURED AVERAGE WORK ZONE CAPACITIES

NUMBER OF LANES NORMAL (EXISTING)	NUMBER OF OPEN (TO TRAFFIC)	NUMBER OF STUDIES	AVERAGE CAPACITY	
			VPH	VPHPL
3	1	7	1,170	1,170
2	1	8	1,340	1,340
5	2	8	2,740	1,370
4	2	4	2,980	1,480
3	2	9	2,980	1,490
4	3	4	4,560	1,520

Source: Dudek, C., Notes on Work Zone Capacity and Level of Service, Texas Transportation Institute, Texas A&M University, College Station, Texas (1984)

BY OBTAINING HOURLY TRAFFIC COUNTS FOR A PARTICULAR ROADWAY (WITH A MINIMUM OF A 48-HOUR AUTOMATIC TRAFFIC RECORDER (ATR) COUNT), THIS WILL HELP TO DETERMINE AT WHAT TIMES OF THE DAY OR NIGHT A CERTAIN NUMBER OF LANES MAY BE CLOSED.



Notes for Traffic Management

FIGURE GEN-1
GENERAL GUIDELINES

SUGGESTED WORK ZONE WARNING SIGN SPACING

ROAD TYPE	DISTANCE BETWEEN SIGNS **		
	A	B	C
LOCAL OR LOW VOLUME ROADWAYS*	350 (100)	350 (100)	350 (100)
MOST OTHER ROADWAYS*	500 (150)	500 (150)	500 (150)
FREEWAYS AND EXPRESSWAYS*	1,000 (300)	1,500 (450)	2,640 (800)

* ROAD TYPE TO BE DETERMINED BY MASSDOT OFFICE OF TRANSPORTATION PLANNING.

** DISTANCES ARE SHOWN IN FEET (METERS). THE COLUMN HEADINGS A, B, AND C ARE THE DIMENSIONS SHOWN IN THE DETAIL/TYPICAL SETUP FIGURES. THE A DIMENSION IS THE DISTANCE FROM THE TRANSITION OR POINT OF RESTRICTION TO THE FIRST SIGN. THE B DIMENSION IS THE DISTANCE BETWEEN THE FIRST AND SECOND SIGNS. THE C DIMENSION IS THE DISTANCE BETWEEN THE SECOND AND THIRD SIGNS. (THE "THIRD" SIGN IS THE FIRST ONE TYPICALLY ENCOUNTERED BY A DRIVER APPROACHING A TEMPORARY TRAFFIC CONTROL (TTC) ZONE).

THE "THIRD" SIGN ABOVE IS TYPICALLY REFERRED TO AS AN "ADVANCE WARNING" SIGN ON THE TTCP SETUPS. THESE ADVANCE WARNING SIGNS ARE LOCATED PRIOR TO THE PROJECT LIMITS ON ALL APPROACHES (I.E. THE W20-1 SERIES (ROAD WORK XX FT) SIGNS), AND USUALLY REMAIN FOR THE DURATION OF THE PROJECT. ADDITIONAL SIGNS (I.E. "RIGHT LANE CLOSED 1 MILE" AND "LEFT LANE CLOSED 1 MILE") HAVE BEEN SHOWN IN SOME FIGURES AS EXAMPLES OF REINFORCEMENT SIGN PLACEMENT BUT ARE USED IN RARE OCCASIONS.

THE FIRST AND SECOND WARNING SIGNS ABOVE ARE REFERRED TO AS THE OPERATIONAL (DAY-TO-DAY) WORK ZONE SIGNS AND MAY BE MOVED DEPENDING ON WHERE THE SPECIFIC ROADWAY WORK FOR THAT DAY IS LOCATED.

R2-10a SIGNS SHALL BE PLACED BETWEEN THE SECOND AND THIRD SIGNS AS DESCRIBED ABOVE.

R2-10a, R2-10e, AND W20-1 SERIES SIGNS ARE TO BE INCLUDED ON ALL DETAILS/TYPICAL SETUPS.

Based on: Table 6C-1 MUTCD LATEST EDITION

STOPPING SIGHT DISTANCE AS A FUNCTION OF SPEED

SPEED* (km/h)	DISTANCE (m)	SPEED* (mph)	DISTANCE (ft)
30	35	20	115
40	50	25	155
50	65	30	200
60	85	35	250
70	105	40	305
80	130	45	360
90	160	50	425
100	185	55	495
110	220	60	570
120	250	65	645
		70	730
		75	820

*POSTED SPEED, OFF-PEAK 85TH-PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED.

THESE VALUES MAY BE USED TO DETERMINE THE LENGTH OF LONGITUDINAL BUFFER SPACES.

THE DISTANCES IN THE ABOVE CHART REPRESENT THE MINIMAL VALUES FOR BUFFER SPACING.

Source: Table 6C-2 MUTCD LATEST EDITION



Notes for Traffic Management

FIGURE GEN-2
NOTES ON WORK ZONE DISTANCES

CONVENTIONAL ROADWAY- A STREET OR HIGHWAY OTHER THAN A LOW-VOLUME ROAD, EXPRESSWAY, OR FREEWAY.

EXPRESSWAY- A DIVIDED HIGHWAY WITH PARTIAL CONTROL OF ACCESS.

FREEWAY- A DIVIDED HIGHWAY WITH FULL CONTROL OF ACCESS.

LOW-VOLUME ROAD- A FACILITY LYING OUTSIDE OF BUILT-UP AREAS OF CITIES, TOWNS, AND COMMUNITIES, AND IT SHALL HAVE A TRAFFIC VOLUME OF LESS THAN 400 ADT. IT SHALL NOT BE A FREEWAY, EXPRESSWAY, INTERCHANGE RAMP, FREEWAY SERVICE ROAD OR A ROAD ON A DESIGNATED STATE HIGHWAY SYSTEM.

Source: MUTCD LATEST EDITION

TAPER LENGTH CRITERIA FOR TEMPORARY TRAFFIC CONTROL ZONES

TYPE OF TAPER	TAPER LENGTH (L)*
MERGING TAPER	AT LEAST L
SHIFTING TAPER	AT LEAST 0.5L
SHOULDER TAPER	AT LEAST 0.33L
ONE-LANE, TWO-WAY TRAFFIC TAPER	50 FT MIN.(15 m) 100 FT MAX.(30 m) MAX.
DOWNSTREAM TAPER	50 FT MIN.(15 m) 100 FT MAX.(30 m) PER LANE.

Source: Table 6C-3 MUTCD LATEST EDITION

FORMULAS FOR DETERMINING TAPER LENGTHS

SPEED LIMIT (S)	TAPER LENGTH (L) FEET	SPEED LIMIT (S)	TAPER LENGTH (L) Meters
40 MPH OR LESS	$L = \frac{WS^2}{60}$	60 KM/H OR LESS	$L = \frac{WS^2}{155}$
45 MPH OR MORE	$L = WS$	70 KM/H OR MORE	$L = \frac{WS}{1.6}$

WHERE: L = TAPER LENGTH IN FEET (METERS)

W = WIDTH OF OFFSET IN FEET (METERS)

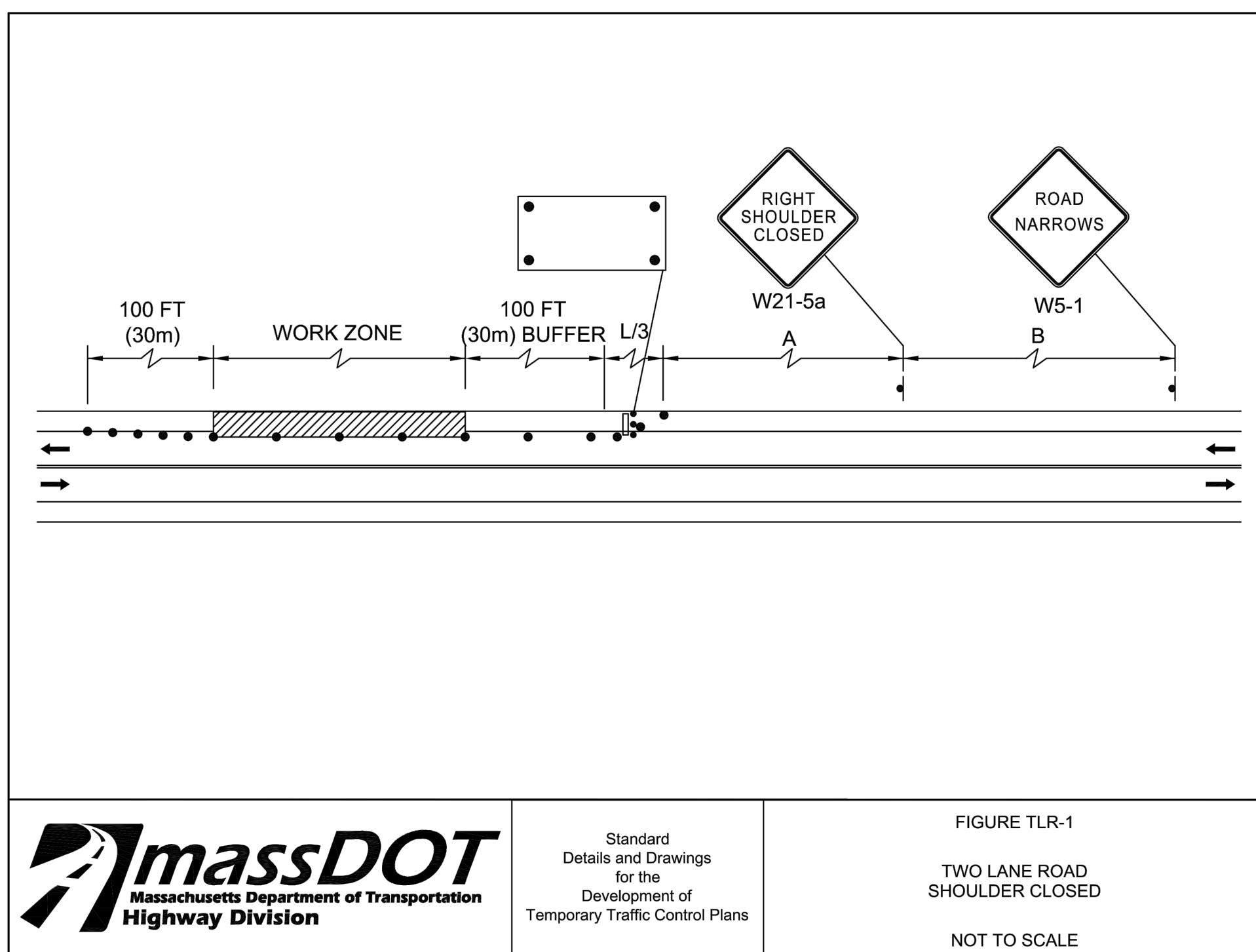
S = POSTED SPEED LIMIT, OR OFF-PEAK 85TH-PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED IN MPH (KM/H)

Source: Table 6C-4 MUTCD LATEST EDITION



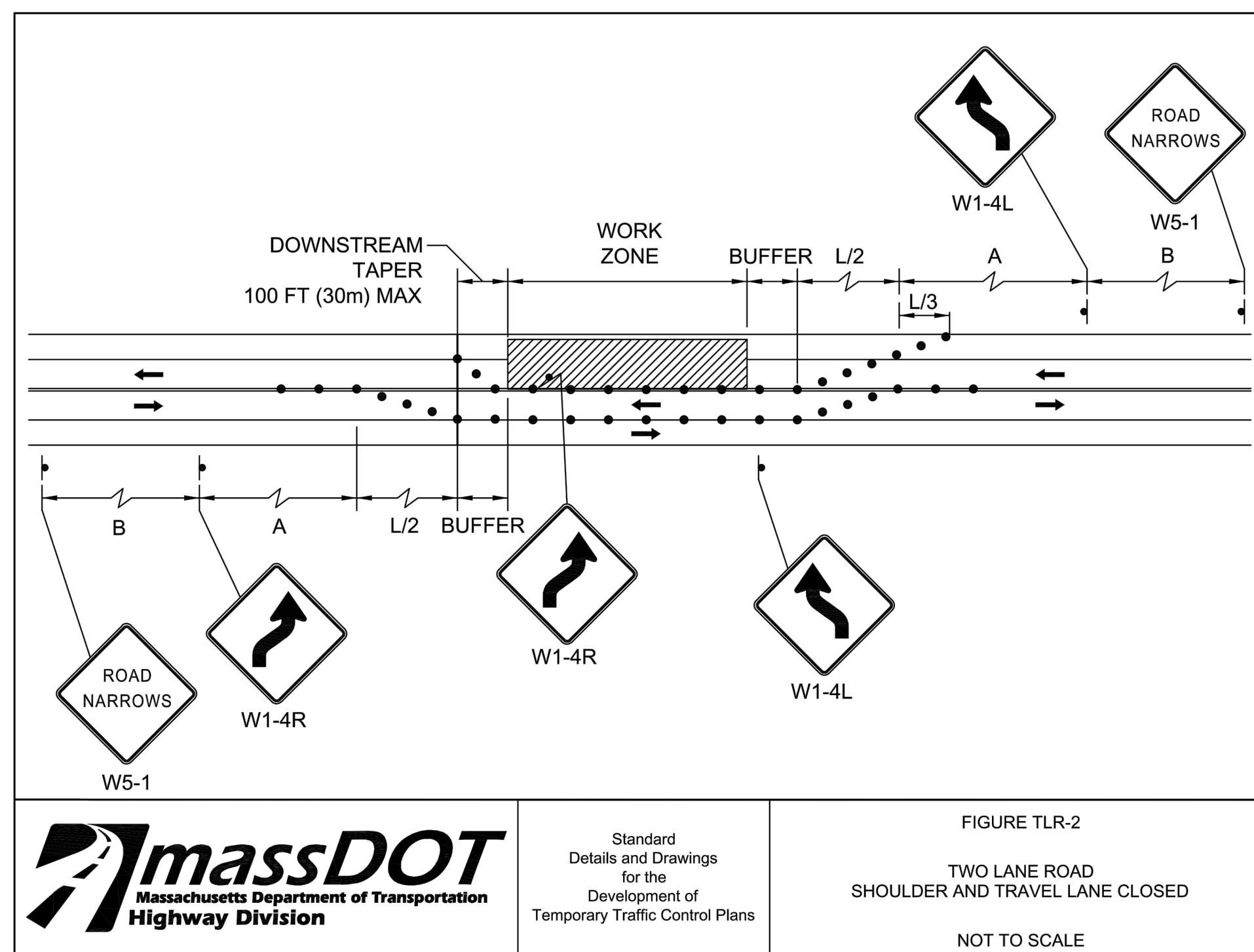
Notes for Traffic Management

FIGURE GEN-3
NOTES ON WORK ZONE DISTANCES



Standard Details and Drawings for the Development of Temporary Traffic Control Plans

FIGURE TLR-1
TWO LANE ROAD SHOULDER CLOSED
NOT TO SCALE



Standard Details and Drawings for the Development of Temporary Traffic Control Plans

FIGURE TLR-2
TWO LANE ROAD SHOULDER AND TRAVEL LANE CLOSED
NOT TO SCALE



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WAREHAM, MASSACHUSETTS

NO.	DATE	DESCRIPTION
1	11/09/22	RESPONSE TO MASSDOT COMMENTS
2	10/26/22	RESPONSE TO MASSDOT COMMENTS
3	07/18/22	RESPONSE TO MASSDOT COMMENTS

REVISIONS

SCALE:
AS NOTED

DATE:	APRIL 2022
NOBIS PROJECT NO.	95561.15
DRAWN BY:	SM
CHECKED BY:	CK
CAD DRAWING FILE:	95561.15-C-700-DETAILS.dwg

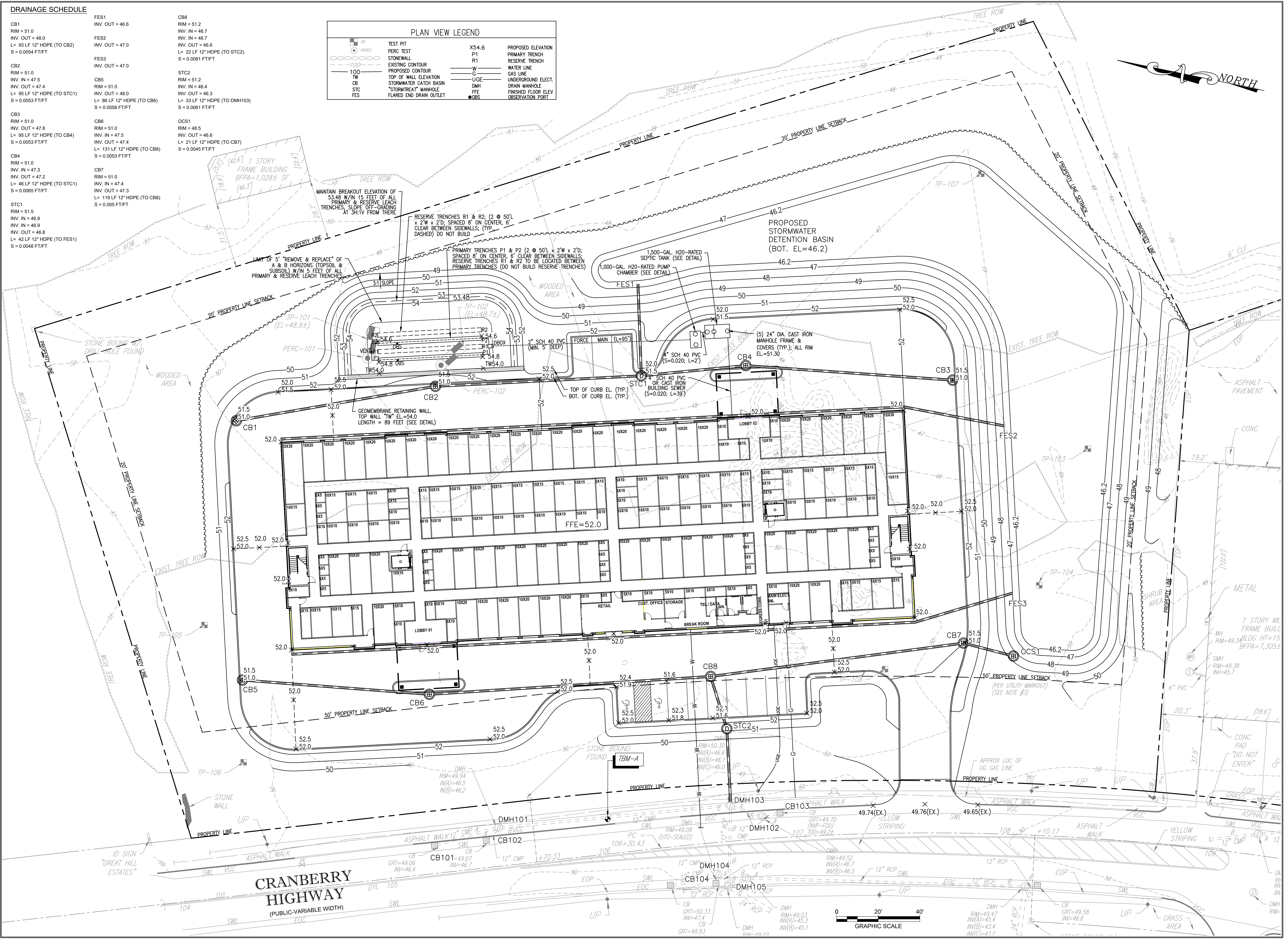
TRAFFIC MANAGEMENT PLAN DETAILS

SHEET
C-9

DRAINAGE SCHEDULE

CB1 RIM = 51.0 INV. OUT = 48.0 L = 93 LF 12" HDPE (TO CB2) S = 0.0054 FT/FT	FES1 INV. OUT = 46.6	CB8 RIM = 51.2 INV. IN = 46.7 INV. IN = 46.7 L = 22 LF 12" HDPE (TO STC2) S = 0.0091 FT/FT
CB2 RIM = 51.0 INV. IN = 47.5 INV. OUT = 47.4 L = 95 LF 12" HDPE (TO STC1) S = 0.0053 FT/FT	FES2 INV. OUT = 47.0	STC2 RIM = 51.2 INV. IN = 46.4 INV. OUT = 46.3 L = 33 LF 12" HDPE (TO DMH103) S = 0.0061 FT/FT
CB3 RIM = 51.0 INV. OUT = 47.8 L = 96 LF 12" HDPE (TO CB4) S = 0.0053 FT/FT	FES3 INV. OUT = 47.0	OCS1 RIM = 48.5 INV. OUT = 48.8 L = 21 LF 12" HDPE (TO CB7) S = 0.0045 FT/FT
CB4 RIM = 51.0 INV. IN = 47.3 INV. OUT = 47.2 L = 46 LF 12" HDPE (TO STC1) S = 0.0065 FT/FT	CB6 RIM = 51.0 INV. IN = 47.4 INV. OUT = 47.3 L = 119 LF 12" HDPE (TO CB8) S = 0.005 FT/FT	
STC1 RIM = 51.5 INV. IN = 46.9 INV. IN = 46.9 INV. OUT = 46.8 L = 42 LF 12" HDPE (TO FES1) S = 0.0048 FT/FT		

PLAN VIEW LEGEND		
TP	TEST PIT	X54.6
PERC	PERC TEST	P1
100	EXISTING CONTOUR	R1
100	PROPOSED CONTOUR	W
TW	TOP OF WALL ELEVATION	U
CB	STORMWATER CATCH BASIN	DMH
STC	"STORMTREAT" MANHOLE	FFE
FES	FLARED END DRAIN OUTLET	OBS
		PROPOSED ELEVATION
		PRIMARY TRENCH
		RESERVE TRENCH
		WATER LINE
		GAS LINE
		UNDERGROUND ELECT.
		DRAIN MANHOLE
		FINISHED FLOOR ELEV
		OBSERVATION PORT



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C/O: CHRIS LEWIS
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PROJECT SITE INFORMATION:
TRUE STORAGE FACILITY
2400, 2402, & 2406
CRANBERRY HIGHWAY
WAREHAM, MASSACHUSETTS

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REVISION BLOCK:

MARCH 3, 2022	
NO.	REVISION DESCRIPTION
7	
6	
5	
4	
3	
2	
1	
0	3/3/2022 BOH SEWAGE DISPOSAL CONSTRUCTION PERMIT

PROJECT:
PROPOSED TRUE STORAGE FACILITY
2400, 2402, & 2406
CRANBERRY HIGHWAY
WAREHAM, MASSACHUSETTS
INITIAL ISSUE DATE: MARCH 3, 2022
PLAN SCALE: 1" = 20'
PLAN TITLE:
PROPOSED SEWAGE DISPOSAL SITE PLAN
PROJECT NO. PE348.01
CAD FILE NO. PE348001.DWG
DRAWING NO. PE348001
SHEET NO: 1 OF 2

