

C:\Users\parrickp\Documents\202316_612_Drayton_Architect\parrickp@hansensavannah.com.rvt

RENOVATION AND ADDITION TO
612 DRAYTON STREET SAVANNAH, GA 31401



INDEX OF DRAWINGS

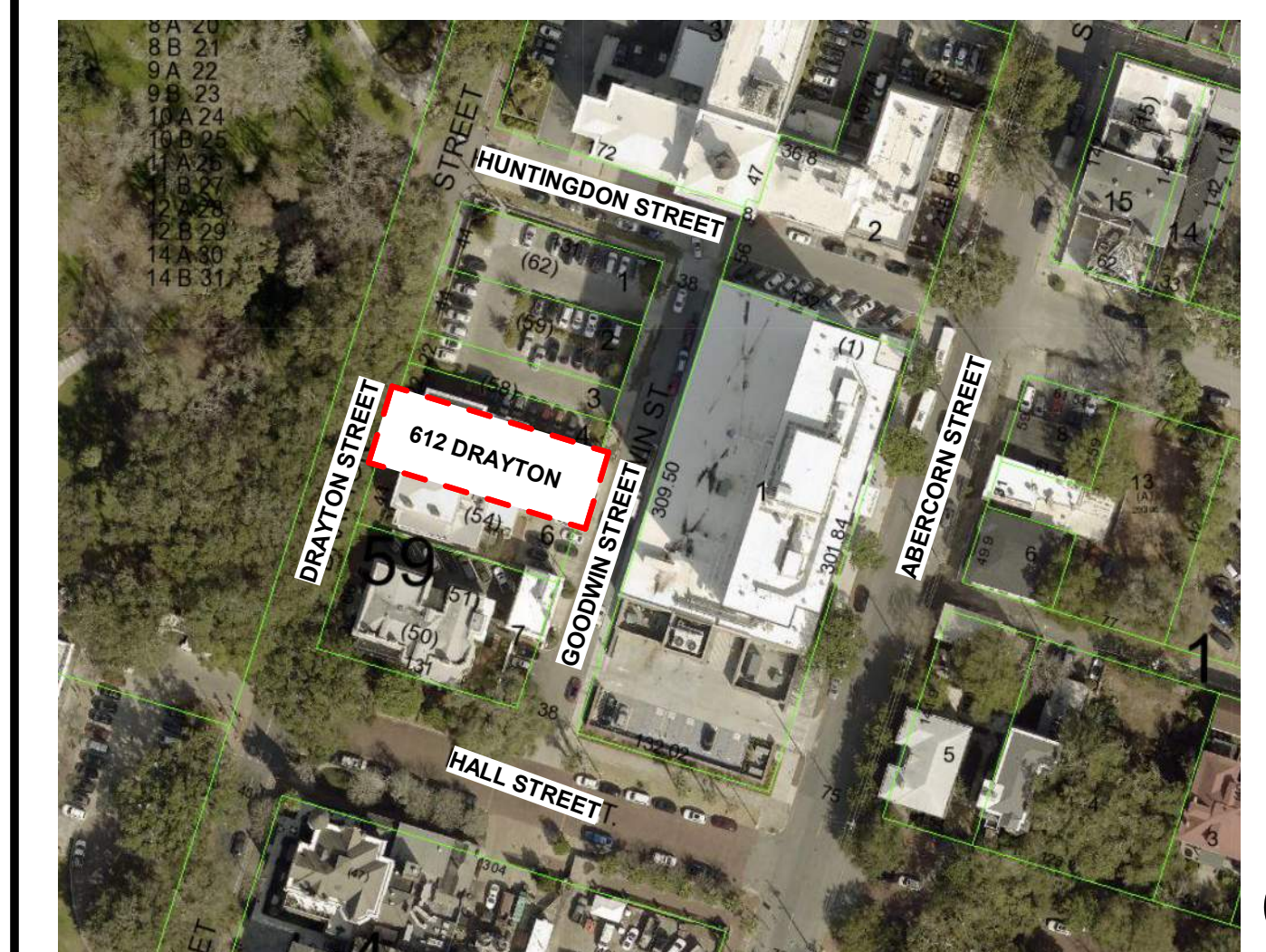
- SHEET ISSUED
- ▶ SHEET REVISED
- X SHEET REMOVED
- SHEET PROVIDED BY:

SHEET NO.	SHEET NAME	HDRB SUBMITTAL 03.29.2024			
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PLAN REVIEW DATA

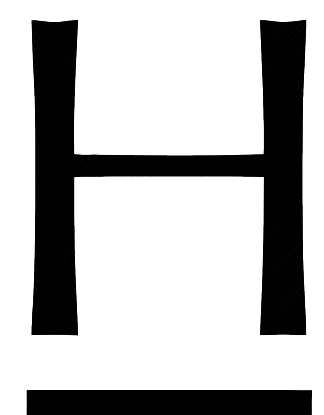
ADDRESS: 612 DRAYTON STREET, SAVANNAH, GA, 31401
 P.I.N.: 20032 59005
 ZONING: D-C DOWNTOWN COMMERCIAL
 FLOOD ZONE: 'X'
 OVERLAY DISTRICT: DOWNTOWN SAVANNAH HISTORIC DISTRICT
 BUILDING CONSTRUCTION TYPE: IBC TYPE IIIIB, NFPA TYPE III (200)
 OCCUPANCY CLASSIFICATION: BUSINESS

VICINITY MAP



PROJECT CONTACTS

OWNER SCAD 22 EAST LATHROP AVE. SAVANNAH, GA 31401 CONTACT: MARTIN SMITH E-MAIL: msmith@scad.edu PH: 912.525.5080	ARCHITECT HANSEN ARCHITECTS, P.C. 24 DRAYTON STREET, 9TH FLOOR SAVANNAH, GA 31401 CONTACT: PATRICK PHELPS E-MAIL: pphelps@hansensavannah.com PH: 912.234.8056	STRUCTURAL ENGINEERING THARPE ENGINEERING GROUP 321 W CONGRESS ST SAVANNAH, GA 31401 CONTACT: CODY THARPE, P.E. E-MAIL: cody@tharpeengineering.com PH: 912.349.7603	MEP ENGINEERING METHOD ENGINEERING GROUP 2 E BRYAN STREET, SUITE 1500C SAVANNAH, GA 31401 MECH. CONTACT: ANDREW MCKEEVER, P.E. MECH. E-MAIL: amckeever@methodeg.com ELEC. CONTACT: CHRIS SHAFFER, P.E. RCDD ELEC. E-MAIL: cshaffer@methodeg.com PH: 912.963.1611
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ARCHITECTURE
HISTORIC PRESERVATION
INTERIOR DESIGN

HANSEN ARCHITECTS, P.C.
24 Drayton Street, 9th Floor
Savannah, Georgia 31401
P 912.234.8056
www.hansensavannah.com

SHEET NO. HDRB T0.0-00
 PROJECT NUMBER: 202316
 DATE: 03/29/2024

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PRELIMINARY - NOT FOR CONSTRUCTION

GENERAL INFORMATION :

ADDRESS: 612 DRAYTON STREET SAVANNAH, GEORGIA, 31401
PIN: 20032 59005
ZONING: D-C DOWNTOWN COMMERCIAL
FLOOD: X
OVERLAY DISTRICT: DOWNTOWN SAVANNAH HISTORIC DISTRICT
CONTRIBUTING BUILDING: YES, LISTED 1973, FORSYTH PARK, PAGE 85 OF THE HISTORIC BUILDING MAP SUPPLEMENT

PRE APPLICATION CONFERENCE:

MARCH 11, 2024, JONATHAN MELLON, CAITLIN CHAMBERLAIN

WRITTEN PROJECT DESCRIPTION:

REQUEST FOR COA FOR PARTIAL DEMOLITION, ALTERATIONS, AND ADDITIONS TO 612 DRAYTON STREET, SAVANNAH, GA 31401
 612 DRAYTON STREET WAS BUILT FOR WILLIAM H. BAKER IN 1872. THE FOUR STORY BRICK TOWNHOUSE HAS A TYPICAL SAVANNAH SIDE HALL PLAN WHERE THE ENTRY OPENS ONTO A STAIR AND HALL THAT IS FLANKED BY ONE SIDE BY STACKED LIVING PARLORS AND BEDROOMS.
 THE BUILDING IS SIMPLIFIED ITALIANATE IN STYLE. ITS HIP ROOF HAS AN EXTENDED EAVE WITH DECORATIVE BRACKETS. THE WINDOWS ARE ADORNED WITH CAST IRON HOODS, STONE SILLS, AND LOUVERED WOOD SHUTTERS. THE RUSTICATED BRICK WAS MOST LIKELY ORIGINALLY CLAD WITH STUCCO.
 THE LAST KNOWN OCCUPANT OF THE BUILDING WAS THE GEORGIA MEDICAL SOCIETY, FOUNDED IN 1804.
 THE BUILDING WAS LISTED AS A CONTRIBUTING BUILDING TO THE DOWNTOWN SAVANNAH HISTORIC DISTRICT IN 1979.

ALTERATIONS TO THE HISTORIC PORTIONS OF THE BUILDING INCLUDE:

- A TWO-STORY CONCRETE BLOCK ADDITION TO THE EAST (REAR) FACADE
- A SMALL SINGLE STORY ADDITION WAS CONSTRUCTED ON THE SOUTH (SIDE) FACADE
- TWO WINDOWS ON THE SOUTH SIDE OF THE GARDEN FLOOR WERE CONVERTED INTO A DOORWAYS
- REPLACEMENT OF THE GARDEN LEVEL AND PARLOR LEVEL ENTRY DOORS.

PROPOSED WORK ON THE 1872 CONTRIBUTING BUILDING:

A NEW ELEVATOR WITH SHAFT ENCLOSURE AND OVERIDE, LOCATED ON THE SOUTH FACADE OF THE 1872 STRUCTURE CONNECTING ALL FLOORS.
 MINOR IN-KIND REPAIR OF THE EXISTING WOOD WINDOWS.

GARDEN FLOOR:

- REMOVAL OF THE SINGLE STORY NON-HISTORIC ADDITION
- RESTORATION OF THE TWO WINDOWS THAT WERE MODIFIED INTO DOORWAYS.
- REPLACEMENT OF THE DOUBLE ENTRY DOORS WITH A SINGLE DOOR WITH FLANKING SIDE LITES.
- NEW WOOD FENCING / EQUIPMENT SCREEN

PARLOR FLOOR:

- REPLACEMENT OF THE DOUBLE ENTRY DOORS WITH A SINGLE DOOR WITH FLANKING SIDE LITES.

FOURTH FLOOR:

- A NEW CORRIDOR ADDITION, CONNECTING THE FORTH FLOOR TO THE EXISTING STAIR TOWER.

PROPOSED WORK ON THE TWO STORY CONCRETE BLOCK ADDITION:

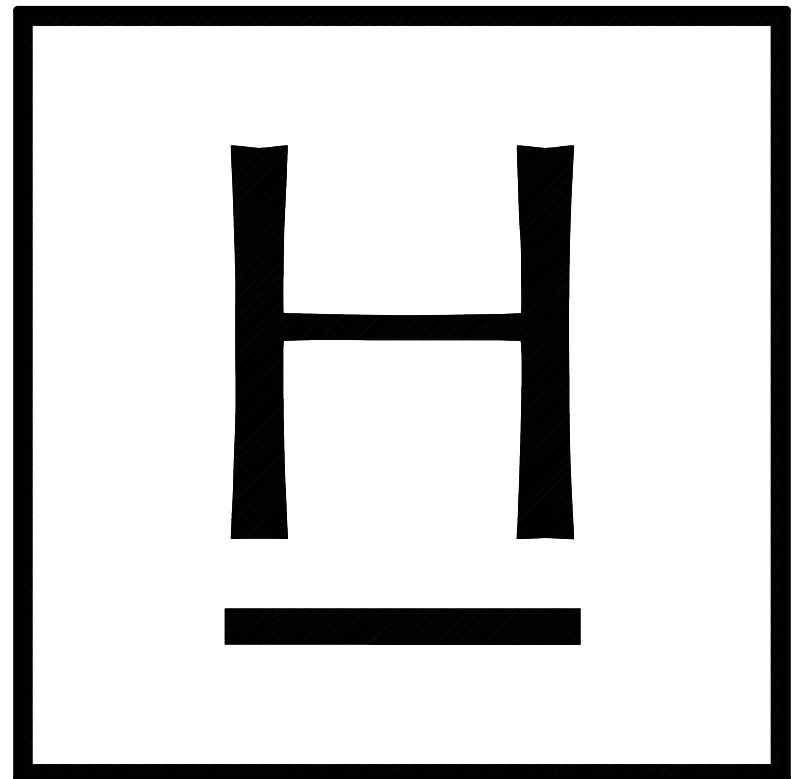
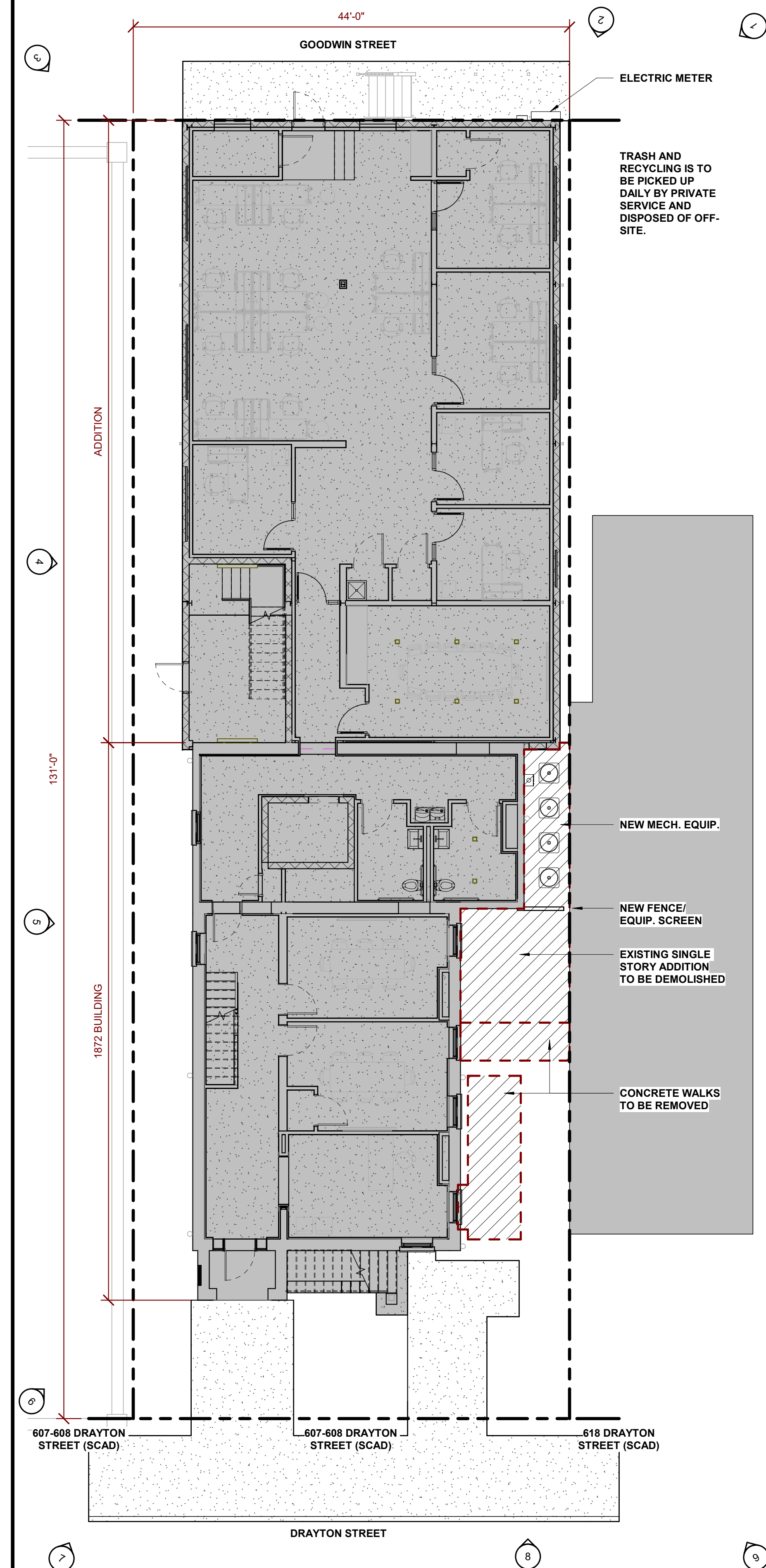
- REPLACE THE EXISTING STEEL FRAME WINDOWS IN THE STAIR TOWER
- EXPAND THE DEPTH OF THE EXISTING STAIR TOWER TOWARDS THE EAST
- RESTORE THE ORIGINAL WINDOW OPENINGS IN THE NORTH AND SOUTH FACADE ON THE SECOND FLOOR
- RECONFIGURE THE EXISTING WINDOW OPENINGS ON THE NORTH AND SOUTH FACADE OF THE FIRST FLOOR
- INSTALL NEW ALUMINUM STEEL REPLICA FIXED WINDOWS THROUGHOUT THE ADDITION
- PROVIDE NEW PORTLAND CEMENT STUCCO FINISH OVER THE CONCRETE BLOCK ADDITION
- NEW SINGLE PLY MEMBRANE ROOFING, GUTTERS, AND DOWNSPOUTS
- NEW ROOF TOP EQUIPMENT SCREENS
- NEW ALUMINUM AWNINGS AT THE FIRST AND SECOND FLOOR ENTRIES ON THE EAST FACADE
- REMOVAL AND REPLACEMENT OF THE STEEL STAIR ON THE SOUTH FACADE.

VARIANCE/SPECIAL EXCEPTION REQUEST:

NO VARIANCES OR SPECIAL EXCEPTIONS ARE REQUESTED

GDP/SPR MEETING DATE ATTENDED:

NOT APPLICABLE - NO SITE WORK



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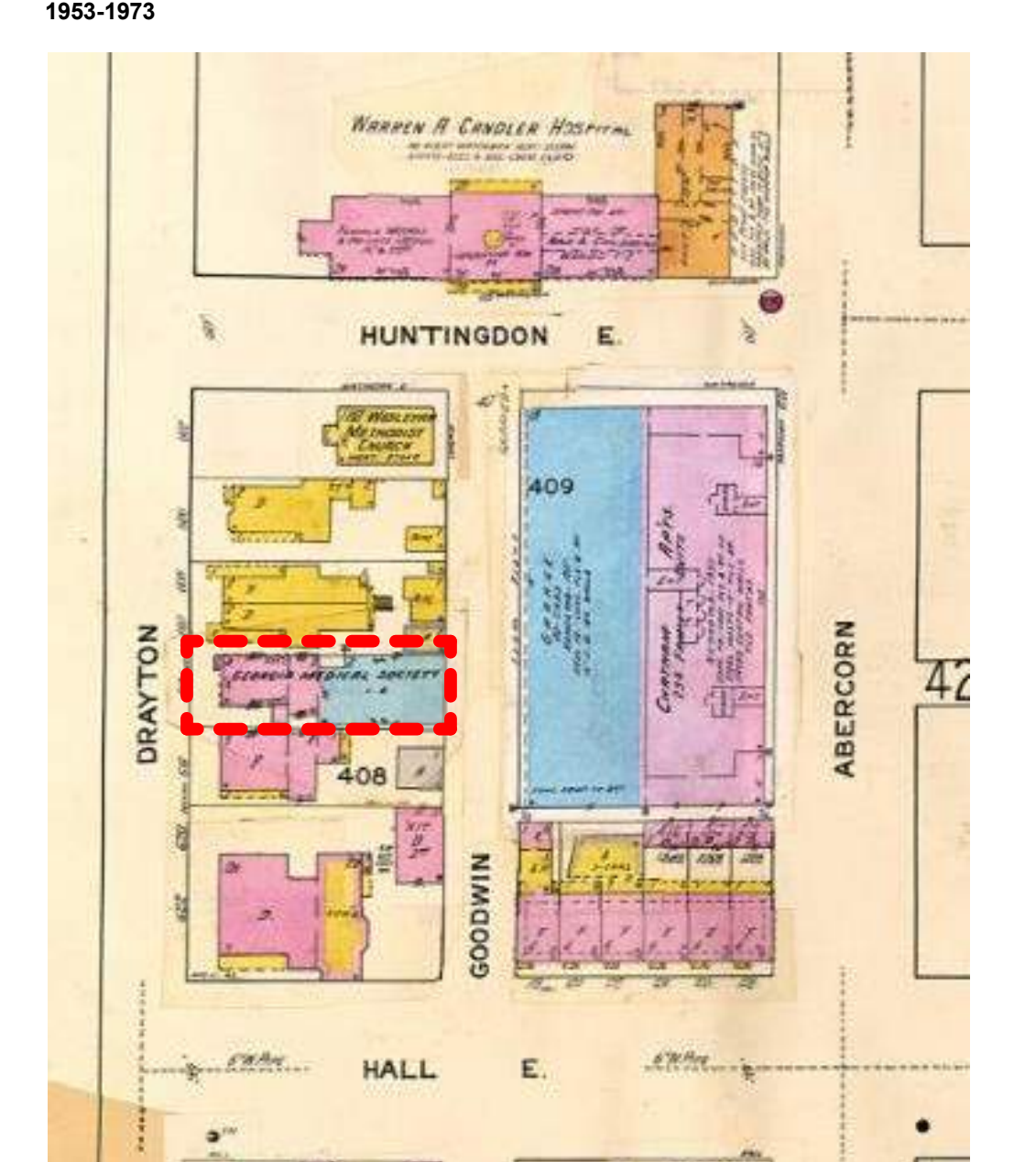
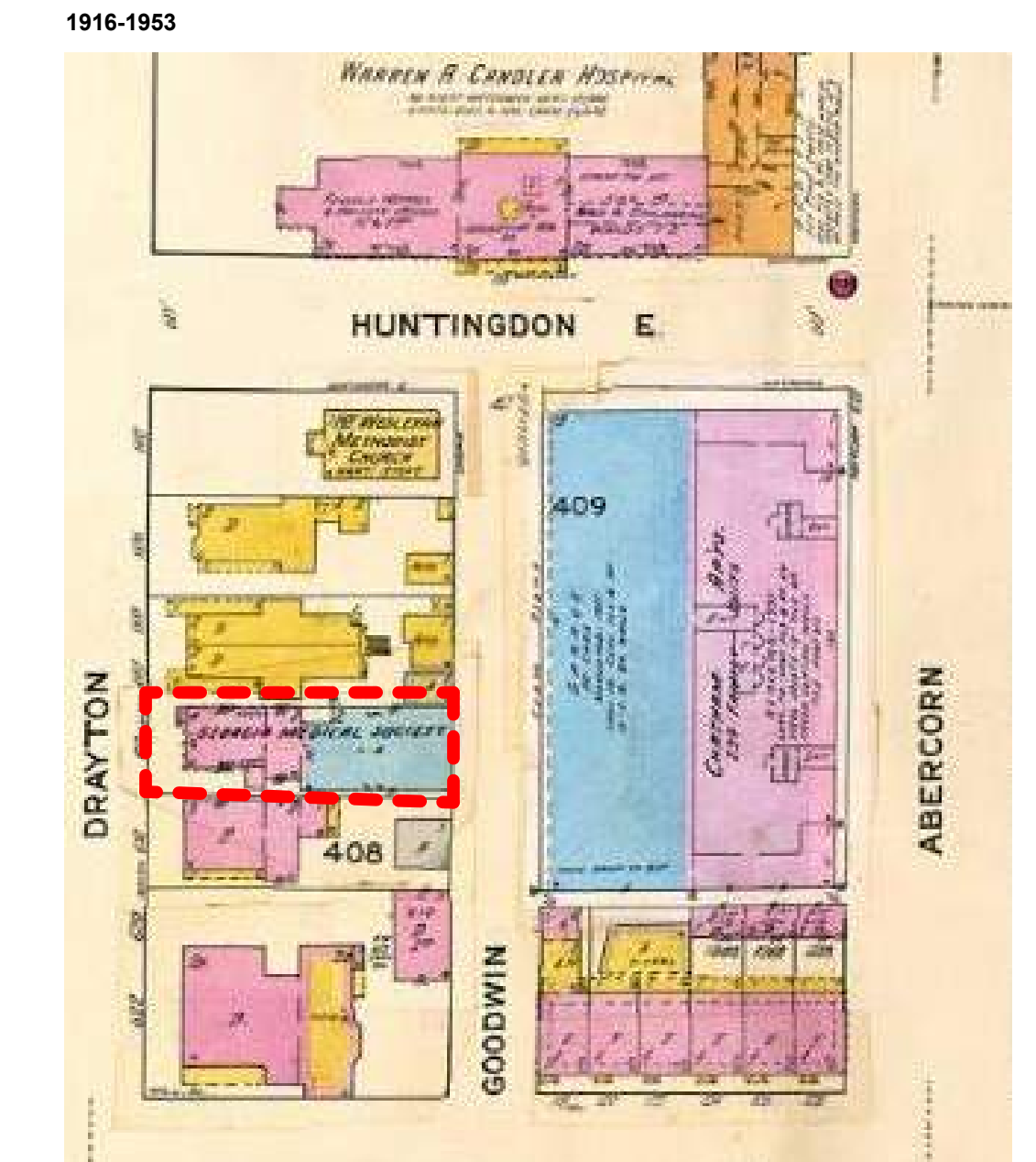
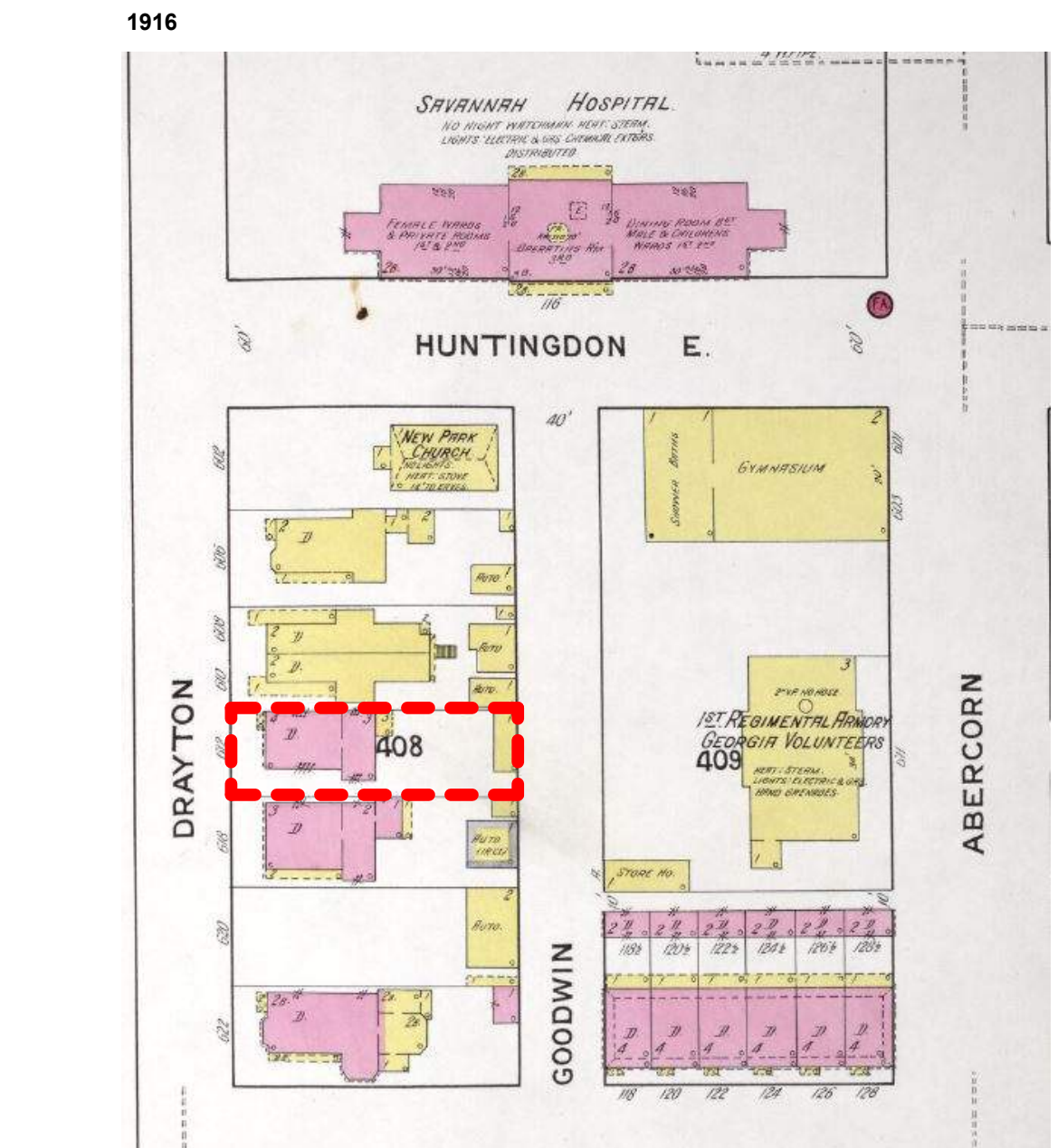
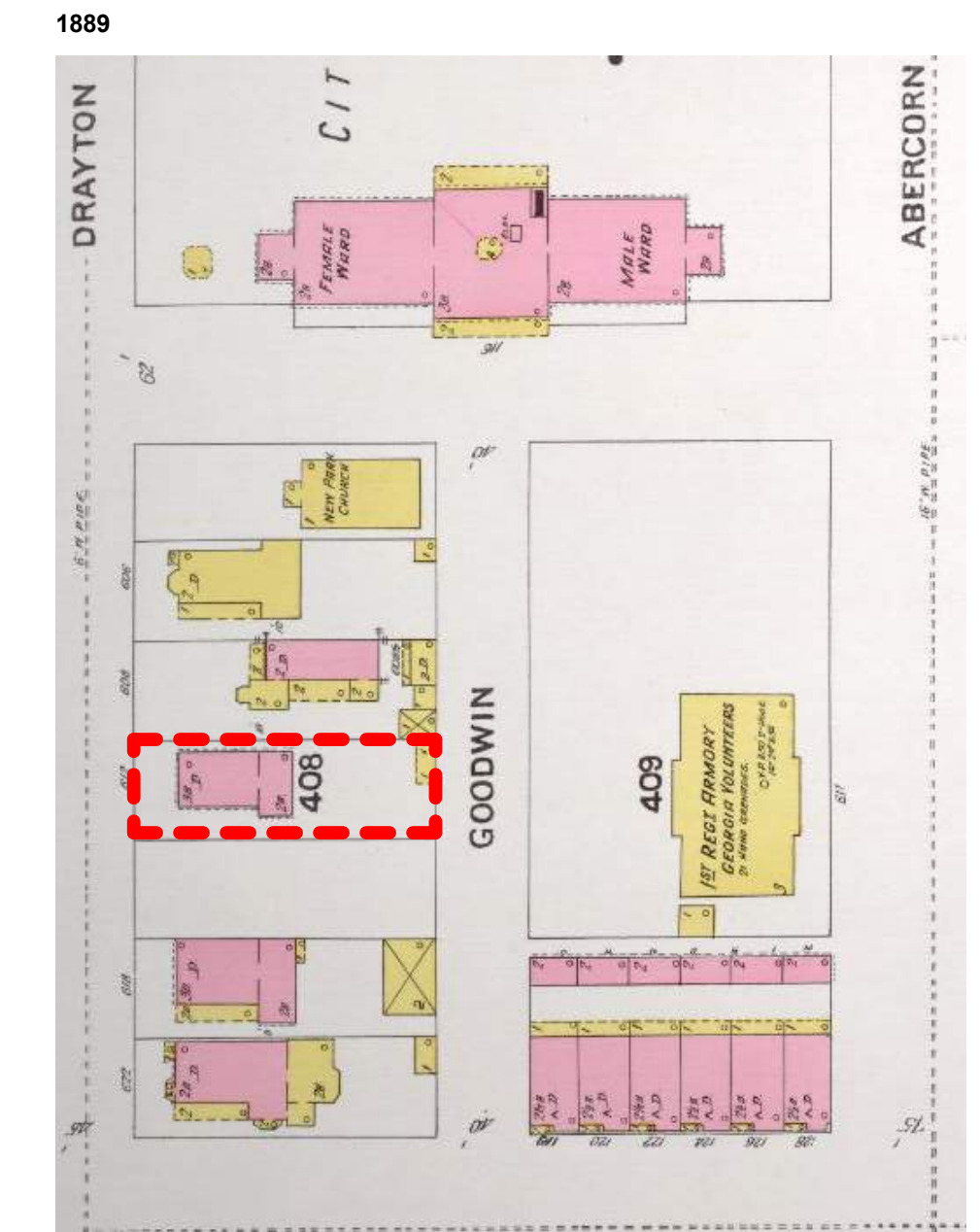
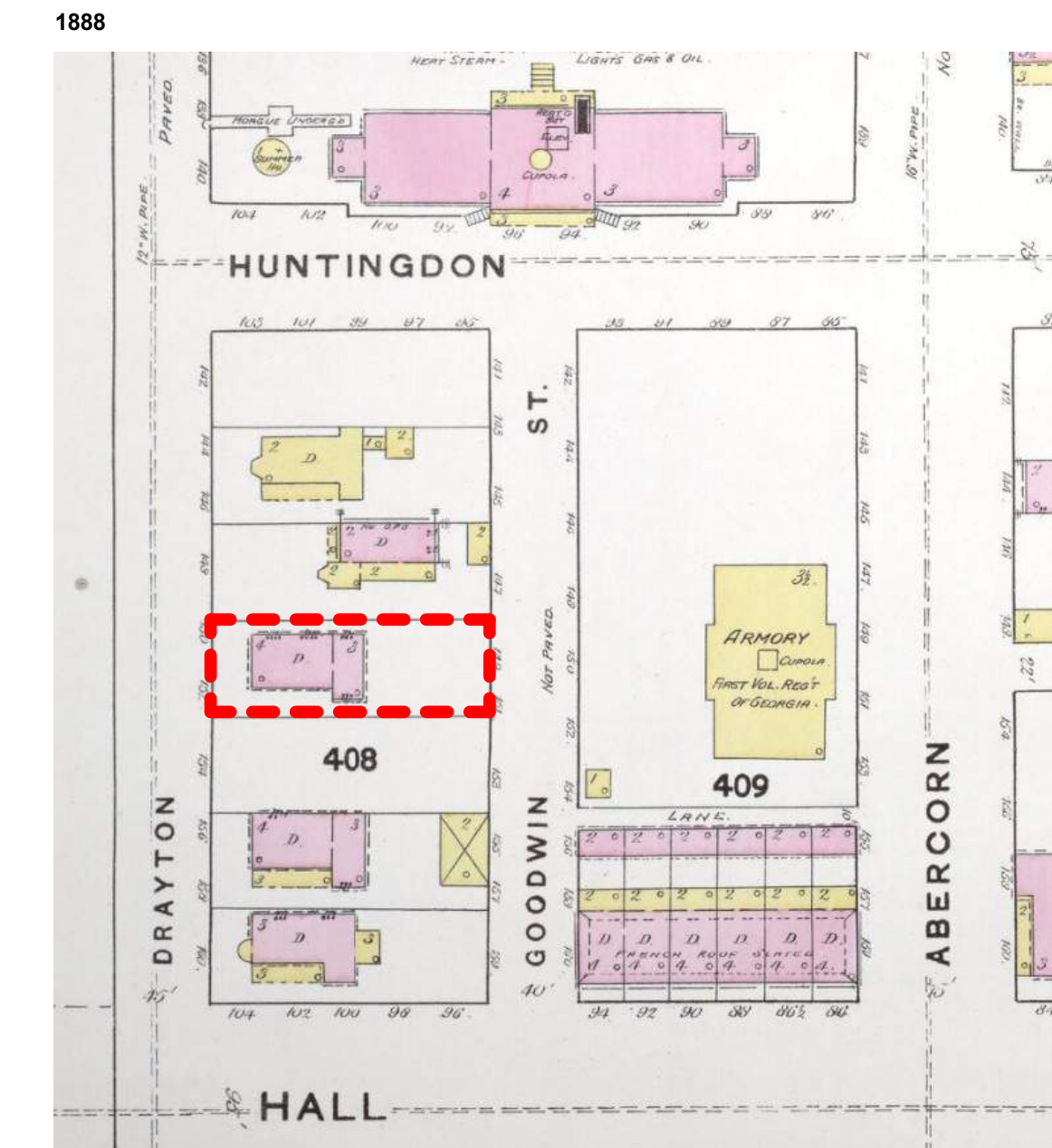
RENOVATION AND ADDITION TO
 612 DRAYTON ST
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SCAD
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GENERAL INFORMATION

HISTORIC PHOTOGRAPHS

1 ARCHITECTURAL SITE PLAN
 HD8R 0.1-00
 1/8" = 1'-0"

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SANBORN FIRE INSURANCE MAPS

SHEET TITLE
 GENERAL INFORMATION

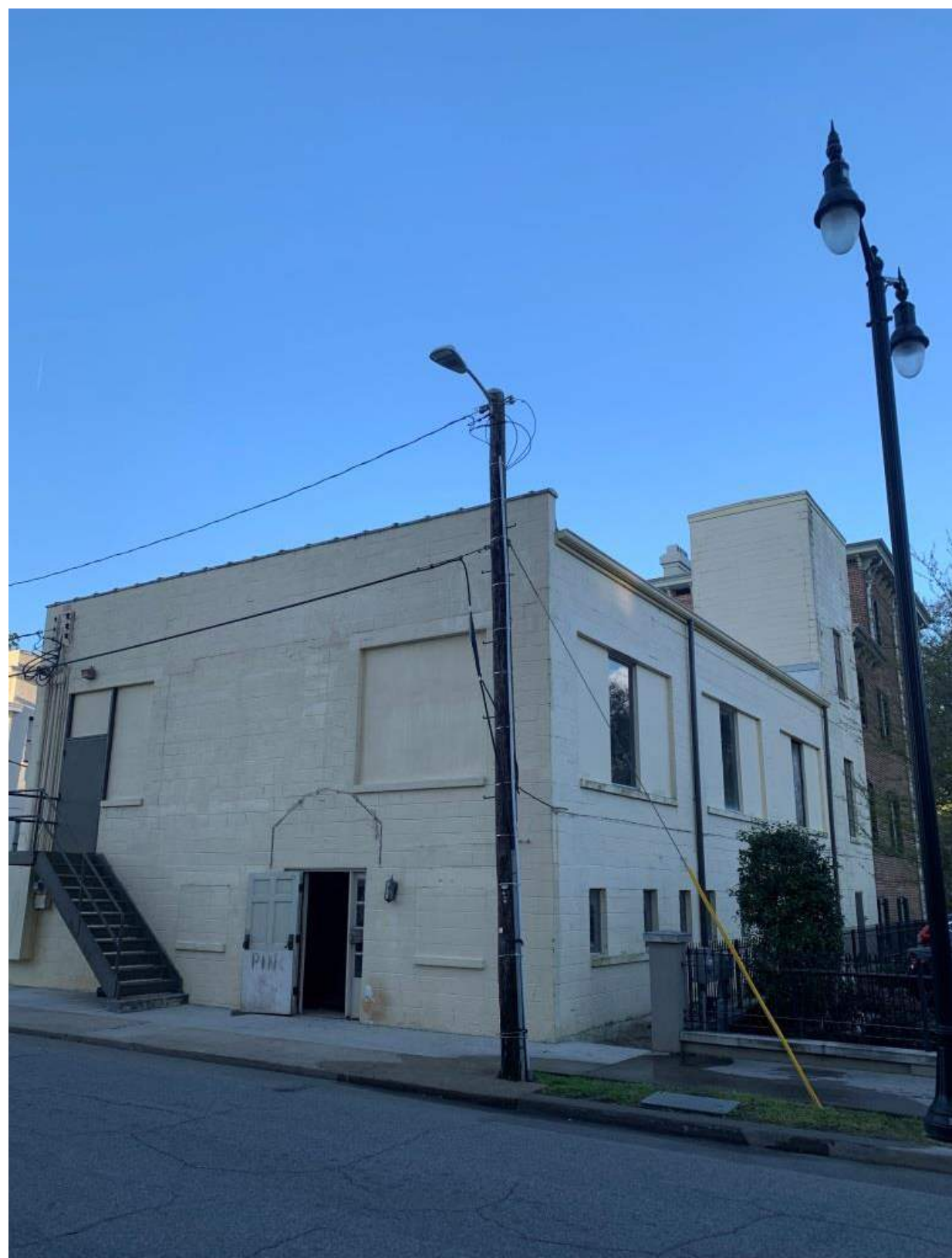
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 SCALE: 1/8" = 1'-0"

SHEET NO.
HD8R 0.1-00

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NORTH EAST - GOODWIN STREET
PHOTO 1

NORTH EAST - GOODWIN STREET
PHOTO 2

NORTH EAST - GOODWIN STREET
PHOTO 3

NORTH EAST - GOODWIN STREET
PHOTO 4



NORTH - HUNTINGDON STREET
PHOTO 5

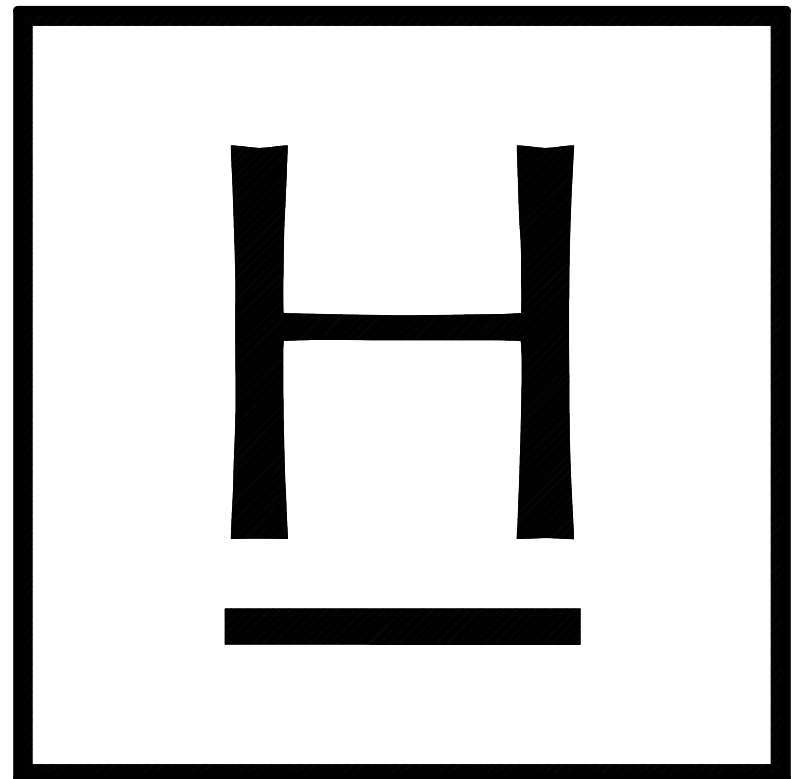
NORTH WEST - DRAYTON STREET
PHOTO 6

NORTH WEST - DRAYTON STREET
PHOTO 7

WEST - DRAYTON STREET
PHOTO 8



SOUTH WEST - DRAYTON STREET
PHOTO 9



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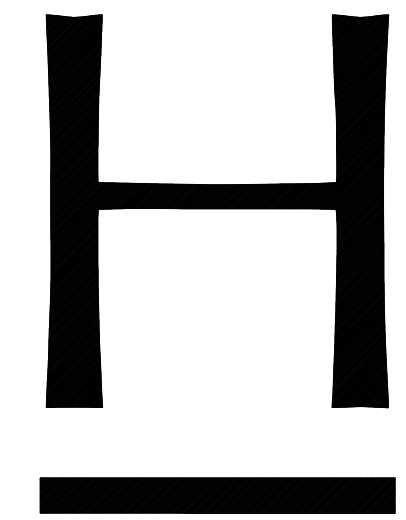
NORTH WEST PERSPECTIVE



SOUTH EAST PERSPECTIVE



NORTH EAST PERSPECTIVE



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EXTERIOR RENDERINGS WITH PROPOSED ALTERATIONS AND ADDITIONS

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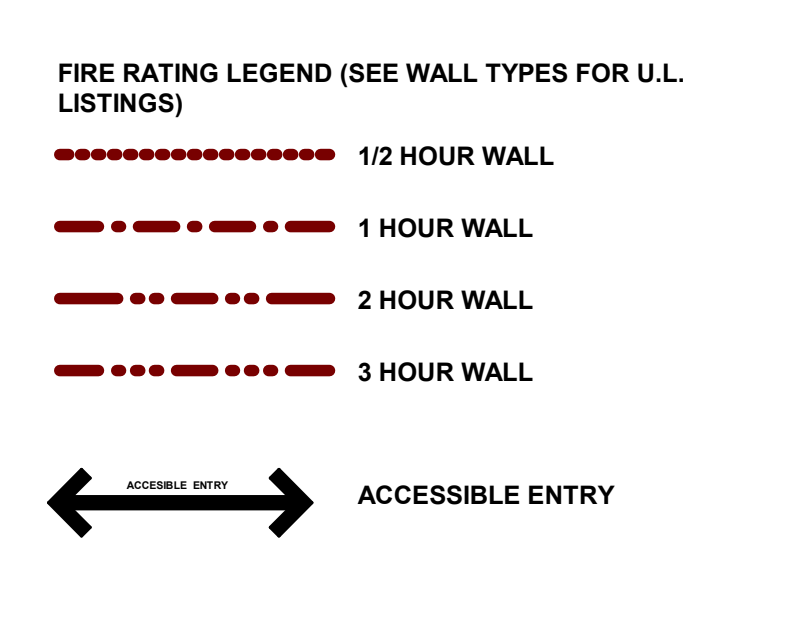
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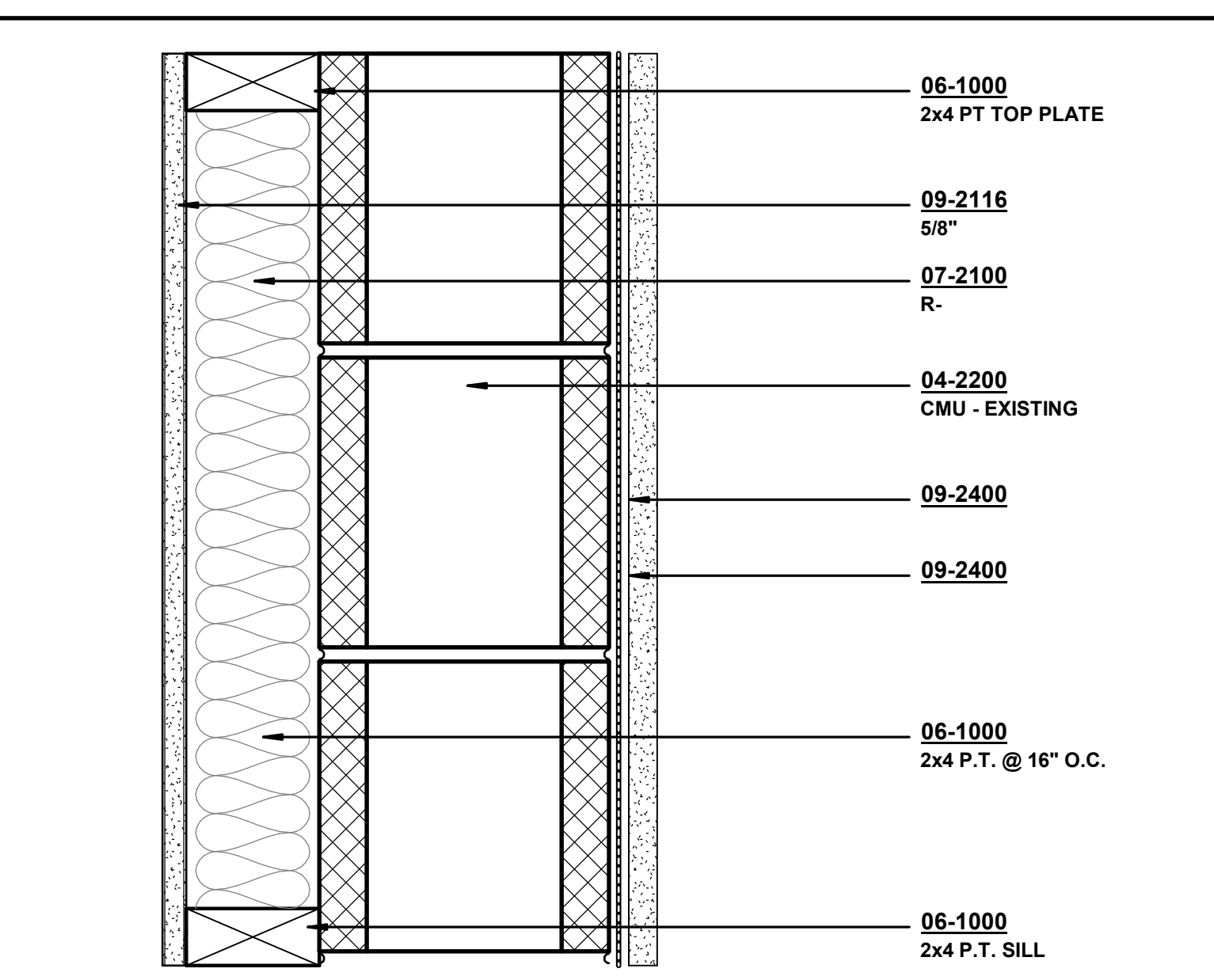


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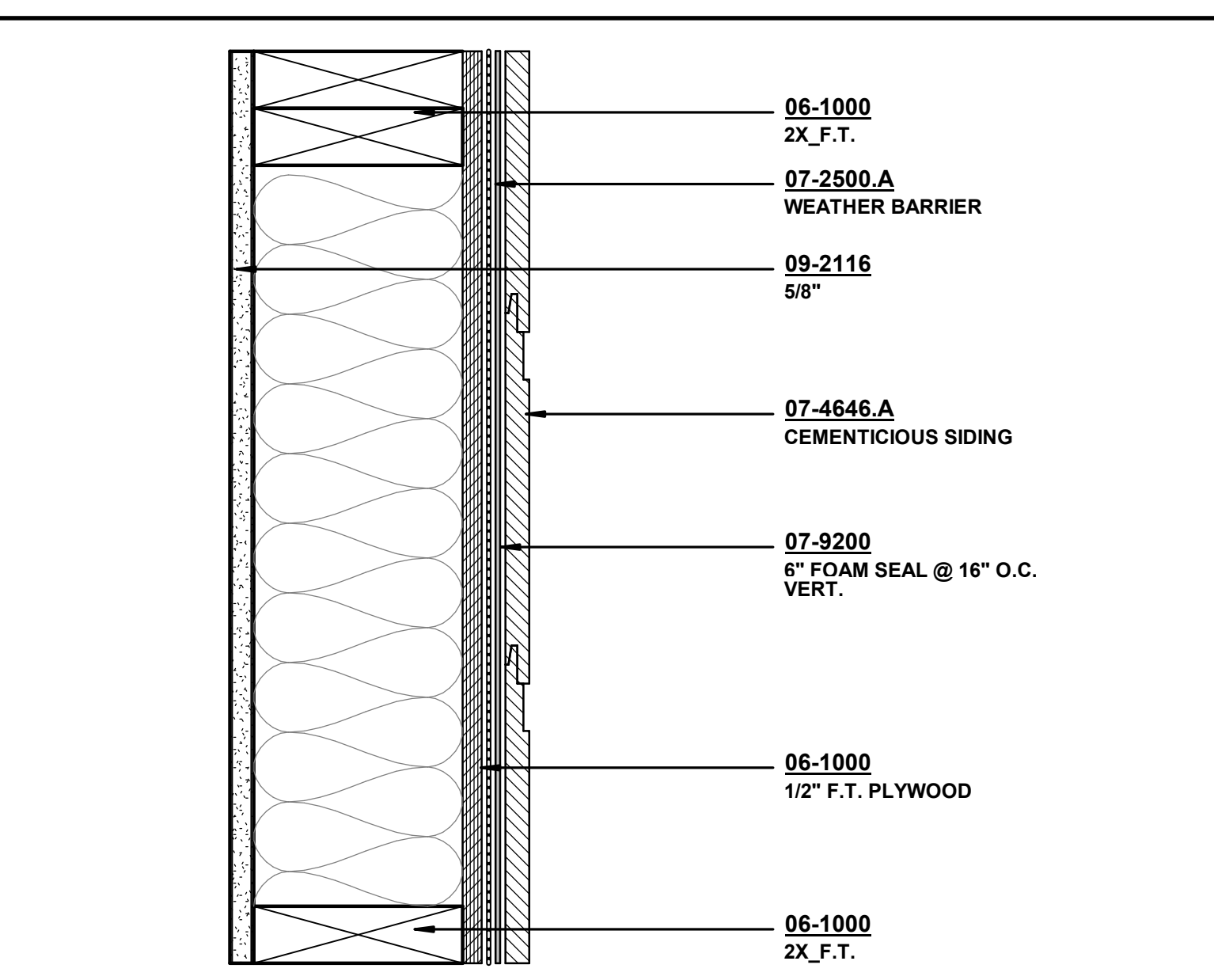
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GENERAL NOTES

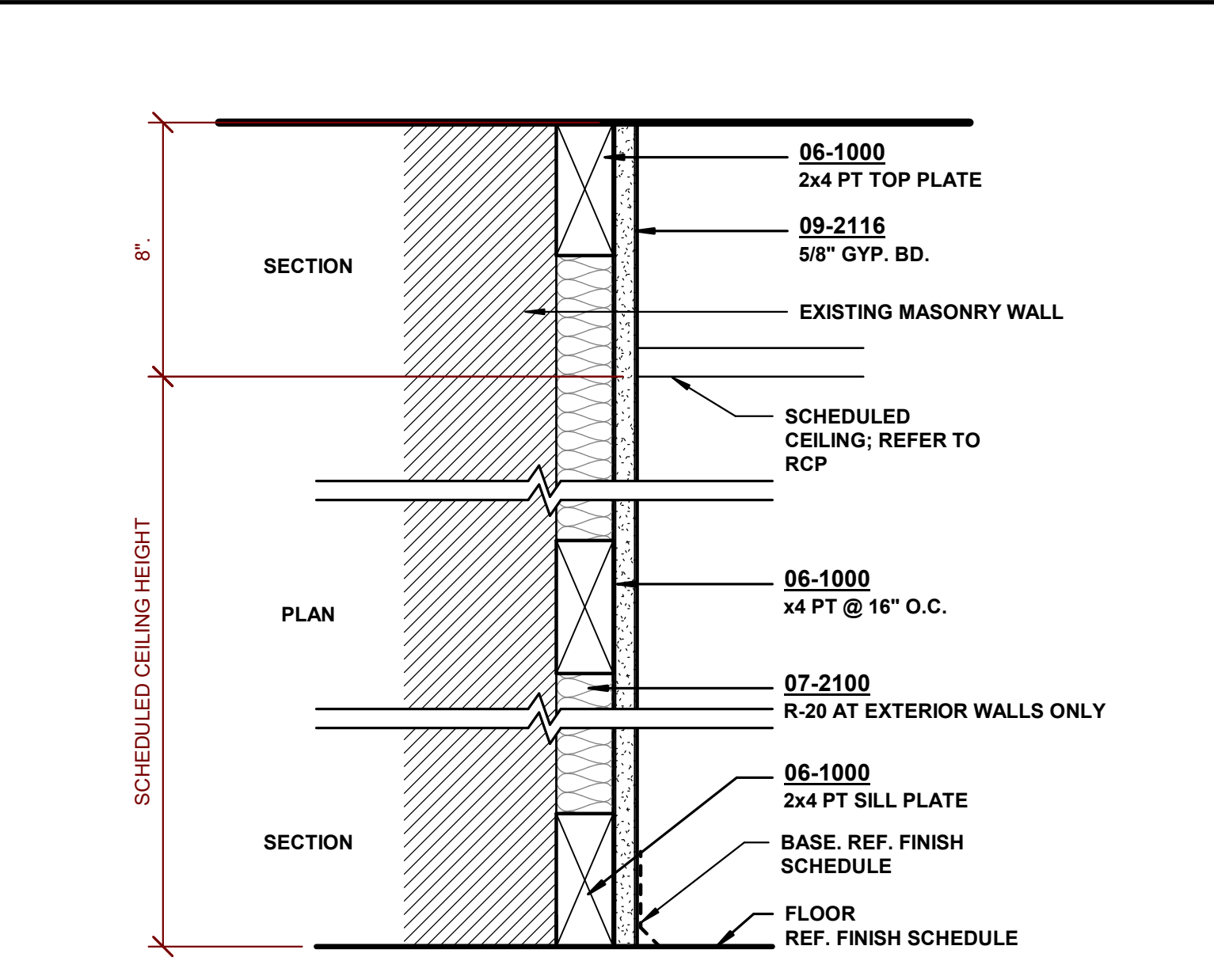
- ALL WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- FOR WHERE DOOR DIMENSIONS ARE NOT DESIGNATED, AS SHOWN ADJACENT TO WALL, SET DOOR 4" FROM WALL TO JAMB INCLUDING FRAME. WHERE SHOWN IN MIDDLE OF WALL, SET DOOR IN CENTER OF SAME WALL.
- UNLESS NOTED OTHERWISE ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR INFORMATION PURPOSES ONLY.
- PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES, CASEWORK, ACCESSORIES AS REQUIRED.
- GENERAL CONTRACTOR SHALL REVIEW & IMPLEMENT U.L. RATED ASSEMBLIES NOTED HEREIN.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING WORK.
- GENERAL CONTRACTOR SHALL VERIFY THE FINAL APPLIANCES SELECTED FOR CLEARANCE AND ROUGH IN REQUIREMENTS. A COPY OF THE APPLIANCE INSTALLATION GUIDE FOR ALL APPLIANCES SHALL BE PROVIDED WITH THE CASEWORK SHOP DRAWINGS FOR REVIEW AND CONFIRMATION OF REQUIRED CLEARANCES ALLOWED PER MANUFACTURE PER APPLIANCE.
- GENERAL CONTRACTOR TO COORDINATE ALL WORK ASSOCIATED WITH OR AFFECTED EXISTING AREAS WITH OWNER FOR SCHEDULING AND IMPLEMENTATION PRIOR TO PROCEEDING WITH WORK.
- GENERAL CONTRACTOR SHALL FIELD VERIFY SURVEY LOCATION AND ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED THE TENANT (IF APPLICABLE) AND THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE AND CERTIFICATE OF OCCUPANCY AS REQUIRED.
- NOT USED
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER, LIGHT, AND TELEPHONE IN ACCORDANCE WITH REQUIREMENTS. GENERAL CONTRACTOR SHALL REMOVE ALL THESE ITEMS AT THE COMPLETION OF WORK OR AS REQUIRED.
- GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND AGENDA.
- GENERAL CONTRACTOR SHALL COMPLETE ALL WORK IN A NEAT AND PROFESSIONAL MANNER.



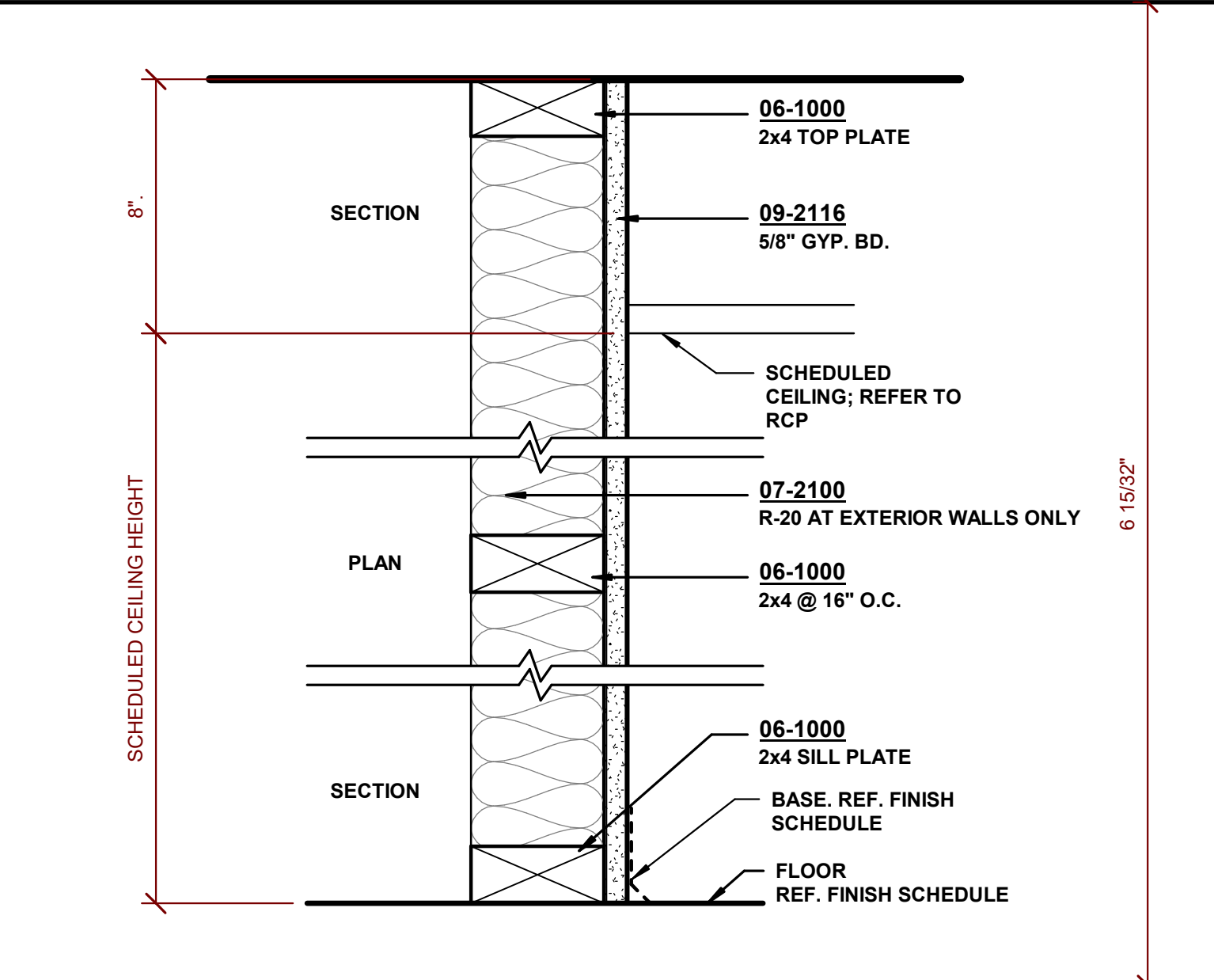
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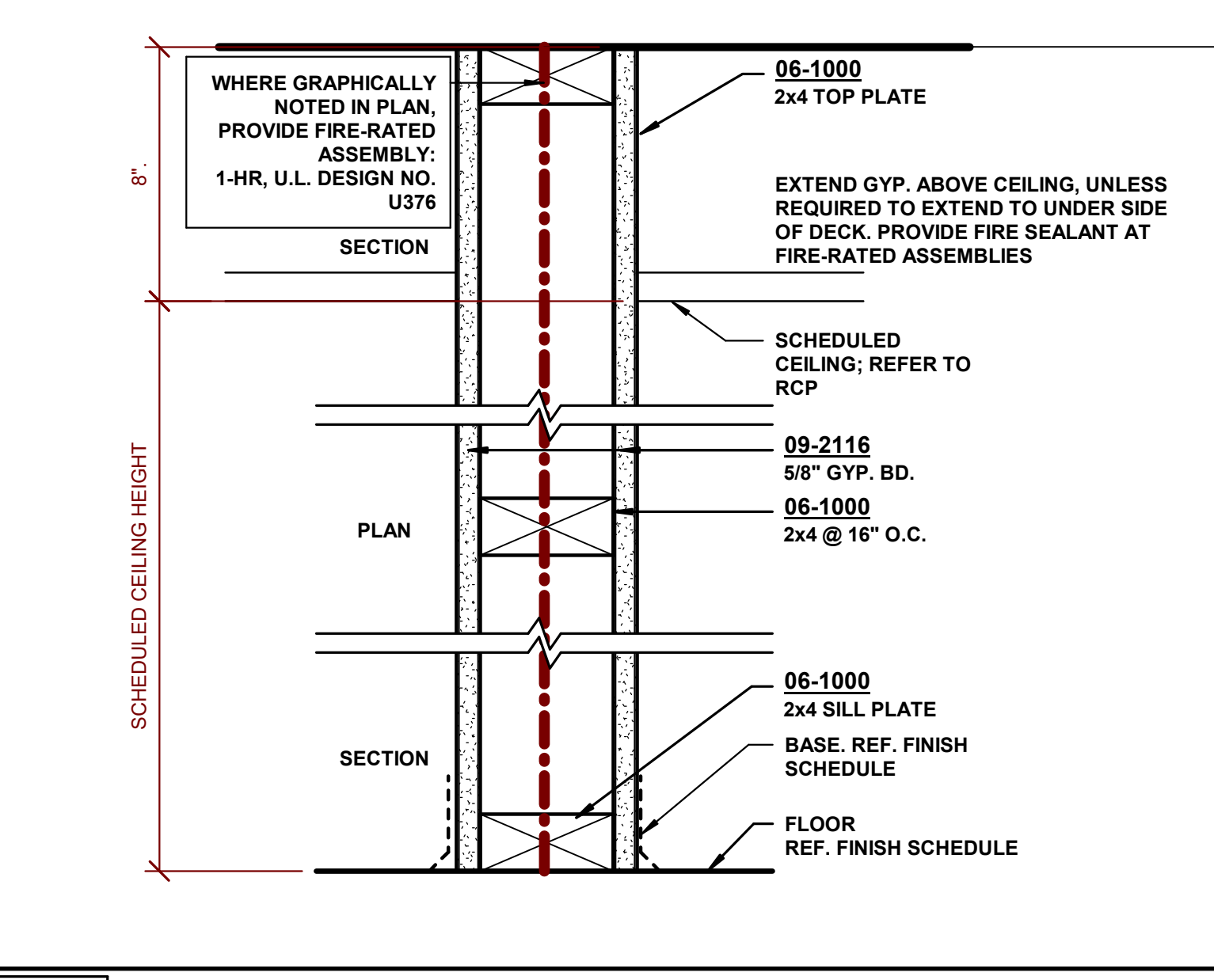
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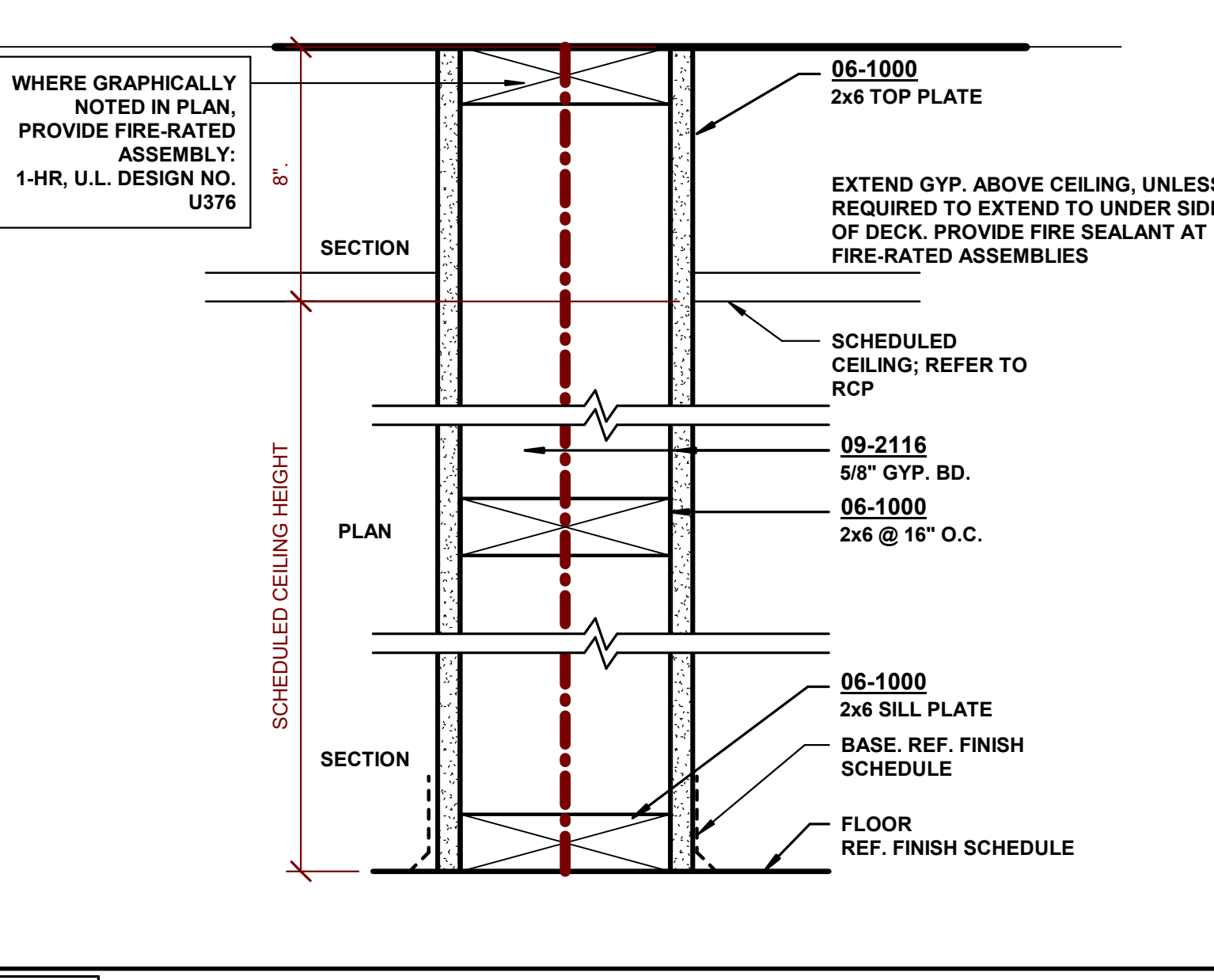
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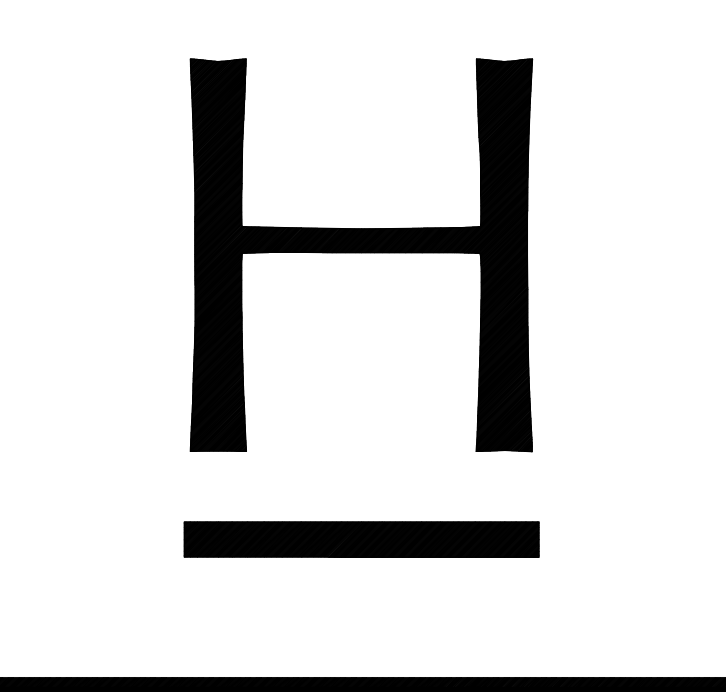
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5 WALL TYPE 11-B HDBR
HDBR 0.4-05 3" = 1'-0"



6 WALL TYPE 12-B HDBR
HDBR 0.4-06 3" = 1'-0"



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RENOVATION AND ADDITION TO
612 DRAYTON ST
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SCAD
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PRELIMINARY - NOT FOR CONSTRUCTION

SHEET TITLE
ANNOTATIONS, ABBREVIATIONS, & GENERAL NOTES

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PROJECT NUMBER: 202316
DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: As indicated
HDBR 0.4-00

3/29/2024 2:08:00 PM

SYMBOLS
N.T.S.

ABBREVIATIONS
N.T.S.

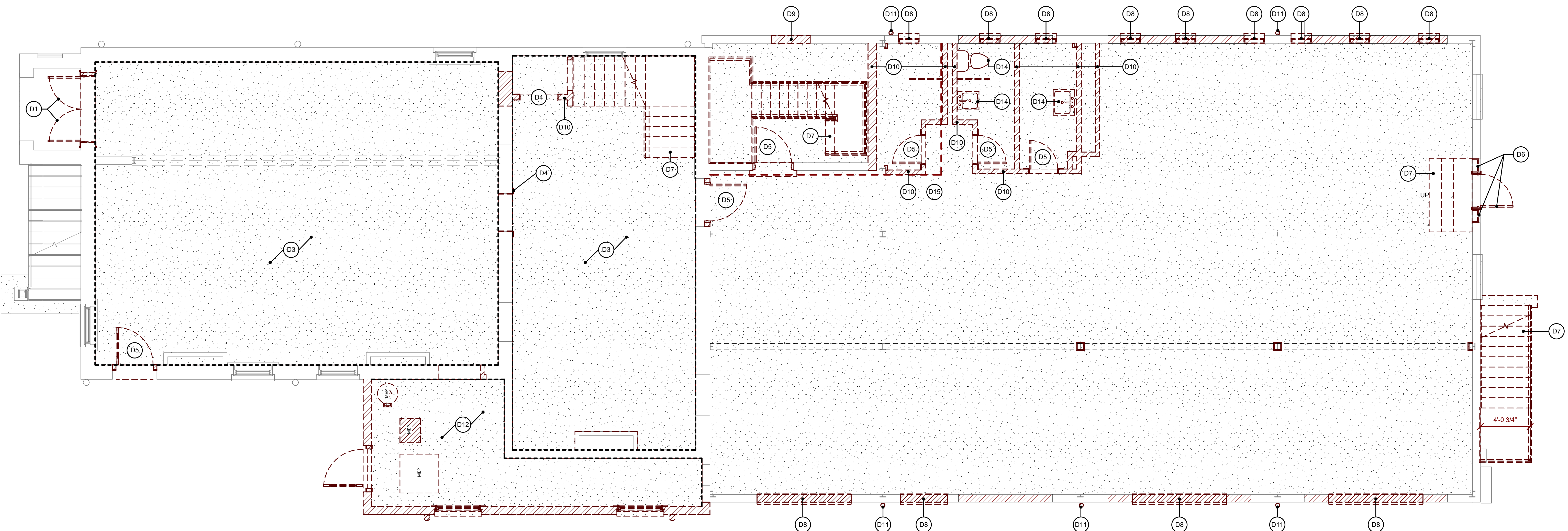
ABBREVIATIONS (CONT.)
N.T.S.

SYMBOLS
N.T.S.

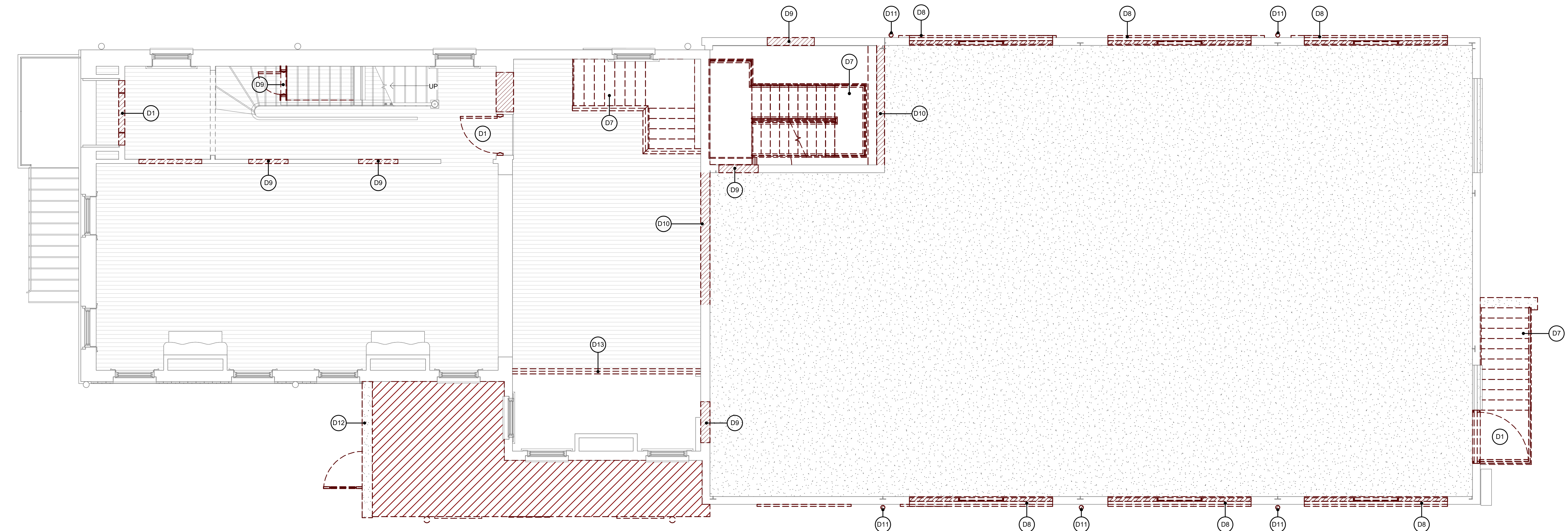
ABBREVIATIONS
N.T.S.

SYMBOLS
N.T.S.

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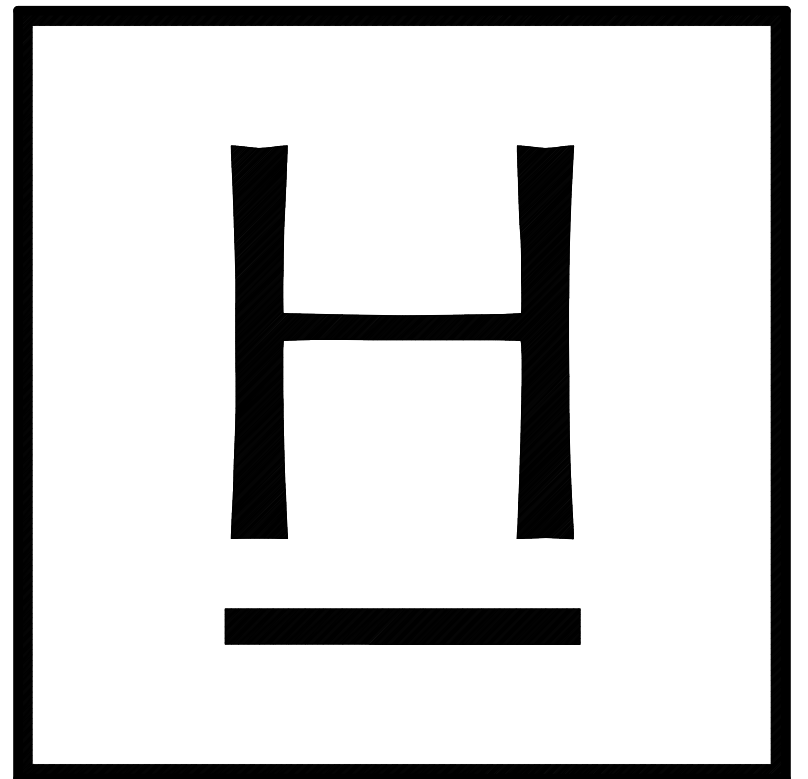


1 FIRST FLOOR DEMOLITION PLAN
 HDBR D1.1-00
 1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
 HDBR D1.1-00
 1/4" = 1'-0"

KEYNOTES	
KEYNOTE	KEYNOTE VALUE
04-2200	UNIT MASONRY
06-1000	ROUGH CARPENTRY
07-2100	THERMAL INSULATION
07-2500.A	ROUGH CARPENTRY
07-4646.A	ROUGH CARPENTRY
07-9200	JOINT SEALERS
08-1113	HOLLOW METAL DOORS AND FRAMES
09-2116	GYPSUM BOARD ASSEMBLIES
09-2400	PORTLAND CEMENT STUCCO



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DEMOLITION SHEET NOTES	
MARK	VALUE
D1	REMOVE DOOR. EXISTING FRAME TO REMAIN. PREPARE EXISTING FRAME FOR NEW DOOR.
D2	REMOVE FRAMING UNDER STAIR. EXISTING STAIR TO REMAIN.
D3	REMOVE EXISTING FLOOR SLAB IN ITS ENTIRETY.
D4	REMOVE DOOR TRIM
D5	REMOVE DOOR AND FRAME
D5.5	REMOVE DOOR. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE
D6	REMOVE DOOR, FRAME, AND SIDELITES.
D7	REMOVE STAIR, RAILING, AND ALL ASSOCIATED COMPONENTS
D8	REMOVE EXTERIOR INFILL WALL TO LIMITS OF WINDOW. PREP NEW OPENING TO RECEIVE NEW WINDOW. COORDINATE WITH NEW CONSTRUCTION FLOOR PLAN AND ELEVATIONS
D9	REMOVE PORTION OF WALL REQUIRED FOR NEW DOOR. COORDINATE WITH NEW CONSTRUCTION FLOOR PLAN AND ELEVATIONS
D10	REMOVE WALL TO LIMITS SHOWN. COORDINATE WITH NEW CONSTRUCTION FLOOR PLANS
D11	REMOVE DOWNSPOUT, GUTTER, AND ALL ASSOCIATED COMPONENTS
D12	REMOVE ADDITION IN ITS ENTIRETY.
D13	REMOVE RAILING AND ALL ASSOCIATED COMPONENTS
D14	REMOVE PLUMBING FIXTURE
D15	REMOVE PORTION OF FLOOR SLAB REQUIRED FOR NEW STAIR. COORDINATE EXTENTS WITH NEW CONSTRUCTION FLOOR PLANS
D16	REMOVE ROOF TO STRUCTURE AND PREPARE FOR NEW ROOF. COORDINATE WITH NEW CONSTRUCTION PLANS
D17	PORTION OF EXISTING ROOF TO REMAIN. COORDINATE WITH NEW CONSTRUCTION PLANS
D18	REMOVE PANEL. PREPARE FOR BRICK INFILL TO MATCH. COORDINATE WITH NEW CONSTRUCTION PLANS
D19	REMOVE AND SALVAGE ALL DOOR CASING AND TRIM FOR RE-USE.

PRELIMINARY - ~~CONSIDER~~ CONSTRUCTION

SHEET TITLE
FIRST & SECOND FLOOR DEMOLITION PLANS

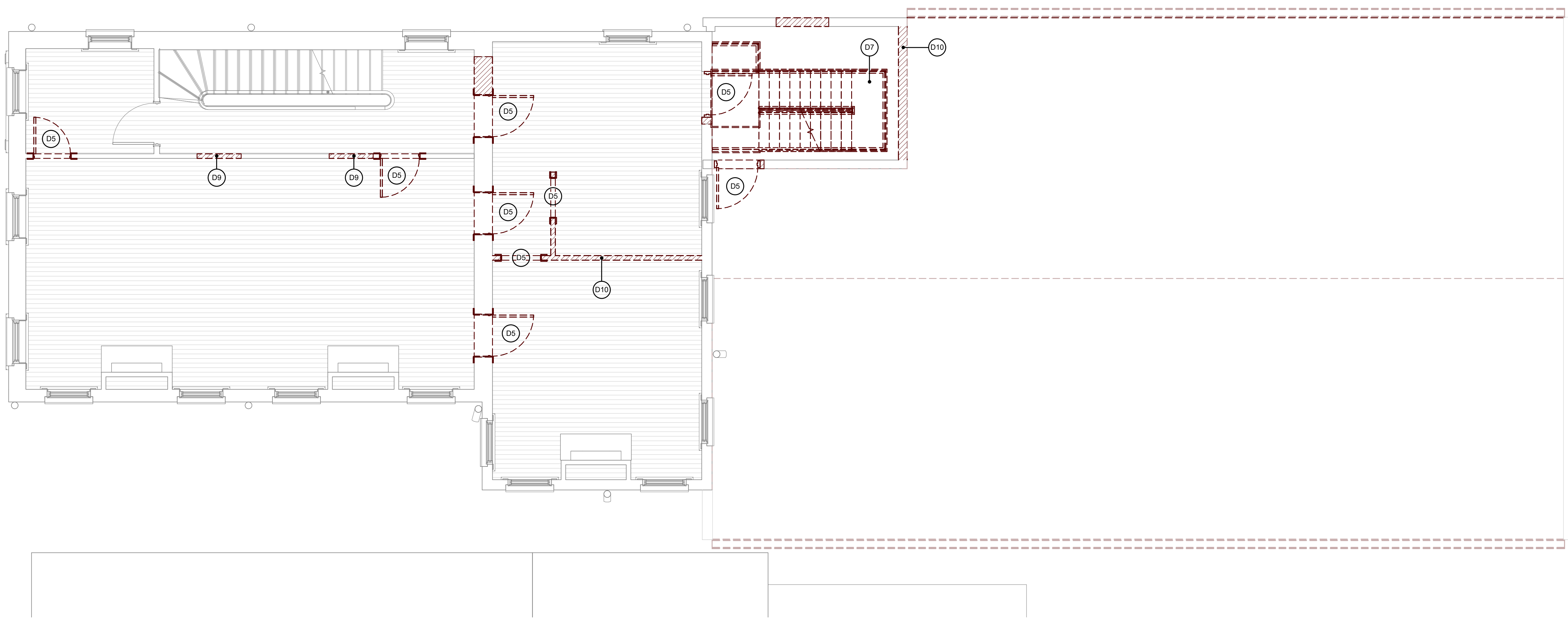
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 DATE: 03/29/2024
 REVIEWED BY: PLP
 SCALE: 1/4" = 1'-0"

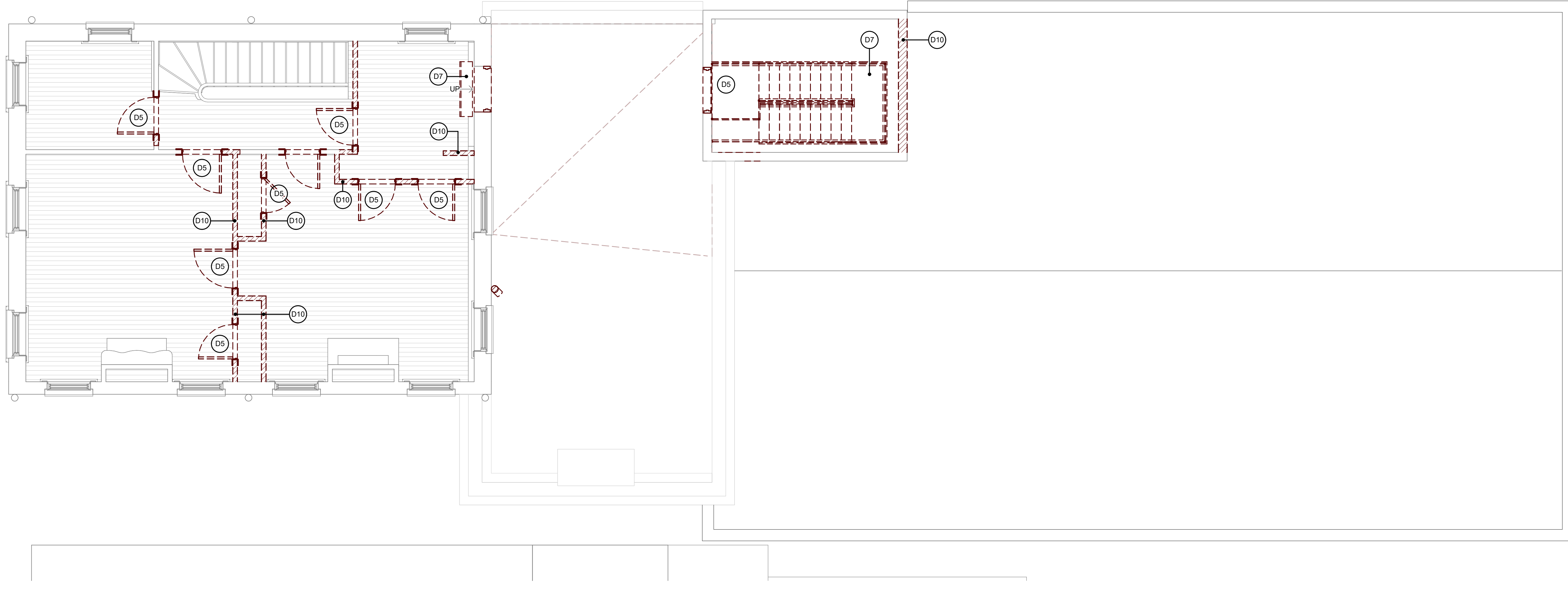
SHEET NO.
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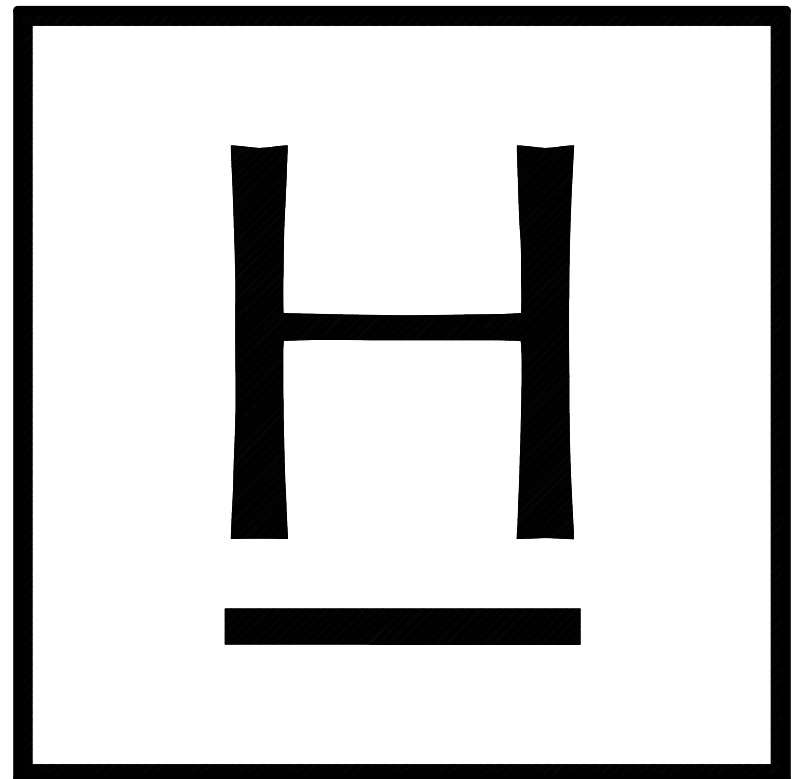


1 THIRD FLOOR DEMOLITION PLAN
1/4" = 1'-0"



2 FOURTH FLOOR DEMOLITION PLAN
1/4" = 1'-0"

KEYNOTES	
KEYNOTE	KEYNOTE VALUE
04-2200	UNIT MASONRY
06-1000	ROUGH CARPENTRY
07-2100	THERMAL INSULATION
07-2500.A	ROUGH CARPENTRY
07-4646.A	ROUGH CARPENTRY
07-9200	JOINT SEALERS
08-1113	HOLLOW METAL DOORS AND FRAMES
09-2116	GYPSUM BOARD ASSEMBLIES
09-2400	PORTLAND CEMENT STUCCO



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DEMOLITION SHEET NOTES	
MARK	VALUE
D1	REMOVE DOOR. EXISTING FRAME TO REMAIN. PREPARE EXISTING FRAME FOR NEW DOOR.
D2	REMOVE FRAMING UNDER STAIR. EXISTING STAIR TO REMAIN.
D3	REMOVE EXISTING FLOOR SLAB IN ITS ENTIRETY.
D4	REMOVE DOOR TRIM
D5	REMOVE DOOR AND FRAME
D5.5	REMOVE DOOR. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE
D6	REMOVE DOOR, FRAME, AND SIDELITES.
D7	REMOVE STAIR, RAILING, AND ALL ASSOCIATED COMPONENTS
D8	REMOVE EXTERIOR INFILL WALL TO LIMITS OF WINDOW. PREP NEW OPENING TO RECEIVE NEW WINDOW. COORDINATE WITH NEW CONSTRUCTION FLOOR PLAN AND ELEVATIONS
D9	REMOVE PORTION OF WALL REQUIRED FOR NEW DOOR. COORDINATE WITH NEW CONSTRUCTION FLOOR PLAN AND ELEVATIONS
D10	REMOVE WALL TO LIMITS SHOWN. COORDINATE WITH NEW CONSTRUCTION FLOOR PLANS
D11	REMOVE DOWNSPOUT, GUTTER, AND ALL ASSOCIATED COMPONENTS
D12	REMOVE ADDITION IN ITS ENTIRETY.
D13	REMOVE RAILING AND ALL ASSOCIATED COMPONENTS
D14	REMOVE PLUMBING FIXTURE
D15	REMOVE PORTION OF FLOOR SLAB REQUIRED FOR NEW STAIR. COORDINATE EXTENTS WITH NEW CONSTRUCTION FLOOR PLANS
D16	REMOVE ROOF TO STRUCTURE AND PREPARE FOR NEW ROOF. COORDINATE WITH NEW CONSTRUCTION PLANS
D17	PORTION OF EXISTING ROOF TO REMAIN. COORDINATE WITH NEW CONSTRUCTION PLANS
D18	REMOVE PANEL. PREPARE FOR BRICK INFILL TO MATCH. COORDINATE WITH NEW CONSTRUCTION PLANS
D19	REMOVE AND SALVAGE ALL DOOR CASING AND TRIM FOR RE-USE.

PRELIMINARY - NOT FOR CONSTRUCTION

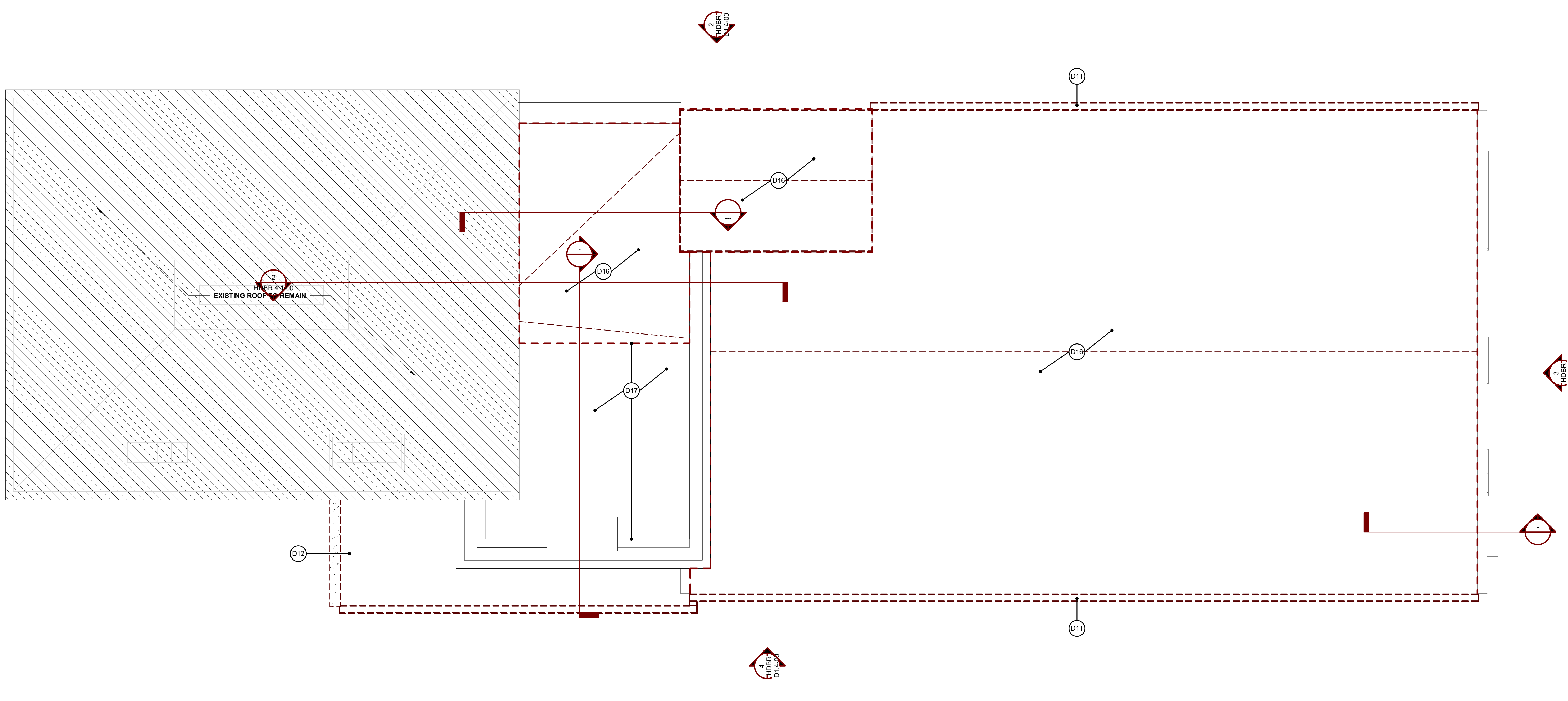
SHEET TITLE
THIRD & FOURTH FLOOR DEMOLITION PLANS

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DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: 1/4" = 1'-0"

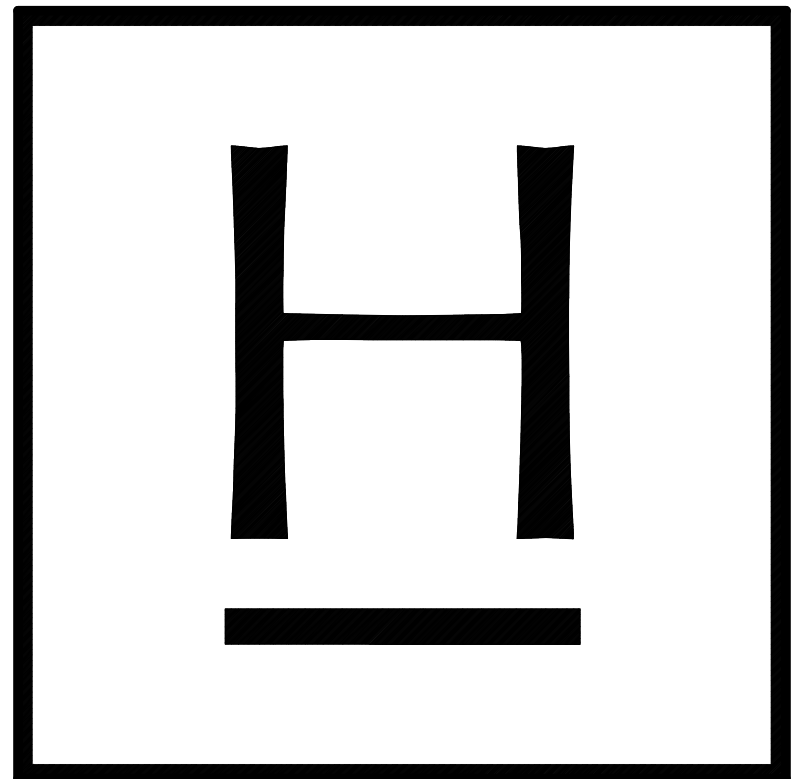
SHEET NO.
HDBR D1.2-00

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1 DEMOLITION ROOF PLAN
 HDBR D1.3-00
 1/4" = 1'-0"

KEYNOTES	
KEYNOTE	KEYNOTE VALUE
04-2200	UNIT MASONRY
06-1000	ROUGH CARPENTRY
07-2100	THERMAL INSULATION
07-2500.A	ROUGH CARPENTRY
07-4646.A	ROUGH CARPENTRY
07-9200	JOINT SEALERS
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DEMOLITION SHEET NOTES	
MARK	VALUE
D1	REMOVE DOOR. EXISTING FRAME TO REMAIN. PREPARE EXISTING FRAME FOR NEW DOOR.
D2	REMOVE FRAMING UNDER STAIR. EXISTING STAIR TO REMAIN.
D3	REMOVE EXISTING FLOOR SLAB IN ITS ENTIRETY.
D4	REMOVE DOOR TRIM
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PRELIMINARY - NOT FOR CONSTRUCTION

SHEET TITLE

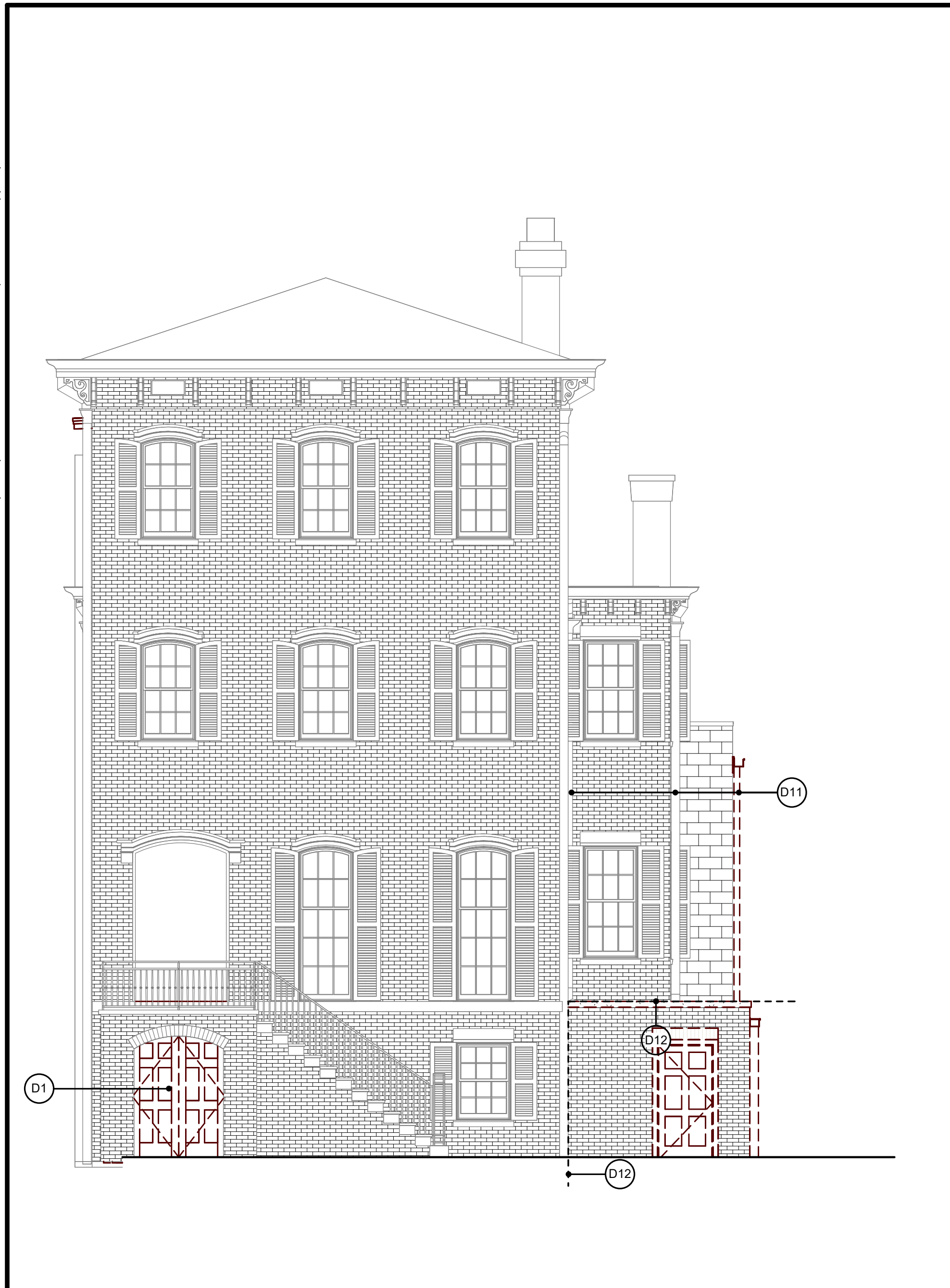
DEMOLITION ROOF PLAN

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 DATE: 03/29/2024
 REVIEWED BY: PLP
 SCALE: 1/4" = 1'-0"

SHEET NO.
HDBR D1.3-00

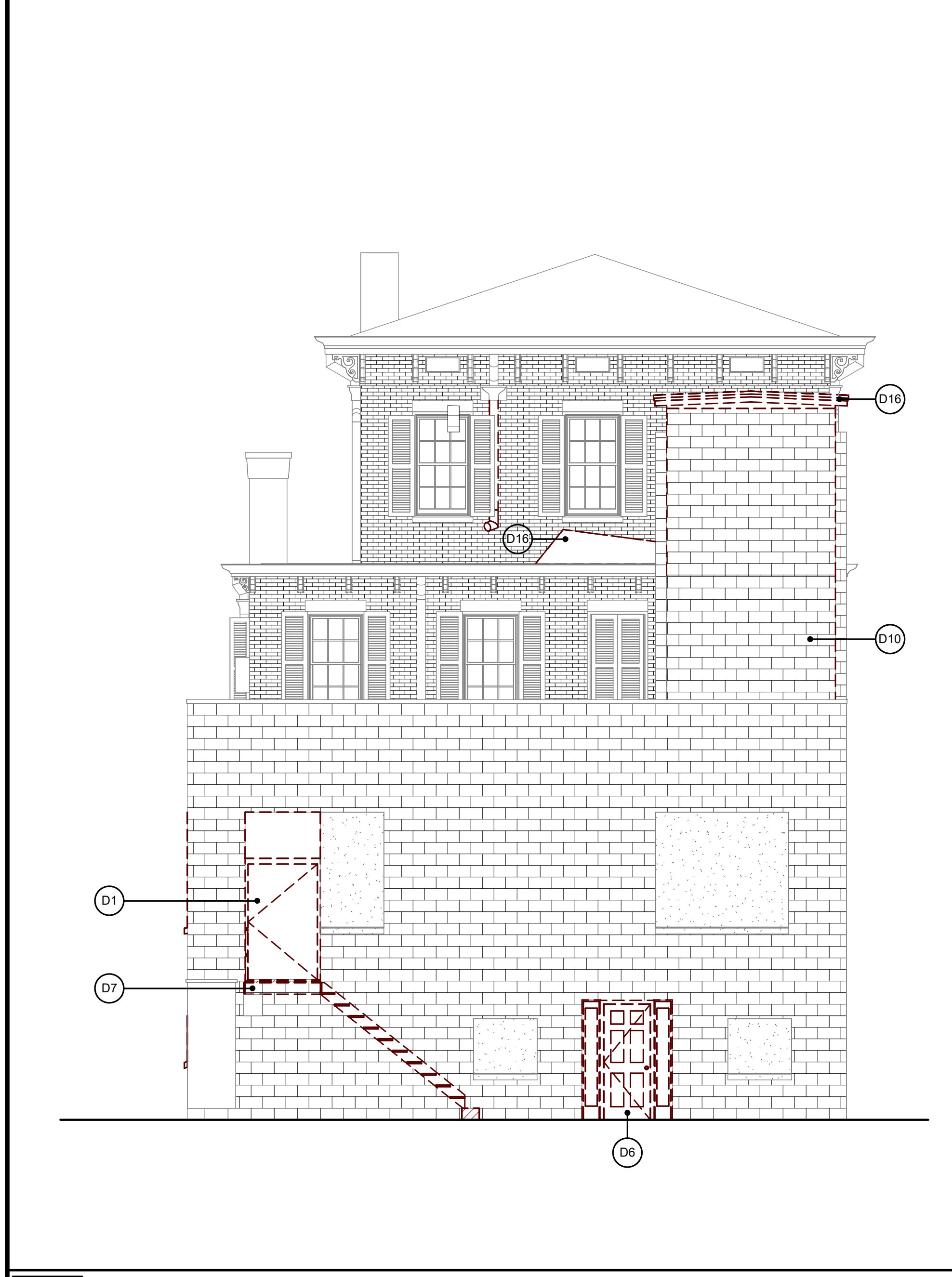
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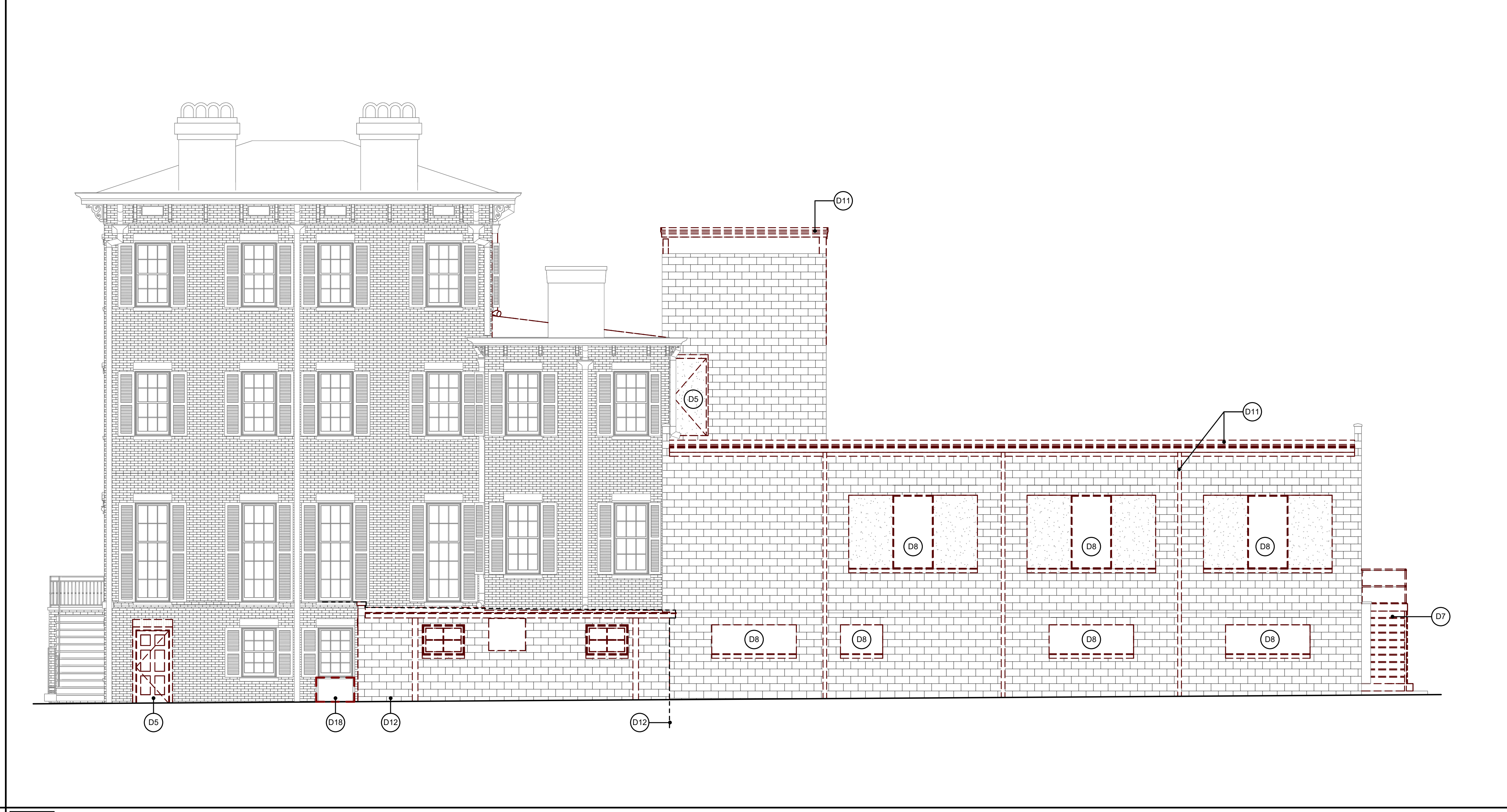
1 WEST DEMOLITION ELEVATION
HDBR
D1.4-00
3/16" = 1'-0"



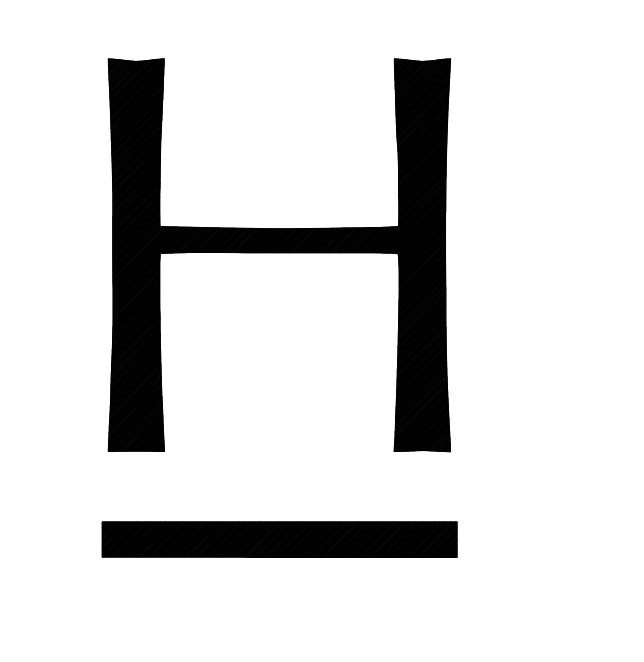
2 NORTH DEMOLITION ELEVATION
HDBR
D1.4-00
3/16" = 1'-0"



3 EAST DEMOLITION ELEVATION
HDBR
D1.4-00
3/16" = 1'-0"



4 SOUTH DEMOLITION ELEVATION
HDBR
D1.4-00
3/16" = 1'-0"



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DEMOLITION SHEET NOTES

MARK	VALUE
D1	REMOVE DOOR, EXISTING FRAME TO REMAIN, PREPARE EXISTING FRAME FOR NEW DOOR.
D2	REMOVE FRAMING UNDER STAIR, EXISTING STAIR TO REMAIN.
D3	REMOVE EXISTING FLOOR SLAB IN ITS ENTIRETY.
D4	REMOVE DOOR TRIM
D5	REMOVE DOOR AND FRAME
D5.5	REMOVE DOOR, COORDINATE WITH OWNER FOR POSSIBLE SALVAGE
D6	REMOVE DOOR, FRAME, AND ALL ASSOCIATED COMPONENTS.
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SHEET TITLE

DEMOLITION EXTERIOR ELEVATIONS

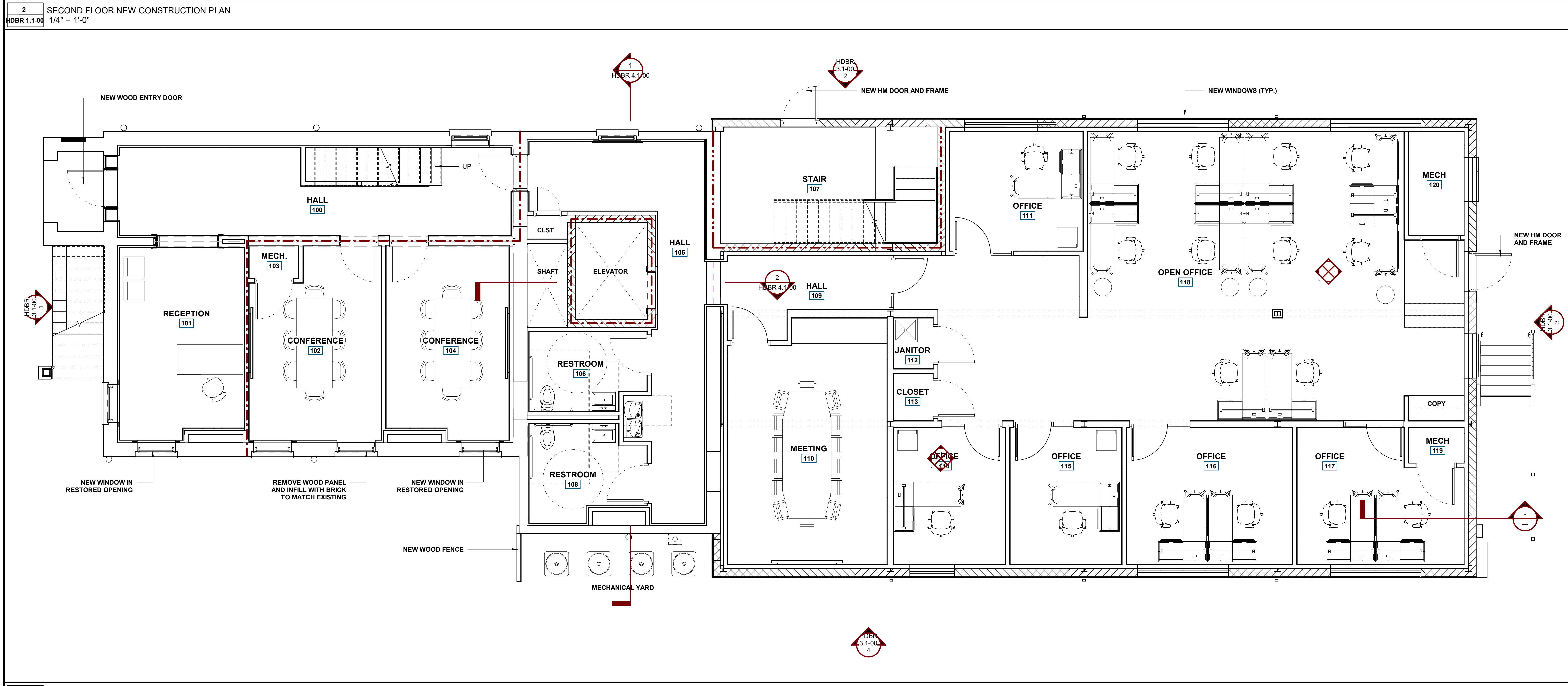
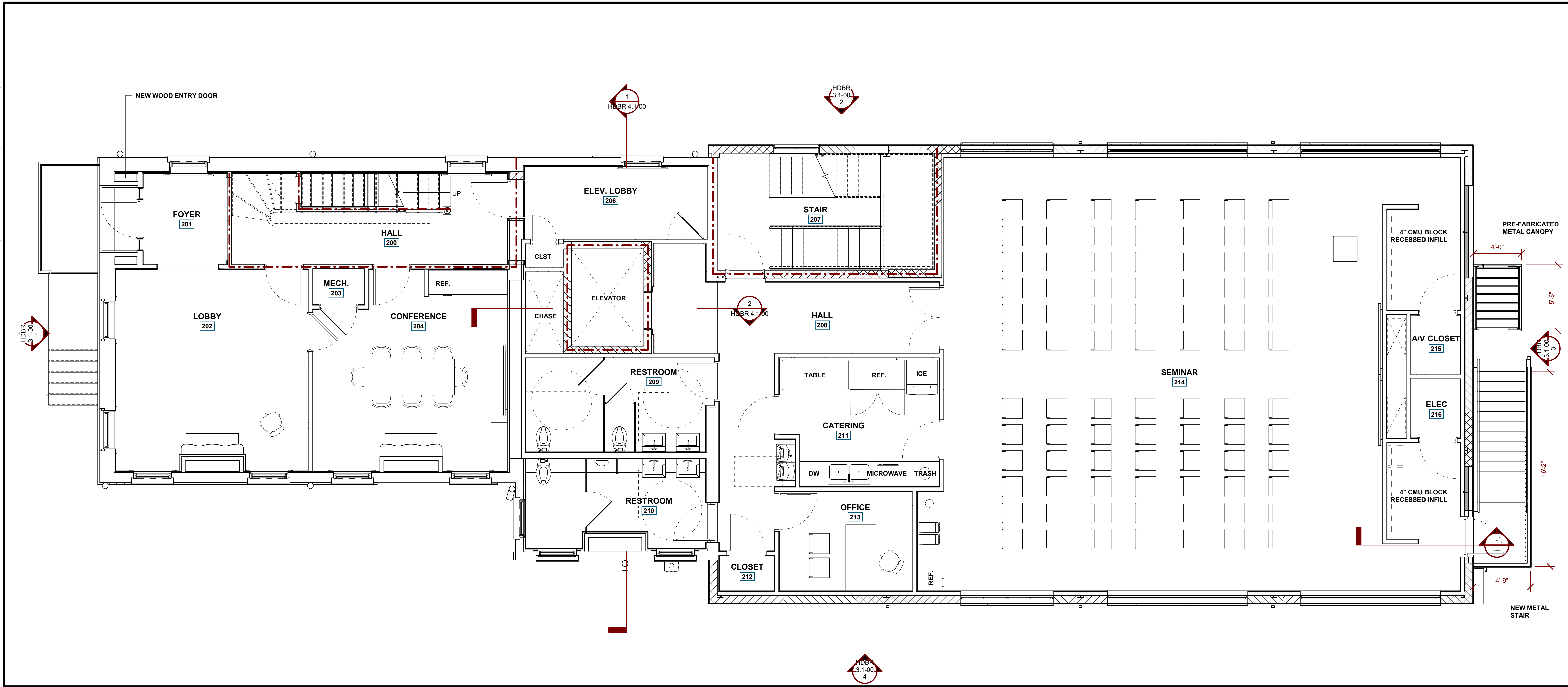
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DATE: 03/29/2024
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SCALE: 3/16" = 1'-0"

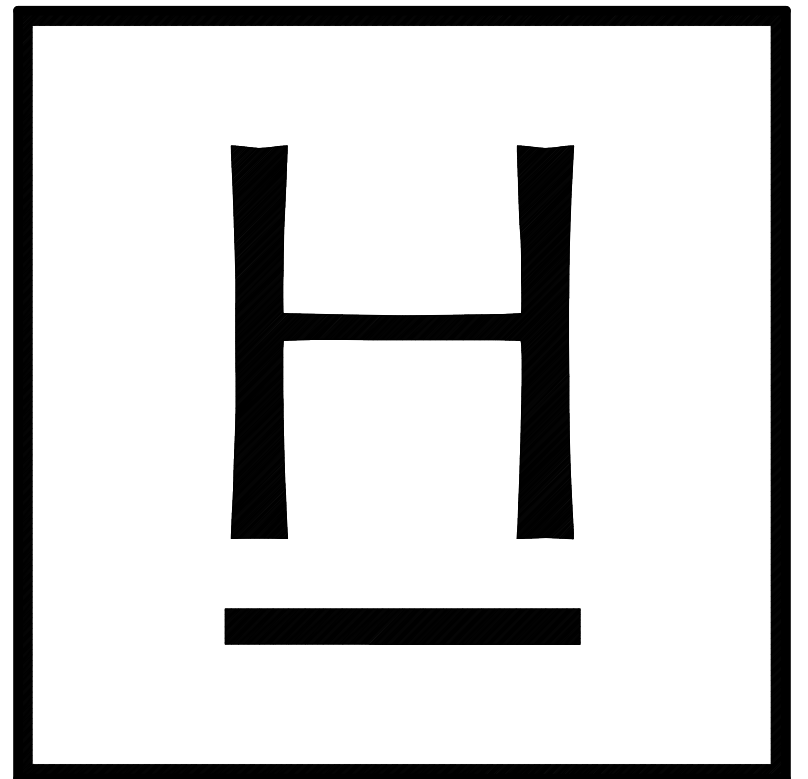
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SHEET TITLE

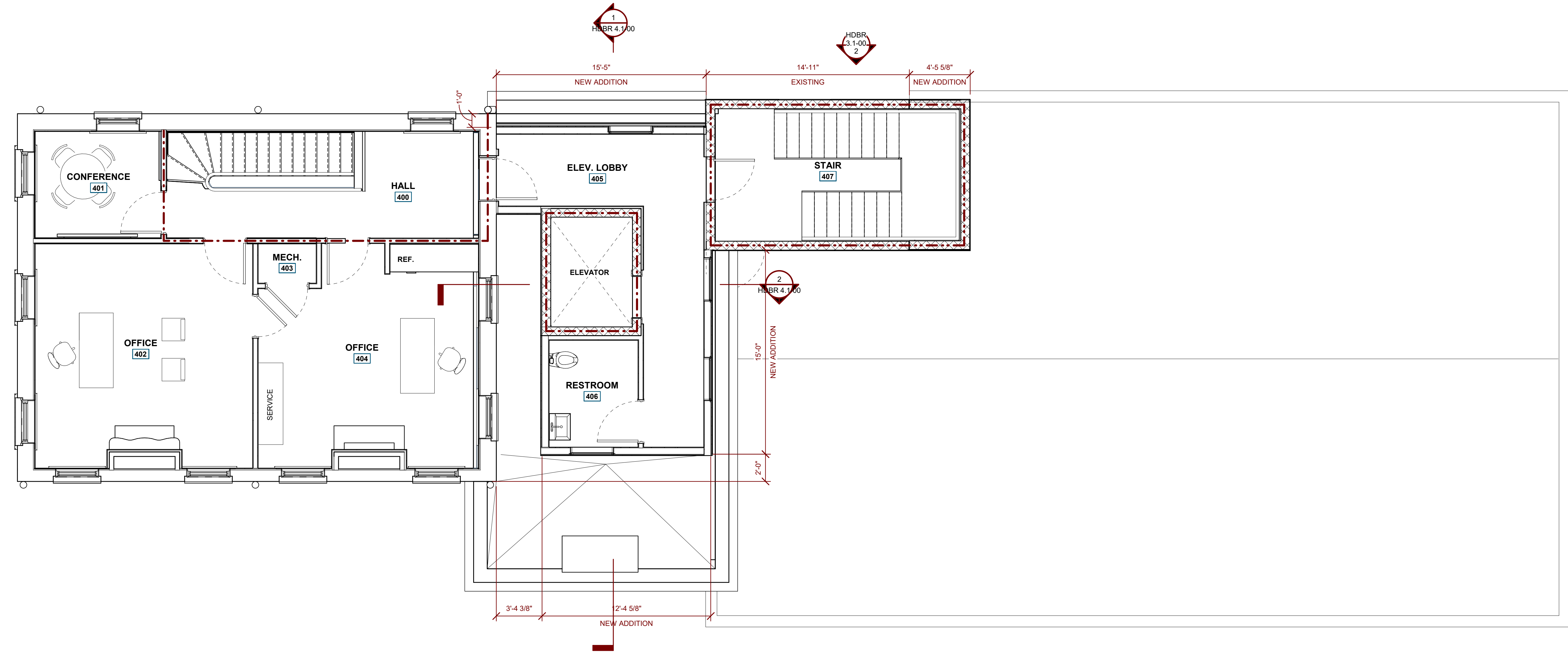
FIRST & SECOND FLOOR PLAN

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PROJECT NUMBER: 202316 SHEET NO.
DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: 1/4" = 1'-0" **HDBR 1.1-00**

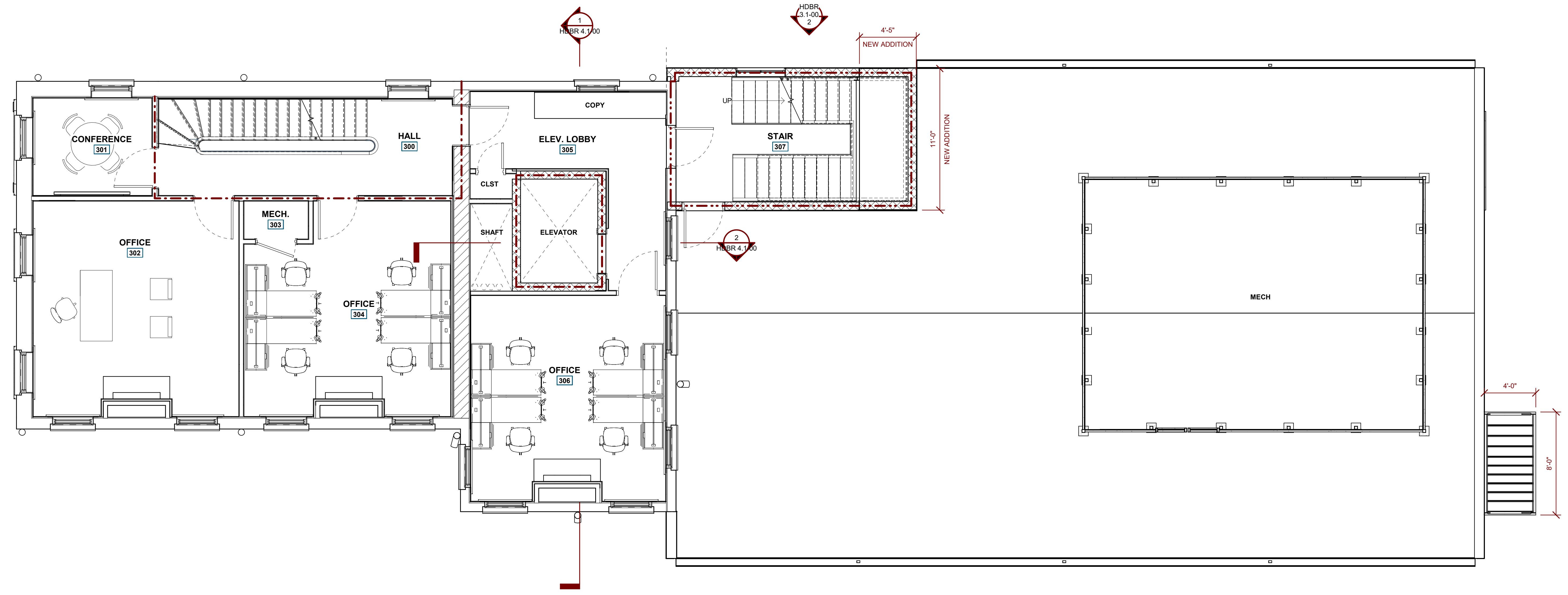
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HDBR 4.1-00
3.1-00.2



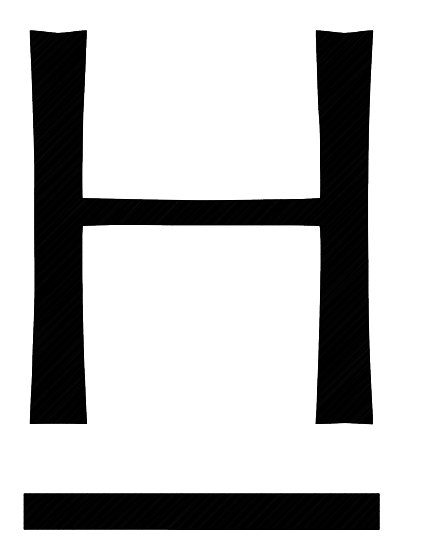
2 FOURTH FLOOR NEW CONSTRUCTION PLAN
HDBR 4.1-00
1/4" = 1'-0"

HDBR 4.1-00
3.1-00.4



1 THIRD FLOOR NEW CONSTRUCTION PLAN
HDBR 4.1-00
1/4" = 1'-0"

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SHEET TITLE

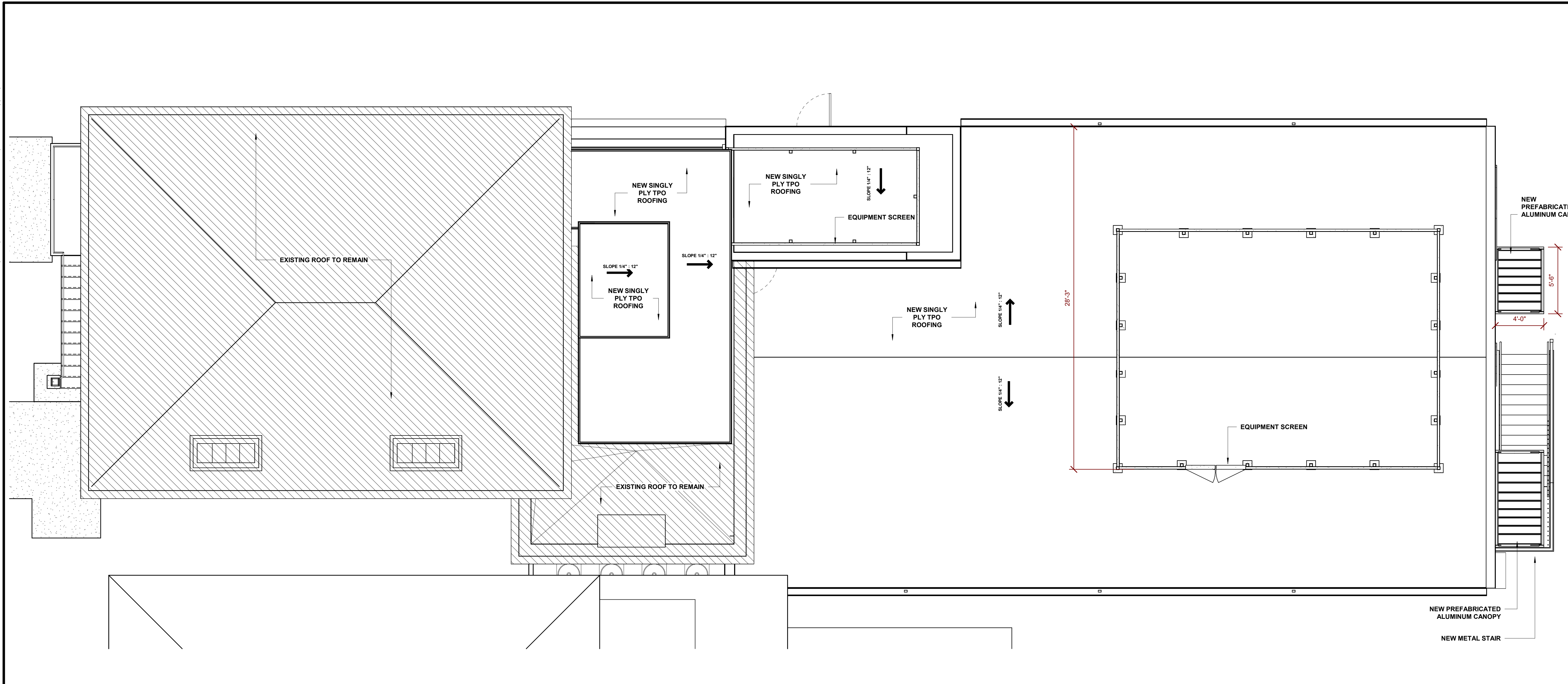
THIRD & FOURTH FLOOR PLAN

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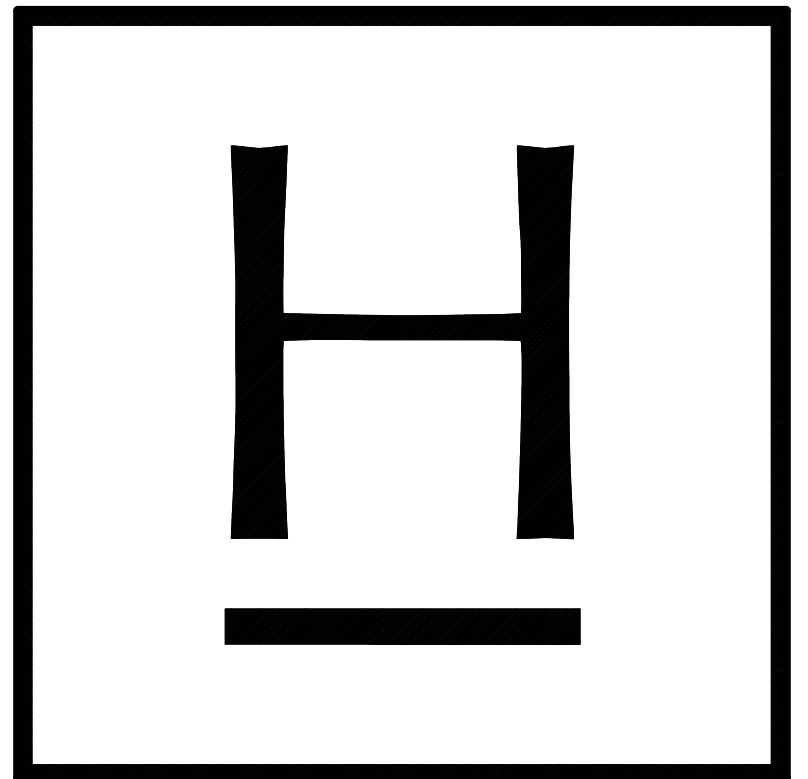
PROJECT NUMBER: 202316
DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: 1/4" = 1'-0"

SHEET NO.
HDBR 1.2-00

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KEYNOTES	
KEYNOTE	KEYNOTE VALUE
04-2200	UNIT MASONRY
06-1000	ROUGH CARPENTRY
07-2100	THERMAL INSULATION
07-2500.A	ROUGH CARPENTRY
07-4646.A	ROUGH CARPENTRY
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1 NEW CONSTRUCTION ROOF PLAN
HDBR 1.3-00 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET TITLE
ROOF PLAN

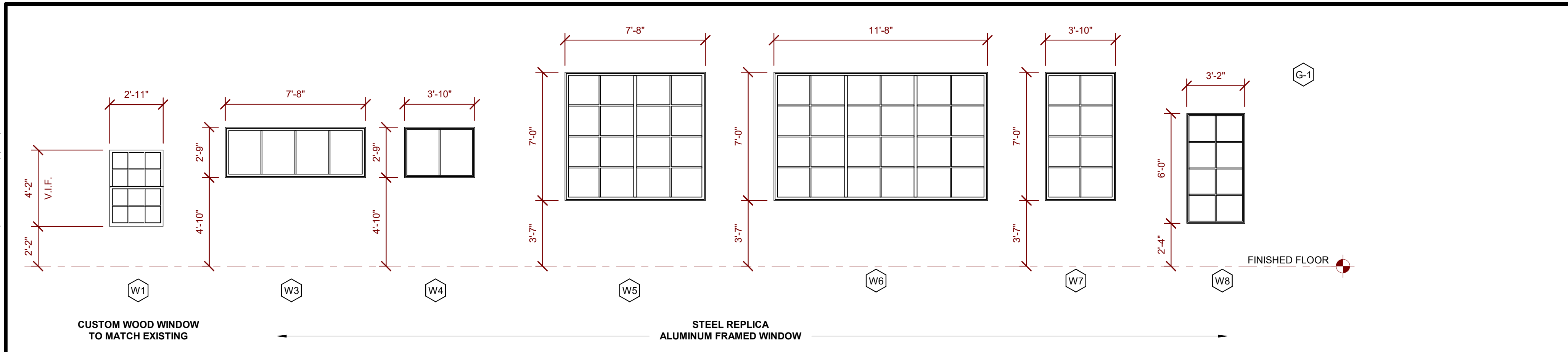
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DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: 1/4" = 1'-0"

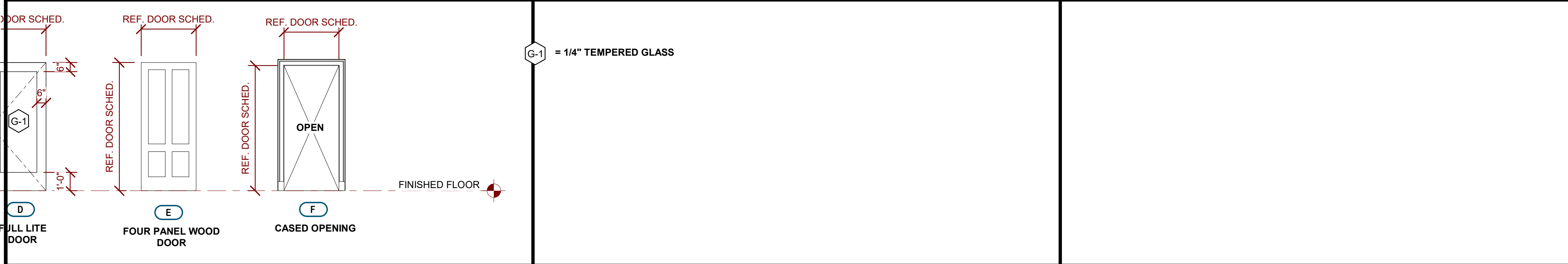
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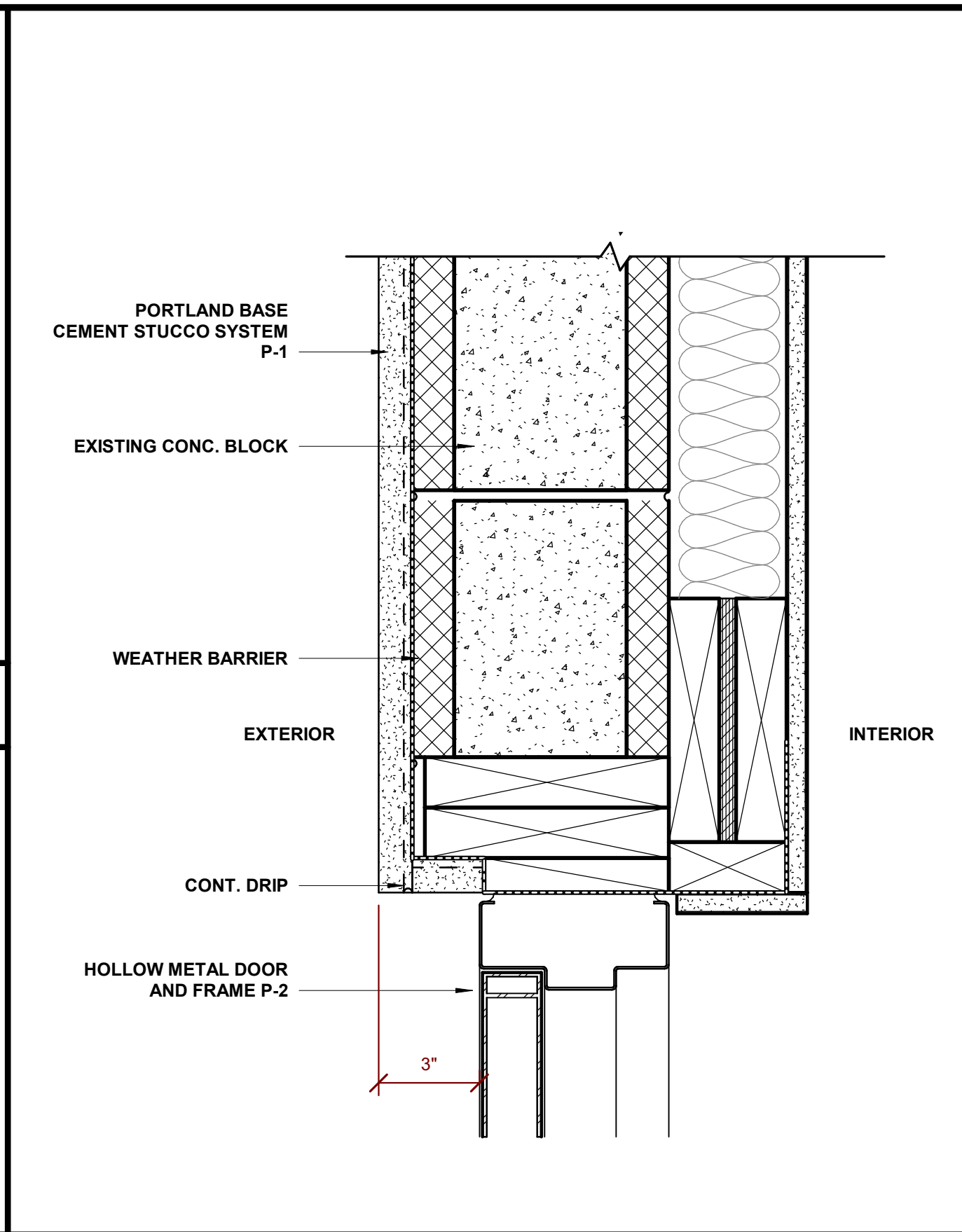
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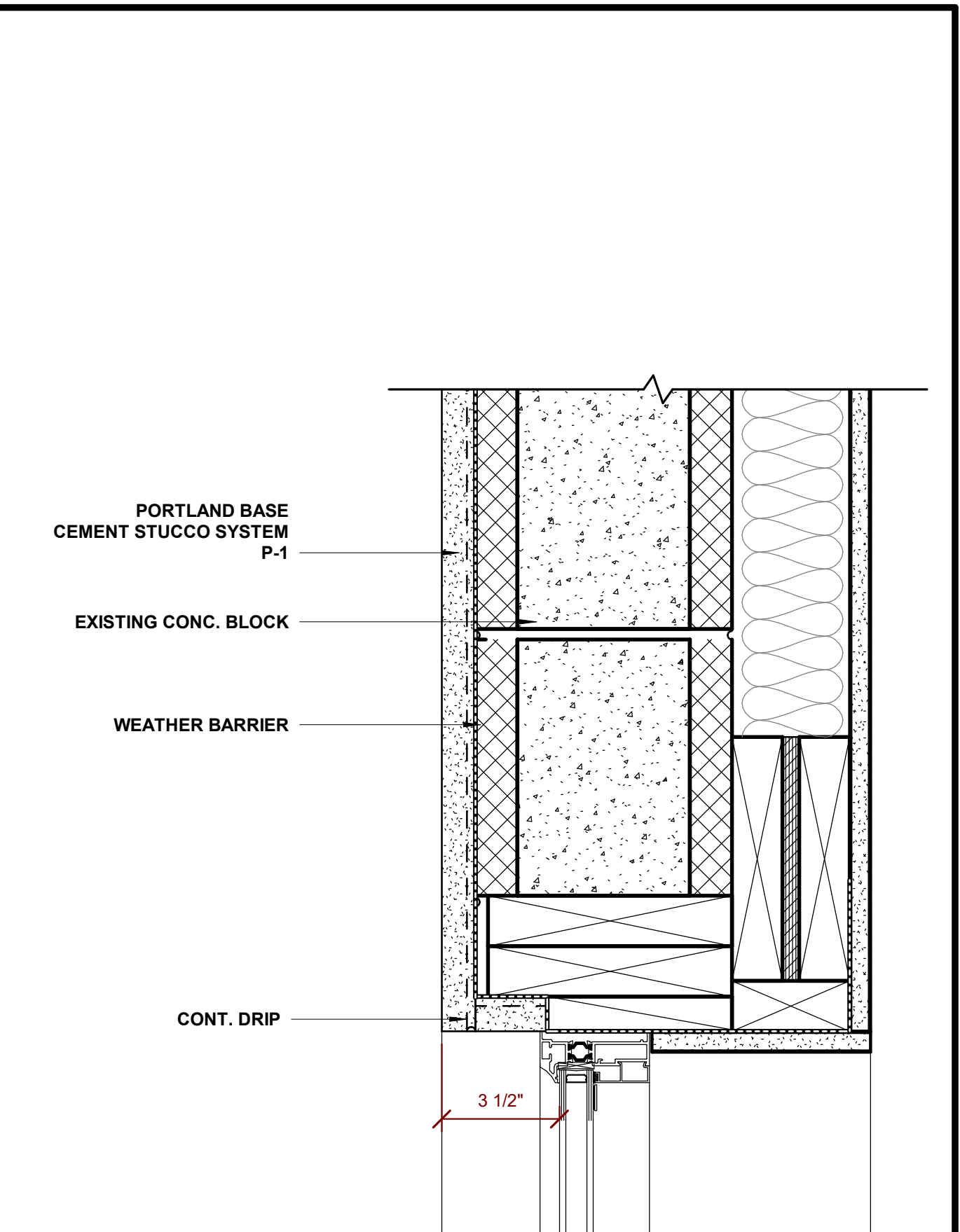
WINDOW ELEVATIONS
N.T.S.



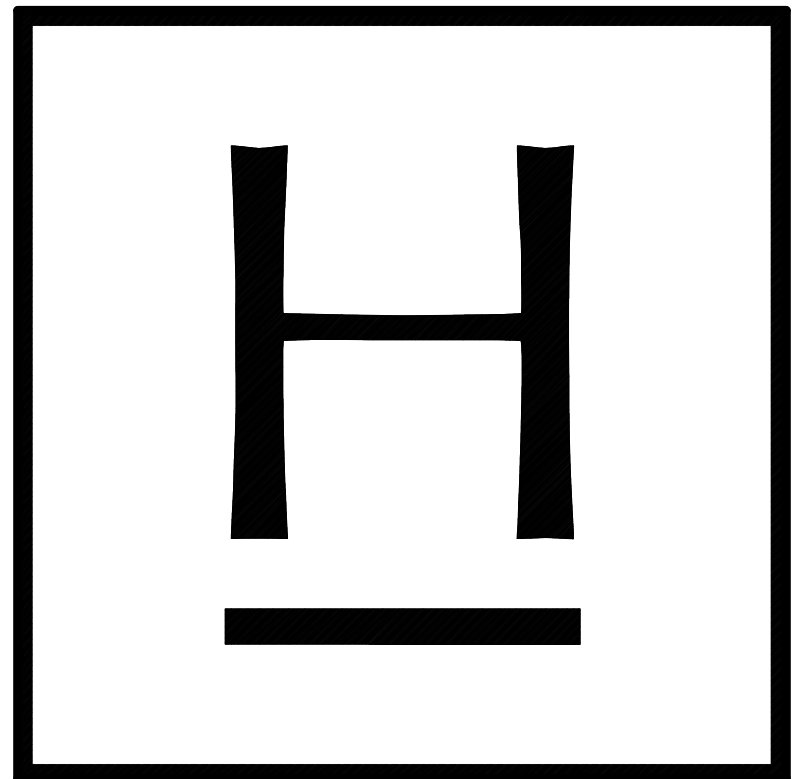
DOOR ELEVATIONS
N.T.S.



1 TYP. INTERIOR DOOR HEAD DETAIL Copy 1
HDBR 2.1-01 3" = 1'-0"



2 STEEL REPLICA WINDOW HEAD JAMB AND SILL DETAILS
HDBR 2.1-02 3" = 1'-0"



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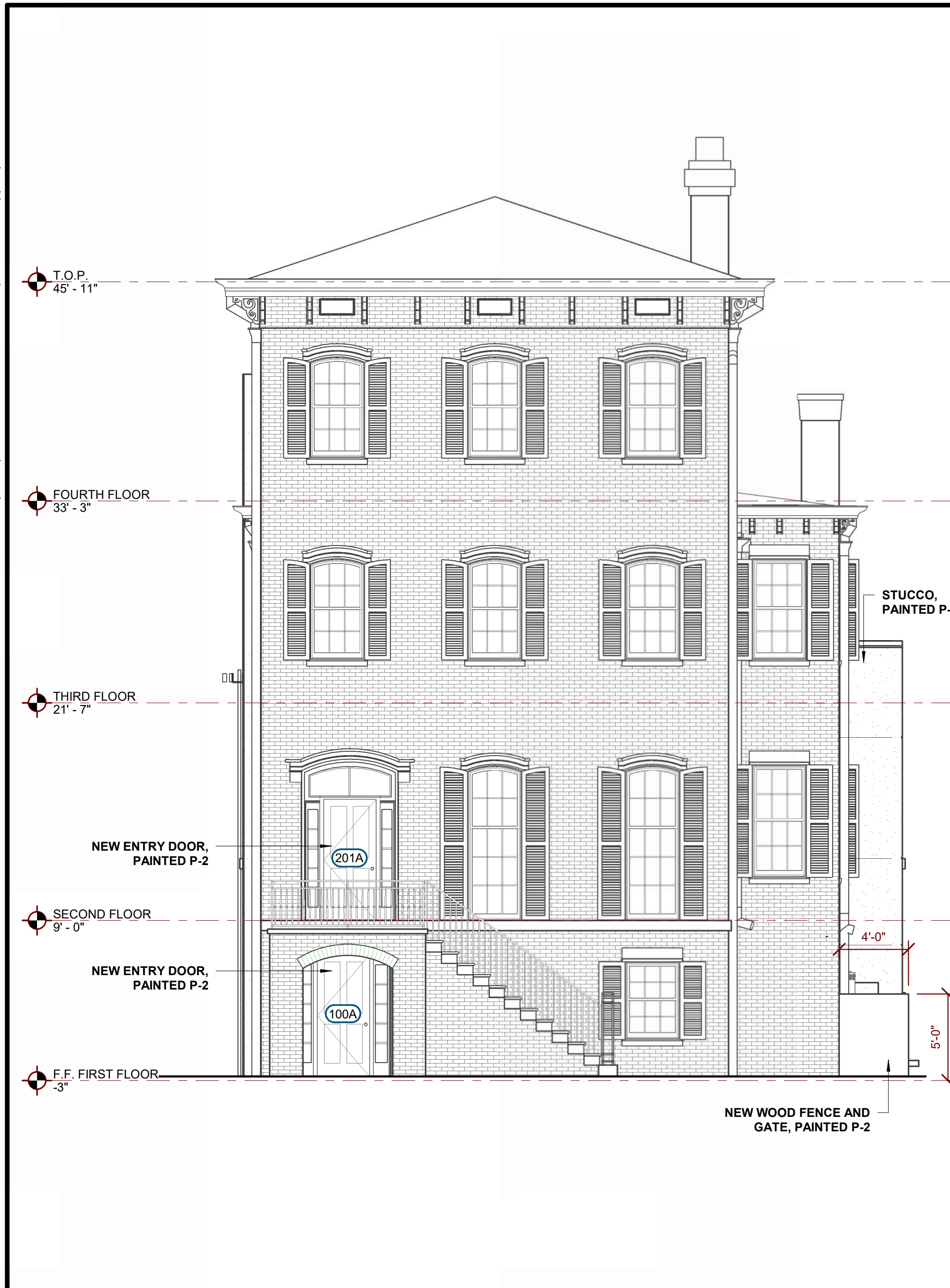
PRELIMINARY - NOT FOR CONSTRUCTION

SHEET TITLE
DOOR SCHEDULE, ELEVATIONS, & HEAD, JAMB, SILL DETAILS

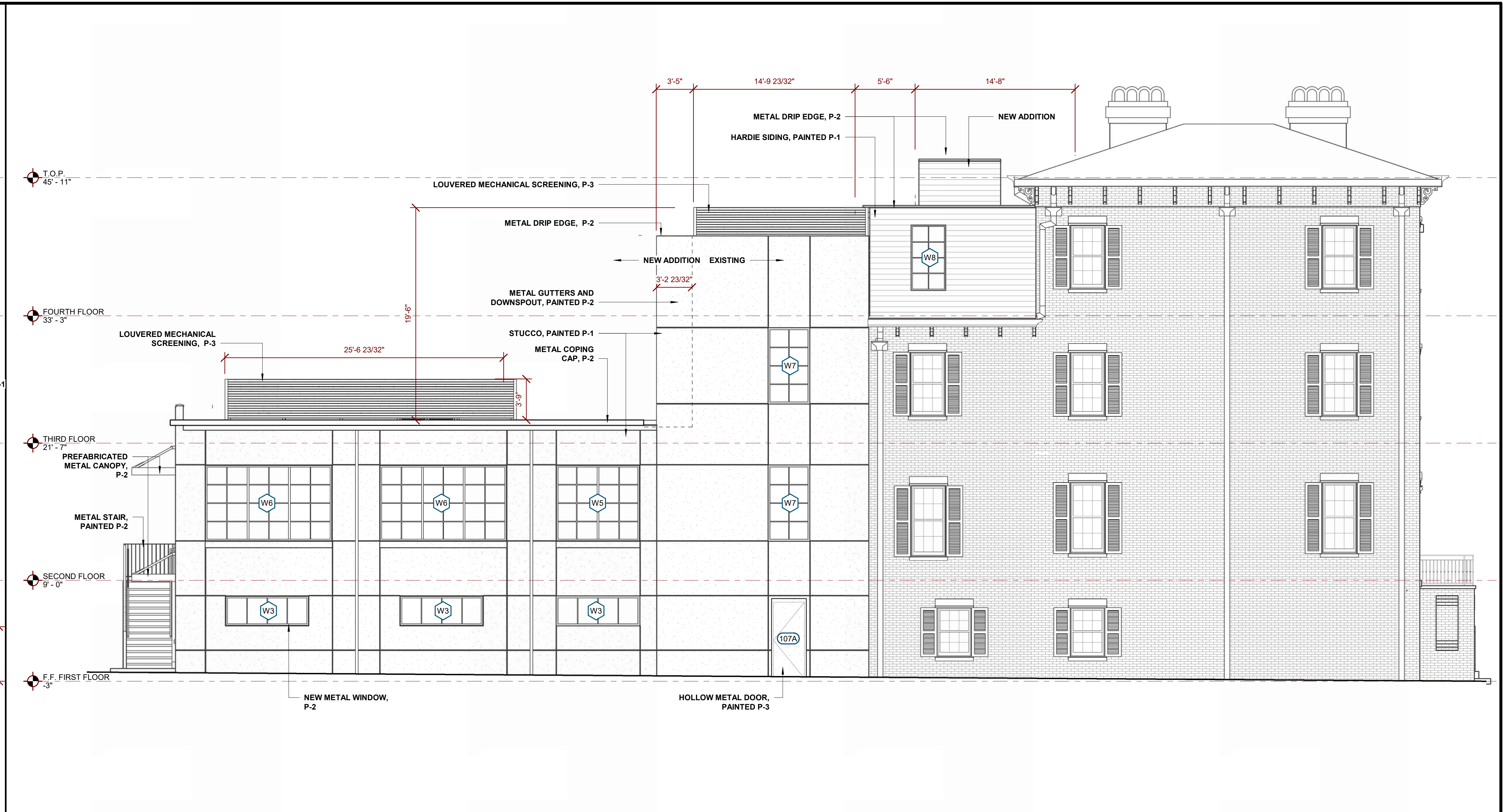
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PROJECT NUMBER: 202316	SHEET NO.
DATE: 03/29/2024	HDBR 2.1-00
REVIEWED BY: PLP	
SCALE: As indicated	

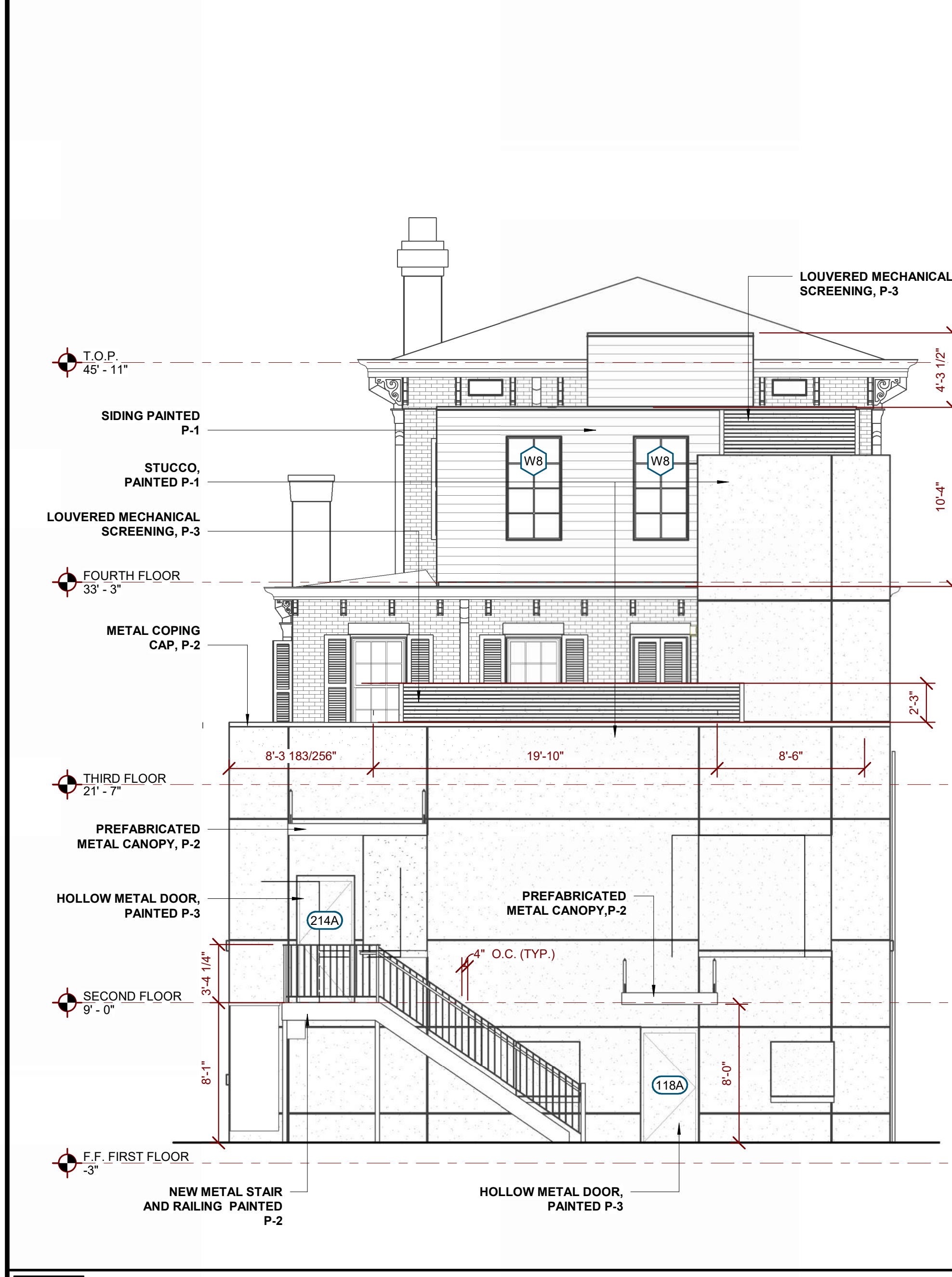
C:\Users\jankis\p\Documents\202316_612_Drayton_detailed_plp\plp@hansensavannah.com.rvt



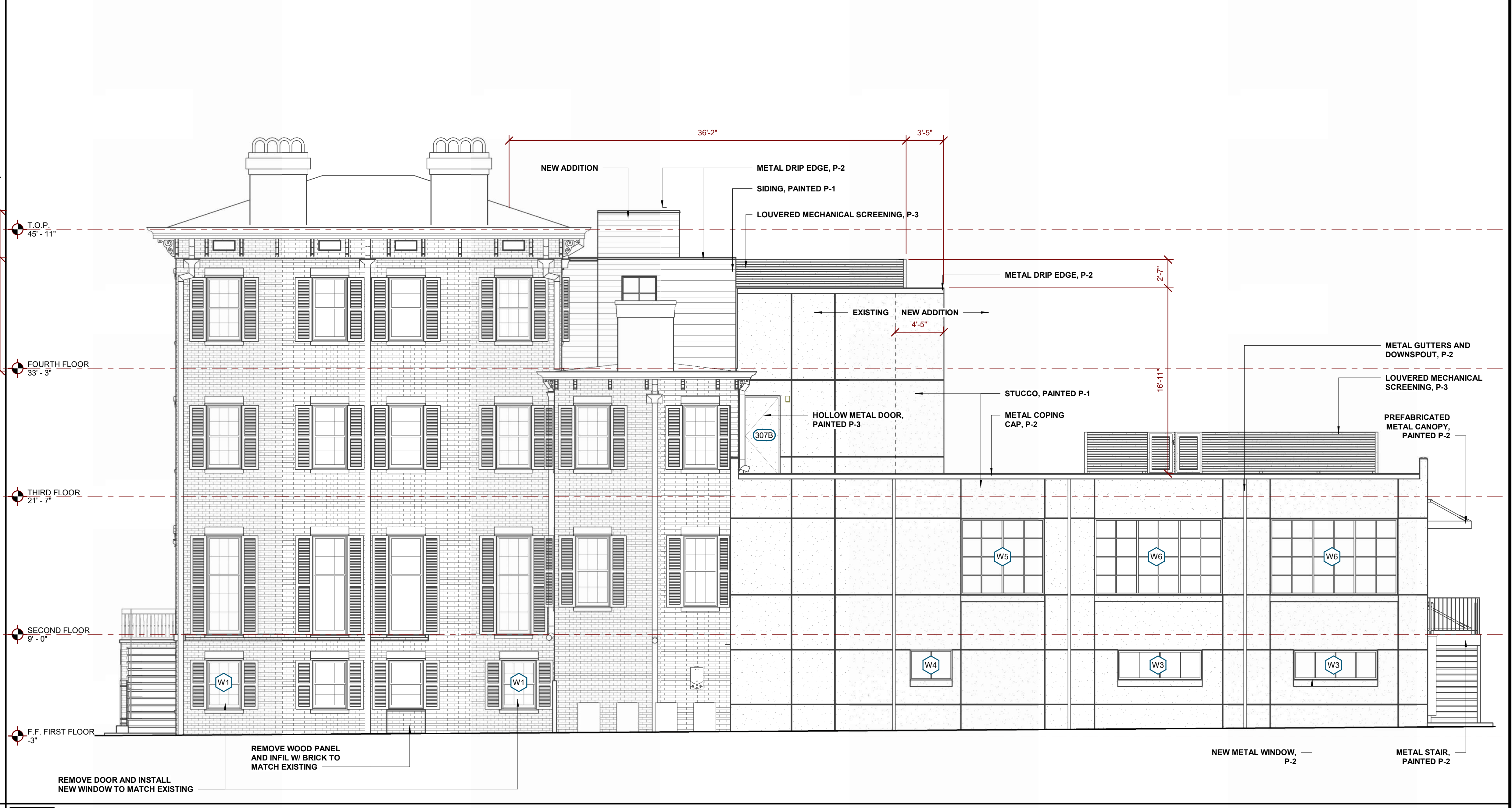
1 WEST (DRAYTON STREET) ELEVATION
HDBR 3.1-00 3/16" = 1'-0"



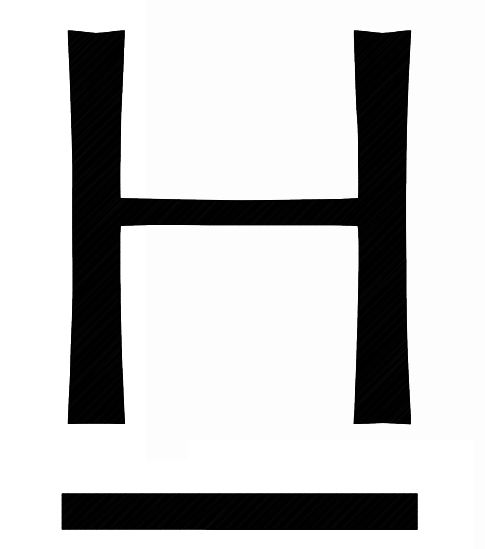
2 NORTH ELEVATION
HDBR 3.1-00 3/16" = 1'-0"



3 EAST (GOODWIN STREET) ELEVATION
HDBR 3.1-00 3/16" = 1'-0"



4 SOUTH ELEVATION
HDBR 3.1-00 3/16" = 1'-0"



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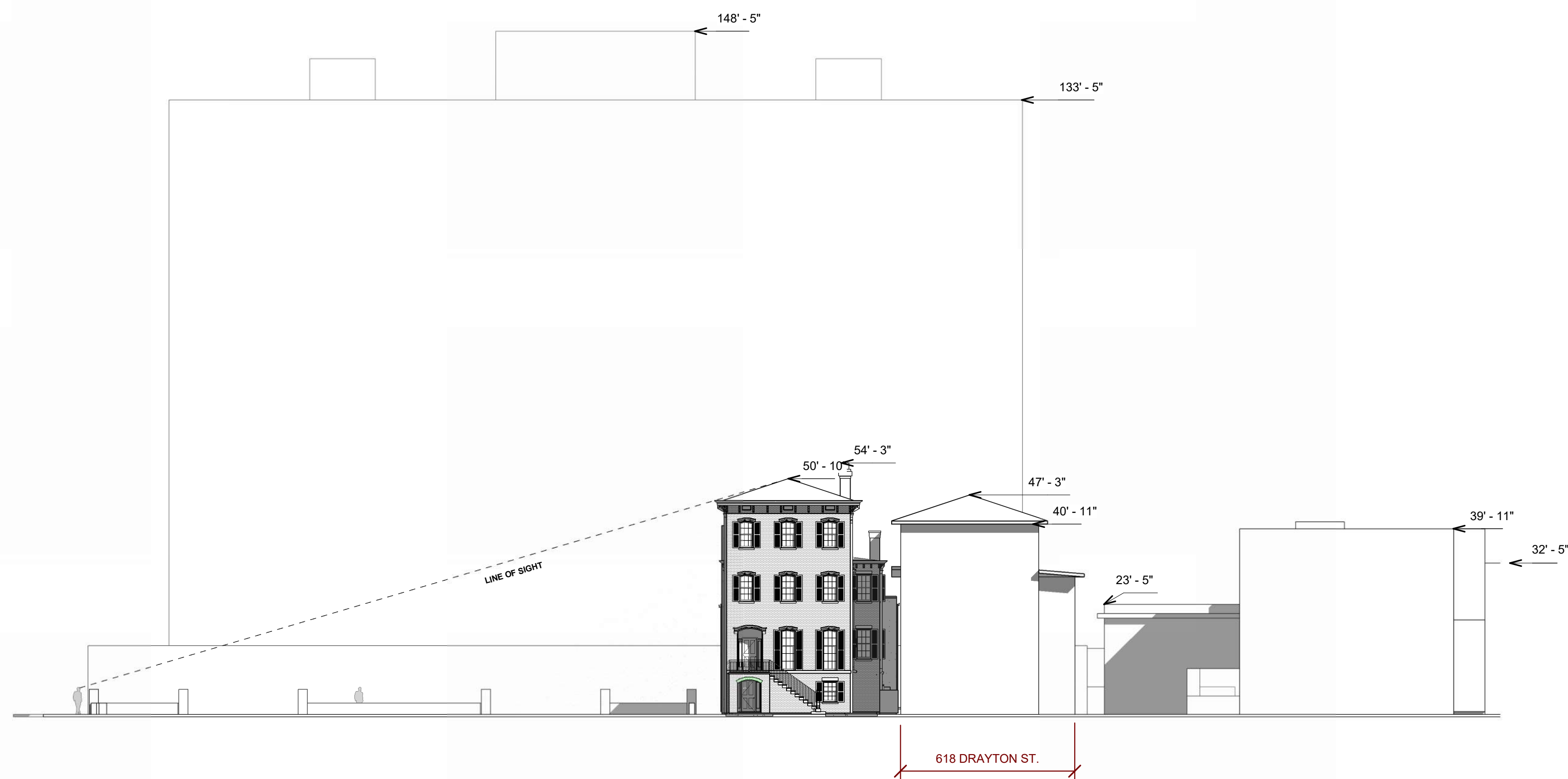
SHEET TITLE
EXTERIOR ELEVATIONS

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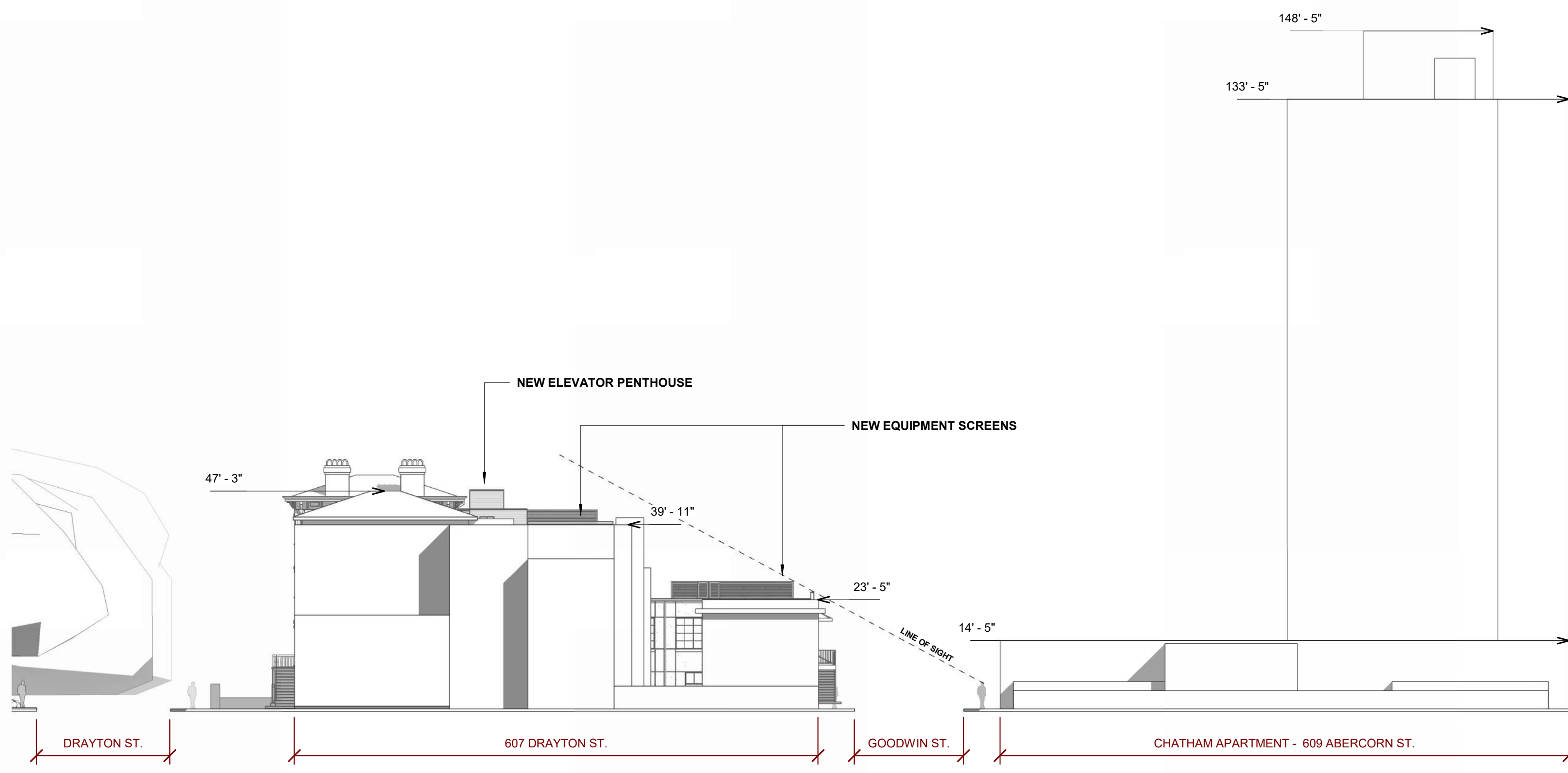
PROJECT NUMBER: 202316 SHEET NO.
DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: 3/16" = 1'-0" **HDBR 3.1-00**

3/29/2024 2:08:27 PM

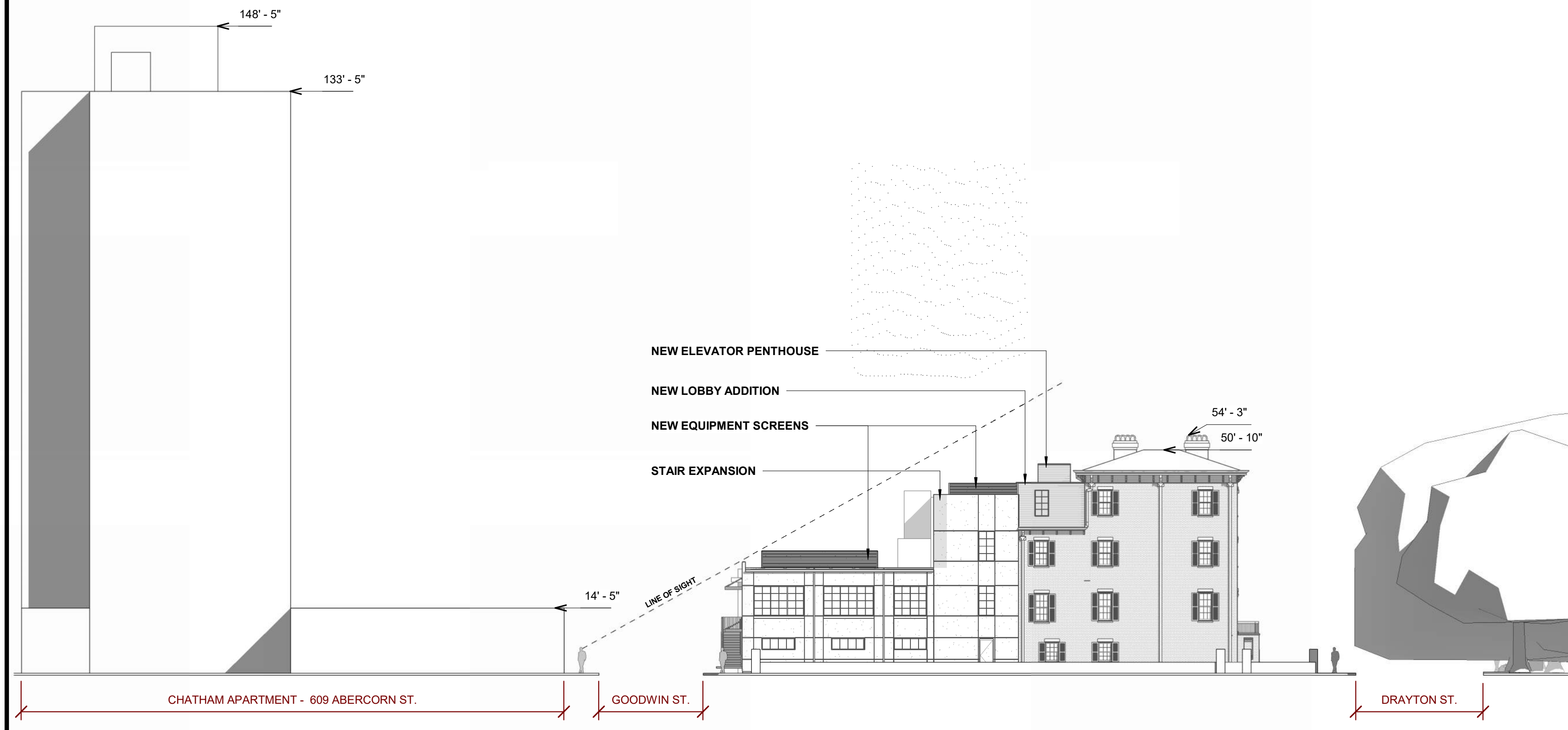
C:\Users\jparkin\p\Documents\202316_612_Drayton_Architectural\jparkin\hansen\hansen.savannah.com.rvt



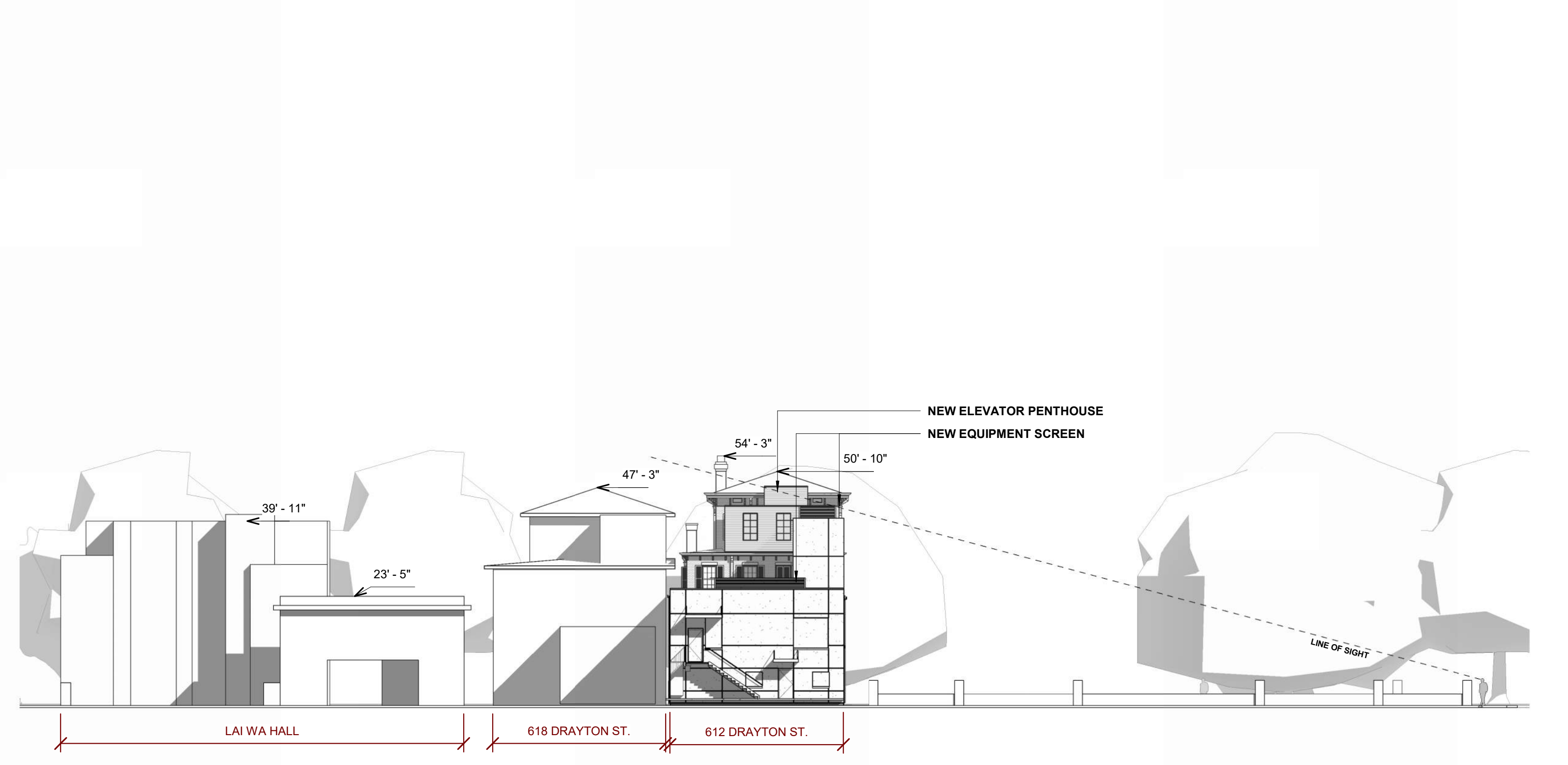
1 WEST (DRAYTON ST.) CONTEXT ELEVATION
HDBR 3.2-00 1" = 20'-0"



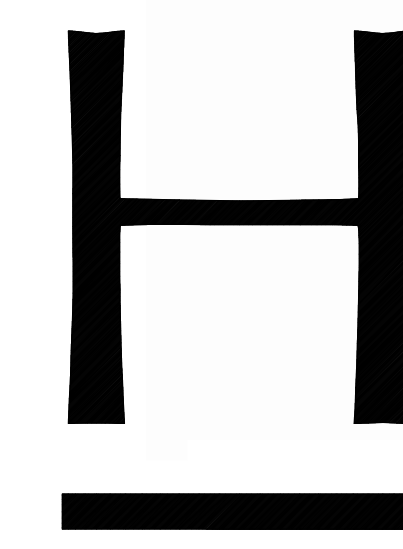
2 SOUTH (E. HALL ST.) CONTEXT ELEVATION
HDBR 3.2-00 1" = 20'-0"



3 NORTH (E. HUNTINGDON ST.) CONTEXT ELEVATION
HDBR 3.2-00 1" = 20'-0"



4 EAST (GOODWIN ST.) CONTEXT ELEVATION
HDBR 3.2-00 1" = 20'-0"



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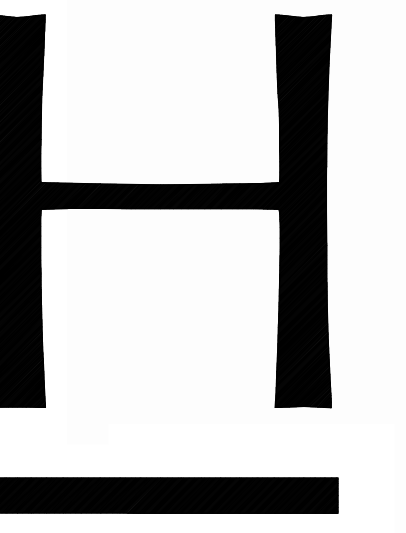
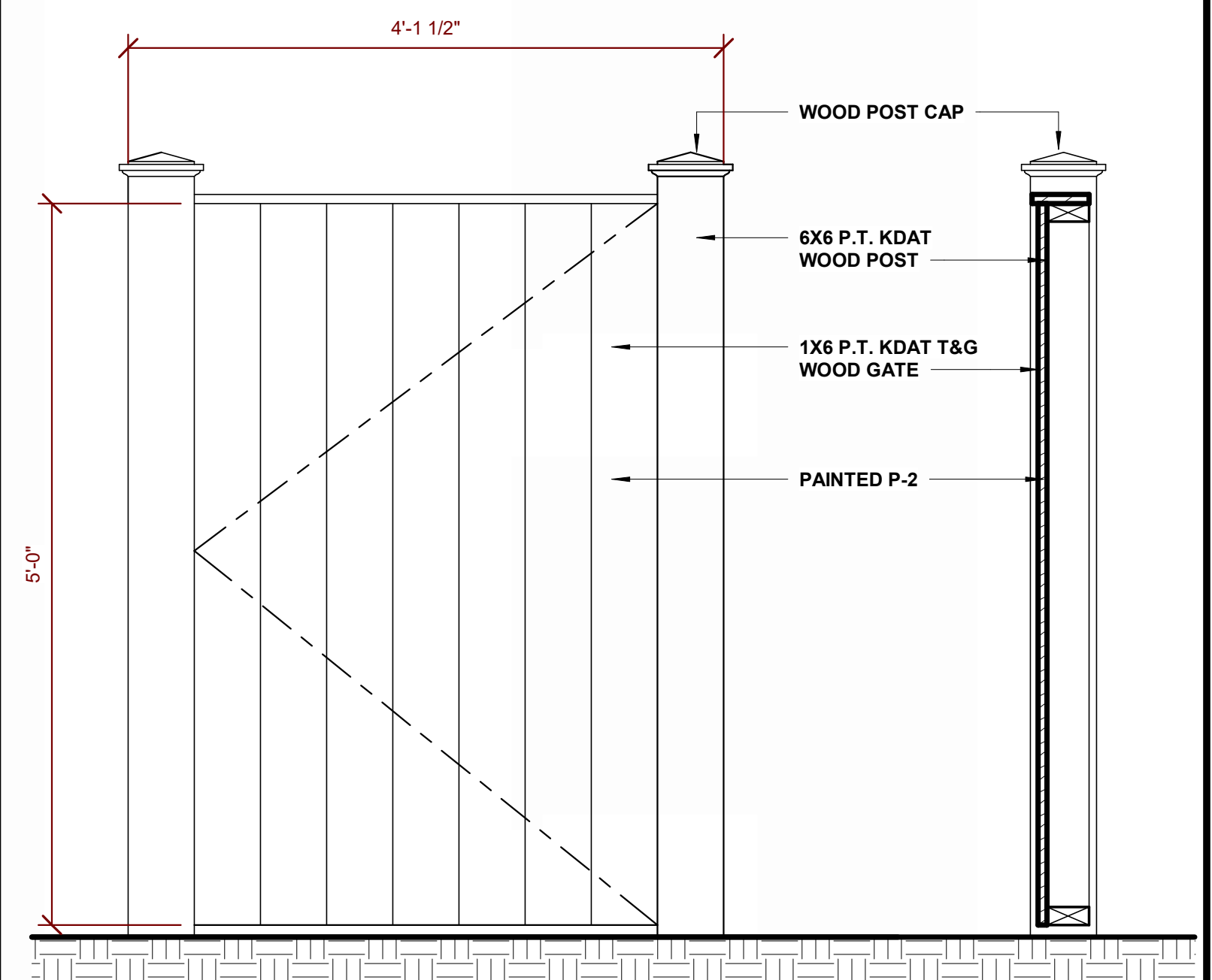
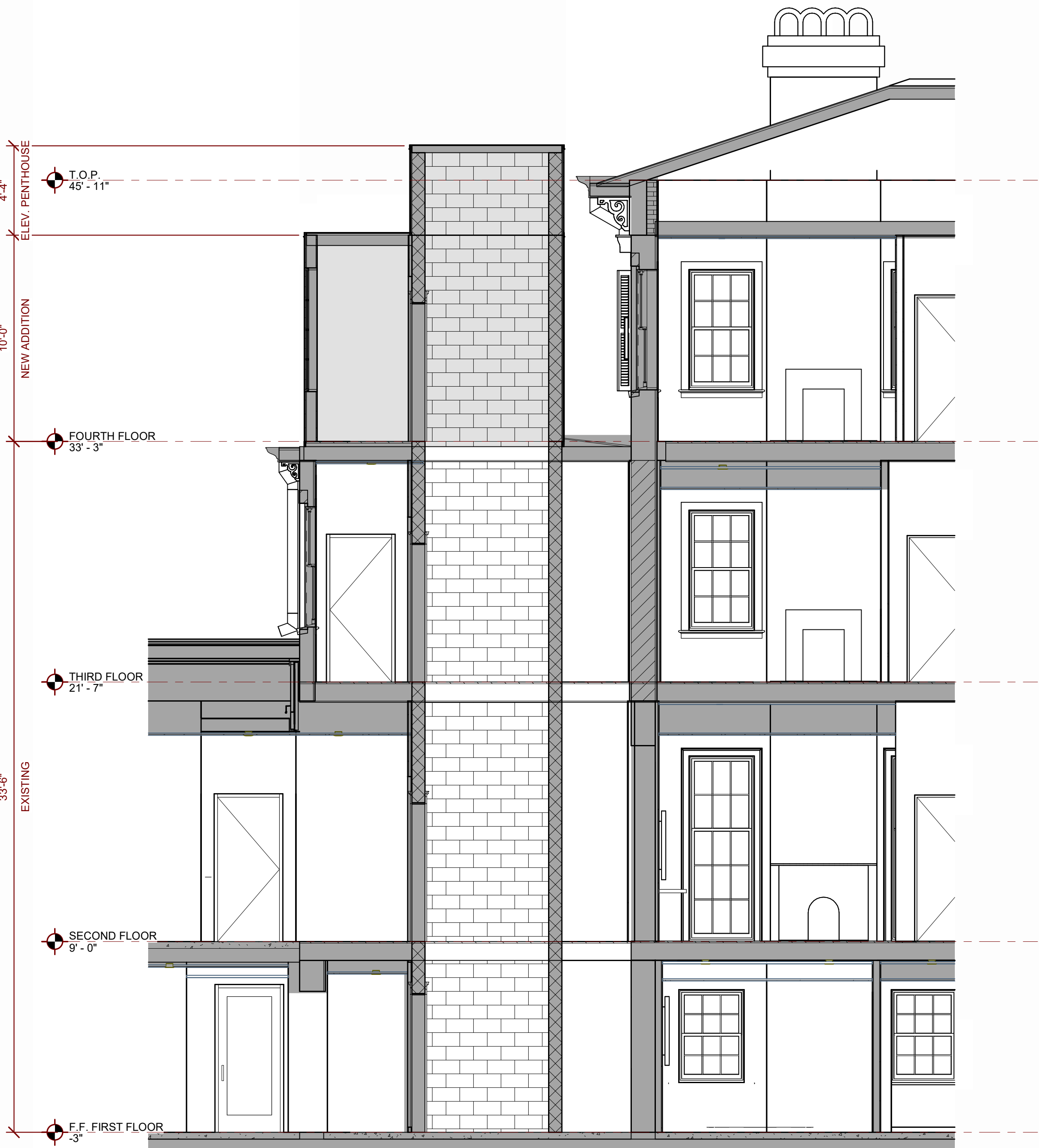
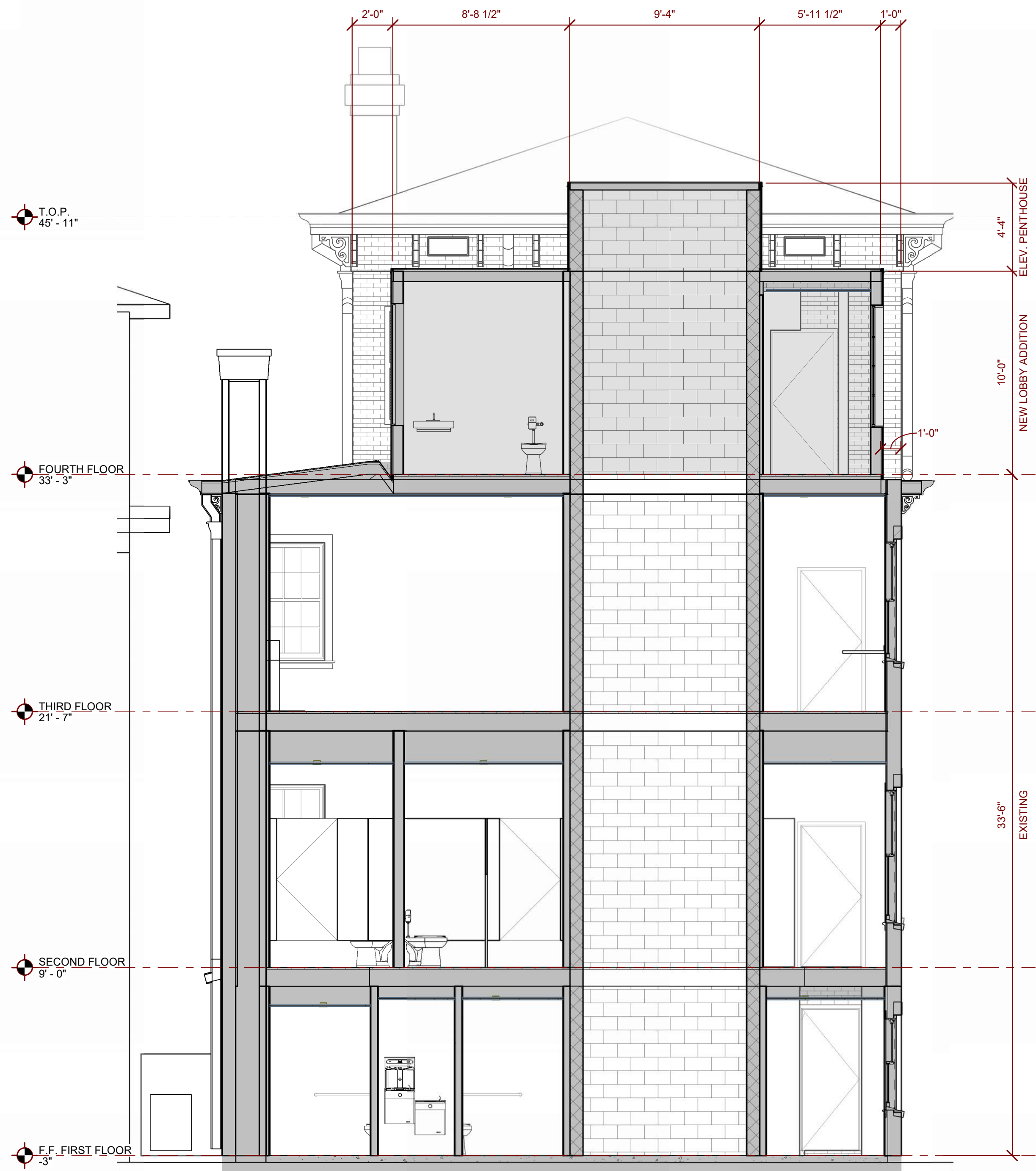
OVERALL EXTERIOR ELEVATIONS

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PROJECT NUMBER: 202316
DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: 1" = 20'-0"

SHEET NO.
HDBR 3.2-00

3/29/2024 2:08:39 PM



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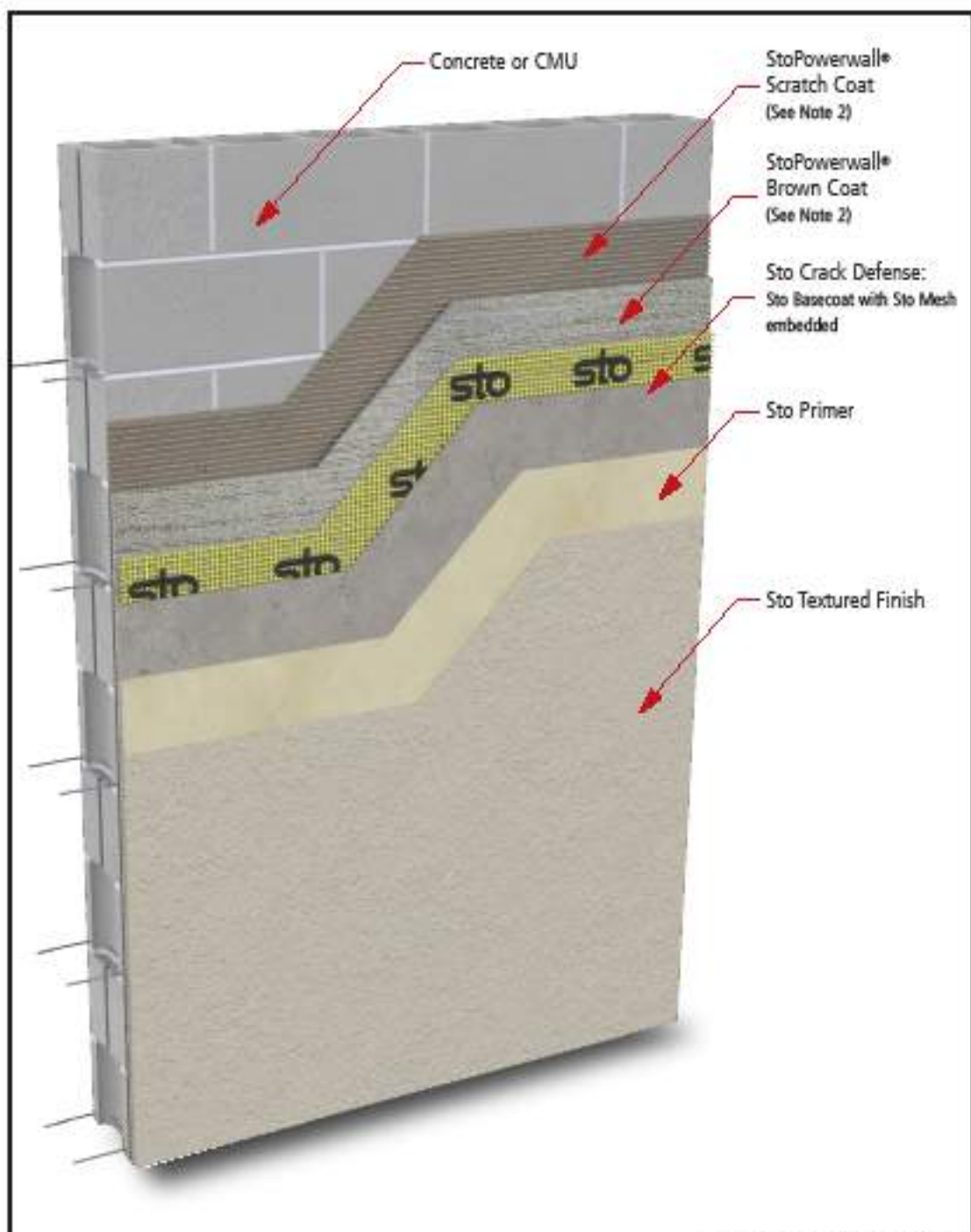
PROJECT NUMBER: 202316
DATE: 03/29/2024
REVIEWED BY: PLP
SCALE: As indicated

SHEET NO.
HDBR 4.1-00



Sto Powerwall® with Sto Crack Defense System
System Components on Concrete or CMU

Detail No.: 66s.01 CMU
Date: July 2022



- Notes:**
1. Sto Components:
 - a. Sto Powerwall® Scratch Coat
 - b. Sto Powerwall® Brown Coat
 - c. Sto Crack Defense: Sto Basecoat with Sto Mesh embedded.
 - d. Sto Primer
 - e. Sto Textured Finish Coat
 2. Stucco Scratch and Brown Coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
 3. Construct a site built mock-up using materials and sub-trades associated with the project to verify installation sequencing, detailing, and aesthetics.
 4. Refer to applicable Sto guide specifications, product bulletins, Tech Hotlines, and other Sto guide details for additional information.
 5. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

www.stocorp.com

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StoPowerwall®
System Overview and Components



StoPowerwall® is a portland cement stucco wall covering that is intended for use over code compliant concrete, concrete masonry, and frame wall construction. It incorporates a fluid applied air and water-resistant barrier, code compliant paper or felt water-resistant barrier (WRB), code compliant metal plaster base, portland cement stucco, Sto primers, and Sto textured or stucco finishes.

StoPowerwall stucco is ASTM C926 compliant and is installed in two coats in conformance with ASTM C926 practices. StoPowerwall stucco is available as a concentrate to which graded sand is added at the job site, or pre-sanded to simplify mixing in the field. Sto proprietary integrally colored textured finishes or Sto custom cast finishes are used in lieu of portland cement stucco finish to achieve brighter, richer colors and textures, and offer a wide variety of finish looks such as stone, brick, or wood on a single substrate. Aside from Sto proprietary blends of stucco, Sto Corp. also maintains a list of stucco vendors, whose products are suitable for use and warranted in StoPowerwall stucco wall assemblies. Refer to the Addendum to StoPowerwall Specifications for a listing of vendors, stucco types, information on building code compliance, and any limitations that may apply.

NOTE: Sto documents referenced in this booklet are in **bold** and can be viewed or downloaded by visiting the documentation center at www.stocorp.com, where other information - Guide Specification, System Bulletin, and Product Bulletin - is also available.

Components

Fluid Applied Air and Water-Resistive Barrier Products

- Sto Gold Coat®** - Roller or spray applied vapor-permeable air & water-resistive barrier designed for use in StoPowerwall® DrainScreen® Systems.
- Sto AirSeal®** - Roller or spray applied, medium-to-high build, vapor-permeable air & water-resistive barrier for use behind siding, brick, stone, adhered veneer, StoPowerwall® DrainScreen® systems, and other claddings.
- StoGuard VaporSeal®** - Roller or spray applied high build air barrier and Class 1 vapor retarder (c 0.1 perms). Provides superior protection against vapor diffusion, moisture intrusion, and air leakage.
- Sto Gold Coat® TA** - Trowel applied vapor-permeable air & water resistive barrier for use behind siding, brick, stone, adhered veneer, and StoPowerwall® systems.

Detail Component Products

- Sto Gold Fill®** - Trowel applied joint treatment and air barrier material used to treat rough openings, corners, and sheathing joints with StoGuard® Mesh or Sto Detail Mesh.
- Sto RapidGuard®** - One-component air barrier and waterproof material used to protect rough openings, sheathing joints, seams, cracks, penetrations, and other transitions in above grade wall construction.
- StoGuard® Fabric** - Non-woven cloth reinforcement to treat joints, inside and outside corners and rough openings when embedded in Sto Gold Coat, Sto Emerald Coat, Sto AirSeal or Sto VaporSeal.

Continued on next page 3

- PORTLAND CEMENT STUCCO
- P-1 LINK GRAY

GRAHAM ARCHITECTURAL PRODUCTS
SR6700 Series
3/4" Frame Depth
Steel Replica Casement/Projected/Fixed

SR6700 SERIES DATA SHEET

TYPE	ANNA SIZING & TEST SIZE	VENT SIZE (Inches)	AIR LEAK (ft³/hr @ 50 mph)	WATER (Inches)	DESIGN PRESSURE (psf)	STRUCTURAL OVERLOAD (psf)	U-VALUE (BTU/hr/ft²/F)
CASEMENT	CWR699 24 x 60	24 1/2 x 58 1/2	0.03	12.11	40.10	65.15	0.42 - 0.50
AWNING	CWR6100 60 x 24	58 1/2 x 24 1/2	0.01	12.11	100.25	150.39	0.42 - 0.51
FIXED	AWR6110 60 x 90	N/A	0.01	12.11	110.25	165.41	0.26 - 0.29
FIXED WITH FLOATING VENT	CWR640 93 x 98	61 1/2 x 37 1/2	0.03	12.11	40.10	65.15	0.37 - 0.44

NOTE: The air infiltration and water resistance performance values provided above were achieved in a controlled lab environment. Performance of our products in the field will vary depending on product configuration, installation method, and ambient conditions. ANNA SIZING "voluntary" specification for field testing of newly installed window products should be followed to be testing installed products. U-Values will vary depending upon glazing selected.

SR6700 SERIES QUICK VIEW:
The SR6700 steel replication window is designed to replicate the original steel windows used in many buildings. Available in fixed, projected and casement configurations. The innovative SR6700 Series window features a "floating vent", large openings and minimal sight lines.

STANDARD FEATURES

- 1" nominal TDI concave muntin & applied grids, replicates historic steel profiles
- Slim-line integral and fixed-stack mull for minimal sightlines
- Floating vent design with 2" perimeter sightline
- Stainless steel concealed hinges
- White bronze or black hardware
- Overlay of vent to frame for historic replication
- Concave muntin glazing lig
- Outsizing operation only
- Receptor and panning systems available for installation

OPTIONAL FEATURES

- Triple grids - simulated TDI muntin in conjunction with true muntin
- Multi leaf casement
- Interior screens with wicket doors
- Receptor frame



Window series: SR6700 Steel Replica Projected/Fixed - General Specifications & Details

- Applications:** Historic Replication
- Leaf Size (Fixed with Vent):** Casement: 27" x 98" Vent: 61 1/2" x 37 1/2"
- Leaf Size (Casement):** 36" x 60"
- Glazing Options:** Simulated true divided lite muntin; 1" TDI available
- Muntins:** Between-the-glass muntin & fixed-head lite available
- Finish Options:** ANNA 2003 - Standard acrylic or polyester ANNA 2004 - 2 coat SR6700/Replicator ANNA 2005 - 2 coat fluoropolymer 70% solids Powder Coat: Anodized
- Hardware (Operable Unit):** Hinges: 4-bar stainless steel Lock: 2-bar White bronze standard
- Accessories:** Control box for availability. Frame Family: 312. Receptor System: SR6700 Mullions.
- Stacking:** Integral & fixed-stack mull. Sill: Structural. Panning: Available. Trans: Available. Receptor System: Available.
- Exception:** Call Graham sales rep or see website for more information.

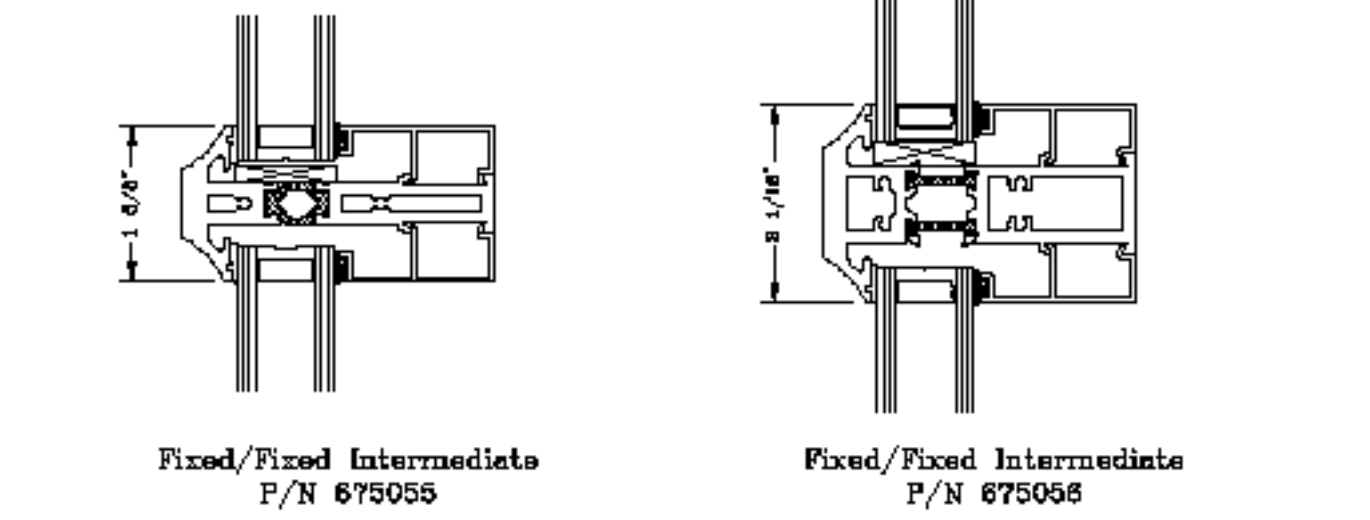
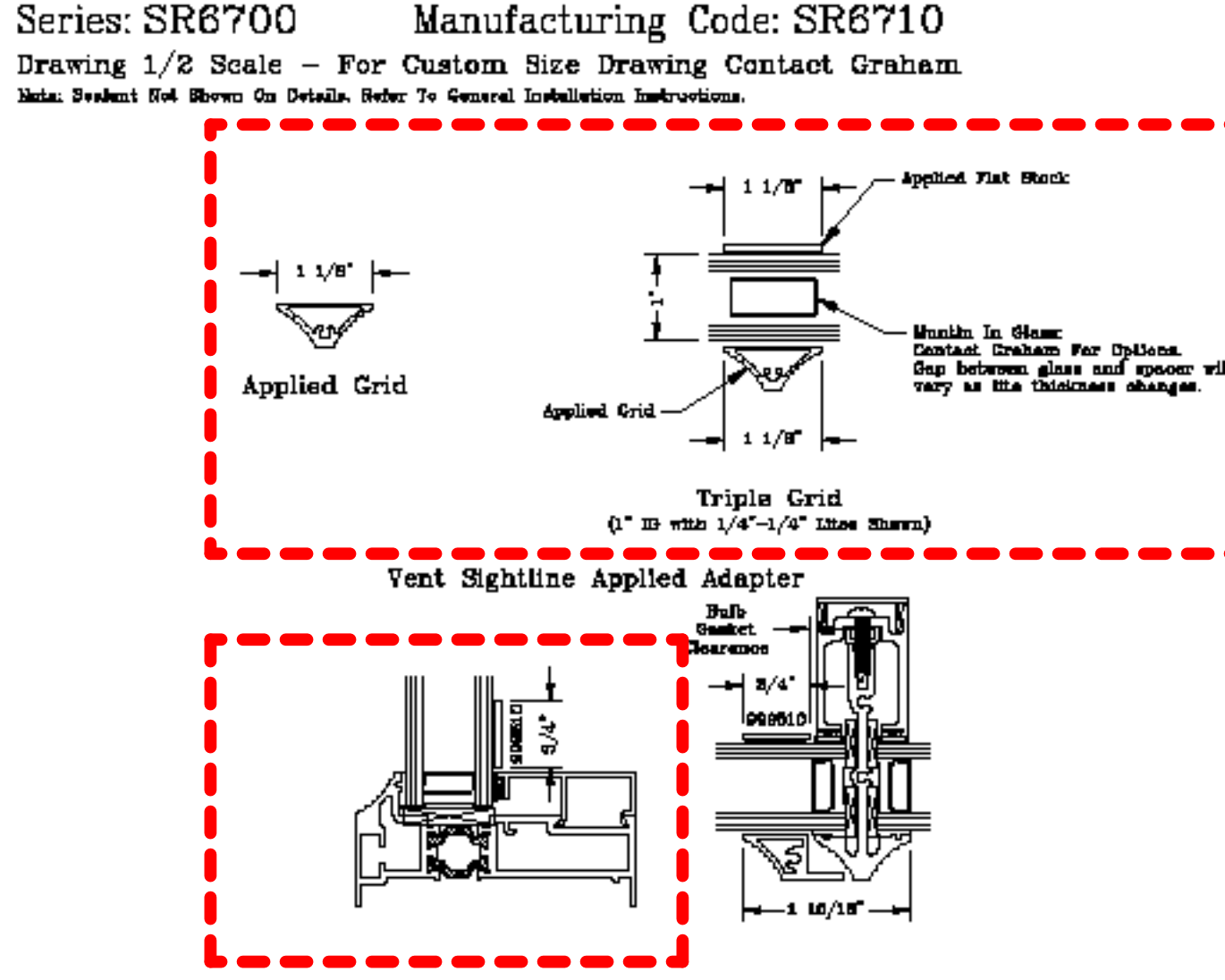
Our products are listed in the Handbook of Windows and are available in a wide variety of sizes and finishes. For more information, contact the Handbook's publisher and the Handbook.

Check website for most current information including detail drawings and hardware options: www.grahamwindows.com - 1551 Mt. Rose Avenue, York, Pennsylvania 17403-2909 - (800) 755-8274 (717) 849-8100 Updated: 8/21

- STEEL REPLICA ALUMINUM WINDOW
- P-2 BLACK

Grid And True Muntin Options

Series: SR6700 Manufacturing Code: SR6710
Drawing 1/2 Scale - For Custom Size Drawing Contact Graham
Site: Project 04 - River Co. Details - Refer To General Submittals Instructions



Order: Architectural Products reserves the right to change, add, remove, or otherwise modify the details illustrated without prior notice. 1551 Mt. Rose Avenue, York, Pennsylvania 17403-2909 - (800) 755-8274 - (717) 849-8100 - 800 - 8397 - 10 Web Site: www.grahamwindows.com

- EQUIPMENT SCREEN
- P-2 BLACK

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Hardie® Artisan Siding

Offering gorgeous, deep shadow lines and extra thick boards, Hardie® Artisan siding will set your home apart. The 5/8-inch thickness and unique features of Hardie® Artisan siding provide precise fit and finish as well as the freedom to miter corners for attractive, streamlined styling.

TONGUE & GROOVE SYSTEM
Hardie® Artisan siding flat wall profiles have a tongue & groove system that helps enable faster, cleaner installation. Orient vertically, horizontally or use as soffit.

MITERED CORNERS
Add sophistication to your design with mitered corners that can be crafted on-site with any Hardie® Artisan profile.



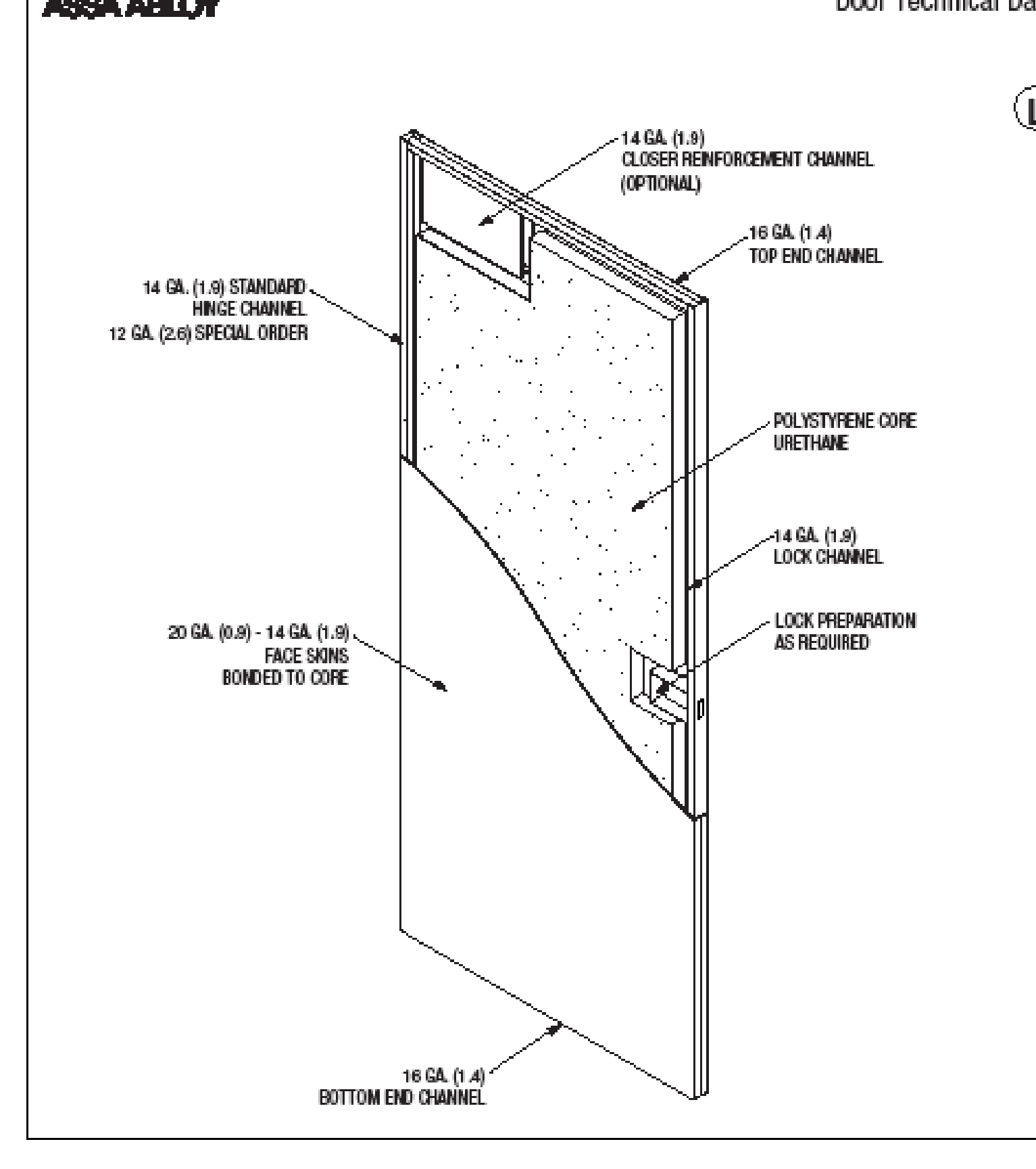
Hardie® Artisan Siding

Profile	Thickness 5/8 in
Shiplap	Width: 10.25 in (Ø in exposure) Length: 12 ft Pcs./Pallet: 105 Prime: +
V-Groove	Width: 8.25 in (7 in exposure) Length: 12 ft Pcs./Pallet: 126 Prime: -
Square Channel	Width: 10.25 in (Ø in exposure) Length: 12 ft Pcs./Pallet: 105 Prime: -
Lap Siding*	Width: 7.25 in (Ø in exposure) Length: 12 ft Pcs./Pallet: 144 - 125 Prime: -

*Lap siding does not offer the tongue & groove system.

- CEMENTICIOUS SIDING
- P-1 LINK GRAY

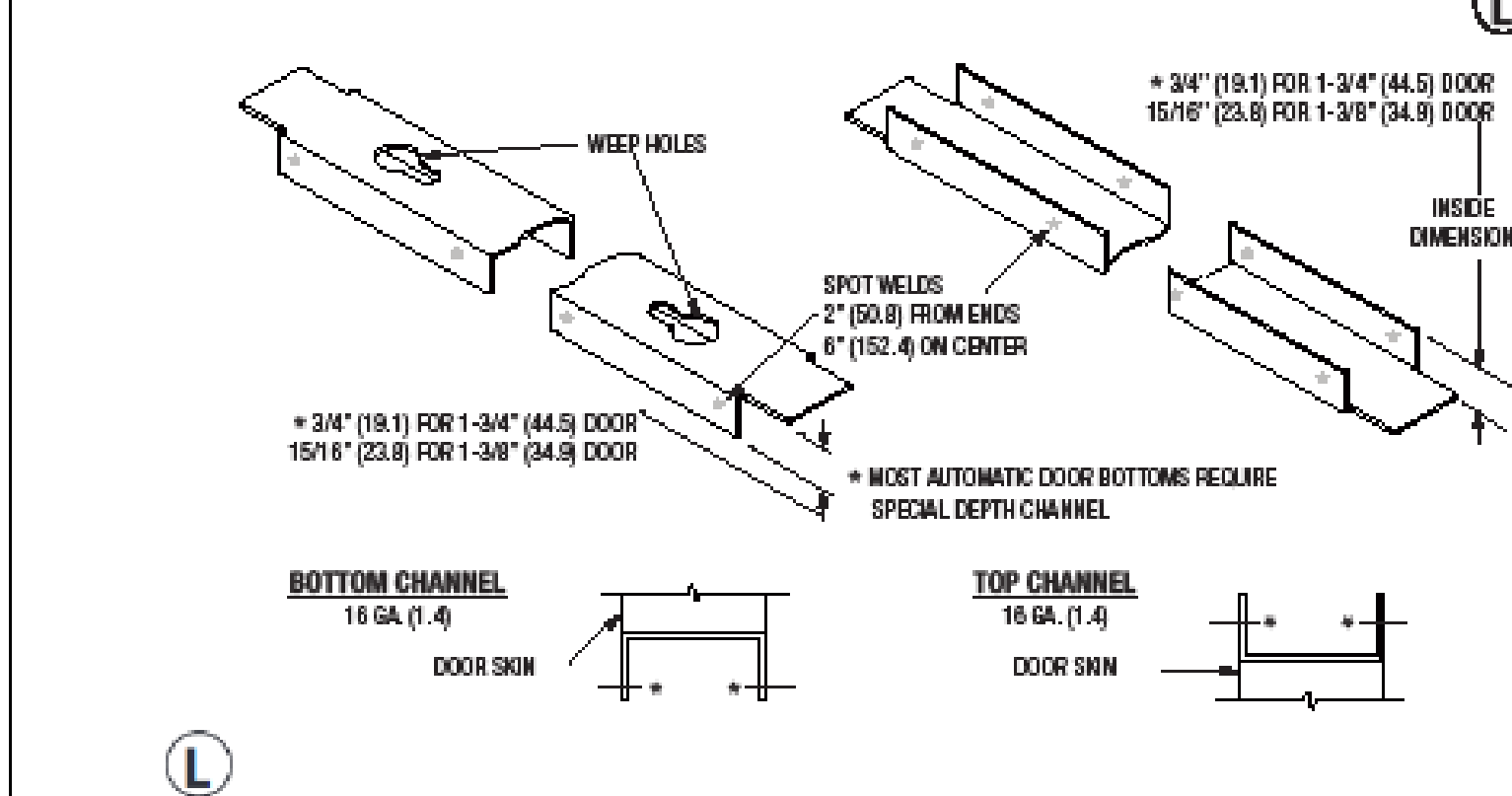
707 Door Construction
Door Technical Data



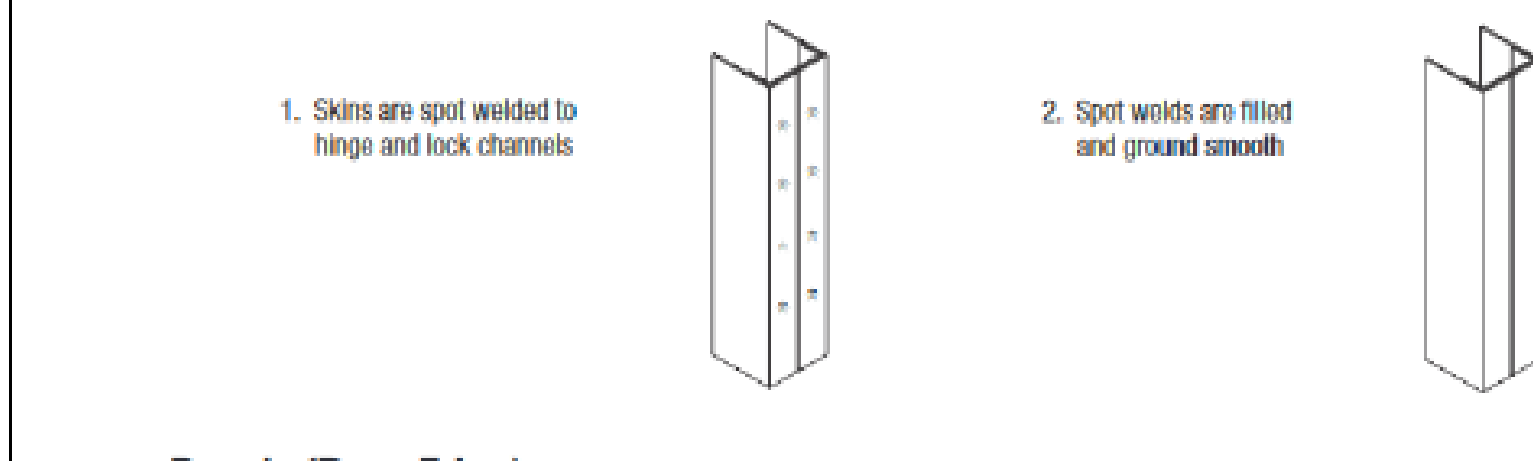
McCarthy Inc. Page 19 of 31

- HOLLOW METAL DOORS
- P-2 BLACK

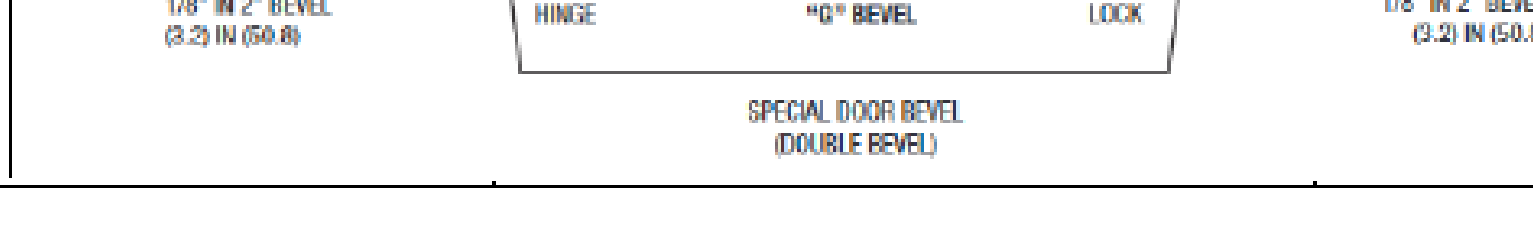
Standard Top/Bottom End Channels



Visible Edge Seam Types "S"



Bevels (Door Edge)



12/05/2023

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PROJECT NUMBER: 202316
DATE: 03/29/2024
REVIEWED BY: PLP
SCALE:
SHEET NO.
HDBR 5.1-00

ENCB609

Equipment Screen | Extruded Aluminum

Standard Construction	
Material	Extruded 6063-T5 aluminum
Stationary Blade	0.081 in. (2.06 mm)
Vertical Support	Extruded aluminum Z support
Equipment Screen Depth	4 in. (101.6 mm)
Free area - 4 ft. x 4 ft.	8.23 sq. ft. (0.76 sq. m)
Percent Free Area	51.4%



AirLite equipment screen ENCB609 is a versatile, horizontal and inverted blade lower screen that functions well as a sight and security barrier and yields high free area.

Standard Details

#ENCB609 Standard Details

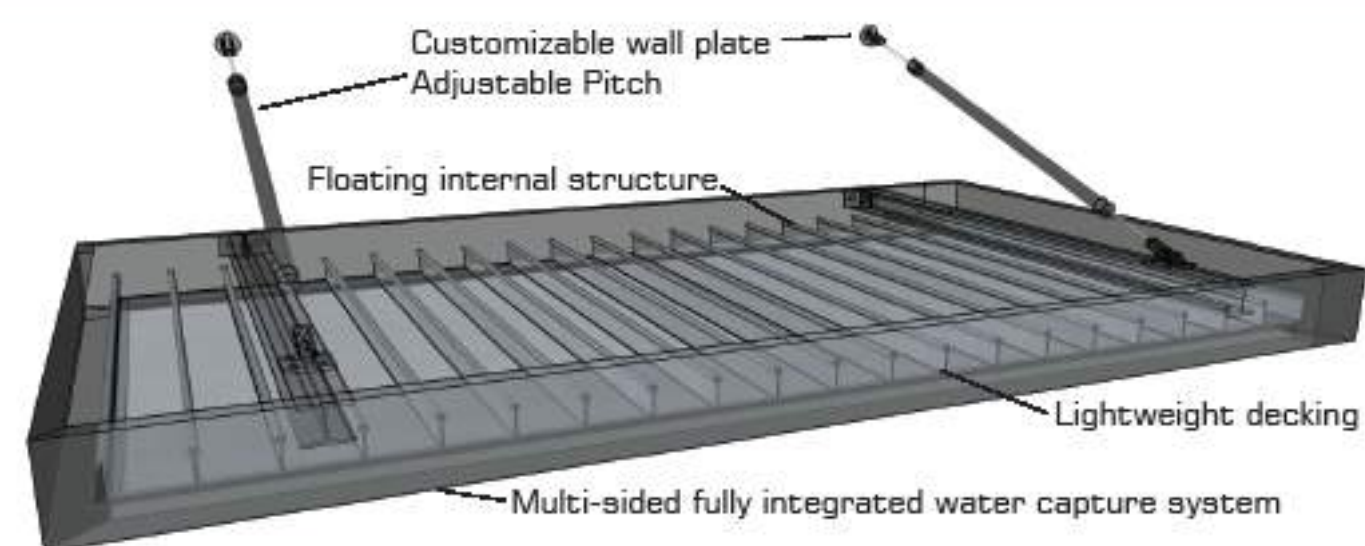
- Document Links**
- Grilles & Screens
 - Finishes & Colors
 - AirLite Warranty Statement



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The gold-standard of extruded aluminum canopies



Applications: Doorways / Windows / Loading Docks / Walkways / Handicap ramps

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- All extrusions meet criteria for ASTM B221 and ASTM B429
- All products are engineered to meet standards of ASCE for design loads
- All channel framing is .125 6063-T5 high strength extruded aluminum

For PDF or AutoCAD Drawings go to: www.architecturalcanopies.com and click on downloads

Finishes:

- Standard finish super-durable Tiger Drylac Series 39 or 49 polyester resin based powder coating.

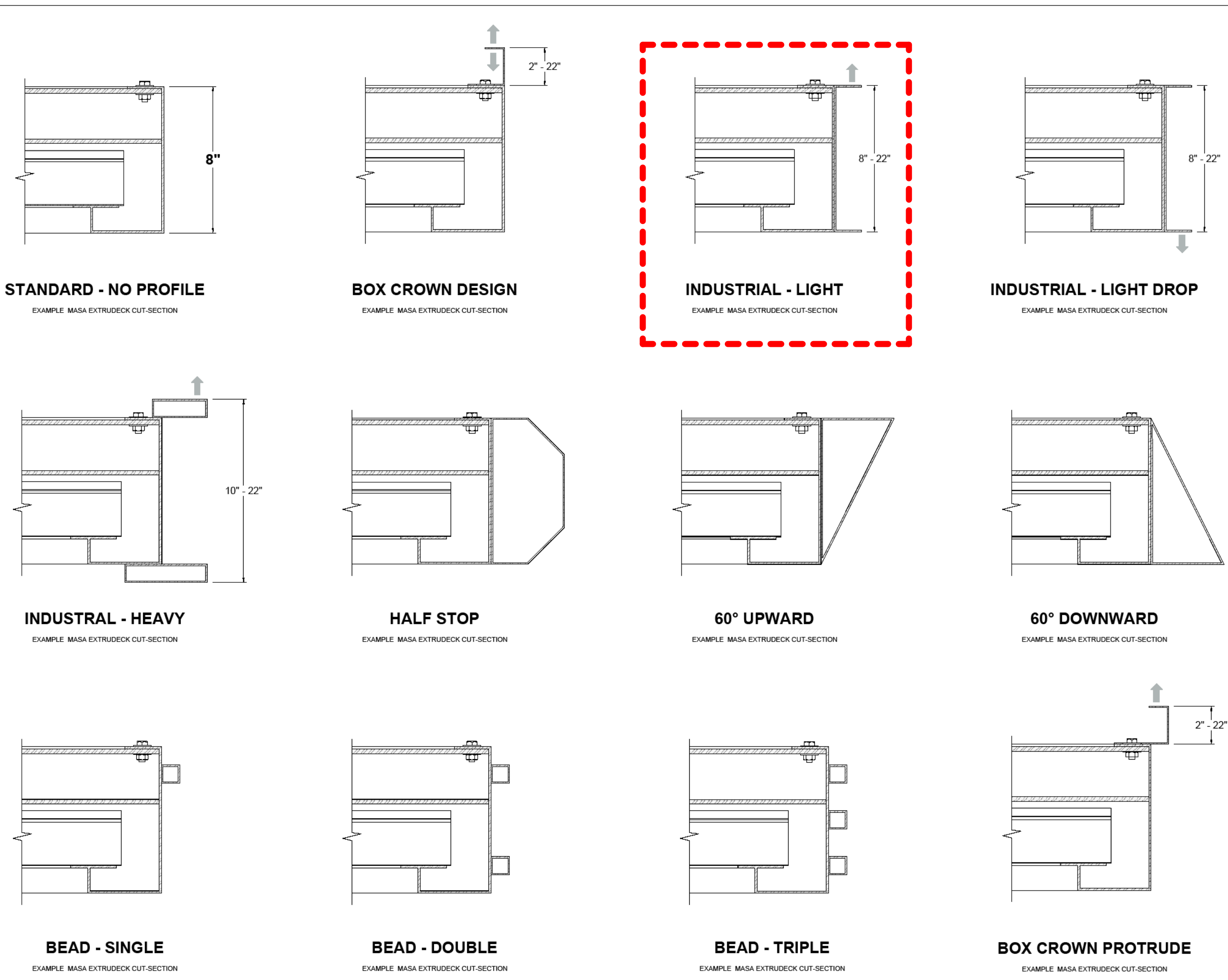
Other Finishes Available:

- Matthews/ppg Eurothane wet application
- Kynar Liquid Fluoropolymer

Full color palettes are also available for download at www.architecturalcanopies.com

All finishes are AAMA rated for excellent outdoor durability

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MASA
ARCHITECTURAL CANOPIES

PROJECT: EXTRUDECK CROWN & FASCIA PROFILES
SCALE: 3/4" = 1'-0" (1:2)

MASA STANDARD DETAIL SHEET

2.0

ALUMINUM EQUIPMENT SCREENS
P-2 BLACK

ALUMINUM ENTRY CANOPY
P-2 BLACK

ALUMINUM ENTRY CANOPY
P-2 BLACK

Wildwood Crest

1538

P-1 STUCCO AND SIDING

Black

HC-190

P-2 BLACK; WINDOWS, STAIR, METAL COPING, GUTTERS, DOWNSPOUTS, TRIM.

Roosevelt Taupe

1539

P-3 EQUIPMENT SCREENS AND HOLLOW METAL DOORS AND FRAMES

PAINT AND MATERIAL COLORS



MEMBRANE
60MIL

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- Why TPO**
- Great Value—Excellent performance at a cost-effective price
 - Excellent Seam Strength—Heat-welded seams provide greater seam strength to taped and other seams
 - Long-term Weathering—Excellent long-term heat and UV resistance
 - Energy Saving—Highly reflective and emissive white roof can help reduce energy costs and urban heat island effect
 - CREST Energy Savings Calculator—See your potential savings at cool.gaf.com
 - Versatile Application Method

Why GAF EverGuard® TPO

- Outperforms standard TPO in heat aging and UV tests—the best predictors of TPO performance
- After accelerated heat aging at 275°F (135°C) for 105 days, EverGuard® TPO showed no cracking—while every one of the competitors' samples had failed! See below:
- UV testing—Greater than 2.5 times the industry standard (ASTM D6878 weather resistance test)
- Guarantees are available up to 25 years when using EverGuard® TPO 60 mil Membrane.*
- Easier to install due to:
 - Large welding window
 - Most complete line of accessories
 - 10' (3.05 m) wide sheets



Fall River Courthouse, Fall River, Massachusetts

Installation

- EverGuard® TPO 60 mil Membrane is suitable for all types of single-ply systems:
- Mechanically Attached Application... for a quick and cost-effective system that can be installed practically year-round.
 - RhinoBond® Application... can be applied without using adhesives and installed practically year-round. Qualifies for the same guarantee length as an adhered system.*
 - Adhered Application... can be installed with EverGuard® 1121 Solvent-Based Adhesive, EverGuard® Low VOC Adhesive, or EverGuard® WB181 Water-Based Adhesive for the smoothest appearance. Provides excellent wind uplift performance.

Accessories

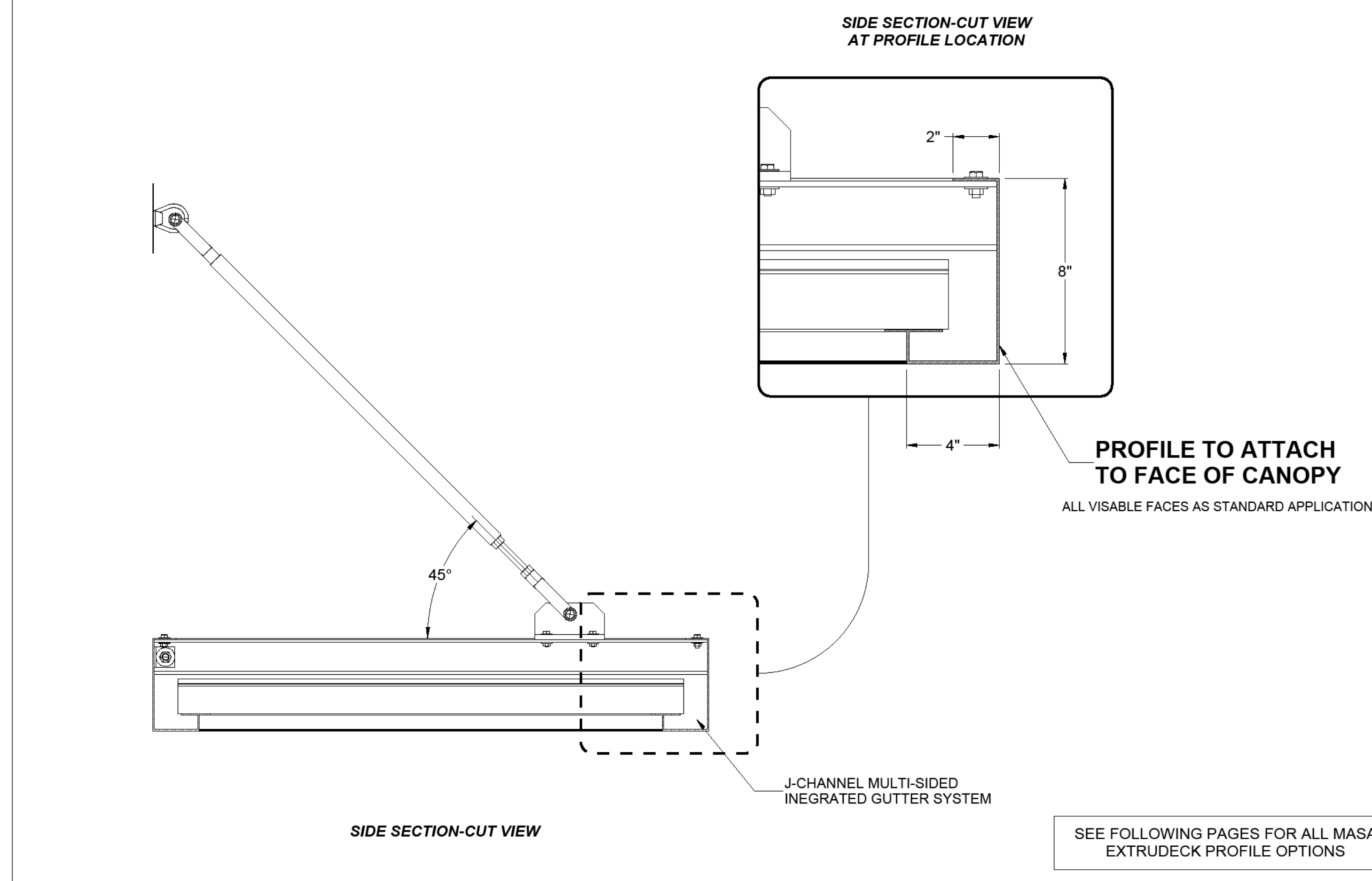
Field fabrication of TPO accessories is time-consuming, costly, inconsistent, and can lead to unreliable details that compromise a watertight roofing system. EverGuard® TPO prefabricated accessories deliver consistent quality and eliminate the worry and problems often associated with field fabrication. They can also boost productivity up to 200%,** while reducing installed cost by up to 12%.

*See applicable guarantee for complete coverage and restrictions.
**Based on GAF estimate to prefabricate flashing details.



SINGLE PLY ROOFING MEMBRANE

EXTRUDECK CROWN AND FASCIA PROFILES



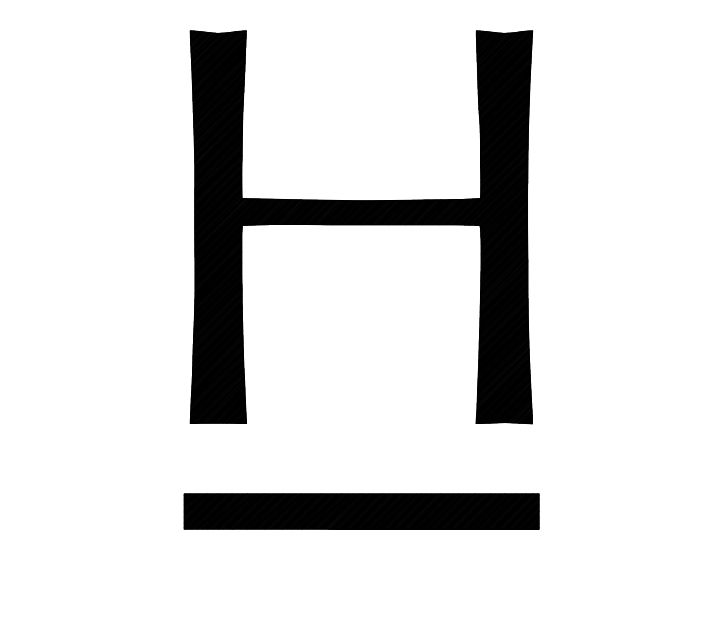
2 Industrial Park Road
St. Clair, PA 15770
Phone 724-453-9120

MASA
ARCHITECTURAL CANOPIES

PROJECT: EXTRUDECK CROWN & FASCIA PROFILES
SCALE: 3/4" = 1'-0" (1:2)

MASA STANDARD DETAIL SHEET

1.0



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PROJECT NUMBER: 202316 SHEET NO.

DATE: 03/29/2024

REVIEWED BY: PLP

SCALE: HDBR 5.2-00