



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: February 13, 2020 REPORT NO. PC-20-005

HEARING DATE: February 20, 2020

SUBJECT: T-Mobile Del Norte High School. Process Four Decision

PROJECT NUMBER: [617097](#)

OWNER/APPLICANT: Poway Unified School District/T-Mobile

REFERENCE: The Wireless Ordinance (SDMC 141.0420) was updated effective September 9, 2019 by [Ordinance O-21117 N.S.](#) This project was deemed complete on September 6, 2018 and is subject to the prior version of the ordinance (updated by [Ordinance O-20261 N.S.](#); effective 7-19-2013). All references to SDMC 143.0420 in this staff report are to the 2013 version (Attachment 14).

SUMMARY:

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) located on the grounds of Del Norte High School, located at 16601 Nighthawk Lane in the Black Mountain Ranch Community Planning Area?

Staff Recommendation: Approve Conditional Use Permit (CUP) No. 2385279 and Planned Development Permit (PDP) No, 2385280.

Community Planning Group Recommendation: On September 2, 2019, the Rancho Penasquitos Planning Board (on behalf of the Black Mountain Ranch Community Planning Area) voted 12-1-0 to recommend approval of the proposed project.

Environmental Review: This project was determined to be categorically exempt from CEQA per Article 19, Section 15303 (New Construction) of the CEQA State Guidelines (Attachment 8). This project is not pending an appeal of the Environmental Determination. The environmental exemption determination for this project was made on December 23, 2019 and the opportunity to appeal that determination ended January 9, 2020.

Fiscal Impact Statement: Processing costs paid for by applicant fees.

BACKGROUND

T-Mobile Del Norte is an application for a WCF at Del Norte High School, located at 16601 Nighthawk Lane in the AR-1-1 zone of the Black Mountain Ranch Community Planning Area. The Black Mountain Ranch Subarea Plan designates the site as a high school. Surrounding uses include a mix of single-unit residential, multi-unit residential, educational, and open space. Although the project site is agriculturally zoned, the area is not planned for agricultural use in the Community Plan, and there are no agricultural uses nearby. The site is occupied by existing WCFs from other carriers (AT&T and Verizon).

[Council Policy 600-43](#) assigns preference levels to WCFs in various different land use categories. This project, a WCF in an agricultural zone, is in the Preference 3 category. Such projects require a Process Three CUP, with the Hearing Officer as the decision maker. Because this project seeks a deviation from the design requirements of the WCF Guidelines (a 48"-diameter antenna shroud where 36" or less is required), it requires a Process Four PDP, a Planning Commission decision. Both permits are consolidated under Process Four per [SDMC 112.0103\(a\)](#), and are discussed below.

DISCUSSION

The T-Mobile Del Norte project is proposed on the Del Norte High School property to consolidate multiple WCFs and to minimize effects on surrounding residential uses. The proposed project consists of six antennas, three Remote Radio Units (RRUs) and associated equipment mounted on an existing 99-foot-tall athletic field light pole. All pole-mounted equipment is concealed within an antenna shroud, or radome. Additional equipment is located within a 240-square-foot equipment shelter.

The proposed project requires the two permits shown below in Table 1:

Permit Type	Required by	Justification
1. Conditional Use Permit (CUP)	SDMC 141.0420(e)(2) to allow a WCF on an agriculturally-zoned parcel.	<p>The project site is zoned AR-1-1 (Agricultural-Residential).</p> <p>A CUP is required where a use may be desirable under appropriate circumstances when it is not permitted by right in the applicable zone, and to review these uses on a case-by-case basis to determine whether and under what conditions the use may be approved at a given site to fully protect the community health, safety, and welfare.</p> <p>The project's visual impacts from most directions are minimized by distance, other structures, and topography. In addition, athletic field light poles are an expected element of athletic fields; the only visible</p>

		<p>WCF elements will be the radome (which integrates into the pole and screens pole-mounted equipment) and equipment room (which screens ground-mounted equipment). This represents an improvement over previous WCFs located at the site, which no longer meet current WCF design standards. CUP findings are on Page 4 of Attachment 5.</p>
<p>2. Planned Development Permit (PDP)</p>	<p>SDMC 126.0602(b)(1) to allow a radome larger than 36 inches in diameter.</p>	<p>The project proposes an antenna shroud (radome) diameter of 48 inches, which is one foot wider than the WCF Guidelines allow.</p> <p>A PDP is intended to encourage imaginative and innovative planning and to assure that the approved deviation would be preferable to what would be achieved by strict conformance with the regulations.</p> <p>The WCF Guidelines require that radomes be no wider than 36 inches. This diameter requirement is intended to ensure newly constructed WCFs have slim-line designs that are similar in diameter to light poles. However, this WCF is proposed on an existing light pole. Although the project screens pole-mounted equipment to the extent feasible, the 36-inch diameter requirement cannot screen six antennas, three RRUs, and associated equipment at this location (it is too small). Therefore, strict adherence to this requirement could require placing some of the proposed equipment on an additional light pole or other new structure. Because it allows the project to stay on one pole with a unified radome for equipment and antennas, the requested deviation is more desirable than strict conformance with the regulations. It enables the installation to minimize its visual footprint, which reduces the overall impact of the project.</p> <p>PDP findings are on Page 6 of Attachment 5.</p>

Community Planning:

The Black Mountain Ranch Subarea Plan was last updated in 2009 and does not address WCFs. The City's General Plan addresses them in the [Urban Design Element](#) (UD-A.15). The visual impact of WCFs should be minimized by concealing them in existing structures, or using camouflage and

screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

Because athletic field lights are an expected component of athletic fields, the existing light pole does not represent a visual impact. Existing vertical elements, adjacent buildings, landscaping, and topography help to minimize the impact of the WCF on the pole, and an antenna shroud is used to conceal pole-mounted equipment. It is staff's opinion that by allowing the installation to remain on one light pole, an increase in radome diameter achieves the overall goal of reducing the visual impact of the project. This meets the intent of UD-A.15, as well as the objectives of the Community Plan and General Plan.

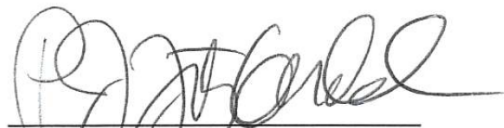
Conclusion:

Based on its design, the project complies with the WCF Regulations ([SDMC 141.0420](#)). Staff has prepared draft findings in the affirmative to approve the project and recommends approval of Conditional Use Permit (CUP) No. 2385279 and Planned Development Permit (PDP) No, 2385280 (Attachment 6).

ALTERNATIVES

1. Approve Conditional Use Permit (CUP) No. 2385279 and Planned Development Permit (PDP) No, 2385280, with modifications.
2. Deny Conditional Use Permit (CUP) No. 2385279 and Planned Development Permit (PDP) No, 2385280, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director
Development Services Department



Travis Cleveland
Development Project Manager
Development Services Department

FITGERALD/TAC

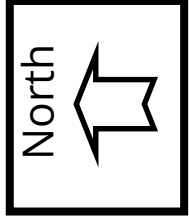
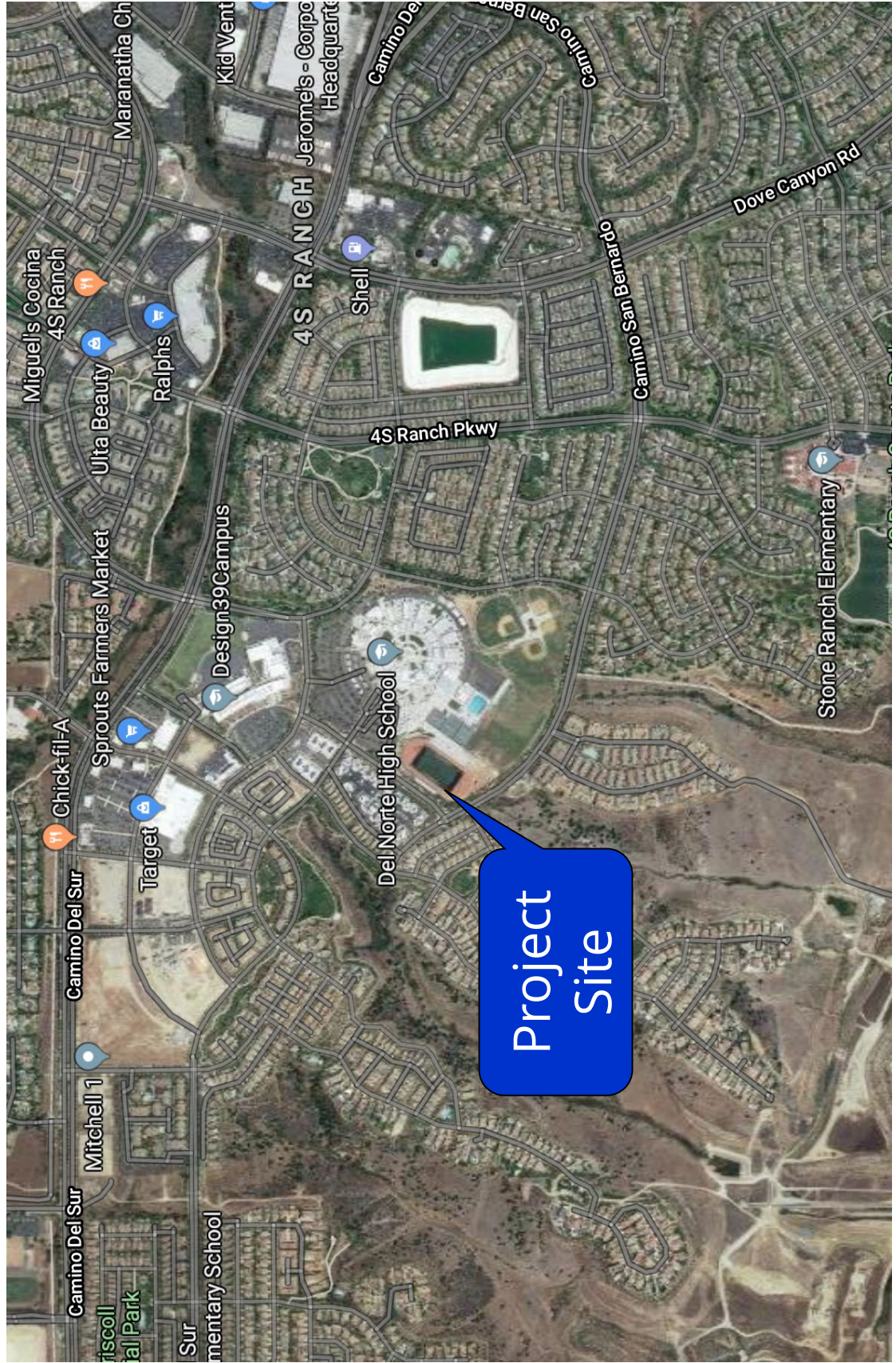
Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet

5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Photo Survey
10. Community Planning Group Recommendation
11. Ownership Disclosure
12. Photosimulations
13. Project Plans
14. SDMC 141.0420 as implemented by Ordinance O-20261 N.S



Aerial Photo

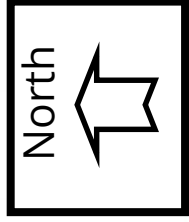
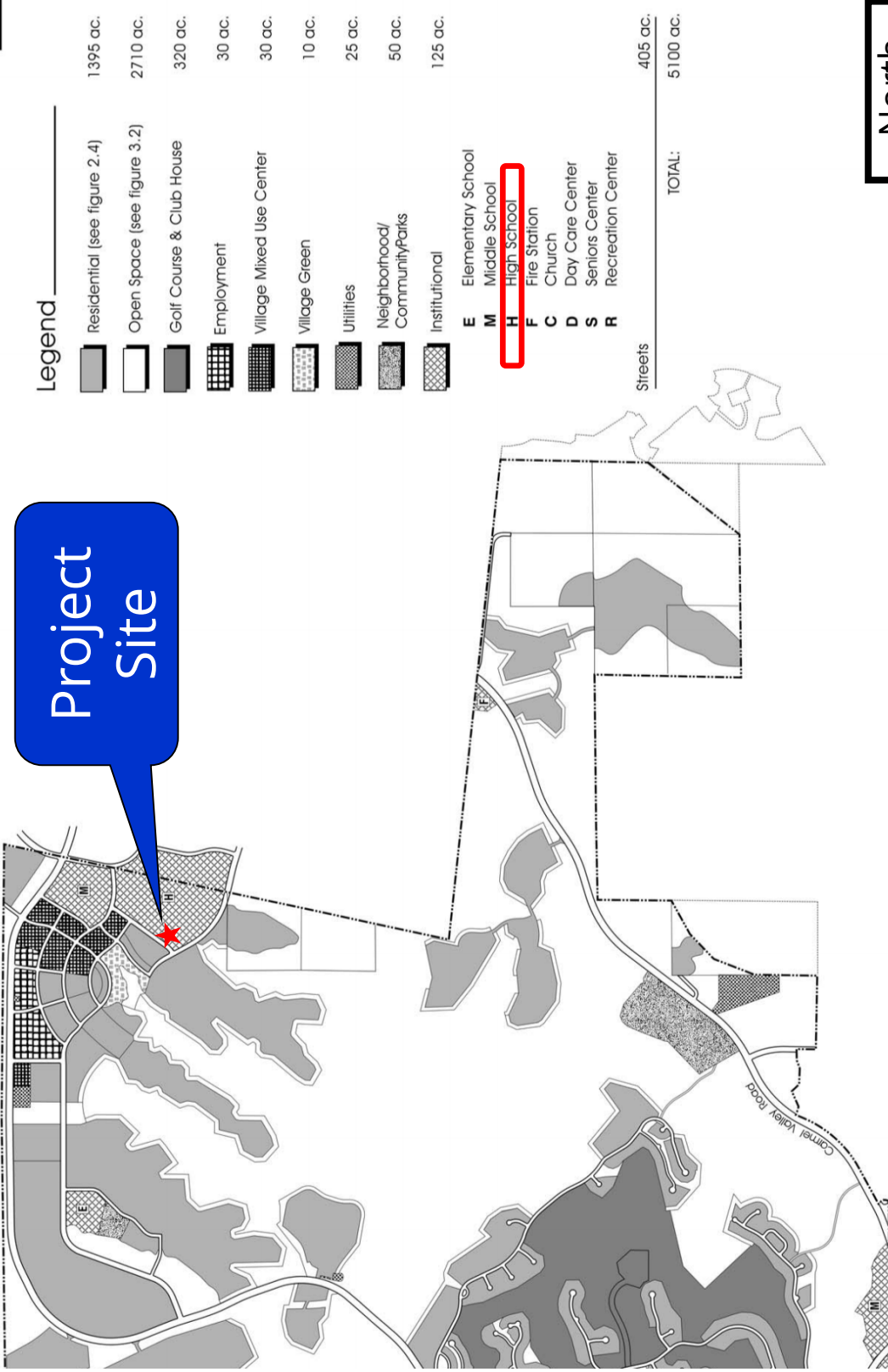


T-Mobile Del Norte High School, Project No. 617097
16601 Nighthawk Lane

Community Plan

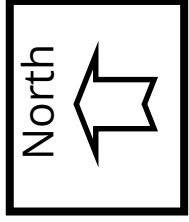
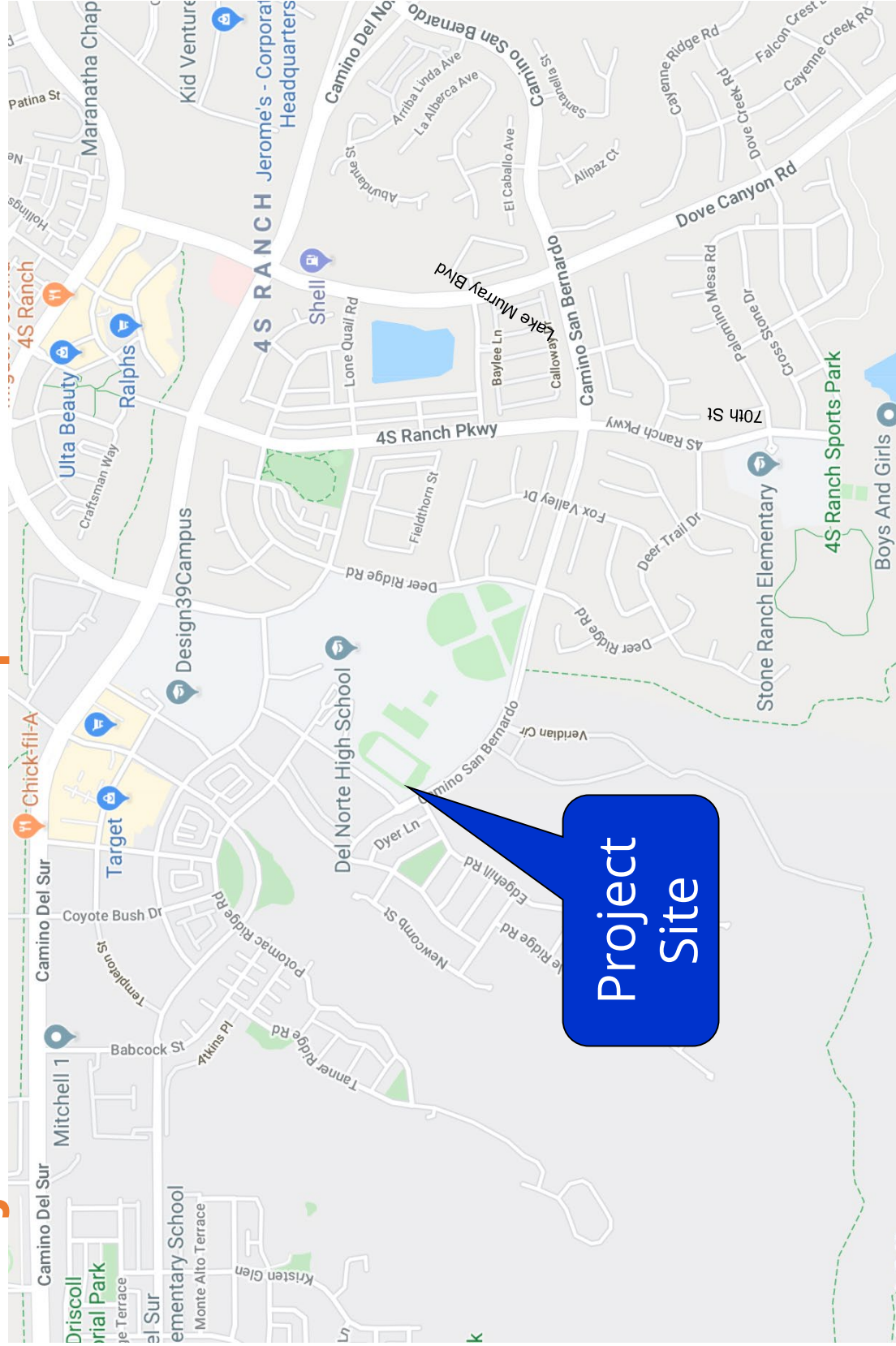
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Land Use



T-Mobile Del Norte High School, Project No. 617097
16601 Nighthawk Lane

Project Location Map



T-Mobile Del Norte High School, Project No. 617097
16601 Nighthawk Lane

PROJECT DATA SHEET		
PROJECT NAME:	T-Mobile Del Norte High School	
PROJECT DESCRIPTION:	The proposed project consists of six antennas, three Remote Radio Units (RRUs) and associated equipment mounted on an existing 99-foot-tall athletic field light pole. All pole-mounted equipment is concealed within an antenna shroud, or radome. Additional equipment is located within a 240-square-foot equipment shelter.	
COMMUNITY PLAN AREA:	Black Mountain Ranch	
DISCRETIONARY ACTIONS:	Conditional Use Permit (CUP) and Planned Development Permit (PDP)	
COMMUNITY PLAN LAND USE DESIGNATION:	Institutional (High School)	
ZONING INFORMATION:		
ZONE: AR-1-1		
LOT SIZE: 61.33 acres, 40.05 acres of which is within City jurisdiction		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH/WEST:	Core Residential	Multi-dwelling units
SOUTH:	Low Residential	Detached single-dwelling units
EAST:	County jurisdiction, shows Institutional (High School) in Community Plan	High School
DEVIATION REQUESTED:	The project proposes an antenna shroud diameter of 48 inches, which is one foot wider than the WCF Guidelines allow.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 2, 2019, the Rancho Penasquitos Planning Board (on behalf of the Black Mountain Ranch Community Planning Area) voted 12-1-0 to recommend approval of the proposed project .	

PLANNING COMMISSION
RESOLUTION NO XXXX-PC
CONDITIONAL USE PERMIT NO. 2385279
PLANNED DEVELOPMENT PERMIT NO. 2385280
T-MOBILE DEL NORTE HIGH SCHOOL
PROJECT NO. 617097

WHEREAS, POWAY UNIFIED HIGH SCHOOL DISTRICT, Owner, and T-MOBILE, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permits, Conditional Use Permit No. 2385279, and Planned Development Permit No. 2385280), on portions of a 61.33-acre site, 40.05 acres of which is within City of San Diego jurisdiction;

WHEREAS, the project site is located at 16601 Nighthawk Lane in the Black Mountain Ranch Subarea Planning Area;

WHEREAS, the project site is legally described as:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 2 OF PARCEL MAP NO. 17995, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MARCH 11, 1998.

TOGETHER WITH THAT PORTION OF BLACK MOUNTAIN ROAD VACATED AND ABANDONED BY THAT CERTAIN RESOLUTION NO. R-303493 RECORDED APRIL 25, 2008 AS INSTRUMENT NO. 2008-0221425 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW.

PARCEL B:

THAT PORTION OF RANCHO SAN BERNARDO, ACCORDING TO MAP THEREOF, RECORDED IN BOOK 2, PAGE 462 OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, TOGETHER WITH A PORTION OF SECTIONS 17 AND 20, TOWNSHIP 13 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF, ALL AS SHOWN ON RECORD OF SURVEY MAP NO. 15488 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY APRIL 24, 1997, ALL IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID RANCHO SAN BERNARDO AS SHOWN ON SAID RECORD OF SURVEY MAP NO. 15488, ALSO BEING A COMMON CORNER ON THE NORTHERLY LINE OF PARCEL 7 PER PARCEL MAP NO. 17995; THENCE ALONG THE EAST BOUNDARY OF SAID PARCEL MAP, NORTH 12° 05' 17" EAST, 1353.56 FEET; THENCE NORTH 12° 04' 21" EAST, 1349.37 FEET; THENCE NORTH 12° 07' 32" EAST, 1419.69 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST BOUNDARY, NORTH 12° 07' 32" EAST, 2005.72 FEET; THENCE A RADIAL TO SAID POINT BEARS NORTH

ATTACHMENT 5

08'10'32" EAST, SAID POINT BEING THE BEGINNING OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 20.00 FEET; THENCE LEAVING SAID WEST LINE, SOUTHEASTERLY 24.67 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 70' 40' 13" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 682.00 FEET, TO WHICH BEGINNING OF SAID REVERSE CURVE A RADIAL LINE BEARS NORTH 78' 50' 45" EAST; THENCE SOUTHEASTERLY 611.99 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 51' 24' 52" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 20.00 FEET, TO WHICH BEGINNING OF SAID REVERSE CURVE A RADIAL LINE BEARS SOUTH 27' 25' 53" WEST; THENCE SOUTHERLY 29.04 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 83' 12' 00"; THENCE SOUTH 20' 37' 53" WEST, 9.08 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 331.00 FEET; THENCE SOUTHERLY 49.46 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 08' 33' 40"; THENCE SOUTH 12' 04' 13" WEST, 639.26 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 581.00 FEET; THENCE SOUTHERLY 262.28 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25' 51' 55"; THENCE SOUTH 13' 47' 42" EAST, 197.52 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 569.00 FEET; THENCE SOUTHERLY 308.02 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 31' 00' 57"; THENCE SOUTH 17' 13' 15" WEST, 157.68 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHWESTERLY 31.42 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90' 00' 00"; THENCE NORTH 72' 46' 45" WEST, 140.48 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 1951.00 FEET; THENCE WESTERLY 175.31 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 05' 08' 54"; THENCE NORTH 77' 55' 39" WEST, 325.41 FEET TO THE TRUE POINT OF BEGINNING. TOGETHER WITH THAT PORTION OF BLACK MOUNTAIN ROAD VACATED AND ABANDONED BY THAT CERTAIN RESOLUTION NO. 07-250 RECORDED DECEMBER 14, 2007 AS INSTRUMENT NO. 2007-0772743 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW.

PARCEL C:

PARCEL 1:

THAT PORTION OF PARCEL 2 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID PARCEL 2; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL 2, NORTH 28' 58' 04" WEST 16.38 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF MAASCOT LANE AS DEDICATED TO THE CITY OF SAN DIEGO PER DEED RECORDED APRIL 24, 2007 AS INSTRUMENT NO. 2007-0277331 OF OFFICIAL RECORDS, SAID POINT BEING THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY; THENCE LEAVING SAID SOUTHWESTERLY LINE AND ALONG SAID EASTERLY RIGHT OF WAY LINE, NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 83' 20' 37" A DISTANCE OF 29.09 FEET TO THE BEGINNING OF A REVERSE 489.00 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE CONTINUING ALONG SAID EASTERLY RIGHT OF WAY LINE, NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 18' 30' 25" A DISTANCE OF 157.95 FEET TO A POINT

ATTACHMENT 5

ON THE EASTERLY LINE OF SAID PARCEL 2; THENCE LEAVING SAID RIGHT OF WAY LINE, ALONG SAID EASTERLY LINE OF PARCEL 2, SOUTH 35' 52' 08" WEST 186.63 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST NORTHEAST CORNER OF PARCEL 2 OF PARCEL MAP NO. 17995 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SAID POINT BEING THE BEGINNING OF A NON-TANGENT 20.00 FOOT RADIUS CURVE CONCAVE SOUTHERLY, TO WHICH A RADIAL LINE BEARS NORTH 02' 20' 15" WEST; THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL 2, WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03' 32' 09" A DISTANCE OF 1.23 FEET; THENCE CONTINUING ALONG SAID NORTHERLY LINE SOUTH 84' 07' 36" WEST 38.48 FEET TO THE BEGINNING OF A TANGENT 1146.00 FOOT RADIUS CURVE CONCAVE NORTHERLY; THENCE CONTINUING ALONG SAID NORTHERLY LINE, WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10' 03' 12" A DISTANCE OF 201.18 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF ZASLAVSKY PLACE AS DEDICATED TO THE CITY OF SAN DIEGO PER DEED RECORDED APRIL 24, 2007 AS INSTRUMENT NO. 2007-0277331 OF OFFICIAL RECORDS; THENCE LEAVING SAID NORTHERLY LINE, ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTH 85' 00' 55" EAST 237.62 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE CONCAVE SOUTHERLY; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 18' 30' 18" A DISTANCE OF 6.46 FEET TO A POINT ON THE EASTERLY LINE OF SAID PARCEL 2; THENCE ALONG SAID EASTERLY LINE SOUTH 12' 07' 19" WEST 13.48 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWESTERLY CORNER OF PARCEL 2 OF PARCEL MAP NO. 17995 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY; THENCE ALONG THE WESTERLY LINE OF SAID PARCEL 2, SOUTH 35' 52' 08" WEST 78.76 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WESTERLY LINE SOUTH 35' 52' 08" WEST 118.55 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF MMSCOT LANE AS DEDICATED TO THE CITY OF SAN DIEGO PER DEED RECORDED APRIL 24, 2007 AS INSTRUMENT NO. 2007-0277331 OF OFFICIAL RECORDS, SAID POINT ALSO BEING THE POINT OF CUSP OF A TANGENT 489.00 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE LEAVING SAID WESTERLY LINE, ALONG SAID EASTERLY RIGHT OF WAY LINE, NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 11' 27' 42" A DISTANCE OF 97.82 FEET TO THE BEGINNING OF A REVERSE 20.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 71' 57' 15" A DISTANCE OF 25.12 FEET TO THE TRUE POINT OF BEGINNING.

WHEREAS, this project was deemed complete on September 6, 2018, and the project is subject to the Land Development Code in effect at the time of application (the Land Development Code sections related to Wireless Communication Facilities subsequently having been updated effective September 9, 2019);

WHEREAS, on February 20, 2020, the Planning Commission of the City of San Diego considered Conditional Use Permit (CUP) 2385279 and Planned Development Permit (PDP) 2385280, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 23, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated February 20, 2020.

FINDINGS:

Conditional Use Permit Approval – Section §126.0305

1. The proposed development will not adversely affect the applicable land use plan.

The Black Mountain Ranch Subarea Plan does not contemplate WCFs. However, the City's General Plan addresses WCFs in the Urban Design Element (UD-A.15), which requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The project consists of an existing 99-foot-tall light athletic field light standard that is proposed to support six panel antennas, and three Remote Radio Units (RRUs) screened by a radome. The associated equipment is located in an existing 240-square-foot equipment room.

A Conditional Use Permit (CUP) is required to allow a WCF on an agriculturally-zoned parcel. No agricultural uses exist on or near the subject parcel. A Planned Development Permit (PDP) is also required, to allow a 48-inch diameter radome where 36 inches is allowed by the WCF Guidelines.

The site is designated as a high school in the community plan. Due to its specific location on the school site and the inclusion of the proposed radome to cover all pole-mounted equipment, the proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the design and location requirements of the City's General

Plan. The proposed WCF will not adversely affect the applicable land use plan or the City's General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

Del Norte High School is located at 16601 Nighthawk Lane in the AR-1-1 zone of the Black Mountain Ranch Subarea Plan, which designates the site as a school. The project consists of an existing 99-foot-tall light athletic field light standard that is proposed to support six panel antennas, and three Remote Radio Units (RRUs) screened by a radome. The associated equipment will be in a 240-square-foot equipment room.

The project was determined to be exempt from CEQA pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared, which concluded that the project will be in compliance with FCC standards for RF emissions. Therefore, the project will not result in any significant health or safety risks to the surrounding area.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project requires a CUP pursuant to SDMC 141.0420(e)(2) because it is proposed on an agriculturally-zoned property. No agricultural uses exist on or near the subject parcel, which is used as a school. The purpose of the CUP, as stated in SDMC 126.0301, is to establish a review process for the development of uses that may be desirable under appropriate circumstances, but are not permitted by right in the applicable zone. The intent is to review these uses on a case-by-case basis to determine whether and under what conditions the use may be approved at a given site. Due to the project's specific location on the site, and the concealment of all pole-mounted equipment within a radome, there will be minimal visual impact to the surrounding area.

The project is located in the AR-1-1 zone of the Black Mountain Ranch Subarea Plan. The project meets all applicable requirements of this zone. It seeks a PDP to deviate from the WCF Regulations pursuant to SDMC 126.0602(b)(1), to allow a 48-inch diameter radome where 36 inches is allowed by the WCF Guidelines. This deviation is allowed by the Land Development Code if findings can be made. The deviation and required findings are discussed under "**Planned Development Permit Approval**" below.

In addition to the CUP and PDP Regulations, the WCF Regulations (SDMC 141.0420) contain design requirements for WCF, which include the requirement to utilize the smallest, least visually intrusive antennas, components and other necessary equipment and to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

The project, in proposing concealment within a radome and an integrated equipment area, meets these requirements. The project meets the design requirements of SDMC 141.0420 and findings can be made in the affirmative for all permits required by this project; therefore, the project and all deviations will comply with the applicable regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The project site is 61.33 acres, 40.05 acres of which is within City jurisdiction. The site is general a higher elevation than adjacent public rights-of-way, and contains a variety of on-site buildings and structures, including other athletic field light standards. The antennas and associated components will be concealed within a radome on an existing athletic field light pole.

In addition, the conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Because the project design and permit conditions address approval and operational concerns, the proposed use is appropriate at the proposed location.

Planned Development Permit Approval - Section §126.0604(a)

1. The proposed development will not adversely affect the applicable land use plan.

Please see CUP finding #1 above for more information on this finding.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

Please see CUP finding #1 above for more information on this finding.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the

applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project is located in the AR-1-1 zone. The project meets all applicable requirements of this zone. It requests a deviation from the requirements of the WCF Guidelines, which implement the WCF Regulations. The WCF Guidelines permit a 36-inch maximum diameter for radomes on light poles. This requirement is designed to keep radomes proportional to the profile of an athletic field light pole. The project proposes a 48-inch radome.

The purpose of a PDP, as stated in SDMC 126.0601, is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.

The 36-inch radome diameter requirement is intended to ensure newly constructed WCFs have slim-line designs that are similar in diameter to light poles. However, this WCF is proposed on an existing light pole. Although the project screens pole-mounted equipment to the extent feasible, the 36-inch diameter requirement cannot screen six antennas, three RRUs, and associated equipment at this location (it is too small). Therefore, strict adherence to this requirement could require placing some of the proposed equipment on an additional light pole or other new structure. Because it allows the project to stay on one pole with a unified radome for equipment and antennas, the requested deviation is more desirable than strict conformance with the regulations. It enables the installation to minimize its visual footprint, which reduces the overall impact of the project.

The requested deviation is suitable for this location because the proposed WCF will be minimally visible from nearby public or private vantage points due to its location on the subject site. Adjacent buildings and topography screen the site from view. Any off-site vantage point would be from several hundred feet away, which minimizes the effect of the 48-inch-diameter radome.

The project also requires a CUP pursuant to SDMC 141.0420(e)(2) because it is proposed on an agriculturally-zoned property. This use is allowed by the Land Development Code if findings can be made. These findings are discussed under "**Conditional Use Permit Approval**" above.

In addition to the PDP and CUP Regulations, the WCF Regulations (SDMC 141.0420) contain design requirements for WCFs, which include the requirement to utilize the smallest, least visually intrusive antennas, components and other necessary equipment and to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

The project, in proposing installation and concealment within a radome, meets these requirements. Because the project meets the design requirements of SDMC 141.0420 and findings can be made in the affirmative for all permits required by this project, the project and all deviations will comply with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit (CUP) No. 2385279 and Planned Development Permit (PDP) No. 2385280 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Conditional Use Permit (CUP) No. 2385279 and Planned Development Permit (PDP) No. 2385280, a copy of which is attached hereto and made a part hereof.

Travis Cleveland
Development Project Manager
Development Services

Adopted on: February 20, 2020

IO#: 11003679

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION ASH 16

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 11003679

CONDITIONAL USE PERMIT NO. 2385279
PLANNED DEVELOPMENT PERMIT NO. 2385280
T-MOBILE DEL NORTE HIGH SCHOOL
PROJECT NO. 617097
PLANNING COMMISSION

This Conditional Use Permit No. 2385279 and Planned Development Permit No. 2385280 are granted by the Planning Commission of the City of San Diego to POWAY UNIFIED HIGH SCHOOL DISTRICT, Owner, and T-MOBILE, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0404(a), 126.0305, and 141.0420.

The 61.33-acre site is located at 16601 Nighthawk Lane in the Black Mountain Ranch Community Planning Area. The project site is legally described as:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 2 OF PARCEL MAP NO. 17995, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MARCH 11, 1998.

TOGETHER WITH THAT PORTION OF BLACK MOUNTAIN ROAD VACATED AND ABANDONED BY THAT CERTAIN RESOLUTION NO. R-303493 RECORDED APRIL 25, 2008 AS INSTRUMENT NO. 2008-0221425 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW.

PARCEL B:

THAT PORTION OF RANCHO SAN BERNARDO, ACCORDING TO MAP THEREOF, RECORDED IN BOOK 2, PAGE 462 OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, TOGETHER WITH A PORTION OF SECTIONS 17 AND 20, TOWNSHIP 13 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF,

ATTACHMENT 6

ALL AS SHOWN ON RECORD OF SURVEY MAP NO. 15488 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY APRIL 24, 1997, ALL IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID RANCHO SAN BERNARDO AS SHOWN ON SAID RECORD OF SURVEY MAP NO. 15488, ALSO BEING A COMMON CORNER ON THE NORTHERLY LINE OF PARCEL 7 PER PARCEL MAP NO. 17995; THENCE ALONG THE EAST BOUNDARY OF SAID PARCEL MAP, NORTH 12° 05' 17" EAST, 1353.56 FEET; THENCE NORTH 12° 04' 21" EAST, 1349.37 FEET; THENCE NORTH 12° 07' 32" EAST, 1419.69 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST BOUNDARY, NORTH 12° 07' 32" EAST, 2005.72 FEET; THENCE A RADIAL TO SAID POINT BEARS NORTH 08°10'32" EAST, SAID POINT BEING THE BEGINNING OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 20.00 FEET; THENCE LEAVING SAID WEST LINE, SOUTHEASTERLY 24.67 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 70° 40' 13" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 682.00 FEET, TO WHICH BEGINNING OF SAID REVERSE CURVE A RADIAL LINE BEARS NORTH 78° 50' 45" EAST; THENCE SOUTHEASTERLY 611.99 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 51° 24' 52" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 20.00 FEET, TO WHICH BEGINNING OF SAID REVERSE CURVE A RADIAL LINE BEARS SOUTH 27° 25' 53" WEST; THENCE SOUTHERLY 29.04 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 83° 12' 00"; THENCE SOUTH 20° 37' 53" WEST, 9.08 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 331.00 FEET; THENCE SOUTHERLY 49.46 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 08° 33' 40"; THENCE SOUTH 12° 04' 13" WEST, 639.26 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 581.00 FEET; THENCE SOUTHERLY 262.28 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25° 51' 55"; THENCE SOUTH 13° 47' 42" EAST, 197.52 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 569.00 FEET; THENCE SOUTHERLY 308.02 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 31° 00' 57"; THENCE SOUTH 17° 13' 15" WEST, 157.68 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHWESTERLY 31.42 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90° 00' 00"; THENCE NORTH 72° 46' 45" WEST, 140.48 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 1951.00 FEET; THENCE WESTERLY 175.31 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 05° 08' 54"; THENCE NORTH 77° 55' 39" WEST, 325.41 FEET TO THE TRUE POINT OF BEGINNING. TOGETHER WITH THAT PORTION OF BLACK MOUNTAIN ROAD VACATED AND ABANDONED BY THAT CERTAIN RESOLUTION NO. 07-250 RECORDED DECEMBER 14, 2007 AS INSTRUMENT NO. 2007-0772743 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW.

PARCEL C:

PARCEL 1:

THAT PORTION OF PARCEL 2 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ATTACHMENT 6

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID PARCEL 2; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL 2, NORTH 28' 58' 04" WEST 16.38 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF MAASCOT LANE AS DEDICATED TO THE CITY OF SAN DIEGO PER DEED RECORDED APRIL 24, 2007 AS INSTRUMENT NO. 2007-0277331 OF OFFICIAL RECORDS, SAID POINT BEING THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY; THENCE LEAVING SAID SOUTHWESTERLY LINE AND ALONG SAID EASTERLY RIGHT OF WAY LINE, NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 83' 20' 37" A DISTANCE OF 29.09 FEET TO THE BEGINNING OF A REVERSE 489.00 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE CONTINUING ALONG SAID EASTERLY RIGHT OF WAY LINE, NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 18' 30' 25" A DISTANCE OF 157.95 FEET TO A POINT ON THE EASTERLY LINE OF SAID PARCEL 2; THENCE LEAVING SAID RIGHT OF WAY LINE, ALONG SAID EASTERLY LINE OF PARCEL 2, SOUTH 35' 52' 08" WEST 186.63 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST NORTHEAST CORNER OF PARCEL 2 OF PARCEL MAP NO. 17995 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SAID POINT BEING THE BEGINNING OF A NON-TANGENT 20.00 FOOT RADIUS CURVE CONCAVE SOUTHERLY, TO WHICH A RADIAL LINE BEARS NORTH 02' 20' 15" WEST; THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL 2, WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03' 32' 09" A DISTANCE OF 1.23 FEET; THENCE CONTINUING ALONG SAID NORTHERLY LINE SOUTH 84' 07' 36" WEST 38.48 FEET TO THE BEGINNING OF A TANGENT 1146.00 FOOT RADIUS CURVE CONCAVE NORTHERLY; THENCE CONTINUING ALONG SAID NORTHERLY LINE, WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10' 03' 12" A DISTANCE OF 201.18 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF ZASLAVSKY PLACE AS DEDICATED TO THE CITY OF SAN DIEGO PER DEED RECORDED APRIL 24, 2007 AS INSTRUMENT NO. 2007-0277331 OF OFFICIAL RECORDS; THENCE LEAVING SAID NORTHERLY LINE, ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTH 85' 00' 55" EAST 237.62 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE CONCAVE SOUTHERLY; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 18' 30' 18" A DISTANCE OF 6.46 FEET TO A POINT ON THE EASTERLY LINE OF SAID PARCEL 2; THENCE ALONG SAID EASTERLY LINE SOUTH 12' 07' 19" WEST 13.48 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE

ATTACHMENT 6

NORTHWESTERLY CORNER OF PARCEL 2 OF PARCEL MAP NO. 17995 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY; THENCE ALONG THE WESTERLY LINE OF SAID PARCEL 2, SOUTH 35' 52' 08" WEST 78.76 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WESTERLY LINE SOUTH 35' 52' 08" WEST 118.55 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF MMSCOT LANE AS DEDICATED TO THE CITY OF SAN DIEGO PER DEED RECORDED APRIL 24, 2007 AS INSTRUMENT NO. 2007-0277331 OF OFFICIAL RECORDS, SAID POINT ALSO BEING THE POINT OF CUSP OF A TANGENT 489.00 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE LEAVING SAID WESTERLY LINE, ALONG SAID EASTERLY RIGHT OF WAY LINE, NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 11' 27' 42" A DISTANCE OF 97.82 FEET TO THE BEGINNING OF A REVERSE 20.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 71' 57' 15" A DISTANCE OF 25.12 FEET TO THE TRUE POINT OF BEGINNING.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2020, on file in the Development Services Department.

The project shall include:

- a. An existing, 99-foot-tall athletic field light standard supporting six panel antennas (three measuring 56.6" x 12.9" x 8.7" and three measuring 95.9" x 24" x 8.7"), and three Remote Radio Units (RRUs). All pole-mounted components to be screened by a cylindrical antenna shroud ("radome") measuring 17' 6" in length and 48" in diameter;
- b. A 240-square-foot enclosure housing equipment cabinets and associated components;
- c. Every aspect of this project is considered an element of concealment including (but not limited to) the dimensions, build and scale, color, materials and texture. Any future modifications to this permit/project must not defeat concealment;
- d. A deviation allowing a radome 48 inches in diameter where 36 inches is otherwise permitted by the Wireless Communication Facility Design Guidelines;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable

ATTACHMENT 6

guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 5, 2023.

2. This Conditional Use Permit and Planned Development Permit (CUP and PDP) and corresponding use of this site shall **expire on March 5, 2030**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.

PLANNING/DESIGN REQUIREMENTS:

3. No cables shall be visible on the pole at any time.

4. All coaxial conduits shall be routed up through the caisson and into the light pole to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

5. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

6. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

7. The facility must be maintained in the condition in which it was approved and installed, in accordance with approved photo simulations. Faded, damaged, or otherwise deficient materials must be replaced within thirty (30) calendar days of notification by the City of San Diego.

8. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

9. The photo simulation(s) for the proposed project shall be printed on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

10. The Owner/Permittee shall not cause or allow the antennas or radome to be different sizes (length, width, or height) than as shown on the stamped approved plans.

11. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval. Minor variations in site configuration may be considered under the Substantial Conformance Review process, except that deviation from the approved photosimulations must be approved by the Planning Commission.

12. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation.

ATTACHMENT 6

13. All current and future equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
14. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.
15. Maintenance of the site and adherence to these conditions is the responsibility of both the Owner and the Permittee. Failure to adhere to any of the conditions herein will result in penalties against both parties, including (but not limited to) code enforcement action and permit revocation.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5407 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

APPROVED by the Planning Commission of the City of San Diego on February 20, 2020 by Resolution No. xxxx-PC.

ATTACHMENT 6

Permit Type/PTS Approval No.: CUP 2385279, and PDP 2385280
Date of Approval: February 20, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Travis Cleveland
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

DRAFT

ATTACHMENT 6

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Poway Unified High School District
Owner

By _____
NAME:
TITLE:

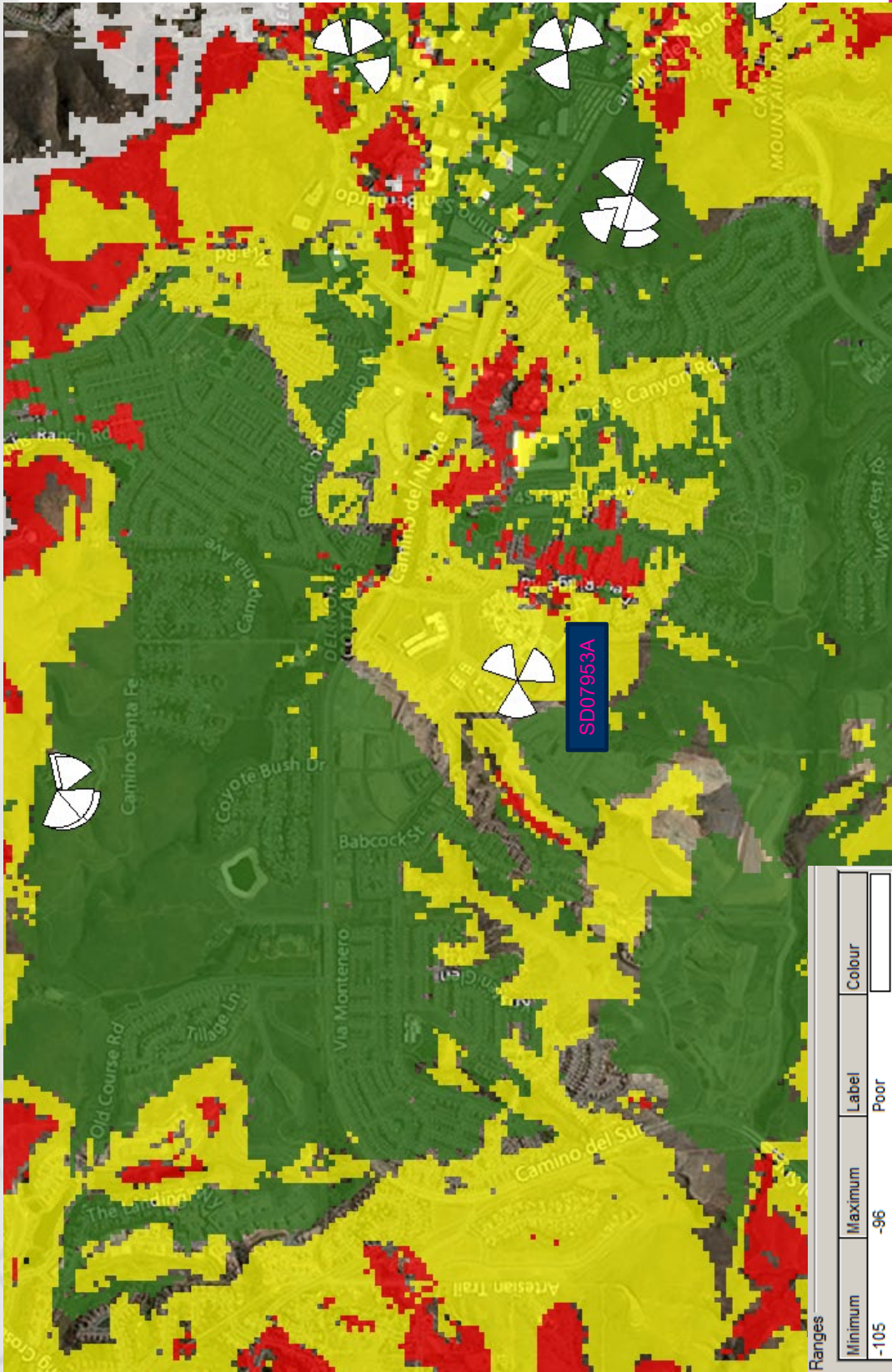
T-Mobile
Permittee

By _____
NAME:
TITLE:

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



Existing Coverage without SD07953A



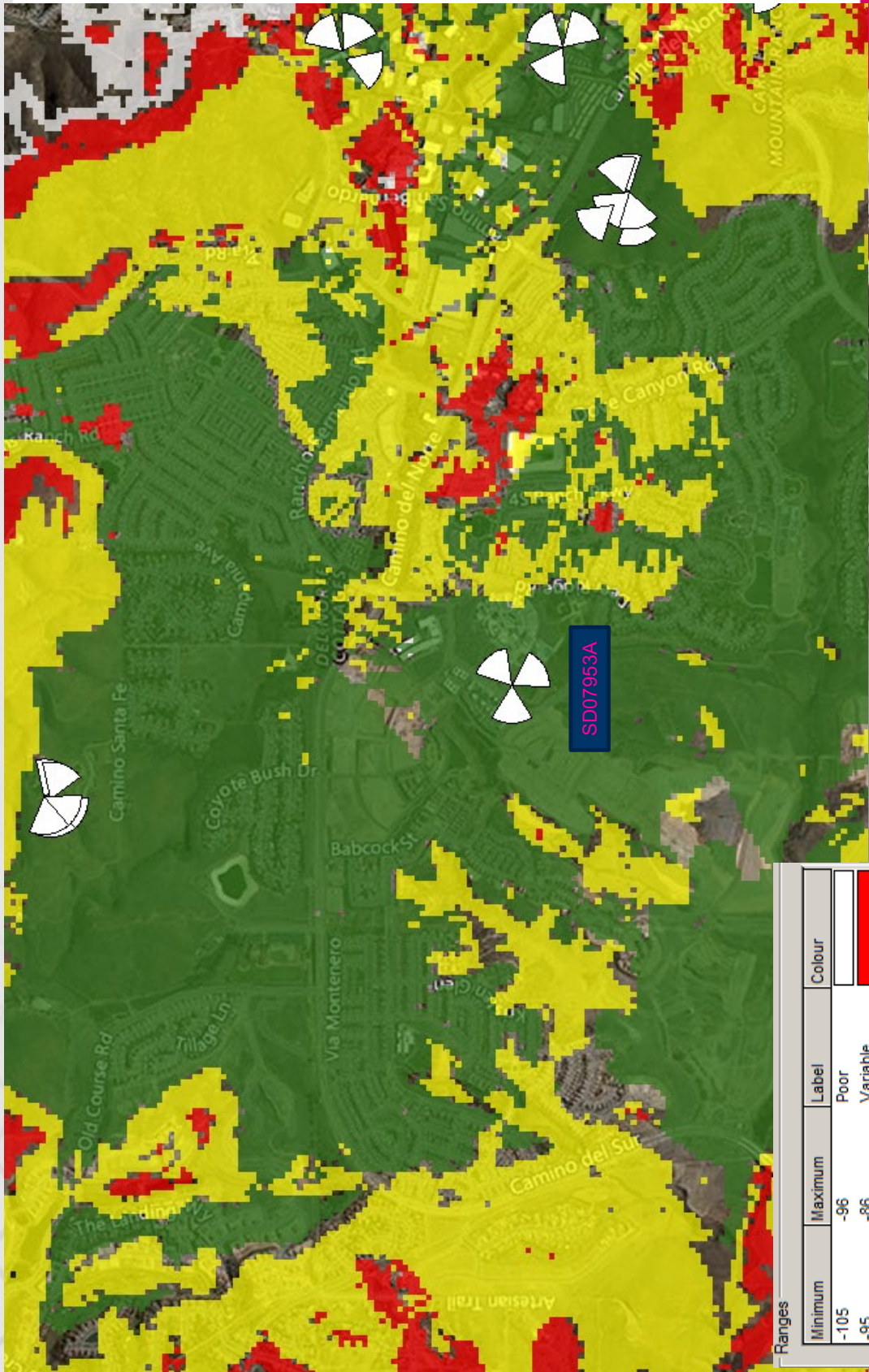
Ranges

Minimum	Maximum	Label	Colour
-105	-96	Poor	Red
-95	-86	Variable	Yellow
-85	-76	Good	Green
-75	-40	Excellent	Dark Green





Proposed Coverage with SD07953A



Ranges

Minimum	Maximum	Label	Colour
-105	-96	Poor	Red
-95	-86	Variable	Yellow
-85	-76	Good	Green
-75	-40	Excellent	Dark Green



NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 617097

Project Title: T-Mobile Del Norte High School

PROJECT LOCATION-SPECIFIC: The project is located at Del Norte High School at 16601 Nighthawk Lane, San Diego CA

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) for a new Wireless Communication Facility (WCF) consisting of six antennas and three Remote Radio Units (RRUs) behind an antenna shroud on an existing athletic field light standard, and a new equipment area. The project is located at Del Norte High School, 16601 Nighthawk Lane in the AR-1-1 zone. The project site is located within a fully developed school campus and is surrounded by residential and commercial development.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: j5 Infrastructure Partners, Chris Vuong, 17169 Botero Drive, San Diego, CA 92154. (858) 205-4150.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: Section 15303 (New Construction)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures where only minor modifications are made in the exterior of the structure. Since the project would build one unmanned WCF within a developed school campus the project qualifies to be categorically exempt from CEQA. The project site is devoid of sensitive resources and the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

[Handwritten Signature] / SENIOR PLANNER
SIGNATURE/TITLE

1/8/2020
DATE

CHECK ONE:

SIGNED BY LEAD AGENCY
CLERK OR OPR:

DATE RECEIVED FOR FILING WITH COUNTY

Photographic Survey

T-Mobile SD07953 Del Norte HS

16601 Nighthawk Ln, San Diego, CA 92127

Applicant: T-Mobile

Authorized representative (primary contact): Chris Vuong, 858-205-4150, cvuong@J5ip.com

Photographic survey of T-Mobile's proposed WCF on a light standard at Del Norte HS Stadium.



Photo No.	View	Looking at Sector?
1	Looking south at site	Sector A
2	Looking north from site	N/A
3	Looking west at site	Sector B
4	Looking east from site	N/A
5	Looking north at site	Sector C
6	Looking south from site	N/A
7	Looking east at site	N/A
8	Looking west from site	N/A

Photographic Survey

1. Looking south at site



2. Looking north from site



Photographic Survey

3. Looking west at site



4. Looking east from site



Photographic Survey

5. Looking north at site



6. Looking south from site



Photographic Survey

7. Looking east at site



8. Looking west from site





RANCHO PENASQUITOS PLANNING BOARD-MEETING MINUTES

WEDNESDAY, SEPTEMBER 4, 2019 AT 7:30 P.M.

All Times listed are approximate.

Attendance					
District	Board Member	Present	District	Board Member	Present
District 1	Geoffrey Patrick	X	District 2	Stephen Egbert	X
District 3	Thom Clark	X	District 4	Mike Shoecraft	X
District 5	VACANT		District 6	VACANT	
District 7	Randy Steffler	X	District 8	Cyndy Macshane	
District 9	Corey Buckner	X	District 10	Darshana Patel (VC)	X
District 11	Jon Becker (C)	X	BMR1	Brian Reschke	
BMR2	VACANT		Commercial 1	Pamela Blackwill	X
Commercial 2	Alex Plishner	X	Rec Council	Steve Leffler	X
Renter-at-Large	VACANT		Torrey Highlands 1	Sabrina Leitner	X
Torrey Highlands 2	Brooke Whalen	X	RP Town Council	VACANT	

X: present, seated

P: present, not seated

Community Members (Voluntary Sign-in)	
Todd Derbique	
Dale Politte	
Mike Denen	
Nancy Denen	
Dennis Spurr	
Bernie & Lorraine Marstall	
Mary Denaci	
Shari Collins	
Emanuel Higgins	
Corey Buckner	
Jeanine Politte	
David Robidouex	
Jocelyn Lomahan	

Time	Item	Notes
7:46	Call to Order	
7:47	Agenda Modifications	
	None	
7:47	Approval of Minutes	
	<i>Motion to approve July 2019 Minutes, as amended</i>	
		MSC: Pam Blackwill / Alex Plishner: 9/0/3-(Clark, Whalen, Patel) PASS
		<i>Motion Passes</i>
7:50	Public Safety Agencies Report	Fire Station 40, San Diego Police Northeastern Substation
		<i>Not Present; No Report</i>
7:50	Public Forum	Non-Agenda Items
	Speaker: David Robidouex	Concerned w/ the lack of landscape maintenance @ Canyonside in BMR. Grass is not dead bushes, weeds, etc. Soccer held there on Sat. Park could be a gem. Spoke w/ said project should be starting soon. Happy as a concerned citizen to help if needed.
	Speaker: Sabrina Leightner	To add to the above: there is a thread on "Next Door" re: Views West; also comments about no maintenance. Torrey Meadows is filled w/ weeds and trash. It is very disheartening.
	Speaker: Randy Steffler	Noticed in the past month or so, the maintenance at Hilltop Park-being mowed, but not edged. Grass is creeping into the housing tract. However, lights have been replaced.
7:56	Public Officials	
	San Diego Planning Department	Katie Witherspoon; KatieW@sandiego.gov
		<i>Not present, no report</i>
	San Diego City Council, 5 th District, Mark Kersey	Brittany Siordia: bsiordia@sandiego.gov reporting
		Thanks for the park updates; can contact City staff. Torrey Meadows and Views West are already on our radar. An arborist has been requested. Please contact me if there are questions.
		Fun tip: road concerns, go to City of SD web/projects/finder. Great tool for road reports.

	<p>Upcoming events: if w/in the City jurisdiction, there will be info. Darshana Patel: is park maint. Info included? (NO) would be helpful. Jon Becker: Is it a City arborist? (Yes...I believe that it is an arborist w/in Park and Rec. of the City. Geoffrey Patrick: Web Address? (Google "project finder, City of SD) Geoffrey Patrick: Thanks for following up on ADA ramps that were pending. Was not thrilled with the answer, but appreciate Brittany following up.</p>
<p>San Diego City Council, 6th District, Chris Cate</p>	<p>Maddy Garrett: MGarrett@sandiego.gov -Chris Cate Reporting</p> <p>Cate: Getting feedback from the folks in District 6 for the 2021 budget. Planning Groups & Town Councils can also submit. Google form on website to submit ideas. i.e. park maint., streets. Want to know what the neighborhood priorities are. July 1st budget was approved. Had a \$74 million deficit. Did not cut library or police. Have 37 new fire positions. Did cut overtime, but hired new staff as a "relief" pool. In the budget, pushed for the ability to offer incentives for new police officer recruits. We are 220 officers short for our 2021 plan. Pushing for \$250K for a "down payment" assistance program. Many officers, 30%, forced to live far out of City. Many transfer out of SD. Officer would get up to \$50K as a match to put down on a SD home. Finalizing the plan. A non-profit would manage the program. We are also funding 430 miles of street repairs. Permits are being processed for the HVAC @ Canyonside Rec. Ctr. All the feedback helps. Jon Becker: re: the budget, our group can offer a CIP wish list for projects. Is that something you have interaction with? Cate: Yes. look at different funding mechanisms. If potential to advocate for design of a project, it will get the process going. Jon: A lot of new development coming forward, which will bring in FBA funds, but we often don't have good interaction with Facilities Financing. Cate: you can interact, contact Tom Tomlinson. Cate: Last update? Jon: 2013 Cate: often a 3 year cycle. I can check w/ Tom on PQ plan update. Jon: We want to be proactive. S. Egbert: We know we are trying to get more housing, yet County constructed 43% fewer homes. Read about container homes on property, yet still less. Also rent containment. What is your philosophy on housing and densification? Cate: tricky...we don't have a lot of land, it is mostly infill. Could use, For ex. mining quarries. In Kearny Mesa, doing a plan update. A lot of rezoning of industrial for 20K housing units. i.e. on Convo. Convert to housing. Clairemont also, could rezone some shopping centers. Grantville did it right-allowed construction of 8K units over last few years. S. Egbert: then why less housing built? Cate: Plan update process is arduous, slow, and extensive process. But the plan updates are imp. for this. Jon: same article said multi family coming forward are bit alotments. S. Lightner: Re: the parks, why the low maintenance...budgets? Cate: We have been setting the budget, large deficits. S. Lightner: cutbacks on park main.? Cate: yes...difficult...budget issues. Number of City staff was cut. Vacancies were kept open. Trying to increase service w/ staff, i.e. with medians, weeds, etc. Mayor cut \$300K from weed abatement. S. Lightner: We invested tax dollars, now they're being neglected. Will have to spend more to fix what we already paid to have installed. it's disheartening. T. Clark: Grandjury re: planning boards, and then the audit. Curious, on your side, what do you see as value of planning boards. We've talked about how to improve. Cate: Not always going to see eye to eye. I need folks on the ground that see things daily, to know what needs are. Some planning groups don't act in a transparent manner, they ruined things for the rest of us. As with the Rec Council. if acting w/in your bounds, understanding Brown Act and policy, if not, makes things difficult. Steve Leffler: Canyonside-parking lot update? Cate: was just checking on this. We were told design was starting. S. Leffler: was told due to financial reasons. Cate: will check. Alex Plishner: re: housing supply, if all we had to deal w/ was the real estate mkt, but the hardest part is</p>
<p>San Diego County, District 3 Supervisor Kristin Gaspar</p>	<p>Melanie Woods: Melanie.woods@sandiego.gov</p>
	<p><i>Not present, no report</i></p>

CA State 77th Assembly District, Member Brian Maienschein	Rikard Hauptfeld; Rikard.Hauptfeld@asm.ca.gov	
	Since July, Assemblyman Maienschein has been working on a Bill that would domestic abuse for costs associated with emotional therapy animals.	
	Bill 734 that establishes a pilot program to serve foster families. Provides coaching and requires families to provide an evaluation of the training.	
	Next year will be a census year; it will be the first year it can be submitted online.	
CA State Senate District 39, Senator Toni Atkins	Jason Weisz: representing. Jason.Weisz@sen.ca.gov	
	<i>Not present, no report</i>	
US Congressman 52nd District, Scott Peters	Jason Bercovitch representing. Jason.Bercovitch@mail.house.gov	
	<i>Not present, no report</i>	
Business		
8:33	Appointment of Corey Buckner to fill empty RPPB Seat/District 9	Jon Becker: the position has been appropriately advertised. Corey, please join us on the board. Thank you for participating.

<p>8:34</p>	<p>(Action Item) Chris Vuong w/ J5 Infrastructure Partners will present Proj No. 617097-T Mobile Del Norte High School; located at 16601 Nighthawk Lane, SD.</p>	<p>Discussion: Jon inquires as to any info/modification requests. C. Vuong: T Mobile will conceal all the antennae; will install w/ a cleaner look; the photo sym is accurate-it is a cylinder that goes over it; cables are in the light standard. Bldg is a 12x20 w/ sloped metal roof (see 3rd sym) Randy: where? C. Vuong: the dark circle is the light standard, w/ trenching to the rectangular enclosure for equip. Randy: were the poles originally designed to handle lights? What about the added weight? With multiple carriers on same pole, in a high wind? C. Vuong: for each, the City requires new calculations for appv'l, so is structurally sound. Jon: Why the new facility? to increase coverage? C. Vuong: needed to increase coverage. Not 5G yet. Geoffrey: Does school receive compensation? how much? C. Vuong: yes...appx. \$2K/mos. Geoffrey: power usage? C. Vuong: not my field; not sure. A. Plishner: School is ideal location. B. Whalen: if trenching, will landscape be replaced? C. Vuong: Yes...City will require. We are required to submit a landscape plan. D. Patel: When will work be done? During a school break? C. Vuong: As much as possible, yes. Want smooth transition. S. Lightner: What is the approval process? City? PUSD? D. Patel: District approves also. J. Becker: Cane we screen w/ more trees? will provide shade also. C. Vuong: As w/ Verizon, no tall trees. It won't be unsightly. J. Becker: would be nice to add trees for a shaded walkway. C. Vuong: the picture doesn't give a</p>
		<p>MSC: Geoffrey Patrick/Alex Plishner</p>
		<p>Jon Becker: would like to amend the motion to add 2 trees. Amendment accepted.</p>
		<p>MSC: Geoffrey Patrick/Alex Plishner 12/1/0 (M. Shoecraft) Passed as amended.</p>

<p>8:53</p>	<p>(Action Item) Paul Slotemaker w/ Verizon-modify existing facility at 10985 Ave. Maria, SD 92129</p>	<p>P. Slotemaker: project is an existing wireless facility, disguised as a Pine tree. This would not normally need review, but the time limit is up, so we need a permit for a 25' tree. Have photo sims. Existing tree is faded and City is asking that all branches be replaced. The scope is small. Will be the same height. Antennae will have needle "socks." They help it blend in and are an upgrade. There were no issues from the wireless subcommittee. J. Becker: so this is largely due to time limit for CUP? P. Slotemaker: Yes. 10 years are up. So if any new work is needed, must go back through the permit process, then we're good for another 10 years. Randy: Equipment cabinet? P. Slotemaker: it is on the ground in a fenced enclosure. Only replacing one cable. Can't be seen by the neighbors. it is a small change...it is already screened. S. Egbert: Have diesel emergency backup? P. Slotemaker: Could be a battery backup...there is always a backup system, but it is not part of this upgrade project.</p>
		<p>MSC: Mke Shoecraft/Corey Buckner 13/0/0/0</p>
<p>9:07</p>	<p>(Action Item) Appointment of Secretary to RPPB</p>	<p>Motion: Discussion: Jon Becker asks for volunteers. No members present volunteer for the position. Pam Blackwill offers to be an interim Secretary for the September and October meetings pending a future volunteer. Motion is to appoint Pamela Blackwill as interim Secretary.</p>
		<p>MSC: Geoffrey Patrick/Alex Plishner 13/0/0/0</p>
<p>9:14</p>	<p>(Info Item) Los Pen Cyn Preserve CAC (open position):</p>	<p>Jon Becker: Joe S. did this before stepping down. The meetings are monthly. (Thom Clark volunteered and was accepted for the position.)</p>
	<p>Reports</p>	

<p>9:15</p>	<p>Chair Report (Jon Becker, rppb.chair@gmail.com)</p>	<p>1. Appointments to fill empty RPPB seats for: a) Secretary (x-Schmelzer), b) BMR-2 (x-Schmelzer), c) District 5, d) District 6, e) Renter-at-Large (x-Reschke) 2. Faribanks Terrace II: received SCR: a) 1.68 acre/empty lot located at Zavilasky Place/Templeton Street/Paseo del Sur, b) project has 31 age restricted affordable apartments, and 14 townhomes (including some from the Avion project). 3. CPC: a) updated to the Land Development Code: (1) Housing Elements Updates and up-coming workshops, b) Regulations of sidewalk vending--product vs. service: (1) concerns over monitoring, (2) \$30 permit fee, (3) 8 a.m. to 10 p.m. in commercial areas, (4) Food vendors need permits from the Dept. of Health, c) Dockless Mobility Data Sharing: (1) Enforce scooter & bike companies to provide data re: (a) locations (b) geo fencing (c) accidents (d) are concerns over enforcement and ability to interpret the data, d) Fire Safe Council--i) Sat, September 21, 2019, ii) 9:30 a.m.-1 p.m. PDT, iii) Rancho Penasquitos Library, 13330 Salmon River</p>
<p>9:19</p>	<p>Vice Chair Report: Darshana Patel anahsrad@gmail.com</p>	<p>I testified at City Council meeting on behalf of the Board to not support the Cisterra Project. Council felt that it was a done deal. There will be a second meeting on the 9th. Several environmental groups will be going. Also, Props A & H for appeal; needs a vote of the people. The City Attorney asked for an opinion, but Staff said no, that they recommend we approve. So the Planning Group's opinion was, because it was removed from Prop A, and no vote was needed. But it was put in Prop H. Cisterra removed 2 floors off parking garage, and 1 floor off office building.</p>
<p>9:22</p>	<p>Secretary Report</p>	<p>Joseph Schmelzer: rppb.secretary@gmail.com <i>No report</i></p>
<p>9:23</p>	<p>Land Use Committee</p>	<p>Alex Plishner: alex.plishner@calati.com 1. We heard the information item on the Junipers Project, re: fire evacuation plan. We anticipate a Land Use vote coming up next month or so. 2. Also, received a package on residential in BMR--affordable project. Chelsea is the applicant. It was sent as information only. It won't come to this group. 3. The Pacific Village grand opening will be Oct. 12, 2019. We have not heard from the apartment builders in months--but we have set up the buildable pad for them. 2 years is the timeline for our buildout...pre-sold 2 phases; released 45 homes. S. Egbert: Will all be released at the same time? A. Plishner: Yes--3 for-sale products releasing.</p>
<p>9:27</p>	<p>Wireless Communications</p>	<p>Randy Steffler: randy.steffler@gmail.com</p>

		I will present Manual's report next month... we will be recommending for approval.
	Ad Hoc Committee Reports	
9:28	Media Communications /	Brooke Whalen There have been concerns re: the posting of the agenda. They typically come on Sunday night, but we need to get the information by the Thursday to meet the 5 business day rule. D. Patel: What is the cut-off for agenda requests? A. Plishner: all the way to the end. J. Becker: Follow the by-laws--"should" put on website. Agenda goes from Chair, to Secretary, to Brooke. 72 hours.
	Liaison and Organization Reports	
	Black Mountain Open Space Park	Brooke Whalen <i>No meeting; no report</i>
	Community Funds	Thom Clark I have a note from May to call Angela A. (Facilities Financing) I will call her again.
9:33	MCAS Miramar CLF	Stephen Egbert 1. We met, and went to the Energy and Water Operations Center. Engineers there. They generate natural gas. The dump produces energy; lots of solar on base (micro grid). 2. The Air Show is Sept. 27, 28, 29.
9:36	PQ Fire Safe Council	Mike Shoecraft There will be an Emergency Prep. Seminar @ the PQ library on Sat., Sept. 21, from 9:30-1. Homeland Security will be there, Red Cross, etc. Tables will be set up outside. There is a registration form on the Town Council's website.
9:37	PQ Town Council	VACANT J. Becker: Jonathan Palinkas has resigned. He is committing to Town Council. C. Buckner: I will ask Town Council to appoint someone to us.
9:38	PQ Recreation Council	Steve Leffler We were dark last month. Oktoberfest is coming up. If a permit was obtained, there will be a beer garden. Info: Oktoberfest Friday, October 18, 2019 Hilltop Recreation Center 6:00 - 10:00pm
9:39	Los Peñasquitos Canyon Preserve	Thom Clark Missed last month; no report

9:40	Park Village LMAD	Jon Becker Are in phase II of improvements
9:41	Peñasquitos East LMAD	Geoffrey Patrick The concrete stamping of the median has been completed. I will see about the next segment. R. Steffler: was it coming up? A. Plisher: it was asphalt...we require stamped concrete. S. Egbert: with the PQ Village project, there is a lot going on @ Cuca. A. Plisher: the turnpocket is being improved as required...it turns left into the project from S on CMR. Also, there is a new street light at
9:43	Torrey Highlands LMAD	Sabrina Leitner We have been walking the area...are seeing improvement. We meet quarterly w/ City staff--will be meeting on Sept. 10. We have a punch list and meet to address issues. We need a new L-Mad contact because Erica is gone. J. Becker: The Park and Rec director retired. S. Leitner: Is Park Village refreshing their landscape? J. Becker: Yes. S. Leitner: We are looking to do that. We hired an
	Black Mountain Ranch South	Brian Reschke <i>Not present; no report</i>
Time	Item	Notes
9:48	Transportation Agencies	Corey Buckner We had speakers come regarding the stop signs at Del Sur. I am meeting them there on Friday to decide if I will bring it to the Board.
9:50	Adjournment	
Note:	Motions are recorded as follows:	"MSC" = M= Motion Made By S= Motion Seconded By C=Conclusion or Result of Vote F=For, A=Against, B=Abstain, R=Recuse
Vote Count: F/A/B/R		
Committee Meetings		
Land Use Committee See notes		
Wireless Facilities Meeting See notes		
Future Meetings Will be held at the Hotel Karlan (Doubletree Resort), same room as board 10/2/2019; 11/6/2019; 12/4/2019;		



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: T-Mobile Del Norte HS SD07953A

Project No. For City Use Only: 617097

Project Address: 16601 Nighthawk Ln, San Diego, CA 92127

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? CA Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Poway Unified School District, Chad Koster, Director of Facilities, Maintenance, & Operations Owner Tenant/Lessee Successor Agency

Street Address: 16601 Nighthawk Ln

City: San Diego State: CA Zip: 92127

Phone No.: 858-679-2526 Fax No.: _____ Email: ckoster@powayusd.com

Signature:  Digitally signed by Chad Koster
DN: c=US, o=Poway Unified School District, ou=Operations, cn=Chad Koster
Date: 2018.11.27.09:57:47 -0800 Date: 11/27/18

Additional pages Attached: Yes No

Applicant

Name of Individual: T-Mobile (Chris Vuong as agent and primary contact) Owner Tenant/Lessee Successor Agency

Street Address: 17169 Botero Drive

City: San Diego State: CA Zip: 92127

Phone No.: 858-205-4150 Fax No.: N/A Email: cvuong@j5ip.com

Signature: Chris Vuong Digitally signed by Chris Vuong
Date: 2018.11.27.09:57:47 -0800 Date: 11-27-18

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: N/A Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No



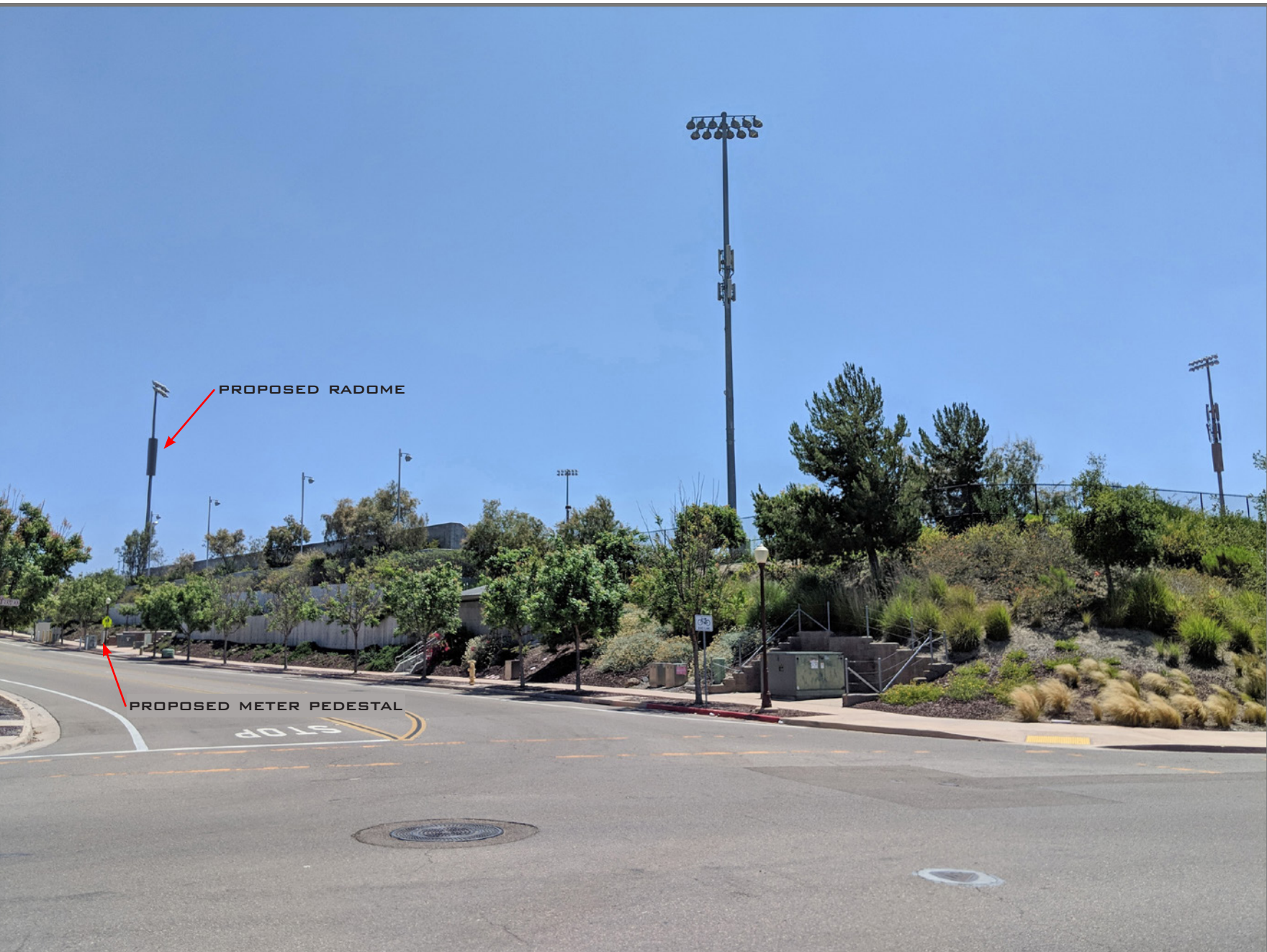
EXISTING



PROPOSED LOOKING NORTHWEST FROM BLEACHERS



EXISTING



PROPOSED

LOOKING NORTHEAST FROM CAMINO SAN BERNARDO



EXISTING



PROPOSED LOOKING NORTHWEST FROM BLEACHERS



EXISTING



PROPOSED LOOKING SOUTHWEST FROM SITE



EXISTING



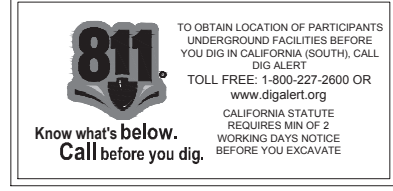
PROPOSED LOOKING SOUTHEAST FROM NIGHTHAWK LANE



EXISTING

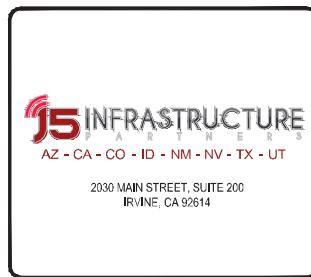


PROPOSED LOOKING NORTHEAST FROM SITE



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

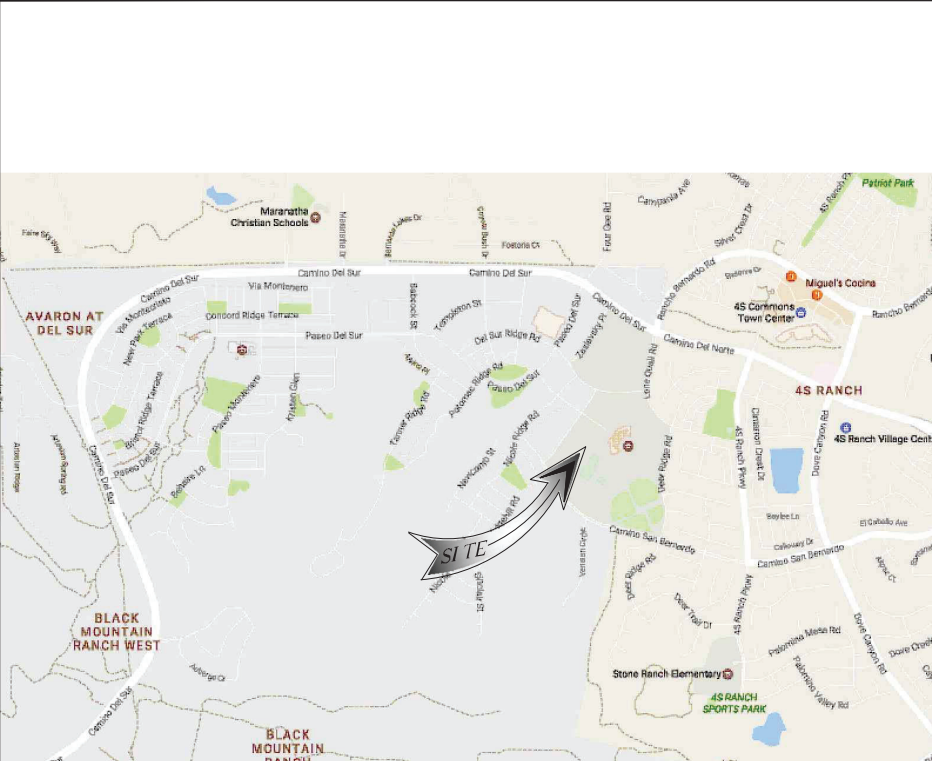
SITE NUMBER: SD07953
SITE NAME: DEL NORTE HIGH SCHOOL
SITE TYPE: STADIUM LIGHT POLE
CITY: SAN DIEGO
COUNTY: SAN DIEGO
JURISDICTION: CITY OF SAN DIEGO



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A4	(N) EQUIPMENT PLAN AND DIMENSION PLAN	3
A5	(N) ANTENNA PLANS	3
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D1	DETAILS	3
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SITE NUMBER: SD07953
SITE NAME: DEL NORTE HIGH SCHOOL
 16601 NIGHTHAWK LN.
 SAN DIEGO, CA 92127

VICINITY MAP



NSB SCOPE OF WORK: (RFDS VERSION DATE: 05/09/17)

- INSTALLATION OF A NEW T-MOBILE TELECOMMUNICATION FACILITY CONSISTING OF THE FOLLOWING:
- INSTALL (1) 12x20' RETAINING CMU WALL ENCLOSURE WITH METAL ROOF FOR SECURITY
 - INSTALL (1) RBS 6102 CABINETS WITHIN (N) EQUIPMENT AREA
 - INSTALL (1) TELCO CABINET WITHIN (N) EQUIPMENT AREA
 - INSTALL (1) PPC WITHIN (N) EQUIPMENT AREA
 - INSTALL (1) GPS ANTENNA ON (N) EQUIPMENT AREA
 - INSTALL (1) 4'Ø x 17'-6" FRP RADOME ON (E) STADIUM LIGHT POLE
 - INSTALL (1) RRUS4449 PER SECTOR TOTAL - (3) WITHIN FRP RADOME ON (E) STADIUM LIGHT POLE
 - INSTALL (1) AIR32 ANTENNA PER SECTOR TOTAL (3) WITHIN FRP RADOME ON (E) STADIUM LIGHT POLE
 - INSTALL (1) 8' ANTENNA PER SECTOR TOTAL (3) WITHIN FRP RADOME ON (E) STADIUM LIGHT POLE

SITE ADDRESS:	16601 NIGHTHAWK LANE SAN DIEGO, CA 92127	APPLICANT:	T-Mobile 10506 VISTA SORRENTO PKWY #206 SAN DIEGO, CA 92121
PROPERTY OWNER/LESSOR:	POWAY UNIFIED SCHOOL DISTRICT / PUBLIC AGENCY 13626 TWIN PEAK ROAD POWAY, CA 92064	ZONING MANAGER:	CHRIS VUONG J5 INFRASTRUCTURE PARTNERS CVUONG@J5IP.COM (858) 205-4150
CONTACT INFORMATION:	(858) 748-0010	SITE ACQ:	BRYCE NOVAK J5 INFRASTRUCTURE PARTNERS bnovak@j5ip.com (619) 672-2066
ZONING:	AR1-1-	PROJECT MANAGER:	JOEL SOLORIA J5 INFRASTRUCTURE PARTNERS jsoloria@j5ip.com (619) 977-0283
JURISDICTION:	CITY OF SAN DIEGO	ARCHITECT CONTACT:	ALLEN DI DONATO, JR. DI DONATO ASSOCIATES AL&DDA-ARCH.COM (619)-229-5210
LATITUDE:	33° 00' 51.60" N (NAD 83)	RF ENGINEER:	PEDRO ABE T-MOBILE pedro.abe@t-mobile.com
LONGITUDE:	117° 07' 27.62" W (NAD 83)	CONSTRUCTION MANAGER:	KIRT BABCOCK T-MOBILE kirt.babcock@t-mobile.com (858) 334.6139
APN:	678-230-40-00		
CURRENT USE:	TELECOMMUNICATION FACILITY		
PROPOSED USE:	NO CHANGE		
ACCESSIBILITY REQUIREMENTS:	THE FACILITY IS UNMANNED AND NOT FOR CONTINUOUS HUMAN HABITATION. DISABLED/CHALLENGED ACCESS IS NOT REQUIRED PER CBC 2016, SECTION 11B-203.4 (LIMITED ACCESS SPACE)		

REV	DATE	DESCRIPTION	
3	10/15/19	100% CD REV PER PLANNING	RD
2	02/01/19	100% CD REV DESIGN PER PLANNING	RD
1	06/28/18	REVISED 100% CD	RD
0	05/24/18	100% CONSTRUCTION	RD
B	03/14/18	90% CONSTRUCTION	RD
A	02/23/18	90% CONSTRUCTION	JMM

APPROVALS:

	PRINT NAME	SIGNATURE	DATE
LAND OWNER:			
DEVELOP. MANAGER:			
CONST. MANAGER			
PROJECT MANAGER:			
ZONING MANAGER:			
TMO RF ENGINEER:			
SAC. REP:			
CONST. MANAGER			

CODE COMPLIANCE

PER CALIFORNIA BUILDING STANDARDS CODE, "TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS" GOVERNS THE DESIGN AND CONSTRUCTION OF ALL BUILDING OCCUPANCIES AND ASSOCIATED FACILITIES AND EQUIPMENT THROUGHOUT CALIFORNIA. RELEVANT CODE SECTIONS ARE (BUT NOT LIMITED TO):

1. 2016 CALIFORNIA BUILDING CODE
2. 2016 CALIFORNIA ELECTRICAL CODE
3. 2016 CALIFORNIA ENERGY CODE
4. 2016 CALIFORNIA HISTORICAL BUILDING CODE
5. 2016 CALIFORNIA FIRE CODE
6. 2016 CALIFORNIA EXISTING BUILDING CODE
7. CITY/COUNTY ORDINANCES
8. ANSII/TIA-222-G-2005

STATEMENTS

STRUCTURAL: STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWINGS SET. FOR ANALYSIS OF EXISTING AND/OR PROPOSED COMPONENTS, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF ANTENNA MOUNT TO SUPPORT EXISTING AND/OR PROPOSED COMPONENTS. REFER TO ANTENNA MOUNT STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

PROPRIETARY INFORMATION: THE INFORMATION CONTAINED WITHIN THIS SET OF DRAWINGS IS PROPRIETARY T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.


















SHEET TITLE
TITLE SHEET

SHEET NUMBER
T1

- FOR THE PURPOSE OF THIS CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION) AND ANY LOWER TIER SUBCONTRACTORS.
 ENGINEER – J5 INFRASTRUCTURE PARTNERS
 OWNER – T-MOBILE WIRELESS
- CONTRACTOR SHALL VISIT THE CELL SITE PRIOR TO THE SUBMISSION OF BIDS TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY, CONFLICT, OR OMISSION FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION, PRIOR TO BID SUBMISSION & PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED AFTER THE COMMENCEMENT OF CONSTRUCTION WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY COSTS INCURRED TO REMEDY THE SITUATION SHALL BE AT THE EXPENSE OF THE CONTRACTOR. THE ENGINEER SHALL APPROVE ALL METHODS USED TO CORRECT THE SITUATION.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

 ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUITS AND OTHER CABLES. CONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- AT ANY TIME DURING THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE SITE. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
- AS MAY BE REQUIRED BY THE GOVERNING AGENCY OR PROPERTY OWNER, THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER, WATER, OR TOILET FACILITIES.
- THE EXISTING CELL SITE IS ASSUMED TO BE IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH THE OWNER. ALSO, WORK MAY NEED TO BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REGULATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. SINCE THE CELL SITE MAY BE ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE REQUIRED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
- THE CONTRACTOR SHALL NOT USE OR INSTALL ANY MATERIAL CONTAINING ASBESTOS OR LEAD PAINT CONTENT. THE USE OF SUCH MATERIAL IS STRICTLY PROHIBITED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON PLANS, AND TO AVOID OR PROTECT THEM FROM ANY DAMAGE. ANY COSTS INCURRED TO REPAIR UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE AT THE SOLE COST OF THE CONTRACTOR. TELEPHONE 811 FOR USA DIG ALERT.
- THE GOVERNING AGENCY MAY REQUIRE A COPY OF THE APPROVED PLANS TO BE KEPT ON SITE AT ALL TIMES. THE CONTRACTOR SHALL MAKE SUCH A SET AVAILABLE FOR INSPECTION AT ALL TIMES. ANY DEVIATIONS FROM THE APPROVED SET SHALL BE DOCUMENTED AND PROVIDED TO THE ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL BEAR THE SOLE COST TO CORRECT ANY INSTALLATION WHICH DEVIATES FROM APPROVED PLANS AND IS NOT ACCEPTED BY THE ENGINEER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS & METHODS, TECHNIQUES, SEQUENCING, AND PROCEDURES REQUIRED TO PERFORM THE WORK. ANY ANALYSIS OF THE STRUCTURE UNDER TEMPORARY CONSTRUCTION LOADING CONDITIONS IS OUTSIDE OF THE SCOPE OF THESE DRAWINGS. THE CONTRACTOR SHOULD EVENLY DISTRIBUTE ANY MATERIAL TO BE STORED ON SITE DURING CONSTRUCTION SO THAT THE LOAD DOES NOT EXCEED THE STRUCTURES DESIGNED LIVE LOAD; OR PROVIDE TEMPORARY SHORING OR BRACING IN THESE AREAS.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE.
- ALL NEW COMPONENTS ADD TO THE EXTERIOR OF THE STRUCTURE, WHICH ARE VISIBLE FROM PUBLIC VIEW, SHALL BE PAINTED TO MATCH THE EXISTING CONDITIONS.
- ALL DETAILS AND NOTES INDICATED IN THESE PLANS ARE THE MINIMUM REQUIREMENTS.
- IT MAY BE NECESSARY TO TEMPORARILY RELOCATE, REMOVE, REPLACE, OR WORK AROUND VARIOUS ARCHITECTURAL FEATURES, PIPES, FIXTURES, CABLING, OR OTHER NON-STRUCTURAL ITEMS IN ORDER TO COMPLETE THE PROPOSED WORK. CONTRACTOR SHALL RESTORE THESE ITEMS TO THEIR ORIGINAL CONDITION AT THEIR EXPENSE UNLESS OTHERWISE NOTED IN THESE PLANS.

SYMBOLS

 SOLID GROUND BUS BAR	 GROUND ROD WITH ACCESS (TEST WELL)	AGL ABOVE GRADE LEVEL (N) PROPOSED
 SOLID NEUTRAL BUS BAR	 GROUNDING WIRE, DASHED REPRESENTS UNDERGROUND	(E) EXISTING EMT ELECTRICAL METALLIC TUBING
 SUPPLEMENTAL GROUND CONDUCTOR	 TELEPHONE LINE, DASHED REPRESENTS UNDERGROUND	MIN MINIMUM GND GROUND
 2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER	 COAXIAL CABLE, DASHED REPRESENTS UNDERGROUND	N.T.S. NOT TO SCALE REF REFERENCE
 SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER	 ANTENNA COAX	T.B.D. TO BE DETERMINED TYP TYPICAL
 XIT GROUND ROD (CHEMICAL)	 OH/E OVERHEAD ELECTRICAL CABLES	EGR EQUIPMENT GROUND RING AWG AMERICAN WIRE GAUGE
 GROUND ROD		MGB MASTER GROUND BUS EG EQUIPMENT GROUND
 DISCONNECT SWITCH		BCW BARE COPPER WIRE GEN GENERATOR
 UTILITY METER		IGR INTERIOR GROUND RING (HALO)
 EXOTHERMIC CONNECTION (CADWELD) TO GROUND RING AND COMPRESSION TO GROUND HALO		
 COMPRESSION, CLAMP, OR DOUBLE HOLE LUG TYPE GROUND CONNECTION		

- LEGEND**
- ALL GROUNDING WORK SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA ELECTRICAL CODE, AS WELL AS WITH ALL LOCAL, STATE, AND NATIONAL CODES, LAWS, AND ORDINANCES APPLICABLE TO GROUNDING WORK.
 - EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION SO AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
 - ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION SHALL BE ACCORDING TO SPECIFIC SITE CONDITIONS.
 - GROUNDING CONDUCTORS SHALL BE #2 AWG SOLID BARE TINNED COPPER WIRE, UNLESS NOTED OTHERWISE.
 - APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
 - INSTALL GROUND CONDUCTORS AND GROUND ROD A MINIMUM OF 1'-0" FROM CONCRETE SLAB, FOOTING, OR FENCE.
 - ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY AN ELECTRICAL CONTRACTOR.
 - MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
 - METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
 - GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
 - CHEMICAL GROUND SHALL BE XIT, CHEM-ROC, OR APPROVED EQUAL, WHEN REQUIRED.
 - CONNECTIONS TO THE GROUND BARS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR ARE PERMITTED.
 - NOTIFY PROJECT MANAGER IF THERE ARE DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SOIL CONDITIONS.
 - ANY EQUIPMENT, BOX, SKID TO BE GROUNDED AND DOES NOT HAVE A DESIGNATED GROUND CONNECTION SHALL BE DRILLED AS NECESSARY TO CONNECT A GROUND WIRE. REMOVE PAINT IN AREA UNDER LUG. APPLY ANTI-OXIDANT COMPOUND AND CONNECT WITH TWO-HOLE, COMPRESSION LUG.

- GROUNDING NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS TO COMPLETE ALL UPGRADES AS INDICATED IN THIS DOCUMENT.
 - ALL DIMENSIONS, SECTIONS AND DETAILS OF THE EXISTING STRUCTURE ARE INCLUDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL RELEVANT INFORMATION PRIOR TO CONSTRUCTION OR FABRICATION. NOTIFY THE ENGINEER-OF-RECORD IMMEDIATELY OF ANY DISCREPANCIES. ALL NEW WORK SHALL ACCOMMODATE EXISTING CONDITIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
 - ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - COORDINATE WORK INDICATED ON THESE DRAWINGS WITH THE NEW EQUIPMENT, EXISTING EQUIPMENT, WAVEGUIDE ETC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
 - ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS AND CODES, LATEST EDITION.
 - CONTRACTOR SHALL COLD-GALVANIZE ALL RAW STEEL AS REQUIRED DURING CONSTRUCTION PROCESS.

GENERAL NOTES

GENERAL UPGRADE NOTES



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD07953

SITE NAME:
DEL NORTE HIGH SCHOOL

16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

REV	DATE	DESCRIPTION	
3	10/15/19	100% CD REV PER PLANNING	RD
2	02/01/19	100% CD REV DESIGN PER PLANNING	RD
1	06/28/18	REVISED 100% CD	RD
0	05/24/18	100% CONSTRUCTION	RD
B	03/14/18	90% CONSTRUCTION	RD
A	02/23/18	90% CONSTRUCTION	JMM

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SHEET TITLE
GENERAL NOTES

SHEET NUMBER
T2

NSB 100FT Red Battery®

Long float life at elevated temperatures



Red Star Technology® uses pure lead plates to deliver exceptionally long float life even at elevated temperatures.

- Pure lead AGM technology delivers long float life for telecom applications even at elevated temperatures
- 15 year float life at 20°C (68°F)
- EUROBAT design life definition: Long Life (12+ years)
- High energy density
- Operating temperature range: -40°C to +65°C (-40°F to 149°F)
- State-of-the-art automated manufacturing ensures consistency and reliability
- Advanced 3 stage terminal design to ensure leak-free operation - female MB brass terminals provide maximum performance
- 2 year shelf life at 25°C (77°F)
- High modulus Polyphenylene Oxide (PPO) plastic materials designed to withstand extended elevated operating temperatures and maintain high battery compression essential for reliable operation
 - Non-halogenated, thermally sealed plastic casing
 - Flame retardant (UL 94 V0) and LOI of at least 28%
- Integral handles and front access terminals ensure ease of installation and maintenance
- Approved as non-hazardous cargo for ground, sea, and air transport - DOT 49CFR173.158(d), (i) and (ii)

Visit our website to find out more www.northstarbattery.com



NSB 100FT Red Battery®

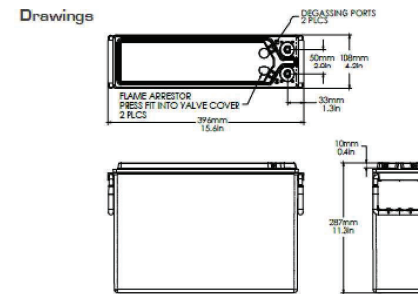
Nominal Technical Specifications



	International Standard 20°C (68°F)	North American Standard 25°C (77°F)
8 hour capacity to 1.75 VPC	98 Ah	100 Ah
10 hour capacity to 1.80 VPC	99 Ah	100 Ah
Float Voltage	2.29 +/- 0.02 Volts/Cell	2.27 +/- 0.02 Volts/Cell
Nominal Voltage	12 V	
Impedance [1kHz]	3.9 mΩ @ 25°C (77°F)	
Conductance	1,298 S	
Short Circuit Current	3,500 A	

Dimensions			
Height	287 mm (11.3 in)	Weight	33 kg (72 lbs)
Width	108 mm (4.2 in)	Terminal	Female MB x 1.25
Depth	396 mm (15.6 in)	Terminal Torque	8.0 Nm (7.1 in-lbs)

Ah Capacity Ratings @ 25°C (77°F)					
Capacity Discharge / hours	1	2	4	8	10
Capacity @ 25°C / Ah	81	88	94	100	100
End of Discharge / VPC	1.70	1.75	1.75	1.75	1.80



All NorthStar batteries are compliant with: Telcordia SR4228, IEC 60896; Balcore GR-63-Core, Issue 1; British, German, and Russian telecom standards; UL approved. NorthStar is registered to ISO 9001 and ISO 14001.

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Tel: +60 3 6419 0711

www.northstarbattery.com



NorthStar Battery Lead and Acid Weights per 12-Volt Module

Battery Type	NorthStar Battery Lead and Acid Weights per 12-Volt Module																
	NSB13 Silver	NSB40 Silver	NSB70 Silver	NSB75 Silver	NSB90 Silver	NSB125 Silver	NSB40FT Silver	NSB60FT Silver	NSB90FT Silver	NSB92FT Silver	NSB100FT Silver	NSB110FT Silver	NSB130FT Silver	NSB15FT Silver	NSB170FT Silver		
Electrolyte	Weight	/kg	0.8	2.7	4.5	4.5	6.2	8.5	2.4	3.8	5.3	5.2	6.1	6.8	8.1	9.9	10.5
	/lbs	1.8	5.9	9.9	9.9	13.8	18.6	5.3	8.3	11.6	11.4	13.4	14.9	17.8	21.8	23.2	
Acid	Volume	/litres	0.6	2.0	3.4	3.4	4.7	6.3	1.8	2.8	3.9	3.9	4.5	5.0	6.0	7.4	7.8
	/gallons	0.2	0.5	0.9	0.9	1.2	1.7	0.5	0.7	1.0	1.0	1.2	1.3	1.6	2.0	2.08	
Lead	Weight	/kg	0.4	1.2	2.0	2.0	2.8	3.8	1.1	1.7	2.4	2.8	3.0	3.6	4.4	4.8	
	/lbs	0.8	2.6	4.3	4.4	6.2	8.4	2.4	3.7	5.2	6.1	6.1	6.7	8.0	9.7	10.5	
Lead Oxide	Weight	/kg	2.3	8.9	14.9	14.6	19.7	22.0	7.2	9.8	13.6	10.6	15.6	18.4	20.5	23.2	26.6
	/lbs	6.4	19.7	32.9	32.2	43.6	48.4	16.8	21.7	30.0	23.3	34.6	40.6	46.1	61.1	68.7	
Cells	# of Cells		8	6	6	6	6	6	6	6	6	6	6	6	6	6	
	Weight	/kg	5.1	16.3	26.8	26.7	35.4	44.3	14.1	21.6	30.5	30.4	33.5	38.7	43.4	51.9	58.2
Total Weight	/lbs	11.2	36.0	69.0	69.0	78.0	98.0	31.0	48.0	67.0	66.9	74.0	86.0	96.0	114.0	128.0	

- NOTES:
1. ALL LETTERING SHALL BE CAPITAL LETTERS ON A CONTRASTING BACKGROUND.
 2. LETTERS SHALL BE A MINIMUM OF 1" IN HEIGHT.
 3. REFER TO CFC 2703.5.
 4. SIGN TO BE PLACED ON THE FACE OF THE CABINET.



HAZARDOUS MATERIALS WARNING SIGN

WARNING SIGN

TOTAL QUANTITY OF BATTERIES INSTALLED AT T-MOBILE NEW SITE BUILD:

- FLOODED LEAD ACID : 0 GALLONS
- NICKEL CADMIUM : 0 GALLONS
- LITHIUM-ION : 0 GALLONS
- LITHIUM METAL POLYMER : 0 GALLONS
- VALVE-REGULATED LEAD ACID : SEE TABLE BELOW

BATTERY INFORMATION (VRLA TYPE BATTERIES)										
INSTALL STATUS	BATTERY MODEL	TOTAL # OF BATTERY UNITS INSTALLED (EA)	VOLTAGE (V)	AMP. HOURS (AH)	KWh, Kilowatt-hours = (V*AH)/1000	TOTAL BATTERY CAPACITY, KWh	STATIONARY BATTERY STORAGE SYSTEM THRESHOLD QUANTITY, PER CFC 2016 SECTION 608.1, UPDATED JULY 1, 2018 (KWh)	STATIONARY BATTERY STORAGE SYSTEM CODE CHECK	TOTAL ELECTROLYTE VOLUME (GALLONS) PER UNIT	TOTAL ELECTROLYTE BY VOLUME (GALLONS) =
PROPOSED	NORTHSTAR NSB 100 FT	4	12	101.4	1.2168	4.8672			1.2	4.8
TOTAL		4				4.8672	70	CFC SECTION 608 DOES NOT APPLY		4.8



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AZ - CA - CO - ID - NM - NV - TX - UT

2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD07953
SITE NAME:
DEL NORTE HIGH SCHOOL

16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

REV	DATE	DESCRIPTION	
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SHEET TITLE
BATTERY SPECIFICATIONS

SHEET NUMBER
T3

STORM WATER QUALITY NOTES - CONSTRUCTION BMPs

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS...

- 10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.

Updated: 10/1/2018

City of San Diego Development Services Storm Water Requirements Applicability Checklist FORM DS-560 November 2018
Project Address: 16601 Nighthawk Lane San Diego CA 92127 Project Number:
SECTION 1. Construction Storm Water BMP Requirements:
PART A: Determine Construction Phase Storm Water Requirements.

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist
PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP.
Complete PART B and continued to Section 2
1. ASBS
2. High Priority
3. Medium Priority
4. Low Priority
SECTION 2. Permanent Storm Water BMP Requirements.
PART C: Determine if Not Subject to Permanent Storm Water Requirements.

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist
PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs.
PART E: Determine if Project is a Priority Development Project (PDP).
PART F: Determine if Project is a Priority Development Project (PDP).

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist
7. New development or redevelopment discharging directly to an Environmentally Sensitive Area.
8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.
9. New development or redevelopment projects of an automotive repair shops that create and/or replaces 5,000 square feet or more of impervious surfaces.
10. Other Pollutant Generating Project.
PART F: Select the appropriate category based on the outcomes of PART C through PART E.



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SITE NUMBER: SD07953
SITE NAME: DEL NORTE HIGH SCHOOL
16601 NIGHTHAWK LN. SAN DIEGO, CA 92127

Table with 5 columns: REV, DATE, DESCRIPTION, and two empty columns. Contains construction progress entries like '100% CD REV PER PLANNING' and '90% CONSTRUCTION'.

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SHEET TITLE
STORM WATER QUALITY NOTES

SHEET NUMBER
T4

APN: 678-230-40-00; 678-230-12-00
SITE ADDRESS: 16601 NIGHTHAWK LANE SAN DIEGO CA 92127
RECORD OWNER: THE POWAY UNIFIED SCHOOL DISTRICT, AS TO PARCELS A AND B; POWAY UNIFIED SCHOOL DISTRICT, A PUBLIC BODY, AS TO PARCEL C

TITLE REPORT
GUARANTEE TITLE REPORT WAS PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY WITH ORDER NO. 09203752-920-CMM-CMB DATED APRIL 27, 2017

LEGAL DESCRIPTION
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL A: PARCEL 2 OF PARCEL MAP NO. 17995, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA...

PARCEL B: THAT PORTION OF RANCHO SAN BERNARDO, ACCORDING TO MAP THEREOF, RECORDED IN BOOK 2, PAGE 462 OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, TOGETHER WITH A PORTION OF SECTIONS 17 AND 20, TOWNSHIP 13 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN...

PARCEL C: THAT PORTION OF PARCEL 2 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006...

PARCEL 2: THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006...

PARCEL 3: THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20146, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 17, 2006...

BASIS OF BEARING: CENTERLINE OF NIGHTHAWK LANE.
BENCH MARK: POMERADO ROAD & BERNARDO HTS PARKWAY NORTHING: 3046 EASTING: 17524 ELEVATION: 626.465 SWBP
FLOOD ZONE: SITE IS LOCATED WITHIN FLOOD ZONE X, AS PER F.I.R.M. MAP NO. 06073C1088G, DATED MAY 16, 2012
SCHEDULE B: 2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT...

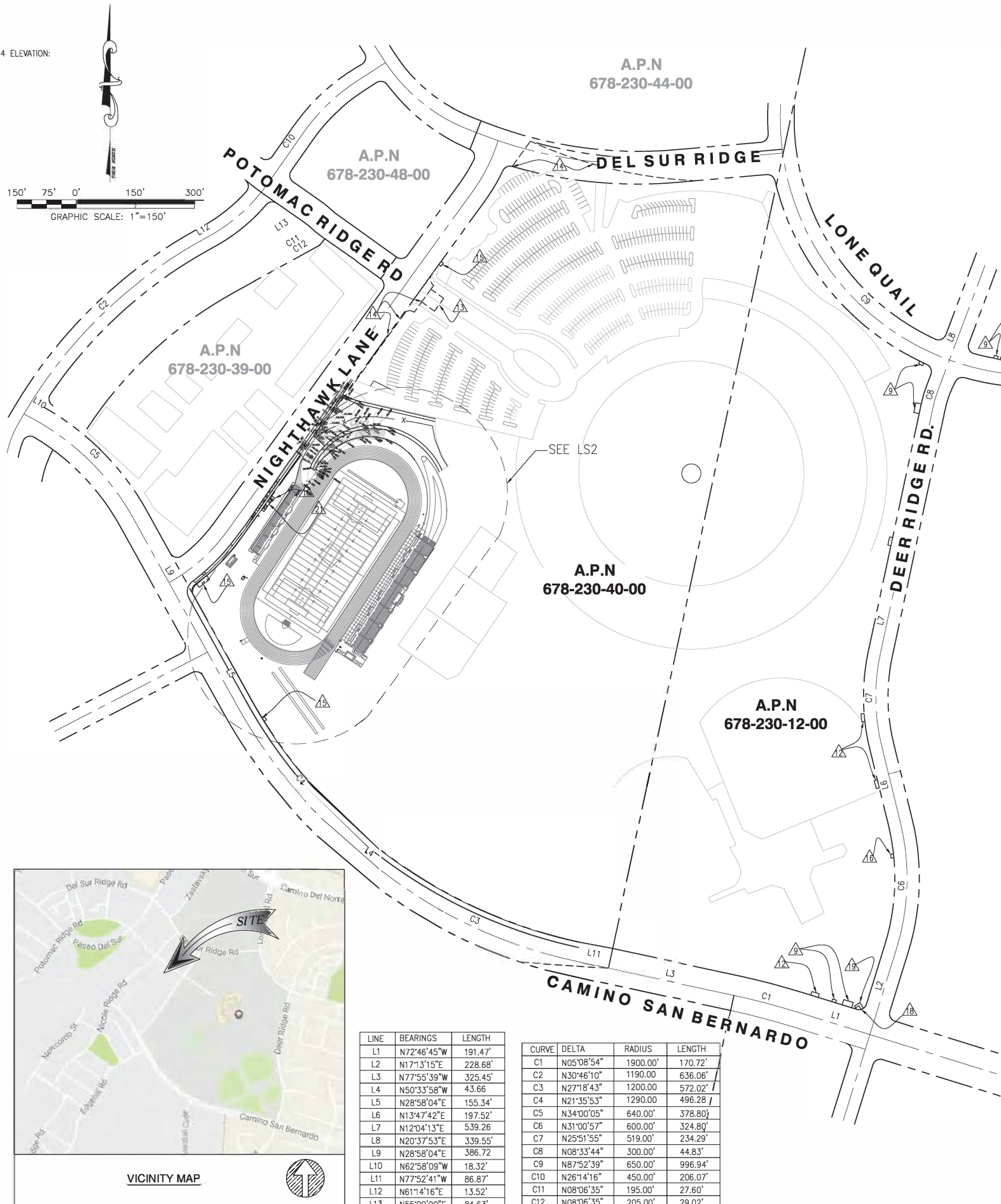


Table with columns: LINE, BEARINGS, LENGTH. Lists line segments L1 through L13 with their respective bearings and lengths.

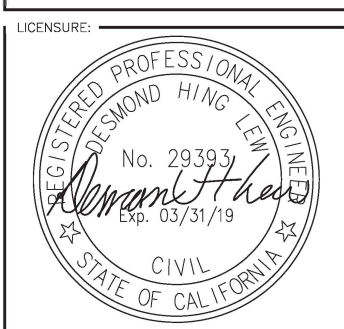
Table with columns: CURVE, DELTA, RADIUS, LENGTH. Lists curve segments C1 through C12 with their respective delta, radius, and length.



Table with columns: REV, DATE, DESCRIPTION. Shows revision history for the survey.

ISSUED DATE: JUNE 13, 2017

ISSUED FOR: FINAL SURVEY



PROJECT INFORMATION: SD07953 DEL NORTE HIGH SCHOOL 16601 NIGHTHAWK LANE SAN DIEGO, CA 92127

DRAWN BY: SF CHECKED BY: AJK SHEET TITLE: TOPOGRAPHIC SURVEY

SHEET NUMBER: LS-1

LEGEND

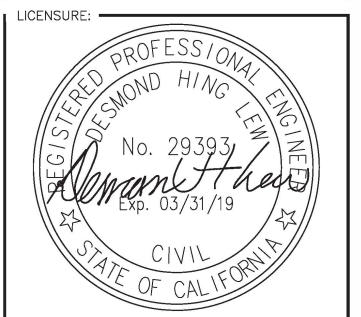
	CENTER LINE	BW	BACK WALK
	PROPERTY LINE	SS	SANITARY SEWER MANHOLE
	CHAIN-LINK FENCE	SD	STORMWATER DRAIN MANHOLE
	WOOD FENCE	GV	GAS VALVE
	WROUGHT IRON FENCE	WV	WATER VALVE
	RETAINING WALL	TM	TELECOM MANHOLE
	EDGE OF PAVEMENT		ELECTRICAL MANHOLE
	HEIGHT		FIRE HYDRANT
	TOP OF CURB		CATCH BASIN
	TOP OF WALL		PEDESTRIAN SIGNAL LIGHT
	EXISTING GRADE		EXISTING STREET LIGHT
	FINISH SURFACE		EXISTING TRAFFIC SIGNAL
	HAND HOLE		POWER POLE
	TOP OF PARAPET		EXISTING SIGN
	ROOF SURFACE		GUY WIRE ANCHOR
	PEAK		TREE
	JUNCTION BOX		EXISTING GRASS/TURF
	TRANSFORMER		LIGHT STANDARD
	WATER METER		
	CABINET		
	VAULT		
	PULL BOX		
	MANHOLE		
	TRANSFORMER		
	METER PEDESTAL		



REV	DATE	DESCRIPTION
2	09/17/2017	ADDITIONAL SURVEY POINTS
1	06/13/2017	FINAL SURVEY
0	04/28/2017	PRELIMINARY SURVEY

ISSUED DATE: **SEPTEMBER 7, 2017**

ISSUED FOR: **FINAL SURVEY**

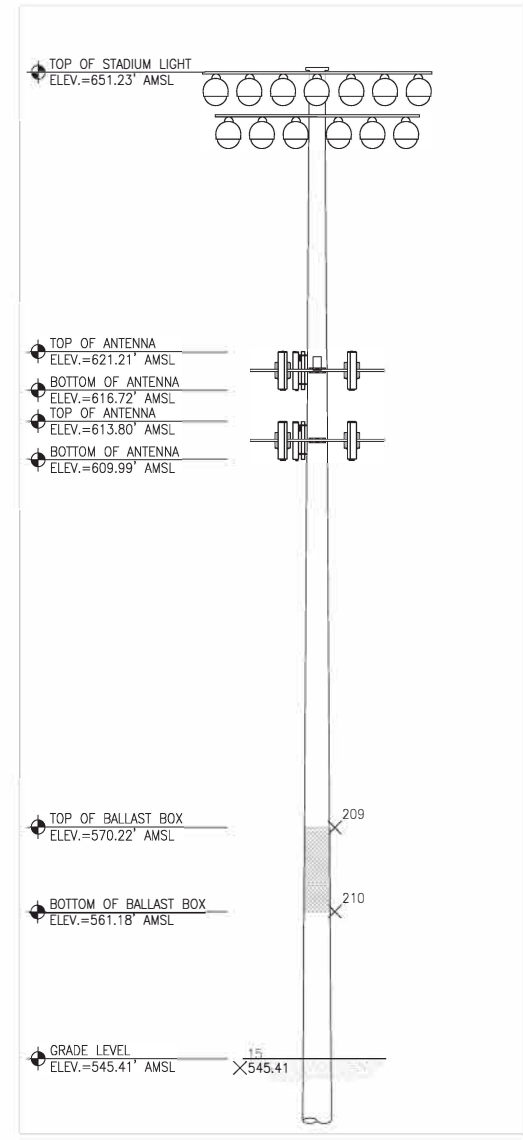
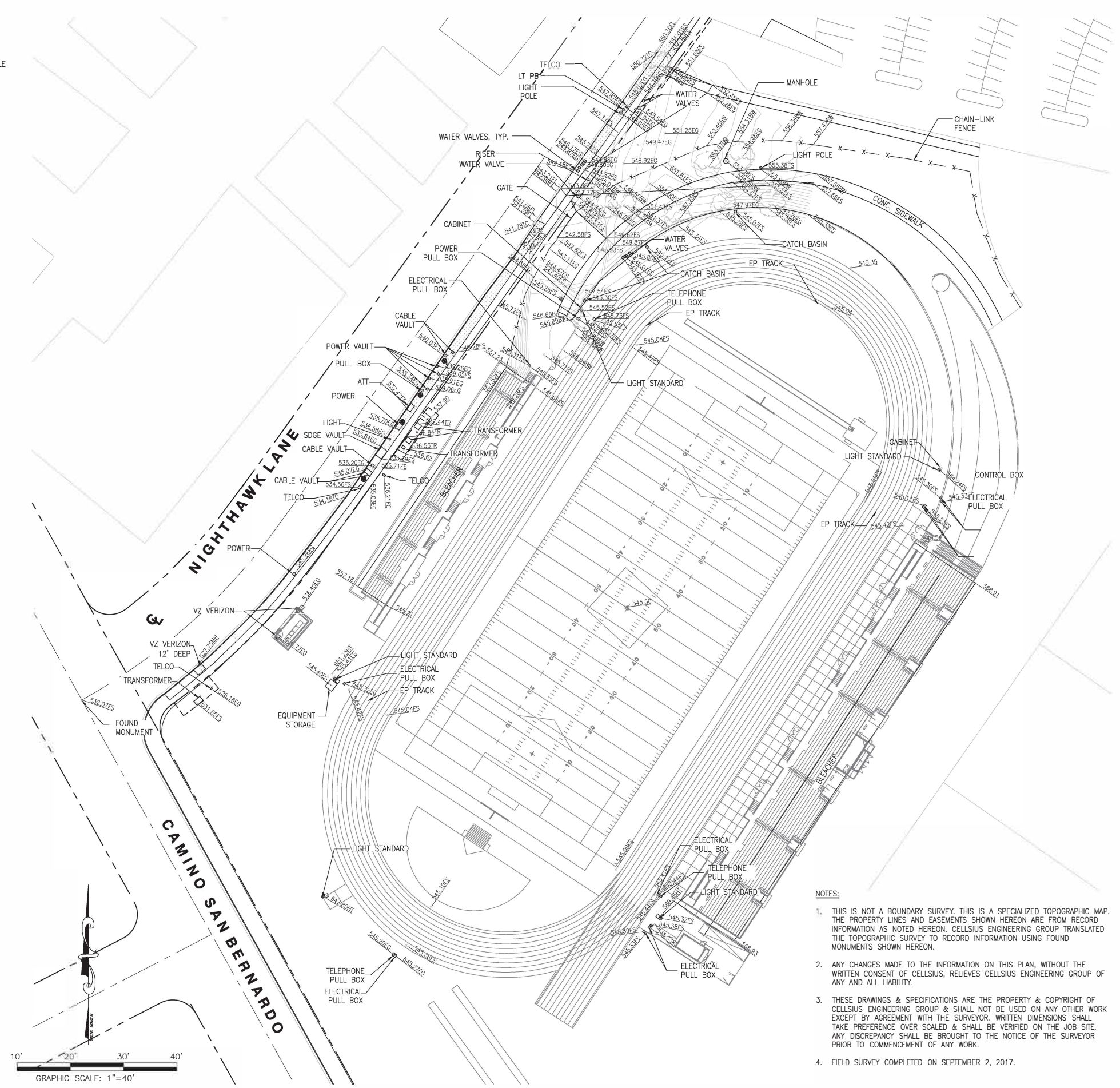


PROJECT INFORMATION:
SD07953
DEL NORTE HIGH SCHOOL
 16601 NIGHTHAWK LANE
 SAN DIEGO, CA 92127

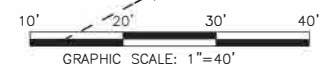
DRAWN BY: **SF**
 CHECKED BY: **AJK**

SHEET TITLE: **TOPOGRAPHIC SURVEY**

SHEET NUMBER: **LS-2**



- NOTES:**
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. CELLSIUS ENGINEERING GROUP TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
 - ANY CHANGES MADE TO THE INFORMATION ON THIS PLAN, WITHOUT THE WRITTEN CONSENT OF CELLSIUS, RELIEVES CELLSIUS ENGINEERING GROUP OF ANY AND ALL LIABILITY.
 - THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY & COPYRIGHT OF CELLSIUS ENGINEERING GROUP & SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE SURVEYOR. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED & SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE SURVEYOR PRIOR TO COMMENCEMENT OF ANY WORK.
 - FIELD SURVEY COMPLETED ON SEPTEMBER 2, 2017.





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SITE NUMBER:
SD07953

SITE NAME:
DEL NORTE HIGH SCHOOL

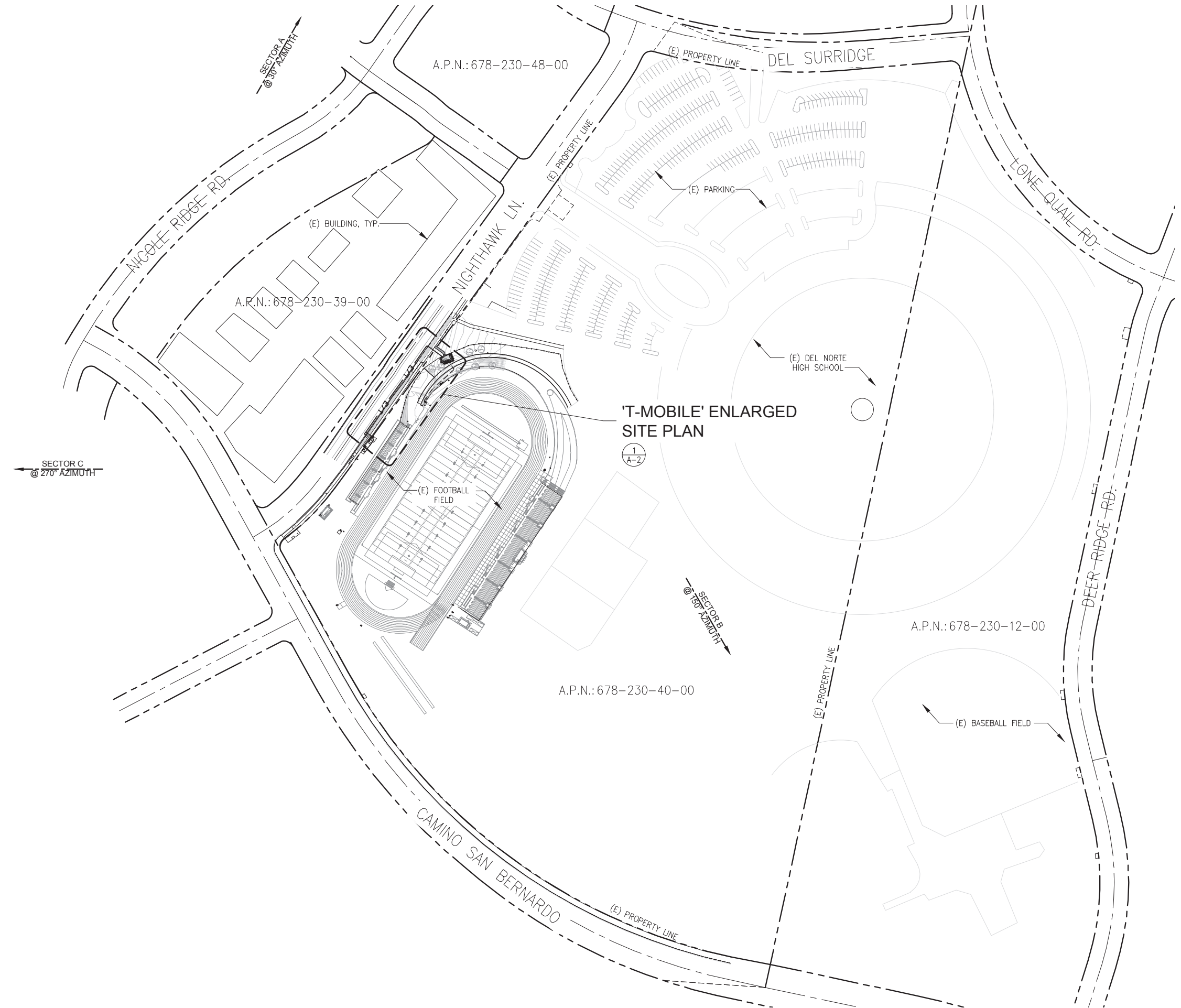
16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

REV	DATE	DESCRIPTION	
3	10/15/19	100% CD REV PER PLANNING	RD
2	02/01/19	100% CD REV DESIGN PER PLANNING	RD
1	06/28/18	REVISED 100% CD	RD
0	05/24/18	100% CONSTRUCTION	RD
B	03/14/18	90% CONSTRUCTION	RD
A	02/23/18	90% CONSTRUCTION	JMM

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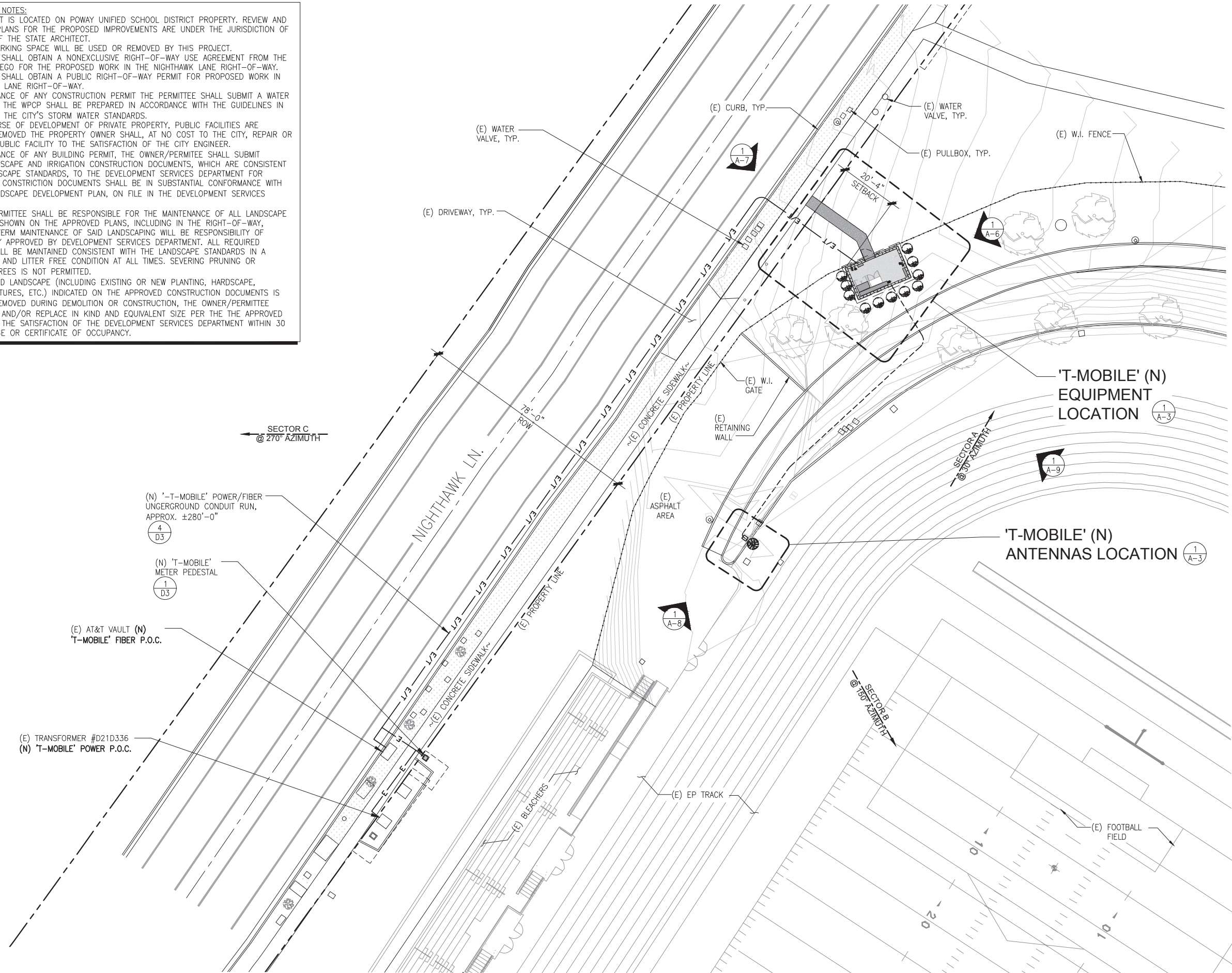
SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
A1



CITY OF SAN DIEGO NOTES:

1. THIS PROJECT IS LOCATED ON POWAY UNIFIED SCHOOL DISTRICT PROPERTY. REVIEW AND APPROVAL OF PLANS FOR THE PROPOSED IMPROVEMENTS ARE UNDER THE JURISDICTION OF THE DIVISION OF THE STATE ARCHITECT.
2. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
3. THE APPLICANT SHALL OBTAIN A NONEXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE NIGHTHAWK LANE RIGHT-OF-WAY.
4. THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR PROPOSED WORK IN THE NIGHTHAWK LANE RIGHT-OF-WAY.
5. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER CONTROL PLAN. THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
6. WHERE IN COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER SHALL, AT NO COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.
7. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS, WHICH ARE CONSISTENT WITH THE LANDSCAPE STANDARDS, TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH EXHIBIT "A" LANDSCAPE DEVELOPMENT PLAN, ON FILE IN THE DEVELOPMENT SERVICES DEPARTMENT.
8. THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, UNLESS LONG TERM MAINTENANCE OF SAID LANDSCAPING WILL BE RESPONSIBILITY OF ANOTHER ENTITY APPROVED BY DEVELOPMENT SERVICES DEPARTMENT. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED CONSISTENT WITH THE LANDSCAPE STANDARDS IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES. SEVERING PRUNING OR 'TOPPING' OF TREES IS NOT PERMITTED.
9. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTING, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/PERMITEE SHALL REPAIR AND/OR REPLACE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR CERTIFICATE OF OCCUPANCY.



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD07953

SITE NAME:
DEL NORTE HIGH SCHOOL

16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

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SHEET TITLE
SITE PLAN

SHEET NUMBER
A2



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SD07953

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DEL NORTE HIGH SCHOOL

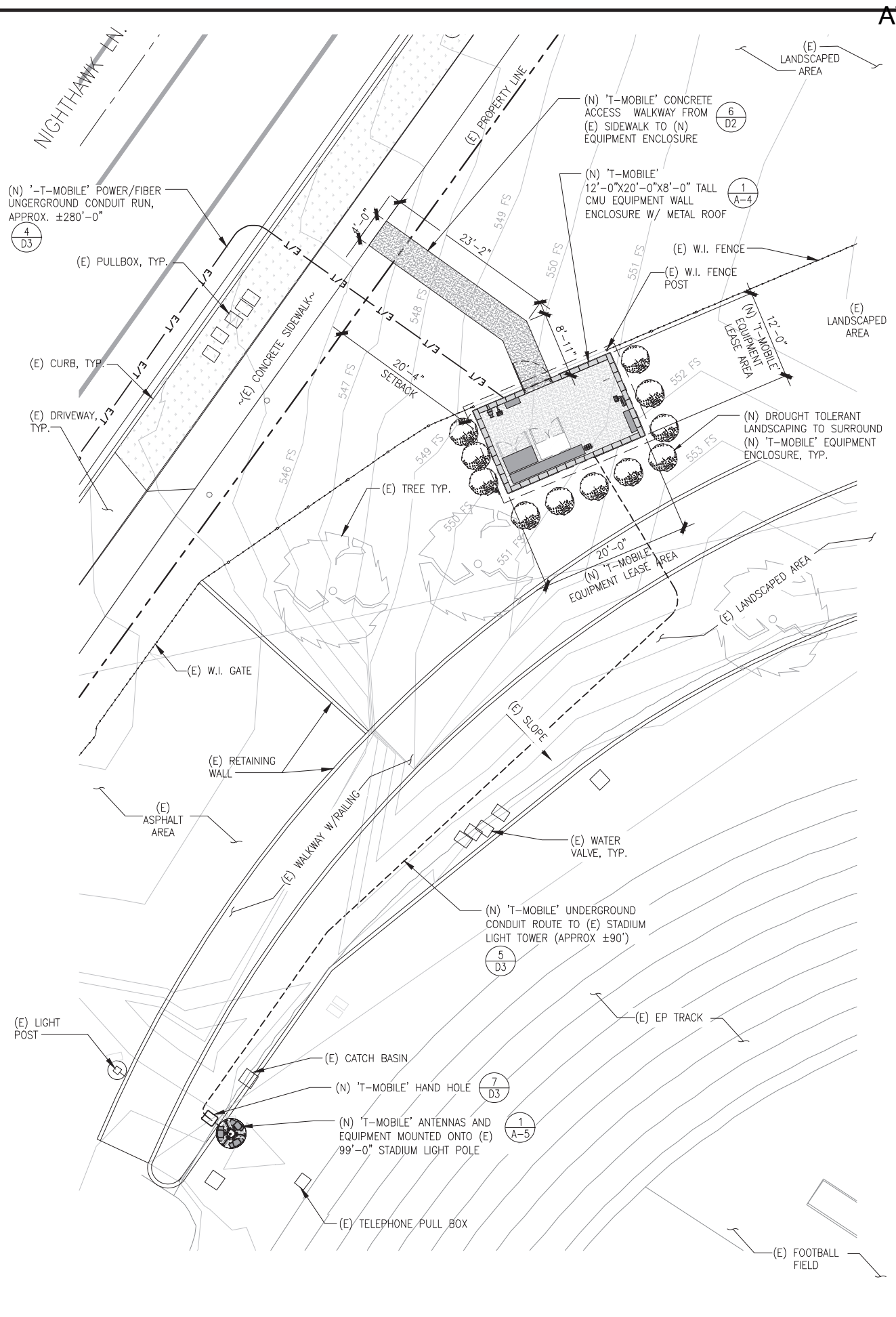
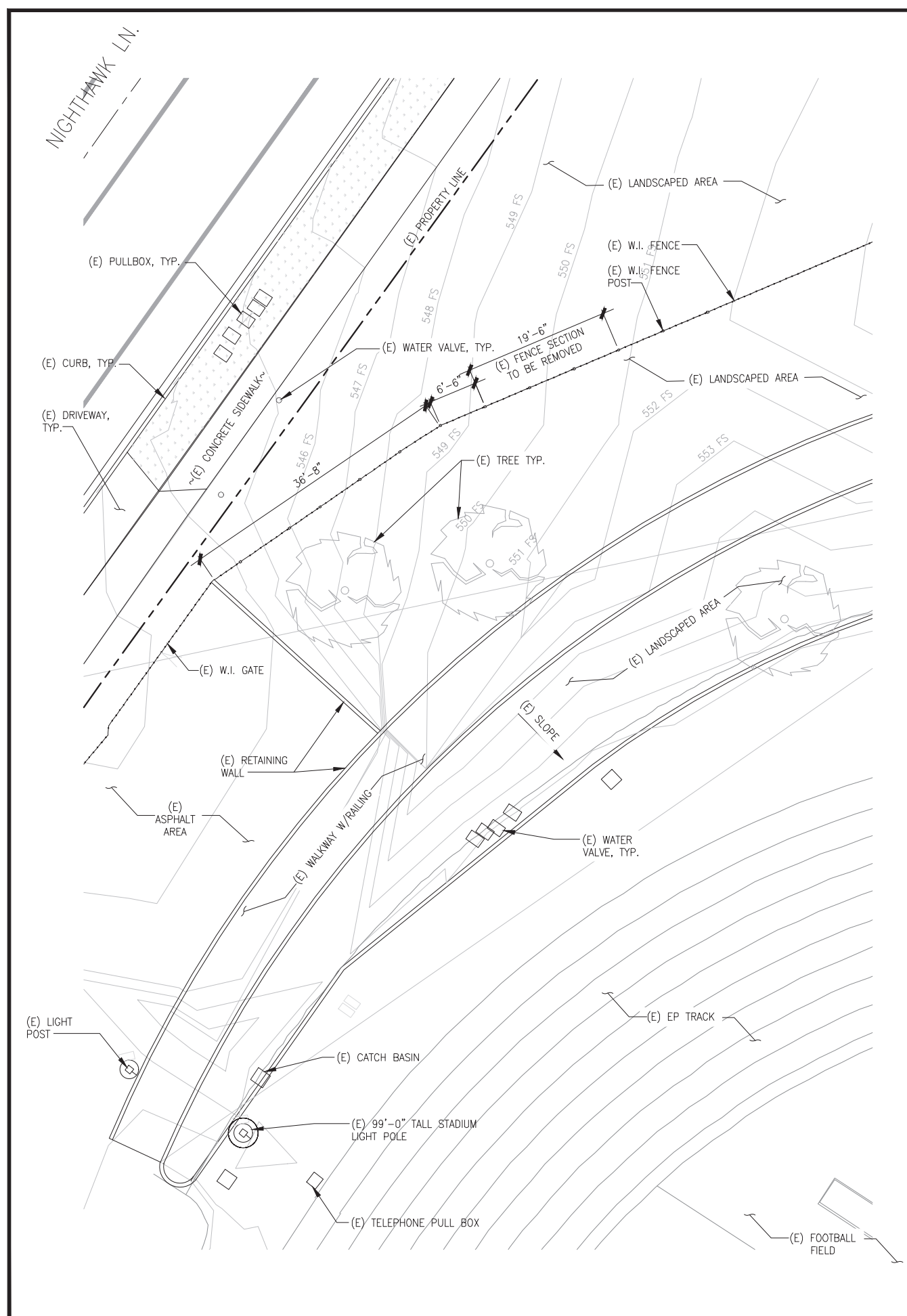
16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

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SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
A3



(E) ENLARGED SITE PLAN 24"x36" SCALE: 1/8" = 1'-0" 11"x17" SCALE: 1/16" = 1'-0" 8' 6" 4" 2" 0" NORTH 1

(N) ENLARGED SITE PLAN 24"x36" SCALE: 1/8" = 1'-0" 11"x17" SCALE: 1/16" = 1'-0" 8' 6" 4" 2" 0" NORTH 3



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO T-MOBILE ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO T-MOBILE IS STRICTLY PROHIBITED



2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD07953
SITE NAME:
DEL NORTE HIGH SCHOOL

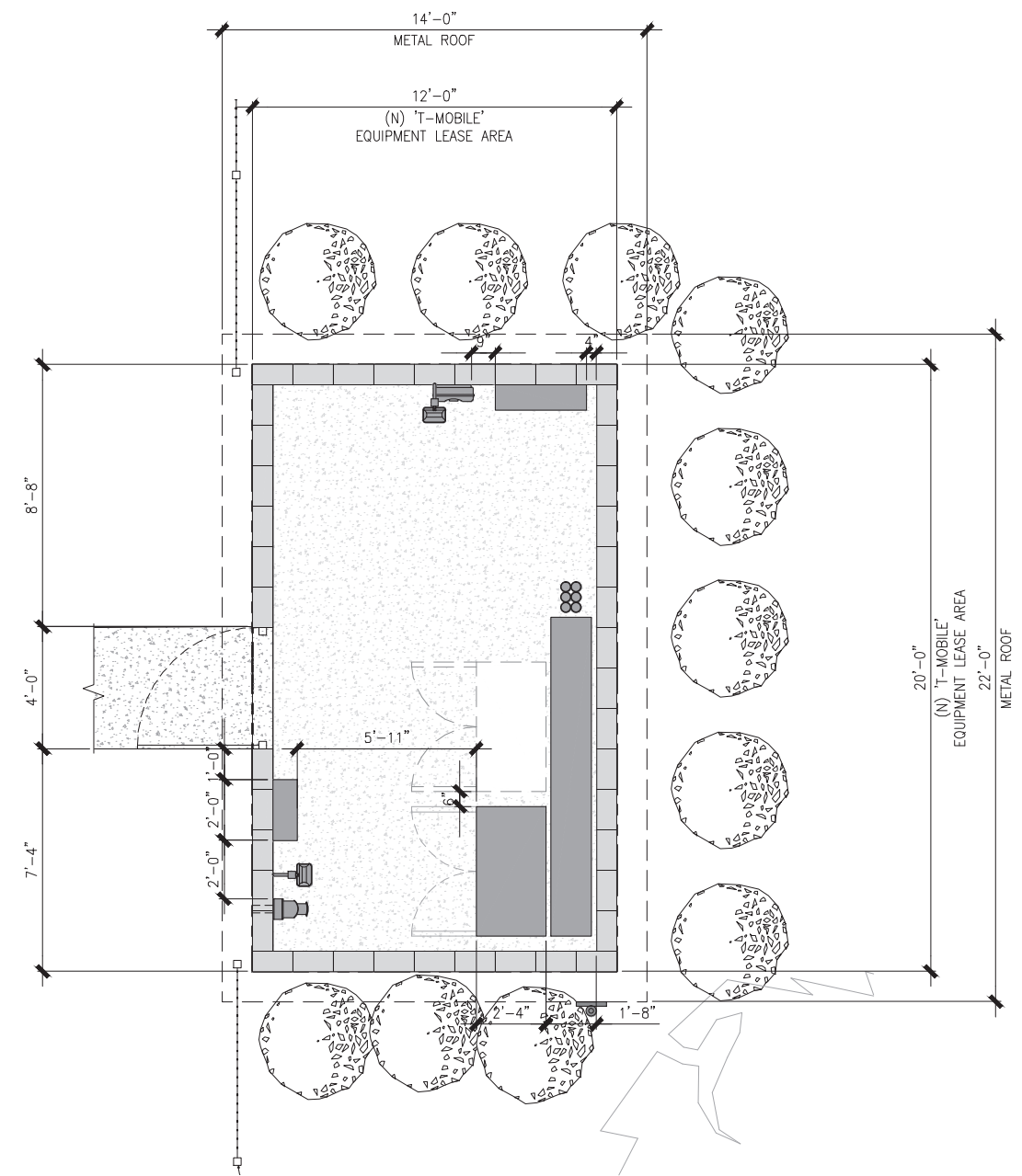
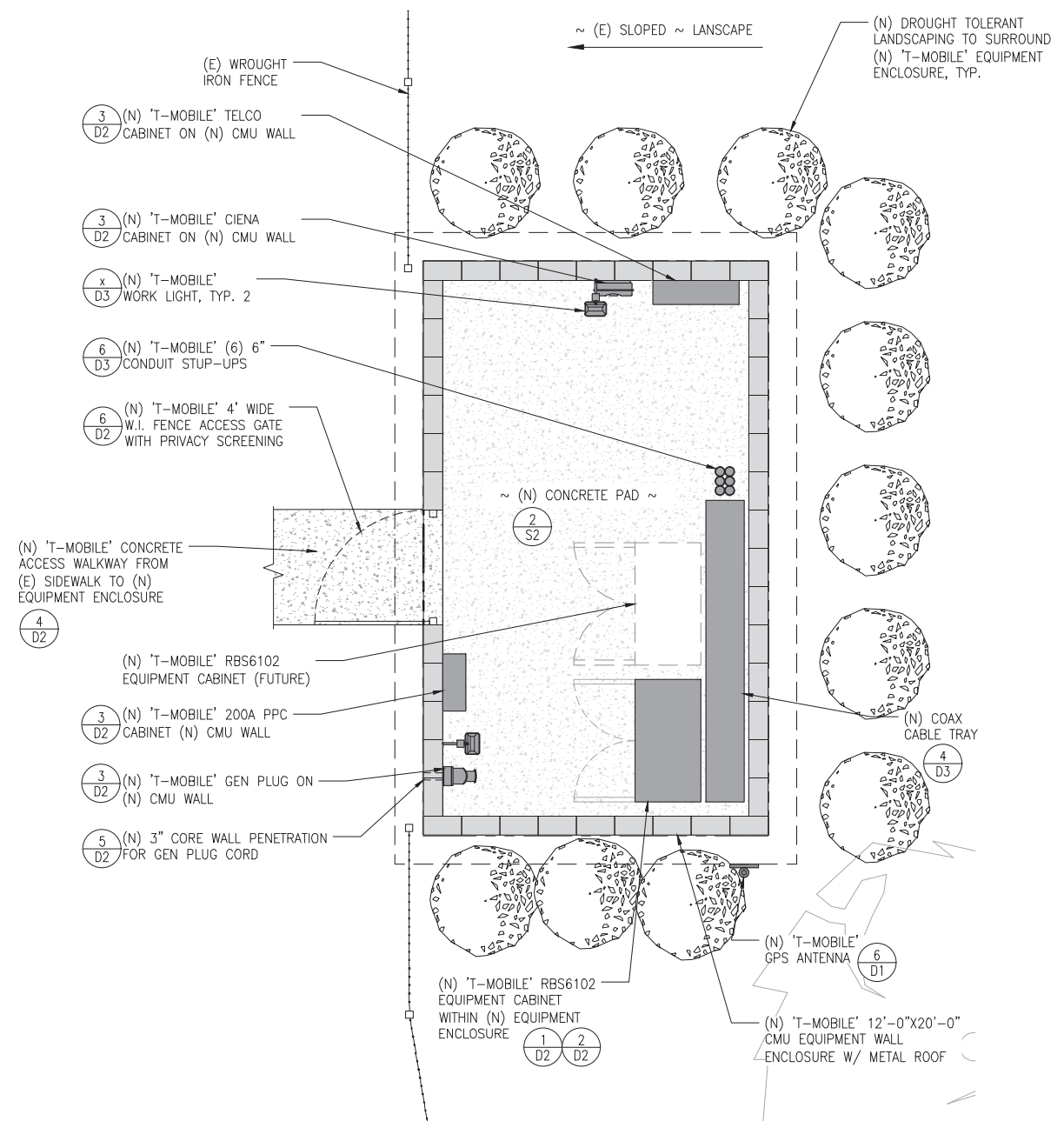
16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

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SHEET TITLE
NEW EQUIPMENT PLAN & DIMENSION PLAN

SHEET NUMBER
A4



TOTAL DISTURBANCE AREA: 345 FT
EXISTING AMOUNT OF IMPERVIOUS AREA: 0
PROPOSED AMOUNT OF 'CREATED' IMPERVIOUS AREA: 240 FT
PROPOSED AMOUNT OF 'REPLACED' IMPERVIOUS AREA: 0
TOTAL IMPERVIOUS AREA: 240 FT

EARTH WORK QUANTITIES	
CUT QUANTITIES :	13.99 cyd
FILL QUANTITIES :	2.33 cyd
IMPORT/EXPORT QUANTITIES :	11.66 cyd
MAX. CUT DEPTH :	1'-8"
MAX. FILL DEPTH :	8"

EXCAVATION CALCULATION					
Piece	Length (ft)	Width (ft)	Depth (ft)	Volume (ft ³)	Volume (yd ³)
CMU Wall Footing	54.25	3.5	1	189.875	7.03
CMU wall (below grade)	54.25	0.66666667	0.75	27.125	1.00
Top Soil outside CMU wall	45	0.66666667	0.75	22.5	0.83
Top Soil inside CMU wall	35	0.5	0.66666667	11.6666667	0.43
Excavated portion for concrete slab	17.3333333	9.33333333	0.58333333	94.37037035	3.50
Excavated portion for walkway	32.0833333	4	0.25	32.0833333	1.19
Cut Quantities =					13.99

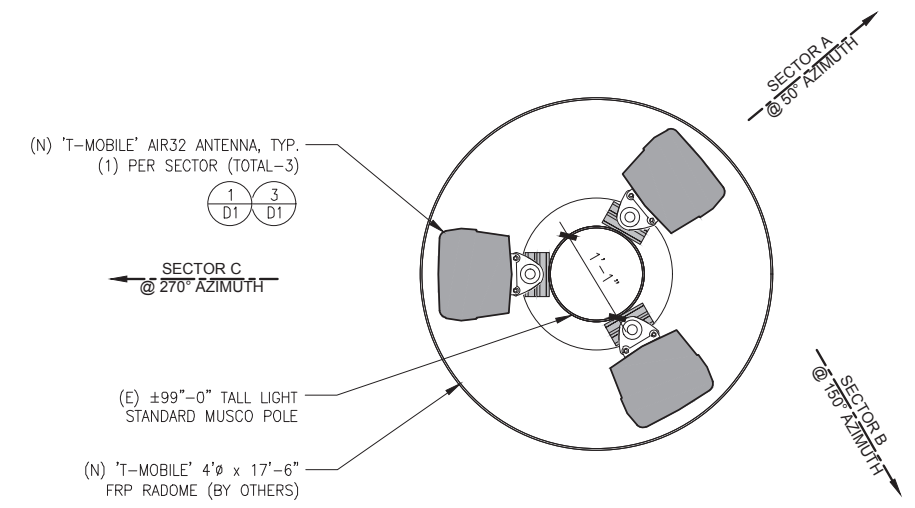
BACKFILL CALCULATION					
Piece	Length (ft)	Width (ft)	Depth (ft)	Volume (ft ³)	Volume (yd ³)
Top Soil outside CMU wall	54.25	1.66666667	0.66666667	60.27777778	2.23
Fill Quantity =					2.23

NOTE:
1. THE PROJECT PROPOSED TO EXPORT 11.66 cyd OF MATERIAL FROM THIS SITE.
2. ALL EXCAVATED MATERIAL LISTED TO BE EXPORTED, SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREEN BOOK), 2015 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.
3. THE PROPOSAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF MATERIAL, ALL SUCH ACITIVITIES REQUIRED A SEPARATE CONDITIONAL USE PERMIT.

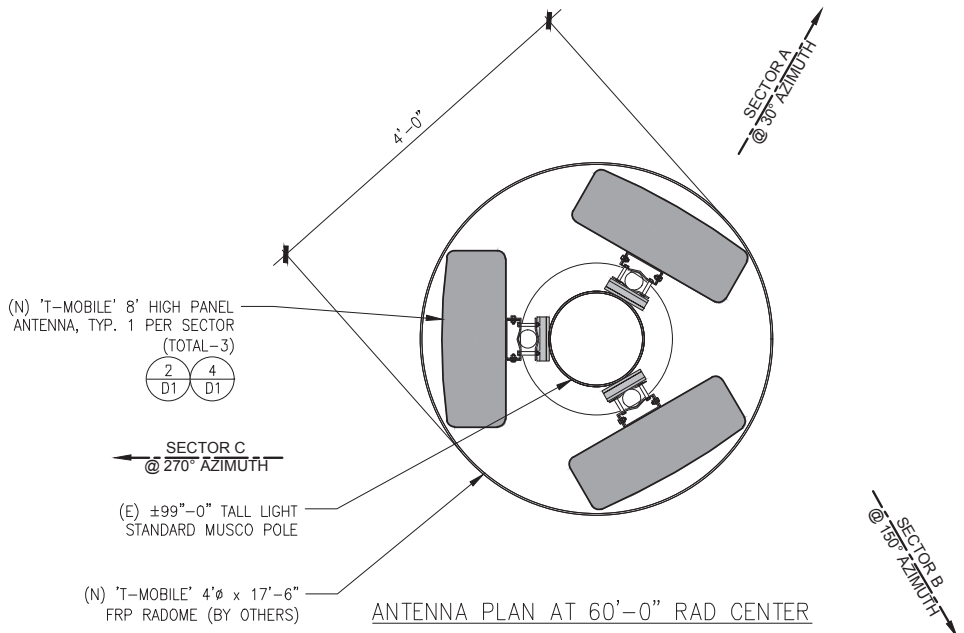
(N) ANTENNA SCHEDULE								
	POS	TECHNOLOGY	AZIMUTH	RAD CENTER	ANTENNA MAKE	ANTENNA MODEL	RRU MODEL #'S	(N) CABLE TYPE
SECTOR "A"	A1	L700	30°	61'-0"	RFS	APXVAARR24-43-U-NA20	RRUS 4449 B71+B12	(6) FIBER JUMPERS-16'
	A2	L2100, L1900	50°	69'-0"	ERICSSON	AIR 32 B66A/B2A	-	
	A3	-	-	-	-	-	-	
SECTOR "B"	B1	L700	150°	61'-0"	COMMSCOPE	APXVAARR24-43-U-NA20	RRUS 4449 B71+B12	
	B2	L2100, L1900	150°	69'-0"	ERICSSON	AIR 32 B66A/B2A	-	
	B3	-	-	-	-	-	-	
SECTOR "C"	C1	L700	270°	61'-0"	COMMSCOPE	APXVAARR24-43-U-NA20	RRUS 4449 B71+B12	(6) FIBER JUMPERS-16'
	C2	L2100, L1900	270°	69'-0"	ERICSSON	AIR 32 B66A/B2A	-	
	C3	-	-	-	-	-	-	

(2) 6x12 HCS GANG ±230' (SHARED)

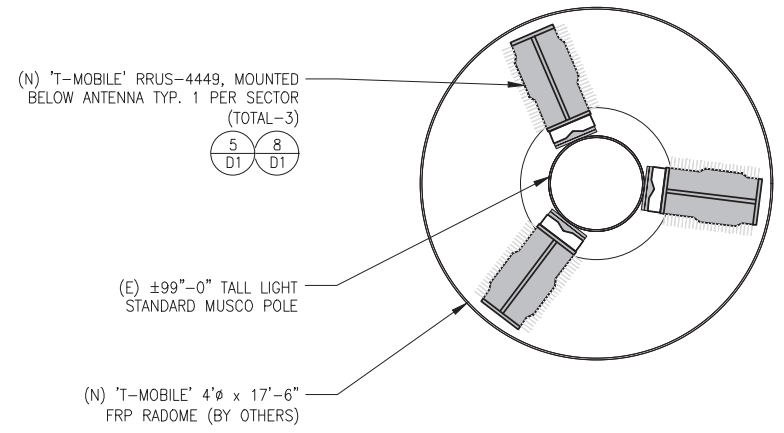
NOTES:
 1. ALL (N) 'T-MOBILE' FRP RADOME SHALL BE PAINTED TO MATCH THE (E). POLE
 2. (N) 'T-MOBILE' FRP RADOME SHALL BE PERFORMED WITH TOP AND BOTTOM FRP PERFORATED SCREENING TO ALLOW PROPER VENTILATION TO ANTENNAS AND RRUS.



ANTENNA PLAN AT 69'-0" RAD CENTER



ANTENNA PLAN AT 60'-0" RAD CENTER



RRUS PLAN AT 55'-2" RAD CENTER



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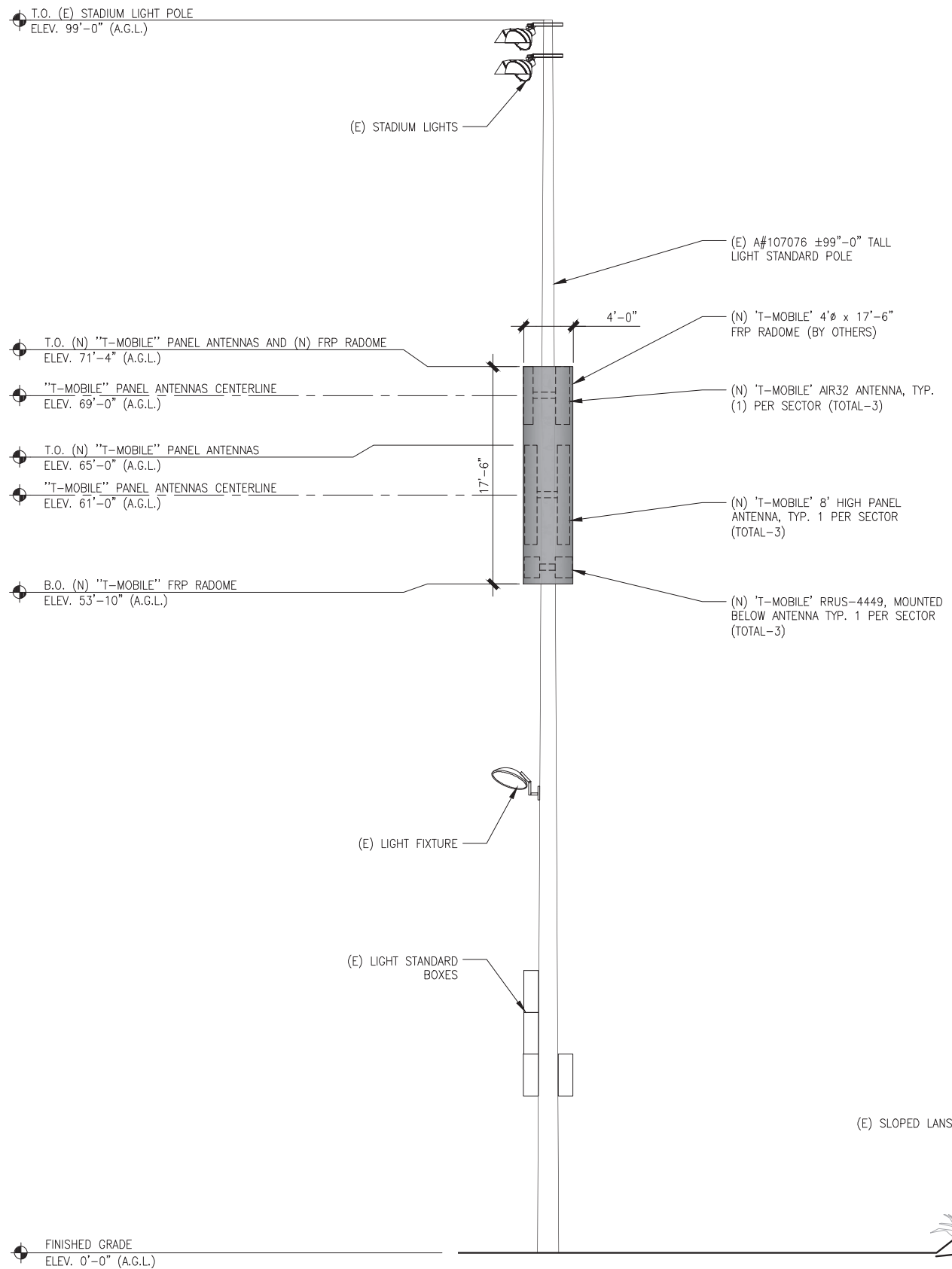
SITE NUMBER:
SD07953
SITE NAME:
DEL NORTE HIGH SCHOOL
 16601 NIGHTHAWK LN.
 SAN DIEGO, CA 92127

REV	DATE	DESCRIPTION	
3	10/15/19	100% CD REV PER PLANNING	RD
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SHEET TITLE
ANTENNA PLANS

SHEET NUMBER
A5



NOTES:
 1. ALL (N) 'T-MOBILE' FRP RADOME SHALL BE PAINTED TO MATCH THE (E). POLE
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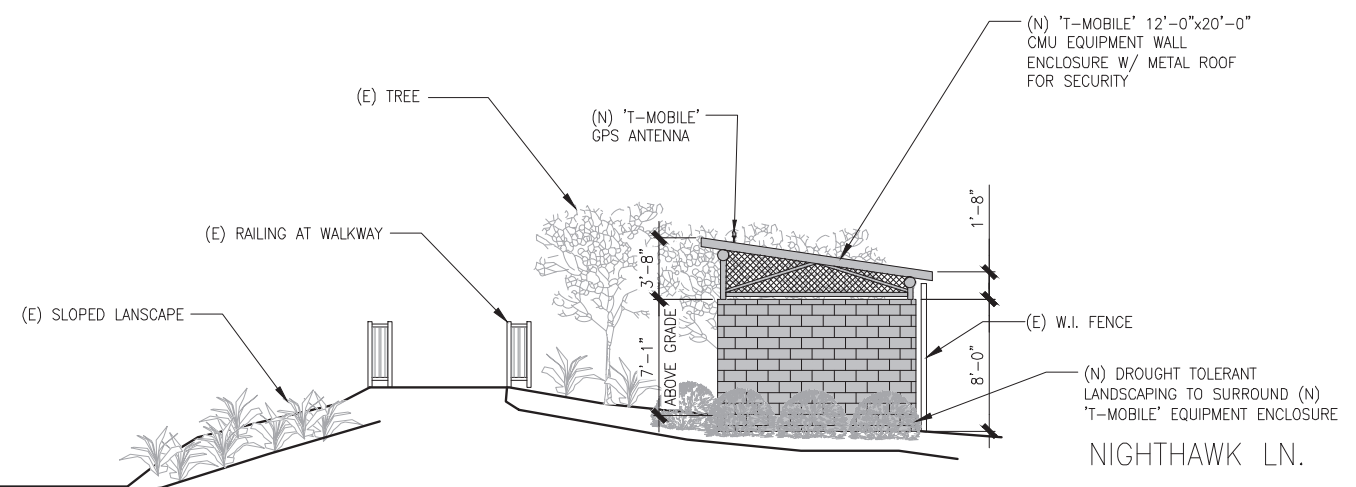


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DEL NORTE HIGH SCHOOL

16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

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SHEET TITLE
ELEVATIONS

SHEET NUMBER
A6

NOTES:
 1. ALL (N) 'T-MOBILE' FRP RADOME SHALL BE PAINTED TO MATCH THE (E). POLE
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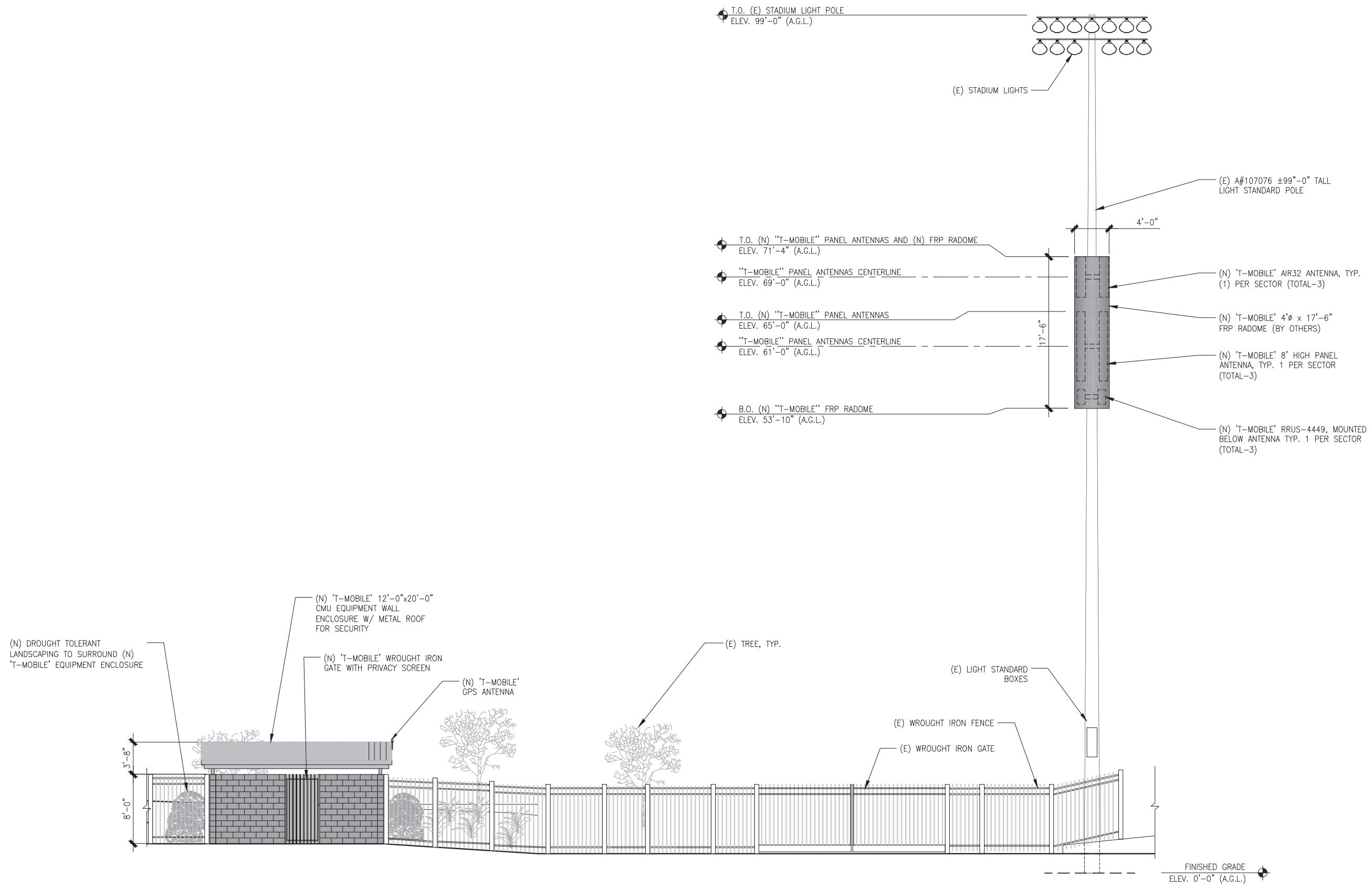
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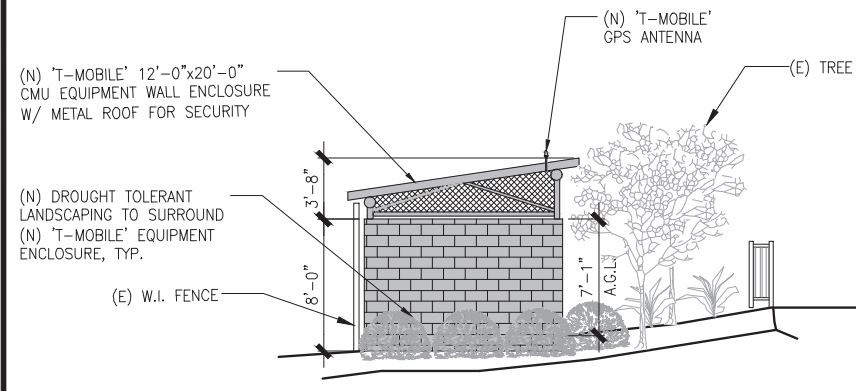
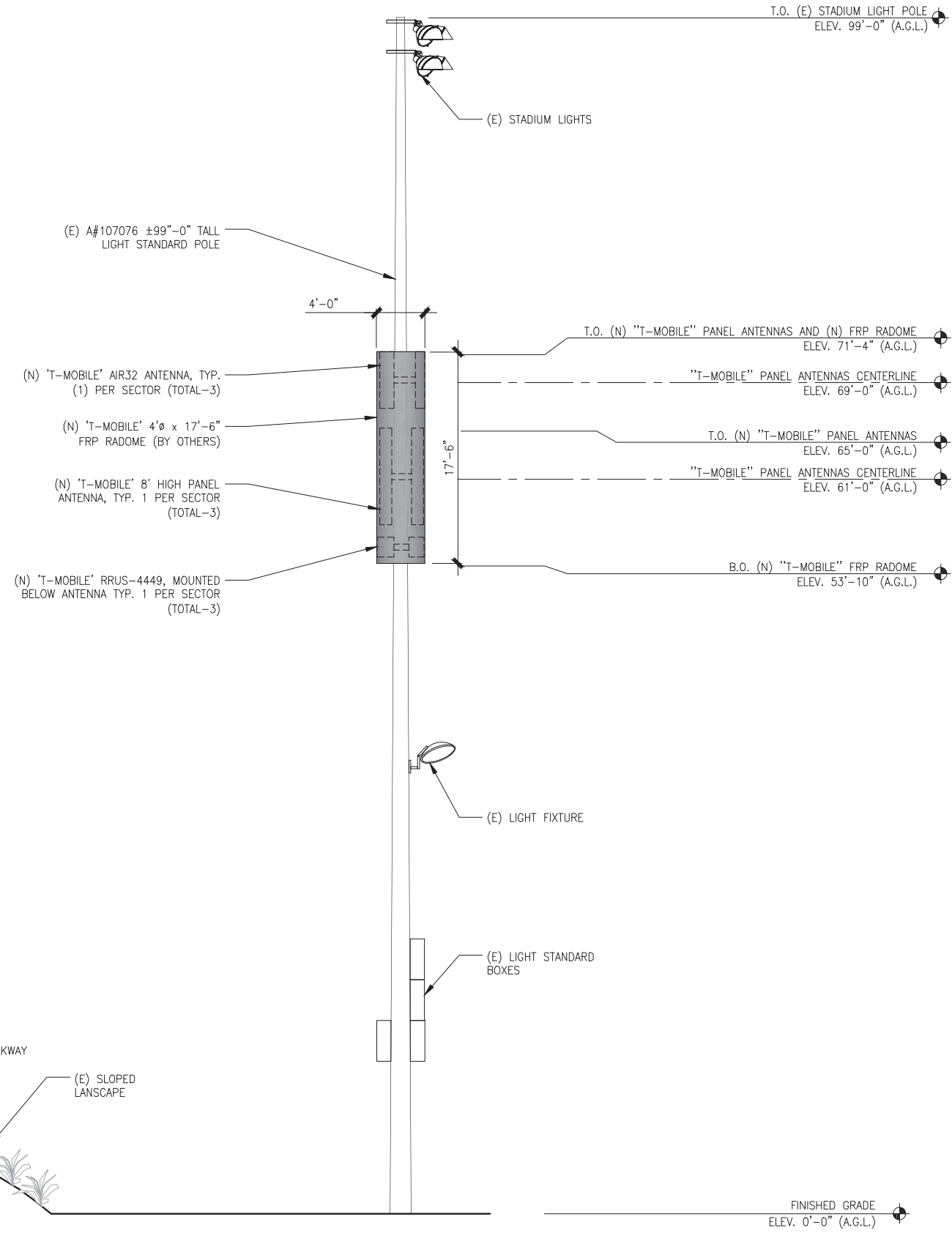
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SHEET TITLE
ELEVATIONS

SHEET NUMBER
A7



NOTES:
 1. ALL (N) 'T-MOBILE' FRP RADOME SHALL BE PAINTED TO MATCH THE (E). POLE
 2. (N) 'T-MOBILE' FRP RADOME SHALL BE PERFORATED WITH TOP AND BOTTOM FRP PERFORATED SCREENING TO ALLOW PROPER VENTILATION TO ANTENNAS AND RRUS.



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
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SITE NAME:
DEL NORTE HIGH SCHOOL
 16601 NIGHTHAWK LN.
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SHEET TITLE
ELEVATIONS

SHEET NUMBER
A8

SW ELEVATION

24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"
 4" 2" 0" 1

NOTES:
 1. ALL (N) 'T-MOBILE' FRP RADOME SHALL BE PAINTED TO MATCH THE (E). POLE
 2. (N) 'T-MOBILE' FRP RADOME SHALL BE PERFORATED WITH TOP AND BOTTOM FRP PERFORATED SCREENING TO ALLOW PROPER VENTILATION TO ANTENNAS AND RRUS.



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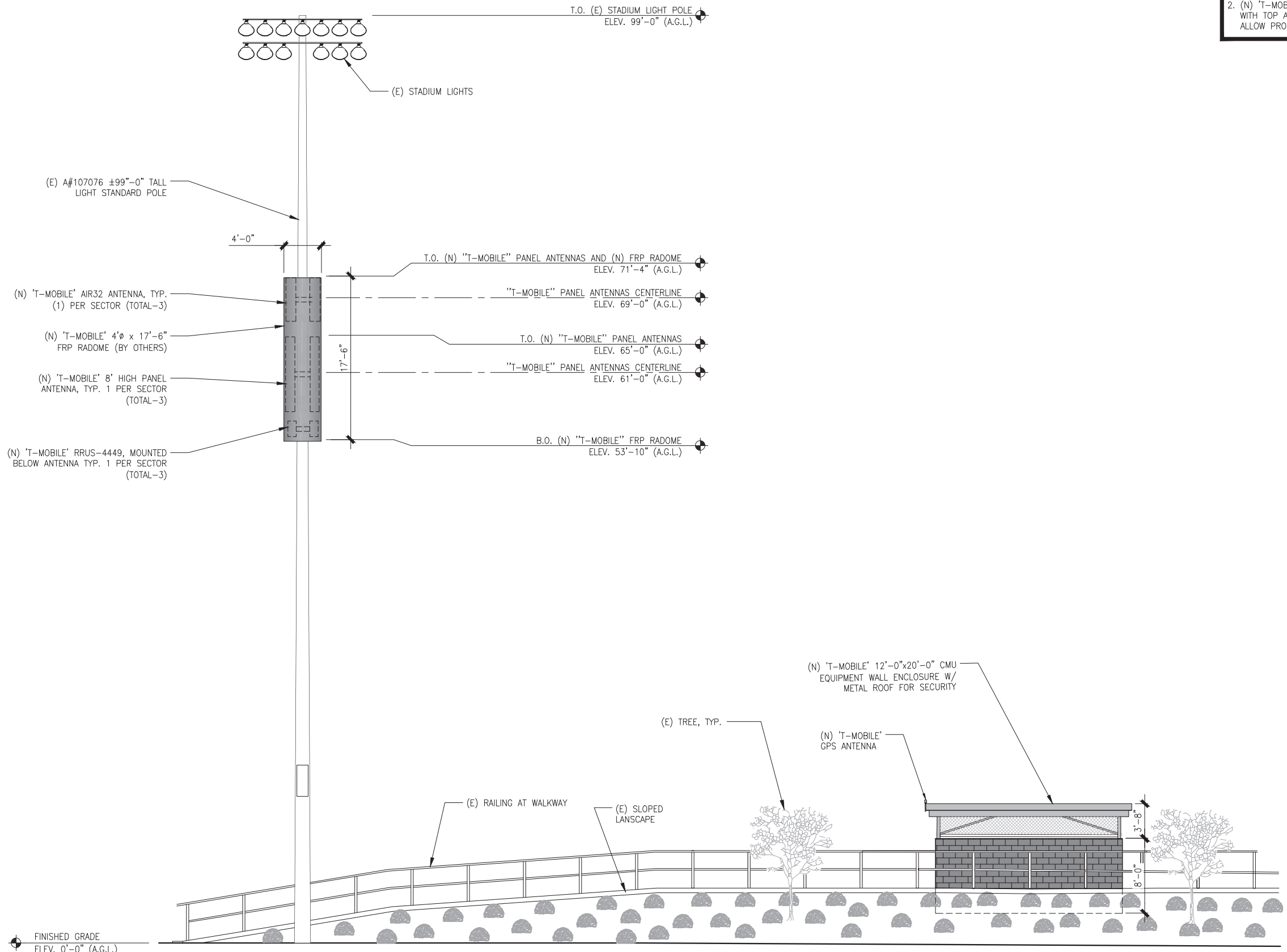
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B	03/14/18	90% CONSTRUCTION	RD
A	02/23/18	90% CONSTRUCTION	JMM

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

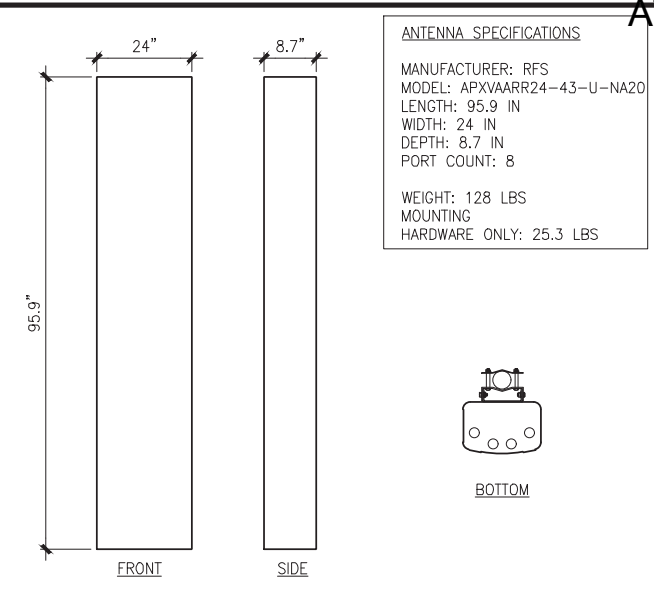
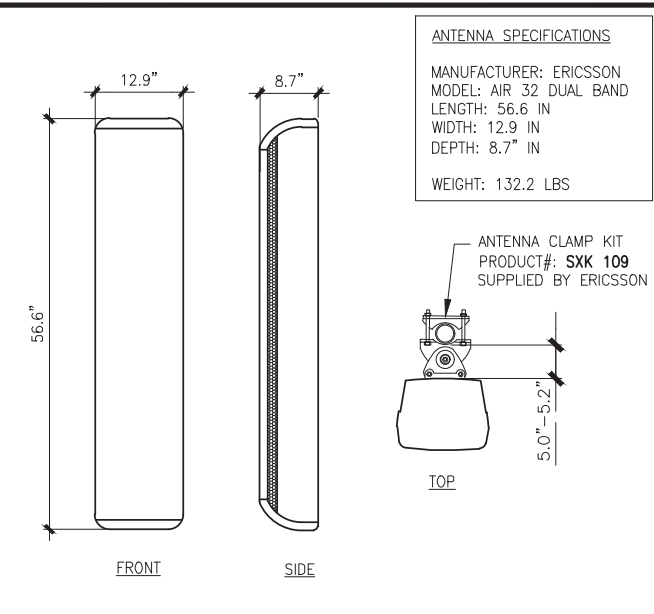
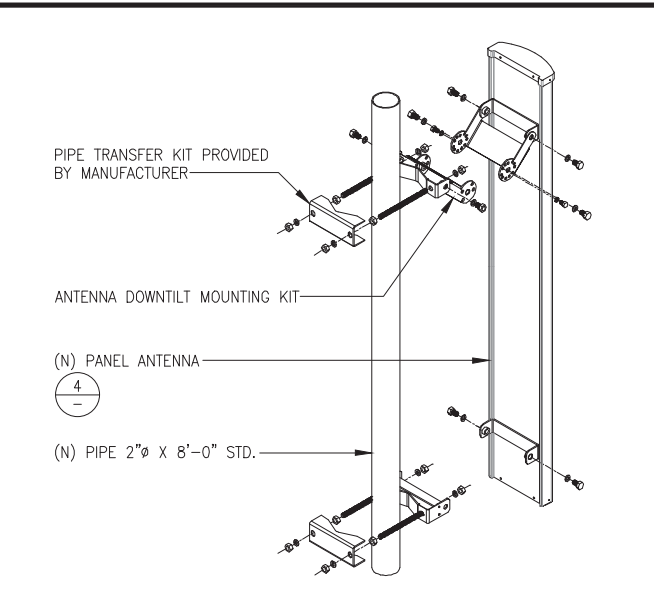
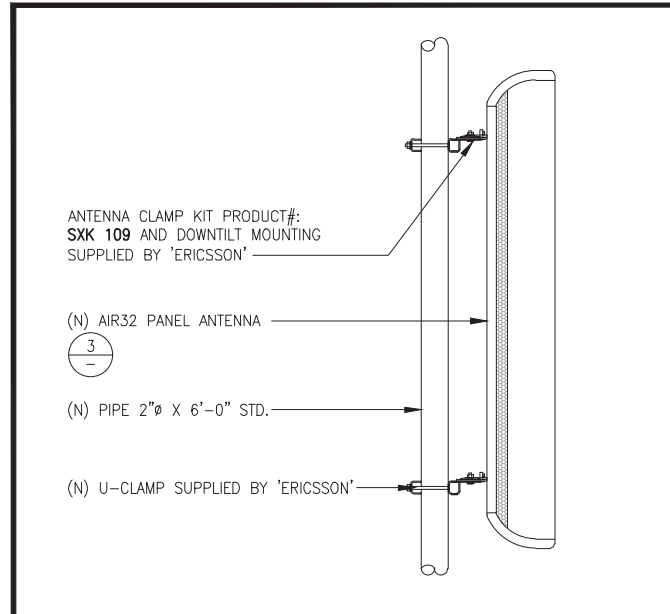
SHEET TITLE
ELEVATIONS

SHEET NUMBER
A9



SE ELEVATION

24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"
 4" 2" 0" 1



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO T-MOBILE ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO T-MOBILE IS STRICTLY PROHIBITED



2030 MAIN STREET, SUITE 200
 IRVINE, CA 92614

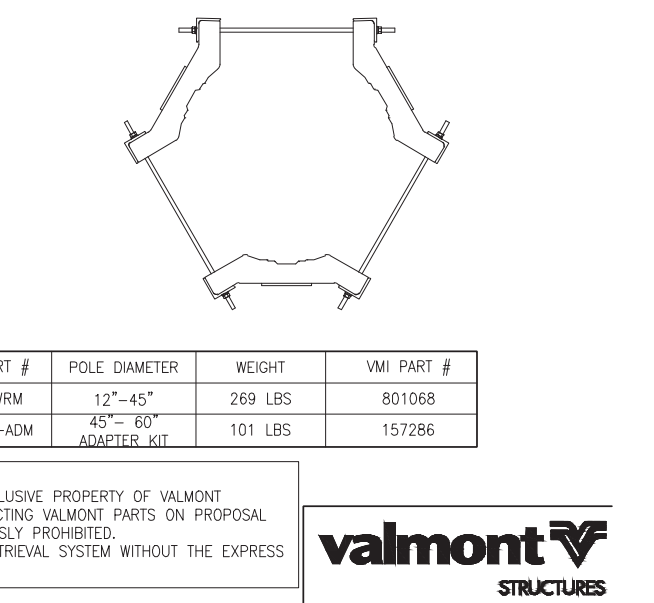
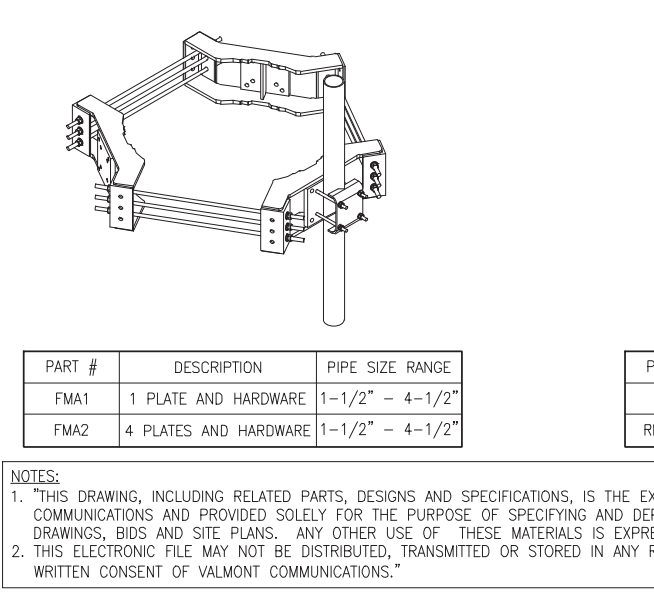
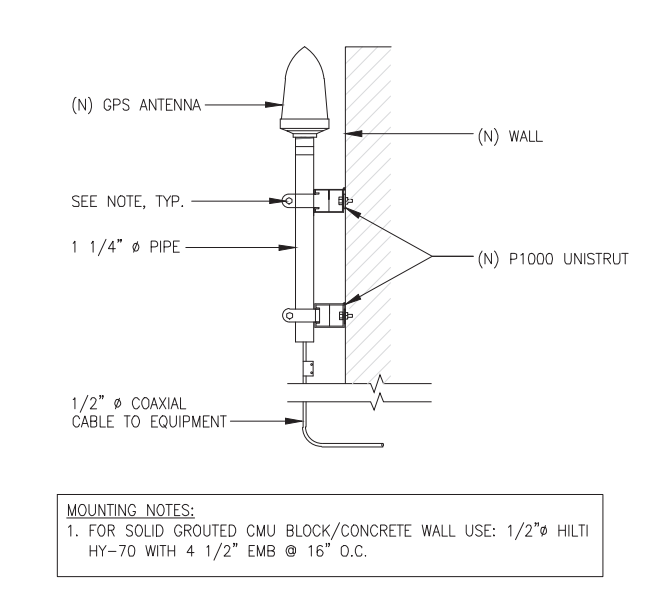
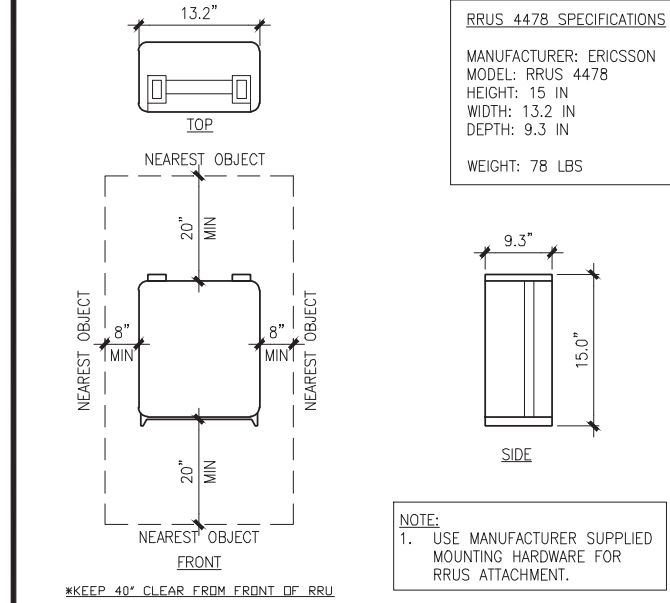
ANTENNA MOUNTING DETAIL SCALE N.T.S. 1

ANTENNA MOUNTING DETAIL SCALE N.T.S. 2

ANTENNA SPECIFICATIONS SCALE N.T.S. 3

ANTENNA SPECIFICATIONS SCALE N.T.S. 4

SITE NUMBER:
SD07953
 SITE NAME:
DEL NORTE HIGH SCHOOL
 16601 NIGHTHAWK LN.
 SAN DIEGO, CA 92127

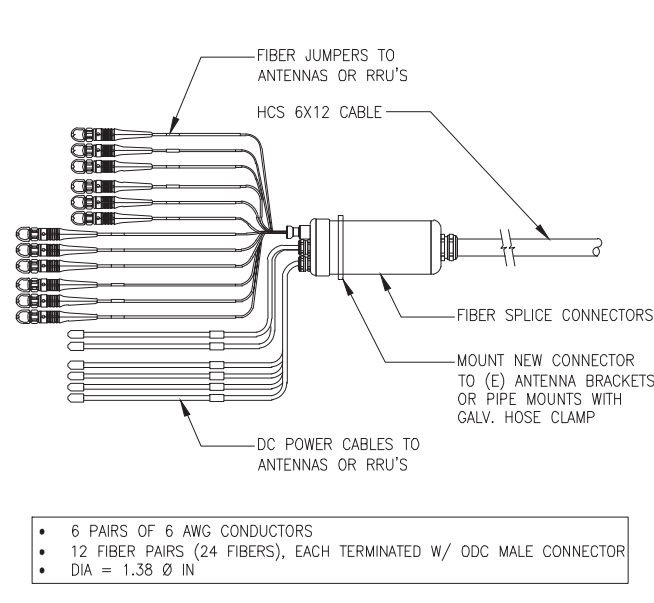
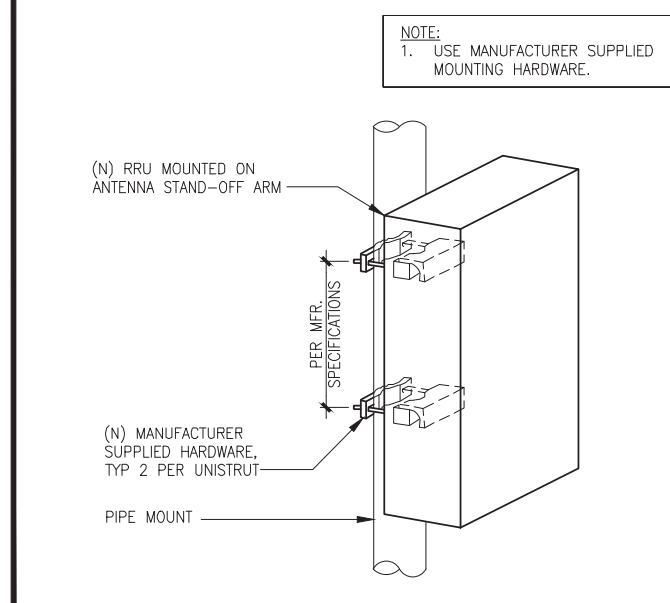


RRUS 4478 SPECIFICATIONS SCALE N.T.S. 5

GPS MOUNTING DETAIL SCALE N.T.S. 6

TRI UNIVERSAL RING MOUNT SCALE N.T.S. 7

REV	DATE	DESCRIPTION	
3	10/15/19	100% CD REV PER PLANNING	RD
2	02/01/19	100% CD REV DESIGN PER PLANNING	RD
1	06/28/18	REVISED 100% CD	RD
0	05/24/18	100% CONSTRUCTION	RD
B	03/14/18	90% CONSTRUCTION	RD
A	02/23/18	90% CONSTRUCTION	JMM



RRU MOUNTING DETAIL SCALE N.T.S. 8

HCS 6X12 CABLE SPECS SCALE N.T.S. 9

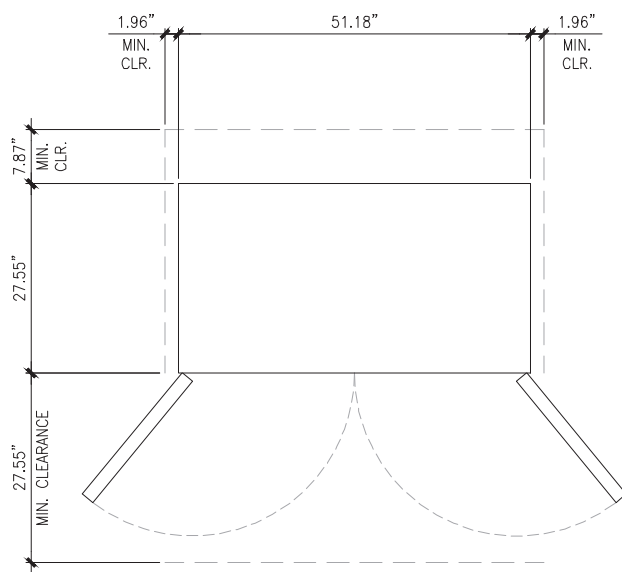
NOT USED 10

NOT USED 11

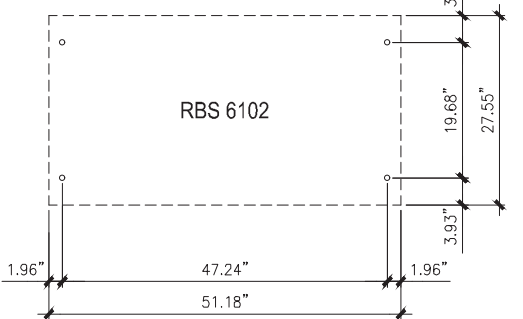
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SHEET TITLE
DETAILS

SHEET NUMBER
D1

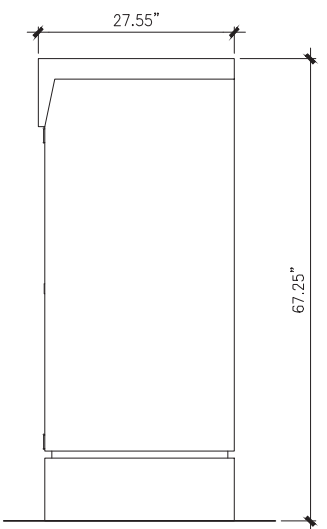
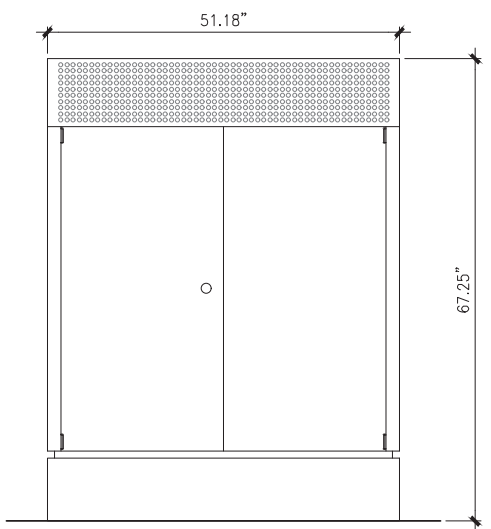


EQUIPMENT SPECIFICATIONS
 MANUFACTURER: ERICSSON
 MODEL: RBS 6102
 HEIGHT: 67.25"
 WIDTH: 51.18"
 DEPTH: 27.55"
 WEIGHT: 727 LBS. 8.4084 OZ. (330 KG)
 (EXCLUDING BATTERIES)



PLAN VIEW * MINIMUM CLEARANCE SHOWN FOR SUFFICIENT AIR FLOW

BOLT HOLE PATTERN

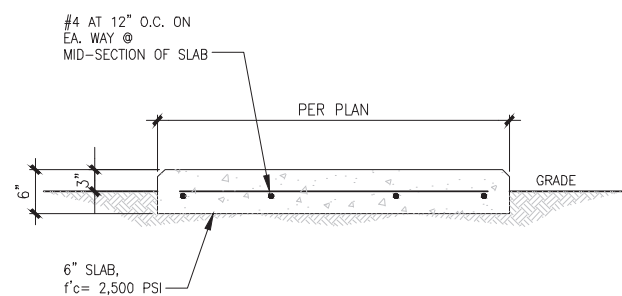


FRONT VIEW

SIDE VIEW

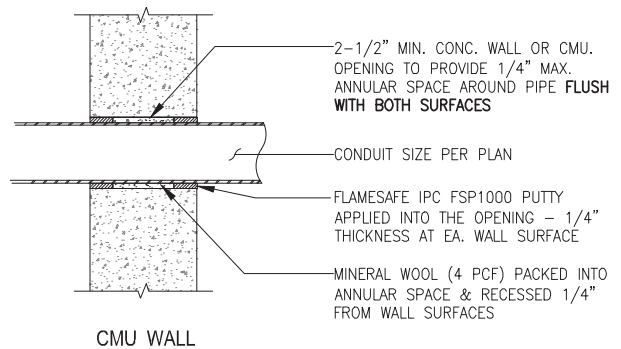
RBS 6102 EQUIPMENT CABINET SPECIFICATIONS

SCALE N.T.S. 1



CONCRETE SLAB DETAIL

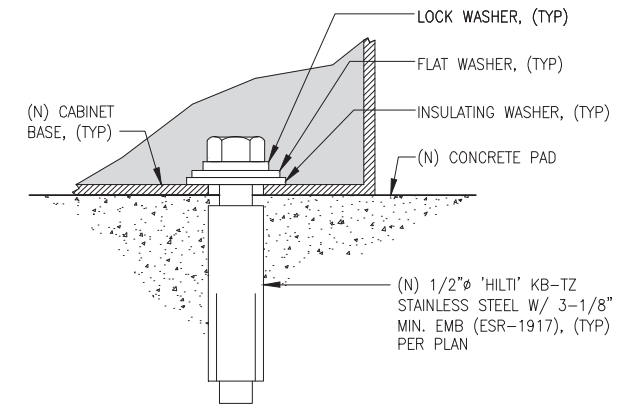
SCALE N.T.S. 4



NOTE:
 1. ALL PENETRATIONS SHALL CONFORM TO TITLE 24, CALIF. BLDG. CODE, SECTION 712.

WALL PENETRATION DETAIL

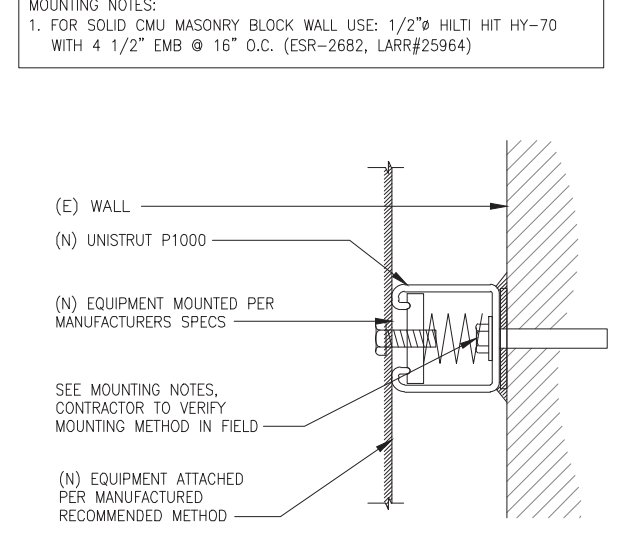
SCALE N.T.S. 5



MOUNTING NOTES:
 1. SPECIAL INSPECTION REQUIRED ON ALL ANCHOR BOLTS.
 2. REFER TO AND FOLLOW MANUFACTURERS RECOMMENDED SPECIFICATIONS FOR EXACT ANCHOR BOLT LOCATIONS AND QUANTITY FOR EACH SPECIFIED CABINET.
 3. CONTRACTOR TO SEAL AROUND ALL BOLTING LOCATIONS.

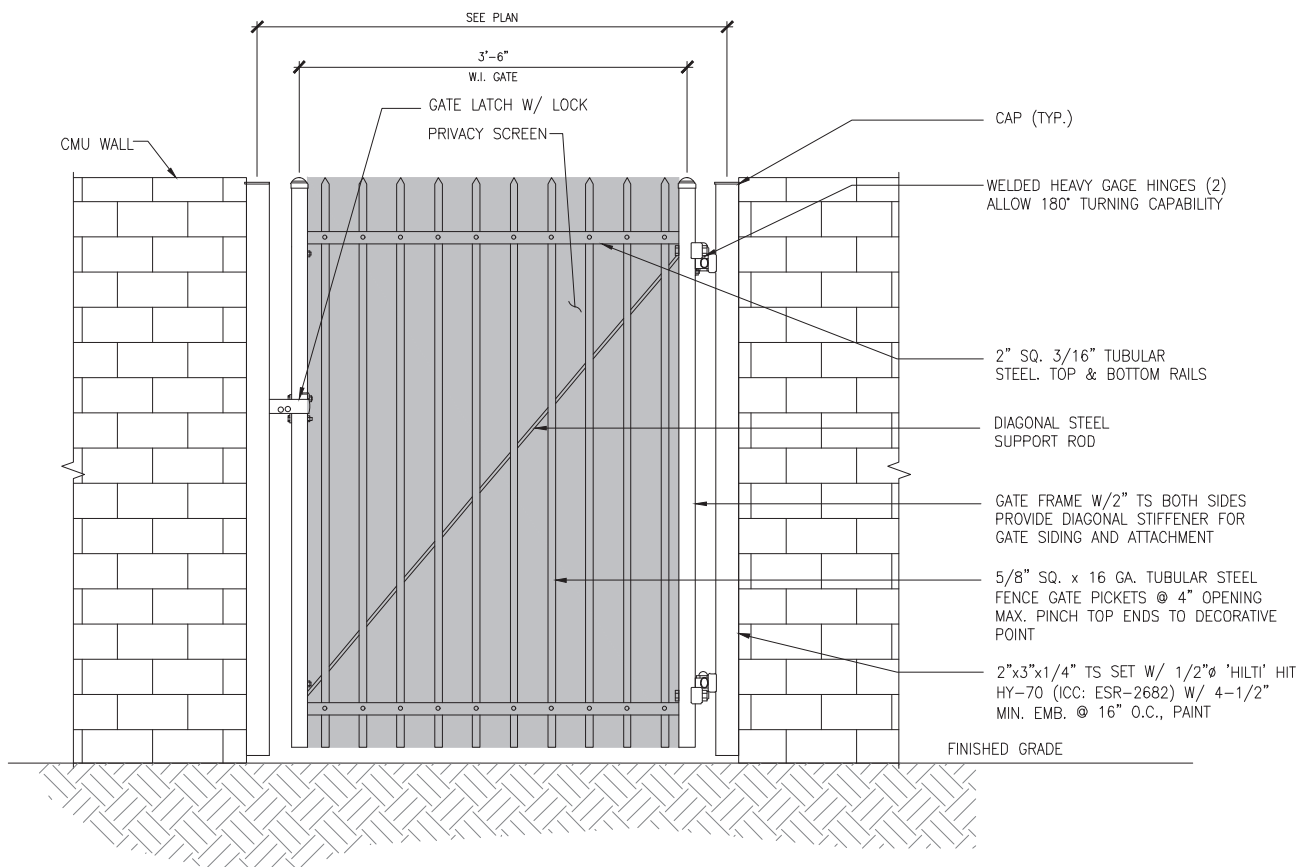
EQUIPMENT MOUNTING DETAIL

SCALE N.T.S. 2



EQUIPMENT WALL MOUNTING

SCALE N.T.S. 3



NOTE: ALL WROUGHT IRON ALL CONNECTIONS TO BE CONTINUOUS WELDED. REMOVE ALL SLAG AND SPLATTER AND GRIND ALL WELDS SMOOTH. ALL TUBING TO HAVE ENDS WELDED CLOSED. PAINT STEEL W/ (1) COAT ZINC CHROMATE PRIMER AND W/ (2) COATS "BLACK" ELECTRIC STATIC PAINT.

WROUGHT IRON GATE

SCALE N.T.S. 6



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SITE NUMBER:
SD07953
SITE NAME:
DEL NORTE HIGH SCHOOL
 16601 NIGHTHAWK LN.
 SAN DIEGO, CA 92127

REV	DATE	DESCRIPTION	JMM
3	10/15/19	100% CD REV PER PLANNING	RD
2	02/01/19	100% CD REV DESIGN PER PLANNING	RD
1	06/28/18	REVISED 100% CD	RD
0	05/24/18	100% CONSTRUCTION	RD
B	03/14/18	90% CONSTRUCTION	RD
A	02/23/18	90% CONSTRUCTION	JMM

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SHEET TITLE
DETAILS

SHEET NUMBER
D2



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SD07953

SITE NAME:
DEL NORTE HIGH SCHOOL

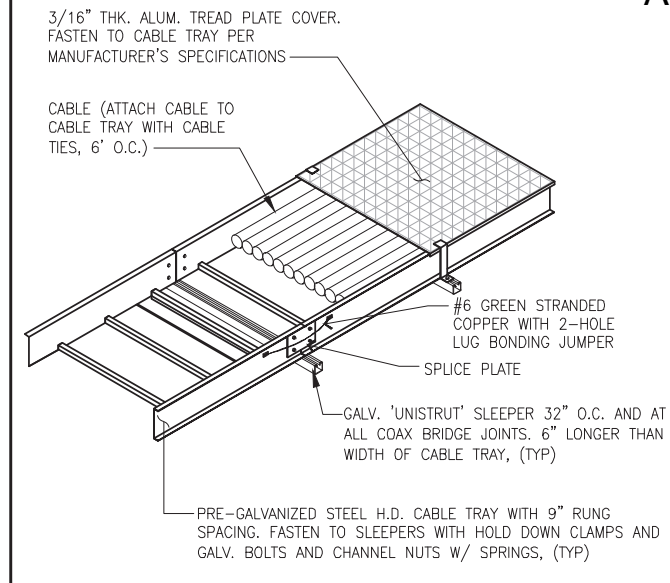
16601 NIGHAWK LN.
SAN DIEGO, CA 92127

REV	DATE	DESCRIPTION	
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2	02/01/19	100% CD REV DESIGN PER PLANNING	RD
1	06/28/18	REVISED 100% CD	RD
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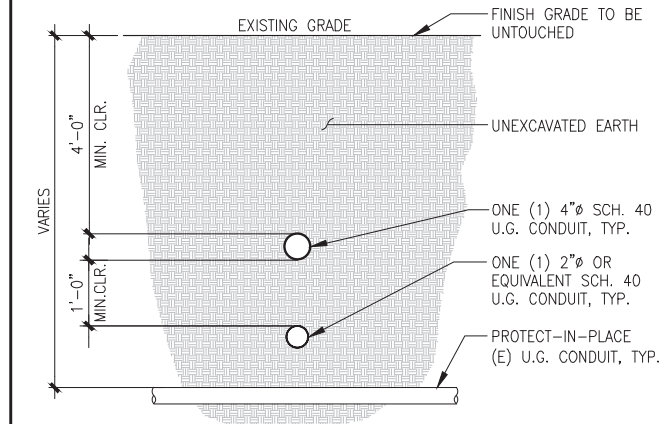
SHEET TITLE
DETAILS

SHEET NUMBER
D3

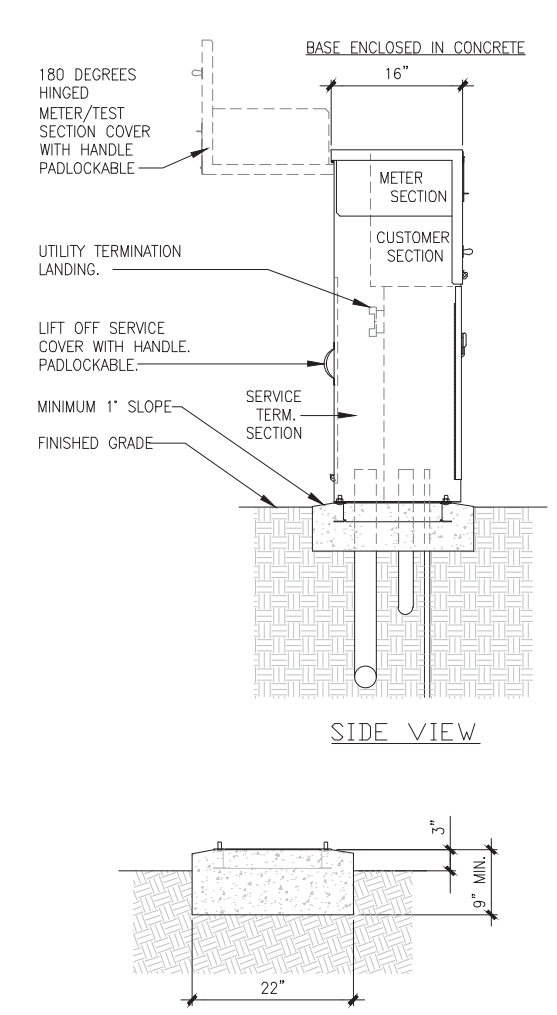


CABLE TRAY DETAIL SCALE N.T.S. 3

NOTES:
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK.
2. VERIFY ANY (E) U.G. CONDUITS LOCATION AND CONDITION. DO NOT DAMAGE ANY (E) U.G. CONDUITS DURING TRENCHING/BORING

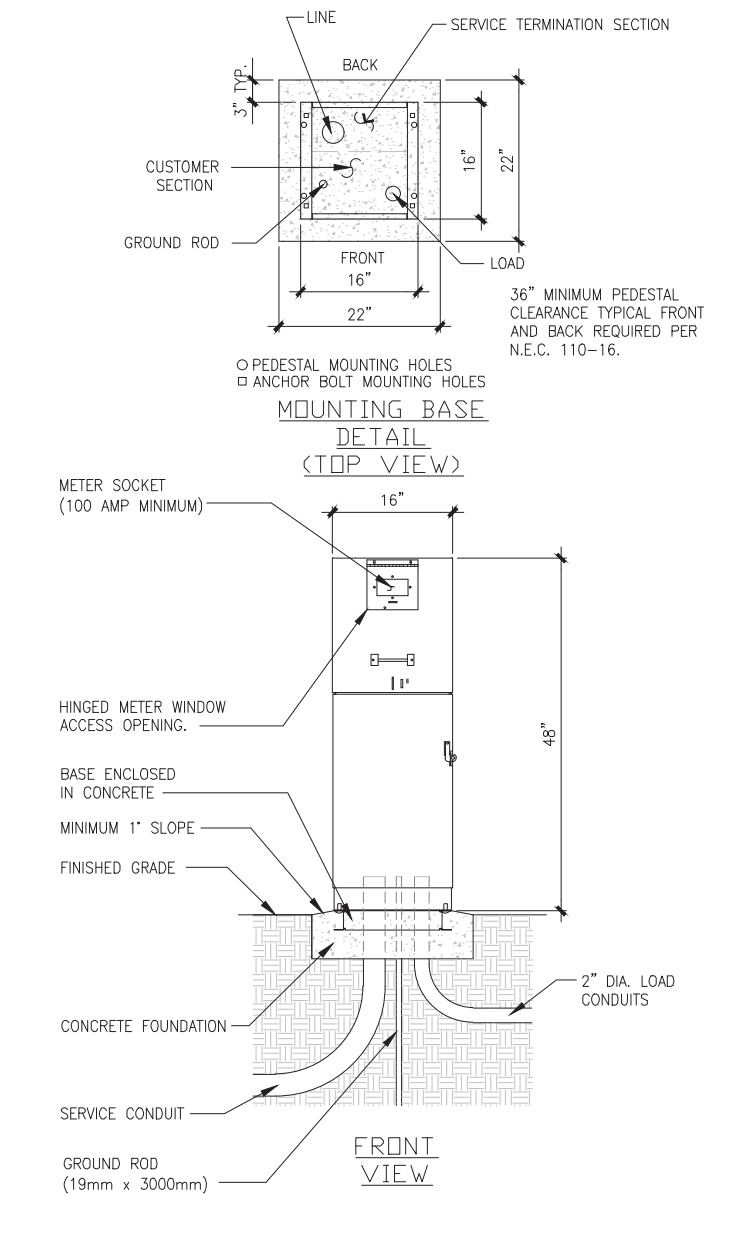


JOINT BORE DETAIL SCALE N.T.S. 4



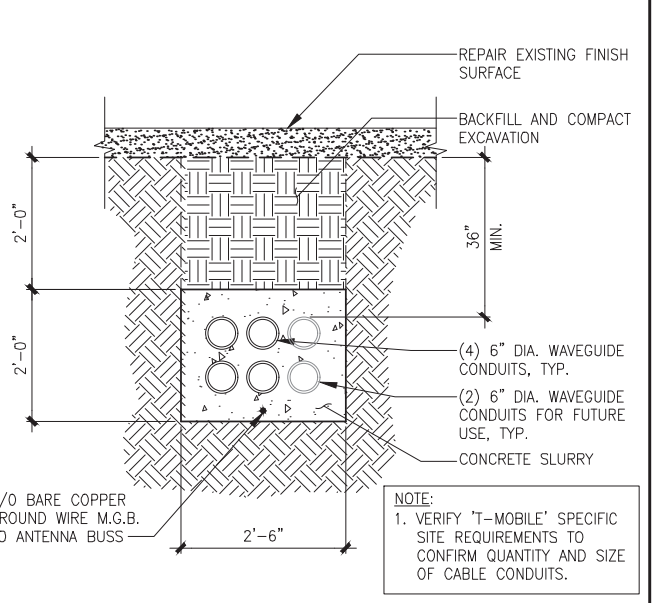
NOTES:
1. CONTROL CABINET SHALL BE U/L LISTED "INDUSTRIAL CONTROL PANEL" PER UL 508.
2. CONSTRUCTION SHALL BE NEMA 3R.
3. VOLTAGE RATINGS OF SERVICE EQUIPMENT SHALL CONFORM TO THE SERVICE VOLTAGES INDICATED ON THE PLANS.
4. CABINET WEIGHTS APPROXIMATELY 170lbs.
5. FOUNDATION SHALL EXTEND 3" MINIMUM BEYOND EDGE OF BASE.

METER PEDESTAL DETAIL SCALE N.T.S. 1

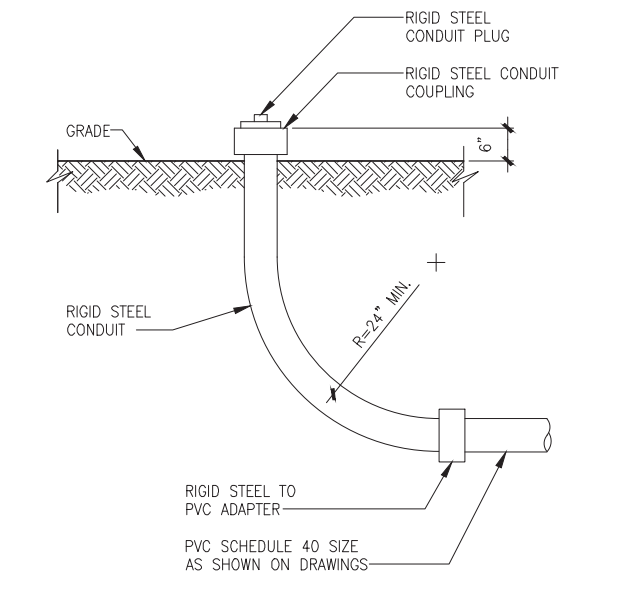


MOUNTING BASE DETAIL (TOP VIEW) SCALE N.T.S. 2

NOT USED SCALE N.T.S. 2



CABLE TRENCH DETAIL SCALE N.T.S. 5



CONDUIT STUB-UP DETAIL SCALE N.T.S. 6

FCA243624-00006
FIBERGLASS / POLYMER CONCRETE ASSEMBLY
24" X 36" X 24"
(FOR ACTUAL DIMENSIONS SEE DRAWINGS)

newbasis
Composites for Infrastructure
2025 Kamego Avenue
Irvine, CA 92618
949.787.0500
949.787.0502 (fax)
info@newbasis.com
newbasis.com

FIBERGLASS / POLYMER CONCRETE ASSEMBLY, STRAIGHT SIDES, NO FLOOR, WUC 3.6-"20K," 3/8" HEX BOLTS, STANDARD NAMEPLATE (SPECIFY AT TIME OF ORDER) INSTALLED

LOAD RATINGS
INCIDENTAL TRAFFIC - PARKING LOT, SIDEWALK CONFORMS TO:
• WUC 3.6
• ASTM C 857
• ANSI/SCTE 77

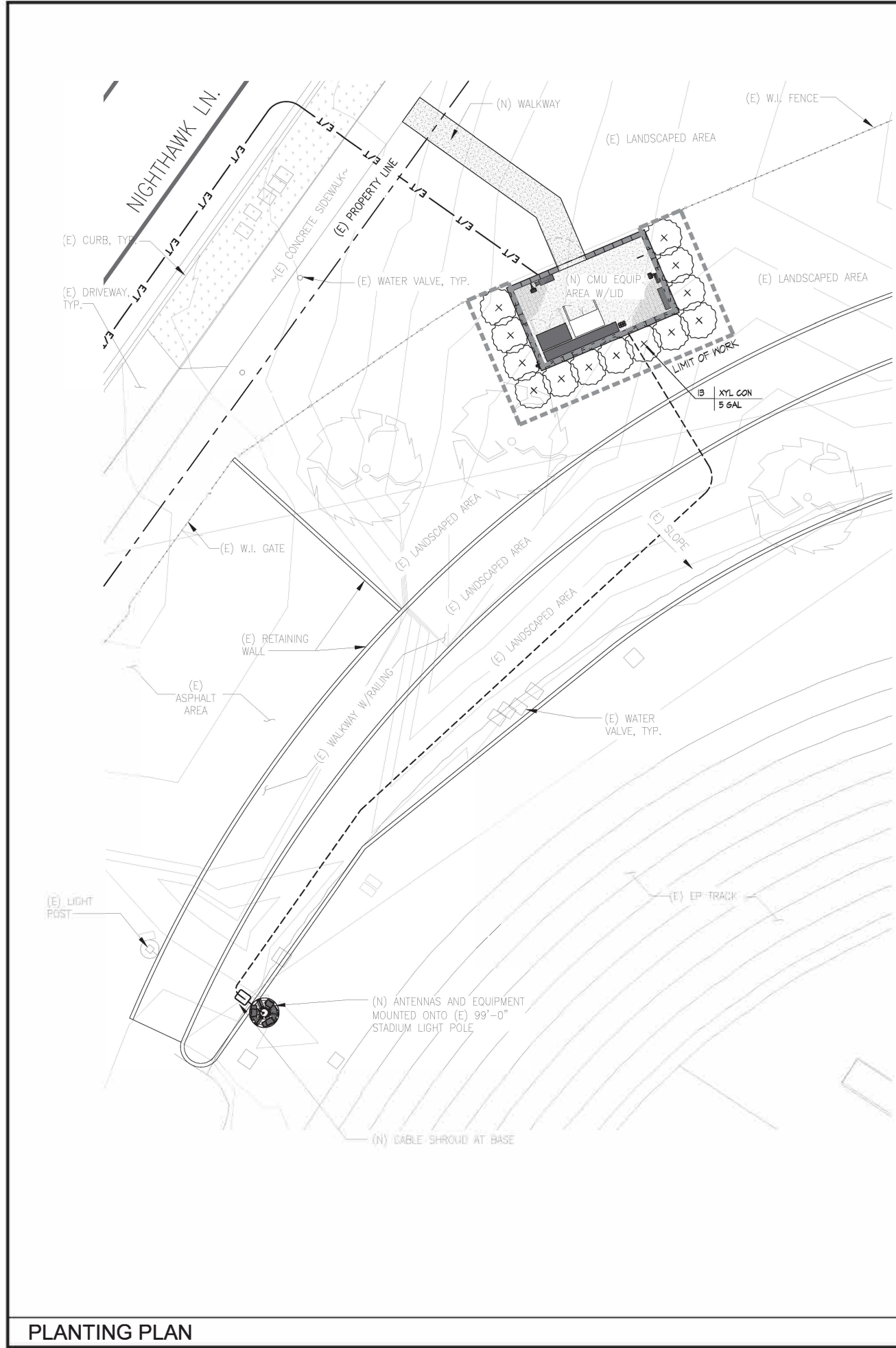
Features:
• USDA/RUS APPROVED
• DROP-IN NAMEPLATE
• SHIPPED ASSEMBLED
• SKID RESISTANT COVER
• STAINLESS STEEL BOLTS
• CAST-IN FLOATING NUT BOX
• INTEGRAL DRAIN HOLES

ADDITIONAL PRODUCT INFORMATION

Inside Dimensions		
Length	Width	Depth
33 1/8"	22 1/2"	21"
28 1/16"	16 1/2"	

HAND HOLE DETAIL SCALE N.T.S. 7

NOT USED SCALE N.T.S. 8



SHRUBS

SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE	QTY.	DETAIL	MATURE H/W	PLUGS IV RES./RTB.
X		XYL CON XYLOSMA CONGESTUM SHINY XYLOSMA		5 gal	13	R, S, L-4	5X5+	3-L

MULCH BARE GROUND BETWEEN ALL SHRUBS AND TREES 3" DEEP- USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS, 0-2 INCH SCREENED COMPOST OR PRE- APPROVED EQUAL.

CITY REQUIRED NOTES

MAINTENANCE:
*ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY:
PERMITEE or OWNER/PERMITEE

LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC R.O.W. SHALL BE MAINTAINED BY:
PERMITEE or OWNER/PERMITEE

THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION/DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

*IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

IRRIGATION TYPE
THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED BUBBLER SYSTEM WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.

TREES AND OTHER LANDSCAPE PROPOSED FOR REMOVAL MUST BE REPLACED IN KIND.

*ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

NOTE:
*IF ANY LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

NOTE:
*A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER LDC 142.0403(B)(5).

*EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

*MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMG 142.0411.

*TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. PLEASE CLEARLY IDENTIFY THE INSTALLATION OF ROOT BARRIERS IN THE LOCATIONS SUBJECT TO THESE CONDITIONS PER 142.0403(B). (NEW ISSUE)

CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION. ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

ARCHITECT OR DEVELOPER SHALL PERFORM AN AGRONOMIC SOILS TEST FOR FERTILITY AND TO DETERMINE DRAINAGE CAPABILITY FOLLOWING THE LAB SPECIFICATIONS DURING PLANTING. LAB SHALL BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. GENERAL AMENDMENTS SHALL BE USED. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.



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SITE NUMBER:
SD07953

SITE NAME:
DEL NORTE HIGH SCHOOL

16601 NIGHTHAWK LN.
SAN DIEGO, CA 92127

REV	DATE	DESCRIPTION	BY
A	02/08/18	90% CONSTRUCTION	JMM



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SHEET TITLE
PLANTING PLAN

SHEET NUMBER
L-1

§141.0420 Wireless Communication Facilities

Wireless communication facilities are permitted as a limited use in accordance with Process One in the zones indicated with an “L” in the Use Regulations Tables in Chapter 13, Article 1 (Base Zones), subject to the regulations in Section 141.0420. *Wireless communication facilities* that do not comply with Section 141.0420(c)(1) or are in the zones indicated with an “N” in the Use Regulations Tables in Chapter 13, Article 1 (Base Zones) may also be permitted with a Neighborhood Use Permit, subject to the regulations in Section 141.0420(d). *Wireless communication facilities* may also be permitted with a Conditional Use Permit decided in accordance with Process Three, in the zones indicated with a “C” in the Use Regulations Tables in Chapter 13, Article 1 (Base Zones), except that *wireless communication facilities* in areas described in Section 141.0420(f) may be permitted with a Conditional Use Permit decided in accordance with Process Four, in the zones indicated with a “C” in the Use Regulations Tables in Chapter 13, Article 1 (Base Zones), subject to the following regulations:

- (a) The following uses are exempt from the provisions of Section 141.0420:
 - (1) Amateur (HAM) radio facilities.
 - (2) One single dish *antenna* 24-inches or less in diameter or one remote panel *antenna* 24-inches or less in length and width, except when associated with a *wireless communication facility*.
- (b) General Rules for Wireless Communication Facilities
 - (1) Every application for a permit shall include documentation, satisfactory to the City Manager:
 - (A) That the *wireless communication facility* complies with federal standards for radio frequency radiation in accordance with the Telecommunication Act of 1996 and subsequent amendments and any other requirements imposed by state or federal regulatory agencies, and
 - (B) Describing the location type, capacity, field strength or power density and calculated geographic service of the *wireless communication facility*.
 - (2) *Wireless communication facilities* shall be maintained in a graffiti-free condition.

- (3) Prior to January 31 of every calendar year, each *wireless communication facility* provider shall submit documentation, satisfactory to the City Manager, identifying the location of each *wireless communication facility* in its City of San Diego network. The documentation shall include *wireless communication facilities* that are approved, but not yet built, *wireless communication facilities* that are currently operating and locations containing non-operating *wireless communication facilities*.
 - (4) If the permit(s) for any *wireless communication facility* includes an expiration date, upon expiration of the permit, the facilities and improvements authorized therein shall be removed from the site by the owner of such facilities and improvements, and said owner shall restore the property to its original condition, all at the owner's or permittee's sole cost and expense. In addition, the owner or permittee shall, at its sole cost and expense, remove or replace any *wireless communication facility* if the City Manager determines that the facility or components of the facility are non-operational or no longer used. If the owner or permittee does not remove such facilities and restore the property as required herein, the City may remove the facilities and restore the property at the cost and expense of the owner or permittee, jointly and severally.
 - (5) Coastal Development Permit. Within the coastal overlay zone, the coastal development permit regulations, beginning with Section 126.0701 of the Land Development Code, shall also apply.
- (c) Limited Use Regulations
- (1) *Wireless communication facilities* are permitted as a limited use subject to the following regulations:
 - (A) Except as provided in Section 141.0420(d), *wireless communication facilities* in Industrial Zones.
 - (B) Except as provided in Section 141.0420(d), *wireless communication facilities* in Commercial Zones.

- (C) Collocation of *wireless communication facilities* to existing monopoles that do not increase the area occupied by the *antennas* by more than 100 percent of the originally approved *wireless communication facilities* and do not increase the area occupied by an outdoor equipment enclosure more than 150 square feet beyond the originally approved *wireless communication facilities*.
- (2) *Wireless communication facilities* in the *public right-of-way* within or adjacent to City owned property, dedicated in perpetuity, for park or recreation purposes, may be permitted with a Neighborhood Use Permit.
- (d) Neighborhood Use Permit Regulations
- (1) *Wireless communication facilities* on premises containing residential or mixed uses in a Commercial or Industrial Zone.
- (2) *Wireless communication facilities* on premises containing a non-residential use within a Residential zone where the *antennas* associated with the *wireless communication facility* are located more than 100 feet from the property line of the following primary uses: day care, elementary and middle schools, single or multi-unit residences. The 100 feet shall be measured from the two closest points.
- (3) *Wireless communication facilities* in Agricultural Zones where the *antennas* associated with the *wireless communication facility* are located more than 100 feet from the property line of the following primary uses: day cares, elementary and middle schools, single or multi-unit residences. The 100 feet shall be measured from the two closest points.
- (4) *Wireless communication facilities* proposed in dedicated parkland where the *antennas* associated with the *wireless communication facility* are located more than 100 feet from the property line of the following primary uses: day cares, elementary and middle schools, single or multi-unit residences. The 100 feet shall be measured from the two closest points.

- (e) Conditional Use Permit Regulations (Process Three)
 - (1) *Wireless communication facilities* on *premises* containing a non-residential use within a Residential Zone.
 - (2) *Wireless communication facilities* in Agricultural Zones.
 - (3) *Wireless communication facilities*, with above ground equipment, in the *public right-of-way*.
- (f) Conditional Use Permit Regulations (Process Four)
 - (1) Except as provided in Section 141.0420(d)(4), *wireless communication facilities* proposed in dedicated parkland.
 - (2) Except as provided in Sections 141.0420(d)(2) and 141.0420(e)(1), *wireless communication facilities* proposed in Residential Zones.
 - (3) *Wireless communication facilities* proposed in Open Space Zones.
- (g) Design Requirements

The following regulations apply to all *wireless communication facilities*:

- (1) *Wireless communication facilities* shall utilize the smallest, least visually intrusive *antennas*, components and other necessary equipment.
- (2) The applicant shall use all reasonable means to conceal or minimize the visual impacts of the *wireless communication facilities* through integration. Integration with existing *structures* or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.
- (3) The *wireless communication facility's* equipment shall be located within an existing building envelope, whenever possible. If a new equipment enclosure is necessary, it shall be of a height minimally necessary to accommodate the equipment, not to exceed 250 square feet, unless a Process Two Neighborhood Development Permit is granted in accordance with Section 126.0402.
- (4) Overhead wires connecting the *antennas* to the equipment are not permitted.

- (5) Equipment located on the roof of an existing *structure* shall be set back or located to minimize visibility, especially from the *public right-of-way* or public places.
- (6) Faux landscaping may be used on *premises* where natural vegetation similar in size and species exist or where landscaping similar in size and species is proposed as part of the *development*. The *applicant* shall provide sufficient samples, models or other means to demonstrate the quality, appearance, and durability of the faux vegetation.
- (7) If trees with a trunk width of 4 inches or more (measured by caliper, 4 feet above grade) are removed or significantly trimmed for the installation or operation of the *wireless communication facility*, then replacement trees of a similar size shall be planted to the satisfaction of the City Manager.
- (8) Panel *antennas* shall be mounted no more than 12 inches away from a *building façade* and shall appear as an integral part of the building, except as set forth in Section 141.0420(h). Panel *antennas* may be mounted up to 18 inches away from a *building façade* when the *applicant* provides evidence demonstrating that the *wireless communication facility* cannot operate without incorporating a tilt greater than 12 inches. Each panel *antenna* shall fit into the design of an existing *façade* and shall be no longer nor wider than the portion of the *façade* upon which it is mounted. The *antennas* shall not interrupt the architectural lines of the *façade*. Associated mounting brackets and coaxial cable shall be concealed from view. Any pipes or similar apparatus used to attach panel *antennas* to a *building façade* shall not extend beyond the length or width of the panel *antenna*. No exposed mounting apparatus shall remain on a *building façade* without the associated *antennas*.
- (9) Vertical elements, designed as flagpoles or light standards, shall replicate the design, diameter and proportion of the vertical element they are intending to imitate. Flagpoles shall maintain a tapered design.

(h) *Public Right-of-Way Installations*

Wireless communication facilities may be installed in the *public right-of-way* in the area between the face of the curb and the adjacent property line.

Wireless communication facilities located in the *public right-of-way* are subject to Chapter 6, Article 2, and the following regulations:

- (1) All equipment associated with *wireless communication facilities* shall be undergrounded, except for small service connection boxes or as permitted in Section 141.0420(e)(3).
- (2) Panel *antennas* shall be vertically mounted to the pole in compliance with any applicable separation requirements and shall not exceed 6 inches in distance from the pole.
- (3) No more than four panel *antennas* or two omni-directional *antennas* shall be mounted on any utility pole by any one *wireless communication facilities* provider.
- (4) *Antennas* shall be painted to match the color of the surface of the pole on which they are attached.

(i) *Park Site Installations*

In addition to the design guidelines set forth in Section 141.0420(g), the following design requirements apply to *wireless communication facilities* in city parks.

- (1) Where practicable, *antennas* shall be mounted on sports field light poles, security light poles, or inside foul line poles or flagpoles. *Antennas* shall not be mounted above the light source on any light poles. All *antennas* on flagpoles or foul line poles shall be concealed within the pole.

- (2) If the proposed *wireless communication facility* would be located on city-owned property that has been formally dedicated in perpetuity by ordinance for park, recreation, or cemetery purposes, equipment enclosures shall be placed underground unless the Park and Recreation Director determines that an above-ground equipment enclosure would not violate Charter section 55 and a Process Two Neighborhood Development Permit is granted in accordance with Section 126.0402.

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(Amended 6-18-2013 by O-20261 N.S.; effective 7-19-2013.)