820 W 15th, North Vancouver BC

**DRAWING LIST** 

DESIGN RATIONALE

CONTEXT IMAGES

SITE CONTEXT

PERSPECTIVES

PERSPECTIVES

**AERIAL VIEWS** 

LEVEL P2 PLAN

LEVEL P1 PLAN

LEVEL 2 PLAN

**ROOF PLAN** 

**ELEVATIONS** 

**ELEVATIONS** 

FSR 1.01 FSR OVERLAYS

FSR 1.03 FSR OVERLAY L2 FSR 1.04 FSR OVERLAY L3 FSR 1.05 FSR OVERLAY L4

FSR 1.07 FSR OVERLAY L6

Grand total: 33

SITE SECTIONS

FSR OVERLAY L1

**BUILDING SECTIONS BUILDING SECTIONS** 

**BUILDING SECTIONS** 

FIRE DEPARTMENT ACCESS PLAN

LEVEL 3 PLAN - TYPICAL

PARKING SECTIONS AT BICYCLE STORAGES

PARKING SECTIONS

**UNIT AREAS** 

200,1000 West 3rd Street North Vancouver, BC V7P 3J6 T 604.988.7501 | shiftarchitecture.ca

This drawing is an instrument of service and the property of use of this drawing shall be restricted to the original site for

| INO | . Date   | REVISION NOTES      |
|-----|----------|---------------------|
|     |          |                     |
|     |          |                     |
|     |          |                     |
|     |          |                     |
|     |          |                     |
|     |          |                     |
|     |          |                     |
|     |          |                     |
|     |          |                     |
|     |          |                     |
| Α   | 26/01/21 | ISSUED FOR RZ/DP    |
| С   | 04/04/22 | RE-ISSUED FOR RZ/DP |
|     |          |                     |



Project Title **PH NV 15** 

820 W 15th St, North Vancouver BC V7P 1M6



Polygon Development 237 Ltd.

**COVER SHEET** 

Reviewed by

Project Number 2003

Plot Date Issue Date 2021/01/22 04/04/22

Issue/Revision

Sheet Number





# PROPERTY INFORMATION

## **Legal Description:**

Lot C: Block 5; District Lot: 265; Plan: 17693

### New PID: 003-050-009 Civic Addresses:

820 W 15th St, (818-858 W 15th St) North Vancouver BC V7P 1M6

## **BUILDING CODE INFORMATION**

## APPLICABLE CODE

British Columbia Building Code 2018 - Division B - Part 3

## RESIDENTIAL/ COMMERCIAL LEVELS

Major Occupancies Group A2 (Daycare), Group C (Residential), Group E (CRU),

, Group F (Parkade)

Bylaw Requirement 3.2.2.50 Construction Type Noncombustible

Floor Fire Ratings 1 hour -Residential to Residential 2 hour - Residential to Parkade 2 hour - Residential to Comemrcial

Roof Fire Ratings No Rating (Not Occupied) Building Height 6 Storeys

Building Areas >1200 sq. meters

Sprinkler System Required (NFPA 13R) Fire Alarm System Required (CAN/ULC-S524) Standpipe System Required (NFPA 14)

## STORAGE GARAGE (PARKADE)

Major Occupancies Group F Division 3 - Parking Garage Bylaw Requirement 3.2.2.77, 3.2.1.2

Construction Type Noncombustible (3.2.1.2) Floor Fire Ratings 2 hour - Basement Parking Garage to Residential

Below Grade Levels 2 Level Sprinkler System Required (NFPA 13R)

Fire Alarm System Required (CAN/ULC-S524) Standpipe System Required (NFPA 14)

## PROJECT DESCRIPTION

**Project Description** 

The mixed-use development proposal consists of a 6-storey mixed-use (commercial/residential) building consisting of 90 market strata residential

**Zoning Current** 

## CS-1 Service Commercial

units and 10 commercial retail units (CRUs) at grade. In total, 90 market strata residential units are being proposed. The breakdown

of the unit types are as follows: • 1-Bedroom – 30 (33%)

• 1-Bedroom & Dens – 35 (39%) 2-Bedroom – 15 (17%)

| 2-Deditotii - 13 (17/0)   |   |
|---|---|
| • 3-Bedroom – 10 (11%)  |   |
| CRUs are oriented along the South of the site, facing Wes commercial units are narrower (19' to 22') to accommoda businesses. Larger tenants can also be accommodated by smaller CRUs into one large commercial space. The fine gwill activate the streetscape along West 15th Street. The c designed to accommodate large patios to take advantage exposure. | te smaller local<br>combining several<br>rain retail at grade<br>ommercial has been |

# **PROJECT STATISTICS**

STATISTICS AND CALCULATIONS

### **Zoning Calculations - Overall Project**

| ite Area                 |                 |                  | FAR                  |
|--------------------------|-----------------|------------------|----------------------|
| xisting                  | 3,021.70 sq. m. | 32,525.3 sq. ft. | Allowable            |
| ew (after Consolidation) | 3,021.70 sq. m. | 32,525.3 sq. ft. | Proposed Residential |
|                          |                 |                  | Proposed Commercial  |

1,359.75 sq.m 14,636.4 sq. ft. 1,224.92 sq.m 13,185.0 sq. ft.

23 Units 25 Units

**2.50** *7,554.18* sq.m

0.34 *1,020.81* sq.m

2.50 *7,554.18* sq.m.

6 stories (OCP Schedule 1) 22.25 m

|       |                      |   |   |   |   | G1033 A1  | EU   |   |   |   |  |         |   |
|-------|----------------------|---|---|---|---|---|--|---|---|---|--|---------|---|
| Unita |                      |   |   |   | Total   |   |  |   | Exclusions  |   |  |         | FSR AREA  |
| Onits | Residential          | Circulation   | Commercial  |   | Total   | Lobby   | Daycare  | Adaptable   |   |   |  | Total   |   |
| 0     | 0.0                  | 1,282.8   | 10,988.0  | 0.0   | 13,157.6  | 886.8   | 0.0  | 0.0   | 0.0   | 0.0   | 0.0  | 886.8   | 12,270.8  |
| 18    | 12,156.5             | 1,630.3   | 0.0   | 0.0   | 13,887.8  | 0.0   | 0.0  | 101.0   | 0.0   | 0.0   | 0.0  | 101.0   | 13,786.8  |
| 18    | 12,182.5             | 1,631.4   | 0.0   | 0.0   | 13,914.9  | 0.0   | 0.0  | 101.0   | 0.0   | 0.0   | 0.0  | 101.0   | 13,813.9  |
| 18    | 12,182.5             | 1,631.4   | 0.0   | 0.0   | 13,914.9  | 0.0   | 0.0  | 101.0   | 0.0   | 0.0   | 0.0  | 101.0   | 13,813.9  |
| 18    | 12,182.5             | 1,631.4   | 0.0   | 0.0   | 13,914.9  | 0.0   | 0.0  | 101.0   | 0.0   | 0.0   | 0.0  | 101.0   | 13,813.9  |
| 18    | 12,182.5             | 1,631.4   | 0.0   | 0.0   | 13,914.9  | 0.0   | 0.0  | 101.0   | 0.0   | 0.0   | 0.0  | 101.0   | 13,813.9  |
| 90    | 60,886.5             | 9,438.7   | 10,988.0  | 0.0   | 82,705.0  | 886.8   | 0.0  | 505.0   | 0.0   | 0.0   | 0.0  | 1,391.8 | 81,313.2  |
|       | 18<br>18<br>18<br>18 | Residential       0     0.0       18     12,156.5       18     12,182.5       18     12,182.5       18     12,182.5       18     12,182.5       18     12,182.5 | Residential         Circulation           0         0.0         1,282.8           18         12,156.5         1,630.3           18         12,182.5         1,631.4           18         12,182.5         1,631.4           18         12,182.5         1,631.4           18         12,182.5         1,631.4           18         12,182.5         1,631.4 | Residential         Circulation         Commercial           0         0.0         1,282.8         10,988.0           18         12,156.5         1,630.3         0.0           18         12,182.5         1,631.4         0.0           18         12,182.5         1,631.4         0.0           18         12,182.5         1,631.4         0.0           18         12,182.5         1,631.4         0.0 | Residential         Circulation         Commercial           0         0.0         1,282.8         10,988.0         0.0           18         12,156.5         1,630.3         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0 | Residential         Circulation         Commercial           0         0.0         1,282.8         10,988.0         0.0         13,157.6           18         12,156.5         1,630.3         0.0         0.0         13,887.8           18         12,182.5         1,631.4         0.0         0.0         13,914.9           18         12,182.5         1,631.4         0.0         0.0         13,914.9           18         12,182.5         1,631.4         0.0         0.0         13,914.9           18         12,182.5         1,631.4         0.0         0.0         13,914.9 | Units         Residential         Circulation         Commercial         Total         Lobby           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0 | Residential         Circulation         Commercial         Lobby         Daycare           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0 | Units         Residential         Circulation         Commercial         Total         Lobby         Daycare         Adaptable           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0         0.0           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0 | Units         Exclusions           Residential         Circulation         Commercial         Total         Lobby         Daycare         Adaptable           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0         0.0         0.0           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0         101.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0           18 <td< td=""><td>Units         Exclusions           Residential         Circulation         Commercial         Total         Lobby         Daycare         Adaptable           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0         0.0         0.0         0.0           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         <t< td=""><td></td><td>Units         Exclusions           Residential         Circulation         Commercial         Lobby         Daycare         Adaptable         Total           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0         0.0         0.0         0.0         0.0         886.8           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0</td></t<></td></td<> | Units         Exclusions           Residential         Circulation         Commercial         Total         Lobby         Daycare         Adaptable           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0         0.0         0.0         0.0           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9 <t< td=""><td></td><td>Units         Exclusions           Residential         Circulation         Commercial         Lobby         Daycare         Adaptable         Total           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0         0.0         0.0         0.0         0.0         886.8           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0</td></t<> |         | Units         Exclusions           Residential         Circulation         Commercial         Lobby         Daycare         Adaptable         Total           0         0.0         1,282.8         10,988.0         0.0         13,157.6         886.8         0.0         0.0         0.0         0.0         0.0         886.8           18         12,156.5         1,630.3         0.0         0.0         13,887.8         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0         13,914.9         0.0         0.0         101.0         0.0         0.0         0.0         101.0           18         12,182.5         1,631.4         0.0         0.0 |

| Balcony Summary |                           |
|-----------------|---------------------------|
| FSR Area        | 81,313.2 sq. ft           |
| Allowable       | <i>10%</i> 8,131.3 sq. ft |
| Proposed        | 8.06% 6,554.8 sq. ft      |

| VEHICLES      | Ve       | ehicle   | Small   | l Car    | Acce     | ssible   | EV 240-volt |          |  |
|---------------|----------|----------|---------|----------|----------|----------|-------------|----------|--|
|               | Required | Provided | Maximum | Provided | Required | Provided | Required    | Provided |  |
| Residential   | 94       | 99       | 33      | 3        | 3        | 4        | 94          | 99       |  |
| Visitor       | 9        | 10       | 3       | 0        | 0        | 2        | 9           | 9        |  |
| Commercial    | 20       | 20       | 7       | 1        | 0        | 2        | 1           | 1        |  |
| Office        | 0        | 0        | 0       | 0        | 0        | 2        | N/A         |          |  |
| Shared        | 0        | 0        | 7       | 0        | 0        | 0        | N/A         |          |  |
| Total Parking | 123      | 129      | 50      | 4        | 3        | 10       | 104         | 109      |  |

| LOADING |          |          |
|---------|----------|----------|
|         | Required | Provided |
|         |          |          |

| BICYCLES      | Bicycle - Lo | ong Term | Horizon | tal Stalls | Vertica | ıl Stalls | Lock     | ers      |
|---------------|--------------|----------|---------|------------|---------|-----------|----------|----------|
|               | Required     | Provided | Maximum | Provided   | Maximum | Provided  | Required | Provided |
| Residential   | 135          | 141      | N/A     | 0          | N/A     | 0         | N/A      | 92       |
| Commercial    | 4            | 4        | N/A     | 0          | N/A     | 0         | N/A      | 4        |
| Total Parking | 139          | 145      | 0       | 0          | 0       | 0         | 0        | 92       |

# Residential Unit Distribution - Overall Project

| UNIT TYPE | Areas  | LE | VEL 2   | LE | VEL 3   | LEV | /EL 4   | LE | VEL 5   |  | LE | VEL 6   | UNITS | SUMMARY  | Beds | Total Beds | Unit Ratio |
|-----------|--------|----|---------|----|---------|-----|---------|----|---------|--|----|---------|-------|----------|------|------------|------------|
| Α         | 460.4  | 2  | 920.8   | 2  | 920.7   | 2   | 920.7   | 2  | 920.7   |  | 2  | 920.7   | 10    | 4,603.6  | 1    | 10         | 11.1%      |
| A2        | 539.9  | 2  | 1079.8  | 2  | 1079.8  | 2   | 1079.8  | 2  | 1079.8  |  | 2  | 1079.8  | 10    | 5,399.0  | 1    | 10         | 11.1%      |
| A2 AD     | 539.9  | 1  | 539.9   | 1  | 539.9   | 1   | 539.9   | 1  | 539.9   |  | 1  | 539.9   | 5     | 2,699.5  | 1    | 5          | 5.6%       |
| В         | 643.7  | 1  | 643     | 1  | 643.9   | 1   | 643.9   | 1  | 643.9   |  | 1  | 643.9   | 5     | 3,218.6  | 1    | 5          | 5.6%       |
| B1        | 647.2  | 4  | 2588.7  | 4  | 2588.7  | 4   | 2588.7  | 4  | 2588.7  |  | 4  | 2588.7  | 20    | 12,943.5 | 1    | 21         | 22.2%      |
| B1 AD     | 646.0  | 3  | 1937.9  | 3  | 1937.9  | 3   | 1937.9  | 3  | 1937.9  |  | 3  | 1937.9  | 15    | 9,689.5  | 1    | 15         | 16.7%      |
| С         | 808.8  | 1  | 8.808   | 1  | 8.808   | 1   | 8.808   | 1  | 808.8   |  | 1  | 8.808   | 5     | 4,044.0  | 2    | 10         | 5.6%       |
| C1        | 847.1  | 1  | 847.1   | 1  | 847.1   | 1   | 847.1   | 1  | 847.1   |  | 1  | 847.1   | 5     | 4,235.5  | 2    | 10         | 5.6%       |
| C2 AD     | 830.1  | 1  | 830.1   | 1  | 830.1   | 1   | 830.1   | 1  | 830.1   |  | 1  | 830.1   | 5     | 4,150.5  | 2    | 10         | 5.6%       |
| D1        | 1016.8 | 1  | 1013.6  | 1  | 1019    | 1   | 1019    | 1  | 1019    |  | 1  | 1013.6  | 5     | 5,084.2  | 3    | 15         | 5.6%       |
| D2        | 1057.7 | 1  | 1054.4  | 1  | 1059.9  | 1   | 1059.9  | 1  | 1059.9  |  | 1  | 1054.4  | 5     | 5,288.5  | 3    | 15         | 5.6%       |
|           |        |    |         |    |         |     |         |    |         |  |    |         |       |          |      |            |            |
|           |        | 18 | 12264.1 | 18 | 12275.8 | 18  | 12275.8 | 18 | 12275.8 |  | 18 | 12264.9 | 90    | 61,356.4 | 18   | 126        | 100.0%     |

UNIT COUNT AND AREAS PER FLOOR

| Bedroom     | Туре  | L2 | L3 | L4 | L5 | L6 | Total |  |
|-------------|-------|----|----|----|----|----|-------|--|
|             | Α     | 2  | 2  | 2  | 2  | 2  | 10    |  |
| One Bed     | A2    | 2  | 2  | 2  | 2  | 2  | 10    |  |
| One Bed     | A2 D  | 1  | 1  | 1  | 1  | 1  | 5     |  |
|             | В     | 1  | 1  | 1  | 1  | 1  | 5     |  |
|             |       |    |    |    |    |    |       |  |
| One Bed + D | B1    | 4  | 4  | 4  | 4  | 4  | 20    |  |
|             | B1 AD | 3  | 3  | 3  | 3  | 3  | 15    |  |
|             |       |    |    |    |    |    |       |  |
|             | С     | 1  | 1  | 1  | 1  | 1  | 5     |  |
| Two Bed     | C1    | 1  | 1  | 1  | 1  | 1  | 5     |  |
|             | C2 AD | 1  | 1  | 1  | 1  | 1  | 5     |  |
|             |       |    |    |    |    |    |       |  |
| Three Bed   | D1    | 1  | 1  | 1  | 1  | 1  | 5     |  |
| mree bed    | D2    | 1  | 1  | 1  | 1  | 1  | 5     |  |

## **PROJECT TEAM**

| OWNER/DEVELOPER |  |
|-----------------|--|

POLYGON DEVELOPMENT 237 LTD. Suite 900- 1333 W Broadway, Vancouver BC V6H 4C2

(604) 877.1131 ARCHITECT

**0.0** sq. ft.

81,313.2 sq. ft.

70,325.2 sq. ft.

10,988.0 sq. ft.

27 Units

0 Units

Bicycle - Short Term

81,313.2 sq.ft.

SHIFT ARCHITECTURE INC. Suite 200 - 1000 W 3 Street, North Vancouver BC V7P 3J6

4th Floor, 780 Beatty Street, Vancouver BC V6B 2M1

(604) 988.7501 CERTIFIED PROFESSIONAL LMDG CODE CONSULTANTS LTD.

**CIVIL ENGINEER** INTERCAD SERVICES LTD.

1111 West 8th Avenue, Vancouver BC V6H 1C5 (604) 739.7707 STRUCTURAL ENGINEER

> THOMAS LEUNG STRUCTURAL ENGINEERING INC. 121 West 6th Avenue, Vancouver BC V5Y 1K3 (604) 873.1768

MECHANICAL ENGINEER STRAITON ENGINEERING LTD. 203- 33386 South Fraser Way, Abbotsford BC V2S 2B5

**ELECTRICAL ENGINEER** NEMETZ 2009 West 4th Avenue, Vancouver BC V6J 1N3

LANDSCAPE ARCHITECT CONNECT LANDSCAPE ARCHITECTURE

(604) 736.6562

2305 Hemlock Street, Vancouver BC V6H 2V1 (604) 681.3303 ext 224

BUILDING ENVELOPE CONSULTANT

# **GEOTECHNICAL ENGINEER**

**GEOPACIFIC CONSULTANTS LTD.** 215- 1200 West 73rd Avenue, Vancouver BC V6P 6G5

(604) 439.0922 SURVEYOR

**BUTLER SUNDVICK** 4- 19089 94th Avenue, Surrey BC V4N 3S4

(604) 513.9611 ACOUSTIC CONSULTANT

DIAMOND HEAD CONSULTING 3559 Commercial Street, Vancouver BC V5B 4E8

(604) 733.4886

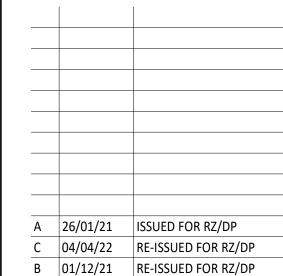
(778) 827.1062

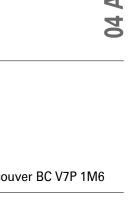
TRAFFIC CONSULTANT **GREAT NORTHERN ENGINEERING CONSULTANTS (GNEC)** 202-8525 Baxter Place, Burnaby BC V5A 4V7

# Commercial Unit Distribution - Overall Project

UNIT COUNT AND AREAS PER FLOOR

| UNIT TYPE | Areas  |    | LE      | UNITS S | UMMARY  |       |          |
|-----------|--------|----|---------|---------|---------|-------|----------|
|           | UNIT   | L1 | AREA    | L1 STOR | STORAGE | TOTAL | AREA     |
| CRU-01    | 1357.2 | 1  | 1357.2  | 0       | 0.0     | 1     | 1,357.2  |
| CRU-02    | 1155.3 | 1  | 1155.3  | 0       | 0.0     | 1     | 1,155.3  |
| CRU-03    | 1155.3 | 1  | 1155.3  | 0       | 0.0     | 1     | 1,155.3  |
| CRU-04    | 1155.3 | 1  | 1155.3  | 0       | 0.0     | 1     | 1,155.3  |
| CRU-05    | 1155.3 | 1  | 1155.3  | 0       | 0.0     | 1     | 1,155.3  |
| CRU-06    | 1170.2 | 1  | 1170.2  | 0       | 0.0     | 1     | 1,170.2  |
| CRU-07    | 842.3  | 1  | 842.3   | 0       | 0.0     | 1     | 842.3    |
| CRU-08    | 921.8  | 1  | 921.8   | 0       | 0.0     | 1     | 921.8    |
| CRU-09    | 924.1  | 1  | 924.1   | 0       | 0.0     | 1     | 924.1    |
| CRU-10    | 1137.2 | 1  | 1137.2  | 0       | 0.0     | 1     | 1,137.2  |
|           |        | 10 | 10974.0 | 0       | 0.0     | 10    | 10,974.0 |





## **DESIGN RATIONALE**

### **Relationship to context**

The mixed-use residential/ commercial proposal will replace the former low-density service commercial within the Marine Drive Frequent Transit Development Area. The proposed development provides lot-line to lot-line commercial units, a community amenity in the form of a daycare, and new opportunities for home ownership along the Marine Drive corridor with access to public transit. Redevelopment of this site will play a vital role in enhancing the pedestrian-friendly, and streetscape within a transit-supportive environment.

### **Building Massing / Materials**

Building on previous successful collaborations between Polygon Homes and Shift Architecture, the proposed development seeks to enrich the community by supporting and enhancing the existing urban fabric. The architecture of the development intentionally seeks to create forms which embody a strong base, middle and top. Given the overall scale of the project, the architectural massing of the project also seeks to reduce the scale of the project into smaller, more easily understood components that serve to enliven the existing urban composition. This approach is consistent on all facades of the development.

Cladding is chosen to enhance the massing: the commercial base of the development is rendered in a rich ironspot brick. A filagree of decorative painted structural columns serve to define individual storefronts, while supporting complementary opportunities for signage above the continuous glazing of the commercial frontage.

The lighter, painted cementitious cladding of the residential levels counters the deeper brick base of the commercial level. The middle or "body" of the architecture is defined by frames and shrouds which gather balconies while subdividing and articulating the massing. The exterior faces of these frames and shrouds are clad in a prefinished metal while their interior faces feature wood-like cladding. The soffits of the balconies are gathered by frames also clad in wood-like material as are the soffits of the shroud elements, creating a cohesive element to the project

A decorative perforated metal screen on the South elevation reinforces the datum line created at the upper level and further defines the head of the building. Glass and aluminum guards are utilized for most balconies while perforated metal screen is utilized within the guards at level five, to the West of the residential entry. The resulting architecture of the project is well-defined, current, and significant.

## **Indoor and Outdoor Amenities**

Indoor and outdoor amenities have been provided for the residents of the development at grade at the northeast corner of the building and site. The north facing amenity room features near floor to ceiling glazing and a direct connection to the residential outdoor amenity to the north. A deep sheltering overhang offers protection from the elements while extending opportunities for activities and gathering to spill outdoors during inclement weather. In tandem, the ground oriented amenity and the exterior amenity will create a social focus for the residents while establishing a strong sense of community within the development.

## **Public Amenities**

A diverse array of public amenities surround the site and are accessible to future residents and business owners of the development. Mosquito Creek Park, Haywood Park, and Spirit trail leading to Lonsdale Quay to the East and Ambleside to West are at walking and cycling distance. Shopping, restaurants, cafes, outdoor events, galleries, farmers markets, walk-in clinics encircle the site and create a healthy, vibrant and sustainable neighborhood.

The commercial amenities of the development will provide commercial services, local employment and a community hub.

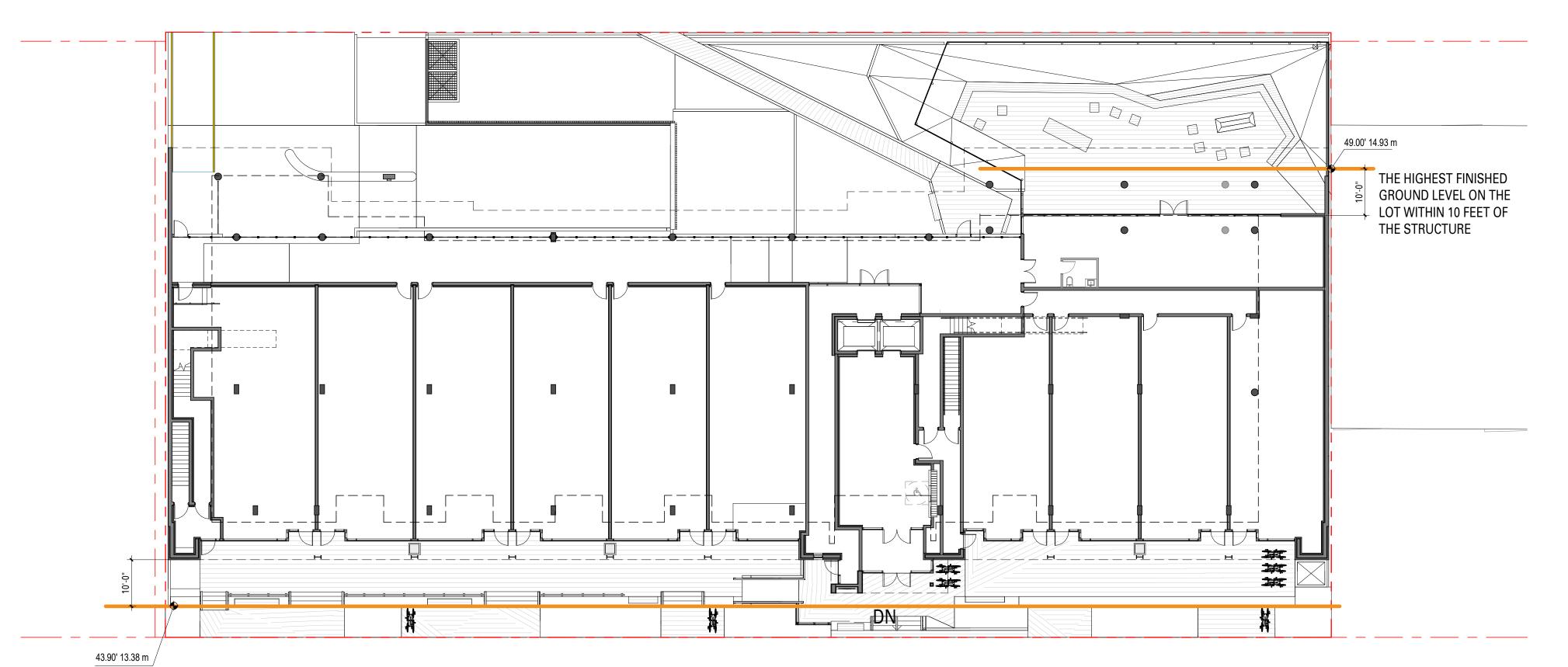
## Crime prevention through environmental design

The mixed-use function of the building inherently facilitates crime prevention, adding eyes on the street at different times of the day. Light fixtures through out the landscaping, particularly at the lane, create a safer environment at night.

The combination of daycare and landscaped area to the North activates the laneway while still maintaining privacy and security. The open concept of the commercial platform in the front and the secured underground parkade meet CPTED requirements by maximizing openness and visibility through the floor area.

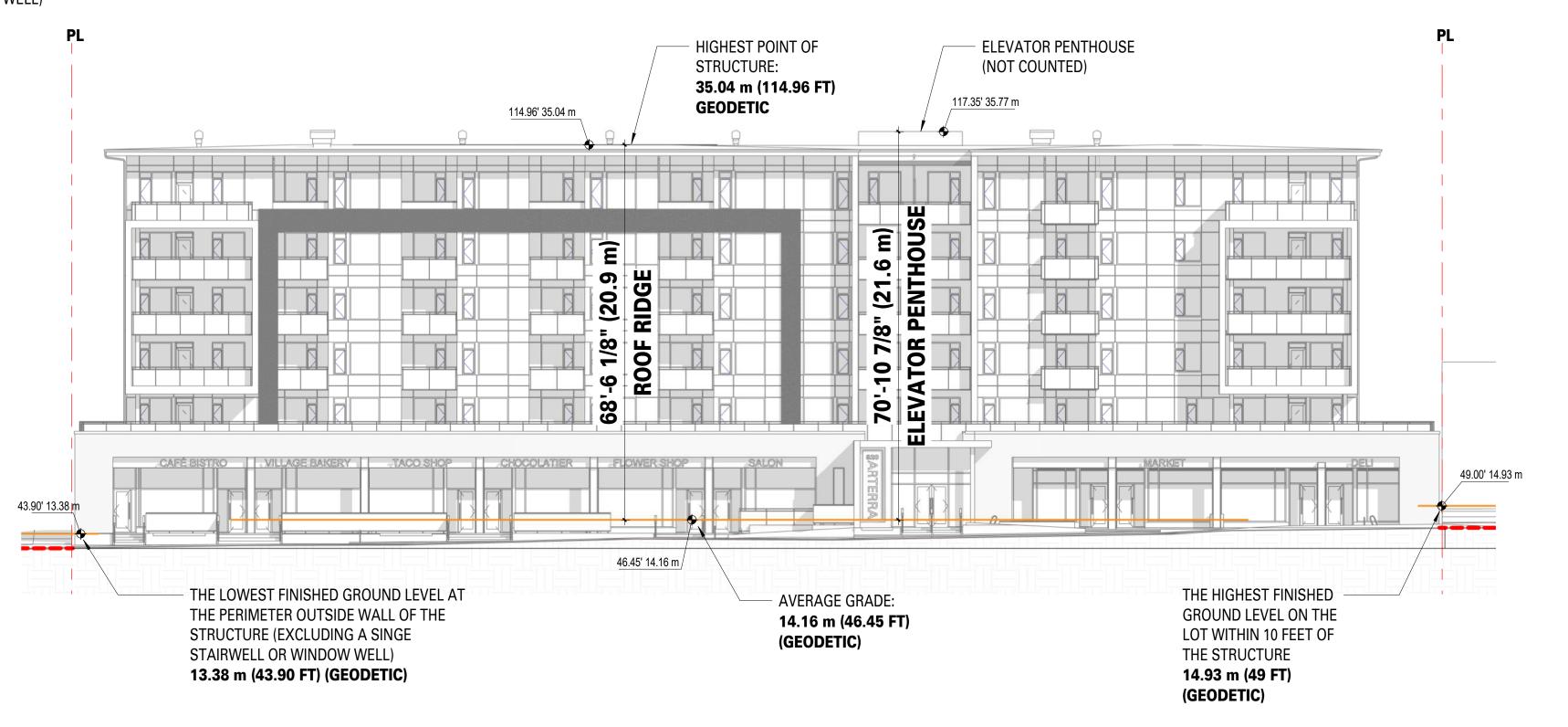
## Open space and Landscape treatment

The open area in front of the CRUs is set back from 15th street west. The border of the CRU platform gradually steps up with a few low rising stairs and is accentuated with different paving materials, planters and linear stepped seating and benches. This differentiation is soft and gradual and designed to create an inviting and vibrant podium for pedestrian, shoppers and local community to rest, sit, eat, relax, shop and enjoy the local businesses.



THE LOWEST FINISHED
GROUND LEVEL AT THE
PERIMETER OUTSIDE WALL OF
THE STRUCTURE (EXCLUDING
A SINGE STAIRWELL OR
WINDOW WELL)

AVERAGE GRADE CALCULATIONS



SOUTH ELEVATION (BUILDING HEIGHT CALCS)

1/16" = 1'-0"



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| С   | 04/04/22 | RE-ISSUED FOR RZ/DP |
| В   | 01/12/21 | RE-ISSUED FOR RZ/DP |
| No. | Date     | Revision Notes      |



Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner

Polygon Development 237 Ltd.

Sheet Title

DESIGN RATIONALE

Reviewed by App

Project Number 2003

Plot Date 2021/01/22

Scale Issue/Revision

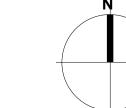
1/16" = 1'-0"

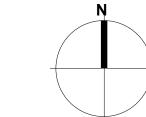
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Issue Date

04/04/22





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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



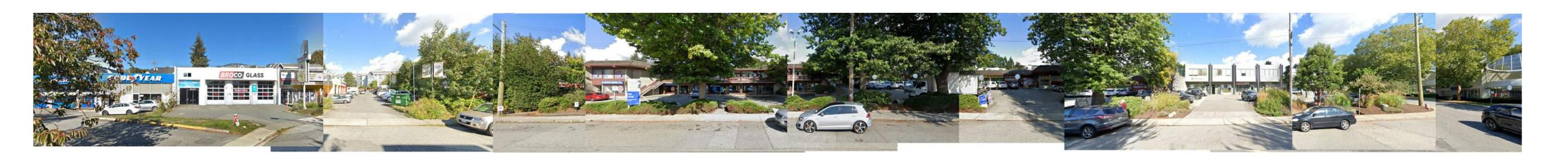
Polygon Development 237 Ltd.

SITE CONTEXT

Plot Date 2021/01/22

Sheet Number





## 1. 15TH STREET W, LOOKING NORTH - PROJECT SIDE OF STREET



2. 15TH STREET W, LOOKING SOUTH



3. LOOKING EAST AT SITE





5. AT LANE LOOKING SOUTH - PROJECT SIDE OF LANE



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Project Title
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820 W 15th St, North Vancouver BC V7P 1M6



Polygon Development 237 Ltd.

Sheet Title
CONTEXT IMAGES

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VIEW FROM SOUTH- 15TH STREET



VIEW FROM SW CORNER- 15TH STREET
PERSPECTIVE VIEW FROM SE- 15TH STREET



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No. Date Revision Notes

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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner

Polygon Development 237 Ltd.

Sheet Title
PERSPECTIVES

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Project Number 2003

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PERSPECTIVE VIEW- CRUs PERSPECTIVE VIEW FROM SOUTH- 15TH STREET



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No. Date Revision Notes

Project Title **PH NV 15** 

820 W 15th St, North Vancouver BC V7P 1M6



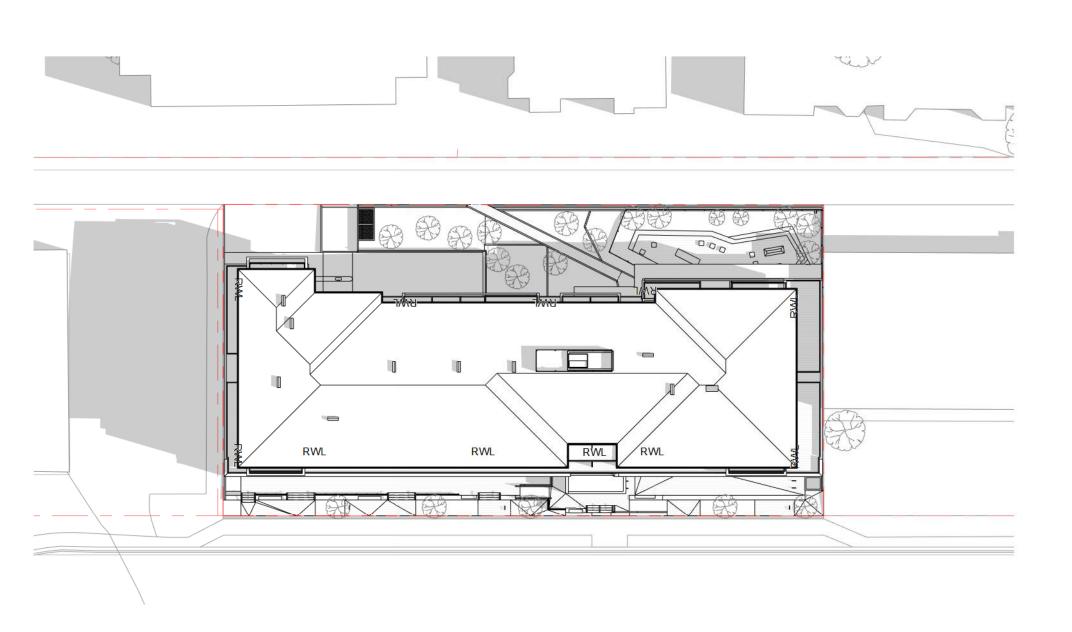
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**PERSPECTIVES** 

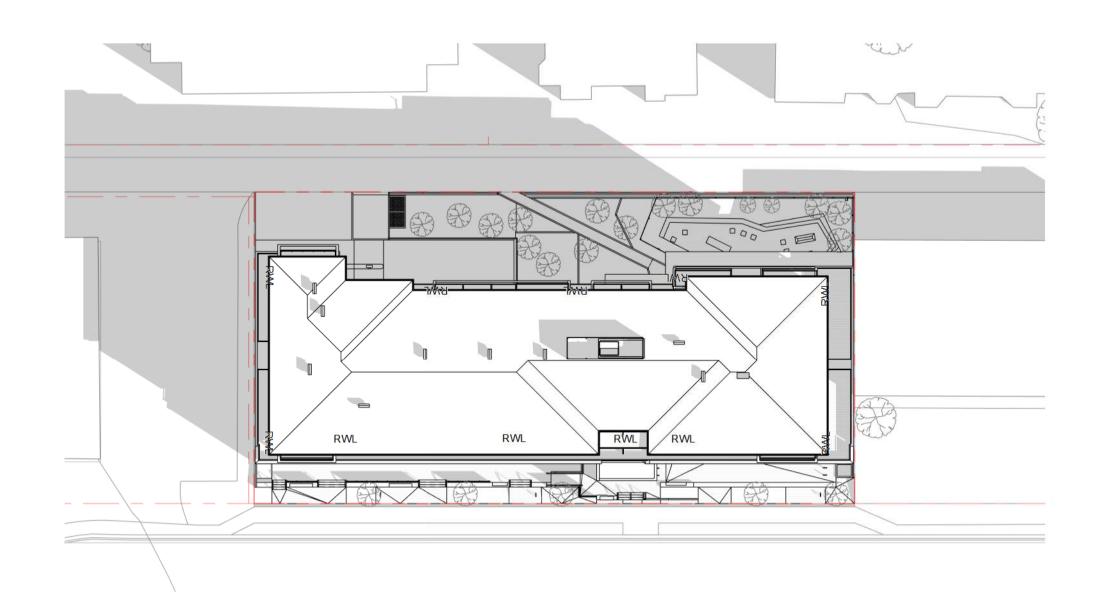
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Plot Date 2021/01/22

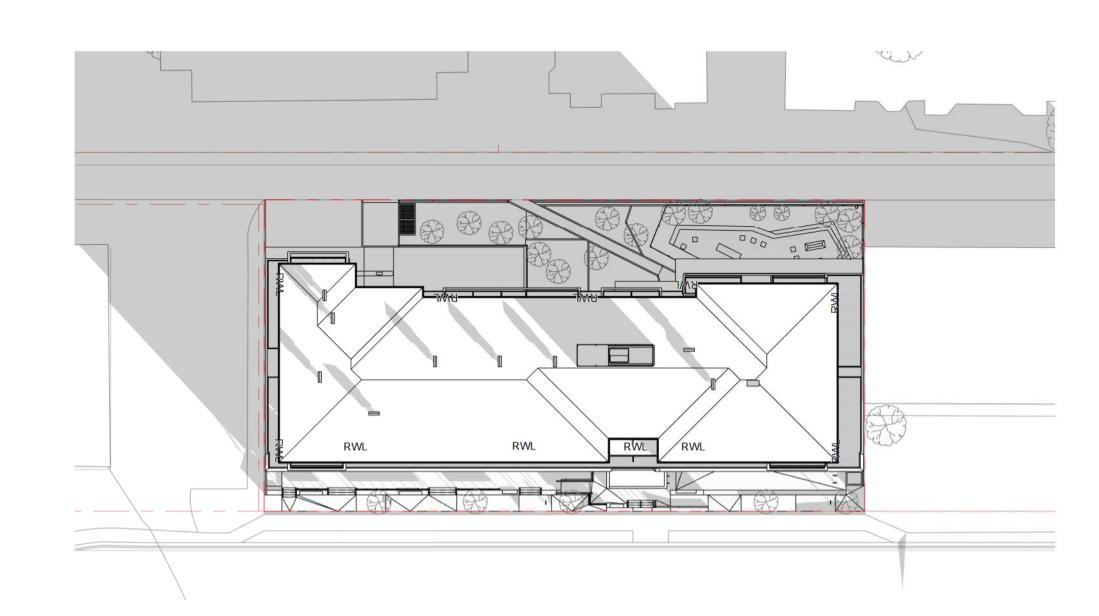
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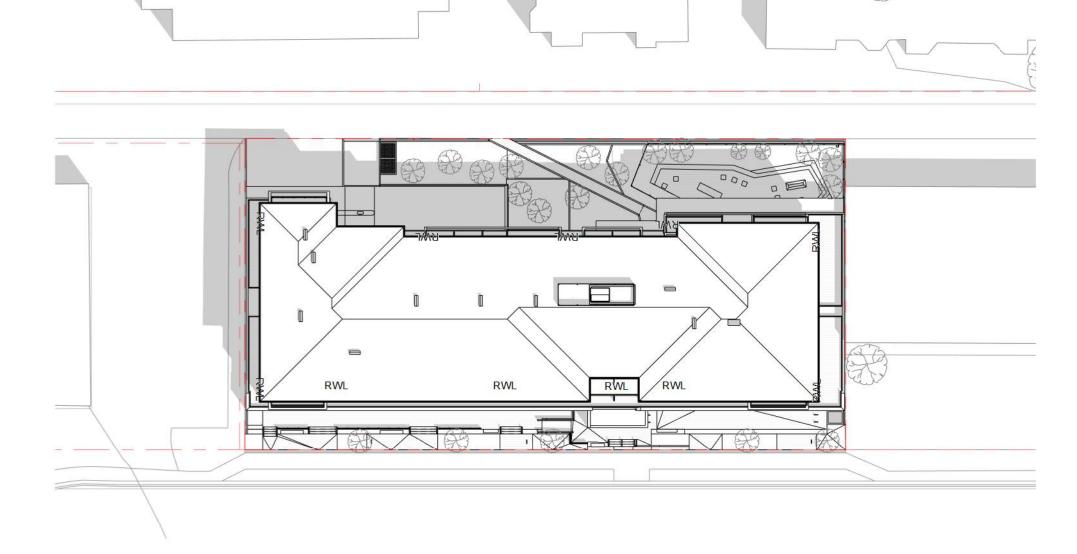
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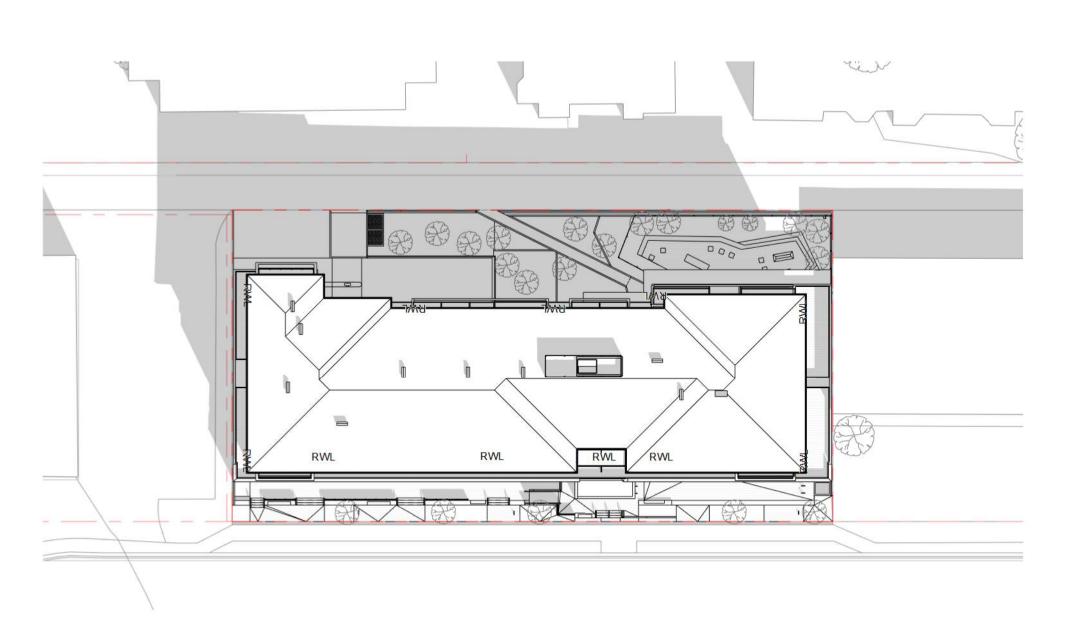
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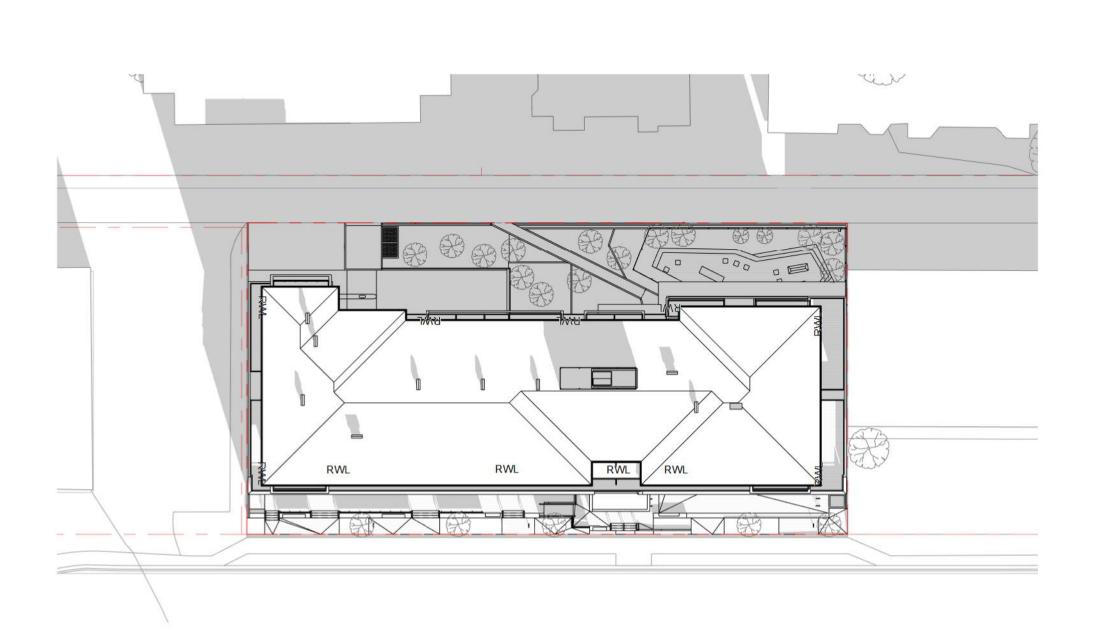
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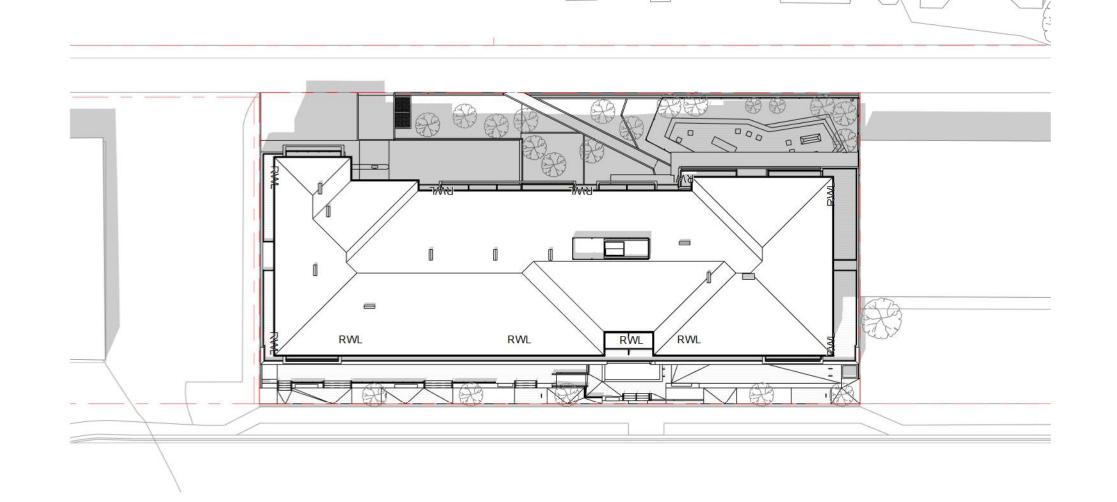
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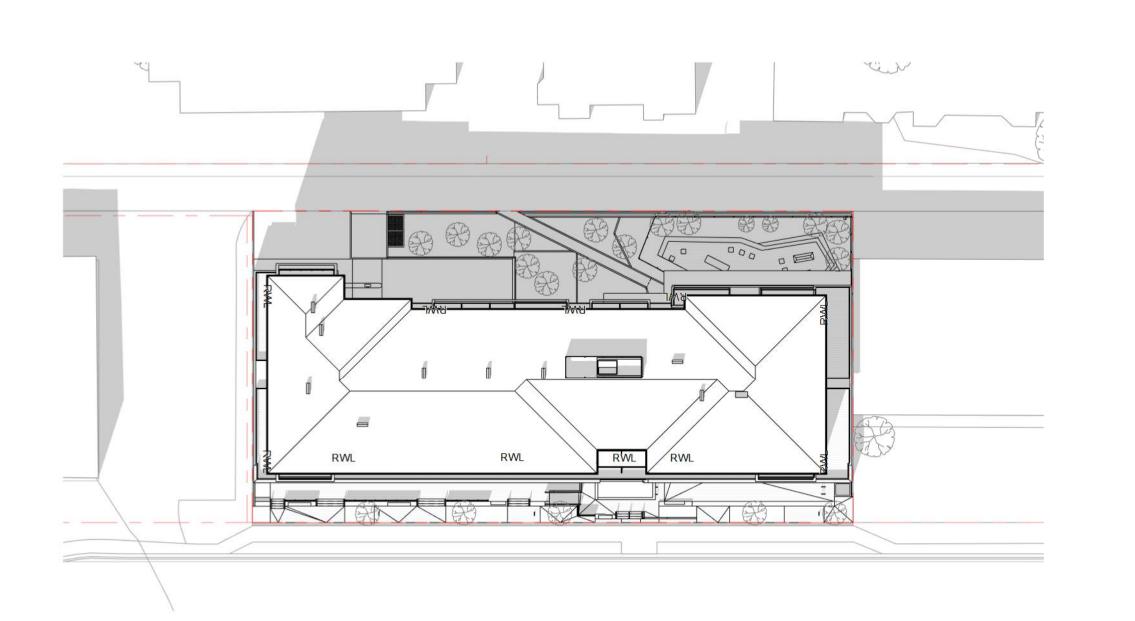
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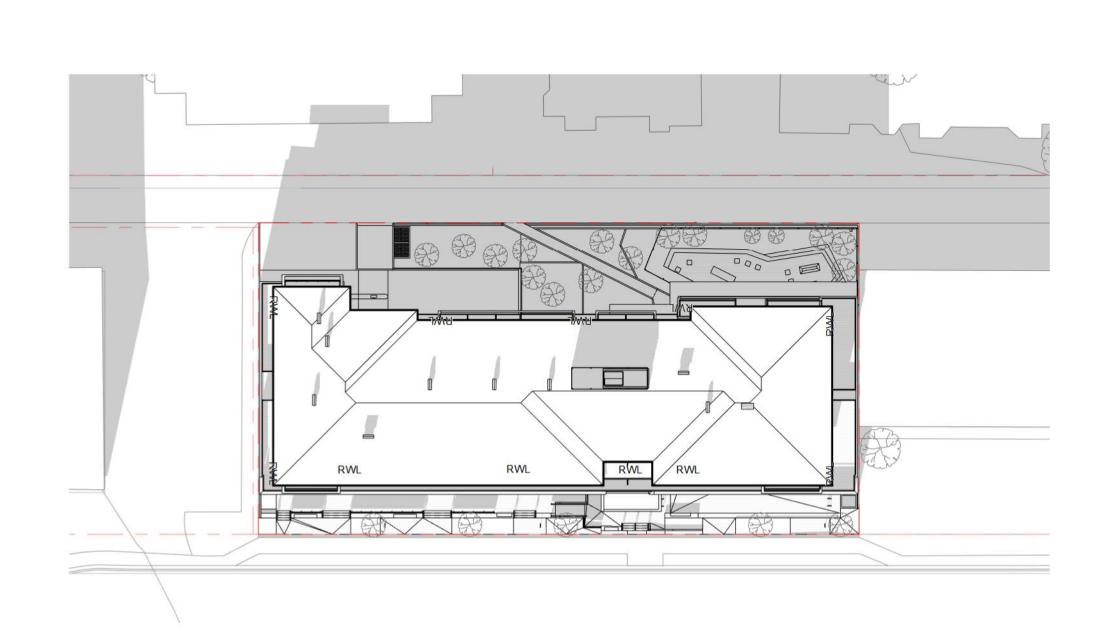
SHADOW STUDY - DECEMBER 21st (12pm)



SHADOW STUDY - JUNE 21st (2pm)



SHADOW STUDY - SEPT / MARCH 21st (2pm)



SHADOW STUDY - DECEMBER 21st (2pm)



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Polygon Development 237 Ltd.

Sheet Title
SHADOW STUDIES

Drawn By LC
Reviewed by Approver

Project Number
2003

Plot Date 2021/01/22

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1" = 40'-0"

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3 AERIAL FROM SE



2 AERIAL FROM NW



4 AERIAL FROM SW



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No. Date Revision Notes

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6

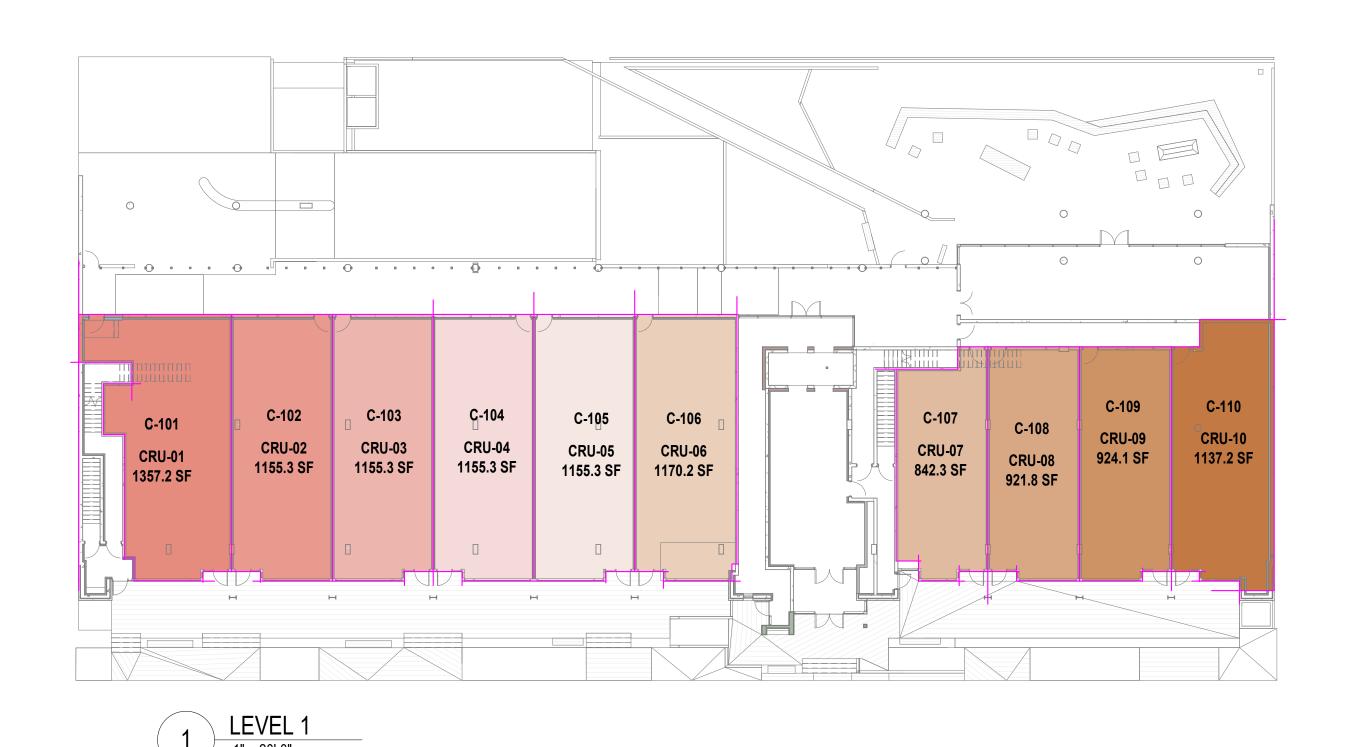


Polygon Development 237 Ltd.

**AERIAL VIEWS** 

Plot Date 2021/01/22

Sheet Number

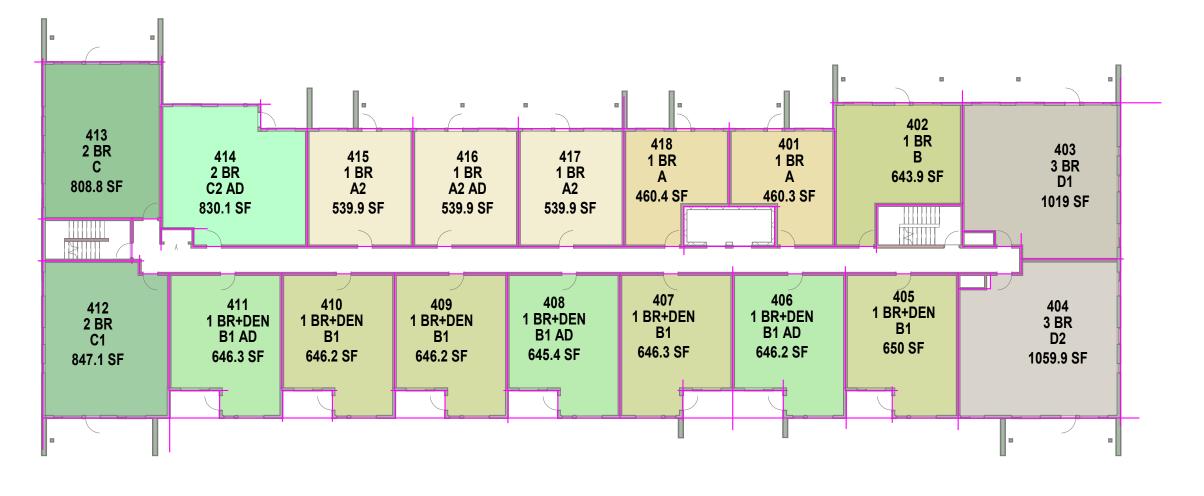


1 BR B 643 SF

205 1 BR+DEN B1 650 SF

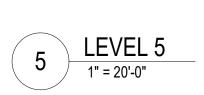
1013.6 SF

1054.4 SF









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|----------|----------|----------|----------|----------|----------|----------|----------|-----------|
| 613      | 614      | 615      | 616      | 617      | 618      | 601      | 602      | 603       |
| 2 BR     | 2 BR     | 1 BR     | 3 BR      |
| C        | C2 AD    | A2       | A2 AD    | A2       | A        | A        | B        | D1        |
| 808.8 SF | 830.1 SF | 539.9 SF | 539.9 SF | 539.9 SF | 460.4 SF | 460.3 SF | 643.9 SF | 1013.6 SF |
| 612      | 611      | 610      | 609      | 608      | 607      | 606      | 605      | 604       |
| 2 BR     | 1 BR+DEN | 3 BR      |
| C1       | B1 AD    | B1       | B1       | B1 AD    | B1       | B1 AD    | B1       | D2        |
| 847.1 SF | 646.3 SF | 646.2 SF | 646.2 SF | 645.4 SF | 646.3 SF | 646.2 SF | 650 SF   | 1054.4 SF |
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| 6 | LEVEL 6     |  |
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| 313<br>2.BB           | 314                       | 315                    | 316                       | 317                      | 318<br>1 PP           | 301<br>1 BR              | 302<br>1 BR<br>B      | 303                   |
| 2 BR<br>C<br>808.8 SF | 2 BR<br>C2 AD<br>830.1 SF | 1 BR<br>A2<br>539.9 SF | 1 BR<br>A2 AD<br>539.9 SF | 1 BR<br>A2<br>539.9 SF   | 1 BR<br>A<br>460.4 SF | 460.3 SF                 | 643.9 SF              | 3 BR<br>D1<br>1019 SF |
|                       | ,                         |                        |                           |                          |                       |                          |                       |                       |
| 312<br>2 BR<br>C1     | 311<br>1 BR+DEN<br>B1 AD  | 310<br>1 BR+DEN<br>B1  | 309<br>1 BR+DEN<br>B1     | 308<br>1 BR+DEN<br>B1 AD | 307<br>1 BR+DEN<br>B1 | 306<br>1 BR+DEN<br>B1 AD | 305<br>1 BR+DEN<br>B1 | 304<br>3 BR<br>D2     |
| 847.1 SF              | 646.3 SF                  | 646.2 SF               | 646.2 SF                  | 645.4 SF                 | 646.3 SF              | 646.2 SF                 | 650 SF                | 1059.9 SF             |

217 1 BR A2 539.9 SF

208 1 BR+DEN B1 AD 645.4 SF

207 1 BR+DEN B1

646.3 SF

206 1 BR+DEN B1 AD

646.2 SF

216 1 BR

A2 AD 539.9 SF

209 1 BR+DEN B1

A2 539.9 SF

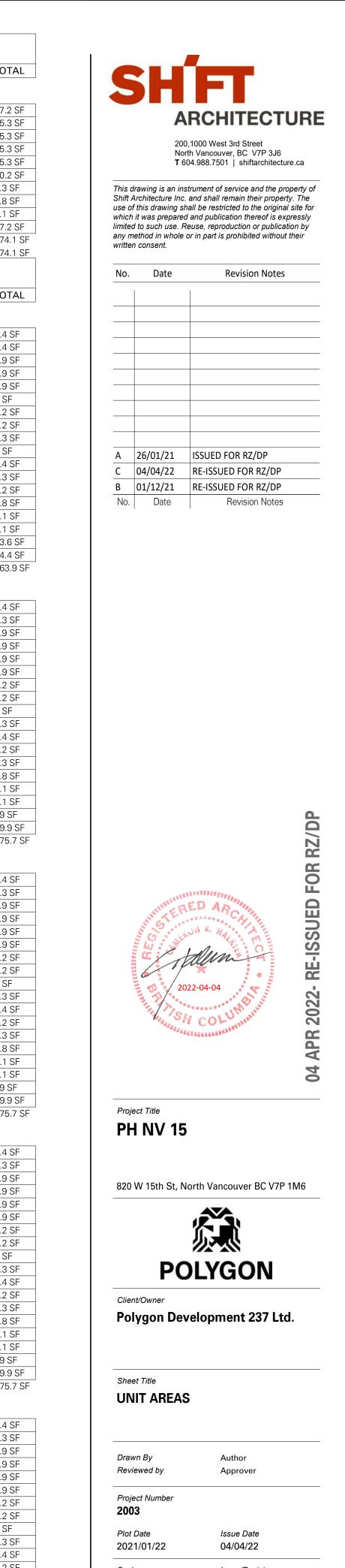
210 1 BR+DEN B1

214 2 BR C2 AD

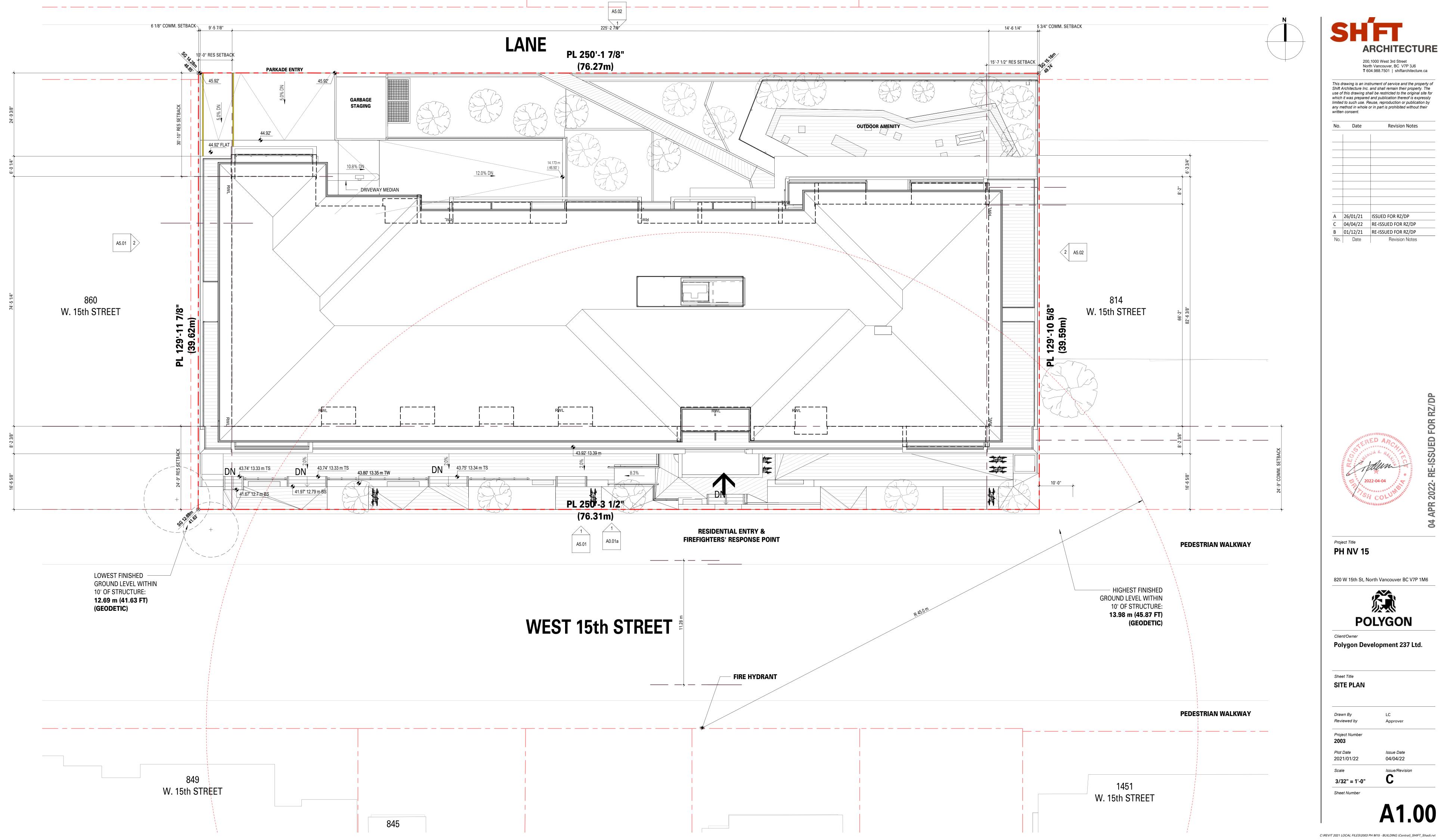
830.1 SF

| Typo                    |                      | chedule (Comm            |          | TOTAL                    |
|-------------------------|----------------------|--------------------------|----------|--------------------------|
| Type                    | Name                 | Area                     | Floors   | TOTAL                    |
| EVEL 1<br>CRU-01        | CRU-01               | 1357.2 SF                | 1        | 1357.2 SF                |
| CRU-02                  | CRU-02               | 1155.3 SF                | 1        | 1155.3 SF                |
| CRU-03<br>CRU-04        | CRU-03               | 1155.3 SF<br>1155.3 SF   | 1        | 1155.3 SF<br>1155.3 SF   |
| CRU-05                  | CRU-05               | 1155.3 SF                | 1        | 1155.3 SF                |
| CRU-06                  | CRU-06               | 1170.2 SF                | 1        | 1170.2 SF                |
| CRU-07<br>CRU-08        | CRU-07<br>CRU-08     | 842.3 SF<br>921.8 SF     | 1        | 842.3 SF<br>921.8 SF     |
| CRU-09                  | CRU-09               | 924.1 SF                 | 1        | 924.1 SF                 |
| CRU-10                  | CRU-10               | 1137.2 SF                | 1        | 1137.2 SF                |
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| _                       |                      |                          | -        |                          |
| Type                    | Name                 | Area                     | Floors   | TOTAL                    |
| EVEL 2                  | 1.00                 | 400 4 CF                 | 1        | 400 4 05                 |
| 4                       | 1 BR<br>1 BR         | 460.4 SF<br>460.4 SF     | 1        | 460.4 SF<br>460.4 SF     |
| <b>\</b> 2              | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF                 |
| \2<br>\2 AD             | 1 BR<br>1 BR         | 539.9 SF<br>539.9 SF     | 1        | 539.9 SF<br>539.9 SF     |
| 3                       | 1 BR                 | 643 SF                   | 1        | 643 SF                   |
| 31                      | 1 BR+DEN             | 646.2 SF                 | 1        | 646.2 SF                 |
| 31<br>31                | 1 BR+DEN<br>1 BR+DEN | 646.2 SF<br>646.3 SF     | 1        | 646.2 SF<br>646.3 SF     |
| 31                      | 1 BR+DEN             | 650 SF                   | 1        | 650 SF                   |
| 31 AD                   | 1 BR+DEN             | 645.4 SF                 | 1        | 645.4 SF                 |
| 31 AD<br>31 AD          | 1 BR+DEN<br>1 BR+DEN | 646.3 SF<br>646.2 SF     | 1        | 646.3 SF<br>646.2 SF     |
| C                       | 2 BR                 | 808.8 SF                 | 1        | 808.8 SF                 |
| C1                      | 2 BR                 | 847.1 SF                 | 1        | 847.1 SF                 |
| C2 AD<br>D1             | 2 BR<br>3 BR         | 830.1 SF<br>1013.6 SF    | 1        | 830.1 SF<br>1013.6 SF    |
| 02                      | 3 BR                 | 1013.6 SF<br>1054.4 SF   | 1        | 1013.6 SF<br>1054.4 SF   |
|                         |                      | 12263.9 SF               | 18       | 12263.9 SF               |
| EVEL 3                  |                      |                          | - 1      |                          |
| Δ                       | 1 BR                 | 460.4 SF                 | 1        | 460.4 SF                 |
| 4<br>42                 | 1 BR<br>1 BR         | 460.3 SF<br>539.9 SF     | 1 1      | 460.3 SF<br>539.9 SF     |
| 42                      | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF                 |
| A2 AD                   | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF                 |
| 3<br>31                 | 1 BR<br>1 BR+DEN     | 643.9 SF<br>646.2 SF     | 1        | 643.9 SF<br>646.2 SF     |
| 31                      | 1 BR+DEN             | 646.2 SF                 | 1        | 646.2 SF                 |
| 31                      | 1 BR+DEN             | 650 SF                   | 1        | 650 SF                   |
| 31<br>31 AD             | 1 BR+DEN<br>1 BR+DEN | 646.3 SF<br>645.4 SF     | 1        | 646.3 SF<br>645.4 SF     |
| 31 AD                   | 1 BR+DEN             | 646.2 SF                 | 1        | 646.2 SF                 |
| 31 AD                   | 1 BR+DEN<br>2 BR     | 646.3 SF                 | 1        | 646.3 SF                 |
| C1                      | 2 BR                 | 808.8 SF<br>847.1 SF     | 1<br>1   | 808.8 SF<br>847.1 SF     |
| C2 AD                   | 2 BR                 | 830.1 SF                 | 1        | 830.1 SF                 |
| D1<br>D2                | 3 BR<br>3 BR         | 1019 SF<br>1059.9 SF     | 1        | 1019 SF<br>1059.9 SF     |
| · <del>-</del>          | 1                    | 12275.7 SF               | 18       | 12275.7 SF               |
| LEVEL 4                 |                      |                          |          |                          |
| Д                       | 1 BR                 | 460.4 SF                 | 1        | 460.4 SF                 |
| <u>4</u><br>42          | 1 BR<br>1 BR         | 460.3 SF<br>539.9 SF     | 1        | 460.3 SF<br>539.9 SF     |
| 42<br>42                | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF<br>539.9 SF     |
| A2 AD                   | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF                 |
| В                       | 1 BR                 | 643.9 SF                 | 1        | 643.9 SF                 |
| B1<br>B1                | 1 BR+DEN<br>1 BR+DEN | 646.2 SF<br>646.2 SF     | 1        | 646.2 SF<br>646.2 SF     |
| B1                      | 1 BR+DEN             | 650 SF                   | 1        | 650 SF                   |
| B1                      | 1 BR+DEN             | 646.3 SF                 | 1        | 646.3 SF                 |
| B1 AD<br>B1 AD          | 1 BR+DEN<br>1 BR+DEN | 645.4 SF<br>646.2 SF     | 1        | 645.4 SF<br>646.2 SF     |
| 31 AD                   | 1 BR+DEN             | 646.3 SF                 | 1        | 646.3 SF                 |
| 21                      | 2 BR                 | 808.8 SF                 | 1        | 808.8 SF                 |
| C1<br>C2 AD             | 2 BR<br>2 BR         | 847.1 SF<br>830.1 SF     | 1        | 847.1 SF<br>830.1 SF     |
| <b>)</b> 1              | 3 BR                 | 1019 SF                  | 1        | 1019 SF                  |
| 02                      | 3 BR                 | 1059.9 SF<br>12275.7 SF  | 1 18     | 1059.9 SF<br>12275.7 SF  |
|                         |                      | . Z Z / U. / UI          | .0       | ,,O./ OI                 |
| LEVEL 5                 | 1 BR                 | 460.4 SF                 | 1        | 460.4 SF                 |
| 4                       | 1 BR                 | 460.3 SF                 | 1        | 460.3 SF                 |
| \2<br>\2                | 1 BR<br>1 BR         | 539.9 SF<br>539.9 SF     | 1        | 539.9 SF<br>539.9 SF     |
| 42 AD                   | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF<br>539.9 SF     |
| 3                       | 1 BR                 | 643.9 SF                 | 1        | 643.9 SF                 |
| 31<br>31                | 1 BR+DEN<br>1 BR+DEN | 646.2 SF<br>646.2 SF     | 1        | 646.2 SF<br>646.2 SF     |
| 31                      | 1 BR+DEN             | 650 SF                   | 1        | 650 SF                   |
| 31                      | 1 BR+DEN             | 646.3 SF                 | 1        | 646.3 SF                 |
| B1 AD<br>B1 AD          | 1 BR+DEN<br>1 BR+DEN | 645.4 SF<br>646.2 SF     | 1        | 645.4 SF<br>646.2 SF     |
| B1 AD                   | 1 BR+DEN             | 646.3 SF                 | 1        | 646.3 SF                 |
| C                       | 2 BR                 | 808.8 SF                 | 1        | 808.8 SF                 |
| C1<br>C2 AD             | 2 BR<br>2 BR         | 847.1 SF<br>830.1 SF     | 1        | 847.1 SF<br>830.1 SF     |
| D1                      | 3 BR                 | 1019 SF                  | 1        | 1019 SF                  |
| 02                      | 3 BR                 | 1059.9 SF                | 1        | 1059.9 SF                |
|                         |                      | 12275.7 SF               | 18       | 12275.7 SF               |
| LEVEL 6                 | 1 RP                 | 160 4 CF                 | 1        | 460 4 SE                 |
| <u>4</u><br>4           | 1 BR<br>1 BR         | 460.4 SF<br>460.3 SF     | 1<br>1   | 460.4 SF<br>460.3 SF     |
| 42                      | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF                 |
| \2<br>\2 AD             | 1 BR                 | 539.9 SF                 | 1        | 539.9 SF                 |
| A2 AD<br>3              | 1 BR<br>1 BR         | 539.9 SF<br>643.9 SF     | 1        | 539.9 SF<br>643.9 SF     |
| 31                      | 1 BR+DEN             | 646.2 SF                 | 1        | 646.2 SF                 |
| 31                      | 1 BR+DEN             | 646.2 SF                 | 1        | 646.2 SF                 |
| 31<br>31                | 1 BR+DEN<br>1 BR+DEN | 650 SF<br>646.3 SF       | 1        | 650 SF<br>646.3 SF       |
| 31<br>31 AD             | 1 BR+DEN             | 645.4 SF                 | 1        | 646.3 SF<br>645.4 SF     |
| 31 AD                   | 1 BR+DEN             | 646.2 SF                 | 1        | 646.2 SF                 |
| 31 AD                   | 1 BR+DEN             | 646.3 SF                 | 1        | 646.3 SF                 |
|                         | 2 BR<br>2 BR         | 808.8 SF<br>847.1 SF     | 1        | 808.8 SF<br>847.1 SF     |
|                         |                      |                          | 1        | 847.1 SF<br>830.1 SF     |
| C1                      | 2 BR                 | 830.1 SF                 |          | 000.1 01                 |
| C1<br>C2 AD<br>D1       | 3 BR                 | 1013.6 SF                | 1        | 1013.6 SF                |
| C1<br>C2 AD<br>D1<br>D2 |                      |                          |          |                          |

Area Schedule (Commercial)



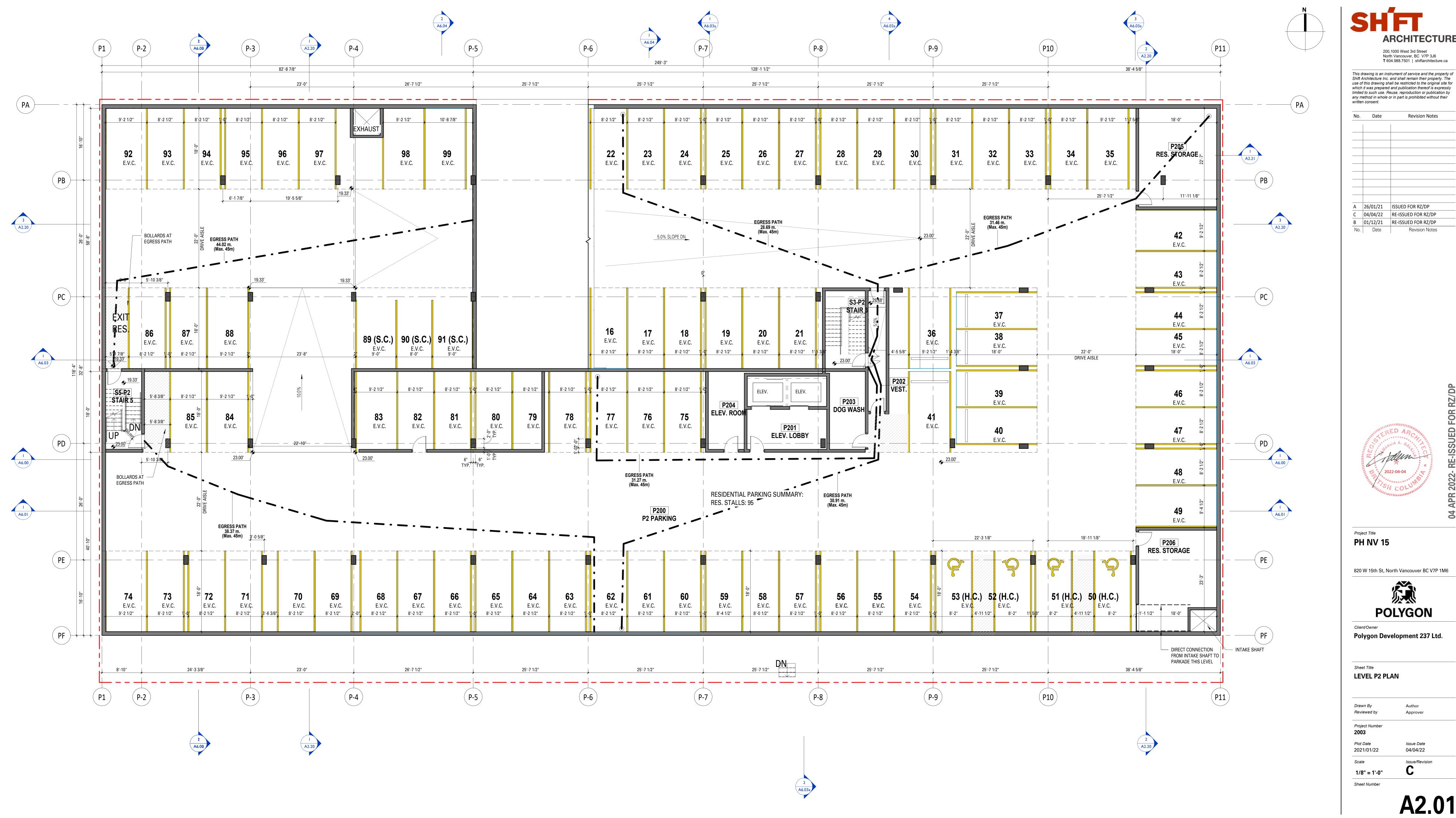
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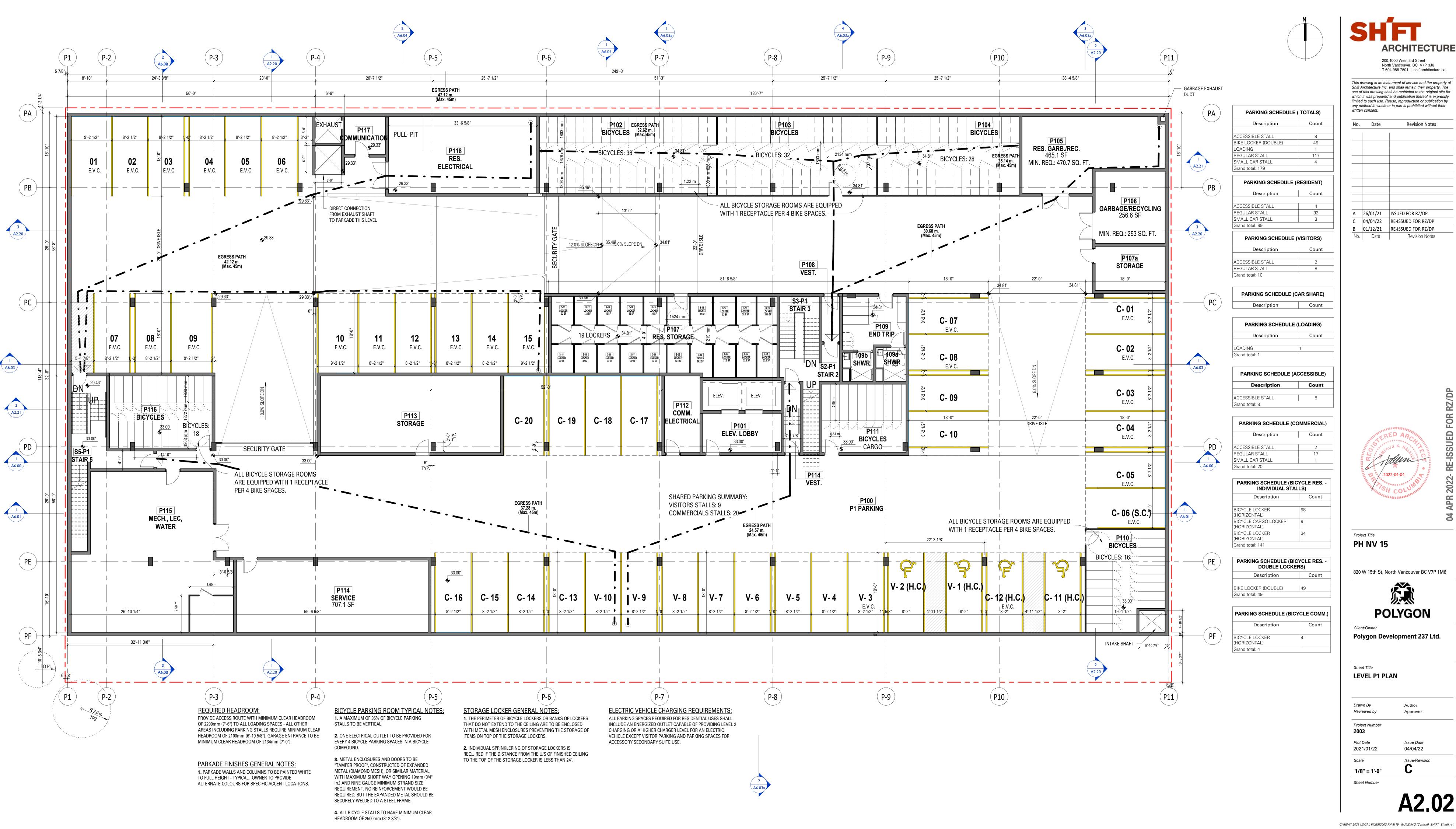


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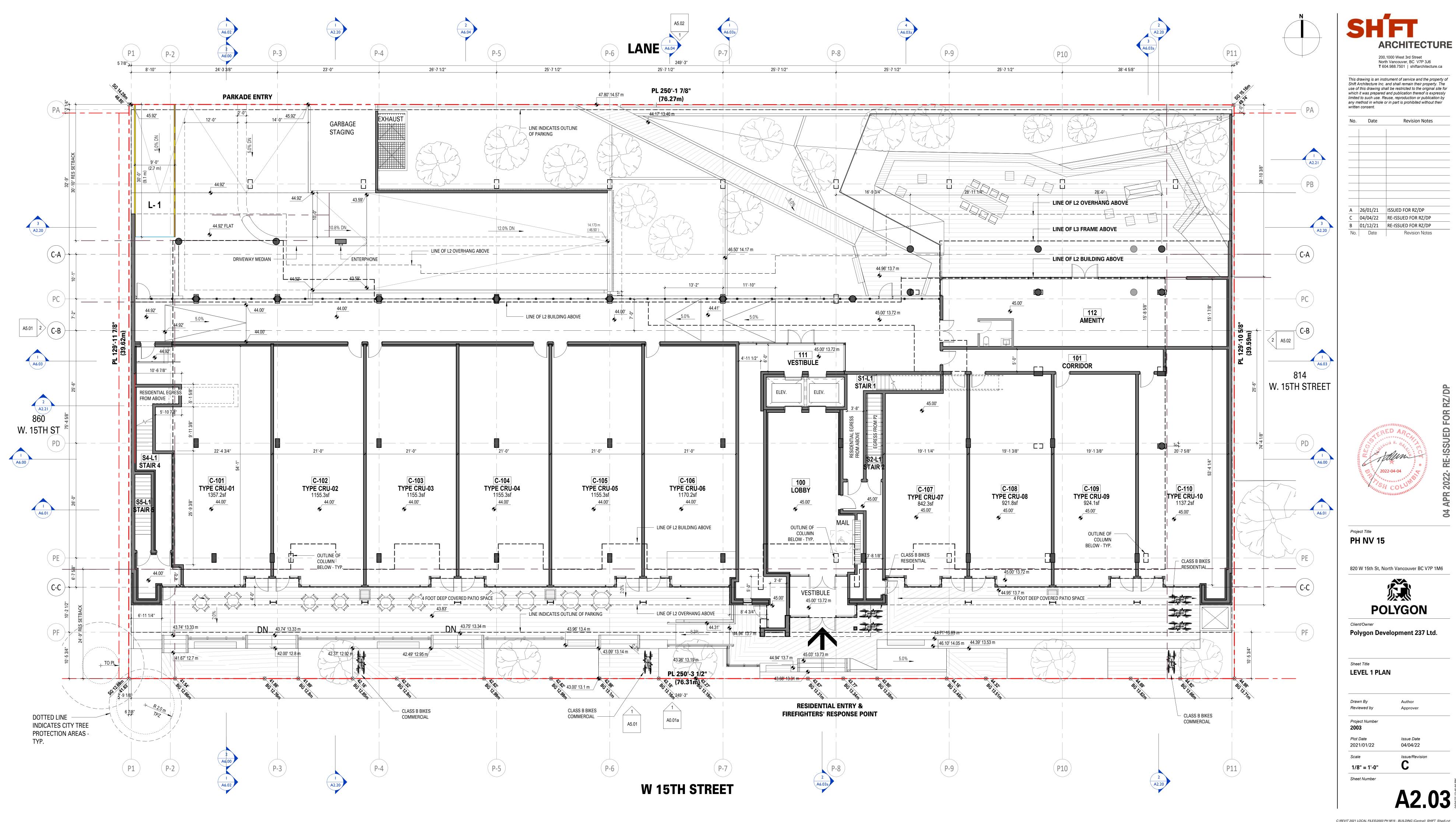


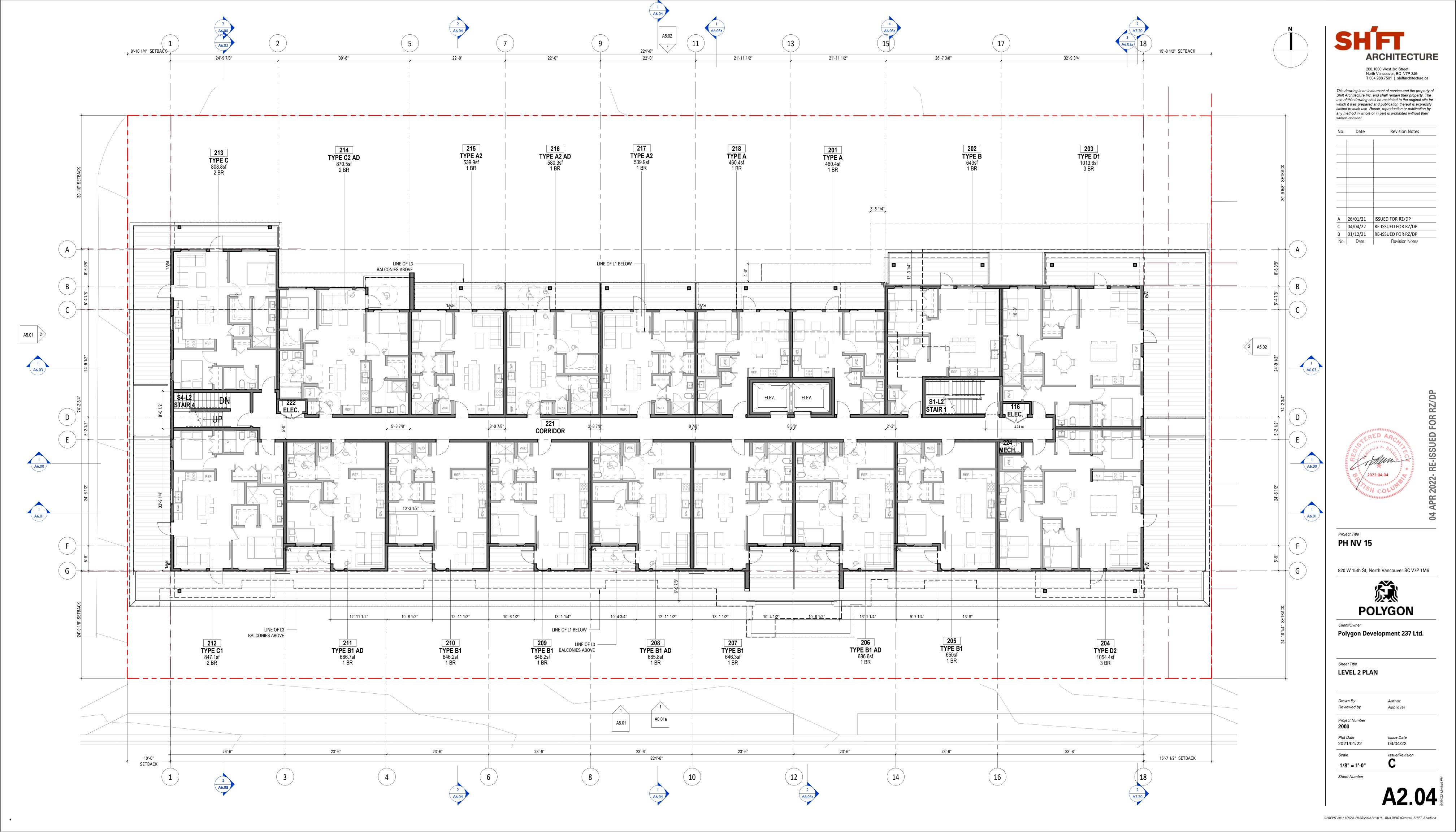
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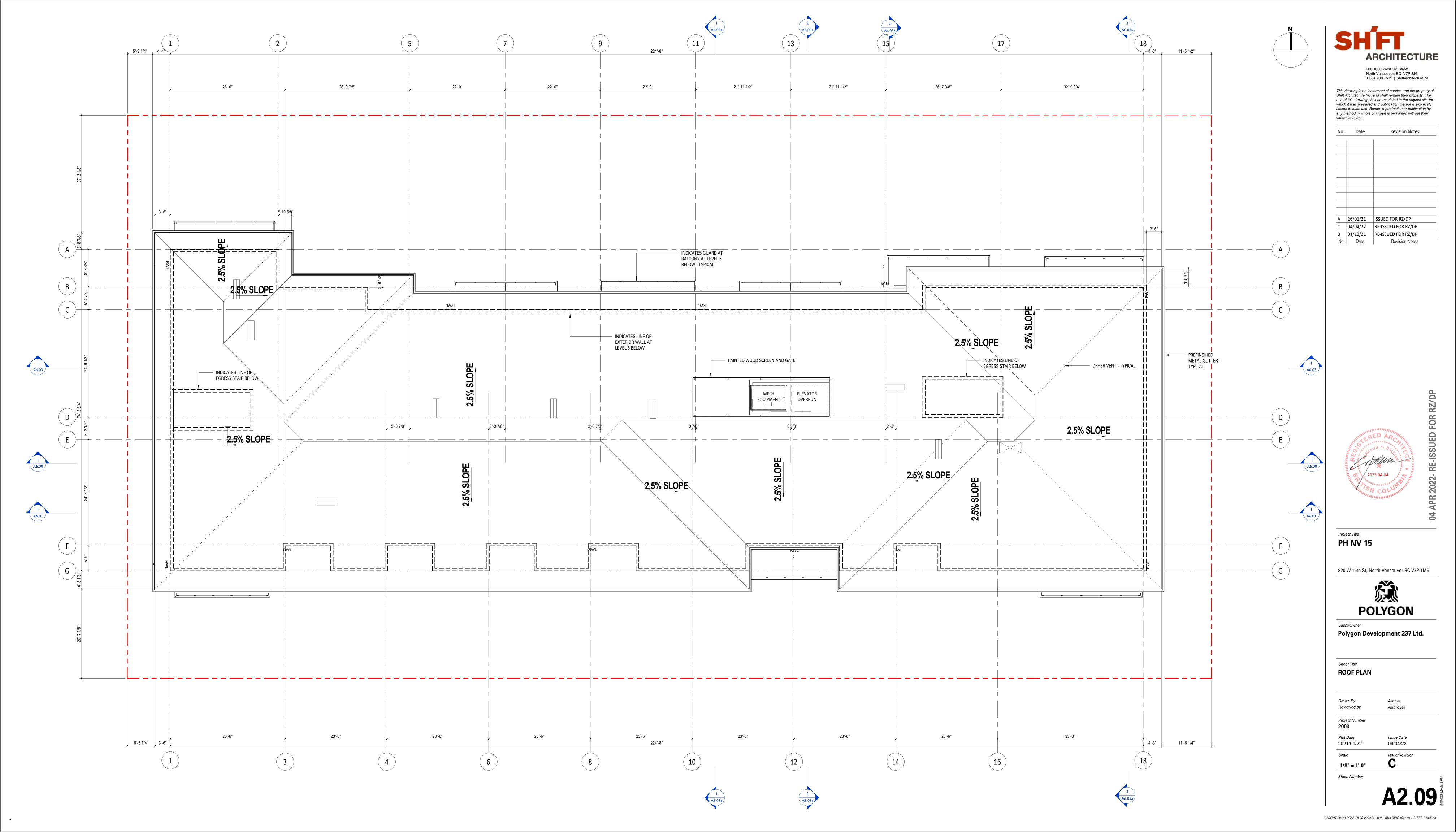
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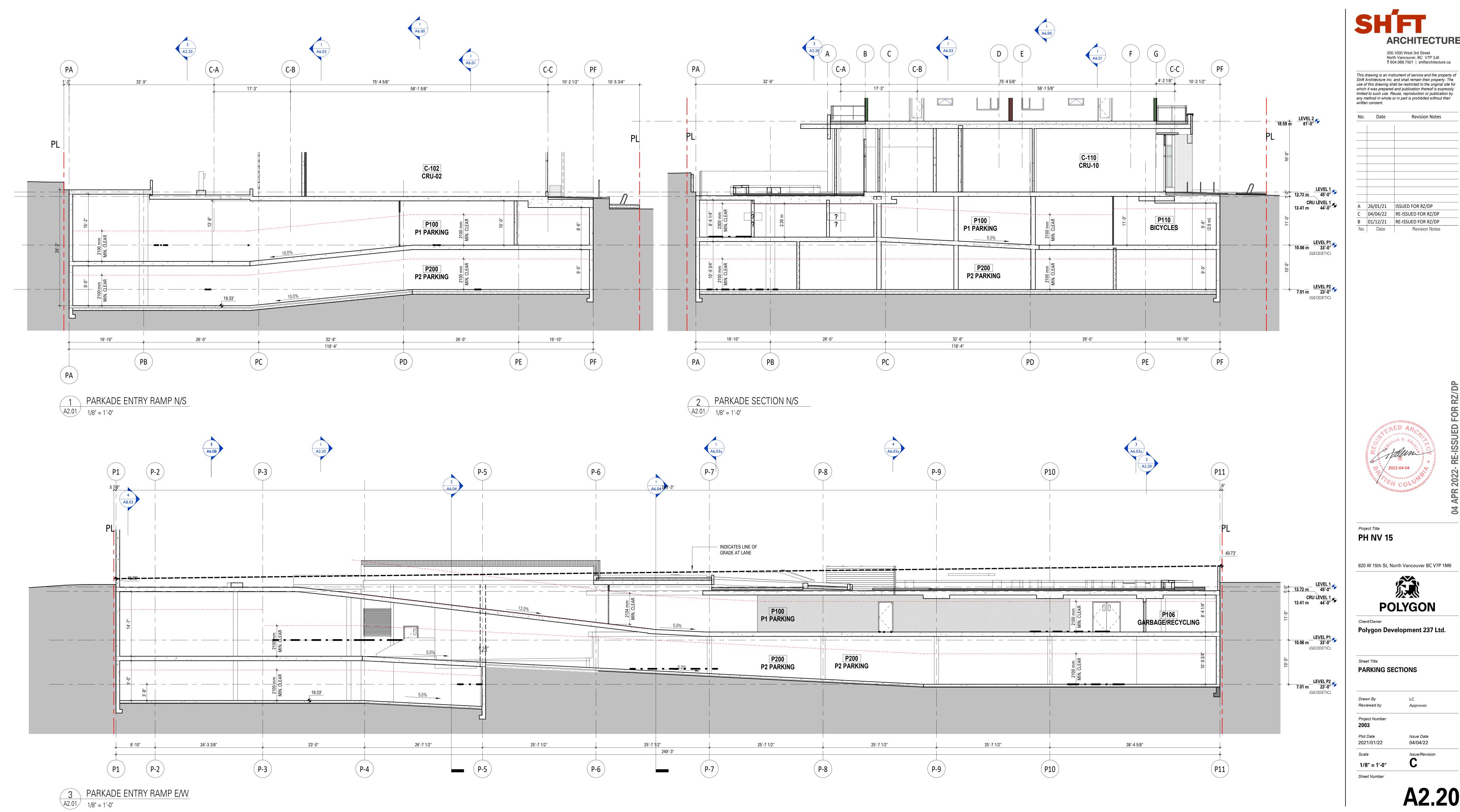


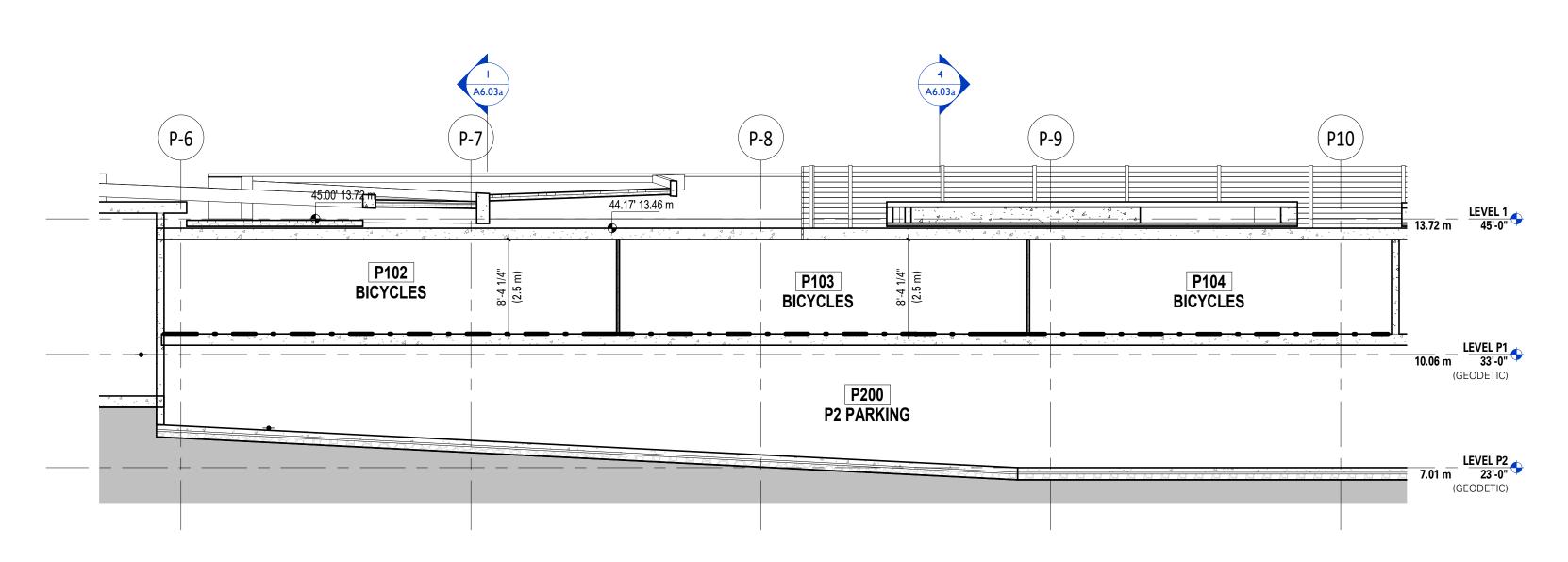






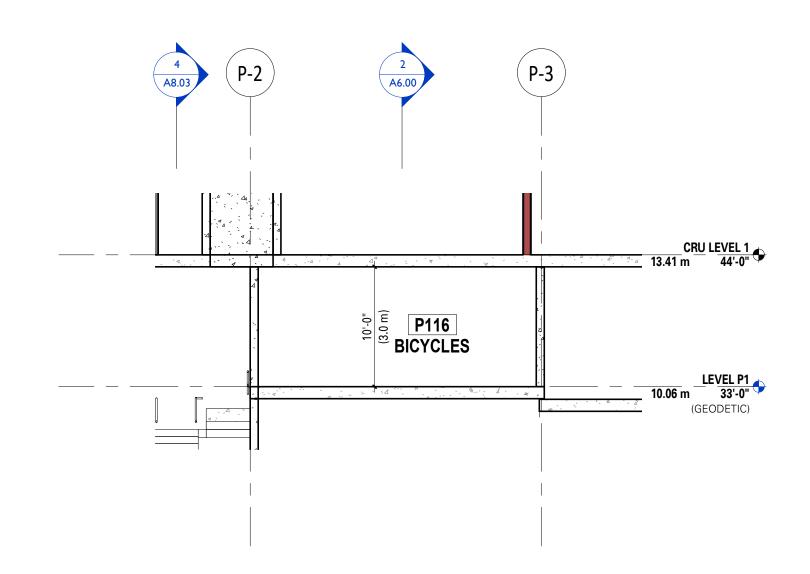






SECTION AT BICYCLE STORAGE P102-4

1/8" = 1'-0"



2 SECTION AT BICYCLE STORAGE P116
1/8" = 1'-0"



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| No. | Date     | Revision Notes      |



Project Title

PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Polygon Development 237 Ltd.

Sheet Title
PARKING SECTIONS AT
BICYCLE STORAGES

Drawn Ry Author

Reviewed by App
Project Number

Project Number
2003

Plot Date
2021/01/22

2021/01/22 04/04/22

Scale Issue/Revision

1/8" = 1'-0"

1/8" = 1'-0"

Sheet Number

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**PH NV 15** 

820 W 15th St, North Vancouver BC V7P 1M6



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**ELEVATIONS** 

Reviewed by

Project Number

Plot Date 2021/01/22

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Issue Date

04/04/22





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Project Title

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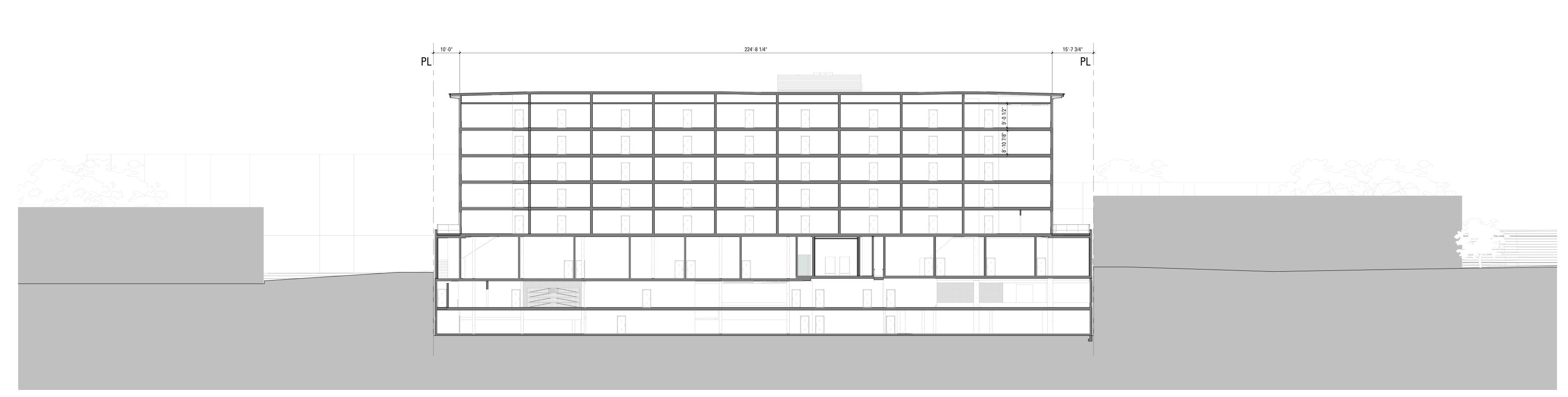


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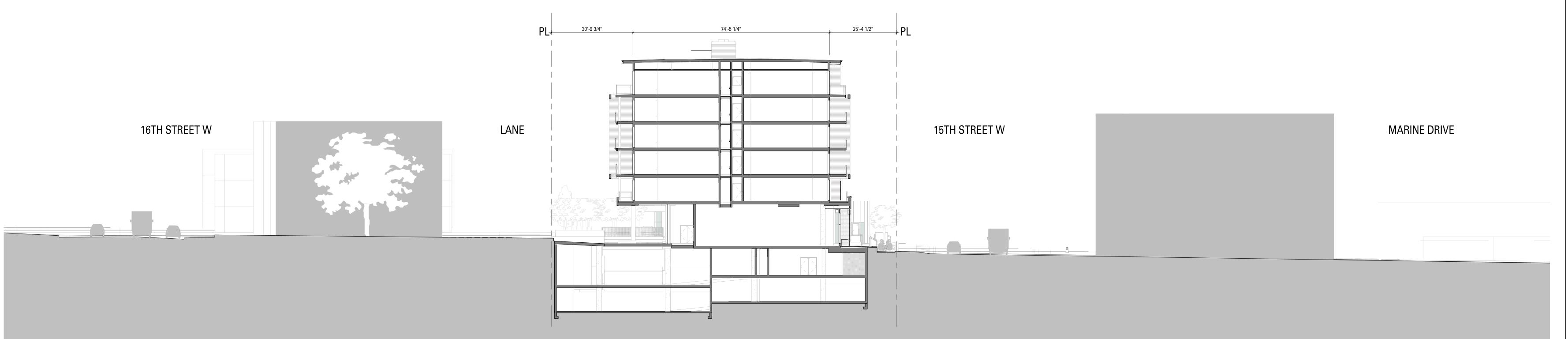
Project Number

Plot Date 2021/01/22 04/04/22

1/8" = 1'-0"



E-W SITE SECTION



N-S SITE SECTION



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



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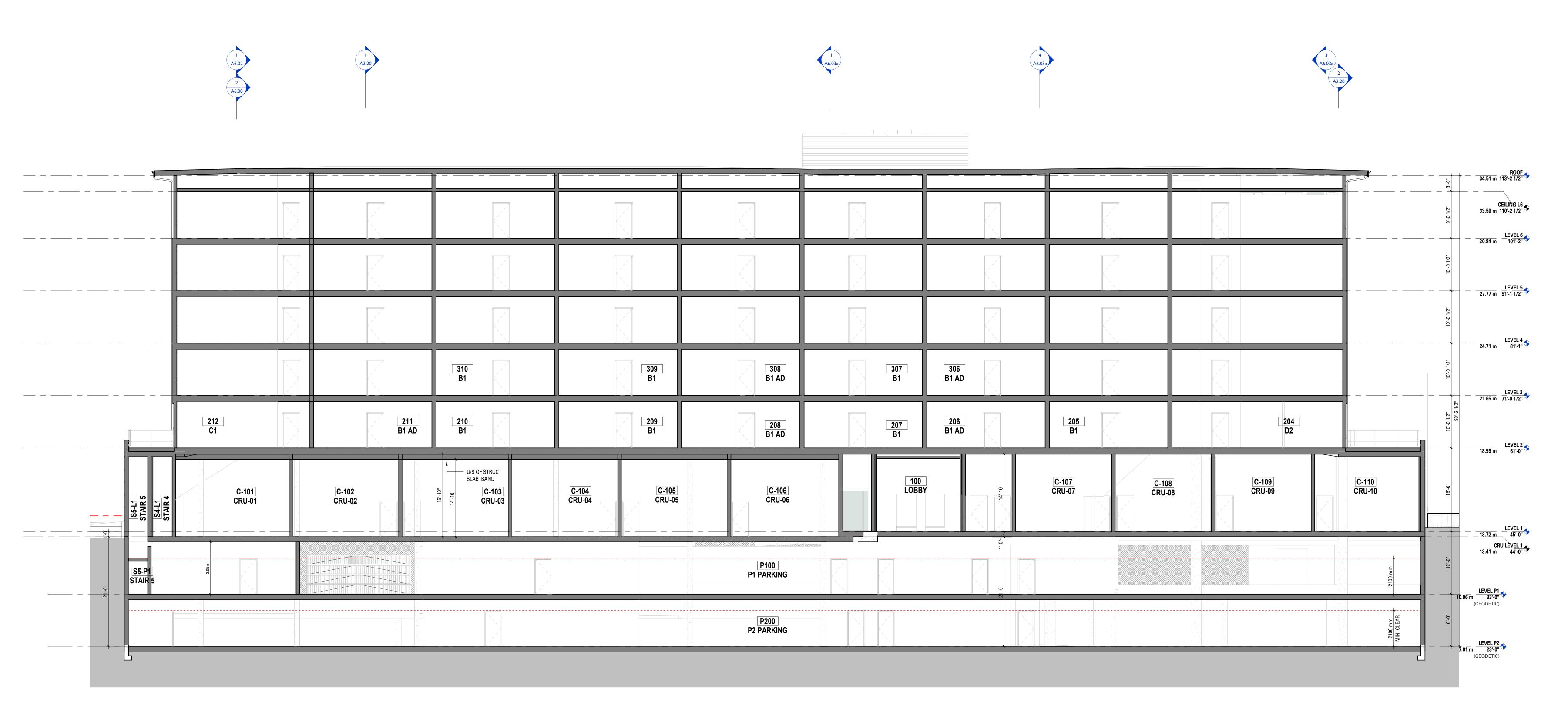
SITE SECTIONS

Project Number **2003** Plot Date 2021/01/22

1/16" = 1'-0"

Sheet Number

04/04/22







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Project Title **PH NV 15** 

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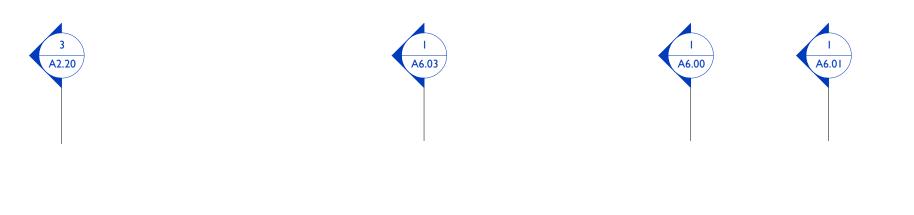
**BUILDING SECTIONS** 

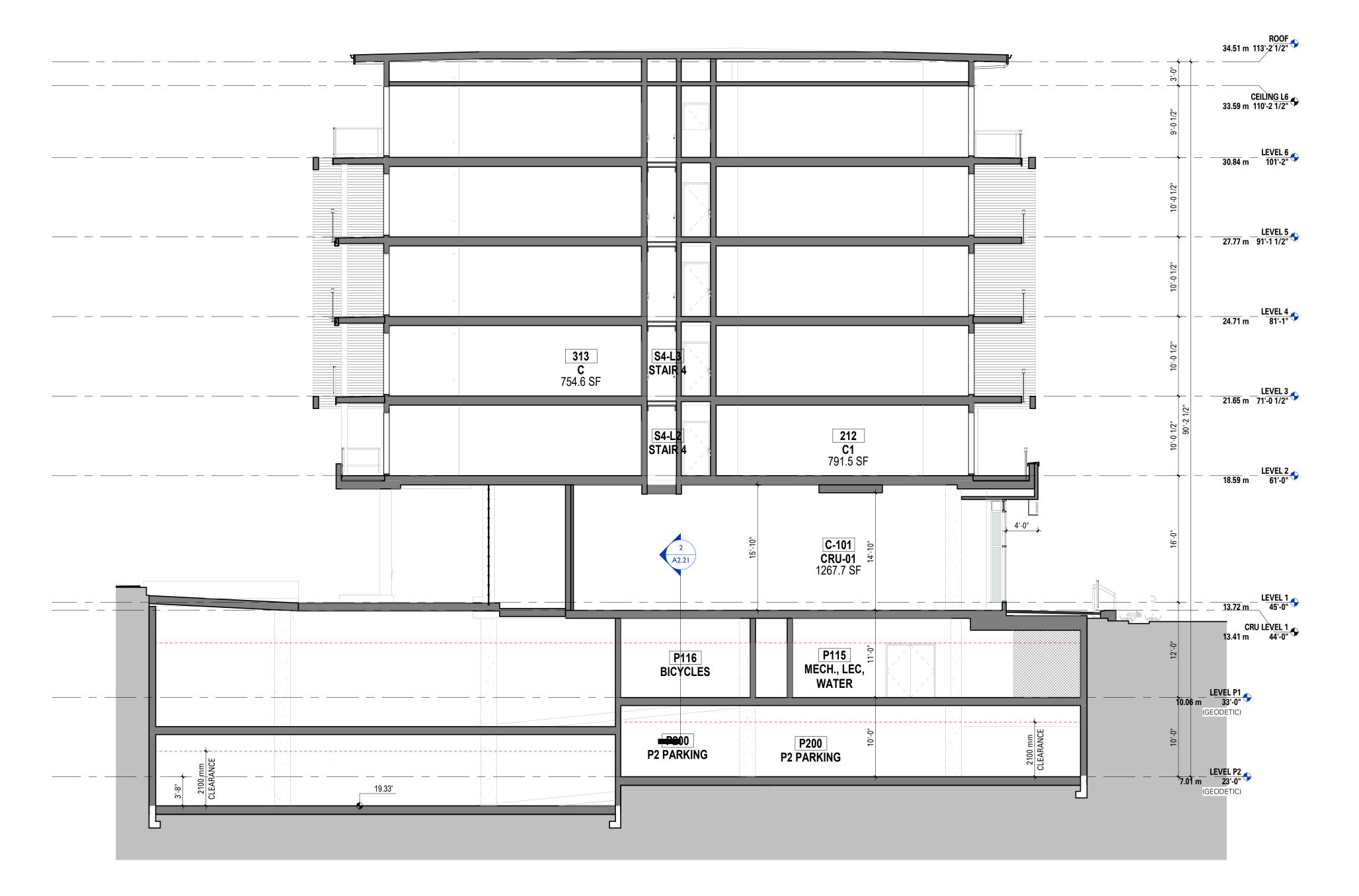
Reviewed by

Project Number **2003** Plot Date

Issue Date 2021/01/22 04/04/22

1/8" = 1'-0" Sheet Number





1 TYPICAL N-S SECTION AT BUILDING
1/8" = 1'-0"



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Polygon Development 237 Ltd.

**BUILDING SECTIONS** 

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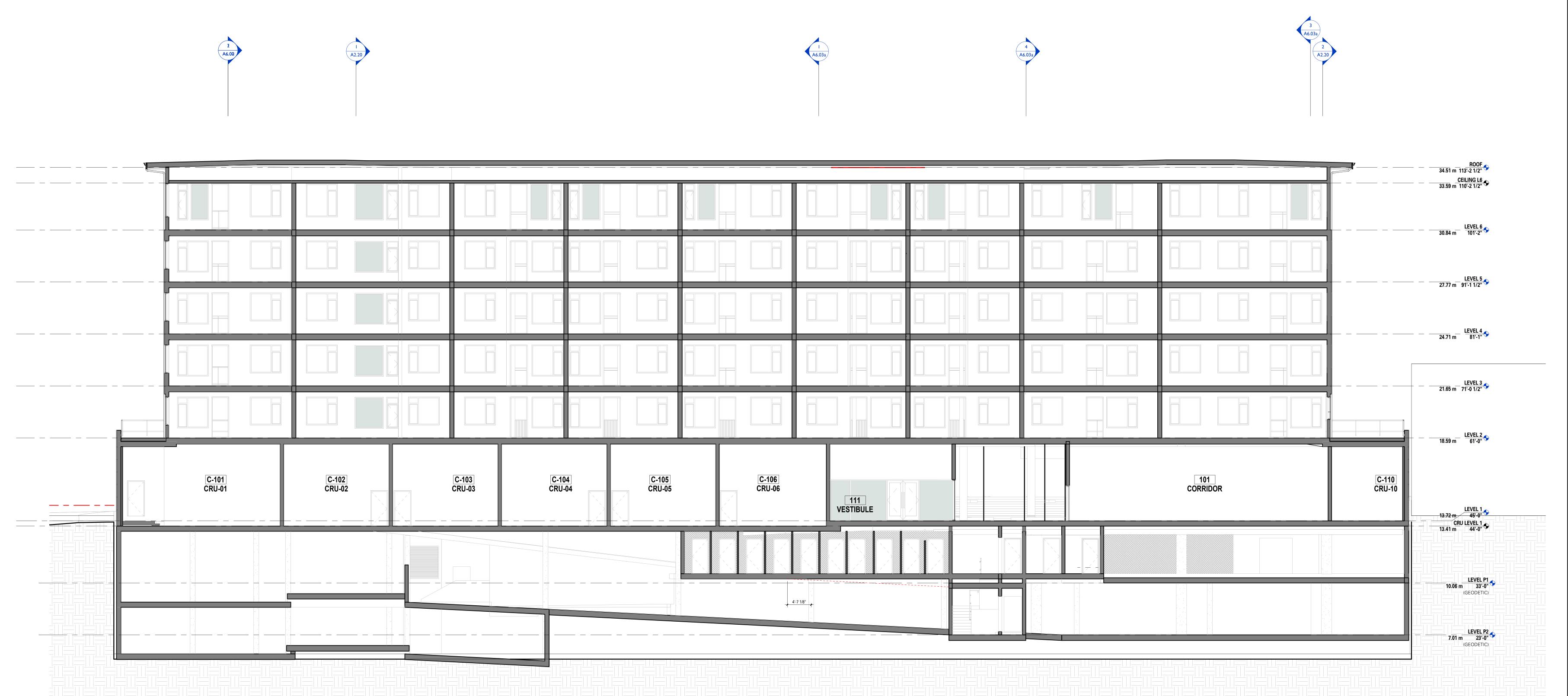
Plot Date 2021/01/22

1/8" = 1'-0"

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Issue Date

04/04/22



E-W SECTION AT DAYCARE & CORRIDOR 101

1/8" = 1'-0"



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner

Polygon Development 237 Ltd.

Sheet Title
BUILDING SECTIONS

Project Number
2003

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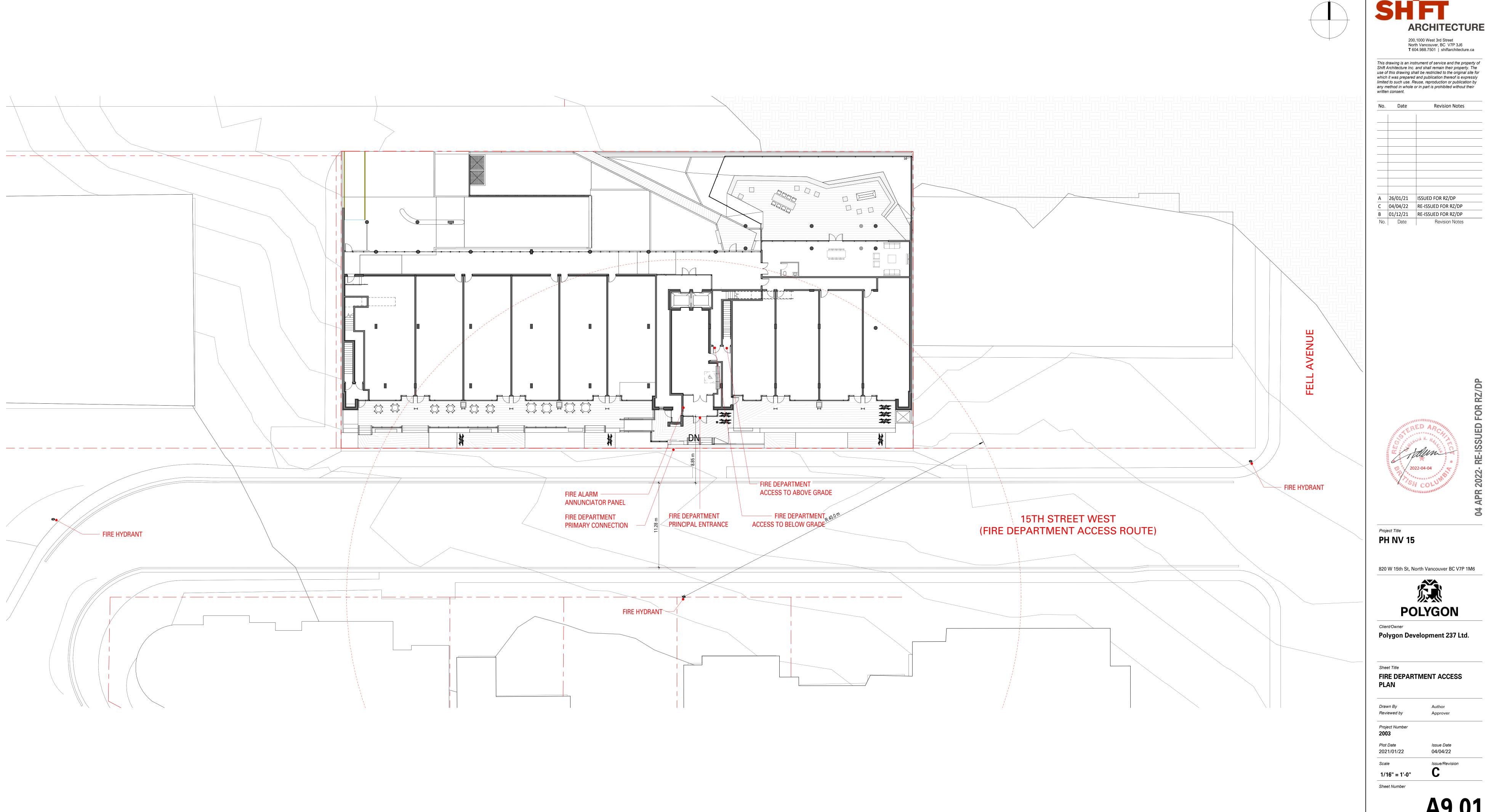
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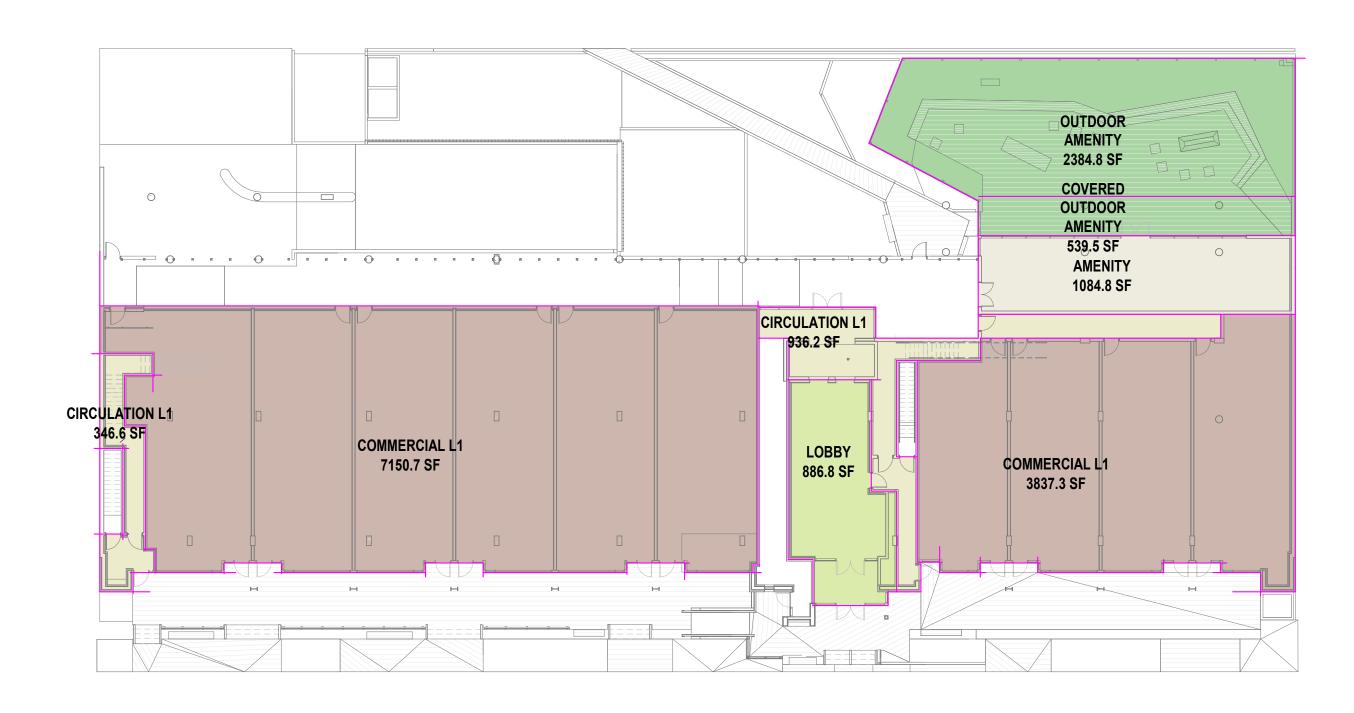
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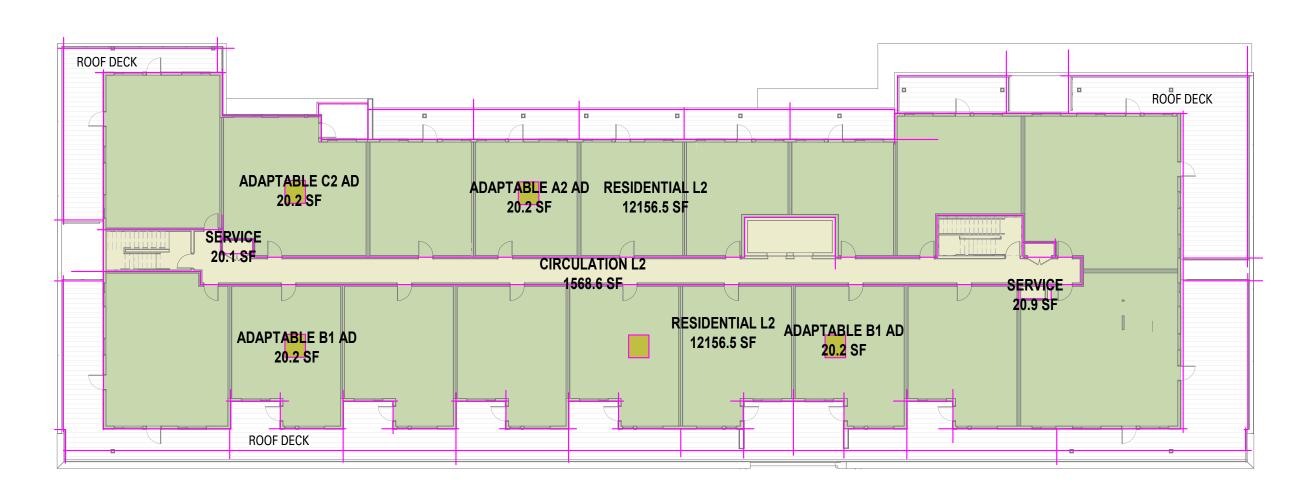


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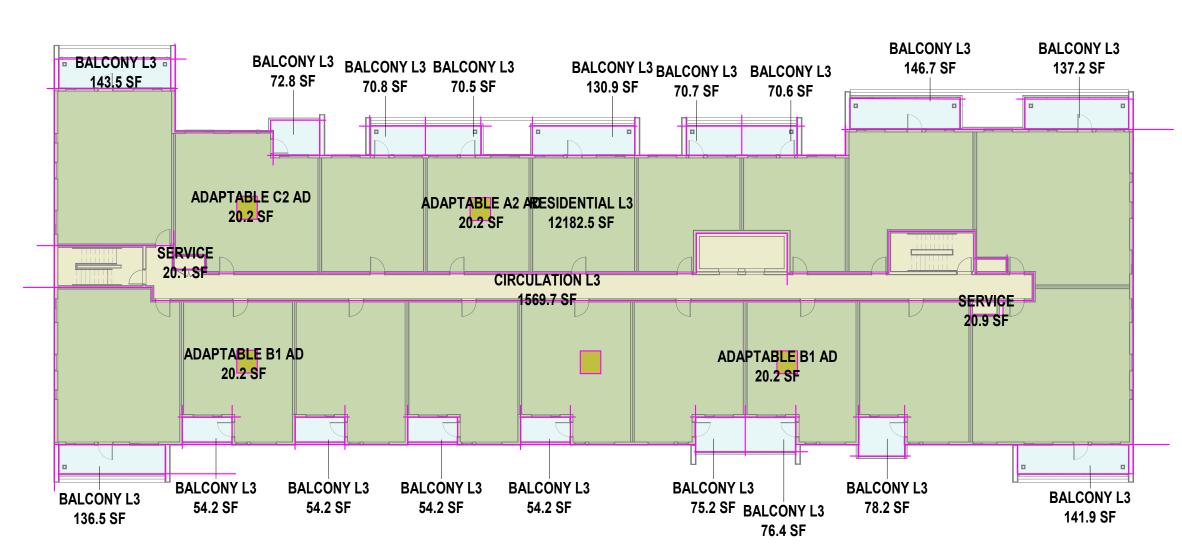




1 FSR OVERLAYS - LEVEL 1

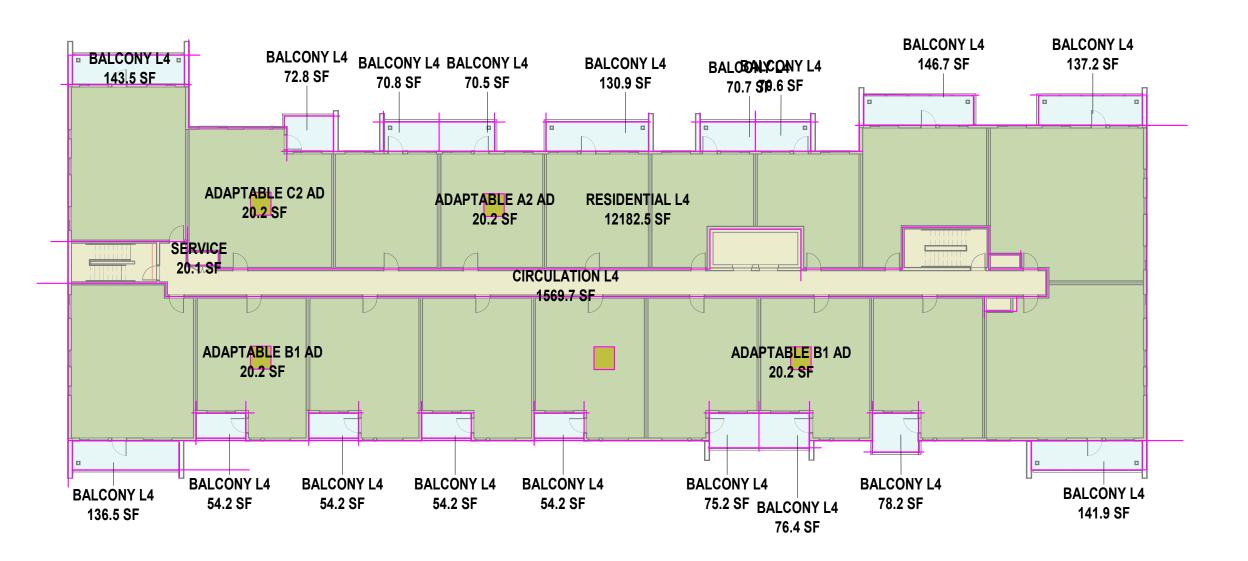


2 FSR OVERLAYS - LEVEL 2
1" = 20'-0"

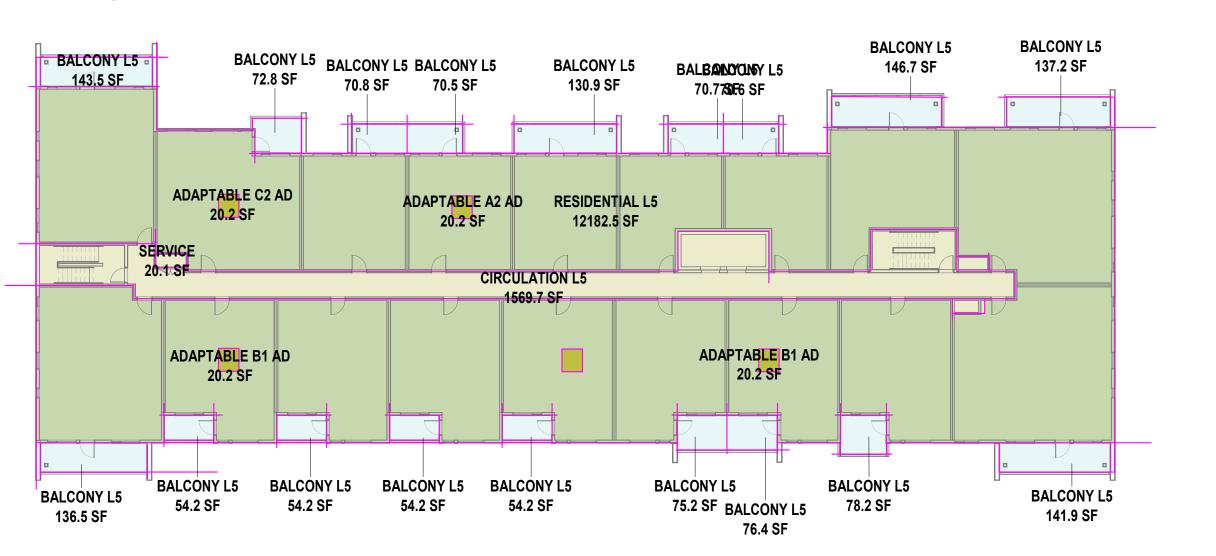


FSR OVERLAYS - LEVEL 3

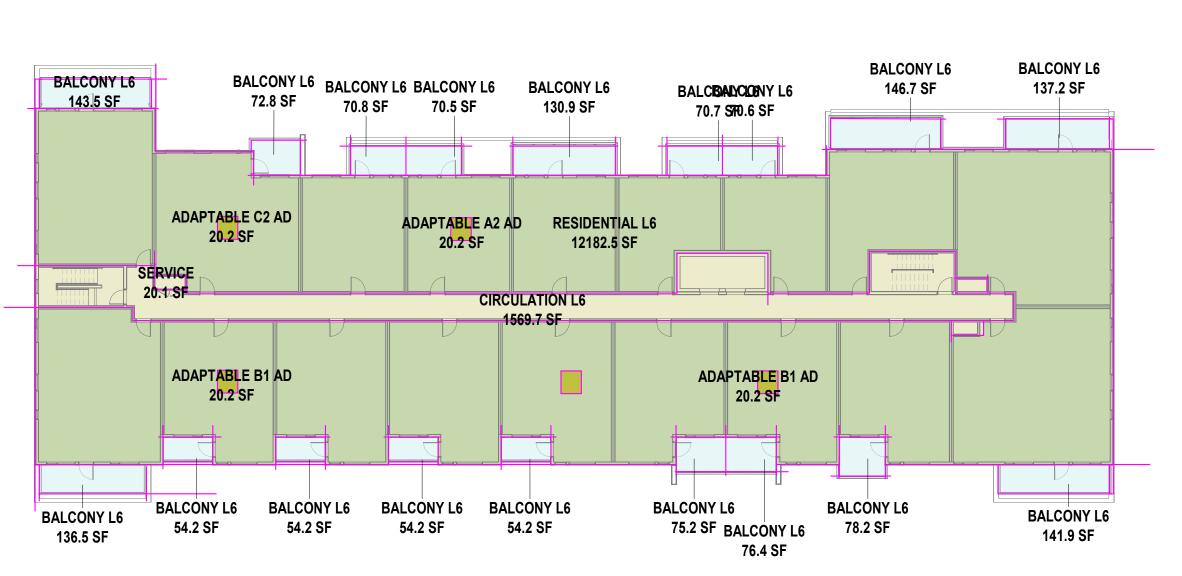
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4 FSR OVERLAYS - LEVEL 4



5 FSR OVERLAYS - LEVEL 5



6 FSR OVERLAYS - LEVEL 6

**GROSS FLOOR AREA LEVEL 1** 

| _ |             |            |
|---|-------------|------------|
|   |             |            |
|   | AMENITY     | 1084.8 SF  |
| - | CIRCULATION | 1282.8 SF  |
| - | COMMERCIAL  | 10988.1 SF |
| - | LOBBY       | 886.8 SF   |
|   | TOTAL:      | 14242.5 SF |
|   |             |            |

### GROSS FLOOR AREA LEVEL 2

| ADAPTABLE   | 101.2 SF   |
|-------------|------------|
| CIRCULATION | 1630.3 SF  |
| RESIDENTIAL | 12156.5 SF |
| TOTAL:      | 13888 SF   |

### **GROSS FLOOR AREA LEVEL 3**

| ADAPTABLE   | 101.2 SF   |
|-------------|------------|
| CIRCULATION | 1631.4 SF  |
| RESIDENTIAL | 12182.5 SF |
| TOTAL:      | 13915.1 SF |

## GROSS FLOOR AREA LEVEL 4

| ADAPTABLE   | 101.2 SF   |
|-------------|------------|
| CIRCULATION | 1631.4 SF  |
| RESIDENTIAL | 12182.5 SF |
| TOTAL:      | 13915.1 SF |

## GROSS FLOOR AREA LEVEL 5

| ADAPTABLE   | 101.2 SF   |
|-------------|------------|
| CIRCULATION | 1631.4 SF  |
| RESIDENTIAL | 12182.5 SF |
| TOTAL:      | 13915.1 SF |

## GROSS FLOOR AREA LEVEL 6

| ADAPTABLE   | 101.2 SF   |
|-------------|------------|
| CIRCULATION | 1631.4 SF  |
| RESIDENTIAL | 12182.5 SF |
| TOTAL:      | 13915.1 SF |

## GROSS FLOOR AREA TOTAL

| VEL 1 | 14242.5 SF |
|-------|------------|
| VEL 2 | 13888 SF   |
| VEL 3 | 13915.1 SF |
| VEL 4 | 13915.1 SF |
| VEL 5 | 13915.1 SF |
| VEL 6 | 13915.1 SF |
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83790.8 SF



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Project Title

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Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAYS

Drawn By

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Project Number
2003

Plot Date 2021/01/22

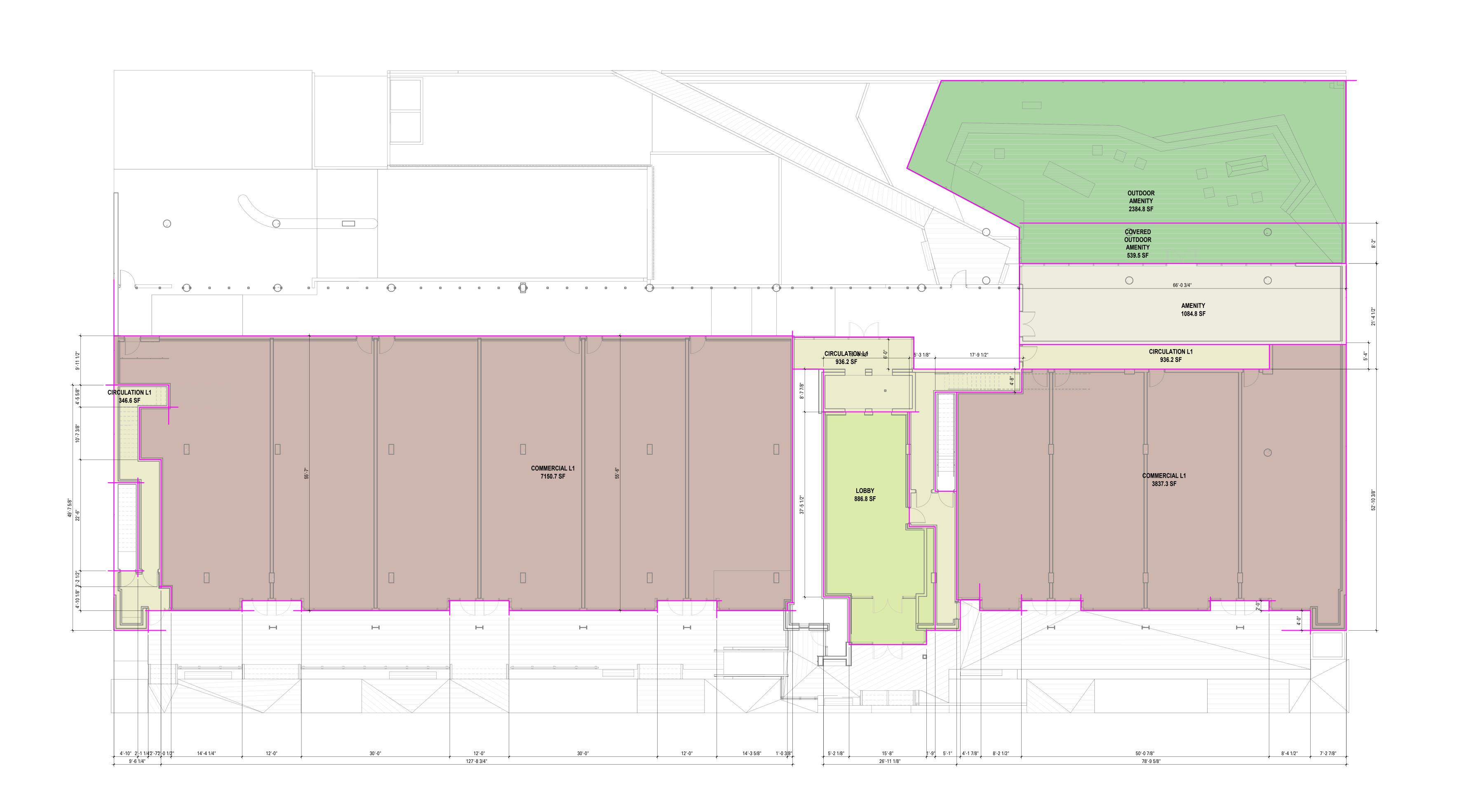
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PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Polygon Development 237 Ltd.

**FSR OVERLAY L1** 

Reviewed by

Project Number **2003** 

Sheet Number

Plot Date 2021/01/22 04/04/22

1/8" = 1'-0"





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| No. | Date     | <b>Revision Notes</b> |
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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner

Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L2

Drawn By Au Reviewed by Ap

Project Number
2003

Plot Date

Scale
1/8" = 1'-0"

FSR 1.03





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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L3

Drawn By Au Reviewed by Ap

Project Number
2003

Plot Date

Scale
1/8" = 1'-0"

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Project Title
PH NV 15



Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L4

Drawn By Reviewed by

Project Number **2003** 

Plot Date | Issue Date | 2021/01/22 | 04/04/22

Scale 1/8" = 1'-0"

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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



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Sheet Title
FSR OVERLAY L5

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Scale 1/8" = 1'-0"

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Sheet Title
FSR OVERLAY L6

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Scale 1/8" = 1'-0"

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Issue/Revision