

CONSTRUCTION DOCUMENTS FOR  
**RENOVATION OF  
 BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**

5705 STAGE ROAD  
 BARTLETT, TENNESSEE 38134



**Renaissance Group**  
 architecture • engineering • planning • interiors

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REV	DESCRIPTION	DATE

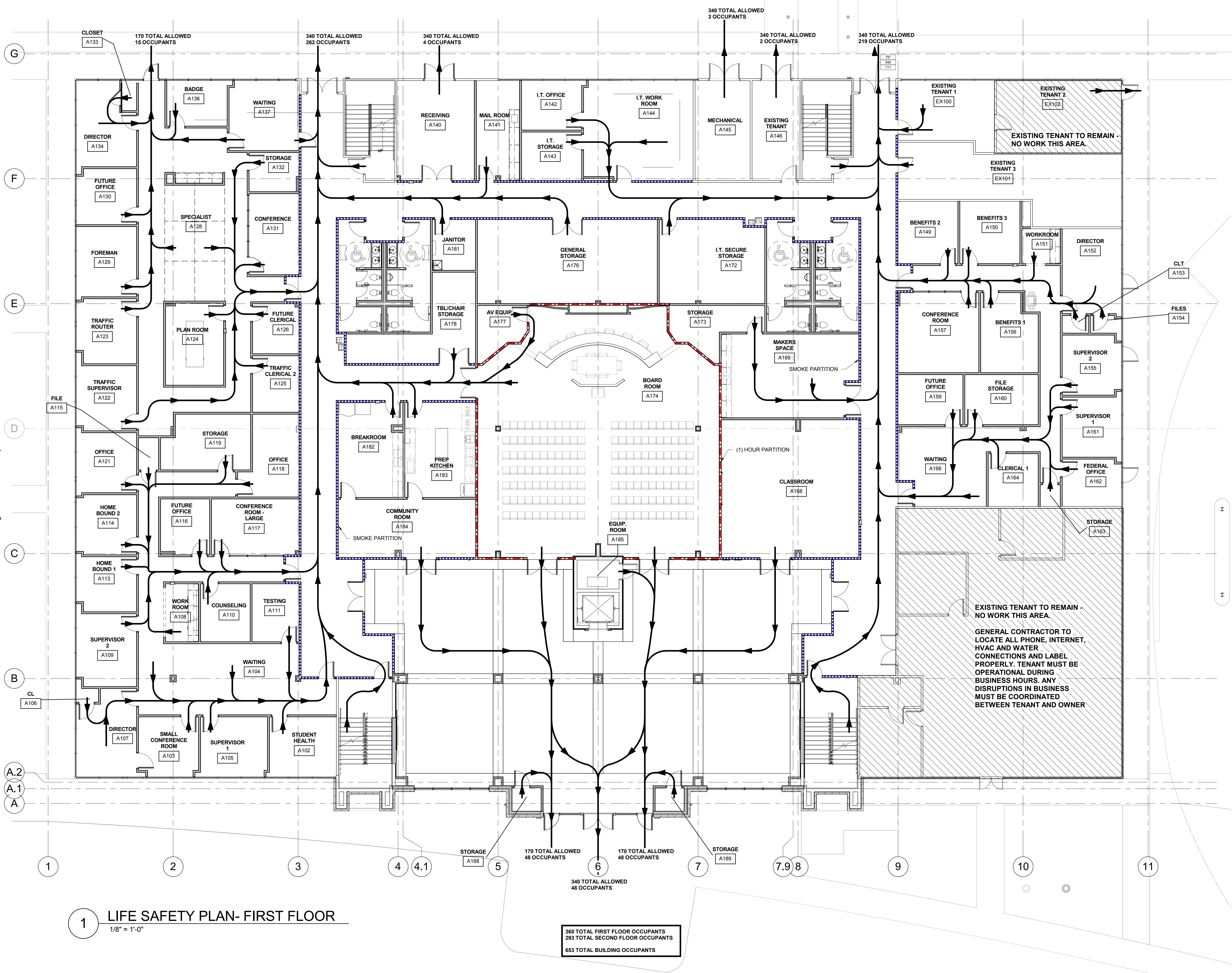
Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
 COVER SHEET  
 Project No.  
 17027  
 Drawn by  
 RGI  
 Date  
 10/31/2017

**SET NO.**

**G0.0**





■ 1 HOUR FIRE RATED PARTITION  
■ SMOKE WALL PARTITION  
 XXX - NAME OF AREA  
 XXX SQFT - SQUARE FOOTAGE  
 XX - NET / GROSS SQFT PER PERSON  
 XX - ALLOWABLE OCCUPANCY  
 XX" - CLEAR DOOR WIDTH INCHES  
 XX - MAXIMUM OCCUPANT LOAD  
 XX - ALLOWABLE OCCUPANCY EGRESS CAPACITY  
 ● - TRAVEL DISTANCE

### PROJECT DATA

- A. GENERAL COMMENTS**  
 1. Applicable Codes  
**Bartlett Code Enforcement**  
 2009 International Building Code (IBC)  
 2009 International Mechanical Code  
 2009 International Fire Code  
 2009 International Fuel Gas Code  
 2009 International Plumbing Code  
 2009 International Energy Conservation Code  
 2009 National Electric Code  
 2002 North Carolina State Handicap Code w/ 2004 amendments
2. This project shall comply with the Americans with Disabilities Act (ADA)
3. Project Name: BARTLETT SCHOOL SYSTEM ADMINISTRATION OFFICE
4. Project Location: 5705 STAGE ROAD, BARTLETT, TN 38134
5. Project Description: Renovation of an existing building for the Bartlett School System Administration
- B. BUILDING**  
 1. New Construction occupancy type: (IBC - section 508.3)  
 a. B Business (IBC 304.1)  
 b. S-2 Storage (IBC 311.2)  
 c. A-3 Assembly (IBC 303.1)
2. Area:  
 a. The BII maximum allowable area is 23,000 sq. ft. per floor (IBC - Table 503)  
 b. Frontage increase .75 = 17,250 sq. ft.  
 c. Allowable with increases = 40,250 sq. ft. per floor  
 d. First Floor Area = 29,328 sq. ft.  
 Second Floor Area = 31,839 sq. ft.  
 The actual building area = 61,167 sq. ft.
3. Height:  
 a. The maximum allowable height is 55 ft. (IBC - Table 503)  
 b. The actual building height is: 4' - 4" to top of parapet
4. Type of Construction: Type II-B - non-sprinklered  
 a. Construction Materials To Be (Table 601)  
 (1) Exterior Walls - brick veneer and metal studs - rated 0  
 Exterior Walls - Efrs and metal studs - rated 0  
 (2) Interior Walls - metal studs and gyp. sd. - rated 0  
 (3) Roof Structure - bar joist and metal decking - rated 0 fire resistance  
 (4) Corridor Walls (Table 1018.1) - rated 1 Hr fire resistance over 30 occupants
5. Interior Wall and Ceiling Finish Requirements - Non Sprinklered  
 a. Interior exit stairways, interior exit ramps and exit passageways - Class A  
 b. Corridors and enclosures for exit access stairways - Class B  
 c. Rooms and Enclosed Spaces - Class C
6. Max. Travel Distance to an exit:  
 a. 200 ft. travel distance to exit. (LSC 14.2.6/IBC table 1016.1)  
 b. Maximum dead end corridor length shall not exceed 20 ft.
7. Occupant Load for determining Means of Egress: (IBC Table 1004.1.1)  
 1) 1st Floor A-3 Occupancy = 2,233 sq. ft. / 15 = 149 Occupants  
 2) 1st Floor Business Occupancy = 15,301 sq. ft. / 100 = 151  
 3) 1st Floor Education Occupancy = 1,193 sq. ft. / 20 = 60  
**TOTAL 1st Floor = 18,427 sq. ft. = 360 Occupants**  
 4) 2nd Floor Business Occupancy = 29,287 sq. ft. / 100 = 293  
**TOTAL = 29,287 sq. ft. = 293 Occupants**  
**TOTAL Occupancy = 653 Occupants**
8. Means of Egress Width per Occupant: 0.2 inches per person (IBC Table 1005.1/LSC 7.3.3.1)  
 a. Minimum corridor/stair width is 44 inches  
 b. Minimum clear opening of an exit door is 33.6 inches.  
 c. Minimum clear stair width is 44 inches.  
 1. 152 inches of egress width required (788 persons x 0.2 inches/person)  
 2. 50% of the capacity to exit out main entrance 76 inches required  
 3. Total provided at main entrance (144) inches; total provided for floor (612) inches  
 - Refer to plan for door locations  
 d. Minimum clear opening of an exit door is 32 inches. (IBC Table 1005.1/LSC 7.2.1.2.3)
9. Plumbing Fixture Requirements: (IBC Table 2902.4)  
 Classification - Business and Storage and Assembly  
 a. First Floor  
 Occupants = 360 Total: 143 Assembly occupants (1 per 125 male & 1 per 85 female) + 151 Business occupants (1 per 25 first 50 and 1 per 50 exceeding 50) + 60 Education Occupants (1 per 50)  
 b. Second Floor  
 Occupants = 293 Total: 293 Business occupants (1 per 25 first 50 and 1 per 50 exceeding 50)
- Plumbing Fixtures**
- |                   | Required | Provided |
|-------------------|----------|----------|
| Toilets           | 4        | 5        |
| Lavatories        | 4        | 4        |
| Drinking fountain | 4        | 4        |
| Utility sink      | 1        | 1        |
- Plumbing Fixtures**
- |                   | Required | Provided |
|-------------------|----------|----------|
| Toilets           | 3        | 4        |
| Lavatories        | 3        | 4        |
| Drinking fountain | 3        | 4        |
| Utility sink      | 1        | 1        |
10. Design of Handrails and Guardrails Shall Comply with International Building Code (2006) Chapter 16 Paragraph 1607.7 Loads on Handrails, guards, grab bars, and vehicle barriers and 1607.7.1 Handrails and guards.

**1 LIFE SAFETY PLAN- FIRST FLOOR**  
 1/8" = 1'-0"

360 TOTAL FIRST FLOOR OCCUPANTS  
 293 TOTAL SECOND FLOOR OCCUPANTS  
 653 TOTAL BUILDING OCCUPANTS

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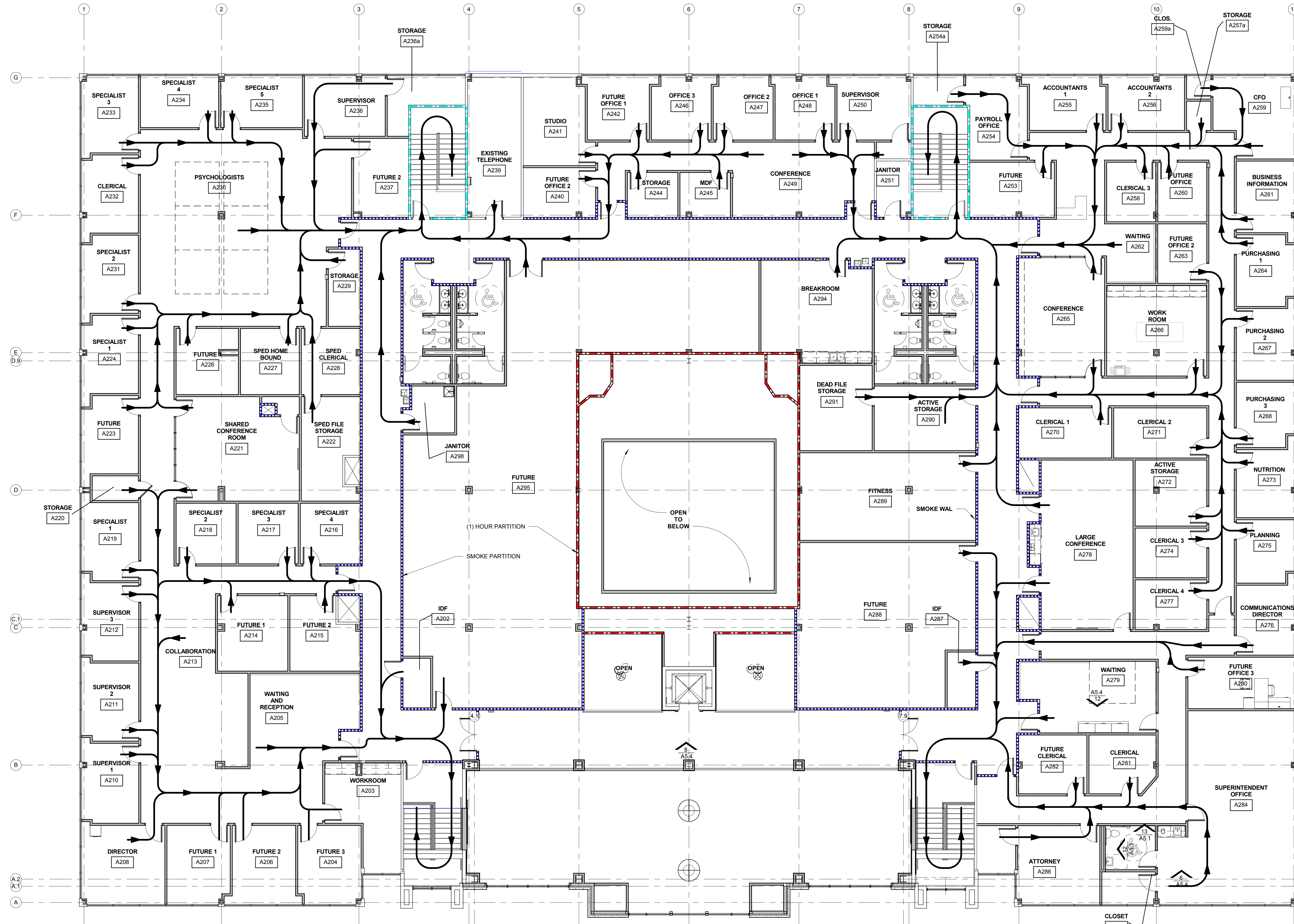
REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title:  
**LIFE SAFETY PLAN - FIRST FLOOR**  
 Project No:  
 17027  
 Drawn by:  
 RGI  
 Date:  
 10/31/2017  
**LS1.1**

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-  1 HOUR FIRE RATED PARTITION
-  SMOKE WALL PARTITION
- 
- XXX NAME OF AREA
- XXX SQFT SQUARE FOOTAGE
- XX NET / GROSS SQFT PER PERSON
- XX ALLOWABLE OCCUPANCY
- 
- XX" CLEAR DOOR WIDTH INCHES
- XX MAXIMUM OCCUPANT LOAD
- XX ALLOWABLE OCCUPANCY EGRESS CAPACITY
- 
- ← TRAVEL DISTANCE



360 TOTAL FIRST FLOOR OCCUPANTS  
 293 TOTAL SECOND FLOOR OCCUPANTS  
 653 TOTAL BUILDING OCCUPANTS

1 LIFE SAFETY PLAN - SECOND FLOOR  
 1/8" = 1'-0"



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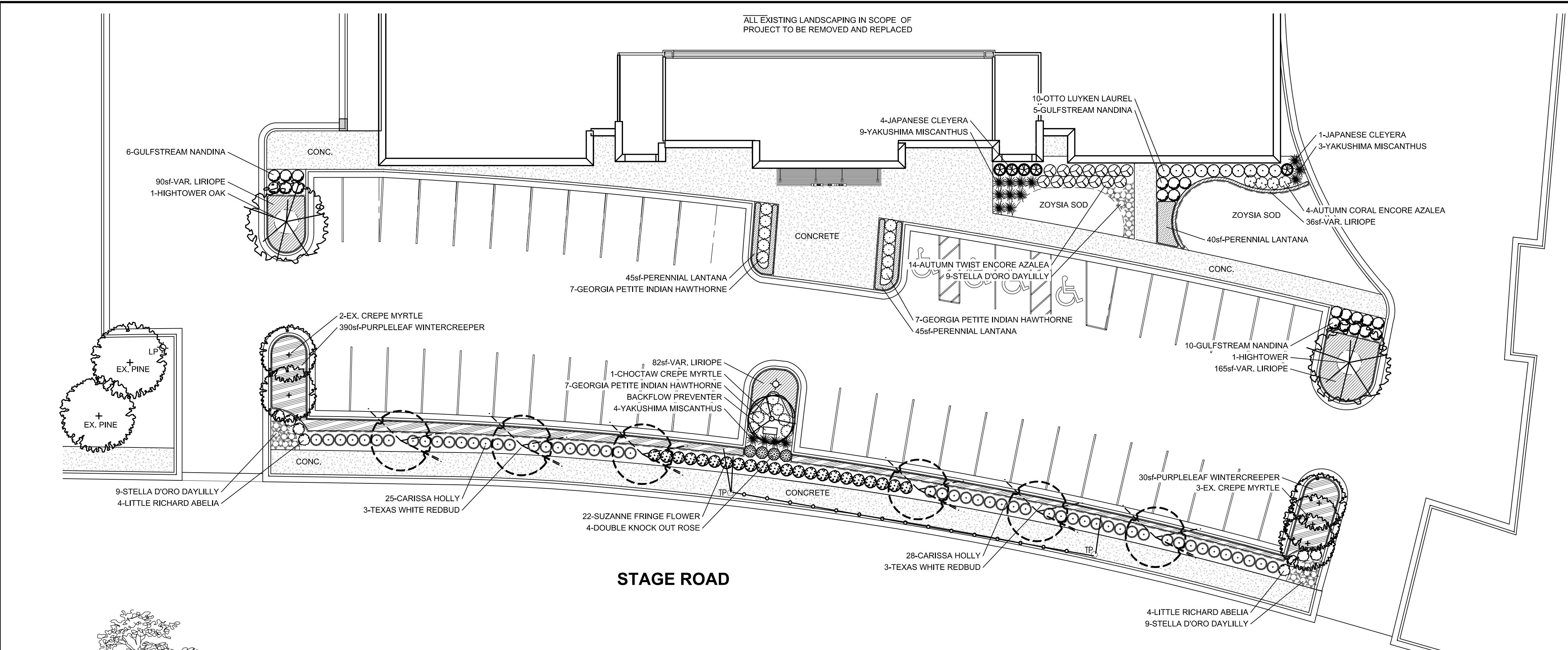
Sheet Title  
 LIFE SAFETY PLAN - SECOND FLOOR

Project No.  
 17027

Drawn by  
 RGI

Date  
 10/31/2017

**LS1.2**



**STAGE ROAD**

**GENERAL NOTES**

- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL TREES, SHRUBS AND GROUND COVERS SHOWN ON THE LANDSCAPE PLAN SHALL BE INSTALLED AS THE SPECIES SPECIFIED IN THE PLANT SCHEDULE UNLESS REQUESTED IN WRITING BY THE OWNER WHO RESERVES THE RIGHT TO SUBSTITUTE SIMILAR PLANT MATERIAL. SUBJECT TO APPROVAL BY THE MUNICIPALITY.
- THE PLANT QUANTITIES ILLUSTRATED ON THE PLAN SHALL SUPERSEDE THE QUANTITIES LISTED IN THE PLANT SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF PLANT QUANTITIES.
- PLANT SPACING IS APPROXIMATE. SPACE ALL SHRUBS EQUALLY TO FILL THE INTENDED SPACE USING THE QUANTITY ILLUSTRATED.
- PLANT SIZES ARE MINIMUMS. THE CONTRACTOR SHALL MEET ALL SIZE REQUIREMENTS LISTED. NO UNDERSIZED PLANT MATERIAL WILL BE ACCEPTED. ANY SUBSTITUTIONS MUST BE APPROVED BY THE OWNER, LANDSCAPE ARCHITECT, AND MUNICIPALITY.
- THE PLANTING CONTRACTOR SHALL LOCATE A SOURCE FOR ALL PLANTING MATERIALS PRIOR TO SUBMITTING HIS BID. A MINIMUM OF 1 IN 10 PLANTS OF EACH PLANT SPECIES SHALL HAVE A LABEL ATTACHED PROVIDING THE COMMON AND SCIENTIFIC NAME OF SAID PLANT.
- ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE. USE APPROPRIATE FERTILIZERS IN RECOMMENDED QUANTITIES.
- THE LANDSCAPE ARCHITECT AND THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL PLANTING MATERIALS WHICH IN THEIR OPINION DO NOT APPEAR TO FIT FOR THIS PLANTING INSTALLATION.
- ANY SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE-YEAR WARRANTY ON ALL MATERIALS FROM DATE OF INSTALLATION. THE LANDSCAPE CONTRACTOR OR THE OWNER'S DESIGNEE SHALL BE RESPONSIBLE FOR MAINTENANCE FOR ONE YEAR. THE NAME AND CONTACT INFORMATION FOR THE RESPONSIBLE PARTY MUST BE ON FILE WITH THE LANDSCAPE INSPECTOR. THE PROPERTY OWNER IS REQUIRED BY MUNICIPAL ORDINANCE TO MAINTAIN THE LANDSCAPING AND GRASSED AREAS IN GOOD CONDITION, THEREAFTER.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY WITH THE GENERAL CONTRACTOR THAT THE SUBGRADE PREPARATION HAS BEEN COMPLETED AND FOUR (4) INCHES OF TOPSOIL HAS BEEN PLACED ON ALL PROPOSED LAWN AREAS AND PLANTING BEDS. THE LANDSCAPE CONTRACTOR SHALL NOT BEGIN ANY PLANTING / INSTALLATION UNTIL THE GENERAL CONTRACTOR HAS COMPLETED THE SUBGRADE WORK AND THE TOPSOIL HAS BEEN INSTALLED.
- ANY MATERIAL THAT DIES OR DEFOLIATES PRIOR TO ACCEPTANCE OF THE WORK WILL BE PROMPTLY REMOVED AND REPLACED. REPLACEMENTS SHALL ALSO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- UTILITY LOCATIONS ILLUSTRATED ARE CONCEPTUAL. LANDSCAPE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED AND IDENTIFIED PRIOR TO INSTALLATION OF ANY PLANT MATERIALS. LANDSCAPE MATERIAL SHALL BE ADJUSTED ACCORDINGLY WHERE CONFLICTS EXIST.
- THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY DAMAGES TO SUCH UTILITIES INCURRED BY HIS COMPANY. TENNESSEE ONE CALL = 811
- PRIOR TO INSTALLATION OF SOD, ALL PROPOSED LAWN AREAS SHALL BE DISKED AND RAKED SMOOTH TO A UNIFORM GRADE AS SHOWN ON THE GRADING PLAN, BE FREE OF WEEDS AND OTHER DEBRIS, AND THE AREA FERTILIZED AS SPECIFIED. AFTER INSTALLATION, SOD SHALL BE ROLLED AT A SUFFICIENT RATE TO PROMOTE ADEQUATE ROOT GROWTH. ALL SOD SHALL BE LAID WITHIN 24 HOURS OF ARRIVING AT THE SITE.
- PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL, ALL BED AREAS SHALL BE AMENDED TO PROVIDE A PLANTING SOIL MIX COMPOSED OF 2/3 EXISTING TOPSOIL AND 1/3 PRO-MIX, GARDEN MIX OR EQUAL. IF THE EXISTING SOIL IS COMPOSED OF PRIMARILY CLAY, THE EXISTING SOIL SHALL BE REMOVED AT A DEPTH OF 18" AND REPLACED WITH PRO-MIX, GARDEN MIX OR EQUAL AND TILLED UNDER TO A 24" DEPTH.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL SHRUB BEDS PRIOR TO THE INSTALLATION OF PLANT MATERIAL. THE HERBICIDE IS TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS AND ALL STATE AND LOCAL CODES. ADVISE THE OWNER OF HERBICIDE TYPE AND QUALITY PRIOR TO APPLICATION.
- ADJUSTMENTS MAY BE MADE TO THE PLAN TO ADAPT TO ACTUAL FIELD CONDITIONS, AVOID UTILITY CONFLICTS, OR THE OBSTRUCTION OF THE SIGHT TRIANGLE AT ACCESS POINTS OR INTERSECTIONS.
- MULCH TREE AND SHRUB PLANTING AREAS 3" DEEP IMMEDIATELY AFTER INSTALLATION. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING AND AS OFTEN THEREAFTER AS NEEDED TO KEEP THE VEGETATION ADEQUATELY HYDRATED.
- STAKE / GUY ALL TREES ONLY WHEN NECESSARY. WHEN HIGH WINDS OR OTHER CONDITIONS OCCUR, THE LANDSCAPE CONTRACTOR SHALL TAKE WHATEVER PRECAUTIONS HE DEEMS NECESSARY TO PROTECT THE SURVIVAL AND APPEARANCE OF THE PLANTS. ALL TIES MUST BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
- A COMMERCIAL GRADE STEEL EDGING MATERIAL WITH POWDER COAT FINISH, 12GA OR GREATER, SHALL BE INSTALLED AT ALL LANDSCAPE BEDS EXCLUDING TREE WELLS. METAL EDGING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- NO SHRUB OR TREE SHALL BE PLANTED WITHIN 3 FEET OF ANY FIRE HYDRANT OR MECHANICAL UNIT.
- SEASONAL COLOR AND GROUND COVER QUANTITIES REFER TO SQUARE FOOTAGE. SPACE AS REQUIRED FOR SPECIES.
- ANY AREAS THAT ARE NOT LANDSCAPED SHALL BE COVERED WITH SEED OR SOD AS SPECIFIED, INCLUDING THE AREA BETWEEN THE PROPERTY LINE AND THE EDGE OF PAVEMENT. THESE AREAS SHALL BE PROPERLY LOOSENEED AND AMENDED TO PROMOTE GROWTH.
- ANY BANKS, DRAINAGE DITCHES, OR SWALES, MUST HAVE A FINISHED GRADE, BE STABILIZED WITH SOD, EROSION CONTROL MAT, STAND OF GRASS FROM SEED OR OTHER APPROVED TECHNIQUE, PROVIDE POSITIVE DRAINAGE WITH NO POOLING, AND BE EASILY MAINTAINED POST CONSTRUCTION. COORDINATE WITH CIVIL ENGINEERING PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL STRICTLY FOLLOW ORDINANCES, APPROVED PLANS, PLANTING DETAILS AND NOTES.
- ADJUST PLANTING BEDS AS NEEDED TO PROVIDE FOR AND MAINTAIN PROPER POSITIVE DRAINAGE.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SPECIFIED.

**TREES**

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	ROOT	REMARKS
2	Hightower Willow Oak	Quercus phellos 'Hightower'	3" Cal.	As Illustrated	B&B	Full, Well Shaped
6	Texas White Redbud	Cercis Canadensis 'Texensis'	10'-12' Ht.	30' o.c.	B&B	Full, Well Shaped
1	Choctaw Crepe Myrtle	Lagerstroemia indica 'Choctaw'	8'-10' Ht.	As Illustrated	B&B	3-5 Canes, Matched

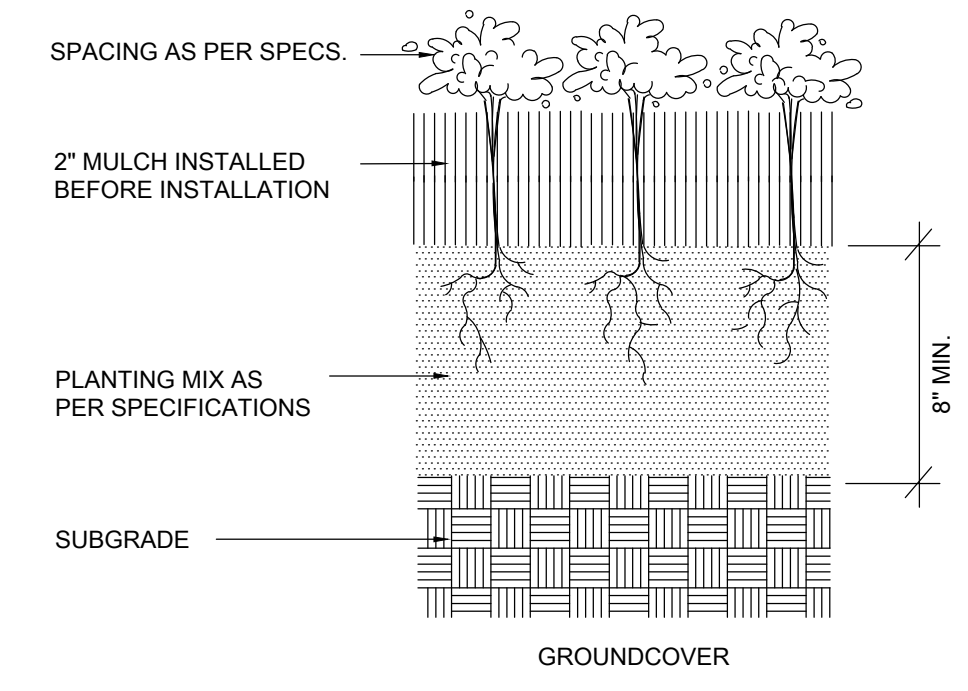
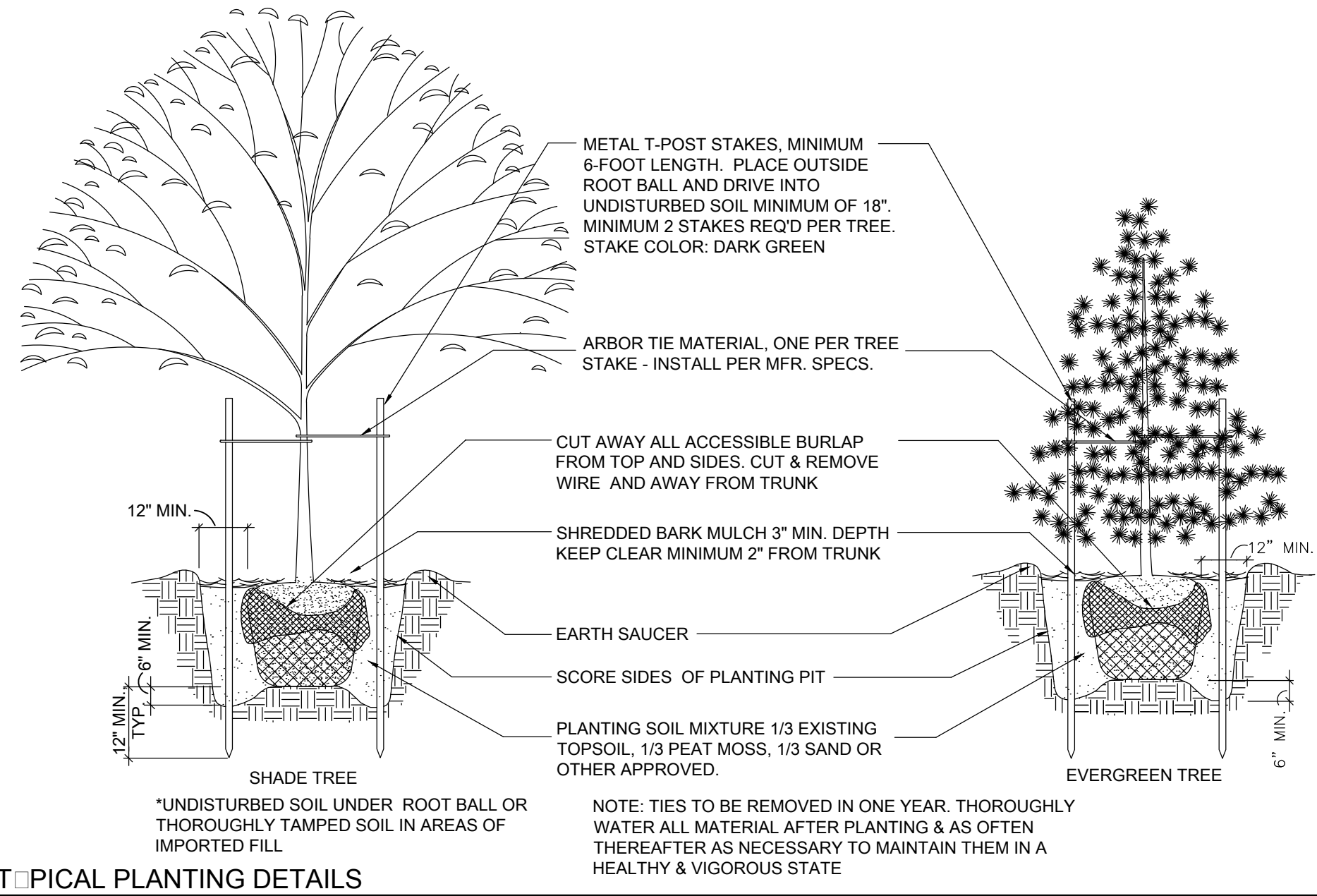
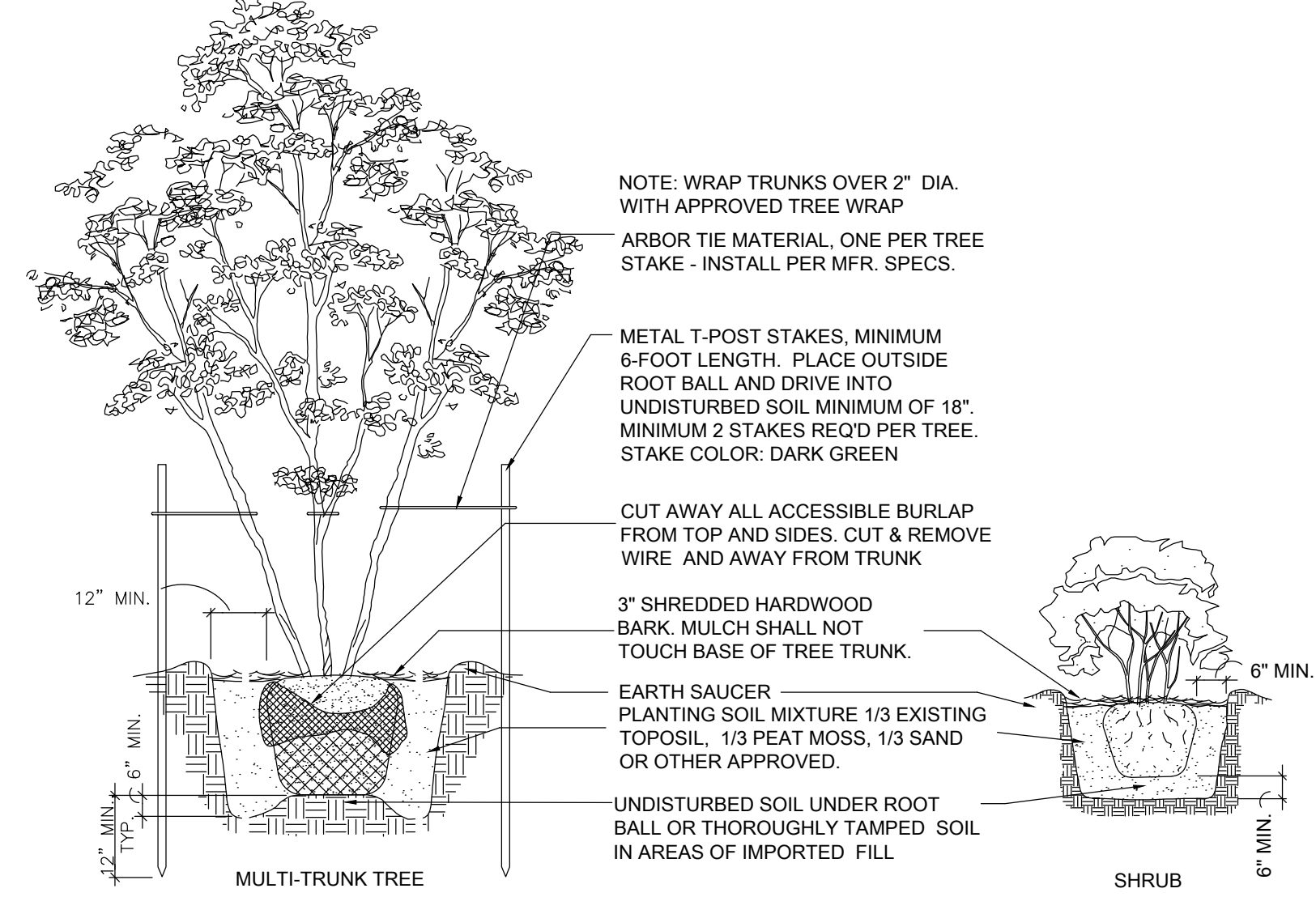
**SHRUBS and GROUND COVER**

QTY.	COMMON NAME	SCIENTIFIC NAME	MIN. SIZE	SPACING	REMARKS
16	Dwarf Maiden Grass	Miscanthus Sinensis 'Yakushima'	#3	3' o.c.	Full, Well Shaped
53	Carissa Holly	Ilex cornuta 'Carissa'	#3	3' o.c.	Full, Well Shaped
22	Suzanne Fringe Flower	Loropetalum chinense 'Suzanne'	#3	3' o.c.	Full, Well Shaped
21	Autumn Twist Encore Azalea	Rhododendron 'Conlep'	#3	3' o.c.	Full, Well Shaped
4	Autumn Coral Encore Azalea	Rhododendron 'Conled'	#3	3' o.c.	Full, Well Shaped
10	Otto Luyken Laurel	Prunus laurocerasus 'Otto Luyken'	#3	3' o.c.	Full, Well Shaped
7	Georgia Petite Indian Hawthorne	Rhaphiolepis x delacourii 'Georgia Petite'	#3	3' o.c.	Full, Well Shaped
5	Japanese Cleysera	Cleyera japonica	#7	3.5- 4' o.c.	Full, Well Shaped
21	Gulfstream Heavenly Bamboo	Nandina domestica 'Gulf Stream'	#7	3.5- 4' o.c.	Full, Well Shaped
8	Little Richard Abelia	Abelia x grandiflora	#3	3.5' o.c.	Full, Well Shaped
25	Stella D'Oro Daylily	Hemerocallis x 'Stella de Oro'	#1	18" o.c.	Full, Well Shaped
4	Double Knock Out Rose	Rosa Radtko	#3	3' o.c.	Full, Well Shaped
373sf	Variegated Liliyturf	Liriope muscari 'Variegata'	4" Pot	12" o.c.	Full, Well Shaped
130sf	Seasonal Color	Selected by Contractor	Flat		

**TURFGRASS**

SYM	QTY.	COMMON NAME	SCIENTIFIC NAME
SOD	1,000sf*	Palisades Zoysia Sod	Palisades Zoysia

\*Sod quantities are estimated and subject to actual field conditions. Coordinate with civil.



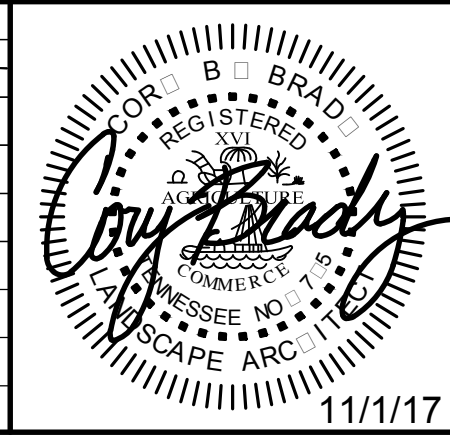
**TYPICAL PLANTING DETAILS**

NOT TO SCALE

landscape architecture  
planning

**INTEGRATED LAND SOLUTIONS, PLLC**  
975 Fair Oaks Drive Collierville, TN 38017  
901.493.6996 corybrady@gmail.com

ITEM NO.	REVISION DESCRIPTION OF CHANGE	APPROVAL DATE



**PRELIMINARY LANDSCAPE PLAN**

DIVISION OF ENGINEERING  
LOCATION: 12060 ARLINGTON TRAIL  
ARLINGTON, TENNESSEE

DESIGN: ARC SURVEYING DATE: 9/16 BOOK: \_\_\_\_\_  
SCALE: 1" = 30'

**BARTLETT SCHOOL ADMINISTRATION OFFICE**  
5705 STAGE ROAD BARTLETT, TN 38134

DEVELOPER: CITY OF BARTLETT  
ENGINEER: RENAISSANCE GROUP, INC.



Renaissance Group

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Lakeland, TN 38002  
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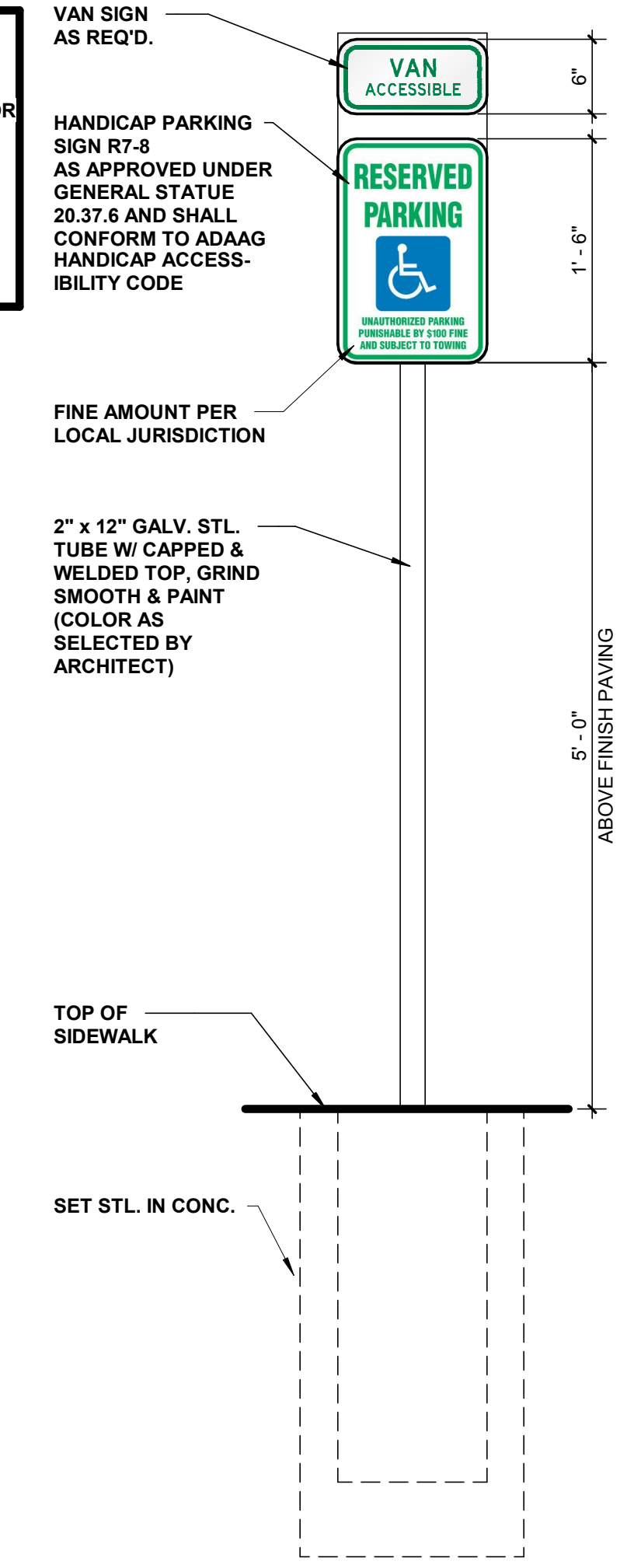


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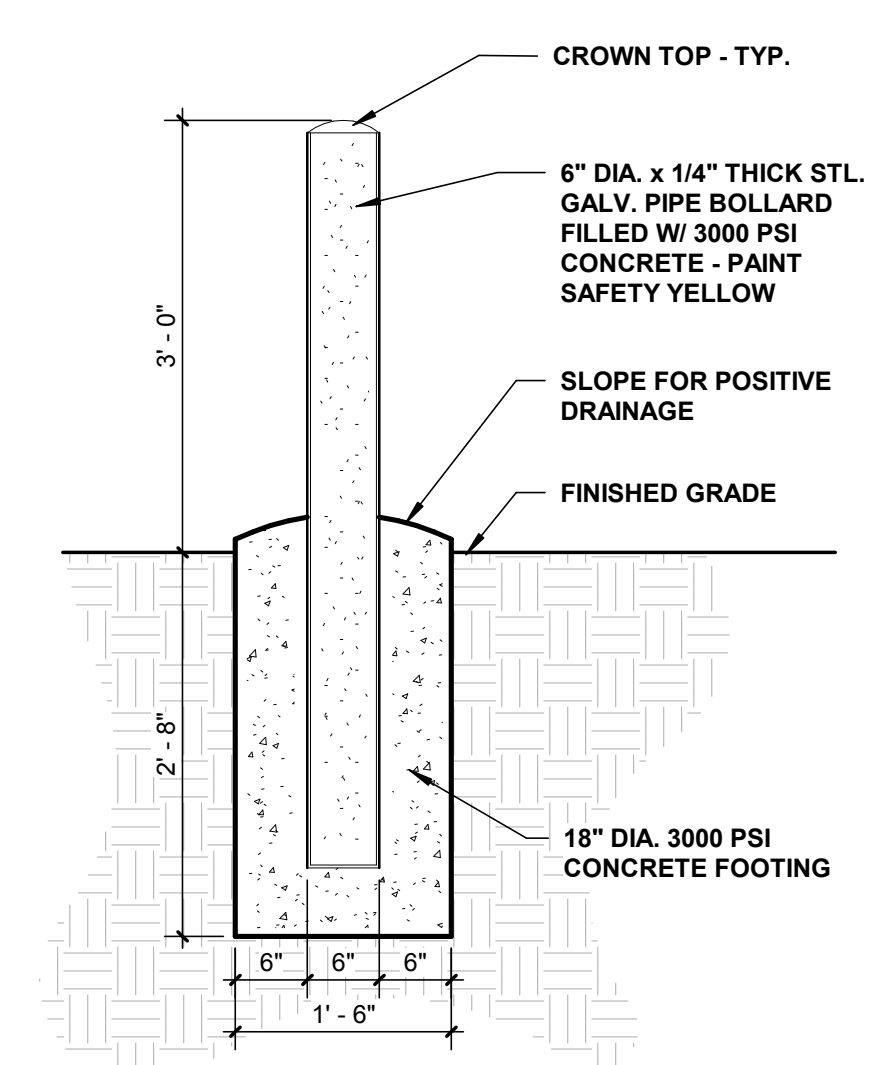
Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

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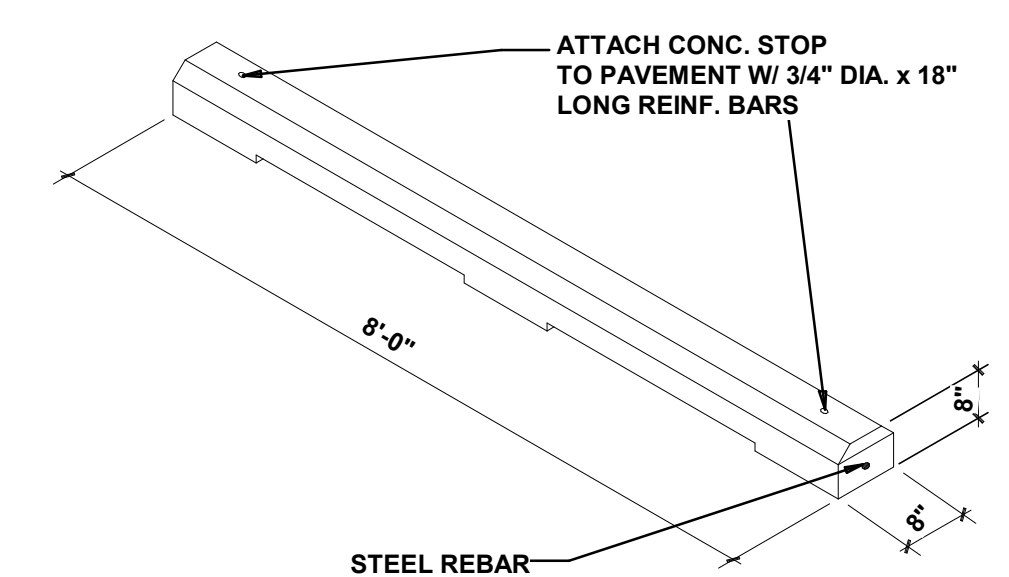
- NOTES:**
- RADIUS ALL SIGN CORNERS
  - SIGN W/ POST BY SIGN CONTRACTOR
  - HANDICAP SIGNAGE MUST MEET 2010 ADA STANDARDS  
 COLORS:  
 WHITE H.C. SYMBOL ON BLUE BACKGROUND  
 GREEN LEGEND & BORDER  
 WHITE SIGN BACKGROUND



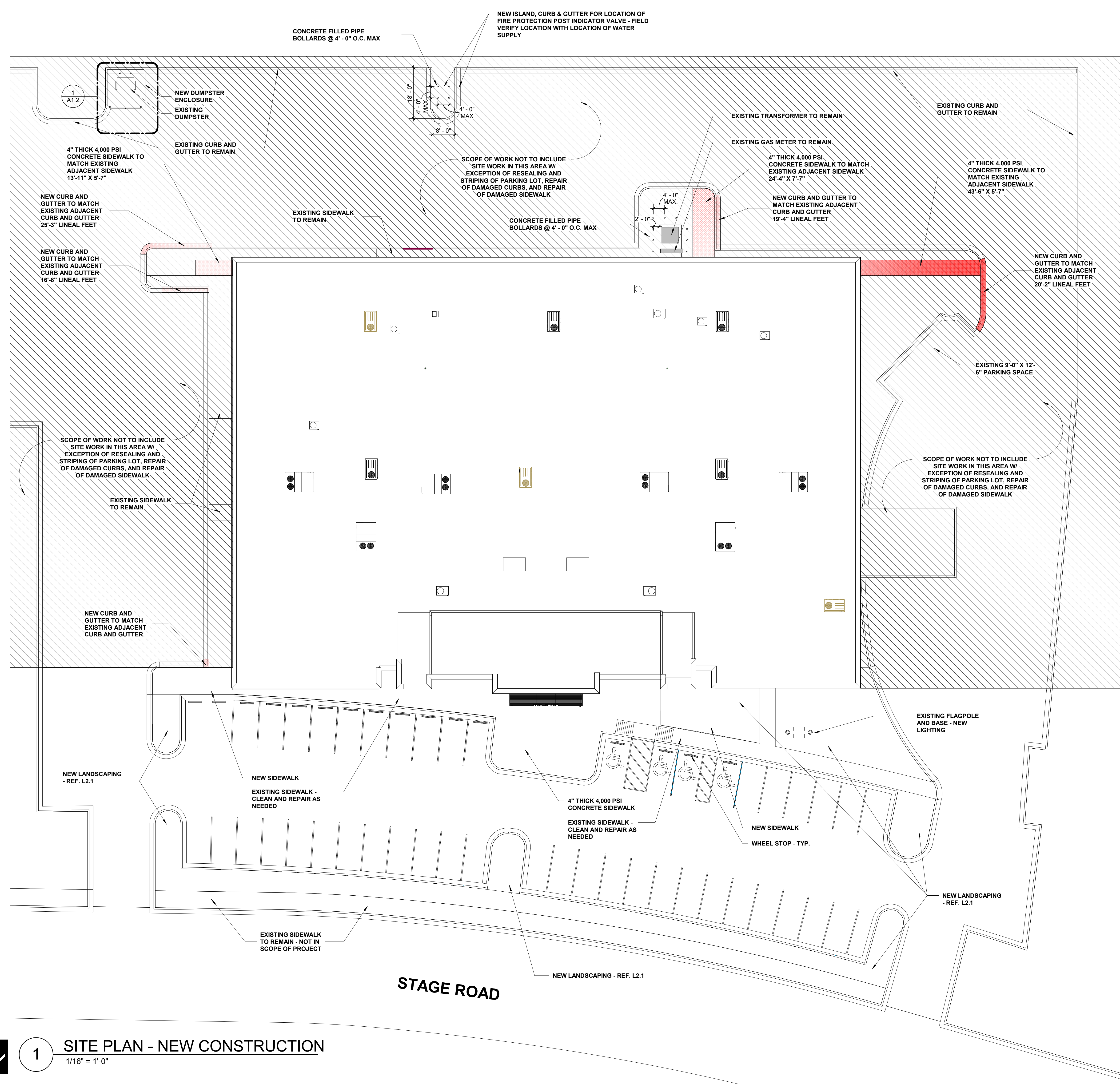
**2 ACCESSIBLE SIGN**  
1" = 1'-0"



**3 BOLLARD DETAIL**  
3/4" = 1'-0"



**4 TYP. WHEEL STOP DETAIL**  
1/2" = 1'-0"



**1 SITE PLAN - NEW CONSTRUCTION**  
1/16" = 1'-0"

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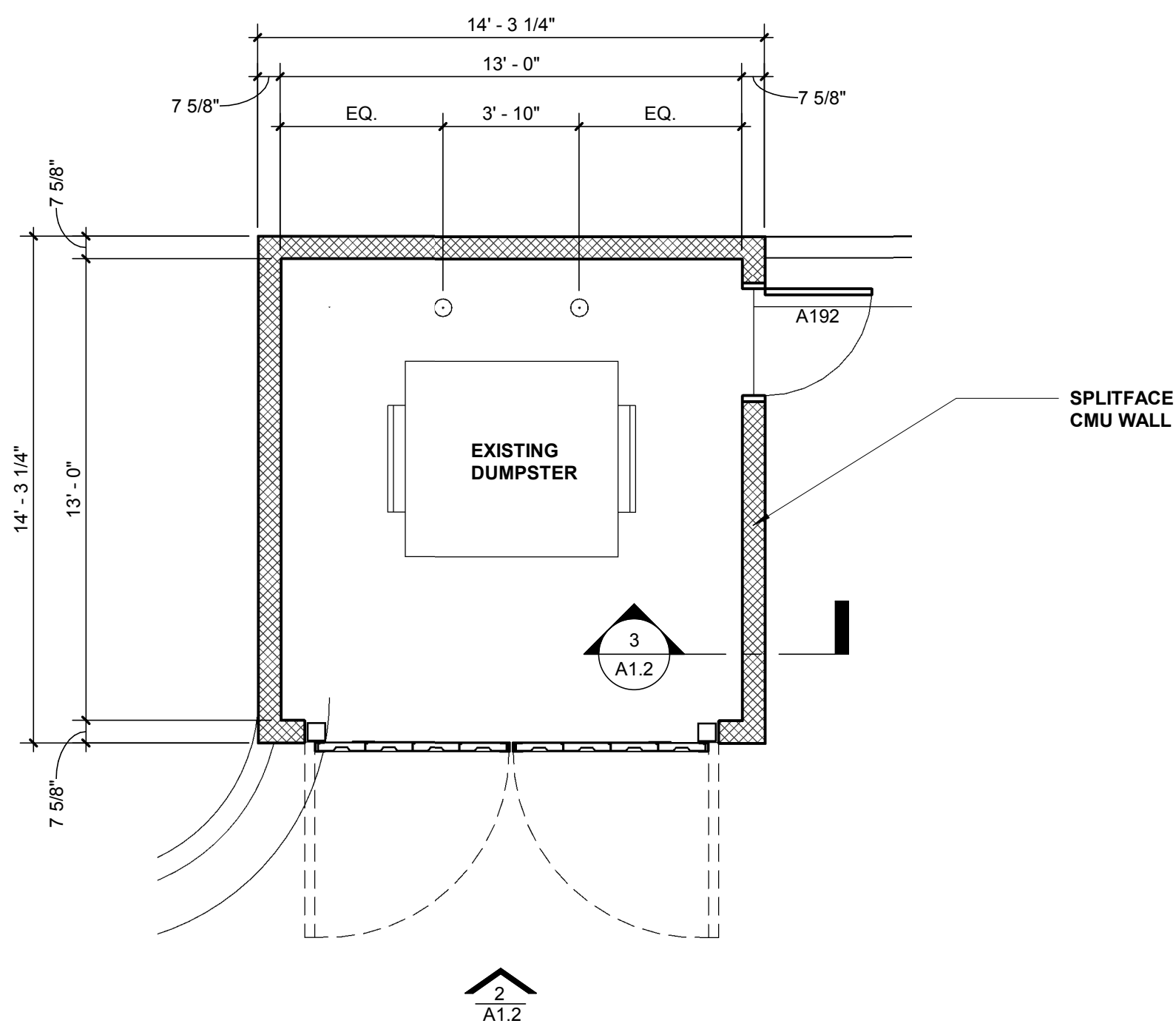
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SITE PLAN

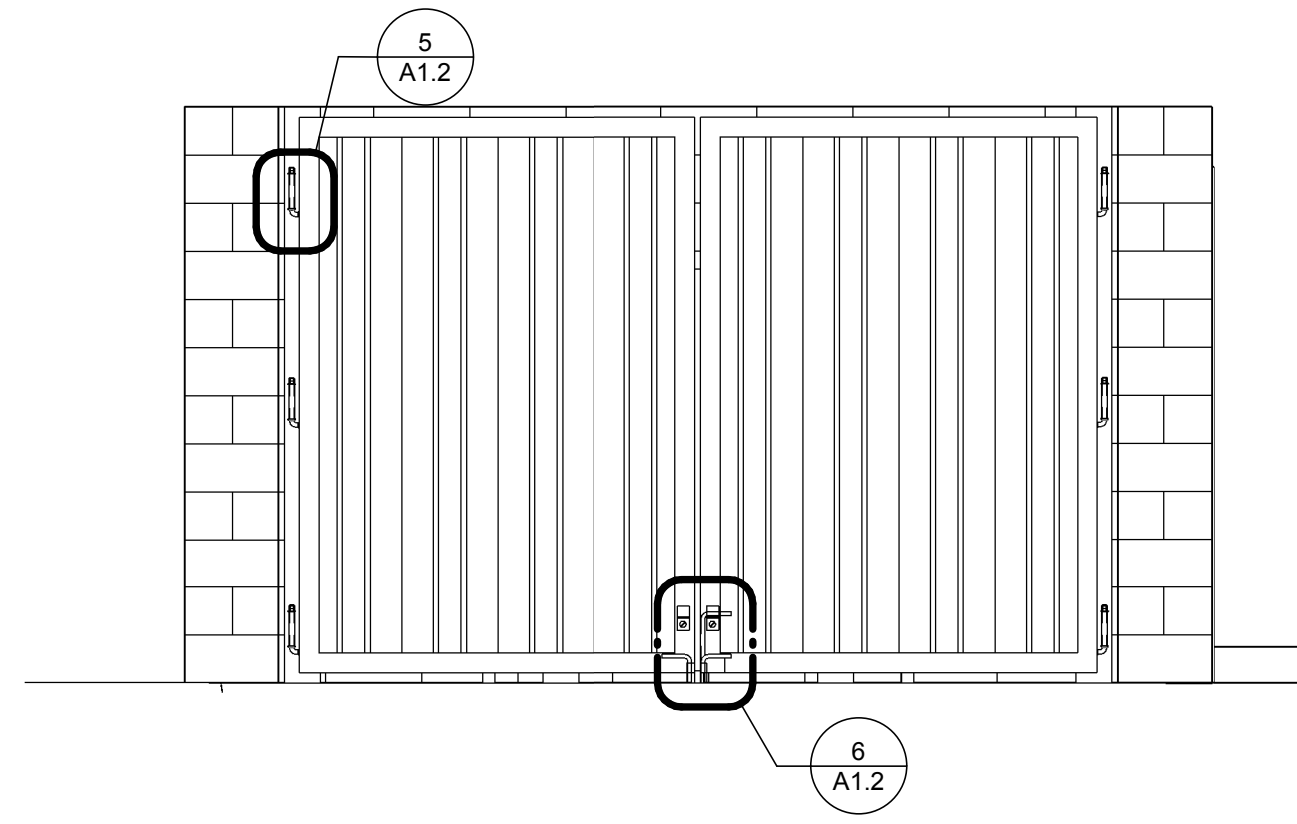
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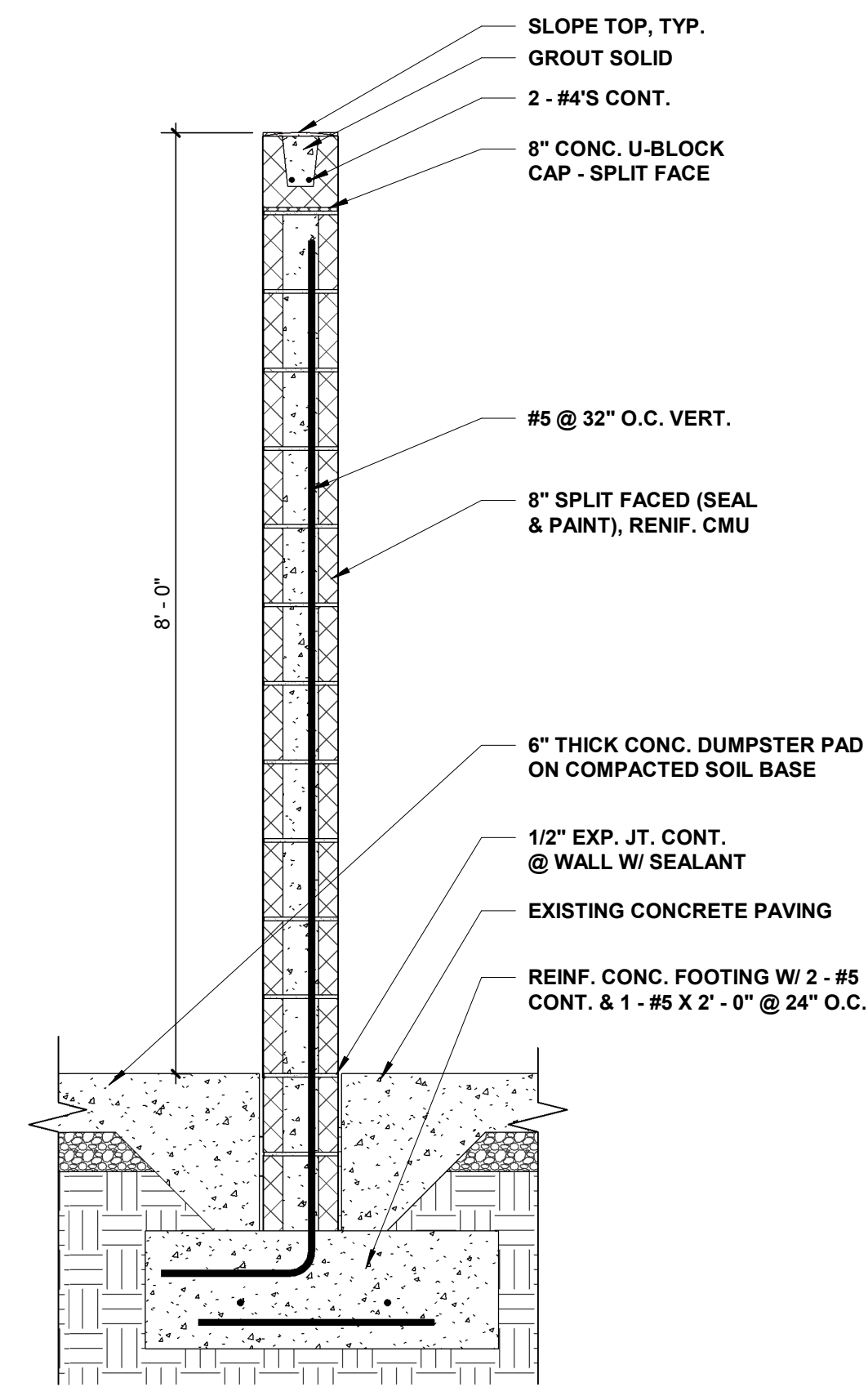
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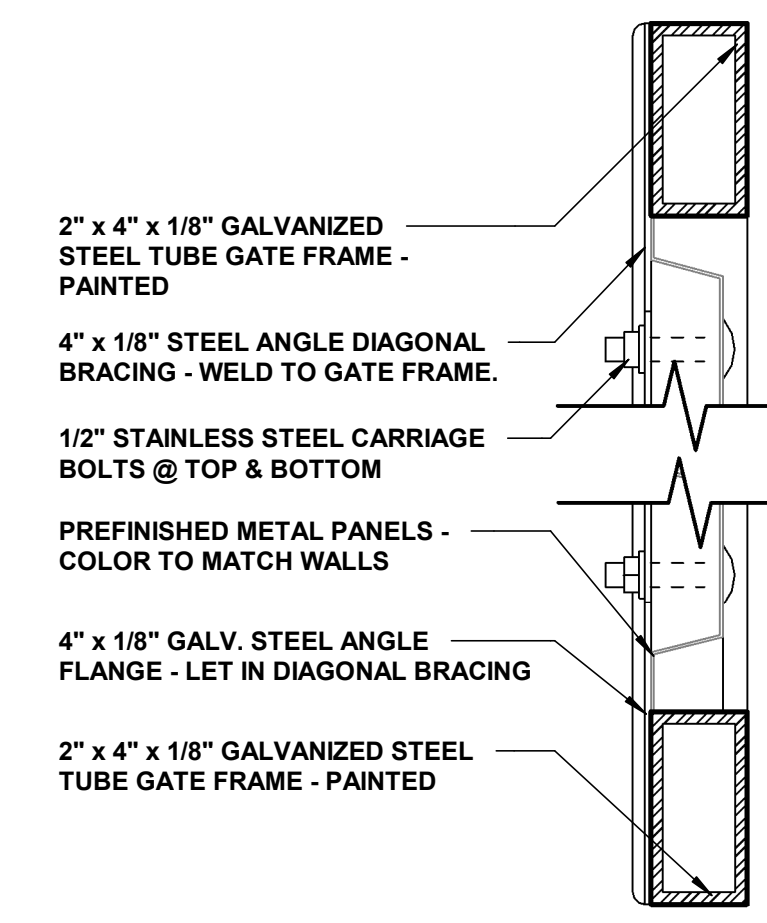
**1 DUMPSTER ENCLOSURE PLAN**  
1/4" = 1'-0"



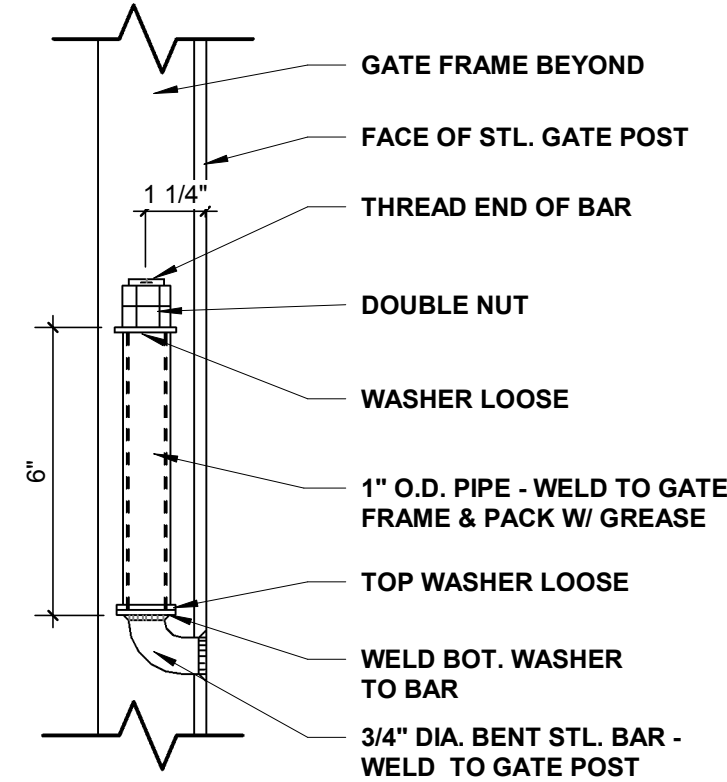
**2 DUMPSTER ENCLOSURE ELEVATION**  
3/8" = 1'-0"



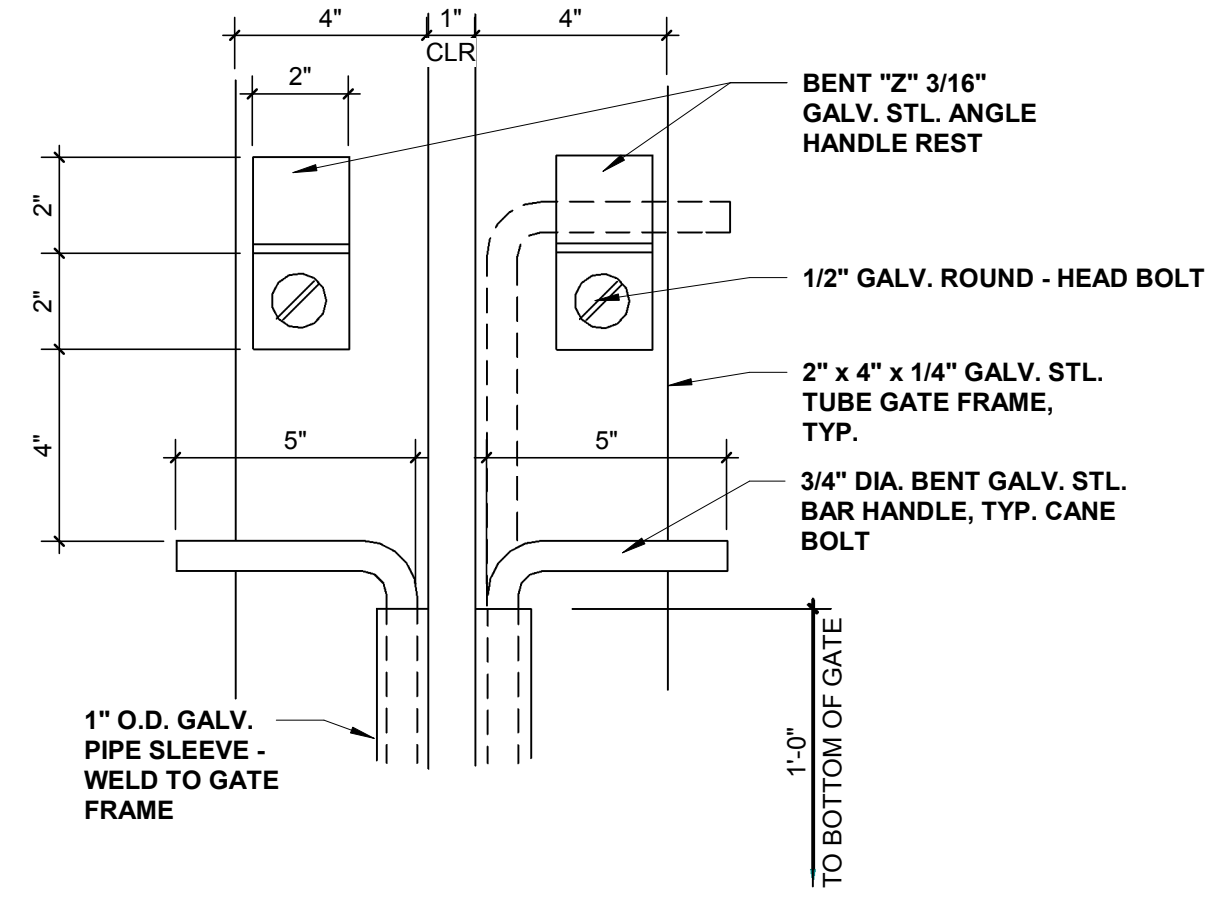
**3 WALL SECTION @ DUMPSTER**  
3/4" = 1'-0"



**4 GATE SECTION**  
3" = 1'-0"



**5 HINGE DETAIL**  
3" = 1'-0"



**6 HANDLE REST**  
3" = 1'-0"

R E N A I S S A N C E G R O U P



**Renaissance Group**

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Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title: SITE DETAILS  
Project No: 17027  
Author:  
Date: 10/31/2017

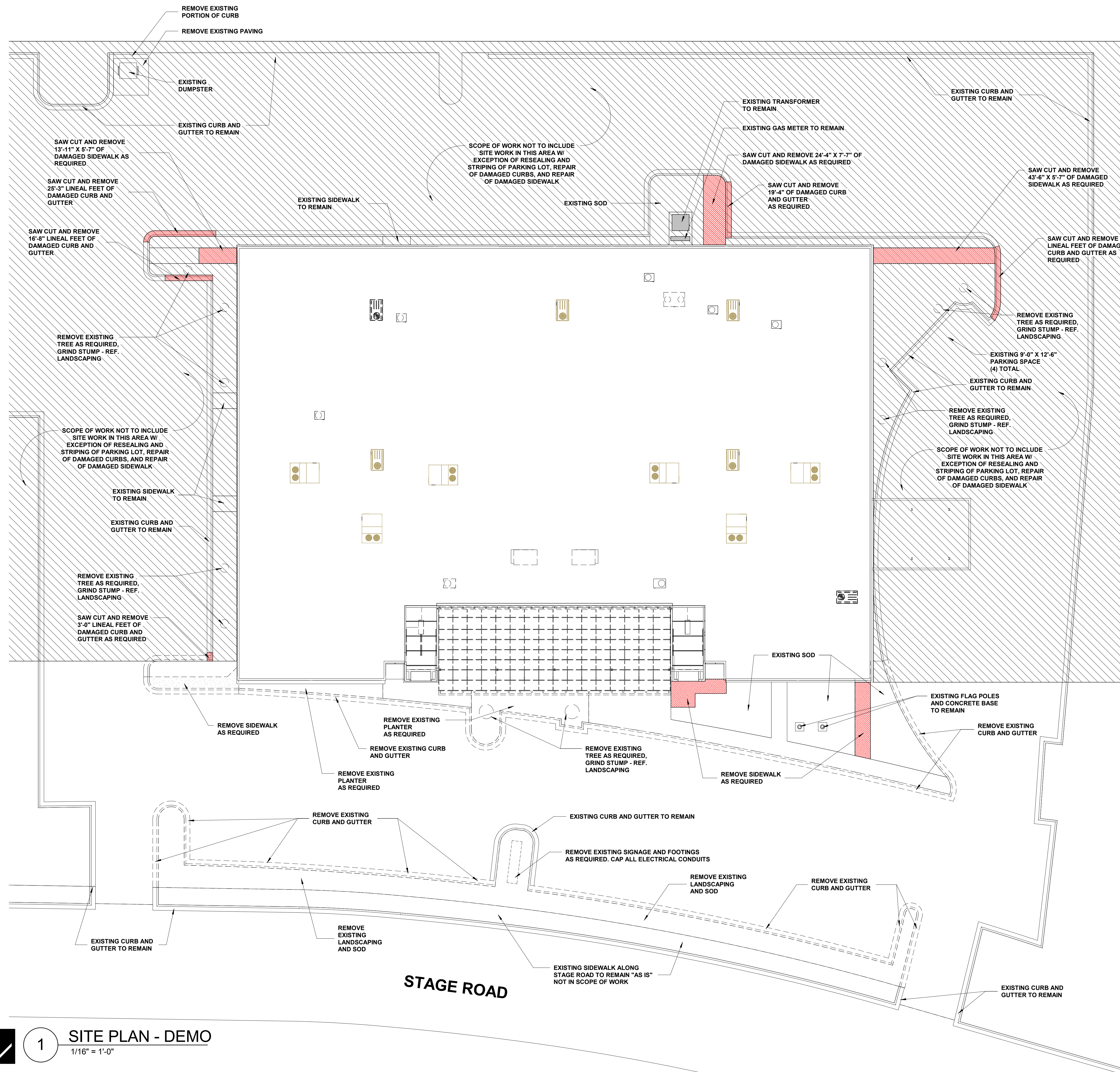
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**1** SITE PLAN - DEMO  
1/16" = 1'-0"

**NOTE: ALL EXISTING LANDSCAPING IN SCOPE OF PROJECT TO BE REMOVED AND REPLACED**

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
SITE PLAN - DEMOLITION  
 Project No.  
17027  
 Drawn by  
RGI  
 Date  
10/31/2017

**D1.1**

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Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
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Sheet Title  
DEMOLITION PLAN - FIRST FLOOR

Project No.  
17027

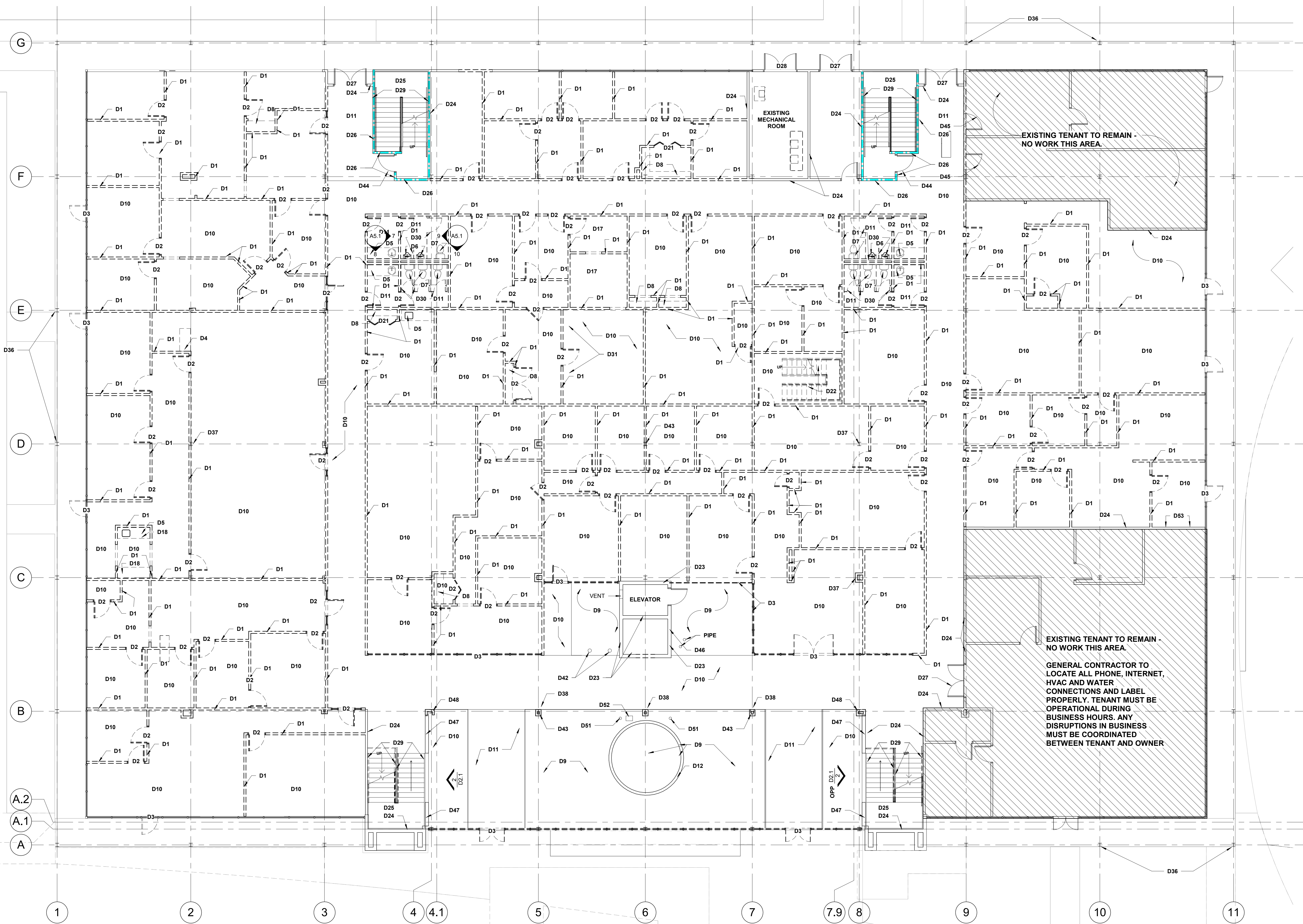
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RGI

Date  
10/31/2017

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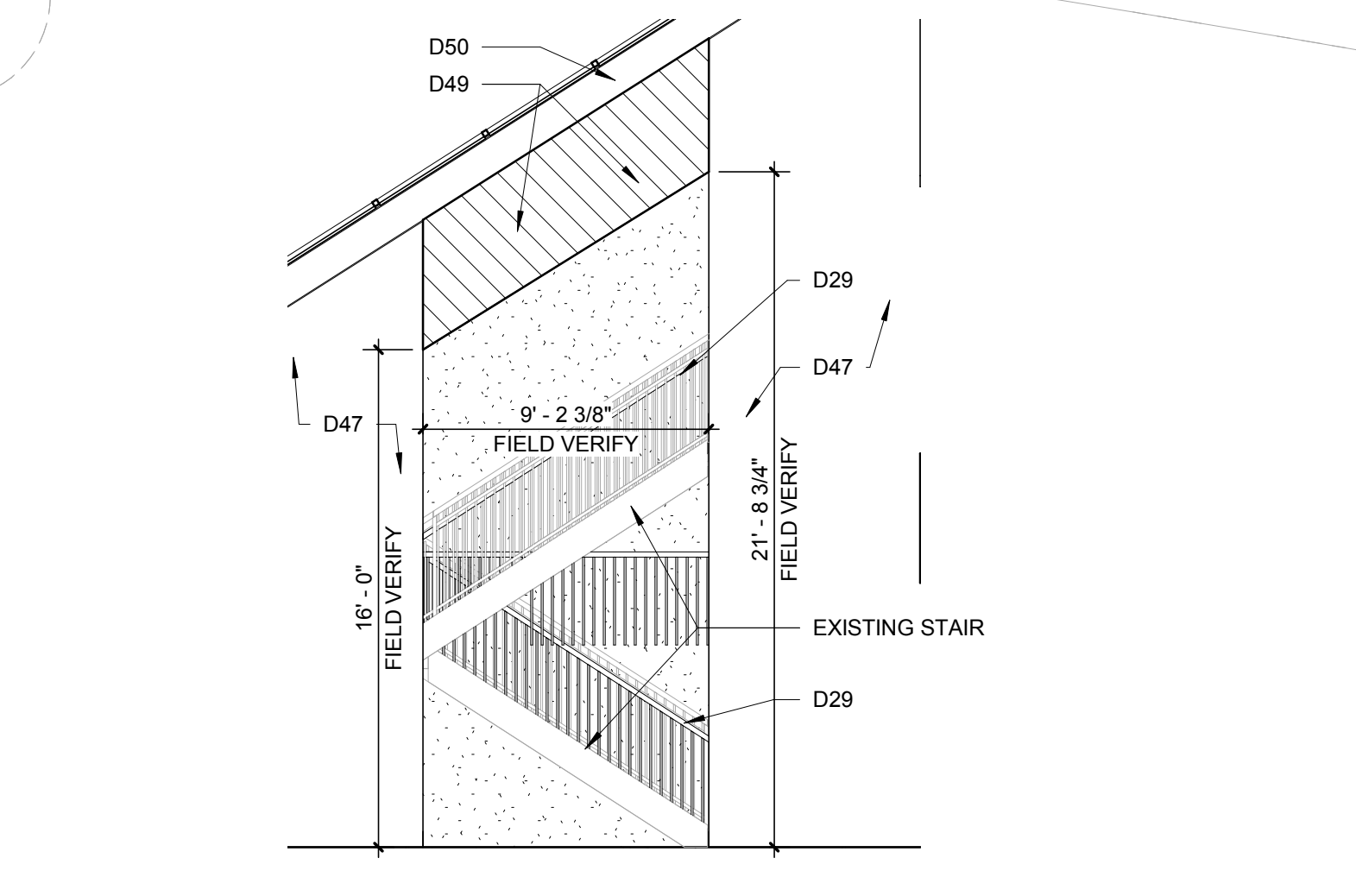
**DEMOLITION LEGEND**

- D1** REMOVE EXISTING GYP. BOARD PARTITION AS REQUIRED, INCLUDING BUT NOT LIMITED TO, METAL STUDS, WOOD BLOCKING, DIAGONAL BRACING STUD TRACK, ETC.
- D2** REMOVE EXISTING WOOD DOOR AND HOLLOW METAL FRAME AS REQUIRED, INCLUDING BUT NOT LIMITED TO, DOOR, FRAME, LOCKSET, CLOSER, WOOD BLOCKING
- D3** REMOVE EXISTING ALUMINUM STOREFRONT FRAMING SYSTEM AND GLAZING AS REQUIRED.
- D4** REMOVE EXISTING LAMINATED COUNTERTOPS AS REQUIRED.
- D5** REMOVE EXISTING VANITY, TOP, AND SINK AS REQUIRED. CAP PLUMBING LINES AT EXISTING CONCRETE SLAB LEVEL - REF. PLUMBING DEMOLITION DRAWINGS.
- D6** REMOVE EXISTING WALL MOUNTED URINAL AS REQUIRED. CAP PLUMBING LINES AT EXISTING CONCRETE SLAB LEVEL - REF. PLUMBING DEMOLITION DRAWINGS. RETURN URINAL TO OWNER FOR POSSIBLE RE-USE.
- D7** REMOVE EXISTING TOILET AS REQUIRED. CAP PLUMBING LINES AT EXISTING CONCRETE SLAB LEVEL - REF. PLUMBING DEMOLITION DRAWINGS. RETURN TOILET TO OWNER FOR POSSIBLE RE-USE.
- D8** REMOVE EXISTING WOOD SHELVING AND SUPPORT SYSTEM.
- D9** REMOVE EXISTING ROCK, FOUNTAIN, PIPING, FOUNTAIN WALLS AND FOUNTAIN SLAB AS REQUIRED.
- D10** REMOVE EXISTING CARPET AS REQUIRED, INCLUDING BUT NOT LIMITED TO CARPET ADHESIVE. PREPARE EXISTING SLAB FOR NEW FLOOR FINISH AS PER MANUFACTURER'S REQUIREMENTS.
- D11** REMOVE EXISTING CERAMIC TILE AS REQUIRED, INCLUDING BUT NOT LIMITED TO GROUT. PREPARE EXISTING SLAB FOR NEW FLOOR FINISH AS PER MANUFACTURER'S REQUIREMENTS.
- D12** REMOVE EXISTING FOUNTAIN WALL AS REQUIRED.
- D13** REMOVE EXISTING CRASH RAIL AT EXISTING STOREFRONT. TYPICAL FOR EXTERIOR STOREFRONT FIRST AND SECOND FLOOR WALLS.
- D14** REMOVE EXISTING WINDOW.
- D15** REMOVE EXISTING MINI BLINDS AS REQUIRED.
- D16** REMOVE EXISTING RUBBER BASE AND ADHESIVE AS REQUIRED FROM EXISTING GYP. BOARD PARTITION.
- D17** REMOVE EXISTING VCT AS REQUIRED INCLUDING BUT NOT LIMITED TO MASTIC. PREPARE EXISTING SLAB FOR NEW FLOOR FINISH AS PER MANUFACTURER'S REQUIREMENTS.
- D18** REMOVE EXISTING BASE CABINETS, WALL CABINETS, COUNTERTOPS, AND SINK AS REQUIRED. CAP PLUMBING LINES AT EXISTING CONCRETE SLAB LEVEL - REF. PLUMBING DEMOLITION DRAWINGS.
- D19** REMOVE EXISTING SYSTEMS FURNITURE AS REQUIRED.
- D20** REMOVE EXISTING BASEBOARD HEATERS AS REQUIRED.
- D21** REMOVE EXISTING WOOD, BIFOLD DOORS, AND DOOR TRACK AS REQUIRED.
- D22** REMOVE EXISTING STAIR RISERS, STAIR LANDINGS, TREADS AND HANDRAIL AS REQUIRED.
- D23** EXISTING CMU WALLS TO REMAIN. SCRAPE ALL LOOSE PAINT AND PREPARE WALL FOR NEW PAINT FINISH.
- D24** EXISTING GYP. BOARD WALLS TO REMAIN. SCRAPE ALL LOOSE PAINT AND PREPARE WALL FOR NEW PAINT FINISH.
- D25** EXISTING STAIR RISERS, TREADS AND HANDRAILS TO REMAIN. REMOVE EXISTING FLOOR AND STAIR FINISHES AS REQUIRED AND PREP SLAB AND RISERS FOR NEW FINISH PATCH AND REPAIR ALL DAMAGED AREAS OF GYP. BOARD AND PREPARE FOR NEW PAINT FINISH. EXISTING HANDRAIL TO RECEIVE NEW PAINT FINISH
- D26** EXISTING RATED GYP. BOARD PARTITION TO REMAIN. REPAIR ALL DAMAGED AREAS OF GYP. BOARD AND PREPARE ENTIRE PARTITION FOR NEW PAINT FINISH.
- D27** EXISTING ALUMINUM GLASS DOOR TO REMAIN. PROTECT AS REQUIRED DURING ENTIRE CONSTRUCTION PROCESS.
- D28** EXISTING HOLLOW METAL DOOR TO REMAIN. PROTECT AS REQUIRED DURING ENTIRE CONSTRUCTION PROCESS. PREPARE DOOR AS REQUIRED FOR NEW PAINT FINISH.
- D29** REMOVE EXISTING PAINTED STEEL PIPE HANDRAIL, AND PICKETS AS REQUIRED FROM EXISTING STEEL STRINGERS AND EXISTING STEEL PLATE AT 2ND FLOOR LANDINGS. GRIND ALL STRINGERS AND PLATES AS REQUIRED TO REMOVE WELD POINTS OF EXISTING RAILING. PRIME EXISTING STEEL FOR NEW PAINT FINISH.
- D30** REMOVE EXISTING TOILET AND URINAL PARTITIONS AS REQUIRED
- D31** REMOVE EXISTING BOOK CASES AND CASEWORK
- D32** REMOVE EXISTING METAL AND WOOD RAILING AS REQUIRED. GENERAL CONTRACTOR TO INSTALL 42" HIGH TEMPORARY WALL FOR FALL PROTECTION UNTIL NEW GUARDRAIL IS INSTALLED
- D33** REMOVE EXISTING IT EQUIPMENT AND PHONE BOARDS
- D34** REMOVE PORTION OF EXISTING CONCRETE SLAB AND STEEL FRAMING - REF. STRUCTURAL FOR DETAILS
- D35** 42" HIGH WOOD FRAME PARTITION BARRICADE, COORDINATE LOCATION WITH OWNER AND ARCHITECT AFTER GUARDRAIL IS REMOVED. BARRICADE TO REMAIN IN PLACE UNTIL NEW GUARDRAIL IS INSTALLED.
- D36** EXISTING STEEL COLUMN TO REMAIN - SCRAPE AND SAND ALL LOOSE PAINT - PREPARE SURFACE FOR NEW PAINT FINISH AS PER MANUFACTURER RECOMMENDATION - TYP. FOR ALL EXPOSED COLUMNS IN PROJECT
- D37** EXISTING STEEL COLUMN TO REMAIN
- D38** REMOVE EXISTING GYP. BOARD AND FURRING AS REQUIRED TO EXPOSE EXISTING COLUMN
- D39** EXISTING MECHANICAL CHASE TO REMAIN
- D40** EXISTING ROOF HATCH AND ROOF ACCESS LADDER TO REMAIN
- D41** REMOVE EXISTING ALUMINUM STOREFRONT FRAMING AND GLAZING AS REQUIRED
- D42** REMOVE EXISTING DIRECTORY SIGN AS REQUIRED
- D43** REMOVE EXISTING COLUMN - REF. STRUCTURAL FOR BRACING DETAILING
- D44** REMOVE EXISTING RATED DOOR, EXISTING FRAME TO REMAIN, GC TO REMOVE EXISTING DOOR WHEN NEW RATED DOOR IS READY FOR INSTALLATION. EXISTING RATING ON EXISTING STAIR MUST BE MAINTAINED DURING CONSTRUCTION PROCESS.
- D45** COORDINATE INSTALLATION OF NEW TENANT DOOR, LOCKSET AND KEYING W/ OWNER AND TENANT
- D46** REMOVE 4" EXISTING TILE
- D47** REMOVE EXISTING STUCCO AND LATH AS REQUIRED, EXISTING CMU BLOCK WALL TO REMAIN
- D48** REMOVE THERMOSTAT AND RELOCATE - REF. MECHANICAL DRAWINGS
- D49** REMOVE EXISTING STUCCO, METAL LATH AND 1/2" STEEL TUBING GRID AS REQUIRED
- D50** REMOVE EXISTING GLASS ROOF AND STRUCTURE OF ATRIUM
- D51** REMOVE EXISTING WATER SPIGOT AS REQUIRED, CAP ALL PLUMBING LINES AS REQUIRED.
- D52** REMOVE EXISTING IRRIGATION CONTROL BOX, REMOVE CONDUIT, WIRING, ETC.
- D53** REMOVE EXISTING COLD AND HOT WATER LINES AS REQUIRED. CAP LINES IN WALL. PATCH WALL TO MATCH EXISTING ADJACENT SURFACES.



**1 DEMOLITION PLAN - FIRST FLOOR**  
1/8" = 1'-0"

- DEMOLITION GENERAL NOTES**
1. DEMOLISH AS REQUIRED TO ACCOMPLISH THE WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.
  2. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
  3. THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
  4. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF THE ITEMS WHICH ARE TO REMAIN.
  5. DEMOLISH EXISTING LANDSCAPING AS REQUIRED TO ACCOMPLISH WORK.



**2 STAIRWELL OPENING DEMO - ELEVATION**  
3/16" = 1'-0"

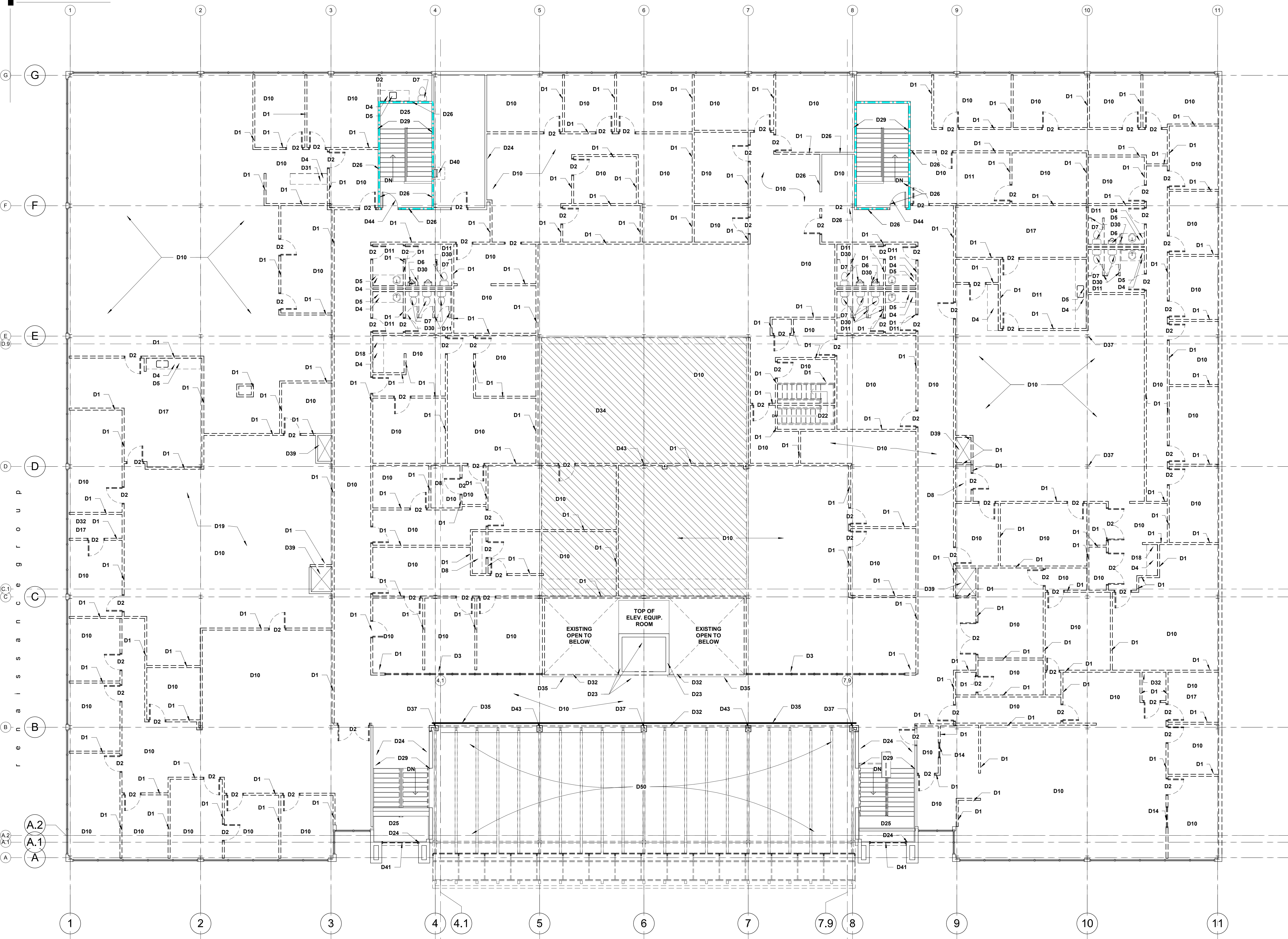
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1 DEMOLITION PLAN - SECOND FLOOR  
1/8" = 1'-0"

DEMOLITION LEGEND

- D1 REMOVE EXISTING GYP. BOARD PARTITION AS REQUIRED, INCLUDING BUT NOT LIMITED TO, METAL STUDS, WOOD BLOCKING, DIAGONAL BRACING STUD TRACK, ETC.
- D2 REMOVE EXISTING WOOD DOOR AND HOLLOW METAL FRAME AS REQUIRED, INCLUDING BUT NOT LIMITED TO, DOOR, FRAME, LOCKSET, CLOSER, WOOD BLOCKING AS REQUIRED.
- D3 REMOVE EXISTING ALUMINUM STOREFRONT FRAMING SYSTEM AND GLAZING AS REQUIRED.
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- D6 REMOVE EXISTING WALL MOUNTED URINAL AS REQUIRED. CAP PLUMBING LINES AT EXISTING CONCRETE SLAB LEVEL - REF. PLUMBING DEMOLITION DRAWINGS. RETURN URINAL TO OWNER FOR POSSIBLE RE-USE.
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DEMOLITION GENERAL NOTES

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6. DEMOLISH EXISTING LANDSCAPING AS REQUIRED TO ACCOMPLISH WORK.

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
DEMOLITION PLAN - SECOND FLOOR

Project No.  
17027

Drawn by  
RGI

Check by  
10/31/2017

**D2.2**  
Sheet No.

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Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
DIMENSION PLAN - 1ST FLOOR

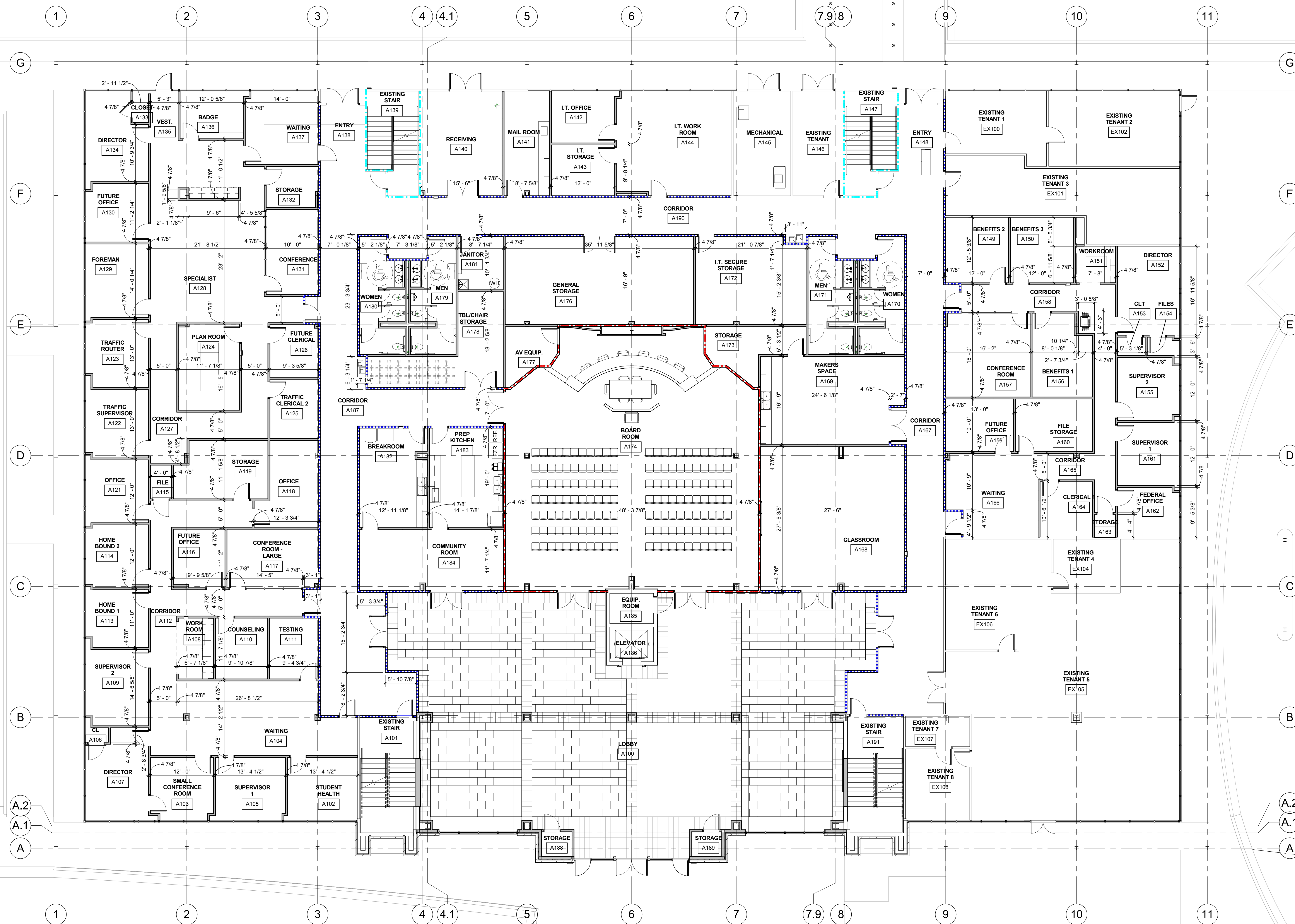
Project No.  
17027

Drawn by  
RGI

Date  
10/31/2017

**A2.0**

**1** DIMENSION PLAN - 1ST FLOOR  
1/8" = 1'-0"





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Lakeland, TN 38002  
901.332.5533  
fax: 901.332.5534  
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REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

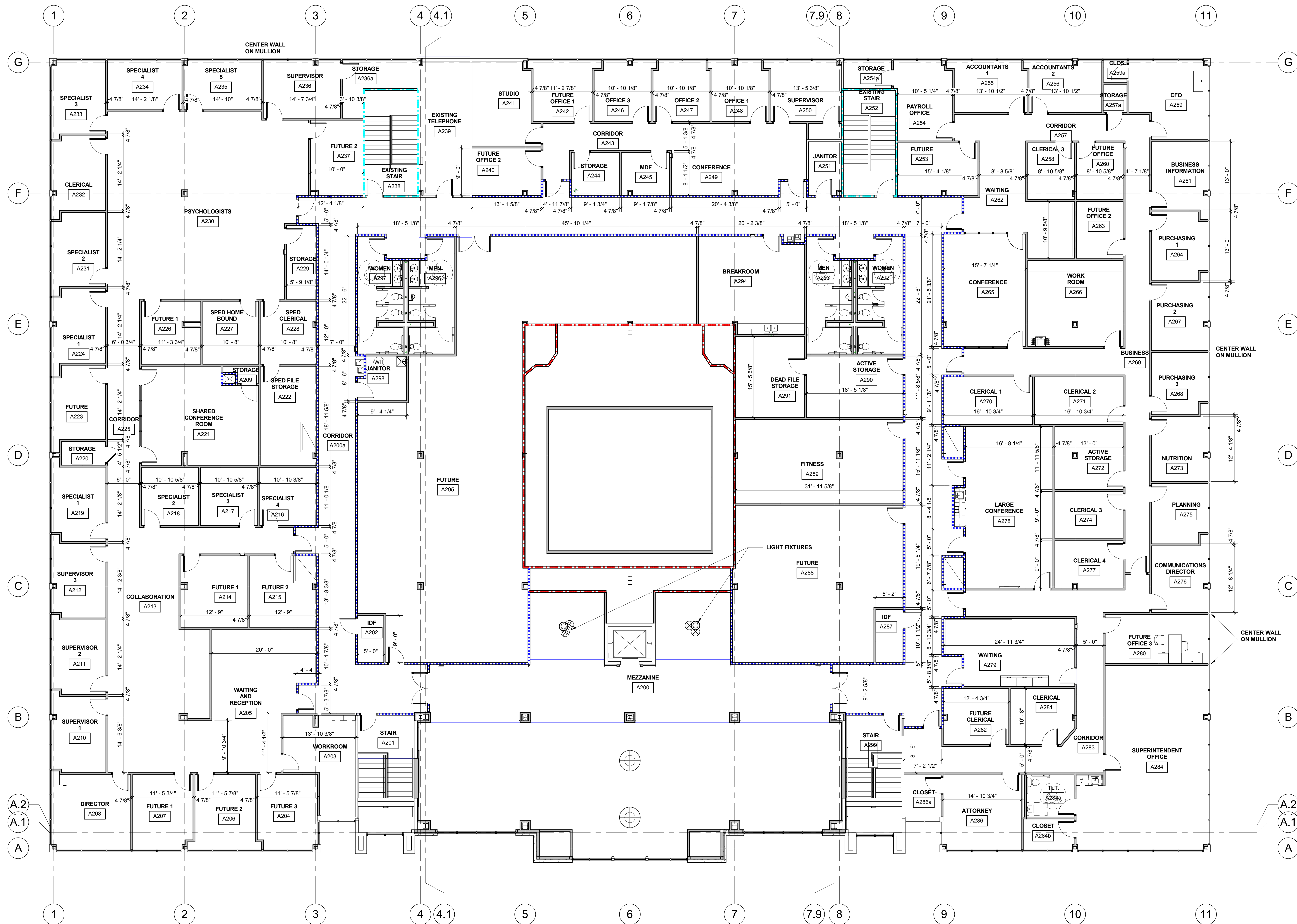
Sheet Title  
DIMENSION PLAN - SECOND FLOOR

Project No.  
17027

Drawn by  
RGI

Date  
10/31/2017

**A2.1**

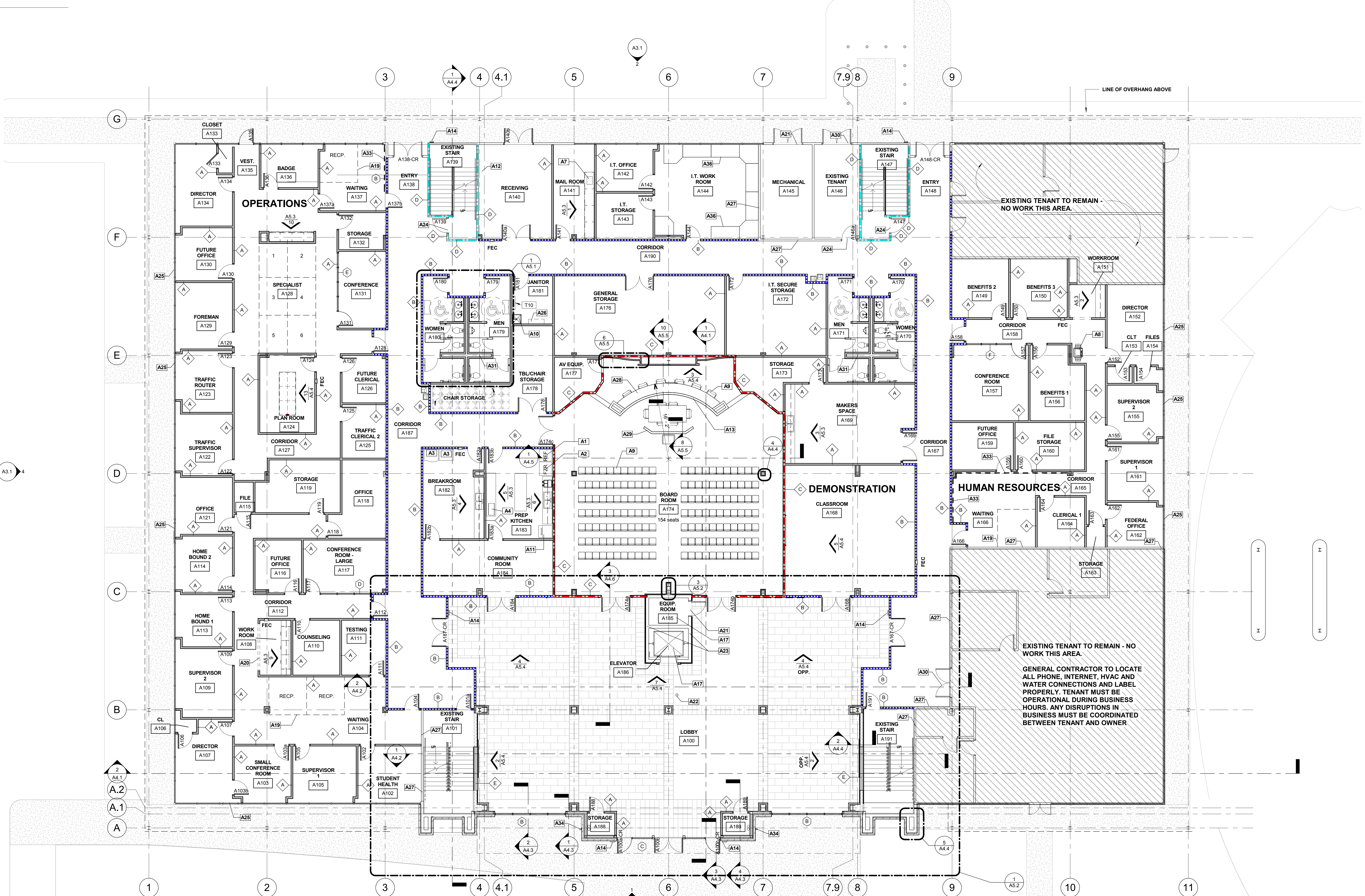


**1** DIMENSION PLAN - 2ND FLOOR  
1/8" = 1'-0"



REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134



**1 FLOOR PLAN-FIRST FLOOR**  
1/8" = 1'-0"

WALL TYPE - PLAN KEY	
A	GYP ON STUD WALL - NON RATED
B	SMOKE WALL - GYP BOARD ON STUD WALL
C	(1) HOUR RATED WALL - GYP ON STUD WALL
D	EXISTING (1) HOUR RATED - GYP ON STUD WALL
E	PLUMBING CHASE
F	GYP ON STUD (ONE SIDED) - NON RATED

INTERIOR KEYNOTE LEGEND	
A1	REFRIGERATOR - O.F.O.I.
A2	FREEZER - O.F.O.I.
A3	VENDING MACHINE - O.F.O.I.
A4	MICROWAVE - O.F.O.I.
A5	TV - VERIFY MOUNTING HEIGHT W/ OWNER
A6	SMART BOARD - O.F.O.I. - REF. INTERIOR ELEVATIONS
A7	SCALE - O.F.O.I.
A8	COPIER - O.F.O.I.
A9	CHAIRS - O.F.O.I.
A10	MOP SINK - REF. PLUMBING
A11	ICE MACHINE W/ DRAIN - O.F.O.I.
A12	EXISTING RISER SPRINKLER
A13	LOW WALL PARTITION AT RAISED PLATFORM - REF. 10/A5.5
A14	CARD READER - REF. ELECTRICAL DRAWINGS
A15	PENDANT LIGHT FIXTURE - REF. ELECTRICAL DRAWINGS FOR SPECS.
A16	EXISTING MECHANICAL CHASE TO REMAIN
A17	EXISTING ELEVATOR AND ELEVATOR EQUIPMENT ROOM TO REMAIN. REFERENCE INTERIOR ELEVATIONS FOR NEW ELEVATOR DOOR AND FRAME FINISHES
A18	EXISTING ROOF ACCESS LADDER TO REMAIN
A19	SYSTEMS FURNITURE BY OTHERS
A20	10'-0" W X 7'-0" H CASSED OPENING WITH CORNER GUARDS

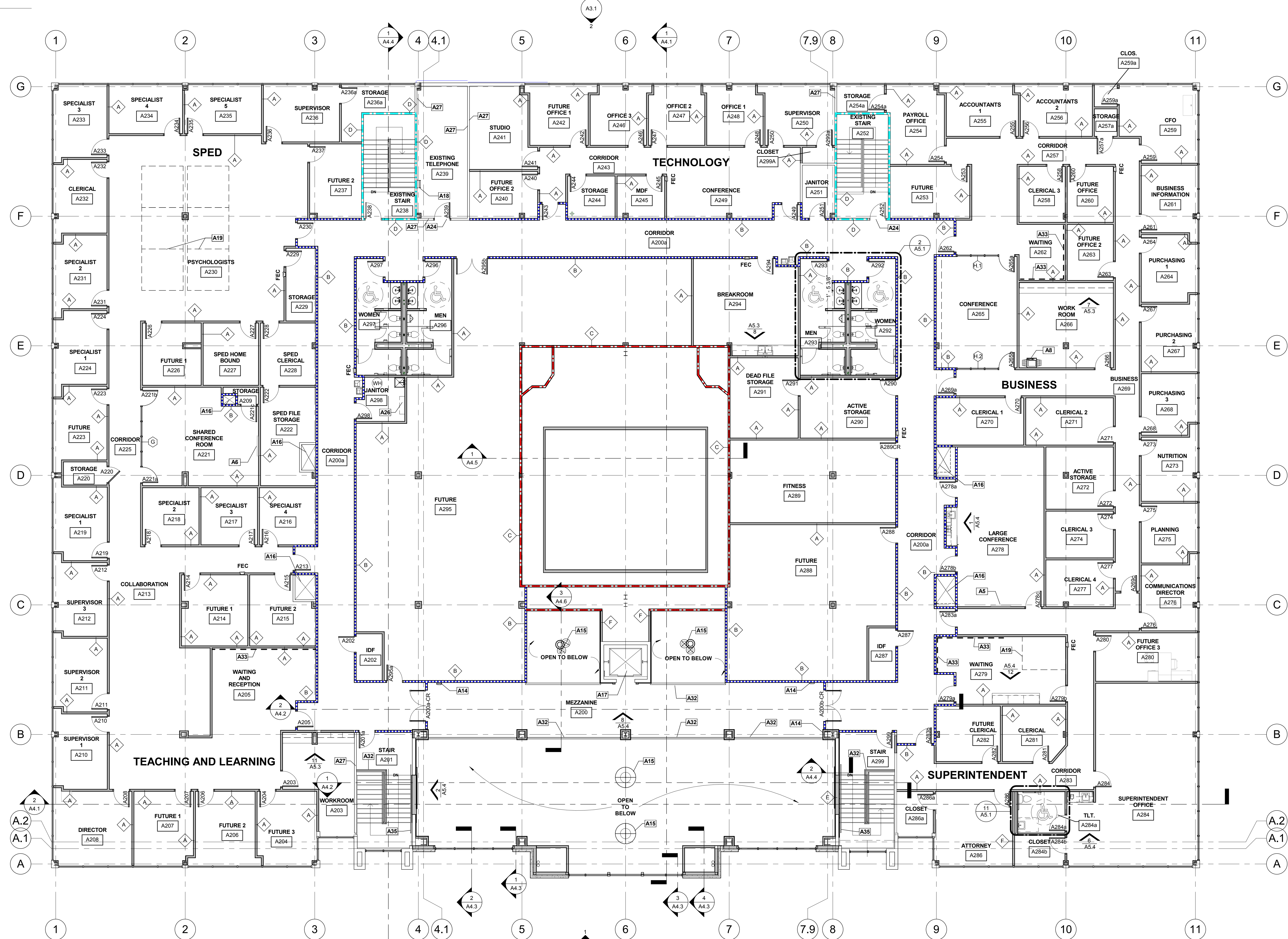
INTERIOR KEYNOTE LEGEND	
A21	EXISTING HOLLOW METAL DOOR & FRAME - PAINT DOOR & FRAME, COLOR AS SELECTED BY ARCHITECT
A22	EXISTING FLOOR DRAIN TO REMAIN
A23	EXISTING CMU BLOCK WALL ELEVATOR SHAFT
A24	NEW FACTORY FINISHED DOOR IN EXISTING HOLLOW METAL FRAME. PAINT FRAME COLOR AS SELECTED BY ARCHITECT TYPICAL DOOR A139, A146a, A147, A238, A239, A252 TYPICAL FOR DOOR
A25	NEW STOREFRONT GLAZING IN REWORKED FRAMING SYSTEM REF. SHEET A3.1
A26	RACK WITH SHELF MOP & BROOM
A27	EXISTING GYP. BOARD PARTITION TO REMAIN, PATCH ALL DAMAGED AREAS AS REQUIRED - PAINT, COLOR AS SELECTED BY ARCHITECT
A28	SOLID SURFACE COUNTERTOP AND BACKSPLASH - REF. INTERIOR ELEVATIONS SHEET A5.3
A29	LOW WALL GYP. BOARD PARTITION - REF. 8/A5.5
A30	EXISTING ALUMINUM / GLASS DOORS TO REMAIN
A31	EXISTING STEEL COLUMN TO REMAIN
A32	42" HIGH 1-1/2" DIA. STEEL PIPE GUARDRAIL SYSTEM - REF. 4/A4.5
A33	WOOD CHAIR RAIL - FINAL MOUNTING HEIGHT DETERMINED IN FIELD - REF. 2/A2.3
A34	ROOF DRAIN LEADER - TIE INTO UNDERGROUND STORM WATER PIPING AS REQUIRED. OVERFLOW LEADER SPILLS ONTO GRADE WITH LAMES TONGUE
A35	1-1/2" DIA. STEEL PIPE HANDRAIL @ 34" A.F.F. - PAINT. INSTALL FIRE TREATED BLOCKING IN WALL AS REQUIRED
A36	COMPUTER WORKSTATIONS - O.F.O.I.

**NOTE:**  
SCOPE OF PROJECT INCLUDES THE GENERAL CONTRACTOR SUPPLYING AND INSTALLING NEW WINDOW SHADES ON ALL EXTERIOR EXISTING WINDOW FRAMES. REF. SPECIFICATIONS



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Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134



**1 FLOOR PLAN-SECOND FLOOR**  
1/8" = 1'-0"

NOTE: SCOPE OF PROJECT INCLUDES THE GENERAL CONTRACTOR SUPPLYING AND INSTALLING NEW WINDOW SHADES ON ALL EXISTING WINDOW FRAMES. REF. SPECIFICATIONS

**WALL TYPE - PLAN KEY**

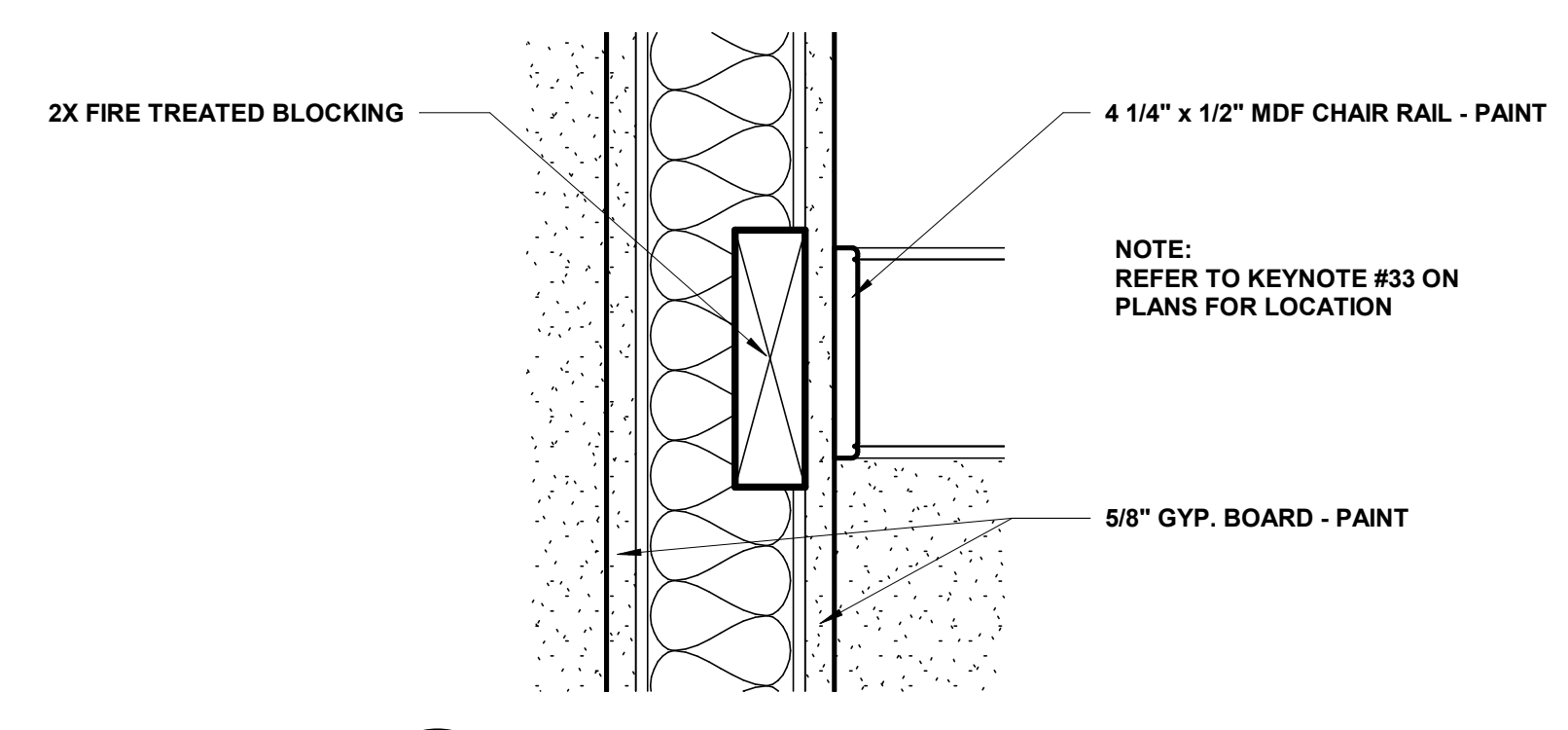
A	GYP ON STUD WALL - NON RATED
B	SMOKE WALL - GYP BOARD ON STUD WALL
C	(1) HOUR RATED WALL - GYP ON STUD WALL
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F	GYP ON STUD (ONE SIDED) - NON RATED

**INTERIOR KEYNOTE LEGEND**

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A2	FREZER - O.F.O.I.
A3	VENDING MACHINE - O.F.O.I.
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A19	SYSTEMS FURNITURE BY OTHERS
A20	10'-0" W X 7'-0" H CASED OPENING WITH CORNER GUARDS

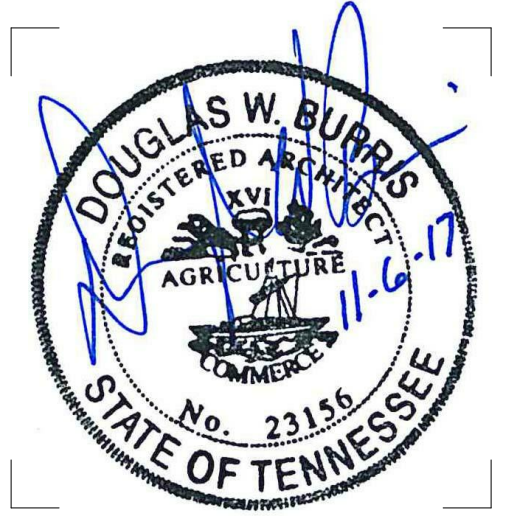
**INTERIOR KEYNOTE LEGEND**

A21	EXISTING HOLLOW METAL DOOR & FRAME - PAINT DOOR & FRAME, COLOR AS SELECTED BY ARCHITECT
A22	EXISTING FLOOR DRAIN TO REMAIN
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A35	1-1/2" DIA. STEEL PIPE HANDRAIL @ 34" A.F.F. - PAINT. INSTALL FIRE TREATED BLOCKING IN WALL AS REQUIRED
A36	COMPUTER WORKSTATIONS - O.F.O.I.



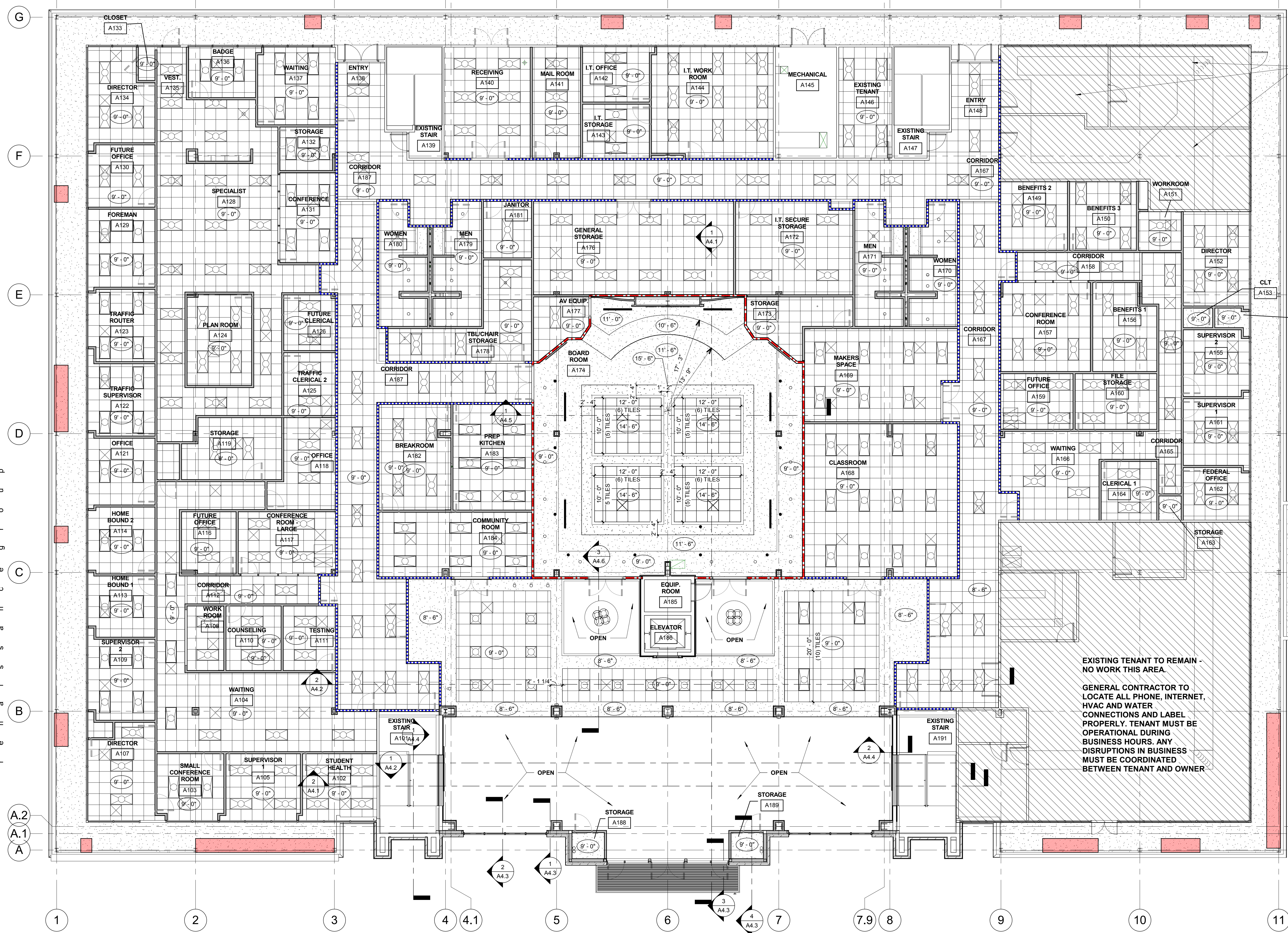
**2 CHAIR RAIL DETAIL**  
3" = 1'-0"

NOTE: FINAL MOUNTING HEIGHT TO BE DETERMINE IN FIELD



REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134



EXISTING TENANT TO REMAIN - NO WORK THIS AREA.  
GENERAL CONTRACTOR TO LOCATE ALL PHONE, INTERNET, HVAC AND WATER CONNECTIONS AND LABEL PROPERLY. TENANT MUST BE OPERATIONAL DURING BUSINESS HOURS. ANY DISRUPTIONS IN BUSINESS MUST BE COORDINATED BETWEEN TENANT AND OWNER

EXISTING BANK DRIVE THROUGH

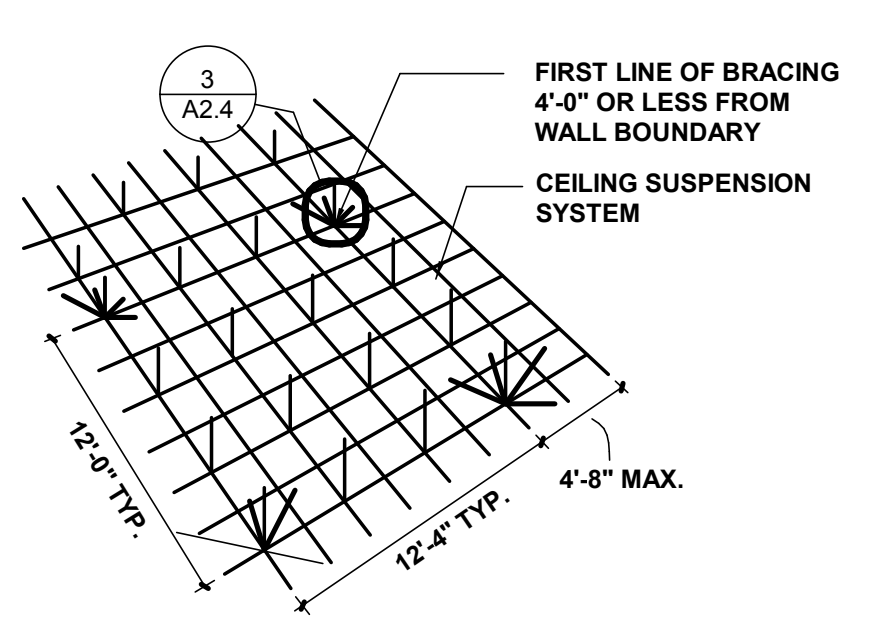
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**1 REFLECTED CEILING PLAN-FIRST FLOOR**  
1/8" = 1'-0"

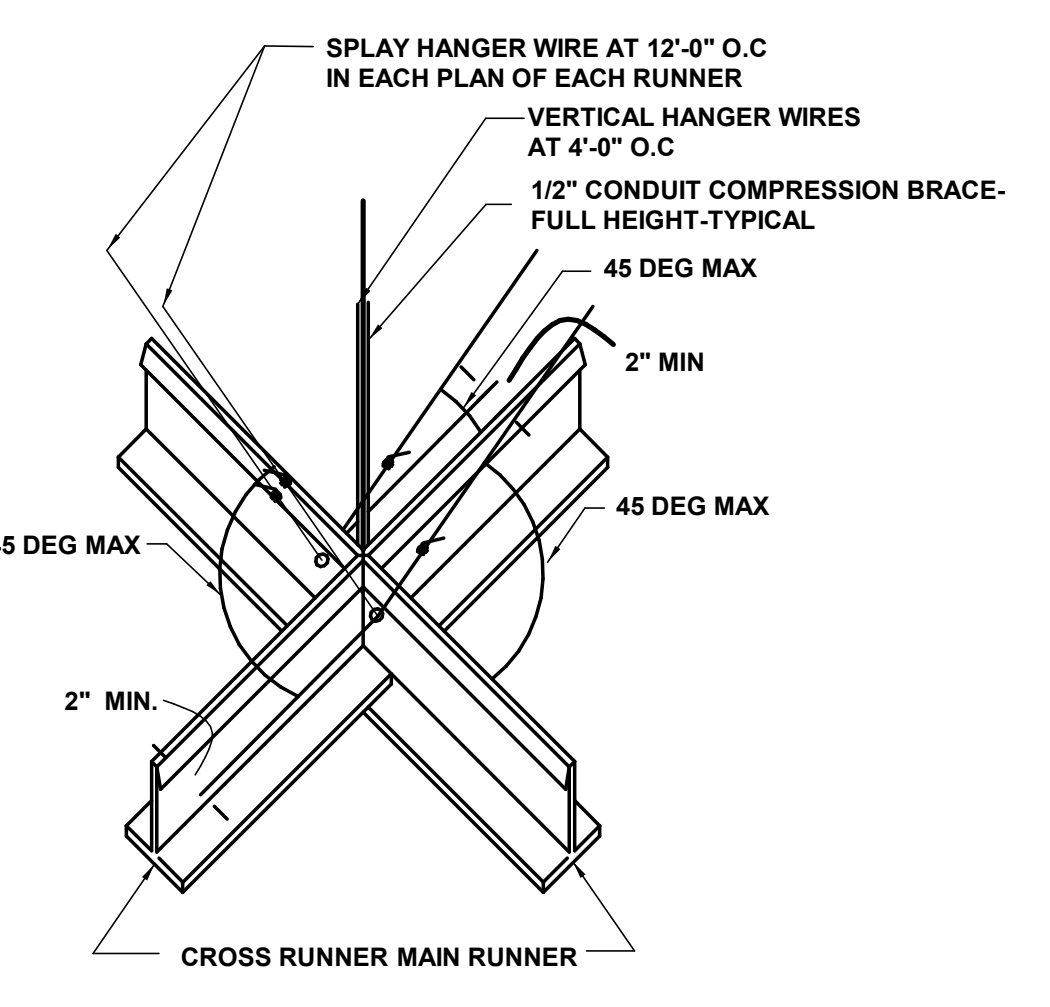
**NOTE:**  
SCOPE OF WORK INCLUDES PATCHING ALL DAMAGED AREAS OF SOFFIT ON BUILDING, PAINTING ALL PATCHED SURFACES AND REPAINTING ALL EXISTING SOFFITS ON BUILDING - COLOR AS SELECTED BY ARCHITECT

INDICATES ALL DAMAGED AREAS OF SOFFIT THAT ARE TO BE REPAIRED AND PAINTED TO MATCH EXISTING ADJACENT SOFFIT

VERIFY EXACT SEISMIC REQUIREMENTS WITH CEILING GRID MANUFACTURER AND INSTALL ACCORDINGLY. PROVIDE ALL NECESSARY COMPONENTS TO MEET MFR'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS.



**2 CEILING SUSPENSION SYSTEM**  
1/2" = 1'-0"



**3 SEISMIC BRACING DETAIL**  
1/2" = 1'-0"

REFLECTED CEILING LEGEND	
	GYP. BD. SUSPENDED CEILING
	LAY-IN ACOUSTICAL TILE CEILING GRID
	SUPPLY DIFFUSER
	RETURN AIR VENT
	CEILING MOUNTED HEATER
	WALL MOUNTED FIXTURE
	2x4 LIGHT FIXTURE
	RECESSED DOWNLIGHT
	4' STRIP FLOURESCENT
	CEILING HEIGHT RELATIVE TO FINISH FLOOR
	OPEN TO STRUCTURE

- GENERAL NOTES**
- ALL CEILINGS ARE 9'-0" A.F.F. - UNLESS NOTED OTHERWISE
  - PAINT ALL EXPOSED STRUCTURE, DECKING, PIPING, DUCTWORK, CONDUIT, ETC.
  - VERIFY CEILING HEIGHTS IN EXISTING BUILDING AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY WORK.

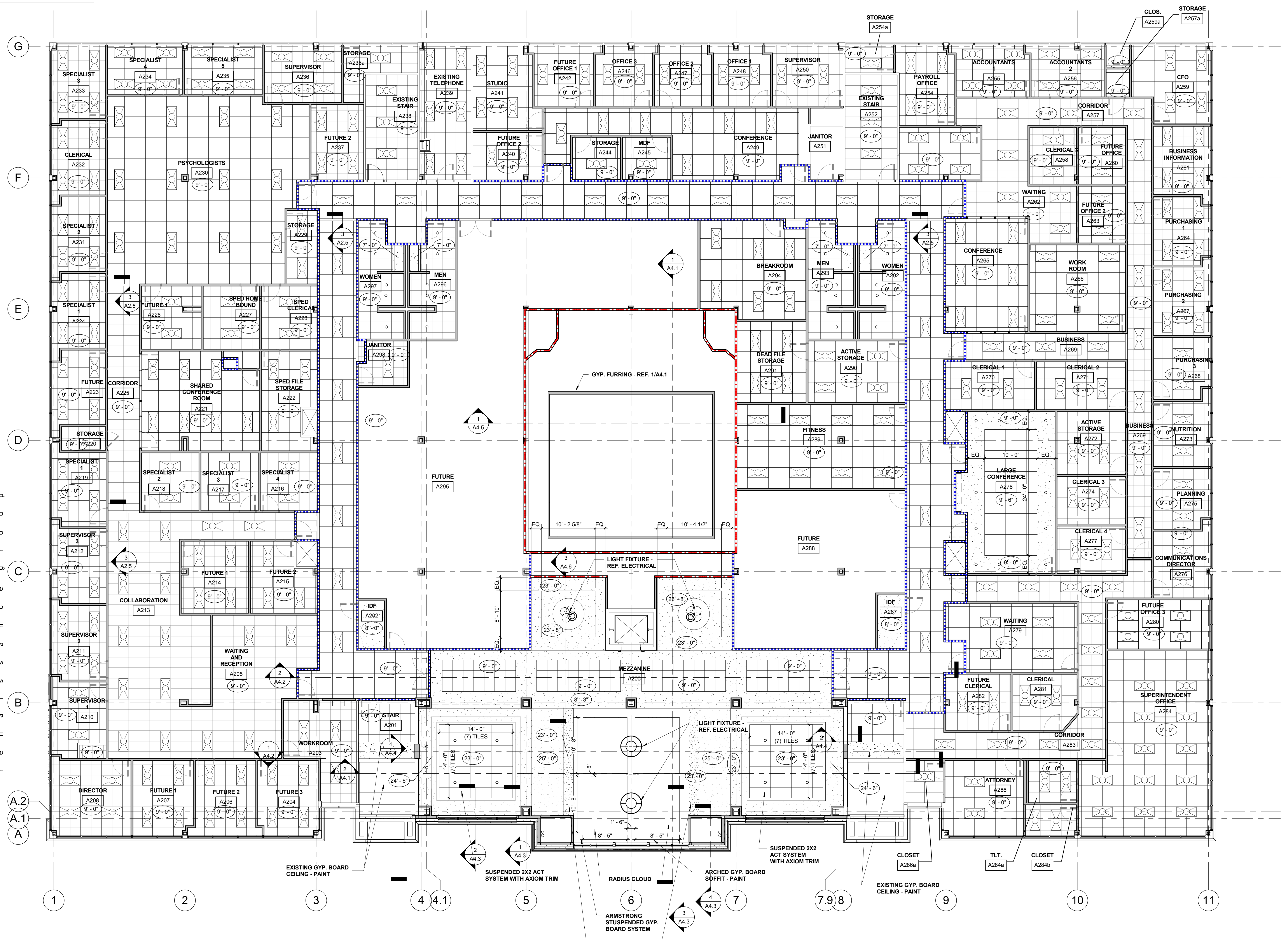


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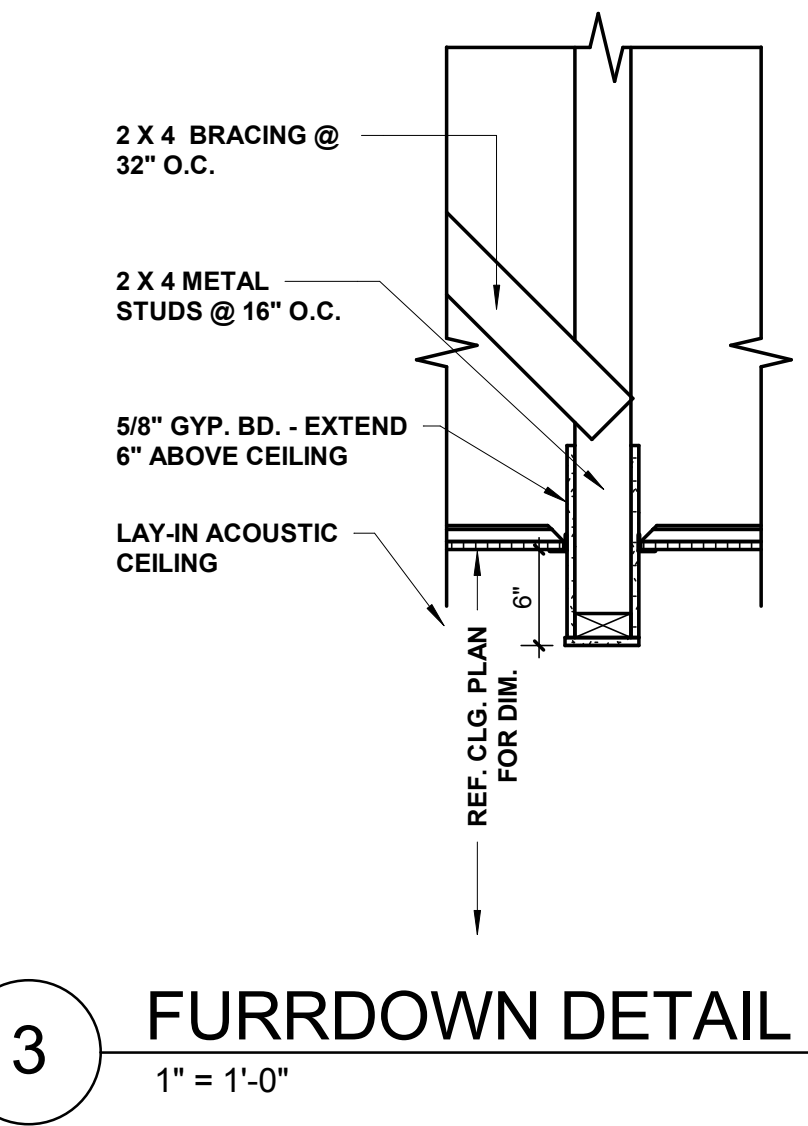


**REFLECTED CEILING LEGEND**

	GYP. BD. SUSPENDED CEILING
	LAY-IN ACOUSTICAL TILE CEILING GRID
	SUPPLY DIFFUSER
	RETURN AIR VENT
	CEILING MOUNTED HEATER
	WALL MOUNTED FIXTURE
	2x4 LIGHT FIXTURE
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**1 REFLECTED CEILING PLAN-SECOND FLOOR**  
1/8" = 1'-0"



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Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
REFLECTED CEILING PLAN - SECOND FLOOR

Project No.  
17027

Drawn by  
RGI

Date  
10/31/2017

**A2.5**



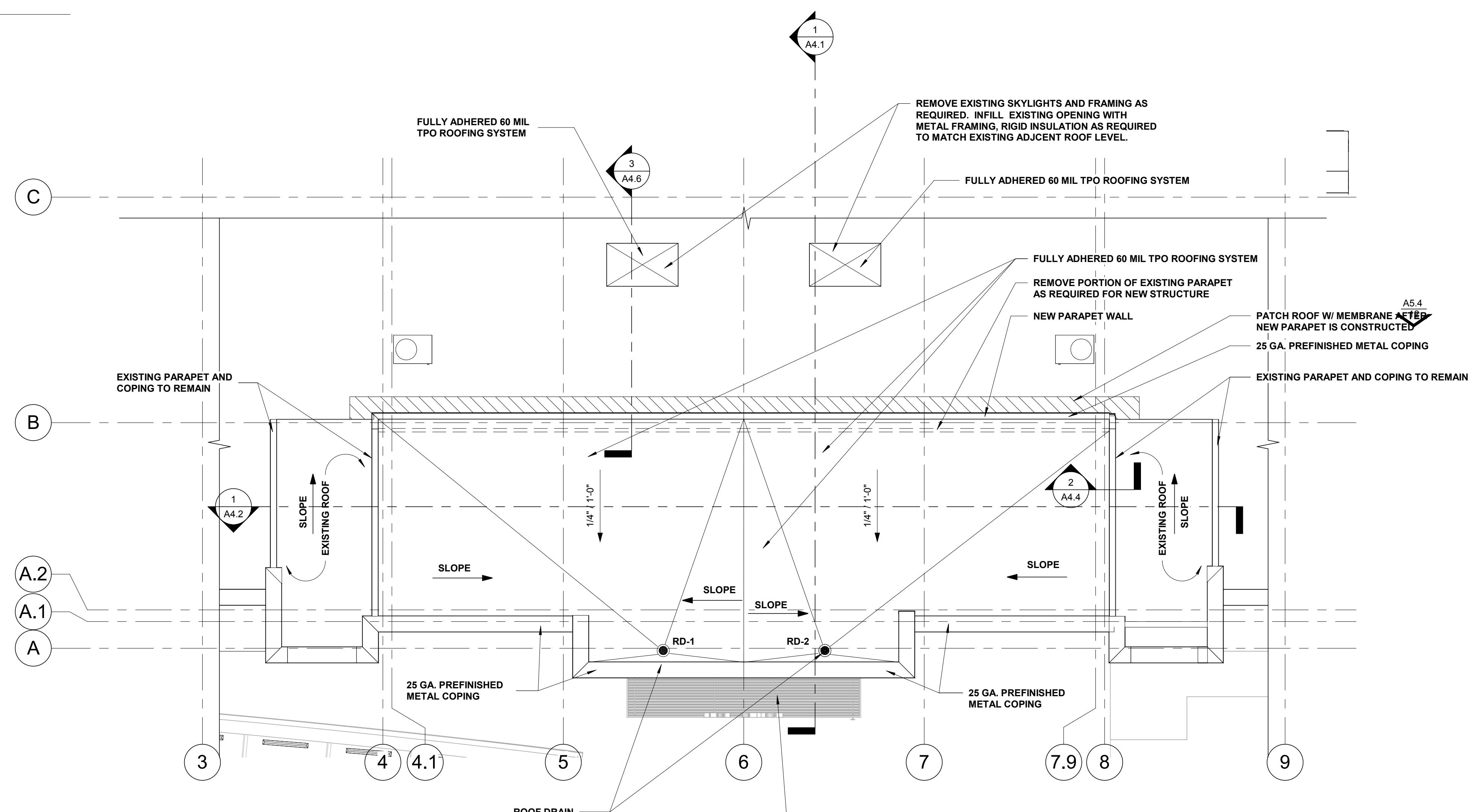


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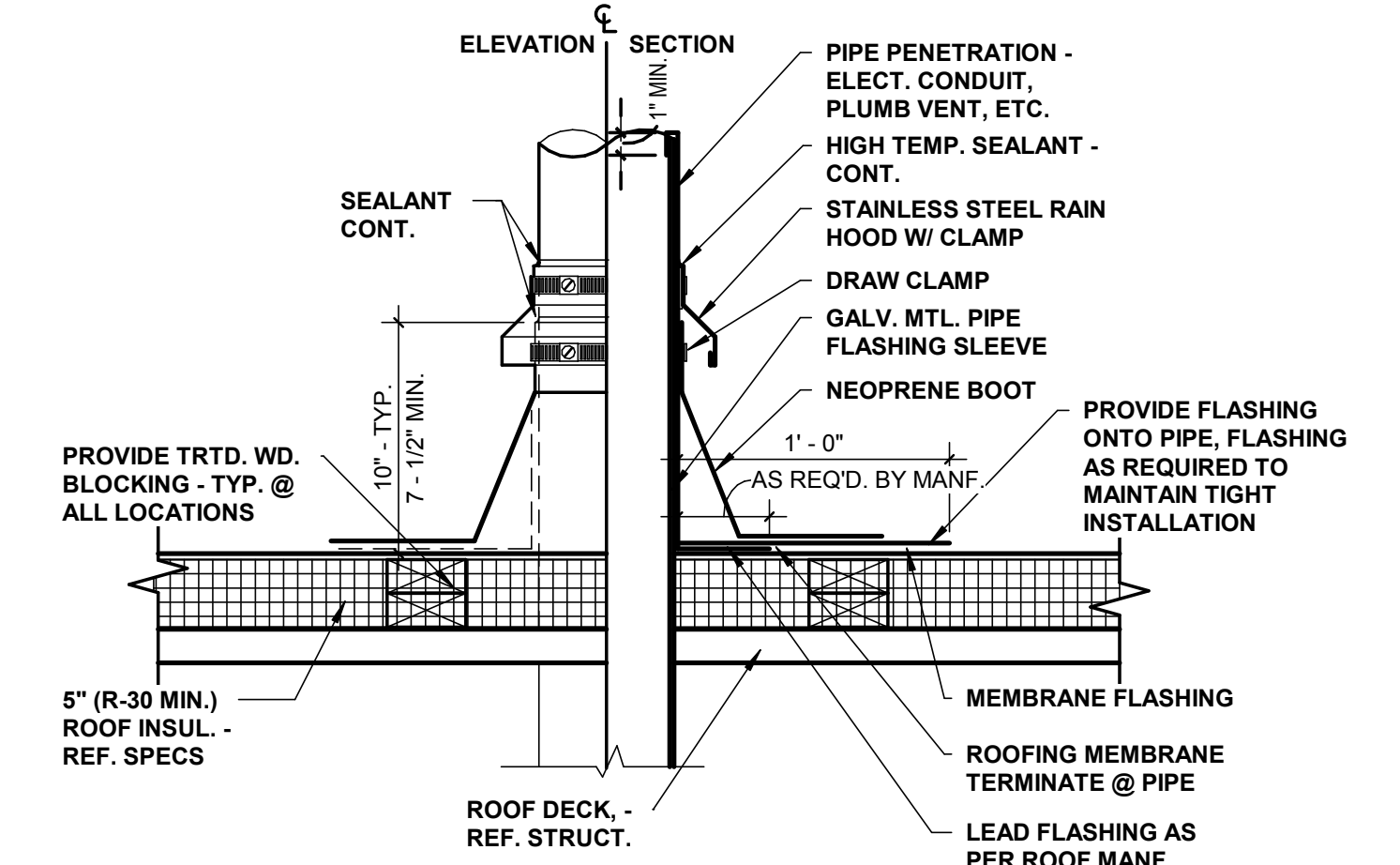
9700 Village Circle, Ste. 100  
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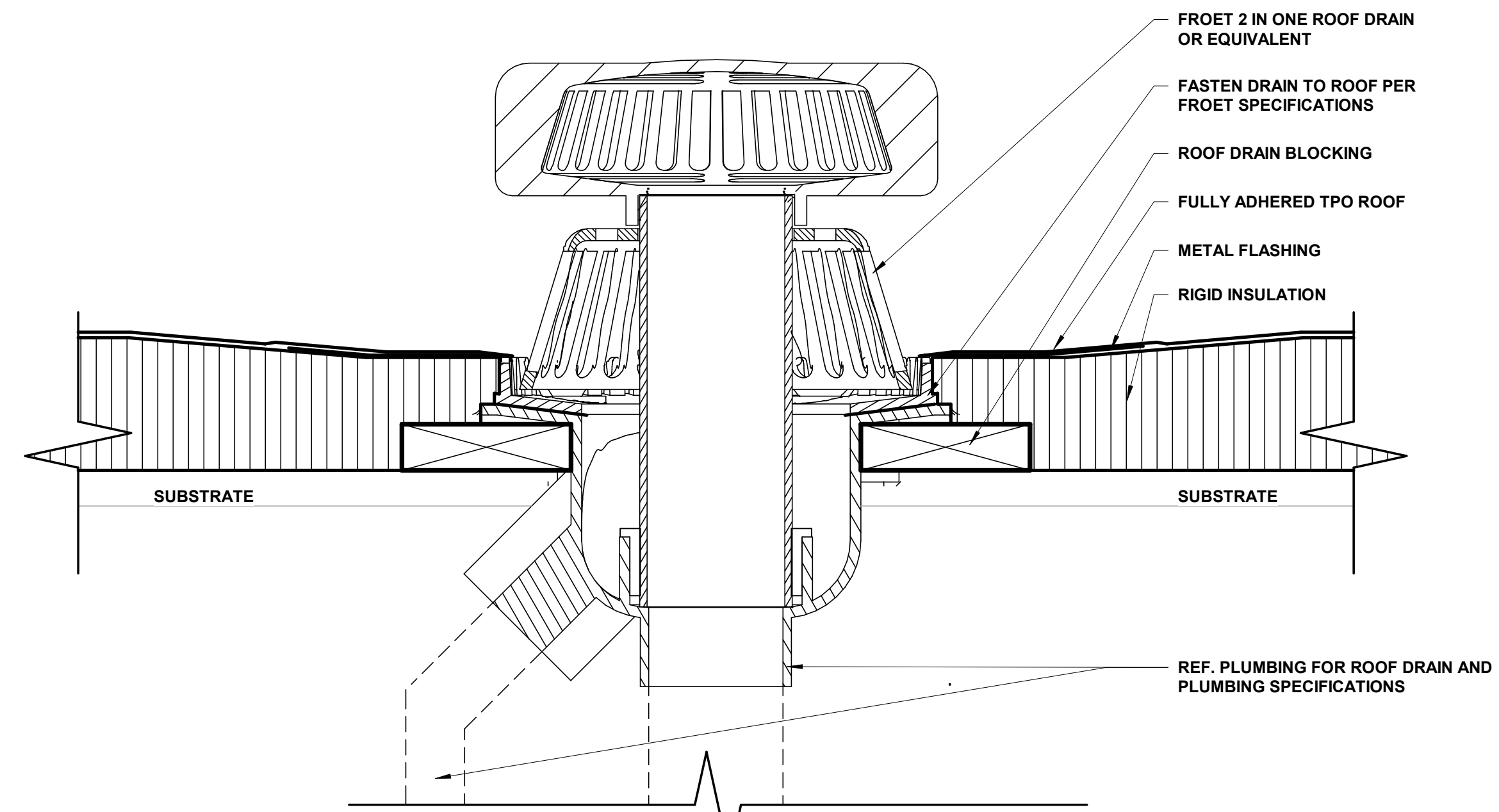
REV	DESCRIPTION	DATE



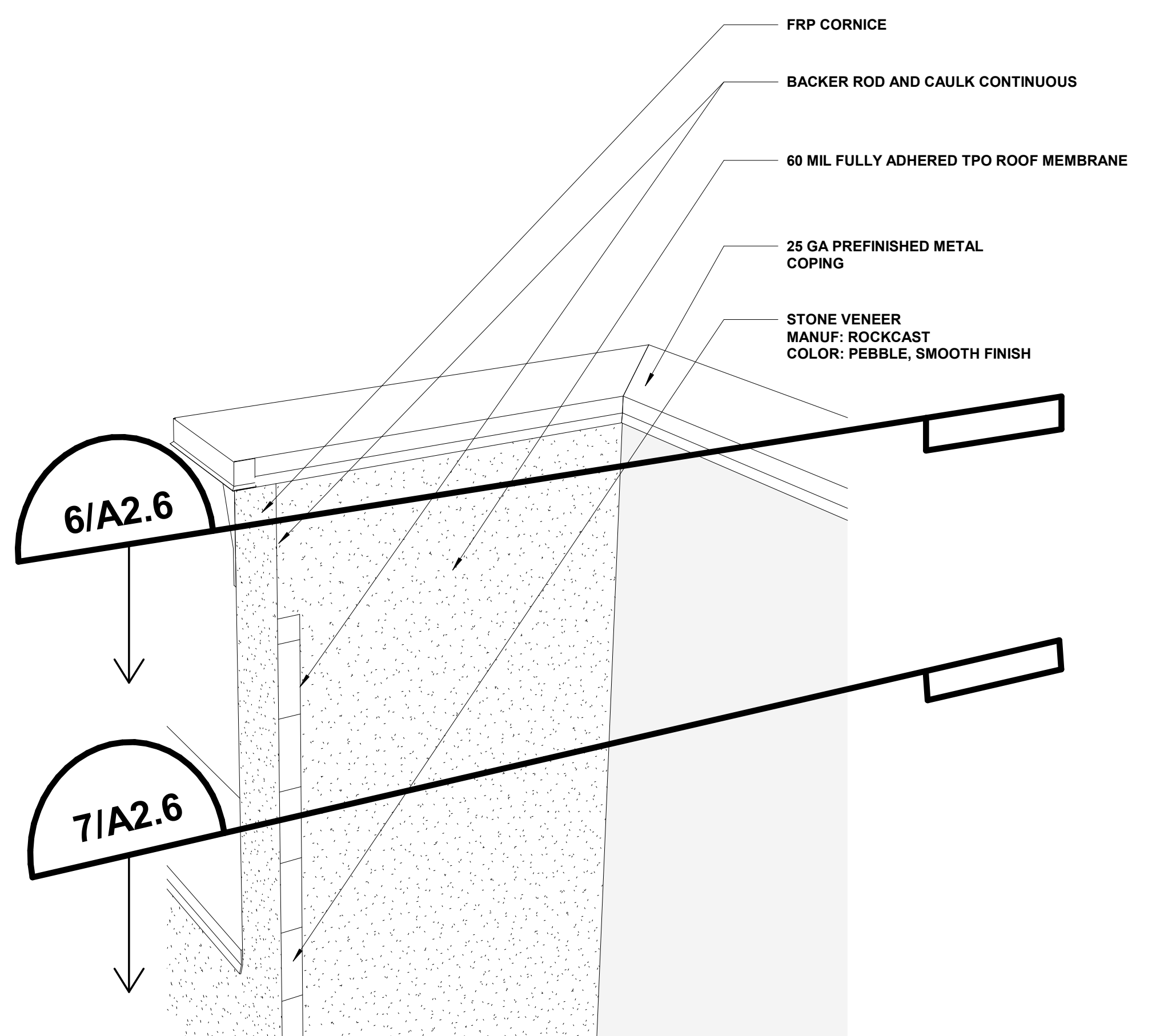
1 ROOF PLAN  
1/8" = 1'-0"



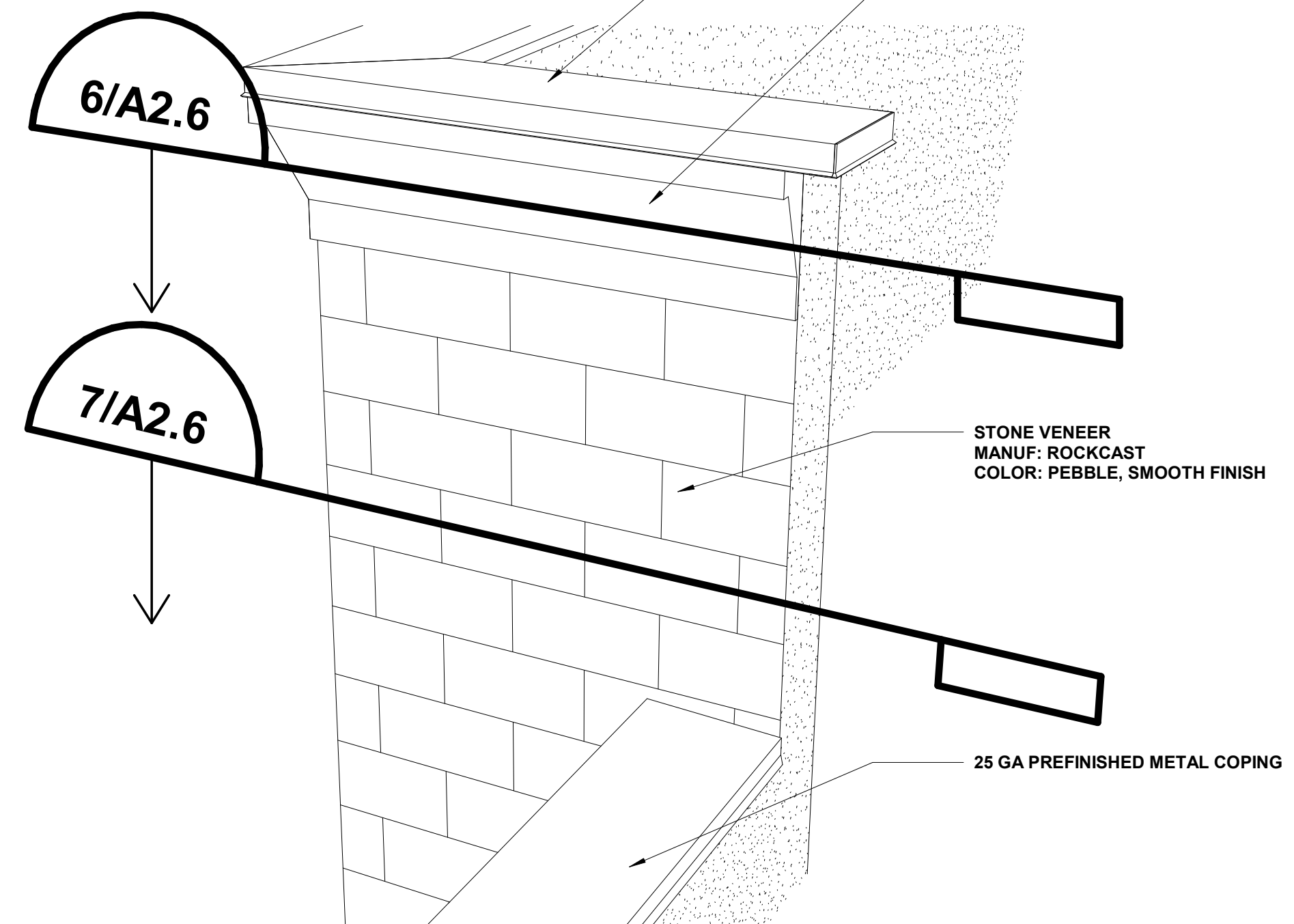
2 ROOF PENETRATION DETAIL  
1 1/2" = 1'-0"



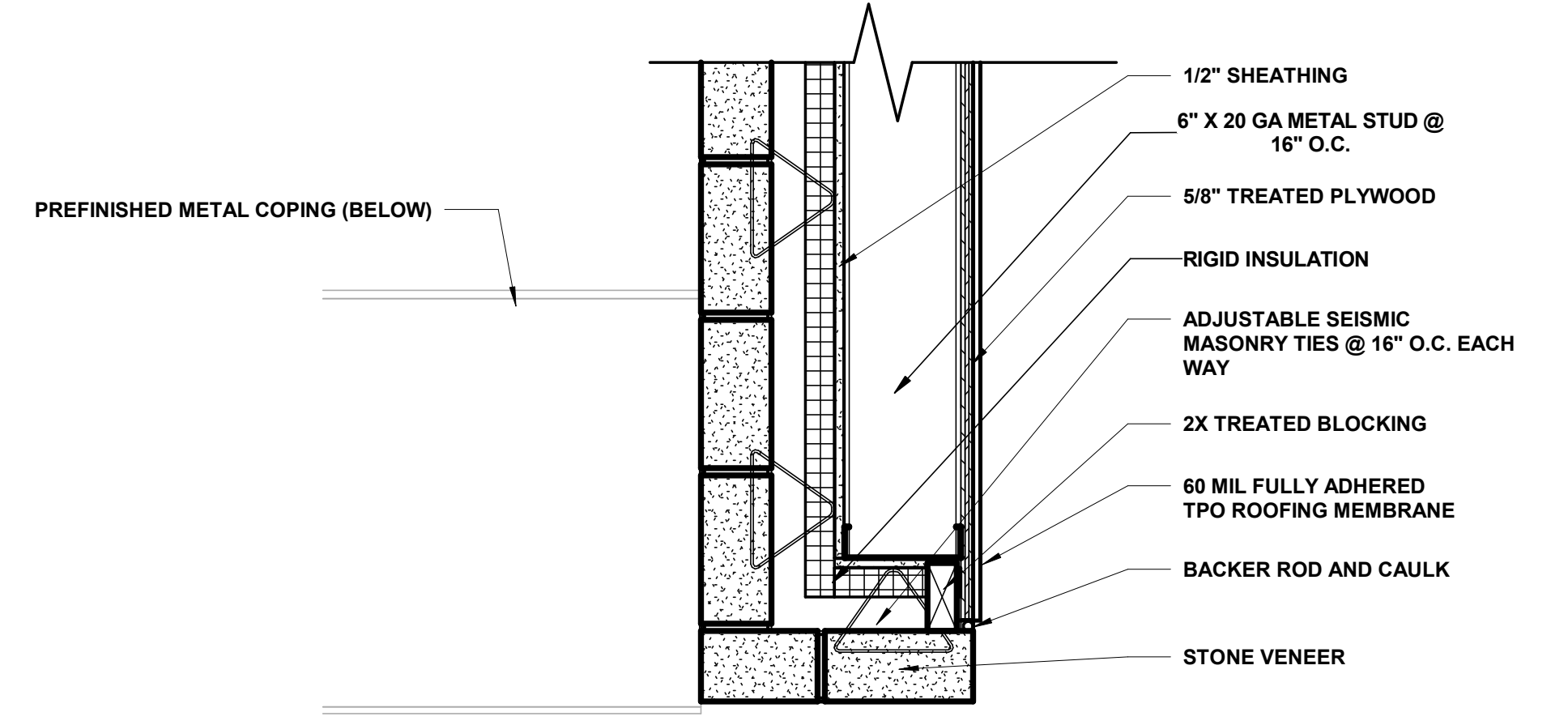
3 ROOF DRAIN DETAIL  
3" = 1'-0"



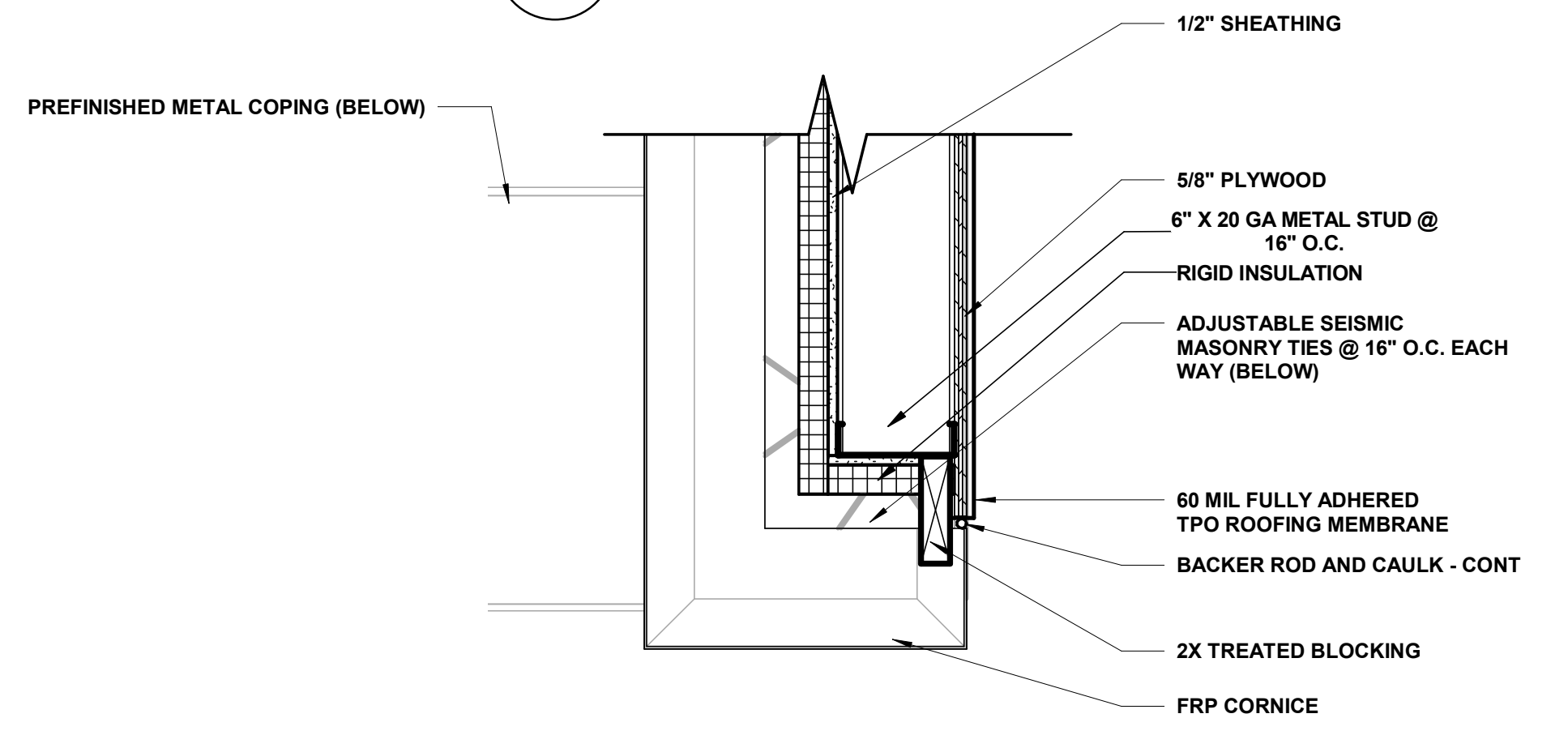
4 TOP PARAPET PERSPECTIVE - A



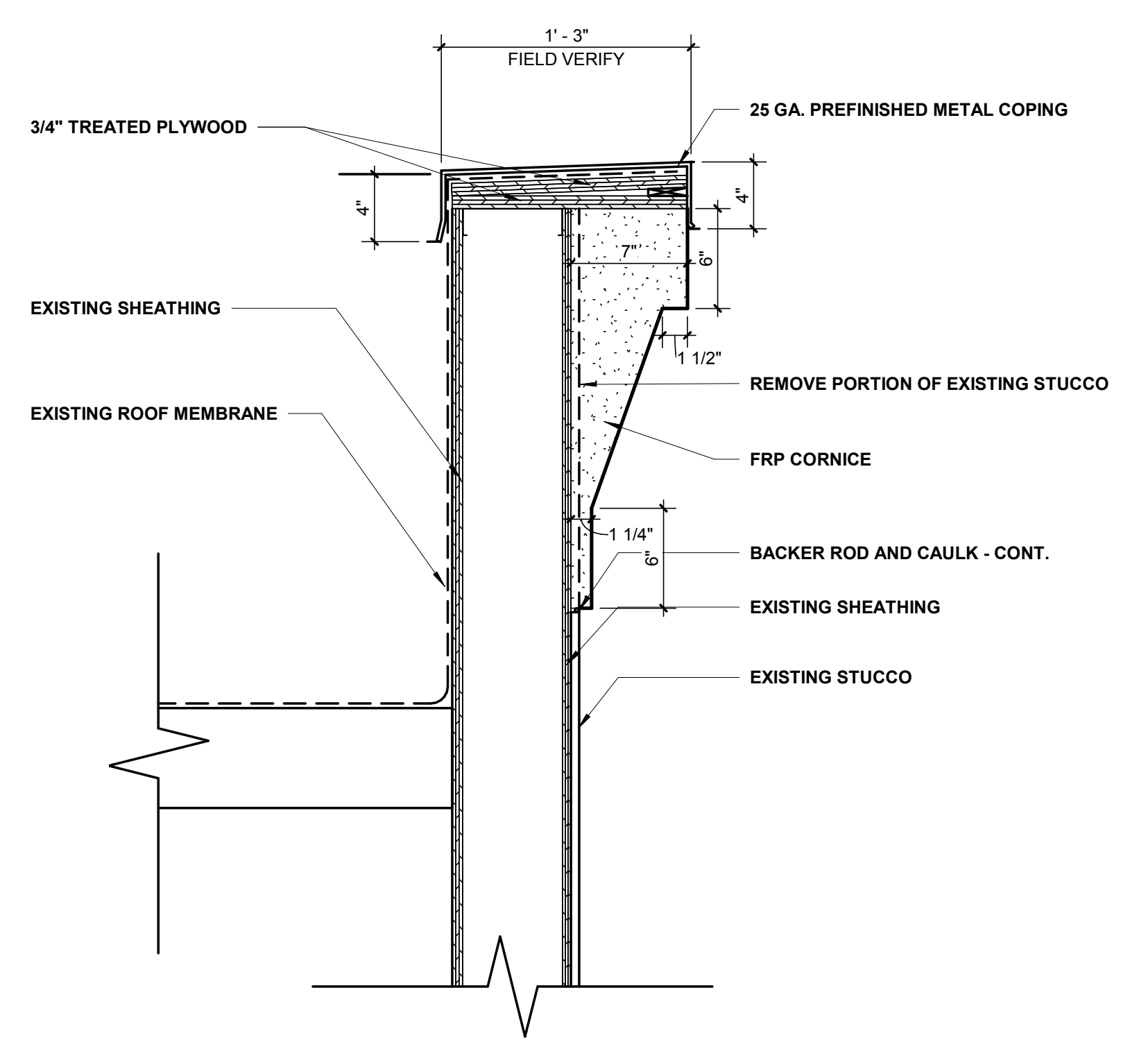
5 TOP PARAPET PERSPECTIVE - B



7 STONE WRAP @ HIGH PARAPET DETAIL  
1 1/2" = 1'-0"



6 FRP WRAPPING @ HIGH PARAPET DETAIL  
1 1/2" = 1'-0"



8 SECTION @ FRP - ADD ALTERNATE # 1  
1 1/2" = 1'-0"

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REVISIONS

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
ROOF PLAN

Project No.  
17027

Drawn by  
RGI

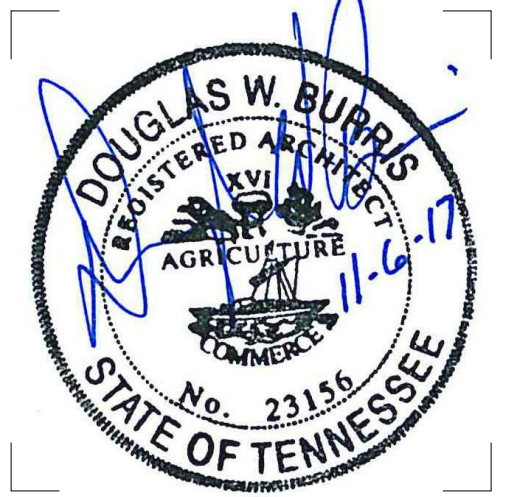
Date  
10/31/2017

**A2.6**



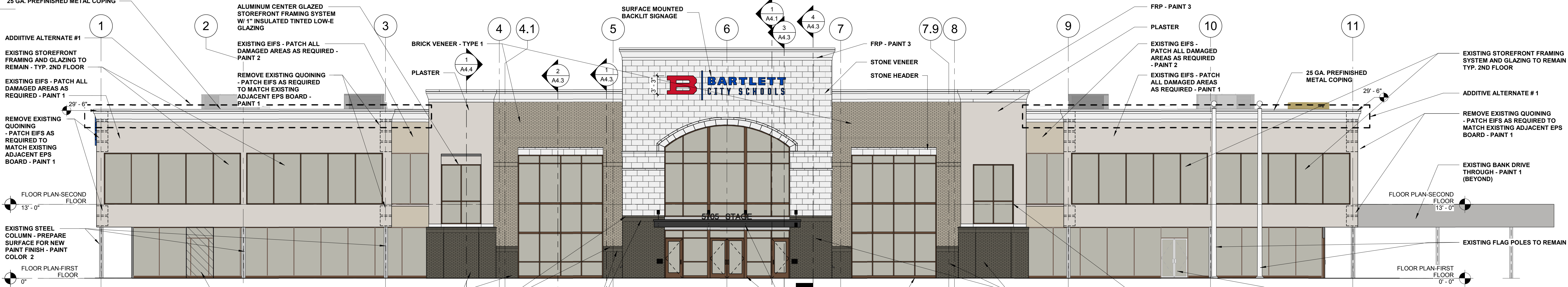
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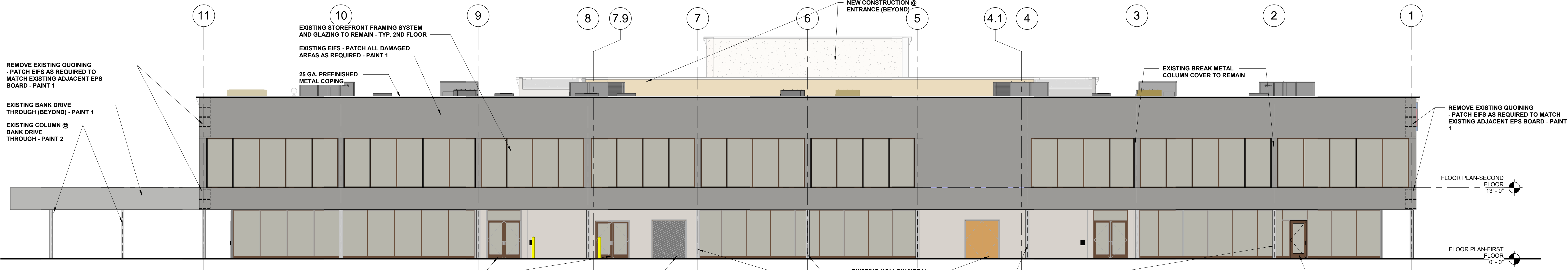


REV	DESCRIPTION	DATE

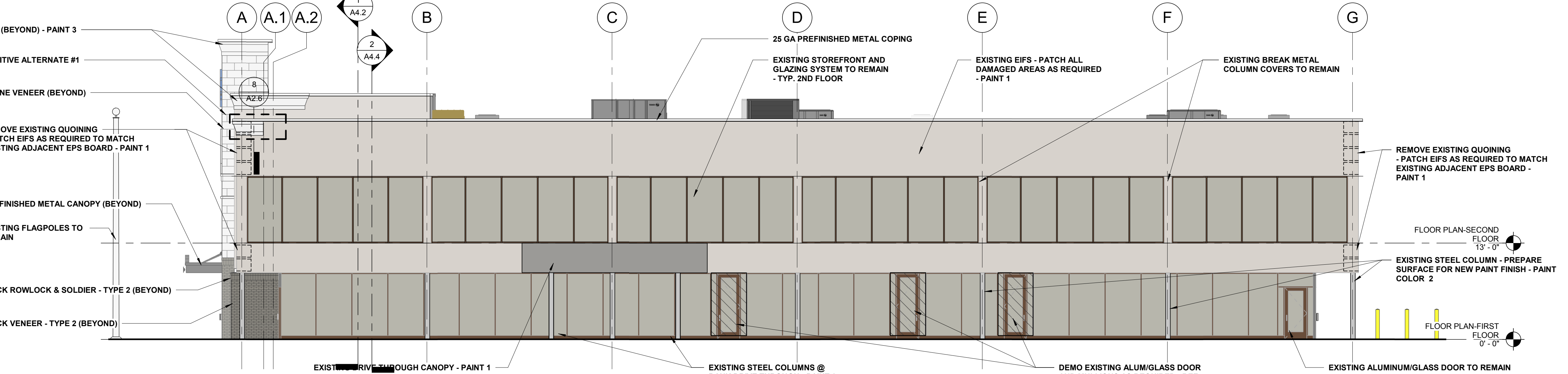
Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134



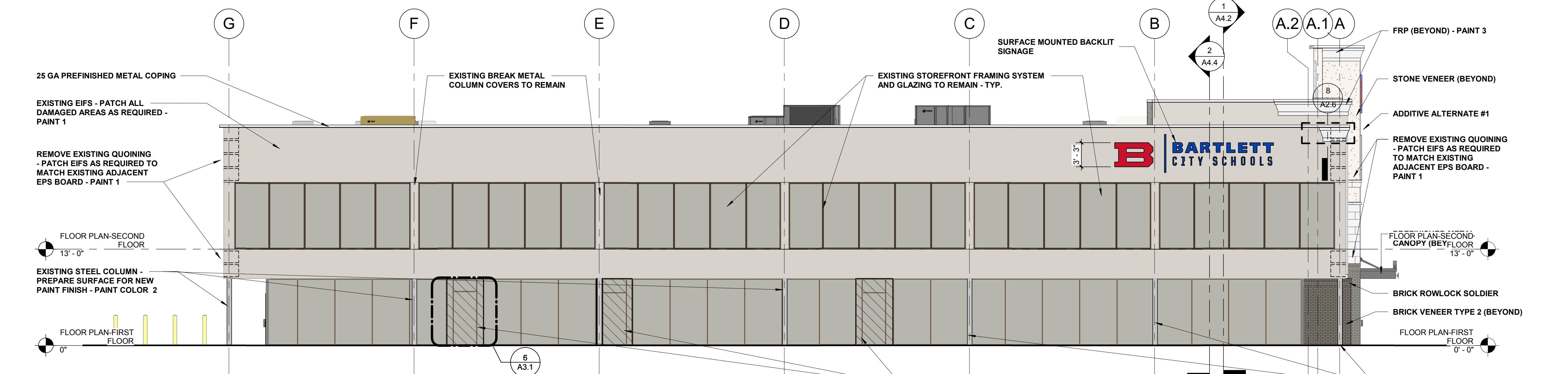
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



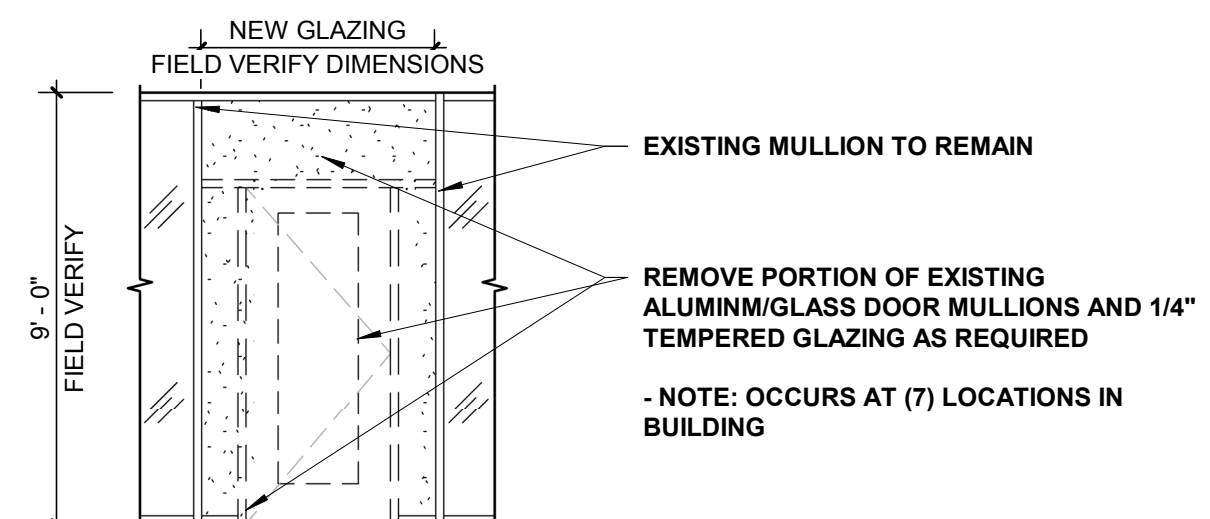
**2 NORTH ELEVATION**  
1/8" = 1'-0"



**3 EAST ELEVATION**  
1/8" = 1'-0"

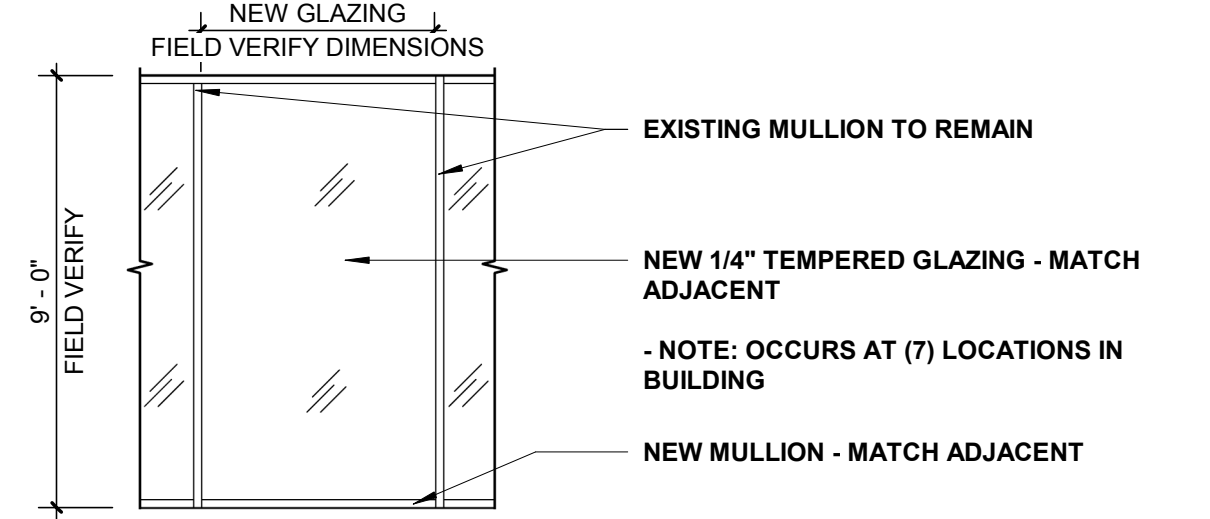


**4 WEST ELEVATION**  
1/8" = 1'-0"



**5 DEMO STOREFRONT**  
1/4" = 1'-0"

NOTE: NEW GLAZING AND MULLIONS TO MATCH EXISTING ADJACENT GLAZING AND MULLIONS



**6 NEW STOREFRONT**  
1/4" = 1'-0"

NOTE: NEW GLAZING AND MULLIONS TO MATCH EXISTING ADJACENT GLAZING AND MULLIONS

EXTERIOR FINISH LEGEND	
BRICK TYPE 1-	MANUF.: CHEROKEE COLOR: M-S VELOUR LIGHT GRAY
BRICK TYPE 2-	MANUF.: CHEROKEE COLOR: M-S VELOUR DARK GRAY
STONE VENEER	MANUF.: ROCKCAST COLOR: SMOOTH, PEBBLE
FRP-	COLOR: SW 7103 WHITETAIL
PLASTER-	COLOR: SW 6155 RICE GRAIN
PAINT 1-	MANUF.: SHERWIN-WILLIAMS COLOR: SW 6155 RICE GRAIN
PAINT 2-	MANUF.: SHERWIN-WILLIAMS COLOR: SW 6157 FAVORITE TAN
PAINT 3-	MANUF.: SHERWIN-WILLIAMS COLOR: SW 7103 WHITETAIL
ALUMINUM STOREFRONT FRAMING-	MANUF.: TUBELITE COLOR: DARK BRONZE
PREFINISHED METAL CANOPY-	MANUF.: PAC CLAD COLOR: BLACK

Sheet Title  
EXTERIOR ELEVATIONS  
Project No.  
17027  
Drawn by  
RGI  
Date  
10/31/2017

**A3.1**

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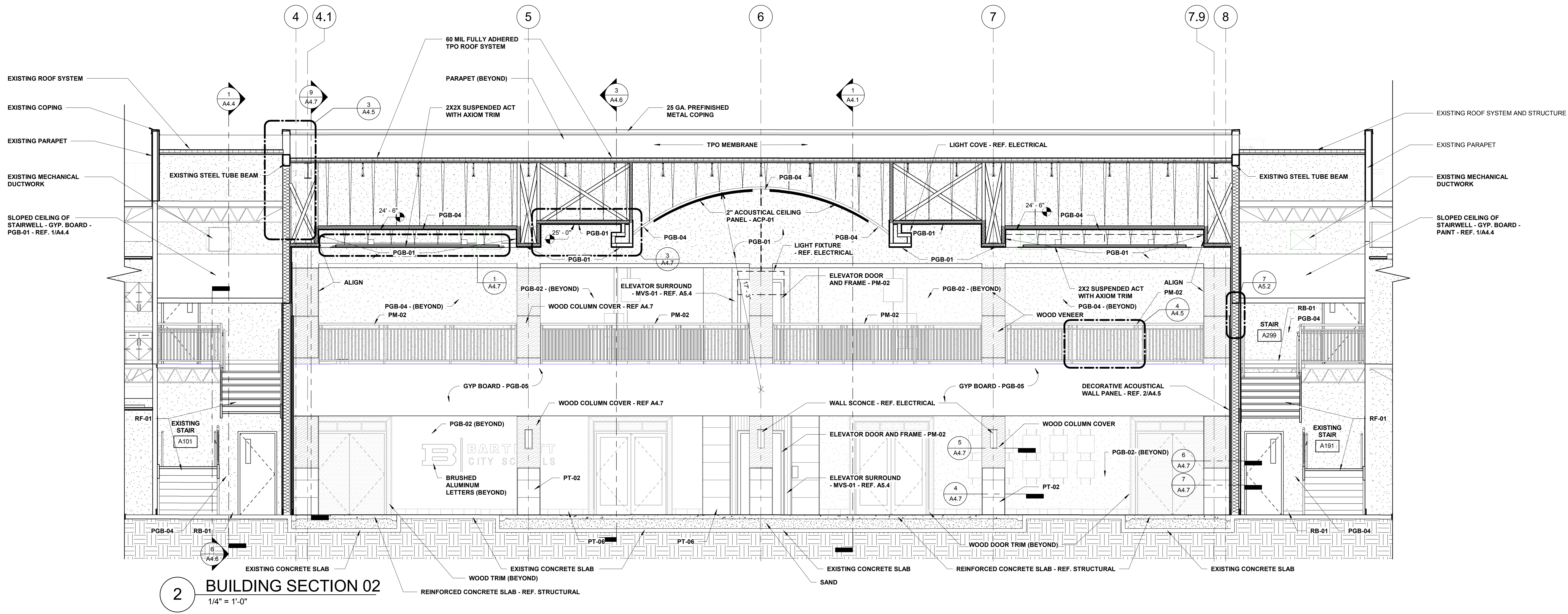
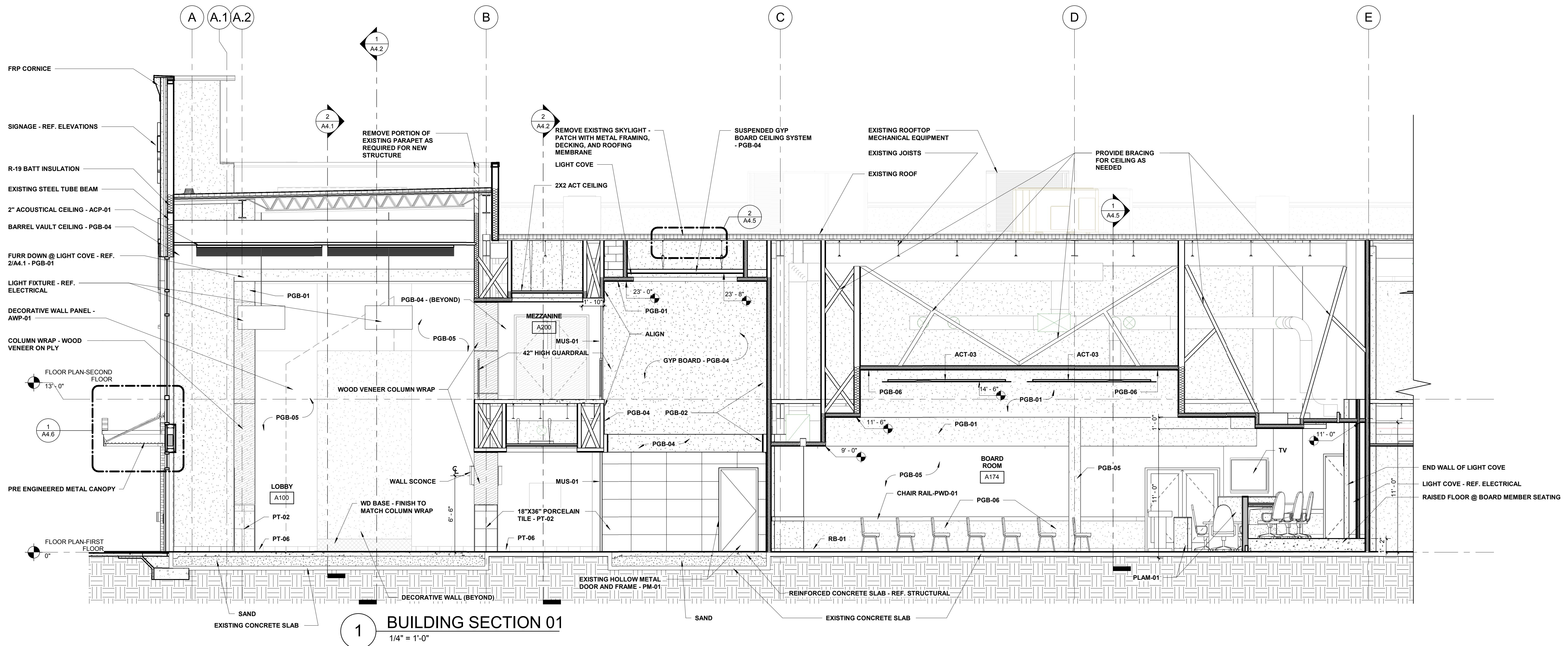


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REV	DESCRIPTION	DATE



Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title: BUILDING SECTIONS

Project No: 17027

Drawn by: RGI

Date: 10/31/2017

**A4.1**

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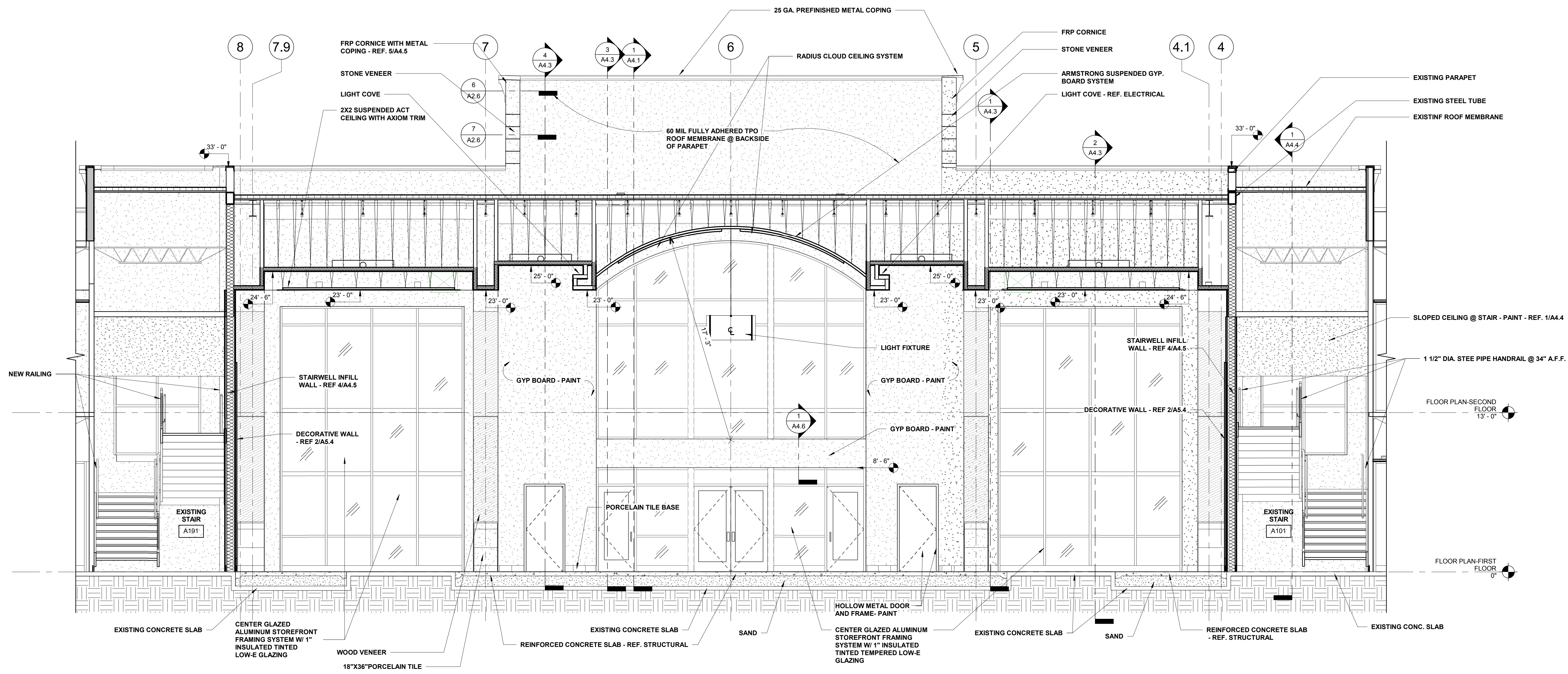


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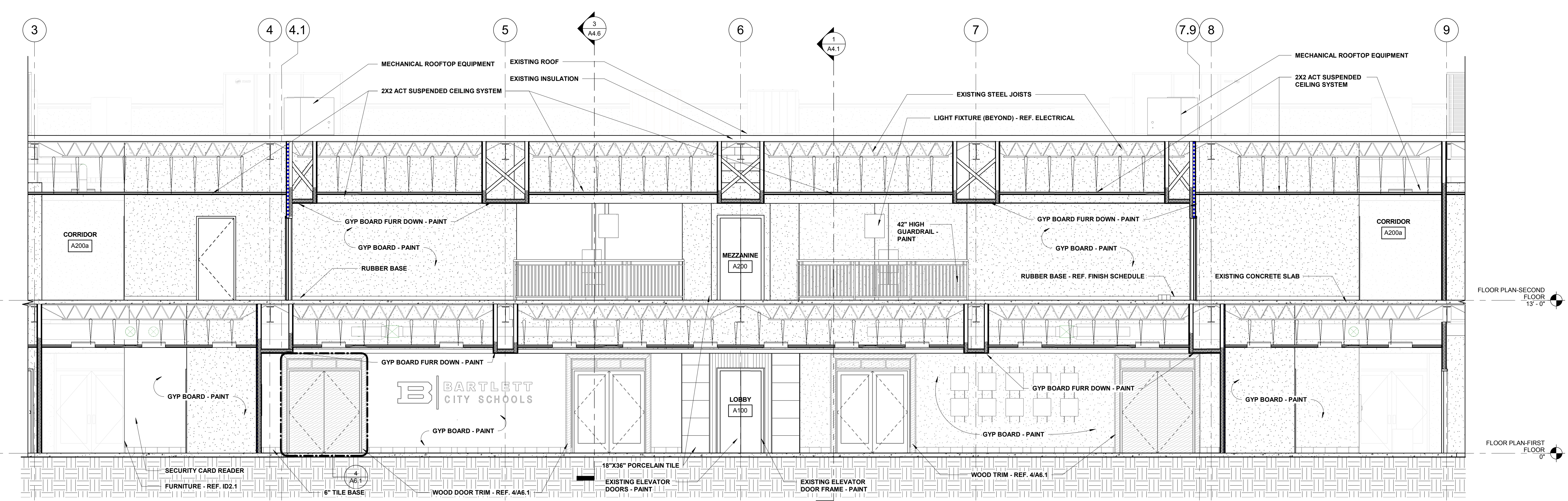
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Lakeland, TN 38002  
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REV	DESCRIPTION	DATE



1 BUILDING SECTION @ ENTRY  
1/4" = 1'-0"

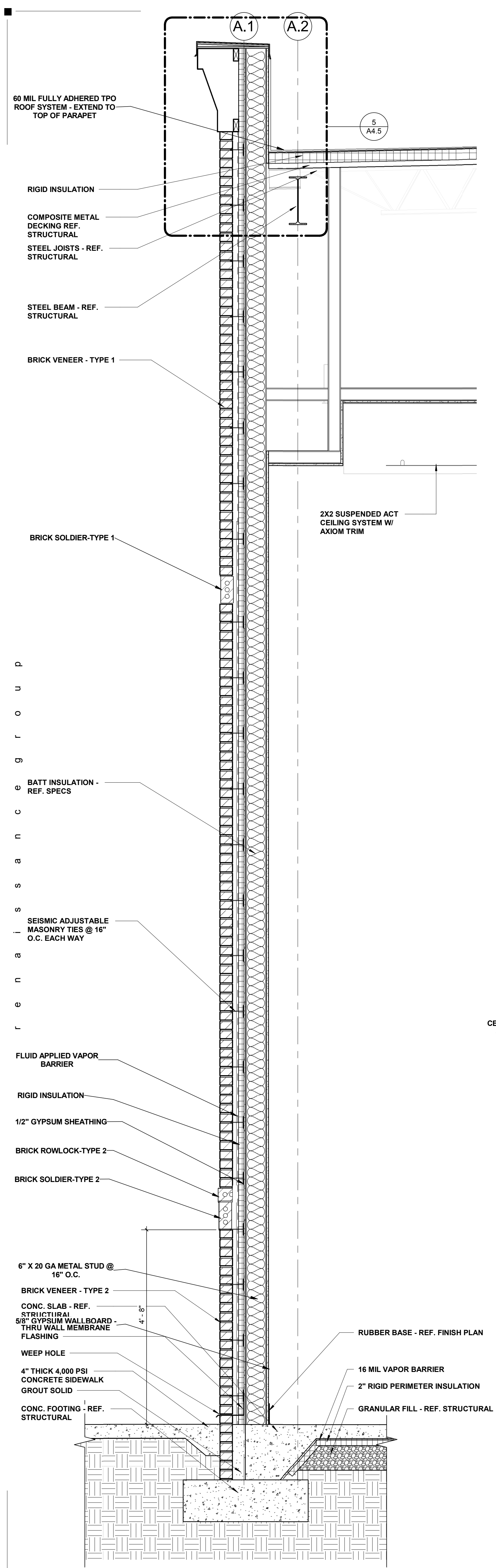


2 BUILDING SECTION @ ELEVATOR  
1/4" = 1'-0"

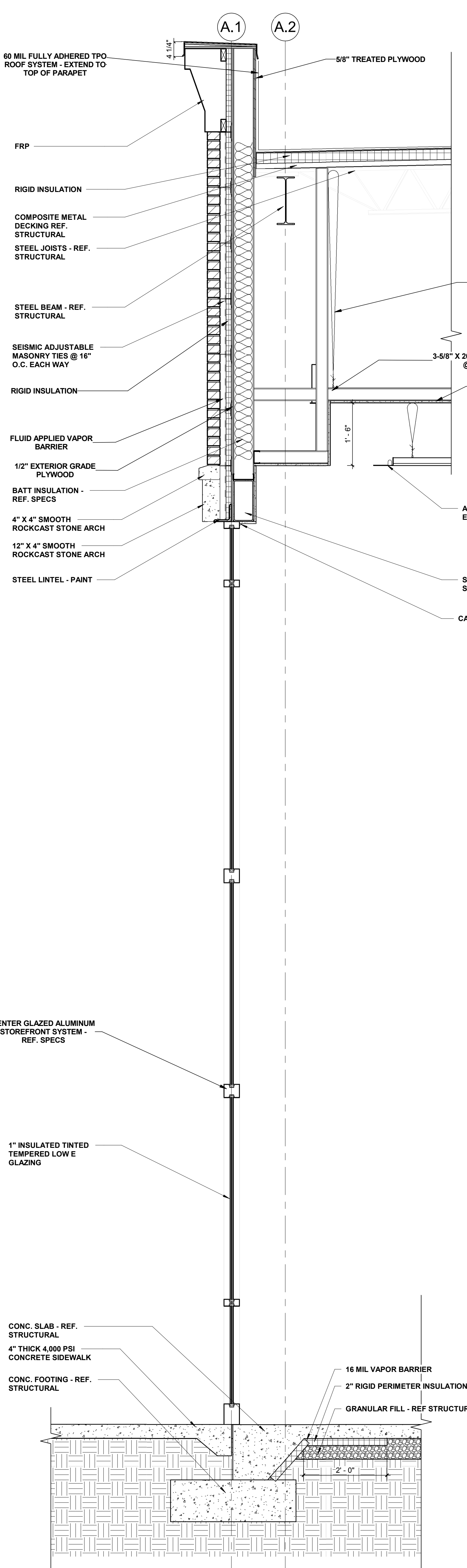
Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title: BUILDING SECTIONS  
Project No: 17027  
Author:  
Date: 10/31/2017  
**A4.2**

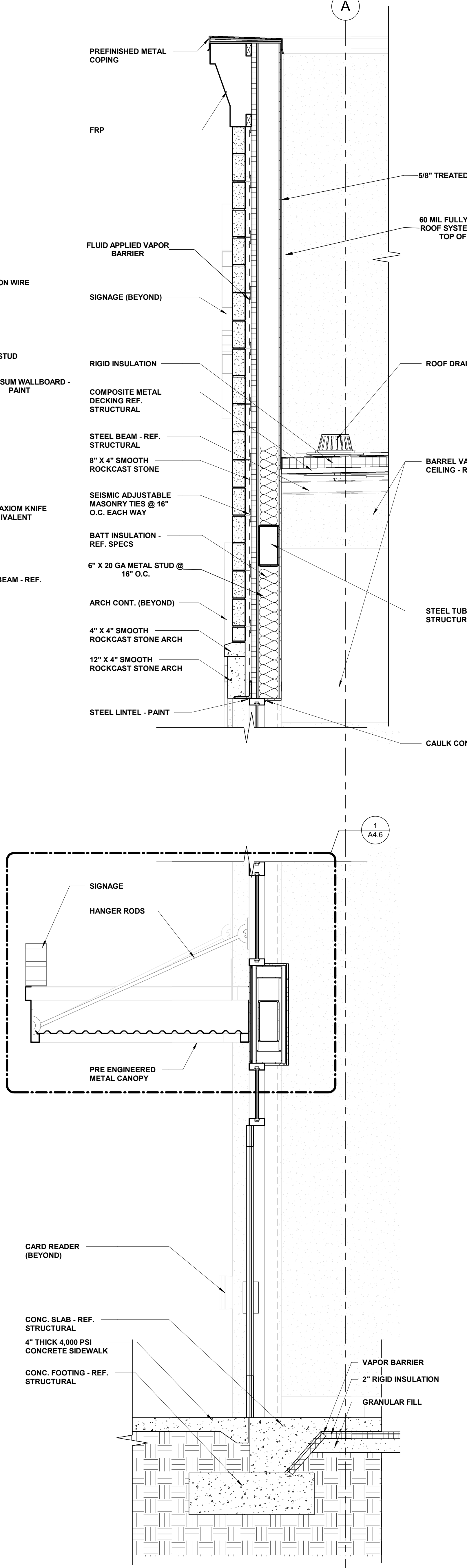
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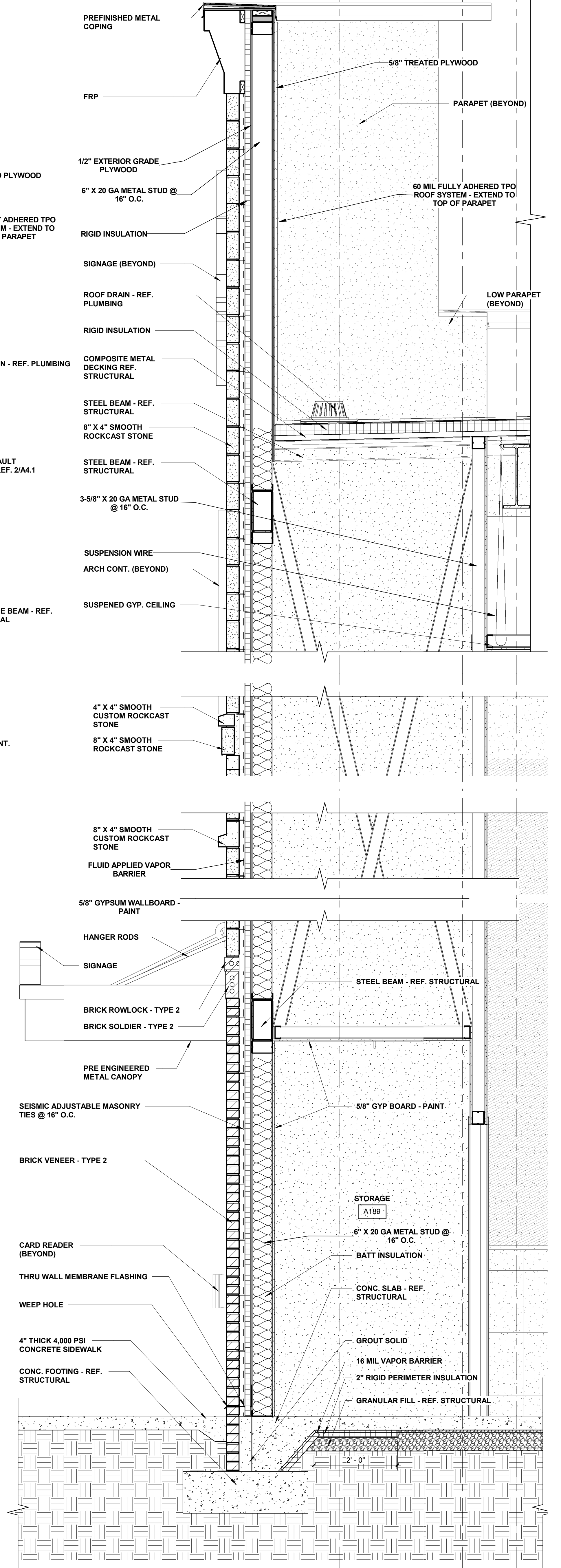
1 WALL SECTION 1 @ BRICK WALL  
3/4" = 1'-0"



2 WALL SECTION 2 @ BRICK WALL  
3/4" = 1'-0"



3 WALL SECTION 3 @ ENTRY WALL  
3/4" = 1'-0"



4 WALL SECTION 4 @ EXT. WALL  
3/4" = 1'-0"

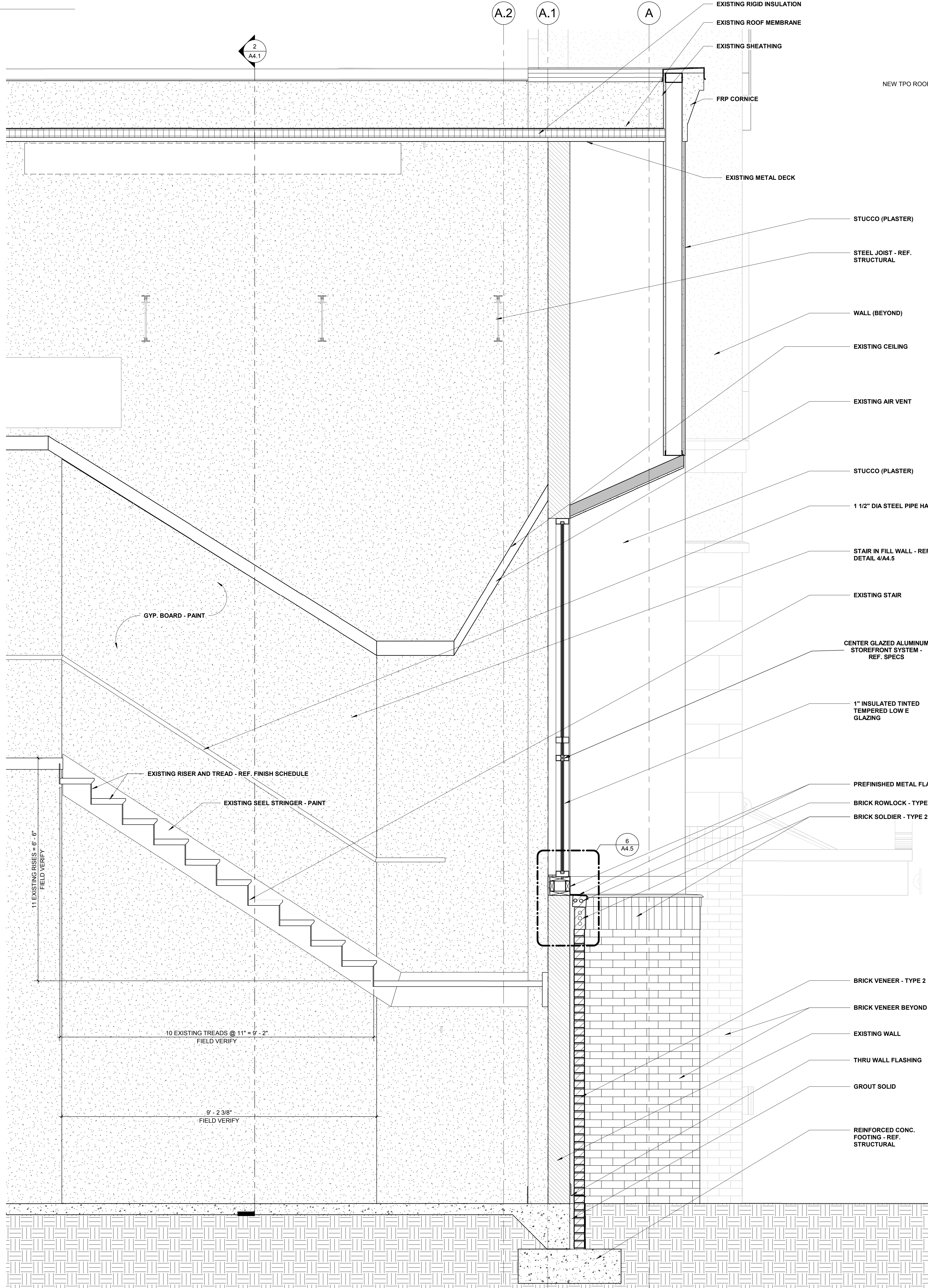


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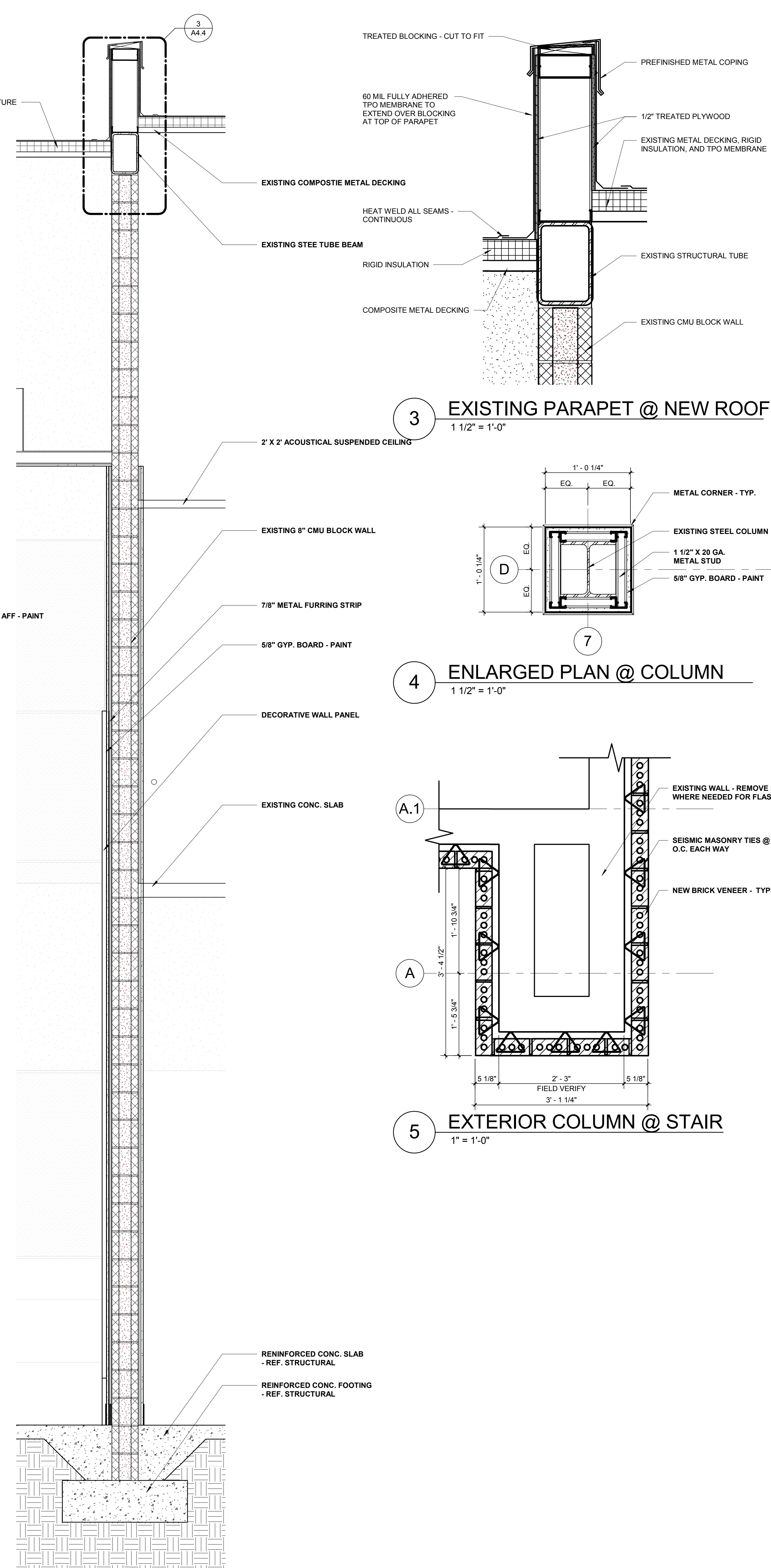
Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

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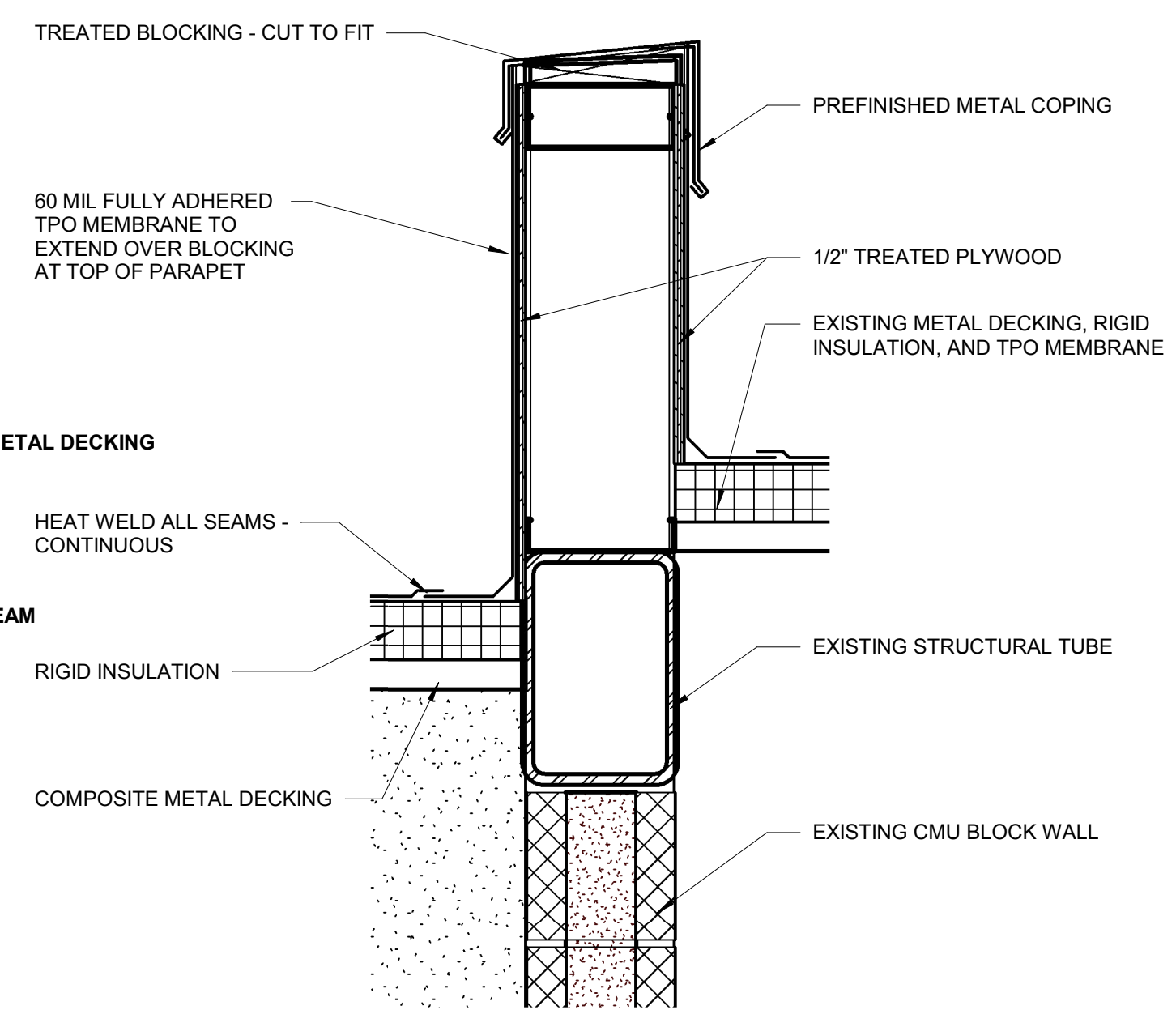
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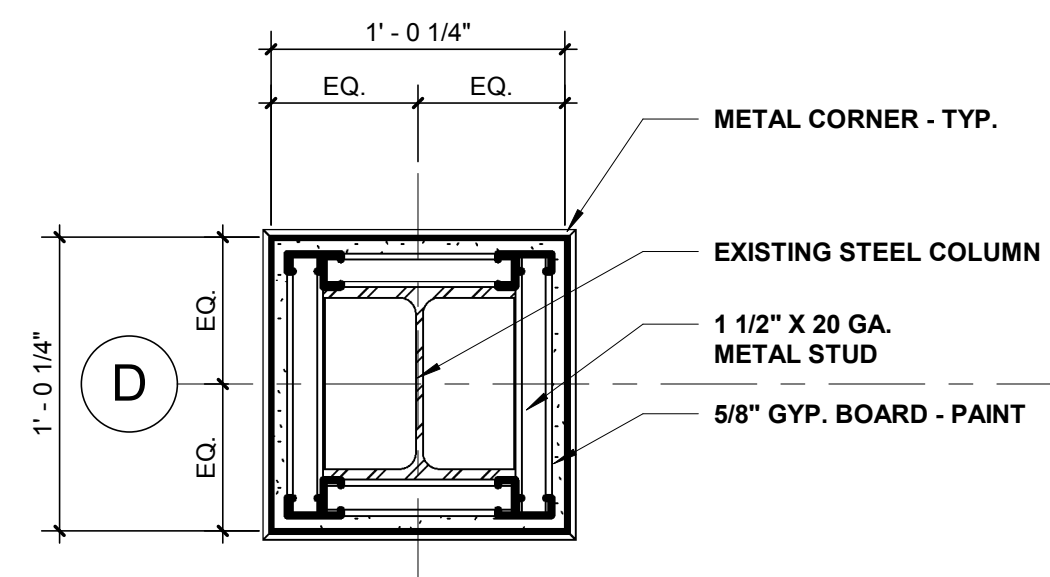
**1 WALL SECTION 6 @ STAIR WALL**  
 3/4" = 1'-0"



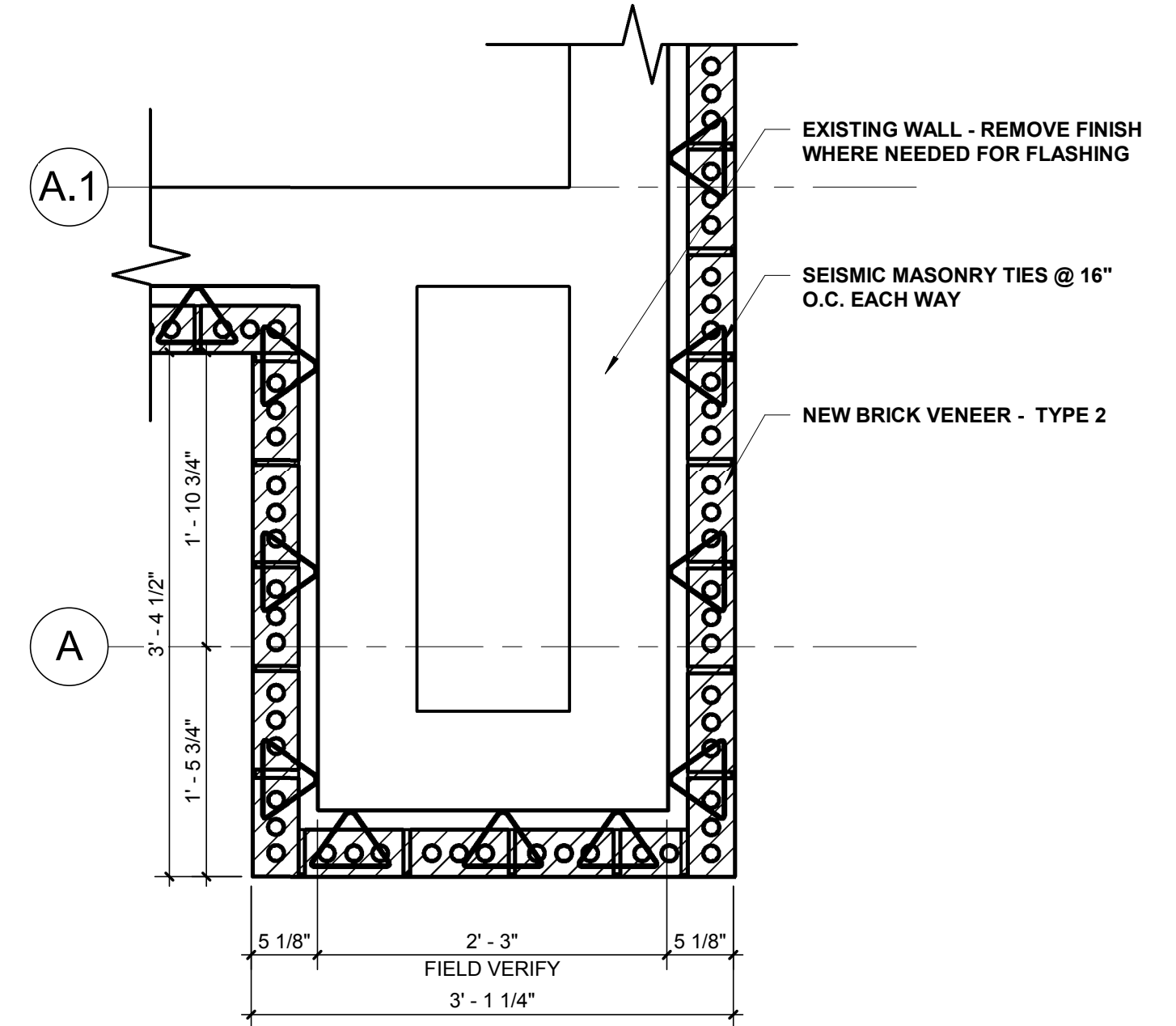
**2 WALL SECTION 7 @ EXIST. CMU WALL**  
 3/4" = 1'-0"



**3 EXISTING PARAPET @ NEW ROOF**  
 1 1/2" = 1'-0"



**4 ENLARGED PLAN @ COLUMN**  
 1 1/2" = 1'-0"



**5 EXTERIOR COLUMN @ STAIR**  
 1" = 1'-0"



**Renaissance Group**

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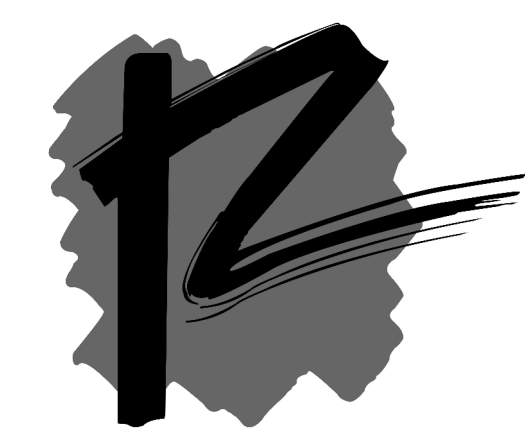


REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
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Sheet Title  
 WALL SECTIONS  
 Project No.  
 17027  
 Design  
 Author  
 Date  
 10/31/2017

**A4.4**



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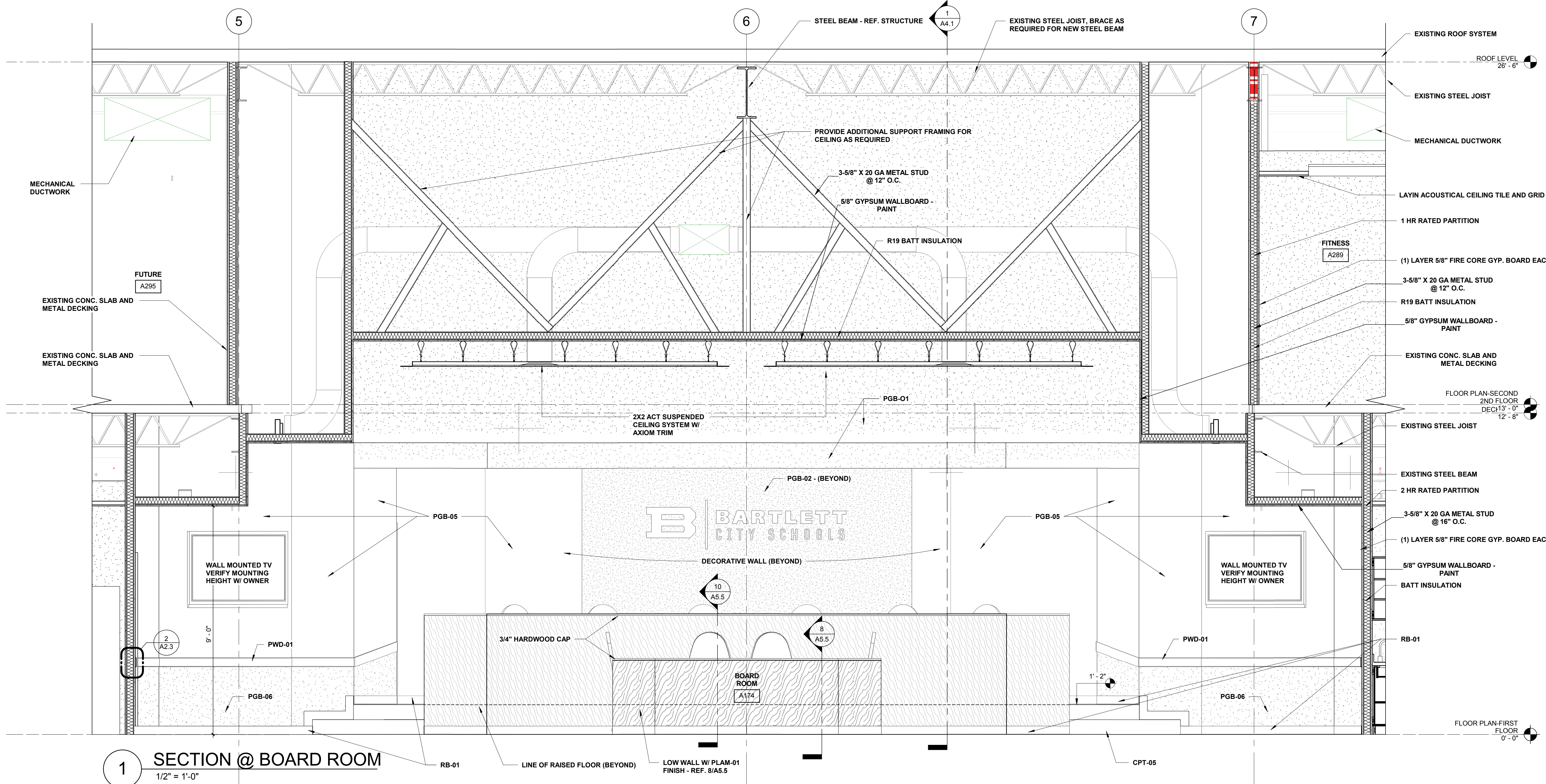


REV	DESCRIPTION	DATE

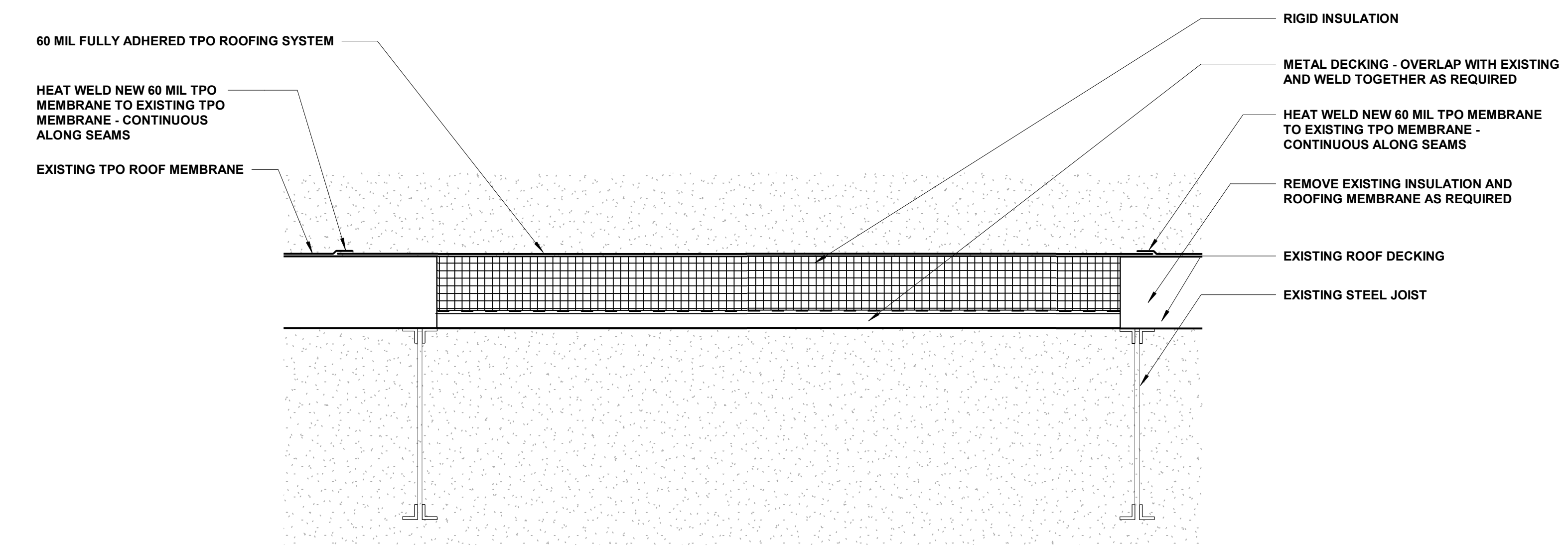
Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
SECTIONS & DETAILS  
 Project No.  
17027  
 Design By  
Author  
 Date  
10/31/2017

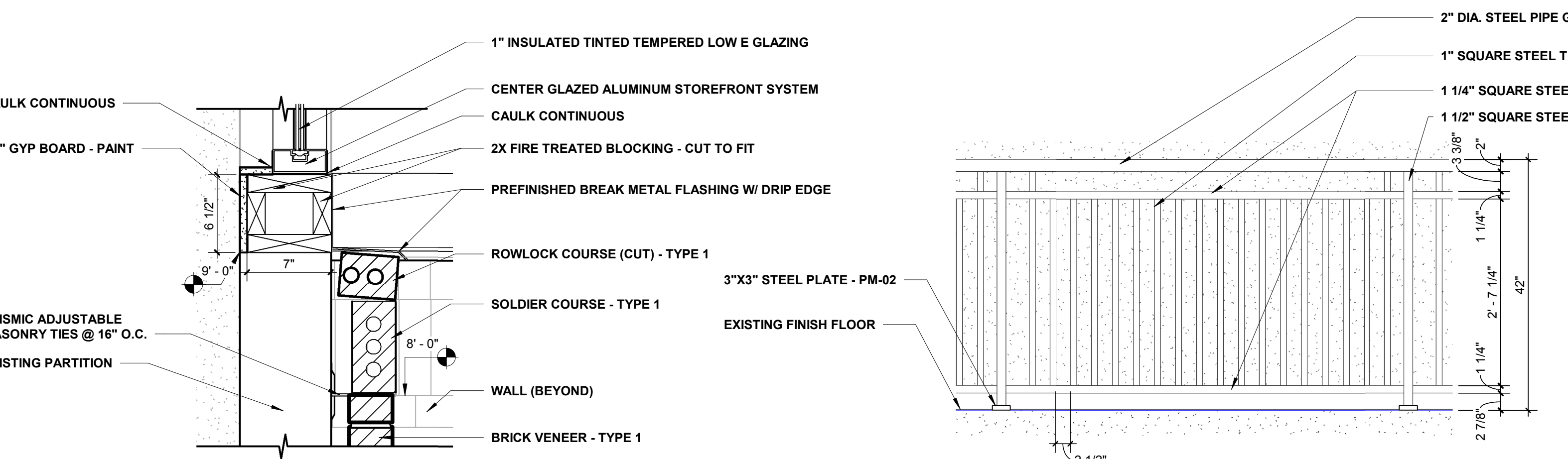
A4.5



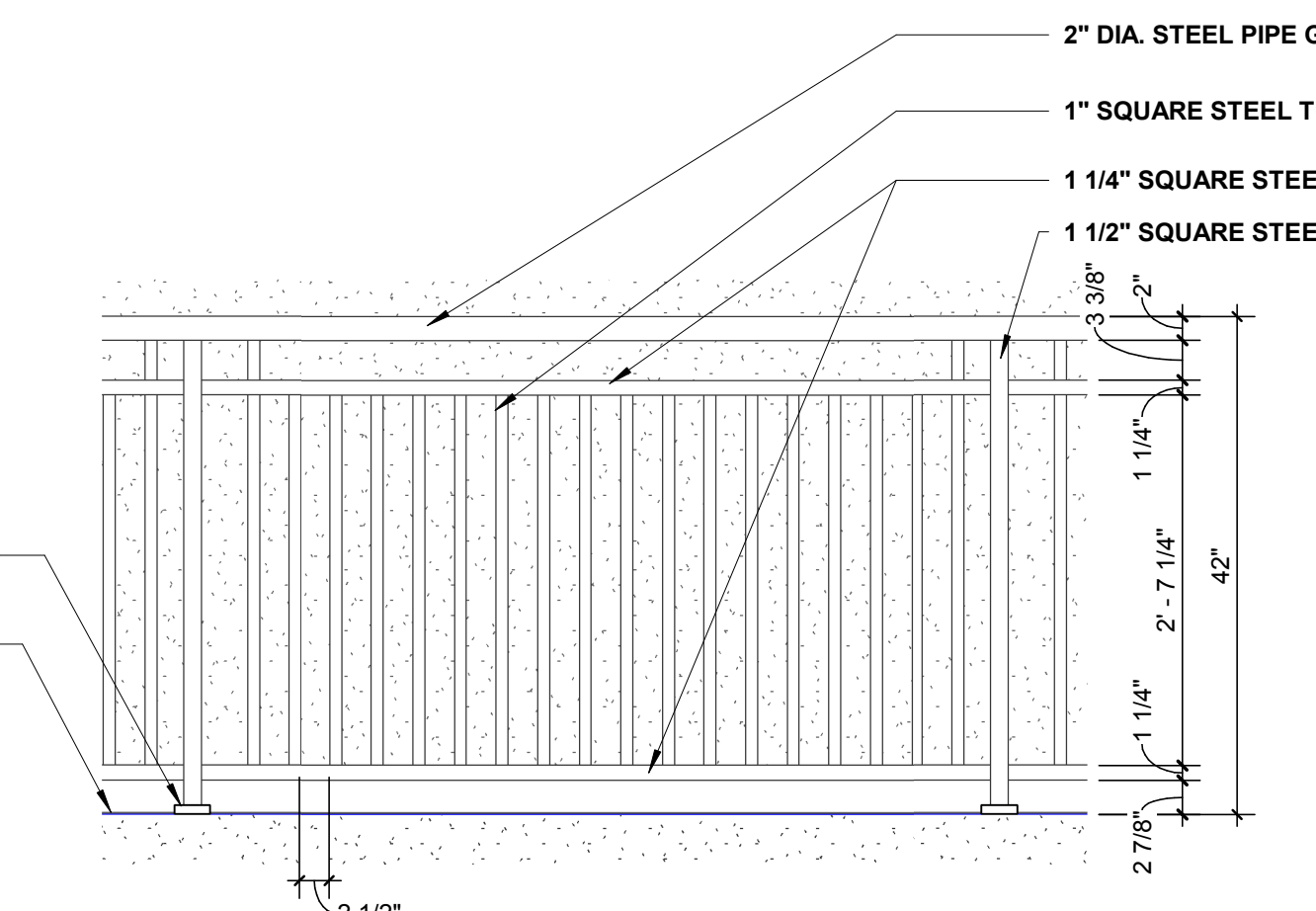
1 SECTION @ BOARD ROOM  
1/2" = 1'-0"



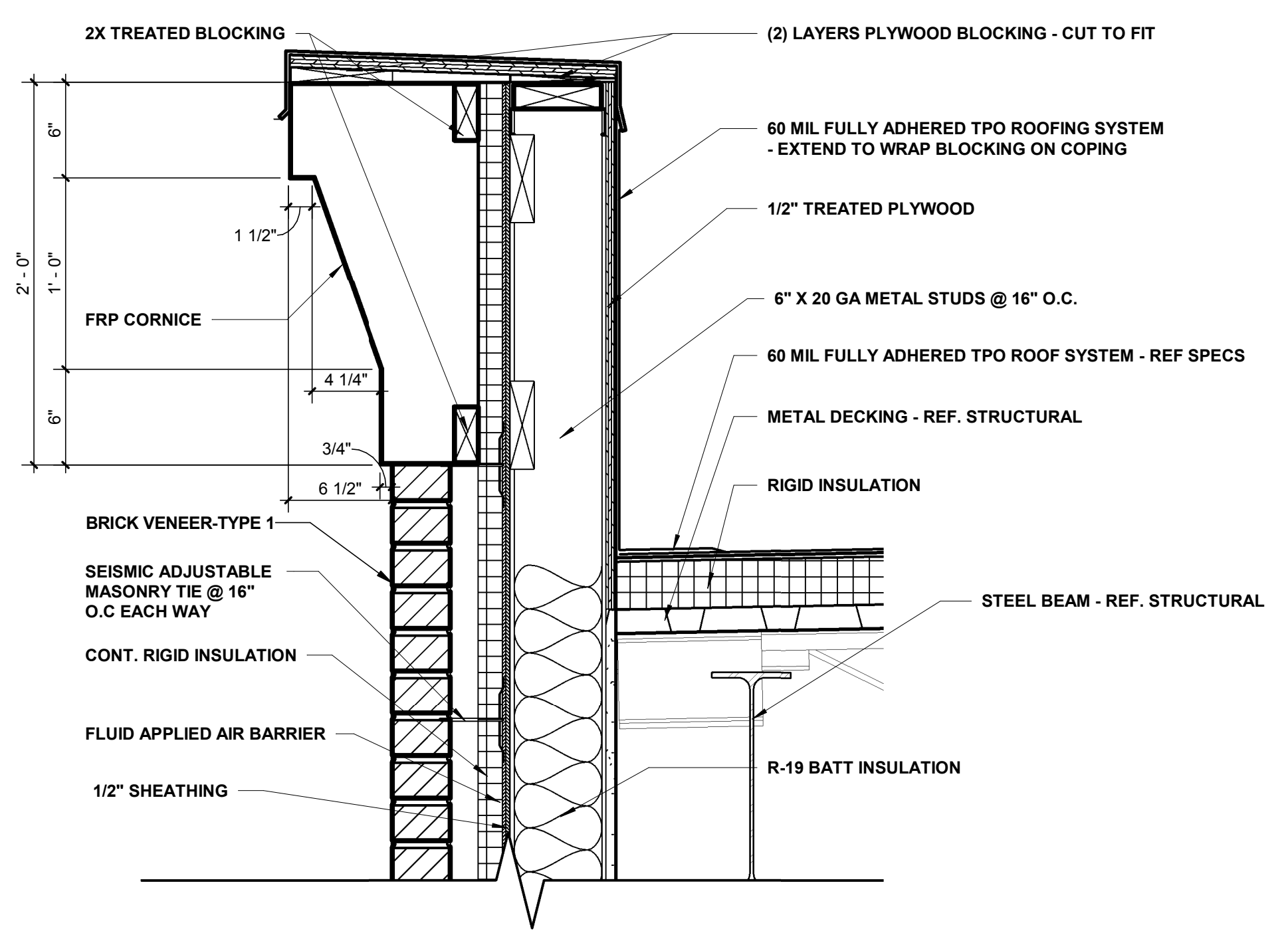
2 SKYLIGHT INFILL DETAIL  
1 1/2" = 1'-0"



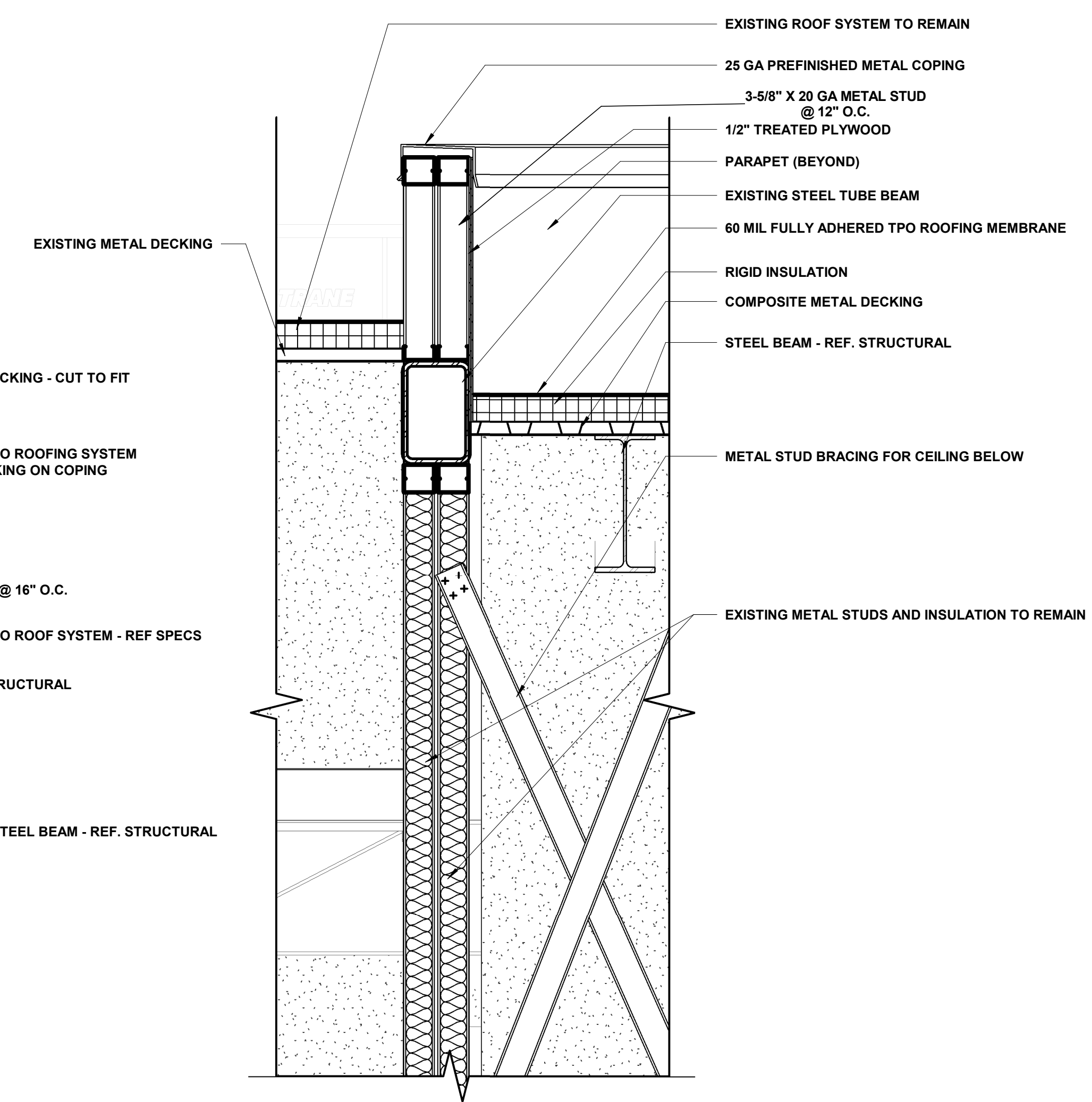
6 STAIR WINDOW SILL DETAIL  
1 1/2" = 1'-0"



4 TYPICAL GUARDRAIL @ LOBBY  
3/4" = 1'-0"

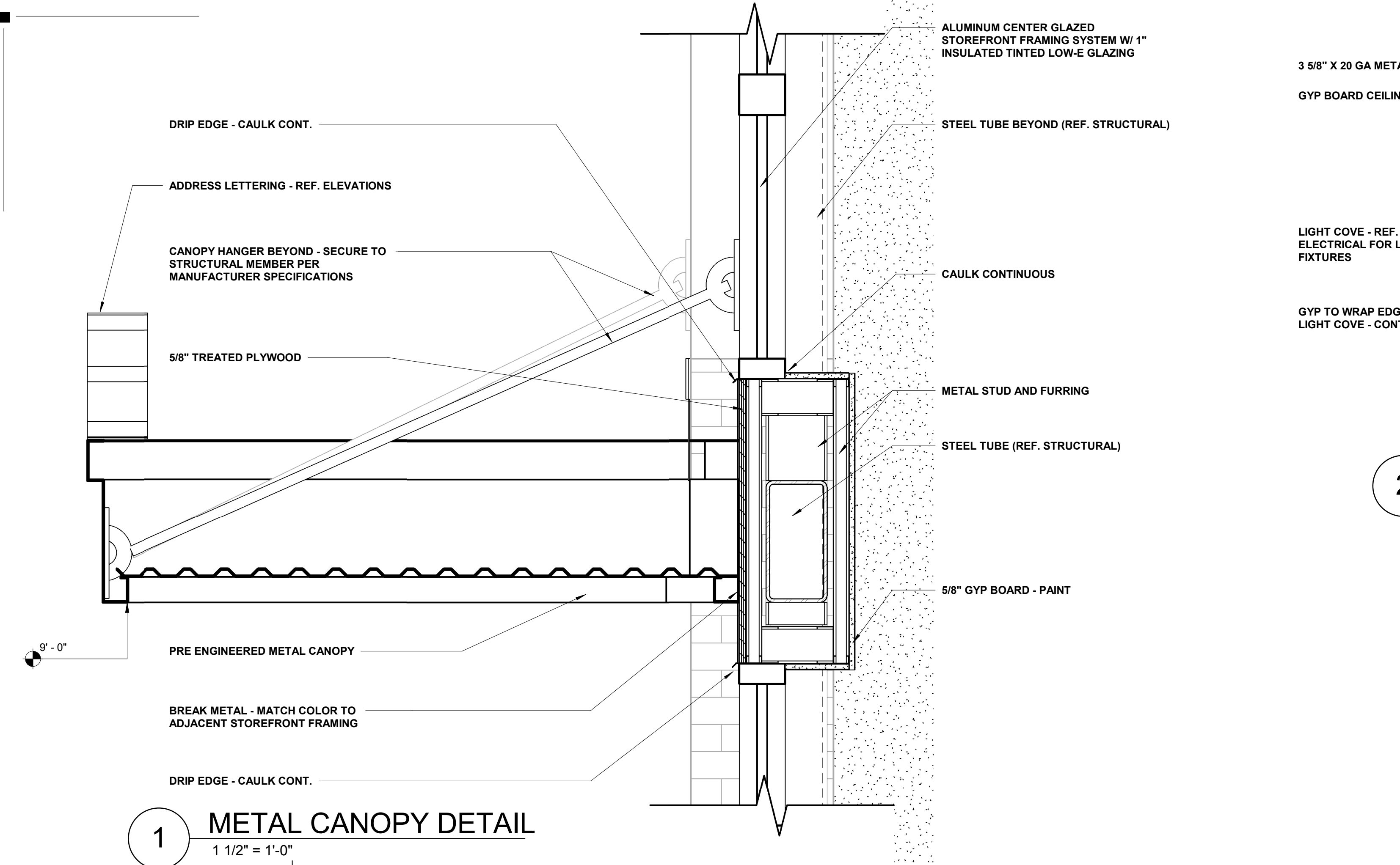


5 FRP CORNICE DETAIL  
1 1/2" = 1'-0"

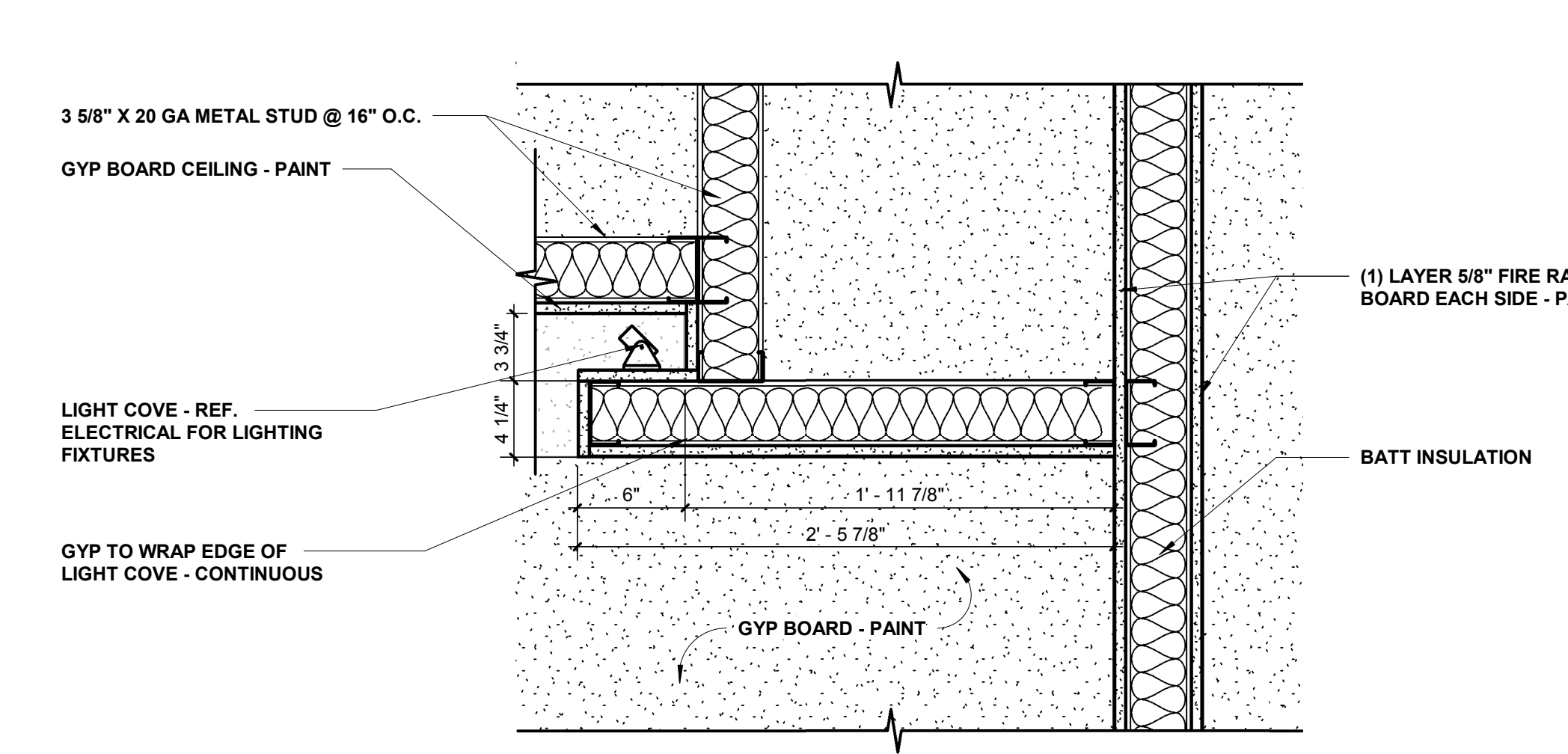


3 EXISTING STUCCO WALL PARAPET DETAIL  
1" = 1'-0"

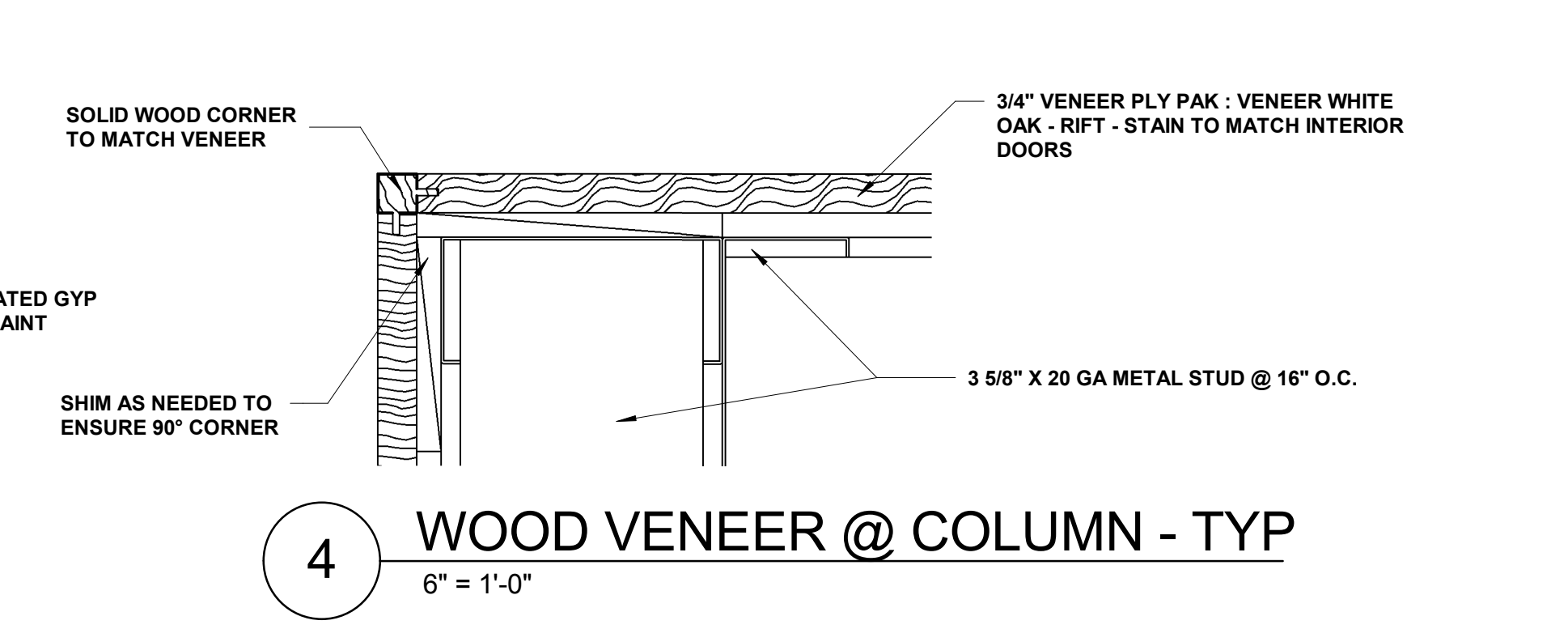
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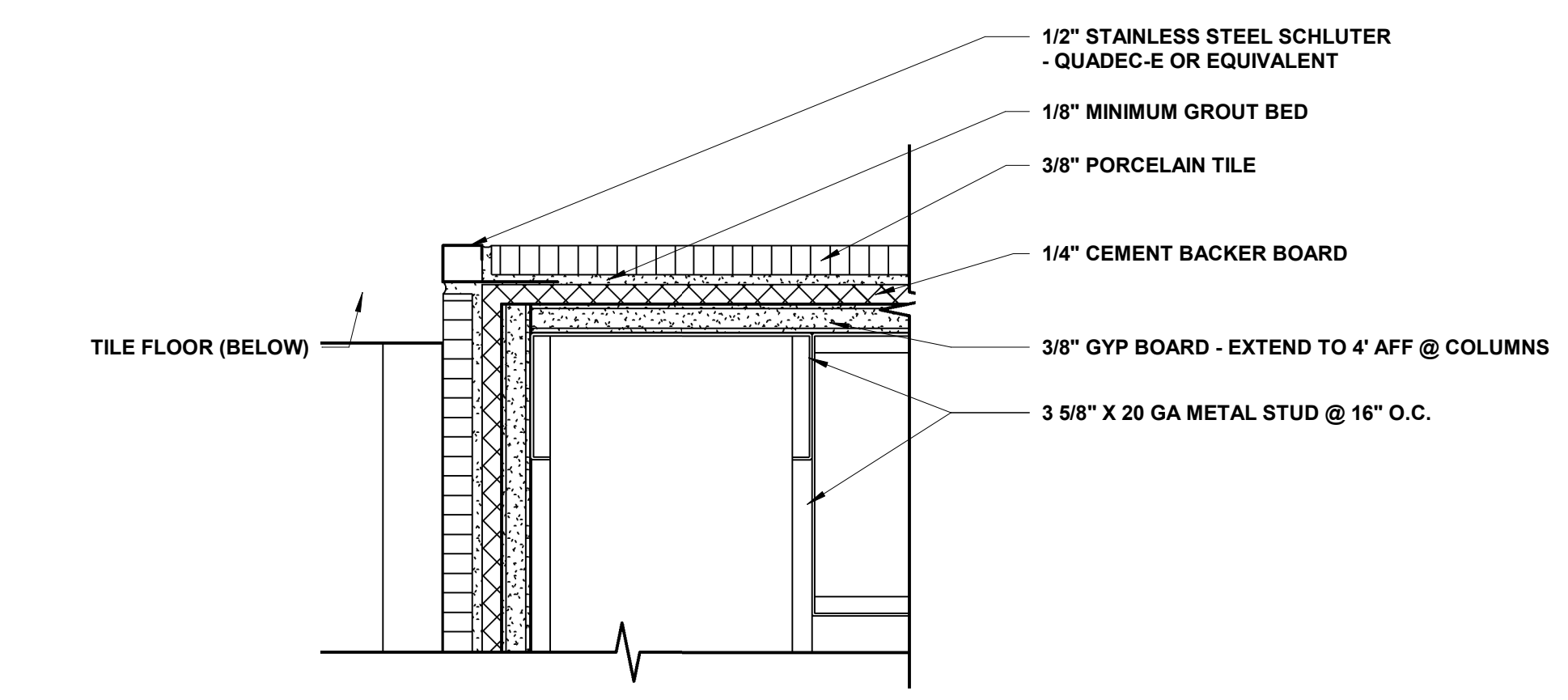
**1 METAL CANOPY DETAIL**  
1 1/2" = 1'-0"



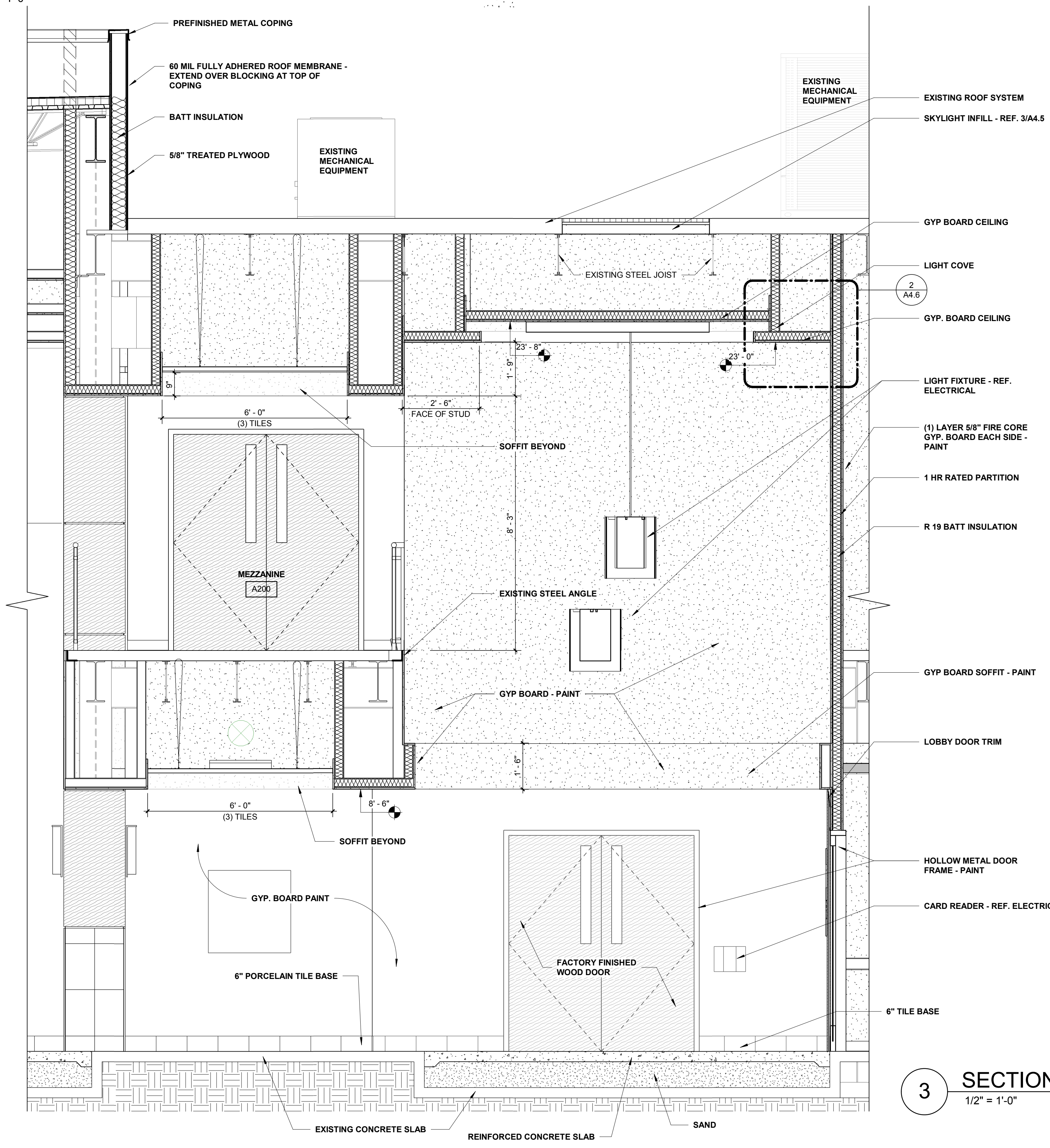
**2 LIGHT COVE @ ELEVATOR LIGHT WELL**  
1 1/2" = 1'-0"



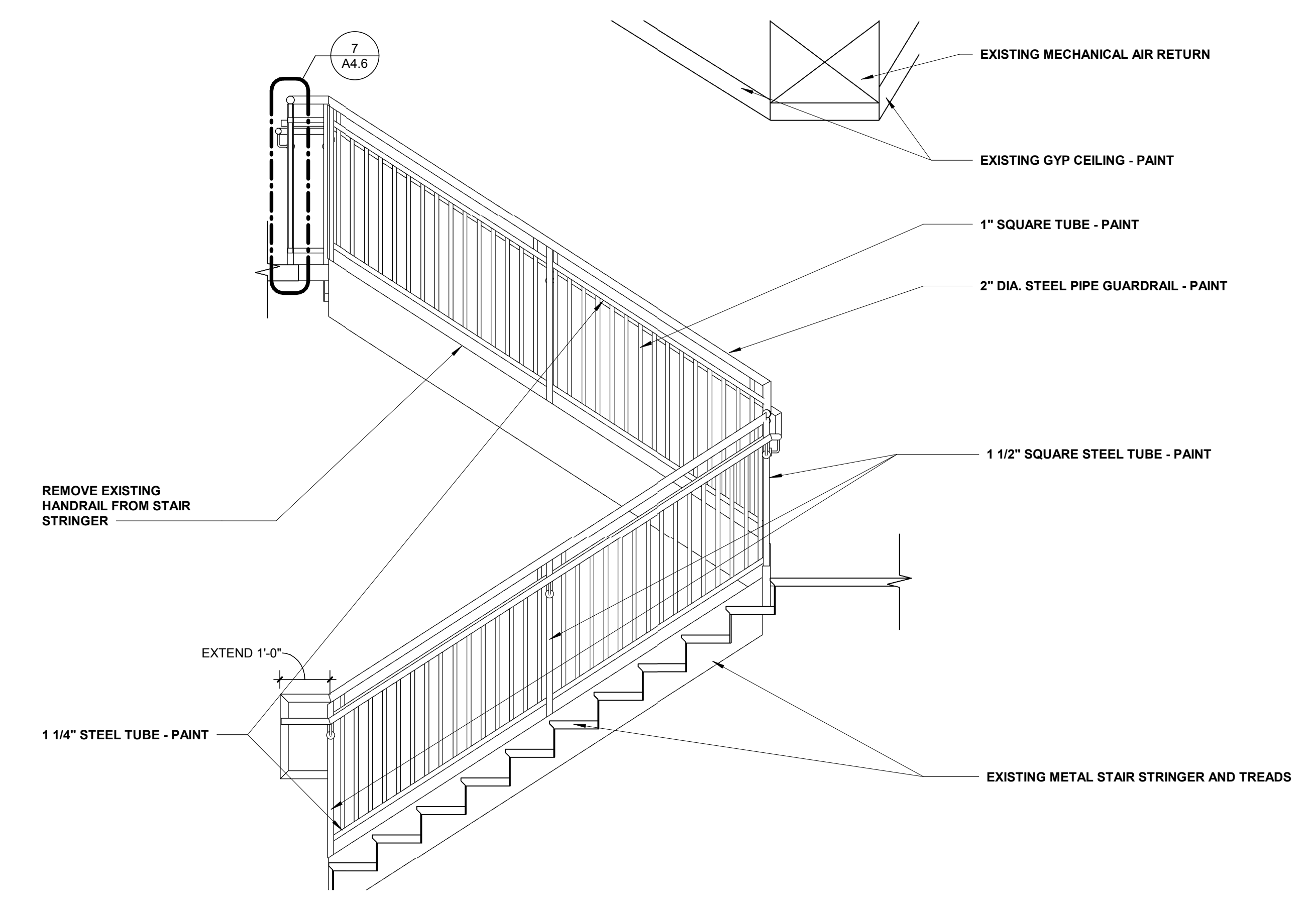
**4 WOOD VENEER @ COLUMN - TYP**  
6" = 1'-0"



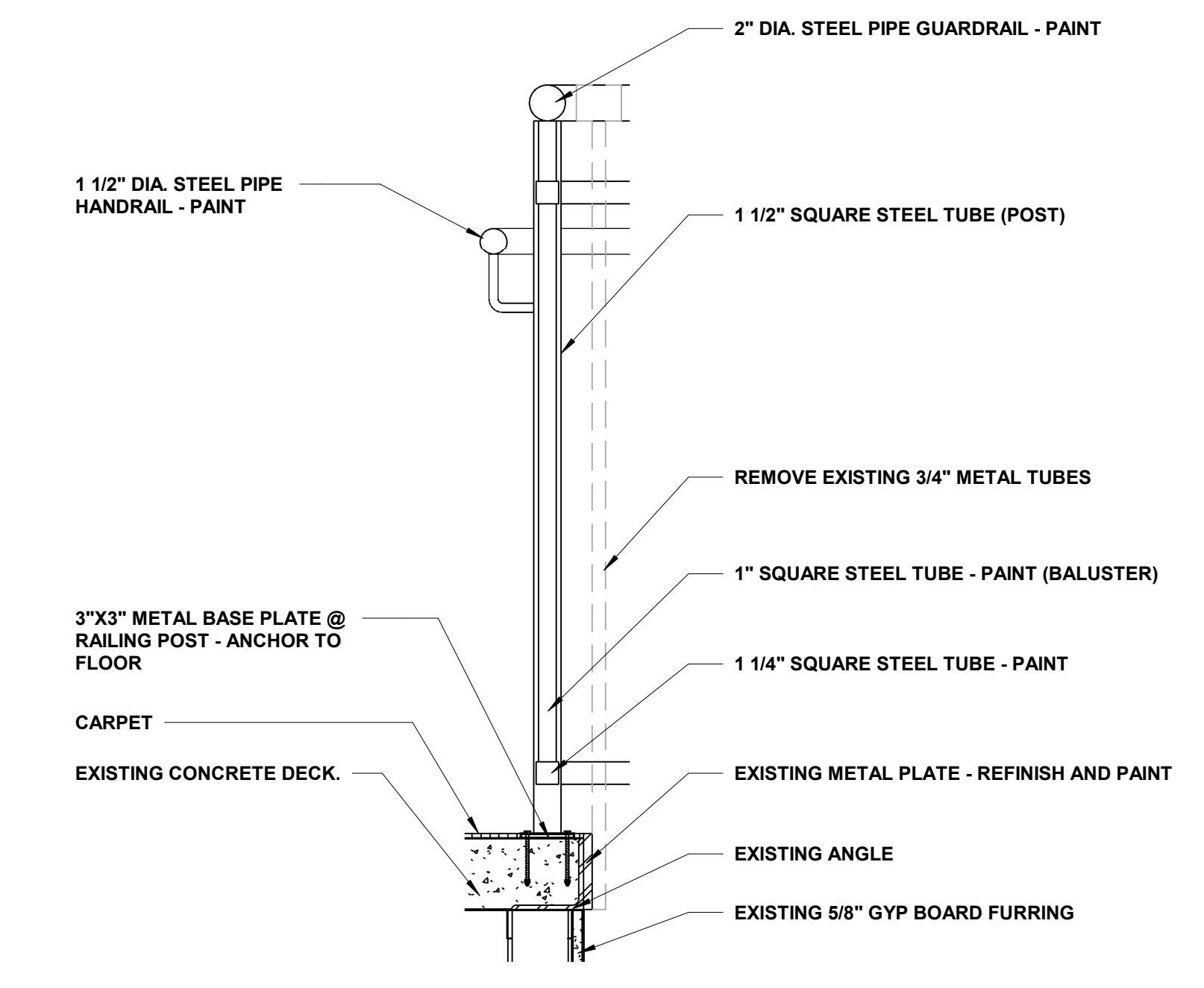
**5 SCHLUTER DETAIL @ TILE - TYP.**  
6" = 1'-0"



**3 SECTION @ LOBBY 2**  
1/2" = 1'-0"



**6 LOBBY STAIR RAILING - TYPICAL**  
1/2" = 1'-0"

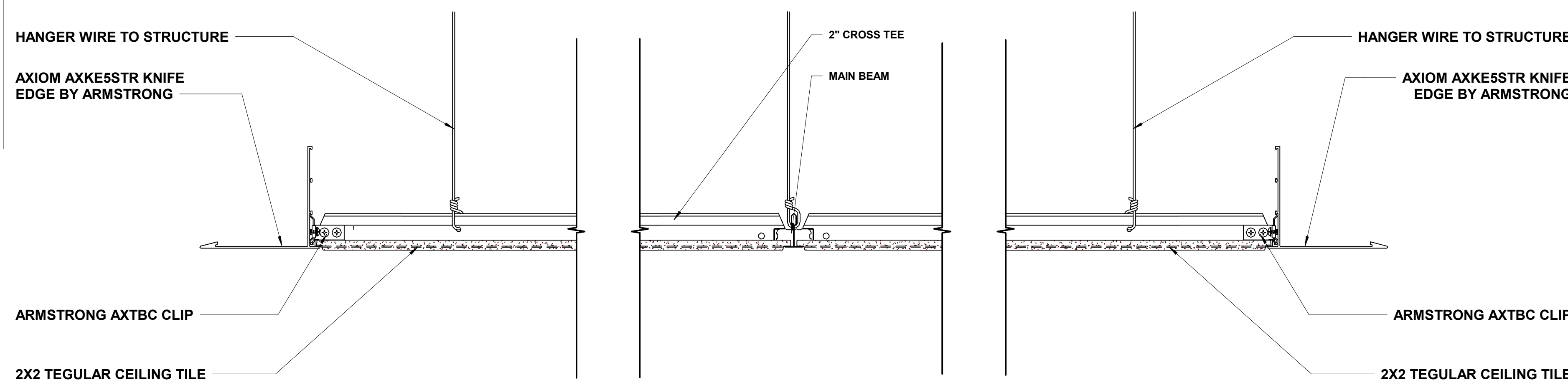


**7 STAIR HANDRAIL - DETAIL**  
1 1/2" = 1'-0"

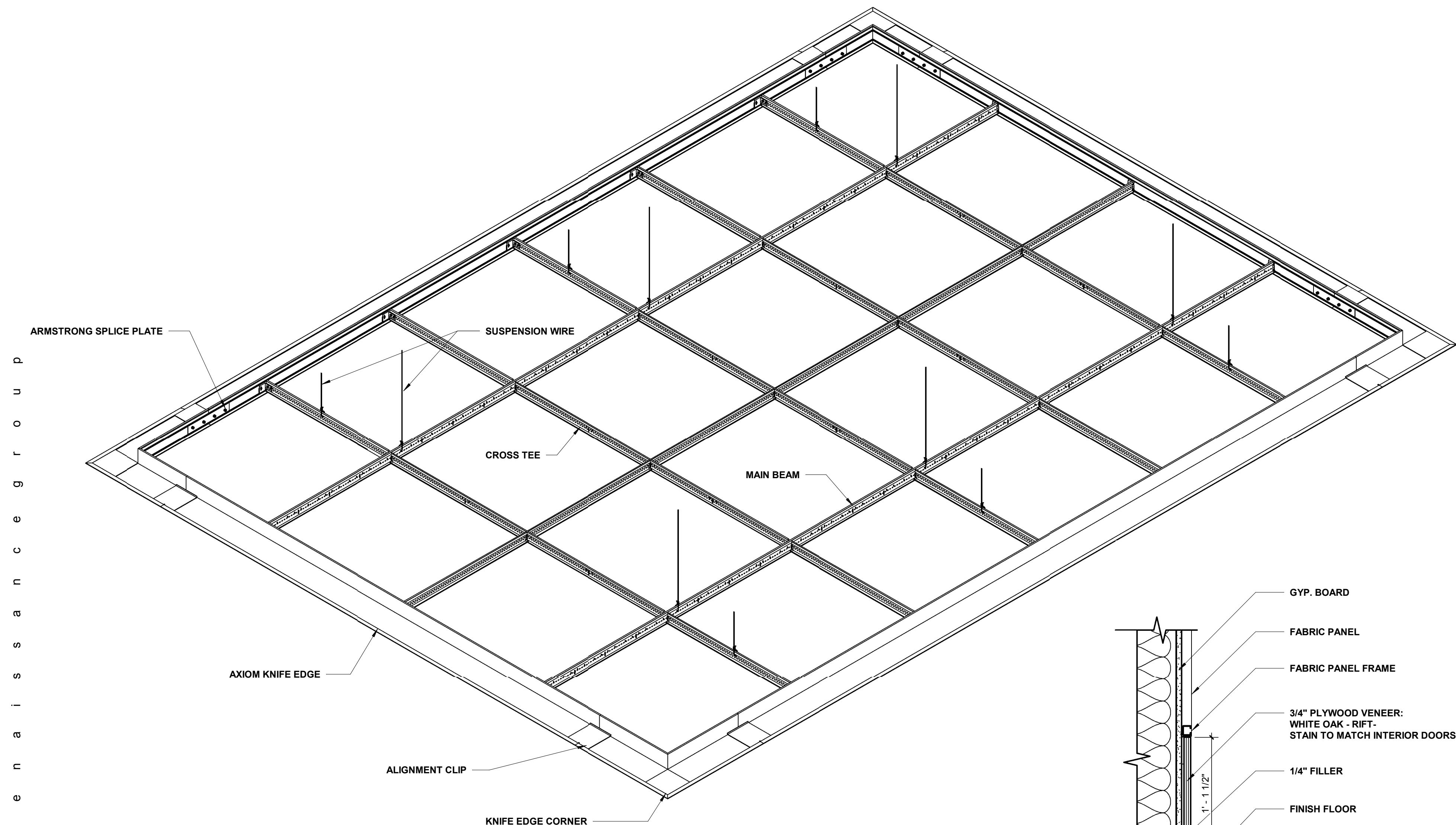


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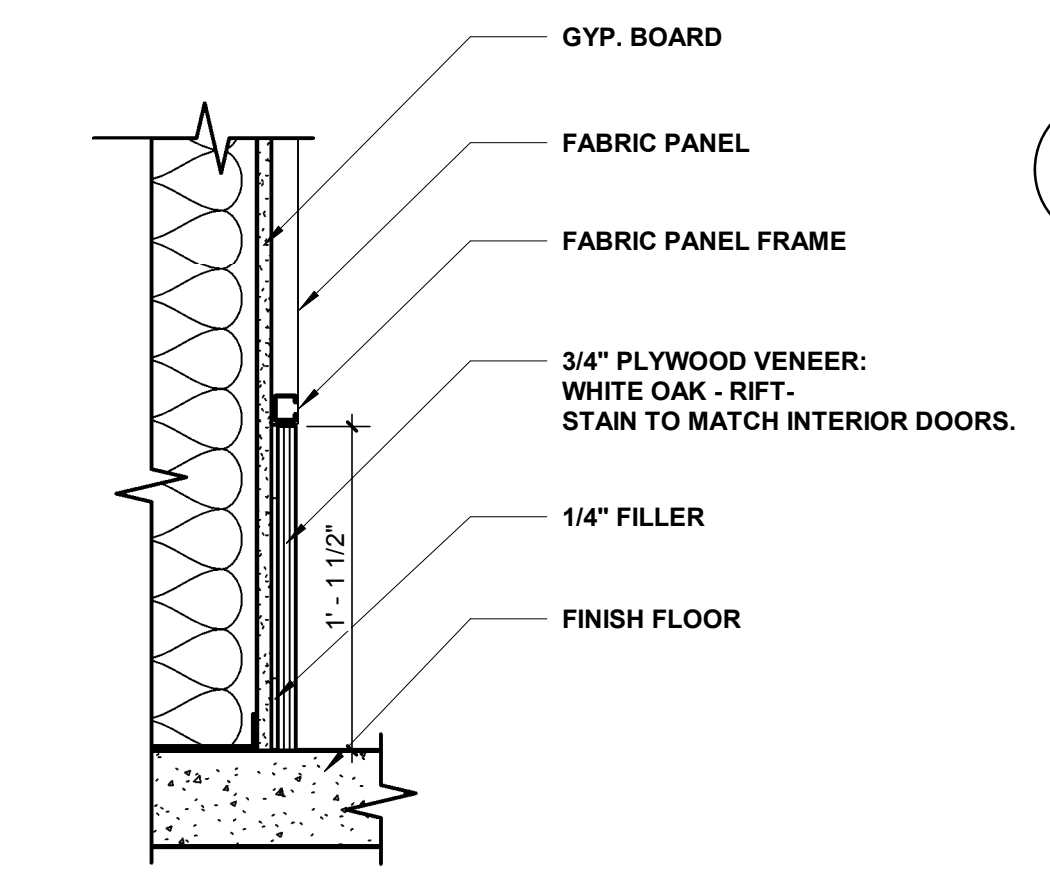




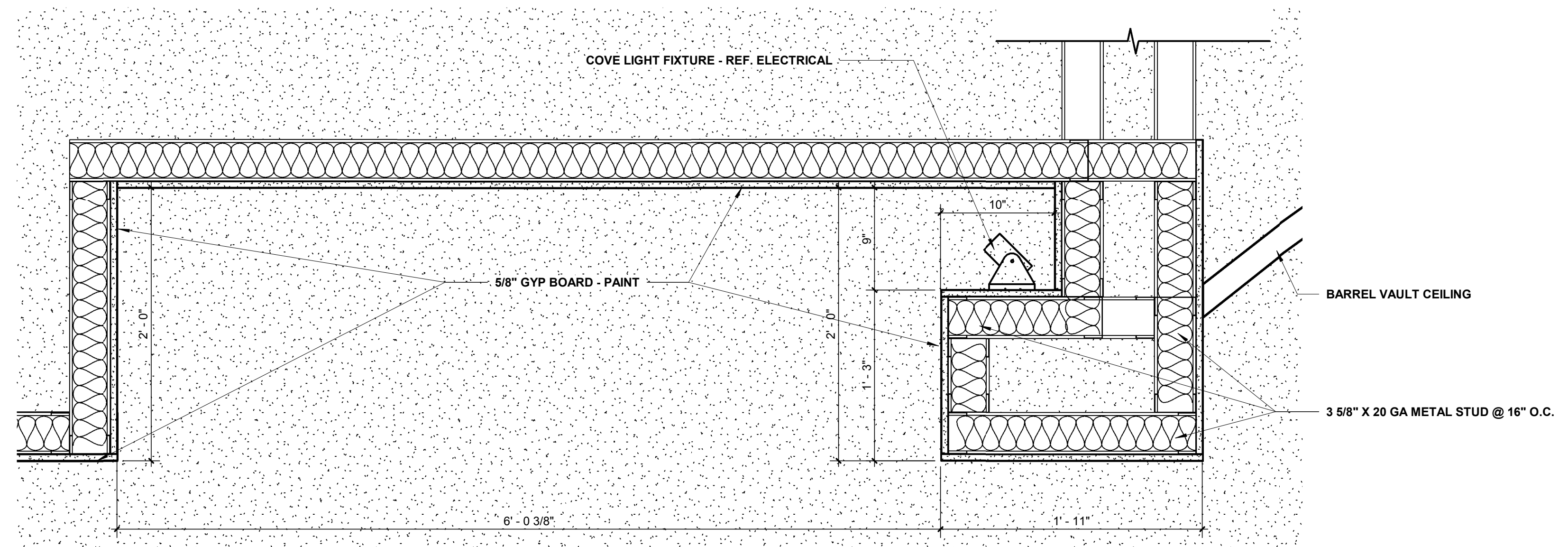
**1 AXIOM KNIFE EDGE DETAIL**  
3" = 1'-0"



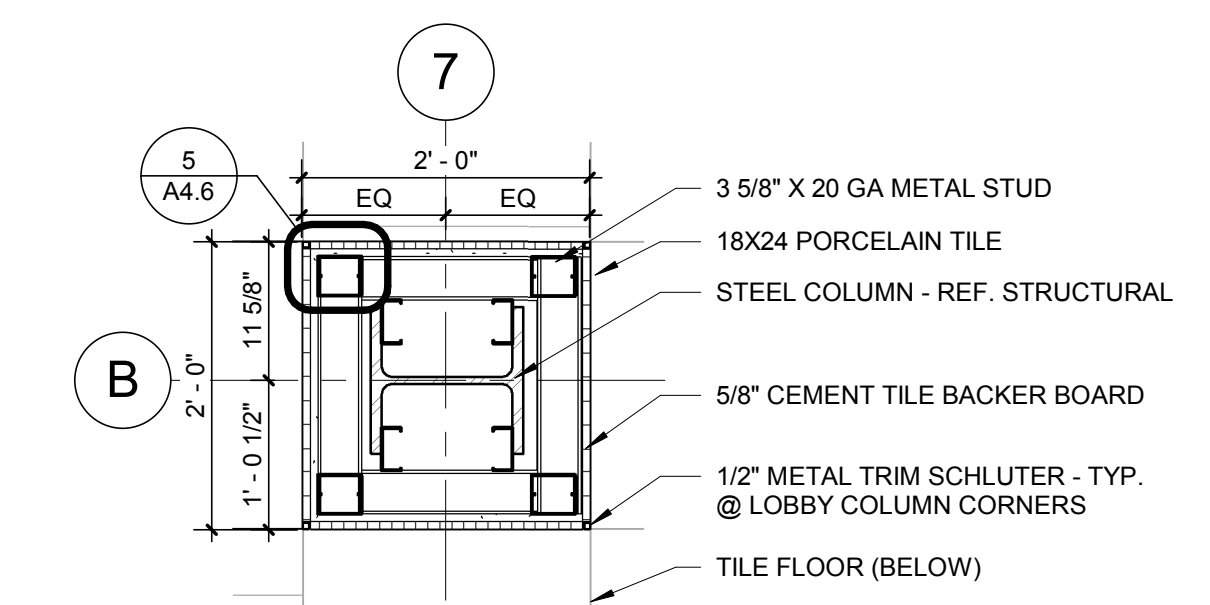
**2 TYP. AXIOM KNIFE EDGE GRID CONSTRUCTION**  
1" = 1'-0"



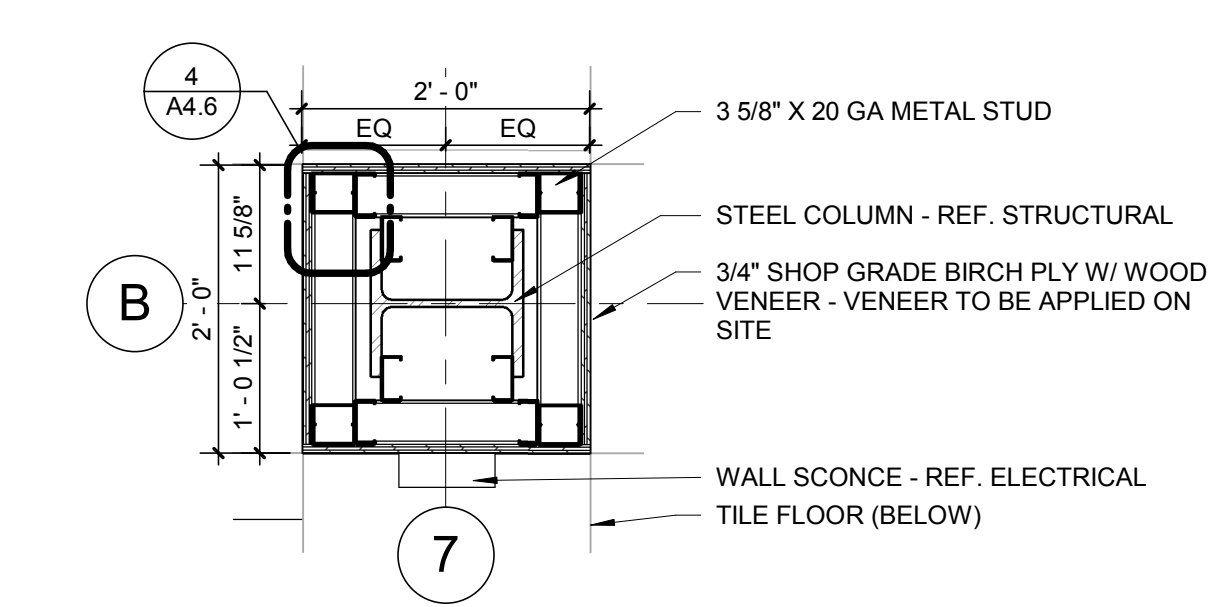
**10 WOOD VENEER BASE**  
1 1/2" = 1'-0"



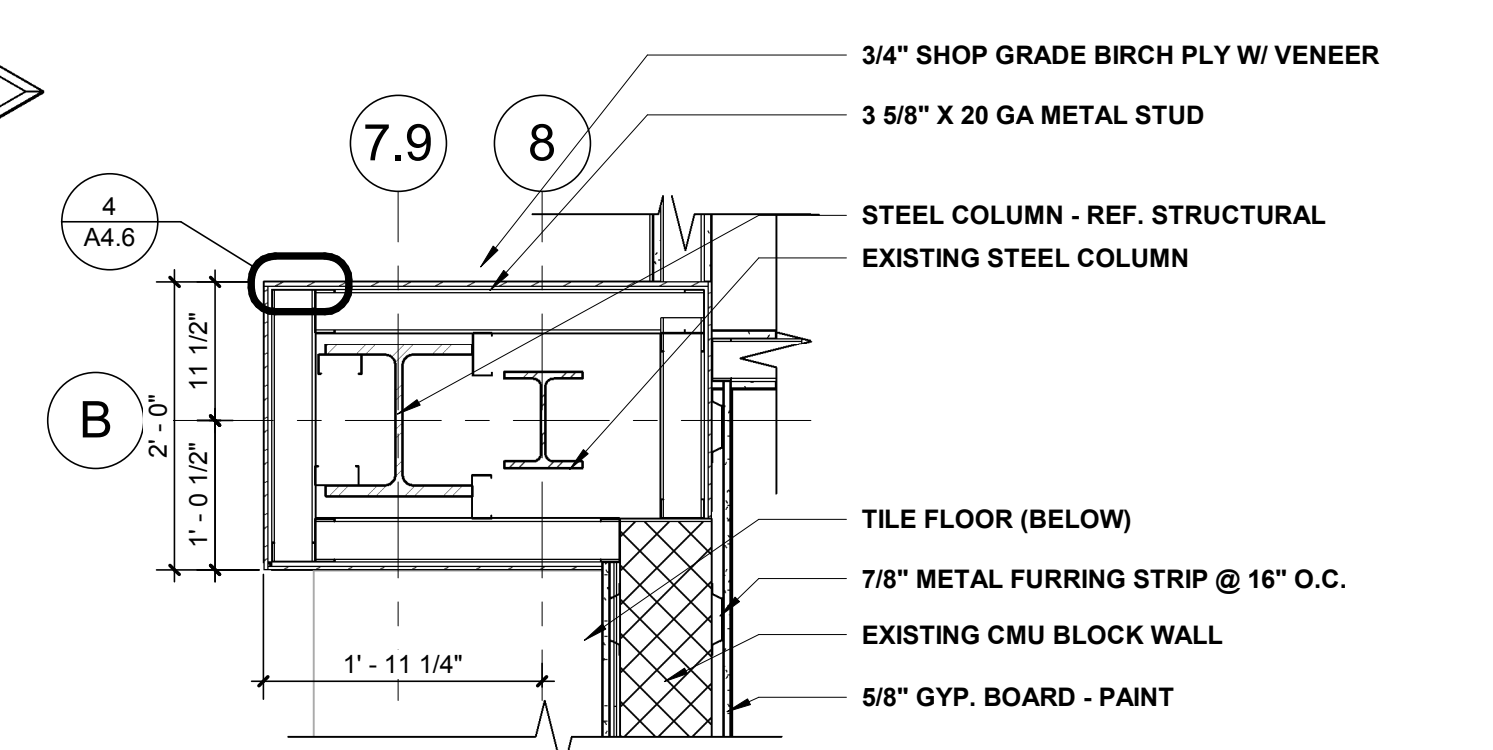
**3 LOBBY LIGHT COVE DETAIL**  
1 1/2" = 1'-0"



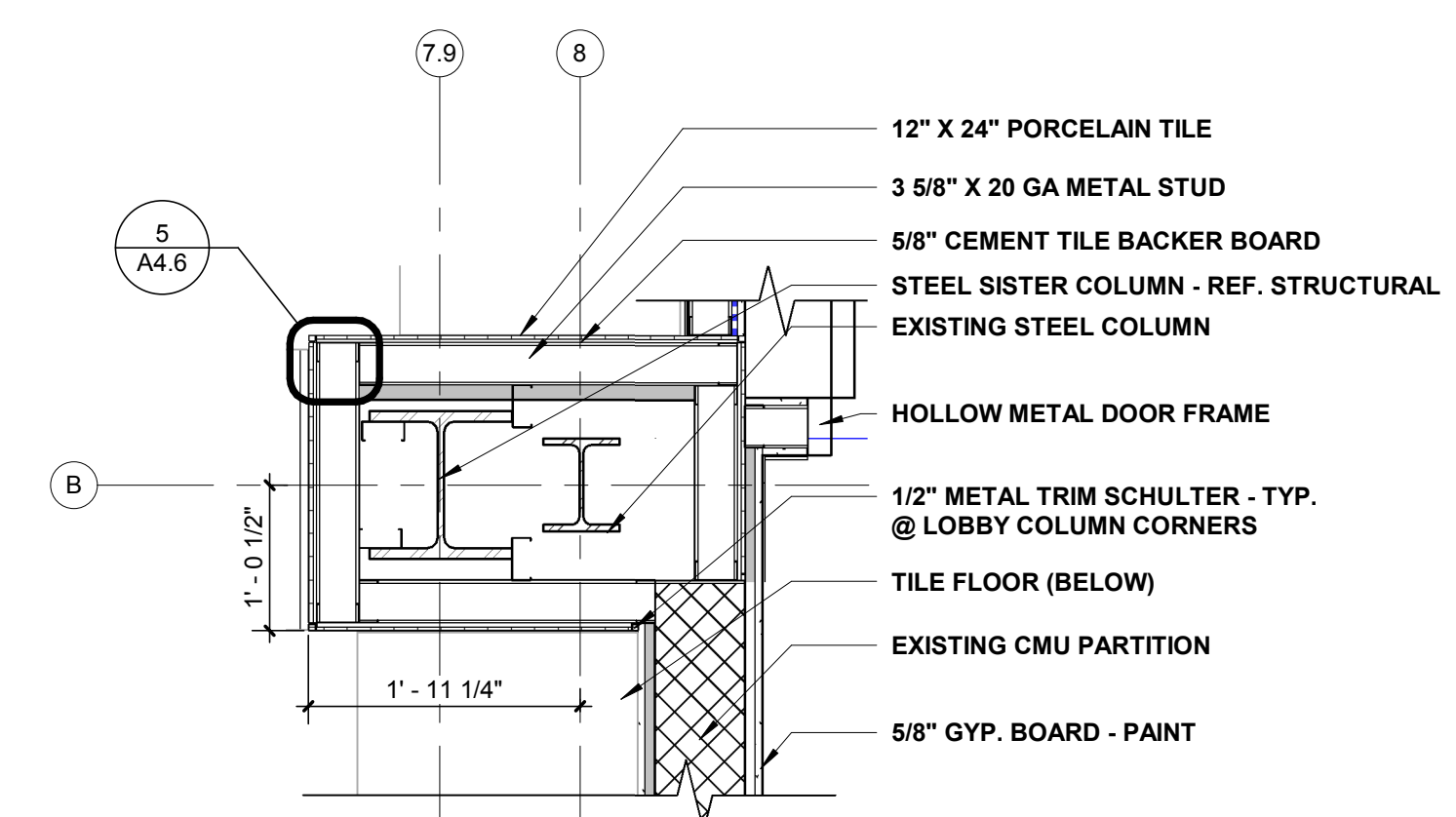
**4 LOBBY COLUMN @ TILE BASE - TYP.**  
3/4" = 1'-0"



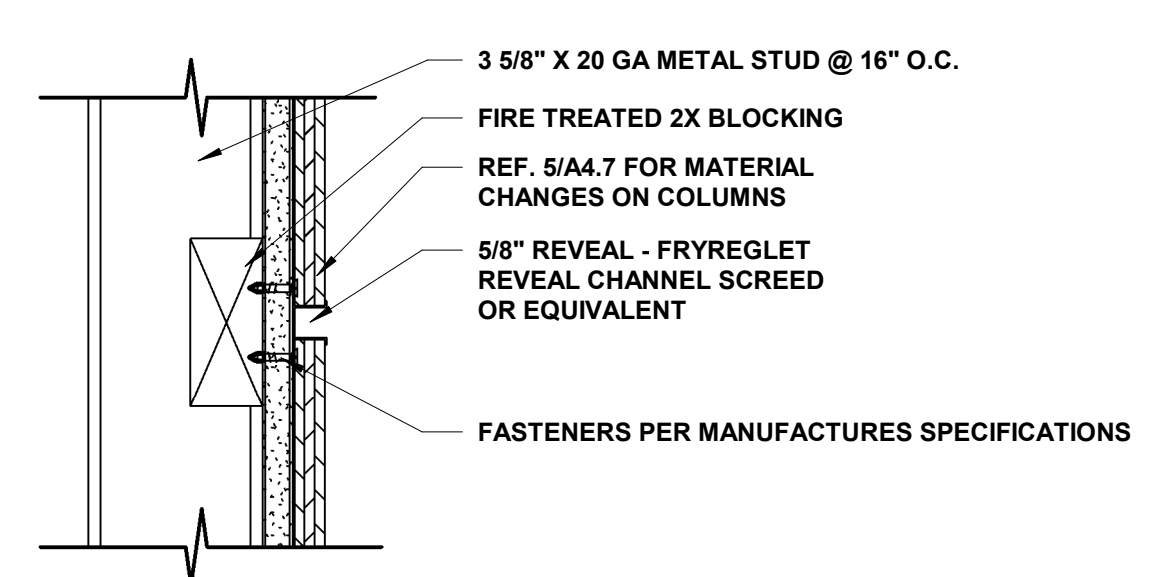
**5 LOBBY COLUMN @ WOOD VENEER - TYP**  
3/4" = 1'-0"



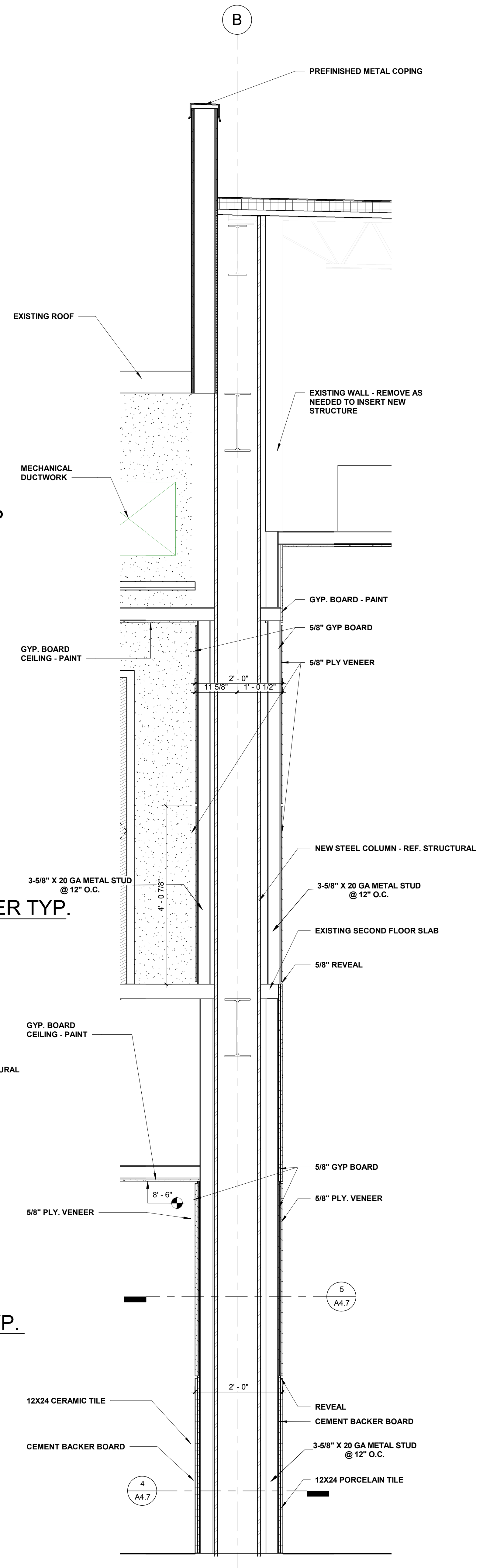
**6 LARGE LOBBY COLUMN @ WOOD VENEER TYP.**  
3/4" = 1'-0"



**7 LARGE LOBBY COLUMN @ TILE BASE TYP.**  
3/4" = 1'-0"



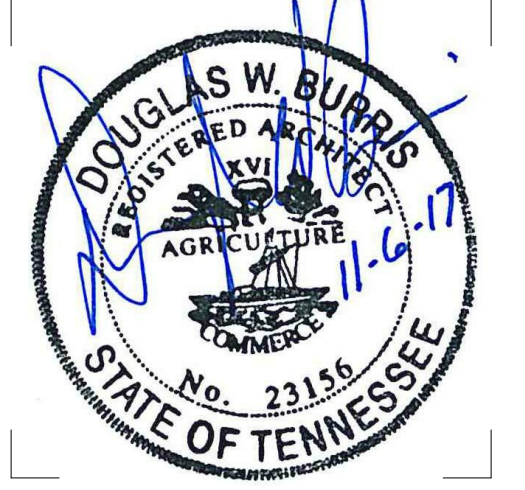
**8 COLUMN REVEAL DETAIL @ LOBBY - TYP.**  
3" = 1'-0"



**9 COLUMN WRAP @ LOBBY - SECTION**  
3/4" = 1'-0"



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Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
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Sheet Title:  
INTERIOR DETAILS  
Project No:  
17027  
Drawn by:  
RGI  
Date:  
10/31/2017

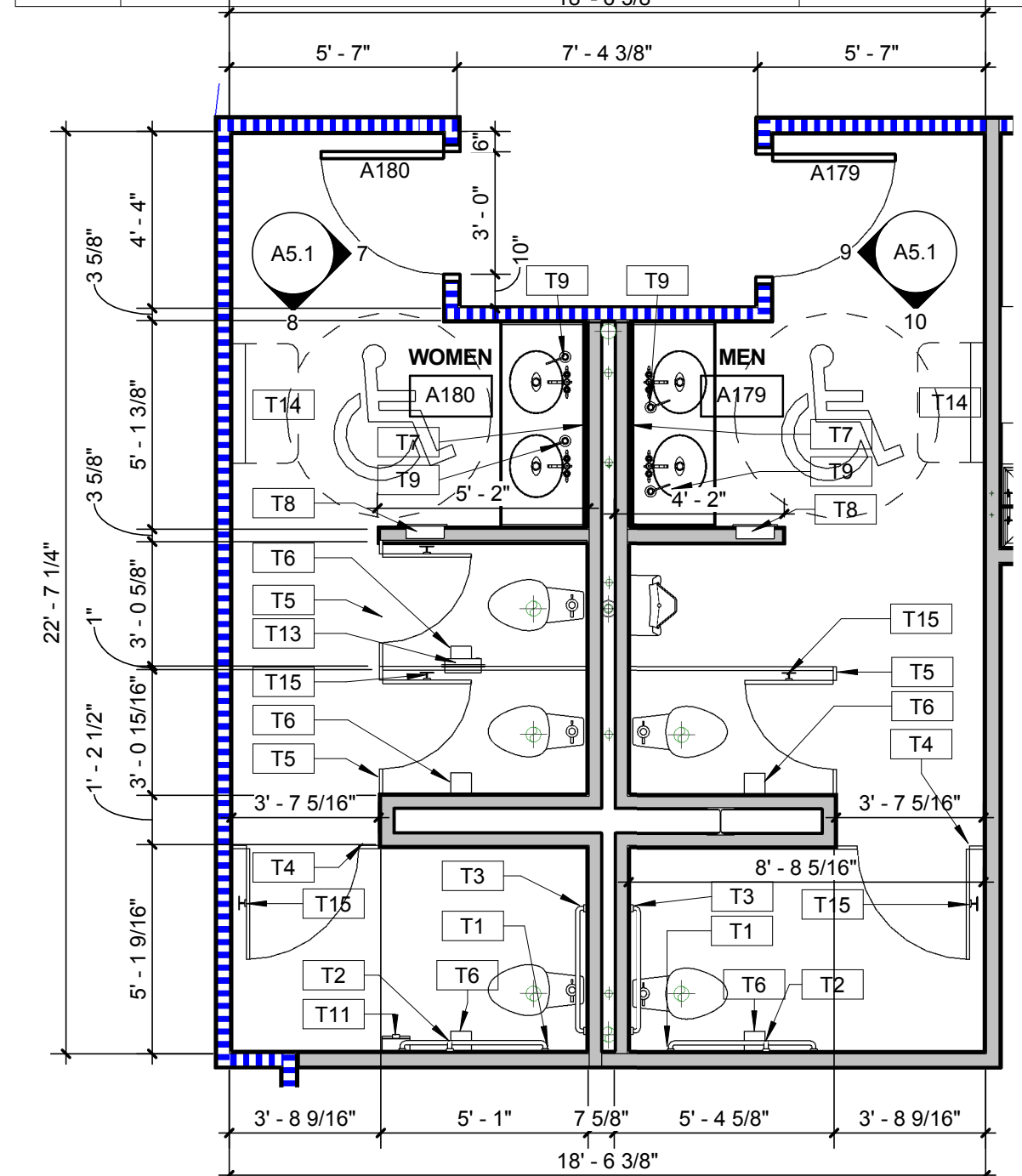
**A4.7**

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NOTE(S): PROVIDE FIRE TREATED WOOD BLOCKING FOR ALL WALL MOUNTED DEVICES. FOR TOILET ACCESSORIES BY OWNER - PROVIDE ALL OTHER BLOCKING AS REQ'D.

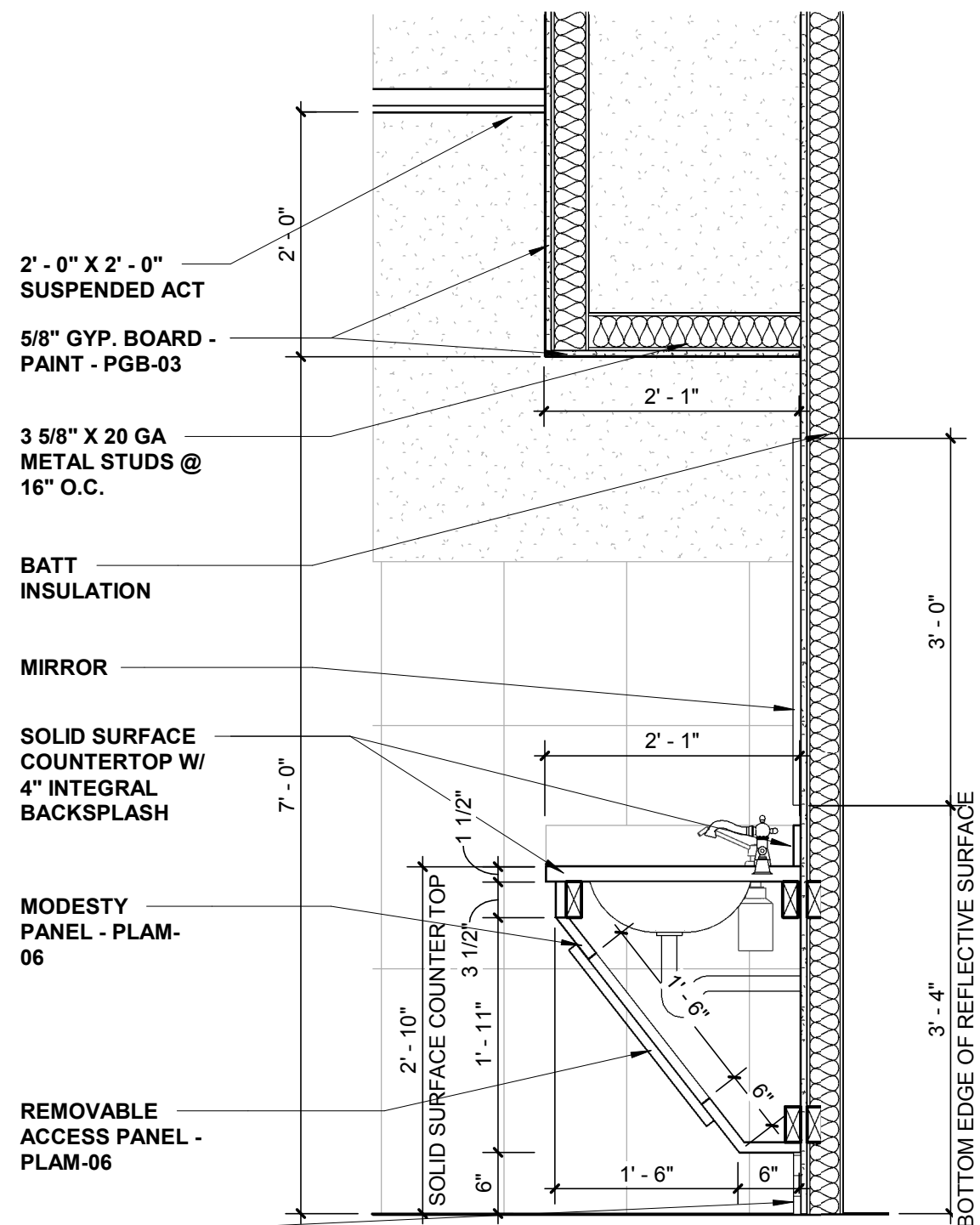
**TOILET ACCESSORY SCHEDULE**

MARK	ACCESSORY TYPE	MANUFACTURER	MODEL	FINISH	COMMENTS
T1	GRAB BAR 42"	Bobrick Washroom Equipment, Inc.	B5806x42	Stainless Steel - Bobrick - Satin	Ref. Specifications
T2	GRAB BAR VERTICAL 18"	Bobrick Washroom Equipment, Inc.	B5806x18	Stainless Steel - Bobrick - Satin	Ref. Specifications
T3	GRAB BAR 36"	Bobrick Washroom Equipment, Inc.	B5806x36	Stainless Steel - Bobrick - Satin	Ref. Specifications
T4	TOILET PARTITION - 3'-7" (SWING IN)	Hiny Hiders	HDPE	Stainless Steel - Bobrick - Satin	Ref. Specifications
T5	TOILET PARTITION - FRONT 36" x 60" (Swing-In)	Hiny Hiders	HDPE	Stainless Steel - Bobrick - Satin	Ref. Specifications
T6	TOILET TISSUE DISPENSER - DOUBLE	Bobrick Washroom Equipment, Inc.	B-2746	Stainless Steel - Bobrick - Satin	Ref. Specifications
T7	MIRROR 60" x 36"				Ref. Specifications
T8	COMBO PAPER TOWEL & WASTE - SEMI RECESSED	Bobrick Washroom Equipment, Inc.	B-36903	Stainless Steel - Bobrick - Satin	Ref. Specifications
T9	SOAP DISPENSER	Bobrick Washroom Equipment, Inc.	B-52216	Stainless Steel - Bobrick - Satin	Ref. Specifications
T10	SHELF W/ BOOR & MOP HOLDER	Bobrick Washroom Equipment, Inc.	B-239	Stainless Steel - Bobrick - Satin	Ref. Specifications
T11	SANITARY NAPKIN DISPOSAL - SURFACE MOUNTED	Bobrick Washroom Equipment, Inc.	B-35139	Stainless Steel - Bobrick - Satin	Ref. Specifications
T12	URINAL SCREEN - TYP	Hiny Hiders	HDPE	Stainless Steel - Bobrick - Satin	Ref. Specifications
T13	SANITARY NAPKIN DISPOSAL - PARTITION MOUNTED	Bobrick Washroom Equipment, Inc.	B-354	Stainless Steel - Bobrick - Satin	Ref. Specifications
T14	DIAPER CHANGING STATION	Bobrick Washroom Equipment, Inc.	KB-200		(4) REQUIRED
T15	COAT HOOK				

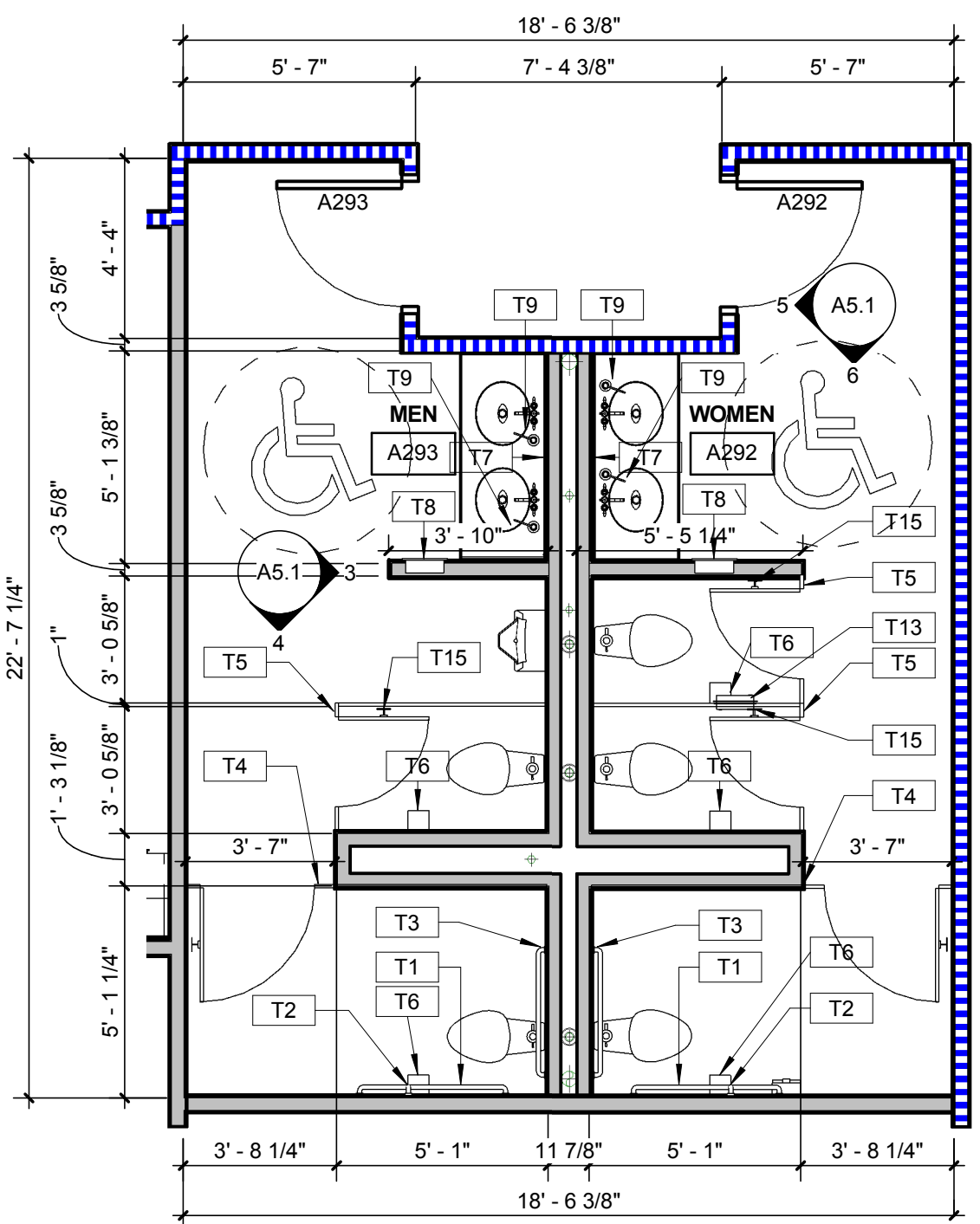


**1 ENLARGED RESTROOM PLAN - A180 & A179**  
1/4" = 1'-0"

NOTE : RESTROOMS AT A297 & 296 TO MATCH

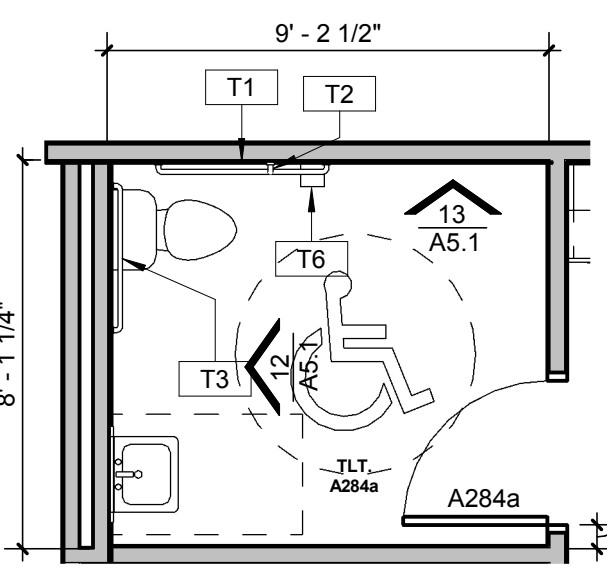


**14 SECTION @ VANITY**  
3/4" = 1'-0"

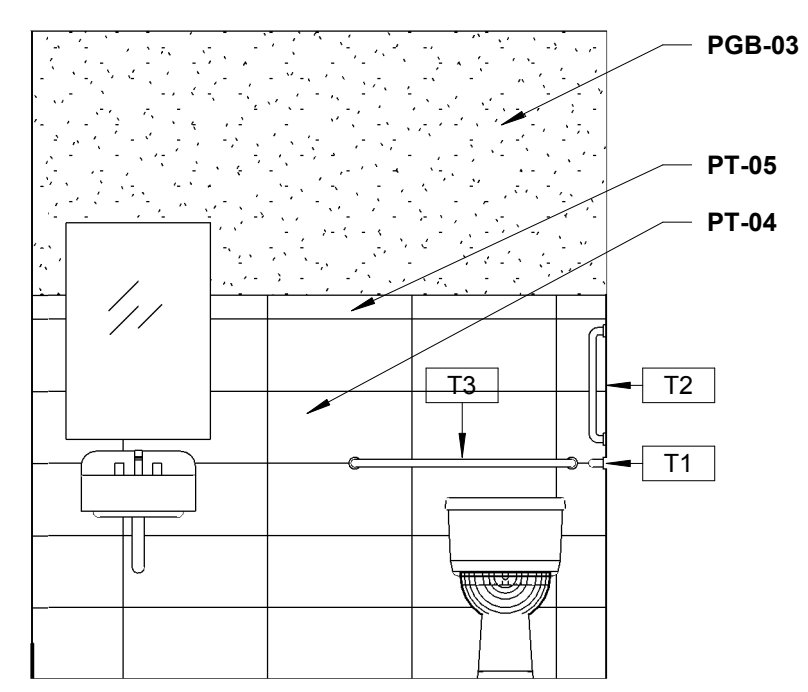


**2 ENLARGED RESTROOM PLAN - A293 & A292**  
1/4" = 1'-0"

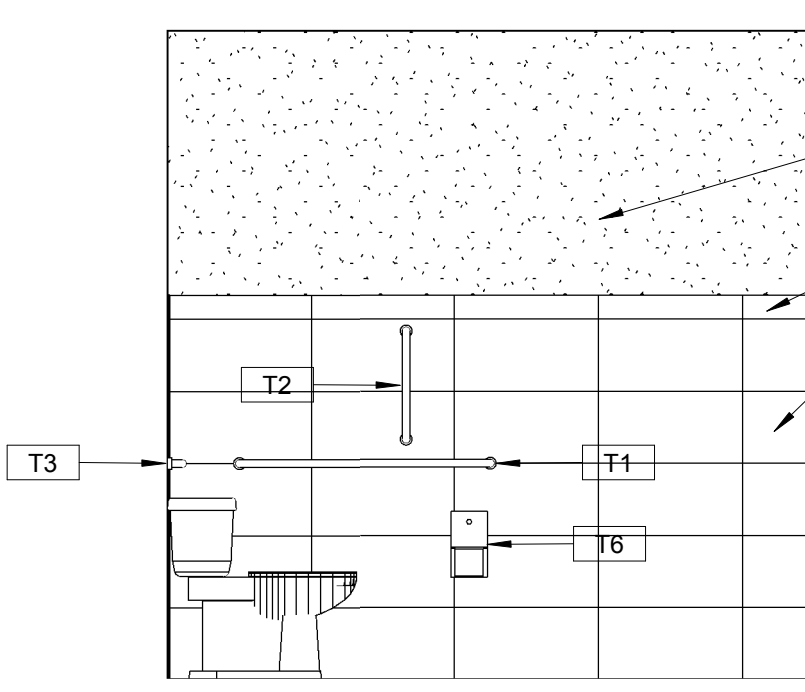
NOTE : RESTROOMS AT A171 & A170 TO MATCH



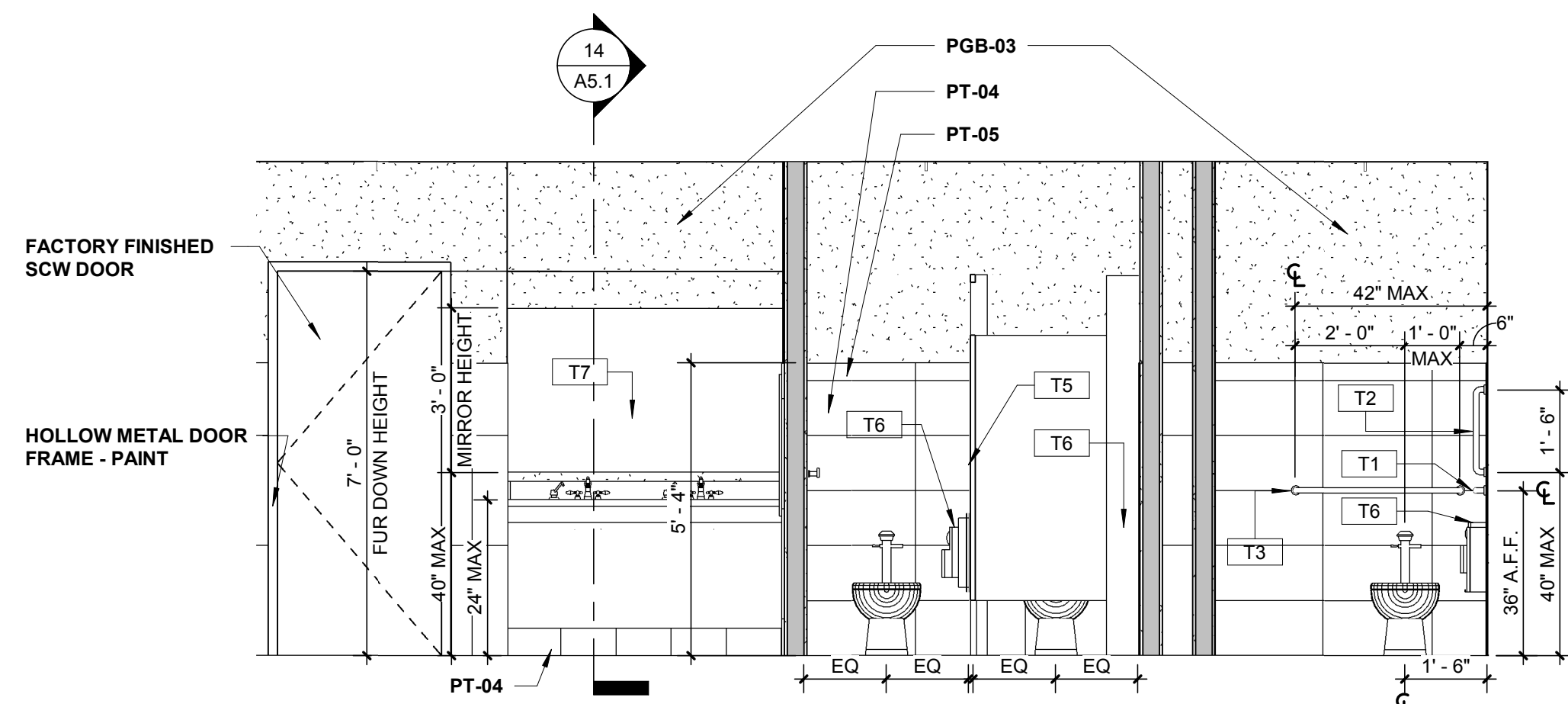
**11 ENL. PLAN @ TLT A284a**  
1/4" = 1'-0"



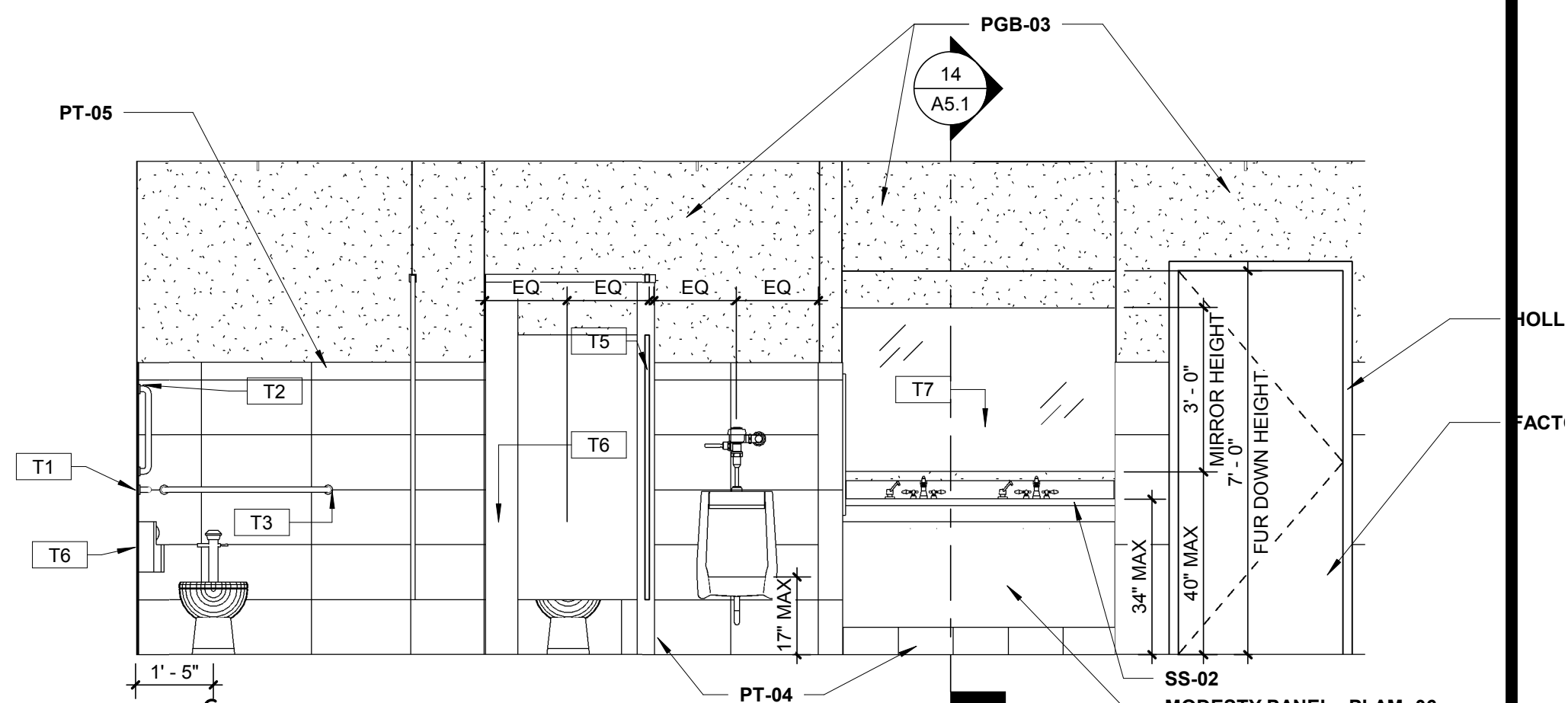
**12 INT. ELEV. @ TLT A284**  
3/8" = 1'-0"



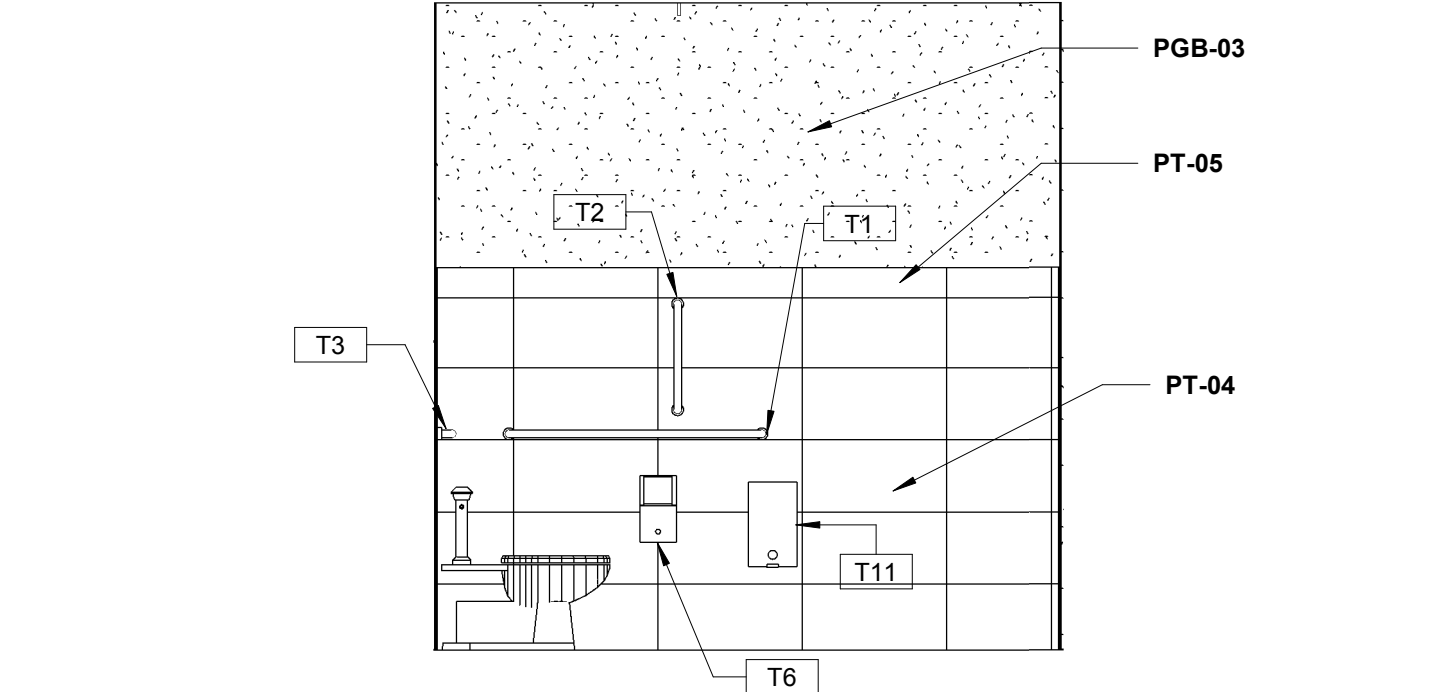
**13 INT. ELEV 2 @ TLT A284**  
3/8" = 1'-0"



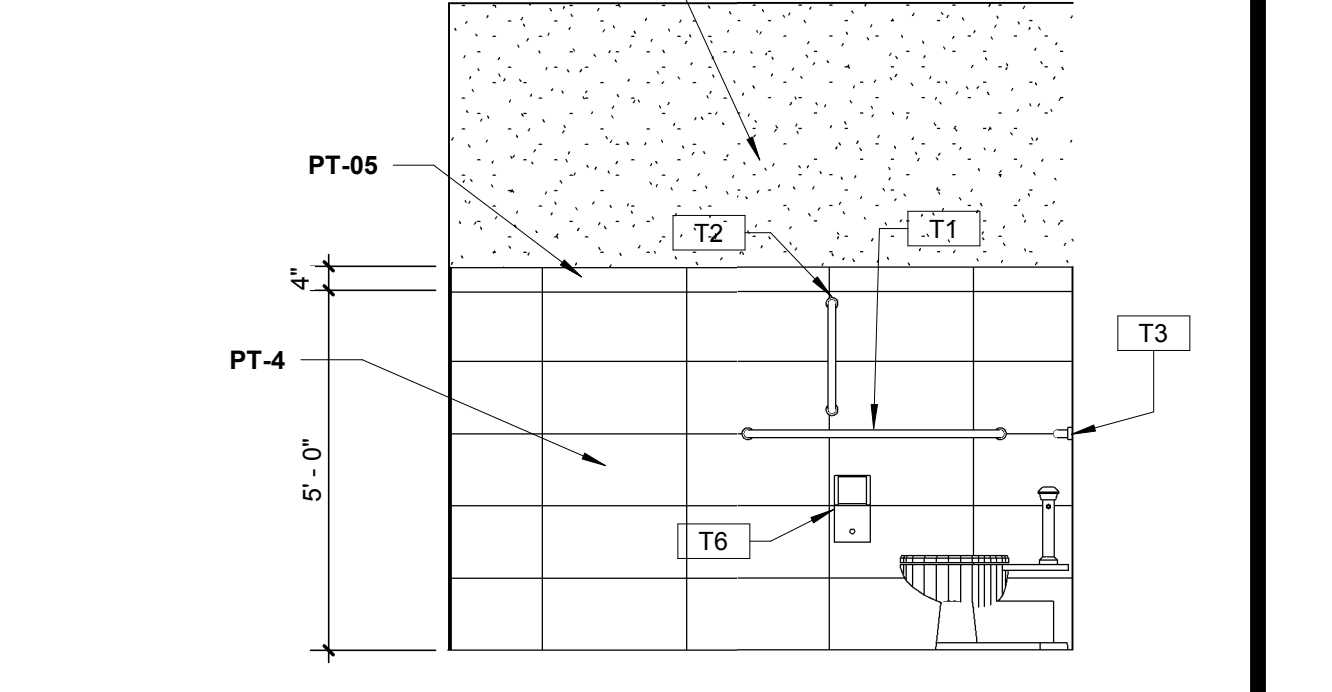
**7 INTERIOR ELEVATION @ WOMEN A180 TLT.**  
3/8" = 1'-0"  
NOTE : RESTROOM AT A297 TO MATCH



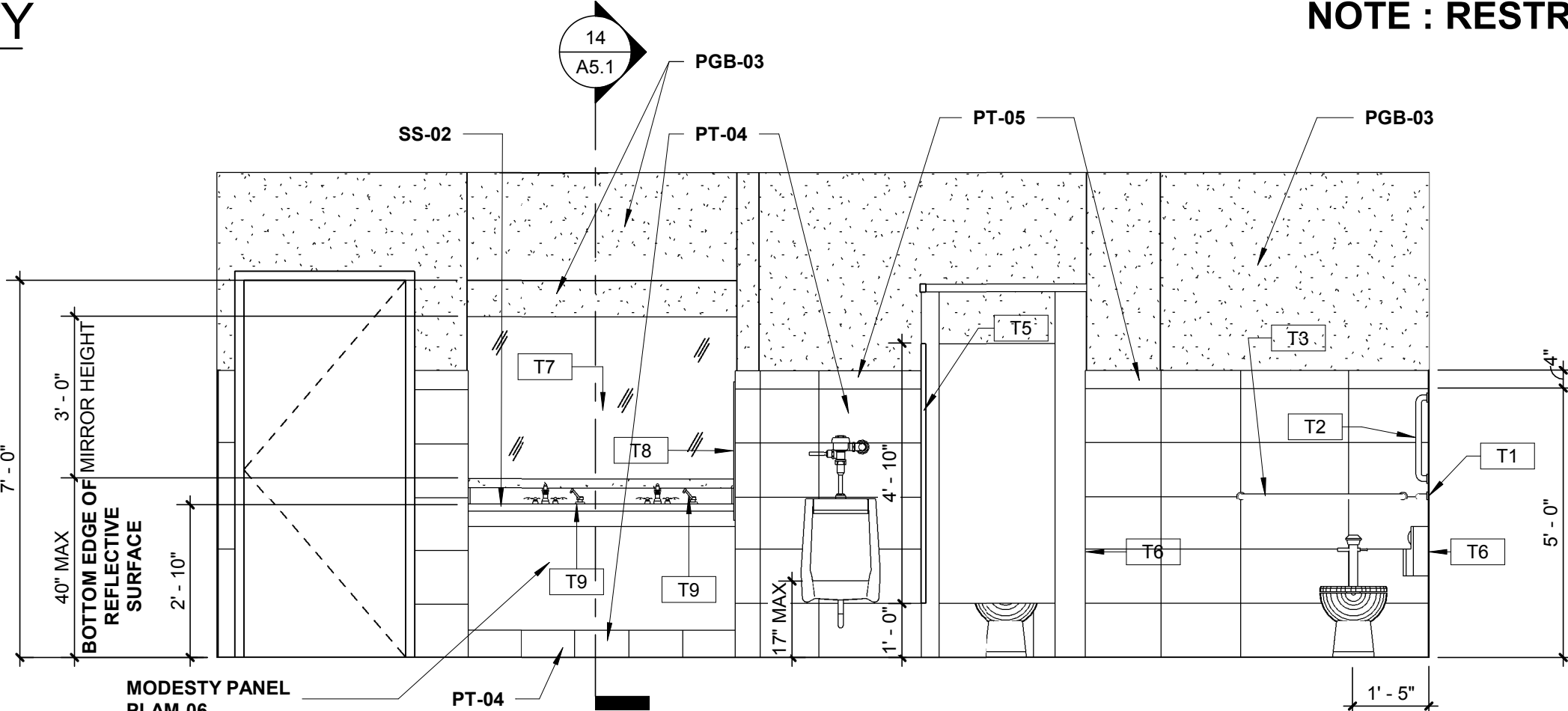
**9 INTERIOR ELEVATION @ MEN A179 TLT.**  
3/8" = 1'-0"  
NOTE : RESTROOM AT A296 TO MATCH



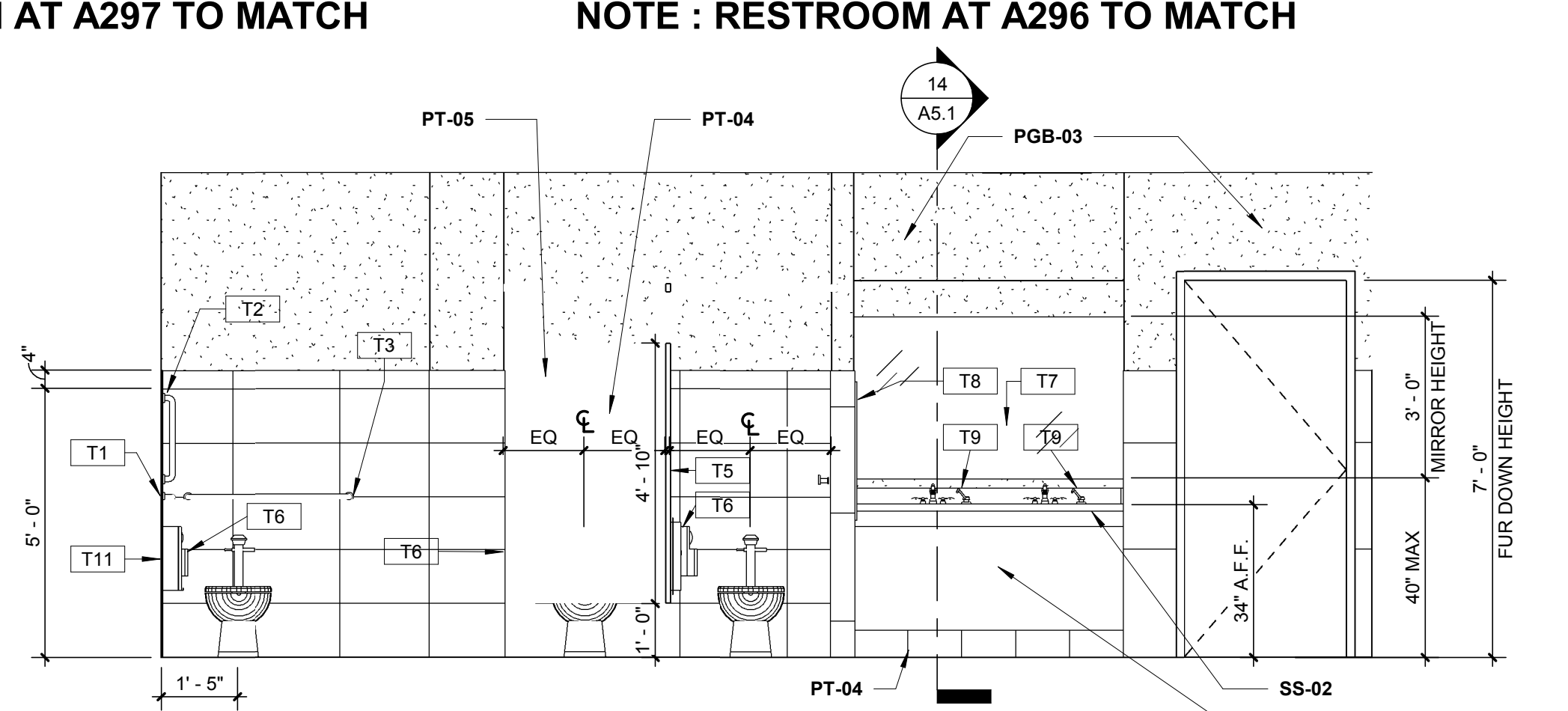
**8 INTERIOR ELEVATION @ WOMEN A180**  
3/8" = 1'-0"



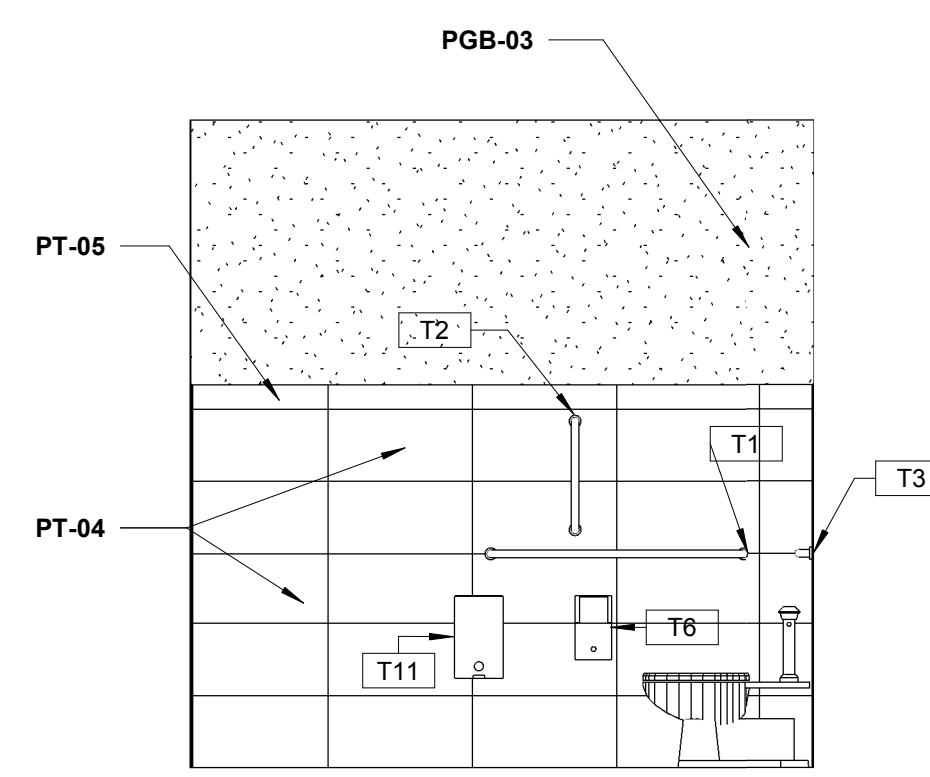
**10 INTERIOR ELEVATION @ MEN 179**  
3/8" = 1'-0"



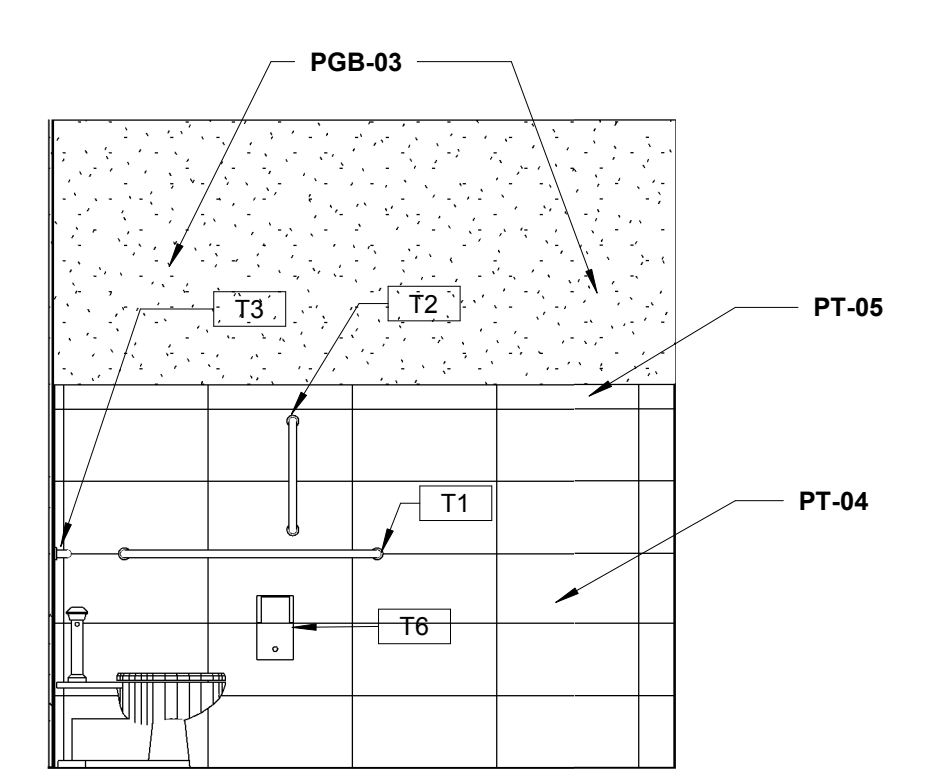
**3 INTERIOR ELEV. @ MEN TLT. A293**  
3/8" = 1'-0"  
NOTE : RESTROOM AT A171 TO MATCH



**5 INTERIOR ELEV. @ WOMEN TLT. A292**  
3/8" = 1'-0"  
NOTE : RESTROOM AT A170 TO MATCH



**6 INTERIOR ELEVATION @ WOMEN A292**  
3/8" = 1'-0"  
NOTE : RESTROOM AT A170 TO MATCH



**4 INTERIOR ELEVATION @ MEN A293**  
3/8" = 1'-0"  
NOTE : RESTROOM AT A171 TO MATCH

**NOTE:**  
ALL OUTSIDE CORNER, USE SCHLUTER #Q12 + TSC CREAM

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REV	DESCRIPTION	DATE

Construction Documents for  
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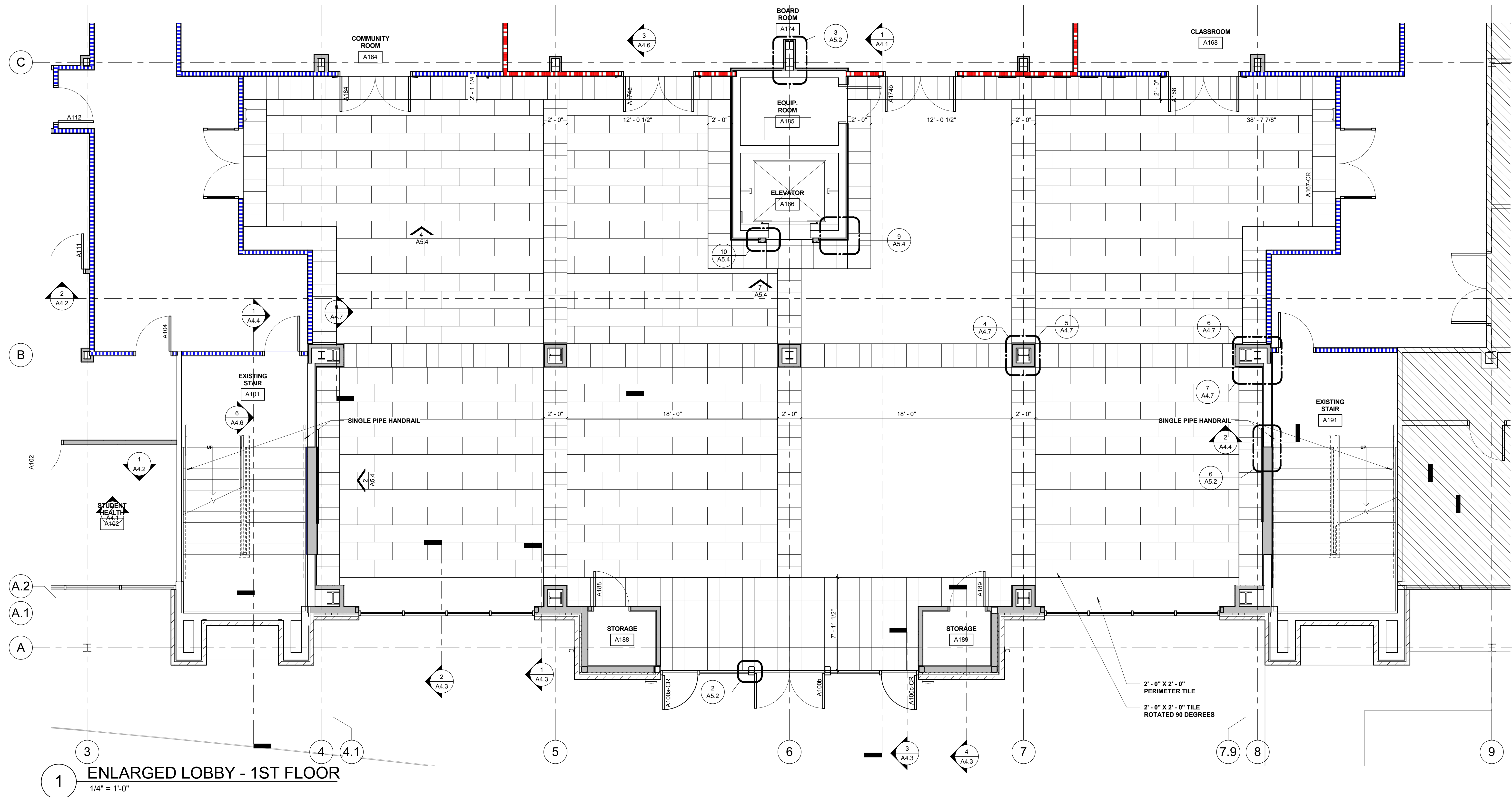


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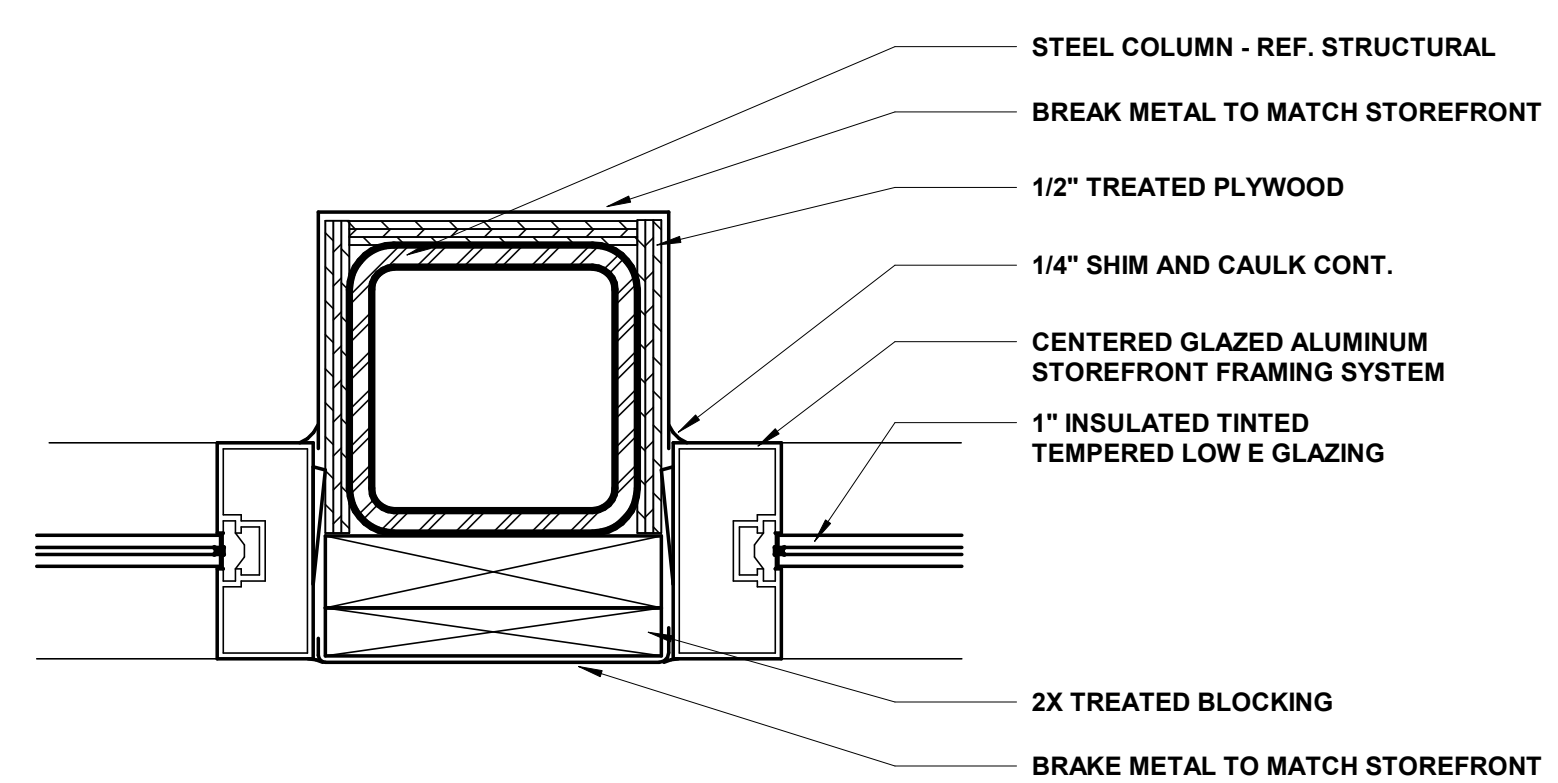
9700 Village Circle, Ste 100  
Lakeland, TN 38002  
901.332.5533  
fax: 901.332.5534  
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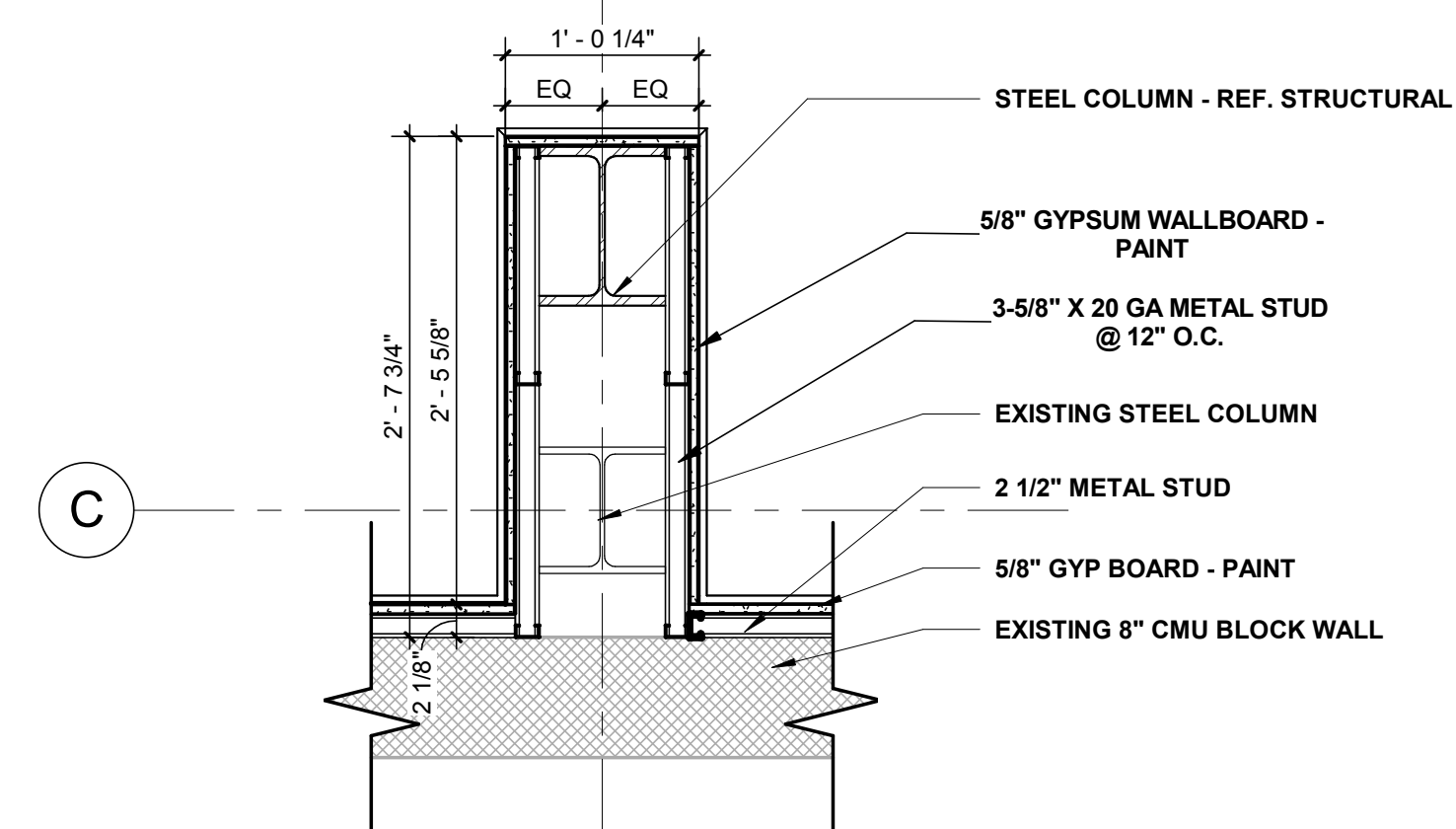
REV	DESCRIPTION	DATE



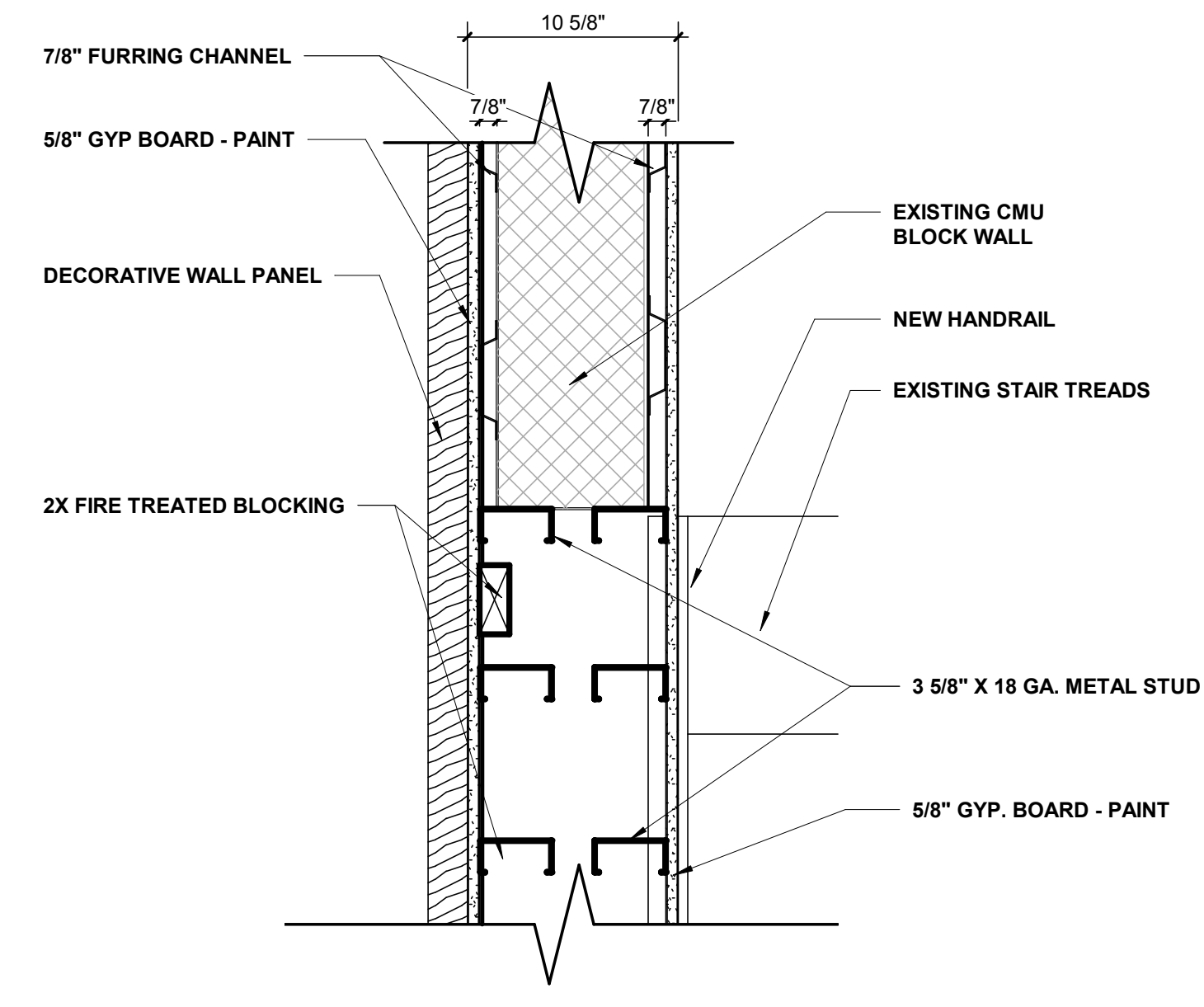
1 ENLARGED LOBBY - 1ST FLOOR  
1/4" = 1'-0"



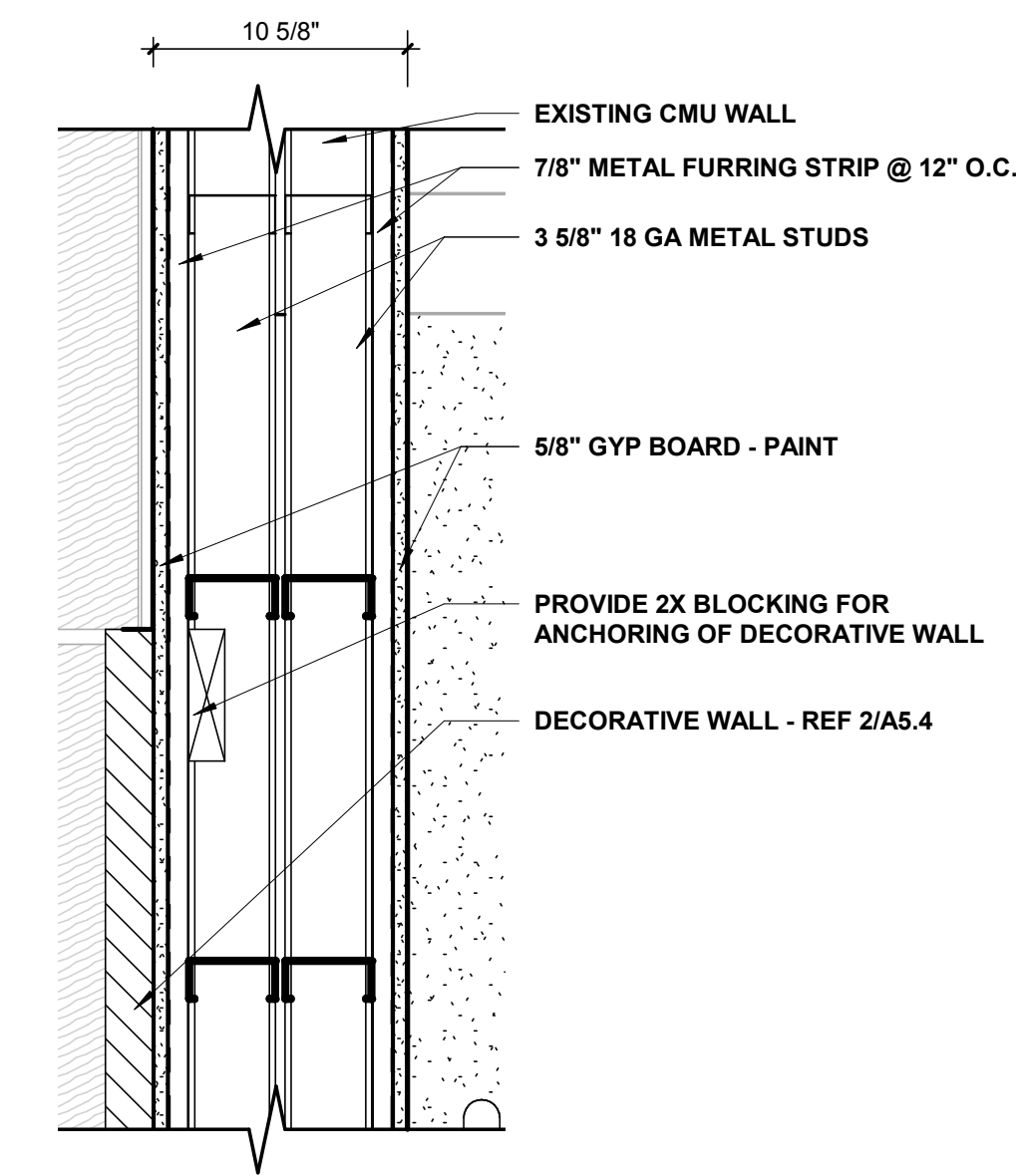
2 ENLARGED STOREFRONT COLUMN DETAIL  
3" = 1'-0"



3 SISTER COLUMN WRAP @ BOARD ROOM DETAIL  
1" = 1'-0"



6 EXISTING TO INFILL WALL DETAIL - JAMB  
1 1/2" = 1'-0"



7 STAIR INFILL WALL SECTION - HEAD  
1 1/2" = 1'-0"

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r e n a i s s a n c e g r o u p

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
ENLARGED PLANS & DETAILS  
AT LOBBY

Project No.  
17027

Drawn by  
RGI

Date  
10/31/2017

A5.2

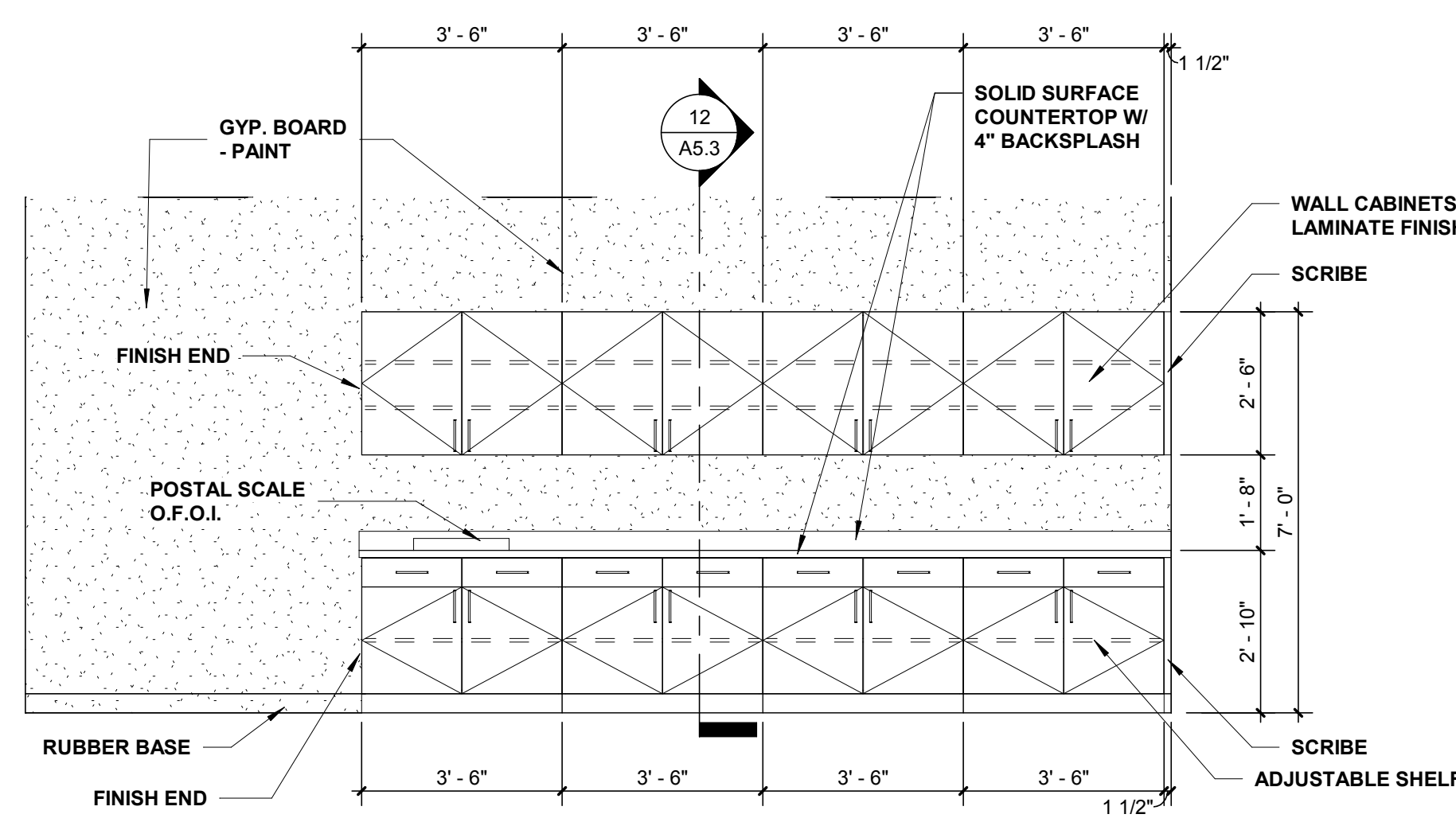


Renaissance  
Group

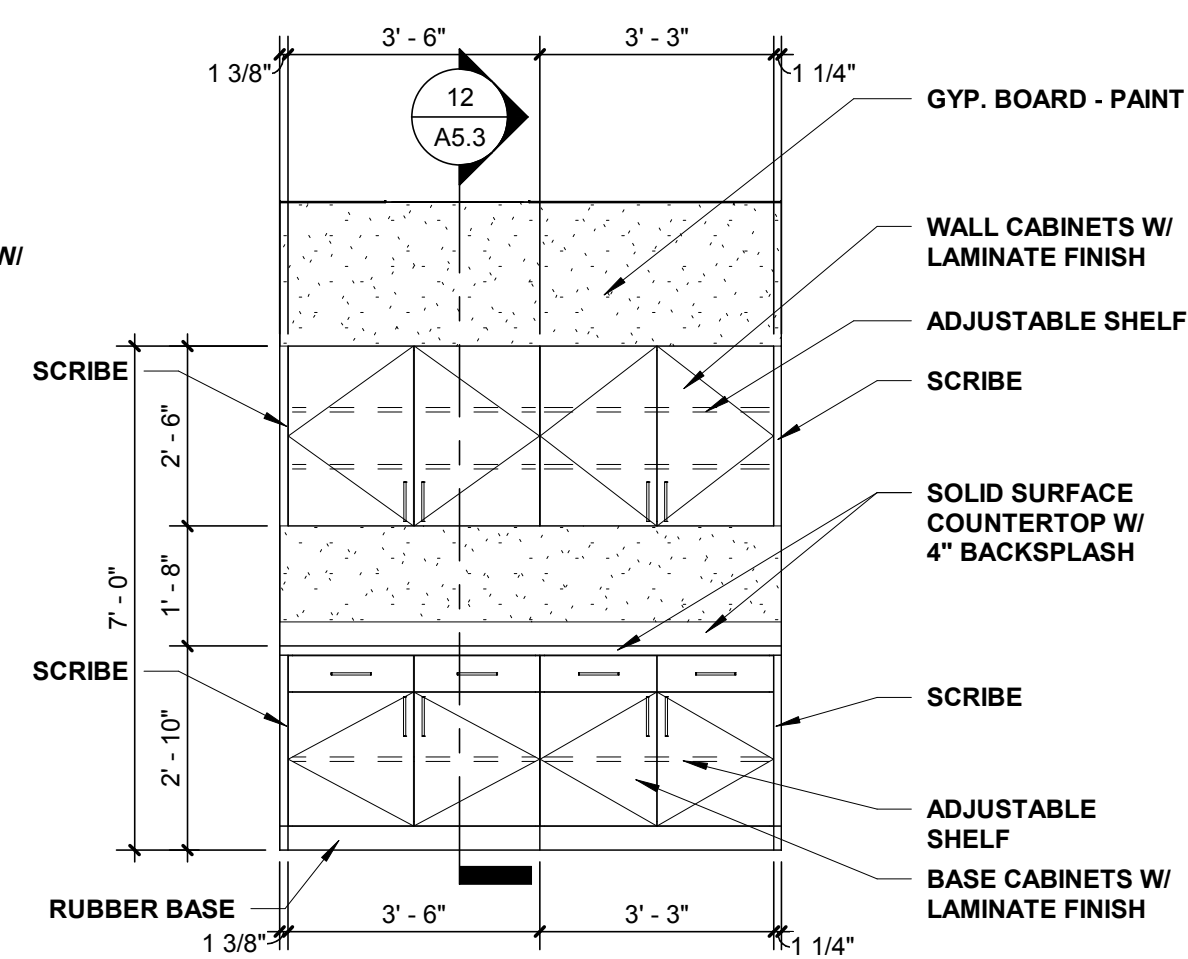
9700 Village Circle, Ste 100  
Lakeland, TN 38002  
901.332.5533  
fax: 901.332.5534  
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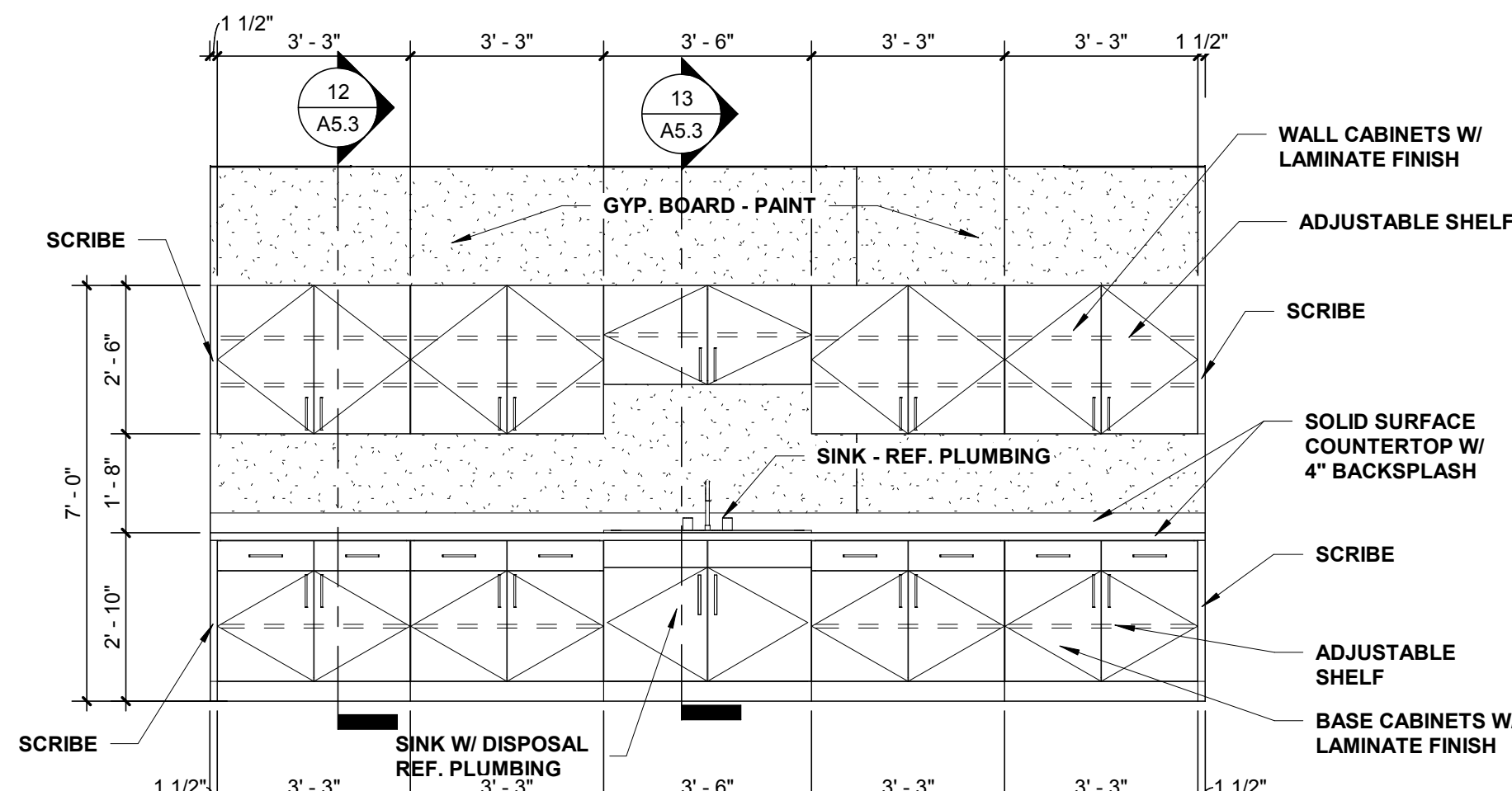
REV	DESCRIPTION	DATE



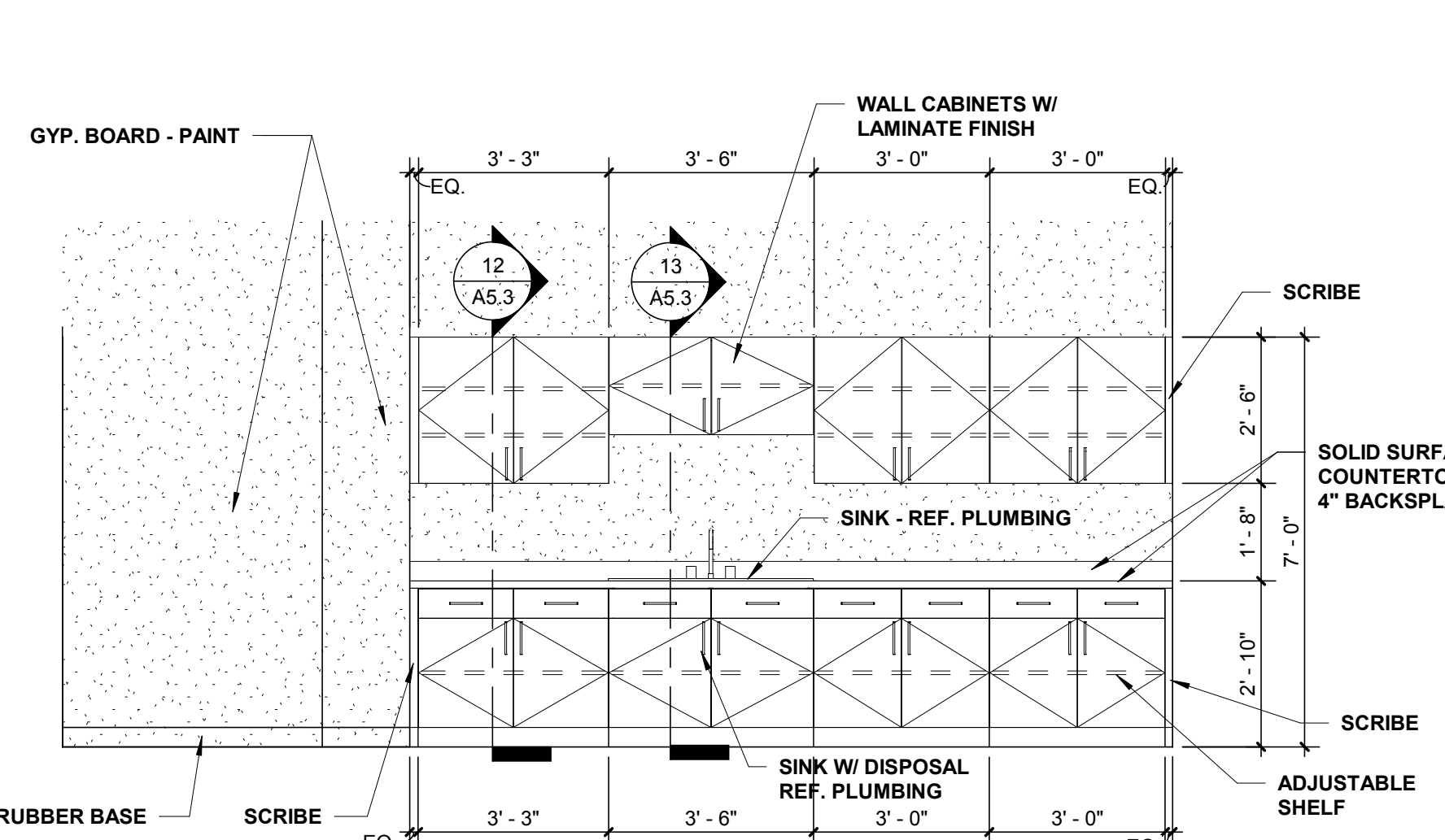
1 INT. ELEV @ MAILROOM A141  
3/8" = 1'-0"



2 ELEV. @ WORK ROOM A151  
3/8" = 1'-0"

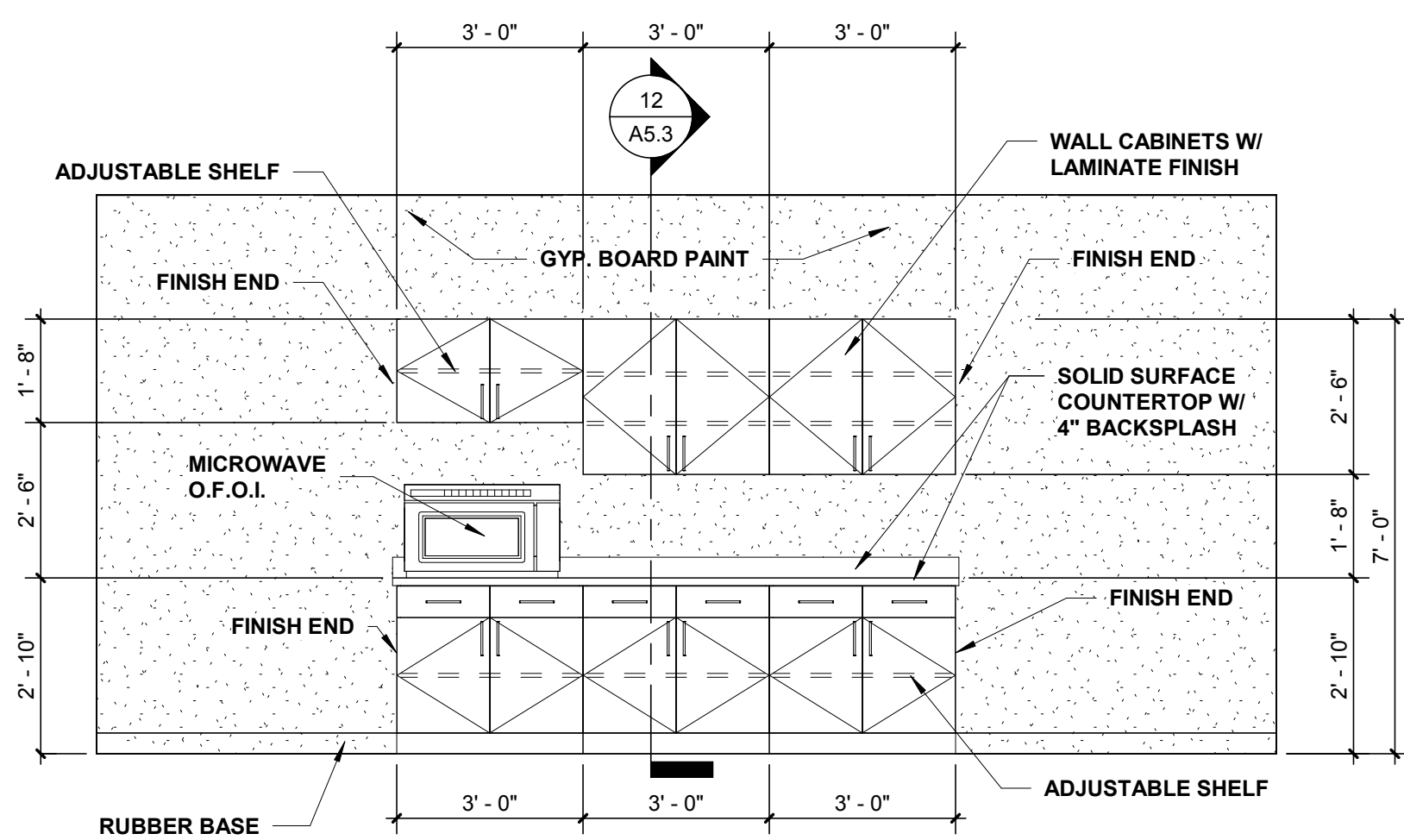


3 INT. ELEVATION @ MAKERS SPACE A169  
3/8" = 1'-0"

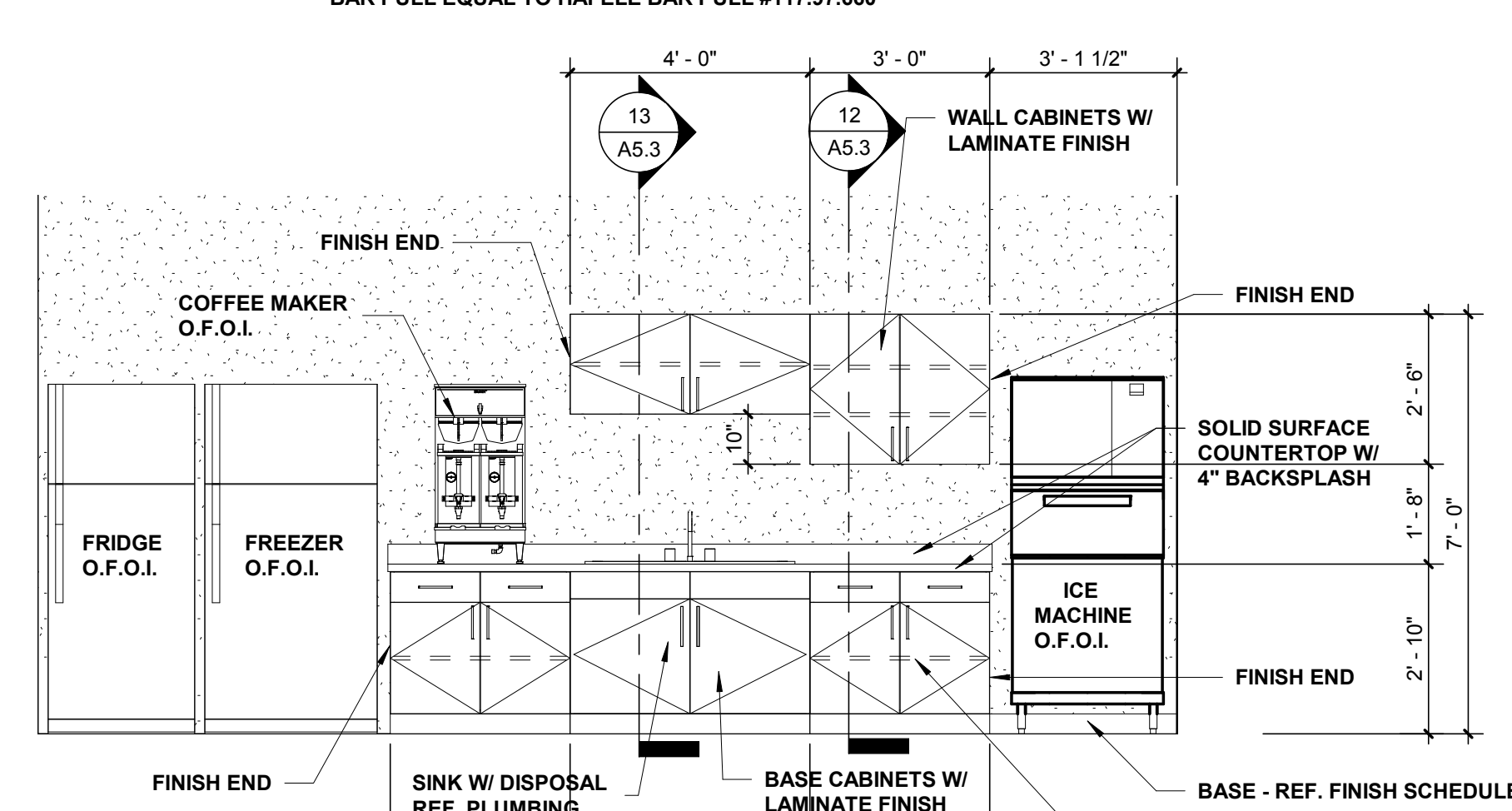


4 INT. ELEV @ BREAKROOM A182  
3/8" = 1'-0"

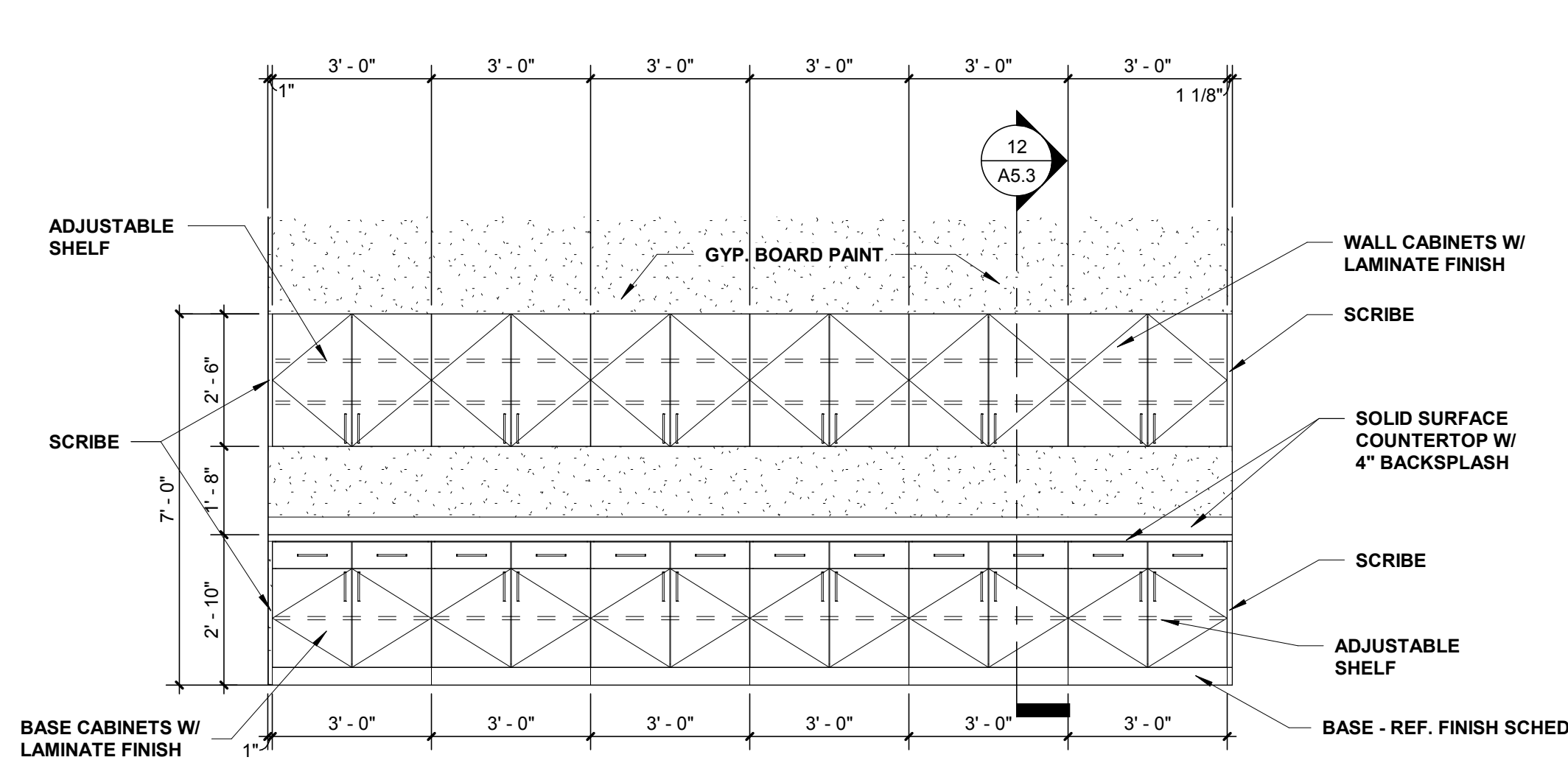
NOTE:  
DOOR AND DRAWER HANDLES FOR ALL WALL CABINETS  
AND BASE CABINETS SHALL BE 3/4\"/>



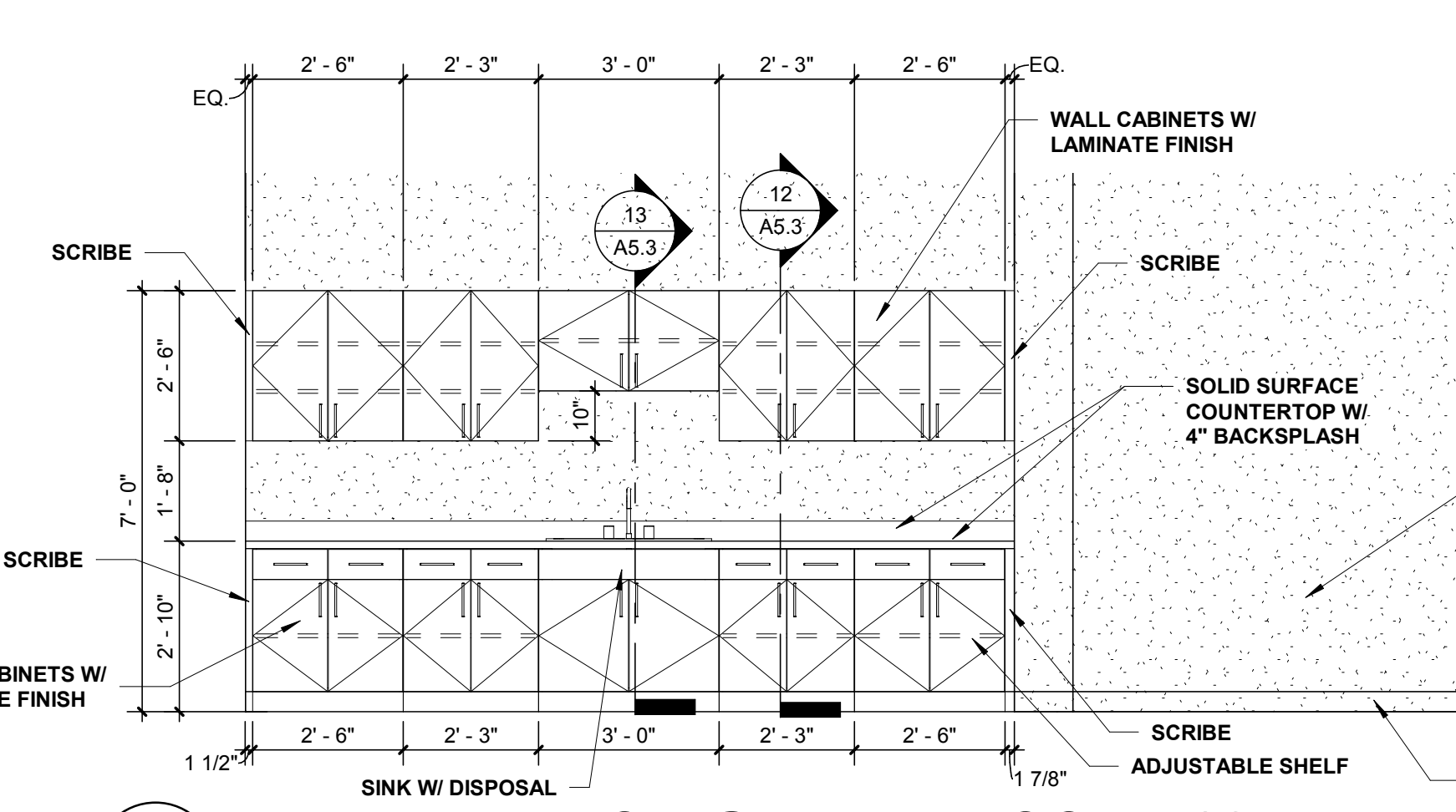
5 INT. ELEV. @ PREP KITCHEN A183  
3/8" = 1'-0"



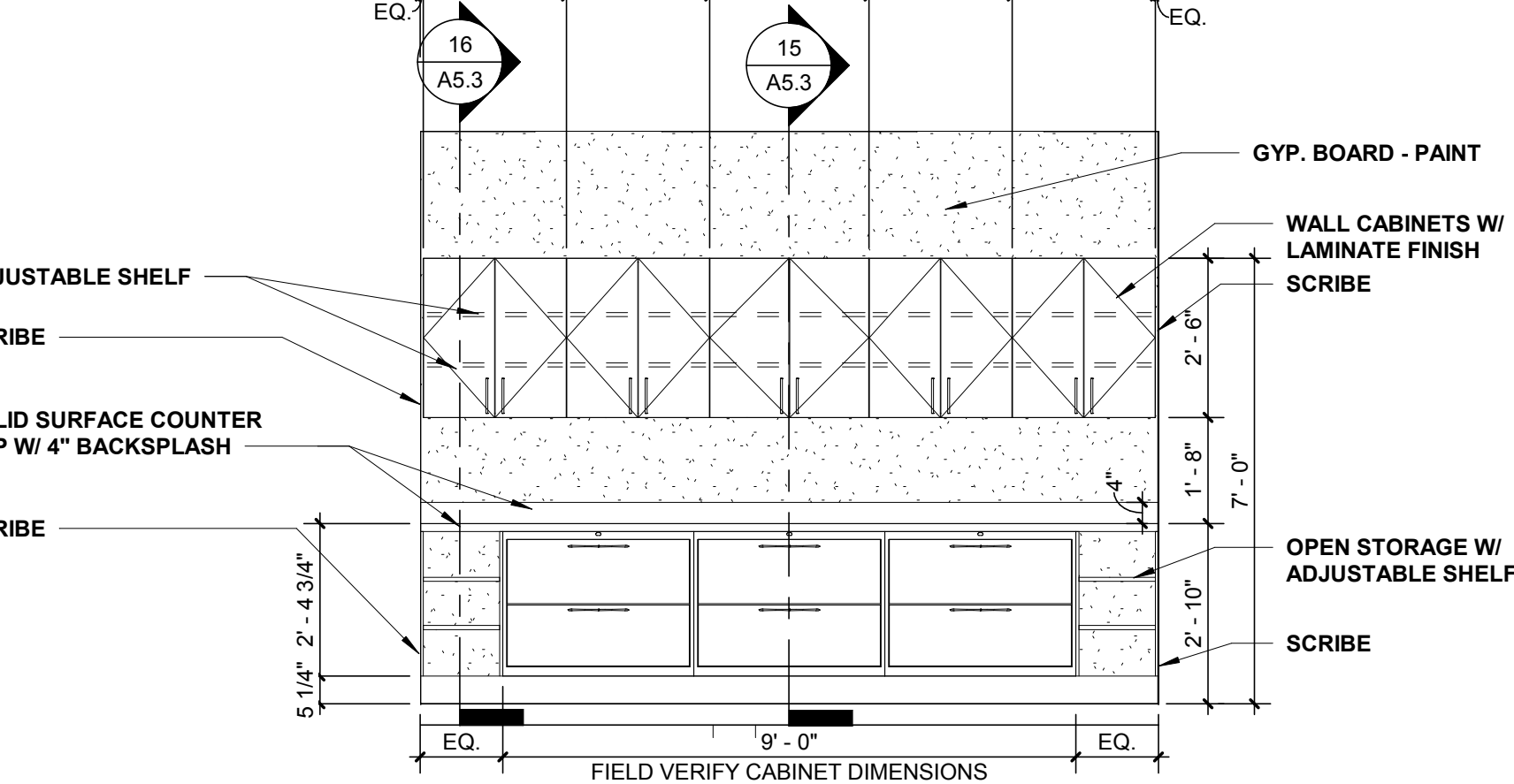
6 INT. ELEVATION @ PREP KITCHEN A183  
3/8" = 1'-0"



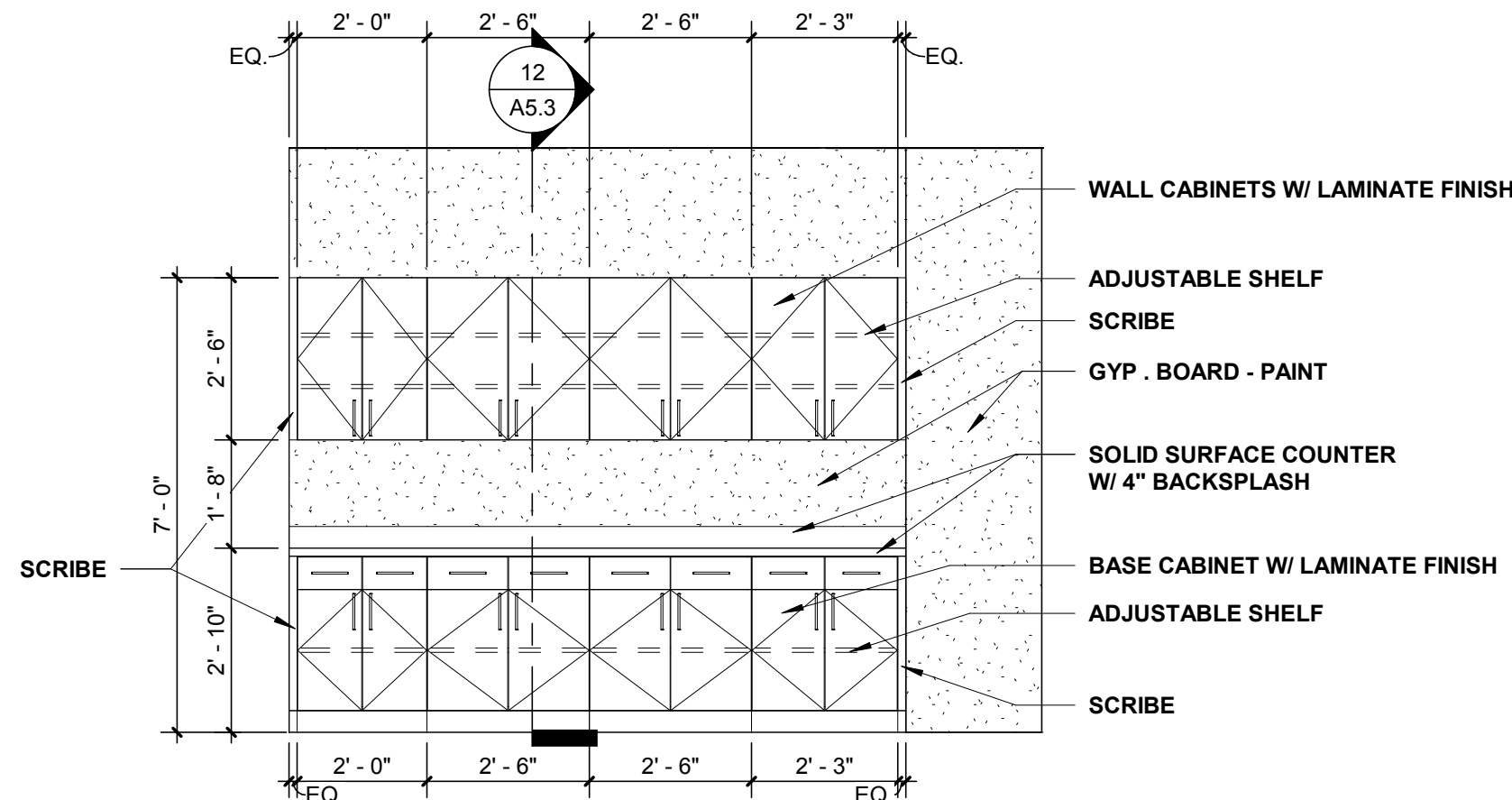
7 INT. ELEVATION @ WORK ROOM A266  
3/8" = 1'-0"



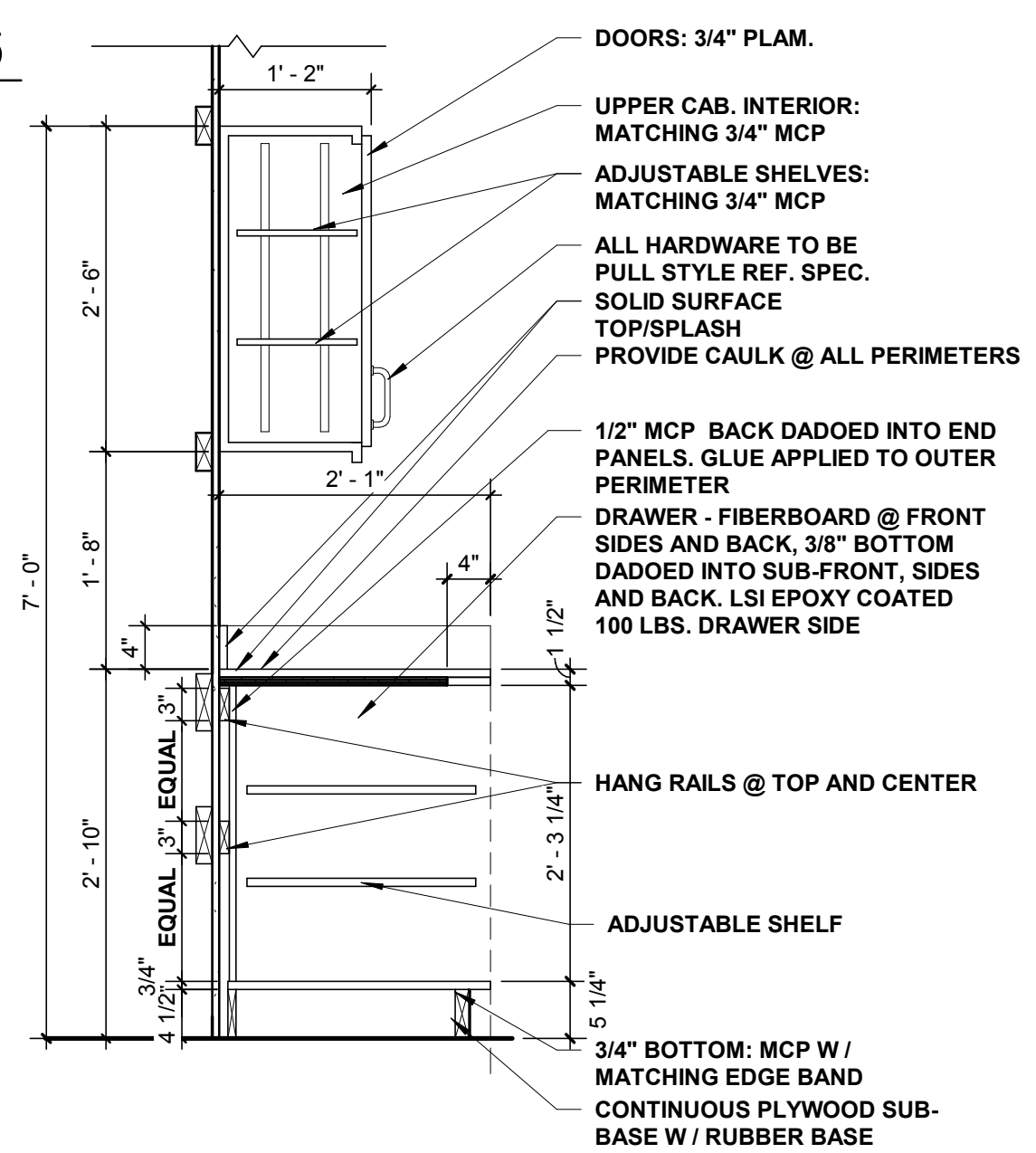
8 INT. ELEVATION @ BREAKROOM A294  
3/8" = 1'-0"



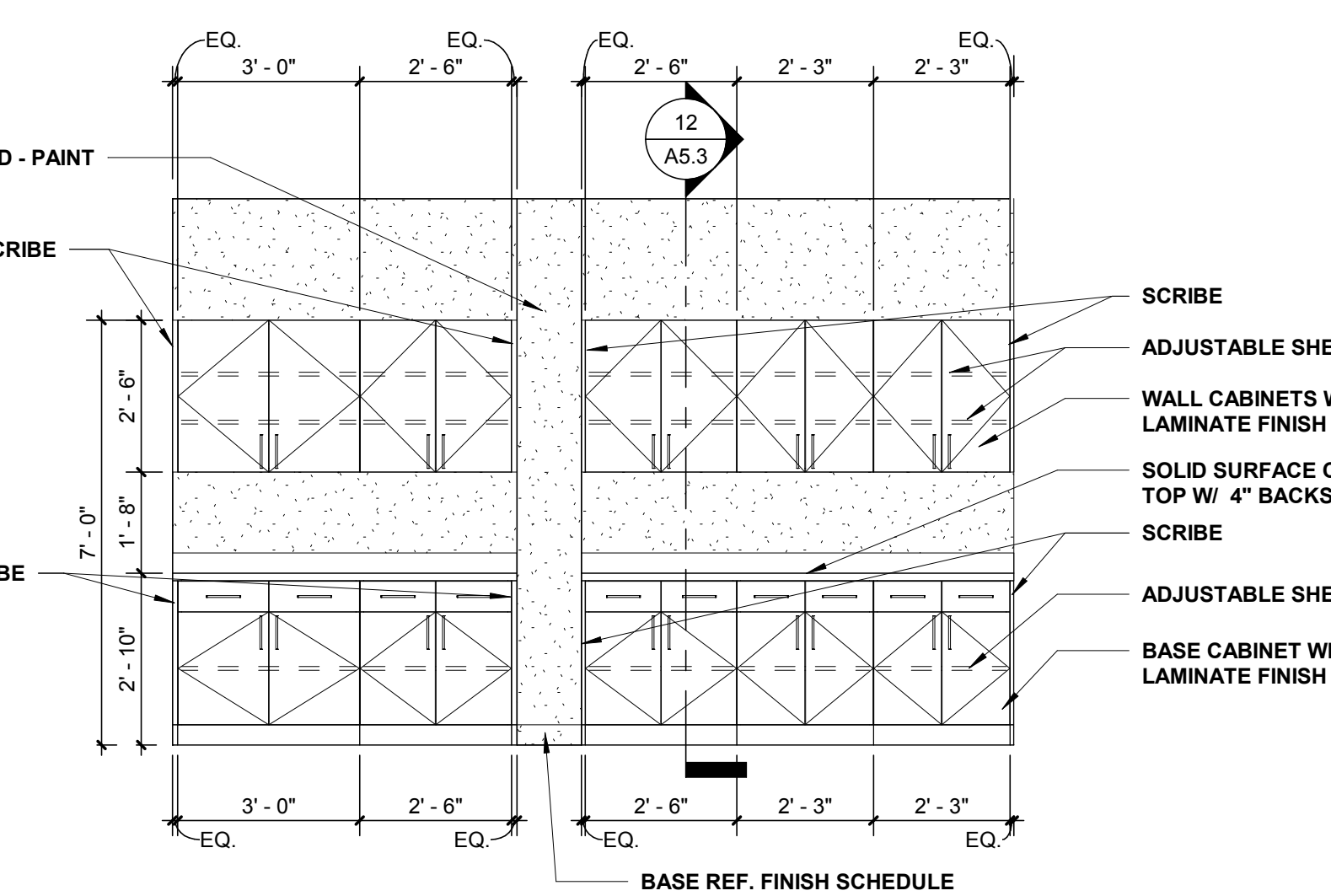
9 INT. ELEV @ WORK ROOM A108  
3/8" = 1'-0"



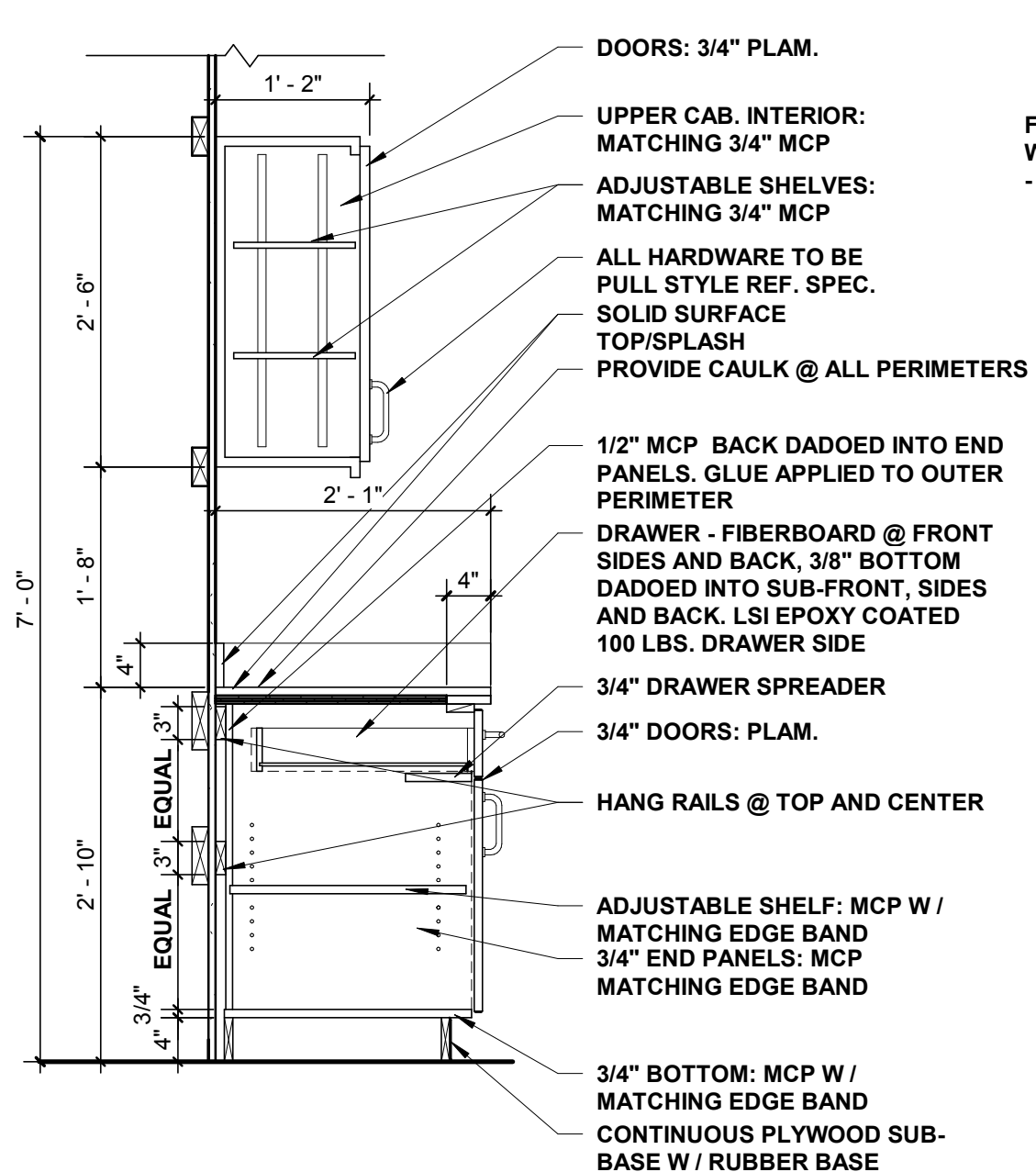
10 INT. ELEV. @ SPECIALIST A128  
3/8" = 1'-0"



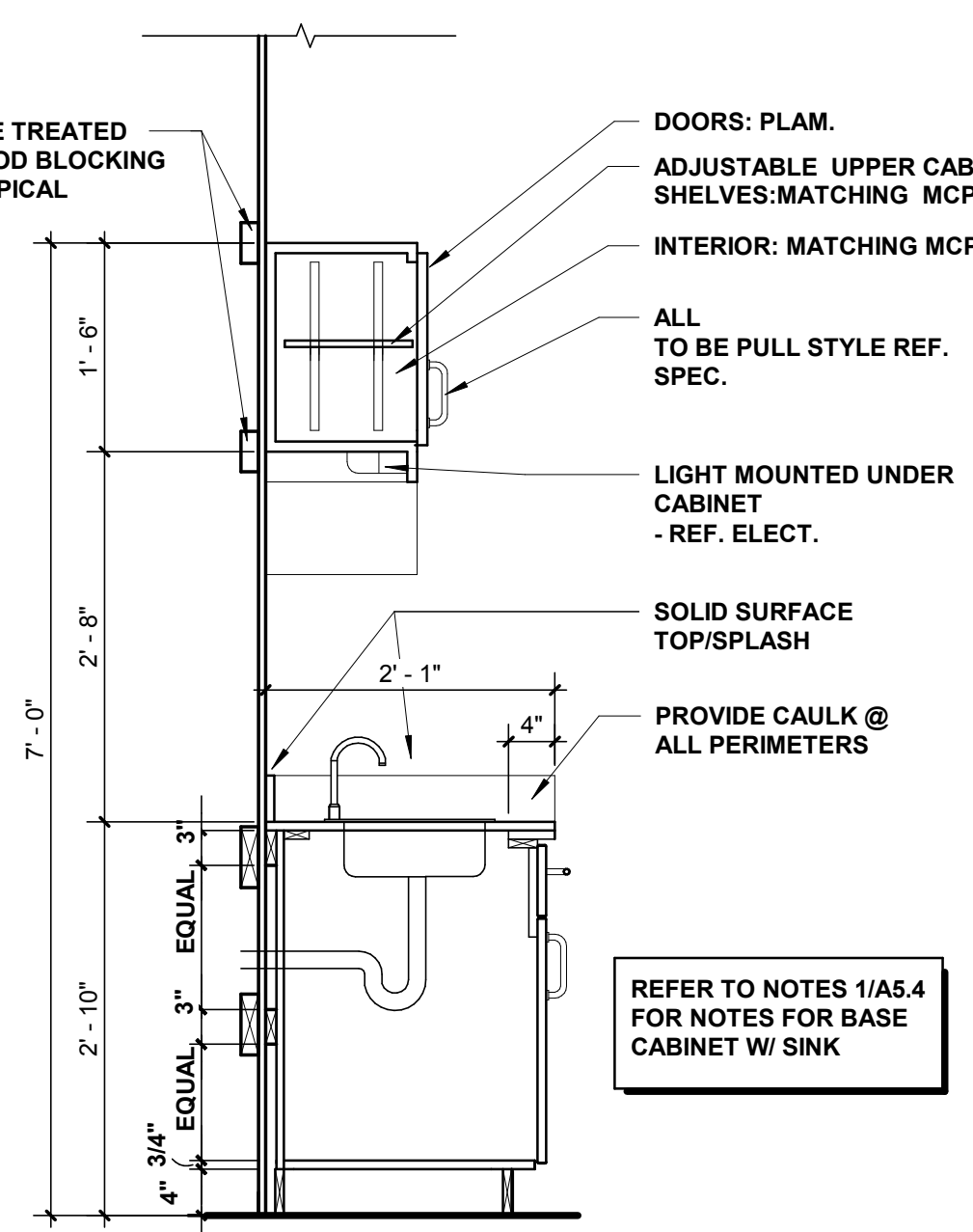
16 SECTION @ ADJUSTABLE SHELF  
3/4" = 1'-0"



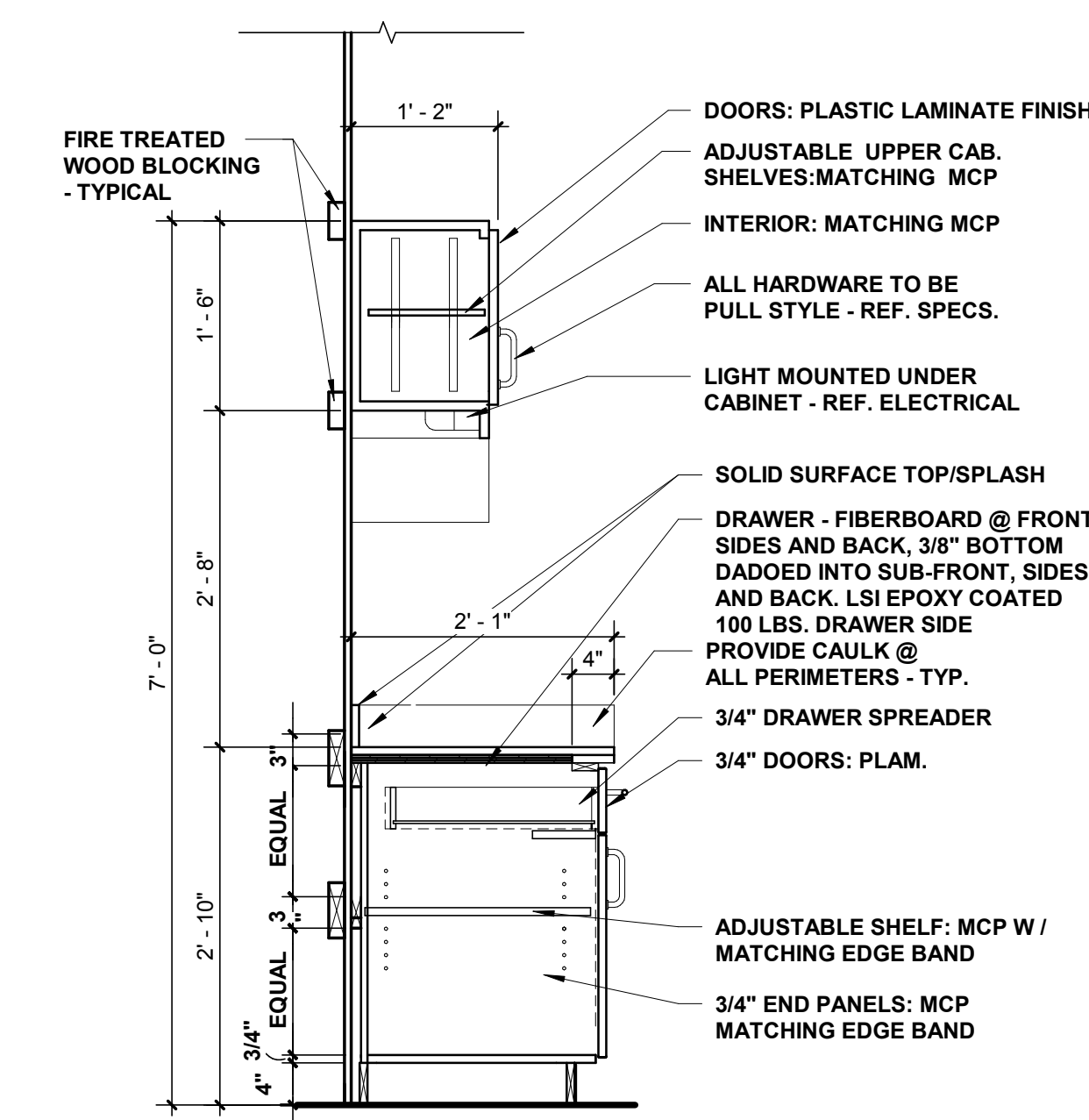
11 INT. ELEV @ WORK ROOM A203  
3/8" = 1'-0"



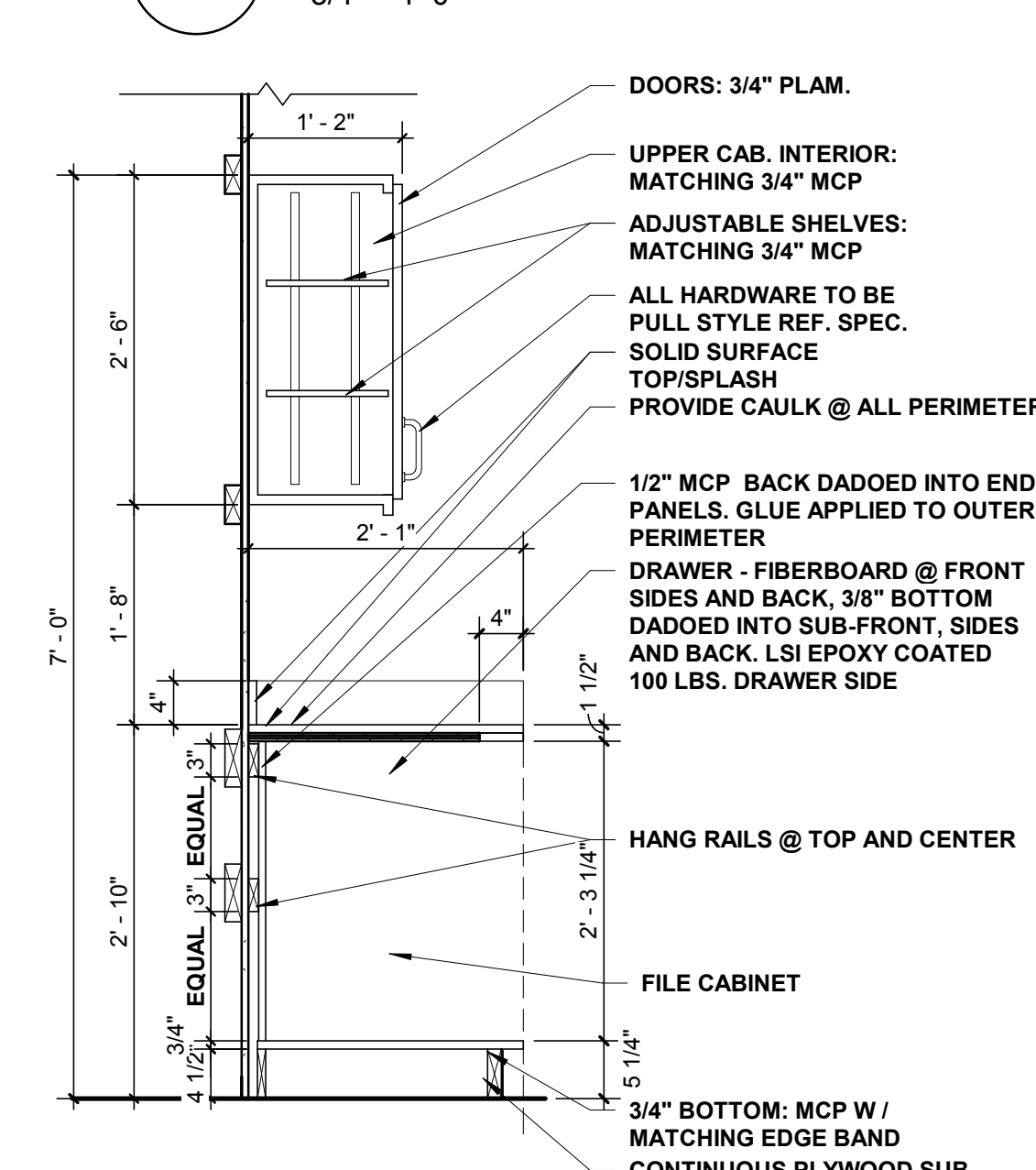
12 SECTION @ TYP. CABINET  
3/4" = 1'-0"



13 SECTION @ TYP. SINK  
3/4" = 1'-0"



14 SECTION @ TYP. MICROWAVE  
3/4" = 1'-0"



15 SECTION @ FILE CABINET  
3/4" = 1'-0"

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

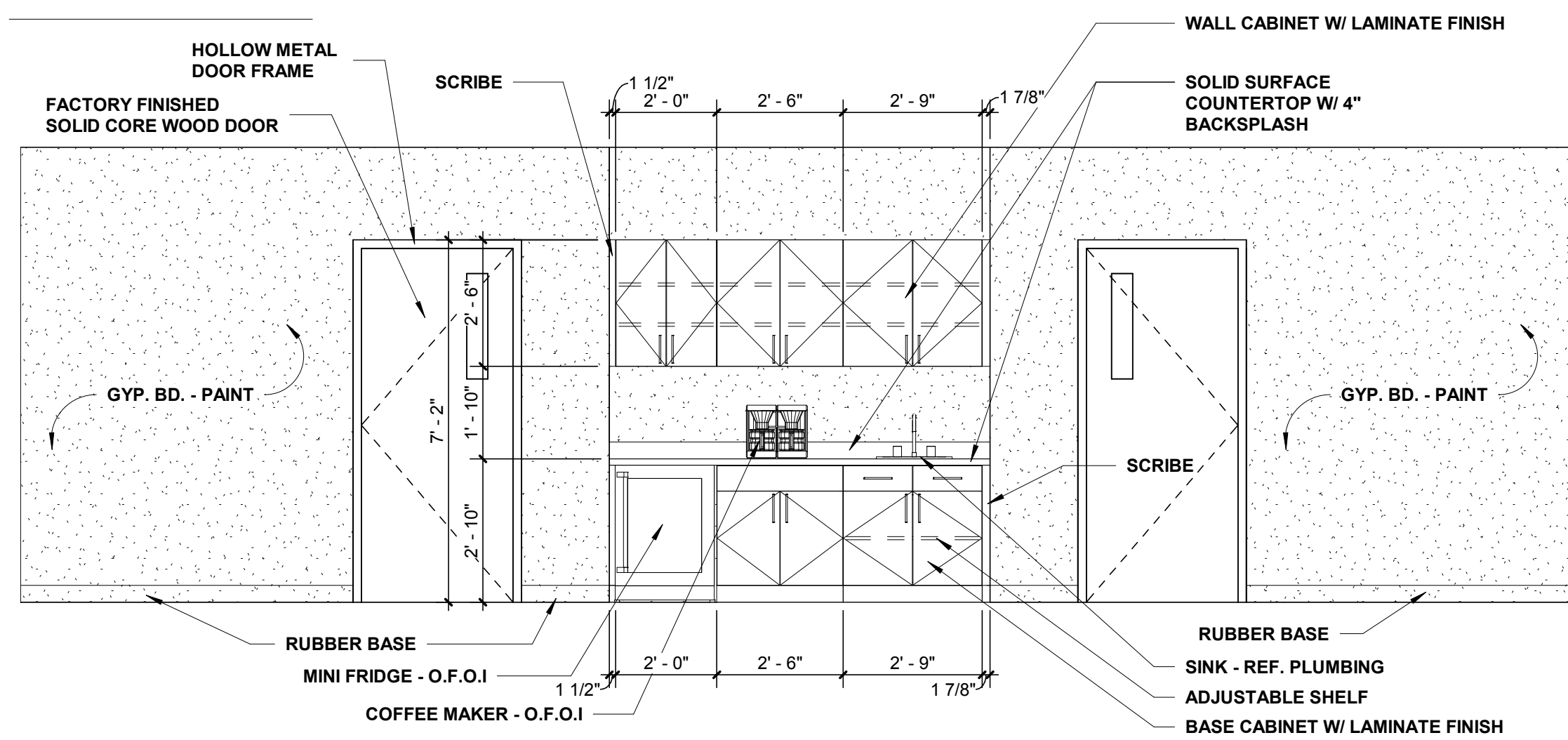
Sheet Title  
MILLWORK ELEVATIONS & DETAILS

Project No.  
17027

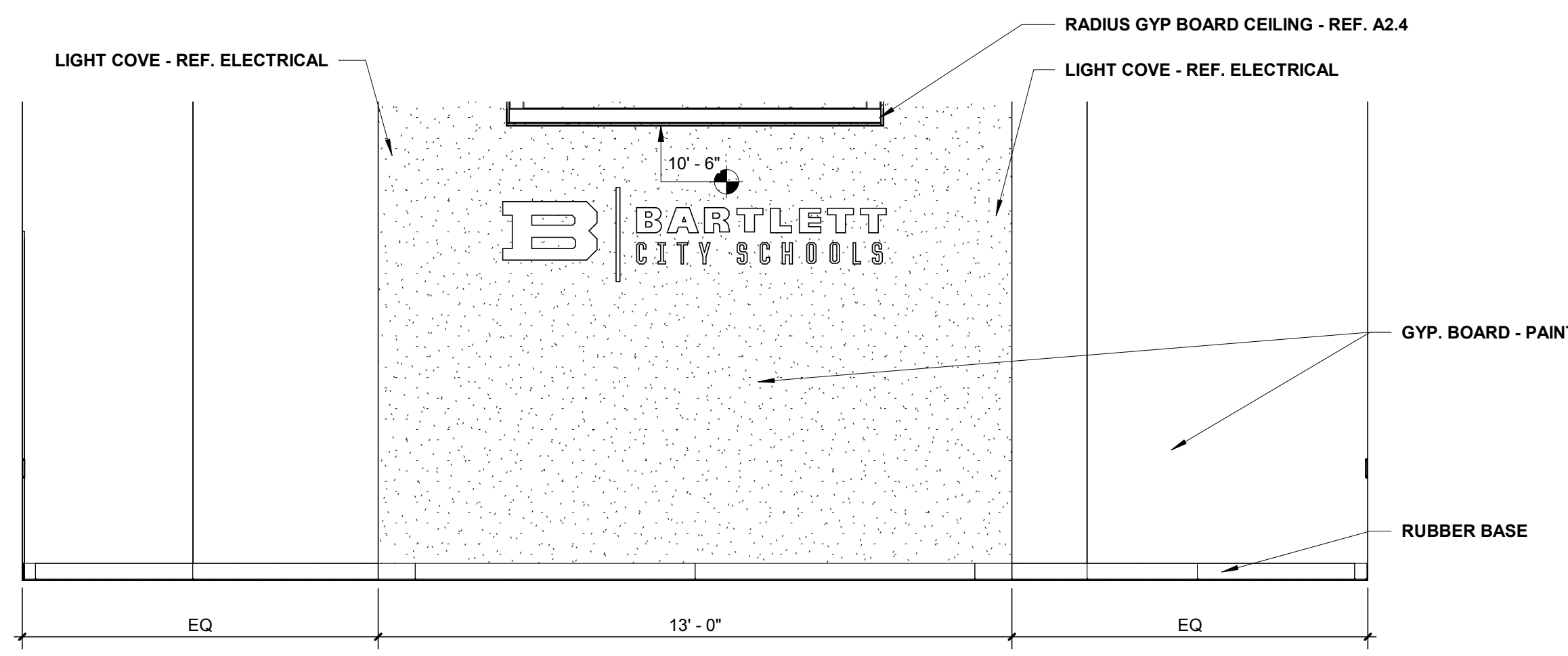
Drawn by  
RGI

Date  
10/31/2017

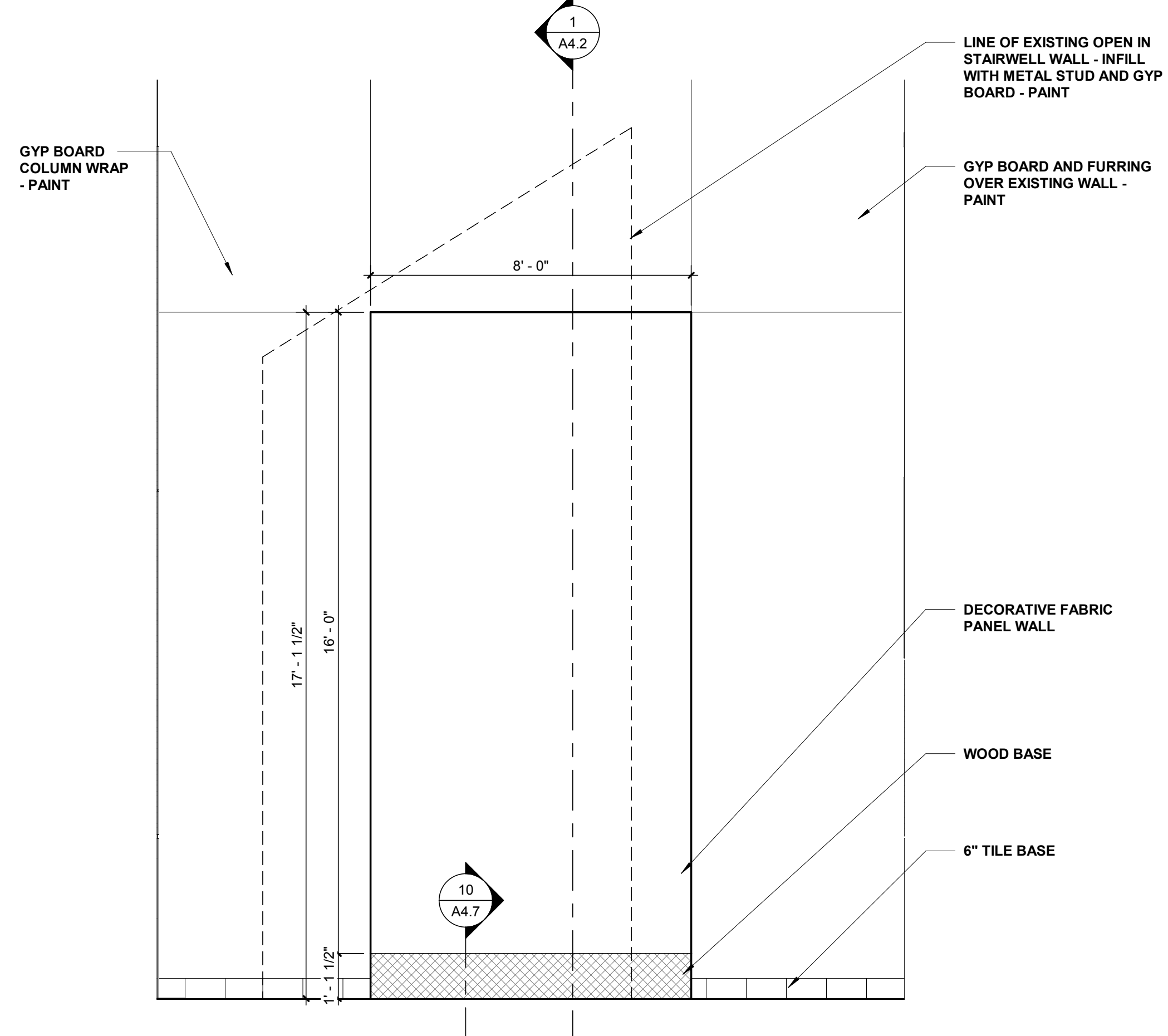
**A5.3**



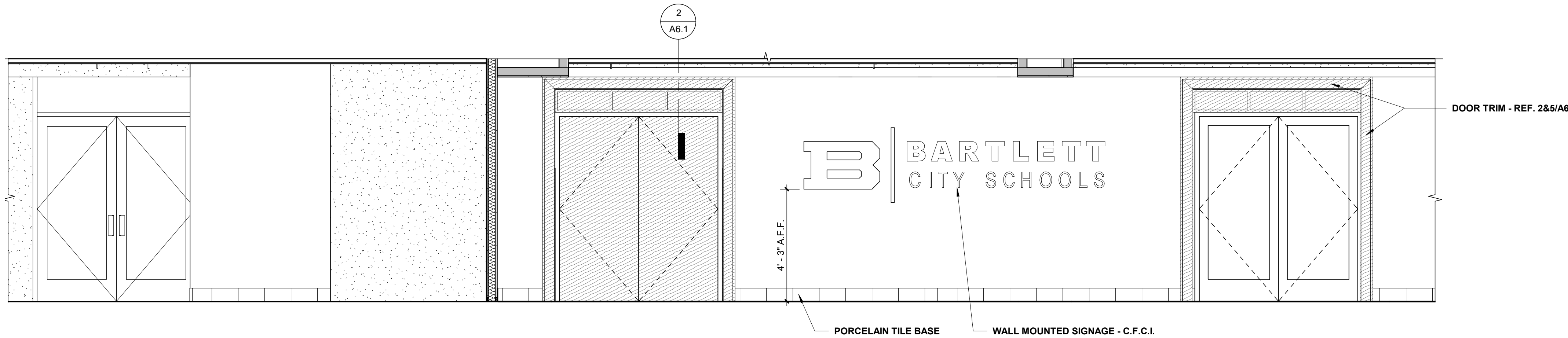
**1 INTERIOR ELEVATION @ LG. CONF. A278**  
3/8" = 1'-0"



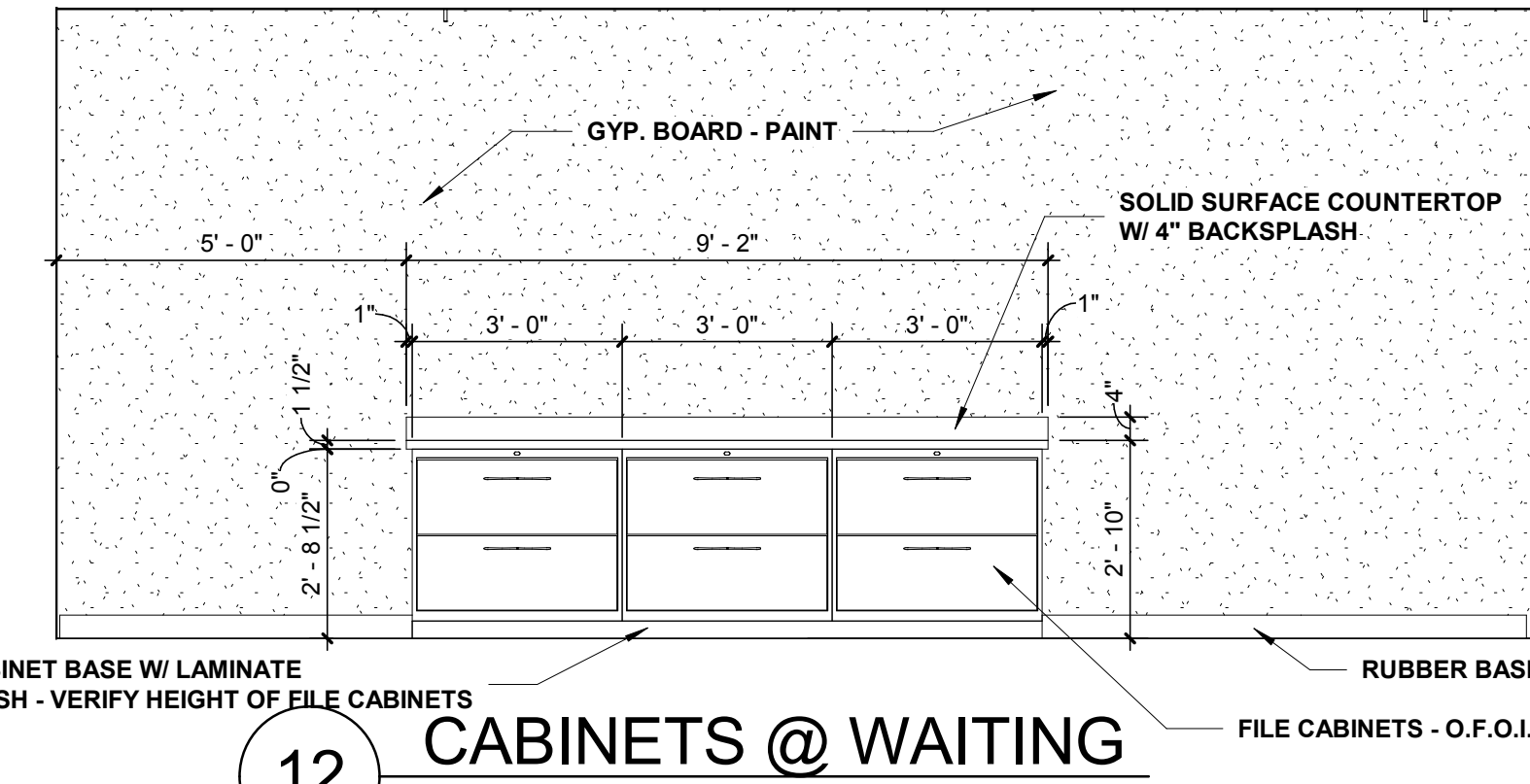
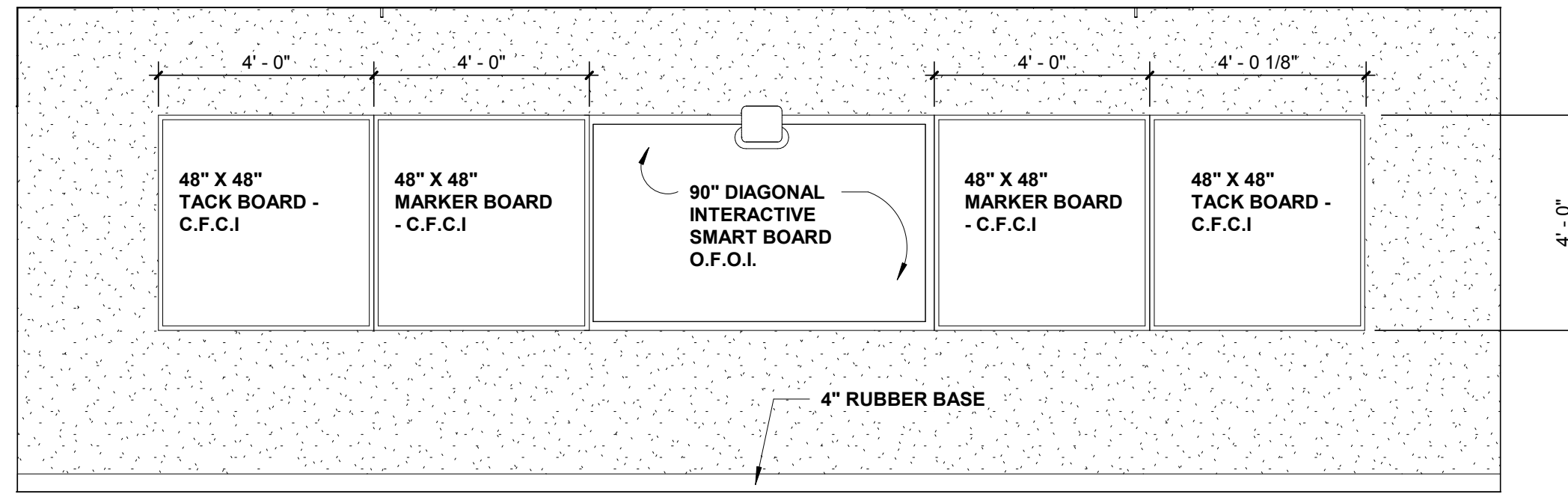
**3 BOARD ROOM FOCAL WALL**  
3/8" = 1'-0"



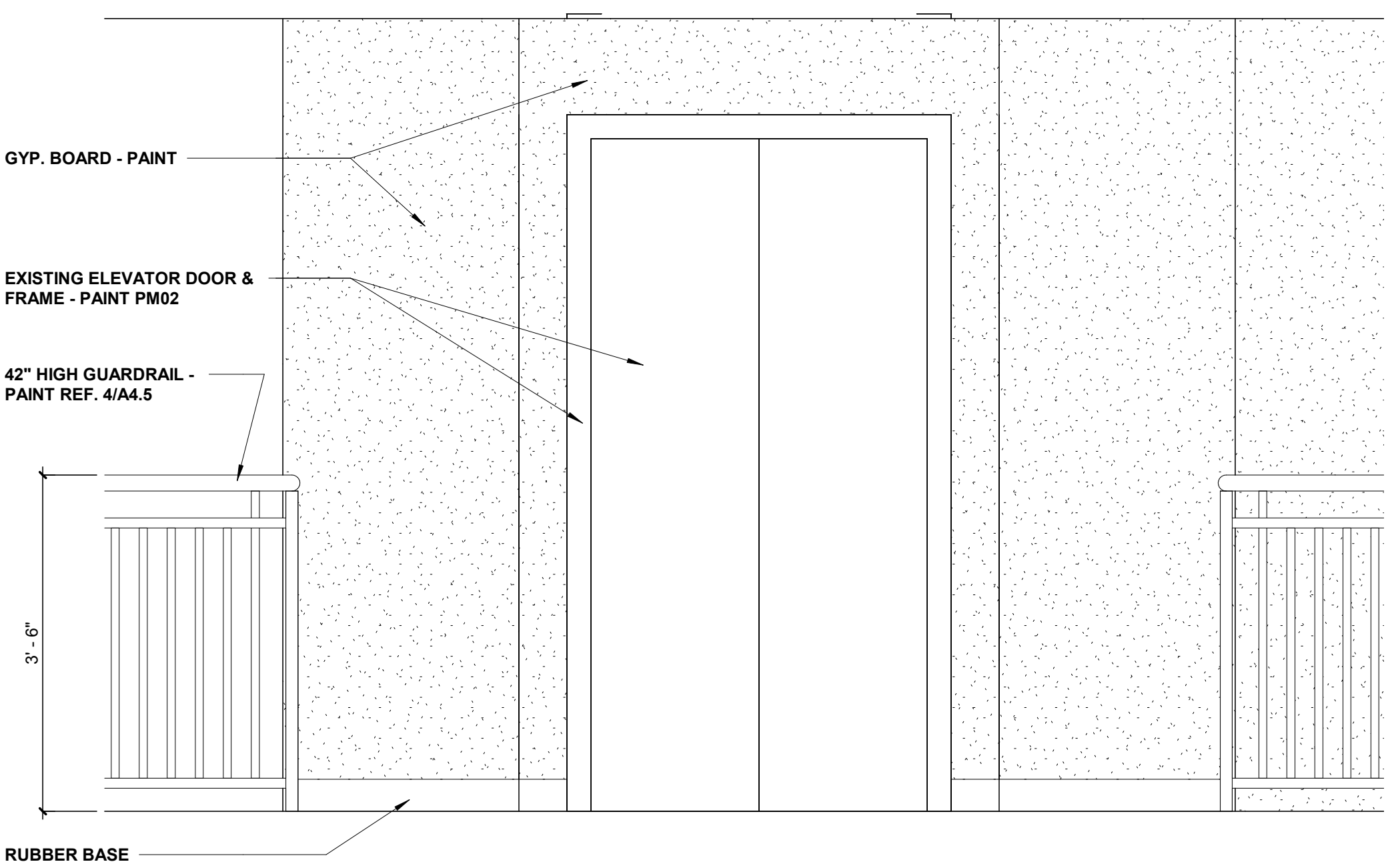
**2 DECORATIVE WALL PANEL**  
3/8" = 1'-0"



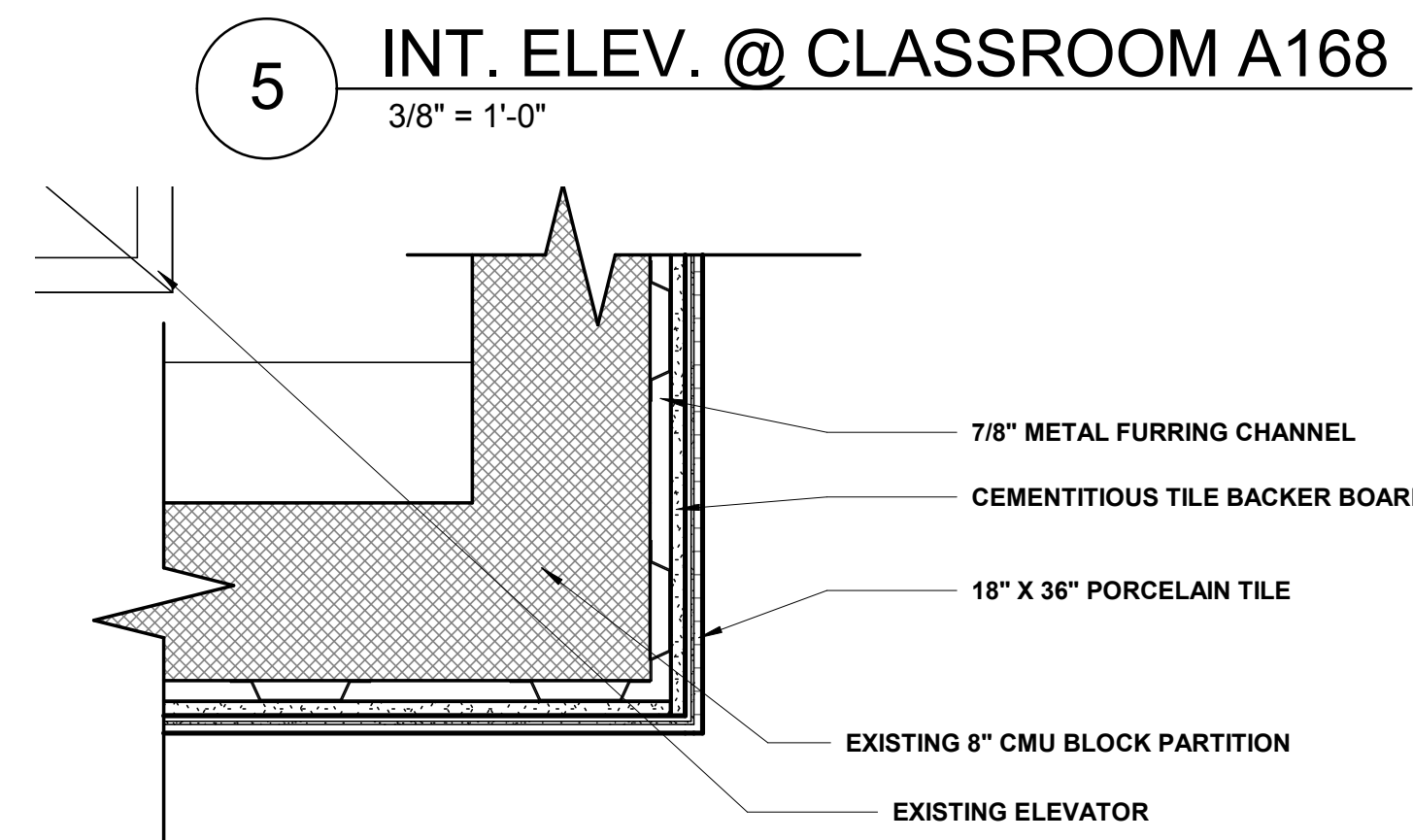
**4 LOBBY ELEVATION**  
3/8" = 1'-0"



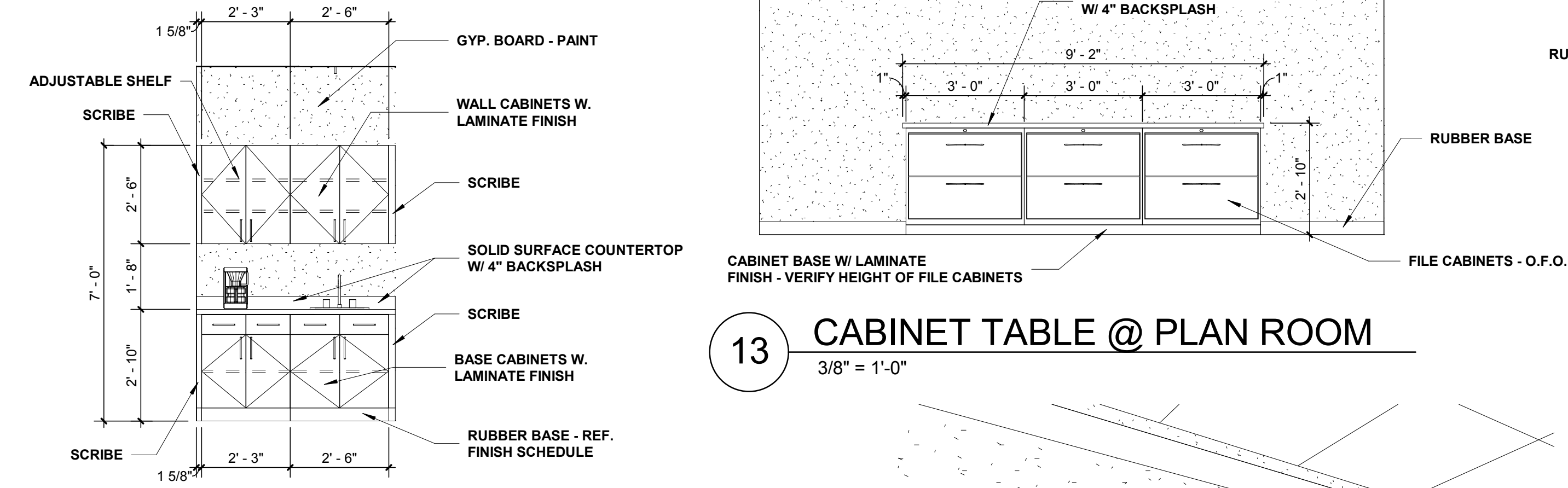
**12 CABINETS @ WAITING**  
3/8" = 1'-0"



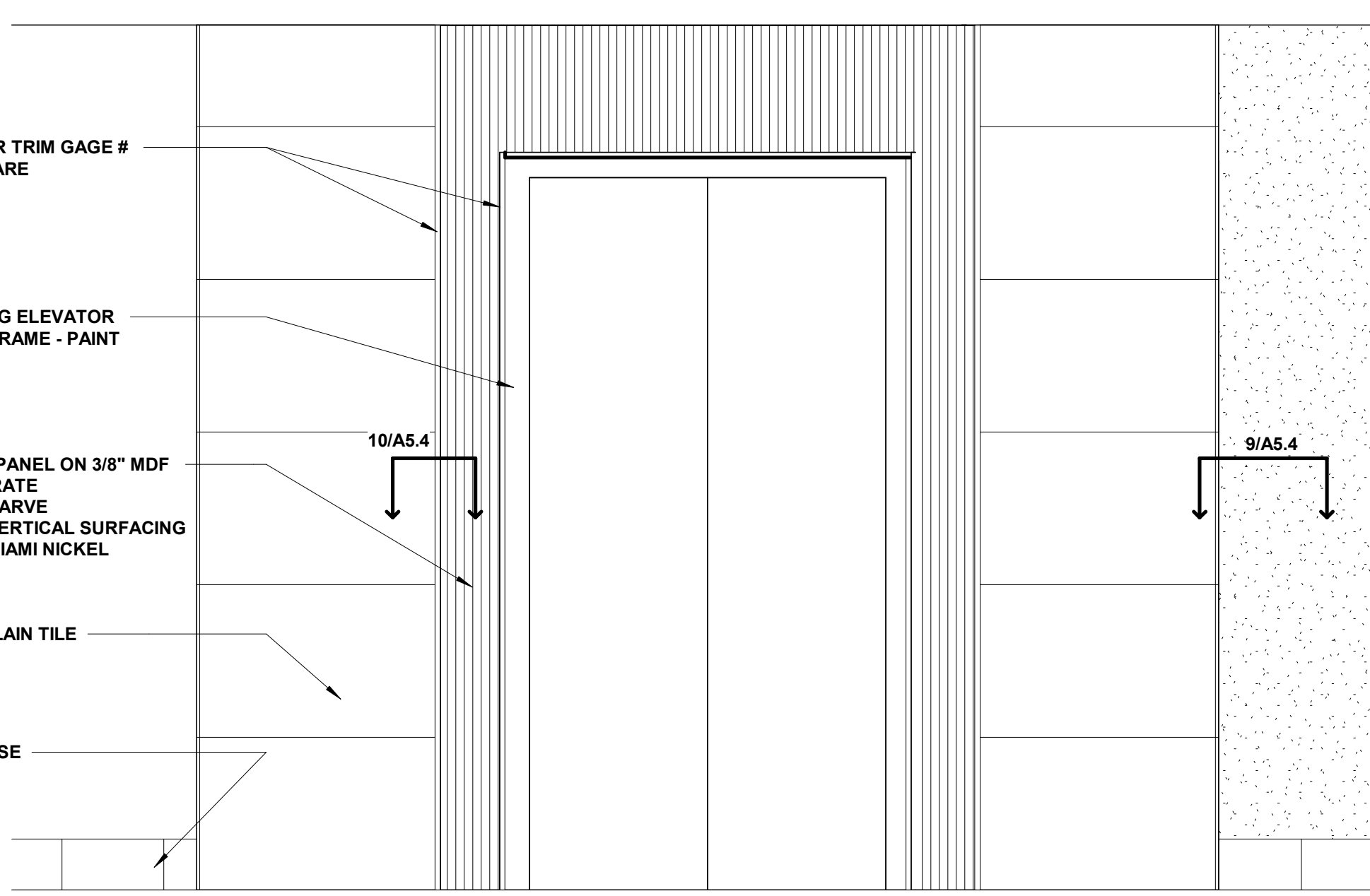
**8 ELEVATION @ ELEVATOR - 2ND FLR**  
3/4" = 1'-0"



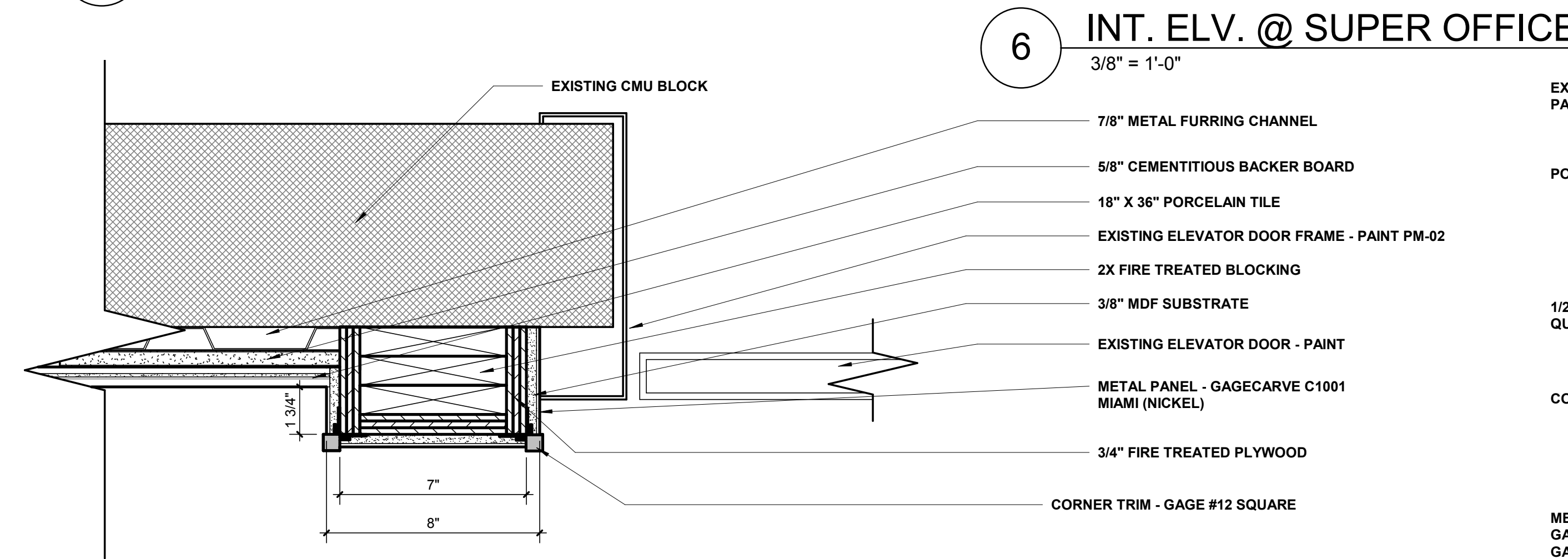
**9 ELEVATOR CORNER DETAIL @ TILE**  
1 1/2" = 1'-0"



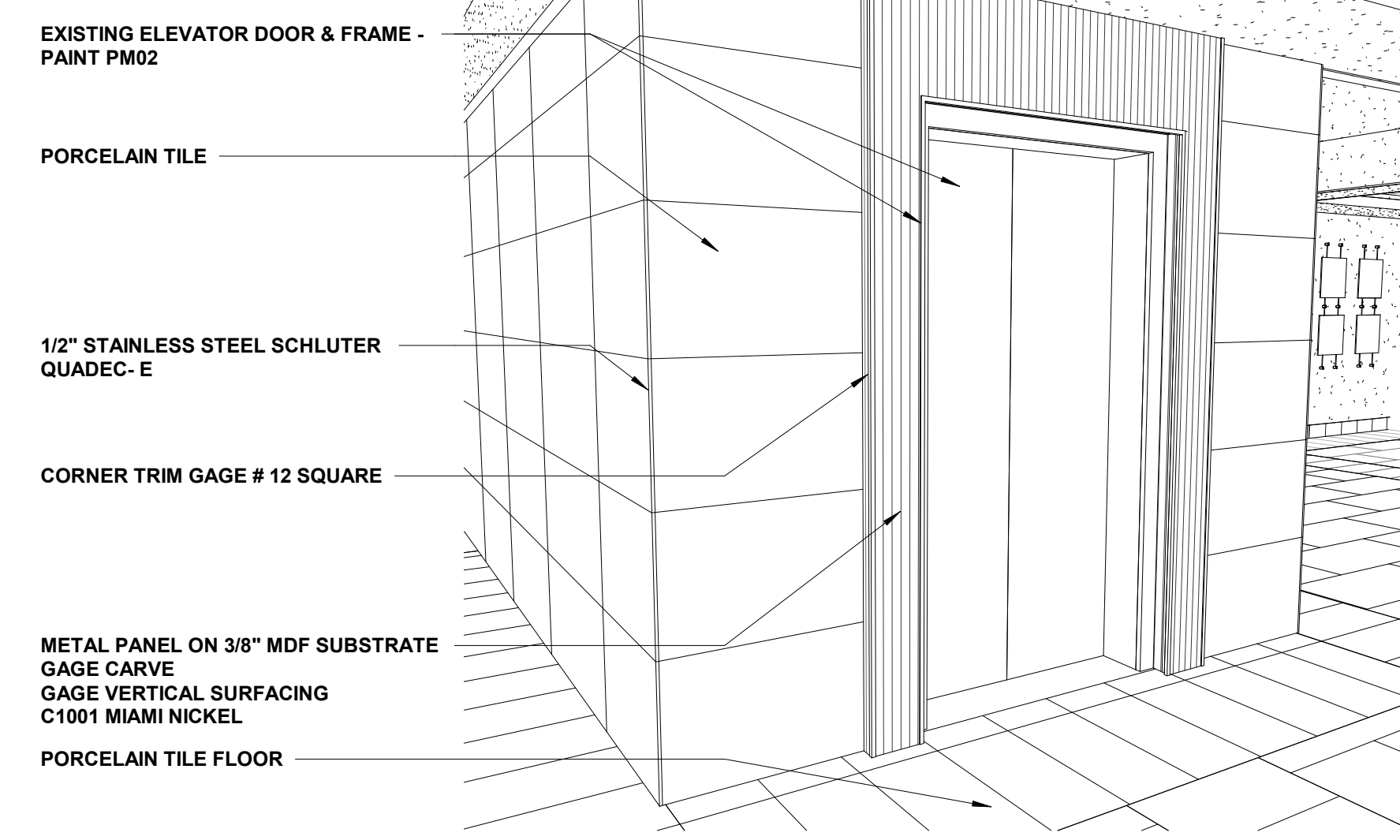
**13 CABINET TABLE @ PLAN ROOM**  
3/8" = 1'-0"



**7 ELEVATION @ ELEVATOR - 1ST FLR**  
3/4" = 1'-0"



**6 INT. ELV. @ SUPER OFFICE**  
3/8" = 1'-0"



**11 ELEVATOR - 1ST FLOOR**

**10 ELEVATOR JAMB DETAIL @ BUMP OUT**  
3" = 1'-0"



**Renaissance Group**

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REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
INTERIOR ELEVATIONS

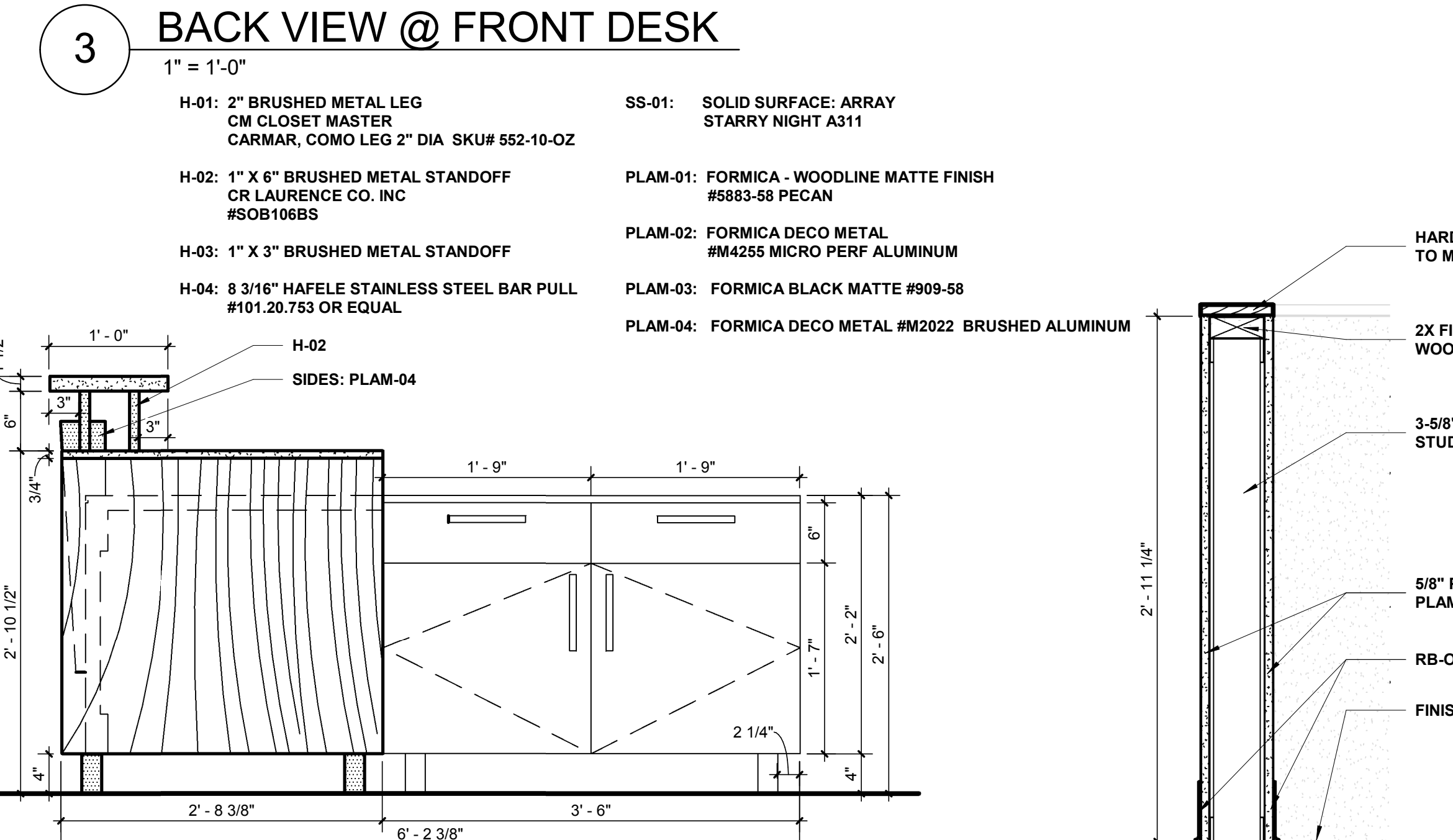
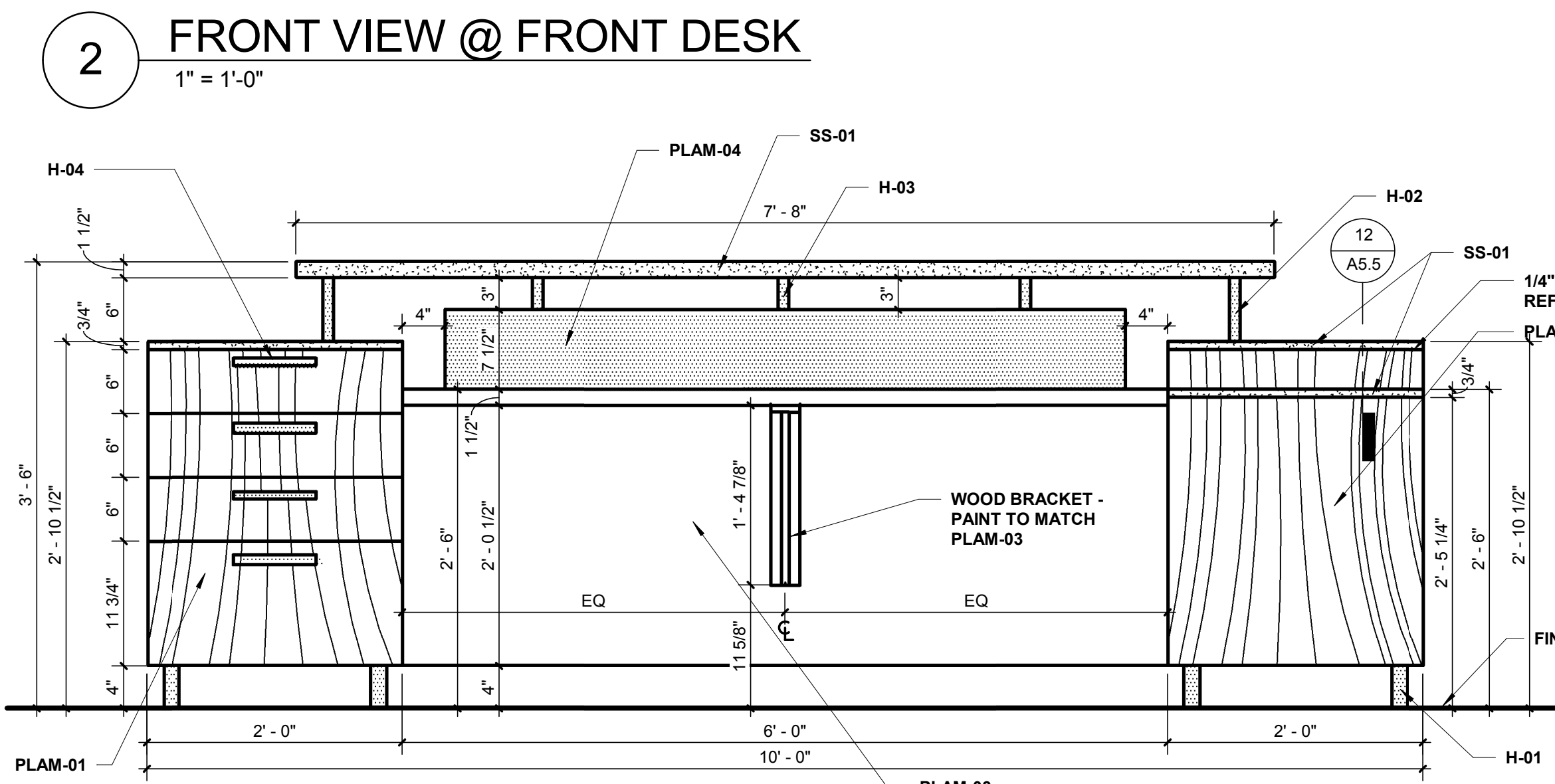
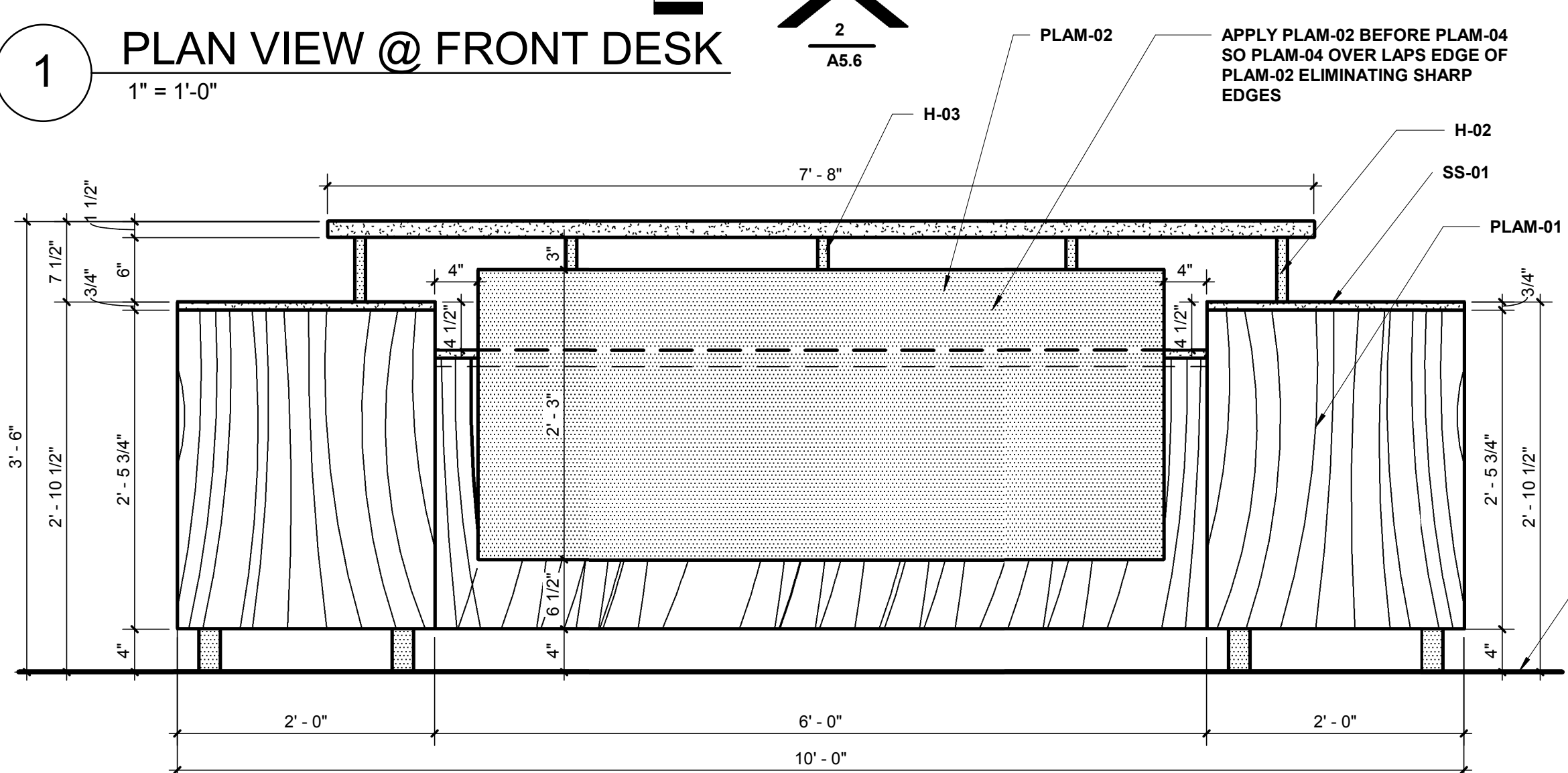
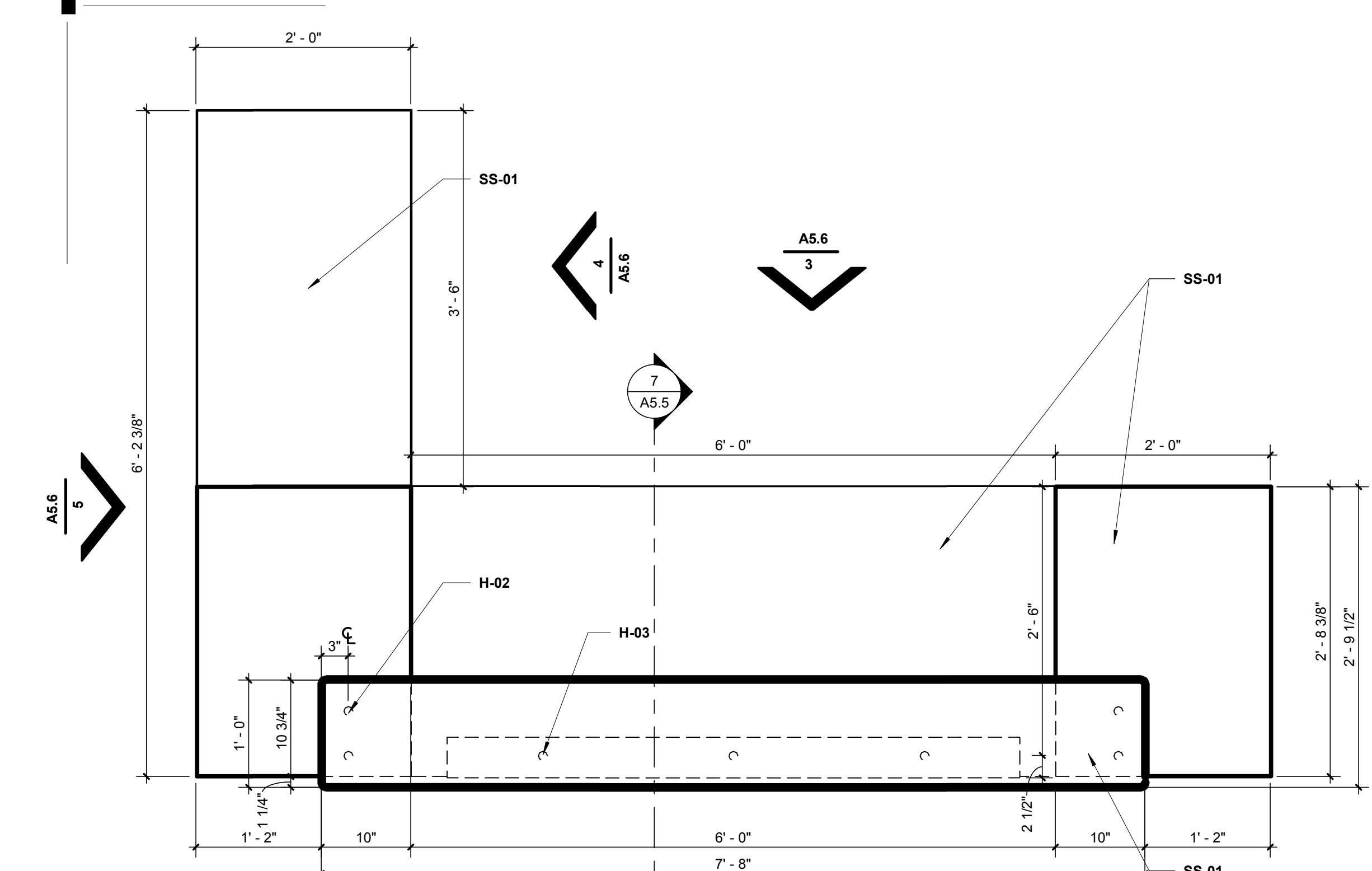
Project No.  
17027

Drawn by  
Author

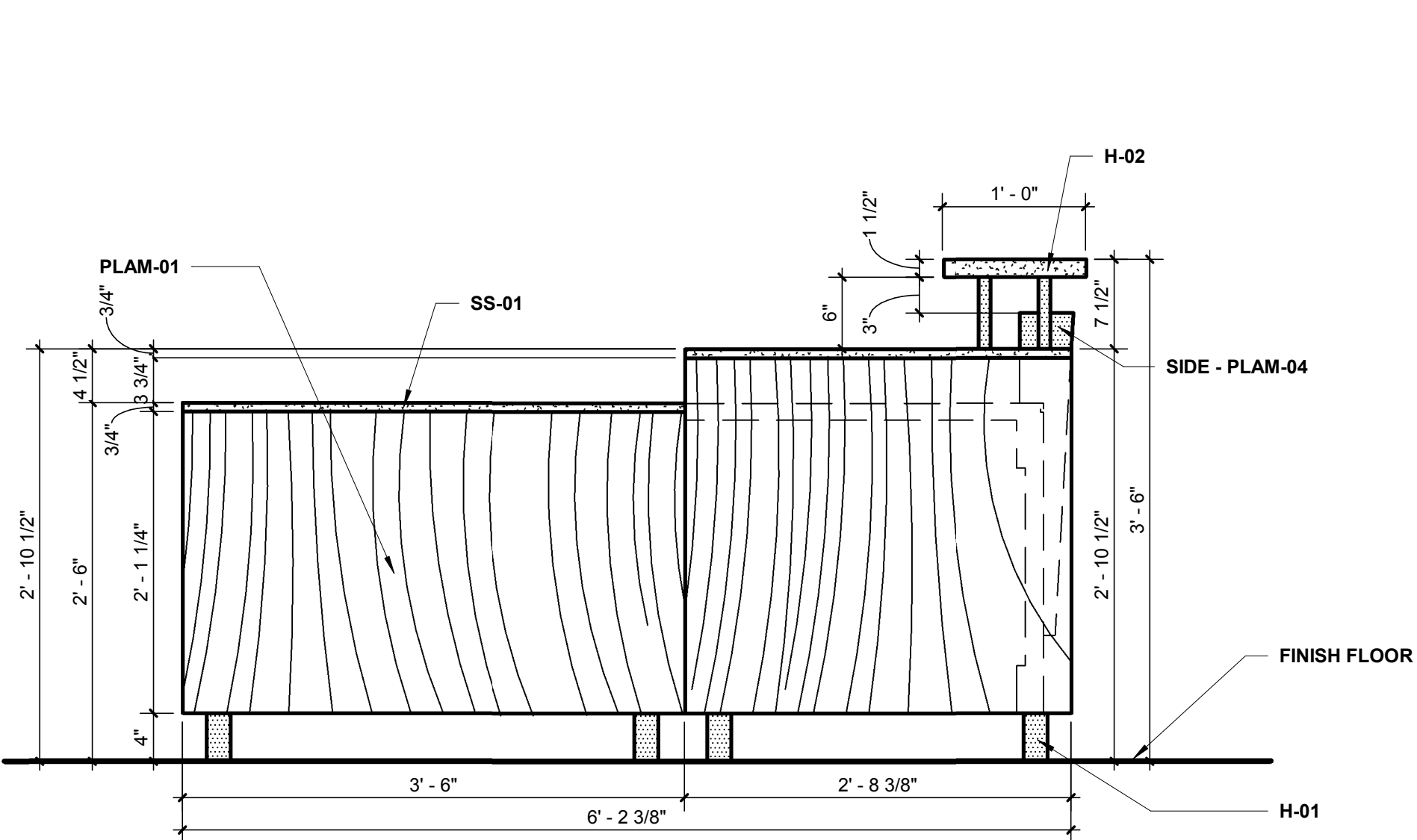
Date  
10/31/2017

**A5.4**

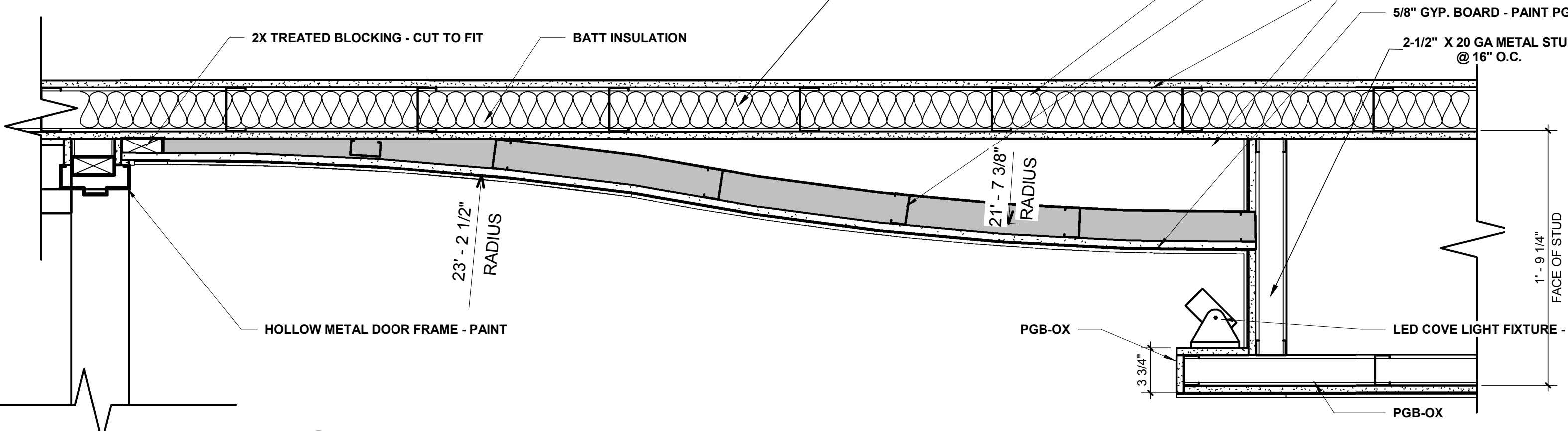
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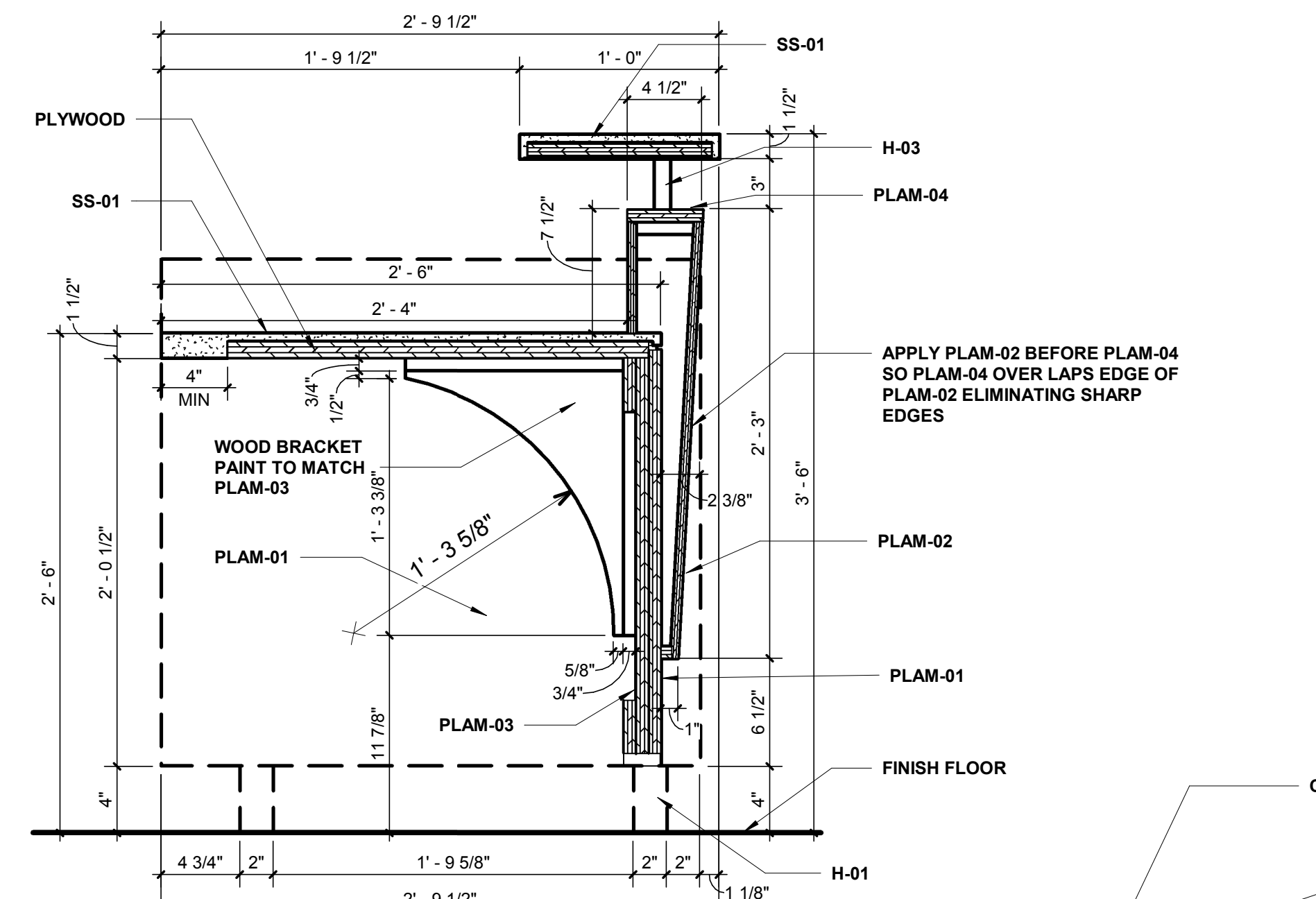
4 SIDE VIEW 2 @ FRONT DESK  
1" = 1'-0"



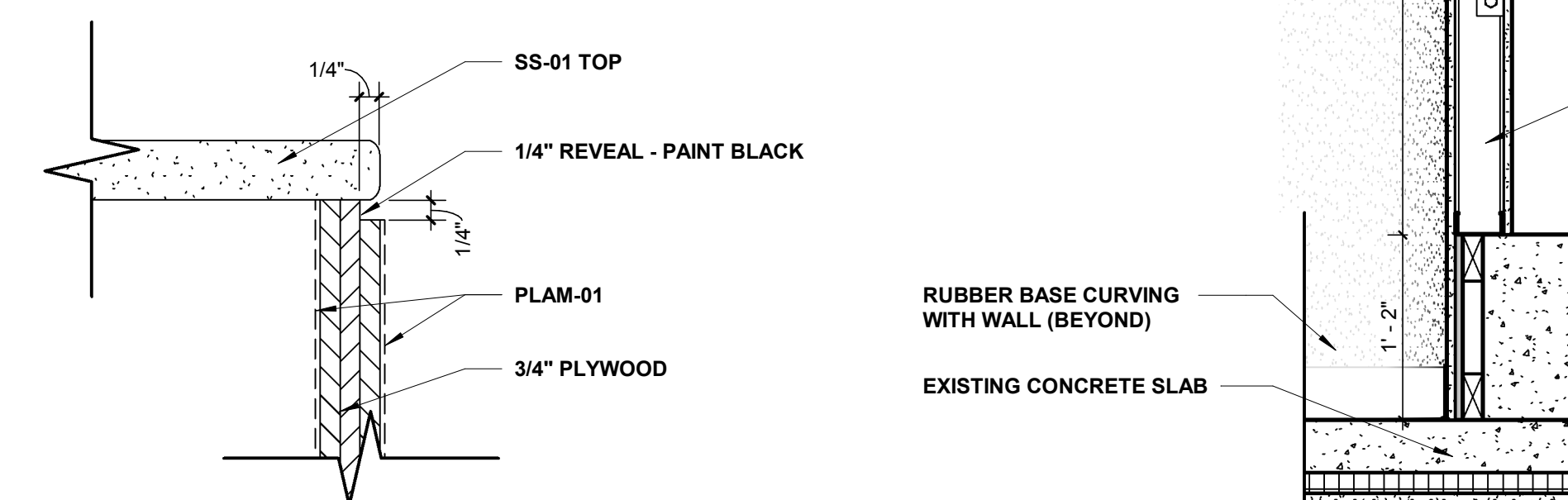
5 SIDE VIEW 1 @ FRONT DESK  
1" = 1'-0"



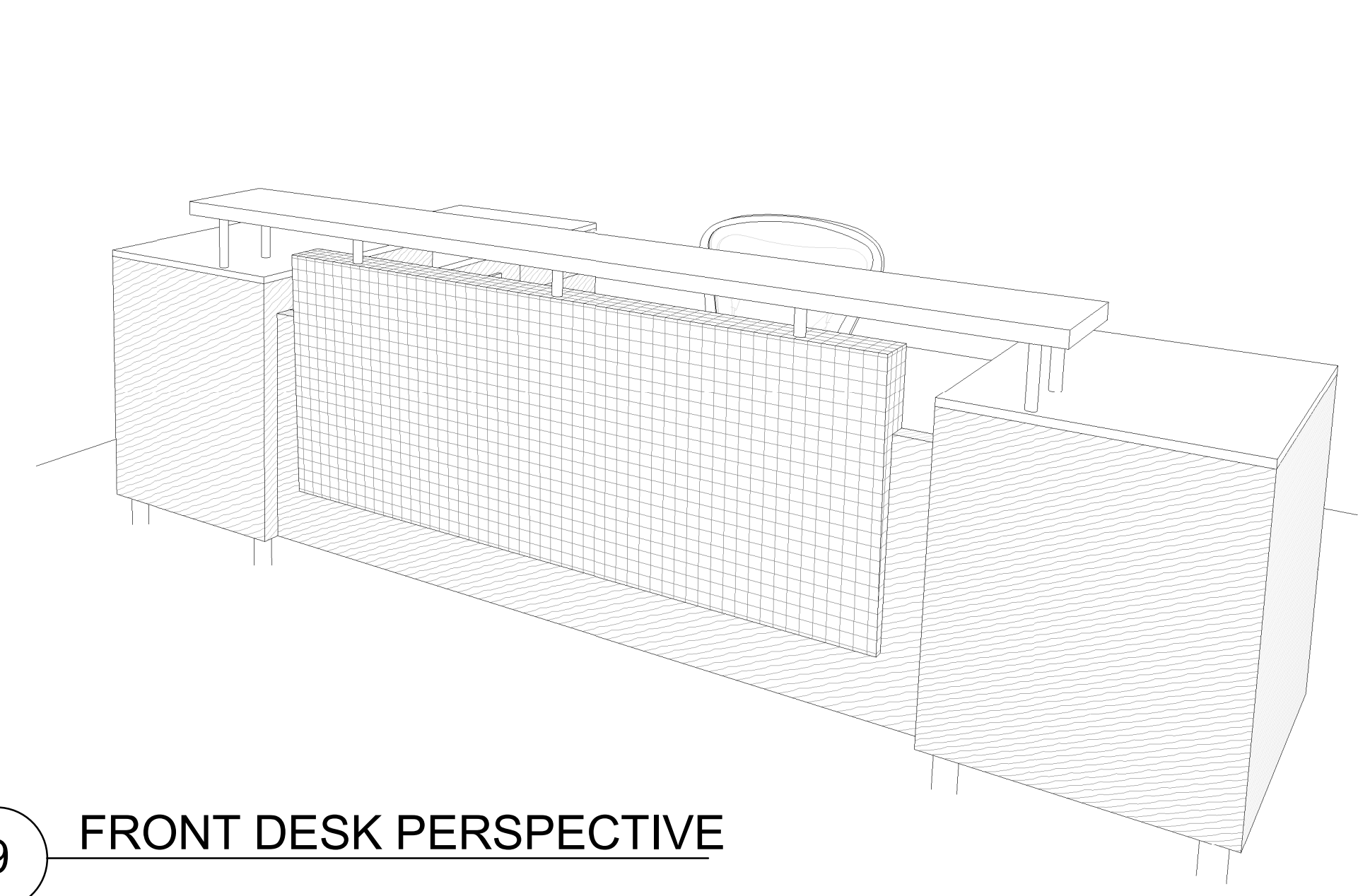
6 BOARD RM. DECORATIVE WALL LIGHT COVE DETAIL  
1 1/2" = 1'-0"



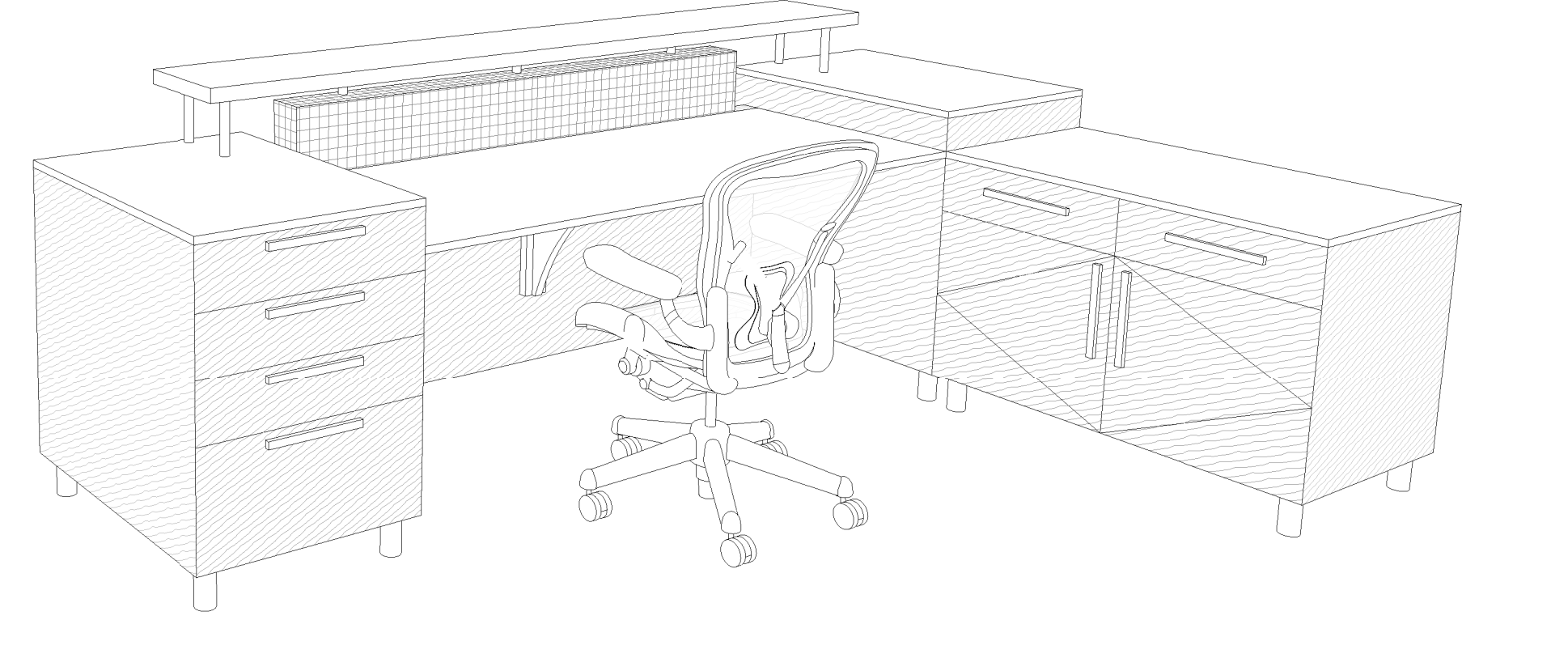
7 SECTION @ FRONT DESK  
1 1/2" = 1'-0"



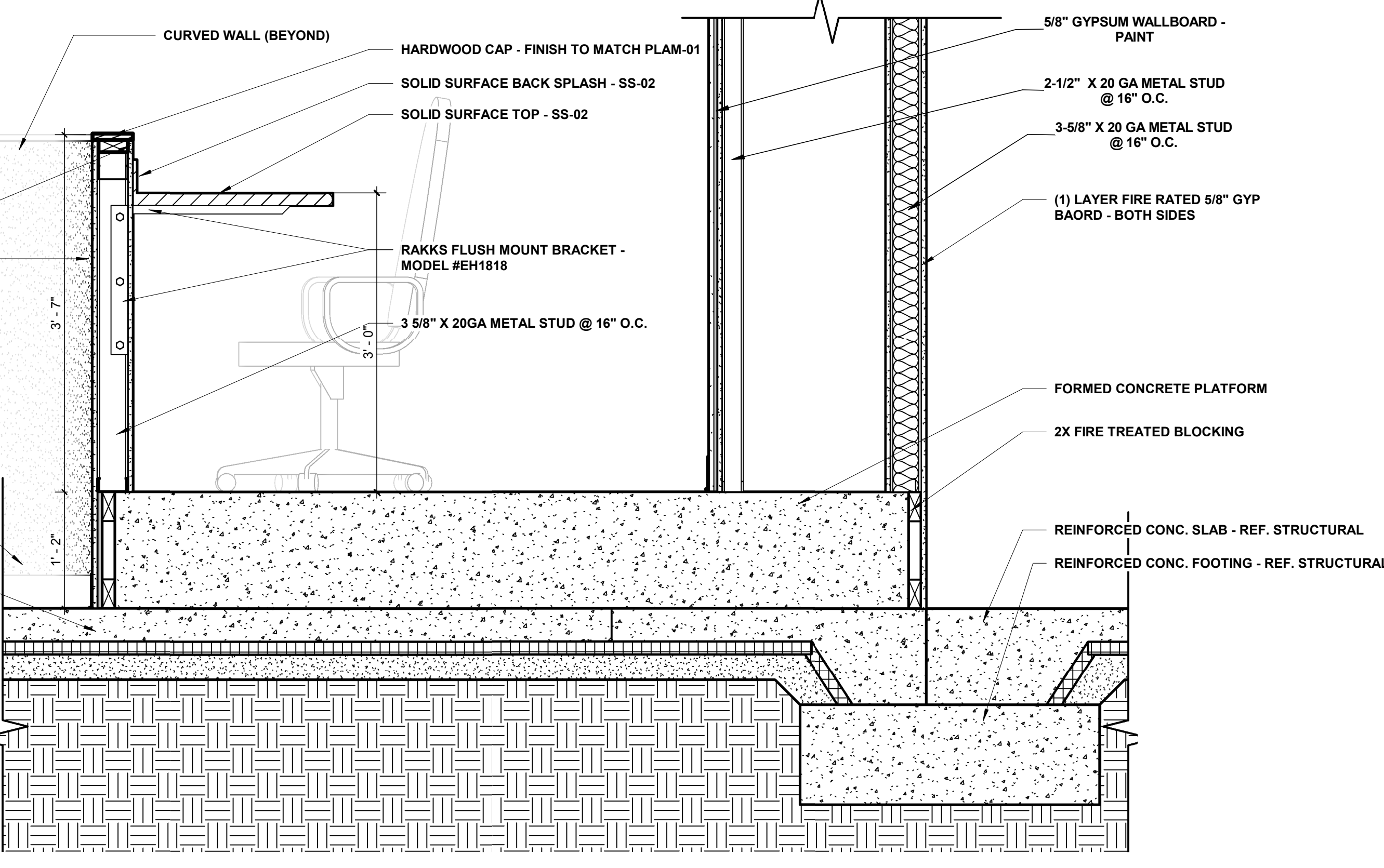
12 FRONT DESK REVEAL DETAIL  
6" = 1'-0"



9 FRONT DESK PERSPECTIVE



11 FRONT DESK REAR PERSPECTIVE



10 SECTION @ PLATFORM  
1" = 1'-0"

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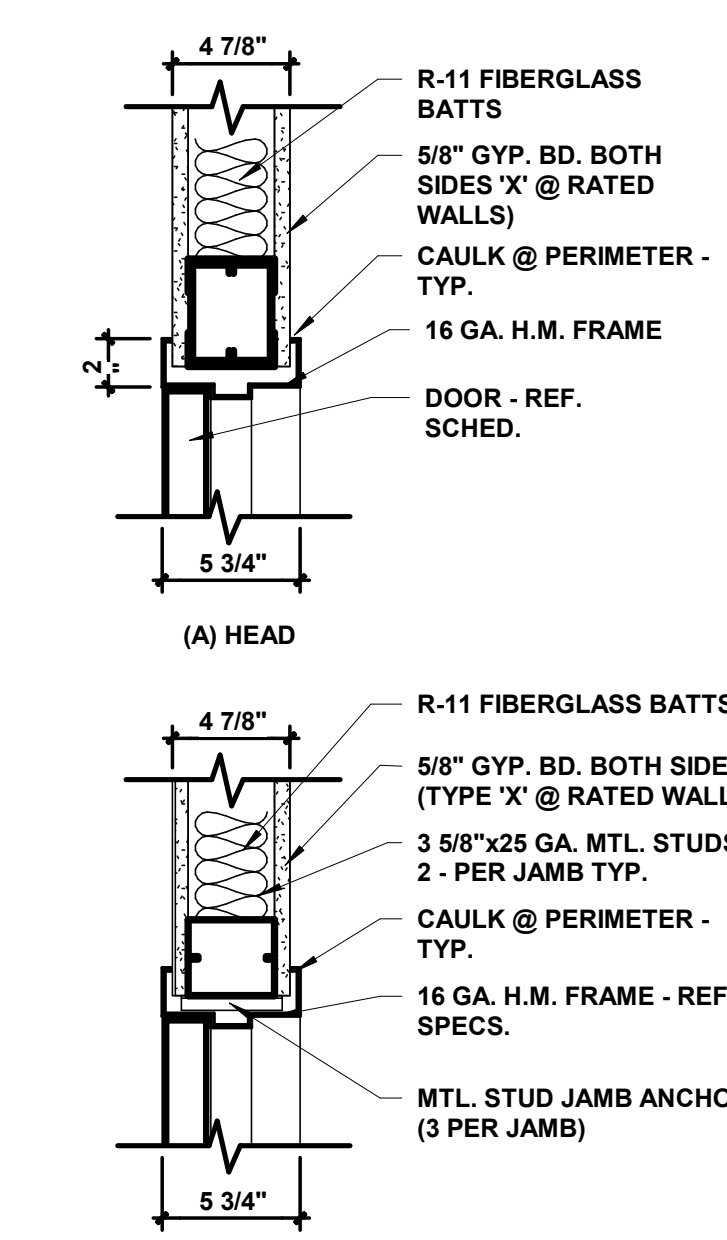
REV	DESCRIPTION	DATE

DOOR SCHEDULE

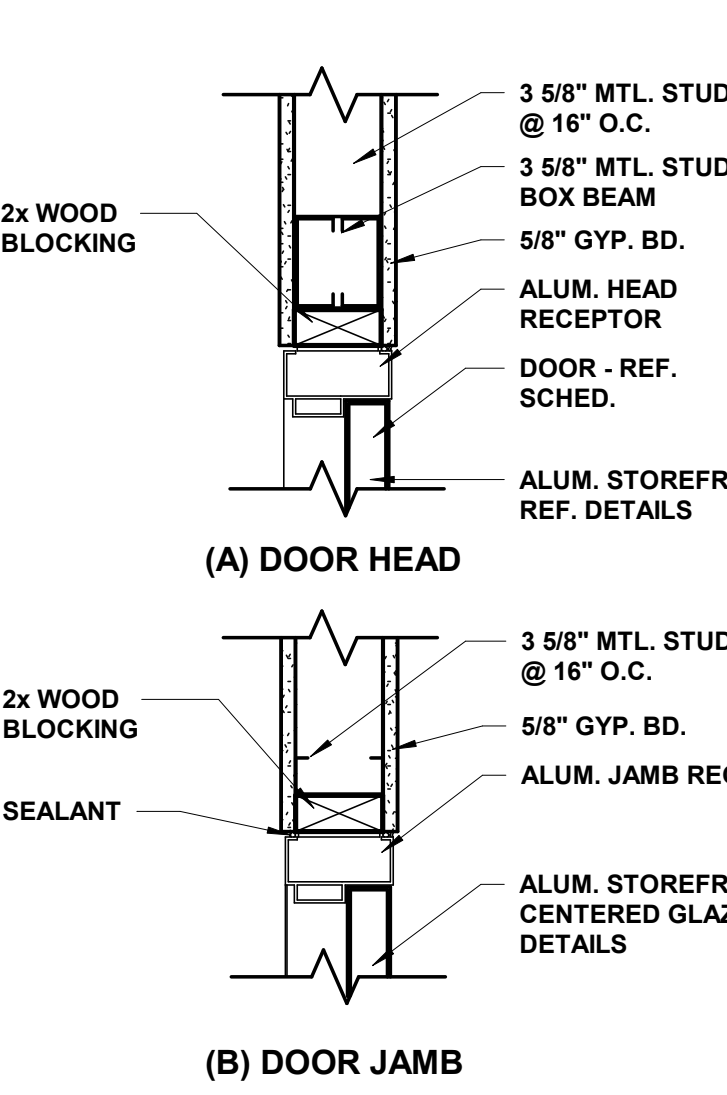
Table with columns: DOOR #, DOOR, SIZE (HEIGHT, WIDTH), MATERIAL, FINISH, FRAME (TYPE, MATERIAL, FINISH), HEAD DTLS., JAMB DTLS., HARDWARE, LABEL, REMARKS. Rows include A1000-CR through A201a.

DOOR SCHEDULE

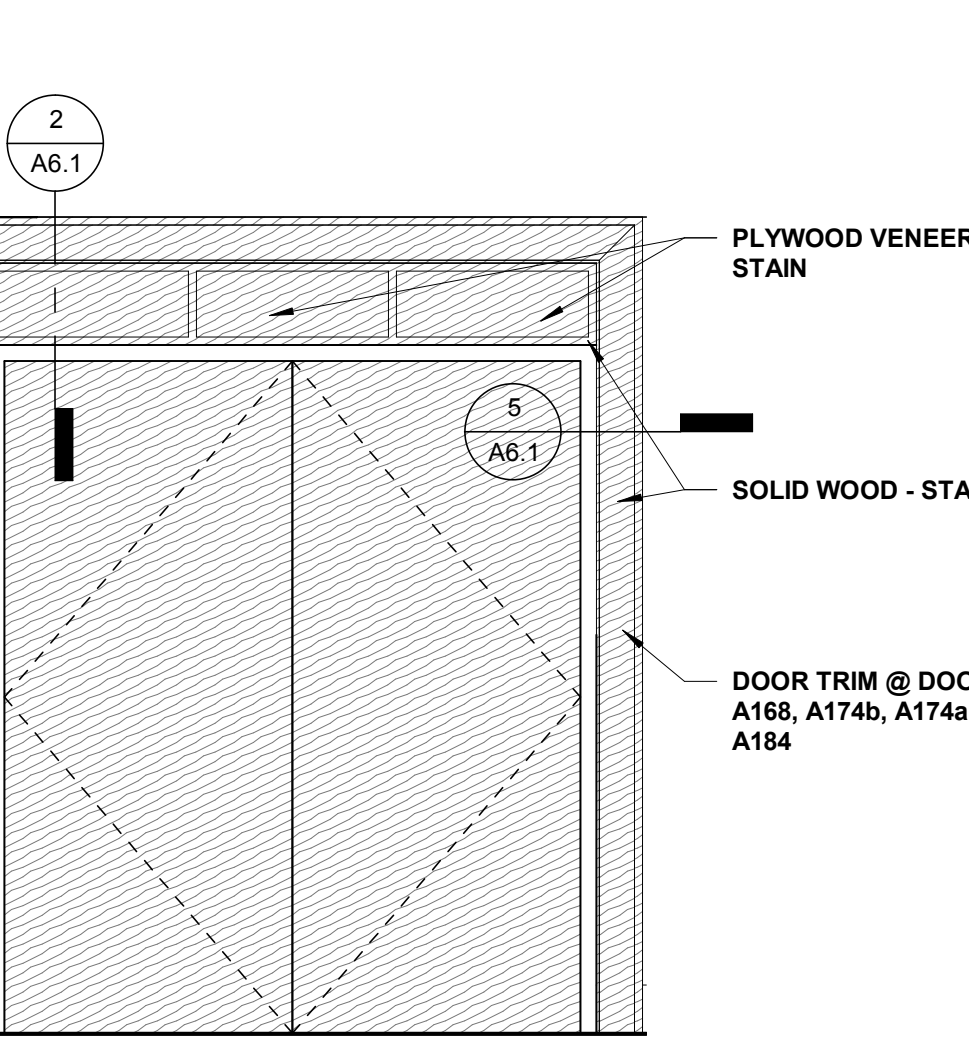
Table with columns: DOOR #, DOOR, SIZE (HEIGHT, WIDTH), MATERIAL, FINISH, FRAME (TYPE, MATERIAL, FINISH), HEAD DTLS., JAMB DTLS., HARDWARE, LABEL, REMARKS. Rows include A202 through A299a.



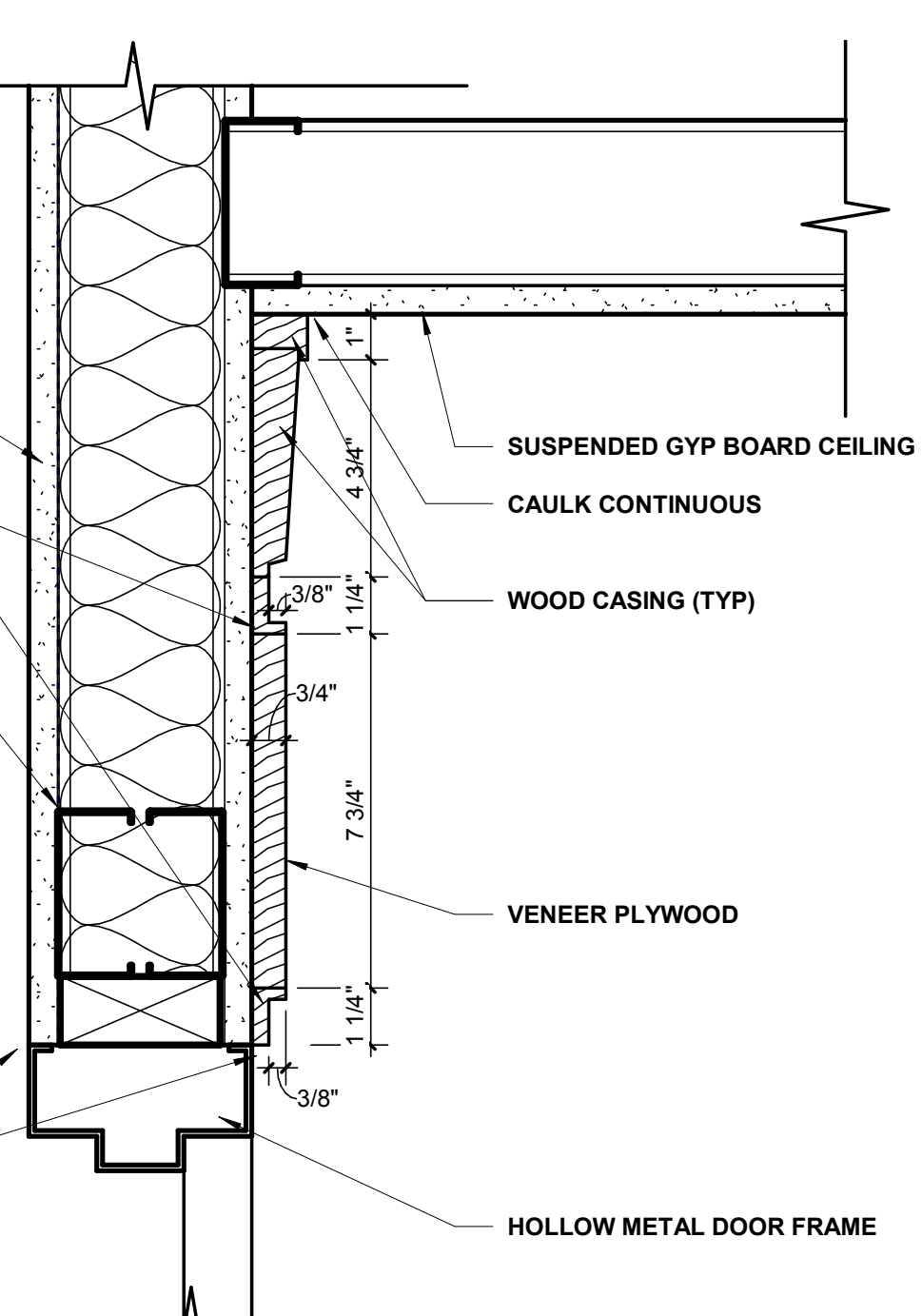
DOOR DETAIL @ STUD WALL



INTR. ALUM. STOREFRONT DTLS.



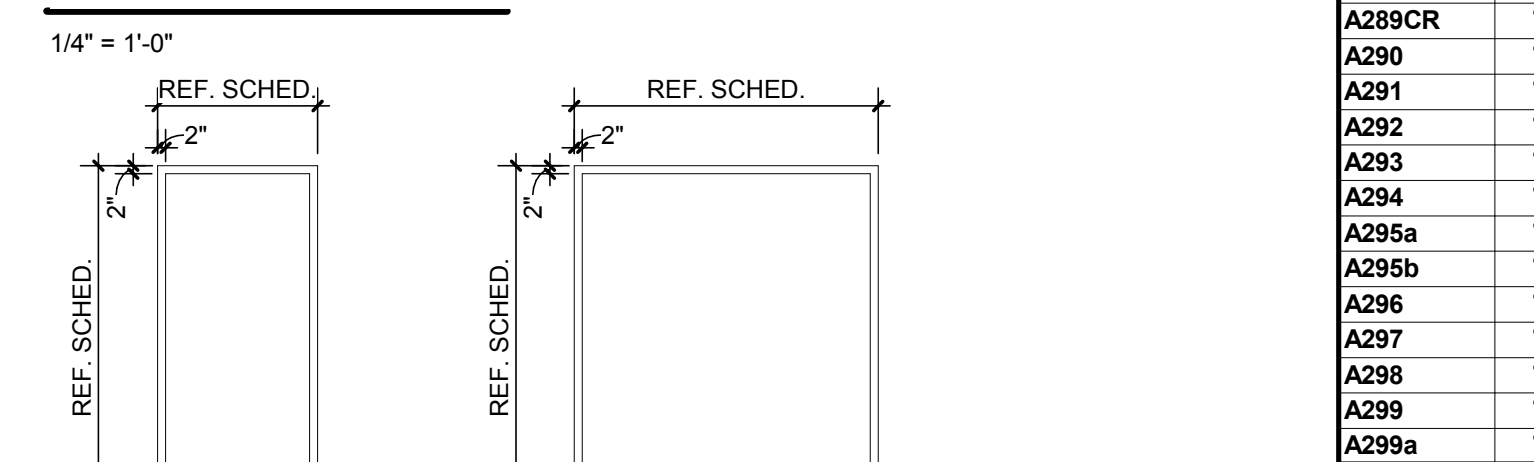
LOBBY DOOR TRIM DETAIL



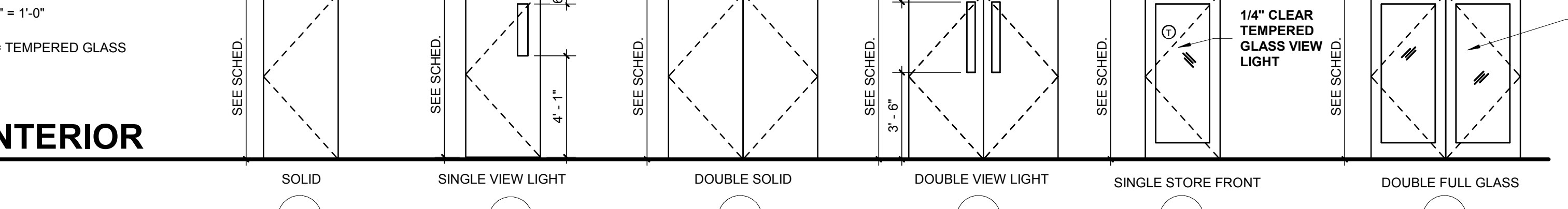
LOBBY DOOR TRIM DETAIL - HEAD

DOOR REMARKS table listing specifications for hardware like panic closers, electrical strikes, weatherstrips, and door stoppers.

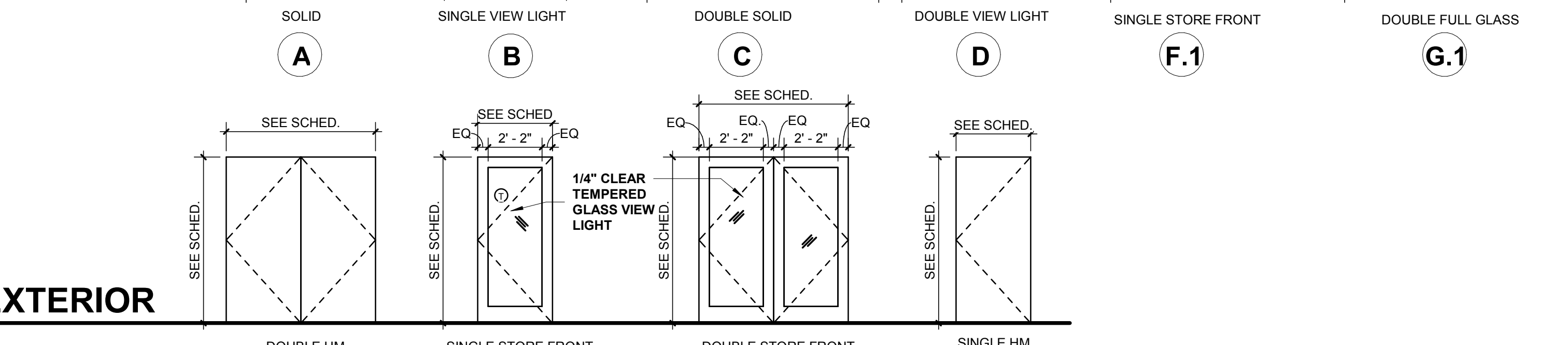
FRAME TYPES



DOOR TYPES



INTERIOR



EXTERIOR



LOBBY DOOR TRIM DETAIL - JAMB

LOBBY DOOR TRIM DETAIL - HEAD



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Table with columns: REV, DESCRIPTION, DATE. Revision table for the drawing.

Construction Documents for BARTLETT SCHOOL SYSTEM ADMINISTRATION OFFICE 5705 Stage Road Bartlett, TN 38134

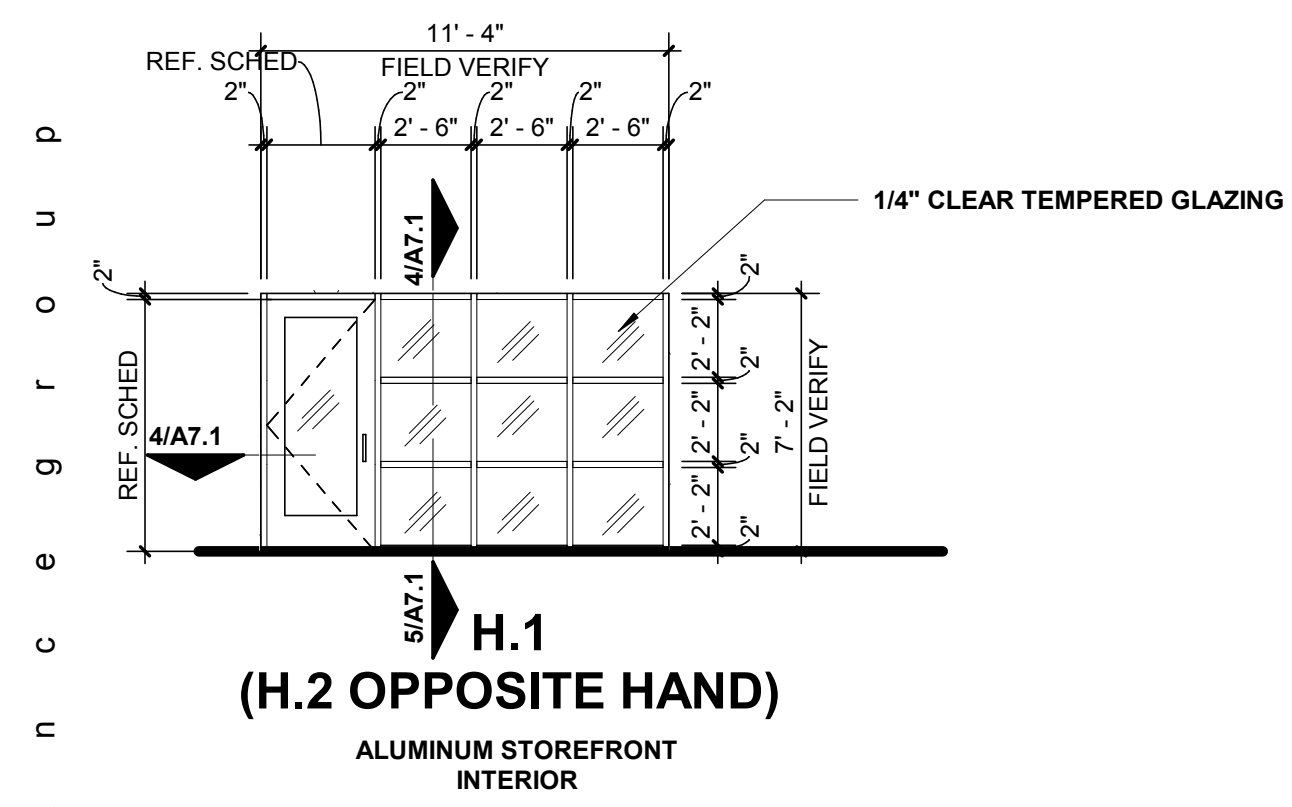
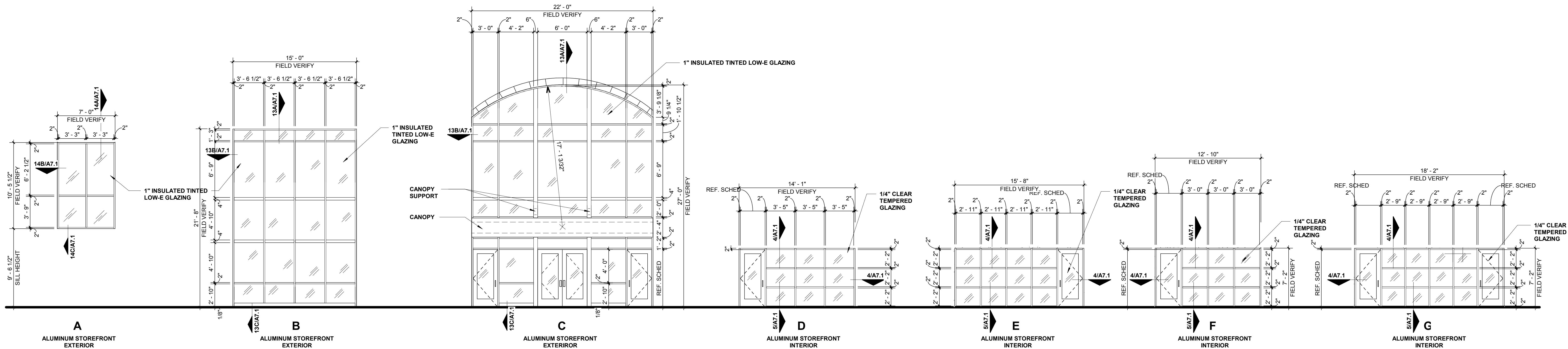
Sheet Title: DOOR SCHEDULE Project No: 17027

Drawn by: RGI Date: 10/31/2017

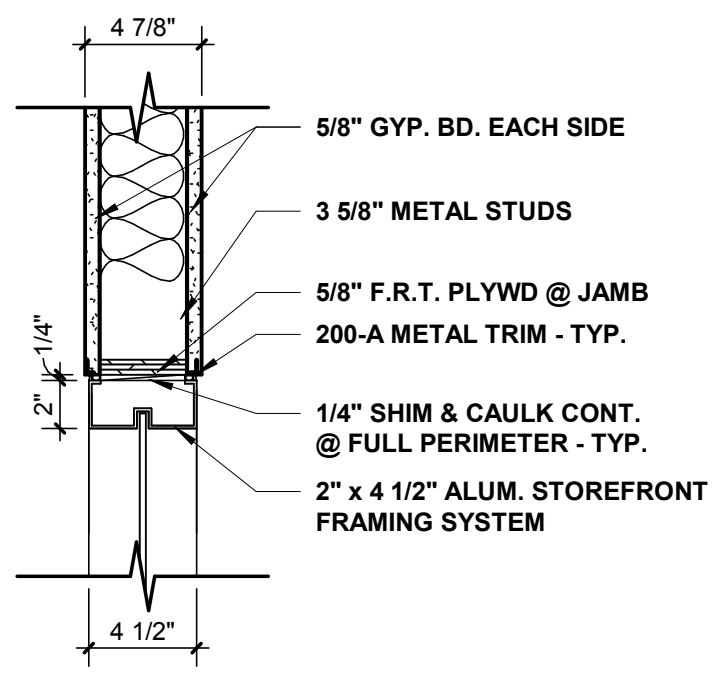
A6.1

# WINDOW TYPES

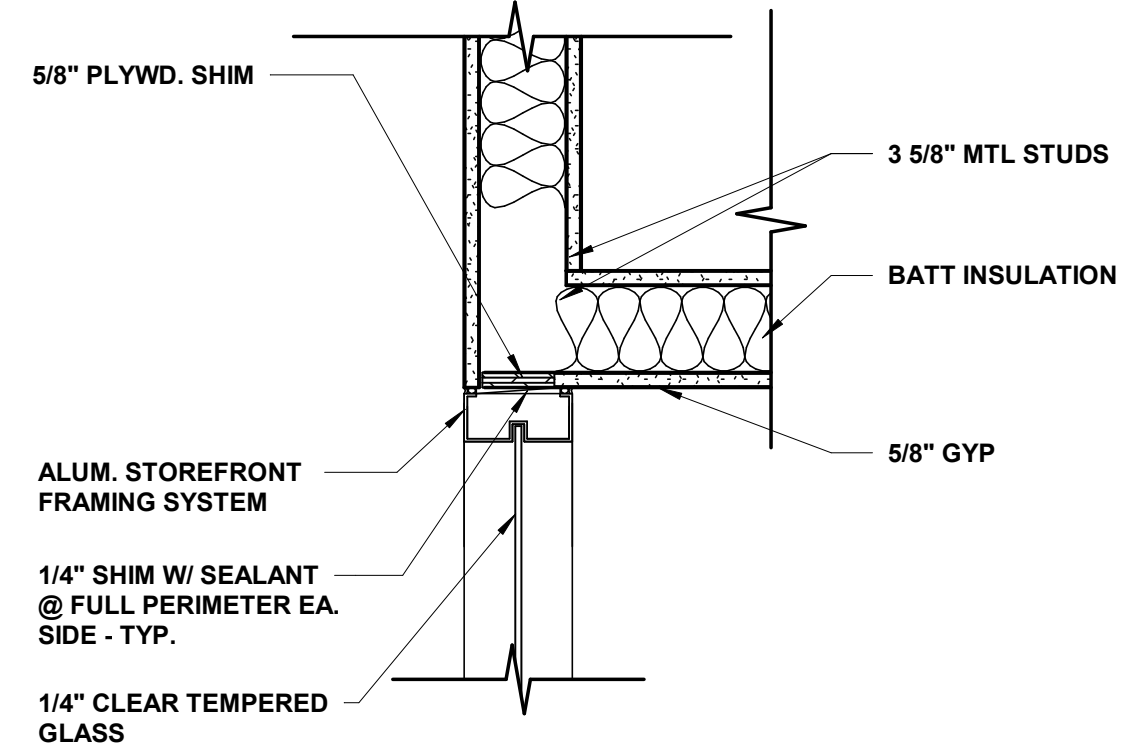
1/4" = 1'-0"  
 ① = TEMPERED GLAZING  
 NOTE: ALL EXTERIOR FRAMES SHALL BE THERMALLY BROKEN.



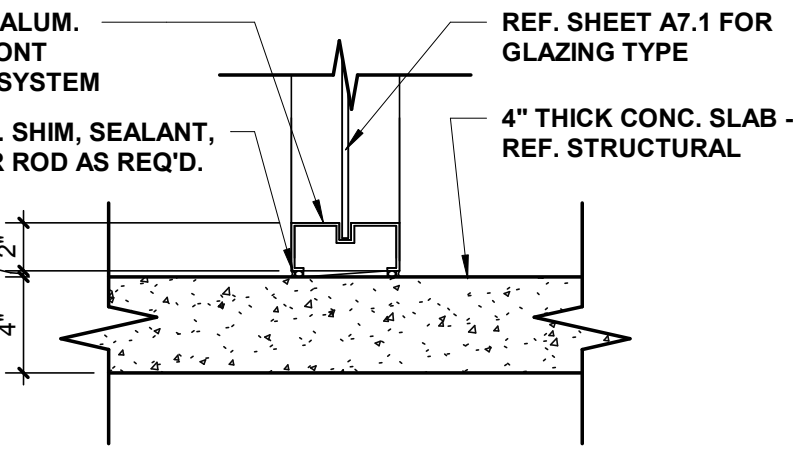
**H.1**  
 (H.2 OPPOSITE HAND)  
 ALUMINUM STOREFRONT INTERIOR



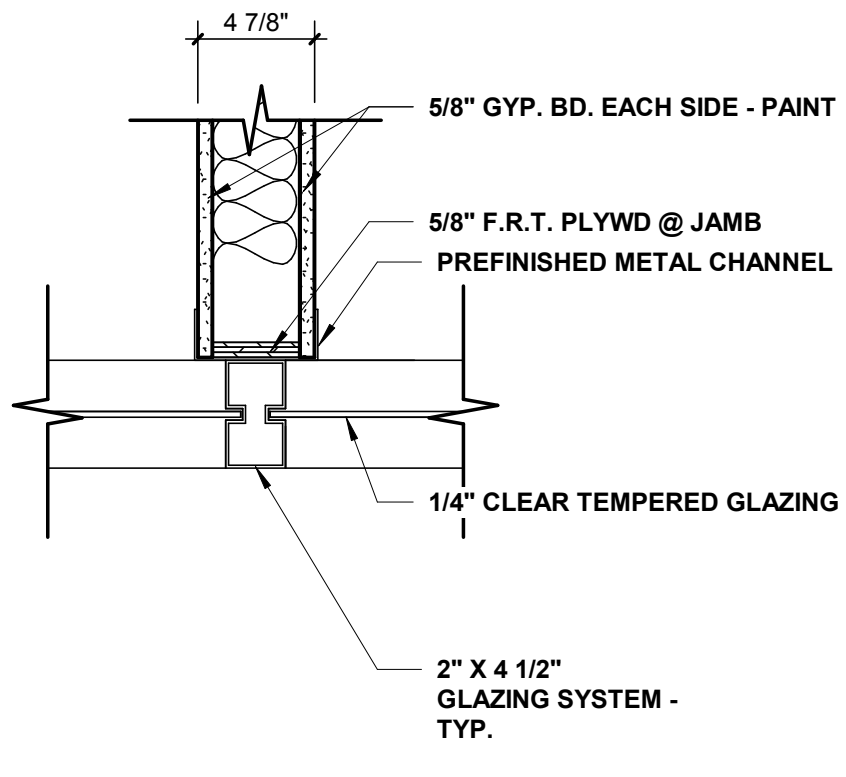
**4** JAMB / HEAD DETAIL  
 1 1/2" = 1'-0"



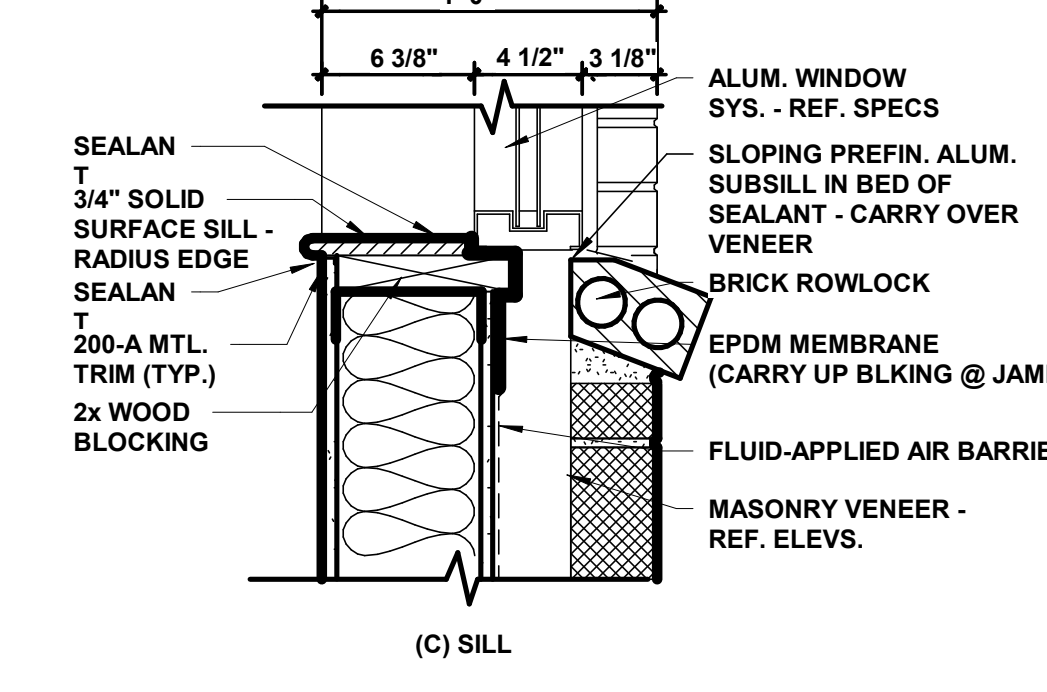
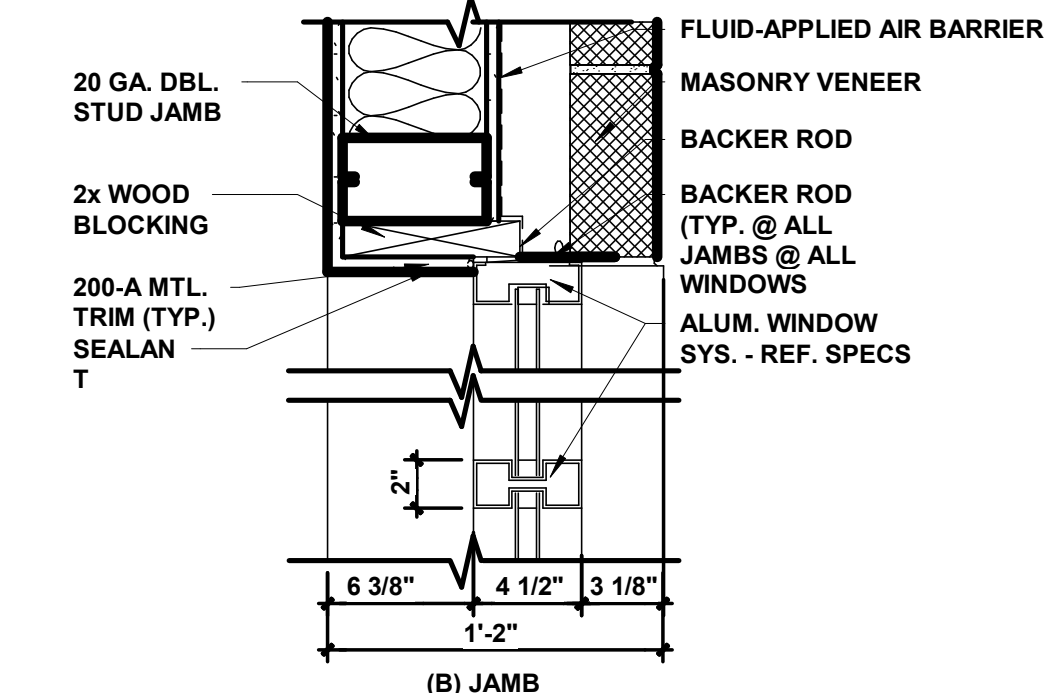
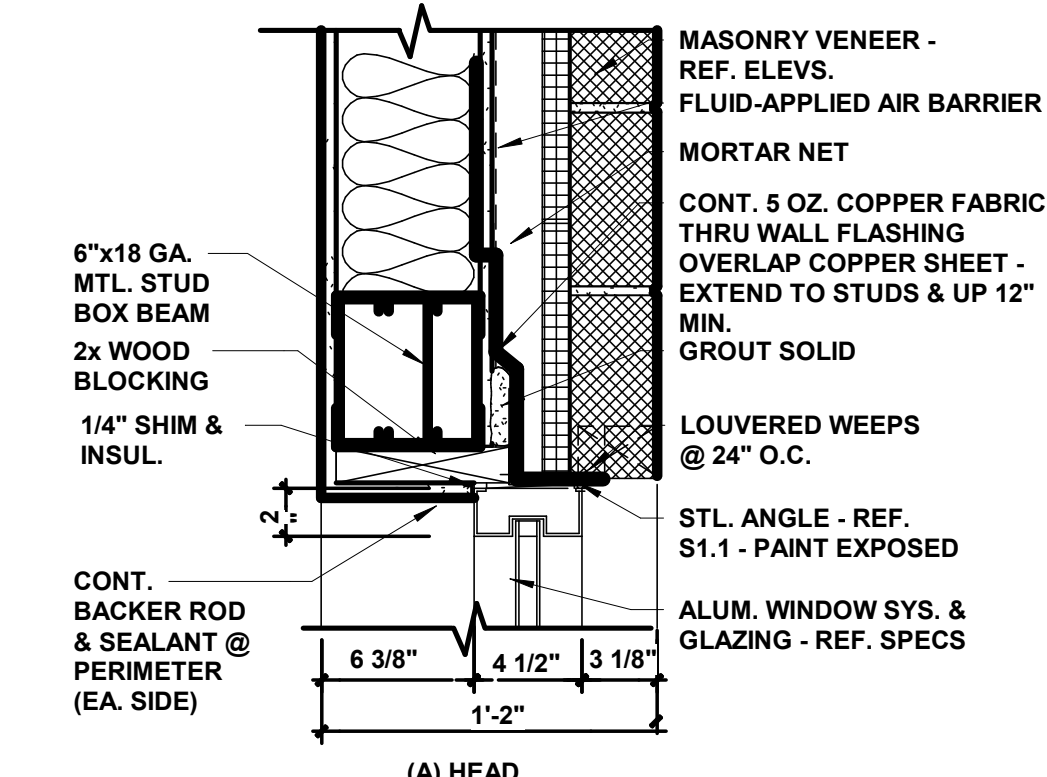
**6** GLAZING @ GYP WALL CORNER  
 1 1/2" = 1'-0"



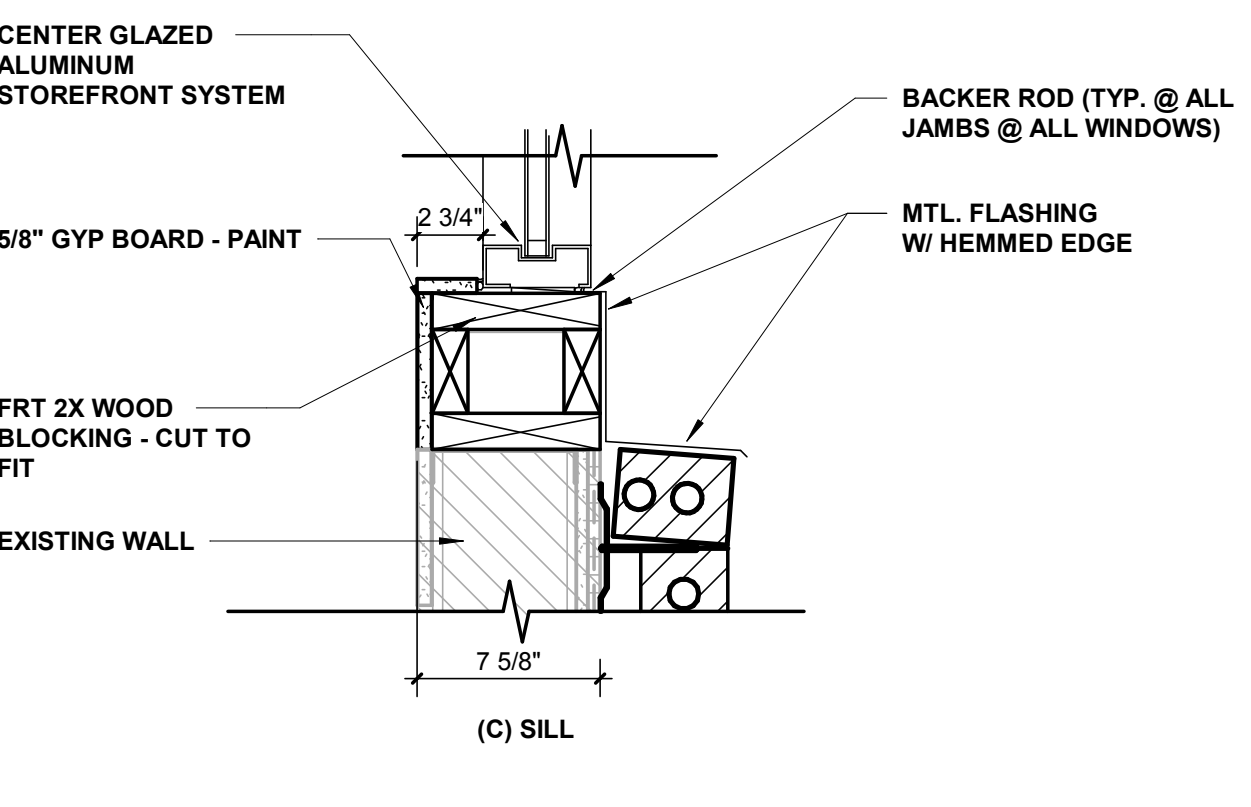
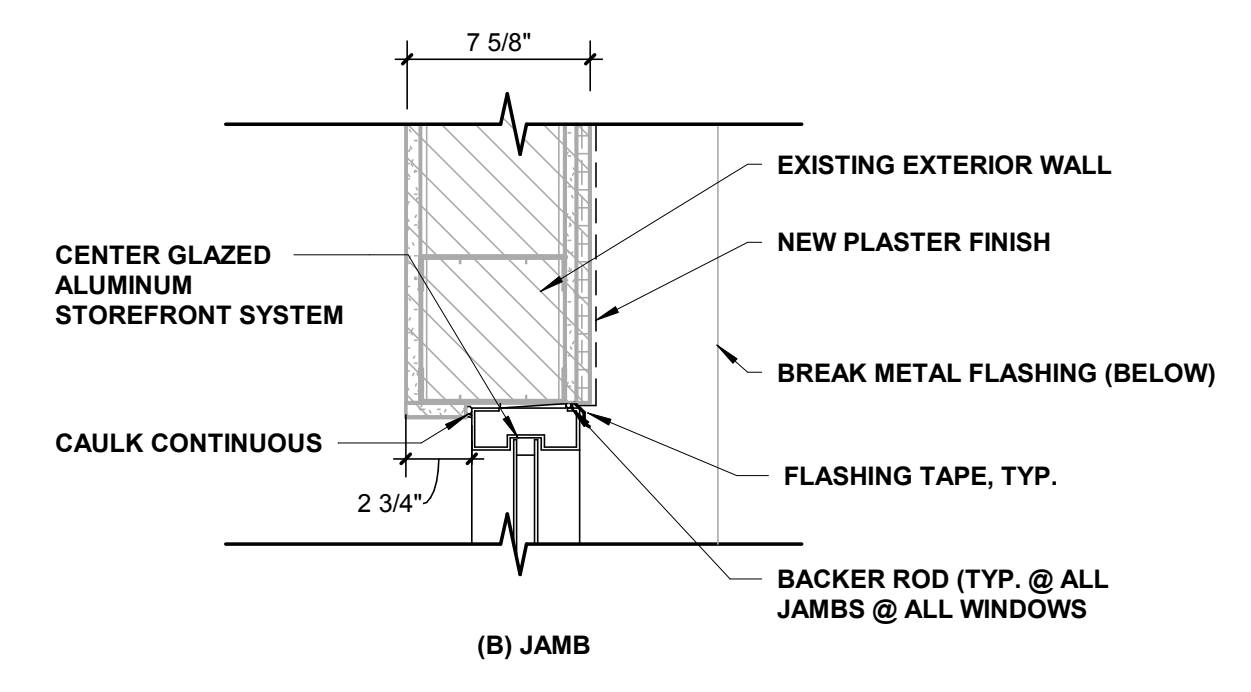
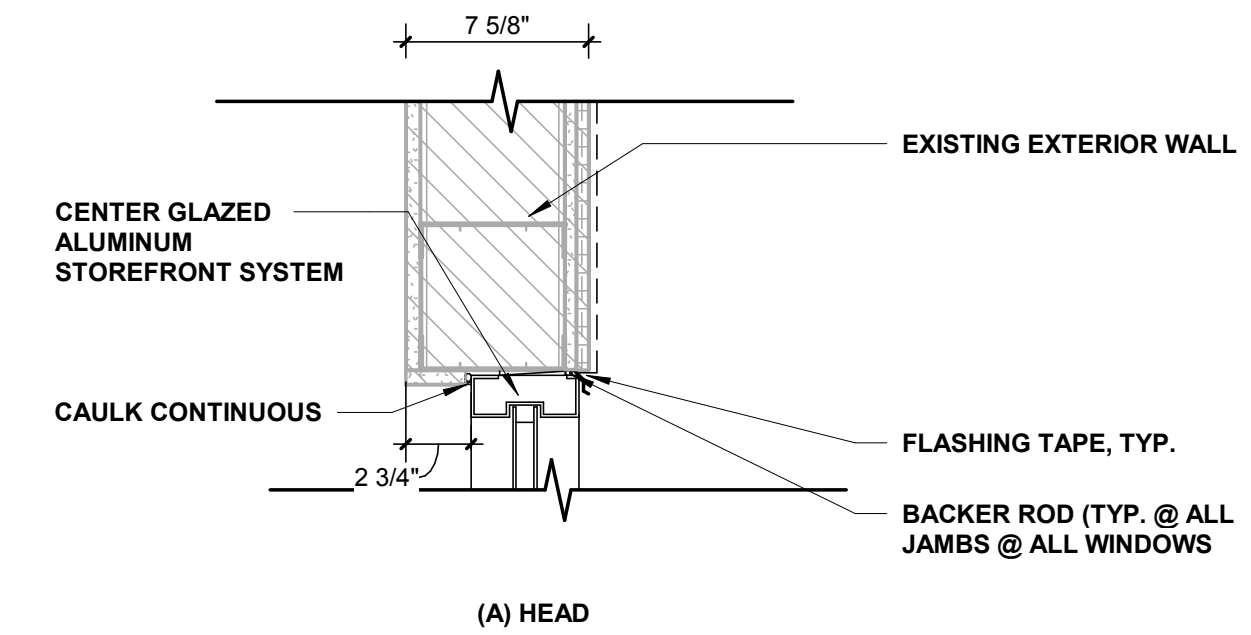
**5** SILL DETAIL  
 1 1/2" = 1'-0"



**7** GLAZING @ WALL TERMINATION  
 1 1/2" = 1'-0"



**13** EXTERIOR STOREFRONT IN MASONRY  
 1 1/2" = 1'-0"



**14** HEAD AND SILL @ EIFS  
 1 1/2" = 1'-0"



REV	DESCRIPTION	DATE





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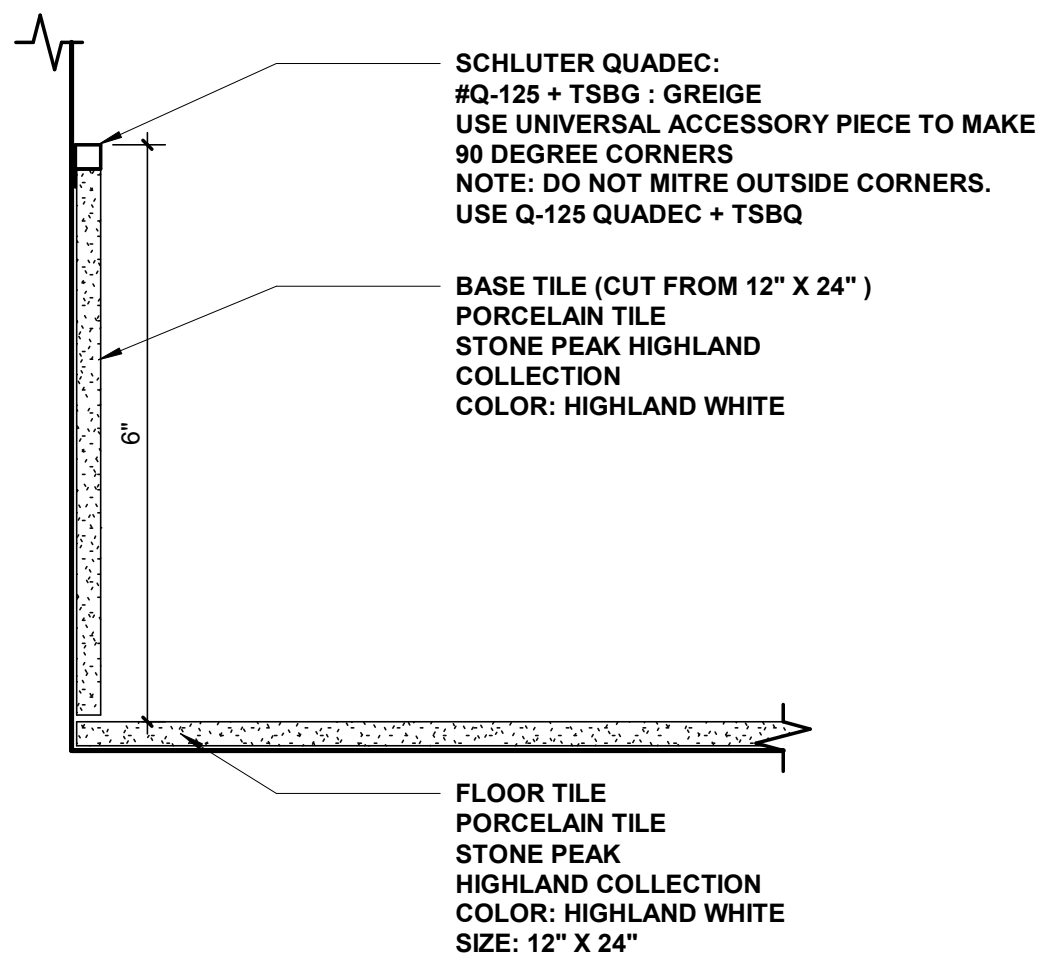
Table with 3 columns: REV, DESCRIPTION, DATE

FINISH SCHEDULE table with columns: ROOM #, ROOM NAME, FLOOR FINISH, BASE FINISH, WALLS FINISH, CEILING MATERIAL, REMARKS

FINISH SCHEDULE table with columns: ROOM #, ROOM NAME, FLOOR FINISH, BASE FINISH, WALLS FINISH, CEILING MATERIAL, REMARKS

- REMARKS
1. SCH-01 AT TILE ON COLUMNS AND ELEVATOR WALLS
2. HANDRAIL TO BE PAINTED PM-02
3. TILE ON ALL FOUR WALLS

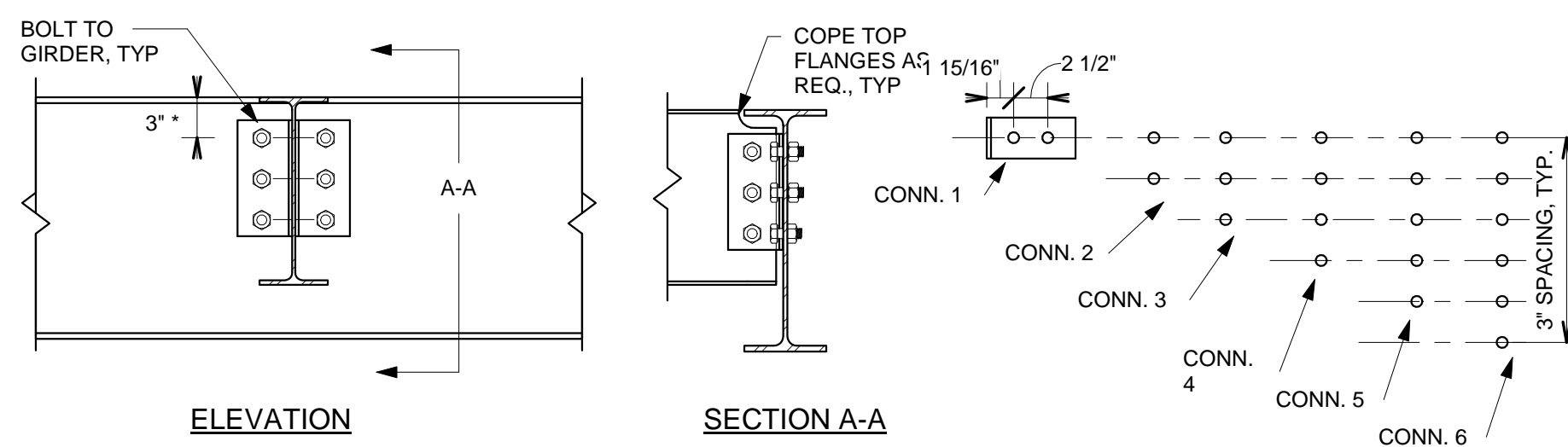
FINISH LEGEND table with columns: FLOOR, WALL, BASE, MILLWORK, CEILING



2 LOBBY BASE DETAIL
6" = 1'-0"

Construction Documents for
BARTLETT SCHOOL SYSTEM
ADMINISTRATION OFFICE
5705 Stage Road Bartlett, TN 38134

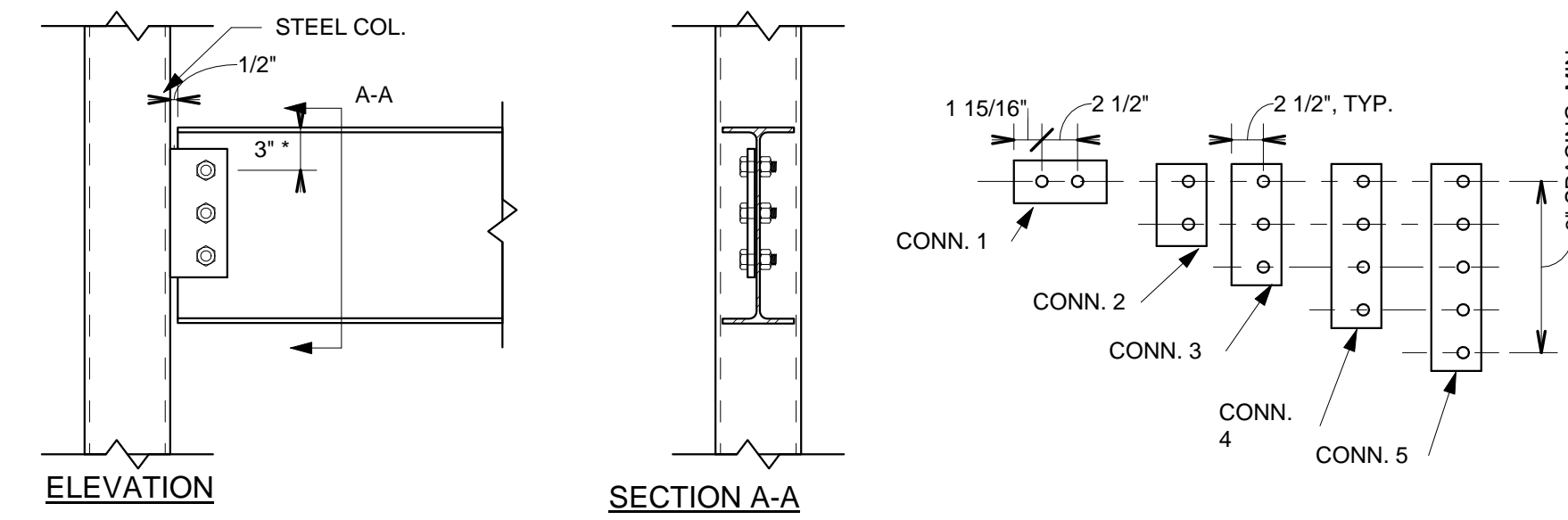




CONN. TYPE	CONNECTION CAPACITY	ANGLE SIZE	ANGLE LENGTH	REQ. BOLT SIZE	BEAM SIZE
1	19.8 KIPS	L6x4x3/8	3"	(2) 3/4" DIA. BOLTS	W6, C4, C6
2	30 KIPS	L4x3 1/2 x5/16	5 1/2"	(2) 3/4" DIA. BOLTS	W8, W10, C8, C10
3	45 KIPS	L4x3 1/2 x5/16	8 1/2"	(3) 3/4" DIA. BOLTS	W12, W14
4	65 KIPS	L4x3 1/2 x5/16	11 1/2"	(4) 3/4" DIA. BOLTS	W16, W18
5	114 KIPS	L4x3 1/2 x5/16	1' - 2 1/2"	(5) 3/4" DIA. BOLTS	W21
6	190 KIPS	L4x3 1/2 x5/16	1' - 5 1/2"	(6) 3/4" DIA. BOLTS	W24

**STANDARD DOUBLE CLIP ANGLE CONNECTIONS**

- NOTES:**
1. ALL BOLTS SHALL BE ASTM A325-N BEARING TYPE BOLTS.
  2. ALL HOLES SHALL BE STANDARD HOLES.
  3. ALL CONNECTION CAPACITIES ARE LRFD FACTORED CAPACITIES BASED ON THE SMALLEST COPED BEAM WEB THICKNESS OF EACH BEAM DEPTH.
  4. IT SHALL BE ACCEPTABLE TO SHOP WELD THE 3 1/2" SIDE OF THE CLIP ANGLES TO THE BEAMS IN LIEU OF BOLTING AS SHOWN. IF CONNECTION IS WELDED, DO NOT PROVIDE BOLT HOLES IN ANGLE.
  5. BEAM TO BEAM CONNECTIONS SHOWN. BEAM TO WIDE FLANGE COLUMNS SHALL BE SIMILAR. IT SHALL BE ACCEPTABLE TO PROVIDE L3 1/2" x L3 1/2" x 5/16" TO FIT WITHIN BEAM FLANGES.
  6. SINGLE CLIP ANGLE CONNECTIONS SHALL NOT BE ACCEPTED.
  7. \* DIMENSION SHALL BE 2 1/2" @ ANY BEAM SIZE LESS THAN 10".



CONN. TYPE	CONNECTION CAPACITY	SINGLE SHEAR PLATE SIZE	REQ. BOLT SIZE	BEAM SIZE
1	10 KIPS	PL 1/2" x 6" x 3"	(2) 3/4" DIA. BOLTS	W6, C4, C6
2	30 KIPS	PL 3/8" x 4" x 5 1/2"	(2) 3/4" DIA. BOLTS	W8, W10, C8, C10
3	47 KIPS	PL 3/8" x 4" x 8 1/2"	(3) 3/4" DIA. BOLTS	W12, W14
4	63 KIPS	PL 3/8" x 4" x 11 1/2"	(4) 3/4" DIA. BOLTS	W16, W18
5	79 KIPS	PL 3/8" x 4" x 1' - 2 1/2"	(5) 3/4" DIA. BOLTS	W21

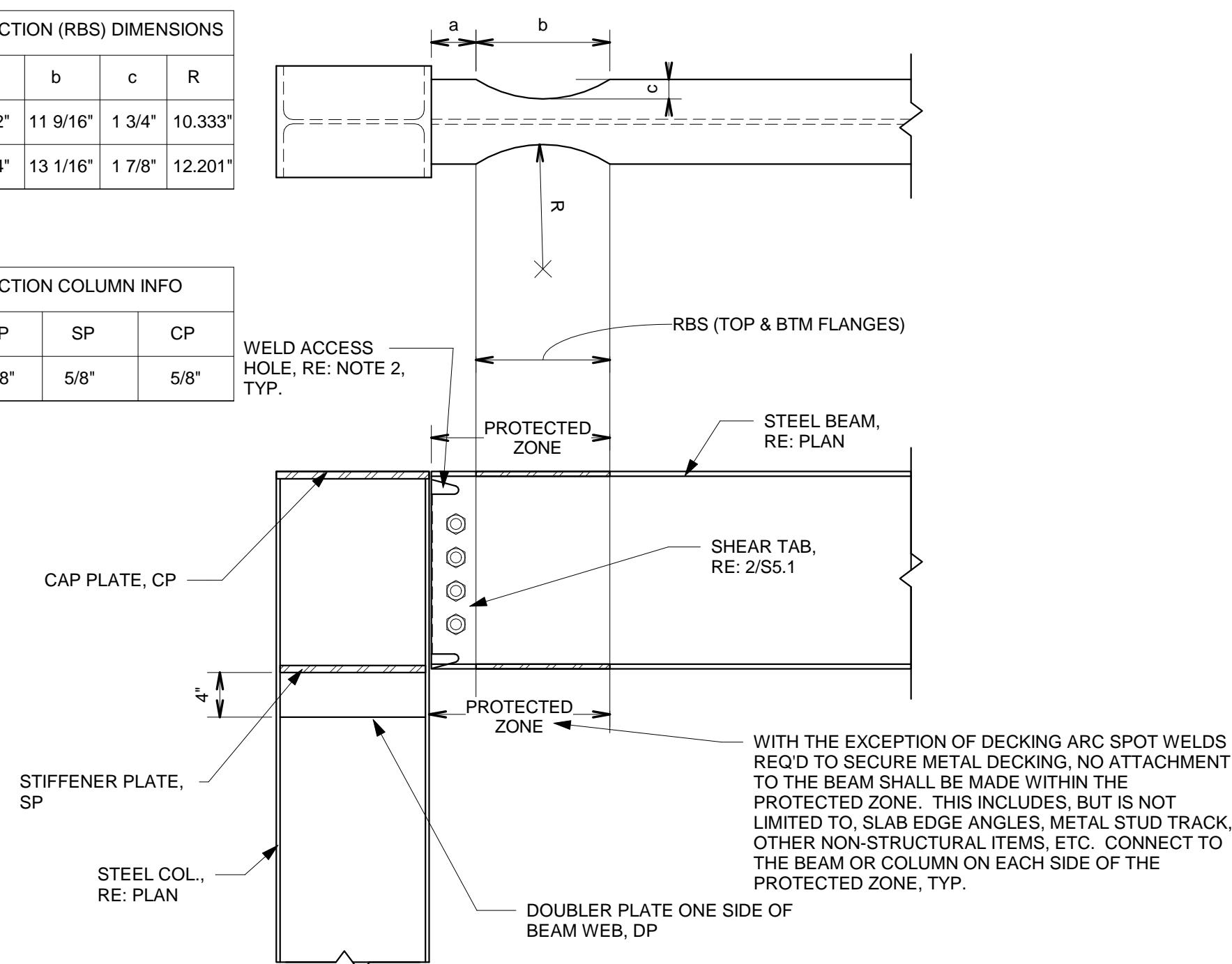
**STANDARD SHEAR TAB CONNECTIONS**

- NOTES:**
1. ALL BOLTS SHALL BE ASTM A325-N BEARING TYPE BOLTS.
  2. ALL HOLES SHALL BE STANDARD HOLES.
  3. DO NOT COPE BEAMS AT STANDARD SHEAR TAB CONNECTIONS.
  4. ALL CONNECTION CAPACITIES ARE LRFD FACTORED CAPACITIES BASED ON THE SMALLEST BEAM WEB THICKNESS OF EACH BEAM DEPTH.
  5. \* DIMENSION SHALL BE 2 1/2" @ ANY BEAM SIZE LESS THAN 10".

**1 SHEAR CONNECTION - SHEAR TAB**  
1" = 1'-0"

REDUCED BEAM SECTION (RBS) DIMENSIONS				
BEAM SIZE	a	b	c	R
W16x45	3 1/2"	11 9/16"	1 3/4"	10.333"
W18x60	3 3/4"	13 1/16"	1 7/8"	12.201"

REDUCED BEAM SECTION COLUMN INFO			
COLUMN SIZE	DP	SP	CP
W12x96	5/8"	5/8"	5/8"

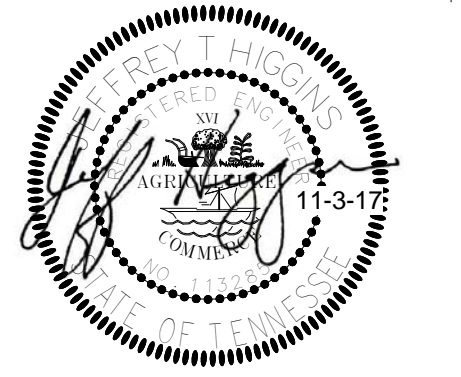


- NOTES:**
1. BEAM FLANGES SHALL BE CONNECTED TO COLUMN FLANGES USING COMPLETE JOINT PENETRATION (CJP) GROOVE WELDS. BEAM FLANGE WELDS SHALL CONFORM TO THE REQUIREMENTS FOR DEMAND CRITICAL WELDS IN SECTION 7.3 AND APPENDIX W OF THE AISC SEISMIC PROVISIONS. (THE AISC SEISMIC PROVISIONS OR 'SEISMIC PROVISIONS' AS USED HERE IN REFER TO: AISC 341-05 SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS).
  2. WELD ACCESS HOLE GEOMETRY SHALL CONFORM TO THE REQUIREMENTS OF AISC 360-05 SECTION J1.6.

**2 MOMENT CONNECTIONS - RBS**  
1" = 1'-0"

**FABRICATION OF FLANGE CUTS**

1. THE REDUCED BEAM SECTION SHALL BE MADE USING THERMAL CUTTING TO PRODUCE A SMOOTH CURVE. THE MAXIMUM SURFACE ROUGHNESS OF THE THERMALLY CUT SURFACE SHALL BE 500 MICRONCHES (13 MICRONS) IN ACCORDANCE WITH ANSI B46.1, AS MEASURED USING AWS C4.1-77 SAMPLE 4 OR SIMILAR VISUAL COMPARATOR. ALL TRANSITIONS BETWEEN THE REDUCED BEAM SECTION AND THE UNMODIFIED BEAM FLANGE SHALL BE ROUNDED IN THE DIRECTION OF THE FLANGE LENGTH TO MINIMIZE NOTCH EFFECTS DUE TO ABRUPT TRANSITIONS. CORNERS BETWEEN THE REDUCED SECTION SURFACE AND THE TOP AND BOTTOM OF THE FLANGES SHALL BE GROUND TO REMOVE SHARP EDGES, BUT A MINIMUM CHAMFER OR RADIUS IS NOT REQUIRED.
2. THERMAL CUTTING TOLERANCES SHALL BE PLUS OR MINUS 1/4 IN. FROM THE THEORETICAL CUT LINE. THE BEAM EFFECTIVE FLANGE WIDTH AT ANY SECTION SHALL HAVE A TOLERANCE OF PLUS OR MINUS 3/8 IN.
3. GOUGES AND NOTCHES THAT OCCUR IN THE THERMALLY CUT RBS SURFACE MAY BE REPAIRED BY GRINDING IF NOT MORE THAN 1/4 IN. DEEP. THE GOUGED OR NOTCHED AREA SHALL BE FAIRED BY GRINDING SO THAT A SMOOTH TRANSITION EXISTS. AND THE TOTAL LENGTH OF THE AREA GROUND FOR THE TRANSITION SHALL BE NO LESS THAN FIVE TIMES THE DEPTH OF THE REMOVED GOUGE ON EACH SIDE OF THE GOUGE. IF A SHARP NOTCH EXISTS, THE AREA SHALL BE INSPECTED BY MT AFTER GRINDING TO ENSURE THAT THE ENTIRE DEPTH OF NOTCH HAS BEEN REMOVED. GRINDING THAT INCREASES THE DEPTH OF THE RBS CUT MORE THAN 1/4 IN. BEYOND THE SPECIFIED DEPTH OF CUT IS NOT PERMITTED.
4. GOUGES AND NOTCHES THAT EXCEED 1/4 IN. IN DEPTH, BUT NOT TO EXCEED 1/2 IN. IN DEPTH, AND THOSE NOTCHES AND GOUGES WHERE REPAIR BY GRINDING WOULD INCREASE THE EFFECTIVE DEPTH OF THE RBS CUT BEYOND TOLERANCE, MAY BE REPAIRED BY WELDING. THE NOTCH OR GOUGE SHALL BE REMOVED AND GROUND TO PROVIDE A SMOOTH RADIUS OF NOT LESS THAN 1/4 IN. IN PREPARATION FOR WELDING. THE REPAIR AREA SHALL BE PREHEATED TO A TEMPERATURE OF 150 DEGREES FARENHEIT OR THE VALUE SPECIFIED IN AWS D1.1 TABLE 3.2, WHICHEVER IS GREATER, MEASURED AT THE LOCATION OF THE WELD REPAIR. NOTCHES AND GOUGES EXCEEDING 1/2 IN. IN DEPTH SHALL BE REPAIRED ONLY WITH A METHOD APPROVED BY THE ENGINEER OF RECORD.

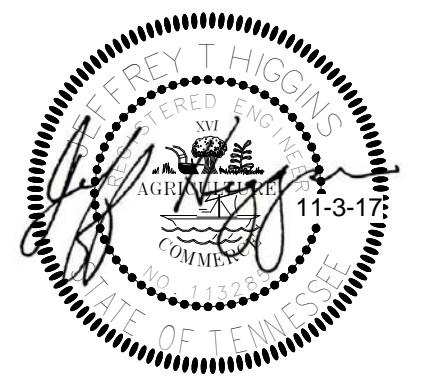


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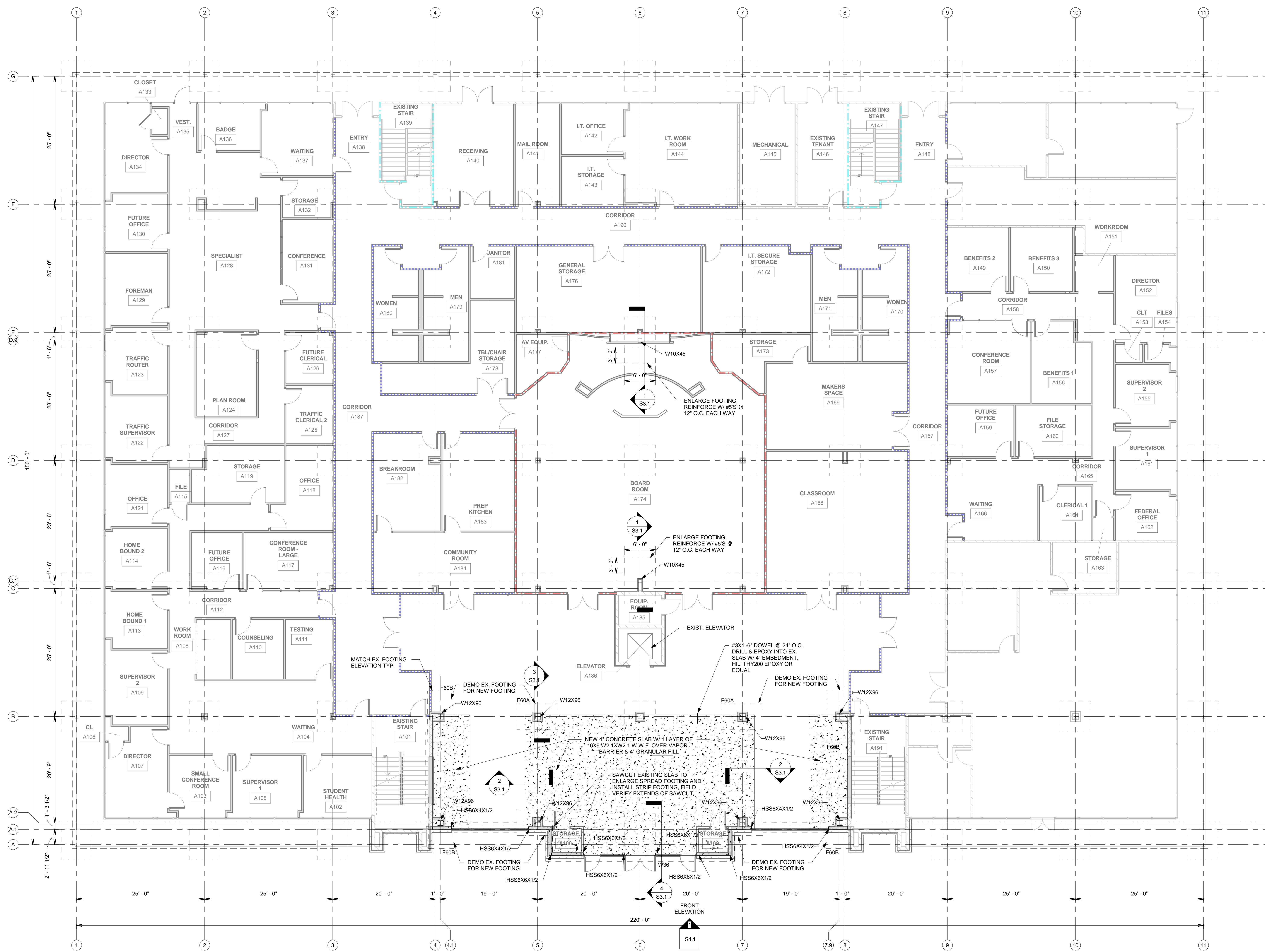


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1 FIRST FLOOR PLAN  
S2.1 1/8" = 1'-0"

Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

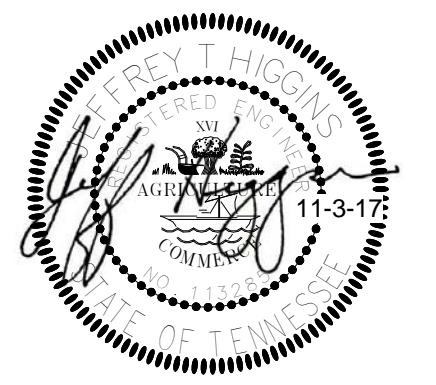
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S2.1

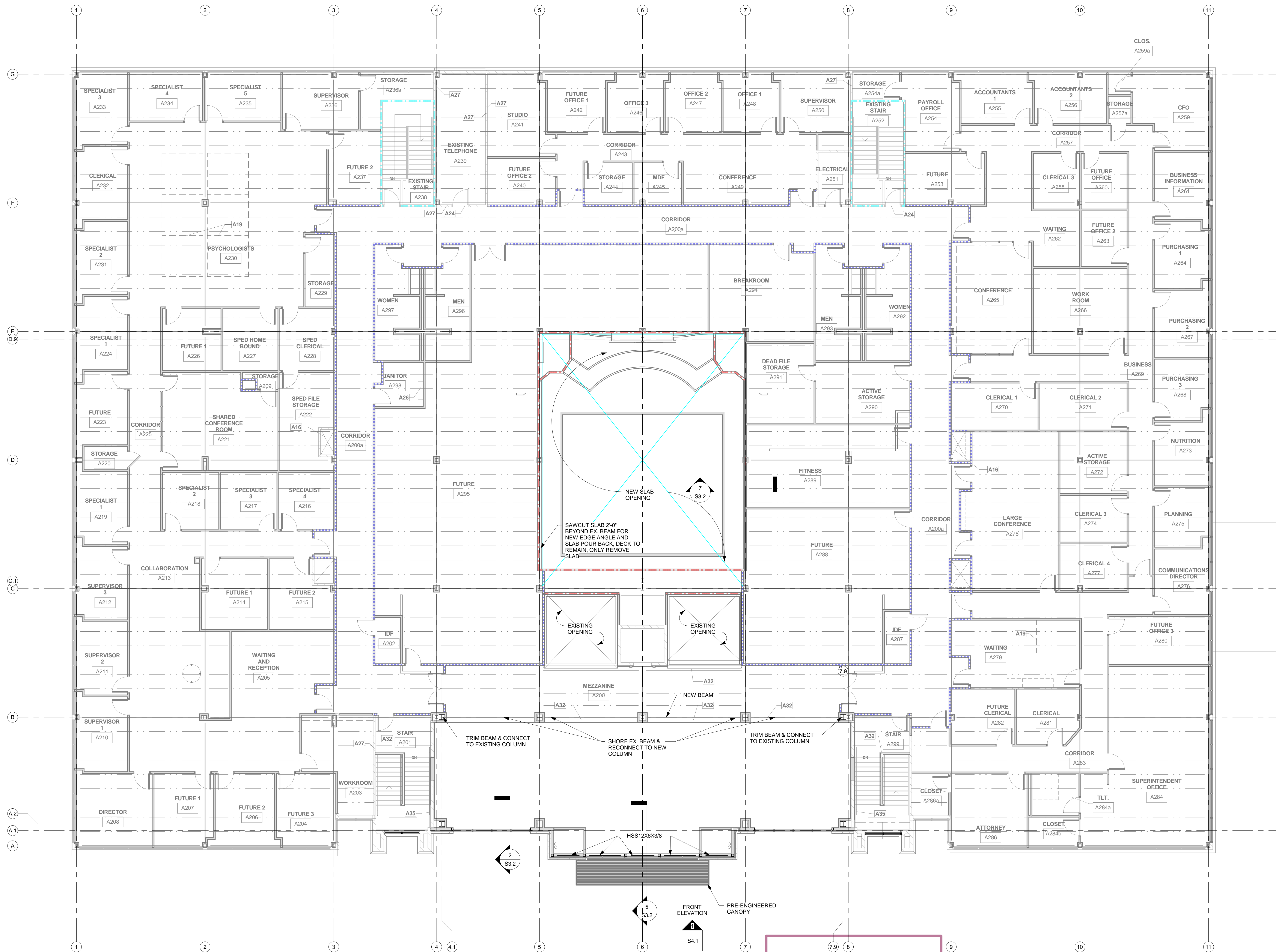


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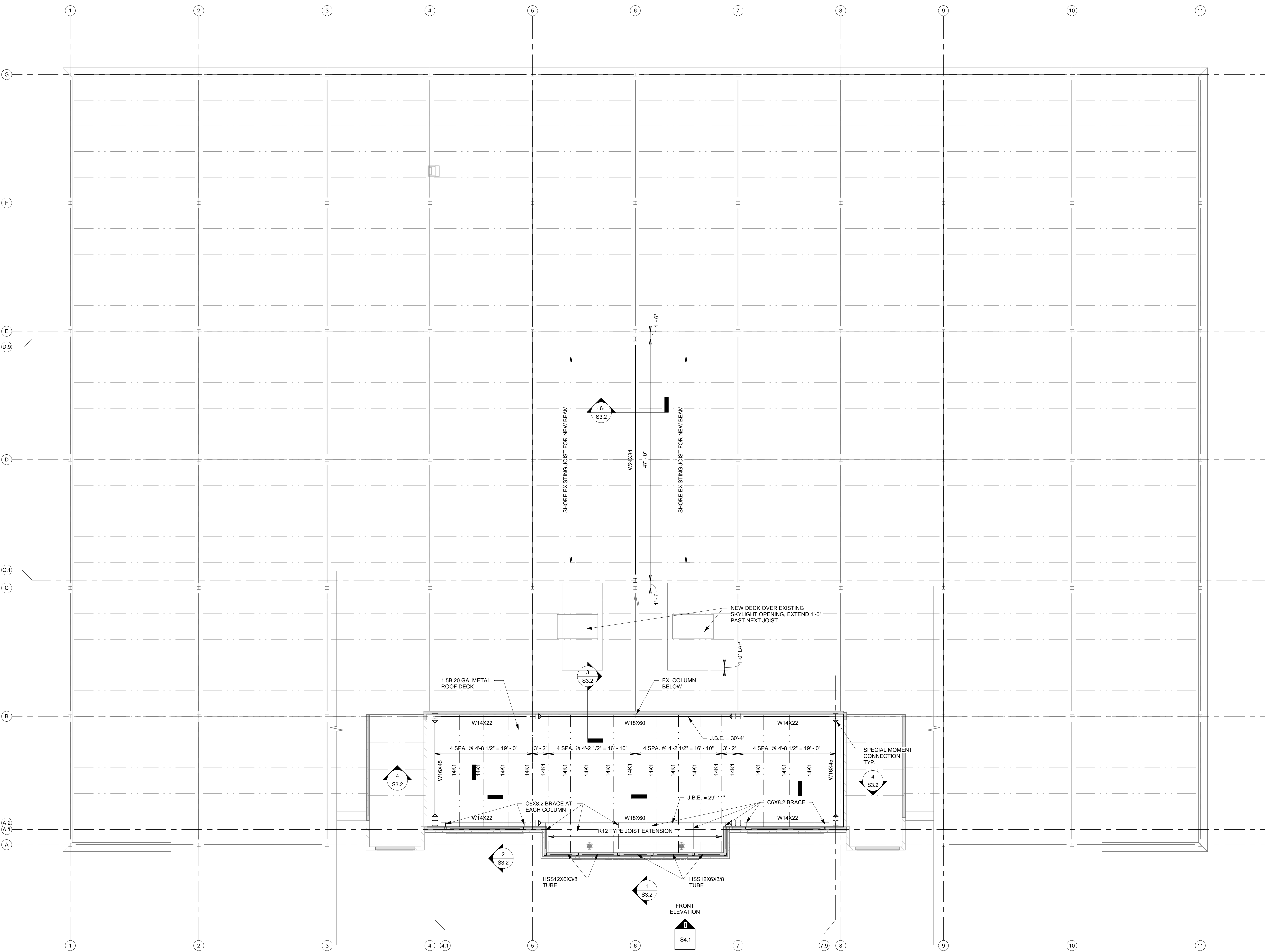


Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

**S2.2**

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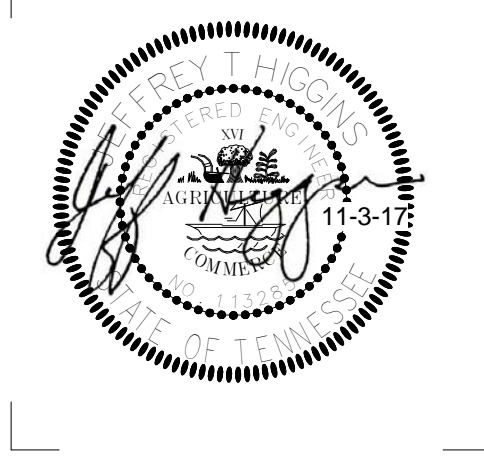


1 ROOF FRAMING PLAN  
1/8" = 1'-0"



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Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
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 5705 Stage Road Bartlett, TN 38134

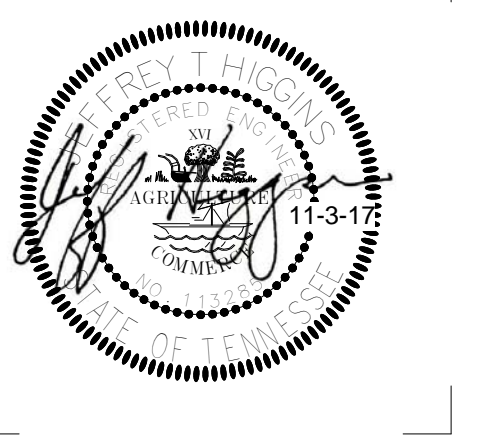
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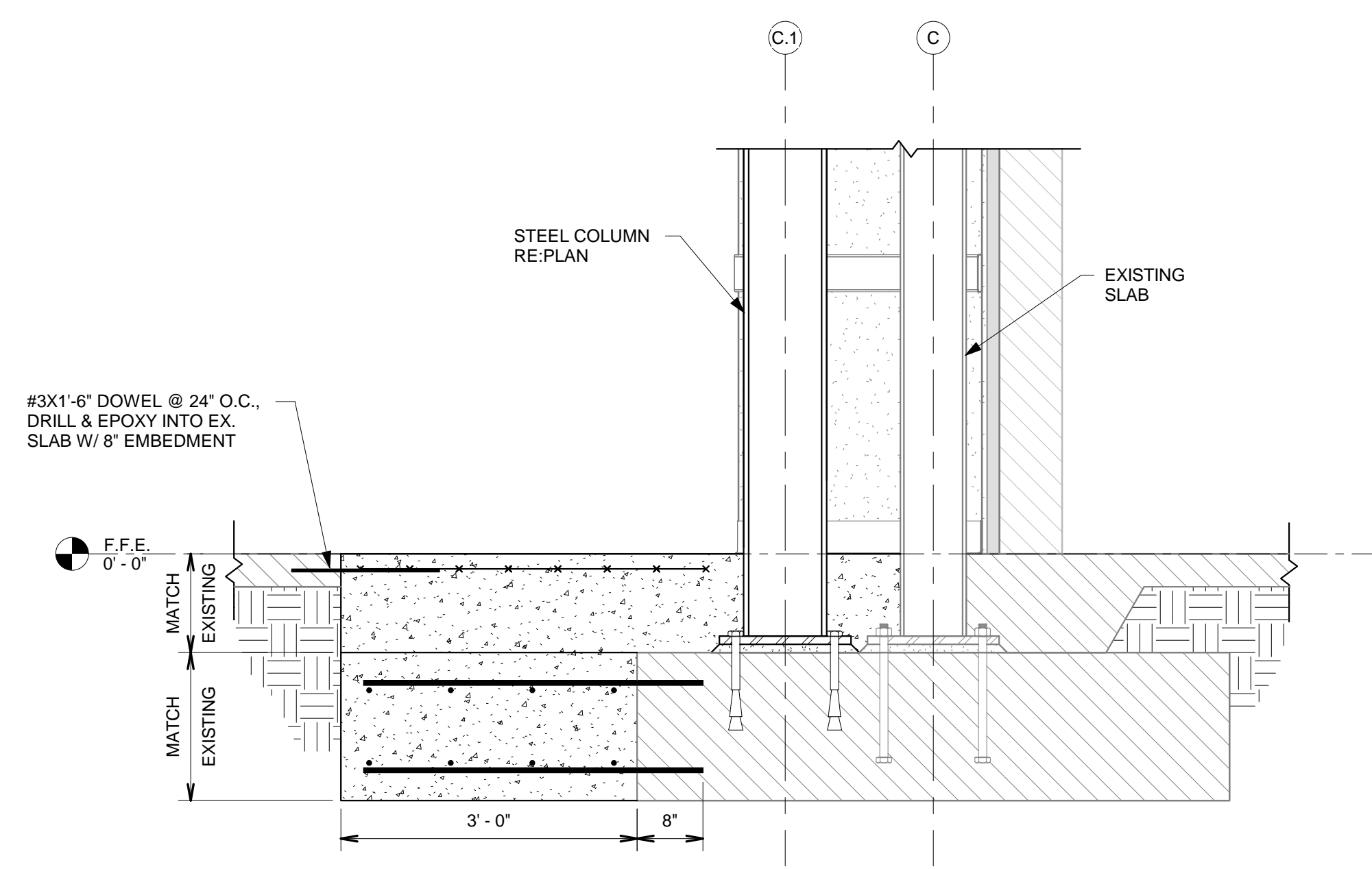


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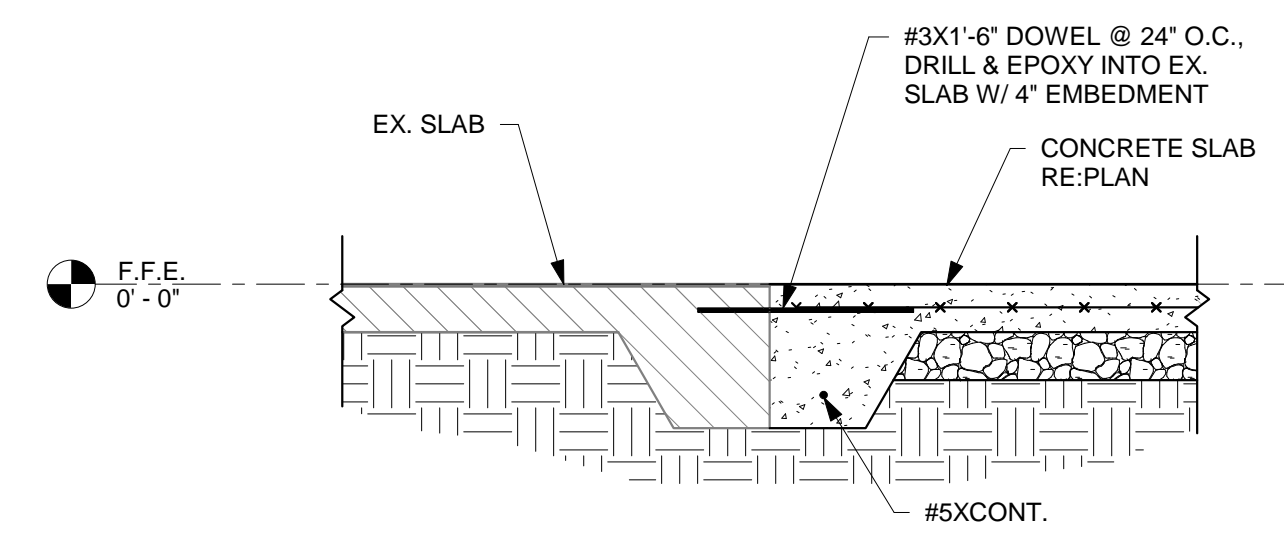
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Lakeland, TN 38002  
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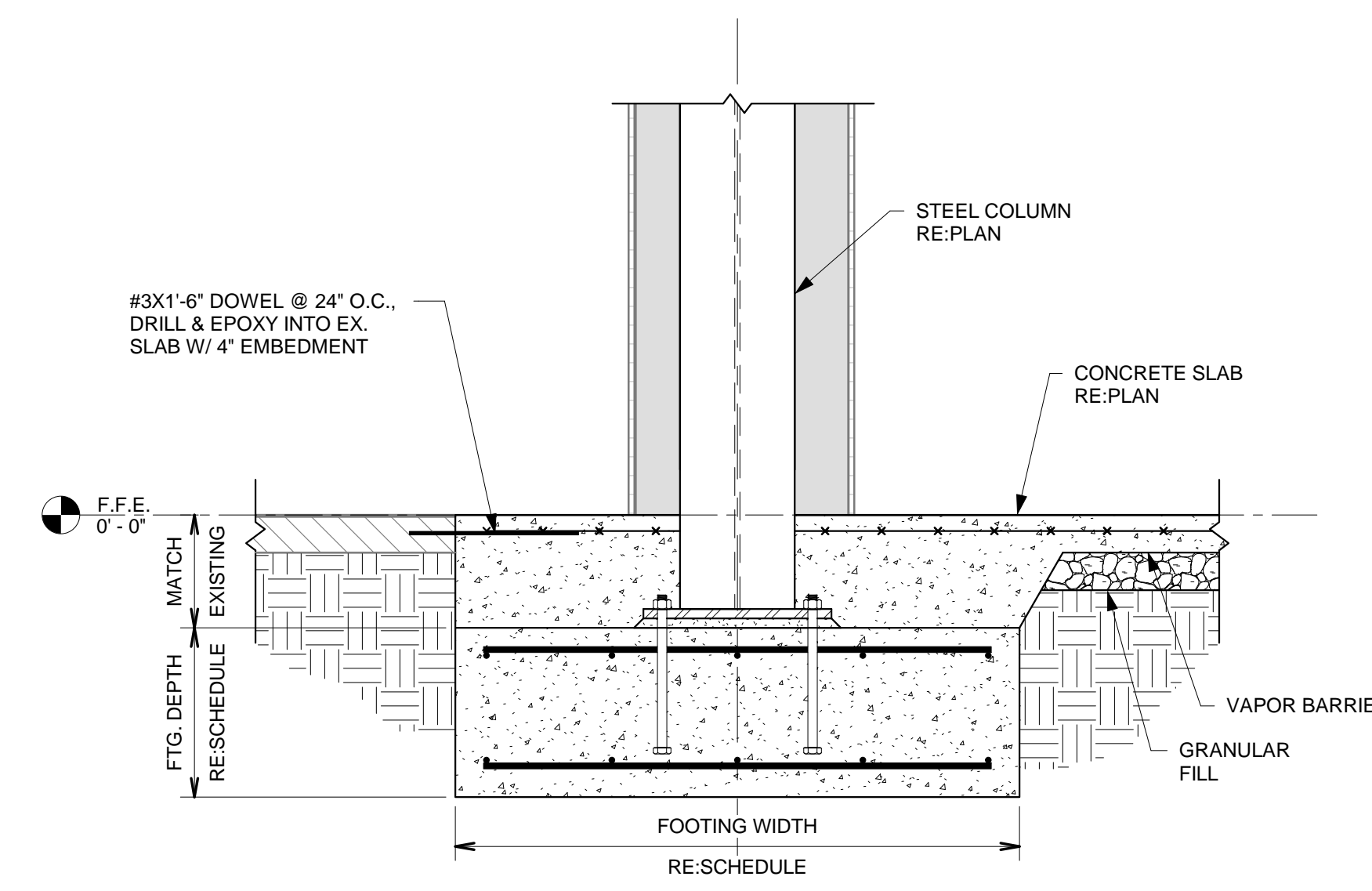
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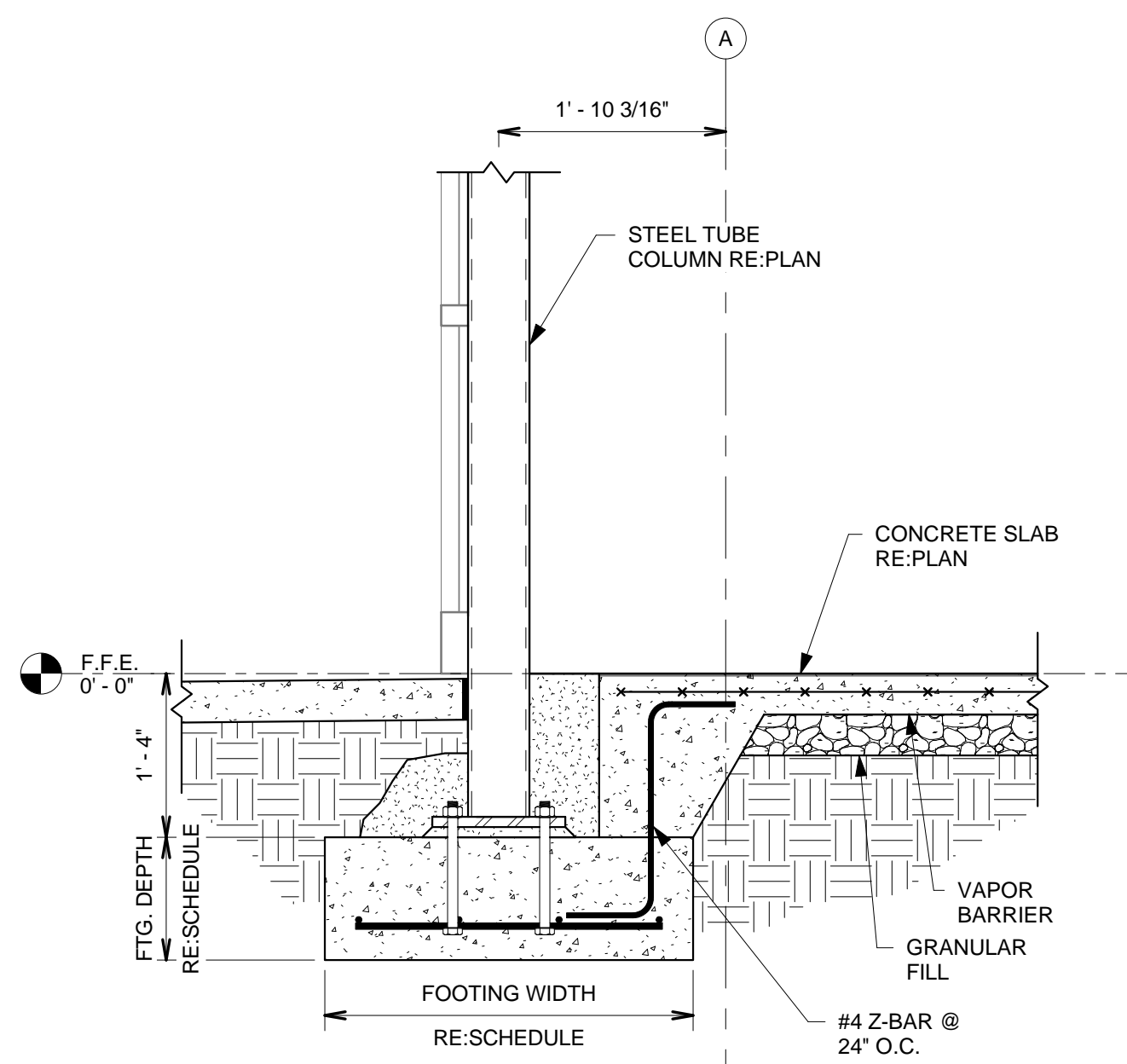
1 FDS - SECTION 1  
S3.1 3/4" = 1'-0"



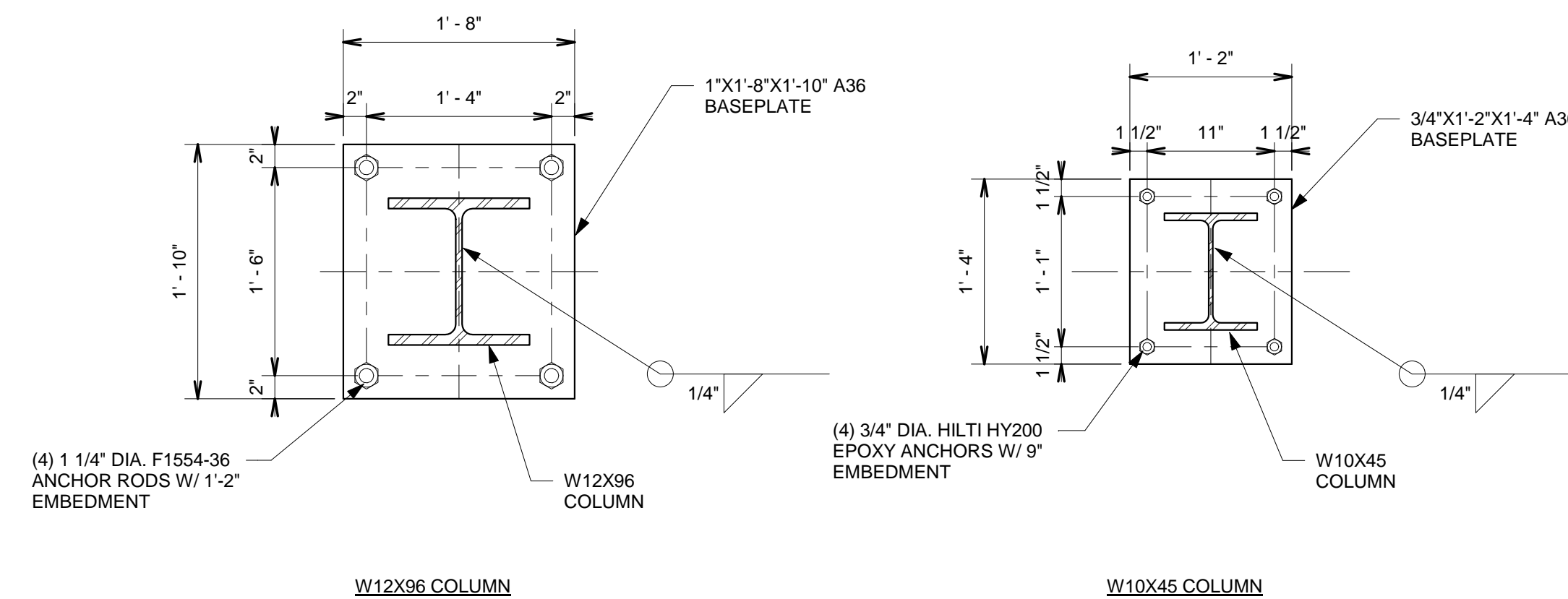
2 FDS - SECTION 2  
S3.1 3/4" = 1'-0"



3 FDS - SECTION 3  
S3.1 3/4" = 1'-0"



4 FDS - SECTION 4  
S3.1 3/4" = 1'-0"



5 ANCHOR BOLT LAYOUT  
S3.1 1" = 1'-0"

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
FOUNDATION SECTIONS

Project No.  
17027

Drawn by  
JHCS

Date  
11-3-2017

Sheet No.  
**S3.1**

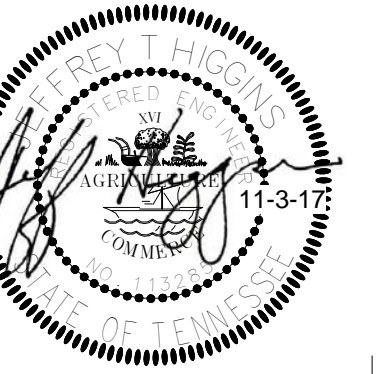


PROJECT NO: 17340  
Clad Stewart & Associates, Inc.  
9700 Village Circle, Suite 300 Lakeland, TN 38002  
Phone: 901-260-7850 Fax: 901-260-7859  
Lakeland, TN CS@structures.com Knoxville, TN

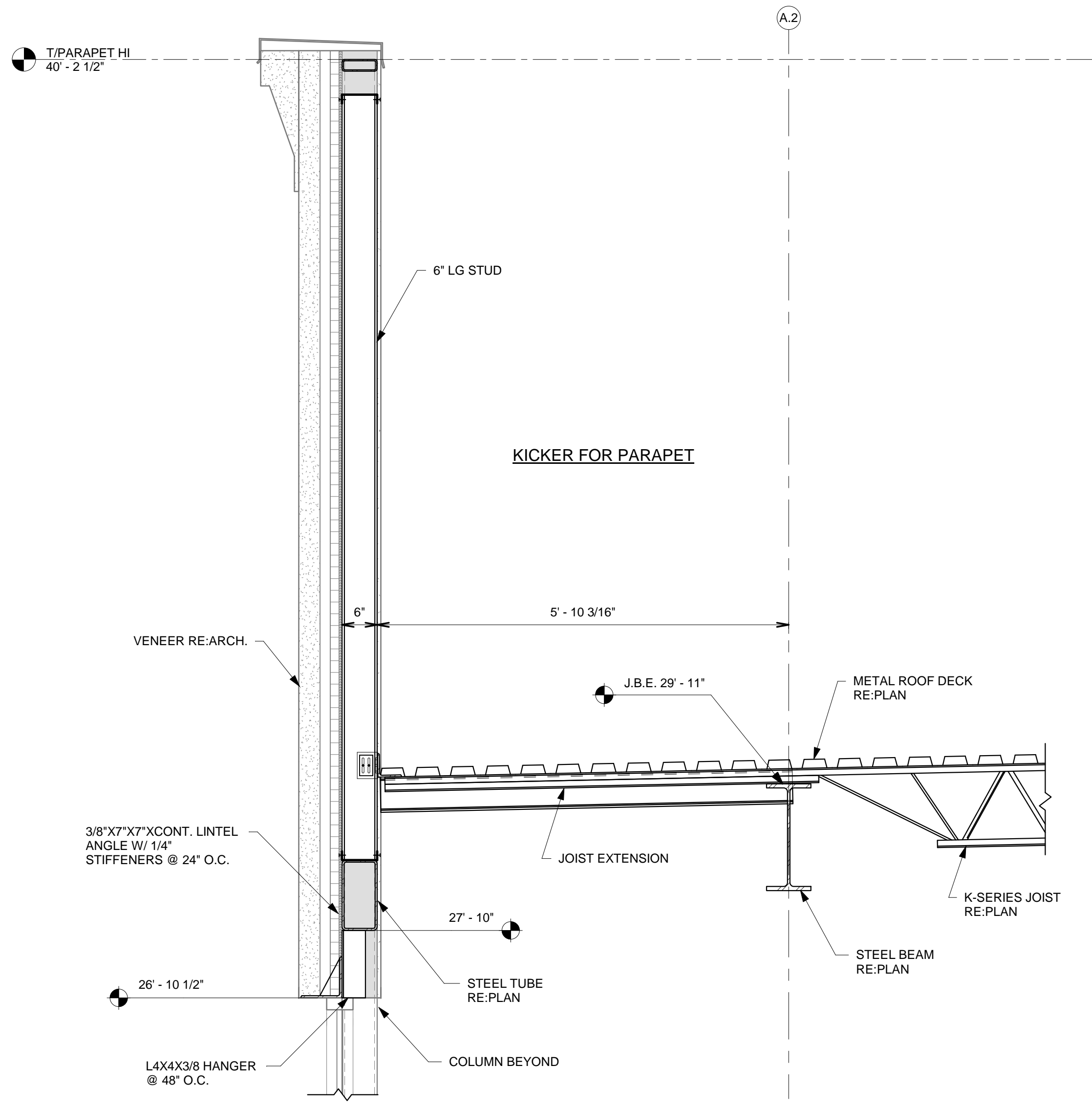


Renaissance Group

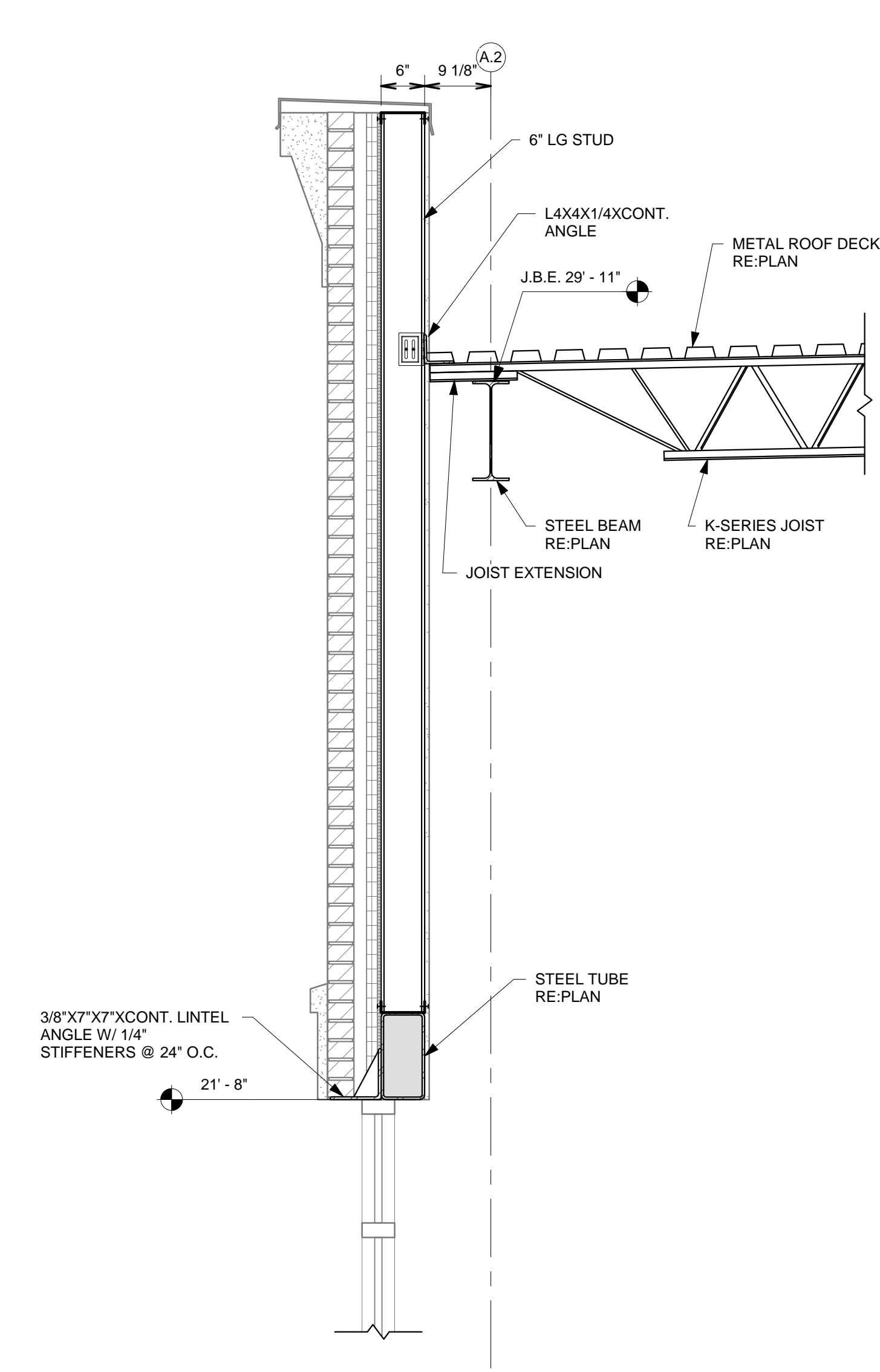
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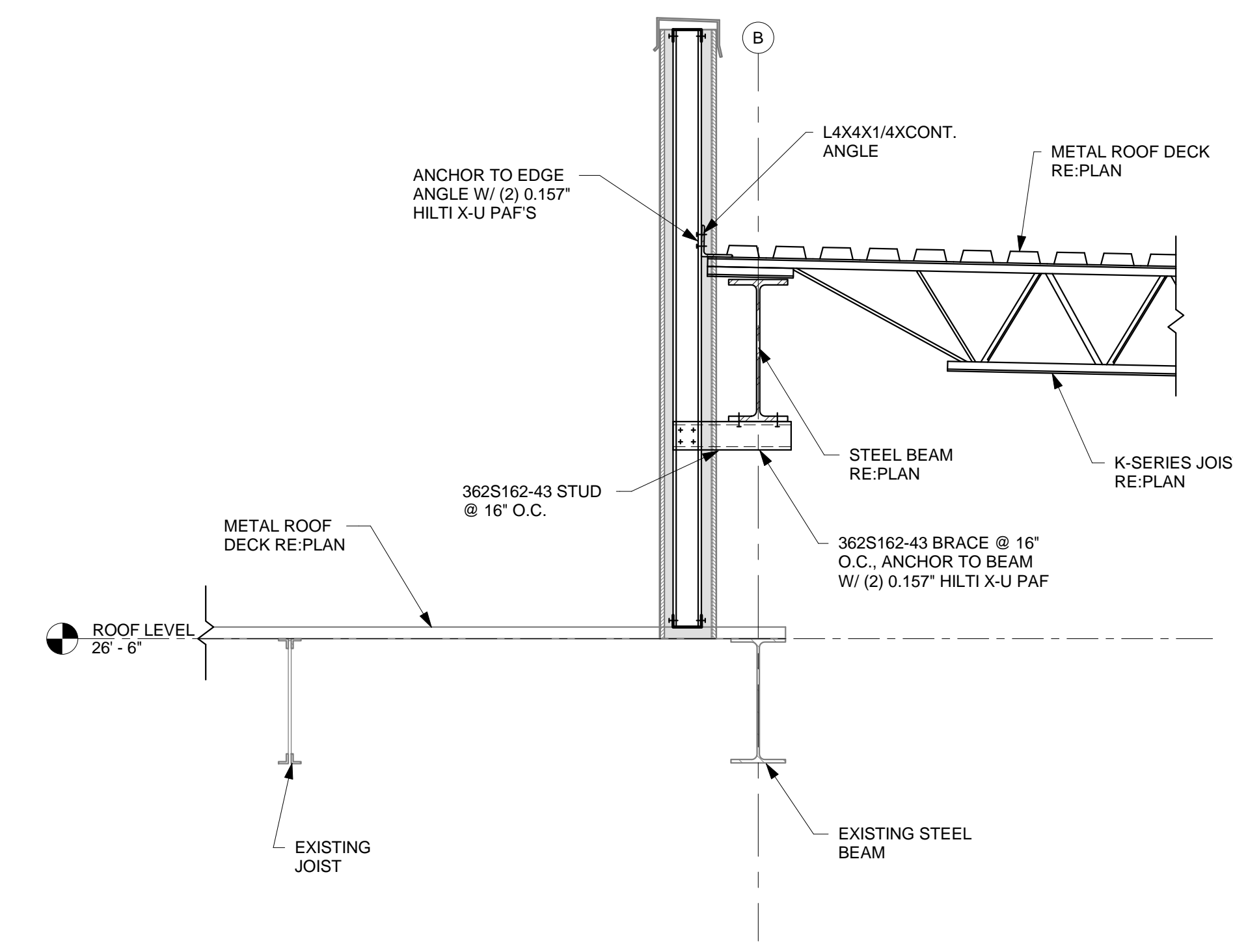
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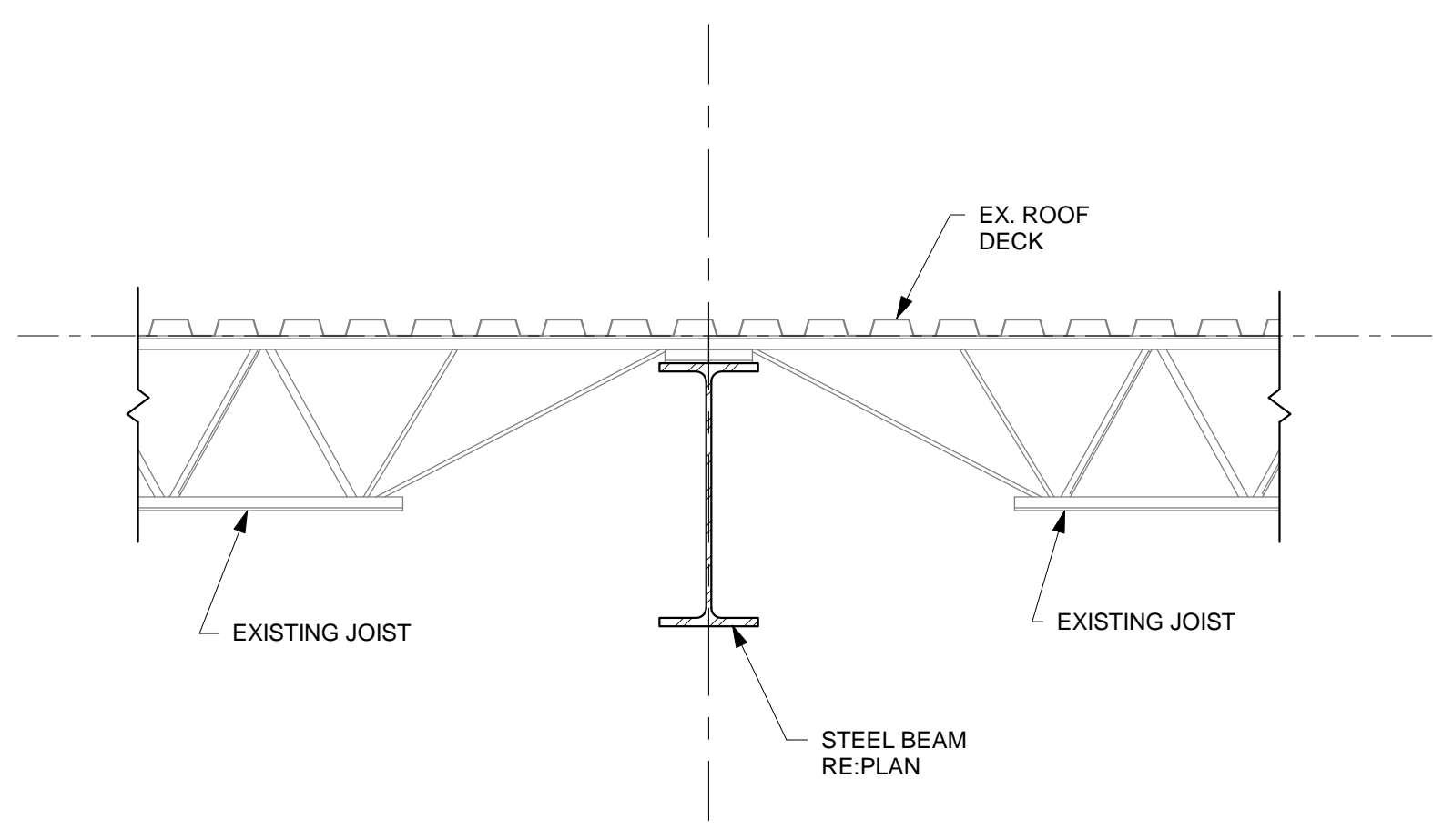
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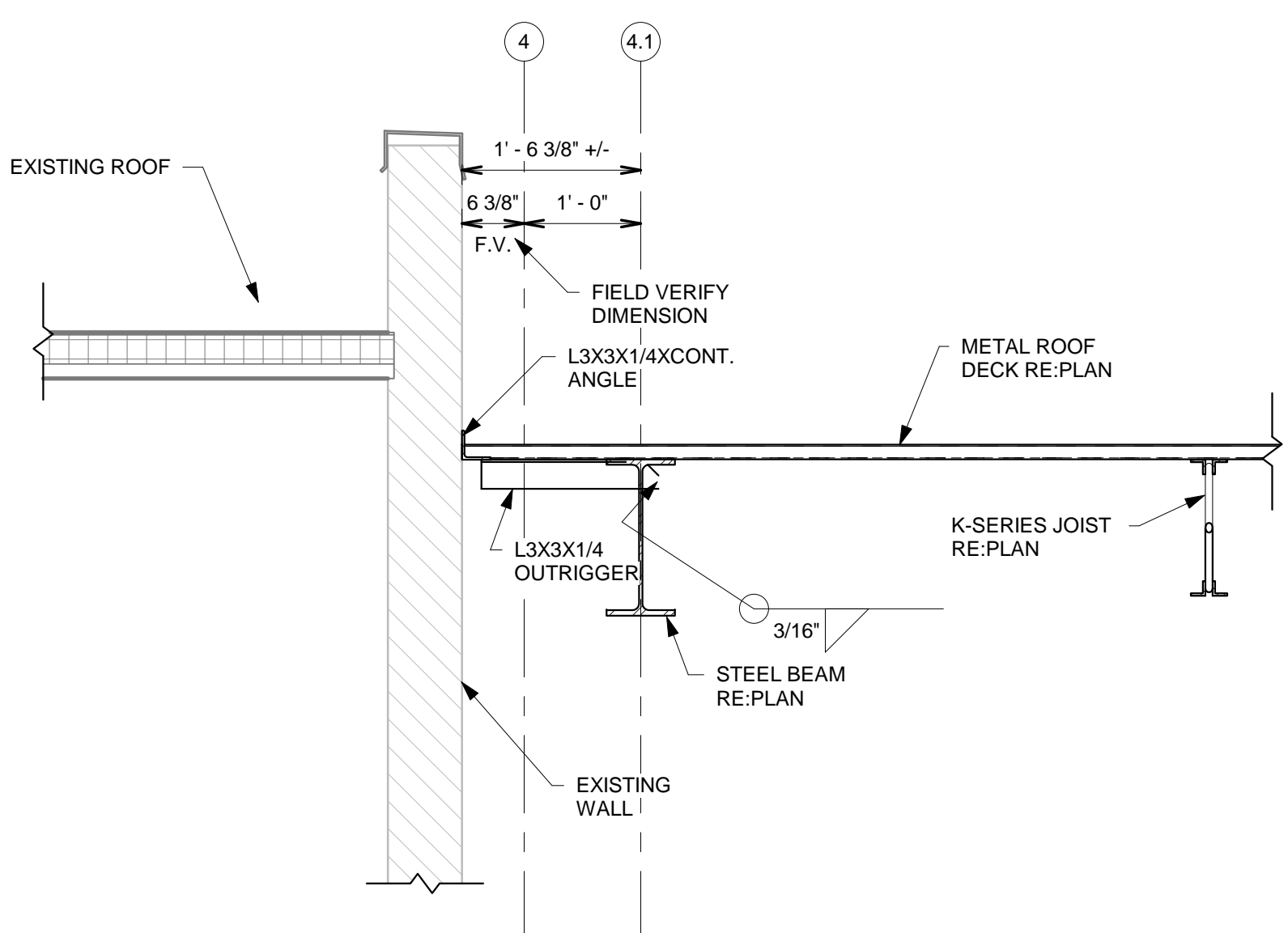
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3/4" = 1'-0"



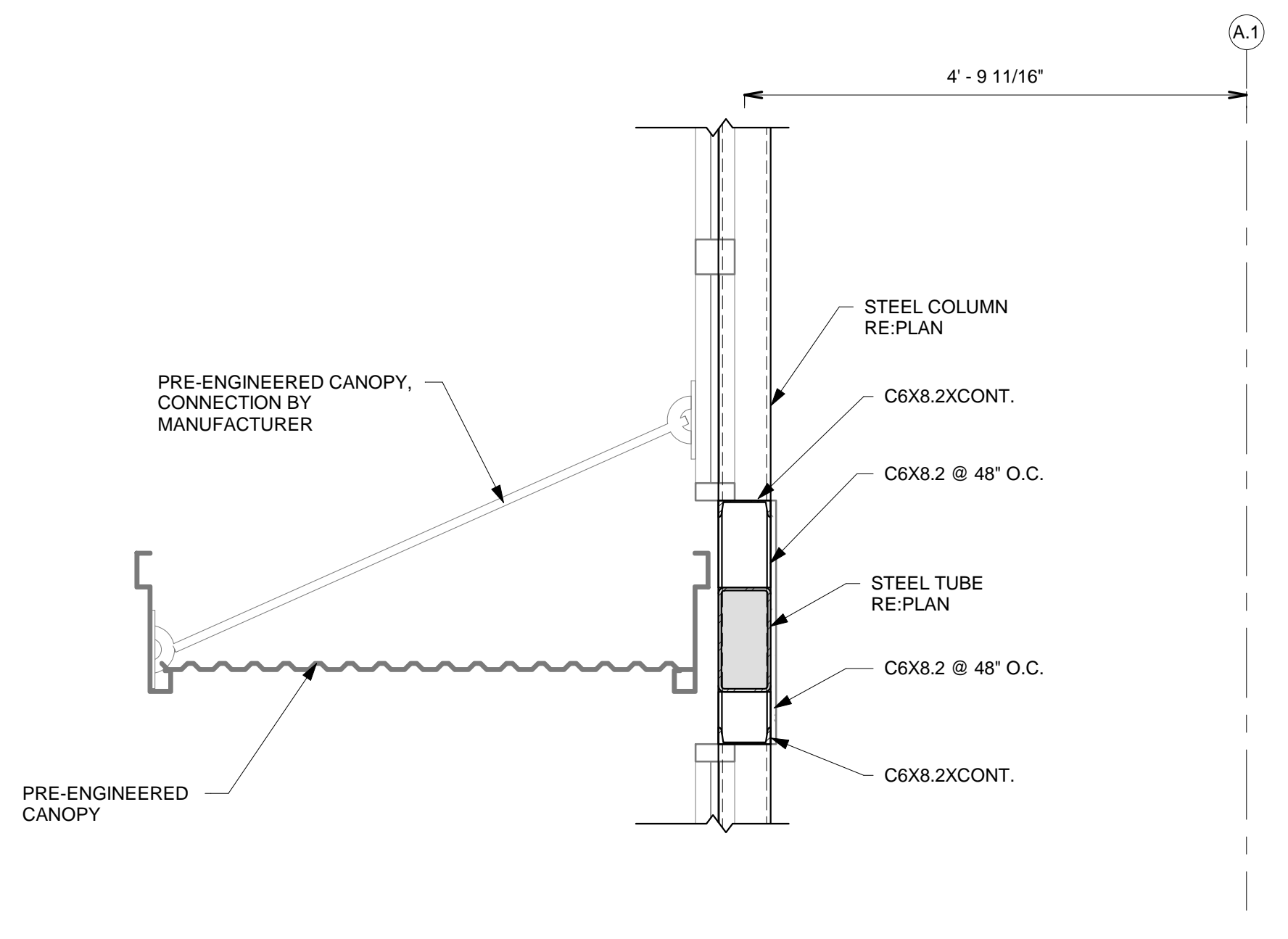
3 RFS - SECTION 3  
3/4" = 1'-0"



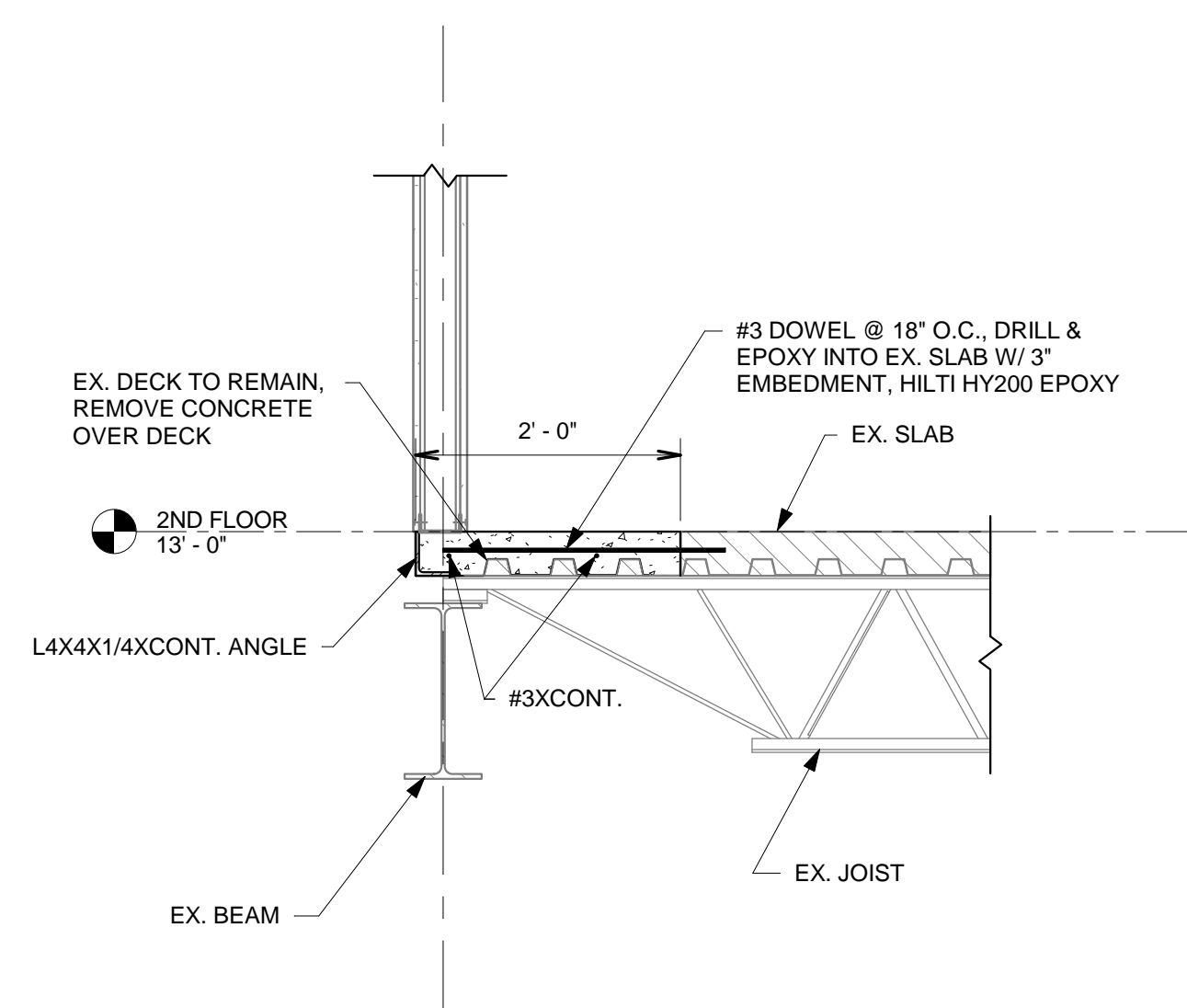
4 RFS - SECTION 4  
3/4" = 1'-0"



5 RFS - SECTION 5  
3/4" = 1'-0"



6 RFS - SECTION 6  
3/4" = 1'-0"



7 RFS - SECTION 7  
3/4" = 1'-0"

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Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
FRAMING SECTIONS

Project No.  
17027

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Date  
11-3-2017



PROJECT NO. 17340  
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Lakeland, TN CSAstructures.com Knoxville, TN

Sheet No.  
**S3.2**



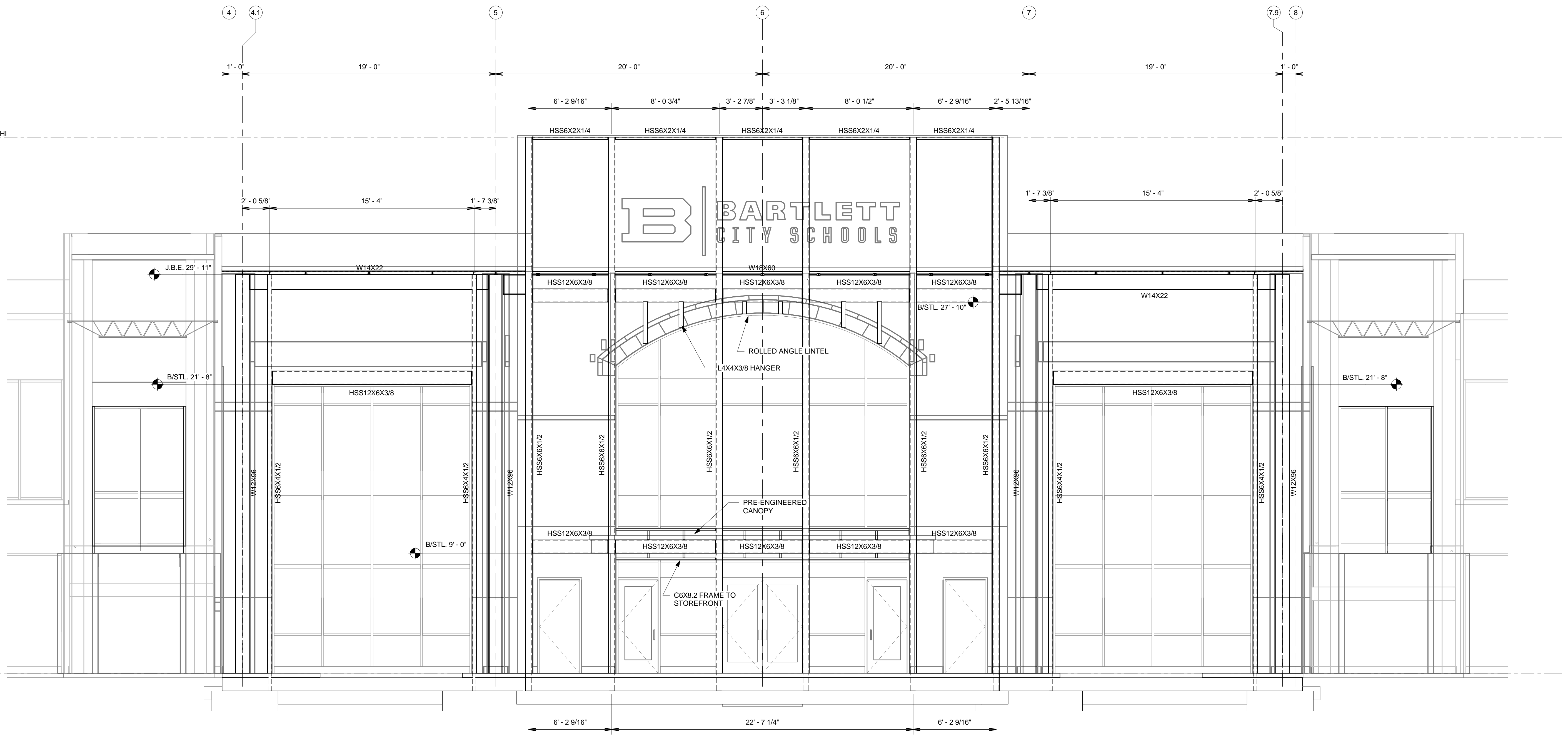
r e n a i s s a n c e g r o u p

T/PARAPET HI  
40' - 2 1/2"

2ND FLOOR  
13' - 0"

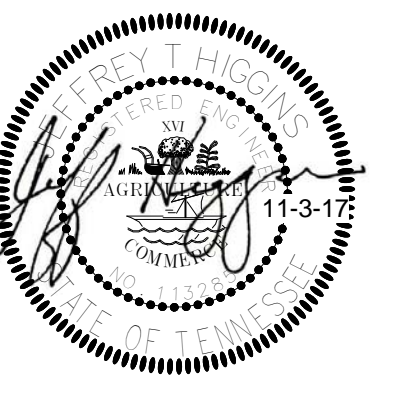
F.F.E.  
0' - 0"

1  
S4.1  
FRONT ELEVATION  
1/4" = 1'-0"



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REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
FRONT ELEVATION

Project No.  
17027

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Date  
11-3-2017

**S4.1**  
Sheet No.

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**CSA** PROJECT NO 17340  
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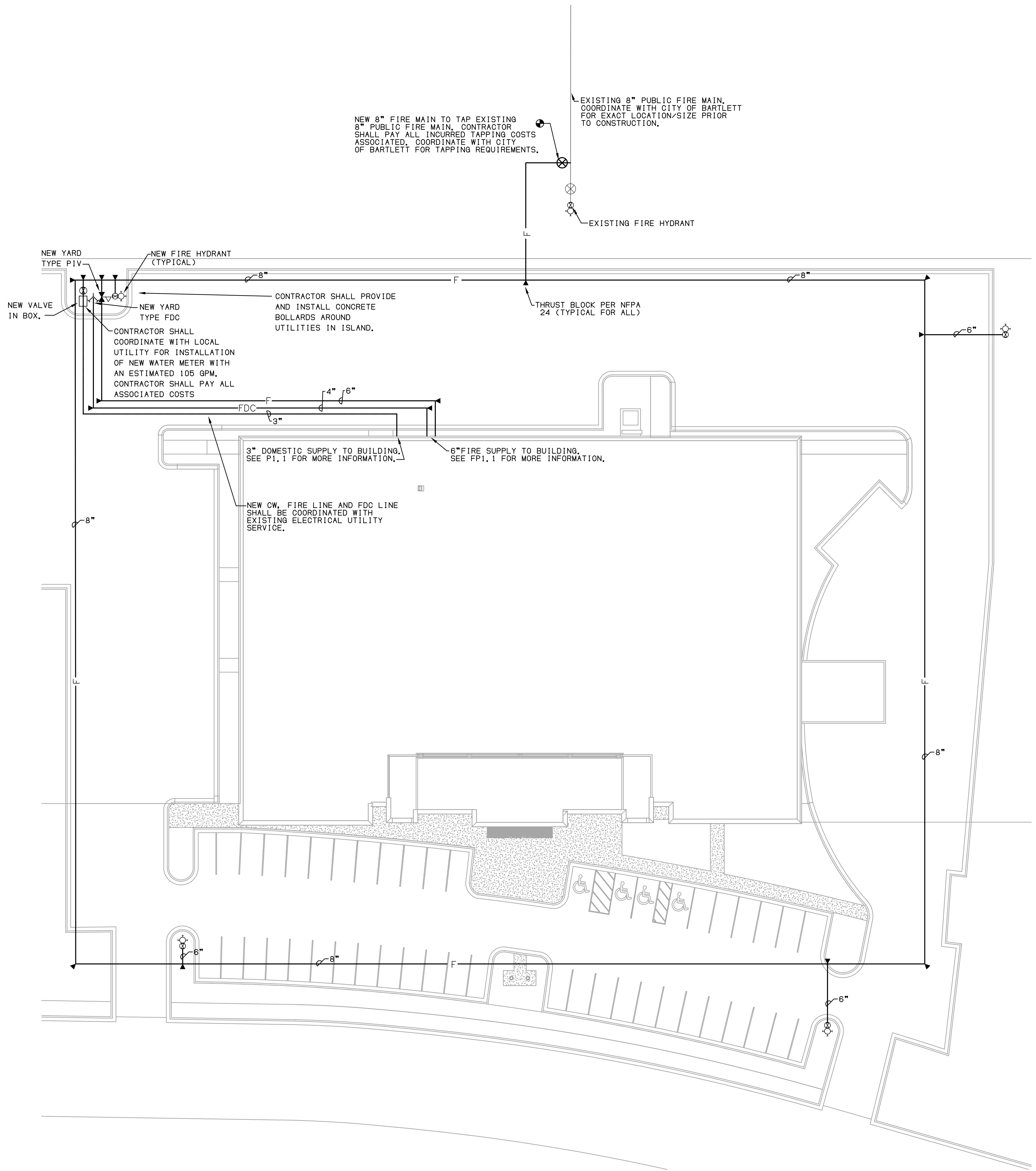
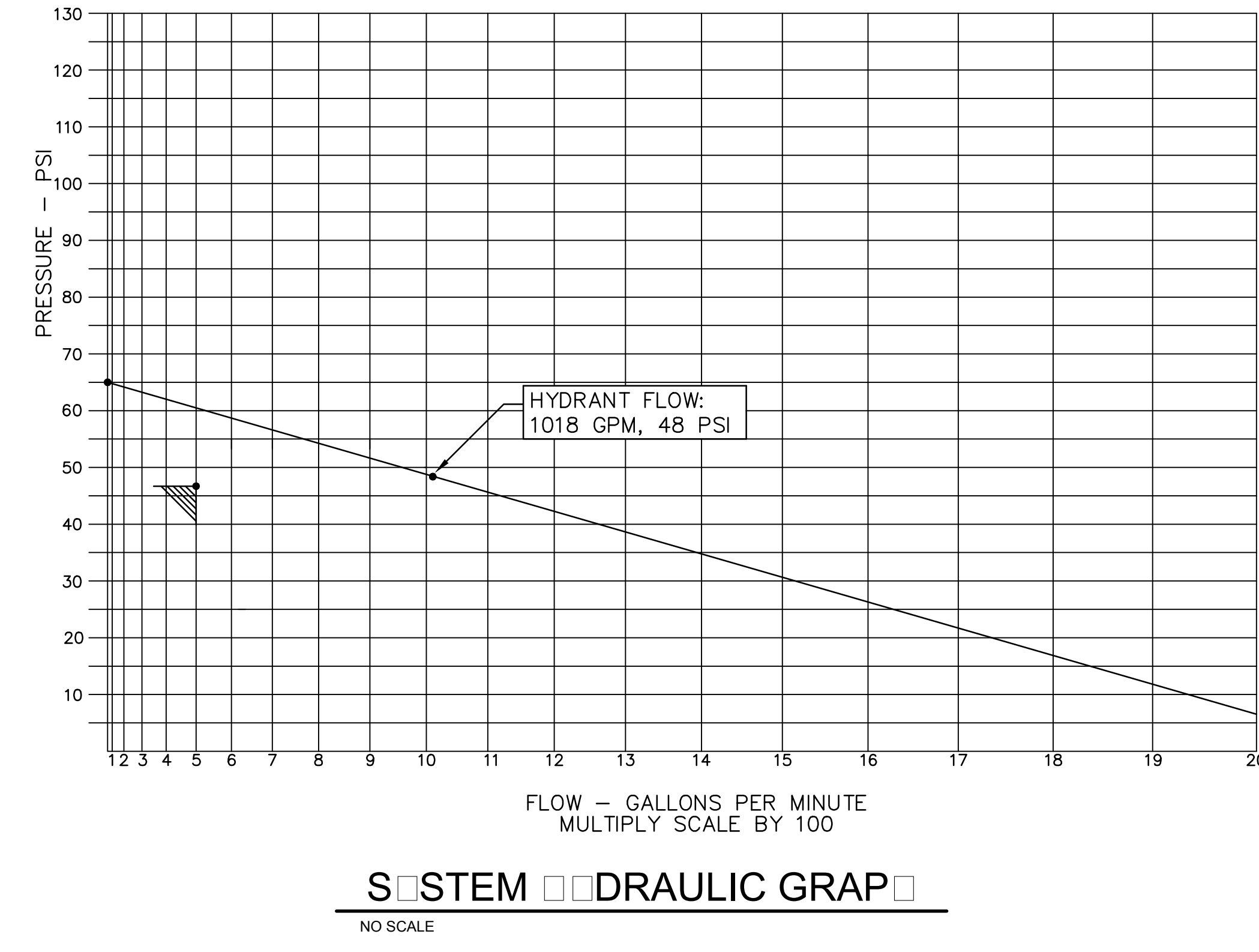


REV	DESCRIPTION	DATE

r e n a i s s a n c e g r o u p

**FLOW TEST RESULTS:**  
 STATIC PRESSURE: 66.2 PSI  
 RESIDUAL PRESSURE: 48.3 PSI  
 RESIDUAL FLOW: 1018 GPM  
 PERFORMED BY: CITY OF BARTLETT  
 DATE OF TEST: 6/9/2015  
 LOCATION OF TEST: 84 LUMBER DRIVE

**SPRINKLER SYSTEM DEMAND:**  
 SPRINKLER DEMANDS @ SOURCE: 47 PSI @ 500 GPM  
 PUBLIC SUPPLY @ FP SUCTION: 45 PSI @ 500 GPM  
 PRESSURE BOOST REQUIRED: N/A



1 SITE PLAN - FIRE PROTECTION  
1" = 20.0'

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
 SITE PLAN - FIRE PROTECTION

Project No.  
 17027

Drawn by  
 MDP

Date  
 11/1/2017

FP1.0

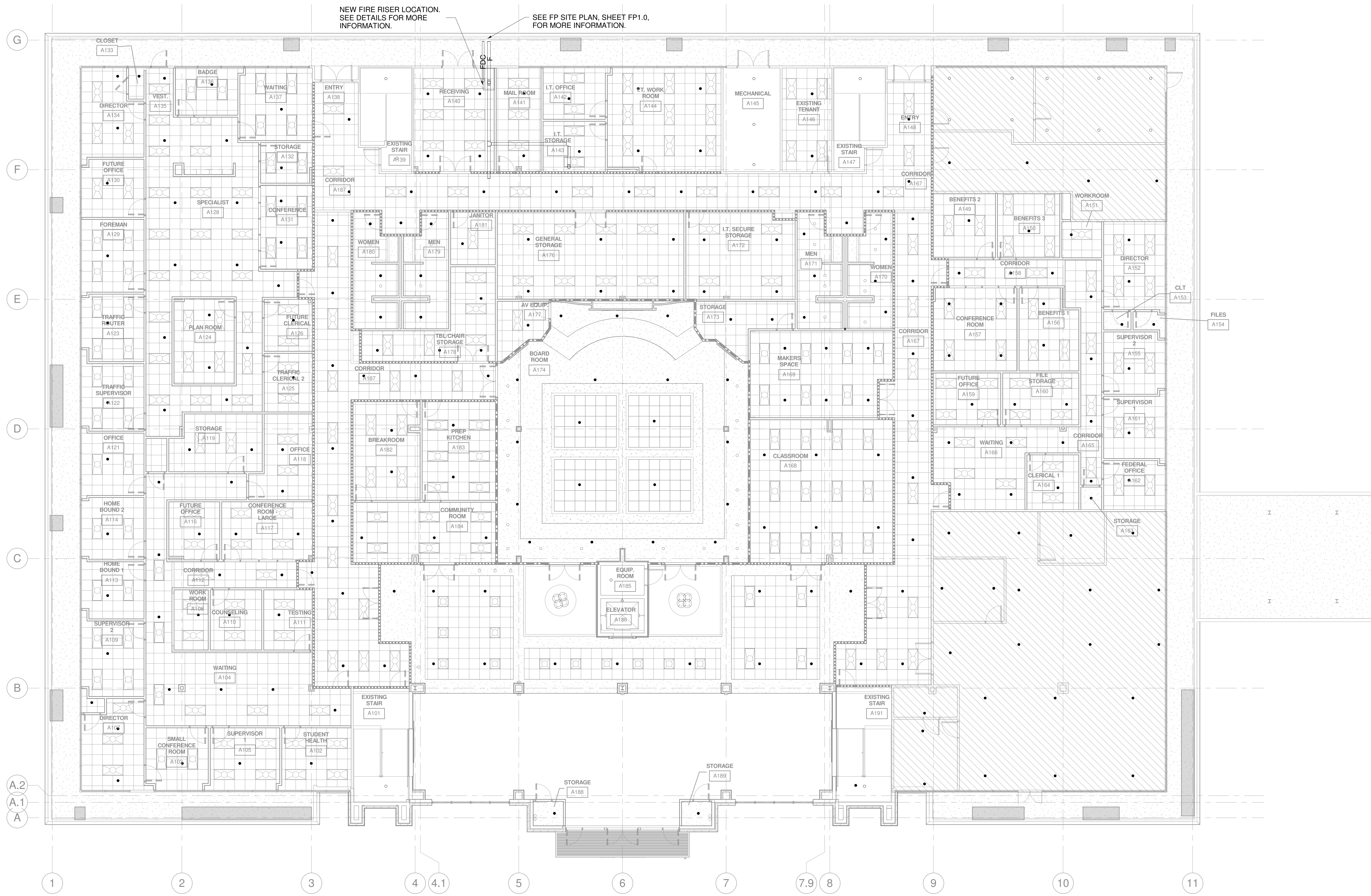


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REV	DESCRIPTION	DATE



NEW FIRE RISER LOCATION.  
SEE DETAILS FOR MORE  
INFORMATION.

SEE FP SITE PLAN, SHEET FP1.0,  
FOR MORE INFORMATION.

**1 1ST FLOOR PLAN - FIRE PROTECTION**  
1/8" = 1'-0"

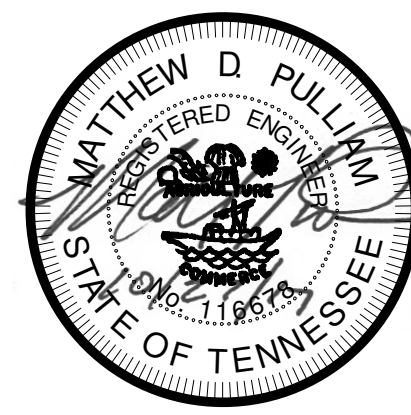
Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

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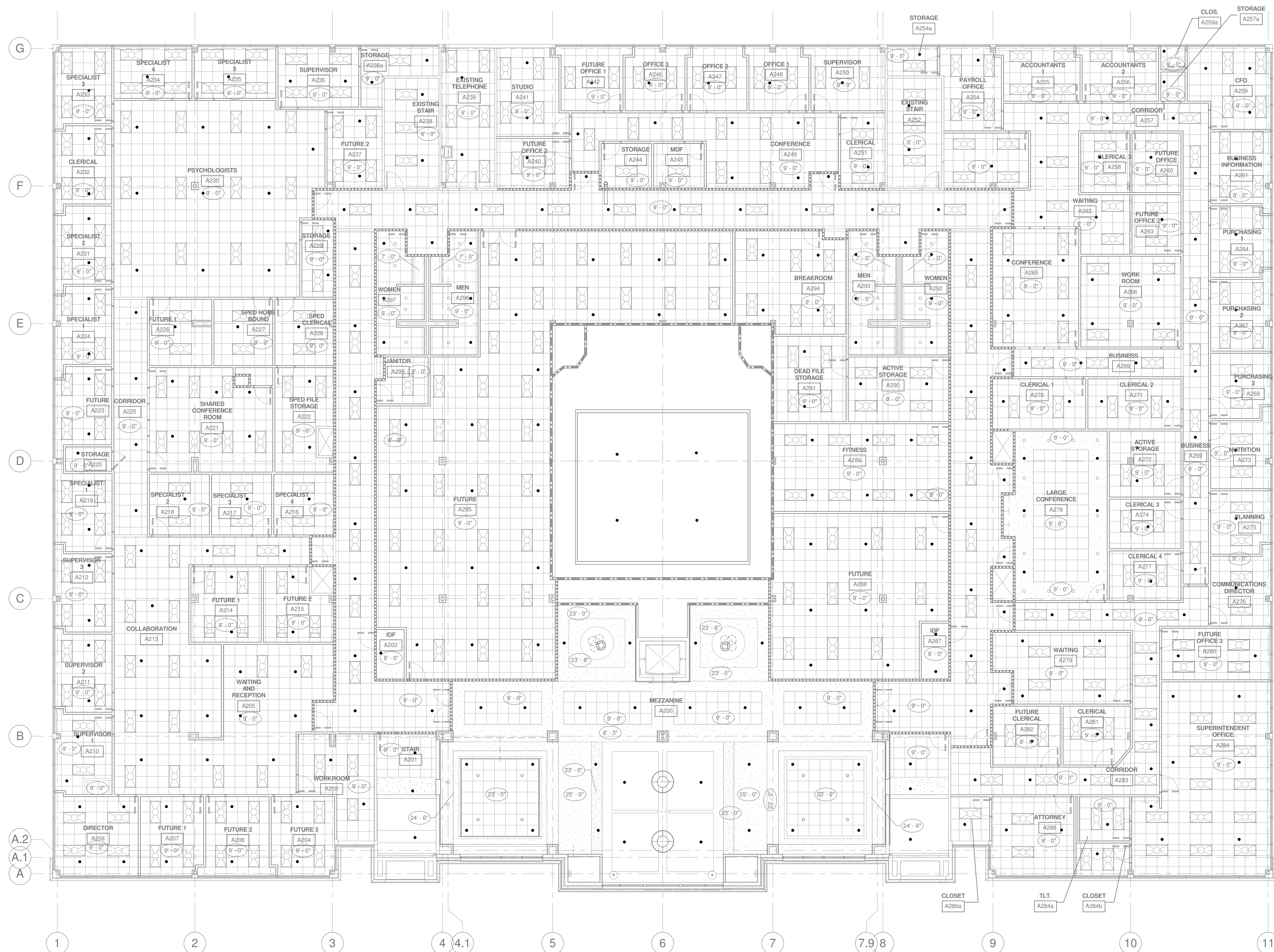
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REV	DESCRIPTION	DATE

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**1 2ND FLOOR PLAN - FIRE PROTECTION**  
1/8" = 1'-0"

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Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
2ND FLOOR PLAN - FIRE  
PROTECTION

Project No.  
17027

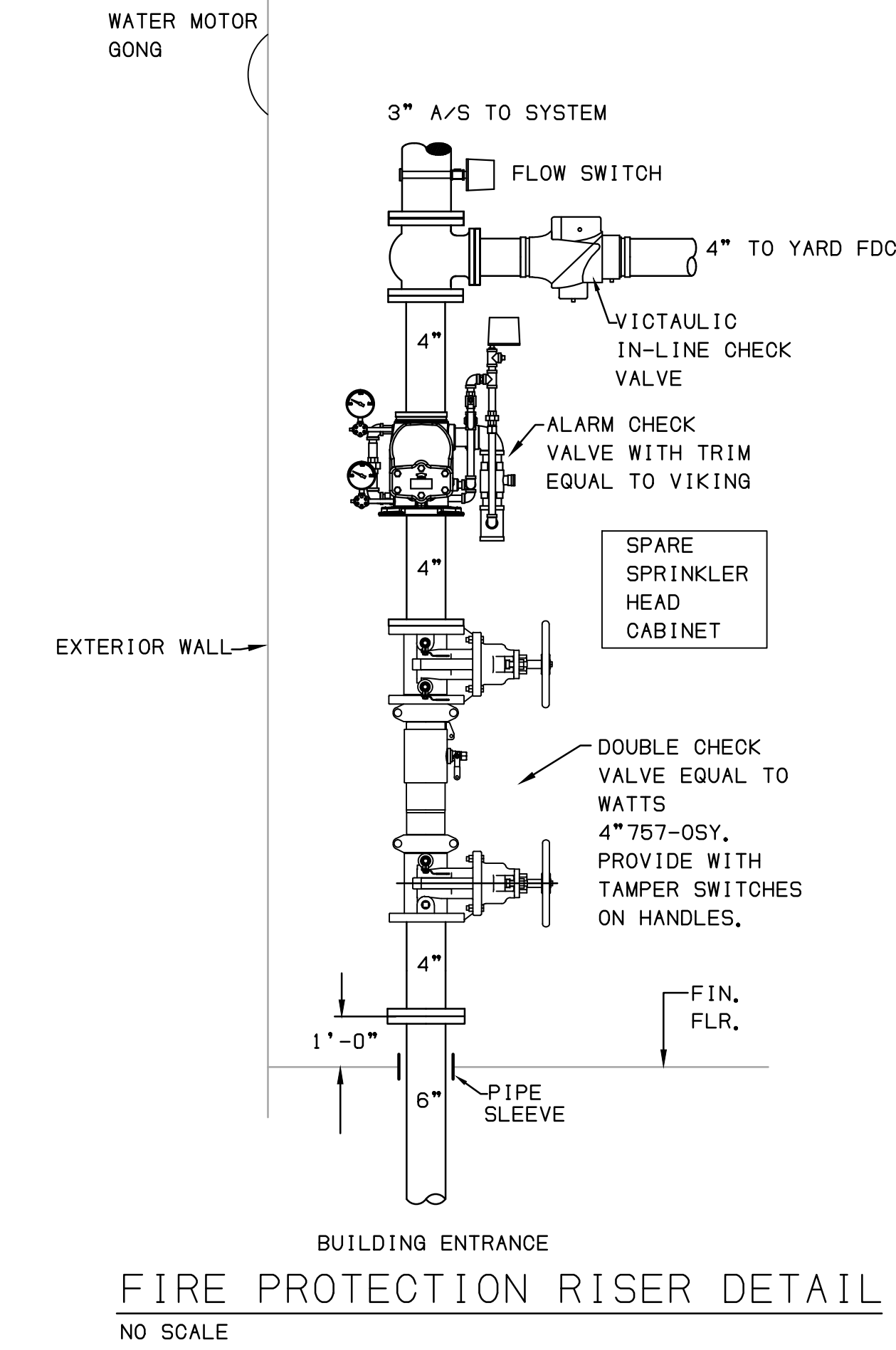
Design by  
Author

Date  
11/6/2017

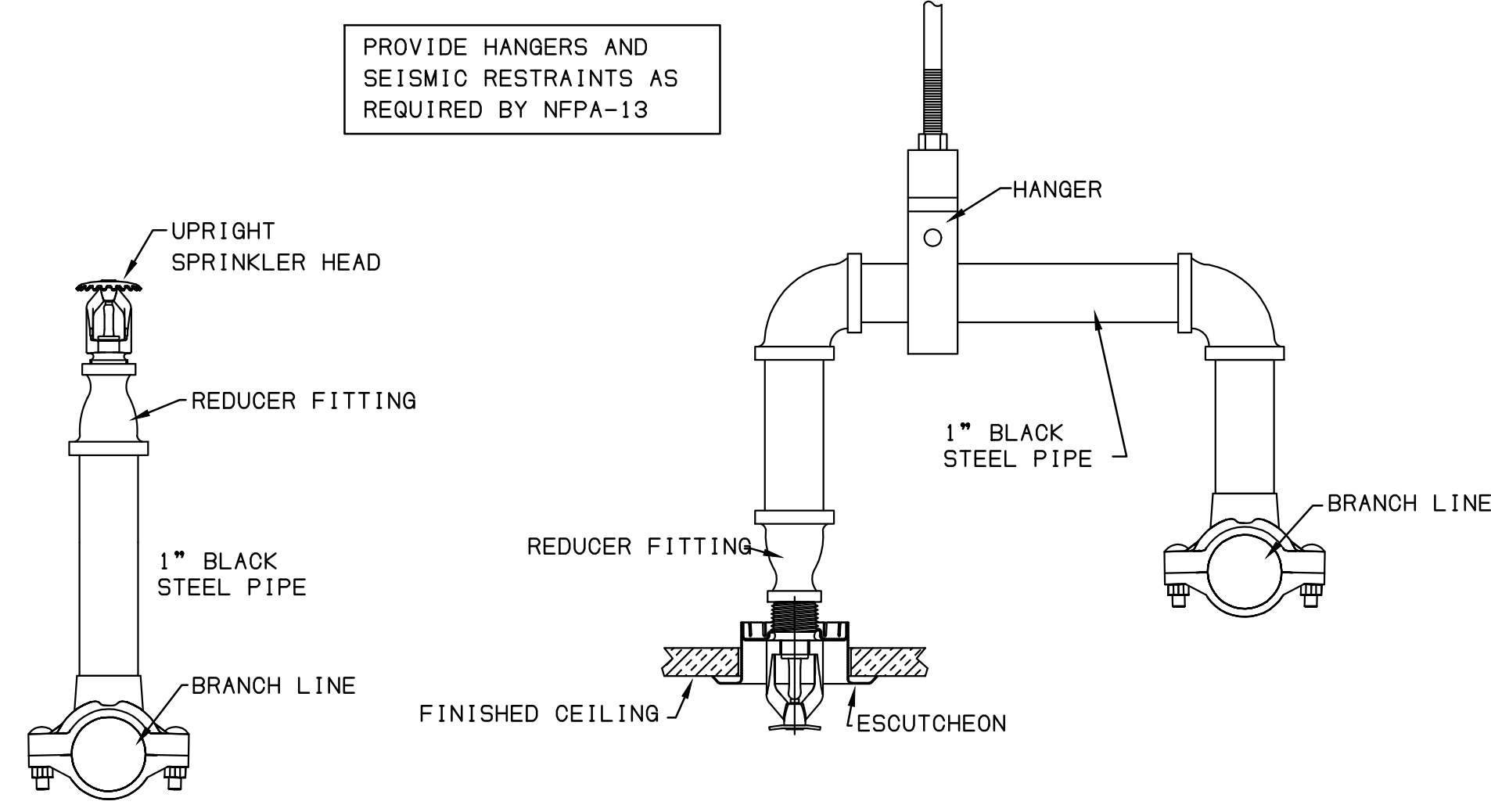
**FP1.2**  
Sheet No.

FIRE PROTECTION NOTES:

- CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE 100% HYDRAULICALLY CALCULATED AUTOMATIC WET PIPE SPRINKLER SYSTEM AS SPECIFIED, SERVING THE RENOVATED AND NEW AREAS. THE SPRINKLER SYSTEM SHALL BE DESIGNED TO NFPA-13 REQUIREMENTS.
- CONTRACTOR SHALL USE THE FOLLOWING NFPA-13 OCCUPANCY CLASSIFICATIONS IN THE DESIGN OF AND CALCULATIONS FOR THE ALTERED AUTOMATIC SPRINKLER SYSTEM, CORRIDORS, OFFICES, CONFERENCE ROOMS, ETC.: LIGHT HAZARD; STORAGE ROOMS, MECHANICAL ROOMS, ELECTRICAL ROOMS, ETC.: ORDINARY HAZARD GROUP 1.
- SPRINKLER AREA EXCEPTIONS AND ADJUSTMENTS SHALL BE USED FOR THIS BUILDING PER NFPA-13.
- ALL A/S HEADS SHOWN IN SPACES WITHOUT CEILINGS SHALL BE INSTALLED WITHIN 12" OF UNDERSIDE OF FLOOR ABOVE AND IN ACCORDANCE WITH NFPA-13. ADDITIONAL HEADS MAY BE REQUIRED, AND SHALL BE PROVIDED AROUND OBSTRUCTIONS IN ACCORDANCE WITH NFPA-13.
- CONTRACTOR SHALL INSTALL SPRINKLER HEADS IN CENTER OF 24" X 24" CEILING TILES AND AT 12" INTERVALS ALONG LONG AXIS OF 24" X 48" CEILING TILES. HEADS SHALL BE A MINIMUM OF 12" OFF OF CEILING TILE SUPPORT GRID.
- A/S SPRINKLER PIPING SHALL BE INSTALLED AS CLOSE TO STRUCTURE AS POSSIBLE. COORDINATE CEILING CLEARANCES WITH ALL OTHER TRADES PRIOR TO SYSTEM FABRICATION.
- ALL SYSTEMS SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF NFPA. THESE DOCUMENTS, FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, NO PART OR SECTION OF NFPA (ALL CHAPTERS) SHALL BE VIOLATED, WHERE THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ARE LESS STRINGENT THAN THE REQUIREMENTS OF THE INSURANCE UNDERWRITER, THE UNDERWRITER'S REQUIREMENTS SHALL TAKE PRECEDENCE.
- THE AUTOMATIC SPRINKLER SYSTEM SHALL BE ZONED AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, LOCAL WATER UTILITY, AND/OR THE LOCAL FIRE DEPARTMENT FOR THE PERFORMANCE OF A FLOW TEST IN ACCORDANCE WITH NFPA-13 REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE WITH ALL DISCIPLINES INVOLVED PRIOR TO FABRICATION OR INSTALLATION TO AVOID ANY PIPE ROUTING PROBLEMS OR OBSTRUCTIONS.
- PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE SLEEVED AND/OR PATCHED AS DIRECTED BY THE SPECIFICATIONS, SEE ARCHITECTURAL (A-SERIES) DRAWINGS FOR FINAL FINISHES.
- FLEXIBLE SPRINKLER DROPS SERVING SPRINKLERS IN CEILINGS SHALL BE ALLOWED. FLEXIBLE SPRINKLER CONNECTIONS SHALL HAVE A MINIMUM OF 1" INTERNAL DIAMETER. CONNECTIONS SHALL BE FULLY BRAIDED, UL & FM APPROVED. CONNECTIONS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- AT ANY BUILDING SEPARATION, FLEXIBLE CONNECTIONS/COUPLINGS SHALL BE PROVIDED AND INSTALLED. AT ALL SEISMIC BUILDING SEPARATIONS, A SEISMIC RATED PIPING ASSEMBLY SHALL BE INSTALLED.
- IN AREAS WITH CEILINGS, CONCEALED TYPE HEADS SHALL BE INSTALLED.
- ALL TAMPER SWITCHES, FLOW SWITCHES, FLOOR CONTROL VALVES, ALONG WITH ANY OTHER FIRE ALARM CONNECTIONS SHALL BE INSTALLED AND COORDINATED WITH FIRE ALARM VENDOR FOR EXACT LOCATIONS & QUANTITIES.



**FIRE PROTECTION RISER DETAIL**  
NO SCALE



**SPRINKLER HEAD DETAIL**  
NO SCALE

PROVIDE HANGERS AND SEISMIC RESTRAINTS AS REQUIRED BY NFPA-13

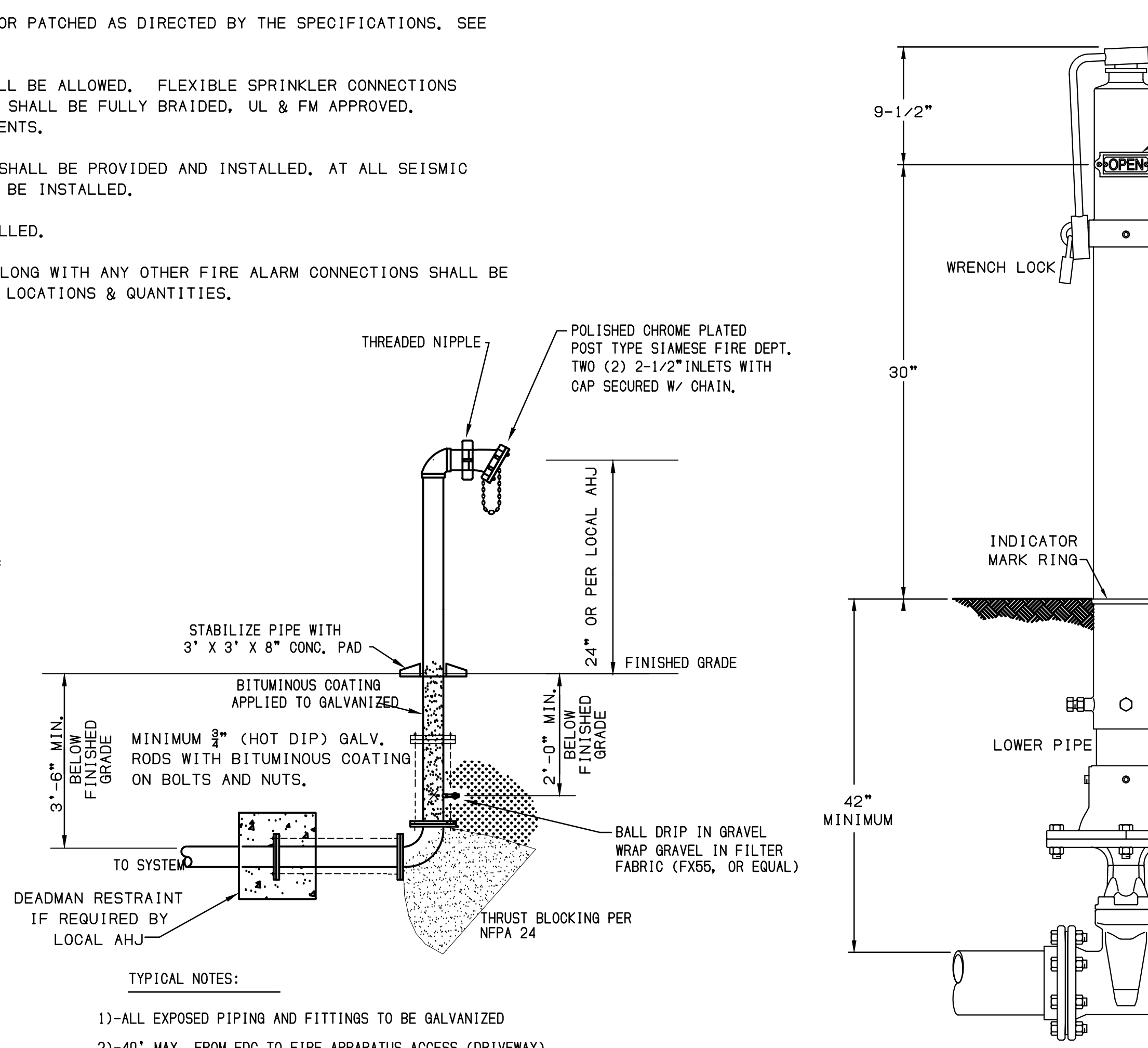
BACKFLOW PREVENTER SCHEDULE								
MARK	QTY.	SYSTEM	MANUFACTURER	MODEL	SIZE	GPM	PRESSURE DROP	REMARKS
BFP-1	1	FIRE	WATTS	757-OSY	8"	750	4 PSI	①

① ALL VALVES TO BE SUPERVISED WITH TAMPER SWITCHES. COORDINATE WITH ELEC FOR PROVIDED CIRCUIT.

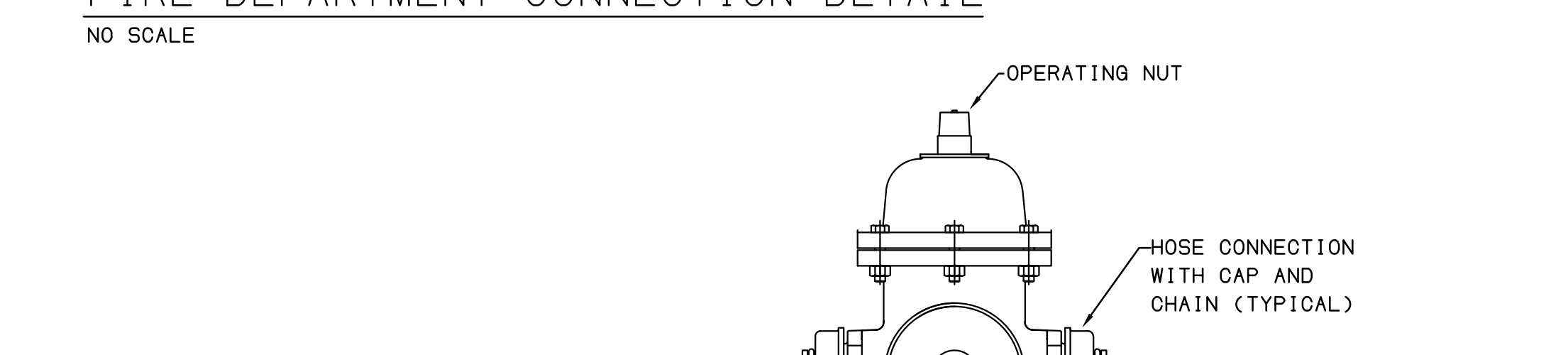
SPRINKLER HEAD LEGEND				
SYMBOL	DESCRIPTION	TEMP.	K	CONN.
○	STANDARD COVERAGE QUICK RESPONSE BRASS UPRIGHT	VARIABLE	5, 6	1/2"
●	STANDARD COVERAGE QUICK RESPONSE CONCEALED PENDENT, FACTORY WHITE FIN.	155 ° F	5, 6	1/2"
▶	STANDARD COVERAGE QUICK RESPONSE HORIZONTAL SIDEWALL	212 ° F	5, 6	1/2"

NOTES:  
1. TEMPERATURE RATING IS MINIMUM RECOMMENDED. INSTALL HEADS WITH HIGHER RATINGS IN ACCORDANCE WITH NFPA-13 REQUIREMENTS WHERE HEADS ARE IN HIGH TEMPERATURE AREAS OR IN PROXIMITY OF HEAT SOURCES INCLUDING DIFFUSERS.

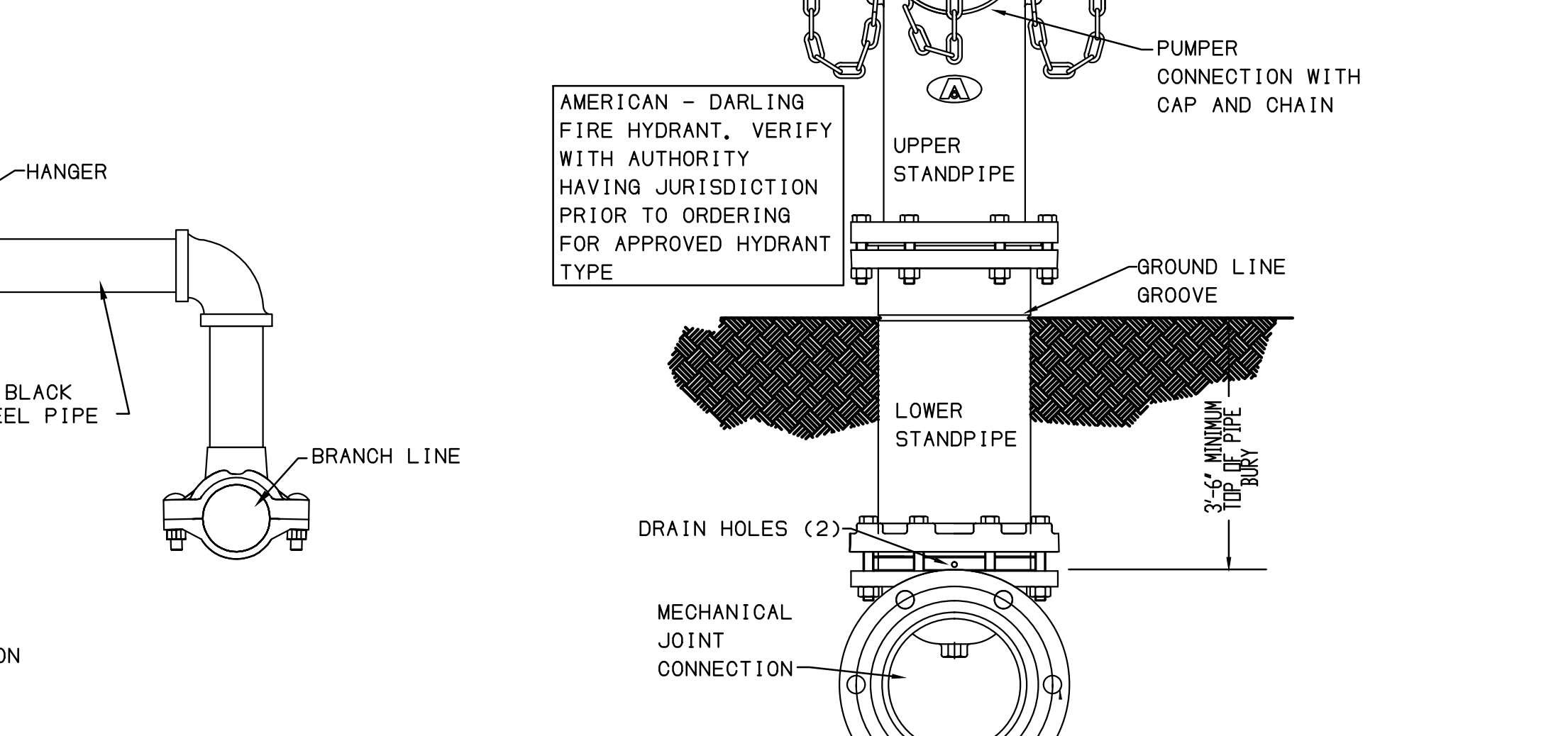
FIRE LEGEND	
LINE TYPE	DESCRIPTION
	A/S AUTOMATIC SPRINKLER (A/S)
	DRY PIPE A/S
	FIRE DEPARTMENT CONNECTION
	FIRE SUPPLY



**POST INDICATOR VALVE DETAIL**  
NO SCALE



**FIRE DEPARTMENT CONNECTION DETAIL**  
NO SCALE



**FIRE HYDRANT DETAIL**  
NO SCALE

**System No. C-AJ-2282**

Rating 2  
Rating 1  
Rating At 400 (See Table 1) (See Table 1)  
Rating At 100 (See Table 1) (See Table 1)

**1 Floor Assembly** - Minimum 1 1/4 inch aggregate concrete with 4 #4 reinforcement bars for floor and 1 1/2 inch aggregate concrete with 4 #4 reinforcement bars for ceiling. See Precast Concrete Units for details.

**2 Steel Sleeve** - 4 inch nominal diameter steel sleeve with 4 inch nominal diameter hole. See Steel Sleeve schedule for details.

**2A Nonmetallic Sleeve** - 4 inch nominal diameter sleeve. See Nonmetallic Sleeve schedule for details.

**2B Sheet Metal Sleeve** - 4 inch nominal diameter sleeve. See Sheet Metal Sleeve schedule for details.

**3 Through Penetrant** - 4 inch nominal diameter pipe or sleeve. See Through Penetrant schedule for details.

**A Polyvinyl Chloride (PVC) Pipe** - 4 inch nominal diameter pipe or sleeve. See PVC Pipe schedule for details.

**B Chlorinated Polyvinyl Chloride (CPVC) Pipe** - 4 inch nominal diameter pipe or sleeve. See CPVC Pipe schedule for details.

**C Rigid Nonmetallic Conduit** - 4 inch nominal diameter conduit. See Rigid Nonmetallic Conduit schedule for details.

**D Electrical Nonmetallic Tubing** - 4 inch nominal diameter tubing. See Electrical Nonmetallic Tubing schedule for details.

**Specified Technologies Inc. 210 Evans Way Somerville, NJ 08876**

STI logo

**1 Acrylonitrile Butadiene Styrene (ABS) Pipe** - 4 inch nominal diameter pipe or sleeve. See ABS Pipe schedule for details.

**2 Firestop System** - Firestop system to be used at the penetration. See Firestop System schedule for details.

**A Fill, Void or Cavity Material - Wrap Strip** - 1/8 inch nominal thickness wrap strip. See Fill, Void or Cavity Material - Wrap Strip schedule for details.

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REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
LEGEND, SC, EDULES, DETAILS, AND NOTES  
FIRE PROTECTION

Project No.  
17027

Drawn by  
MDP

Date  
11/1/2017

**FP0.1**







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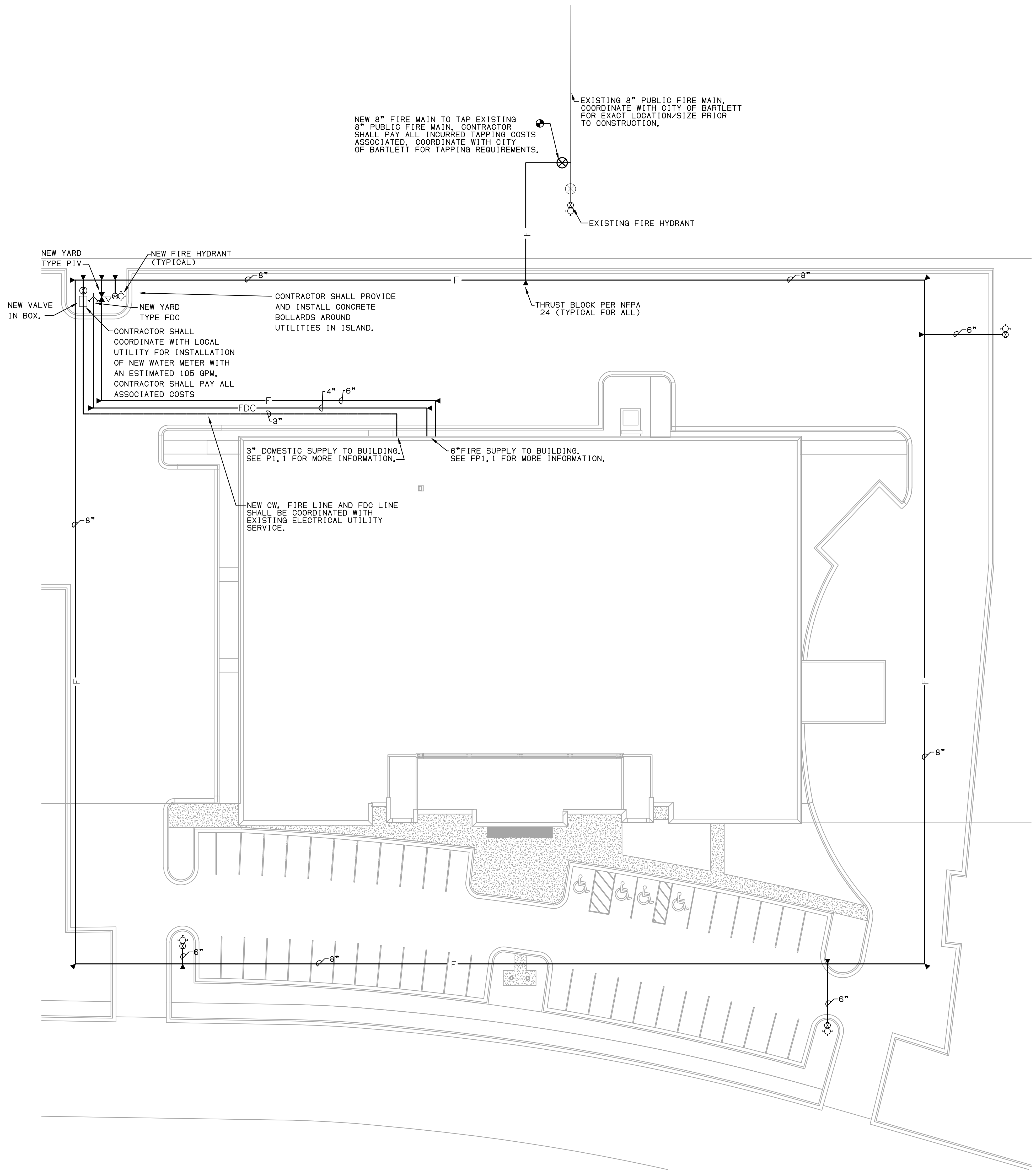
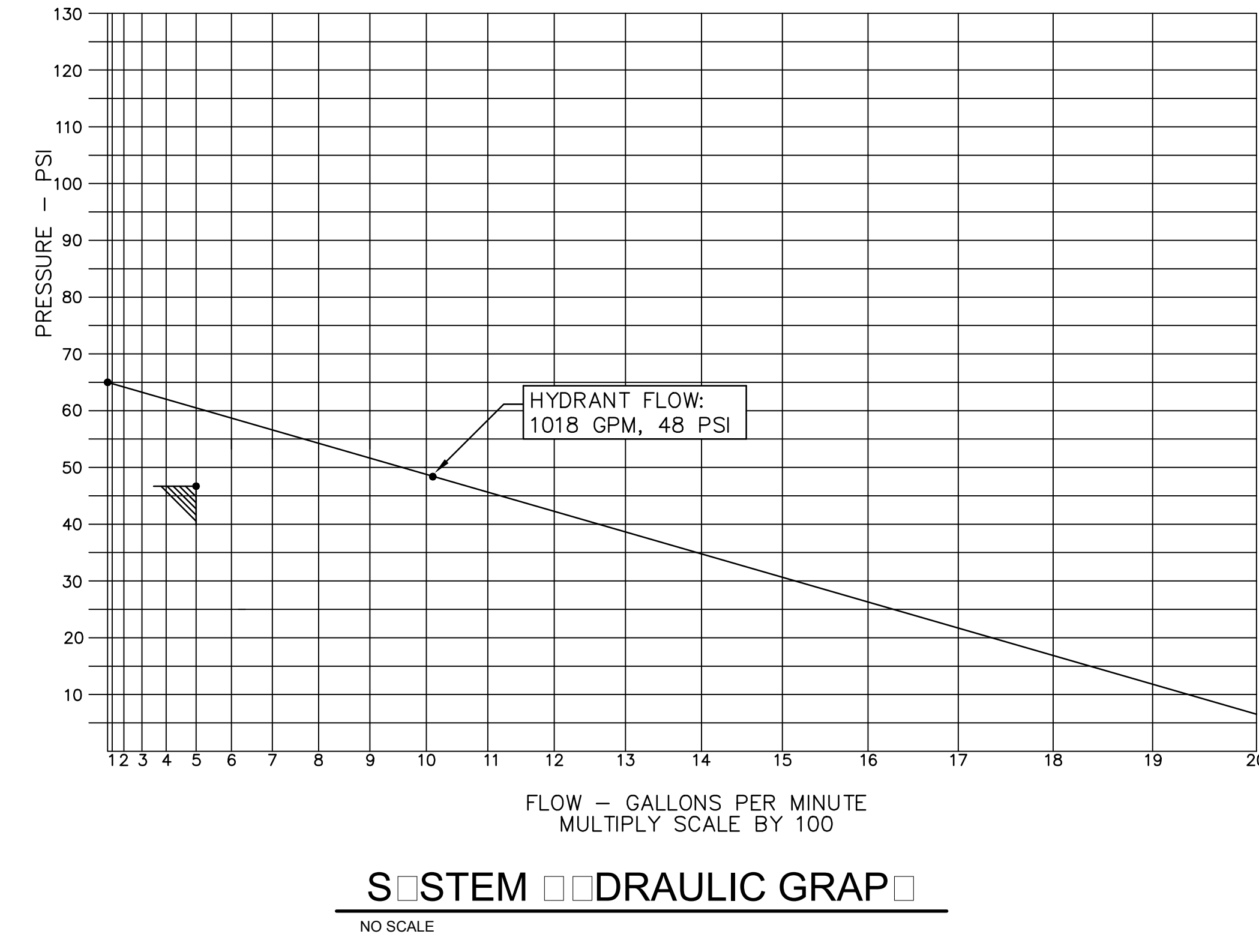


REV	DESCRIPTION	DATE

r e n a i s s a n c e g r o u p

**FLOW TEST RESULTS:**  
 STATIC PRESSURE: 65.2 PSI  
 RESIDUAL PRESSURE: 48.3 PSI  
 RESIDUAL FLOW: 1018 GPM  
 PERFORMED BY: CITY OF BARTLETT  
 DATE OF TEST: 6/9/2015  
 LOCATION OF TEST: 84 LUMBER DRIVE

**SPRINKLER SYSTEM DEMAND:**  
 SPRINKLER DEMANDS @ SOURCE: 47 PSI @ 500 GPM  
 PUBLIC SUPPLY @ FP SUCTION: 45 PSI @ 500 GPM  
 PRESSURE BOOST REQUIRED: N/A



1 SITE PLAN - FIRE PROTECTION  
1" = 20.0'

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
 SITE PLAN - FIRE PROTECTION

Project No.  
 17027

Drawn by  
 MDP

Date  
 11/1/2017

FP1.0

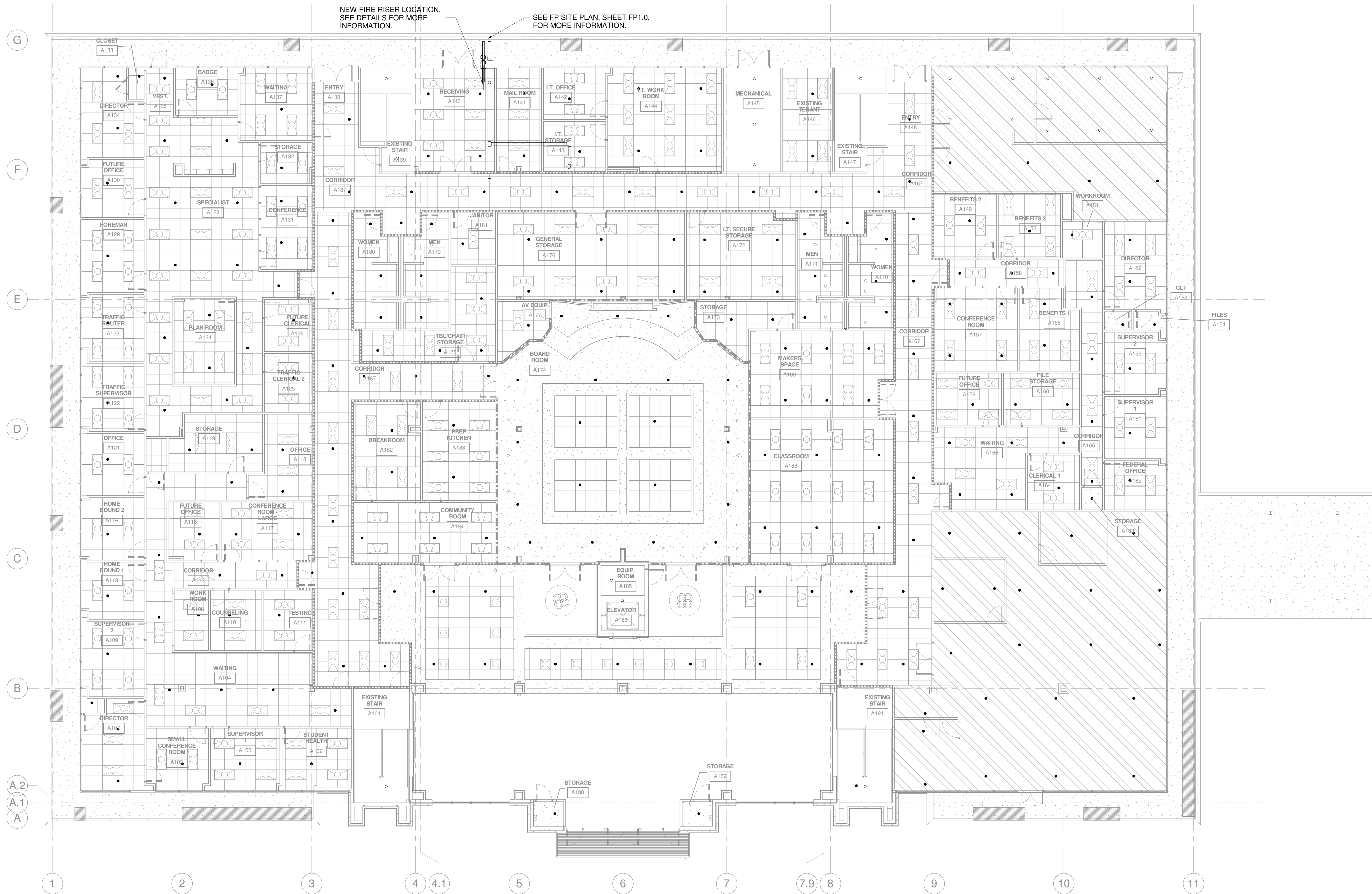


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REV	DESCRIPTION	DATE



**1 1ST FLOOR PLAN - FIRE PROTECTION**  
1/8" = 1'-0"

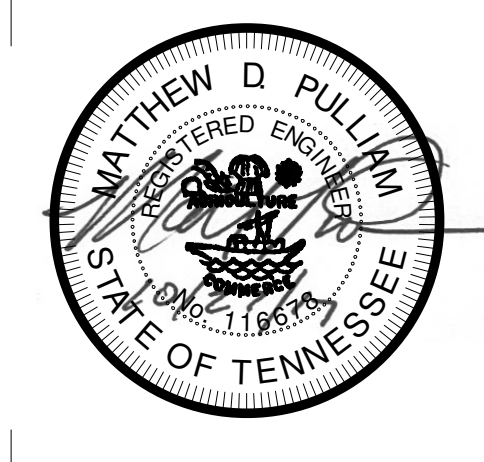
Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
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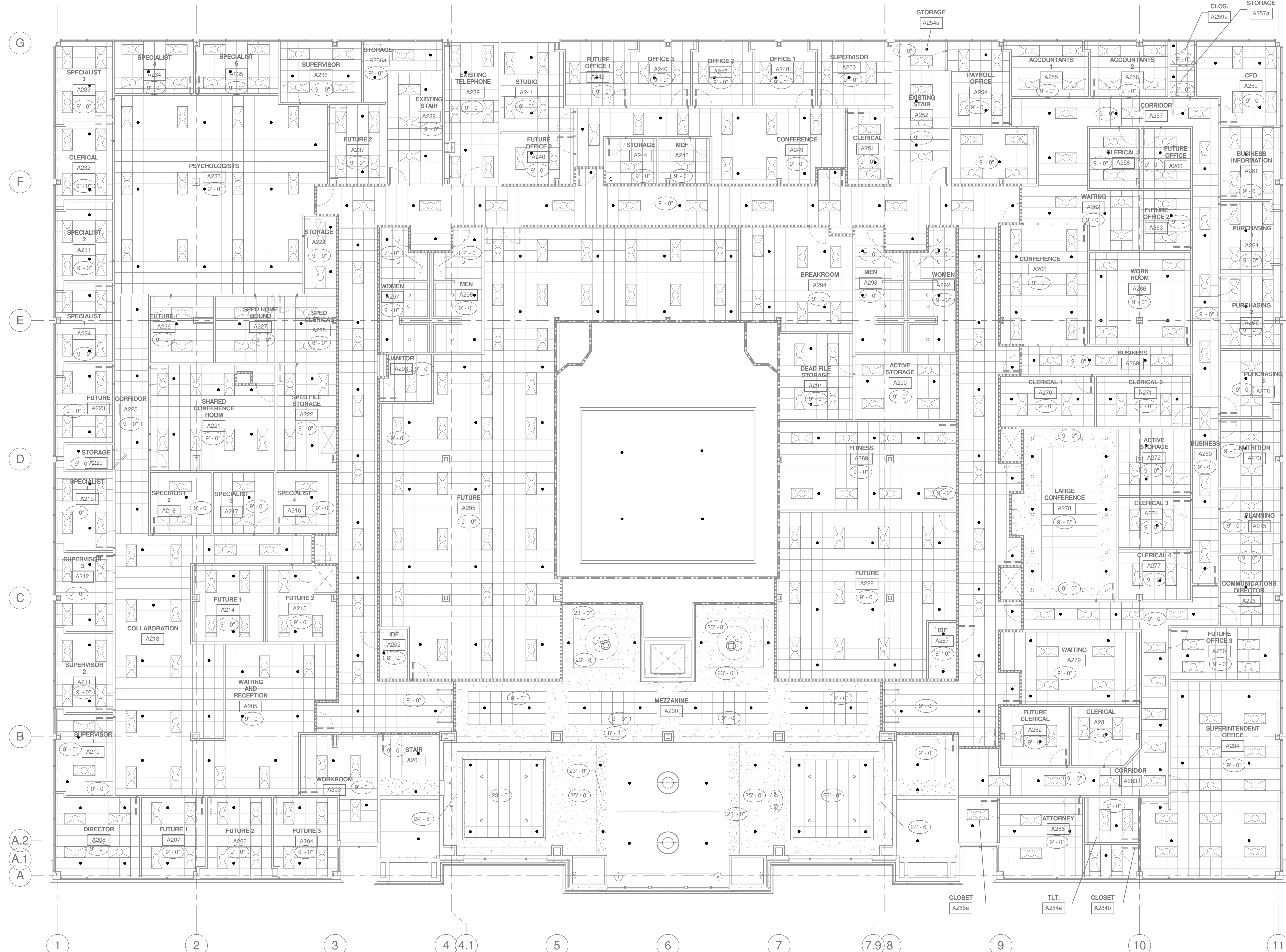


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REV	DESCRIPTION	DATE



**1 2ND FLOOR PLAN - FIRE PROTECTION**  
 1/8" = 1'-0"

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
 2ND FLOOR PLAN - FIRE PROTECTION

Project No.  
 17027

Drawn by  
 Author

Date  
 11/6/2017

**FP1.2**

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MOC	MAXIMUM OVER-CURRENT PROTECTION	DN	DOWN
MCA	MINIMUM CIRCUIT AMPS	OSA	OUTSIDE AIR
AHU-1	AIR HANDLING UNIT	EAD	EXHAUST AIR DUCT
AHU-1E	EXISTING AIR HANDLING UNIT	RA	RETURN AIR
RTU-1	PACKAGED ROOFTOP UNIT	RAD	RETURN AIR DUCT
RTU-1E	EXISTING PACKAGED ROOFTOP UNIT	SA	SUPPLY AIR
IN, WG	INCH WATER GAUGE	SAD	SUPPLY AIR DUCT
EST	ESTIMATED	SAFF	ABOVE FINISHED FLOOR
MAX	MAXIMUM	CFM	CUBIC FEET PER MINUTE
MIN	MINIMUM	TYP	TYPICAL
NC	NOISE CRITERIA	8ø	ROUND DUCTWORK
ESP	EXTERNAL STATIC PRESSURE	10x6	RECTANGULAR DUCT (WIDTHxDEPTH)
EF-1	EXHAUST FAN		

**1 ABBREVIATIONS - MECHANICAL**  
NOT TO SCALE

1. REFER TO 2012 INTERNATIONAL BUILDING CODE.
2. SEISMIC RESTRAINTS SHALL NOT BE REQUIRED FOR THE FOLLOWING INSTALLATIONS:
- A. PIPING IN MECHANICAL ROOMS (EXCEPT GAS PIPING) LESS THAN 1-1/4 INCH INSIDE DIAMETER
  - B. ALL OTHER PIPING (EXCEPT GAS PIPING) LESS THAN 2-1/2 INCH INSIDE DIAMETER.
  - C. ALL RECTANGULAR DUCTS LESS THAN 6 SQ. FT. IN CROSS-SECTIONAL AREA.
  - D. ALL ROUND DUCTS LESS THAN 28 INCHES IN DIAMETER.
  - E. ALL PIPING SUSPENDED BY INDIVIDUAL HANGERS 12 INCHES OR LESS IN LENGTH FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE SUPPORT FOR THE HANGER.
  - F. ALL DUCTS SUSPENDED BY HANGERS 12 INCHES OR LESS IN LENGTH FROM THE TOP OF THE DUCT TO THE BOTTOM OF THE SUPPORT FOR THE HANGER.

**2 SEISMIC NOTES - MECHANICAL**  
NOT TO SCALE

- FIRE DAMPER
- FIRE/SMOKE DAMPER
- THERMOSTAT
- TURNING VANES
- SUPPLY DUCT IN SECTION
- RETURN DUCT IN SECTION
- EXHAUST DUCT IN SECTION
- SUPPLY DIFFUSER
- DIFFUSER CFM AND TYPE
- RETURN/EXHAUST AIR DEVICE
- AIRFLOW DIRECTION
- NEW WORK
- EXISTING WORK TO BE REMOVED
- EXISTING WORK TO REMAIN

**3 SYMBOLS - MECHANICAL**  
NOT TO SCALE

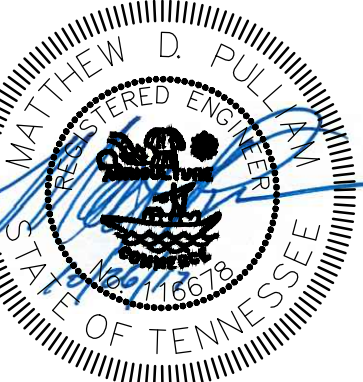
1. ALL PIPING AND DUCTS IN FINISHED ROOMS OR SPACES SHALL BE CONCEALED IN CHASES OR ABOVE SUSPENDED CEILINGS UNLESS OTHERWISE NOTED.
2. ACCESS PANELS IN SUSPENDED CEILINGS ARE REQUIRED FOR ALL VALVES, DAMPERS, CONTROLS, ETC., AND SHALL BE FURNISHED AND INSTALLED UNDER ARCHITECTURAL SPECIFICATIONS.
3. VERIFY LOCATION OF NEW EQUIPMENT AND APPURTENANCES.
4. COORDINATE THE HEATING, VENTILATION, AND AIR CONDITIONING WORK WITH THE WORK OF ALL OTHER TRADES INVOLVED WITH THIS PROJECT.
5. SEE ARCHITECTURAL CEILING PLAN FOR EXACT LOCATION OF CEILING AIR DEVICES, AIR DEVICE LOCATION ON MECHANICAL SHEETS ARE FOR QUANTITY AND REFERENCE.
6. DUCTWORK DIMENSIONS ARE INSIDE CLEAR DIMENSIONS.
7. PROVIDE MANUAL VOLUME DAMPER IN ALL BRANCH DUCTS AND IN OTHER LOCATIONS AS REQUIRED FOR PROPER BALANCING WITH INDICATED ON THE DRAWINGS OR NOT.
8. ALL MATERIAL INSTALLED IN RETURN AIR PLENUM SHALL HAVE FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50. INSTALL PLENUM RATED ELECTRICAL AND LOW VOLTAGE CABLE IN RETURN AIR PLENUM.
9. ALL TRANSFER AIR DUCTS TO BE LINED WITH 1" THICK ACOUSTICAL INSULATION.

**4 GENERAL NOTES - MECHANICAL**  
NOT TO SCALE



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1. FURNISH AND INSTALL ALL NECESSARY LABOR AND MATERIALS FOR A COMPLETE SYSTEM. ANY APPLIANCES OR MATERIALS OBVIOUSLY A PART OF THE SYSTEM AND NECESSARY FOR ITS PROPER OPERATION, ALTHOUGH NOT SPECIFICALLY MENTIONED HEREIN, SHALL BE FURNISHED AND INSTALLED AS IF CALLED FOR IN DETAIL.
2. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
3. ATTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES.
4. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND DO NOT NECESSARILY SHOW FITTING AND DETAIL. INSTALL DUCTS, EQUIPMENT, PIPING, ETC., IN A NEAT WORKMANLIKE MANNER, AND IN ACCORDANCE WITH GOOD PRACTICE FOR A COMPLETE WORKABLE INSTALLATION. AVOID CONFLICT WITH OTHER WORK; MAKE ADEQUATE PROVISIONS FOR PREVENTING NOISE AND VIBRATION. ARRANGE EQUIPMENT INTO THE AVAILABLE SPACE IN A MANNER TO MAKE ALL WORKING PARTS ACCESSIBLE FOR MAINTENANCE AND SERVICE.
5. MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED AGAINST DEFECTS FOR ONE YEAR.
6. PROTECT ALL MATERIALS AND EQUIPMENT FROM DAMAGE.
7. CONSTRUCT AIR DUCTS IN ACCORDANCE WITH SMACNA DUCT MANUALS LATEST EDITION.
8. HVAC WORK INDICATED DIAGRAMMATICALLY, EXACT LOCATION OF ALL COMPONENTS ARE TO BE DETERMINED IN THE FIELD AND BY THE ACTUAL BUILDING CONDITIONS.
9. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES BEFORE ANY INSTALLATION IS MADE.
10. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH STATE CODES, MANUFACTURER'S APPROVED PUBLISHED LITERATURE, AND AUTHORITIES HAVING JURISDICTION. A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE LOCATED ON THE JOB SITE AT ALL TIMES.
11. INSTALLATION OF ALL EQUIPMENT SHALL PERMIT ACCESSIBILITY FOR SERVICE AND/OR REPLACEMENT. A PERMANENT MEANS OF ACCESS IS REQUIRED FOR EQUIPMENT INSTALLED ON ROOFS OR ELEVATED STRUCTURES EXCEEDING 16'-0".
12. COORDINATE VOLTAGE AND PHASE OF EACH PIECE OF EQUIPMENT WITH ELECTRICAL CONTRACTOR BEFORE ORDERING.
13. FLEXIBLE DUCT RUNOUTS TO CEILING DIFFUSERS SHALL BE INSTALLED FREE OF KINKS AND SAGS. MAXIMUM LENGTH OF FLEXIBLE DUCT SHALL BE 3'-0".
14. COMPLETION AND TESTS SHALL INCLUDE CLEANING AND LUBRICATION OF ALL EQUIPMENT, AND ADJUSTMENTS FOR PROPER OPERATION. ADJUST DAMPERS, REGISTERS, AND DIFFUSERS FOR PROPER AIR DISTRIBUTION. CHECK SYSTEM UNDER ACTUAL OPERATING CONDITIONS AND MAKE ADJUSTMENTS FOR A UNIFORM TEMPERATURE THROUGH THE CONDITIONED SPACE.
15. LOCATIONS SHOWN FOR EQUIPMENT ARE APPROXIMATE LOCATIONS. CONTRACTOR SHALL COORDINATE WITH THE FIELD CONDITIONS FOR THE EXACT LOCATION AND MODIFY DUCTS/PIPES ACCORDINGLY.
16. CONTRACTOR SHALL FIELD VERIFY AVAILABLE SPACE FOR DUCTWORK BEFORE FABRICATING. CONTRACTOR SHALL MODIFY DUCTWORK TO FIT AVAILABLE FIELD CONDITIONS.
17. SIZE REFRIGERANT PIPING PER MANUFACTURERS RECOMMENDATIONS FOR ACTUAL LINE LENGTHS AND VERTICAL LIFT REQUIRED.
18. ALL EXTERIOR WALL AND ROOF PENETRATIONS SHALL BE SEALED WATERPROOF.
19. PROVIDE FIRESTOP WHERE PIPES, CONDUITS, BUS DUCTS, WIRES, DUCTS, AND SIMILAR BUILDING SERVICE EQUIPMENT PENETRATING RATED FLOORS AND WALLS.
20. ALL CEILING EQUIPMENT SHALL BE INSTALLED IN SUCH A WAY THAT LIGHTS, PIPING, AND DUCTWORK DO NOT BLOCK ACCESS TO UNITS AND RELATED ACCESSORIES.
21. ALL CONTROL WIRING TO BE ROUTED IN ELECTRICAL METALLIC TUBING.
22. PROVIDE 12x12 TRANSFER DUCT FOR EVERY 400 CFM IN ROOMS WHERE WALLS GO TO DECK AS REQUIRED.
23. ALL MATERIAL INSTALLED IN RETURN AIR PLENUM SHALL HAVE FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50.
24. PROVIDE INSTRUMENT TEST HOLES WITH CAPS IN AIR DISTRIBUTION SYSTEMS WHEREVER VOLUME DAMPERS ARE LOCATED.
25. ALL MISCELLANEOUS STRUCTURAL SUPPORTS REQUIRED FOR HVAC EQUIPMENT INSTALLATIONS SHALL BE PROVIDED BY HVAC CONTRACTOR.
26. ALL TRANSFER DUCTS SHALL BE INTERNALLY LINED.
27. ALL MITERED ELBOWS SHALL BE PROVIDED WITH TURNING VANES. ALL ROUND ELBOWS SHALL A CENTER TO FACE OF 1.5 X THE DUCT WIDTH.
28. CONTRACTOR SHALL FURNISH TESTING & BALANCING REPORT TO ENGINEER & OWNER PRIOR TO FINAL INSPECTION TO VERIFY REQUIRED PERFORMANCE HAS ACHIEVED.
29. ALL PIPING AND DUCTS IN FINISHED ROOMS OR SPACES SHALL BE CONCEALED IN FURRED CHASES OR SUSPENDED CEILINGS UNLESS OTHERWISE NOTED.
30. ACCESS PANELS IN SUSPENDED CEILINGS ARE REQUIRED FOR ALL VALVES, DAMPERS, CONTROLS, ETC., AND SHALL BE FURNISHED UNDER ARCHITECTURAL SPECIFICATIONS.
31. DUCTWORK AND RELATED SHEET METAL WORK:
  - A. CLASSIFICATION: LOW PRESSURE DUCTWORK SHALL BE LIMITED TO SYSTEMS OPERATING AT STATIC PRESSURES OF TWO INCHES OF WATER OR LESS AND HIGH PRESSURE DUCTWORK SHALL BE SYSTEMS OPERATING ABOVE TWO INCHES WATER COLUMN.
  - B. MATERIALS: MATERIALS SHALL COMPLY WITH SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE" FOR ACCEPTABLE MATERIALS, MATERIAL THICKNESS, AND DUCT CONSTRUCTION METHODS UNLESS OTHERWISE INDICATED. SHEET METAL MATERIALS SHALL BE FREE OF PITTING, SEAM MARKS, ROLLER MARKS, STAINS, DISCOLORATIONS, AND OTHER IMPERFECTIONS. THE GALVANIZED SHEET COATING SHALL BE G60 (Z180) CONFORMING TO ASTM A 653/A 653M. HIGH PRESSURE ROUND DUCTS SHALL BE MACHINE LUBRICATED SPIRAL LOCK SEAM TYPE. ROUND FITTINGS AND ROUND SPIRAL DUCT SHALL BE AS MANUFACTURED BY SHEET METAL CONNECTORS, INC.; LINDAB, INC.; SPIRAL MANUFACTURING COMPANY, INC.; OR EQUAL. GASKETS FOR HIGH PRESSURE DUCTS SHALL BE 3M TYPE 1202 OR EQUAL REINFORCED SYNTHETIC RUBBER SEALANT TYPE NOT LESS THAN 1/4 INCH THICK AND 3/8" WIDE; LIQUID DUCT SEALANT SHALL BE BRUSH OR FLOW GUN GRADE WHICH REMAINS FLEXIBLE AFTER AIR CURING, 9M TYPE 800 OR EQUAL.
  - C. CONSTRUCTION: CONSTRUCT DUCTWORK (EXCEPT FLEXIBLE DUCTING) WITH CAREFUL, NEAT, AND ACCURATE WORKMANSHIP, AND AIRTIGHT JOINTS AND SEAMS. CONSTRUCT DUCTWORK AND INSTALL IN ACCORDANCE WITH LATEST EDITIONS OF SMACNA'S "LOW VELOCITY DUCT CONSTRUCTION STANDARDS" OR AS APPLICABLE TO CLASSIFICATION OF DUCTWORK INVOLVED, INCLUDING ALL APPLICABLE RECOMMENDATIONS OF THESE STANDARDS.
32. ALL DUCTWORK SHALL BE INSULATED EXTERNALLY WITH TWO INCH FLEXIBLE FIBERGLASS DUCT WRAP. INSULATION SHALL COMPLY WITH ANSI/ASTM 0812; COMMERCIAL GRADE; "K" VALUE OF 0.29 AT 75 °F. PROVIDE A 0.002 INCH FOIL SCRIM FACING FOR DUCTWORK INSULATION. SECURE INSULATION WITH VAPOR BARRIER WITH WIRES AND SEAL JACKET JOINTS WITH VAPOR BARRIER ADHESIVE OR TAPE TO MATCH JACKET. SECURE INSULATION WITHOUT VAPOR BARRIER WITH STAPLES, TAPE, OR WIRES. RETURN AIR DUCTS SHALL BE INSULATED W/ 1" ACOUSTICAL DUCT LINER, 1.5 PCF MIN. DENSITY.
33. CONTRACTOR SHALL ONLY CONNECT TO EXISTING DUCTS/PIPING THAT IS OF EQUAL OR GREATER SIZE THAN NEW DUCT/PIPING BEING CONNECTED.
34. EQUIPMENT INSTALLED ABOVE DROP CEILINGS AT A HEIGHT OF 10'-0 OR MORE AFF MUST HAVE A SERVICE PLATFORM INSTALLED ON THE SERVICE SIDE OF THE EQUIPMENT.
35. ALL DUCT SIZES SHOWN ARE NET INSIDE CLEAR DIMENSIONS.
36. PROVIDE VOLUME DAMPERS AT EACH BRANCH TAKEOFF AND IN SUCH OTHER LOCATIONS WHERE REQUIRED TO PROPERLY BALANCE THE SYSTEM.
37. GAS PIPING - STEEL PIPE: ASTM A 53/A 53M, BLACK STEEL, SCHEDULE 40, TYPE E OR S, GRADE B.
  - 1. MALLEABLE-IRON THREADED FITTINGS: ASME B16.3, CLASS 150, STANDARD PATTERN.
  - 2. WROUGHT-STEEL WELDING FITTINGS: ASTM A 234/A 234M FOR BUTT WELDING AND SOCKET WELDING.
  - 3. UNIONS: ASME B16.39, CLASS 150, MALLEABLE IRON WITH BRASS-TO-IRON SEAT, GROUND JOINT, AND THREADED ENDS. PIPING 3/4" TO 2" FOR SYSTEMS WITH OPERATING PRESSURE OF 2 PSIG OR LESS SHALL HAVE THREADED JOINTS, PIPING OVER 2" WITH AN OPERATING PRESSURE OF 2 PSIG OR LESS SHALL HAVE WELDED JOINTS. ALL PIPING WITH AN OPERATING PRESSURE OVER 2 PSIG SHALL BE WELDED.
38. ALL MISCELLANEOUS STRUCTURAL SUPPORTS REQUIRED FOR HVAC EQUIPMENT INSTALLATIONS SHALL BE PROVIDED BY HVAC CONTRACTOR.
39. PROVIDE LABELS FOR ALL PIPING AND DUCTS WITH DIRECTION ARROWS.
40. SEE ARCHITECTURAL CEILING PLAN FOR EXACT LOCATION OF CEILING AIR DEVICES, AIR DEVICE LOCATION ON MECHANICAL SHEETS ARE FOR QUANTITY AND REFERENCE.

**5 GENERAL SPECIFICATIONS - MECHANICAL**  
NOT TO SCALE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
LEGEND, SC, E, DULES,  
DETAILS, AND NOTES  
MECHANICAL

Project No.  
17027

Drawn by  
MDP

Date  
11/1/2017

**M0.1**  
 Sheet No.



PACKAGED ROOFTOP UNIT SCHEDULE. Table with columns: GENERAL DATA (MARK, CFM, OSA, EXT SP IN, WG, EER), ELECTRICAL DATA (MOTOR HP, MCA, MOC, VOLTS/PHASE), DX COOLING COIL DATA (ENT AIR TEMP, SENSIBLE, TOTAL), GAS HEATING SECTION DATA (ENT AIR TEMP, NUMBER OF STAGES, INPUT, OUTPUT), COMMENTS.

- 1 RTU TO BE TRANE YSC048 OR EQUAL WITH SINGLE POINT ELECTRICAL CONNECTION, INTEGRAL DISCONNECT, 0-100% DUAL ENTHALPY ECONOMIZER WITH BAROMETRIC RELIEF, GAS HEAT, STAINLESS STEEL HEAT EXCHANGERS, HAIL GUARDS, HINGED ACCESS DOORS, CONDENSATE DRAIN PAN WITH WATER LEVEL MONITORING DEVICE, 18" HIGH ROOF CURB, AND CURB ADAPTER, UNIT TO BE BACNET COMPATIBLE AND CONNECTED TO BUILDING MANAGEMENT SYSTEM. CONTROLLER TO BE FIELD INSTALLED BY CONTROLS CONTRACTOR.

SPLIT SYSTEM HEAT PUMP SCHEDULE. Table with columns: GENERAL DATA (MARK, SERVES, NOMINAL TONNAGE, MIN SEER/EER), COOLING DATA (AMBIENT AIR, COOLING CAPACITY), HEATING DATA (AMBIENT AIR, HEATING CAPACITY), ELECTRICAL DATA (MCA, VOLTAGE/PHASE), COMMENTS.

- 1 HEAT PUMP SHALL BE TRANE 4TWA, PROVIDE EQUIPMENT SUPPORT CURB COMPATIBLE WITH THE ROOFING SYSTEM EQUAL TO THYBAR TEMS WITH NEOPRENE ISOLATION PADS BETWEEN SUPPORT AND UNIT.

CONDENSING UNIT SCHEDULE. Table with columns: GENERAL DATA (MARK, SERVES, NOMINAL TONNAGE, MIN SEER), COOLING DATA (AMBIENT AIR, COOLING CAPACITY), ELECTRICAL DATA (MCA, MOC, VOLTAGE/PHASE), COMMENTS.

- 1 CONDENSING UNIT SHALL BE EQUAL TO TRANE MODEL 4TTA WITH HAIL GUARDS.

ELECTRIC UNIT HEATER SCHEDULE. Table with columns: GENERAL DATA (MARK, SUPPLY AIR-CFM, MOUNTING HEIGHT, HEATING CAPACITY), ELECTRICAL DATA (KW, VOLTS/PHASE), COMMENTS.

- 1 UNIT HEATER SHALL BE EQUAL TO INDEECO MODEL WCI WITH UNIT-MOUNTED TAMPERPROOF THERMOSTAT, SURFACE MOUNTING KIT, & DISCONNECT. COLOR TO BE SELECTED BY THE ARCHITECT.

AIR DISTRIBUTION DEVICE SCHEDULE. Table with columns: MARK, NECK SIZE, FACE SIZE, MAX. N.C. RATING, MAXIMUM S.P. DROP, COMMENTS.

- 1 SUPPLY AIR DEVICE TO BE EQUAL TO NAILOR RNS WITH FACTORY INSULATED BACK.

EXHAUST FAN SCHEDULE. Table with columns: GENERAL DATA (MARK, CFM, MAX SONE RATING, EST ESP IN. WG., DISCHARGE, TYPE), FAN WHEEL (DRIVE, FAN SPEED RPM), ELECTRICAL DATA (MOTOR HP/WATTS, VOLTS/PHASE), COMMENTS.

- 1 EF TO BE EQUAL TO GREENHECK MODEL 9-095-VG WITH 18" HIGH ROOF CURB, DISCONNECT, SPEED CONTROLLER, BACKDRAFT DAMPER, AND ALL OTHER ACCESSORIES AS REQUIRED FOR INTERLOCKING.

SPLIT SYSTEM AIR HANDLING UNIT SCHEDULE. Table with columns: GENERAL DATA (MARK, CFM, OSA, EXT. S. P. W. G.), ELECTRICAL DATA (MOTOR HP, VOLTS/PHASE), DX COOLING COIL DATA, ELECTRIC HEATING SECTION DATA, GAS HEATING SECTION DATA, COMMENTS.

- 1 SIZE REFRIGERANT PIPE PER MANUFACTURER'S RECOMMENDATIONS. REFRIGERANT PIPING SHALL BE TYPE ACR DRAWN COPPER TUBING WITH WROUGHT COPPER FITTINGS, REFRIGERANT PIPING TO HAVE 3/8" ARMAFLEX INSULATION, PROVIDE VALVES AND SPECIALTIES IN ACCORDANCE WITH EQUIPMENT MFR.'S RECOMMENDATIONS.

MINI-SPLIT HEAT PUMP SCHEDULE. Table with columns: GENERAL DATA (MARK, SERVES, NOMINAL TONNAGE, MIN SEER), COOLING DATA, HEATING DATA, ELECTRICAL DATA, COMMENTS.

- 1 HEAT PUMP SHALL BE EQUAL TO LG MODEL LSN120HSV4.

MINI SPLIT SCHEDULE. Table with columns: GENERAL DATA (MARK, SUPPLY CFM, REFRIGERANT TYPE), COOLING DATA, HEATING DATA, COMMENTS.

- 1 UNIT TO BE EQUAL TO LG MODEL LSN120HSV4, PROVIDE CONDENSATE PUMP.

VARIABLE AIR DAMPER SCHEDULE. Table with columns: MARK, MAX AIR FLOW CFM, MIN AIR FLOW CFM, INLET SIZE (IN.), MAX. N.C. RATING, COMMENTS.

- 1 UNIT TO BE EQUAL TO TRANE VARITRAC OR APPROVED EQUAL.

VARIABLE AIR DAMPER SCHEDULE CONT'D. Table with columns: MARK, MAX AIR FLOW CFM, MIN AIR FLOW CFM, INLET SIZE (IN.), MAX. N.C. RATING, COMMENTS.

- 1 UNIT TO BE EQUAL TO TRANE VARITRAC OR APPROVED EQUAL.

VAD BYPASS DAMPER SCHEDULE. Table with columns: MARK, INLET SIZE (IN.), MAX. N.C. RATING, COMMENTS.

- 1 UNIT TO BE EQUAL TO TRANE VARITRAC OR APPROVED EQUAL.

GAS FIRED DUCT FURNACE SCHEDULE. Table with columns: GENERAL DATA (MARK, DUCT SIZE INCHES), HEATING DATA (INPUT, OUTPUT), ELECTRICAL DATA (FLA, VOLTS/PHASE), COMMENTS.

- 1 DF TO BE EQUAL TO TRANE GMND WITH INTEGRAL DISCONNECT, STAINLESS STEEL HEAT EXCHANGER, STAINLESS STEEL BOTTOM DRIP PAN, TWO STAGE CONTROLS, AND CONCENTRIC VENT KIT.

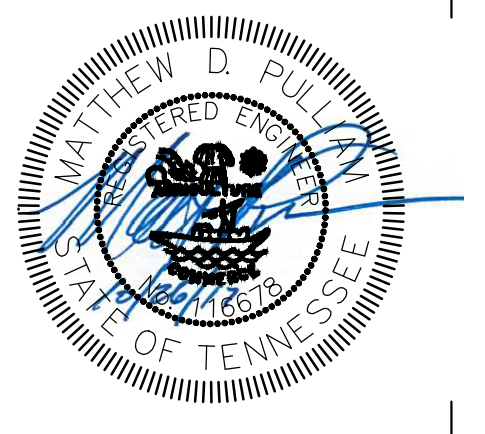


Table with columns: REV, DESCRIPTION, DATE. Empty rows for revision tracking.

Construction Documents for BARTLETT SCHOOL SYSTEM ADMINISTRATION OFFICE 5705 Stage Road Bartlett, TN 38134



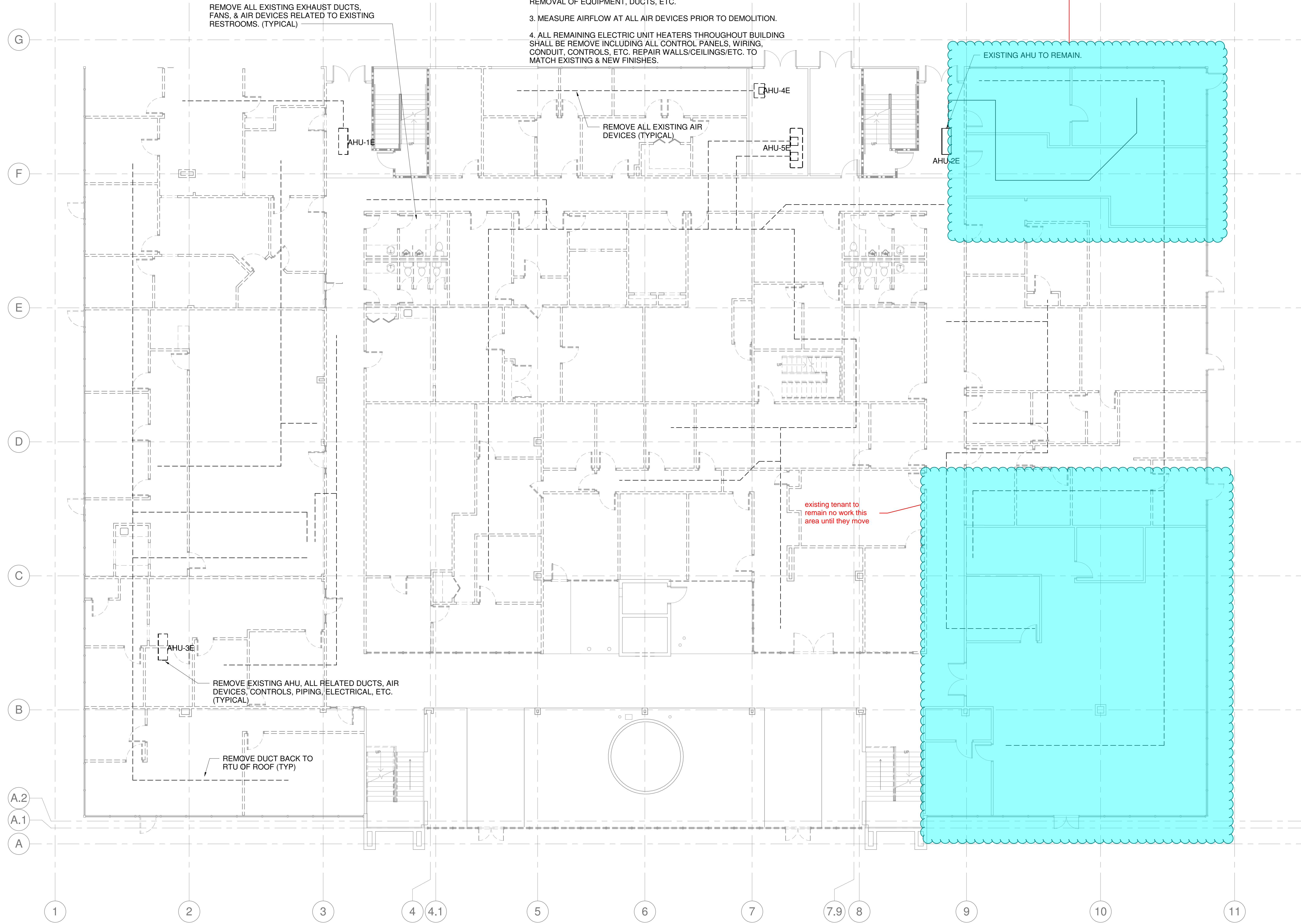
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REV	DESCRIPTION	DATE

- GENERAL DEMOLITION NOTES:**
1. PRIOR TO DEMOLITION, CONTRACTOR SHALL MEASURE SUPPLY, OUTSIDE & RETURN AIR FLOWS, DRY & WET BULB LEAVING & ENTERING TEMPERATURES OF ALL UNITS.
  2. SEAL ALL EXTERIOR PENETRATIONS AS REQUIRED AFTER REMOVAL OF EQUIPMENT, DUCTS, ETC.
  3. MEASURE AIRFLOW AT ALL AIR DEVICES PRIOR TO DEMOLITION.
  4. ALL REMAINING ELECTRIC UNIT HEATERS THROUGHOUT BUILDING SHALL BE REMOVE INCLUDING ALL CONTROL PANELS, WIRING, CONDUIT, CONTROLS, ETC. REPAIR WALLS/CEILINGS/ETC. TO MATCH EXISTING & NEW FINISHES.



**1 1ST FLOOR DEMO PLAN - MECHANICAL**  
1/8" = 1'-0"

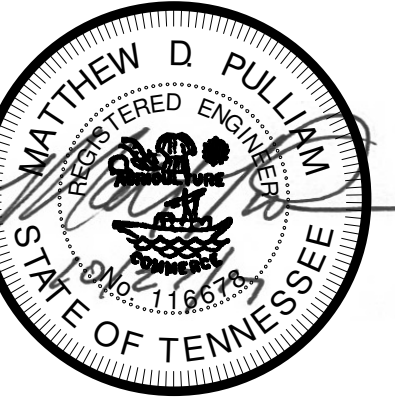
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Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134



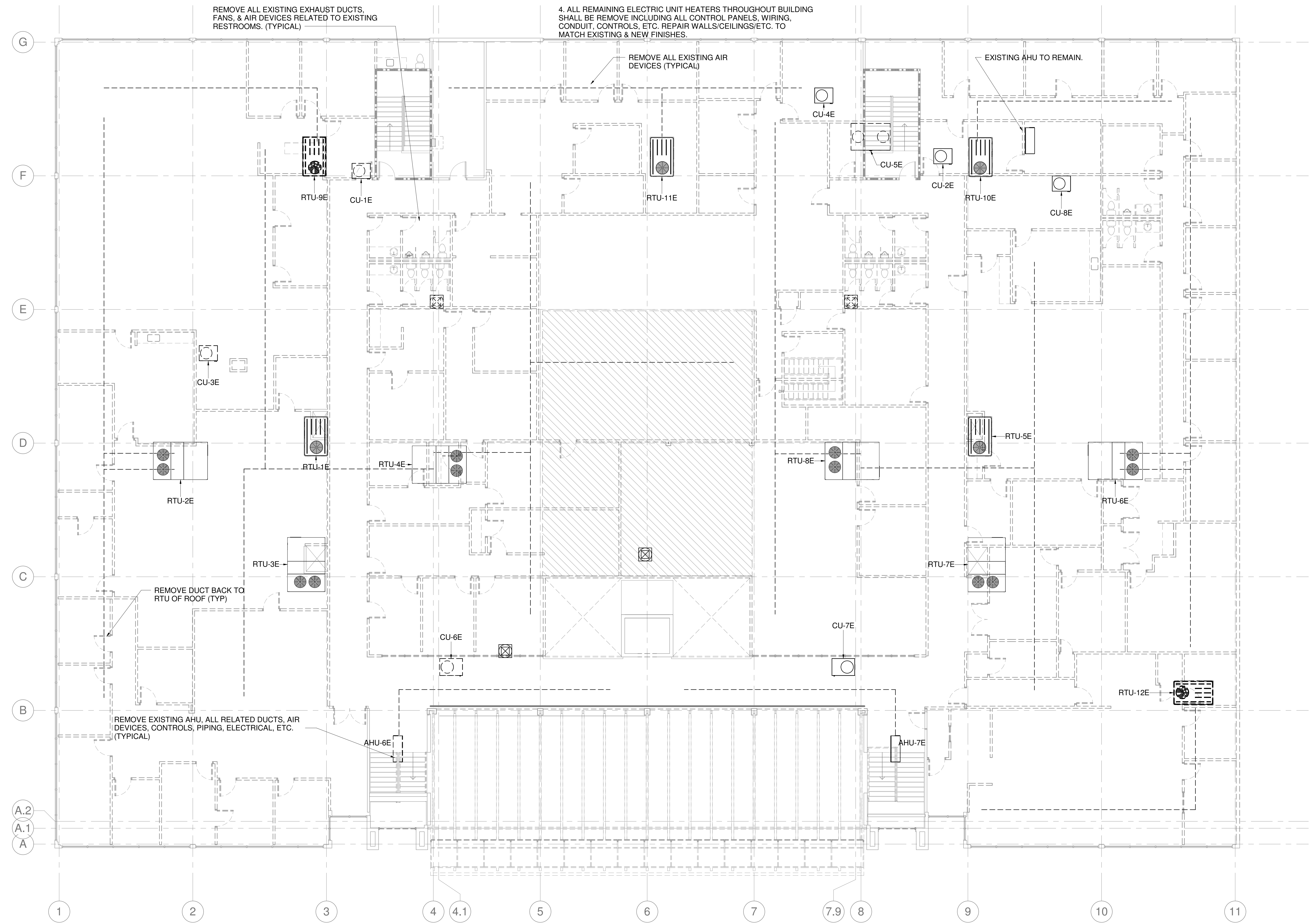
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REV	DESCRIPTION	DATE

**GENERAL DEMOLITION NOTES:**  
 1. PRIOR TO DEMOLITION, CONTRACTOR SHALL MEASURE SUPPLY, OUTSIDE & RETURN AIR FLOWS, DRY & WET BULB LEAVING & ENTERING TEMPERATURES OF ALL UNITS.  
 2. SEAL ALL EXTERIOR PENETRATIONS AS REQUIRED AFTER REMOVAL OF EQUIPMENT, DUCTS, ETC.  
 3. MEASURE AIRFLOW AT ALL AIR DEVICES PRIOR TO DEMOLITION.  
 4. ALL REMAINING ELECTRIC UNIT HEATERS THROUGHOUT BUILDING SHALL BE REMOVE INCLUDING ALL CONTROL PANELS, WIRING, CONDUIT, CONTROLS, ETC. REPAIR WALLS/CEILINGS/ETC. TO MATCH EXISTING & NEW FINISHES.



**1 2ND FLOOR DEMO PLAN - MECHANICAL**  
 1/8" = 1'-0"

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

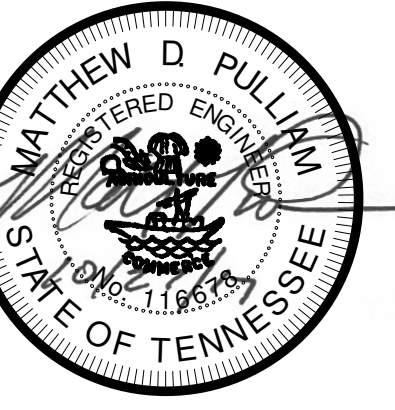
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 Project No.  
 17027  
 Design by  
 MDP  
 Date  
 11/6/2017  
**MD1.2**



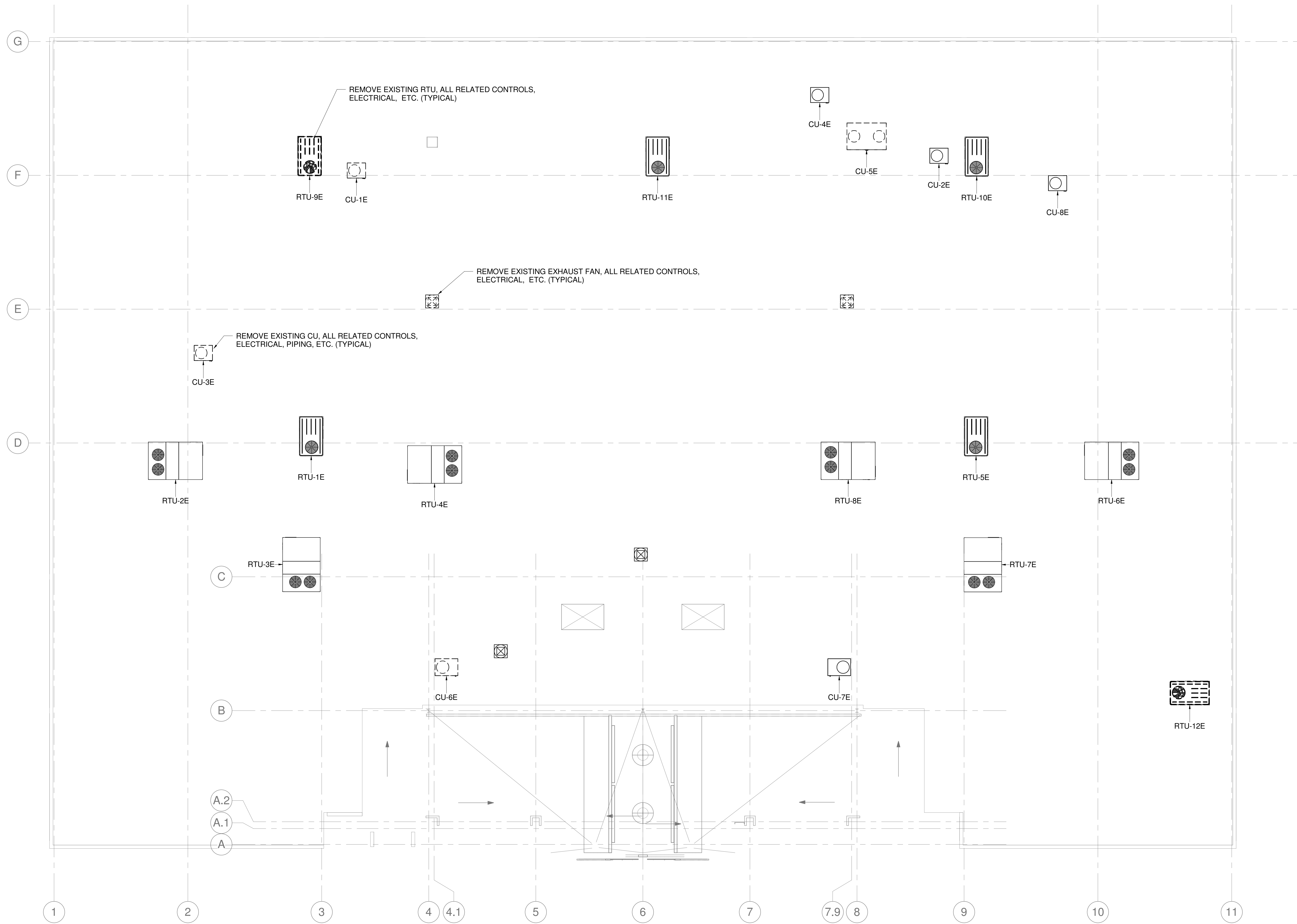


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1 DEMO ROOF PLAN - MECHANICAL  
1/8" = 1'-0"

Construction Documents for  
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**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
DEMO ROOF PLAN -  
MECHANICAL

Project No.  
17027

Drawn by  
Author

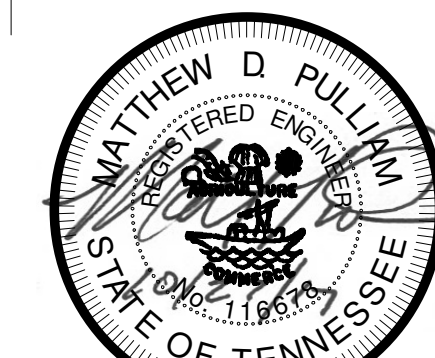
Date  
11/6/2017

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REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
1ST FLOOR PLAN - MECHANICAL

Project No.  
17027

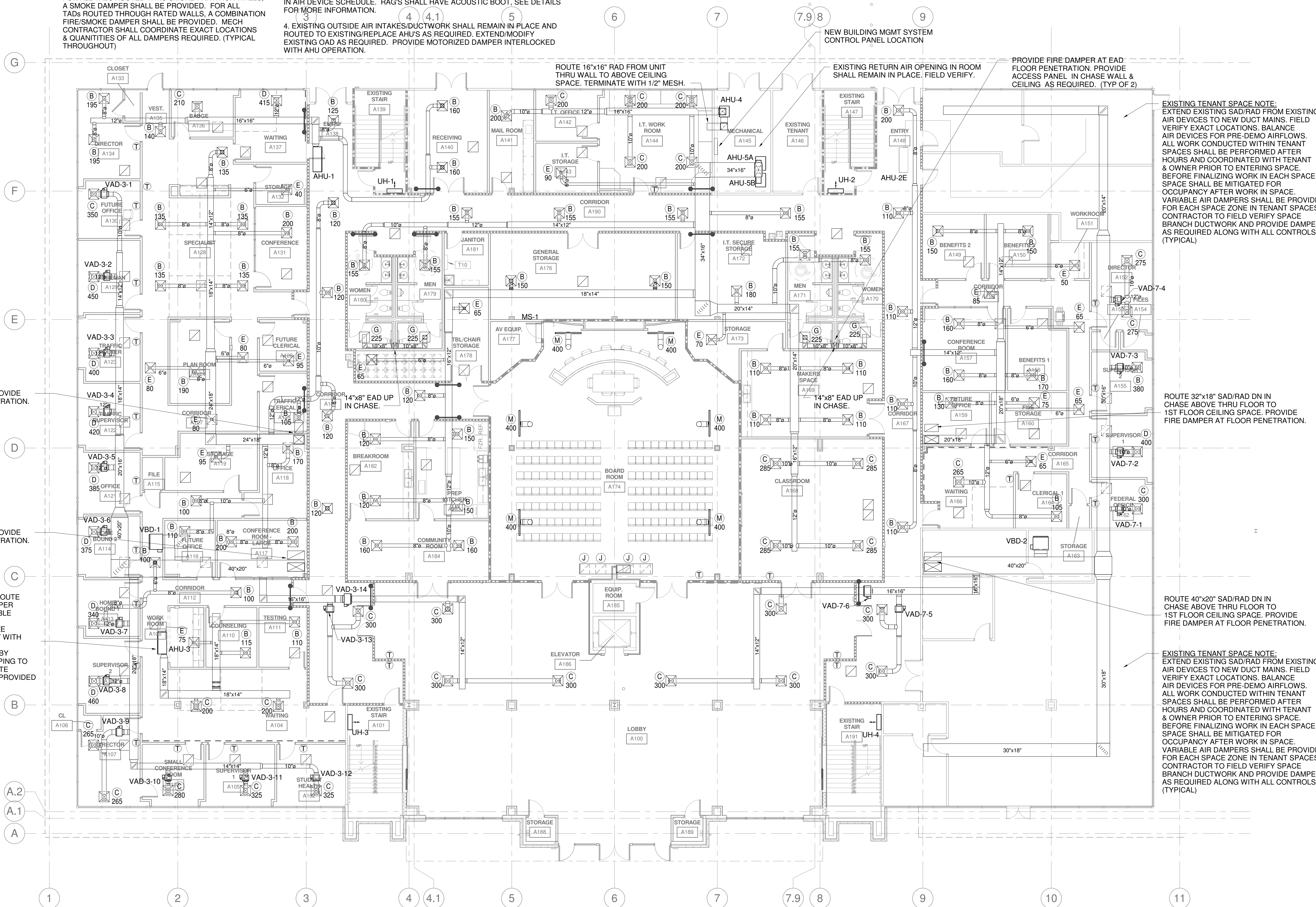
Drawn by  
Author

Date  
11/6/2017

**M1.1**

- GENERAL NOTE:**
1. ALL MATERIALS INSTALLED IN RETURN AIR PLENUM SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPMENT INDEX OF NOT MORE THAN 50. INSTALL PLENUM RATED ELECTRICAL & LOW VOLTAGE CABLING IN RETURN AIR PLENUM. NO PLASTIC PIPING SHALL BE ROUTED WITHIN RETURN AIR PLENUM.
  2. FIELD VERIFY EXACT LOCATIONS OF ALL EXISTING UNITS THAT ARE TO REMAIN IN PLACE. OFFSET & EXTEND NEW DUCTS TO EXACT LOCATION.
  3. ALL RETURN AIR GRILLES SHOWN THROUGHOUT SHALL BE EQUAL TO MARK 'J' IN AIR DEVICE SCHEDULE. RAG'S SHALL HAVE ACOUSTIC BOOT, SEE DETAILS FOR MORE INFORMATION.
  4. EXISTING OUTSIDE AIR INTAKES/DUCTWORK SHALL REMAIN IN PLACE AND ROUTED TO EXISTING/REPLACE AHU'S AS REQUIRED. EXTEND/MODIFY EXISTING OAD AS REQUIRED. PROVIDE MOTORIZED DAMPER INTERLOCKED WITH AHU OPERATION.

**GENERAL TRANSFER DUCT NOTE:**  
 IN ALL ROOMS WHERE WALLS GO TO DECK, A TRANSFER DUCT SHALL BE INSTALLED ABOVE CEILING THRU WALL. FOR EVERY 400 CFM, 12"x12" (OR EQUIVALENT AREA) TAD(S) SHALL BE PROVIDED. FOR ALL TADS ROUTED THRU SMOKE PARTITION WALLS, A SMOKE DAMPER SHALL BE PROVIDED. FOR ALL TADS ROUTED THROUGH RATED WALLS, A COMBINATION FIRE/SMOKE DAMPER SHALL BE PROVIDED. MECH CONTRACTOR SHALL COORDINATE EXACT LOCATIONS & QUANTITIES OF ALL DAMPERS REQUIRED. (TYPICAL THROUGHOUT)



ROUTE 24"x20" SAD/RAD DN IN CHASE ABOVE THRU FLOOR TO 1ST FLOOR CEILING SPACE. PROVIDE FIRE DAMPER AT FLOOR PENETRATION.

ROUTE 40"x20" SAD/RAD DN IN CHASE ABOVE THRU FLOOR TO 1ST FLOOR CEILING SPACE. PROVIDE FIRE DAMPER AT FLOOR PENETRATION.

AHU TO BE SUSPENDED ABOVE CEILING. ROUTE REFRIGERANT PIPING FROM CU ON ROOF PER MFR RECOMMENDATIONS. PROVIDE FLEXIBLE DUCT CONNECTIONS AT SUPPLY/RETURN CONNECTIONS TO UNIT. PROVIDE FULL SIZE AUXILIARY DRAIN PAN UNDER ENTIRE UNIT WITH FLOAT SWITCH FOR UNIT SHUTDOWN OR MOISTURE SENSING DEVICE (IF ALLOWED BY LOCAL CODE). ROUTE AUXILIARY DRAIN PIPING TO CONSPICUOUS LOCATION PER CODE. ROUTE CONDENSATE FROM UNIT COIL TO PIPING PROVIDED BY PLBG CONTRACTOR. (TYPICAL)

**EXISTING TENANT SPACE NOTE:**  
 EXTEND EXISTING SAD/RAD FROM EXISTING AIR DEVICES TO NEW DUCT MAINS. FIELD VERIFY EXACT LOCATIONS. BALANCE AIR DEVICES FOR PRE-DEMO AIRFLOWS. ALL WORK CONDUCTED WITHIN TENANT SPACES SHALL BE PERFORMED AFTER HOURS AND COORDINATED WITH TENANT & OWNER PRIOR TO ENTERING SPACE. BEFORE FINALIZING WORK IN EACH SPACE, SPACE SHALL BE MITIGATED FOR OCCUPANCY AFTER WORK IN SPACE. VARIABLE AIR DAMPERS SHALL BE PROVIDED FOR EACH SPACE ZONE IN TENANT SPACES. CONTRACTOR TO FIELD VERIFY SPACE BRANCH DUCTWORK AND PROVIDE DAMPERS AS REQUIRED ALONG WITH ALL CONTROLS. (TYPICAL)

ROUTE 32"x18" SAD/RAD DN IN CHASE ABOVE THRU FLOOR TO 1ST FLOOR CEILING SPACE. PROVIDE FIRE DAMPER AT FLOOR PENETRATION.

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**1 1ST FLOOR PLAN - MECHANICAL**

1/8" = 1'-0"



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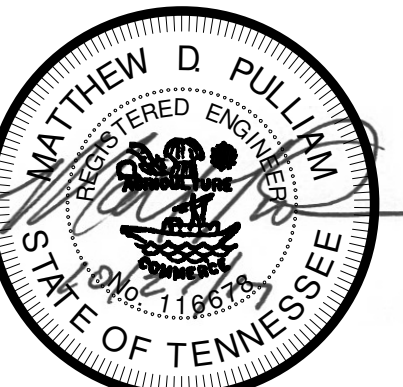


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Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
2ND FLOOR PLAN -  
MECHANICAL

Project No.  
17027

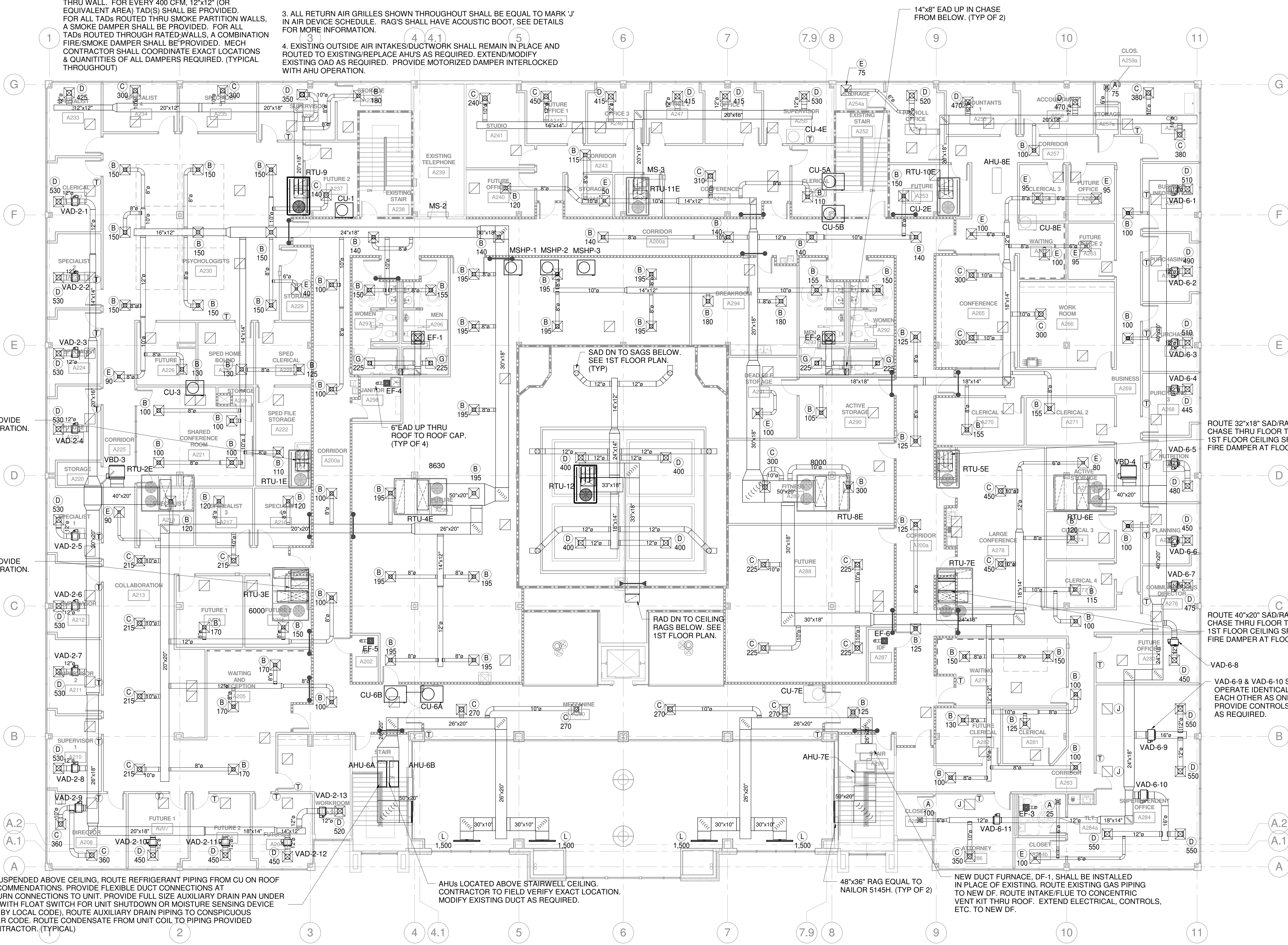
Design  
Author

Date  
11/6/2017

M1.2

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VAD-6-9 & VAD-6-10 SHALL OPERATE IDENTICALLY TO EACH OTHER AS ONE ZONE. PROVIDE CONTROLS, INTERLOCK AS REQUIRED.

AHU TO BE SUSPENDED ABOVE CEILING. ROUTE REFRIGERANT PIPING FROM CU ON ROOF PER MFR RECOMMENDATIONS. PROVIDE FLEXIBLE DUCT CONNECTIONS AT SUPPLY/RETURN CONNECTIONS TO UNIT. PROVIDE FULL SIZE AUXILIARY DRAIN PAN UNDER ENTIRE UNIT WITH FLOAT SWITCH FOR UNIT SHUTDOWN OR MOISTURE SENSING DEVICE (IF ALLOWED BY LOCAL CODE). ROUTE AUXILIARY DRAIN PIPING TO CONSPICUOUS LOCATION PER CODE. ROUTE CONDENSATE FROM UNIT COIL TO PIPING PROVIDED BY PLBG CONTRACTOR. (TYPICAL)

AHUs LOCATED ABOVE STAIRWELL CEILING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION. MODIFY EXISTING DUCT AS REQUIRED.

48"x36" RAG EQUAL TO NAILOR 5145H. (TYP OF 2)

NEW DUCT FURNACE, DF-1, SHALL BE INSTALLED IN PLACE OF EXISTING. ROUTE EXISTING GAS PIPING TO NEW DF. ROUTE INTAKE/FLUE TO CONCENTRIC VENT KIT THRU ROOF. EXTEND ELECTRICAL, CONTROLS, ETC. TO NEW DF.

**1 2ND FLOOR PLAN - MECHANICAL**  
1/8" = 1'-0"

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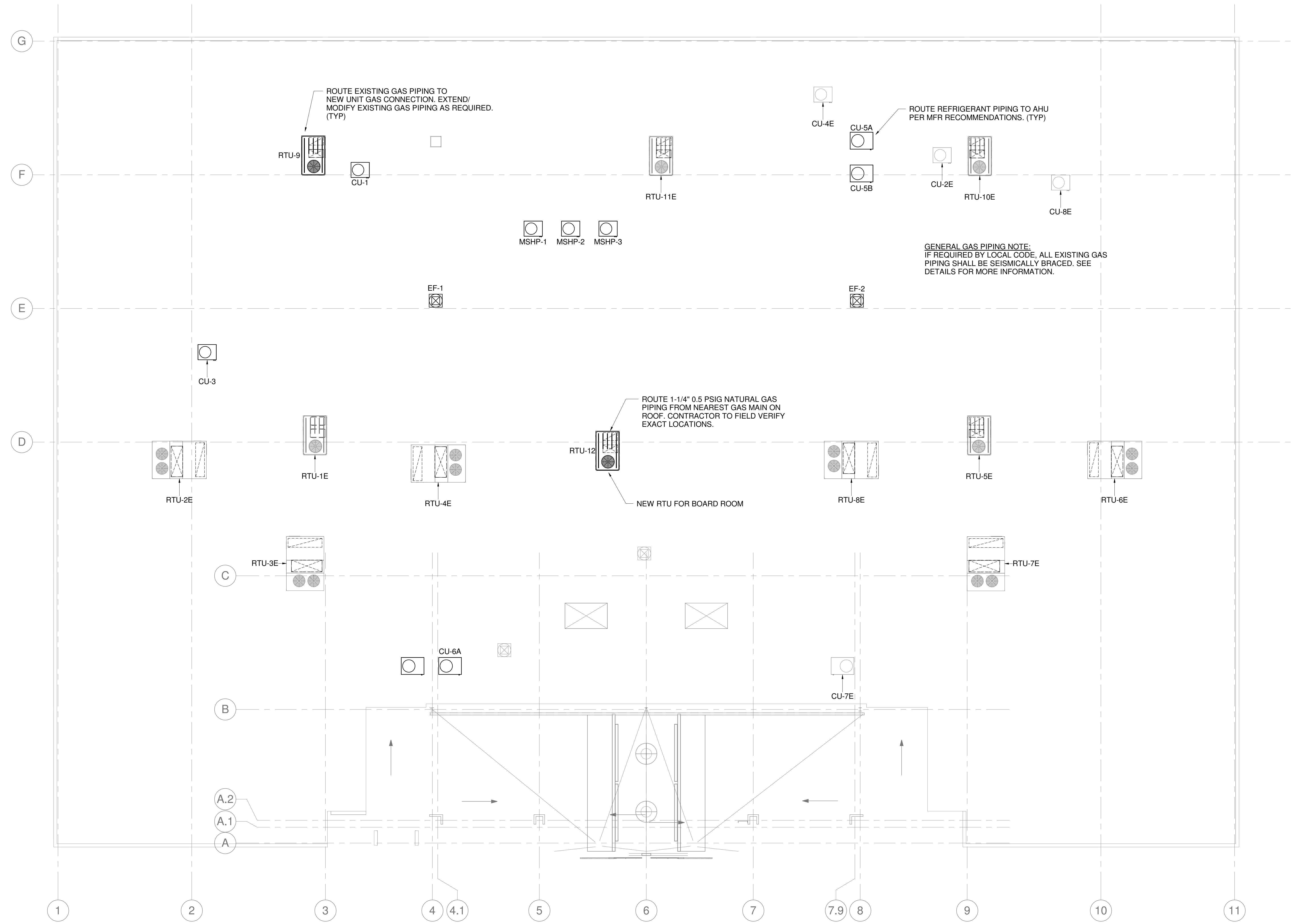


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REV	DESCRIPTION	DATE



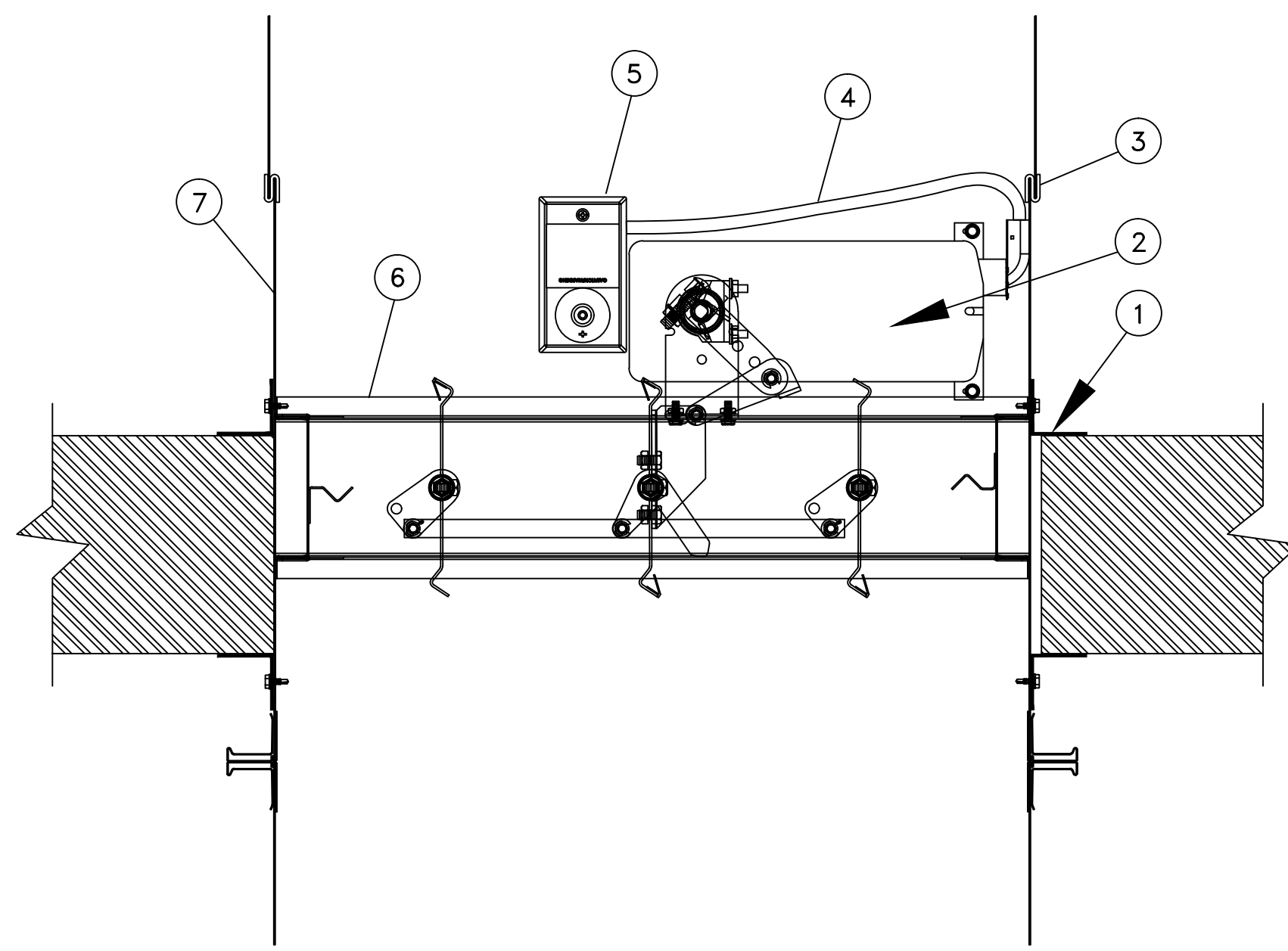
**1 ROOF PLAN - MECHANICAL**  
1/8" = 1'-0"

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r e n a i s s a n c e g r o u p

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
ROOF PLAN - MECHANICAL  
Project No.  
17027  
Date  
11/6/2017  
Author  
M1.3



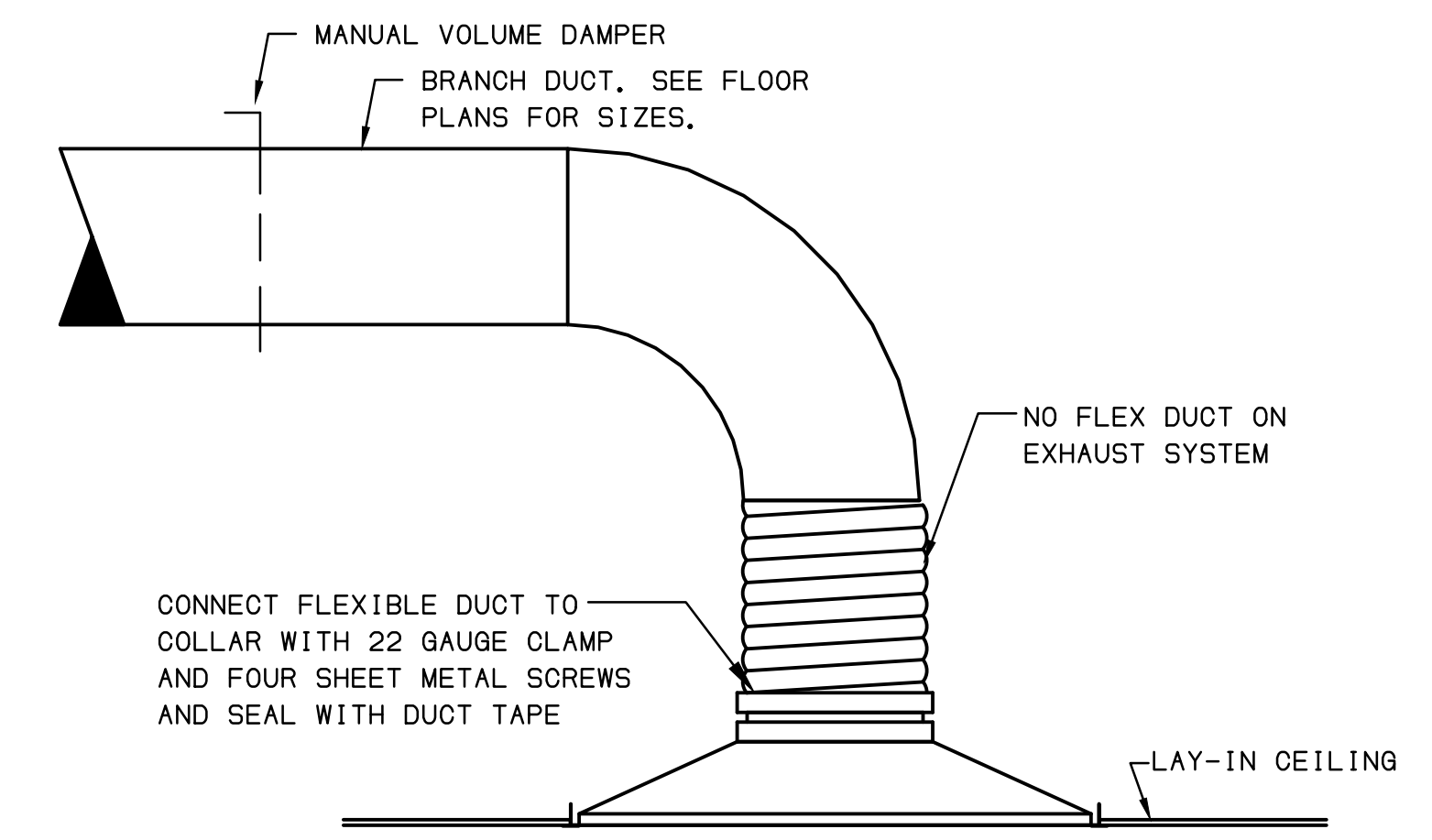
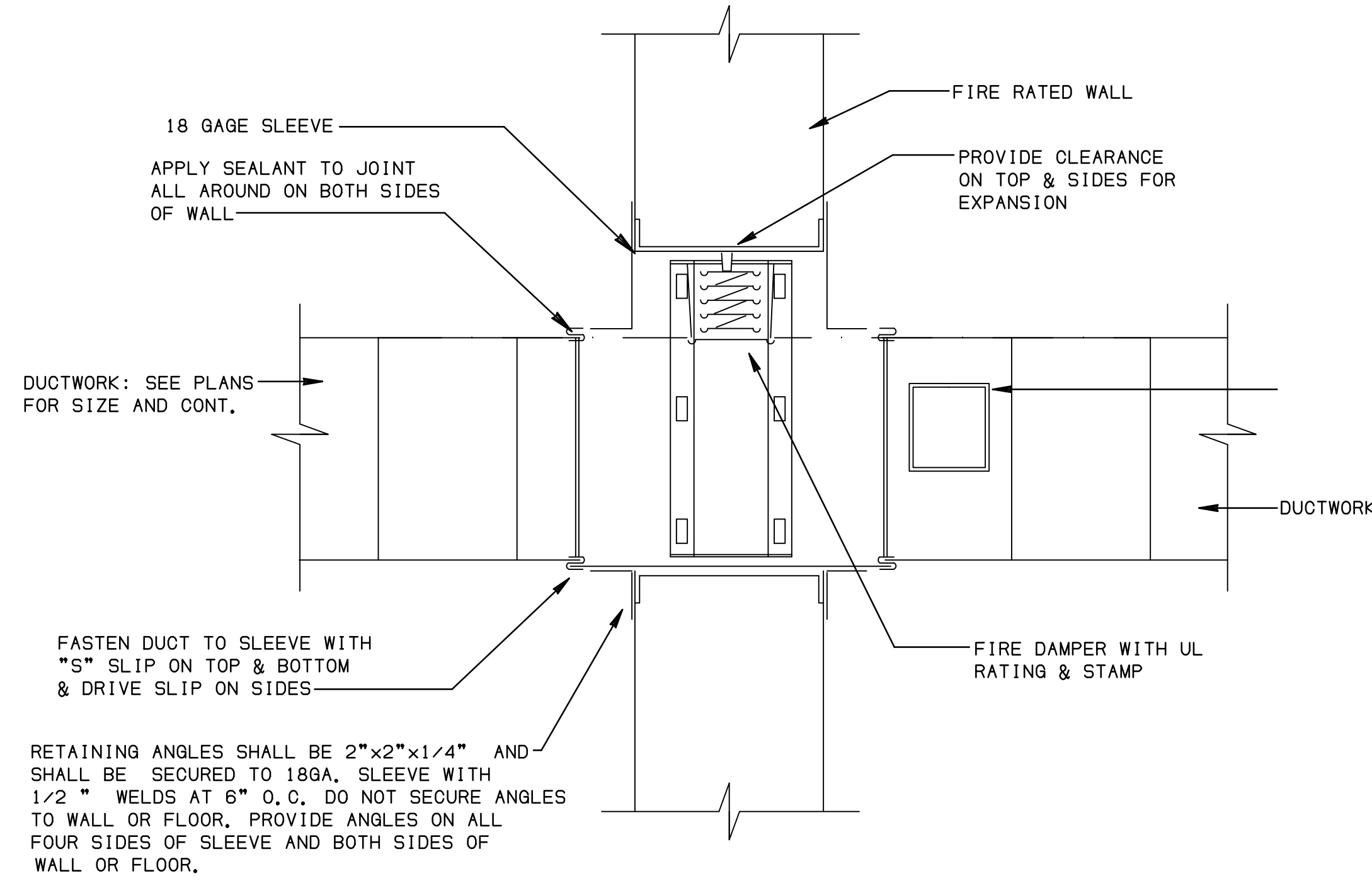
1. SINGLE-SIDED OR CONVENTIONAL RETAINING ANGLE.
2. ACTUATOR
3. SLEEVE OR DUCT CONNECTION
4. ELECTRICAL FLEX CONDUIT
5. ONE TEMPERATURE MANUALLY RE-SETTABLE LINK
6. COMBINATION FIRE SMOKE DAMPER
7. DAMPER SLEEVE
8. UL555 & UL555S LISTING #: R11767  
CSFM LISTING #'S: 3225-0368:110 & 3230-0368:111  
MEA LISTING #: 295-98E

**1 COMBINATION FIRE/SMOKE DAMPER DETAIL**  
NOT TO SCALE

**FIRE DAMPER NOTES:**

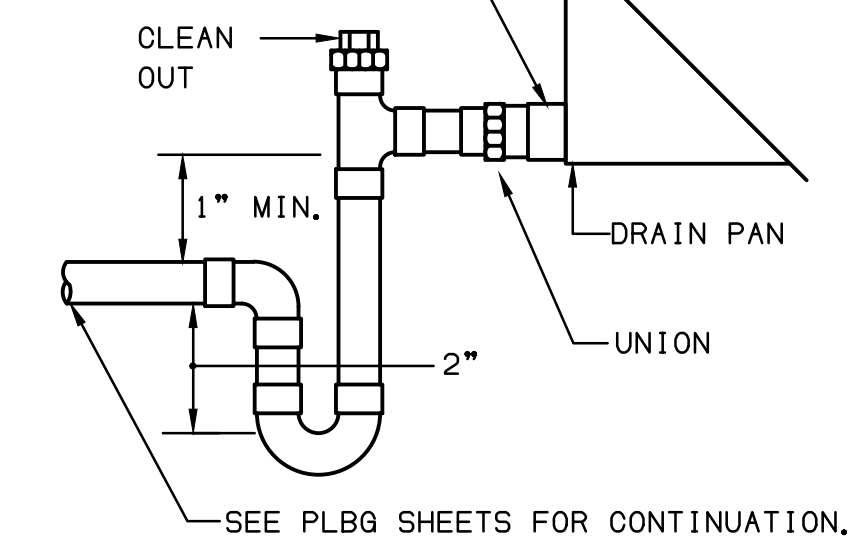
1. A HORIZONTAL DAMPER IS SHOWN. VERTICAL DAMPER INSTALLATION IS SIMILAR. FOLLOW DAMPER MANUFACTURER'S INSTRUCTIONS, INCLUDING FASTENER OPTIONS, AND GAGES FOR SLEEVE, AND PERIMETER ANGLES. FIRE/SMOKE DAMPERS MUST BE INSTALLED IN THE PARTITION, OR FLOOR, NOT OUTSIDE THE PENETRATION.
2. GALVANIZED STEEL: NOT LESS THAN THE CONNECTING DUCT. FASTEN SLEEVE TO DAMPER FRAME, AND TO PERIMETER ANGLES.
3. PERIMETER ANGLES: GALVANIZED STEEL, NOT LESS THAN 1-1/4"x1-1/4", 14 GAGE, TO PROVIDE 1" MINIMUM OVERLAP OF THE OPENING ON ALL FOUR SIDES.
4. BREAKAWAY DUCT CONNECTION: CONTRACTOR'S CHOICE OF TYPES SHOWN IN SMACNA LPDS, FIG 2-13. SEAL JOINTS.
5. ACCESS PANELS: SIZE AND LOCATION TO PERMIT SERVICING THE FUSIBLE LINK(S).
6. PROVIDE 1/32" TO 1/4" CLEARANCE ON HEIGHT AND WIDTH. FILL ANNULAR SPACE WITH ROCK WOOL FIRESTOP FIBER.
7. ALL DUCT WORK RISERS WHICH ARE RUN EXPOSED, SUCH AS THROUGH ATTIC FLOORS, AND MECHANICAL ROOM FLOORS SHALL BE PROVIDED WITH A 3" HIGH CONCRETE CURB
8. PROVIDE U.L. LISTED FIRE DAMPERS AND INSTALL IN ACCORDANCE WITH SMACNA AND U.L. 555 REQUIREMENTS.

**2 FIRE DAMPER DETAIL**  
NOT TO SCALE

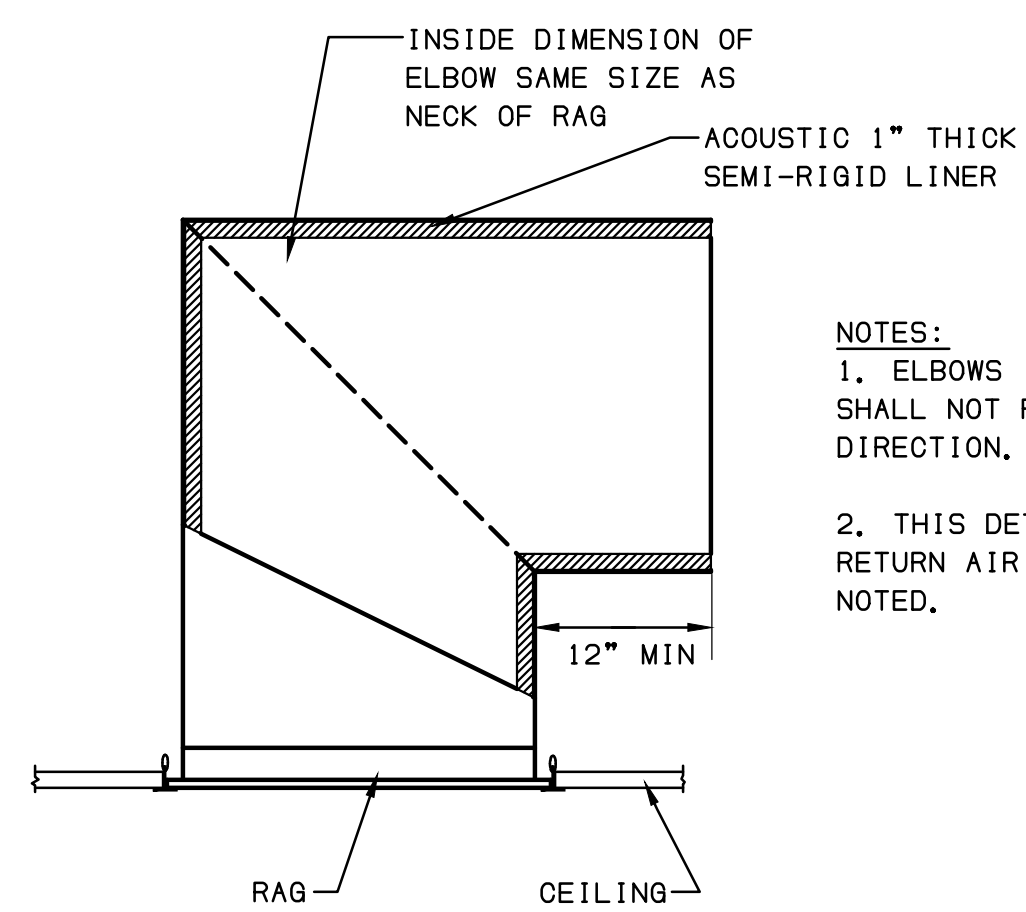


**3 DIFFUSER CONNECTION DETAIL**  
NOT TO SCALE

DRAIN LINE SHALL BE AT LEAST THE SAME SIZE AS THE CONNECTION ON THE DRAIN PAN, BUT NO LESS THAN 1-1/4"

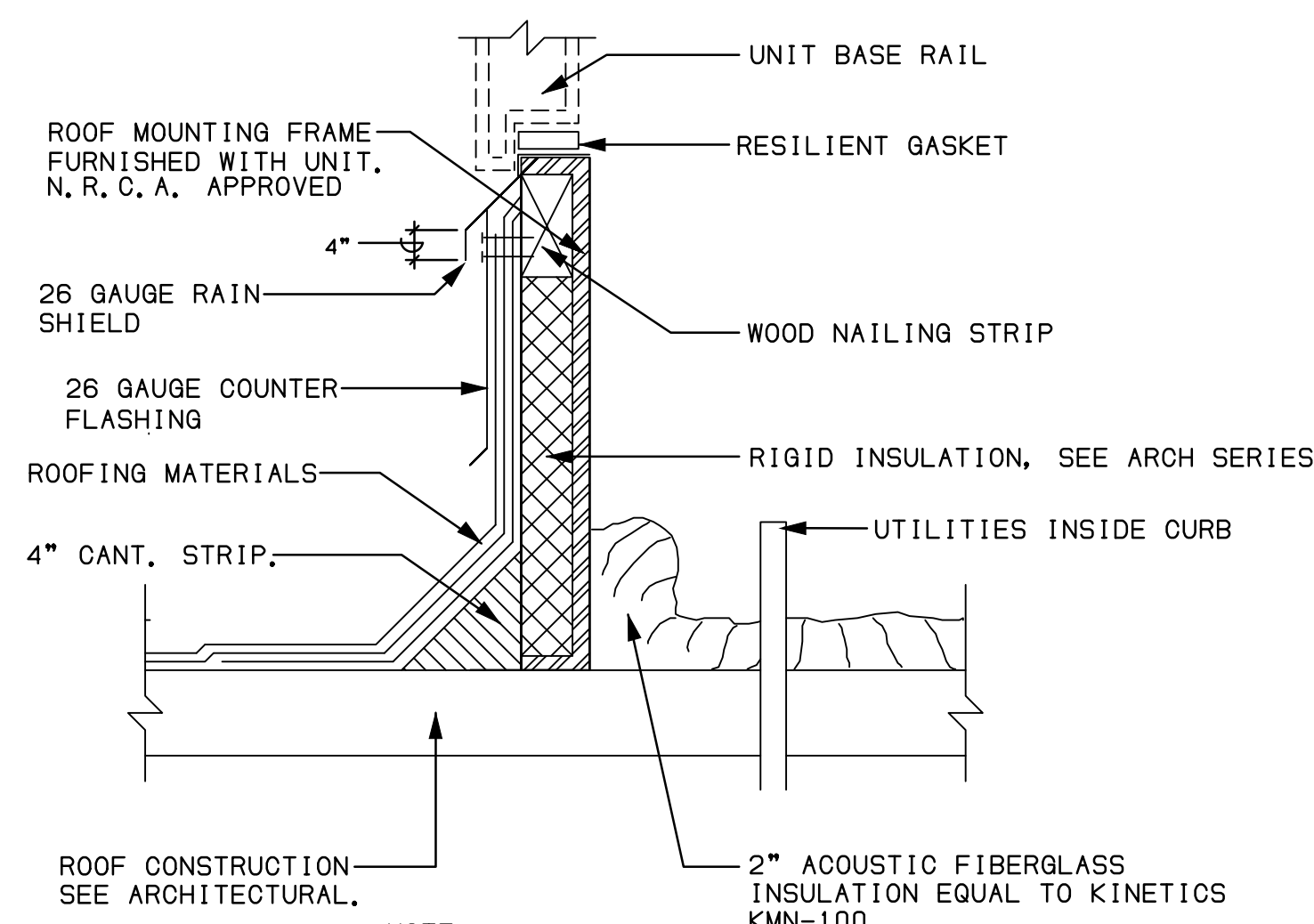


**4 CONDENSATE DRAIN TRAP DETAIL**  
NOT TO SCALE



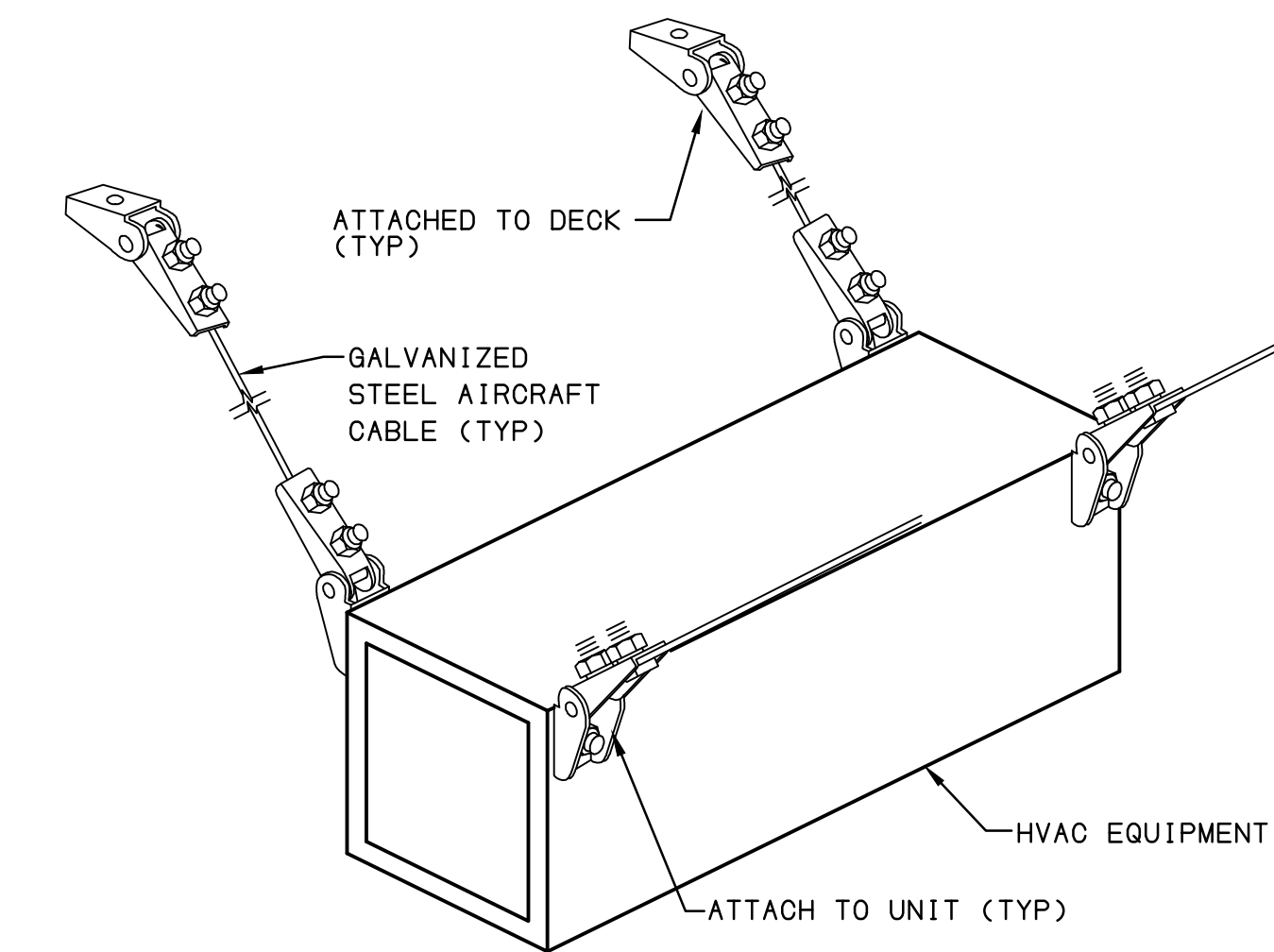
- NOTES:
1. ELBOWS IN ADJACENT VICINITIES SHALL NOT POINT IN THE SAME DIRECTION.
  2. THIS DETAIL IS TYPICAL FOR ALL RETURN AIR GRILLES UNLESS OTHERWISE NOTED.

**5 RAG WITH ACOUSTIC BOOT DETAIL**  
NOT TO SCALE

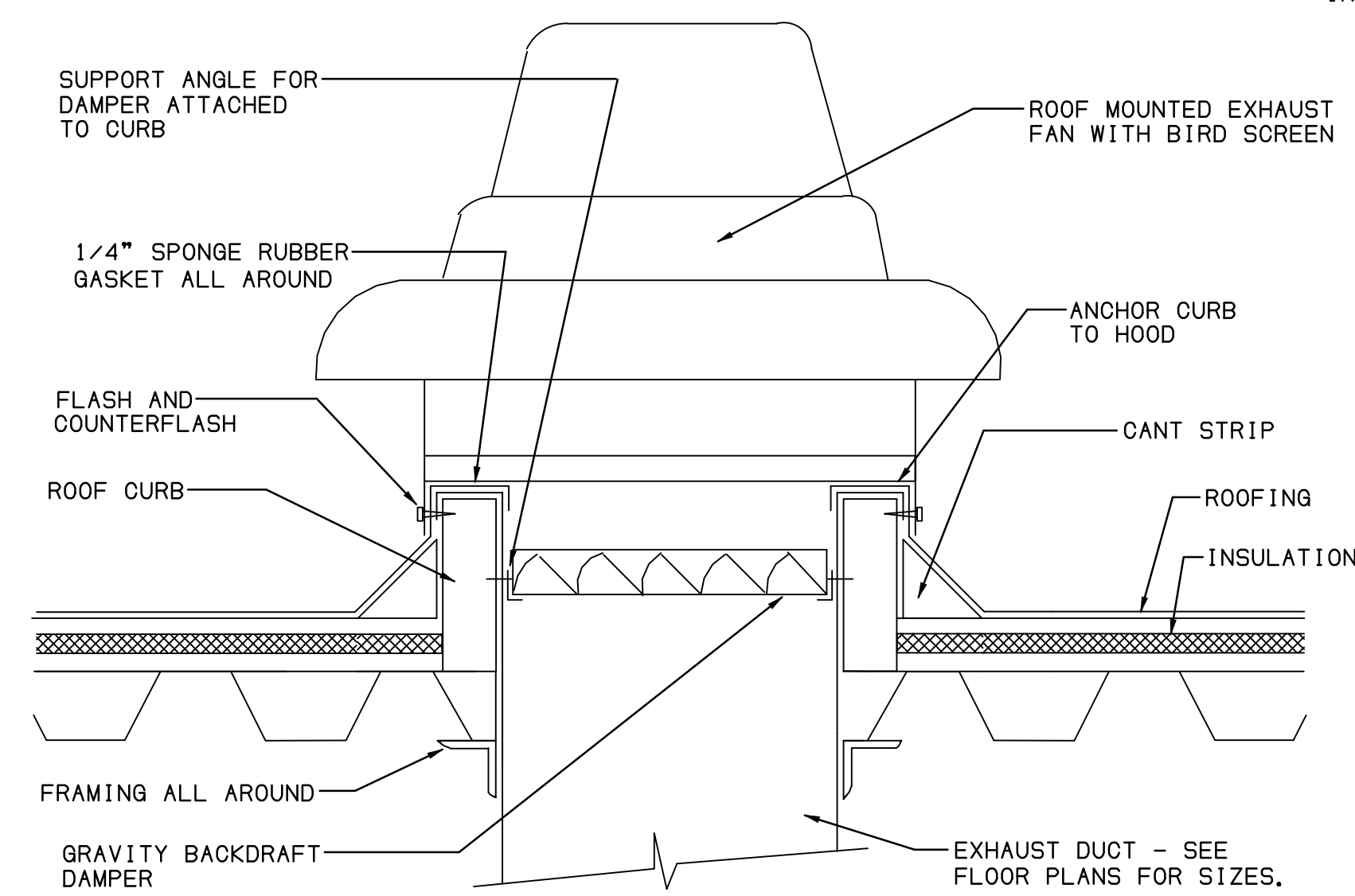


NOTE: INSTALLATION WILL BE SIMILAR FOR SLOPED ROOF.

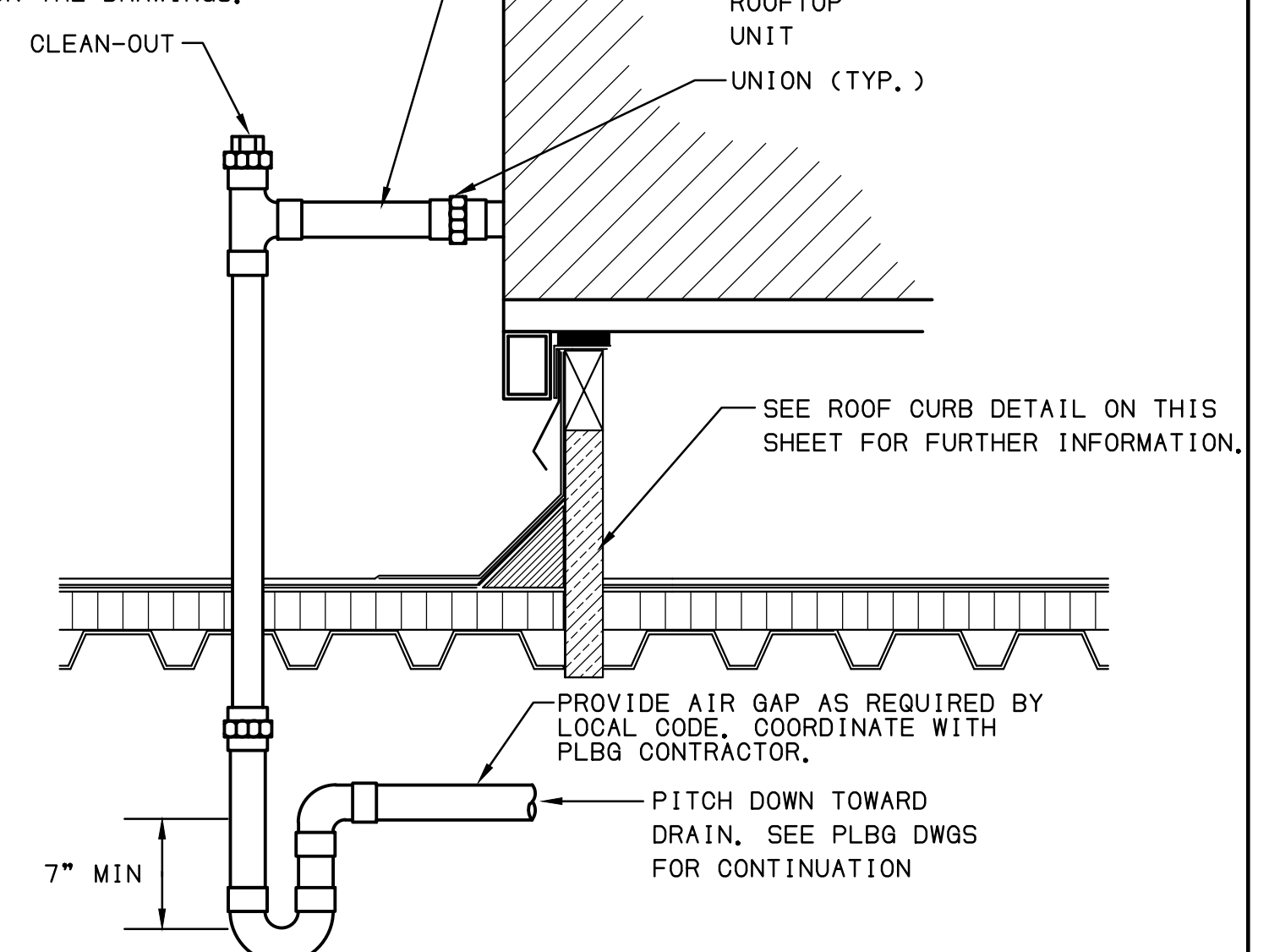
**6 ROOF CURB DETAIL**  
NOT TO SCALE



**7 SEISMIC SUPPORT FOR LIGHT SUSPENDED EQUIPMENT DETAIL**  
NOT TO SCALE

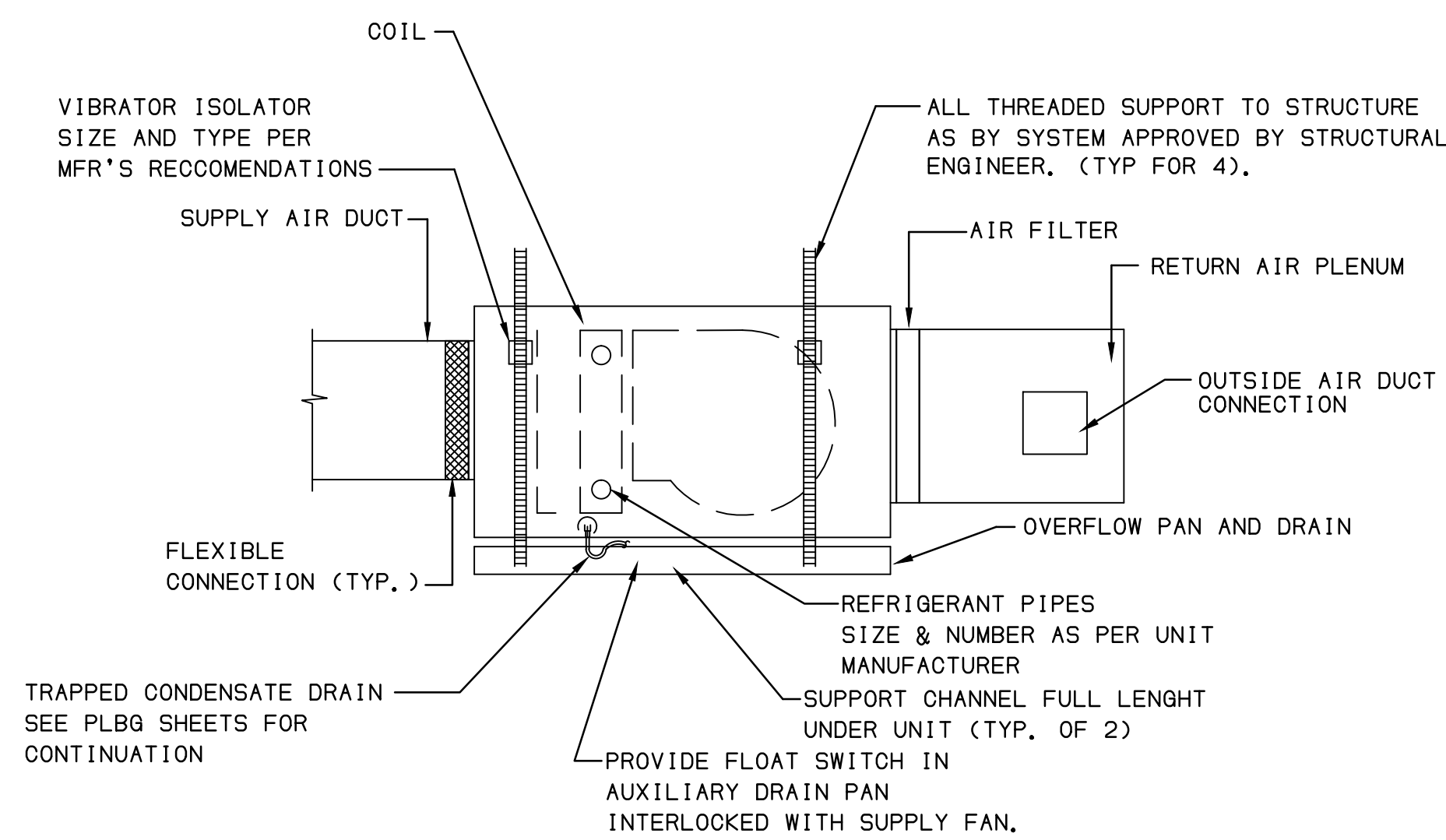


DRAIN LINE SHALL BE AT LEAST THE SAME SIZE AS THE CONNECTION ON THE DRAIN PAN, BUT NO LESS THAN 1-1/4" OR AS INDICATED ON THE DRAWINGS.



**8 RTU CONDENSATE DRAIN TRAP DETAIL**  
NOT TO SCALE

**11 DOWNBLAST EXHAUST FAN DETAIL**  
NOT TO SCALE



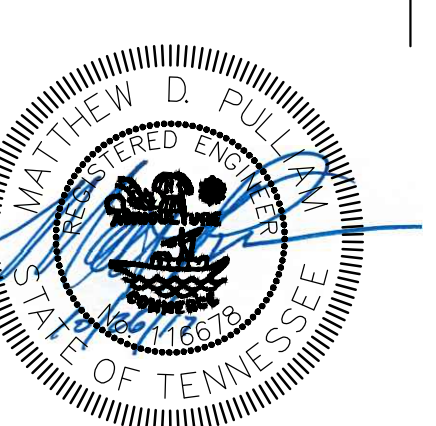
**10 CONCEALED DUCTED INDOOR UNIT DETAIL**  
NOT TO SCALE

**9 GAS EQUIPMENT CONNECTION DETAIL**  
NOT TO SCALE



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Construction Documents for  
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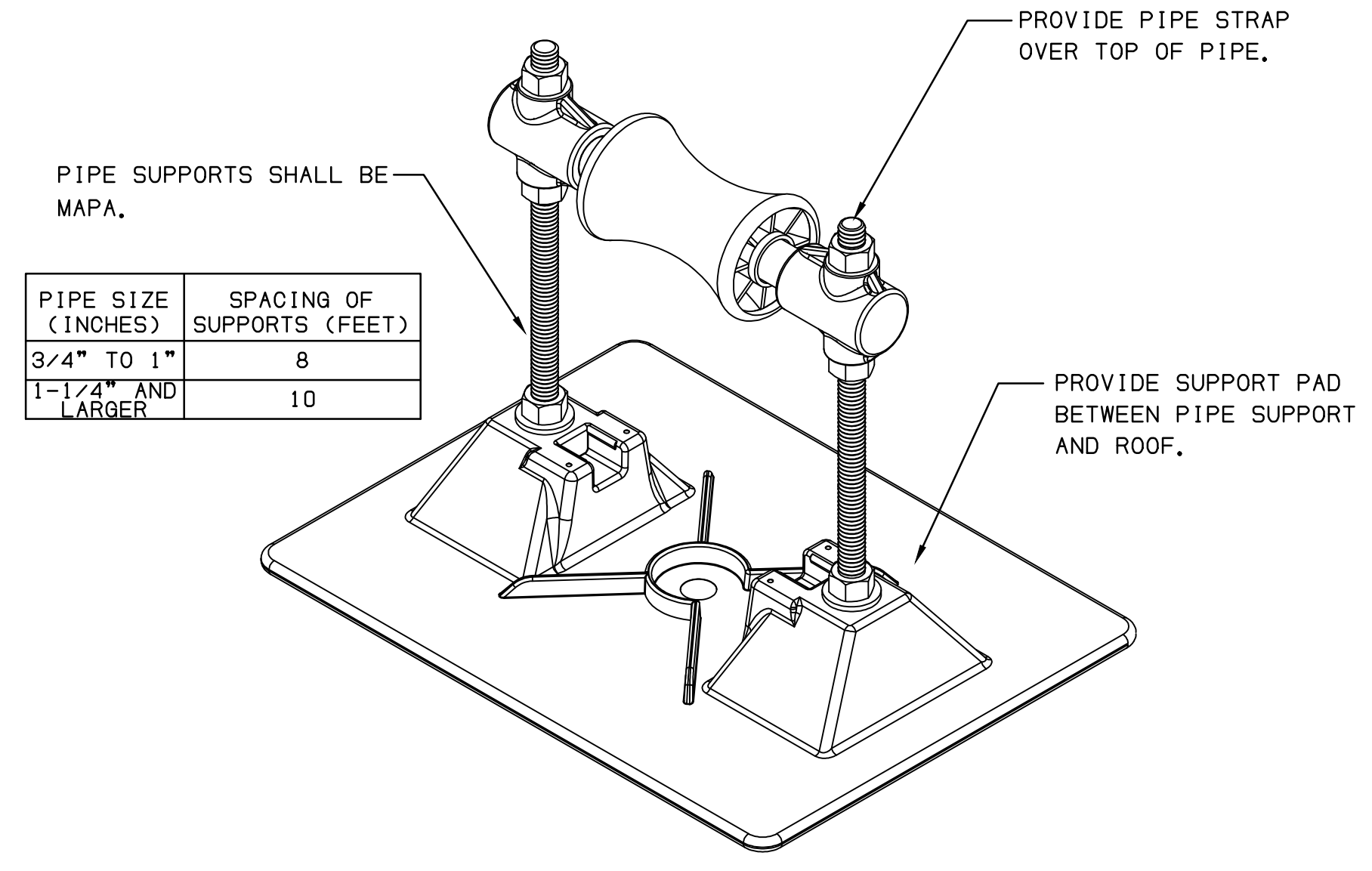
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DETAILS - MEC - ANICAL

Project No.  
17027

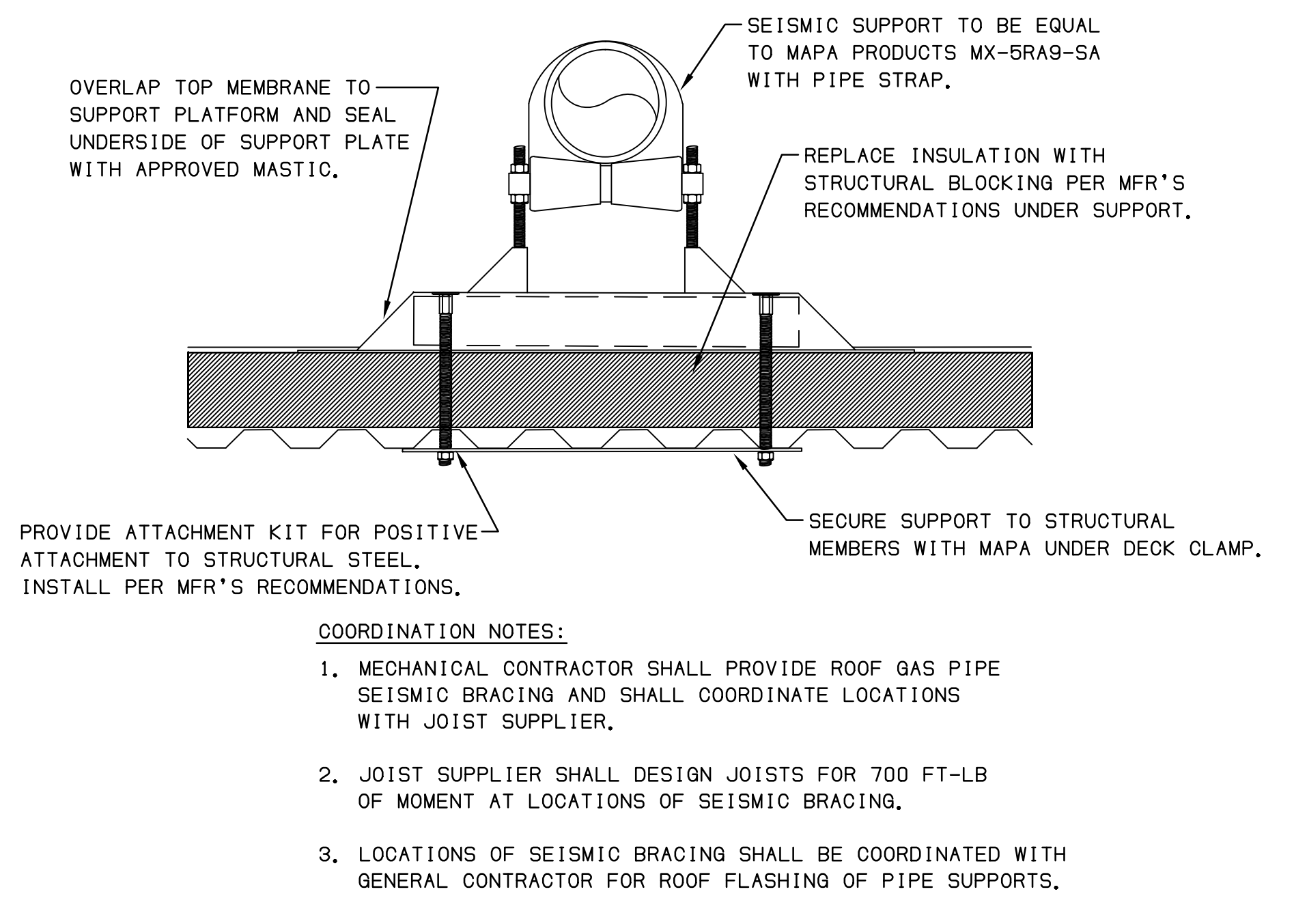
Drawn by  
MDP

Date  
11/1/2017

**M2.1**

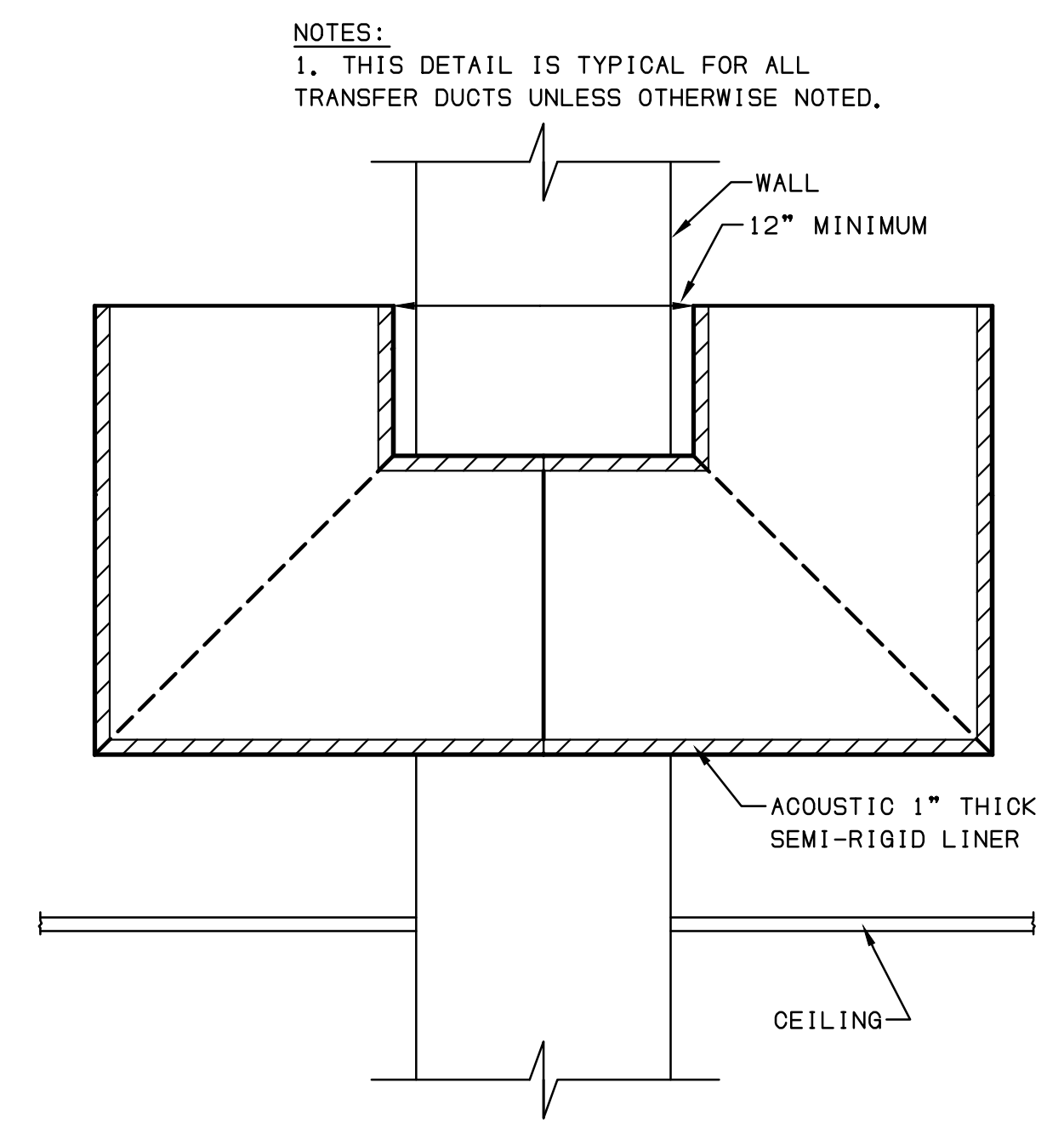


**1 ROOF MOUNTED PIPING SUPPORT DETAIL**  
NOT TO SCALE

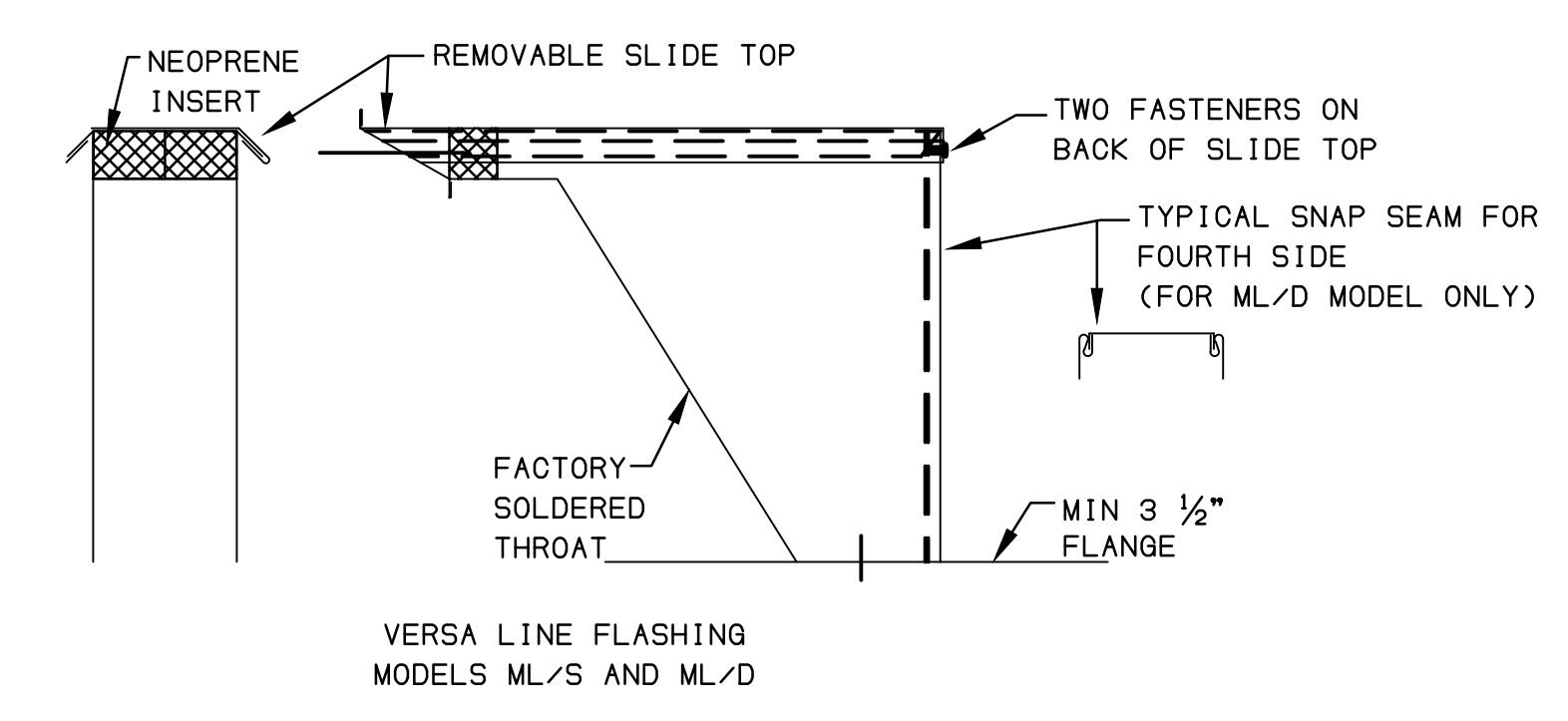


- COORDINATION NOTES:**
- MECHANICAL CONTRACTOR SHALL PROVIDE ROOF GAS PIPE SEISMIC BRACING AND SHALL COORDINATE LOCATIONS WITH JOIST SUPPLIER.
  - JOIST SUPPLIER SHALL DESIGN JOISTS FOR 700 FT-LB OF MOMENT AT LOCATIONS OF SEISMIC BRACING.
  - LOCATIONS OF SEISMIC BRACING SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR ROOF FLASHING OF PIPE SUPPORTS.

**2 SEISMIC BRACING FOR ROOF MOUNTED GAS PIPING DETAIL**  
NOT TO SCALE



**3 TRANSFER DUCT DETAIL**  
NOT TO SCALE

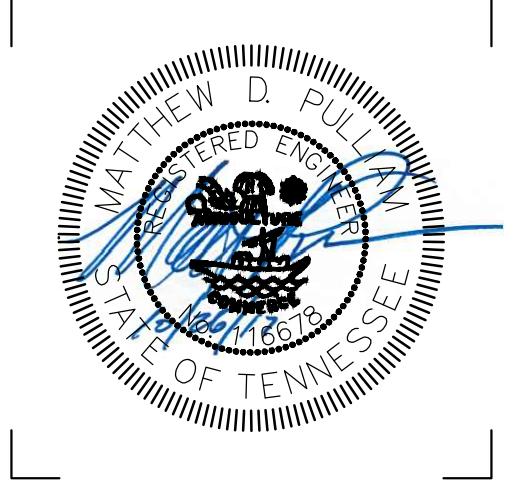


**4 REFRIGERANT PIPING THRU ROOF DETAIL**  
NOT TO SCALE



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Sheet Title  
DETAILS AND SCHEDULES  
MECHANICAL

Project No.  
17027

Drawn by  
MDP

Date  
11/1/2017

**M2.2**



REV	DESCRIPTION	DATE

**PLUMBING FIXTURE SCHEDULE**

TAG	FIXTURE TYPE	FLUSH / FAUCET / SHOWER HEAD	TRIM AND REMARKS	TRAP SIZE	MIN. SIZE CONN.			
					SW	SV	OW	HW
WC-1	WATER CLOSET, REGULAR, WHITE VITREOUS CHINA, ELONGATED BOWL, FLOOR MOUNTED, 1-1/2" TOP SPUD, SIPHON JET ACTION, AMERICAN STANDARD 2234-001 OR EQUAL.	1.6 GPF, INTEGRAL VACUUM BREAKER, SCREWDRIVER/CHECK STOP, ZURN Z6000AV OR EQUAL, PROVIDE TRAP PRIMER OPTION WHERE REQUIRED.	SEAT TO BE ELONGATED, OPEN FRONT, SOLID PLASTIC WITH SELF SUSTAINING CHECK HINGES, COLOR WHITE, BEMIS 19565SC.	INT.	4"	2"	1"	---
WC-2	WATER CLOSET, ADA, WHITE VITREOUS CHINA, ELONGATED BOWL, FLOOR MOUNTED, 1-1/2" TOP SPUD, SIPHON JET ACTION, AMERICAN STANDARD 3043-001 OR EQUAL.	1.6 GPF, INTEGRAL VACUUM BREAKER, SCREWDRIVER/CHECK STOP, ZURN Z6000AV OR EQUAL, PROVIDE TRAP PRIMER OPTION WHERE REQUIRED.	SEAT TO BE ELONGATED, OPEN FRONT, SOLID PLASTIC WITH SELF SUSTAINING CHECK HINGES, COLOR WHITE, BEMIS 19565SC.					
WC-3	WATER CLOSET, ADA, WHITE VITREOUS CHINA, ELONGATED BOWL, FLOOR MOUNTED, FLUSH TANK, 1.6 GPF, EQUAL TO AMERICAN STANDARD 211BA, 004	FLUSH TANK	SEAT TO BE ELONGATED, OPEN FRONT, SOLID PLASTIC WITH SELF SUSTAINING CHECK HINGES, COLOR WHITE, BEMIS, PROVIDE LOOSE KEY STOP AND SUPPLY EQUAL TO ZURN.	INT.	4"	2"	3/4"	---
U-1	URINAL, REGULAR AND DISABLED, WHITE VITREOUS CHINA, WALL HUNG, SIPHON JET ACTION, 3/4" TOP SPUD, 1.0 GPF, AMERICAN STANDARD 6550, 501 OR EQUAL.	1.0 GPF, ADA COMPLIANT, INTEGRAL VACUUM BREAKER, SCREWDRIVER/CHECK STOP, ZURN Z6003AV OR EQUAL.	PROVIDE APPROPRIATE FLOOR MOUNTED CARRIER.					
L-1	WHITE VITREOUS CHINA, COUNTERTOP MOUNTED LAVATORY WITH 4" CENTER FAUCET HOLE EQUAL TO AMERICAN STANDARD "PIAZZA" 0478, 403.	POLISHED CHROME FINISHED WITH LEVER HANDLES, DELTA 2503-LF	1-1/4" GRID STRAINER, ZURN Z8743-PC, P-TRAP TO BE 1-1/2" BRASS (17 GA. MIN), ZURN ZR361-RB, PROVIDE STOPS, ZURN Z8800 SERIES, PROVIDE AND INSTALL BELOW COUNTER INSULATION EQUAL TO TRU BRO ON ALL EXPOSED TRIM.	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"
S-1	SINK, 2-COMP, STAINLESS STEEL (TYPE 304, 18 GA.), SELF RIMMING, 1 HOLE DRILLED, 6" DEEP SINK EQUAL TO ELKAY ECTSAD33226.	POLISHED CHROME, PULL DOWN SPRAY SPOUT WITH SINGLE LEVER HANDLE EQUAL TO DELTA "TRINSIC" 9159-DST.	STAINLESS STEEL BASKET STRAINER WITH TAILPIECE TO BE ZURN Z8741-SS, P-TRAP TO BE 1-1/2" BRASS (17 GA. MIN), ZURN ZR361-RB, PROVIDE STOPS, ZURN Z8800 SERIES, PROVIDE WITH BADGER 5 GARBAGE DISPOSAL.	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"
S-2	SINK, 2-COMP, STAINLESS STEEL (TYPE 304, 18 GA.), SELF RIMMING, 1 HOLE DRILLED, 6" DEEP SINK EQUAL TO ELKAY ECTSAD33226.	POLISHED CHROME, SPRING TYPE SPRAY SPOUT WITH SINGLE LEVER HANDLE EQUAL TO DELTA "TRINSIC PRO" 9659-DST.	STAINLESS STEEL BASKET STRAINER WITH TAILPIECE TO BE ZURN Z8741-SS, P-TRAP TO BE 1-1/2" BRASS (17 GA. MIN), ZURN ZR361-RB, PROVIDE STOPS, ZURN Z8800 SERIES, PROVIDE WITH BADGER 5 GARBAGE DISPOSAL.	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"
S-3	SINK, 1-COMP, STAINLESS STEEL (TYPE 304, 18 GA.), SELF RIMMING, 1 HOLE DRILLED, 6" DEEP SINK EQUAL TO ELKAY ECTSAD25226.	POLISHED CHROME, SPRING TYPE SPRAY SPOUT WITH SINGLE LEVER HANDLE EQUAL TO DELTA "TRINSIC" 9159-DST.	STAINLESS STEEL BASKET STRAINER WITH TAILPIECE TO BE ZURN Z8741-SS, P-TRAP TO BE 1-1/2" BRASS (17 GA. MIN), ZURN ZR361-RB, PROVIDE STOPS, ZURN Z8800 SERIES, PROVIDE WITH BADGER 5 GARBAGE DISPOSAL.	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"
DF-1	DUAL HEIGHT ELECTRIC WATER COOLER/BOTTLE FILLING STATION, ADA COMPLIANT, WALL HUNG WITH 8.0 GPH CAPACITY OF 50' F DRINKING WATER AT 80' F INLET AND 90' AMBIENT TEMPERATURE, ELKAY LZSTLBWSLK, SEE ARCH SERIES FOR MOUNTING HEIGHTS, BOTTLE FILLER TO BE INSTALLED ON HIGH SIDE.	--	PUSH BARS AND PUSHBAR ATTACHMENT HARDWARE TO BE METAL. FOUNTAIN AND CABINETS TO BE SATIN STAINLESS STEEL, P-TRAP TO BE 1-1/2" BRASS (17 GA. MIN), ZURN ZR365-PC, PROVIDE SUPPLIES AND STOPS, INSTALL CONCEALED FLOOR MOUNTED ARM CARRIER.	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"
MB-1	MOP BASIN, MOLDED HIGH DENSITY COMPOSITE, 12" DEEP, 24" X 24" X 10", EQUAL TO ZURN Z1996-24	SERVICE SINK FAUCET WITH BUILT IN SERVICE STOPS, RUBBER HOSE, WALL HOOK, INTEGRAL VACUUM BREAKER, KOHLER K-8928.	PROVIDE 3" P-TRAP.	3"	3"	2"	3/4"	3/4"
DW-1	DISHWASHER CONNECTION, CONNECT 1/2" CW AT ADJACENT SINK TO SERVE DISHWASHER, CONNECT DRAIN OF DISHWASHER TO TAILPIECE OF ADJACENT SINK.	--	--	--	--	--	1/2"	--
IM-1	REFRIGERATOR ICE MAKER BOX CONNECTION, GUY GRAY B1M876.	--	CHROME PLATED WALL ELBOW, DELTA 50560.	--	--	--	1/2"	--
FD-1	FLOOR DRAIN: CAST IRON FLOOR DRAIN WITH BOTTOM OUTLET, COMBINATION INVERTIBLE MEMBRANE CLAMP, ADJUSTABLE COLLAR, SEEPAGE OPENINGS, POLISHED NICKEL BRONZE LIGHT DUTY LEVELING STRAINER WITH VANDAL PROOF SCREW - ZURN Z415BZ.	--	SET TOP OF DRAINS FLUSH WITH FINISHED FLOOR, PROVIDE AND INSTALL TRAP GUARD INSERTS ON ALL FLOOR DRAINS NOT SERVED BY TRAP PRIMER.	DWG	DWG	2"	---	---
FCO	FLOOR CLEANOUT: CAST IRON CLEANOUT WITH THREADED ADJUSTABLE HOUSING, FLANGED FERRULE WITH TAPERED BRASS PLUG, ROUND, SECURED, SCORLATED NICKEL BRONZE TOP - ZURN Z1400.	--	SET TOP OF CLEANOUT COVER FLUSH WITH FINISHED FLOOR.	DWG	DWG	---	---	---
WCO	WALL CLEANOUT: CAST IRON CLEANOUT WITH TAPERED BRASS PLUG, ROUND STAINLESS STEEL COVER PLATE WITH SCREW - ZURN Z1441.	--	--	DWG	DWG	---	---	---

**GENERAL NOTES:**

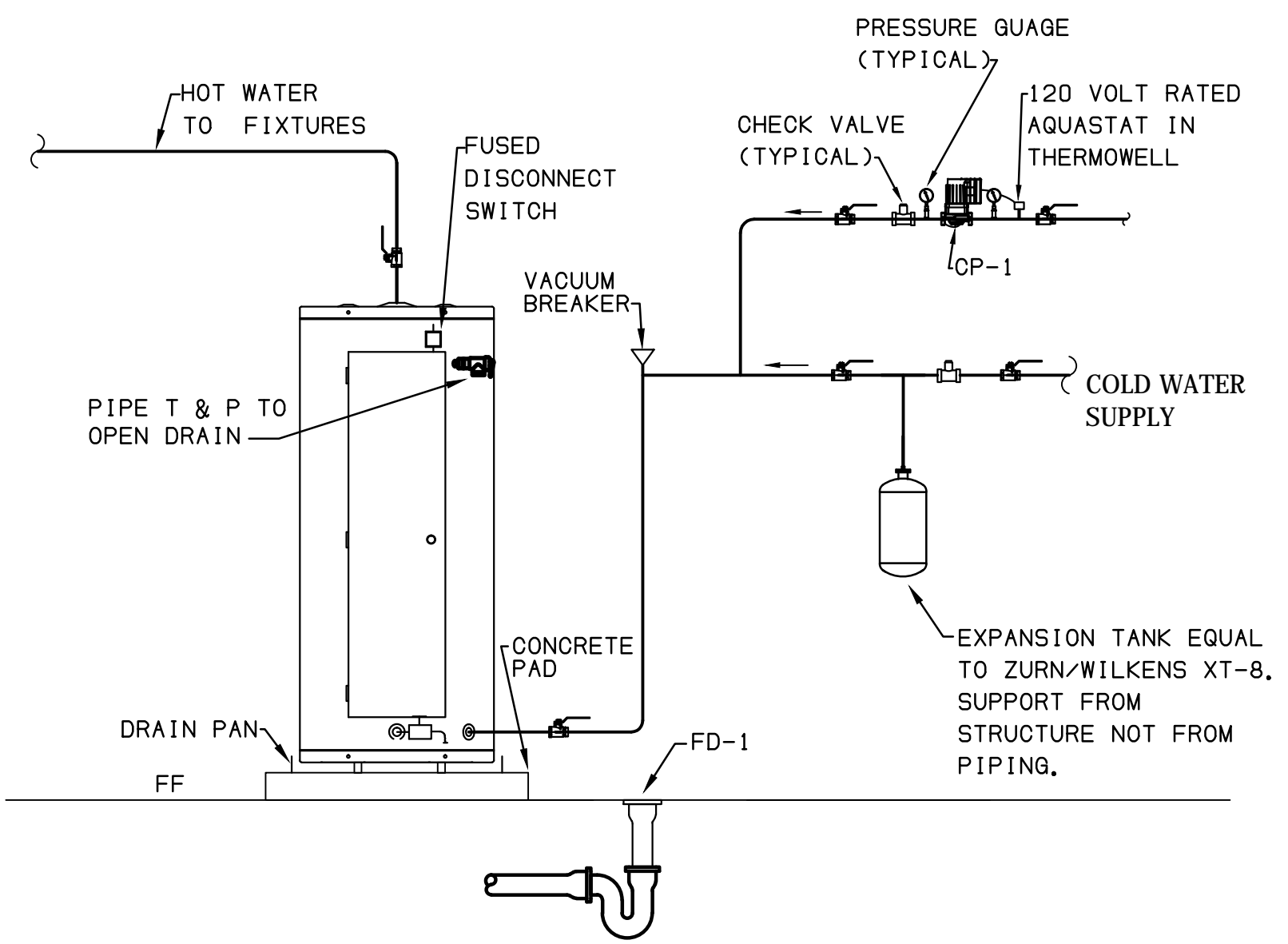
- PLUMBING PLANS ARE DIAGRAMATIC AND ARE NOT TO BE SCALED.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLATION OF ANY FIXTURE AND PIPING, ANY CONFLICTS FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OF RECORD IMMEDIATELY.
- CONTRACTOR SHALL COORDINATE VENT AND FLUES LOCATIONS THROUGH ROOF WITH ANY EQUIPMENT, AIR INTAKES AND EXHAUSTS AND INSTALL AT DISTANCES REQUIRED BY LOCAL CODE AUTHORITY AND MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR SHALL PROVIDE AND INSTALL TRAPS, STOPS, SUPPLIES AND STRAINERS AS REQUIRED.
- CONTRACTOR SHALL PROVIDE AND INSTALL ANY PRV'S, VALVES AND GAUGES AS REQUIRED BY LOCAL CODE AND AS PER MANUFACTURERS EQUIPMENT CUT SHEETS.
- CONTRACTOR SHALL PROVIDE FIRE STOP PENETRATIONS AS REQUIRED THROUGH ALL FIRE RATED AND SMOKE PARTITION WALLS.
- CONTRACTOR SHALL SLEEVE AND INSULATE ALL FLOOR PENETRATIONS AS PER SPECIFICATIONS.
- CONTRACTOR SHALL INSULATE ALL PIPING AS REQUIRED PER SPECIFICATIONS.

**PIPING SYSTEM SPECIFICATION**

SYSTEM	ABOVE GROUND	BELOW GROUND	JOINT METHOD	PIPE INSULATION
SANITARY WASTE	SCH 40 PVC	SCH 40 PVC,	SOLVENT WELD WITH MANUFACTURERS APPROVED CEMENT.	--
SANITARY VENT	SCH 40 PVC	SCH 40 PVC	SOLVENT WELD WITH MANUFACTURERS APPROVED CEMENT.	--
COLD WATER	TYPE L COPPER	TYPE K COPPER	LEAD-FREE NICKEL BEARING SOLDER ABOVE SLAB.	1/2" THICK FIBERGLASS
HOT WATER	TYPE L COPPER	TYPE K COPPER	LEAD-FREE NICKEL BEARING SOLDER ABOVE SLAB.	1" THICK FIBERGLASS
CONDENSATE	SCH 40 PVC, COPPER IN RETURN PLENUM.	SCH 40 PVC	SOLVENT WELD IF PVC, SAME AS ABOVE IF COPPER.	1/2" THICK FIBERGLASS

**SPECIFICATION NOTES:**

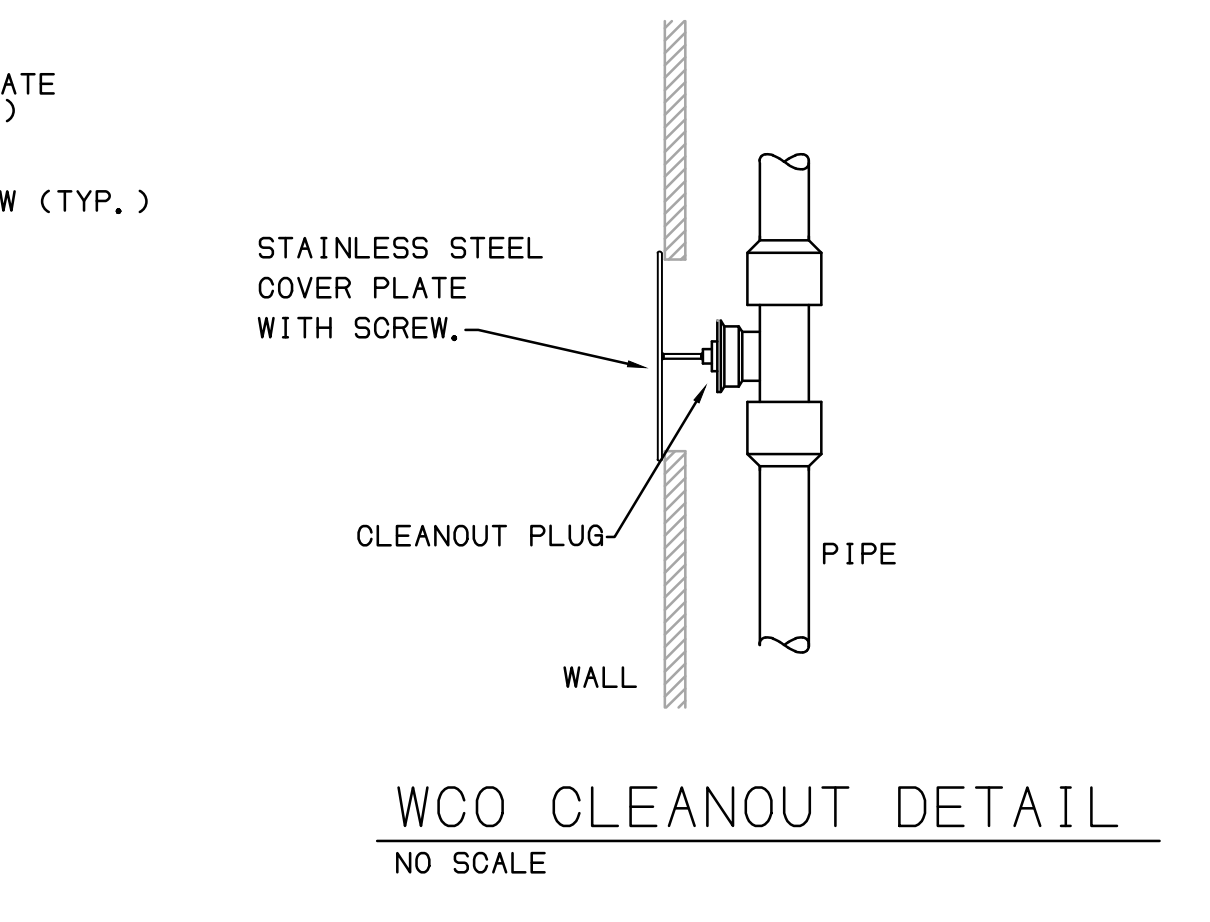
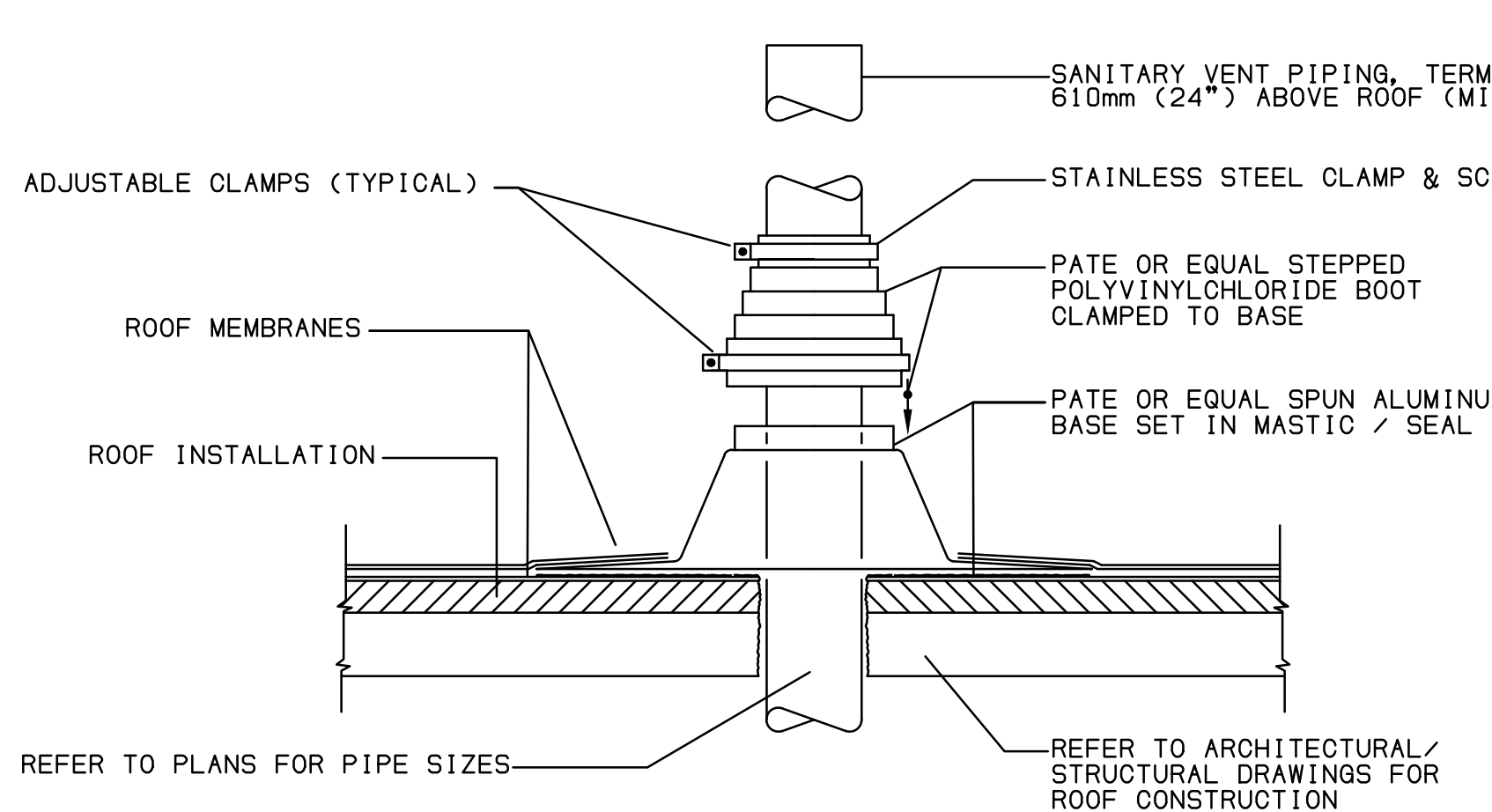
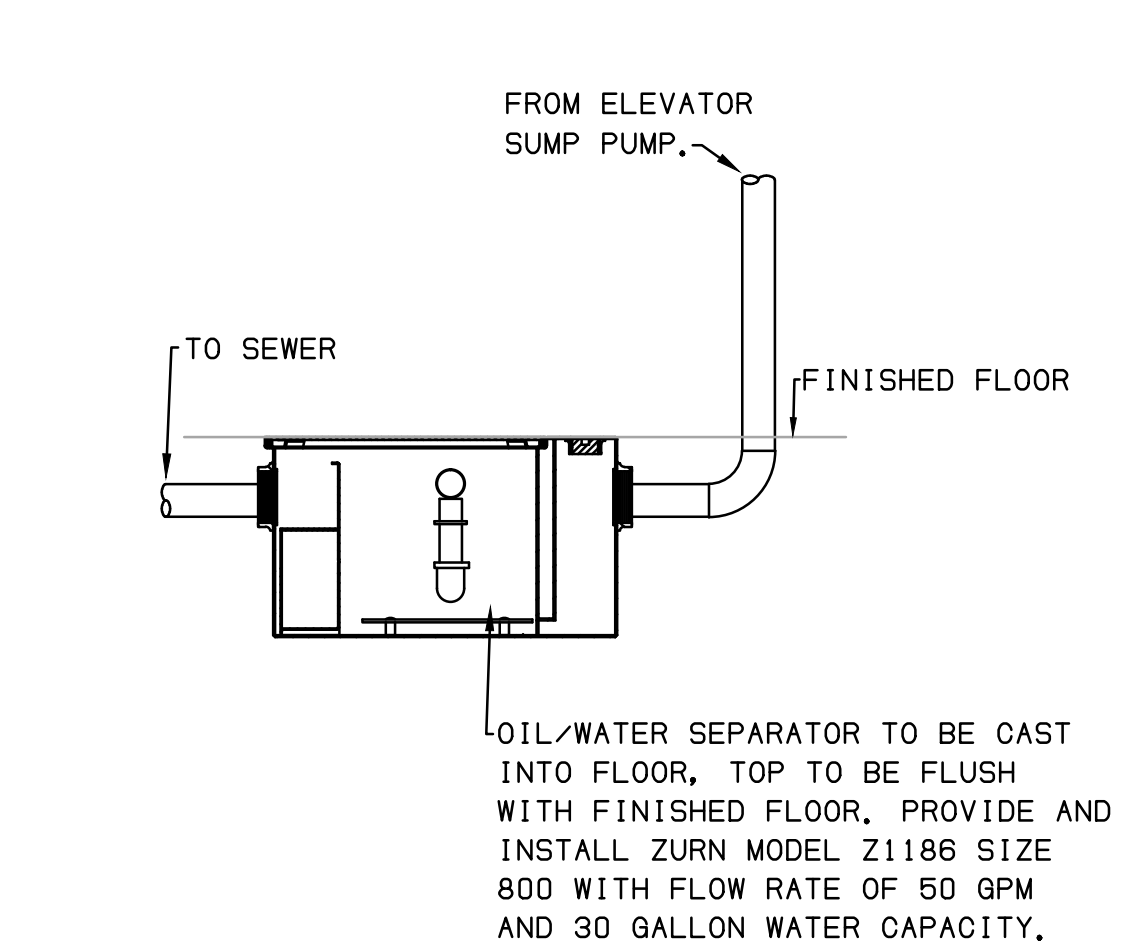
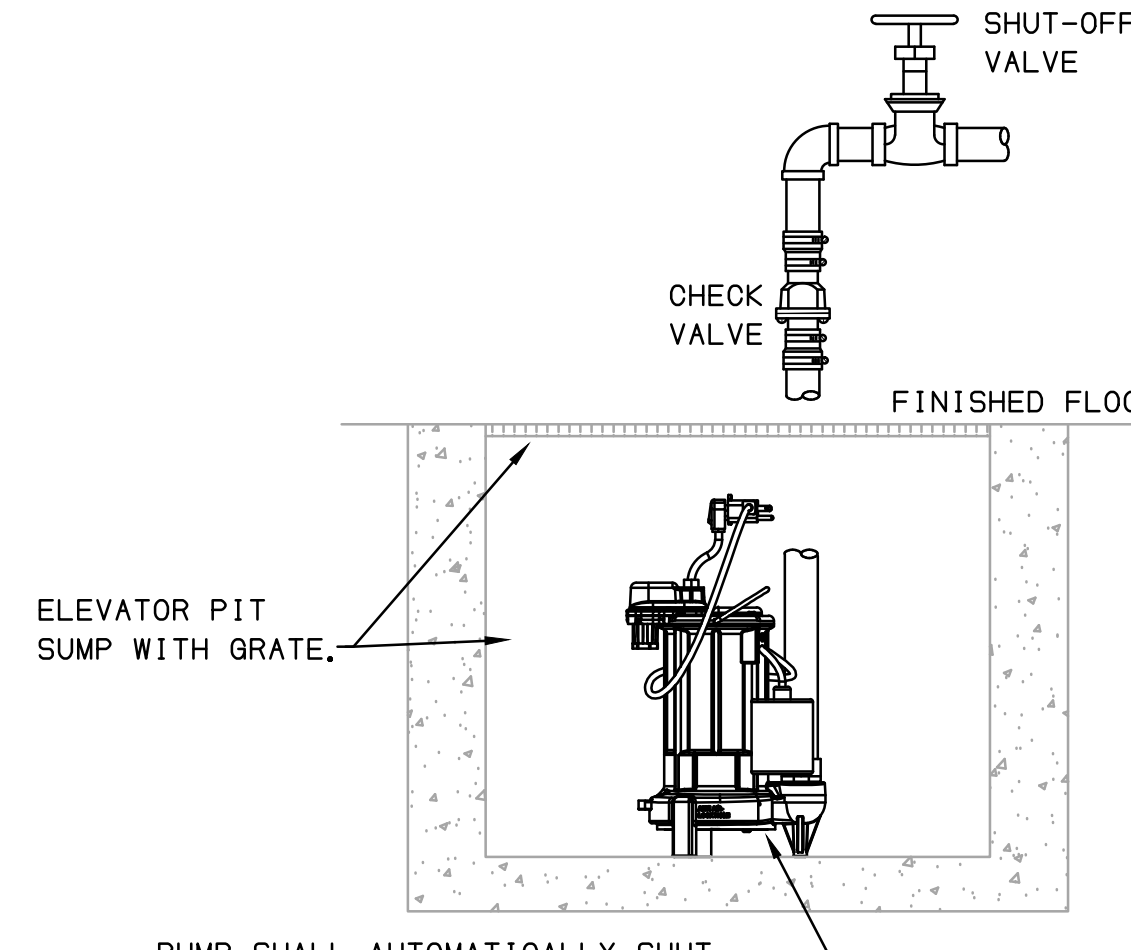
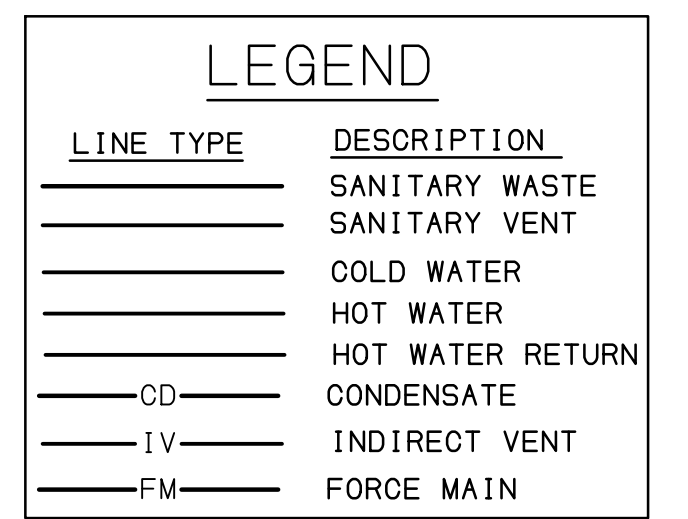
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL SERIES PRIOR TO INSTALLATION OF FIXTURES AND SYSTEMS.
- CONTRACTOR SHALL MAKE ALL APPLICATIONS FOR PERMITS AND PAY ALL RELATED FEES FOR THE PERMIT, INSPECTIONS AND TEST AS REQUIRED BY THE LOCAL AHJ. ALL ASSOCIATED FEES SHALL BE INCLUDED IN CONTRACT BID.
- DRAINAGE PIPING SHALL BE TESTED WITH A WATER TEST IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE AND LOCAL CODE ENFORCEMENT.
- WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE AND LOCAL CODE ENFORCEMENT.
- JOINTS IN FIRE PROTECTION PIPING SHALL HAVE A WORKING PRESSURE OF 165 PSI.
- USE DIELECTRIC FITTINGS AND UNIONS IN UN SIMILAR MATERIALS.
- BALL VALVES SHALL BE RATED FOR MINIMUM OF 125 PSI AND SHALL BE FULL PORT 2 PIECE WITH STAINLESS STEEL BALL EQUAL TO WATTS.
- HANGERS SHALL BE CLEVIS OR SPLIT RING FOR COPPER PIPING, HANGERS SHALL BE COATED TO PROTECT AGAINST CORROSION AS REQUIRED, HANGERS FOR WASTE AND DRAIN PIPING SHALL BE CLEVIS TYPE.
- ONCE FIXTURES HAVE BEEN INSTALLED THEY SHALL BE INSPECTED AND TESTED AND SHALL BE CLEANED PRIOR TO LEAVING THE SITE.



**WATER HEATER:**  
 TAG - WH-1  
 QUANTITY - 2  
 DOMESTIC HOT WATER SYSTEM  
 ELECTRICAL REQUIREMENTS - 4, 5KW/208V/3ø/60HZ,  
 40 GALLON TANK WITH 23 GPH @ 80' F RISE  
 STATE PCE 40 20TRA

**RECIRCULATION PUMP:**  
 TAG - CP-1  
 QUANTITY - 2  
 DOMESTIC HOT WATER RETURN SYSTEM  
 BELL AND GOSSET - SERIES PR  
 4 GPM AT 5 FEET ESTIMATED HEAD  
 1/8"H.P. - 120V/1ø/60 HZ.  
 TYPE: IN-LINE

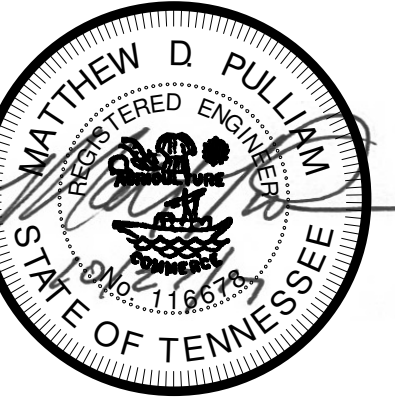
**BACKFLOW SCHEDULE:**  
 TAG - BFP-1  
 QUANTITY - 1  
 DOMESTIC COLD WATER SYSTEM  
 WATTS 3" 957-OSY  
 WITH PRESSURE DROP OF 10 PSI.  
 PROVIDE WATTS AIR GAP AND STRAINER.





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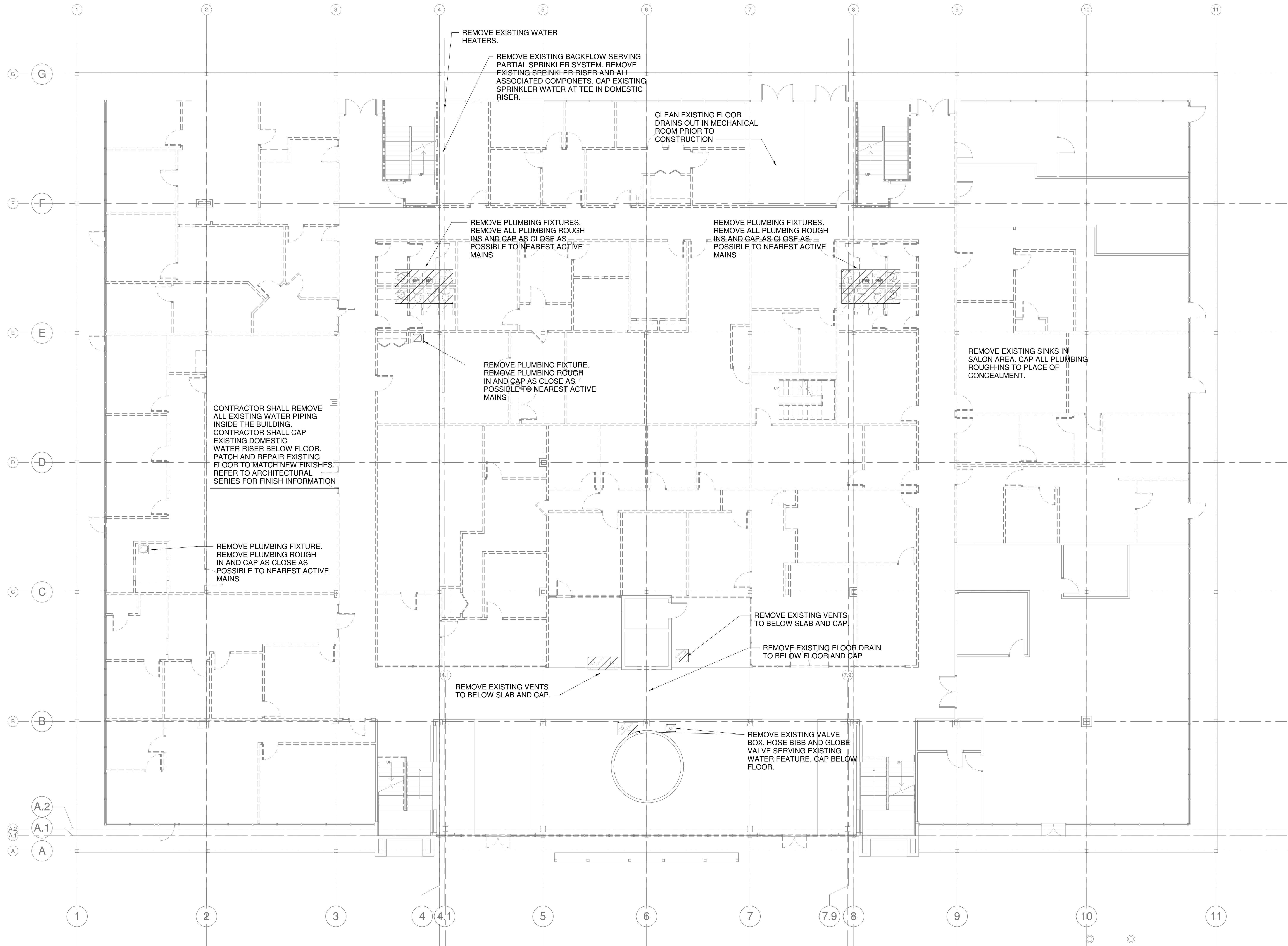


REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

**PD1.1**

Sheet Title  
1ST FLOOR DEMO PLAN - PLUMBING  
 Project No.  
17027  
 Design By  
Author  
 Date  
11/6/2017



**1 1ST FLOOR DEMO PLAN - PLUMBING**

1/8" = 1'-0"



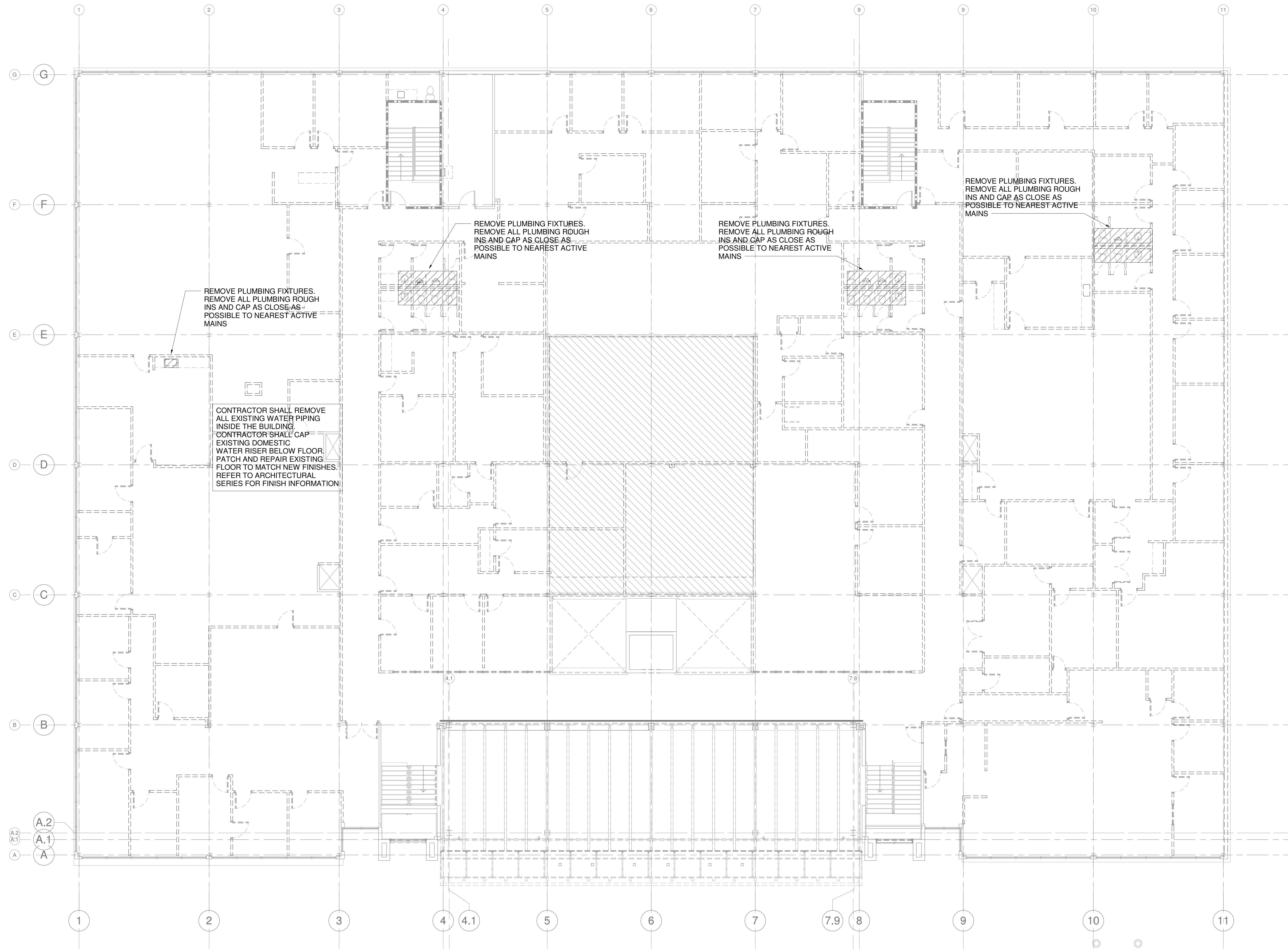


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REMOVE PLUMBING FIXTURES.  
REMOVE ALL PLUMBING ROUGH  
INS AND CAP AS CLOSE AS  
POSSIBLE TO NEAREST ACTIVE  
MAINS

REMOVE PLUMBING FIXTURES.  
REMOVE ALL PLUMBING ROUGH  
INS AND CAP AS CLOSE AS  
POSSIBLE TO NEAREST ACTIVE  
MAINS

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MAINS

REMOVE PLUMBING FIXTURES.  
REMOVE ALL PLUMBING ROUGH  
INS AND CAP AS CLOSE AS  
POSSIBLE TO NEAREST ACTIVE  
MAINS

CONTRACTOR SHALL REMOVE  
ALL EXISTING WATER PIPING  
INSIDE THE BUILDING.  
CONTRACTOR SHALL CAP  
EXISTING DOMESTIC  
WATER RISER BELOW FLOOR.  
PATCH AND REPAIR EXISTING  
FLOOR TO MATCH NEW FINISHES.  
REFER TO ARCHITECTURAL  
SERIES FOR FINISH INFORMATION.

1 2ND FLOOR DEMO PLAN - PLUMBING  
1/8" = 1'-0"

r e n a i s s a n c e g r o u p

Construction Documents for  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
2ND FLOOR DEMO PLAN -  
PLUMBING

Project No.  
17027

Drawn by  
Author

Date  
11/6/2017

Sheet No.  
**PD1.2**



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Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
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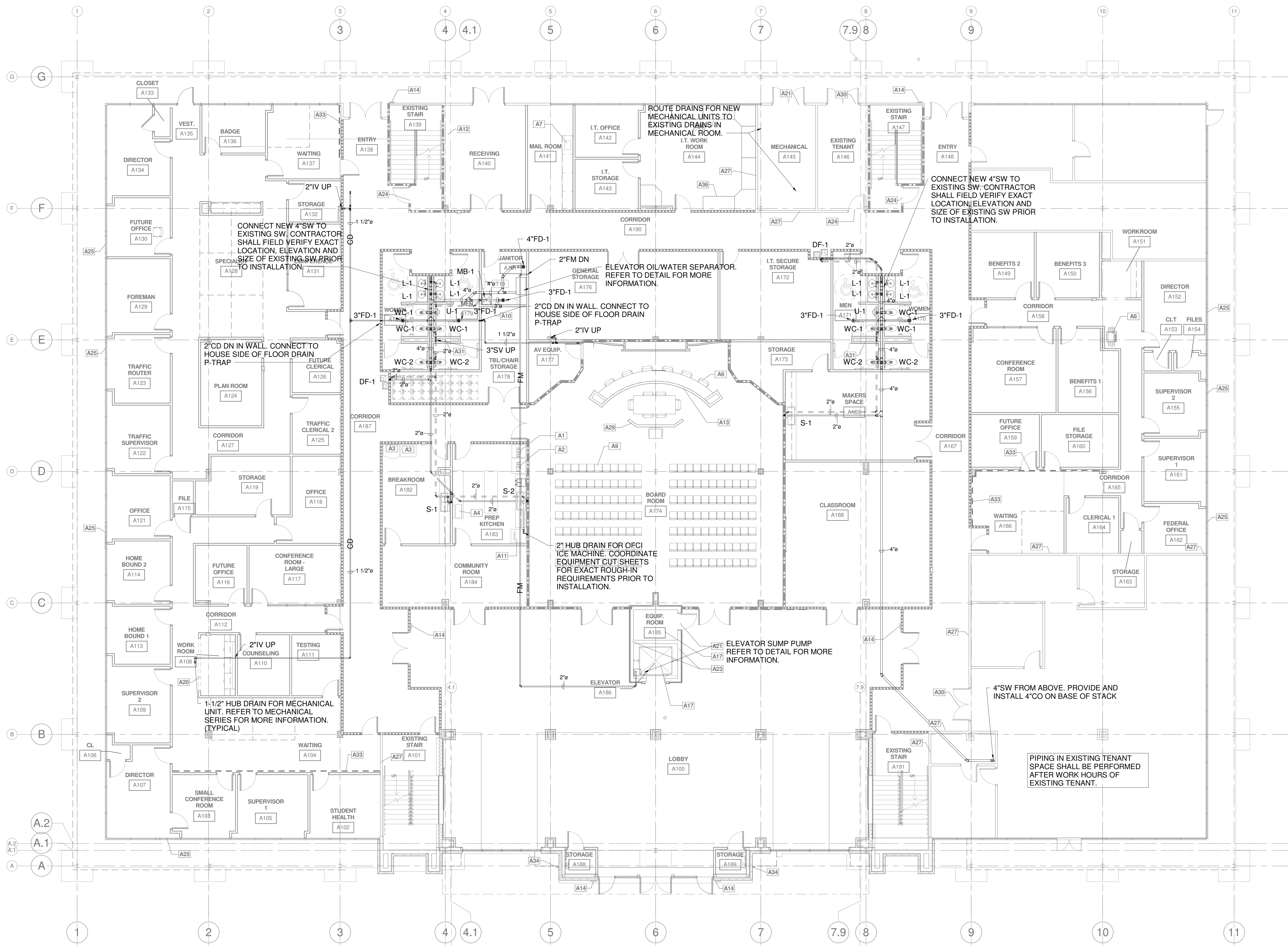
Sheet Title  
1ST FLOOR PLAN - DWV - PLUMBING

Project No.  
17027

Drawn By  
Author

Date  
11/6/2017

**P1.1**



**1 1ST FLOOR PLAN - DWV - PLUMBING**  
 1/8" = 1'-0"



D-Series  
Size 0  
LED Area Luminaire

DSXLED P6 40K T3M MVOLT  
HS DDBXD RPA

Z AND ZZ POLE AND WALL



Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

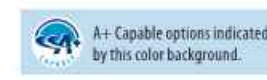
This luminaire is A+ Certified when ordered with DTL equipped luminaires meet the A+ specification for luminaire to photocrotonal interoperability.

This luminaire is part of an A+ Certified solution for ROAM or XPoint Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam Link to DTL DLL.

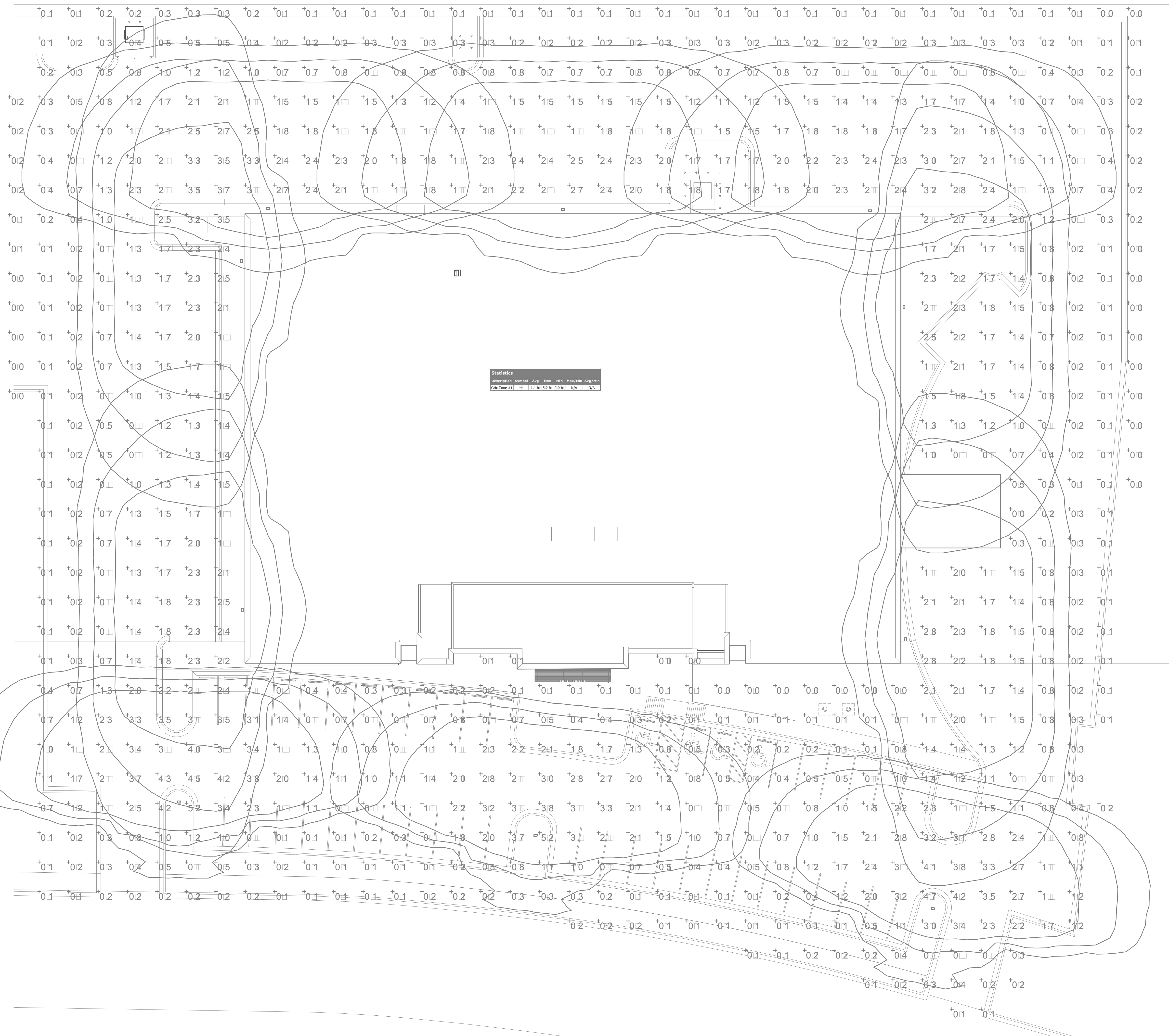


Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD

Table with columns for Series, LEDs, Color Temperature, Distribution, Voltage, and Mounting. It lists various configurations for DSX0 LED luminaires.

Table with columns for Control options and Other options. It lists various accessories and mounting hardware for the luminaires.



1 SITE PHOTOMETRICS  
1/16"=1'-0"



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Table with columns for REV, DESCRIPTION, and DATE. It is currently empty.

Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
SITE PLAN - P - PHOTOMETRICS

Project No.  
17027

Designed by  
CSA

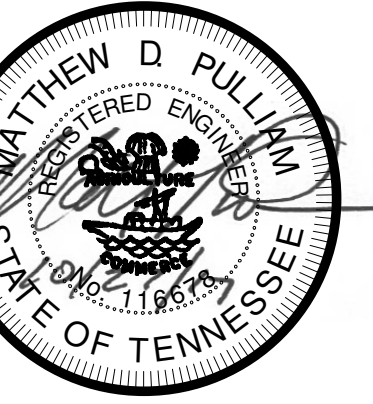
Date  
10/31/2017

**E0.2**



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Construction Documents for  
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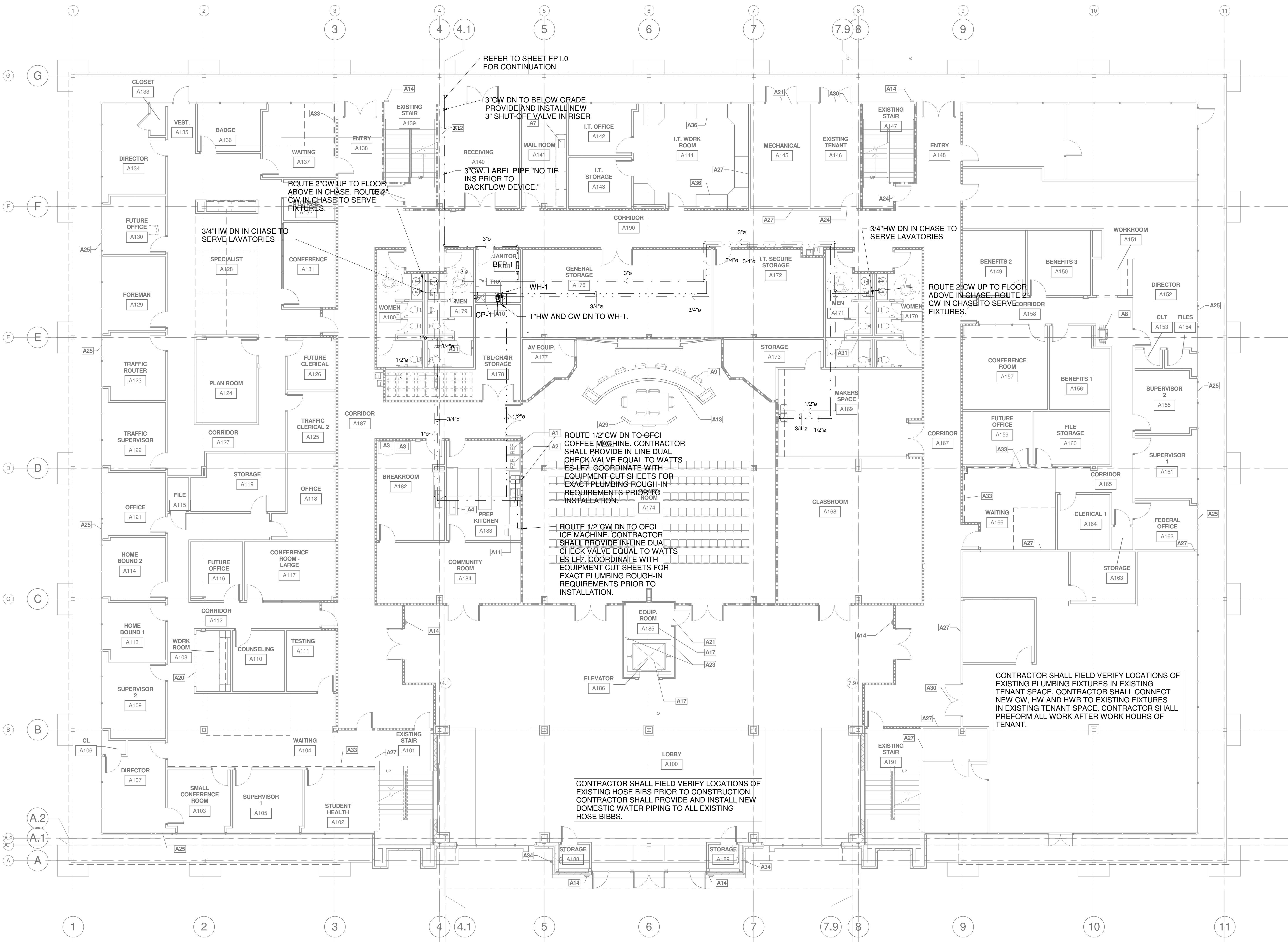
Sheet Title  
1ST FLOOR PLAN - WATER - PLUMBING

Project No.  
17027

Design by  
Author

Date  
11/6/2017

**P1.2**



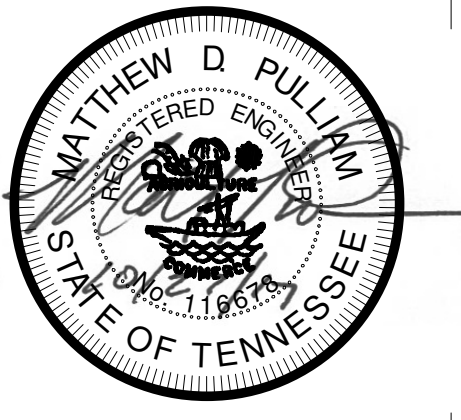
**1 1ST FLOOR PLAN - WATER - PLUMBING**  
 1/8" = 1'-0"

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REV	DESCRIPTION	DATE

Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
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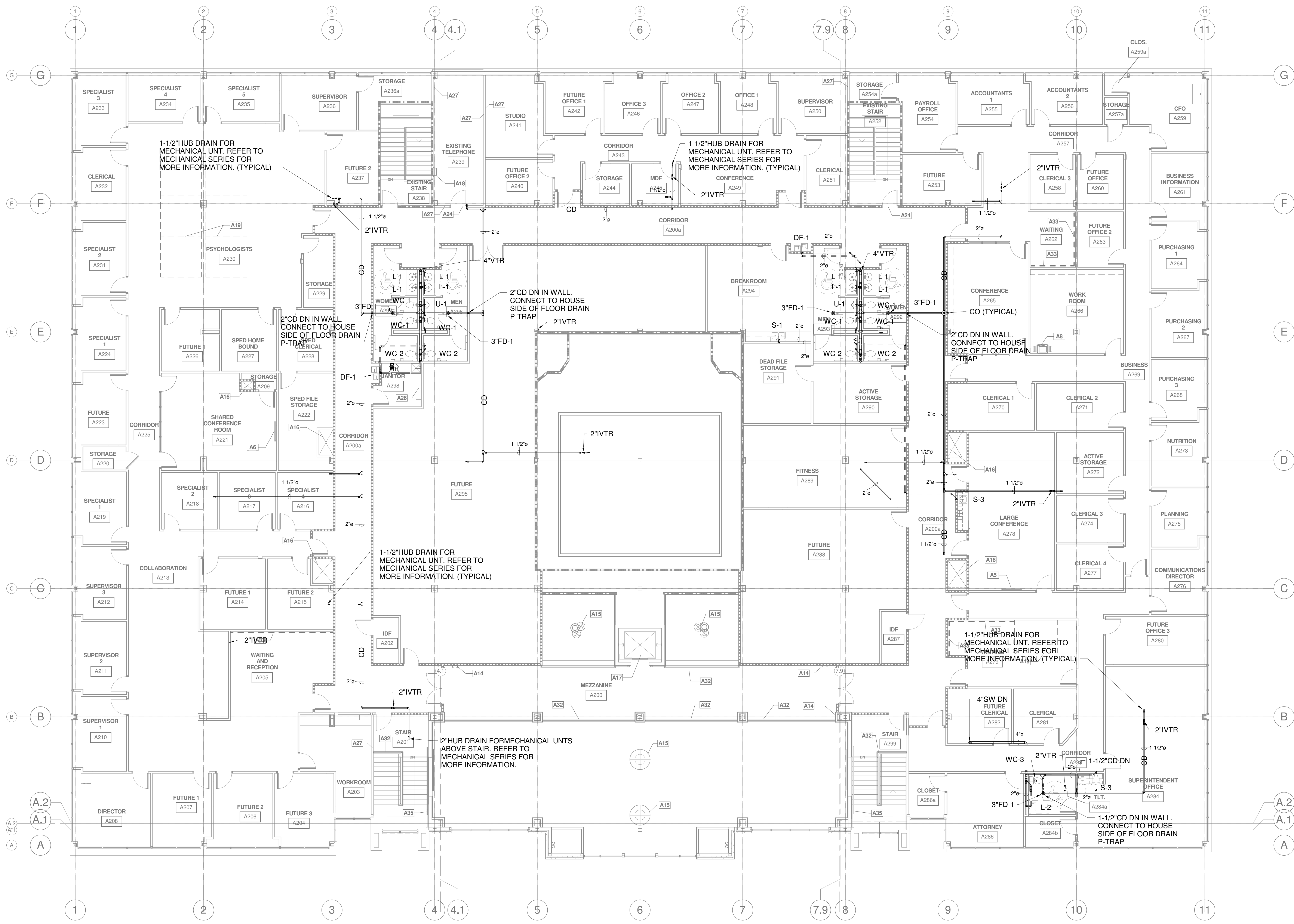
Sheet Title  
 2ND FLOOR PLAN - DWV - PLUMBING

Project No.  
 17027

Drawn By  
 Author

Date  
 11/6/2017

**P1.3**



**1 2ND FLOOR PLAN - DWV - PLUMBING**  
 1/8" = 1'-0"

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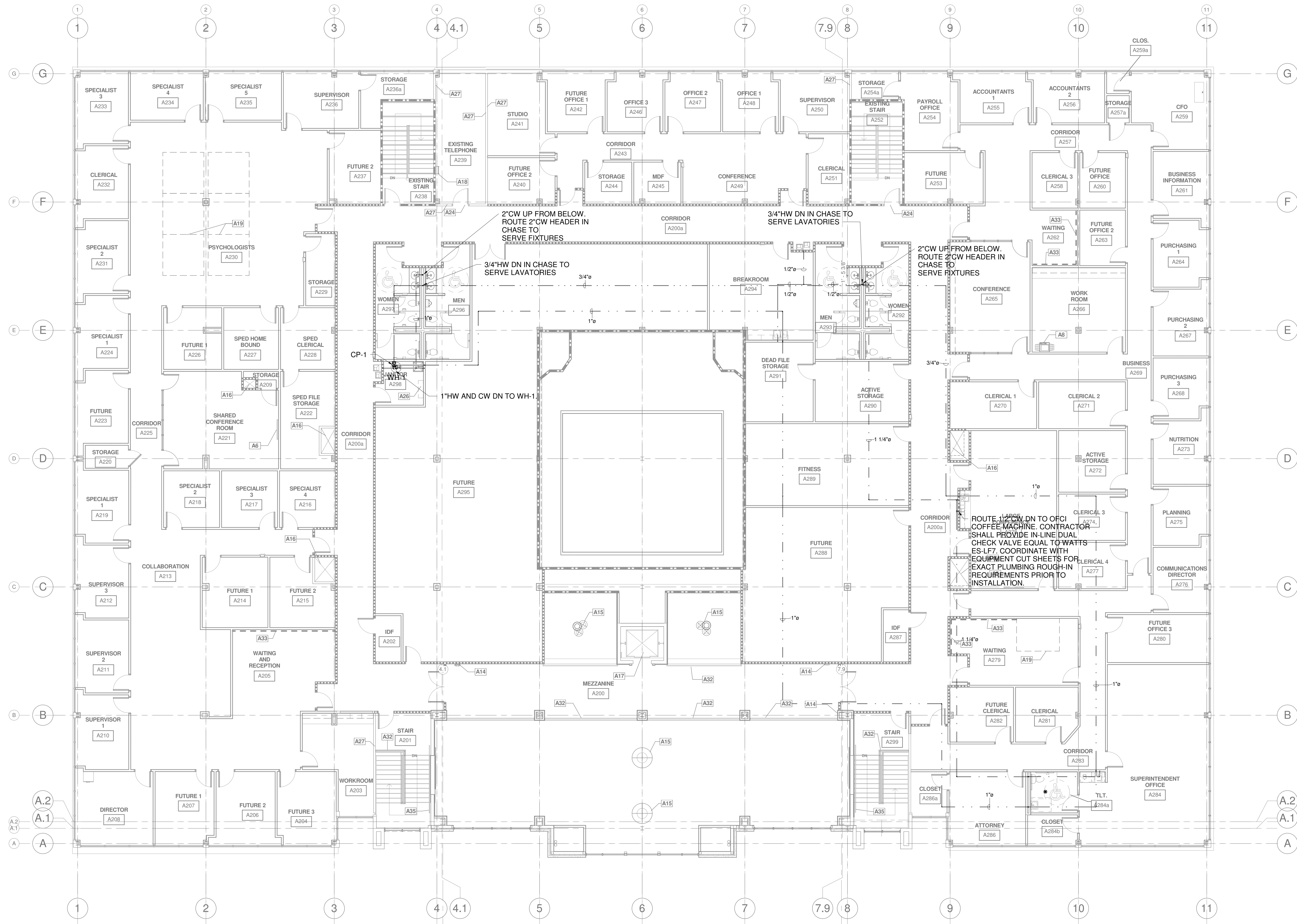


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1 2ND FLOOR PLAN - WATER - PLUMBING  
1/8" = 1'-0"

Construction Documents for  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
2ND FLOOR PLAN - WATER - PLUMBING

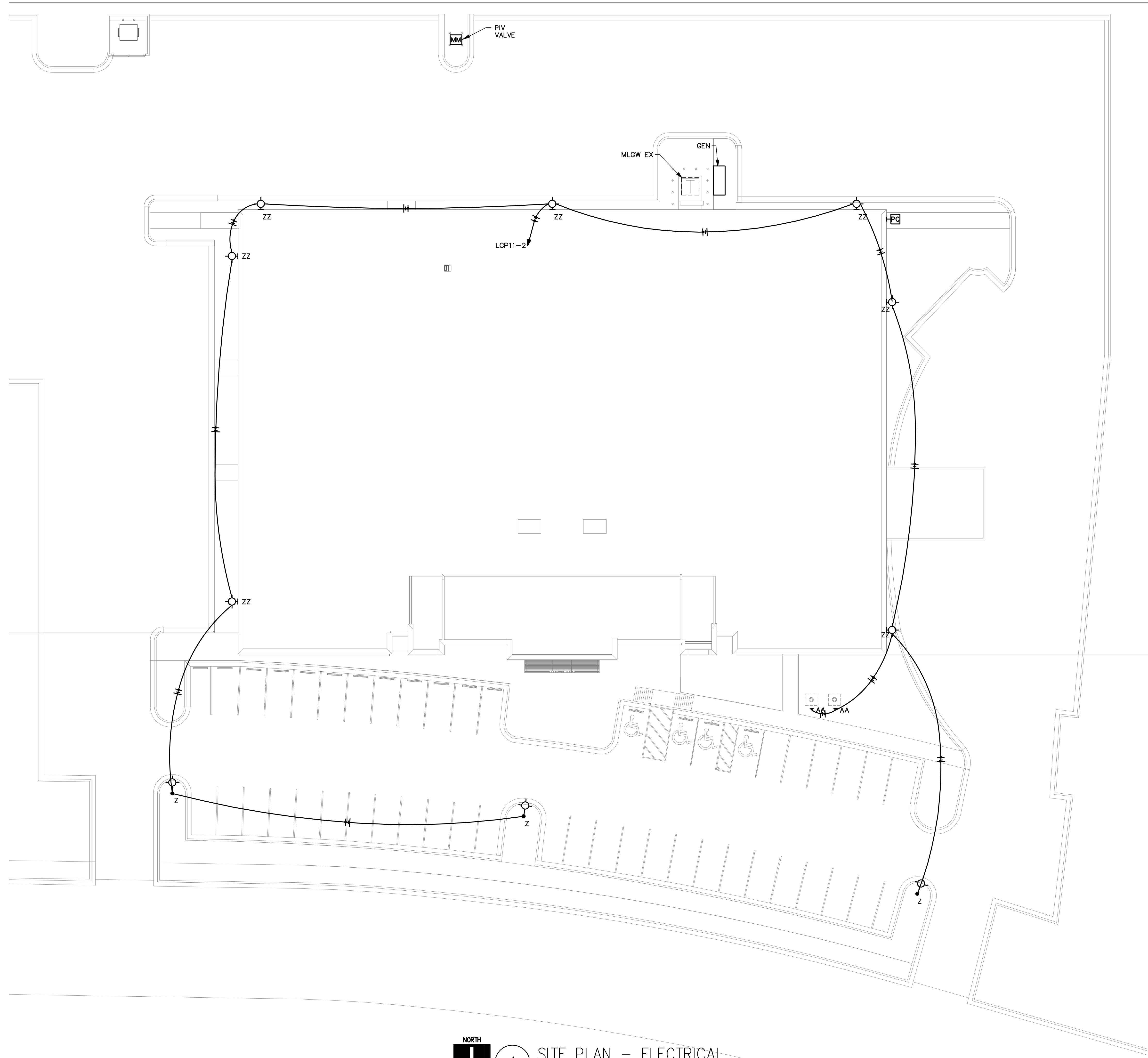
Project No.  
17027

Drawn By  
Author

Date  
11/6/2017

**P1.4**

r e n a i s s a n c e g r o u p




1 SITE PLAN - ELECTRICAL  
 1/16"=1'-0"



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Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title: SITE PLAN - ELECTRICAL  
 Project No: 17027  
 Designer: CSA  
 Date: 10/31/2017

E0.1



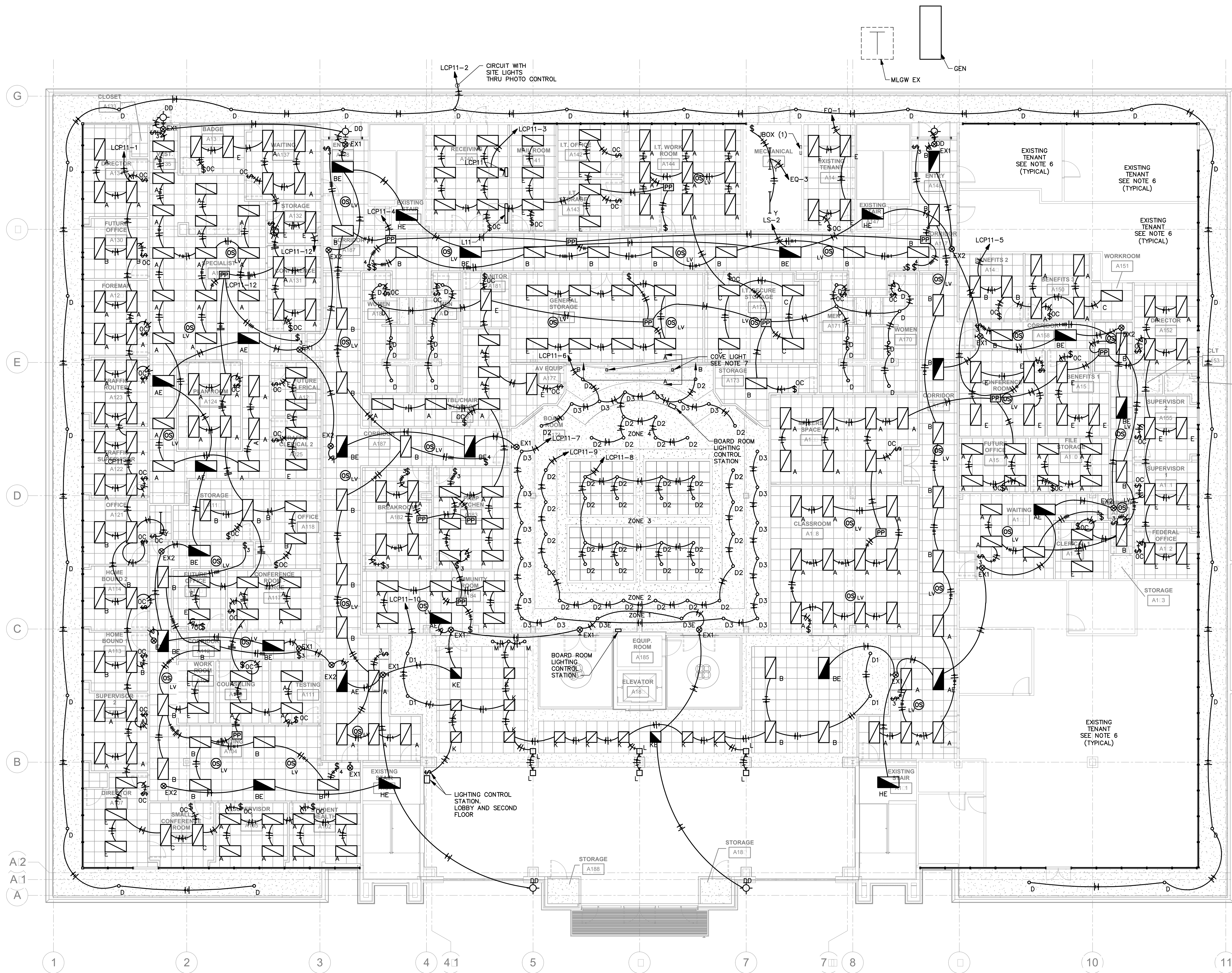
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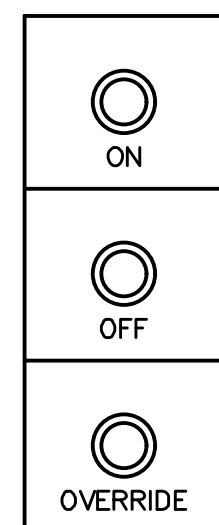
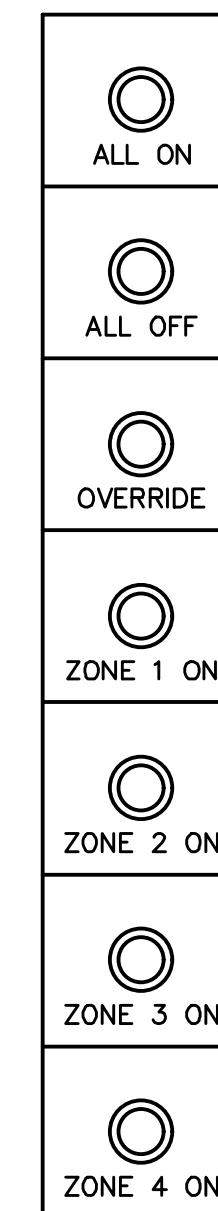
Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134



1 FIRST FLOOR PLAN - LIGHTING  
 1/8"=1'-0"

NOTES:

1. CONFIGURE CIRCUIT BREAKERS IN PANEL LCP11 TO PROVIDE THE CONTROL FUNCTIONS SHOWN HERE.
2. LOCATE THE SECOND FLOOR LIGHTING CONTROL STATION ON THE FIRST FLOOR ADJACENT TO THE FIRST FLOOR LOBBY LIGHTING CONTROL STATION.
3. REFER TO WIRING SCHEMATICS FOR OCCUPANCY SENSOR WIRING.
4. THIS CONTRACTOR SHALL LAYOUT ALL OCCUPANCY SENSORS PRIOR TO INSTALLATION TO ENSURE THAT ALL AREAS ARE COVERED BY THE DEVICES.
5. PROVIDE ADDITIONAL POWER PACKS AS REQUIRED FOR THE CIRCUITING. IT IS ACCEPTABLE TO COMBINE POWER PACKS ON LIGHTING CIRCUITS TO REDUCE THE NUMBER OF HOMERUNS.
6. RECONNECT ALL LIGHTING CIRCUITS IN EXISTING TENANT SPACES.
7. FURNISH AND INSTALL 2 TYPE "J1" FIXTURES IN EACH SIDE IF THE VERTICAL COVE. CONNECT TO THE ROOM LIGHTING CIRCUIT AT THE FRONT OF THE ROOM. REFER TO DRAWING E7.5.



2 BOARD ROOM LOBBY  
 LIGHTING CONTROL STATIONS

Sheet Title: FIRST FLOOR PLAN - LIGHTING

Project No: 17027

Drawn by: CSA

Date: 10/31/2017

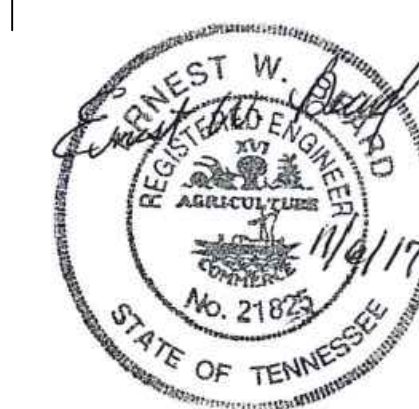
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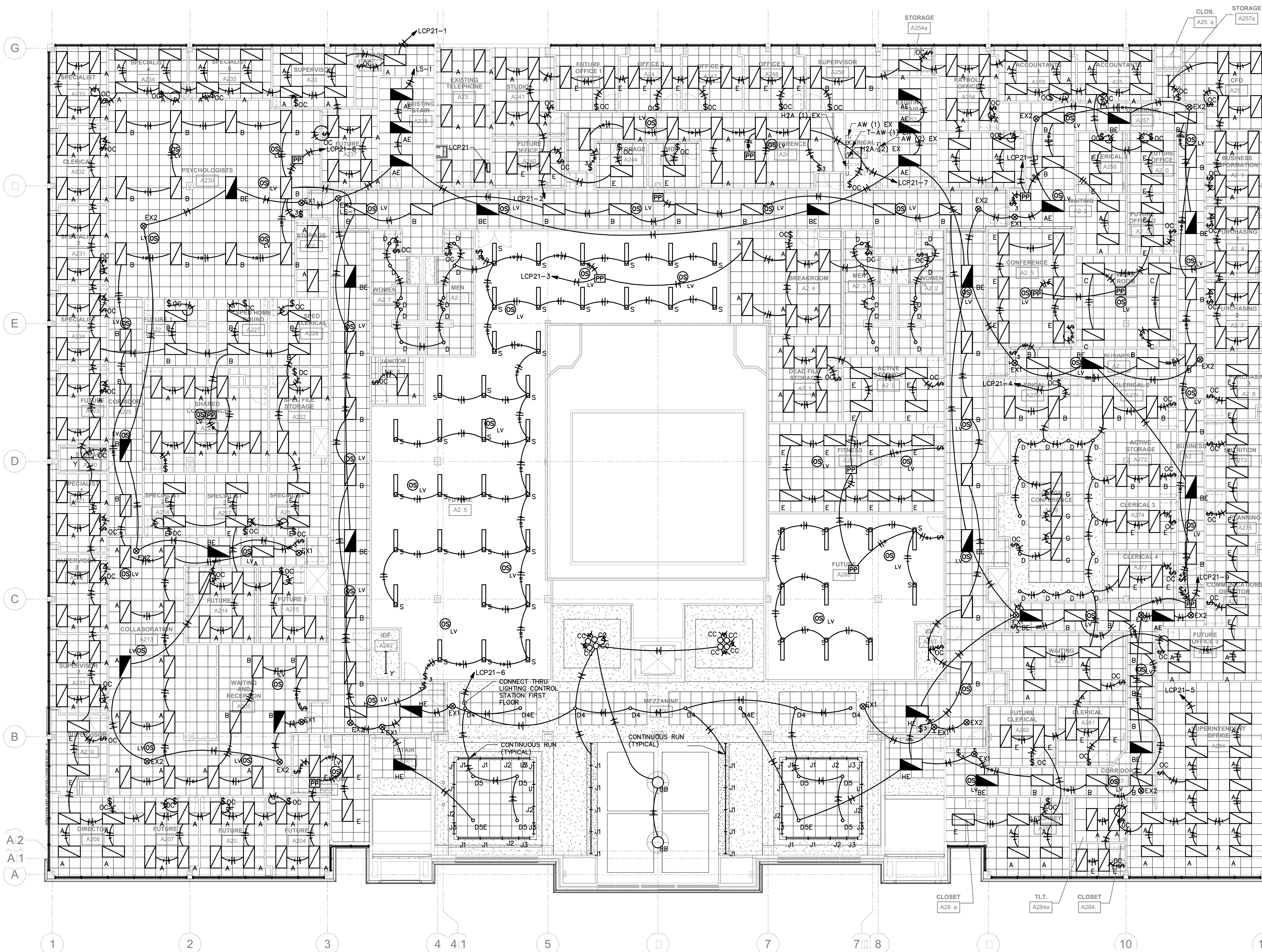


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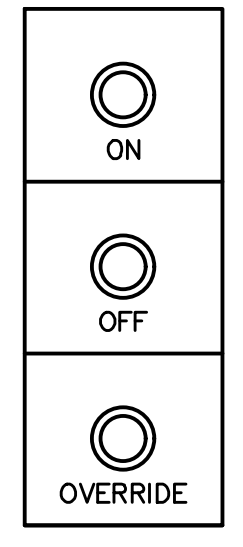


REV	DESCRIPTION	DATE



NOTES:

1. CONFIGURE CIRCUIT BREAKERS IN PANEL LCP11 TO PROVIDE THE CONTROL FUNCTIONS SHOWN HERE.
2. LOCATE THE SECOND FLOOR LIGHTING CONTROL STATION ON THE FIRST FLOOR ADJACENT TO THE FIRST FLOOR LOBBY LIGHTING CONTROL STATION.
3. REFER TO WIRING SCHEMATICS FOR OCCUPANCY SENSOR WIRING.
4. THIS CONTRACTOR SHALL LAYOUT ALL OCCUPANCY SENSORS PRIOR TO INSTALLATION TO ENSURE THAT ALL AREAS ARE COVERED BY THE DEVICES.
5. PROVIDE ADDITIONAL POWER PACKS AS REQUIRED FOR THE CIRCUITING. IT IS ACCEPTABLE TO COMBINE POWER PACKS ON LIGHTING CIRCUITS TO REDUCE THE NUMBER OF HOMERUNS.
6. RECONNECT ALL LIGHTING CIRCUITS IN EXISTING TENANT SPACES.



SECOND FLOOR LOBBY

2 LIGHTING CONTROL STATIONS

1 NORTH  
1 SECOND FLOOR PLAN - LIGHTING  
1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

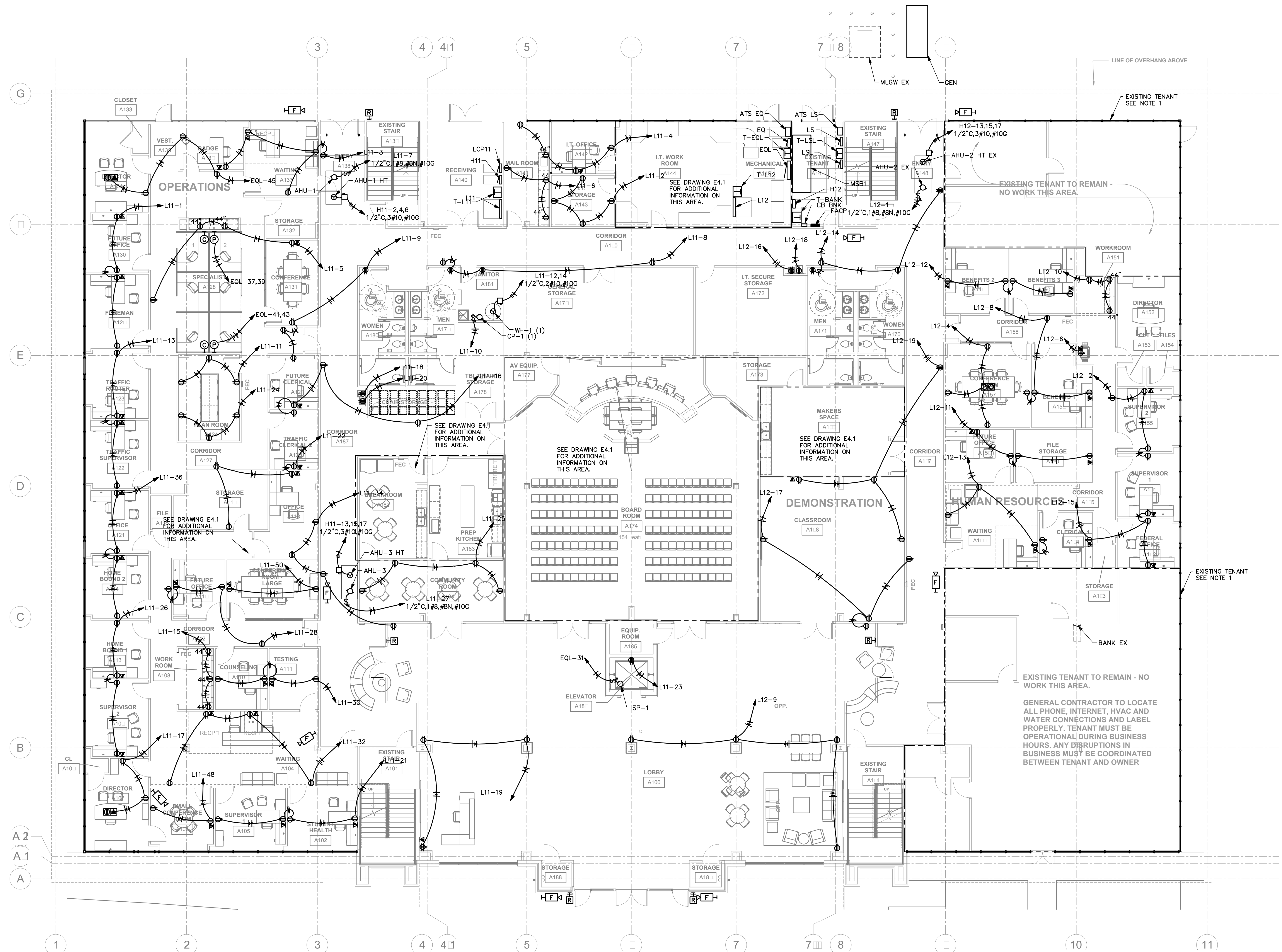


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REV	DESCRIPTION	DATE



**NOTES:**

- FURNISH AND INSTALL ALL CONDUIT AND CONDUCTORS FOR RECONNECTING THE EXISTING TENANT SPACES. SITE VERIFICATION IS REQUIRED BY THIS CONTRACTOR.
- ELECTRIC HEAT CONNECTIONS ARE INDICATED IN THE EXISTING ELECTRICAL PANELS. RECONNECT EXISTING ELECTRIC HEAT TO THE NEW PANELS IN THIS PROJECT. REFER TO PANEL SCHEDULES FOR AN ESTIMATE OF THE NUMBER OF CIRCUITS TO RECONNECT.

1 FIRST FLOOR PLAN - ELECTRICAL  
 1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

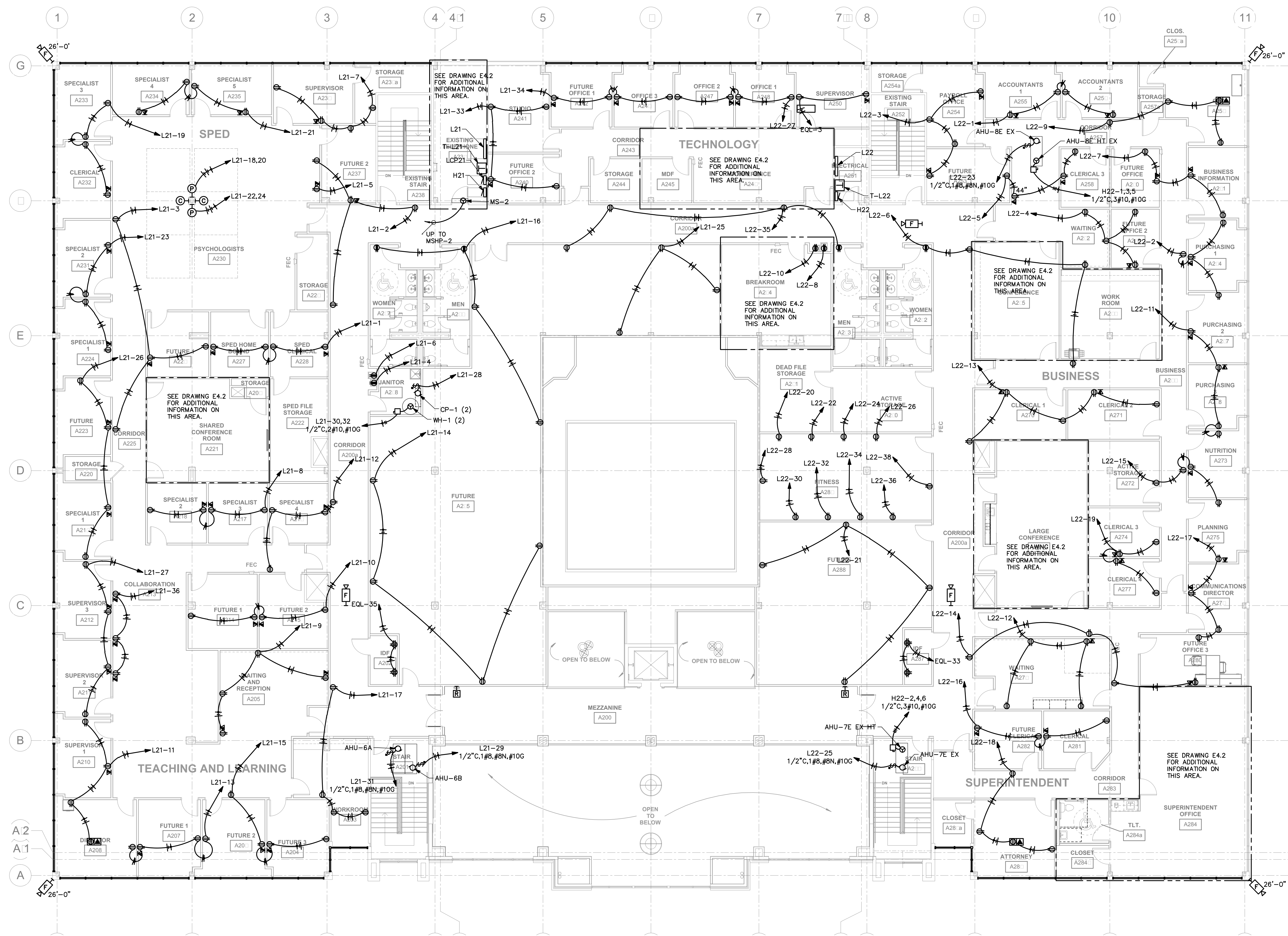


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NORTH  
  
 1 SECOND FLOOR PLAN - ELECTRICAL  
 1/8"=1'-0"

- © NOTES
- ELECTRIC HEAT CONNECTIONS ARE INDICATED IN THE EXISTING ELECTRICAL PANELS. RECONNECT EXISTING ELECTRIC HEAT TO THE NEW PANELS IN THIS PROJECT. REFER TO PANELS SCHEDULES FOR AN ESTIMATE OF THE NUMBER OF CIRCUITS TO RECONNECT.

Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
 SECOND - LOOR PLAN - ELECTRICAL  
 Project No.  
 17027  
 Designer  
 CSA  
 Date  
 10/31/2017

E2.2

R E N A I S S A N C E G R O U P

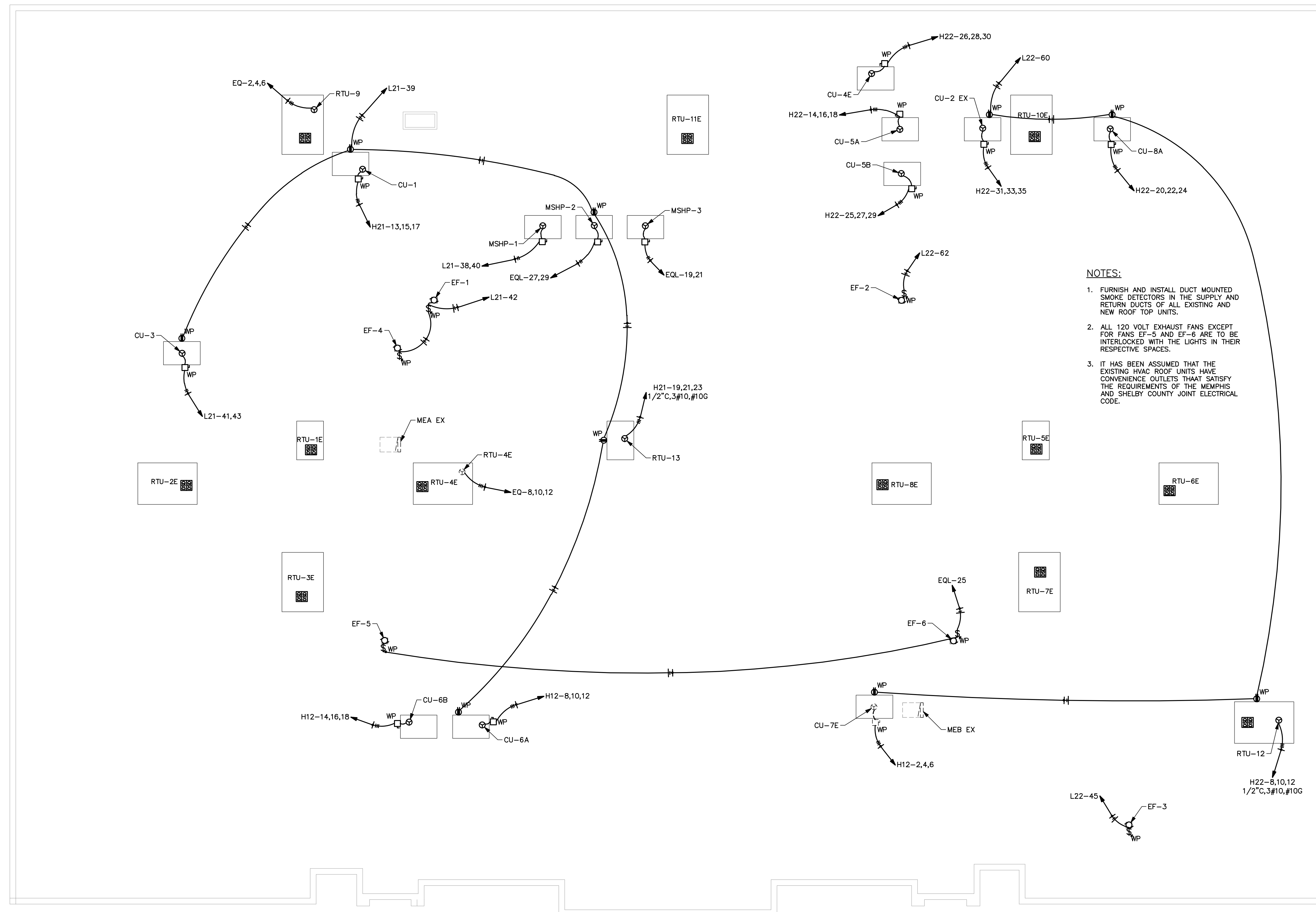


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- NOTES:**
- FURNISH AND INSTALL DUCT MOUNTED SMOKE DETECTORS IN THE SUPPLY AND RETURN DUCTS OF ALL EXISTING AND NEW ROOF TOP UNITS.
  - ALL 120 VOLT EXHAUST FANS EXCEPT FOR FANS EF-5 AND EF-6 ARE TO BE INTERLOCKED WITH THE LIGHTS IN THEIR RESPECTIVE SPACES.
  - IT HAS BEEN ASSUMED THAT THE EXISTING HVAC ROOF UNITS HAVE CONVENIENCE OUTLETS THAT SATISFY THE REQUIREMENTS OF THE MEMPHIS AND SHELBY COUNTY JOINT ELECTRICAL CODE.

- NOTES:**
- ELECTRIC HEAT CONNECTIONS ARE INDICATED IN THE EXISTING ELECTRICAL PANELS. RECONNECT EXISTING ELECTRICAL HEAT TO THE NEW PANELS IN THIS PROJECT. REFER TO PANELS SCHEDULES FOR AN ESTIMATE OF THE NUMBER OF CIRCUITS TO RECONNECT.

**1** ROOF PLAN - ELECTRICAL  
 1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title: ROO: PLAN: ELECTRICAL  
 Project No: 17027  
 Drawing: CSA  
 Date: 10/31/2017

**E2.3**

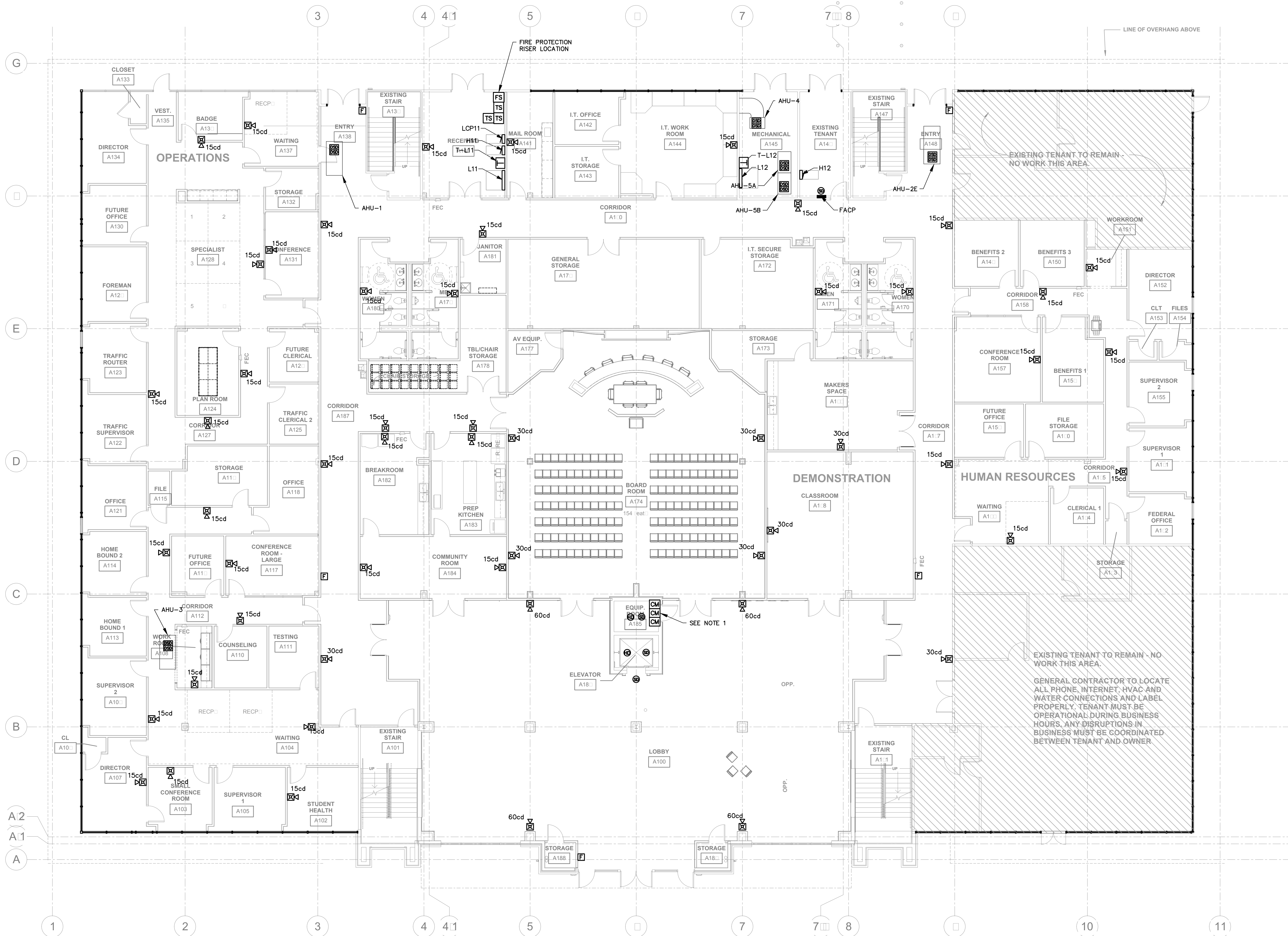


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- NOTES:
- FURNISH AND INSTALL CONTROL MODULES FOR MAIN FLOOR RECALL, ALTERNATE FLOOR RECALL, AND SHUNT TRIP FUNCTIONS.



1 FIRST FLOOR PLAN – FIRE ALARM  
1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
FIRST FLOOR PLAN – FIRE ALARM

Project No.  
17027

Drawn by  
CSA

Date  
10/31/2017

**E3.1**

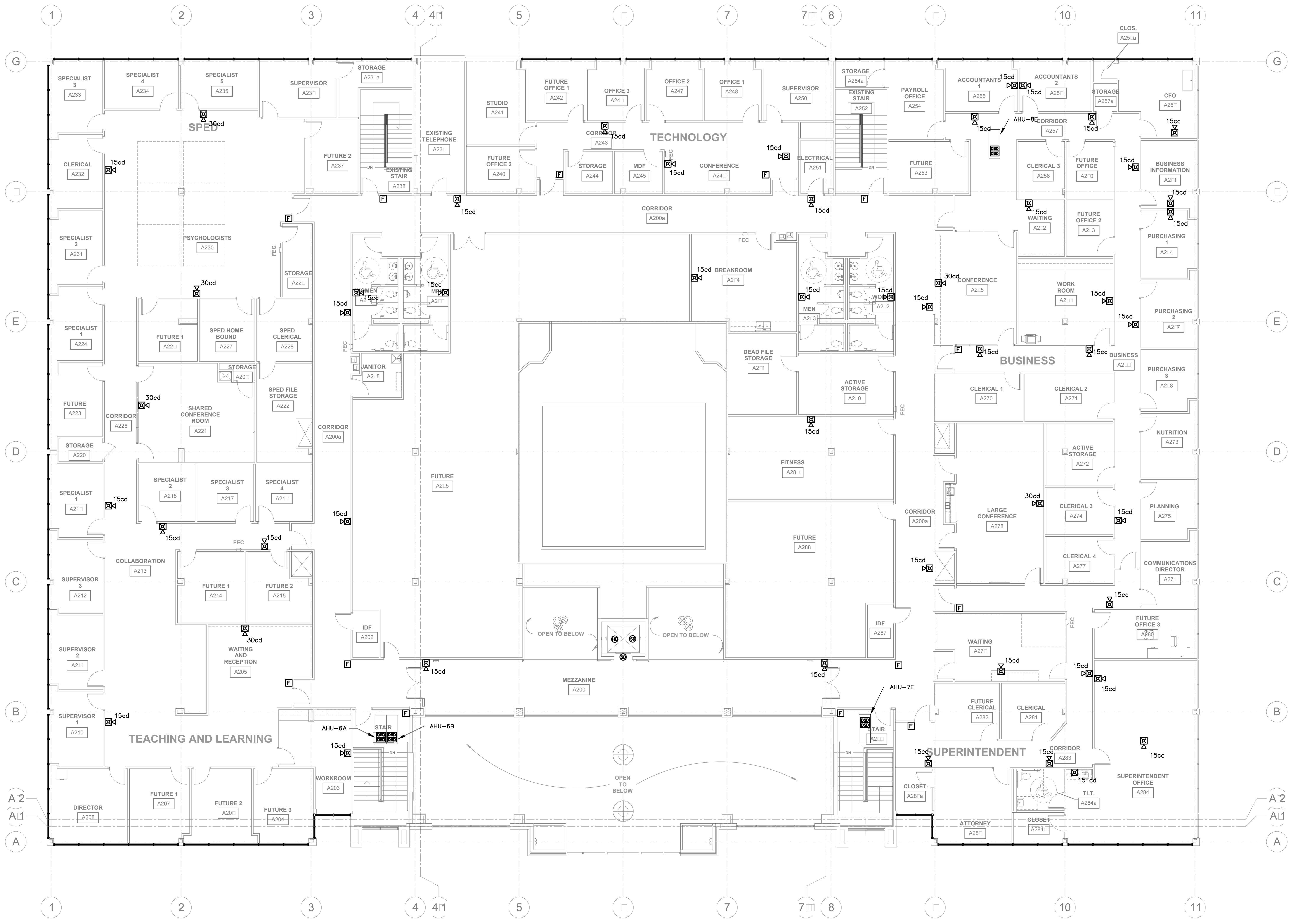


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NOTE:  
SCOPE OF PROJECT INCLUDES THE GENERAL CONTRACTOR  
SUPPLYING AND INSTALLING NEW WINDOW  
SHADES ON ALL EXTERIOR EXISTING WINDOW FRAMES.  
REF. SPECIFICATIONS

NORTH  
1 SECOND FLOOR PLAN - FIRE ALARM  
1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

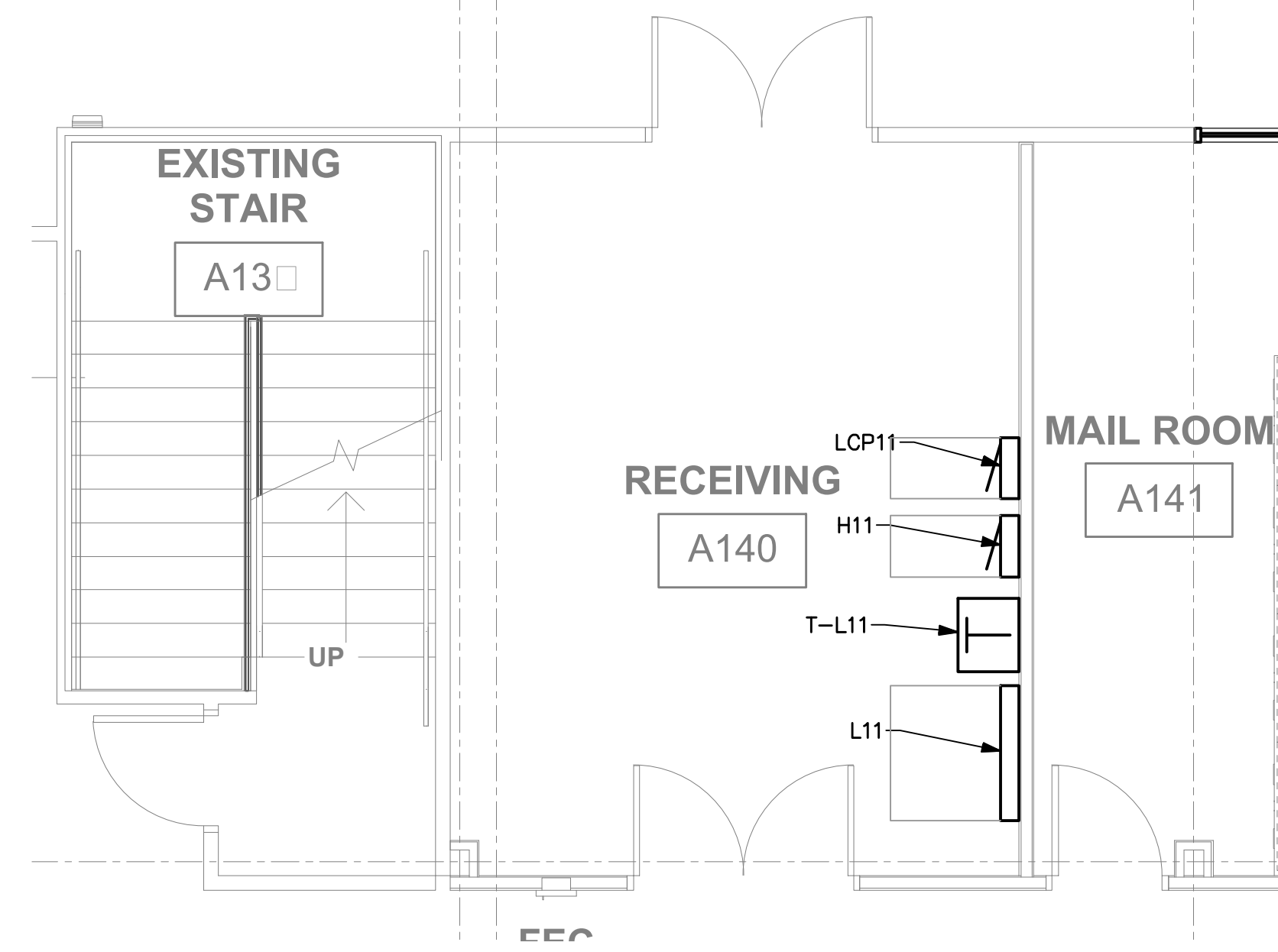
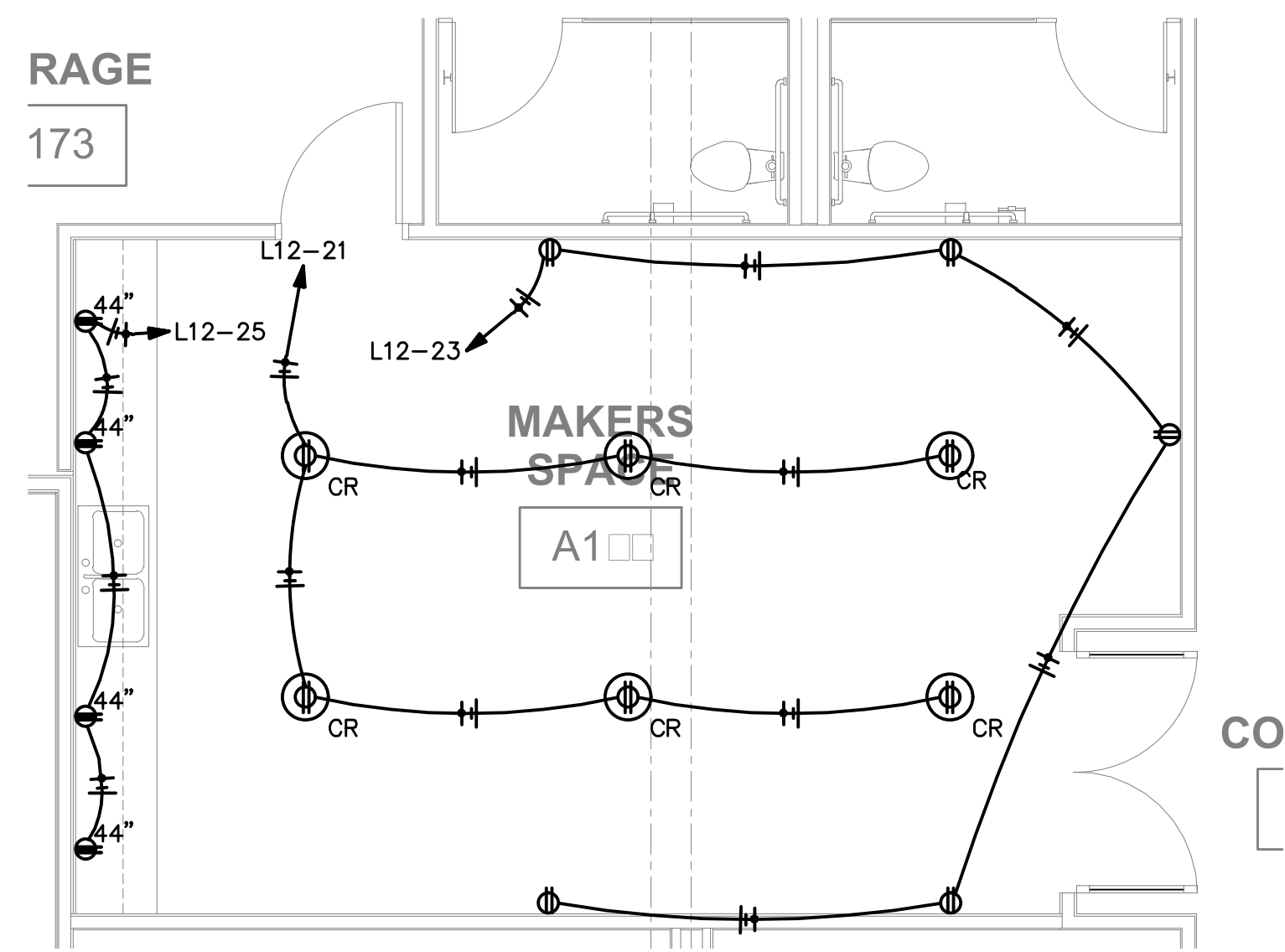
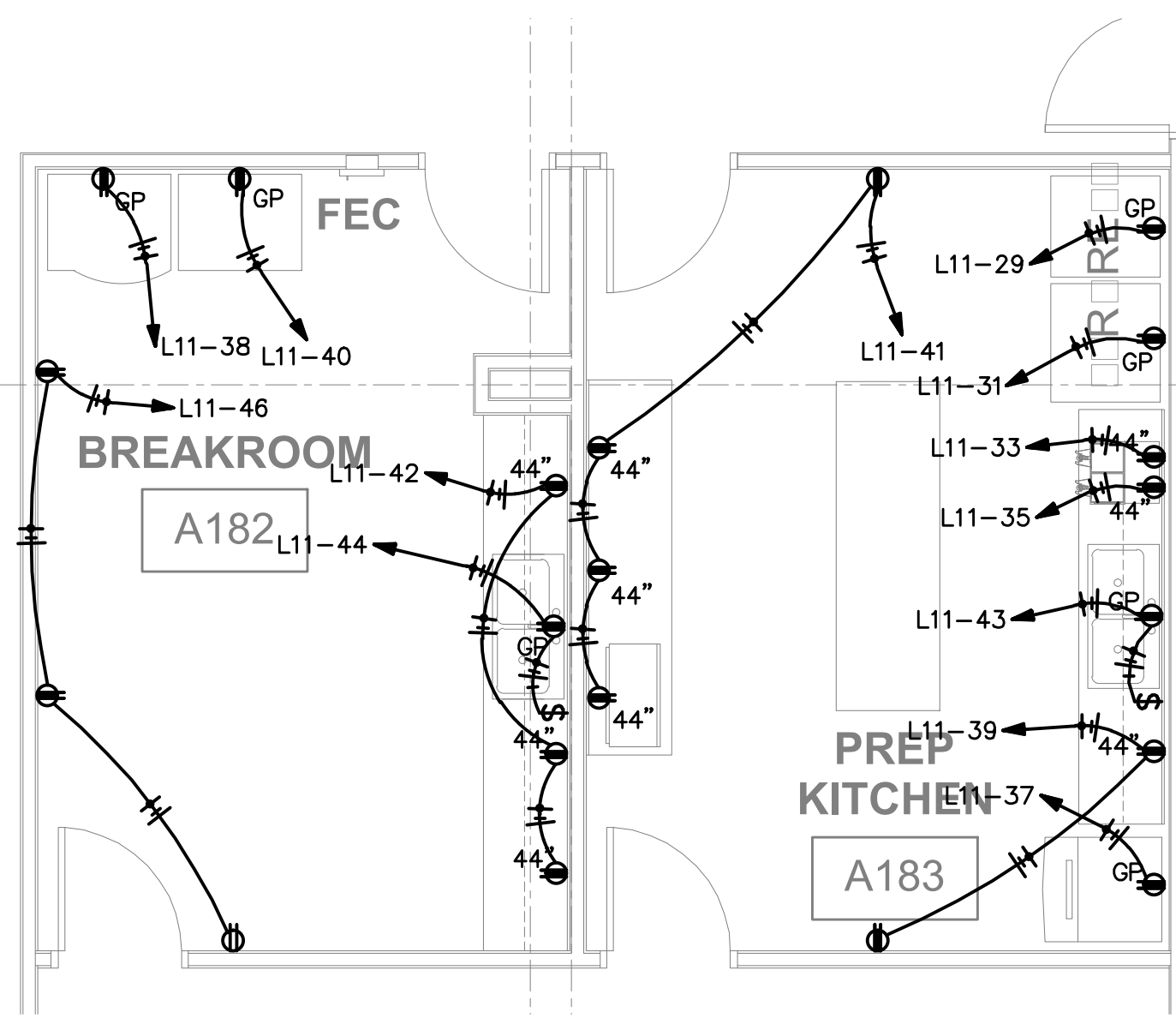
Sheet Title  
SECOND FLOOR PLAN - FIRE ALARM

Project No.  
17027

Design By  
CSA

Date  
10/31/2017

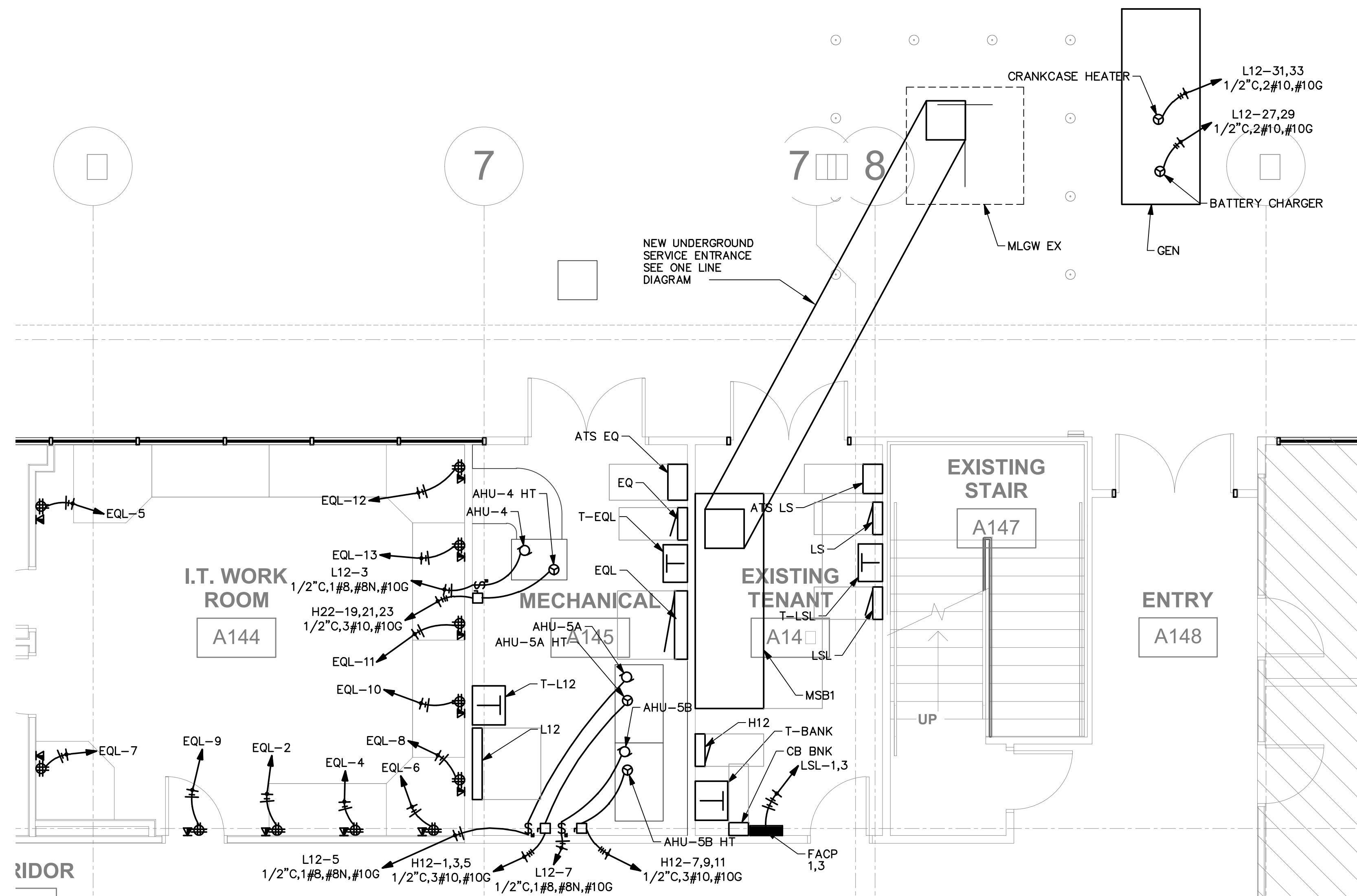
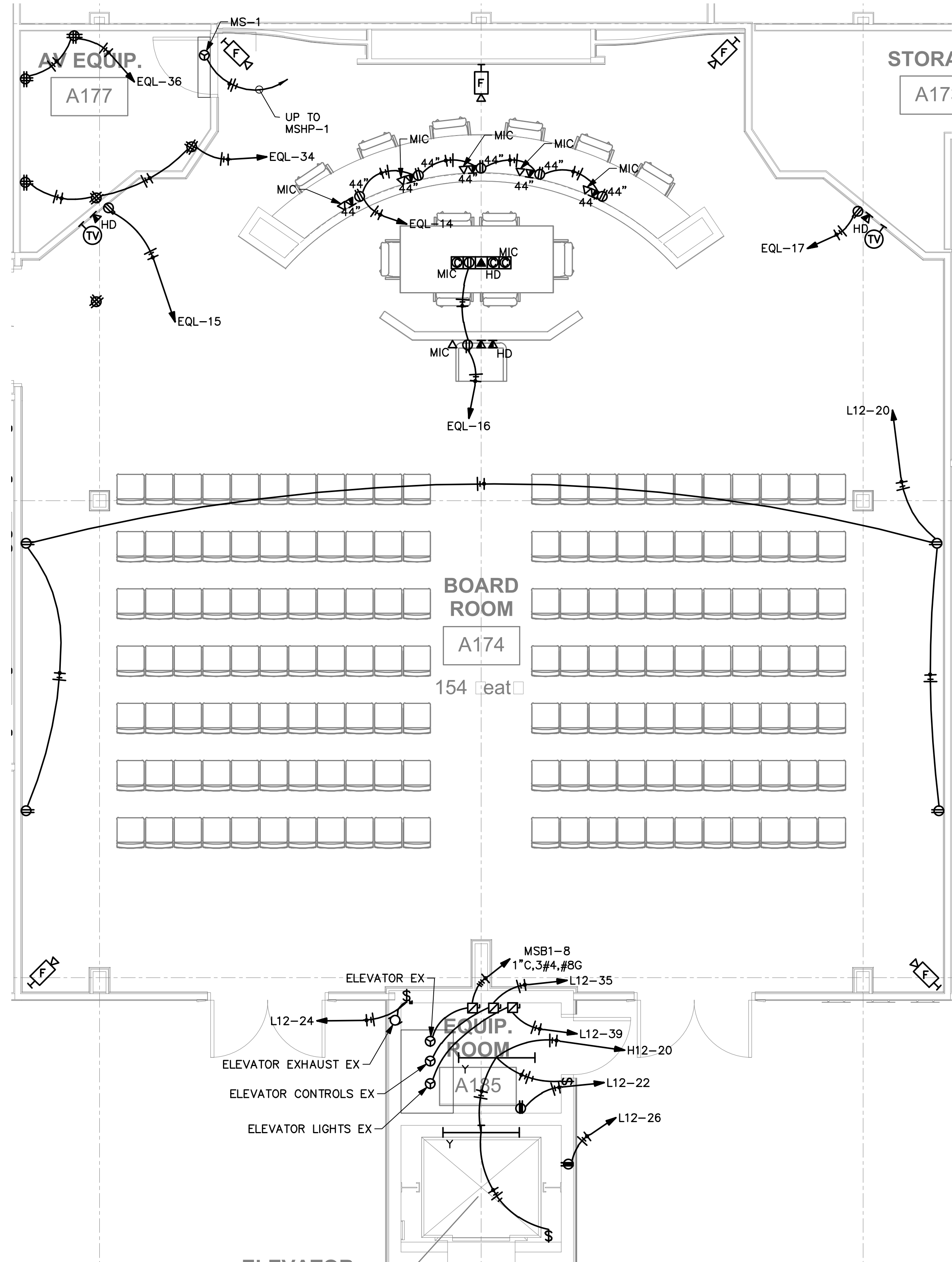
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**1** PARTIAL FIRST FLOOR PLAN – ELECTRICAL  
1/4"=1'-0"

**2** PARTIAL FIRST FLOOR PLAN – ELECTRICAL  
1/4"=1'-0"

**5** PARTIAL FIRST FLOOR PLAN – ELECTRICAL  
1/4"=1'-0"



**4** PARTIAL FIRST FLOOR PLAN – ELECTRICAL  
1/4"=1'-0"

**3** PARTIAL FIRST FLOOR PLAN – ELECTRICAL  
1/4"=1'-0"



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Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
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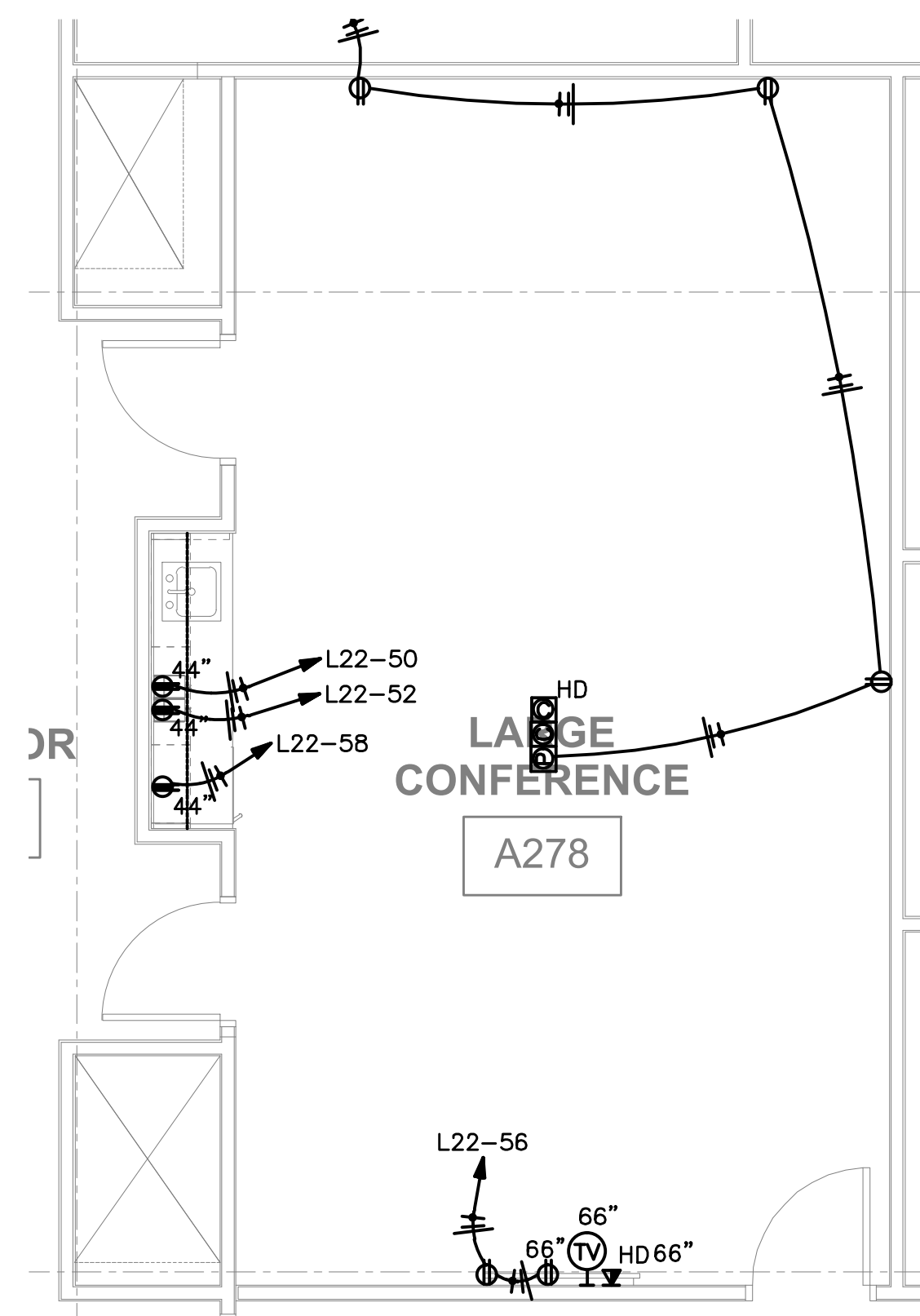
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PARTIAL FIRST FLOOR PLANS – ELECTRICAL

Project No.  
17027

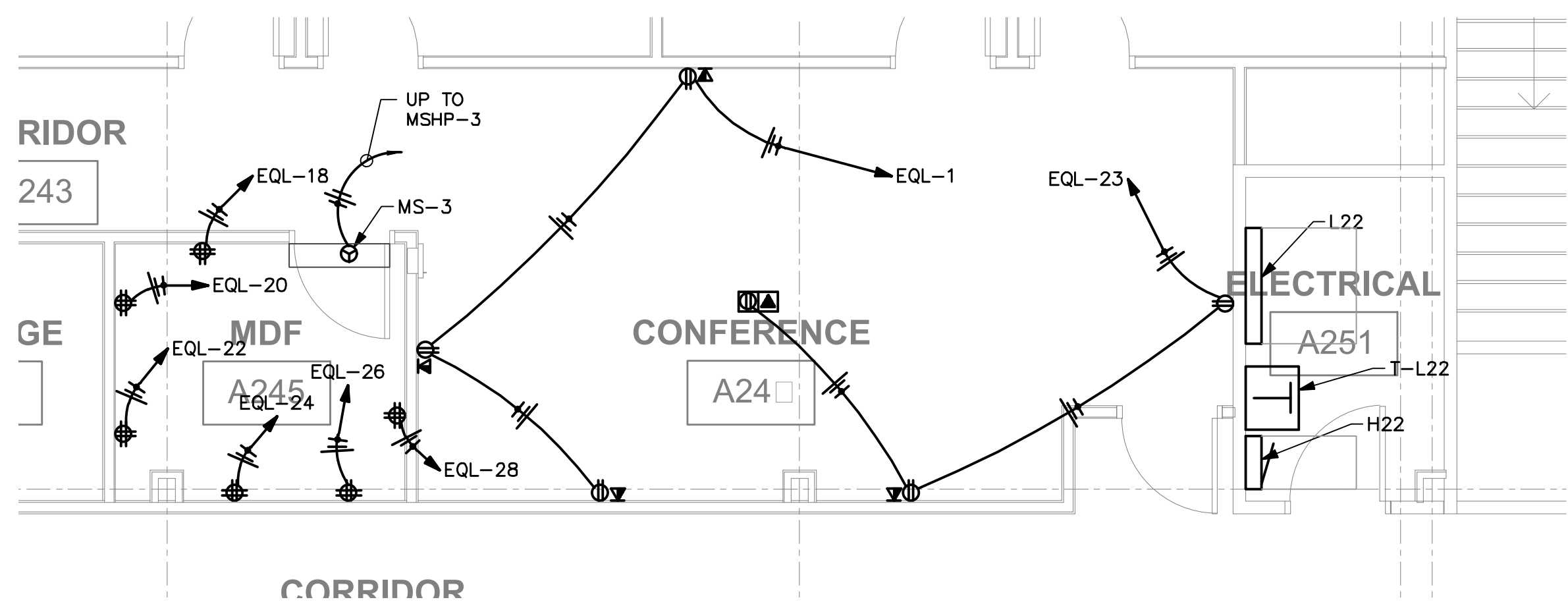
Drawn by  
CSA

Date  
10/31/2017

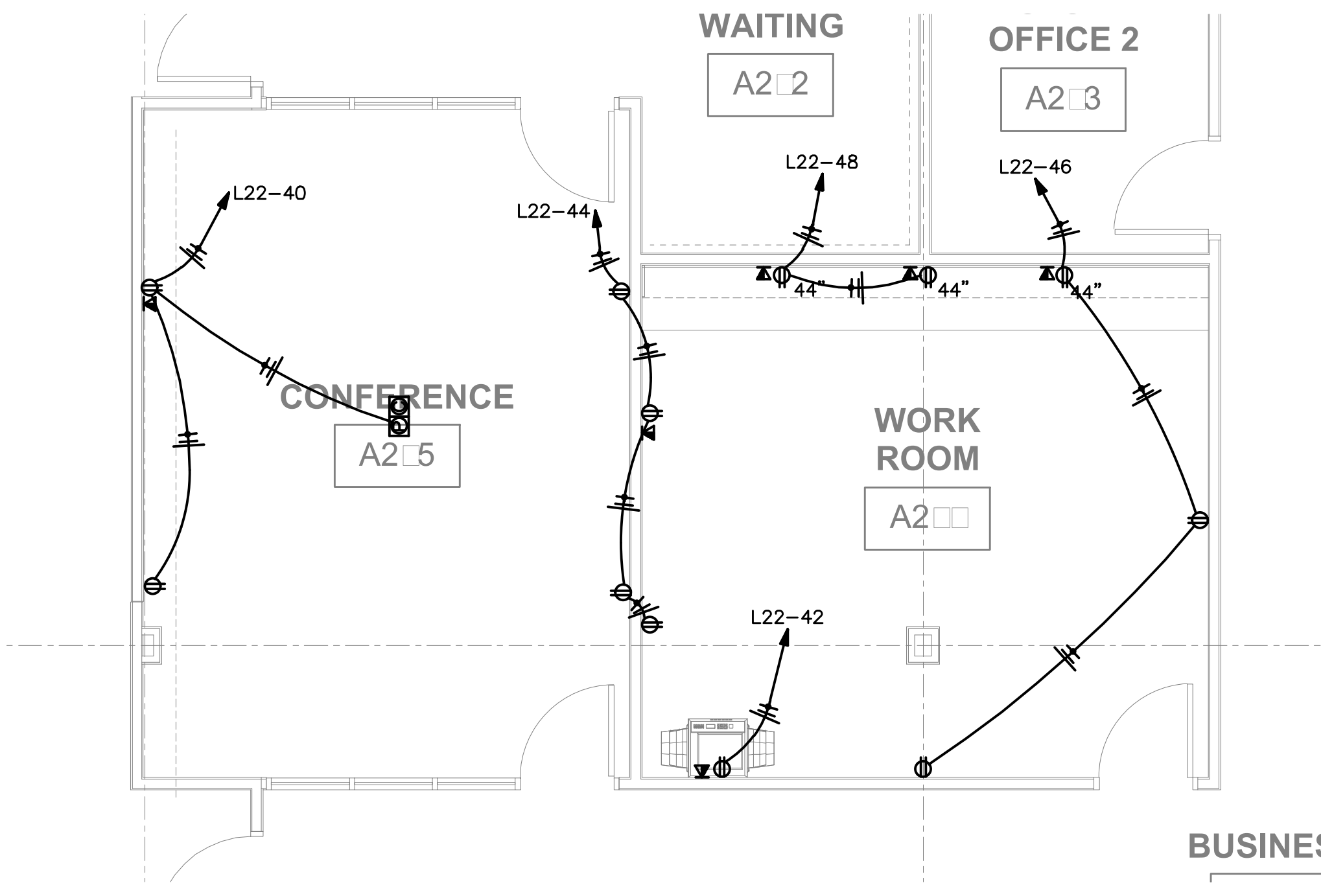
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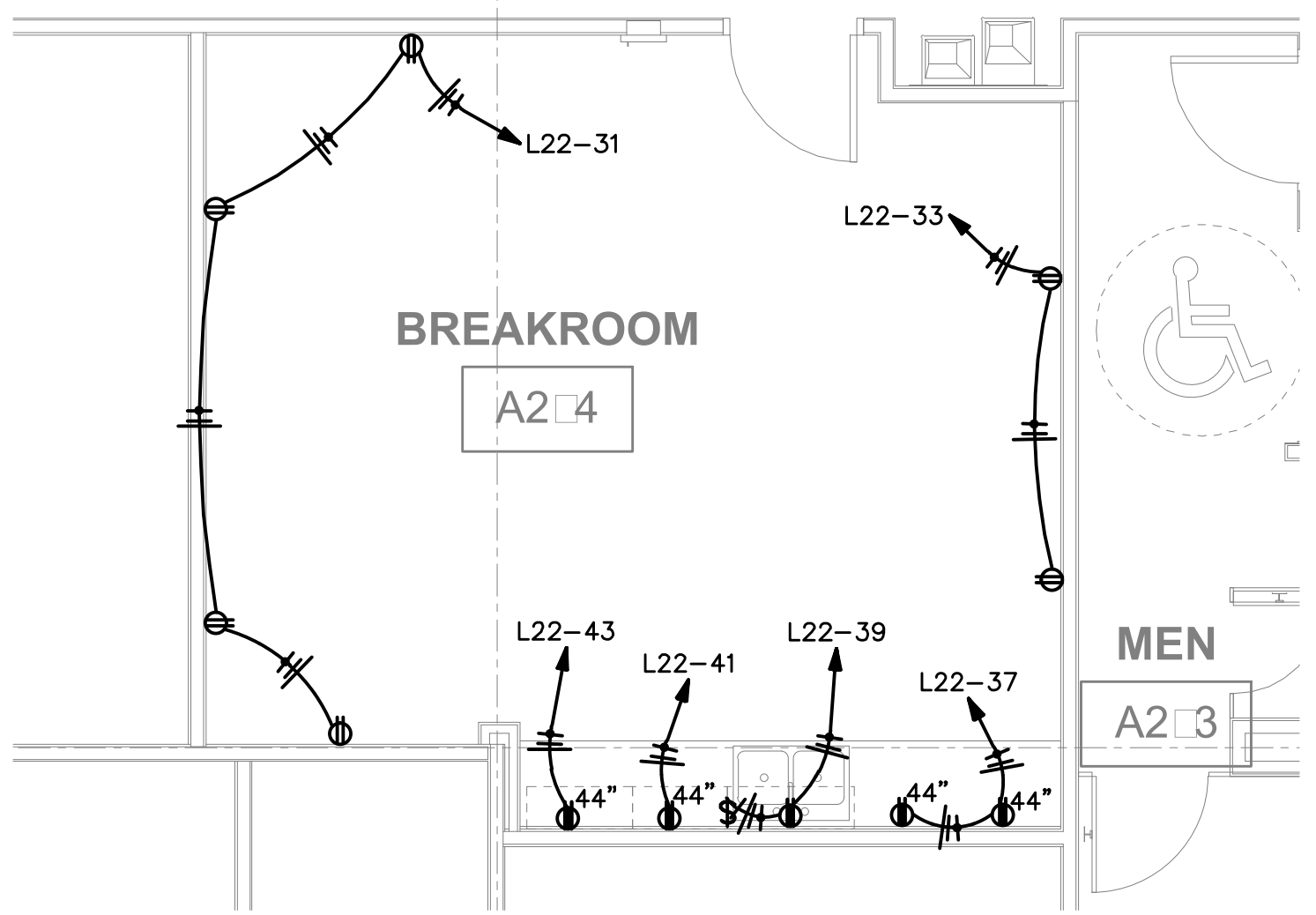
**1** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



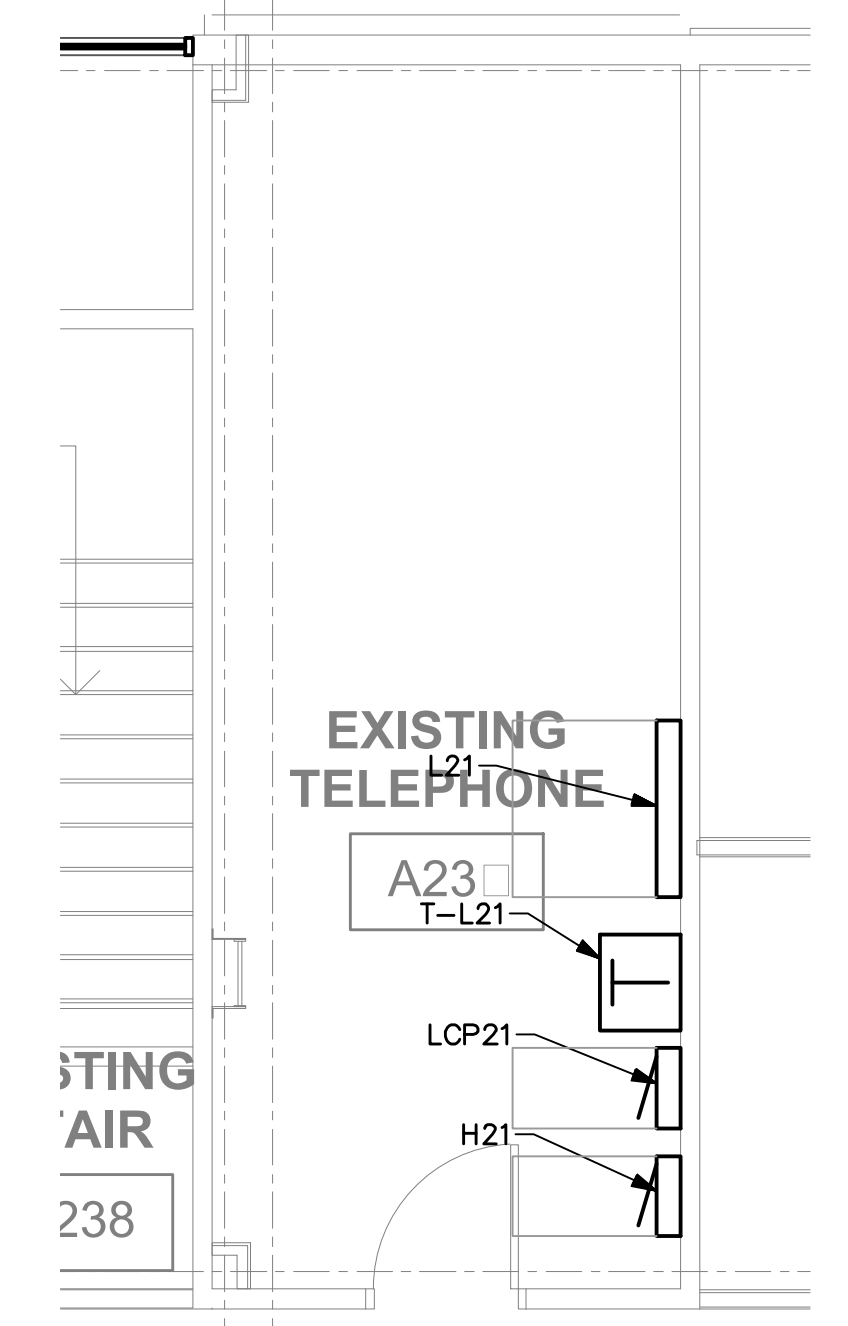
**2** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



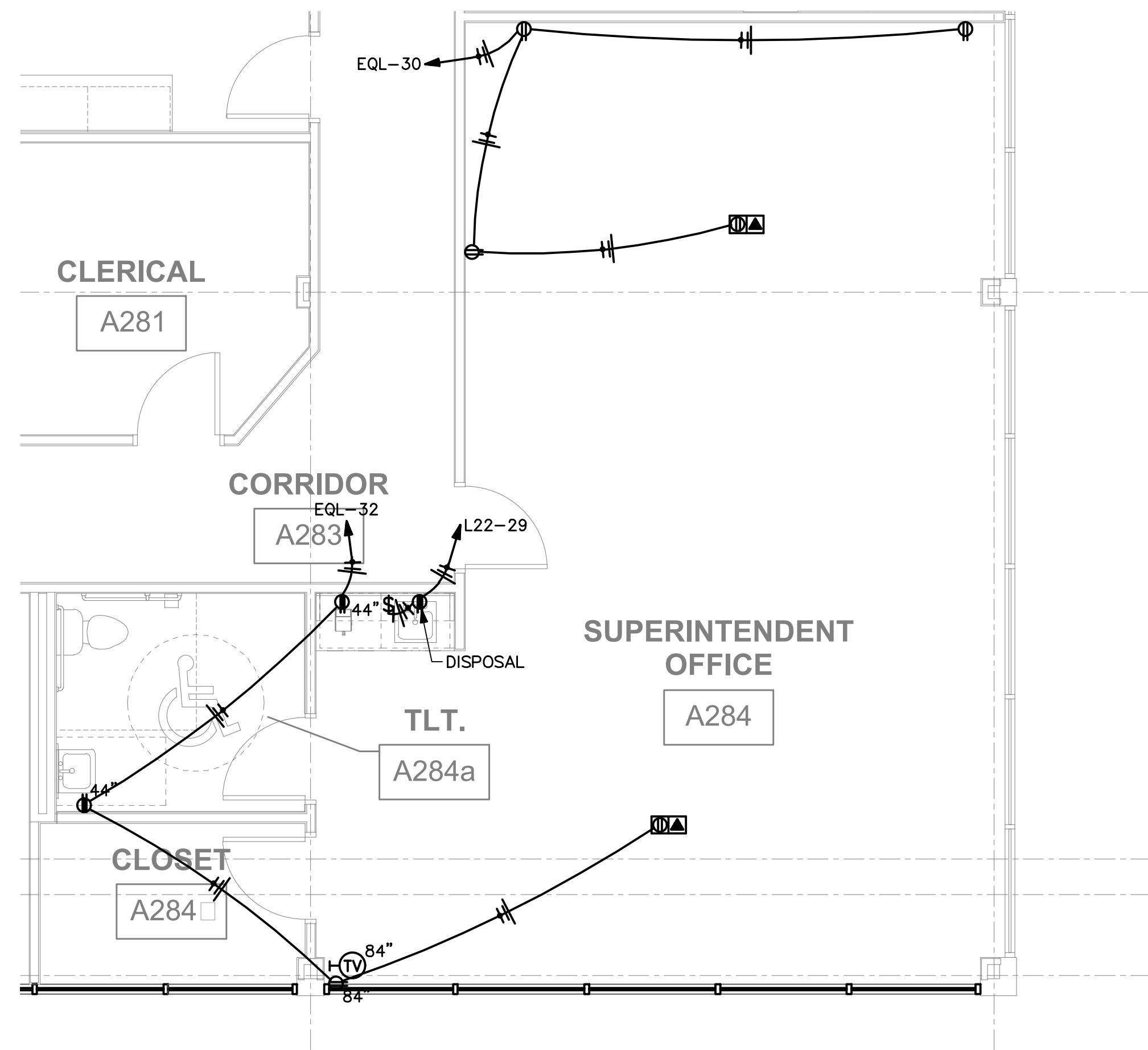
**3** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



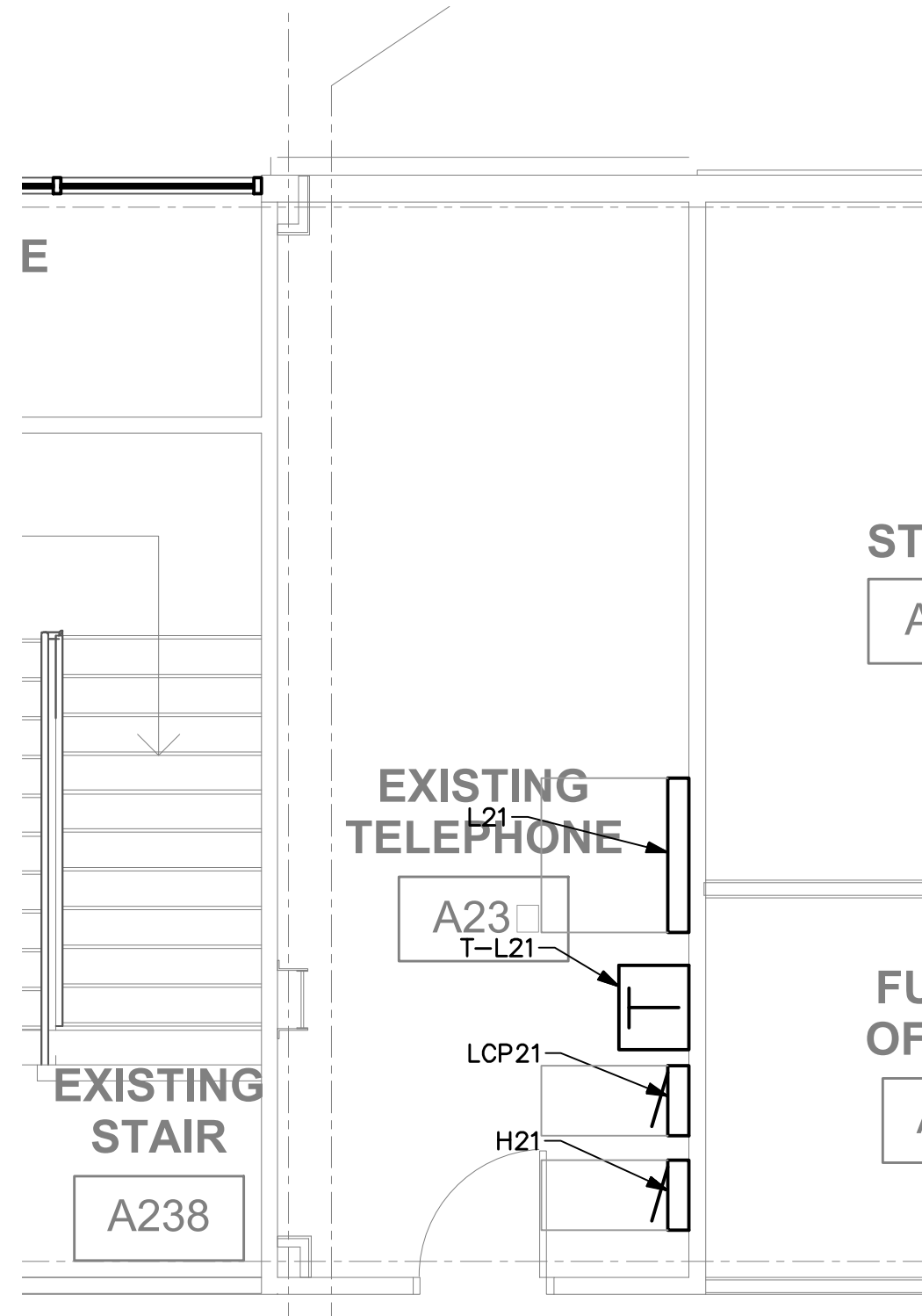
**5** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



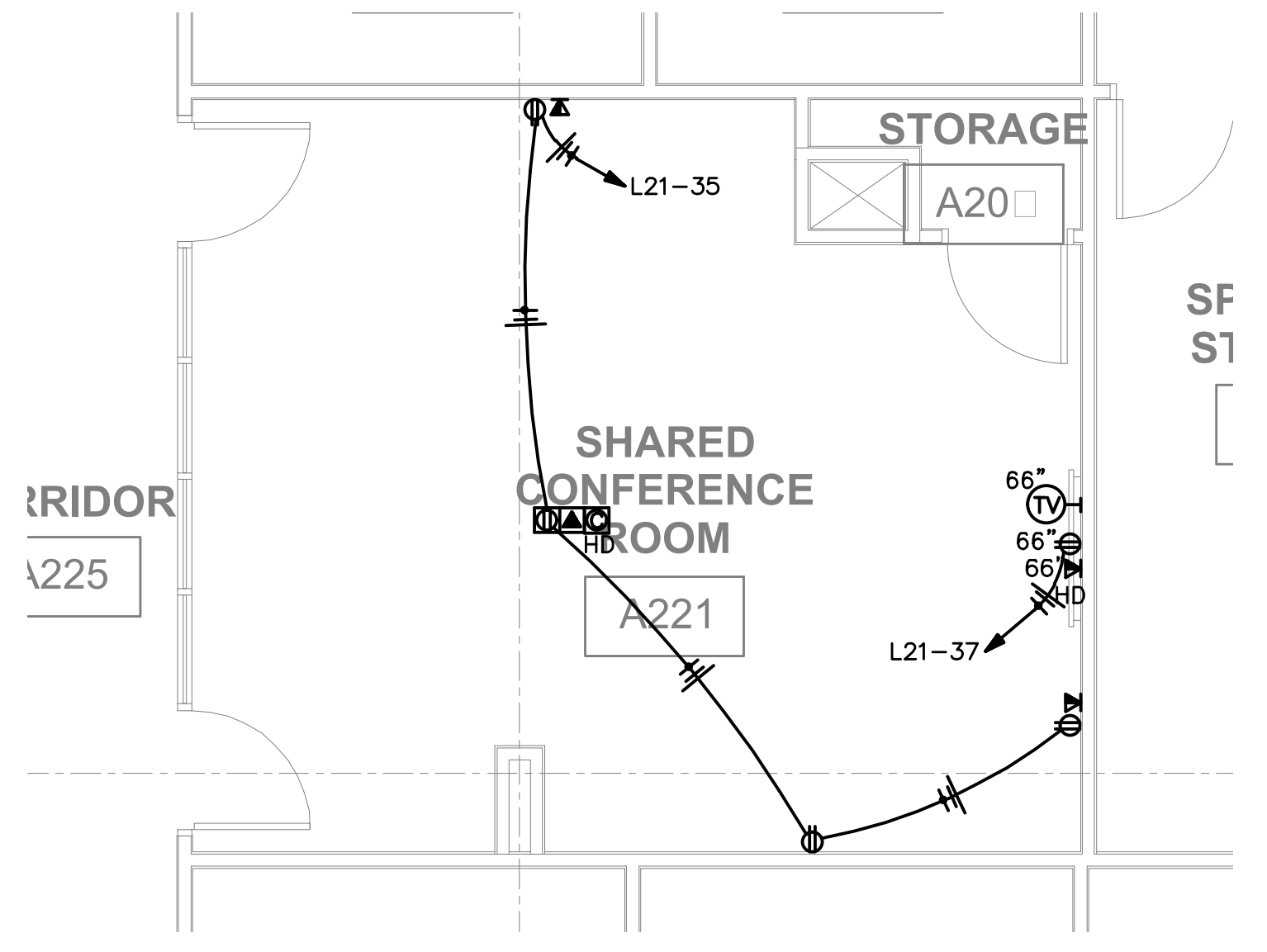
**6** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



**4** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



**7** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



**8** PARTIAL SECOND FLOOR PLAN - ELECTRICAL  
1/4"=1'-0"



REV	DESCRIPTION	DATE



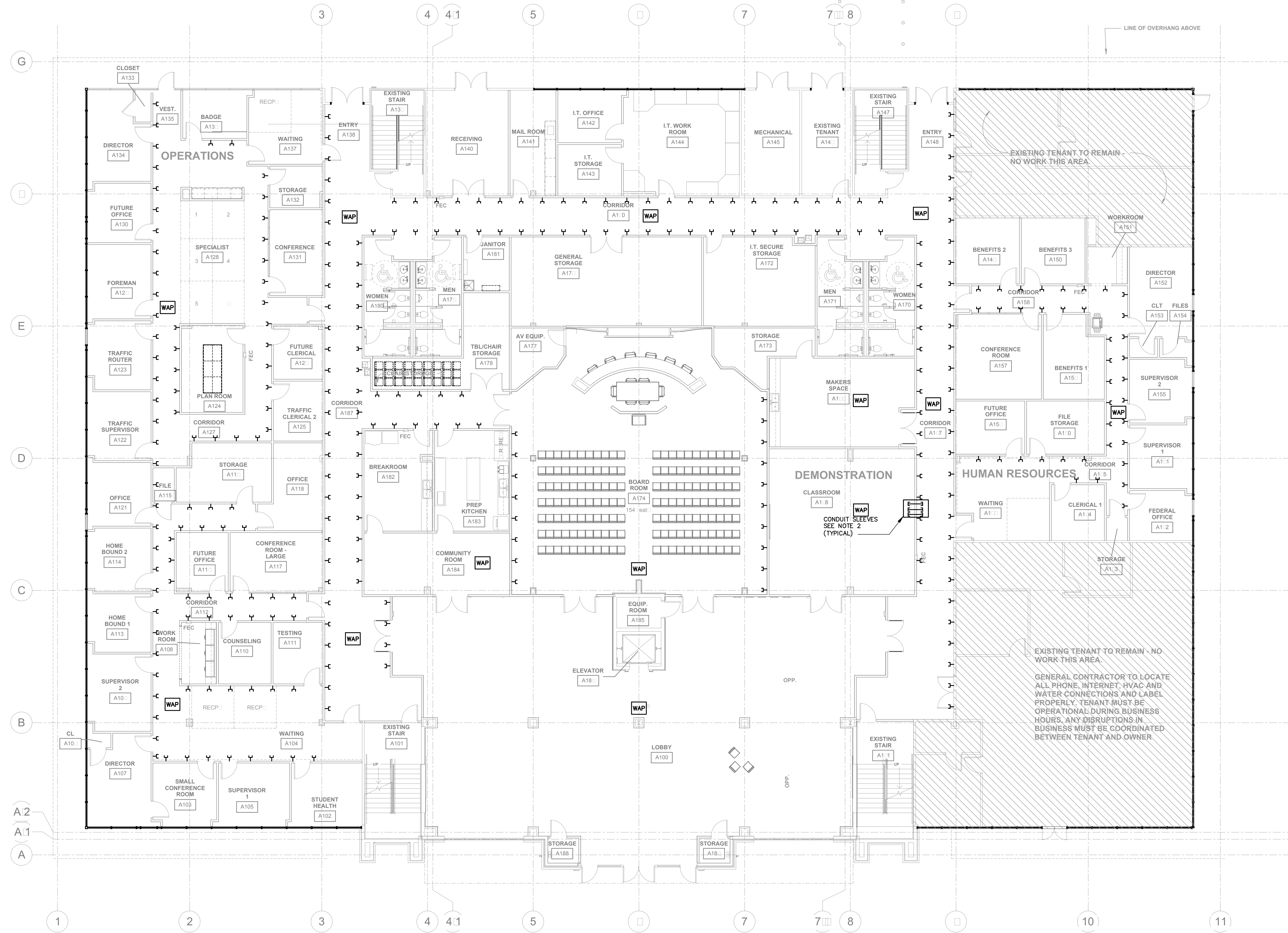


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- NOTES:**
- FURNISH AND INSTALL J-HOOKS ABOVE THE CEILINGS AT THE LOCATIONS SHOWN ON THE DRAWINGS.
  - FROM EACH OFFICE, OFFICE AREA, AND CONFERENCE ROOM FURNISH AND INSTALL THREE (3) 1" EMT CONDUIT SLEEVES THRU THE WALL AND CONCEALED ABOVE THE CEILING FOR COMMUNICATIONS PATHWAYS.

**NORTH**  
  
**1** FIRST FLOOR PLAN – COMMUNICATIONS ROUTING  
 1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
 ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
 FIRST FLOOR PLAN  
 COMMUNICATIONS ROUTING  
 Project No.  
 17027  
 Drawn by  
 CSA  
 Date  
 10/31/2017

**E5.1**

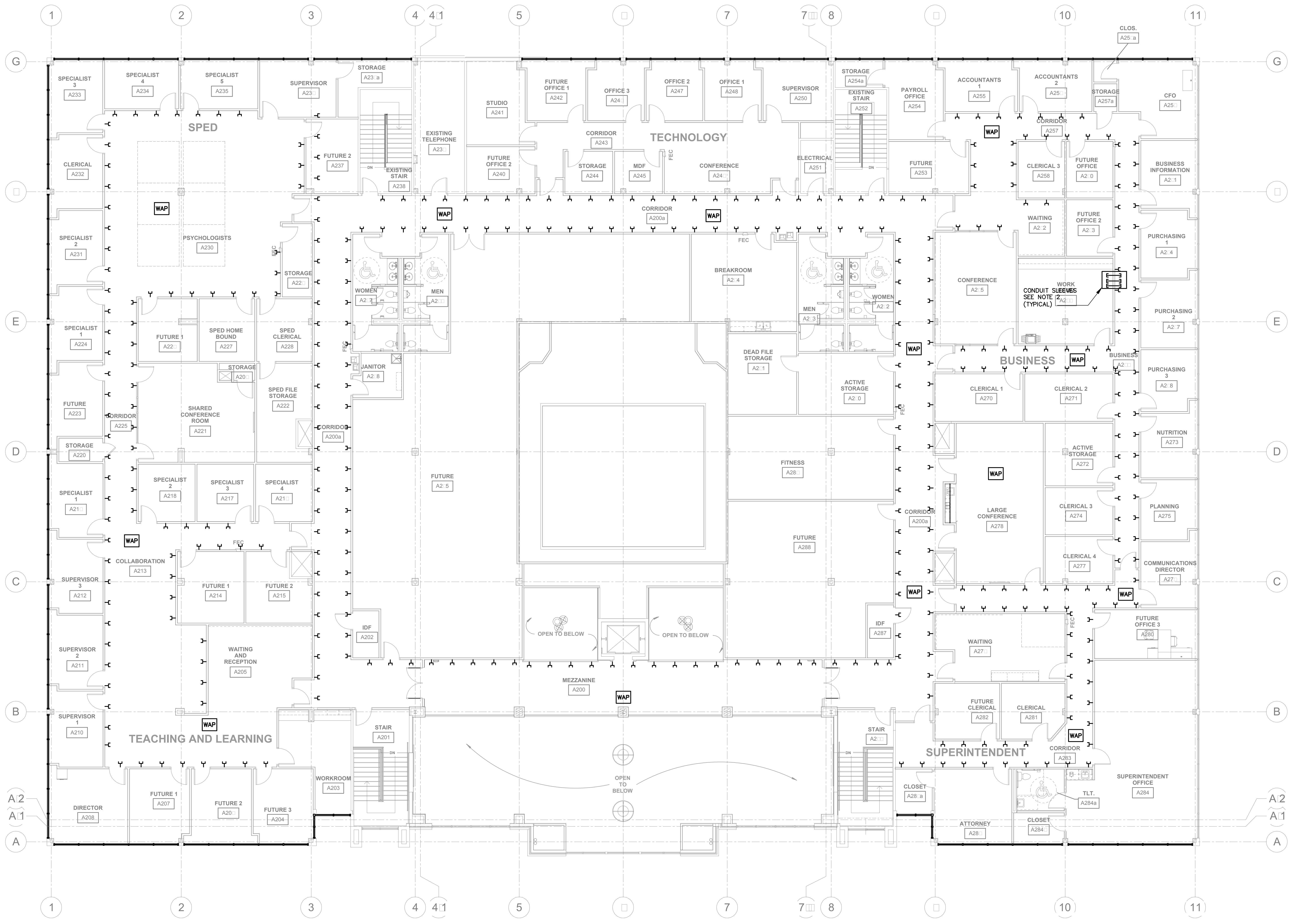


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- NOTES:**
- FURNISH AND INSTALL J-HOOKS ABOVE THE CEILING AT THE LOCATIONS SHOWN ON THE DRAWINGS.
  - FROM EACH OFFICE, OFFICE AREA, AND CONFERENCE ROOM FURNISH AND INSTALL THREE (3) 1" EMT CONDUIT SLEEVES THRU THE WALL AND CONCEALED ABOVE THE CEILING FOR COMMUNICATIONS PATHWAYS.

NOTE:  
SCOPE OF PROJECT INCLUDES THE GENERAL CONTRACTOR SUPPLYING AND INSTALLING NEW WINDOW SHADES ON ALL EXTERIOR EXISTING WINDOW FRAMES. REF. SPECIFICATIONS



1 SECOND FLOOR PLAN – COMMUNICATIONS ROUTING  
1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM  
ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

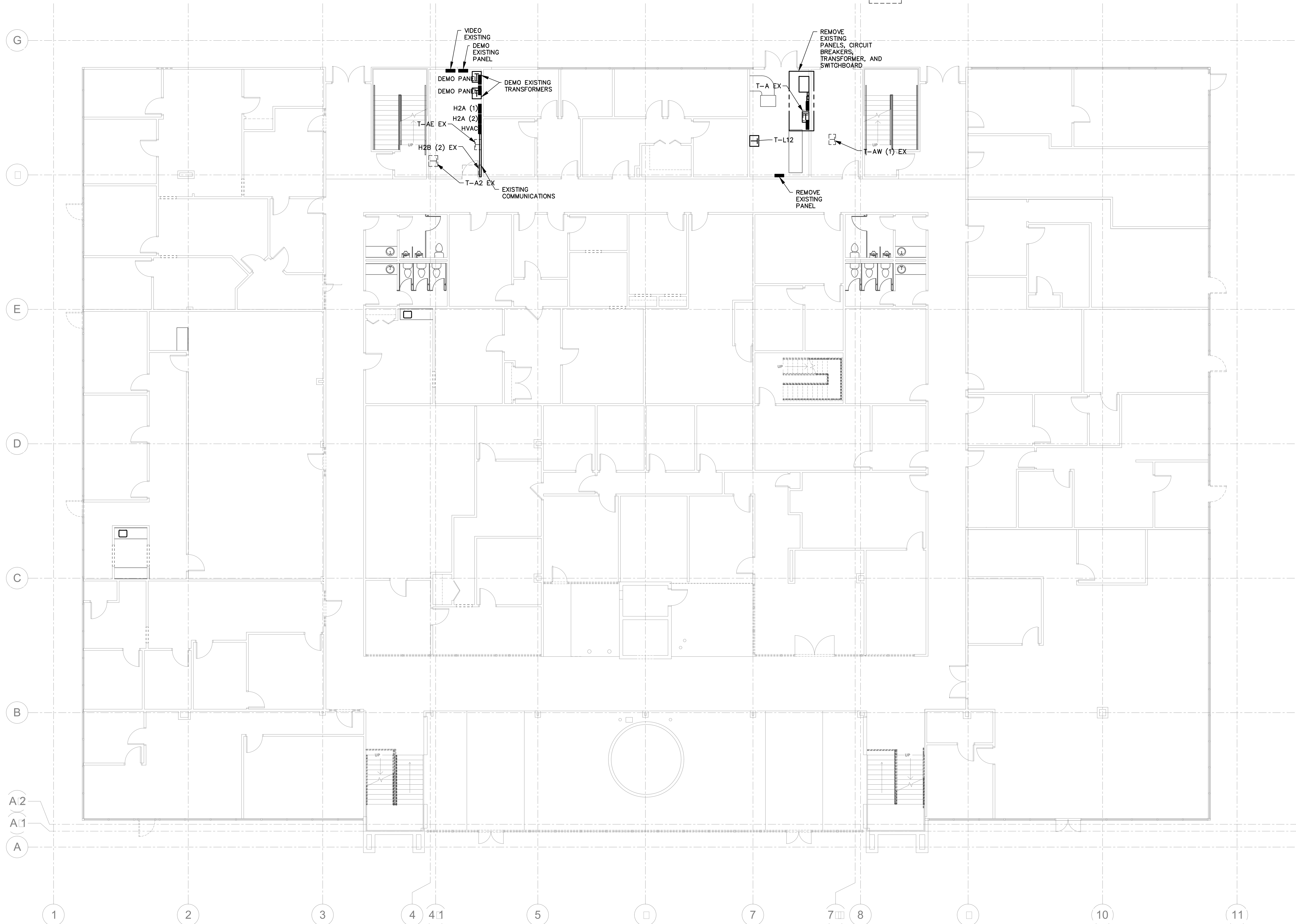
Sheet Title  
SECOND - LOOR PLAN - COMMUNICATIONS ROUTING

Project No.  
17027

Drawn by  
CSA

Date  
10/31/2017

**E5.2**



- NOTES:
1. REMOVE ALL CONVENIENCE OUTLETS, SWITCHES, LIGHT FIXTURES, COMMUNICATIONS OUTLETS, CONDUIT, AND CONDUCTORS EXCEPT CONDUIT AND CONDUCTORS TO EXISTING HVAC EQUIPMENT TO REMAIN.



1 FIRST FLOOR PLAN – ELECTRICAL DEMOLITION  
1/8"=1'-0"



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Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134

Sheet Title  
FIRST FLOOR PLAN - ELECTRICAL DEMOLITION

Project No.  
17027

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Date  
10/31/2017

**E6.1**



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- NOTES:
1. REMOVE ALL CONVENIENCE OUTLETS, SWITCHES, LIGHT FIXTURES, COMMUNICATIONS OUTLETS, CONDUIT, AND CONDUCTORS EXCEPT CONDUIT AND CONDUCTORS TO EXISTING HVAC EQUIPMENT TO REMAIN.

NORTH  
  
**1** FIRST FLOOR PLAN – ELECTRICAL DEMOLITION  
 1/8"=1'-0"

Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Sheet Title  
 SECOND FLOOR PLAN  
 ELECTRICAL DEMOLITION  
 Project No.  
 17027  
 Designer  
 CSA  
 Date  
 10/31/2017

**E6.2**

**RECEPTACLE SCHEDULE**

CALLOUT	SYMBOL	VOLTS	FEATURES	NOTE 1	NOTE 2	NOTE 3
COMBO FLOOR BOX	[Symbol]	120V 1P 2W	GND	PROVIDE COVER FOR WIRING EXIT WITH CARLON FLOOR BOX # E976RFB GANGED AS REQUIRED		
DUPLEX CORD REEL	[Symbol]	120V 1P 2W	GND	HUBBELL INDUSTRIAL POWER REEL # HBL45123R20. 40' CABLE, 12/3 SJE0 CORD	HUBBELL # HBL54621	PASS AND SEYMOR # CRB5362-1
DUPLEX COUNTER OUTLET	[Symbol]	120V 1P 2W	GND	GFCI - COOPER INDUSTRIES # VGF20FI	GFCI - HUBBELL # GFR5362SGI	GFCI - PASS AND SEYMOR # 209SI
DUPLEX FLOOR BOX	[Symbol]	120V 1P 2W	GND	COOPER INDUSTRIES # 5252 WITH CARLON FLOOR BOX # E976RFB GANGED AS REQUIRED	HUBBELL # HBL5362BK	PASS AND SEYMOR # CRB5362-1 WITH CARLON FLOOR BOX # E976RFB GANGED AS REQUIRED
DUPLEX OUTLET	[Symbol]	120V 1P 2W	GND	COOPER INDUSTRIES # 5252	HUBBELL # HBL54621	PASS AND SEYMOR # CRB5362-1
GFCI PROTECTED DUPLEX	[Symbol]	120V 1P 2W	GND	COOPER INDUSTRIES # 5252 (CONNECT TO UPSTREAM GFCI DEVICE, RECEPTACLE OR BREAKER)	HUBBELL # HBL5362BK	PASS AND SEYMOR # CRB5362-1 (CONNECT TO UPSTREAM GFCI DEVICE, RECEPTACLE OR BREAKER)
GFI COUNTER OUTLET	[Symbol]	120V 1P 2W	GND	GFCI - COOPER INDUSTRIES # VGF20FI	GFCI - HUBBELL # GFR5362SGI	GFCI - PASS AND SEYMOR # 209SI
GFI DUPLEX OUTLET	[Symbol]	120V 1P 2W	GND	GFCI - COOPER INDUSTRIES # VGF20FI	GFCI - HUBBELL # GFR5362SGI	GFCI - PASS AND SEYMOR # 209SI
QUAD OUTLET	[Symbol]	120V 1P 2W	GND	COOPER INDUSTRIES 2 EACH	HUBBELL 2 EACH # HBL5362BK	PASS AND SEYMOR 2 EACH # CRB5362-1
WALLPOWER CONNECTION	[Symbol]	120V 1P 2W	GND	PROVIDE FLUSH WALL MOUNTED JUNCTION BOX FOR POWER CABLES		
WP GFI DUPLEX OUTLET ROOF	[Symbol]	120V 1P 2W	WP, GND	GFCI - COOPER INDUSTRIES # VGF20FI	GFCI - HUBBELL # GFR5362SGI	GFCI - PASS AND SEYMOR # 209SI

**Fire Alarm Schedule**

CALLOUT	SYMBOL	NOTE 1
A/V ALARM 15cd	[Symbol]	AUDIO/VISUAL NOTIFICATION APPLIANCE 15 CANDELLA RATED STROBE
A/V ALARM 30cd	[Symbol]	AUDIO/VISUAL NOTIFICATION APPLIANCE 30 CANDELLA RATED STROBE
A/V ALARM 60cd	[Symbol]	AUDIO/VISUAL NOTIFICATION APPLIANCE 60 CANDELLA RATED STROBE
Duct Smoke Detector	[Symbol]	
FA CONTROL MODULE	[Symbol]	
FA FLOW SWITCH	[Symbol]	
FA HEAT DETECTOR	[Symbol]	
FA MANUAL STATION	[Symbol]	
FA MONITOR MODULE	[Symbol]	
FA TAMPER SWITCH	[Symbol]	
FA VISUAL ALARM 15 cd	[Symbol]	VISUAL ONLY ALARM 15 CANDELLA
Smoke Detector	[Symbol]	
WIRELESS ACCESS POINT	[Symbol]	

**PHONE AND DATA OUTLET SCHEDULE**

CALLOUT	SYMBOL	NOTE 1
CCTV-FIXED	[Symbol]	
COMBO PHONE DATA	[Symbol]	EMPTY BOX WITH CONDUIT AND PULL STRING. SEE DETAIL
HDMI COMM FLOOR BOX	[Symbol]	PROVIDE RACO #6255 FULLY ADJUSTABLE FLOOR BOX WITH 1 1/4" KNOCK OUT. FURNISH AND INSTALL 1 1/4" CONDUIT FROM FLOOR BOX TO ABOVE ACCESSIBLE CEILING OR TO WALL OUTLET AS SHOWN ON THE DRAWINGS. PROVIDE REQUIRED COVERPLATE FOR CABLE AND FLOORING.
HDMI WALL OUTLET	[Symbol]	2 1/8" DEEP, 4" SQUARE BOX WITH 1 1/4" CONDUIT OUTLET. STUB CONDUIT INTO ACCESSIBLE CEILING SPACE OR AS SHOWN ON THE DRAWINGS
MICROPHONE FLOOR BOX	[Symbol]	PROVIDE COVER FOR WIRING EXIT WITH CARLON FLOOR BOX # E976RFB GANGED AS REQUIRED
MICROPHONE WALL OUTLET	[Symbol]	FURNISH AND INSTALL 4" X 4" BOX WITH SINGLE GANG PLASTER RING. FURNISH AND INSTALL 3/4" EMPTY CONDUIT TO THE AV ROOM. SEE DETAIL
PHONE/DATA OUTLET	[Symbol]	EMPTY BOX WITH CONDUIT AND PULL STRING. SEE DETAIL
PROX CARD READER	[Symbol]	REFER TO THE COMMUNICATIONS OUTLET DETAIL FOR 3/4" CONDUIT AND BOX REQUIREMENTS
TV OUTLET	[Symbol]	REFER TO THE COMMUNICATIONS OUTLET DETAIL FOR 3/4" CONDUIT AND BOX REQUIREMENTS
WALL COMMUNICATION CONNECTION	[Symbol]	WALL OUTLET FOR FURNITURE CONNECTION. PROVIDE 1" CONDUIT IN WALL TO ACCESSIBLE CEILING SPACE.
WIRELESS ACCESS POINT	[Symbol]	

**LUMINAIRE SCHEDULE**

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTE 1	NOTE 2
A	[Symbol]	(1) LED PANEL	2' X 4' LED TROFFER	ELECTRONIC	RECESSED	LITHONIA 2FSL 30L E21 LP830	30.8	277V 1P 2W		
AA	[Symbol]	(1) LED 4000K	LED FLOOD LIGHT	ELECTRONIC	GROUND MOUNT	LITHONIA # HLF1 LED P1 40K MFL MVOLT IS DBBXD	166	277V 1P 2W	AIM TO ILLUMINATE FLAG	
AE	[Symbol]	(1) LED PANEL	2' X 4' LED TROFFER EMERGENCY	ELECTRONIC	RECESSED	LITHONIA 2FSL 30L E21 LP830	30.8	277V 1P 2W		
B	[Symbol]	(1) LED PANEL	2' X 4' LED TROFFER	ELECTRONIC	RECESSED	LITHONIA 2FSL 48L E21 LP830	38.9	277V 1P 2W		
BB	[Symbol]	(1) LED PANEL	LED PENDANT	ELECTRONIC	PENDANT 15'-0" ABOVE FLOOR	LUMETTA # P2041 F2 D921 D61 MT LED6/18.0W XICATO UNV STM C15'3 L104 LBA4	18	277V 1P 2W	FRAME - F2 POWDER COAT CHROME	3000 K
BE	[Symbol]	(1) LED PANEL	2' X 4' LED TROFFER EMERGENCY	ELECTRONIC	RECESSED	LITHONIA 2FSL 48L E21 LP830	38.9	277V 1P 2W		
C	[Symbol]	(1) LED LAMP	2' X 4' LED TROFFER	ELECTRONIC	CEILING	LITHONIA 2FSL 4 60L LP830	52.2	277V 1P 2W		
CC	[Symbol]	(1) LED PANEL	18" LED PENDANT	ELECTRONIC	PENDANT 15'-0" ABOVE FLOOR	LUMETTA # 18'DRUM PENDANT P51814 3000K	18	277V 1P 2W	FRAME F2 POWDER COAT CHROME. PRINTED CUSTOM LUMENATE DIFFUSER	STAGGERED HEIGHTS. COORDINATE WITH THE ARCHITECT
D	[Symbol]	(1) LED PANEL	LED DOWNLIGHT	ELECTRONIC	CEILING	LITHONIA LDN6 30/10 L06AR	18	277V 1P 2W		
D1	[Symbol]	(1) LED PANEL	LED DOWNLIGHT	ELECTRONIC	CEILING	LITHONIA LDN6 30/20 L06AR	35.1	277V 1P 2W		
D2	[Symbol]	(1) LED DOWNLIGHT	6" LED DOWNLIGHT	ELECTRONIC	RECESSED	CREE # SDL6 24L 30K TRIM SDL6TM SS C WF	25	277V 1P 2W		
D3	[Symbol]	(1) LED DOWNLIGHT	6" LED DOWNLIGHT	ELECTRONIC	RECESSED	CREE # SDL6 15L 30K TRIM SDL6TM SS C WF	14	277V 1P 2W		
D3E	[Symbol]	(1) LED DOWNLIGHT	6" LED DOWNLIGHT EMERGENCY	ELECTRONIC	RECESSED	CREE # SDL6 15L 30K TRIM SDL6TM SS C WF	14	277V 1P 2W		
D4	[Symbol]	(1) LED DOWNLIGHT	LED DOWNLIGHT	ELECTRONIC	CEILING	LITHONIA LDN6 30/20 LWBAR	35.1	277V 1P 2W		
D4E	[Symbol]	(1) LED DOWNLIGHT	LED DOWNLIGHT EMERGENCY	ELECTRONIC	CEILING	LITHONIA LDN6 30/20 LWBAR	35.1	277V 1P 2W		
D5	[Symbol]	(1) LED DOWNLIGHT	LED DOWNLIGHT	ELECTRONIC	CEILING	LITHONIA LDN6 30/40 L06AR	44.1	277V 1P 2W		
D5E	[Symbol]	(1) LED DOWNLIGHT	LED DOWNLIGHT	ELECTRONIC	CEILING	LITHONIA LDN6 30/40 L06AR	44.1	277V 1P 2W		
DD	[Symbol]	(1) LED PANEL	LED EXTERIOR EMERGENCY EGRESS	ELECTRONIC	WALL 1'-0" ABOVE DOOR	LITHONIA # WST LED P1 40K VF 277 PE DBBXD	18	277V 1P 2W		
E	[Symbol]	(1) LED PANEL	2' X 4' LED TROFFER	ELECTRONIC	CEILING	LITHONIA 2FSL 4 40L LP830	39.2	277V 1P 2W		
EX1	[Symbol]	(1)	LED EXIT SIGN	ELECTRONIC	WALL	LITHONIA # LQM S W 3 R 120/277 EL N	5	277V 1P 2W	PROVIDE DIRECTIONAL ARROWS TO LEAD OCCUPANTS IN THE PATH OF EGRESS	
EX2	[Symbol]	(1)	LED EXIT SIGN	ELECTRONIC	CEILING	LITHONIA # LQM S W 3 R 120/277 EL N	5	277V 1P 2W	PROVIDE DIRECTIONAL ARROWS TO LEAD OCCUPANTS IN THE PATH OF EGRESS	
G	[Symbol]	(1) 3000K LED LAMP	2' X 4' LED TROFFER	ELECTRONIC	CEILING	LITHONIA 2AVL4 30L MDR LP830	38	277V 1P 2W		
H	[Symbol]	(1) 3000K LED LAMP	2' X 4' LED TROFFER	ELECTRONIC	CEILING	LITHONIA 2AVL4 40L MDR LP830	48	277V 1P 2W		
HE	[Symbol]	(1) 3000K LED LAMP	2' X 4' LED TROFFER EMERGENCY	ELECTRONIC	CEILING	LITHONIA 2AVL4 40L MDR LP830	48	277V 1P 2W		
I1	[Symbol]	(1)	INDOOR COVELINE FC/SSL LIGHTING	ELECTRONIC	CEILING	ECVL-4-UNV-3K-120	14	277V 1P 2W	PROVIDE IN CONTINUOUS LENGTHS AS INDICATED IN DRAWINGS	
I2	[Symbol]	(1)	INDOOR COVELINE FC/SSL LIGHTING	ELECTRONIC	CEILING	ECVL-(3)1-UNV-3K-120	10.5	277V 1P 2W	PROVIDE IN CONTINUOUS LENGTHS AS INDICATED IN DRAWINGS	
I3	[Symbol]	(1)	INDOOR COVELINE FC/SSL LIGHTING	ELECTRONIC	CEILING	ECVL-(2)1-UNV-3K-120	7	277V 1P 2W	PROVIDE IN CONTINUOUS LENGTHS AS INDICATED IN DRAWINGS	
K	[Symbol]	(1) LED PANEL	2' X 2' LED TROFFER	ELECTRONIC	RECESSED	LITHONIA 2AVL2 40L MDR E21 LP830	57	277V 1P 2W		
KE	[Symbol]	(1) LED PANEL	2' X 2' LED TROFFER EMERGENCY	ELECTRONIC	RECESSED	LITHONIA 2AVL2 40L MDR E21 LP830	57	277V 1P 2W		
L	[Symbol]	(1) LED PANEL	LED WALL SCONCE	ELECTRONIC	WALL 8"-0" ABOVE FLOOR	3000 K. PRODUCT SELECTED BY THE ARCHITECT	57	277V 1P 2W		
M	[Symbol]	(1) LED PANEL	LED DOWNLIGHT	ELECTRONIC	RECESSED	GOHAM # EVO 30K 20 6AR ND LS 120	23.2	277V 1P 2W		
S	[Symbol]	(1) LED	4' LED STRIP LIGHT	ELECTRONIC	CEILING	LITHONIA ZL2N L 48 2000LM 30K	31.9	277V 1P 2W		
Y	[Symbol]	(1)	LED STRIP LIGHT	ELECTRONIC	SURFACE	LITHONIA # ZL1N L48 3000LM L/LENS 35K 90 CRI WH	25	277V 1P 2W		
Z	[Symbol]	(1) LED PANEL	LED AREA LIGHT	ELECTRONIC	POLE 20'-0" ABOVE GRADE	LITHONIA # DSXOLED P6 40K T3M MVOLT HS DBBXD RPA	134	277V 1P 2W	ROUND TAPERED ALUMINUM POLE LITHONIA # RTA 20 5C WITH APPROPRIATE MOUNTING HOLES	
ZZ	[Symbol]	(1) LED PANEL	LED AREA LIGHT	ELECTRONIC	WALL 26'-0" ABOVE GRADE	LITHONIA # DSXOLED P6 40K T3M MVOLT HS DBBXD WBA	134	277V 1P 2W		



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Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
 5705 Stage Road Bartlett, TN 38134

Revised  
 ELECTRICAL SCHEDULES

Project No:  
 17027

Checked by  
 CSA

Date  
 10/31/2017

HVAC EQUIPMENT SCHEDULE								
CALLOUT	SYMBOL	NEMA	VOLTS	AMPS	KVA	HP	CIRCUIT	NOTE 1
AHU-1			120V 1P 2W	11.1	1.33	3/4 HP	L11-7	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-1 HT			480V 3P 3W	18	15		H11-2,4,6	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-2 EX			120V 1P 2W	13.8	1.66	3/4 HP	L12-1	THIS IS AN EXISTING UNIT. COORDINATE THE DISCONNECT WITH SITE CONDITIONS. ELECTRIC HEATING SHOWN IN THIS SCHEDULE IS AN ASSUMED VALUE (VERIFY AT THE SITE).
AHU-2 HT EX			480V 3P 3W	18	15		H12-13,15,17	EXISTING UNIT. COORDINATE THE DISCONNECT WITH SITE CONDITIONS. ELECTRIC HEATING SHOWN IN THIS SCHEDULE IS AN ASSUMED VALUE (VERIFY AT THE SITE).
AHU-3			120V 1P 2W	11.1	1.33	3/4 HP	L11-27	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-3 HT			480V 3P 3W	13.2	11		H11-13,15,17	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-4			120V 1P 2W	11.1	1.33	3/4 HP	L12-3	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-4 HT			480V 3P 3W	36.1	30		H22-19,21,23	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-5A			120V 1P 2W	11.1	1.33	3/4 HP	L12-5	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-5A HT			480V 3P 3W	18	15		H12-1,3,5	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-5B			120V 1P 2W	11.1	1.33	3/4 HP	L12-7	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-5B HT			480V 3P 3W	18	15		H12-7,9,11	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-6A			120V 1P 2W	13.8	1.66	3/4 HP	L21-31	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-6B			120V 1P 2W	13.8	1.66	3/4 HP	L21-29	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-7E EX			120V 1P 2W	13.8	1.66	3/4 HP	L22-25	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-7E EX HT			480V 3P 3W	18	15		H22-2,4,6	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-8E EX			120V 1P 2W	13.8	1.66	3/4 HP	L22-23	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
AHU-8E HT EX			480V 3P 3W	18	15		H22-1,3,5	EXISTING UNIT. COORDINATE THE DISCONNECT WITH SITE CONDITIONS. ELECTRIC HEATING SHOWN IN THIS SCHEDULE IS AN ASSUMED VALUE (VERIFY AT THE SITE).
CU-1		WP	480V 3P 3W	9	7.48		H21-13,15,17	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
CU-2 EX		WP	480V 3P 3W	9	7.48		H22-31,33,35	LOAD INFORMATION PRESENTED HERE IS ASSUMED. VERIFY EXACT LOAD AND VOLTAGE REQUIREMENTS AT THE SITE.
CU-3		WP	208V 2P 2W	12	2.5		L21-41,43	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
CU-4E		WP	480V 3P 3W	7	5.82		H22-26,28,30	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
CU-5A		WP	480V 3P 3W	9	7.48		H22-14,16,18	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR

HVAC EQUIPMENT SCHEDULE (CONT.)								
CALLOUT	SYMBOL	NEMA	VOLTS	AMPS	KVA	HP	CIRCUIT	NOTE 1
CU-5B		WP	480V 3P 3W	9	7.48		H22-25,27,29	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
CU-6A		WP	480V 3P 3W	8	6.65		H12-8,10,12	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
CU-6B		WP	480V 3P 3W	8	6.65		H12-14,16,18	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
CU-7E		WP	480V 3P 3W	8	6.65		H12-2,4,6	EQUIPMENT LOAD PRESENTED HERE IS ASSUMED. VERIFY ALL LOADS AND VOLTAGES WITH THE SITE CONDITIONS.
CU-8A		WP	480V 3P 3W	8	6.65		H22-20,22,24	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
EF-1		WP	120V 1P 2W	5.8	0.7	1/4 HP	L21-42	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR. INTERLOCK FAN AND LIGHTS.
EF-2		WP	120V 1P 2W	5.8	0.7	1/4 HP	L22-62	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR. INTERLOCK FAN AND LIGHTS.
EF-3		WP	120V 1P 2W	0.8	0.1	F HP	L22-45	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR. INTERLOCK FAN AND LIGHTS.
EF-4		WP	120V 1P 2W	0.8	0.1	F HP	L21-42	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR. INTERLOCK FAN AND LIGHTS.
EF-5		WP	120V 1P 2W	0.8	0.1	F HP	EQL-25	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR. INTERLOCK FAN AND LIGHTS.
EF-6		WP	120V 1P 2W	0.8	0.1	F HP	EQL-25	DISCONNECT DEVICE PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR. INTERLOCK FAN AND LIGHTS.
MS-1			24V 1P 2W	86.7	2.08			FED FROM MSH-1
MS-2			24V 1P 2W	86.7	2.08			FED FROM MSH-1
MS-3			24V 1P 2W	86.7	2.08			FED FROM MSH-1
MSHP-1			208V 2P 2W	10	2.08		L21-38,40	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
MSHP-2			208V 2P 2W	10	2.08		EQL-27,29	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
MSHP-3			208V 2P 2W	10	2.08		EQL-19,21	DISCONNECT PROVIDED BY THE HVAC CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR
RTU-4E			480V 3P 3W	11	9.15		EQ-8,10,12	120 VOLT CONVENIENCE OUTLET INCLUDED WITH THE UNIT
RTU-9			480V 3P 3W	11	9.15		EQ-2,4,6	120 VOLT CONVENIENCE OUTLET INCLUDED WITH THE UNIT
RTU-12			480V 3P 3W	19.5	16.21		H22-8,10,12	120 VOLT CONVENIENCE OUTLET INCLUDED WITH THE UNIT
RTU-13			480V 3P 3W	22.5	18.71		H21-19,21,23	120 VOLT CONVENIENCE OUTLET INCLUDED WITH THE UNIT

SWITCH SCHEDULE			
CALLOUT	SYMBOL	NOTE 1	NOTE 2
FOUR WAY SWITCH	\$ *	HUBBELL #1224 (4-way) OR APPROVED EQUAL. COLOR BY THE ARCHITECT	
OCC SENSOR CEILING LOW VOLTAGE	@ v	SENSOR SWITCH # RM PDT 10 - DUAL TECHNOLOGY	
PHOTO CONTROL		TORK 5400 SERIES FOR ELECTRICALLY OR MECHANICALLY HELD LIGHTING CONTACTORS	
POWER PACK		SENSOR SWITCH PP20 277 VOLT POWER PACK	
SPST OCC SENSOR	\$	SENSOR SWITCH # WSX PDT	
SPST SWITCH OCC SENSOR	\$	SENSOR SWITCH # WSX WH DUAL TECHNOLOGY	EATON NEO SWITCH # ONW-D-1001-MV-WH
THREE WAY SWITCH	\$ 3	HUBBELL #1223 (3-way) OR AN APPROVED EQUAL. COLOR BY THE ARCHITECT	
WALL SWITCH SPST	\$	HUBBELL #1221 (SP) OR APPROVED EQUAL. COLOR BY THE ARCHITECT	

BUILDING EQUIPMENT SCHEDULE						
CALLOUT	SYMBOL	VOLTS	AMPS	KVA	HP	CIRCUIT
BATTERY CHARGER		208V 2P 2W	24	5		L12-27,29
CRANKCASE HEATER		208V 2P 2W	24	5		L12-31,33
ELEVATOR CONTROLS EX		120V 1P 2W	4.2	0.5		L12-35
ELEVATOR EX		480V 3P 3W	27	22.45	20 HP	MSB1-8
ELEVATOR EXHAUST EX		120V 1P 2W	7.2	0.86	1/3 HP	L12-24
ELEVATOR LIGHTS EX		120V 1P 2W	4.2	0.5		L12-39

PLUMBING EQUIPMENT SCHEDULE						
CALLOUT	SYMBOL	VOLTS	AMPS	KVA	HP	CIRCUIT
CP-1 (1)		120V 1P 2W	3.9	0.47	1/8 HP	L11-10
CP-1 (2)		120V 1P 2W	3.9	0.47	1/8 HP	L21-28
SP-1		120V 1P 2W	5.8	0.7	1/4 HP	EQL-31
WH-1 (1)		208V 2P 2W	21.6	4.5		L11-12,14
WH-1 (2)		208V 2P 2W	21.6	4.5		L21-30,32



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Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134



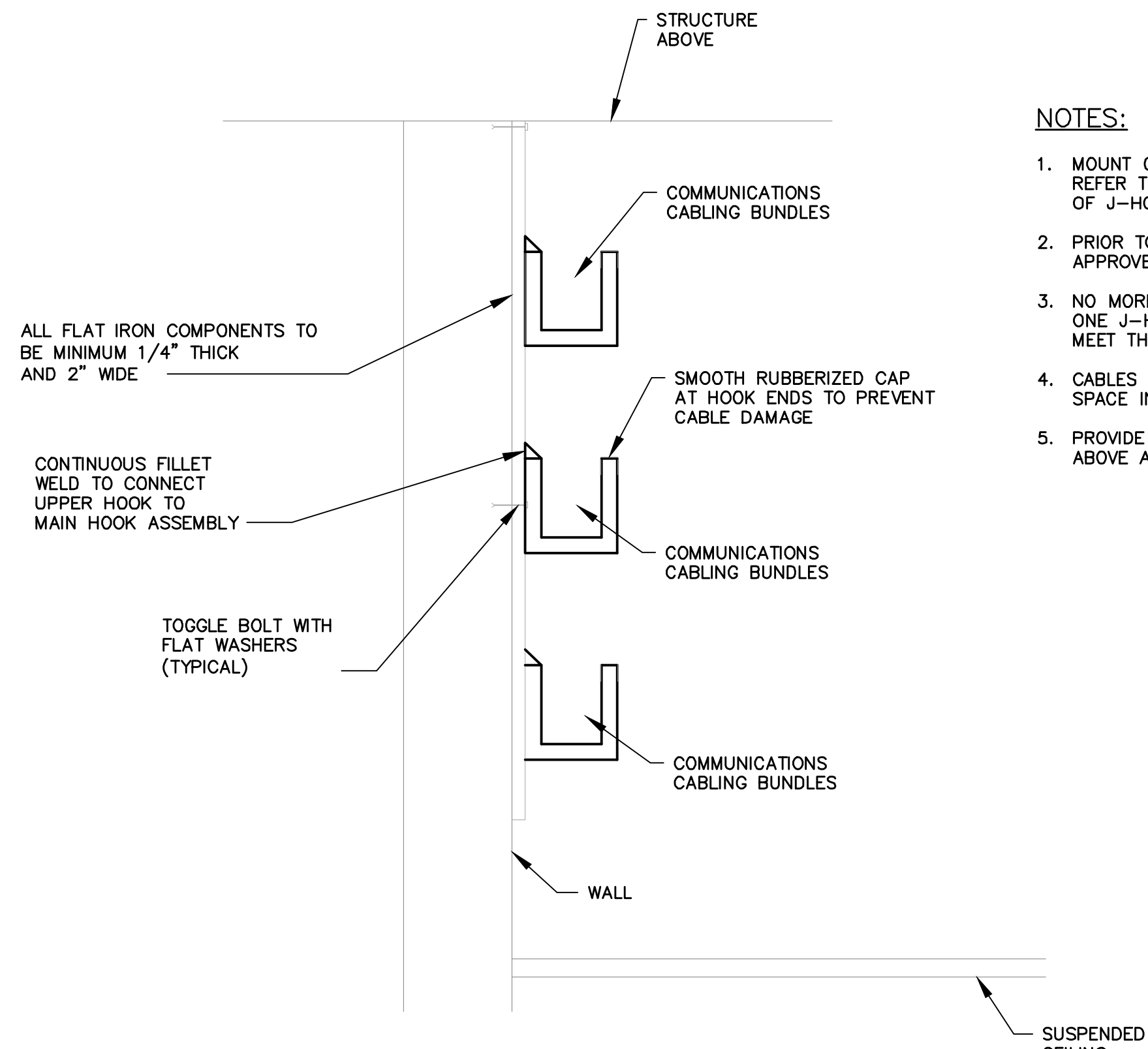
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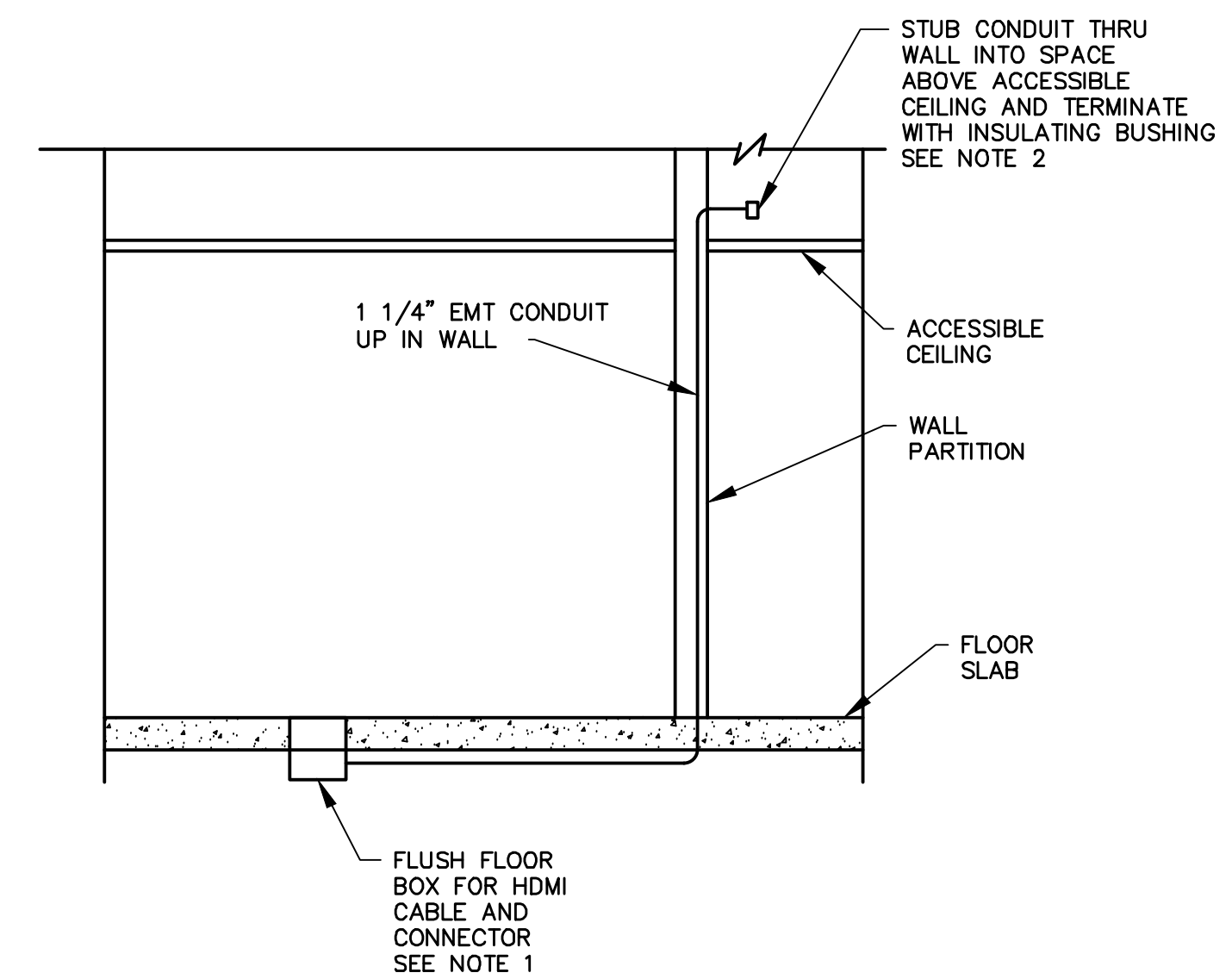
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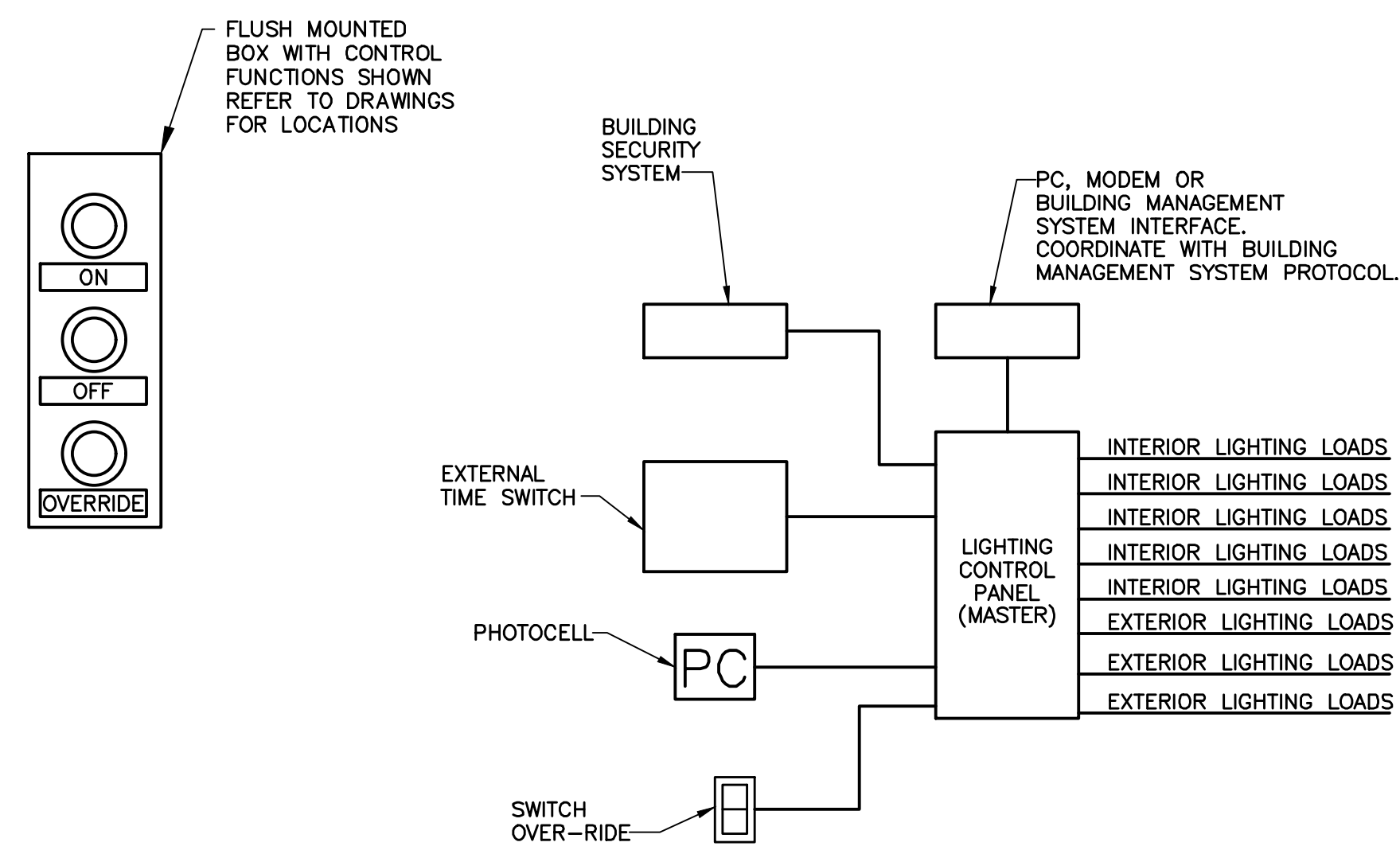
**4 CABLE J-HOOK ASSEMBLY DETAIL**  
 N.T.S.

- NOTES:**
1. MOUNT CABLE HOOK ASSEMBLY ON 4'-0" FT. CENTERS. REFER TO THE DRAWINGS FOR APPROXIMATE LOCATION OF J-HOOKS.
  2. PRIOR TO FABRICATION J-HOOK ASSEMBLY SHALL BE APPROVED BY THE CABLE INSTALLATION CONTRACTOR.
  3. NO MORE THAN 50 CABLES ARE TO BE BUNDLED IN ONE J-HOOK. PROVIDE QUANTITIES OF J-HOOKS TO MEET THIS REQUIREMENT.
  4. CABLES OF ONLY ONE SYSTEM SHALL OCCUPY THE SPACE IN ANY J-HOOK.
  5. PROVIDE ASSEMBLIES SUSPENDED FROM THE STRUCTURE ABOVE AS REQUIRED.



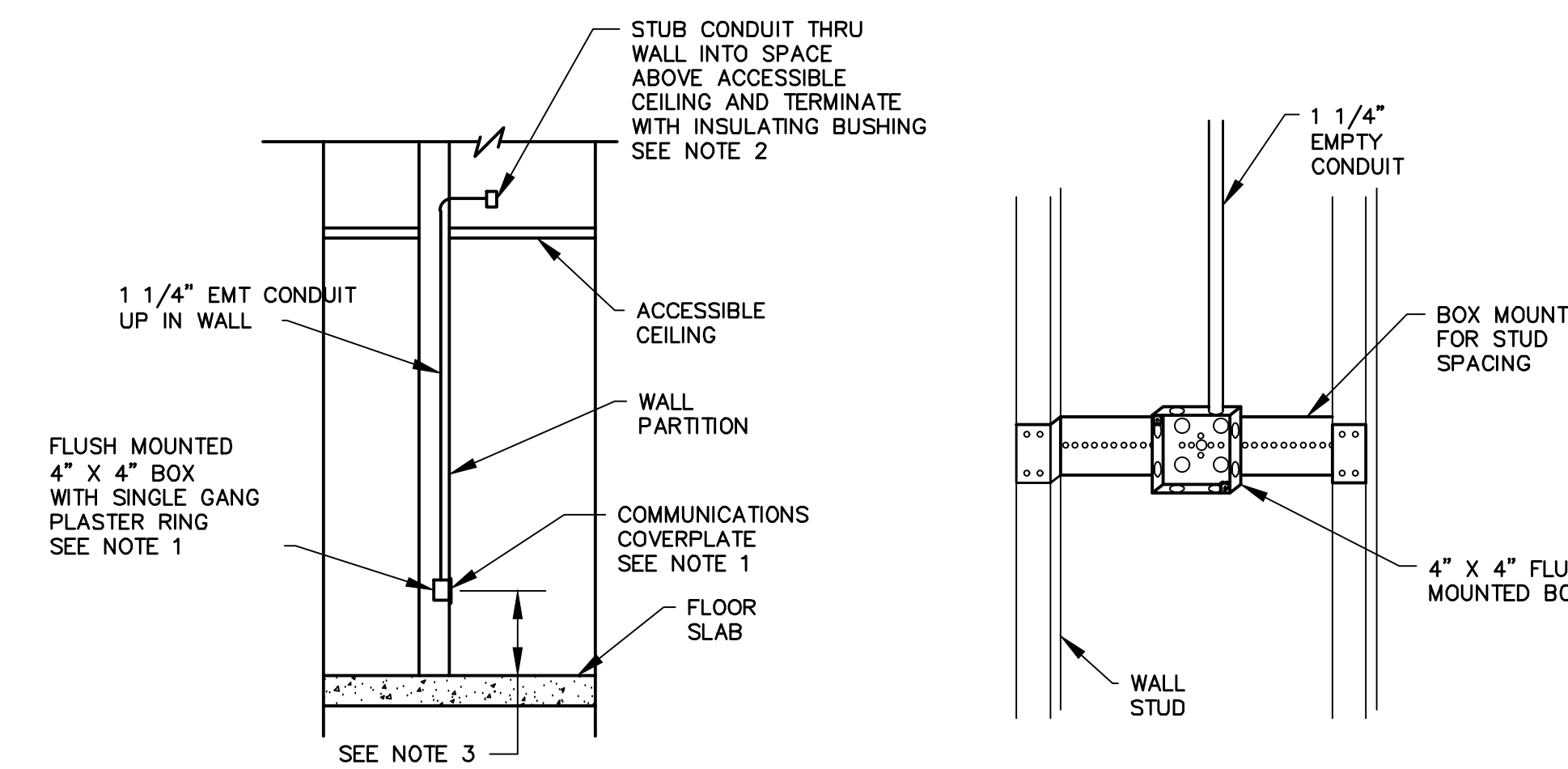
**3 HDMI COMMUNICATIONS OUTLET FLOOR INSTALLATION**  
 N.T.S.

- HDMI OUTLET NOTES:**
1. PROVIDE RACO #6255 FULLY ADJUSTABLE FLOOR BOX WITH 1 1/4" KNOCK OUT. FURNISH AND INSTALL 1 1/4" CONDUIT FROM FLOOR BOX TO ABOVE ACCESSIBLE CEILING AS SHOWN ON THE DRAWINGS. PROVIDE REQUIRED COVERPLATES FOR CABLE AND FLOORING.
  2. STUB 1 1/4" CONDUIT ABOVE WALL INTO ACCESSIBLE CEILING SPACE. TERMINATE WITH BUSHING.



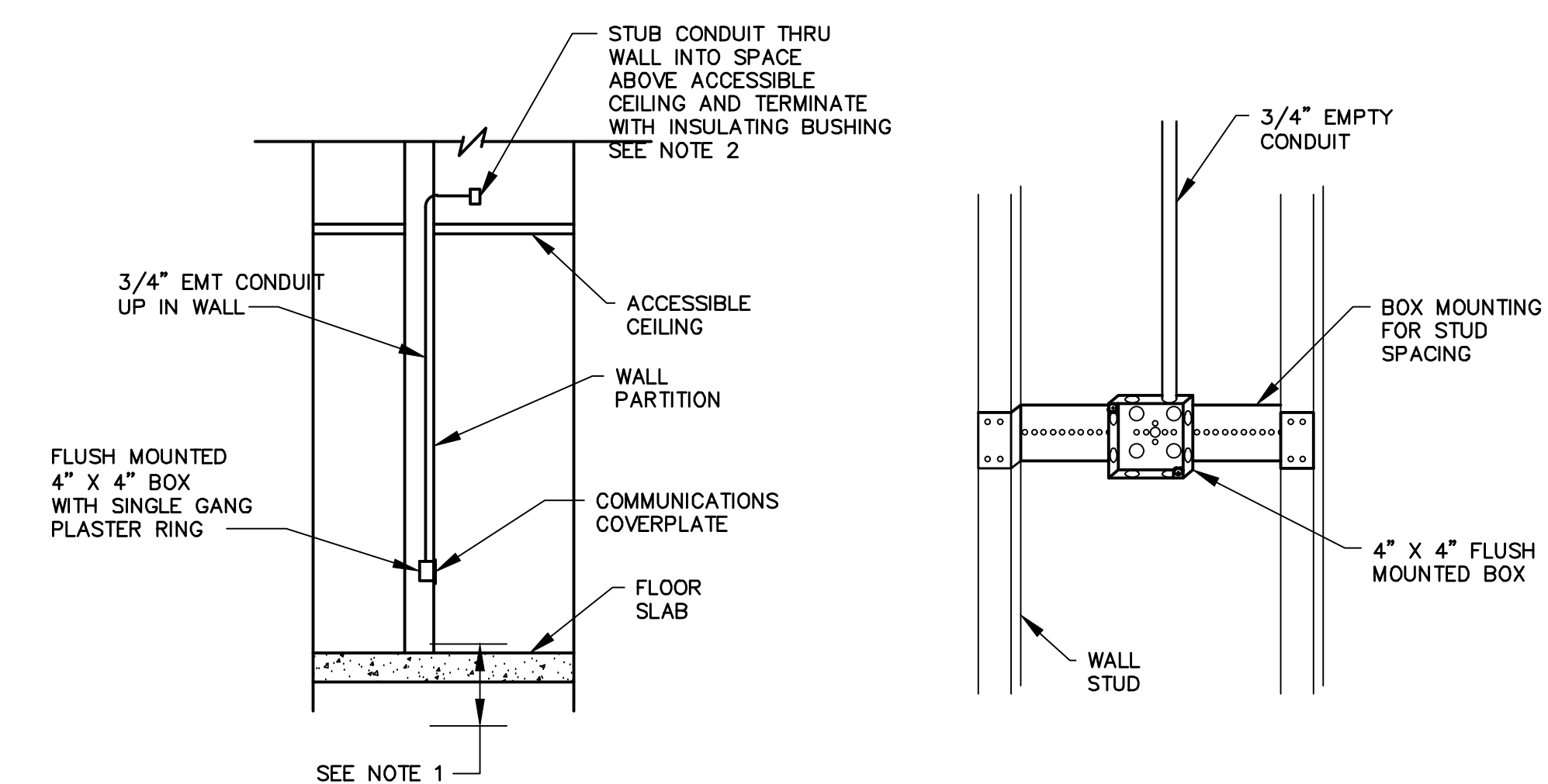
**1 ONE-LINE DIAGRAM - LIGHTING CONTROL**  
 N.T.S.

- LIGHTING CONTROL NOTES:**
- INTERIOR LIGHTING:**
1. INTERIOR LIGHTING SHALL BE SCHEDULED TO OPERATE AS DIRECTED BY THE OWNER'S SCHEDULE.
  2. FURNISH AND INSTALL OVERRIDE SWITCHES FOR EACH AREA AS INDICATED ON THE DRAWINGS.
  3. SWITCHES SHALL BE CAPABLE OF OVERRIDING ANY TIME OF DAY FUNCTION FOR NO MORE THAN 4 HOURS.
- EXTERIOR LIGHTING:**
1. EXTERIOR LIGHTING SHALL BE CONTROLLED BY ASTRONOMICAL CLOCK TO TURN ON 1-HOUR BEFORE SUNSET AND TURN OFF 1-HOUR AFTER SUNRISE.
  2. PHOTOCELL INPUT SHALL OVERRIDE ASTRONOMICAL CLOCK SETTINGS.
- PANEL REQUIREMENTS:**
1. PANEL SHALL HAVE OVERCURRENT DEVICES THAT ARE PROGRAMMABLE FOR ON/OFF FUNCTIONS. LIGHTING CONTROL PANELS ARE NOTED ON THE PANEL SCHEDULES ON THE DRAWINGS.



**2 HDMI COMMUNICATIONS OUTLET WALL INSTALLATION**  
 N.T.S.

- HDMI OUTLET NOTES:**
1. WALL OUTLET BOX SHALL BE 4" X 4" X 2 1/8" DEEP. CUT OPENING FOR 1 1/4" CONDUIT. PROVIDE COVERPLATE WITH OPENING FOR HDMI CABLE CONNECTOR.
  2. STUB 1 1/4" CONDUIT ABOVE WALL INTO ACCESSIBLE CEILING SPACE. TERMINATE WITH BUSHING.
  3. INSTALL BOX AT HEIGHT REQUIRED BY THE DRAWINGS.



**1 COMMUNICATIONS OUTLET WALL INSTALLATION**  
 N.T.S.

- COMMUNICATIONS WALL OUTLET NOTES:**
1. COORDINATE WALL COMMUNICATIONS OUTLET HEIGHT ABOVE THE FLOOR WITH THE DRAWINGS AND EQUIPMENT TO BE INSTALLED.

Issue Title: ELECTRICAL DETAILS

Project No: 17027

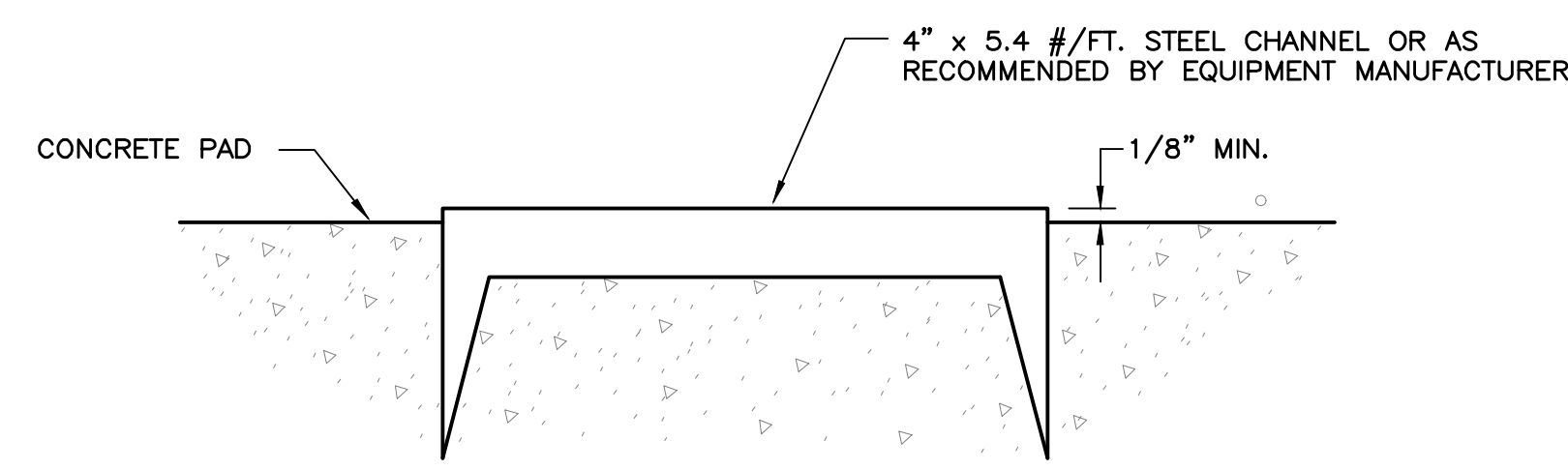
Standard: CSA

Date: 10/31/2017

**E7.3**

**NOTES:**

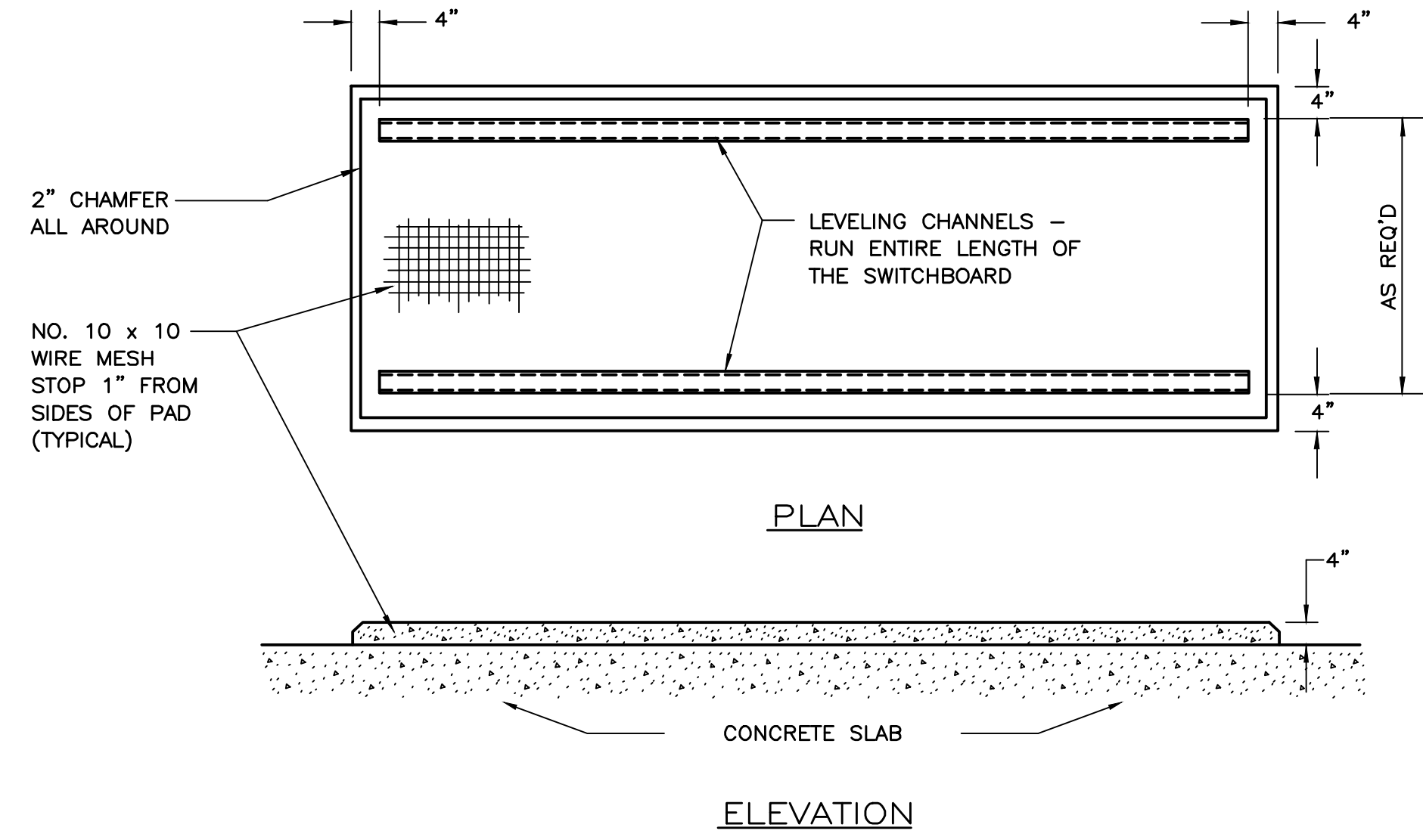
1. FURNISH AND INSTALL 2-LEVELING CHANNELS AT CONCRETE PAD FOR SECURING AND LEVELING UNIT SUBSTATION, SWITCHBOARD OR SWITCHGEAR AS INDICATED AND/OR AS RECOMMENDED BY ELECTRICAL EQUIPMENT MANUFACTURER. CHANNELS SHALL BE INSTALLED LEVEL IN ALL DIRECTIONS AND DRILLED AND TAPPED AT LOCATIONS RECOMMENDED BY EQUIPMENT MANUFACTURER. EQUIPMENT SHALL BE SECURED TO CHANNELS WITH MACHINE SCREWS OR ANCHOR BOLTS.



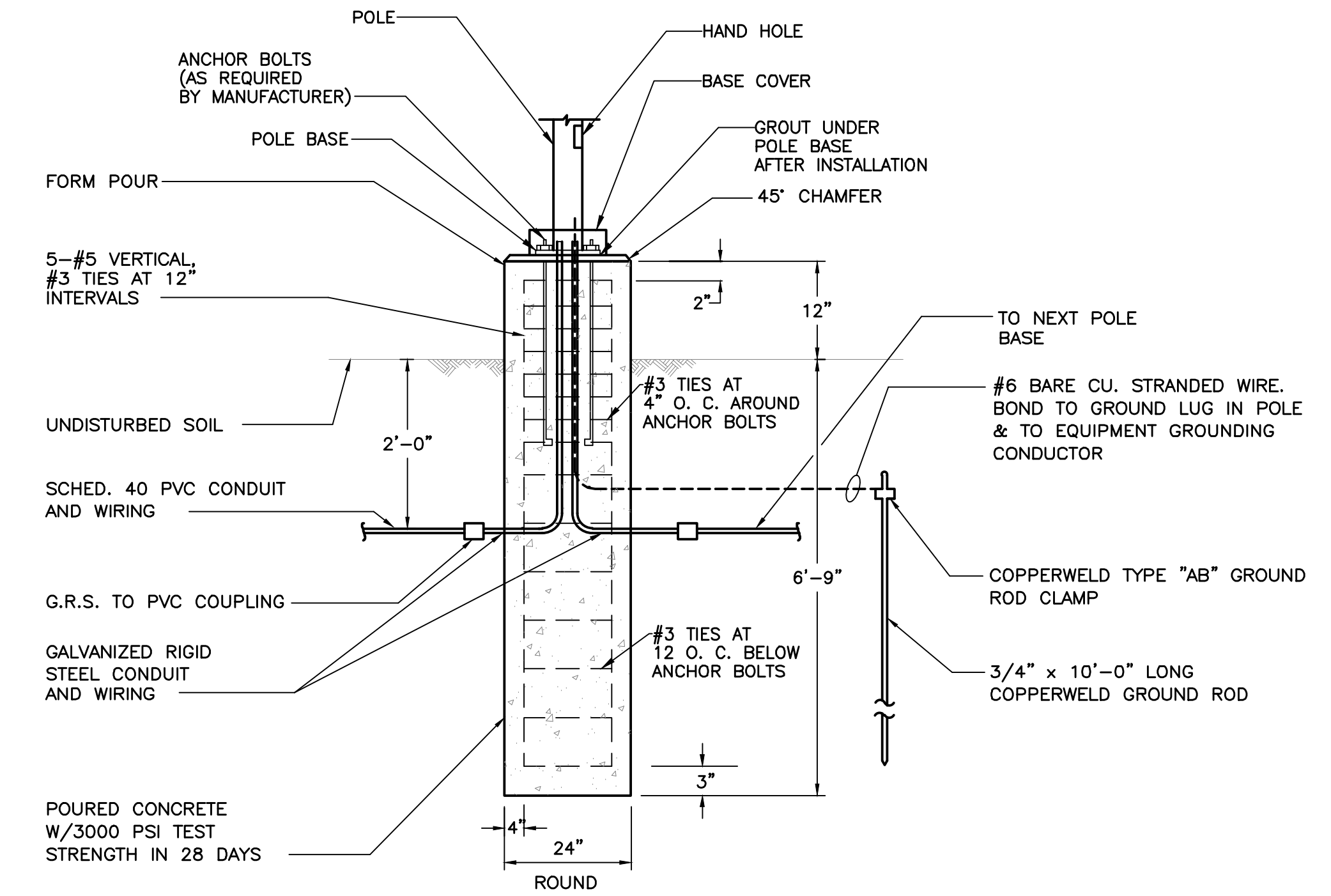
1 TYPICAL LEVELING CHANNEL INSTALLATION  
N.T.S.

**NOTES:**

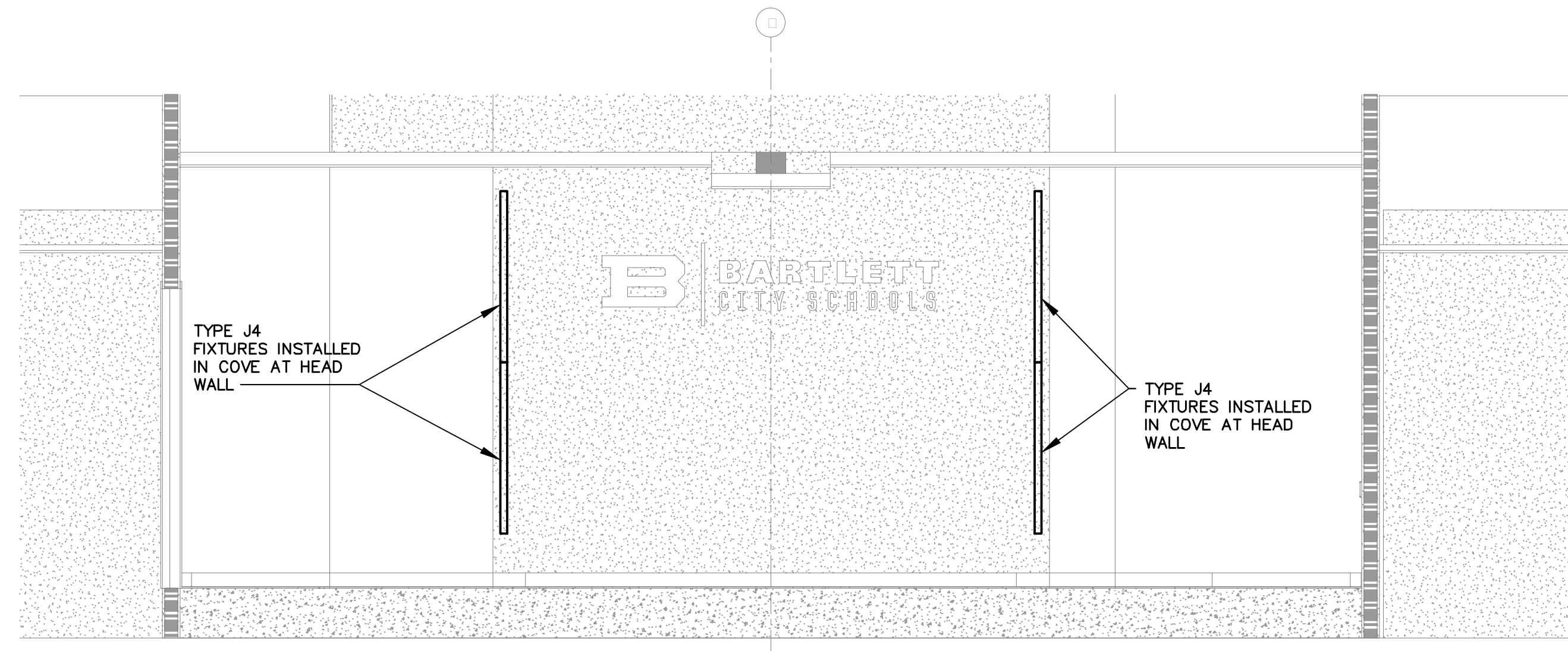
1. ANCHOR THE SWITCHBOARD AND GENERATOR TO THE CONCRETE PAD AS RECOMMENDED BY THE MANUFACTURER.



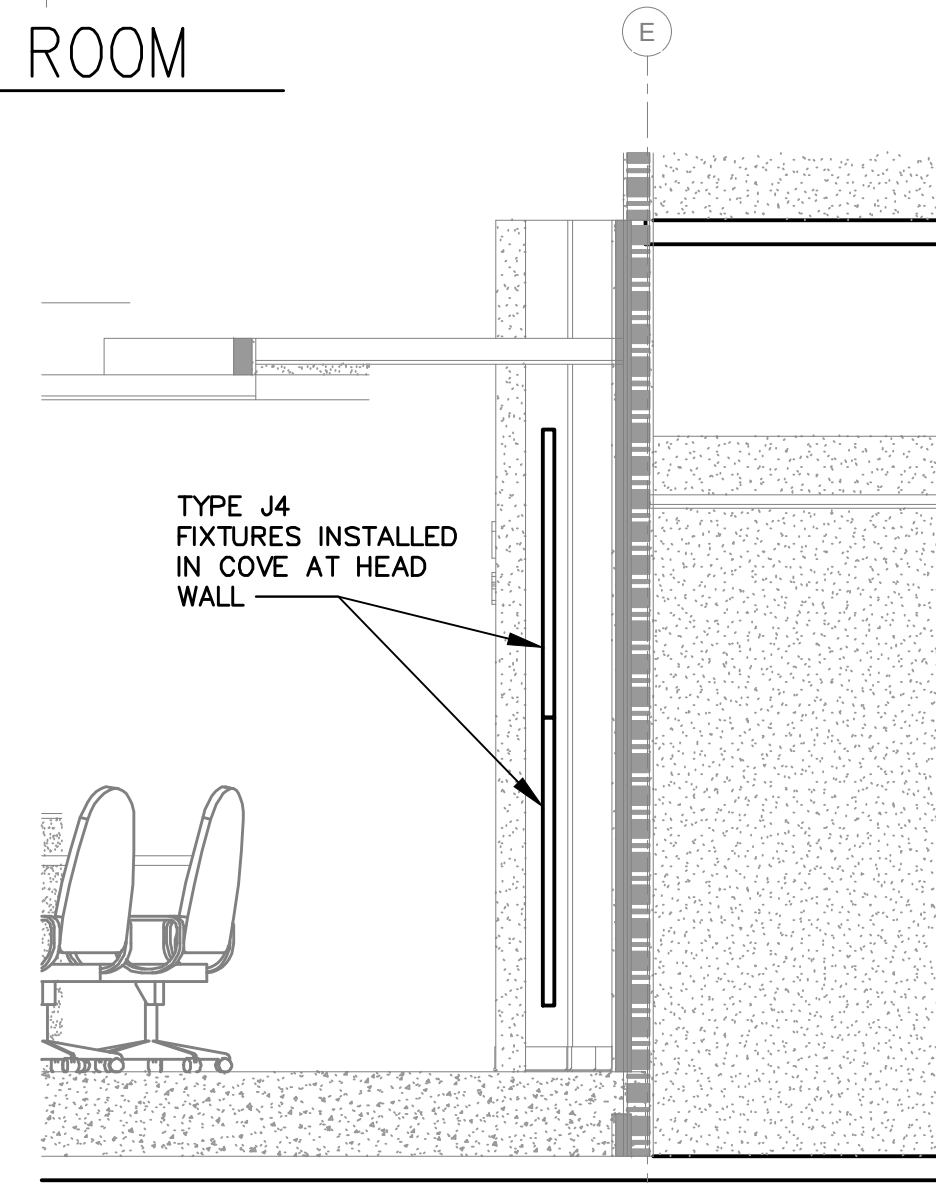
2 TYPICAL DETAIL - CONCRETE PAD FOR MAIN SWITCHBOARD  
N.T.S.



3 POLE BASE DETAIL FOR TYPE POLE TYPE LIGHTING FIXTURES  
N.T.S.

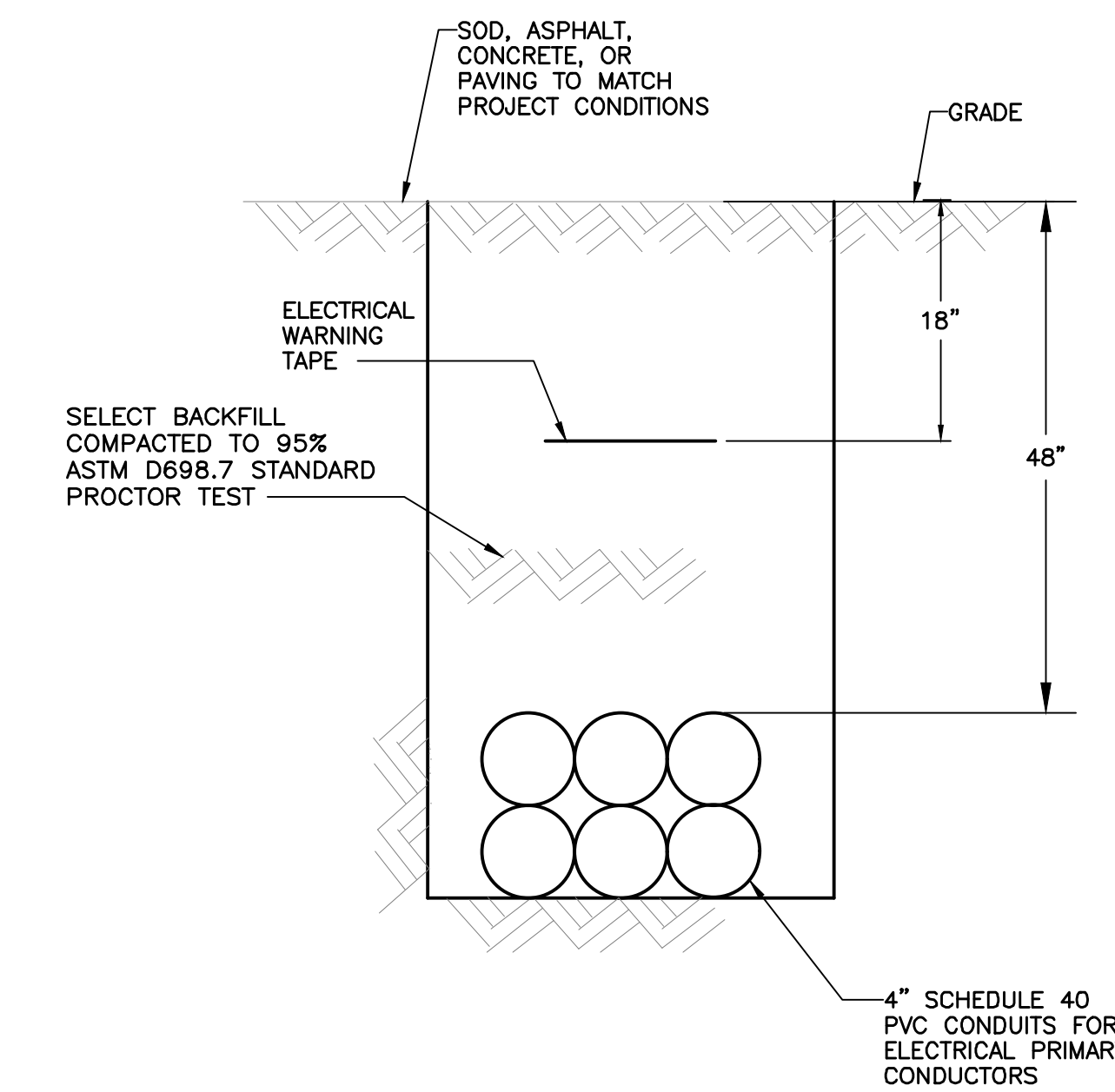


4 ELEVATION "BB" AT BOARD ROOM  
N.T.S.



5 SECTION "AA" AT BOARD ROOM  
N.T.S.

6 TYPE "J4" FIXTURE INSTALLATION AT BOARD ROOM  
N.T.S.



3 SECTION "B-B" THRU SERVICE ENTRANCE  
N.T.S.



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5705 Stage Road Bartlett, TN 38134

Sheet Title  
ELECTRICAL DETAILS

Project No.  
17027

Drawn by  
CSA

Date  
10/31/2017

**E7.4**



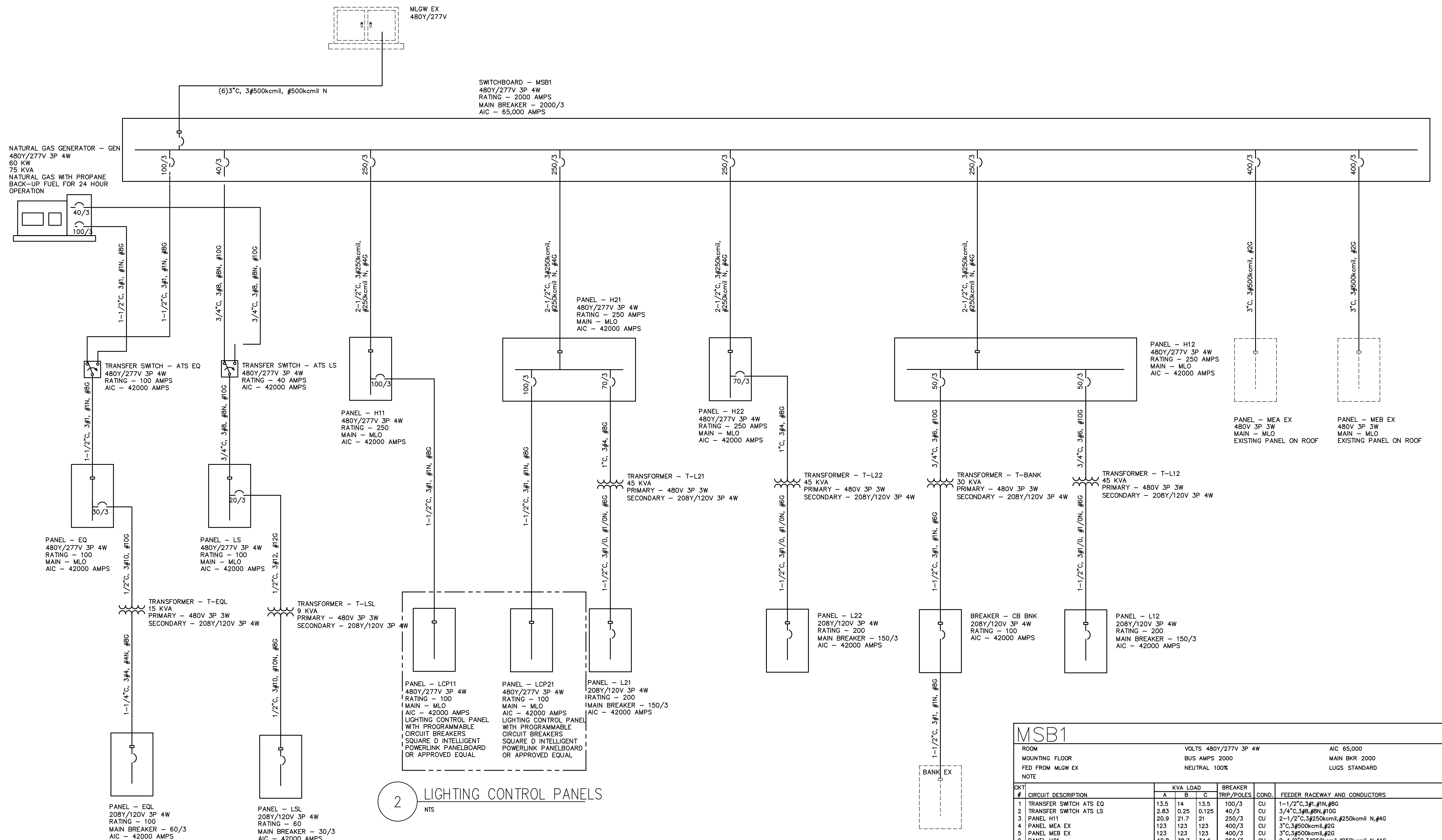


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**2 LIGHTING CONTROL PANELS**  
NTS

MSB1		VOLTS 480Y/277V 3P 4W			AIC 65,000
ROOM	FLOOR	BUS AMPS 2000			MAIN BKR 2000
FED FROM MLGW EX		NEUTRAL 100%			LUGS STANDARD
NOTE					
OKT #	CIRCUIT DESCRIPTION	A	B	C	FEEDER RACEWAY AND CONDUCTORS
1	TRANSFER SWITCH ATS EQ	13.5	14	13.5	100/3 CU 1-1/2" C, 3#1, #1N, #8G
2	TRANSFER SWITCH ATS LS	2.83	0.25	0.125	40/3 CU 3/4" C, 3#6, #8N, #10G
3	PANEL H11	20.9	21.7	21	250/3 CU 2-1/2" C, 3#250kcmil, #250kcmil N, #4G
4	PANEL MEA EX	123	123	123	400/3 CU 3" C, 3#500kcmil, #2G
5	PANEL MEB EX	123	123	123	400/3 CU 3" C, 3#500kcmil, #2G
6	PANEL H21	42.8	38.7	34.6	250/3 CU 2-1/2" C, 3#250kcmil, #250kcmil N, #4G
7	PANEL H22	55	54.1	53.8	250/3 CU 2-1/2" C, 3#250kcmil, #250kcmil N, #4G
8	ELEVATOR EX	7.48	7.48	7.48	70/3 CU 1" C, 3#4, #8G
9	SHUNT TRIP COIL	0	0	0	-/1 CU -
10	SPACE	0	0	0	200/3 CU -
11	SPACE	0	0	0	200/3 CU -
12	SPACE	0	0	0	200/3 CU -
13	SPACE	0	0	0	400/3 CU -
14	SPACE	0	0	0	400/3 CU -
15	SPACE	0	0	0	400/3 CU -
16	SPACE	0	0	0	400/3 CU -
17	PANEL H12	39.4	40.5	39.4	250/3 CU 2-1/2" C, 3#250kcmil, #250kcmil N, #4G
<b>TOTAL CONNECTED KVA BY PHASE</b>		427	422	415	
		CONN. KVA	CALC. KVA		CONN. KVA
LIGHTING		41.5	51.8 (125%)		135
LARGEST MOTOR		22.4	28.1 (125%)		232
OTHER MOTORS		16.1	16.1 (100%)		0
RECEPTACLES		81.2	45.6 (50%*10)		0
					NONCONTINUOUS
					HEATING
					NONCONTINUOUS
					KITCHEN EQUIP
					NONCON/DIVERSE
					TOTAL KVA
					1,260
					1,090
BALANCED THREE PHASE AMPS 1,320					

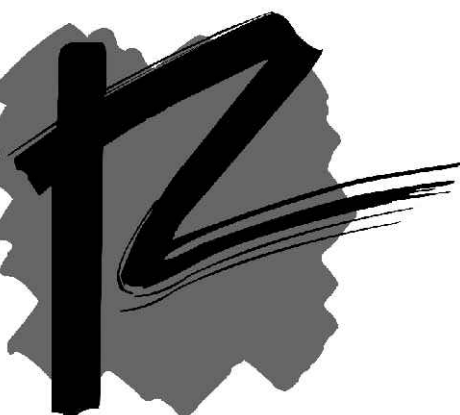
Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
**ADMINISTRATION OFFICE**  
5705 Stage Road Bartlett, TN 38134





EQ		VOLTS 480Y/277V 3P 4W		AIC 42000							
MOUNTING SURFACE		BUS AMPS 100		MAIN BKR MLO							
FED FROM T-EO		NEUTRAL 100%		LUGS STANDARD							
NOTE											
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD			CIRCUIT DESCRIPTION	KVA LOAD				
			A	B	C		A	B	C		
1	20/1	LIGHTING	0.157	0.05		2	15/3	RTU-9			
3	20/1	LIGHTING				4			3.05	3.05	
5	20/1	SPARE				6					3.05
7	20/1	SPARE				8	15/3	RTU-4E	3.05	3.05	
9	20/1	SPARE				10					3.05
11	20/1	SPARE				12					
13	20/1	SPARE				14	20/1	SPARE		0	
15	20/1	SPARE				16	20/1	SPARE		0	
17	20/1	SPARE				18	20/1	SPARE		0	
19	20/1	SPARE				20	20/1	SPARE		0	
21	20/1	SPARE				22	20/1	SPARE		0	
23	20/1	SPARE				24	20/1	SPARE		0	
25	20/1	SPARE				26	50/3	XFMR T-EQL	7.25		
27	20/1	SPARE				28			7.86		
29	20/1	SPARE				30					7.41
TOTAL CONNECTED KVA BY PHASE									13.5	14	13.5
TOTAL CONNECTED AMPS BY PHASE									48.7	50.6	48.7
CONN. KVA		CALC. KVA		CONN. KVA		CALC. KVA		CONN. KVA		CALC. KVA	
LIGHTING		0.207		0.259 (125%)		CONTINUOUS		22.5		28.1 (125%)	
LARGEST MOTOR		0.696		0.87 (125%)		HEATING		0		0 (100%)	
OTHER MOTORS		0.2		0.2 (100%)		NONCONTINUOUS		0		0 (100%)	
RECEPTACLES		17.5		13.7 (50%>10)		KITCHEN EQUIP		0		0 (N/A)	
						NONCOIN/DIVERSE		0		0 (N/A)	
						TOTAL KVA		41		43.1	
BALANCED THREE PHASE AMPS 51.9											

EQL		VOLTS 208Y/120V 3P 4W		AIC 42000							
MOUNTING SURFACE		BUS AMPS 100		MAIN BKR 60							
FED FROM T-EQL		NEUTRAL 100%		LUGS STANDARD							
NOTE											
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD			CIRCUIT DESCRIPTION	KVA LOAD				
			A	B	C		A	B	C		
1	20/1	RECEPTACLE				2	20/1	RECEPTACLE	0.36		
3	20/1	RECEPTACLE		0.36		4	20/1	RECEPTACLE			0.36
5	20/1	RECEPTACLE		0.36	0.36	6	20/1	RECEPTACLE			0.36
7	20/1	RECEPTACLE	0.36			8	20/1	RECEPTACLE	0.36		
9	20/1	RECEPTACLE		0.36		10	20/1	RECEPTACLE			0.36
11	20/1	RECEPTACLE		0.36	0.36	12	20/1	RECEPTACLE			0.36
13	20/1	RECEPTACLE	0.36			14	20/1	RECEPTACLE	0.9		
15	20/1	RECEPTACLE		0.18		16	20/1	RECEPTACLE			0.36
17	20/1	RECEPTACLE		0.18	0.18	18	20/1	RECEPTACLE			0.36
19	15/2	MSHP-3	1.04			20	20/1	RECEPTACLE	0.36		
21			1.04			22	20/1	RECEPTACLE			0.36
23	20/1	RECEPTACLE		0.54		24	20/1	RECEPTACLE			0.36
25	20/1	EF-5, EF-6	0.2			26	20/1	RECEPTACLE	0.36		
27	15/2	MSHP-2		1.04		28	20/1	RECEPTACLE			0.36
29				1.04		30	20/1	RECEPTACLE	0.72		0.72
31	20/1	SP-1	0.696			32	20/1	RECEPTACLE			1.08
33	20/1	RECEPTACLE		0.72		34	20/1	RECEPTACLE			0.72
35	20/1	RECEPTACLE		0.72	0.72	36	20/1	RECEPTACLE			0.72
37	20/1	RECEPTACLE	0.72			38	20/1	SPARE			0
39	20/1	RECEPTACLE		0.72		40	20/1	SPARE			0
41	20/1	RECEPTACLE		0.72	0.72	42	20/1	SPARE			0
43	20/1	RECEPTACLE	0.72			44	20/1	SPARE			0
45	20/1	RECEPTACLE		0.72		46	20/1	SPARE			0
47	20/1	SPARE		0		48	20/1	SPARE			0
49	20/1	SPARE		0		50	20/1	SPARE			0
51	20/1	SPARE		0		52	20/1	SPARE			0
53	20/1	SPARE		0		54	20/1	SPARE			0
55	20/1	SPARE		0		56	20/1	SPARE			0
57	20/1	SPARE		0		58	20/1	SPARE			0
59	20/1	SPARE		0		60	20/1	SPARE			0
TOTAL CONNECTED KVA BY PHASE									7.7	8.02	6.8
TOTAL CONNECTED AMPS BY PHASE									64.3	66.8	56.9
CONN. KVA		CALC. KVA		CONN. KVA		CALC. KVA		CONN. KVA		CALC. KVA	
LIGHTING		0		0		(125%)		CONTINUOUS		4.16	
LARGEST MOTOR		0.696		0.87		(125%)		HEATING		0	
OTHER MOTORS		0.2		0.2		(100%)		NONCONTINUOUS		0	
RECEPTACLES		17.5		13.7		(50%>10)		KITCHEN EQUIP		0	
								NONCOIN/DIVERSE		0	
								TOTAL KVA		22.5	
										20	
BALANCED THREE PHASE AMPS 55.5											

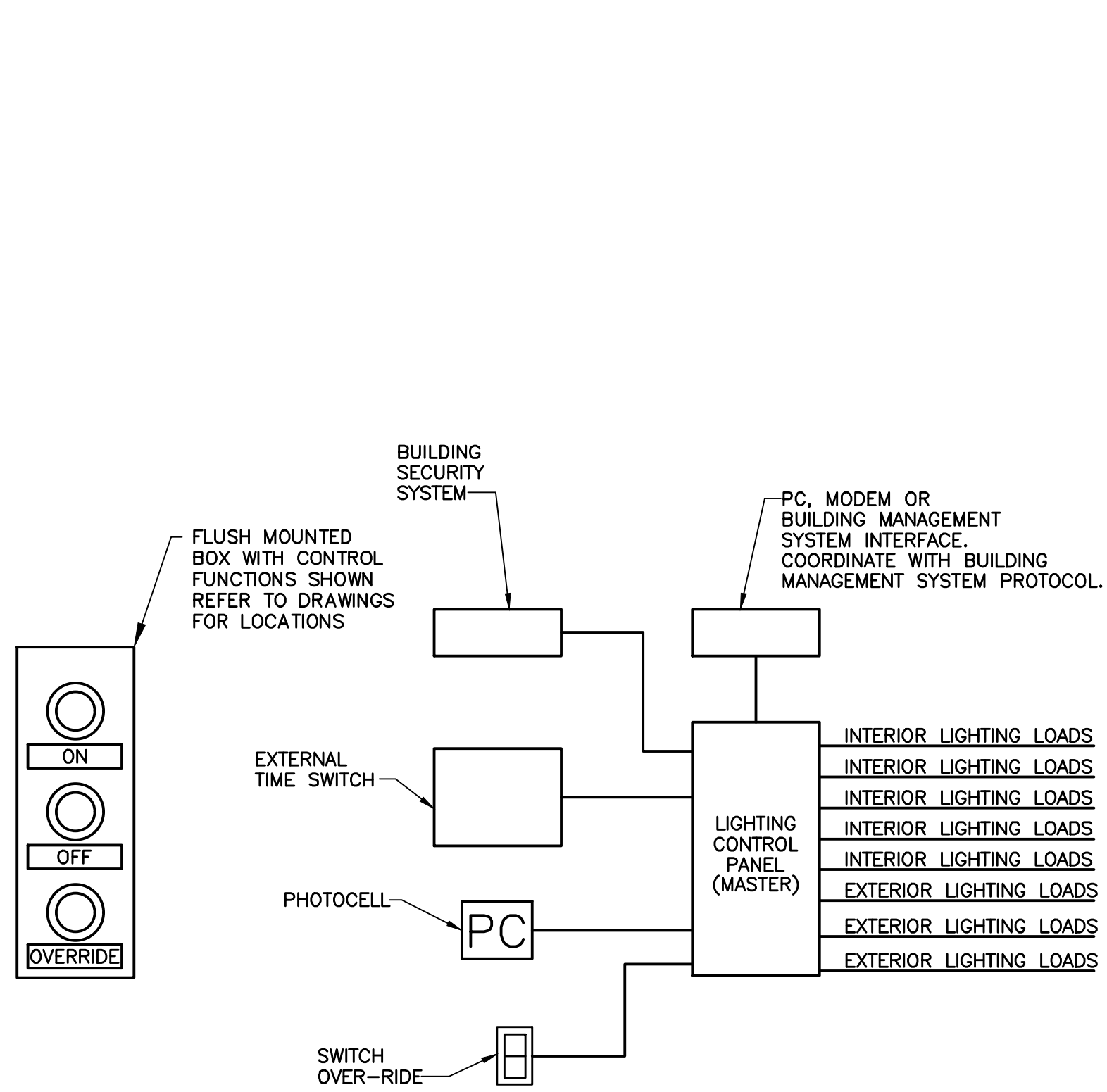


Renaissance Group

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REV	DESCRIPTION	DATE



1 ONE-LINE DIAGRAM - LIGHTING CONTROL PANEL  
N.T.S.

**LIGHTING CONTROL NOTES:**

**INTERIOR LIGHTING:**

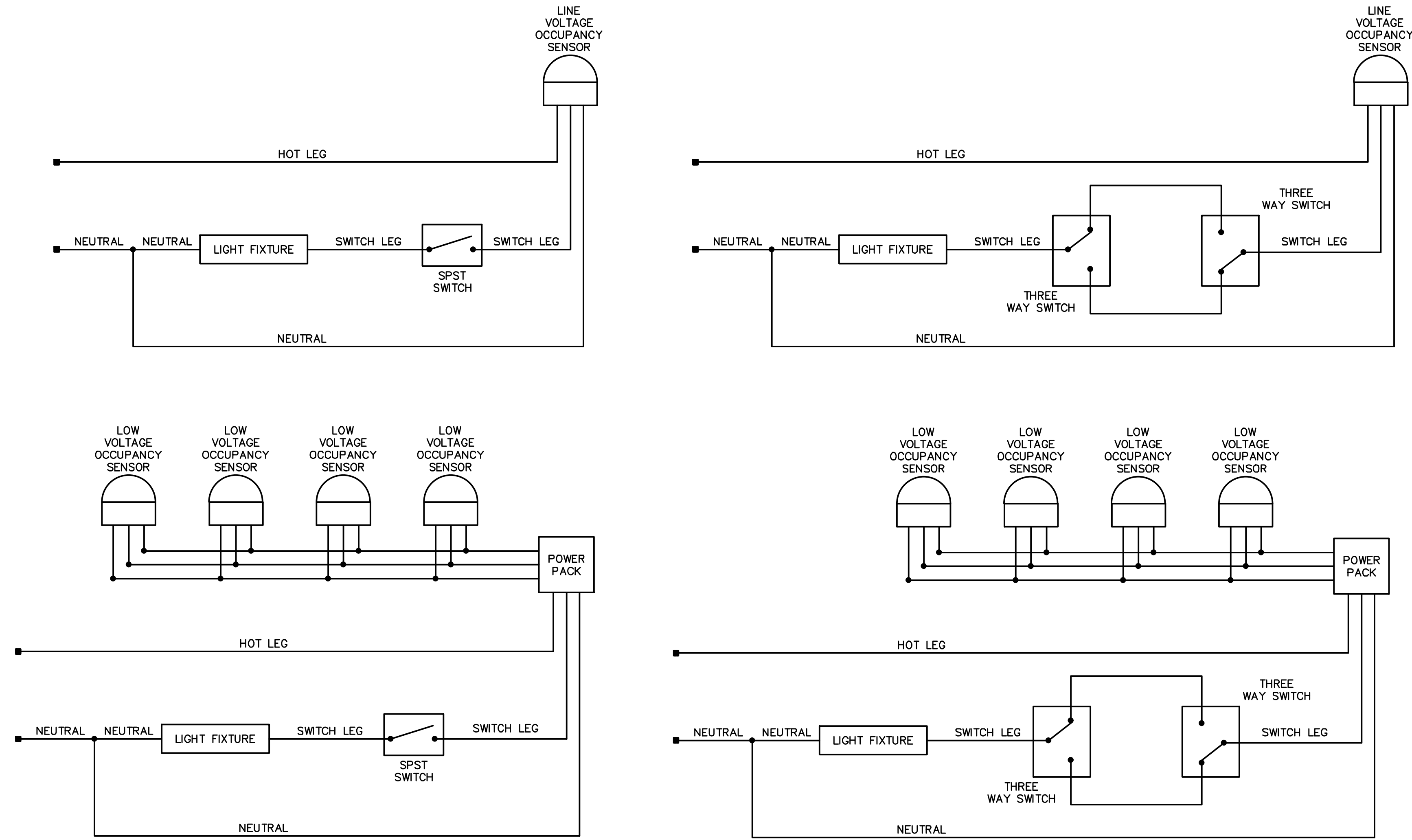
- INTERIOR LIGHTING SHALL BE SCHEDULED TO OPERATE AS DIRECTED BY THE OWNER'S SCHEDULE.
- FURNISH AND INSTALL OVERRIDE SWITCHES FOR EACH AREA AS INDICATED ON THE DRAWINGS.
- SWITCHES SHALL BE CAPABLE OF OVERRIDING ANY TIME OF DAY FUNCTION FOR NO MORE THAN 4 HOURS.

**EXTERIOR LIGHTING:**

- EXTERIOR LIGHTING SHALL BE CONTROLLED BY ASTRONOMICAL CLOCK TO TURN ON 1-HOUR BEFORE SUNSET AND TURN OFF 1-HOUR AFTER SUNRISE.
- PHOTOCELL INPUT SHALL OVERRIDE ASTRONOMICAL CLOCK SETTINGS.

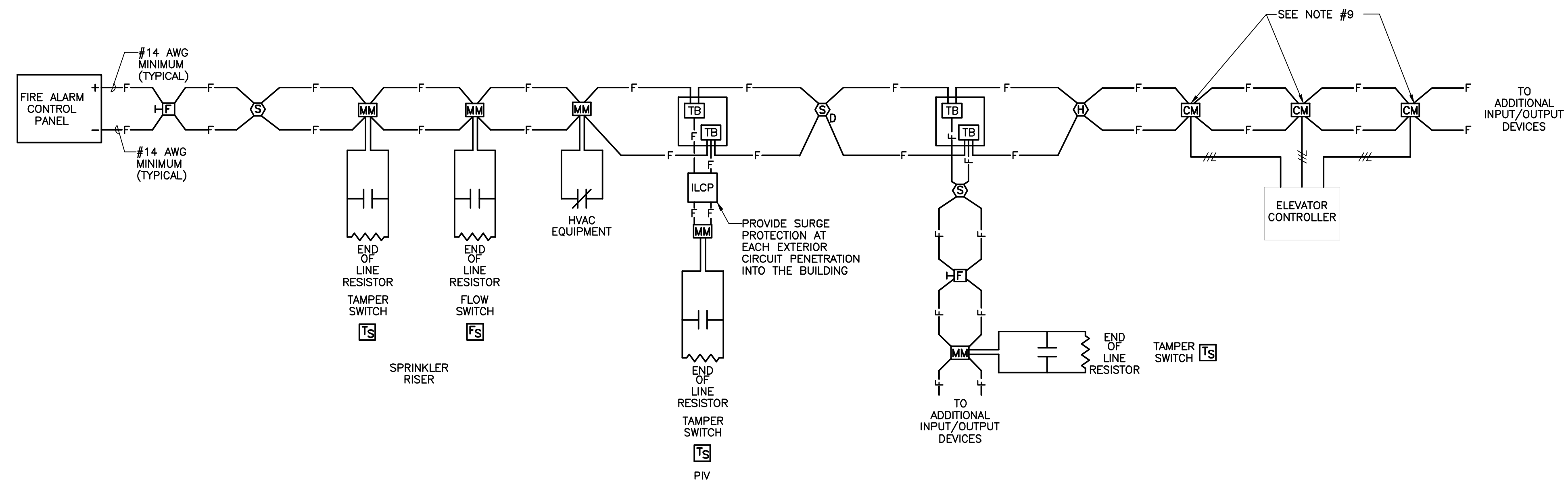
**PANEL REQUIREMENTS:**

- PANEL SHALL HAVE OVERCURRENT DEVICES THAT ARE PROGRAMMABLE FOR ON/OFF FUNCTIONS. LIGHTING CONTROL PANELS ARE NOTED ON THE PANEL SCHEDULES ON THE DRAWINGS.

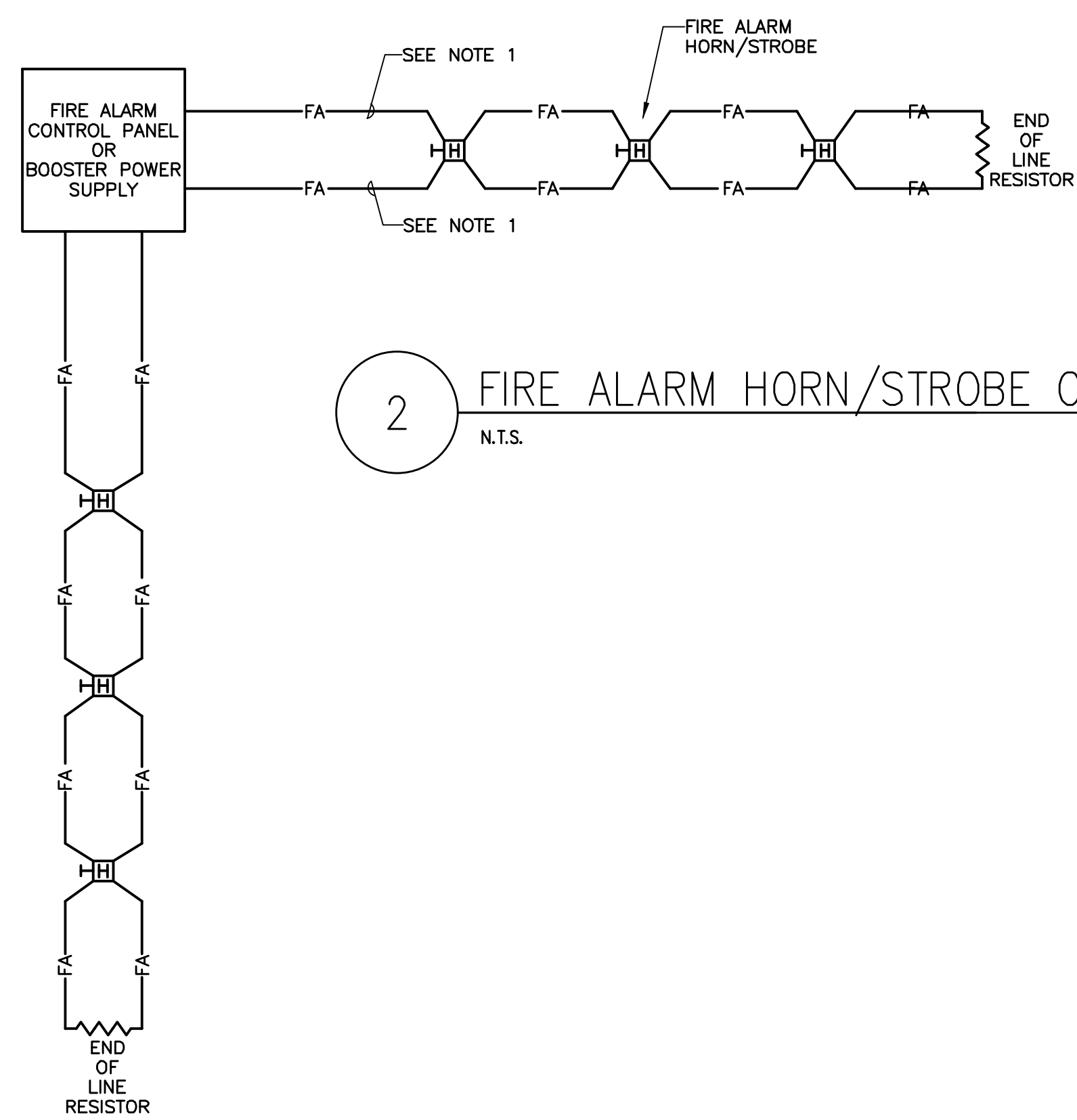


2 OCCUPANCY SENSOR WIRING SCHEMATICS  
N.T.S.

Construction Documents For  
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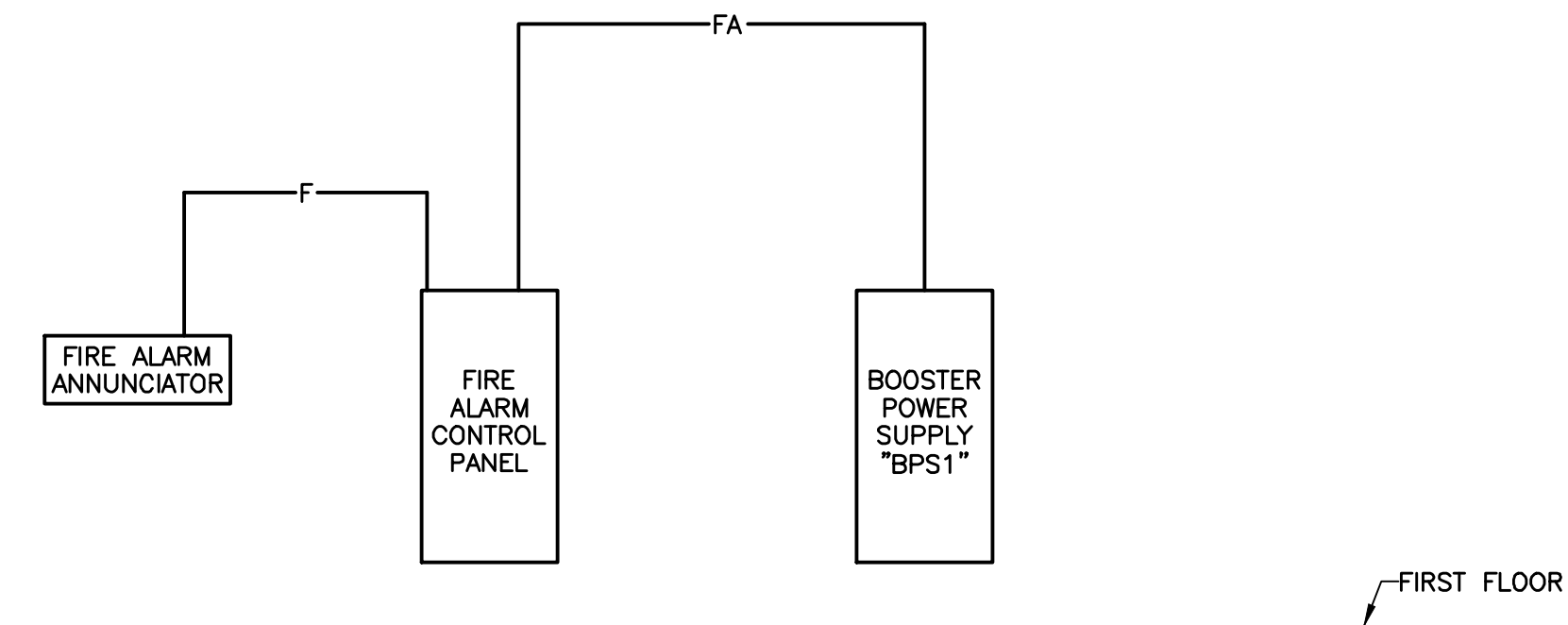
1 FIRE ALARM INPUT/OUTPUT DEVICE CIRCUIT WIRING  
N.T.S.



2 FIRE ALARM HORN/STROBE CIRCUIT WIRING  
N.T.S.

**COORDINATION:**

- TO ENSURE THAT ALL DEVICES TO BE MONITORED ARE INCLUDED IN THE FIRE ALARM SYSTEM DESIGN, THIS CONTRACTOR SHALL REFER TO THE FOLLOWING DRAWINGS FOR ALL DEVICES TO BE MONITORED/CONTROLLED. FURNISH AND INSTALL ADDITIONAL MONITOR/CONTROL DEVICES OTHER THAN THOSE SHOWN ON THE DRAWINGS AS REQUIRED:
- REFER TO THE FOLLOWING DRAWINGS:
  - ARCHITECTURAL
  - FIRE PROTECTION
  - MECHANICAL (INCLUDING HVAC)
  - CIVIL



4 FIRE ALARM INTERCONNECTION WIRING DIAGRAM  
N.T.S.

**NOTES:**

- CALCULATE THE VOLTAGE DROP FOR ALL NOTIFICATION APPLIANCE CIRCUITS AND PROVIDE WIRING TO LIMIT VOLTAGE DROP TO A VALUE ALLOWING THE RATED OUTPUT OF THE DEVICE.
- TEE TAPING OF NOTIFICATION APPLIANCE CIRCUIT WIRING IS NOT ALLOWED.
- MINIMUM INITIATING/MONITOR CIRCUIT WIRING SHALL BE #14 AWG.
- CONTROL PANEL SHALL INCLUDE DIGITAL ALARM COMMUNICATOR FOR REMOTE SYSTEM MONITOR COMMUNICATIONS.
- THE FIRE ALARM CONTROL PANEL SHALL HAVE 4 NOTIFICATION APPLIANCE CIRCUITS.
- THE FIRE ALARM SYSTEM SHALL BE AN ADDRESSABLE TYPE SYSTEM AS MANUFACTURED BY SIMPLEX OR EDWARDS "EST".
- AT THE ELEVATOR CONTROLLER FURNISH AND INSTALL CONTROL MODULES FOR PRIMARY FLOOR RECALL, ALTERNATE FLOOR RECALL, AND SHUNT TRIP FUNCTIONS.



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Construction Documents For  
**BARTLETT SCHOOL SYSTEM**  
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5705 Stage Road Bartlett, TN 38134

Sheet Title  
FIRE ALARM SYSTEM ONE LINE DIAGRAM

Project No.  
17027

Drawn by  
CSA

Date  
10/31/2017

**E8.5**

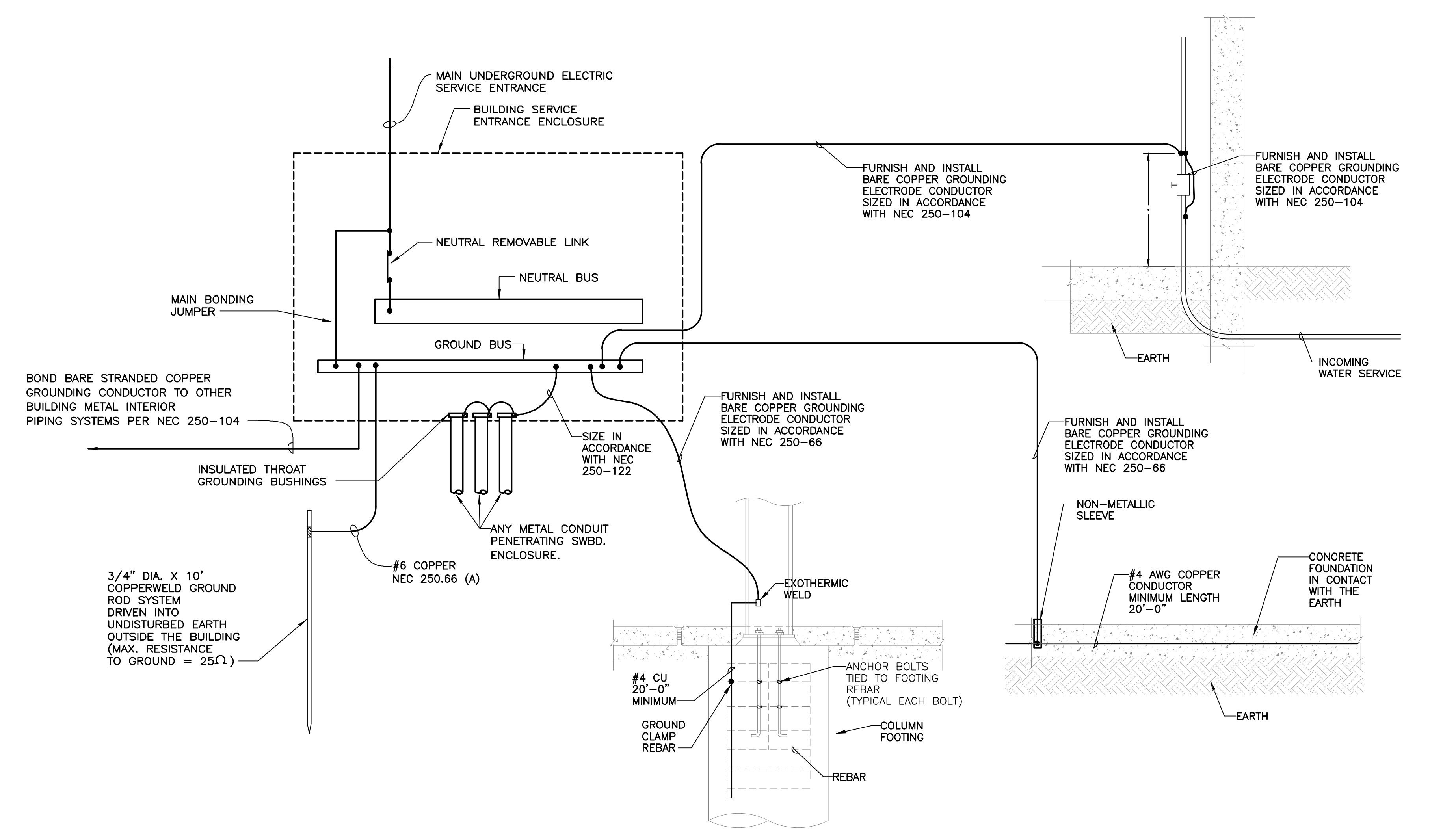


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**NATIONAL ELECTRICAL CODE**

REFER TO PARAGRAPH 250.50 - "GROUNDING ELECTRODE SYSTEM" OF THE 2011 EDITION OF THE NATIONAL ELECTRICAL CODE AND WHERE THE FOLLOWING ARE AVAILABLE BOND TOGETHER TO FORM A GROUNDING ELECTRODE SYSTEM:

**250.50 GROUNDING ELECTRODE SYSTEM**

ALL GROUNDING ELECTRODES AS DESCRIBED IN 250.52(A)(1) THROUGH 250.52(A)(7) THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM.

**250.52 GROUNDING ELECTRODES.**

(A) ELECTRODES PERMITTED FOR GROUNDING.

- (1) METAL UNDERGROUND WATER PIPE.
- (2) METAL FRAME OF THE BUILDING OR STRUCTURE.
- (3) CONCRETE-ENCASED ELECTRODE.
- (4) GROUND RING.
- (5) ROD AND PIPE ELECTRODES.

(A) ELECTRODES OF PIPE OR CONDUIT SHALL NOT BE SMALLER THAN METRIC DESIGNATOR 21 (TRADE SIZE 3/4") AND, WHERE OF IRON OR STEEL, SHALL HAVE THE OUTER SURFACE GALVANIZED OR OTHERWISE METAL-COATED FOR CORROSION PROTECTION.

(B) ELECTRODES OF RODS OF IRON OR STEEL SHALL BE AT LEAST 15.87 MM (5/8 IN.) IN DIAMETER. STAINLESS STEEL RODS LESS THAN 16 MM (5/8 IN.) IN DIAMETER, NONFERROUS RODS, OR THEIR EQUIVALENT SHALL BE LISTED AND SHALL NOT BE LESS THAN 13 MM (1/2 IN.) IN DIAMETER.

(6) PLATE ELECTRODES.

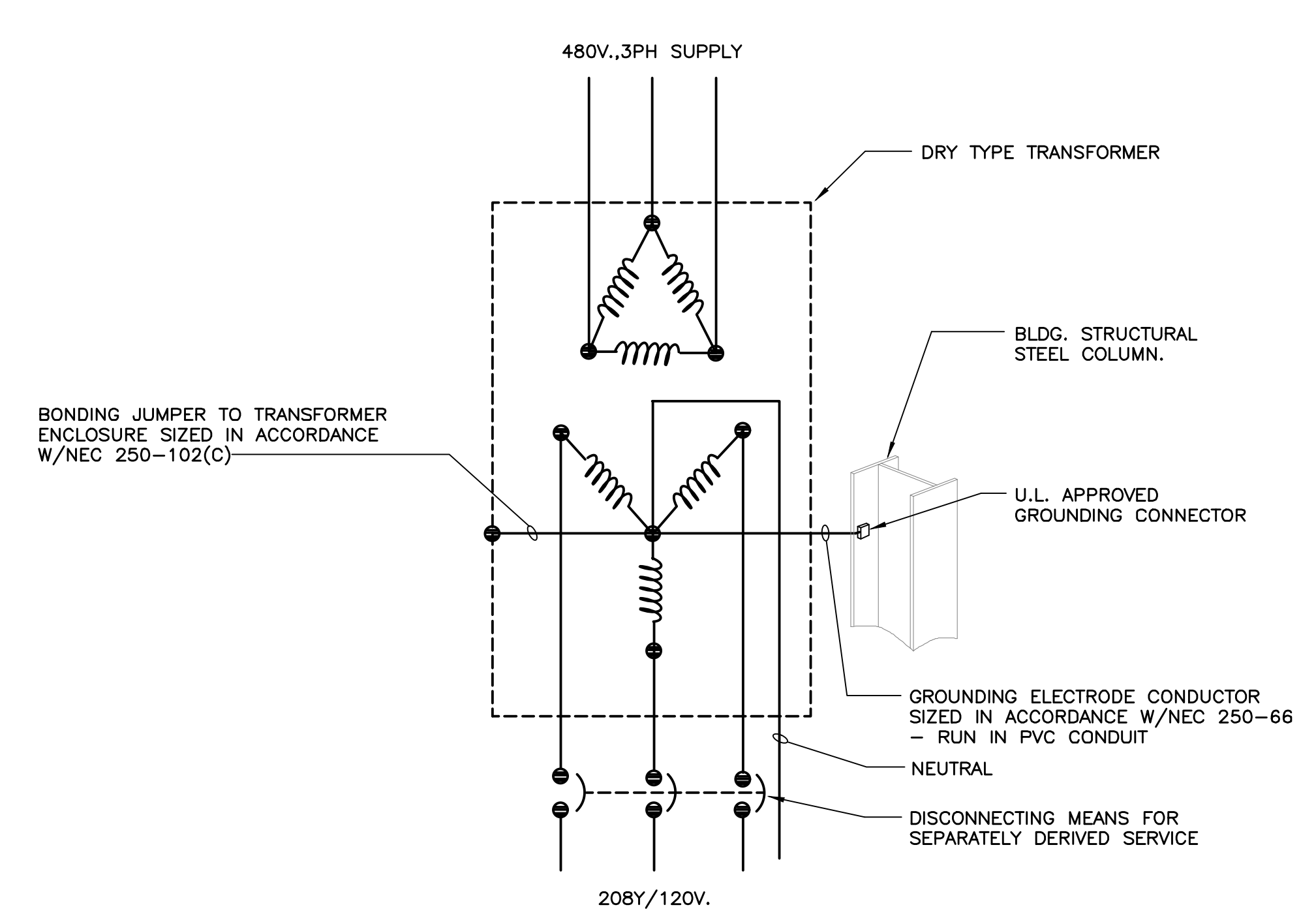
(7) OTHER LOCAL METAL UNDERGROUND SYSTEMS OR STRUCTURES.

(B) ELECTRODES NOT PERMITTED FOR GROUNDING. THE FOLLOWING SHALL NOT BE USED AS GROUNDING ELECTRODES:

- (1) METAL UNDERGROUND GAS PIPING SYSTEM
- (2) ALUMINUM ELECTRODES

1 GROUNDING PROCEDURE FOR BUILDING SERVICE ENTRANCE ENCLOSURE  
 NTS

SWITCHBOARD GROUND



2 TYPICAL GROUNDING PROCEDURE FOR 3-PHASE DRY TYPE TRANSFORMER INSTALLATIONS  
 NTS

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