

Parcels or Portions thereof identified on this sheet are within the Airport Safety Overlay District and are subject to Special Regulation

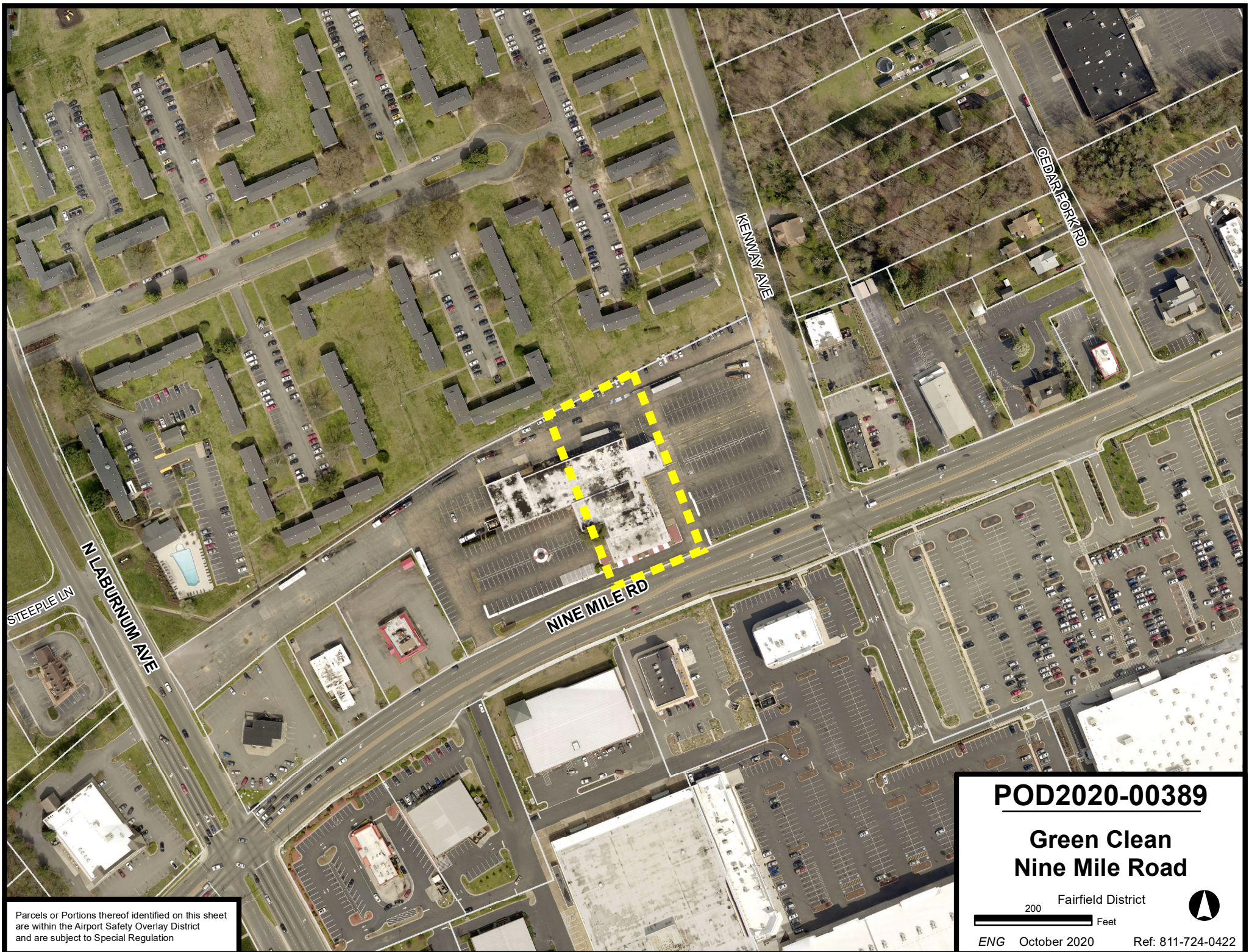
POD2020-00389

**Green Clean
Nine Mile Road**

Fairfield District

200 Feet

ENG October 2020 Ref: 811-724-0422 (pt)



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POD2020-00389

**Green Clean
Nine Mile Road**

Fairfield District

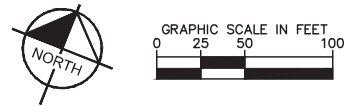
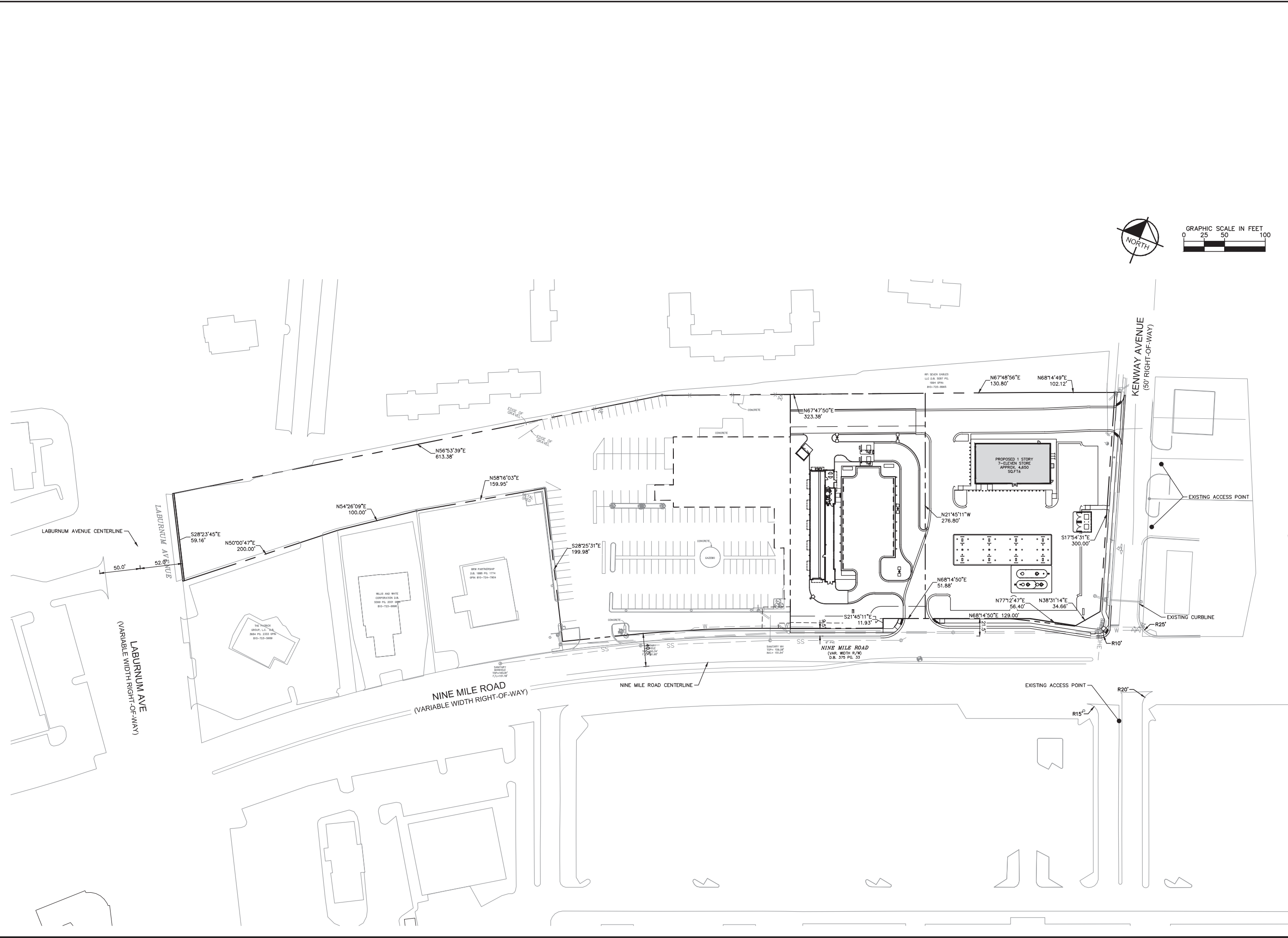
200 Feet



ENG October 2020

Ref: 811-724-0422

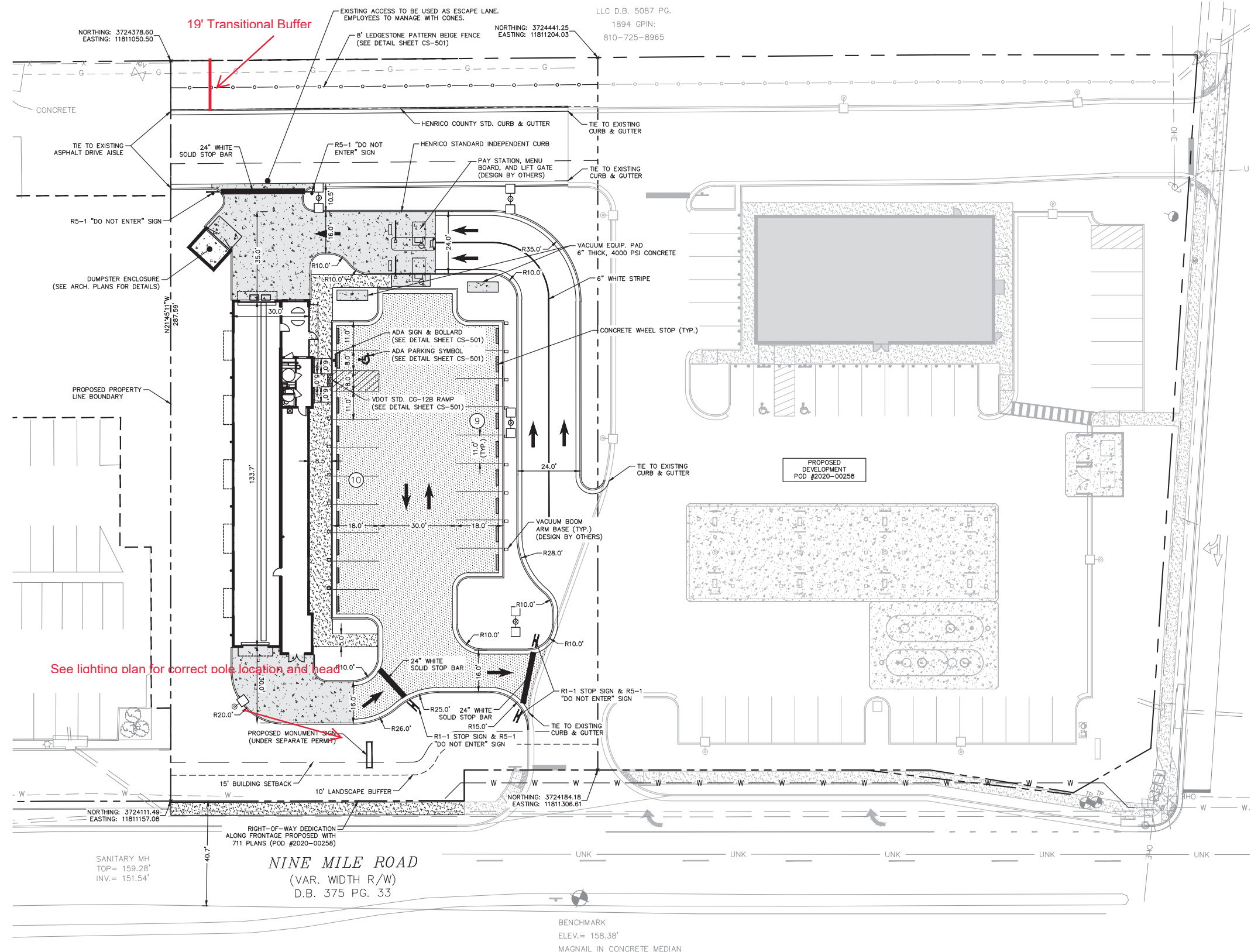
Plotted By: Baum, Carter - Sheet Set: KHA - Layout: CS-102 RIGHT-OF-WAY DEDICATION PLAN - October 12, 2020 05:57:07pm
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7-ELEVEN PREPARED FOR THE REBKEE COMPANY HENRICO, VA	OVERALL SITE PLAN				KHA PROJECT 113160047
	SHEET NUMBER 1 OF 1				DATE 10/07/2020
SCALE AS SHOWN		DESIGNED BY CBB		DRAWN BY CBB	
CHECKED BY RRP		REVISIONS			
NO.		DATE		BY	

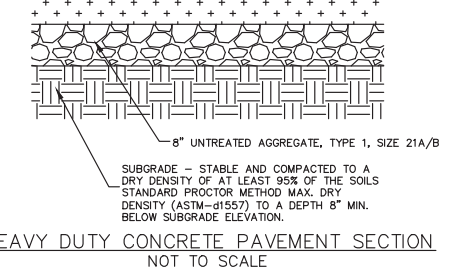
Kimley»Horn
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Plotted By: Baum, Carter - Sheet Set: KHA - Layout: CS-101 SITE PLAN - October 12, 2020 04:35:04pm K:\VIC-CIV\113414 - Green Clean Nine Mile Road\CAD\PlanSheets\CS-101 SITE PLAN.dwg
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SITE PLAN LEGEND:	
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK PAVEMENT
	ASPHALT PAVEMENT
	HENRICO COUNTY STD. CURB & GUTTER

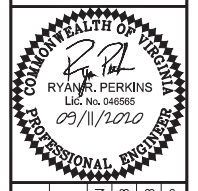
- Planning**
See standard comments
See additional written comments
- Public Utilities**
See standard comments
See additional written comments
- Engineering**
See standard comments
See additional written comments
- Traffic**
See standard comments
See additional written comments
- Fire**
See standard comments
See additional written comments
- Environmental**
See standard comments
See additional written comments
- Police**
See standard comments
See additional written comments



No.	REVISIONS	DATE	BY

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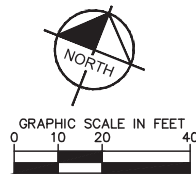
KHA PROJECT	113414009
DATE	9/11/2020
SCALE	AS SHOWN
DESIGNED BY	CBB
DRAWN BY	CBB
CHECKED BY	RRP

SITE PLAN

GREEN CLEAN NINE MILE ROAD
 PREPARED FOR
GREEN CLEAN

HENRICO VA

SHEET NUMBER
CS-101



POD2020-00389

October 21, 2020

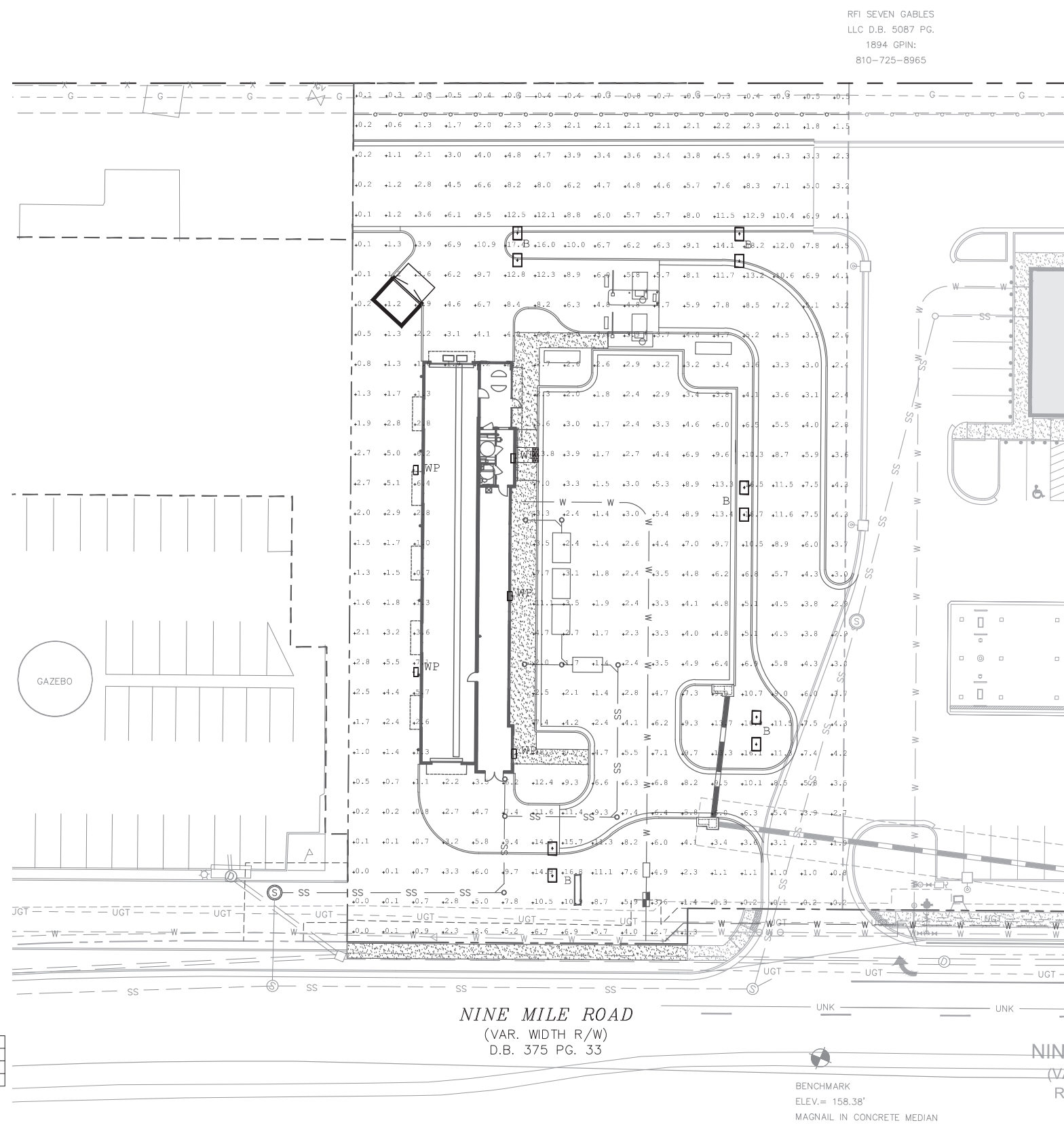
Staff Layout Plan

Plotted By: Baum, Carter - Sheet Set: KHA - Layout: CL-101 LIGHTING PLAN - October 16, 2020 09:43:41am - K:\RIC_CIV\113414 - Green Clean Nine Mile Road\CAD\PlanSheets\CL-101 LIGHTING PLAN.dwg
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Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	BUG Rating	Mfr.	Source	Wattage
	5	B	BACK-BACK	ECF-S-48L-1A-NW-G2-5	B5-U0-G3	Gardco	LED	160w
	5	WP	SINGLE	LPW-32-70-NW-G3-4	B1-U0-G2	Gardco	LED	320w

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Property Line	Illuminance	Fc	4.80	18.3	0.0	N.A.	N.A.	

* Pole - Valmont # DS330-s400Q140-Dx



NINE MILE ROAD
 (VAR. WIDTH R/W)
 D.B. 375 PG. 33

RFI SEVEN GABLES
 LLC D.B. 5087 PG.
 1894 GPIN:
 810-725-8965

 © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 1700 WILLOW LAWN DR., SUITE 200, RICHMOND, VA 23230 PHONE: 804-673-3882 WWW.KIMLEY-HORN.COM	KHA PROJECT 113414009	
	DATE 10/16/2020	SCALE AS SHOWN DESIGNED BY CBB DRAWN BY CBB CHECKED BY RRP
LIGHTING PLAN		
GREEN CLEAN NINE MILE ROAD PREPARED FOR GREEN CLEAN	VA	
SHEET NUMBER CL-101		
REVISIONS		DATE
No.		

POD2020-00389

October 21, 2020

Staff Lighting Plan

Plotted By: Baum, Carter - Sheet: Set: KHA - Layout: CP-101 LANDSCAPE PLAN - October 12, 2020 04:24:28pm - K:\BIC_GVA\113414 - Green Clean Nine Mile Road\CAD\PlanSheets\CP-101 LANDSCAPE PLAN.dwg
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10-YEAR TREE CANOPY REQUIREMENT CALCULATIONS (as noted in ZO 24-106.2.E.4.A)	
Gross Site Area	48,429 SF
Deductions	
Building Area	3,990 SF
Wetland Area	0 SF
Parking Area	3,708 SF
Adjusted Gross Site Area	40,731 SF
Tree Canopy Required (10% Required)	4,073 SF
Tree Canopy Existing to Remain	0 SF
Tree Canopy Provided (Total)	4,150 SF

Tree Canopy Breakdown				
Qty.	Type	Size	10 Yr. Canopy Coverage	
13	Large Deciduous Trees	2" Cal.	250 SF	3,250 SF
6	Compact Evergreen Trees	8' Ht Min	75 SF	450 SF
6	Small Deciduous Trees	8' Ht Min	75 SF	450 SF
			Total:	4,150 SF

Buffer Requirements (as noted in ZO 24-106.2.E.3.B)				
Zoning: B-3	Use: Car Wash			
Location	Adjacent Use	Buffer Required	Width Required	
Along North Property Line	R-5	Type 35	19 FT	
Along East Property Line	B-3	None	n/a	*See Note 1*
Along South Property Line	M-1C	None	n/a	
Along West Property Line	B-3	None	n/a	

Notes:
1. This buffer width has been reduced to 19' width (46% reduction) with application POD2020-00258

Buffer Tabulations (as noted in ZO 24-106.2.E.3.B)				
Buffer - North Property	Length = 170 LF	Width = 19 FT		
Adjacent Use: R-5	Buffer Type: 35' Transitional			
Plant Material Type	Quantity Required	Quantity Provided		
Large Deciduous Tree	5 per 100 LF = 4	*See Note 1	4	
Small Deciduous Tree or Evergreen tree	2.5 per 100 LF = 2	*See Note 1	0	
Shrubs	19 per 100 LF = 15	*See Note 1	15	

Notes:
1. The buffer width has been reduced to 19' width (46% reduction). The required landscape material has been reduced proportionately to correspond density with the reduced width.

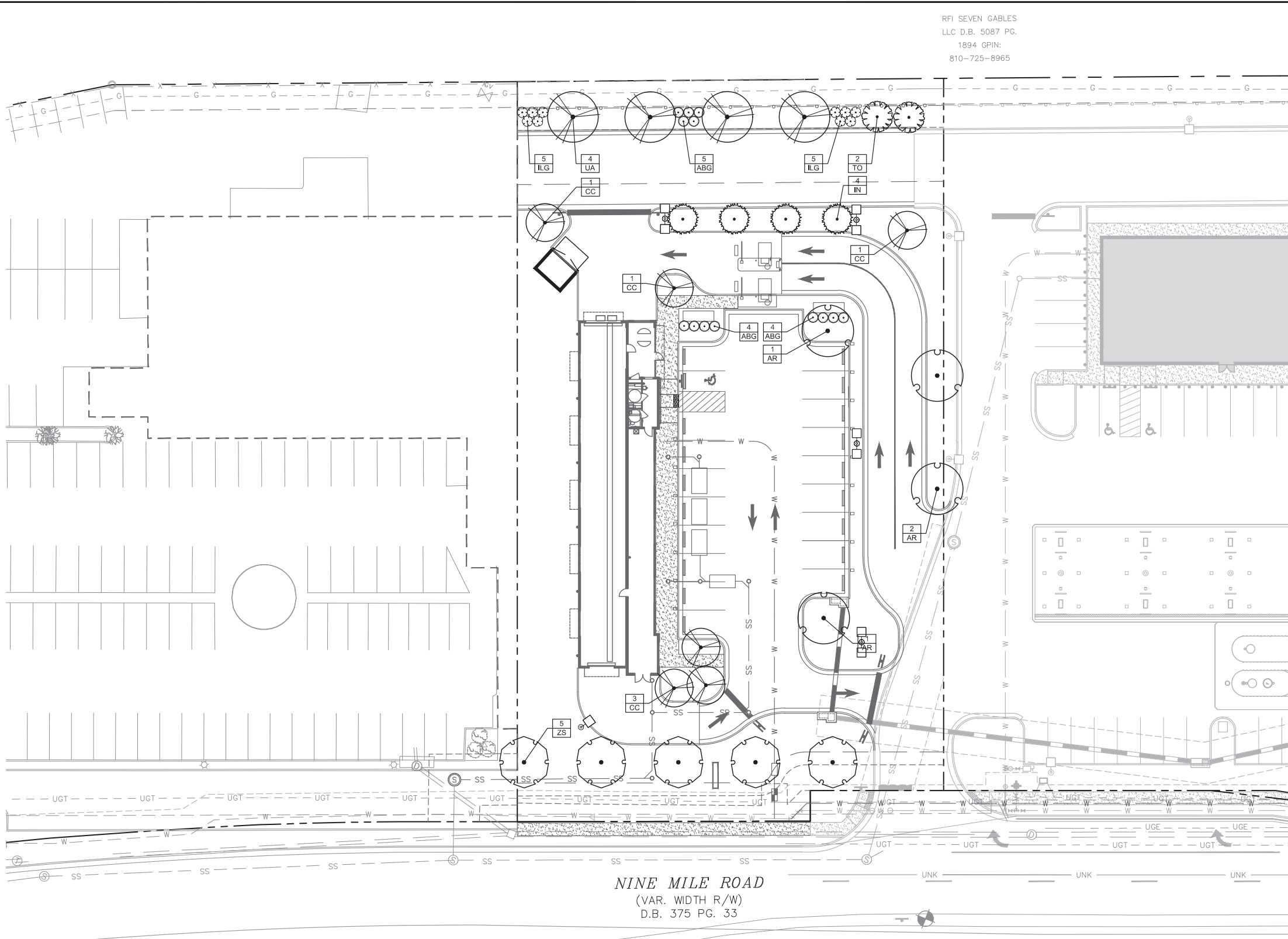
PERIPHERAL PARKING LOT LANDSCAPING CALCULATIONS (as noted in ZO 24-106.2.E.4.A)				
Location (Abutting Use)	Width	Length	Required Trees	Provided Trees
East - Abutting B-3	6 LF	99 LF	2 Trees (2/100 LF)	2 Trees

INTERIOR PARKING LANDSCAPING (as noted in ZO 24-106.2.E.4.B)			
Total Parking Spaces			19
11x18' = 18 spaces		3,564 SF	
8x18' = 1 spaces		144 SF	
	Subtotal	3,708 SF	
Total Green Area Required (5%)		185 SF	
Total Green Area Provided:	2 Trees @ 250SF ea	500 SF	

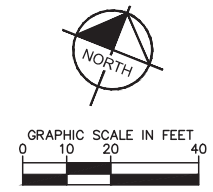
- NOTES:**
- SOD ALL AREAS WITHIN THE PROPERTY LIMITS THAT ARE NOT COVERED WITH MULCHED PLANT BEDS, STONE MULCH, BUILDINGS, HARDSCAPE, OR PAVEMENT.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN IRRIGATION PLAN AND INSTALLATION OF THE IRRIGATION SYSTEM. SEE SHEET CP-501 FOR GENERAL LANDSCAPE NOTES, PARAGRAPH R.
 - SEE SHEET CP-501 FOR PLANTING NOTES AND DETAILS.

**LANDSCAPE REQUIREMENTS
AS DETERMINED BY HENRICO COUNTY ZONING CODE 24-106.2:**

- ALL PARKING LOTS OF SIX OR MORE SPACES SHALL BE PROVIDED WITH INTERIOR LANDSCAPE AREAS CONTAINING NOT LESS THAN FIVE PERCENT OF THE TOTAL AREA OF THE PARKING SPACES. SUCH LANDSCAPING SHALL BE IN ADDITION TO ANY PLANTING OR LANDSCAPING WITHIN SIX FEET OF A BUILDING, PARKING LOT PERIPHERAL LANDSCAPING AND TRANSITIONAL BUFFERING REQUIRED BY THIS SECTION.
- TO MINIMIZE THE SPREAD OF DISEASE AND INSECT INFESTATION IN A PLANT SPECIES, NO MORE THAN SEVENTY PERCENT (70%) OF THE TREES REQUIRED TO BE PLANTED ON A SITE SHALL BE OF ONE GENUS. IN ADDITION, WHEN MORE THAN TWENTY (20) TREES ARE REQUIRED ON A SITE, NO MORE THAN THIRTY-FIVE PERCENT (35%) OF THE REQUIRED TREES SHALL BE OF A SINGLE SPECIES. EXCEPTION CAN BE MADE IF THE DESIGN CONCEPT DICTATES OTHERWISE AND IS APPROVED BY THE DIRECTOR.
- ALL DEVELOPMENTS REQUIRING APPROVAL OF A SITE AND/OR CONSTRUCTION PLAN MUST PROVIDE MINIMUM TREE COVER AT TEN (10) YEARS MATURITY AS SET FORTH BELOW (10% REQUIRED BY TABLE INSET IN ZONING CODE 24-106.2(E)), BECAUSE THE INTENT OF THIS CHAPTER IS TO ENHANCE ENVIRONMENTAL PROTECTION, AESTHETICS AND PROPERTY VALUES OF DEVELOPED LAND, THE APPROVED PLANS SHALL PROVIDE FOR A REASONABLE DISTRIBUTION OF TREES THROUGHOUT THE SITE AND SHALL REFLECT THE TOPOGRAPHY AND CONFIGURATION OF THE SITE AND THE LOCATION OF EXISTING AND/OR PROPOSED IMPROVEMENTS, AND SHALL BE IN CONFORMANCE WITH GOOD HORTICULTURAL PRACTICES.
- THE OWNER IS RESPONSIBLE FOR REPLACEMENT OF ANY PLANTING (I.E. SHRUBS, ETC.) DAMAGED OR REMOVED BY DPU, OR ITS AGENT, AS REQUIRED FOR MAINTENANCE OF COUNTY OWNED WATER AND/OR SEWER FACILITIES.



PLANT SCHEDULE					
LARGE DECIDUOUS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / HT
AR	4	Acer rubrum	Red Maple	B & B	2" Cal
UA	4	Ulmus americana 'Princeton'	American Elm	B & B	2" Cal
ZS	5	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	B & B	2" Cal
SMALL DECIDUOUS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / HT
CC	6	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	B & B	8' HT. MIN
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / HT
IN	4	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	B & B	8' HT. MIN
TO	2	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	B & B	8' HT. MIN
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT
ABG	13	Abelia x grandiflora	Glossy Abelia	Cont.	24" HT MIN.
ILG	10	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	Cont.	24" HT MIN.



RFI SEVEN GABLES
LLC D.B. 5087 PG.
1894 GPIN:
810-725-8965

No.	REVISIONS	DATE	BY

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COMMONWEALTH OF VIRGINIA
 LANDSCAPE ARCHITECT
 ROBBIE D. ROACH
 Lic. No. 1870
 9/11/2020

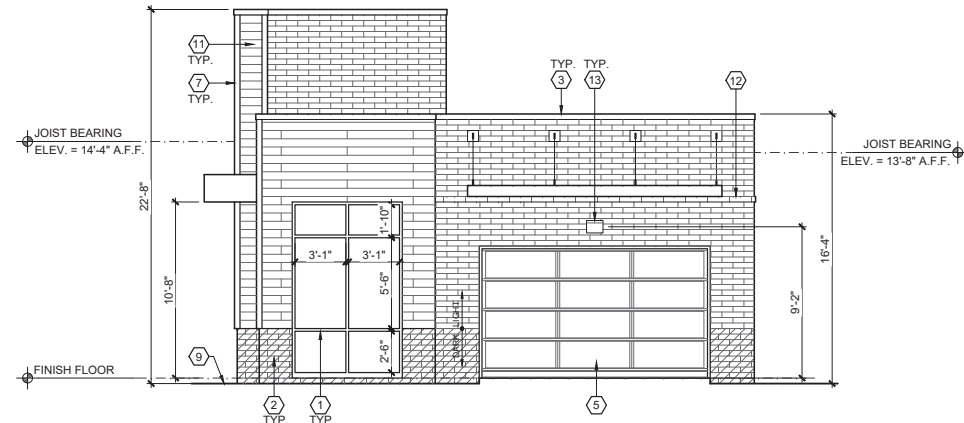
KHA PROJECT	113414009
DATE	9/11/2020
SCALE	AS SHOWN
DESIGNED BY	CBH
DRAWN BY	CBH
CHECKED BY	RRP

LANDSCAPE PLAN

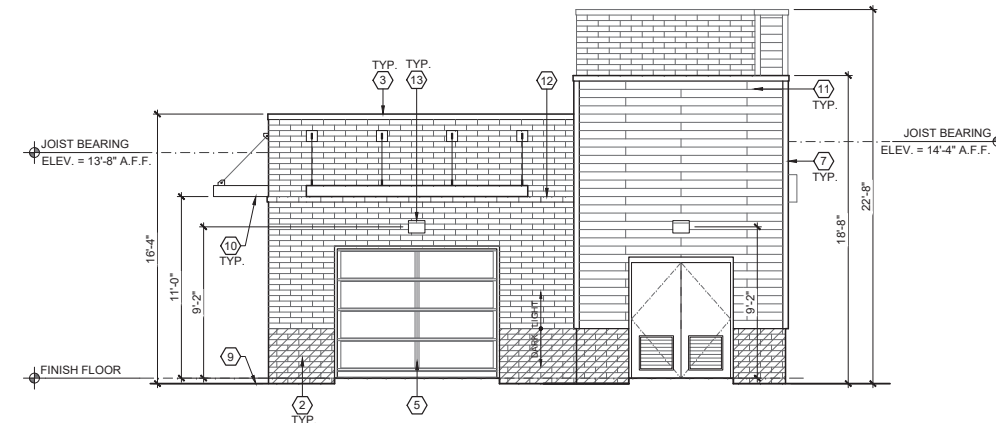
**GREEN CLEAN
NINE MILE ROAD**
 PREPARED FOR
GREEN CLEAN
 HENRICO VA

SHEET NUMBER
CP-101

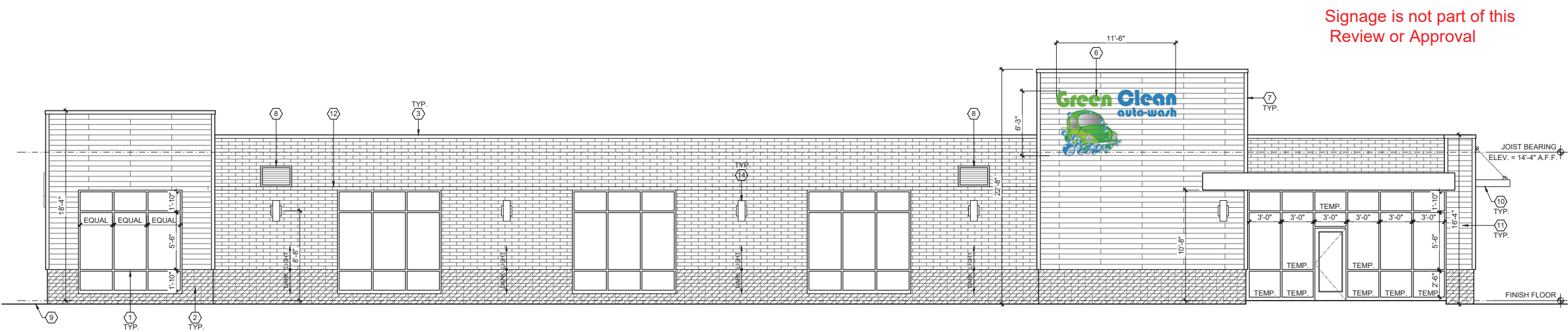
October 21, 2020
 Staff Schematic Landscape Plan
 POD2020-00389



4 ENTRY ELEVATION

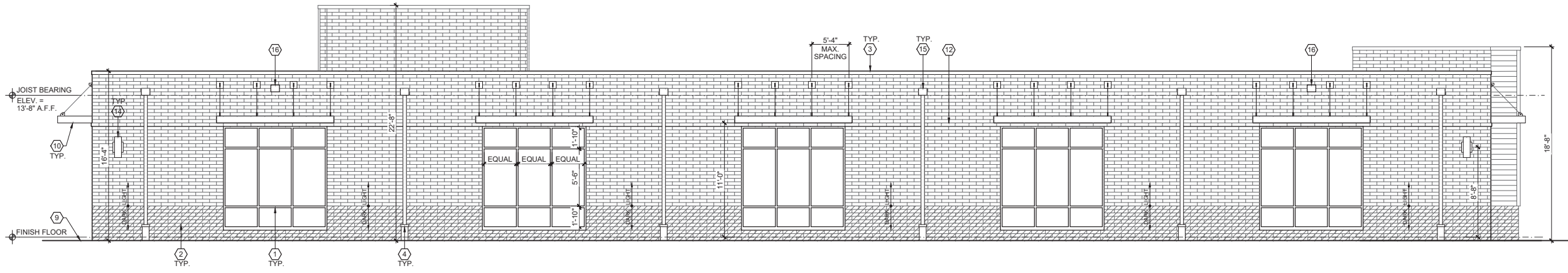


3 EXIT ELEVATION



Signage is not part of this Review or Approval

2 SIDE ELEVATION



1 SIDE ELEVATION

ELEVATION CODED NOTES (X)

1. ALUMINUM STOREFRONT GLAZING SYSTEM. MANUFACTURER TO DESIGN FOR WIND LOAD REQUIREMENTS PER CODE.
2. 8" QUIK-BRIK MASONRY W/ INSULATED CORES (MIN. 7.9 R-VALUE). INSULATED CORES NOT REQUIRED AT OUTSIDE WALLS OF WASH BAY.
3. CONTINUOUS METAL COPING.
4. 4" METAL DOWNSPOUT.
5. OVERHEAD DOOR.
6. SIGNAGE PROVIDED BY OWNER.
7. 1x4 COMPOSITE CORNER TRIM BY SIDING MANUFACTURER.
8. 36"x24" METAL WALL LOUVER W/ 2" FRAME. SEE HVAC DRAWINGS. LOCATE SUCH THAT THE OPENING IS NOT DIRECTLY BENEATH A ROOF JOIST.
9. GRADE. COORDINATE W/ CIVIL DRAWINGS.
10. PRE-MANUFACTURED ALUMINUM AWNING. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
11. NICHIA FIBER CEMENT AWP181 HORIZONTAL SIDING.
12. MASONRY BAND IN DARK FINISH TO MATCH BASE OF WALL.
13. EGRESS LIGHT FIXTURE.
14. DECORATIVE LIGHT FIXTURE.
15. SCUPPER & DOWNSPOUT COLLECTION BOX.
16. EMERGENCY OVERFLOW SCUPPER.

ELEVATION MATERIAL LEGEND

- QUIK BRIK (LIGHT GREY FINISH)
- QUIK BRIK (DARK GREY FINISH)
- NICHIA FIBER CEMENT AWP181 HORIZONTAL SIDING IN VINTAGE WOOD - BARK FINISH

EXTERIOR MATERIAL NOTES:
1. COLOR OF METAL COPING TO MATCH STOREFRONT SYSTEM COLOR

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

GREEN CLEAN AUTO WASH
4810 NINE MILE ROAD
RICHMOND, VA 23223



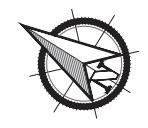
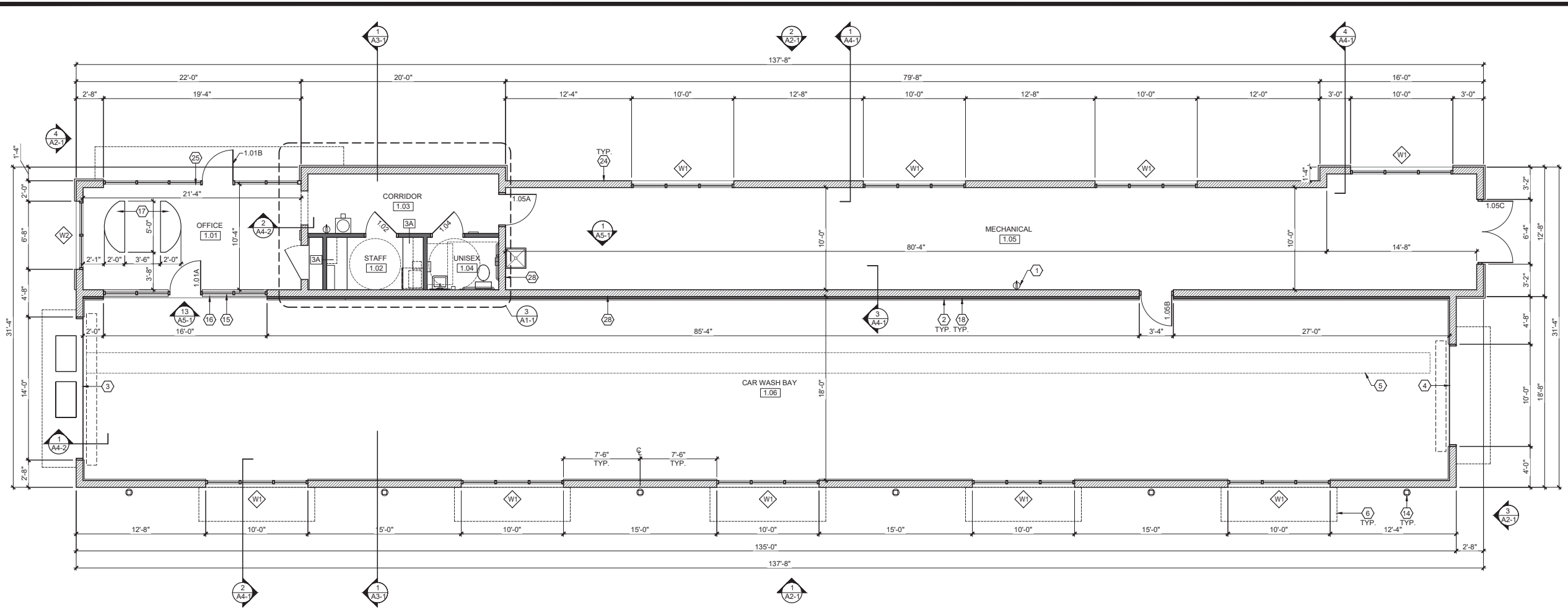
SCALE: 3/16" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-1
DATE: 09.10.2020
PLANNING COMMISSION
SCOTT BAKER, LICENSE #18940
EXPIRATION DATE 04/30/2022
SBA STUDIOS PROJECT # 2020-429



POD2020-00389

October 21, 2020

Staff Building Elevations



ALL EXTERIOR DIMENSIONS ARE TO MASONRY UNITS / MASONRY OPENINGS, TYP. PROVIDE MASONRY CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS

WINDOW TYPES SCHEDULE

- W1 10'-0" WIDE BY 10'-0" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-8" A.F.F.
- W2 6'-8" WIDE BY 10'-8" TALL ALUMINUM STOREFRONT WINDOW WINDOW HEAD HEIGHT = 10'-8" A.F.F.

CAR WASH GENERAL NOTES

- CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF TRENCH
- CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF ENTRY DOOR
- CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF EXIT DOOR
- CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF TUNNEL BAY
- COORDINATE LOCATION OF TRENCH WITH CAR WASH MANUFACTURER'S DRAWINGS

PLAN GENERAL NOTES

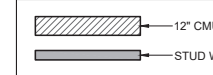
- ALL DOORS TO BE 6" FROM ADJACENT WALL U.N.O.
- ALL SIGNS THAT DESIGNATE PERMANENT ROOMS AND SPACES SHALL HAVE RAISED AND BRAILED CHARACTERS AND PICTORIAL SYMBOL SIGNS, FINISH AND CONTRAST, AND MOUNTED 60 INCHES ABOVE THE FINISH FLOOR TO CENTERLINE OF THE SIGN PER ANSI
- ALL INTERIOR STUD WALLS TO BE WALL TYPE "3B" U.N.O.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOMS

6 FLOOR PLAN

FLOOR PLAN CODED NOTES

- WALL MOUNTED FIRE EXTINGUISHER. EXTINGUISHER TO BE: RED ENAMELED FINISH HEAVY DUTY STEEL CYLINDER. UL AND FM APPROVED. ABC MULTI PURPOSE DRY CHEMICAL. 10 LB CAPACITY UL RATED 4A 60B: C. HOSE TYPE. UPRIGHT. SQUEEZE GRIP OPERATION
- INTERIOR WALL LINER PANEL BY EXTRUTECH PLASTICS, INC.
- 14'-0" x 8'-0" OVERHEAD DOOR
- 10'-0" x 8'-0" OVERHEAD DOOR
- CAR WASH TRENCH, SEE MANUFACTURER'S DRAWINGS
- DECORATIVE AWNING W/ BRACKETS, CENTER OVER WINDOWS / DOORS
- FLOOR MOUNTED COMMERCIAL GRADE UTILITY SINK
- ANSI COMPLIANT BOTTLED WATER COOLER WITH CUP DISPENSER
- 12" DEEP SHELVING W/ STANDARDS AND BRACKETS
- NOT USED
- UNDER COUNTER REFRIGERATOR
- NOT USED
- SERVER RACK, SEE SHEET A5-1
- DOWNSPOUT
- ALUMINUM STOREFRONT SYSTEM, WINDOW HEAD HEIGHT = 8'-0". SEE ELEVATION 13/A5-1, PROVIDE 1" INSULATED GLASS UNDER COUNTER REFRIGERATOR
- CONSTRUCT 2x4 INSULATED STUD WALL ABOVE OFFICE WINDOWS TIGHT TO BOTTOM OF DECK. INSTALL 5/8" GYPSUM BOARD EACH SIDE & LINER PANEL ON WASH BAY SIDE
- RECEPTIONIST DESK BY OTHERS. ANSI COMPLIANCE IS THE RESPONSIBILITY OF THE DESK DESIGNER
- PROVIDE 2 1/2" METAL Z-FURRING STRIPS @ 24" HORIZONTAL W/ MIN R-13 RIGID INSULATION IN FURRING CAVITIES W/ 5 MIL VAPOR BARRIER
- ANSI COMPLIANT SIGNAGE DESIGNATING UNISEX TOILET ROOM
- COFFEE MAKER, SEE INTERIOR ELEVATION
- MICROWAVE, SEE INTERIOR ELEVATION
- NOT USED
- ANSI COMPLIANT SIGNAGE DESIGNATING MAXIMUM OCCUPANCY OF 15 PERSONS
- 8" CMU CONSTRUCTION
- ANSI COMPLIANT EXIT SIGNAGE, SEE 9/A5-1
- NOT USED
- HVAC PLATFORM ABOVE, SEE DETAILS ON SHEET A1-3
- 8" CMU WALL

WALL LEGEND



WALL TYPES SCHEDULE

#	ASSEMBLY DESCRIPTION	HR	NOTES
3A	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD	RATING 0 HR U.L. FILE # N/A	FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
3B	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT	RATING 0 HR U.L. FILE # N/A	FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
3C	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT	RATING 0 HR U.L. FILE # N/A	FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ BOTTOM OF DECK. ASSEMBLY THICKNESS = 4 3/4"

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

GREEN CLEAN AUTO WASH
4810 NINE MILE ROAD
RICHMOND, VA 23223



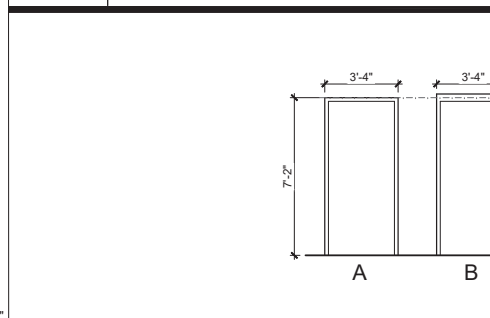
SCALE: 3/16" = 1'-0" (U.N.O.)
SHEET # / DESCRIPTION
FLOOR PLAN
A1-1
DATE: 09.10.2020
PLANNING COMMISSION
SCOTT BAKER, LICENSE #18940
EXPIRATION DATE 04/30/2022
SBA STUDIOS PROJECT # 2020-429

NO.	ROOM NAME	SIZE	ELEV	MAT	RATING	GLASS	HDWR	ELEV	MAT	REMARKS
1.01A	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 01	A	AL	CLOSER
1.01B	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 05	B	AL	CLOSER, ENTRY KEY
1.02	STAFF	3070	03	H.M.	0-HR	TEMP	SET 02	A	H.M.	
1.04	UNISEX	3070	01	H.M.	0-HR	N/A	SET 03	A	H.M.	
1.05A	MECHANICAL	3070	04	H.M.	0-HR	TEMP	SET 04	A	H.M.	
1.05B	MECHANICAL	3070	02	AL/GS	0-HR	N/A	SET 04	B	ALUM.	
1.05C	MECHANICAL	(2) 3070	05	H.M.	0-HR	TEMP	SET 05	B	H.M.	

- #### DOOR GENERAL NOTES
- ALL DOOR HARDWARE TO BE ANSI COMPLIANT LEVER STYLE
 - ALL DOOR HARDWARE TO BE MOUNTED BETWEEN 34" - 48" A.F.F.
 - ALL GLAZING IN NEW DOORS TO BE TEMPERED
 - ALL DOORS TO RECEIVE (3) HINGES
 - ALL DOORS TO RECEIVE (3) SILENCERS
 - ALL DOORS TO RECEIVE DOOR STOP
 - ALL EXTERIOR DOORS TO RECEIVE CLOSER
 - ALL EXTERIOR DOORS TO HAVE ADA THRESHOLD (1/4" MAX)
 - EXCEPT FOR THE RESTROOM, ALL OTHER EGRESS DOORS SHALL UNLATCH WITH ONLY ONE OPERATION OF THE DOOR HARDWARE, READILY OPERABLE FROM EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. OBC 1010.1.9.1/1010.1.9.1/1010.1.9.5.

- #### DOOR HARDWARE SETS
- SET 01: OFFICE LOCKSET
 - SET 02: STORAGE LOCKSET
 - SET 03: PRIVACY LOCKSET
 - SET 04: PASSAGE LOCKSET
 - SET 05: EXIT LOCKSET
 - SET 06: PUSH / PULL
 - KEY ALL DOORS ALIKE

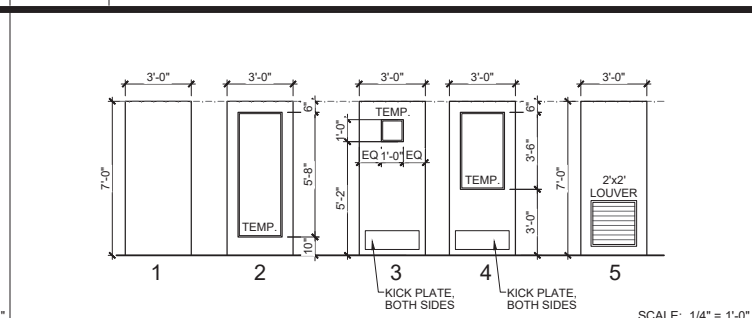
5 DOOR SCHEDULE



SCALE: 1/4" = 1'-0"

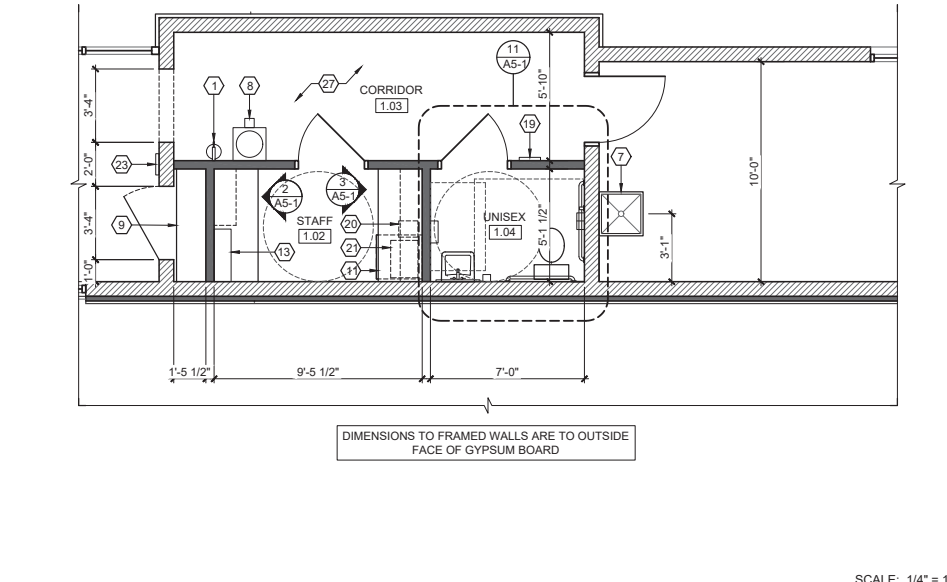
NO.	ROOM NAME	MAT	BASE	NORTH	EAST	SOUTH	WEST	CLG	REMARKS
1.01	OFFICE	WD	VB	PT-2	PT-2	PT-2	PT-2	NO	PAINT BAR JOISTS & ROOF DECK
1.02	STAFF	WD	VB	PT-1	PT-1	PT-1	PT-1	GYP	PAINT BAR JOISTS & ROOF DECK
1.03	CORRIDOR	WD	VB	PT-1	PT-1	PT-1	PT-1	GYP	
1.04	UNISEX	WD	VB	PT-1	PT-1	PT-1	PT-1	WL	6" BASE
1.05	MECHANICAL	NO	NO	PT-1	PT-1	PT-1	PT-1	NO	PAINT BAR JOISTS & ROOF DECK
1.06	WASH BAY	NO	NO	WL	WL	WL	WL	NO	PAINT BAR JOISTS & ROOF DECK

4 FINISH SCHEDULE



SCALE: 1/4" = 1'-0"

3 ENLARGED FLOOR PLAN



SCALE: 1/4" = 1'-0"

2 FRAME ELEVATIONS

SCALE: 1/4" = 1'-0"

1 DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"



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Elev. Four
08.19.2020

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Elev. Three

08.19.2020

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October 21, 2020

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Staff Site Rendering 2/2