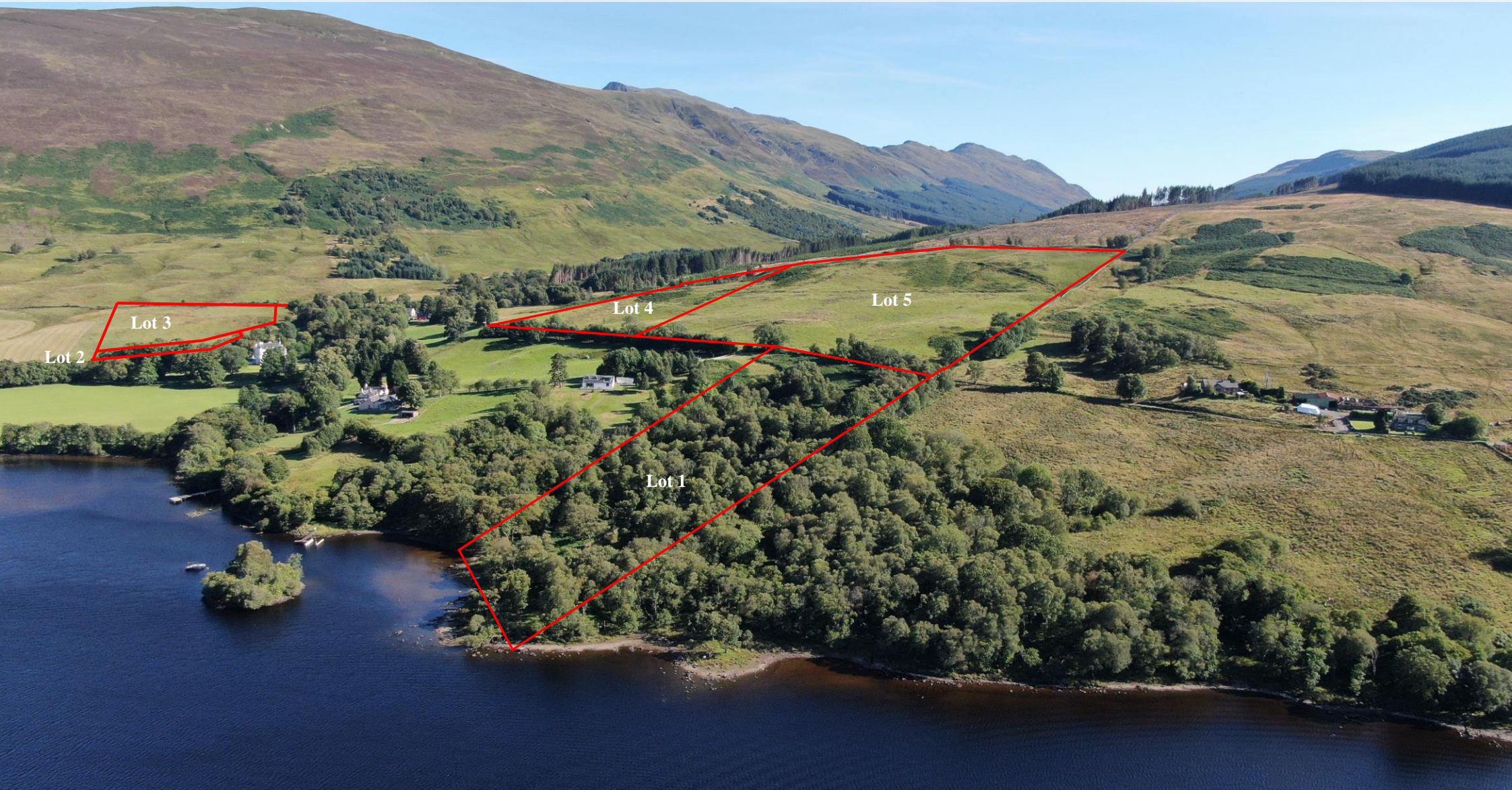
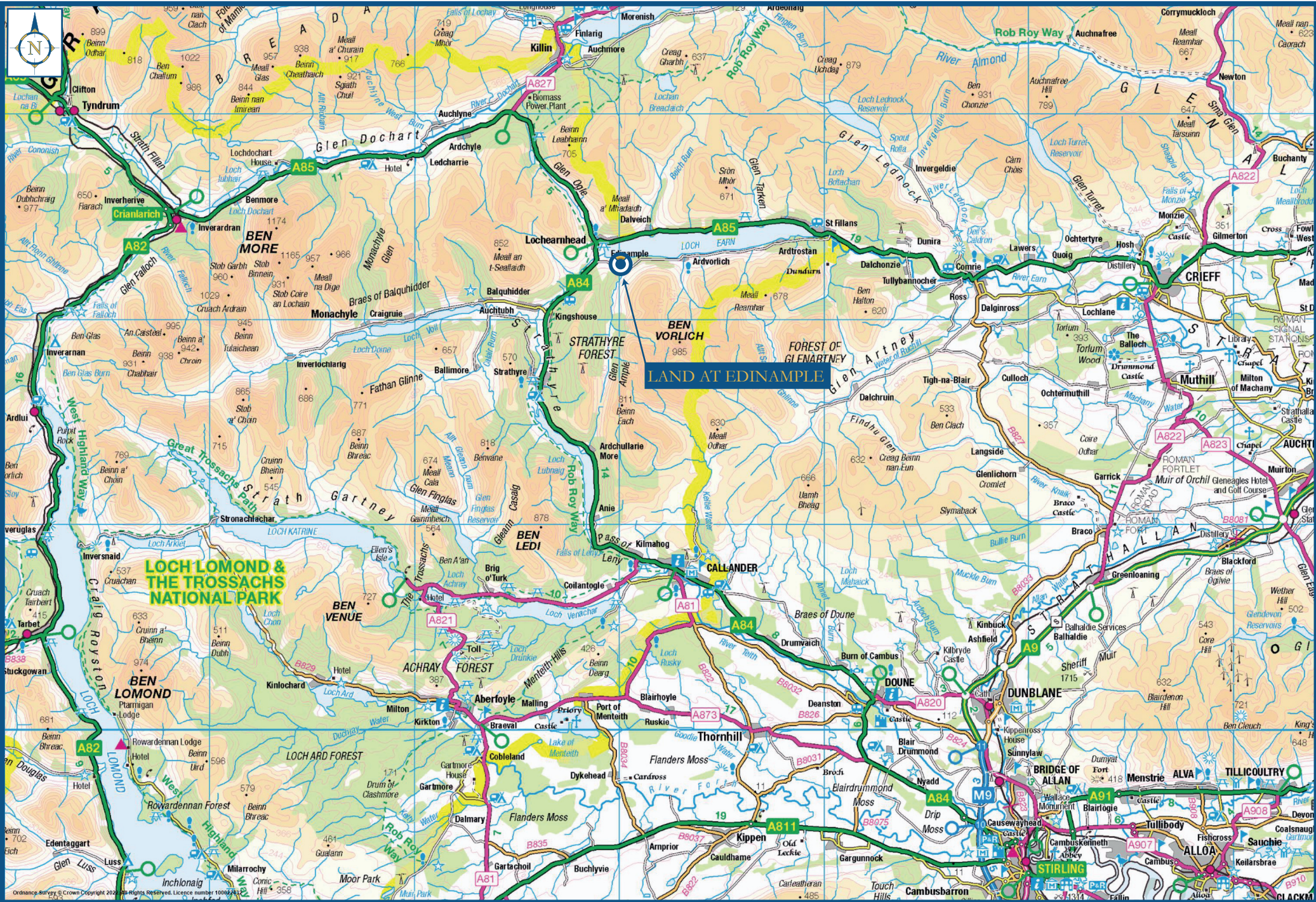


Land at Edinample

Loch Earn | Stirling
21.92 Hectares / 54.16 Acres





LAND AT EDINAMPLE

Land at Edinample

Loch Earn, Stirling

21.92 Hectares / 54.16 Acres

A rare opportunity to purchase a beautiful, ancient deciduous woodland, three grass fields and bank fishing on the Burn of Ample situated on the shores of Loch Earn in the Loch Lomond and Trossachs National Park. Sporting and riparian fishing rights included.

- Loch Earn frontage
- Riparian trout fishing rights
- Tourism potential
- Private beach in area of natural beauty
- Afforestation potential
- Grass paddock with potential planning opportunity

Freehold For Sale in Five Lots or as a Whole

Lot 1 – Edinample Wood – 2.86 Hectares / 7.07 Acres – Offers Over £75,000

Lot 2 – Bank Fishing – 0.52 Hectares / 1.28 Acres – Offers Over £30,000

Lot 3 – Grass Field – 4.01 Hectares / 9.91 Acres – Offers Over £30,000

Lot 4 – Grass Field – 3.18 Hectares / 7.86 Acres – Offers Over £30,000

Lot 5 – Grass Field – 11.35 Hectares / 28.05 Acres – Offers Over £120,000

SOLE SELLING AGENTS
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Jon Lambert MRICS & Emily Watson

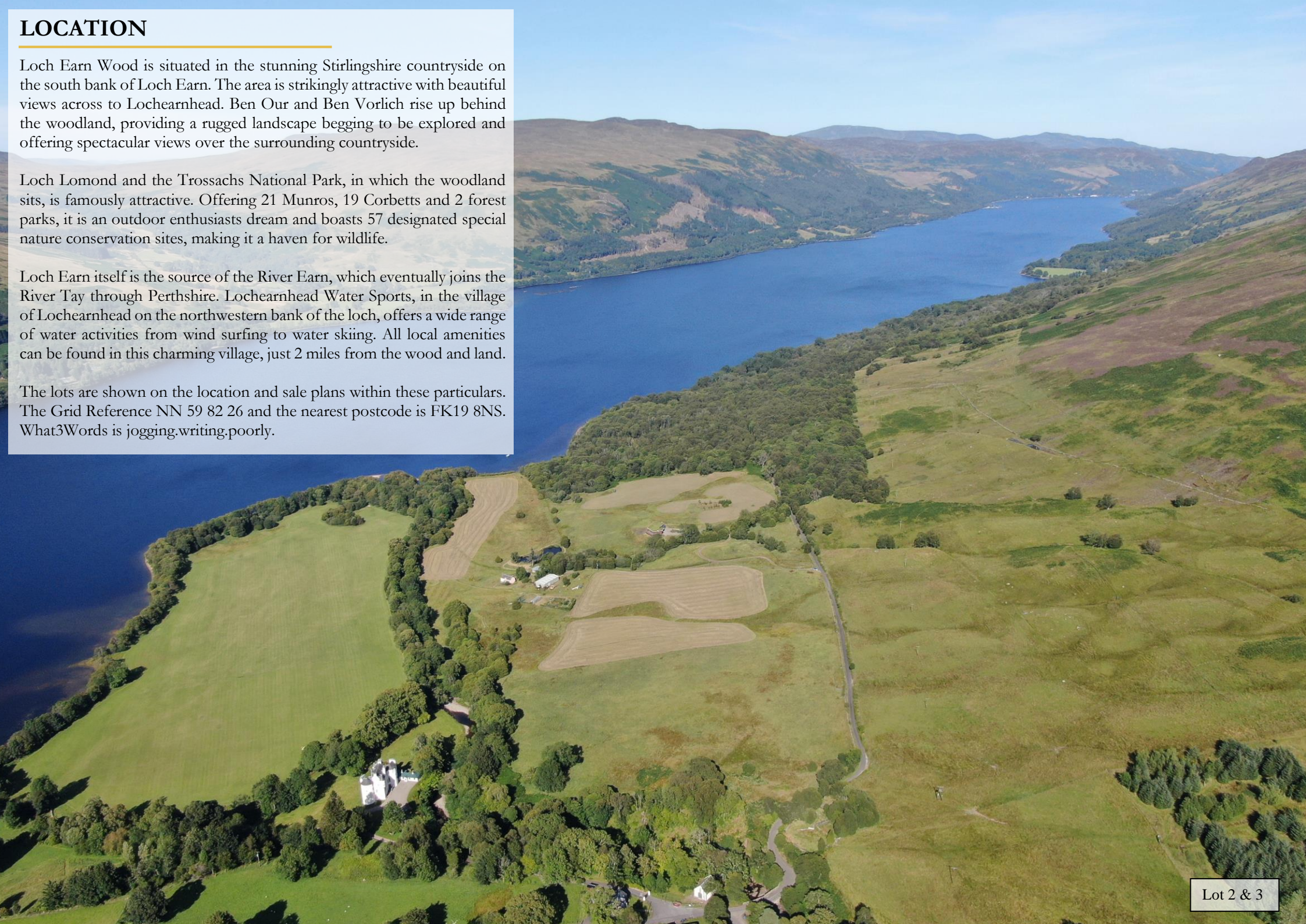
LOCATION

Loch Earn Wood is situated in the stunning Stirlingshire countryside on the south bank of Loch Earn. The area is strikingly attractive with beautiful views across to Lochearnhead. Ben Our and Ben Vorlich rise up behind the woodland, providing a rugged landscape begging to be explored and offering spectacular views over the surrounding countryside.

Loch Lomond and the Trossachs National Park, in which the woodland sits, is famously attractive. Offering 21 Munros, 19 Corbetts and 2 forest parks, it is an outdoor enthusiasts dream and boasts 57 designated special nature conservation sites, making it a haven for wildlife.

Loch Earn itself is the source of the River Earn, which eventually joins the River Tay through Perthshire. Lochearnhead Water Sports, in the village of Lochearnhead on the northwestern bank of the loch, offers a wide range of water activities from wind surfing to water skiing. All local amenities can be found in this charming village, just 2 miles from the wood and land.

The lots are shown on the location and sale plans within these particulars. The Grid Reference NN 59 82 26 and the nearest postcode is FK19 8NS. What3Words is jogging.writing.poorly.



ACCESS

From Stirling head north on the A84 for approximately 29 miles. Turn right on to an unmarked road known as South Loch Earn Road towards Edinample Castle. After 0.2 miles the property is dissected on both sides of the road as shown on the sale plan, maintenance is on a user basis. Lot 1 has direct access to the loch and Lots 3, 4 and 5 will have a servitude right of access to the loch down the western boundary of Lot 1. A servitude right of access over the western boundary of Lot 3 to the burn is granted in favour of Lot 2.



DESCRIPTION

Lot 1 – Edinample Wood – 2.86 Hectares/ 7.07 Acres – Offers Over £75,000

Edinample Wood is an attractive, maturing broadleaved woodland with an abundance of wildlife and walking tracks. The woodland has been virtually untouched for many years and is bounded to the north by Loch Earn. Free draining fertile soils have allowed a charming woodland to develop and support a wide range of native flora and fauna. There is a SSSI located in the woodland called Edinample meadow, for more information please visit NatureScot's website: <https://sitelink.nature.scot/site/597>

On the shore of Loch Earn the owners have the right to launch a boat from the shingle beach and can enjoy fishing for trout. The Loch is famed for holding some of the largest brown Trout in Scotland. The freshwater loch is approximately 7 miles / 10.5 km long and is regularly stocked with brown trout.

There are four known crannog sites on Loch Earn. One of them is adjacent to Lot 1 which has evolved into an island and local legend is that it is infested with rats. That is a myth and the rumour spread no doubt to keep mischievous people off the island.

This is a superb site for picnicking or camping on the private beach in an area of natural beauty with its wonderful views across the Loch. The woodland would be perfect for those with a passion for wildlife, woodland conservation, fishing and boating.

Lot 2 – Bank Fishing – 0.52 Hectares/ 1.28 Acres – Offers Over £30,000

Bank fishing on the Burn of Ample stretches to 0.08 miles / 0.14 km and is boarded with mixed broadleaves. Loch Earn is known for producing some of the largest brown trout in all of Scotland, with some of them averaging 10 lbs and the Scottish record of 34 lbs was caught in 2016. The loch is regularly stocked with brown trout and they spawn up the burns surrounding the loch. We are told that it is not out of the question to reel in thirty or so fish in a single expedition, the majority of which will be brown trout, but you might also catch a rainbow trout or two. For more fishing reports please see Drummond Estate website - <https://www.drummondtroutfarm.co.uk/>

Burn of Ample offers an owner so much potential to expand woodland cover and restore important habitat in this stunningly beautiful dell. The property, whilst benefitting from being close to local amenities is yet far enough away to escape for a weekend, immerse yourself in nature and catch a few fish.

Lot 3 – Grass Field – 4.01 Hectares/ 9.91 Acres – Offers Over £30,000

The site is accessed from the minor public road to the south through a gate. Lot 3 is a high-quality arable agriculture field that's boundary follows close to Lot 2 at the Burn of Ample. According to the Soils Map of Scotland the soil consist of brown earths and the land is classified of 3.2 for agriculture. The southern section is capable of producing good quality pasture and silage, whereas the northern end is most suited to improved grassland. The fields are gently undulating and currently used for grazing. The elevation from Loch Earn gives stunning scenic views in an area of exceptional natural beauty. The land looks towards the northern hills of Achraw Hill, Sron nan Searrach and Sron Mhor. Subject to the necessary consents and service provisions, the land could have tourism potential through the installation of huts or pods. A servitude right of access down the western boundary of Lot 1 to the loch is granted in favour of Lot 3.

Lot 4 – Grass Field – 3.18 Hectares/ 7.86 Acres – Offers Over £30,000

Lot 4 overlooks Loch Earn from an elevation of 200m above sea level. The site has historically been used for grazing cattle and sheep. The land is versatile and could be utilised for a range of uses. The views from the land are truly stunning and ever changing according to the weather, light and seasons. There are ruins in the centre of the site and close to the road which might have potential for development. A servitude right of access down the western boundary of Lot 1 to the loch is granted in favour of Lot 4.

Lot 5 – Grass Field – 11.35 Hectares/ 28.05 Acres – Offers Over £120,000

Lot 5 is the largest lot offering wonderful views down and across Loch Earn. The land is classed as F4/5 for forestry potential and is eligible for a native woodland habitat, meaning that there is scope for a forestry scheme, subject to approval. Lot 5 is the ideal location for a cabin where you can relax and spend time with friends and family. The lot is located on a gently sloping hillside surrounded by pristine nature, giving you plenty of room for outdoor pursuits like hiking, biking, or fishing. A servitude right of access down the western boundary of Lot 1 to the loch is granted in favour of Lot 5.

Planning Permission - Cabins/Hutting

Each lot has open areas which may be suitable for development of a residential/leisure/cabin/hut subject to planning permission from Stirling Council. For more information on hutting please follow the link - <https://www.thousandhuts.org/>

The owner has not pursued development at the site. Purchasers should satisfy themselves with regard to availability/capacities of services.

SPORTING RIGHTS

Sporting rights are included with the sale, which includes the riparian rights to fish on Loch Earn and the Burn of Ample. Red and Roe deer are found within the woodland, as well as other game species.

CLAWBACK CLAUSE

A clawback agreement is to be granted by the purchaser in favour of the seller, allowing for a clawback of 20% of any uplift in value resulting from future development, for a period of 10 years over all the lots.



All Lots



Lot 4 & 5



Lot 1, 4 & 5



Lot 1 loch frontage and opposite is the crannog



Lot 1 Shore frontage

BOUNDARIES

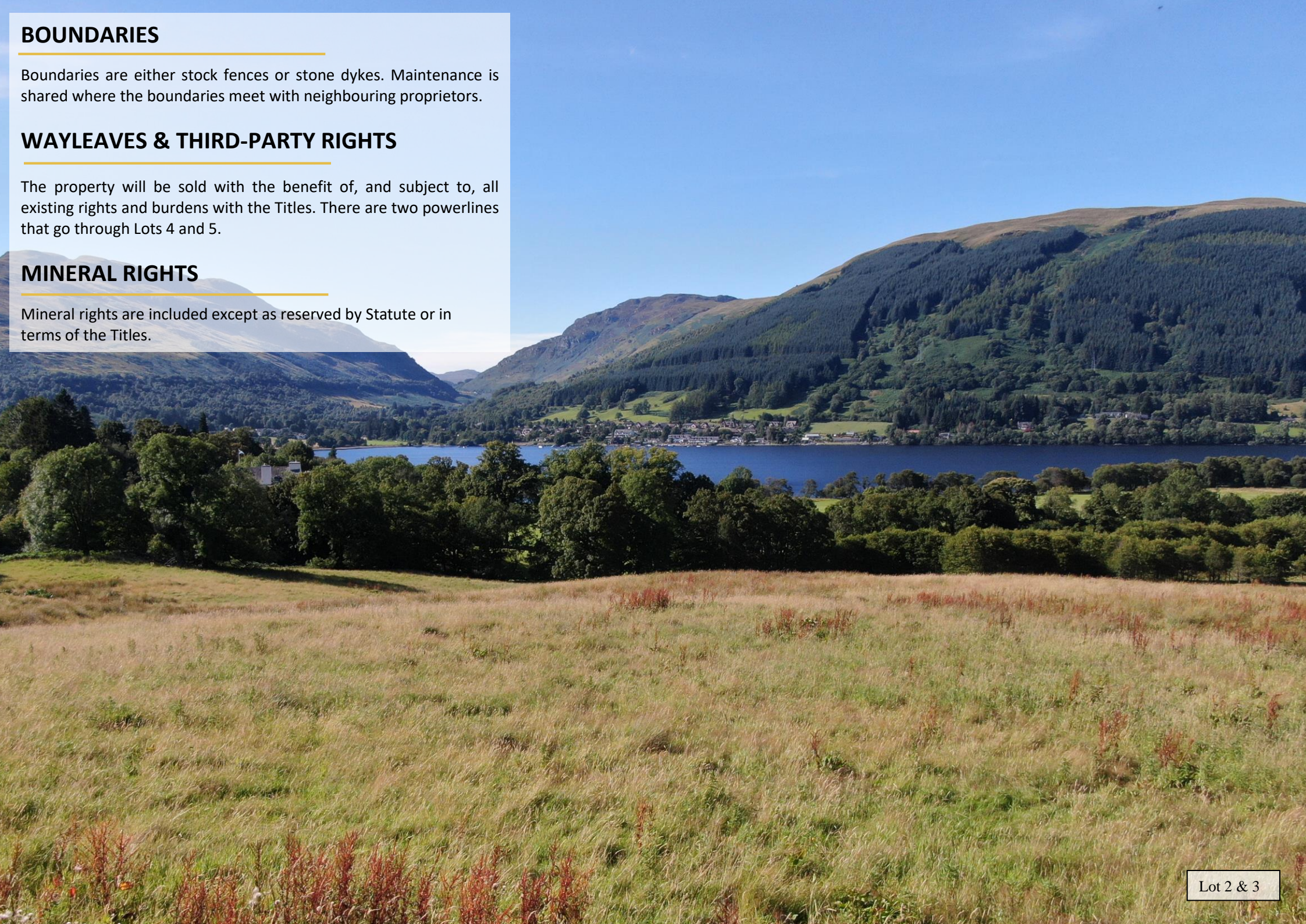
Boundaries are either stock fences or stone dykes. Maintenance is shared where the boundaries meet with neighbouring proprietors.

WAYLEAVES & THIRD-PARTY RIGHTS

The property will be sold with the benefit of, and subject to, all existing rights and burdens with the Titles. There are two powerlines that go through Lots 4 and 5.

MINERAL RIGHTS

Mineral rights are included except as reserved by Statute or in terms of the Titles.



FOREST GRANTS & BPS ETITLEMENTS

For further information on current grants available, please visit the following websites:

<https://forestry.gov.scot>

<https://www.ruralpayments.org/publicsite/futures>

VIEWING

Viewing is unaccompanied and there is no need to book. It is possible to view the property at any time during daylight hours so long as potential purchasers are in possession of a set of these sale particulars. For your own personal safety please be aware of potential hazards within the forest when viewing.

OFFERS

If you wish to make an offer or would like to be informed of a closing date for offers, it is important that you contact the Selling Agents to note your interest and to obtain the specific Anti-Money Laundering details that we require from a purchaser prior to accepting an offer.

Please also be aware that all offers must be submitted in Scottish legal form before they can be formally accepted.

SOLE SELLING AGENTS

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Tel: 01786 404040

FINANCIAL GUARANTEE/ANTI MONEY LAUNDERING

All offers, whether cash or subject to loan finance, must be accompanied by a financial reference from a bank/funding source that is acceptable to the Selling Agents and to comply with The Money Laundering, Terrorist Financing and Transfer of Funds (Information on the payer) Regulations 2017.

For further information, please contact the Selling Agents.

LAND AT EDINAMPLE, LOCHEARNHEAD, STIRLINGSHIRE





Sole Selling Agents

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Key

-  Farm / woodland road
-  Area 1 - 2.86 hectares
- Area 2 - 0.52 hectares
- Area 3 - 4.01 hectares
- Area 4 - 3.18 hectares
- Area 5 - 11.35 hectares

Approximate Distances

Lochearnhead	2 miles
Stirling	30 miles
Perth	40 miles
Edinburgh	67 miles

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