PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE FOR PERFECTION BUILDING GROUP

TYPICAL SEDIMENT FENCE SECTION

60 DP 12555

<u>.</u>

DP 22520



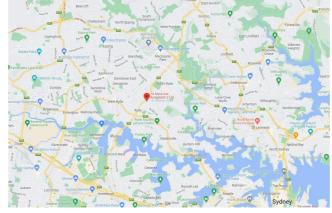
SEDIMENT FENCE

45 745

RIDGE RL 54.83

RIDGE RL 54.21

NO.14 ONE STOREY BRICK RESIDENCE



Approved Plans

LDA No. LDA2023/0152 Date: 29 November 2023

Council Officer: Jason Chanphakeo

CONC.

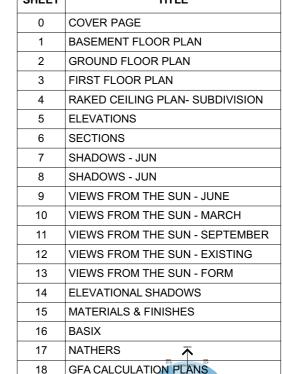
DRIVEWAY

AVENUE

MYRA

Subject to Conditions of Consent

LOCATION MAP







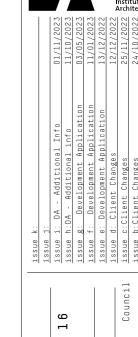












project:	ot: PROPOSE MYRA AV	N N	A L R Y	O C C U P A N C Y D E	ANCY @	1 6
client:	PERFI	ECTION	BUILDIN	DING	GROUP	
drawn:	Α. Μ.	scale: as	shown	sheet	size: A3	Counc
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ROOF/SITE ANALYSIS PLAN

DP 22520

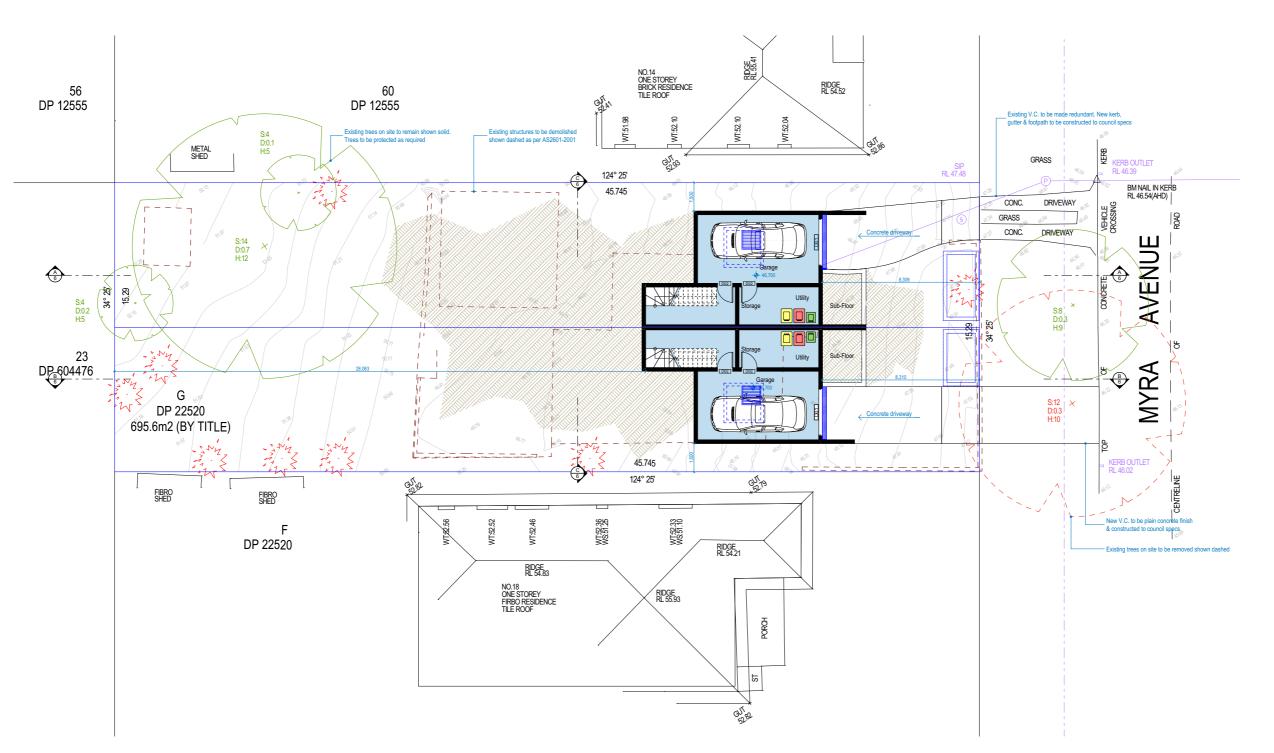
695,6m2 (BY TITLE)

TRASH SCREEN DETAIL

DP 12555

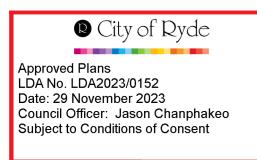
23

DP 604476



BASEMENT FLOOR PLAN

1:200



COM	PLIANCE TABLE	
CONTROL	REQUIRED	PROPOSED
Site Area (m²)	580	695.6
Floor Space Ratio (max 50%)	347.8	347.34
Street Frontage	min 15m	15.29m
Front Setback	min 6m	6
Rear Setback (25%)	11436mm	11543mm
Secondary Setback	min 2m	NA
Side Setback	1.5m	1.5m
Building Height	max 9.5	9.05
Courtyard Fence	1.8m	1.8
Solar Access	3 hours	3 hrs
Deep Soil (min 35%)	243.46	256.42
Hard surface front setback	max 40% (36.69m2)	36.3
Ceiling height	min 2.4m	min.2.7
Deep Soil Allocation	8m x 8m zone	8m x 8m at rear
Parking	min two covered	2

	SITE [DATA			
SITE AREA		695.6			
UNIT 01		UNIT 02			
Ground Floor Area	89.01	Ground Floor Area	89.01		
First Floor Area	84.49	First Floor Area	84.83		
173.5 173.84					
TOTAL		347.34			
FSR		1= 0.50			





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		01/11/2023	11/10/2023	03/05/2023	11/01/2023	13/12/2022	12/12/2022	25/11/2022	24/10/2022	13/10/2022
×	. j.	issue i: DA - Additional Info	issue h:DA - Additional info	issue g: Development Application	issue f: Development Application	issue e: Development Application	issue d: Client Changes	issue c:Client Changes	issue b:Client Changes	issue a:Client Sketch
issue k:	issue j:	issue	issue	issue	issue	issue	issue	issue	issue	issue
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Ф PROPOSED DUAL OCCUPANCY MYRA AVENUE RYDE BASEMENT drawing: project:

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size: A3 2022-186

PERFECTION BUILDING GROUP



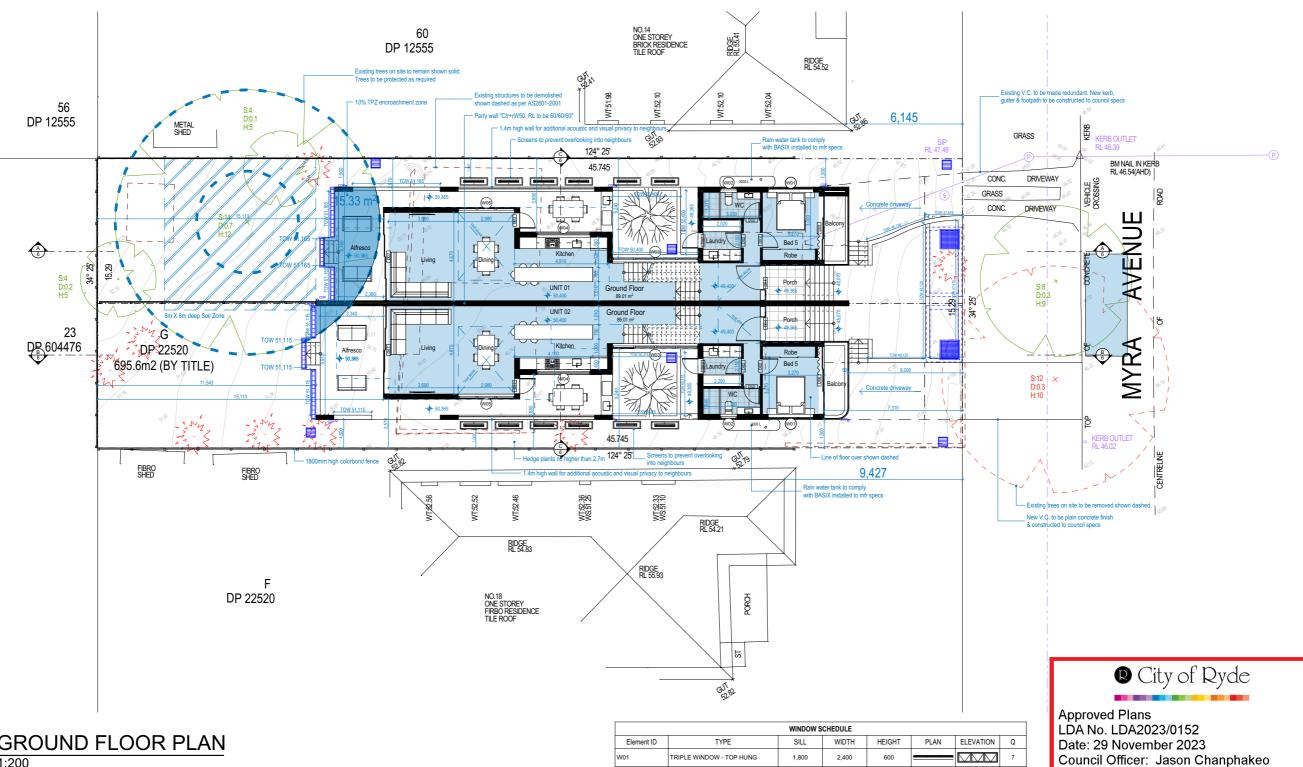
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ominated architect - joe el-sabbagh 8707

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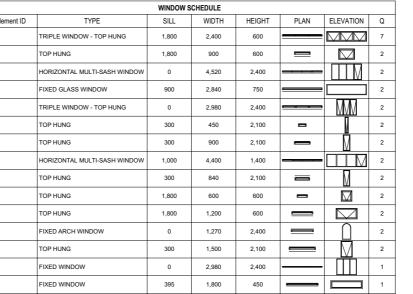


GROUND FLOOR PLAN

1:200

DOOR SCHEDULE							
Element ID	TYPE	HEIGHT	WIDTH	PLAN	ELEVATION	Q	
D01	GARAGE DOOR	2,300	2,500		1	2	
D02	SWING DOOR	2,340	820		N	20	
D03	SWING DOOR	2,340	720			2	
D04	SWING DOOR	2,750	1,270			2	
D05	SLIDING DOOR	3,330	3,370		-1-1	1	
D06	SLIDING DOOR	3,330	3,570		[1	
D07	SLIDING DOOR	2,700	4,640			2	
D08	POCKET SLIDER	2,340	935		E	2	
D09	POCKET SLIDER	2,340	820		Ē	2	
D10	SLIDING DOOR	2,400	3,410			2	

		WINDOW S	CHEDULE				
Element ID	TYPE	SILL	WIDTH	HEIGHT	PLAN	ELEVATION	Q
W01	TRIPLE WINDOW - TOP HUNG	1,800	2,400	600			7
W02	TOP HUNG	1,800	900	600	=		2
W03	HORIZONTAL MULTI-SASH WINDOW	0	4,520	2,400			2
W04	FIXED GLASS WINDOW	900	2,840	750			2
W05	TRIPLE WINDOW - TOP HUNG	0	2,980	2,400		MM	2
W06	TOP HUNG	300	450	2,100	-		2
W07	TOP HUNG	300	900	2,100	_	\square	2
W08	HORIZONTAL MULTI-SASH WINDOW	1,000	4,400	1,400			2
W09	TOP HUNG	300	840	2,100	_		2
W10	TOP HUNG	1,800	600	600	-	M	2
W11	TOP HUNG	1,800	1,200	600	_		2
W12	FIXED ARCH WINDOW	0	1,270	2,400			2
W13	TOP HUNG	300	1,500	2,100		M	2
W14	FIXED WINDOW	0	2,980	2,400			1
W15	FIXED WINDOW	395	1,800	450			1
W16	TRIPLE WINDOW - FIXED GLASS	0	2,980	2,400			2





	issue k:	K:	
	issue j:	j:	
	issue	issue i: DA - Additional Info	01/11/2023
	issue	issue h:DA - Additional info	11/10/2023
	issue	issue g: Development Application	03/05/2023
	issue	issue f: Development Application	11/01/2023
	issue	issue e: Development Application	13/12/2022
1	issue	issue d: Client Changes	12/12/2022
	issue	issue c:Client Changes	25/11/2022
	issue	issue b:Client Changes	24/10/2022
	issue	issue a:Client Sketch	13/10/2022

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drawing:	project:	_	client:

as show JAN23

scale: date:

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DESIGN

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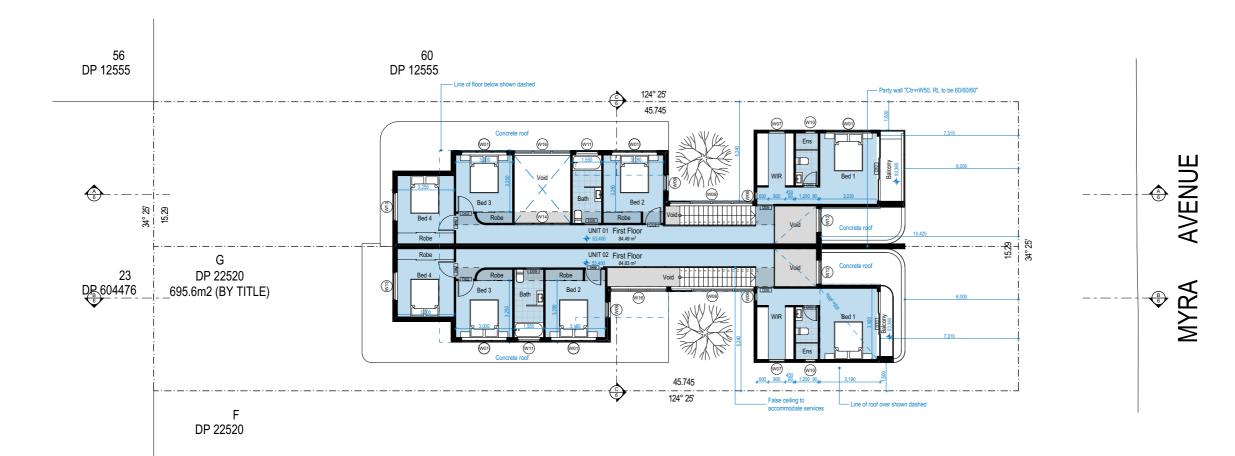
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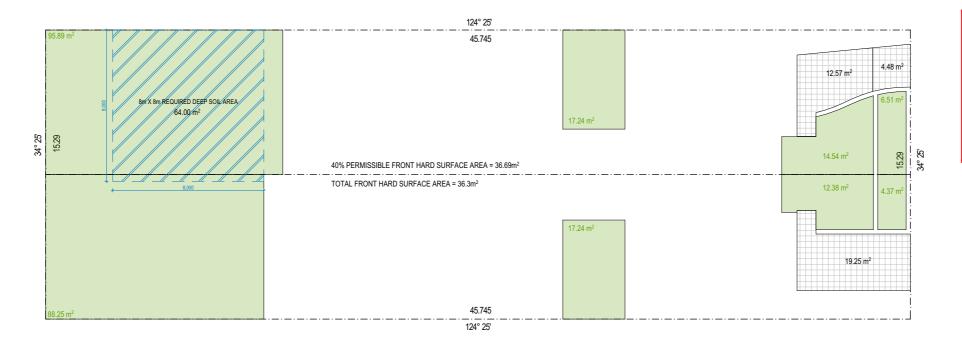
0008562280 13 Apr 2023

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FIRST FLOOR PLAN

1:200



LANDSCAPE CALC PLAN 1:200

0008562280 13 Apr 2023 hstar.com.au



Approved Plans LDA No. LDA2023/0152 Date: 29 November 2023

Council Officer: Jason Chanphakeo Subject to Conditions of Consent



16

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PERFECTION BUILDING GROUP drawing: project: Ι3

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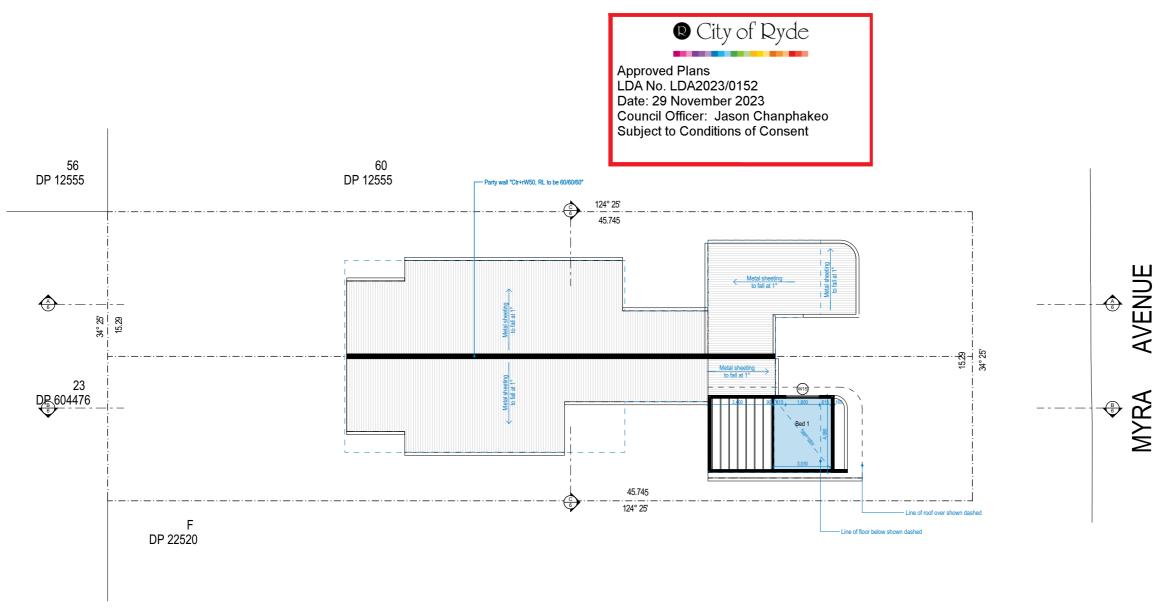
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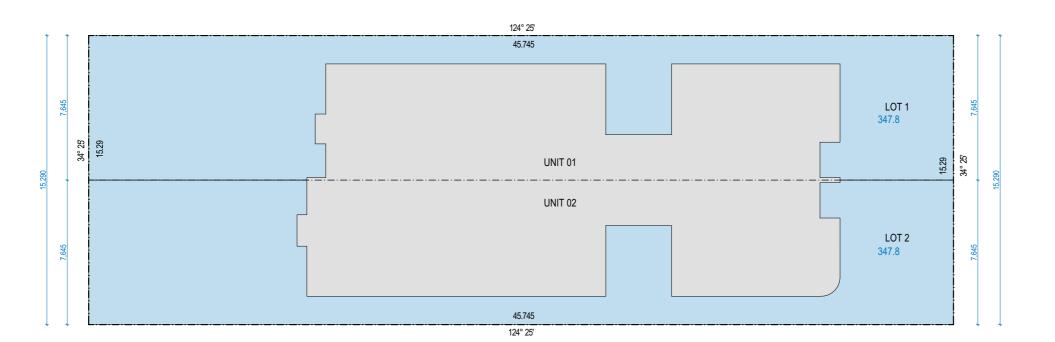
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RAKED CEILING PLAN 1:200



SUBDIVISION PLAN 1:200

PROPO	SED LOT DESCRIPTION
LOT	1 (UNIT 1) - 347.8m ²
LOT	2 (UNIT 2) - 347.8m ³
PROPOS	SED SUBDIVISION TITLE
	Torrens
CURRE	NT LOT DESCRIPTION
LOT: G	DP: 22520
AREA	x = 695.6m ² (BY TITLE)
	NOTE
ALL DIMENSI	ONS TO BE VERIFIED ON SITE BY SURVEYOR

SUBDIVISION DATA





2 C	Tasue K.		
2	issue j:		
	issue i: D	issue i: DA - Additional Info	01/11/2023
	issue h:DA	issue h:DA - Additional info	11/10/2023
	issue g:	issue g: Development Application	03/05/2023
	issue f:	issue f: Development Application	11/01/2023
	issue e: D	issue e: Development Application	13/12/2022
	issue d: C	issue d: Client Changes	12/12/2022
uncil	issue c:Cl	issue c:Client Changes	25/11/2022
	issue b:Cl	issue b:Client Changes	24/10/2022
~	issue a:C1	issue a:Client Sketch	13/10/2022

PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE Cou PERFECTION BUILDING GROUP drawing: project:

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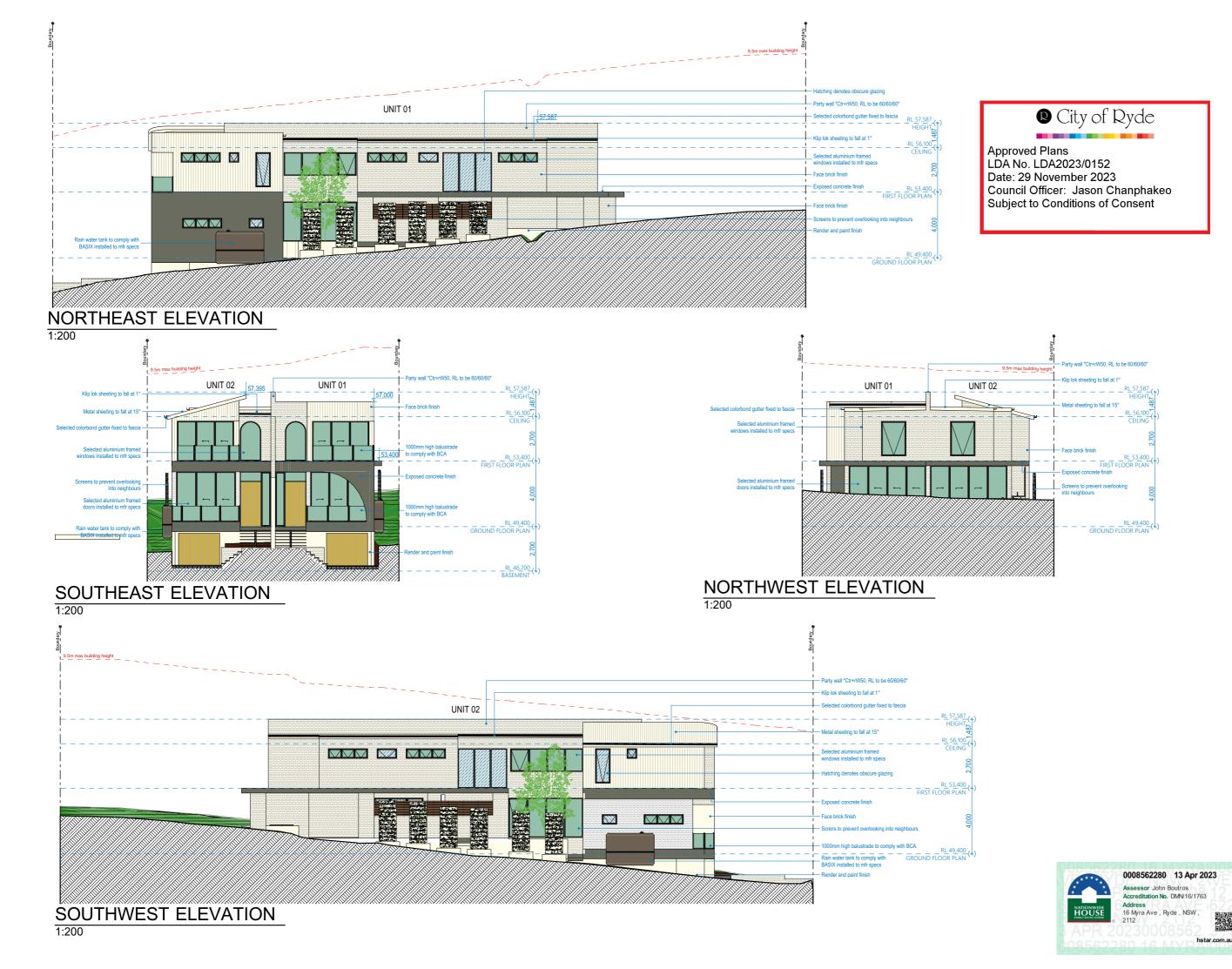
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issue j:	j:	
issue	issue i: DA - Additional Info	01/11/2023
issue	issue h:DA - Additional info	11/10/2023
issue	issue g: Development Application	03/05/2023
issue	issue f: Development Application	11/01/2023
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issue	issue d: Client Changes	12/12/2023
issue	issue c:Client Changes	25/11/2023
issue	issue b:Client Changes	24/10/2023
issue	issue a:Client Sketch	13/10/2023

drawing:ELEVATIONS

project:PROPOSED DUAL OCCUPANCY @
MYRA AVENUE RYDE

client: PERFECTION BUILDING GROUP

16

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DESIGN CORP ARCHITECTS

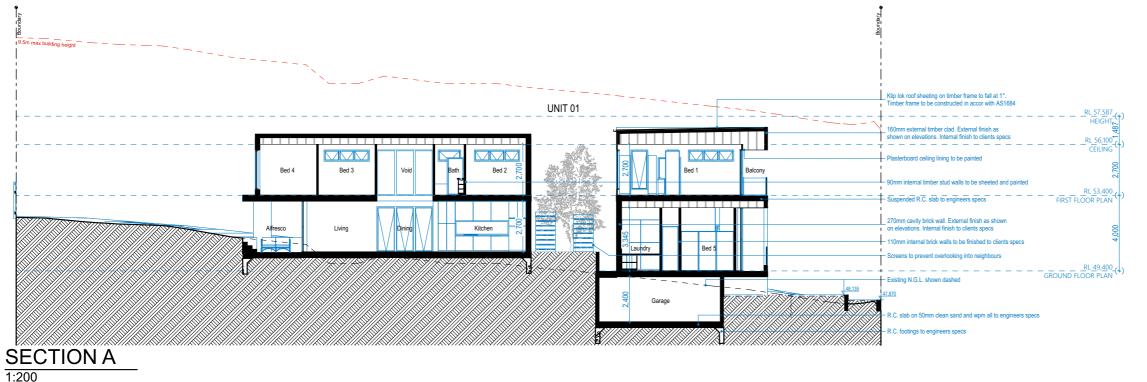
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City of Ryde

Approved Plans LDA No. LDA2023/0152 Date: 29 November 2023 Council Officer: Jason Chanphakeo Subject to Conditions of Consent

PROPOSED DUAL OCCUPANCY MYRA AVENUE RYDE PERFECTION drawing: project:

16

BUILDING GROUP

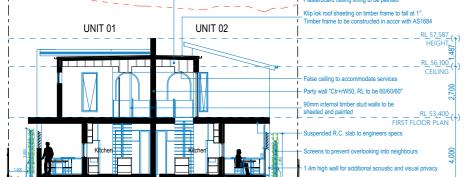
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SECTION C

SECTION B

1:200

SOUTHEAST RETAINING WALLS DETAILS

MATERIALS & FINISHES SCHEDULE @ 16 MYRA AVENUE RYDE





Approved Plans LDA No. LDA2023/0152 Date: 29 November 2023

Council Officer: Jason Chanphakeo Subject to Conditions of Consent



DRIVEWAY CHARCOAL CONCRETE



FRONT DOORS - GARAGE



BALUSTRADE

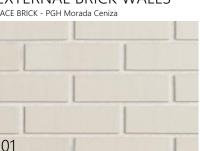




DOORS & WINDOWS



EXTERNAL BRICK WALLS



EXTERNAL FINISH

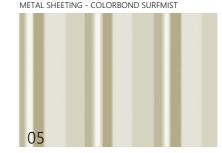


EXTERNAL FINISH

RENDER - DULUX WHITE SWAM

FASCIA & SOFFIT RENDER - DULUX WHITE SWAM

ROOF MATERIAL



0008562280 13 Apr 2023

hstar.com.au



I15



drawing: project:

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BASIX*Certificate

Multi Dwelling



Project name	16 Myra Ave, Ryde	
Street address	16 Myra Avenue Ryd	2112
Local Government Area	Ryde City Council	
Plan type and plan number	deposited 22520	
Lot no.	G	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	0	
No. of single dwelling houses	2	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Certificate Prepared by
Name / Company Name: Greenworld Architectural Drafting
ABN (if applicable): 70203970543

Project address		Common area landscape		
Project name	16 Myra Ave, Ryde	Common area lawn (m²)	0.0	
Street address	16 Myra Avenue Ryde 2112	Common area garden (m²)	0.0	
Local Government Area	Ryde City Council	Area of indigenous or low water use	0.0	
Plan type and plan number	deposited 22520	species (m²)		_
Lat no.	G	Assessor details		
Section no.	-	Assessor number	DMN/16/1763	
Project type		Certificate number	0008582280	
No. of residential flat buildings	0	Climate zone	56	
No. of units in residential flat buildings	0	Ceiling fan in at least one bedroom	No	
No. of multi-dwelling houses	0	Ceiling fan in at least one living room or other conditioned sees	No	
No. of single dwelling houses	2	Project score		
Site details		Wieter		
Site area (mf)	938.7	Water	✓ 40	Target 4
Roof area (m²)	352	Thermal Comfort	✓ Pass	Tarout P
Non-residential floor area (m²)	0.0	T -	*	
Residential car spaces	2	Energy	✓ 50	Target 5
Non-residential car spaces	0			

Develling no. Single dwell Conditioned from The condition of from	Uniconfisheed Confisher Confis	To common and the com	leves ten'i Indigeneus species (min area en'i			
MSX Planning, I	industry & Environment	was basic nos gov au	Version: 2.0 / DARWING A 3, 20, 0	Certificate No.: 1378654M	Thursday, 13 April 2023	page 3/12

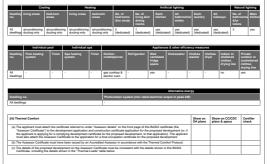
No	common areas spec	ified.				
BASIX	Planning, Industry & Environment	www.basis.now.gov.au	Version: 3.0 / DARWINA_3_20_0	Certificate No.: 1379014M	Thursday, 13 April 2023	page 4



proposed development, that BASIX commitments be complied with.
elling houses
Show on Show on CCICDC Ce
commitments listed below in carrying out the development of a develop listed in a table below.
or Instruction trial sources of usualitation throughout the area of land sourcified for the deadling
of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation garden and lawn" for the dwelling specified in the "Description of Project" table).
ow for a foture or appliance to be installed in the dwelling, the applicant must ensure that the rating specified for it.
and hot water recirculation system which regulates all hot water use throughout the dwelling, "HW recirculation or diversion" column of the table below.
to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in ension" column of the table below; and
r tanks) connected to the hot water diversion systems of at least 100 litres. The applicant diversion tank to all toilets in the dwelling.
te swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the
specified in the table.
elling, each alternative water supply system, with the specified size, fisted for that dwelling in seconfigured to collect run-off from the areas specified (excluding any area which supplies

			Fixtur	44		Appli	lances		Indi	vidual pod			le	dividua	spa
Owelling 10.	All showe heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish- washers	Volum (max volum	e Pool cover	Pool location	Pos	ol aded	Volume (max volume)	Spa cover	Spa shaded
M dwellings	4 star (4.5 but <= 6 Limin)		4 star	4 star	no		-	-	1	-	-		-	-	-
	_						Alternative w	ater sour	rce						
Dwelling r		iternative wate upply systems		Size	Configurati	en .			Landscape connection	Toilet conne (s)		Laundry connection	Pool top-u	P	Spa top-
All dwelling	ps in	dividual water to	ank (no.	Tank size (min) 1500.0 litres	80.0 square 0.0 square r 0.0 square r and	n-off from at is matries of roof natries of impe- natries of gards natries of plant	l'area; rvious area; en and lawn ar	Neak;	yes	no		yes	no		no
None	-				-				-	-		-	-		-
(ii) Energy		most comply as	ith the cos	andresses for	ad bathan in soon	ing and the de	- where and of	destina	Setted in a to	No bolov	Show DA pl		how on CC lans & spe		Certifie check
(a) The applicant must comply with the commitments issued below in carrying out the development of a develop								~							
(c) The a	pplicant ble belo	must install, in e w. Each such w	each bath entilation s	room, kitchen : system must h	and laundry of ti ave the operatio	e dwelling, the n control spec	e ventilation sy ified for it in the	rstem spe e table.	clied for that	room in			v		v
no co any a	headin oling or l uch area	gs of the "Cooli heating system	ing" and "h is specifie toned" is s	teating" colum d in the table to excited beside	tem's specified ns in the table b for "Living areas a an air conditio	elow, in/for at or 'Bedroom	least 1 living b areas", then n	edroom a	erea of the de a may be ins	relling. If relled in			~		~

) Energy					Show on DA plans	Show on CCI plans & spec		
(a) This commitment applies to each morn or awar of the deselling which is netlemed to in a heading to the "Anticial lighting" column of the table babble but only to the extens precided for that one or away. The applicant must ensure that the primary type of all the lighting or leight entiring disks (E.E.O) (pitting, if the sum "discloses" is a final primary type of the sum "discloses" in the contraction of the deserving is the reserved in the contraction of the co						~	•	•
f) This commitment applies to ex the table below (but only to the fitted with a window and/or sk	~	~		,				
(g) This commitment applies if th	e applicant installs a water	heating system for the di	selling's pool or spa. The	applicant must:				_
	scified for the pool in the "In col). If specified, the applic					-		
	scified for the spa in the "In pa). If specified, the applica			vely must not install		-		
h) The applicant must install in t	he dwelling:							
(as) the kitchen cook-top table below;	and oven specified for that	dwelling in the "Appliano	es & other efficiency meas	ures" column of the		-		
	hich a rating is specified for a that the appliance has the		liances & other efficiency	measures" column of		-	•	•
(cc) any clothes drying lin	e specified for the dwelling	in the "Appliances & othe	r efficiency measures" col	umn of the table.		-		
 If specified in the table, the ap ventilated". 	plicant must carry out the d	levelopment so that each	refrigerator space in the d	welling is "well		-		
(j) The applicant must install the "Alternative energy" column or				heading of the	~	-		,
Hot water	Bathroom ven	citation system	Kitchen vent	lation system	L	aundry ventilat	on system	
welling Hot water system o.	Each bathroom	Operation control	Each kitchen	Operation control	Each laun	dry C	peration contr	bi
gas instantaneous 5.5	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	individual for		senual switch on	bff



40 Th							DA plans	plans & specs	check
which the	Cant must show on Thermal Comfort F dited Assessor, to	rotocol requires	parying the development applica to be shown on those plans. Tho the case.	tion for the proposed develop se plans must bear a stamp of	ment, al f endot	ill matters sement from	~		
certificate	cent must show on , if applicable), all t sent which were use	hermal performa	parying the application for a cons nos specifications set out in the A ose specifications.	struction certificate (or comply assessor Certificate, and all a	ing devi pects o	elopment of the proposed		~	
Certificat	(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.							~	•
-			system, the applicant must:				~	~	
(as) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 undermath the slab and around the vertical									
	does of the perime								+
		the floors and v	salls of the development in accord	tance with the specifications I	sted in t	the table	-	-	١,
(h) The appli		the floors and v	salts of the development in accord	iance with the specifications I	sted in t	the table	~	~	,
(h) The appli		the floors and w	ralls of the development in accord	tance with the specifications is			~		
(h) The appli			ted heating load (in m.limilyr)		l loads				
(h) The appli below.					l loads				•
(h) The appli below.	cant must construct	Area adjus			í loads Area a				
(h) The application. Dwelling no.	cant must construct	Area adjus			Area : 23.6 20.9	adjusted coolin			
(h) The application. Dwelling no.	cant must construct	Area adjus 30.3 40.6		Therm	Area : 23.6 20.9	adjusted coolin	g load (in m.i		

Commitments for common areas and central systems/facilities for the development (non-build) Common areas and central systems/facilities	ling specit	fic)	
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		~	~
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	~	~	~
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	~	~	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		~	
(e) The applicant must install each fine sprinkler system listed in the table so that the system is configured as specified in the table.		~	v
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.			-

	Showerheads rating	Toilets rating	Taps rating		a nating	
Al common ireas	no common facility	no common facility	no common facility	no common laun	dry facility	
ii) Energy				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carryin below, then specified.	g out the development, the applica that ventilation system must be of	nt installs a ventilation system to service the type specified for that common area.	a common area specified in the table, and must meet the efficiency measure		~	~
Shi to complete	out the development, the applicant the table below, the lighting specif	d.	~			
specified in		shting control system or Building Manage	ment System (BMS) for the common an	16,		· •

1. In these commitm	ents, "applicant" means the person carrying out the development.
specifications as	it identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and companying the application for a construction certificate. Complying development certificate, for the proposed development, using the same identifying latter or two to that develop, building or common area in this certificate.
residential and r	If the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both co-residential purposes). Commitments in this certificate which are specified to apply to a "common serial" of a building or the development be used for residential purposes.
	its a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that you installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other r	ating is specified in a commitment, this is a minimum rating.
6. All alternative wa	er systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: a not recommend that stormwister, recycled water or private dam water be used for
human coroung	ion in uneas with potable welver exppty.
human consump egend 1. Commitments ide	
egend 1. Commitments ide development ap	tion in seaso with protein water supply. The season with a * ** or in the "Dock or O'A plane" culumn must be shown on the plane accompanying the development application for the proposed development (if a
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Date: 29 November 2023 Council Officer: Jason Chanphakeo Subject to Conditions of Consent

)	City of 1	Ryde

023

issue k:	.: ×:	
issue j:	j:	
issue	issue i: DA - Additional Info	01/11/20
issue	issue h:DA - Additional info	11/10/20
issue	issue g: Development Application $03_{ m c}$	03/05/20
issue	issue f: Development Application 11_{\prime}	11/01/20
issue	issue e: Development Application 13,	13/12/20
issue	issue d: Client Changes	12/12/20
issue	issue c:Client Changes 25,	25/11/20
issue	issue b:Client Changes 24,	24/10/20
issue	issue a:Client Sketch	13/10/20

drawing: BASIX	project:PROPOSED DUAL OCCUPANCY @ 1 MYRA AVENUE RYDE	: PERFECTION BUILDING GROUP	: A.M. scale: as shown sheet size: A3	ed: J.E. date: JAN23 ref: 2022-186
drawing: BA	project: pR MY	client: PE	drawn: A.	checked: J.E

BASIX

9

I16



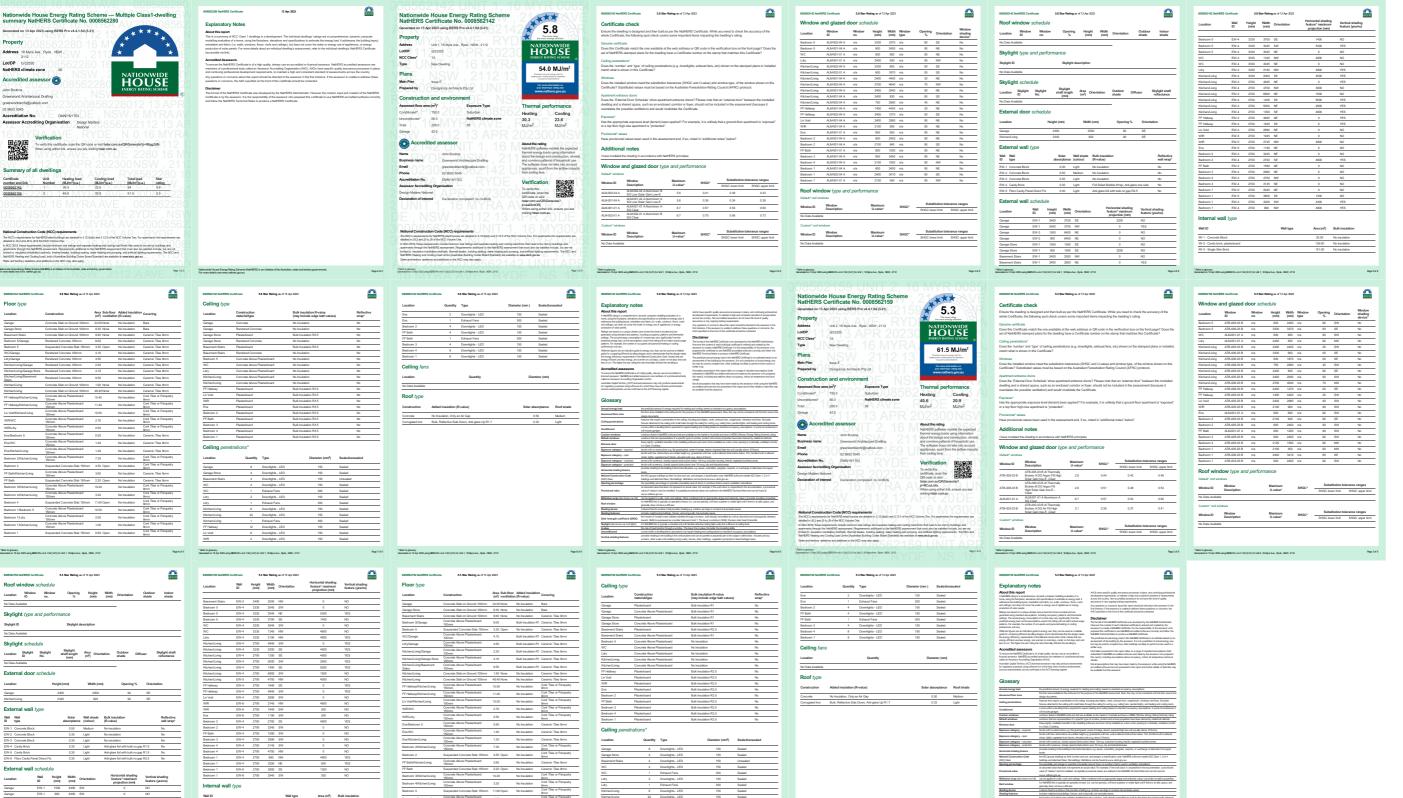
DESIGN CORP ARCHITECTS

16 dunlop street north parramatta nsw 2151 ph: +61 2 9630 9911 mob: 0431 111 777 admin@designcorp.com.au www.designcorp.com.au

nominated architect - joe el-sabbagh 8707 nominated architect - joe el-sabbagh 8/U/
This document is COPYRIGHT and t property of DESIGNCORP ARCHITECT Ltd. It is not to be retained, c without the prior written permis author. All dimensions must be checked o prior to the commencement of any Any discrepancies are to be brou attention of DESIGNCORP ARCHITEC



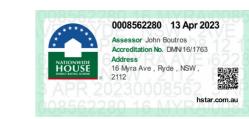






Approved Plans LDA No. LDA2023/0152 Date: 29 November 2023

Council Officer: Jason Chanphakeo Subject to Conditions of Consent







9

O

PROPOSED DUAL OCCUPANCY MYRA AVENUE RYDE

NATHERS

GROUP

BUILDING

PERFECTION

client: Grawn: drawing: project: I17

DESIGN CORP

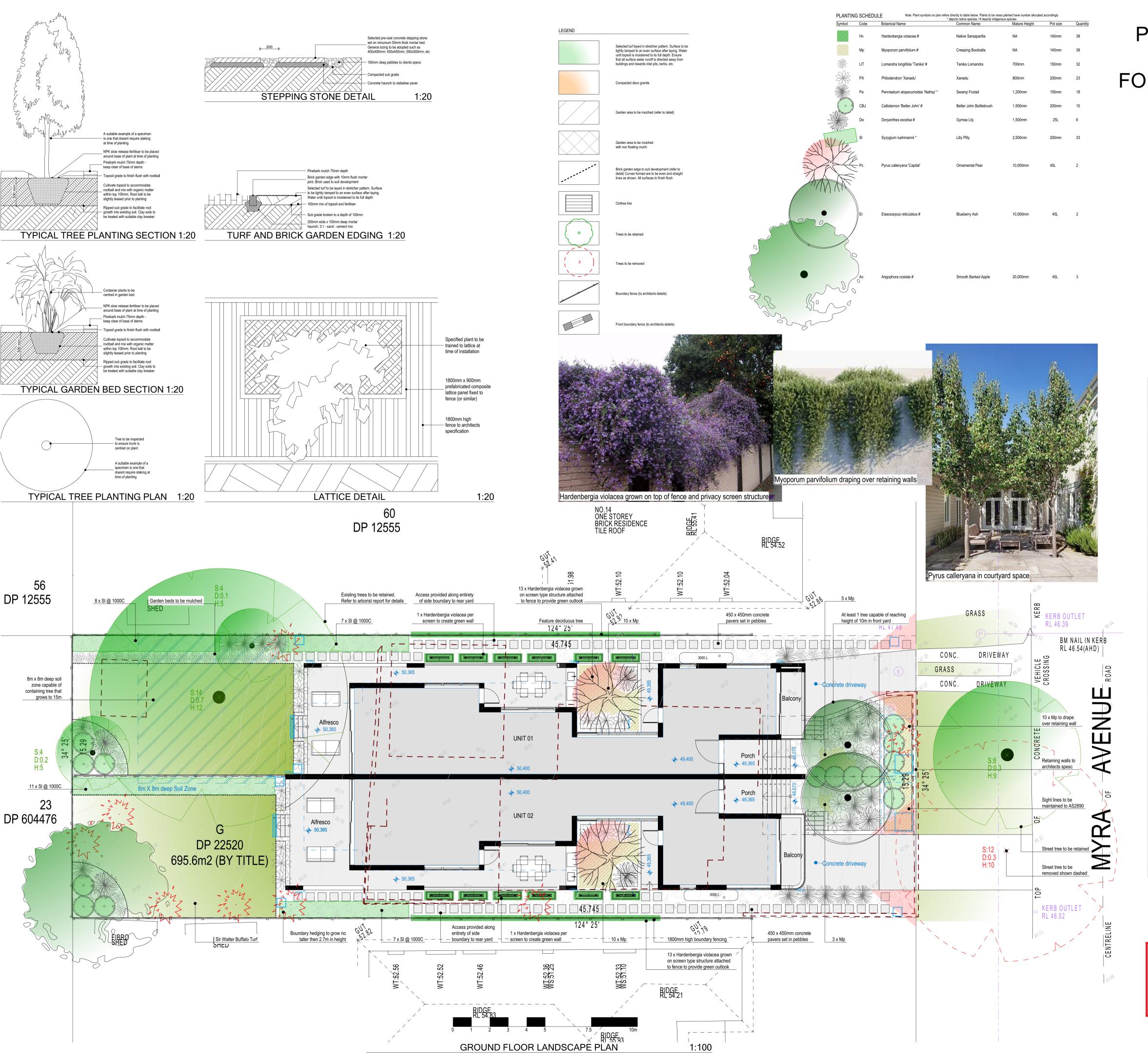
ARCHITECTS

16 dunlop street north parramatta nsw 2151 ph: +61 2 9630 9911 mob: 0431 111 777 admin@designcorp.com.au www.designcorp.com.au

minated architect - joe el-sabbagh 8707

All dimensions must be checked o prior to the commencement of any Any discrepancies are to be brou attention of DESIGNCORP ARCHITEC





PROPOSED LANDSCAPE DESIGN @ 16 MYRA AVENUE, RYDE FOR PERFECTION BUILDING GROUP DEVELOPMENT APPLICATION



LANDSCAPE SPECIFICATION

Any minor levelling, whether cutting or filling shall be undertaken by the landscape contractor so that areas are left ready for final finishes. Adequate watering points shall be provided to enable the landscape contractor to maintain planted areas throughout construction and the maintenance period. Weeds are to be sprayed with 'Roundup' or similar, to manufacturer's directions and must be dead before being disturbed

The following works shall be undertaken by others prior to the commencement of the landscape works

-All approved trees to be removed (refer to DA stamped plans and DA consent) Tree protection fencing installed to all applicable trees

Stripping and stock piling site topsoil

3. DRAINAGE WORKS

In general the mass planted areas are to be built atop existing levels to improve drainage and to deflect water runoff around the site, if the contractor considers that certain areas require drainage then the principal's representative should be immediately notified for an inspection. Drainage works are to be carried out in accordance with the tormwater/hydraulics plans. Care is to be taken that levels do not deviate significantly

Edging to be 100x38 F7 Rougher header H4 treated pine. Tanalith E treatment - chromlum and arsenic free timber treatment that use copper and an organic azole co-blocide as active ingredients. Pegs to be 25 x 25 x 450mm long hardwood. Nails to be galvanised timberlock twist nails - 50mm x 3.75mm. Install edging to finish flush with adjoining grass levels and secure with pegs spaced at maximum 1200mm intervals placed on the garden side of the edging. All exposed edges of timber to be bevelled to prevent

Pebbles: where required are to be 10-20mm Nepean river pebbles. Pebbles must not float during the event of a flood. Following earthworks rake all areas and tamp lightly to give an even graded surface. Care shall be taken not to mix soil and pebble together. Pebbles to be laid to a depth of 100mm

Soil mix to be suitable for improving depleted soils such as Botany Humus Mix from Australian Native landscapes or similar. Samples to be shown to principal's representatives for approval before installation, written breakdown of contents pH and trace elements and suitability for improving existing soils is to be provided. Soil mix to

comply with AS 3743-2003: Potting mixes, AS 4419-2003: Soils for landscaping and garden use; and AS 4454-2003: Compost, soil conditioners and mulches. Water crystals to be Garden King Wettasoil Granular deep watering agent form Amgroe or similar. Trees and plants shall be true to name and variety, substitutes in size or variety shall not be made without the approval of the principal's representative. Reference is to be

All plants shall be true in size in well-developed healthy condition, free from insects, pests and disease, with well-established root systems. Sample of each species to be shown to principal's representative for approval before installation Installation to occur by the following method:

-Preparation of base levels by builder After construction of the buildings, apply additional gypsum at the rate of 200g/m2 (if clay is encounted) -Deep rip area below mass planted areas to a depth of 300mm

-Place 300mm layer of imported soil mix to all garden areas

-Apply 100g/m2 of a complete native plant food to all garden areas

-Work fertiliser in with a rake and leave for one week prior to planting Planting shall not be carried out in dry soil or in extreme weather conditions. The root systems must be moist before planting to ensure longevity. Plants shall be removed from their containers with as little disturbance as possible to the roof ball. Plants should be planted at the same depth as in their respective pot to allow for a shallow saucer of soil to be formed around the plant to aid water penetration

Avoid hilling up of top soil around young plant stems. Firm soil around the root ball and thoroughly soak the areas after plating. On completion, cultivate, rake and leave all garden areas in a neat and tidy condition. Remove old containers and plant labels from the site Fertilise with an approved nine months formulation general slow release fertiliser such s 'Nutricote' or 'Osmocote' that is mixed into the prepared planting space just prior to planting. Fertiliser is to be applied at the rate as specified by the manufacturer for the plant size and type. Maintain all plants and ties and provide adequate watering for the

duration of the contract Trees that are to be staked require two x 50x50mm x 1800mm long hardwood stakes secured either side of the trunk at 1000mm centres

Mulch to comprise a maximum 25mm fresh hardwood chips such as Eucalyptus Mulch from Australian Native Landscapes or similar. Samples to be shown to the principals representative before installation. Mulch to comply with AS 4454-2003; Composts, Soils Conditioners and Mulches.

Following planting, rake all garden areas and tamp lightly to give an even graded surface. Spread a 75mm layer of mulch over the surface of the garden beds and cove down to finish flush with top of pavements and garden edging, Care shall be taken not to mix soil and mulch together Turf shall be cultivated 'Sir Walter' Buffalo obtained from an approved commercial grower that is weed and disease free. Topsoil to be a turf topdressing with a high

performance turf top-dressing such as Nitro-Top from Australian native Landscapes or similar. Samples to be shown to the principal's representative for approval before installation. Also provide written breakdown of contents, pH and trace elements and suitability for improving existing soils. Topsoil to comply with AS 4419-2003; Soils for landscaping and garden use Installation to occur by the following method:

-Preparation of base levels by builder After construction of the buildings, apply additional gypsum at 200m/m2 (if clay is encounted)

-Deep rip area below lawn areas to a depth of 300mm

-Place 100mm layer of imported topsoil mix to all lawn areas -Level and lightly compact topsoil to ensure a smooth surface

-Prior to final raking add fertiliser such as Dynamic Lifter to manufacturers details Turf to finish flush with adjoining pavements and edging. Top dress edges or low areas to ensure even surface

OTHER GENERAL NOTES

1. Contractors to verify all dimensions on site before commencing work 2. Do not scale off drawing. If in doubt all dimensions are to be verified by designer

3. This drawing is to be read in conjunction with the approved architectural, hydraulic, arborist and survey plans 4. All trees to be retained shall be protected as per arborist report and/or council requirements. All pruning shall be in accordance with A.S. 4373

5. All landscape works shall comply with all council DA & CC conditions and all relevant Australian Standards. Any deviation from the approved design is not authorised under the development consent. Any alteration to design and plant material must be approved by the accredited certifier

6. Irrigation system - If required, shall be designed & installed to comply with AS 2698.1-1994; AS 2698.2-1985; AS 2698.3-1990; water board and other relevant authority 7. All landscape works are to be maintained for a period of 12 months after final completion. All plants that fail are to be replaced with the same species. Mulch is to be

maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain mositure levels required for optimum growth. All garden areas are to be

8. Minimum BASIX requirement in relation to native landscaped area to be met MAINTENANCE SCHEDULE

To ensure the rapid establishment and long term success of the landscape works the contractor shall undertake a six month maintenance period after practical completion. During this time the contrator shall be responsible for the replacement of any failed plants or other materials. The following general maintenance tasks shall also be

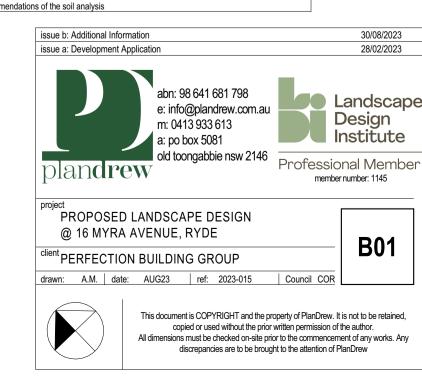
Hand watering of plants on a regular basis equating to four times per week for the first two months (dependent on weather conditions and subject to water restrictions) -Mowing of turfed areas every two weeks fron October to March and every month from April to September (dependent of maintenance period) Checking of plants, stakes and ties every month

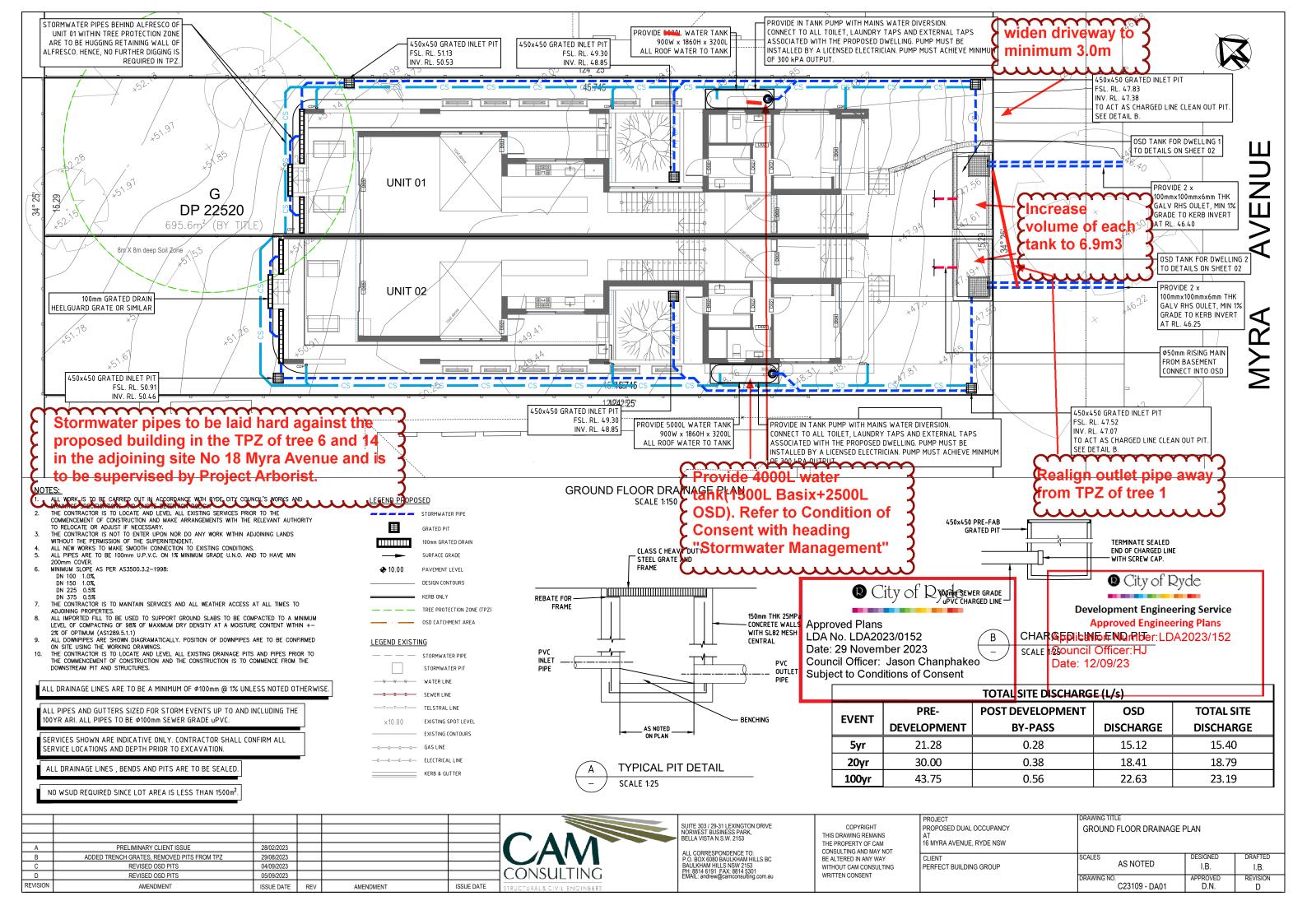
-Spraying of weeds every month Replacement of failed plants every three months

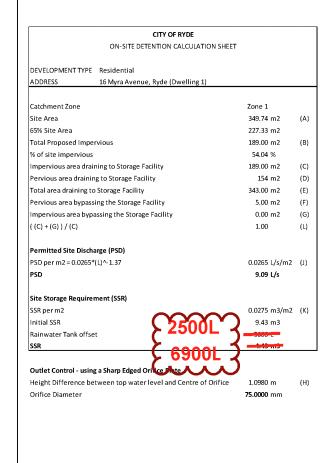
Topping up of mulch after six months to maintain a 100mm cover -Re-application of water crystals around plants after six months

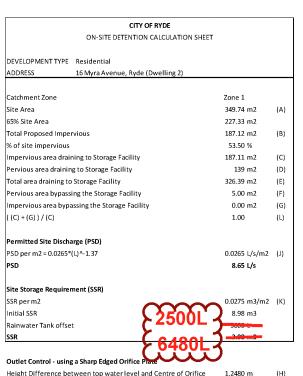
Analysing soil after six months and applying fertilsier in accordance with the recommendations of the soil analysis

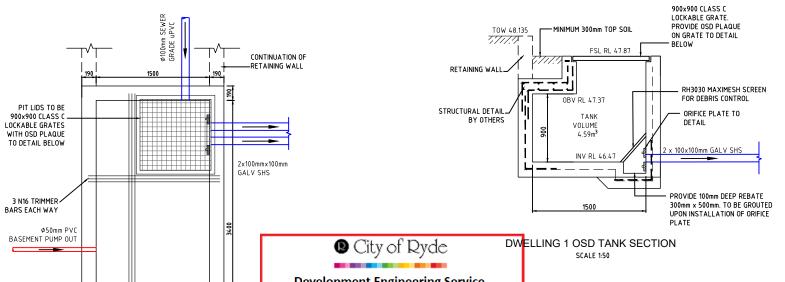












Development Engineering Service Approved Engineering Plans Application Number:LDA2023/152 Council Officer:HJ Date: 12/09/23

900x900 CLASS C LOCKABLE GRATE. MINIMUM 300mm TOP SOIL RETAINING WALL STRUCTURAL DETAIL. RH3030 MAXIMESH SCREEN FOR DEBRIS CONTROL VOLUME 4.09m³ ORIFICE PLATE TO x 100x100mm GALV SHS PROVIDE 100mm DEEP REBATE 300mm x 500mm. TO BE GROUTED UPON INSTALLATION OF ORIFICE **DWELLING 2 OSD TANK SECTION**

SCALE 1:50

STEEL PLATE CLIP WELDED TO BASKET GALVANISED. TYPICAL BOTH SIDES STEEL PLATE BRACKET GALVANISED FIXED TO FIT WALL WITH 2 LOXINS TO

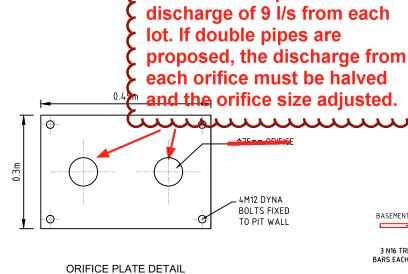
-LIFTING HANDLE

SEAT CLIPS INTO.

RH3030 LYSAGHT MAXIMESH

SCREEN

DEBRIS SCREEN DETAIL



Provide single out let to

achieve the required

PLATE TO BE 3 mm STAINLESS STEEL MACHINE CUT

THIS IS AN **ON-SITE STORMWATER DETENTION SYSTEM**

REQUIRED BY CITY OF RYDE

IT IS AN OFFENCE TO REDUCE THE VOLUME OF THE TANK OR BASIN OR TO INTERFERE WITH THE ORIFICE PLATE THAT CONTROLS THE OUTFLOW

THE BASE OF THE OUTLET PIT AND THE DEBRIS SCREEN MUST BE CLEANED OF DEBRIS AND SEDIMENT ON A REGULAR BASIS BY THE OWNER

THIS PLATE MUST NOT BE REMOVED

City of Ryde

Approved Plans LDA No. LDA2023/0152 Date: 29 November 2023

Council Officer: Jason Chanphakeo Subject to Conditions of Consent

PRELIMINARY CLIENT ISSUE 28/02/2023 ADDED TRENCH GRATES, REMOVED PITS FROM TPZ 29/08/2023 04/09/2023 REVISED OSD PITS D 05/09/2023 REVISED OSD PITS ISSUE DATE AMENDMENT ISSUE DATE AMENDMENT



SUITE 303 / 29-31 LEXINGTON DRIVE NORWEST BUSINESS PARK, BELLA VISTA N.S.W. 2153

DWELLING 2 OSD TANK PLAN SCALE 1:50

Ø50mm PVC BASEMENT PUMP OUT

PIT LIDS TO BE

900x900 CLASS C LOCKABLE GRATES

WITH OSD PLADUE

TO DETAIL BELOW

3 N16 TRIMMER BARS EACH WAY

DWELLING 1 OSD TANK PLAN SCALE 1:50

CONTINUATION OF

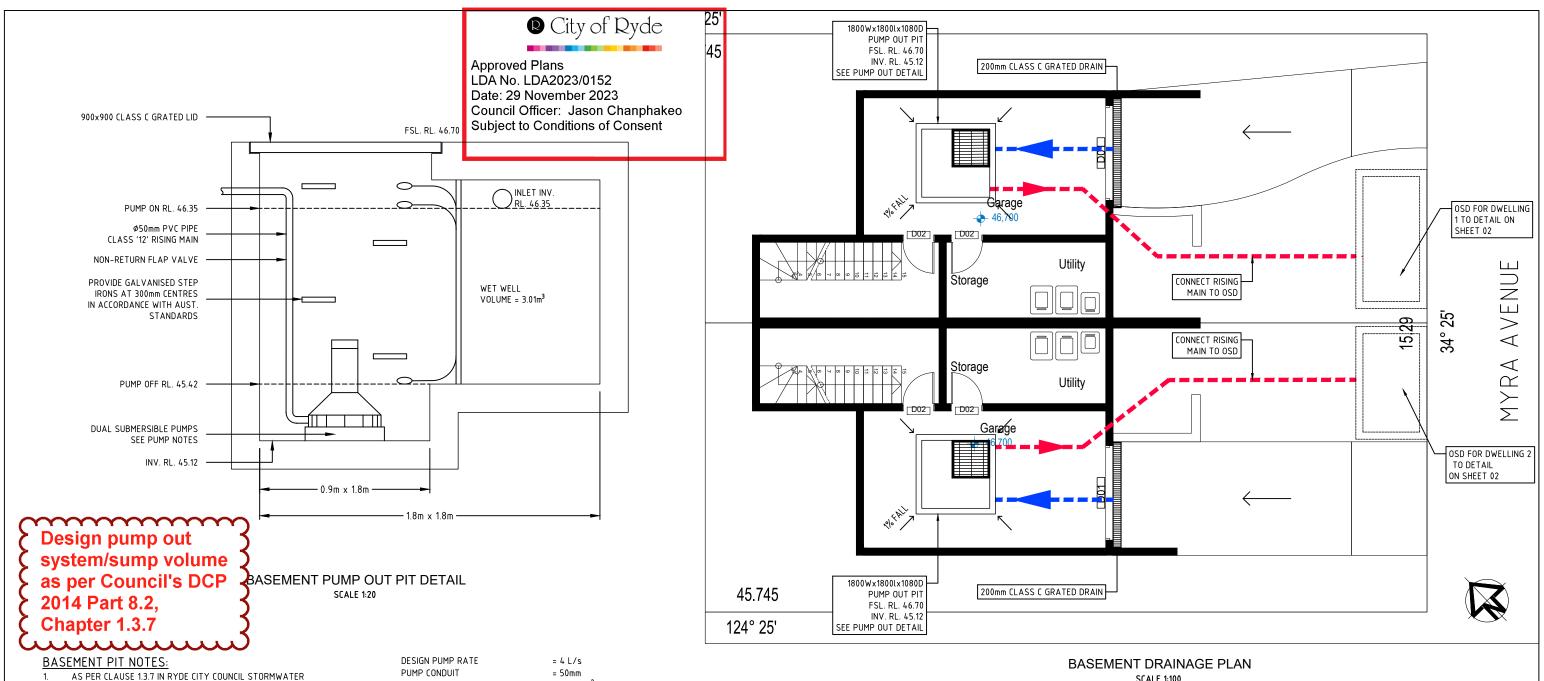
ALL CORRESPONDENCE TO: P.O. BOX 6080 BAULKHAM HILLS BC BAULKHAM HILLS NSW 2153 PH: 8814 6191 FAX: 8814 5301 EMAIL: andrew@camconsulting.com.au

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2x100mmx100mn

GALV SHS

PROJECT	DRAWING TITLE		
PROPOSED DUAL OCCUPANCY AT 16 MYRA AVENUE, RYDE NSW	OSD DETAILS		
CLIENT	SCALES	DESIGNED	DRAFTED
PERFECT BUILDING GROUP	AS NOTED	I.B.	I.B.
	DRAWING NO.	APPROVED	REVISION
	C23109 - DA02	D.N.	D



MANAGEMENT TECHNICAL MANUAL, THE PUMP OUT PIT IS DESIGNED TO STORE TOTAL RUNOFF FROM CATCHMENT DURING A 100YR-3HR ARI EVENT

UNCOVERED CATCHMENT TO SUMP $= 15.85 \text{ m}^2$ 100YR-3HR ARI RAINFALL = 102.00 mm REQUIRED CAPACITY $= 1.62 \text{ m}^3$

<u>UNIT 02</u>

UNCOVERED CATCHMENT TO SUMP = 18.00 m² 100YR-3HR ARI RAINFALL = 102.00 mm REQUIRED CAPACITY $= 1.84 \text{ m}^3$

AS PER AS3500.3:2018, CLAUSE 8.3.6, MINIMUM WET WELL CAPACITY SHALL BE 3m3 FOR EACH UNIT.

THE PUMP OUT TANK IS TO HAVE A DUPLICATE OF PUMPS, 2. EACH WITH A 4 L/s CAPACITY. THE PUMP IS TO BE SELECTED FROM RATING CURVES USING THE FOLLOWING PARAMETERS:

PUMP CONDUIT AREA $= 0.0020 \,\mathrm{m}^2$ PUMP FLOW VELOCITY = 2.04 m/s

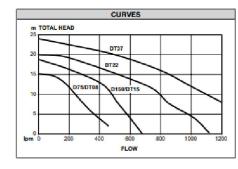
VOLUME PUMPED IN 30mins $= 7.2 \text{m}^3$ FLOW RATE = 240 L/min PUMPED HEAD LOSS (kV²/2g) = 0.63 mHEAD LOSS = 3.12 mPUMP HEAD = 3.75 m

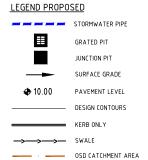
APPLYING DAVEY RATING CURVE (RIGHT) FOR SUBMERSIBLE DEWATERING PUMPS, 2x D75 OR SIMILAR PUMPS TO BE

- PUMP CONTROL TO BE DESIGNED SO THAT PUMPS WORK ON ALTERNATE BASIS ENSURING THAT BOTH PUMPS HAVE EQUAL LOADS.
- OUTLET TO INVERT LEVEL TO GRAVITY SYSTEM IS TO ABOVE INLET OF GRAVITY SYSTEM.
- PUMPS ARE TO BE IN ACCORDANCE WITH AS3500.3 PART 9.4 WHERE SETTING UP THE CONTROLS.

SCALE 1:100

Submersible Dewatering Pumps







Α	PRELIMINARY CLIENT ISSUE	28/02/2023			
В	ADDED TRENCH GRATES, REMOVED PITS FROM TPZ	29/08/2023			
С	REVISED OSD PITS	04/09/2023			
D	REVISED OSD PITS	05/09/2023			
REVISION	AMENDMENT	ISSUE DATE	REV	AMENDMENT	ISSUE DATE



SUITE 303 / 29-31 LEXINGTON DRIVE NORWEST BUSINESS PARK, BELLA VISTA N.S.W. 2153

ALL CORRESPONDENCE TO: P.O. BOX 6080 BAULKHAM HILLS BC BAULKHAM HILLS NSW 2153 PH: 8814 6191 FAX: 8814 5301 EMAIL: andrew@camconsulting.com.au

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WRITTEN CONSENT

PROJECT	DRAWING TITLE		
PROPOSED DUAL OCCUPANCY	BASEMENT DRAINAGE PLAN		
AT			
16 MYRA AVENUE, RYDE NSW			
CLIENT	SCALES	DESIGNED	DRAFTED
PERFECT BUILDING GROUP	AS NOTED	I.B.	I.B.
			=.
	DRAWING NO.	APPROVED	REVISION
	C23109 - DA03	D.N.	D