

LOCATION MAP

SHEET	TITLE
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1	BASEMENT FLOOR PLAN
2	GROUND FLOOR PLAN
3	FIRST FLOOR PLAN
4	RAKED CEILING PLAN- SUBDIVISION
5	ELEVATIONS
6	SECTIONS
7	SHADOWS - JUN
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9	VIEWS FROM THE SUN - JUNE
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14	ELEVATIONAL SHADOWS
15	MATERIALS & FINISHES
16	BASIX
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18	GFA CALCULATION PLANS



Issue k:	
Issue j:	
Issue i: DA - Additional Info	01/11/2023
Issue h: DA - Additional Info	11/10/2023
Issue g: Development Application	03/05/2023
Issue f: Development Application	11/01/2023
Issue e: Development Application	13/12/2022
Issue d: Client Changes	12/12/2022
Issue c: Client Changes	25/11/2022
Issue b: Client Changes	24/10/2022
Issue a: Client Sketch	13/10/2022

drawing: **COVER PAGE**
 project: **PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE**
 client: **PERFECTION BUILDING GROUP**
 drawn: **A.M.** | scale: **as shown** | sheet size: **A3** | Council
 checked: **J.E.** | date: **JAN23** | ref: **2022-186** | **COR**

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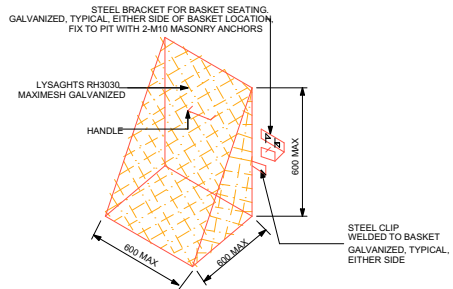
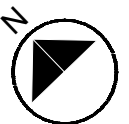
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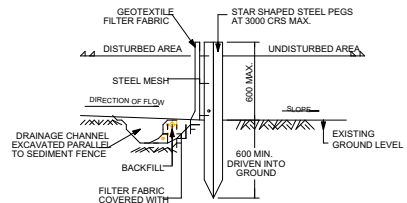
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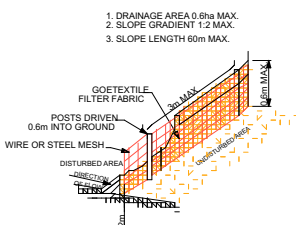
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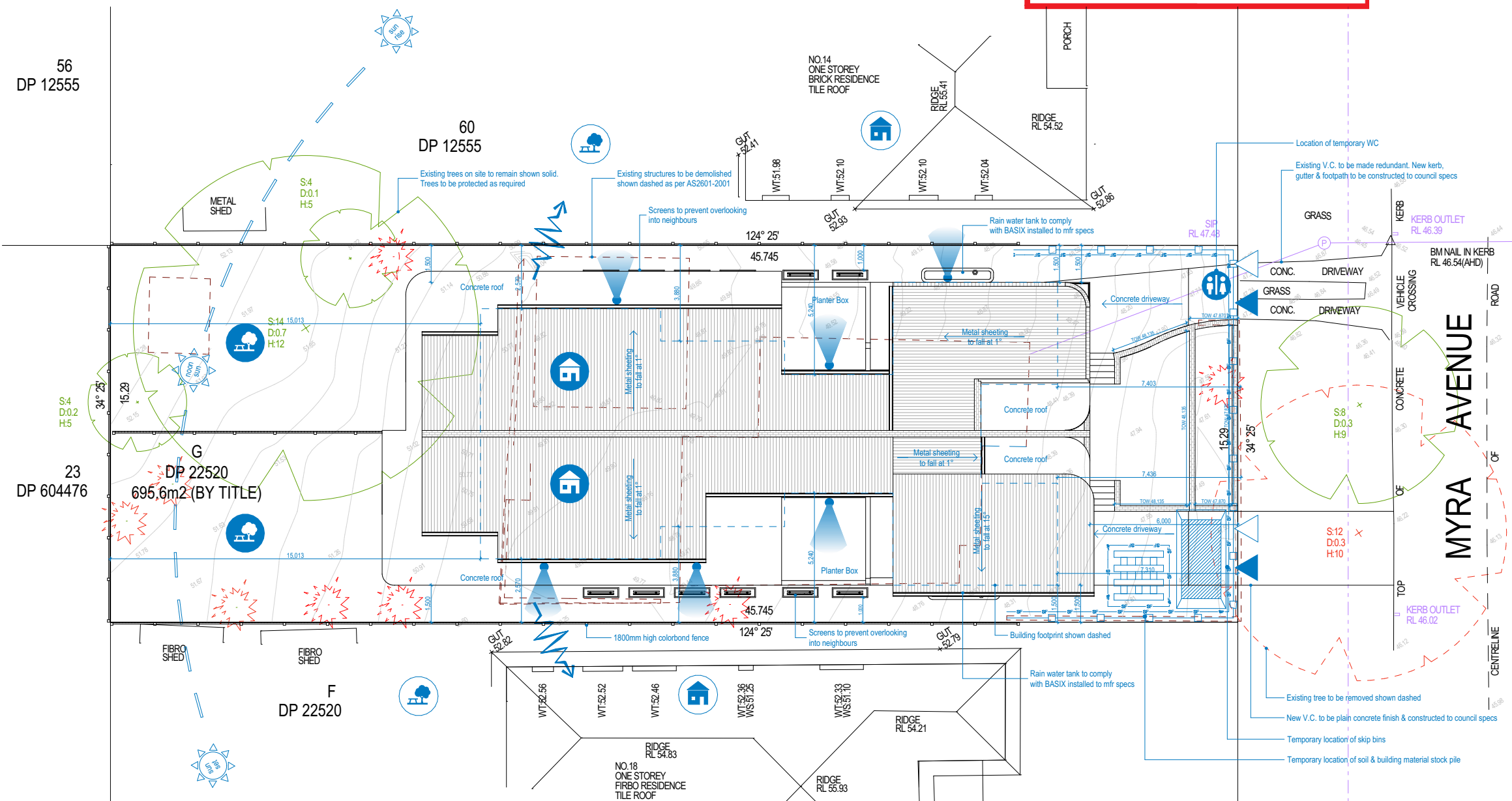
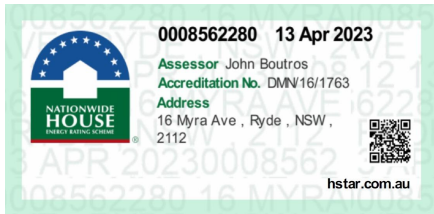
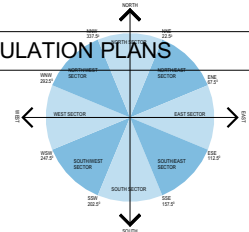
TYPICAL SEDIMENT FENCE SECTION
SCALE 1:20



SEDIMENT FENCE



Approved Plans
LDA No. LDA2023/0152
Date: 29 November 2023
Council Officer: Jason Chanphakeo
Subject to Conditions of Consent



ROOF/SITE ANALYSIS PLAN

1:200

Issue k:	
Issue j:	01/11/2023
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Issue h:	DA - Additional Info
Issue g:	Development Application
Issue f:	Development Application
Issue e:	Development Application
Issue d:	Client Changes
Issue c:	Client Changes
Issue b:	Client Changes
Issue a:	Client Sketch

drawing:	BASEMENT FLOOR PLAN
project:	PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE
client:	PERFECTION BUILDING GROUP
drawn:	A.M.
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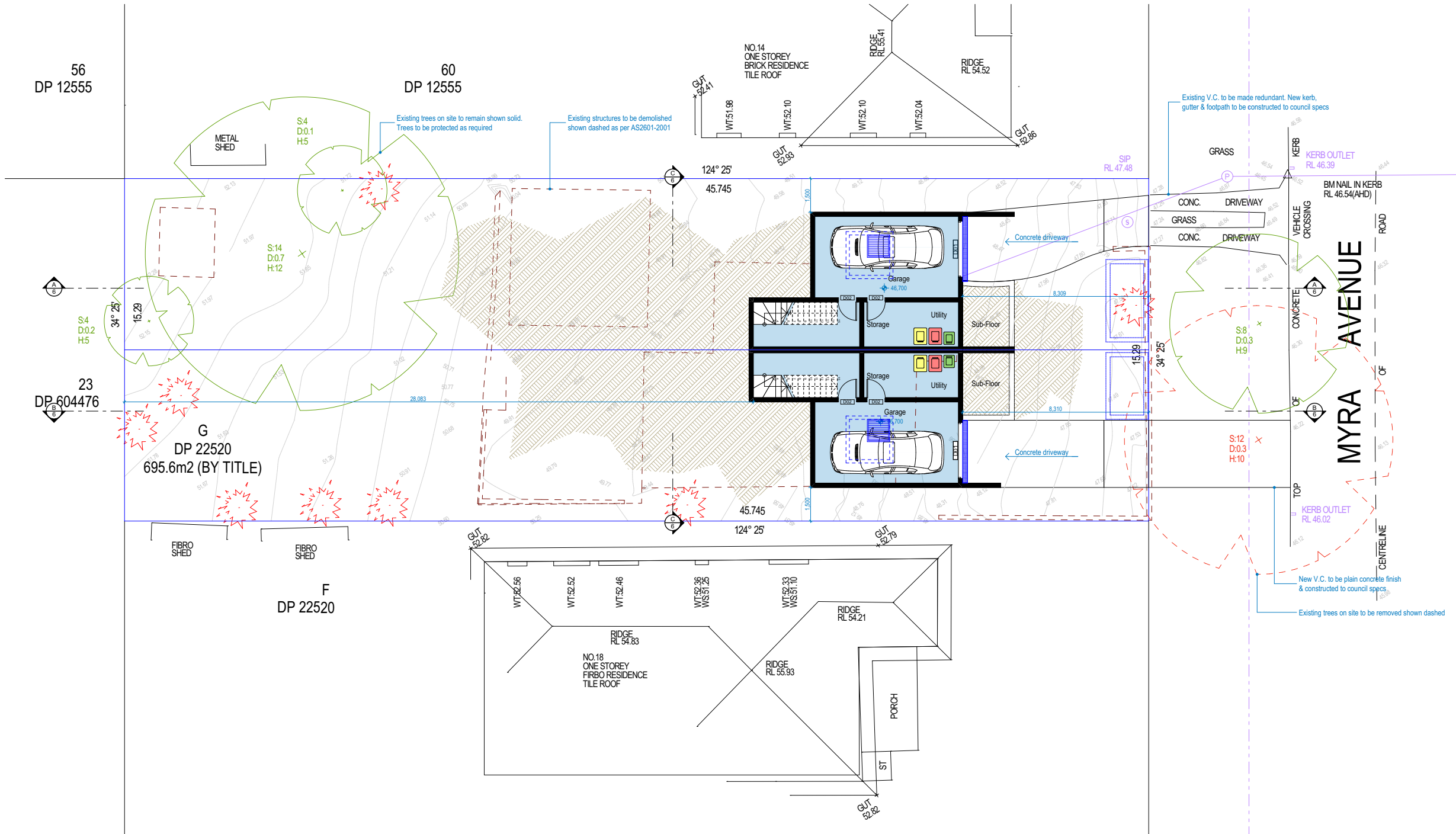


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ph: +61 2 9630 9911
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BASEMENT FLOOR PLAN
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COMPLIANCE TABLE		
CONTROL	REQUIRED	PROPOSED
Site Area (m ²)	580	695.6
Floor Space Ratio (max 50%)	347.8	347.34
Street Frontage	min 15m	15.29m
Front Setback	min 6m	6
Rear Setback (25%)	11436mm	11543mm
Secondary Setback	min 2m	NA
Side Setback	1.5m	1.5m
Building Height	max 9.5	9.05
Courtyard Fence	1.8m	1.8
Solar Access	3 hours	3 hrs
Deep Soil (min 35%)	243.46	256.42
Hard surface front setback	max 40% (36.69m2)	36.3
Ceiling height	min 2.4m	min.2.7
Deep Soil Allocation	8m x 8m zone	8m x 8m at rear
Parking	min two covered	2

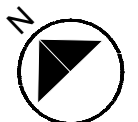
SITE DATA			
SITE AREA		695.6	
UNIT 01		UNIT 02	
Ground Floor Area	89.01	Ground Floor Area	89.01
First Floor Area	84.49	First Floor Area	84.83
TOTAL		173.84	
FSR		1= 0.50	



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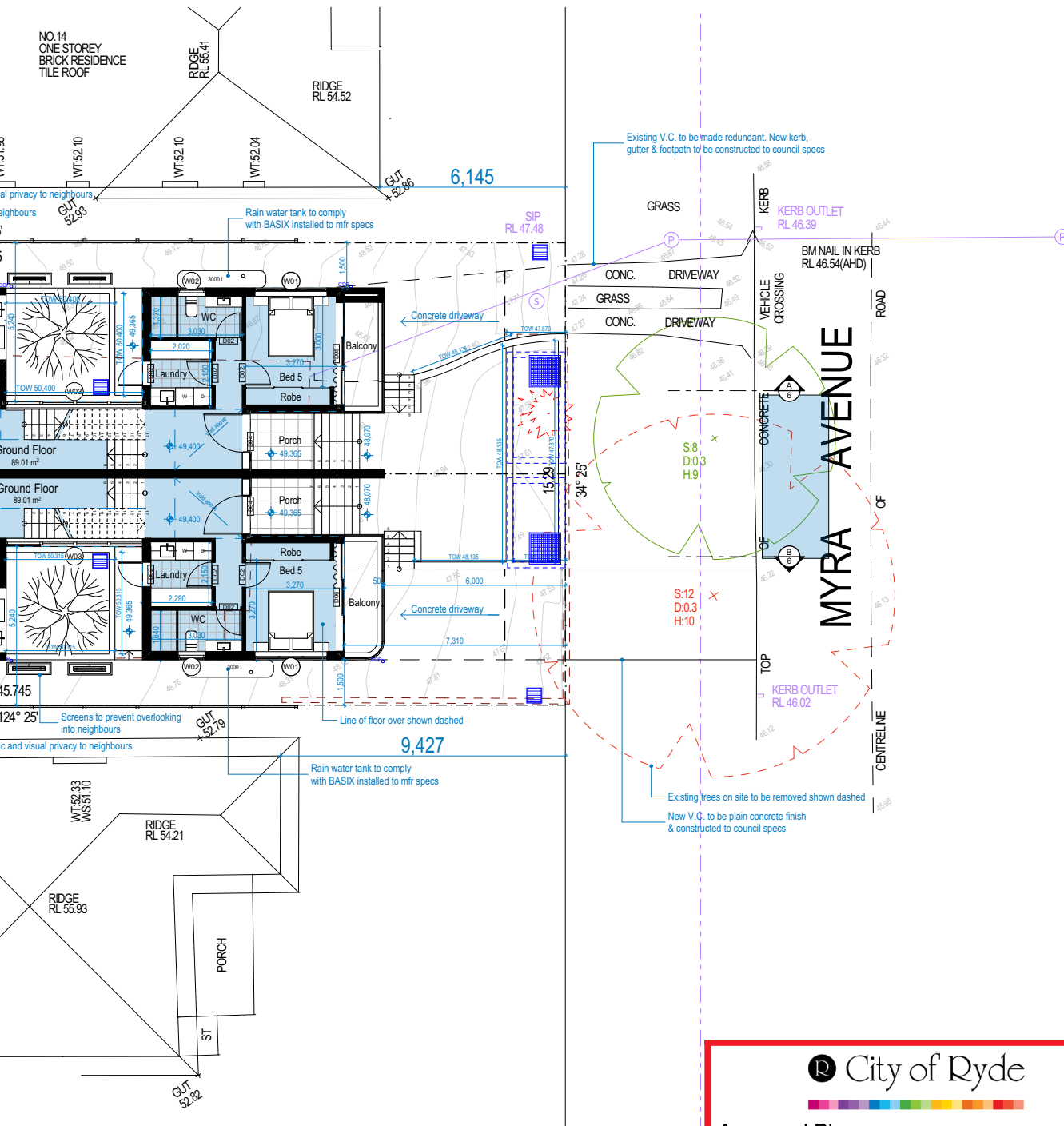
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WINDOW SCHEDULE							
Element ID	TYPE	SILL	WIDTH	HEIGHT	PLAN	ELEVATION	Q
W01	TRIPLE WINDOW - TOP HUNG	1,800	2,400	600			7
W02	TOP HUNG	1,800	900	600			2
W03	HORIZONTAL MULTI-SASH WINDOW	0	4,520	2,400			2
W04	FIXED GLASS WINDOW	900	2,840	750			2
W05	TRIPLE WINDOW - TOP HUNG	0	2,980	2,400			2
W06	TOP HUNG	300	450	2,100			2
W07	TOP HUNG	300	900	2,100			2
W08	HORIZONTAL MULTI-SASH WINDOW	1,000	4,400	1,400			2
W09	TOP HUNG	300	840	2,100			2
W10	TOP HUNG	1,800	600	600			2
W11	TOP HUNG	1,800	1,200	600			2
W12	FIXED ARCH WINDOW	0	1,270	2,400			2
W13	TOP HUNG	300	1,500	2,100			2
W14	FIXED WINDOW	0	2,980	2,400			1
W15	FIXED WINDOW	395	1,800	450			1
W16	TRIPLE WINDOW - FIXED GLASS	0	2,980	2,400			2

GROUND FLOOR PLAN

1:200

DOOR SCHEDULE						
Element ID	TYPE	HEIGHT	WIDTH	PLAN	ELEVATION	Q
D01	GARAGE DOOR	2,300	2,500			2
D02	SWING DOOR	2,340	820			20
D03	SWING DOOR	2,340	720			2
D04	SWING DOOR	2,750	1,270			2
D05	SLIDING DOOR	3,330	3,370			1
D06	SLIDING DOOR	3,330	3,570			1
D07	SLIDING DOOR	2,700	4,640			2
D08	POCKET SLIDER	2,340	935			2
D09	POCKET SLIDER	2,340	820			2
D10	SLIDING DOOR	2,400	3,410			2

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drawing: FIRST FLOOR PLAN	project: PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE	client: PERFECTION BUILDING GROUP
drawn: A.M.	scale: as shown	sheet size: A3
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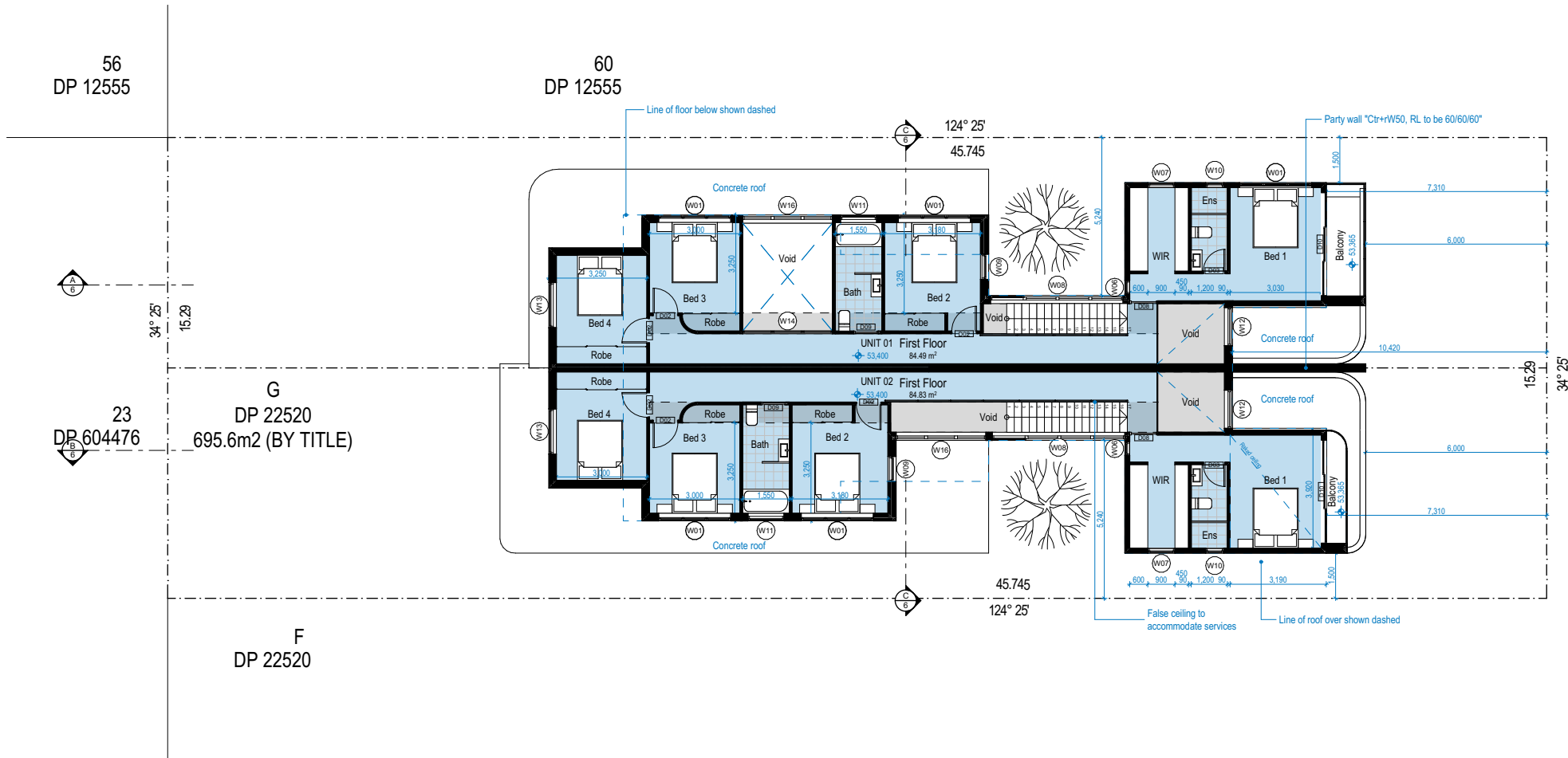
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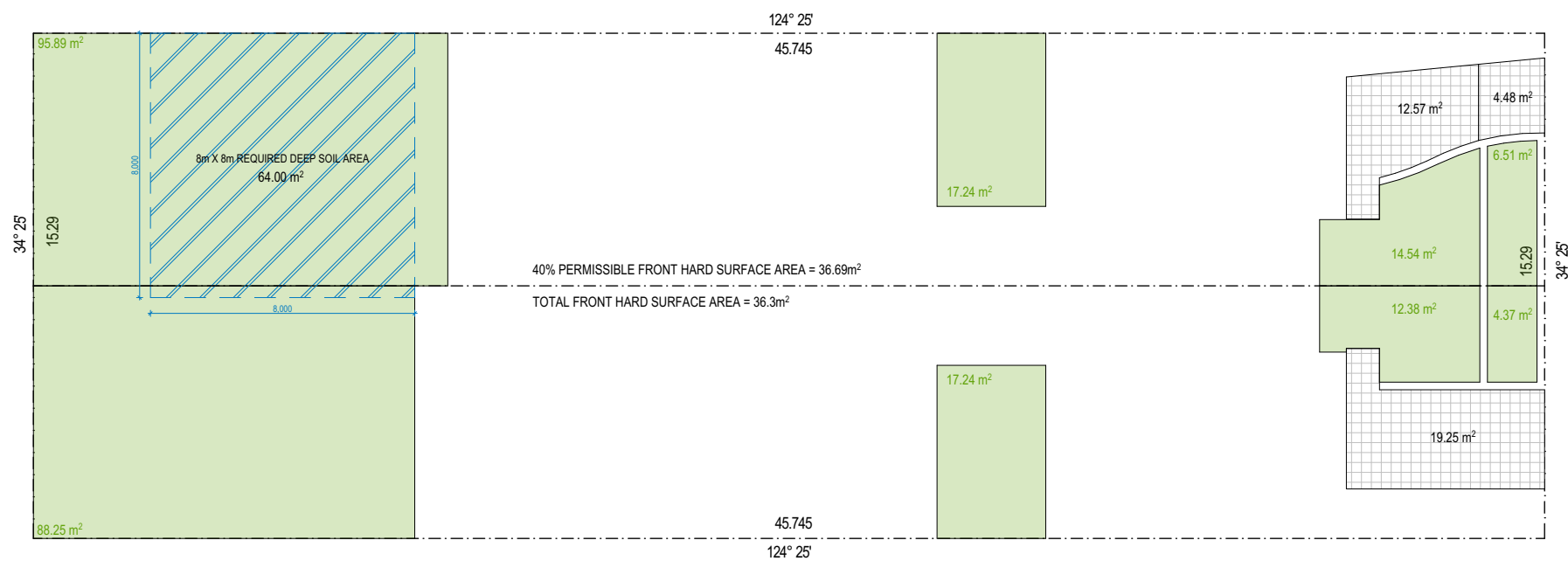


MYRA AVENUE



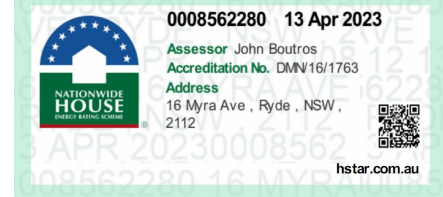
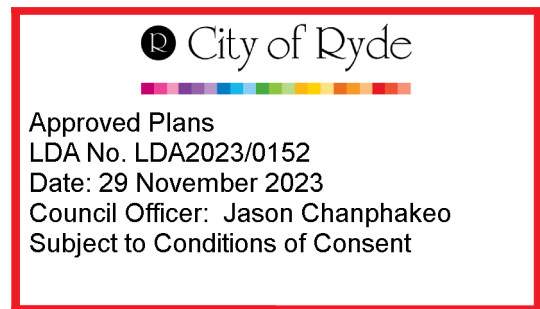
FIRST FLOOR PLAN

1:200



LANDSCAPE CALC PLAN

1:200



City of Ryde

Approved Plans

LDA No. LDA2023/0152

Date: 29 November 2023

Council Officer: Jason Chanphakeo

Subject to Conditions of Consent

Architectural drawing of the Raked Ceiling Plan. The plan shows a building footprint with various roof slopes indicated by arrows and labels: 'Metal sheeting to fall at 1°'. Dimensions include lot boundaries (e.g., 124° 25', 45.745, 15.29) and building dimensions (e.g., 3.400, 5.000, 1.800, 4.600, 3.030). A 'Bed 1' area is highlighted. The plan is bounded by DP 12555, DP 22520, and DP 604476. A 'Party wall Ctr+RW50, RL to be 60/60/60°' is noted. The plan is oriented with Myra Avenue to the right.

RAKED CEILING PLAN
1:200

Architectural drawing of the Subdivision Plan. The plan shows the layout of two units, UNIT 01 and UNIT 02, within a larger lot. Dimensions include lot boundaries (e.g., 124° 25', 45.745, 15.29) and unit dimensions (e.g., 7.645, 15.290). The plan is oriented with Myra Avenue to the right.

SUBDIVISION PLAN
1:200

SUBDIVISION DATA		
PROPOSED LOT DESCRIPTION		
LOT 1 (UNIT 1) - 347.8m ²		
LOT 2 (UNIT 2) - 347.8m ³		
PROPOSED SUBDIVISION TITLE		
Torrens		
CURRENT LOT DESCRIPTION		
LOT: G	DP: 22520	
AREA = 695.6m ² (BY TITLE)		
NOTE		
ALL DIMENSIONS TO BE VERIFIED ON SITE BY SURVEYOR		

NATIONWIDE HOUSE

REAL ESTATE

0008562280

13 Apr 2023

Assessor John Boutros

Accreditation No. DNW/16/1763

Address 16 Myra Ave , Ryde , NSW , 2112

APR 20230008562

008562280 16 MYRA

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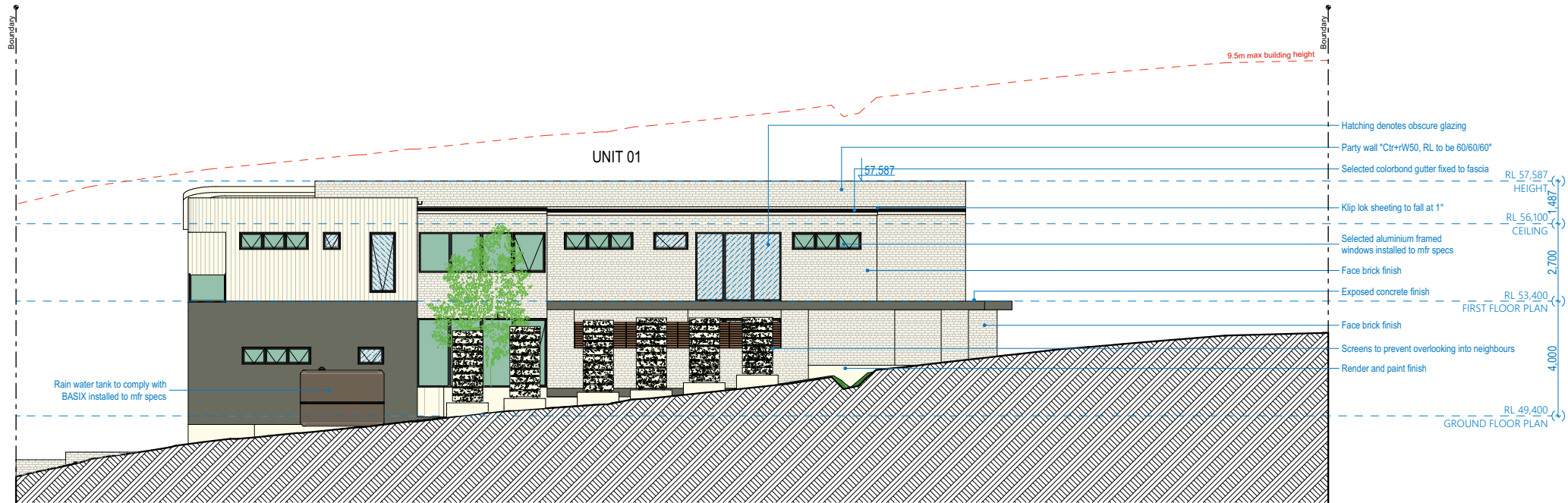
drawing: RAKED CEILING PLAN - SUBDIVISION	project: PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE	client: PERFECTION BUILDING GROUP
drawn: A.M.	scale: as shown	sheet size: A3
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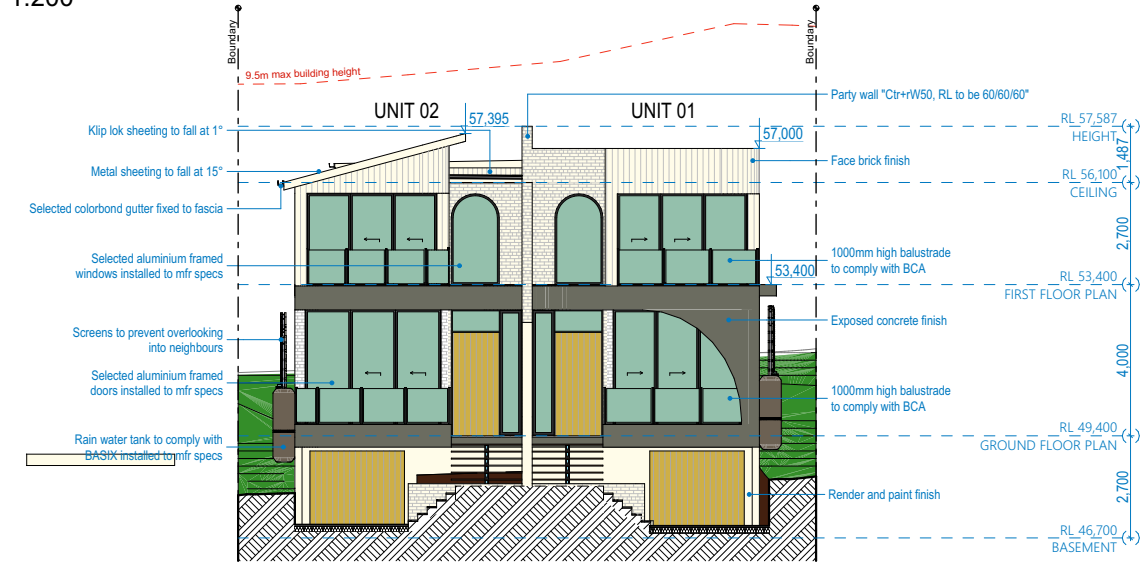
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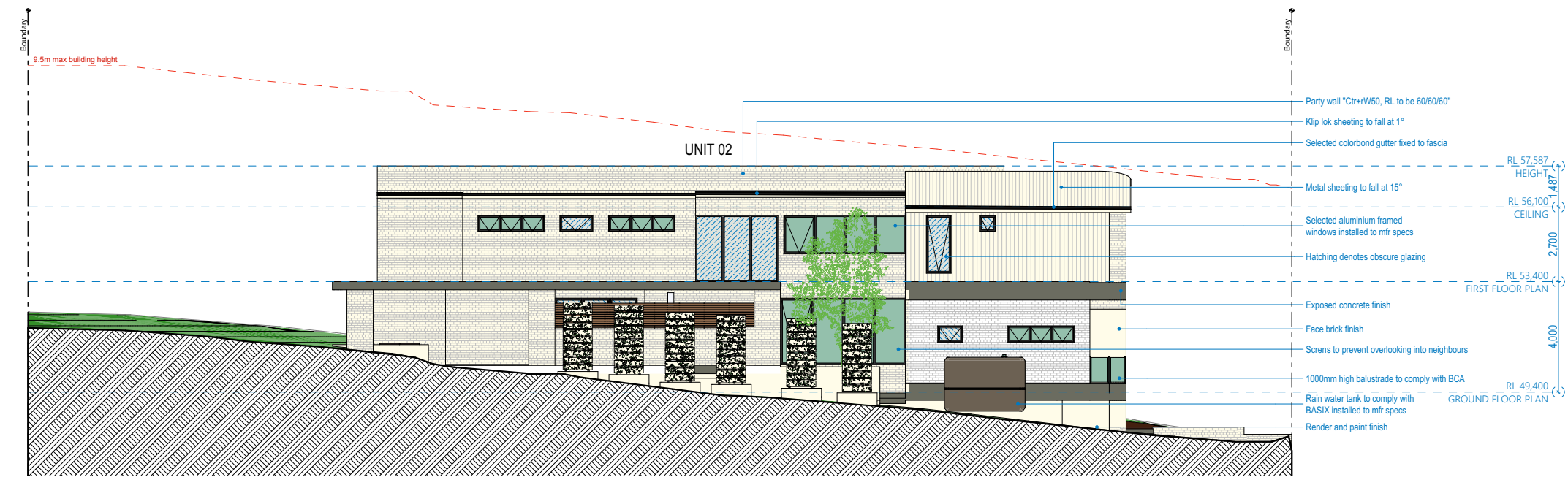
NORTHEAST ELEVATION

1:200



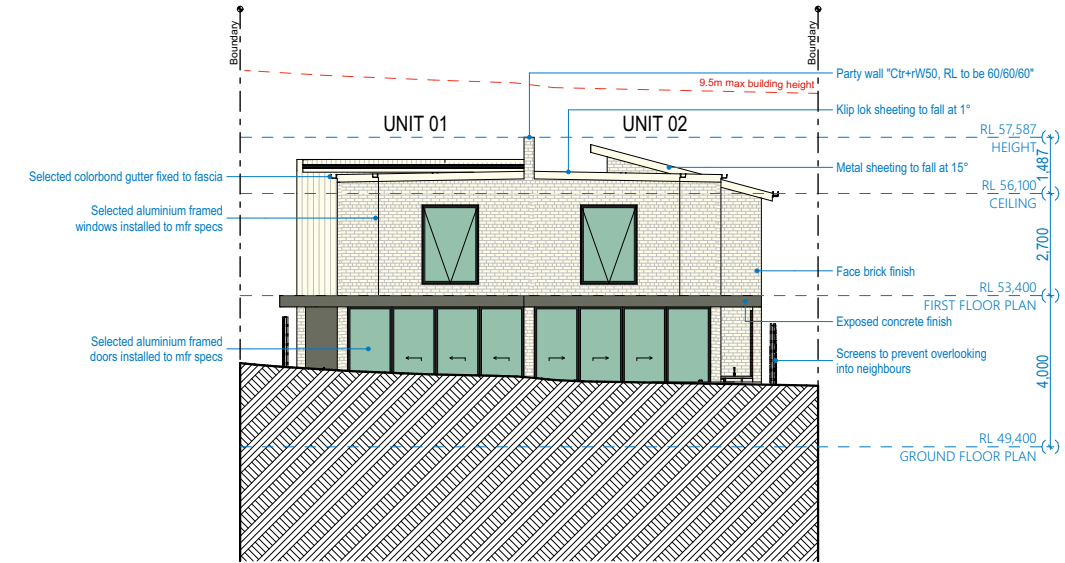
SOUTHEAST ELEVATION

1:200



SOUTHWEST ELEVATION

1:200



NORTHWEST ELEVATION

1:200

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drawing: ELEVATIONS	project: PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE	client: PERFECTION BUILDING GROUP	drawn: A.M.	scale: as shown	sheet size: A3	Council
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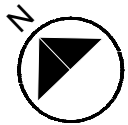
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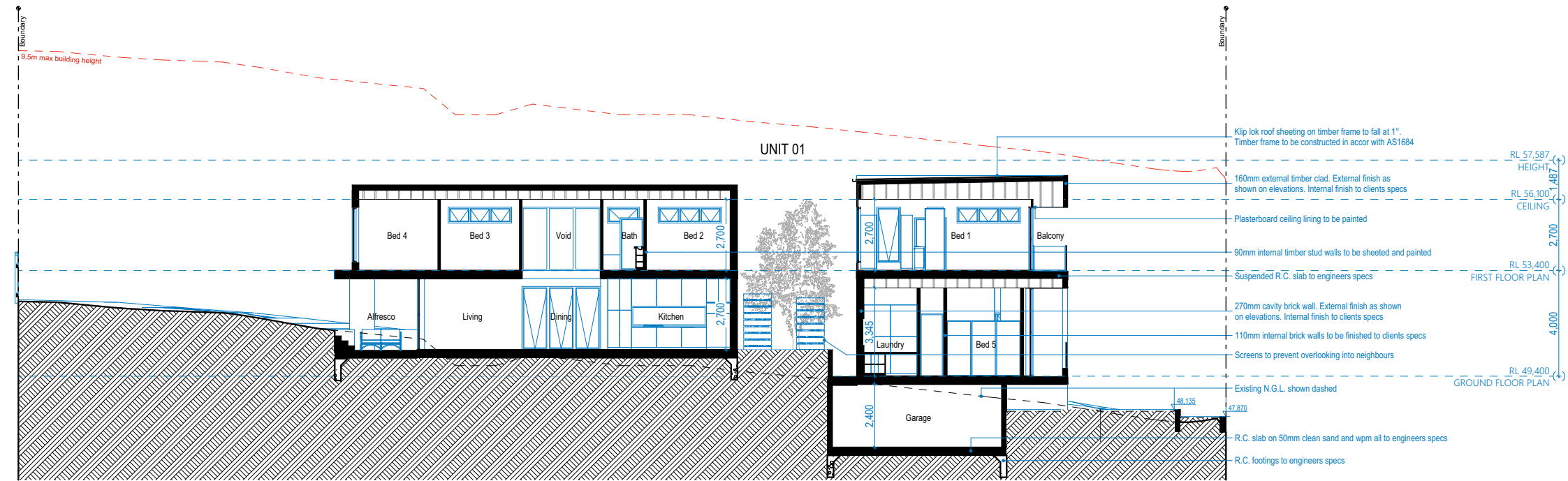
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Assessor John Boutros
Accreditation No. DMV/16/1763
Address
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2112

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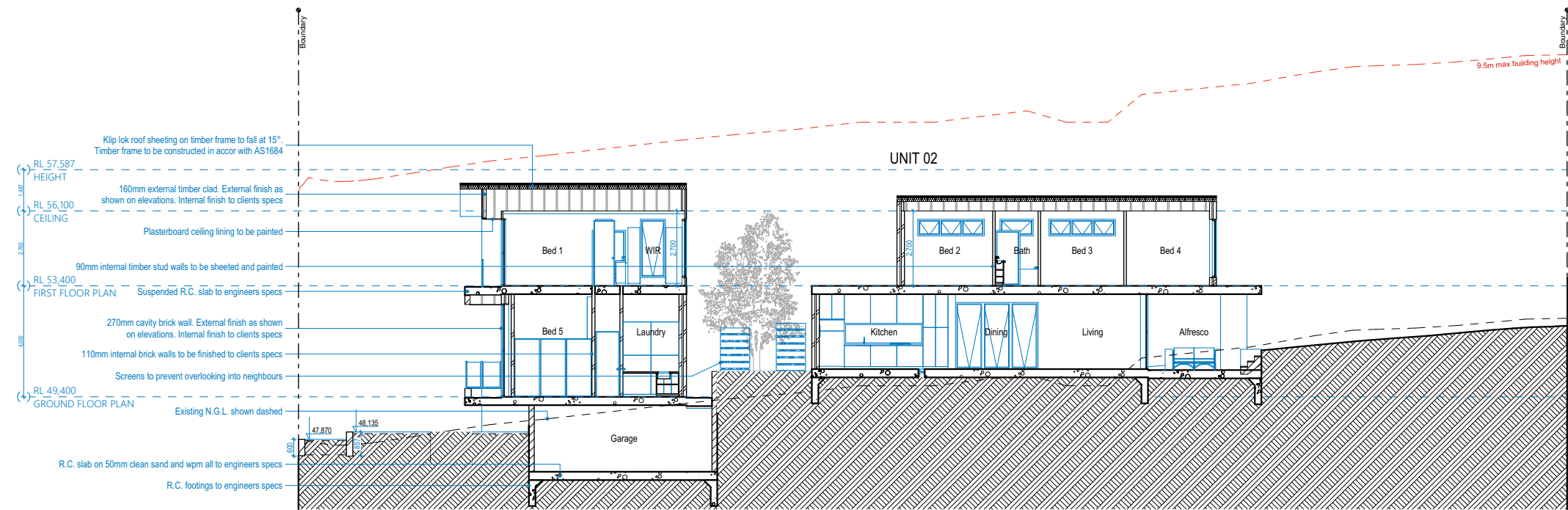
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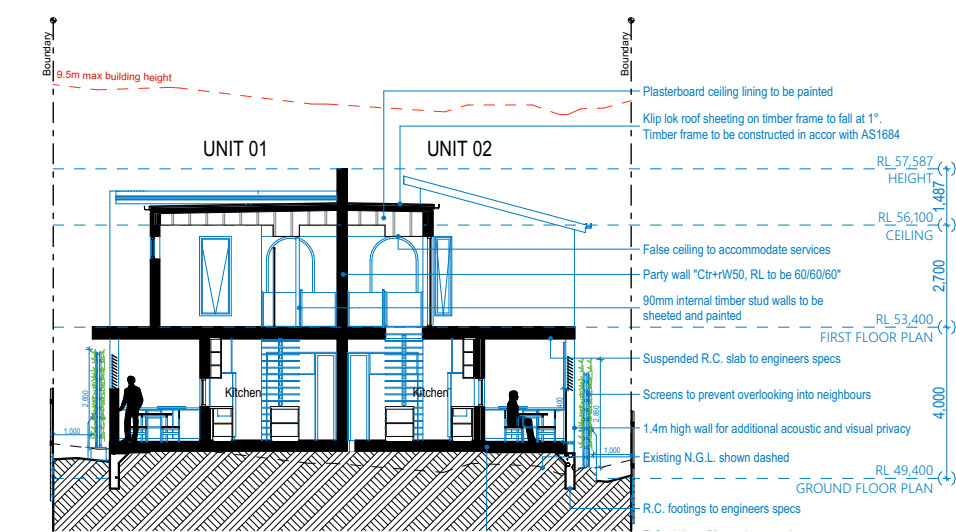
SECTION A

1:200



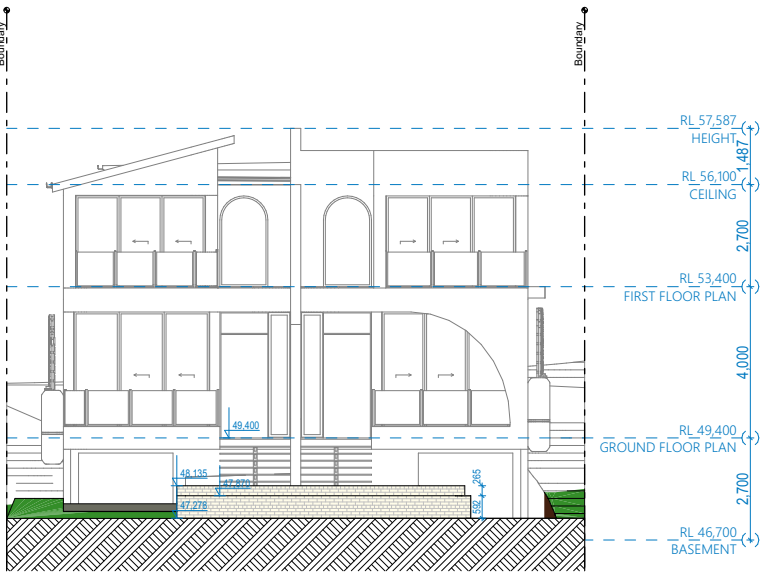
SECTION B

1:200



SECTION C

1:200



SOUTHEAST RETAINING WALLS DETAILS

1:200

City of Ryde

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drawing: SECTIONS	project: PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE	client: PERFECTION BUILDING GROUP	drawn: A.M.	scale: as shown	sheet size: A3	Council
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mob: 0431 111 777
admin@designcorp.com.au
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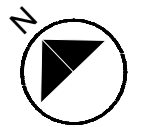
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16 Myra Ave., Ryde, NSW,
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MATERIALS & FINISHES SCHEDULE

@ 16 MYRA AVENUE RYDE



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EXTERNAL FINISH
CLADDING - STRATCO HILAND - TRAY MERINO



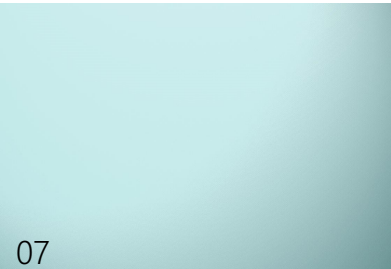
DRIVEWAY
CHARCOAL CONCRETE



FRONT DOORS - GARAGE
TIMBER FINISH



BALUSTRADE
GLASS



DOORS & WINDOWS
ALUMINIUM - COLORBOND MONUMENT



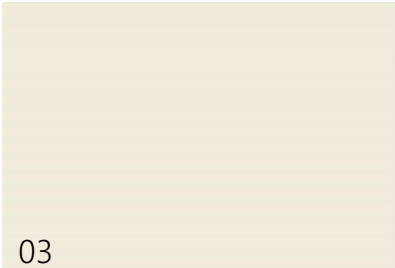
EXTERNAL BRICK WALLS
FACE BRICK - PGH Morada Ceniza



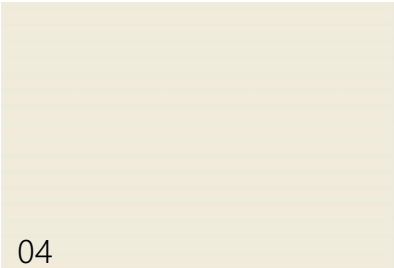
EXTERNAL FINISH
CONCRETE SMOOTH



EXTERNAL FINISH
RENDER - DULUX WHITE SWAM



FASCIA & SOFFIT
RENDER - DULUX WHITE SWAM



ROOF MATERIAL
METAL SHEETING - COLORBOND SURFMIST



Issue k:	13/10/2022
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drawing: MATERIALS & FINISHES	project: PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE	client: PERFECTION BUILDING GROUP	drawn: A.M.	scale: as shown	sheet size: A3	Council
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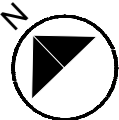
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This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. It is built in accordance with the requirements set out below. This certificate is issued to the applicant, and the applicant has the meaning given by the document entitled "BASIX Obligations" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of Issue: Thursday, 13 April 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	16 Myra Ave, Ryde		
Street address	16 Myra Avenue Ryde 2112		
Local Government Area	Ryde City Council		
Plan type and plan number	deposited 22520		
Lot no.	G1		
Sections no.	-		
No. of residential flat buildings	0		
No. of units in residential flat buildings	0		
No. of multi-dwelling houses	0		
No. of single dwelling houses	2		
Project score			
Water	✓ 40	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 50	Target 50	

Certificate Prepared by
Name / Company Name: Greenstar Architectural Drafting
ABN (if applicable): 7020070543

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Description of project

Project address		Common area landscape	
Project name	16 Myra Ave, Ryde	Common area lawn (m ²)	0.0
Street address	16 Myra Avenue Ryde 2112	Common area garden (m ²)	0.0
Local Government Area	Parramatta Council	Area of indigenous or low water use species (m ²)	0.0
Plan type and plan number	Residential 22502	Assessor details	
Lot no.	5	Assessor number	DNW/161763
Section no.	0	Certificate number	0008562280
Project type		Climate zone	Hot
No. of residential flat buildings	0	Ceiling fan in at least one bedroom	No
No. of units in residential flat buildings	0	Ceiling fan in at least one living room or other conditioned area	No
No. of multi-dwelling houses	2	Project score	
No. of single dwelling houses	0	Water	✓ 40 Target 40
Site area (m ²)	108.7	Thermal Comfort	✓ Pass Target Pass
Roof area (m ²)	352	Energy	✓ 50 Target 50
Non-residential foot area (m ²)	0.0		
Residential car spaces	2		
Non-residential car spaces	0		

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Description of project

Description of project		Common area landscape	
Project name	16 Myra Ave, Ryde	Common area lawn (m ²)	0.0
Street address	16 Myra Avenue Ryde 2112	Common area garden (m ²)	0.0
Local Government Area	Parramatta Council	Area of indigenous or low water use species (m ²)	0.0
Plan type and plan number	Residential 22502	Assessor details	
Lot no.	5	Assessor number	DNW/161763
Section no.	0	Certificate number	0008562280
Project type		Climate zone	Hot
No. of residential flat buildings	0	Ceiling fan in at least one bedroom	No
No. of units in residential flat buildings	0	Ceiling fan in at least one living room or other conditioned area	No
No. of multi-dwelling houses	2	Project score	
No. of single dwelling houses	0	Water	✓ 40 Target 40
Site area (m ²)	108.7	Thermal Comfort	✓ Pass Target Pass
Roof area (m ²)	352	Energy	✓ 50 Target 50
Non-residential foot area (m ²)	0.0		
Residential car spaces	2		
Non-residential car spaces	0		

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No common areas specified.

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Schedule of BASIX commitments

- Comments for multi-dwelling houses
- Commitments for single dwelling houses
 - Dwellings
 - Water
 - Energy
 - Thermal Comfort
- Commitments for common areas and central systems/facilities for the development (non-building specific)
 - Water
 - Energy

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

2. Commitments for single dwelling houses

(a) Dwellings

(a) Water	Show on DA plans	Show on CGC/DC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	✓	✓	✓
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for that dwelling in the "Indigenous species" column of the table below. No plants indigenous to that dwelling are to be planted within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table.	✓	✓	✓
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.	✓	✓	✓
(d) The applicant must install an on demand hot water recirculation system which recirculates hot water throughout the dwelling, where indicated for the "100 recirculation or diversion" column of the table below.	✓	✓	✓
(e) The applicant must install: (a) a hot water diversion system for all showers, tub/shower units and all basins in the dwelling, where indicated for a dwelling in the "100 recirculation or diversion" column of the table below; and (b) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all basins in the dwelling.	✓	✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	✓
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).	✓	✓	✓
(h) The pool or spa must be located as specified in the table.	✓	✓	✓
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (including any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

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Alternative water sources		Appliances		Individual pool		Individual spa	
Dwelling no.	Alternative water supply system	Size	Configuration	Landscaping	Total consumption (m ³)	Landscaping	Total consumption (m ³)
All dwellings	Individual water tank (m ³)	1000	1000 litres	1000	1000	1000	1000
None	-	-	-	-	-	-	-

(a) Energy	Show on DA plans	Show on CGC/DC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	✓	✓	✓
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, that the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, for each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.	✓	✓	✓
(d) The applicant must install the "Cooling" and "Heating" systems in the table below, under the "Living areas" and "Bedrooms" columns. If the table specifies a central heating system for the dwelling, that the applicant must connect that central system to the dwelling, so that the dwelling's heating is supplied by that central system.	✓	✓	✓
(e) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).	✓	✓	✓
(f) The pool or spa must be located as specified in the table.	✓	✓	✓
(g) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (including any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

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(a) Energy	Show on DA plans	Show on CGC/DC plans & specs	Certifier check
(a) This commitment applies to each room or area of the dwelling which is referred to in a heading in the "Artificial lighting" column of the table below that only to the extent specified for that room or area. The applicant must ensure that each such room or area is fitted with a window under any design.	✓	✓	✓
(b) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (a) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool); if specified, the applicant must install a timer, to control the pool's pump; and (b) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.	✓	✓	✓
(c) The applicant must install in the dwelling: (a) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (b) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; and ensure that the appliance has that minimum rating; and (c) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table below.	✓	✓	✓
(d) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".	✓	✓	✓
(e) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Alternative energy		Show on DA plans		Show on CGC/DC plans & specs		Certifier check	
Dwelling no.	Photovoltaic system (peak electrical output in peak kW)	1	20.0	1	20.0	1	20.0
All dwellings	40.0	40.0	40.0	40.0	40.0	40.0	40.0

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Cooling		Heating		Artificial lighting		Natural lighting	
Dwelling no.	Cooling system (peak electrical output in peak kW)	Heating system (peak electrical output in peak kW)	Artificial lighting system (peak electrical output in peak kW)	Natural lighting system (peak electrical output in peak kW)	Artificial lighting system (peak electrical output in peak kW)	Natural lighting system (peak electrical output in peak kW)	Natural lighting system (peak electrical output in peak kW)
All dwellings	40.0	40.0	40.0	40.0	40.0	40.0	40.0

Alternative energy		Show on DA plans		Show on CGC/DC plans & specs		Certifier check	
Dwelling no.	Photovoltaic system (peak electrical output in peak kW)	1	20.0	1	20.0	1	20.0
All dwellings	40.0	40.0	40.0	40.0	40.0	40.0	40.0

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3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(a) Common areas and central systems/facilities

(a) Water	Show on DA plans	Show on CGC/DC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.	✓	✓	✓
(b) The applicant must install, for the development, a central hot water supply system (or a combination of a central hot water supply system and a hot water storage tank) which recirculates hot water throughout the development, where indicated for the "100 recirculation or diversion" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	✓	✓	✓
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.	✓	✓	✓
(e) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, that the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.	✓	✓	✓

Common areas		Show on DA plans		Show on CGC/DC plans & specs		Certifier check	
Dwelling no.	Common area landscape	1	20.0	1	20.0	1	20.0
All dwellings	40.0	40.0	40.0	40.0	40.0	40.0	40.0

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 | DARSINRA_3_20_0 Certificate No: 137861484 Thursday, 13 April 2023 page 13/12

Notes

- In these commitments, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate, or the proposed development certificate, with the same identifying label or reference as is given to that dwelling, building or common area in this certificate.
- The table specifies the proposed development involves the construction of a building for non-residential and non-residential purposes (or the change of use of a building for such residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for the other dwelling or building).
- If a star or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: BASIX health does not recommend that accumulator, recycled water or potable rain water be used to irrigate lawns, plants which are consumed raw, or for irrigation to be used for animal consumption in areas with potable water supply.

Legend	
1. Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
2. Commitments identified with a ✓ in the "Show on CGC/DC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
3. Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment is required to be monitored in relation to the building or part, has been fulfilled).	

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Approved Plans
LDA No. LDA2023/0152
Date: 29 November 2023
Council Officer: Jason Chanphakeo
Subject to Conditions of Consent



Issue k:	01/11/2023
Issue l:	01/11/2023
Issue m:	01/11/2023
Issue n:	01/11/2023
Issue o:	01/11/2023
Issue p:	01/11/2023
Issue q:	01/11/2023
Issue r:	01/11/2023
Issue s:	01/11/2023
Issue t:	01/11/2023
Issue u:	01/11/2023
Issue v:	01/11/2023
Issue w:	01/11/2023
Issue x:	01/11/2023
Issue y:	01/11/2023
Issue z:	01/11/2023

drawing: BASIX
project: PROPOSED DUAL OCCUPANCY @ 16 MYRA AVENUE RYDE
client: PERFECTION BUILDING GROUP
drawn: A.M. scale: as shown
checked: J.E. date: JAN23
sheet size: A3
ref: 2022-146
Council
COR

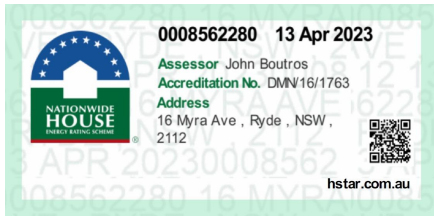
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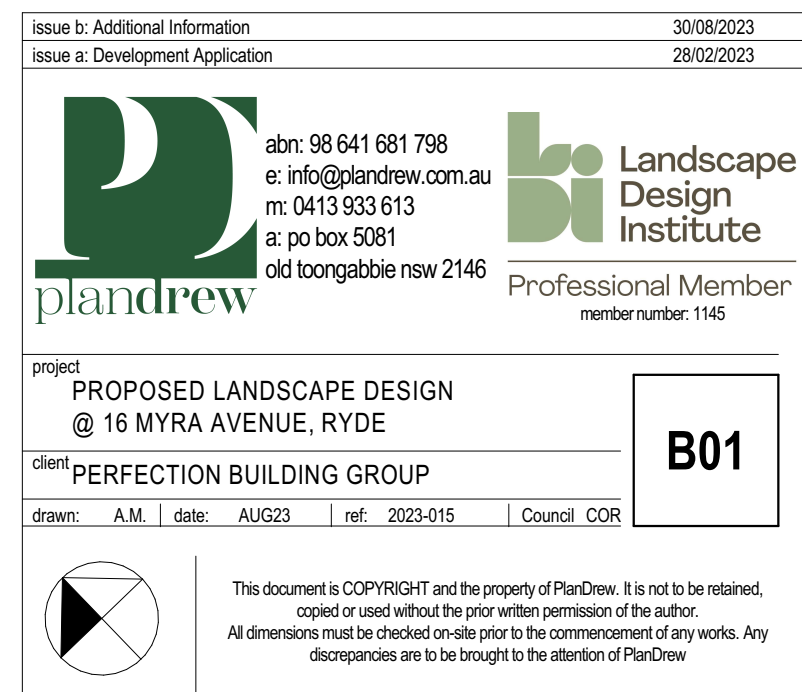
DESIGN
CORP
ARCHITECTS

16 dunlop street
north paramatta nsw 2151
ph: +61 2 9630 9911
mob: 0431 111 777
admin@designcorp.com.au
www.designcorp.com.au

nominated architect - joe el-sabbagh 8707

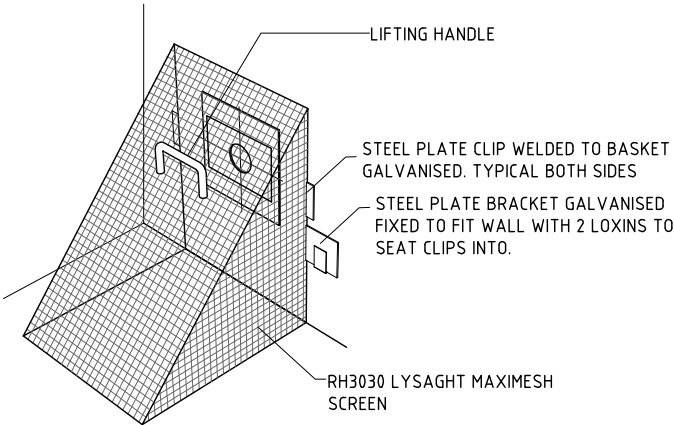
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CITY OF RYDE			
ON-SITE DETENTION CALCULATION SHEET			
DEVELOPMENT TYPE	Residential		
ADDRESS	16 Myra Avenue, Ryde (Dwelling 1)		
Catchment Zone	Zone 1		
Site Area	349.74 m ²	(A)	
65% Site Area	227.33 m ²		
Total Proposed Impervious	189.00 m ²	(B)	
% of site impervious	54.04 %		
Impervious area draining to Storage Facility	189.00 m ²	(C)	
Pervious area draining to Storage Facility	154 m ²	(D)	
Total area draining to Storage Facility	343.00 m ²	(E)	
Pervious area bypassing the Storage Facility	5.00 m ²	(F)	
Impervious area bypassing the Storage Facility	0.00 m ²	(G)	
((C) + (G)) / (C)	1.00	(L)	
Permitted Site Discharge (PSD)			
PSD per m ² = 0.0265*(L) ^{-1.37}	0.0265 L/s/m ²	(J)	
PSD	9.09 L/s		
Site Storage Requirement (SSR)			
SSR per m ²	0.0275 m ³ /m ²	(K)	
Initial SSR	9.43 m ³		
Rainwater Tank offset	9.43 m³		
SSR	1.10 m³		

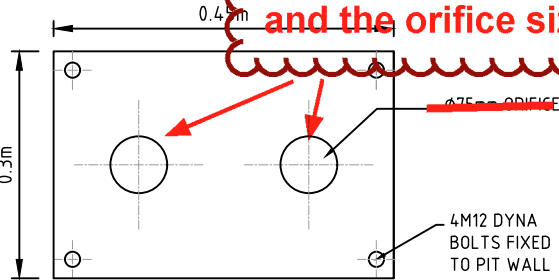
Outlet Control - using a Sharp Edged Orifice Plate			
Height Difference between top water level and Centre of Orifice	1.0980 m	(H)	
Orifice Diameter	75.0000 mm		



DEBRIS SCREEN DETAIL
NTS

CITY OF RYDE			
ON-SITE DETENTION CALCULATION SHEET			
DEVELOPMENT TYPE	Residential		
ADDRESS	16 Myra Avenue, Ryde (Dwelling 2)		
Catchment Zone	Zone 1		
Site Area	349.74 m ²	(A)	
65% Site Area	227.33 m ²		
Total Proposed Impervious	187.12 m ²	(B)	
% of site impervious	53.50 %		
Impervious area draining to Storage Facility	187.11 m ²	(C)	
Pervious area draining to Storage Facility	139 m ²	(D)	
Total area draining to Storage Facility	326.39 m ²	(E)	
Pervious area bypassing the Storage Facility	5.00 m ²	(F)	
Impervious area bypassing the Storage Facility	0.00 m ²	(G)	
((C) + (G)) / (C)	1.00	(L)	
Permitted Site Discharge (PSD)			
PSD per m ² = 0.0265*(L) ^{-1.37}	0.0265 L/s/m ²	(J)	
PSD	8.65 L/s		
Site Storage Requirement (SSR)			
SSR per m ²	0.0275 m ³ /m ²	(K)	
Initial SSR	8.98 m ³		
Rainwater Tank offset	8.98 m³		
SSR	2.80 m³		

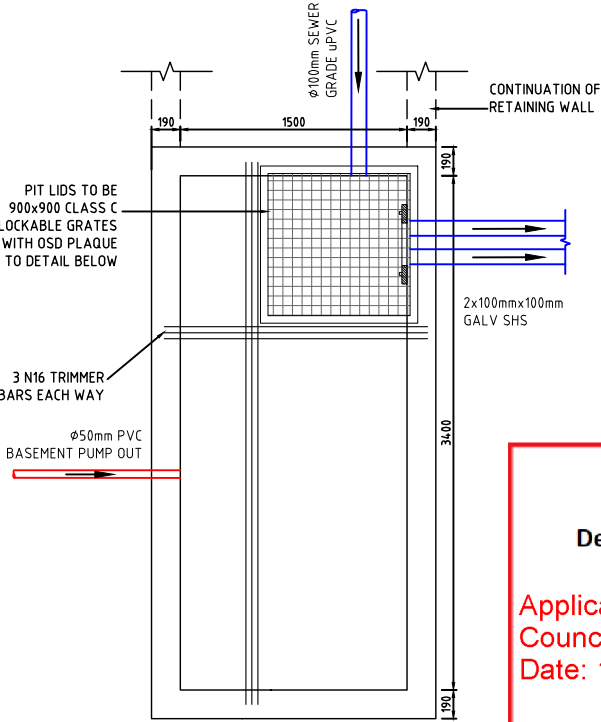
Outlet Control - using a Sharp Edged Orifice Plate			
Height Difference between top water level and Centre of Orifice	1.2480 m	(H)	
Orifice Diameter	75 mm		



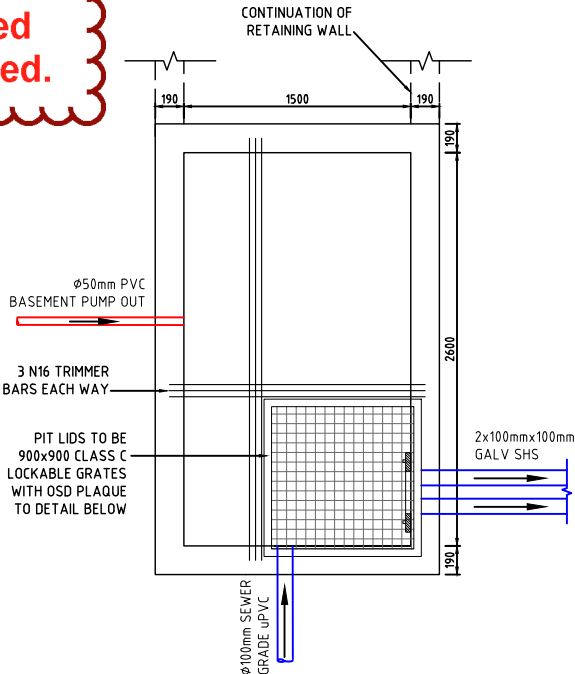
ORIFICE PLATE DETAIL
SCALE 1:10

PLATE TO BE 3 mm STAINLESS
STEEL MACHINE CUT

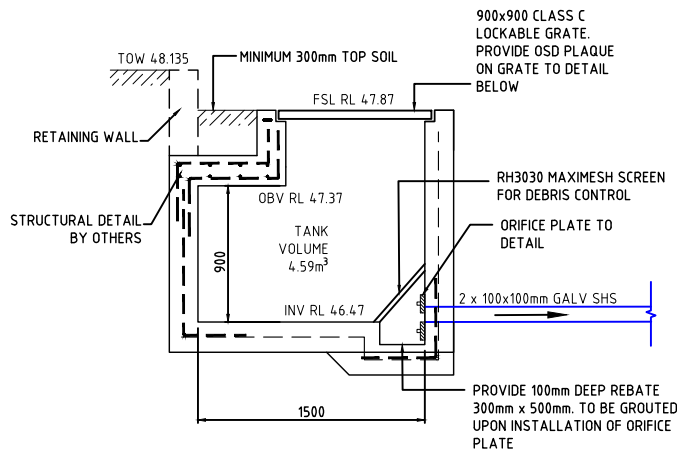
Approved Plans
LDA No. LDA2023/0152
Date: 29 November 2023
Council Officer: Jason Chanphakeo
Subject to Conditions of Consent



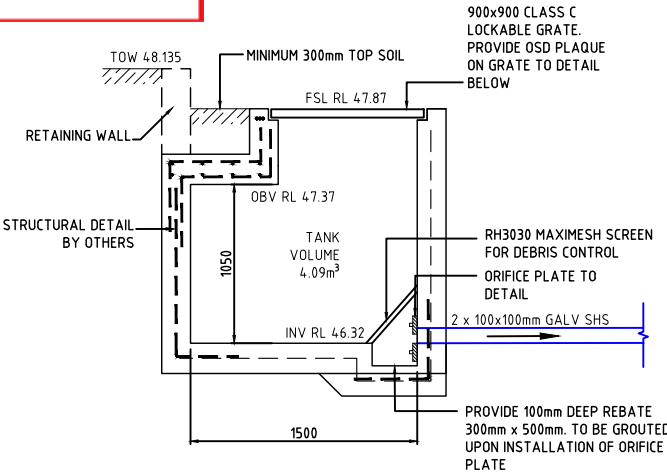
DWELLING 1 OSD TANK PLAN
SCALE 1:50



DWELLING 2 OSD TANK PLAN
SCALE 1:50



DWELLING 1 OSD TANK SECTION
SCALE 1:50



DWELLING 2 OSD TANK SECTION
SCALE 1:50

**THIS IS AN
ON-SITE STORMWATER
DETENTION SYSTEM**

REQUIRED BY CITY OF RYDE

IT IS AN OFFENCE TO REDUCE THE VOLUME OF THE
TANK OR BASIN OR TO INTERFERE WITH THE
ORIFICE PLATE THAT CONTROLS THE OUTFLOW

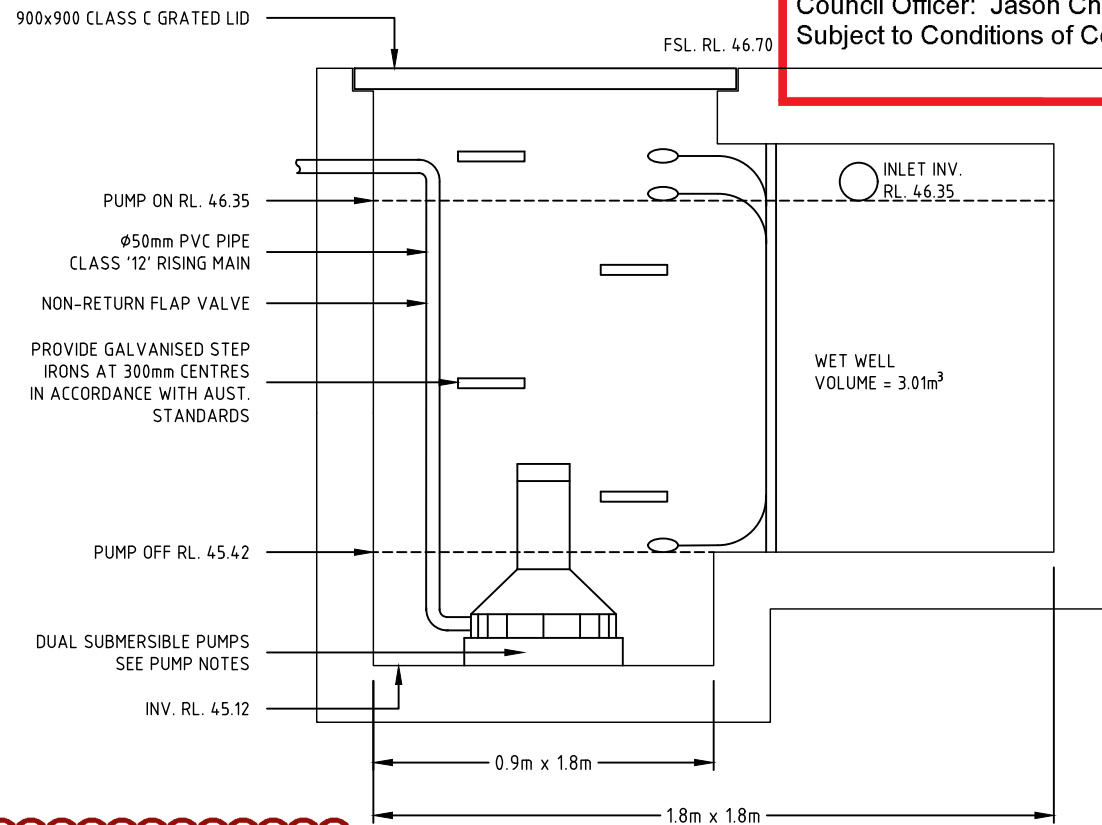
THE BASE OF THE OUTLET PIT AND THE
DEBRIS SCREEN MUST BE CLEANED OF DEBRIS AND
SEDIMENT ON A REGULAR BASIS BY THE OWNER

THIS PLATE MUST NOT BE REMOVED

A	PRELIMINARY CLIENT ISSUE	28/02/2023			
B	ADDED TRENCH GRATES, REMOVED PITS FROM TPZ	29/08/2023			
C	REVISED OSD PITS	04/09/2023			
D	REVISED OSD PITS	05/09/2023			
REVISION	AMENDMENT	ISSUE DATE	REV	AMENDMENT	ISSUE DATE

STRUCTURAL & CIVIL ENGINEERS

SUITE 303 / 29-31 LEXINGTON DRIVE NORWEST BUSINESS PARK, BELLA VISTA N.S.W. 2153	COPYRIGHT THIS DRAWING REMAINS THE PROPERTY OF CAM CONSULTING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT CAM CONSULTING WRITTEN CONSENT	PROJECT PROPOSED DUAL OCCUPANCY AT 16 MYRA AVENUE, RYDE NSW	DRAWING TITLE OSD DETAILS		
ALL CORRESPONDENCE TO: P.O. BOX 6080 BAULKHAM HILLS NSW 2153 PH: 8814 6191 FAX: 8814 5301 EMAIL: andrew@camconsulting.com.au		CLIENT PERFECT BUILDING GROUP	SCALES AS NOTED	DESIGNED I.B.	DRAFTED I.B.
			DRAWING NO. C23109 - DA02	APPROVED D.N.	REVISION D



BASEMENT PUMP OUT PIT DETAIL
SCALE 1:20

Design pump out system/sump volume as per Council's DCP 2014 Part 8.2, Chapter 1.3.7

BASEMENT PIT NOTES:

- AS PER CLAUSE 13.7 IN RYDE CITY COUNCIL STORMWATER MANAGEMENT TECHNICAL MANUAL, THE PUMP OUT PIT IS DESIGNED TO STORE TOTAL RUNOFF FROM CATCHMENT DURING A 100YR-3HR ARI EVENT.

UNIT 01

UNCOVERED CATCHMENT TO SUMP = 15.85 m²
100YR-3HR ARI RAINFALL = 102.00 mm
REQUIRED CAPACITY = 1.62 m³

UNIT 02

UNCOVERED CATCHMENT TO SUMP = 18.00 m²
100YR-3HR ARI RAINFALL = 102.00 mm
REQUIRED CAPACITY = 1.84 m³

AS PER AS3500.3:2018, CLAUSE 8.3.6, MINIMUM WET WELL CAPACITY SHALL BE 3m³ FOR EACH UNIT.

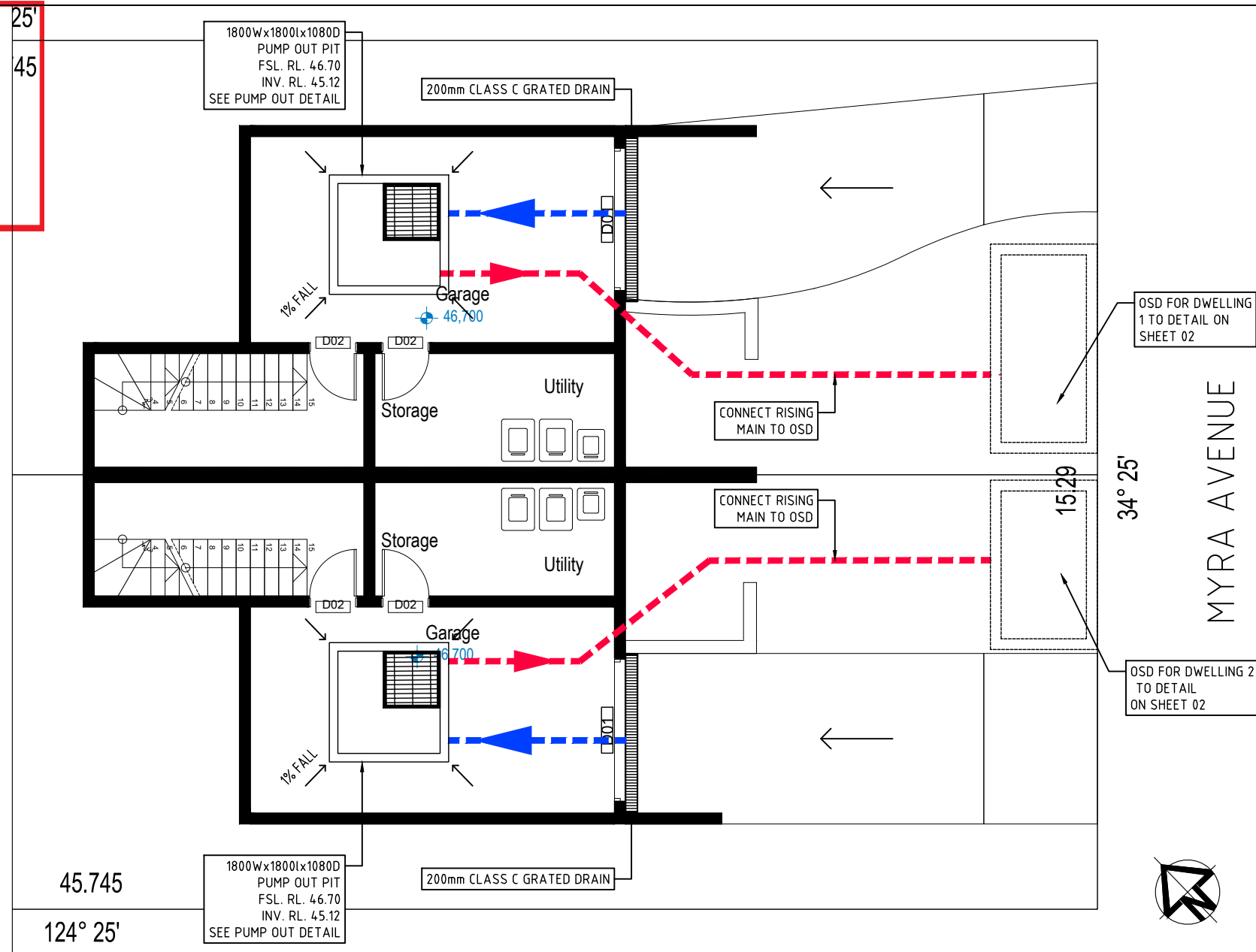
- THE PUMP OUT TANK IS TO HAVE A DUPLICATE OF PUMPS, EACH WITH A 4 L/s CAPACITY. THE PUMP IS TO BE SELECTED FROM RATING CURVES USING THE FOLLOWING PARAMETERS:

DESIGN PUMP RATE = 4 L/s
PUMP CONDUIT = 50mm
PUMP CONDUIT AREA = 0.0020m²
PUMP FLOW VELOCITY = 2.04m/s

VOLUME PUMPED IN 30mins = 7.2m³
FLOW RATE = 24.0 L/min
PUMPED HEAD LOSS (kV²/2g) = 0.63m
HEAD LOSS = 3.12m
PUMP HEAD = 3.75m

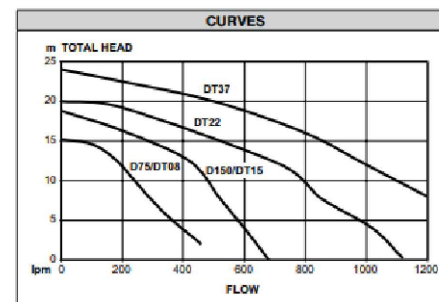
APPLYING DAVEY RATING CURVE (RIGHT) FOR SUBMERSIBLE DEWATERING PUMPS, 2x D75 OR SIMILAR PUMPS TO BE PROVIDED.

- PUMP CONTROL TO BE DESIGNED SO THAT PUMPS WORK ON ALTERNATE BASIS ENSURING THAT BOTH PUMPS HAVE EQUAL LOADS.
- OUTLET TO INVERT LEVEL TO GRAVITY SYSTEM IS TO ABOVE INLET OF GRAVITY SYSTEM.
- PUMPS ARE TO BE IN ACCORDANCE WITH AS3500.3 PART 9.4 WHERE SETTING UP THE CONTROLS.



BASEMENT DRAINAGE PLAN
SCALE 1:100

Submersible Dewatering Pumps



LEGEND PROPOSED

- STORMWATER PIPE
- GRATED PIT
- JUNCTION PIT
- SURFACE GRADE
- PAVEMENT LEVEL
- DESIGN CONTOURS
- KERB ONLY
- SWALE
- OSD CATCHMENT AREA

LEGEND EXISTING

- STORMWATER PIPE
- STORMWATER PIT
- EXISTING SPOT LEVEL
- EXISTING CONTOURS
- GAS LINE
- ELECTRICAL LINE
- KERB & GUTTER

Development Engineering Service
Approved Engineering Plans
Application Number: LDA2023/0152
Council Officer: HJ
Date: 12/09/23

REVISION	AMENDMENT	ISSUE DATE	REV	AMENDMENT	ISSUE DATE
A	PRELIMINARY CLIENT ISSUE	28/02/2023			
B	ADDED TRENCH GRATES, REMOVED PITS FROM TPZ	29/08/2023			
C	REVISED OSD PITS	04/09/2023			
D	REVISED OSD PITS	05/09/2023			



SUITE 303 / 29-31 LEXINGTON DRIVE
NORWEST BUSINESS PARK,
BELLA VISTA N.S.W. 2153

ALL CORRESPONDENCE TO:
P.O. BOX 6080 BAULKHAM HILLS BC
BAULKHAM HILLS NSW 2153
PH: 8814 6191 FAX: 8814 5301
EMAIL: andrew@camconsulting.com.au

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PROJECT
PROPOSED DUAL OCCUPANCY
AT
16 MYRA AVENUE, RYDE NSW
CLIENT
PERFECT BUILDING GROUP

DRAWING TITLE
BASEMENT DRAINAGE PLAN

SCALES	DESIGNED	DRAFTED
AS NOTED	I.B.	I.B.
DRAWING NO.	APPROVED	REVISION
C23109 - DA03	D.N.	D