



## Planning Committee

<b>Date:</b>	Thursday, 20 October 2016
<b>Time:</b>	6.00 pm
<b>Venue:</b>	Committee Room 1 - Wallasey Town Hall

**Contact Officer:** Victoria Simpson  
**Tel:** 0151 691 8271  
**e-mail:** [victoriasimpson@wirral.gov.uk](mailto:victoriasimpson@wirral.gov.uk)  
**Website:** <http://www.wirral.gov.uk>

**1. MINUTES (Pages 1 - 10)**

To approve the accuracy of the minutes of the meeting held on 15 September 2016.

**2. MEMBERS' CODE OF CONDUCT - DECLARATIONS OF INTEREST**

Members of the committee are asked whether they have any personal or prejudicial interests in connection with any application on the agenda and, if so, to declare them and state the nature of the interest.

**3. REQUESTS FOR SITE VISITS**

Members are asked to request all site visits before any application is considered.

**4. APP/16/00108: BURTONS FOODS, PASTURE ROAD, MORETON, CH46 8SE - DEMOLITION OF EXISTING INDUSTRIAL BUILDINGS AND HYBRID PLANNING APPLICATION, SEEKING FULL PLANNING PERMISSION FOR ACCESS TO MANUFACTURING UNITS TO THE EAST OF THE SITE; SECURITY BUILDING; WEIGHBRIDGE; CAR & CYCLE PARKING; LANDSCAPED BOUNDARY TREATMENT; AND ASSOCIATED INFRASTRUCTURE FOR BURTON'S BISCUIT COMPANY. OUTLINE PLANNING APPLICATION FOR 299 RESIDENTIAL DWELLINGS, ASSOCIATED OPEN SPACE AND INFRASTRUCTURE WITH ALL MATTERS EXCEPT FOR ACCESS RESERVED FOR FUTURE DETERMINATION. (Pages 11 - 36)**

5. **OUT/16/00439: 3 BARKER ROAD, IRBY, CH61 3XH - OUTLINE APPLICATION FOR THE DEMOLITION OF EXISTING BUNGALOW AND ERECTION OF 3 NO. DETACHED DORMER BUNGALOWS WITH GARAGES/PARKING (AMENDED DESCRIPTION) (Pages 37 - 44)**
6. **APP/16/00527: BARLEYFIELD HOUSE, BARLEYFIELD, PENSBY, WIRRAL - 14 NO NEW BUILD RESIDENTIAL PROPERTIES (AMENDED LAYOUT OF PLOTS 3-6 INC) (Pages 45 - 54)**
7. **APP/16/00633: CEDAR COTTAGE, 10 CROFT DRIVE WEST, CALDY, CH48 2JG - DEMOLITION OF EXISTING COTTAGE, AND CONSTRUCTION OF LARGE SINGLE DWELLING, INCLUDING ACCESS AND LANDSCAPING WORKS (Pages 55 - 64)**
8. **OUT/16/00706: 83 SAUGHALL MASSIE LANE, UPTON, CH49 6LZ - OUTLINE CONSENT FOR A DORMER BUNGALOW WITH SOME MATTERS RESERVED (AMENDED DESCRIPTION) (Pages 65 - 70)**
9. **APP/16/00823: ASHTON COURT, BANKS ROAD, WEST KIRBY CH48 0RJ - DEMOLITION OF EXISTING BUILDINGS AND ERECTION OF 14 NO. NEW-BUILD RESIDENTIAL PROPERTIES. (Pages 71 - 76)**
10. **APP/16/00888: 4 BERESFORD ROAD, LISCARD, CH45 0JJ - RETROSPECTIVE CONSENT FOR RAISED DECKING AND ERECTION OF A PRIVACY SCREEN (AMENDED PLANS) (Pages 77 - 80)**
11. **APP/16/01016: MASONIC HALL, MANOR ROAD, LISCARD, CH45 7LU - USE OF CAR PARK FOR MOTORCYCLE COMPULSORY BASIC TRAINING. MAXIMUM OF 4 LEARNERS AT A TIME. AMENDED LOCATION PLAN RECEIVED (Pages 81 - 86)**
12. **APP/16/01018: LAND NORTH OF TYRER STREET AND RIBBLE STREET, BIRKENHEAD, CH41 8HY - PROPOSED RESIDENTIAL DEVELOPMENT COMPRISING 52NO. DWELLINGS. (Pages 87 - 96)**
13. **APP/16/01089: LAND ADJACENT TO 3 DALE GARDENS, HESWALL, CH60 6TQ - NEW BUILD DWELLING WITH ACCESS FROM OLDFIELD ROAD (Pages 97 - 106)**
14. **APP/16/01133: BRIARWOOD, 1 OLD MILL CLOSE, GAYTON, CH60 2UH - TWO STOREY SIDE EXTENSION & REAR SUN ROOM (Pages 107 - 110)**
15. **APP/16/01220: LAND ADJACENT 103 PIPERS LANE, HESWALL, CH60 9HR - NEW BUILD DWELLING 'JENGA HOUSE' AT LAND ADJACENT 103 PIPERS LANE (Pages 111 - 116)**
16. **PLANNING APPLICATIONS DECIDED UNDER DELEGATED POWERS BETWEEN 04/09/2016 AND 09/10/2016 (Pages 117 - 148)**

**17. ANY OTHER URGENT BUSINESS APPROVED BY THE CHAIR**

This page is intentionally left blank

# Public Document Pack Agenda Item 1

## PLANNING COMMITTEE

Thursday, 15 September 2016

Present: Councillor A Leech (Chair)

Councillors D Realey E Boulton  
P Brightmore K Hodson  
S Foulkes P Cleary  
J Walsh I Lewis  
D Elderton S Kelly

Deputies: Councillors A Davies (for I Williams)  
M Sullivan (for T Johnson)

### 54 MINUTES

The Strategic Director for Transformation and Resources submitted the minutes of the meeting held on 18 August 2016.

Councillor S Foulkes requested that minute 22 (meeting held 21 July), be amended to state his declaration of interest to be by virtue of him being acquainted with the Objector.

Councillor P Cleary identified that his apologies had not been recorded on the previous meeting.

**Resolved – That the minutes be approved subject to the above amendments.**

### 55 MEMBERS' CODE OF CONDUCT - DECLARATIONS OF INTEREST

Councillor A Leech declared a personal interest in connection with item 4 ( Pasture Road, Moreton), by virtue of her being Ward Councillor.

### 56 REQUESTS FOR SITE VISITS

The following site visits were unanimously approved;

**APP/16/00108: PASTURE ROAD, MORETON, CH46 8SE – DEMOLITION OF EXISTING INDUSTRIAL BUILDINGS AND HYBRID PLANNING APPLICATION, SEEKING FULL PLANNING PERMISSION FOR ACCESS TO MANUFACTURING UNITS TO THE EAST OF THE SITE; SECURITY BUILDING; WEIGHBRIDGE; CAR & CYCLE PARKING; LANDSCAPED BOUNDARY TREATMENT; AND ASSOCIATED INFRASTRUCTURE FOR**

**BURTON'S BISCUIT COMPANY. OUTLINE PLANNING APPLICATION FOR 299 RESIDENTIAL DWELLINGS, ASSOCIATED OPEN SPACE AND INFRASTRUCTURE FOR FUTURE DETERMINATION.**

**APP/16/00527: BARLEYFIELD HOUSE, BARLEYFIELD, PENSBY, WIRRAL – 14 NO NEW BUILD RESIDENTIAL PROPERTIES ( AMENDED LAYOUT OF PLOTS 3-6 INC) – STARFISH COMMERCIAL LTD.**

**APP/16/00888: 4 BERESFORD ROAD, LISCARD, CH45 0JJ – RETROSPECTIVE CONSENT FOR RAISED DECKING AND ERECTION OF A PRIVACY SCREEN ( AMENDED PLANS).**

- 57 **APP/16/00108: PASTURE ROAD, MORETON, CH46 8SE - DEMOLITION OF EXISTING INDUSTRIAL BUILDINGS AND HYBRID PLANNING APPLICATION, SEEKING FULL PLANNING PERMISSION FOR ACCESS TO MANUFACTURING UNITS TO THE EAST OF THE SITE; SECURITY BUILDING; WEIGHBRIDGE; CAR & CYCLE PARKING; LANDSCAPED BOUNDARY TREATMENT; AND ASSOCIATED INFRASTRUCTURE FOR BURTON'S BISCUIT COMPANY. OUTLINE PLANNING APPLICATION FOR 299 RESIDENTIAL DWELLINGS, ASSOCIATED OPEN SPACE AND INFRASTRUCTURE WITH ALL MATTERS EXCEPT FOR ACCESS RESERVED FOR FUTURE DETERMINATION.**

**Resolved** – That consideration of this item be deferred for a formal site visit.

- 58 **APP/16/00527: BARLEYFIELD HOUSE, BARLEYFIELD, PENSBY, WIRRAL - 14 NO NEW BUILD RESIDENTIAL PROPERTIES (AMENDED LAYOUT OF PLOTS 3-6 INC) - STARFISH COMMERCIAL LTD**

**Resolved** – That consideration of this item be deferred for a formal site visit.

- 59 **APP/16/00694:HURSTWOODS INTERNATIONAL LTD, ALEXANDRA ROAD, NEW BRIGHTON, CH45 0JZ - ERECTION OF 2 NO. FOUR-STOREY 80-BED RESIDENTIAL CARE HOMES WITH ASSOCIATED EXTERNAL WORKS AND LANDSCAPING AFTER DEMOLITION OF EXISTING FOOD PROCESSING FACTORY AND ASSOCIATED BUILDINGS**

The Assistant Chief Executive submitted the above application for consideration.

A Petitioner addressed the Committee

The Agent addressed the Committee

A Ward Councillor addressed the Committee.

On a motion by Councillor Elderton and seconded by Councillor Foulkes it was:

**Resolved (12:1) That the application be approved subject to the following conditions:**

- 1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.**
  
- 2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 20th May 2016 and listed as follows: 1301.014 102; 1301.014 104; 1301-014 110; 1301-014 B110; 1301-014 111; 1301-014 B111; 1301-014 200; 1301-014 B200; 1301.014 210; 1301.014 300; 1301.014 400;**
  
- 3. Before any construction commences and notwithstanding the details stated on the approved plans, samples of the materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.**
  
- 4. Construction of the development authorised by this permission shall not begin until the Local Planning Authority (LPA) has approved in writing a full scheme of works for the construction of the new vehicle accesses from the highway and any amendments to the existing highway made necessary by this development, including details of the new vehicle crossing accesses constructed in accordance with the LPA commercial crossing specification and the reinstatement to standard footway level of any existing access from the highway rendered obsolete by the development. The approved works shall be completed in full in accordance with the LPA written approval prior to occupation of the development**
  
- 5. No development shall take place until details of secure covered cycle parking and/or storage facilities have been submitted to and approved in writing by the Local Planning Authority. These facilities shall be provided in accordance with the approved details and made available for use prior to the first use of the development hereby permitted and shall be retained for use at all times thereafter.**
  
- 6. The development shall not be occupied until a full Travel Plan (based on the**

Interim Travel Plan submitted) has been submitted to and approved in writing by the Local Planning Authority. The provisions of the Travel Plan shall be implemented and operated in accordance with the timetable contained therein unless otherwise agreed in writing with the Local Planning Authority.

7. No development shall take place until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

8. Arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the curtilage of the site, in accordance with details previous submitted to and agreed in writing by the Local Planning Authority, prior to the first occupation of the building.

9. Surface water drainage works shall be carried out in accordance with the details contained within the submitted Drainage Strategy (*July 2016, Reference: LRD28377, Sutcliffe*) approved in writing by the Local Planning Authority, in conjunction with the Lead Local Flood Authority.

The surface water drainage scheme shall be fully constructed prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the approved Drainage Strategy, or within any other period as may subsequently be agreed, in writing, by the Local Planning Authority in consultation with the Lead Local Flood Authority.

10. No development shall commence until details of an appropriate management and maintenance plan for the sustainable drainage system for the lifetime of the development have been submitted to the Local Planning Authority, in conjunction with the Lead Local Flood Authority, by the mean of an appropriate legal agreement.

Details shall include:

- i. the arrangements for adoption by a statutory undertaker or management and maintenance by a Residents' Management Company
- ii. arrangements concerning appropriate funding mechanisms for its on-going maintenance of all elements of the sustainable drainage



**system (including mechanical components) and will include elements such as:**

- a. on-going inspections relating to performance and asset condition assessments**
- b. operation costs for regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime;**
- iii. means of access for maintenance.**

**The plan shall be implemented in accordance with the approved details prior to first occupation of any of the approved dwellings, or completion of the development, whichever is the sooner. Thereafter the sustainable drainage system shall be managed and maintained in accordance with the approved details.**

**11. Notwithstanding the details shown on the approved plans, a full scheme of hard and soft landscaping shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. The approved scheme shall be implemented in full prior to first occupation of the site unless otherwise agreed in writing by the Local Planning Authority**

**12. The mitigation measures set out in Section 6 of the submitted Noise and Vibration Assessment (Acoustic & Engineering Consultants Limited, 9 May 2016) shall be implemented in full prior to first occupation and retained as such thereafter**

**13. Notwithstanding the details set out in the Noise and Vibration Assessment (Acoustic & Engineering Consultants Limited, 9 May 2016), a further assessment of vibration levels shall be submitted and approved in writing by the Local Planning Authority. Any conclusions of such a report shall be implemented in full prior to first occupation of the development**

**14. Prior to commencement of development, detailed drawings shall be submitted to and approved by the Local Planning Authority to indicate the finished site and ground floor levels intended at the completion of the development in relation to the existing site levels and the levels of the adjoining land. The development shall be carried out and completed in accordance with the details approved**

**15. Prior to commencement of development full details of ground levels, earthworks and excavations to be carried out near to the railway boundary shall be submitted to and approved in writing by the Local Planning Authority**

**16. Full details of all boundary treatments shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented in full and retained as such thereafter unless otherwise agreed in writing by the Local Planning Authority**

**17. No development shall commence on site until details of the stopping up of all existing accesses rendered obsolete by the development hereby approved, both pedestrian and vehicular, have been submitted to and approved in writing by the Local Planning Authority. Such stopping up shall include for all footways to be reinstated to standard footway levels. The stopping up shall take place in accordance with the approved details prior to the first occupation of the development.**

60 **APP/16/00811: CLEARED LAND TO THE EAST OF NEW CHESTER ROAD, ROCK FERRY,WIRRAL, CH42 2AZ - ERECTION OF 112 TWO / TWO AND A HALF STOREY FAMILY HOMES, LANDSCAPING AND ASSOCIATED WORKS**

The Assistant Chief Executive submitted the above application for consideration.

On a motion by Councillor Elderton and seconded by Councillor Realey it was:

**Resolved (13:0) That the application be approved subject to the following conditions:**

**1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.**

**2. Before any construction commences, samples of the facing/roofing/window materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.**

**3. No development shall commence until full details of a scheme for a sustainable drainage system to serve the site, and method of implementation including arrangements to secure funding and maintenance for the lifetime of the development through an appropriate legally binding agreement have been**

submitted to and approved in writing by the Local Planning Authority in consultation with Lead Local Flood Authority. The approved scheme shall be implemented in accordance with the approved details and timetable. Thereafter the sustainable drainage system shall be managed and maintained in accordance with the approved scheme.

4. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 22nd June 2016 and listed as follows: 1153-P-01, 1153-S-01, 1153-P-01-08, 1153-P-01-09, 1153-P-11, 153-P-12, 153-P-13, 1153-P17

5. Prior to the commencement of development a Construction Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The provisions of the Construction Management Plan shall be implemented in full during the period of construction and shall not be varied unless otherwise agreed in writing with the Local Planning Authority.

6. Details of the proposed landscaping shall be submitted to and approved by the Local Planning Authority before any works commence on site, the landscape work to be completed during the first available planting season following completion of the development hereby approved and shall be maintained thereafter to the satisfaction of the Local Planning Authority. The tree species for planting shall be native and typical of the Local Area.

7. The approved hard and soft landscaping scheme hereby shall be carried out prior to the occupation of any part of the development or in accordance with a timetable to be agreed in writing with the Local Planning Authority. Any trees or plants that within a period of five years after planting, are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective shall be replaced with others of a species, size and number as originally approved in the first available planting season unless the Local Planning Authority gives its written consent to any variation.

8. No development shall take place until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the dwellings are occupied.

9. No development shall take place until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in

writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

10. No tree, shrub or hedgerow felling, or any vegetation management and/or cutting operations should take place during the period 1<sup>st</sup> March to 31<sup>st</sup> August inclusive unless inspected immediately beforehand by a competent ecologist and found to be free of active nests.

11. No development shall take place until a full scheme of works and a timetable for the construction of the new highways and/or amendments of the existing highway made necessary by this development. including new carriageways, footways, street lighting, surface water drainage, traffic signs, road markings, traffic calming, TRO's tactile paved pedestrian crossings, street furniture, access to the adjacent highway, road safety audit and monitoring has been submitted to and agreed in writing with the Local Planning Department. The approved works shall be completed in accordance with the LPA written approval prior to occupation of the development.

12. Foul and surface water shall be drained on separate systems

61 APP/16/00888: 4 BERESFORD ROAD, LISCARD, CH45 0JJ -  
RETROSPECTIVE CONSENT FOR RAISED DECKING AND ERECTION OF  
A PRIVACY SCREEN (AMENDED PLANS)

Resolved – That consideration of this item be deferred for a formal site visit.

62 APP/16/00950: GEG MOTORCYCLE RIDER TRAINING, 12 BASSENDALE  
ROAD, BROMBOROUGH, CH62 3QL, COMPOUND CHANGE OF USE  
APPLICATION FOR D2 AND B1/B2/B8

The Assistant Chief Executive submitted the above application for consideration.

On a motion by Councillor Foulkes and seconded by Councillor Elderton it was:

Resolved (13:0) That the application be approved subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 19th July 2016 and listed as follows: 15.27.JJ.COM.002 (Dated 20.05.2016)

3. The premises shall be only be used as gymnasium or for industrial purposes as described and set out in the planning statement submitted with the planning application information, including for no other purpose within D2 of the schedule to the Town and Country Planning Use Classes (Amendment) Order 2015. or any subsequent Order or statutory provision revoking or re-enacting that Order.

4. This permission shall be for a limited period of 10 years only expiring on 16/09/2026 when (unless a further application has been submitted to and approved by the Local Planning Authority) the D2 use hereby approved shall be discontinued and/or works hereby approved shall be removed and the B2 use of the property reinstated to the satisfaction of the Local Planning Authority.

63 **APP/16/00951: BP PETROL STATION, BRIMSTAGE ROAD, BEBINGTON, CH63 3EL - REDEVELOPMENT OF EXISTING PETROL FILLING STATION (VARIATION OF CONDITION 4 OF PLANNING PERMISSION APP/15/01640 TO READ "THE PETROL FILLING STATION AND ASSOCIATED SHOP HEREBY PERMITTED SHALL BE CLOSED TO THE PUBLIC BETWEEN THE HOURS OF 23:00 AND 07:00"**

The Assistant Chief Executive submitted the above application for consideration.

A Petitioner addressed the Committee

The Agent addressed the Committee

On a motion by Councillor Realey and seconded by Councillor Hodson it was:

**Resolved (11:2) That the application be approved subject to the following conditions:**

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

2. The development hereby permitted shall be carried out in accordance with

the approved plans received by the local planning authority on 23rd December 2015 and listed as follows: 30063-20; 30063-21; 30063-22; 30063-23; 30063-24

3. Prior to the development first being brought into use, all boundaries with residential properties shall have a close-boarded fence to a minimum height of 1.8 metres, and this shall be retained as such unless otherwise agreed in writing by the Local Planning Authority

4. The petrol filling station and associated shop hereby permitted shall be closed to the public between the hours of 23:00 and 07:00

5. No servicing (including deliveries) of the petrol filling station and shop hereby permitted shall take place between the hours of 22:00 and 08:00

64 **PLANNING APPLICATIONS DECIDED UNDER DELEGATED POWERS BETWEEN 05/08/2016 AND 04/09/2016**

The Assistant Chief Executive submitted a report detailing planning applications decided under delegated powers between 05/08/2016 and 04/09/2016.

**Resolved** – That the report be noted.

---

## Planning Committee

20 October 2016

**Reference:**  
APP/16/00108

**Area Team:**  
North Team

**Case Officer:**  
Ms J Storey

**Ward:**  
Leasowe & Moreton  
East

**Location:**

Burtons Foods, PASTURE ROAD, MORETON, CH46 8SE

**Proposal:**

Demolition of existing industrial buildings and hybrid planning application, seeking full planning permission for access to manufacturing units to the east of the Site; security building; weighbridge; car & cycle parking; landscaped boundary treatment; and associated infrastructure for Burton's Biscuit Company. Outline planning application for 299 residential dwellings, associated open space and infrastructure with all matters except for access reserved for future determination.

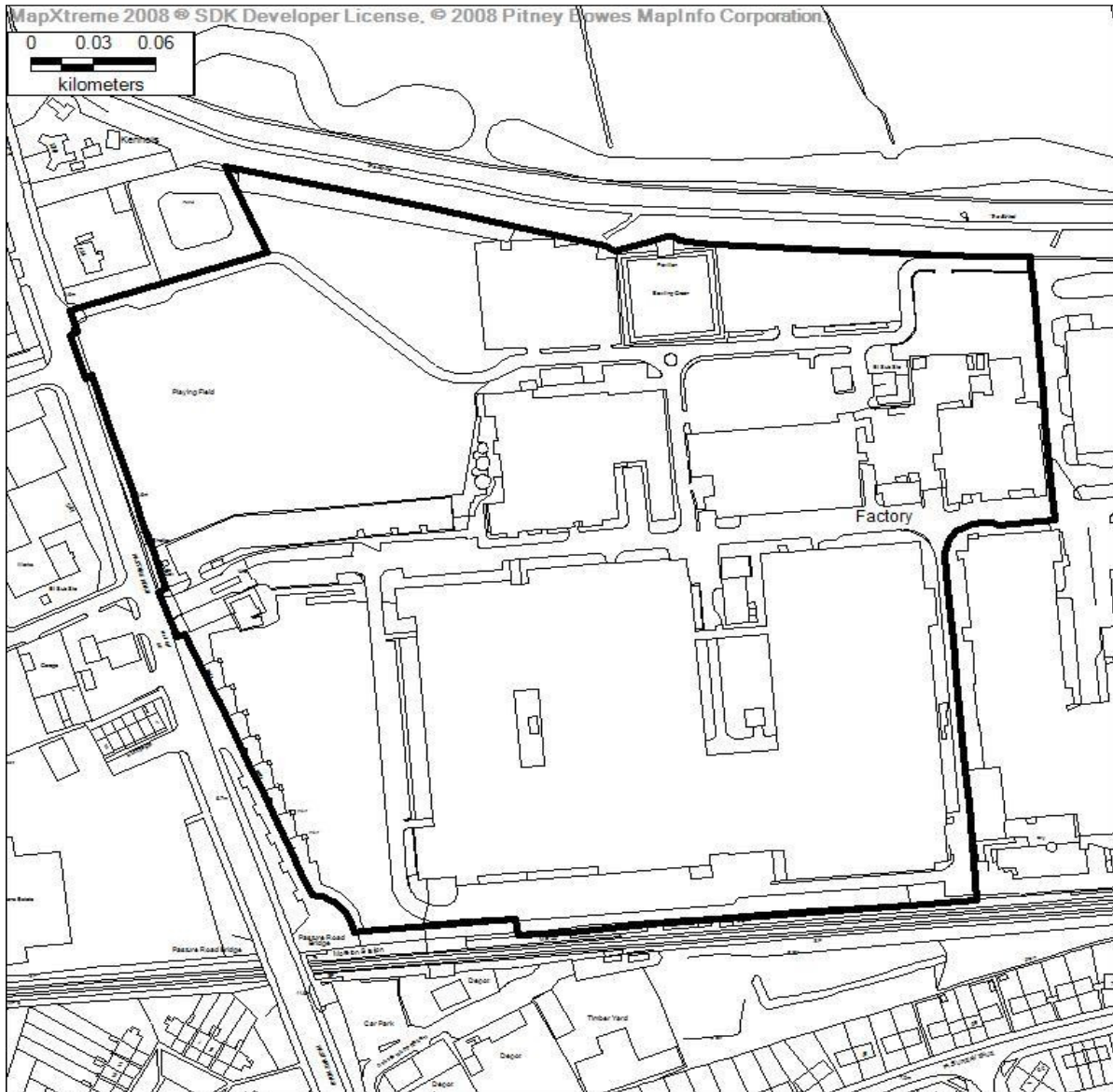
**Applicant:**

Burton's Biscuits Company

**Agent :**

Bilfinger GVA

**Site Plan:**



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan Designation:**

Washland  
Primarily Industrial Area

**Planning History:**

Location: Burtons Foods, PASTURE ROAD, MORETON, CH46 8SE  
Application Type: Outline Planning Permission  
Proposal: Demolition of the existing buildings and structures to facilitate mixed-use development comprising residential(class C3) and Employment (class B1, B2 & B8) uses, erection of a new security hut, access road and enhancement of the existing access.  
Application No: OUT/14/00022  
Decision Date: 08/05/2014  
Decision Type: Refuse

Location: Burtons Foods, Pasture Road, Moreton, Wirral, CH46 8SE  
Application Type: Full Planning Permission  
Proposal: Removal of existing window & replace with fire door  
Application No: APP/09/05206  
Decision Date: 01/05/2009  
Decision Type: Approve

Location: Burtons Foods, Pasture Road, Moreton, Wirral, CH46 8SE  
Application Type: Full Planning Permission  
Proposal: Erection of new raised dock and building enclosure incorporating two lorry loading docks and provision of floodlighting.  
Application No: APP/04/06525  
Decision Date: 02/09/2004  
Decision Type: Approve

Location: Burton's Foods, Pasture Road, Moreton, Wirral, CH46 8SE  
Application Type: Advertisement Consent  
Proposal: Proposed new illuminated signs  
Application No: ADV/02/05050  
Decision Date: 05/03/2002  
Decision Type: Approve

**Summary Of Representations and Consultations Received:****REPRESENTATIONS:**

Having regard to the Council's Guidance on Planning Applications 140 notifications were sent to surrounding properties and site notices were displayed near the site. At the time of writing, a qualifying petition has been received requesting that a condition be applied to any planning approval to ensure future maintenance of the existing water feature to the front of the site.

51 individual letters of support have been received in support of the proposal.

2 letters of objection these can be summarised as:-

- infrastructure of Moreton is already overloaded
- have to wait for doctors' appointments
- roads in and out of Moreton are a nightmare during rush hour
- flood risk will be increased
- demolished factory block might release asbestos
- existing noise from the factory and delivery lorry's disturbs sleep
- the company who are doing this have only mail dropped details of the development to certain parts of Moreton

CBRE on behalf of Premier Foods also raise concerns that the consequences of residential



development within close proximity to manor bakeries could have a detrimental impact upon the operational efficiency of its business. As such are keen to ensure that the noise assessment supporting the application is robust and accurately assesses and takes into account of all surrounding land uses. Does not consider that the that the submitted noise assessment does not adequately consider the potential impacts of the industrial operations associated with Manor Bakeries, Typhoo or the Burton's Biscuits Chocolate Refinery upon the occupants of the proposed developments. Have reviewed the baseline noise data against the identified hours of operation and are concerned that no weekend noise surveys were undertaken at any point when general ambient noise levels in the area would be reduced e.g. when general ambient noise levels would be in the area would be reduced. Manor Bakeries operates at a weekend, we would expect consideration of potential weekend noise impacts when the bakery is operational. Dissatisfied that the construction assessment provided is limited only to impacts on surrounding residential receptors. The assessment makes no reference to the potential impacts of piling on the directly adjacent industrial uses.

**Wirral Society** - support the proposal, whilst regretting the demolition of the interesting factory buildings, we nevertheless feel that the proposal to demolish it is the right one. The construction of new houses on the site will make a useful contribution to the local economy and reduce the pressure for building on the urban fringes of the Borough

#### CONSULTATIONS:

**Head of Environment and Regulation (Traffic and Transport Division)** – No objections

**Head of Environment and Regulation (Pollution Control)** - No Objections subject to conditions.

**Merseytravel** - No objections subject to the provision for suitable public transport enhancements

**Natural England** - No objections

**Environment Agency** - no objection in principle to the proposed development. Reviewed the supporting documents with regards to flood risk (Environmental Statement, Volume 1 – Main Report, December 2016, and Environmental Statement, Volume 2 – Technical Appendices, 14.1 – Flood Risk Assessment, Ref: CIV 15138/FRA-R1, December 2016) and it is the Agency's view outline planning permission for development would be conditionally acceptable from a flood risk perspective, subject of course to the necessary exception and sequential tests being carried out (as required by the National Planning Policy Framework (NPPF)).

**Merseyside Environmental Advisory Service (MEAS)** - No objections

**Network Rail** - No objections in principle

**United Utilities** - No objections subject to conditions attached to any approval - relating to the submission of details relating to foul drainage, and surface water drainage.

**Sports England** - Object on the grounds that the proposal does not accord with any of the exceptions in Sport England's Playing Fields policy or paragraph 74 of the National Planning Policy Framework

**Head of Housing** - support the proposal

#### **Director's Comments:**

Consideration of this application was deferred from the Planning Committee on 15th September to allow for a formal Members site visit to take place.

#### **REASON FOR REFERRAL TO PLANNING COMMITTEE**

This application is for Major Development and under the provisions of the Scheme of Delegation for Determining Planning Applications this application is required to be considered by the Planning Committee. Councillor Blakeley has also asked for the scheme to be taken out of delegation.

#### **INTRODUCTION**

Planning permission is sought for the following:

- a) outline planning permission for 299 residential dwellings (Use Class C3) with all matters

reserved apart from access; and,

b) full planning permission for a new access road, construction of a new security hut, a weighbridge, car and cycle parking facilities, associated landscaped boundary treatment and infrastructure.

The works would involve the demolition of the main original factory unit, which is adjacent to Moreton Railway Station and faces Pasture Road.

The site was originally developed for the production of confectionary by Cadbury's in the early 1950s. Expansion of the original buildings and production was extended through the 1950s, 60s and 70s and employed 4,000 staff at the peak of its operation. During the 1980s the business was subject to a management buyout and became Premier Brands UK Ltd. From 2007 onwards buildings and operations within the site began to close and operations contracted. The existing buildings on the site are now all vacant. Manor Bakeries and Typhoo Tea continue to operate on the adjoining land, to the immediate east.

This application seeks to address the previous reasons for refusing residential development on this designated employment site and its landscaped frontage, which are considered in the Directors comments below. The main issues relate to the need for employment and housing land, the prospects of employment development coming forward in the longer term and whether or not the current proposal would constitute sustainable development.

### **PRINCIPLE OF DEVELOPMENT**

The site is designated as a Primarily Industrial Area in the Unitary Development Plan (UDP). As there is no provision for residential development under UDP Policy EM8, the application is a departure from the Wirral Unitary Development Plan and has been advertised as such.

### **SITE AND SURROUNDINGS**

The application site comprises of 12.90 hectares of land (the outline application extends to 9.7 ha and the full planning application area extends to 3.2 ha) including vacant industrial buildings and access roads plus an open area of disused playing fields and a bowling green to its north and west. The site is defined by the River Birket to the north, Pasture Road to the west, Morton Railway Station and rail track to the south and industrial buildings (which are not part of this residential application) to the east. The main road frontage along Pasture Road contains an area of landscaping and a water feature.

The main Primarily Residential Area is located beyond a storage depot, workshops and builders merchants on the opposite side of the railway track to the south of the site. In addition, a kennels is located approximately 100m from the north west corner of the site. While small areas of sporadic housing can be found along Pasture Road, the area as a whole is predominantly characterised by industrial employment uses. The site adjoins the remaining parts of the Burton's Foods, Premier Foods/Manor Bakeries and Typhoo Tea industrial complex to the east and the Tarran Industrial Estate is located to the immediate west, on the opposite side of Pasture Road.

The site contains a former company playing field on the western side and a bowling green along the northern boundary, adjacent to the River Birket, to the north. The total area of sports provision equates to approximately 2.4 ha.

The site is 700m from Mersey Narrows and North Wirral Foreshore SPA/Ramsar. Land directly to the north, including the Ditton Lane Nature Area and the fields to the north, is identified as a WeBS count sector and provides supporting habitat for bird species for which the SPA/Ramsar has been internationally designated.

### **POLICY CONTEXT**

The statutory development plan consists of the Wirral Unitary Development Plan (UDP adopted February 2000 and saved by Direction of the Secretary State on 18 September 2007) and the Joint Waste Local Plan for Merseyside and Halton (adopted 18 July 2013). UDP policies relevant to this application include:

Policy URN1 Development and Urban Regeneration  
Policy EM8 Development within Primarily Industrial Areas

Policy EM6	Criteria for New Employment Development
Policy EM7	Environmental Criteria for New Employment Development
Policy HS4	Criteria for New Housing Development
Policy HSG2	Affordable Housing
Policy HS6	Principles for Affordable Housing
Policy GR5	Landscaping and New Development
Policy GR6	Greenspace within New Family Housing Development
Policy REC1	Principles for Sport & Recreation
Policy RE11	Criteria for Children's Play Facilities
Policy NC1	Protection of Sites of International Importance for Nature Conservation
Policy NC5	Protection of Sites of Local Importance for Nature Conservation
Policy NC7	Species Protection
Policy TRT1	Provision for Public Transport
Policy TRT3	Transport and the Environment
Policy TR8	Criteria for the Design of Highway Schemes
Policy TR9	Requirements for Off-Street Parking
Policy TR11	Provision for Cyclists in Highway and Development Schemes
Policy WAT1	Fluvial and Tidal Flooding
Policy WA1	Development and Flood Risk
Policy WA2	Development and Land Drainage
Policy WA5	Protecting Surface Waters
Policy WA6	Development within River Corridor
Policy PO4	Noise Sensitive Development.

Relevant Policies in the Joint Waste Local Plan (adopted 18 July 2013) include:

- Policy WM8 – Waste Prevention and Resource Management
- Policy WM 9 – Sustainable Waste Management Design and Layout for New Development

The site is designated as part of a Primarily Industrial Area shown on the Unitary Development Plan (UDP) Proposals Map. Strategic UDP Policy URN seeks to ensure full and effective use of land is made within urban areas. This should be read in conjunction with UP Policy EM, which makes provision for uses within Use Classes Be, Be and Be and proposals for the reconstruction, extension or expansion of existing business. A proposal for residential development is therefore a departure from the UDP and has been advertised as such.

Section 38 of the Planning and Compulsory Purchase Act 2004 states that 'if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise'.

The National Planning Policy Framework (NPPF) became a material planning consideration on 27th March 2012. This indicates that the purpose of the planning system is to contribute to the achievement of sustainable development and that paragraphs 18 to 219 taken a whole constitute the Governments view of what this means in practice for the planning system. Paragraph 14 and its footnote make it clear that locations at risk from flooding should be restricted and are not subject to the national presumption in favour of sustainable development. Paragraph 74 also places restrictions on the future use of existing open space, sports and recreational buildings and land, including playing fields and paragraph 123 makes it clear that existing businesses should not have unreasonable restriction put on them because of changes in nearby land uses since they were established.

The Council has also resolved that the Core Strategy Local Plan - Proposed Submission Draft (December 2012) and its supporting documents including the Wirral Employment Land and Premises Study Update (ELPS, BE Group, 2012) will be material considerations for the purpose of determining planning applications. A series of initial proposed modifications to the Proposed Submission Draft were also published in July 2013, which should also be considered, although these have not yet been formally confirmed as Council policy.

Weight can be given to the emerging Core Strategy according to its stage of preparation, the significance of any unresolved objections and the degree of consistency with NPPF (paragraph 216

refers). Whilst full or significant weight cannot yet be accorded to the Core Strategy, insofar as the Proposed Submission Draft Core Strategy has been prepared in accordance with the NPPF, it should be given some weight as material consideration in the determination of this application.

Flood risk and the availability of other sites with a lower probability of flooding, the need for residential development, the need for industrial development, potential impacts on the character of the area and neighbouring uses, the loss of former playing fields and any benefits that might be accrued in context with the National Planning Policy Framework (NPPF) and the emerging Core Strategy Local Plan are the principal material considerations in this particular case.

### **Flood Risk and the National Sequential Test**

Although not designated as part of the Washland on the UDP Proposals Map, the site falls within the wider flood plain for the River Birket and Liverpool Bay to the north and following flooding incidents elsewhere in Moreton last year the Environment Agency has updated its Flood Map to show the whole of the site as now falling within Flood Zone 3, where risks from river and tidal flooding are normally considered to be high.

UDP Policies WAT1 and WA1 only permit development that would not be at risk from flooding and would not increase the risk of flooding elsewhere. Draft Core Strategy Policy CS34 updates this position in the light of the Council's Strategic Flood Risk Assessment and makes it clear that the national sequential assessment will be applied in determining planning applications. Development would not be permitted where there would be an unacceptable risk of flooding or risk is increased elsewhere or where there would be maintenance liabilities or complicated emergency procedures.

The Environment Agency has been consulted and does not object to the application on flood risk grounds, subject to the imposition of certain planning conditions.

The Environment Agency have indicated that the amended Flood Risk Assessment (FRA) (Flood Risk Assessment, Waterman Infrastructure & Environment Limited, Ref: WIC 15138/FRA-R2.3, Issue 3, July 2016) and revised hydraulic modelling report are acceptable in principle. The FRA demonstrates areas towards the northern part of the site are at risk of fluvial flooding should there be a breach in the River Birket flood embankment. The FRA explains that this risk can be mitigated by either residential dwellings avoiding the area affected by flooding through the breach, or by raising development levels above the breach flood level. Such mitigation is considered acceptable in principle. Although the Environment Agency are satisfied at this stage that the proposed development could be supported in principle, the applicant will need to provide further information with any further Reserved Matters application to ensure that the proposed development can go ahead without posing an unacceptable flood risk. As such the conditions at the end of this report are required.

NPPF, paragraphs 101 and 103 make it clear that the aim of the sequential test is to steer new development to areas where there is a lower probability of flooding. This is clarified in the National Planning Policy Guidance (6 March 2014, paragraphs 18 & 19) which indicates that if there are no reasonably available sites in Flood Zone 1, the vulnerability of development in Flood Zone 2 and thereafter Flood Zone 3 can be taken into account. If found that it is not possible to build where flood risk is lower, an 'exception test' can also be applied if the wider sustainability benefit to the community would outweigh the risk.

Responsibility for assessing compliance with the sequential approach lies with the Local Planning Authority, not the Environment Agency. Even where the Agency does not object on flood risk grounds, the requirement to consider whether the proposal could be accommodated on sites at lower probability of flooding remains in place.

The applicant contends that sites not capable of accommodating 299 dwellings should be discounted from any sequential assessment but have adopted their own methodology to assess 14 alternative sites with a threshold of 50 units or more before claiming that there are no available sites which are appropriate for the proposed development. Sites discounted by the applicant included land at Fiveways – New Chester Rd; Acre Lane; Manor Drive; Rock Ferry High School; and The Former Dell Primary School.

The Council's latest calculations at April 2016 nevertheless show that planning permission was in place

for 2,221 dwellings in April 2016, of which 1,746 units were on sites awaiting implementation. In addition to this, there is sufficient land within the Borough to accommodate up to 1,249 units on Category One sites without planning permission at April 2016 (which has been assessed in line with national policy as available, suitable and achievable within the next 5 years). In terms of some of the larger sites, Acre Lane (8.54 ha) is capable of accommodating 230 dwellings; land at New Chester Road (2.36ha) 135 dwellings; Highfield South (6.32ha) 109 dwellings; and Manor Drive (4.14ha) 127. The Council's calculations do not include the potential extra capacity dwelling in the Wirral Waters proposals, which include potential for up to 15,193 dwellings.

## **The Need for Housing and Employment Land**

### Housing Land

The Council's latest statutory monitoring report for December 2015 shows that there is a 3.4 year supply with a 5% buffer or a 3.1 year supply with a 20% buffer based on the latest 2012-based national household projections. A revised Strategic Housing Market Assessment (May 2016), shows the objectively assessed need for housing to be between 875 and 1,235 per annum; at a level significantly higher than the 2012-based household projections. Further work, including a study of the viability of all development, is currently being carried out to help decide on the number of new homes that will be needed as part of the Council's Core Strategy Local Plan, will be reported later this year.

The NPPF expects local planning authorities to deliver a wide choice of high quality homes by meeting objectively assessed needs for market and affordable housing in full and by maintaining a five-year supply of specific developable housing sites, with a buffer of between 5% and 20% (NPPF paragraph 47). As a specific requirement for Wirral has not yet been identified the terms of NPPF paragraphs 14 and 49 are applicable. Relevant policies for the supply of housing should not be considered up-to-date and planning permission should be granted unless the adverse impacts of doings so would significantly and demonstrably outweigh the benefits, when assessed against the NPPF taken as a whole or specific policies in the NPPF indicate that development should be restricted. The absence of a 5-year housing land supply does not mean, however, that housing development should be permitted anywhere; it should be permitted only where it amounts to sustainable development taking account of any other relevant issues.

### Employment Land

In terms of building a strong competitive economy, the Government wants the planning system to do all that it can to support sustainable economic growth. It recognises that businesses should not have unreasonable restrictions put on them because of changes in nearby land use but expects planning policies to avoid the long term protection of designated employment sites where there is no reasonable prospect of a site being used for that purpose. Where there is no reasonable prospect, applications for alternative uses should be treated on their merits having regard to market signals and the relative need for different land uses to support sustainable communities (NPPF paragraphs 18-22 & 123 refer).

Although UDP Policy EM8 only makes provision for industrial uses within Use Classes B1, B2 and B8, draft Core Strategy Policy CS17 proposes, in line with national policy, to continue to safeguard designated employment areas and to only allow alternative uses where:

- the site is not suitable for one of the priority sectors; and
- there has been continuous marketing at realistic prices and there is no reasonable prospect of the site being re-used for employment purposes;
- an ongoing supply of available, suitable, developable employment land would be retained; and
- the uses are compatible with the character of the surrounding area, would not restrict operation of other employment uses, contribute to more sustainable patterns of development and meet Development Management Policy CS42; and
- in the case of residential development, that additional housing is needed to demonstrate a 5 year supply of housing land; or
- the development is necessary to secure employment development that would not be otherwise viable.

Priority is to be given to protecting high scoring sites capable of providing employment and training in areas of greatest need.

The Council's Corporate Plan includes a pledge to provide for greater job opportunities and includes a target for the creation and safeguarding of 5,000 jobs by 2020.

The Council's Employment Land and Premises Study (2012) found that there was a serious shortage of immediately available, serviced, developable employment land with utilities and road access already in place and concluded that a large proportion of the existing potential supply was being considered for alternative uses, which could seriously affect the Borough's ability to maintain a credible future supply.

Because of their location, the employment areas at Moreton are still considered an important part of the Borough's employment land portfolio. The main supply of employment land is located in east Wirral and there is no other major site of comparable size to the application site that is accessible by bus and rail and suitable for new development, to the west of the M53 Motorway. It is adjacent to a cluster of food-related industries, a priority sector, and is within an Assisted Area qualifying for state aid to encourage employment in an area with consistently high unemployment. Eligibility for grant assistance will remain in place up to 2020 as the location has been included on the new Assisted Areas Map for 2014 to 2020.

The national Indices of Multiple Deprivation indicate that the areas immediately surrounding the application site are amongst some of the most deprived in England – four of the surrounding Lower Level Super Output Areas fall within the worst 10% and one falls within the worst 20% - scoring poorly in ranks of income and employment deprivation. The Council's statutory Monitoring Report also shows that the ratio of total jobs to the working-age population in Wirral (job density) remains considerably lower than national, regional and sub-regional averages.

The applicant has challenged the findings of the Council's Employment Land and Premises Study and suggests there is sufficient supply of land for 67 years based on average annual take up rates over the past five years of 2.97ha. This, however, over-simplifies the issue, as take up rates are prone to fluctuation according to economic circumstances and the requirements of individual businesses. Council monitoring shows that 39.52ha of employment land was developed over the 5 years between 2010/11 to 2014/15 at an annual average of 7.9 ha per annum. The most up to date take-up rates, at April 2015, have averaged 7.05 hectares over the last 10 years throughout the Borough. The Council's monitoring also shows a gross employment land supply in the region of 167.2ha. Making allowances for land with serious physical constraints and with planning permission for other uses, a take-up rate of 7.05ha per annum would give a supply of 14.4 years. A take up-rate of 8.3ha per annum, based on the annual average the last 15 years, would provide a supply equivalent to 12.3 years. This does not include allowances to maintain a 5 year buffer as recommended in the Employment Land and Premises Study. Issues related the size, type and location of a suitable supply would also need to be addressed through the Core Strategy Local Plan public examination later next year.

The applicant has sought to address the first refusal reason for the previous application (OUT/14/00022) by implementing a marketing strategy from August 2014 targeted at the industrial Use Classes B1, B2 and B8, using a sales board on site, a sales brochure sent to Industrial Agents around the country, the UK Trade & Investment Service and Council's Economic Development Team, advertisements on-line and in property magazines, with reports and reviews provided to the Council on a regular basis.

- The submitted details indicate that 38 enquiries were received of which 11 expressed interests for employment use and 1 for commercial use. However none of these were progressed, with some citing the current state of repair or suitability as reasons for not pursuing their initial interest. Out of 18 enquiries for residential use, 2 offers were made. Of the other expressions of interest, 1 was for retail, 1 for the grazing and stabling of horses, 1 for a football pitch and mobile theme park (short term), 2 for mixed use residential-led developments and 3 for asset stripping.

The applicants have advised that parties that expressed an initial interest in the site were provided with a pack of images showing the latest internal condition of the buildings. On that basis they concluded that the re-use of the buildings was not appropriate and/or deliverable and therefore retracted their interest in the site.

The applicant has claimed that redevelopment or reuse of the existing buildings on the site for industrial purposes would be unviable because the prospects for speculative commercial development are poor

in the foreseeable future. Their assessment goes on to indicate that it is likely that the only commercial development will be where pre-lets / pre-sales have been agreed in advance of construction or refurbishment. Findings in the Council's Local Plan & Community Infrastructure Levy Economic Viability Study also suggest that substantive speculative industrial development is unlikely to take place without grant assistance, unless there is significant upturn in demand or market values over the next 15 years.

#### Removal of employment use from previous application

The previous scheme contained an element of provision for future small to medium sized business units... As part of the marketing exercise for the site undertaken as part of this application the applicants have advised that they did not identify any specific demand for this type of use, and no employment use is now therefore included as part of the current application.

The applicant's socio-economic impact assessment contends that beneficial impacts can be accrued during the demolition and construction period through the:

- creation of 71 direct jobs;
- creation of 7 indirect jobs; and
- additional GVA of £25.31m over the construction period.

It is also claimed by the applicant that after the proposed dwellings are occupied there would be:

- an additional resident population of 678 people, of which 423 will be of working age, of which 175 will be in employment;
- additional retail expenditure of £3.3m per annum (£1.4m in convenience goods and £1.93m in comparison goods);
- Earnings potential of £4.9m per annum associated with residents in employment;
- Additional New Homes Bonus of £2.4m over 6 years; and
- Additional Council Tax revenue of £402,510 per annum.

#### **Loss of Playing Fields**

At the time of the adoption of the Unitary Development Plan, the playing fields at Burton's were included in land with outline planning permission for B1, B2 and B8 development (OUT/1998/5016), which was granted subject to a condition that outline permission granted in parallel, was implemented at Ditton Lane to provide a replacement for the company sports facilities at both Reeds Land and Pasture Road (OUT/1998/5202). The land at Ditton Lane was allocated for this purpose on the UDP Proposals Map (Proposal RE6/7). The permissions have not, however, been implemented.

The agent acknowledges that the playing field, which is prominently located on the frontage with Pasture Road, has been used for sport and recreation including football, cricket and archery in association with the factory complex; and whilst the sports teams were disbanded in 2007, the playing fields have subsequently been generally maintained. The applicant also indicates that a separate bowling green on the north edge of the site remained open until about 2011. Council records show that bowling continued at the site until the club were given notice to quit in 2011 and had to re-locate, to play 2.6 miles away at Coronation Park in Greasby.

Greenspace features within sites are protected from inappropriate development by UDP Policy URN1 and recreational facilities of Borough wide importance are safeguarded under UDP Policy REC1. NPPF paragraph 74 indicates that open space, including playing fields should not be built on unless an assessment shows it is clearly surplus to requirements; or the loss would be replaced by equivalent or better provision in a suitable location. Draft Core Strategy Policy CS31 (which has been subject to objection) would re-iterate these requirements and would require that the site was marketed for recreational uses at realistic prices to ensure that it was genuinely surplus.

Sport England has objected to this planning application after noting that aerial photographs show that pitches were still marked out and maintained on the Burtons playing fields in 2015. Sport England advised that they would therefore be seeking a quantitative replacement for the pitch located previously at Burtons, in line with their policies and Paragraph 74 of the NPPF, rather than an off-site contribution for improving the quality of an existing pitch. This would involve the laying out of a replacement pitch either on-site or in another suitable location in the vicinity of the proposed development. Sport England has suggested looking at areas which are currently unused on other playing fields in the locality and,

specifically, to look for land which is not currently utilised for sporting purposes.

The Council's Parks and Countryside Service advise that the pitches at Lingham Park are currently played to capacity and there is no scope to accommodate any additional pitches or match sessions at that site, even if replacement drainage and playing surfaces were provided. Other than the land previously identified under UDP Proposal RE6/7, the only other sites that could be considered within the area would be at Leasowe Recreation Centre, which is currently subject to a successful bid for funds for the provision of additional sports facilities and additional land at Leasowe Road playing fields where there is additional capacity for up to 3 junior pitches.

If the playing fields have been used within the last five years, Sport England must be treated as a statutory consultee. The Sport England evidence is based on aerial photographs from Google Maps, shown dated 2015. While it is not possible to further verify the actual date that the photograph was taken, the applicants have submitted signed affidavits from a number of people which suggest that the pitches on the application site have been out of use for a much longer period, since at least 2007, which appears to coincide with the closure of the previous company sports and social club. In which case, Sport England would not need to be considered as a statutory consultee and there will be no need to notify the Secretary of State before outline planning permission can be granted under the Town and Country Planning (Consultation) (England) Direction 2009. The applicants have nevertheless confirmed that they are willing to enter into a 106 agreement to provide for improvements to existing playing fields within the vicinity.

## **Environmental Impact**

### **EIA Scoping and Environmental Impact Assessment**

The proposals are in hybrid form, providing for the demolition of existing buildings, revised access arrangements for businesses and the provision in outline for up to 299 residential dwellings and associated works. The site is up to 12.9 hectares in size and the proposals are deemed to constitute EIA Development under the Environmental Impact Regulations 2011. The application is accordingly accompanied by an Environmental statement.

Proposals can only be permitted if there is no adverse effect on the integrity of designated sites for nature conservation under the terms of UDP Policy NC01.

Land immediately to the north of the site has been identified in the WeBS count sector as supporting habitat for the North Wirral Foreshore Site of International Importance for Nature Conservation Area, which is a Special Protection Area and RAMSAR site. The Leasowe Common Site of Biological Importance, which contains a number of rare species, is also located with 500 metres of the site and land off Ditton Lane is known to contain a number of Priority Habitats. Development affecting these habitats and species can only be permitted under UDP Policies NC5 and NC7 if the Local Planning Authority is satisfied that protection can be secured through planning conditions and/or by legal agreement.

After considering the Environment Statement submitted by the applicant, the Merseyside Environmental Advisory Service (MEAS) has advised that in general terms the structure and content of the Environmental Statement meets the requirements of the EIA Regulations 2011, as amended, and is acceptable subject to any requirements for additional information that may arise from the those undertaking detailed reviews of other specific topic areas. Impacts arising from different phases of development have been considered and coverage of cumulative impacts and alternatives has also been included.

There are particular issues with undertaking EIA for outline applications and, in this case, the applicant has used an appropriate parameter-based approach to set out the maximum scale of the development for the purposes of impact prediction.

The Environmental Statement has identified a number of issues where mitigation measures will be required which MEAS advise should be secured through planning condition or other appropriate binding mechanism. In the light of the scale of the scheme and its estimated 8.5 year timetable for implementation, MEAS welcome the commitment given to the use of a Construction Environment Management Plan (CEMP) to ensure good practice on site and recommend that the content of the



CEMP should be agreed and secured through a planning condition. The CEMP should be applied to demolition activities as well as to the subsequent redevelopment of the site.

## **Ecology**

### Habitat Regulations Assessment

The site is located 700m from the Mersey Narrows and North Wirral Foreshore SPA and Ramsar. These sites are protected under the Habitats Regulations 2010 as amended. Land directly to the north of the site, including the Ditton Lane Nature Area and fields to the north is identified as a WeBS count sector and provides functionally linked land (supporting habitat) for bird species for which the SPA and Ramsar have been designated.

Due to the development's potential pathways and impacts on the above sites, this proposal requires Habitats Regulations Assessment. UDP Policy NC1 applies. The Habitats Regulations Assessment report, submitted by the applicants, concludes that there are no likely significant effects.

If there are any amendments to the proposals the whole development will need to be re-assessed for likely significant effects. This includes amendments prior to determination and through subsequent approval/discharge of conditions or requests to vary the proposal.

MEAS recommend that the following matters be secured by appropriately worded planning conditions and other appropriate planning mechanisms to ensure no likely significant effects on European Designated Sites:

- Submission of a Construction Environmental Management Plan, to include details of noise reduction measures;
- Noise limits during the wintering bird period (September – March inclusive) to be no greater than a continuous noise limit of 65dB and an intermittent noise limit of 50dB LAeq within Leasowe Fields WeBS site; and
- Provision of funding by the applicant for Ditton Lane Nature Park and Leasowe Fields for the provision of pathways and other means of diverting public use away from sensitive areas.

### Local Wildlife Sites

The development site is 500m from Leasowe Common Local Wildlife Site (LWS) and UDP Policy NC5 applies. The site is adjacent to Ditton Lane Nature Area, which although not designated as an LWS does contain a number of Priority Habitats identified under Sections 40 and 41 of the NERC.

The development may have an indirect effect on the features for which the LWS site has been designated and on the nature conservation value of the Nature Area due to increased recreational pressure from the proposed residential dwellings.

The proposed site layout includes an area of green space along the northern boundary adjacent to the Birket, this is welcomed as it will provide a green corridor along The Birket and will take some of the recreational pressure from residents. Leasowe Common LWS is already well used and it is unlikely that additional recreational use from the residents of the proposed housing will have a significant detrimental impact to this site. However, given the proximity of Ditton Lane Nature Area it is still likely that there will be significant increased recreational use of this site. This impact is also identified within the applicant's submitted Environmental Statement, (section 15.103 of the ES), which suggests that to mitigate this increased pressure that the Council secure a contribution towards the management of Ditton Lane Nature Area, which MEAS consider is required. A contribution towards the management of Ditton Lane Nature Area should be secured through an appropriate planning mechanism e.g. S106 / commuted sum.

Pollution prevention measures are also required to protect The Birket during construction. These can be incorporated into a Construction Environmental Management Plan (CEMP) and secured by a suitably worded planning condition.

The Great Crested Newt survey is now three years old and MEAS advise that this should not normally be accepted. However, on this occasion it is acceptable as no great crested newts were recorded by these surveys and the ponds are isolated from other ponds and wetlands by roads and railway. Therefore no updated survey was required in support of this current application.

No further action is required in relation to protected species. Further details are provided in relation to

the section on tree works below.

Evidence of the presence of foxes was found within one of the buildings on site (identified as building 10 within the bat survey). MEAS recommend that prior to demolition works the building should be first checked for foxes by a suitably qualified ecologist and appropriate mitigation measures put in place if found to be present, these must be submitted to the Council for approval. This can be secured by a suitably worded planning condition.

#### Breeding birds

MEAS note that existing buildings and vegetation on site may provide nesting opportunities for breeding birds, which are protected. No tree felling/scrub clearance/ground clearance/building works is to take place during the period 1 March to 31 August inclusive. If it is necessary to undertake works during the bird breeding season then all buildings, trees, scrub and hedgerows should be checked first by an appropriately experienced ecologist to ensure no breeding birds are present. This can be secured by a suitably worded planning condition.

#### On site Biodiversity enhancements and EMP

Survey and assessment of the site identifies the existing ponds, woodland, semi-improved grassland and scrub as habitats of value on this site. There will be some loss of grassland as a result of the development; however, existing ponds, woodland and scrub will be retained. The development also proposes creation of a green space along the northern boundary. The Ecological section of the Environmental Statement proposes a number of management prescriptions for these features, and MEAS consider that these should be incorporated into a comprehensive Long-term Environmental Management Plan for this site which can be secured through an appropriate planning mechanism e.g. Section 106 agreement. The management plan should also include measures to enhance existing habitat features on site as this is in line with NPPF and the NERC Duty 2006.

#### **Waste Local Plan**

The Planning Policy chapter of the Environmental Statement does not include analysis of the requirements of the adopted joint Waste Local Plan. Policies WM8 and WM9 apply to the development.

Policy WM9 requires applications to demonstrate how their design facilitates effective waste management when completed. In this case most of the relevant design detail is to be dealt with in outline and Policy WM9 should therefore be addressed in subsequent reserved matters applications.

However, Policy WM8 covers requirements for the efficient management of resources during construction and therefore applies from the early site preparation phase. The Policy requires the use of a waste audit or similar mechanism during construction and this can be secured through planning condition.

#### **Historic Environment**

The Historic Environment effects of the proposals have been adequately considered in chapter 13 of the applicant's Environmental Statement, which is supported by a Historic Environment Desk Based Assessment (*Burton's Biscuit Company; Land at Pasture Road, Waterman Infrastructure and Environment Ltd, December 2015*). Although no designated assets are present on site a number of other issues have been identified relating to standing buildings, designed landscape features and archaeological deposits. Appropriate mitigation measures have been proposed and the detailed arrangements for their implementation should be formalised through a programme of archaeological works set out in a Written Scheme of Investigation (WSI) prepared by the applicant and subject to agreement by the Council. This can be secured through a planning condition.

#### Trees

The trees on site are largely classed as category 3 (Hundt 2012), however, trees within small woodland around the angling pond are categorised as having low potential (Category 2). Plans show that this area will not be affected by the development, however, should any tree removal or tree works be required then Reasonable Avoidance Measures (RAMS) will be needed and advice will need to be sought from the ecological consultant, which can be secured by condition.

#### Contaminated Land

The site is in a sensitive location in terms of controlled waters receptors and drift geology deposits in the northeast half of the site (Tidal River/Creek Deposits (Secondary A Aquifer)) with differing drift deposits potentially present in the south-western half of the site (Till comprising sandy gravelly cobbly clay (Unproductive)), if confirmed to be present.

The solid geology comprises Sidmouth Mudstone Formation: (Secondary B Aquifer). The site is situated on several historic ponds and drains which were present until 1966 and may have been culverted. A number of man-made weirs are present in the northwest side of the site flowing north into the River Birket. The River Birket, part of the Arrowe Brook and The Fender bound the northern portion of the site. Three historic oil and one gas oil pollution incidents at the site have affected the adjacent River Birket.

The historical maps and current site use indicate that different areas of the site have been subjected to several potentially contaminative former land uses. The previous site uses include a food manufacturing factory with above ground fuel storage tanks, electricity sub-stations and potentially infilled ponds. In addition, off-site potentially historic and current contaminative land uses are also located adjacent to the site including a historic landfill which was formerly a historic brick and tile works. A present-day landfill is located to the west of site. A railway station and railway embankment is adjacent to southern site boundary.

The Councils Environmental Health officer has however raised no objections to the proposal subject to conditions requiring site investigation and risk assessment and if necessary the submission of a scheme of remediation.

## **APPEARANCE AND AMENITY ISSUES**

### Affordable Housing

The Council's evidence through housing market assessment indicates that there is a significant unmet need for affordable housing in the Borough overall. The proposed development could, therefore, contribute to meeting some of this general need.

Affordable housing can be sought under both UDP Policy HSG2 and UDP Policy HS6 with the latest requirement based on strategic viability assessment set out in Policy CS22 of emerging the Core Strategy Local Plan, which expects proposals for new market housing of this size to make provision on site at a rate of 10% within areas of greatest need or 20% elsewhere unless site specific viability justifies lower levels. The application site is partially within and partially outside an area of greatest need.

The applicants have submitted a financial viability assessment with this application. This was sent to an independent assessor who confirmed that the report bears out the applicant's assertion that no more than 10% (30 no) affordable units are presently viable.

### Indicative layout

Achieving high quality design and creating sustainable and distinctive places are key aspects of the NPPF, UDP policy and emerging Core Strategy policy.

The application is submitted in outline with all matters reserved apart from access reserved for future consideration. However, whilst matters of detailed design and layout are reserved, the Local Planning Authority must be satisfied that the proposed number of dwellings can be built within the site in accordance with the terms of local and national planning policy.

The application is accompanied by a Design and Access statement with an indicative layout to indicate the applicant's perception on how 299 dwellings might fit within the site. Following a thorough review of the indicative layout, it was considered by officers that the original layout as proposed, did not take the opportunity to make a positive contribution for the area as a whole. The applicants have since submitted amendments to the layout. These amendments demonstrate that the Councils adopted standards in terms of interface distances and car parking provision could be accommodated within the site.

The indicative residential layout for the proposed development uses the concept of perimeter blocks, which can be supported.

All routes into and within the development should be designed to promote security. They should be open in appearance, clear, direct and well lit. Boundary enclosures adjacent to roads, footpaths and cycleways should be designed to eliminate the potential for places of concealment and to allow for

natural surveillance from the main elevations of adjacent buildings.

The indicative layout indicates that it should be possible to achieve the appropriate interface between dwellings and includes a variety of house types and sizes to promote choice within the housing market. The proposed layout shows an area of public open space which the applicants have indicated can accommodate children's play space and the existing landscaped frontage, which contains the water feature designed by the renowned landscape architect Geoffrey Jellicoe, can be retained as part of this scheme. The Council requires a minimum of 60m<sup>2</sup> of open space per new residential unit and the indicative layout suggests that this requirement could be accommodated within a development of up to 299 dwellings.

Full planning permission is sought for a new access from Pasture Road along the northern part of the site in order to provide a separate vehicular access for use by employees, visitors and commercial traffic associated with the food manufacturing process at the existing chocolate refinery and Typhoo complexes, located to the immediate east of the site. The proposal includes a layby for tankers awaiting collection to be temporary stored. The scheme also includes a 70 space car park for users of the chocolate refinery. In addition, the applicants have included within the detailed part of the proposal, a wall with a planted bank up against it between the new access road and the proposed residential development. The applicants maintain that this will provide appropriate acoustic and visual separation for the proposed residential development and protection for the employment uses to the east.

#### Open space and landscaping

While landscaping is reserved for future consideration, the indicative layout presents an area of landscaped open space including children's play area, through the middle of the development. This, together with the retention of the existing water feature and associated landscaped grassed area at the front of the site, will ensure that the required provision of 60m<sup>2</sup> of usable open space per dwelling is achievable.

#### Impact on the Character of the Area

In terms of the character of the area, the application site includes a large open area of land between the Manor Bakeries, Typhoo Tea sites to the east and Tarran Industrial Estate to the west, which was previously used as company playing fields. The site is relatively flat and is currently grassed over apart from the existing building and a road that runs from Pasture Road into the factory site. There are a large number of vacant buildings and highway infrastructure within the site.

Whilst there is a small element of inconspicuous housing (well screened bungalows on Pasture Road and a single terraced row at Sunnyside), the residential development proposed in this application would be substantial in comparison. However, approximately, 60,000m<sup>2</sup> of vacant commercial buildings will be removed. The proposed development is set well back from the site frontage and will retain the existing landscaped water feature on the site.

A petition of objection has been received regarding a requirement to impose a condition relating to the future retention and maintenance of the water feature at the front of the site which has been designed by Geoffrey Jellicoe, which the applicant has shown can be accommodated within the development.

#### **Noise**

UDP Policy PO4 states that proposals for noise sensitive development will only be permitted in locations which are not expected to become subject to unacceptably high levels of noise or where adequate protection against noise can be achieved by means of planning conditions or planning obligations. Policy CS21 in the emerging Core Strategy, also states that proposals for new housing development should not place additional constraints on the on-going, viable, and safe operation of the adjoining land uses, whilst still securing an acceptable level of amenity for future residents.

The adjoining food factory units operate over 24 hours and continued traffic access will need to be provided across the site to serve Manor Bakeries and Typhoo Teas Ltd. Housing is a noise sensitive development and can only be permitted under UDP Policy PO4 if it would not be subjected to high levels of noise. The impact from smells can also be a material consideration. The location of houses closer to existing businesses within the industrial area could produce potential for future complaints and act as a constraint on the future operation of these businesses. NPPF paragraph 123 makes it clear that

existing enterprises wanting to develop in continuance of their business should not have unreasonable restrictions put upon them because of a change in nearby land use since they were established.

A letter of objection has been received from CBRE on behalf of Premier Food Group. Their main concern relates to the consequences of residential development within such close proximity of Manor Bakeries could have a direct and detrimental impact upon the operational efficiency of its business. In addition, they are concerned that the baseline noise data supporting this application was dated 2012 and 2013 and was based on weekday surveys.

Premier Foods have indicated that they operate on a 24hr basis five days a week and weekend production is sporadic based upon demand. In reviewing the baseline data against the identified hours of operation CBRE are concerned that no weekend noise surveys were undertaken at any point when ambient noise levels in the area would be reduced. The nature of operations of both existing and proposed industrial processes insofar as operating circumstances may change in future and operating circumstances may not remain the same in any plant. Business could be restricted to existing practices with no provision for expansion or upgrade to meet changing business opportunities.

It is a material consideration that the existing industrial uses are not currently restricted by conditions related to plant equipment, ventilation, odour, and extraction systems, noise and odour management, together with control of outside working, on site generators, refrigerated lorries, external lighting which are clearly appropriate for an industrial location. Assessment must then be made of the suitability of introducing a new residential development adjacent to industrial/ commercial uses and the impact of such development on both existing commercial operations and the residential amenities of future residential occupiers.

In terms of the delivering and servicing to the commercial site, the detailed element of this application proposes a new access road to the manufacturing units to the east of the site which includes a landscaped boundary treatment comprising of a tree lined bund and a 3.375m high acoustic barrier between the edge of the proposed new road and the residential development. This is provided to afford attenuation to garden areas within this part of the proposed development. The Councils Pollution Control Section has advised that this will afford adequate noise protections from both existing operations and HGV deliveries to gardens and ground floor windows to proposed properties backing onto the road and to the public open spaces through the site.

The noise assessment submitted as part of the Environmental Statement accompanying this application also concludes that "The proposed front row of housing onto Pasture Road, the Mersey Rail, Wirral Line, Burtons Chocolate Refinery and the Industrial access road are predicted to be exposed to elevated noise, when compared to current internal and external guideline noise levels, the mitigation measures recommended are opening, standard double glazing units throughout the majority of the site. Those properties closest to the commercial units, railway line and Pasture Road, may require some non-opening windows at first floor level, as such, passive attenuation ventilators may be suitable to provide air inlet into habitable rooms whilst maintaining suitable internal noise levels for these facades.

The applicants further advise that a number of additional measures could be undertaken at the reserved matters stage to inform the design Firstly, they could look to undertake additional detailed acoustic surveys to allow each noise source associated with the factory to be individually characterised. Based upon this data they would be in a position to prepare a much more comprehensive noise model of the site. Monitoring could be timed to account for peak periods of night-time working. This information would be used to refine the layout of the development to minimise the noise levels experienced by residents this could be achieved through the careful orientation of properties to provide self-screening from noise sources and the design of individual dwellings to ensure that non-sensitive uses (i.e. bathrooms and kitchens) are orientated towards key noise sources and where openable windows are to be used opening type and direction are selected to minimise noise ingress (i.e. side openings to hinge so opening orientated away from noise source or top opening windows to be used) , although, the final solution would need to be formulated in conjunction with the final wider design team.

There would also be the potential for further investigation of the materials used for the construction of the acoustic barrier/bund between the factory and the future receptors so as to minimise reflections off the barrier and factory behind to further control noise levels. The Council's Environmental Health Team concur with both the noise monitoring process and the proposed mitigation measures for the properties

facing Pasture Road and the railway line. They have advised however that properties closest to the commercial units will still need to achieve suitable noise levels in the bedrooms with windows open (to avoid any future statutory nuisance).

The applicants have submitted an indicative plan indicating how the layout of the proposed dwellings could be orientated. It is considered that a reserved matters application which followed these principles should be capable of addressing amenity issues for future occupiers relating to noise, whilst enabling existing commercial operators to continue their existing commercial operations

### **HIGHWAY/TRAFFIC IMPLICATIONS**

The submitted Transport Assessment has estimated the traffic flow which could arise as a result of the proposed development. The analysis indicates that there could be a combined 153 two-way vehicular movements during the AM peak period and 175 two-way movements in the PM peak.

If the likely generation from the site is added to the existing peak flows of approximately 900vph on Pasture Road, the road is still well within its capacity as calculated in Design Manual for Roads and Bridges. In addition, the operation of the junction into the residential development has been modelled and shown to work within capacity with little or no queuing likely to occur.

Both national and Local Plan policies promote the need to minimise travel and encourage the use of more sustainable options than the private car. The site is located adjacent to Moreton Train Station and within the recommended walking distance to Local Bus Stops and Moreton Town Centre. It is therefore considered that the development complies with the above policy advice in terms of its sustainable location.

There are two accesses proposed from Pasture Road; the first at the north western corner of the site will provide a new road and car park to serve the commercial units to the east of the site. The second access will separately serve the residential development.

Following amendments to the indicative layout the Director of Technical Services has no objections to the proposal on traffic and highway safety grounds, providing some additional measures are secured at the detailed stage, to ensure 20mph design speed within the new roads and has advised that the amended layout is acceptable in terms of the ability to make those changes as part of a subsequent reserved matters application without significantly impacting on the layout itself. These additional measures should not rely purely on traditional methods (such as road humps) but should be reflective of guidance provided in Manual for Streets.

Upgrades to the two nearest bus stops will be required, including all necessary traffic signs and road markings, in addition to the provision of a pedestrian refuge on Pasture Road to facilitate access between the development site and the bus stop on the west side of the road. The pedestrian refuge would also assist in moderating vehicle speeds on Pasture Road.

Whilst the site is situated close to an existing train station, links from the development into that station would benefit from improvement as would access between station platforms.

There is an established cycle route fronting the site along Pasture Road that links to the Wirral Circular Trail and beyond. The development should provide a link to this network.

In addition, the Local Authority will require the provision of two Vehicle Activated speed signs on Pasture Road at suitable locations, which can be secured through a section 106 agreement.

### **SECTION 106 AGREEMENT**

A Section 106 Legal Agreement shall be sought, if permission is granted and will include the following elements:

- Maintenance of on-site public open space and children's play area..
- Contribution for replacement playing pitches to improve facilities in the area.

- Affordable housing provision; to agree the amount of affordable housing to be provided on site in respect of both its housing type and tenure or to agree any off-site commuted sum payment required in respect of affordable housing provision.
- Local Employment Initiative (Construction Phase); the aim for the Local Employment Initiative will be to maximise the benefits of the scheme to the local labour market during the construction phase of development. The applicant (or successor in title) shall use reasonable endeavours seek to enter into a Local Employment Partnership (LEP) involving Wirral MBC, Job Centre Plus and other relevant local employment agencies.
- Ecological Mitigation Measures Environmental Management Plan to agree a figure for the implementation of footpath improvements and public access controls within the Ditton Lane Nature Reserve Area (plan attached) in order to offset the potential for increased human activity on WeBS sites close to the application site.
- Improvements for Highway Safety and accessibility to public transport.
- To agree a contribution towards improving public transport facilities within the site.
- Retention and future maintenance of the Jellico water feature

## **CONCLUSION**

Approval of this application can result in the development of 299 dwellings on a site designated for primarily industrial purposes contrary to the adopted development plan and within an area where risk from river and tidal flooding are normally considered to be high (Flood Zone 3), with a relocated access road and associated infrastructure for the remaining industrial businesses. Construction would take place on the former sports pitches and bowling green which form the landscaped frontage for the factory complex and over 41,000 square metres of industrial floorspace, which would be lost through the demolition of the existing industrial buildings on the site.

Adverse impacts should be considered in context with the benefits that may be accrued from the proposed development.

The only material changes since refusing the previous application are that the site has been properly marketed, the Environment Agency has re-classified the whole site to fall within flood zone 3 and that the scheme make no provision for incorporating employment land. The three reasons for refusal included: insufficient evidence to demonstrate that there is no reasonable prospect of the site being used for employment purposes; the detrimental effect on the character of the area and to neighbouring business as would have been a noise sensitive development; and the applicant had not adequately demonstrated that the development could not be accommodated on reasonably available sites with lower probability of flooding, which are now considered, on balance to be addressed through this current submission.

There are sufficient sites elsewhere in the urban area with a lower probability of flooding where the proposed residential units could be accommodated. However, whilst national planning policy directs this type of development to locations with lowest probability of flooding in order to facilitate and promote sustainable development, refusal could leave a large parcel of land with deteriorating buildings in the urban area without the prospects of any beneficial use in the longer term. If the national exception test were to be applied it could be reasonably contended that the development can be made safe without increasing flood risk elsewhere and that it would make a contribution towards the housing land supply for the borough.

Provision for replacement playing pitches can be secured through an s106 legal agreement.

This proposed development would provide housing on a site, part of which is currently occupies by vacant derelict industrial buildings. The proposal is to provide up to 299 residential dwellings and provision along with access to manufacturing units to the east of the site.

The site is considered to be underused and could bring forward a site for residential development to drive up the supply of land for new housing. The mixed industrial and residential site has the potential

to deliver 299 units of accommodation, and the proposal on this site would make a contribution towards the housing land supply for the Borough.

The applicant has indicated it is viable to provide 10% (30 dwellings) for affordable housing on this site and this is supported by viability testing. It is considered that further discussion regarding the tenure and type of affordable homes to be provided would need to take place and an agreed way forward finalised as part of the reserved matters process, bearing in mind the government 'new starter homes initiative.

It can also be accepted that substantive speculative industrial development would be unlikely to take place without grant assistance, unless there is significant upturn in demand or market values over the next 15 years.

The loss of this industrial site for employment land has to be weighed against the evidence, which supports the need to provide more homes in the borough each year.

It is acknowledged that the site is in an accessible location and that benefits can be accrued from the development in terms of affordable housing, increased spending within local centres and potential employment in construction and maintenance.

There are significant issues in this particular case, which lead to a finely balanced recommendation. The continued loss of employment sites could undermine the Borough's ability to accommodate new employment over the next 15 years set against the need to identify and deal with the housing requirement for Wirral, which will need to be addressed before the Core Strategy Local Plan is submitted for public examination next year. On balance it is considered that the policy requirements to steer development to areas with lower probability of flooding and to support economic growth by retaining this site for employment purposes are outweighed by market signals (which suggest there is no reasonable prospect for new industrial development in the foreseeable future and the need for new housing) and the prospects and benefits of securing development on a site, that can be made safe without exacerbating flood risk elsewhere, and that would otherwise be at risk of further deterioration without a willing investor for bringing the site back into employment use.

#### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The site is considered to be underused and could bring forward a site for residential development to drive up the supply of land for new housing. The mixed industrial and residential site has the potential to deliver 299 units of accommodation, and the proposal on this site would make a contribution towards the housing land supply for the Borough. The loss of this industrial site for employment land has to be weighed against the evidence, which supports the need to provide more homes in the borough each year. It can be acknowledged that the site is in an accessible location and that benefits can be accrued from the development in terms of affordable housing, increased spending within local centres and potential employment during construction and future maintenance.

**Recommended Decision:** **Approve subject to a Section 106 Legal Agreement**

#### **Recommended Conditions and Reasons:**

1. The development hereby granted full planning permission shall be commenced before the expiration of three years from the date of this permission.

**Reason:** To comply with Section 91 (as amended) of the Town and Country Planning Act 1990

2. The development hereby granted outline planning permission shall be commenced before



the expiration of three years from the date of this permission or two years from the date of the approval of the last of the reserved matters, whichever is the later.

**Reason:** To comply with Section 92 (as amended) of the Town and Country Planning Act 1990.

3. NO DEVELOPMENT FOR THE RESIDENTIAL SCHEME HEREBY APPROVED IN OUTLINE SHALL COMMENCE ON SITE UNTIL details of the following reserved matters have been submitted to and approved in writing by the Local Planning Authority within three years from the date of this permission.

- (a) The scale of the development;
- (b) The layout of the development;
- (c) The external appearance of the development; and
- (d) The landscaping of the site.

The development shall be carried out in accordance with the approved details.

**Reason:** To enable the Local Planning Authority to control the detail of the development and to comply with Section 92 of the Town and Country Planning Act (as amended).

4. NO PHASE OF DEVELOPMENT SHALL TAKE PLACE UNTIL samples of the facing/roofing/window materials to be used in the external construction relevant to that phase of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

5. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 23rd March 2016 and listed as follows: 4439\_003 and 006 and the principles contained within the "Design Parameters" (July 2016) received by the Local Planning Authority on 11th August 2016

**Reason:** For the avoidance of doubt and to define the permission

6. Full details, of a scheme, including the calculations, showing that each dwelling unit will be constructed so as to provide noise attenuation to not exceed, 35dB(A)eq16hour (7.00 hrs to 23.00hrs) and 30dB(A)eq8hour (23.00hrs to 7.00hrs) with the windows open, against external noise source particularly from the industrial/commercial units to the railway line site and Pasture Road adjacent to the site shall be submitted as part of the reserved matters application in relation to appearance, landscaping, layout and scale for consideration by the Local Planning Authority. The development shall be completed in accordance with the approved details prior to the first occupation of each dwelling unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To safeguard the residential amenities of occupiers of properties and to comply with Policy PO4 of the Wirral Unitary Development Plan and the National Planning Policy Framework (paragraph 123 in particular).

7. An acoustic barrier shall be erected along the north and east boundary of the development site full details of which shall be submitted to and approved by the Local Planning Authority before building works commence on site. The approved scheme shall be implemented in full to the satisfaction of the Local Planning Authority.

**Reason:** To safeguard the amenities of the occupiers.

8. NO PHASE OF DEVELOPMENT FOR THE ACCESS TO MANUFACTURING UNITS; SECURITY BUILDING; WEIGHBRIDGE; CAR & CYCLE PARKING; LANDSCAPED

BOUNDARY TREATMENT; AND ASSOCIATED INFRASTRUCTURE FOR BURTON'S BISCUIT COMPANY SHALL TAKE PLACE UNTIL full details of soft and hard landscaping relevant to that phase have been submitted to and approved in writing by the Local Planning Authority. The landscaping scheme shall detail the locations, species and heights of all existing and proposed trees, shrubs and hedge planting and all existing and proposed grassed and hard surfaced areas and any other natural or proposed features. The approved scheme shall be implemented in full in the first planting season following first occupation of the relevant phase hereby permitted, unless otherwise agreed in writing by the Local Planning Authority. Any trees or shrubs removed, dying, being severely damaged or becoming seriously diseased within five years from the completion of the scheme shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted unless otherwise agreed in writing by the Local Planning Authority.

**Reason:** To ensure a satisfactory standard of appearance and that the proposed development enhances the visual amenity of the locality in accordance with Policy GR5 of the UDP.

9. The detailed landscaping scheme submitted as part of the reserved matters shall include:
- (i) full details of all boundary treatments;
  - (ii) full details of all hard surfaces;
  - (iii) the location, size and species of all trees to be planted;
  - (iv) the location, size, species and density of all shrub and ground cover planting;
  - (v) the location of public open space at a rate of 60 square metres per dwelling including provision for safe children's play, and
  - (v) a schedule of implementation and maintenance.

The development shall be carried out and in accordance the approved scheme and shall be maintained as such thereafter.

**Reason:** In the interests of amenity and to ensure that the development complies with Policies GR5, GR6 and RE11 of the Wirral Unitary Development Plan.

10. PRIOR TO FIRST OCCUPATION OF THE RESIDENTIAL DEVELOPMENT a Travel Plan shall be submitted to and approved in writing by the Local Planning Authority. The provisions of the Travel Plan shall be implemented and operated in accordance with the timetable contained therein unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** In the interests of highway safety, sustainable travel choices and to accord with Policy TRT3 in the Wirral Unitary Development Plan.

11. Full details of secure covered cycle parking and/or storage facilities for the residential phase shall be submitted as part of the reserved matters relating to appearance, layout and scale for consideration to and approved in writing by the Local Planning Authority. These facilities shall be provided in accordance with the approved details and made available for use prior to occupation of the residential development hereby permitted and shall be retained for use at all times thereafter.

**Reason:** To ensure that satisfactory facilities for the parking of cycles are provided and to encourage travel by means other than the private car, having regard to Policy TR12 of the Wirral Unitary Development Plan.

12. NO PHASE OF DEVELOPMENT SHALL TAKE PLACE UNTIL a scheme that includes the following components to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the local planning authority:

A preliminary risk assessment which has identified:

- all previous uses
- potential contaminants associated with those uses
- a conceptual model of the site indicating sources, pathways and receptors
- Potentially unacceptable risks arising from contamination at the site.

A site investigation scheme shall provide information as follows:

- a detailed assessment of the risk to all receptors that may be affected, including those off site
- site investigation results and detailed risk assessment and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken
- a verification plan providing details of the data that will be collected in order to demonstrate that the works set out above are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the express consent of the local planning authority. The scheme shall be implemented as approved.

**Reason:** To ensure a safe form of development that poses no unacceptable risk of pollution to the water environment.

13. NO PHASE OF DEVELOPMENT SHALL TAKE PLACE UNTIL a verification report demonstrating completion of the works set out in the approved remediation strategy relevant to that phase and the effectiveness of the remediation has been submitted to and approved, in writing, by the Local Planning Authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a long-term monitoring and maintenance plan) for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan, and for the reporting of this to the local planning authority.

**Reason:** To ensure a safe form of development that poses no unacceptable risk of pollution to the water environment.

14. If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local planning authority) shall be carried out until the developer has submitted a remediation strategy to the local planning authority detailing how this unsuspected contamination shall be dealt with and obtained written approval from the local planning authority. The remediation strategy shall be implemented as approved.

**Reason:** To ensure a safe form of development that poses no unacceptable risk of pollution to the water environment

15. Full details of a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, shall be submitted as part of the reserved matters relating to appearance, layout and scale for consideration by the Local Planning Authority. The approved Site Waste Management Plan shall be implemented concurrently with the development hereby approved in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with Policy WM8 of the Joint Merseyside Waste Plan.

16. NO PHASE OF DEVELOPMENT SHALL TAKE PLACE (including any demolition works) UNTIL a Construction Management Plan or Construction Method Statement for the

demolition and/or construction of the development of that phase hereby approved has been submitted to, and approved in writing by, the Local Planning Authority. The demolition and construction works shall be carried out in accordance with the approved details. Details submitted in respect of the method statement shall provide for routes for construction traffic, the provision of parking facilities for contractors and visitors during all stages of the development, hours of operation, the provision of a means of storage and/or delivery for all plant, site huts, site facilities and materials and shall provide for wheel cleaning facilities during the demolition, excavation, site preparation and construction stages of the development and/or method(s) of prevention of mud being carried onto the highway.

**Reason:** In the interests of the safe operation of the local highway network and having regards to visual and residential amenities of the area.

17. No tree, shrub or hedgerow felling/scrub clearance/ground clearance/building works/vegetation management/cutting operations is to take place during the period 1 March to 31 August inclusive. If it is necessary to undertake works during the bird breeding season then all buildings, trees, scrub and hedgerows are to be checked first by an appropriately experienced ecologist to ensure no breeding birds are present. If present, details of how they will be protected would be required to be submitted to and approved in writing by the Local Planning Authority.

**Reason:** In order to protect the biodiversity of the area and to protect birds during their breeding season and having regard to Policy NC7 of the Wirral Unitary Development Plan

18. NO PHASE OF DEVELOPMENT SHALL TAKE PLACE until a scheme for the disposal of foul and surface water drainage relevant to that phase has been submitted to and approved in writing by the Local Planning Authority. No phase of the development shall be brought into use until the drainage system for that phase has been constructed and completed in accordance with the approved plans.

**Reason:** In the interests of providing satisfactory drainage of the site and to accord with Policies HS4 and WA2 of the Wirral Unitary Development Plan.

19. Full details of the arrangements for the storage and disposal of refuse, and vehicle access thereto, within the curtilage of each dwelling on the site, shall be submitted as part of a reserved matters application for the residential development relating to appearance, landscaping and scale for consideration by the Local Planning Authority. The development shall be completed in accordance with the approved details prior to the first occupation of each dwelling unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure a satisfactory appearance and adequate standards of hygiene and refuse collection, having regard to policies WM8 and WM9 of the Waste Local Plan.

20. No development for the access to manufacturing units; security building; weighbridge; car & cycle parking; landscaped boundary treatment; and associated infrastructure for Burton's Biscuit Company shall commence until full details of a scheme for a sustainable drainage system<sup>1</sup> to serve the site, and method of implementation including arrangements to secure funding and maintenance for the lifetime of the development, including any arrangement for the adoption by any public body or statutory undertaker and any other arrangements required to secure the operation of the system, have been submitted to and approved in writing by the Local Planning Authority in consultation with Lead Local Flood Authority. The approved scheme shall be implemented in accordance with the approved details and timetable. Thereafter the sustainable drainage system shall be managed and maintained in accordance with the approved scheme.

**Reason:** To ensure satisfactory sustainable drainage facilities are provided to serve the site in accordance with Paragraphs 102 and 103 of the National Planning Policy Framework, and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

21. As part of an application for the approval of reserved matters for layout, appearance,

landscaping and scale of the residential development full details of a scheme for a sustainable drainage system to serve the site, and method of implementation including arrangements to secure funding and maintenance for the lifetime of the development, including any arrangement for the adoption by any public body or statutory undertaker and any other arrangements required to secure the operation of the system, shall be submitted for consideration by the Local Planning Authority in consultation with Lead Local Flood Authority.

**Reason:** To ensure satisfactory sustainable drainage facilities are provided to serve the site in accordance with Paragraphs 102 and 103 of the National Planning Policy Framework, WAT1, WAT2, EM6 and HS4 of the adopted Wirral Unitary Development Plan and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

22. The detailed plans submitted as reserved matters shall include a survey of existing and proposed ground levels, sections across the site, details of all highway levels and finished slab level for each property in relation to ground levels on adjoining land within and outside the site including the railway, highway and River Birket. The ground levels across the site and finished slab and highway levels shall be finished concurrently with each phase of development and maintained as such thereafter in accordance with the approved plans.

**Reason:** To ensure a satisfactory relationship between the various components of the development and between the site and adjoining land, to ensure that construction is carried out at a suitable level having regard to flood risk, drainage, access, the appearance of the development, any trees and hedgerows and the amenities of neighbouring properties, having regard to Policies WAT1, WAT2, EM6, HS4 and GR7 of the adopted Wirral Unitary Development Plan.

23. NO DEVELOPMENT FOR THE ACCESS TO MANUFACTURING UNITS AND THE SECURITY BUILDING; WEIGHBRIDGE; CAR & CYCLE PARKING; LANDSCAPED BOUNDARY TREATMENT; AND ASSOCIATED INFRASTRUCTURE FOR BURTON'S BISCUIT COMPANY SHALL TAKE PLACE UNTIL full details of existing ground levels, earthworks excavations and proposed finished levels in relation to exiting levels on adjoining land within and outside the site has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

**Reason:** To ensure a satisfactory relationship between the various components of the development and between the site and adjoining land, to ensure that construction is carried out at a suitable level having regard to drainage, flood risk, access, the appearance of the development, any trees and hedgerows and the amenities of neighbouring properties, having regard to Policies WAT1, EM6, HS4 and GR7 of the adopted Wirral Unitary Development Plan.

24. NO PHASE OF DEVELOPMENT SHALL COMMENCE UNTIL full details and a timetable of works to provide two accesses onto Pasture Road together with the new roads within the site relevant to that phase have been submitted to and approved in writing by the Local Planning Authority. Such details shall include, but shall not be limited to, carriageways, footways and footpaths, verges, cycle routes, street furniture, sewers and surface water drainage. The works shall be completed in accordance with the approved details and timetable to the written satisfaction of the Local Planning Authority.

**Reason:** To ensure that the development is laid out and constructed in a satisfactory manner having regards to highway safety and Policy HS4 of the Wirral Unitary Development Plan.

25. NO DEVELOPMENT SHALL COMMENCE UNTIL details of works to provide a pedestrian refuge on Pasture Road have been submitted to and agreed in writing by the Local Planning Authority. The works shall be completed in accordance with the approved details, to the written satisfaction of the Local Planning Authority, prior to first occupation of the development hereby approved.

**Reason:** To ensure that the development is laid out and constructed in a satisfactory manner having regards to highway safety and Policy HS4 of the Wirral Unitary Development Plan.

26. NO DEVELOPMENT SHALL COMMENCE UNTIL details of works to upgrade two bus stops on Pasture Road to the latest standards have been submitted to and agreed in writing by the Local Planning Authority (including repositioning as required and all necessary highway works, road markings and traffic signs). The works shall be completed in accordance with the approved details, to the written satisfaction of the Local Planning Authority, prior to first occupation of the development hereby approved.

**Reason:** To ensure that the development is laid out and constructed in a satisfactory manner having regards to highway safety and Policy HS4 of the Wirral Unitary Development Plan.

27. NO DEVELOPMENT SHALL COMMENCE UNTIL details of works to provide two vehicle activated Signs on Pasture Road have been submitted to and agreed in writing by the Local Planning Authority. The works shall be completed in accordance with the approved details, to the written satisfaction of the Local Planning Authority, prior to first occupation of the development hereby approved.

**Reason:** To ensure that the development is laid out and constructed in a satisfactory manner having regards to highway safety and Policy HS4 of the Wirral Unitary Development Plan.

28. Surface water drainage works shall be carried out in accordance with the details contained within the submitted Drainage Strategy approved in writing by the Local Planning Authority, in conjunction with the Lead Local Flood Authority. The surface water drainage scheme shall be fully constructed prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the approved Drainage Strategy, or within any other period as may subsequently be agreed, in writing, by the Local Planning Authority in consultation with the Lead Local Flood Authority.

**Reason:** To ensure satisfactory drainage facilities are provided to serve the site in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

29. No development shall commence until details of an appropriate management and maintenance plan for the surface water sustainable drainage system, comprising all components of the surface water drainage system, for the lifetime of the development have been submitted to the Local Planning Authority, in conjunction with the Lead Local Flood Authority. The plan shall be implemented in accordance with the approved details prior to first occupation of any of the approved dwellings, or completion of the development, whichever is the sooner. Thereafter the surface water sustainable drainage system shall be managed and maintained in accordance with the approved details.

**Reason:** To ensure satisfactory management and maintenance of the approved surface water drainage facilities is provided for the site for the lifetime of the development in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

#### **Further Notes for Committee:**

1. In connection with Conditions 20 & 21 above, details of a scheme for a sustainable drainage system should include:
  - a) Information about the lifetime of the development and design of the sustainable drainage system design, including storm periods and intensity

(1 in 30 & 1 in 100 year +30% allowance for climate change), discharge rates and volumes (both pre and post development), methods employed to delay and control surface water discharged from the site, and appropriate measures taken to prevent flooding and pollution of the receiving groundwater and/or surface waters, including watercourses;

- b) Demonstrate that the surface water run-off would not exceed the pre-development greenfield runoff rate for the existing greenfield site;
- c) Include details of a site investigation and test results to confirm infiltrations rates;
- d) Include details of how any flood water, including depths, will be safely managed in exceedance routes;
- e) Secure arrangements for adoption by an appropriate public body or statutory undertaker or, management and maintenance by a Residents' Management Company through an appropriate legal agreement;
- f) Secure arrangements, through an appropriate legal agreement for funding on-going maintenance of all elements of the sustainable drainage system including:
  - i. mechanical components;
  - i. on-going inspections relating to performance and asset condition assessments and;
  - ii. operation costs for regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime.
- g) Secure means of access for maintenance and easements, where applicable.
- h) Include a timetable for implementing the scheme

2. Whilst the indicative residential road layout is generally acceptable, the applicant is advised to make early contact with the Highway Management / Network Management Divisions prior to submission of reserved matters to agree a detailed layout that reflects the guidance provided in Manual for Streets to achieve a design speed of 20mph and minimises the need for invasive speed reduction features. In order to comply with the highway conditions, the applicant will be required to enter into Section 278 and Section 38 agreements under the Highways Act to include all necessary highway works, legal orders and commuted sums. Any damage to the existing highway that occurs as a result of the development will require reinstatement at the expense of the developer. You are advised to contact Highway Management via [www.wirral.gov.uk](http://www.wirral.gov.uk) for further details.

3. Details in relation to condition 29 shall include:

- i. the arrangements for adoption by an appropriate public body or statutory undertaker, and/or management and maintenance by a Residents' Management Company
- ii. arrangements concerning appropriate funding mechanisms for its on-going maintenance of all elements of the sustainable drainage system (including mechanical components) and will include elements such as:
  - a. on-going inspections relating to performance and asset condition assessments

- b. operation costs for regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime;
- iii. means of access for maintenance.

**Last Comments By: 13/07/2016**

**Expiry Date: 12/07/2016**



## Planning Committee

20 October 2016

**Reference:**  
**OUT/16/00439**

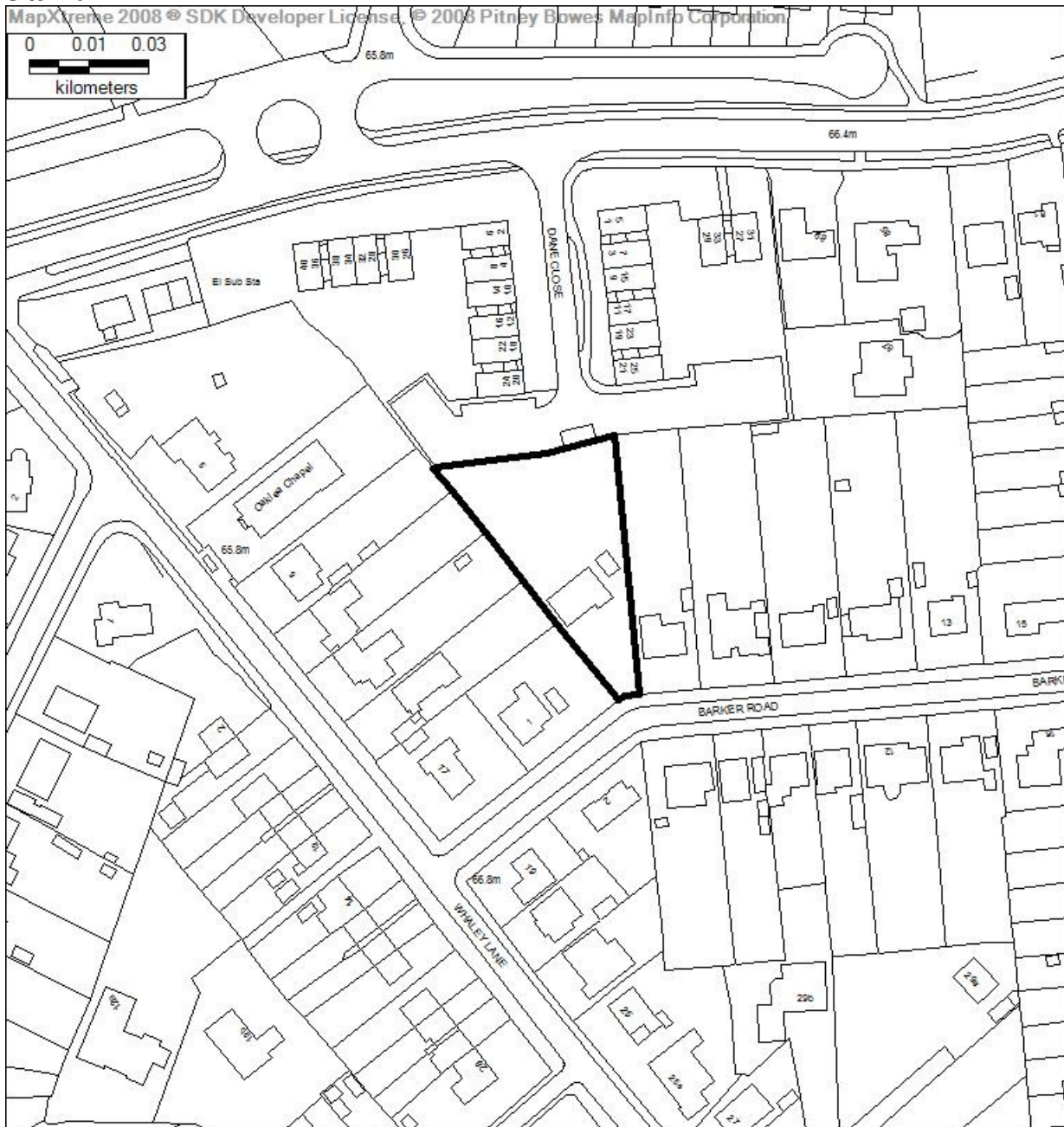
**Area Team:**  
**North Team**

**Case Officer:**  
**Mrs S Lacey**

**Ward:**  
**Pensby and Thingwall**

**Location:** 3 BARKER ROAD, IRBY, CH61 3XH  
**Proposal:** Outline application for the demolition of existing bungalow and erection of 3 no. detached dormer bungalows with garages/parking (AMENDED DESCRIPTION)  
**Applicant:** Mr R Davies  
**Agent :** Danielson Builders

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan Designation:**

Primarily Residential Area

**Planning History:**

None

**Summary Of Representations and Consultations Received:****REPRESENTATIONS:**

Having regard to the Council Guidance on Publicity for Applications, 13 letters of notification were sent to neighbouring properties. A Site Notice was displayed. 20 letters of objection have been received from neighbouring properties (1, 2, 4, 5, 6, 7, 8, 11, 12, 14 Barker Road, 12, 16, 20, 26, 28, 36, 43, 46 Thingwall Drive, 11 Whaley Lane and "Cedarwood") citing the following concerns:

1. Risk of flooding - serious problems of flooding in area when the drains cannot cope during heavy rainfall which the proposal will exacerbate;
2. Garden grabbing, overdevelopment and housing density;
3. Impact on the community;
4. Impact on street scene
5. Damage to hedges
6. Little room for maintenance
7. Overbearing to neighbouring properties
8. Access for emergency vehicles;
9. Highway safety concerns of the access on a blind bend and adjacent to street furniture;
10. Increase number of bins on the pavement;
11. Disturbance from car headlights to properties opposite the access;
12. The access is too narrow with no pavements, and cars cannot pass at the narrowest point;
13. No information regarding drainage;
14. The proposal does not relate to the surrounding properties;
15. The applicant states the access is 5.5m wide when it is only 4m wide;
16. There is no provision for children's' play area;
17. A similar development was refused some years ago;
18. Increase number of cars on the pavement;
19. Insufficient turning area and cars may have to reverse onto Barker Road;
20. Noise, disturbance and pollution;
21. Overlooking and loss of privacy;
22. Loss of a view;
23. No information on the final design and the proposal is not a "true" bungalow.

**CONSULTATIONS:**

**Head of Environment & Regulation (Traffic & Transportation Division):** No objection.

**Lead Local Flood Authority (LLFA):** No objection subject to conditions.

**United Utilities** had no objection to the application and requested no conditions.

**Director's Comments:****REASON FOR REFERRAL TO PLANNING COMMITTEE**

20 individual letters of representation have been received and therefore, under the provisions of the Scheme of Delegation for Determining Applications the application is required to be considered by the Planning Committee.

**INTRODUCTION**

The application proposes the demolition of no.3 Barker Road and erection of 3no. detached dormer bungalows with garages/parking (AMENDED DESCRIPTION). The application is for outline consent with details of access and a site layout supplied as the application proposes a backland development.

The applicant submitted amended plans reducing the number of proposed dwellings on 05 October 2016.

## **PRINCIPLE OF DEVELOPMENT**

The proposal for residential dwellings in a Primarily Residential Area is acceptable in principle subject to the provisions of Policies HS4 Criteria for New Housing Development and HS10 Backland Development of the adopted Wirral Unitary Development Plan (UDP) and the National Planning Policy Framework (NPPF).

## **SITE AND SURROUNDINGS**

The site comprises a dormer bungalow set back from the street scene within a fan-shaped plot, situated in a Primarily Residential Area of mixed design dormer bungalows.

No.1 Barker Road is a dormer bungalow set 14.6 m off the boundary with no.3, and its principal outlook is to the front and rear elevations. There are windows in the side (north-east) elevation which do not appear to be the sole windows serving habitable rooms, and there is a detached garage adjacent to the property.

No.5 is currently undergoing extensions and has windows in the side (west) elevation at ground floor and first floor. The ground floor window is considered secondary as the room enjoys a dual aspect the front and rear elevations. The first floor window serves a bedroom. It is set 2.4m off the boundary.

## **POLICY CONTEXT**

The proposal is assessed primarily against the following policies:

### Wirral Unitary Development Plan

Policy HS4 - Criteria for new housing development. This requires that the proposal in general terms must relate well to adjacent properties and not result in a detrimental change in the area or to the amenity of neighbouring properties.

Policy HS10 - Permits one to three new dwellings subject to the original dwelling retaining sufficient garden space, not harming the character of the area, providing adequate access and garden space.

Policy TR9 - Sets out the requirement for off street parking provision within new development and road safety and traffic management considerations.

Policy GR5 - This policy establishes the requirement for new developments to make a positive visual statement through new landscaping and the protection of existing landscape features.

SPG10 – Provides guidance for implementing UDP Policy HS10. and This indicates that accesses should be 3 metres wide with amenity strips and adequate passing places.

### The National Planning Policy Framework (NPPF)

The NPPF was published on 27th March 2012 and supports sustainable housing development which encompasses good design and widens the choice of high quality homes. Development should make a positive contribution to an area and use opportunities to improve the character and quality of an area.

Development Management Policies in the Joint Waste Local Plan for Merseyside and Halton are also applicable. Policy WM8 requires development to incorporate measures for achieving efficient use of resources, Policy WM9 also requires development to provide measures for waste collection and recycling, including home composting.

## **APPEARANCE AND AMENITY ISSUES**

The application is for outline consent with some matters reserved, and details of scale, design and landscaping will be considered at a reserved matter application stage.

The applicant submitted amended plans reducing the number of proposed dwellings from 4no. to 3no.dormer bungalows on 05 October 2016. The proposal is for a frontage dormer dwelling with access to the west leading to two backland dormer bungalows. The amended proposal is considered acceptable in density and layout. The proposed dwellings are well spaced and have adequate private amenity space (10m-14m rear gardens). There is reasonable outlook from the living area and the main bedrooms to the front and rear elevations. Whilst the proposed plots will be smaller than those on

Barker Road, two of the properties will be set to the rear of the plot (48m from the front boundary), and are not considered to result in a prominent development, and will not affect the character of the street scene when viewed from Barker Road. There are higher density developments in the vicinity, including two-storey flats to the rear of the site and two-storey terraced and semi-detached properties on Whaley Lane. Three detached dormer dwellings are not considered to constitute overdevelopment and will relate to the existing densities of the area. The proposed frontage dwelling will be set back from the building line along Barker Road and does not form a prominent structure. The proposal complies with policy HS4 and the NPPF.

Barker Road comprises of mixed design dormer bungalows, and the proposal for three dormer dwellings are acceptable in principle, subject to details received at reserved matters stage.

When considering the impact of the proposal on neighbouring properties, the scale and position of the proposed three dwellings is considered acceptable, and the dwellings are not considered to be overbearing to neighbouring properties. The flats to the rear (north) of the site are 25m away from the rear elevations of the proposed dwellings. The nearest property on Whaley Lane is 33m away from the side elevation of the dwellings to the rear. The proposed frontage dwelling is set 3.4m away from no.5 Barker Road and whilst it projects 4m to the rear of no.5 it will not affect the 45 degree outlook currently enjoyed from the habitable rear window to the rear elevation of no.5 Barker Road, or the side elevation windows as no.5 is positioned forward of the proposed dwelling. The proposal is not considered detrimental to the side windows of no.1 Barker Road. It is considered reasonable and necessary to remove permitted development rights for future extensions to the proposed bungalow to protect the amenities of surrounding properties. The proposal is not considered to over dominate the neighbouring properties or result in a sense of enclosure, and there remains a reasonable spacing between the properties. The proposal is not considered to result in significant overshadowing.

The proposed access is 2.8 metres in width with amenity strips along its length. Whilst this does not meet the 3m width recommended in Supplementary Planning Guidance 10 - Backland Development (SPG10), there is a 4.5m passing place at the entrance of the access, and a cul-de-sac at the head of the access. The Head of Environment and Regulation (Highway Engineers) had no objection to the proposal in relation to highway safety. SPG10 sets out a minimum distance of 6 metres to the windows of no.1 Barker Road and 4 metres between the between the proposed frontage dwelling with no habitable windows facing to the access strip. There is a 7.2m separation distance to no.1 Barker Road. This is considered acceptable. There is a 4m separation distance to the side elevation of frontage dwelling, with a garage adjacent to the access which further reduces the impact. Whilst the garage does not meet the recommended 4m separation distance, this is not considered to be a habitable room. The proposed access with conditions relating to fencing and landscaping is not considered to result in a detrimental change in the character of the area nor undue noise, disturbance, loss of privacy or sense of enclosure to No.1 or the proposed frontage dwelling. Thus, it is considered that the proposal can be accepted having regard to UDP Policy HS10 and SPG10.

### **SEPARATION DISTANCES**

Habitable room windows directly facing each other should be at least 21 metres apart. Main habitable room windows should be at least 14 metres from any blank gable. If there are differences in land levels a greater separation should be provided. The proposal is submitted in outline but the siting of the dwellings can fulfil the separation distances of 21m window to window to existing neighbouring properties.

The flats to the rear (north) of the site are 25m away from the rear elevations of the proposed bungalows. A 34m separation distance to the property opposite is achieved. A 21m separation distance between the proposed frontage dwelling and the proposed backland dwellings are achieved. The proposal is not considered to result in loss of outlook to these properties, loss of privacy or direct overlooking.

### **HIGHWAY/TRAFFIC IMPLICATIONS**

Objections were received from neighbours concerning the increase in traffic, and on-street parking, and the proposed narrow access on a blind bend adjacent to street furniture would be a highway safety issue. The Head of Environment and Regulation (Highway Engineers) have no objection to the proposal. The application complies with SPD4 Parking Standards, which sets out maximum requirements for new dwellings.

## **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

Neighbour concerns were received regarding site drainage and the risk of flooding in an area where there are already serious problems of flooding when the drains cannot cope during heavy rainfall, which the proposal will exacerbate.

The Lead Local Flood Authority (LLFA) was consulted on the application. They confirmed Barker Road lies within a catchment bounded by Thingwall Drive, Thingwall Road and Thingwall Road East which discharges surface water to the Arrove Brook further downstream at Glenwood Drive, and both Thingwall Drive and Glenwood Drive areas have a recent history of surface water flooding. As such the applicant has submitted a Flood Risk Assessment and Drainage Strategy (dated July 2016). The LLFA has no objection to the proposed development subject to conditions the development shall be carried out in accordance with the submitted surface water strategy (and the scheme shall be constructed prior to the occupation of the development), and details of an appropriate management and maintenance plan for the sustainable drainage system over the lifetime of the development shall be agreed in writing with the local Authority.

Concerns were raised regarding noise, disturbance and pollution. The site is designated as residential and the proposed additional three dwellings are not considered to result in a significant increase level of noise, disturbance or pollution that would warrant a refusal. Noise and disturbance caused during construction cannot form a reason for refusal. Other neighbour objections received concerning additional bins on the pavement, disturbance to properties opposite due to car headlights and damage to hedges are not considered to constitute reasons for refusal under planning remit.

## **HEALTH ISSUES**

There are no health implications relating to this application.

## **CONCLUSION**

The proposal is considered to be of a density and layout which would not result in a detrimental change in the character of the residential area or harm the amenities of neighbours on every side. The proposal is not considered to result in loss of outlook, privacy, daylight or sunlight to neighbouring properties. As such the proposal is considered acceptable within the terms of complies with Policies HS4, HS10, TR9 and GR5 of the adopted Wirral Unitary Development Plan, SPG10, and the National Planning Policy Framework.

### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposal is considered to be of a density and layout which would not result in a detrimental change in the character of the residential area or harm the amenities of neighbours on every side. The proposal is not considered to result in loss of outlook, privacy, daylight or sunlight to neighbouring properties. As such the proposal complies with Policy HS4, HS10, TR9 and GR5 of the adopted Wirral Unitary Development Plan, SPG10, and the National Planning Policy Framework.

**Recommended                      Approve**  
**Decision:**

### **Recommended Conditions and Reasons:**

1. The development hereby permitted shall be commenced either before the expiration of three years from the date of this permission or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

**Reason:** To comply with the provisions of Section 92 of the Town and Country Planning Act, 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the amended

plans received by the local planning authority on 05 October 2016.

**Reason:** For the avoidance of doubt and to define the permission.

3. NO DEVELOPMENT SHALL COMMENCE ON SITE UNTIL details of the following reserved matters have been submitted to and approved in writing by the Local Planning Authority within three years from the date of this permission.

- (a) The **scale** of the development;
- (b) The external **appearance** of the development; and
- (c) The **landscaping** of the site

The development shall be carried out in accordance with the approved details.

**Reason:** To enable the Local Planning Authority to control the detail of the development and to comply with Section 92 of the Town and Country Planning Act (as amended).

4. Before any construction commences, samples of the facing and roofing materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

5. NO DEVELOPMENT SHALL TAKE PLACE until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with Policy WM8 of the Waste Local Plan.

6. PRIOR TO FIRST OCCUPATION OR USE OF THE DEVELOPMENT, arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the curtilage of the site, in accordance with details previous submitted to and agreed in writing by the Local Planning Authority, prior to the first occupation of the building.

**Reason:** To ensure a satisfactory appearance and adequate standards of hygiene and refuse collection, having regard to Waste Local Plan Policy EM9.

7. The detailed landscaping plans submitted as reserved matters shall include:

- (i) details of boundary treatments and hard surfaces
- (ii) the location, size and species of all trees to be planted
- (iii) the location, size, species and density of all shrub and ground cover planting
- (iv) a schedule of implementation

**Reason:** In the interests of visual amenity and to ensure that the development complies with Policy HS4 of the Wirral Unitary Development Plan.

8. Details of the boundary treatments shall be submitted to and approved in writing by the Local Planning Authority. The fencing shall be erected prior to the occupation of the dwellings.

**Reason:** To ensure the amenities of neighbouring properties and to comply with Policy HS4

of the Unitary Development Plan.

9. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any subsequent Order or statutory provision revoking or re-enacting the provisions of that Order), no garages, outbuildings or other extensions to a dwelling shall be erected unless expressly authorised.

**Reason:** In order to protect the character of the area/residential amenities of nearby occupants and to accord with Policy HS4 of the Wirral Unitary Development Plan.

10. Surface water drainage works shall be carried out in accordance with the details contained within the submitted Flood Risk Assessment and Drainage Strategy (July 2016, Reference: w10097-160718-FRA & Drainage Strategy). The surface water drainage scheme shall be fully constructed prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the approved Drainage Strategy, or within any other period as may subsequently be agreed, in writing, by the Local Planning Authority in consultation with the Lead Local Flood Authority.

**Reason:** To ensure satisfactory drainage facilities are provided to serve the site in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

11. No development shall commence until details of an appropriate management and maintenance plan for the sustainable drainage system including any storage and pumping arrangements for the lifetime of the development have been submitted to and approved in writing for consideration by the Local Planning Authority, in conjunction with the Lead Local Flood Authority.

Details shall include:

- i. the arrangements for adoption by a statutory undertaker or management and maintenance by a Residents' Management Company
- ii. arrangements concerning appropriate funding mechanisms for its on-going maintenance of all elements of the sustainable drainage system (including mechanical, electrical and pumping components) and will include elements such as:
  - a). on-going inspections relating to performance and asset condition assessments;
  - b). operation costs for regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime;
- iii. means of access for maintenance.

The plan shall be implemented in accordance with the approved details prior to first occupation of any of the approved dwellings, or completion of the development, whichever is the sooner. Thereafter the sustainable drainage system shall be managed and maintained in accordance with the approved details.

**Reason:** To ensure satisfactory management and maintenance of the approved surface water drainage facilities is provided for the site for the lifetime of the development in accordance with UDP Policy WA5, the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

**Further Notes for Committee:**

**Last Comments By:** 02/06/2016  
**Expiry Date:** 17/06/2016

This page is intentionally left blank



## Planning Committee

20 October 2016

**Reference:**  
**APP/16/00527**

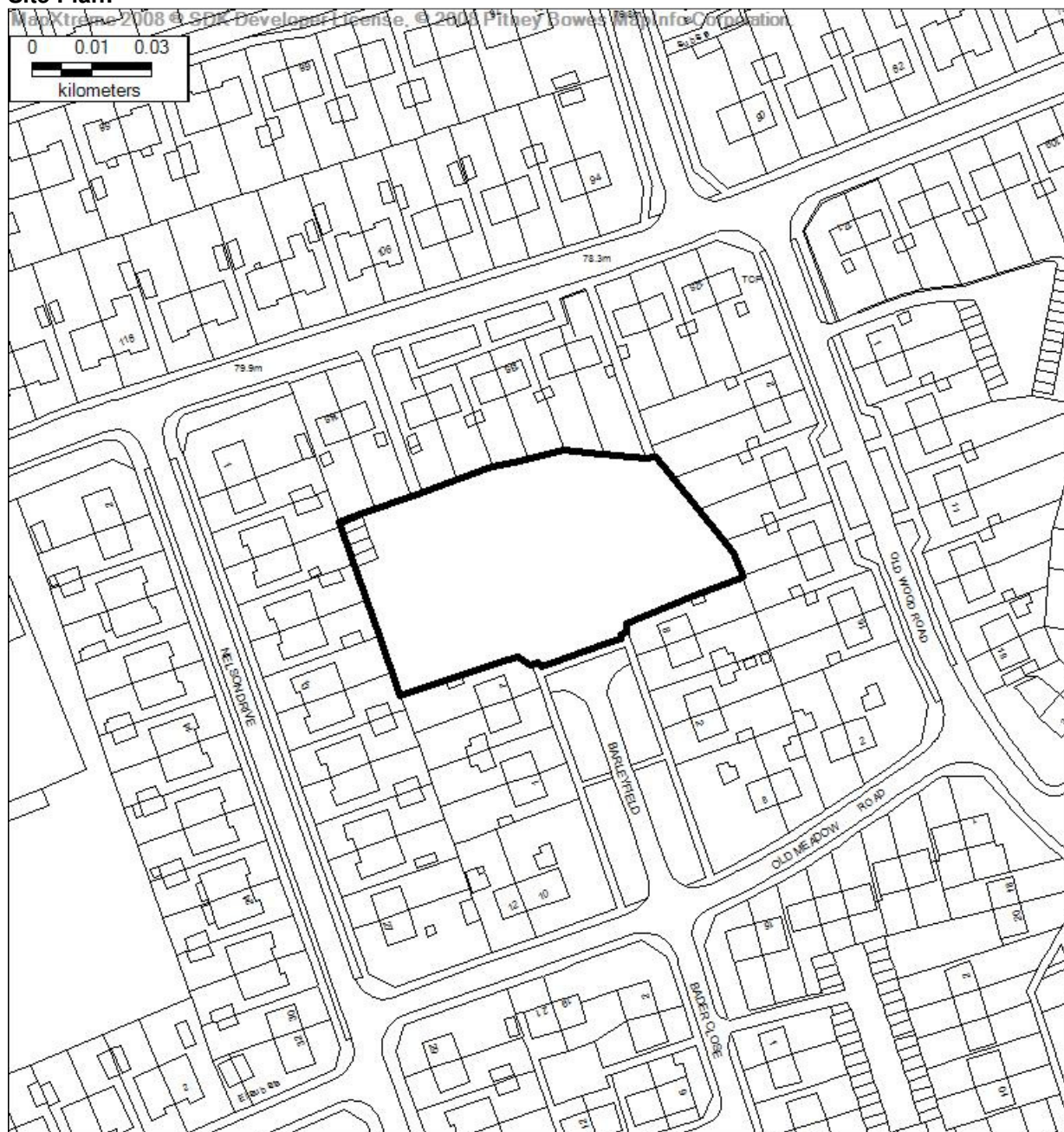
**Area Team:**  
**South Team**

**Case Officer:**  
**Mrs C Parker**

**Ward:**  
**Pensby and  
Thingwall**

**Location:** Barleyfield House, BARLEYFIELD, PENSBY, WIRRAL  
**Proposal:** 14 No new build residential properties (amended layout of Plots 3-6 inc)  
**Applicant:** Starfish Commercial LTD  
**Agent :** Watson Batty Architects Ltd

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan Designation:**

Primarily Residential Area

**Planning History:**

Location: Barleyfield, Pensby, Wirral CH61 5UX  
Application Type: Full Planning Permission  
Proposal: Erection of 8 no. flats and 7 no. houses, extension to road and associated landscaping  
Application No: APP/11/01512  
Decision Date: 28/03/2012  
Decision Type: Approve

Location: Barleyfield House, Barleyfield, Pensby, Wirral, CH61 5XA  
Application Type: Prior Notification of Demolition  
Proposal: Demolition of Barleyfield House Barleyfield  
Application No: DEM/08/06733  
Decision Date: 07/11/2008  
Decision Type: Prior approval is not required

**Summary Of Representations and Consultations Received:****REPRESENTATIONS:**

Having regard to the Council's Guidance on Publicity for Applications, 38 notifications were sent to adjoining properties. A site notice was also displayed. 8 representations have been received stating the following concerns:

1. Three storey would be out of context
2. Loss of privacy
3. Overdevelopment
4. Existing parking issues
5. Increase in traffic
6. Construction traffic will cause construction

A qualifying petition of objection containing 48 signatures has been received objecting due to overdevelopment of the site and concern over parking.

**CONSULTATIONS:**

**Head of Environment & Regulation** (Traffic and transportation Division) - No objection

**Head of Environment & Regulation** (Pollution Control Division) - No objection

**Head of Environment & Regulation** (Housing) - An independent assessment of the affordable housing viability assessment should be carried out.

**Lead Local Flood Authority** – No objection subject to conditions

**Merseytravel** - Traffic should not impede the passage of bus services

**DIRECTORS COMMENTS:**

Consideration of this item was deferred from Planning Committee on 15 September 2016 to allow for a formal Member's Site Visit to take place.

**REASON FOR REFERRAL TO PLANNING COMMITTEE**

A qualifying petition of objection with 48 signatures has been received and is therefore required to be considered by Planning Committee.

**INTRODUCTION**

The proposal is for 14 residential properties on the site at Barleyfield that formerly comprised 27 sheltered housing units which were demolished approximately 7 years ago. The development will

comprise two pairs of two-storey semi-detached houses (plots 1,2, 13 and 14), a row of 4 two-storey houses (plots 3-6) a two-storey detached house at plot 12, plots 7- 11 will provide 2 end two-storey houses and plots 8, 9 and 10 will be three-storey mid terraced houses. A previous residential development has been approved at this site for 8 flats and 7 houses (APP/11/01512) approved on 27.3.12.

### **PRINCIPLE OF DEVELOPMENT**

The application site lies is designated as part of the Primarily Residential Area in the Wirral Unitary Development Plan (UDP) and as such, the principle of development is acceptable.

### **SITE AND SURROUNDINGS**

Barleyfield is a pleasant tree-lined cul-de-sac comprising two-storey semi-detached houses. The application site is a cleared site defined as brownfield and is located at the top of the cul-de-sac. The site is bounded by houses on all sides and is cleared apart from 4 small garages at the north western corner of the site. The top of the cul-de-sac currently has a turning head and road will be extended into the site allowing access to the development.

### **POLICY CONTEXT**

The proposal is for a residential development and is assessed against the following policies.

Policies URN1, HSG2, GR5 and HS4 of the Wirral Unitary Development Plan are relevant to this proposal. The proposal is in accordance with Policies URN1 where it states that the delivery of affordable housing to meet local needs should make full and effective use of land by bringing unused land into beneficial use. Policy HS4 states that proposals should be an appropriate scale that relates well to surrounding property, in particular with regard to existing densities and form of development. The development should not result in a detrimental change in the character of the area and should provide appropriate landscaping and boundary treatment that contributes to a secure environment. Policy GR5 states that developments should include landscaping schemes to improve visual amenity.

Affordable Housing should be provided at a rate of 20% in accordance with UDP Policy HSG2 and Policy CS22 in the emerging Local Plan. The applicant has submitted a Viability Assessment that states it is not economically viable to provide affordable housing as part of the proposal due to current market sales values in the locality and costs on current tender returns. The Assessment has been independently reviewed and concluded that the Assessment does support the Developers assertion that no affordable units are presently viable on this development as per costs and data currently presented and checked

Development Management Policies in the Joint Waste Local Plan for Merseyside and Halton are also applicable. Policy WM8 requires development to incorporate measures for achieving efficient use of resources. Policy WM9 also requires development to provide measures for waste collection and recycling.

The National Planning Policy Framework (NPPF), which is a material consideration, supports sustainable housing development which encompasses good design and widens the choice of high quality homes. Development should make a positive contribution to an area and use opportunities to improve the character and quality of an area. Local Planning Authorities should plan for a mix of housing based on current and future demographic trends, market trends and the needs of different groups in the community and identify the size, type, tenure and range of housing that is required in particular locations to reflect local demand.

### **APPEARANCE AND AMENITY ISSUES**

The proposed development is predominantly two-storey comprising a mix of terraced, semi-detached and a detached property, each provided with private garden areas. The only three storey houses are 3 mid terraced houses at plots 8, 9 and 10. The houses are arranged at the top of the cul-de-sac and accessed by extending the road from Barleyfield and providing a turning head within the site. The layout of the houses follow the general pattern and design of development in the immediate area. The site is bounded by mainly two-storey houses of a similar scale and the proposed materials of brick and render will reflect the appearance of surrounding properties. There are bungalows to the south of the site along Nelson Drive and amended plans have been submitted that show a separation distance of

approximately 23 metres from the houses proposed at plots 3-6, which will be two-storey.

The site was previously occupied by sheltered units, which records show were a higher density to the proposed development. Each plot will be provided with adequate gardens along with sufficient space for off-street parking in the form of shared or private driveways. The proposed layout is designed to create a safe and accessible development and represents a sustainable development that will make beneficial use of the vacant site.

Representations have been received concerned over the overdevelopment of the site that is out of context with the area. The density is less than the previous sheltered accommodation that occupied the site and is a scale that reflects the pattern of development of the area. Representations state concern over possible noise or disruption from construction traffic. These are issues outside the remit of Planning and would be dealt with under Environmental Health legislation. Notwithstanding this, a condition is recommended to request a Construction Management Plan that could address the hours and method of construction. In addition, an informative to the applicant setting out the requirements that are enforced by Environmental Health will be included on the decision notice. There is concern over the increase in traffic, however the proposal is unlikely to result in an increase that would lead to any traffic or highway safety implications. Comments received describe existing parking issues and it is considered that the proposed development provides adequate off street parking for the new houses.

### **SEPARATION DISTANCES**

In order to preserve local residential amenity, the following separation distances need to be achieved: Habitable room windows directly facing each other should be at least 21 metres apart. Main habitable room windows should be at least 14 metres from any blank gable. If there are differences in land levels or where development adjoins that of different ridge height, such as three-storey development adjacent to two-storey property, a greater separation should be provided. For every metre difference in ridge height (or part thereof) the above distances should be increased by 2 metres

The proposed two-storey houses at plots 3-6 have been amended to allow a distance of 23 metres from the bungalows at the rear in Nelson Drive. The three-storey mid-terraced houses at plots 8, 9 and 10 allow for a distance of 24 metres to the houses at the rear on Fishers Lane. The remainder of the plots will be occupied by two-storey houses and allow for a separation distance in excess of 21 metres, which meets the usually required 21 metres where habitable room windows face each other and ensures that there will be no issues of overlooking or loss of privacy.

Representations have been received stating concern over location of the buildings close to existing houses. As set out above, the development is located more than the required 21 metres away from houses bounding the site to ensure no loss of privacy.

### **HIGHWAY/TRAFFIC IMPLICATIONS**

It is considered that the proposed development will not result in any significant traffic or highway safety implications.

### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

The site is a brownfield site and the development would make best and efficient use of the vacant land and represents a sustainable development.

### **HEALTH ISSUES**

There are no health implications relating to this application.

### **CONCLUSION**

The proposed development represents the re-use of a brownfield site to provide a sustainable residential development. The design, scale and layout of the houses represents a development that fits in with the surrounding pattern of development and character of the area. The development allows adequate separation distances and this along with the appropriate scale and siting ensures that there will be no loss of amenity for existing properties. The development includes parking, landscaping and amenity space to a standard that satisfies the relevant UDP policies and the provisions of the NPPF.

### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has

been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed development represents the re-use of a brownfield site to provide a sustainable residential development. The design, scale and layout of the houses represents a development that fits in with the surrounding pattern of development and character of the area. The development allows adequate separation distances and this along with the appropriate scale and siting ensures that there will be no loss of amenity for existing properties. The development includes parking, landscaping and amenity space to a standard that satisfies the relevant UDP policies and the provisions of the NPPF.

**Recommended Decision:**                      **Approve**

**Recommended Conditions and Reasons:**

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

**Reason:** To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the approved plans as amended received by the local planning authority on the 15 June 2016 and 23 August 2016 and listed as follows: EX01 dated 26/01/2016, EX02 dated 07/04/2016, EX03 (Rev G) dated 26/01/2016, EX04 dated 31/03/16, GA10, GA11, GA12, GA13, GA14, GA15 dated 15/02/2016 and R/1866/1 dated May 16

**Reason:** For the avoidance of doubt and to define the permission.

3. NO DEVELOPMENT SHALL TAKE PLACE until samples of the facing and roofing materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

4. PRIOR TO FIRST OCCUPATION OF THE DEVELOPMENT details of a scheme for all boundary treatment shall be submitted to and agreed in writing with the Local Planning Authority. The agreed scheme shall be implemented in full and retained as such thereafter unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** In the interest of amenity

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2008 (or any subsequent Order or statutory provision revoking or re-enacting the provisions of that Order), no garages, outbuildings or other extensions to a dwelling shall be erected unless expressly authorised.

**Reason:** In order to protect the character of the area/residential amenities of nearby occupants and to accord with Policy HS4 of the Wirral Unitary Development Plan.

6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2008 (or any subsequent Order or statutory provision re-enacting or revoking the provisions of that Order), no window or dormer window shall be added to the property unless expressly authorised.

**Reason:** In order to protect the residential amenities of nearby occupants and to accord with Policy HS4 and CH2 of the Wirral Unitary Development Plan.

7. NO DEVELOPMENT SHALL TAKE PLACE until full details of soft and hard landscaping have been submitted to and approved in writing by the Local Planning Authority. The landscaping scheme shall detail the locations, species and heights of all existing and proposed trees, shrubs and hedge planting and all existing and proposed grassed and hard surfaced areas and any other natural or proposed features. The approved scheme shall be implemented in full in the first planting season following first occupation of the dwellings hereby permitted, unless otherwise agreed in writing by the Local Planning Authority.

**Reason:** To ensure a satisfactory standard of appearance and that the proposed development enhances the visual amenity of the locality in accordance with Policy HS4 of the UDP.

8. Any trees or shrubs removed, dying, being severely damaged or becoming seriously diseased within five years from the completion of the scheme shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted unless otherwise agreed in writing by the Local Planning Authority.

**Reason:** To ensure a satisfactory standard of appearance and that the proposed development enhances the visual amenity of the locality in accordance with Policy GR5 of the UDP.

9. NO DEVELOPMENT SHALL TAKE PLACE until a datum for measuring land levels shall be agreed in writing. Full details of existing and proposed ground levels and proposed finished floor levels shall be taken from that datum and submitted to and approved in writing by the Local Planning Authority, notwithstanding any such detail shown on previously submitted plans. The development shall be carried out in accordance with the approved details.

**Reason:** In the interests of residential amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

10. NO DEVELOPMENT SHALL TAKE PLACE until a scheme for the disposal of foul and surface water drainage has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be brought into use until the drainage system has been constructed and completed in accordance with the approved plans.

**Reason:** In the interests of providing satisfactory drainage of the site and to accord with Policy HS4 of the Wirral Unitary Development Plan.

11. NO DEVELOPMENT SHALL TAKE PLACE until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with Policy WM8 of the Waste Local Plan.

12. PRIOR TO THE FIRST OCCUPATION OF THE DWELLINGS arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the curtilage of the site, in accordance with details to be submitted to and agreed in writing by the Local Planning Authority. The approved details shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure a satisfactory appearance and adequate standards of hygiene and refuse collection, having regard to Policy WM9 of the Waste Local Plan.

13. NO DEVELOPMENT SHALL TAKE PLACE (including any demolition works) UNTIL a Construction Management Plan or Construction Method Statement for the demolition and/or

construction of the development hereby approved has been submitted to, and approved in writing by, the Local Planning Authority. The demolition and construction works shall be carried out in accordance with the approved details.

Details submitted in respect of the method statement shall provide for routes for construction traffic, the provision of parking facilities for contractors and visitors during all stages of the development, hours of operation, the provision of a means of storage and/or delivery for all plant, site huts, site facilities and materials and shall provide for wheel cleaning facilities during the demolition, excavation, site preparation and construction stages of the development and/or method(s) of prevention of mud being carried onto the highway.

**Reason:** In the interests of the safe operation of the local highway network and having regards to visual and residential amenities of the area.

14. NO DEVELOPMENT SHALL COMMENCE ON SITE until full details of works to construct the new highway in addition to amendments to the existing highway made necessary by the development has been submitted to and approved in writing by the Local Planning Authority. Such details shall include, but not be restricted to, footways, footpaths, verges, junctions, street lighting, sewers, drains, retaining walls, service routes, surface water outfall, vehicle overhang margins, visibility splays, accesses, carriageway gradients, drive gradients, car parking and street furniture, including a timetable for the provision of such works. No part of the development shall be first occupied until the details have all been constructed and laid out in accordance with the approved details and timetable.

**Reason:** To ensure that the development is laid out and constructed in a satisfactory manner having regards to highway safety and Policy HS4 of the Wirral Unitary Development Plan.

15. Surface water sustainable drainage works, comprising all components of the surface water drainage system, shall be carried out in accordance with the details contained within the submitted Drainage Impact Assessment (Oct 2016 : Ref 13375-5026-DIA Issue 1) and further information supplied - Drainage Calculations & Simulations Results (metEngineers Ref 13375-5026 Rev A October 2016) approved in writing by the Local Planning Authority, in conjunction with the Lead Local Flood Authority.

The surface water sustainable drainage scheme shall be fully constructed prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the approved Surface Water Drainage Strategy, or within any other period as may subsequently be agreed, in writing, by the Local Planning Authority in consultation with the Lead Local Flood Authority.

**Reason:** To ensure satisfactory drainage facilities are provided to serve the site in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

16. No development shall commence until full details of a scheme for a surface water sustainable drainage system to serve the site, and method of implementation including arrangements to secure funding and maintenance for the lifetime of the development through an appropriate legally binding agreement have been submitted to and approved in writing by the Local Planning Authority in consultation with Lead Local Flood Authority. The approved scheme shall be implemented in accordance with the approved details and timetable. Thereafter the surface water sustainable drainage system shall be managed and maintained in accordance with the approved scheme.

**Reason:** To ensure satisfactory drainage facilities are provided to serve the site in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

17. No development shall commence until details of an appropriate management and maintenance plan for the surface water sustainable drainage system, comprising all components of the surface water drainage system, for the lifetime of the development have

been submitted to the Local Planning Authority, in conjunction with the Lead Local Flood Authority.

The plan shall be implemented in accordance with the approved details prior to first occupation of any of the approved dwellings, or completion of the development, whichever is the sooner. Thereafter the surface water sustainable drainage system shall be managed and maintained in accordance with the approved details.

**Reason:** To ensure satisfactory management and maintenance of the approved surface water drainage facilities is provided for the site for the lifetime of the development in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

#### Further Notes for Committee:

1. The applicant is advised of the following requirements that are enforced by Environmental Health:
  1. Noisy work on construction and demolition sites is restricted (in most circumstances) to the following hours:
    - Monday to Friday: 8.00am to 6.00pm
    - Saturday: 8.00am to 1.00pm
    - Sunday: No noisy work
    - Public Holidays: No noisy work
  2. Should the construction/demolition contractor need to carry out noisy work outside the permitted hours they can apply for permission from Environmental Health via an online application form that can be accessed at:  
[www.wirral.gov.uk/environmental-problems/pollution-control/construction-site-noise](http://www.wirral.gov.uk/environmental-problems/pollution-control/construction-site-noise)
  3. Additionally, during the construction and/or demolition phases of the project effective dust suppression measures must be employed where the work is likely to liberate significant amounts of dust.
2. Details of a scheme for a surface water sustainable drainage system, comprising all components of the surface water drainage system, in relation to Condition 16 above should include:
  - a) Information about the lifetime of the development and design of the sustainable drainage system design, including storm periods and intensity (1 in 30 & 1 in 100 year +30% allowance for climate change), discharge rates and volumes (both pre and post development), methods employed to delay and control surface water discharged from the site, and appropriate measures taken to prevent flooding and pollution of the receiving groundwater and/or surface waters, including watercourses;
  - b) Demonstrate that the surface water run-off would not exceed the pre-development greenfield runoff rate for an existing greenfield site or show how surface water run-off would be reduced by at least 30% on previously developed sites;
  - c) Include details of how any flood water, including depths, will be safely managed in exceedance routes so as not to cause flooding to buildings within the site or elsewhere outside the site boundary;
  - d) Include a timetable for implementing the scheme.
3. Details in connection with Condition 17 above shall include:
  - i. the arrangements for adoption by an appropriate public body or statutory



undertaker, and / or management and maintenance by a Management Company

- ii. arrangements concerning appropriate funding mechanisms for its on-going maintenance of all elements of the sustainable drainage system (including mechanical components) and will include elements such as:
  - a. on-going inspections relating to performance and asset condition assessments
  - b. operation costs for regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime;
- iii. means of access for maintenance.

**Last Comments By:** 12/09/2016  
**Expiry Date:** 14/09/2016



## Planning Committee

20 October 2016

**Reference:**  
**APP/16/00633**

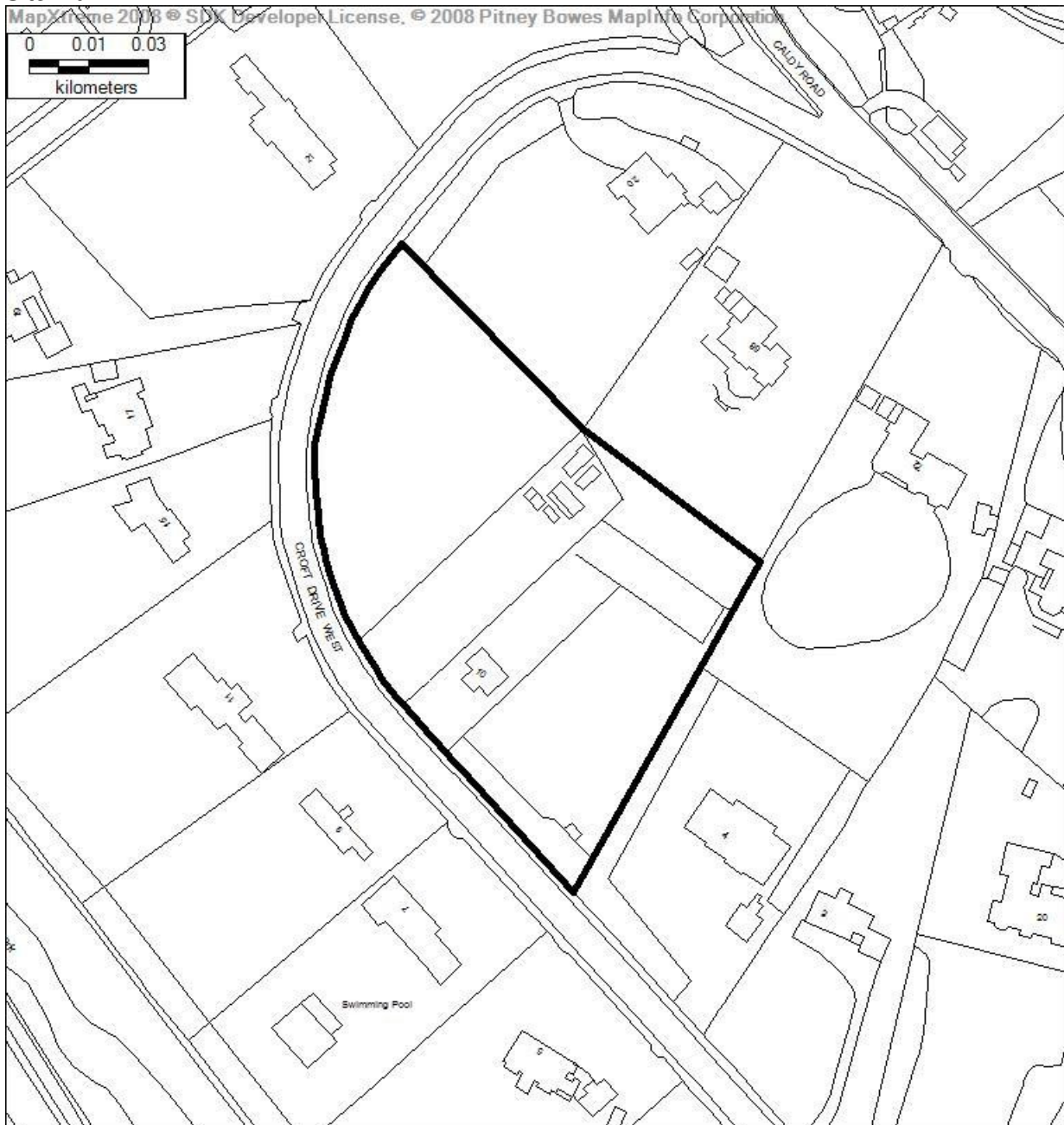
**Area Team:**  
**North Team**

**Case Officer:**  
**Mr N Williams**

**Ward:**  
**West Kirby and  
Thurstaston**

**Location:** Cedar Cottage, 10 CROFT DRIVE WEST, CALDY, CH48 2JG  
**Proposal:** Demolition of existing cottage, and construction of large single dwelling, including access and landscaping works  
**Applicant:** Mr L Archer  
**Agent :** Paul Butler Associates

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan allocation and policies:**

Conservation Area (for illustrative purposes)  
Density and Design Guidelines Area  
Primarily Residential Area

**Planning History:**

- Location: Ainways Croft Dr W Caldy L482jg  
Application Type: Full Planning Permission  
Proposal: Erection of three detached dwelling units.  
Application No: APP/77/06608  
Decision Date: 04/04/1977  
Decision Type: Approved
- Location: Land to the west and south-west of Ainways ,Caldy Road ,Caldy,L48 2HW  
Application Type: Full Planning Permission  
Proposal: Three detached houses  
Application No: APP/81/17593  
Decision Date: 04/06/1981  
Decision Type: Approved
- Location: West & South West, Ainways ,Caldy Road, CaldY, L48 2HW  
Application Type: Full Planning Permission  
Proposal: Extension of outline permission for 3 detached houses  
Application No: APP/84/24722  
Decision Date: 17/05/1984  
Decision Type: Approved
- Location: Land west and south west of (rear) Ainways, 68, CaldY Road, fronting Croft Drive West  
Application Type: Outline Planning Permission  
Proposal: Extension of outline planning permission for the erection of three detached houses.  
Application No: OUT/87/05748  
Decision Date: 01/07/1987  
Decision Type: Approved
- Location: Garden west and south west of (rear) Ainways, 68, CaldY Road, fronting Croft Drive West  
Application Type: Outline Planning Permission  
Proposal: Extension of outline planning permission for the erection of three detached houses.  
Application No: OUT/90/06170  
Decision Date: 17/08/1990  
Decision Type: Approved
- Location: Garden west and south west of (rear) Ainways, 68, CaldY Road, fronting Croft Drive West  
Application Type: Outline Planning Permission  
Proposal: Renewal of outline planning permission for the erection of three detached houses.  
Application No: OUT/93/05648  
Decision Date: 17/06/1993  
Decision Type: Approved
- Location: Cedar Cottage, 10 CROFT DRIVE WEST, CALDY, CH48 2JG  
Application Type: Full Planning Permission  
Proposal: Proposed 2 new detached dwellings on land adjacent to Cedar Cottage, 10 Croft Drive West, CaldY  
Application No: APP/12/01448

Decision Date: 31/01/2013  
Decision Type: Withdrawn

Location: Cedar Cottage, 10 CROFT DRIVE WEST, CALDY, CH48 2JG  
Application Type: Full Planning Permission  
Proposal: Construction of 2no. new dwellings on land adjacent Cedar Cottage, 10 Croft Drive West, Caldly  
Application No: APP/13/00963  
Decision Date: 18/09/2013  
Decision Type: Approved

### **Summary Of Representations and Consultations Received:**

#### REPRESENTATIONS:

Having regard to the Council's Guidance for Publicity on Planning Applications, 18 notifications were sent to adjoining properties and a site notice was displayed near the site. At the time of writing, there has been a petition of objection received containing 30 signatures, together with 3 individual objections. The objections can be summarised as:

1. Proposal would impact upon neighbouring properties;
2. Proposed dwelling is set too close to rear boundary which is out of keeping with the surrounding area, which is a 'defining characteristic';
3. The site is large enough to move the dwelling further away from the rear boundary;
4. The proposal would impact upon the neighbours tree;
5. Proposal is out of scale and character;
6. Removal of trees;
7. Leisure suite is excessive in scale;
8. Proposal is contrary to policy;
9. Proposal is 'inside' the building line;

Additional comments were received requesting consideration of the loss of trees on the site, and some issues over proposed levels.

There were also 4 letters of support received, stating that the proposed dwelling is in keeping with the area and will be an asset to Caldly.

#### CONSULTATIONS:

**Head of Environment & Regulation (Pollution Control Division)** - No objection

**Head of Environment & Regulation (Traffic and Transportation Division)** - No objection

#### **Directors Comments:**

#### **REASON FOR REFERRAL TO PLANNING COMMITTEE**

A qualifying petition of objection containing 30 signatures has been received.

#### **INTRODUCTION**

The application is for the demolition of the existing building and the erection of a large, single dwelling with access and landscaping.

The proposal has been slightly amended from the original submission, with the leisure suite being brought forward on the site by approximately 1 metre, and the dwelling being rotated marginally so as to further increase the distance of the leisure suite from the rear boundary. The leisure suite will also be set further into the ground by 0.5m.

#### **SITE AND SURROUNDINGS**

The site is an extensive plot located on the corner of Croft Drive West, and currently contains a dwelling called Cedar Cottage. Cedar Cottage is a small, two-storey dwelling set in grounds with significant tree cover to the perimeter of the site, largely obscuring views into the site. The design or character of the dwelling does not appear to be of any distinctive construction or design and this is reflected by the fact

that it is not Listed, nor proposed to be locally listed. The historic maps suggest that Cedar Cottage was constructed between 1930 to 1950. The site overall comprises four parcels of land. Cedar Cottage accommodates the smallest land parcel, whilst the adjacent parcel to the north has hard standing which would previously have accommodated small scale greenhouses or outbuildings.

The site is designated in Wirra's Unitary Development Plan as being a Primarily Residential Area and is also within Caldy Conservation Area. As such, the surrounding area generally contains large detached dwellings set in substantial plots.

## **POLICY CONTEXT**

The proposal is subject to Wirral Unitary Development Plan Policy HS4: Criteria for New Housing Development, Policy GR5: Landscaping and New Development, Policy CH2: Development Affecting Conservation Areas, Policy CH3: Demolition Control within Conservation Areas, Policy CH11: Caldy Conservation Area. The National Planning Policy Framework (NPPF) is also relevant, as is the Caldy Conservation Area Character Appraisal.

## **APPEARANCE AND AMENITY ISSUES**

### Principle, Scale and Siting of Development

Special regard must be given to the desirability preserving or enhancing the character or appearance of the conservation area as required by section 72 of the Listed Building and Conservation Areas Act 1990. This is reflected in UDP Policies CHO1 CH2.

Wirral UDP Policy CH3 states that the 'demolition of buildings or structures within a designated Conservation Area, other than Listed Buildings or structures, will only be permitted where the building or structure to be removed has little historic importance, visual merit or group value, or otherwise detracts from the special character of the Area'. In accordance with Policy CH3, Cedar Cottage is considered to be of little historic importance, visual merit or group value, and as the proposed development will enhance the character of the area, its removal is justifiable.

Cedar Cottage is not listed, locally listed, nor proposed to be locally listed, which is reflective of its limited heritage significance. The proposals would not therefore prejudice the objective of protecting important buildings within the Caldy Conservation Area. Paragraph 138 of the NPPF states 'not all elements of a Conservation Area will necessarily contribute to its significance'. As per Paragraph 135 of the NPPF, whilst the proposal would have a significant impact on Cedar Cottage, in that it would lead to its removal, the significance of this non-designated heritage asset is extremely minor. In this context, the removal of Cedar Cottage should be treated as 'less than substantial harm' to the Caldy Conservation Area designated heritage asset in accordance with Paragraph 134 of the NPPF.

The character and appearance of Caldy Conservation Area is generally residential, comprising of large detached buildings set on substantial plots. The application site is of sufficient size to readily accommodate the proposed dwelling and the proposal is therefore not considered to be an overdevelopment of the plot - this is more so the case given that there is an extant permission for two additional dwellings on the site under reference APP/13/00963. One larger dwelling on the whole site is considered to be more in keeping with the character and nature of the Conservation Area.

There is a huge variety of forms of development; plot sizes; spacing between buildings; orientation of buildings; layout and different alignments of streets in the Conservation Area. The Character Appraisal also highlights that whilst there is some consistency with properties positioned parallel to road and spanning the full width of their plots (e.g. Croft Drive East, Links Hey Road, Caldy Chase Drive), there is also some consistency in properties positioned at angles in larger plots situated to the north of Caldy Road (e.g. Kings Drive and Caldy Wood) and to the west of the Conservation Area (e.g. Croft Drive West and Croft Drive).

Given this context, and the modest scale of the proposed dwelling in relation to the substantial size of the plot, it would not appear out of character or perceived as a cramped form of development, nor would it significantly erode the spacious character of the area. One of the primary objections received centred on the close proximity of the proposed dwelling to the rear boundary, which is claimed to be closer than any other within the Conservation Area. This may well be the case, but this in itself is not considered sufficient to warrant refusal of the application. It is only the leisure suite which comes within close

proximity (10.5m) of the rear boundary, with the main house being set more centrally in the site, and approximately 20m from the rear boundary. Given the variety in plot sizes and placement of dwellings on those plots throughout the Conservation Area, the proposed dwelling being set as it is would not harm the character of the Conservation Area. Indeed, given that the dwelling is set back on the site (and thus 'close' to the rear boundary), the development would barely be discernible from publicly accessible vantage points along Croft Drive West. Within Caldry Conservation Area there is no fixed pattern of development and it is therefore considered that the siting of the dwelling would not be out of character with the varied development patterns throughout the Conservation Area.

A tennis court is proposed in the southern part of the site, and whilst this may be visible in part on the street scene, it will not have a harmful visual impact. A greenhouse and summerhouse is also proposed towards the rear boundary - these are only small in scale and will appear as traditional features within a residential curtilage and will therefore not harm the character or appearance of the area.

Whilst the properties to the rear are set at a marginally higher level, the application site overall is fairly level and the proposed dwelling will be set on a level which is consistent with both the road and the surrounding properties of Croft Drive West.

### Boundary Treatment

The developments within the Conservation Area are controlled through a series of covenants which run with the land – prescribing use, density, building location, some aspects of materials to be used and boundary fencing. A typical covenant clause is cited within the Conservation Area Appraisal: '.....(the property) shall be fenced in front to the road or roads and along the boundaries of the land with a fence not more than four feet six inches in height above the level of the road consisting of either ornamental iron railing or oak or wire fencing'.

The application site currently consists of two types of boundary treatment - to the western side there is the standard wood fencing and the eastern side is the original fencing style of 'wide-spaced riven oak palings, alternately tall and shorter with pegged joints onto rails'. As part of the proposal the intention is for this original style to be adopted for the entire site boundary with Croft Drive West, and the height of the fencing to be maintained in accordance with the covenant, therefore making a significant contribution to the character of the Conservation Area.

### Design

The proposed dwelling is two storeys high (with the first-floor partly built into the roof), and constructed in an 'Arts and Crafts' style using traditional materials and architectural detailing such as pitched dormers, steep roofs, tall chimneys and stone window surrounds, all in a contemporary style. The Arts and Crafts style is dominant throughout the Conservation Area. The proposed new development has been designed as a contemporary interpretation of this style, a traditional vernacular which uses historic features and forms and locally sourced materials detailed and re-engineered in a contemporary way. This would be sympathetic to the styles of surrounding buildings. The design respects the character of the Conservation Area. In line with Policy CH11, the proposals will 'retain the character of a low density, maturely landscaped suburb with substantial houses in large grounds' and will 'preserve the unity of strongly enclosed boundary treatment'. In line with Policy CH2, the proposals will be of a quality that will enhance the distinctive characteristics of the Area, including its general design and layout, and the relationships between buildings and open spaces. The site is of sufficient size to readily accommodate the dwelling and the proposal is not considered to be an overdevelopment.

### Trees

There are a number of trees on this site and although the site is not currently protected by a Tree Preservation Order, it is within a Conservation Area, meaning any works to the trees would require the applicant to notify the Council. A number of trees are to be removed to directly make way for the proposed dwelling, whilst others are being removed as part of an extensive landscaping scheme. The only Category A tree affecting the site is a Sweet Chestnut on the neighbouring property to the rear - the amendment to the siting of the leisure suite moves this building away from this tree and this will not now be unduly affected by the proposal.

A number of Category B trees will be removed for the footprint of the proposed dwelling, but all Category B trees close the front boundary of the site will be retained, including an impressive Lime tree which will be located directly to the front of the proposed dwelling. A large group of poplars located along the

north-western road boundary of the site will be removed. These are trees which are all Category C, with some in poor condition. To ensure that their removal does not open the site up too much from Croft Drive West, extensive tree replacement will be carried out in this location so that the dense tree cover of the area, which is an important characteristic, is retained.

Given the extensive replacement tree planting to be carried out together with the retention of a number of important trees, the overall appearance of the proposed development site will continue to offer a positive contribution to the street scene and general character of the area.

An objection has been received that claims that more trees could be retained if the proposed dwelling was brought further forward on the site (and away from the rear boundary). However, bringing the dwelling further forward on the site would result in the loss of a significant number of trees, many of which are more visible on the street scene and make a bigger contribution to the character of the area. There will be a large grassed lawn adjacent to the proposed dwelling, but the overall appearance of the development on the street scene (in terms of tree cover) would be very similar even if the dwelling was to be sited on this more open area. The extensive landscaping scheme will ensure that the loss of any existing trees are adequately replaced, and the proposed chosen siting of the dwelling is therefore considered to be acceptable.

#### Impact on Neighbours

The main part of the proposed dwelling will be approximately 20 metres from the rear boundary with Ainways, 68 Caldys Road. A distance of 10 metres is normally sought between first-floor windows and boundaries with private gardens to prevent any overlooking - so this proposed distance is therefore more than sufficient to prevent any overlooking into the neighbouring garden. In addition, the windows between the two properties will be approximately 50 metres apart which is considerably more than the 21 metre separation distance usually required. Ainways is also set slightly higher than the application site, ensuring there will be no direct impact upon the windows of this neighbouring property.

The leisure suite will be sited closer to this boundary, being generally 12 metres away with a small projection located approximately 10.5 metres from the boundary. This leisure suite will also be set into the ground and is largely single-storey (albeit larger than traditional single-storey). The rear elevation of the leisure suite is approximately 2.5m high, rising to 5.6m (when including the pitched roof which increases in height away from the boundary), with a two-storey section being 4.1m in height, rising to 6.7m. Combined with Ainways being set on a higher level, it is not considered that this structure will have an unacceptable direct impact upon the amenities of the occupiers of Ainways.

The windows in the roof of the leisure suite will be obscurely glazed to ensure there is no loss of privacy to the neighbouring property. There will be two trees removed from close to this boundary, which will open up views between the two properties - however, to overcome this, the applicant has submitted details of increased boundary treatment with the planting of 10 hollies and laurels (approx. 3m high) and 2 Scots Pines (approx. 6m high) and this, together with the existing boundary screening, will ensure that any views of the proposed development from Ainways will be minimal and certainly will not harm the amenities of the occupiers of that property to an extent to warrant refusal of the application.

#### **SEPARATION DISTANCES**

All required separation distances are comfortably met.

#### **HIGHWAY/TRAFFIC IMPLICATIONS**

There are no highway implications relating to this proposal.

#### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

A Habitat Survey and Bat Survey were both carried out. The conclusions were that no evidence of bat roosts, breeding habitats for Great Crested Newts, or Badger Setts were found, although the site does support suitable nesting habitat for birds. Given this, a condition has been attached to protect any nesting birds during the bird nesting season.

#### **HEALTH ISSUES**

There are no health implications relating to this application.



## CONCLUSION

Overall, it is concluded that the proposed development would preserve the character and appearance of Caldy Conservation Area, would be appropriate and sympathetic in terms of its siting and layout and would maintain the Conservation Area's important scenic beauty and cultural heritage. The proposal would not harm the amenities of neighbouring properties. The proposal is therefore considered to comply with Wirral Unitary Development Plan Policy CH2, CH11, HS4 and GR5 and the National Planning Policy Framework.

### Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed development would preserve the character and appearance of Caldy Conservation Area, would be appropriate and sympathetic in terms of its siting and layout and would maintain the Conservation Area's important scenic beauty and cultural heritage. The proposal would not harm the amenities of neighbouring properties. The proposal is therefore considered to comply with Wirral Unitary Development Plan Policy CHO1, CH2, CH11, HS4 and GR5 and the National Planning Policy Framework.

**Recommended Decision:**                      **Approve**

### Recommended Conditions and Reasons:

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason:** To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 26th September 2016 and listed as follows: 5715 P-002 Rev 2; 5715 P-003 Rev 1; 5715 P-004; 5715 P-100 Rev 1; 5715 P-101 Rev 2; 5715 P-102 Rev 1; 5715 P-103 Rev 1; 5715 P-201 Rev 1; 5715 P-202 Rev 2; 5715 P-203 Rev 2; M2603.05E; M2603.06A; M2603.08B; Arboricultural Report (Urban Green, September 2016); Construction Method Statement;

**Reason:** For the avoidance of doubt and to define the permission.

2. All obsolete accesses shall be reinstated to standard footway levels within 3 months of first occupation of the property unless otherwise agreed in writing by the Local Planning Authority

**Reason:** In the interest of highway safety

3. Before any construction commences, samples of the materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

4. The hard and soft landscaping scheme hereby approved shall be carried out prior to the occupation of any part of the development or in accordance with a timetable to be agreed in writing with the Local Planning Authority. Any trees or plants that within a period of five years after planting, are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective shall be replaced with others of a species, size and number

as originally approved in the first available planting season unless the Local Planning Authority gives its written consent to any variation.

**Reason:** In the interests of visual amenity and to comply with Policy GR5 of the Wirral Unitary Development Plan.

5. The first-floor rear windows serving the Games Room and the roof lights in the rear elevation of the proposed leisure suite shall all be obscurely glazed and retained as such thereafter

**Reason:** In the interest of amenity

6. If any work to trees or shrubs are to be carried out within the bird nesting season (March to August) then a nesting bird survey shall be required prior to work commencing and shall be approved in writing by the Local Planning Authority

**Reason:** To protect nesting birds

7. Prior to first occupation, the landscaping/boundary treatment set out in the supporting document (Barnes Walker, M2603.D.0916ec\_Rev A) shall be implemented and completed in full and retained as such thereafter unless otherwise agreed in writing with the Local Planning Authority

**Reason:** In the interest of amenity

8. No works or development shall take place until a scheme of supervision and monitoring for the arboricultural protection measures in accordance with para. 6.3 of British Standard BS5837: 2012 - Trees in Relation to design, demolition and construction - recommendations has been approved in writing by the local planning authority. The scheme of supervision shall be carried out as approved and will be administered by a qualified arboriculturist instructed by the applicant. This scheme will be appropriate to the scale and duration of the works and will include details of:

- a. Induction and personnel awareness of arboricultural matters;
- b. Identification of individual responsibilities and key personnel;
- c. Statement of delegated powers;
- d. Timing and methods of site visiting and record keeping, including updates;
- e. Procedures for dealing with variations and incidents.

**Reason:** To ensure the appropriate retention and protection of suitable trees for applications which involve complex tree issues in accordance with policies GR7 of the adopted UDP

9. PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT, including site clearance, demolition, storage of plant, materials, machinery, the siting of site huts and WCs etc., a site meeting shall be held and attended by the site manager, the demolition contractor, the arboricultural consultant and a representative from the local planning authority to discuss all the details of the tree protection measures as specified and any other site operations that have implications for trees. At this time it shall be agreed the intervals at which the arboricultural consultant shall carry out subsequent site visits to sign off installation of tree protection measures and supervise sensitive operations in relation to trees. It is the responsibility of the site foreman to inform all employees, contractors and sub-contractors visiting and or working on the site of the details specified and to raise the importance of the tree protection measures so as to avoid causing damage to retained trees.

All tree pruning and felling associated with site handover shall be carried out as the first operation on site, in accordance with the specification in any Tree Tables. Work shall comply with BS3998:1989 Recommendations for Tree Work and current Best Practice.

**Reason:** To ensure protection during construction works of trees, hedgerows and hedges which are to be retained on or near the site in order to ensure that the character and amenity of the area are not adversely impacted upon and to comply with Policy GR7 of the Wirral

Unitary Development Plan.

10. Prior to the commencement of site clearance, demolition, storage of plant (non-tree related), materials, machinery, including site huts and WCs, Tree Protection Barriers shall be installed immediately following tree works and Barriers shall conform to the specification within the method statement. The Tree Protection Barriers and Ground Protection shall not be removed, breached or altered without prior written authorisation from the local planning authority or client arboriculturist, but shall remain in a functional condition throughout the entire development, until all development related machinery and materials have been removed from site. If such protection measures are damaged beyond effective functioning then works that may compromise the protection of trees shall cease until the protection can be repaired or replaced with a specification that shall provide a similar degree of protection.

The tree protection measures shall not be dismantled until all construction related machinery and materials have been removed from site and not without written authorisation from the local planning authority or client arboriculturist. Once authorisation has been given the protection measures can be removed by hand and transported off site. During which time, no machinery or vehicles shall enter the area previously protected. No excavations, storage of materials, soil stripping, the raising or lowering of levels or the laying of hard surfacing without prior approval of the arboricultural consultant and / or the local planning authority. Any issues regarding tree protection should be agreed and implemented prior to commencement of development.

Following the full installation of the Tree Protection Measures, the arboricultural consultant shall carry out a site visit to confirm by taking photographs that the protection measures have been installed to an acceptable standard and in accordance with a specification. Any issues regarding tree protection should be agreed and implemented prior to commencement of development.

**Reason:** To ensure protection during construction works of trees, hedgerows and hedges which are to be retained on or near the site in order to ensure that the character and amenity of the area are not adversely impacted upon and to comply with Policy GR7 of the Wirral Unitary Development Plan.

11. The following activities must not be carried out under any circumstances:
- a. No fires to be lit within 20 metres of existing trees and shrubs to be retained.
  - b. Storage of removed topsoil should be located outside of the Root Protection Areas of retained trees and away from those parts of the site allocated for soft landscaping.
  - c. No equipment, signage, fencing, tree protection barriers, materials, components, vehicles or structures shall be attached to or supported by a retained tree.
  - d. No builders debris or other materials to be stored within the Root Protection Areas.
  - e. No mixing of cement, associate additives, chemicals, fuels, tar and other oil based liquids and powders shall occur within 10 metres of any tree Root Protection Area. A dedicated washout area shall be used and located not within 10 metres of any Root Protection
  - f. No alterations or variations to the approved works or tree protection schemes shall be carried out without the prior written approval of the LPA.
  - g. No excavations, trenches, stripping, cultivation with a rotavator or changes in surface level to occur within the Root Protection Area, unless authorised.

**Reason:** To ensure protection during construction works of trees, hedgerows and hedges which are to be retained on or near the site in order to ensure that the character and amenity of the area are not adversely impacted upon and to comply with Policy GR7 of the Wirral Unitary Development Plan.

12. NO DEVELOPMENT SHALL TAKE PLACE until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local

Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with Policy WM8 of the Waste Local Plan.

13. PRIOR TO THE FIRST OCCUPATION OF THE DWELLINGS arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the curtilage of the site, in accordance with details to be submitted to and agreed in writing by the Local Planning Authority. The approved details shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure a satisfactory appearance and adequate standards of hygiene and refuse collection, having regard to Policy WM9 of the Waste Local Plan.

**Further Notes for Committee:**

1. Consent under the Highways Act is required for the construction of a new or the amendment/removal of an existing vehicular access. Such works are undertaken at the developer's expense, including the relocation/replacement and/or removal of street furniture and vegetation as necessary. Submission of a S50 Highway Opening Notice is required prior to commencement of any works on the adopted highway. The proposed vehicle crossing shall be built in accordance with LPA concrete commercial crossing specifications. Please contact the Council's Highway Management team, area manager via [www.wirral.gov.uk](http://www.wirral.gov.uk) prior to the commencement of development for further information.

A pre-site inspection is required prior to the development works commencing with the Local Authority - any damage to the existing highway that occurs as a result of the development would require reinstatement, at the developer's expense, to the Local Authority specifications and written approval. For further details contact Highway Management at [www.wirral.gov.uk](http://www.wirral.gov.uk)

**Last Comments By:** 22/06/2016  
**Expiry Date:** 24/06/2016

## Planning Committee

20 October 2016

**Reference:**  
**OUT/16/00706**

**Area Team:**  
**North Team**

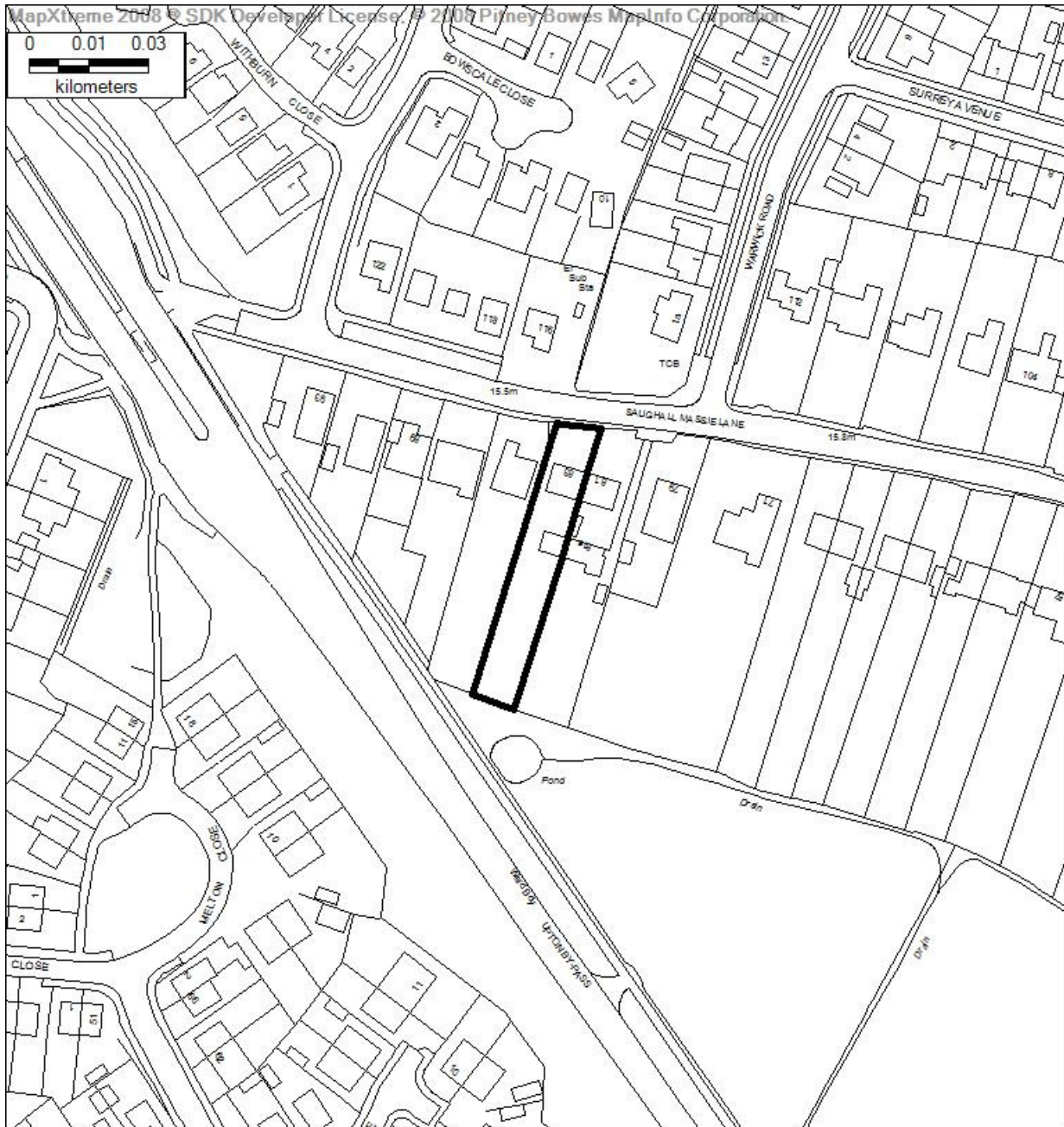
**Case Officer:**  
**Mr P Howson**

**Ward:**  
**Upton**

**Location:** 83 SAUGHALL MASSIE LANE, UPTON, CH49 6LZ  
**Proposal:** Outline Consent for a dormer bungalow with some matters reserved (amended description)

**Applicant:** Mrs Robertson  
**Agent :** KJP Architecture

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan allocation and policies:**

Primarily Residential Area

**Planning History:**

Location: 83 Saughall Massie Lane, Upton, Wirral, CH49 6LZ  
Application Type: Outline Planning Permission  
Proposal: Erection of two storey dwelling house in side garden.  
Application No: OUT/03/05430  
Decision Date: 24/04/2003  
Decision Type: Approved

Location: Land West of (adj) , 83 Saughall Massie Lane, Upton, Wirral, CH49 6LZ  
Application Type: Full Planning Permission  
Proposal: Erection of a dwelling house  
Application No: APP/03/06774  
Decision Date: 09/01/2004  
Decision Type: Approved

Location: 83 SAUGHALL MASSIE LANE, UPTON, CH49 6LZ  
Application Type: Full Planning Permission  
Proposal: Conversion of current outbuilding into a separate self-contained dwelling  
Application No: APP/15/00902  
Decision Date: 18/09/2015  
Decision Type: Approved

**Summary Of Representations and Consultations Received:****REPRESENTATIONS:**

Having regard to the Council's Guidance for Publicity on Planning Applications 10 notifications were sent to neighbouring properties and a site notice was displayed. At the time of writing, 15 letters of representation have been received objecting to the proposal summary of comments;

1. Overlooking
2. Out of character
3. Parking
4. Drainage
5. Loss of outlook
6. Bats within close proximity to site

**CONSULTATIONS:**

**Head of Environment & Regulation (Traffic and Transportation Division)** No Objections

**Merseyside Fire and Rescue Service** No Objections

**Wirral Wildlife** No Objections

**Merseyside Environmental Advisory Service** No Objections

**Director's Comments:****REASON FOR REFERRAL TO PLANNING COMMITTEE**

The application was taken out of delegation at the request of Councillor Whittingham on the grounds of loss of amenity.

**INTRODUCTION**

The application proposes outline approval for the erection a single detached dwelling including matters of access and layout to the rear of No. 83 Saughall Massie lane, Upton.

## **PRINCIPLE OF DEVELOPMENT**

The application seeks consent for the erection of a residential dwelling within a Primarily Residential Area as per the Wirral UDP Proposals Map 2000, as such the proposal is considered acceptable in principle subject to the relevant policies within the adopted Wirral Unitary Development Plan and the National Planning Policy Framework (NPPF).

## **SITE AND SURROUNDINGS**

The development site in question comprises of a large regular shaped plot which features the application property and rear outbuilding. There is an existing consent to convert the outbuilding into a residential dwelling under APP/15/00902 whilst the structure adjoining this has also been converted into living accommodation.

## **POLICY CONTEXT**

The National Planning Policy Framework (NPPF) provides for a presumption in favour of sustainable development and states that proposals should be approved without delay unless the adverse impacts outweigh the benefits.

Policy HS4: Criteria for New Housing Development of the Wirral UDP states that proposals for new housing development will be permitted subject to the proposal being of a scale which relates well to surrounding property, not resulting in detrimental change the character of the area, satisfactory provision for off-street car parking areas, the provision of appropriate landscaping and boundary treatment and adequate private or communal amenity space.

Policy HS10: Backland Development seeks proposals for between one and three dwellings behind existing dwellings to not result in detrimental change to the character of an area, undue noise, disturbance, loss of privacy or sense of enclosure affecting adjoining residents and the access being of sufficient width with adequate sight lines and visibility splays.

Supplementary Planning Guidance: SPG10 - Backland Development sets out a number of criteria for such developments.

## **APPEARANCE AND AMENITY ISSUES**

The application seeks outline consent for a detached dwelling to the rear of No. 83 Saughall Massie Lane. The application includes matters of access and layout.

The immediate vicinity is comprised of dwellings sited within large regular shaped plots. The adjoining property, No. 81 Saughall Massie Lane features a one and a half storey structure to the rear which has subsequently been converted into a single residential dwelling (No. 81a) with independent access and amenity space. No. 81a adjoins an outbuilding to the rear of the application property which benefits from consent for conversion into an independent residential dwelling under APP/15/00902. The application proposes to demolish the abovementioned structure and erect a detached dwelling to the southernmost part of the site and, in light of the above, it is therefore not considered that the proposed siting of the dwelling would significantly undermine the existing pattern and density of development and is acceptable in this respect.

In consideration of the overall design of the scheme, whilst the applicant has submitted a set of contextual elevations the external appearance and massing would be subject of a reserved matters application which would also need to address the landscaping and boundary treatment. A condition requiring samples of the finishing materials to be submitted to the Local Planning Authority has also been imposed.

In respects of neighbouring amenity, the proposed dwelling would be sited at least 21 metres from the rear of the adjacent dwellings and it is considered that, through careful orientation of habitable rooms, a dwelling could be accommodated within the site without resulting in significant overlooking.

### Other Matters

At the time of writing, 15 letters of representation were received objecting to the proposal summary of comments;

- a. Overlooking

- b. Out of character
- c. Parking
- d. Drainage
- e. Loss of outlook
- f. Bats within close proximity to site

The application seeks outline consent for a single dwelling with appearance, landscaping and scale subject to a reserved matters application. The applicant submitted a plan indicating the layout of the proposed dwelling and a set of illustrative elevations. The Local Planning Authority raised concerns about the proposal as it appeared to indicate that the proposed dwelling would be two storey and the applicant subsequently submitted a revised layout plan and set of elevations. It is therefore considered that a dwelling could be accommodated without resulting in significant overlooking.

In consideration of the character of the immediate vicinity for the reasons set out within the main body of the report the application is considered acceptable.

In respects of parking the proposal would satisfy the maximum parking standards of the Local Planning Authority whilst the Head of Environment & Regulation (Traffic and Transportation Division) has raised no objections to the proposal.

Drainage is a matter for building regulations and is not a material consideration in the determination of a planning application.

The proposal would be sited a sufficient distance away from adjacent dwellings as to not reduce outlook and is acceptable in this respect.

#### **SEPARATION DISTANCES**

No details have been submitted detailing the position of windows as this will be subject to a reserved matters application, however, the Local Planning Authority seeks a 21 metre separation distance for habitable room windows facing one another whilst main habitable rooms should be 14 metres from any blank gable. If there are differences in land levels a greater separation should be provided.

#### **HIGHWAY/TRAFFIC IMPLICATIONS**

There are no highway implications relating to this proposal.

#### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

There are no environmental/sustainability issues relating to these proposals.

#### **HEALTH ISSUES**

There are no health implications relating to this application.

#### **CONCLUSION**

The application for outline planning permission with matters of appearance, landscaping and scale reserved is acceptable having regard to the surrounding residential development and complies with Policy HS4 of the adopted Wirral Unitary Development Plan and the National Planning Policy Framework.

#### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The application for outline planning permission with matters of appearance, landscaping and scale reserved is acceptable having regard to the surrounding residential development and complies with Policy HS4 of the adopted Wirral Unitary Development Plan and the National Planning Policy Framework.

**Recommended Decision:**                      **Approve**



### Recommended Conditions and Reasons:

1. The development hereby permitted shall be commenced either before the expiration of three years from the date of this permission or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

**Reason:** To comply with the provisions of Section 92 of the Town and Country Planning Act, 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on and listed as follows:

**Reason:** For the avoidance of doubt and to define the permission.

3. Details of the reserved matters set out below shall be submitted to the Local Planning Authority for approval within three years from the date of this permission:

- (a) Scale
- (b) Appearance
- (c) Landscaping

Approval of all reserved matters shall be obtained from the Local Planning Authority in writing before any development is commenced and shall be carried out as approved.

**Reason:** To enable the Local Planning Authority to control the development in detail and to comply with Section 92 (as amended) of the Town and Country Planning Act 1990.

4. Before any construction commences, samples of the facing and roofing materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

5. The detailed plans submitted as reserved matters shall include a survey of existing and proposed ground levels, sections across the site and details of the finished slab level for the property. The ground levels across the site and finished slab levels for each property shall be as per the approved plans.

**Reason:** In the interests of privacy and amenity of neighbouring occupiers and to ensure that the development complies with Policy HS4 of the Wirral Unitary Development Plan.

6. The detailed landscaping plans submitted as reserved matters shall include:

- (i) details of boundary treatments and hard surfaces
- (ii) the location, size and species of all trees to be planted
- (iii) the location, size, species and density of all shrub and ground cover planting
- (iv) a schedule of implementation

**Reason:** In the interests of visual amenity and to ensure that the development complies with Policy HS4 of the Wirral Unitary Development Plan.

7. No development shall take place until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the building is occupied. Development shall be carried out in accordance with the approved details.

**Reason:** To safeguard the visual amenities of the locality and the privacy/amenities of the adjoining properties and to accord with Policy HS4 of the Wirral Unitary Development Plan.

8. NO DEVELOPMENT SHALL TAKE PLACE UNTIL a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with policy WM8 of the Waste Local Plan.

9. Before development commences, a scheme for the provision of bat boxes within the development shall be submitted to and approved by the Local Planning Authority. The boxes so approved within each phase of the development shall be completed and available for use before the last dwelling within that phase is occupied.

**Reason:** In the interest of species protection having regards to policy NC7 of Wirral's Unitary Development Plan.

10. No building works are to take place during the period 1<sup>st</sup> March to 31<sup>st</sup> August inclusive unless otherwise agreed in writing by the Local Planning Authority.

**Reason:** To protect birds during their breeding season and to comply with Policy NC7 in the Wirral Unitary Development Plan.

11. Prior to commencement of development the outbuilding to the rear of No. 83 Saughall Massie Lane shown on plan No 002 Proposed Site Plan shall be demolished.

**Reason:** To safeguard the visual amenities of the locality and the privacy/amenities of the adjoining properties and to accord with Policy HS4 of the Wirral Unitary Development Plan.

**Further Notes for Committee:**

**Last Comments By:** 03/10/2016  
**Expiry Date:** 11/07/2016

## Planning Committee

20 October 2016

**Reference:**  
**APP/16/00823**

**Area Team:**  
**North Team**

**Case Officer:**  
**Mr N Williams**

**Ward:**  
**Hoylake and Meols**

**Location:** Ashton Court, BANKS ROAD, WEST KIRBY CH48 0RJ  
**Proposal:** Demolition of existing buildings and erection of 14 No. new-build residential properties.

**Applicant:** Starfish Commercial LTD  
**Agent :** Watson Batty Architects Ltd

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan Designation:**

Primarily Residential Area

**Planning History:**

There is no planning history for this site.

**Summary Of Representations and Consultations Received:****REPRESENTATIONS:**

Having regard to the Council's Guidance for Publicity on Planning Applications, 69 notifications were sent to adjoining properties and a site notice was displayed near the site. At the time of writing, there had been two petitions of objection received containing 515 and 42 signatures, together with 36 individual objections. The objections can be summarised as:

1. Overlooking and loss of privacy;
2. Parking and traffic issues;
3. Overbearing impact;
4. Development will spoil the character of the area;
5. Loss of light;
6. Overdevelopment of the site;
7. Increase in noise;
8. Loss of gardens and green space;
9. Loss of view;
10. Existing buildings should be retained;
11. Proposed buildings are unsightly;

**CONSULTATIONS**

**Head of Environment & Regulation (Pollution Control Division) - No objection**

**Head of Environment & Regulation (Traffic and Transportation Division) - No objection**

**Director's Comments:****REASON FOR REFERRAL**

Councillor Gerry Ellis requested that the application be taken out of delegation on the grounds that the site is too small for 14 dwellings; parking and traffic problems in the area would be unacceptable increased; and privacy and overlooking of some of the adjacent properties would be unacceptable.

In addition two qualifying petitions of objection with a total of 557 signatures have been received.

**INTRODUCTION**

The application is for the demolition of the existing buildings at Ashton Court and the erection of 14 new-build residential properties.

The proposal consists of thirteen three-storey dwellings fronting onto Banks Road, either side of its junction with Ashton Drive, with an additional two-storey detached dwelling set within the southern site (to the rear of 4 - 8 Ashton Drive)

**SITE AND SURROUNDINGS**

The application site covers two areas of land on either side of Ashton Drive at its junction with Banks Road. On both sites there is currently a vacant, two-storey building which were previously used for 22 residential units and named Ashton Court. These buildings take up most of each site, with small areas of landscaping/grass to the front and rear of each, with the southern complex having an extra area of amenity space extending to the rear of properties on Ashton Drive.

The site is designated in Wirra's Unitary Development Plan as being in a Primarily Residential Area, with Ashton Drive containing traditional two-storey, semi-detached dwellings and other residential uses directly to the north of the site. However, the application site also fronts onto Banks Road, adjacent to the Key Town Centre of West Kirby (including the properties directly to the south of the site and on the opposite side of Banks Road) and as such there are numerous commercial properties within the

immediate area, and this means that the character of the surrounding area is fairly varied.

### **POLICY CONTEXT**

The proposal is subject to Wirral Unitary Development Plan Policy HS4: Criteria for New Housing Development, which sets out criteria for new residential schemes, Policy GR5: Landscaping and New Development, Policy TR9, Policy TR12 and Policies WM8 and WM9 in the Waste Local Plan. SPD2 – Designing for Self-Contained Flat Development & Conversions is also applicable.

The National Planning Policy Framework (NPPF) states that the purpose of the planning system is to contribute to the achievement of sustainable development. There is a presumption in favour of sustainable development which should be approved without delay unless the adverse impacts of doing so outweigh the benefits. NPPF part 7 makes it clear that good design is a key aspect of sustainable development and that poor design which fail to take opportunities for improving the character and quality of the area should be refused.

There is a requirement for 20% affordable housing provision for this scheme. The applicant has agreed to this and it will be secured through a Section 106 Agreement.

### **APPEARANCE AND AMENITY ISSUES**

Although part of the existing buildings come within 5m of the front boundary, the majority of the buildings are set back from Banks Road by approximately 10m. However, this is generally at odds with most of Banks Road, where buildings often project right up to the back of the pavement. This is the case both opposite the site and directly to the south of the site. The proposed development will therefore be in keeping with this, with each new dwelling being only slightly set-back from the back of the pavement and a small landscaping area for the two dwellings either side of the Ashton Drive junction. Given the prevalence of buildings set right up to the back of the Banks Road pavement, the proposed development will not be out of keeping with the area nor will it have an adverse impact upon the character of the area or the general pattern of development throughout Banks Road.

There is great variety in terms of the scale of buildings along Banks Road, including a number of three-storey buildings and a four-storey residential block further north of the application site. It is therefore considered that three-storey dwellings will not appear out of scale on the street scene and will be generally in keeping with this aspect of the character of the surrounding area.

Similarly, there is a great variety in the design of buildings throughout the area, and the proposed scheme will add to this variety. The proposed dwellings utilise front-facing gables, contrasting brickwork, large vertical windows and both full and Juliet balconies to enliven the elevations fronting Banks Road and this will help to ensure that they add positively to the character and appearance of the street scene.

The footprint of the 13 proposed dwellings fronting the site takes up less than the existing buildings, and even when including the proposed Plot 14 to the rear of the site, there would still likely be no increase in building footprint on the site. Combined with the reduction in the number of units on the site, it is not considered that the proposal constitutes an overdevelopment of the site. Each dwelling has a private amenity area and although not substantial in size, this is considered to be acceptable given the constraints of the site.

In terms of Ashton Drive, whilst the proposed dwellings will be taller than the existing buildings of Ashton Court, they will also be set further away from the properties of Ashton Drive and this will lessen the impact of the increased height. Although the proposed dwellings will be visible on Ashton Drive, given that they are close to (and face) Banks Road, which is a Key Town Centre, it is not considered that taller buildings in this location would have a particularly negative impact upon the character of Ashton Drive. The proposed dwellings on the corners also address both Banks Road and Ashton Drive to prevent presenting a blank elevation to either street scene.

The rear windows of all new properties will be a minimum distance of 14 metres from the rear boundary of the site, which is a shared boundary with the rear gardens of 3 and 4 Ashton Drive. This distance is considered sufficient to ensure that there will be no unacceptable levels of overlooking. The existing buildings are within 6/7 metres of this boundary so, although taller, the proposed development may result in an improvement for neighbouring properties.

The two proposed dwellings either side of the junction (Plots 6 - 9) will have large balcony areas to the rear. These properties (and balconies) will face the side elevations of 3 and 4 Ashton Drive and their open front garden areas, and it is therefore considered that the proposed balconies are unlikely to result in an unacceptable loss of privacy to the private amenity areas of these neighbouring properties.

#### Plot 14

Plot 14 is a proposed two-storey dwelling house located in the southern part of the application site and will be located to the rear of 4 - 8 Ashton Drive. The blank, side elevation of the proposed dwelling will be a distance of 14 metres from the main rear elevation of these properties, which complies with the required separation distances. 6 Ashton Drive does have a single-storey extension which projects closer to the proposed dwelling, but this will not be directly opposite the new dwelling and does not appear to be an original structure and therefore any impact upon this is not considered sufficient to warrant refusal of the application. To the other side of the proposed dwelling is a number of single-storey garages and a large area of hard-standing, and the proposal will therefore not have a negative impact here.

The first-floor rear windows of Plot 14 will be less than 8 metres away from the rear boundary, which is shared with the private garden area of 10 Ashton Drive. These proposed windows serve bedrooms which also have windows on the front elevation, and therefore a condition attached to obscurely glaze them in order to protect the amenities of the neighbouring property will not impact upon the future use of the proposed rooms.

#### **SEPARATION DISTANCES**

Almost all separation distances are complied with. There are some residential properties above commercial units across Banks Road which will be within approximately 20m of the proposed dwellings. However, whilst this is marginally less than the usual requirement, these properties are flats above commercial units within a Key Town Centre and this, together with this distance being consistent with many along the breadth of Banks Road, means that this very minor discrepancy is considered to be acceptable.

#### **HIGHWAY/TRAFFIC IMPLICATIONS**

The scheme proposes one off-street parking space per unit, which is an improvement on the current layout where there appears to be no dedicated off-street parking spaces for 22 units.

#### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

There are no Environmental/Sustainability issues relating to these proposals.

#### **HEALTH ISSUES**

There are no health implications relating to this application.

#### **CONCLUSION**

In conclusion, it is considered that the proposed development will not have an unacceptable adverse impact upon the character of the area or the amenities of neighbouring properties, and the proposal therefore complies with Wirral Unitary Development Plan and the National Planning Policy Framework.

#### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed development will not have an unacceptable adverse impact upon the character of the area or the amenities of neighbouring properties, and the proposal therefore complies with Wirral Unitary Development Plan and the National Planning Policy Framework.

**Recommended Decision:**                      **Approve subject to Section 106 Agreement**

### Recommended Conditions and Reasons:

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason:** To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 18th July 2016 and listed as follows: 3939-019 GA11; 3939-019 GA12; 3939-019 GA13; 3939-019 GA14; 3939-019 GA20 Rev A; 3939-019 EX03 Rev C; R/1876/1

**Reason:** For the avoidance of doubt and to define the permission.

3. Before any construction commences, samples of the Materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

4. No development shall commence until infiltration testing has been undertaken in accordance with the proposals outlined in the submitted Drainage Impact Assessment (13375-5025-DIA, July 2016, Met Engineers) and a final surface water drainage strategy based on the results of this testing agreed by the Local Planning Authority, in conjunction with the Lead Local Flood Authority.

The surface water drainage scheme shall be fully constructed prior to occupation and subsequently in accordance with the final surface water drainage strategy referred to above and the approach outlined in the submitted Drainage Impact Assessment (1335/5025-DIA, July 2016, Met Engineers) prior to first occupation of any of the approved dwellings, or completion of the development, whichever is the sooner.

**Reason:** To ensure satisfactory and sustainable surface water drainage facilities are provided to serve the site in accordance with the National Planning Policy Framework Paragraph 103, and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft

5. No development shall commence until details of an appropriate management and maintenance plan for the sustainable drainage system for the lifetime of the development have been submitted to the Local Planning Authority, in conjunction with the Lead Local Flood Authority, via the means of an appropriate legal agreement.

The plan shall be implemented in accordance with the approved details prior to first occupation of any of the approved dwellings, or completion of the development, whichever is the sooner. Thereafter the sustainable drainage system shall be managed and maintained in accordance with the approved details.

**Reason:** To ensure satisfactory management and maintenance of the approved surface water drainage facilities is provided for the site for the lifetime of the development in accordance with the National Planning Policy Framework Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

6. The hard and soft landscaping scheme hereby approved shall be carried out prior to the occupation of any part of the development or in accordance with a timetable to be agreed in writing with the Local Planning Authority. Any trees or plants that within a period of five years after planting, are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective shall be replaced with others of a species, size and number

as originally approved in the first available planting season unless the Local Planning Authority gives its written consent to any variation.

**Reason:** In the interests of visual amenity and to comply with Policy GR5 of the Wirral Unitary Development Plan.

7. Prior to commencement of development, full details of all proposed boundary treatments shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full prior to first occupation.

**Reason:** For the avoidance of doubt

8. The first-floor rear windows in the dwelling shown as Plot 14 shall be obscurely glazed and non-opening up to a height of 1.7m above finished floor level and retained as such thereafter

**Reason:** To protect the amenities of the neighbouring property.

9. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any subsequent Order or statutory provision revoking or re-enacting the provisions of that Order), no garages, outbuildings or other extensions to a dwelling shall be erected unless expressly authorised.

**Reason:** In order to protect the character of the area/residential amenities of nearby occupants and to accord with Policy HS4 of the Wirral Unitary Development Plan.

10. NO DEVELOPMENT SHALL TAKE PLACE until a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with Policy WM8 of the Waste Local Plan.

11. PRIOR TO THE FIRST OCCUPATION OF THE DWELLINGS arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the curtilage of the site, in accordance with details to be submitted to and agreed in writing by the Local Planning Authority. The approved details shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure a satisfactory appearance and adequate standards of hygiene and refuse collection, having regard to Policy WM9 of the Waste Local Plan.

12. NO DEVELOPMENT SHALL TAKE PLACE until details of secure covered cycle parking and/or storage facilities have been submitted to and approved in writing by the Local Planning Authority. These facilities shall be provided in accordance with the approved details and made available for use prior to the first use of the development hereby permitted and shall be retained for use at all times thereafter.

**Reason:** To ensure that satisfactory facilities for the parking of cycles are provided and to encourage travel by means other than the private car, having regard to Policy TR12 of the Wirral Unitary Development Plan.

**Further Notes for Committee:**

**Last Comments By:** 07/09/2016

**Expiry Date:** 17/10/2016



## Planning Committee

20 October 2016

**Reference:**  
**APP/16/00888**

**Area Team:**  
**North Team**

**Case Officer:**  
**Mr P Howson**

**Ward:**  
**Wallasey**

**Location:** 4 BERESFORD ROAD, LISCARD, CH45 0JJ  
**Proposal:** Retrospective consent for raised decking and erection of a privacy screen (amended plans)  
**Applicant:** Mrs MacIntosh-Jones  
**Agent :** N/A

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan allocation and policies:**

Primarily Residential Area

**Planning History:**

No relevant history.

**Summary Of Representations and Consultations Received:**REPRESENTATIONS

Having regard to the Council's Guidance for Publicity on Planning Applications, 9 notifications were sent to neighbouring properties and a site notice was displayed. At the time of writing two letters of representation objecting to the proposal have been received in relation to the proposal, summary of comments;

1. Overlooking

**DIRECTORS COMMENTS:**

Consideration of this application was deferred from Planning Committee on 15 September 2016 to allow for a formal Member's Site Visit to take place.

**REASON FOR REFERRAL TO PLANNING COMMITTEE**

Councillor Lesley Rennie has requested that this application be reported to Planning Committee following representations that have been made to her in relation to overlooking of adjacent properties from the decked area resulting in potential for loss of privacy.

**INTRODUCTION**

This application seeks retrospective consent for raised decking to the rear of No. 4 Beresford Road, Liscard.

Over the course of this application amended plans were submitted at the request of the Local Planning Authority in order to address a discrepancy shown on the submitted plans with regards to the height of the amenity screen. Details of screening between the adjoining property, No. 6 Beresford Road, were also submitted.

**PRINCIPLE OF DEVELOPMENT**

The application is for the extension of an existing dwelling within a primarily residential area and is therefore considered acceptable in principle.

**SITE AND SURROUNDINGS**

The application property comprises of a large semi-detached dwelling constructed centrally within a regular shaped plot. The property in question is traditionally constructed with hipped grey slate roof, and integral garage. The application property is relatively simple in style with decorative arched gable and ground floor flat roof corniced bay window.

Beresford Road is represented by large traditionally constructed frontage dwellings constructed at regular intervals. Beresford Road runs down sharply into Grove Road towards the north about three quarters along its length with the application property sitting at an elevated position relative to the dwellings along Grove Road.

**POLICY CONTEXT**

The National Planning Policy Framework (NPPF) provides for a presumption in favour of sustainable development which encompasses good design.

Policy HS11: House Extensions of the Wirral UDP requires proposals for domestic extensions to be appropriate to the size of the plot with regard had to neighbouring amenity with proposals not so arranged as to result in significant overlooking. Under Policy HS11 materials should match or complement those of the existing building.

The Supplementary Planning Guidance: House Extensions encourages better standards in design.

## **APPEARANCE AND AMENITY ISSUES**

This application seeks retrospective consent for the retention of an area of decking to the rear of No. 4 Beresford Road.

The overall design and finish of the decking is not in dispute and it was evident during site inspection that it had been finished to a high standard. Whilst not entirely in keeping with this style of property the decking is to the rear and therefore acceptable.

Policy HS11 of the Wirral UDP requires domestic extensions to not result in significant overlooking of neighbouring residential property.

The decking area comprises of a series of deep timber steps enclosed with a handrail which run down to a raised platform area approximately 50 centimetres in height. A subsequent site inspection found that the steps shown on elevation 'B', adjacent to the dwellings along Grove Road, sat level with the rear habitable room windows of Nos. 114 & 116 Grove Road having a notable adverse impact on the occupiers of these properties. Whilst the steps which run out from the rear living room, adjacent to the adjoining property No. 6 Beresford Road, would be partially obscured by an existing brick wall there would clearly be an unsatisfactory degree of overlooking.

It was evident during site inspection that, by virtue of their proximity to one another and the topography of the site that there was already a degree of overlooking between dwellings along Grove Road and Beresford Road however this in itself is not a reason to grant consent.

The applicant has submitted a series of proposed elevations which seek to remove part of the handrail and erect a series of steps directly down into the garden. The steps would be enclosed by a 1.7 metre high screen which would obscure the steps from view and is therefore considered to mitigate any adverse impacts to the adjacent dwellings along Grove Road.

The application also proposes the erection of an amenity screen along the boundary shared with No. 6 Beresford Road which would also mitigate the overlooking introduced as a result of the decking and the proposal is therefore considered acceptable.

### Other matters

Over the course of this application two letters of representation have been received objecting to the proposal, summary of comments;

#### a) Overlooking

The proposed screen is considered to mitigate the overlooking by obscuring the steps which run from the rear of the property down into the garden. The subsequent site inspection found that by virtue of the topography of the site and the proximity of dwellings to one another that there was an established degree of overlooking.

## **SEPARATION DISTANCES**

Separation distances do not apply in this instance, as no residential properties will be affected by the proposed development.

## **HIGHWAY/TRAFFIC IMPLICATIONS**

There are no Highway Implications relating to this proposal.

## **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

There are no Environmental/Sustainability issues relating to these proposals.

## **HEALTH ISSUES**

There are no health implications relating to this application.

## **CONCLUSION**

The proposed decking and amenity screens are considered acceptable in principle and will not have a significant adverse impact upon the character and appearance of the area or the amenity of the neighbouring properties. The application is considered to be in accordance with Policies HS11 of

Wirral's Unitary Development Plan and the Supplementary Planning Guidelines: House Extensions and the National Planning Policy Framework.

**Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed decking and amenity screens are considered acceptable in principle and will not have a significant adverse impact upon the character and appearance of the area or the amenity of the neighbouring properties. The application is considered to be in accordance with Policies HS11 of Wirral's Unitary Development Plan and the Supplementary Planning Guidelines: House Extensions and the National Planning Policy Framework.

**Recommended                      Approve  
Decision:**

**Recommended Conditions and Reasons:**

1. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 28 June 2016 and 9 August 2016 and listed as follows: EL1/PL1 Existing and Proposed Layouts and Site Location Plan

**Reason:** For the avoidance of doubt and to define the permission.

2. The amenity screens shown on drawing No. EL1/PL1 dated August 2016 shall be implemented within two months of the date of this permission and shall be permanently retained as such thereafter.

**Reason:** To safeguard the amenities of occupiers of adjoining properties and to comply with Policy HS11 of the Wirral Unitary Development Plan.

**Further Notes for Committee:**

**Last Comments By:** 24/08/2016

**Expiry Date:** 23/08/2016



**Development Plan allocation and policies:**

Primarily Residential Area

**Planning History:**

Location: Masonic Hall, Manor Road, Liscard. L45 7LU  
Application Type: Full Planning Permission  
Proposal: Erection of a toilet extension at rear.  
Application No: APP/88/06357  
Decision Date: 22/08/1988  
Decision Type: Approved

Location: Masonic Hall ,Manor Road ,Liscard ,L45 7LU  
Application Type: Full Planning Permission  
Proposal: Erection of boundary wall  
Application No: APP/78/11201  
Decision Date: 18/01/1979  
Decision Type: Approved

**Summary Of Representations and Consultations Received:****REPRESENTATIONS:**

Having regard to the Council's Guidance on Publicity for Applications, 63 notifications were sent to adjoining properties. A Site Notice was also displayed. The applicant initially submitted an incorrect red-edge location plan highlighting the wrong part of the car park. The Council received the correct red edge plan highlighting the large car park to the east of the hall. The neighbours were renotified on 24th August of the amended location plan. Six representations have been received following publicity of this application citing the following concerns:

1. Noise and disturbance;
2. Air pollution from exhaust fumes;
3. Problems with the existing use at the site (noise from taxis, party goers, lighting);
4. The proposal is an intrusive commercial venture in a residential area (with care home and school in close proximity);
5. The car park is elevated;
6. There are more suitable sites in industrial areas;
7. Safety - there is a 3ft run of grass and a 4 foot drop to the properties on Penkett Road;
8. Highway safety - emergency vehicles regularly use Manor Road;
9. No equipment should be left on site;
10. Hours of use.

Councillor Tony Jones requested the application be removed from delegated powers on the grounds of residents' concerns of noise, fumes and road safety issues.

**CONSULTATIONS**

**Director of Environment and Regeneration (Environmental Health):** No objection

**Director of Environment and Regeneration (Highway Engineers):** No objection

**Directors Comments:****REASON FOR REFERRAL TO PLANNING COMMITTEE**

Councillor Tony Jones removed the application from delegation following concerns from local residents in relation to noise, fumes and road safety issues.

**INTRODUCTION**

The application proposes the use of Masonic Hall car park for motorcycle compulsory basic training. The application proposes a maximum of 4 learners at a time.

The training consists of an hour of classroom work going through safety, clothing, and road craft. The

instructor will explain the bike controls, machine maintenance, and the pupils will walk the bike around to get used to its weight and balance. After this the pupils learn moving off and stopping, manoeuvring the bike slowly around traffic cones, simulating junctions, and gaining confidence in controlling the bike. All the on-site training will be conducted at low speed on small modern 125 cc machines. When the instructor is satisfied that the pupils have reached a level of control and awareness they then leave the site to go on a two hour road ride. The pupils return to the site to complete the paper work. At the end of the day all equipment is removed nothing is stored on site. The use will be subject to inspections from the DVSA to ensure standards set by them are met.

The Masonic Hall is currently used for events (wedding receptions, parties) as well as for corporate use. There are no planning restrictions on the site.

The applicant initially submitted an incorrect red-edge location plan highlighting the wrong part of the car park. The Council received the correct red edge plan highlighting the large car park to the east of the hall and the neighbours were renotified.

### **PRINCIPLE OF DEVELOPMENT**

Small scale development and changes of use are permitted subject to Policy HS15 Non-Residential Uses in Primarily Residential Areas of the adopted Wirral Unitary Development Plan ).

### **SITE AND SURROUNDINGS**

The site comprises a Masonic Hall with car park, situated in a Primarily Residential Area with residential properties surrounding the site. The entrance is onto Manor Road, and there are walls to the front and rear boundaries. The land drops to the east of the site. There are residential properties opposite the entrance of the site. To the rear of the site (north) is a school, with a playground 6m away across Manor Lane. There is a nursing home to the north-east on the corner of Penkett Road and Manor Lane. The properties on Penkett Road are set at a lower level and have various outbuildings to the rear garden boundaries.

### **POLICY CONTEXT**

The application shall be assessed under Policy HS15 - Non-Residential Uses in Primarily Residential Areas of the adopted Wirral Unitary Development Plan and the National Planning Policy Framework (NPPF).

Policy HS15 sets out that non-residential proposals should be of an appropriate scale to surrounding development and not result in a detrimental change in the character of the area or cause nuisance to neighbouring uses particularly in respect of noise and disturbance, on-street parking and deliveries.

### **APPEARANCE AND AMENITY ISSUES**

The proposal is considered relatively small in scale given its existing use as a Masonic Hall with no planning restrictions. The proposed number of motor bikes travelling at low speed are not considered to result in significant noise and disturbance. The requested hours of opening between 08:00 until 18:00 hours are considered acceptable. The loss of the car park during the on-site training is not considered detrimental to highway safety or the character of the area, and a second (smaller) car park outside the entrance of the Hall remains. A condition restricting hours of opening and bike numbers to a maximum of 4 is considered reasonable and necessary. Given the low speeds conducted on site, it is not considered necessary to restrict the engine size of the motorbikes.

Overall, the proposal is considered to be of an acceptable scale and use, and is not likely to result in a detrimental change in the character of the area, or cause nuisance to neighbouring uses particularly in respect of noise and disturbance. Therefore the proposal is acceptable in relation to Policy HS15 of the Wirral Unitary Development Plan and the National Planning Policy Framework.

### **SEPARATION DISTANCES**

There is no built development proposed and the proposal is not considered to result in overlooking or loss of privacy to neighbouring properties.

### **HIGHWAY/TRAFFIC IMPLICATIONS**

Objections were received regarding highway safety. The Head of Environment and Regulations (Highway Management) were consulted and had no objection to the proposal. The proposal is unlikely

to generate significant numbers of additional traffic movements and parking on Manor Road. The bikes will be manoeuvring at low speeds on site and are not considered to present a safety issue to neighbouring properties. Therefore there are no traffic or highway safety implications related to the proposal. It is not considered necessary to condition cycle parking. The applicant has cited the gates have to be closed during training and nobody is allowed on site during this time. This is not a planning requirement and as such has not been conditioned.

### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

Objections were received concerning noise and disturbance, air pollution from exhaust fumes, the elevated position of the site and problems with the existing use at the site (noise from taxis, party goers, lighting). The proposed number of bikes are not considered to result in significant noise and disturbance or additional fumes to neighbouring properties. The hours of use can be restricted. The application is determined on the proposal presented, and problems with the use of the Masonic Hall should not prejudice a planning application.

### **HEALTH ISSUES**

There are no health implications relating to this application.

### **CONCLUSION**

The proposal is not considered to change the character of the Primarily Residential Area by reason of its use. The proposal is not considered to result in noise and disturbance that would be detrimental to surrounding residential properties or result in highway safety implication. The proposal is considered acceptable due to the lack of significant impacts to the amenities of neighbours by virtue of noise and nuisance, and the absence of harm to the street scene or character of the local area. The proposal complies with Council Policy HS15 of the adopted Wirral Unitary Development Plan and the National Planning Policy Framework.

### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposal is not considered to change the character of the Primarily Residential Area by reason of its scale or use. The proposal is not considered to result in noise and disturbance that would be detrimental to surrounding residential properties or result in highway safety implication. The proposal is considered acceptable due to the lack of significant impacts to the amenities of neighbours by virtue of noise and nuisance, and the absence of harm to the street scene or character of the local area. The proposal complies with Council Policy HS15 of the adopted Wirral Unitary Development Plan and the National Planning Policy Framework.

**Recommended Decision:**                      **Approve**

### **Recommended Conditions and Reasons:**

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason:** To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 24 August 2016.

**Reason:** For the avoidance of doubt and to define the permission.

3. The premises for the use hereby permitted shall not be used except between the hours of 08:00 hours until 18:00 hours.



**Reason:** To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties.

4. No more than four learners/pupils shall be accommodated at the premises at any one time in connection with the use hereby approved.

**Reason:** To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and to accord with Policy HS15 of the Wirral Unitary Development Plan.

5. No equipment (including motorbikes and cones) shall be left on site overnight in connection with the use hereby approved.

**Reason:** To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and to accord with Policy HS15 of the Wirral Unitary Development Plan.

**Further Notes for Committee:**

**Last Comments By:** 14/09/2016

**Expiry Date:** 19/10/2016

This page is intentionally left blank

## Planning Committee

20 October 2016

**Reference:**  
**APP/16/01018**

**Area Team:**  
**North Team**

**Case Officer:**  
**Mrs S Day**

**Ward:**  
**Bidston and St James**

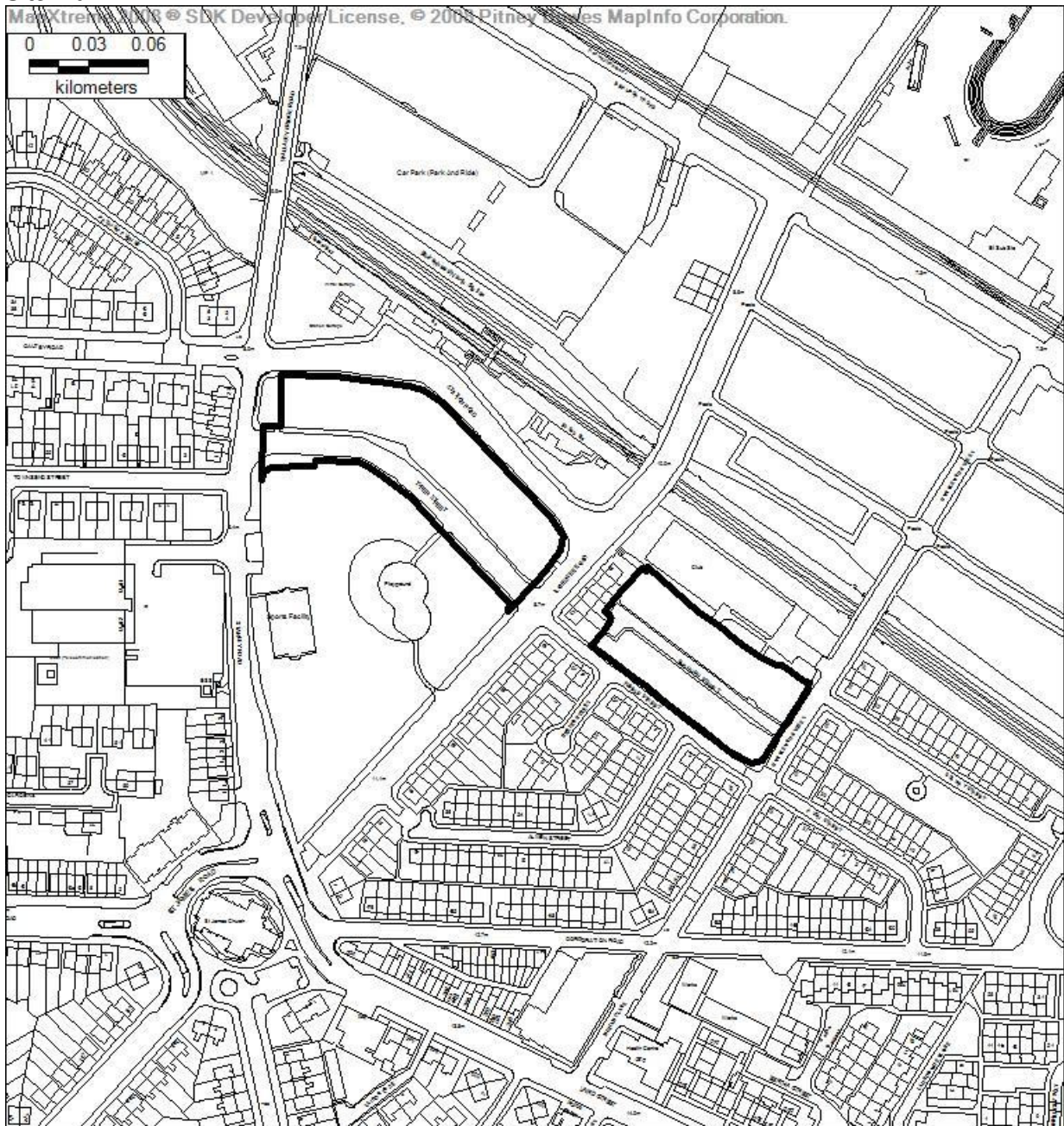
**Location:** LAND NORTH OF TYRER STREET AND RIBBLE STREET, BIRKENHEAD, CH41 8HY

**Proposal:** Proposed residential development comprising 52no. dwellings.

**Applicant:** Keepmoat Homes

**Agent :** MPSL Planning & Design Ltd

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan Designation:**

Primarily Residential Area  
Urban Greenspace

**Planning History:**

- Location: 6, Tyrer Street, Birkenhead. L41 7AR  
Application Type: Full Planning Permission  
Proposal: Single storey rear extension.  
Application No: APP/85/06014  
Decision Date: 22/07/1985  
Decision Type: Approved
- Location: 20, Tyrer Street, Birkenhead. L41 7AR  
Application Type: Full Planning Permission  
Proposal: Erection of a single storey kitchen and shower room extension.  
Application No: APP/87/06244  
Decision Date: 26/08/1987  
Decision Type: Approved
- Location: Lock-up garages at rear of 31-37, Station Road, fronting Tyrer Street, Birkenhead.  
Application Type: Outline Planning Permission  
Proposal: Erection of two storey semi-detached houses, (outline).  
Application No: OUT/96/05338  
Decision Date: 19/04/1996  
Decision Type: Approved
- Location: Lock-up garages at rear of 31-37, Station Road, fronting Tyrer Street, Birkenhead., CH41 7AR  
Application Type: Outline Planning Permission  
Proposal: Extension of outline permission for the erection of two x two storey semi-detached houses, (outline).  
Application No: OUT/99/05630  
Decision Date: 22/06/1999  
Decision Type: Approved
- Location: 1, Station Road, Birkenhead. L41 7AY  
Application Type: Full Planning Permission  
Proposal: Change of use from betting office to boxing club.  
Application No: APP/92/06212  
Decision Date: 25/09/1992  
Decision Type: Approved
- Location: South east of New Dock Hotel , 7 Tyrer Street, Birkenhead, Wirral, CH41 7AR  
Application Type: Work for Council by Council  
Proposal: Change of use of open space and construction of multi-use games area.  
Application No: APP/02/06552  
Decision Date: 04/10/2002  
Decision Type: Approved
- Location: Amenity area, south of Tyrer Street, Birkenhead. L41 7AR  
Application Type: Work for Council by Council  
Proposal: Erection of 3900mm. high fencing.  
Application No: APP/89/06059  
Decision Date: 26/07/1989  
Decision Type: Approved

Location: 8 Tyrer Street ,Birkenhead ,L41 7AR  
Application Type: Full Planning Permission  
Proposal: Erection of a single storey kitchen and bathroom extension.  
Application No: APP/84/26086  
Decision Date: 03/01/1985  
Decision Type: Approved

Location: 4 Tyrer Street,Birkenhead,Wirral,L41 7AR  
Application Type: Full Planning Permission  
Proposal: Erection of a single storey extension at the rear.  
Application No: APP/84/26205  
Decision Date: 29/01/1985  
Decision Type: Approved

Location: 2 Tyrer Street ,Birkenhead ,L41 7AR  
Application Type: Full Planning Permission  
Proposal: Single storey rear bathroom and kitchen extension.  
Application No: APP/82/20092  
Decision Date: 22/04/1982  
Decision Type: Approved

### **Summary Of Representations and Consultations Received:**

#### REPRESENTATIONS:

Having regards to the Council's Guidance for Publicity of Planning Applications, letters were sent to 44 neighbouring properties and a notice posted on site. One letter of representation has been received querying availability of plans and reports on line (This has been resolved). In addition the applicants undertook a public consultation exercise before submission of the application.

#### CONSULTATIONS:

**Head of Environment and Regulation ( Pollution Control)** - No objection subject to noise mitigation conditions

**Head of Environment and Regulation (Strategic Housing Services)** - No objection, the proposals are part of ongoing masterplan for redevelopment of the area in partnership with the Council.

**Lead Local flood Authority** - No objection subject to conditions

**Merseyside Environmental Advisory Service** - No objection subject to conditions

**Regeneration and Environment (Parks and Gardens)** - request a footpath created to access public open space

#### **Director's Comments:**

#### **REASON FOR REFERRAL TO PLANNING COMMITTEE**

This application is a major development for more than 50 dwellings. As such, the application is required to be considered by the Planning Committee having regards to the provisions of the Scheme of Delegation for Determining Applications.

#### **INTRODUCTION**

Erection of 52 houses with parking on vacant land.

#### **PRINCIPLE OF DEVELOPMENT**

The application site is designated as a Primarily Residential Area. The principle of the development proposed is acceptable in this regard subject to relevant UDP policies.

#### **SITE AND SURROUNDINGS**

The application site consists of two parcels of vacant land which are located to the east and west of Ilchester Road. The eastern parcel is divided by the existing road (Shannon Street) and is bounded on

three sides by residential properties. The parcel of land to the west is bounded by Station Road and Birkenhead North Station to the North and a large area of public open space to the south. Both sites are within primarily residential areas and have been occupied in the past by houses.

### **POLICY CONTEXT**

The statutory development plan consists of the Wirral Unitary Development Plan (UDP adopted February 2000 and saved by Direction of the Secretary State on 18 September 2007) and the Joint Waste Local Plan (adopted 18 July 2013).

UDP Policies relevant to this application include:

Policy URN1	Development and Urban Regeneration
Policy HS4	Criteria for New Housing Development
Policy HSG2	Affordable Housing
Policy GR5	Landscaping and New Development
Policy GR6	Greenspace Within New Family Housing Development
Policy TRT3	Transport and the Environment
Policy TR8	Criteria for the Design of Highway Schemes
Policy TRT3	Transport and the Environment
Policy TR8	Criteria for the Design of Highway Schemes
Policy TR9	Requirements for Off-Street Parking
Policy TR11	Provision for Cyclists in Highway and Development Schemes
Policy WA2	Development and Land Drainage
Policy WA5	Protecting Surface Waters

Supplementary Planning Documents include:

SPD4	Parking Standards
SPG42	Providing for Cyclists

Relevant Policies in the Joint Waste Local Plan (adopted 18 July 2013) include:

Policy WM8 - Waste Prevention and Resource Management  
Policy WM 9 - Sustainable Waste Management Design and Layout for New Development,

The National Planning Policy Framework (NPPF) became a material planning consideration on 27th March 2012. This indicates that the purpose of the planning system is to contribute to the achievement of sustainable development and that paragraphs 18 to 219 taken a whole constitute the Governments view of what this means in practice for the planning system.

The Council has also resolved that the Core Strategy Local Plan - Proposed Submission Draft (December 2012) and its supporting documents including the Wirral Strategic Housing Land Availability Assessment Update 2012 (Wirral Council and A.P.Sheehan 2012) will be material considerations for the purpose of determining planning applications.

The Council published a series of initial proposed modifications to the Proposed Submission Draft in July 2013, which should also be considered, although these have not yet been confirmed as Council policy. Weight can be given according to its stage of preparation, the significance of unresolved objections and the degree of consistency with NPPF.

### **APPEARANCE AND AMENITY ISSUES**

The proposed development is for 52 new houses which would be a mix of detached and semi-detached. The western half of the development includes Tyrer Street and takes access from Station Road into Tyrer Street. Both ends of Tyrer Street will be closed off by houses effectively forming a cul-de-sac with the public open space to the south. The new access from Station Road links through with the footpaths across the public open space. The closing of the western end of Tyrer Street removes a footpath into the public open space from this direction. To resolve this footpath is proposed along the southern side of plot 7. Although this is outside of the site boundary, its provision could be secured by condition.

The proposed houses are a mix of mainly two storey with 14 two and a half storey units. The two and a half storey units have the upper floor set within the roof space using dormer windows. The design of the

houses is traditional with proposed materials of brick and tile.

The eastern half of the development uses the existing Shannon Street as its main access. Half of the development faces out onto Shannon Street and takes its access here. The remainder of the development is at right angles to Shannon Street which minimises overlooking and loss of privacy between new properties. The size and scale of the plots reflects the surrounding residential properties.

The proposals form the third phase of the wider master plan for the redevelopment of this area which is to be developed in partnership with the Council. Phases one and two to the east have been completed and included the provision of affordable housing required by the development overall. It is not the intention to provide affordable housing as part of this phase of the development. Part of the overall development of all three phases includes the re balancing of the housing market. Whilst traditional affordable housing is not proposed, the developer intends to deliver products which includes subsidised sales on the open market.

The proposed development consists of 13, 2 bedroom units and 39, 3 bedroom units. The Councils maximum parking requirement for a development of this nature would be 97.5 off street parking spaces. 87 spaces in total are to be provided across both parts of the site which meets the policy requirement. Parking is generally provided alongside or in front of the dwellings whilst retaining a reasonable amount of garden around the plots. In some parts of the site, parking is a little more removed from the main dwelling frontage, however this is still in locations which are overlooked by other properties or where the unit in question overlooks the parking area. thus ensuring surveillance and security. The site is in a sustainable location with good transport links very close to the site.

Policy GR6 of the Wirral Unitary Development Plan sets out the criteria for open space within new family development. This policy normally requires that developments of more than 35 units provide open space within the development of 60m<sup>2</sup> per dwelling. However, this policy is not held to apply where the dwellings constructed would fall within 400 metres of an existing accessible POS of 1.5 hectares or above. There is an existing play area with a full range of equipment and POS immediately adjacent to the site. Whilst this falls a little short of 1.5ha. In this particular case, the deficit can be outweighed by the overall regeneration benefits that can be accrued through the proposed development.

Prior to the submission of the application , the applicants undertook a public consultation exercise. This took the form of an informal public drop in event. Negative comments related to possible disruption during construction and an increase in traffic. The stopping up of Tyrer Street was felt to be a positive action which would remove anti-social behaviour and the form of tenure generally supported.

The layout was developed with advice from the Police Architectural Liaison officer who has not raised an objection to the proposals

The proposals are accompanied by a tree survey and ecological assessment. In total the tree survey identifies 10 trees within the site which are predominantly cherry and of low amenity value, which would be removed to facilitate the development. The ecological survey did not identify any habitats or protected species which would act as a constraint on development. The submitted landscaping proposals includes the planting of trees around the development both in gardens and in public areas. hedging and shrub planting is also included in more public areas.

### **SEPARATION DISTANCES**

The development meets the normal interface distances of 21m and 14m with existing properties adjacent to the development. Within the development, similar to phases one and two, the interface distances are reduced. Whilst this is not ideal, consideration of design and layout must, however, be informed by the wider context, having regard not just too immediate neighbouring properties but the town scape and landscape of the wider locality. In this instance, the shortfalls are not considered to be substantial. Furthermore, the proposals are considered to replicate layouts and patterns of build in the surrounding area. Whilst wider plot frontages would ensure good provision of amenity space and private parking not common to the surrounding streets, the shortened separation distances ensure that the close knit feel of the area will be retained, the development both respecting the character of the area and raising housing standards, supporting the regeneration of this part of the Borough.

### **HIGHWAY/TRAFFIC IMPLICATIONS**

The proposed development has raised some highway concerns which have been addressed as far as

possible through amendments to the layout and conditions

### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

The proposed development would contribute to urban regeneration in sustainable location.

### **HEALTH ISSUES**

There are no health implications relating to this application.

### **CONCLUSION**

The application site is located in a sustainable location which is accessible to shops, schools, a hospital and public transport. It is considered that the proposed development represents an appropriate re-use of vacant land with regard to local and national planning policies and will assist Urban Regeneration.

### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The application site is located in a sustainable location which is accessible to shops, schools, a hospital and public transport. It is considered that the proposed development represents an appropriate re-use of vacant land which is not in conflict with local and national planning policies and will assist Urban Regeneration.

**Recommended Decision:**                      **Approve**

### **Recommended Conditions and Reasons:**

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason:** To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. Before any construction commences, samples of the facing and roofing materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

3. Detailed drawings shall be submitted to and approved by the Local Planning Authority before any work is commenced to indicate the finished site and ground floor levels intended at the completion of the development in relation to the existing site levels and the levels of the adjoining land and the development shall be carried out and completed in accordance with the details so approved.

**Reason:** To ensure that the development is satisfactorily sited and designed in relation to adjacent development .

4. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 26 July 2016 and 10 October 2016 and listed as follows: 2008/NW/RD/106,2008/SD/110,2008/NW/RD/113, 2008/NW/RD/116, 2008/NW/RD/117,2008/NW/RD/118,2014/832v2-PL02,2014/851-PL03, 2014/1054v1-PL05, 2014/651-PL01, 2014/867-PL04, 5185.01, 01261/Topo, 14092-004, 14092-001, 5185.04, 5185.02 and 5185.03.

**Reason:** For the avoidance of doubt and to define the permission.



5. All areas shown on plan and such other areas as may be shown on the approved plan shall be suitably landscaped in accordance with the submitted landscaping scheme. Such landscaping work shall be completed during the first available planting season following completion of the development hereby approved. Any trees and shrubs planted in accordance with the landscaping scheme which, within 5 years of planting are removed, dying, seriously damaged or become diseased shall be replaced to the satisfaction of the Local Planning Authority, by trees and shrubs of similar species.

**Reason:** To ensure a satisfactory standard of appearance and to ensure that the proposed development enhances the visual amenity of the locality in accordance with policy GR5 of the Wirral Unitary Development Plan.

6. Before any equipment, machinery or materials are brought onto site, a 1 metre high fence or other barrier as agreed in writing with the Local Planning Authority, shall be erected around the outer limit of the crown spread of all trees, hedges or woodlands shown to be retained on the approved plan. Such fencing shall be maintained in a satisfactory manner until the development is completed. During the period of construction, no material shall be stored, fires started or trenches dug within these enclosed areas without the prior consent in writing of the Local Planning Authority.

**Reason:** To prevent damage to the trees/ hedges in the interests of visual amenity and to comply with Policy GR7 of the Wirral Unitary Development Plan.

7. No tree felling, scrub clearance, vegetation management, ground clearance or building works shall take place during the period of 1 March to 31 August inclusive unless otherwise agreed in writing by the Local Planning Authority. If it is necessary to undertake works during the bird breeding season then these locations shall be checked first by an appropriately experienced ecologist to ensure no breeding birds are present. If present, details of how they will be protected shall be submitted to and agreed in writing by the Local Planning Authority.

**Reason:** In the interests of nature conservation having regard to Policy NC7 of the Wirral Unitary Development Plan.

8. NO DEVELOPMENT SHALL TAKE PLACE UNTIL a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with policy WM8 of the Waste Local Plan.

9. NO DEVELOPMENT SHALL TAKE PLACE (including any demolition works) UNTIL a Construction Management Plan or Construction Method Statement for the demolition and/or construction of the development hereby approved has been submitted to, and approved in writing by, the Local Planning Authority. The demolition and construction works shall be carried out in accordance with the approved details.

Details submitted in respect of the method statement shall provide for routes for construction traffic, the provision of parking facilities for contractors and visitors during all stages of the development, hours of operation, the provision of a means of storage and/or delivery for all plant, site huts, site facilities and materials and shall provide for wheel cleaning facilities during the demolition, excavation, site preparation and construction stages of the development and/or method(s) of prevention of mud being carried onto the highway.

**Reason:** In the interests of the safe operation of the local highway network and having regards to visual and residential amenities of the area.

10. Surface water sustainable drainage works, comprising all components of the surface water drainage system, shall be carried out in accordance with the details contained within the submitted Flood Risk Assessment & Sustainable Drainage Strategy (June 2016 HYD106\_TYRER STREET.BIRKENHEAD\_FRA&SDA) approved in writing by the Local Planning Authority, in conjunction with the Lead Local Flood Authority.  
The surface water sustainable drainage scheme shall be fully constructed prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the approved Surface Water Drainage Strategy, or within any other period as may subsequently be agreed, in writing, by the Local Planning Authority in consultation with the Lead Local Flood Authority.

**Reason:** To ensure satisfactory drainage facilities are provided to serve the site in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

11. No development shall commence until full details of a scheme for a surface water sustainable drainage system to serve the site, and method of implementation including arrangements to secure funding and maintenance for the lifetime of the development through an appropriate legally binding agreement have been submitted to and approved in writing by the Local Planning Authority in consultation with Lead Local Flood Authority. The approved scheme shall be implemented in accordance with the approved details and timetable. Thereafter the surface water sustainable drainage system shall be managed and maintained in accordance with the approved scheme.

**Reason:** To ensure satisfactory drainage facilities are provided to serve the site in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

12. No development shall commence until details of an appropriate management and maintenance plan for the surface water sustainable drainage system, comprising all components of the surface water drainage system, for the lifetime of the development have been submitted to the Local Planning Authority, in conjunction with the Lead Local Flood Authority.

The plan shall be implemented in accordance with the approved details prior to first occupation of any of the approved dwellings, or completion of the development, whichever is the sooner. Thereafter the surface water sustainable drainage system shall be managed and maintained in accordance with the approved details.

**Reason:** To ensure satisfactory management and maintenance of the approved surface water drainage facilities is provided for the site for the lifetime of the development in accordance with the National Planning Policy Framework, Paragraph 103 and Policy CS35 in the Core Strategy Local Plan Proposed Submission Draft.

13. The proposed footpath adjacent to plot 7 shall be laid out to a standard to be agreed in writing with the Local Planning Authority and be available for use before Tyrer Street is stopped up and the existing access is removed.

**Reason:** To ensure a continued access to the public open space.

14. Foul and surface water shall be drained on separate systems

**Reason:** To secure proper drainage and to manage the risk of flooding and pollution.

15. No development shall take place until a full scheme of works and timetable for the construction of the new highways and/or amendment of the existing highway made necessary by this development, including new carriageways, footways, street lighting, surface water drainage, traffic signs, road markings, traffic calming, TRO's, tactile paved pedestrian crossings, street furniture, access onto the adjacent highway, road safety audit

and monitoring has been submitted to and agreed in writing with the Local Planning Department. The approved works shall be completed in accordance with the LPA written approval prior to occupation of the development.

**Reason:** In the interest of highway safety and to comply with UDP Policy HS4 of the Wirral Unitary Development Plan.

**Further Notes for Committee:**

**Last Comments By:** 21/10/2016

**Expiry Date:** 25/10/2016

This page is intentionally left blank

## Planning Committee

20 October 2016

**Reference:**  
**APP/16/01089**

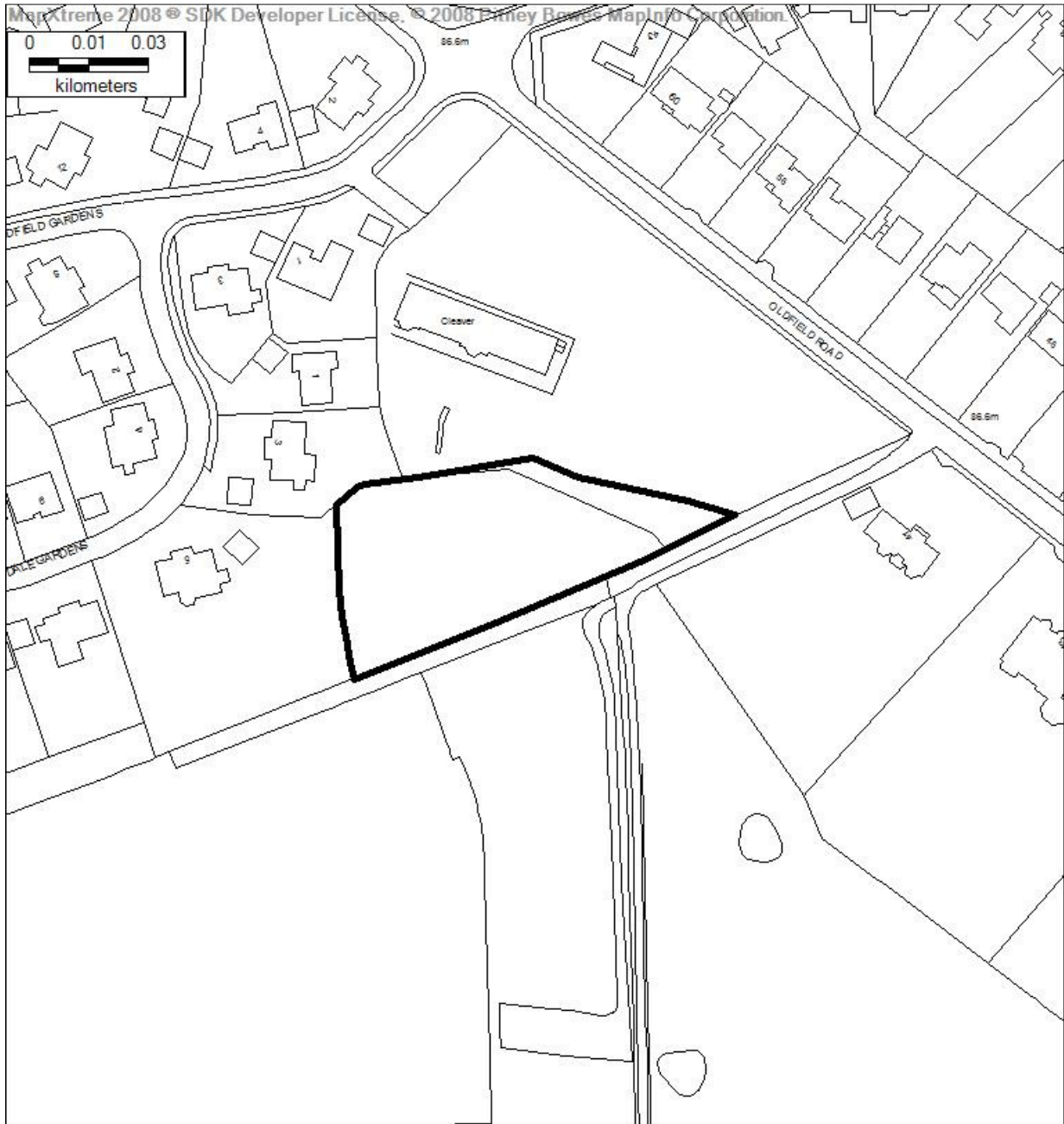
**Area Team:**  
**South Team**

**Case Officer:**  
**Miss A McDougall**

**Ward:**  
**Heswall**

**Location:** LAND ADJACENT TO 3 DALE GARDENS, HESWALL, CH60 6TQ  
**Proposal:** New build dwelling with access from Oldfield Road  
**Applicant:** Mr Christopher Weatherstone  
**Agent :** Mr Weatherstone

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan Designation:**

Urban Greenspace  
Area of Special Landscape Value

**Planning History:**

No planning history

**Summary Of Representations and Consultations Received:**REPRESENTATIONS:

Having regard to the Council Guidance on Publicity for Applications, 7 notifications were sent to adjoining properties. A site notice was also displayed. At the time of writing this report 13 objections have been received, listing the following grounds:

1. unacceptable access point
2. damage to woodland
3. impact onto species habitats
4. loss of trees

CONSULTATIONS:

**Head of Environment & Regulation (Traffic & Transportation Division)** - No Objection subject to conditions

**Head of Environment & Regulation (Pollution Control Division)** - No Objections

**MEAS** – No objections subject to conditions

**The Heswall Society** - Harmful to the character of the land and conflicts with Wirral's UDP

**Wirral Wildlife** - Conditions required

**Director's Comments:****REASON FOR REFERRAL TO PLANNING COMMITTEE**

The application represents a departure from the Development Plan and is therefore required to be considered by the Planning Committee.

**INTRODUCTION**

The proposal is for the erection of a detached house in an overgrown area of woodland to the rear of 3 Dale Gardens.

The site is accessed via a narrow un-adopted lane off Oldfield Road, which also leads to Dale Farm to the south.

**PRINCIPLE OF DEVELOPMENT**

The proposal for a dwelling is contrary to the Unitary Development Plan, as the land is designated as Urban Greenspace.

**SITE AND SURROUNDINGS**

The site is an overgrown piece of land located to the rear of 3 Dale Gardens, the land is accessed via a lane off Oldfield Road which also provides access to Dale Farm. The site itself is located on the edge of housing and located to the rear of Cleaver Residential Care Home to the north and immediately adjacent to the Heswall Dales SSSI to the south.

The site is designated as Urban Greenspace and is under private ownership of the current owner of 3 Dale Gardens, the edge of the site contains numerous trees but the central section of the site is relatively clear of trees with numerous plants and foliage. The proposal is to retain the outer tree boundary and clear the central section of the site to accommodate a dwelling.

## **POLICY CONTEXT**

The proposal is for a new dwelling and having regard to the restrictions on the site will be assessed in accordance with Wirral's UDP Policies GRE1, GR1, GR7, NC3, LAN1 and LA1, and Waste Local Plan Policies WM8 and WM9. Although applicable to development with the Primarily Residential Area, the criteria for new housing in UDP Policy HS4 would also be relevant.

### HS4 Criteria for New Housing Development Policy

Proposals for new housing development on allocated sites and within the Primarily Residential Areas shown on the Proposals Map will be permitted subject to the proposal fulfilling all the following criteria:

- (i) the proposal being of a scale which relates well to surrounding property, in particular with regard to existing densities and form of development;
- (ii) the proposal not resulting in a detrimental change in the character of the area;
- (iii) access and services being capable of satisfactory provision, particularly for off-street car parking areas and garages, and adequate vehicular access;
- (iv) the provision of appropriate landscaping and boundary treatment which relates the proposed development to its surroundings, paying particular attention to the maintenance of existing natural features and vegetation in accordance with Policy GR5;
- (v) the appropriate provision of design features which contribute to a secure environment and reduce the likelihood of crime;
- (vi) incorporating provision for accessible public open space and children's play areas in accordance with Policy GR6; and
- (vii) the provision of adequate individual private or communal garden space to each dwelling.

For all proposals whose main elevations are parallel, or nearly so, an adequate distance should be kept between habitable rooms in separate dwellings. In addition, where the gable end of one property fronts onto the rear elevation of another, then an adequate separation should be achieved.

### GR1 The Protection of Urban Greenspace Policy

On land designated as Urban Greenspace, facilities for visitors, sport or play will be permitted where it can be demonstrated that the proposals would not:

- (i) prejudice the continued use of the site for open air recreation; or
- (ii) prejudice the visual amenity, landscape character or nature conservation value of the site.

Development for other purposes on land designated as Urban Greenspace, other than for the re-use of existing buildings, will not be permitted unless alternative provision of equivalent community benefit is made available.

### GR7 Trees and New Development Policy

In assessing the protection to be given to trees on development sites the Local Planning Authority will consider the general health, structure, size and life expectancy of trees, their visual value within the locality and their value for nature conservation and will require that buildings, structures and hard surface areas are sited in order to:

- (i) substantially preserve the wooded character of the site or of the surrounding area;
- (ii) provide for the protection of trees of greatest visual or wildlife value and other vigorous healthy trees;

(iii) ensure that trees to be retained have adequate space in order to prevent damage to their canopy or root structures during construction and to allow for the future growth of canopy and roots to normal mature sizes;

(iv) prevent the removal of trees by occupiers of the development to obtain reasonable sunlight to habitable rooms, secure an open unshaded garden area, or to remove perceived dangers to life and property; and

(v) protect trees on adjacent land which may be affected by the development proposed;

Applications should include detailed plans showing the location of individual trees to be affected by the development proposed, together with information related to trunk girth, species mix, height, canopy spread and general health and condition. Trees to be felled should be clearly indicated.

Where development involving the loss of trees is to be permitted, the Local Planning Authority will, as a condition of planning consent, require replacement trees to be planted elsewhere on the site where this is required in order to protect or preserve local amenity.

Planning conditions will include provision for the future maintenance of newly planted stock, including the replacement of failures, until the newly planted stock is established and capable of normal unaided growth; and during the construction period, measures related to the protection of trees to be retained.

Work to trees, including felling, removal, thinning and crown lifting should be completed prior to construction commencing in accordance with a scheme of work agreed in advance with the Local Planning Authority.

#### NC3 The Protection of Sites of National Importance For Nature Conservation Policy

Development proposals likely to affect, directly or indirectly, sites of national importance for nature conservation will be subject to special scrutiny and will not be permitted unless it can be demonstrated that the reasons for the development clearly outweigh the nature conservation or earth science value of the site and the national policy to safeguard the national network of such sites.

Where such development proposals are to be approved, the Local Planning Authority may impose planning conditions and/ or planning obligations to secure the protection and enhancement of the site's value for nature conservation or earth science. In this respect the Local Planning Authority will need to be satisfied that:

(i) the development proposals are sited and designed in such a way as to conserve the integrity of the site;

(ii) adequate provision has been made to minimise the potential for damage or injury to any part of the site during construction and after the development proposed is occupied; and

(iii) adequate measures have been taken in order to safeguard compliance with these requirements and where appropriate to provide for the reinstatement of damaged areas.

#### LA1 Protection for Areas of Special Landscape Value Policy

The Local Planning Authority will protect the character and appearance of areas designated as Areas of Special Landscape Value from the adverse effects of development and will not permit proposals which would:

(i) introduce new intrusive development within an otherwise open setting, especially along a prominent skyline or along the undeveloped coast; or

(ii) result in the loss or erosion of distinctive landscape features, such as woodlands, hedges or trees, without appropriate replacement provision; and

(iii) other proposals which, in terms of their siting, scale, form and external appearance, would detract from the appearance of the Area or intrude within important views into or out of the Area.



Proposals for public utilities, telecommunications apparatus, the working of minerals or landfilling of waste, may be permitted where they would not cause unacceptable impact.

### **Policy Implications**

Planning legislation requires that the application is determined in accordance with the statutory development plan which consists of the Wirral Unitary Development Plan and the Joint Waste Local Plan for Merseyside unless material considerations indicate otherwise.

Development within Urban Greenspace is not normally permitted unless alternative provision of equivalent community benefit is made available.

The main policy objective in UDP Policy GRE1 is to regulate the supply and distribution of accessible public open space and other land with amenity value and to protect areas of visual importance to the locality or wider area (with or without direct public access) [Criterion 4 refers].

The objective of Policy GR1 is to protect the continued use of land for open air recreation, visual amenity, landscape character or nature conservation value.

The objective of Policy GR7, in line with the Council's wider responsibility to conserve the natural beauty of the area, is to protect trees on development sites and open and wooded character of the area.

While Policy LA1 does not exclude development, the primary objective is that landscape considerations are given special priority to ensure the landscape framework and distinctive character of the locality continue to be protected.

NPPF became a material consideration in March 2012. The applicant claims that because the Council cannot demonstrate a 5 year supply of deliverable housing sites UDP Policy GR1 should be afforded limited weight. The absence of a 5-year housing land supply does not mean that housing development should be permitted anywhere; it should be permitted only where it amounts to sustainable development taking account of any other relevant issues.

NPPF indicates that the purpose of the planning system is to contribute to the achievement of sustainable development and that paragraphs 18 to 219 taken a whole constitute the Governments view of what this means in practice for the planning system. Paragraph 14 and its footnote make it clear that land designated as Local Green Space should be restricted and is not subject to the general national presumption in favour of sustainable development.

Although UDP Policy GRE1 and Policy GR1 pre-dates the NPPF, they have similar aims to the criteria for Local Greenspace designation in NPPF paragraph 77 in that they protect a network of designated green spaces that: are in close proximity to community it serves, are locally significant and local in character.

The Council is currently preparing a Core Strategy Local Plan, in which the existing Greenspace designation will remain unchanged pending the preparation of an additional site specific Local Plan. Core Strategy Policy CS30 – Requirements for Green Infrastructure seeks to ensure new development contributes towards the provision, protection and enhancement of green infrastructure. Core Strategy Policy CS31 – Recreational Land and Buildings seeks to protect the provision of open space to the same standard included in the adopted UDP.

The Wirral Open Space Assessment (2012) indicated a deficit of 8.22 hectares of Amenity Green Space within the Heswall Settlement Area and deficit of between 1.81 and 2.93 hectares of Natural and Semi-natural Green Space, although a surplus of between 86.56 and 88.37 hectares is identified when a 400 metre buffer from the adjoining rural area is added to the calculation. While the proximity of Heswall Dales (28.85ha of natural and semi natural green space) means there is no local shortage of open space within the immediate locality, the approval of development on this site could serve to isolate the designated area of Urban Greenspace along the frontage to Oldfield Road from the main body of Heswall Dales to the south and west of the application site.

## **APPEARANCE AND AMENITY ISSUES**

The application site is not publicly accessible and is private land. Its main value as Urban Greenspace is therefore primarily visual and as part of the setting of the wider open area of special landscape, which includes Heswall Dales to the south.

The site is in a location where development could reduce a gap of undeveloped land between the Primarily Residential Areas in Oldfield Road and Dale Gardens. The proposed dwelling is a low, split level building that takes account the land levels of the site which rise to the north and west, the residential care home at Cleaver is much higher than the site and is quite prominent when viewed from within the site.

The building is to have a flat roof and will be a modern design that has been sighted in such a way to cause the least disruption onto the wooded character of the area, the woodland characteristics are to be retained by keeping the mature trees along the outer boundaries.

The design of the building is square and will be externally clad in materials yet to be determined although the examples provided appear to be a slate finish. Due to the land levels the building has a split level appearance and will be built into the raised grass bank, the orientation of the dwelling is that the front elevation faces east towards Oldfield Road and the rear elevation faces west onto the grass bank and a section of the cleared land which will be utilised as private garden space.

The house measures 14m by 13m, with a garage and pool to the lower level and a central staircase that will gain light from a large central glass roof, at first floor each room is accessed via the central staircase and around an open internal walkway, the habitable rooms have outlook to the east, south and west, the north elevation facing Cleaver Residential Care Home is blank. The driveway access into the property is gained off an existing lane from Oldfield Drive and runs to the east elevation of the dwelling which includes a garage access door.

The applicant has submitted a tree survey as the site contains a Tree Preservation Order that dates back to 1983. The siting of the house has been identified to the west of the site within a relatively more cleared area. However, the construction of the house and driveway will result in the removal of at least 17 trees. The majority of the trees on site will, however, be retained. Given the scale of the house, it is considered that the remaining trees will retain the wooded character of the site and there will be sufficient land within the cleared section for the provision of private useable garden space. The garden area measures approximately 10m by 14m.

Whilst residential development is contrary to UDP Policy GR1 and Proposal GR2, in this particular case, the siting and design of the proposed house is considered to retain the visual amenity of the land and the wooded character of the site. The land itself is located on the edge of an existing modern residential development. Given the large development to the north at the Cleaver Care home, development of this type that reflects the land levels and retains the trees is not considered to result in unacceptable harm or loss of visual amenity.

A habitat survey has been provided and assessed by MEAS. The proposed survey has been considered to address protected species and, subject to conditions to protect wildlife and habitats, the survey can be accepted.

It is considered that having regard to the relevant surveys that have been produced, the siting of the proposed dwelling and the character of the surrounding area, and the conditions that can be applied, that the proposal will not harm visual amenity and would retain the wooded character of the site without compromising the ecology or appearance of the land when viewed from neighbouring sites. As such the proposal is considered acceptable having regard to the Councils current policies and the NPPF.

## **SEPARATION DISTANCES**

The property provides outlook to the east, south and west elevations, all of which look into the existing site and the south elevation faces the access lane to Dale Farm. The north elevation faces Cleaver Residential Home however this elevation does not contain any window openings.

The proposed house meets the Councils current window to window interface distance of 21m and 14m to blank walls (direct outlook).

## HIGHWAY/TRAFFIC IMPLICATIONS

The property is to be accessed via the existing lane off Oldfield Drive, due to the nature of this lane providing the only access to Dale Farm, a construction management plan should be submitted in order to minimise disruption to the lane.

## ENVIRONMENTAL/SUSTAINABILITY ISSUES

The site is designated as Urban Greenspace immediately adjacent to a Site of National Importance for Nature Conservation. The applicant has provided a habitat survey as well as a tree survey. The information provided has been assessed by Merseyside Environmental Advisory Service and the mitigation proposals have been accepted subject to suitably wording conditions allowing for the protection of the woodland and habitat protection. No bats have been identified within the site. Breeding birds and hedgehogs should be protected by works during specified times of the year and breeding boxes for bats provided within the site. The site can therefore accommodate a dwelling subject to acceptable habitat protection and continued woodland management.

## CONCLUSION

The siting, scale, appearance and orientation of the proposed building are considered acceptable having regard to the impact on wildlife habitat and ecology and landscape. The proposal is unlikely to cause harm to visual amenity or the woodland character of the plot when viewed from the surrounding area. On balance, therefore, the proposal could be permitted in this particular case having regard to Wirral's UDP Policies HS4, GRE1, GR1, GR7, NC3, LAN1 and LA1.

### Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The siting, scale, appearance and orientation of the proposed building are considered acceptable having regard to the impact on wildlife habitat and ecology and landscape. The proposal is unlikely to cause harm to visual amenity or the woodland character of the plot when viewed from the surrounding area. On balance, therefore, the proposal could be permitted in this particular case having regard to Wirral's UDP Policies HS4, GRE1, GR1, GR7, NC3, LAN1 and LA1.

**Recommended Decision:**                      **Approve**

### Recommended Conditions and Reasons:

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason:** To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 11 August 2016.

**Reason:** For the avoidance of doubt and to define the permission.

3. Before any construction commences, samples of the materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

4. No part of the development shall be brought into use until a means of vehicular and/or pedestrian access to the site/development has been constructed. These works shall be in accordance with details as approved by a plan to be submitted to the Local Planning Authority and approved in writing.

**Reason:** In the interests of highway safety and to accord with Policy HS4 of the in the Wirral Unitary Development Plan.

5. No part of the development shall be brought into use until areas for vehicle parking, turning and manoeuvring have been laid out, demarcated, levelled, surfaced and drained in accordance with a plan to be submitted and approved in writing by the Local Planning Authority .

**Reason:** In the interests of highway safety and protected habitats.

6. Prior to the commencement of development a Construction Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The provisions of the Construction Management Plan shall be implemented in full during the period of construction and shall not be varied unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** In the interests of highway safety.

7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2008 (or any subsequent Order or statutory provision revoking or re-enacting the provisions of that Order), no garages, outbuildings or other extensions to a dwelling shall be erected unless expressly authorised.

**Reason:** In order to protect the character of the area/residential amenities of nearby occupants and to accord with Policy GR1 of the Wirral Unitary Development Plan.

8. Details of all fencing, walls, gateways and means of enclosure shall be submitted to and approved by the Local Planning Authority before the development hereby approved is completed and the work shall be carried out prior to occupation, in accordance with the details so approved, and subsequently maintained to the satisfaction of the Local Planning Authority.

**Reason:** To protect the character of the area having regard to Wirral's UDP Policy GR1.

9. A landscape/woodland management plan, including long term design objectives, management responsibilities and maintenance schedules for all woodland areas, the site should contain a tree belt to the southern boundary of the site 12m in width, the woodland management plan and tree belt shall be submitted to and approved by the Local Planning Authority prior to the occupation of the development. The landscape management plan shall be carried out as approved.

All Rhododendrons within the retained tree belt should be eradicated and replaced with suitable native under storey species.

**Reason:** In the interests of visual amenity and conservation and to comply with Policy GR1 of the Wirral Unitary Development Plan.

10. No tree, shrub or hedgerow felling, or any vegetation management and/or cutting operations should take place during the period 1<sup>st</sup> March to 31<sup>st</sup> August inclusive.

**Reason:** To protect birds during their breeding season and to comply with Policy NC3 in the Wirral Unitary Development Plan.

11. Before any equipment, machinery or materials are brought onto site, a 1 metre high fence or other barrier as agreed in writing with the Local Planning Authority, shall be erected around the outer limit of the crown spread of all trees, hedges or woodlands shown to be retained on

a plan to be submitted to the Local Planning Authority. Such fencing shall be maintained in a satisfactory manner until the development is completed. During the period of construction, no material shall be stored, fires started or trenches dug within these enclosed areas without the prior consent in writing of the Local Planning Authority.

**Reason:** To prevent damage to the trees/ hedges in the interests of visual amenity and to comply with Policy GR1 of the Wirral Unitary Development Plan.

12. Two tit bird breeding boxes and a single open fronted bird breeding box shall be installed within the retained woodland together with a bat box and hedgehog and insect habitat.

**Reason:** Having regard to protected species and Wirral's UDP Policy NC3.

13. Details of external lighting within the site must be submitted to the Local Planning Authority showing siting, heights and illuminance levels and spread. All external lighting must follow the guidance of the Bat Conservation Trust. Any lighting should be installed as agreed with the Local Planning Authority.

**Reason:** To protect bat habitat and foraging.

**Further Notes for Committee:**

1. If any European protected species are found, as a legal requirement work must cease and advice must be sought from a licensed specialist.

**Last Comments By:** 20/09/2016  
**Expiry Date:** 06/10/2016

This page is intentionally left blank

## Planning Committee

20 October 2016

**Reference:**  
**APP/16/01133**

**Area Team:**  
**South Team**

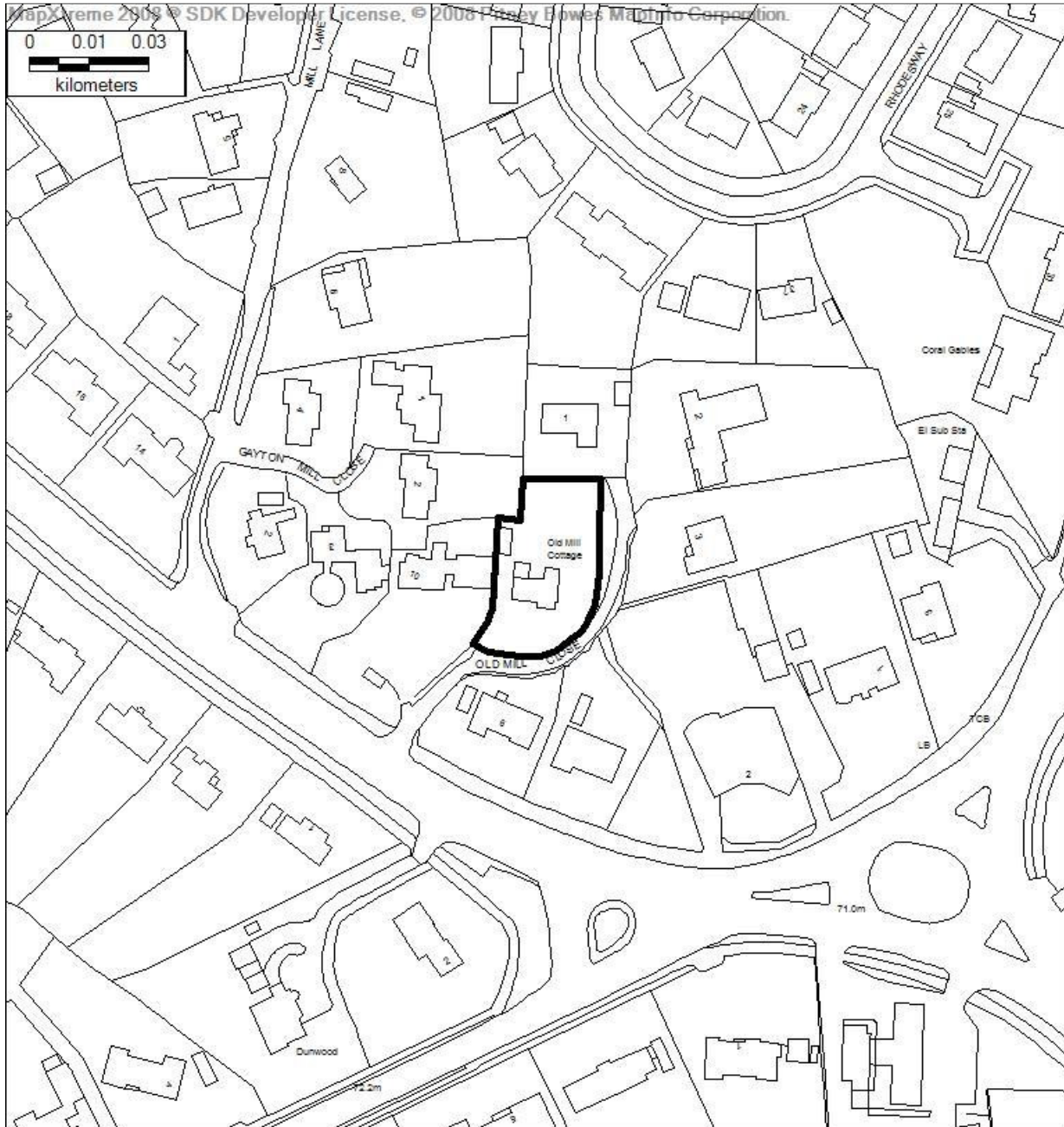
**Case Officer:**  
**Mr M Parry-Davies**

**Ward:**

**Heswall**

**Location:** Briarwood, 1 OLD MILL CLOSE, GAYTON, CH60 2UH  
**Proposal:** Two Storey Side Extension & Rear Sun Room  
**Applicant:** Councillors Mr & Mrs. Hodson  
**Agent :** KJP Architecture

### Site Plan:



© Crown copyright and database rights 2015 Ordnance Survey 100019803 You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

**Development Plan allocation and policies:**  
Primarily Residential Area

**Planning History:**

Location: Old Mill Cottage, Old Mill Close, Gayton  
Application Type: Full Planning Permission  
Proposal: Detached garage  
Application No: APP/80/15008  
Decision Date: 09/05/1980  
Decision Type: Approved

**Summary Of Representations and Consultations Received:****REPRESENTATIONS:**

Having regard to the Council's Publicity for Applications, a total of 9 adjoining properties were notified of the proposals. A Site Notice was also displayed at the site. No representations or objections have been received.

**CONSULTATIONS:**

No statutory consultations were required for this householder development.

**Director's Comments:****REASON FOR REFERRAL TO PLANNING COMMITTEE**

The applicants are both elected Members of the Council. As such, this application is required to be considered and determined by the Planning Committee.

**INTRODUCTION**

Planning permission is sought for a 2-storey side extension and rear single storey sun-room extension. The proposals would allow for an extended kitchen and family room at ground floor with a new master bedroom and en-suite bathroom at first floor. The side extension will be built over the existing patio area. To the rear, an existing single storey conservatory will be replaced with a sun-room extension.

**PRINCIPLE OF DEVELOPMENT**

Proposals for house extensions will be permitted subject to criteria set out in Policy HS11 (House Extensions) of the Wirral Unitary Development Plan and Supplementary Planning Guidance Note 11 (House Extensions). Therefore, the principle of the development proposed is acceptable subject to the criteria in the policy being satisfied.

**SITE AND SURROUNDINGS**

The existing property is a detached 2-storey dwelling set in its own landscaped grounds. The site is accessed via a private road (Old Mill Close) which in turn is accessed via Telegraph Road. The dwelling sits within its own grounds which are extensively landscaped with mature natural vegetation in the form of hedgerows and trees screening the site along all of its boundaries. To the north and west, the site is bounded by neighbouring detached properties. Old Mill Close runs immediately to the south and east of the site with residential properties located on the opposite side of the close. The Devon Doorway Public House is also located to the south-west of the site. The area is predominantly residential in character.

**POLICY CONTEXT**

The development is acceptable in principle provided it satisfies the criteria set out in Policy HS11 (House Extensions) of the Wirral Unitary Development Plan. These require the development to be appropriate to the size of the plot, not dominate the existing building nor be so extensive as to be unneighbourly, with particular regard being had to the effects on light and outlook to neighbours' habitable rooms and privacy. Materials should match and/or complement the existing dwelling. Design features should also match and/or complement the existing building. Adequate private amenity space should also be retained.

**APPEARANCE AND AMENITY ISSUES**

The proposed extensions are appropriate to the size of the plot. The existing dwelling is set in its own



grounds which are extensively landscaped, both to the front and rear. An existing side patio area will be built over to make way for the proposed 2-storey extension. The extension will be located some 3.5 metres off the site boundary with Old Mill Close. A large mature boundary hedge runs along the full perimeter of the site and therefore, the extension will be screened from Old Mill Close. The extension will not dominate the existing building and has been designed to complement the existing property. Materials proposed will match those on the existing dwelling and design features such as sills, eaves, roof form and line are carried over into the proposed extension.

The existing conservatory to the rear of the property is to be removed and replaced with a sun-room extension. This extension is single storey and will be built in the same location as the current conservatory. It does not come any further forward than the existing rear elevation of the property and is screened from view being at the rear of the property and located between the existing dining room and utility room.

As previously outlined, the site boundaries are well landscaped with mature hedgerows and trees which are to be retained. As a detached property, set within its own grounds, there are no issues of potential terracing arising from the proposed development and the property is set off the site boundaries which will ensure that the development will have no impact on adjacent and neighbouring properties.

The proposed development is acceptable both in terms of its scale and its appearance and ensures that neighbouring properties are not affected in terms of overlooking or loss of privacy.

### **SEPARATION DISTANCES**

The dwelling to the north of the site is located over 30 metres away from the rear elevation of the application property. Therefore, there would be no impacts in terms of overlooking of habitable rooms at this property. The site boundaries to the north of the site are also well landscaped ensuring that privacy in both the neighbouring garden area and the host property will be protected.

The property to the west of the site will not be affected as the extensions proposed are being built on the east facing elevation of the host property. However, again, mature landscaping runs along the shared boundary of these two dwellings ensuring privacy is maintained.

Nos. 2 and 3 Old Mill Close are located on the opposite side of the access road. Separation distances of 22 metres are achieved from the proposed side elevation of the new extension and the front of 3 Old Mill Close. However, there are no windows proposed on the first floor side elevation of the proposed extension, ensuring that no overlooking of No.3 Old Mill Close will take place.

Similarly to the south of the application site, the rear elevation of properties fronting Telegraph Road are located in excess of 30 metres from the proposed extension ensuring that all standard separation distances are comfortably achieved.

### **HIGHWAY/TRAFFIC IMPLICATIONS**

There are no Highway Implications relating to this proposal.

### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

There are no Environmental/Sustainability issues relating to these proposals.

### **HEALTH ISSUES**

There are no health implications relating to this application.

### **CONCLUSION**

The proposed development has been designed in such a way as to have no adverse effect on the appearance of the original property, the amenities of neighbouring properties or the area in general. The proposed extensions have been well-designed and materials proposed will match those of the original dwelling and echo its form both in terms of design and scale and respects the existing roof line. The proposals ensure that much of the private garden areas to the front and rear of the property are retained and much of the existing mature landscaping around the perimeter of the site is to be retained also. All separation distances expected are comfortably achieved ensuring that the development proposed will have no adverse effect on the amenities of adjoining occupiers. It is considered that the proposals are in keeping with Policy HS11 (House Extensions) of the Wirral Unitary Development Plan

and Supplementary Planning Guidance Note 11 (House Extensions).

**Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed development has been designed in such a way as to have no adverse effect on the appearance of the original property, the amenities of neighbouring properties or the area in general. The proposed extensions have been well-designed and materials proposed will match those of the original dwelling and echo its form both in terms of design and scale and respects the existing roof line. The proposals ensure that much of the private garden areas to the front and rear of the property are retained and much of the existing mature landscaping around the perimeter of the site is to be retained also. All separation distances expected are comfortably achieved ensuring that the development proposed will have no adverse effect on the amenities of adjoining occupiers. It is considered that the proposals are in keeping with Policy HS11 (House Extensions) of the Wirral Unitary Development Plan and Supplementary Planning Guidance Note 11 (House Extensions).

**Recommended                      Approve**  
**Decision:**

**Recommended Conditions and Reasons:**

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

**Reason:** To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 17 August 2016 and listed as follows: 002- Proposed Plans & Details and 003 - Proposed Elevations & Sections Thro' (dated 15.08.2016)

**Reason:** For the avoidance of doubt and to define the permission.

**Further Notes for Committee:**

**Last Comments By:** 21/09/2016  
**Expiry Date:** 12/10/2016

## Planning Committee

20 October 2016

**Reference:**  
**APP/16/01220**

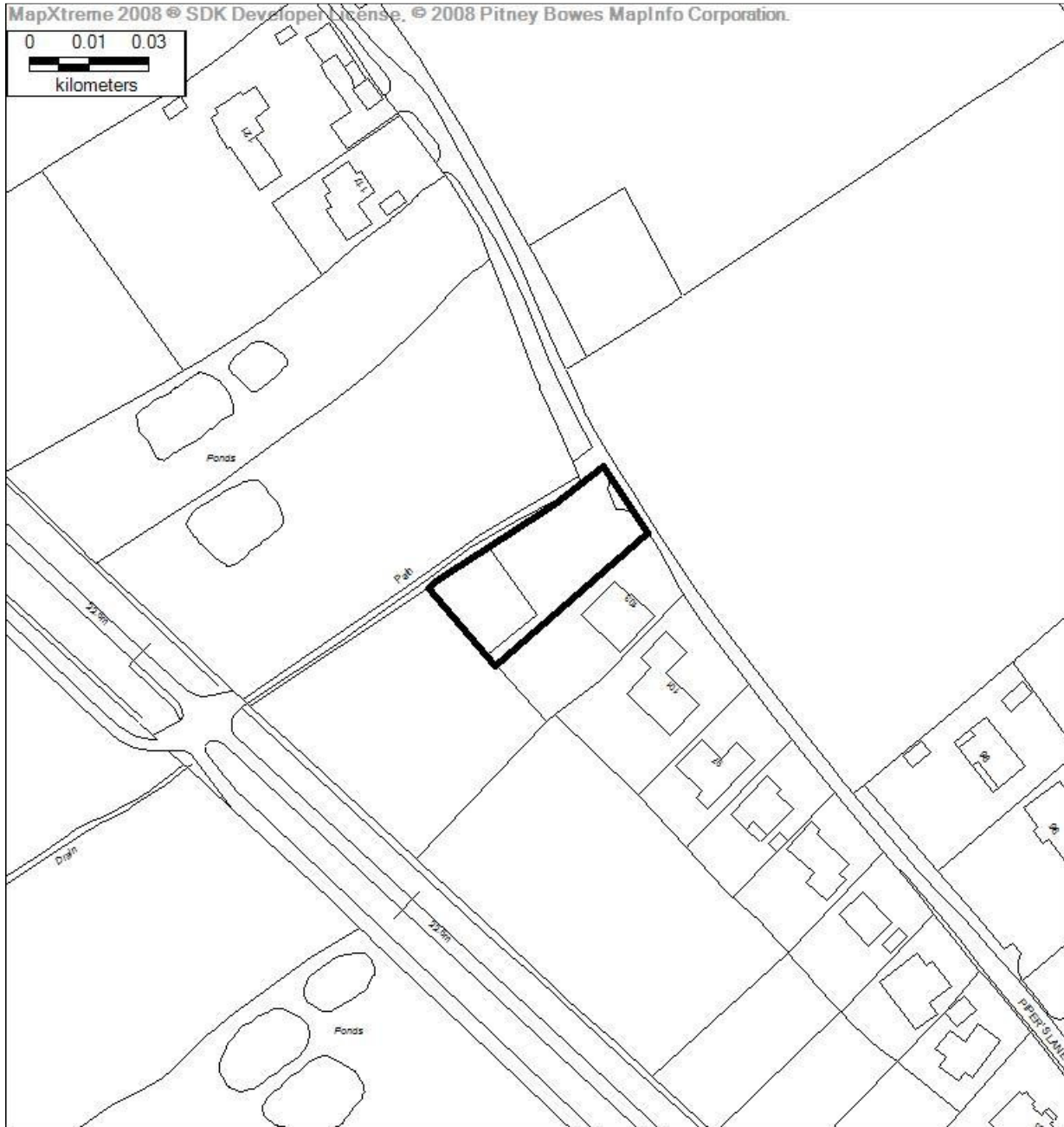
**Area Team:**  
**South Team**

**Case Officer:**  
**Miss A McDougall**

**Ward:**  
**Heswall**

**Location:** land adjacent 103 PIPERS LANE, HESWALL, CH60 9HR  
**Proposal:** New Build Dwelling 'Jenga House' at Land Adjacent 103 Pipers Lane  
**Applicant:** Mr A Speck  
**Agent :** SDA Architecture Ltd

### Site Plan:



Primarily Residential Area

### **Planning History:**

Location: Land at 103 PIPERS LANE, HESWALL, CH60 9HR  
Application Type: Full Planning Permission  
Proposal: Two storey, four double bedroomed detached property, eco-friendly, sustainable, passive house  
Application No: APP/14/00795  
Decision Date: 17/09/2014  
Decision Type: Approved

Location: LAND ADJACENT TO 103 PIPERS LANE, HESWALL, CH60 9HR  
Application Type: Full Planning Permission  
Proposal: New Build Dwelling at Land Adjacent 103 Pipers Lane  
Application No: APP/16/00511  
Decision Date: 19/08/2016  
Decision Type: Refused

### **Summary Of Representations and Consultations Received:**

#### REPRESENTATIONS:

Having regard to the Council Guidance on Publicity for Applications, 12 notifications were sent to adjoining properties. A site notice was also displayed. At the time of writing this report 2 objections have been received, listing the following grounds:

1. out of character
2. works have already started

A petition of objection signed by 31 signatures has also been received citing the following objections:

1. The proposal would be harmful to the character of the area including the footpath linking Pipers Lane to the Wirral Way; and
2. The visual impact of the rear elevation and extensive hard standing would be harmful to the Wirral Country Park and the Dee Coast Area of Special Landscape Value.

#### CONSULTATIONS:

**Head of Environment & Regulation (Traffic & Transportation Division)** - No Objections

#### **Director's Comments:**

#### **REASON FOR REFERRAL TO PLANNING COMMITTEE**

The application is submitted by SDA Architects and Surveyors, a firm of architects with which an elected Member of the Council is very closely connected. There has been an objection to this application and as such, under the provisions of the Scheme of Delegation for Determining Applications, this proposal is required to be considered by the Planning Committee. A petition of objection signed by 31 signatures has also been received.

#### **INTRODUCTION**

The proposal is for the erection of a detached dwelling.

The site currently benefits from planning consent for a detached two-storey dwelling, the ground works have already begun and the clearing of the site, the proposal is to alter the external design of the previously approved dwelling.

The current planning approval is APP/14/00795, there has also been a recent refusal for a different design dwelling planning reference APP/16/00511.

#### **PRINCIPLE OF DEVELOPMENT**

The proposal is for a dwelling located in a residential area, the site benefits from a current planning

consent for a dwelling and the principle has been established as acceptable.

### **SITE AND SURROUNDINGS**

The site is currently the side garden of the existing dwelling no.103 Pipers Lane, the site is located at the end of the residential area and adjacent to the Green Belt, the proposal is for a two-storey dwelling, due to the land levels there building will appear three storey to the rear, the property at no.103 is a two-storey dwelling, although Pipers Lane itself is a mix of house types and scales, there is no uniform design to the character of the area.

### **POLICY CONTEXT**

The proposal is for the erection of a two-storey detached house within a residential area, the residential curtilage of the application is contained wholly within the designated Primarily Residential Area, the development will therefore be assessed against Wirral's UDP Policy HS4.

Policy HS4 states; Proposals for new housing development on allocated sites and within the Primarily Residential Areas shown on the Proposals Map will be permitted subject to the proposal fulfilling all the following criteria:

- (i) the proposal being of a scale which relates well to surrounding property, in particular with regard to existing densities and form of development;
- (ii) the proposal not resulting in a detrimental change in the character of the area;
- (iii) access and services being capable of satisfactory provision, particularly for off-street car parking areas and garages, and adequate vehicular access;
- (iv) the provision of appropriate landscaping and boundary treatment which relates the proposed development to its surroundings, paying particular attention to the maintenance of existing natural features and vegetation in accordance with Policy GR5;
- (v) the appropriate provision of design features which contribute to a secure environment and reduce the likelihood of crime;
- (vi) incorporating provision for accessible public open space and children's play areas in accordance with Policy GR6; and
- (vii) the provision of adequate individual private or communal garden space to each dwelling.

For all proposals whose main elevations are parallel, or nearly so, an adequate distance should be kept between habitable rooms in separate dwellings. In addition, where the gable end of one property fronts onto the rear elevation of another, then an adequate separation should be achieved.

### **APPEARANCE AND AMENITY ISSUES**

The proposal is for a redesign of an approved dwelling on a side garden plot that was previously part of the residential curtilage of no.103 Pipers Lane. The new dwelling is two-storey to the front and three-storey to the rear taking account of the sloping land.

The proposed resubmission has taken into account the reasons for refusal of APP/16/00511, whilst the design and retained a modern look the materials and finish are softer and the side elevation that can be seen from the public right of way has been sufficiently broken up by the introduction of planting, windows and changes to the roof design.

The house is a modern design and is a mix of materials, the front elevation is timber clad and the sides are rendered, the main outlook is to the rear and contains a covered terrace and covered balcony. The front and rear projection has been designed with a flat roof however the central section has a pitched roof which breaks up the shape of the building.

The surrounding properties are a mix of design, there are more recent modern additions within the wider area and it is not considered that a traditional design is paramount for this site.

The design of the building whilst modern reflects the open characteristic of the area being located adjacent to the green belt, the materials soften the overall impact as do the changing elevation levels. The introduction of balconies to the rear is considered acceptable as they are covered and contain privacy screens to protect the amenity of the neighbouring house at no.103.

From the front elevation the proposed house is no higher than the neighbouring house no.103 and has a similar footprint. The garden area has also been designed to include a planted border to the north west side elevation that will break up the rendered elevation when viewed from the public footpath.

The design of the house is modern however it is considered that the proposed materials and landscaping reflect the rural character of the original plot, the scale of the house reflects the neighbouring property and would not be out of character in relation to the area.

### **SEPARATION DISTANCES**

The new windows are located to the front, rear and north west side elevation and do not result in direct overlooking to neighbouring properties. The balconies to the rear are well screened from the side elevation with no.103 and are not considered to have a detrimental impact onto residential amenity given the stand alone nature of the site.

### **HIGHWAY/TRAFFIC IMPLICATIONS**

There are no Highway Implications relating to this proposal.

### **ENVIRONMENTAL/SUSTAINABILITY ISSUES**

Environmental/Sustainability relate to nature conservation, visual and landscape impact as addressed in this report .

### **CONCLUSION**

The proposal is considered acceptable in terms of scale, siting, design and having regard to Wirral's UDP Policies HS4, NC7 and LA7.

### **Summary of Decision:**

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposal is considered acceptable in terms of scale, siting, design and having regard to Wirral's UDP Policies HS4, NC7 and LA7.

**Recommended Decision:**                      **Approve**

### **Recommended Conditions and Reasons:**

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

**Reason:** To comply with Section 91 (as amended) of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 15 September 2016 and listed as follows: 21\_2016\_02 Rev.E & 21\_2016\_03 Rev.E.

**Reason:** For the avoidance of doubt and to define the permission.

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted

Development) Order 2008 (or any subsequent Order or statutory provision revoking or re-enacting the provisions of that Order), no garages, outbuildings or other extensions to a dwelling shall be erected unless expressly authorised.

**Reason:** In order to protect the character of the area/residential amenities of nearby occupants and to accord with Policy HS4 of the Wirral Unitary Development Plan.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2008 (or any Order revoking or re-enacting that Order) no external alterations or extensions shall be carried out to the building(s) hereby approved.

**Reason:** To safeguard the amenities of the occupiers of adjoining property and the area generally and to accord with Policy HS4 of the Wirral Unitary Development Plan.

5. WITHIN ONE MONTH OF THE DATE OF THIS PERMISSION, samples of the materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The materials as approved shall then be used in the construction of the development.

**Reason:** To ensure a satisfactory appearance of the development in the interests of the visual amenities of the area and to comply with Policy HS4 of the Wirral Unitary Development Plan.

6. WITHIN ONE MONTH OF THE DATE OF THIS PERMISSION, details of mitigation measures for the impact on badger habitat, including details of any boundary fencing/walls that would allow badgers to access the site and adjacent fields, shall be submitted to and approved in writing by the Local Planning Authority. The details as approved shall be implemented in full and retained as such thereafter.

**Reason:** To ensure a satisfactory appearance of the development in the interests of the visual amenities of the area and to comply with Policy HS4 of the Wirral Unitary Development Plan.

7. In order to protect Badgers during development, work shall only take place between 0800 hours and 1800 hours, any holes/trenches left open overnight must have a means of escape provided, all materials containing lime must be stored so that badgers cannot access them and any obvious badger paths must be left clear of obstruction.

**Reason:** In the interest of species protection having regards to policy NC7 of Wirral's Unitary Development Plan.

8. WITHIN ONE MONTH OF THE DATE OF THIS PERMISSION, details of all walls (including retaining walls), fences, gates or other means of enclosure to be erected in or around the development have been submitted to and approved in writing by the Local Planning Authority. PRIOR TO FIRST OCCUPATION OF THE DEVELOPMENT the walls (including retaining walls), fences, gates or other means of enclosure shall be erected as approved and shall thereafter be permanently retained and maintained.

**Reason:** To satisfactorily protect the character and appearance of the area and the residential amenities of adjoining properties, having regard to Policy HS4 and GR7 of the Wirral Unitary Development Plan.

9. WITHIN ONE MONTH OF THE DATE OF THIS PERMISSION, details of the proposed finished floor levels; ridge and eaves heights of the dwelling hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The submitted levels shall be measured against a fixed datum and shall show the existing and finished ground levels, eaves and ridge heights of neighbouring property. The development shall be carried out as approved.

**Reason:** To ensure a satisfactory relationship between the various components of the

development and between the site and adjoining land, to ensure that construction is carried out at a suitable level having regard to drainage, access, the appearance of the development, any trees and hedgerows and the amenities of neighbouring properties, having regard to Policy HS4 and GR7 of the adopted Wirral Unitary Development Plan.

10. WITHIN ONE MONTH OF THE DATE OF THIS PERMISSION, details of a Site Waste Management Plan, confirming how demolition and construction waste will be recovered and re-used on the site or at other sites, has been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** To ensure that the proposed development would include the re-use of limited resources, and to ensure that the amount of waste for landfill is reduced to accord with policies WM8 and WM9 of the Waste Local Plan.

11. PRIOR TO FIRST OCCUPATION OR USE OF THE DEVELOPMENT, arrangements for the storage and disposal of refuse, and vehicle access thereto, shall be made within the curtilage of the site, in accordance with details previous submitted to and agreed in writing by the Local Planning Authority, prior to the first occupation of the building.

**Reason:** To ensure a satisfactory appearance and adequate standards of hygiene and refuse collection, having regard to Waste Local Plan Policy EM9.

**Further Notes for Committee:**

**Last Comments By:** 14/10/2016  
**Expiry Date:** 01/11/2016



## Planning Applications Decided Under Delegated Powers Between 04/09/2016 and 09/10/2016

**Application No.:** OUT/15/01376                      **Application Type:** Outline Planning Permission  
**Ward:** Bromborough                                      **Decision Level:** Delegated  
**Decision Date:** 06/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs C Parker  
**Applicant:** Mr & Mrs Sandland                      **Agent:** Bryson McHugh Architects  
**Location:** LAND ADJACENT TO 16 THE ESPLANADE, NEW FERRY, CH62 1EH  
**Proposal:** Outline application for Residential Development providing 5x No Houses and 16 x No Apartments including matters of scale, layout and access (amended number of apartments and layout).

**Application No.:** APP/15/01483                      **Application Type:** Full Planning Permission  
**Ward:** Eastham                                              **Decision Level:** Delegated  
**Decision Date:** 27/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr A Farrell                                      **Agent:** Mr R Vickers  
**Location:** 19 NEVILLE ROAD, BROMBOROUGH,WIRRAL CH62 7JD  
**Proposal:** Single storey rear extension to dwelling.

**Application No.:** OUT/15/01635                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 14/09/2016                      **Decision:** Refuse  
**Case Officer:** Mr N Williams  
**Applicant:** Mr David Birkitt                                      **Agent:** SDA Architecture Limited  
**Location:** Land on the corner of Townshend Avenue & Irby Road, IRBY, WIRRAL CH61 2XW  
**Proposal:** To develop up to 35 new homes

**Application No.:** APP/16/00073                      **Application Type:** Full Planning Permission  
**Ward:** New Brighton                                      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016                      **Decision:** Approve  
**Case Officer:** Mr N Williams  
**Applicant:** Bowen Property Investment Ltd                      **Agent:** WILLACY HORSEWOOD ARCHITECTS  
**Location:** Vacant Site, 58 ALBION STREET, NEW BRIGHTON, CH45 9JH  
**Proposal:** Proposed development of 6 No. new town houses with hard and soft landscaping and parking area

---

**Application No.:** ADV/16/00364                      **Application Type:** Advertisement Consent  
**Ward:** Moreton West and Saughall Massie                      **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Approve  
**Case Officer:** Mr S Lacey  
**Applicant:** Mr Andrew Smith                      **Agent:**  
**Location:** Going Places, 229 HOYLAKE ROAD, MORETON, CH46 0SL  
**Proposal:** Retrospective application for the retention and display of illuminated fascia signs on the front and side of building, an illuminated projecting sign and a non-illuminated advertising board on the gable end of the building.

---

**Application No.:** APP/16/00417                      **Application Type:** Full Planning Permission  
**Ward:** Upton                      **Decision Level:** Delegated  
**Decision Date:** 07/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Day  
**Applicant:** Mr M Soderberg                      **Agent:** Mr J Hale  
**Location:** 51 MANOR DRIVE, UPTON, CH49 6JE  
**Proposal:** Side Extension with guest bedroom in the roofspace and a rear dormer window.(Amended proposal)

---

**Application No.:** APP/16/00456                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 03/10/2016                      **Decision:** Refuse  
**Case Officer:** Mr N Williams  
**Applicant:** Mr Phil Hopkins                      **Agent:**  
**Location:** The Paddock SANDY LANE NORTH, IRBY, CH61 4XX  
**Proposal:** Erection of new two-bedroom bungalow

---

**Application No.:** APP/16/00491                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                      **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Approve  
**Case Officer:** Mr K Spilsbury  
**Applicant:** Trident Building Consultancy                      **Agent:** Trident Building Consultancy  
**Location:** First Floor Flat Heswall Post Office, 3 DOWNHAM ROAD SOUTH, HESWALL, CH60 5RG  
**Proposal:** Conversion of existing first floor flat into two separate flats.

---

**Application No.:** APP/16/00492                      **Application Type:** Full Planning Permission  
**Ward:** Clatterbridge                      **Decision Level:** Delegated  
**Decision Date:** 23/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Day  
**Applicant:** Thornton Manor Estates Ltd                      **Agent:** Bromilow Architects Ltd  
**Location:** Thornton Manor, MANOR ROAD, THORNTON HOUGH  
**Proposal:** Proposed change of use from Store and Glasshouse to provide dining facilities for existing Venue with glazed link between buildings

---

<b>Application No.:</b>	APP/16/00591	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	West Kirby and Thurstaston	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	14/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Mr G Hathaway	<b>Agent:</b>	
<b>Location:</b>	30 GRAMMAR SCHOOL LANE, NEWTON, CH48 8BA		
<b>Proposal:</b>	Erection two-storey side extension, with single-storey rear extension,		
<b>Application No.:</b>	APP/16/00603	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Heswall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	16/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr K Spilsbury		
<b>Applicant:</b>	Ms M Cross	<b>Agent:</b>	
<b>Location:</b>	2 DOWNHAM ROAD SOUTH, HESWALL, CH60 5RQ		
<b>Proposal:</b>	Change of use from hairdressers to mixed use cafe (Use class A3) and retail (Use Class A1)		
<b>Application No.:</b>	APP/16/00642	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	West Kirby and Thurstaston	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	23/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr S Williamson		
<b>Applicant:</b>	Miss C Smith	<b>Agent:</b>	
<b>Location:</b>	Dawpool Cottages, TELEGRAPH ROAD, CALDY		
<b>Proposal:</b>	Retention of fencing to provide 11 internal safe open paddocks to allow land management and rotational grass grazing for horses.		
<b>Application No.:</b>	APP/16/00685	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Rock Ferry	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	05/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr K Spilsbury		
<b>Applicant:</b>	Camco Estates Limited	<b>Agent:</b>	
<b>Location:</b>	Land at the corner of Holt Road and Old Chester Road, Tranmere, Wirral		
<b>Proposal:</b>	Erection of 18 new build apartments in a single block		
<b>Application No.:</b>	APP/16/00692	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Cloughton	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	20/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr & Mrs Petkov	<b>Agent:</b>	
<b>Location:</b>	12 ST ANDREWS ROAD, CLAUGHTON, CH43 1TD		
<b>Proposal:</b>	Proposed first floor side extension		

---

**Application No.:** APP/16/00705                      **Application Type:** Full Planning Permission  
**Ward:** Hoylake and Meols                      **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr J Kirkby                                      **Agent:** M F Architecture Ltd  
**Location:** 74 BANKS ROAD, WEST KIRBY, WIRRAL  
**Proposal:** To erect a two-storey rear extension

---

**Application No.:** APP/16/00723                      **Application Type:** Full Planning Permission  
**Ward:** Eastham                                      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Mr M Jones                                      **Agent:** SDA Architecture Limited  
**Location:** 20 WOODLEA CLOSE, EASTHAM, CH62 6DL  
**Proposal:** First floor side extension

---

**Application No.:** APP/16/00727                      **Application Type:** Full Planning Permission  
**Ward:** West Kirby and Thurstaston                      **Decision Level:** Delegated  
**Decision Date:** 22/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Day  
**Applicant:** Mr Fisher                                      **Agent:** LHGProjects  
**Location:** 22 GRAMMAR SCHOOL LANE, NEWTON, CH48 8AY  
**Proposal:** Erection of 3 No. detached dwellings on vacant land

---

**Application No.:** APP/16/00752                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 22/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr Ebbrell                                      **Agent:**  
**Location:** 33 THURSTASTON ROAD, IRBY, CH61 0HF  
**Proposal:** Proposing a drop kerb to be made to the front of the house to create a driveway.

---

**Application No.:** APP/16/00762                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                      **Decision Level:** Delegated  
**Decision Date:** 23/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr P Jennings                                      **Agent:** RH Builders  
**Location:** 15 ANDREWS WALK, BARNSTON, CH60 2SF  
**Proposal:** Erection of a single storey bathroom extension to the front of the property

---

---

**Application No.:** APP/16/00776                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                              **Decision Level:** Delegated  
**Decision Date:** 08/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr Colin Mercer                                              **Agent:** SHACK Architecture Ltd  
**Location:** Newton House, 18 WELL LANE, GAYTON, CH60 8NF  
**Proposal:** Demolition of an existing property and the creation of a new detached residential dwelling.

---

**Application No.:** APP/16/00792                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                              **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr & Mrs John & Susan O'Leary                                              **Agent:**  
**Location:** West Hey, 15 DAWSTONE ROAD, GAYTON, CH60 4RP  
**Proposal:** Replace existing rear boundary fence with 2.44m high wooden fence

---

**Application No.:** APP/16/00796                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 09/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr John Balkman                                              **Agent:**  
**Location:** 43 CORTSWAY, GREASBY, CH49 2NA  
**Proposal:** Single storey side extension

---

**Application No.:** APP/16/00800                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Refuse  
**Case Officer:** Mr K Spilsbury  
**Applicant:** Lazy Chef                                              **Agent:**  
**Location:** 223 GREASBY ROAD, GREASBY, CH49 2PF  
**Proposal:** Change of use for a car wash to operate from the property

---

**Application No.:** APP/16/00817                      **Application Type:** Full Planning Permission  
**Ward:** Oxtton                                              **Decision Level:** Delegated  
**Decision Date:** 23/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mrs Kate Allen                                              **Agent:**  
**Location:** 14 TARPORLEY CLOSE, OXTON, CH43 2HX  
**Proposal:** Two storey extension to the side of property with single storey extension to the rear

---

---

**Application No.:** APP/16/00818                      **Application Type:** Full Planning Permission  
**Ward:** Seacombe                                      **Decision Level:** Delegated  
**Decision Date:** 07/09/2016                      **Decision:** Returned invalid  
**Case Officer:** Mr K Spilsbury  
**Applicant:** Mr T Mustafa                              **Agent:** SDA Architecture Limited  
**Location:** 184 BOROUGH ROAD, SEACOMBE, CH44 6NJ  
**Proposal:** Change of use from A1 to A5 including a small single storey flat roof rear extension

---

**Application No.:** APP/16/00844                      **Application Type:** Full Planning Permission  
**Ward:** Bidston and St James                      **Decision Level:** Delegated  
**Decision Date:** 27/09/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Mr & Mrs Cleugh                              **Agent:** Snook Architects  
**Location:** The Coppice, 10 WESTWOOD ROAD, BIDSTON, CH43 9RQ  
**Proposal:** Retrospective consent for amended front dormers & roofing materials to zinc

---

**Application No.:** DLS/16/00847                      **Application Type:** Reserved Matters  
**Ward:** Bromborough                                      **Decision Level:** Delegated  
**Decision Date:** 22/09/2016                      **Decision:** Approve  
**Case Officer:** Ms J Storey  
**Applicant:** Raventa Limited                              **Agent:** Ainsley Gommon Architects  
**Location:** Lexicraft Factory Site, Prices Way, BROMBOROUGH, WIRRAL, CH62 4SQ  
**Proposal:** Lexicraft factory and offices with associated car/cycle parking, landscape etc.

---

**Application No.:** APP/16/00856                      **Application Type:** Full Planning Permission  
**Ward:** Bidston and St James                      **Decision Level:** Delegated  
**Decision Date:** 14/09/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Elite UK Homes LTD                              **Agent:** Smith Young Architects  
**Location:** Land to the rear of 79 Eleanor Road BIDSTON, WIRRAL, CH43 7XW  
**Proposal:** Revision of two dwellings approved under APP/15/01206 to the rear of 79 Eleanor Road

---

**Application No.:** APP/16/00871                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                              **Decision Level:** Delegated  
**Decision Date:** 26/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr Peters                                              **Agent:**  
**Location:** Granuaile, 6 THE PADDOCK, BARNSTON, CH60 1XJ  
**Proposal:** Retrospective application for garden outbuilding.

---

---

**Application No.:** APP/16/00873                      **Application Type:** Full Planning Permission  
**Ward:** Bebington                                      **Decision Level:** Delegated  
**Decision Date:** 26/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr B Pryce                                      **Agent:**  
**Location:** 20 VILLAGE ROAD, HIGHER BEBINGTON, CH63 8PT  
**Proposal:** Convert a detached garage into a dwelling, porch extension and external alterations

---

**Application No.:** APP/16/00880                      **Application Type:** Full Planning Permission  
**Ward:** Bebington                                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Miss A McDougall  
**Applicant:** arabelle beauty limited                      **Agent:**  
**Location:** 224 TOWN LANE, HIGHER BEBINGTON, CH63 8LG  
**Proposal:** Change of use from A1 to Sui Generis (beauty salon)

---

**Application No.:** APP/16/00886                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 23/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr G McTear-Smith                      **Agent:** Jakesville Studios  
**Location:** 159 IRBY ROAD, IRBY, CH61 2XE  
**Proposal:** Erection of a single storey side and rear extension with minor alterations to the front elevation - resubmission of APP/15/00987

---

**Application No.:** ADV/16/00887                      **Application Type:** Advertisement Consent  
**Ward:** Rock Ferry                                      **Decision Level:** Delegated  
**Decision Date:** 04/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs J Malpas  
**Applicant:** WARE CONSTRUCTION                      **Agent:** WARE CONSTRUCTION  
**Location:** 18 ROCK PARK, ROCK FERRY, CH42 1PJ  
**Proposal:** The advertisement is to have the company details and a description of the reburbishment and conversion works of 18 Rock Park. Also computer generated images to show these works.

---

**Application No.:** ADV/16/00900                      **Application Type:** Advertisement Consent  
**Ward:** New Brighton                                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs J Malpas  
**Applicant:** WARE CONSTRUCTION                      **Agent:** WARE CONSTRUCTION  
**Location:** Redcliffe, 34 WELLINGTON ROAD, NEW BRIGHTON  
**Proposal:** Advertisement giving the company details and the description of the ongoing work on site. Also computer generated images showing the proposed final outcome of the work.

---

---

**Application No.:** APP/16/00902                      **Application Type:** Full Planning Permission  
**Ward:** Pensby and Thingwall                      **Decision Level:** Delegated  
**Decision Date:** 08/09/2016                      **Decision:** Approve  
**Case Officer:** Mr N Williams  
**Applicant:** Ladymount RC Primary School                      **Agent:** AHR  
**Location:** Ladymount RC Primary School, PORTAL ROAD, PENSBY, CH61 5YD  
**Proposal:** Installation of new 5m school flag pole and 6m lighting column

---

**Application No.:** APP/16/00907                      **Application Type:** Full Planning Permission  
**Ward:** Moreton West and Saughall Massie                      **Decision Level:** Delegated  
**Decision Date:** 12/09/2016                      **Decision:** Refuse  
**Case Officer:** Miss A McDougall  
**Applicant:** Mr Terry Winstanley                      **Agent:** K. Morris  
**Location:** Lingham Farm, LINGHAM LANE, MORETON, CH46 4TB  
**Proposal:** Change of use for part of existing agricultural yard to secure parking facility covering an area of 878.4 square metres.

---

**Application No.:** APP/16/00909                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr & Mrs Shields                      **Agent:** Design Planning Ltd  
**Location:** Brentwood, 181 HILL BARK ROAD, FRANKBY, CH48 1NJ  
**Proposal:** Creation of a study and a utility room from the existing garage and extending the existing balcony at first floor level

---

**Application No.:** ADV/16/00910                      **Application Type:** Advertisement Consent  
**Ward:** Liscard                      **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Approve  
**Case Officer:** Mr S Williamson  
**Applicant:** Secure Pizzas                      **Agent:** Whitebox Architecture  
**Location:** 12 Coronation Buildings, WALLASEY ROAD, LISCARD, CH45 4NE  
**Proposal:** Illuminated fascia and projecting signs.

---

**Application No.:** APP/16/00913                      **Application Type:** Full Planning Permission  
**Ward:** Oxtton                      **Decision Level:** Delegated  
**Decision Date:** 14/09/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Mr James Hennessey                      **Agent:** Lightblue Solutions Ltd  
**Location:** 42 DEVONSHIRE PLACE, OXTON, CH43 1TU  
**Proposal:** Erection of detached double garage

---



<b>Application No.:</b>	APP/16/00914	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Heswall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	26/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr N Williams		
<b>Applicant:</b>	Dr Allan	<b>Agent:</b>	N.Robinson Design Ltd
<b>Location:</b>	62 WHITFIELD LANE, HESWALL, CH60 7SB		
<b>Proposal:</b>	Remove existing rear conservatory and erect new rear conservatory		
<b>Application No.:</b>	APP/16/00917	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Hoylake and Meols	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	03/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr S Lacey		
<b>Applicant:</b>	Mr Jamie Wilson	<b>Agent:</b>	
<b>Location:</b>	5 QUEENS ROAD, HOYLAKE, CH47 2AG		
<b>Proposal:</b>	To erect a free standing telescopic amateur radio mast in the garden of 5 Queens Road. The mast is of a tilt over design and extendable from 6m to 12M in length.		
<b>Application No.:</b>	APP/16/00923	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Hoylake and Meols	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	06/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr D McKenzie	<b>Agent:</b>	Paddock Johnson Partnership
<b>Location:</b>	33 LEIGHTON AVENUE, MEOLS, CH47 0LY		
<b>Proposal:</b>	Single storey extension to side & rear elevations and internal alterations.		
<b>Application No.:</b>	APP/16/00926	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Birkenhead and Tranmere	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	05/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Multi Concept Ltd	<b>Agent:</b>	Axiom Design Resource Ltd
<b>Location:</b>	UNIT 10 PYRAMIDS SHOPPING CENTRE, ST JOHNS SQUARE, BIRKENHEAD, CH41 2XU		
<b>Proposal:</b>	New shop front		
<b>Application No.:</b>	DPP3/16/00935	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Birkenhead and Tranmere	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	06/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Wirral Borough Council	<b>Agent:</b>	Wirral Borough Council
<b>Location:</b>	Treasury Buildings, CLEVELAND STREET, BIRKENHEAD, CH41 6BU		
<b>Proposal:</b>	New access stair and ramp from Cleveland Street with removal of existing stair.		

<b>Application No.:</b>	APP/16/00937	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	West Kirby and Thurstaston	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	19/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs MA Jackson		
<b>Applicant:</b>	Mrs D Clewes	<b>Agent:</b>	Collins Architecture
<b>Location:</b>	5 CHOLMONDELEY ROAD, WEST KIRBY, CH48 7HB		
<b>Proposal:</b>	Alterations to driveway incorporating a store with a raised platform over		
<b>Application No.:</b>	APP/16/00939	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Eastham	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	20/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs MA Jackson		
<b>Applicant:</b>	Mr R Symington	<b>Agent:</b>	Rockall Building Surveyors
<b>Location:</b>	76 DAWPOOL DRIVE, BROMBOROUGH, CH62 6DQ		
<b>Proposal:</b>	Proposed rear single storey extension		
<b>Application No.:</b>	ADV/16/00940	<b>Application Type:</b>	Advertisement Consent
<b>Ward:</b>	Clatterbridge	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	16/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	BP Oil (UK) Ltd	<b>Agent:</b>	Rapleys LLP
<b>Location:</b>	BP Petrol Station, BRIMSTAGE ROAD, BEBINGTON, CH63 3EL		
<b>Proposal:</b>	Various illuminated and non-illuminated signage.		
<b>Application No.:</b>	APP/16/00943	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Rock Ferry	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	23/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr R Kathiramalai	<b>Agent:</b>	JNL Design
<b>Location:</b>	H and L Roberts General Store, 694 NEW CHESTER ROAD, ROCK FERRY, CH42 1QD		
<b>Proposal:</b>	Proposed single-storey rear extension to increase existing shop/store area, and external alterations to front elevation		
<b>Application No.:</b>	APP/16/00945	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Rock Ferry	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	09/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Travis Perkins Trading Company Limited	<b>Agent:</b>	GL Hearn
<b>Location:</b>	Unit 5, Commerce Park, CAMPBELTOWN ROAD, TRANMERE, CH41 9HP		
<b>Proposal:</b>	The storage of goods within the yard.		

---

**Application No.:** APP/16/00946                      **Application Type:** Full Planning Permission  
**Ward:** Pensby and Thingwall                      **Decision Level:** Delegated  
**Decision Date:** 09/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr & Mrs Roberts                      **Agent:** KJP Architecture  
**Location:** 13 FISHERS LANE, PENSBY, CH61 9NT  
**Proposal:** Single Storey Side & Rear Extension

---

**Application No.:** APP/16/00947                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 27/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr M Oakley                      **Agent:** LHGProjects  
**Location:** 20 GLENWOOD DRIVE, IRBY, CH61 4UG  
**Proposal:** Single storey rear extension (retrospective application).

---

**Application No.:** APP/16/00958                      **Application Type:** Full Planning Permission  
**Ward:** Hoylake and Meols                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mrs S Read-Duff                      **Agent:**  
**Location:** 39 SCHOOL LANE, MEOLS, CH47 6AE  
**Proposal:** Proposed single storey extension to the rear of bungalow

---

**Application No.:** APP/16/00960                      **Application Type:** Full Planning Permission  
**Ward:** Upton                      **Decision Level:** Delegated  
**Decision Date:** 08/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr M O'brien                      **Agent:**  
**Location:** 101 HOUGHTON ROAD, WOODCHURCH, CH49 8JG  
**Proposal:** Erection of single storey extension to side of existing property.

---

**Application No.:** APP/16/00963                      **Application Type:** Full Planning Permission  
**Ward:** Bebington                      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Mr C Britton                      **Agent:** Bryson MuHugh Architects  
**Location:** 28 QUEENSWOOD AVENUE, HIGHER BEBINGTON, CH63 8NZ  
**Proposal:** Two storey side and rear extension

---

---

**Application No.:** APP/16/00964                      **Application Type:** Full Planning Permission  
**Ward:** Birkenhead and Tranmere                      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016                      **Decision:** Refuse  
**Case Officer:** Mr P Howson  
**Applicant:** Mr F Rahman                      **Agent:** SDA Architecture Limited  
**Location:** 2 POPLAR GROVE, TRANMERE, CH42 0JP  
**Proposal:** Retrospective application to demolish and rebuild a wall/landscaping and to erect a new build garage

---

**Application No.:** APP/16/00966                      **Application Type:** Full Planning Permission  
**Ward:** Pensby and Thingwall                      **Decision Level:** Delegated  
**Decision Date:** 22/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr & Mrs Dineley                      **Agent:** AGD Architectural Ltd  
**Location:** 57 SPARKS LANE, THINGWALL, CH61 7XF  
**Proposal:** Side and rear single storey extension with outbuilding

---

**Application No.:** APP/16/00968                      **Application Type:** Full Planning Permission  
**Ward:** Pensby and Thingwall                      **Decision Level:** Delegated  
**Decision Date:** 16/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr & Mrs Guthrie                      **Agent:** KJP Architecture  
**Location:** 20 IRBY ROAD, HESWALL, CH61 6XE  
**Proposal:** Erection of a two storey side/rear and single storey rear extension

---

**Application No.:** APP/16/00969                      **Application Type:** Full Planning Permission  
**Ward:** Hoylake and Meols                      **Decision Level:** Delegated  
**Decision Date:** 03/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr Greg Trigg                      **Agent:**  
**Location:** Mansell Antiques, 128-130 MARKET STREET, HOYLAKES, CH47 3BH  
**Proposal:** Ground floor change of use from antiques shop to a child minding service for 18no. children. No external changes.

---

**Application No.:** APP/16/00970                      **Application Type:** Full Planning Permission  
**Ward:** Eastham                      **Decision Level:** Delegated  
**Decision Date:** 23/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mrs Julie Kearns                      **Agent:**  
**Location:** 1 BRINLEY CLOSE, EASTHAM, CH62 6EB  
**Proposal:** Single storey extension to front

---

---

**Application No.:** APP/16/00971                      **Application Type:** Full Planning Permission  
**Ward:** New Brighton                                      **Decision Level:** Delegated  
**Decision Date:** 23/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs J Malpas  
**Applicant:** Mrs April Jones                                      **Agent:** Mrs Joy Hockey  
**Location:** 26 WELLINGTON ROAD, NEW BRIGHTON, CH45 2NG  
**Proposal:** Replacement greenhouse

---

**Application No.:** APP/16/00972                      **Application Type:** Full Planning Permission  
**Ward:** Upton                                                      **Decision Level:** Delegated  
**Decision Date:** 05/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr William Ormond                                      **Agent:** C W Jones  
**Location:** 15 ELTHAM GREEN, WOODCHURCH, CH49 5NG  
**Proposal:** Two storey side and rear extension

---

**Application No.:** APP/16/00973                      **Application Type:** Full Planning Permission  
**Ward:** Hoylake and Meols                                      **Decision Level:** Delegated  
**Decision Date:** 06/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr & Mrs Billington                                      **Agent:** Kettle Design  
**Location:** Tradewinds, 6 BEACH ROAD, HOYLAKE, CH47 1HT  
**Proposal:** Proposed new roof structure to replace conservatory roof and external alterations.

---

**Application No.:** APP/16/00974                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                                      **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr D Taylor                                                      **Agent:** J J White, Architect  
**Location:** 161 MILNER ROAD, BARNSTON, CH60 5RY  
**Proposal:** Erection of a first floor extension above existing garage

---

**Application No.:** APP/16/00976                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr Andy Turnbull                                                      **Agent:** Bryson MuHugh Architects  
**Location:** 46 BRIMSTAGE ROAD, BARNSTON, CH60 1XG  
**Proposal:** Erection of a single storey side extension

---

<b>Application No.:</b>	APP/16/00978	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Birkenhead and Tranmere	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	16/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr K Spilsbury		
<b>Applicant:</b>	Mr Dean Ward	<b>Agent:</b>	Neville Pickard
<b>Location:</b>	LAND ADJACENT TO 33A CHESNUT GROVE, TRANMERE, CH42 0LB		
<b>Proposal:</b>	Erection of 1no. detached dwelling		
<b>Application No.:</b>	APP/16/00981	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Bebington	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	05/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr M Minshall	<b>Agent:</b>	SDA Architecture Limited
<b>Location:</b>	14 NORBURY AVENUE, HIGHER BEBINGTON, CH63 2HJ		
<b>Proposal:</b>	Double storey side extension - re-submission		
<b>Application No.:</b>	APP/16/00983	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Pensby and Thingwall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	06/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Mr & Mrs Willoughby Hamlett	<b>Agent:</b>	Mr Peter Goddard
<b>Location:</b>	225 PENSBY ROAD, PENSBY, CH61 5UA		
<b>Proposal:</b>	Single storey side and rear extension		
<b>Application No.:</b>	APP/16/00988	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	06/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr & Mrs Traill	<b>Agent:</b>	s n amery architectural services
<b>Location:</b>	22 RIGBY DRIVE, GREASBY, CH49 1RF		
<b>Proposal:</b>	Demolition of part of semi detached garage, construction of single storey side extension and porch		
<b>Application No.:</b>	APP/16/00989	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Hoylake and Meols	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	07/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr & Mrs Denmark	<b>Agent:</b>	Condy & Lofthouse Ltd
<b>Location:</b>	The Boathouse, BENNETS LANE, MEOLS, CH47 7BA		
<b>Proposal:</b>	Proposed chimney to front elevation.		

---

**Application No.:** APP/16/00990                      **Application Type:** Full Planning Permission  
**Ward:** Hoylake and Meols                      **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** NATS                                              **Agent:** Bilfinger GVA  
**Location:** Civil Aviation Beacon, BARNACRE LANE, SAUGHALL MASSIE, CH48 1PU  
**Proposal:** The replacement of the existing cabin and the installation of an access staircase to the counterpoise.

---

**Application No.:** APP/16/00991                      **Application Type:** Full Planning Permission  
**Ward:** Prenton                                              **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** LSF Estates                                              **Agent:**  
**Location:** HSBC Bank, 389-391 WOODCHURCH ROAD, PRENTON, CH42 8PF  
**Proposal:** Change of use of ground floor to cafe (A3 use) with separately accessed residential accommodation above consisting of 3 self-contained flats.

---

**Application No.:** APP/16/00993                      **Application Type:** Full Planning Permission  
**Ward:** Clatterbridge                                              **Decision Level:** Delegated  
**Decision Date:** 08/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr & Mrs Flynn                                              **Agent:** LHGProjects  
**Location:** 7 FINSTALL ROAD, SPITAL, CH63 9YW  
**Proposal:** Erection of a two storey side extension

---

**Application No.:** APP/16/00996                      **Application Type:** Full Planning Permission  
**Ward:** Seacombe                                              **Decision Level:** Delegated  
**Decision Date:** 29/09/2016                      **Decision:** Approve  
**Case Officer:** Mr K Spilsbury  
**Applicant:** Mr Brown                                              **Agent:** ArchiTeh Ltd.  
**Location:** 143 BRIGHTON STREET, EGREMONT, CH44 8DT  
**Proposal:** Conversion of vacant four-storey terraced house to three flats with external alterations.

---

**Application No.:** APP/16/00997                      **Application Type:** Full Planning Permission  
**Ward:** Wallasey                                              **Decision Level:** Delegated  
**Decision Date:** 28/09/2016                      **Decision:** Approve  
**Case Officer:** Miss A McDougall  
**Applicant:** Gilmore Developments Ltd                                              **Agent:** Gilmore Developments Limited  
**Location:** 222 WALLASEY VILLAGE, CH45 3LP  
**Proposal:** Extensions to existing premises including front and rear dormers, with side and rear extensions.

---

<b>Application No.:</b>	APP/16/00998	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Heswall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	12/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mrs C Darlington	<b>Agent:</b>	Bryson Architecture
<b>Location:</b>	10 SEABANK ROAD, HESWALL, CH60 4SW		
<b>Proposal:</b>	Proposed loft conversion with rear dormer window and single-storey side and rear extensions		
<b>Application No.:</b>	APP/16/00999	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Hoylake and Meols	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	22/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs MA Jackson		
<b>Applicant:</b>	Mrs S Massie	<b>Agent:</b>	PWE Design
<b>Location:</b>	23 LEIGHTON AVENUE, MEOLS, CH47 0LY		
<b>Proposal:</b>	Single storey side and rear extension		
<b>Application No.:</b>	APP/16/01000	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Bebington	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	20/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Williams		
<b>Applicant:</b>	Mr Hercules	<b>Agent:</b>	M F Architecture Ltd
<b>Location:</b>	Cairndale, 5 STANLEY AVENUE, HIGHER BEBINGTON, CH63 5QE		
<b>Proposal:</b>	Erection of first-floor front/side extension, two storey rear extension together with replacement windows and rendering of building exterior. (Amended description)		
<b>Application No.:</b>	LBC/16/01001	<b>Application Type:</b>	Listed Building Consent
<b>Ward:</b>	New Brighton	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	22/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr Ware	<b>Agent:</b>	WARE CONSTRUCTION
<b>Location:</b>	Redcliffe, 34 WELLINGTON ROAD, NEW BRIGHTON		
<b>Proposal:</b>	To install external lighting and air vents on the facade of the property		
<b>Application No.:</b>	APP/16/01002	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Bromborough	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	30/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr W.B. Legget	<b>Agent:</b>	Tecwyn Williams Architect
<b>Location:</b>	5 & 7 ALLPORT LANE, BROMBOROUGH, CH62 7HH		
<b>Proposal:</b>	Erection of extension to ground floor shop, alterations to elevations, external staircase at the rear, conversion of upper floor to residential and external terrace at first floor level		



<b>Application No.:</b>	APP/16/01006	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Moreton West and Saughall Massie	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	14/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Northcliffe Renovations LTD	<b>Agent:</b>	
<b>Location:</b>	21 BURDEN ROAD, MORETON, CH46 6BG		
<b>Proposal:</b>	Replacement dwelling		
<b>Application No.:</b>	APP/16/01008	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Upton	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	07/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr J Kulangara	<b>Agent:</b>	John McCall Architects
<b>Location:</b>	Heatherlands Medical Centre, 396 NEW HEY ROAD, WOODCHURCH, CH49 5LB		
<b>Proposal:</b>	Extension of existing pharmacy in order to extend the existing medical facilities		
<b>Application No.:</b>	APP/16/01009	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Oxton	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	21/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr K Spilsbury		
<b>Applicant:</b>	The Courtyard	<b>Agent:</b>	Condy Lofthouse Architects
<b>Location:</b>	The Courtyard, 7-9 ROSE MOUNT, OXTON, CH43 5SG		
<b>Proposal:</b>	Removal of condition 5 of application APP/15/00958 that reads: 'This permission is for a temporary period and shall expire after 12 months, starting from the date of this grant of approval' in order to allow the premises to continue to open to the approved hours following 21/10/2016.		
<b>Application No.:</b>	DPP3/16/01011	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Leasowe and Moreton East	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	07/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	Wirral Council
<b>Location:</b>	Leasowe Library, Leasowe Millennium Centre, TWICKENHAM DRIVE, LEASOWE, CH46 1PQ		
<b>Proposal:</b>	Proposed Redevelopment of Existing Car park area		
<b>Application No.:</b>	APP/16/01012	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	14/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs MA Jackson		
<b>Applicant:</b>	Mr & Mrs Farrelly	<b>Agent:</b>	Architects-Direct.com Ltd
<b>Location:</b>	13 ABINGDON ROAD, GREASBY, CH49 3PN		
<b>Proposal:</b>	TWO STOREY REAR EXTENSION NEW PORCH TO FRONT		

<b>Application No.:</b>	APP/16/01013	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Birkenhead and Tranmere	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	04/10/2016	<b>Decision:</b>	Refuse
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Adept	<b>Agent:</b>	Bryson MuHugh Architects
<b>Location:</b>	Land rear of 20 HAMPDEN ROAD, TRANMERE		
<b>Proposal:</b>	Two 38m squared bungalows		
<b>Application No.:</b>	APP/16/01015	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Wallasey	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	20/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Lidl UK GmbH	<b>Agent:</b>	Plan A (North West) Limited
<b>Location:</b>	Lidl, 189 LEASOWE ROAD, LEASOWE, CH45 8LN		
<b>Proposal:</b>	To permit store opening hours between: 7am to 10pm Monday to Saturday 10am to 5pm Sunday		
<b>Application No.:</b>	APP/16/01019	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Wallasey	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	22/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Williams		
<b>Applicant:</b>	Mr Simon Walker	<b>Agent:</b>	
<b>Location:</b>	168 WALLASEY ROAD, LISCARD, CH44 2AF		
<b>Proposal:</b>	Retention of works to front boundary including new vehicular access		
<b>Application No.:</b>	APP/16/01021	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Pensby and Thingwall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	14/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr & Mrs Garratt - Reed	<b>Agent:</b>	KJP Architecture
<b>Location:</b>	354 PENSBY ROAD, PENSBY, CH61 9NQ		
<b>Proposal:</b>	Two storey side extension		
<b>Application No.:</b>	APP/16/01024	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Rock Ferry	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	22/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Williams		
<b>Applicant:</b>	Mrs E Caswell	<b>Agent:</b>	Plans Drawn
<b>Location:</b>	178 BEBINGTON ROAD, ROCK FERRY, CH42 4QE		
<b>Proposal:</b>	NEW DROP KERB DRIVE WAY ENTRANCE		

---

**Application No.:** APP/16/01025                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                              **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Miss A McDougall  
**Applicant:** Mr P Howell                                              **Agent:** Owen Ellis Architects  
**Location:** The Gleam, 27 FARR HALL DRIVE, HESWALL, CH60 4SH  
**Proposal:** Alterations to the rear patio, new conservatory roof and additional vehicle access point to the front boundary.

---

**Application No.:** APP/16/01026                      **Application Type:** Full Planning Permission  
**Ward:** Pensby and Thingwall                      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016                      **Decision:** Approve  
**Case Officer:** Miss A McDougall  
**Applicant:** Ms L Vipond                                              **Agent:** EXTENSION EXPERT  
**Location:** 7 KYLEMORE DRIVE, PENSBY, CH61 6UG  
**Proposal:** Two Storey extension to side

---

**Application No.:** APP/16/01027                      **Application Type:** Full Planning Permission  
**Ward:** Hoylake and Meols                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Mrs A Percival-Harris                                              **Agent:** Collins Architecture  
**Location:** 16 EGBERT ROAD, MEOLS, CH47 5AJ  
**Proposal:** Two storey side extension to existing dwelling

---

**Application No.:** APP/16/01028                      **Application Type:** Full Planning Permission  
**Ward:** West Kirby and Thurstaston                      **Decision Level:** Delegated  
**Decision Date:** 27/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr M Bradley                                              **Agent:** Johnson James Ltd  
**Location:** 4 WIRRAL MOUNT, NEWTON, CH48 6EW  
**Proposal:** Single-storey side extension to include refurbishment of existing garage as habitable space and provision of new garage at front of house.

---

**Application No.:** APP/16/01029                      **Application Type:** Full Planning Permission  
**Ward:** Bebington                                              **Decision Level:** Delegated  
**Decision Date:** 14/09/2016                      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Mr & Mrs Byrne                                              **Agent:** PATERSON MACAULAY & OWENS  
**Location:** 40 PULFORD ROAD, BEBINGTON, CH63 2HP  
**Proposal:** Proposed rear & side single storey extensions to 40, Pulford Road, Bebington, CH43 2HP

---

<b>Application No.:</b>	APP/16/01030	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Rock Ferry	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	22/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Williams		
<b>Applicant:</b>	Mr C Richards	<b>Agent:</b>	
<b>Location:</b>	18 BRIARSWOOD CLOSE, ROCK FERRY, CH42 4LZ		
<b>Proposal:</b>	Single story extension to the rear of the property		
<b>Application No.:</b>	APP/16/01031	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Clatterbridge	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	16/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr Mark Patterson	<b>Agent:</b>	C W Jones
<b>Location:</b>	18 WOODKIND HEY, SPITAL, CH63 9JZ		
<b>Proposal:</b>	Single storey rear and side extension		
<b>Application No.:</b>	APP/16/01033	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Heswall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	19/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Mr William Holt	<b>Agent:</b>	C W Jones
<b>Location:</b>	Foxes Hollow, ROSCOTE CLOSE, GAYTON, CH60 0EB		
<b>Proposal:</b>	Loft conversion and dormer extensions, roof lights and alterations to existing openings, existing stonework to be rendered over or replaced with matching brick		
<b>Application No.:</b>	ADV/16/01034	<b>Application Type:</b>	Advertisement Consent
<b>Ward:</b>	Birkenhead and Tranmere	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	16/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	MCDONALD'S RESTAURANT LTD	<b>Agent:</b>	Planware
<b>Location:</b>	McDonalds, Rock Retail Park, MOLLINGTON LINK, TRANMERE, CH41 9DF		
<b>Proposal:</b>	RELOCATE EXISTING FREESTANDING TOTEM 3 SIGN.		
<b>Application No.:</b>	DLS/16/01035	<b>Application Type:</b>	Reserved Matters
<b>Ward:</b>	Heswall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	23/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr K Spilsbury		
<b>Applicant:</b>	Mr T Durband	<b>Agent:</b>	Willacy Horsewood Architects
<b>Location:</b>	Whitefield, 55 BARNSTON ROAD, BARNSTON, CH60 2SS		
<b>Proposal:</b>	Reserved matters application seeking approval of access, appearance, layout and scale following outline consent for the erection of a single detached dwelling (OUT/14/00169)		

---

**Application No.:** APP/16/01038                      **Application Type:** Full Planning Permission  
**Ward:** Bebington                                      **Decision Level:** Delegated  
**Decision Date:** 19/09/2016                      **Decision:** Approve  
**Case Officer:** Miss A McDougall  
**Applicant:** Vista - Build BFR                      **Agent:** Mr A Lodge  
**Location:** The George, 57 VILLAGE ROAD, HIGHER BEBINGTON, CH63 8PR  
**Proposal:** Proposed change of use from A4 to C3 Public house to 7no 2 bedroom flats and 3 no 1 bedroom flats with beauty treatment and swimming pool to basement level.

---

**Application No.:** APP/16/01040                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                              **Decision Level:** Delegated  
**Decision Date:** 22/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr Tim Bentham                      **Agent:** Hughes Architectural  
**Location:** 17 GAYTON PARKWAY, GAYTON, CH60 3SZ  
**Proposal:** Extensions to ground and first floors, raising the roof and incorporating front and rear dormer windows, and new vehicular access.

---

**Application No.:** APP/16/01042                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                              **Decision Level:** Delegated  
**Decision Date:** 22/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr Shaw                                              **Agent:** Bryson McHugh Architects  
**Location:** 12 GAYTON PARKWAY, GAYTON, CH60 3SS  
**Proposal:** Single storey rear extension and front porch

---

**Application No.:** APP/16/01044                      **Application Type:** Full Planning Permission  
**Ward:** West Kirby and Thurstaston                      **Decision Level:** Delegated  
**Decision Date:** 29/09/2016                      **Decision:** Approve  
**Case Officer:** Mr K Spilsbury  
**Applicant:** Mr & Mrs Wynne                      **Agent:** KJP Architecture  
**Location:** Springfield, 34 GORSE LANE, NEWTON, CH48 8BH  
**Proposal:** New two storey dwelling and detached garage

---

**Application No.:** APP/16/01045                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 06/09/2016                      **Decision:** Permitted development  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr McNulty                                      **Agent:**  
**Location:** 9 HILLCREST DRIVE, GREASBY, CH49 3NL  
**Proposal:** Convert the loft space into a habitable room to include a dormer window at the side to accommodate the new staircase.

---

<b>Application No.:</b>	APP/16/01046	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Heswall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	23/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr Burt	<b>Agent:</b>	SHACK Architecture ltd
<b>Location:</b>	17 BIRCHWAY, GAYTON, CH60 3SX		
<b>Proposal:</b>	Erection of single storey rear extension		
<b>Application No.:</b>	APP/16/01048	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Bidston and St James	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	23/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Williams		
<b>Applicant:</b>	Mr Norwood	<b>Agent:</b>	Andrew Cunningham Building Design
<b>Location:</b>	11 DRYDEN CLOSE, BEECHWOOD, CH43 9XX		
<b>Proposal:</b>	Two storey infill extension.		
<b>Application No.:</b>	LBC/16/01049	<b>Application Type:</b>	Listed Building Consent
<b>Ward:</b>	Birkenhead and Tranmere	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	07/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs J Malpas		
<b>Applicant:</b>	Merseyrail	<b>Agent:</b>	Owen Ellis
<b>Location:</b>	Hamilton Square Railway Station, HAMILTON STREET, BIRKENHEAD, CH41 1AL		
<b>Proposal:</b>	Retrospective permission for internal works (as an alteration to an existing permission LBC/15/00046).		
<b>Application No.:</b>	APP/16/01050	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	30/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Mr Kingsbury	<b>Agent:</b>	Mrs Ruffler
<b>Location:</b>	278 GREASBY ROAD, GREASBY, CH49 2PW		
<b>Proposal:</b>	Proposed rear extension at first floor level. The proposal includes a new roof with altered pitch and a side dormer.		
<b>Application No.:</b>	APP/16/01052	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Bromborough	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	19/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Mr G Quirk	<b>Agent:</b>	Major Design Partnership
<b>Location:</b>	Land east of 11 MILL ROAD, BROMBOROUGH, WIRRAL, CH62 2BE		
<b>Proposal:</b>	Erection of a detached dwelling/garage		

<b>Application No.:</b>	APP/16/01053	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	19/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Brackenview Developments Ltd	<b>Agent:</b>	Garry Usherwood Associates Limited
<b>Location:</b>	38 KIRKWAY, GREASBY, CH49 2ND		
<b>Proposal:</b>	Erection of rear single storey extension and two storey side extension		
<b>Application No.:</b>	DPP3/16/01055	<b>Application Type:</b>	Advertisement Consent
<b>Ward:</b>	Bidston and St James	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	26/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	
<b>Location:</b>	344 LAIRD STREET, BIRKENHEAD, WIRRAL, MERSEYSIDE, CH41 7AL		
<b>Proposal:</b>	Erection of 2 no. 6 sheet size (1.8m x 1.2m) lockable poster frames fixed to external walls.		
<b>Application No.:</b>	DPP3/16/01056	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Leasowe and Moreton East	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	26/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	
<b>Location:</b>	Moreton Library, PASTURE ROAD, MORETON, CH46 8SA		
<b>Proposal:</b>	Erection of 2 no. 6 sheet size (1.8m x 1.2m) lockable poster frames fixed to external walls.		
<b>Application No.:</b>	DPP3/16/01057	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Hoylake and Meols	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	26/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	
<b>Location:</b>	West Kirby Concourse, GRANGE ROAD, WEST KIRBY		
<b>Proposal:</b>	Erection of 4 no. 6 sheet size (1.8m x 1.2m) lockable poster frames fixed to external walls.		
<b>Application No.:</b>	DPP3/16/01058	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Hoylake and Meols	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	26/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	
<b>Location:</b>	Wirral Sailing Centre, West Kirby Marine Lake, SOUTH PARADE, WEST KIRBY, CH48 0QG		
<b>Proposal:</b>	Erection of 2 no. 6 sheet size (1.8m x 1.2m) lockable poster frames fixed to external walls.		

---

**Application No.:** RESX/16/01059                      **Application Type:** Prior Approval Householder PD  
**Ward:** New Brighton                                      **Decision Level:** Delegated  
**Decision Date:** 07/09/2016                      **Decision:** Prior approval is not required  
**Case Officer:** Miss A McDougall  
**Applicant:** Mr Ian Boyle                                      **Agent:** Mr Kevin Morris  
**Location:** 10 DALTON ROAD, EGREMONT, CH45 1HL  
**Proposal:** Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4.600m for which the maximum height would be 4.000m and for which the height of the eaves would be 2.980m

---

**Application No.:** DPP3/16/01060                      **Application Type:** Work for Council by Council  
**Ward:** Hoylake and Meols                                      **Decision Level:** Delegated  
**Decision Date:** 26/09/2016                      **Decision:** Approve  
**Case Officer:** Ms J Storey  
**Applicant:** Wirral Council                                      **Agent:**  
**Location:** Grange Road Public Conveniences, GRANGE ROAD, WEST KIRBY  
**Proposal:** Erection of 1 no. 6 sheet size (1.8M X 1.2M) lockable poster frame fixed to external wall.

---

**Application No.:** DPP3/16/01061                      **Application Type:** Work for Council by Council  
**Ward:** Eastham                                                      **Decision Level:** Delegated  
**Decision Date:** 26/09/2016                      **Decision:** Approve  
**Case Officer:** Ms J Storey  
**Applicant:** Wirral Council                                      **Agent:**  
**Location:** Eastham One Stop Shop, Eastham Branch Library, MILL PARK DRIVE, EASTHAM, CH62 9GB  
**Proposal:** Erection of 1 no. 6 sheet size (1.8m x 1.2m) lockable poster frame fixed to external wall.

---

**Application No.:** DPP3/16/01062                      **Application Type:** Work for Council by Council  
**Ward:** Greasby Frankby and Irby                                      **Decision Level:** Delegated  
**Decision Date:** 26/09/2016                      **Decision:** Approve  
**Case Officer:** Ms J Storey  
**Applicant:** Wirral Council                                      **Agent:**  
**Location:** Greasby Library, GREASBY ROAD, GREASBY, CH49 3AT  
**Proposal:** Erection of 2 no. 6 sheet size (1.8m x 1.2m) lockable poster frames fixed to external walls.

---

**Application No.:** DPP3/16/01063                      **Application Type:** Work for Council by Council  
**Ward:** Hoylake and Meols                                      **Decision Level:** Delegated  
**Decision Date:** 26/09/2016                      **Decision:** Approve  
**Case Officer:** Ms J Storey  
**Applicant:** Wirral Council                                      **Agent:**  
**Location:** Hoylake Library, MARKET STREET, HOYLAKES, CH47 5AA  
**Proposal:** Erection of 1 no. 6 sheet size (1.8m x 1.2m) lockable poster frame fixed to external wall.

---



<b>Application No.:</b>	DPP3/16/01064	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Rock Ferry	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	27/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	
<b>Location:</b>	Rock Ferry Library, 259 OLD CHESTER ROAD, TRANMERE, CH42 3TD		
<b>Proposal:</b>	Erection of 2 no. 6 sheet size (1.8m x 1.2m) lockable poster frames fixed to external wall.		
<b>Application No.:</b>	DPP3/16/01065	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Bebington	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	26/09/2016	<b>Decision:</b>	Withdrawn
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	
<b>Location:</b>	Bebington Central Library, CIVIC WAY, BEBINGTON, CH63 7PN		
<b>Proposal:</b>	Erection of 2 no. 6 sheet size (1.8m 1.2m) lockable poster frames fixed to external walls.		
<b>Application No.:</b>	RESX/16/01066	<b>Application Type:</b>	Prior Approval Householder PD
<b>Ward:</b>	Pensby and Thingwall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	07/09/2016	<b>Decision:</b>	Prior approval is not required
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr A Tomenson	<b>Agent:</b>	Shack Architecture Ltd
<b>Location:</b>	42 SPARKS LANE, THINGWALL, CH61 7XG		
<b>Proposal:</b>	Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4.37 metres for which the maximum height would be 3.39 metres and for which the height of the eaves would be 3.39 metres.		
<b>Application No.:</b>	DPP3/16/01067	<b>Application Type:</b>	Work for Council by Council
<b>Ward:</b>	Heswall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	26/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Ms J Storey		
<b>Applicant:</b>	Wirral Council	<b>Agent:</b>	
<b>Location:</b>	Heswall Library, 109 TELEGRAPH ROAD, HESWALL, CH60 0AF		
<b>Proposal:</b>	Erection of 2 no. 6 sheet size (1.8m x 1.2m) lockable poster frames fixed to external walls.		
<b>Application No.:</b>	APP/16/01068	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	23/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr Frank Phillips	<b>Agent:</b>	
<b>Location:</b>	163 BROOKDALE AVENUE SOUTH, GREASBY, CH49 1SR		
<b>Proposal:</b>	Two storey and single storey side extension		

<b>Application No.:</b>	ADV/16/01069	<b>Application Type:</b>	Advertisement Consent
<b>Ward:</b>	Seacombe	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	19/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	SEAT UK	<b>Agent:</b>	Futurama
<b>Location:</b>	Evans Halshaw Ltd, DOCKS LINK, POULTON, CH44 3EQ		
<b>Proposal:</b>	Illuminated and non illuminated advertisements.		
<b>Application No.:</b>	RESX/16/01071	<b>Application Type:</b>	Prior Approval Householder PD
<b>Ward:</b>	Wallasey	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	09/09/2016	<b>Decision:</b>	Prior approval is not required
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr Kevin McKillop	<b>Agent:</b>	
<b>Location:</b>	15 ENNERDALE ROAD, NEW BRIGHTON, CH45 0LX		
<b>Proposal:</b>	Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 6m for which the maximum height would be 4.00m (Additional Plans)		
<b>Application No.:</b>	APP/16/01072	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Wallasey	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	27/09/2016	<b>Decision:</b>	Refuse
<b>Case Officer:</b>	Mr P Howson		
<b>Applicant:</b>	Mr A Paterson	<b>Agent:</b>	Hughes Architectural
<b>Location:</b>	26 CLAREMOUNT ROAD, LISCARD, CH45 6UB		
<b>Proposal:</b>	Change of use of existing residential annexe into an independent dwelling.		
<b>Application No.:</b>	APP/16/01074	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Eastham	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	05/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Williams		
<b>Applicant:</b>	Ms L Champney	<b>Agent:</b>	PATERSON MACAULAY & OWENS
<b>Location:</b>	10 APPLEBY GROVE, BROMBOROUGH, CH62 6EU		
<b>Proposal:</b>	Erection of a single storey side and rear extension		
<b>Application No.:</b>	APP/16/01075	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	27/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Lacey		
<b>Applicant:</b>	Mr & Mrs Keyser	<b>Agent:</b>	Artech Design
<b>Location:</b>	108 DINGWALL DRIVE, GREASBY, CH49 1SQ		
<b>Proposal:</b>	Proposed orangery		

---

**Application No.:** APP/16/01076                      **Application Type:** Full Planning Permission  
**Ward:** Bromborough                                      **Decision Level:** Delegated  
**Decision Date:** 27/09/2016                      **Decision:** Approve  
**Case Officer:** Mr K Spilsbury  
**Applicant:** Arnwood Properties Ltd                      **Agent:** PWE Design  
**Location:** Stadium Court, STADIUM ROAD, BROMBOROUGH  
**Proposal:** Construction of 3 new commercial units, class B1, B2 & B8 to match previous planning application APP/11/00194

---

**Application No.:** APP/16/01078                      **Application Type:** Full Planning Permission  
**Ward:** Wallasey                                              **Decision Level:** Delegated  
**Decision Date:** 27/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mrs F Britton                                      **Agent:**  
**Location:** 26 GREENLEAS ROAD, WALLASEY VILLAGE, CH45 8LS  
**Proposal:** Erection of a single storey side and rear extension

---

**Application No.:** APP/16/01080                      **Application Type:** Full Planning Permission  
**Ward:** Eastham                                              **Decision Level:** Delegated  
**Decision Date:** 04/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr J Walker                                      **Agent:** PWE Design  
**Location:** 17A DAWPOOL DRIVE, BROMBOROUGH, CH62 6DE  
**Proposal:** Erection of a garage to the side, single storey rear extension and front porch

---

**Application No.:** APP/16/01083                      **Application Type:** Full Planning Permission  
**Ward:** Clatterbridge                                      **Decision Level:** Delegated  
**Decision Date:** 03/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mrs Harris                                      **Agent:** KJP Architecture  
**Location:** 1 SPITAL HEYES, BEBINGTON, CH63 9NF  
**Proposal:** Proposed Rear Extension and Roof Alterations

---

**Application No.:** RESX/16/01084                      **Application Type:** Prior Approval Householder PD  
**Ward:** Bidston and St James                      **Decision Level:** Delegated  
**Decision Date:** 14/09/2016                      **Decision:** Prior approval is not required  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mrs Robinson                                      **Agent:** Ultraseal  
**Location:** 23 SUMNER ROAD, BIRKENHEAD, CH43 7RL  
**Proposal:** Erection of a conservatory which would extend beyond the rear wall of the original house by 4.2m for which the maximum height would be 3.3m and for which the height of the eaves would be 2.2m

---

---

**Application No.:** APP/16/01085                      **Application Type:** Full Planning Permission  
**Ward:** Bromborough                                      **Decision Level:** Delegated  
**Decision Date:** 28/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr j Duff                                      **Agent:**  
**Location:** 632 NEW CHESTER ROAD, BROMBOROUGH, CH62 2AZ  
**Proposal:** Erection of a single storey side and rear extension

---

**Application No.:** APP/16/01090                      **Application Type:** Full Planning Permission  
**Ward:** Prenton                                              **Decision Level:** Delegated  
**Decision Date:** 28/09/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr & Mrs Cartwright                      **Agent:** Architects-Direct.com ltd  
**Location:** 69 OSMASTON ROAD, PRENTON, CH42 8LR  
**Proposal:** Erection of a single storey rear extension, new parapet wall to garage and external works to garden

---

**Application No.:** DEM/16/01101                      **Application Type:** Prior Notification of Demolition  
**Ward:** Bebington                                              **Decision Level:** Delegated  
**Decision Date:** 20/09/2016                      **Decision:** Prior approval is not required  
**Case Officer:** Mrs C Parker  
**Applicant:** Wirral Council                                      **Agent:**  
**Location:** Bebington Town Hall, Bebington Annexe, Garage and Out Buildings, Civic Way, Bebington, CH63 7PT  
**Proposal:** The buildings to be demolished are Bebington Town Hall, Bebington Town Hall Annexe, Garage and Out Buildings

---

**Application No.:** APP/16/01102                      **Application Type:** Full Planning Permission  
**Ward:** Heswall                                              **Decision Level:** Delegated  
**Decision Date:** 04/10/2016                      **Decision:** Approve  
**Case Officer:** Mr K Spilsbury  
**Applicant:** Mr & Mrs Dool                                      **Agent:** Architects-Direct.com  
**Location:** Denecourt, 37 OLDFIELD DRIVE, HESWALL, CH60 6SS  
**Proposal:** New two storey residential property on land at 37 Oldfield Drive together with new access to Oldfield Drive and detached garage

---

**Application No.:** APP/16/01105                      **Application Type:** Full Planning Permission  
**Ward:** Clatterbridge                                              **Decision Level:** Delegated  
**Decision Date:** 05/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr Darren Finn                                      **Agent:** C W Jones  
**Location:** 27 DIBBINS HEY, SPITAL, CH63 9JU  
**Proposal:** Change flat roof to pitched roof

---

---

**Application No.:** APP/16/01106                      **Application Type:** Full Planning Permission  
**Ward:** Claughton                                      **Decision Level:** Delegated  
**Decision Date:** 04/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr & Mrs Powell                      **Agent:** KJP Architecture  
**Location:** 41 GROSVENOR ROAD, CLAUGHTON, CH43 1UB  
**Proposal:** First Floor Side Extension over Garage and Internal Alterations

---

**Application No.:** RESX/16/01107                      **Application Type:** Prior Approval Householder PD  
**Ward:** Eastham                                          **Decision Level:** Delegated  
**Decision Date:** 20/09/2016                      **Decision:** Prior approval is not required  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mr Stephen Mark Jones                      **Agent:**  
**Location:** 60 GORSEFIELD AVENUE, EASTHAM, CH62 6BZ  
**Proposal:** Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4.0m for which the maximum height would be 3.653m and for which the height of the eaves would be 2.5m

---

**Application No.:** RESX/16/01108                      **Application Type:** Prior Approval Householder PD  
**Ward:** Oxtan                                              **Decision Level:** Delegated  
**Decision Date:** 16/09/2016                      **Decision:** Prior approval is not required  
**Case Officer:** Mrs S Williams  
**Applicant:** Mr & Mrs Borrill                              **Agent:** PWE Design  
**Location:** 53 PRESTBURY AVENUE, PRENTON, CH43 0UQ  
**Proposal:** Erection of a conservatory which would extend beyond the rear wall of the original house by 3.9m for which the maximum height would be 3.0m and for which the height of the eaves would be 2.3m

---

**Application No.:** APP/16/01110                      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby                      **Decision Level:** Delegated  
**Decision Date:** 22/09/2016                      **Decision:** Approve  
**Case Officer:** Miss A McDougall  
**Applicant:** Mrs Marsha Loney                              **Agent:**  
**Location:** 1 WIMBORNE WAY, IRBY, CH61 4YQ  
**Proposal:** Erection of single storey extensions to both side elevations

---

**Application No.:** APP/16/01111                      **Application Type:** Full Planning Permission  
**Ward:** Oxtan                                              **Decision Level:** Delegated  
**Decision Date:** 05/10/2016                      **Decision:** Approve  
**Case Officer:** Mrs S Lacey  
**Applicant:** Mr Paul Clark                                      **Agent:** Bryson MuHugh Architects  
**Location:** 16 DOVEDALE CLOSE, PRENTON, CH43 0SB  
**Proposal:** Single storey side and rear extension

---

<b>Application No.:</b>	APP/16/01112	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Clatterbridge	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	19/09/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Mr W Billing	<b>Agent:</b>	PATERSON MACAULAY & OWENS
<b>Location:</b>	Foxwood, THORNTON COMMON ROAD, THORNTON HOUGH, CH63 4JU		
<b>Proposal:</b>	Single storey front/side extension, front porch and raising of the ridge line - resubmission		
<b>Application No.:</b>	APP/16/01114	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Pensby and Thingwall	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	05/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mrs S Williams		
<b>Applicant:</b>	Mr & Mrs Williams	<b>Agent:</b>	Architects-Direct.com
<b>Location:</b>	4 BARKER ROAD, IRBY, CH61 3XH		
<b>Proposal:</b>	Erection of a single storey front and rear extensions to include loft conversion		
<b>Application No.:</b>	LDP/16/01115	<b>Application Type:</b>	Lawful Development Certificate Proposed
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	13/09/2016	<b>Decision:</b>	Lawful Use
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Mr & Mrs West	<b>Agent:</b>	Neil Braithwaite Architect
<b>Location:</b>	19 LOOMSWAY, IRBY, CH61 4UD		
<b>Proposal:</b>	Extension of hipped roof to gable. Extension to rear of roof with flat roof dormer		
<b>Application No.:</b>	APP/16/01116	<b>Application Type:</b>	Full Planning Permission
<b>Ward:</b>	Birkenhead and Tranmere	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	05/10/2016	<b>Decision:</b>	Approve
<b>Case Officer:</b>	Mr N Williams		
<b>Applicant:</b>	Penmarric	<b>Agent:</b>	Condy & Lofthouse Ltd
<b>Location:</b>	APARTMENT BLOCK, BALLS ROAD / RIDLEY STREET, OXTON, CH43 5RE		
<b>Proposal:</b>	Change of use of existing apartment block (C3 dwelling houses) to have both C3 and C2 (supported living) class uses in operation, plans to include a communal lounge and staff facilities		
<b>Application No.:</b>	RESX/16/01117	<b>Application Type:</b>	Prior Approval Householder PD
<b>Ward:</b>	Greasby Frankby and Irby	<b>Decision Level:</b>	Delegated
<b>Decision Date:</b>	19/09/2016	<b>Decision:</b>	Prior approval is not required
<b>Case Officer:</b>	Miss A McDougall		
<b>Applicant:</b>	Miss Julie Sutton	<b>Agent:</b>	
<b>Location:</b>	45 EASTWAY, GREASBY, CH49 2NS		
<b>Proposal:</b>	Erection of a single storey rear extension (only) which would extend beyond the rear wall of the original house by 3.35m for which the maximum height would be 3.80m and for which the height of the eaves would be 2.45m (single storey side extension is not considered under a prior notification)		

---

**Application No.:** COMX/16/01129      **Application Type:** Prior Approval Commercial PD  
**Ward:** Eastham      **Decision Level:** Delegated  
**Decision Date:** 20/09/2016      **Decision:** Prior approval is not required  
**Case Officer:** Miss A McDougall  
**Applicant:** Mrs Vanessa Dickens      **Agent:**  
**Location:** 36 MILL PARK DRIVE, EASTHAM, CH62 9DL  
**Proposal:** Notification for prior approval for a change of use from shops (class A1), Financial and professional services (class A2) betting offices, pay day loan shops and casino (Sui Generis uses) to restaurants and cafes (Class A3)

---

**Application No.:** RESX/16/01130      **Application Type:** Prior Approval Householder PD  
**Ward:** Pensby and Thingwall      **Decision Level:** Delegated  
**Decision Date:** 20/09/2016      **Decision:** Prior approval is not required  
**Case Officer:** Mrs MA Jackson  
**Applicant:** Mrs Hawes      **Agent:** Hardmans Conservatories Ltd  
**Location:** 23 GRENVILLE DRIVE, PENSBY, CH61 5US  
**Proposal:** Erection of a conservatory which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.6m and for which the height of the eaves would be 2.2m

---

**Application No.:** APP/16/01134      **Application Type:** Full Planning Permission  
**Ward:** Greasby Frankby and Irby      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016      **Decision:** Approve  
**Case Officer:** Mr P Howson  
**Applicant:** Mr Andrew Price      **Agent:**  
**Location:** 19 BROMSGROVE ROAD, GREASBY, CH49 2QL  
**Proposal:** Side lounge, bedroom, ensuite and bathroom extension at ground floor and first floor level

---

**Application No.:** RESX/16/01141      **Application Type:** Prior Approval Householder PD  
**Ward:** Pensby and Thingwall      **Decision Level:** Delegated  
**Decision Date:** 16/09/2016      **Decision:** Prior approval is not required  
**Case Officer:** Mrs S Williams  
**Applicant:** Mrs Anne Atkinson      **Agent:** Mr Eamon McCaul  
**Location:** 21 OVERDALE AVENUE, BARNSTON, CH61 1DB  
**Proposal:** Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 4m for which the maximum height would be 3.75m and for which the height of the eaves would be 2.45m

---

**Application No.:** RESX/16/01157      **Application Type:** Prior Approval Householder PD  
**Ward:** Rock Ferry      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016      **Decision:** Prior approval is not required  
**Case Officer:** Mr P Howson  
**Applicant:** Mr Kevin O'Rourke      **Agent:**  
**Location:** 547 OLD CHESTER ROAD, HIGHER BEBINGTON, CH42 2AQ  
**Proposal:** Erection of a single storey rear extension which would extend beyond the rear wall of the original house by 3.600m for which the maximum height would be 4m and for which the height of the eaves would be 2.900m

---

---

**Application No.:** LBCO/16/01279      **Application Type:** Local Listed Building Consent  
**Ward:** Bromborough      **Decision Level:** Delegated  
**Decision Date:** 05/10/2016      **Decision:** Acceptable  
**Case Officer:** Mrs J Malpas  
**Applicant:** Mr Anthony Newman      **Agent:** Cheshire Joinery Services  
**Location:** 9 BRIDGE STREET, PORT SUNLIGHT, CH62 4UW  
**Proposal:** Replacment rear door and yard gate.

---

**Total Number of Applications Decided: 155**

---

**Summary of data**

	Total Per D
Acceptable	1
Approve	131
Lawful Use	1
Permitted development	1
Prior approval is not required	12
Refuse	7
Returned invalid	1
Withdrawn	1
Report Total	155