

Planning Committee Agenda



To: Councillor Chris Clark (Chair)
Councillor Leila Ben-Hassel (Vice-Chair)
Councillors Paul Scott, Clive Fraser, Toni Letts, Callton Young, Scott Roche,
Gareth Streeter, Ian Parker and Lynne Hale

Reserve Members: Joy Prince, Jamie Audsley, Bernadette Khan,
Caragh Skipper, Andrew Pelling, Pat Clouder, Michael Neal,
Badsha Quadir, Helen Pollard and Vidhi Mohan

A meeting of the **Planning Committee** which you are hereby summoned to attend, will be held on **Thursday, 8 October 2020** at **6.00pm**. This meeting will be held remotely. Members of the Committee will be sent a link to remotely attend the meeting in due course.

PLEASE NOTE: Members of the public are welcome to remotely attend this meeting via the following web link: <http://webcasting.croydon.gov.uk/meetings/10719>

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www.croydon.gov.uk/meetings
Wednesday, 30 September 2020

If you would like to record the meeting, we ask that you read the guidance on the recording of public meetings [here](#) before attending

To register a request to speak, please either e-mail Democratic.Services@croydon.gov.uk or phone the number above by 4pm on the Tuesday before the meeting.

The agenda papers for all Council meetings are available on the Council website www.croydon.gov.uk/meetings

If you require any assistance, please contact Michelle Ossei-Gerning
020 8726 6000 x84246 as detailed above.

AGENDA – PART A

1. Apologies for absence

To receive any apologies for absence from any members of the Committee.

2. Minutes of Previous Meeting

To approve the minutes of the meeting held on Thursday 24 September 2020 as an accurate record.

[To Follow]

3. Disclosure of Interest

In accordance with the Council's Code of Conduct and the statutory provisions of the Localism Act, Members and co-opted Members of the Council are reminded that it is a requirement to register disclosable pecuniary interests (DPIs) and gifts and hospitality to the value of which exceeds £50 or multiple gifts and/or instances of hospitality with a cumulative value of £50 or more when received from a single donor within a rolling twelve month period. In addition, Members and co-opted Members are reminded that unless their disclosable pecuniary interest is registered on the register of interests or is the subject of a pending notification to the Monitoring Officer, they are required to disclose those disclosable pecuniary interests at the meeting. This should be done by completing the Disclosure of Interest form and handing it to the Democratic Services representative at the start of the meeting. The Chair will then invite Members to make their disclosure orally at the commencement of Agenda item 3. Completed disclosure forms will be provided to the Monitoring Officer for inclusion on the Register of Members' Interests.

4. Urgent Business (if any)

To receive notice of any business not on the agenda which in the opinion of the Chair, by reason of special circumstances, be considered as a matter of urgency.

5. Development presentations (Pages 7 - 8)

To receive the following presentations on a proposed development:

There are none.

6. Planning applications for decision (Pages 9 - 12)

To consider the accompanying reports by the Director of Planning & Strategic Transport:

6.1 20/01954/FUL 49 Selborne Road (Pages 13 - 32)

Demolition of existing house, garage and outbuilding, and erection of a three storey building comprising 9 apartments, and provision of associated off-street parking, and associated refuse storage and cycle storage, and associated landscaping.

Ward: Park Hill and Whitgift
Recommendation: Grant permission

**6.2 19/04443/FUL 1 Wyvern Road, Purley, CR8 2NQ
(Pages 33 - 48)**

Demolition of existing house and erection of 6 dwellings in two buildings with external bin and cycle store with associated parking and landscaping.

Ward: Purley
Recommendation: Grant permission

**6.3 19/04919/FUL 15 Haydn Avenue, Purley, CR8 4AG
(Pages 49 - 66)**

Demolition of the existing dwelling house and erection of a three storey building comprising 8 no. self-contained apartments, provision of 4 parking spaces, cycle and refuse stores with associated external works including excavation and lightwells.

Ward: Purley
Recommendation: Grant permission

7. Items referred by Planning Sub-Committee

To consider any item(s) referred by a previous meeting of the Planning Sub-Committee to this Committee for consideration and determination:

There are none.

8. Other planning matters (Pages 67 - 68)

To consider the accompanying report by the Director of Planning & Strategic Transport:

8.1 Weekly Planning Decisions (Pages 69 - 132)

Attached is the list of Delegated and Planning Committee/Sub-Committee decisions taken between 14th September – 25th September 2020.

9. Exclusion of the Press & Public

The following motion is to be moved and seconded where it is proposed to exclude the press and public from the remainder of a meeting:

"That, under Section 100A(4) of the Local Government Act, 1972, the press and public be excluded from the meeting for the following items of business on the grounds that it involves the likely disclosure of exempt information falling within those paragraphs indicated in Part 1 of Schedule 12A of the Local Government Act 1972, as amended."

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PLANNING COMMITTEE AGENDA

PART 5: Development Presentations

1 INTRODUCTION

- 1.1 This part of the agenda is for the committee to receive presentations on proposed developments, including when they are at the pre-application stage.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 ADVICE TO MEMBERS

- 2.1 These proposed developments are being reported to committee to enable members of the committee to view them at an early stage and to comment upon them. They do not constitute applications for planning permission at this stage and any comments made are provisional and subject to full consideration of any subsequent application and the comments received as a result of consultation, publicity and notification.
- 2.2 Members will need to pay careful attention to the probity rules around predisposition, predetermination and bias (set out in the Planning Code of Good Practice Part 5.G of the Council's Constitution). Failure to do so may mean that the Councillor will need to withdraw from the meeting for any subsequent application when it is considered.

3 FURTHER INFORMATION

- 3.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

4 PUBLIC SPEAKING

- 4.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

5 BACKGROUND DOCUMENTS

- 5.1 For further information about the background papers used in the drafting of the reports in part 8 contact Mr P Mills (020 8760 5419).

6 RECOMMENDATION

- 6.1 The Committee is not required to make any decisions with respect to the reports on this part of the agenda. The attached reports are presented as background information.

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PLANNING COMMITTEE AGENDA

PART 6: Planning Applications for Decision

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning applications for determination by the Planning Committee.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 Any item that is on the agenda because it has been referred by a Ward Member, GLA Member, MP or Resident Association and none of the person(s)/organisation(s) or their representative(s) have registered their attendance at the Town Hall in accordance with the Council's Constitution (paragraph 3.8 of Part 4K – Planning and Planning Sub-Committee Procedure Rules) the item will be reverted to the Director of Planning and Strategic Transport to deal with under delegated powers and not be considered by the committee.
- 1.4 The following information and advice applies to all reports in this part of the agenda.

2 MATERIAL PLANNING CONSIDERATIONS

- 2.1 The Committee is required to consider planning applications against the development plan and other material planning considerations.
- 2.2 The development plan is:
 - the London Plan (consolidated with Alterations since 2011)
 - the Croydon Local Plan (February 2018)
 - the South London Waste Plan (March 2012)
- 2.3 Decisions must be taken in accordance with section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004. Section 70(2) of the Town and Country Planning Act 1990 requires the Committee to have regard to the provisions of the Development Plan, so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the Committee to make its determination in accordance with the Development Plan unless material planning considerations support a different decision being taken. Whilst third party representations are regarded as material planning considerations (assuming that they raise town planning matters) the primary consideration, irrespective of the number of third party representations received, remains the extent to which planning proposals comply with the Development Plan.
- 2.4 Under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects listed buildings or their settings, the local planning authority must have special regard to the desirability of preserving the building or its setting or any features of architectural or historic interest it possesses.

- 2.5 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects a conservation area, the local planning authority must pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.
- 2.6 Under Section 197 of the Town and Country Planning Act 1990, in considering whether to grant planning permission for any development, the local planning authority must ensure, whenever it is appropriate, that adequate provision is made, by the imposition of conditions, for the preservation or planting of trees.
- 2.7 In accordance with Article 31 of the Development Management Procedure Order 2010, Members are invited to agree the recommendations set out in the reports, which have been made on the basis of the analysis of the scheme set out in each report. This analysis has been undertaken on the balance of the policies and any other material considerations set out in the individual reports.
- 2.8 Members are reminded that other areas of legislation covers many aspects of the development process and therefore do not need to be considered as part of determining a planning application. The most common examples are:
- **Building Regulations** deal with structural integrity of buildings, the physical performance of buildings in terms of their consumption of energy, means of escape in case of fire, access to buildings by the Fire Brigade to fight fires etc.
 - Works within the highway are controlled by **Highways Legislation**.
 - **Environmental Health** covers a range of issues including public nuisance, food safety, licensing, pollution control etc.
 - Works on or close to the boundary are covered by the **Party Wall Act**.
 - **Covenants and private rights** over land are enforced separately from planning and should not be taken into account.

3 ROLE OF THE COMMITTEE MEMBERS

- 3.1 The role of Members of the Planning Committee is to make planning decisions on applications presented to the Committee openly, impartially, with sound judgement and for sound planning reasons. In doing so Members should have familiarised themselves with Part 5D of the Council's Constitution 'The Planning Code of Good Practice'. Members should also seek to attend relevant training and briefing sessions organised from time to time for Members.
- 3.2 Members are to exercise their responsibilities with regard to the interests of the London Borough of Croydon as a whole rather than with regard to their particular Ward's interest and issues.

4. THE ROLE OF THE CHAIR

- 4.1 The Chair of the Planning Committee is responsible for the good and orderly running of Planning Committee meetings. The Chair aims to ensure, with the assistance of officers where necessary, that the meeting is run in accordance with the provisions set out in the Council's Constitution and particularly Part 4K of the Constitution 'Planning and Planning Sub-Committee Procedure Rules'. The Chair's most visible responsibility is to ensure that the business of the meeting is conducted effectively and efficiently.
- 4.2 The Chair has discretion in the interests of natural justice to vary the public speaking rules where there is good reason to do so and such reasons will be minuted.

- 4.3 The Chair is also charged with ensuring that the general rules of debate are adhered to (e.g. Members should not speak over each other) and that the debate remains centred on relevant planning considerations.
- 4.4 Notwithstanding the fact that the Chair of the Committee has the above responsibilities, it should be noted that the Chair is a full member of the Committee who is able to take part in debates and vote on items in the same way as any other Member of the Committee. This includes the ability to propose or second motions. It also means that the Chair is entitled to express their views in relation to the applications before the Committee in the same way that other Members of the Committee are so entitled and subject to the same rules set out in the Council's constitution and particularly Planning Code of Good Practice.

5. PROVISION OF INFRASTRUCTURE

- 5.1 In accordance with Policy 8.3 of the London Plan (2011) the Mayor of London has introduced a London wide Community Infrastructure Levy (CIL) to fund Crossrail. Similarly, Croydon CIL is now payable. These would be paid on the commencement of the development. Croydon CIL provides an income stream to the Council to fund the provision of the following types of infrastructure:
- i. Education facilities
 - ii. Health care facilities
 - iii. Projects listed in the Connected Croydon Delivery Programme
 - iv. Public open space
 - v. Public sports and leisure
 - vi. Community facilities
- 5.2 Other forms of necessary infrastructure (as defined in the CIL Regulations) and any mitigation of the development that is necessary will be secured through A S106 agreement. Where these are necessary, it will be explained and specified in the agenda reports.

6. FURTHER INFORMATION

- 6.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

7. PUBLIC SPEAKING

- 7.1 The Council's constitution allows for public speaking on these items in accordance with the rules set out in the constitution and the Chair's discretion.

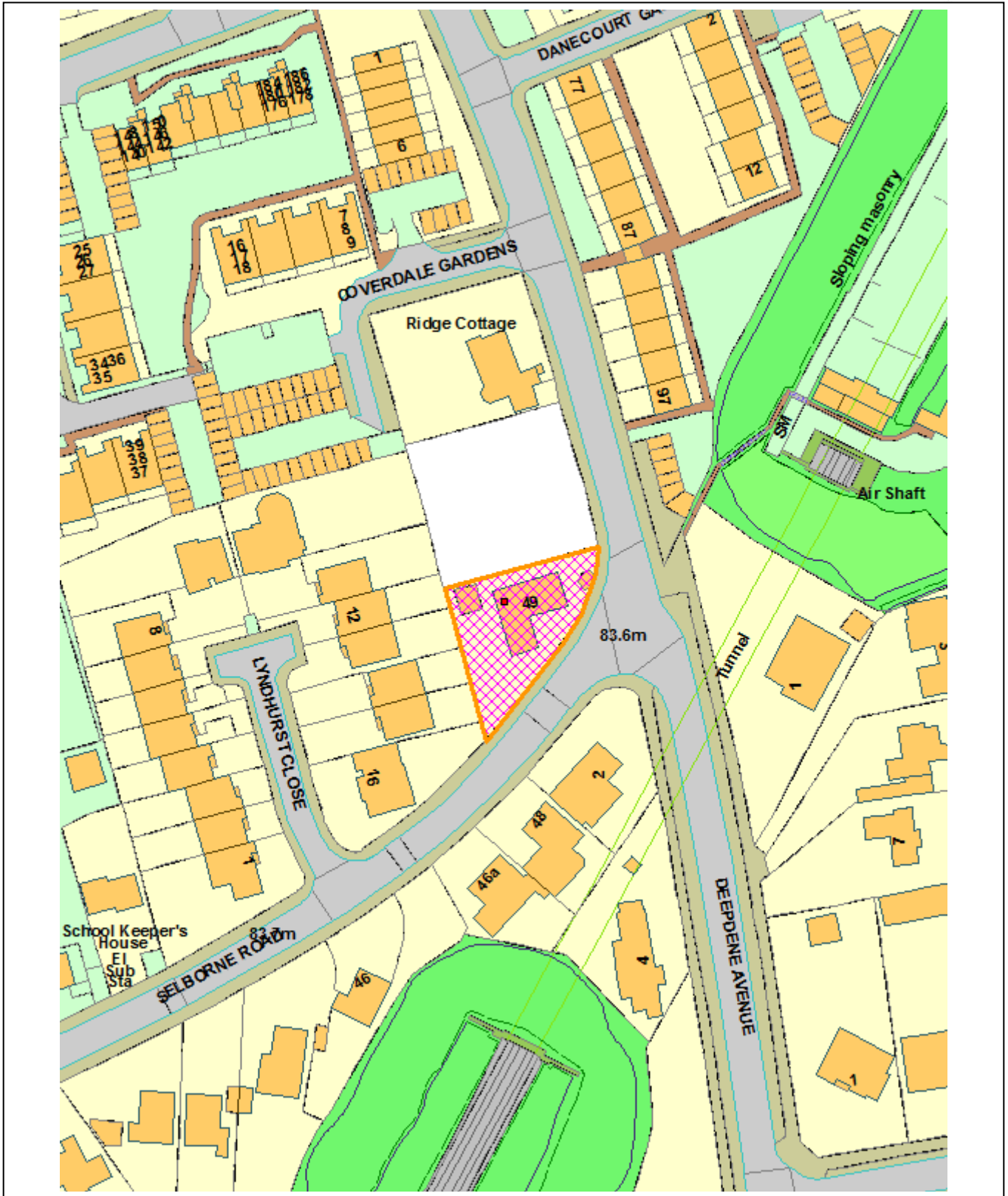
8. BACKGROUND DOCUMENTS

- 8.1 The background papers used in the drafting of the reports in part 6 are generally the planning application file containing the application documents and correspondence associated with the application. Contact Mr P Mills (020 8760 5419) for further information. The submitted planning application documents (but not representations and consultation responses) can be viewed online from the Public Access Planning Register on the Council website at <http://publicaccess.croydon.gov.uk/online-applications>. Click on the link or copy it into an internet browser and go to the page, then enter the planning application number in the search box to access the application.

9. RECOMMENDATION

- 9.1 The Committee to take any decisions recommended in the attached reports.

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PART 6: Planning Applications for Decision

Item 6.1

1.0 SUMMARY OF APPLICATION DETAILS

Ref: 20/01954/FUL
 Location: 49 Selborne Road
 Ward: Park Hill and Whitgift
 Description: Demolition of existing house, garage and outbuilding, and erection of a three storey building comprising 9 apartments, and provision of associated off-street parking, and associated refuse storage and cycle storage, and associated landscaping.
 Drawing Nos: 0322-P-01 Rev A ; 0322-P-02 Rev A ; 0322-P-03 Rev A ; 0322-P-04 Rev A ; 0322-P-05 Rev A ; 0322-P-06 Rev A ; 0322-P-07 Rev A ; 0322-P-08 Rev A ; 0322-P-09 ; 0322-P-10 ; Tree Protection Plan 20-1018-TTP.
 Applicant: Turnbull Land Ltd
 Case Officer: D Gibson

Proposed Residential Accommodation

| | 1 bed | 2 bed | 3 bed | Total |
|----------|-----------------------------|---|-----------------------------|-------|
| Proposed | 3 (33%) (3x1bed/2person) | 3 (33%) (1x 2bed/3person) (2x2 bed/4person) | 3 (33%) (3x3bed/4person) | 9 |

Car Parking, and Cycle Storage Provision

| | Total Number of car parking spaces | Number of Disabled Spaces | Number of cycle parking spaces |
|-------------|------------------------------------|---------------------------|--------------------------------|
| Residential | 6 car spaces | 1 car space | 18 |

1.1 This application is being reported to Planning Committee because objections above the threshold in the Committee Consideration Criteria have been received and a local ward councillor, Vidhi Mohan, has objected and referred it to Committee.

2.0 RECOMMENDATION

2.1 That the Planning Committee resolve to **GRANT** subject to the prior completion of a legal agreement to secure the following:

a) Car parking permit free restriction for future residents

2.2 That the Director of Planning and Strategic Transport is delegated authority to negotiate the legal agreement indicated above.

2.3 That the Director of Planning and Strategic Transport has delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:-

1. In accordance with the approved plans.
2. Development to be implemented within three years.
3. Materials to accord with submission details.
4. Submission of details of soft and hard landscaping, including new/replacement tree planting and biodiversity enhancements, and boundary treatments (details of children's playspace) for approval.
5. Following details to be submitted to Council for approval and provided, where appropriate, prior to first occupation of dwellings : refuse storage enclosure appearance, cycle storage enclosure appearance, security lighting, visibility splays to vehicle access, finished floor levels, electric vehicle charging point.
6. Submission of details of Asset Protection Agreement (APA) agreed with TfL with regard to tram infrastructure.
7. Submission of a scheme of tree protective fencing and permanent ground protection to be installed before any works commence.
8. Development to meet Carbon Dioxide 19% reduction beyond 2013 Building Regulations.
9. Development to meet 110 litre per person/day water use target.
10. Submission of SUDs details to Council for approval.
11. First and second floor windows in the northern facing flank elevation to be implemented and retained as obscure glazed as specified in approved plans.
12. The Bedroom 3 windows of Flats 5 and 8 (First and Second Floors) shall be provided with the oriel design as specified in the approved plans.
13. Submission of Construction Logistics Plan to Council for approval.
14. Contaminated land - Submission of Environmental Historical Site Review to Council for approval.
15. Development to meet minimum 90% M4(2) and 10% M4(3) accessibility standards (to include at least 1 M4(3) unit at ground floor level).
16. Any other planning condition(s) considered necessary by the Director of Planning and Strategic Transport.

Informatives

- 1) CIL
- 2) Code of practise for Construction Sites
- 3) Any other informative(s) considered necessary by the Director of Planning and Strategic Transport

3.0 PROPOSAL AND LOCATION DETAILS

3.1 The proposal is an application for full planning permission:

- 3.2 The proposal includes the following:
- Demolition of existing buildings.
 - Erection of a 3 storey building.
 - Provision of 9 residential flats.

- Provision of 6 residential car parking spaces (including 1 disabled space).
- Provision of associated cycle storage (18 spaces) and refuse storage.
- Provision of communal external amenity space and children's play space

Site and Surroundings

- 3.3 The site has an area of 774 square metres and consists of a detached L-shaped bungalow set within a triangular shaped site located on the northern side of Selborne Road where it meets the intersection of Park Hill Rise. There is a detached garage in the north-western corner of the site. There is a concrete WW2 pill box on the eastern side of the site. The site is accessed from Selborne Road and is served by an existing vehicle crossover and hardstanding access leading to the garage. There are gardens areas around the bungalow and some hedgerows set behind the perimeter boundary fences, this includes one conifer tree on the eastern boundary of the site. There are some trees on adjacent land to the west and north-west of the site with some branches which partly overhang the site.
- 3.4 The site is bounded to the north by 95 Park Hill Rise, which is an almost completed three storey block of 9 flats being constructed in connection with planning permission 18/01994/FUL.
- 3.5 To the west and north-west the site is bounded by the rear gardens of two storey town houses in Lyndhurst Close.



- 3.6 The site has a London for Transport Ptal Rating of 2 (Poor), but is six minute walk away from a Ptal (6a) area. The adjacent highways are subject to yellow

lines and the site is within a Controlled Parking Zone. There are underground tram lines under a nearby highway.

- 3.7 The site is within an area of low flood risk from fluvial flooding and surface water flooding.

Relevant Planning History

- 3.8 20/00520/Pre – A pre-application for the re-development of the site was submitted in February 2020.

Planning History for Adjacent Site at 95 Park Hill Rise

- 3.9 18/01994/FUL Planning Permission was granted 04/01/19 for Demolition of an existing house: erection of a three storey building comprising 6 two bedroom and 3 three bedroom flats: provision of driveway and associated parking to rear and provision of associated refuse and cycle storage. This is currently in an advanced state of construction.

4.0 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of a residential development is acceptable given the national and local need for housing and the residential status of the land.
- The proposal includes a good number of family units.
- The design and appearance of the development is appropriate. Whilst acknowledged that the mass of built form is significantly greater than the existing structures of site, the massing and height of the development would be in context with the recent transitions in the surrounding built environment.
- The living conditions of adjacent occupiers would be protected from undue harm subject to conditions.
- The living standards of future occupiers are satisfactory (in terms of overall residential quality) and would comply with the Nationally Described Space Standard (NDSS).
- The level of parking and impact upon highway safety and efficiency would be acceptable and be further controlled through restricting residential parking permits in the controlled parking zone.
- Sustainability aspects have been properly assessed and their delivery can be controlled through planning conditions.

5.0 CONSULTATION RESPONSE

- 5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

Transport for London (TfL) (Statutory Consultee)

- 5.2 TfL requires the developer to enter into an Asset Protection Agreement (APA) with them to provide assurance that the proposed works to construct the development will not impact on London Trams infrastructure. TfL advise that a condition should be used to secure the APA and that it will need to be in place prior to any works commencing on site.

5.3 The condition as recommended by TfL is listed in the schedule of proposed conditions.

6.0 LOCAL REPRESENTATION

6.1 The following Councillor has made representation:

Councillor Vidhi Mohan (Ward Councillor). Objecting and referred application to committee on the following grounds:

1. The development will have a detrimental effect on the amenity of the occupiers of adjoining buildings, and it will result in direct overlooking at close range. It will result in significant loss of existing sunlight and daylight levels of adjoining occupiers. This contravenes Policy No. DM 10.6 of the Croydon Local Plan.
2. The scale, height, massing, and density of the development is out of character with the area and adjoining properties. All the adjoining properties are a maximum 2 stories high, while this development is 3 stories high. This contravenes Policy No. DM 10.1 of the Croydon Local Plan.
3. The proposed design and materials used is not of high quality, and does not enhance or respect the local character. The proposed development uses red or yellow bricks & white horizontal wood/UPVC or clay hung tile cladding dominate. This does not complement the existing buildings seen from street level. This contravenes Policy No. DM 10.4 of the Croydon Local Plan.
4. The development is on the corner of Selborne Road and Deedene Avenue. This is a dangerous corner for traffic turning into and out of Deepdene Avenue. This building will only lead to an increase in local traffic, and increase the risk of serious accidents occurring.

6.2 The application has been publicised by way of 11 letters of notification to neighbouring properties in the vicinity of the application site. A site notice was also erected in the vicinity of the site.

6.3 The number of representations received from neighbours in response to notification and publicity of the application are as follows:

No of individual responses: 42 Objecting: 42 Supporting: 0

6.4 The following issues were raised in representations. Those objections that are material to the determination of the application, are addressed in substance in the MATERIAL PLANNING CONSIDERATIONS section of this report:

Summary of Objection Comments

| Objection | Officer Comment |
|---|-------------------------------------|
| Townscape | |
| 1. Overdevelopment/Density | See paragraphs 8.5 to 8.17 below. |
| 2. Character/Building Lines | See paragraphs 8.5 to 8.17 below. |
| Amenity of Adjacent Residents | |
| 3. Loss of outlook 4. Loss of privacy 5. Loss of light | See paragraphs 8.21 to 8.25 below. |
| 6. Increased noise | See paragraph 8.26 below. |
| Amenity of Future Occupiers | |
| 7. Poor layouts 8. Inadequate amenity space | See paragraphs 8.18 to 8.20 below. |
| Transport and Highways | |
| 9. Increased traffic 10. Increased parking 11. Highway Safety | See paragraphs 8.28 to 8.35 below. |
| Trees | |
| 12. Affect on trees | See paragraphs 8.39 and 8.40 below. |
| Other Matters | |
| 13. Refuse storage | See paragraph 8.36 below. |

7.0 RELEVANT PLANNING POLICIES AND GUIDANCE

7.1 In determining any planning application, the Council is required to have regard to the provisions of its Development Plan so far as is material to the application and to any other material considerations and the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The Council's adopted Development Plan consists of the Consolidated London Plan 2016, the Croydon Local Plan 2018 and the South London Waste Plan 2012.

Emerging New London Plan

7.2 Whilst the emerging New London Plan is a material consideration, the weight afforded is down to the decision maker linked to the stage a plan has reached in its development. The Plan appears to be close to adoption. The Mayor's Intend to Publish version of the New London Plan has been responded to by the Secretary of State. Therefore, the New London Plan's weight has increased following on from the publication of the Panel Report and the London Mayor's publication of the Intend to Publish New London Plan. The Planning Inspectors' Panel Report accepted the need for London to deliver 66,000 new homes per annum (significantly higher than existing adopted targets), but questioned the London Plan's ability to deliver the level of housing predicted on "small sites" with

insufficient evidence having been presented to the Examination to give confidence that the targets were realistic and/or achievable. This conclusion resulted in the Panel Report recommending a reduction in London's and Croydon's "small sites" target.

- 7.3 The Mayor in his Intend to Publish New London Plan has accepted the reduced Croydon's overall 10 year net housing figures from 29,490 to 20,790 homes, with the "small sites" reduced from 15,110 to 6,470 homes. Crucially, the lower windfall housing target for Croydon (641 homes a year) is not dissimilar to but slightly larger the current adopted 2018 Croydon Local Plan target of 592 homes on windfall sites each year.
- 7.4 It is important to note that in the Intend to Publish New London Plan, that the overall housing target in the New London Plan would be 2,079 new homes per annum (2019 – 2029) compared with 1,645 in the Croydon Local Plan 2018. Therefore, even with the possible reduction in the overall New London Plan housing targets, assuming it is adopted, Croydon will be required to deliver more new homes than our current Croydon Local Plan 2018 and current London Plan (incorporating alterations 2016) targets.
- 7.5 For clarity, the Croydon Local Plan 2018, current London Plan (incorporating alterations 2016) and South London Waste Plan 2012 remain the primary consideration when determining planning applications.
- 7.6 Policy 3.3 of the London Plan 2016 recognises the pressing need for more homes in London and Policy 3.8 states that Londoners should have a genuine choice of homes which meet their requirements for different sizes and types of dwellings in the highest quality environments. The impact of the draft London Plan is set out in paragraph 7.2 to 7.4 above.
- 7.7 Government Guidance is contained in the National Planning Policy Framework (NPPF), issued in February 2019. The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay. The NPPF identifies a number of key issues for the delivery of sustainable development, those most relevant to this case are:
- Achieving sustainable development;
 - Making effective use of land;
 - Delivering a sufficient supply of homes;
 - Promoting healthy and safe communities;
 - Promoting sustainable transport.
- 7.8 The main policy considerations raised by the application that the Committee are required to consider are:
- 7.9 Consolidated London Plan 2016
- 3.1 Ensuring equal life chances for all
 - 3.3 Increasing housing supply
 - 3.4 Optimising housing potential

- 3.5 Quality and design of housing developments
- 3.6 Children's/young people's play & informal recreation areas
- 3.8 Housing choice
- 3.9 Mixed and balanced communities
- 5.1 Climate change mitigation
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction
- 5.12 Flood risk management
- 5.13 Sustainable drainage
- 5.16 Waste net self sufficiency
- 6.3 Assessing effects of development on transport capacity
- 6.9 Cycling
- 6.13 Parking
- 7.2 An inclusive environment
- 7.3 Designing out crime
- 7.4 Local character
- 7.6 Architecture
- 7.14 Improving air quality
- 7.19 Biodiversity and access to nature
- 7.21 Woodlands and trees

7.10 Croydon Local Plan 2018

- SP1 The Places of Croydon
- DM35 Addiscombe
- SP2 Homes
- DM1 Housing choice for sustainable communities
- SP4 Urban design and local character
- DM10 Design and character
- DM13 Refuse and recycling
- SP6 Environment and climate change
- SP6.3 Sustainable design and construction
- DM23 Development and construction
- DM25 Sustainable drainage systems and reducing floor risk
- DM27 Biodiversity
- DM28 Trees
- SP8 Transport and communications
- DM29 Promoting sustainable travel and reducing congestion
- DM30 Car and cycle parking in new development

7.11 There is relevant Supplementary Planning Guidance as follows:

- London Housing SPG March 2016
- Croydon Suburban Design Guide Supplementary Planning Document April 2019

8.0 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues raised by the application that the Planning Committee are required are as follows:

1. Principle of development
2. Housing and housing mix
3. Townscape and visual impact
4. Housing quality for future occupiers
5. Residential amenity for neighbours
6. Parking and highway safety
7. Refuse storage
8. Flood risk
9. Sustainability
10. Trees, landscaping and biodiversity
11. Other planning matters

Principle of Development

- **New Housing**

- 8.2 This application must be considered against a backdrop of significant housing need, not only across Croydon, but also across London and the south-east. All London Boroughs are required by the London Plan to deliver a number of residential units within a specified plan period. In the case of the London Borough of Croydon, there is a requirement to deliver a minimum of 32,890 new homes between 2016 and 2036 (Croydon's actual need identified by the Croydon Strategic Housing Market Assessment would be an additional 44,149 new homes by 2036, but as there is limited developable land available for residential development in the built up area, it is only possible to plan for 32,890 homes). This requirement is set out in policy SP2.2 of the Croydon Local Plan (CLP) (2018), which separates this target into three relatively equal sub targets with 10,760 new homes to be delivered within the Croydon Opportunity Area, 6,970 new homes as identified by specific site allocations for areas located beyond the Croydon Opportunity Area boundary and 10,060 homes delivered across the Borough on windfall sites. The draft London Plan, which is moving towards adoption (although in the process of being amended) proposes increased targets which need to be planned for across the Borough. In order to provide a choice of housing for people in socially-balanced and inclusive communities in Croydon, the Council will apply a presumption in favour of sustainable development of new homes.
- 8.3 This presumption includes Addiscombe, which is identified in the 'Places of Croydon' section of the CLP (2018) as being an area for '*Sustainable growth...including some opportunity for windfall sites, and limited infilling with dispersed integration of new homes that respect existing residential character and local distinctiveness*'. The Croydon Suburban Design Guide (2019) sets out how suburban re-development can be achieved to high quality outcomes and thinking creatively about how housing can be provided on windfall sites. As is demonstrated above, the challenging targets will not be met without important windfall sites coming forward, in addition to the large developments within Central Croydon and on allocated sites.
- 8.4 The application is for a residential development providing new and additional homes within the borough, which the Council is seeking to provide. The site is

located within an existing residential area and as such providing that the proposal accords with all other relevant material planning considerations, the principle of development is supported.

Housing and Housing Mix

- 8.5 Policy SP2.7 seeks to ensure that a choice of homes is available to address the borough's need for homes of different sizes and that this will be achieved by setting a strategic target for 30% of all new homes up to 2036 to have three or more bedrooms.
- 8.6 The development proposes a unit mix comprising of 3 x 1 bedroom (33%), 1 x 2 bedroom/3 person (11%), 2 x 2 bedroom/4 person (22%) and 3 x 3 bedroom/4 person (33%). The proposal would make provision for over 30% of the accommodation to be 3 bedroom family units and on that basis the proposed amount of family units would be acceptable. The varied accommodation would also provide a good housing mix, providing flats for smaller family units, couples, and singletons.

Density of the Development

- 8.7 The scheme would have a density of 246 habitable rooms per hectare (hrh). Policy 3.4 of the London Plan states that taking into account local context and character, the design principles in Chapter 7 and public transport capacity, development should optimise housing output within the relevant density range shown in Table 3.2. Based on the public transport accessibility level (PTAL 2) and the site's suburban characteristics, the London Plan density matrix suggests a residential density of between 150 and 250 habitable rooms per hectare. Therefore, the proposed development would fall within the density range of 150 to 250hrh set out in the current 2016 London Plan.
- 8.8 Emerging London Plan policy does not set out specific density ranges for new residential development. Instead, it advises that it is particularly important to scrutinise the qualitative aspects of the proposed built form, massing, site layout, external spaces, internal design and ongoing management of a proposed residential development through a design-led process.

Townscape and Visual Impact

- 8.9 Policy promotes new housing development which achieves a minimum height of 3 storeys, but only on the basis that it respects the character with regard to the pattern, layout and siting; scale, height, massing, and density of its surroundings. It must also reference the appearance, existing materials and built and natural features of the surroundings.
- 8.10 The existing buildings on site, including the WW2 pill box, are not subject to any heritage designations. The building is very small and is used by the occupiers of the current bungalow for storage of a bike and some garden equipment. The built form of the pill box cannot be seen from the street due to the excessive foliage that has grown around it. Many pill boxes of historic note were statutory listed by Historic England in 1995 (marking 50 years of WW2), but these tend to be coastal

ones. The pill box at Selborne Road is a very small example and is not remarkable. In addition to this there are no original fixtures inside the pill-box, no door, and the loop-holes (gun-openings) have been glazed over. Taking into account the above information its demolition would be acceptable, as would the demolition of the bungalow.

- 8.11 The principle of re-developing the site to provide more residential accommodation is supported given the site's physical context – its detached form, the generous width of Selborne Road and Park Hill Rise, and the varied form and character of dwellings in the locality, and the need for housing in Croydon. It is particularly relevant that the adjacent site, at 95 Park Hill Rise, is currently being re-developed as a 9 unit/3 storey flatted scheme under a planning permission (Ref: 18/01994/FUL) granted 04/01/2019.



- 8.12 The proposed building would have a contemporary appearance, yet the elevations would reflect local character and create visual interest. It would have an articulated frontage and overall the building would have an elegant and ordered form and composition and an interesting fenestration treatment. This would be complemented by the high quality yet simple brick material palette to the ground an first floors which would relate well to the materials found on 'Wates Estate' housing which is prevalent in the area.

Proposed Bay Studies

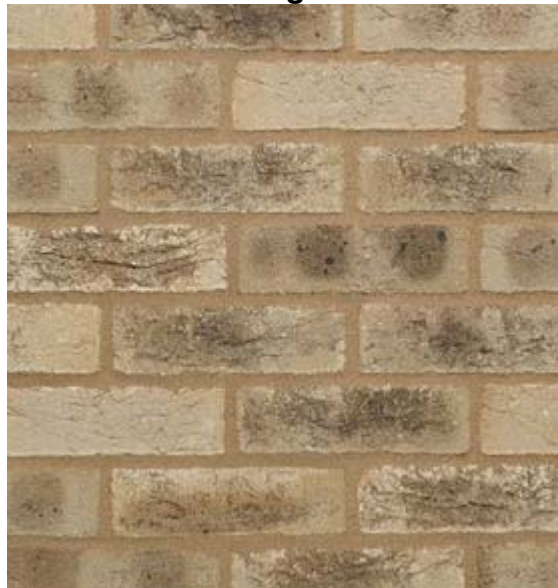
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Character Area Study: Proposed Bay Studies



8.13 The main brick would be a buff coloured *Wienerberger Eastfields Grey* and the first floor would be edged with a *Wienerberger Granite Blue* soldier course.

Buff Coloured *Wienerberger Eastfields Grey* Brick



8.14 The second floor roof accommodation would be differentiated in appearance to the lower floors and would be finished in dark brickwork, *Wienerberger Avenue Smooth Black* and it would have a bronze coloured powder coated aluminium capping. This would add interest to the roof form. It would have a flat roof, but this would not be out of character with nearby dwellings, many of which also have flat roofs, and the new build block of flat under construction at 95 Park Hill Rise has a flat roof formed of grey seamed zinc. Bronze coloured powder coated aluminium windows are proposed. The proposed balconies would be inset and would have bronze coloured powder coated aluminium upright railings and the doors leading to them would be framed by inset *Wienerberger Granite Blue*

projecting header brickwork. There would be no competing or jarring elements within the composition and appearance of the building and it would have a very harmonious appearance. The stepped footprint of the building and soft landscaping around it would prevent any overbearing effect on the street scene. Overall, the massing of the building would be acceptable and articulated in a manner that would respect the urban grain and modulation of similar plots in the vicinity.



8.15 The removal of the existing high close board timber fence adjacent to the highway and its replacement with a low brick wall with planting behind it would provide a much improved vista where Selborne Road turns the corner into Park Hill Rise. A communal garden with childrens' play area would be provided in the rear north-western corner of the site. The existing vehicle access from Selborne Road would be retained and off-street parking would be formed on the forecourt of the site using the existing vehicle access from Selborne Road. However, the amount of hard surfacing area required to form the parking area would be proportionate to the overall amount of soft landscaping proposed within the site as a whole. The cycle storage and refuse storage would be discreetly placed behind a row of parking spaces and significantly away from the street.



8.16 The application site is within an established residential area and one in which there is a recent transition to a higher-density flatted development at 95 Park Hill Rise which has recently come forward in the locality. The individual and cumulative impact of the development on the local character is considered to be acceptable as assessed above. The impact of the development on the neighbouring highway network (including on and off street car parking capacity) is acceptable as considered further on in this report. The proposal would result in a development that would have an acceptable impact on the appearance of the street scene and accords with the national and local requirements to intensify the development potential of sites and to optimise the delivery of additional housing in a sustainable manner. It is also in a location that is accessible to a local grocery shop on Chichester Road, schools in Selborne Road and off Park Hill, and bus routes on Park Hill and Chepstow Road. Lloyd Park is also a short walk away.

8.17 Therefore, having considered all of the above, against the backdrop of housing need, officers are of the opinion that the proposed development would comply with the objectives of the above policies in terms of respecting local character.

Housing Quality for Future Occupiers

8.18 All of the proposed new units would comply with or exceed the internal dimensions required by the Nationally Described Space Standards (NDSS). All would have private external amenity spaces in the form of a private garden area (ground floor flats) or balconies (first and second floor flats) to meet minimum space standards. There would be provision made for communal amenity spaces to be provided at ground level in a communal rear garden and it would be able to incorporate an acceptable amount children's play space. Lloyd Park is also less than a 5 minute walk away and so would also be an outdoor resource close at hand for future occupiers and those with children.

8.19 The internal layout and arrangement of the proposed flats would make the best use of available floor space and have pleasant outlooks from the main habitable rooms. While the Bedroom 3 of Flats 5 and 8, on the first and second floors respectively, would have oriel windows, these would have two glazing strips and so the arrangement would be acceptable on that basis. Officers are satisfied that the internal spaces would be able to accommodate acceptable in-built storage for future occupants. All of the flats would have private garden or balcony space to meet minimum amenity standards, as well as access to the ground floor rear communal garden area. The building would also benefit from a lift and this would assist ease of access for the family dwellings at first and second floors. One of the ground floor flats is specifically laid out for a wheelchair occupier and this would accord with equality policies.

8.20 Overall, the proposed development could provide an interesting and pleasant place to live for future occupiers. The proposed soft landscaped communal garden would provide opportunity for recreational use for the residents and the buffer planting and low perimeter wall to the street would contribute to a pleasant public realm.

Residential Amenity for Neighbours

8.21 Policy DM10.6 states that the Council will not support development proposals which would have adverse effects on the amenities of adjoining or nearby properties or have an unacceptable impact on the surrounding area. This can include loss of privacy, daylight, sunlight, outlook or an increased sense of enclosure. It is considered that the position of the site and siting and massing of the proposed building on the site would not have any adverse effect in terms of light, privacy, or outlook on the amenities of residents in adjacent properties. The properties bounding the site are the development site to the north at 95 Park Hill Rise, and the houses to the west at 12 to 16 Lyndhurst Close.

- **95 Park Hill Rise**

8.22 The proposed building would be sited 3.6 metres distance from the southern flank elevation of the newly constructed block of flats at 95 Park Hill Rise. The proposed building has a stepped footprint and built form. While the built form would have a incursion within a 45 degree angle line of the nearest rear windows of 95 Park Hill Rise, the incursion is relatively minor and would not adversely affect the amenity of the adjacent occupiers. The first and second floor southern flank windows of 95 Park Hill Rise are high-level secondary windows. While there is one ground floor southern facing habitable room window at 95 Park Hill Rise, it is considered that its outlook and light would not be compromised by the proposed development any more than by the existing form of building at 49 Selborne Road, particularly as there is an extremely high yew tree hedge on the boundary which is within the curtilage of 95 Park Hill Rise. Therefore, no adverse loss of light or outlook would result to the future occupiers of the development under construction at 95 Park Hill Rise.

8.23 For the proposed building the northern facing first and second floor windows on the northern rear elevation of the proposed building would be obscure-glazed. As these are either secondary or stairwell windows then it has no adverse effect on the quality of the proposed accommodation. A couple of bedroom windows are also an oriel design with the glazing facing east and west. These arrangements would also be secured by condition to further protect the privacy of occupiers of 95 Park Hill Rise.

- **12 to 16 Lyndhurst Close**

8.24 The western flank elevation of the proposed block would be sited 20 to 22 metres distance from the eastern rear elevations of the houses in Lyndhurst Close. If the distance is measured from the balustrades of the western facing balconies the nearest distances to the windows in Lyndhurst Close would be 18.05 metres and 20.76 metres. It is considered this would comply with guidance in the Council's suburban design guide. It is considered the proposed development would not lead to any adverse loss of privacy to rear gardens in Lyndhurst Close.

8.25 It is considered that no adverse loss of privacy, no adverse loss of outlook, and no adverse loss of light would result to adjacent and nearby residential occupiers in Lyndhurst. The distance of the proposed built form to the adjacent and house plots in Lyndhurst Close would accord with the design guidance in Croydon's Suburban Design Guide for a development in a suburban environment.

Other Amenity Issues

- 8.26 In terms of noise and general disturbance it is considered that there would be noise and general disturbance result from demolition and construction works. However, a condition is recommended to ensure that a construction logistics plan is submitted for approval to manage and minimise disturbance.
- 8.27 In terms of safety and security, there would be natural surveillance from the proposed flats over the highway of Selborne Road and Park Hill Rise, and the proposed lower boundary treatment would positively add in that outcome. Details of security lighting to the external access and external circulation areas would be secured by condition.

Parking and Highway Safety

- 8.28 Transport for London were consulted on the application due to the proximity to the road to underground tram tracks. They have no objection to it subject to the developer entering into an Asset Protection Agreement (APA) with them to provide assurance that the proposed works to construct the development will not impact on London Trams infrastructure. TfL advise that a condition should be used to secure the APA and that it will need to be in place prior to any works commencing on site. The condition as recommended by TfL is listed in the schedule of proposed conditions.
- 8.29 Vehicular access to the site will be taken from the existing vehicle access from Selborne Road. A total of 6 car parking spaces will be provided at ground level and it would include 1 disabled space. The parking provision would therefore equate to just less than 1 car parking space per dwelling and for a scheme including 3 one bedroom flats this is considered an acceptable provision. The applicant has agreed to enter into a legal agreement to restrict the provision of residential car parking permits in the controlled parking zone. The availability of on-site parking and restriction of car parking permits should ensure that there would be no adverse material impact on the parking provision on the local road network. An electric vehicle charging point would be provided within the parking area and this matter would be secured by condition.
- 8.30 The site is within a relatively short walking distance to of local bus stops and tram stops which should assist in promoting sustainable public transport use. Cycle storage provision for 18 cycles within an enclosed structure is also made for each of the dwellings as well as for short-stay visitor cycling. The cycle storage provision would comply with the minimum standards set out in the London Plan.
- 8.31 Given all these circumstances it is considered that the amount of off-street car parking provision would be acceptable.
- 8.32 In terms of road safety the vehicle access is an existing one and the layout of the parking area would allow vehicles to turn safely on the site and enter and exit the access in a forward gear. The proposed front low wall (in place of the existing high fence) would assist road safety by providing improved visibility where Selborne Road turns the curve into Park Hill Rise. This would be beneficial to all traffic movement around the curve as it would improve vehicle sightlines. There is also a relatively recent traffic island installation at the intersection of Selborne

Road with Deepdene Avenue which assists in calming traffic movements at the intersection and on the curve of the road.

- 8.33 Fire safety access would be acceptable as no part of the building would be more than 45 metres distance from the highway.
- 8.34 Full details of a construction logistics plan can be secured by condition to ensure that the demolition and construction works would be undertaken in a considerate manner.
- 8.35 Residential refuse storage is proposed in an enclosure behind the parking area. The refuse stores would be sited within 20 metres pull distance of the highways of Selborne Road and so would be an acceptable distance from the highway.

Refuse Storage

- 8.36 The refuse storage would be sited behind the proposed parking area and would provide capacity for two 1280 litre bins. These are co-mingled waste bins which are usual for flatted development. It would be within 20 metres of the highway so would be an acceptable pull distance for Council operatives. Details of its appearance can be secured by condition.

Flood Risk

- 8.37 The application was accompanied by a Flood Risk Assessment and the site is within an area with a low risk of flooding. A Sustainable Urban Drainage strategy (SUDs) can be secured by condition.

Sustainability

- 8.38 Policy seeks high standards of design and construction in terms of sustainability and sets out Local and National CO2 reduction targets. The development would be required to meet a minimum 19% on-site CO2 reductions beyond Part L of 2013 Building Regulations through on-site energy efficiency measures and renewable technologies. Conditions can be used to ensure CO2 reduction compliance and to ensure water use targets have been met following construction.

Trees, Landscaping and Biodiversity

- 8.39 A total of three individual trees and two hedges will be removed to enable the proposed development. The trees to be removed are within the 'C' category and will have little impact on the tree amenity of the local area. The proposed development of the site provides an opportunity to plant a number of new trees as part of a landscape scheme for the site. This will improve the age range and species diversity of the trees in the local area, as well as enhancing the tree cover on the site. The arboricultural report submitted with the application sets out tree protection measures. The installation of tree protective fencing and permanent ground protection to be installed before any works commence can be secured by condition, to ensure the safe guarding of the subject trees. The works of facilitation would not require any significant lateral pruning of the trees outside of

the extent of the site on the western boundary as the proposed mass of the block of flats is set well away from that boundary. Through the specified tree protection measures and construction methodology, it would be possible to minimise the impact of the proposed development on the retained trees.

- 8.40 A communal garden area and buffer planting is also proposed on the site and further details to promote biodiversity, and assist surface water drainage, and to combat climate change can also be secured as part of the recommended landscaping condition. Full details of tree planting and other planting could be secured as part of the recommended landscaping condition.

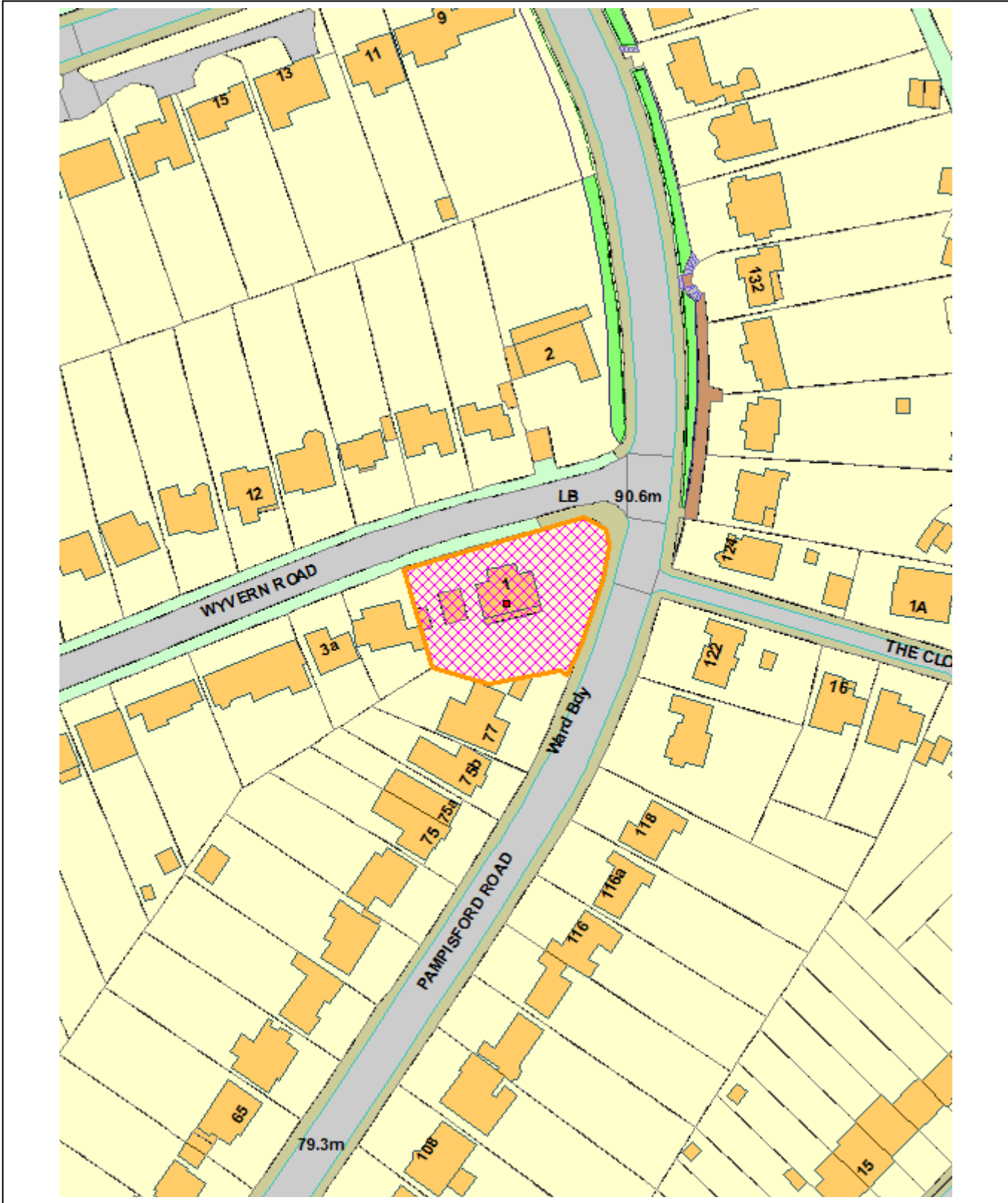
Other Matters

CIL

- 8.41 The development will be liable for a charge under the Community Infrastructure Levy (CIL). This payment will contribute to delivering infrastructure to support the development of the area.

Conclusions

- 8.42 Given the significant need for housing within the Borough, the principle of this residential development is considered acceptable within this area. The proposed design would respect the character and appearance of the residential area and would represent a sensitive and sustainable redevelopment of the site. Whilst it is acknowledged that the mass of built form would be greater than the existing buildings on site, the proposal would be in context with the transition of the surrounding environment. The proposal would have no significantly harmful impact on the amenities of the adjacent properties and the application demonstrates that the impact on the highway network would be acceptable. Officers are satisfied that the scheme is worthy of a planning permission.
- 8.43 All other relevant policies and considerations, including equalities, have been taken into account.



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PART 6: Planning Applications for Decision

Item 6.2

1.0 SUMMARY OF APPLICATION DETAILS

Ref: 19/04443/FUL
 Location: 1 Wyvern Road, Purley, CR8 2NQ
 Ward: Purley
 Description: Demolition of existing house and erection of 6 dwellings in two buildings with external bin and cycle store with associated parking and landscaping
 Drawing Nos: 2017.165.01, 2017.165.03 rev D, 2017.165.04 rev A, 2017.165.05 rev A, 2017.165.06 rev A, 2017.165.07 rev A, 2017.165.09 rev A, 2017.165.10 rev A, 2017.165.11 rev A, 2017.165.12 rev A, 2017.165.13 rev A, 2017.165.14 rev A, 2017.165.16 rev A, 2017.165.17 rev A, 2277-002
 Applicant: ND Homes Ltd
 Agent: Patrick Stroud- Sole Practitioner
 Case Officer: Victoria Bates

| | 1 bed | 2 bed | 3 bed | 4 bed | 5 bed |
|-----------------|-------|-------|-------|-------|-------|
| Existing | | | | 1 | |
| Proposed | | | | 6 | |

All units are proposed for private sale

| Number of car parking spaces | Number of cycle parking spaces |
|------------------------------|--------------------------------|
| 6 | 12 |

1.1 This application is being reported to committee because objections above the threshold in the Committee Consideration Criteria have been received.

2.0 RECOMMENDATION

- 2.1 That the Planning Committee resolve to GRANT planning permission.
- 2.2 That the Director of Planning and Strategic Transport has delegated authority to negotiate the legal agreement and issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

- 1. Time limit of 3 years
- 2. Development to be carried out in accordance with the approved drawings and reports except where specified by conditions
- 3. Construction Logistics Plan to be submitted
- 4. Details of site specific SuDS to be submitted
- 5. Protection measures for retained private trees and street trees to be submitted
- 6. Details of materials to be submitted
- 7. Hard and soft landscaping including boundary treatment, retaining walls and maintenance to be submitted
- 8. Details of electric vehicle charging point and disabled bay to be submitted

9. All units to meet requirements for M4(3)
10. Details of cycle parking
11. No other openings in flank elevations and side facing windows to be obscure
12. 19% Carbon reduction
13. 110litre Water usage
14. Any other planning condition(s) considered necessary by the Director of Planning and Strategic Transport

Informatives

- 1) Community Infrastructure Levy
- 2) Code of practise for Construction Sites
- 3) Ecology consideration
- 4) Highway works
- 5) Accessible units
- 6) Any other informative(s) considered necessary by the Director of Planning and Strategic Transport

2.3 That the Committee confirms that adequate provision has been made by the imposition of conditions, for the preservation or planting of trees as required by Section 197 of the Town and Country Planning Act 1990.

3.0 PROPOSAL AND LOCATION DETAILS

3.1 The proposal includes the following:

- Demolition of existing house
- Erection of 6 x 4 bedroom dwellings in the form of two buildings
- Provision of 6 off-street parking spaces
- Provision of associated refuse and cycle stores

3.2 During the course of the application amended plans have been received to alter the unit mix, site layout and massing.



Figure 1 Proposed site layout

5.0 CONSULTATION RESPONSE

- 5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

Greater London Archaeological Advisory Service (GLAAS)

GLAAS advise that no there are no archaeological requirements for the site as it is unlikely that there is significant archaeology present at the site.

Ecology Consultant

The Council's ecology consultant reviewed the submitted reports on the impact on protected species and recommended conditions be attached [OFFICER COMMENT: the required conditions are recommended]

6.0 LOCAL REPRESENTATION

- 6.1 The application has been publicised by letters of notification to neighbouring properties in the vicinity of the application site.

The number of representations received from neighbours in response to notification and publicity of the application are as follows:

No of individual responses: 60 Objecting: 60 Supporting: 0 Comment: 0

One of these representations was from the Purley and Woodcote Residents Association.

- 6.2 The following issues were raised in representations. Those that are material to the determination of the application, are addressed in substance in the MATERIAL PLANNING CONSIDERATIONS section of this report:

| Objection | Officer comment |
|---|---|
| <i>Design and appearance</i> | |
| Overdevelopment of the site | Addressed in Section 8.2-8.6 of this report. |
| Out of keeping with existing development in the area in terms of height and bulk. Obtrusive design. | Addressed in Section 8.7 – 8.14 of this report. |
| <i>Impact on amenities of neighbouring properties</i> | |
| Overbearing impact on and loss of light and privacy to neighbouring properties | Addressed in Sections 8.20 - 8.22 of this report. |
| Extra pollution and noise disturbance | This is a residential development and there is no evidence or reason to suggest that the proposal would result in extra |

| | |
|--|--|
| | pollution or noise that is not associated with a residential area. |
| <i>Trees/Ecology/Environment</i> | |
| Loss of trees | Addressed in Section 8.32 of this report. |
| <i>Transport and parking</i> | |
| Increased parking stress on Wyvern Road | Addressed in Section 8.24 of this report. |
| <i>Other matters</i> | |
| Pressure on existing sewerage system. | Addressed in Section 8.36-8.38 of this report |
| Cumulative impact with another proposal on Barham Road | Parking concern addressed in Section 8.24 of this report. Each development will provide suitable on-site sustainable drainage and each will provide CIL contributions. |

6.3 Councillor Quadir objected on the following grounds (prior to amendments):

- Over development due its size, massing and density.
- Insufficient parking
- Loss of vegetation and trees in the area
- The proposed development is not within the characteristics of the area.

7.0 RELEVANT PLANNING POLICIES AND GUIDANCE

7.1 In determining any planning application, the Council is required to have regard to the provisions of its Development Plan so far as is material to the application and to any other material considerations and the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The Council's adopted Development Plan consists of the Consolidated London Plan 2015, the Croydon Local Plan 2018 and the South London Waste Plan 2012.

7.2 Government Guidance is contained in the National Planning Policy Framework (NPPF), issued in February 2019. The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay. The NPPF identifies a number of key issues for the delivery of sustainable development, those most relevant to this case are:

- Promoting sustainable transport;
- Delivering a wide choice of high quality homes;

- Requiring good design.

7.3 The main policy considerations raised by the application that the Committee are required to consider are:

7.4 Consolidated London Plan 2015

- 3.3 Increasing housing supply
- 3.4 Optimising housing potential
- 3.5 Quality and design of housing developments
- 3.8 Housing choice
- 5.1 Climate change mitigation
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction
- 5.12 Flood risk management
- 5.13 Sustainable drainage
- 5.16 Waste net self sufficiency
- 6.3 Assessing effects of development on transport capacity
- 6.9 Cycling
- 6.13 Parking
- 7.2 An inclusive environment
- 7.3 Designing out crime
- 7.4 Local character
- 7.6 Architecture
- 7.21 Woodlands and trees

Policy 3.3 of the London Plan 2016 recognises the pressing need for more homes in London and Policy 3.8 states that Londoners should have a genuine choice of homes which meet their requirements for different sizes and types of dwellings in the highest quality environments. The impact of the draft London Plan is set out in paragraph 7.7 below.

7.5 Croydon Local Plan 2018

- SP2 - Homes
- SP6.3 - Sustainable Design and Construction
- DM1 - Housing choice for sustainable communities
- SP4 – Urban Design and Local Character
- DM10 - Design and character
- DM13 - Refuse and recycling
- DM16 – Promoting healthy communities
- SP6 – Environment and Climate Change
- DM23 - Development and construction
- DM25 – Sustainable drainage systems and reducing floor risk
- DM27 – Biodiversity
- DM28 – Trees
- SP8 – Transport and communications
- DM29 - Promoting sustainable travel and reducing congestion
- DM30 - Car and cycle parking in new development

7.6 There is relevant Supplementary Planning Guidance as follows:

- London Housing SPG March 2016
- Croydon Suburban Design Guide Supplementary Planning Document April 2019

7.7 Emerging New London Plan

Whilst the emerging New London Plan is a material consideration, the weight afforded to it is down to the decision maker, linked to the stage a plan has reached in its development. The Mayor's Intend to Publish version of the New London Plan was submitted to the Secretary of State who has now issued a direction and one awaits to hear how the London Mayor responds. The New London Plan remains at an advanced stage of preparation but full weight will not be realised until it has been formally adopted. Therefore, the New London Plan's weight has increased following on from the publication of the Panel Report and the London Mayor's publication of the Intend to Publish New London Plan. The Planning Inspectors' Panel Report accepted the need for London to deliver 66,000 new homes per annum (significantly higher than existing adopted targets), but questioned the London Plan's ability to deliver the level of housing predicted on "small sites" with insufficient evidence having been presented to the Examination to give confidence that the targets were realistic and/or achievable. This conclusion resulted in the Panel Report recommending a reduction in London's and Croydon's "small sites" target.

The Mayor in his Intend to Publish New London Plan has accepted the reduced Croydon's overall 10 year net housing figures from 29,490 to 20,790 homes, with the "small sites" reduced from 15,110 to 6,470 homes. Crucially, the lower windfall housing target for Croydon (641 homes a year) is not dissimilar to but slightly larger the current adopted 2018 Croydon Local Plan target of 592 homes on windfall sites each year.

It is important to note, should the Secretary of State support the Intend to Publish New London Plan, that the overall housing target in the New London Plan would be 2,079 new homes per annum (2019 – 2029) compared with 1,645 in the Croydon Local Plan 2018. Therefore, even with the possible reduction in the overall New London Plan housing targets, assuming it is adopted, Croydon will be required to deliver more new homes than our current Croydon Local Plan 2018 and current London Plan (incorporating alterations 2016) targets.

For clarity, the Croydon Local Plan 2018, current London Plan (incorporating alterations 2016) and South London Waste Plan 2012 remain the primary consideration when determining planning applications.

8.0 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues raised by the application that the Planning Committee are required to consider are as follows:

1. Principle of development
2. Townscape and visual impact
3. Housing quality for future occupiers
4. Residential amenity for neighbours
5. Access and parking
6. Sustainability and environment

7. Other matters

Principle of Development

- 8.2 This application must be considered against a backdrop of significant housing need, not only across Croydon, but also across London and the south-east. All London Boroughs are required by the London Plan to deliver a number of residential units within a specified plan period. In the case of the London Borough of Croydon, there is a requirement to deliver a minimum of 32,890 new homes between 2016 and 2036 (Croydon's actual need identified by the Croydon Strategic Housing Market Assessment would be an additional 44,149 new homes by 2036, but as there is limited developable land available for residential development in the built up area, it is only possible to plan for 32,890 homes). This requirement is set out in policy SP2.2 of the Croydon Local Plan (CLP) (2018), which separates this target into three relatively equal sub targets with 10,760 new homes to be delivered within the Croydon Opportunity Area, 6,970 new homes as identified by specific site allocations for areas located beyond the Croydon Opportunity Area boundary and 10,060 homes delivered across the Borough on windfall sites. The draft London Plan, which is moving towards adoption (although in the process of being amended) proposes significantly increased targets which need to be planned for across the Borough. In order to provide a choice of housing for people in socially-balanced and inclusive communities in Croydon, the Council will apply a presumption in favour of sustainable development of new homes.
- 8.3 The Croydon Suburban Design Guide (2019) sets out how suburban intensification can be achieved to high quality outcomes and thinking creatively about how housing can be provided on windfall sites. As is demonstrated above, the challenging targets will not be met without important windfall sites coming forward, in addition to the large developments within Central Croydon and on allocated sites.
- 8.4 The application is for a housing development providing additional homes within the borough, which the Council is seeking to promote. The site is located within an existing residential area and as such providing that the proposal respects existing residential character and local distinctiveness, and accords with all other relevant material planning considerations, the principle of development is supported.
- 8.5 CLP Policy DM1.2 seeks to prevent the net loss of 3-bedroom homes (as originally built) and homes less than 130m². Policy SP2.7 seeks to ensure that a choice of homes is available to address the borough's need for homes of different sizes by setting a strategic target of 30% of new units to have 3 bedrooms. The existing building on site is a 4 bedroom house with a floor area of approximately 252sqm. There would be no net loss of homes under 130sqm or three-bedroom homes as required by Policy DM1.2 and all of the proposed units are 4-bedroom homes which provide family accommodation.

Townscape and Visual Impact

- 8.7 Wyvern Road is made up of detached properties. The building on the application site does not hold any special significant architectural merit or protection and therefore there is no objection to its demolition.
- 8.8 CLP Policy DM10.1 states that proposals should achieve a minimum height of 3 storeys whilst respecting a) the development pattern, layout and siting; b) the scale,

height, massing and density; and c) the appearance, existing materials and built and natural features of the surrounding area.

8.9 The Suburban Design Guide suggests appropriate ways of accommodating intensified development on sites and suggests that where surrounding buildings are predominantly detached dwellings of two (2) or more storeys, new developments may be three (3) storeys with an additional floor contained within the roof space or set back from the building envelope.

8.10 The 'sympathetic and faithful' design approach within the SDG has been used which is appropriate for Wyvern Road. The character analysis within the Design and Access statement shows how the design of the two buildings respects the streetscene. The detached houses on the street have slight variations. The proposal would respond to the varying proportions of red brick and tile hung elevations, presence of front dormers and brickwork detailing. The height of the two buildings would also respect neighbouring properties. The eaves height would match 3 Wyvern Road and the ridgeline would be a similar height. The roof form does not match other roof forms on the street, however on balance this is acceptable given the quality of the other elements of the design.



8.11 The proposal utilises the gradient of the site and includes lower ground floor accommodation. Small changes in the brickwork subtly break up the massing from this view. From Pampisford Road, the lower ground floor and part of the ground floor would be screened by the trees along the boundary.

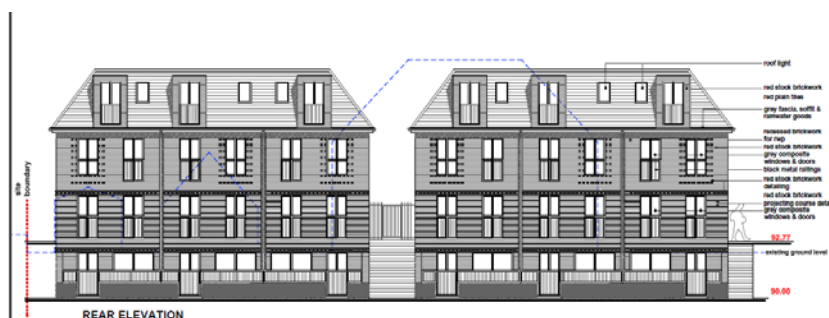


Figure 3 Proposed rear elevation showing lower ground floor

8.12 The design of the proposal is sensitive to the streetscene and would respect the appearance, existing materials and features in accordance with DM10 of the Croydon Local Plan. Specific materials are proposed to reflect the character of the area and detailing, in the form of string courses and brick detailing, to reflect what is found locally are proposed. Details will be conditioned to ensure a high quality appearance.



Figure 4 Examples of detailing responding to local area

- 8.13 The forecourt at the front of the site would have 6 car parking spaces, a refuse store and cycle store. Soft landscaping is proposed and details would be conditioned. As existing, this is an area of hardstanding for car parking with soft landscaping- so there would be little change in this regard.
- 8.14 Therefore having considered all of the above, against the backdrop of housing need, officers are of the opinion that the proposed development would comply with the objectives of the above policies in terms of respecting local character.

Housing Quality for Future Occupiers

- 8.15 All of the proposed new units- 6 x 4 bedroom 5 person units over 4 storeys would comply with internal dimensions required by the Nationally Described Space Standards (NDSS). All units would exceed the required standards by at least 35sqm providing generous sized family homes.
- 8.16 The proposed units are all dual aspect which allows to a good level of cross ventilation and levels of daylight. All units have appropriate layouts.
- 8.17 With regard to external amenity space, the DM10.4 of the Croydon Local Plan states that a minimum of 5sqm of private outdoor space should be provided for 1-2 person dwellings and an extra 1sqm for each additional unit. All units would have their own garden between 45-70sqm, exceeding the policy.
- 8.18 In terms of accessibility, all six of the units have been designed to be wheelchair adaptable/accessible (in accordance with Part M4(3) of the Building Regulations) as there would be step free access to front doors and internally the staircases would be wide enough to accommodate a stairlift. Such provision would accord with both the London Plan and New London Plan and would be secured via condition.
- 8.19 Overall, the development would provide a good standard of accommodation for future occupiers.

Residential Amenity for Neighbours

- 8.20 Policy 7.1 of the London Plan indicates that in their neighbourhoods, people should have a good quality environment. Policy DM10 of the Croydon Local Plan requires the Council to have regard to the privacy and amenity of adjoining occupiers. Policies SP4.1 and SP4.2 seek to respect and enhance character, to create sustainable communities and enhance social cohesion and well-being.
- 8.21 To the west of the site is 3 Wyvern Road. The footprint of the building would be brought closer to the boundary than the existing dwelling, however the eaves height would match number 4 and the maximum height would be lower than number 4 which would mean that it would pass the vertical 45 degree rule of thumb. There are windows that face onto the neighbour, however these are secondary and will be conditioned as obscurely glazed. At the front, the development would be level with number 4 and to the rear it would project slightly beyond the rear building line – but would easily pass the 45 degree rule of thumb in plan from the neighbour’s closest habitable room window. The proposal would therefore not result in unacceptable amenity impacts for this property.
- 8.22 The neighbour to the south of the site is 77 Pampisford Road. At the closest point, the separation distance would be 11 metres. This is less than the separation distances set out in the Suburban Design Guide SPD (albeit for a rear to rear or rear to front relationship). However as can be seen from the section below, there is a significant land level change and thick vegetation along the boundary plus the orientation of 77 Pampisford Road is such that it faces away from the proposed rear elevation of the development. There would be no direct overlooking, and the proposed building would be largely screened by the retaining wall and thick vegetation from the rear windows and rear garden of number 77. The proposal would therefore not result in unacceptable amenity impacts for this property.

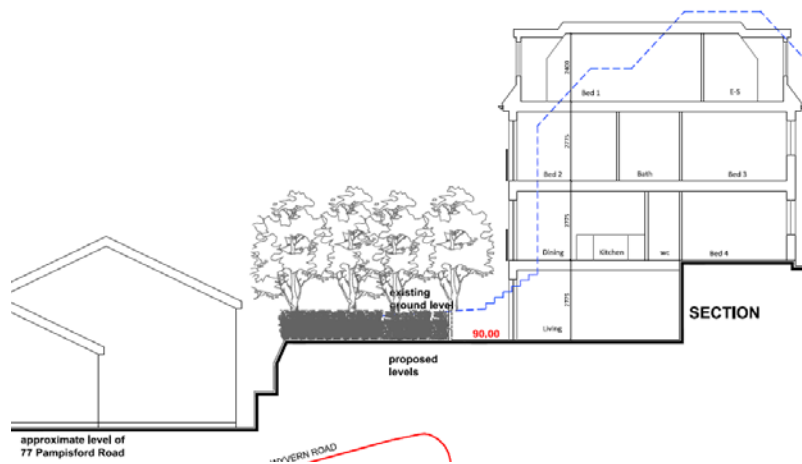


Figure 5 Section showing relationship between 77 Pampisford Road and the application site

Parking and Access

Parking

- 8.23 The site has a PTAL rating of 1b (on a scale of 1a-6b) which is poor. The site is served by three bus routes from Purley Way and Pampisford Road.

- 8.24 Six off street car parking spaces would be provided for the six units which is in accordance with London Plan standards - however the census data indicates that there would be an overspill of one car, based on typical car ownership rates for the area. A Parking Survey using Lambeth Methodology has been submitted with the application, which shows that overspill could be accommodated on street (29 spaces in the survey area were available at nighttime and 25 during the daytime). One space will be Blue Badge, 4 will have active electric vehicle charging points and 2 passive.
- 8.25 Twelve cycle parking spaces would be located a store to the side of the site. This meets the requirements of the London Plan. Details of this store will be conditioned.

Access

- 8.26 The existing crossover would utilised.
- 8.27 The Transport Statement provides manoeuvring plans that demonstrate that a vehicle can manoeuvre into the proposed parking spaces. The submitted plans show that the required vehicle sightlines can be achieved from both vehicular accesses to the site.

Refuse storage/collection

- 8.28 A refuse storage area is shown to the side of the building. The refuse store would located in a timber store. In accordance with DM13 of the Croydon Local Plan (2018), the storage would be adequately screened and located behind the building line.

Environment and sustainability

- 8.29 Conditions will be attached to ensure that a 19% reduction in CO2 emissions over 2013 Building Regulations is achieved and mains water consumption would meet a target of 110 litres or less per head per day.
- 8.30 The site itself is located within an area which is of 'low/very low' risk of surface water flooding with limited potential for groundwater flooding to occur. Policy DM25 requires all development to incorporate sustainable drainage measures (SuDS). The report outlines SuDS measures that could be feasible at the site including permeable paving and soakaways. A condition requiring site specific SuDS measures would be imposed on any planning permission.

Other matters

- 8.31 Archaeology- Historic England do not require any assessments as the proposal is unlikely to have a significant effect on heritage assets of archaeological interest.
- 8.32 Trees and landscape - There are no Tree Protection Orders on the site. A Class C apple tree and line of six Class C Cypress trees would be removed. Eight trees would be planted at the rear and one in the front garden. Protection measures for the trees at the rear most part of the site and the street tree. Details would be conditioned.
- 8.33 Ecology – An Ecology Appraisal of the site has been submitted. The report finds the site favourable for nesting birds and reptiles and of low roosting suitability for bats. Various surveys and precautions are recommended which are conditioned.

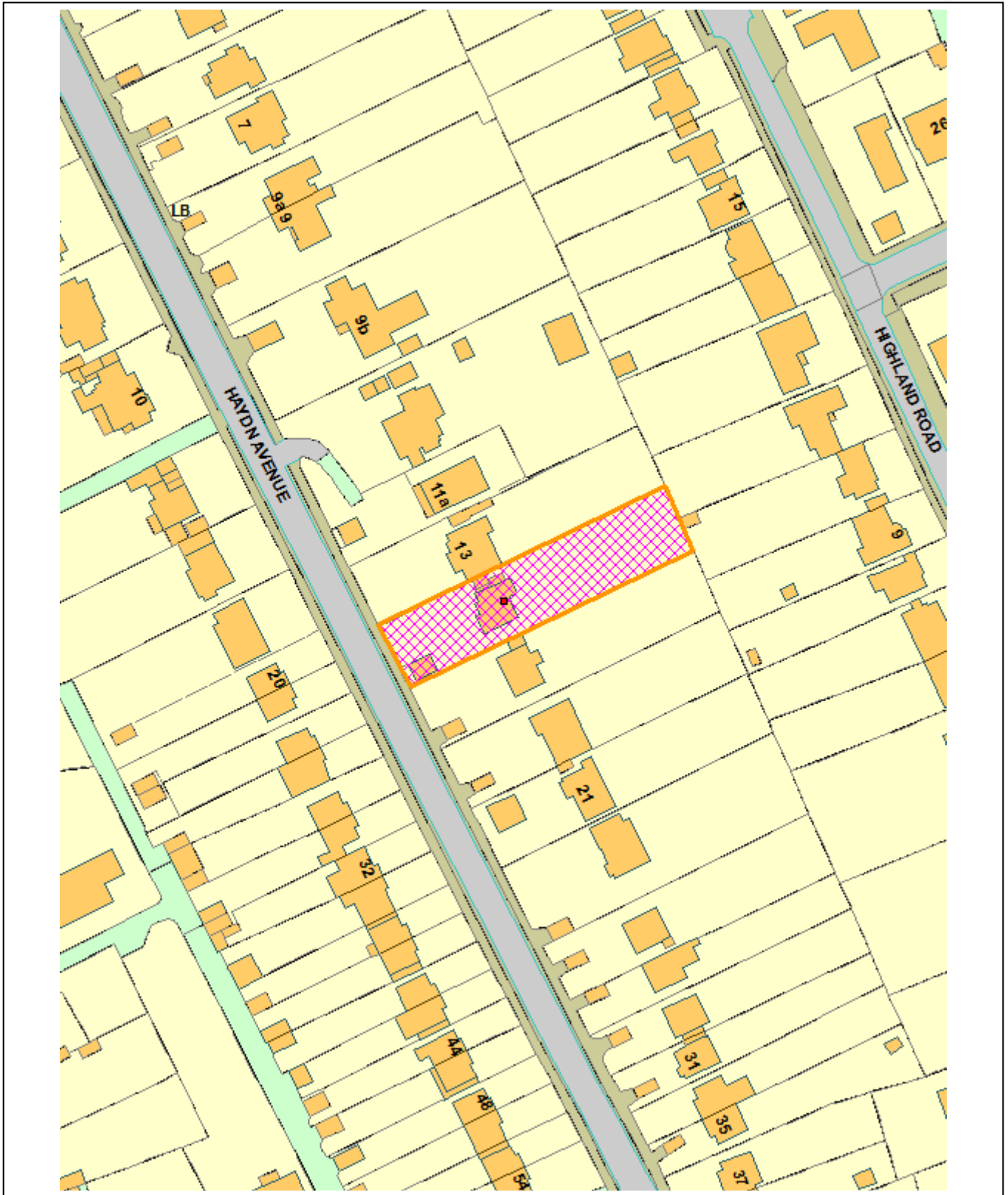
8.34 The development will be liable for a charge under the Community Infrastructure Levy (CIL). This payment will contribute to delivering infrastructure to support the development of the borough.

Conclusion and planning balance

8.35 The principle of residential development is considered acceptable in this area. The development accords with policy requirements and the Suburban Design Guide in terms of its massing and overall impact on the visual amenities of the area. The proposal has been designed to ensure there would be no unacceptably harmful impact on the amenities of the adjacent properties and provides adequate amenity for future residents. The impact on the highway network is acceptable. The proposal's design and appearance is satisfactory and does not weigh against it in the balance. The proposal would provide acceptable quality of accommodation and mix of units. Therefore, with the conditions recommended the proposal is considered to be in accordance with the relevant policies.

8.36 All other relevant policies and considerations, including equalities, have been taken into account.

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PART 6: Planning Applications for Decision

Item 6.3

1.0 SUMMARY OF APPLICATION DETAILS

Ref: 19/04919/FUL
 Location: 15 Haydn Avenue, Purley, CR8 4AG
 Ward: Purley
 Description: Demolition of the existing dwelling house and erection of a three storey building comprising 8 no. self-contained apartments, provision of 4 parking spaces, cycle and refuse stores with associated external works including excavation and lightwells
 Drawing Nos: 1923.P100, 1923.P101, 1923.P102, 1923.P103, 1923.P104a, 1923.P105d, 1923.P106e, 1923.P107d, 1923.P108b, 1923.P109, 1923.P110d, 1923.P111d, 1923.P112b, 1923.P113a, 1923.P115, 1923.P115a,
 Applicant: Mr Bruce Burkitt
 Agent: Mr Steve Bolton
 Case Officer: Sissi Yang

| | 1 bed | 2 bed | 3 bed | 4 bed | 5 bed |
|-----------------------|------------|---------------------------|------------|-------|--------|
| Existing | | | | | 5b x 1 |
| Proposed Flats | 1b, 2p x 3 | 2b, 3p x 2, 2b, 4p x 1 | 3b, 5p x 2 | | |
| Total | 3 | 3 | 2 | | |

All units are proposed for private sale

| Number of car parking spaces | Number of cycle parking spaces |
|------------------------------|--------------------------------|
| 4 | 16 |

- 1.1 This application is being reported to committee because:
- Hartley and District Residents' Association (HADRA) referred the application to Planning Committee; and
 - Objections above the threshold in the Committee Consideration Criteria have been received.

2.0 RECOMMENDATION

- 2.1 That the Planning Committee resolve to GRANT planning permission
- 2.2 That the Director of Planning and Strategic Transport has delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

1. Development to be carried out in accordance with the approved drawings and reports except where specified by conditions
2. Time limit of 3 years

3. Materials to be submitted.
4. Details of cycle storage/Car parking/Electric vehicle charging point as submitted
5. Landscaping scheme including boundary treatments, tree replacement and protection, details of playspace/communal space to be submitted
6. Construction Logistics Plan to be submitted
7. Condition survey to be submitted
8. Details of rear glass balustrade at ground floor level to be submitted
9. Side privacy screening at balconies, all flank elevation windows at first floor to be obscured glazed/non-opening
10. Plots 1 and 3 to meet M4 (3), all other units to meet M4(2)
11. Electric vehicle charging points to be installed in the parking area
12. 19% Carbon reduction
13. 110 litre Water usage
14. Any other planning condition(s) considered necessary by the Director of Planning and Strategic Transport

Informatives

- 1) Community Infrastructure Levy
- 2) Code of practise for Construction Sites
- 3) Any other informative(s) considered necessary by the Director of Planning and Strategic Transport

3.0 PROPOSAL AND LOCATION DETAILS

3.1 The proposal includes the following (Figure 1):

- Demolition of existing detached two storey house.
- Erection of a three storey building including accommodation in the roof space.
- Provision of 2 x three bedroom flats, 3 x two bedroom flats and 3 x three bedroom flats
- Provision of private and communal external amenity space as well as children's play space
- Provision of 4 off-street spaces and associated refuse and cycle stores

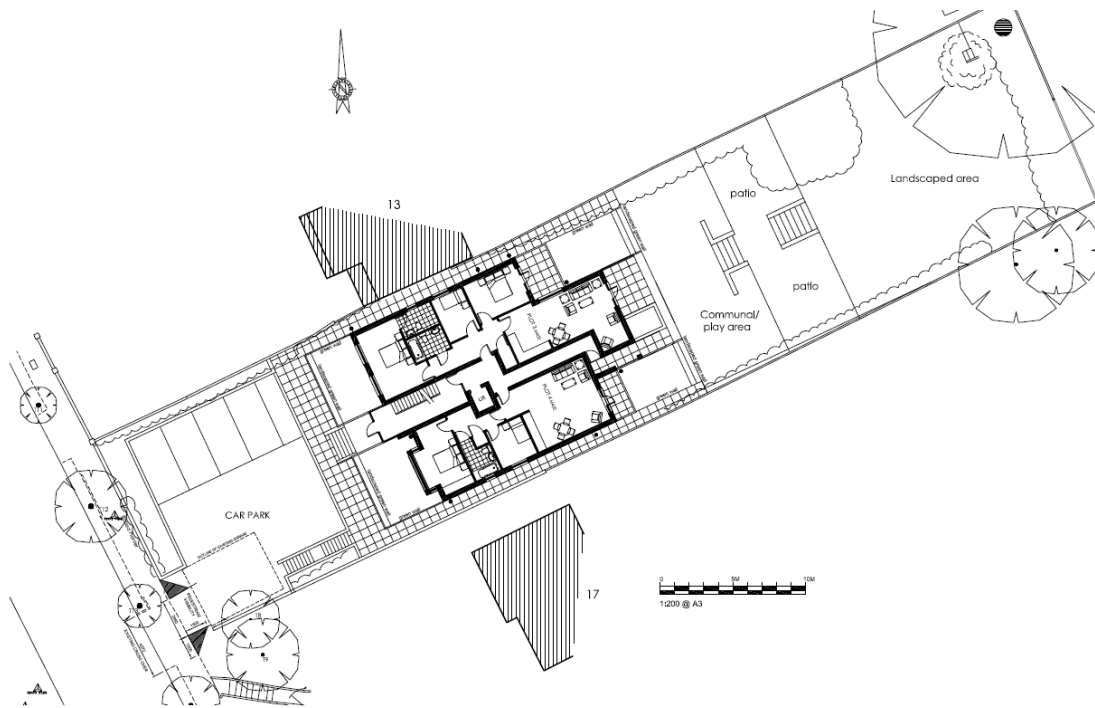


Figure 1. Proposed Site Plan

3.2 The scheme has been amended and further information has been provided during the application process including details in below:

- Materials of external walls from render to bricks
- Further details of and changes to internal layouts
- Enlarged play/communal area
- Visibility splays and swept path

Site and Surroundings

3.3 The site comprises a two storey residential house with a long rear garden, located on the eastern side of Haydn Avenue. The land levels rise substantially from front to the rear.

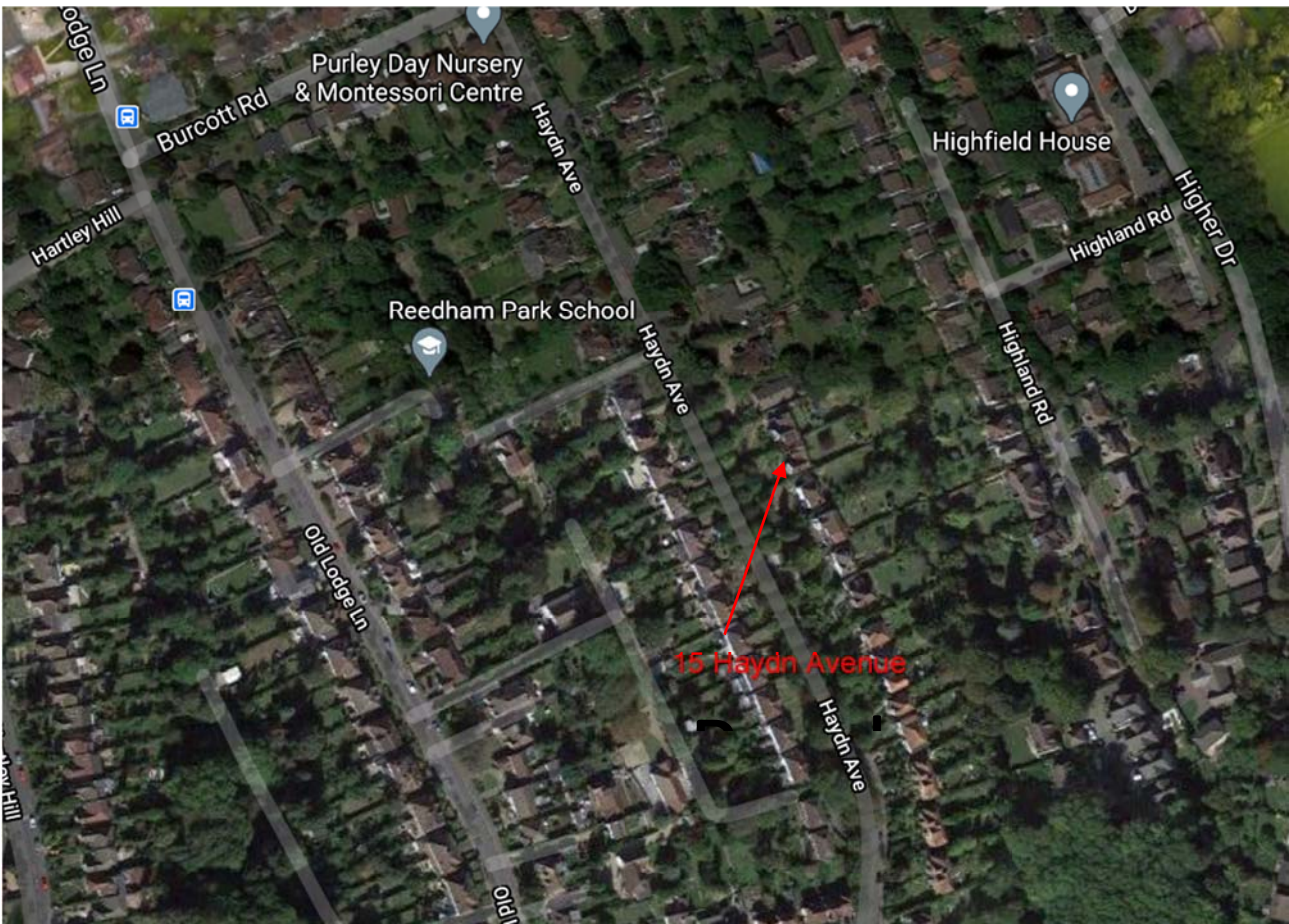


Figure 2: Aerial street view within the surrounding streetscene

- 3.4 The surrounding area is residential in character comprising substantially two-storey detached and semi-detached properties with long rear gardens.
- 3.5 The site is located within a PTAL 1a area. The site is not located within an area at risk of Surface Water Flooding.

Planning History

- 3.6 There is no relevant history on site.

4.0 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of the development is acceptable given the residential character of the surrounding area.
- The design and appearance of the development is appropriate for its setting.
- The living conditions of adjoining occupiers would be protected from undue harm subject to conditions.
- The living standards of future occupiers are acceptable and Nationally Described Space Standard (NDSS) compliant.
- The trees are appropriately protected subject to conditions.
- The level of parking and impact upon highway safety are considered acceptable.
- Sustainability aspects can be controlled by conditions.

5.0 CONSULTATION RESPONSE

5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

6.0 LOCAL REPRESENTATION

6.1 The application has been publicised by 7 letters of notification to neighbouring properties in the vicinity of the application site. The number of representations received from neighbours in response to notification and publicity of the application are as follows:

No of individual responses: 51 Objecting: 51 Supporting: 0 Comment: 0

6.2 The following issues were raised in representations. Those that are material to the determination of the application, are addressed in substance in the MATERIAL PLANNING CONSIDERATIONS section of this report:

| Objection | Officer comment |
|--|--|
| <i>Principle of development</i> | |
| The proposal does not adhere with Policies SP2.7 and SP4.30 of the Croydon Local Plan 2018. | This is addressed in section 8.2 – 8.34 of this report. |
| Loss of family unit and fail to provide adequate family units | This is addressed in section 8.2 – 8.34 of this report. |
| <i>Design and appearance</i> | |
| Out of keeping with the surrounding area, 3-storey height and overbearing scale. | This is addressed in section 8.3 to 8.34 of this report. |
| <i>Impact on amenities of neighbouring properties</i> | |
| Adverse impact on neighbouring properties during construction – disturbance, noise, traffic and pollution. | Construction hours and related disturbance will be controlled via conditions |
| Impact on over looking, light, security | This is addressed in section 8.2 – 8.34 of this report. |
| <i>Impact of the development on the future occupiers</i> | |
| Loss of garden, no children play ground private amenity areas. | This is addressed in section 8.2 – 8.34 of this report. |
| Over development. Units are small | This is addressed in section 8.2 – 8.34 of this report. |

| | |
|---|---|
| Development is not high quality | This is addressed in section 8.2 – 8.34 of this report. |
| Accessibility issue due to topography | This is addressed in section 8.2 – 8.34 of this report. |
| <i>Trees and ecology</i> | |
| There is no ecology survey, impact on wildlife and trees | This is addressed in section 8.2 – 8.34 of this report. |
| A roadside tree will be affected by the new driveway | This is addressed in section 8.2 – 8.34 of this report. |
| <i>Highways and parking</i> | |
| Insufficient parking provision. | This is addressed in section 8.2 – 8.34 of this report. |
| Increased risks due to increased traffic and no separation of pedestrians and vehicles, new parking will disturb neighbours | This is addressed in section 8.2 – 8.34 of this report. |
| Traffic photos are misleading | This is addressed in section 8.2 – 8.34 of this report. |
| Parking overspill | This is addressed in section 8.2 – 8.34 of this report. |
| <i>Other material considerations</i> | |
| Problem of local infrastructure including school, public transport and healthcare | This is addressed in section 8.2 – 8.34 of this report. |
| No drainage and landscaping plans submitted | This is addressed in section 8.2 – 8.34 of this report. |
| Bins and cycle stores details are not clear | This is addressed in section 8.2 – 8.34 of this report. |

6.3 Cllr Steve O'Connell objected to the proposal on the ground of lack of car parking provision.

6.4 Hartley and District Resident's Association objected to the proposal on the grounds below:

- Design and scale is out of character
- The development should consider other approved development nearby

- CIL distribution issue
- More family units are needed. Housing mix is not adequate.
- Impact on animals and trees. No ecological and survey and landscaping plan.
- Inadequate car parking provision
- Parking stress survey lacks details including overflows from other approved development. No visibility display submitted.
- Lack details of temporary bin collection solution and types bins
- Overlooking impact
- No health impact assessment submitted
- Development fails to meet standard and Covid-19's 2 metres distance for private amenity space and child play space
- Render is not acceptable
- No SUDs submitted
- No CLP submitted

7.0 RELEVANT PLANNING POLICIES AND GUIDANCE

7.1 In determining any planning application, the Council is required to have regard to the provisions of its Development Plan so far as is material to the application and to any other material considerations and the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The Council's adopted Development Plan consists of the Consolidated London Plan 2015, the Croydon Local Plan 2018 and the South London Waste Plan 2012.

7.2 Government Guidance is contained in the National Planning Policy Framework (NPPF), issued in February 2019. The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay. The NPPF identifies a number of key issues for the delivery of sustainable development, those most relevant to this case are:

- Promoting sustainable transport;
- Delivering a wide choice of high quality homes;
- Requiring good design.

7.3 The main policy considerations raised by the application that the Committee are required to consider are:

7.4 Consolidated London Plan 2016

- 3.3 Increasing housing supply
- 3.4 Optimising housing potential
- 3.5 Quality and design of housing developments
- 3.8 Housing choice
- 5.1 Climate change mitigation
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction
- 5.12 Flood risk management
- 5.13 Sustainable drainage
- 5.16 Waste net self sufficiency
- 6.3 Assessing effects of development on transport capacity

- 6.9 Cycling
- 6.13 Parking
- 7.2 An inclusive environment
- 7.3 Designing out crime
- 7.4 Local character
- 7.6 Architecture
- 7.21 Woodlands and trees

7.5 Croydon Local Plan 2018

- SP2 - Homes
- SP6.3 - Sustainable Design and Construction
- DM1 - Housing choice for sustainable communities
- SP4 – Urban Design and Local Character
- DM10 - Design and character
- DM13 - Refuse and recycling
- DM16 – Promoting healthy communities
- DM18 - Heritage assets and conservation
- SP6 – Environment and Climate Change
- DM23 - Development and construction
- DM25 – Sustainable drainage systems and reducing floor risk
- SP7 – Green Grid
- DM27 – Biodiversity
- DM28 – Trees
- SP8 – Transport and communications
- DM29 - Promoting sustainable travel and reducing congestion
- DM30 - Car and cycle parking in new development

7.6 There is relevant Supplementary Planning Guidance as follows:

- London Housing SPG March 2016

7.7 Emerging London Plan

Whilst the emerging New London Plan is a material consideration, the weight afforded is down to the decision maker linked to the stage a plan has reached in its development. The Plan appears to be close to adoption. The Mayor's Intend to Publish version of the New London Plan is currently with the Secretary of State and no response had been submitted to the Mayor from the Secretary of State. Therefore, the New London Plan's weight has increased following on from the publication of the Panel Report and the London Mayor's publication of the Intend to Publish New London Plan. The Planning Inspectors' Panel Report accepted the need for London to deliver 66,000 new homes per annum (significantly higher than existing adopted targets), but questioned the London Plan's ability to deliver the level of housing predicted on "small sites" with insufficient evidence having been presented to the Examination to give confidence that the targets were realistic and/or achievable. This conclusion resulted in the Panel Report recommending a reduction in London's and Croydon's "small sites" target.

- 7.8 The Mayor in his Intend to Publish New London Plan has accepted the reduced Croydon's overall 10 year net housing figures from 29,490 to 20,790 homes, with the "small sites" reduced from 15,110 to 6,470 homes. Crucially, the lower windfall housing target for Croydon (641 homes a year) is not dissimilar to but slightly larger the current adopted 2018 Croydon Local Plan target of 592 homes on windfall sites each year.
- 7.9 It is important to note, should the Secretary of State support the Intend to Publish New London Plan, that the overall housing target in the New London Plan would be 2,079 new homes per annum (2019 – 2029) compared with 1,645 in the Croydon Local Plan 2018. Therefore, even with the possible reduction in the overall New London Plan housing targets, assuming it is adopted, Croydon will be required to deliver more new homes than our current Croydon Local Plan 2018 and current London Plan (incorporating alterations 2016) targets.
- 7.10 For clarity, the Croydon Local Plan 2018, current London Plan (incorporating alterations 2016) and South London Waste Plan 2012 remain the primary consideration when determining planning applications.

8.0 MATERIAL PLANNING CONSIDERATIONS

- 8.1 The main planning issues raised by the application that the Planning Committee are required are as follows:
1. Principle of development
 2. Townscape and visual impact
 3. Housing quality for future occupiers
 4. Residential amenity for neighbours
 5. Access and parking
 6. Sustainability and environment
 7. Trees and Biodiversity
 8. Other matters

Principle of Development

- 8.2 The London Plan and Croydon Local Plan identify appropriate use of land as a material consideration to ensure that opportunities for development are recognised and housing supply optimised. Approximately 30% of future housing supply may be delivered by windfall sites which provide sensitive renewal and intensification of existing residential areas and play an important role in meeting demand in the capital, helping to address overcrowding and affordability issues.
- 8.3 The site is located within an existing residential area and as such, providing that the proposal respects the character and appearance of the surrounding area and there are no other material impacts, a residential scheme such as this is in principle supported.

Housing mix

- 8.4 Policy DM1.2 of the Croydon Plan 2018 states: 'The Council will permit the redevelopment of residential units where it does not result in the net loss of 3 bedroom homes (as originally built) or the loss of homes smaller than 130m²'. The scheme proposes 8 units (2 x 3 bedroom-5 persons units, 1 x 2 bedroom-4 person units, 2 x 2 bedroom-3 person units and 3 x 1 bedrooms-2 persons units), so there is no net loss in family homes.
- 8.5 Policy SP2.7 seeks to ensure that a choice of homes is available in the borough that will address the borough's need for homes of different sizes and that this will be achieved by setting a strategic target for 30% of all new homes up to 2036 to have three or more bedrooms. 2b 4p units are considered smaller family homes within 3 years after adoption of Croydon Local Plan 2018. Two 3 bedroom units and one 2b 4p units are proposed, resulting in 36% family sized units. The proposal would provide a net gain in family accommodation. Therefore, the proposed mix of housing units is considered acceptable in principle.

Impact on the character and appearance of the area

- 8.6 London Plan Policy 3.4 seeks to optimise housing output taking into account local character, and Policies 7.4 and 7.6 require high quality architecture which contributes to the local architectural character. Policies SP2.2 and DM10.1 of the Local Plan require that land is used efficiently and seek to achieve a minimum height of 3 storeys for all new buildings. New development is required to respect the development pattern, layout and siting; scale, height, massing and density; and the appearance, existing materials and built and natural features of the surrounding area; the Place of Croydon in which it is located. It is important that developments draw on their local context to evolve the local character in a way which efficiently uses land.
- 8.7 The Suburban Design Guide 2019 sets out three approaches to character which are 'innovative and original', 'contemporary reinterpretation' and 'sympathetic and faithful'. The proposal is considered to fall in to the category of 'contemporary reinterpretation' design.
- 8.8 The proposal would include demolition of existing property and erection of a three storey building with accommodation at roof level. The existing dwelling is not statutorily or locally listed and therefore there is no objection to its demolition. The proposal would have sloping roof and two gable structures at front which is considered to respect the character of the existing properties and surrounding area. It would have balconies at the rear. The nature of this part of Haydn Avenue is defined by buildings which various styles. Details of buildings in the immediate surrounding area include sloping roof, front gables, tiled roofs and brick/render walls. The proposed design is considered to respect the wider area, with the appearance from the roadside.
- 8.9 Proposed materials would include brick and tile roof. Details of all external facing materials and, fenestrations and finishes will be controlled via condition.



Figure 3: Proposed Front Elevation



Figure 4: Proposed Rear Elevation

8.10 To the front of the building, the existing garage and steps will be removed and the site, which slopes up to the rear, being levelled. Car parking would be at the front of the building with the bike and bin stores located beyond them at the same level. Whilst forecourts are generally soft landscaped and sloped, the proposal includes adequate

space at the front boundary to provide soft landscaping and screen the parking spaces. Access in to the building is provided step free between the bin and bike store in to a lower ground floor, or via steps to the upper ground floor. The building internally is served by a lift. To the rear communal amenity space is provided at the same level as the upper ground floor and then the site slopes up to the original ground levels. The retaining walls to the front of the site would be a maximum of a storey and, subject to details which can be secured by condition, their appearance would be acceptable. The provision of communal space and play space at upper first floor level also requires the ground level to be reduced and details of retaining walls would also be secured by condition. There will also be soft boundary treatment and green walls to the retaining walls at the side and front boundary separating the site and the main road.

- 8.11 Overall the scheme is considered to be a sensitive intensification of the site which makes the best use of the site, creates a homogenous development, which is of an appropriate scale and that respects the existing character of the wider area. It is considered acceptable subject to conditions.

Housing Quality for Future Occupiers

- 8.12 All the units would comply with requirements set out by the Nationally Described Space Standards (NDSS) in relation to units, bedrooms and floor to ceiling heights. All units would be afforded adequate private amenity spaces. Most of proposed habitable windows and all private amenity space would face west or east. The scheme includes two lower ground floor units which would be served by lightwells to front and rear. A BRE sunlight and daylight assessment shows that they would receive acceptable daylight and sunlight and that the lightwells comply with guidance in the SDG for access to light and outlook. To protect privacy of rear windows and private amenity space at lower and upper ground floor levels, the rear balustrades at ground floor level at side and rear elevations need to be obscured glazed up to 1.7 metres from the floor level, which will be conditioned.
- 8.13 The proposed building would have level access internally to all floors as well as externally from the front of the building and to the rear communal space. It is noted that the large part of the green space at the rear of the application site is constrained by topography. A child play space/ outdoor communal space is shown to be provided at the rear of the building which would be approx. 90 sqm. The area provided would meet requirement in table 6.2 of policy DM10.4 of Croydon Local Plan 2018. A detailed landscaping scheme is proposed to be secured by condition.
- 8.14 Pots 1 (lower ground level) and 3 (upper ground level) are potentially adaptable for M4 (3) users, taking into account their overall size and all units can comply with M4 (2).
- 8.15 The development is considered to result in an acceptable quality development including 2 x 3 bedroom family units and 1 smaller family unit as well as all units having acceptable private amenities and capacity to provide child playspace and communal space which overall provide an acceptable standard of accommodation for future occupiers.

Residential Amenity for Neighbours

- 8.16 The properties that have the potential to be most affected are the adjoining occupiers at 13 and 17 Haydn Avenue. 10 and 11 Highland Road are located to the rear and 20, 22 and 24 Haydn Avenue are located opposite on Haydn Avenue. Figure 4 below indicates locations of the neighbouring properties.

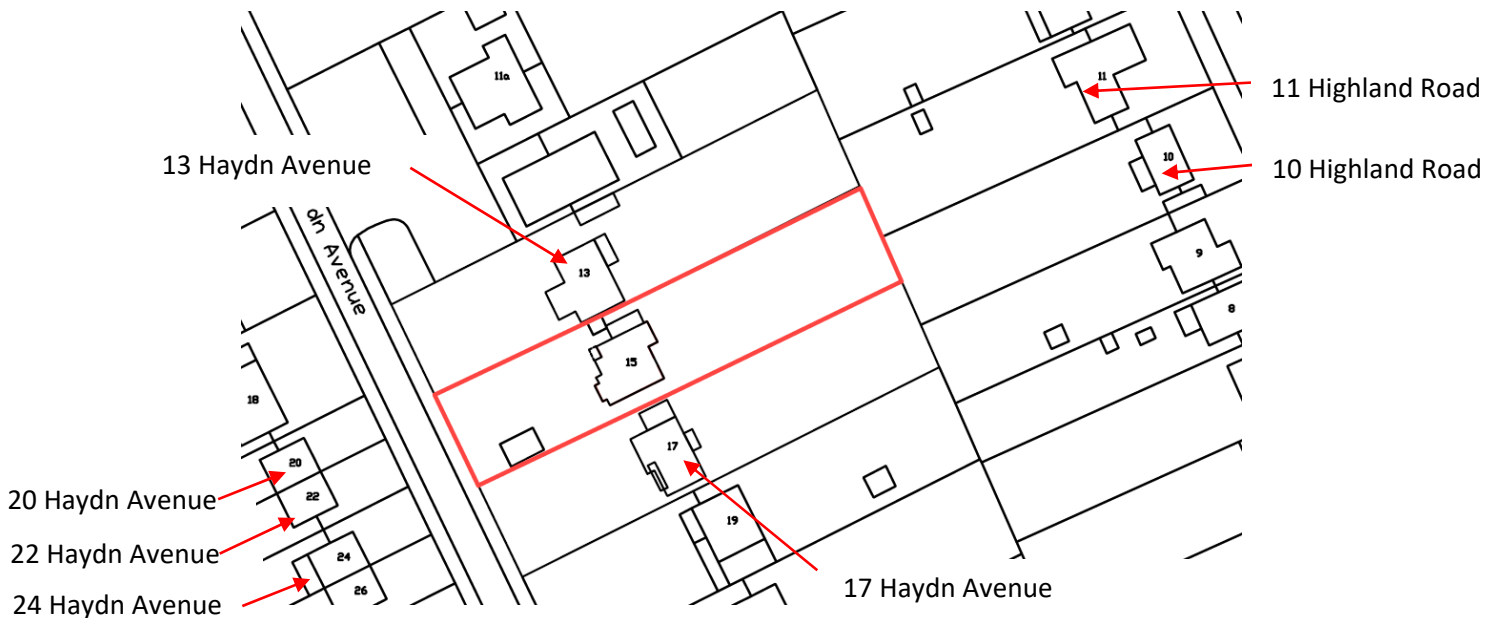


Figure 5: Proposed Block Plan

10 and 11 Highland Road and 20, 22 and 24 Haydn Avenue

- 8.17 There would be more than 30 metres between the proposed building and the front/rear elevations of the four neighbouring properties above. Owing to this significant separation between the built forms and existing landscaping, overall the proposal is not considered to impact upon the amenities of these adjoining occupiers.

13 Haydn Avenue

- 8.18 The proposal will be pushed back from the side boundary by 1m and it would pass 45 degree rule of thumb. No 13 has large rear facing windows and so good light and outlook. Given the land levels and orientation, the proposal is not considered to adversely affect this properties light and outlook. The side windows at first floor level will need to be non-openable and obscured glazed up to 1.7 metres from the internal floor height to restrict overlooking, which will be conditioned. There will be side privacy screening proposed at the balconies at first and second floor levels.
- 8.19 Overall it is therefore considered that the amenities of these adjoining occupiers would not be detrimentally affected in terms of sunlight, daylight, outlook and overlooking.

17 Haydn Avenue

- 8.20 The proposal will be pushed back from the side boundary by 1m and it would pass 45 degree rule of thumb for the rear windows. The side windows at first floor level will need to be non-openable and obscured glazed up to 1.7 metres from the internal floor height to restrict overlooking, which will be conditioned. There will be side privacy screening proposed at the balconies at first and second floor levels. There is a side window at 17 facing 15 at first floor level. The proposal would have approx. 3.5m distance between the window and the proposed roof is angled further away from that window. The window is located at south-west side of the proposal. The Suburban Design Guide makes clear that limited weight should be given to side facing windows. The proposal would have some impact on the light and outlook of this window. In the context of the guidance in the Suburban Design Guide and as there would be no significant impact on rear facing windows, the overall impact on this unit is considered to be acceptable.
- 8.21 Overall it is therefore considered that the amenities of these adjoining occupiers would not be detrimentally affected in terms of sunlight, daylight, outlook and overlooking.

Access and Parking

- 8.22 The site falls within a PTAL of 1a, considered to be poor. The London Plan and Policy DM30 of CLP2018 sets out that maximum car parking standards for residential developments based on public transport accessibility levels and local character. 1-2 bedroom units should provide a maximum of less than 1 space per unit and 3 bedroom units up to 1.5 spaces per unit. Policy DM30 also states that in areas of good public transport (PTAL 4 and above) the impact of car parking in any development should be reduced.
- 8.23 4 off street parking spaces are provided for the site including a disabled parking space. The applicant carried out a parking stress survey in accordance with Lambeth Methodology. There are 100 unrestricted parking spaces in the roads surveyed surrounding the site. On 11 September 2019 there were 53 cars parked equating to a parking stress of 53% on Haydn Avenue. On 12 September 2019 there were 57 cars parked equating to a parking stress of 57%. Overspill from the site at worst case would be 4 cars on a 1:1 car/unit ratio, which would take into account the minimum level of available parking spaces (43 spaces as set out above) would not have an adverse impact on the availability of on-street parking.
- 8.24 There are noted to be 2 developments within 500m walking distance of 15 Haydn Avenue (9b, which has received approval for 9 flats and 11 Haydn Avenue, which is currently under consideration). Both of these developments have been approved/proposed with a 1 for 1 parking ratio and therefore there is not considered to be a cumulative detrimental impact caused in relation to on-street parking availability owing to these three developments.
- 8.25 Visibility sightlines have been added on the drawing which are acceptable. Electric vehicle charging points need to be installed in the parking area and this can be secured by way of a condition.

- 8.26 Cycle storage facilities would comply with the London Plan (which would require 16 spaces). The cycles would be stored in the front of the building which would be accessible from the front entrance. This is considered an appropriate approach to provide these facilities.
- 8.27 The proposed location of refuse store is considered acceptable in terms of distance to the front entrance of the building, less than 20m from the road which is considered acceptable for refuse collection. The slope would not exceed 1:12 for collection. The volume of the proposed waste stores is considered acceptable. It will provide sufficient space for bulky waste disposal.
- 8.28 Taking into account the sites location within a residential area, a Construction Logistics Plan (CLP) will be required via condition. Condition survey will need to be submitted for approval by the LPA prior to commencement of works.

Environment and sustainability

- 8.29 Conditions can be attached to ensure that a 19% reduction in CO2 emissions over 2013 Building Regulations is achieved and mains water consumption would meet a target of 110 litres or less per head per day.
- 8.30 In terms of drainage, the road area in front of the site is in surface water area and the site itself is not in flood risk zones and surface water area. The applicant submitted a SUDs report proposing mitigation methods including permeable paving and soakaways. Therefore it will not have significant impact on drainage.

Trees and Biodiversity

- 8.31 The proposal has been assessed in relation to its impact upon existing trees. 4 trees will be removed and 3 trees will have works carried out. A landscape scheme is requested to provide an overall improvement to the local landscape including 4 replacement of trees. The landscape plan should also provide further detail of new utilities i.e. installation of service routes. The landscape scheme will be conditioned.
- 8.32 T12 and 13 form a continuous line of Lime Pollards on the street near the site (in Council ownership). The applicants' Arboricultural Impact Assessment stated that the Limes will be re-pollarded / crown lifted to 5m prior to any works commencing, to avoid any conflict with low hanging branches. Council's Street Tree Officer advised that the removal of the smaller, lower growth (epicormic) up to a height of 5m is acceptable as long as a qualified tree surgeon carries out the work. However pollarding the two trees back to previous pollard knuckles would not be acceptable. Therefore, conditions are recommended to ensure no crown damage by ensuring that cranes lift materials up and over the trees safety if required - such details to be included in the Construction Logistics Plan.
- 8.33 With regard to site access and soil compaction, the small soil/grass verges each side of the drop kerb should be protected. No excavation on hard Highway land or on the soft verges and no storage or vehicle/machine crossing over the soft highway verge. These areas should be protected against such occurrences. This will be secured via condition.

8.34 There are concerns raised by public about biodiversity. The site is a residential property in an adequate state of repair. As such, it is not considered likely to support protected species' habitats. Whilst there would be some overall loss of landscaped space, it is not considered to be high in biodiversity value. Conditions attached to the landscaping will ensure that areas of biodiverse planting are provided, potentially at the very rear of the site, which is less likely to be used by residents.

Other matters

8.35 Representations have raised concerns regarding local infrastructure and Community Infrastructure Levy (CIL). The development will be liable for a charge under the CIL. This payment will contribute to delivering infrastructure to support the development of the area, such as local schools.

Conclusion

8.36 The principle of development is considered acceptable within this area. The design of the scheme is of an acceptable standard and would not harm the visual amenities of the area or adjoining occupiers. The proposed impact on the highway network and parking provision is acceptable. The proposal is therefore overall considered to be in accordance with the relevant policies.

8.37 All other relevant policies and considerations, including equalities, have been taken into account.

PLANNING COMMITTEE AGENDA

PART 8: Other Planning Matters

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning matters, other than planning applications for determination by the Committee and development presentations.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 FURTHER INFORMATION

- 2.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

3 PUBLIC SPEAKING

- 3.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

4 BACKGROUND DOCUMENTS

- 4.1 For further information about the background papers used in the drafting of the reports in part 7 contact Mr P Mills (020 8760 5419).

5 RECOMMENDATION

- 5.1 The Committee to take any decisions recommended in the attached reports.

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Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Bernard Weatherill House
8 Mint Walk
Croydon CR0 1EA

DEVELOPMENT MANAGEMENT - PLACE DEPARTMENT

DELEGATED PLANNING DECISIONS (Ward Order)

The following is a list of planning applications determined by the Head of Development Management under delegated powers since the last meeting of the Planning Committee.

Note: This list also includes those decisions made by Planning Committee and released in this time frame as shown within the level part of each case.

NOTE: The cases listed in this report can be viewed on the Council's Website.

Please note that you can also view the information supplied within this list and see more details relating to each application (including the ability to view the drawings submitted and the decision notice) by visiting our Online Planning Service at the Croydon Council web site (www.croydon.gov.uk/onlineplans).

Once on the Council web page please note the further information provided before selecting the Public Access Planning Register link. Once selected there will be various options to select the Registers of recently received or decided applications. Also; by entering a reference number if known you are able to ascertain details relating to a particular application. (Please remember to input the reference number in full by inserting any necessary /'s or 0's)

| | | | |
|------------|---|--------|--------------------------|
| Ref. No. : | 20/02009/FUL | Ward : | Addiscombe East |
| Location : | Land Rear Of 30 Northampton Road Fronting Carlyle Road Croydon | Type: | Full planning permission |
| Proposal : | Demolition of existing garage. Erection of (replacement) two storey detached dwellinghouse with associated car parking, waste and cycle stores and amenity space. | | |

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Date Decision: 17.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02037/FUL

Location : Cherrywood
4 Cheyne Walk
Croydon
CR0 7HG

Ward : **Addiscombe East**

Type: Full planning permission

Proposal : Conversion of dwellinghouse to form 4 flats in association with alterations and erection of two storey side/rear extension and single storey rear extension, and provision of associated refuse storage and cycle storage enclosures, and provision of associated off-street parking.

Date Decision: 15.09.20

Permission Refused

Level: Planning Committee - Minor Applications

Ref. No. : 20/03334/HSE

Location : Lamorran
11 Cheyne Walk
Croydon
CR0 7HH

Ward : **Addiscombe East**

Type: Householder Application

Proposal : Erection of single storey side/rear extension

Date Decision: 22.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03413/GPDO

Location : 13 Teevan Road
Croydon
CR0 6RP

Ward : **Addiscombe East**

Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 4.5 metres from the rear wall of the original house with a height to the eaves of 2.66 metres and a maximum height of 3.8 metres

Date Decision: 15.09.20

Prior Approval No Jurisdiction (GPDO)

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : Discharge of condition 38 (Secure by Design and CCTV) attached to planning permission 17/05046/FUL for the Erection of two 25 storey towers (plus plant) and a single building ranging from 5 to 9 storeys (plus plant) to provide a total of 445 residential units, with flexible commercial, retail and community floorspace (A1/A2/A3/A4/B1a/D1/D2) at ground and first floor level of the two towers and associated amenity, play space, hard and soft landscaping, public realm, cycle parking and car parking with associated vehicle accesses

Date Decision: 21.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03110/FUL
Location : 72 Dartnell Road
Croydon
CR0 6JA
Proposal : Erection of a single storey rear extension

Ward : **Addiscombe West**
Type: Full planning permission

Date Decision: 15.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03157/FUL
Location : 14 Stretton Road
Croydon
CR0 6EN
Proposal : Change of use from C4 to a large HMO for 8 people (sui generis)

Ward : **Addiscombe West**
Type: Full planning permission

Date Decision: 14.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03239/LP
Location : 129 Addiscombe Court Road
Croydon
CR0 6TX
Proposal : Lawful Development Application Section 192 (proposed) for Loft conversion including formation dormer in rear roof slope and insertion of two rooflights in front roof slope.

Ward : **Addiscombe West**
Type: LDC (Proposed) Operations edged

Date Decision: 16.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Ref. No. : 20/03261/HSE **Ward : Addiscombe West**
Location : 4 Addiscombe Court Road **Type: Householder Application**
Croydon
CR0 6TQ
Proposal : Erection of single storey side/rear extension
Date Decision: 17.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03367/FUL **Ward : Addiscombe West**
Location : 132 Davidson Road **Type: Full planning permission**
Croydon
CR0 6DE
Proposal : Alterations to the dwelling to include new window/door installation in side/rear elevation
Date Decision: 18.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03752/HSE **Ward : Addiscombe West**
Location : 214 Morland Road **Type: Householder Application**
Croydon
CR0 6NF
Proposal : Erection of single storey side/rear extension
Date Decision: 22.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/01928/FUL **Ward : Bensham Manor**
Location : 91 Beverstone Road **Type: Full planning permission**
Thornton Heath
CR7 7LX
Proposal : Construction of a two-bedroom house (self build scheme with facilities to cater for a disabled person) adjacent to 91 Beverstone Road.
Date Decision: 17.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03218/GPDO **Ward : Bensham Manor**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 347 Whitehorse Road
Croydon
CR0 2HS
Type: Prior Appvl - Class M A1/A2 to dwelling

Proposal : Alterations and change of use of ground floor Shop (A1) to Residential (C3) flat

Date Decision: 16.09.20

Approved (prior approvals only)

Level: Delegated Business Meeting

Ref. No. : 20/03289/LP
Location : 329 Bensham Lane
Thornton Heath
CR7 7ER
Ward : **Bensham Manor**
Type: LDC (Proposed) Operations edged
Proposal : Erection of single storey rear extension; erection of dormer extension in rear roofslope and installation of rooflights in front roofslope

Date Decision: 18.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03310/GPDO
Location : 347 Whitehorse Road
Croydon
CR0 2HS
Ward : **Bensham Manor**
Type: Prior Appvl - Class B1(c) to Dwelling
Proposal : Change of Use lower ground floor for ancillary storage / office (Class B1(c)) to residential (C3) flat

Date Decision: 18.09.20

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 20/03345/FUL
Location : 268 Melfort Road
Thornton Heath
CR7 7RR
Ward : **Bensham Manor**
Type: Full planning permission
Proposal : Change of use from a C3 (residential) to a small HMO (C4), for no more than 6 residents.

Date Decision: 22.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03378/HSE
Ward : **Bensham Manor**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 20 St Stephen's Crescent
Thornton Heath
CR7 7NP
Type: Householder Application

Proposal : Alterations to roof including hip to gable end extension and erection of dormer extension in rear roofslope.

Date Decision: 16.09.20

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 20/03534/GPDO
Location : 101 Warwick Road
Thornton Heath
CR7 7NN
Ward : **Bensham Manor**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of single storey rear extension projecting out 6 metres from the rear of the original dwellinghouse with a maximum height of 3 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/03587/GPDO
Location : 22 Goston Gardens
Thornton Heath
CR7 7NQ
Ward : **Bensham Manor**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 2.65 metres and a maximum height of 4 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/03651/GPDO
Location : 19 Malvern Road
Thornton Heath
CR7 7LU
Ward : **Bensham Manor**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 4.5 metres from the rear wall of the original house with a height to the eaves of 2.75 metres and a maximum height of 3 metres

Date Decision: 21.09.20

Ref. No. : 20/03558/GPDO
Location : 298 Mitcham Road
Croydon
CR0 3JN

Ward : Broad Green
Type: Prior Appvl - Class A Larger
House Extns

Proposal : Erection of a single storey rear extension projecting out 4 metres from the rear wall of the original house with a height to the eaves of 2.96 metres and a maximum height of 3.66 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/03654/GPDO
Location : 1B Stanton Road
Croydon
CR0 2UN

Ward : Broad Green
Type: Prior Appvl - Class A Larger
House Extns

Proposal : Erection of a single storey rear extension projecting out 4 metres from the rear wall of the original house with a height to the eaves of 2.8 metres and a maximum height of 3 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/04256/PDO
Location : Electricity Board Depot
Euston Road
Croydon
CR0 3NS

Ward : Broad Green
Type: Observations on permitted
development

Proposal : The proposed upgrade consists of the replacement of 3No. existing antennas to be replaced by 6No. new antennas, internal cabin works and ancillary works thereto. option has been chosen as it utilises an existing installation which will improve coverage with minimal changes to the equipment, reducing the visual impact on the surrounding area as far as technically possible.

Date Decision: 22.09.20

No Objection

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Level: Delegated Business Meeting

Ref. No. : 20/02179/DISC **Ward : Coulsdon Town**
Location : Car Park And Adjoining Land Lion Green Type: Discharge of Conditions
Road, Coulsdon, CR5 2NL
Proposal : Discharge of conditions 18 (tree protection measures) and 27 (Construction Logistics Plan) attached to planning permission 17/06297/FUL for the redevelopment of site to provide 5 x five, six and seven storey buildings providing 157 units (96 one bedroom, 42 two bedroom and 19 three bedroom flats): provision of vehicular access, residential and town centre car parking spaces, hard and soft landscaping works and new private and public amenity space.

Date Decision: 18.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/02228/HSE **Ward : Coulsdon Town**
Location : 8 Downs Road Type: Householder Application
Coulsdon
CR5 1AA
Proposal : Alterations, erection of single storey side and rear extension

Date Decision: 24.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/02282/DISC **Ward : Coulsdon Town**
Location : 37 Smitham Downs Road Type: Discharge of Conditions
Purley
CR8 4NG

Proposal : Condition 11 (drainage), Condition 12 (play space) and Condition 17 (emissions) associated with Planning Permission (19/00235/FUL) granted for Conversion and extension of existing house to form three flats (Class C3), demolition of garage and erection of three storey building to form 6 flats (Class C3) and associated car parking, cycle and refuse storage.

Date Decision: 16.09.20

Part Approved / Part Not Approved

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Ref. No. : 20/02768/FUL

Ward : Coulsdon Town

Location : Varis Court
8 Station Approach Road
Coulsdon

Type: Full planning permission

Proposal : Change of use from (B1 Use Class) at ground, first and second floor into 6 self-contained flats (C3 Use Class); external alterations and refuse and cycle provision.

Date Decision: 16.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02921/CONR

Ward : Coulsdon Town

Location : 175 Chipstead Valley Road
Coulsdon
CR5 3BR

Type: Removal of Condition

Proposal : Variation of condition 1 (approved drawings) attached to planning permission 19/05247/CONR for Demolition of the existing building and the erection of a two-storey building including accommodation within the roof to form 7 x self-contained flats (2 x 1 bedroom, 4 x 2 bedroom and 1 x 3 bedroom) with associated car parking, relocated access, hard and soft landscaping, refuse and cycle stores and original consent 18/02720/FUL.

Date Decision: 15.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03166/LP

Ward : Coulsdon Town

Location : 8 Clifton Road
Coulsdon
CR5 2DU

Type: LDC (Proposed) Operations edged

Proposal : Alterations to outbuilding (garage) and use of garage as ancillary residential accommodation

Date Decision: 18.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03241/FUL

Ward : Coulsdon Town

Location : 36 Fairdene Road
Coulsdon
CR5 1RB

Type: Full planning permission

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : Approval of details pursuant to condition 36 (Signage) of planning permission 17/04201/FUL, for: Redevelopment of the site to provide a part 38 and part 44 storey building with 546 residential flats, with the ground floor to incorporate a flexible space including retail (Class A1), cafe (Class A3), business space (Class B1) and gallery space (Class D1) uses with basement accommodating parking spaces, cycle storage and refuse storage, and associated hard and soft landscaping.

Date Decision: 18.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/01803/DISC

Ward : Fairfield

Location : 45 High Street
Croydon
CR0 1QD

Type: Discharge of Conditions

Proposal : Discharge of Condition 4 - Pipes and Vents - attached to Planning Permission 19/05349/FUL for Internal alterations, use of first and second floors as house of multiple occupation (HMO) with 8 rooms, provision of associated refuse and cycle storage at ground.

Date Decision: 25.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/01807/DISC

Ward : Fairfield

Location : 45 High Street
Croydon
CR0 1QD

Type: Discharge of Conditions

Proposal : Discharge of Condition 2 - Pipes and Vents - attached to Listed Building Consent 19/05350/LBC for Internal alterations, use of first and second floors as house of multiple occupation (HMO) with 8 rooms, provision of associated refuse and cycle storage at ground floor.

Date Decision: 25.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03249/PA8

Ward : Fairfield

Location : O/S Builders Yard, 18 Lansdowne Road
Croydon
CR0 2BD

Type: Telecommunications Code
System operator

Proposal : Proposed 18m tall telecommunications pole with 3no cabinets and ancillary works

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Date Decision: 15.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03322/GPDO
Location : 138 - 140 North End
Croydon
CR0 1UE

Ward : Fairfield
Type: Prior Appvl - Class M A1/A2 to dwelling

Proposal : Change of Use of part of basement floor from a retail unit (A1) to one dwelling (C3)

Date Decision: 21.09.20

(Approval) refused

Level: Delegated Business Meeting

Ref. No. : 20/03338/ADV
Location : 12 Norfolk House
Wellesley Road
Croydon
CR0 1LH

Ward : Fairfield
Type: Consent to display advertisements

Proposal : Installation of 1 x internally illuminated fascia sign and 1 x non-illuminated projecting sign

Date Decision: 22.09.20

Consent Granted (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 20/03570/NMA
Location : 6-44 Station Road And Queens Hall Car
Park, Poplar Walk, Croydon (St Michaels
Square)

Ward : Fairfield
Type: Non-material amendment

Proposal : Non-material amendment to amend the description of the development (to omit details on commercial floorspace and number of units provided).

Date Decision: 17.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03579/DISC

Ward : Fairfield

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : Land Adjoining East Croydon Station, Type: Discharge of Conditions
Bounded By George Street (Including 1-5
Station Approach), Dingwall Road, (Including
The Warehouse Theatre), Lansdowne Road
And Including Land To The North Of
Lansdowne Road, Croydon

Proposal : Discharge of Condition 9 (BREEAM pre-assessment) in respect of Plot B04/B05 attached to planning permission 20/01503/CONR for development without compliance with conditions 7 (approved plans), 71 (B04 wind mitigation), 72 (B04 design details), 73 (B05 reveal depths) and 74 (B05 design details) subject to which previous planning permission 11/00631/P (The erection of five buildings with a minimum floor area of 53,880 sq metres and maximum of 62,080 sq metres to provide a minimum of 550 and a maximum of 625 residential units; erection of up to 6 buildings for class B1 use for a minimum of 88,855 sq metres and a maximum of 151, 420 sq metres; provision of a minimum of 7285 sq metres and a maximum of 10,900 sq metres of retail (class A1-A5 floorspace); provision of a maximum of 400 sq metres of community use (class D1); provision of a replacement theatre of 200 seats; provision of energy centre and estate management facilities; formation of vehicular accesses and provision of pedestrian routes public open space and car parking not to exceed 256 parking spaces) was granted to allow for a revised office building across plots B04 and B05. (This application is accompanied by an Environmental Statement Addendum)

Date Decision: 24.09.20

Part Approved / Part Not Approved

Level: Delegated Business Meeting

Ref. No. : 20/03602/DISC

Ward : **Fairfield**

Location : Land Adjoining East Croydon Station,
Bounded By George Street (Including 1-5
Station Approach), Dingwall Road, (Including
The Warehouse Theatre), Lansdowne Road
And Including Land To The North Of
Lansdowne Road, Croydon

Type: Discharge of Conditions

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : Discharge of Condition 21 (contaminated land) in respect of Plot B04/B05 attached to planning permission 20/01503/CONR for development without compliance with conditions 7 (approved plans), 71 (B04 wind mitigation), 72 (B04 design details), 73 (B05 reveal depths) and 74 (B05 design details) subject to which previous planning permission 11/00631/P (The erection of five buildings with a minimum floor area of 53,880 sq metres and maximum of 62,080 sq metres to provide a minimum of 550 and a maximum of 625 residential units; erection of up to 6 buildings for class B1 use for a minimum of 88,855 sq metres and a maximum of 151, 420 sq metres; provision of a minimum of 7285 sq metres and a maximum of 10,900 sq metres of retail (class A1-A5 floorspace); provision of a maximum of 400 sq metres of community use (class D1); provision of a replacement theatre of 200 seats; provision of energy centre and estate management facilities; formation of vehicular accesses and provision of pedestrian routes public open space and car parking not to exceed 256 parking spaces) was granted to allow for a revised office building across plots B04 and B05. (This application is accompanied by an Environmental Statement Addendum)

Date Decision: 18.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/04125/DISC

Ward : Fairfield

Location : Electric House
3 Wellesley Road
Croydon
CR0 2AG

Type: Discharge of Conditions

Proposal : Discharge of Condition 3a (Written Scheme of Investigation) attached to listed building consent 20/02814/LBC for the change of use from B1 (Offices) to D1 (Non-Residential Institution - University). External alterations including repairs to existing elevations, structures within courtyard and replacement of plant to roof along with internal alterations.

Date Decision: 25.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/04234/DISC

Ward : Fairfield

Location : Land Adjoining East Croydon Station,
Bounded By George Street (Including 1-5
Station Approach), Dingwall Road, (Including
The Warehouse Theatre), Lansdowne Road
And Including Land To The North Of
Lansdowne Road, Croydon

Type: Discharge of Conditions

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Level: Delegated Business Meeting

Ref. No. : 20/03219/LP **Ward : Kenley**
Location : 36 New Barn Lane Type: LDC (Proposed) Operations
Whyteleafe edged
CR3 0EX
Proposal : Erection of hip to gable and rear dormer extension, rooflights
Date Decision: 16.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03294/HSE **Ward : Kenley**
Location : 20 Beckett Avenue Type: Householder Application
Kenley
CR8 5LT
Proposal : Demolition of existing single storey rear extension, alterations and erection of a
single/two storey rear extension
Date Decision: 14.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03335/GPDO **Ward : Kenley**
Location : 310 Old Lodge Lane Type: Prior Appvl - Class M A1/A2 to
Purley dwelling
CR8 4AQ
Proposal : Alterations and change of use of Restaurant (A3) to Residential (C3) flat
Date Decision: 22.09.20

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 20/03482/LP **Ward : Kenley**
Location : 14 Beverley Road Type: LDC (Proposed) Operations
Whyteleafe edged
CR3 0DT
Proposal : Loft conversion including hip to gable extension and rear dormer
Date Decision: 25.09.20

Lawful Dev. Cert. Granted (proposed)

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : The removal of 3 x antenna from the rooftop to be replaced by the deployment of 6 x new antenna situated on both existing and new steelwork support systems on the rooftop. The deployment of 1 x new Quadpod at Sector 1. The installation of 6 x RRUs to the rear of antenna on support poles, the installation of 1 x GPS Module at Sector 3. The removal of 1 x JSC cabinet to be replaced by 1 x Flat pack rack and 1 x Eltek 4th Gen PSU to be installed on existing grillage.

Date Decision: 17.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/01190/HSE
Location : 176 Homestead Way
Croydon
CR0 0DW

Ward : **New Addington South**
Type: Householder Application

Proposal : Erection of a single storey side and rear extension and enlarged front porch.

Date Decision: 14.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03250/GPDO
Location : 6 Bothwell Road
Croydon
CR0 0NR

Ward : **New Addington South**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 2.9 metres and a maximum overall height of 2.9 metres

Date Decision: 15.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/03383/PA8

Ward : **New Addington South**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : Opposite Amenity Land At 122 - 140 Type: Telecommunications Code
King Henry's Drive System operator
Croydon
CR0 0HG

Proposal : Proposed telecommunications installation: Proposed 18m Phase 8 Monopole C/W
wraparound Cabinet at base and associated ancillary works.

Date Decision: 21.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/02063/HSE Ward : **Norbury Park**
Location : 6 Dickenswood Close Type: Householder Application
Upper Norwood
London
SE19 3LA

Proposal : Alterations including, roof lights in the rear roof slope, construction of side elevation
window at first floor level, construction of Juliet balcony at rear of first floor and alterations
to ground floor rear French doors.

Date Decision: 22.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03150/FUL Ward : **Norbury Park**
Location : 5 Buckingham Gardens Type: Full planning permission
Thornton Heath
CR7 8AT

Proposal : Alterations including, the erection of a two storey side/rear extension and a single storey
rear/side extension, and the conversion of a single dwelling into 3 separate units, with
associated works.

Date Decision: 16.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03207/LP Ward : **Norbury Park**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 35 Christian Fields
Norbury
London
SW16 3JY
Type: LDC (Proposed) Operations edged
Proposal : Proposed side and rear roof extensions with front rooflight

Date Decision: 15.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03481/GPDO
Location : 36 Norbury Close
Norbury
London
SW16 3ND
Ward : **Norbury Park**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 4 metres from the rear wall of the original house with a height to the eaves of 2.9 metres and a maximum height of 3.10 metres

Date Decision: 15.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/03652/GPDO
Location : 63 St Oswald's Road
Norbury
London
SW16 3SA
Ward : **Norbury Park**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum overall height of 3 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/03105/DISC
Ward : **Norbury And Pollards Hill**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 68 Norbury Crescent
Norbury
London
SW16 4LA

Type: Discharge of Conditions

Proposal : Details pursuant to the discharge of condition 4 (landscaping, bins and balconies) of planning permission 19/06018/FUL for 'Conversion of the house into 3no flats involving rear ground floor, first floor and roof extensions'

Date Decision: 16.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03230/DISC
Location : 1455 London Road
Norbury
London
SW16 4AQ

Ward : **Norbury And Pollards Hill**
Type: Discharge of Conditions

Proposal : Discharge of Condition 06 attached to planning permission (19/04552/FUL) for alterations and installation of new shopfront and awning, change of use from A2 (Estate Agents) to A1/A3 (Cafe/Shop)

Date Decision: 16.09.20

Not approved

Level: Delegated Business Meeting

Ref. No. : 20/03391/FUL
Location : 104 Pollards Hill South
Norbury
London
SW16 4ND

Ward : **Norbury And Pollards Hill**
Type: Full planning permission

Proposal : Hip to gable roof extension and rear dormer window with Juliet balcony

Date Decision: 24.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03544/GPDO
Location : 3 Briar Road
Norbury
London
SW16 4LT

Ward : **Norbury And Pollards Hill**
Type: Prior Appvl - Class A Larger House Extns

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : Erection of a single storey rear extension projecting out 4.5 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum height of 3.15 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/02513/HSE
Location : 94 Ellis Road
Coulson
CR5 1BZ
Proposal : Alterations, erection of two storey rear extension
Ward : Old Coulsdon
Type: Householder Application

Date Decision: 16.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02587/HSE
Location : 7 Byron Avenue
Coulson
CR5 2JS
Proposal : Erection of two storey side and single storey rear extensions, alterations to front door, porch and openings
Ward : Old Coulsdon
Type: Householder Application

Date Decision: 25.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03041/FUL
Location : 6 The Parade, 258 Coulsdon Road
Coulson
CR5 1EA
Proposal : Change of use from Sui Generis to A1.
Ward : Old Coulsdon
Type: Full planning permission

Date Decision: 25.09.20

Permission Granted

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Level: Delegated Business Meeting

Ref. No. : 20/03055/HSE
Location : 43 Bradmore Way
Coulsdon
CR5 1PF

Ward : Old Coulsdon
Type: Householder Application

Proposal : Alterations, erection of a two storey side extension, single storey rear extension and front porch

Date Decision: 24.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03124/HSE
Location : 119 Chaldon Way
Coulsdon
CR5 1DN

Ward : Old Coulsdon
Type: Householder Application

Proposal : Alterations to the rear garden levels and surface. Construction of a rear retaining wall.

Date Decision: 24.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03233/HSE
Location : 53 Stoneyfield Road
Coulsdon
CR5 2HQ

Ward : Old Coulsdon
Type: Householder Application

Proposal : Erection of a single storey side and rear extension.

Date Decision: 25.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03252/HSE
Location : 66 Taunton Lane
Coulsdon
CR5 1SF

Ward : Old Coulsdon
Type: Householder Application

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : Part demolition of single storey extension. Erection of a two storey rear addition as a replacement . Construction of mono pitched roofs to part retained single storey extension and garage. Conversion of the existing garage to form habitable accommodation.
Erection of a new front entrance porch.

Date Decision: 17.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03369/HSE
Location : 7 Marlpit Lane
Coulsdon
CR5 2HF
Proposal : Erection of an enlarged front porch.
Ward : Old Coulsdon
Type: Householder Application

Date Decision: 23.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03385/PA8
Location : O/S The Tudor Rose Public House
270 Coulsdon Road
Coulsdon
CR5 1EB
Proposal : Proposed telecommunications installation: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.
Ward : Old Coulsdon
Type: Telecommunications Code System operator

Date Decision: 18.09.20

(Approval) refused

Level: Delegated Business Meeting

Ref. No. : 20/03434/GPDO
Location : 78 Mead Way
Coulsdon
CR5 1PJ
Proposal : Erection of a single storey rear extension projecting out 4.05 metres from the rear wall of the original house with a height to the eaves of 2.9 metres and a maximum height of 3.10 metres
Ward : Old Coulsdon
Type: Prior Appvl - Class A Larger House Extns

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Date Decision: 15.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 20/04028/LP

Ward : Old Coulsdon

Location : 37 Coulsdon Road
Coulsdon
CR5 2LJ

Type: LDC (Proposed) Operations
edged

Proposal : Lawful Development Certificate (Proposed) for erection of dormer on the side roof slope.

Date Decision: 24.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/04104/LP

Ward : Old Coulsdon

Location : 30 Rossetti Gardens
Coulsdon
CR5 2LR

Type: LDC (Proposed) Operations
edged

Proposal : Certificate of lawful Development (Proposed) for the erection of a single storey rear extension

Date Decision: 17.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/01642/HSE

Ward : Park Hill And Whitgift

Location : 39 Grimwade Avenue
Croydon
CR0 5DJ

Type: Householder Application

Proposal : Alterations; erection of single/two storey front/side and rear extensions, construction of gable roof and front gable projection; erection of domer extension in rear roofslope and installation of rooflights in front roofslope.

Date Decision: 16.09.20

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Ref. No. : 20/03027/DISC

Ward : Park Hill And Whitgift

Location : 28 - 30 Fairfield Road
Croydon
CR0 5LH

Type: Discharge of Conditions

Proposal : Discharge of Conditions 4, 8, 17 and 23 of Planning Permission Ref 17/02696/FUL - Demolition of existing buildings and the erection of part four/ part six storey building with basement comprising 11 one bedroom, 10 two bedroom 12 three bedroom and 1 studio flats: formation of vehicular access and provision of basement parking, provision of associated refuse and cycle storage

Date Decision: 14.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03451/HSE

Ward : Park Hill And Whitgift

Location : 3 Rowan Gardens
Croydon
CR0 5QP

Type: Householder Application

Proposal : Alterations; demolition of existing garage and erection of two-storey side extension, erection of replacement roof, installation of replacement windows and installation of replacement cladding.

Date Decision: 22.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02283/HSE

Ward : Purley Oaks And Riddlesdown

Location : 57 Purley Bury Avenue
Purley
CR8 1JF

Type: Householder Application

Proposal : Erection of a rear deck/patio

Date Decision: 18.09.20

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Ref. No. : 20/03017/HSE

Ward : **Purley Oaks And Riddlesdown**

Location : 29 Purley Bury Avenue
Purley
CR8 1JF

Type: Householder Application

Proposal : Erection of single storey rear extension

Date Decision: 18.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03053/HSE

Ward : **Purley Oaks And Riddlesdown**

Location : 12 Grisedale Close
Purley
CR8 1EL

Type: Householder Application

Proposal : Demolition of existing garage and erection of a single storey side extension.

Date Decision: 15.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03123/NMA

Ward : **Purley Oaks And Riddlesdown**

Location : Bequest Apartments
141 Brancaster Lane
Purley
CR8 1HL

Type: Non-material amendment

Proposal : Non-material amendment to application 19/00885/FUL

Date Decision: 18.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03152/LP

Ward : **Purley Oaks And Riddlesdown**

Location : 170 Riddlesdown Road
Purley
CR8 1DF

Type: LDC (Proposed) Operations edged

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : Loft conversion including hip to gable extension and rear dormer

Date Decision: 18.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03245/HSE

Ward : Purley Oaks And Riddlesdown

Location : 1 Kendall Avenue South
South Croydon
CR2 0QR

Type: Householder Application

Proposal : Enlargement of a detached garage facing Kendall Avenue South, installation of a side window opening and construction of side brick boundary walls (retrospective).

Date Decision: 23.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03546/GPDO

Ward : Purley Oaks And Riddlesdown

Location : 18 Grange Road
South Croydon
CR2 0NA

Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 4 metres from the rear wall of the original house with a height to the eaves of 2.55 metres and a maximum height of 3.88 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 19/05032/FUL

Ward : Purley And Woodcote

Location : 6 More Close
Purley
CR8 2JN

Type: Full planning permission

Proposal : Construction of two interlinked blocks to accommodate 9 flats (3 x 1-bed, 3 x 2-bed and 3 x 3-bed) with associated 7 car parking spaces, refuse store and cycle store facilities, following demolition of existing dwellinghouse.

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Date Decision: 24.09.20

Withdrawn application

Level: Planning Committee

Ref. No. : 20/00382/FUL
Location : 121 Foxley Lane
Purley
CR8 3HR
Proposal : Demolition of existing dwelling and erection of four storey building to provide 9 residential units, with associated landscaped areas including parking, vehicular access, cycle and refuse storage

Ward : **Purley And Woodcote**
Type: Full planning permission

Date Decision: 15.09.20

Appeal Contested - (grounds of appeal)

Level: Delegated Business Meeting

Ref. No. : 20/00532/FUL
Location : 2 Wyvern Road
Purley
CR8 2NP
Proposal : Demolition of the existing dwelling and erection of 9 dwellinghouses and associated landscaping, refuse storage and car and cycle parking

Ward : **Purley And Woodcote**
Type: Full planning permission

Date Decision: 23.09.20

Permission Granted

Level: Planning Committee

Ref. No. : 20/02117/FUL
Location : 11 Russell Hill
Purley
CR8 2JB
Proposal : Demolition of existing detached dwellinghouse and erection of single new building containing 8 self-contained flats with associated parking, amenity space, bin store, cycle store and alterations to the existing land levels.

Ward : **Purley And Woodcote**
Type: Full planning permission

Date Decision: 16.09.20

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Date Decision: 22.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03217/FUL
Location : 38 Russell Hill
Purley
CR8 2JA
Ward : **Purley And Woodcote**
Type: Full planning permission

Proposal : Erection of a pair of two storey semi-detached 4 bedroom houses with associated cycle stores and refuse and formation of vehicular access and provision of associated parking

Date Decision: 15.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03296/HSE
Location : 56 Green Lane
Purley
CR8 3PJ
Ward : **Purley And Woodcote**
Type: Householder Application

Proposal : Alterations to the front of the existing house including removal of dormer window and erection of first floor front extension

Date Decision: 17.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03304/DISC
Location : 2 Hall Way
Purley
CR8 2HY
Ward : **Purley And Woodcote**
Type: Discharge of Conditions

Proposal : Discharge of Condition 2 (Materials) attached to planning permission 19/03681/HSE for Erection of a single storey side extension supported on columns, single storey rear extension; alternations to existing roof; extension of existing raised patio; insertion of roof lights; alterations.

Date Decision: 22.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03414/HSE
Location : The Billiards
32 Plough Lane
Purley
CR8 3QA

Ward : Purley And Woodcote
Type: Householder Application

Proposal : Alterations, erection of single storey rear extension to provide an additional bedroom with ensuite bathroom and courtyard area

Date Decision: 24.09.20

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 20/03427/DISC
Location : 41 - 43 Russell Hill Road
Purley
CR8 2LD

Ward : Purley And Woodcote
Type: Discharge of Conditions

Proposal : Discharge of Condition 11 (Drainage Strategy) attached to application 18/04264/FUL dated 15/02/2019 for 'Demolition of existing buildings; Erection of 2 x three/four storey buildings comprising 8 x one bedroom, 16 x two bedroom and 4 x three bedroom flats. Provision of vehicular accesses and provision of parking spaces, refuse and cycle storage and landscaping.'

Date Decision: 14.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03607/DISC
Location : 60 Brighton Road
Purley
CR8 2LJ

Ward : Purley And Woodcote
Type: Discharge of Conditions

Proposal : Discharge of Conditions 2 (various details) and 3 (construction logistics plan) attached to planning permission ref. 18/03982/FUL for alterations and conversion to form 1 four bedroom, 1 two bedroom and 1 one bedroom flats, erection of a single storey side/rear extension following demolition of existing garage, provision of associated landscaping, and cycle and waste stores.

Date Decision: 24.09.20

Not approved

Level: Delegated Business Meeting

Ref. No. : 20/03838/NMA
Location : 53 Smitham Bottom Lane
Purley
CR8 3DF

Ward : Purley And Woodcote
Type: Non-material amendment

Proposal : Non-material amendments (new side facing window and altered location of front electric entrance and piers) to planning permission ref.17/03200/HSE.

Date Decision: 23.09.20

Not approved

Level: Delegated Business Meeting

Ref. No. : 20/04086/PDO
Location : Adjacent 3 Hill Road
Purley
CR8 3AT

Ward : Purley And Woodcote
Type: Observations on permitted development

Proposal : Installation of 1 x 9m wooden pole (7.2m above ground)

Date Decision: 25.09.20

No Objection

Level: Delegated Business Meeting

Ref. No. : 19/01206/LP
Location : 73 Arundel Avenue
South Croydon
CR2 8BL

Ward : Sanderstead
Type: LDC (Proposed) Operations edged

Proposal : SINGLE STOREY REAR EXTENSION

Date Decision: 22.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/01070/HSE
Location : 6A Beech Avenue
South Croydon
CR2 0NL

Ward : Sanderstead
Type: Householder Application

Proposal : Alterations, erection of a two storey side and rear extension

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Ref. No. : 20/02881/FUL

Ward : **Sanderstead**

Location : Garages At 1 Heathhurst Road
South Croydon
CR2 0BB

Type: Full planning permission

Proposal : Demolition of the redundant garages and construction of a three-storey 3 bedroom 6 person detached dwelling.

Date Decision: 22.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03101/HSE

Ward : **Sanderstead**

Location : 10 Downsway
South Croydon
CR2 0JA

Type: Householder Application

Proposal : Alterations, demolition of conservatory at rear and part demolition of existing two storey and single storey side extension, erection of two storey side extension and single storey side/rear extension.

Date Decision: 17.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03276/DISC

Ward : **Sanderstead**

Location : 2 West Hill
South Croydon
CR2 0SA

Type: Discharge of Conditions

Proposal : Discharge of condition 5 (Landscaping), 6 (Security lighting, playspace details) and 7 (Privacy screens) attached to planning permission 18/03158/FUL for the alterations and formation of basement accommodation to include light wells and erection of a single/two side/rear extensions. Construction of roof extension to include raising the ridgeline, formation of roof gables and installation rooflights. Conversion to form 5 x two bedroom and 2x one bedroom flats and provision of associated landscaping, refuse and cycle parking

Date Decision: 22.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03317/HSE

Ward : **Sanderstead**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 36 Holmwood Avenue Type: Householder Application
South Croydon
CR2 9HY
Proposal : Single storey front extension and garage conversion.

Date Decision: 18.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03400/HSE Ward : **Sanderstead**
Location : 46 Mitchley Hill Type: Householder Application
South Croydon
CR2 9HB
Proposal : Alterations to land levels at rear, erection of detached single storey outbuilding with pitched roof at rear with raised patio area/balustrading and steps.

Date Decision: 18.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03409/HSE Ward : **Sanderstead**
Location : 54 Ewhurst Avenue Type: Householder Application
South Croydon
CR2 0DJ
Proposal : Construction of a single storey side and part single, part two-storey side/rear extension.

Date Decision: 25.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03605/HSE Ward : **Sanderstead**
Location : 14 Lime Meadow Avenue Type: Householder Application
South Croydon
CR2 9AQ
Proposal : First floor rear addition and single storey ground floor addition

Date Decision: 24.09.20

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 6 Heathfield Vale
South Croydon
CR2 8AE
Type: Householder Application
Proposal : Demolition of existing single-storey side extension/garage, erection of a two-storey side/rear extension and alterations to front elevation.

Date Decision: 17.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02888/HSE
Ward : **Selsdon And Addington Village**
Location : 20 Gravel Hill
Croydon
CR0 5BB
Type: Householder Application
Proposal : Demolition of rear porch and store, erection of front porch, single storey rear extension, conversion of garage into habitable accommodation, associated alterations

Date Decision: 18.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03394/HSE
Ward : **Selsdon And Addington Village**
Location : 233 Addington Road
South Croydon
CR2 8LQ
Type: Householder Application
Proposal : Demolition of the existing garage and erection of two storey side extension and single storey rear extension

Date Decision: 24.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/00792/FUL
Ward : **Selsdon Vale And Forestdale**
Location : 1 Dulverton Road
South Croydon
CR2 8PJ
Type: Full planning permission

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 19 Mayo Road
Croydon
CR0 2QP
Type: Prior Appvl - Class A Larger
House Extns

Proposal : Erection of a single storey rear extension projecting out 5.8 metres from the rear wall of the original house with a height to the eaves of 2.5 metres and a maximum height of 2.7 metres

Date Decision: 21.09.20

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 19/05648/NMA
Location : Woodland House
18A Fairhaven Avenue
Croydon
Ward : Shirley North
Type: Non-material amendment

Proposal : Non material amendments to approval 19/01761/FUL (Internal alterations, replacement of french doors to rear of 3 x 3 bedroom houses with bi-fold doors, change to balcony at rear of apartments, new entrance to unit 2, reduction in number of rooflights to all units).

Date Decision: 16.09.20

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 20/02371/HSE
Location : 5 Piper's Gardens
Croydon
CR0 7LY
Ward : Shirley North
Type: Householder Application

Proposal : Erection of double garage

Date Decision: 23.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/02405/FUL
Ward : Shirley North

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 195 Shirley Road
Croydon
CR0 8SA
Type: Full planning permission

Proposal : Demolition of existing dwelling. Erection of 3 storey building (with roofspace accommodation) comprising 9 residential appartments with associated vehicle/cycle parking, amenity space and waste stores.

Date Decision: 22.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/02614/LP
Location : 29 Swinburne Crescent
Croydon
CR0 7BZ
Type: LDC (Proposed) Operations edged
Ward : Shirley North

Proposal : Use of the land for siting a mobile home for use ancillary to the main dwelling (at 29 Swinburne Crescent)

Date Decision: 23.09.20

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 20/02771/FUL
Location : 187 The Glade
Croydon
CR0 7UN
Type: Full planning permission
Ward : Shirley North

Proposal : Demolition of the existing bungalow and erection of two storey 4 bedroom detached dwellinghouse

Date Decision: 16.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03311/HSE
Location : 107 The Glade
Croydon
CR0 7QP
Type: Householder Application
Ward : Shirley North

Proposal : Erection of two storey rear extension

Date Decision: 21.09.20

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03666/HSE
Location : 26 Shirley Avenue
Croydon
CR0 8SG
Proposal : Erection of single storey side/rear extension

Ward : Shirley North
Type: Householder Application

Date Decision: 22.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03282/LP
Location : 9 Langland Gardens
Croydon
CR0 8DY
Proposal : Erection of single storey rear extension and erection of replacement dormer in side
roofslope

Ward : Shirley South
Type: LDC (Proposed) Operations
edged

Date Decision: 18.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03318/HSE
Location : 490 Wickham Road
Croydon
CR0 8DJ
Proposal : Erection of two storey side extension and ground floor rear extension, roof lights

Ward : Shirley South
Type: Householder Application

Date Decision: 24.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03571/PA8
Ward : Shirley South

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Ref. No. : 20/02855/HSE
Location : 13 Winchelsey Rise
South Croydon
CR2 7BP

Ward : South Croydon
Type: Householder Application

Proposal : Erection of roof extensions and alterations, including front and rear dormers, raised roof ridge and hip to gable extension to rear, introduction of rooflights, associated alterations.

Date Decision: 17.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02940/FUL
Location : 15 Sussex Road
South Croydon
CR2 7DB

Ward : South Croydon
Type: Full planning permission

Proposal : Change of use of part of the existing rear extension from a beauty salon to a self-contained 1 bedroom flat and erection of single storey extension at rear to provide additional accommodation in connection with the salon. Internal alterations, alterations including insertion of a new door, erection of a ground floor infill extension and erection of first floor extension

Date Decision: 14.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03259/DISC
Location : Horizon Apartments
11 South Park Hill Road
South Croydon

Ward : South Croydon
Type: Discharge of Conditions

Proposal : Discharge of condition 2 (details) attached to planning permission 18/00693/FUL

Date Decision: 23.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03365/PA8
Location : Telecommunications Mast Junction Of
Melville Avenue And Coombe Road,
Croydon, CR0 5RA

Ward : South Croydon
Type: Telecommunications Code
System operator

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Proposal : The installation of a new 15m column supporting 6 no antennas, together with ground-based equipment cabinets and ancillary development thereto.

Date Decision: 21.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03447/FUL

Ward : **South Croydon**

Location : 1 Blenheim Crescent

Type: Full planning permission

South Croydon

CR2 6BQ

Proposal : Conversion of the existing single dwelling to 4 flats with additional subterranean parking and external landscaping. Erection of a single storey rear/side extension at ground and first floor level, plus a loft conversion with dormer windows to the front and rear of the existing dwelling.

Date Decision: 25.09.20

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 20/03476/HSE

Ward : **South Croydon**

Location : 58 Avondale Road

Type: Householder Application

South Croydon

CR2 6JA

Proposal : Construction of a single storey rear extension.

Date Decision: 25.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 19/05290/FUL

Ward : **South Norwood**

Location : 1-3 Penge Road

Type: Full planning permission

South Norwood

London

SE25 4EJ

Proposal : Erection of a 3/4-storey building comprising of 1 x 3-bed, 6 x 2-bed and 2 x 1-bed flats (9 in total) with private amenity spaces, communal space, refuse and cycle storage.

Date Decision: 22.09.20

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

P. Granted with 106 legal Ag. (3 months)

Level: Delegated Business Meeting

Ref. No. : 20/02045/FUL **Ward : South Norwood**
Location : 1 Holmewood Road **Type: Full planning permission**
South Norwood
London
SE25 6UZ

Proposal : Change of use of an existing building from a work studio (study office) to a two bedroom bungalow dwelling.

Date Decision: 21.09.20

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 20/03154/LP **Ward : South Norwood**
Location : 21 Sunny Bank **Type: LDC (Proposed) Operations**
South Norwood **edged**
London
SE25 4TQ

Proposal : Use as children's care home within use class C3(b).

Date Decision: 14.09.20

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 20/03468/PA8 **Ward : South Norwood**
Location : O/S Howden Court **Type: Telecommunications Code**
178 South Norwood Hill **System operator**
South Norwood
London
SE25 6AR

Proposal : Proposed 18m monopole with wraparound cabinet at base and associated ancillary works

Date Decision: 25.09.20

(Approval) refused

Level: Delegated Business Meeting

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Date Decision: 22.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03395/HSE
Location : 22 Canham Road
South Norwood
London
SE25 6SA
Proposal : Demolition and erection of a single storey side and rear extension and porch
Date Decision: 22.09.20

Ward : Thornton Heath
Type: Householder Application

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/04241/LP
Location : 29 County Road
Thornton Heath
CR7 8HN
Proposal : Erection of hip to gable roof extension with front roof lights and rear dormer window, erection of single storey rear extension
Date Decision: 22.09.20

Ward : Thornton Heath
Type: LDC (Proposed) Operations edged

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/01523/FUL
Location : 119 Haling Park Road
South Croydon
CR2 6NN
Proposal : The proposal is for the demolition of existing detached dwelling and erection of a detached three storey building comprising 8 residential units, together with cycle storage, amenity space, a refuse/ recycling store, and car parking.
Date Decision: 18.09.20

Ward : Waddon
Type: Full planning permission

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02512/FUL
Ward : Waddon

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 385 Purley Way
Croydon
CR0 4NX

Type: Full planning permission

Proposal : Erection of a new two storey detached dwelling with associated alterations

Date Decision: 18.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/02667/FUL

Ward : **Waddon**

Location : Tiverton & Little Orchard
Duppas Hill Road
Croydon
CR0 4BG

Type: Full planning permission

Proposal : Demolition of existing two storey semi-detached pair of dwellings and erection of a three-storey building comprising 9 self-contained flats; hard and soft landscaping; boundary treatment; communal/private amenity space; car parking; retention of rear crossover along Duppas Road and refuse and cycle provision.

Date Decision: 25.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/02943/FUL

Ward : **Waddon**

Location : 31 Imperial Way
Croydon
CR0 4RR

Type: Full planning permission

Proposal : Alterations, erection of additional storey to form 1st floor in association with existing D2 Use and ancillary A3 Use.

Date Decision: 18.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03196/TRE

Ward : **Waddon**

Location : 24 Bramley Hill
South Croydon
CR2 6LT

Type: Consent for works to protected trees

Proposal : T1-2 Sycamore fell to ground level.
T3- Elm fell to ground level.
T4-6 Sycamore fell to ground level.
G1 Sycamore and Lime fell to ground level.
G2 Lime, Prunus, Yew, Holm Oak prune back overhang to boundary.
(TPO 2, 1971)

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Date Decision: 16.09.20

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 20/03211/FUL **Ward : Waddon**
Location : 43 Waddon Road **Type: Full planning permission**
Croydon
CR0 4LH
Proposal : Erection of dormer extension in rear roofslope

Date Decision: 15.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03442/ADV **Ward : Waddon**
Location : Whitgift School **Type: Consent to display**
Haling Park Road **advertisements**
South Croydon
CR2 6YT
Proposal : Erection of three non-illuminated advertisement boards attached to existing frames

Date Decision: 24.09.20

Consent Granted (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 20/03740/GPDO **Ward : Waddon**
Location : 18 Courtney Road **Type: Prior Appvl - Class A Larger**
Croydon **House Extns**
CR0 4LS
Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum height of 4 metres

Date Decision: 25.09.20

Approved (prior approvals only)

Level: Delegated Business Meeting

Ref. No. : 20/03816/NMA **Ward : Waddon**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : Unit 4 & 4A Trojan Way
Croydon
CR0 4XL
Type: Non-material amendment

Proposal : Non-material amendment to 19/03735/FUL (External alterations including erection of signage to retail units. Reconfiguration of existing car park with provision of additional spaces and associated works including cycle parking and landscaping) to make revisions to the front elevation made as a result of the subdivision of Unit 4.

Date Decision: 18.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03169/LP
Location : 66 Cobden Road
South Norwood
London
SE25 5NX
Ward : Woodside
Type: LDC (Proposed) Operations edged

Proposal : Erection of loft conversion with dormer in rear roof slope and roof lights in the front roof slope.

Date Decision: 17.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03171/HSE
Location : 66 Cobden Road
South Norwood
London
SE25 5NX
Ward : Woodside
Type: Householder Application

Proposal : Erection of single storey rear/side extension.

Date Decision: 17.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03173/HSE
Ward : Woodside

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : 189 Portland Road
South Norwood
London
SE25 4UY
Type: Householder Application
Proposal : Erection of single storey side/rear extension
Date Decision: 14.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03197/HSE
Location : 200 Harrington Road
South Norwood
London
SE25 4NE
Type: Householder Application
Ward : Woodside
Proposal : Erection of single storey rear extension and raised platform
Date Decision: 15.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03255/HSE
Location : 123 Birchanger Road
South Norwood
London
SE25 5BH
Type: Householder Application
Ward : Woodside
Proposal : Ground floor rear extension with flat roof and folding doors.
Date Decision: 16.09.20

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/03307/DISC
Location : Adjacent 51 Clifford Road
South Norwood
London
SE25 5JS
Type: Discharge of Conditions
Ward : Woodside
Proposal : Details pursuant to the discharge of condition 10 (SUDs) of planning permission 19/03281/FUL for 'Demolition of existing store and erection of building to provide three self contained flats comprising 1no. 3 bedroom 5 person flat and 2no. 1 bedroom 2 person flats'
Date Decision: 21.09.20

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03308/LP
Location : 32 Notson Road
South Norwood
London
SE25 4JZ
Ward : **Woodside**
Type: LDC (Proposed) Operations
edged
Proposal : Demolition and erection of single storey rear extension, the construction of a loft conversion with dormer in the rear roof slope and roof lights in the front roof slope, and the removal of chimney.

Date Decision: 17.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03324/DISC
Location : 72A Woodside Green
South Norwood
London
SE25 5EU
Ward : **Woodside**
Type: Discharge of Conditions
Proposal : Details pursuant to Condition 4 (SUDS Report) in respect to Prior Approval applicaiton 19/05817/GPDO granted under Schedule 2 Part 3 Class O of GPDO 2015 as amended for conversion of existing B1 office use into C3 residential use to form 6 flats.

Date Decision: 18.09.20

Approved

Level: Delegated Business Meeting

Ref. No. : 20/03325/DISC
Location : 72A Woodside Green
South Norwood
London
SE25 5EU
Ward : **Woodside**
Type: Discharge of Conditions
Proposal : Details pursuant to conditions 3 (external materials document) and 8 (SUDS report) in respect to decision 19/01531/FUL granted for creation of a second floor to accommodate a 1x2 bedroom (3 person) self-contained flat

Date Decision: 18.09.20

Part Approved / Part Not Approved

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Level: Delegated Business Meeting

Ref. No. : 20/03368/FUL **Ward : Woodside**
Location : 16 Southcote Road **Type: Full planning permission**
South Norwood
London
SE25 4RG
Proposal : To change the use of the building from a single family dwelling (C3) to a HMO (C4) on a temporary basis for 5 years
Date Decision: 23.09.20

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 20/03542/LP **Ward : Woodside**
Location : 38 Watcombe Road **Type: LDC (Proposed) Operations**
South Norwood **edged**
London
SE25 4UZ
Proposal : Erection of dormer extension in rear roofslope and installation of rooflight in front roofslope
Date Decision: 24.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03563/LP **Ward : Woodside**
Location : 36 Watcombe Road **Type: LDC (Proposed) Operations**
South Norwood **edged**
London
SE25 4UZ
Proposal : Erection of dormer extension in rear roofslope and installation of rooflights in front roofslope
Date Decision: 24.09.20

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/03747/PDO **Ward : Woodside**

Decisions (Ward Order 14/09/2020 – 25/09/2020) since last Planning Control Meeting as at: 29th September 2020

Location : Communication Station Land At Croydon Type: Observations on permitted
Sports Arena development
Albert Road
South Norwood
London
SE25 4QL

Proposal : Removal of existing steelwork and 9No. antenna. Installation of new Delta headframe and ancillary support poles along with re-mounting of 3No. existing antenna and 3No. new antenna. Installation of a total of 9No. ERS's, 3No. BOB's and 3No. combiners; 2No 300mm diameter dishes and 1No. GPS module. Removal of existing cabinet and installation of 3No. new cabinets within the existing compound, including development ancillary thereto at the telecommunications facility.

Date Decision: 16.09.20

No Objection

Level: Delegated Business Meeting

Ref. No. : 20/03785/GPDO Ward : **Woodside**
Location : 11 Macclesfield Road Type: Prior Appvl - Class A Larger
South Norwood House Extns
London
SE25 4RY

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum overall height of 3 metres

Date Decision: 24.09.20

(Approval) refused

Level: Delegated Business Meeting

Ref. No. : 20/03163/FUL Ward : **West Thornton**
Location : 2 Keston Road Type: Full planning permission
Thornton Heath
CR7 6BS

Proposal : Demolition of existing side garage and side projection, and demolition of existing rear single storey conservatory and erection of rear single storey extension. Alterations, erection of attached two storey side/single storey rear extension for use as a new self-contained dwellinghouse.

Date Decision: 23.09.20

Permission Granted

