

7428 GEORGIA AVENUE, NW

Washington, DC



Lock7 Development SCHEMATIC DESIGN

APRIL 23, 2021



650 F STREET NW, SUITE 690
WASHINGTON, DC 20004
202.232.3132
www.tortigallasurban.com

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7428 GEORGIA AVENUE, NW
WASHINGTON, DC, 20012

OWNER / DEVELOPER
LOCK7 DEVELOPMENT
202.759.0905

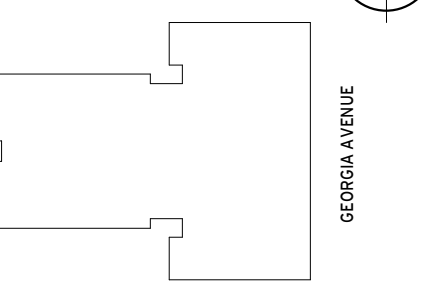
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Key Plan

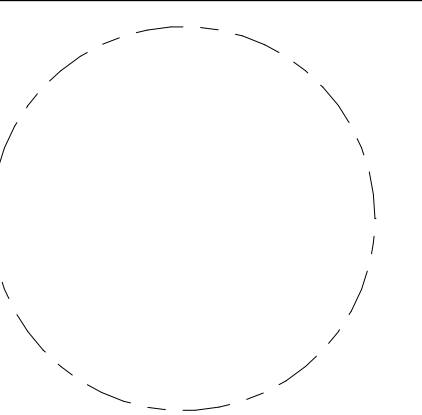


Issue

NO. DATE

Revisions

NO. DATE



Cover Sheet

PRINCIPAL IN CHARGE
S.F.

PROJECT ARCHITECT
S.F.

DRAWN
B.L.

DATE 04/23/21 APPROVED

SCALE: JOB NO. 18506.00

DRAWING NO.

G001

SCHEMATIC DESIGN - APRIL 23, 2021

INDEX OF DRAWINGS	
SHEET NUMBER	DRAWING TITLE

01	
General Sheets	
G001	Cover Sheet
G002	Index Of Drawings
G003	Abbreviations, Graphic Symbols & General Notes
G101	Zoning Analysis & Building Area
G102	Unit Mix
G103	Code Analysis
G104	Average Grade, Building Height, & Opening Calcs

01.5	
Civil	
CIV200	Building Permit Site, DC WATER, Gradaing, and Stormwater Management Plan

02	
Architectural	
A201	Basement Floor Plan
A202	First Floor Plan
A203	2nd Floor Plan
A204	3rd Floor Plan (4th Floor Sim.)
A205	5th Floor Plan
A206	Roof Plan
A301	Partial Basement Floor Plan - East
A302	Partial Basement Floor Plan - West
A303	Partial 1st Floor Plan - East
A304	Partial 1st Floor Plan - West
A305	Partial 2nd Floor Plan - East (3rd-5th Sim)
A306	Partial 2nd Floor Plan - West (3rd-5th Sim)
A310	Elevator and Stair S1 Plans & Sections
A311	Stair S2 Plans & Sections
A401	Building Sections
A402	Building Sections
A501	East & South Elevations
A502	West & North Elevations
A601	Partial Elevations and Sections
A701	Wall Types
A702	Floor and Roof Types
A703	Finish Schedule



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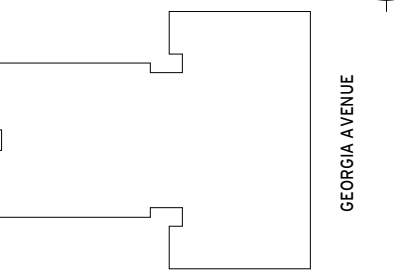
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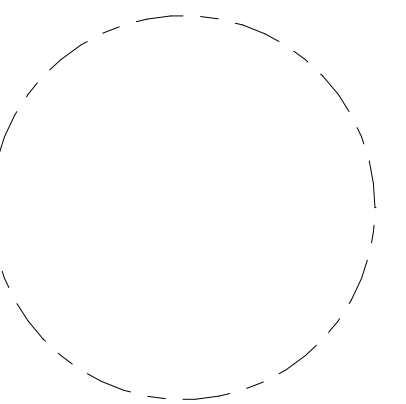


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Index Of Drawings

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NCCS ABBREVIATIONS - ABBREVIATIONS LISTED ARE SELECTED FROM UNITED STATES NATIONAL CAD STANDARD V6 (USNCS V6) - TERMS AND ABBREVIATIONS

1. AN ASTERISK (*) INDICATES THE TERM IS NOT IN USNCS V6, BUT IS IN COMMON USE IN THE CONSTRUCTION INDUSTRY. ABSENCE OF AN ASTERISK INDICATES ABBREVIATION COMPLIES WITH USNCS V6. 2. SOME ABBREVIATIONS LISTED HAVE MORE THAN ONE MEANING. IN MOST CASES, SUCH ABBREVIATIONS ARE FROM DIFFERENT DISCIPLINES.

Table of abbreviations and their meanings, organized in columns. Includes terms like AAL (Alarm Annunciator Panel), AAC (Acoustic), ABN (Abandon), ABC (Aggregate Base Course), etc.

GRAPHIC SYMBOLS

Graphic symbols and callouts: SECTION CALLOUT DRAWING WHERE SECTION IS SHOWN, DETAIL CALLOUT DRAWING WHERE DETAIL IS SHOWN, CALLOUT NUMBER DRAWING WHERE CALLOUT IS SHOWN, EXTERIOR ELEVATION DRAWING WHERE ELEVATION IS SHOWN, INTERIOR ELEVATION DRAWING WHERE ELEVATION IS SHOWN, WALL TYPE DESIGNATION, FLOOR OR ROOF TYPE DESIGNATION, DOOR TAG NUMBER, COLUMN GRID / BUBBLES, MATERIAL KEYNOTE, WINDOW TAG NUMBER, LOUVER TAG NUMBER.

CONCRETE FRAME

Concrete frame symbols: COLUMN SYMBOLS. 1. CORNER SHADING INDICATES COLUMN HOLD FACE. 2. NON SHADED COLUMN INDICATE COLUMNS ONLY AT GARAGE LEVEL.

MASTER ARCHITECTURAL DRAWING GENERAL NOTES

TORTI GALLAS AND PARTNERS' TECHNICAL COMMITTEE HAS APPROVED THE FOLLOWING GENERAL NOTES FOR USE ON ARCHITECTURAL CONSTRUCTION DRAWINGS. IN THE EVENT A PROJECT REQUIRES GENERAL NOTES NOT INCLUDED HERE, REQUEST REVIEW OF YOUR PROPOSED NOTES BY TWO OR MORE TECHNICAL COMMITTEE MEMBERS.

- 1. DIMENSIONS: A. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND EXISTING SITE CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT IN WRITING. B. DIMENSIONS INDICATED ON PLANS ARE TO FACE OF STUDIOS, TO CONCRETE WALLS AND/OR TO CMU WALLS. SHAFT WALL DIMENSIONS ARE FINISH DIMENSIONS. 2. TYPICAL DRAWINGS: DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS. 3. MATERIALS: MATERIAL AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. 4. FURRING: A. FURRING FOR DUCTS, CONDUITS, AND PIPES ARE INDICATED THUS ON 1/4 INCH AND 1/8 INCH PLANS. B. FURR BATHROOM CEILINGS DOWN TO FROM TOP OF FINISH FLOOR, EXCEPT WHERE INDICATED OTHERWISE ON DRAWINGS. C. FURRED CEILINGS: 1/2 INCH GYPSUM WALLBOARD ON WOOD OR STEEL FURRING. D. FIRE RATED FLOOR/CEILING ASSEMBLIES: INSTALL CONTINUOUS BEFORE FURRING. 5. ACCESS PANELS: PROVIDE AT CEILING AND WALLS AS REQUIRED FOR ACCESS TO CONCEALED MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER COMPONENTS REQUIRING ACCESS AND WHERE REQUIRED BY DRAWINGS. A. ACCESS PANELS: SAME FIRE RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED. B. GUARD AND RAIL HEIGHTS AND CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND REGULATIONS. 6. INTERIOR FINISHES: A. INTERIOR FINISHES: COMPLY WITH APPLICABLE CODES AND REGULATIONS. B. INTERIOR FINISHES OF PUBLIC AREAS: SEE ID DRAWINGS. C. FINISH CLOSETS (FLOORS, BASE, WALLS, TRIM AND CEILINGS) TO MATCH ADJOINING ROOMS OR AREAS. PAINT EXPOSED WOOD. D. EXPOSED CONCRETE FLOORS: PROVIDE SEALER. 7. CARPET: COMPLY WITH APPLICABLE CODES AND REGULATIONS (FLAME SPREAD AND SMOKE DENSITY RATING). A. CARPET INSTALLATION AT RESIDENTIAL UNITS: INSTALL ON PAD. B. CARPET INSTALLATION AT PUBLIC AREAS: DIRECT GLUE DOWN. 8. CERAMIC TILE: INSTALL IN ACCORDANCE WITH TILE COUNCIL APPROVED METHOD USING THINSET LATEX PORTLAND CEMENT, UNLESS OTHERWISE INDICATED. INSTALL USING MORTAR METHOD WHERE INDICATED, SCHEDULED, OR SPECIFIED. A. CERAMIC WALL TILE IN BATHTUB AREA: FULL HEIGHT. PROVIDE METAL STOP AT TOP EDGE OF BATHTUB. B. CERAMIC WALL TILE IN BATHTUB AND SHOWER AREA: FULL HEIGHT. PROVIDE METAL STOP AT TOP EDGE OF BATHTUB. C. PROVIDE TILE BACKER SUBSTRATE FOR CERAMIC WALL TILE IN BATHTUB SURROUNDS AND SHOWERS. 9. INTERIOR PAINTING: A. LIVING ROOMS, DINING ROOMS, BEDROOMS, AND DENS: FLAT FINISH. B. BATHROOMS, KITCHENS, LAUNDRIES, DOORS, AND TRIM: SEMI-GLOSS FINISH. C. PUBLIC CORRIDORS AND EXIT STAIRS, TOILET ROOMS, JANITOR'S CLOSETS, MECHANICAL ROOMS, AND ELECTRICAL ROOMS: SEMI-GLOSS FINISH. D. STAIRS: UNDERSIDE OF STAIRS AND LANDINGS: FLAT FINISH. STEEL STRINGERS, RAILINGS AND OTHER EXPOSED STEEL: GLOSS FINISH. E. EXPOSED STEEL: GLOSS FINISH. F. STEEL DOORS AND FRAMES: SEMI-GLOSS UNLESS OTHERWISE INDICATED. 10. EXTERIOR PAINTING: A. METAL FLASHING: COLOR TO MATCH ADJACENT SURFACE. B. EXPOSED FERROUS METAL (INCLUDING LINTELS): MATCH ADJACENT BRICK, PRECAST CONCRETE, OR ROOF AS APPLICABLE. 11. TELEPHONE AND ELECTRICAL ROOMS: PROVIDE 3/4 INCH FIRE TREATED PLYWOOD BOARDS. 12. PROVIDE FIRESTOPPING AND DRAFTSTOPPING AS INDICATED ON DRAWINGS, SPECIFIED, AND AS REQUIRED BY APPLICABLE CODES AND REGULATIONS. 13. PROVIDE FIRESTOPPING AS INDICATED ON DRAWINGS, SPECIFIED, AND AS REQUIRED BY APPLICABLE CODES AND REGULATIONS. 14. EXTERIOR WOOD: PRESERVATIVE TREATED. 15. PROVIDE ONE U.S. POSTAL SERVICE APPROVED MAILBOX FOR EACH APARTMENT AT LOCATION INDICATED ON PLANS. PROVIDE DIRECTORIES AS REQUIRED BY U.S. POSTAL SERVICE. 16. EXPOSED CONCRETE FLOOR FINISH AT EXTERIOR LOCATIONS: NON-SLIP BROOM FINISH UNLESS OTHERWISE INDICATED.

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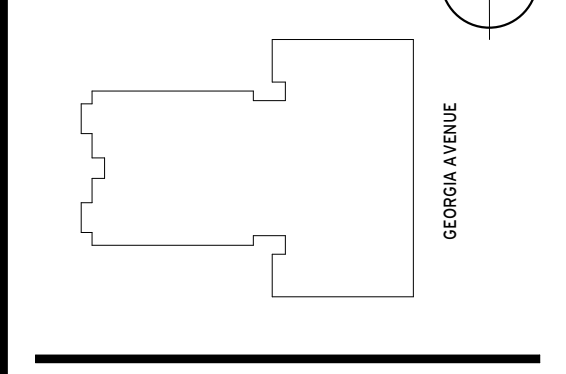
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Key Plan



Issue

Table with columns: NO., DATE

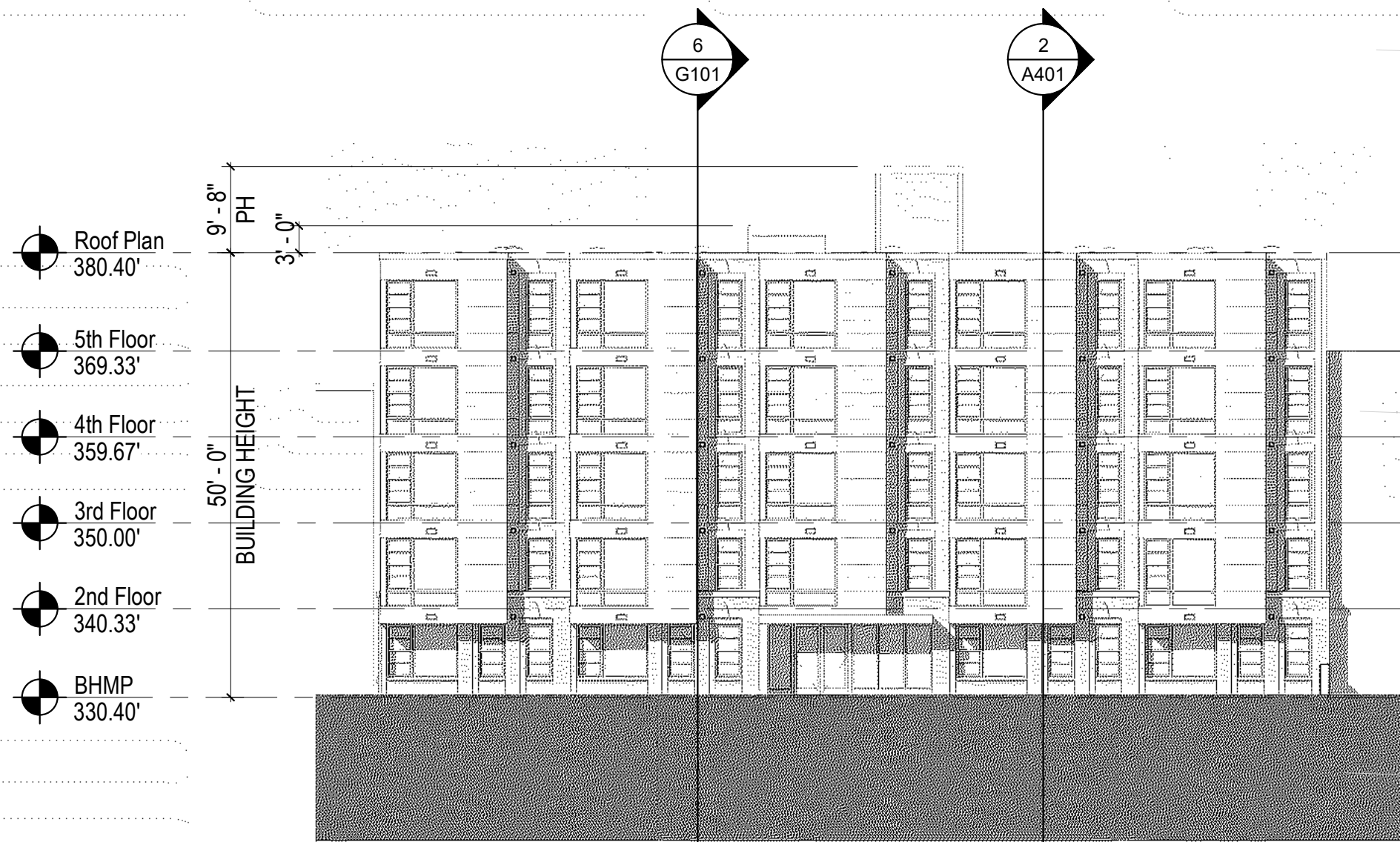
Revisions

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Abbreviations, Graphic Symbols & General Notes

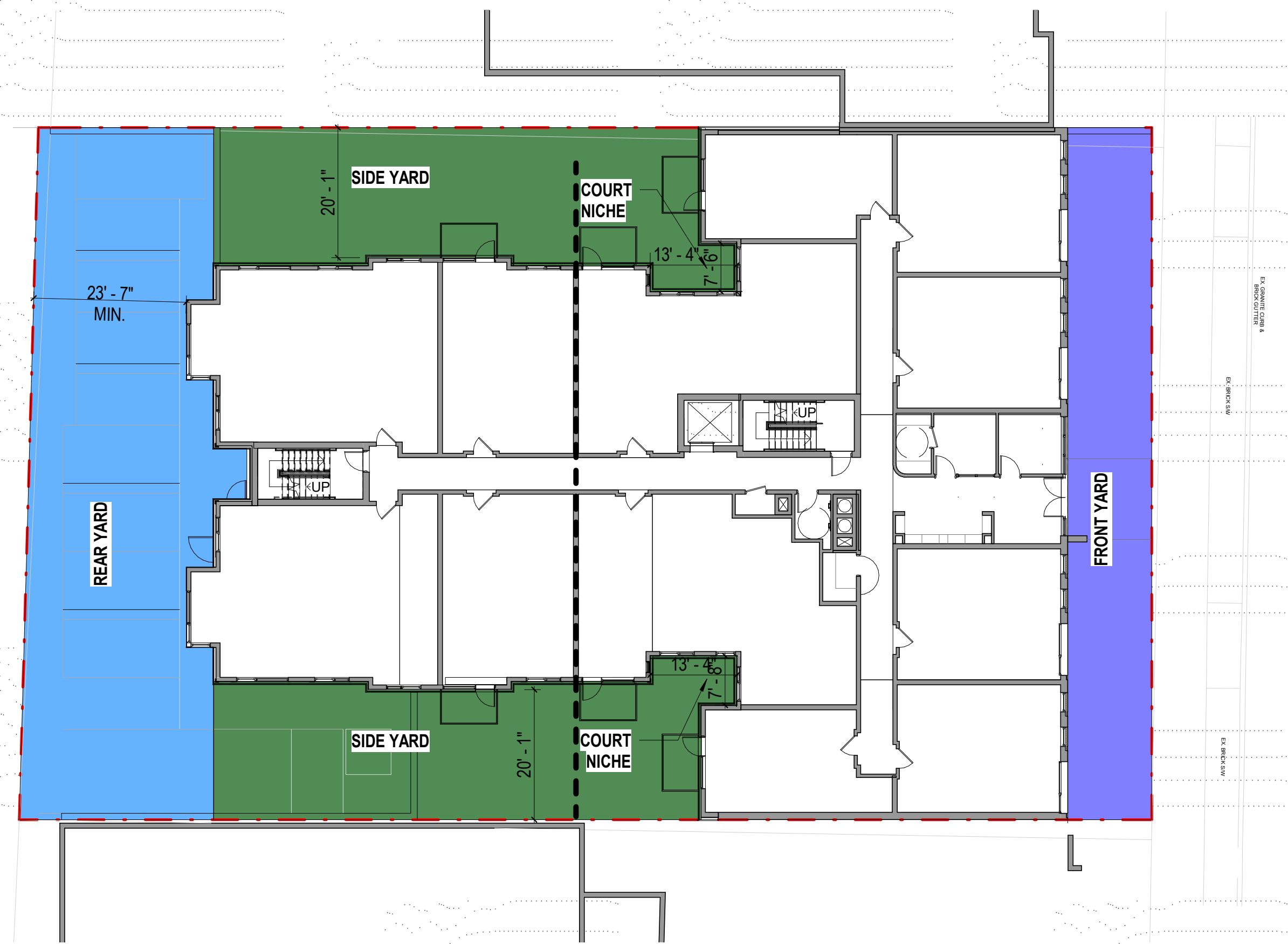
PRINCIPAL IN CHARGE S.F.
PROJECT ARCHITECT S.F.
DRAWN B.L.
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SCALE: 1/4" = 1'-0" JOB NO. 18506.00
DRAWING NO. **GO03**

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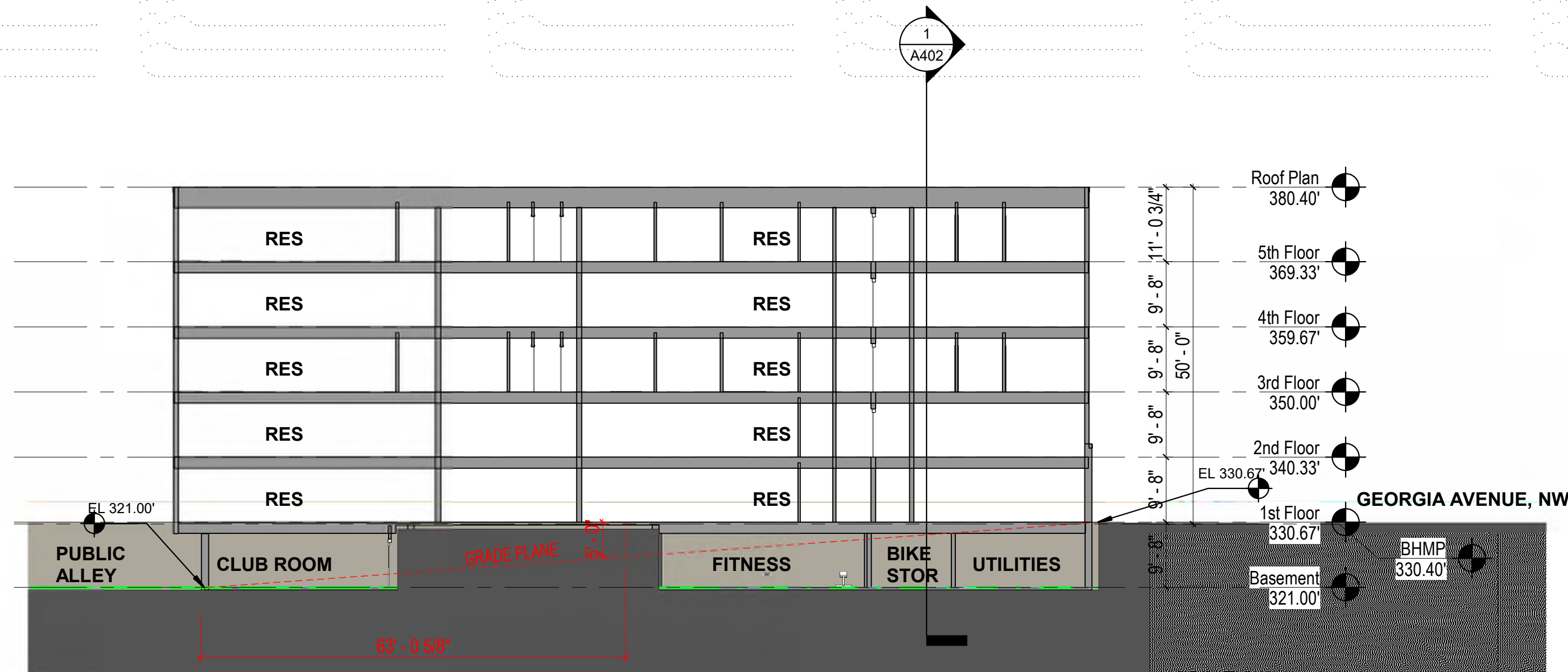
5 Building Height Diagram - Zoning

1/16" = 1'-0"



1 Zoning Diagram

1/16" = 1'-0"



6 Grade Plane - Zoning

1/16" = 1'-0"

7428 Georgia Avenue, NW		Current Zoning: MU-4	Proposed Zoning: MU-4 By Right 05/06/21
Square: 2956	Lot: 41	Lot Area: 16,570 sf	(.43 acres)
Allowable	Allowable by Proposed Zoning (MU-4 PUD)	Provided	
FAR	3.0 IZ (2.5 By Right + 20%IZ) 1.8 Maximum Non-Residential (1.5 By Right + 20%IZ)	3.00 Total 0.00 Non-Res	0 gsf
Gross Floor Area by Level			
Basement		1,154	
1st		10,789	
2nd		10,941	
3rd		10,941	
4th		10,941	
5th		10,941	
Total Building Area		55,707 gsf	
Penthouse	FAR: 4 max 12'-0", 1 story (15'-0" and 2 story allowed for PH mech) Setback: 1-1	0.00	9'-8", 1 story Provided as required
Lot Occupancy	60% Byright, 75% - IZ 18,570 x .75 = 13,927 sf	59%	10,941 sf
Building Height	50' - Byright	50'	measured from the level of the curb opposite the middle of the front of the building to the highest point of the roof
	stories-no limit	5 stories	
Dwelling Units	NA	64 -66	units
Rear Yard	15 ft minimum	23'-2" Min Provided	
Side Yard	None required; if provided 2 inches per foot of height not < 5 feet (Required: 2" x 50'-0" = 6'-4")	20'-1" Min. Provided	
Open Court	Not required, 4" per foot of height, 10ft minimum (Required 80' x 4" = 16'-8")	N/A	
Green Area Ratio (GAR)	Required GAR score: 0.30	Provided as required	
Parking Requirement			
Residential	0.33 space per D.U. in excess of 4 units 60 units / 3 = 20.0	20 Residential Spaces Required at 33 space per dwelling unit	(21 Spaces for 66 dwelling units)
	Exemptions from Minimum Parking Requirements- 50% reduction in required parking is warranted as the Site is within 0.25 miles of a Priority Corridor Network Metrobus Route stop	10 Spaces Required Total per Subtitle C, 702 (c)(4)	(11 Spaces for 66 dwelling units)
	20 x 5 = 10	7 Spaces + 1 Car share Space Required (6 Spaces + 2 Car share spaces for 66 dwelling units)	8 Spaces provided (6 Spaces + 2 Car share spaces for 66 dwelling units)
	1 car share space = 3 parking spaces per Subtitle C, 708.2		
	Min. 50% of required to be full size 8 x 5 = 4	50% Compact Provided (4 full size, 4 compact)	
Bicycles	Long Term: 1 space per 3 DU (residential) (64/3= 22 required)	Provided as required	
	Short Term: 1 space per 20 DU (residential) (64/20 = 4 required)	Provided as required	
Loading			
Residential	1 loading berth @ 12' x 30' 1 platform @ 100 sf 1 service space @ 20' deep	1 loading berth @ 12' x 30' 1 platform @ 100 sf 1 service space @ 20' deep	



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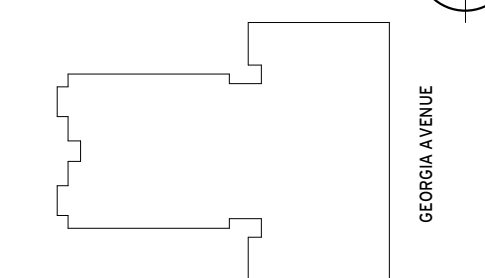
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Key Plan



Issue

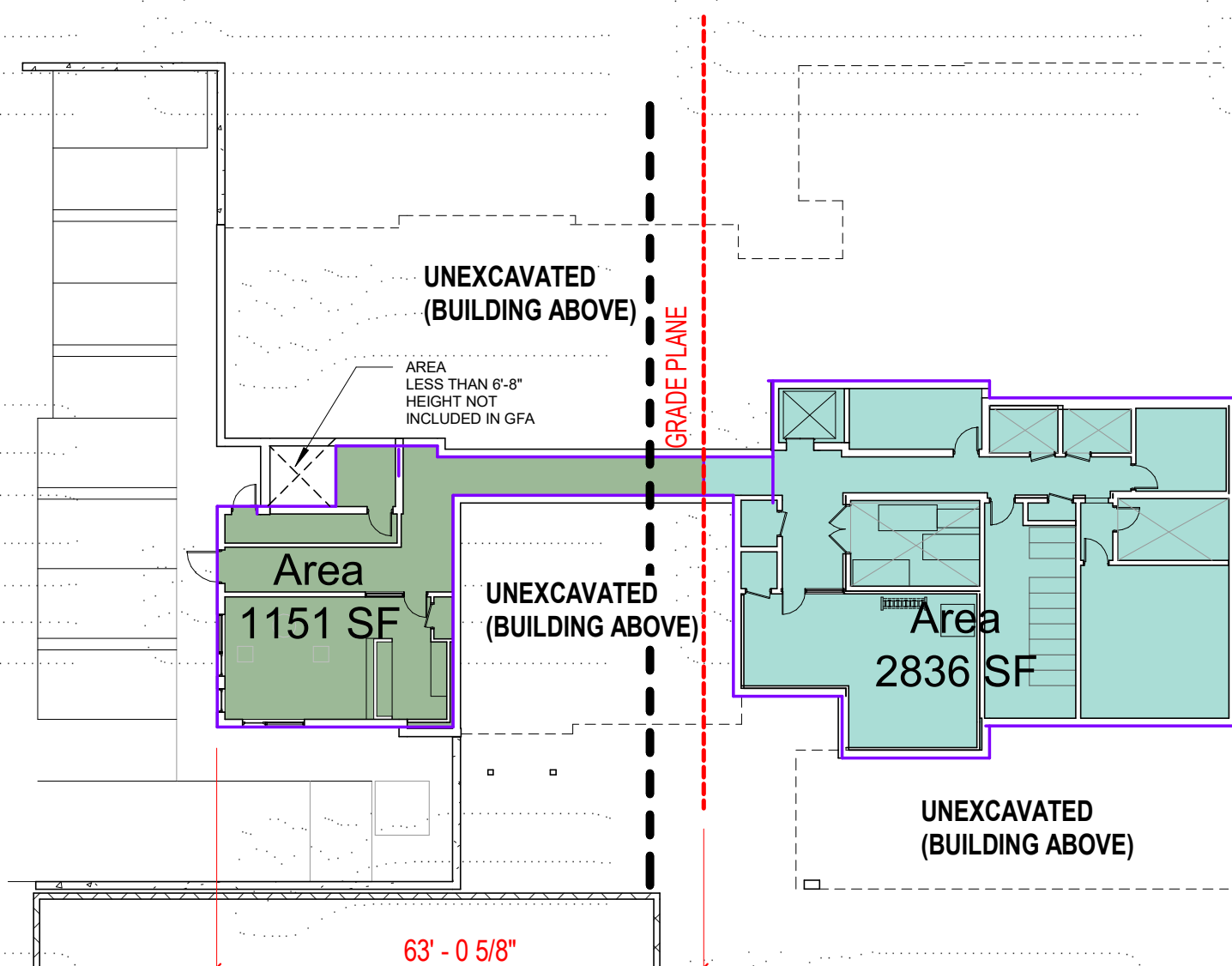
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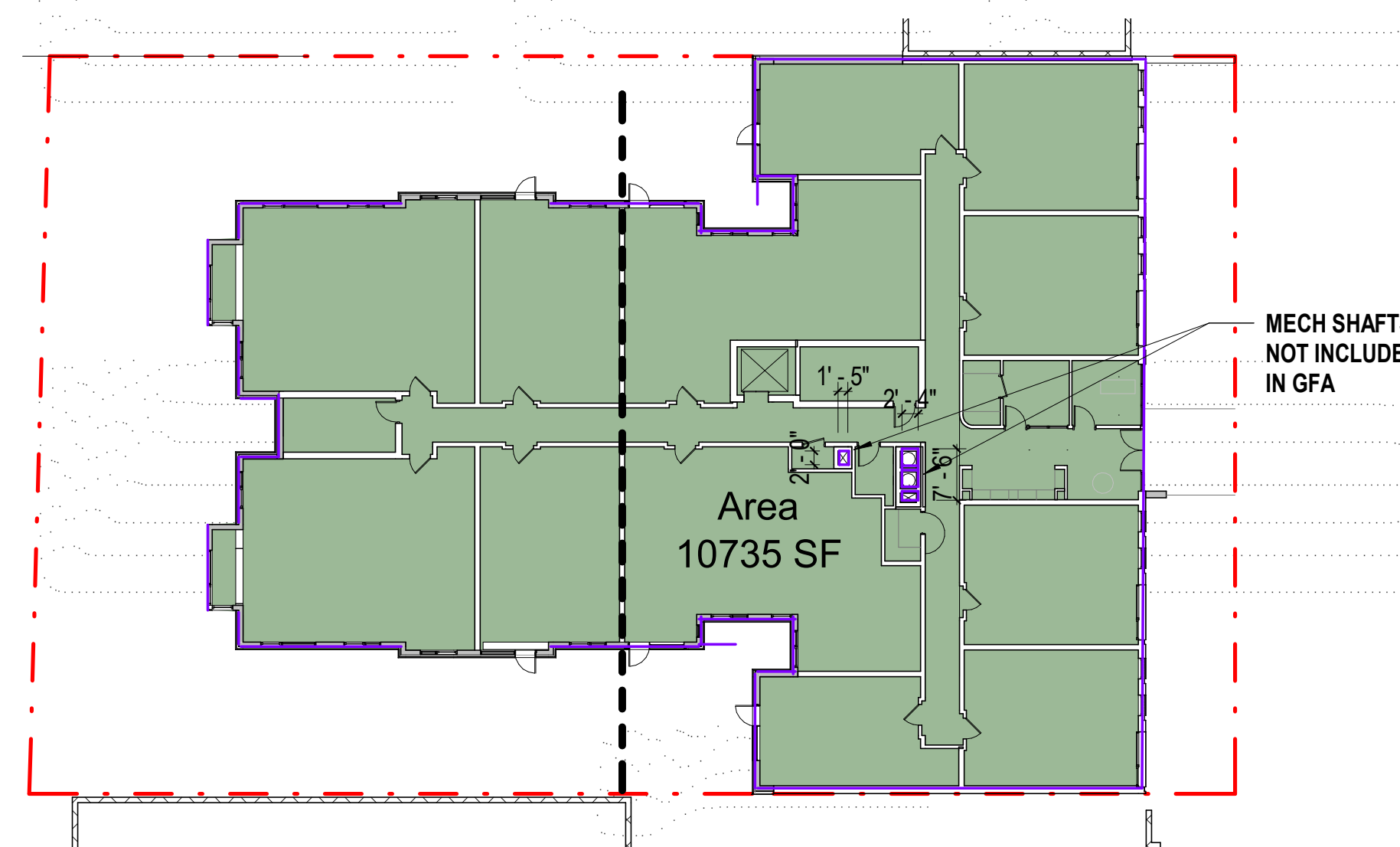
Area Schedule (Gross Building) - 5 STORY	
Level	Area
1st Floor	10735 SF
2nd Floor	10887 SF
3rd Floor	10888 SF
4th Floor	10888 SF
5th Floor	10888 SF
Grand total: 5	54285 SF

Area Schedule (Gross Building) - BASEMENT	
Level	Area
Basement	1151 SF
Basement	2836 SF
Grand total: 2	3987 SF



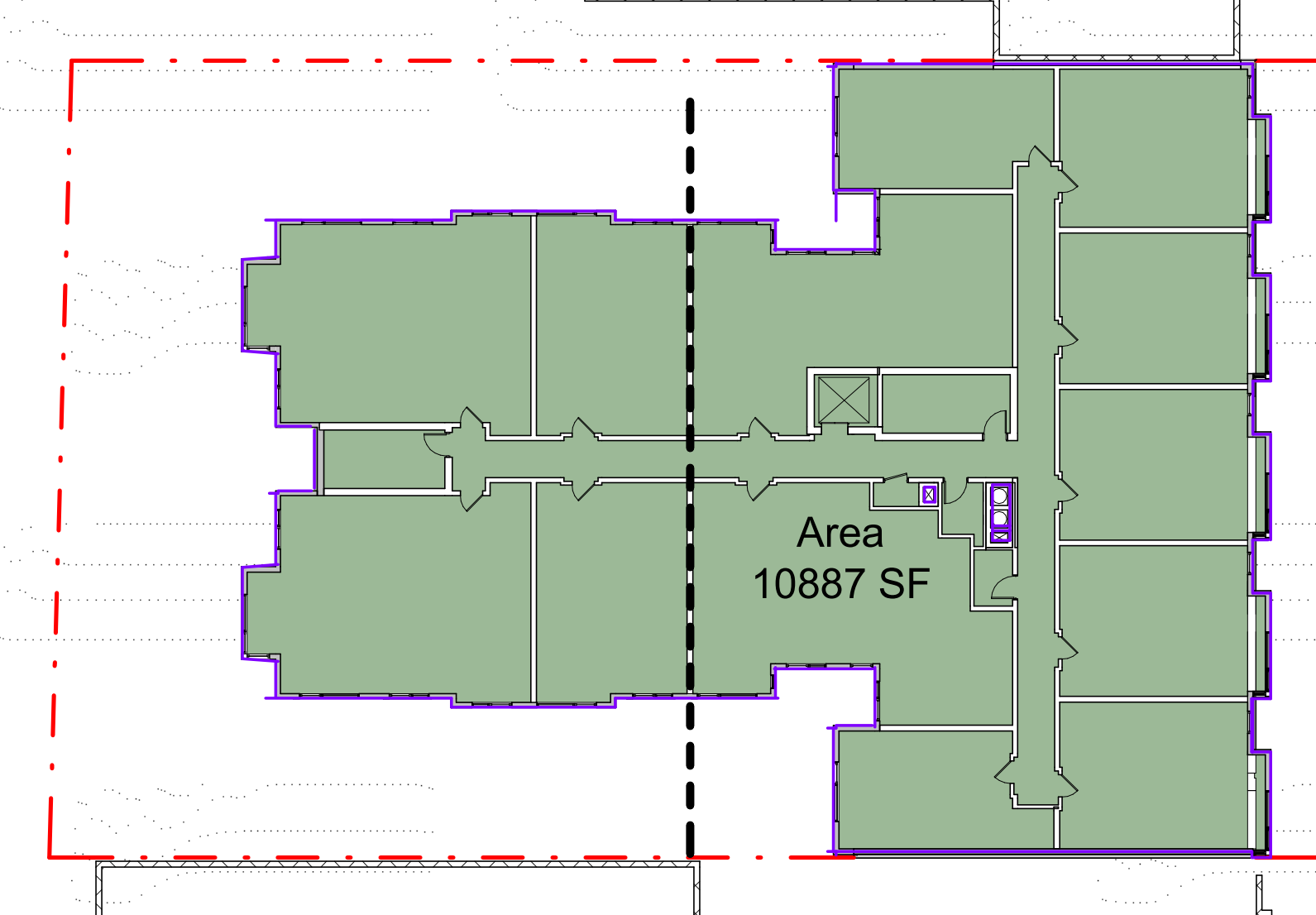
2 Basement

3/64" = 1'-0"



3 1st Floor

3/64" = 1'-0"



4 2nd- 5th Floor

3/64" = 1'-0"

SCHEMATIC DESIGN - APRIL 23, 2021

Zoning Analysis & Building Area

PRINCIPAL IN CHARGE
S.F.
PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE
04/23/21
SCALE:
As indicated
JOB NO.
18506.00
DRAWING NO.

G101

7428 GEORGIA AVENUE UNIT MIX

	STUDIO				1 BEDROOM					3 BEDROOM				TOTAL		
	S1 ANSI	S1 ANSI UFAS	S1	Sub-total	1A	1A-1	1A-2	1A ANSI	1A ANSI UFAS	Sub-total	3A	3B	3B ANSI	3B ANSI UFAS	Sub-total	Total
Avg Unit NSF*	491	492	453		588	617	581	632	633		1038	1046	1155	1154		
# of Bathrooms	1	1	1		1	1	1	1	1		2	2	2	2		
ANSI Type A or B	A	A	B		B	B	B	A	A		B	B	A	A		
1st Floor	0	1	1	2	2	1	1	1	1	6	2	1	0	1	4	12
2nd Floor	1	0	1	2	3	1	1	1	1	7	2	1	1	0	4	13
3rd Floor	1	0	1	2	3	1	1	2	0	7	2	1	1	0	4	13
4th Floor	1	0	1	2	3	1	1	2	0	7	2	1	1	0	4	13
5th Floor	1	0	1	2	3	1	1	2	0	7	2	1	1	0	4	13
Total	4	1	5	10	14	5	5	8	2	34	10	5	4	1	20	64
NSF by Unit Type	1,963	492	2,263	4,718	8,226	3,087	2,905	5,059	1,265	20,542	10,381	5,230	4,618	1,154	21,383	46,643
Unit Mix %				15.6%						53.1%					31.3%	
ANSI Unit Mix %				50.0%						29.4%					31.3%	
UFAS Unit Mix %				10%						5.9%					6.3%	
VHI Unit Mix %															3.1%	
Avg Unit NSF*				472						604					1,069	729

* measured from centerlines of demising walls and exterior face of corridor side of corridor wall to exterior face of exterior wall. Areas shown are average for that type.



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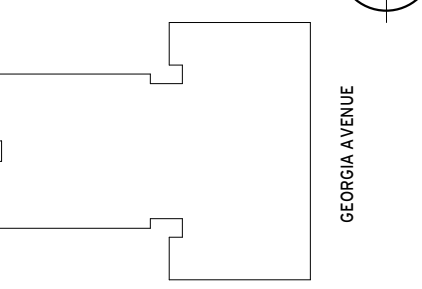
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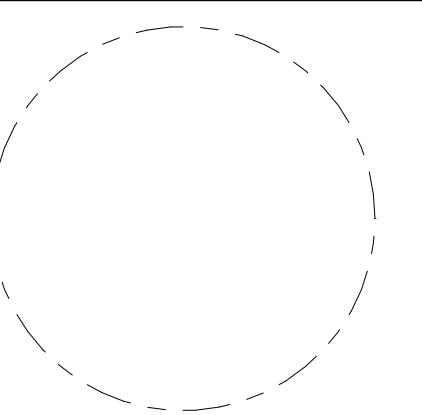


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Unit Mix

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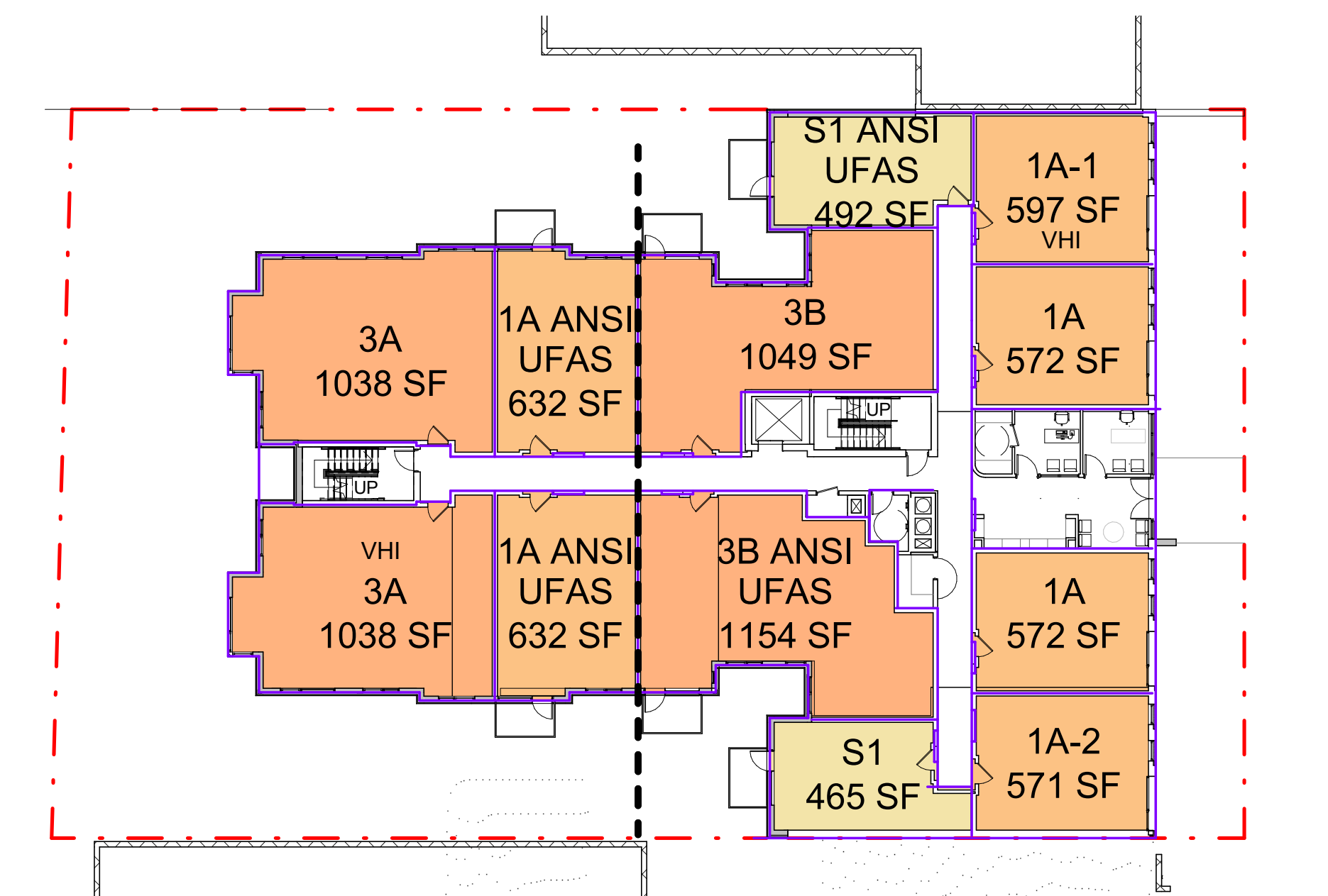
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04/23/21

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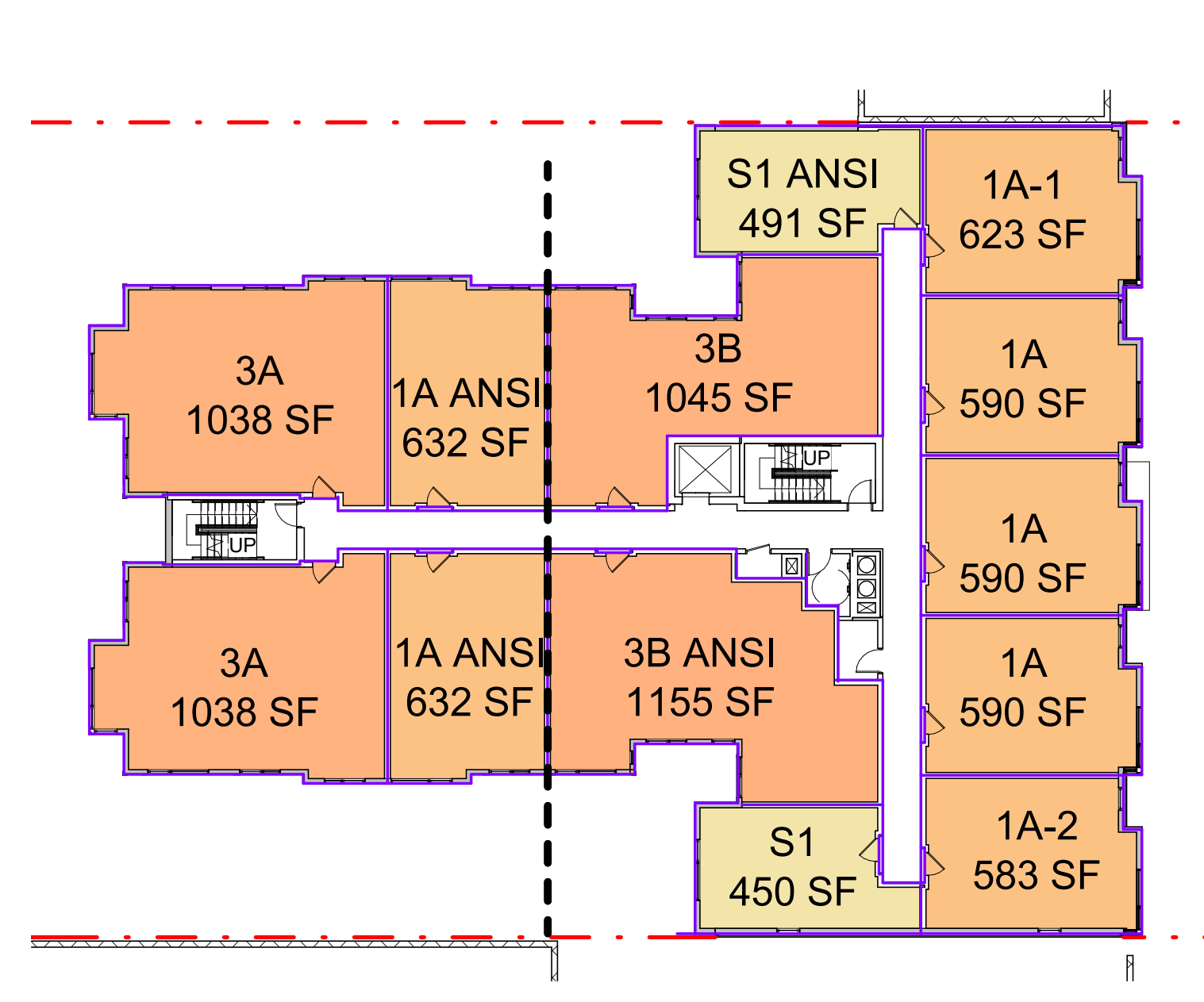
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1" = 20'-0"

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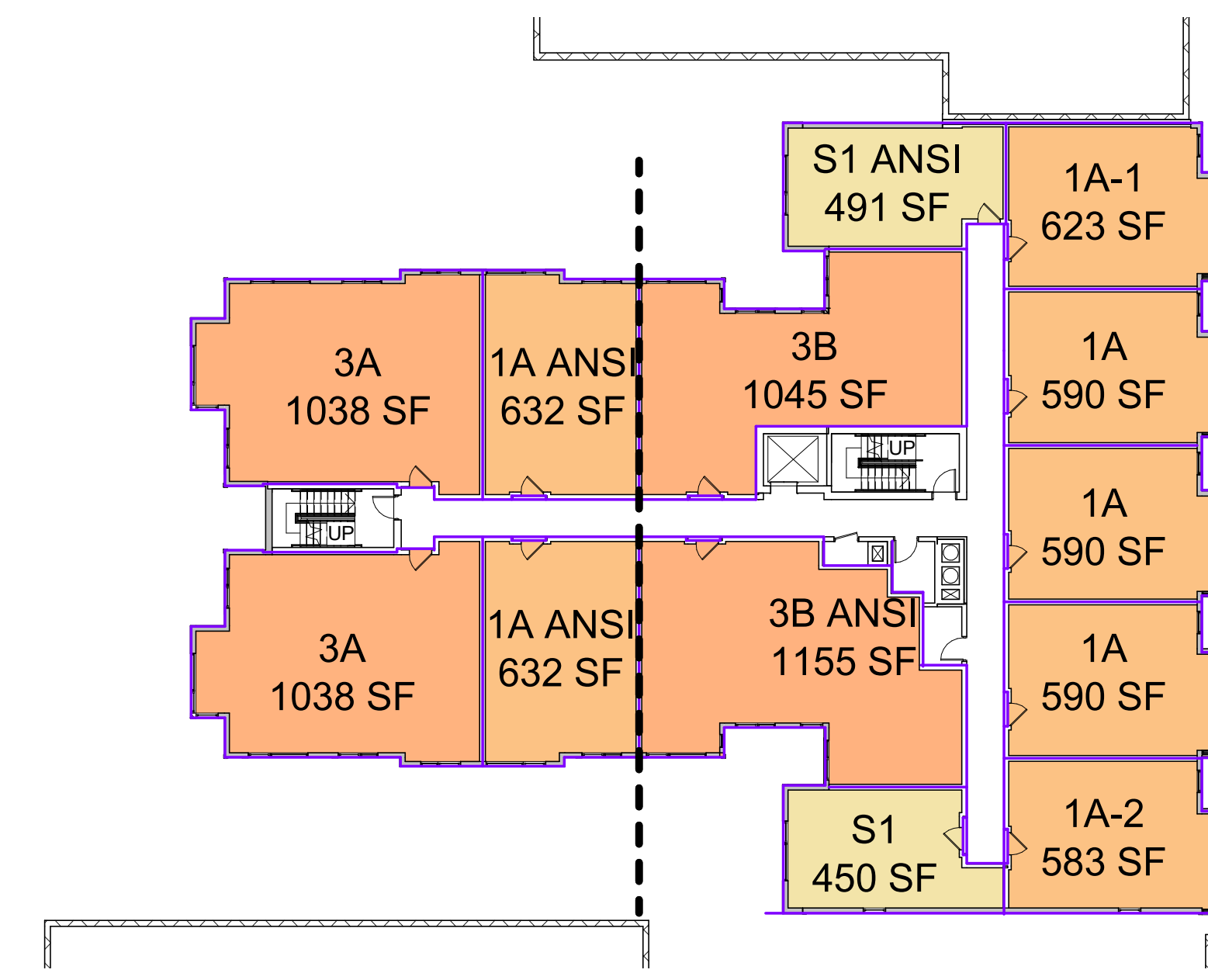
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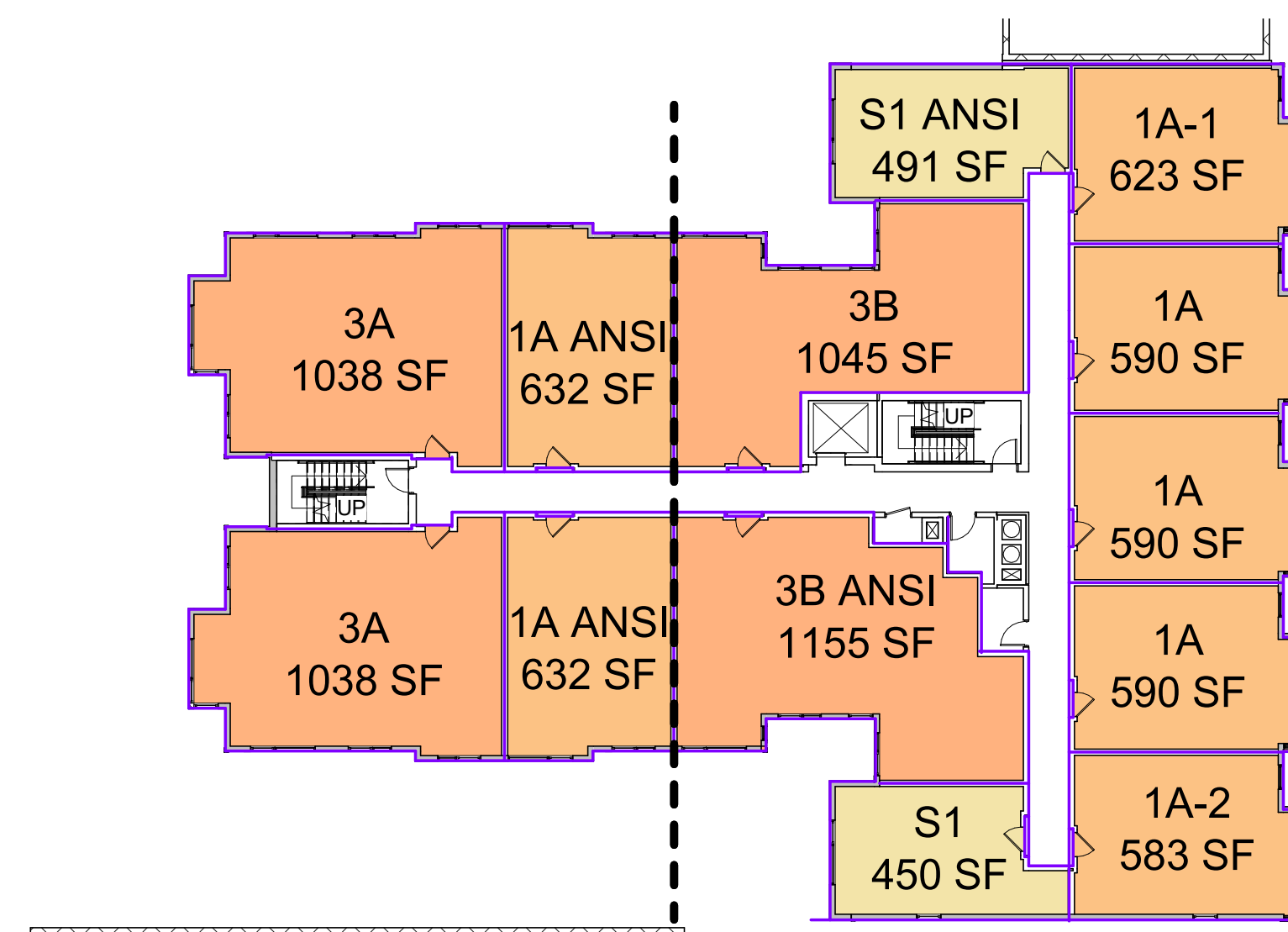
1 1st Floor
1" = 20'-0"



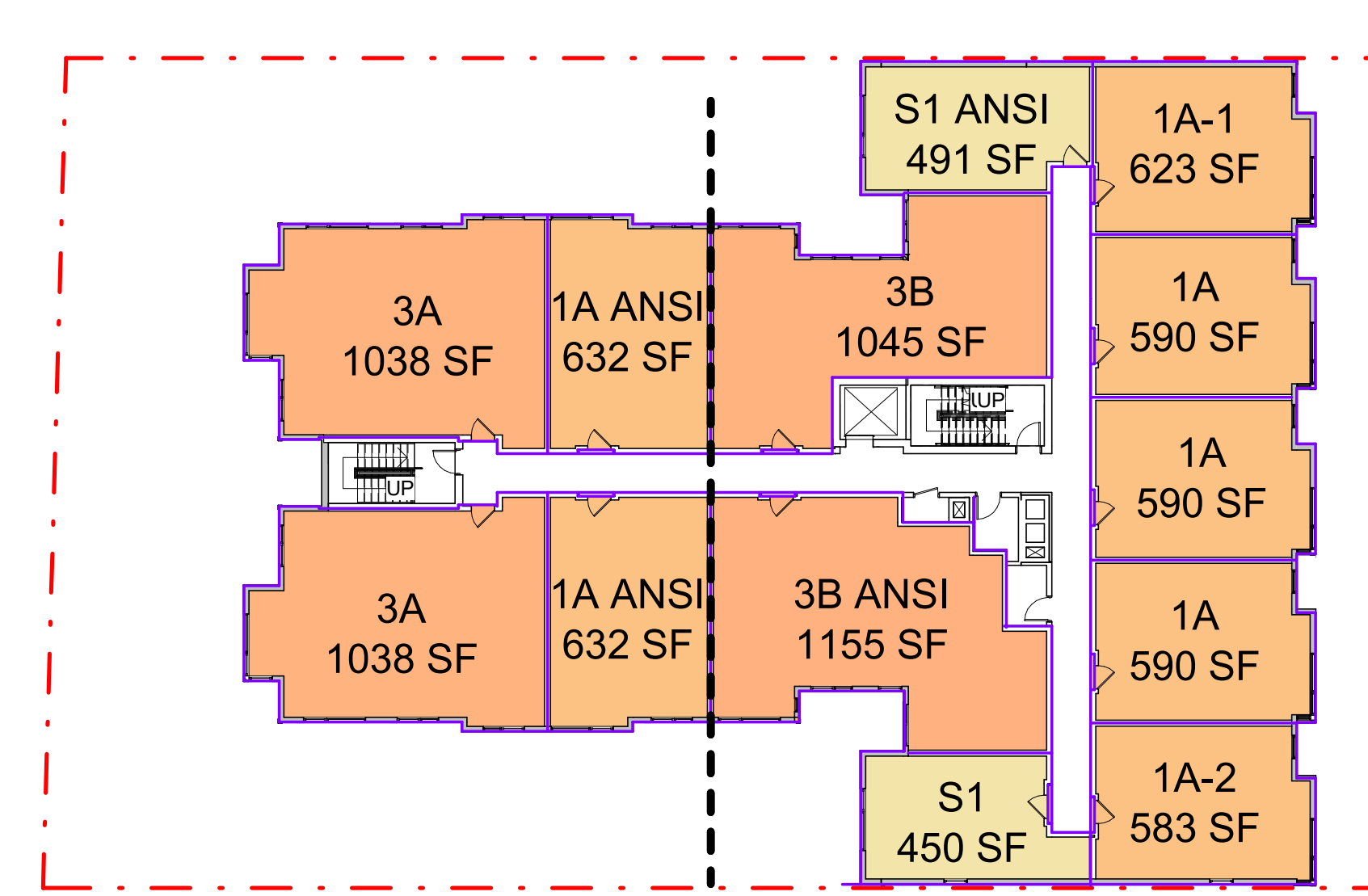
2 2nd Floor
1" = 20'-0"



3 3rd Floor
1" = 20'-0"



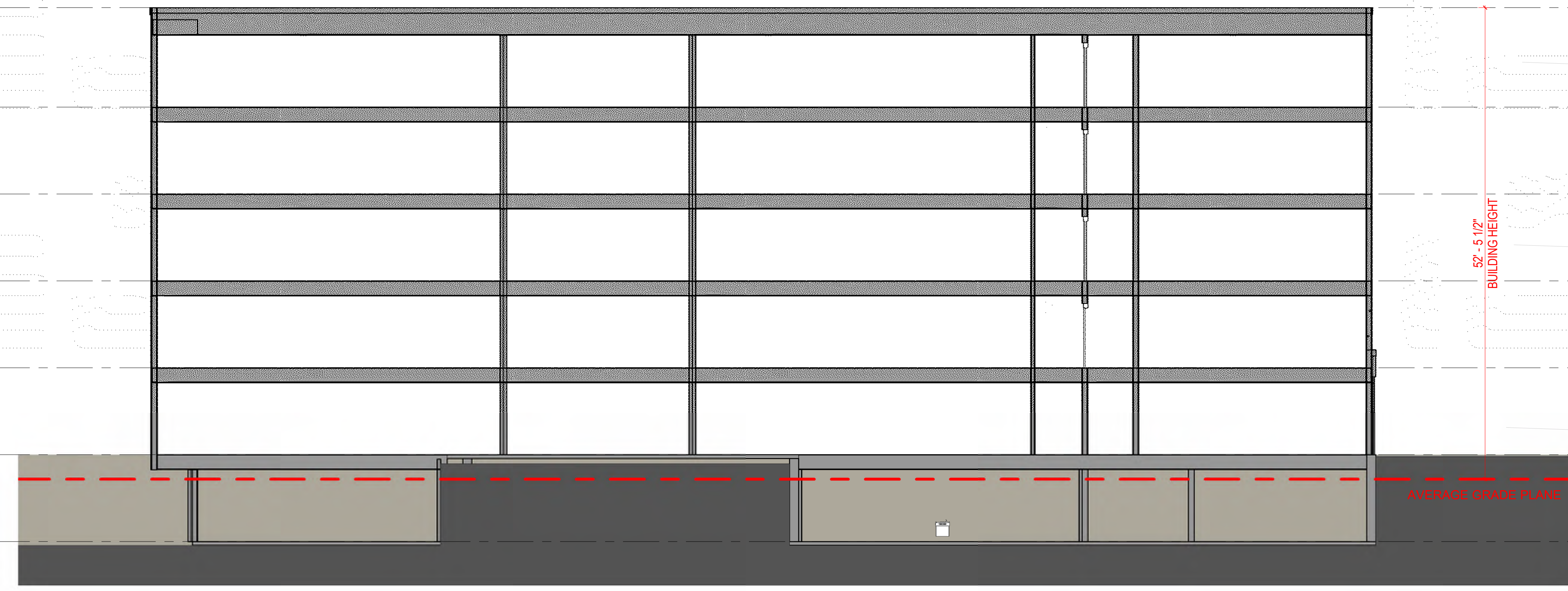
4 4th Floor
1" = 20'-0"



5 5th Floor
1" = 20'-0"

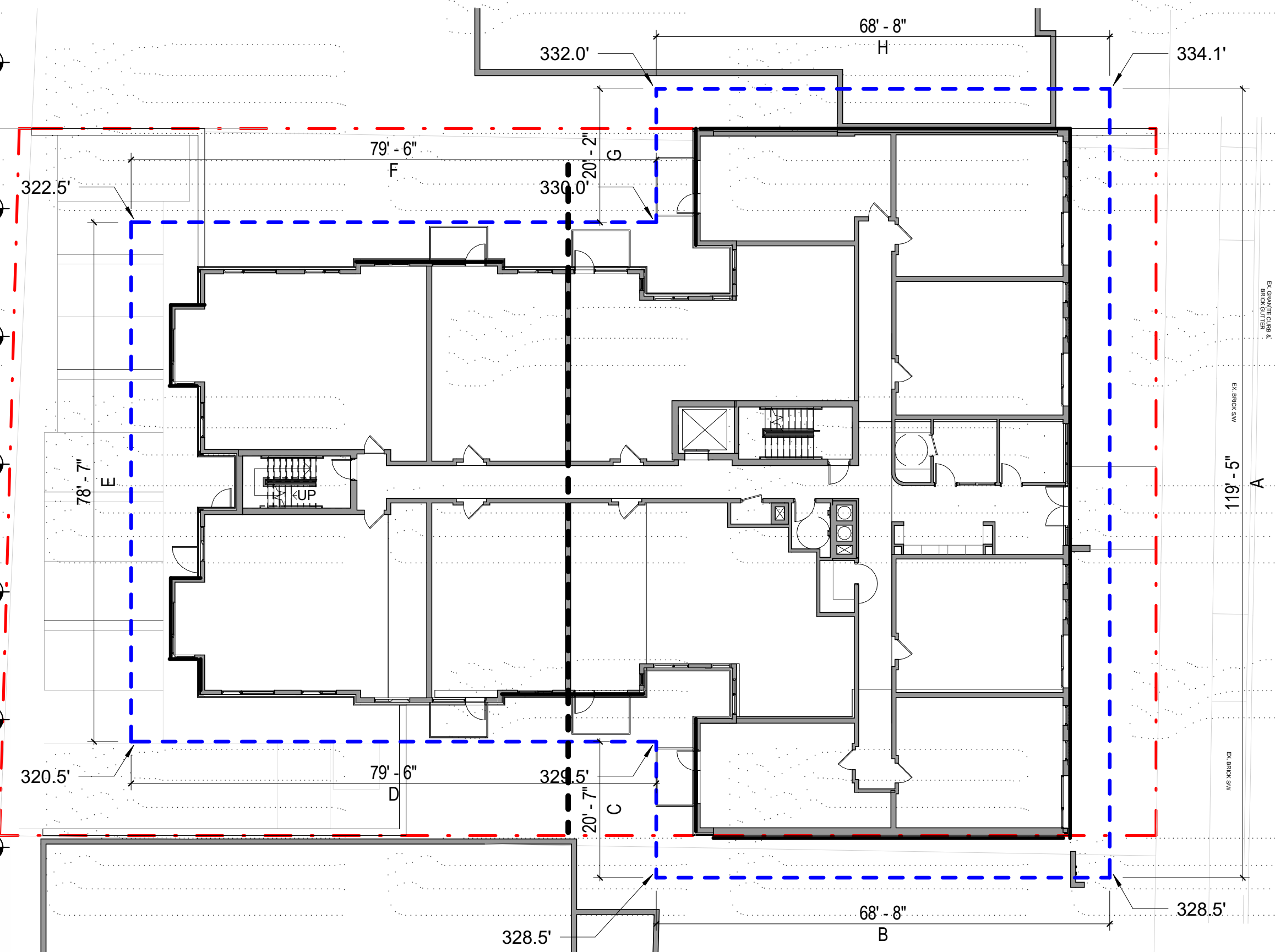
1 Building Height

1/8" = 1'-0"



2 Code - Average Grade

1/16" = 1'-0"



3 South Elevation

1/8" = 1'-0"



5 West Elevation

1/8" = 1'-0"



AVERAGE GRADE PLANE CALCULATION			
Wall Segment	Average Elevation (ft)	Length (ft)	Average Elevation x Length
A	331.3'	119.4'	39,557.22
B	328.5'	68.7'	22,567.95
C	329.0'	20.6'	6,777.40
D	325.0'	79.5'	25,837.50
E	321.5'	78.6'	25,269.90
F	326.25'	79.5'	25,936.87
G	331.0'	20.2'	6,686.2
H	333.05'	68.7'	22,880.53
Total (ft)		535.2'	175,513.57
GRADE PLANE	327.94'		

Table 705.8 - Maximum Area of Exterior Wall Openings

Fire Separation Distance (ft)	Degree of Opening protection	Allowable Area*
0 to less than 3		Not Permitted
3 to less than 5		15%
5 to less than 10	Unprotected, Sprinklered	25%
10 to less than 15		45%
15 to less than 20		75%
20 plus		No Limit

* Areas indicated are the percentage of the area of the exterior wall, per story



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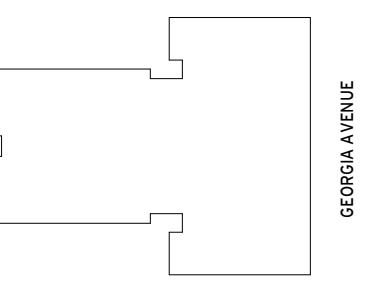
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202.667.1620

Key Plan



Issue

NO. DATE

Revisions

NO. DATE

Average Grade, Building Height, & Opening Calcs

PRINCIPAL IN CHARGE
S.F.
PROJECT ARCHITECT
S.F.

DRAWN
B.L.
DATE
04/23/21
SCALE:
As indicated
JOB NO.
18506.00

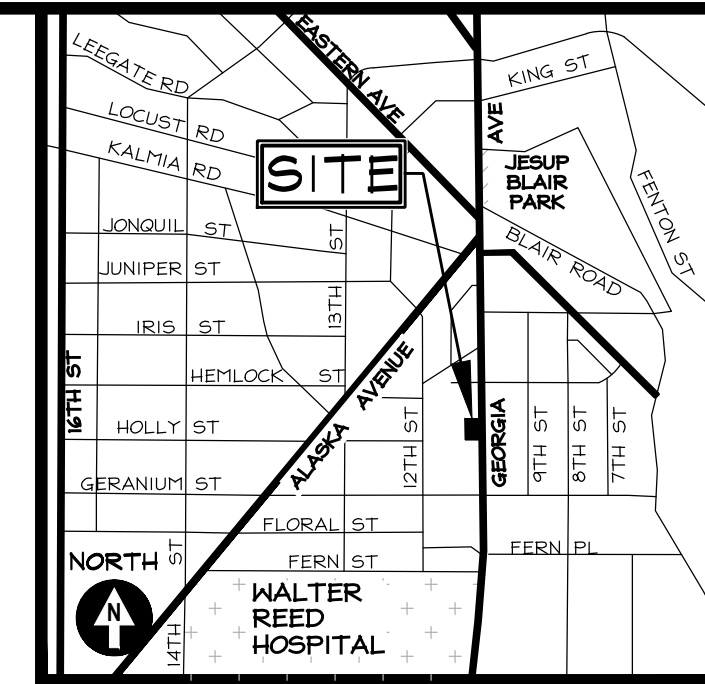
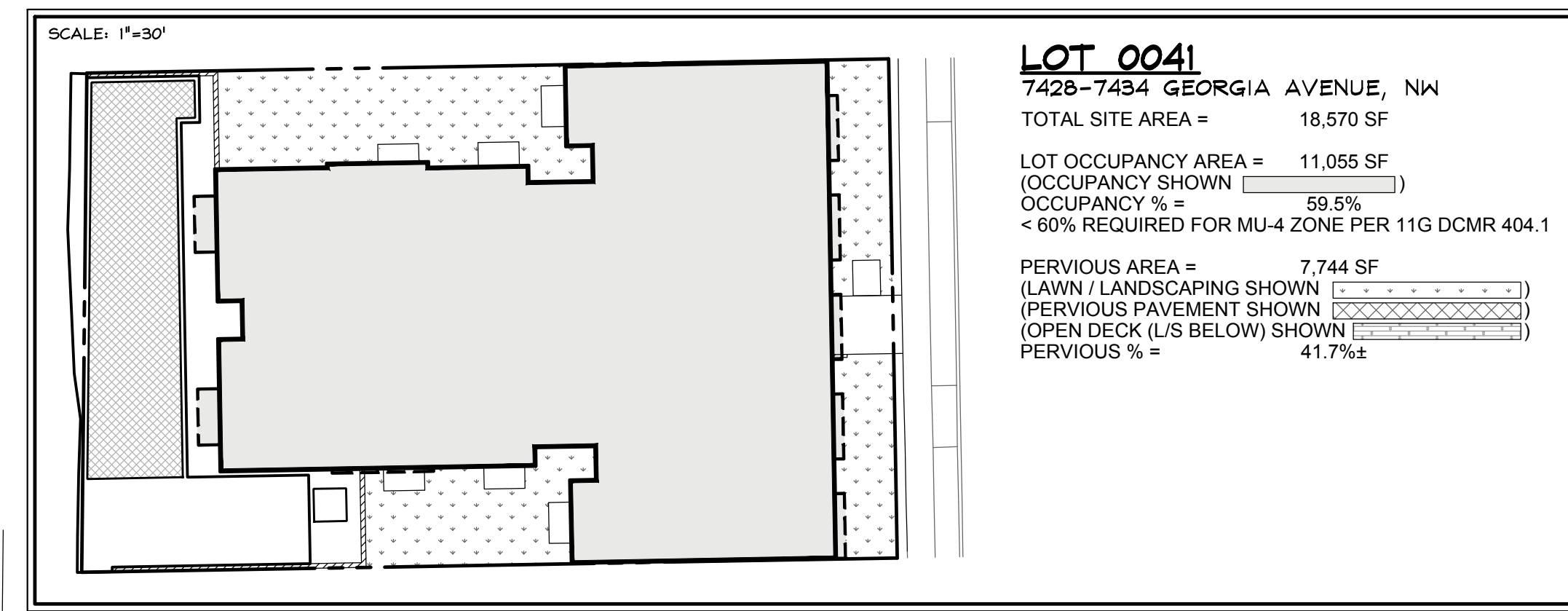
DRAWING NO.
G104

SCHEMATIC DESIGN - APRIL 23, 2021

GENERAL NOTES

SEE BUILDING PERMIT SITE, DC WATER, GRADING, AND STORMWATER MANAGEMENT RELATED NOTES ON SHEETS CIV001 AND CIV002.

PERVIOUS AREA AND LOT OCCUPANCY CALCULATIONS FOR COMPLIANCE WITH 11 DCMR (MU-4 ZONE)



VICINITY MAP
ADC MAP 5406, GRID F-4
SCALE: 1" = 2000'



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LOCK 7 DEVELOPMENT
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WASHINGTON, DC 20001
ATTN: DAVID GORMAN
202-759-0905
david@lock7.com

ARCHITECT
TORTI GALLAS + PARTNERS
ATTN: STERHANE FARRELL
1300 SPRING STREET
4TH FLOOR
SILVER SPRING, MD 20910
(301) 588-4800 (EXT. 1258)
stfarrell@tortigas.com

LOT 0041, SQUARE 2956
SHEPHERD PARK

**7428-7434
GEORGIA
AVENUE, NW**

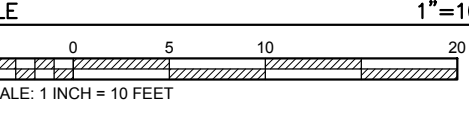
N.W. WASHINGTON,
DISTRICT OF COLUMBIA

PROGRESS PLOT
AUGUST 23, 2019

NOT FOR CONSTRUCTION OR PERMIT SUBMITTAL

PROGRESS ALTA AND BASE SHEET ISSUED	08.10.2019
BHMP ADDED TO BASE SHEET	07.12.2019
FEASIBILITY SITE PLAN ISSUED	08.01.2019

REVISION	DATE
CAS PROJECT	19-201-DC
DATE	08/20/2019
DRAWN BY	BDA
CHECKED BY	DCL
APPROVAL	DCL
SCALE	1"=10'



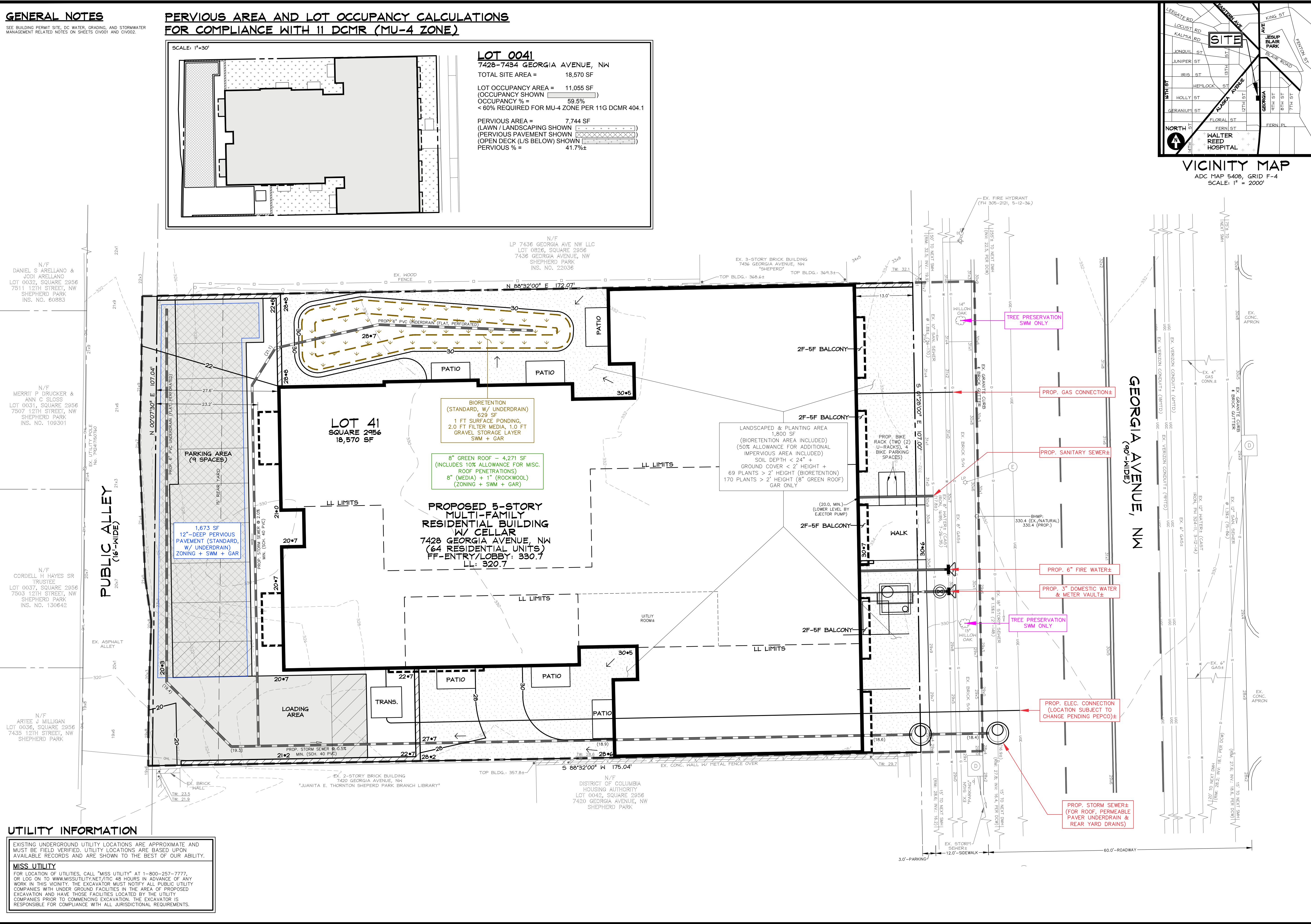
SHEET TITLE
BUILDING PERMIT SITE,
DC WATER, GRADING,
AND STORMWATER
MANAGEMENT PLAN

CIV200

UTILITY INFORMATION

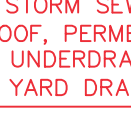
EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

MISS UTILITY
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ATC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.



GEORGIA AVENUE, NW
(30'-WIDE)

PUBLIC ALLEY
(16'-WIDE)

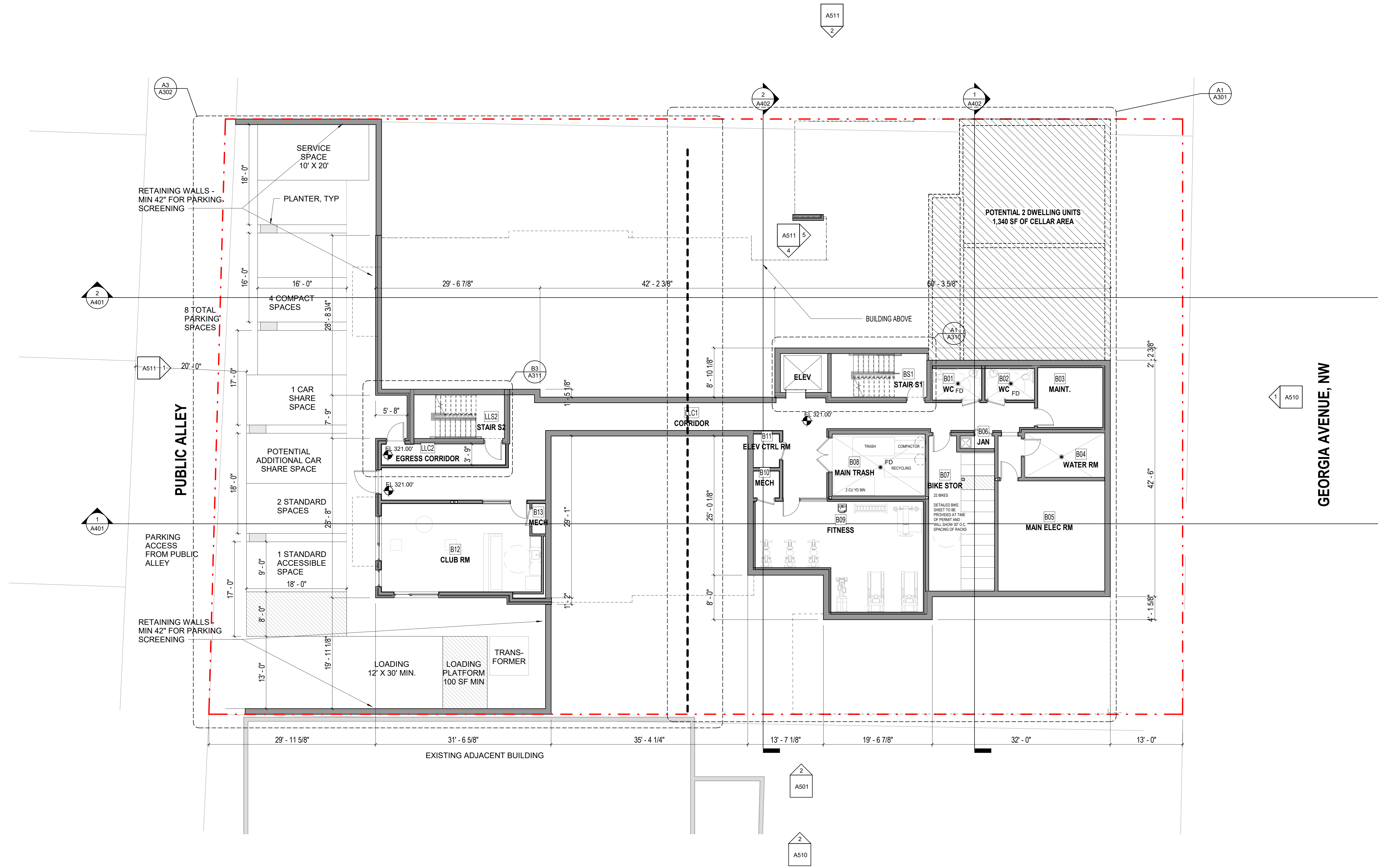


PROGRESS PLOT
AUGUST 23, 2019

CIV200

TYPICAL NOTES FOR 1/8" PLANS

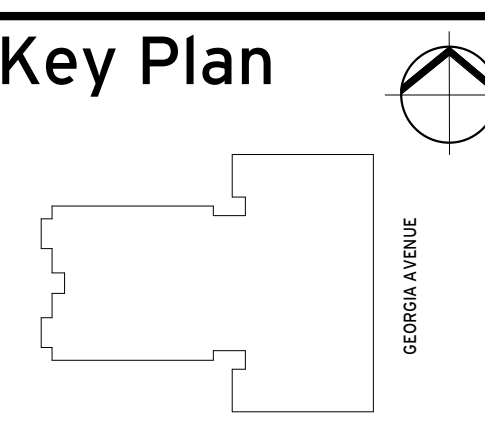
1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS.
3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



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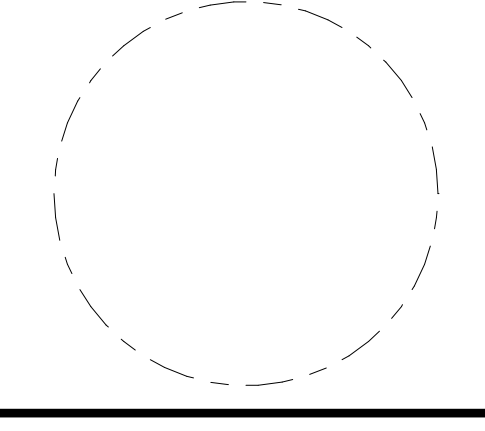
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Issue	
NO.	DATE

Revisions	
NO.	DATE

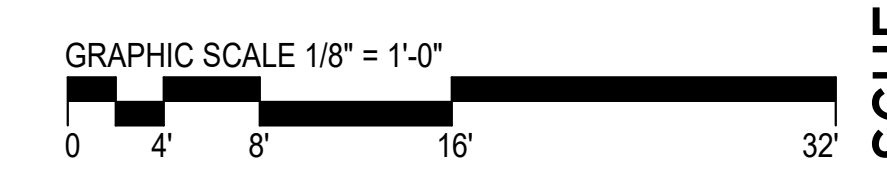


Basement Floor Plan

PRINCIPAL IN CHARGE S.F.	
PROJECT ARCHITECT S.F.	
DRAWN B.L.	
DATE 04/23/21	APPROVED
SCALE: As indicated	JOB NO. 18506.00

DRAWING NO.
A201

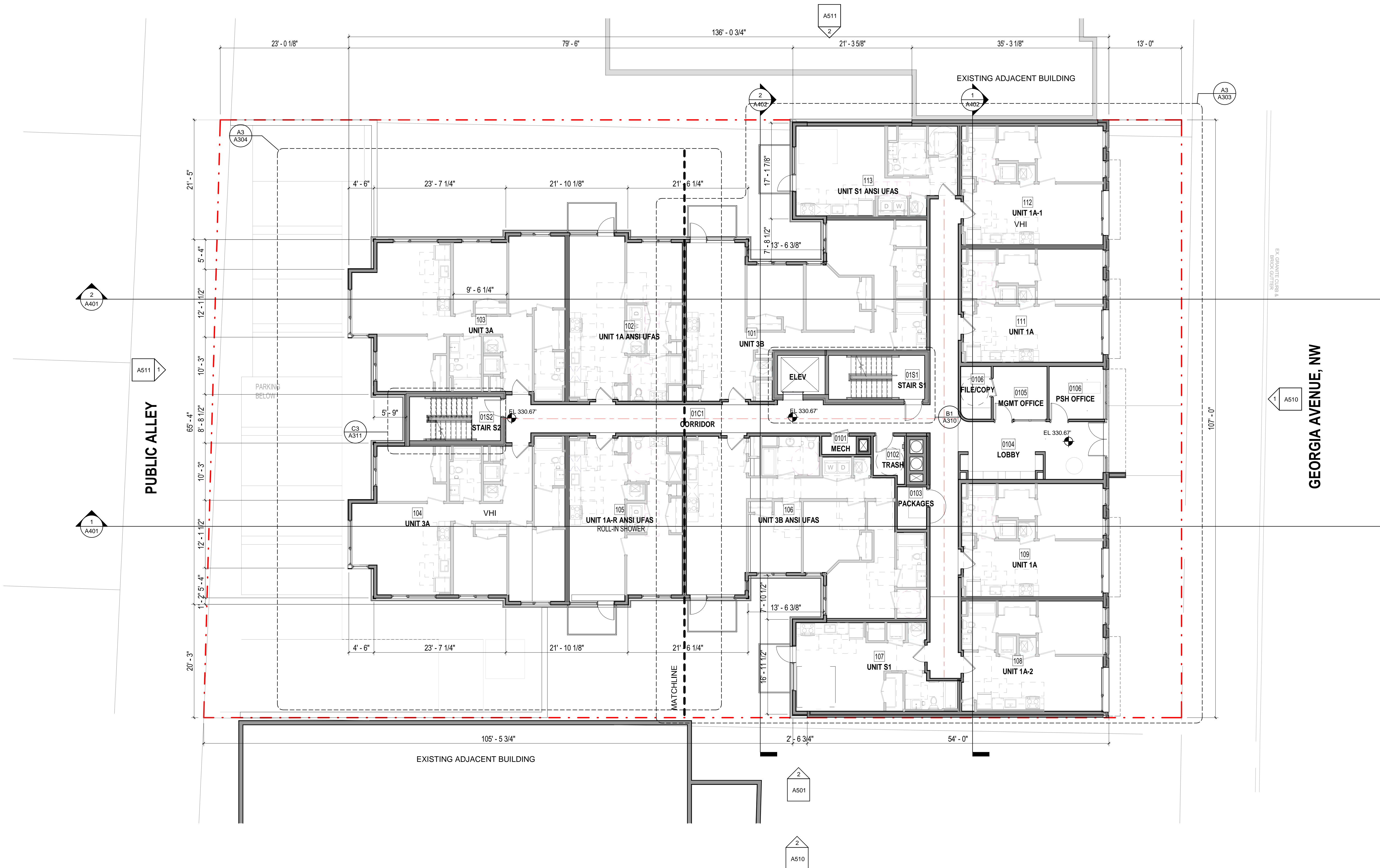
SCHEMATIC DESIGN - APRIL 23, 2021



A1 BASEMENT FLOOR PLAN
 1/8" = 1'-0"

TYPICAL NOTES FOR 1/8" PLANS

1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS.
3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



A1 1ST FLOOR PLAN

1/8" = 1'-0"

GRAPHIC SCALE 1/8" = 1'-0"

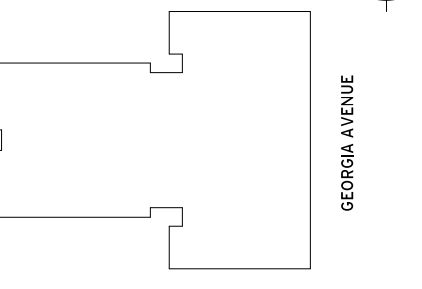


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Key Plan



Issue

NO. DATE

Revisions

NO. DATE

First Floor Plan

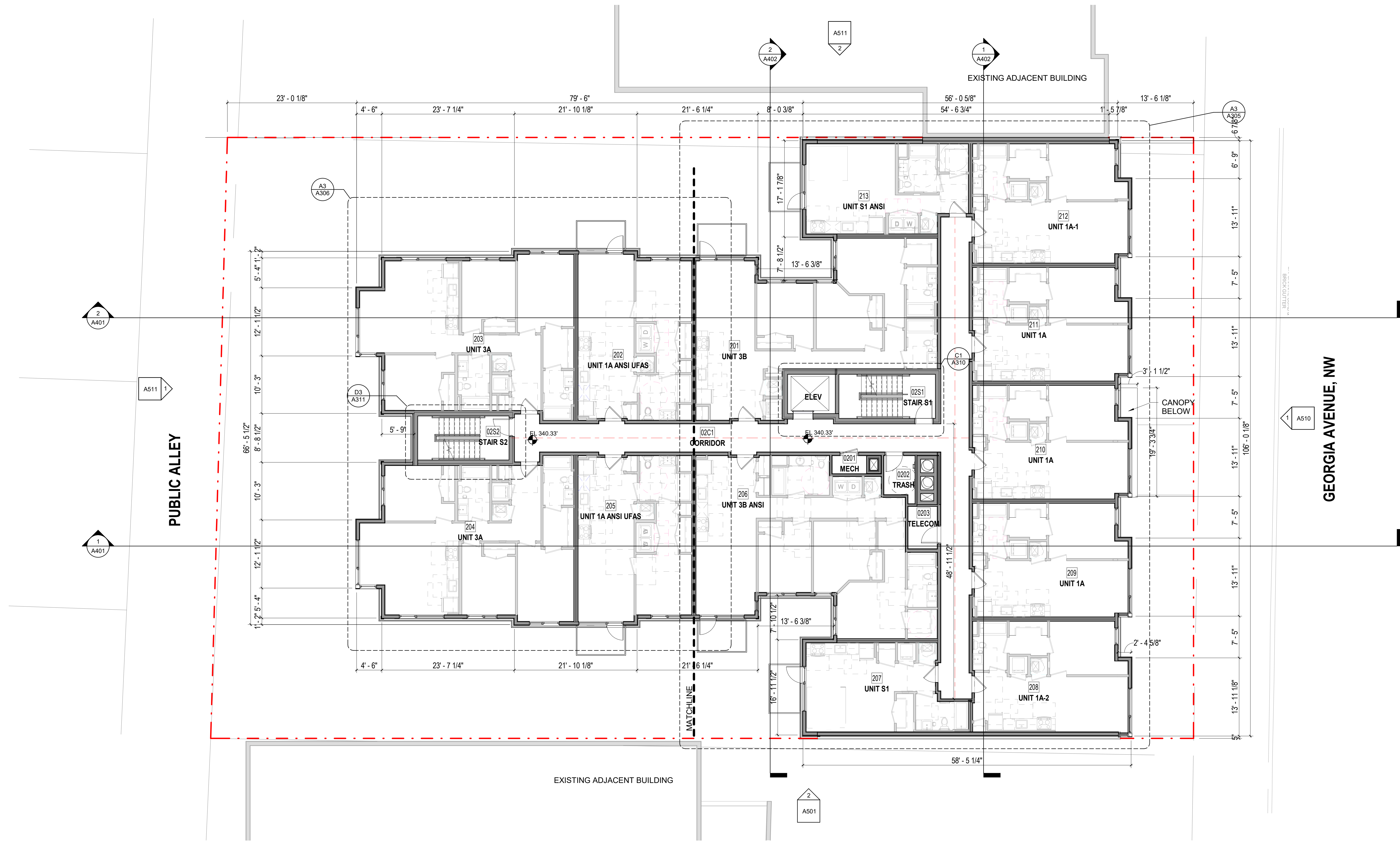
PRINCIPAL IN CHARGE
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PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE
04/23/21
SCALE:
As indicated
JOB NO.
18506.00

A202

SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/8" PLANS

- INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
- DOOR SYMBOLS: SEE 1/4" FLOOR PLANS.
- INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
- EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
- INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



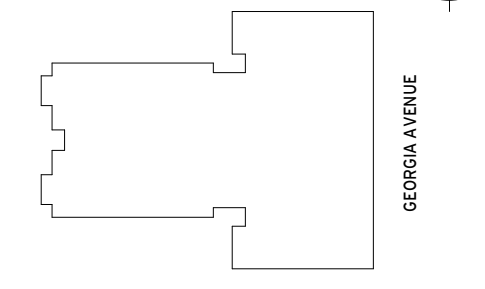
A1 2ND FLOOR PLAN
1/8" = 1'-0"

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Key Plan



Issue

NO.	DATE

Revisions

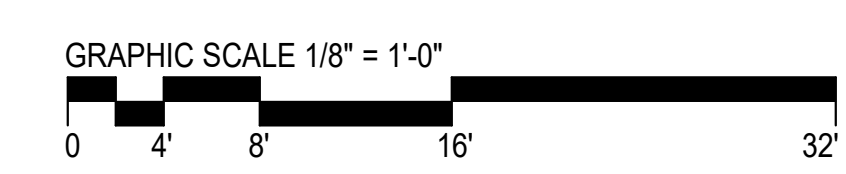
NO.	DATE

2nd Floor Plan

PRINCIPAL IN CHARGE
S.F.
PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE
04/23/21
SCALE:
As indicated
APPROVED
JOB NO.
18506.00

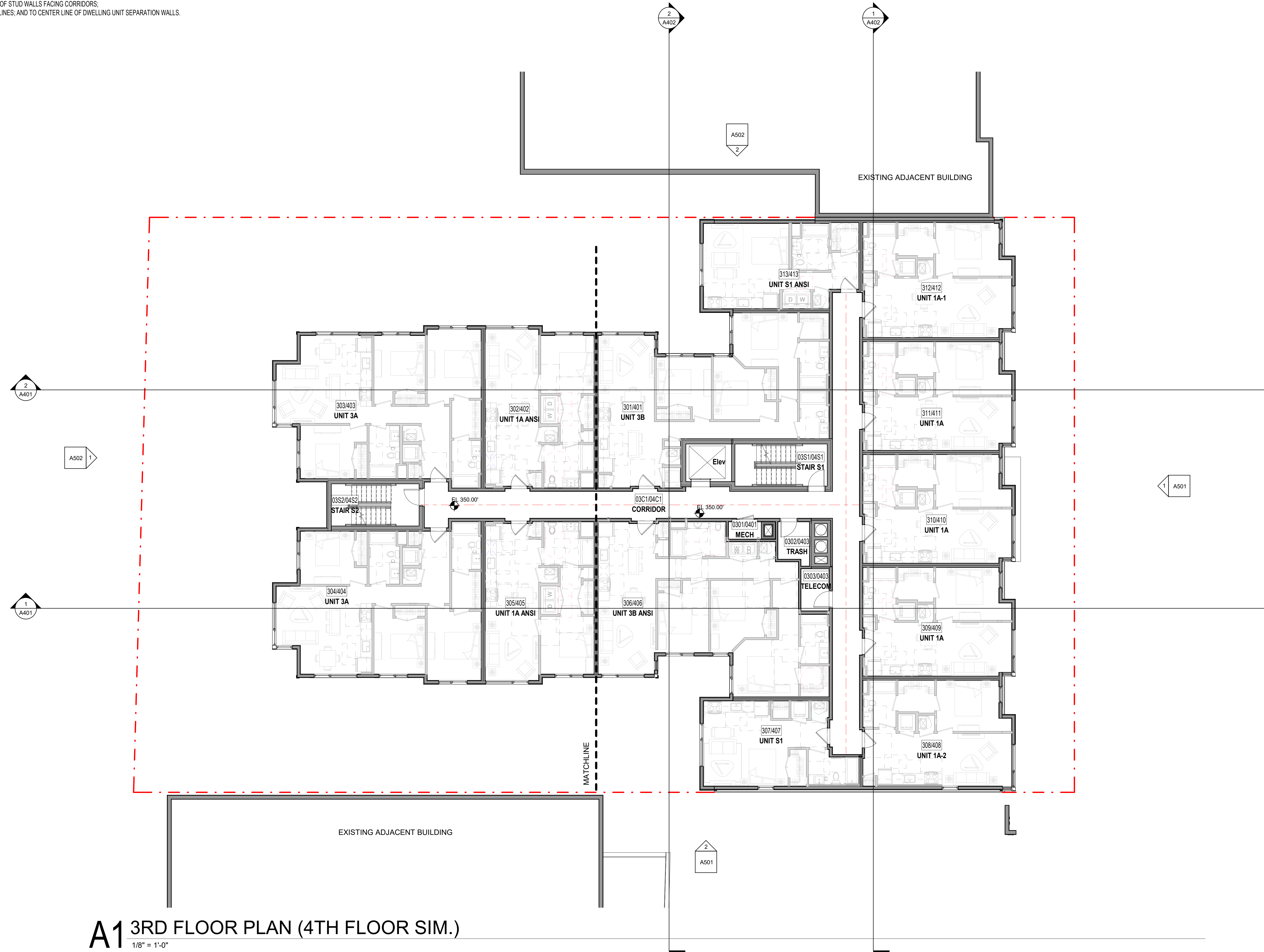
A203

SCHEMATIC DESIGN - APRIL 23, 2021



TYPICAL NOTES FOR 1/8" PLANS

1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS.
3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



A1 3RD FLOOR PLAN (4TH FLOOR SIM.)
1/8" = 1'-0"



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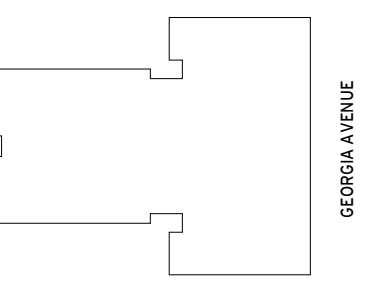
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Key Plan



Issue

NO. DATE

Revisions

NO. DATE

3rd Floor Plan (4th Floor Sim.)

PRINCIPAL IN CHARGE
S.F.

PROJECT ARCHITECT
S.F.

DRAWN
B.L.

DATE 04/23/21 APPROVED

SCALE: As indicated JOB NO. 18506.00

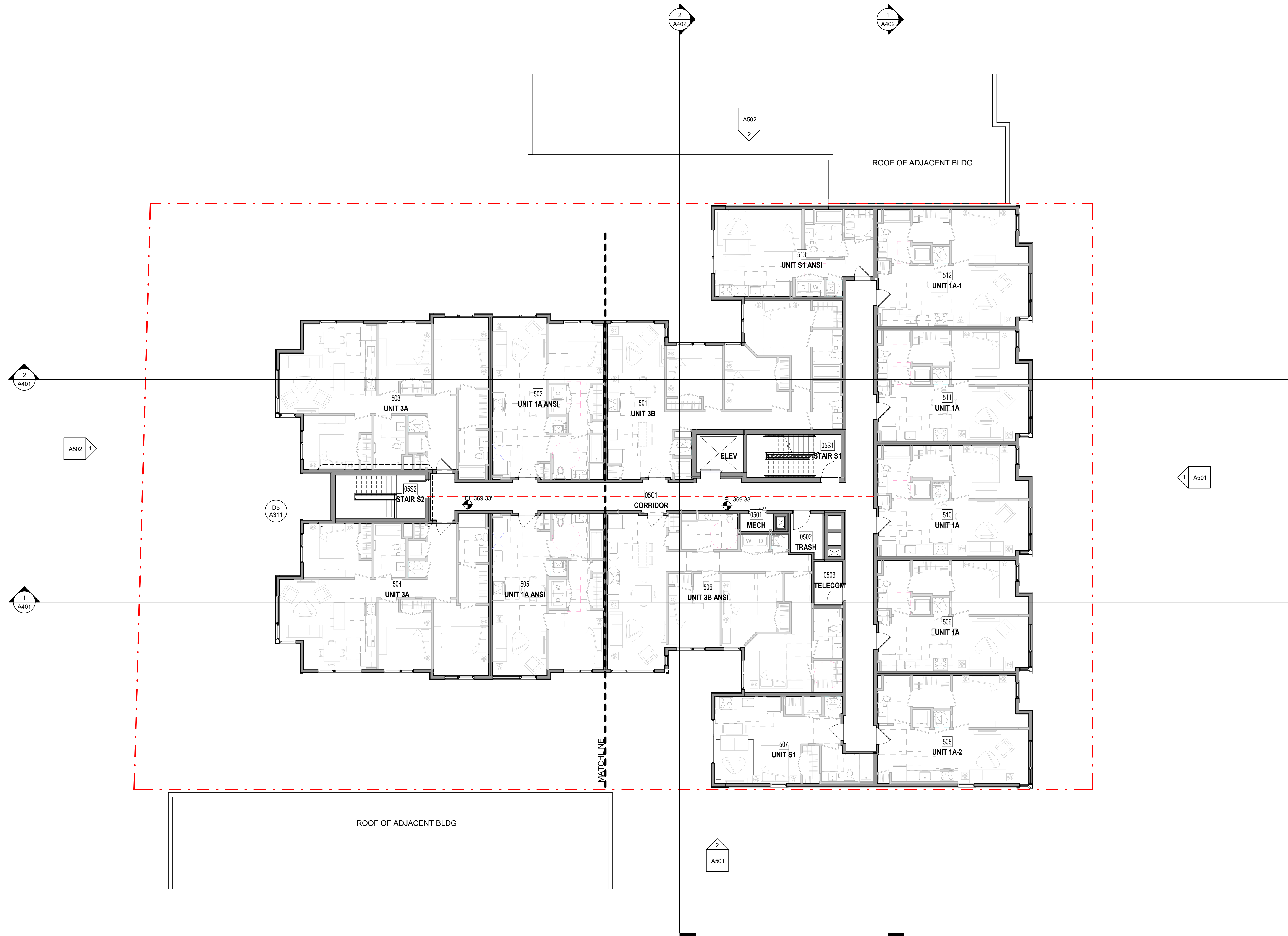
DRAWING NO.

A204

SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/8" PLANS

1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS.
3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



A1 5TH FLOOR PLAN

1/8" = 1'-0"

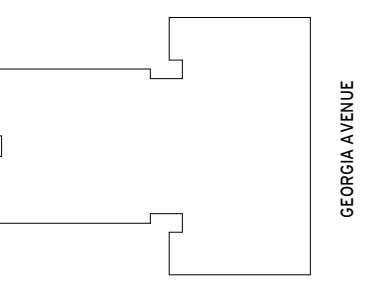


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Key Plan



Issue

NO.	DATE

Revisions

NO.	DATE

5th Floor Plan

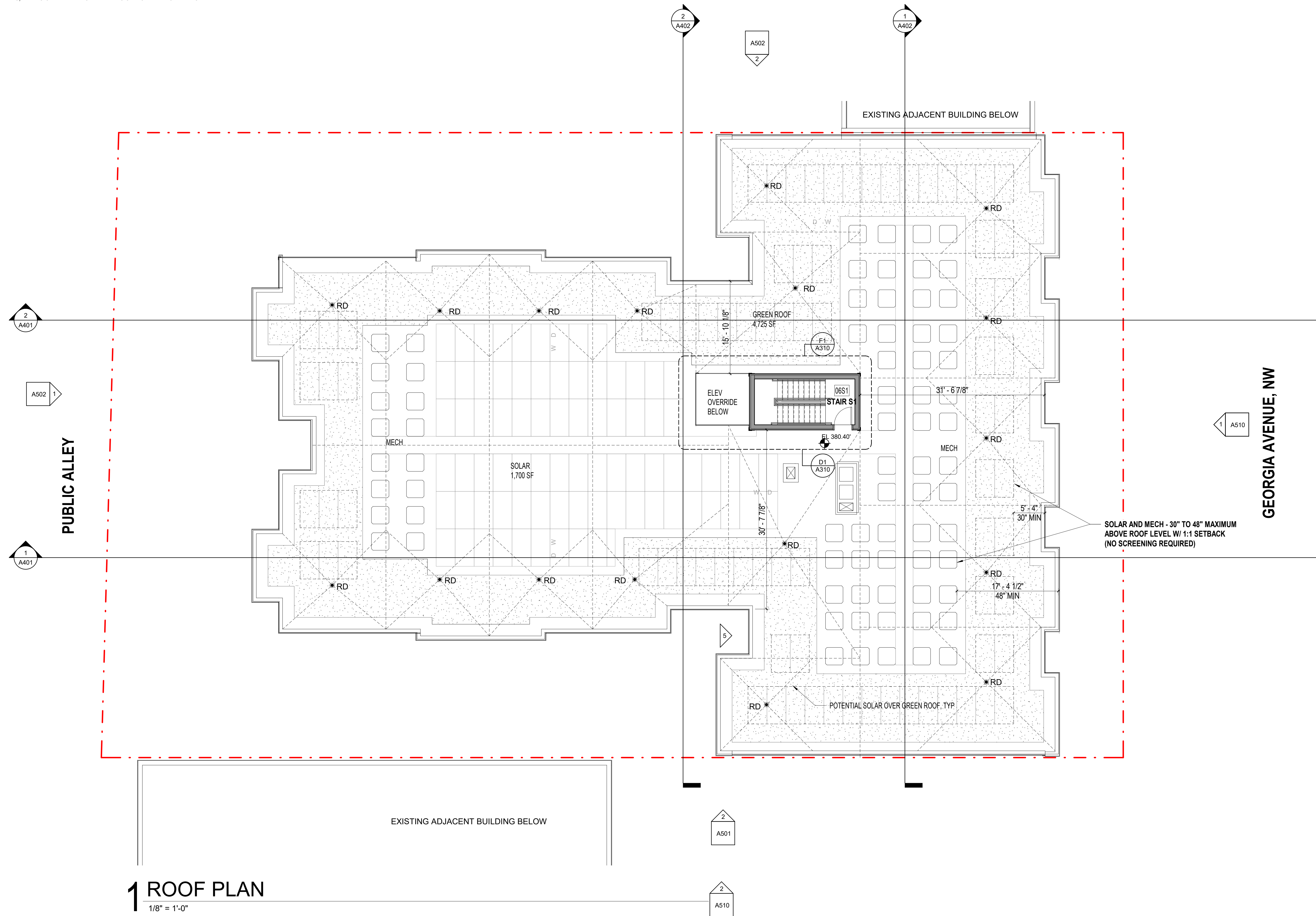
PRINCIPAL IN CHARGE	S.F.
PROJECT ARCHITECT	S.F.
DRAWN	B.L.
DATE	APPROVED
04/23/21	
SCALE:	JOB NO.
As indicated	18506.00
DRAWING NO.	

A205

SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/8" PLANS

1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS.
3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



1 ROOF PLAN
1/8" = 1'-0"

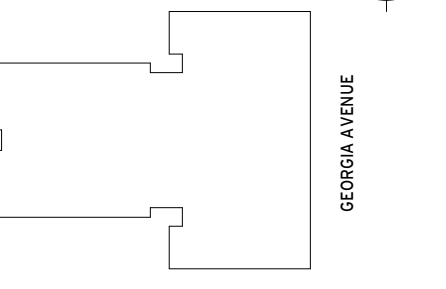


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Key Plan



Issue

NO. DATE

Revisions

NO. DATE

Roof Plan

PRINCIPAL IN CHARGE
S.F.
PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE
04/23/21
APPROVED
SCALE:
As indicated
JOB NO.
18506.00

DRAWING NO.

A206

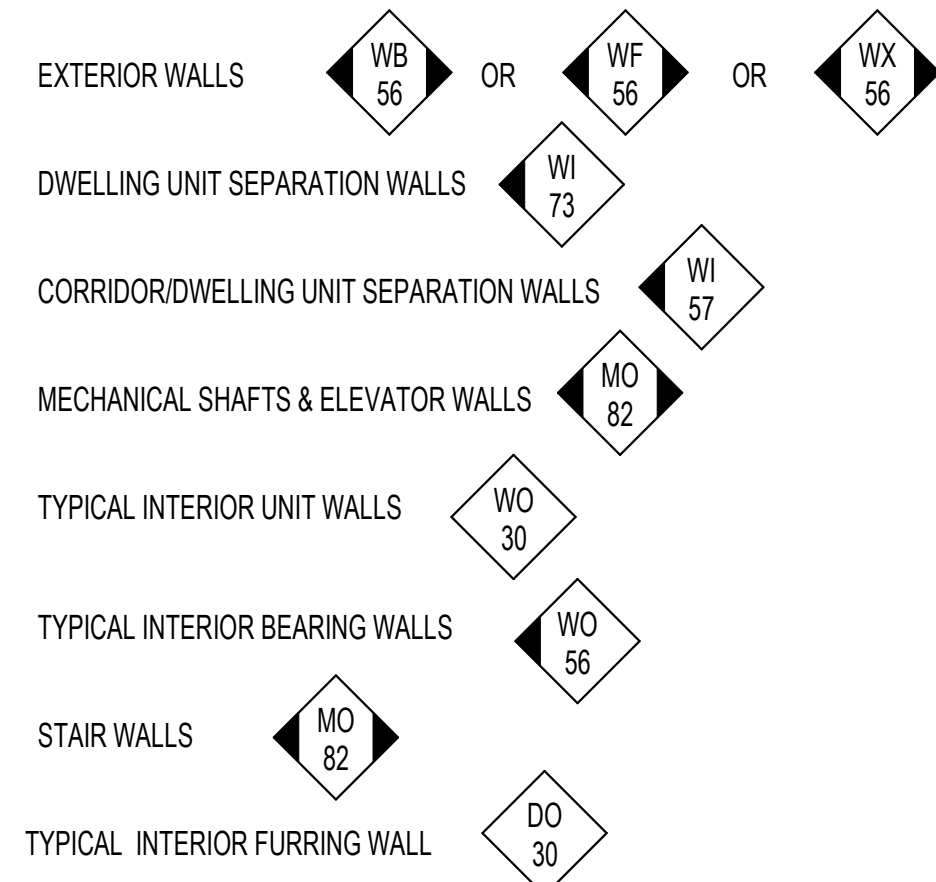
SCHEMATIC DESIGN - APRIL 23, 2021

GRAPHIC SCALE 1/8" = 1'-0"

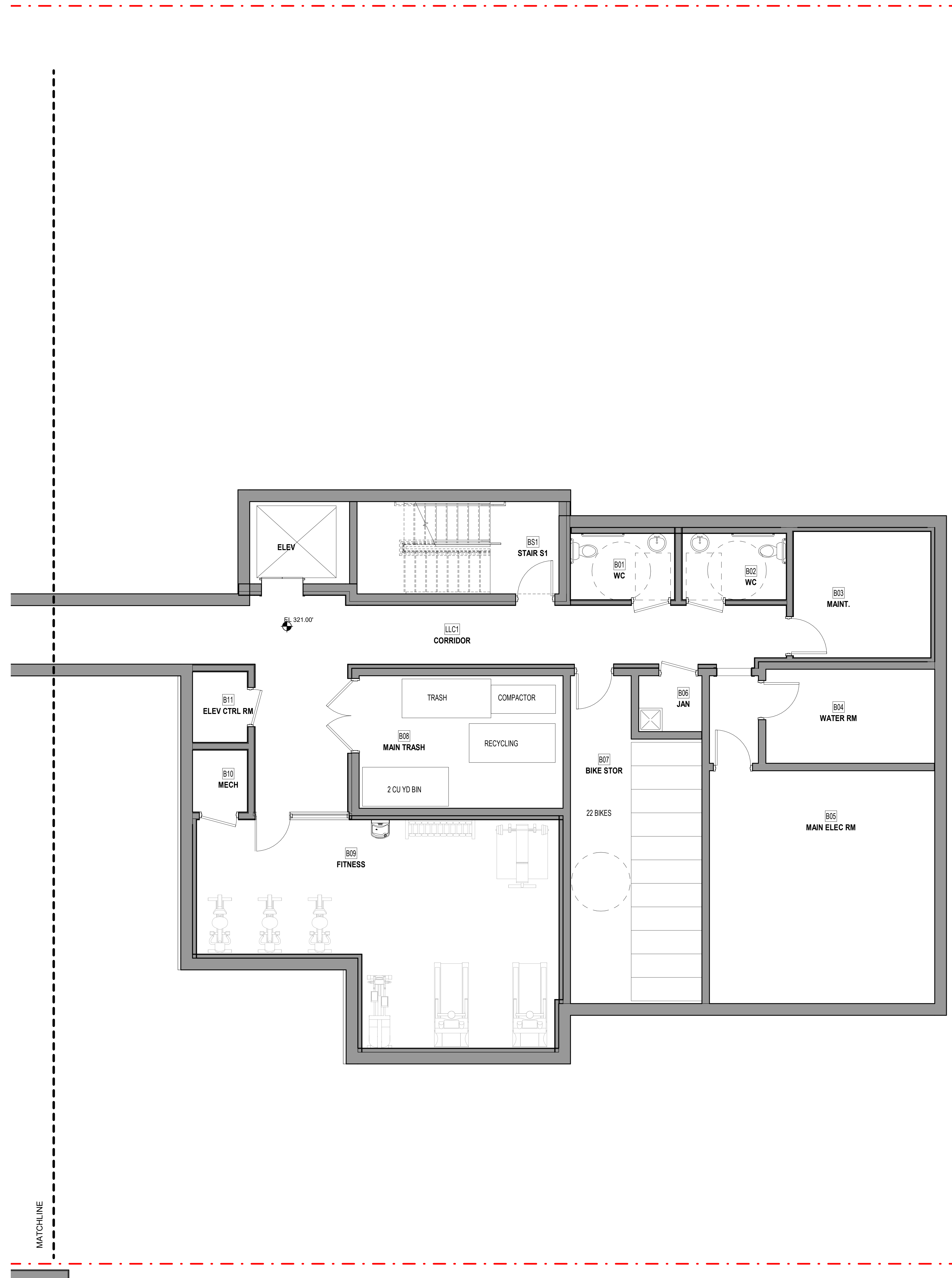


TYPICAL NOTES FOR 1/4" PLANS

1. THE FOLLOWING ARE TYPICAL WALL TYPES, UNLESS OTHERWISE INDICATED ON PLANS:



2. ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES.
3. WALL TYPES: DESCRIBED ON A700 SERIES.
4. DOOR SCHEDULE: SEE 1/8" SCALE BUILDING PLANS AND ELEVATIONS.
5. WINDOWS INDICATIONS: SEE 1/8" SCALE BUILDING PLANS.
6. WINDOW LOCATIONS: SEE 1/8" SCALE BUILDING PLANS.
7. WINDOW TYPES: SEE A700 SERIES.
8. KITCHEN ELEVATIONS AND PLANS: SEE A800 SERIES.
9. BATHROOM ELEVATIONS AND PLANS: SEE A800 SERIES.
10. DIMENSIONS: INDICATED TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS, TO FACE OF STUDS, TO FACE OF CMU, TO FACE OF CONCRETE, TO CENTER LINE OF CORRIDOR, AND TO MAIN GRID LINES.
11. INTERIOR UNIT DIMENSIONS: INDICATED ON ONLY ONE OF EACH TYPICAL UNIT TYPE. VARIATIONS TO SAME UNIT TYPE: DIMENSIONED IN UNITS WHERE THEY OCCUR.
12. DOORS: LOCATE TYPICALLY EITHER CENTERED ON SPACES, SET AT 4" FROM ADJACENT WALL ALONG HINGE SIDE, OR AS INDICATED ON PLANS.
13. PUBLIC SPACE FINISHES: SEE 1/8" SCALE FLOOR PLANS AND ID DRAWINGS.



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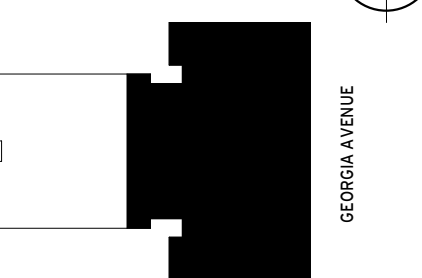
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Issue

NO. DATE

Revisions

NO. DATE

Partial Basement Floor Plan - East

PRINCIPAL IN CHARGE
S.F.

PROJECT ARCHITECT
S.F.

DRAWN
B.L.

DATE
04/23/21

SCALE:
1/4" = 1'-0"

APPROVED

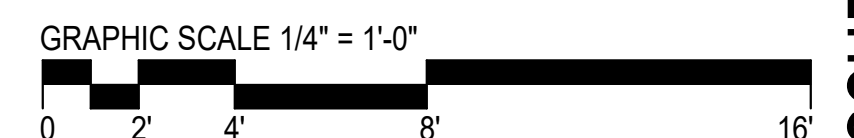
JOB NO.
18506.00

DRAWING NO.

A301

A1 PARTIAL BASEMENT FLOOR PLAN - EAST

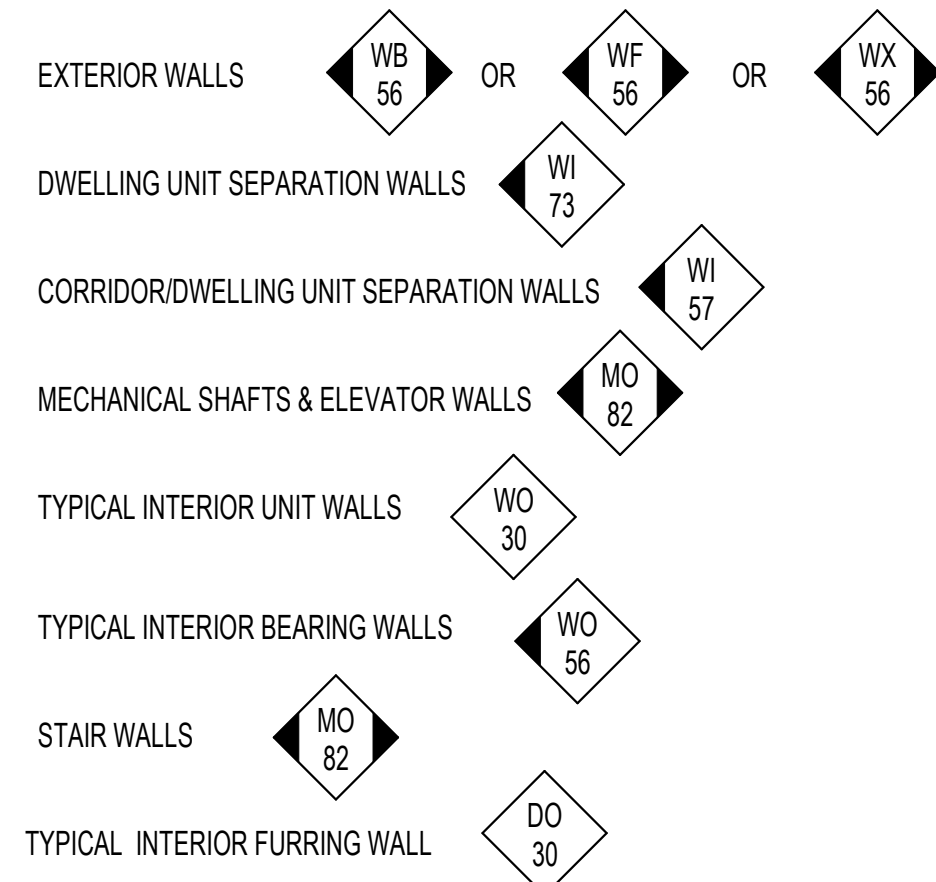
1/4" = 1'-0"



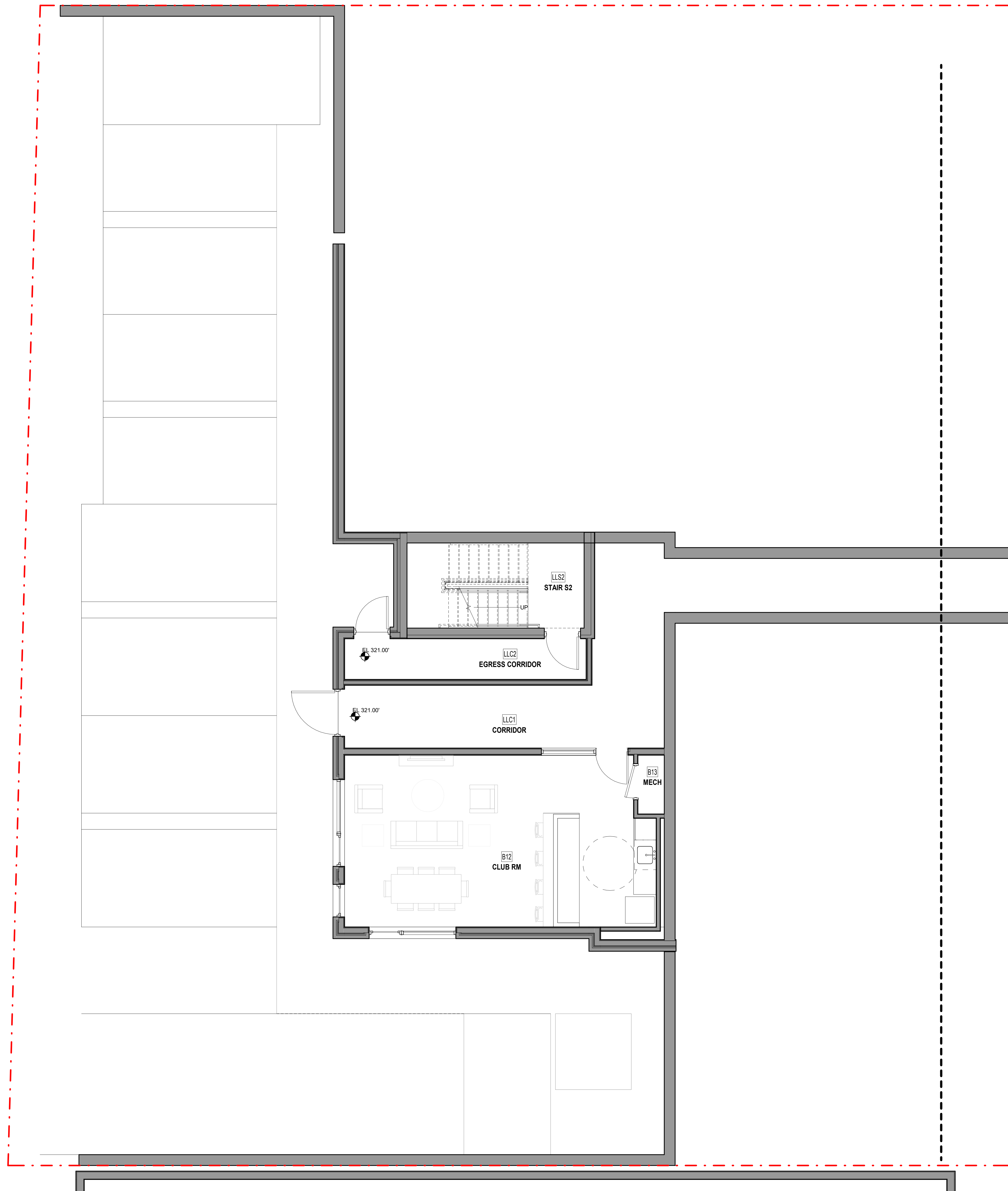
SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/4" PLANS

1. THE FOLLOWING ARE TYPICAL WALL TYPES, UNLESS OTHERWISE INDICATED ON PLANS.

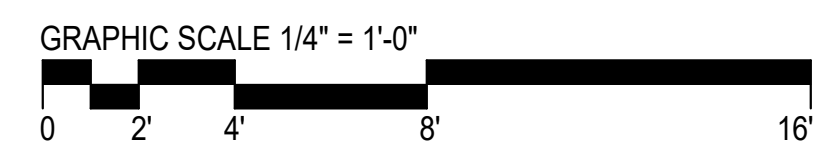


2. ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES.
3. WALL TYPES: DESCRIBED ON A700 SERIES.
4. DOOR SCHEDULE: SEE 1/8" SCALE BUILDING PLANS AND ELEVATIONS.
5. WINDOWS INDICATIONS: SEE 1/8" SCALE BUILDING PLANS.
6. WINDOW LOCATIONS: SEE 1/8" SCALE BUILDING PLANS.
7. WINDOW TYPES: SEE A700 SERIES.
8. KITCHEN ELEVATIONS AND PLANS: SEE A800 SERIES.
9. BATHROOM ELEVATIONS AND PLANS: SEE A800 SERIES.
10. DIMENSIONS: INDICATED TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS, TO FACE OF STUDS, TO FACE OF CMU, TO FACE OF CONCRETE, TO CENTER LINE OF CORRIDOR, AND TO MAIN GRID LINES.
11. INTERIOR UNIT DIMENSIONS: INDICATED ON ONLY ONE OF EACH TYPICAL UNIT TYPE. VARIATIONS TO SAME UNIT TYPE: DIMENSIONED IN UNITS WHERE THEY OCCUR.
12. DOORS: LOCATE TYPICALLY EITHER CENTERED ON SPACES, SET AT 4" FROM ADJACENT WALL ALONG HINGE SIDE, OR AS INDICATED ON PLANS.
13. PUBLIC SPACE FINISHES: SEE 1/8" SCALE FLOOR PLANS AND ID DRAWINGS.



A3 PARTIAL BASEMENT FLOOR PLAN - WEST

1/4" = 1'-0"



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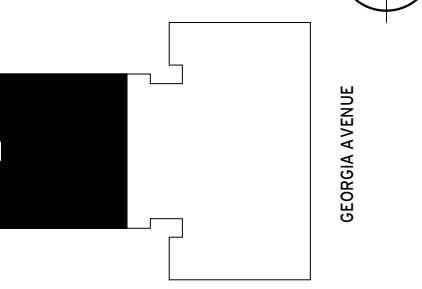
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SUSTAINABLE DESIGN
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202.667.1620

Key Plan



Issue

NO. DATE

Revisions

NO. DATE

Partial Basement Floor Plan - West

PRINCIPAL IN CHARGE
S.F.

PROJECT ARCHITECT
S.F.

DRAWN
B.L.

DATE
04/23/21

SCALE:
1/4" = 1'-0"

JOB NO.
18506.00

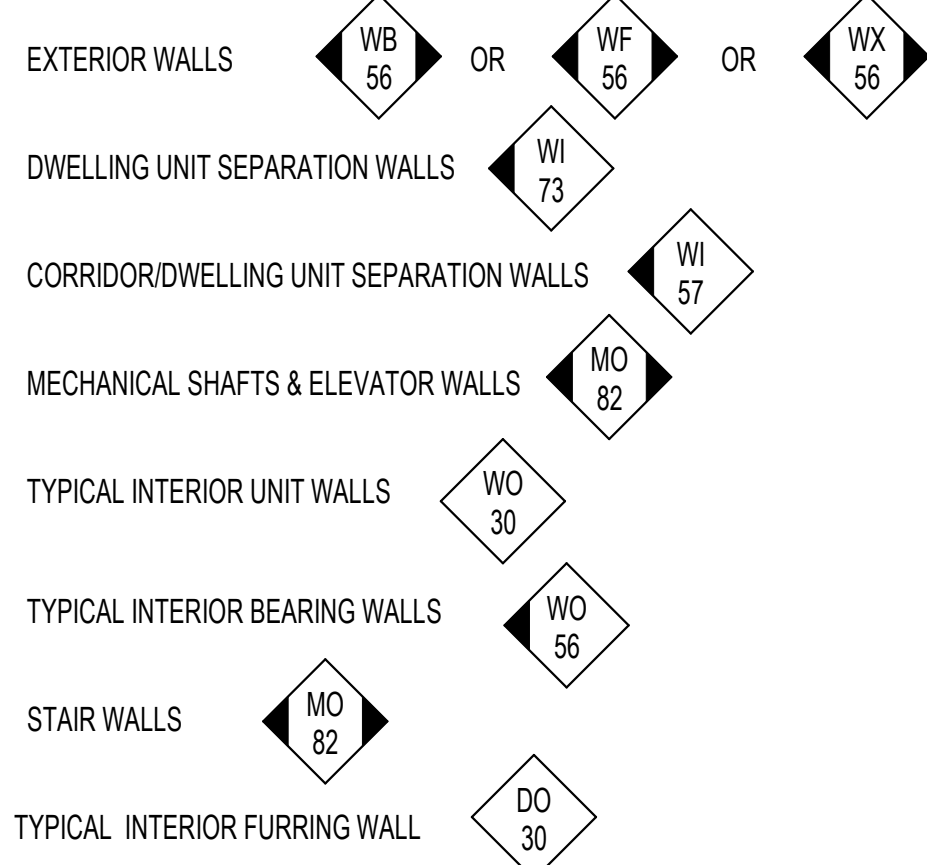
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A302

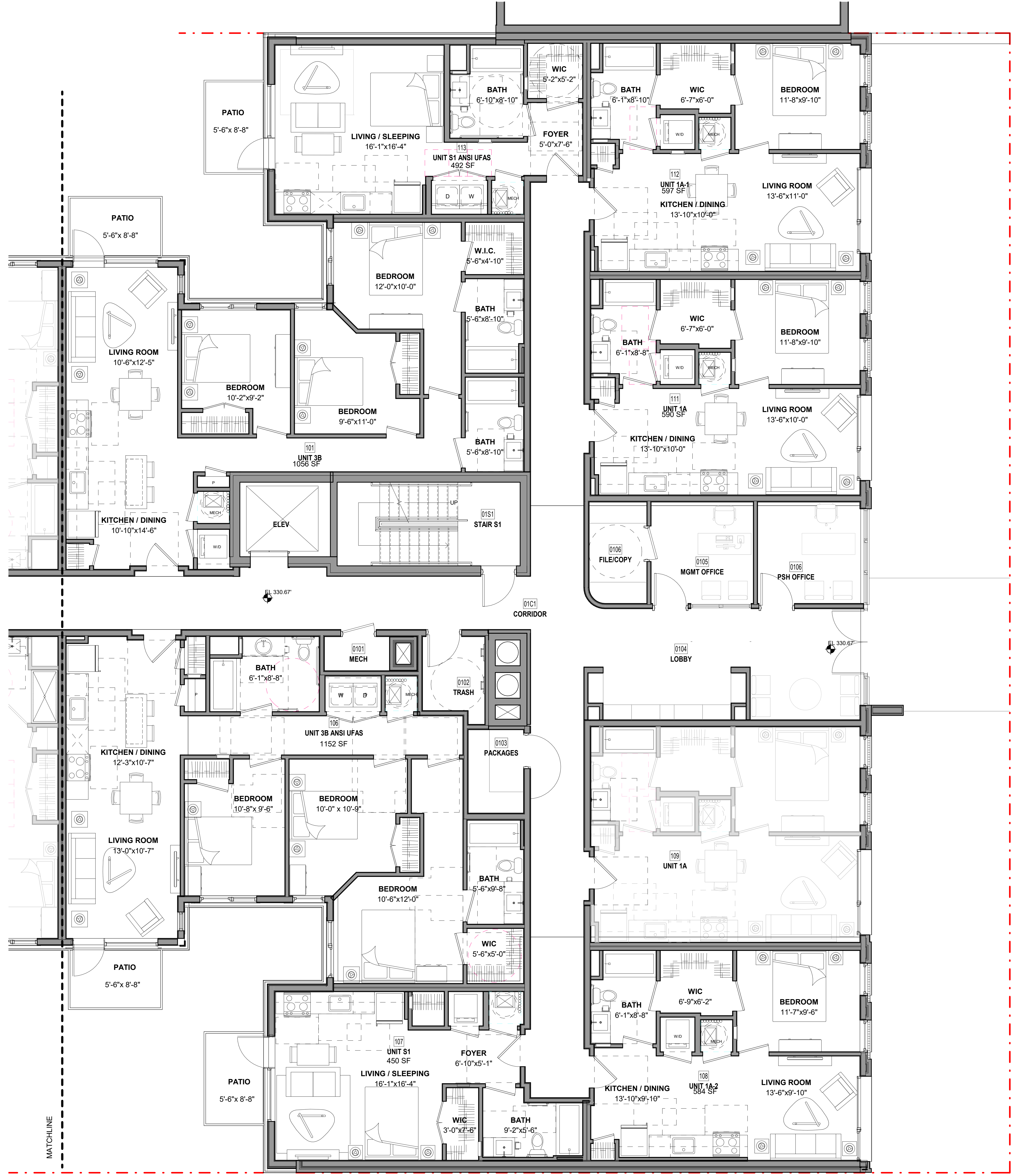
SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/4" PLANS

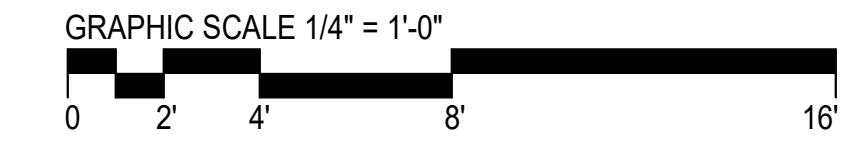
1. THE FOLLOWING ARE TYPICAL WALL TYPES, UNLESS OTHERWISE INDICATED ON PLANS:



- ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES.
- WALL TYPES: DESCRIBED ON A700 SERIES.
- DOOR SCHEDULE: SEE 1/8" SCALE BUILDING PLANS AND ELEVATIONS.
- WINDOWS INDICATIONS: SEE 1/8" SCALE BUILDING PLANS.
- WINDOW LOCATIONS: SEE 1/8" SCALE BUILDING PLANS.
- WINDOW TYPES: SEE A700 SERIES.
- KITCHEN ELEVATIONS AND PLANS: SEE A800 SERIES.
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- DOORS: LOCATE TYPICALLY EITHER CENTERED ON SPACES, SET AT 4" FROM ADJACENT WALL ALONG HINGE SIDE, OR AS INDICATED ON PLANS.
- PUBLIC SPACE FINISHES: SEE 1/8" SCALE FLOOR PLANS AND ID DRAWINGS.



A3 PARTIAL 1ST FLOOR PLAN - EAST
1/4" = 1'-0"

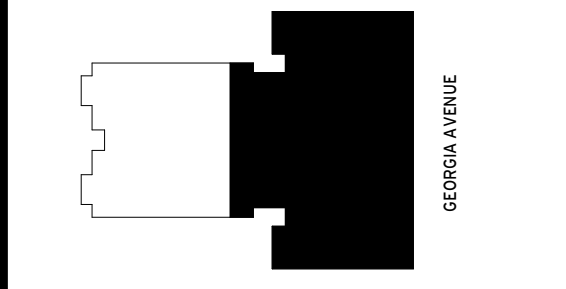


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Key Plan



Issue
 NO. DATE

Revisions
 NO. DATE

Partial 1st Floor Plan - East

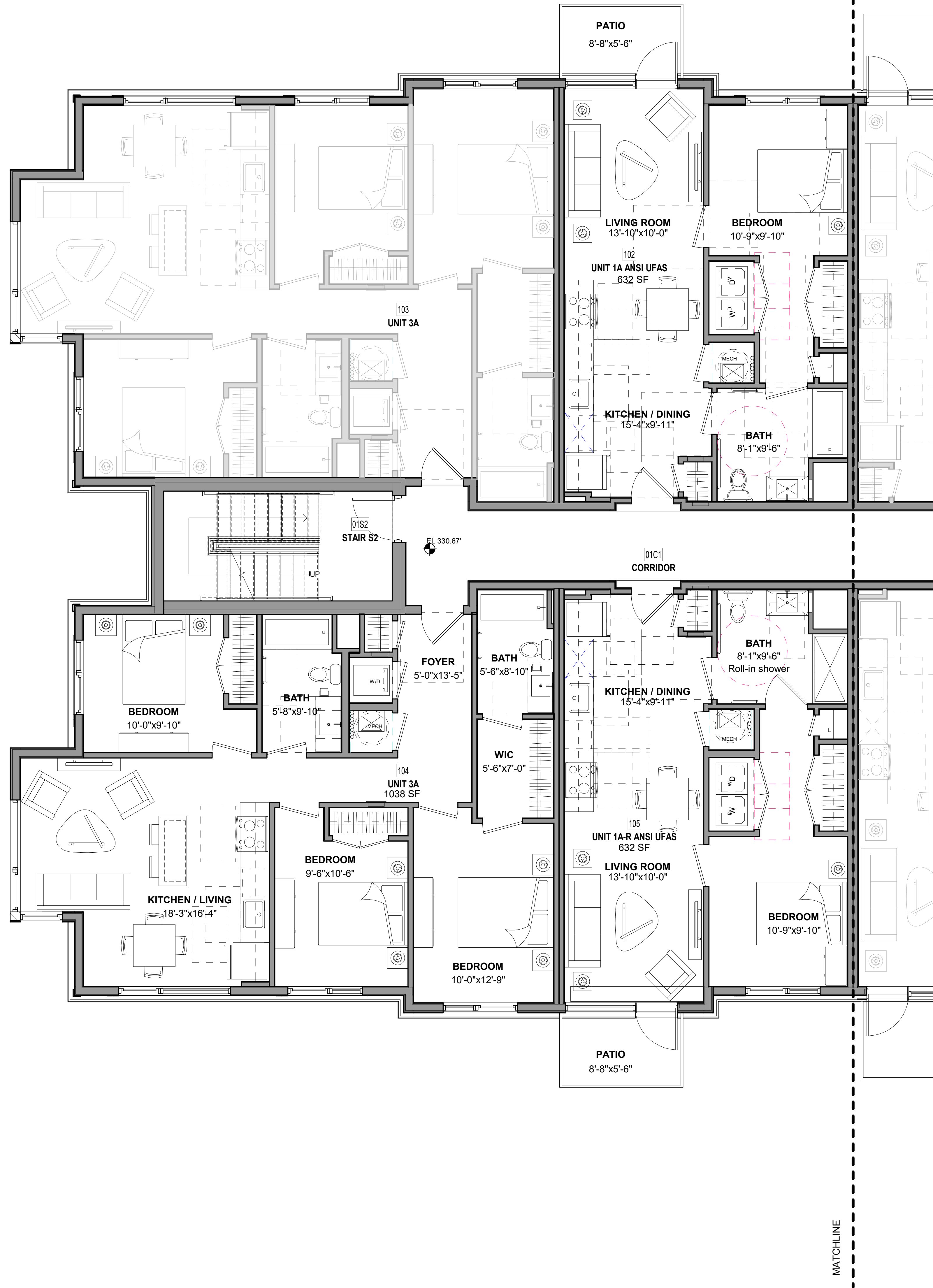
PRINCIPAL IN CHARGE
 S.F.
 PROJECT ARCHITECT
 S.F.
 DRAWN
 B.L.
 DATE 04/23/21 APPROVED
 SCALE: 1/4" = 1'-0" JOB NO. 18506.00

DRAWING NO.
A303

SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/4" PLANS

- THE FOLLOWING ARE TYPICAL WALL TYPES, UNLESS OTHERWISE INDICATED ON PLANS.
 - EXTERIOR WALLS: OR OR
 - DWELLING UNIT SEPARATION WALLS:
 - CORRIDOR/DWELLING UNIT SEPARATION WALLS:
 - MECHANICAL SHAFTS & ELEVATOR WALLS:
 - TYPICAL INTERIOR UNIT WALLS:
 - TYPICAL INTERIOR BEARING WALLS:
 - STAIR WALLS:
 - TYPICAL INTERIOR FURRING WALL:
- ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES
- WALL TYPES: DESCRIBED ON A700 SERIES.
- DOOR SCHEDULE: SEE 1/8" SCALE BUILDING PLANS AND ELEVATIONS.
- WINDOWS INDICATIONS: SEE 1/8" SCALE BUILDING PLANS
- WINDOW LOCATIONS: SEE 1/8" SCALE BUILDING PLANS.
- WINDOW TYPES: SEE A700 SERIES.
- KITCHEN ELEVATIONS AND PLANS: SEE A800 SERIES.
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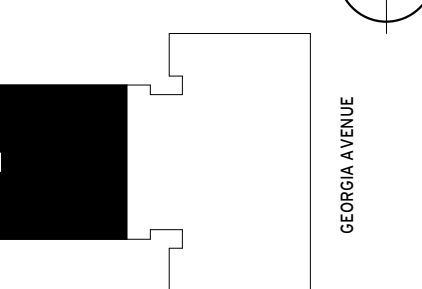


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Key Plan



Issue

NO. DATE

Revisions

NO. DATE

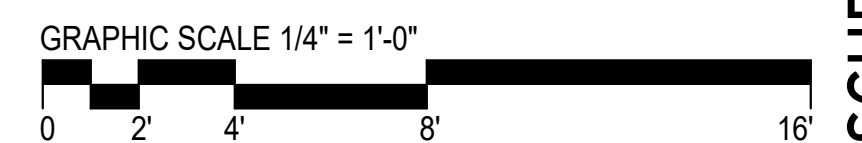
Partial 1st Floor Plan - West

PRINCIPAL IN CHARGE
S.F.
PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE
04/23/21
SCALE:
1/4" = 1'-0"
APPROVED
JOB NO.
18506.00

DRAWING NO. A304

A3 PARTIAL 1ST FLOOR PLAN - WEST

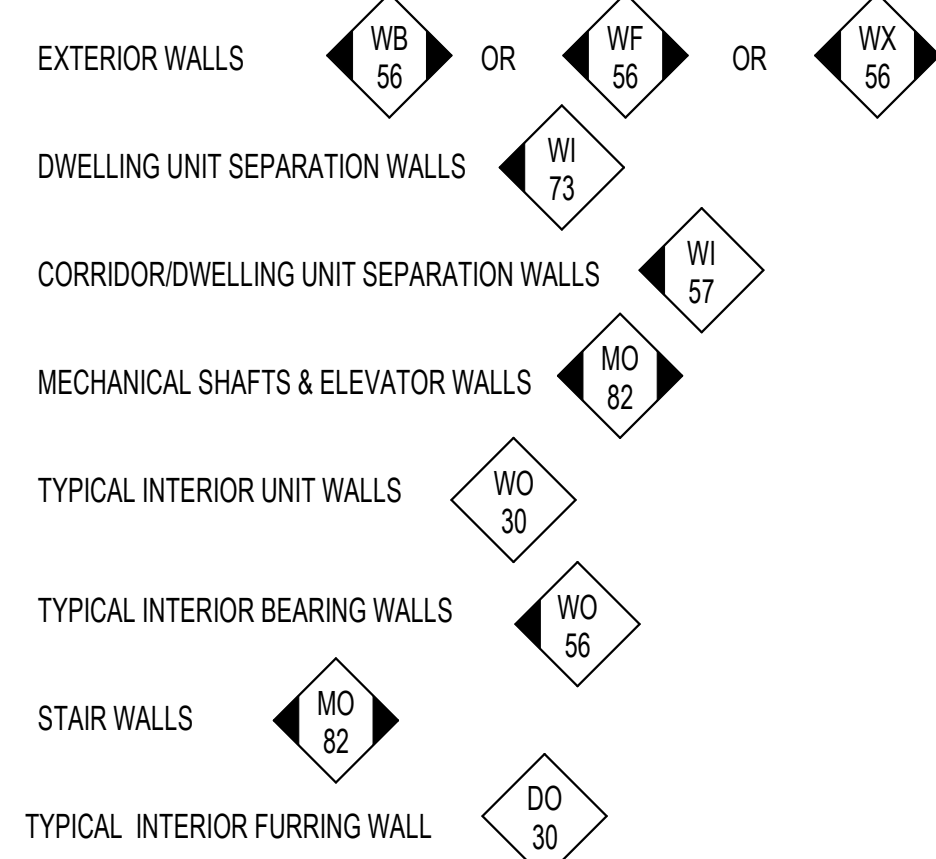
1/4" = 1'-0"



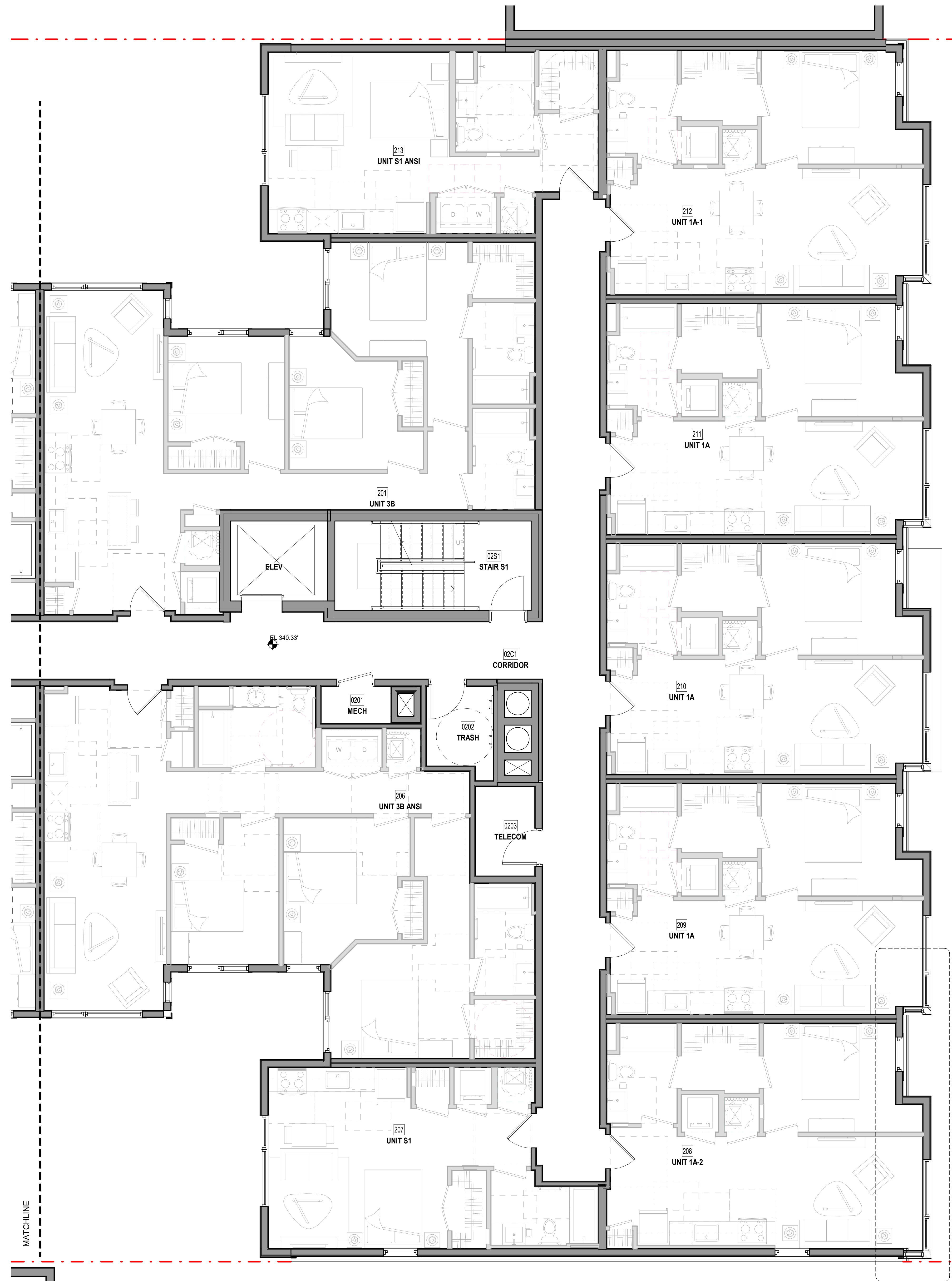
SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/4" PLANS

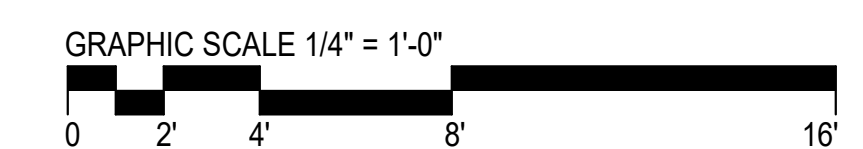
1. THE FOLLOWING ARE TYPICAL WALL TYPES, UNLESS OTHERWISE INDICATED ON PLANS.



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A3 PARTIAL 2ND FLOOR PLAN - EAST (3RD-5TH FLOOR SIM)
1/4" = 1'-0"



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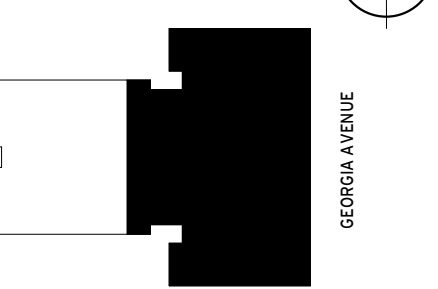
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Key Plan



Issue

NO. DATE

Revisions

NO. DATE

Partial 2nd Floor Plan - East (3rd-5th Sim)

PRINCIPAL IN CHARGE
S.F.

PROJECT ARCHITECT
S.F.

DRAWN
B.L.

DATE
04/23/21

SCALE:
1/4" = 1'-0"

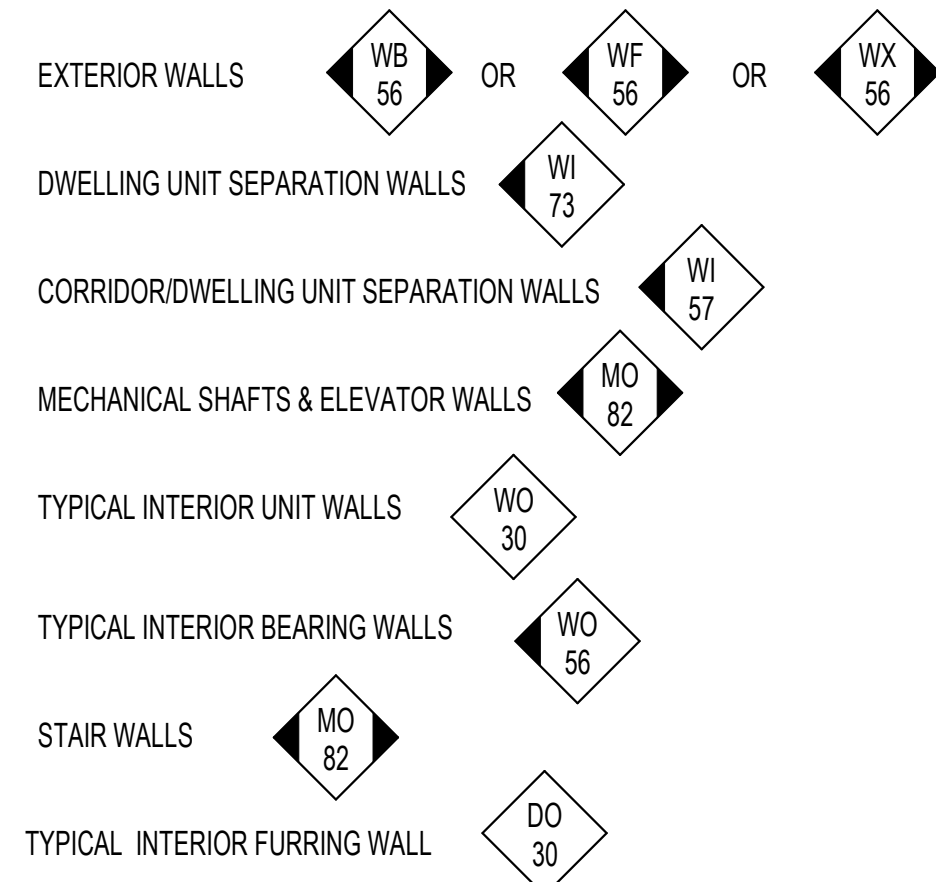
JOB NO.
18506.00

DRAWING NO.
A305

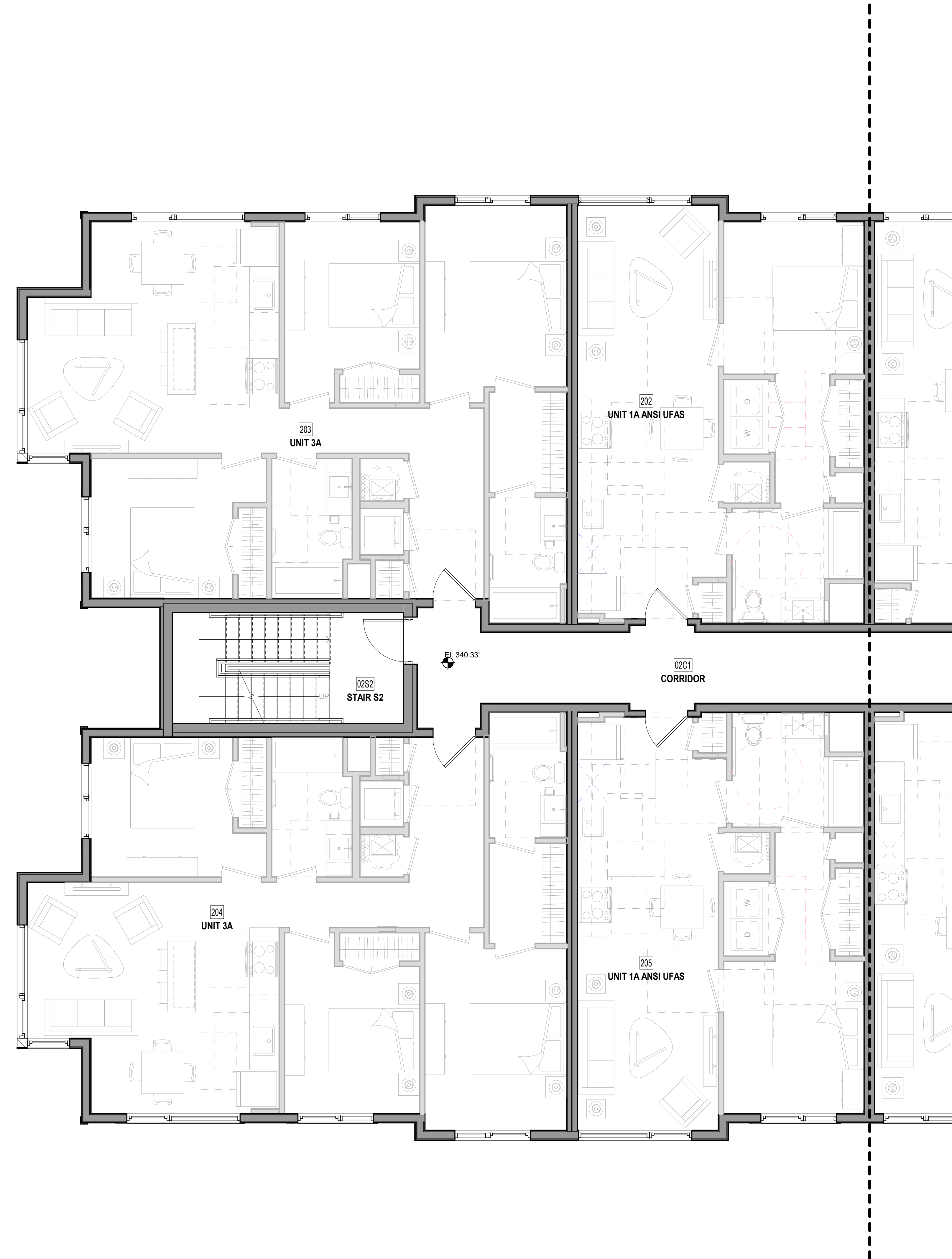
SCHEMATIC DESIGN - APRIL 23, 2021

TYPICAL NOTES FOR 1/4" PLANS

1. THE FOLLOWING ARE TYPICAL WALL TYPES, UNLESS OTHERWISE INDICATED ON PLANS.



2. ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES.
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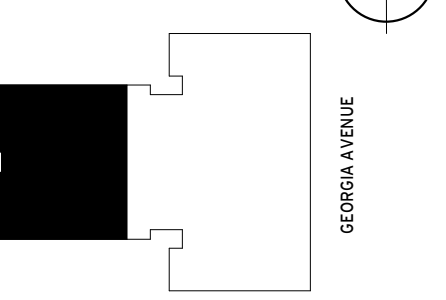


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Key Plan



Issue

NO. DATE

Revisions

NO. DATE

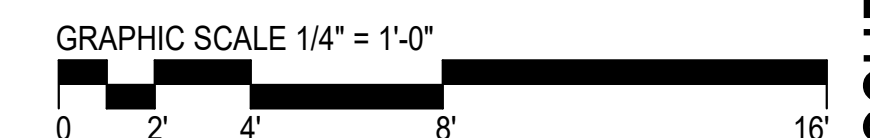
Partial 2nd Floor Plan - West (3rd-5th Sim)

PRINCIPAL IN CHARGE
S.F.
PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE 04/23/21 APPROVED
SCALE: 1/4" = 1'-0" JOB NO. 18506.00

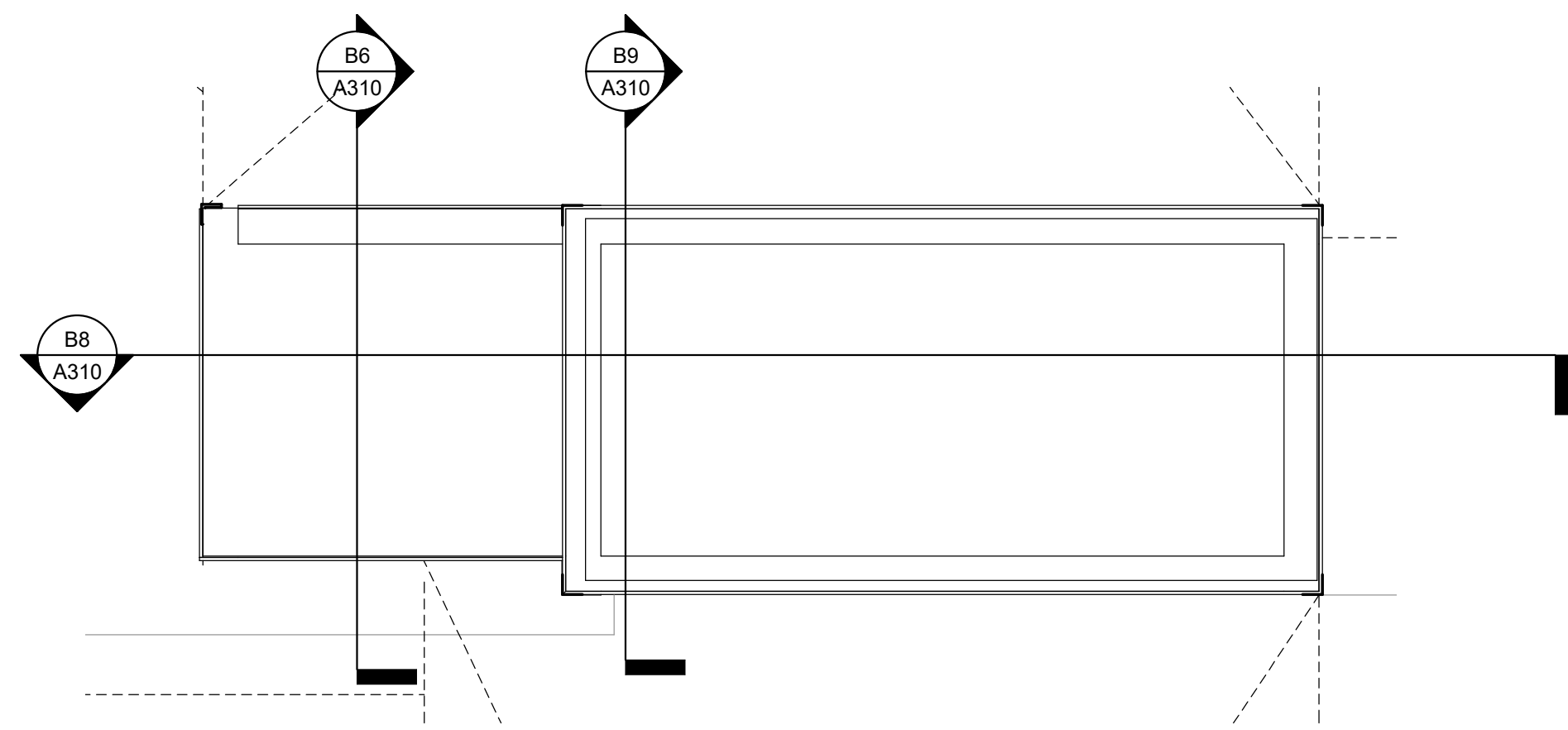
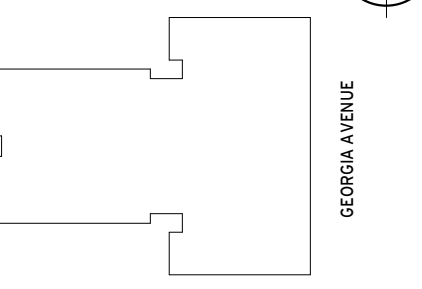
DRAWING NO.
A306

A3 PARTIAL 2ND FLOOR PLAN - WEST (3RD-5TH FLOOR SIM)

1/4" = 1'-0"

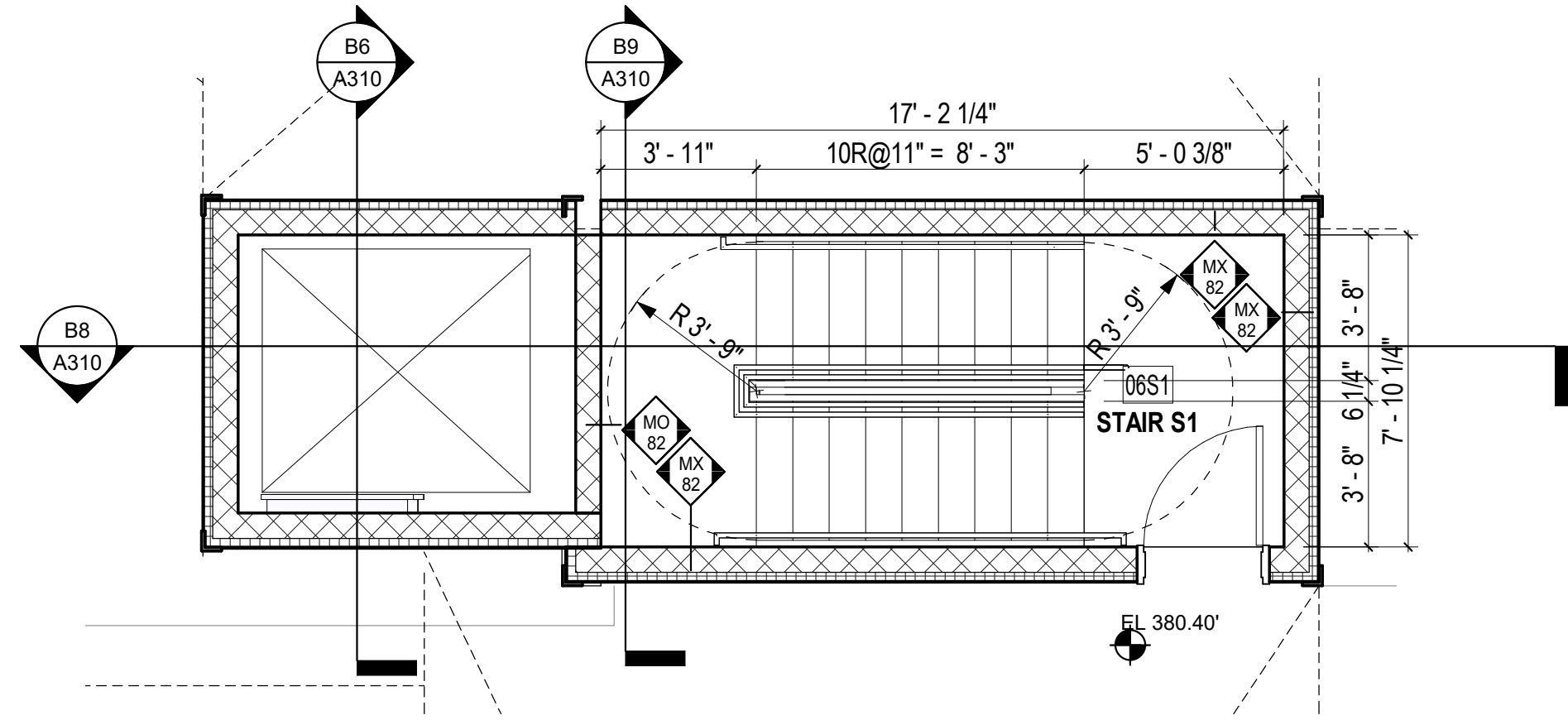


SCHEMATIC DESIGN - APRIL 23, 2021



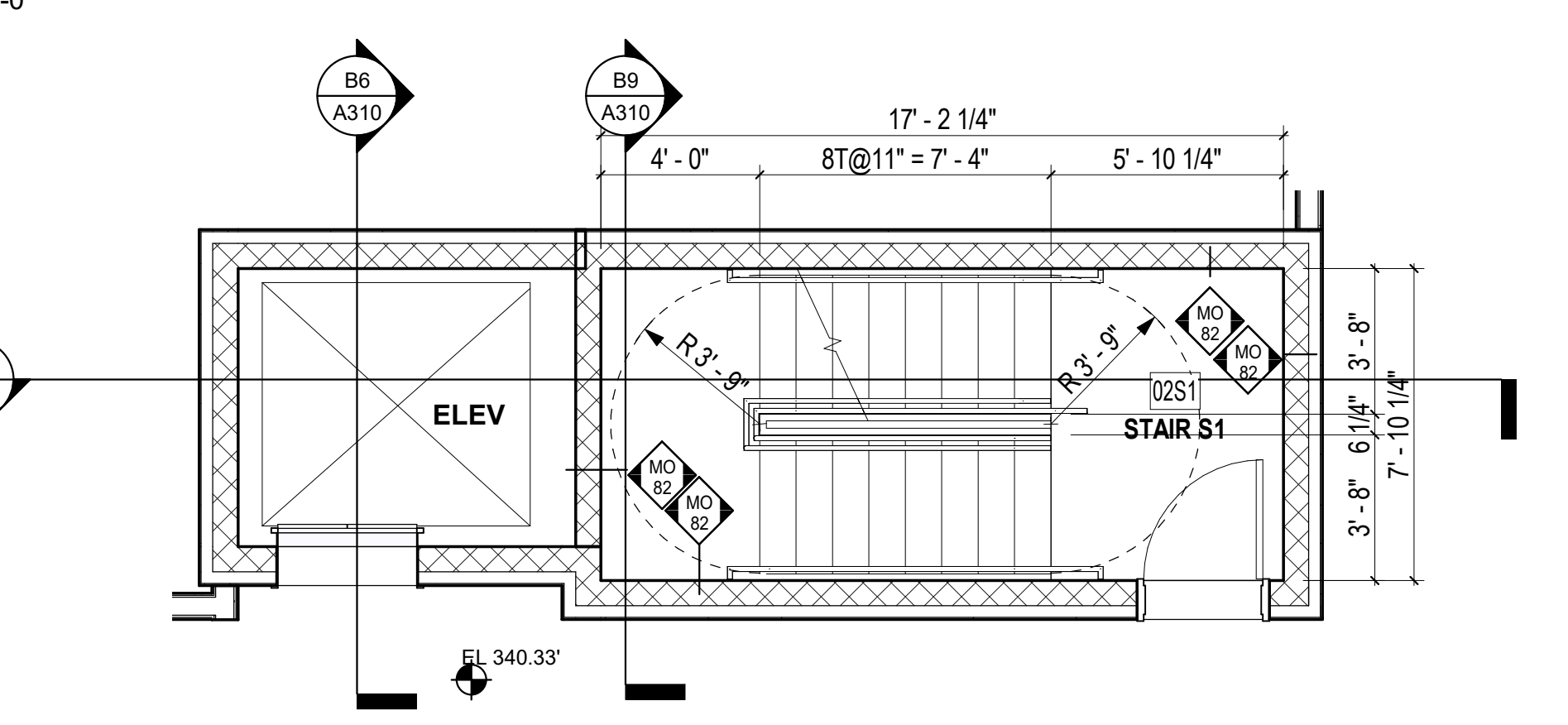
F1 PENTHOUSE PLAN - STAIR S1

1/4" = 1'-0"



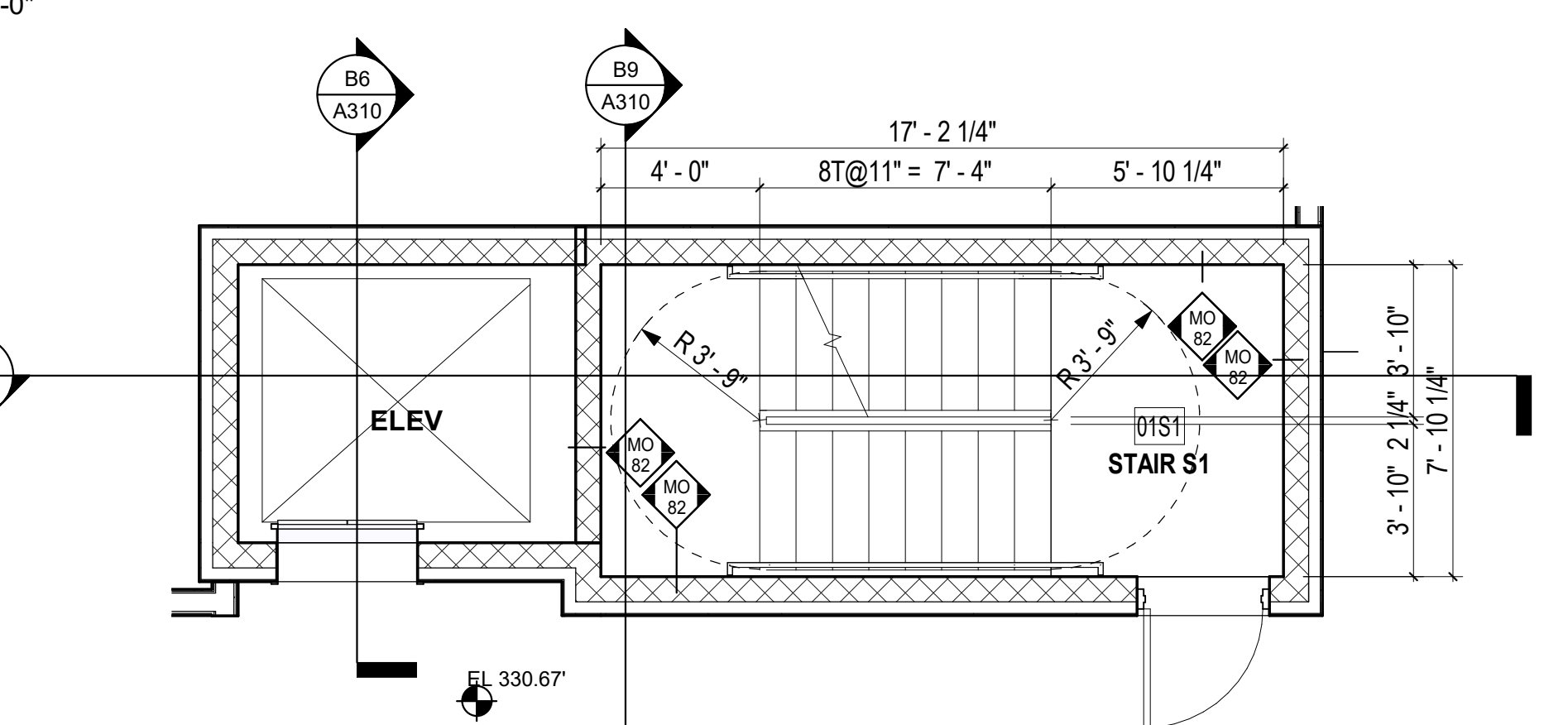
D1 Roof Plan - Stair S1

1/4" = 1'-0"



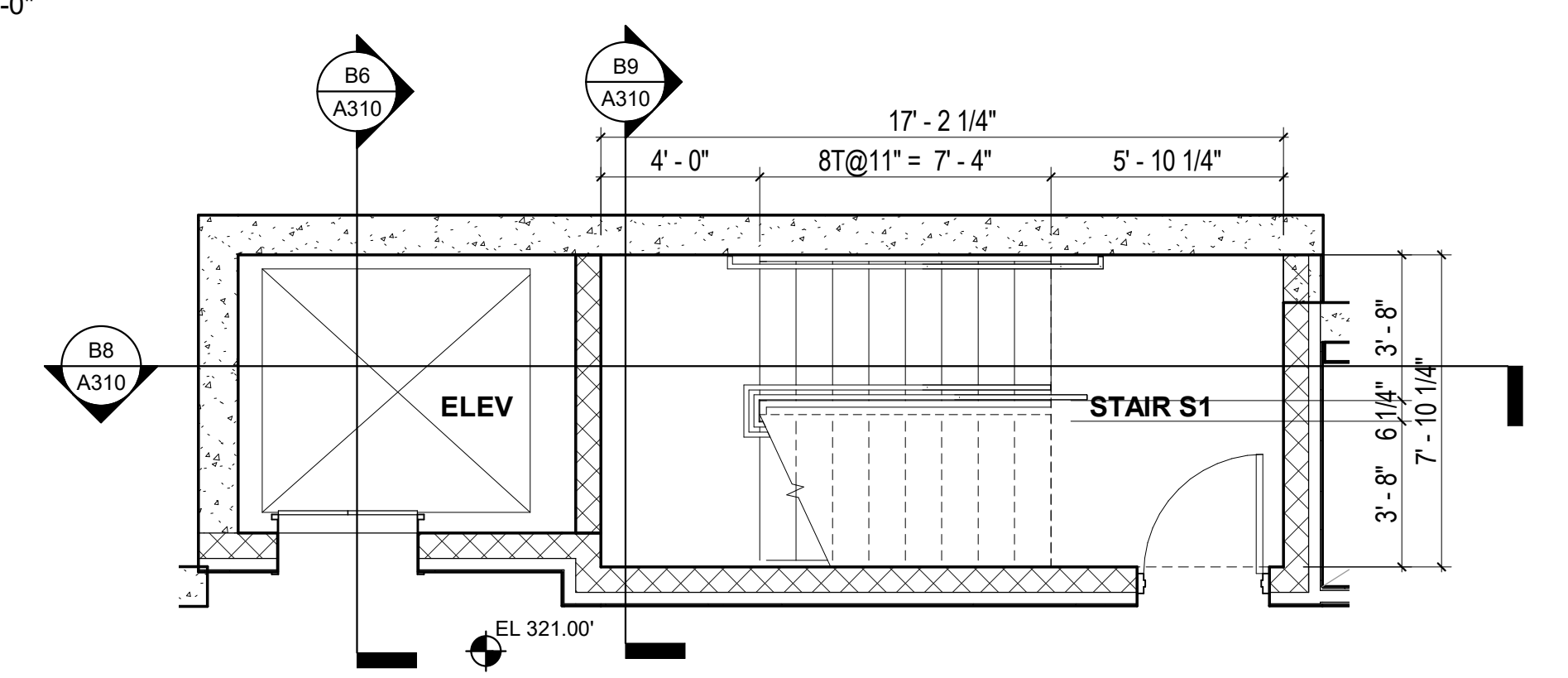
C1 2ND - 5TH - STAIR S1

1/4" = 1'-0"



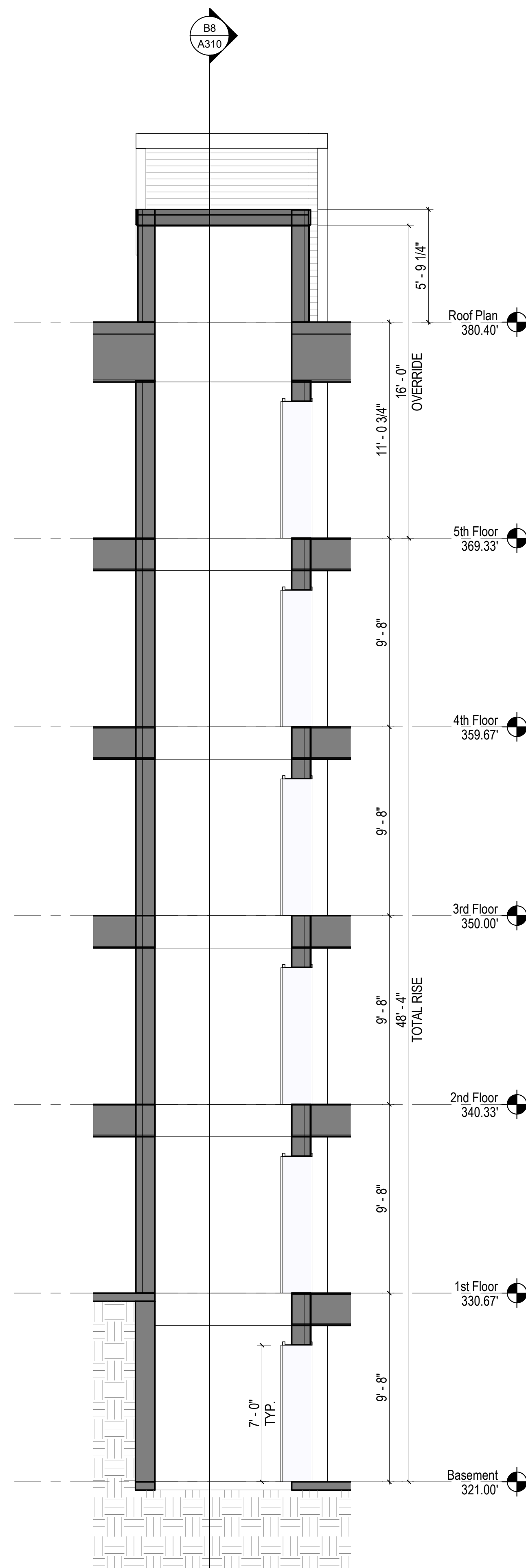
B1 1ST FLOOR PLAN - STAIR S1

1/4" = 1'-0"



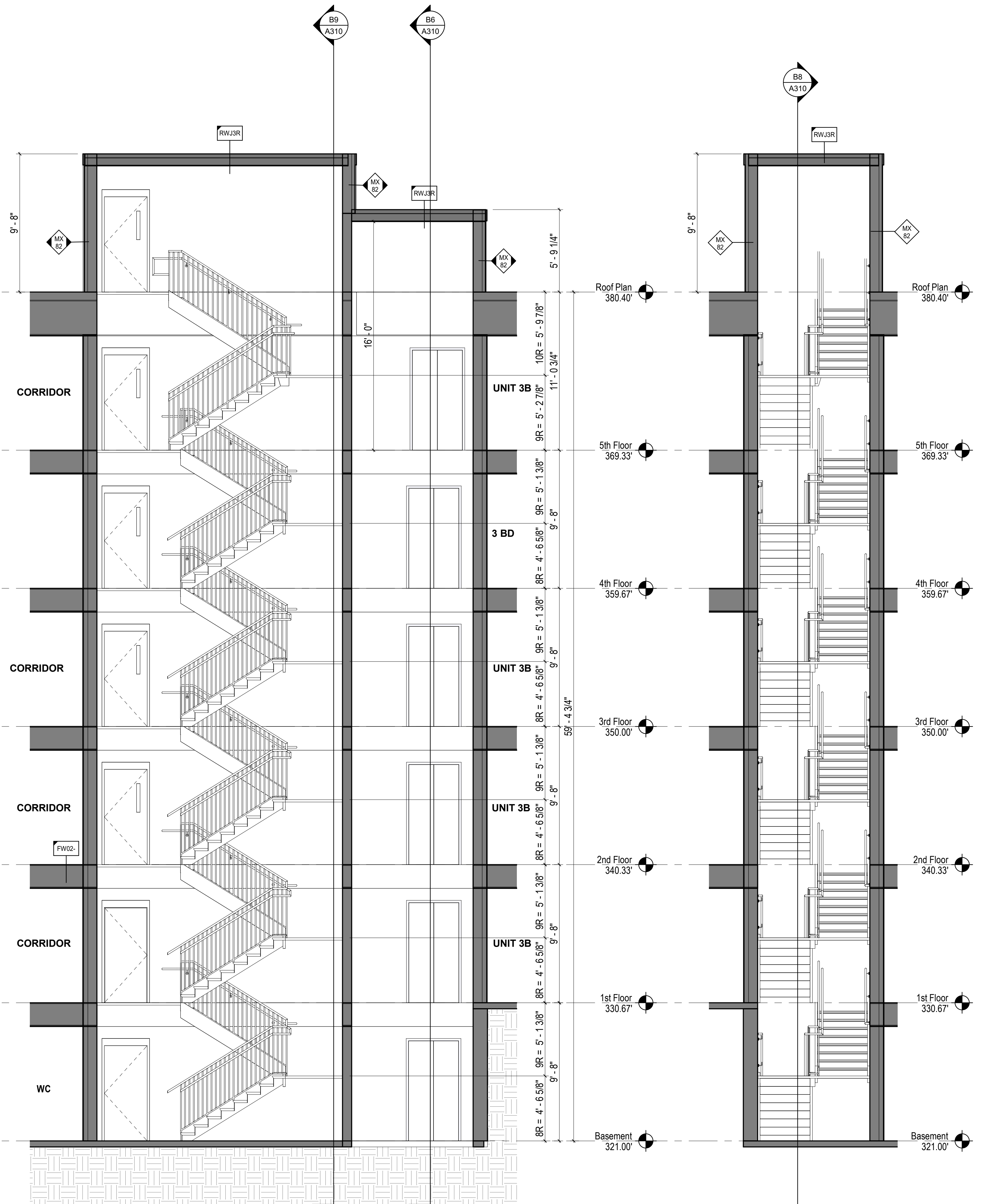
A1 BASEMENT - STAIR S1

1/4" = 1'-0"



B6 SECTION 1 - ELEVATOR

1/4" = 1'-0"

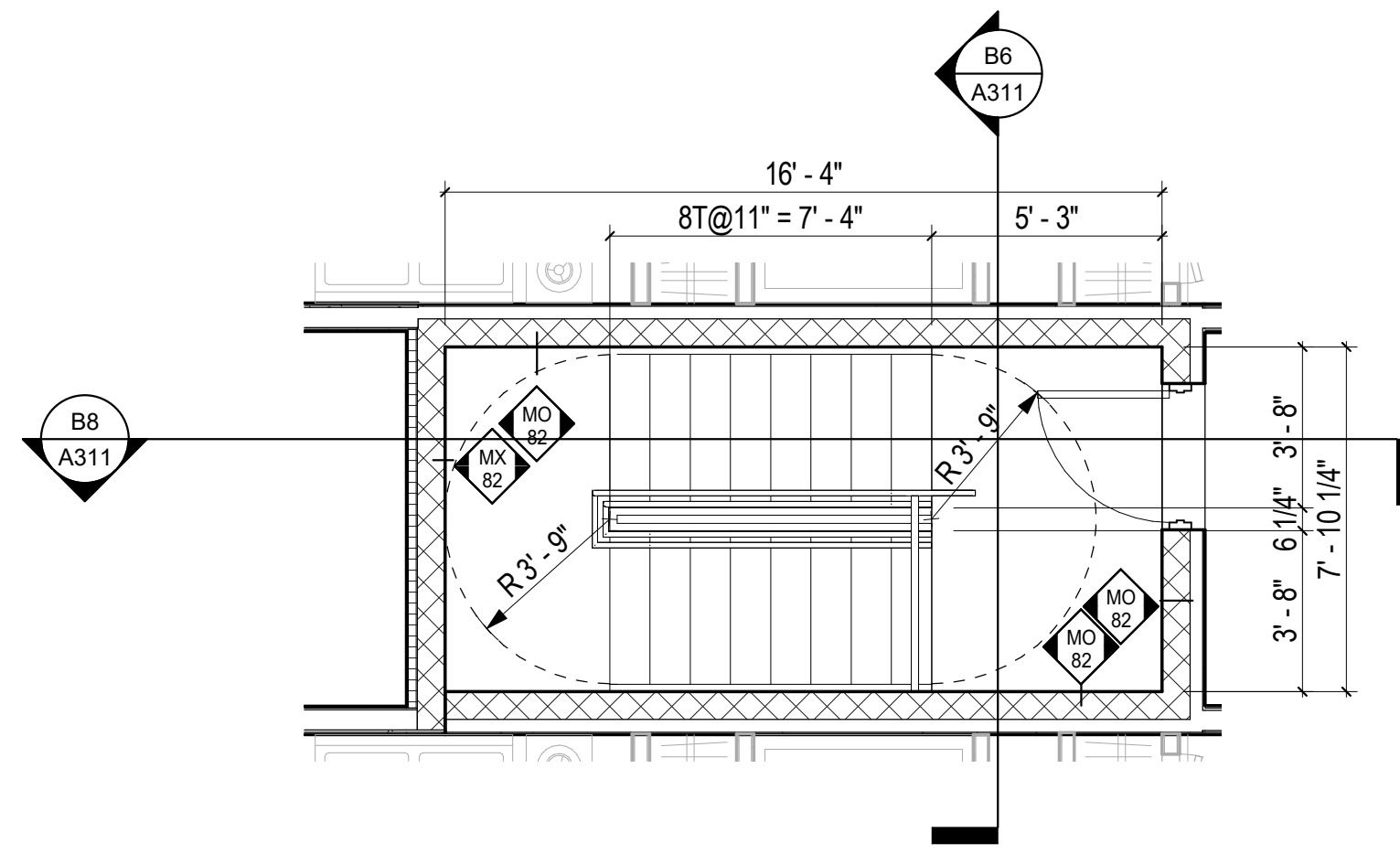


B8 SECTION 2 - STAIR S1

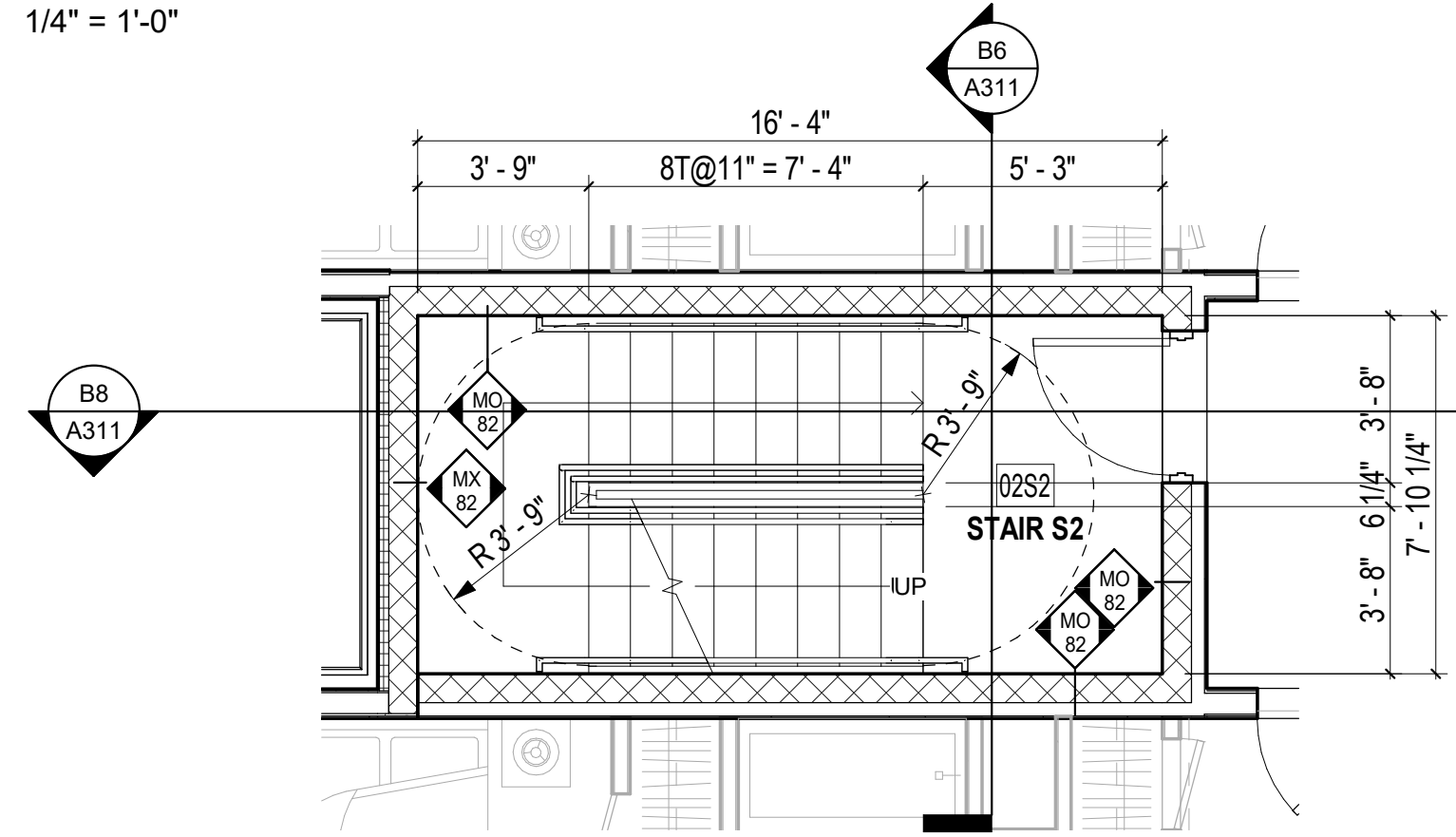
1/4" = 1'-0"

B9 SECTION 3 - STAIR S1

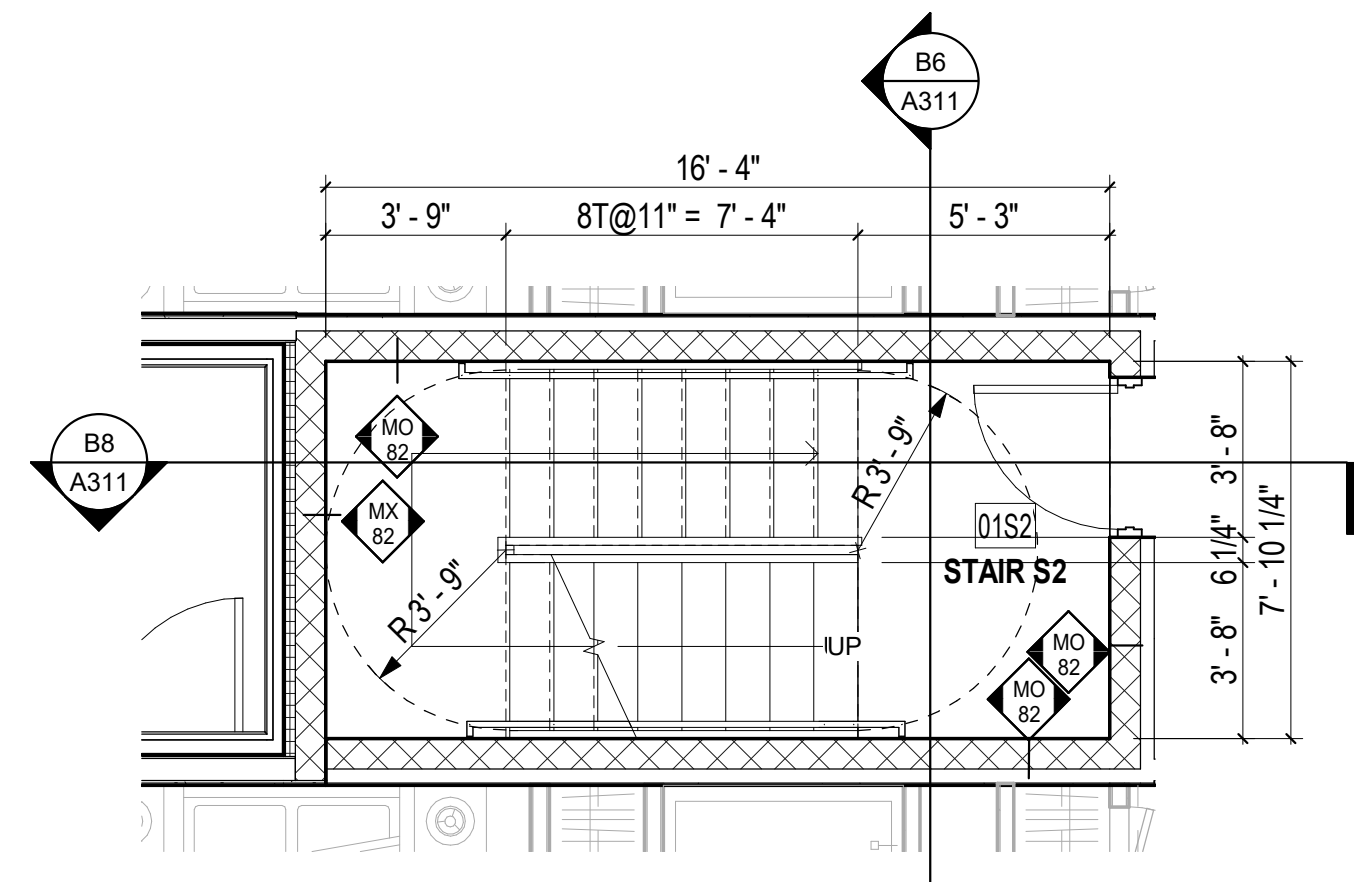
1/4" = 1'-0"



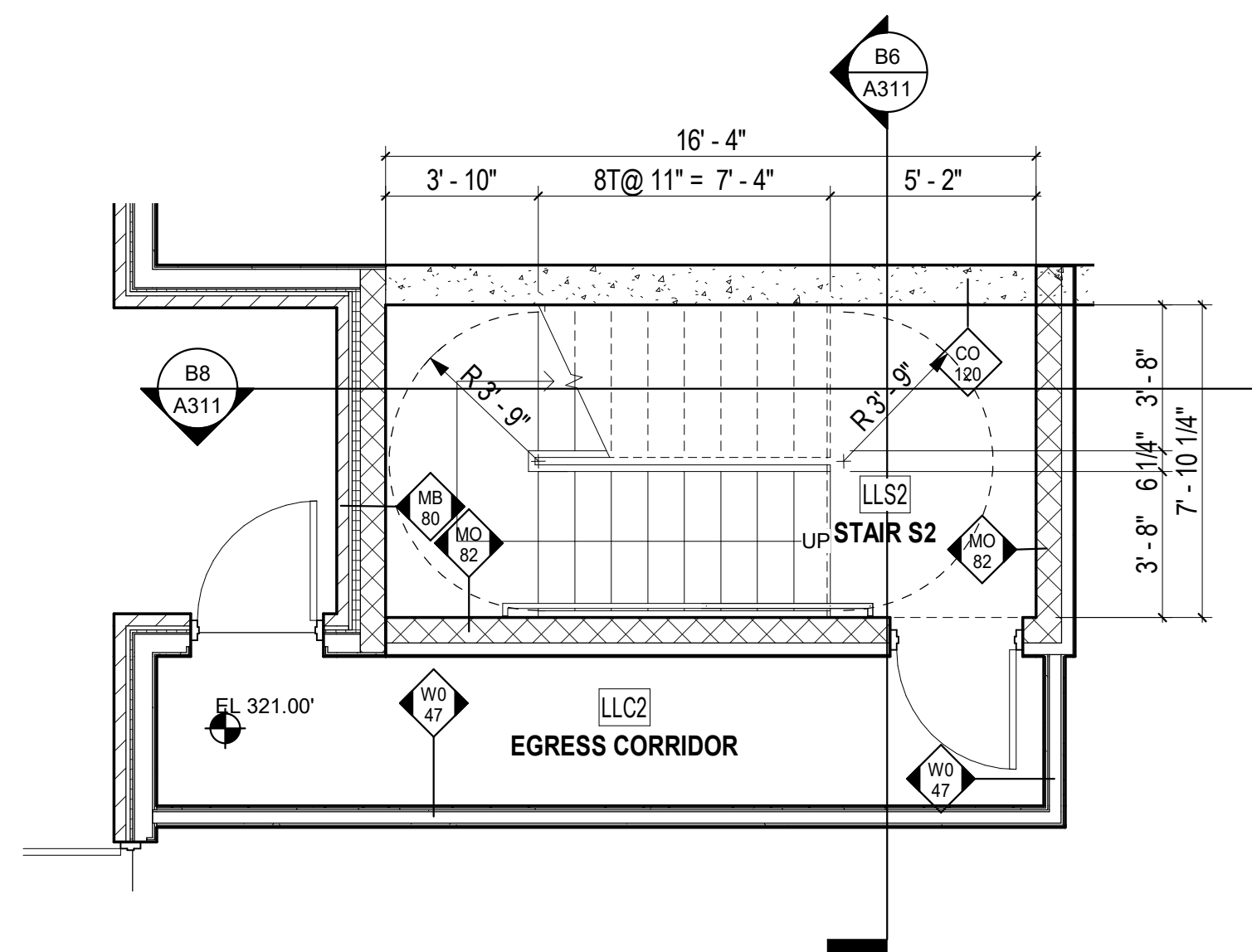
D5 5TH FLOOR - STAIR S2
1/4" = 1'-0"



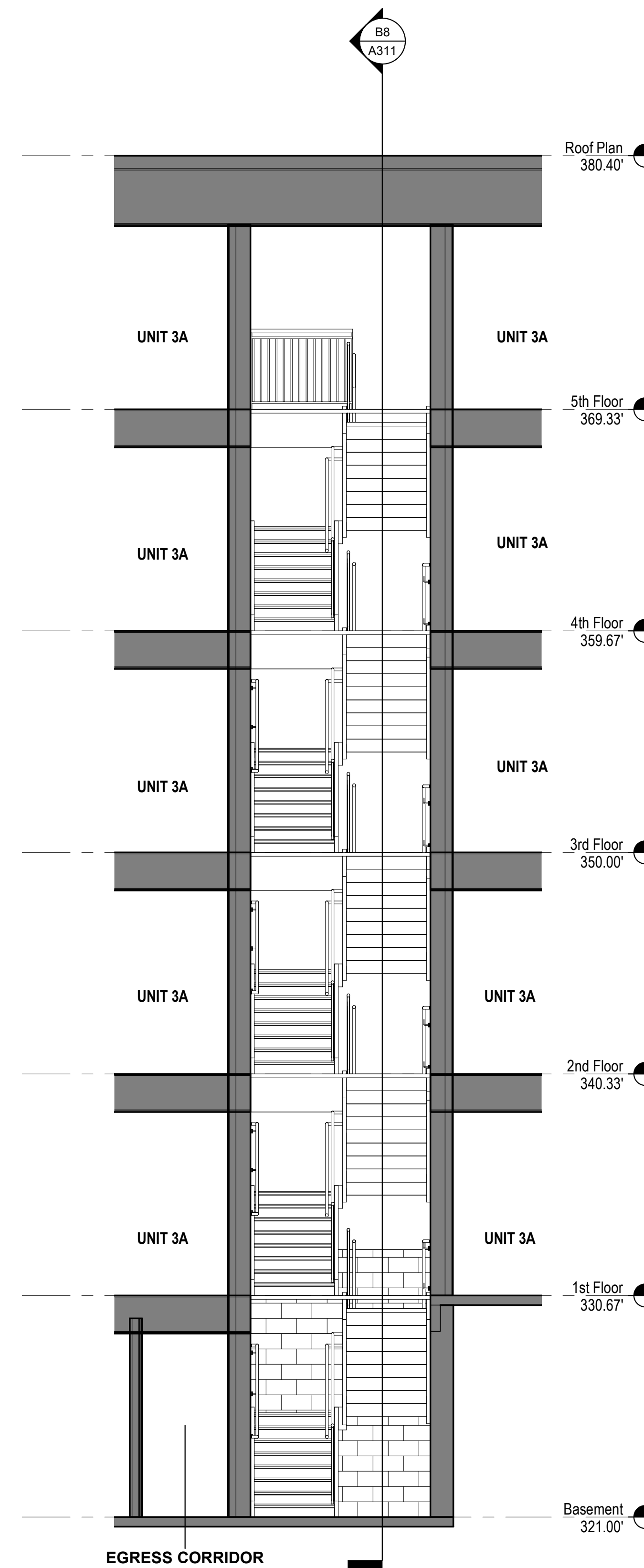
D3 2ND FLOOR - STAIR S2
1/4" = 1'-0"



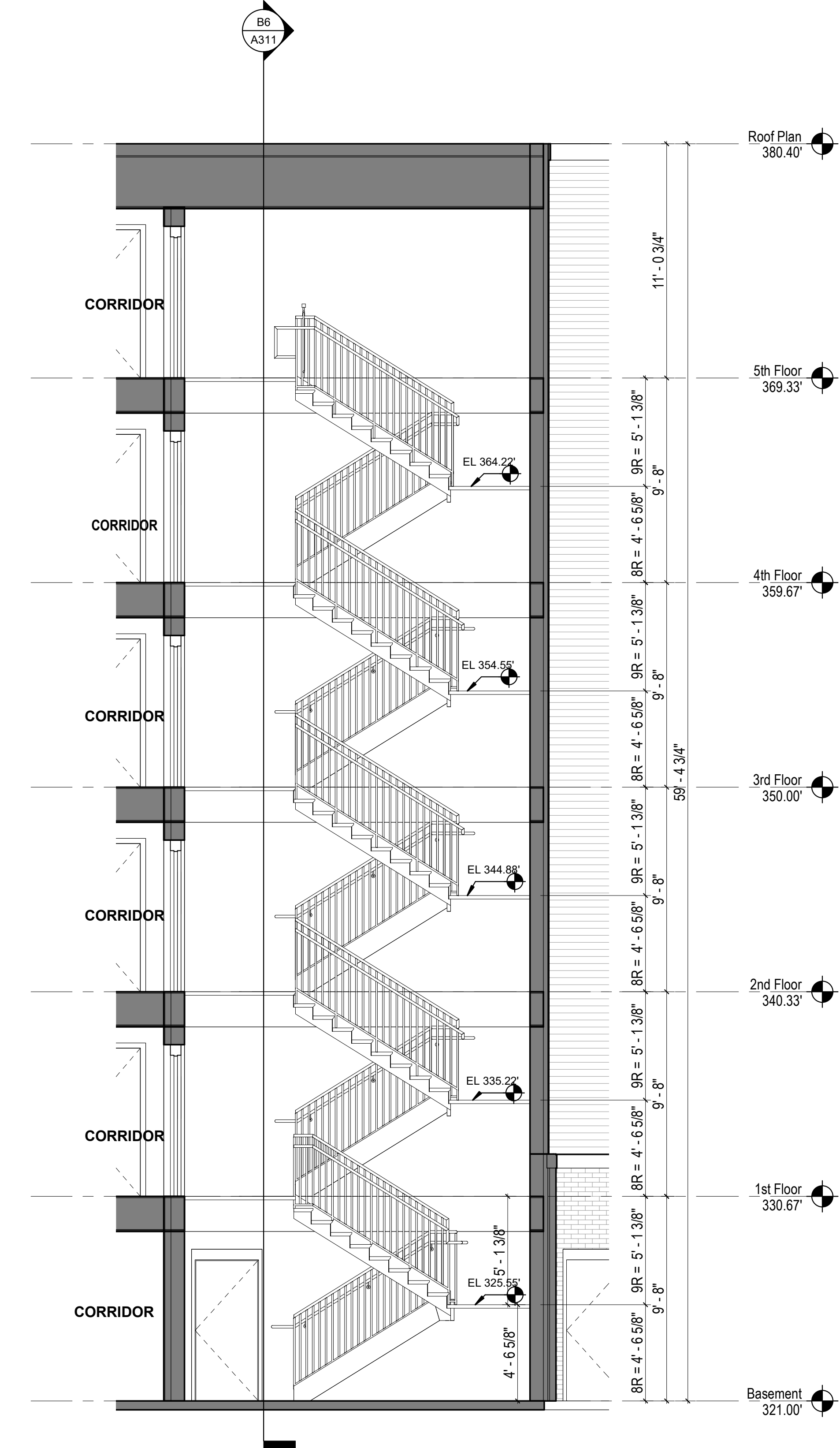
C3 1ST FLOOR PLAN - STAIR S2
1/4" = 1'-0"



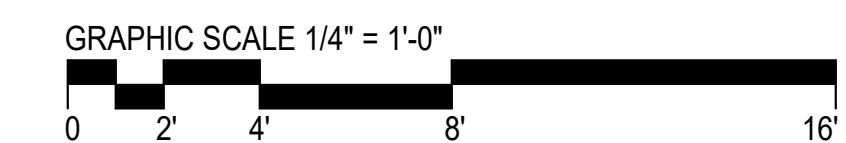
B3 BASEMENT - STAIR S2
1/4" = 1'-0"



B6 SECTION 1 - STAIR S2
1/4" = 1'-0"



B8 SECTION 2 - STAIR S2
1/4" = 1'-0"



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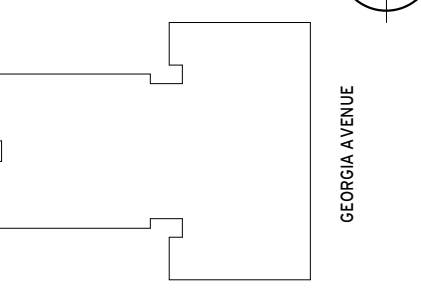
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202.667.1620

Key Plan



Issue

NO. DATE

Revisions

NO. DATE

**Stair S2 Plans &
Sections**

PRINCIPAL IN CHARGE
S.F.

PROJECT ARCHITECT
S.F.

DRAWN
B.L.

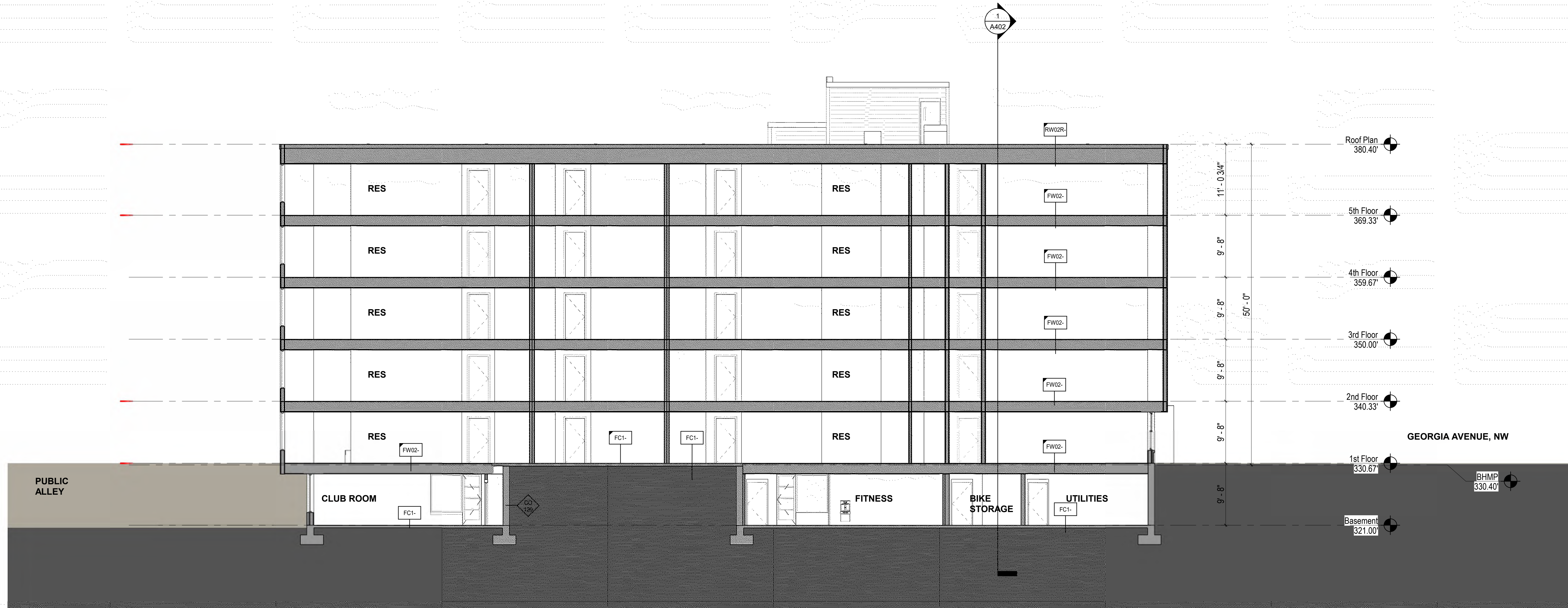
DATE
04/23/21

SCALE:
1/4" = 1'-0"

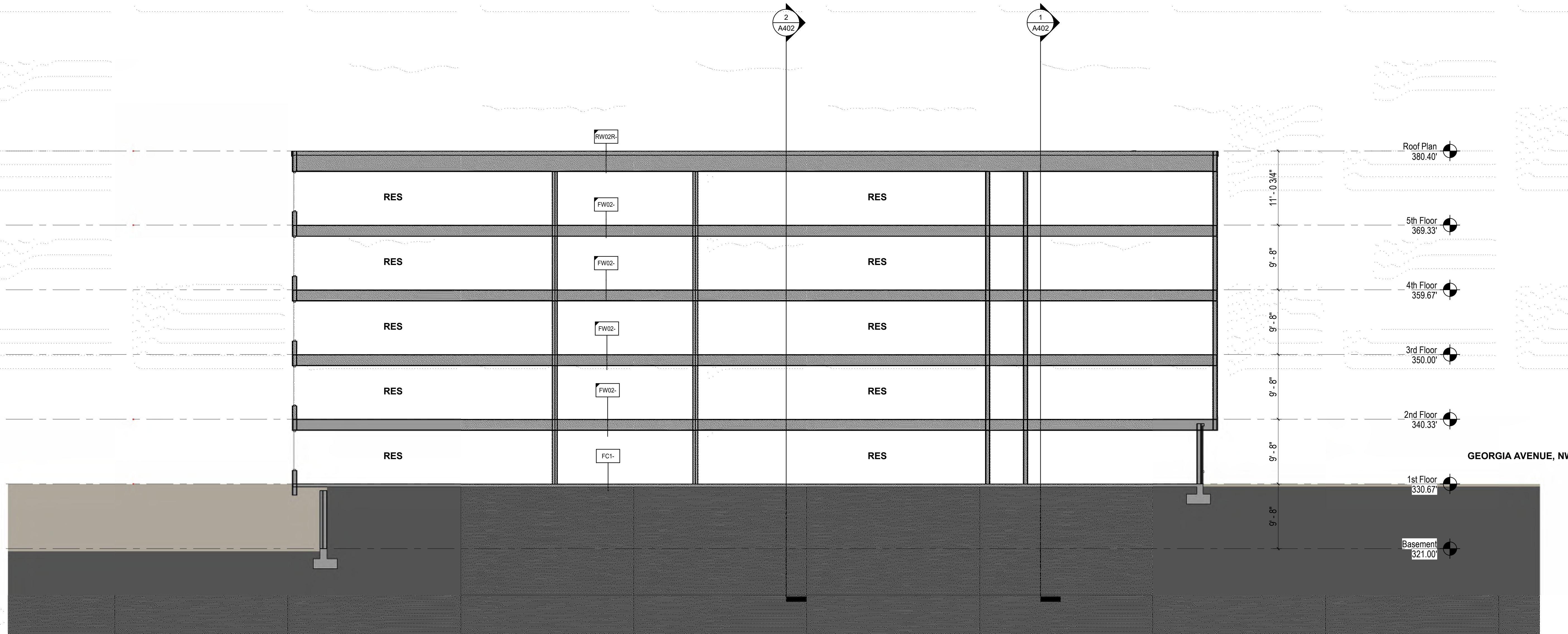
JOB NO.
18506.00

DRAWING NO.
A311

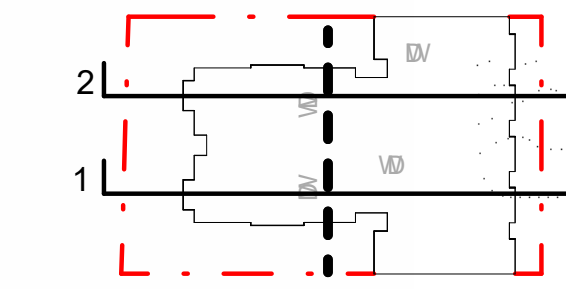
SCHEMATIC DESIGN - APRIL 23, 2021



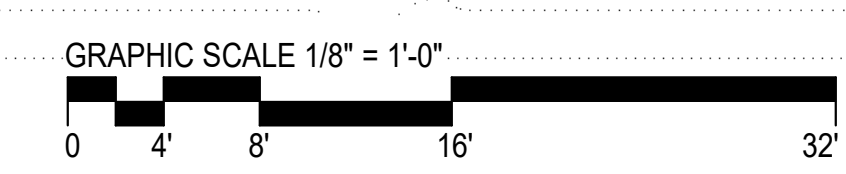
1 EAST - WEST SECTION 1
1/8" = 1'-0"



2 EAST - WEST SECTION 2
1/8" = 1'-0"



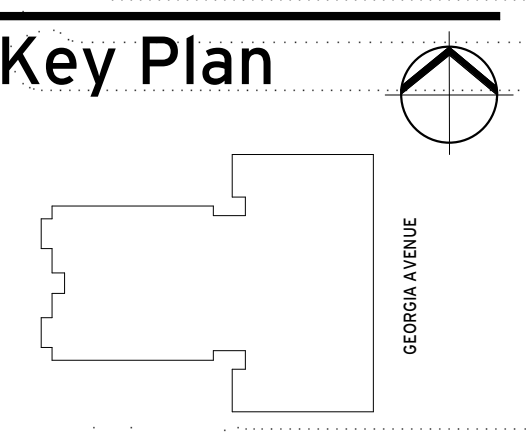
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Issue
NO. DATE

Revisions
NO. DATE

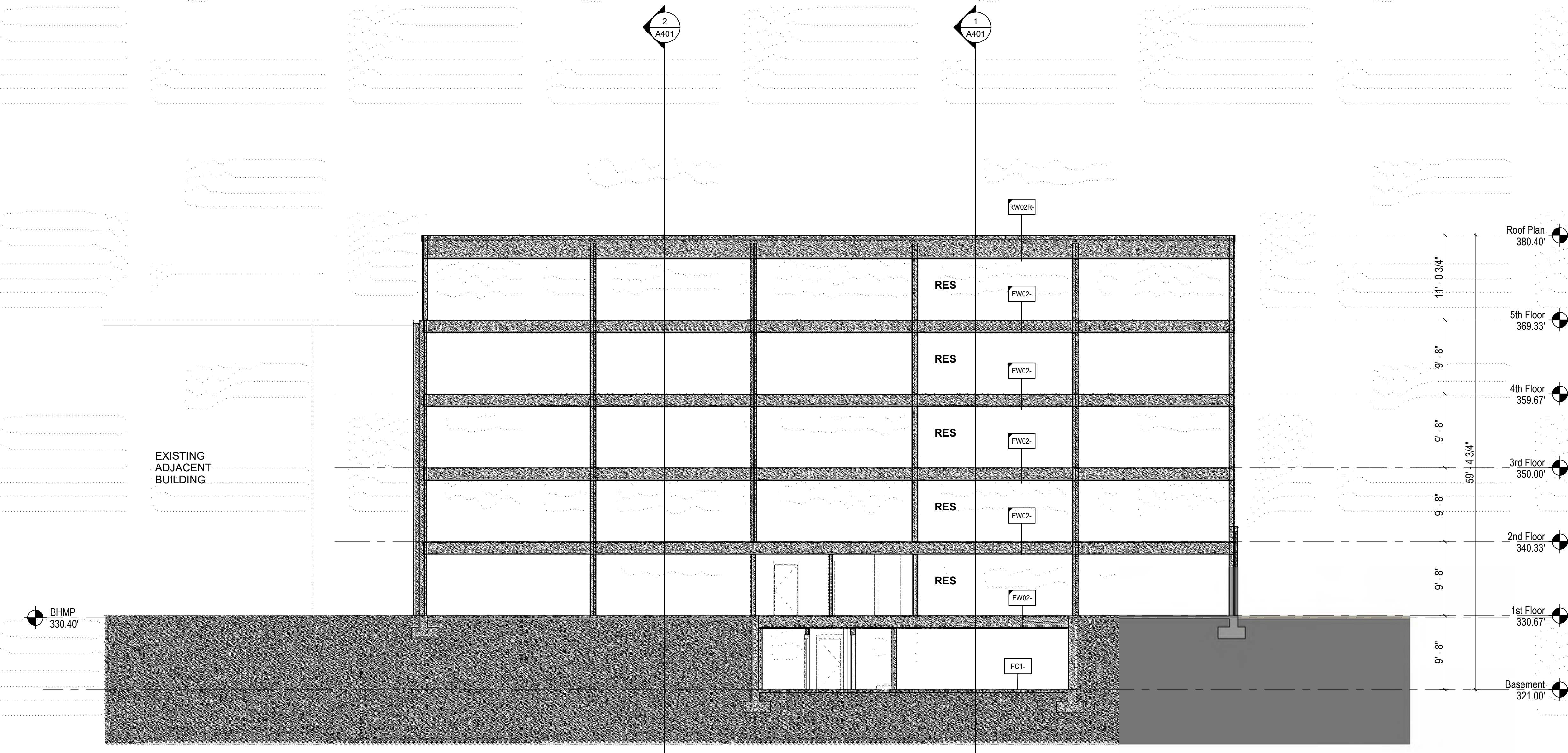
Building Sections

PRINCIPAL IN CHARGE
S.F.
PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE
04/23/21
SCALE:
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APPROVED
JOB NO.
18506.00

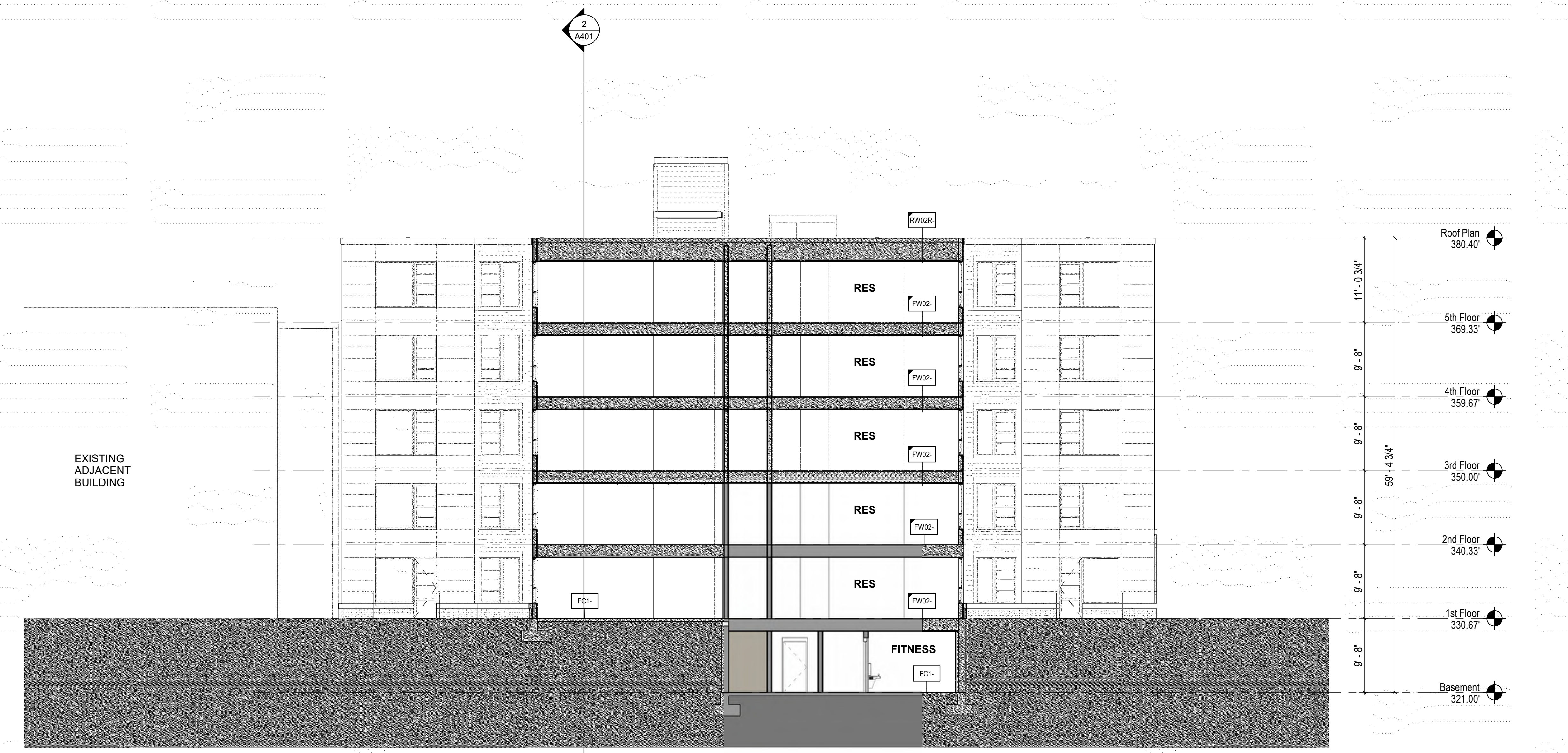
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A401

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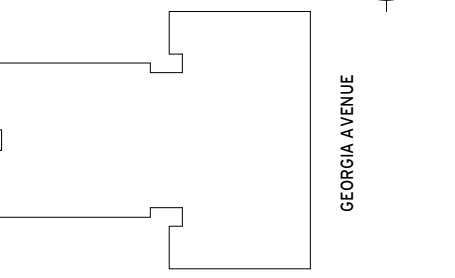


1 NORTH - SOUTH SECTION 1
 1/8" = 1'-0"



2 NORTH - SOUTH SECTION 2
 1/8" = 1'-0"

Key Plan



Issue

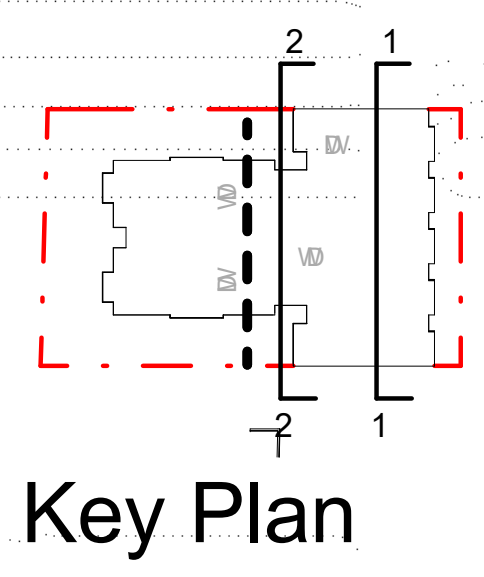
NO.	DATE

Revisions

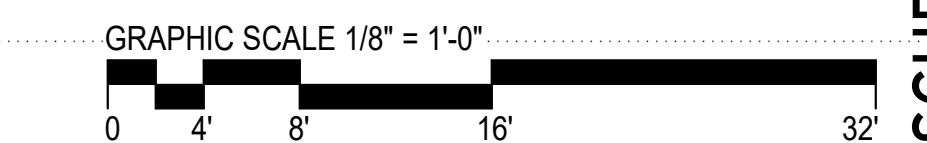
NO.	DATE

Building Sections

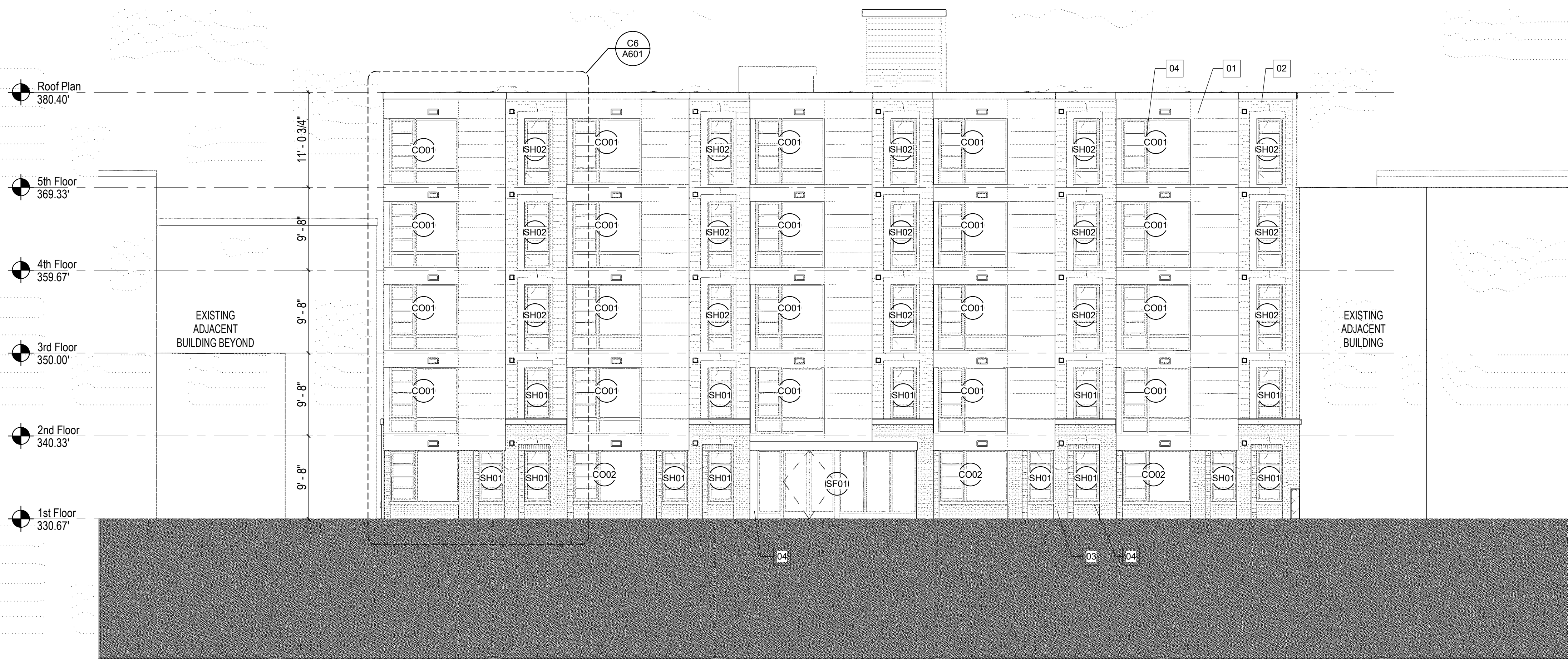
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PROJECT ARCHITECT S.F.	JOB NO. 18506.00
DRAWN B.L.	DATE 04/23/21
SCALE: As indicated	DRAWING NO. A402



Key Plan



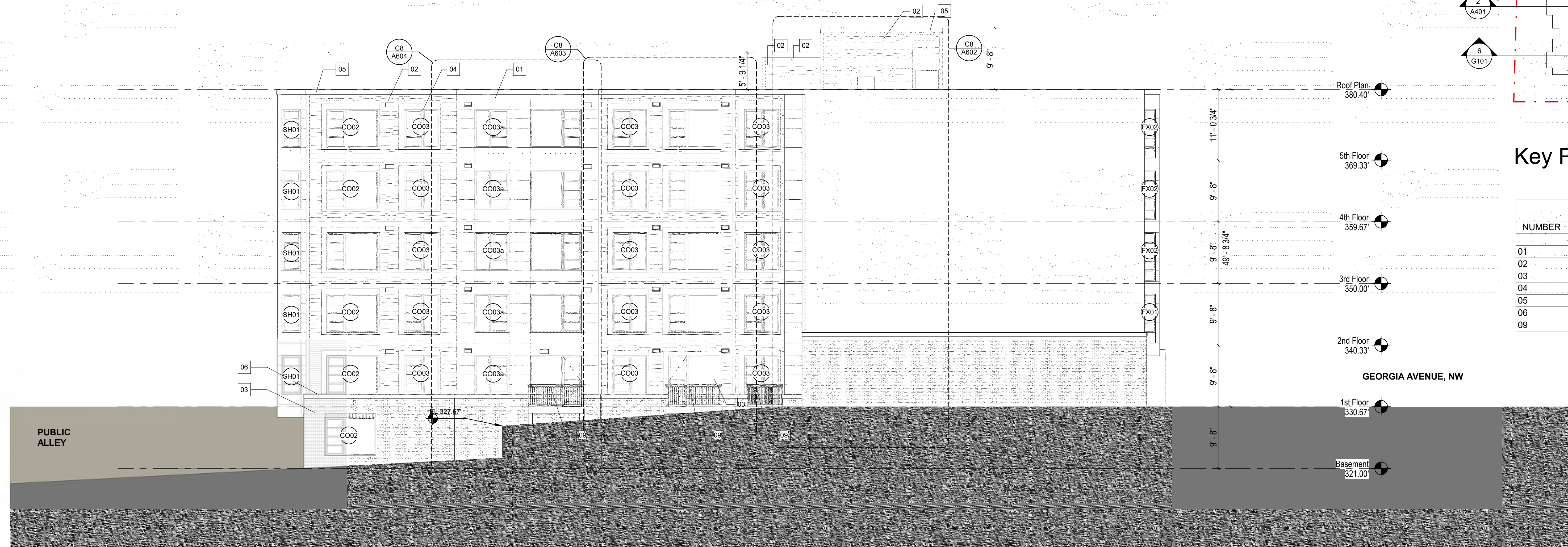
SCHEMATIC DESIGN - APRIL 23, 2021



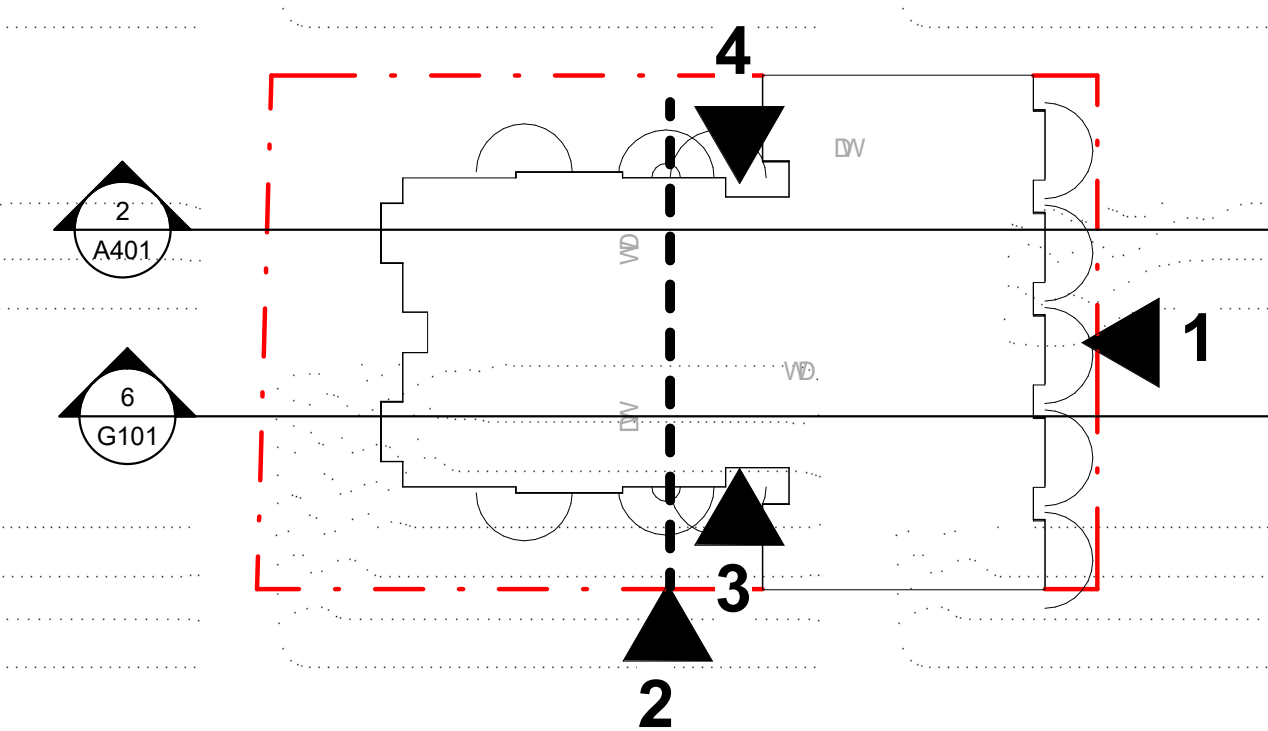
1 EAST ELEVATION - GEORGIA AVENUE
1/8" = 1'-0"



3 PARTIAL SOUTH ELEV **4 PARTIAL NORTH ELEV**
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



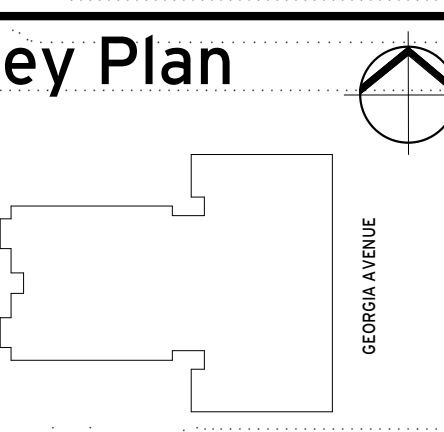
Key Plan

Keynote Legend	
NUMBER	MATERIAL
01	FIBER CEMENT PANEL W/ REVEAL
02	FIBER CEMENT SIDING
03	BRICK
04	VINYL WINDOW
05	METAL COPING
06	CAST STONE
09	PREFINISHED ALUM RAILING

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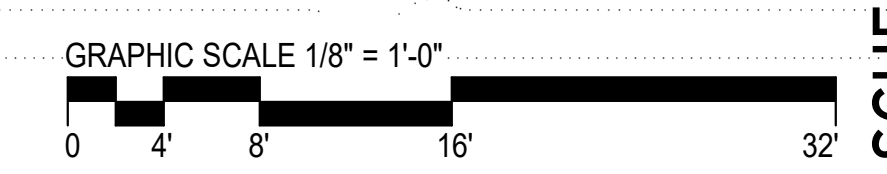
Issue
NO. DATE

Revisions
NO. DATE

East & South Elevations

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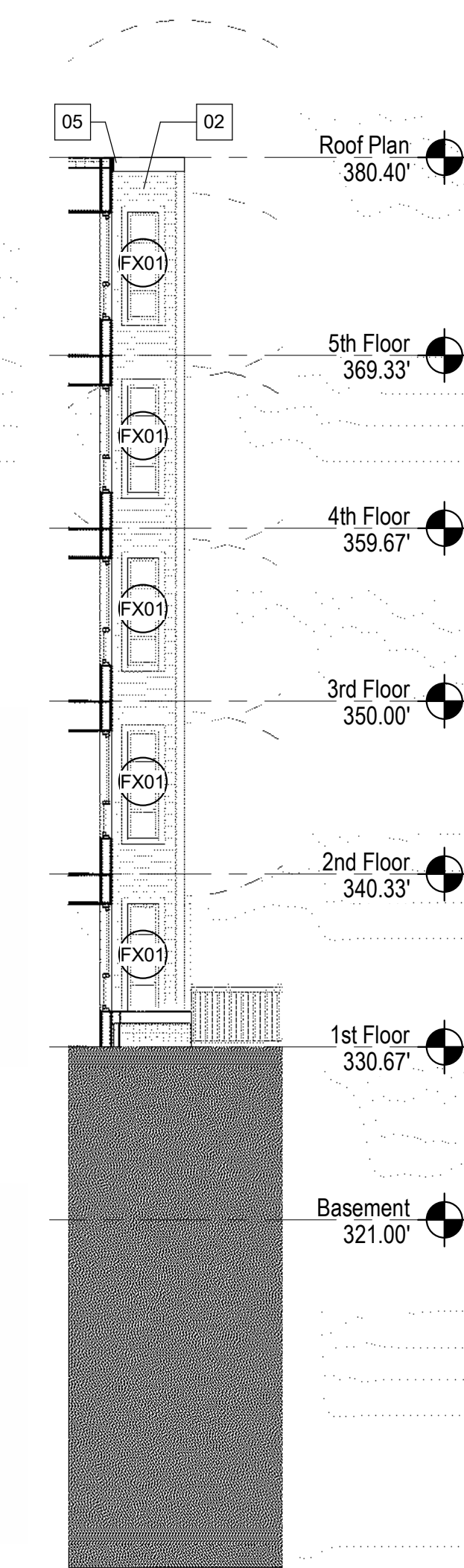
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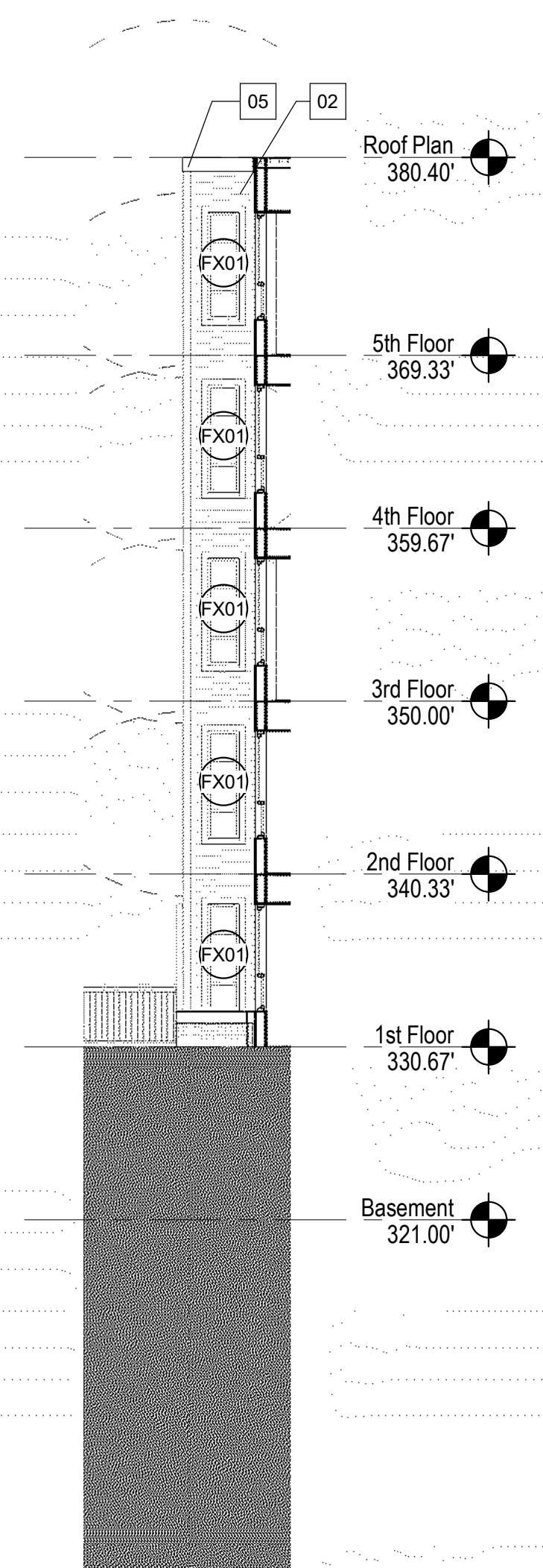
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1 WEST ELEVATION - PUBLIC ALLEY
1/8" = 1'-0"



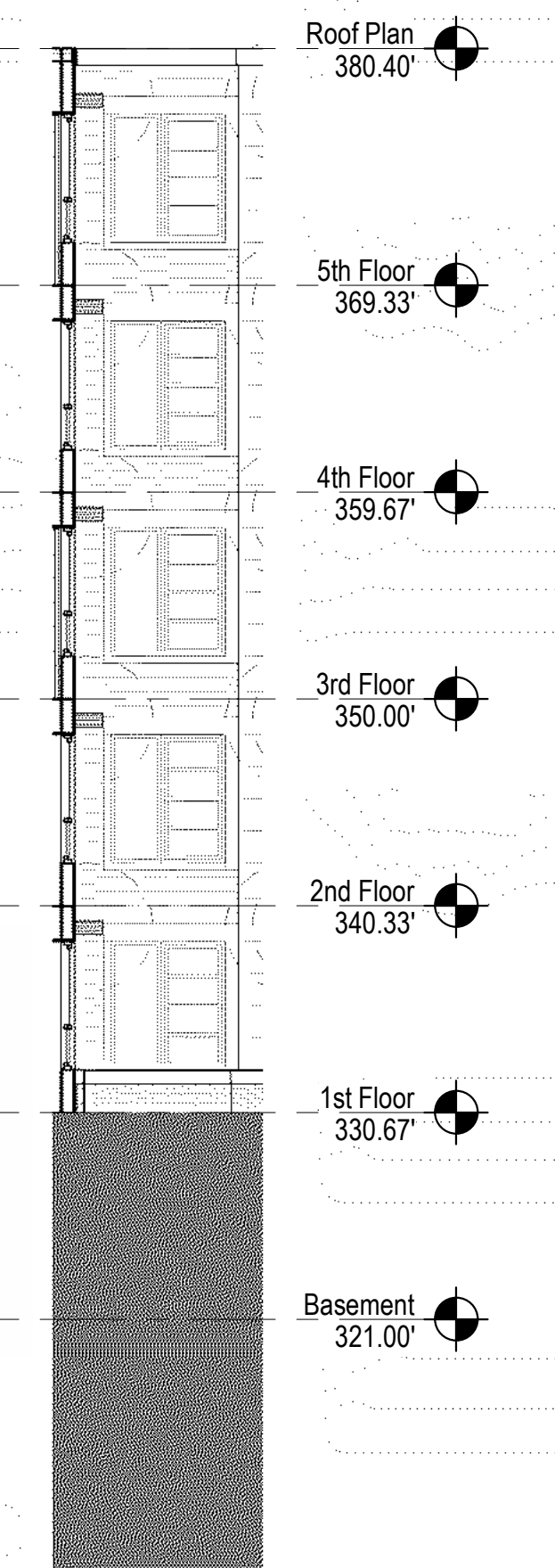
3 PARTIAL EAST ELEV
1/8" = 1'-0"



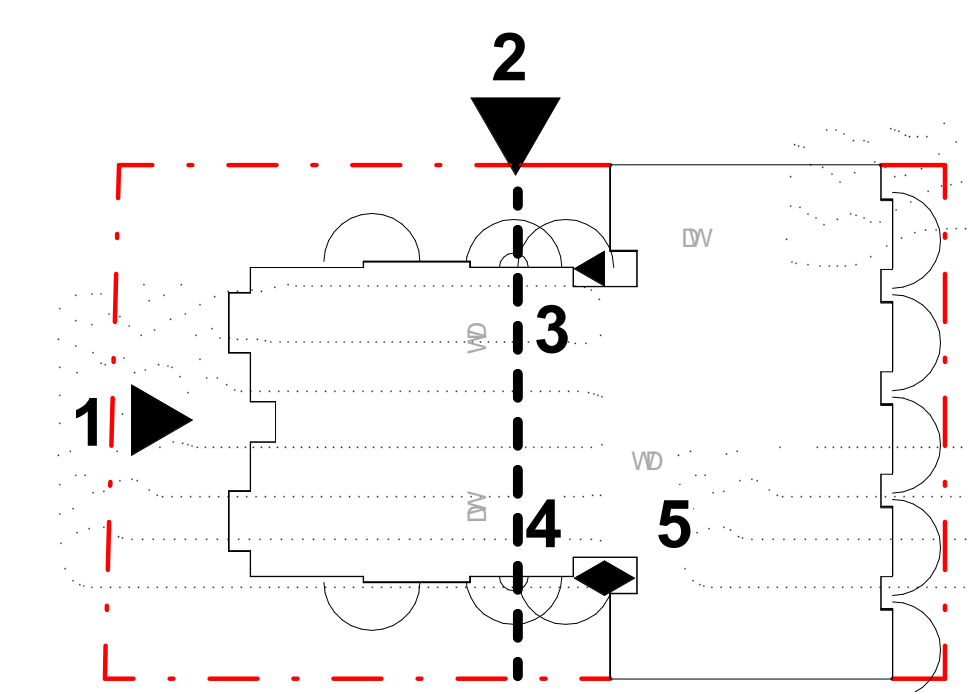
4 PARTIAL EAST ELEV
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



5 WEST - RECESSED ELEVATION
1/8" = 1'-0"



Key Plan

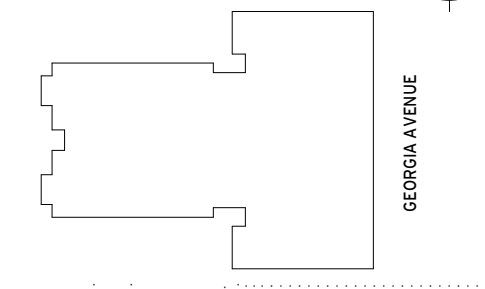
Keynote Legend	
NUMBER	MATERIAL
01	FIBER CEMENT PANEL W/ REVEAL
02	FIBER CEMENT SIDING
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NO. DATE

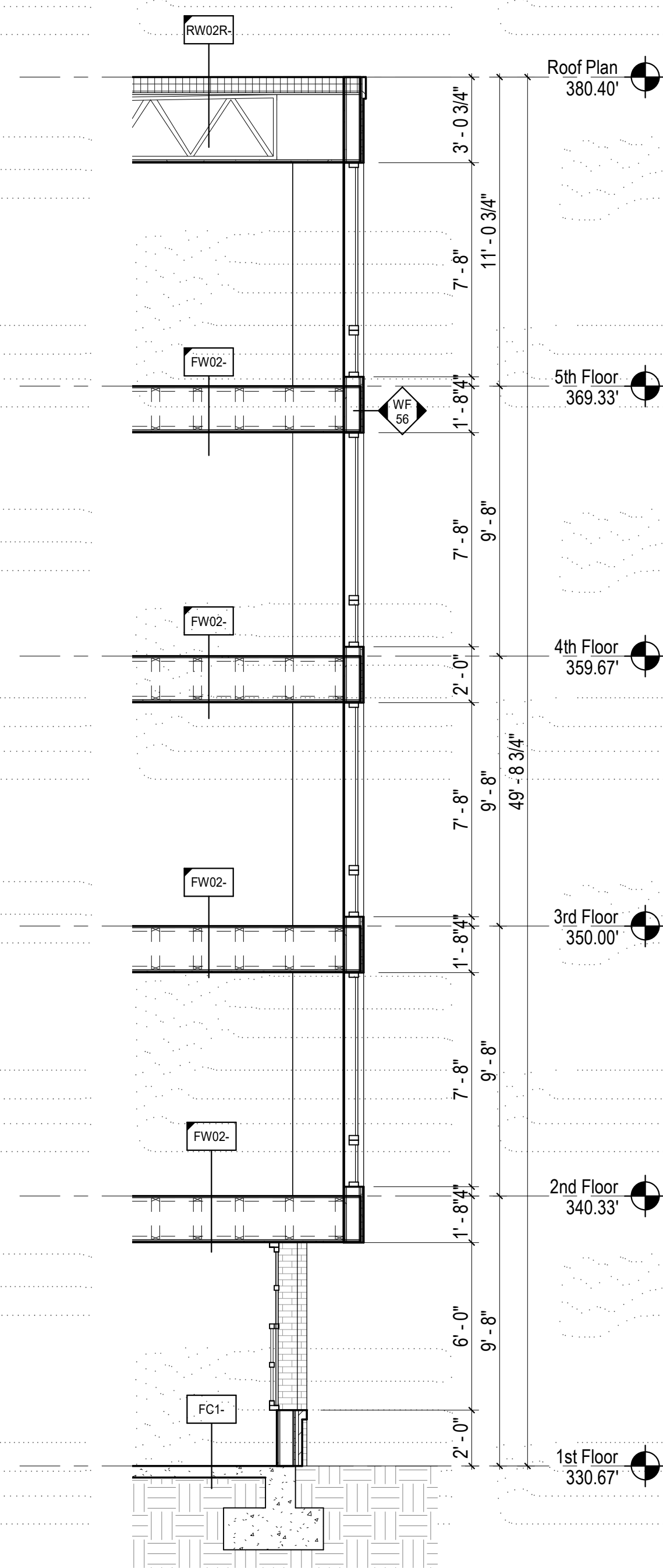
Revisions
NO. DATE

West & North Elevations

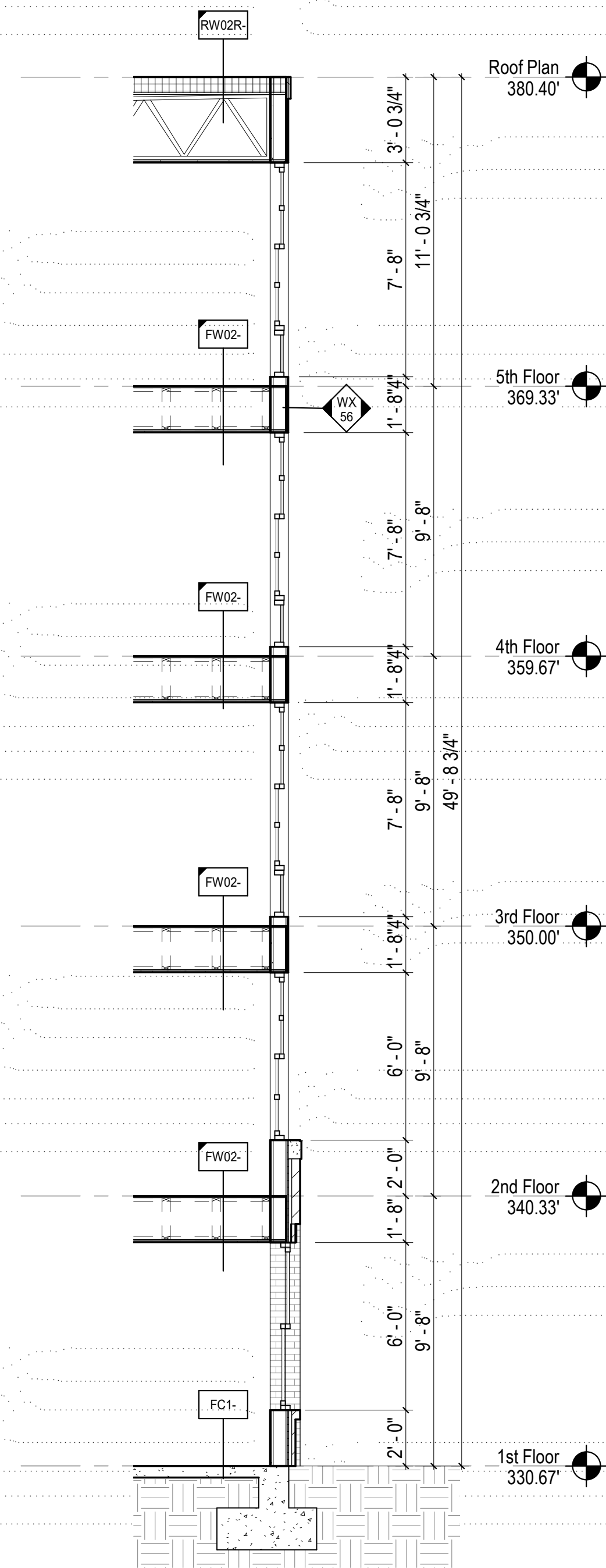
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PROJECT ARCHITECT
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DRAWN
B.L.
DATE 04/23/21
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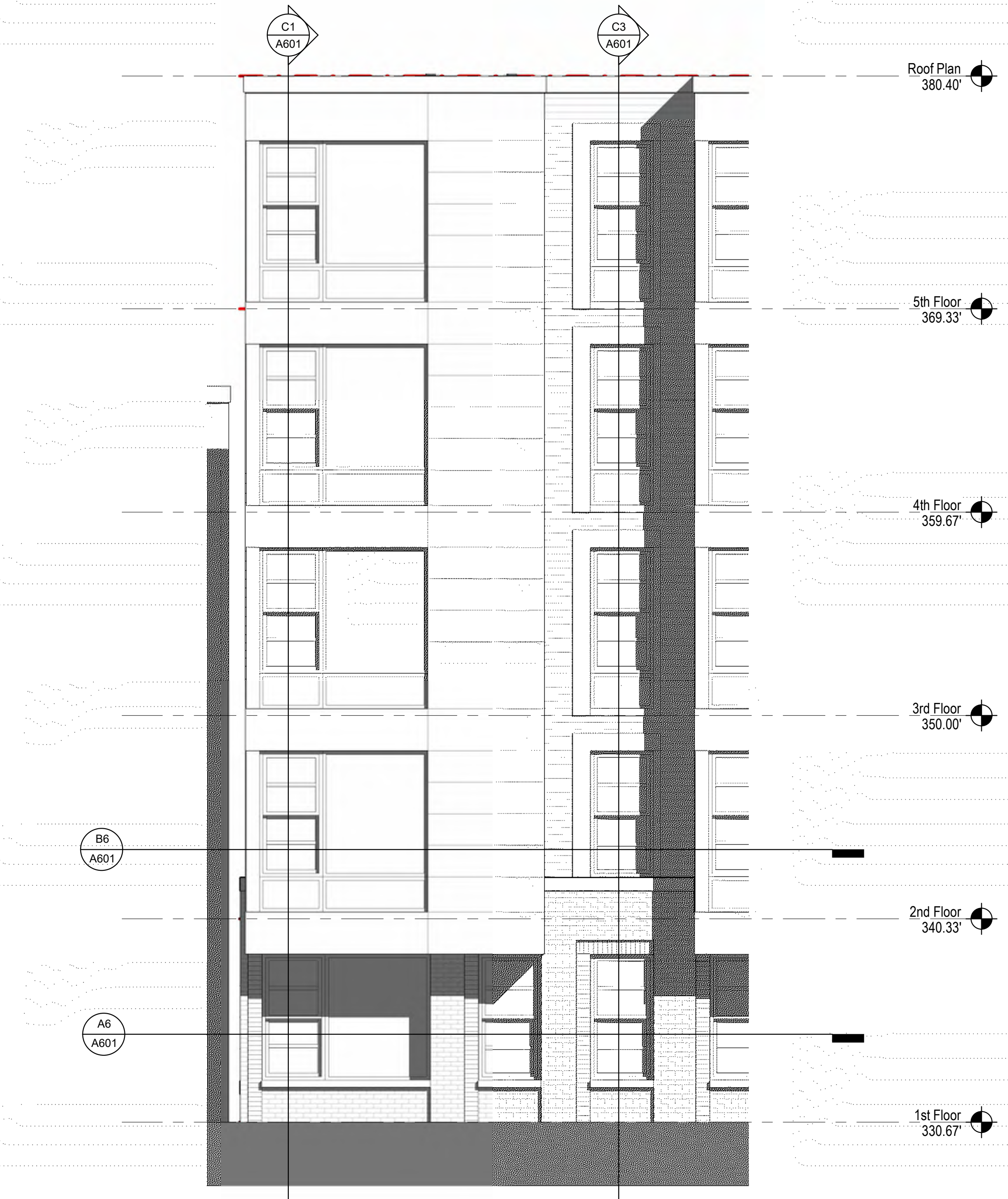
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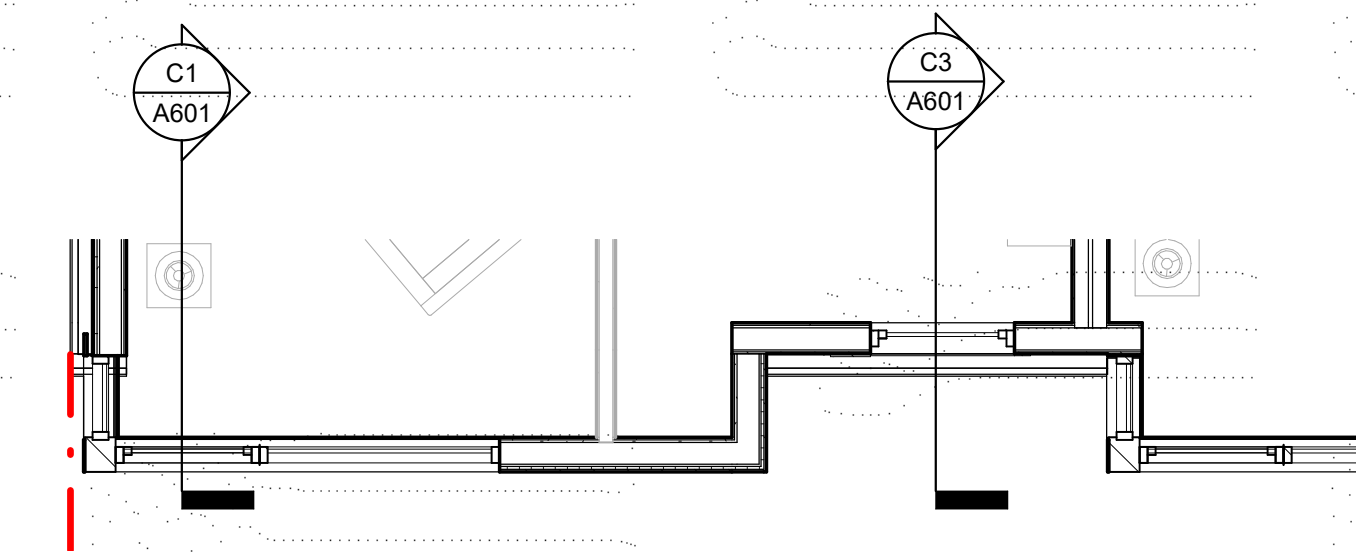
C1 WALL SECTION
1/4" = 1'-0"



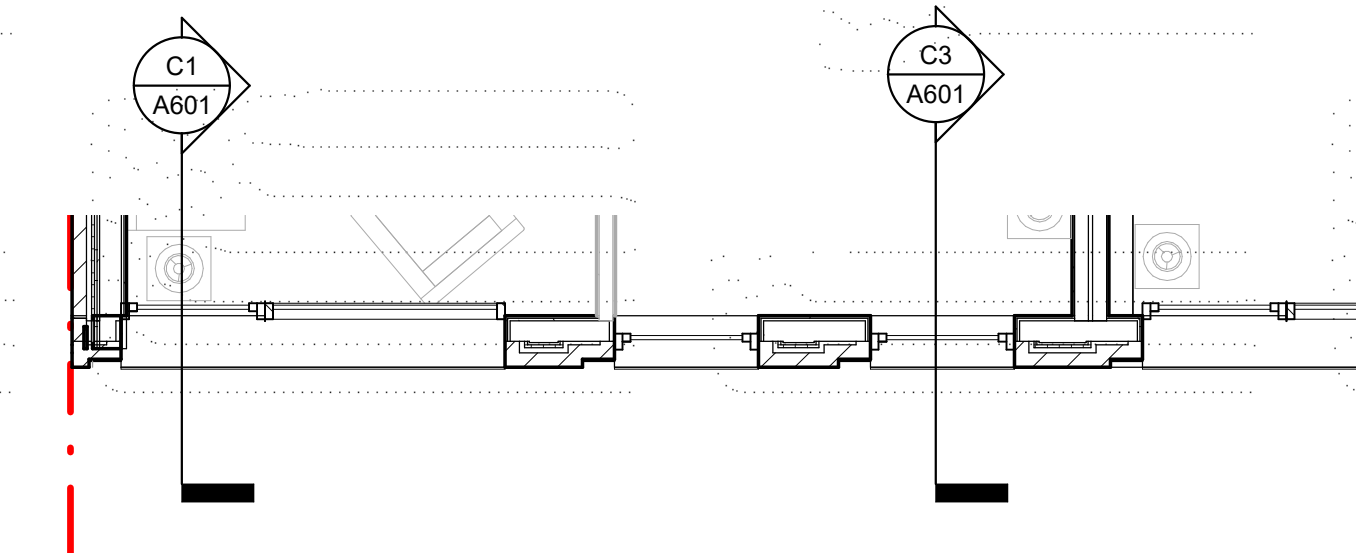
C3 WALL SECTION
1/4" = 1'-0"



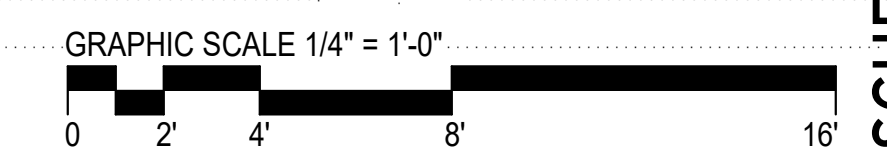
C6 PARTIAL ELEVATION
1/4" = 1'-0"



B6 PARTIAL FLOOR PLAN
1/4" = 1'-0"



A6 PARTIAL FLOOR PLAN
1/4" = 1'-0"



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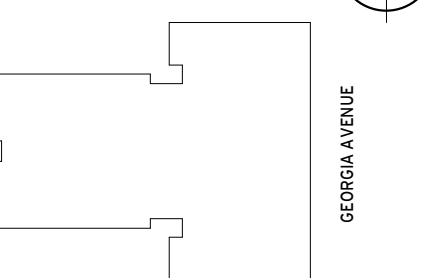
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Key Plan



Issue

NO. DATE

Revisions

NO. DATE

Partial Elevations and Sections

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PROJECT ARCHITECT
S.F.

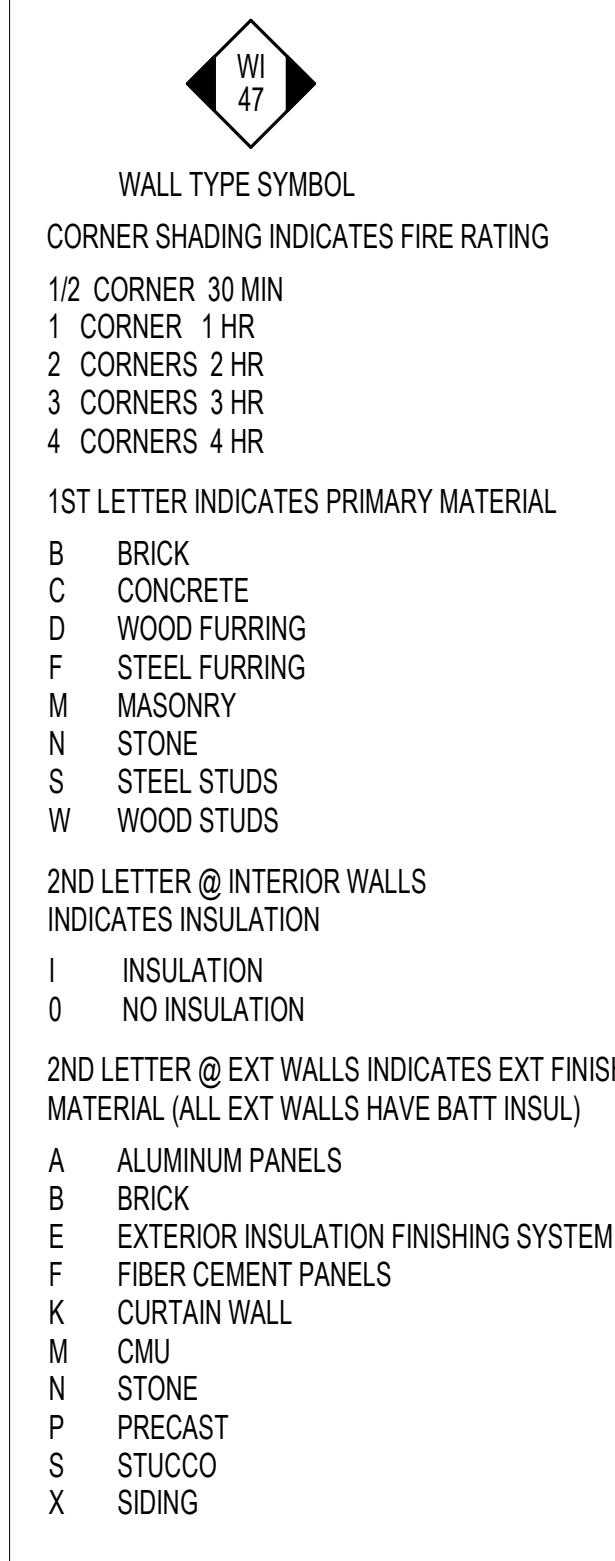
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A601

SCHEMATIC DESIGN - APRIL 23, 2021



SYMBOL LEGEND FOR ALL WALLS



GENERAL NOTES FOR WOOD STUD WALLS

- EXTERIOR WALL STUDS
 - SPACE AT 16 INCHES OC, UNLESS OTHERWISE INDICATED. COORD WITH STRUCTURAL DRAWINGS.
 - SILLS & PLATES ON SLABS OR WITHIN 8" OF FIN OR SHALL BE PRESERVATIVE TREATED.
 - FRAMING AT WEATHER EXPOSED AREAS SHALL BE PRESERVATIVE TREATED.
 - SILL PLATES: ANCHOR WITH MINIMUM 5/8" DIA. DIAMETER BOLTS EMBEDDED NOT LESS THAN 15 INCHES INTO GROUT FILLED CMU CELLS AND NOT LESS THAN 8 INCHES INTO CAST-IN-PLACE CONCRETE. PROVIDE MIN OF TWO ANCHORS PER SECTION OF PLATE, 12" FROM END OF EACH SECT OF PLATE WITH INTERMEDIATE BOLTS PLACED MAXIMUM 4 FEET OC.
 - PROVIDE DOUBLE TOP PLATES.
- INTERIOR PARTITIONS:
 - INTERIOR PARTITIONS: MIN 2 X 4. SEE ARCHITECTURAL/STRUCTURAL PLANS FOR WHEN DEEPER STUDS ARE REQUIRED IN FIREWALLS. OTHERWISE INDICATED. LOADBEARING WALLS & WALLS MORE THAN 12' HIGH, AS REQUIRED BY STRUCTURAL DRAWINGS. AT INTERSECTION OF NON RATED INTERIOR PARTITIONS WITH ONE HOUR RATED FLOOR/CEILING ASSEMBLIES A DOUBLE TOP PLATE MAY BE USED IN LIEU OF CARRYING CEILING MEMBRANE THROUGH.
- WOOD FURRING:
 - TO BE PRESERVATIVE TREATED WHEN APPLIED TO EXTERIOR MASS OR CONCRETE WALLS.

GENERAL NOTES FOR CONCRETE AND CMU WALLS

- THICKNESS, WEIGHT AND POROSITY WILL DETERMINE STC OF CMU AND CONCRETE WALLS. ADDITIONAL FURRING AND INSULATION MAY BE USED TO ACHIEVE HIGHER STC. SEE NATIONAL CONCRETE MASONRY ASSOCIATION MANUAL FOR STC TESTING.
- FOR REINFORCING OF CMU AND CONCRETE WALLS SEE STRUCTURAL DRAWINGS.

BOTTOM NUMBERS INDICATE			
	WOOD FURRING (D)	WOOD STUDS (W)	CONC (C) OR
00-09	1 X 2S	1 X 2S	
10-19	2 X 2S	2 X 2S	
20-29	2 X 3S	2 X 3S	
30-39	2 X 4S	2 X 4S	
40-49	2 X 4S	2 X 4S	
50-59	2 X 6S	2 X 6S	
60-69	2 X 6S	2 X 6S	6" THICK
70-79	CHASE WALLS	CHASE WALLS	CHASE WALLS
80-89		2 X 8S	
90-99		FIREWALLS	
100-109	2 X 10S	2 X 10S	10" THICK
120-129		2 X 12S	12" THICK

GENERAL NOTES FOR CONCRETE AND CMU WALLS

- THICKNESS, WEIGHT AND POROSITY WILL DETERMINE STC OF CMU AND CONCRETE WALLS. ADDITIONAL FURRING AND INSULATION MAY BE USED TO ACHIEVE HIGHER STC. SEE NATIONAL CONCRETE MASONRY ASSOCIATION MANUAL FOR STC TESTING.
- FOR REINFORCING OF CMU AND CONCRETE WALLS SEE STRUCTURAL DRAWINGS.

GENERAL NOTES FOR ALL WALLS

- FIRE RATED WALLS: SEE SCHEDULED LISTING PUBLISHED BY UL OR OTHER AGENCY FOR COMPLETE INFORMATION.
- EXTEND FIRE RATED SEPARATION WALL ASSEMBLIES ENCLOSING EXITS, SHAFTS AREAS OF REFUGE OR FOR SUBDIVIDING PURPOSES FROM TOP OF SLAB OR RATED FLOOR ASSY BELOW TO UNDERSIDE OF FLOOR OR ROOF SLAB OR DECK ABOVE.
- EXTEND FIRE RATED PARTITIONS SEPARATING EXIT ACCESS CORRIDORS, TENANT OR DWELLING UNITS FROM TOP OF SLAB OR RATED FLOOR ASSY BELOW TO UNDERSIDE OF FLR OR ROOF SLAB OR RATED ASSY ABOVE. (EXTEND FIRE RATED WD PTN TO UNDERSIDE OF SLAB OR DECK ABOVE AS REQ FOR DRAFTSTOPPING)
- EXTEND SMOKE BARRIERS FROM TOP OF SLAB OR RAYED FLR ASSY BELOW TO UNDERSIDE OF FLOOR OR ROOF SLAB OR DECK ABOVE, OR TO UNDERSIDE OF FLOOR OR ROOF RATED ASSY ABOVE IF ASSY PROVIDES EQUAL RESISTANCE TO PASSAGE OF FIRE AND SMOKE AS SMOKE BARRIER.
- WHEN A FIRE WALL INTERSECTS AN EXTERIOR WALL, CARRY CONSTRUCTION OF FIRE WALL THROUGH TO INSIDE FACE OF EXT SHEATHING.
- WHEN NON-RATED WALLS OR LESSER-RATED WALLS INTERSECT HIGHER FIRE RATED WALLS, OR FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES CONSTRUCTION OF HIGHER RATED WALL SHALL BE CONTINUOUS AND UNINTERRUPTED.
- IF RATED WALLS OCCUR BEHIND PLUMBING OR KITCHEN CABINETS, CONSTRUCTION OF RATED WALL SHALL BE CONTINUOUS & UNINTERRUPTED.
- PROVIDE FIRESTOPPING AT PENETRATIONS OF FIRE RATED WALLS AS REQUIRED BY CODE AND UL LISTINGS.
- DO NOT INSTALL ELECTRICAL OUTLETS ON OPPOSITE SIDES OF FIRE RATED WALLS WITHIN SAME STUD SPACE.
- SEAL TOP AND BOTTOM AS REQUIRED BY CODE AND SCHEDULED LISTING.
- WHEN A FIRE RATED WALL W/ 5/8" THICK TYPE FIRECODE GYP BD IS CONSTRUCTED IN LINE W/ A NON-RATED WALL ASSEMBLY W/ 1/2" THICK GYP BD & THE SAME STUD DEPTH, USE 5/8" THICK NON-FIRE RATED OR 5/8" THICK FIRECODE GYP BD SUCH THAT THE EXT FACE OF THE GYP BD ALIGNS. NO 1/8" STEPS IN WALLS ARE ALLOWED.
- CONCEALED FIRE WALLS, VERTICAL FIRE SEPARATION ASSEMBLIES, FIRE PARTITION AND SMOKE BARRIERS SHALL BE DESIGNATED ABOVE CEILINGS AND ON THE INSIDE OF ALL CEILING ACCESS DOORS WHICH PROVIDE ACCESS TO SUCH FIRE RATED ASSEMBLIES BY SIGNAGE HAVING LETTERS NO SMALLER THAN ONE INCH IN HEIGHT. SUCH SIGNAGE SHALL INDICATE THE FIRE-RESISTANCE RATING OF THE ASSEMBLY AND THE TYPE OF ASSEMBLY AND BE PROVIDED AT HORIZONTAL INTERVALS OF NO MORE THAN EIGHT FEET.

- SOUND INSULATED WALLS
 - INSTALL SOUND INSUL IN RATED ASSEMBLIES AS SPECIFIED IN WALL TYPES PER REFERENCED UL OR OTHER TESTING AGENCY DESIGN NUMBER. INSULATE DWELLING OR TENANT SEPARATION WALLS & EXIT ACCESS CORRIDOR WALLS. INSULATE WALLS ENCLOSING MECHANICAL RMS, PUBLIC TOILETS, MECHANICAL SHAFTS, STAIRS, ELEVATORS, TRASH CHUTE, TRASH ROOMS. INSULATE SURROUNDINGS OF SPECIFIC ROOMS WHERE INDICATED ON DRAWINGS.
 - EXTEND SOUND INSULATION TO UNDERSIDE OF FLOOR OR ROOF SLAB OR DECK ABOVE.
 - STAGGER CUTOUTS FOR ELECTRICAL SWITCHES & OUTLETS. INSTALL SOUND INSUL CONTINUOUSLY BEHIND BOXES LOCATED IN SOUND INSULATED WALLS.
 - PROVIDE ACOUSTICAL SEALANT IN ACCORDANCE W/ GYP BD ASSEMBLIES SPECIFICATION.

- EXTERIOR WALLS
 - REFER TO SPECIFICATIONS FOR WEATHER AND VAPOR BARRIER INSTALLATION AND LOCATION WHERE REQUIRED.
 - PROVIDE SPACING AND GAGE OF METAL STUDS AND RUNNERS AS REQ TO WITHSTAND DESIGN LOAD.
- BLOCKING
 - INSTALL SOLID BLOCKING OR 1/2" GAGE SHEET METAL BEHIND GYPSUM BOARD IN STUD WALLS AS REQ TO ATTACH TOILET ACCESSORIES, HAND RAILS, GRAB BARS, SPECIAL TRIM DETAILS, CABINETS, AND OTHER WALL MOUNTED ITEMS.
 - IN BUILDINGS CLASSIFIED AS CONSTR TYPE 1 OR 2, WOOD BLOCKING IS USED IN WALLS RATED 1 HOUR OR LESS. SHALL BE FIRE RETARDANT. WD BLOCKING NOT ALLOWED IN WALLS RATED 2 HOURS OR HIGHER.
- GYPSUM BOARD
 - GYP BD TYPE IN RATED ASSEMBLIES SHALL BE AS SPECIFIED IN REFERENCED UL OR OTHER TESTING AGENCY DESIGN NUMBERS.
 - IN AREAS SUBJECT TO MOISTURE PENETRATION DURING CONSTRUCTION: PROVIDE MOISTURE AND MOLD RESISTANT CORE AND SURFACES.
- CEMENTITIOUS BACKER BOARD
 - INSTALL CEMENTITIOUS BACKER BD SUBSTRATE AT TUBS AND SHOWERS FOR FULL HEIGHT, AND BEHIND CERAMIC TILE WHERE USED.
- MASONRY WALLS
 - 4 INCH CMU WALLS: 100% SOLID WHERE 2 HOUR FIRE RATING REQUIRED.
- INTERIOR PARTITIONS
 - WHEN FIXTURES ARE MOUNTED ON CHASED WALL, USE 3/8" METAL STUD. MAINTAIN FIRE RATING AND ACOUSTICAL INTEGRITY OF SUCH PARTITION.
 - STUDS AND RUNNERS SIZE, THICKNESS AND SPACING AS REQ TO WITHSTAND DESIGN LOAD.

ABBREVIATIONS USED FOR FIRE & SOUND TEST LABS ARE AS FOLLOWS:

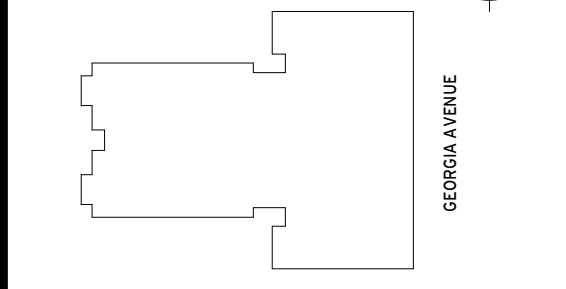
ACI = AMERICAN CONCRETE INSTITUTE
 BBN = BOLT, BERANEK & NEWMAN INC
 CDHS = CATALOG OF STC AND IIC RATINGS CA
 DEPT OF HEALTH SERVICES OFFICE OF NOISE CONTROL BERKLEY, CALIFORNIA
 CK = FIRE RESISTANCE SOUND CONTROL DESIGN MANUAL CURRENT EDITION 2003 BY GYPSUM ASSOCIATION
 NGC = NATIONAL GYPSUM COMPANY
 NRC = NATIONAL RESEARCH COUNCIL OF CANADA
 OCF = OWENS-CORNING FIBERGLASS
 OR = OHIO RESEARCH CORPORATION
 RALLT = RIVERBANK ACOUSTICAL LABORATORIES SHINER & ASSOCIATION
 TMS = THE MASONRY SOCIETY 0216-97
 UL = FIRE RESISTANCE DIRECTORY CURRENT EDITION BY UNDERWRITERS LABORATORY INCORPORATED
 WHI = WARNOCK HERSEY INTERNATIONAL, INC



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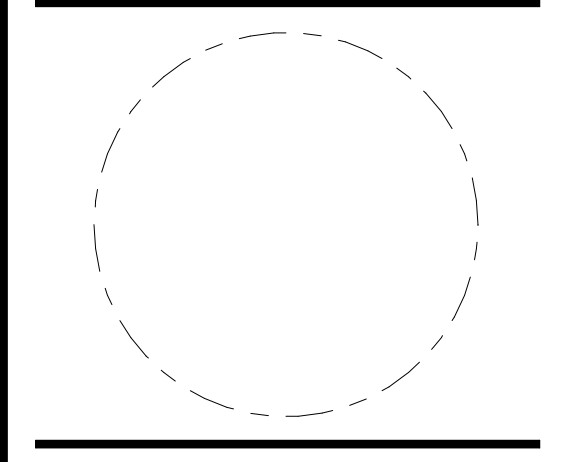


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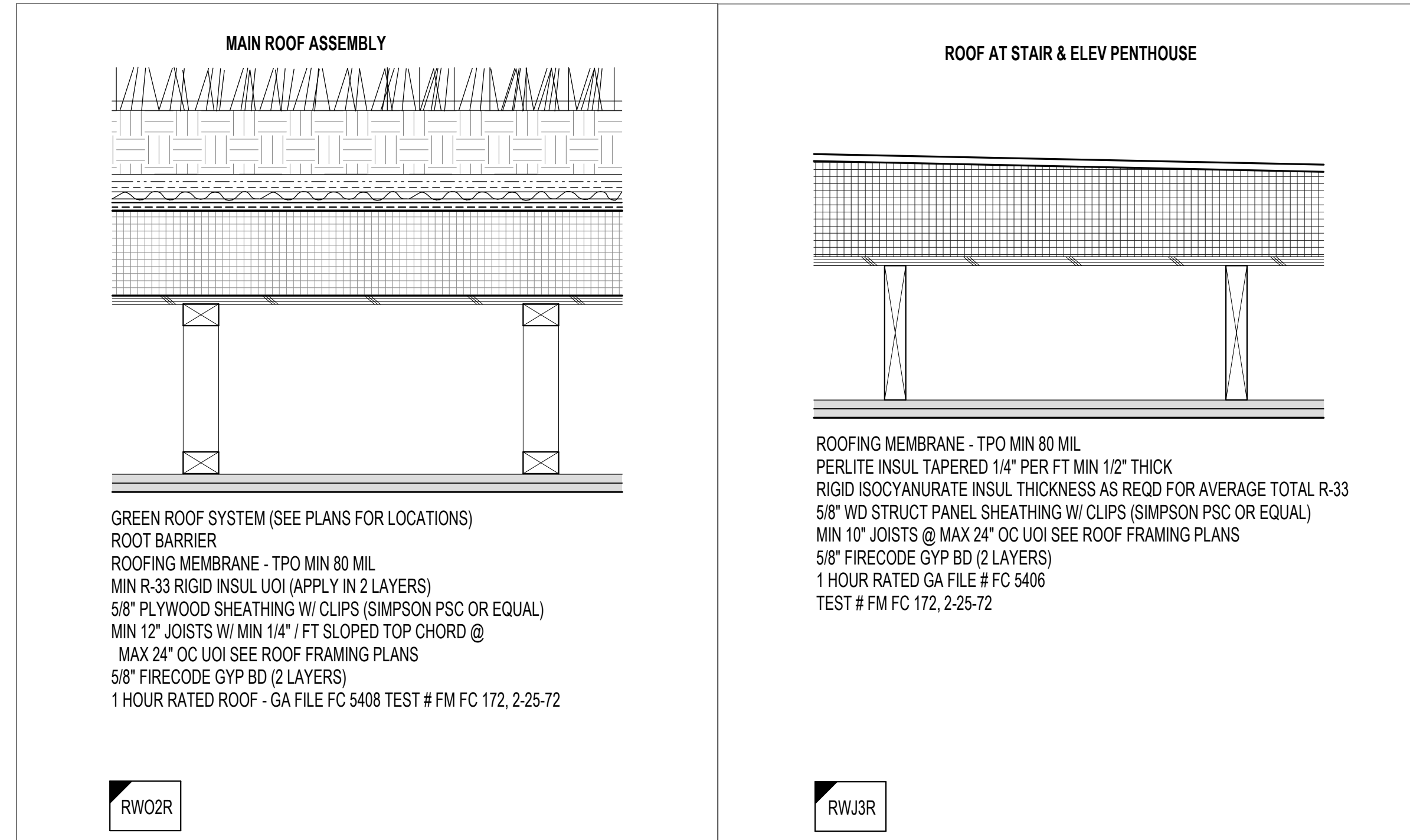


Wall Types

PRINCIPAL IN CHARGE S.F.	APPROVED
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DRAWN B.L.	DATE 04/23/21
SCALE: As indicated	JOB NO. 18506.00
DRAWING NO. A701	

SCHEMATIC DESIGN - APRIL 23, 2021

ROOF ASSEMBLIES



LEGEND FOR WOOD OR STEEL ROOF ASSEMBLIES

RWJ3

ROOF TYPE SYMBOL
 CORNER SHADING INDICATES FIRE RATING
 1/2 CORNER 30 MIN
 1 CORNER 1 HR
 2 CORNERS 2 HR
 3 CORNERS 3 HR
 4 CORNERS 4 HR
 1ST LETTER INDICATES FLOOR OR ROOF
 F FLOOR
 R ROOF
 2ND LETTER INDICATES STRUCTURAL MATERIAL
 S STEEL
 W WOOD
 3RD LETTER INDICATES TYPE OF FRAMING
 T ROOF TRUSSES
 R ROOF RAFTERS
 J JOISTS
 I T SHAPED JOISTS
 O OPEN WEB TRUSSES
 B BEAMS
 4TH SPACE IS FOR ASSEMBLY NUMBER
 5TH SPACE INDICATES TYPE OF INSULATION IF USED
 R RIGID INSULATION
 B BATT INSULATION

GENERAL NOTES FOR ASSEMBLIES

- FOR GYPSUM BOARD TYPE IN RATED ASSEMBLIES, SEE SPECIFICATIONS IN THE REFERENCED UL DESIGN MANUAL OR OTHER TESTING AGENCIES DESIGN NUMBERS.
- FOR BRIDGING SEE STRUCTURAL DRAWINGS.
- FOR VAPOR BARRIER LOCATION

GENERAL NOTES FOR ASSEMBLIES

- GYPSUM BOARD
 FOR FIRECODE GYPSUM BOARD IN RATED ASSEMBLIES, SEE SPECIFICATIONS IN UL 2009 FIRE RESISTANCE MANUAL & GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL GA - 600 - 2003, 18 TH EDITION
- STC & IIC
 IN RESIDENTIAL BUILDINGS FLOOR ASSEMBLIES REQUIRE THE FOLLOWING
 SOUND TRANSMISSION CLASS (STC) = 50
 IMPACT INSULATION CLASS (IIC) = 50
- TOPPING MIX & ACOUSTIC MAT
 A) SEE UL DESIGN NO. FOR MINIMUM THICKNESS OF TOPPING MIX REQUIRED ABOVE ACOUSTIC MAT PROVIDED
 B) IN AREAS WHERE ACOUSTIC MAT IS NOT REQUIRED INCREASE THICKNESS OF TOPPING TO SAME LEVEL AS THAT ABOVE ACOUSTIC MAT

STC AND IIC ACHIEVED LEVELS GIVEN FOR EACH FLOOR ASSEMBLY ARE BASED ON THE FOLLOWING CHART EXCERPTED FROM THE METAL PLATE CONNECTED WOOD TRUSS HANDBOOK BY THE WOOD TRUSS COUNCIL OF AMERICA BOOK.
 (HIGHER STC AND IIC MIGHT BE ACHIEVED DEPENDING ON PRODUCT USED AND THEIR INDIVIDUAL TESTING ACHIEVED ANY FLOORING MATERIAL CAN BE ADDED OVER THE MIN REQUIRED STC & IIC LEVELS GIVEN ON INDIVIDUAL FLOOR ASSEMBLIES.)

DESCRIPTION	STC HIGH FREQ	IIC LOW FREQ
BASIC WD FLR - CONSISTING OF WD JST (I-JST, SOLID-SAWN OR TRUSS) 3/4" DECKING & 5/8" GYP WALLBOARD DIRECTLY ATTACHED TO GLG	36	33
CUSHIONED VIN OR LINOLEUM	0	2
NON-CUSHIONED VIN OR LINOLEUM	0	0
1/2" PARQUET FLOORING	0	1
3/4" GYPCRETE OR ELASTIZEL	7-8	1
1 1/2" LT W/ CONCRETE	7-8	1
12" SOUND DEADENING BD (USG) QUIET-COR UNDERLAYMENT BY TARKETT, INC.	1	5
ENKASONIC BY AMERICAN ENKA COMPANY	1	8
SEMPAFLOOR BY LAMINATING SERVICES, INC.	4	13
R-19 BATT INSULATION	2	0
R-11 BATT INSULATION	1	0
3" MINERAL WOOL INSUL	1	0
RESILIENT CHANNEL	10	8
RESILIENT W/ INSUL	13	15
EXTRA LAYER OF 5/8" GYP WALLBOARD	0-2	2-4
CARPET & PADDING	0	20-25

IN THE 1 HR RATED ASSEMBLIES HAVING A UL TEST NUMBER IN THE L500 SERIES, SOUND BATTEN NEEDS TO BE ADDED TO ACHIEVE THE REQD LEVEL OF STC OR IIC. A SECOND LAYER OF 5/8" GYP BD MUST BE ADDED IN ORDER TO KEEP THE STRUCTURAL INTEGRITY OF THE ASSEMBLY.

WHEN CERAMIC / MARBLE TILE IS USED AS THE FINISH FLOOR, PROVIDE 1/2" SOUND DEADENING BD.

LEGEND FOR WOOD OR STEEL FLOOR ASSEMBLIES

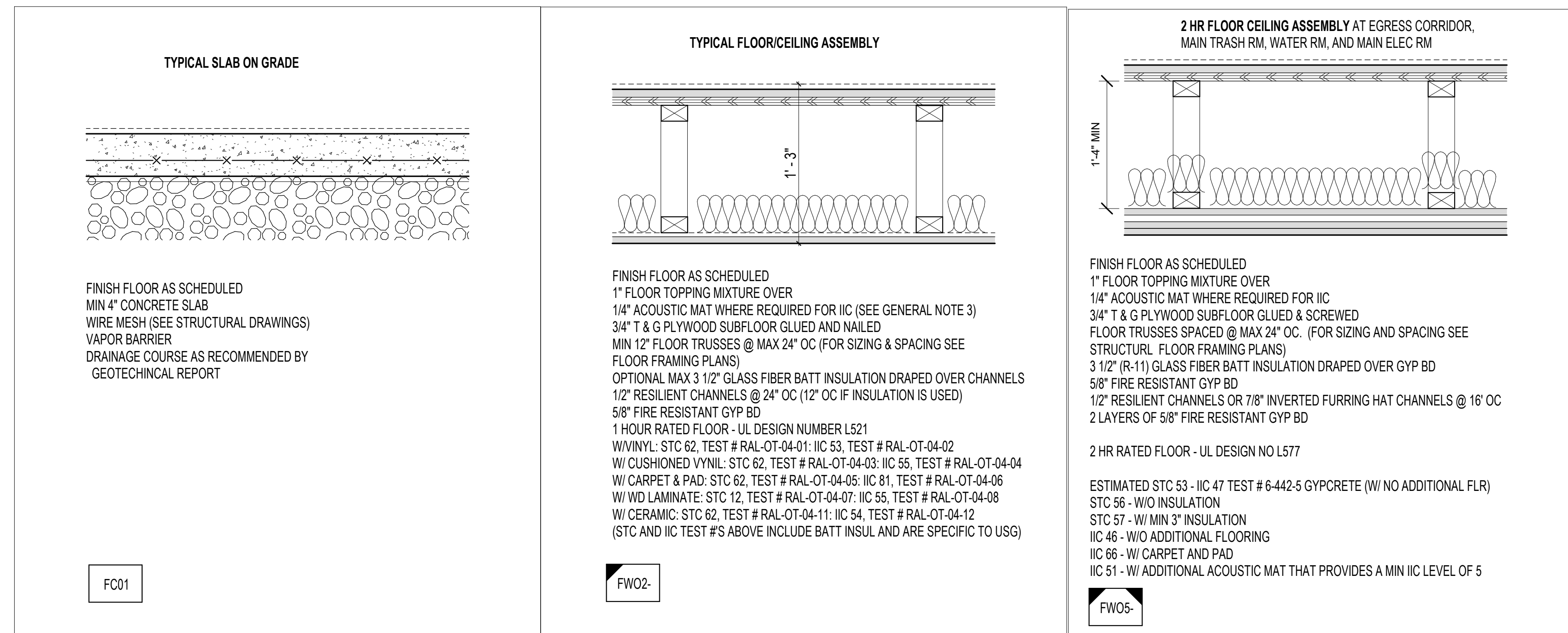
FWJ3-

FLOOR TYPE SYMBOL
 CORNER SHADING INDICATES FIRE RATING
 1/2 CORNER 30 MIN
 1 CORNER 1 HR
 2 CORNERS 2 HR
 3 CORNERS 3 HR
 4 CORNERS 4 HR
 1ST CHARACTER INDICATES FLOOR OR ROOF
 F FLOOR
 R ROOF
 2ND CHARACTER INDICATES STRUCTURAL MATERIAL
 S STEEL
 W WOOD
 3RD CHARACTER INDICATES TYPE OF FRAMING
 J JOIST
 I T SHAPED JOIST
 O OPEN WEB TRUSSES
 4TH CHARACTER IS FOR ASSEMBLY NUMBER
 5TH CHARACTER INDICATES TYPE OF INSULATION IF USED
 R RIGID INSULATION
 B BATT INSULATION
 - NO INSULATION

ADDITIONAL FIC INFORMATION

- INTERTEK TESTING SERVICE
 a) REPORT NO. J20052638-034A
 3/8" T & G WOOD FLOORING ADHERED TO
 1/8" INSULATION DIRECTLY ADHERED TO CONCRETE SLAB
 FIC 60
 b) REPORT NO. J99031102-003
 ARMSTRONG LAMINATE FLOORING OVER
 QUIET FLOOR UNDERLAYMENT OVER
 CONCRETE SLAB
 FIC 60
 2. ACOUSTI-TECH ACOUSTIC MEMBRANE TESTS USING ASTM E-1007-90
 a) LAMINATED FLOORS & FLOATING FLOORS OVER TECH 3500TM OVER CONCRETE SLAB
 FIC 58
 b) GLUE DOWN ENGINEERED FLOOR ADHERED TO TECH 3500TM QUIET FLOOR UNDERLAYMENT OVER CONCRETE SLAB
 FIC 58
 c) CERAMIC TILES MORTAR CERAM-TECH TM ADHERED TO CONCRETE SLAB
 FIC 56

FLOOR ASSEMBLIES



650 F STREET NW, SUITE 690
 WASHINGTON, DC 20004
 202.232.3132
 www.tortigallasurban.com

7428 GEORGIA AVENUE, NW

7428 GEORGIA AVENUE, NW
 WASHINGTON, DC, 20012

OWNER / DEVELOPER
 LOCK7 DEVELOPMENT
 202.759.0905

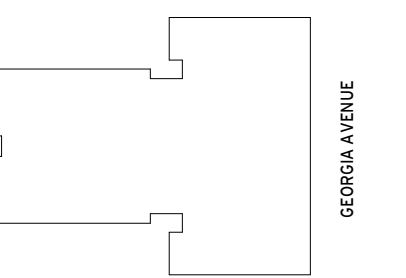
STRUCTURAL ENGINEER
 STRUCTURA, INC.
 000.000.0000

MEP ENGINEER
 HENRY ADAMS, LLC
 410.296.6500

CIVIL ENGINEER
 CAS ENGINEERING - DC, LLC
 202.393.7200

SUSTAINABILITY CONSULTANT
 SUSTAINABLE DESIGN
 CONSULTING, LLC
 202.667.1620

Key Plan



Issue

NO. DATE

Revisions

NO. DATE

Floor and Roof Types

PRINCIPAL IN CHARGE
 S.F.

PROJECT ARCHITECT
 S.F.

DRAWN
 B.L.

DATE 04/23/21 APPROVED

SCALE: As indicated JOB NO. 18506.00

DRAWING NO.

A702

SCHEMATIC DESIGN - APRIL 23, 2021

