7428 GEORGIA AVENUE, NW

Washington, DC



Lock7 Development SCHEMATIC DESIGN

APRIL 23, 2021



650 F STREET NW, SUITE 690 WASHINGTON, DC 20004 www.tortigallasurban.com

7428 GEORGIA AVENUE, NW

7428 GEORGIA AVENUE, NW WASHINGTON, DC, 20012

OWNER / DEVELOPER LOCK7 DEVELOPMENT 202.759.0905 STRUCTURAL ENGINEER 000.000.0000

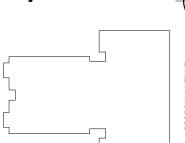
MEP ENGINEER HENRY ADAMS, LLC

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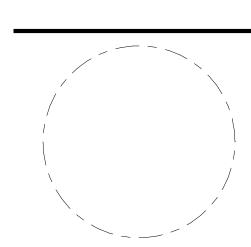
202.393.7200

202.667.1620





Revisions



Cover Sheet

APRIL PRINCIPAL IN CHARGE DESIGN

23,

SCHEMATIC

DATE 04/23/21 SCALE: JOB NO. 18506.00

INDEX OF DRAWINGS						
SHEET NUMBER	DRAWING TITLE					

01	
General Sheets	
G001	Cover Sheet
G002	Index Of Drawings
G003	Abbreviations, Graphic Symbols & General Notes
G101	Zoning Analysis & Building Area
G102	Unit Mix
G103	Code Analysis
G104	Average Grade, Building Height, & Opening Calcs

01.5	
Civil	
CIV200	Building Permit Site, DC WATER, Gradaing, and Stormwater Management Plan

017200	Building Fermit Site, BO WATEN, Gradaling, and Stormwater Management Flam
02	
Architectural	
A201	Basement Floor Plan
A202	First Floor Plan
A203	2nd Floor Plan
A204	3rd Floor Plan (4th Floor Sim.)
A205	5th Floor Plan
A206	Roof Plan
A301	Partial Basement Floor Plan - East
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A303	Partial 1st Floor Plan - East
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A305	Partial 2nd Floor Plan - East (3rd-5th Sim)
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A310	Elevator and Stair S1 Plans & Sections
A311	Stair S2 Plans & Sections
A401	Building Sections
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A501	East & South Elevations
A502	West & North Elevations
A601	Partial Elevations and Sections
A701	Wall Types
A702	Floor and Roof Types
A703	Finish Schedule

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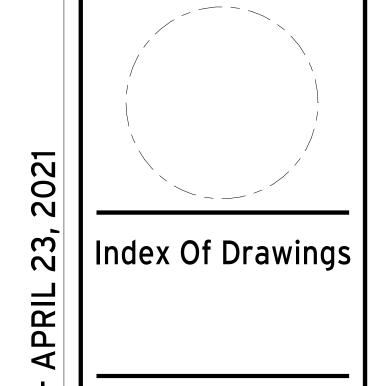
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DATE

Issue NO.

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PROJECT ARCHITECT S.F.

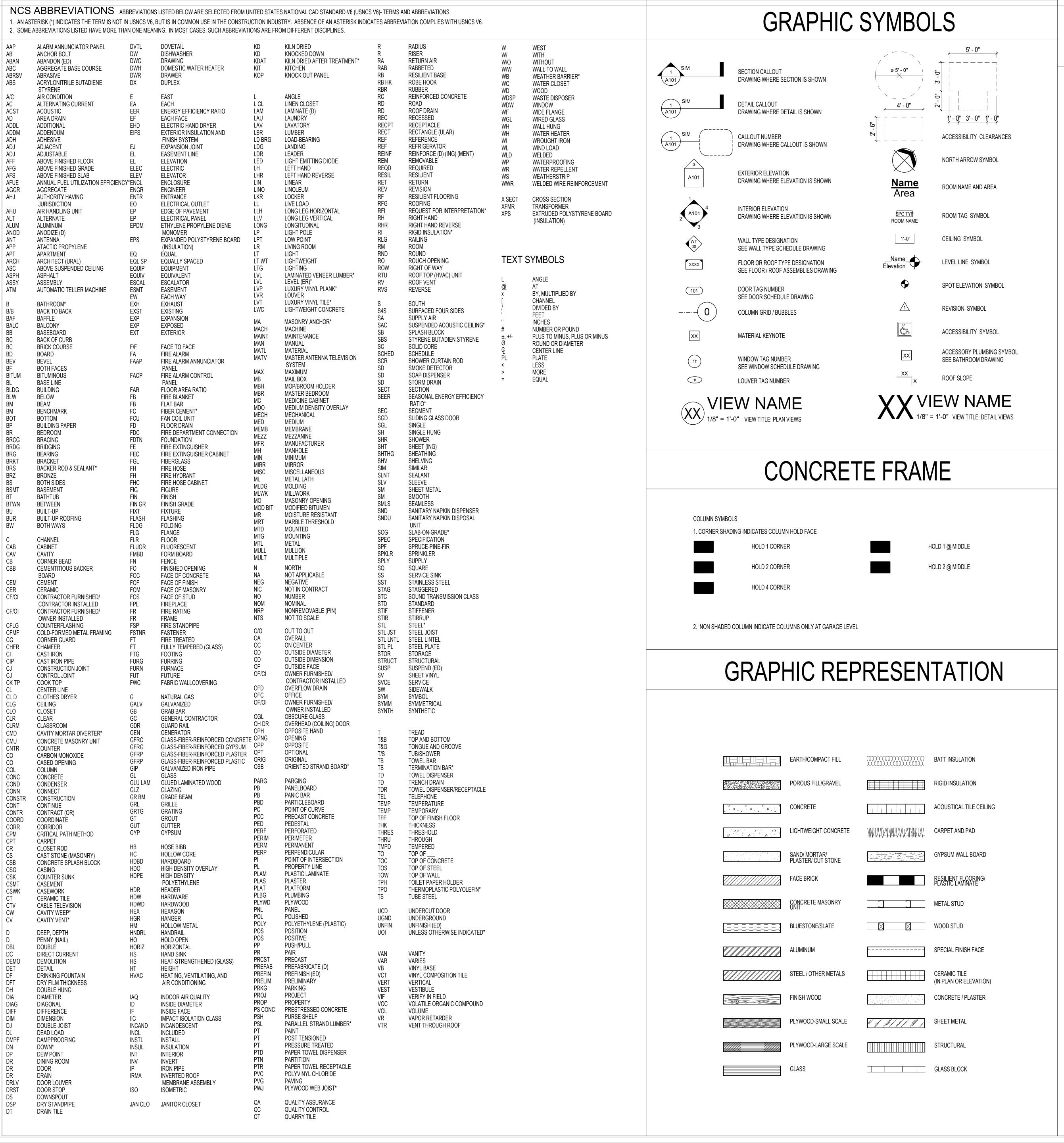
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DATE 04/23/21

SCALE: JOI 185

DRAWING NO.

GOO2 PRINCIPAL IN CHARGE S.F.



MASTER ARCHITECTURAL DRAWING GENERAL NOTES

TORTI GALLAS AND PARTNERS' TECHNICAL COMMITTEE HAS APPROVED THE FOLLOWING GENERAL NOTES FOR USE ON ARCHITECTURAL CONSTRUCTION DRAWINGS.
IN THE EVENT A PROJECT REQUIRES GENERAL NOTES NOT INCLUDED HERE, REQUEST REVIEW OF YOUR PROPOSED NOTES BY TWO OR MORE TECHNICAL COMMITTEE MEMBERS

- DIMENSIONS:

 VERIFY DIMENSIONS, GRADES, BOUNDARIES AND EXISTING SITE CONDITIONS
 BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT IN WRITING.
- B. DIMENSIONS INDICATED ON PLANS ARE TO FACE OF STUDS, TO CONCRETE WALLS AND/OR TO CMU WALLS. SHAFT WALL DIMENSIONS ARE FINISH DIMENSIONS
- 2. TYPICAL DRAWINGS: DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
- 3. MATERIALS: MATERIAL AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- A. FURRING FOR DUCTS, CONDUITS, AND PIPES ARE INDICATED THUS ON 1/4 INCH AND 1/8 INCH PLANS.
- B. FURR BATHROOM CEILINGS DOWN TO _____ FROM TOP OF FINISH FLOOR, EXCEPT WHERE INDICATED OTHERWISE ON DRAWINGS.
- C. FURRED CEILINGS: 1/2 INCH GYPSUM WALLBOARD ON WOOD OR STEEL FURRING.
- D. FIRE RATED FLOOR/CEILING ASSEMBLIES: INSTALL CONTINUOUS BEFORE FURRING.
- ACCESS PANELS: PROVIDE AT CEILING AND WALLS AS REQUIRED FOR ACCESS TO CONCEALED MECHANICAL, PLUMBING, ELECTRICAL, AND SPRINKLER COMPONENTS REQUIRING ACCESS AND WHERE REQUIRED BY DRAWINGS.
 A. ACCESS PANELS: SAME FIRE RATING AS WALL OR CEILING IN WHICH THEY ARE
- 6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- 7. INTERIOR FINISHES:
- A. INTERIOR FINISHES: COMPLY WITH APPLICABLE CODES AND REGULATIONSB. INTERIOR FINISHES OF PUBLIC AREAS: SEE ID DRAWINGS.
- C. FINISH CLOSETS (FLOORS, BASE, WALLS, TRIM AND CEILINGS) TO MATCH ADJOINING ROOMS OR AREAS. PAINT EXPOSED WOOD.
- D. EXPOSED CONCRETE FLOORS: PROVIDE SEALER.
- 8. CARPET: COMPLY WITH APPLICABLE CODES AND REGULATIONS (FLAME SPREAD AND SMOKE DENSITY RATING).
- A. CARPET INSTALLATION AT RESIDENTIAL UNITS: INSTALL ON PAD.
- B. CARPET INSTALLATION AT PUBLIC AREAS: DIRECT GLUE DOWN
- 9. CERAMIC TILE: INSTALL IN ACCORDANCE WITH TILE COUNCIL APPROVED METHOD USING THINSET LATEX PORTLAND CEMENT, UNLESS OTHERWISE INDICATED. INSTALL USING MORTAR METHOD WHERE INDICATED, SCHEDULED, OR SPECIFIED.
- A. CERAMIC WALL TILE IN BATHTUB AREA: FULL HEIGHT. PROVIDE METAL STOP A TOP EDGE OF BATHTUB.
 B. CERAMIC WALL TILE IN BATHTUB AND SHOWER AREA: FULL HEIGHT. PROVIDE METAL STOP AT TOP EDGE OF BATHTUB.
- C. PROVIDE TILE BACKER SUBSTRATE FOR CERAMIC WALL TILE IN BATHTUB SURROUNDS AND SHOWERS.
- 10. INTERIOR PAINTING:
- A. LIVING ROOMS, DINING ROOMS, BEDROOMS, AND DENS: FLAT FINISH.
- B. BATHROOMS, KITCHENS, LAUNDRIES, DOORS, AND TRIM: SEMI-GLOSS FINISHC. PUBLIC CORRIDORS AND EXIT STAIRS. TOILET ROOMS. JANITOR'S CLOSETS.
- MECHANICAL ROOMS, AND ELECTRICAL ROOMS: SEMI-GLOSS FINISH.
- D. STAIRS: UNDERSIDE OF STAIRS AND LANDINGS: FLAT FINISH. STEEL STRINGERS, RAILINGS AND OTHER EXPOSED STEEL: GLOSS FINISH.
- E. EXPOSED STEEL: GLOSS FINISH.
- F. STEEL DOORS AND FRAMES: SEMI-GLOSS UNLESS OTHERWISE INDICATED.
- EXTERIOR PAINTING:
 A. METAL FLASHING: COLOR TO MATCH ADJACENT SURFACE
- B. EXPOSED FERROUS METAL (INCLUDING LINTELS): MATCH ADJACENT BRICK, PRECAST CONCRETE, OR ROOF AS APPLICABLE.
- 12. TELEPHONE AND ELECTRICAL ROOMS: PROVIDE 3/4 INCH FIRE TREATED PLYWOOD BOARDS
- 13. PROVIDE FIRESTOPPING AND DRAFTSTOPPING AS INDICATED ON DRAWINGS, SPECIFIED, AND AS REQUIRED BY APPLICABLE CODES AND REGULATIONS.
- 14. PROVIDE FIRESTOPPING AS INDICATED ON DRAWINGS, SPECIFIED, AND AS REQUIRED BY APPLICABLE CODES AND REGULATIONS.
- 15. EXTERIOR WOOD: PRESERVATIVE TREATED.
- 16. PROVIDE ONE U.S. POSTAL SERVICE APPROVED MAILBOX FOR EACH APARTMENT AT LOCATION INDICATED ON PLANS. PROVIDE DIRECTORIES AS REQUIRED BY U.S. POSTAL SERVICE.
- 17. EXPOSED CONCRETE FLOOR FINISH AT EXTERIOR LOCATIONS: NON-SLIP BROOM FINISH UNLESS OTHERWISE INDICATED.

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STRUCTURAL ENGINEER STRUCTURA, INC. 000.000.0000

LOCK7 DEVELOPMENT

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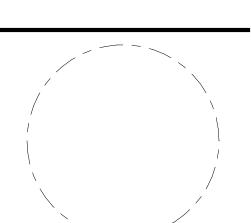
Key Plan



DATE

Issue NO.

Revisions



Abbreviations, Graphic Symbols & General Notes

2

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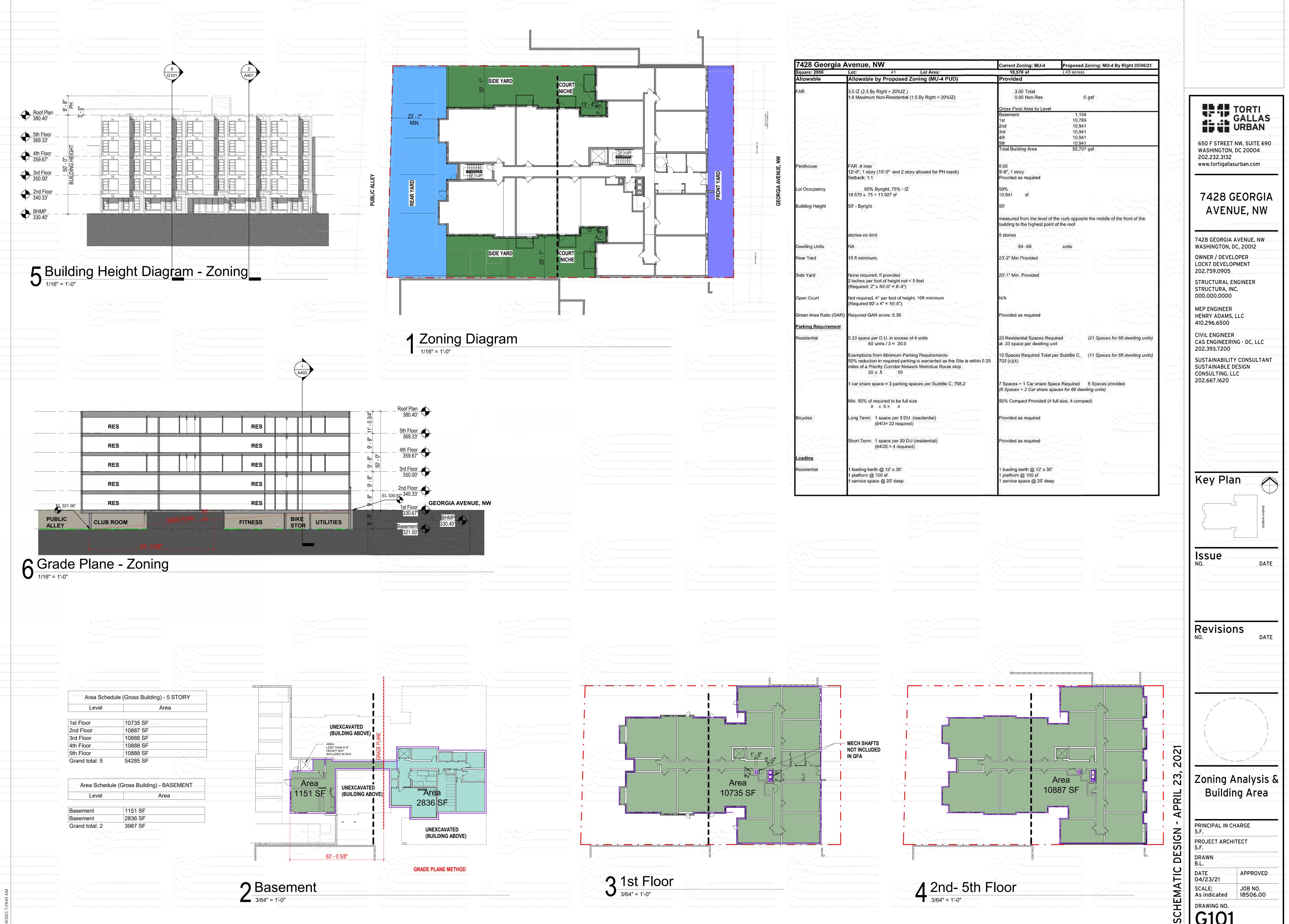
PROJECT ARCHITECT
S.F.

DRAWN
B.L.

DATE
04/23/21

SCALE:
1/4" = 1'-0"
18506.00

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DATE

PRINCIPAL IN CHARGE S.F. DATE 04/23/21 SCALE: As indicated APPROVED JOB NO. 18506.00

G101

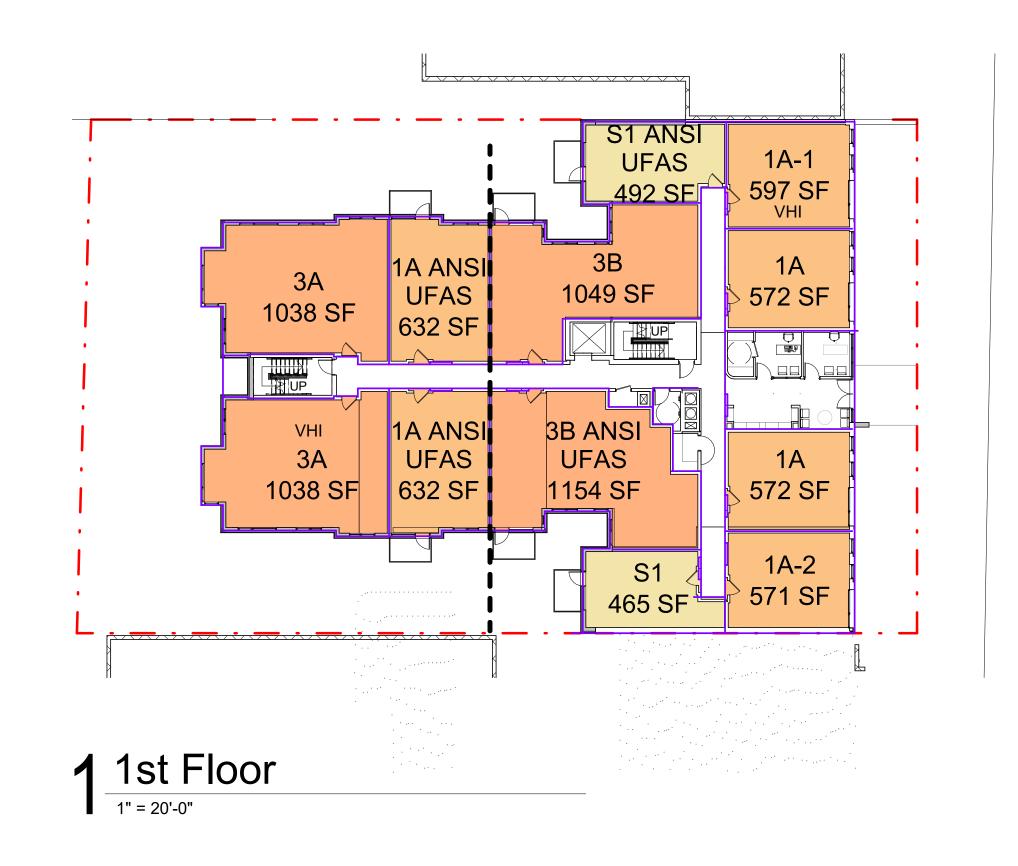
7428 GEORGIA AVENUE UNIT MIX

	STUDIO						
	S1 ANSI	S1 ANSI UFAS	S1				
Avg Unit NSF*	491	492	453	Sub-total			
of Bathrooms	1	1	1				
NSI Type A or B	Α	Α	В				
st Floor Ind Floor Ird Floor	0 1	1 0 0	1	2 2 2			
th Floor th Floor	1	0	1	2 2 2			
otal	4	1	5	10			
ISF by Unit Type	1,963	492	2,263	4,718			
Init Mix %				15.6%			
NSI Unit Mix %				50.0%			
FAS Unit Mix %				10%			
HI Unit Mix %							

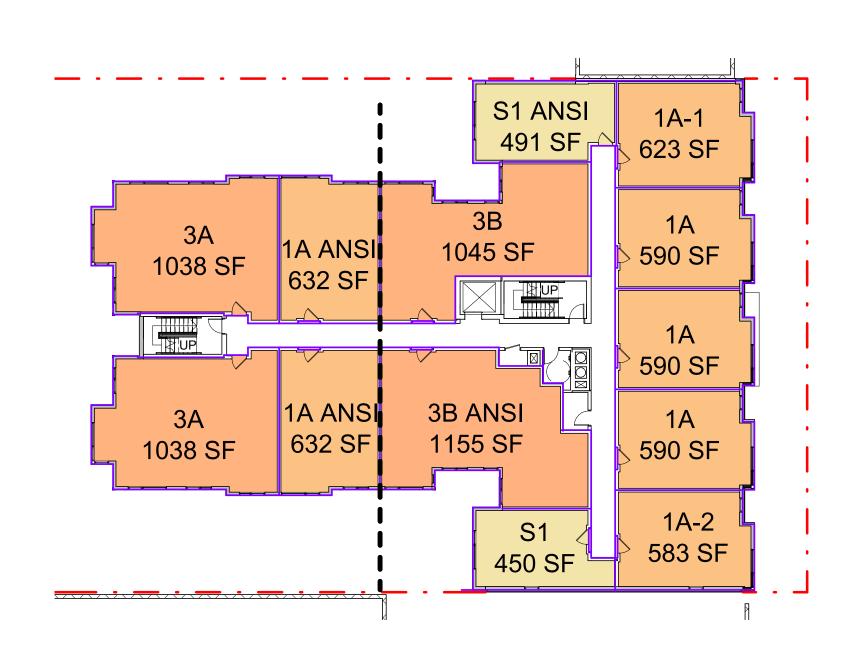
		DROOM	1 BEI		
	1A ANSI UFAS	1A ANSI	1A-2	1A-1	1A
Sub-total	633	632	581	617	588
	1	1	1	1	1
, ere	Α	Α	В	В	В
6 7 7 7 7	1 1 0 0 0	1 1 2 2 2	1 1 1	mand much much much	2 3 3 3 3
34	2	8	5	5	14
20,542	1,265	5,059	2,905	3,087	8,226
53.1%					
29.4%					
5.9%					

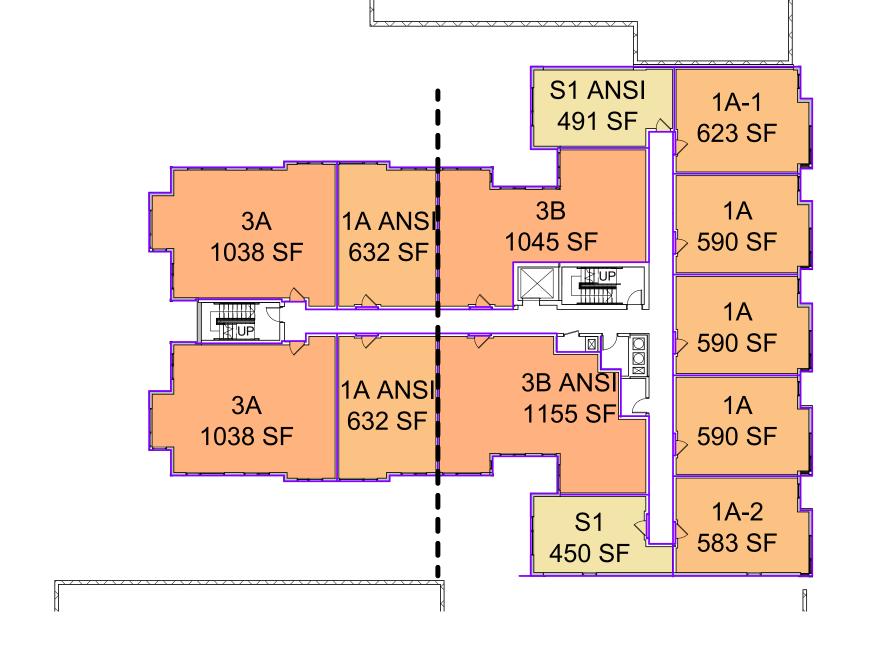
		3	BEDROOM			TOTAL	
	3A	3B	3B ANSI	3B ANSI UFAS			
	1038	1046	1155	1154	Sub-total	Total	• • •
	2	2	2	2			· .
	В	В	Α	Α	· .		· .
	2	1	0	1	4	12	• •
	2	1	1	0	4	13	· .
	2 2	1	1	0	4	13	* . * .
	2	1	1	0	4	13 13	
	10	5	4	1	20	64	
	10,381	5,230	4,618	1,154	21,383	46,643	
					31.3%		· .
					25.0%	31.3%	
					5.0%	6.3%	
- :						3.1%	
					1,069	729	

^{*} measured from centerlines of demising walls and exterior face of corridor side of corridor wall to exterior face of exterior wall. Areas shown are average for that type.



Avg Unit NSF*

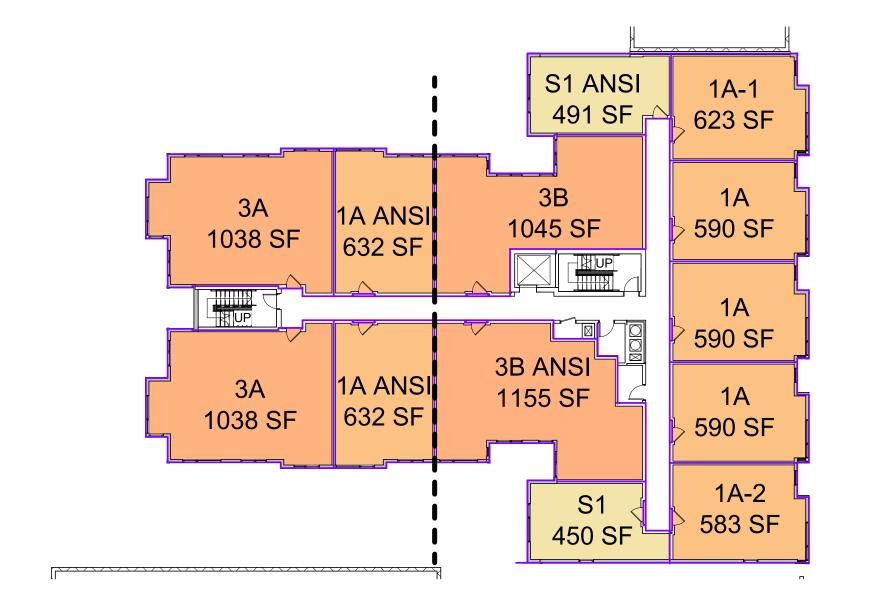


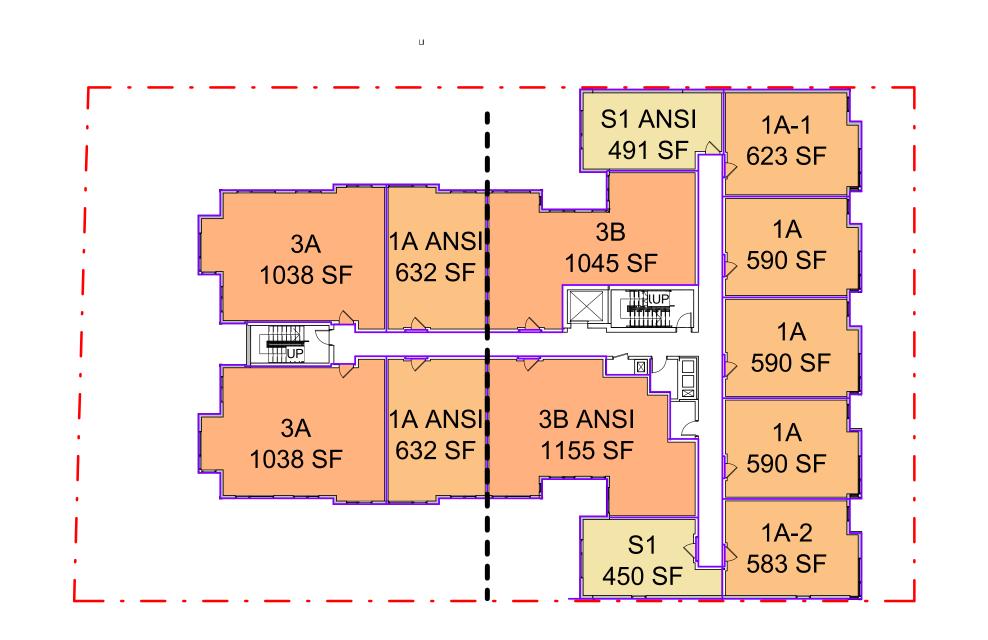


2nd Floor

1" = 20'-0"

3 3rd Floor





4th Floor
1" = 20'-0"

5 5th Floor
1" = 20'-0"

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Key Plan

Issue NO.

Revisions

Unit Mix

APRIL PRINCIPAL IN CHARGE S.F. DESIGN PROJECT ARCHITECT SCHEMATIC DATE 04/23/21

23,

SCALE: 1" = 20'-0" JOB NO. 18506.00 DRAWING NO.

THE NEW CONSTRUCTION PROJECT CONSISTS OF

A FIVE (5) STORY ABOVE GRADE LEVEL, TYPE 3A RESIDENTIAL STRUCTURE WITH ONE (1) STORY BELOW GRADE LEVEL (BASEMENT) IN 3A CONSTRUCTION, WITH BUSINESS & ASSEMBLY AREAS ON THE BASEMENT & 1ST FLOOR OF THE RESIDENTIAL STRUCTURE AND ON-SITE PARKING.

7428 GEORGIA AVENUE, NW, WASHINGTON, DC 20012

OWNER/DEVELOPER: LOCK7 DEVELOPMENT ARCHITECT: TORTI GALLAS URBAN, INC

APPLICABLE CODES:

- 2017 TITLE 12 DCMR CONSTRUCTION CODES SUPPLEMENT - 2017 DCMR 12A BUILDING CODE & 2015 IBC/INTERNATIONAL BUILDING CODE W/ AMENDMENTS

- 2017 DC ELECTRICAL CODE & 2014 NEC/NATIONAL ELECTRICAL CODE - 2017 DC FUEL GAS CODE & 2015 INTERNATIONAL FUEL GAS CODE/IFGS - 2017 DC MECHANICAL CODE & 2015 INTERNATIONAL MECHANICAL CODE/IMC

- 2017 DC PLUMBING CODE & 2015 INTERNATIONAL PLUMBING CODE/IPC - 2017 DCMR 12H FIRE CODE & 2015 INTERNATIONAL FIRE CODE/IFC W/ AMENDMENTS

- NATIONAL FIRE ALARM CODE. NFPA 72

- STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, NFPA 13 - 2017 DC ENERGY CONSERVATION CODE & 2015 INTERNATIONAL ENERGY CONSERVATION CODE

- ANSI/ASHRAE/IES STANDARD 90.1-2013

- 2009 ICC/ANSI A117.1

- FAIR HOUSING GUIDELINES (RESIDENTIAL BUILDING AND THEIR AMENITIES) - ADAAG - AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES

- UFAS (UNIFORM FEDERAL ACCESSIBILITY STANDARD)

- ASME A17.1 - 2010 ELEVATOR CODE - DCMR TITLE 11 ZONING REGULATIONS

FOR GREEN COMPLIANCE, SEE NOTE AT FAR RIGHT

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

SEPARATED MIXED-USE OCCUPANCIES (NON-INCIDENTAL) GROUP R-2 RESIDENTIAL = PRIMARY / MAIN USE GROUP GROUP A-3 AMENITY (BASEMENT = AMENITY AREAS) GROUP B BUSINESS (1ST FLOOR = MANAGEMENT OFFICE) ON SITE PARKING

SECTION 303.1.2 - SMALL ASSEMBLY SPACES

THE FOLLOWING SPACES SHALL NOT BE CLASSIFIED AS ASSEMBLY OCCUPANCIES: 1. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS GROUP B.

2. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQ FT AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS GROUP B.

<u>CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY</u>

SECTION 420 - GROUP R-2 - AUTOMATIC SPRINKLER SYSTEM, FIRE ALARMS, & SMOKE ALARMS PROVIDED.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS (SEE SHEET G105 FOR ADDITIONAL INFORMATION)

TABLES 504.3, 504.4, 506.2 - ALLOWABLE BUILDING HEIGHTS AND AREAS

BUILDING	GROUP	TYPE OF CONST	SPRINKLER SYSTEM	BLDG HEIGHT ALLOWED W/ INCREASE**	BLDG HEIGHT PROVIDED	# STORIES ALLOWED	BLDG # STORIES PROVIDED	AREA ALLOWED W/ INCREASE***	BLDG AREA/FI PROVIDED (SF)
LOWER LEVEL (BASEMENT)****	R-2	IIIA	NFPA 13	-	9'- 8"	-	1	72,000	3,655
	B* (CLUB RM)	IIIA	NFPA 13	85'	9'-8"	-	1	85,500	485
1ST - 5TH FLOORS	B* (OFFICE)	IIIA	NFPA 13	85'	9'-8"	5	1	85,500	250
	R-2	IIIA	NFPA 13	85'	52'-5 1/2"	5	5	PER STORY - 72,000	10,947
		1117 (00	02 0 IIZ		v	TOTAL - 288,800	54,735

* Amenity space that clasify as B per Section 303.1.2

** Bldg equipped throughout w/ authomatic sprinkler system per Section 903.3.1.1. *** Bldg w/ more of two stories above grade level and equipped throughout w/ authomatic sprinkler system per Section 903.3.1.1.

****Average Grade is equal or less that 6'-0" to 1st floor.

SECTION 506.2.3 - ALLOWABLE AREA DETERMINATION - SINGLE OCCUPANCY, MULTISTORY BLDG

- SEE AREA MODIFICATIONS ON SHEET G105 **SECTION 506.3 - FRONTAGE INCREASE** - NOT APPLIED

SECTION 507.1.1 - UNLIMITED AREA BLDGS - ACCESSORY OCCUPANCIES SHALL BE PERMITTED.

SECTION 508 - MIXED USE AND OCCUPANCY SECTION 508.2 - ACCESSORY OCCUPANCIES

SECTION 508.2.3 AREA LIMITATIONS: ACCESSORY OCCUPANCIES ARE <10% OF THE BUILDING AREA OF THE STORY IN WHICH THEY ARE

SECTION 508.3 - NON SEPARATED OCCUPANCIES NO SEPARATION REQUIRED BETWEEN OCCUPANCIES

SECTION 509 - TABLE 509 INCIDENTAL USES

ROOM/AREA	SEPARATION REQ.
WASTE COLLECTION > 100 SQ FT	1 HR OR SPRINKLERED
STORAGE ROOM > 100 SQ FT	1 HR

CHAPTER 6 - TYPES OF CONSTRUCTION

TABLE 601- FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

DUIL DING ELEMENT	FIRE-RESISTANCE RATING (HOUR)
BUILDING ELEMENT	CONSTRUCTION TYPE IIIA (LOWER LEVEL, 1ST-5TH FLOORS)
PRIMARY STRUCTURAL FRAME	1
BEARING WALLS - EXTERIOR e,f	2
BEARING WALLS - INTERIOR	1
NONBEARING WALLS AND PARTITIONS - EXTERIOR	See Table 602
NONBEARING WALLS AND PARTITIONS - INTERIOR	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1
SHAFTS & ELEVATOR HOISTWAYS	2

a - ROOF SUPPORTS: FIRE RESISTANCE RATINGS OF PRIMARY STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO

BE REDUCED BY ONE HOUR WHERE SUPPORTING A ROOF ONLY.

e - NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON FIRE SEPARATION DISTANCE, TABLE 602. f - NOT LESS THAN THE FIRE-RESISTANCE RATING BASED AS REFERENCED IN SECTION 704.10.

TABLE 602 - FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE = X (FEET)	TYPE OF CONSTRUCTION IIIA	OCCUPANCY GROUPS A, B, R-2	OCCUPANCY GROUP M
X < 5		1	2
5 <u><</u> X < 10		1	2
10 ≤ X < 30		1	1
X > 30		0	0

FSD - FIRE SEPARATION DISTANCE (X)

CHAPTER 7- FIRE AND SMOKE PROTECTION FEATURES

SECTION 703 - FIRE-RESISTANCE RATINGS AND FIRE TESTS

SECTION 703.7 – MARKING AND IDENTIFICATION

FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL

1. BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES:

2. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION; AND

3. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER—PROTECT ALL OPENINGS" OR OTHER WORDING. SECTION 704.1 - FIRE RESISTANCE RATING OF STRUCTURAL MEMBERS (FOR FIRE RATING SEE TABLE 601)

SECTION 704.2 - INDIVIDUAL ENCASEMENT FOR COLUMNS REQUIRED TO BE FIRE-RATED. SECTION 704.3 - INDIVIDUAL ENCASEMENT FOR PRIMARY STRUCTURAL MEMBERS THAT SUPPORT MORE THAN TWO FLOORS, OR ONE FLOOR AND ONE ROOF.

SECTION 705 - EXTERIOR WALLS - SEE TABLES 601 & 602 FOR FIRE RATINGS.

SECTION 705.2 - PROJECTIONS - SEE TABLE 601 & 602 FOR FIRE RATINGS SECTION 705.8 - OPENINGS, IN EXTERIOR WALLS PER TABLE 705.8 (SEE SHEET G105

SECTION 712 VERTICAL OPENINGS SECTION 712.1.2 - INDIVIDUAL DWELLING UNIT - UNCONCEALED VERTICAL OPENINGS TOTALLY WITHIN AN INDIVIDUAL DWELLING UNIT AND CONNECTION FOUR STORIES OR LESS SHALL BE PERMITTED.

SECTION 713 - SHAFT ENCLOSURES SECTION 713.13 - WASTE CHUTE ROOMS

SECTION 713.14 - ELEVATOR ENCLOSURE - CONSTRUCTED IN ACCORDANCE WITH SECTION 713 AND CHAPTER 30.

SECTION 714 - PENETRATIONS

PENETRATIONS IN FIRE-RESISTANCE RATED CONSTRUCTION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 714, AND ALSO ANY ADDTIIONAL CRITERIA FOR THE TYPE OF ASSEMBLY BEING PENETRATED. **SECTION 716 - OPENING PROTECTIVES**

OPENING PROTECTIVES IN FIRE-RESISTANCE RATED CONSTRUCTION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716, AND ALSO ANY ADDTIIONAL CRITERIA FOR THE TYPE OF ASSEMBLY CONTAINING THE OPENING.

SECTION 716.5.9.3 - SMOKE-ACTIVATED DOORS SECTION 717 - DUCTS AND AIR TRANSFER OPENINGS

SECTION 717.5.2 - FIRE BARRIERS SECTION 717.5.3 - SHAFT ENCLOSURES **SECTION 717.5.4 - FIRE PARTITIONS**

SECTION 718 - CONCEALED SPACES

SECTION 718.3.2 - DRAFTSTOPPING EXCEPTION 2: NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

TABLE FOR FIRE RATING OF FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS & OPENING PROTECTIVE

CODE SECTION	WALL TYPE	FIRE RATING SECTION	FIRE RATING REQUIRED AND PROVIDED	FIRE WINDOW ASSEMBLY FIRE PROTECTION RATINGS TABLE 716.6
707	FIRE BARRIERS			
707.3.1	SHAFT ENCLOSURES (& ELEVATOR MACHINE ROOMS)	713.4 (3006.4)	2 HR	90 MIN
707.3.2	INTERIOR EXIT STAIRWAY & RAMP CONSTRUCTION	1022.1	2 HR	90 MIN
707.3.3	ENCLOSURES FOR EXIT ACCESS STAIRWAYS	1009.3.1.2	2 HR	90 MIN
707.3.4	EXIT PASSAGEWAY	1023.3	2 HR	90 MIN
707.3.7	INCIDENTAL USES (FIRE PUMP ROOM, GENERATOR ROOM)	TABLE 509	2 HR	90 MIN
707.3.9	SEPERATED OCCUPANCIES	508.4	RATING STATED IN CHAPTER 5	
708	FIRE PARTITIONS			
708.3	WALLS SEPARATING DWELLING UNITS	903.3.1.1	1 HR	N/A
708.3	CORRIDOR WALLS	1018.1	1/2 HR (1HR PROVIDED)	20 MIN
712	VERTICAL OPENINGS			
713	SHAFT ENCLOSURES			
713.4	FIRE-RESISTANCE RATING	703.2.1	2 HR	90 MIN
713.13.3	REFUSE, RECYCLING & LAUNDRY CHUTE ACCESS ROOMS	713.13.3	1 HR	45 MIN
713.13.4	REFUSE, RECYCLING & LAUNDRY CHUTE DISCHARGE/COLLECTION ROOMS	713.13.4	2 HR	90 MIN

TABLE 716.5 OPENING FIRE PROTECTION ASSEMBLIES, RATINGS AND MARKINGS

FIRE DOOR LOCATION	ASSEMBLY RATING (HOURS)	MINIMUM FIRE DOOR RATING (HOURS)
SHAFT, EXIT ENCLOSURES, AND EXIT PASSAGEWAYS	2	1 1/2
FIRE WALLS AND FIRE BARRIERS W/ FIRE-RESISTANCE RATING > 1 HR	3	3
FIRE BARRIERS W/ REQUIRED FIRE-RESISTANE RATING = 1 HR (SHAFT ENCLOSURES, EXIT ACCESS STAIRWAYS AND RAMPS, INTERIOR EXIT STAIRWAYS AND RAMPS, EXIT PASSAGEWAY WALLS	1	1
OTHER FIRE BARRIERS	1	3/4
CORRIDOR WALLS	1/2	1/3
OTHER FIRE PARTITION (APARTMENT DEMISING WALLS)	1	3/4

CHAPTER 8 – INTERIOR FINISHES

TABLE 803.11 – INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

SPRINKLERED BUILDING							
GROUP	INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	ROOMS AND ENCLOSED SPACES				
A-3	В	В	С				
В	В	С	С				
R-2	С	С	С				

SECTION 804 – INTERIOR FLOOR FINISH SECTION 804.2 - CLASSIFICATION

INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL NOT BE LESS THAN CLASS II IN ACCORDANCE WITH NFPA 253.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS

SECTION 903.3.1.1: NFPA 13 SPRINKLER SYSTEMS (PROVIDED)

SECTION 905 – STANDPIPE SYSTEMS HYDRAULICALLY CALCULATED CLASS I AUTOMATIC STANDPIPE SYSTEM PROVIDED IN ACCORDANCE WITH IFC, DCMR, AND NFPA 14.

SECTION 906 - PORTABLE FIRE EXTINGUISHERS (SEE SHEET GXXXX) REQUIRED AND PROVIDED IN ACCORDANCE WITH IFC 906 AND NFPA 10.

SECTION 907 - FIRE ALARM AND DETECTION SYSTEMS

FIRE ALARM SYSTEM AND SMOKE ALARMS REQUIRED AND PROVIDED IN ACCORDANCE WITH SECTION 907 AND NFPA 72. AUDIBLE ALARM NOTIFICATION REQUIRED THROUGHOUT RESIDENTIAL AREAS, AND VISIBLE ALARM NOTIFICATION APPLIANCES SHALL BE PROVIDED AT ALL PUBLIC AND COMMON AREAS.

SECTION 911 - FIRE COMMAND CENTER (NOT REQUIRED - BUILDING IS NOT A HIGH RISE.)

SECTION 912 - FIRE DEPARTMENT CONNECTIONS

(NO LONGER REQUIRED PER DCRA AMMENDMENT).

FIRE DEPARTMENT CONNECTIONS TO BE LOCATED IN ACCORDANCE WITH SECTION 912 **SECTION 912.5 - SIGNS -** REQUIRED IN ACCORDANCE WITH CRITERIA LISTED.

SECTION 913 - FIRE PUMPS

SECTION 913.1 - FIRE PUMPS TO BE INSTALLED IN ACCORDANCE WITH NFPA 20. SECTION 913.2.1 - PROTECTION OF FIRE PUMP ROOMS FIRE PUMPS SHALL BE LOCATED IN ROOMS THAT ARE SEPARATED FROM ALL OTHER AREAS OF THE BUILDING BY 2-HOUR FIRE BARRIERS 2-HOUR PASSAGEWAY FROM THE STAIR PROVIDED PER NFPA 20 SINCE DIRECT ACCESS TO THE EXTERIOR IS NOT PROVIDED (NFPA 20 4.12.2.1.1). CHAPTER 10 - MEANS OF EGRESS (SEE SHEET GXXX FOR MORE INFORMATION)

SECTION 1003 - GENERAL MEANS OF EGRESS

SECTION 1003.2 - CEILING HEIGHT

MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'. EXCEPTION 2: CEILINGS OF DWELLING UNITS WITHIN RESIDENTIAL OCCUPANCIES IN ACCORDANCE WITH SECTION 1208.2. EXCEPTION 4: STAIR HEADROOM SHALL BE NOT LESS THAN 80" IN ACCORDANCE WITH SECTION 1011.3.

SECTION 1004 - OCCUPANT LOAD

PROVIDED PER TABLE 1004.1.2 - SEE SHEET GXXX FOR OCCUPANCY LOADS AND EGRESS DIAGRAMS.

TABLE 1004.1.2 - MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOMS	300 GROSS
ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS)	15 NET
BUSINESS AREAS	100 GROSS
EXERCISE ROOMS	50 GROSS
RESIDENTIAL	200 GROSS

SECTION 1004.3 – POSTING OF OCCUPANT LOAD EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED

IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.

SECTION 1005 - MEANS OF EGRESS SIZING SECTION 1005.3 - REQUIRED CAPACITY BASED ON OCCUPANT LOAD SECTION 1005.3.1 - STAIRWAYS

EXCEPTION: MEANS OF EGRESS STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD BY A FACTOR OF 0.20" PER OCCUPANT IN SPRINKLERED BUILDINGS.

SECTION 1005.3.2 - OTHER EGRESS COMPONENTS - 0.15" PER OCCUPANT (EXCEPTION FOR SPRINKLERED BUILDINGS) SECTION 1005.5 - DISTRIBUTION OF EGRESS CAPACITY

WHERE MORE THAN ONE EXIT, OR ACCESS TO MORE THAN ONE EXIT, IS REQUIRED, THE MEANS OF EGRESS SHALL BE CONFIGURED SUCH THAT THE LOSS OF ANY ONE EXIT, OR ACCESS TO ONE EXIT, SHALL NOT REDUCE THE AVAILABLE CAPACTLY TO LESS THAN 50 PERCENT OF THE REQUIRED CAPACITY.

SECTION 1006 - NUMBER OF EXITS AND EXIT ACCESS DOORWAYS SECTION 1006.2.1 - ACCESSIBLE MEANS OF EGRESS REQUIRED - TWO (2) MEANS OF EGRESS REQUIRED WHERE VALUES IN TABLE EXCEEDED.

SECTION 1006.2.1.1 - THREE EXITS OR EXIT ACCESS DOORWAYS SHALL BE PROVIDED FROM ANY SPACE WITH AN OCCUPANT LOAD OF 501 -

TARLE 1006 2.1 SPACES WITH ONE EVIT OR EVIT ACCESS DOODWAY

ABLE 1006.2.1 - SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY							
OCCUPANCY	MAXIMUM OCCUPANT LOAD	MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE WITH SPRINKLER SYSTEM (FEET)					
В	49	100					
R-2	10	125					
А	49	75					

SECTION 1007 - EXIT AND EXIT ACCESS DOORWAY CONFIGURATION SECTION 1007.1.1 - TWO EXITS OR EXIT ACCESS DOORWAYS

EXCEPTION 2: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-FOURTH OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

SECTION 1008 - MEANS OF EGRESS ILLUMINATION (SEE ELECTRICAL DRAWINGS) SECTION 1009 - ACCESSIBLE MEANS OF EGRESS

SECTION 1009.2.1: ELEVATORS REQUIRED - ELEVATORS PROVIDED, NOT REQUIRED AS ACCESSIBLE MEANS OF EGRESS SINCE BUILDING IS NOT 4 OR MORE STORIES ABOVE THE LEVEL OF EXIT DISCHARGE. SECTION 1009.3 - STAIRWAYS - STAIRS PROVIDED AS ACCESSIBLE MEANS OF EGRESS.

EXCEPTION 2: AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT BY AN AUTOMATIC SPRINKLER

SECTION 1009.8 - TWO-WAY COMMUNICATION - PROVIDED AT ELEVATOR LOBBIES.

SECTION 1011 - STAIRWAYS

SECTION 1011.12 - STAIRWAY TO ROOF - ONE (1) STAIRWAY PROVIDED SECTION 1011.12.2 - ROOF ACCESS - ACCESS TO ROOF PROVIDED THROUGH A PENTHOUSE STAIRWAY AT LOWER ROOF AND A ROOF HATCH ON UPPER ROOF.

SECTIONS 1010, 1011, 1012, 1014, 1015

FOR DOORS, GATES, TURNSTILES, STAIRWAYS, RAMPS, HANDRAILS AND GUARDS REQUIREMENTS, SEE DOOR SCHEDULE SHEETS, STAIR SECTION 1013 - EXIT SIGNS - EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

SECTION 1016 - EXIT ACCESS

SECTION 1016.2 - EGRESS THROUGH INTERVENING SPACES EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS AND THE AREA SERVED ARE ACCESSORY TO ONE OR THE OTHER, ARE NOT A GROUP H OCCUPANCY, AND PROVIDE A DISCERNABLE PATH OF EGRESS TRAVEL TO AN EXIT. EXIT ACCESS MUST NOT PASS THROUGH A ROOM THAT CAN BE LOCKED TO PREVENT EGRESS, NOR IS IT PERMITTED TO PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS, OR SPACES USED FOR SIMILAR

SECTION 1017 - EXIT ACCESS TRAVEL DISTANCE

TABLES 1017.2 - EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	COMMON PATH OF EGRESS TRAVEL (FT) (TABLE 1014.3)	EXIT ACCESS TRAVEL DISTANCE (FT) (TABLE 1016.2)	DEAD END PERMITTED (FT) (SECTION 1018.4)
Α	75	250	20' MAX
R	125	250	50' MAX
В	100	300	50' MAX

SECTION 1020 - CORRIDORS

TABLE 1020.1 - CORRIDOR FIRE-RESISTANCE RATING

	THE TEORITAINSE ITATING	
OCCUPANCY	OCCUPANT LOAD SERVED BY CORRIDOR	REQUIRED FIRE RESISTANCE RATING W/ SPRINKLER SYSTEM (HOURS)
A, B	> 30	0
R	> 10	0.5 (1 PROVIDED)

SECTION 1020.2 - WIDTH

TABLE 1020.2 - MINIMUM CORRIDOR WIDTH

OCCUPANCY	WIDTH (MINIMUM)
A, B, R	44"
ACCESS TO AND UTILIZATION OF MECHANICAL, PLUMBING, OR ELECTRIC SYSTEMNS OR EQUIPMENT	24"
WITH A REQUIRED OCCUPANCY CAPACITY LESS THAN 50	36"
WITHIN A DWELLING UNIT	36"

SECTION 1020.4 - DEAD ENDS - WHERE MORE THAN ONE EXIT OR EXIT ACCESS IS REQUIRED, THE EXIT ACCESS SHALL BE ARRANGED SUCH THAT THERE ARE NO DEAD ENDS IN CORRIDORS MORE THAN 20 FEET IN LENGTH. EXCEPTION 2: IN OCCUPANCIES IN GROUP B. R-2. M AND S. WHERE THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, THE LENGTH OF THE DEAD-END CORRIDORS SHALL NOT EXCEED 50 FEET. EXCEPTION 3: A DEAD END CORRIDOR SHALL NOT BE LIMITED IN LENGTH WHERE THE LENGTH OF THE CORRIDOR IS LESS

THAN 2.5X THE WIDTH OF THE CORRIDOR. **SECTION 1020.5 - AIR MOVEMENT IN CORRIDORS - SEE MECHANICAL DRAWINGS.**

SECTION 1028 - EXIT DISCHARGE

SECTION 1028.1 - GENERAL - EXITS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR OF THE BUILDING AT GRADE OR SHALL PROVIDE DIRECT ACCESS TO GRADE. THE EXIT DISCHARGE SHALL NOT REENTER A BUILDING. EXCEPTION 1: A MAXIMUM OF 50 PERCENT OF THE NUMBER AND CAPACITY OF INTERIOR EXIT STAIRWAYS AND RAMPS IS PERMITTED TO EGRESS THROUGH AREAS ON THE LEVEL OF EXIT DISCHARGE.

SECTION 1021 – NUMBER OF EXITS AND EXIT CONFIGURATION (SEE SHEET X FOR ADDITIONAL INFORMATION)

CHAPTER 11 - ACCESSIBILITY

SECTION 1105 - ACCESSIBLE ENTRANCES

SECTION 1105.1 - PUBLIC ENTRANCES AT LEAST 60 PERCENT OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE. TWO (2) ACCESSIBLE RESIDENTIAL ENTRANCES PROVIDED.

SECTION 1106 – PARKING AND PASSENGER LOADING FACILITIES

SEE SHEET X FOR PARKING DIAGRAMS AND TABULATIONS. TABLE 1106.1 - ACCESSIBLE PARKING SPACES

SECTION 1106.2 - IN GROUP R-2 OCCUPANCIES, AT LEAST 2% BUT NOT LESS THAN ONE OF EACH TYPE OF PARKING SPACE PROVIDED SHALL BE ACCESSIBLE.

SECTION 1106.5 - VAN SPACES FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE.

ACCESSIBLE PARKING CALCULATION: 2 ACCESSIBLE SPACES ARE PROVIDED. 2 OF THESE 2 ARE VAN-ACCESSIBLE. REFER TO SHEET X-PER SHEET 101 – ZONING ANALYSIS, 8 PARKING SPACES ARE ALLOCATED TO RESIDENTIAL (R-2) USE. THEREFORE, 1106.2 APPLIES. 2% OF 8

SPACES YIELDS 1 SPACE (AFTER ROUNDING UP). 1 ACCESSIBLE SPACE, WHICH IS VAN-ACCESSIBLE IS INCLUDED. (1 ACCESSIBLE VAN

SECTION 1107 - DWELLING UNITS AND SLEEPING UNITS SEE SHEET G103 FOR UNIT TABULATIONS AND MORE INFORMATION.

SECTION 1107.6.2.2.1 - TYPE A UNITS

IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 10 DWELLING UNITS OR SLEEPING UNITS, AT LEAST 15 PERCENT OF THE UNITS SHALL BE TYPE A UNITS, AND AT LEAST 1 PERCENT OF THE TYPE A UNITS, BUT NOT LESS THAN ONE OF THE TYPE A UNITS, SHALL BE SERVED BY A ROLL-IN SHOWER THAT INCLUDES A PERMANENTLY MOUNTED FOLDING SHOWER SEAT. ALL GROUP R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE A UNITS. TYPE A UNITS SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OF UNITS. 31.0% TYPE A UNITS PROVIDED.

SECTION 1111 - SIGNAGE SECTION 1111.1 - SIGNS

REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PER THIS SECTION. SEE OWNER'S SIGNAGE CONSULTANT DRAWINGS.

CHAPTER 12- INTERIOR ENVIRONMENT

SECTION 1203.5 - NATURAL VENTILATION SECTION 1203.5.1 VENTILATION AREA REQUIRED, OPENABLE AREA SHALL NOT BE LESS THAN 4% OF THE FLOOR AREA

SECTION 1206 – YARDS OR COURTS COURTYARD PROVIDED AT 1ST FLOOR.

SECTION 1207 - SOUND TRANSMISSION

SECTION 1207.2 - INTERIOR SOUND SEE SHEET A701 FOR STC PROVIDED IN WALLS AND PARTITIONS. SEE SHEET A702 FOR STC PROVIDED IN FLOOR / CEILING ASSEMBLIES. SECTION 1207.3 - STRUCTURE-BORNE SOUND

SEE SHEET A702 IIC PROVIDED IN FLOOR/CEILING ASSEMBLIES.

CHAPTER 13- ENERGY EFFICIENCY

2017 DC ENERGY CONSERVATION CODE THIS PROJECT IS REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE 2017 DC ENERGY CODE. THE PROJECT WILL BE PURSUING COMPLIANCE USING THE PRESCRIPTIVE PATH (ENERGY) MODEL

CHAPTER 29- PLUMBING SYSTEMS

TABLE 2902.1 – MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

LOCATION	# OF OCC	WATER CLOSETS / WC			LAVATORIES			DRINKING FOUNTAINS		SERVICE SINKS		
BASEMENT	000	MALE		FEMALE		MALE		FEMALE		1 001	NIAINS	SINNS
D/ (QLIIILIY)		RATIO	#	RATIO	#	RATIO	#	RATIO	#	RATIO	#	#
A-3 TOTAL CLUB RM	45 32	1 per 125	0.18	1 per 65	.35	1 per 200	0.11	1 per 200	0.11	1 per 500	0.11	1
FITNESS	13											
B - TOTAL OFFICE (1ST FLOOR)	4	1 per 25 for the first 50; 1 per 50 for the remainder > 50	0.08	1 per 25 for the first 50; 1 per 50 for the remainder > 50	0.08	1 per 40 for the first 80; 1 per 80 for the remainder > 80	0.10	1 per 40 for the first 80; 1 per 80 for the remainder > 80	0.10	1 per 100	0.04	1
TOTAL REQUIRED		1		1		1		1		1	1	
TOTAL PROVIDE	D		1*		1		1		1		1	1

* SECTION 2903.3.2 LOCATION OF TOILET FACILITIES ON OCCUPANCES OTHER THAN MALLS

REQUIRED TOILET FACILITIES LOCATED ONE STORY BELOW THE SPACE REQUIRED AND WITHIN 500' TRAVEL DISTANCE

CHAPTER 30 - ELEVATORS AND CONVEYING SYSTEMS

SECTION 3002 - HOISTWAY ENCLOSURES

ARRANGEMENT TO ACCOMMODATE AN AMBULANCE STRETCHER.

ELEVATOR 2 SERVICE PROVIDED TO ACCOMMODATE STRETCHER.

SECTION 3002.4 - ELEVATOR CAR TO ACCOMODATE AMBULANCE STRETCHER WHERE ELEVATORS ARE PROVIDED IN BUILDINGS FOUR OR MORE STORIES ABOVE GRADE PLANE, AT LEAST ONE ELEVATOR SHALL BE PROVIDED FOR FIRE DEPARTMENT EMERGENCY ACCESS TO ALL FLOORS. THE ELEVATOR CAR SHALL BE OF SUCH A SIZE AND

GREEN COMPLIANCE

ENTERPRISE GREEN COMMUNITIES (EGC) 2020 CRITERIA

THE PROJECT IS REQUIRED TO COMPLY WITH 2006 GREEN BUILDING ACT AND 2017 DC GREEN CONSTRUCTION CODE. THE PROJECT WILL PURSUE CERTIFICATION UNDER THE ENTERPRISE GREEN COMMUNITIES 2020 CRITERIA FOR RESIDENTIAL PROJECTS RECEIVING PUBLIC

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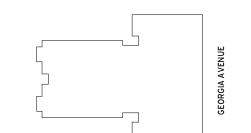
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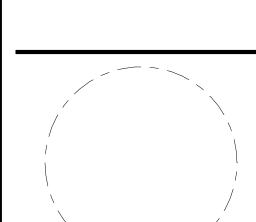
Key Plan

Issue



DATE

Revisions



Code Analysis

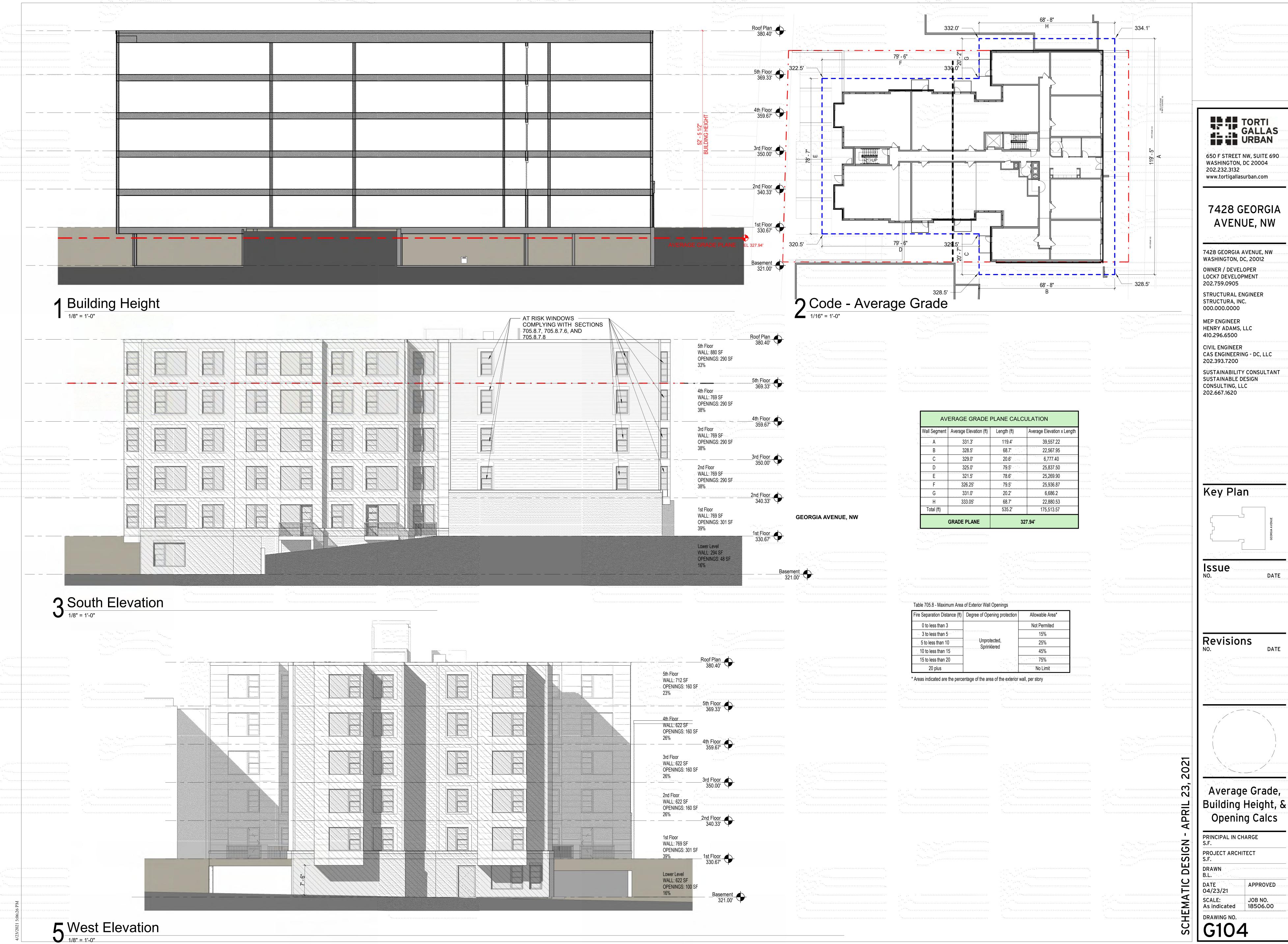
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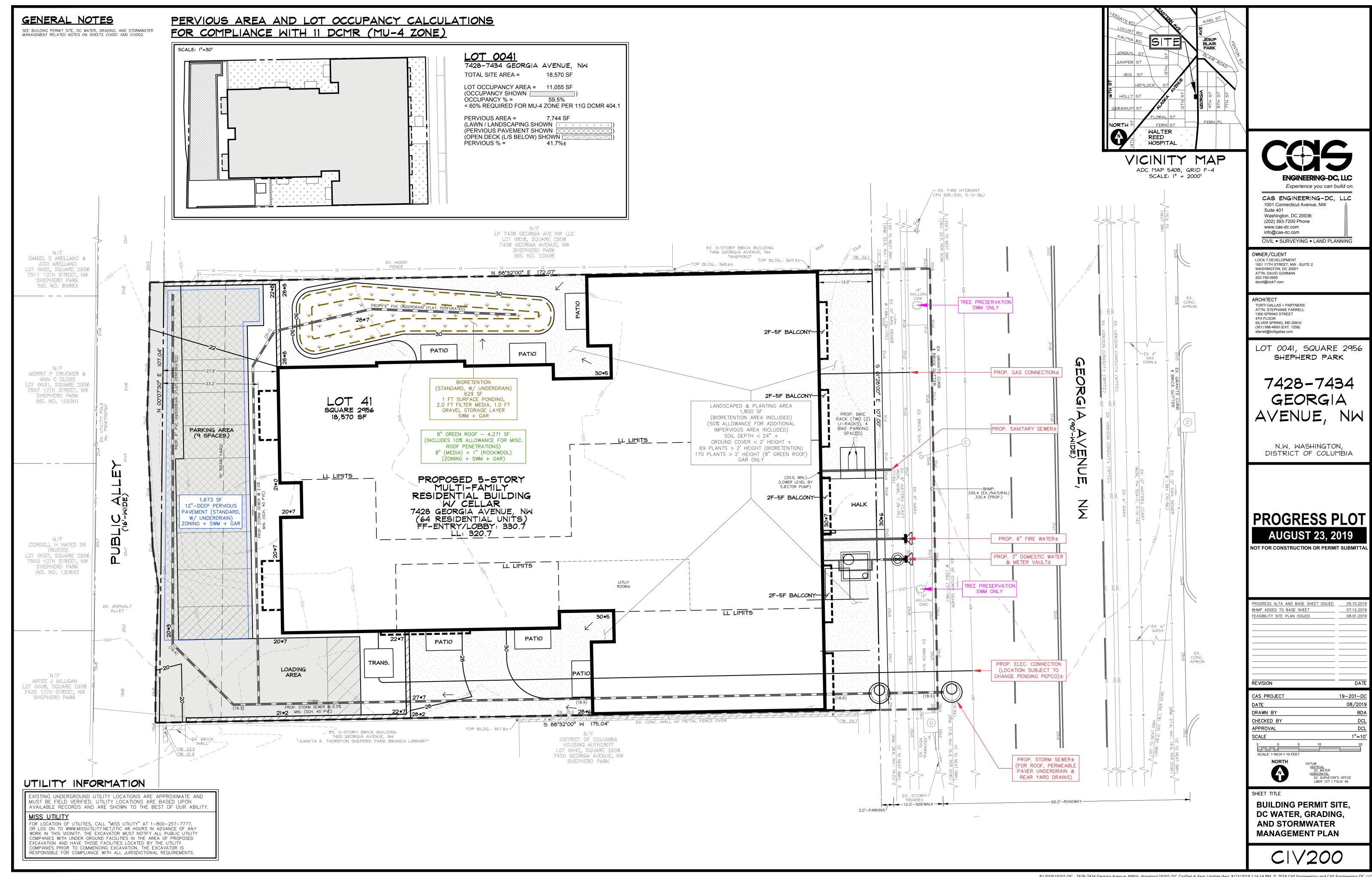
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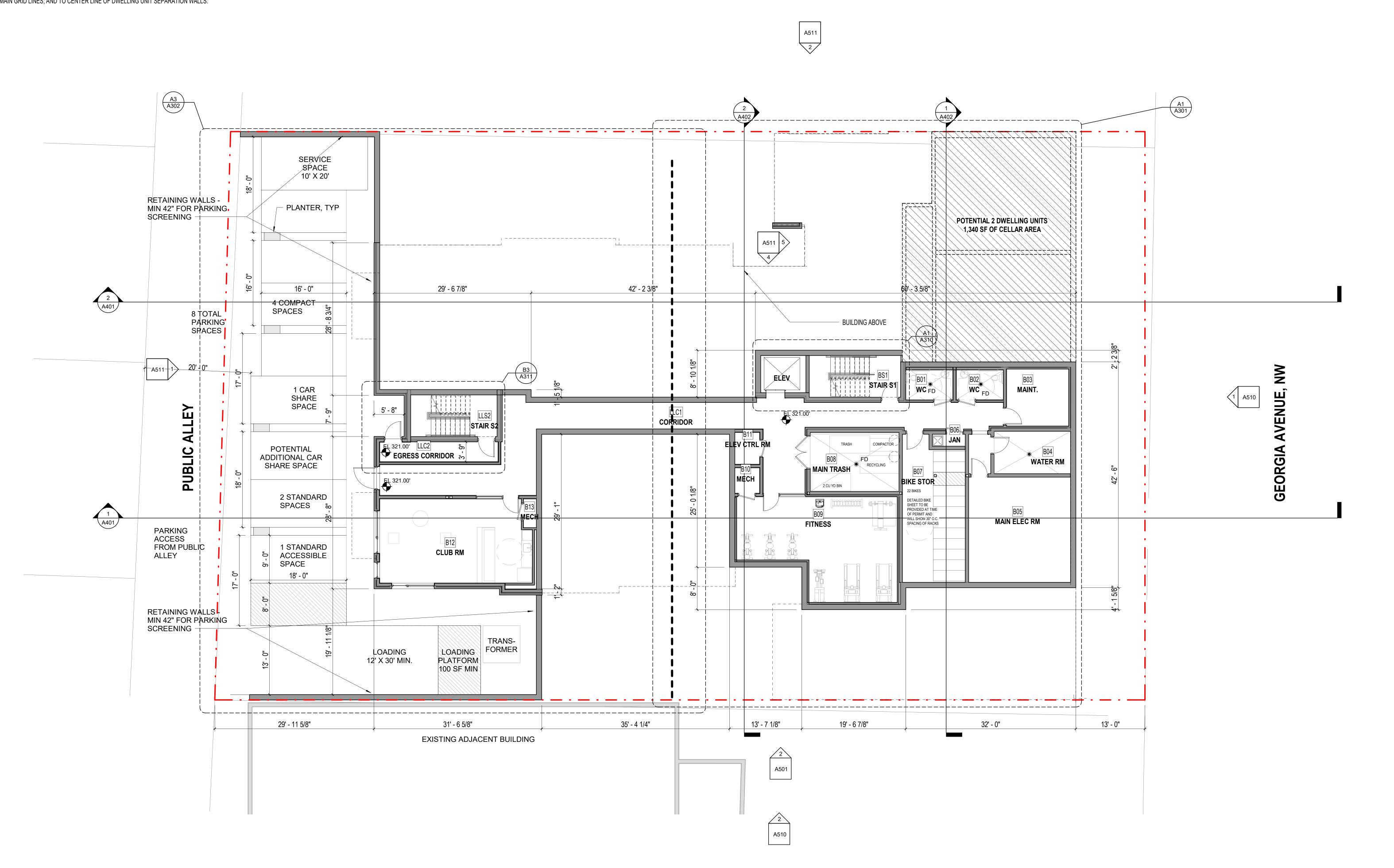
PRINCIPAL IN CH	ARGE
PROJECT ARCHIT	ECT
DRAWN 3.L.	
DATE D4/23/21	APPROVED
SCALE: 1 1/2" = 1'-0"	JOB NO. 18506.00



650 F STREET NW, SUITE 690



- 1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
- 2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS
- 3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
- 4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
- 5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



A1 BASEMENT FLOOR PLAN

1/8" = 1'-0"

B.L.

DATE
04/23/21

SCALE:
As indicated

DRAWING NO.

A201

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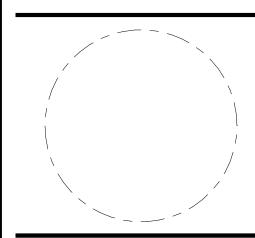
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Issue

Revisions

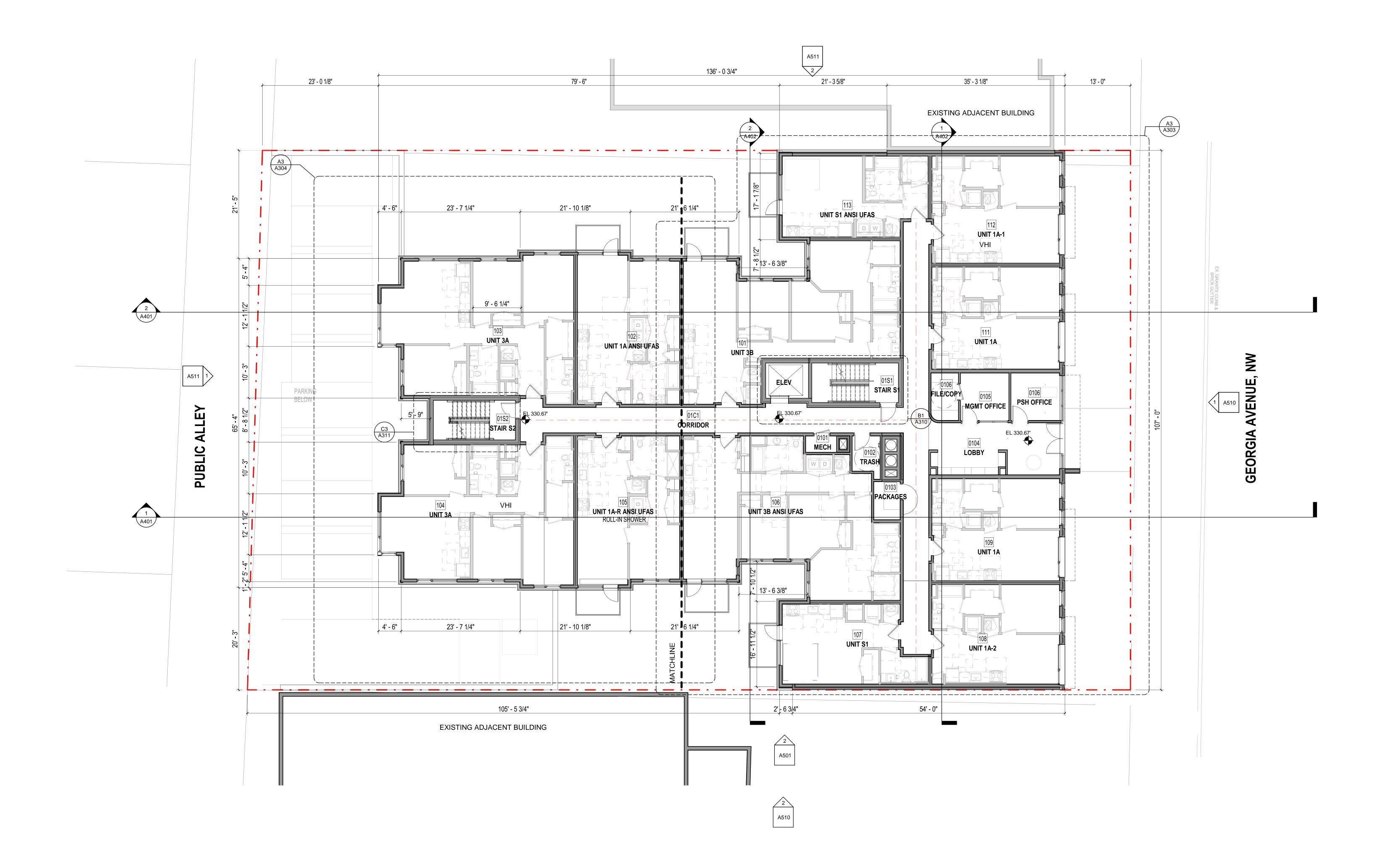


Basement Floor

APRIL PRINCIPAL IN CHARGE

- 1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS:
- SEE 1/4" FLOOR PLANS.

 2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS
- 3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
- 4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
- 5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



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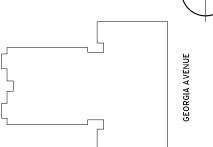
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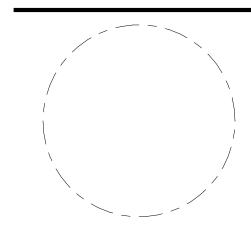
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Key Plan



Issue NO.

Revisions



First Floor Plan

PRINCIPAL IN CHARGE
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PROJECT ARCHITECT
S.F.
DRAWN
B.L.
DATE
APPROV

SCALE: JOB NO. 18506.00

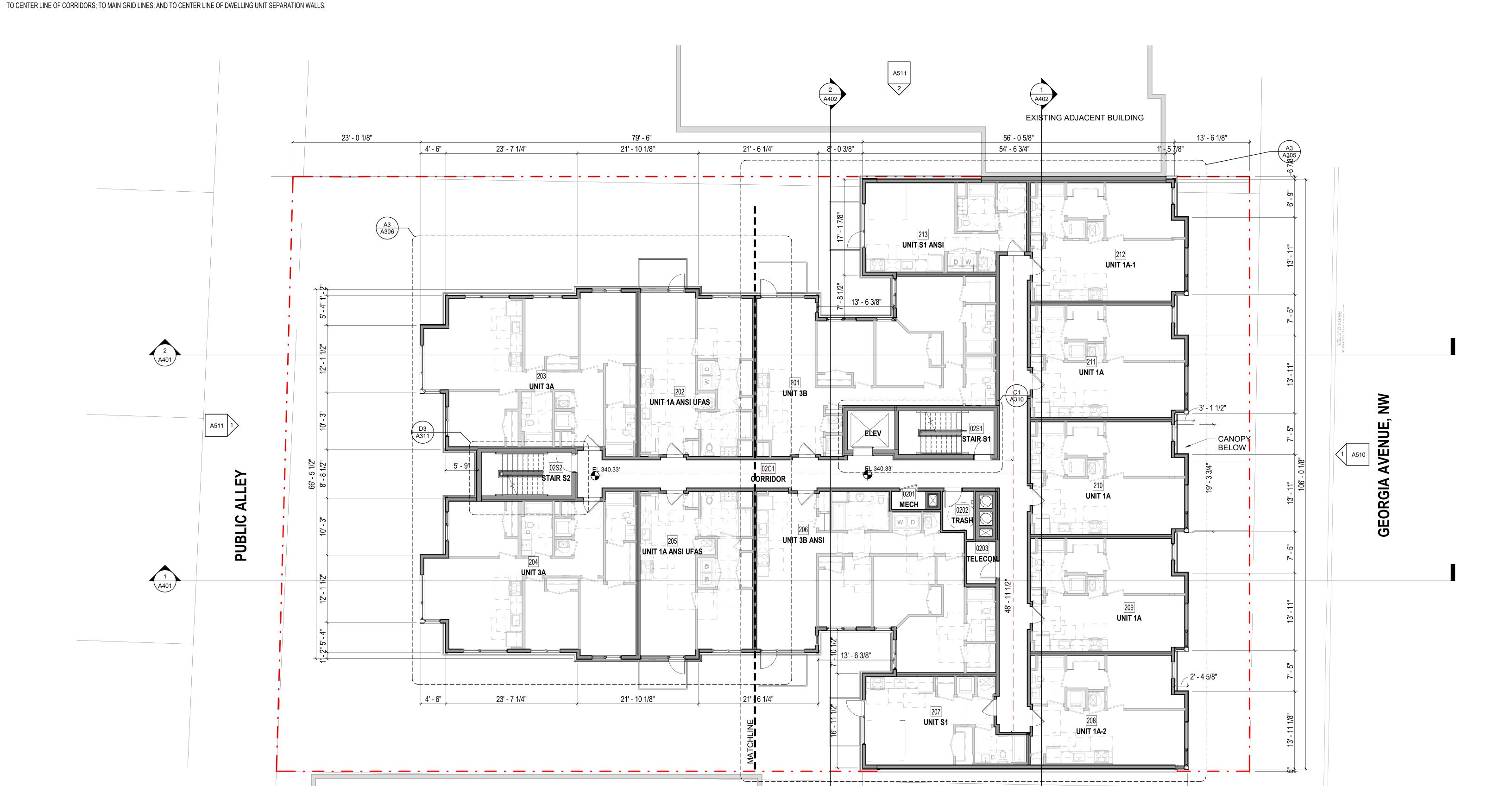
DRAWING NO. A 202

GRAPHIC SCALE 1/8" = 1'-0"

A1 1ST FLOOR PLAN

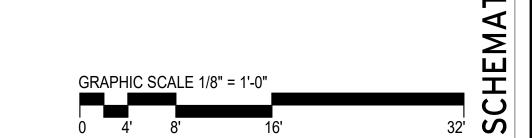
1/8" = 1'-0"

- 1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
- 2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS
- 3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
- 4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
- 5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS;



EXISTING ADJACENT BUILDING





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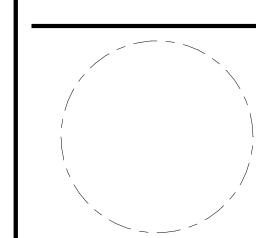
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Issue

Revisions



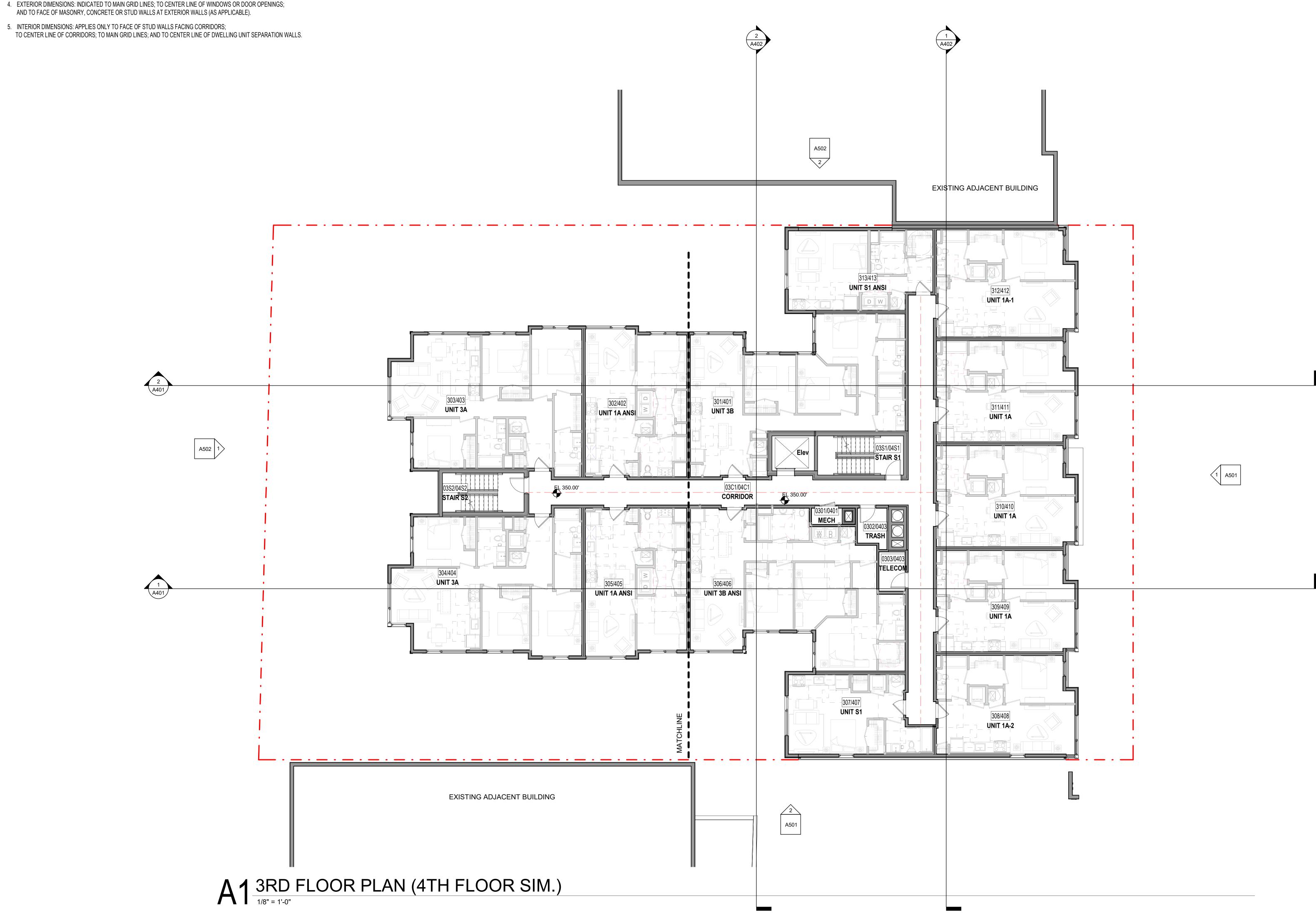
2nd Floor Plan

APRIL PRINCIPAL IN CHARGE DESIGN

23,

DATE 04/23/21 SCALE: As indicated JOB NO. 18506.00

- 1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
- 2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS
- 3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
- 4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS;



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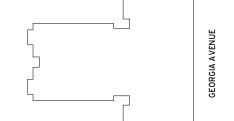
202.759.0905 STRUCTURAL ENGINEER STRUCTURA, INC. 000.000.0000

LOCK7 DEVELOPMENT

MEP ENGINEER HENRY ADAMS, LLC 410.296.6500

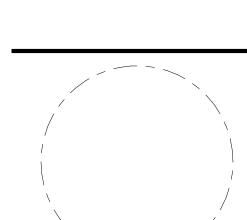
CIVIL ENGINEER CAS ENGINEERING - DC, LLC 202.393.7200

SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620



Issue NO.

Revisions



3rd Floor Plan (4th Floor Sim.)

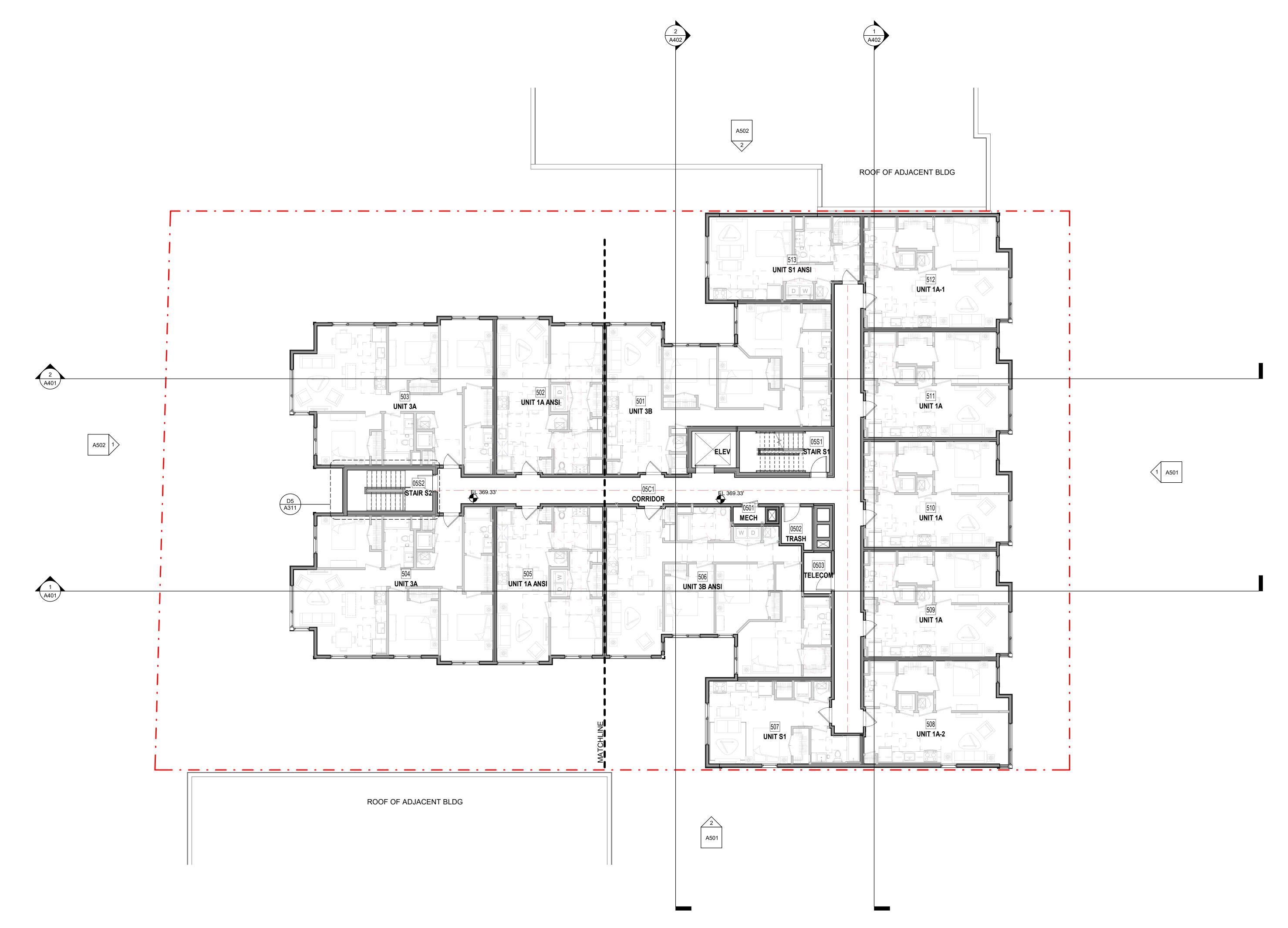
PRINCIPAL IN CHARGE S.F. DESIGN

DATE 04/23/21 APPROVED

SCALE: As indicated

DRAWING NO.

- 1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
- 2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS
- 3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
- 4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS; AND TO FACE OF MASONRY, CONCRETE OR STUD WALLS AT EXTERIOR WALLS (AS APPLICABLE).
- 5. INTERIOR DIMENSIONS: APPLIES ONLY TO FACE OF STUD WALLS FACING CORRIDORS; TO CENTER LINE OF CORRIDORS; TO MAIN GRID LINES; AND TO CENTER LINE OF DWELLING UNIT SEPARATION WALLS.



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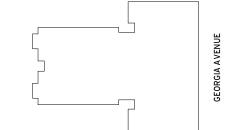
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CAS ENGINEERING - DC, LLC
202.393.7200

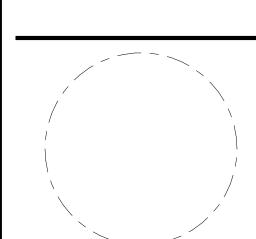
SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

Key Plan



Issue

Revisions



5th Floor Plan

PRINCIPAL IN CHARGE S.F.

PROJECT ARCHITE
S.F.

DRAWN
B.L.

B.L.

DATE APPROVED
04/23/21

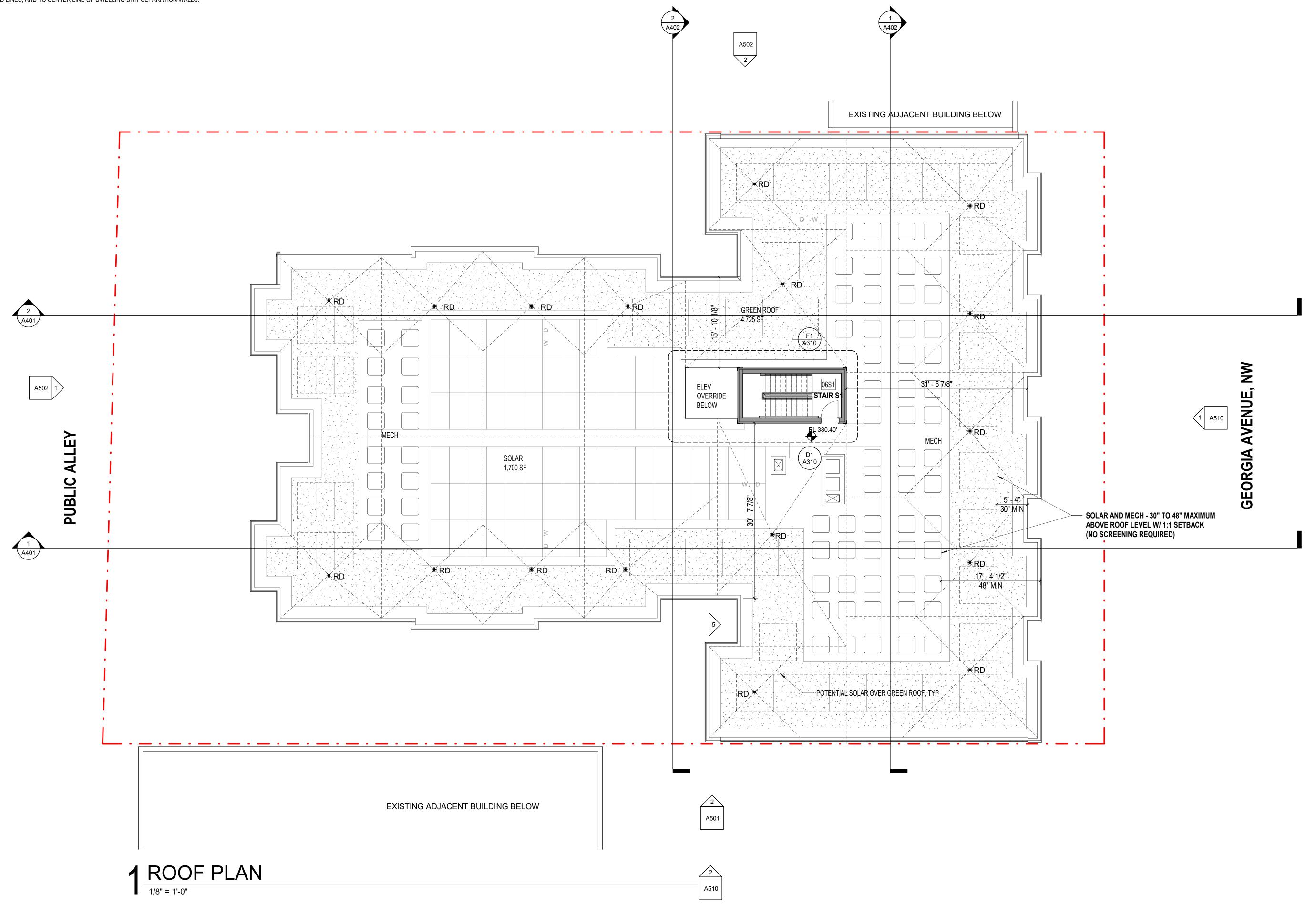
SCALE: JOB NO.
As indicated 18506.00

A205

A1 5TH FLOOR PLAN

1/8" = 1'-0"

- 1. INTERIOR DWELLING UNIT DIMENSIONS OR INTERIOR PUBLIC SPACE DIMENSIONS: SEE 1/4" FLOOR PLANS.
- 2. DOOR SYMBOLS: SEE 1/4" FLOOR PLANS
- 3. INTERIOR FINISHED: SEE 1/4" FLOOR PLANS.
- 4. EXTERIOR DIMENSIONS: INDICATED TO MAIN GRID LINES; TO CENTER LINE OF WINDOWS OR DOOR OPENINGS;
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LOCK7 DEVELOPMENT

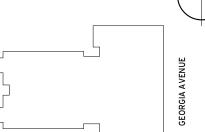
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CIVIL ENGINEER CAS ENGINEERING - DC, LLC 202.393.7200

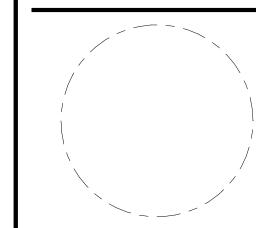
SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

key Plan



Issue NO.

Revisions



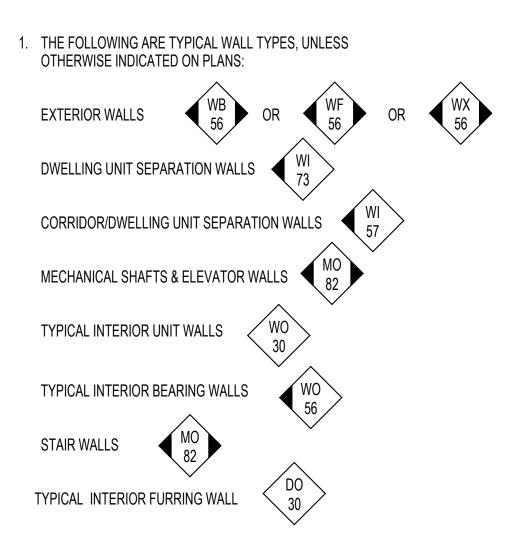
Roof Plan

PRINCIPAL IN CHARGE S.F.
PROJECT ARCHITECT S.F.
DRAWN
B.L.

23,

DATE APPROVED 04/23/21

SCALE: JOB NO. 18506.00



- 2. ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES
- 3. WALL TYPES: DESCRIBED ON A700 SERIES.
- 4. DOOR SCHEDULE: SEE 1/8" SCALE BUILDING PLANS
- AND ELEVATIONS.
- 5. WINDOWS INDICATIONS: SEE 1/8" SCALE BUILDING PLANS
- 6. WINDOW LOCATIONS: SEE 1/8" SCALE BUILDING PLANS.
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- 8. KITCHEN ELEVATIONS AND PLANS: SEE A800 SERIES.
- 9. BATHROOM ELEVATIONS AND PLANS: SEE A800 SERIES.
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- 12. DOORS: LOCATE TYPICALLY EITHER CENTERED ON SPACES, SET AT 4" FROM ADJACENT WALL ALONG HINGE SIDE, OR AS INDICATED ON PLANS.
- 13. PUBLIC SPACE FINISHES: SEE 1/8" SCALE FLOOR PLANS AND ID DRAWINGS.





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000.000.0000

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410.296.6500

CIVIL ENGINEER

CAS ENGINEERING - DC, LLC

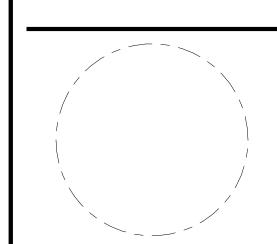
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Key Plan

Issue NO.

Revisions



Partial Basement
Floor Plan - East

PRINCIPAL IN CHARGE S.F.
PROJECT ARCHITECT S.F.
DRAWN
B.L.

2021

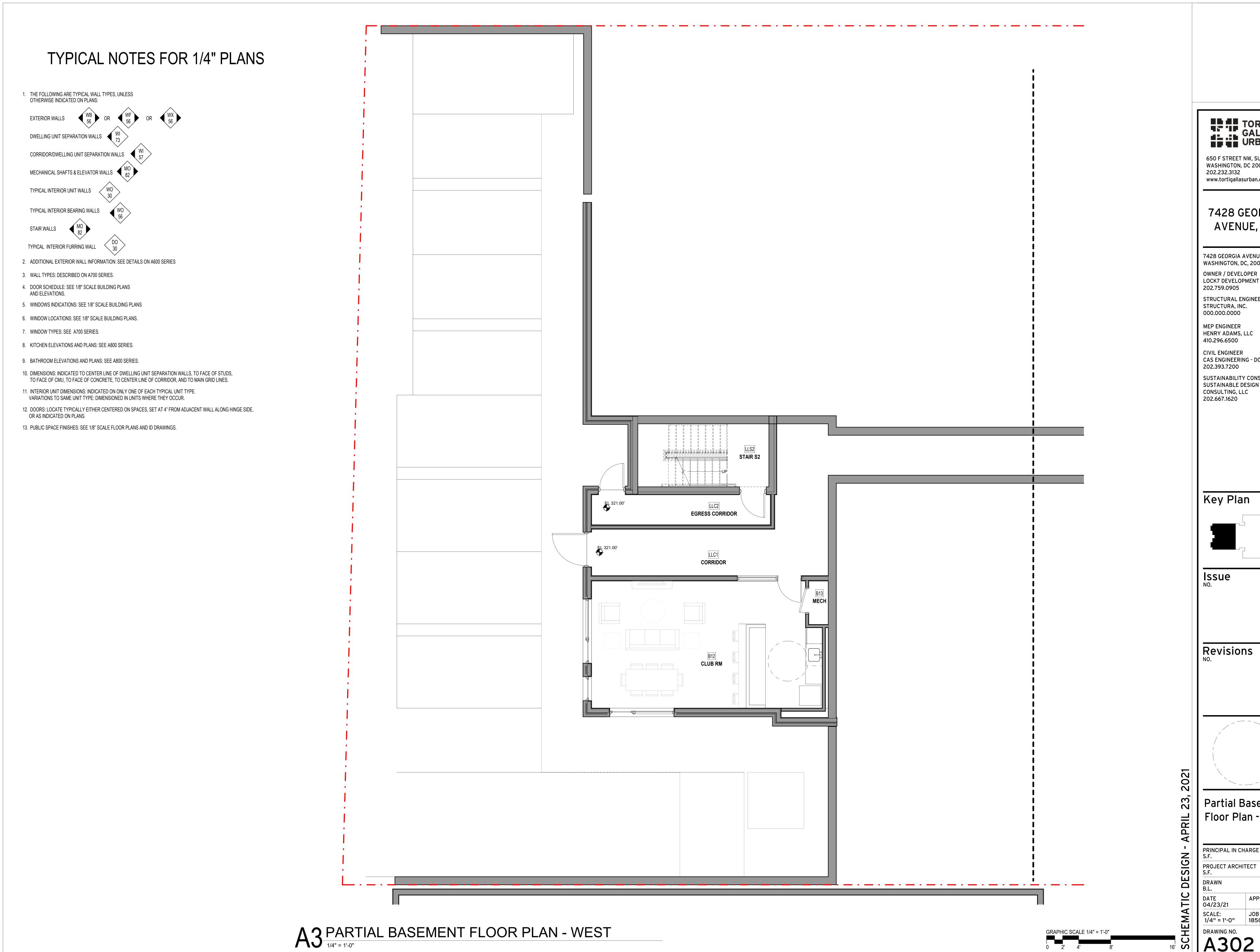
DRAWN
B.L.

DATE APPROVED
04/23/21

SCALE: JOB NO.
1/4" = 1'-0" 18506.00

DRAWING NO.

A1 PARTIAL BASEMENT FLOOR PLAN - EAST



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000.000.0000 MEP ENGINEER HENRY ADAMS, LLC

410.296.6500 CIVIL ENGINEER

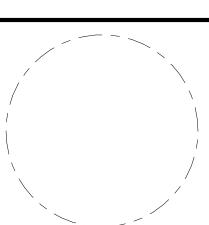
CAS ENGINEERING - DC, LLC 202.393.7200

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Key Plan

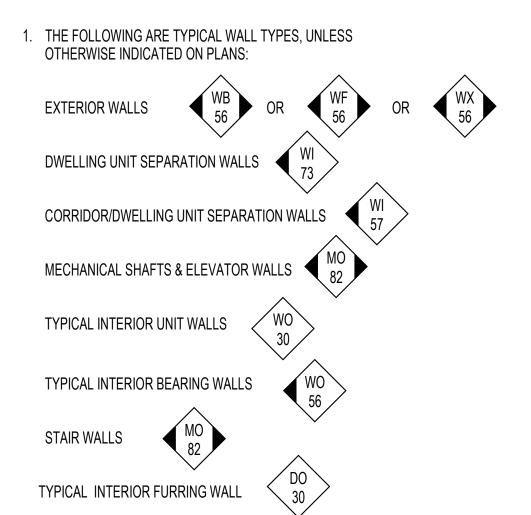


Revisions

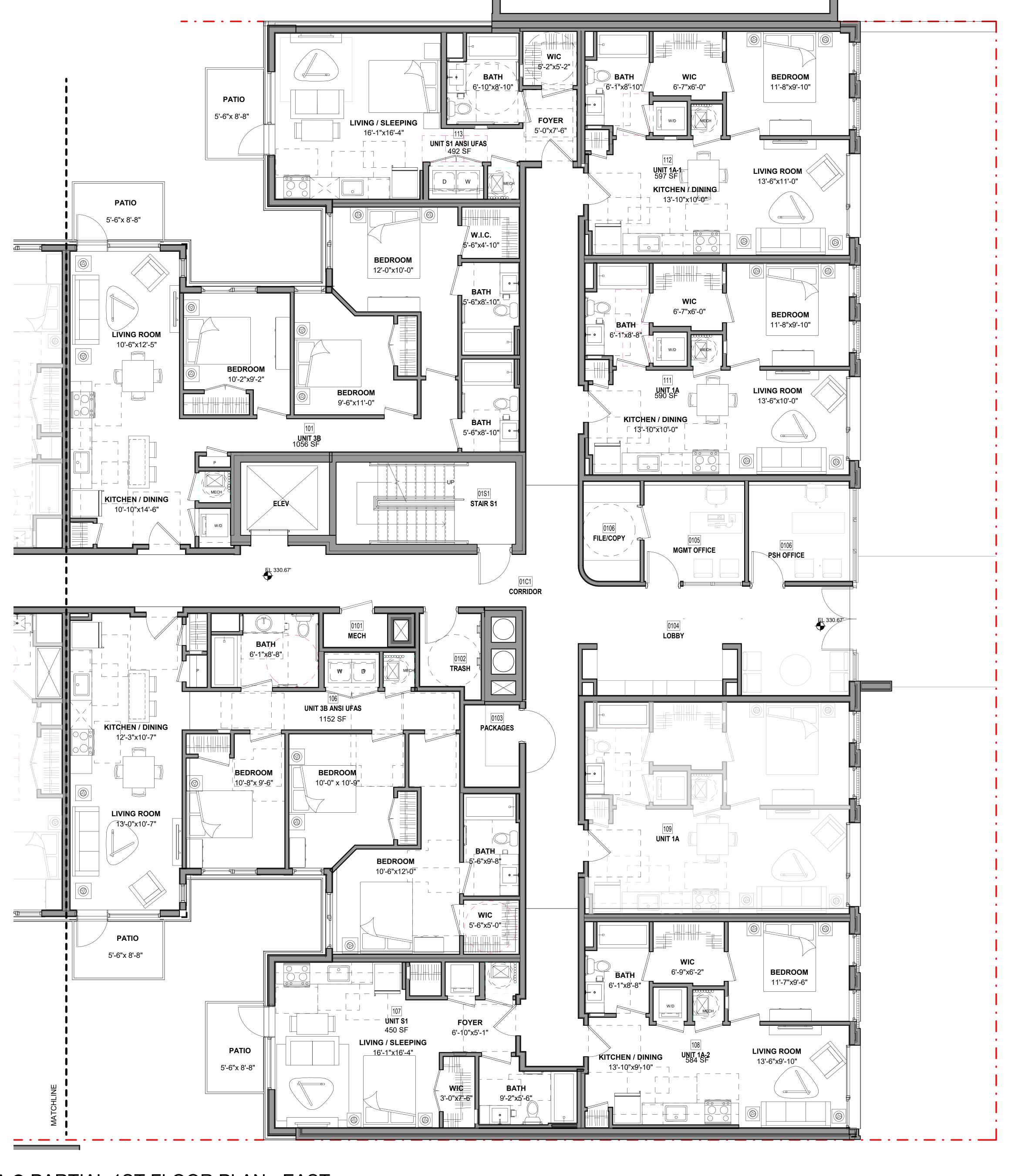


Partial Basement
Floor Plan - West

PRINCIPAL IN CHARGE S.F.



- 2. ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES
- 3. WALL TYPES: DESCRIBED ON A700 SERIES.
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- 5. WINDOWS INDICATIONS: SEE 1/8" SCALE BUILDING PLANS
- 6. WINDOW LOCATIONS: SEE 1/8" SCALE BUILDING PLANS.
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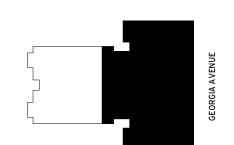
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CIVIL ENGINEER CAS ENGINEERING - DC, LLC 202.393.7200

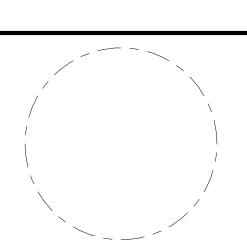
SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

Key Plan



Issue

Revisions



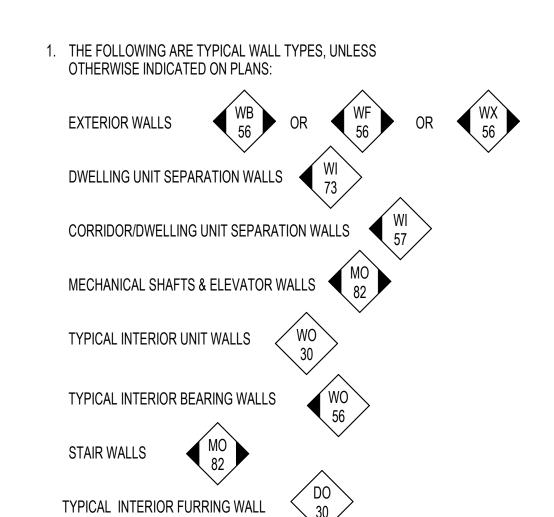
Partial 1st Floor Plan - East

PRINCIPAL IN CHARGE DESIGN

23,

PROJECT ARCHITECT

DATE 04/23/21 SCALE: 1/4" = 1'-0" JOB NO. 18506.00



- 2. ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES
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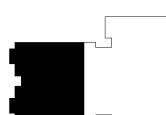
LOCK7 DEVELOPMENT

MEP ENGINEER HENRY ADAMS, LLC 410.296.6500

CIVIL ENGINEER CAS ENGINEERING - DC, LLC 202.393.7200

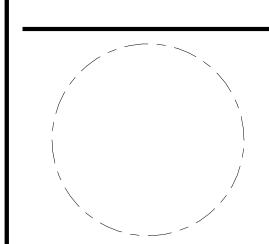
SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

Key Plan



Issue

Revisions



Partial 1st Floor Plan - West

2021

23,

PRINCIPAL IN CHARGE
S.F.

PROJECT ARCHITECT
S.F.

DRAWN
B.L.

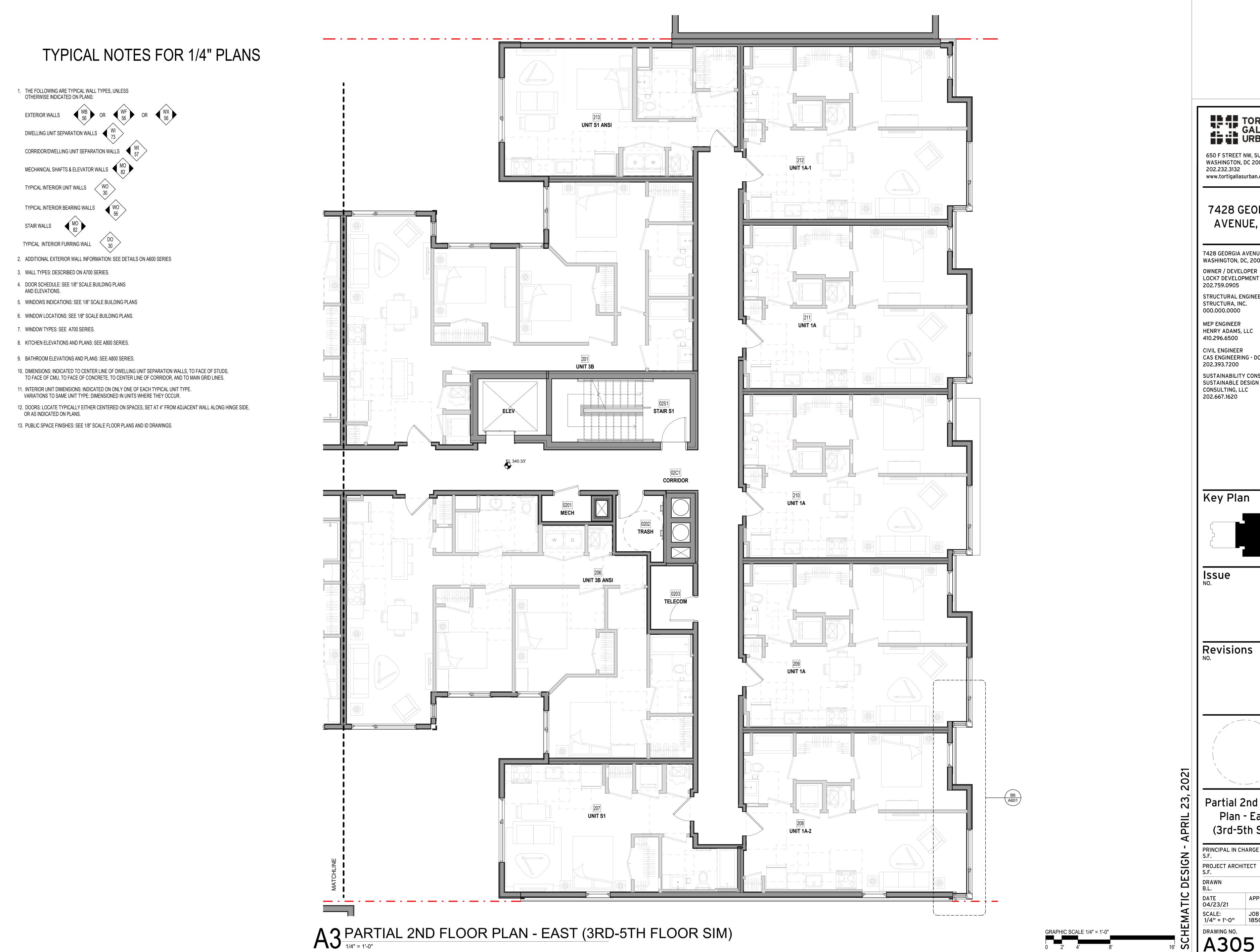
DATE
04/23/21

SCALE:
1/4" = 1"-0"

JOB NO.
18506.00

DRAWING NO.

GRAPHIC SCALE 1/4" = 1'-0"



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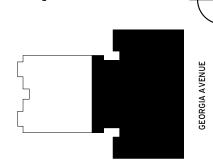
MEP ENGINEER HENRY ADAMS, LLC 410.296.6500

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202.393.7200 SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN

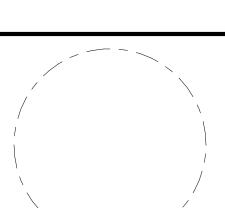
CONSULTING, LLC 202.667.1620

Key Plan



Issue NO.

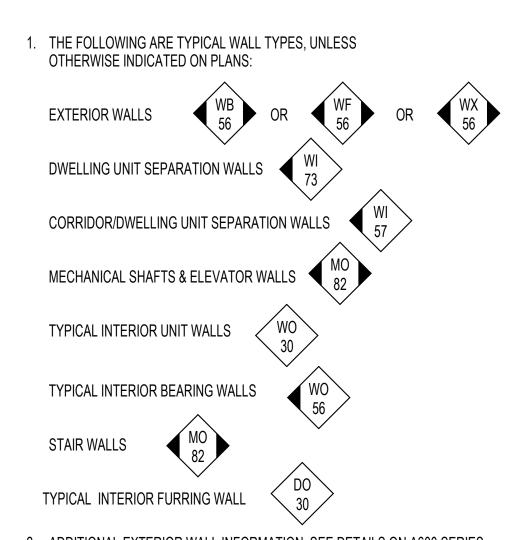
Revisions



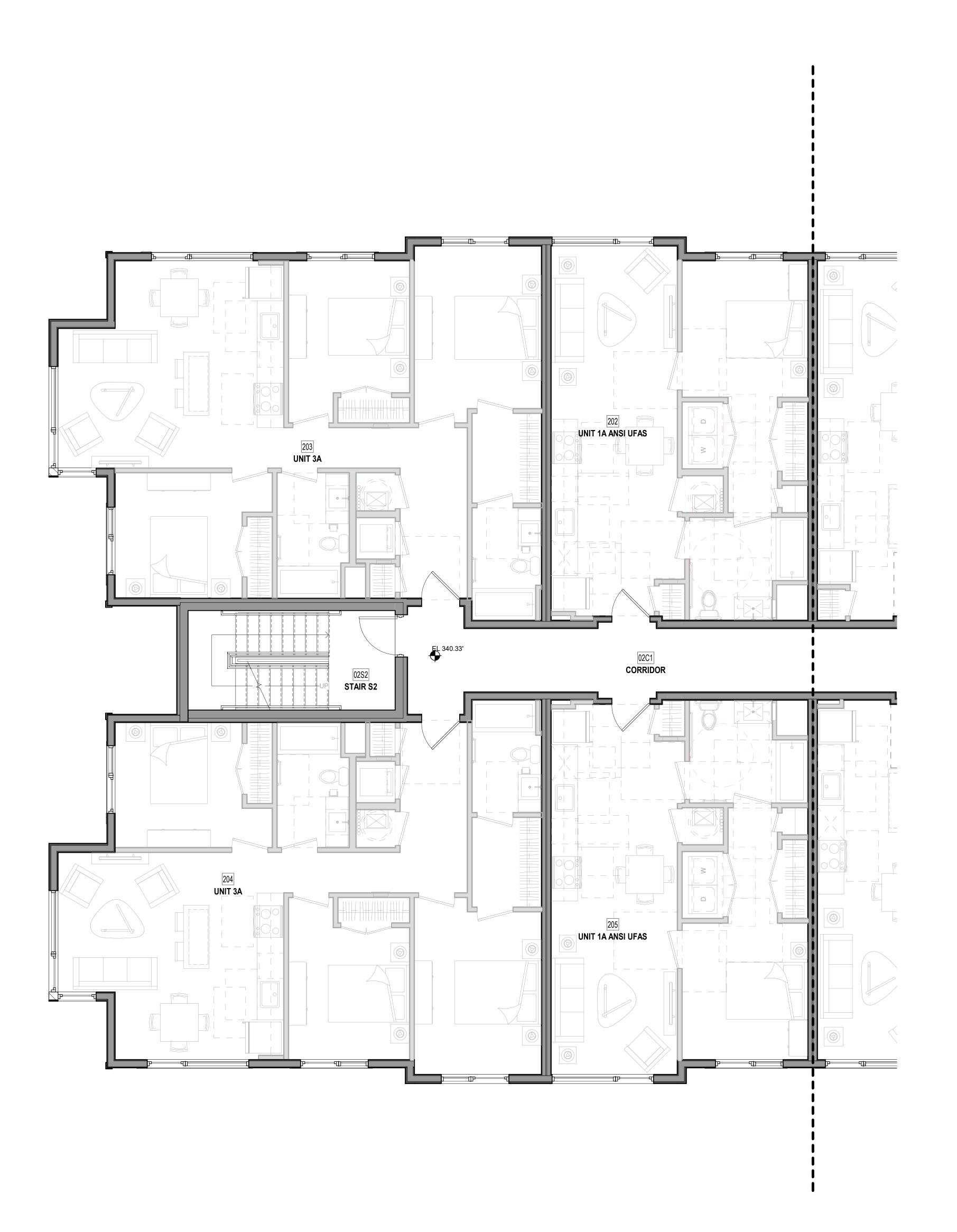
Partial 2nd Floor Plan - East (3rd-5th Sim)

PRINCIPAL IN CHARGE

DATE 04/23/21 SCALE: 1/4" = 1'-0" JOB NO. 18506.00



- 2. ADDITIONAL EXTERIOR WALL INFORMATION: SEE DETAILS ON A600 SERIES
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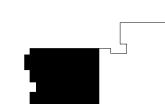
000.000.0000 MEP ENGINEER HENRY ADAMS, LLC

LOCK7 DEVELOPMENT

410.296.6500 CIVIL ENGINEER CAS ENGINEERING - DC, LLC 202.393.7200

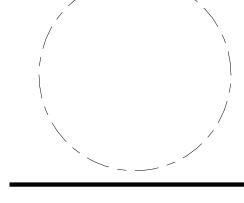
SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

Key Plan



Issue NO.

Revisions

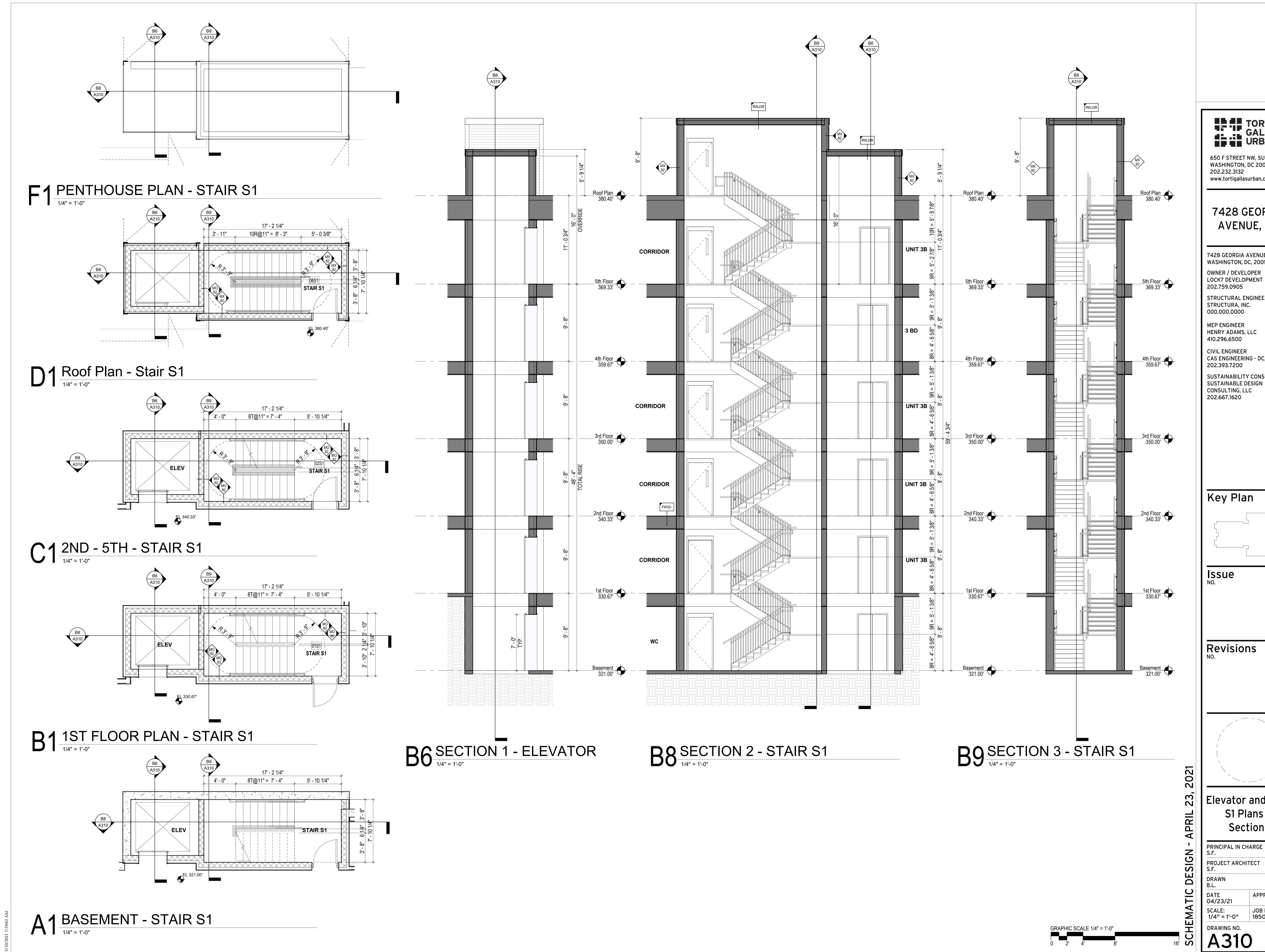


Partial 2nd Floor Plan - West (3rd-5th Sim)

PRINCIPAL IN CHARGE PROJECT ARCHITECT DATE 04/23/21 SCALE: 1/4" = 1'-0" JOB NO. 18506.00

DRAWING NO.

DESIGN



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STRUCTURAL ENGINEER STRUCTURA, INC. 000.000.0000

MEP ENGINEER HENRY ADAMS, LLC

CIVIL ENGINEER CAS ENGINEERING - DC, LLC

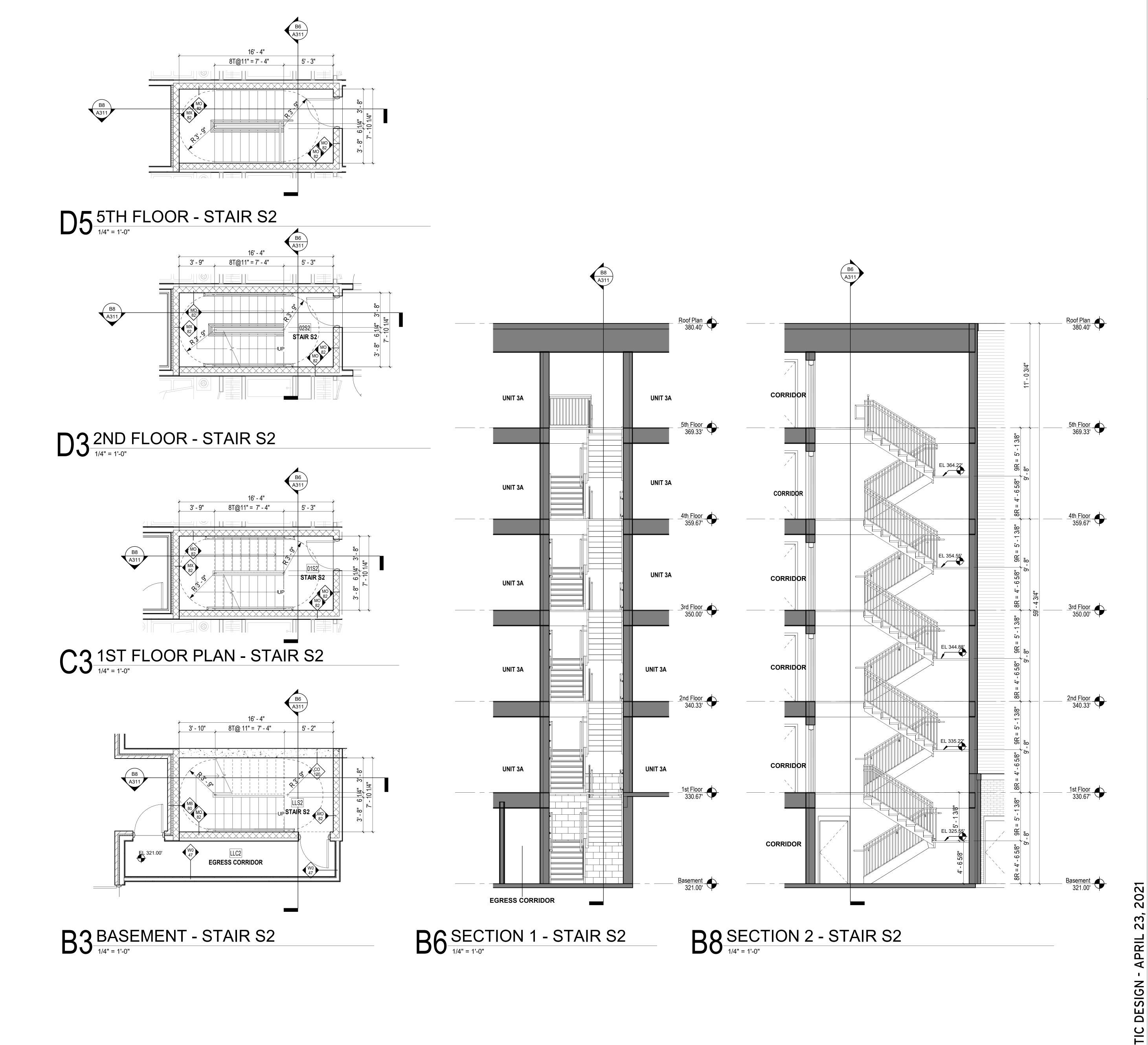
SUSTAINABILITY CONSULTANT

SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

Key Plan

ස් Elevator and Stair S1 Plans & Sections

> PRINCIPAL IN CHARGE PROJECT ARCHITECT



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SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

Key Plan

GEORGIA AVENUE

Issue NO.

Revisions

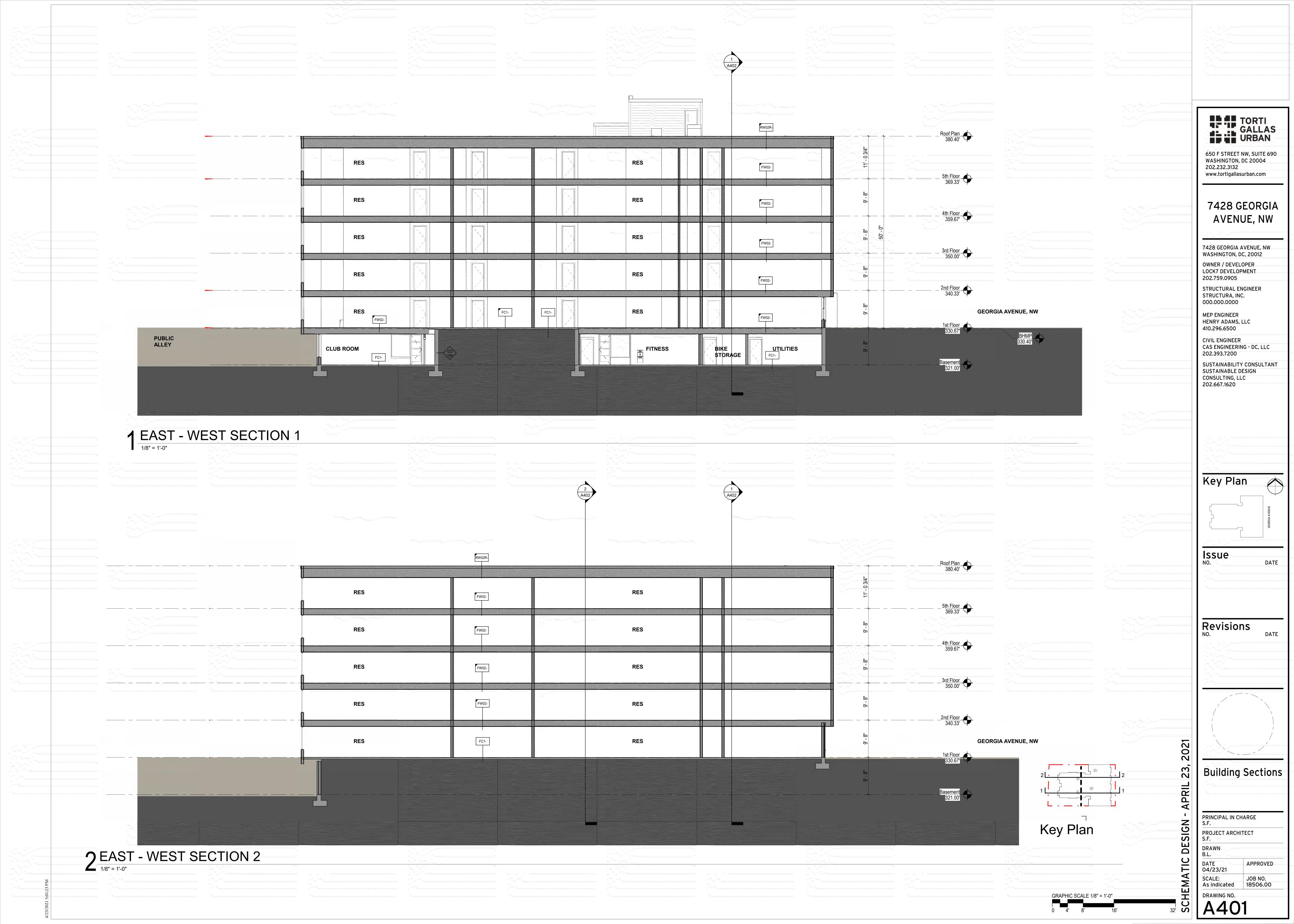
Stair S2 Plans & Sections

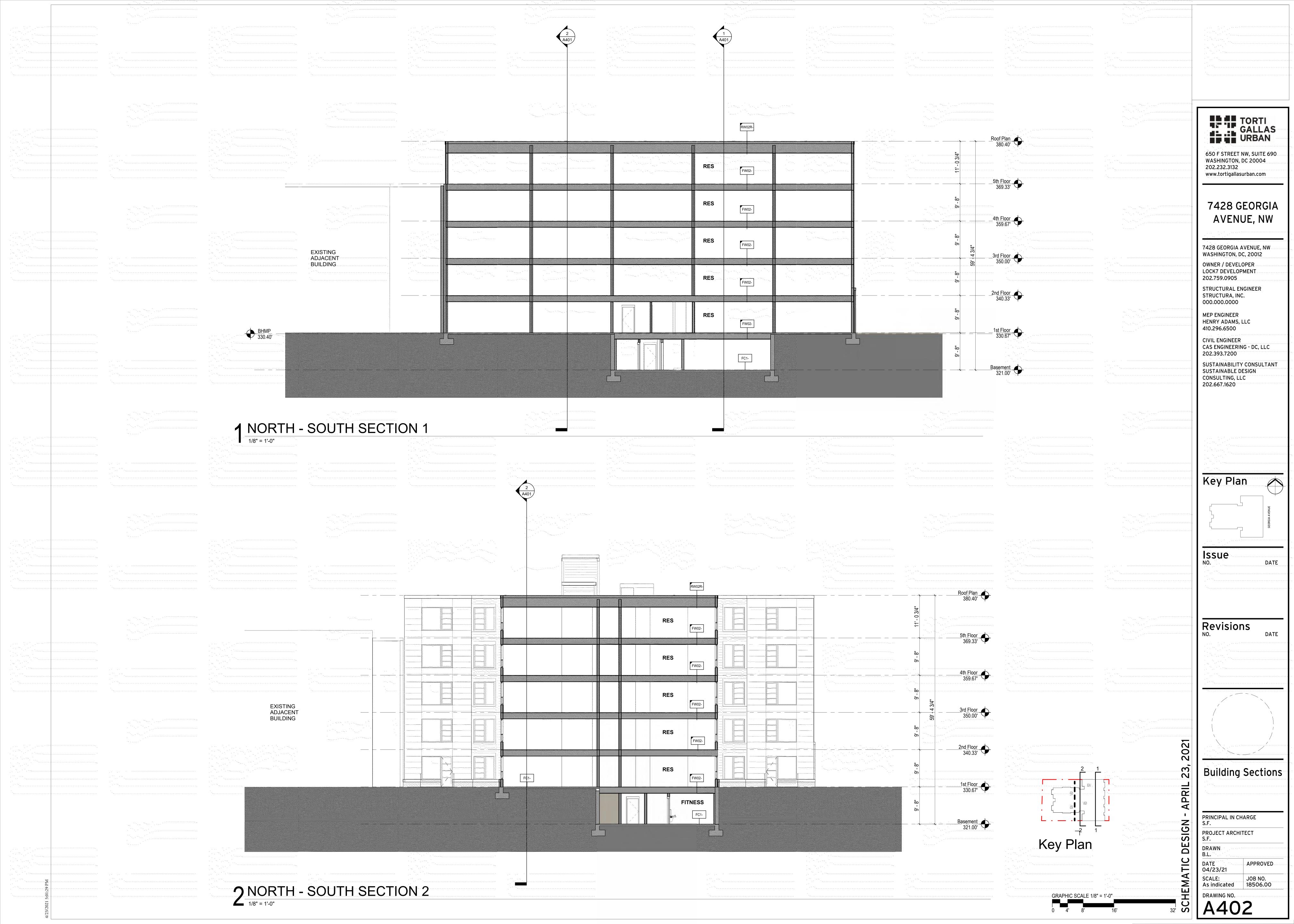
PRINCIPAL IN CHARGE S.F.
PROJECT ARCHITECT S.F.
DRAWN B.L.
DATE APPROVED 04/23/21

SCALE: 1/4" = 1'-0" JOB NO. 18506.00

DRAWING NO. A 311

0 2' 4' 8'



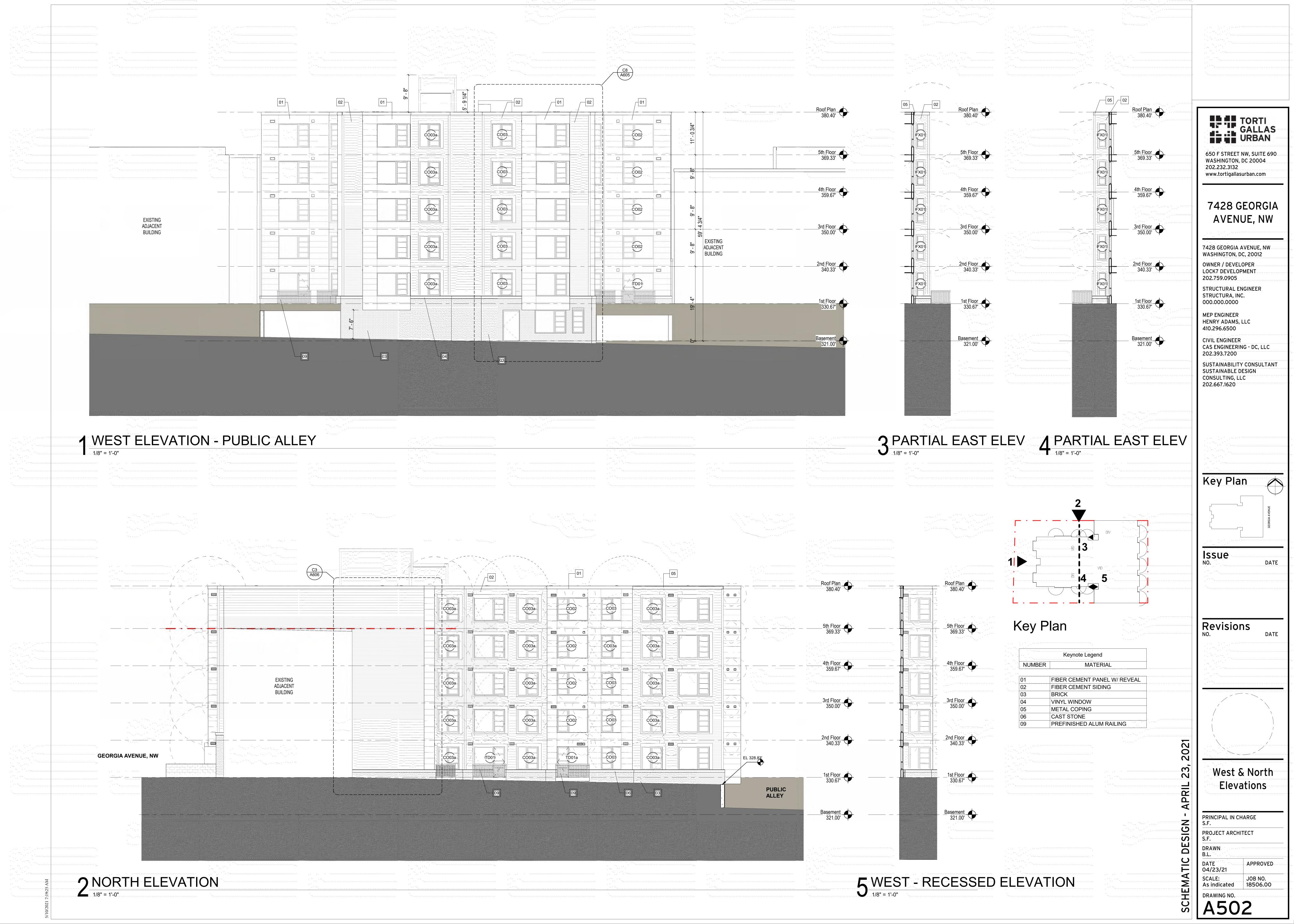


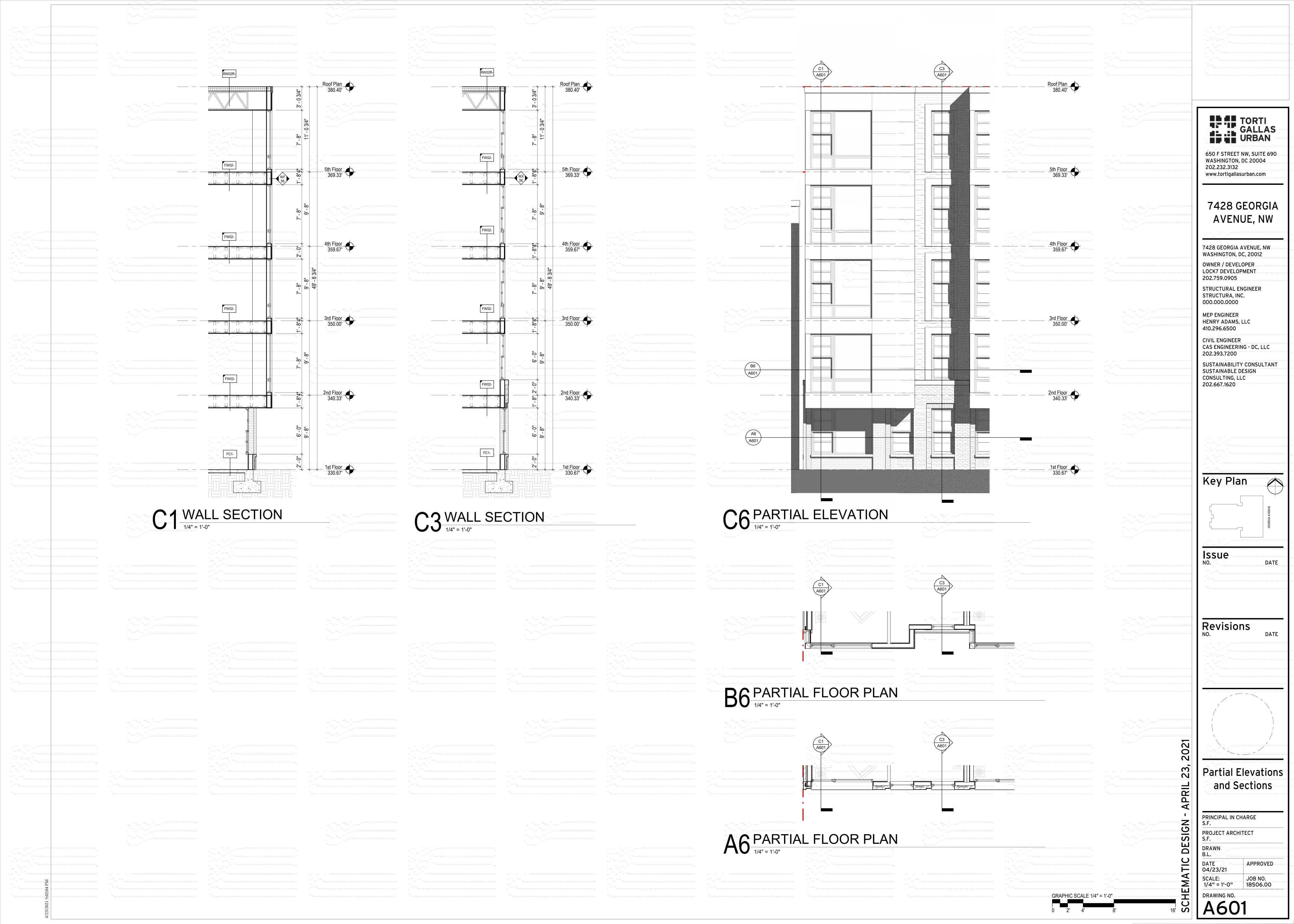


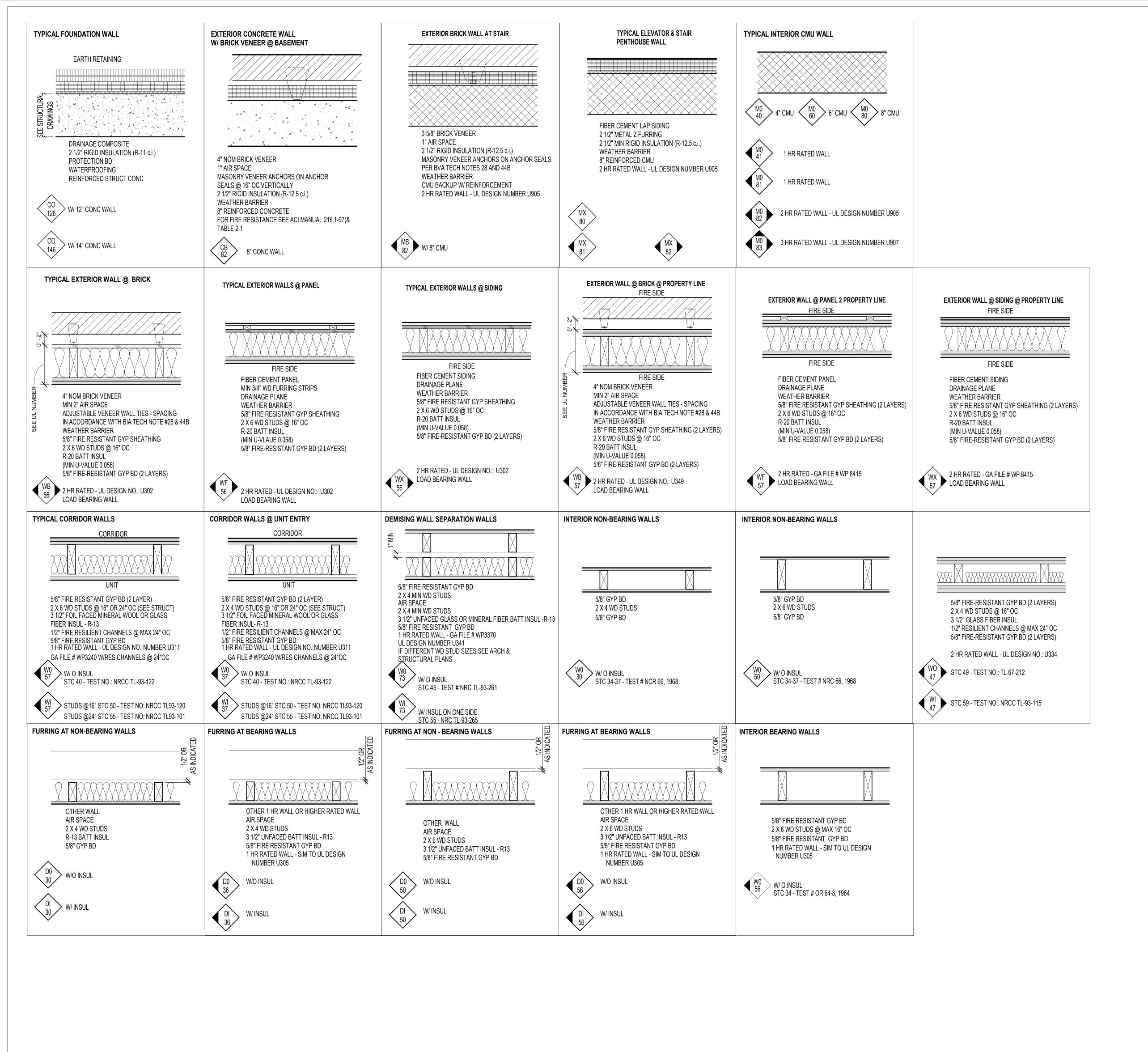
TORTI GALLAS URBAN 650 F STREET NW, SUITE 690

7428 GEORGIA

SCALE: As indicated DRAWING NO.







SYMBOL LEGEND FOR ALL WALLS

GENERAL NOTES FOR ALL WALLS

COMPLETE INFORMATION.

SLAB OR DECK ABOVE.

. FIRE RATED WALLS: SEE SCHEDULED LISTING

PUBLISHED BY UL OR OTHER AGENCY FOR

EXTEND FIRE RATED SEPARATION WALL

ASSEMBLIES ENCLOSING EXITS, SHAFTS, AREAS OF REFUGE OR FOR SUBDIVIDING PURPOSES

FROM TOP OF SLAB OR RATED FLOOR ASSY

BELOW TO UNDERSIDE OF FLOOR OR ROOF

EXTEND FIRE RATED PARTITIONS SEPARATING

UNITS FROM TOP OF SLAB OR RATED FLOOR

SLAB OR RATED ASSY ABOVE. (EXTEND FIRE

RATED WD PTN TO UNDERSIDE OF SLAB OR

DECK ABOVE AS REQD FOR DRAFTSTOPPING)

EXTEND SMOKE BARRIERS FROM TOP OF SLAB

OR RAYED FLR ASSY BELOW TO UNDERSIDE OF

FLOOR OR ROOF SLAB OR DECK ABOVE, OR TO

UNDERSIDE OF FLOOR OR ROOF RATED ASSY

ABOVE IF ASSY PROVIDES EQUAL RESISTANCE

TO PASSAGE OF FIRE AND SMOKE AS SMOKE

WHEN A FIRE WALL INTERSECTS AN EXTERIOR

WALL, CARRY CONSTRUCTION OF FIRE WALL

THROUGH TO INSIDE FACE OF EXT SHEATHING.

WALLS INTERSECT HIGHER FIRE RATED WALLS

SHALL BE CONTINUOUS AND UNINTERRUPTED

IF RATED WALLS OCCUR BEHIND PLUMBING

OF RATED WALL SHALL BE CONTINUOUS &

PROVIDE FIRESTOPPING AT PENETRATIONS OF

I. DO NOT INSTALL ELECTRICAL OUTLETS ON

FIRE RATED WALLS AS REQUIRED BY CODE AND

OPPOSITE SIDES OF FIRE RATED WALLS WITHIN

SEAL TOP AND BOTTOM AS REQUIRED BY CODE

WHEN A FIRE RATED WALL W/ 5/8" THICK TYPE

FIRECODE GYP BD IS CONSTRUCTED IN LINE W/ A

NON-FIRE RATED OR 5/8" THICK FIRECODE GYP BD

SUCH THAT THE EXT FACE OF THE GYP BD ALIGNS.

VERTICAL FIRE SEPARATION ASSEMBLIES, FIRE PARTITION

AND SMOKE BARRIERS SHALL BE DESIGNATED ABOVE

CEILINGS AND ON THE INSIDE OF ALL CEILING ACCESS

DOORS WHICH PROVIDE ACCESS TO SUCH FIRE RATED

TYPE OF ASSEMBLY AND BE PROVIDED AT HORIZONTAL

A. INSTALL SOUND INSUL IN RATED ASSEMBLIES AS

SPECIFIED IN WALL TYPES PER REFERENCED UL

OR OTHER TESTING AGENCY DESIGN NUMBER.

INSULATE DWELLING OR TENANT SEPARATION

WALLS ENCLOSING MECHANICAL RMS, PUBLIC

TRASH CHUTE. TRASH ROOMS. INSULATE

B. EXTEND SOUND INSULATION TO UNDERSIDE OF

C. STAGGER CUTOUTS FOR ELECTRICAL SWITCHES

& OUTLETS. INSTALL SOUND INSUL CONTINUOUSLY

BEHIND BOXES LOCATED IN SOUND INSULATED

D. PROVIDE ACOUSTICAL SEALANT IN ACCORDANCE

WITH GYP BD ASSEMBLIES SPECIFICATION.

A. REFER TO SPECIFICATIONS FOR WEATHER AND

A. INSTALL SOLID BLOCKING OR 16 GAGE SHEET

B. IN BUILDINGS CLASSIFIED AS CONSTR TYPE 1

B. PROVIDE SPACING AND GAGE OF METAL STUDS AND

METAL BEHIND GYPSUM BOARD IN STUD WALLS

HAND RAILS, GRAB BARS, SPECIAL TRIM DETAILS,

CABINETS, AND OTHER WALL MOUNTED ITEMS.

AS REQD TO ATTACH TOILET ACCESSORIES,

RUNNERS AS REQ TO WITHSTAND DESIGN LOAD.

VAPOR BARRIER INSTALLATION AND

LOCATION WHERE REQUIRED.

FLOOR OR ROOF SLAB OR DECK ABOVE.

INDICATED ON DRAWINGS.

3. EXTERIOR WALLS

4. BLOCKING

SURROUNDING OF SPECIFIC ROOMS WHERE

WALLS & EXIT ACCESS CORRIDOR WALLS. INSULATE

TOILETS, MECHANICAL SHAFTS, STAIRS, ELEVATORS,

INTERVALS OF NO MORE THAN EIGHT FEET.

ASSEMBLIES BY SIGNAGE HAVING LETTERS NO SMALLER

THAN ONE INCH IN HEIGHT. SUCH SIGNAGE SHALL INDICATE

THE FIRE-RESISTANCE RAILING OF THE ASSEMBLY AND THE

NON-RATED WALL ASSEMBLY W/ 1/2" THICK GYP

BD & THE SAME STUD DEPTH, USE 5/8" THICK

NO 1/8" STEPS IN WALLS ARE ALLOWED.

OR KITCHEN CABINETS, CONSTRUCTION

UNINTERRUPTED.

SAME STUD SPACE.

AND SCHEDULED LISTING.

CONCEALED FIRE WALLS.

2. SOUND INSULATED WALLS

UL LISTINGS.

OR FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES

WHEN NON-RATED WALLS OR LESSER-RATED

CONSTRUCTION OF HIGHER RATED WALL

ASSY BELOW TO UNDERSIDE OF FLR OR ROOF

EXIT ACCESS CORRIDORS, TENANT OR DWELLING

WALL TYPE SYMBOL

CORNER SHADING INDICATES FIRE RATING 1/2 CORNER 30 MIN

1 CORNER 1 HR 2 CORNERS 2 HR

1ST LETTER INDICATES PRIMARY MATERIAL

3 CORNERS 3 HR 4 CORNERS 4 HR

B BRICK C CONCRETE D WOOD FURRING

F STEEL FURRING M MASONRY N STONE S STEEL STUDS

W WOOD STUDS

2ND LETTER @ INTERIOR WALLS INDICATES INSULATION

I INSULATION 0 NO INSULATION

2ND LETTER @ EXT WALLS INDICATES EXT FINISH MATERIAL (ALL EXT WALLS HAVE BATT INSUL)

A ALUMINUM PANELS B BRICK E EXTERIOR INSULATION FINISHING SYSTEM F FIBER CEMENT PANELS

K CURTAIN WALL

M CMU N STONE

P PRECAST S STUCCO

X SIDING

GENERAL NOTES FOR WOOD STUD WALLS

1. EXTERIOR WALL STUDS A. SPACE AT 16 INCHES OC, UNLESS OTHERWISE INDICATED. COORD W/ STRUCTURAL DRAWINGS

B. SILLS & PLATES ON SLABS OR WITHIN 8" OF FIN GR SHALL BE PRESERVATIVE TREATED.

C. FRAMING AT WEATHER EXPOSED AREAS SHALL BE PRESERVATIVE TREATED.

D. SILL PLATES: ANCHOR WITH MINIMUM 5/8 INCH DIAMETER BOLTS EMBEDDED NOT LESS THAN 15 INCHES INTO GROUT FILLED CMU CELLS AND NOT LESS THAN 8 INCHES INTO CAST-IN-PLACE CONCRETE. PROVIDE MIN OF TWO ANCHORS PER SECTION OF PLATE. 12" FROM END OF EACH SECT OF PLATE WITH INTERMEDIATE

BOLTS PLACED MAXIMUM 4 FEET OC. E. PROVIDE DOUBLE TOP PLATES.

2. INTERIOR PARTITIONS: INTERIOR PARTITIONS: MIN 2 X 4. SEE ARCHITECTURAL/STRUCTURAL PLANS FOR WHEN DEEPER STUDS ARE REQUIRED IN FIREWALLS. WOOD STUDS AT 24 INCHES OC, UNLESS OTHERWISE INDICATED.

LOADBEARING WALLS & WALLS MORE THAN 12' HIGH: AS REQUIRED BY STRUCTURAL DRAWINGS AT INTERSECTION OF NON RATED INTERIOR PARTITIONS WITH ONE HOUR RATED FLOOR/CEILING ASSEMBLIES A DOUBLE TOP PLATE MAY BE USED IN LIEU OF CARRYING CEILING MEMBRANE THROUGH.

3. WOOD FURRING: A. TO BE PRESERVATIVE TREETED WHEN APPLIED

TO EXTERIOR MASS OR CONCRETE WALLS.

BOTTOM NUMBERS INDICATE CONC (C) OR WOOD FURRING (D) STUDS (W) 00-09 1 X 2'S 1 X 2'S 10-19 2 X 2'S 2 X 2'S 20-29 2 X 3'S 2 X 3'S 30-39 2 X 4'S 2 X 4'S 40-49 2 X 4'S 2 X 4'S 50-59 2 X 6'S 2 X 6'S 60-69 2 X 6'S 2 X 6'S 6" THICK 70-79 CHASE WALLS CHASE WALLS CHASE WALLS

2 X 8'S 90-99 **FIREWALLS** 10" THICK 100-109 2 X 10'S 2 X 10'S 2 X 12'S 120-129 12" THICK

GENERAL NOTES FOR CONC AND CMU WALLS

1. THICKNESS, WEIGHT AND POROSITY WILL

DETERMINE STC OF CMU AND CONCRETE

INSULATION MAY BE USED TO ACHIEVE

HIGHER STC.SEE NATIONAL CONCRETE

MASONRY ASSOCIATION MANUAL FOR

2. FOR REINFORCING OF CMU AND CONCRETE

WALLS SEE STRUCTURAL DRAWINGS.

WALLS. ADDITIONAL FURRING AND

STC TESTING.

OR 2, WOOD BLOCKING, IF USED IN WALLS RATED 1 HOUR OR LESS, SHALL BE FIRE RETARDANT. WD BLOCKING NOT ALLOWED IN WALLS RATED 2 HOURS OR HIGHER.

GYPSUM BOARD A. GYP BD TYPE IN RATED ASSEMBLIES, SHALL BE AS SPECIFIED IN REFERENCED UL OR

OTHER TESTING AGENCY DESIGN NUMBERS. B. IN AREAS SUBJECT TO MOISTURE PENETRATION DURING CONSTRUCTION: PROVIDE MOISTURE AND MOLD RESISTANT CORE AND SURFACES.

6. CEMENTITIOUS BACKER BOARD

A. INSTALL CEMENTITIOUS BACKER BD SUBSTRATE AT TUBS AND SHOWERS FOR FULL HEIGHT, AND BEHIND CERAMIC TILE WHERE USED. 7. MASONRY WALLS

A. 4 INCH CMU WALLS: 100 % SOLID WHERE

2 HOUR FIRE RATING REQUIRED. 8. INTERIOR PARTITIONS A. WHEN FIXTURES ARE MOUNTED ON CHASED WALL

USE 3 5/8" METAL STUD. MAITAIN FIRE RATING AND ACOUSTICAL INTEGRITY OF SUCH PARTITION. B. STUDS AND RUNNERS SIZE, THICKNESS AND SPACING AS REQ TO WITHSTAND DESIGN LOAD.

ABBREVIATIONS USED FOR FIRE & SOUND TEST LABS ARE AS FOLLOWS:

ACI = AMERICAN CONCRETE INSTITUTE BBN = BOLT, BERANEK, & NEWMAN INC CDHS = CATALOG OF STC AND IIC RATINGS CA DEPT OF HEALTH SERVICES OFFICE OF NOISE CONTROL BERKLEY, CALIFORNIA

CK = CEDAR KNOLLS ACOUST LAB (NOISE UNLIMITED) GA = FIRE RESISTANCE SOUND CONTROL DESIGN MANUAL CURRENT EDITION 2003 BY GYPSUM

ASSOCIATION NGC = NATIONAL GYPSUM COMPANY NRC = NATIONAL RESEARCH COUNCIL OF CANADA OCF = OWENS/CORNING FIBERGLASS

OR = OHIO RESEARCH CORPORATION RALTL = RIVERBANK ACOUSTICAL LABORATORIES SA = SHINER & ASSOCIATION TMS = THE MASONRY SOCIETY 0216-97 UL = FIRE RESISTANCE DIRECTORY CURRENT

INCORPORATED WHI = WARNOCK HERSEY INTERNATIONAL, INC

EDITION BY UNDERWRITERS LABORATORY

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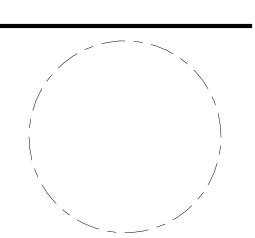
Key Plan

DATE

DATE

Issue

Revisions



Wall Types

PRIL < PRINCIPAL IN CHARGE

SIGN PROJECT ARCHITECT ш DRAWN

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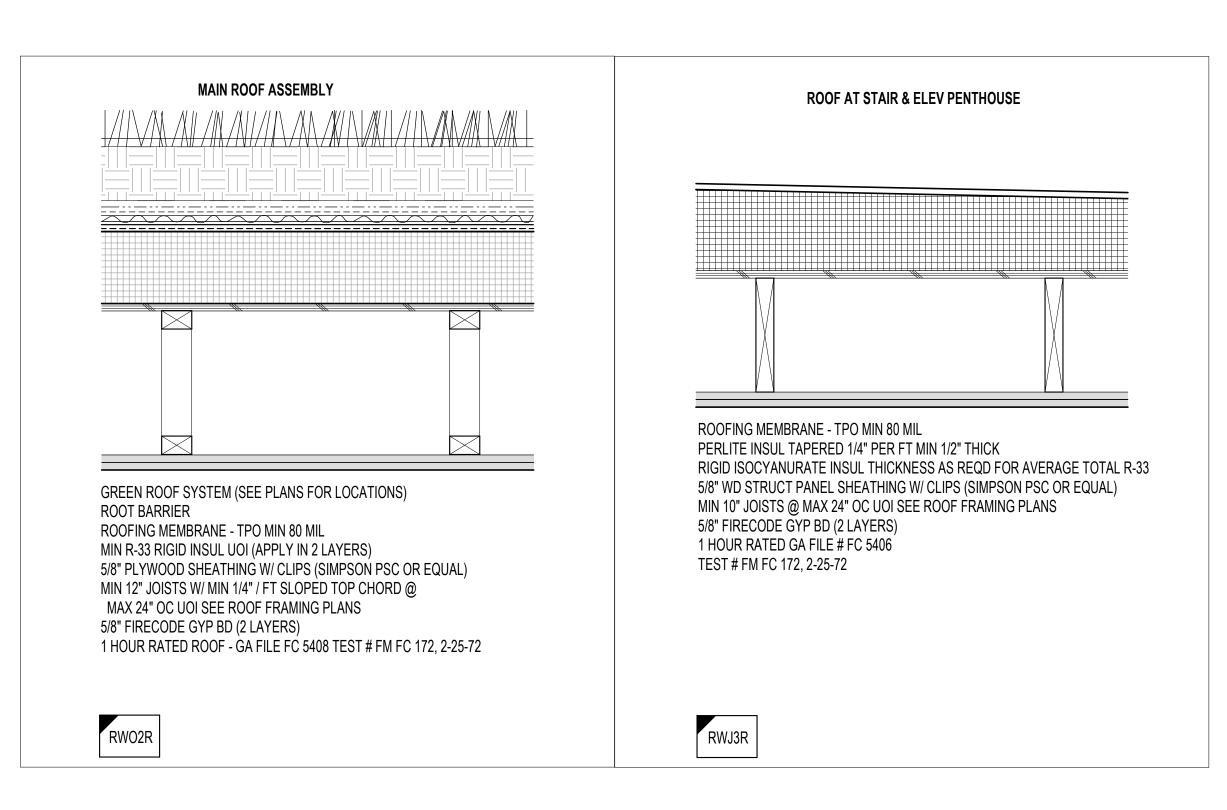
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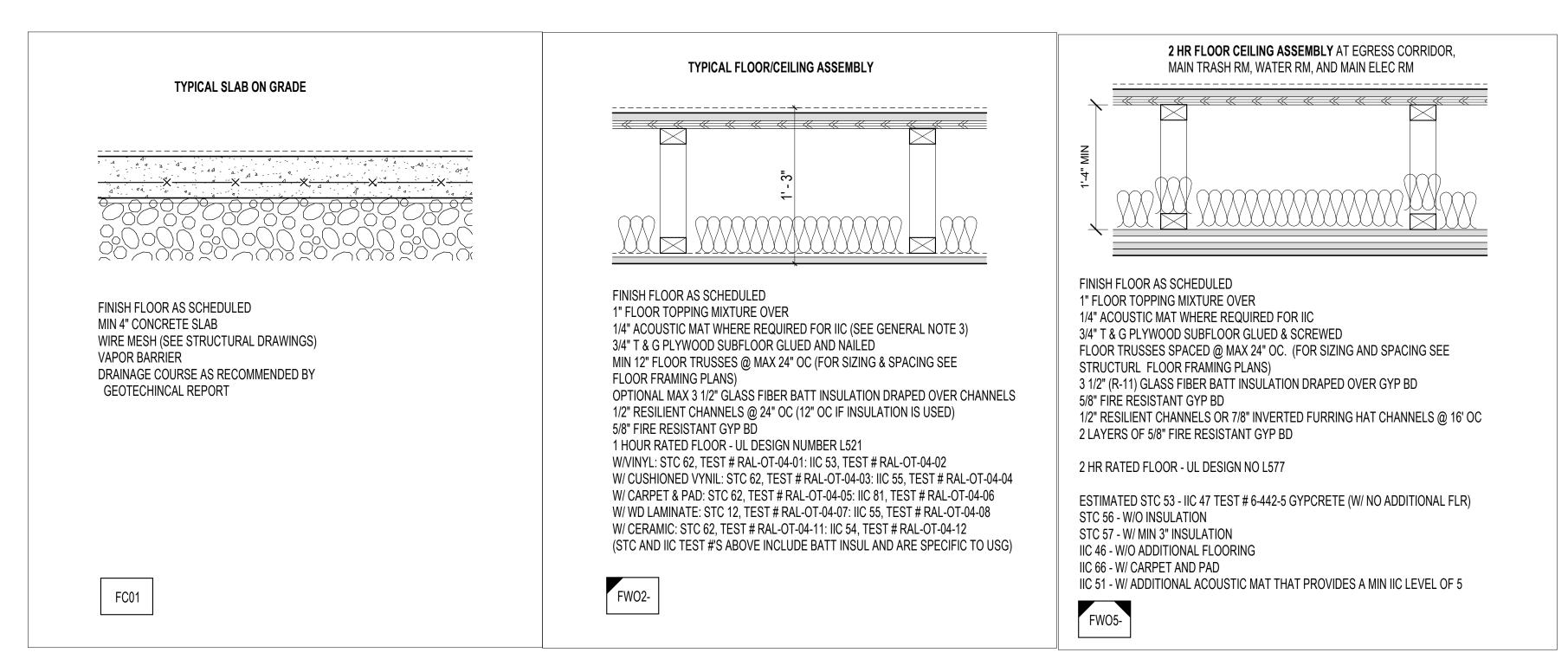
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APPROVED 04/23/21 SCALE: As indicated 18506.00

ROOF ASSEMBLIES



FLOOR ASSEMBLIES



GENERAL NOTES FOR ASSEMBLIES LEGEND FOR WOOD OR STEEL GYPSUM BOARD ROOF ASSEMBLIES RWJ3 ROOF TYPE SYMBOL 2. STC & IIC CORNER SHADING INDICATES FIRE RATING 1/2 CORNER 30 MIN 1 CORNER 1 HR 2 CORNERS 2 HR 3 CORNERS 3 HR 4 CORNERS 4 HR REQUIRE THE FOLLOWING: SOUND TRANSMISSION CLASS (STC) = 50 IMPACT INSULATION CLASS (IIC) = 50 3. TOPPING MIX & ACOUSTIC MAT 1ST LETTER INDICATES FLOOR OR ROOF F FLOOR R ROOF MAT PROVIDED 2ND LETTER INDICATES STRUCTURAL MATERIAL B) IN AREAS WHERE ACOUSTIC MAT IS NOT W WOOD 3RD LETTER INDICATES TYPE OF FRAMING ROOF TRUSSES ROOF RAFTERS JOISTS "I" SHAPED JOISTS AMERICA BOOK: OPEN WEB TRUSSES "I" BEAMS 4TH SPACE IS FOR ASSEMBLY NUMBER 5TH SPACE INDICATES TYPE OF INSULATION IF USED R RIGID INSULATION B BATT INSULATION ASSEMBLIES.) GENERAL NOTES FOR ASSEMBLIES FOR GYPSUM BOARD TYPE IN RATED ASSEMBLIES,
 SEE SPECIFICATIONS IN THE REFERENCED UL DESIGN MANUAL DESCRIPTION OR OTHER TESTING AGENCIES' DESIGN NUMBERS. BASIC WD FLR - CONSISTING FOR BRIDGING SEE STRUCTURAL DRAWINGS. OF WD JST (I-JST, SOLID-SAWN FOR VAPOR BARRIER LOCATION OR TRUSS) 3/4" DECKING & 5/8" GYP WALLBOARD DIRECTLY ATTACHED TO CLG CUSHIONED VIN OR LINOLEUM NON-CUSHIONED VIN OR LINOLEUM 1/2" PARQUET FLOORING 3/4" GYPCRETE OR ELASTIZEL LEGEND FOR WOOD OR STEEL 1 1/2" LT WT CONCRETE FLOOR ASSEMBLIES 1/2" SOUND DEADENING BD (USG) QUIET-COR UNDERLAYMENT BY FWJ3-TARKETT, INC. ENKASONIC BY AMERICAN ENKA COMPANY FLOOR TYPE SYMBOL SEMPAFLOOR BY LAMINATING CORNER SHADING INDICATES FIRE RATING SERVICES, INC. R-19 BATT INSULATION 1/2 CORNER 30 MIN R-11 BATT INSULATION 1 CORNER 1 HR 3" MINERAL WOOL INSUL 2 CORNERS 2 HR RESILIENT CHANNEL 3 CORNERS 3 HR RESILIENT W/ INSUL 4 CORNERS 4 HR EXTRA LAYER OF 5/8" 1ST CHARACTER INDICATES FLOOR OR ROOF GYP WALLBOARD F FLOOR CARPET & PADDING R ROOF 2ND CHARACTER INDICATES STRUCTURAL MATERIAL S STEEL W WOOD 3RD CHARACTER INDICATES TYPE OF FRAMING ADDED IN ORDER TO KEEP THE STRUCTURAL INTEGRITY OF THE ASSEMBLY. "I" SHAPED JOIST OPEN WEB TRUSSES FLOOR, PROVIDE 1/2" SOUND DEADENING BD. 4TH CHARACTER IS FOR ASSEMBLY NUMBER 5TH CHARACTER INDICATES TYPE OF INSULATION IF USED B BATT INSULATION R RIGID INSULATION - NO INSULATION ADDITIONAL FIIC INFORMATION 1. INTERTEK TESTING SERVICE a) REPORT NO. J20052639-004A 3/8" T & G WOOD FLOORING ADHERED TO 1/8" INSULAYMENT DIRECTLY ADHERED TO CONCRETE SLAB b) REPORT NO. J99031102-003 ARMSTRONG LAMINATE FLOORING QUIET FLOOR UNDERLAYMENT CONCRETE SLAB 2. ACOUSTI-TECH ACOUSTIC MEMBRANE TESTS USING ASTM E-1007-90 LAMINATED FLOORS & FLOATING FLOORS TECH 3500TM OVER CONCRETE SLAB FIIC:58 GLUE DOWN ENGINEERED FLOOR ADHERED TO TECH 3500TM

FOR FIRECODE GYPSUM BOARD IN RATED ASSEMBLIES, SEE SPECIFICATIONS IN UL 2009 FIRE RESISTANCE MANUAL & GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL GA - 600 - 2003, 18 TH EDITION IN RESIDENTIAL BUILDINGS FLOOR ASSEMBLIES A) SEE UL DESIGN NO. FOR MINIMUM THICKNESS OF TOPPING MIX REQUIRED ABOVE ACOUSTIC REQUIRED INCREASE THICKNESS OF TOPPING TO SAME LEVEL AS THAT ABOVE ACOUSTIC MAT STC AND IIC ACHIEVED LEVELS GIVEN FOR EACH FLOOR ASSEMBLY ARE BASED ON THE FOLLOWING CHART EXCERPTED FROM THE METAL PLATE CONNECTED WOOD TRUSS HANDBOOK BY THE WOOD TRUSS COUNCIL OF (HIGHER STC AND IIC MIGHT BE ACHIEVED DEPENDING ON PRODUCT USED AND THEIR INDIVIDUAL TESTING ACHIEVED ANY FLOORING MATERIAL CAN BE ADDED OVER THE MIN REQUIRED STC & IIC LEVELS GIVEN ON INDIVIDUAL FLOOR STC HIGH IIC LOW FREQ FREQ 20-25 IN THE 1 HR RATED ASSEMBLIES HAVING A UL TEST NUMBER IN THE L500 SERIES, SOUND BATTEN NEEDS TO BE ADDED TO ACHIEVE THE REQD LEVEL OF STC OR IIC, A SECOND LAYER OF 5/8" GYP BD MUST BE WHEN CERAMIC / MARBLE TILE IS USED AS THE FINISH ADHERED TO CONCRETE SLAB FIIC:58

CERAMIC TILES

CERAMI-TECH TM

CONCRETE SLAB

ADHERED TO

MORTAR

FIIC: 56

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DATE

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Floor and Roof

PRINCIPAL IN CHARGE DESIGN SCALE: As indicated JOB NO. 18506.00

23,

JNIT FINISH SCI	HEDULE	APPLIAN	ICES (KITCHEN	I & LAUN	NDRY)			
		TYPE	DESCRIPTION	MODEL NUMBER	HEIGHT x DEPTH x WIDTH	COMMENT		
	FLOORS: LVT & BASE BD	STANDARD (TYPE B) UN	IITS					
LIVINO DOOM & KITOLIEN	WALL: PAINT - EGGSHELL	REFRIGERATOR	GE ENERGY STAR 18.2 CU. FT.	0774017117	00 7/01 00 4/01 04 4/41			
LIVING ROOM & KITCHEN	CEILING : PAINT FLAT	REPRIGERATOR	TOP-FREEZER REFRIGERATOR	GTE18ITHBB	66 5/8" x 29 1/2" x 34 1/4"			
		RANGE	GE 30" FREE - STANDING ELECTIC RANGE	JBS15MBB	46 7/8" x 27 1/8" x 29 7/8"			
	FLOORS: CARPET & BASE BD. AT SLAB ON GRADE ONLY, FLOORS TO BE LVT	HOOD	GE STANDARD RANGE HOOD	JV33HBB	5 1/2" x 17 1/2" x 29 7/8"			
BEDROOMS	WALL: PAINT - EGGSHELL	DISHWASHER	GE BUILT-IN DISHWASHER	GSD4000DBB	34" x 25 3/4" x 29 7/8"			
	CEILING : PAINT FLAT	OTHER	GE RANGE POWER CORD ACCESSORY	WX9X35				
BATHROOMS	FLOORS: CERAMIC TILE	WASHER	GE ENERGY STAR 3.6 DOE IEC CU FT CAPACITY FRONTLOAD	GFWN1100HWW	39 7/8" x 32" x 27"			
	WALLS: TILE @ TUB/SHOWER SURROUNDING UP TO 6'-0"		FRONT LOAD WASHER					
	PAINT OTHER WALLS - EGGSHELL	DRYER	GE 7.0 CU FT SUPER CAPACITY FRONTLOAD ELECTRIC DRYER	GFDN110EDWW	39 3/8" x 32 3/16" x 27"			
	CEILING : PAINT FLAT							
		ANSI (TYPE A) / UFAS UN	ANSI (TYPE A) / UFAS UNITS					
BACK OF HOUS	SE FINISH SCHEDULE	REFRIGERATOR	GE ENERGY STAR 18.2 CU. FT. TOP-FREEZER REFRIGERATOR	GTE18ITHBB	66 5/8" x 29 1/2" x 34 1/4"	1 BD UNITS		
	FLOORS: LVT		OF ENERGY STAR 24.2 CHIET TOR					
ORRIDORS	WALLS: PAINT	REFRIGERATOR	GE ENERGY STAR 21.2 CU FT TOP- FREEZER REFRIGERATOR	GTE21GTHBB	66 3/4" x 34" x 32 3/4"	2 BD OR MORE UNIT		
	CEILING: PAINTED GYP BD	RANGE	GE 30" FREE - STANDING ELECTIC RANGE	JBP15DMBB	46 7/8" x 27 1/8" x 29 7/8"			
MAIN TRASH ROOM MAIN UTILITY ROOMS	FLOORS: EPOXY SEAL	HOOD	GE STANDARD RANGE HOOD	JV33HBB	5 1/2" x 17 1/2" x 29 7/8"			
ELEC ROOMS/JAN CLOSET	WALLS: EPOXY SEAL		GE BUILT-IN DISHWASHER					
BIKE & OTHER STORAGE RMS	CEILING: PAINT - EGGSHELL	DISHWASHER	WITH HIDDEN CONTROLS	GLDT690DBB	32 11/32" x 24" x 24"			
STAIR ENCLOSURES	FLOORS: LVT	WASHER	GE ENERGY STAR 3.6 DOE IEC CU FT CAPACITY FRONTLOAD	GFWN1100HWW	39 7/8" x 32" x 27"			
717 III LIIOLOOONLO	WALLS: PAINT - EGGSHELL, COLOR TO MACH CORR.		FRONT LOAD WASHER					
	FLOORS: LVT	DRYER	GE 7.0 CU FT SUPER CAPACITY					
YP. FLOOR TRASH ROOM	WALLS: PAINT - EGGSHELL		FRONTLOAD ELECTRIC DRYER	GFDN110EDWW	39 3/8" x 32 3/16" x 27"			
	CEILING: PAINT - EGGSHELL	NUTE. VDDI IVNUE CEI E	ECTIONS GIVEN ABOVE MAY CHANGE BA	SED ON CLIENT DREE	ERENCE OR MARKET PRODUCT	Δ\/ΔΙΙ ΔΒΙΙ ΙΤΥ		

NOTE: AMENITY SPACE FLOORS TO BE DETERMINED

BATHROOM FIXTURE & ACCESSORY SCHEDULE

	ID NO.	TYPE	SIZE AND /OR HEIGHT	COMMENT
WATER OLOGET	WC1	FLOOR MOUNTED	15" HIGH SEAT	
WATER CLOSET	WCH1	FLOOR MOUNTED	17" HIGH SEAT	ACCESSIBLE
BATHTUB	B1	BATHTUB 1	30" X 60"	CEREMIC TILE HEIGHT ABOVE FLOOR AS SHOWN MIN 2" BEYOND TUB BOTH SIDES
SHOWER HEAD & FAUCET	SH1	WALL HUNG	SET HEAD AT 78" HT A.F.F.	W/MIN 60" LONG HOSE(REQ'D FOR FAIRHOUSING UNITS)

	ID NO.	TYPE	SIZE AND /OR HEIGHT	COMMENT
MIRROR	M1	-	WIDTH OF VANITY X 42"H	-
TOWEL BAR	TB1		24" LONG	SEE TYP LOCAION & MOUNTING HEIGHT
TOILET PAPER HOLDER	PH1	SINGLE ROLL	MTD&24"A.F.F	SURFACE MOUNTED
CURTAIN ROD	CR		SET HEAD AT 78" HT A.F.F.	
MEDICINE CABINET	MC		SAME AS LENGTH OF BATHRUB	SET AT 78" HT A.F.F.
SHOWER SEAT		REMOVEABLE		
	GB1H	HORIZONTAL	24" LONG	
GRAB BARS	GB2H	HORIZONTAL	42" LONG	
	GB3H	HORIZONTAL	12" LONG	
	GB4H	HORIZONTAL	36" LONG	
SOAP BOX		CERAMIC	WALL MOUNTED 2'-0" ABOVE FIN FLOOR	ONE PER TUB
CABINETRY				
	ID NO.	TYPE	SIZE AND /OR HEIGHT	COMMENT

36"W X 21"D X 34"H

48" W X 21"D X 34" H

36"W X 21"D X 34"H

36" REMOVEABLE CABINET

48" CABINET

36" CABINET

TYPE AH

TYPE A

TYPE B

742 Georgia Avenue **Preliminary Plumbing Fixtures Schedule**

<u>P-1:</u>

Water Closet (Residential): Toto Model CST743E two-piece round front toilet, 1.28 gallons/flush, free standing close coupled toilet combination, high profile tank, color-matched trip lever, two bolt caps with retainer clips. Color/Finish as selected by Architect. WaterSense labeled. Fitted with: Tank Flushing Device: Gravity tank feed to bowl with backflow prevention, device shall flush with 1.28 gallons. Left or right hand trip lever as required.

Supply Pipe: chromeplated 3/8-inch angle supply pipe to wall with four arm handle control stop, 3/8-inch outside diameter tube riser.

Seat/Cover: Toto SS113 soft-close seat

<u>Finish/Color</u>: As selected by Architect.

<u>P-1A:</u>

Water Closet (Public): American Standard 3461.538 1.28 gpf 16-1/2" Top Spud Bowl and Selectronic Flush Valve. Floormounted elongated vitreous china bowl. ADA accessible. Bowl Model 3461.001 and Flush Valve Model 6065.121. WaterSense labeled, battery-operated flush valve. Color/Finish as selected by Architect. WaterSense labeled. Fitted with: Tank Flushing Device: Gravity tank feed to bowl with backflow prevention, device shall flush with 1.28 gallons. Left or right hand trip lever as required.

Supply Pipe: chromeplated 3/8-inch angle supply pipe to wall with four arm handle control stop, 3/8-inch outside diameter tube riser.

Seat/Cover: Toto SS113 soft-close seat

Finish/Color: As selected by Architect.

Bathtub (Residential): Sterling Ensemble Model 71171110 30" AFD bathtub with left or right hand drain as required. Compression molded Vikrell material with high gloss finish, integral apron, and tile flange. Approximate 60" length x 30" width. Left or right hand drain as required. Fitted with:

<u>Trim:</u> Cleveland Fuacet Group Cornerstone 40311VGR tub/shower trim with slip fit tub spout. 1.75 gpm maximum at 80

<u>Valve</u>: Kohler K-304-KS Rite-Temp pressure-balancing valve with screwdriver stops.

<u>Drain:</u> Kohler K-7161-AF Clearflo 1-1/2" adjustable pop-up drain with above or through-the-floor installations. Solid brass construction and adjustable trip lever pop-up drain. Provide P-trap.

Finish/Color: White

Lavatory (Residential): Lavatory integral to countertop Fitted with:

Faucet, Waste, Tailpiece: Cleveland Faucet Group CA40711H, single handle centerset lavatory faucet with brass drain assembly. Provide 1-1/4-inch tailpiece. 1.5 gpm maximum flow rate. WaterSense labeled.

Supply Pipes: McGuire No. 165, 3/8-inch wall supply, wheel handle stop valve, cast brass

escutcheon and set screw, flexible tube riser.

Trap: McGuire No. 8902 1-1/4 by 1-1/2-inch adjustable P-trap, cast body, cleanout plug, slipinlet, tubing drain to wall, ast brass escutcheon and set screw.

Finish/Color: Polished Chrome.

9/24/2019

7428 GEORGIA AVENUE

EXTERIOR COLOR SCHEDULE

BRICK MASONRY

W32 Tawny Beige, Modular -- Glen Gery

Monar - to match Brick #1

FIBER CEMENT:

Fiber Cement Color #1 (Panel with Aluminum Reveals) -- to match. Sherwin Williams 7674 Peppercom -- Smooth Finish.

Tort Gallas Urban 18506.00

Fiber Ceinent Color #2 (Siding & Adjatent Trim) - to match Sherwin Williams 9103 Farro, Smooth Finish, 47 exposure

CAST STONE BANDS & SILLS Cast Stone Color #2 - RockCast - Shadow

COMPOSITE DECK

Trex Select or Enhance - Clam Shell

RAILINGS

Composite Railings: Trex Reveal - Black

METAL COPING

To Match with adjacent color

STOREFRONTS

Storefront: PPG UC40577 Duranar Black

WINDOWS AND TERRACE DOORS

Vinyl Windows - Black Fiberglass Swinging Terrace Doors - Black

Painted Hollow Metal Doors - Painted to match adjacent wall color

Canopy: PPG UC40577 Duranar Black

LOUVERS / VENTS

To match adjacent wall color

742 Georgia Avenue **Preliminary Plumbing Fixtures Schedule**

<u>P-3A:</u>

Lavatory (Public): Cleveland Faucet Group CA40711H oval undercounter lavatory. Exterior dimensions: 17" length x 14" width. Fitted with:

Faucet, Waste, Tailpiece: Delta 520 ADA, single handle centerset lavatory faucet. Delta MPU brass drain assembly. Provide 1-1/4-inch tailpiece. 1.5 gpm maximum flow rate. WaterSense labeled.

<u>Trim</u>: Where required for accessibility requirements: Moen 8346EP15 single handle pressure balancing shower valve with hand-held shower trim. 1.5 gpm showerhead.

Supply Pipes: McGuire No. 165, 3/8-inch wall supply, wheel handle stop valve, cast brass

escutcheon and set screw, flexible tube riser.

Trap: McGuire No. 8902 1-1/4 by 1-1/2-inch adjustable P-trap, cast body, cleanout plug, slipinlet, tubing drain to wall, cast brass escutcheon and set screw.

Finish/Color: Polished Chrome.

<u>P-4:</u>

Kitchen Sink: Under-mount 16-gauge single bowl, stainless steel kitchen sink. 31" length x 21" width x 6" depth complying with ADA, ICC/ANSI A117.1. Complete with sink strainer and hardware kit.

Faucet, Waste, Tailpiece: Delta 100LF-WF single-handle metal faucet, 1.8 gpm maximum. Finishas selected by Architect. Provide 1-1/4-inch tailpiece.

Supply Pipes: Brass Craft SR-1512-A, chromeplated supply, loose key stop valve, cast brass escutcheon and set screw, flexible tube riser.

Trap: Kohler K-9000, 1-1/2 by 1-1/4-inch chromeplated P-trap, cast body, cleanout plug, slip inlet tubing drain to wall, cast escutcheon and set screw.

Finish/Color: Polished Chrome

AVENUE, NW

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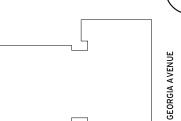
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CIVIL ENGINEER CAS ENGINEERING - DC, LLC 202.393.7200

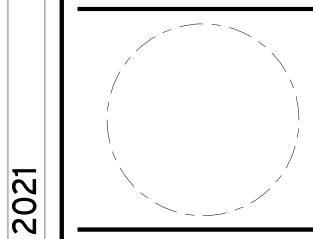
SUSTAINABILITY CONSULTANT SUSTAINABLE DESIGN CONSULTING, LLC 202.667.1620

Key Plan



Issue

Revisions



Finish Schedule

23,

SCHEM,

APRIL PRINCIPAL IN CHARGE DESIGN

PROJECT ARCHITECT DRAWN **APPROVED** 04/23/21 SCALE:

DRAWING NO.

1/4" = 1'-0"

18506.00

VANITY

^{*} LIGHT FIXTURES TO BE BRUSHED NICKEL FINISH, SEE ELEC DWGS FOR TYPES