



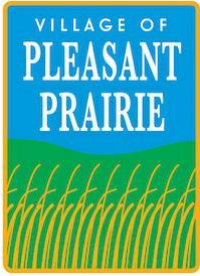
AGENDA

Plan Commission

Village Hall Auditorium
9915 - 39th Avenue
Pleasant Prairie, WI
Monday, October 24, 2022
4:15 PM

1. Call to Order
2. Roll Call
3. Minutes
 - 3.A Consider Approval of the October 17, Plan Commission Meeting Minutes.
[October 17-22.pdf](#)
4. Correspondence
5. Citizen Comments
6. New Business
 - 6.A Public hearing and consider approval of a **Zoning Text Amendment (Ord. #22-29)** for the request of Edward Rich, agent on behalf of OMA LLC, owner of the Culver's of Pleasant Prairie located at 10484 Corporate Drive to create the specific Planned Unit Development Ordinance requirements.
[Ord # 22-29.pdf](#)
[PUD Application.pdf](#)
[2022 ALTA SURVEY.pdf](#)
[2022 Master Site Plan-future right-turn lane on 105th Street.pdf](#)
[1991 Approval Letter.pdf](#)
[CSM #1489.pdf](#)
 - 6.B Public hearing and consider approval of a **Conditional Use Permit, Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement** for the request of Edward Rich, agent on behalf of OMA LLC, owner of the Culver's of Pleasant Prairie restaurant located at 10484 Corporate Drive for the drive-through and outdoor seating.
[Village Staff Report](#)
[CUP# 22-05.pdf](#)
[Exhibit 1-Applications.pdf](#)
[Exhibit 2 CSM #1489.pdf](#)
[Exhibit 3-1991 Approval Letter.pdf](#)
[Exhibit 4-2000 Site and Op Plans-Culvers.pdf](#)
[Exhibit 5-PUD Ord# 22-29.pdf](#)
[Exhibit 6 -2022 Master Site Plan.pdf](#)
[Exhibit 7- DSIS Agreement.pdf](#)
[Exhibit 7-DSIS Access Easement.pdf](#)
7. Adjournment

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk's Office, 9915 – 39th Avenue, Pleasant Prairie, WI (262) 694-1400



MINUTES

Plan Commission

Village Hall Auditorium
9915 - 39th Avenue
Pleasant Prairie, WI
Monday, October 17, 2022
5:00 PM

1. Call to Order
2. Roll Call

PRESENT WERE: Michael Serpe, Wayne Koessl, Judith Juliana, Michelle Burnett and Terry Rice (Alternate #1). Mike Pollocoff, John Skalbeck and Brock Williamson were excused. Also present was Tom Shircel, Assistant Village Administrator, Steve Linn, Communications Director, Jean Werbie-Harris, Community Development Director, Peggy Herrick, Assistant Planner/Assistant Zoning Administrator, Aaron Kramer, Deputy Planning/Deputy Zoning Administrator and Miranda Steinmetz, Administrative Coordinator/Planner I.

3. Minutes

3.A Consider Approval of the October 3, 2022, Plan Commission Meeting Minutes.

Judy Juliana MOVED TO approve the September 19, 2022 Plan Commission Meeting Minutes; SECONDED BY Michelle Burnette; MOTION CARRIED 5-0.

4. Correspondence: None presented.
5. Citizen Comments: None presented.
6. New Business

6.A Public Hearing and consideration of approval of a **Conditional Use Permit including Site and Operational Plans, Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement** for the request of Mark Warren, agent on behalf of KinderCare Learning Companies, Inc., to operate a daycare facility located at 9191 80th Street formerly occupied by Extended Love Daycare.

Jean Werbie-Harris presented the application.

Wayne Koessl MOVED TO approve the Conditional Use Permit including Site and Operational Plans, Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement subject to the comments and conditions set forth in the Plan Commission staff memorandum; SECONDED BY Judy Juliana; MOTION CARRIED 5-0.

6.B Public hearing and consider approval of **Zoning Text Amendments** to the PR-3, Regional Park-Recreational Zoning District regulations.

Jean Werbie-Harris presented the application.

Michelle Burnette MOVED TO approve the Zoning Text Amendments and send a favorable recommendation to the Village Board subject to the comments and conditions set forth in the Plan Commission staff memorandum; SECONDED BY Judy Juliana; MOTION CARRIED 5-0.

6.C Public hearing and consider approval of **Zoning Text Amendments** related regulations in the M-1, Limited Manufacturing and M-2 General Manufacturing Districts.

Jean Werbie-Harris presented the application.

Judy Michelle MOVED TO approve the Zoning Text Amendments and send a favorable recommendation to the Village Board subject to the comments and conditions set forth in the Plan Commission staff memorandum; SECONDED BY Terry Rice; MOTION CARRIED 5-0.

7. Adjournment

Judy Juliana MOVED TO adjourn; SECONDED BY Michelle Burnett; MOTION CARRIED 5-0.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk's Office, 9915 – 39th Avenue, Pleasant Prairie, WI (262) 694-1400



AGENDA ITEM COVER
Plan Commission
October 24, 2022

AGENDA ITEM TITLE:

Public hearing and consider approval of a Zoning Text Amendment (Ord. #22-29) for the request of Edward Rich, agent on behalf of OMA LLC, owner of the Culver's of Pleasant Prairie located at 10484 Corporate Drive to create the specific Planned Unit Development Ordinance requirements.

PROPOSED BY: Community Development

FISCAL IMPACT: No

AGENDA CATEGORY: Action

BUDGETED: No

MEETING TYPE REQUIRED:

Regular

BUDGET TYPE:

STRATEGIC INITIATIVE: No

SUMMARY:

The petitioner is requesting approval of the Culver's of Pleasant Prairie Planned Unit Development (PUD) Ordinance for the existing Culver's restaurant with outdoor seating and a drive-through facility located at 10484 Corporate Drive including the additional parking lot on the property on the south side of 105th Street (a private street).

On August 5, 1991 the Village Board approved CSM #1489 that created four (4) parcels south of STH 165 (104th Street) for a Planned Business Development including approval of plans for the construction of 105th Street, a private street, to provide access to the four (4) properties with the intention of properties being developed with a gasoline facility and restaurants sites. The Village Board also rezoned the properties associated with CSM #1489 into the B-4 (PUD), Planned Business District with a Planned Unit Development Overlay District on August 5, 1991. In 1991, when the properties were created and rezoned into the B-4 (PUD) Districts, the Village did not require a specific PUD text as an Ordinance.

On December 11, 2000 the Plan Commission conditionally approved the Site and Operational Plans for the construction of the Culver's at Pleasant Prairie restaurant with a drive-through, outdoor seating and parking on Parcels 15 and 16 of CSM #1498. At that time the B-4, Planned Business District allowed a restaurant with a drive-through and outdoor seating as a permitted use.

In 2002, the Village amended the Business Zoning Districts and created a new B-4 District with new regulations. The new B-4, Freeway Service Business District regulations allowed a restaurant as a permitted use but a drive-through and outdoor seating are only allowed with approval of a Conditional Use Permit; therefore, the drive-through and outdoor seating uses associated with the permitted restaurant use became classified legal, non-conforming uses.

At this time the property owner has requested approval of a Conditional Use Permit and a Planned Unit Development Ordinance so that the uses, building and site can be classified as legal conforming.

The PUD Ordinance specifies dimensional, design and operational standards for this development. The PUD includes reductions in lot size, building and parking setbacks to accommodate the future widening of Corporate Drive and potential improvements in 105th Street (a private street) and to add a dedicated right turn lane that may be installed as a result of the Wisconsin Department of Transportation recent closure of the median opening west of 105th Street in 120th Avenue (the East Frontage Road).

STAFF RECOMMENDATION:

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve of the Zoning Text Amendment as presented.

[Ord # 22-29.pdf](#)

[PUD Application.pdf](#)

[2022 ALTA SURVEY.pdf](#)

[2022 Master Site Plan-future right-turn lane on 105th Street.pdf](#)

1991 Approval Letter.pdf

CSM #1489.pdf

ORDINANCE # 22-29

**ORDINANCE TO CREATE
CULVERS OF PLEASANT PRAIRIE PLANNED UNIT DEVELOPMENT
PURSUANT TO CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, to create the Culver's of Pleasant Prairie Planned Unit Development (PUD) Ordinance pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

Culver's of Pleasant Prairie Planned Unit Development

- a. It is the intent for the owners of the Culver's of Pleasant Prairie to continue operating the existing restaurant with outdoor seating, a drive-through facility and parking on the sites as legally described below. On August 5, 1991 the Village Board approved CSM #1489 that created four parcels south of STH 165 (104th Street) for a Planned Business Development including approval of plans for the construction of 105th Street, a private street, to provide access to the four properties, with the intention of properties being developed with a gasoline facility and restaurants sites. In 1991, the Village Board also rezoned the properties associated with CSM #1489 into the B-4 (PUD), Planned Business District with a Planned Unit Development Overlay District. In 1991, when the properties were created and rezoned into the B-4 (PUD) Districts, the Village did not require a specific PUD text in the Ordinance.

On December 11, 2000 the Plan Commission conditionally approved the Site and Operational Plans for the construction of the Culver's at Pleasant Prairie restaurant with a drive-through, outdoor seating and parking on Parcels 15 and 16 of CSM #1498. At that time the B-4, Planned Business District allowed a restaurant with a drive-through and outdoor seating as a permitted use.

In 2002, the Village amended the Business Zoning Districts and created a new B-4 District with new regulations. The new B-4, Freeway Service Business District regulations allowed a restaurant as a permitted use but a drive-through and outdoor seating are only allowed with approval of a Conditional Use Permit; therefore, the drive-through and outdoor seating uses associated with the permitted restaurant use became classified as legal, non-conforming uses.

In 2022, the owner requested approval of a Conditional Use Permit and this Planned Unit Development Ordinance so that the uses, building and sites can be classified as legal conforming.

The uses on the properties conform with the Village of Pleasant Prairie adopted Comprehensive Plan and to the underlying B-4, Community Business Zoning District with approval of a Conditional Use Permit. It is the intent that the development will continue to be compatible with the general health, safety, economic prosperity, and welfare of the Village. The maintenance of the buildings, landscaping, dumpster enclosure, parking areas, lighting, signage will promote an attractive and harmonious development of sustained desirability and economic stability that will not adversely affect the property values of the surrounding neighborhood.

- b. Legal Description: The properties are known as Parcels 15 and 16 of CSM 1489 located in U.S. Public Land Survey Section 30, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County,

Wisconsin and further identified as Tax Parcel Numbers 92-4-122-302-0132 and 92-4-122-302-0138 and are hereinafter referred to as the "DEVELOPMENT".

c. Requirements within the DEVELOPMENT:

- (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations except as expressly modified in subsection (d) below.
- (ii) The DEVELOPMENT, including but not limited to, the primary building, signs, dumpster enclosure, landscaping, parking lot, exterior site lighting, fencing, outdoor seating etc., and the DEVELOPMENT as a whole, shall be maintained both inside and outside in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. Maintenance shall be conducted on a regular basis both inside and outside of the building/structures and within the DEVELOPMENT.
- (iii) Building and site modifications (including general building construction modifications and site maintenance) within the DEVELOPMENT shall be made in accordance with the applicable Village Ordinance and Codes at the time the modification is proposed.
- (iv) The building and all exterior additions, remodeling or alterations to the building within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified development, as approved by the Village.
- (v) The DEVELOPMENT shall comply with the Village Site and Operational Plans and Conditional Use Permit #22-05 on file with the Village.
- (vi) The DEVELOPMENT shall comply with the installation and operation of Village approved Digital Security Imaging System (DSIS) system in accordance with the DSIS Agreement and DSIS Access Easement on file with the Village.
- (vii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
- (viii) The DEVELOPMENT shall be operated and maintained in a uniform manner, and shall continue to comply with this PUD, which may be amended from time to time regardless of property ownership. If the DEVELOPMENT, or any portion of the DEVELOPMENT, is sold to another entity(s), the DEVELOPMENT shall continue to operate and be maintained as a unified commercial development. All of the building exteriors shall be maintained. There shall be no painting of the stone or brick on the building, fencing or dumpster enclosure unless expressly approved by the Village.
- (ix) No land divisions shall be allowed within the DEVELOPMENT, unless approved by the Village.

d. Specific Modifications to the Village Ordinance and Regulations and Specific Requirements for the DEVELOPMENT:

- (i) Section 420-121 H, I and J related to the dimensional, design and operational standard in the B-4 District is amended to read as follows:

- H. Dimensional standards. Except as otherwise specifically provided in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, buildings and structures in this DEVELOPMENT shall comply with the following dimensional standards to the extent applicable:
- (1) Lot size: 1.0 acre minimum.
 - (2) Lot frontage on a public or private street: 150 feet minimum.
 - (3) Open space: 25% minimum total for the DEVELOPMENT.
 - (4) Principal building standards:
 - (a) Gross floor area: 4,000 square feet minimum.
 - (b) Height: 35 feet maximum.
 - (c) Setbacks:
 - [1] Street setback: minimum of 50 feet from STH 165 (104th Street); minimum of 30 feet from Corporate Drive; a minimum of 40 feet from the back of curb of 105th Street a private street.
 - [2] Side and rear setbacks: 45 feet minimum.
 - [3] Shore setback: 35 feet minimum.
 - [4] Wetland setback: 25 feet minimum.
- I. Design standards. Except as otherwise specifically provided in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, buildings and structures in the DEVELOPMENT shall comply with the following design standards to the extent applicable:
- (1) Number of principal structures per lot: one maximum.
 - (2) Number of detached accessory buildings and/or detached trash enclosures: none (trash enclosure shall be attached to the principal building).
 - (3) All accessory uses or structures shall be located within the DEVELOPMENT.
 - (4) Site and operational plan requirements pursuant to Article IX of Chapter 420 of the Village Municipal Code.
 - (5) Parking, access and traffic requirements pursuant to Article VIII of Chapter 420 of the Village Municipal Code unless specifically modified by this Ordinance.
 - (6) Sign requirements pursuant to Article X of this chapter of Chapter 420 of the Village Municipal Code. However, at such time as any on-site directional signs or the parking lot is resurfaced or repaved, all freestanding on site information signs shall be replaced. The sign shall not be attached to a "u" channel or similar pole. The post, that is a color complementary to the building, shall be metal post with a top cap that is

- securely mounted to the ground in a permanent manner (not on a movable concrete base).
- (7) Fence requirements pursuant to Article XI Chapter 420 of the Village Municipal Code.
 - (8) Each use, site, building or structure with the DEVELOPMENT shall be designed, laid out, constructed and maintained in full compliance with the approved site and operational plan, any required conditional use permit, required security camera system, any required license and all other applicable provisions of this chapter and of all other Village ordinances and codes.
- J. Operational standards. Except as otherwise specifically provided in in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, building and structures within this DEVELOPMENT shall comply with the following operational standards to the extent applicable:
- (1) Hours of operation (when the public is allowed to enter or remain on site for business purposes): 5:00 a.m. to 12:00 midnight maximum unless extended hours are specifically approved by the Zoning Administrator for special events with approval of a Temporary Use Permit.
 - (2) Except as otherwise specifically permitted by Chapter 420 of the Village Municipal Code, all business activities shall be conducted within the building excluding the drive-through facility and the outdoor seating pursuant to an approved Conditional Use Permit.
 - (3) No outside storage or display of merchandise is allowed.
 - (4) No on-site residential uses are allowed.
 - (5) Each use, site, building and structure shall comply with all applicable performance standards set forth in Section 420-38 of the Village Municipal Code.
 - (6) Each building, structure and site shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
 - (7) Each use, site, building and structure shall be operated in full compliance with the approved site and operational plan, any required conditional use permit, any required license and all other applicable provisions of Chapter 420 of the Village Municipal Code and of all other Village ordinances and codes.
 - (8) The private roadway, 105th Street, shall be maintained and snow plowed/salted as needed to accommodate the access to the parcels in the DEVELOPMENT and the adjacent properties-Parcels 14 and 17 of CSM 1489. Costs associated with 105th

Street is shared by all four (4) properties (Parcels 14, 15, 16 and 17 of CSM 1489.

- (ii) Section 420-48 L related to the setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes) is amended to read as follows:

- L. Setback for parking areas (which includes parking spaces, maneuvering lanes and fire lanes): a minimum setback of 15 feet to the property line adjacent to STH 165 (104th Street); a minimum setback of five feet from the property line adjacent to Corporate Drive; a minimum setback of five feet to the back of curb of 105th Street (a private street); and a minimum setback of 15 feet from all other property lines.

e. Amendments

- i. The PUD regulations for said DEVELOPMENT may be amended pursuant to Section 420-13 of the Village Zoning Ordinance.
 - ii. The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this 24th day of October 2022.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane C. Snell
Village Clerk

Posted: _____
29-Culvers PUD
CODE2206-001



Zoning Map and Zoning Text Amendment Application

Community Development Department
 9915 39th Avenue
 Pleasant Prairie WI 53158
 Phone: 262.925.6717
 Email: communitydevelopment@plprairie.com

The undersigned owner(s)/applicant petitions the Village Board to amend the Village of Pleasant Prairie Zoning Map and or Zoning Text as hereinafter requested related to the following property:

GENERAL INFORMATION

Property Location/Address 10484 Corporate Drive	Tax Parcel Number(s) 92-4-122-302-0132 and 92-4-122-302-0138
Current Zoning B-4 PUD	Proposed Zoning B-4 PUD

ZONING MAP AMENDMENT (check all that apply)

<input type="checkbox"/>	Correct Zoning Map as a result of a wetland staking being completed
<input type="checkbox"/>	Correct Zoning Map as a result of a wetland fill permit obtained by the WI DNR and US ACOE
<input type="checkbox"/>	Other (describe change)

If the property is being zoned into multiple zoning classifications or only a portion of the property is being rezoned (i.e. wetlands area) then submit an exhibit with complete legal description of each zoning classification.

ZONING TEXT AMENDMENT

<input checked="" type="checkbox"/>	Planned Unit Development (PUD) Ordinance
<input checked="" type="checkbox"/>	Other (describe change) Requesting to draft the specific PUD Ordinance requirements since when the property zoned into the B-4 (PUD) District in the early 1990's a specific Ordinance was not required. The PUD Ordinance will ensure that the development can be classified as conforming lots and conforming structures.

If a Planned Unit Development is proposed include a letter indicting the dimensional variations being requested and a statement of Community Benefit as required by Chapter 420 of the Village Municipal Code

If another type of Zoning Text Amendment is being proposed, then include the proposed language of the Zoning Text Amendment being requested.

REQUIRED SIGNATURES

I, hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER	APPLICANT
Print Owners Name OMA, LLC	Company Name OMA, LLC
Print Name of Signatory Edward Rich <small>DocuSigned by:</small>	Print Name of Signatory Edward Rich <small>DocuSigned by:</small>
Signature <i>Edward Rich</i> <small>BE17BEA91CCF499...</small>	Signature <i>Edward Rich</i> <small>BE17BEA91GGF499...</small>
Mailing Address 3270 E. Carrollton Drive	Mailing Address 3270 E. Carrollton Drive
City/State/ZIP Oak Creek, WI 53154	City/State/ZIP Oak Creek, WI 53154
Phone 414-690-7424	Phone 414-690-7424
Email rfamily85@gmail.com	Email rfamily85@gmail.com
Date 10/6/22	Date 10/6/22

2020 zoning map and text amendment application

ALTA/ACSM LAND TITLE SURVEY

GRID NORTH
 WISCONSIN STATE PLANE COORDINATE SYSTEM
 SOUTH ZONE (NAD-83)
 N. LINE OF THE NW 1/4 OF SECTION 30-1-22 BEARS S 89°44'49" W

MAP SCALE IN FEET - ORIGINAL 1"=20'
 20 10 0 20 40 60 80

N. 1/4 CORNER 30-1-22

932.00'

S 89°44'49" W 2500.60'

1568.60'

NW CORNER 30-1-22

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(A), 7(B), 8, 9, 13, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2022.

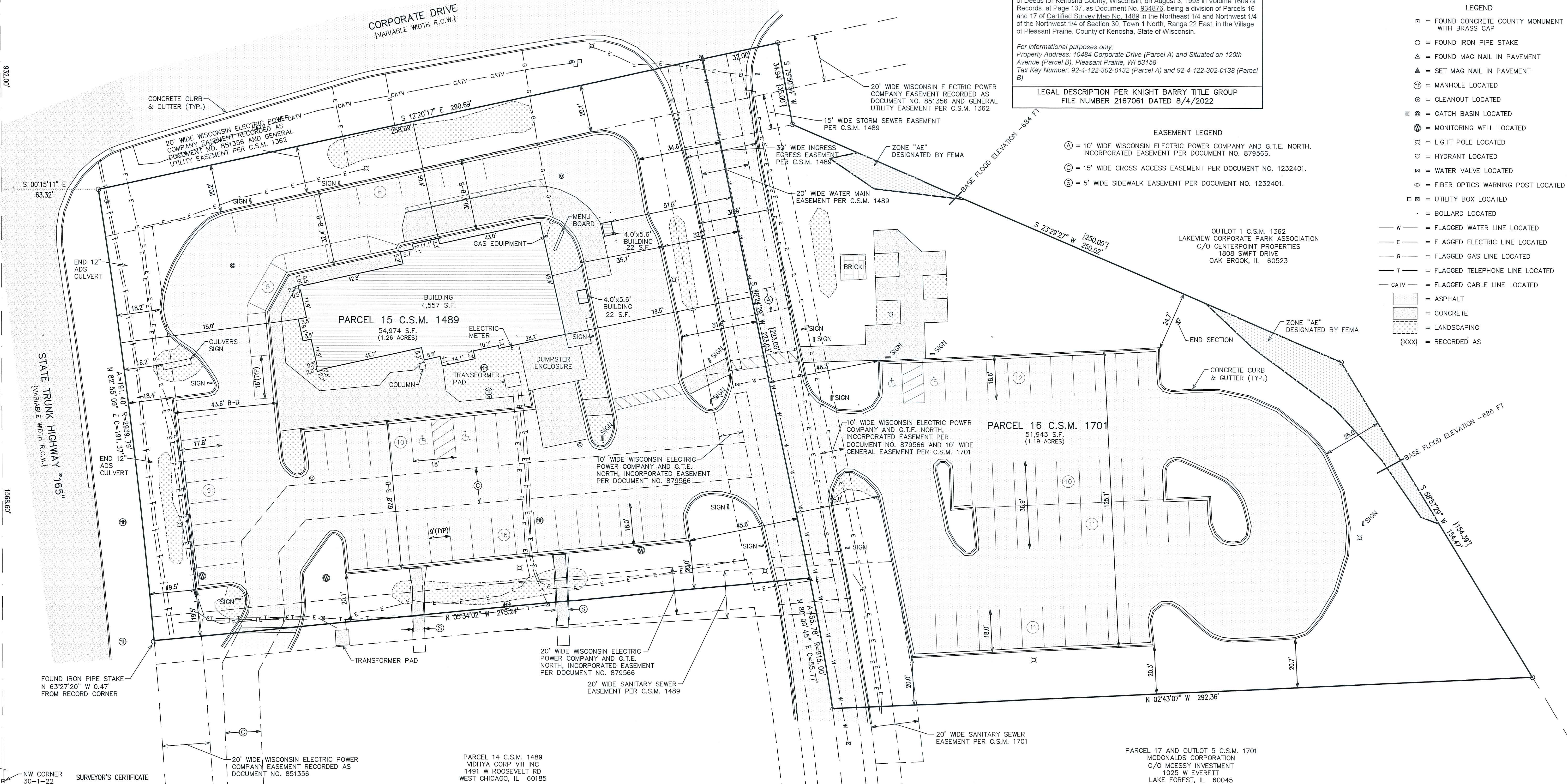
CERTIFIED USERS TO BE THE FOLLOWING:
 BANK FIVE NINE, ISACA
 U.S. SMALL BUSINESS ADMINISTRATION
 BUSINESS LENDING PARTNERS
 KNIGHT BARRY TITLE, INC.
 FIRST AMERICAN TITLE INSURANCE COMPANY

DATE OF PLAT OR MAP: 10/5/2022

CHRISTOPHER A. HODGES P.L.S. 2760



CORPORATE DRIVE
 [VARIABLE WIDTH R.O.W.]



PARCEL A:
 Parcel 15 of Certified Survey Map No. 1489 recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, on August 9, 1991 in Volume 1456 of Records, at Page 153, as Document No. 872385, being a division of Parcel 7 of Certified Survey Map No. 1362 in the Northeast 1/4 of the Northwest 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

PARCEL B:
 Parcel 16 of Certified Survey Map No. 1701 recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, on August 3, 1993 in Volume 1609 of Records, at Page 137, as Document No. 934876, being a division of Parcels 16 and 17 of Certified Survey Map No. 1489 in the Northeast 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

For informational purposes only:
 Property Address: 10484 Corporate Drive (Parcel A) and Situated on 120th Avenue (Parcel B), Pleasant Prairie, WI 53158
 Tax Key Number: 92-4-122-302-0132 (Parcel A) and 92-4-122-302-0138 (Parcel B)

LEGAL DESCRIPTION PER KNIGHT BARRY TITLE GROUP
 FILE NUMBER 2167061 DATED 8/4/2022

EASEMENT LEGEND

(A) = 10' WIDE WISCONSIN ELECTRIC POWER COMPANY AND G.T.E. NORTH, INCORPORATED EASEMENT PER DOCUMENT NO. 879566.
 (C) = 15' WIDE CROSS ACCESS EASEMENT PER DOCUMENT NO. 1232401.
 (S) = 5' WIDE SIDEWALK EASEMENT PER DOCUMENT NO. 1232401.

LEGEND

- ⊠ = FOUND CONCRETE COUNTY MONUMENT WITH BRASS CAP
- = FOUND IRON PIPE STAKE
- △ = FOUND MAG NAIL IN PAVEMENT
- ▲ = SET MAG NAIL IN PAVEMENT
- ⊙ = MANHOLE LOCATED
- ⊕ = CLEANOUT LOCATED
- ⊗ = CATCH BASIN LOCATED
- ⊖ = MONITORING WELL LOCATED
- ⊘ = LIGHT POLE LOCATED
- ⊙ = HYDRANT LOCATED
- ⊗ = WATER VALVE LOCATED
- ⊙ = FIBER OPTICS WARNING POST LOCATED
- ⊠ = UTILITY BOX LOCATED
- = BOLLARD LOCATED
- W — = FLAGGED WATER LINE LOCATED
- E — = FLAGGED ELECTRIC LINE LOCATED
- G — = FLAGGED GAS LINE LOCATED
- T — = FLAGGED TELEPHONE LINE LOCATED
- CATV — = FLAGGED CABLE LINE LOCATED
- ▭ = ASPHALT
- ▭ = CONCRETE
- ▭ = LANDSCAPING
- {XXX} = RECORDED AS

OUTLOT 1 C.S.M. 1362
 LAKEVIEW CORPORATE PARK ASSOCIATION
 C/O CENTERPOINT PROPERTIES
 1808 SWIFT DRIVE
 OAK BROOK, IL 60523

PARCEL 16 C.S.M. 1701
 51,943 S.F.
 (1.19 ACRES)

PARCEL 14 C.S.M. 1489
 VIDHYA CORP VII INC
 1491 W ROOSEVELT RD
 WEST CHICAGO, IL 60185

PARCEL 17 AND OUTLOT 5 C.S.M. 1701
 MCDONALDS CORPORATION
 C/O MCESSY INVESTMENT
 1025 W EVERETT
 LAKE FOREST, IL 60045

FEMA FLOODPLAIN INFORMATION:
 SITE LOCATED ON FEMA PANEL 55059C0189D EFFECTIVE JUNE 19, 2012
 PANEL DESIGNATED IMPROVEMENTS ON SITE "OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" - ZONE "X" WITH THE EXCEPTION OF THE AREAS DESIGNATED WITH "BASE ELEVATION DETERMINED" - ZONE "AE"

PARKING SUMMARY

TOTAL PARKING - 90 SPACES
 HANDICAP PARKING - 4 SPACES
 APPARENT DRIVE-THRU PARKING - 11 SPACES

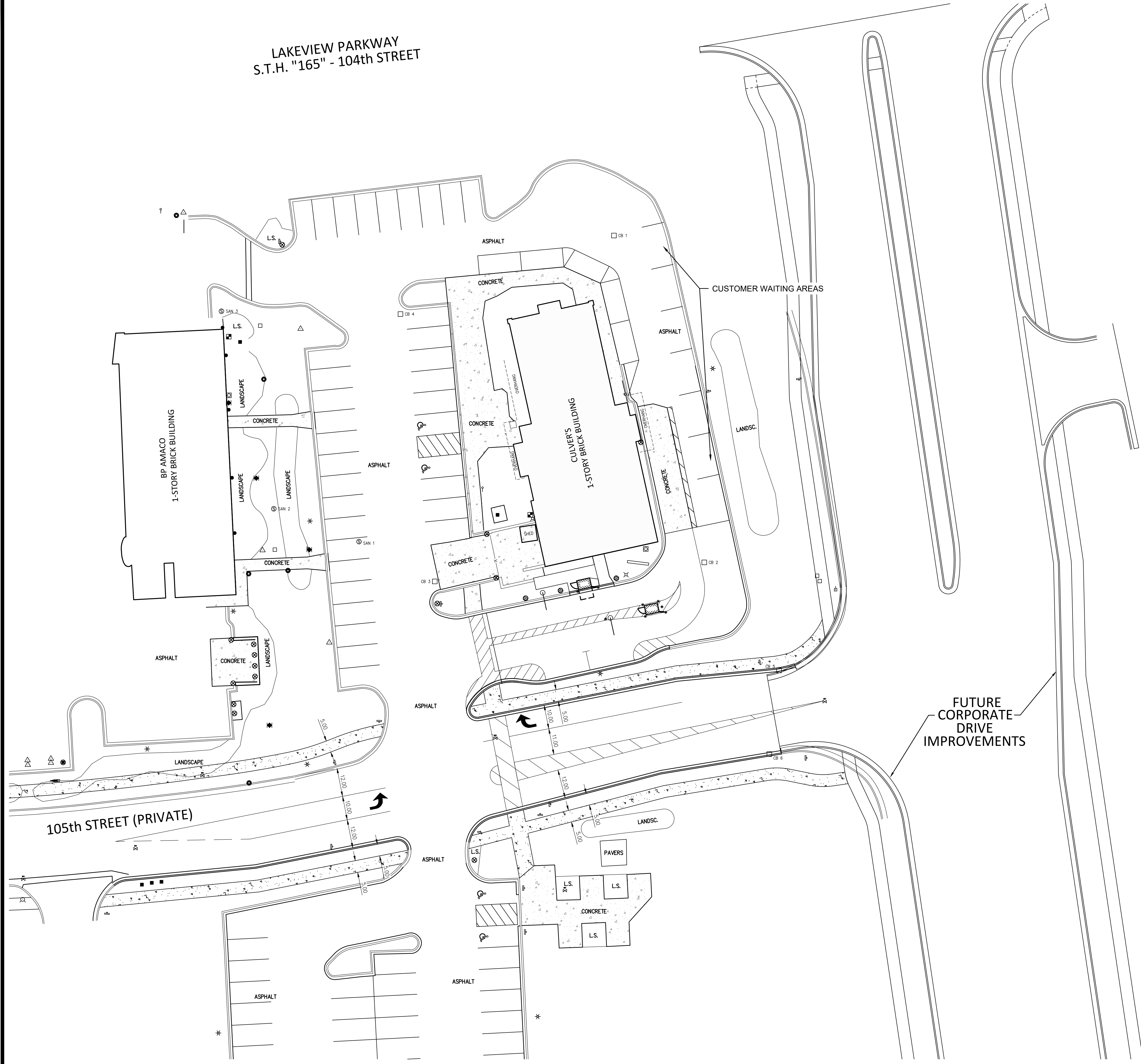
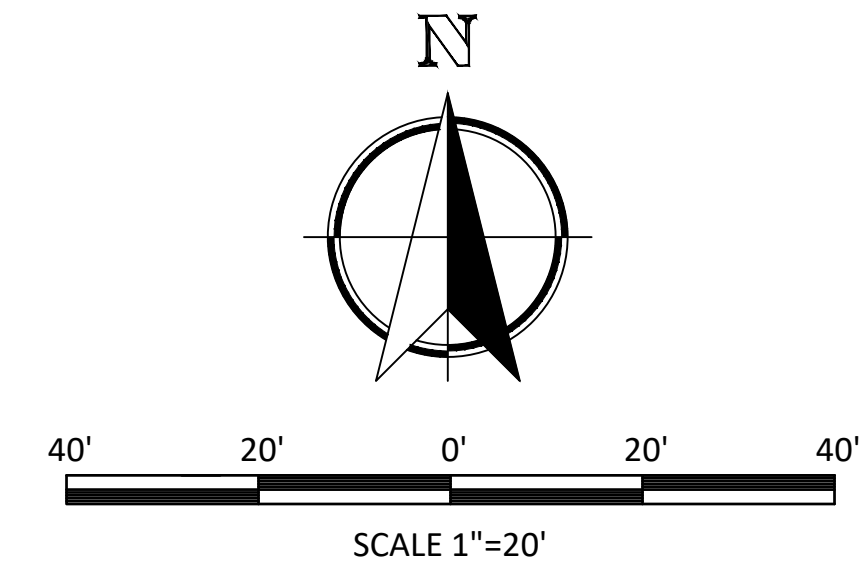
NOTE: PRESUMABLY, THE EASEMENT DESCRIBED IN TITLE EXCEPTION 12, RECORDED AS DOCUMENT NO. 514913, HAS EXPIRED AS IT SEEMS UNLIKELY THAT "TREATED SEWAGE" IS "ALLOWED TO FLOW IN EXISTING OR POTENTIAL SURFACE DRAINAGE PATTERNS" ANYWHERE NEAR, MUCH LESS ACROSS, THE LANDS SURVEYED.

THE EASEMENT DESCRIBED IN TITLE EXCEPTION 13, RECORDED AS DOCUMENT NO. 780380 IS NORTH AND WEST OF THE LANDS SURVEYED HEREON.

<p>ALTA/ACSM LAND TITLE SURVEY</p> <p>10484 CORPORATE DRIVE PLEASANT PRAIRIE, WISCONSIN</p>	<p>— WORK ORDERED BY — WINAND & LOUDENSLAGEL LAW GROUP, LLC 800 WAUKEGAN ROAD, SUITE #201 GLENVIEW, IL 60025</p>	<p>FARRIS, HANSEN & ASSOCIATES, INC.</p> <p>ENGINEERING - ARCHITECTURE - SURVEYING</p> <p>7 RIDGWAY COURT P.O. BOX 437 ELKHORN, WISCONSIN 53121</p> <p>OFFICE: (262) 723-2098 FAX: (262) 723-5886</p>	<p>REVISIONS</p> <p>10-7-22 ADDED PARKING DIM AND SB'S</p>	<p>PROJECT NO. 10739</p> <p>DATE 09/02/2022</p> <p>SHEET NO. 1 OF 1</p>
			<p>DATE OF PLAT OR MAP: 10/5/2022</p> <p>CHRISTOPHER A. HODGES P.L.S. 2760</p>	

X:\PROJECTS\10739_VACAD\10739.dwg

LAKEVIEW PARKWAY
S.T.H. "165" - 104th STREET



Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd., Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Website: www.nmbssc.net

CULVER'S OF PLEASANT PRAIRIE
 MASTER SITE PLAN
 10484 CORPORATE DRIVE, PLEASANT PRAIRIE, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
 DRAFTED: _____ JEG
 DATE: 4-14-2022
 CHECKED: _____ MDE
 DATE: 4-14-2022

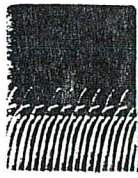
2022.0007.01
 SHEET
1 OF **1**

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 www.DiggersHotline.com

UTILITY NOTE
 EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

ISSUE FOR REVIEW (4-14-2022)

VILLAGE OF

PLEASANT
PRAIRIE

August 13, 1991

Mr. Lewis R. Dixon
8400 LakeView Parkway
P.O. Box 180
Pleasant Prairie, WI 53158

Dear Mr. Dixon:

Please let this letter serve as formal notice that on Monday, August 5, 1991, the Village Board of the Village of Pleasant Prairie approved your request that the zoning be changed from B-4, Planned Business District to B-4, with a PUD, Planned Unit Development Overlay District.

The Zoning Map Amendment affected the properties identified as Tax Parcel Number 92-4-122-302-0113-0 (Parcel 7 of CSM #1362) located south of STH 165 and east of 120th Avenue in the Village. See the attached map for the delineation of the zoning for the property.

The Zoning Map Amendment was granted subject to the following conditions:

1. Meter manholes for each sanitary lateral will be required.
2. DIHLR approval of the utilities will be required if they are to be privately owned rather than dedicated public facilities as listed on the plans.
3. WDOT permits will be required for the driveway entrance along 120th avenue as well as for the utility construction along STH 165. Copies of the permits shall be provided to the Village.
4. Clarification should be provided regarding what portions of the common access roadway are to be constructed at the time the Amoco site is developed. The entire width of the interior

roadway shall be installed or an alternate would be to construct a temporary pavement along the southern half of the access road.

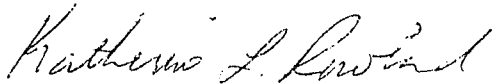
5. All sanitary sewer and water main, including water services shall be extended under any portion of the access roadway that will be built at this time.
6. Sanitary sewer service must be maintained along STH 165 during construction of the new manhole. A temporary plug shall be installed during construction in the 8-inch line south from the new manhole.
7. End sections shall be provided at all storm sewer outfalls.
8. The access road approach along 114th Avenue shall be constructed to Village specifications including concrete and bituminous pavement.
9. All hydrants shall meet the Village specifications. An alternative water main alignment along 114th Avenue could be considered which would consist of a new 8-inch connection to the existing 16-inch water main rather than using the existing 8-inch service.
10. The storm sewer in parcel 15 shall be connected to the outfall in Parcel 16 rather than to STH 165.
11. Site and Operational Plan approval will be required for the other three proposed business prior to commencing any construction activities.
12. Erosion control measures such as silt fencing and graveled entrances shall be utilized on the entire development site where applicable. An erosion control application and plan shall be submitted for review and a permit shall be issued prior to commencing construction activities.

Lewis Dixon
August 13, 1991
Page 3

Advised set of plans addressing the aforementioned items will be required prior to final approval.

Should you have any questions regarding this information, please do not hesitate to contact Jean Werbie at the Village Municipal Building at (414) 694-1400.

Sincerely,



Katherine L. Rowland
Assistant Village Planner and
Deputy Zoning Administrator

MRP/kr/jr

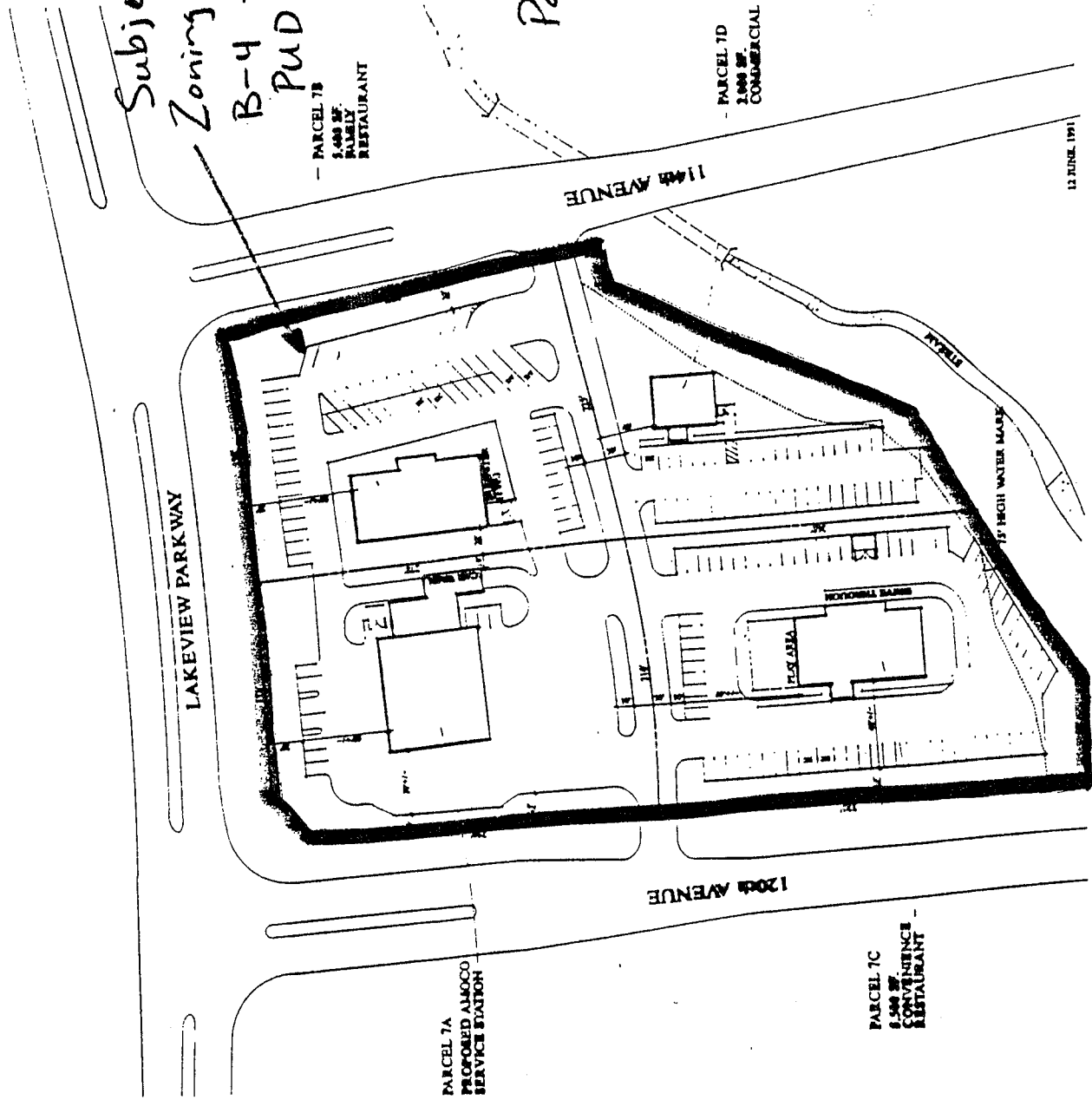
Encl:

CC: Mr. Michael R. Pollocoff
Mrs. Jean M. Werbie

Subject Property
Zoning Map Amendment
B-4 to B-4 with a
PUD overlay.

Parcel 7 CSM # 1362

PARCE
PLANNED
DEVELOP
LAKEVIEW
PSI Design



PARCEL 7A
SITE AREA: 1.4 ACRES
LAND COVERAGE: .58 ACRES
% COVERED: 72%
TOTAL PARKING: 14 STALLS

PARCEL 7B
SITE AREA: 1.7 ACRES
LAND COVERAGE: .31 ACRES
% COVERED: 65%
TOTAL PARKING: 63 STALLS
2 EV.

PARCEL 7C
SITE AREA: 1.4 ACRES
LAND COVERAGE: 1.11 ACRES
% COVERED: 64%
TOTAL PARKING: 70 STALLS

PARCEL 7D
SITE AREA: .51 ACRES
LAND COVERAGE: .48 ACRES
% COVERED: 48%
TOTAL PARKING: 41 STALLS

PARCEL 7 TOTALS:
TOTAL SITE AREA: 5.03 ACRES
TOTAL LAND COVERAGE: 3.33 ACRES
TOTAL % COVERED: 64%

PARCEL 7A
PROPOSED ALAMO
SERVICE STATION

PARCEL 7C
6,400 SF
CONVENIENCE
RESTAURANT

PARCEL 7D
2,000 SF
COMMERCIAL

PARCEL 7B
2,400 SF
SALAMI'S
RESTAURANT

12 JUNE 1991

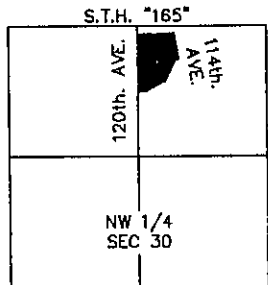
872365

CERTIFIED SURVEY MAP No. 1489
 BEING A DIVISION OF PARCEL 7
 OF CERTIFIED SURVEY MAP No. 1362
 IN THE NE 1/4 OF THE NW 1/4 OF
 SECTION 30, TOWN 1 NORTH, RANGE 22 EAST
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

REGISTER'S OFFICE
 Kenosha County, Wis.) S: S:
 RECORDED AT 2530

ON AUG 9 1991 IN
 RECORDS 1456 pg 153-53

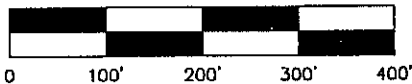
Donna Dietman



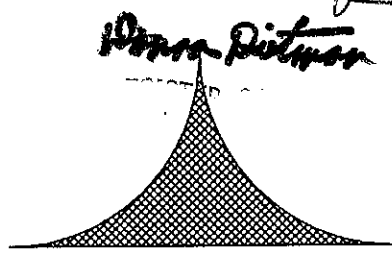
LOCATION MAP
 T 1 N, R 22 E
 NOT TO SCALE

HNTB

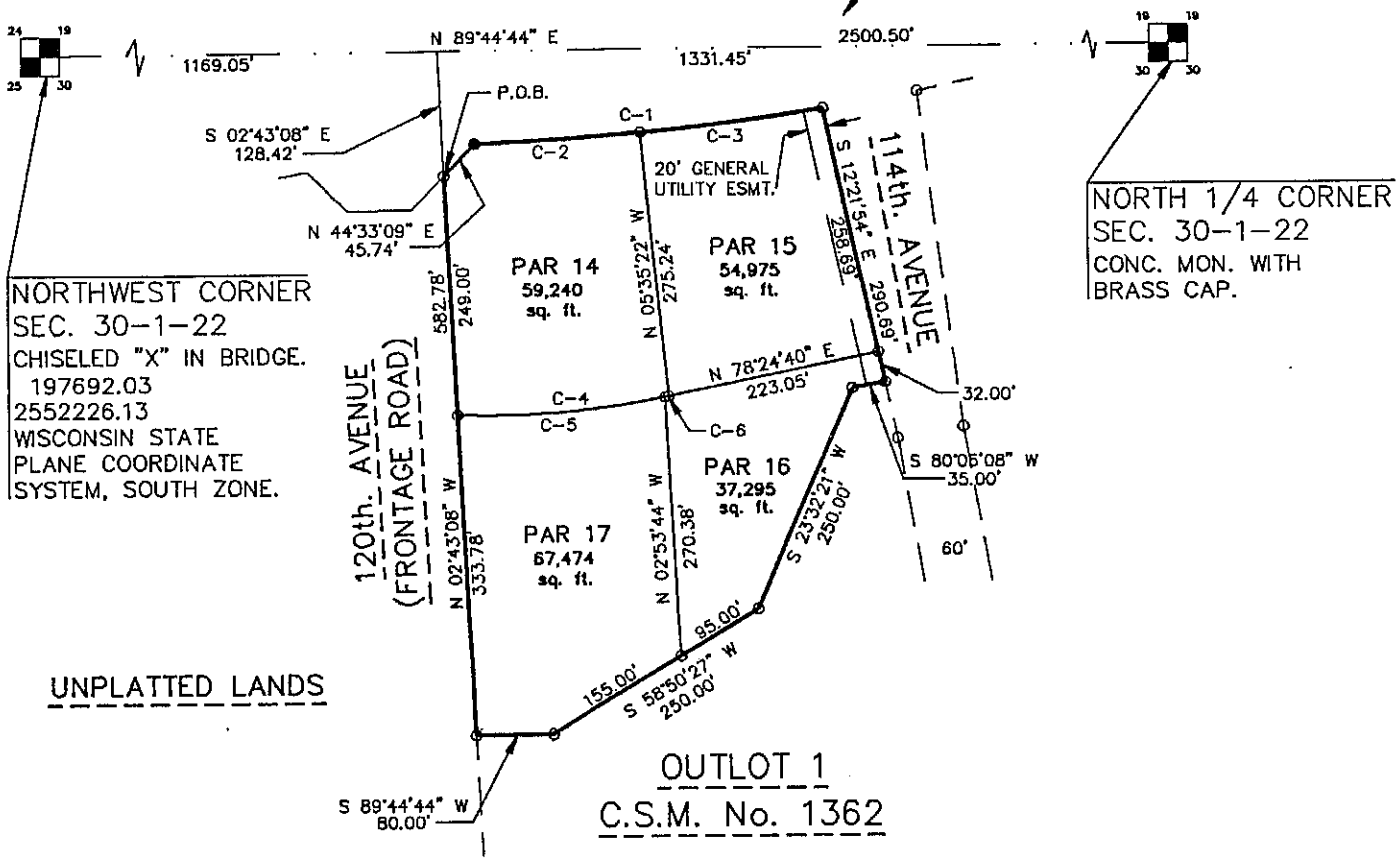
11270 WEST PARK PLACE
 MILWAUKEE, WISCONSIN
 53224 414-359-2300



SCALE: 1" = 200'



LAKEVIEW PARKWAY
S.T.H. "165" - 104th. ST.
 (WIDTH VARIES)



NORTHWEST CORNER
 SEC. 30-1-22
 CHISELED "X" IN BRIDGE.
 197692.03
 2552226.13
 WISCONSIN STATE
 PLANE COORDINATE
 SYSTEM, SOUTH ZONE.

NORTH 1/4 CORNER
 SEC. 30-1-22
 CONC. MON. WITH
 BRASS CAP.

UNPLATTED LANDS

OUTLOT 1
C.S.M. No. 1362

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-1	2939.79'	363.41'	363.17'	N 84°36'06" E	07°04'58"
C-2	2939.79'	172.00'	171.98'	N 86°28'01" E	03°21'08"
C-3	2939.79'	191.41'	191.37'	N 82°55'32" E	03°43'50"
C-4	915.00'	220.00'	219.47'	N 85°17'57" E	13°46'34"
C-5	915.00'	216.00'	215.50'	N 85°25'28" E	13°31'32"
C-6	915.00'	4.00'	4.00'	N 78°32'11" E	00°15'02"

NOTES:
 ○ INDICATES 1" X 24" IRON PIPE
 ○ WEIGHING 1.13 LBS. PER LINEAL FOOT.
 ● INDICATES FOUND AND ACCEPTED 5/8" IRON ROD WITH PLASTIC CAP.
 ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE NORTH LINE OF THE NW 1/4 OF SECTION 30-1-22 WAS USED AS N 89°44'44" E.



DATED THIS 20th DAY OF JUNE, 1991.

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1666, JOB No. 14566, SHEET 1 OF 5

CSM # 1489

CERTIFIED SURVEY MAP No. _____

BEING A DIVISION OF PARCEL 7
 OF CERTIFIED SURVEY MAP No. 1382
 IN THE NE 1/4 OF THE NW 1/4 OF
 SECTION 30, TOWN 1 NORTH, RANGE 22 EAST
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

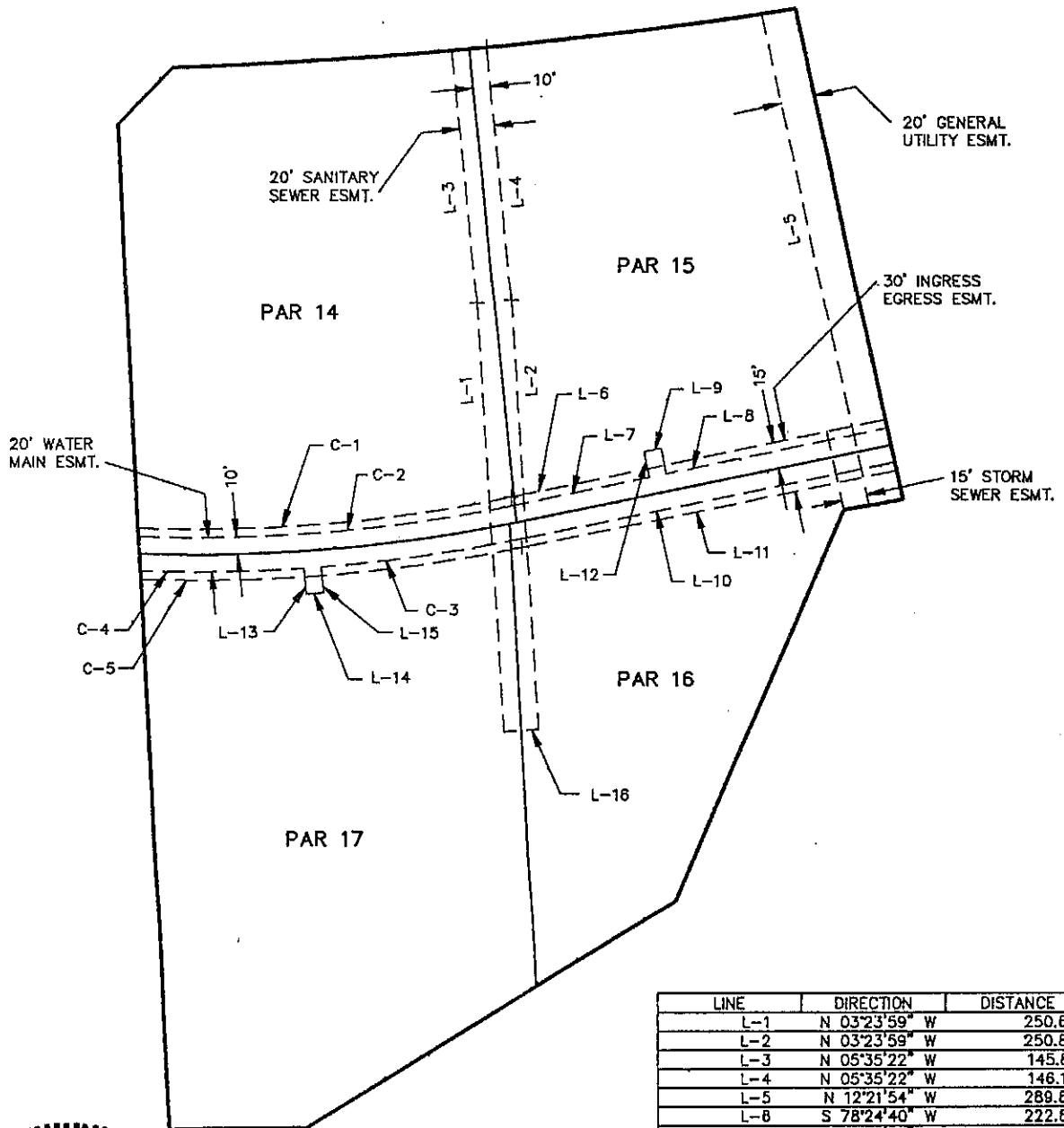
HNTB

11270 WEST PARK PLACE
 MILWAUKEE, WISCONSIN
 53224 414-398-2300

EASEMENT DETAIL

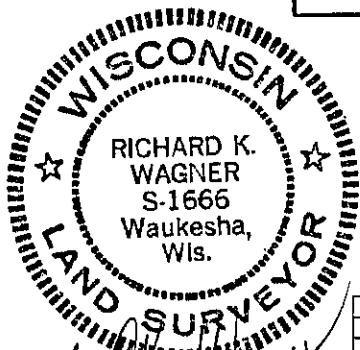


SCALE: 1" = 100'



LINE	DIRECTION	DISTANCE
L-1	N 03°23'59" W	250.69'
L-2	N 03°23'59" W	250.89'
L-3	N 05°35'22" W	145.81'
L-4	N 05°35'22" W	146.19'
L-5	N 12°21'54" W	289.83'
L-6	S 78°24'40" W	222.85'
L-7	S 78°24'40" W	81.00'
L-8	S 78°24'40" W	131.91'
L-9	S 78°24'40" W	10.00'
L-10	S 78°24'40" W	223.19'
L-11	S 78°24'40" W	223.25'
L-12	N 11°35'20" W	15.00'
L-13	N 04°42'03" W	15.16'
L-14	S 85°17'57" W	10.00'
L-15	N 04°42'03" W	14.96'
L-16	S 86°38'01" W	20.00'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-1	900.00'	217.68'	217.15'	N 85°20'24" E	13°51'29"
C-2	905.00'	218.45'	217.92'	N 85°19'35" E	13°49'49"
C-3	925.00'	116.20'	116.13'	N 82°00'36" E	07°11'52"
C-4	925.00'	95.34'	95.30'	N 89°10'52" E	05°54'21"
C-5	930.00'	222.32'	221.79'	N 85°15'34" E	13°41'48"



Richard K. Wagner

DATED THIS 20th. DAY OF JUNE, 1991.

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1666, JOB No. 14566, SHEET 2 OF 5

PLOT DATE: 01 JUN 91 09:51

CERTIFIED SURVEY MAP NO. _____

Being a division of Parcel 7 of
C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of
Section 30, Town 1 North, Range 22 East,
Village of Pleasant Prairie, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE:

State of Wisconsin)
) SS
County of Waukesha)

I, RICHARD K. WAGNER, Registered Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped all of Parcel 7 of Certified Survey Map No. 1362, recorded on June 13, 1990, in Volume 1398 of Records, on Pages 897 thru 900, as Document No. 844572, in the Northeast 1/4 of the Northwest 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of said Section 30, thence N89° 44' 44" East along the North line of said Northwest 1/4 Section, 1169.05 feet; thence South 02° 43' 08" East, 128.42 feet to the place of beginning of the following description;

Thence North 44° 33' 09" East, 45.74 feet to a point in the South line of S.T.H. 165 and a point in a curve; thence Northeasterly 363.41 along the South line of said highway and the arc of said curve, whose center lies to the North, whose radius is 2939.79 feet and whose chord bears North 84° 36' 06" East, 363.17 feet to the West line of 114th Avenue; thence South 12° 21' 54" East, 290.69 feet; thence South 80° 05' 08" West, 35.00 feet; thence South 23° 32' 21" West, 250.00 feet; thence South 58° 50' 27" West, 250.00 feet; thence South 89° 44' 44" West, 80.00 feet to the East line of 120th Avenue (Frontage Road); thence North 02° 43' 08" West and along the East line of said 120th Avenue, 582.78 feet to the place of beginning.

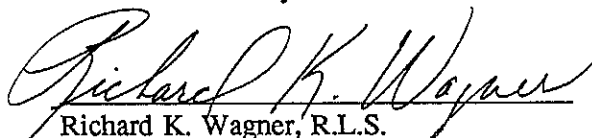
Containing in all 5.027 acres of land, more or less.

That I have made such survey, land division and map by the direction of WISPARK Corporation, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Subdivision Control Ordinance in surveying, dividing and mapping the same.

Dated this 20th day of June, 1991


Richard K. Wagner, R.L.S.
Registered Land Surveyor, S-1666



CERTIFIED SURVEY MAP NO. _____

Being a division of Parcel 7 of
C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of
Section 30, Town 1 North, Range 22 East,
Village of Pleasant Prairie, Kenosha County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

WISPARK Corporation, a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described in the foregoing affidavit of Richard K. Wagner, to be surveyed, divided and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Subdivision Control Ordinance.

In Witness whereof, the said WISPARK Corporation, has caused these presents to be signed by Jerold P. Franke its Vice President, and countersigned by John H. Goetsch, its secretary, at _____, this 9th day of July, 1991.

WISPARK Corporation:

[Signature]
Vice President.

[Signature]
Secretary

State of Wisconsin)
) SS
Kenosha County)

Personally came before me this 9th day of July, 1991, the above named Jerold P. Franke, Vice President, and John H. Goetsch, secretary, of the above named corporation, to me known to be such Vice President and secretary of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation by its authority.

[Signature]

Notary Public, Kenosha County, Wisconsin
My Commission Expires: October 20th, 1991

DATED THIS 20TH DAY OF JUNE, 1991



[Signature]

CERTIFIED SURVEY MAP NO. _____

Being a division of Parcel 7 of
C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of
Section 30, Town 1 North, Range 22 East,
Village of Pleasant Prairie, Kenosha County, Wisconsin.

VILLAGE PLAN COMMISSION APPROVAL:

This certified survey map is hereby approved by the Plan Commission of the Village of Pleasant Prairie on this 24th day of July, 1991.

Wayne E. Koessl
Chairman of Village Plan Commission

VILLAGE BOARD APPROVAL:

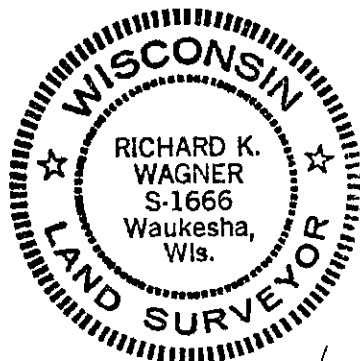
Resolved that this certified survey map, being a division of Parcel 7 of C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved by the Village Board of Trustees of the Village of Pleasant Prairie on this 5th day of August, 1991.

Therese [Signature]
Village President

ATTEST:

Donald H. Wruck
Village Clerk

DATED THIS 20TH DAY OF JUNE, 1991.



Richard K. Wagner

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1666
JOB NO. 14566

SHEET 5 OF 5



AGENDA ITEM COVER
Plan Commission
October 24, 2022

AGENDA ITEM TITLE:

Public hearing and consider approval of a Conditional Use Permit, Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement for the request of Edward Rich, agent on behalf of OMA LLC, owner of the Culver's of Pleasant Prairie restaurant located at 10484 Corporate Drive for the drive-through and outdoor seating.

PROPOSED BY: Community Development

FISCAL IMPACT: No

AGENDA CATEGORY: Action

BUDGETED: No

MEETING TYPE REQUIRED:

Regular

BUDGET TYPE:

STRATEGIC INITIATIVE: No

SUMMARY:

See attached Village Staff Report.

STAFF RECOMMENDATION:

Village Staff recommends approval of the Conditional Use Permit, DSIS Agreement and DSIS Access Easement subject to compliance with the conditions of the attached Village Staff Report.

[Village Staff Report](#)

[CUP# 22-05.pdf](#)

[Exhibit 1-Applications.pdf](#)

[Exhibit 2 CSM #1489.pdf](#)

[Exhibit 3-1991 Approval Letter.pdf](#)

Exhibit 4-2000 Site and Op Plans-Culvers.pdf

Exhibit 5-PUD Ord# 22-29.pdf

Exhibit 6 -2022 Master Site Plan.pdf

Exhibit 7- DSIS Agreement.pdf

Exhibit 7-DSIS Access Easement.pdf

VILLAGE STAFF REPORT OF OCTOBER 24, 2022

As a part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's requests as presented and described below:

Findings:

1. The petitioner is requesting approval of a Conditional Use Permit and the Culver's of Pleasant Prairie Planned Unit Development (PUD) Ordinance for the existing restaurant with outdoor seating and a drive-through facility located at 10484 Corporate Drive including the additional parking lot on the property on the south side of 105th Street (a private street). See **Exhibit 1** of the applications.
2. The properties are known as Parcels 15 and 16 of CSM 1489 located in U.S. Public Land Survey Section 30, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Numbers 92-4-122-302-0132 and 92-4-122-302-0138
3. On August 5, 1991 the Village Board approved CSM #1489 (**Exhibit 2**) that created four (4) parcels south of STH 165 (104th Street) for a Planned Business Development including approval of plans for the construction of 105th Street, a private street, to provide access to the four (4) properties, with the intention of properties being developed with a gasoline facility and restaurants sites. The Village Board also rezoned the properties associated with CSM #1489 into the B-4 (PUD), Planned Business District with a Planned Unit Development Overlay District on August 5, 1991 (**Exhibit 3**). In 1991, when the properties were created and rezoned into the B-4 (PUD) Districts, the Village did not require a specific PUD text in the Ordinance.
4. On December 11, 2000 the Plan Commission conditionally approved the Site and Operational Plans for the construction of the Culver's at Pleasant Prairie restaurant with a drive-through and outdoor seating on Parcels 15 and 16 of CSM #1498 (**Exhibit 4**). At that time the B-4, Planned Business District allowed a restaurant with a drive-through and outdoor seating as a permitted use.
5. In 2002, the Village amended the Business Zoning Districts and created a new B-4 District. The new B-4, Freeway Service Business District regulations allowed a restaurant with a drive-thru and outdoor seating only with approval of a Conditional Use Permit; therefore, this use became classified as legal, non-conforming use. Therefore, with approval of this Conditional Use Permit and Planned Unit Development Ordinance the uses, building and site will be classified as legal conforming.
6. The PUD Ordinance #22-29 (**Exhibit 5**) specifies dimensional, design and operational standards for this development. The PUD includes reductions in lot size, building and parking setbacks to accommodate the future widening of Corporate Drive and potential improvements in 105th Street (a private street) to add a dedicated right turn lane that may be installed as a result of the Wisconsin Department of Transportation recent closure of the median opening west of 105th Street in 120th Avenue (the East Frontage Road) shown on **Exhibit 6**.
7. The site provides for two (2) drive-through lanes and outdoor seating and provides for 85 parking spaces including four (4) handicapped accessible parking spaces. All parking for this use is required to be accommodated on site and no parking is allowed on the adjacent public/private streets.

8. A Digital Security Imaging System (DSIS) pursuant to Chapter 410 of the Village Municipal Code is required. See **Exhibit 7** for the DSIS Agreement and DSIS Access Easement. The DSIS camera coverage plan and camera specifications as approved by the Village IT Department will be included as an Exhibit to the DSIS Agreement which shall be executed by the owner.
9. The property owner and all of the abutting and adjacent property owners within 300 feet of the property were notified via U.S. Mail and the required notice was posted on October 10, 2022 regarding the public hearing.
10. The petitioner received a copy of this Village staff report via e-mail on October 21, 2022.
11. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit.

Village Staff Conclusions and Recommendation:

The Village staff has determined that based upon the foregoing information presented in the application and at the public hearing that the project, as proposed (meets the following standards for granting a Conditional Use Permit approval in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the B-4, Business District and the adjacent land uses; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for the granting of the Conditional Use Permit; then the approval is subject to compliance with the above comments and the following conditions:

1. Subject to compliance with the **attached** CUP Grant Document #22-05 and the **attached** DSIS Agreement and DSIS Access Easement. These documents shall be finalized and executed by the property owner and the tenant and recorded at the Kenosha County Register of Deeds Office. The owner will be responsible for the recording and filing fees for the Village to record the CUP Document and the DSIS Access Easement at the Kenosha County Register of Deeds Office (\$40 per document for a total of \$80).



**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 22-05**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 10484 Corporate Drive, Pleasant Prairie, Wisconsin.

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Numbers:

92-4-122-302-0132 and
92-4-122-302-0138

LEGAL DESCRIPTION: Parcels 15 and 16 of CSM 1489 (Document #872365 as recorded on August 9, 1991 at the Kenosha County Register of Deeds Office) located in U.S. Public Land Survey Section 30, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, State of Wisconsin.

WHEREAS, the Zoning Ordinance and Zoning District Map of the Village of Pleasant Prairie, pursuant to Wisconsin Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, on August 5, 1991 the Village Board approved CSM #1489 that created four (4) parcels south of STH 165 (104th Street) for a Planned Business Development including approval of plans for the construction of 105th Street, a private street to provide access to the four (4) properties, with the intention of properties being developed with a gasoline facility and restaurants sites. In 1992, the Village Board also rezoned the properties associated with CSM #1489 into the B-4 (PUD), Planned Business District with a Planned Unit Development Overlay District on August 5, 1991. In 1991, when the properties were created and rezoned into the B-4 (PUD) Districts, the Village did not require a specific PUD text in the Ordinance; and

WHEREAS, on December 11, 2000 the Plan Commission conditionally approved the Site and Operational Plans for the construction of the Culver's at Pleasant Prairie restaurant with a drive-through, outdoor seating and parking on Parcels 15 and 16 of CSM #1498. At that time the B-4, Planned Business District allowed a restaurant with a drive-through and outdoor seating as a permitted use; and

WHEREAS, in 2002, the Village amended the Business Zoning Districts and created a new B-4 District with new regulations. The new B-4, Freeway Service Business District regulations allowed for a restaurant as a permitted use but a drive-through and outdoor seating are only allowed with approval of a Conditional Use Permit; therefore, the drive-through and outdoor seating uses associated with the permitted restaurant use became classified legal, non-conforming uses. Approval of this Conditional Use Permit and Planned Unit Development Ordinance #22-29 the uses, building and site will be classified as legal conforming; and

WHEREAS, such petition having been made for the existing Culver's of Pleasant Prairie restaurant with a drive-through facility and outdoor seating and public hearings held thereon, the Village Plan Commission has determined that by reason of the particular nature, character and circumstances of the continue/reconstructed use, and of the specific conditions, grant of such uses upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, that the project meets the following standards for granting a Conditional Use Permit in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the B-4, Business District and surrounding land uses; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

NOW THEREFORE, a Conditional Use Permit is hereby approved for the Culver's of Pleasant Prairie restaurant with outdoor seating, a drive-through and parking on the properties subject to compliance with the terms and conditions hereinafter stated:

1. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
2. The owner shall comply with all requirements of the Culver's of Pleasant Prairie Planned Unit Development Ordinance #22-29.
3. The owner shall comply with the Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement requirements.
4. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
5. All pavement markings shall be the same color throughout the parking lot and shall be maintained and repainted as needed.
6. If the drive-through lanes are not open during normal business hours, they should be marked that they are closed with an attractive movable A-frame type sign and shall not be blocked with an orange cones or other construction-related item.
7. At such time as any on-site directional signs or the parking lot is resurfaced or repaved, all freestanding on site information signs shall be replaced. The signs shall not be attached to a "u" channel or similar post. The post, that is a color complementary to the building, shall

be a metal post with a top cap that is securely mounted to the ground in a permanent manner (not on a movable concrete base).

8. All signs shall comply with Article X of Chapter 420 of the Village Zoning Ordinance and the PUD Ordinance requirements for this development. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
9. No sign walkers – persons with costumes or signs strapped, hung, affixed or over their clothes shall walk the properties or public rights-of-way for extended periods of time advertising the businesses, sales or special offers.
10. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
11. All vehicles parked on the site shall be parked in approved and marked parking spaces and shall not be used/parked as another form of commercial advertising of the business or use on the property.
12. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
13. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
14. There shall be no semi-truck/trailer, commercial or box truck parking permitted on the site, except for deliveries.
15. There shall be no outdoor storage of pallets, cardboard boxes, recycling materials, plastic crates etc. or display of materials, goods or equipment visible to the public on this site, unless approved by the Village. In addition, all garbage bags shall be located within the dumpster and not placed outside of the dumpsters.
16. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited.
17. All exterior mechanical units, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
18. This Conditional Use Grant and all of its related conditions shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
19. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
20. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
21. All plans and the proposed and applied for use shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.

Granted by the action of the Village of Pleasant Prairie Plan Commission the on 24th day of October 2022.

ATTEST:

Michael J. Serpe
Plan Commission Chairman

Michelle Burnett
Secretary

[Owner and Tenant Signatures on the Next Page]

PROPERTY OWNER: OMA, LLC.

Name: Edward Rich
Title: Member
STATE OF WISCONSIN)
SS
COUNTY OF KENOSHA)

This instrument was acknowledged before me in Pleasant Prairie Wisconsin, on this _____ day of _____, 2022 by **Edward Rich, Member** on behalf of **OMA LLC.**

Print Name: _____
Notary Public, _____, _____
My Commission Expires: _____

TENANT: DCBR, INC D/B/A/ CULVER'S OF PLEASANT PRAIRIE.

Name: Edward Rich
Title: President
STATE OF WISCONSIN)
SS
COUNTY OF KENOSHA)

This instrument was acknowledged before me in Pleasant Prairie Wisconsin, on this _____ day of _____, 2022 by **Edward Rich, President on behalf of DCBR, INC d/b/a Culver's of Pleasant Prairie.**

Print Name: _____
Notary Public, _____, _____
My Commission Expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue, Pleasant Prairie, Wisconsin 53158

DEV2210-002



Conditional Use Permit Application

(Use this application only if a Site and Operational Plan approval is not required.)

Community Development Department
 9915 39th Avenue
 Pleasant Prairie WI 53158
 Phone: 262.925.6717
 Email: communitydevelopment@plprairie.com

GENERAL INFORMATION

Property Location/Address 10484 Corporate Dr
 Tax Parcel Number(s) 92-4-122-302-0132 and 92-4-122-302-0138
 Zoning District B-4 (PUD), Freeway Service Business District with a Planned Unit Development Overlay District

Proposed Use

Culver's of Pleasant Prairie is requesting approval of a Conditional Use Permit for the drive-thru and outdoor seating. On December 11, 2000 the Plan Commission conditionally approved the Site and Operational Plans for the construction of the restaurant with a drive-thru and outdoor seating. At that time the B-4 zoning allowed for a restaurant with a drive-thru and outdoor seating as a permitted use. The B-4 District regulations of the Village Zoning Ordinance were amended by the Village in 2002 (Ord. #02-25) and such uses associated with a restaurant (drive-thru with outdoor seating) are only allowed with approval of a Conditional Use Permit; therefore this use is considered a legal non-conforming use. Approval of a Conditional Use Permit will classify the use as a legal conforming use.

SUBMITTAL REQUIREMENTS

Plans and written narratives to explain the request will be required. For specific requirements to be submitted with this application contact the Community Development Department.

REQUIRED SIGNATURES

I, hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER	APPLICANT
Print Owners Name OMA, LLC	Company Name OMA, LLC
Print Name of Signatory Edward Rich <small>DocuSigned by:</small>	Print Name of Signatory Edward Rich <small>DocuSigned by:</small>
Signature <i>Edward Rich</i>	Signature <i>Edward Rich</i>
Mailing Address 3270 E. Carrollton Drive	Mailing Address 3270 E. Carrollton Drive
City/State/ZIP Oak Creek, WI 53154	City/State/ZIP Oak Creek, WI 53154
Phone 414-690-7424	Phone 414-690-7424
Email rfamily85@gmail.com	Email rfamily85@gmail.com
Date 10/6/22	Date 10/6/22



Zoning Map and Zoning Text Amendment Application

Community Development Department
 9915 39th Avenue
 Pleasant Prairie WI 53158
 Phone: 262.925.6717
 Email: communitydevelopment@plprairie.com

The undersigned owner(s)/applicant petitions the Village Board to amend the Village of Pleasant Prairie Zoning Map and or Zoning Text as hereinafter requested related to the following property:

GENERAL INFORMATION

Property Location/Address 10484 Corporate Drive	Tax Parcel Number(s) 92-4-122-302-0132 and 92-4-122-302-0138
Current Zoning B-4 PUD	Proposed Zoning B-4 PUD

ZONING MAP AMENDMENT (check all that apply)

<input type="checkbox"/>	Correct Zoning Map as a result of a wetland staking being completed
<input type="checkbox"/>	Correct Zoning Map as a result of a wetland fill permit obtained by the WI DNR and US ACOE
<input type="checkbox"/>	Other (describe change)

If the property is being zoned into multiple zoning classifications or only a portion of the property is being rezoned (i.e. wetlands area) then submit an exhibit with complete legal description of each zoning classification.

ZONING TEXT AMENDMENT

<input checked="" type="checkbox"/>	Planned Unit Development (PUD) Ordinance
<input checked="" type="checkbox"/>	Other (describe change) Requesting to draft the specific PUD Ordinance requirements since when the property zoned into the B-4 (PUD) District in the early 1990's a specific Ordinance was not required. The PUD Ordinance will ensure that the development can be classified as conforming lots and conforming structures.

If a Planned Unit Development is proposed include a letter indicting the dimensional variations being requested and a statement of Community Benefit as required by Chapter 420 of the Village Municipal Code

If another type of Zoning Text Amendment is being proposed, then include the proposed language of the Zoning Text Amendment being requested.

REQUIRED SIGNATURES

I, hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER	APPLICANT
Print Owners Name OMA, LLC	Company Name OMA, LLC
Print Name of Signatory Edward Rich <small>DocuSigned by:</small>	Print Name of Signatory Edward Rich <small>DocuSigned by:</small>
Signature <i>Edward Rich</i> <small>BE17BEA91CCF499...</small>	Signature <i>Edward Rich</i> <small>BE17BEA91GGF499...</small>
Mailing Address 3270 E. Carrollton Drive	Mailing Address 3270 E. Carrollton Drive
City/State/ZIP Oak Creek, WI 53154	City/State/ZIP Oak Creek, WI 53154
Phone 414-690-7424	Phone 414-690-7424
Email rfamily85@gmail.com	Email rfamily85@gmail.com
Date 10/6/22	Date 10/6/22

ALTA/ACSM LAND TITLE SURVEY

GRID NORTH
 WISCONSIN STATE PLANE COORDINATE SYSTEM
 SOUTH ZONE (NAD-83)
 N. LINE OF THE NW 1/4 OF
 SECTION 30-1-22 BEARS
 S 89°44'49" W

MAP SCALE IN FEET - ORIGINAL 1"=20'
 20 10 0 20 40 60 80

N. 1/4 CORNER
 30-1-22

932.00'

S 89°44'49" W {2500.56'}

1568.60'

NW CORNER
 30-1-22

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(A), 7(B), 8, 9, 13, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2022.

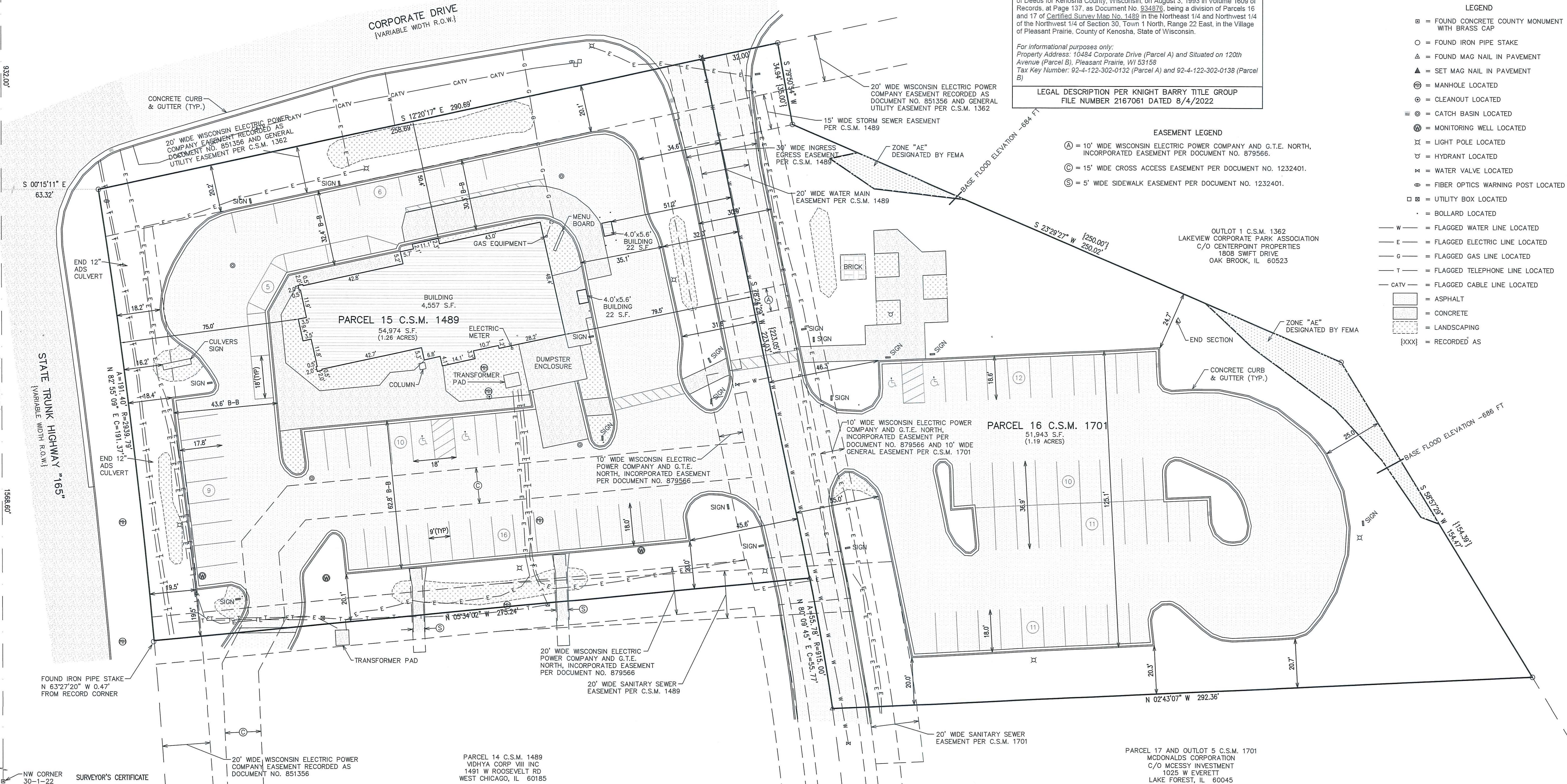
CERTIFIED USERS TO BE THE FOLLOWING:
 BANK FIVE NINE, ISACA
 U.S. SMALL BUSINESS ADMINISTRATION
 BUSINESS LENDING PARTNERS
 KNIGHT BARRY TITLE, INC.
 FIRST AMERICAN TITLE INSURANCE COMPANY

DATE OF PLAT OR MAP: 10/5/2022

CHRISTOPHER A. HODGES P.L.S. 2760



CORPORATE DRIVE
 {VARIABLE WIDTH R.O.W.}



PARCEL A:
 Parcel 15 of Certified Survey Map No. 1489 recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, on August 9, 1991 in Volume 1456 of Records, at Page 153, as Document No. 872385, being a division of Parcel 7 of Certified Survey Map No. 1362 in the Northeast 1/4 of the Northwest 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

PARCEL B:
 Parcel 16 of Certified Survey Map No. 1701 recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, on August 3, 1993 in Volume 1609 of Records, at Page 137, as Document No. 934876, being a division of Parcels 16 and 17 of Certified Survey Map No. 1489 in the Northeast 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

For informational purposes only:
 Property Address: 10484 Corporate Drive (Parcel A) and Situated on 120th Avenue (Parcel B), Pleasant Prairie, WI 53158
 Tax Key Number: 92-4-122-302-0132 (Parcel A) and 92-4-122-302-0138 (Parcel B)

LEGAL DESCRIPTION PER KNIGHT BARRY TITLE GROUP
 FILE NUMBER 2167061 DATED 8/4/2022

EASEMENT LEGEND
 (A) = 10' WIDE WISCONSIN ELECTRIC POWER COMPANY AND G.T.E. NORTH, INCORPORATED EASEMENT PER DOCUMENT NO. 879566.
 (C) = 15' WIDE CROSS ACCESS EASEMENT PER DOCUMENT NO. 1232401.
 (S) = 5' WIDE SIDEWALK EASEMENT PER DOCUMENT NO. 1232401.

LEGEND
 [Symbol] = FOUND CONCRETE COUNTY MONUMENT WITH BRASS CAP
 [Symbol] = FOUND IRON PIPE STAKE
 [Symbol] = FOUND MAG NAIL IN PAVEMENT
 [Symbol] = SET MAG NAIL IN PAVEMENT
 [Symbol] = MANHOLE LOCATED
 [Symbol] = CLEANOUT LOCATED
 [Symbol] = CATCH BASIN LOCATED
 [Symbol] = MONITORING WELL LOCATED
 [Symbol] = LIGHT POLE LOCATED
 [Symbol] = HYDRANT LOCATED
 [Symbol] = WATER VALVE LOCATED
 [Symbol] = FIBER OPTICS WARNING POST LOCATED
 [Symbol] = UTILITY BOX LOCATED
 [Symbol] = BOLLARD LOCATED
 [Symbol] = FLAGGED WATER LINE LOCATED
 [Symbol] = FLAGGED ELECTRIC LINE LOCATED
 [Symbol] = FLAGGED GAS LINE LOCATED
 [Symbol] = FLAGGED TELEPHONE LINE LOCATED
 [Symbol] = FLAGGED CABLE LINE LOCATED
 [Symbol] = ASPHALT
 [Symbol] = CONCRETE
 [Symbol] = LANDSCAPING
 [Symbol] = RECORDED AS

OUTLOT 1 C.S.M. 1362
 LAKEVIEW CORPORATE PARK ASSOCIATION
 C/O CENTERPOINT PROPERTIES
 1808 SWIFT DRIVE
 OAK BROOK, IL 60523

PARCEL 14 C.S.M. 1489
 VIDHYA CORP VII INC
 1491 W ROOSEVELT RD
 WEST CHICAGO, IL 60185

PARCEL 17 AND OUTLOT 5 C.S.M. 1701
 MCDONALDS CORPORATION
 C/O MCESSY INVESTMENT
 1025 W EVERETT
 LAKE FOREST, IL 60045

FEMA FLOODPLAIN INFORMATION:
 SITE LOCATED ON FEMA PANEL 55059C0189D EFFECTIVE JUNE 19, 2012
 PANEL DESIGNATED IMPROVEMENTS ON SITE "OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" - ZONE "X" WITH THE EXCEPTION OF THE AREAS DESIGNATED WITH "BASE ELEVATION DETERMINED" - ZONE "AE"

PARKING SUMMARY
 TOTAL PARKING - 90 SPACES
 HANDICAP PARKING - 4 SPACES
 APPARENT DRIVE-THRU PARKING - 11 SPACES

NOTE: PRESUMABLY, THE EASEMENT DESCRIBED IN TITLE EXCEPTION 12, RECORDED AS DOCUMENT NO. 514913, HAS EXPIRED AS IT SEEMS UNLIKELY THAT "TREATED SEWAGE" IS "ALLOWED TO FLOW IN EXISTING OR POTENTIAL SURFACE DRAINAGE PATTERNS" ANYWHERE NEAR, MUCH LESS ACROSS, THE LANDS SURVEYED.
 THE EASEMENT DESCRIBED IN TITLE EXCEPTION 13, RECORDED AS DOCUMENT NO. 780380 IS NORTH AND WEST OF THE LANDS SURVEYED HEREON.

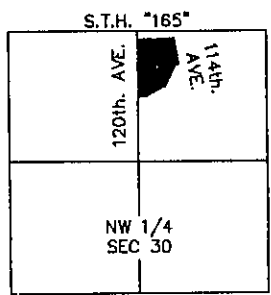
<p>ALTA/ACSM LAND TITLE SURVEY 10484 CORPORATE DRIVE PLEASANT PRAIRIE, WISCONSIN</p>	<p>— WORK ORDERED BY — WINAND & LOUDENSLAGEL LAW GROUP, LLC 800 WAUKEGAN ROAD, SUITE #201 GLENVIEW, IL 60025</p>	<p>FARRIS, HANSEN & ASSOCIATES, INC. ENGINEERING — ARCHITECTURE — SURVEYING 7 RIDGWAY COURT P.O. BOX 437 ELKHORN, WISCONSIN 53121 OFFICE: (262) 723-2098 FAX: (262) 723-5886</p>	<p>REVISIONS</p> <p>10-7-22 ADDED PARKING DIM AND SB'S</p>	<p>PROJECT NO. 10739 DATE 09/02/2022 SHEET NO. 1 OF 1</p>
			<p>DATE OF PLAT OR MAP: 10/5/2022</p>	

X:\PROJECTS\10739_VACAD\10739.dwg

872365

CERTIFIED SURVEY MAP No. 1489
 BEING A DIVISION OF PARCEL 7
 OF CERTIFIED SURVEY MAP No. 1362
 IN THE NE 1/4 OF THE NW 1/4 OF
 SECTION 30, TOWN 1 NORTH, RANGE 22 EAST
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

REGISTER'S OFFICE
 Kenosha County, Wis.) S: S:
 RECORDED AT 2530
 ON AUG 9 1991 IN
 RECORDS 1456 pg 153-53



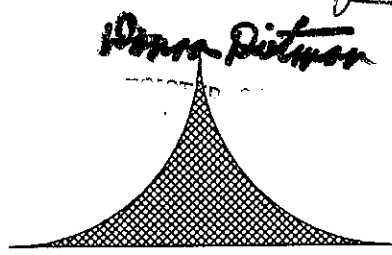
LOCATION MAP
 T 1 N, R 22 E
 NOT TO SCALE

HNTB

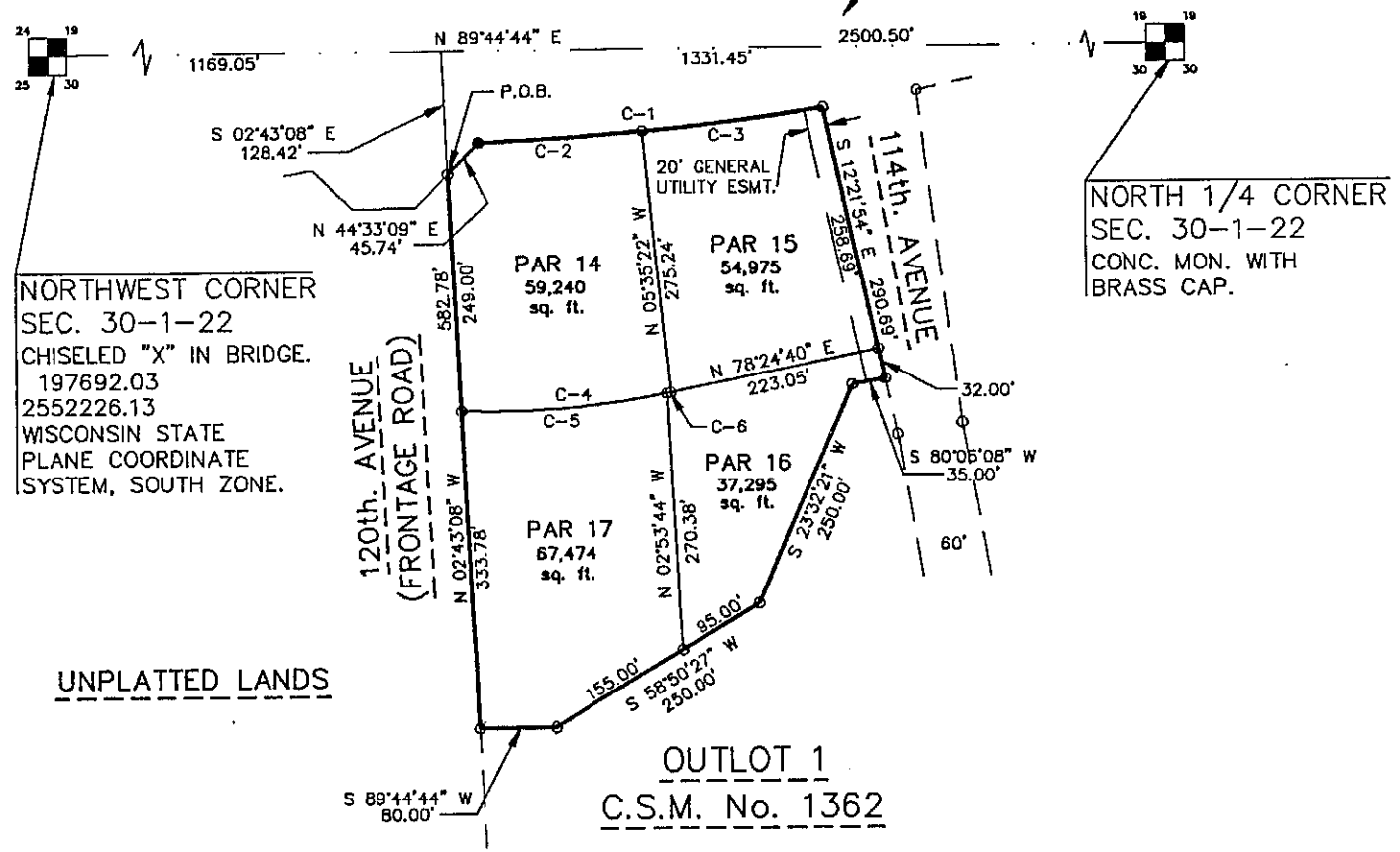
11270 WEST PARK PLACE
 MILWAUKEE, WISCONSIN
 53224 414-359-2300



SCALE: 1" = 200'



LAKEVIEW PARKWAY
S.T.H. "165" - 104th. ST.
 (WIDTH VARIES)



NORTHWEST CORNER
 SEC. 30-1-22
 CHISELED "X" IN BRIDGE.
 197692.03
 2552226.13
 WISCONSIN STATE
 PLANE COORDINATE
 SYSTEM, SOUTH ZONE.

NORTH 1/4 CORNER
 SEC. 30-1-22
 CONC. MON. WITH
 BRASS CAP.

UNPLATTED LANDS

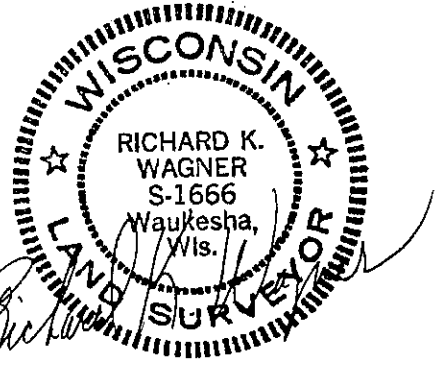
OUTLOT 1
C.S.M. No. 1362

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-1	2939.79'	363.41'	363.17'	N 84°36'06" E	07°04'58"
C-2	2939.79'	172.00'	171.98'	N 86°28'01" E	03°21'08"
C-3	2939.79'	191.41'	191.37'	N 82°55'32" E	03°43'50"
C-4	915.00'	220.00'	219.47'	N 85°17'57" E	13°46'34"
C-5	915.00'	216.00'	215.50'	N 85°25'28" E	13°31'32"
C-6	915.00'	4.00'	4.00'	N 78°32'11" E	00°15'02"

NOTES:

- INDICATES 1" X 24" IRON PIPE WEIGHING 1.13 LBS. PER LINEAL FOOT.
- INDICATES FOUND AND ACCEPTED 5/8" IRON ROD WITH PLASTIC CAP.

ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE NORTH LINE OF THE NW 1/4 OF SECTION 30-1-22 WAS USED AS N 89°44'44" E.



DATED THIS 20th DAY OF JUNE, 1991.

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1666, JOB No. 14566, SHEET 1 OF 5

Csm # 1489

PLOT DATE: 02 JUL 91/CES

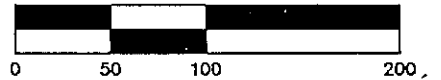
CERTIFIED SURVEY MAP No. _____

BEING A DIVISION OF PARCEL 7
 OF CERTIFIED SURVEY MAP No. 1382
 IN THE NE 1/4 OF THE NW 1/4 OF
 SECTION 30, TOWN 1 NORTH, RANGE 22 EAST
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

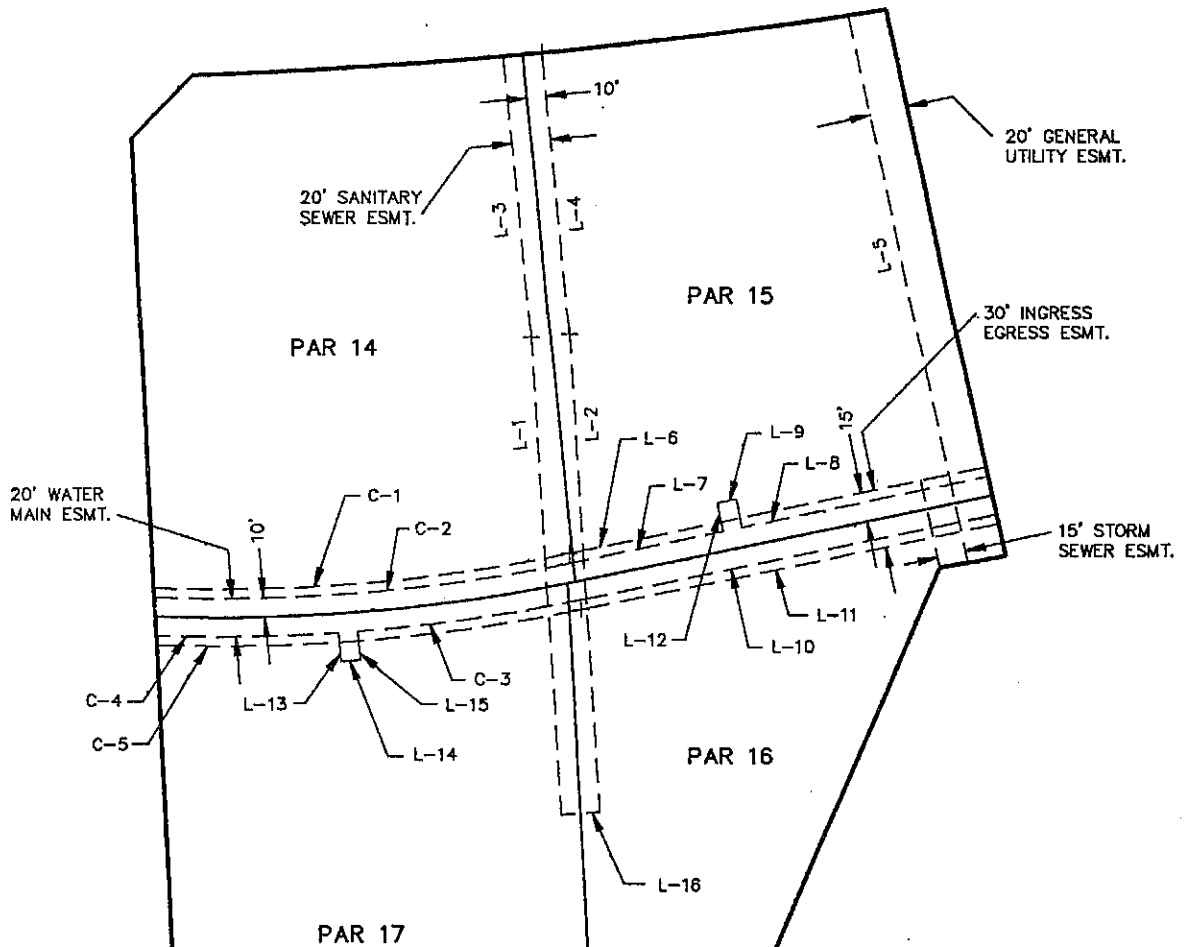
HNTB

11270 WEST PARK PLACE
 MILWAUKEE, WISCONSIN
 53224 414-398-2300

EASEMENT DETAIL

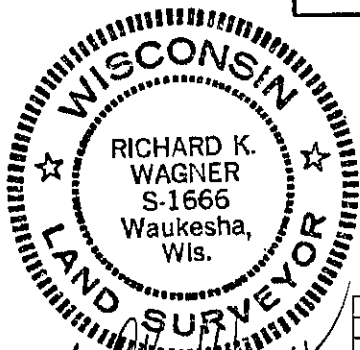


SCALE: 1" = 100'



LINE	DIRECTION	DISTANCE
L-1	N 03°23'59" W	250.69'
L-2	N 03°23'59" W	250.89'
L-3	N 05°35'22" W	145.81'
L-4	N 05°35'22" W	146.19'
L-5	N 12°21'54" W	289.83'
L-6	S 78°24'40" W	222.85'
L-7	S 78°24'40" W	81.00'
L-8	S 78°24'40" W	131.91'
L-9	S 78°24'40" W	10.00'
L-10	S 78°24'40" W	223.19'
L-11	S 78°24'40" W	223.25'
L-12	N 11°35'20" W	15.00'
L-13	N 04°42'03" W	15.16'
L-14	S 85°17'57" W	10.00'
L-15	N 04°42'03" W	14.96'
L-16	S 86°38'01" W	20.00'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-1	900.00'	217.68'	217.15'	N 85°20'24" E	13°51'29"
C-2	905.00'	218.45'	217.92'	N 85°19'35" E	13°49'49"
C-3	925.00'	116.20'	116.13'	N 82°00'36" E	07°11'52"
C-4	925.00'	95.34'	95.30'	N 89°10'52" E	05°54'21"
C-5	930.00'	222.32'	221.79'	N 85°15'34" E	13°41'48"



Richard K. Wagner

DATED THIS 20th. DAY OF JUNE, 1991.

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1666, JOB No. 14566, SHEET 2 OF 5

CERTIFIED SURVEY MAP NO. _____

Being a division of Parcel 7 of
C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of
Section 30, Town 1 North, Range 22 East,
Village of Pleasant Prairie, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE:

State of Wisconsin)
) SS
County of Waukesha)

I, RICHARD K. WAGNER, Registered Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped all of Parcel 7 of Certified Survey Map No. 1362, recorded on June 13, 1990, in Volume 1398 of Records, on Pages 897 thru 900, as Document No. 844572, in the Northeast 1/4 of the Northwest 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of said Section 30, thence N89° 44' 44" East along the North line of said Northwest 1/4 Section, 1169.05 feet; thence South 02° 43' 08" East, 128.42 feet to the place of beginning of the following description;

Thence North 44° 33' 09" East, 45.74 feet to a point in the South line of S.T.H. 165 and a point in a curve; thence Northeasterly 363.41 along the South line of said highway and the arc of said curve, whose center lies to the North, whose radius is 2939.79 feet and whose chord bears North 84° 36' 06" East, 363.17 feet to the West line of 114th Avenue; thence South 12° 21' 54" East, 290.69 feet; thence South 80° 05' 08" West, 35.00 feet; thence South 23° 32' 21" West, 250.00 feet; thence South 58° 50' 27" West, 250.00 feet; thence South 89° 44' 44" West, 80.00 feet to the East line of 120th Avenue (Frontage Road); thence North 02° 43' 08" West and along the East line of said 120th Avenue, 582.78 feet to the place of beginning.

Containing in all 5.027 acres of land, more or less.

That I have made such survey, land division and map by the direction of WISPARK Corporation, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Subdivision Control Ordinance in surveying, dividing and mapping the same.

Dated this 20th day of June, 1991

Richard K. Wagner
Richard K. Wagner, R.L.S.
Registered Land Surveyor, S-1666



CERTIFIED SURVEY MAP NO. _____

Being a division of Parcel 7 of
C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of
Section 30, Town 1 North, Range 22 East,
Village of Pleasant Prairie, Kenosha County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

WISPARK Corporation, a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described in the foregoing affidavit of Richard K. Wagner, to be surveyed, divided and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Subdivision Control Ordinance.

In Witness whereof, the said WISPARK Corporation, has caused these presents to be signed by Jerold P. Franke its Vice President, and countersigned by John H. Goetsch, its Secretary, at _____, _____, this 9th day of July, 1991.

WISPARK Corporation:

Jerold P. Franke
Vice President.

John H. Goetsch
Secretary

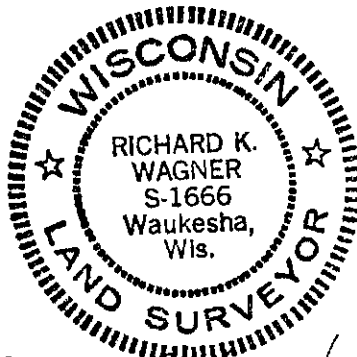
State of Wisconsin)
) SS
Kenosha County)

Personally came before me this 9th day of July, 1991, the above named Jerold P. Franke, Vice President, and John H. Goetsch, Secretary, of the above named corporation, to me known to be such Vice President and Secretary of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Lewis R. Dajon

Notary Public, Kenosha County, Wisconsin
My Commission Expires: October 20th, 1991

DATED THIS 20TH DAY OF JUNE, 1991



Richard K. Wagner

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1666
JOB NO. 14566

SHEET 4 OF 5

CERTIFIED SURVEY MAP NO. _____

Being a division of Parcel 7 of
C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of
Section 30, Town 1 North, Range 22 East,
Village of Pleasant Prairie, Kenosha County, Wisconsin.

VILLAGE PLAN COMMISSION APPROVAL:

This certified survey map is hereby approved by the Plan Commission of the Village of Pleasant Prairie on this 24th day of July, 1991.

Wayne E. Koessl

Chairman of Village Plan Commission

VILLAGE BOARD APPROVAL:

Resolved that this certified survey map, being a division of Parcel 7 of C.S.M. No. 1362 in the NE 1/4 of the NW 1/4 of Section 30, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved by the Village Board of Trustees of the Village of Pleasant Prairie on this 5th day of August, 1991.

Therese W. ...

Village President

ATTEST:

Donald H. Wruck

Village Clerk

DATED THIS 20TH DAY OF JUNE, 1991.



Richard K. Wagner

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1666
JOB NO. 14566

SHEET 5 OF 5

VILLAGE OF

PLEASANT
PRAIRIE

August 13, 1991

Mr. Lewis R. Dixon
8400 LakeView Parkway
P.O. Box 180
Pleasant Prairie, WI 53158

Dear Mr. Dixon:

Please let this letter serve as formal notice that on Monday, August 5, 1991, the Village Board of the Village of Pleasant Prairie approved your request that the zoning be changed from B-4, Planned Business District to B-4, with a PUD, Planned Unit Development Overlay District.

The Zoning Map Amendment affected the properties identified as Tax Parcel Number 92-4-122-302-0113-0 (Parcel 7 of CSM #1362) located south of STH 165 and east of 120th Avenue in the Village. See the attached map for the delineation of the zoning for the property.

The Zoning Map Amendment was granted subject to the following conditions:

1. Meter manholes for each sanitary lateral will be required.
2. DIHLR approval of the utilities will be required if they are to be privately owned rather than dedicated public facilities as listed on the plans.
3. WDOT permits will be required for the driveway entrance along 120th avenue as well as for the utility construction along STH 165. Copies of the permits shall be provided to the Village.
4. Clarification should be provided regarding what portions of the common access roadway are to be constructed at the time the Amoco site is developed. The entire width of the interior

roadway shall be installed or an alternate would be to construct a temporary pavement along the southern half of the access road.

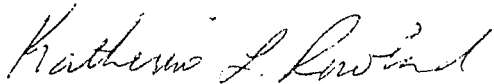
5. All sanitary sewer and water main, including water services shall be extended under any portion of the access roadway that will be built at this time.
6. Sanitary sewer service must be maintained along STH 165 during construction of the new manhole. A temporary plug shall be installed during construction in the 8-inch line south from the new manhole.
7. End sections shall be provided at all storm sewer outfalls.
8. The access road approach along 114th Avenue shall be constructed to Village specifications including concrete and bituminous pavement.
9. All hydrants shall meet the Village specifications. An alternative water main alignment along 114th Avenue could be considered which would consist of a new 8-inch connection to the existing 16-inch water main rather than using the existing 8-inch service.
10. The storm sewer in parcel 15 shall be connected to the outfall in Parcel 16 rather than to STH 165.
11. Site and Operational Plan approval will be required for the other three proposed business prior to commencing any construction activities.
12. Erosion control measures such as silt fencing and graveled entrances shall be utilized on the entire development site where applicable. An erosion control application and plan shall be submitted for review and a permit shall be issued prior to commencing construction activities.

Lewis Dixon
August 13, 1991
Page 3

Advised set of plans addressing the aforementioned items will be required prior to final approval.

Should you have any questions regarding this information, please do not hesitate to contact Jean Werbie at the Village Municipal Building at (414) 694-1400.

Sincerely,



Katherine L. Rowland
Assistant Village Planner and
Deputy Zoning Administrator

MRP/kr/jr

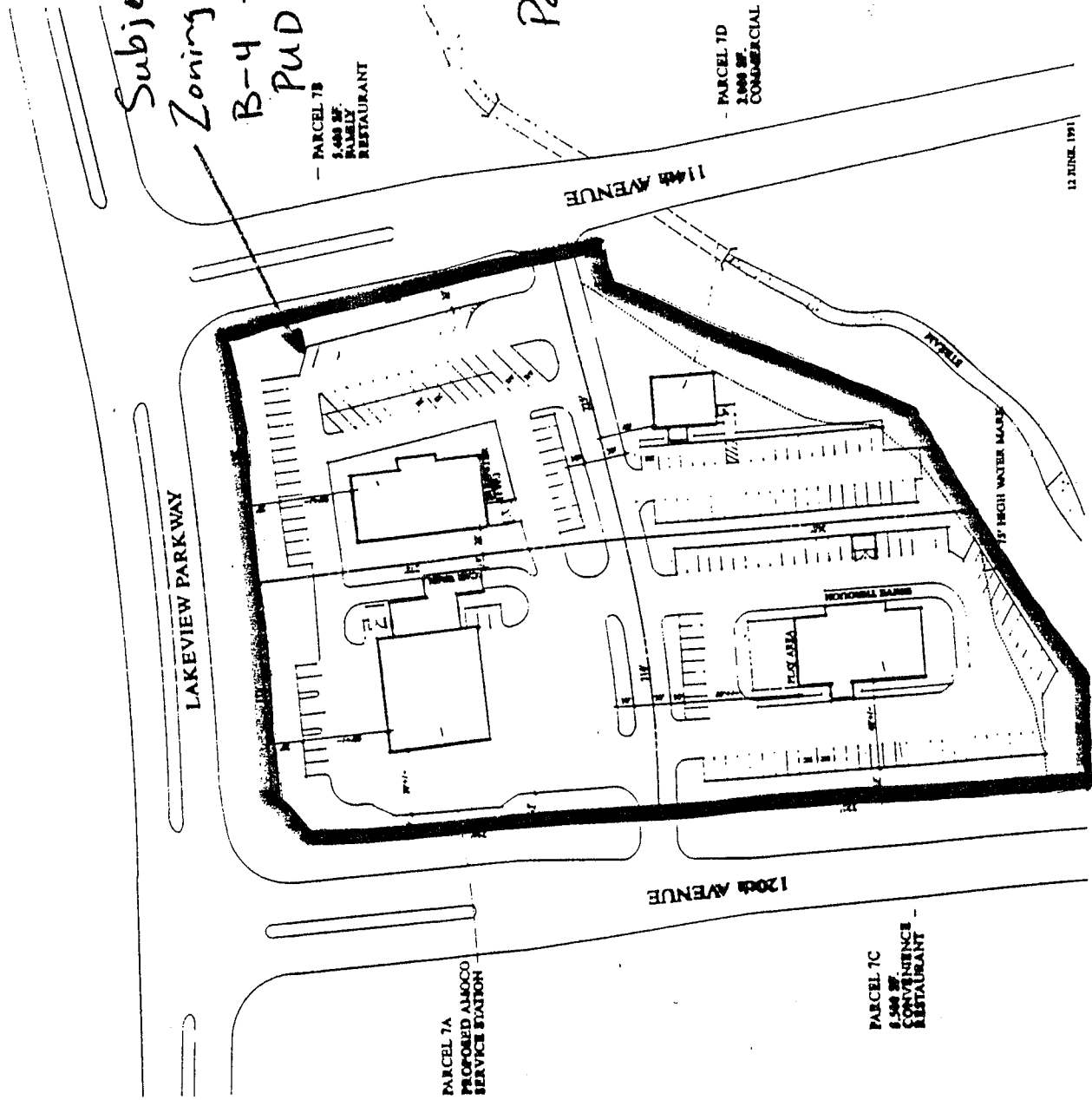
Encl:

CC: Mr. Michael R. Pollocoff
Mrs. Jean M. Werbie

Subject Property
 Zoning Map Amendment
 B-4 to B-4 with a
 PUD overlay.

Parcel 7 CSM # 1362

PARCE
 PLANNED
 DEVELOPA
 LAKEVIEW
 PSI Design



PARCEL 7A
 SITE AREA: 1.4 ACRES
 LAND COVERAGE: .58 ACRES
 % COVERED: 72%
 TOTAL PARKING: 14 STALLS

PARCEL 7B
 SITE AREA: 1.7 ACRES
 LAND COVERAGE: .31 ACRES
 % COVERED: 65%
 TOTAL PARKING: 63 STALLS
 2 EV.

PARCEL 7C
 SITE AREA: 1.4 ACRES
 LAND COVERAGE: 1.11 ACRES
 % COVERED: 64%
 TOTAL PARKING: 76 STALLS

PARCEL 7D
 SITE AREA: .51 ACRES
 LAND COVERAGE: .48 ACRES
 % COVERED: 48%
 TOTAL PARKING: 41 STALLS

PARCEL 7 TOTALS:
 TOTAL SITE AREA: 5.03 ACRES
 TOTAL LAND COVERAGE: 3.33 ACRES
 TOTAL % COVERED: 64%

PARCEL 7A
 PROPOSED ALAMO
 SERVICE STATION

PARCEL 7C
 6,400 SF
 CONVENIENCE
 RESTAURANT

PARCEL 7D
 2,000 SF
 COMMERCIAL

PARCEL 7B
 2,400 SF
 SALLY'S
 RESTAURANT

12 JUNE 1991

PROJECT:
NEW BUILDING

PROJECT FOR:
CULVER'S PLEASANT PRAIRIE

PROJECT ADDRESS:
**10484 CORPORATE DRIVE
PLEASANT PRAIRIE, WI 53158**

ARCHITECT:
STELLING & ASSOCIATES ARCHITECTS, LTD.
181 WEST CHESTNUT STREET
BURLINGTON, WI 53105

NOTE: WHEN QUESTIONS ARISE, CONTACT ARCHITECT OR OWNER BEFORE DECISIONS ARE MADE.

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON, WI 53105
PHONE: (262) 483-8725 FAX: (262) 765-1971
EMAIL: stelling@stelling.com

NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

TITLE SHEET

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
JAN 29 - 2001

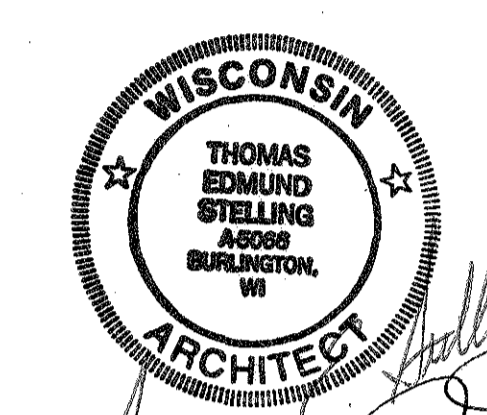
APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
T-1



SITE AND OPERATIONAL PLAN REVIEW RECORD

DATE	SIGNATURE
02-27-01	Jan M. White
02-16-01	Walt Smith
2/16/01	Paul A. Schneider
2/23/01	Shapiro
3-2-01	Michael J. Pappalardo
2-28-01	Tom Jewell

THESE PLANS ARE RELEASED FOR PERMITS BY: Jan M. White
DATE: 02-27-01

GENERAL PLAN NOTE:
These Architectural Plans, along with the supportive Food Service and Mechanical Plans, are being presented by Stelling & Associates based on prototype drawings prepared by Culver's Franchising Systems, Inc. of Sauk City, Wisconsin. Stelling & Associates has reviewed and modified these drawings to accommodate the specific site location, site conditions and ongoing changes to the fit and finish specified by Culver's Franchising Systems, Inc. These plans and specifications are meant for specific use by OMA, LLC, Edward Rich, Member, for Culver's - Pleasant Prairie. If there are questions regarding these documents, please contact the office of Stelling & Associates for interpretation.

Stelling & Associates has been working with Culver's Franchising Systems, Inc. for the past two years on facets of their prototype plans. These plans are based on the latest revisions to the Culver's Prototype Model #120 dated October, 2000.

Thomas E. Stelling
Thomas E. Stelling, Architect
AAWASA

GENERAL NOTES:

- All work shall be done in accordance with all applicable State, and Local Codes, and zoning ordinances and subject to field inspection.
- Temporary utilities shall be provided by the General Contractor and all utility fees shall be paid by the Owner.
- All sub-contractors must visit the construction site to familiarize themselves with existing conditions. If any questions regarding existing conditions affecting sub-contractor exists, advise Owner immediately.
- If discrepancies in the plans or questions arise notify the Architect immediately. DO NOT SCALE dimensions from blueprints; conform to all dimensions indicated.
- Design Assumptions:
SOIL: Bearing capacity assumed to be 2000 P.S.F. verify conditions; if old foundations, rubble, topsoil or peat are found at or above bearing elevation, contact Architect to verify conditions and adjust footing size and depth.
- CONCRETE-BLOCK: See Specification for all requirements.
Ultimate Compressive Strength (fc) = 1000 p.s.i.
Allowable Compressive Strength on gross cross-section:
Type "M" Mortar 90 p.s.i.
Type "S" Mortar 80 p.s.i.
- CONCRETE: See Specification for all requirements.
Ultimate Compressive Strength (fc) = as specified.
Flexure-extreme fiber in compression (fc) = 1350 p.s.i.
Slabs and footing shear (v) = 110 p.s.i.
Bearing (fc) on full area = 750 p.s.i.
- STEEL:
Grade = A36
Yield Stress = 36,000 p.s.i.
Shear on Gross Section (fc) = 14,000 p.s.i.
Bending-Compact Sections (fb) = 24,000 p.s.i.
Non-compact Sections (fb) = 22,000 p.s.i.
Tension and compression for
Rec. Brg. Pl. = 27,000 p.s.i.
Reinforcing steel-deformed rod
Grade 60 ASTM A615-68
Bolts
Grade ASTM A325
Allowable tensile stress (R) = 40,000 p.s.i.
High-strength bolts in friction and bearing type connections with threads in shear plane. = 15.0 k.s.i.
Modulus of Elasticity (E) = 29,000,000 p.s.i.
- WOOD:
2.0E PARALLAM PSL
DESIGN STRESSES:
Shear modulus of elasticity G = 125,000 p.s.i.
Modulus of Elasticity E = 2.0 x 10⁶ p.s.i.
Flexural stress (fb)* = 2900 p.s.i. (1)
Compression perpendicular to grain parallel to wide face of strands (fc) = 650 p.s.i. (2) (3)
Compression parallel to glue line (fd) = 2900 p.s.i.
Horizontal shear perpendicular to wide face of strands (fv) = 290 p.s.i.
- JOIST AND RAFTERS:
Grade Spruce Pine Fir No. 2
Design value in bending "Fb" = 1275 p.s.i.
Modulus of Elasticity (E) = 1,400,000 p.s.i.
- PRE-ENGINEERED WOOD TRUSSES:
Truss engineering and its associated state approval must be submitted to the Architect by the truss manufacturer for submission to the State prior to installation.
6. All contractors shall be responsible for protecting the surrounding sites and returning them to their original condition. All waste, trash and rubbish shall be removed from the site by the contractors and at the contractors expense and the site shall be raked and swept clean at the completion of the project.
- Provide ground fault circuit protection for all toilet rooms, exterior electrical outlets, and as required.
- By Code: Truss drawings and calculations by others, anchor each end with Simpson uplift anchors as required by truss designer and provide strongback as indicated and as required by truss designer.

- For 12-inch depth. For others, multiply by (12/d)^{0.111}
 - Fd shall not be increased for duration of load.
 - 750 psi for all Eastern Species Parallam PSL and 1-3/4" thick Western Species Parallam PSL.
- Must be installed in accordance with manufacturers printed requirements.
Review load table with local building inspector.

- MICRO-LAM:**
DESIGN STRESSES:
Modulus of Elasticity E = 1.9 x 10⁶ p.s.i.
Flexural stress (fb)* = 2600 p.s.i.
Shear Modulus of Elasticity G = 118,700 p.s.i.
Compression perpendicular to grain (fc) = 750 p.s.i.
parallel to glue line (fd) = 2310 p.s.i.
Horizontal shear perpendicular to glue line (fv) = 285 p.s.i.
TJI: Code Evaluation FHA 889, NER 119. Must be installed in accordance with manufacturers printed requirements.
Load table with local building inspector.
- GLUED LAMINATED TIMBER:**
DESIGN STRESSES:
Modulus of Elasticity E = 1,700,000 p.s.i.
Bending stress Fb = 2400 p.s.i. *
Shear stress Fv = 200 p.s.i. **
- Tabulated values are for southern pine. Max - Fv values for Douglas fir - larch and Hem-fir are 165 p.s.i. and 155 p.s.i. respectively.
- * Review load tables with local building inspector.

- COLUMNS/POSTS:**
Douglas Fir #2 or better; size as indicated on plans
E = 1,300,000
- STUDS:**
S.P.F. - 2 x 4 and 2 x 6
(fb) ≥ 525 p.s.i.
E = 1,000,000

ROOFING: TO BE CHANGED TO DIMENSIONAL BLUE SHINGLES SAMPLES TO BE SUBMITTED FOR APPROVAL.
J.E.S.
E.P.R.

PROJECT DATA

NEW FACILITY: CULVERS PLEASANT PRAIRIE, WISCONSIN

CONSTRUCTION TYPE: TYPE 7 WOOD FRAME PROTECTED

OCCUPANCY: 55 - RESTAURANT

CONSTRUCTION AREA LIMITS BASED ON STREET EXPOSURE:
CHAPTER 55 - RESTAURANT
TYPE 7 - WOOD FRAME PROTECTED
NEW FLOOR AREA 4,538 SQ. FT.

BUILDING CAPACITY:
A: RESTAURANT - CAPACITY PER COMM. 55.06 (SEE SEATING LAYOUT A-1)
POSTED MAXIMUM SEATING CAPACITY 120 SEATS
170 SEATS TOTAL

EXIT REQUIREMENTS:
60" PER 100 PEOPLE
FIRST FLOOR: PROVIDED IN NEW 130"

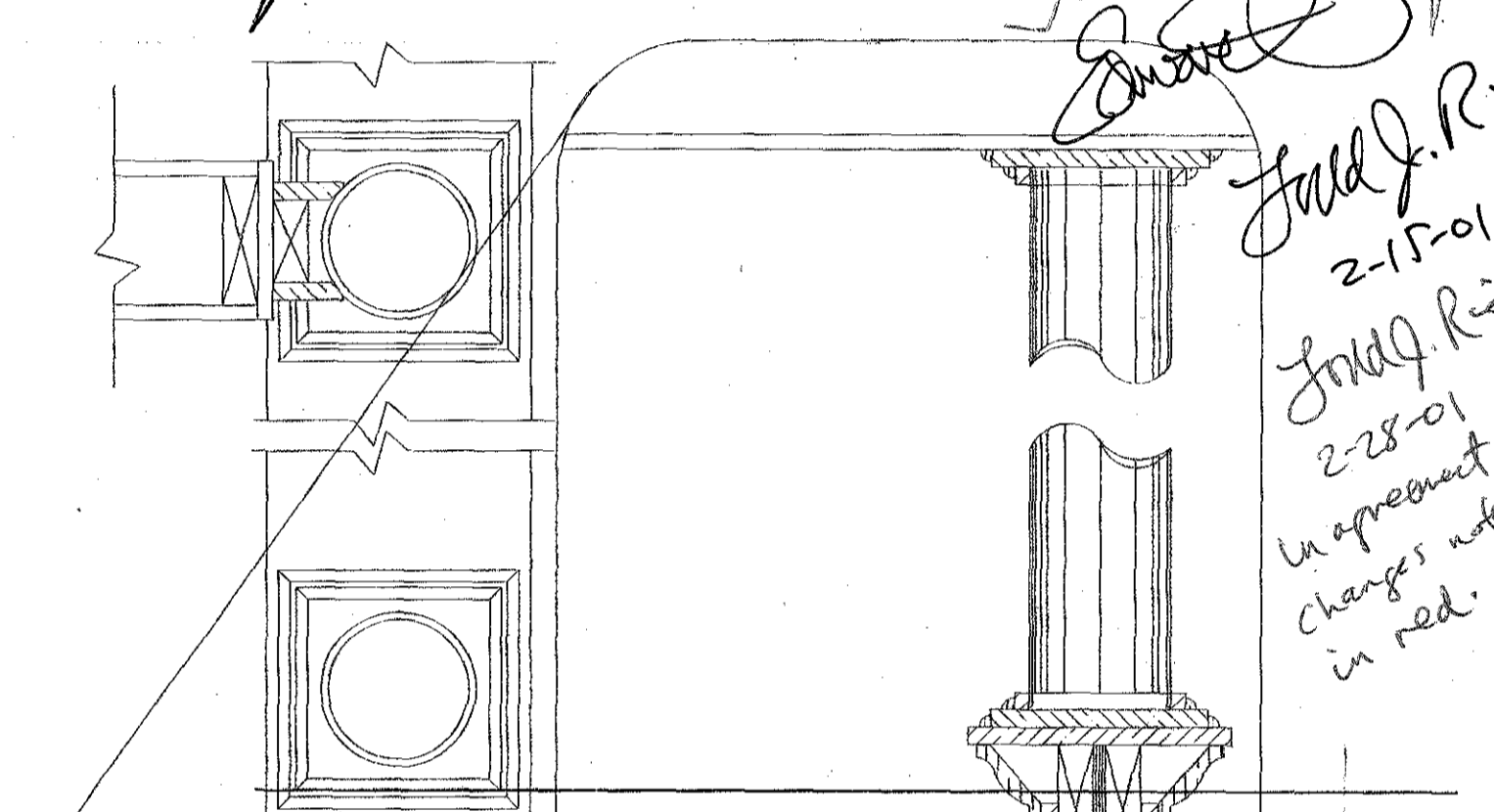
ALLOWABLE CAPACITY BASED ON EXISTING:
150/40-3.75 UNITS X 100 PERSONS = 375 PERSONS

SANITARY REQUIREMENTS: ESTIMATED # EMPLOYEES:
FIRST FLOOR - INCLUDING ADDITION/REMODELING CAPACITY: 120 (7 employees (3 Men) (4 Women))

FROM TABLE 55.33
TOTAL 120 PERSONS - 60 Men, 60 Women
TOTAL REQUIRED SANITARY FIXTURES
MEN: 1 TOILET 1 LAVATORY
WOMEN: 1 TOILET 1 LAVATORY

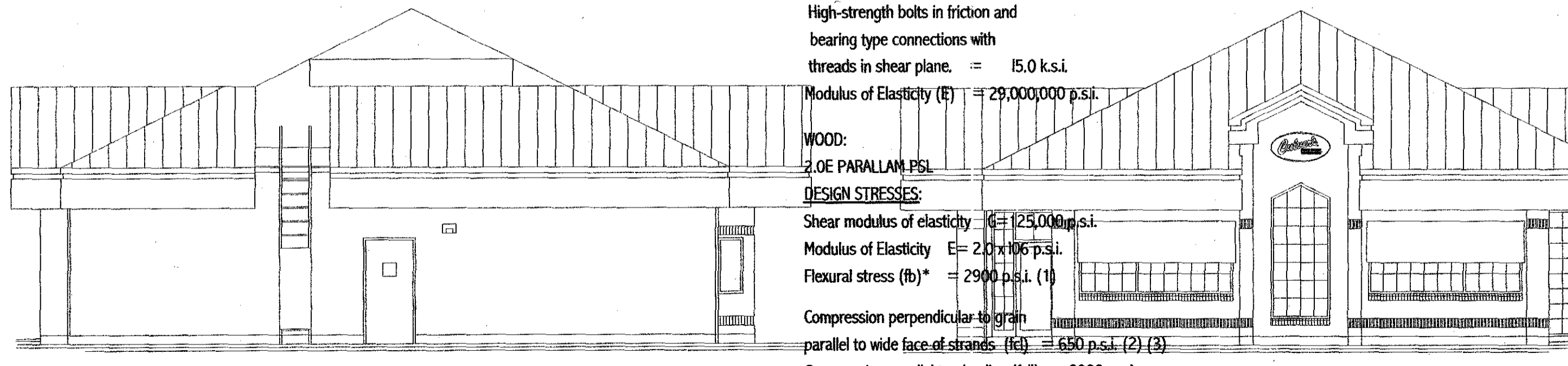
EMPLOYEE TOILET:
1 to 15 1 TOILET 1 LAVATORY

SHOWN ON FIRST FLOOR:
MEN: 1 TOILETS 2 URINALS 2 LAVATORIES
WOMEN: 2 TOILETS 2 LAVATORIES
UNISEX (EMPLOYEE): 1 TOILET 1 LAVATORY



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION	REVISIONS
T-1	TITLE, GENERAL NOTES, & SHEET INDEX	
SITE-1	SITE PLAN	
SITE-2	SITE LANDSCAPING PLAN	
SITE-3	SITE UTILITY, GRADING PLAN AND DETAILS	
SITE-4	SITE SIGNAGE PLAN	
SITE-5	SITE DETAILS PLAN	
SITE-6	SITE SURVEY	
L-1	LIGHTING PLAN	
A-1	FOUNDATION PLAN & DETAILS	
A-2	FLOOR PLAN	
A-3	INTERIOR & EXTERIOR ELEVATIONS	
A-4	ROOF PLAN, ROOF FRAMING PLAN, & TRUSS PROFILES	
A-5	REFLECTED CEILING PLAN	
A-6	FINISH PLAN	
A-7	LOGITUDINAL SECTION & DETAILS	
A-8	BUILDING CROSS SECTIONS, WALL SECTION, & DETAILS	
A-9	DOORS & WINDOWS	
FS-1	FOOD SERVICE LAYOUT	
FS-2	PLUMBING ROUGH-INS	
FS-3	ELECTRIC ROUGH-INS	
FS-4	BUILDING WORKS PLAN	
FS-5	MECHANICAL, ELECTRICAL, & PLUMBING SCHEDULE	
FS-6	SCHEDULES & ROOF TOP ELECTRICAL ROUGH-INS	
FS-7	EQUIPMENT ELEVATIONS	
FS-8	EQUIPMENT ELEVATIONS	
P-1	PLUMBING PLAN	
M-1	HVAC PLAN	
M-2	HVAC NOTES & SPECIFICATIONS	
E-1	ARCHITECTURAL LIGHTING PLAN	
E-2	POWER & COMMUNICATIONS PLAN	
E-3	P.O.S SYSTEM PLAN	



CORPORATE DRIVE

HIGHWAY 165

*NO CONSTRUCTION ACCESS FROM HIGHWAY 165 OR CORPORATE DRIVE

*DURING CONSTRUCTION, NO GARBAGE DUMPSTERS SHALL BE PLACED WITHIN VILLAGE OR STATE RIGHTS OF WAY.

PARCEL FIFTEEN (15) OF CERTIFIED SURVEY MAP NO. 1489 ON FILE AND OF RECORD IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN IN VOLUME 1456 OF RECORDS, PAGES 153-57, AS DOCUMENT NO. 872365; BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1362 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST, THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO.: 92-4-122-302-0132

PARCEL SIXTEEN OF CERTIFIED SURVEY MAP NO. 1701 RECORDED IN THE KENOSHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 1609 OF RECORDS, PAGE 137, AS DOCUMENT NO. 934876; BEING A DIVISION OF PARCELS 16 AND 17 OF CERTIFIED SURVEY MAP NO. 1489 IN THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO.: 92-4-122-302-0138

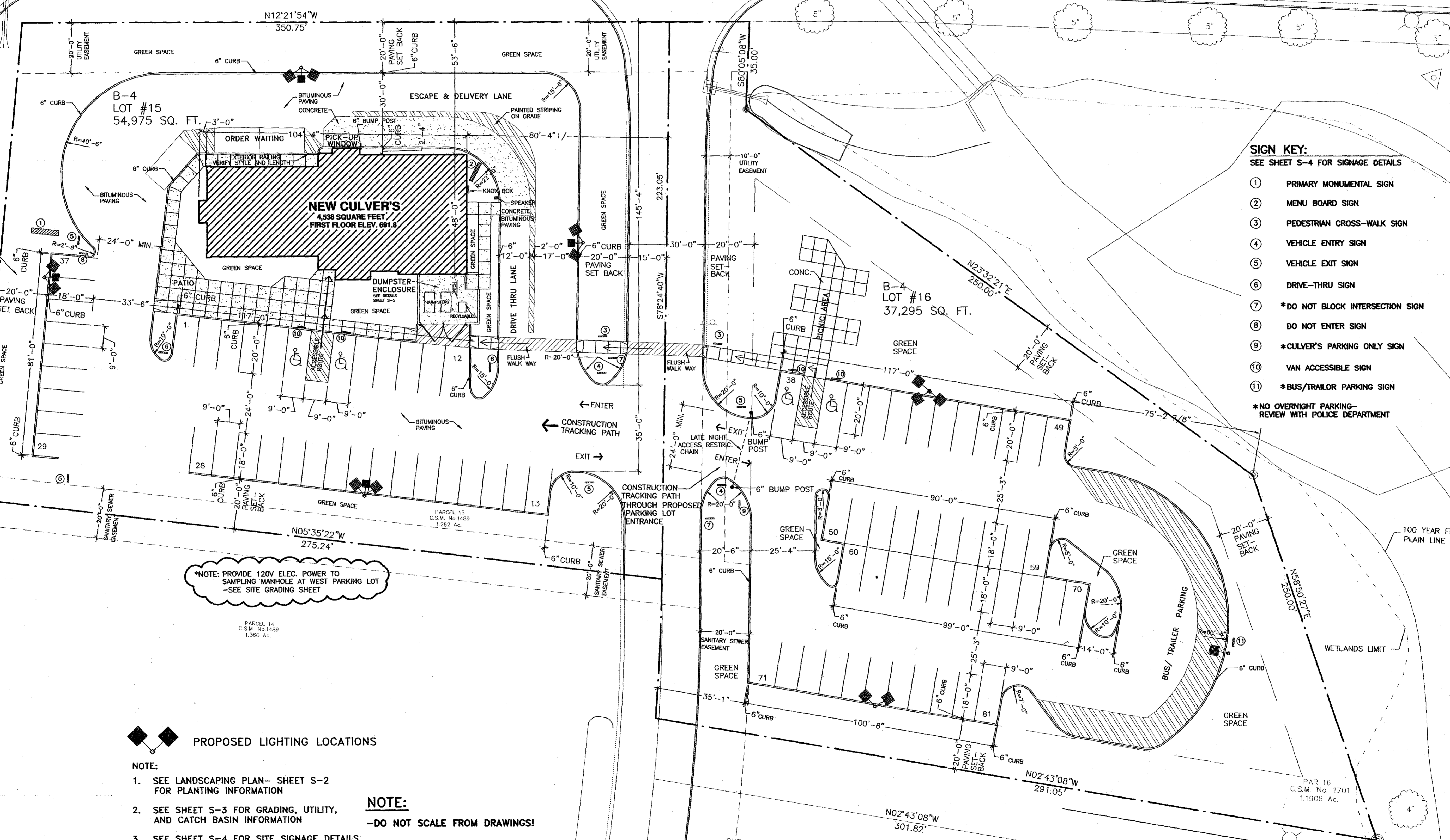
STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TEL: (262) 758-1971
FAX: (262) 758-1971
E-MAIL: estelling@aol.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
PROPOSED SITE PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:	1-29-01
APPROVED:	
DRAWN BY:	ACN
DATE:	12-4-00
PROJECT NUMBER:	0039
SHEET NUMBER:	S-1



- SIGN KEY:**
SEE SHEET S-4 FOR SIGNAGE DETAILS
- ① PRIMARY MONUMENTAL SIGN
 - ② MENU BOARD SIGN
 - ③ PEDESTRIAN CROSS-WALK SIGN
 - ④ VEHICLE ENTRY SIGN
 - ⑤ VEHICLE EXIT SIGN
 - ⑥ DRIVE-THRU SIGN
 - ⑦ *DO NOT BLOCK INTERSECTION SIGN
 - ⑧ DO NOT ENTER SIGN
 - ⑨ *CULVER'S PARKING ONLY SIGN
 - ⑩ VAN ACCESSIBLE SIGN
 - ⑪ *BUS/TRAILER PARKING SIGN
- *NO OVERNIGHT PARKING-
REVIEW WITH POLICE DEPARTMENT

- PROPOSED LIGHTING LOCATIONS**
- NOTE:
- SEE LANDSCAPING PLAN- SHEET S-2 FOR PLANTING INFORMATION
 - SEE SHEET S-3 FOR GRADING, UTILITY, AND CATCH BASIN INFORMATION
 - SEE SHEET S-4 FOR SITE SIGNAGE DETAILS
 - SEE SHEET S-5 FOR SITE DETAILS
 - SEE SHEET S-6 FOR SITE SURVEY

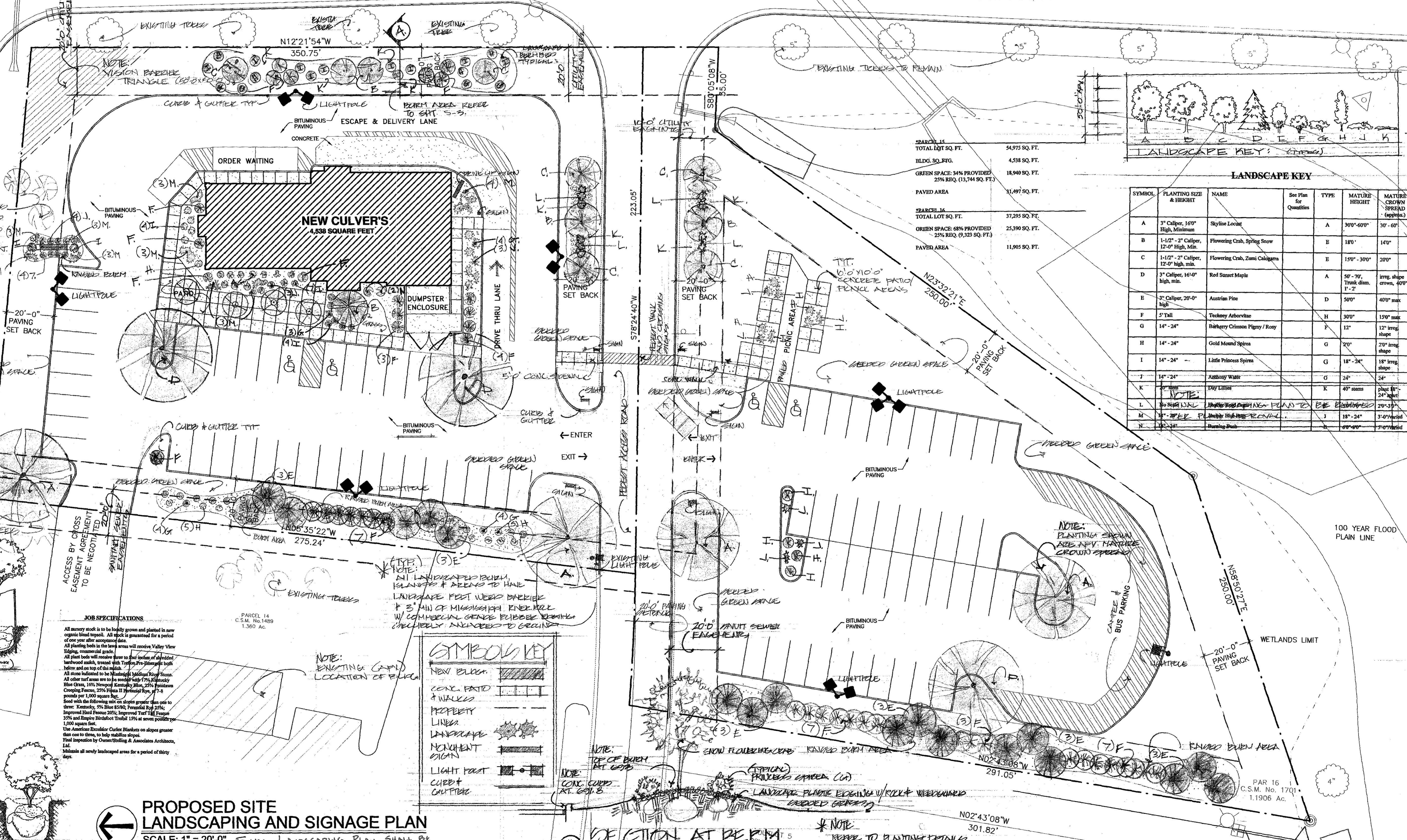
NOTE:
-DO NOT SCALE FROM DRAWINGS!
-CONTACT ARCHITECT IMMEDIATELY IF QUESTIONS ARISE!

PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

HIGHWAY 165

CORPORATE DRIVE

NO STRUCTURES SHALL BE PLACED WITHIN THE SANITARY SEWER EASEMENT. BERMING AND LANDSCAPING IS ALLOWED, HOWEVER, SMALL ROOT PLANTS SHALL BE PLANTED WITHIN THE EASEMENT AND, IF THE VILLAGE NEEDS TO OBTAIN ACCESS TO THE SANITARY SEWER WITHIN THE EASEMENT, THE VILLAGE WILL NOT BE RESPONSIBLE FOR REPLACING THE BERM AND ANY DAMAGED LANDSCAPING. THIS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



PARCEL 14	TOTAL LOT SQ. FT.	54,975 SQ. FT.
BLDG. SQ. FTG.		4,538 SQ. FT.
GREEN SPACE: 34% PROVIDED		18,940 SQ. FT.
25% REQ. (13,744 SQ. FT.)		
PAVED AREA		31,497 SQ. FT.
PARCEL 16	TOTAL LOT SQ. FT.	37,295 SQ. FT.
GREEN SPACE: 68% PROVIDED		25,590 SQ. FT.
25% REQ. (9,323 SQ. FT.)		
PAVED AREA		11,905 SQ. FT.

LANDSCAPE KEY

SYMBOL	PLANTING SIZE & HEIGHT	NAME	See Plan for Quantities	TYPE	MATURE HEIGHT	MATURE CROWN SPREAD (approx.)
A	3" Caliper, 160" High, Minimum	Skyline Locust		A	300'-600'	30' - 60'
B	1-1/2" - 2" Caliper, 12'-0" High, Min.	Flowering Crab, Spring Snow		B	180'	140'
C	1-1/2" - 2" Caliper, 12'-0" High, Min.	Flowering Crab, Zami Calogera		E	150' - 300'	200'
D	3" Caliper, 16'-0" High, Min.	Red Sunset Maple		A	50' - 70', Trunk diam. 1" - 2"	irreg. shape crown, 400'
E	3" Caliper, 20'-0" High	Austrian Pine		D	500'	400' max
F	3" Tall	Techny Arborvitae		H	300"	150' max
G	14" - 24"	Baldy Crimson Pigmy / Roxy		F	12"	12" irreg. shape
H	14" - 24"	Gold Mound Spirea		G	20"	20" irreg. shape
I	14" - 24"	Little Princess Spirea		G	18" - 24"	18" irreg. shape
J	14" - 24"	Anthony Wats		G	24"	24"
K	14" - 24"	Day Lilies		K	40" stems	Plant Ht. - 24" apart
L	No Spine	Blueberry Bush				20" - 30"
M	14" - 24"	Double Hibiscus		J	18" - 24"	3'-0" max
N	14" - 24"	Flaming Bush			60" - 80"	5'-0" max

SYMBOL KEY

(Hatched Box)	NEW BLDG.
(Dashed Box)	CONC. PATIO & WALKS
(Solid Box)	PROPERTY LINE
(Starburst)	LANDSCAPE
(Circle with X)	MENTHENT SIGN
(Circle with dot)	LIGHT POLE
(Circle with cross)	CURB & GUTTER

JOB SPECIFICATIONS

All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.

All planting beds in the lawn areas will receive Valley View Elixir, commercial grade.

All plant beds will receive three to four inches of adjusted hardwood mulch, treated with Triflor Pro-Biocontrol both below and on top of the mulch.

All stone indicated to be Hardscape Medium River Stone.

All other turf areas are to be seeded with: 75% Kentucky Blue Grass, 15% Newseed Kentucky Blue, 25% Perennial Cropping Fescue, 25% Finesse II Perennial Rye, 7-8 pounds per 1,000 square feet.

Seed with the following mix on slopes greater than one to three: Kentucky, 5% Blue 8390, Perennial Ry 2294, Improved Hard Fescue 20%, Improved Tall Fescue 35% and Empire Birdfoot Trefoil 15% at seven pounds per 1,000 square feet.

Use American Excelsior Curlex Blankets on slopes greater than one to three, to help stabilize slopes.

Final inspection by Consulting & Associates Architects, Ltd.

Maintain all newly landscaped areas for a period of thirty days.

PROPOSED SITE LANDSCAPING AND SIGNAGE PLAN
 SCALE: 1" = 20'-0"

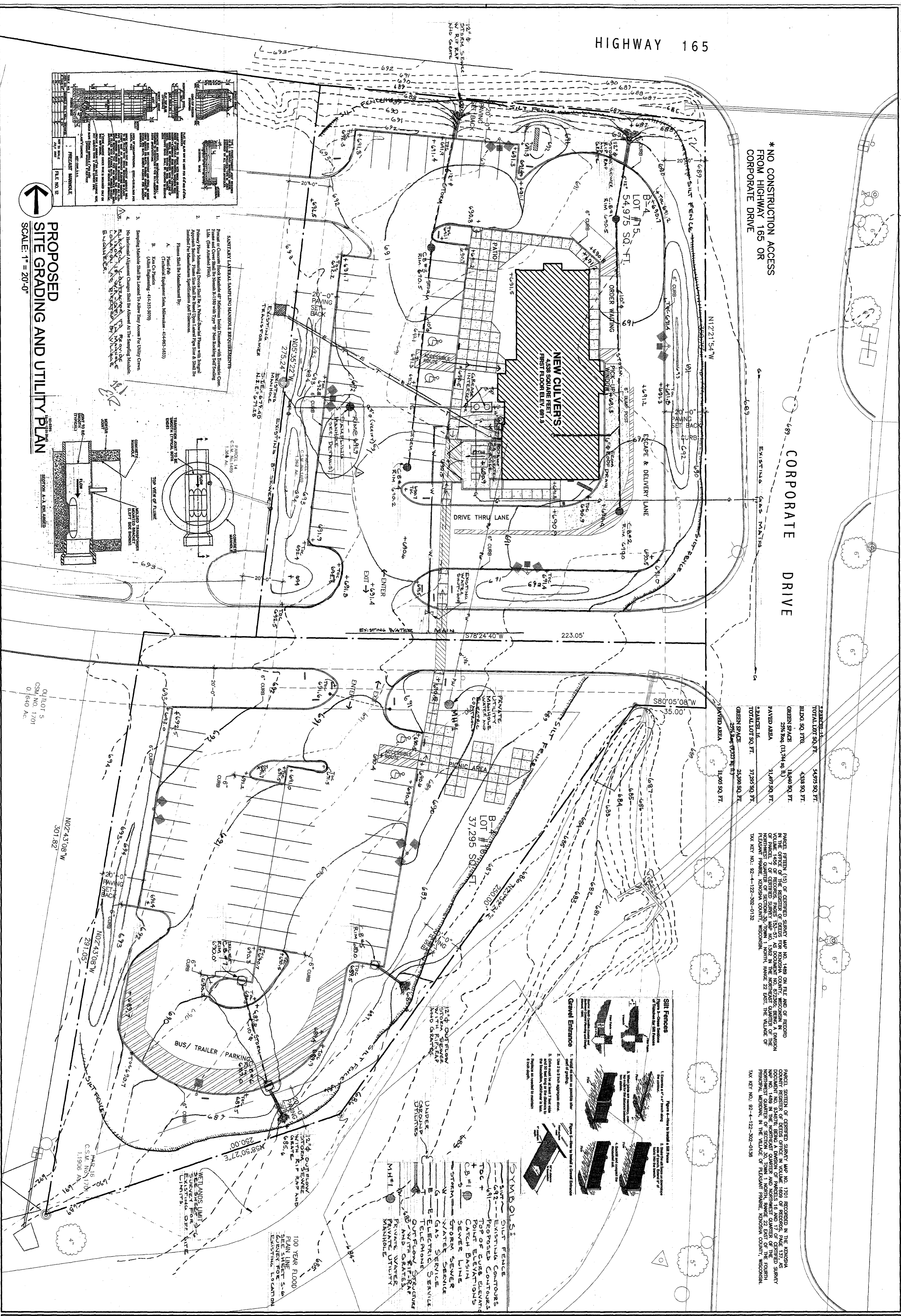
FINAL LANDSCAPING PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE VILLAGE.

REMARKS:
 1. Marking of trees to be removed shall be done by the owner.
 2. All trees to be removed shall be removed within 30 days of the start of construction.
 3. All trees to be removed shall be removed within 30 days of the start of construction.
 4. All trees to be removed shall be removed within 30 days of the start of construction.

REMARKS:
 1. Marking of trees to be removed shall be done by the owner.
 2. All trees to be removed shall be removed within 30 days of the start of construction.
 3. All trees to be removed shall be removed within 30 days of the start of construction.
 4. All trees to be removed shall be removed within 30 days of the start of construction.

* NO CONSTRUCTION ACCESS FROM HIGHWAY 165 OR CORPORATE DRIVE

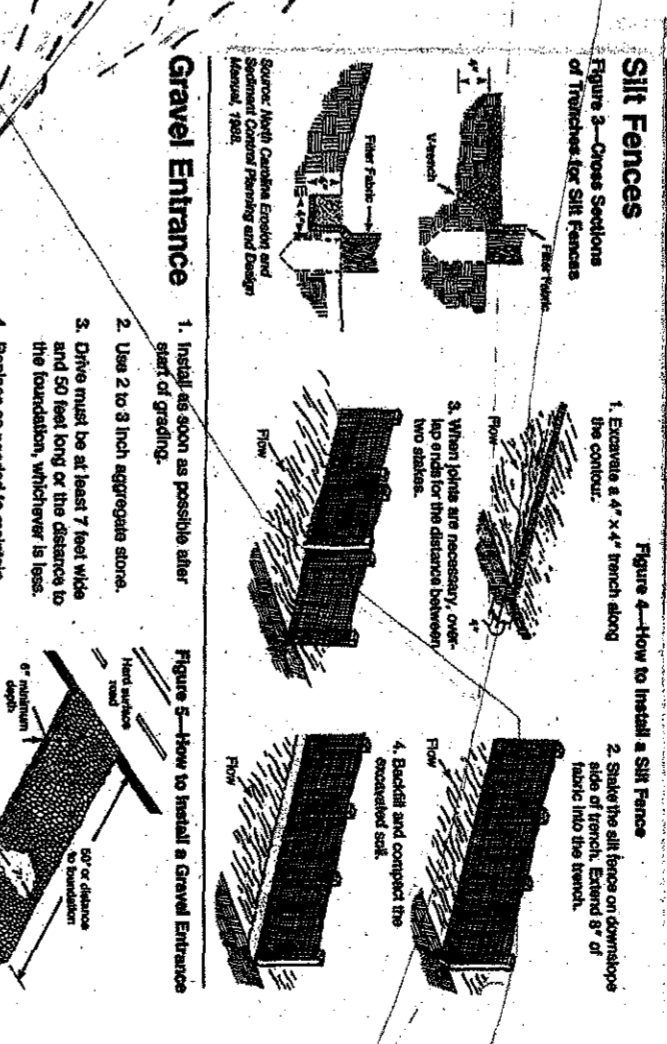
CORPORATE DRIVE



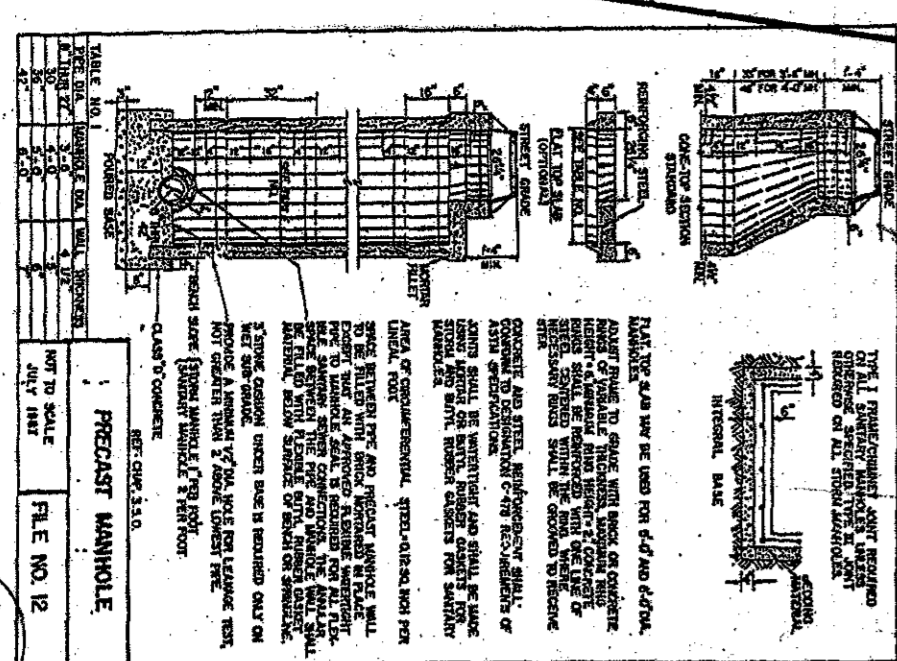
LAND AREA	TOTAL LOT SQ. FT.	4838 SQ. FT.
GREEN SPACE	13,940 SQ. FT.	4,838 SQ. FT.
PAVED AREA	25,840 SQ. FT. (13,744 sq. ft.)	11,497 SQ. FT.
BANKED AREA	37,295 SQ. FT.	11,905 SQ. FT.
GRASS SPACE	26,390 SQ. FT.	11,905 SQ. FT.

PARCEL #19) OF CERTIFIED SURVEY MAP NO. 1489 ON THE AND OF RECORD IN THE OFFICE OF RECORDS FOR KENOSHA COUNTY, WISCONSIN IN VOLUME 1608 OF RECORDS, PAGE 137, AS VOLUNTARILY RECORDED ON 05/23/2002, BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST, THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO. 92-4-122-202-0132

PARCEL #20) OF CERTIFIED SURVEY MAP NO. 1701 RECORDED IN THE KENOSHA COUNTY OFFICE OF RECORDS IN VOLUME 1608 OF RECORDS, PAGE 137, AS VOLUNTARILY RECORDED ON 05/23/2002, BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO. 92-4-122-202-0138



- SYMBOLS:**
- SILT FENCE
 - RESTRICTION CONTOURS
 - TOP OF CURB ELEVATION
 - CATCH BASIN
 - SEWER LINE
 - STORM SEWER
 - GAS SERVICE
 - ELECTRICAL SERVICE
 - TELEPHONE
 - OUTFLOW STRUCTURE WITH GATE
 - FORWARD WATER MAIN
 - RAVINE UTILITY
 - UNDER DITCHES
 - 12" OUTFLOW STORM SEWER WITH RIP RAP AND GATE



PROPOSED SITE GRADING AND UTILITY PLAN

SCALE: 1" = 20'-0"

<p>SHEET NUMBER: S-3</p> <p>PROJECT NUMBER: 0039</p> <p>DATE: 12-4-00</p> <p>OWNER: ACN</p> <p>DESIGNER: ACN</p> <p>DATE: JAN. 23, 2001</p>	<p>DRAWING DESCRIPTION: PROPOSED SITE GRADING AND UTILITY PLAN</p> <p>PROJECT DESCRIPTION: NEW CULVER'S RESTAURANT LAKEVIEW CORPORATE PARK LOTS 15 & 16 PLEASANT PRAIRIE, WI, 53158</p> <p>PROJECT FOR: OMA, LLC 10484 CORPORATE DRIVE PLEASANT PRAIRIE, WI.</p>	<p>STELLING & ASSOCIATES ARCHITECTS, LTD.</p> <p>181 W. CHESTNUT STREET BURLINGTON, WI, 53105 TELEPHONE: (262) 783-8725 FAX: (262) 783-1971 E-MAIL: stell@stella.com</p>
--	--	---

ADDENRUM # 1

This is an addendum to the project documents prepared by Stelling and Associates
Architects and Dated 12/4/01

Scope Change: This addendum changes the size of the Ground Monument Sign
and the drive thru lane menu sign to comply with the size requirements set forth by the
Village of Pleasant Prairie.

Please add to all submitted project documents.

Thank you,

Burkhart Construction Corp.

Jay Campbell / Project Manager



id Enter, Exit & Drive

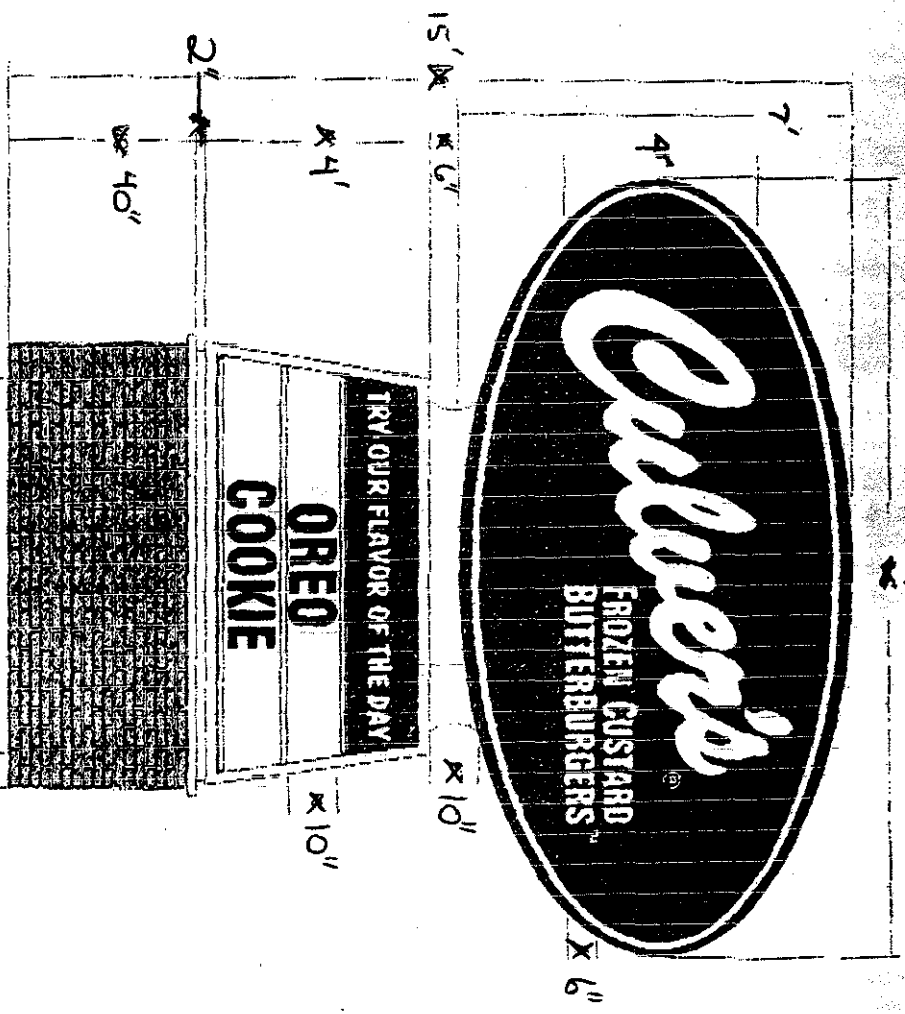
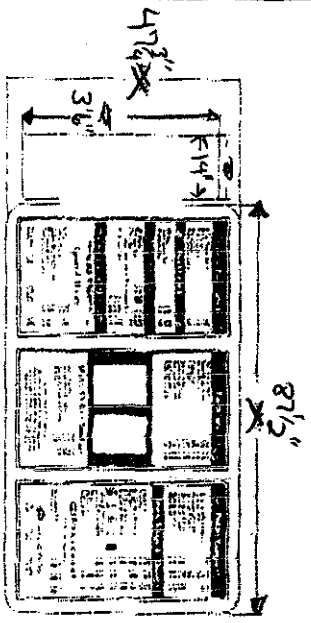
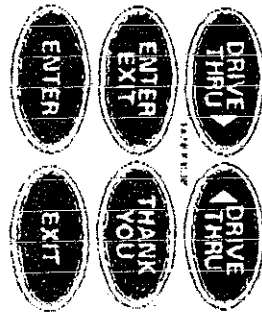
struction

must be run to site and
ectrician)



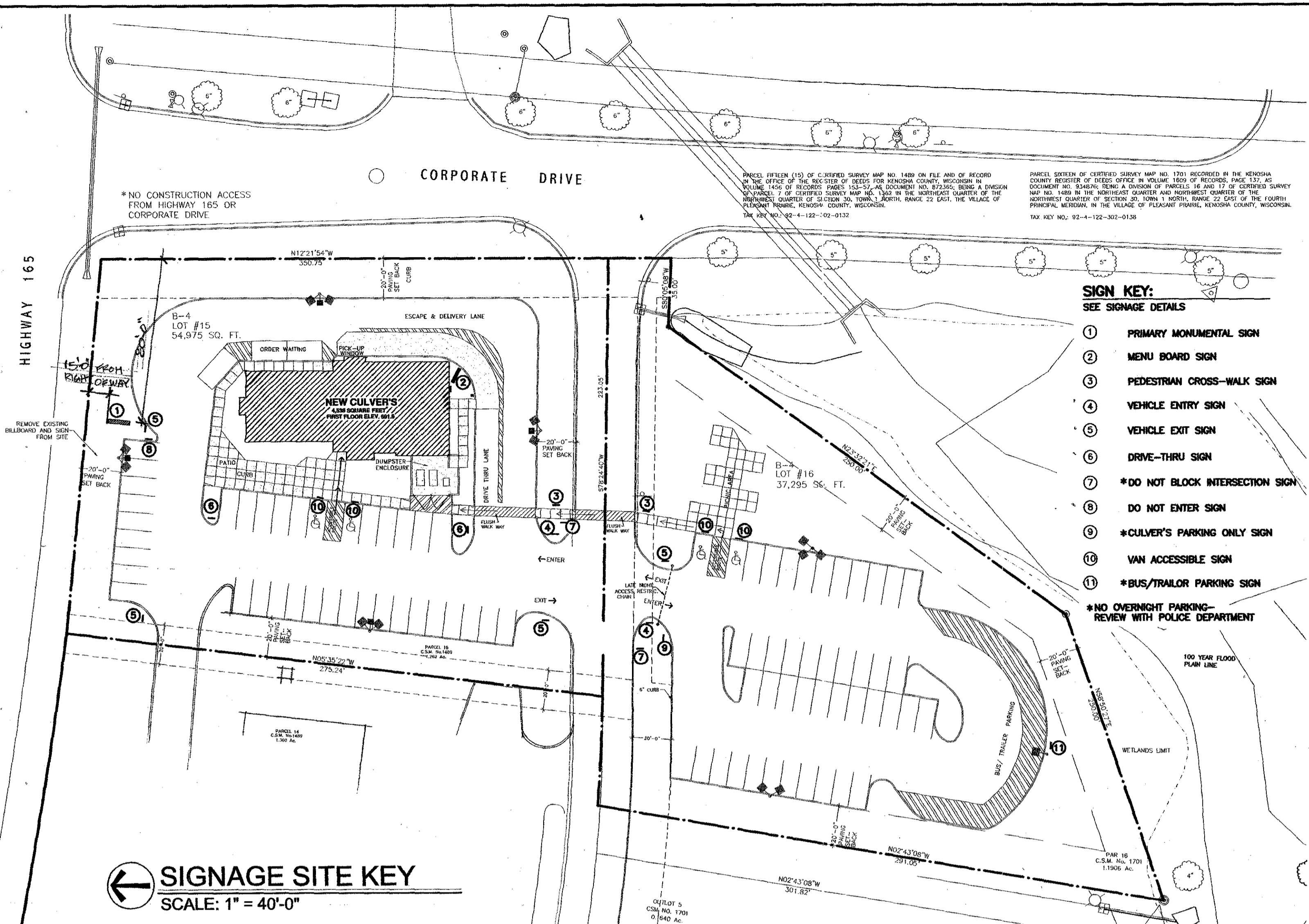
Stressville
16501 N. 52nd
177th Ave. (119) 386-0799
2001

ntended for use
with a perfect being
got. It is not to be
drives outside of
the regulated
show. If NOT
DAYS FROM
to change for the
Arrangement)



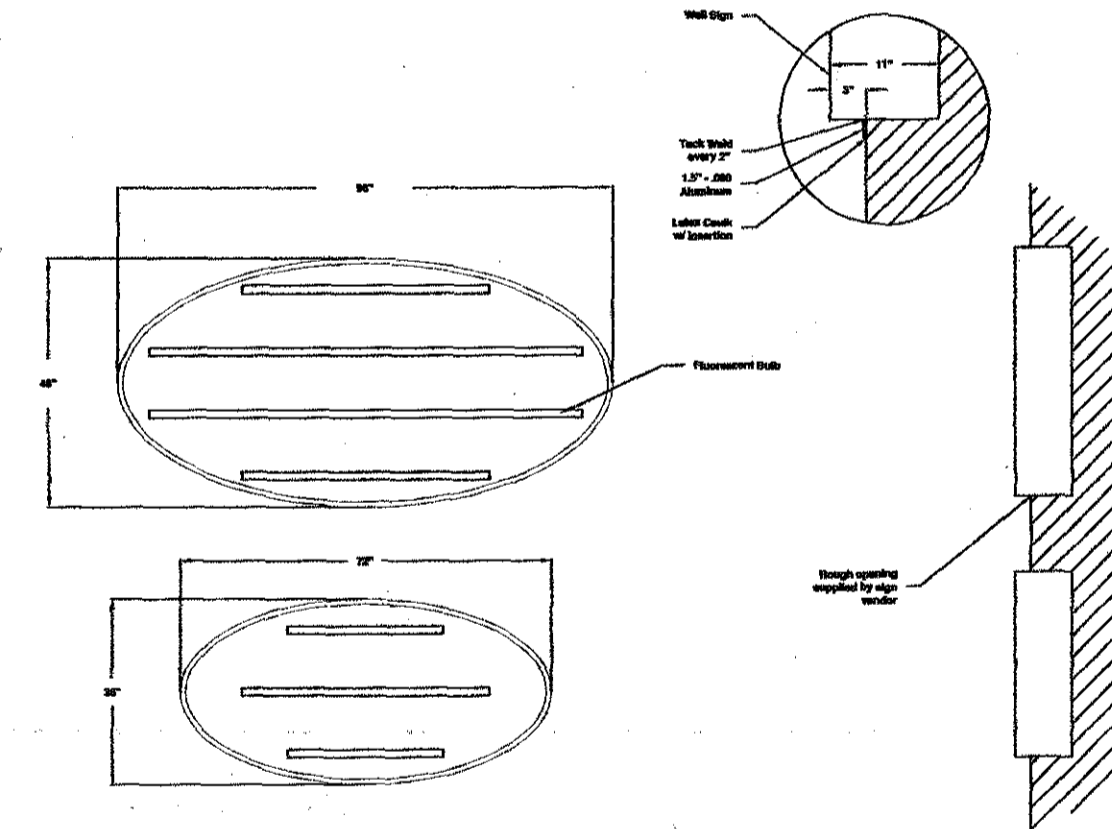
(Note: Colors shown on print are not exact to paint or vinyl colors)

Note: 1' x 3' Address Block Centered in masonry base

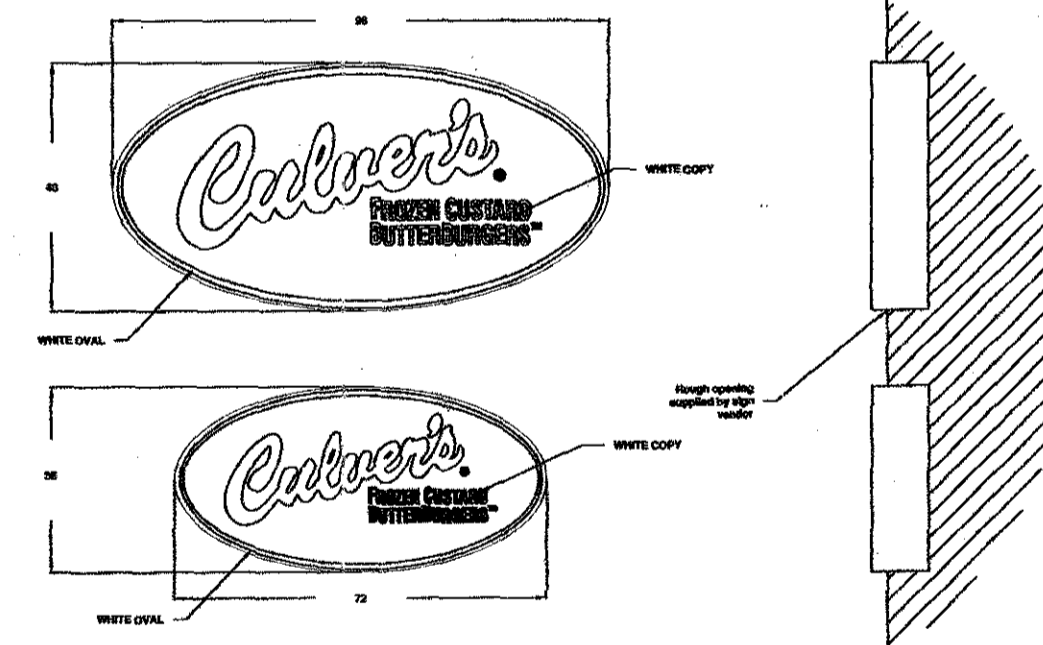


- SIGN KEY:**
SEE SIGNAGE DETAILS
- 1 PRIMARY MONUMENTAL SIGN
 - 2 MENU BOARD SIGN
 - 3 PEDESTRIAN CROSS-WALK SIGN
 - 4 VEHICLE ENTRY SIGN
 - 5 VEHICLE EXIT SIGN
 - 6 DRIVE-THRU SIGN
 - 7 *DO NOT BLOCK INTERSECTION SIGN
 - 8 DO NOT ENTER SIGN
 - 9 *CULVER'S PARKING ONLY SIGN
 - 10 VAN ACCESSIBLE SIGN
 - 11 *BUS/TRAILOR PARKING SIGN
- *NO OVERNIGHT PARKING - REVIEW WITH POLICE DEPARTMENT

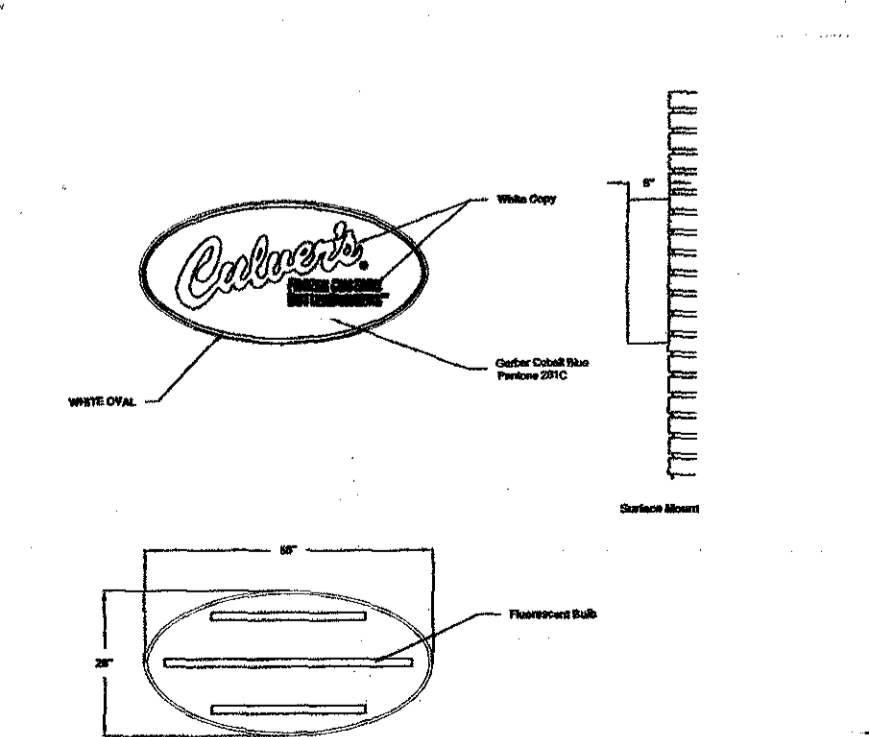
SIGNAGE SITE KEY
SCALE: 1" = 40'-0"



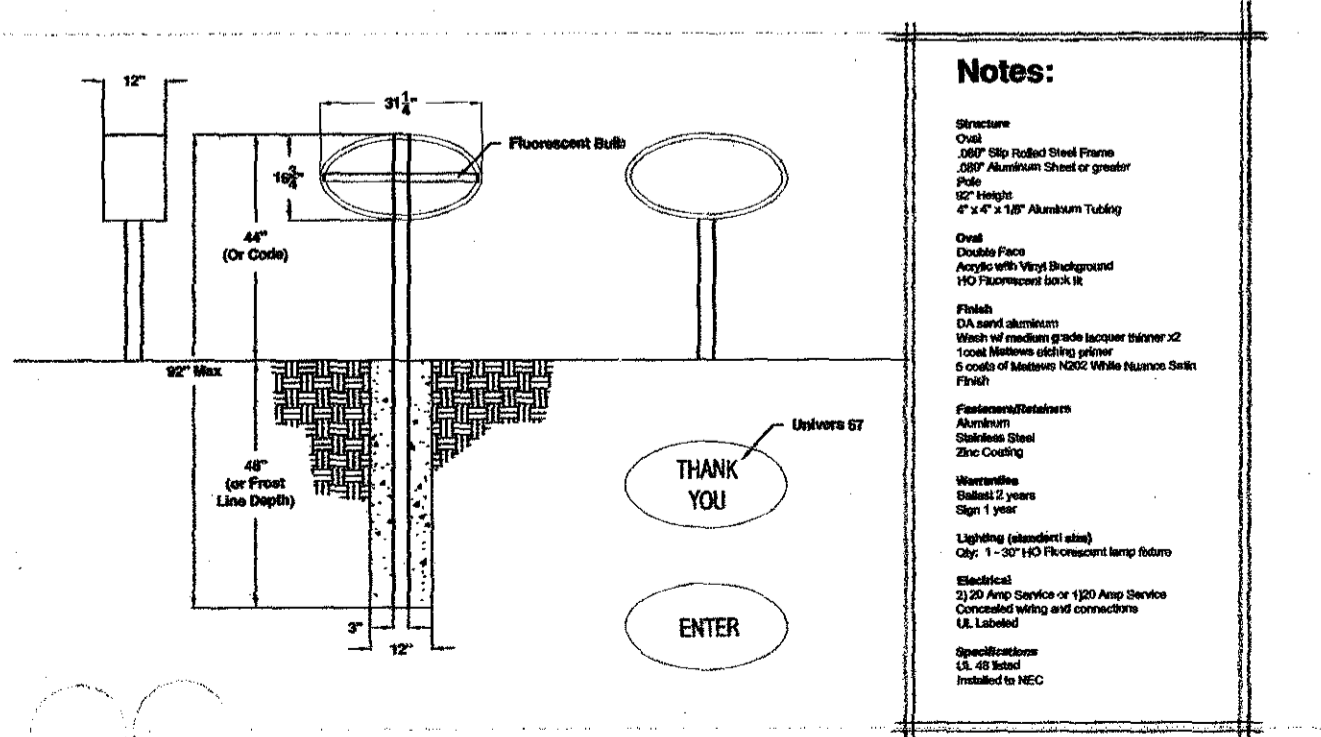
OVAL WALL SIGN
NOT TO SCALE



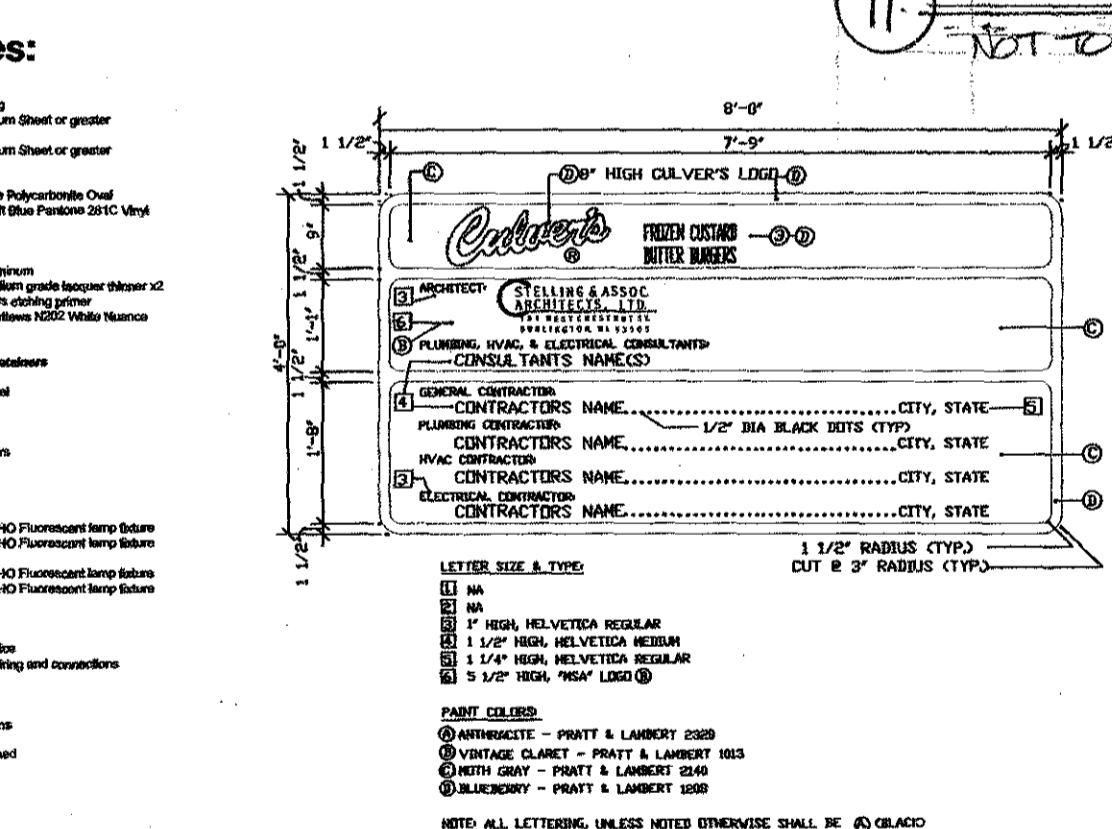
OVAL WALL SIGN
NOT TO SCALE



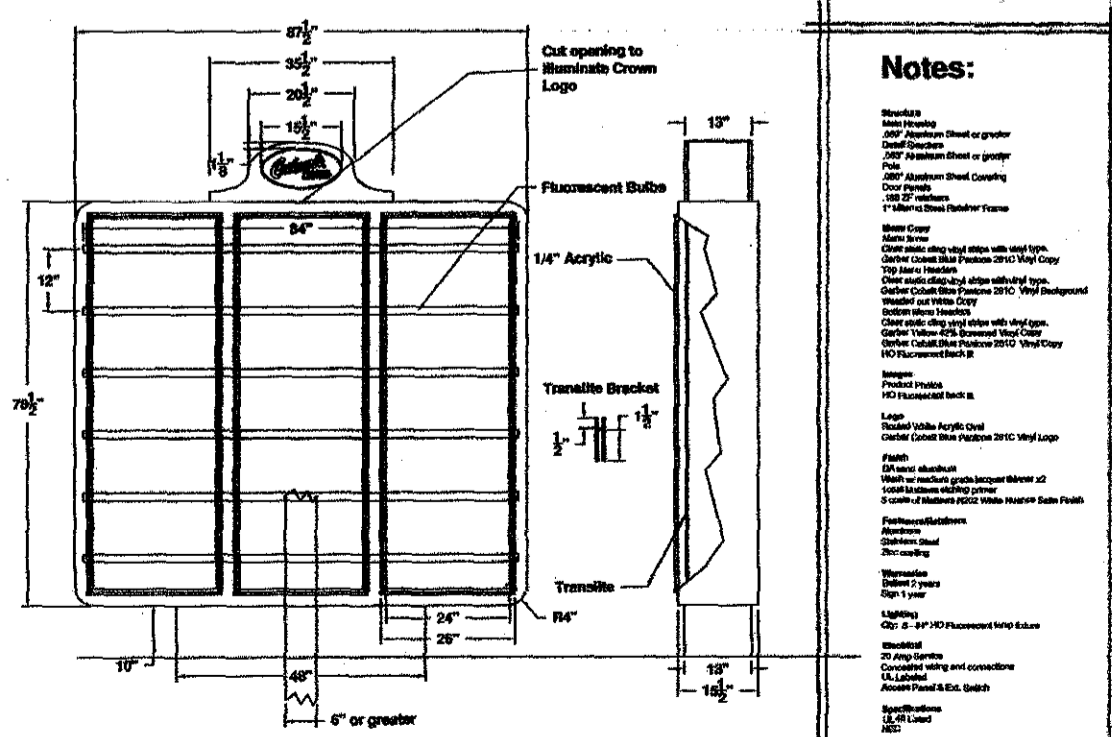
END GABLE SIGN
NOT TO SCALE



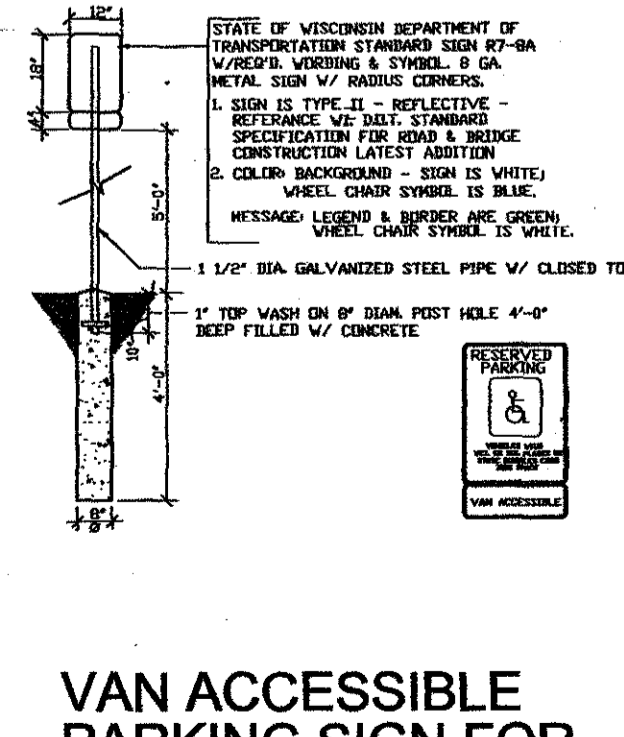
OVAL DIRECTIONAL SIGN
NOT TO SCALE



JOB SITE SIGN
NOT TO SCALE

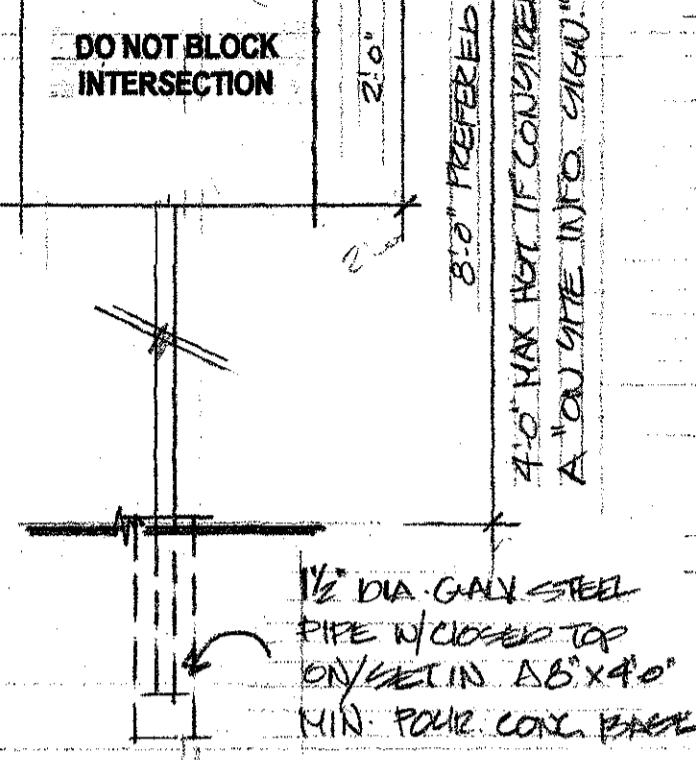


2. MENU BOARD SIGN
NOT TO SCALE

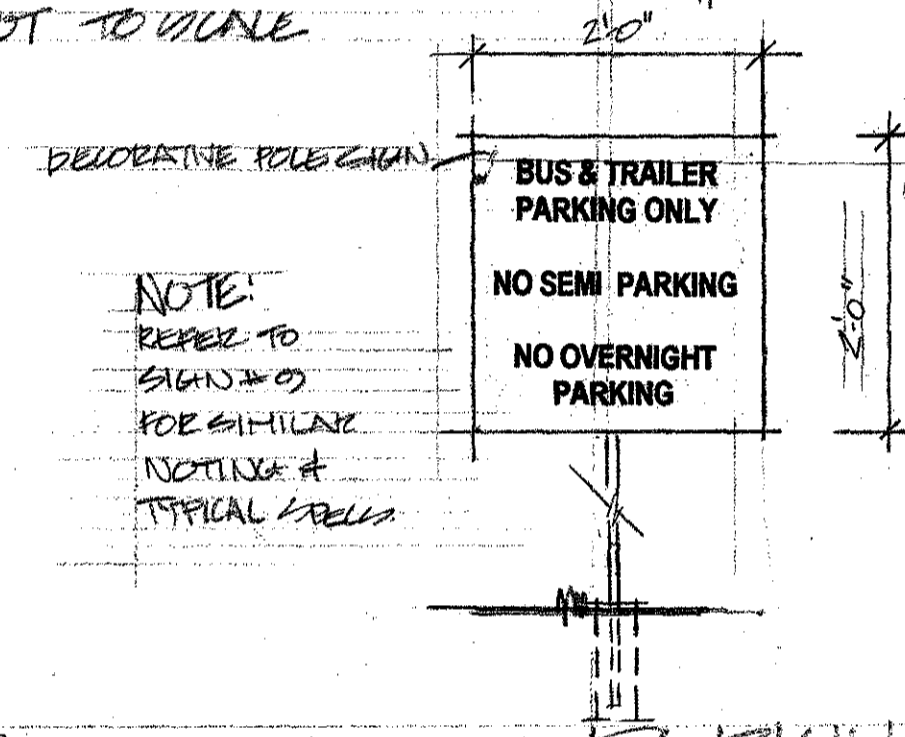


10. VAN ACCESSIBLE PARKING SIGN FOR THE DISABLED
NOT TO SCALE

NOTE:
IF CONSIDERED AN INTERSECTION SIGN PER DO NOT BLOCK INTERSECTION SIGN CENTER 5'0" MIN. FROM STREET. STANDARD COLOR (CULVER'S) CORRECT BLUE BACK GROUND/WHITE LETTERS.

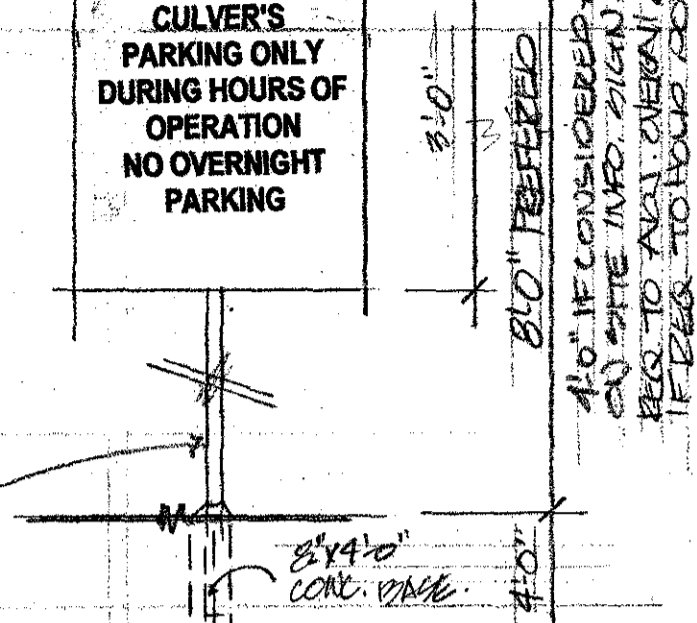


7. DO NOT BLOCK INTERSECTION SIGN
NOT TO SCALE



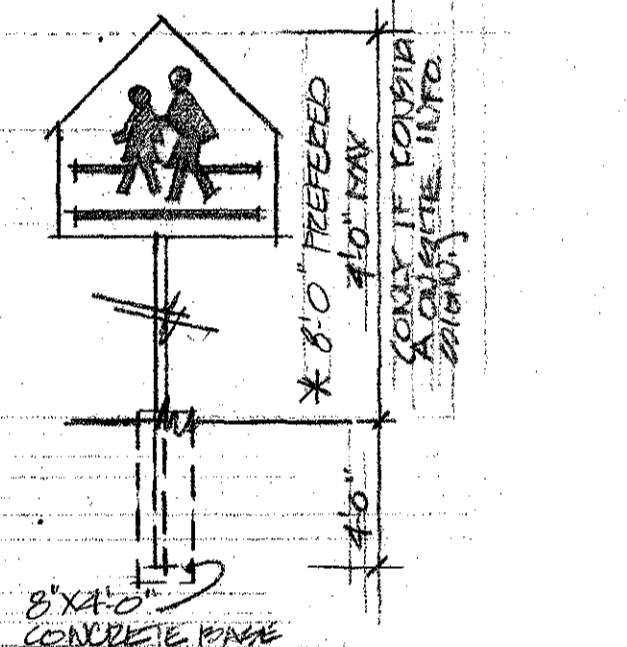
11. BUS & TRAILOR PARKING
NOT TO SCALE

NOTE:
IF CONSIDERED AN INTERSECTION SIGN FOR CULVER'S PARKING ONLY. COLOR TO MATCH STANDARD CULVER'S CORRECT BLUE W/ WHITE LETTERS. SETBACK 5'0" FROM ANY STREET.



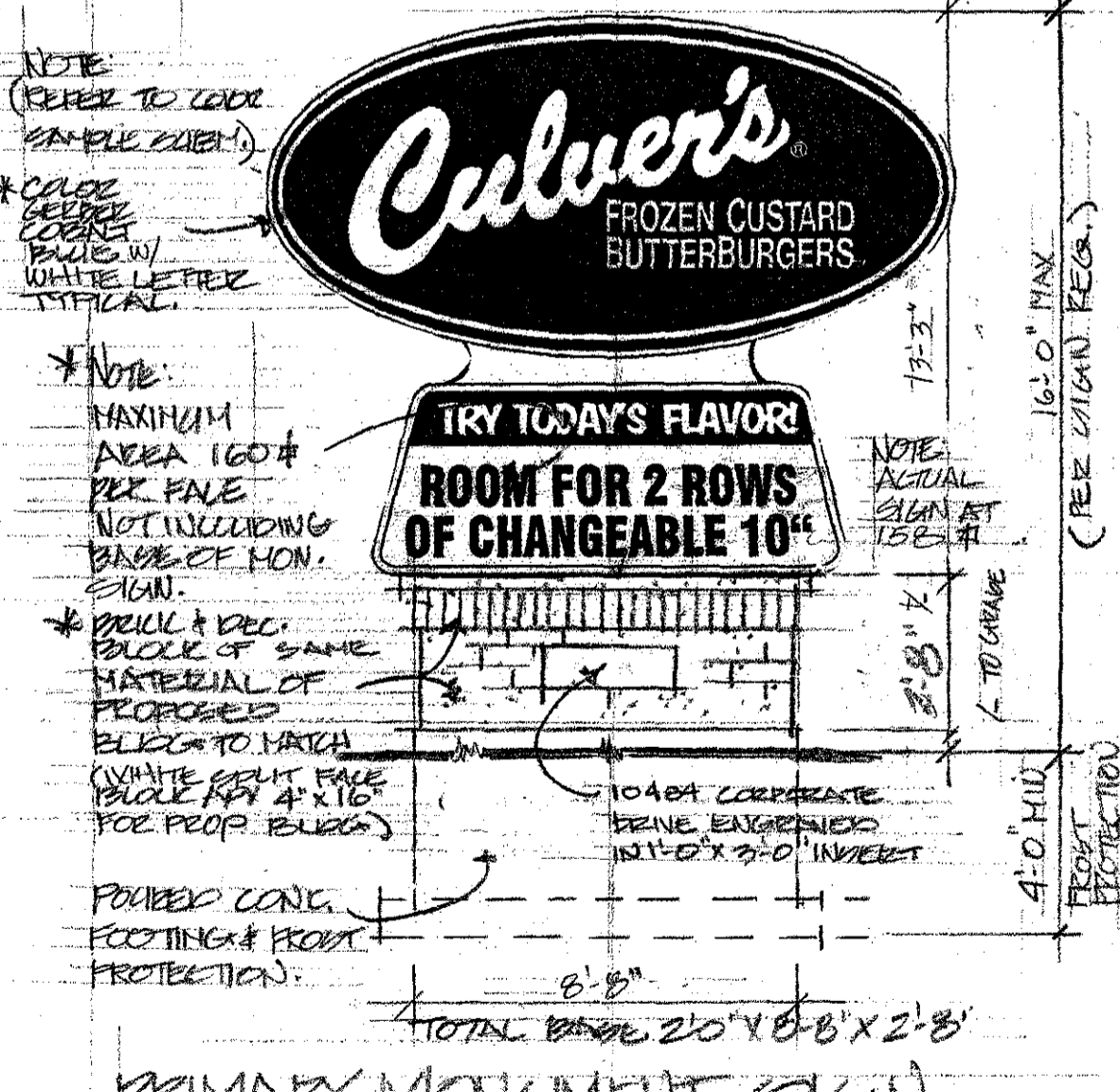
9. CULVER'S PARKING ONLY
NOT TO SCALE

NOTE:
STANDARD STREET SIGN IF CONSIDERED A STREET INTERSECTION SIGN THEN IT MAY NOT EXCEED 4'0" IN HEIGHT. SETBACK MIN. 5'0" FROM ANY PEOP LINE OR STREET.



3. PEDESTRIAN CROSS WALK
NOT TO SCALE

***NOTE:**
ALL SIGNS TO BE CONSIDERED TO WITHSTAND WIND PRESSURE OF NOT LESS THAN 40 POUNDS PER SQUARE FOOT OF SURFACE AREA.



1. PRIMARY MONUMENT SIGN
NOT TO SCALE

NOTE:
-DO NOT SCALE FROM DRAWINGS!
-CONTACT ARCHITECT IMMEDIATELY IF QUESTIONS ARISE!

FINAL SIGNAGE PLAN SHALL BE SUBMITTED AND APPROVED BY THE VILLAGE. *1/11/00*

STELLING & ASSOCIATES ARCHITECTS, LTD.

181 W. CHESTNUT STREET BURLINGTON, WI 53105
PHONE: (262) 781-1971 FAX: (262) 781-1971
EMAIL: stelling@stelling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158

PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
SIGNAGE KEY AND DETAILS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

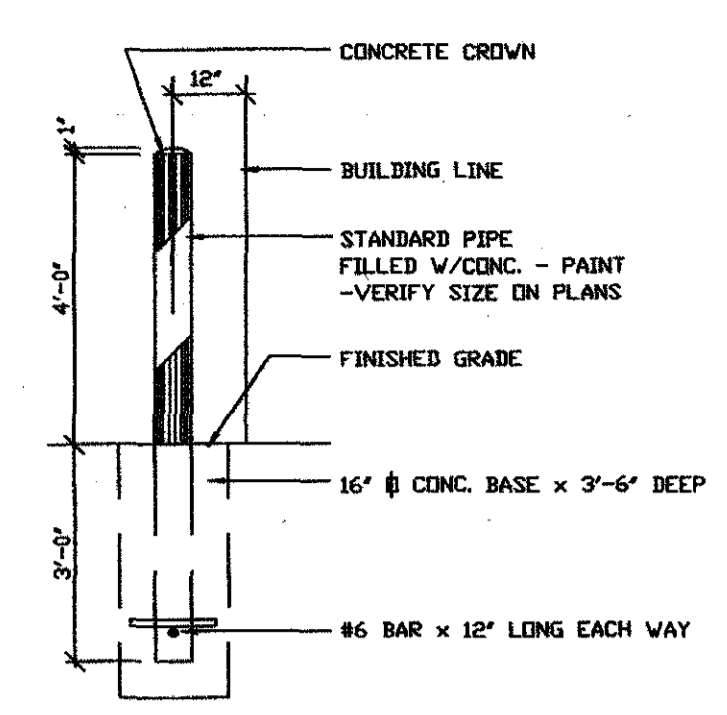
APPROVED:

DRAWN BY: ACN

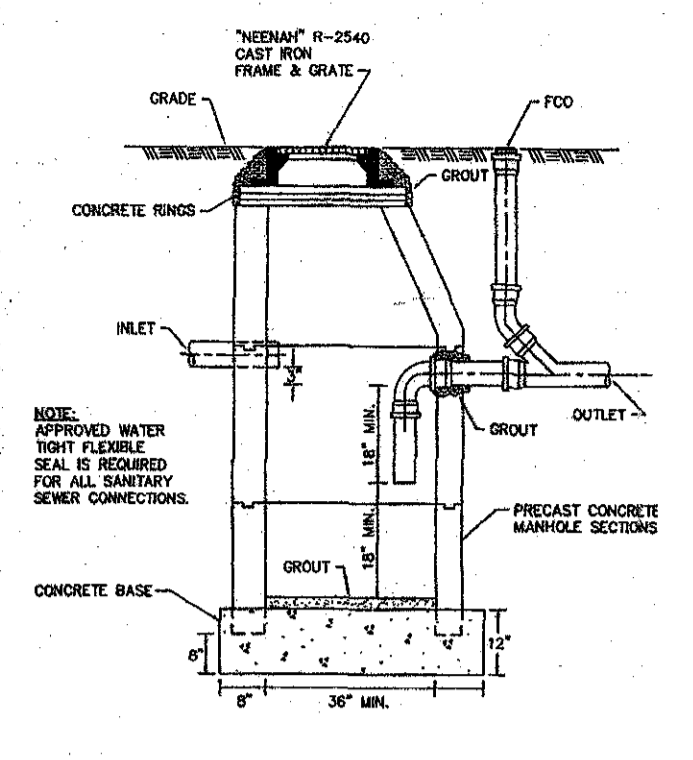
DATE: 12-4-00

PROJECT NUMBER: 0039

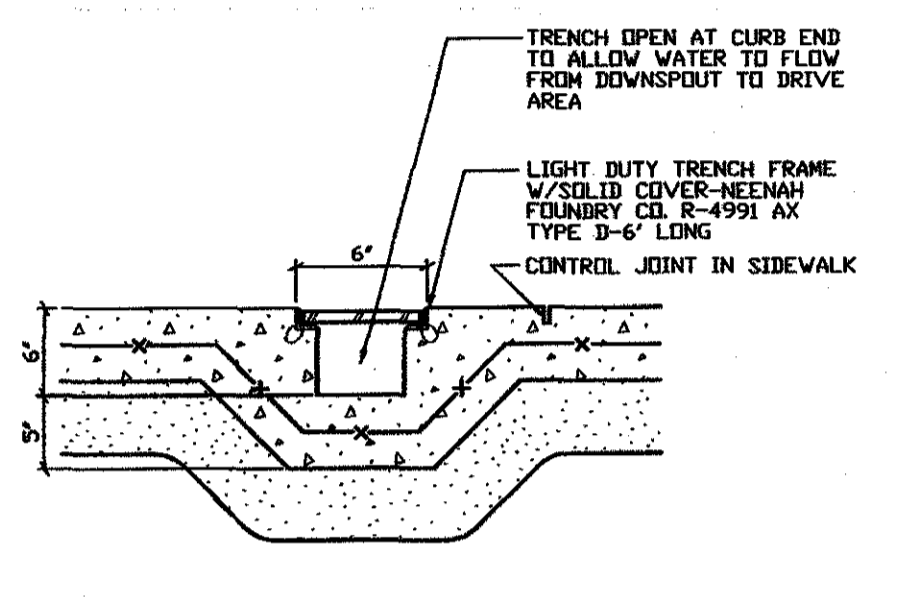
SHEET NUMBER: **S-4**



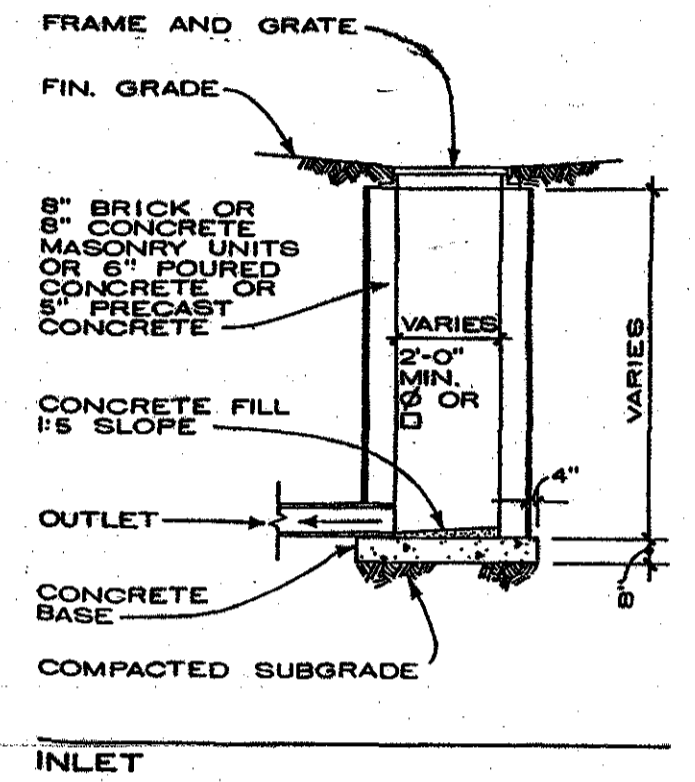
TYPICAL GUARD POST DETAIL
NTS



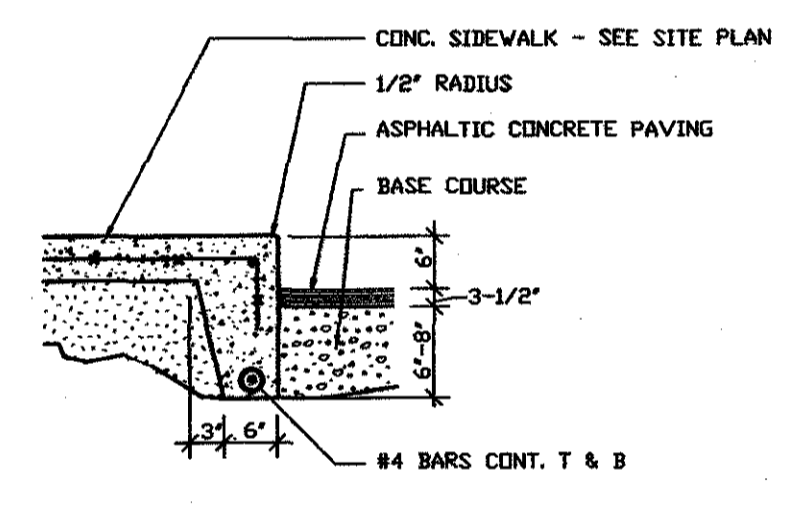
CATCH BASIN DETAIL
NOT TO SCALE



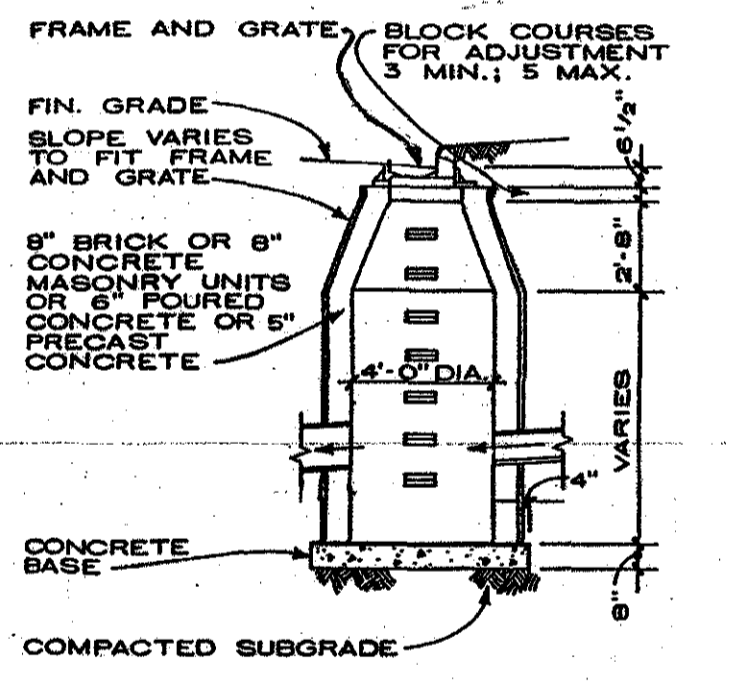
SIDEWALK TRENCH DETAIL
NTS



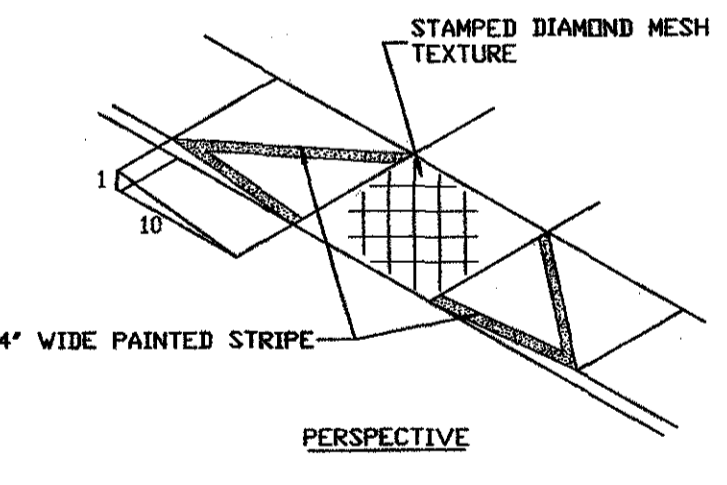
INLET



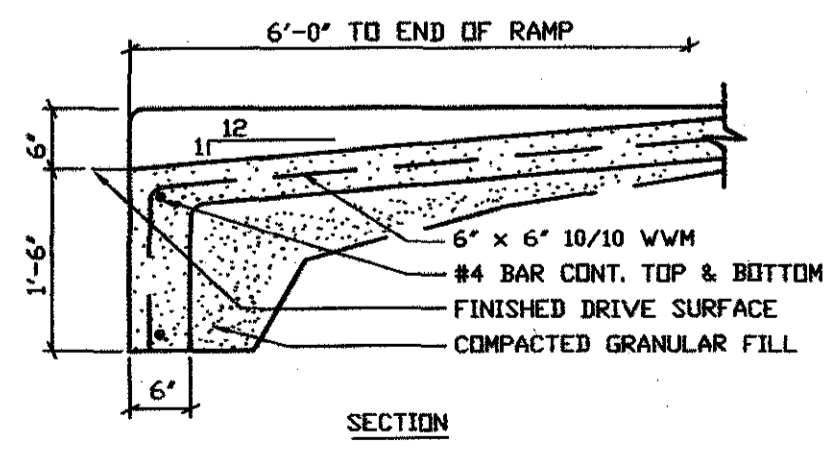
CURB/SIDEWALK SECTION
NTS



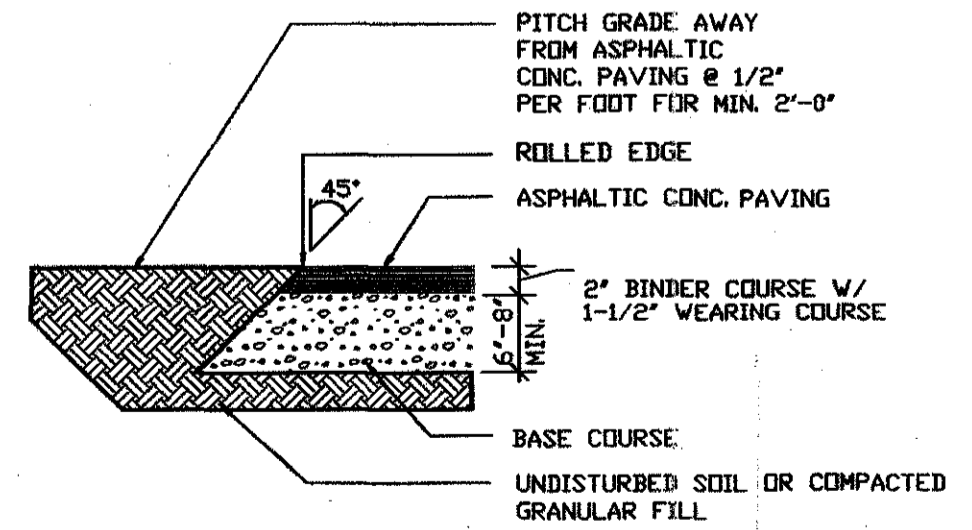
CATCH BASIN



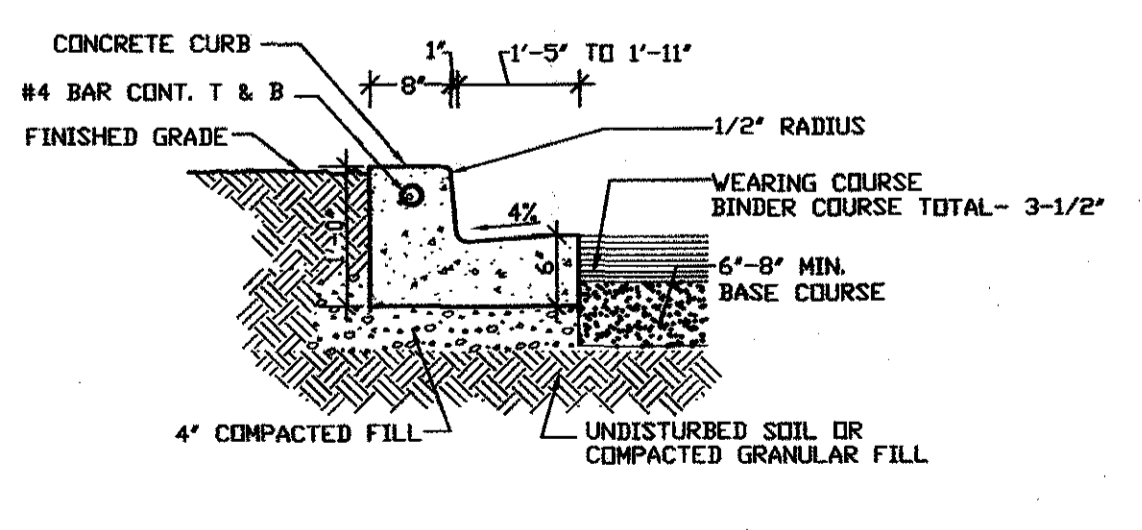
PERSPECTIVE



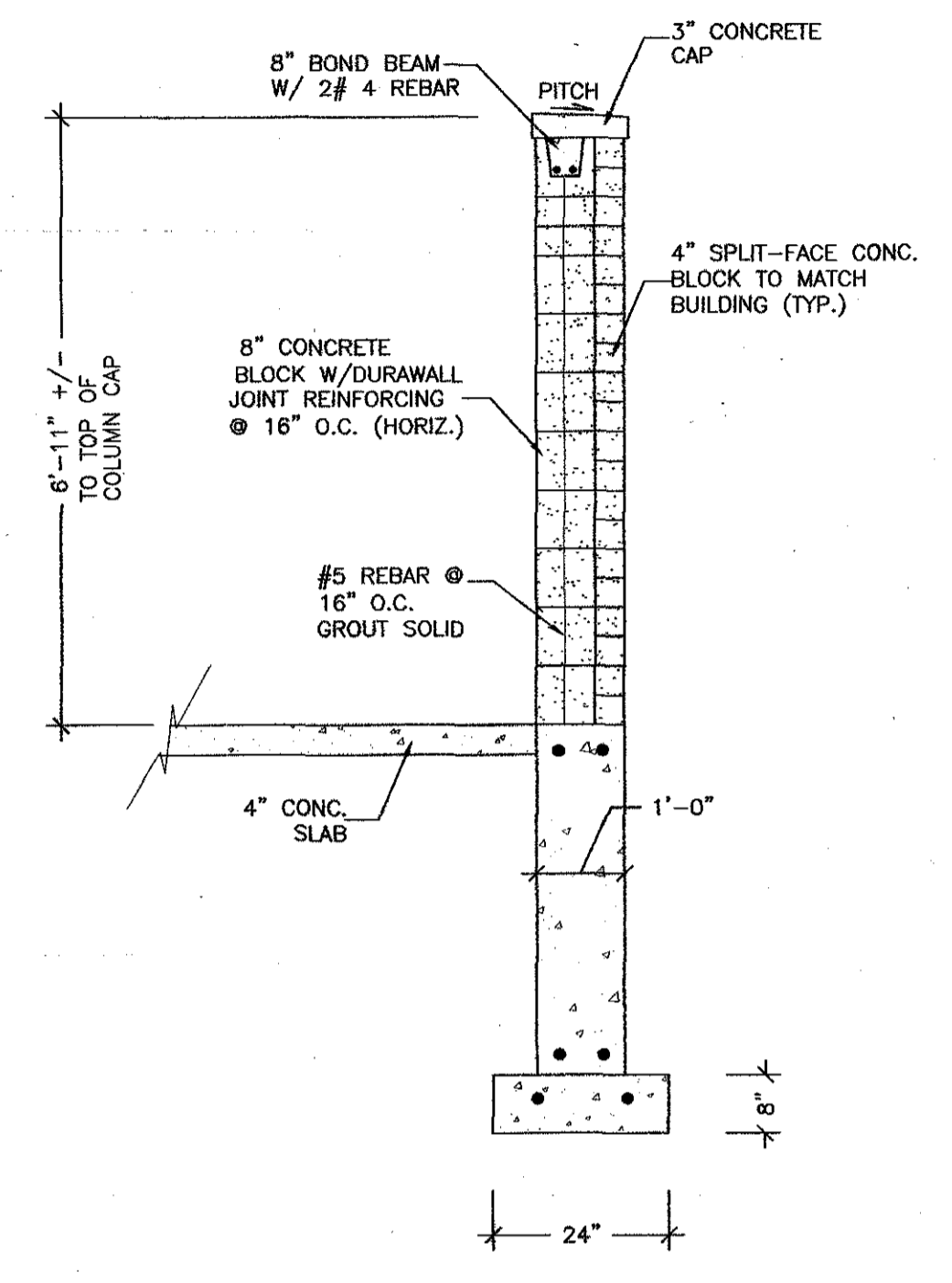
CURB - CUT DETAIL
NTS



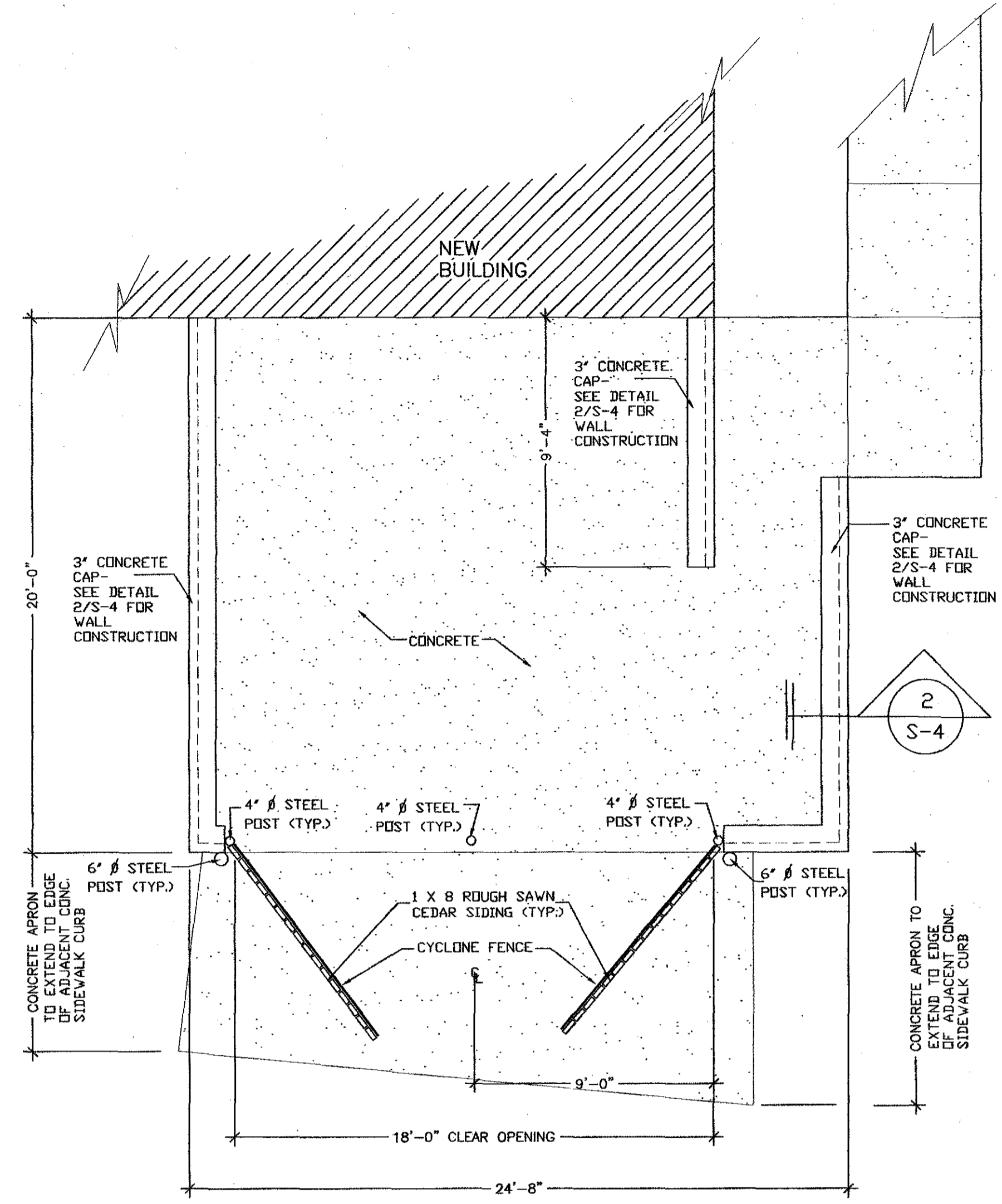
EDGE OF PAVING DETAIL
NTS



CURB @ GRASS SECTION
NTS

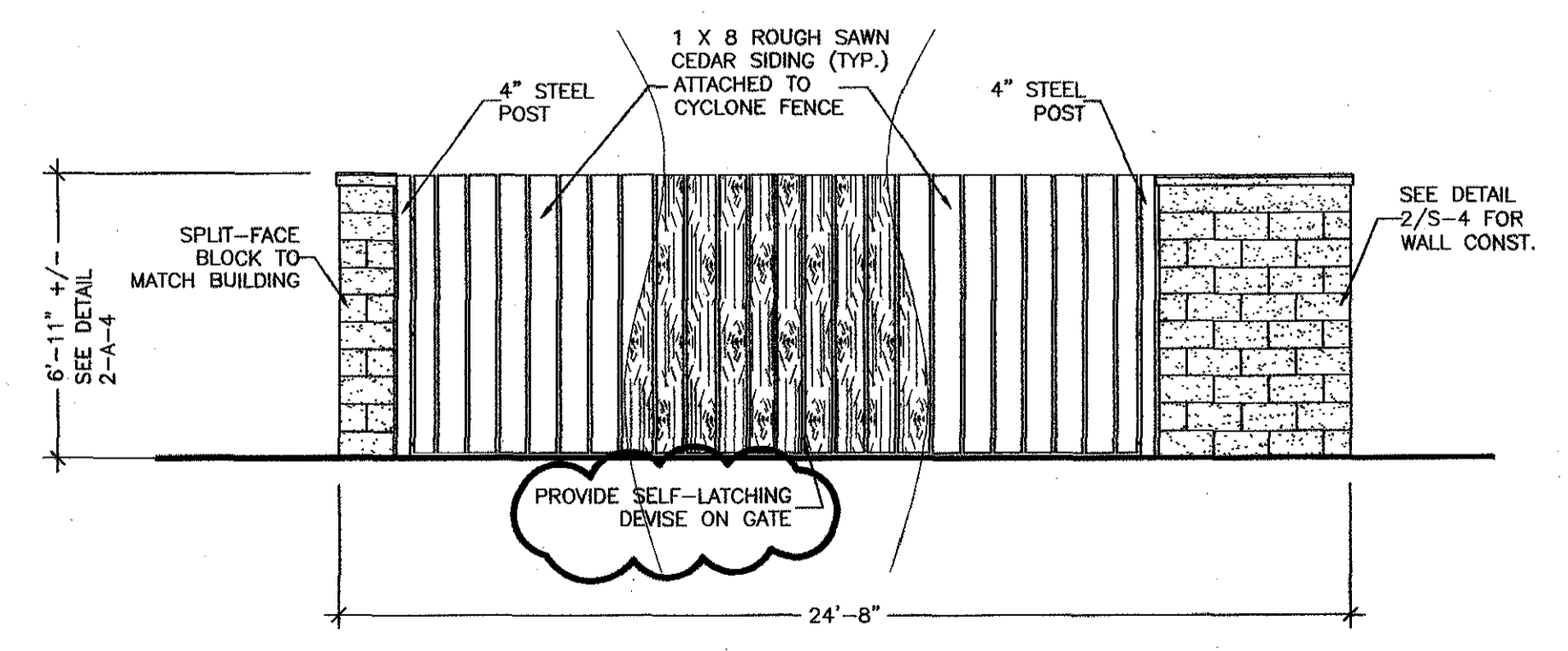


2 DUMPSTER ENCLOSURE WALL SECTION
SCALE: 1/2" = 1'-0"



NOTE: PROVIDE SELF-LATCHING CLOSURE AT GATE

1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

STELLING & ASSOCIATES ARCHITECTS, LTD.
161 W. CHESTNUT STREET, BURLINGTON, WI 53105
TELEPHONE: (262) 768-8728 FAX: (262) 768-1971
E-MAIL: stellarch@aol.com

NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158
PROJECT FOR: **OMA, L.L.C.**

SITE DETAILS AND DUMPSTER ENCLOSURE

OWNERSHIP OF DOCUMENTS: THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

APPROVED:

DRAWN BY: **ACN**

DATE: **12-4-00**

PROJECT NUMBER: **0039**

SHEET NUMBER: **S-5**

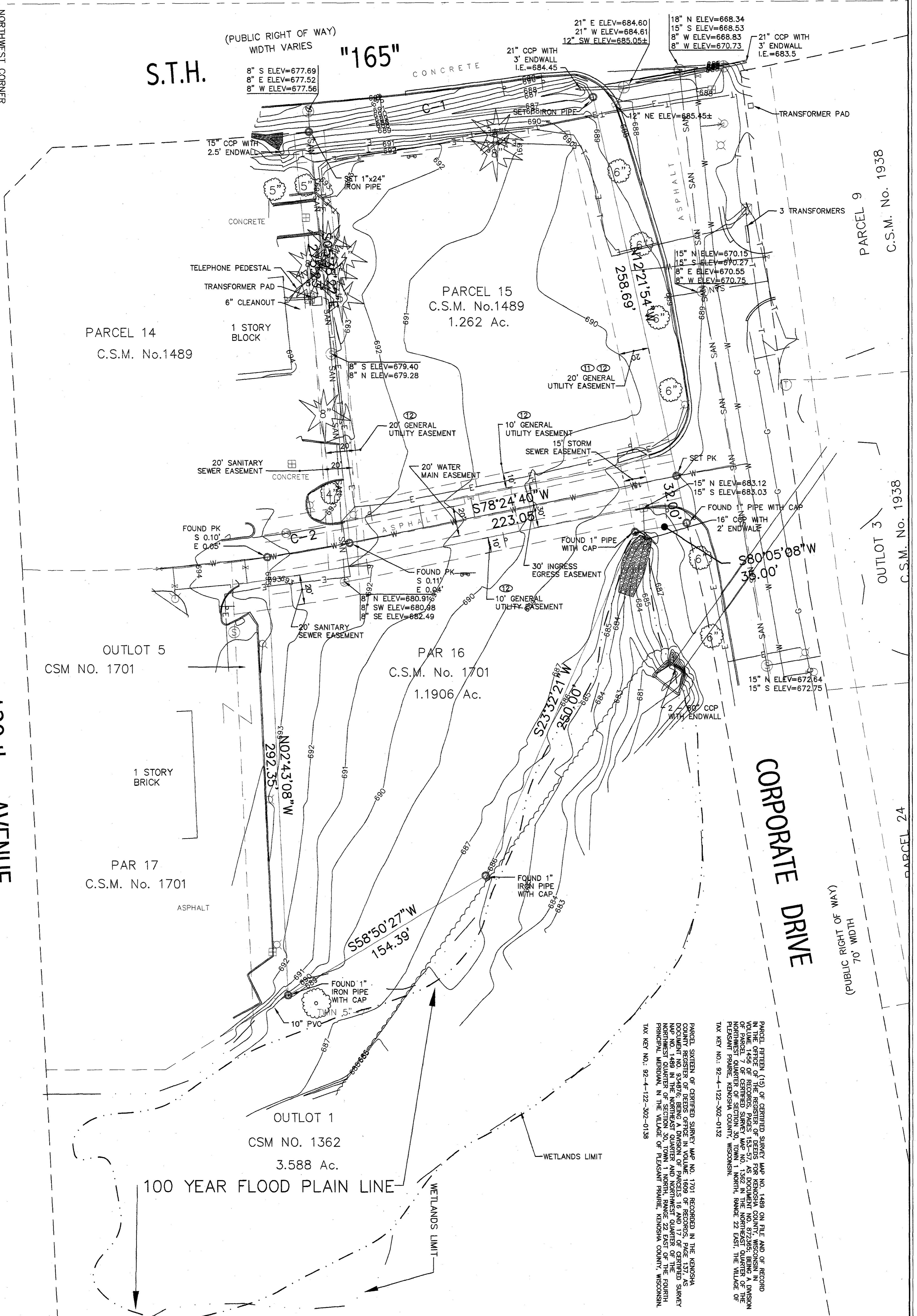
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	2939.79	191.41	95.74	191.37	N82°55'32"E	3°43'50"
C2	915.00	55.78	27.91	55.77	N80°09'27"E	3°29'41"

SURVEY BY: KRD RM
DATE: 11-14-00


N 89°44'44" E NORTH LINE OF NORTHWEST 1/4 OF SECTION 30-1-22

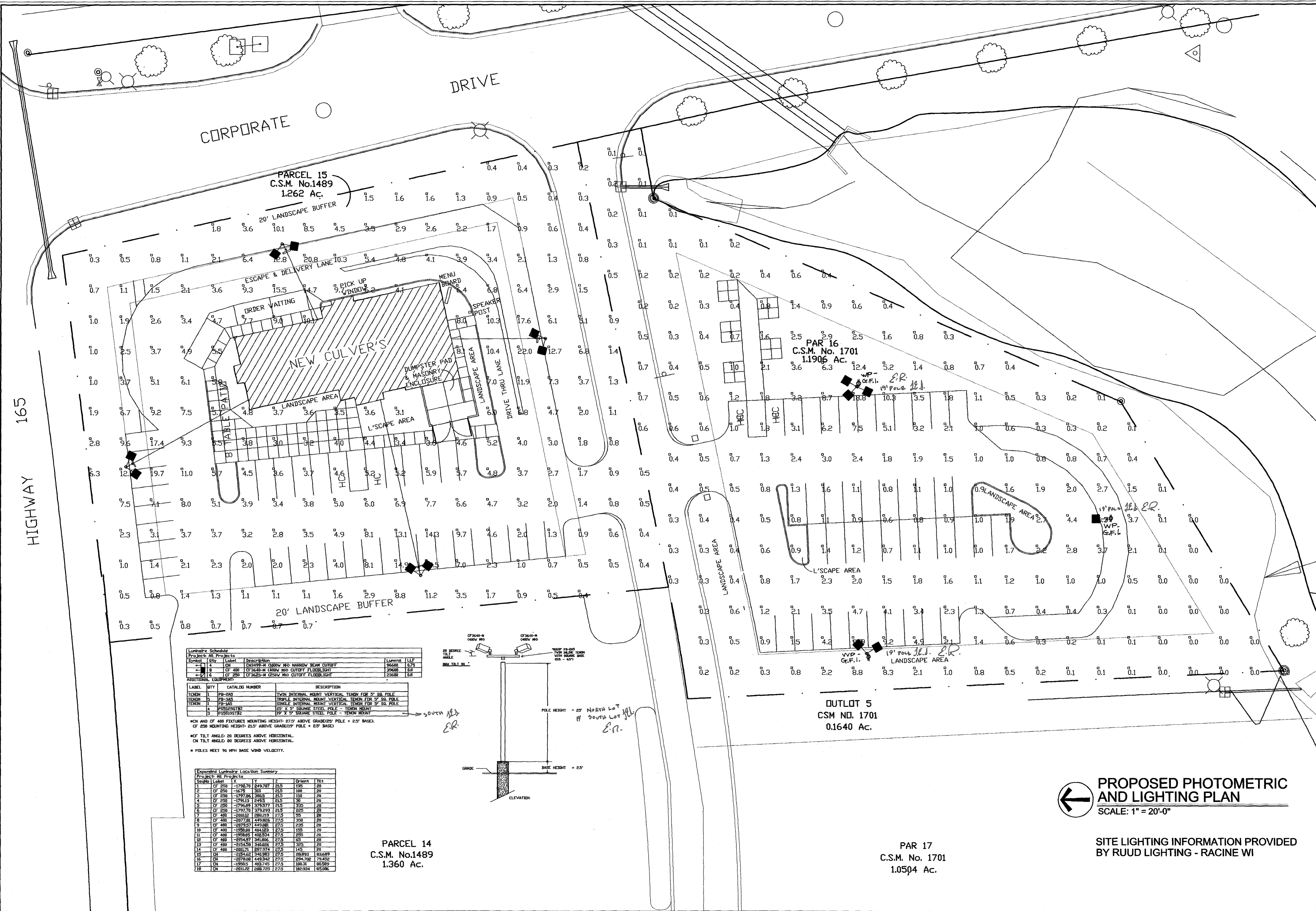
NORTHWEST CORNER
SEC. 30-1-22
BRASS CAP IN BRIDGE
197692.03
2552226.13
WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE.

 **SITE SURVEY**
SCALE: 1" = 30'-0"



PARCEL SIXTEEN (16) OF CERTIFIED SURVEY MAP NO. 1489 ON FILE AND OF RECORD IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN IN VOLUME 1489 OF RECORDS, PAGES 153-57, AS DOCUMENT NO. 872365, BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1352 IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST, THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO.: 92-4-122-302-0132

SHEET NUMBER: S-6	PROJECT NUMBER: 0039	DATE: 12-4-00	DRAWN BY: ACN	APPROVED:	DRAWING DESCRIPTION: SITE SURVEY	PROJECT DESCRIPTION: NEW CULVER'S RESTAURANT LAKEVIEW CORPORATE PARK LOTS 15 & 16 PLEASANT PRAIRIE WI, 53158	PROJECT FOR: OMA, L.L.C.	 STELLING & ASSOCIATES ARCHITECTS, LTD. 181 W. CHESTNUT STREET BURLINGTON, WI. 53105 TELEPHONE: (262) 769-8725 FAX: (262) 769-1971 E-MAIL: stllarch@aol.com
	OWNER/CLIENT: OMA, L.L.C.	OWNER/CLIENT ADDRESS: 181 W. CHESTNUT STREET BURLINGTON, WI 53105	OWNER/CLIENT PHONE: (262) 769-8725	OWNER/CLIENT FAX: (262) 769-1971				



Luminaire Schedule

Symbol	Qty	Label	Description	Lumens	LLF
1	4	DN	2x2x4-099-M GRID/ND NARROW BEAM CUTOFF	9600	0.75
2	8	CF 400	CF 3640-M GRID/ND CUTOFF FLUORESCENT	29600	1.0
3	16	CF 250	CF 2625-M GRID/ND CUTOFF FLUORESCENT	22200	0.8

ADDITIONAL EQUIPMENT:

Label	Qty	Catalog Number	Description
TENDR 1	1	PP-242	TWIN INTERNAL MOUNT VERTICAL TENDR FOR 2' SQ. POLE
TENDR 2	3	PP-242	TWIN INTERNAL MOUNT VERTICAL TENDR FOR 2' SQ. POLE
TENDR 3	1	PP-242	TWIN INTERNAL MOUNT VERTICAL TENDR FOR 2' SQ. POLE
1	1	PPSS18182	18" X 18" SQUARE STEEL POLE - TENDR MOUNT
3	3	PPSS18182	18" X 18" SQUARE STEEL POLE - TENDR MOUNT

MCN AND OF 400 FIXTURES MOUNTING HEIGHT 27.5' ABOVE GRADES' POLE + 2.5' BASE.
 OF 250 MOUNTING HEIGHT 21.5' ABOVE GRADES' POLE + 2.5' BASE.
 MCF TILT ANGLE 20 DEGREES ABOVE HORIZONTAL.
 CN TILT ANGLE 80 DEGREES ABOVE HORIZONTAL.
 * POLES MEET 90 MPH BASE WIND VELOCITY.

Expanded Luminaire Location Summary

Project	Label	X	Y	Z	Orient	Tilt
1	CF 250	-1798.70	849.707	21.5	195	20
2	CF 250	-1675	1315	21.5	180	20
3	CF 250	-1797.86	880.3	21.5	150	20
4	CF 250	-1791.13	849.8	21.5	30	20
5	CF 250	-1764.09	179.577	21.5	330	20
6	CF 250	-1797.70	179.293	21.5	225	20
7	CF 400	-2081.2	1280.219	27.5	15	20
8	CF 400	-2077.81	1449.825	27.5	330	20
9	CF 400	-2075.57	1449.881	27.5	225	20
10	CF 400	-1790.09	1004.853	27.5	135	20
11	CF 400	-1908.05	1402.534	27.5	285	20
12	CF 400	-2054.97	1412.006	27.5	45	20
13	CF 400	-2154.59	1463.026	27.5	330	20
14	CF 400	-2081.71	1287.974	27.5	145	20
15	DN	-2154.62	1463.063	27.5	284.993	80.689
16	DN	-2074.08	1449.242	27.5	194.708	74.432
17	DN	-1958.3	1402.745	27.5	180.31	80.589
18	DN	-2011.02	1288.725	27.5	182.934	85.086

PARCEL 14
C.S.M. No. 1489
1.360 Ac.

OUTLOT 5
CSM NO. 1701
0.1640 Ac.

PAR 17
C.S.M. No. 1701
1.0504 Ac.

PROPOSED PHOTOMETRIC AND LIGHTING PLAN
SCALE: 1" = 20'-0"

SITE LIGHTING INFORMATION PROVIDED BY RUUD LIGHTING - RACINE WI

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, SUITE 500
MILWAUKEE, WI 53202
TELEPHONE: (414) 782-5225 FAX: (414) 782-1071
E-MAIL: stelling@aol.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53188
PROJECT FOR:
OMA, L.L.C.

PROPOSED SITE LIGHTING PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-30-01
ENTIRE SHEET

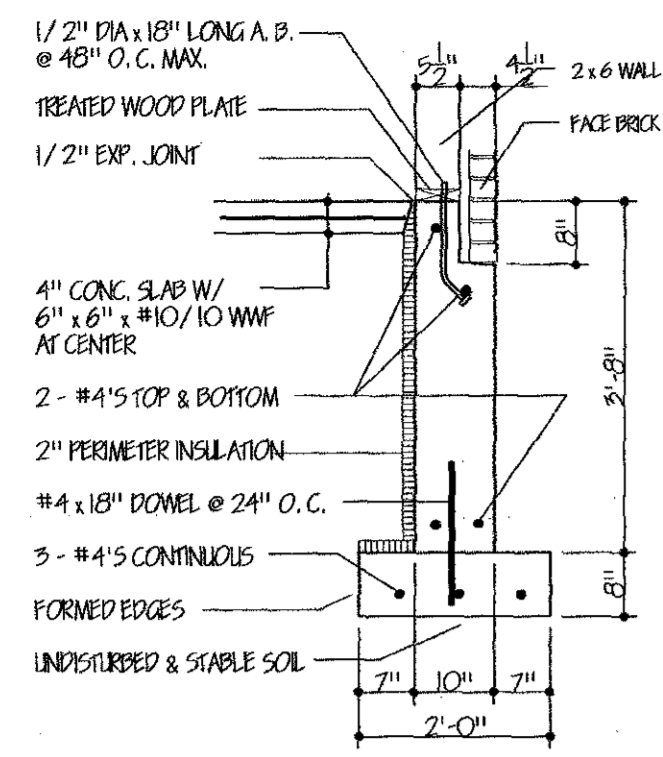
APPROVED:

DRAWN BY:
ACN

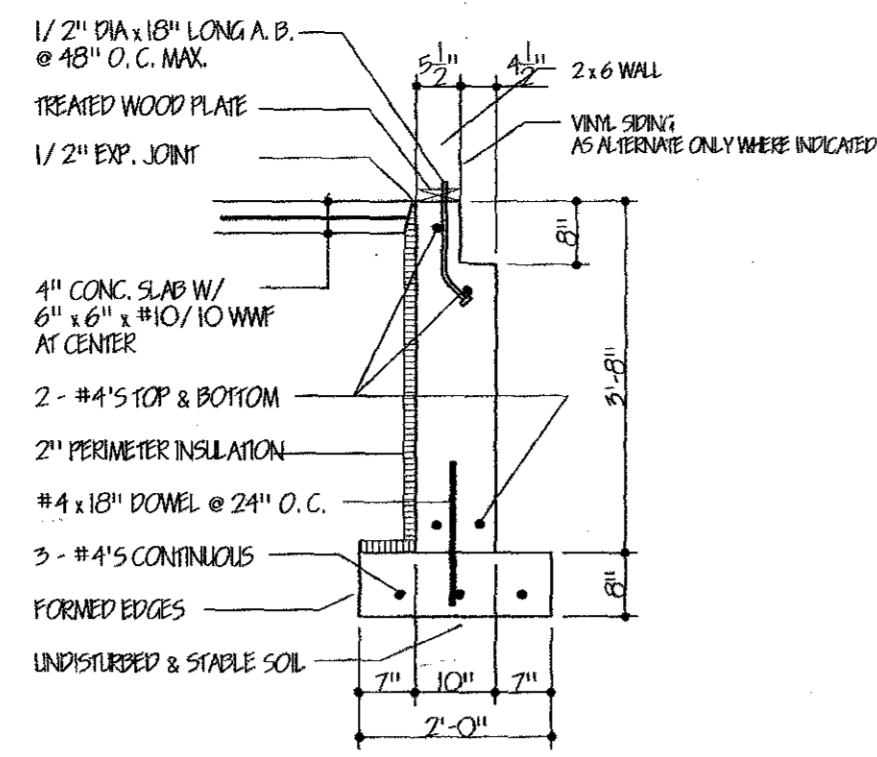
DATE:
12-4-00

PROJECT NUMBER:
0039

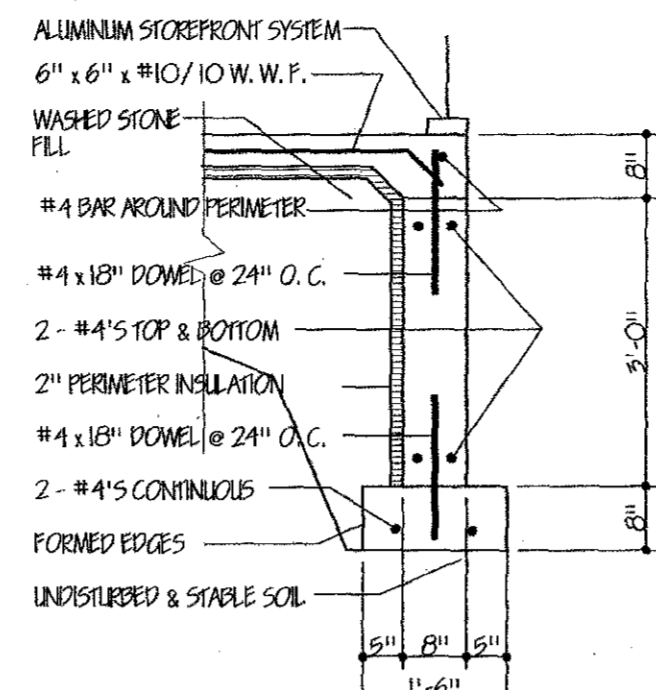
SHEET NUMBER:
L-1



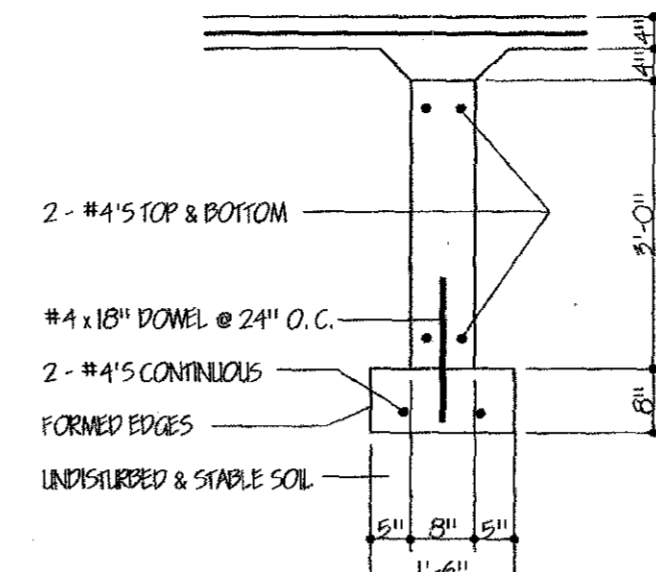
1 FND'N TYPE "A"
A-1
SCALE: 1/2" = 1'-0"



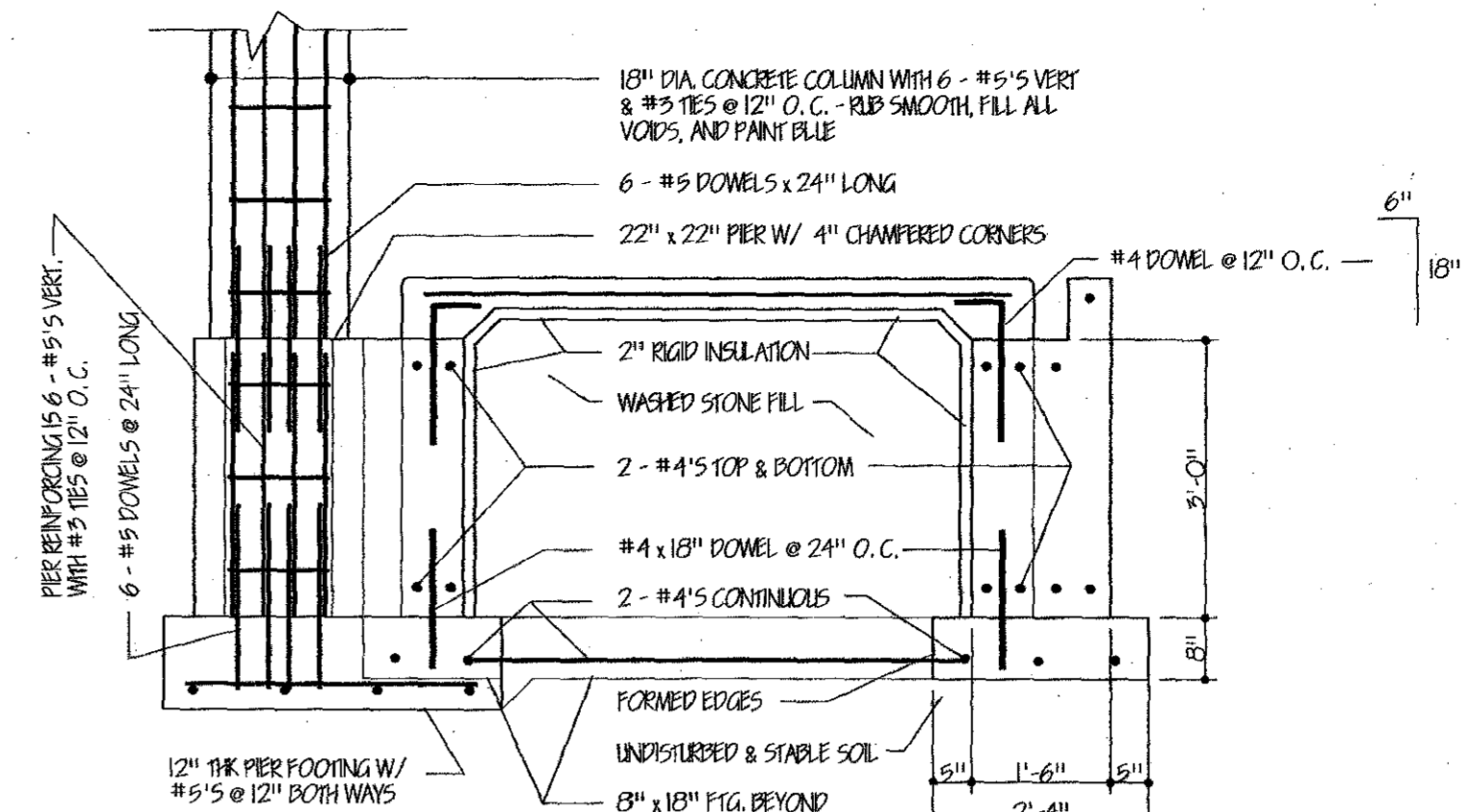
2 FND'N TYPE "B"
A-1
SCALE: 1/2" = 1'-0"
(VINYL SIDING ALTERNATE ONLY)



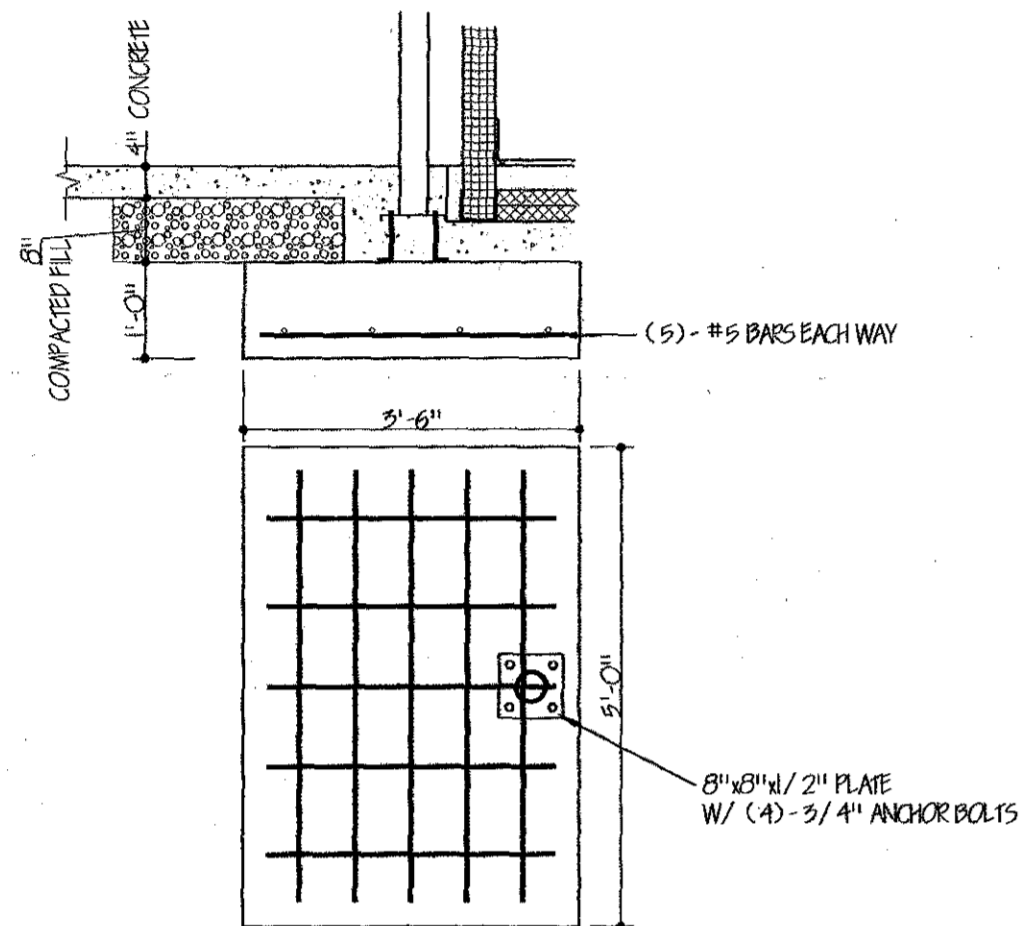
3 FND'N TYPE "C"
A-1
SCALE: 1/2" = 1'-0"



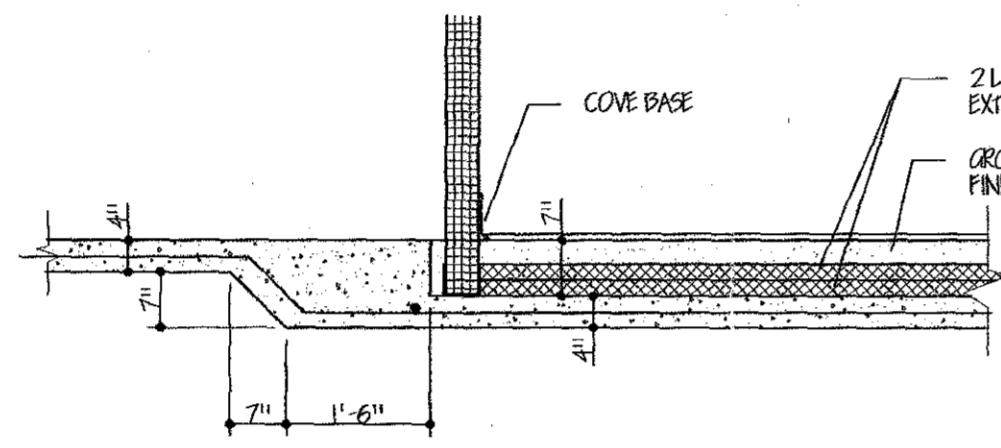
4 FND'N TYPE "D"
A-1
SCALE: 1/2" = 1'-0"



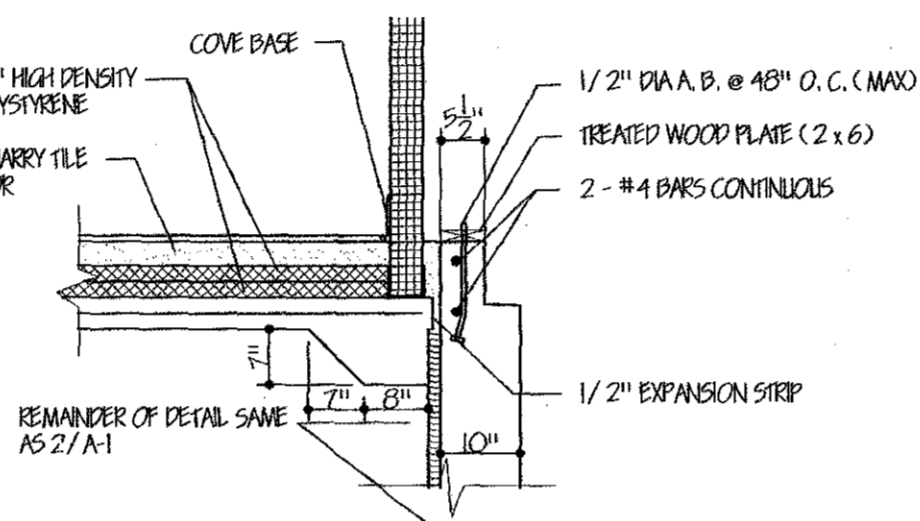
5 FND'N TYPE "E" - COLUMN & PIER
A-1
SCALE: 1/2" = 1'-0"



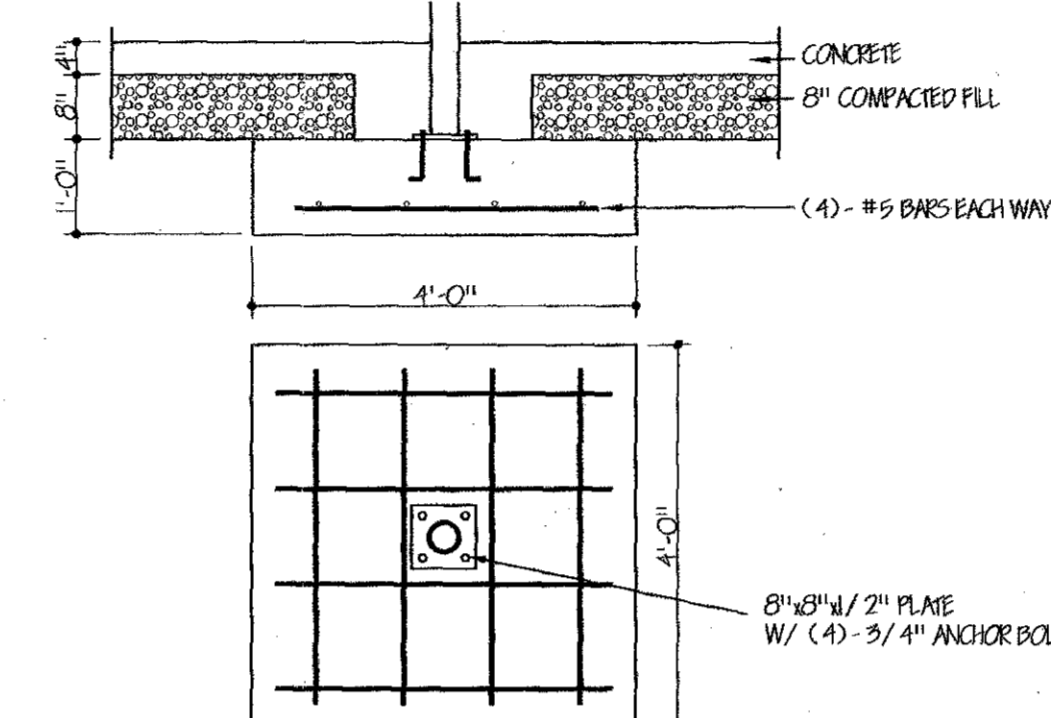
6 PAD AT COOLER
A-1
SCALE: 1/2" = 1'-0"



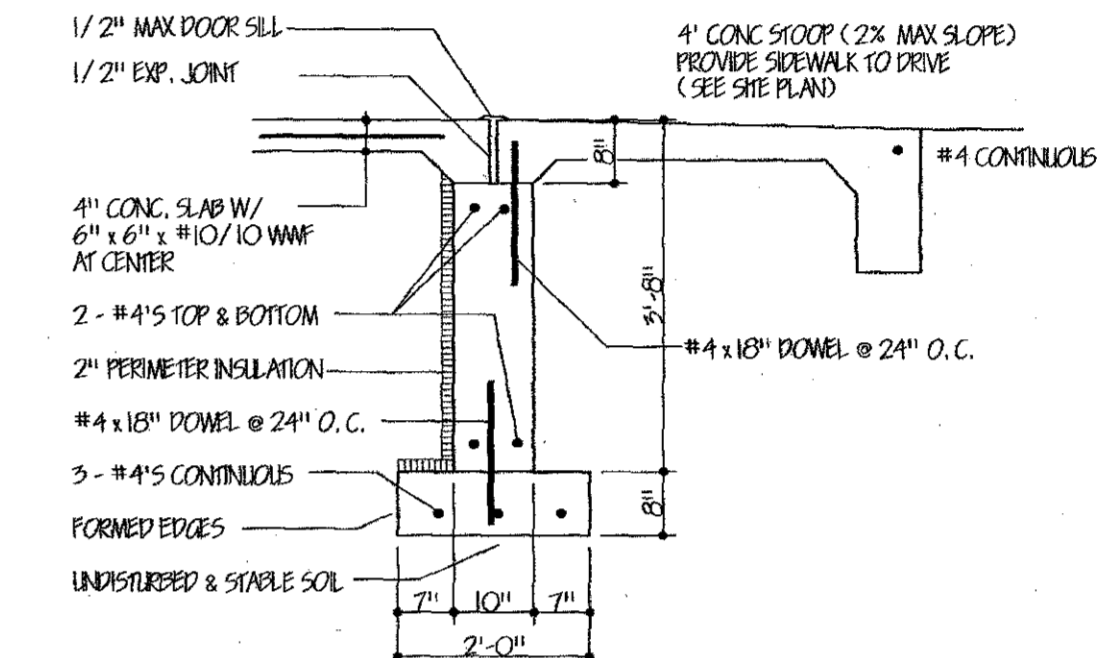
7 DET. - COOLER SLAB
A-1
SCALE: 1/2" = 1'-0"



8 DET. - FDN. WALL @ COOLER
A-1
SCALE: 1/2" = 1'-0"

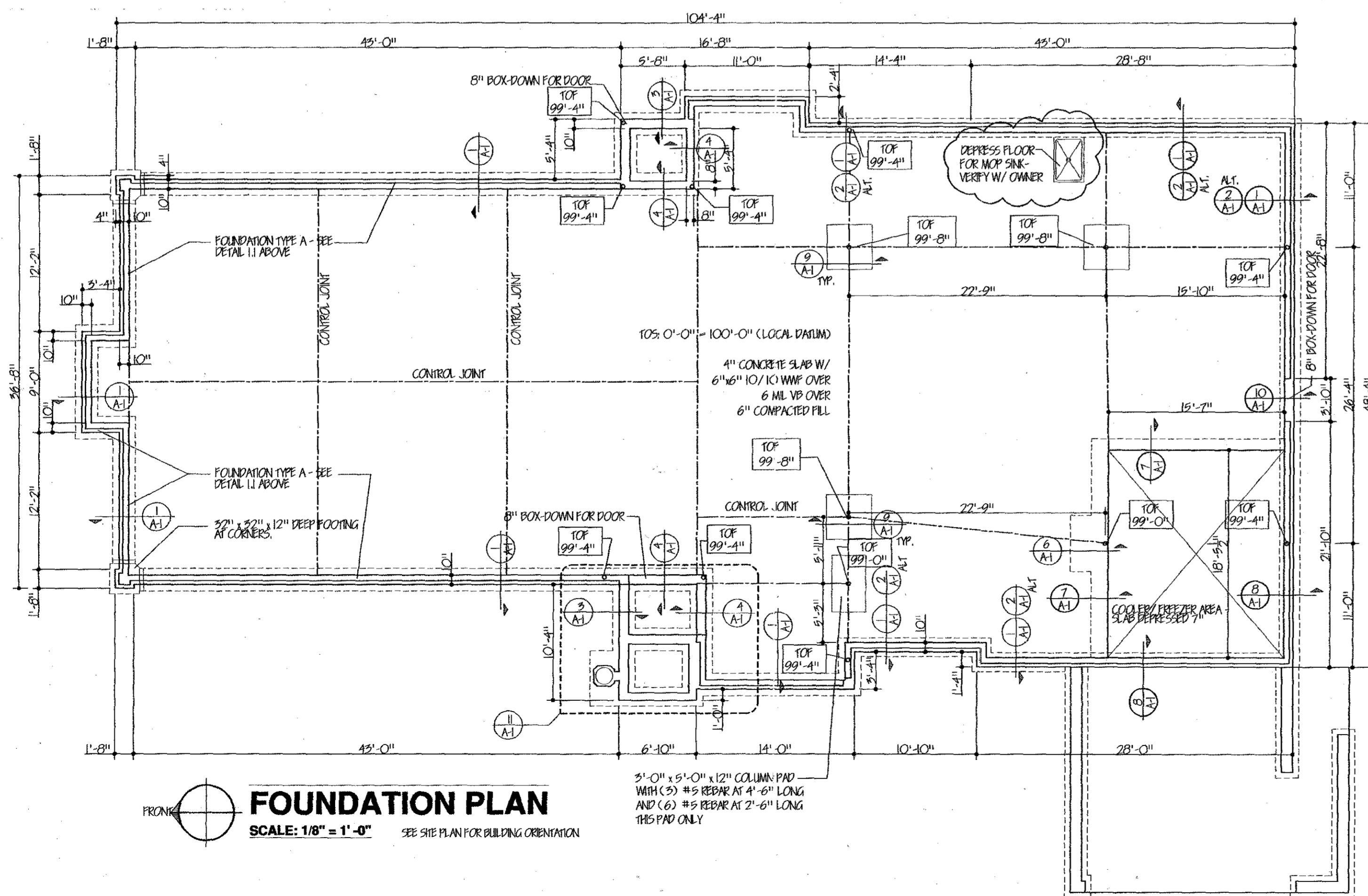


9 DET. - PAD FOOTING
A-1
SCALE: 1/2" = 1'-0"

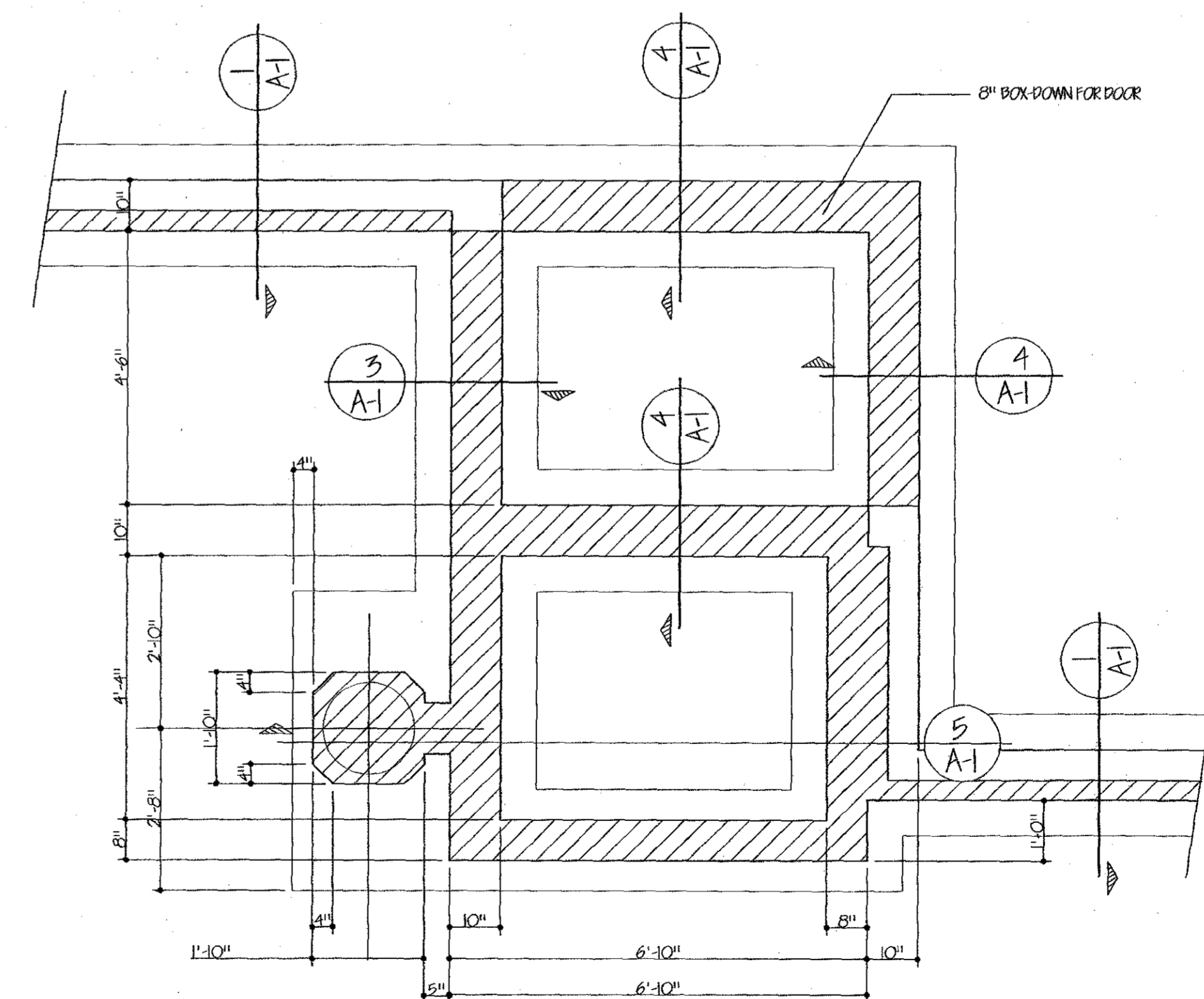


10 DOOR #5 SILL
A-1
SCALE: 1/2" = 1'-0"

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.



FOUNDATION PLAN
SCALE: 1/8" = 1'-0" SEE SITE PLAN FOR BUILDING ORIENTATION



11 DET. - FOUNDATION AT ENTRY
A-1
SCALE: 1/2" = 1'-0"

STELLING & ASSOCIATES
ARCHITECTS, LTD.
181 W. CURENTON STREET, BURLINGTON, WI 53015
TELEPHONE: (262) 783-2722 FAX: (262) 783-1071
E-MAIL: stelling@aol.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FOUNDATION PLAN
AND DETAILS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE
IDEAS AND DESIGN
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE SOLE PROPERTY OF
STELLING & ASSOCIATES,
ARCHITECTS, LTD. AND IS
NOT TO BE USED IN WHOLE
OR IN PART FOR ANY
OTHER PROJECT OR
PURPOSE WITHOUT THE
EXPRESSED WRITTEN
AUTHORIZATION OF STELLING
& ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
DETAIL SECTIONS
6 AND 9, FOUNDATION
FOOTING HEIGHTS
1-29-01

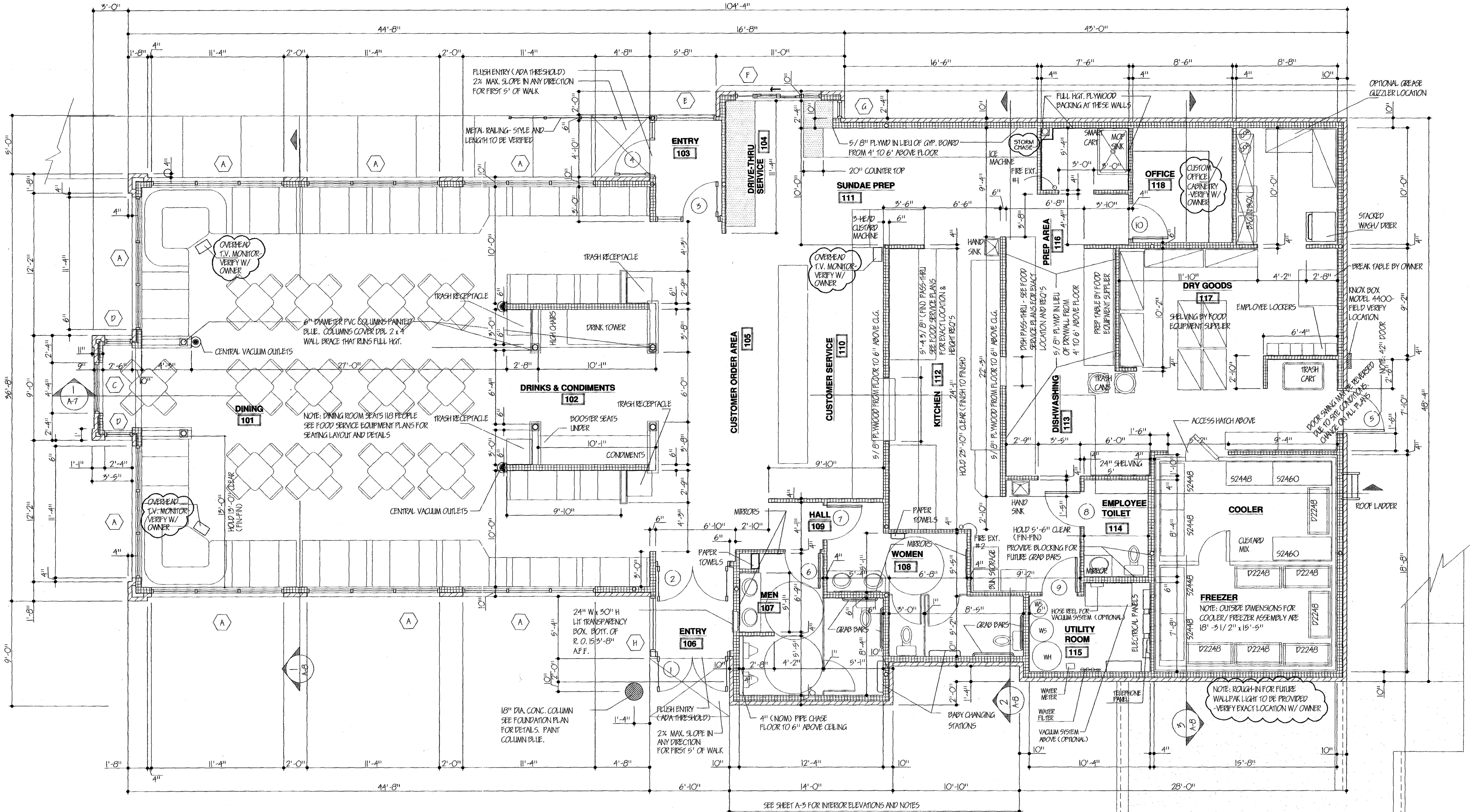
APPROVED:

DRAWN BY: ACN

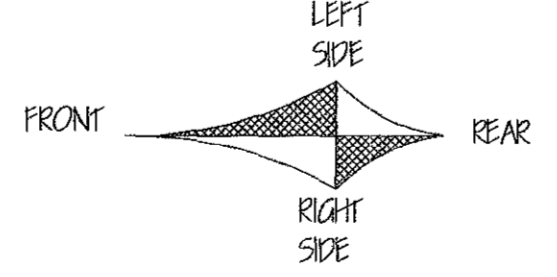
DATE: 12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
A-1



FLOOR PLAN
SCALE: 1/4" = 1'-0"
4,538 Square Feet



NOTE:
 Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

STELLING & ASSOCIATES ARCHITECTS, LTD.
 161 W. CHESTNUT STREET BURLINGTON, WI 53105
 TEL: (262) 785-1971 FAX: (262) 785-1971 EMAIL: stelling@stalling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, WI 53158
 PROJECT FOR: **OMA, L.L.C.**

DRAWING DESCRIPTION:
FLOOR PLAN

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
 1-29-01

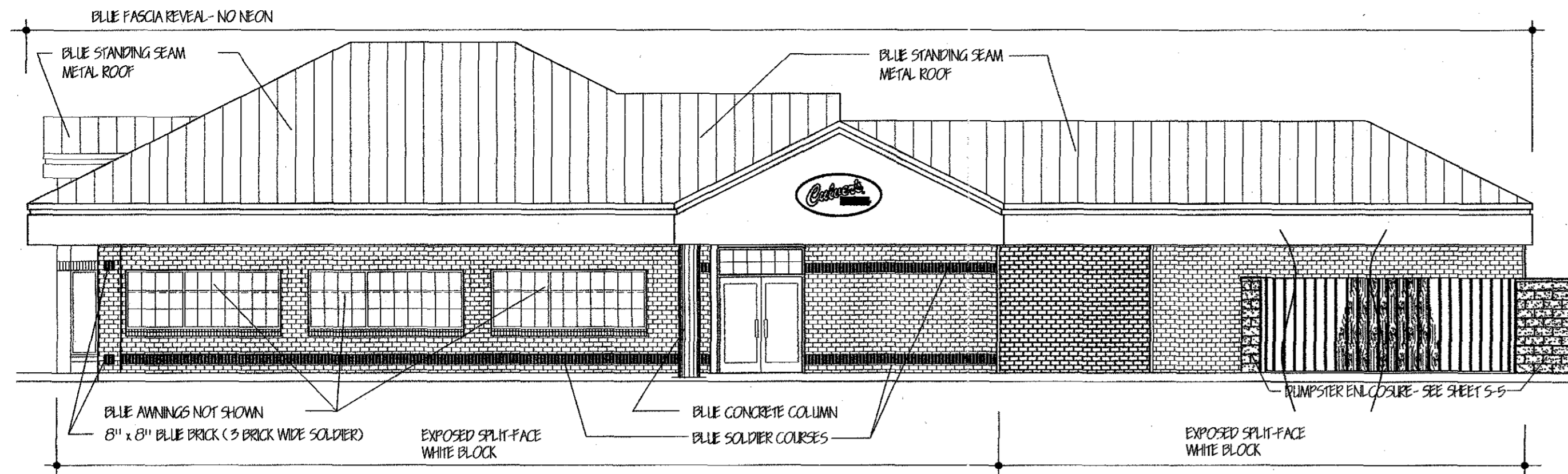
APPROVED:

DRAWN BY:
 ACN

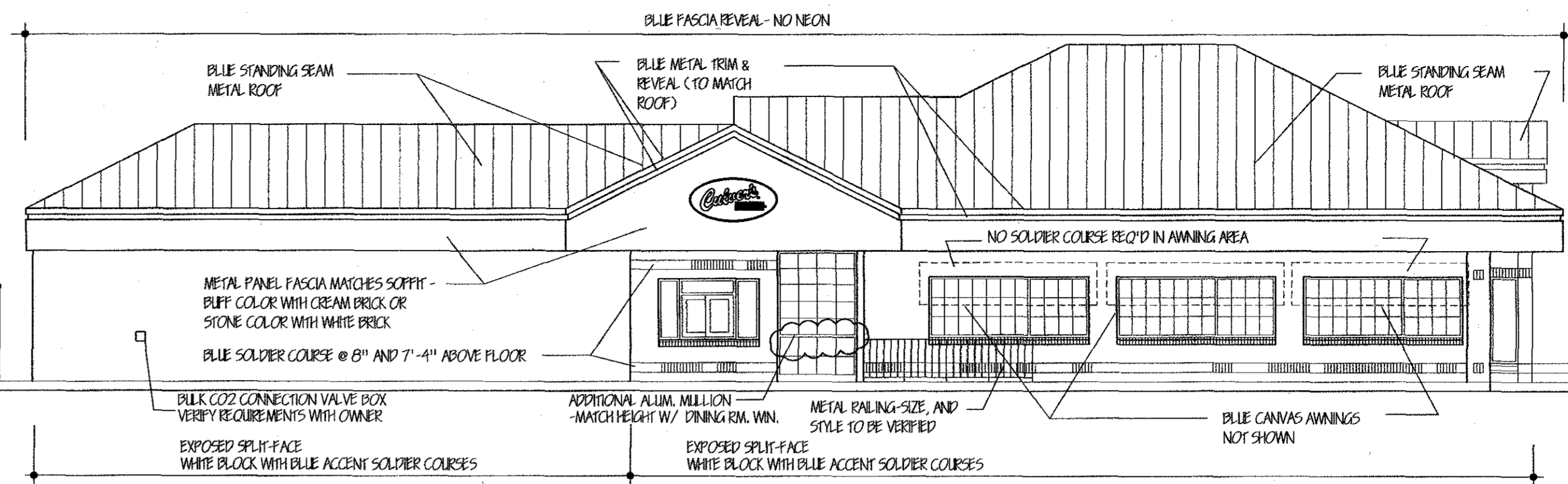
DATE:
 12-4-00

PROJECT NUMBER:
 0039

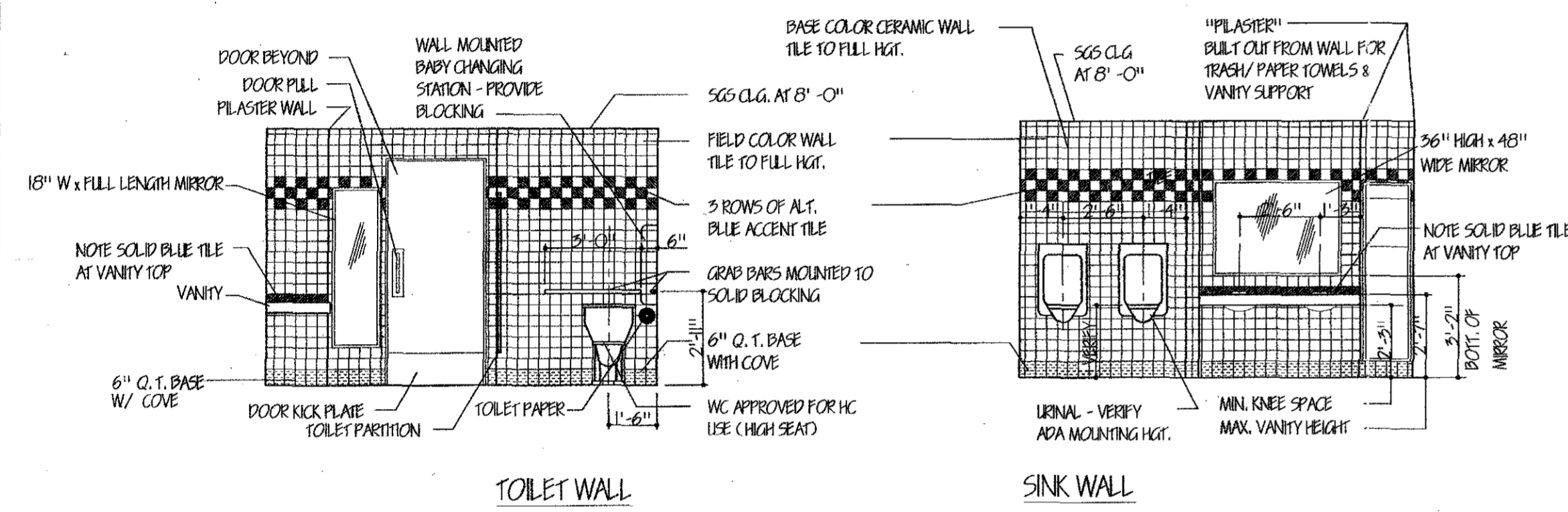
SHEET NUMBER:
A-2



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



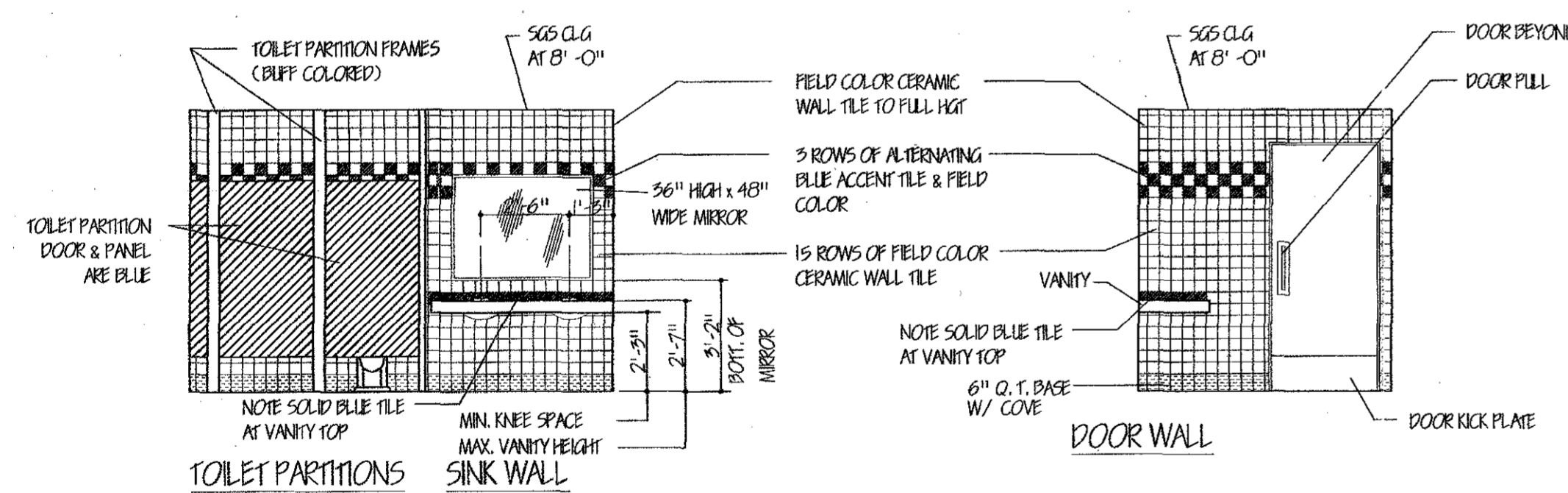
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



INT EL'S - MEN 107
SCALE: 1/4" = 1'-0"

EMPLOYEE TOILET 114
SCALE: 1/4" = 1'-0"

NOTE: ALL TOILET ROOM WALLS ARE FULL HGT. TO STRUCTURE AND INSULATED FOR SOUND



INT EL'S - WOMEN 108
SCALE: 1/4" = 1'-0"

NOTE: ALL TOILET ROOM WALLS ARE FULL HGT. TO STRUCTURE AND INSULATED FOR SOUND

RESTROOM ACCESSORIES

WOMENS RESTROOM

Grab Bar
Dibrick Washroom Equipment 11/21
DIA 5/5 B-6106

Waste/ Paper Towel
Dibrick Washroom Equipment
Recessed 5/5 paper towel dispenser and waste receptacle B-5944

Sanitary Napkin Disposal
Dibrick Washroom Equipment
Surface mount 5/5 Contura Series sanitary napkin disposal B-270

MENS RESTROOM

Grab Bar
Dibrick Washroom Equipment 11/21
DIA 5/5 B-6106

Waste/ Paper Towel
Dibrick Washroom Equipment
Recessed 5/5 paper towel dispenser and waste receptacle B-5944

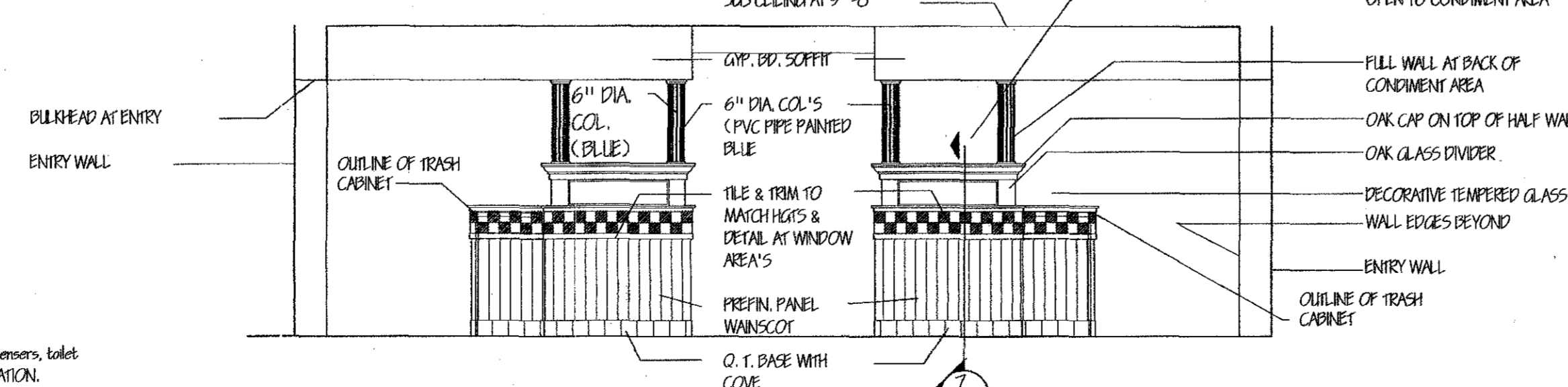
MISCELLANEOUS ACCESSORIES

The OWNER will provide paper towel dispensers (kitchen area only), soap and sanitizer dispensers, toilet paper dispensers and baby changing stations to the GENERAL CONTRACTOR FOR INSTALLATION.

EMPLOYEE RESTROOM

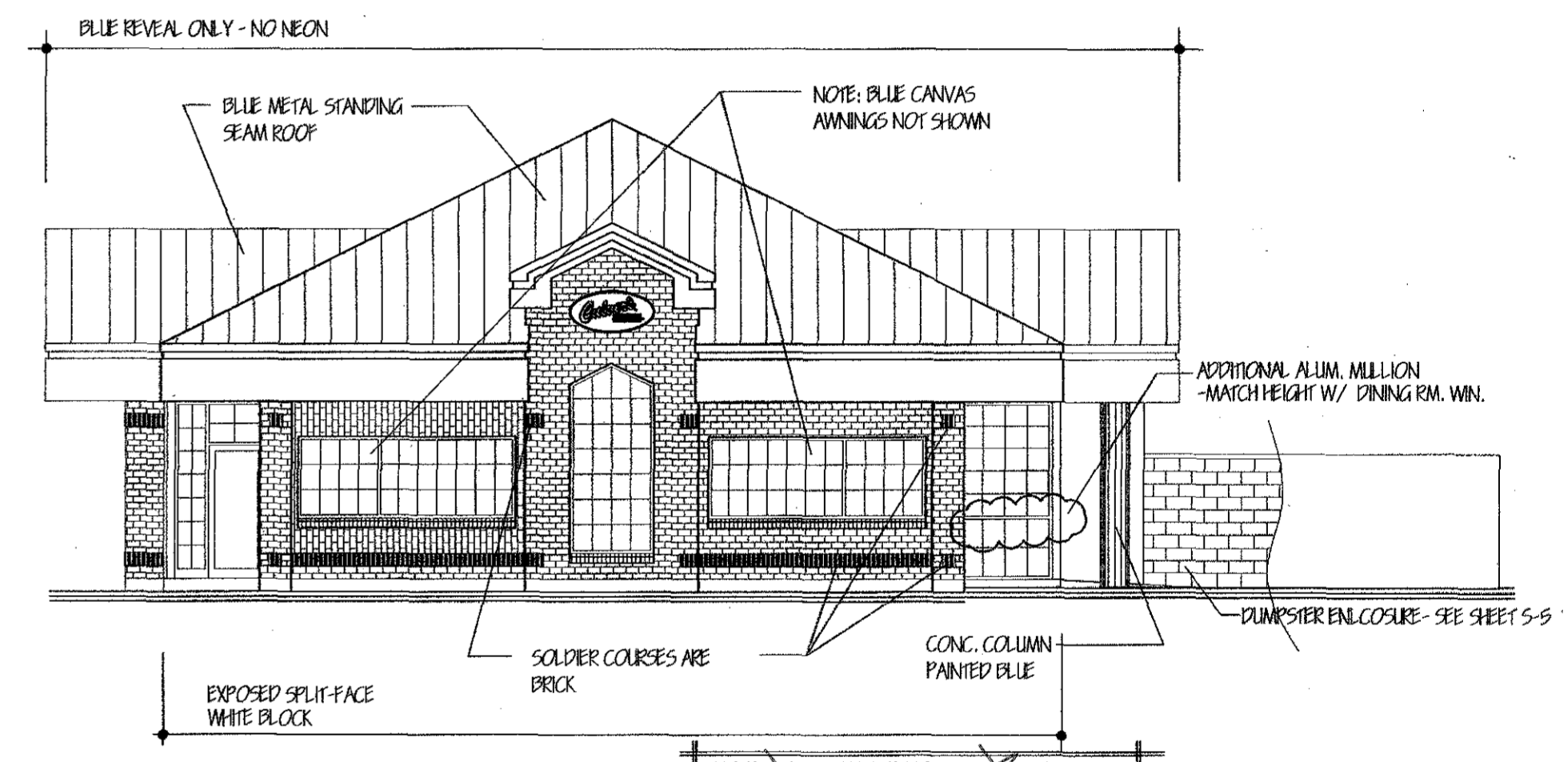
Grab Bar
Dibrick Washroom Equipment 11/21
DIA 5/5 B-6106

Paper Towel Dispenser
Dibrick Washroom Equipment
Surface mount 5/5 paper towel dispenser B-262



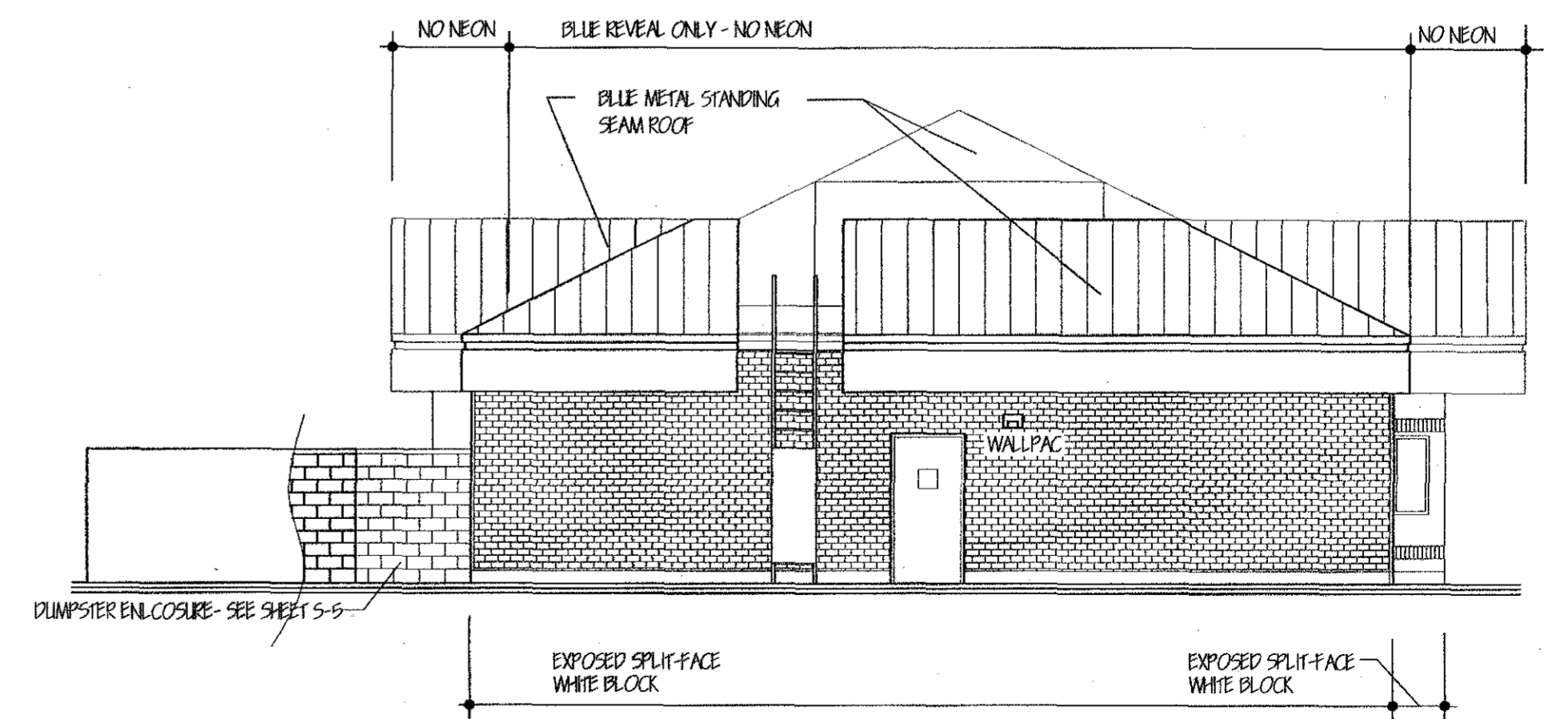
INT EL - DINING ENTRY
SCALE: 1/4" = 1'-0"

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: "BRICK" MAY BE MODULAR BRICK SIMILAR TO SUMMIT "PARSONS" 234 OR ACME "BROOKLYN" 254 OR BRICK WITH SIMILAR COLOR & TEXTURE. SELECTIONS ARE SUBJECT TO APPROVAL.
4" x 4" x 16" WHITE SPLIT FACE CONCRETE BLOCK WITH WATERPROOFING ADMIXTURE MAY BE USED IN PLACE OF BRICK.
BLUE SOLDIER COURSE & ACCENT PANELS ARE GLAZED MODULAR BRICK SIMILAR TO ELGIN-PULLER "CORAL" ZR00A



REAR ELEVATION
SCALE: 1/8" = 1'-0"

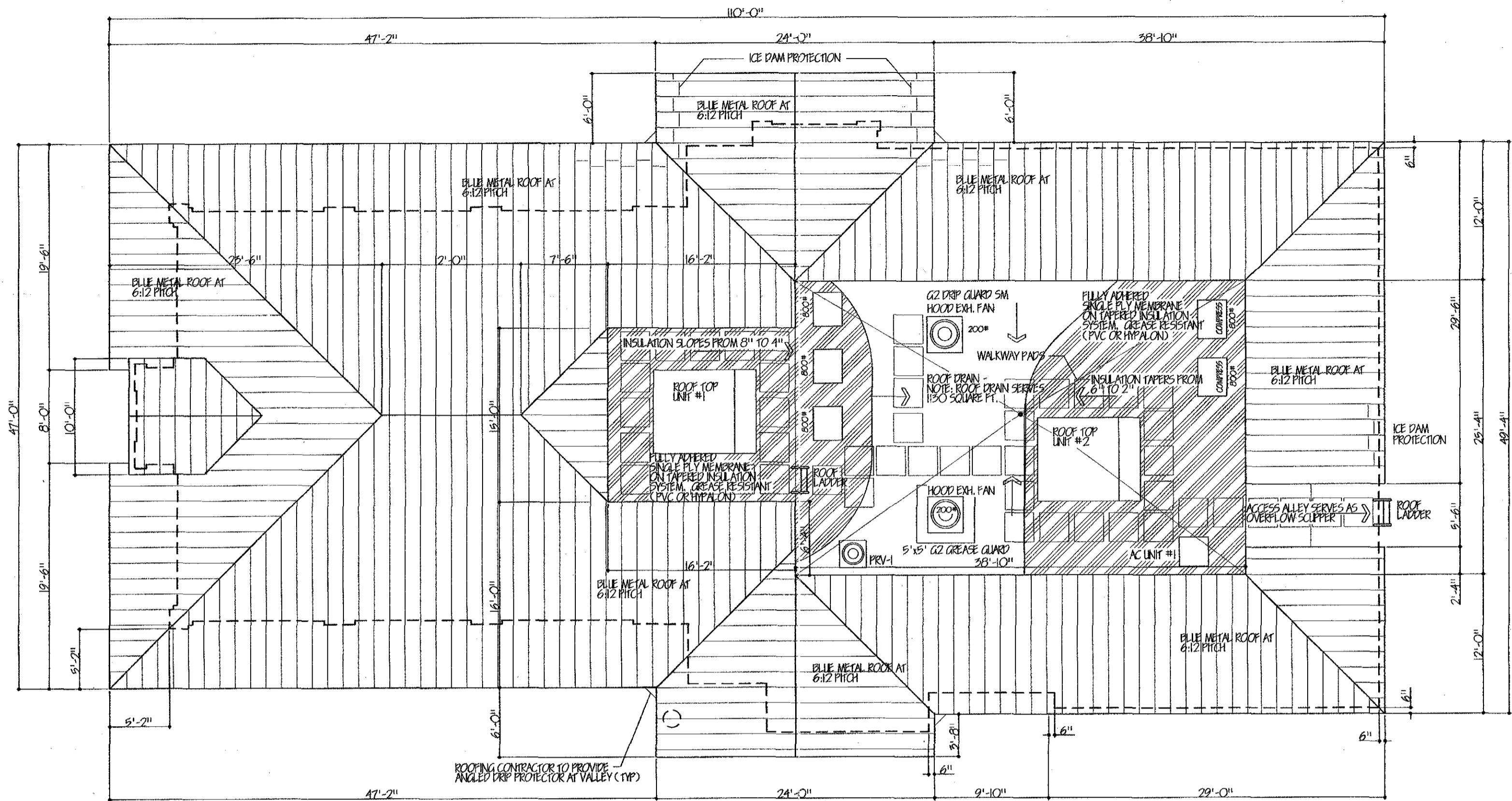
STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
PHONE: (262) 783-8725 FAX: (262) 786-1974
EMAIL: stelling@stgarch.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR: OMA, L.L.C.

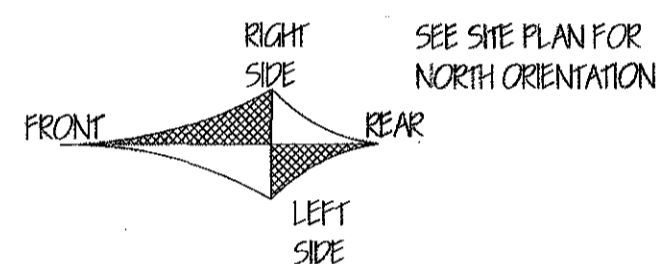
DRAWING DESCRIPTION:
EXTERIOR ELEVATIONS AND INTERIOR TOILET ELEVATIONS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01
APPROVED:
DRAWN BY: ACN
DATE: 12-4-00
PROJECT NUMBER: 0039
SHEET NUMBER: A-3

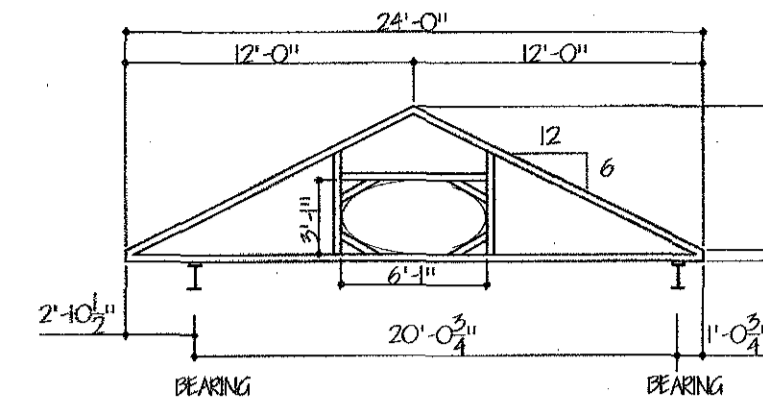


ROOF PLAN - MN120 MODEL
SCALE: 1/8" = 1'-0"

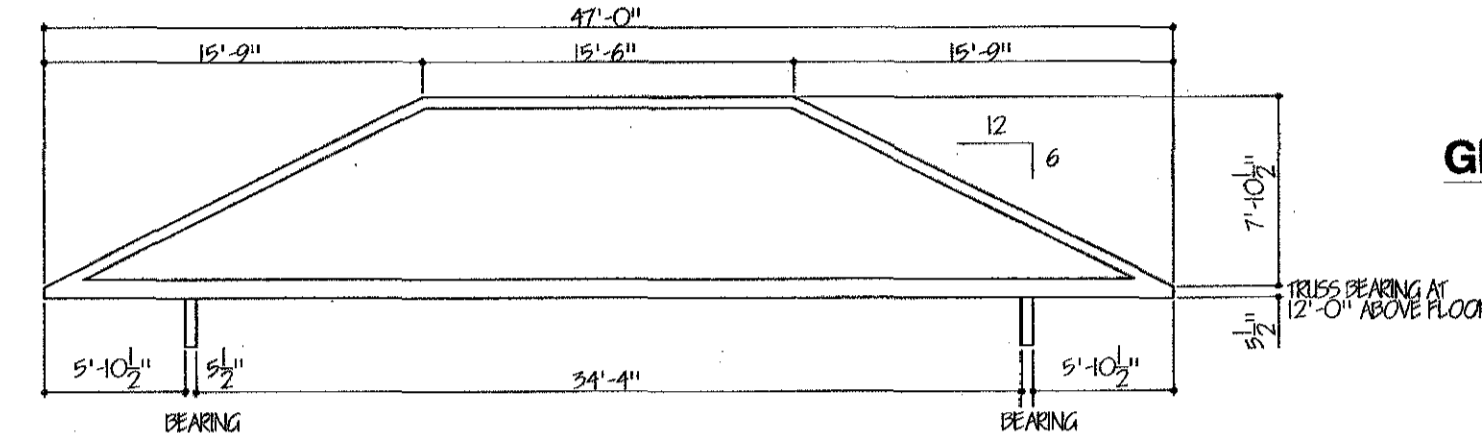


DROP GUARD AND GREASE GUARD BY:
BY FACILITEC,
180 CORPORATE DRIVE
ELGIN, IL 60120
1-800-284-8275 (Chris Stewart)

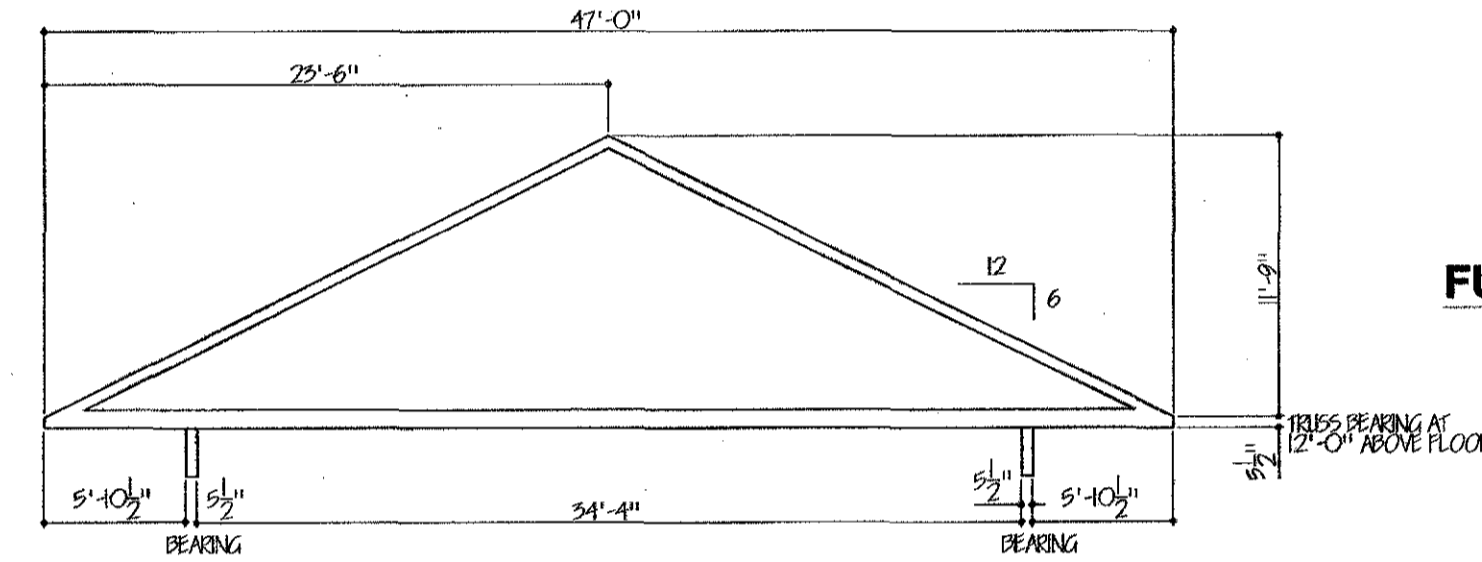
HATCHED AREAS ON ROOF INDICATE
AREAS WHERE EXHAUST FANS AND
PLUMBING VENTS ARE PROHIBITED



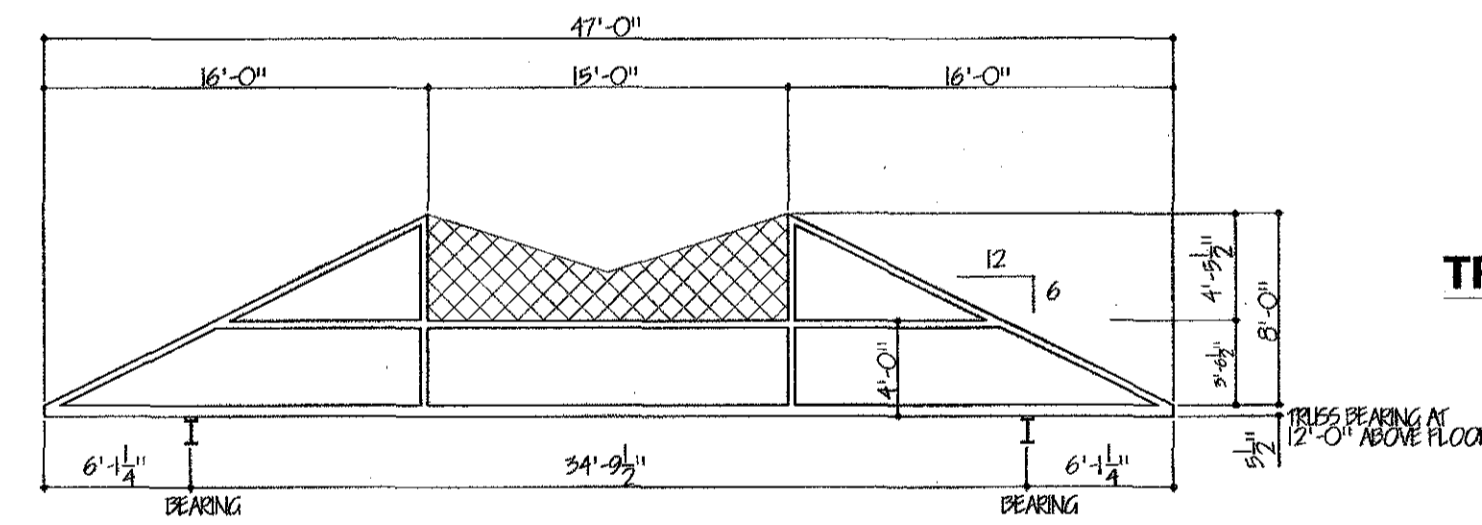
SIGNAGE TRUSS
GC TO PROVIDE PLYWOOD SHEATHING
AND OVAL CIRCUIT
GC TO INSTALL 6" x 5" OVAL SIGN
TRUSS BEARING AT 12'-0" ABOVE FLOOR



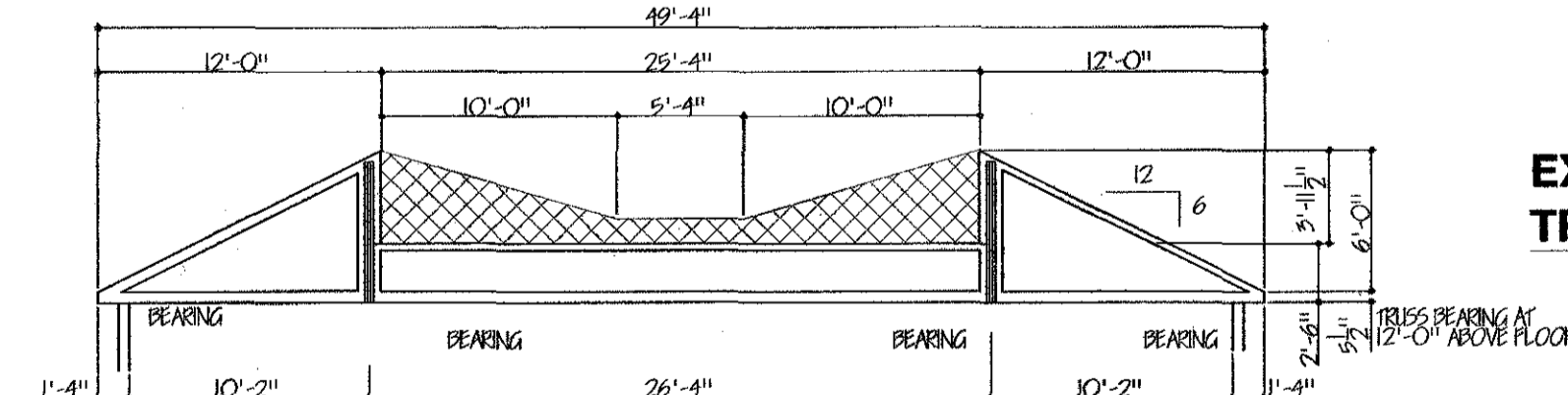
GIRDER TRUSS @ DINING



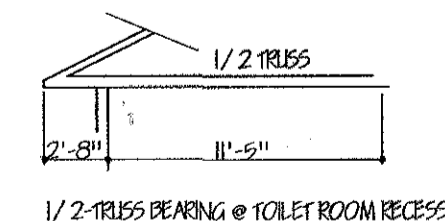
FULL TRUSS @ DINING



TRUSS @ HIGH EQUIP. WELL

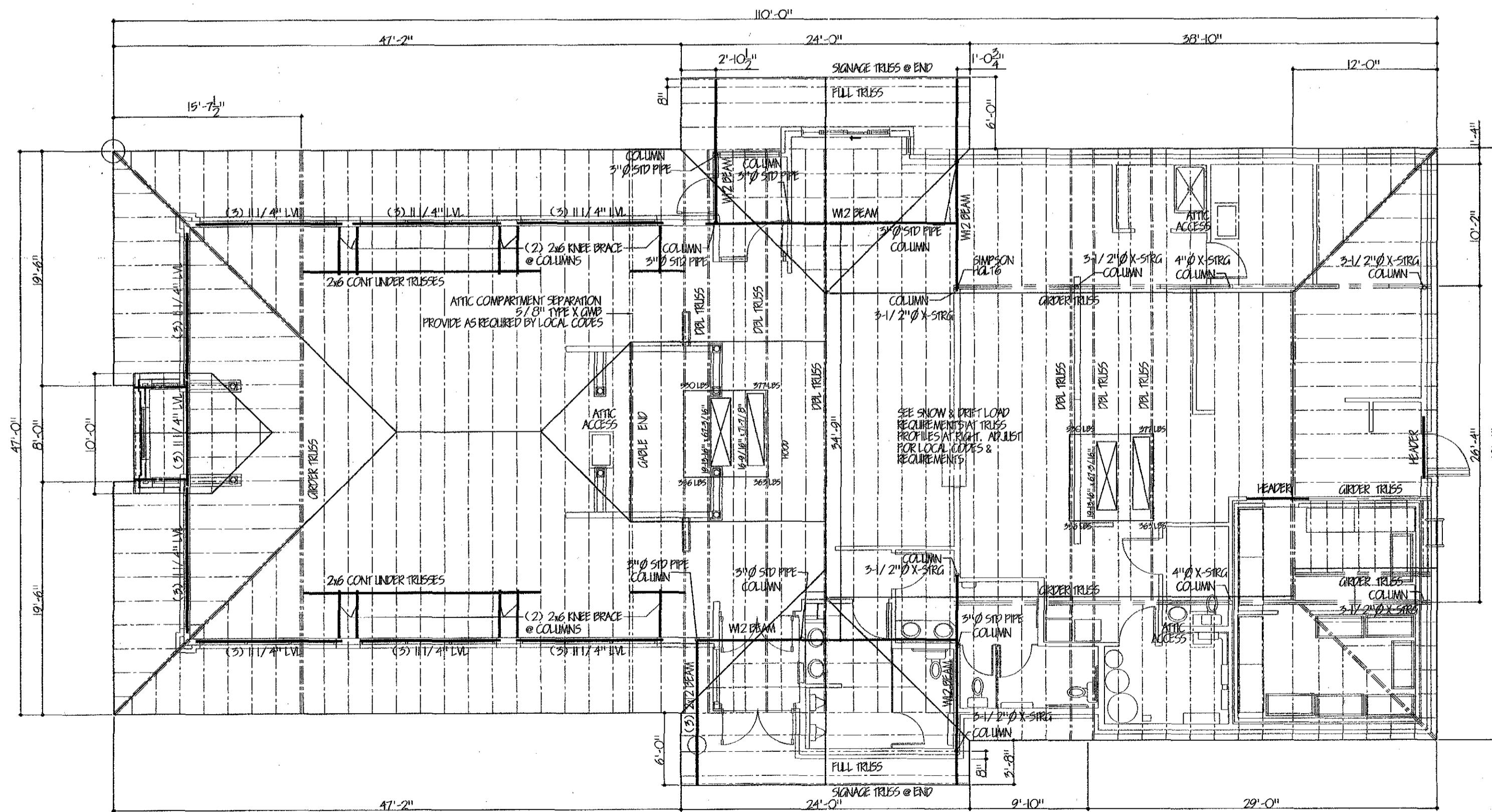


EXTENDED TRUSS @ LOW EQUIP. WELL

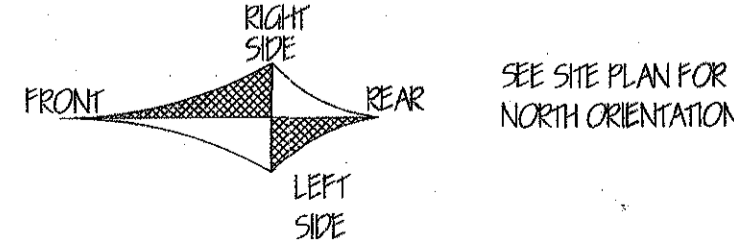


TRUSS TYPES
SCALE: 1/8" = 1'-0"

ROOF LOADS
LOCAL ARCHITECT TO PROVIDE TRUSS MANUFACTURER WITH
ALL ROOF LOADS TO MEET LOCAL DESIGN CONDITIONS
AND CODES. ROOFTOP EQUIPMENT LOADS WILL NEED
TO BE CONFIRMED AND COORDINATE WITH THE
HVAC ENGINEER/ CONTRACTOR



ROOF PLAN - MN120 MODEL
SCALE: 1/8" = 1'-0"



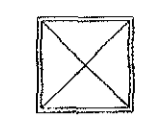



STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET
MILWAUKEE, WI 53102
TEL: (414) 224-2200
FAX: (414) 224-2201
E-MAIL: stelling@stalling.com

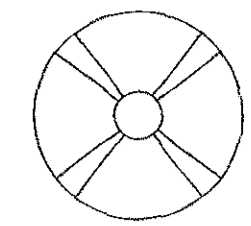
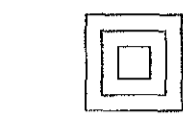

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

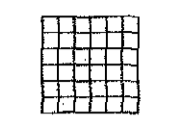

DRAWING DESCRIPTION:
ROOF PLANS AND TRUSS TYPES

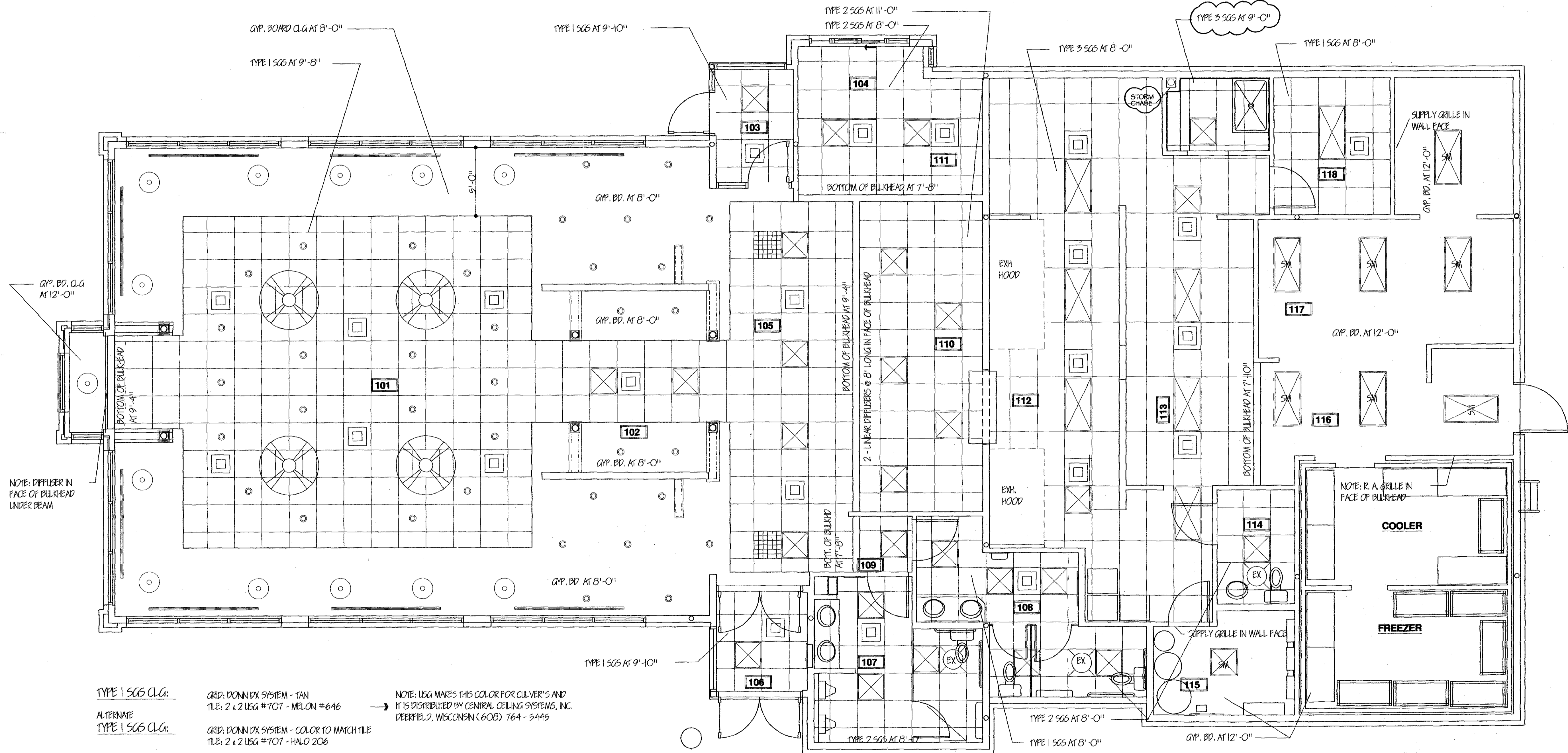
OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE
IDEAS AND DESIGN
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE SOLE PROPERTY OF
STELLING & ASSOCIATES,
ARCHITECTS, LTD. AND IS
NOT TO BE USED IN WHOLE
OR IN PART FOR ANY
OTHER PROJECT OR
PURPOSE WITHOUT THE
EXPRESSED WRITTEN
AUTHORIZATION OF STELLING
& ASSOCIATES ARCHITECTS, LTD.

REVISIONS:	
APPROVED:	
DRAWN BY:	ACN
DATE:	12-4-00
PROJECT NUMBER:	0039
SHEET NUMBER:	A-4

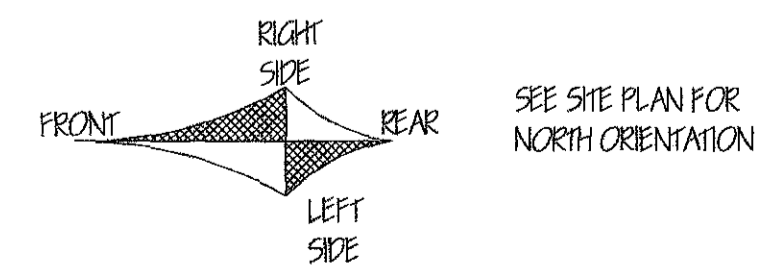
-  - 2' x 2' FLUORESCENT LIGHT FIXTURE LAY-IN AS SHOWN, SURFACE MOUNT IF SHOWN WITH "SM"
-  - 2' x 4' FLUORESCENT LIGHT FIXTURE LAY-IN AS SHOWN, SURFACE MOUNT IF SHOWN WITH "SM"
-  - PENDANT FIXTURE W/ INCANDESCENT LAMP
-  - RECESSED CAN FIXTURE W/ COMPACT FLUORESCENT LAMPS

-  - 92" CEILING FAN
-  - 2' x 2' LAY-IN DIFFUSER
-  - LINEAR DIFFUSER

-  - 24 x 24 LAY-IN RETURN AIR GRILLE
-  - 24 x 24 EXHAUST GRILLE



- TYPE 1 SCS CLG.: GRID: DONNIX SYSTEM - TAN
TILE: 2 x 2 USG #707 - MELON #646
 - ALTERNATE TYPE 1 SCS CLG.: GRID: DONNIX SYSTEM - COLOR TO MATCH TILE
TILE: 2 x 2 USG #707 - HALO 206
 - TYPE 2 SCS CLG.: GRID: CHICAGO METALIC WHITE ALUMINUM
TILE: 2 x 2 USG WHITE MYLAR FACED GYPSUM - #3260 STIPPLE WHITE
 - TYPE 3 SCS CLG.: GRID: CHICAGO METALIC WHITE ALUMINUM
TILE: 2 x 4 USG MYLAR FACED GYPSUM - #3270 STIPPLE WHITE
- NOTE: USG MAKES THIS COLOR FOR CULVER'S AND IT IS DISTRIBUTED BY CENTRAL CEILING SYSTEMS, INC. DEERFIELD, WISCONSIN (608) 764-5445



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

NOTE: Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:	1-29-01
APPROVED:	
DRAWN BY:	ACN
DATE:	12-4-00
PROJECT NUMBER:	0039
SHEET NUMBER:	A-5

FINISH PLAN

SCALE: 1/4" = 1'-0"

FINISH MATERIALS:

CARPET:

Base Plot: Aladdin "Tradition in Sea Port Navy" (Color 975)
 Option 1: Philadelphia "Omni Valley" (Style #50268) in India Ink (Color 68400)
 Option 2: Market Street "Laurel Falls" (Style #50267) in Watercolor Blue (Color 67460)
 NOTE: Booth bases may be required to be wrapped with carpet - verify with Owner.

VINYL BASE:

Johnsontite 4" vinyl cove base (.080 gauge) in CB-92 "Blue Leapon"

FLOOR TILE:

Tile 1: daltile "frenchquarter" in Cobblestone 3114 color an 6" x 6", 6" x 12" and 12" x 12" sizes
 Tile 2: daltile "surotread" 6" x 6" (0076 Grau)
 NOTE: All tile 2 floors get matching 6" quarry tile base with cove.
 tile 1 floors get 6" base and trim in daltile Premier Blue (2309)

ALTERNATE FLOOR TILE:

(Note: This tile replaces both Tile 1 & Tile 2 above)
 daltile "fronto" in PR20 Bianco 12" x 12" size
 daltile base is 5-3689T in CD31 beige
 grout is sepia brown

ALTERNATE FLOOR TILE #2:

EPOXY FLOOR AND BASE

WALL TILE:

Preferred: DAI-TILE (4-1/4 x 4-1/4)
 Field Color: D-155 "Almond"
 Accent: D-1469 "Galaxy"
 Acceptable: Inter ceramic (4-1/4 x 4-1/4)
 Field Color: ICBONE "Bone"
 Accent: ICBTCOLO4 "Colonial Blue"

WAINSCOT:

Wood Paneling - Georgia Pacific "Bedford Village" in "Honey Oak Rustic"
 Alternate: Marlite 321-52 Natural Oak Plank

WALL COVERING ABOVE WAINSCOT:

Option 1: Paint - Multi-Spec 86 in Arctic Blue (Available through Sherwin-Williams)
 Option 2: Fabric backed vinyl wall covering as selected by Owner and approved by CFSI. Light color, subtle pattern, no folds, no flocking, no silks, no silkcreens.
 Use MDC "Chips" #Y41888 or #Y41886 tape II vinyl for bidding.

TRIM/STAIN:

Oak trim stained with Old Masters #41504 "Fruitwood." Use same stain for Oak doors.

FRP BOARD:

KEM-LITE Glaston-P with "Surfaced" or Marlite equivalent. Color to be white.

LAMINATES:

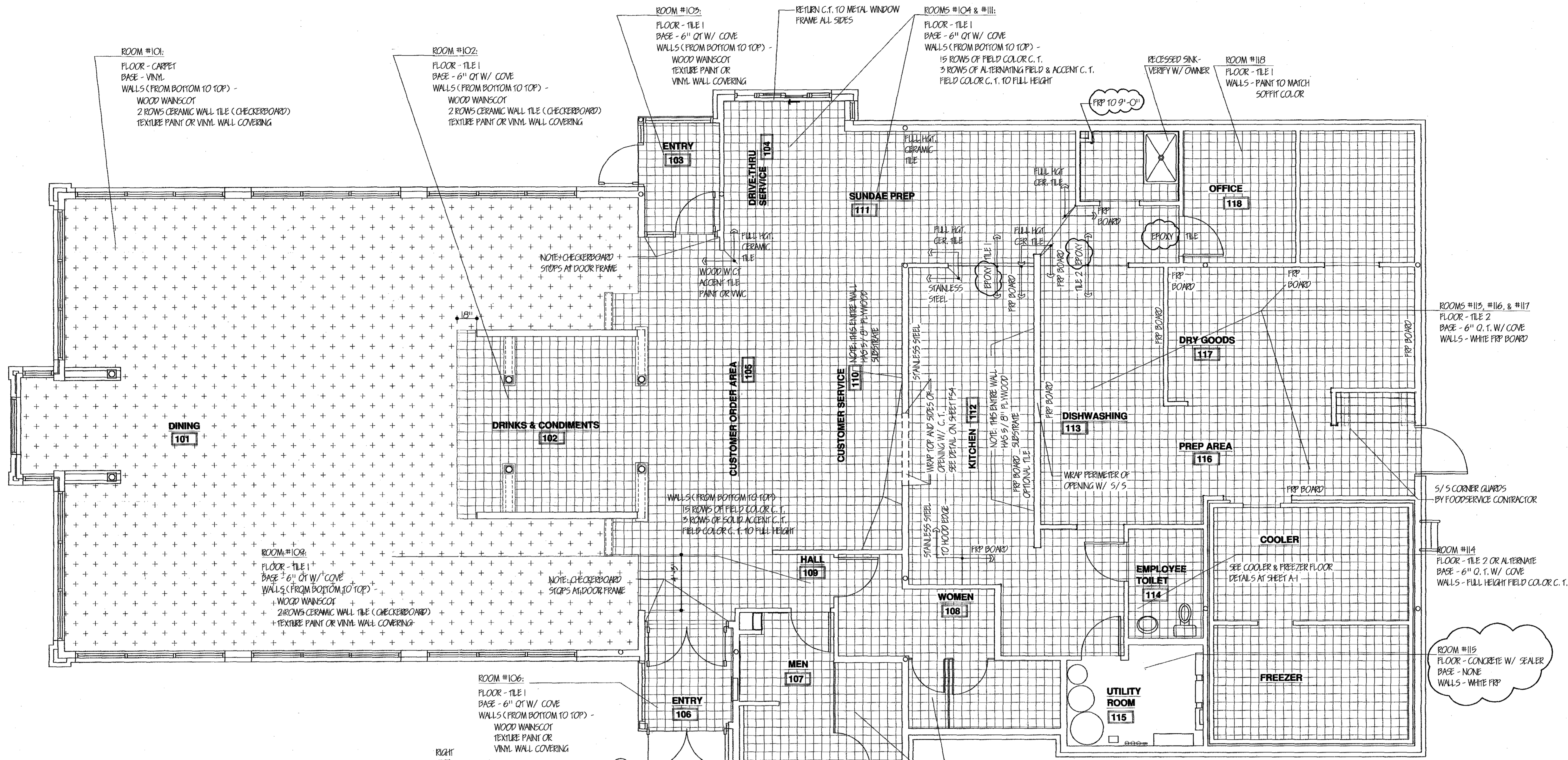
Woodgrain: Formica #546 "Natural Oak"
 Blue: Formica #969 "Navy Blue"

INTERIOR BLUE PAINT:

Mauz #5065A "Navy"

INTERIOR SOFFIT & CEILING PAINT:

Mauz #5770W "Shell White"



ATTENTION!
 SEE ADDITIONAL WALL FINISH INFORMATION AT SHEETS A-3, A-7, & A-8
 SEE CEILING INFORMATION AT SHEET A-5
 SEE NOTES AT A-7 & A-8 REGARDING 3/4" PLYWOOD SUBSTRATE BELOW SILL LEVEL IN BOOTH AREAS.

STELLING & ASSOCIATES ARCHITECTS, LTD.
 181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TEL: (608) 765-1971 FAX: (608) 765-1971
 E-MAIL: estelling@stalling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, WI, 53158
 PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FINISH PLAN

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
 1-29-01

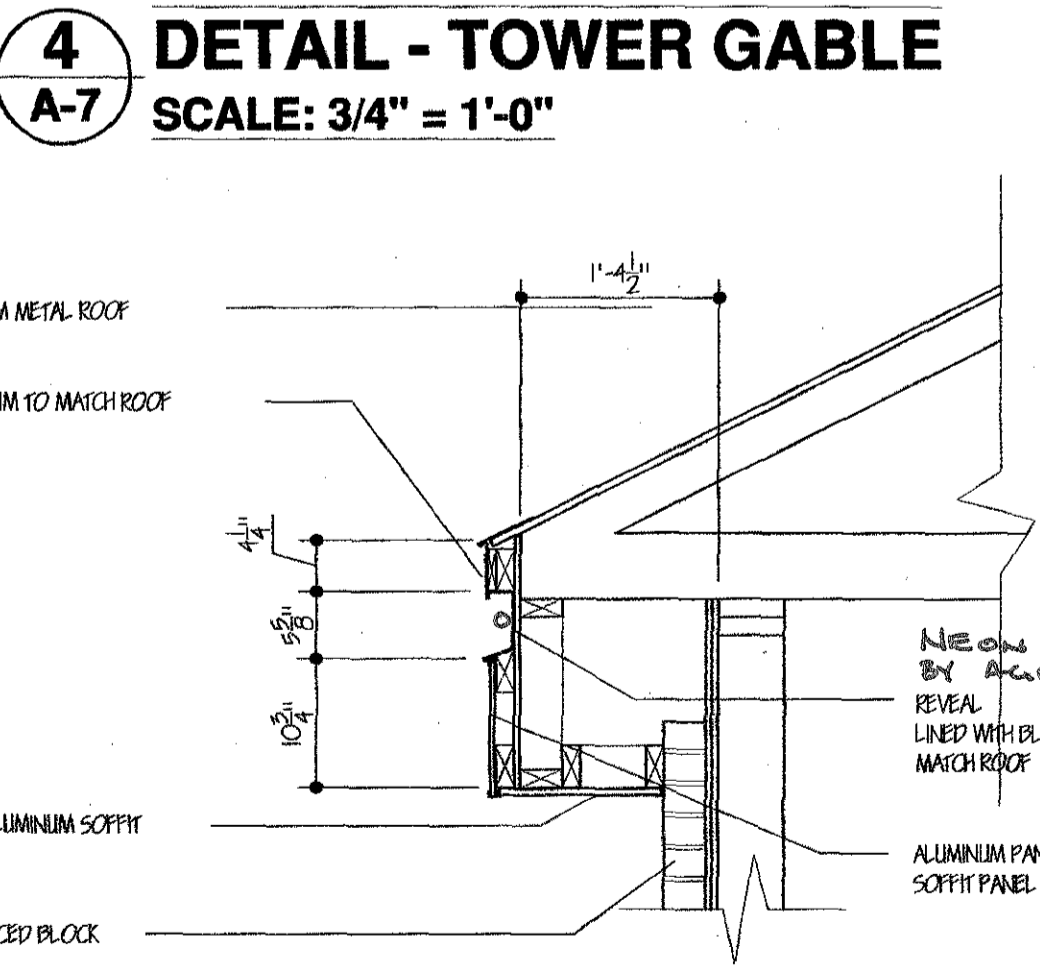
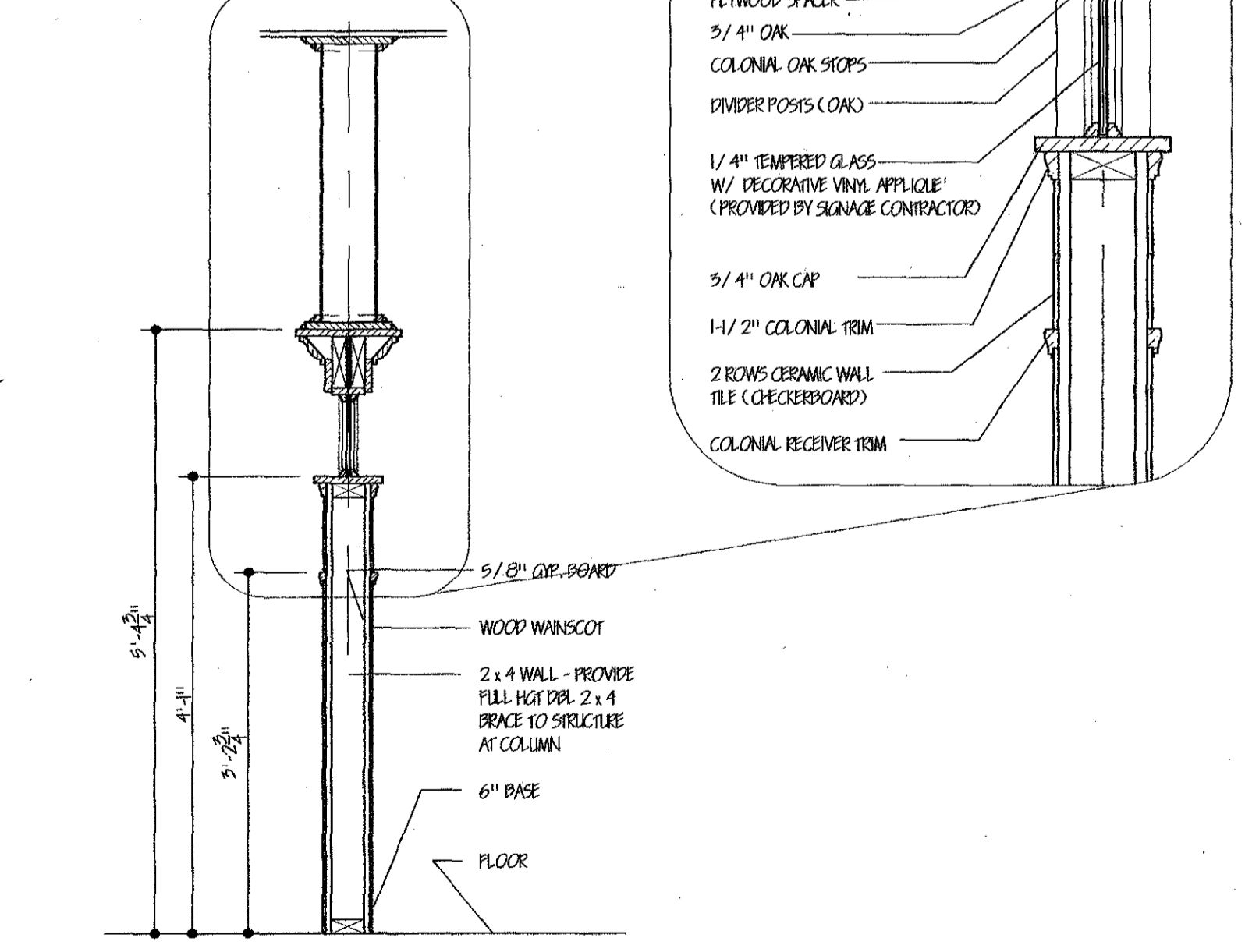
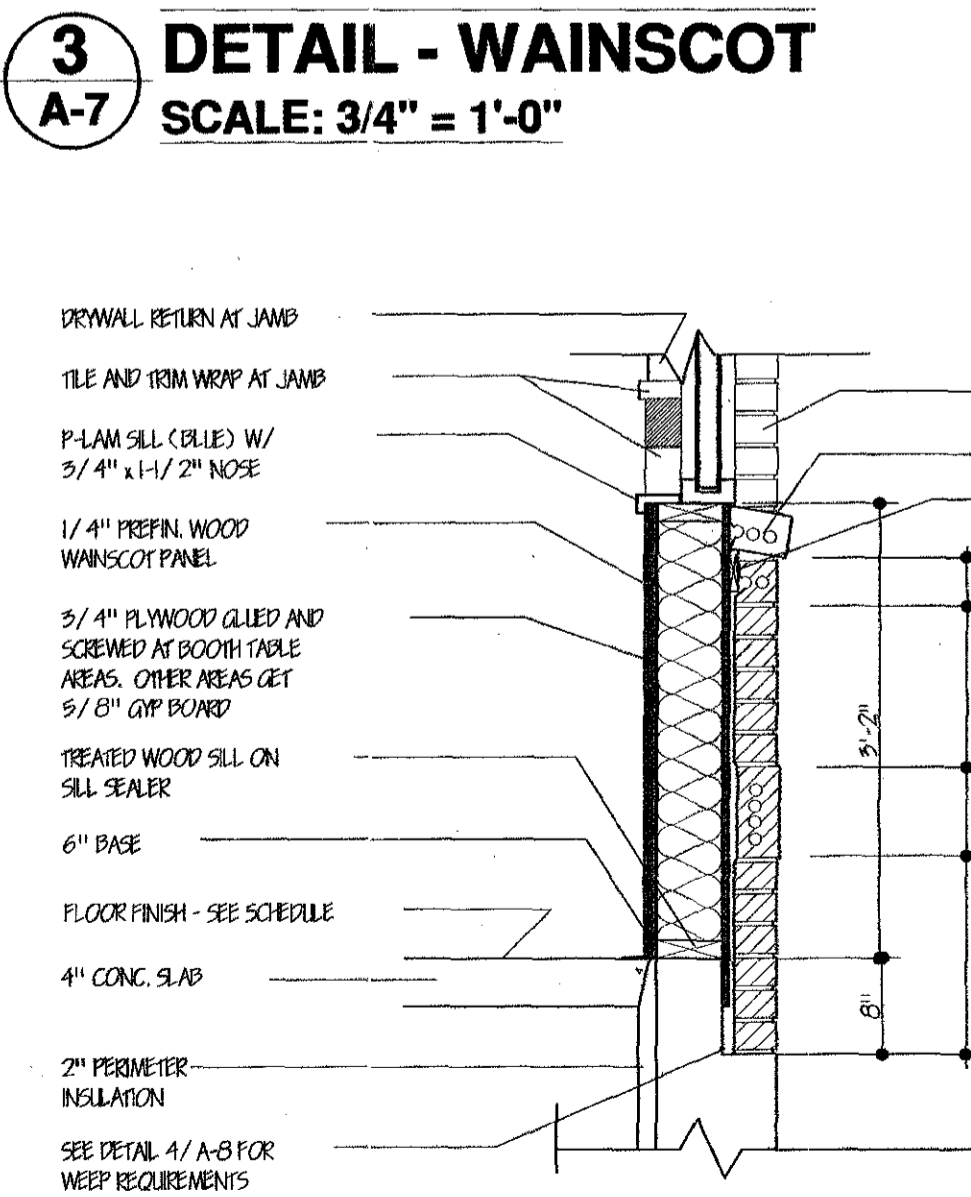
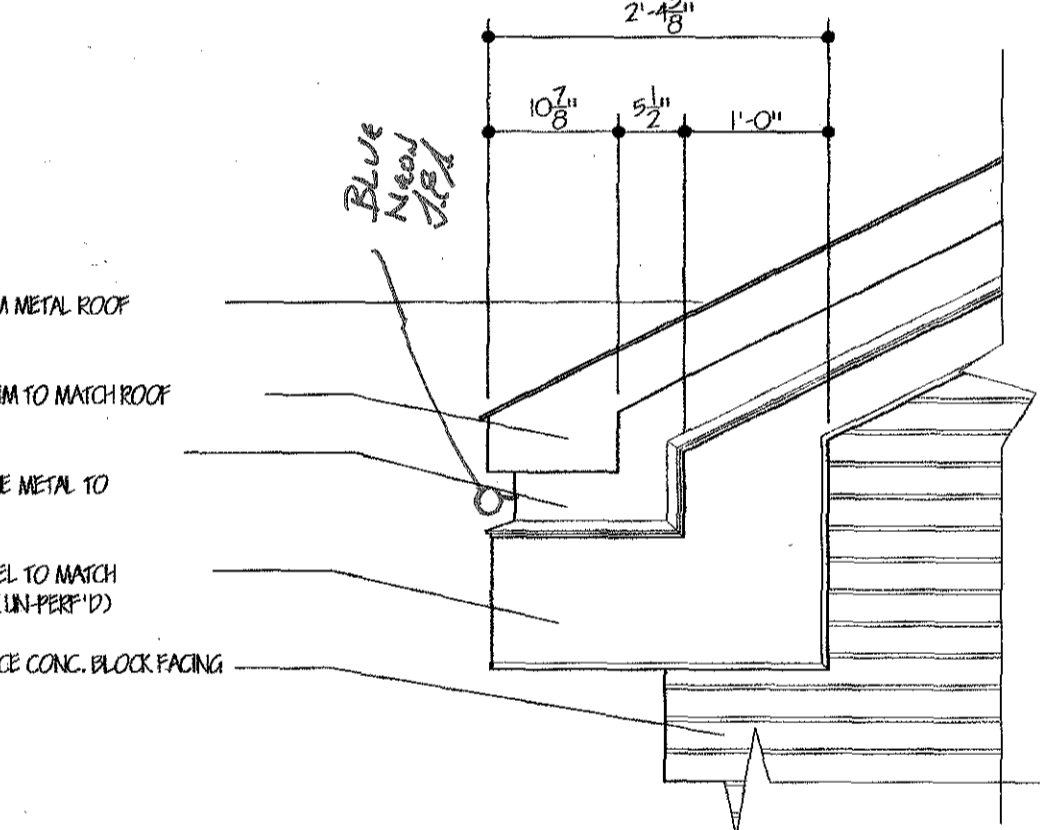
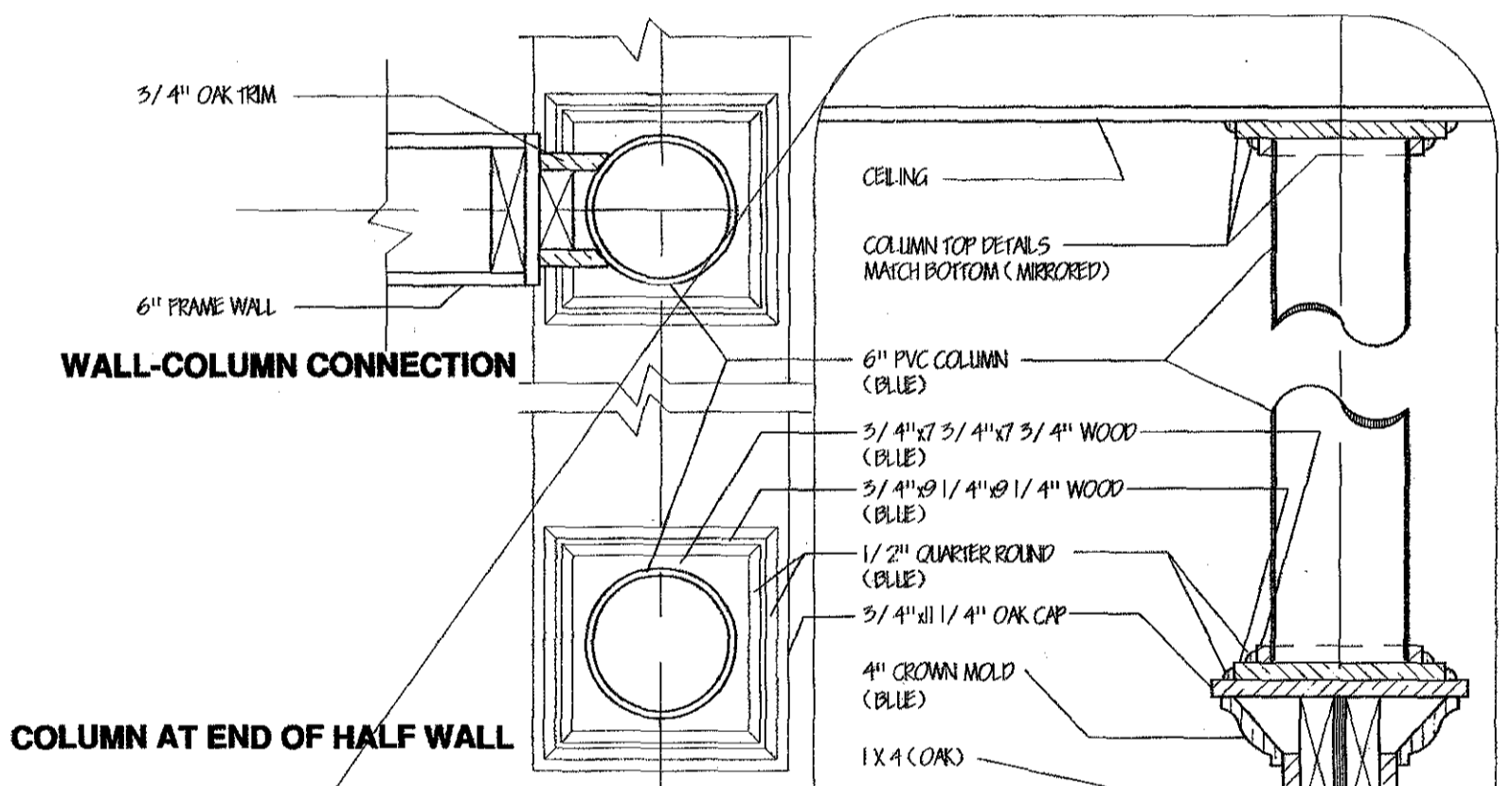
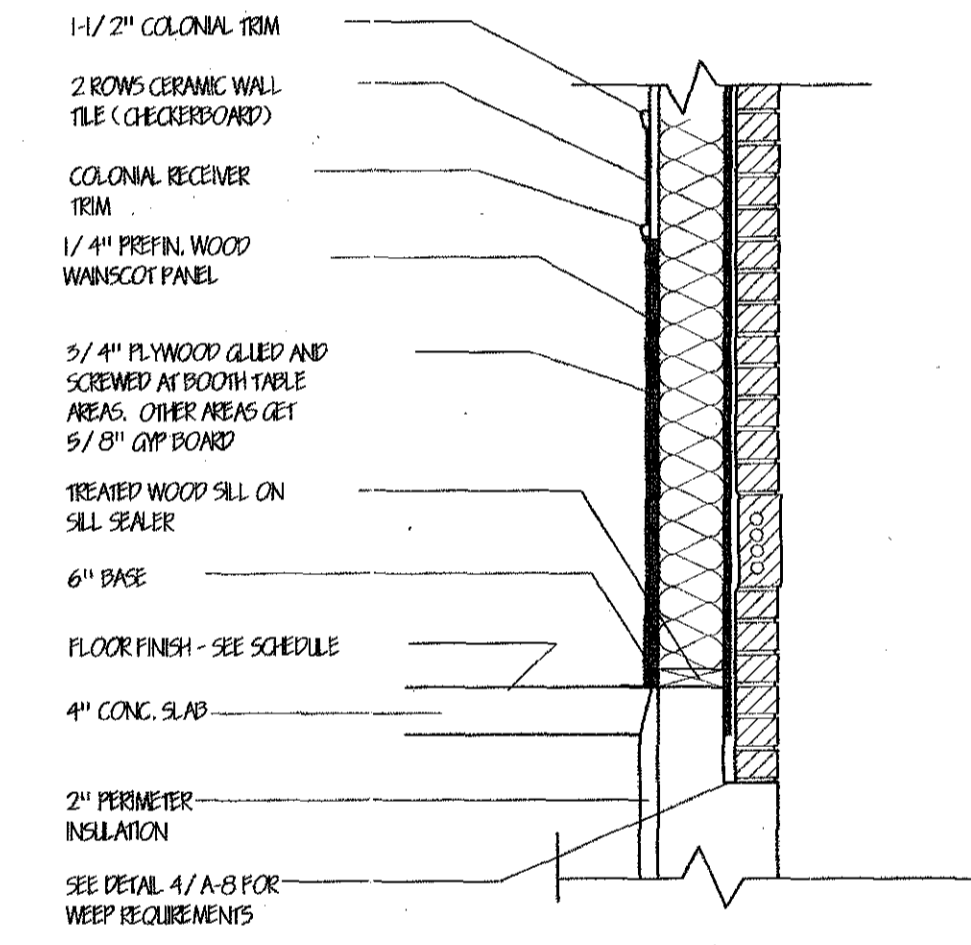
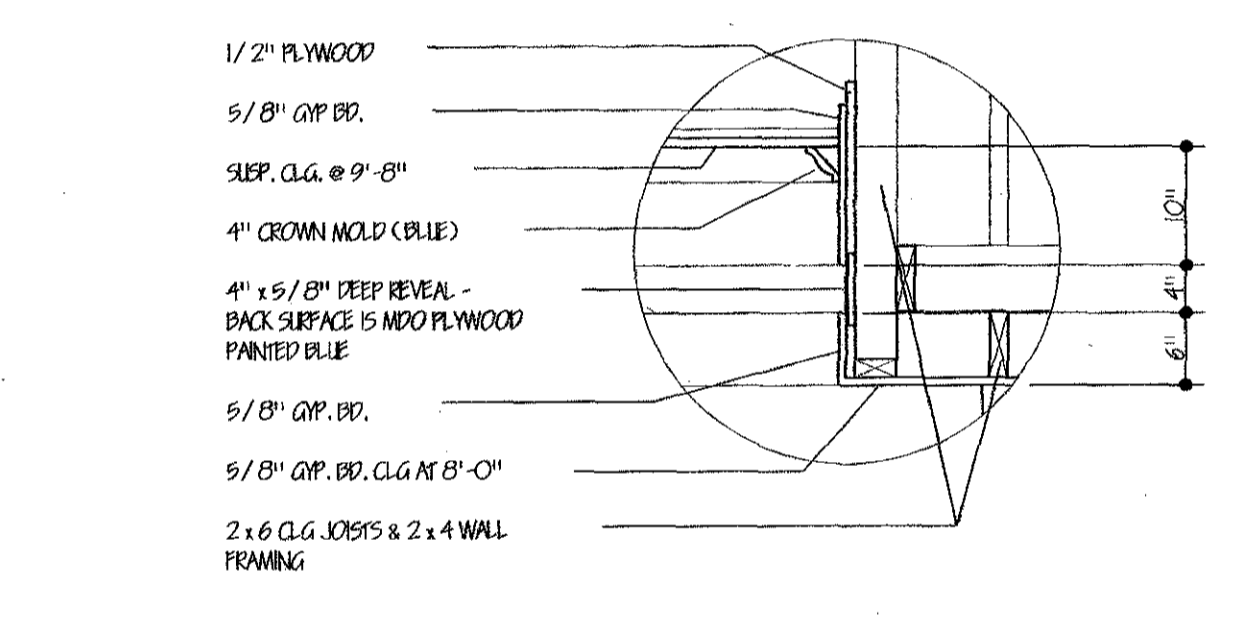
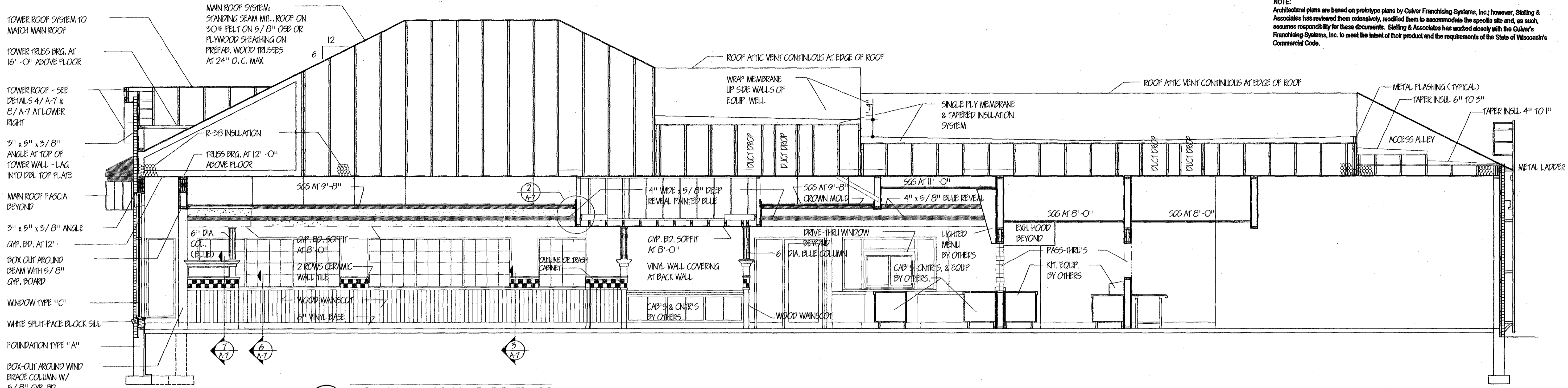
APPROVED:
 [Signature]

DRAWN BY:
 ACN

DATE:
 12-4-00

PROJECT NUMBER:
 0039

SHEET NUMBER:
A-6



5 DETAIL - EXTERIOR SOFFIT
A-7 SCALE: 3/4" = 1'-0"

6 DETAIL - SILL
A-7 SCALE: 3/4" = 1'-0"

7 DETAIL - HALF WALL
A-7 SCALE: 3/4" = 1'-0"
BLOW-UP AT 1-1/2" = 1'-0"

8 DETAIL - TOWER EAVE
A-7 SCALE: 3/4" = 1'-0"

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON, WI 53105
TEL: 762-5725 FAX: 762-781971
EMAIL: STS@STELLINGARCH.COM

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
LOGITUDINAL SECTION, AND DETAILS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
APPROVED:
DRAWN BY: **ACN**
DATE: **12-4-00**
PROJECT NUMBER: **0039**
SHEET NUMBER: **A-7**

BLUE GALV. METAL STANDING SEAM ROOF ON 30# FELT ON 5/8" CDX PLYWOOD SHEATHING W/ CLIPS ON PREFAB. WOOD TRUSSES AT 24" O.C. MAX.

TRUSS BEARING AT 12'-0" ABOVE SLAB

SEE DETAIL 4/ A-B FOR SOFFIT/ FASCIA NOTES AND DETAIL

FACE BRICK + AIR SPACE + 1/2" PLYWOOD SHEATHING + 2x6 STUDS AT 16" O.C.

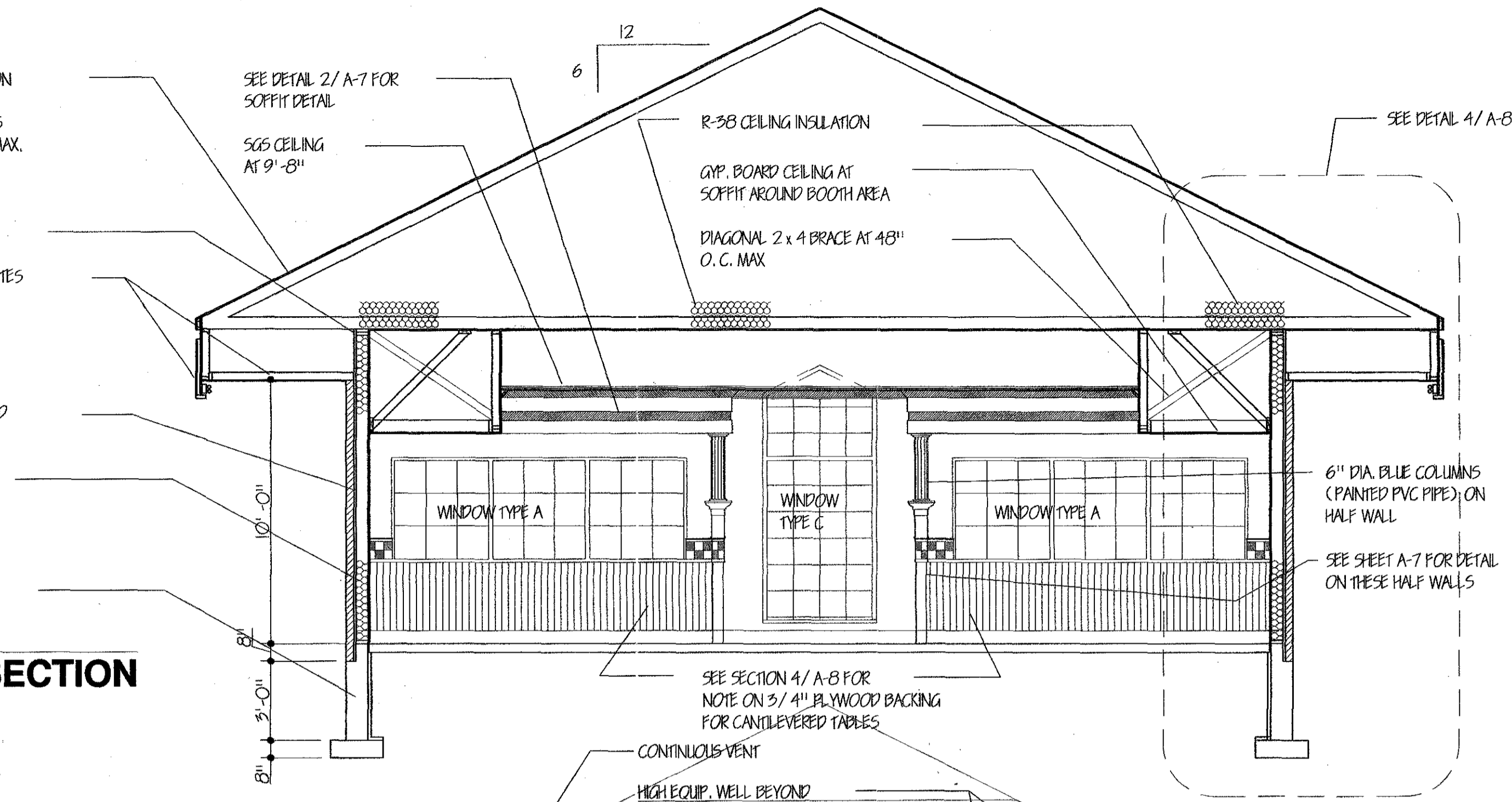
R-19 FIBERGLASS WALL INSULATION

TYPE "A" FOUNDATION - SEE SHEET A-1

1 BLDG. CROSS SECTION

A-8 SCALE: 1/4" = 1'-0"

LOOKING TOWARD FRONT



STANDING SEAM METAL ROOF AT ENTRY BEYOND

STANDING SEAM METAL ROOF ON 30# FELT ON 5/8" CDX PLYWOOD SHEATHING ON PREFAB WOOD TRUSSES AT 24" O.C. MAX.

FACE PROFILE MATCHES THAT SHOWN AT DETAIL 4/ A-B

SOFFIT AT THIS AREA (WATER ROOM) IS UNVENTED

HORIZ. VINYL SIDING ON 1/2" PLYWD SHEATHING ON 2x4 STUDS AT 12" O.C. MAX. (2x4'S AT WATER ROOM ONLY - SEE PLAN)

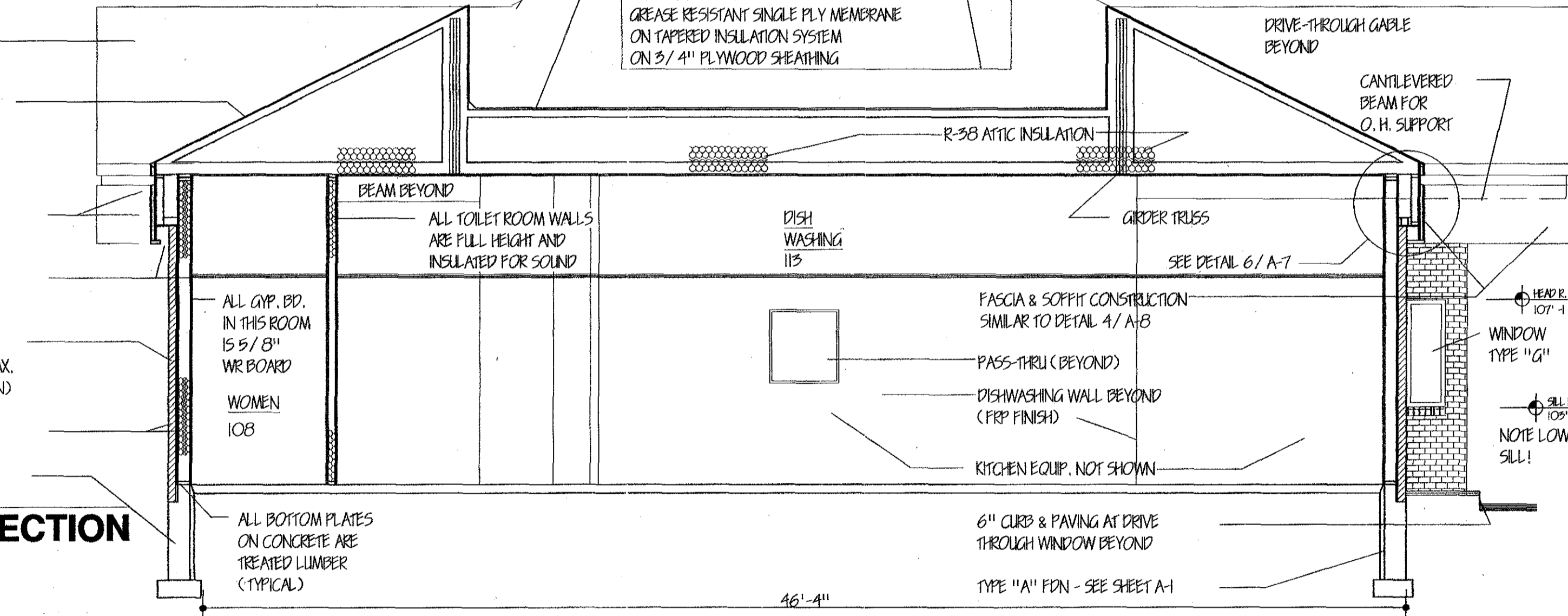
R-11 FIBERGLASS INSULATION IN 2x4 WALL

TYPE "A" FOUNDATION - SEE SHEET A-1

2 BLDG. CROSS SECTION

A-8 SCALE: 1/4" = 1'-0"

LOOKING TOWARD FRONT



BLUE STANDING SEAM METAL ROOF SYSTEM

TRUSS BEARING AT 12' ABOVE SLAB

NOTE: TRUSS O.H. SHOWN ARE TO FACE OF TRUSS - FASCIA DETAIL EXTENDS BEYOND

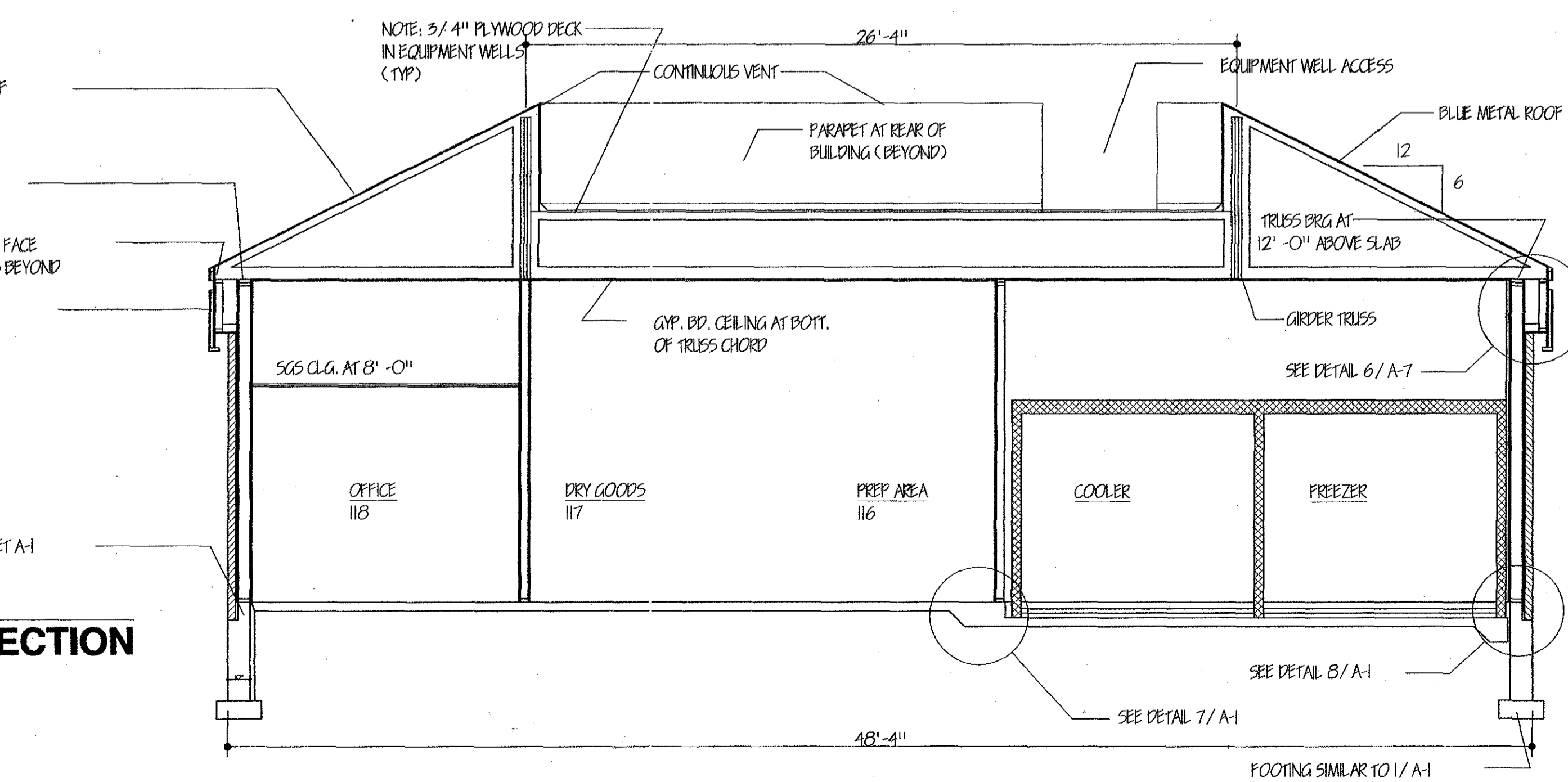
FASCIA & SOFFIT CONSTRUCTION SIMILAR TO DETAIL 4/ A-B

TYPE "A" FOUNDATION - SEE SHEET A-1

3 BLDG. CROSS SECTION

A-8 SCALE: 1/4" = 1'-0"

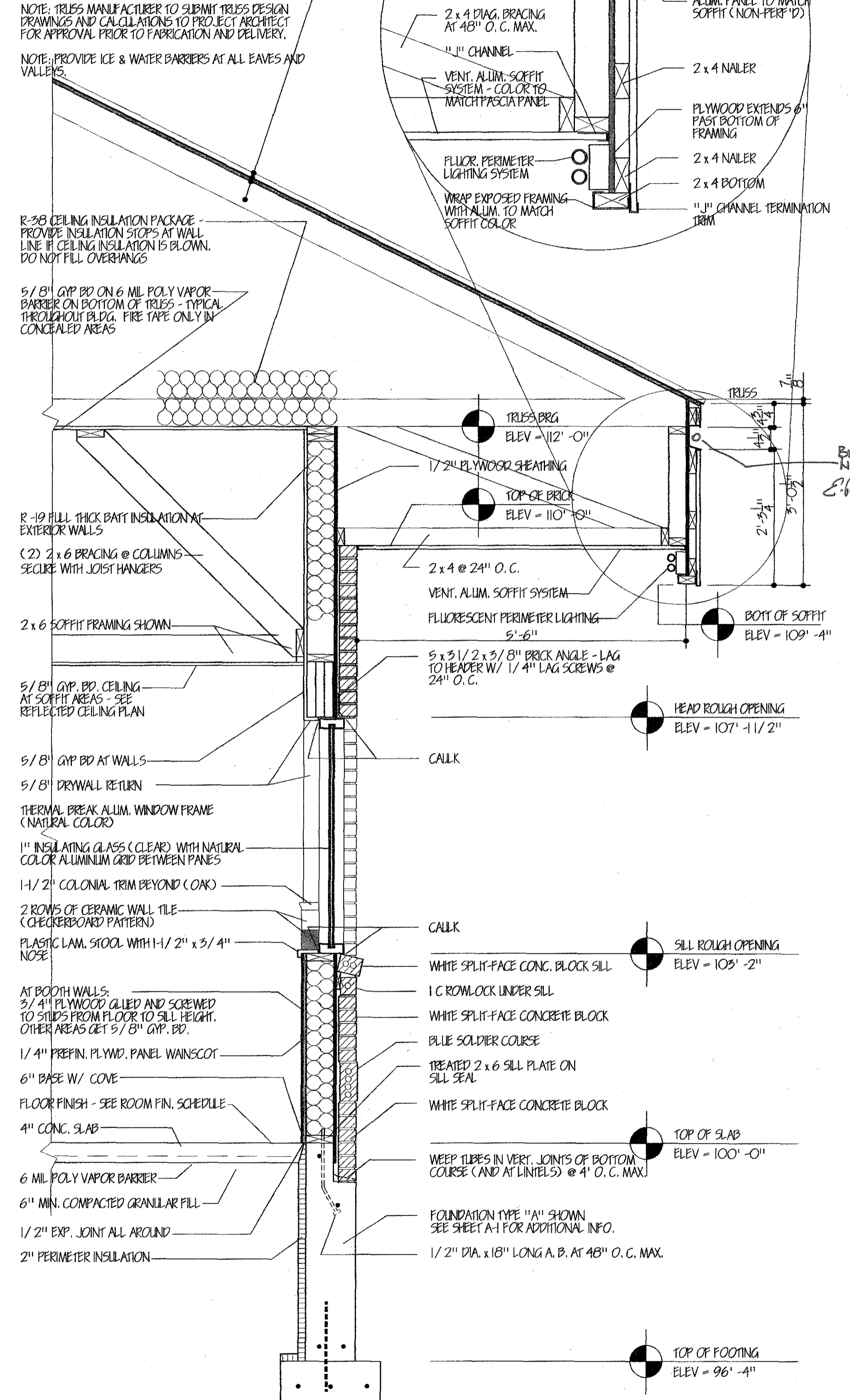
LOOKING TOWARD REAR



4 TYP. DINING ROOM WALL SECTION

A-8 SCALE: 3/4" = 1'-0"

LOOKING TOWARD FRONT



STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, SUITE 200, MILWAUKEE, WI 53102
TEL: (414) 224-1234 FAX: (414) 224-1235
E-MAIL: stelling@stelling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158

PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
BUILDING CROSS SECTION, TYPICAL WALL SECTION

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

APPROVED:

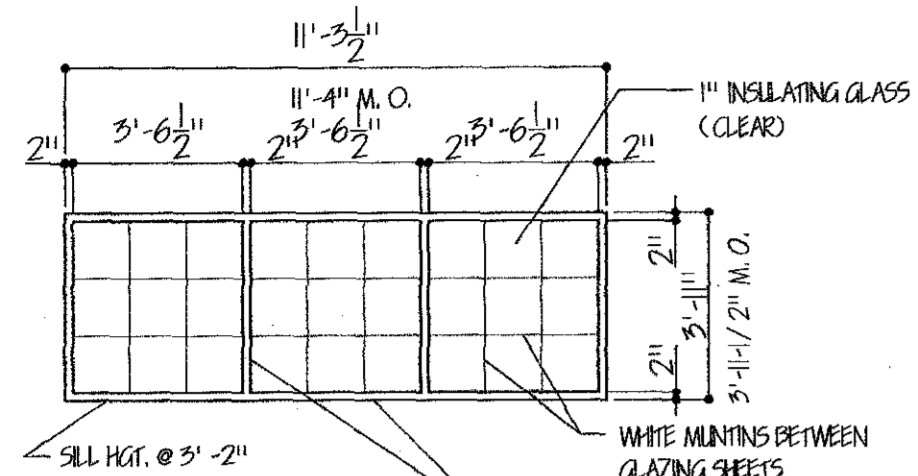
DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

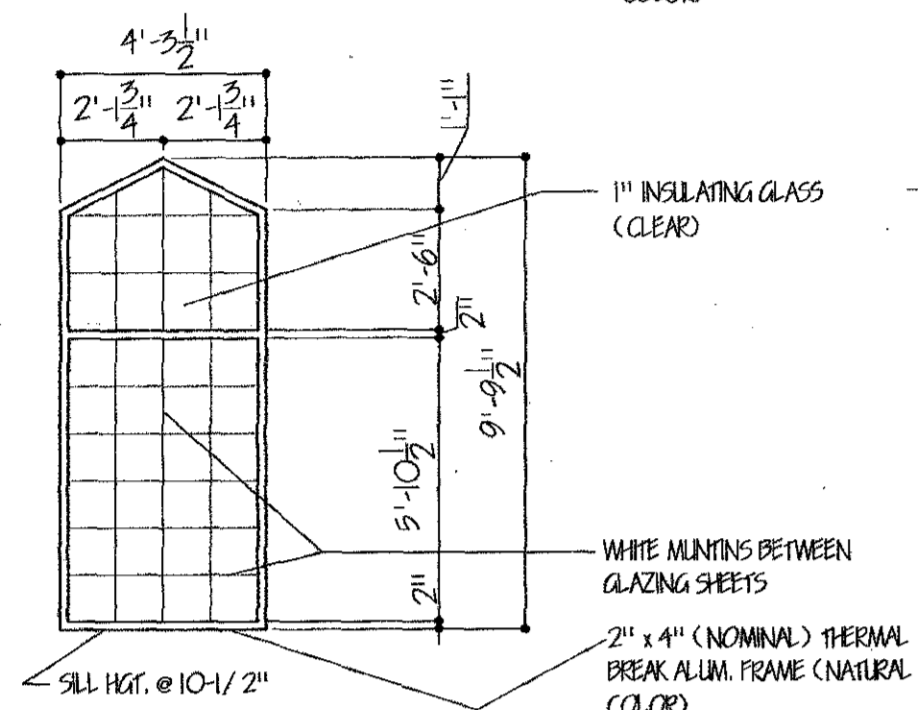
SHEET NUMBER:
A-8

WINDOW TYPES:



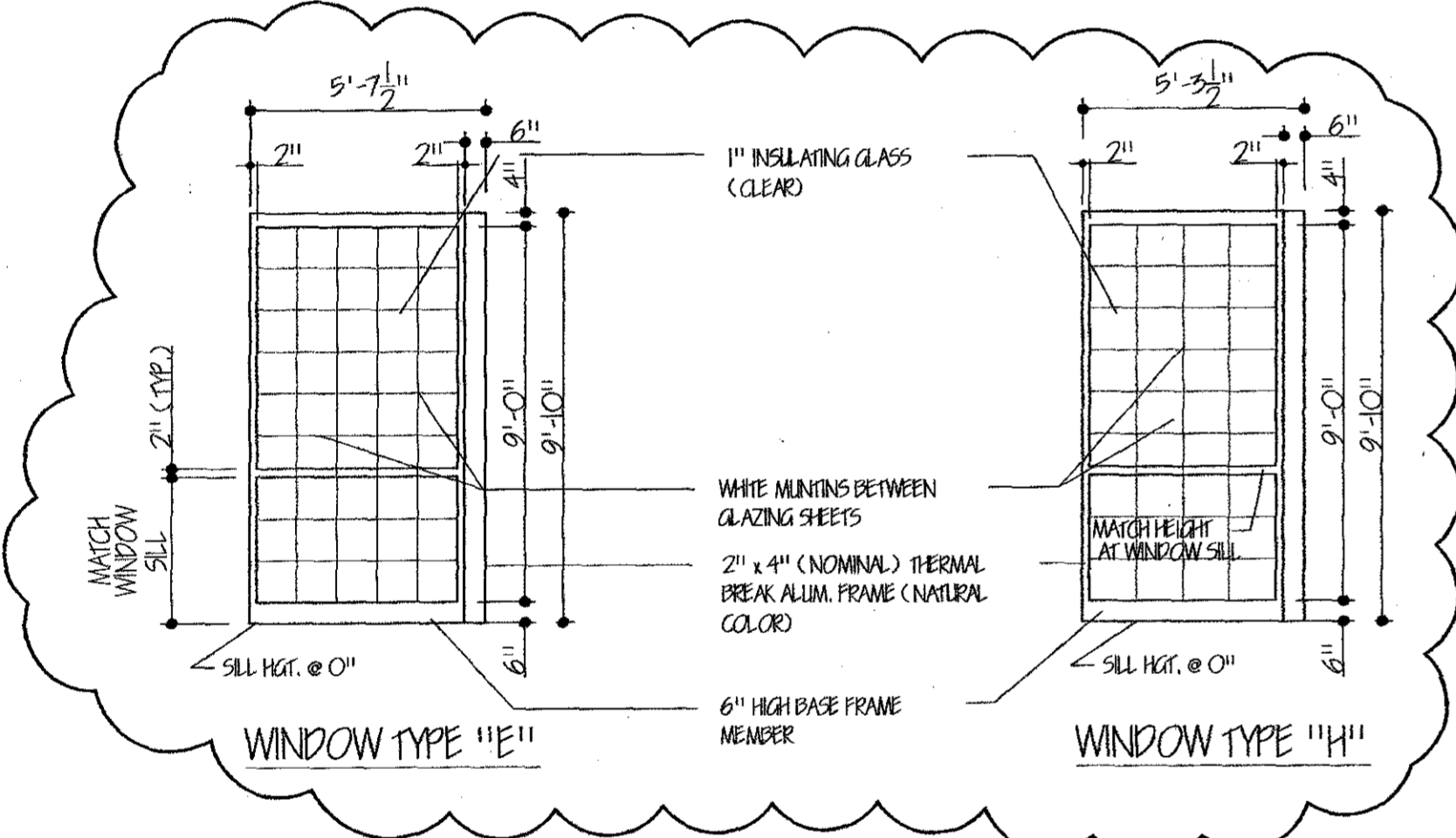
WINDOW TYPE "A1"

UNUSED WINDOW TYPE "B1"



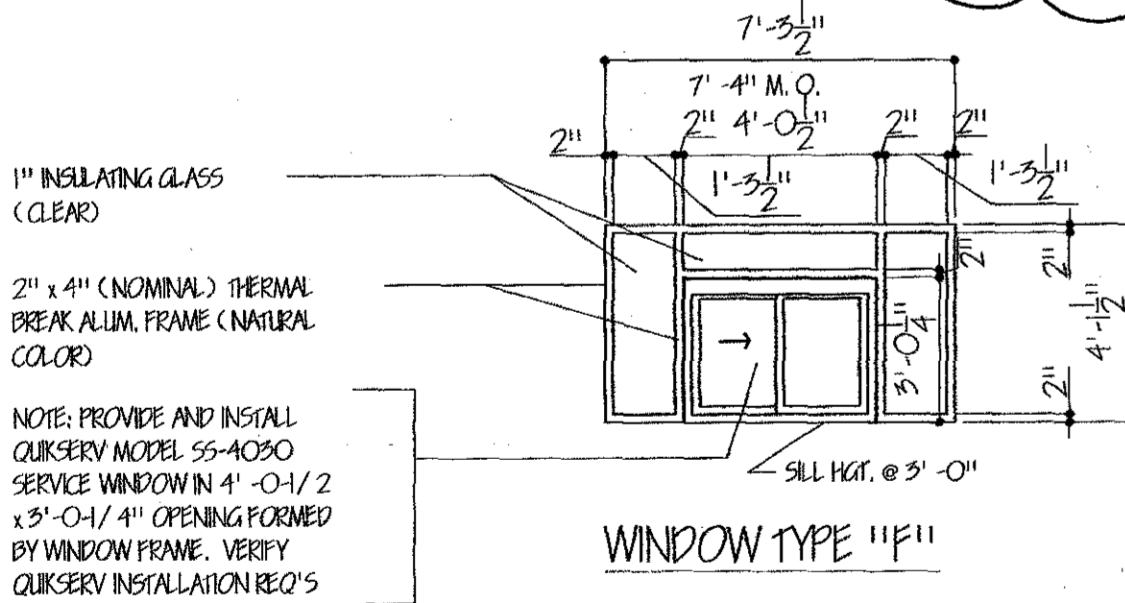
WINDOW TYPE "C1"

WINDOW TYPE "D1"

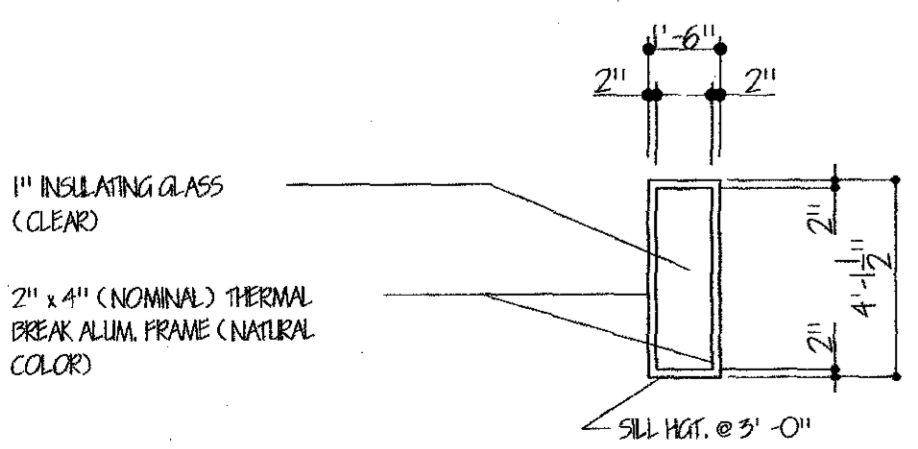


WINDOW TYPE "E1"

WINDOW TYPE "H1"



WINDOW TYPE "F1"



WINDOW TYPE "G1"

DOOR SCHEDULE

NO.	WIDTH	HGT.	MATERIAL	TYPE	FRAME:		HARDWARE GROUP	NOTES
					MATERIAL	TYPE		
1	2 @ 36"	84"	ALUM	A	ALUM	A	1	5/8" INSULATING GLASS, THERMAL BREAK FRAME
2	2 @ 36"	84"	ALUM	A	ALUM	B	2	SINGLE GLASS
3	36"	84"	ALUM	B	ALUM	B	2	SINGLE GLASS
4	36"	84"	ALUM	B	ALUM	C	1	5/8" INSULATING GLASS, THERMAL BREAK FRAME
5	42"	84"	HM	C	HM	D	3	INSULATED HOLLOW METAL DOOR WITH 5/8" INSULATING GLASS
6	36"	84"	WD	D	WD	--	4	SOLID CORE, OAK VENEER - A.T. BID; MARLITE PRE-FINISHED DOOR
7	36"	84"	WD	D	WD	--	4	SOLID CORE, OAK VENEER - A.T. BID; MARLITE PRE-FINISHED DOOR
8	36"	84"	WD	D	WD	--	6	SOLID CORE, OAK VENEER - A.T. BID; MARLITE PRE-FINISHED DOOR
9	36"	84"	WD	D	WD	--	5	SOLID CORE, OAK VENEER - A.T. BID; MARLITE PRE-FINISHED DOOR
10	36"	84"	WD	E	WD	--	5	SOLID CORE, OAK VENEER - A.T. BID; MARLITE PRE-FINISHED DOOR

HARDWARE GROUPS:

HARDWARE GROUP 1: (Doors 1 & 4)
This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality system.

- Hinges: Roton continuous hinges with heavy duty hardware
- Lock: Touchbar exit device (Van Dyke Series 98 or approved equal)
- Butts: Manufacturer's standard flush butts
- Closers: LCN 4000 series with heavy duty hardware
- Threshold: Aluminum - Meets ADA requirements
- Sweep: Milg's standard sweep
- Weatherstripping: Milg's premium package

HARDWARE GROUP 1: (Doors 2 & 3)
This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality system.

- Hinges: Roton continuous hinges with heavy duty hardware
- Lock: None
- Butts: None
- Closers: LCN 4000 Series with heavy duty hardware
- Threshold: None
- Sweep: None
- Weatherstripping: None

HARDWARE GROUP 5: (Doors 5)

- Hinges: 1-1/2 pair butts Soss 450 189 NBP (or Stanley or Hager equal)
- Lock: Schlage D series "Blades" in 626 finish
- Lock Protector: Gayer, Johnson L552D - Coord. w/ lock
- Closers: LCN 4000H Cush w/ Integral stop
- Threshold: Pemko 254 Series
- Weatherstripping: Fall - Pemko or equal
- Kick Plate: 12" high x door width @ both sides of door. 626 finish - Richwood or equal.

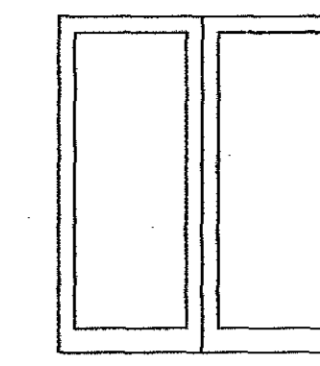
HARDWARE GROUP 4: (Doors 6 & 7)
Hinges: 1-1/2 pair butts - Soss 450 x NBP (or Stanley or Hager equal)

- Push/Pull: Brookline 50C x 626 and Brookline 50 x 626
- Step: Ives 456 or Ives 407 - 1/2 x 626
- Closers: LCN 4000 series with heavy duty hardware
- Kick Plate: 8" high x door width @ both sides. 626 finish - Brookline or equal

HARDWARE GROUP 5: (Doors 9 & 10)
Hinges: 1-1/2 pair butts - Soss 450 TBP (or Stanley or Hager equal)

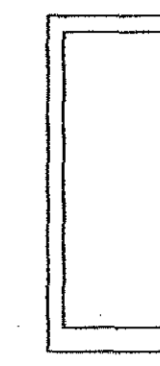
- Lock: Schlage AL Series "Saturin" in 626 finish
- Step: Ives 456 or Ives 407 - 1/2 x 626
- Closers: LCN 4000 Series with heavy duty hardware
- Kick Plate: 8" high x door width @ kitchen side. 626 finish - Brookline or equal

DOOR TYPES



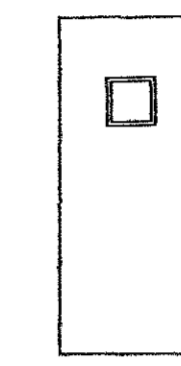
TYPE "A1"

Pair @ 36" x 84" Aluminum
Aluminum color is natural
Glass is clear
5/8" Insulating glass at exterior doors



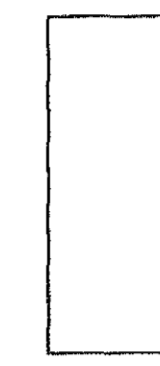
TYPE "B1"

36" x 84" Aluminum
Aluminum color is natural
Glass is clear
5/8" Insulating glass at exterior doors



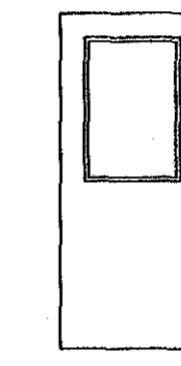
TYPE "C1"

42" x 84" insulated HM door w/ 12" x 12" lite
door w/ 5/8" insulating glass



TYPE "D1"

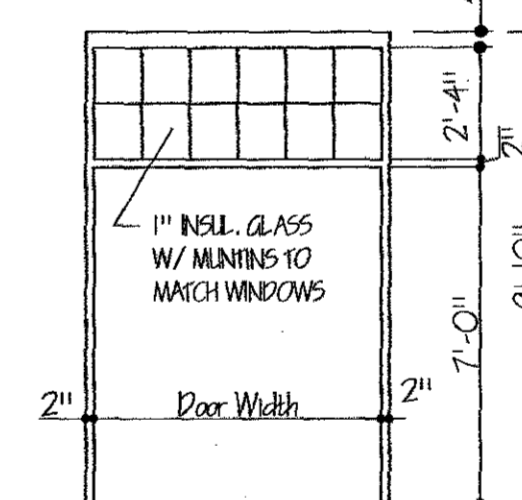
36" x 84" x 1-3/4" flush panel
solid core wood door w/ oak veneer
finish
Alternate: Marble pre-finished door



TYPE "E1"

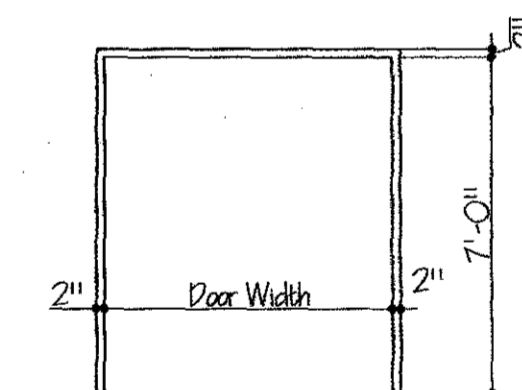
Same as Type "D1" except
with single pane 1/2-lite

FRAME TYPES



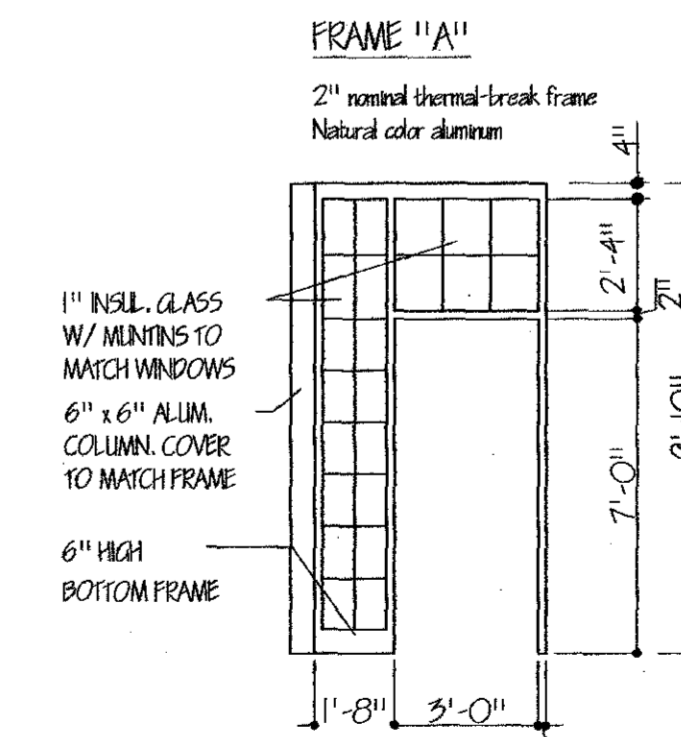
FRAME "A1"

2" nominal thermal-break frame
Natural color aluminum



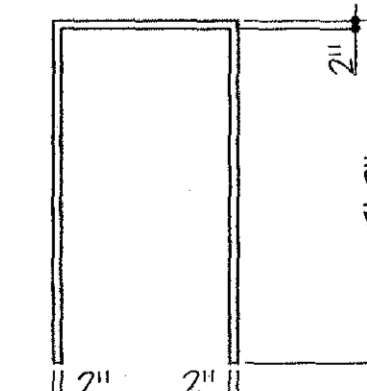
FRAME "B1"

2" nominal aluminum frame
Natural color



FRAME "C1"

2" nominal thermal-break frame
Natural color aluminum



FRAME "D1"

2" Hollow Metal Frame
Factory primed finish

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON, WI 53105
TELEPHONE: (262) 768-8726 FAX: (262) 768-1971
E-MAIL: stelling@sal.com

NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI, 53158
PROJECT FOR: **OMA, L.L.C.**

**WINDOW TYPES, DOOR SCHEDULE,
DOOR TYPES, HARDWARE GROUPS,
AND FRAME TYPES**

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

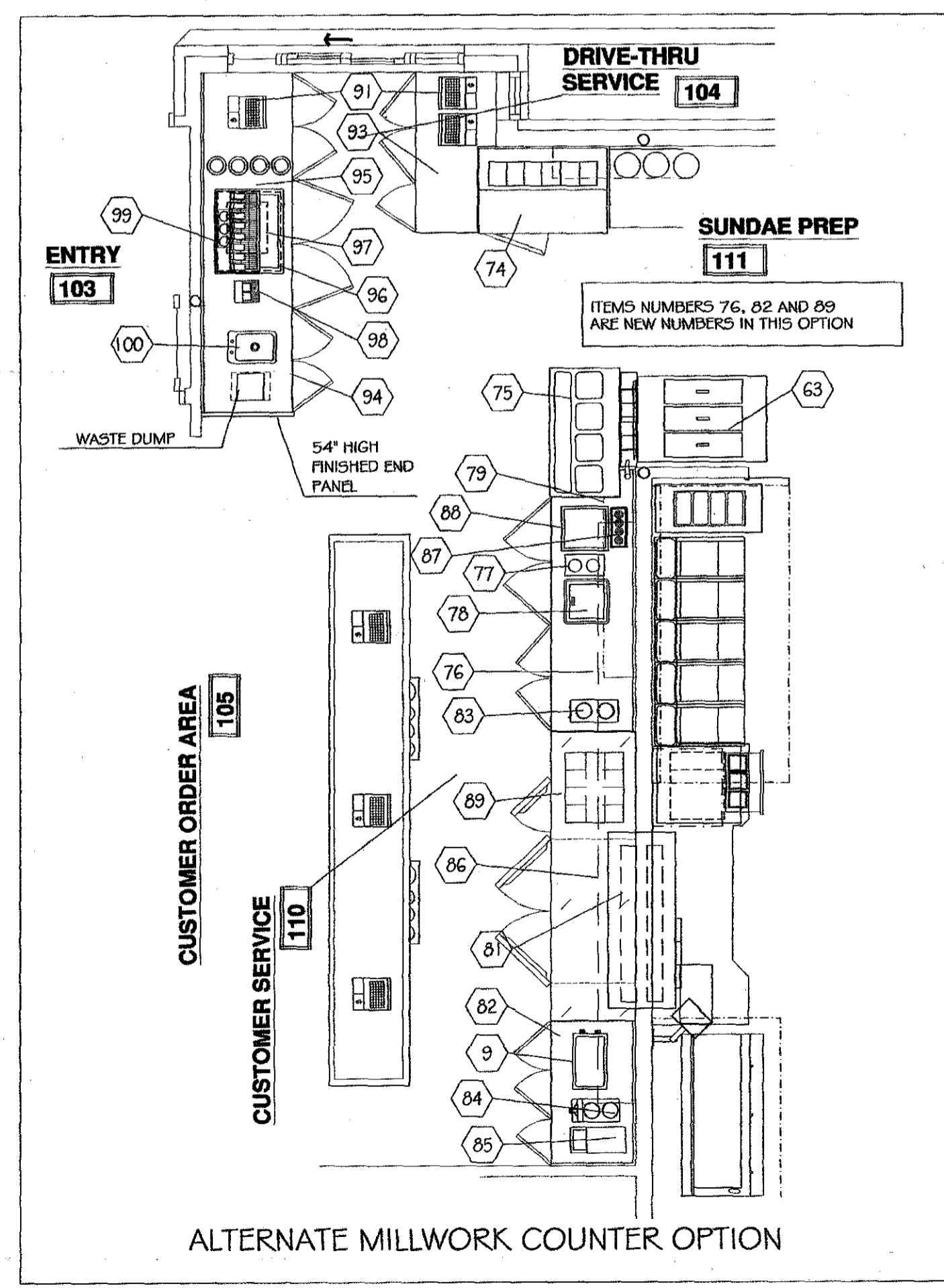
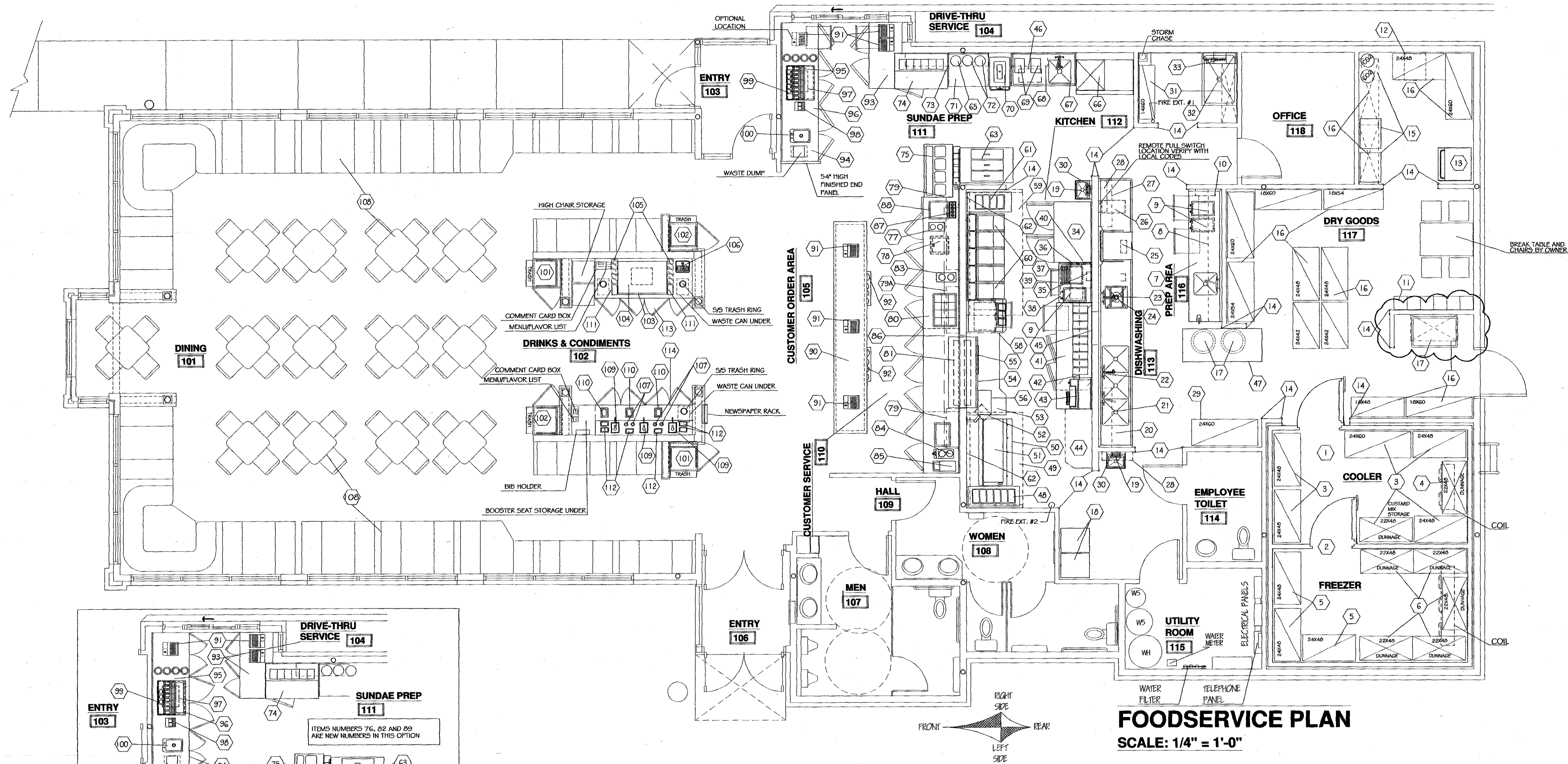
APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
A-9



FOODSERVICE PLAN
SCALE: 1/4" = 1'-0"

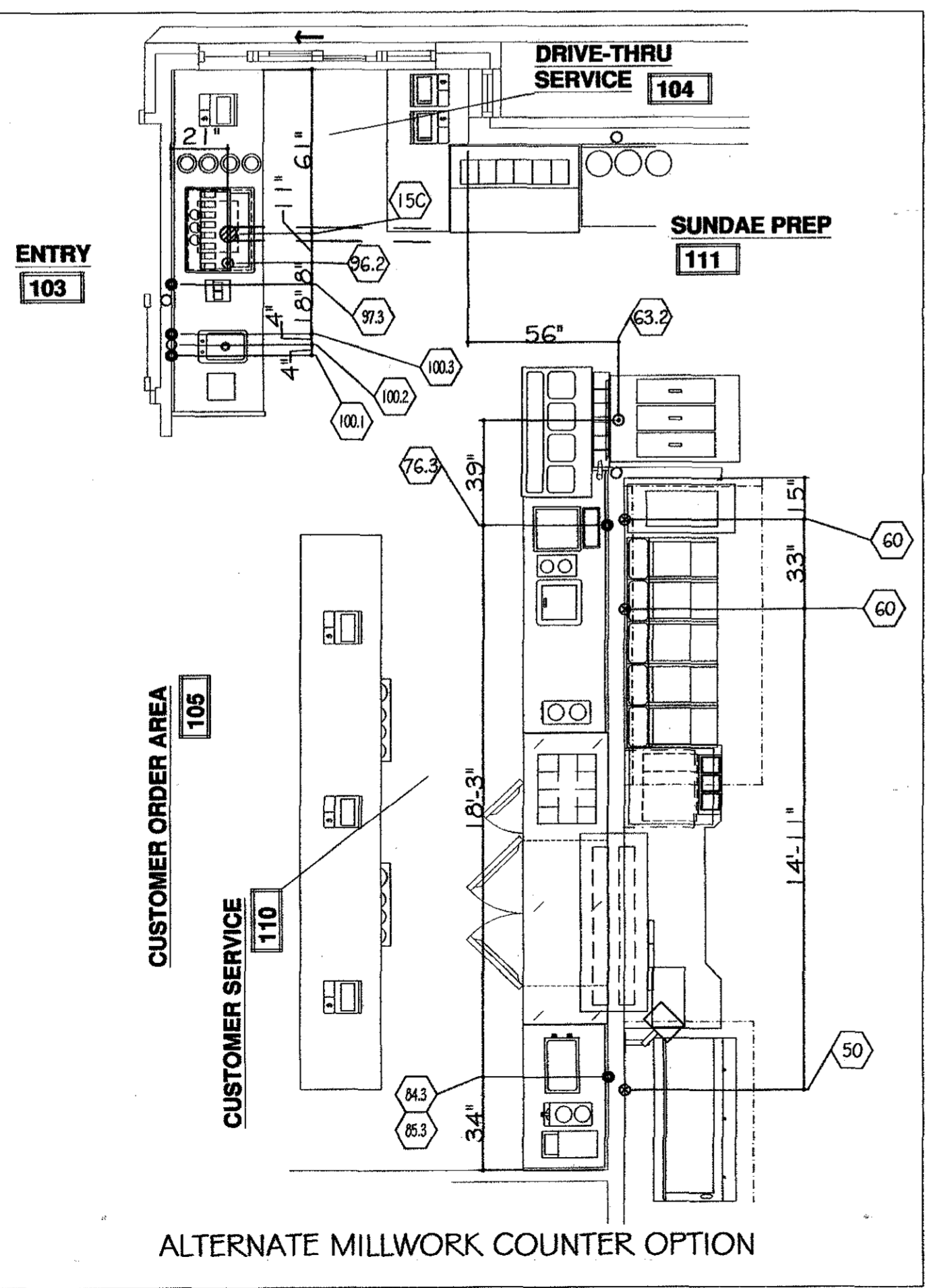
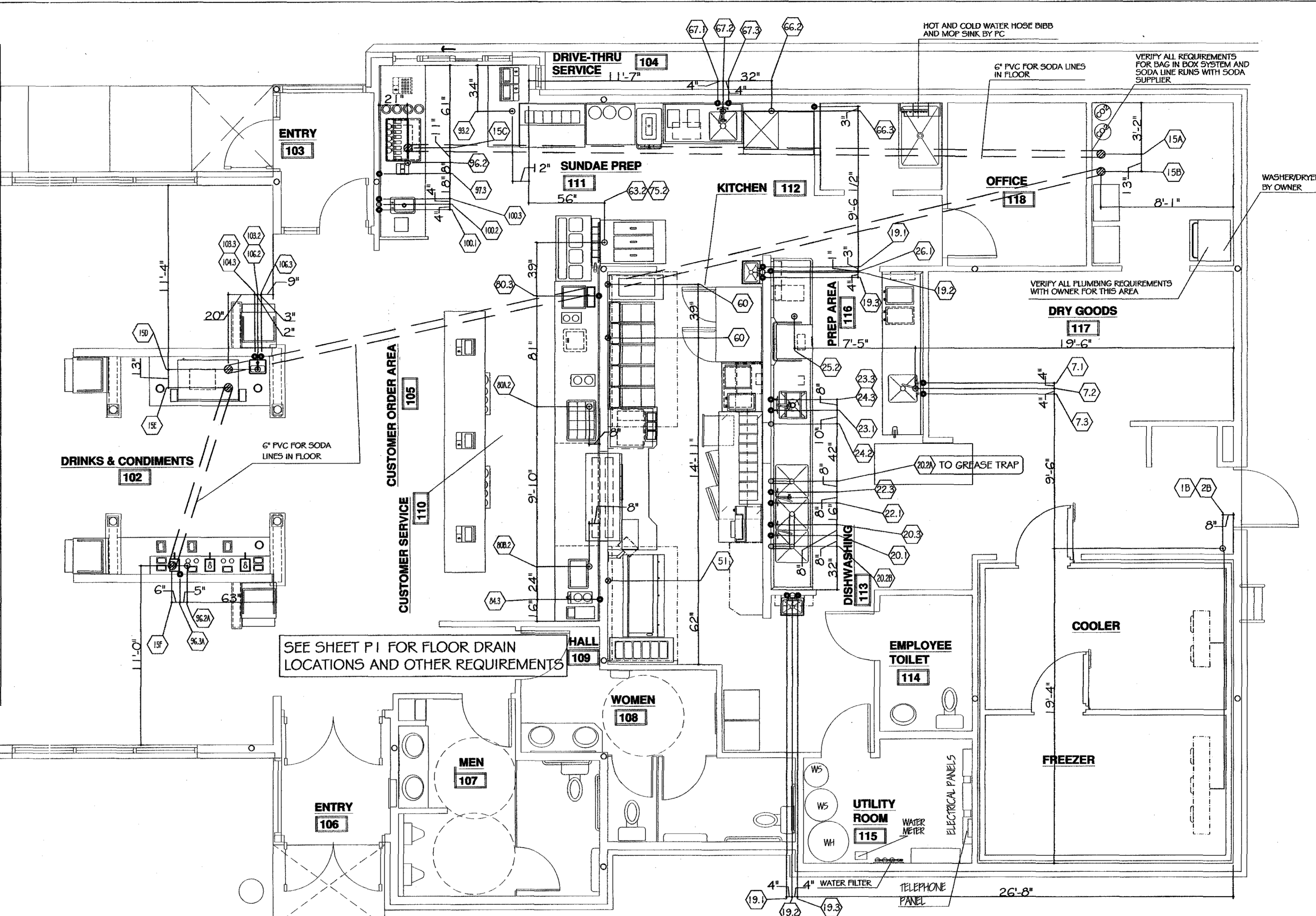
ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	WALK IN COOLER	24	DISPOSER	47	MOBILE WORKTABLE (OPTIONAL)	70	MILKSHAKE MACHINE (BY OWNER)	93	DRIVE-UP COUNTER
2	WALK IN FREEZER	25	DISHWASHER (BY CHEMICAL COMPANY)	48	CUSTOM MEAT REFRIGERATOR	71	WORKTABLE	94	DRIVE-UP COUNTER
3	COOLER SHELVING	26	BOOSTER HEATER	49	EXHAUST HOOD (PROVIDE DISCONNECT)	72	HEATED SYRUP DISPENSERS	95	CUP DISPENSERS
4	COOLER DUNNAGE RACK	27	WALL SHELF	50	GRIDDLE STAND	73	WALL SHELF	96	ICE AND SODA DISPENSER (BY PURVEYOR)
5	FREEZER SHELVING	28	FIRE SUPPRESSION SYSTEMS	51	GRIDDLE	74	REFRIGERATED TOPPING TABLE	97	CARBONATOR (BY PURVEYOR)
6	FREEZER DUNNAGE	29	SHELVING	52	DOUBLE PRINTER SHELF	75	CUSTARD DIPPING CABINET	98	NON-CARB DRINK TOWER (BY PURVEYOR)
7	WORKTABLE/SINK	30	WALL SHELVES	53	SANDWICH WRAP STATION	76	OPEN NUMBER (BASE)	99	LID DISPENSER
8	WALL SHELF	31	JANITOR'S SHELVING	54	ORDER BARS	77	SERVICE COUNTER (ALTERNATE)	100	DROP-IN SINK
9	COOKER/WARMERS	32	MOP SINK (BY PLUMBER)	55	WRAP PAPER HOLDERS	78	CHOCOLATE WARMER	101	TRAY/TRASH COUNTERS
10	KETCHUP DISPENSER (BY PURVEYOR)	33	CHEMICAL DISPENSING SYSTEM (BY PURVEYOR)	56	BUN WARMER (OPTIONAL)	79	DROP-IN FREEZER (OPTIONAL)	102	TRAY/TRASH COUNTERS
11	LOCKERS	34	REACH-IN FREEZER	57	OPEN NUMBER	80	REFRIGERATED 5/5 BACKCOUNTER	103	SODA DISPENSER (BY PURVEYOR)
12	GREASE GUZZLER (ALTERNATE BY OWNER)	35	CHICKEN TIMER (BY OWNER)	58	FRY STATION HEAT LAMP	81	HEATED PASS-THRU UNIT	104	CARBONATOR (BY PURVEYOR)
13	WASHER/DRYER BY OWNER	36	MICROWAVE OVEN	59	EXHAUST HOOD (PROVIDE DISCONNECT)	82	OPEN NUMBER (BASE)	105	LID DISPENSERS
14	CORNER GUARDS	37	ROLLER GRILL	60	FRYERS	83	SERVICE COUNTER (ALTERNATE)	106	GLASS FILLER
15	BAG-IN-BOX SYSTEM (BY PURVEYOR)	38	WARMER DRAWER	61	CUSTOM FISH REFRIGERATOR	84	COFFEE WARMER (BY PURVEYOR)	107	CONDIMENT CUP DISPENSERS
16	STORAGE SHELVING	39	WORKTABLE	62	5/5 WALL PANELS	85	COFFEE MAKER (BY PURVEYOR)	108	TABLES/CHAIRS/BOOTHES
17	TRASH CANS/CART (BY OWNER)	40	MICROWAVE SHELF	63	TRIPLE CUSTARD MACHINE (BY OWNER)	86	HOT CHOCOLATE MACHINE (BY PURVEYOR)	109	CONDIMENT DISPENSERS
18	BUN RACKS (BY PURVEYOR)	41	REFRIGERATED WORKTABLE	64	OPEN NUMBER	87	MENU BOARD (BY OWNER)	110	WAFLE CONE DISPENSER
19	HAND SINKS	42	WALL SHELF	65	SYRUP PUMP AND JAR	88	WAFFLE WARMER (BY PURVEYOR)	111	STRAW DISPENSERS
20	DISHABLES AND UTENSIL SINKS	43	BUN TOASTER	66	ICE MACHINE WITH BIN	89	FRONT SERVICE COUNTER	112	CONDIMENT PANS
21	WALL SHELF	44	BUN RACK SHELF	67	WORKTABLE WITH SINK	90	WORKTOP REFRIGERATOR (ALTERNATE)	113	BEVERAGE COUNTER
22	PRE-RINSE SPRAY ASSEMBLY	45	5/5 WINDOW TRIM	68	WALL SHELF	91	CASH REGISTERS AND SYSTEM (BY OWNER)	114	CONDIMENT COUNTER
23	PRE-RINSE SPRAY ASSEMBLY	46	MICROWAVE OVEN	69	ASTRO BLENDERS (BY OWNER)	92	CUP DISPENSERS	115	REFRIGERATION SYSTEMS (ON ROOF)

DRAWING DESCRIPTION: **FOOD SERVICE FLOOR PLAN**
 PROJECT DESCRIPTION: **NEW CULVER'S RESTAURANT**
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE WI, 53158
 PROJECT FOR: **OMA, L.L.C.**
 ARCHITECTS: **STELLING & ASSOCIATES ARCHITECTS, L.T.D.**
 181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TEL: (262) 782-1500 FAX: (262) 782-1971
 EMAIL: estelling@sa.com
 OWNERSHIP OF DOCUMENTS: THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, L.T.D. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, L.T.D.
 REVISIONS: 1-29-01
 APPROVED: ACN
 DRAWN BY: ACN
 DATE: 12-4-00
 PROJECT NUMBER: 0039
 SHEET NUMBER: **FS-1**

PLUMBING SYMBOLS	
●	HW HOT WATER
○	CW COLD WATER
○	DW DIRECT WASTE
○	H.D. HUB DRAIN
○	F.D. FLOOR DRAIN
○	G GAS
○	AFF ABOVE FINISHED FLOOR
○	POC POINT OF CONNECTION

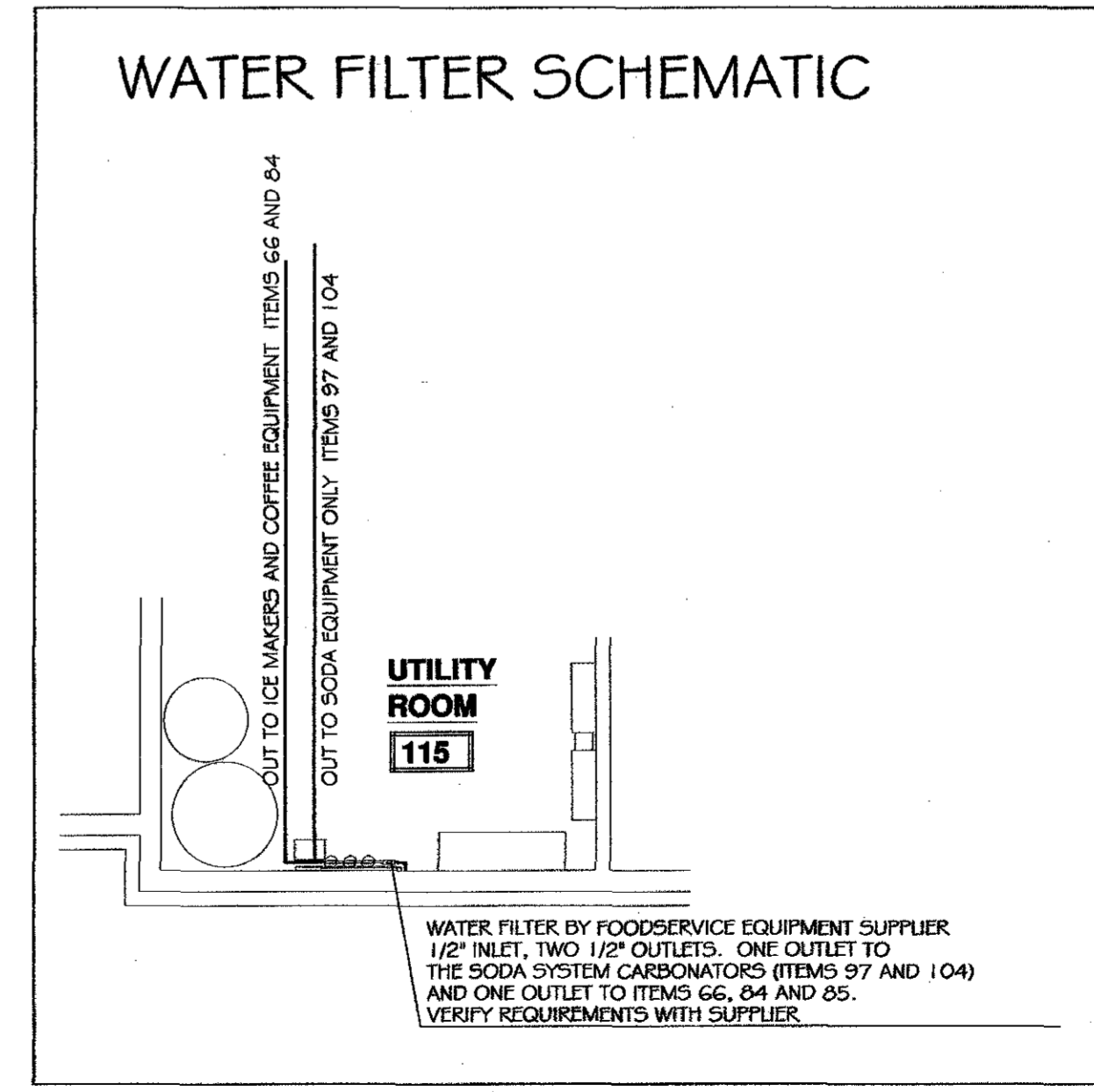
NOTES:
 A.) PEC TO FIELD VERIFY ALL ROUGH-IN LOCATIONS AT EARLY DATE TO ENSURE CORRECT PLACEMENTS AND QUANTITIES. NOTE ANY CHANGES AND SUBMIT TO THE ARCHITECT AND CONSULTANT FOR APPROVAL.
 B.) PEC TO COORDINATE WITH PC ON EXISTING EQUIPMENT PLUMBING REQUIREMENTS.

PLUMBING CONTRACTOR
 A.) HEIGHTS LISTED ON ROUGH-IN SCHEDULE ARE TO BE CONCEALED IN THE WALL AND STUBBED OUT AT THE HEIGHT INDICATED.
 B.) WHERE POSSIBLE THE ROUGH-INS ARE TO BE CONCEALED IN THE WALL AND STUBBED OUT AT THE HEIGHT INDICATED.
 C.) WHERE AN OPEN SITE (HUB DRAIN) IS SPECIFIED THE CONTRACTOR IS TO TERMINATE THE DRAIN PIPING OVER CENTER OF THE DRAIN PER STATE AND LOCAL CODES.
 D.) PROVIDE ALL WATER SUPPLY AND DRAIN LINES, DRAIN FITTINGS, FLOOR DRAIN, VALVES, TRAPS, UNIONS, TAILPIECES, PRESSURE REDUCING VALVES, CHECK VALVES, SHOCK ABSORBERS, PVC CONDUIT FOR BEVERAGE AND REFRIGERATION LINES AS REQUIRED. PROVIDE GREASE TRAPS OR INTERCEPTORS SIZED PER CODE TO HANDLE LISTED VOLUMES AS INDICATED ON PLUMBING/MECHANICAL SCHEDULE SHEET. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING ENGINEER TO SPECIFY AND DETAIL THE REQUIREMENTS FOR CODE COMPLYING BACKFLOWPREVENTER PRESSURE DEVICES AS REQUIRED BY STATE AND LOCAL CODES. THE PLUMBING ENGINEER IS RESPONSIBLE FOR COORDINATION AND FEES REQUIRED FOR APPROVAL OF DEVICES.
 E.) INSTALL ALL FAUCETS, SPRAY UNITS, LEVER WASTE DRAINS, VACUUM BREAKERS, CHECK VALVES, FLOW CONTROL VALVES, TROUGH WATER INLETS, WATER FILTERS, STRAINERS, FRY VALVES, TIP GALGES, FURNISHED BY THE PECCS AS INDICATED IN DIVISION 11-4000 SPECIFICATIONS AND ON THE MECHANICAL SCHEDULES. EXPOSED PIPING AND FIXTURES SHALL NOT SHOW TOOL MARKS. HORIZONTAL PIPING SHALL BE A MINIMUM OF 6" AFF. ALL EXPOSED PIPING ABOVE 34" AFF. TO BE CHROME PLATED.
 F.) COORDINATE WITH BEVERAGE MACHINE PURVEYORS FOR PLUMBING REQUIREMENTS ON PURVEYORSUPPLIER FURNISHED EQUIPMENT.
 G.) GAS PIPING CONTRACTOR TO PROVIDE GAS SERVICE TO FOODSERVICE EQUIPMENT AT A MAXIMUM OF 1/2" W.C. FOODSERVICE EQUIPMENT CONTRACTOR (PEC) TO FURNISH REGULATORS FOR EQUIPMENT THAT REQUIRE PRESSURES BELOW 1/4" W.C. GAS PIPING CONTRACTOR TO INSTALL THE REGULATORS FURNISHED BY PEC AS INDICATED ON THE FOODSERVICE MECHANICAL/ELECTRICAL/PLUMBING SCHEDULE (M.E.P.).
 THE FIREFUEL GAS SHUT-OFF SOLENOID VALVE IS PROVIDED BY PEC AND INSTALLED BY FIRM.
 ALL FEED SUPPLY PIPING, SHUT-OFF VALVES AND DRIP LEGS ARE PROVIDED BY GAS PIPING CONTRACTOR.
 THE PEC TO FURNISH ALL SPECIFIED FLEX GAS HOSES TO THE GAS PIPING CONTRACTOR FOR INSTALLATION, AS INDICATED IN THE SPECIFICATIONS AND ON THE M.E.P. SCHEDULE SHEETS.



ITEM	PLUMBING CONNECTION SCHEDULE
1B	3" HUB DRAIN (CLEARWATER WASTE) STUB UP 3" AFF.
2B	DRAINS TO HUB DRAIN LISTED FOR ITEM 1B
7.1	1/2" HW 14" AFF.
7.2	3" HUB DRAIN STUB-UP 6" AFF.
7.3	1/2" CW 14" AFF.
13	WASHER AND DRYER BY OTHERS. VERIFY REQUIREMENTS
15A	6" PVC SLEEVE STUB-UP 12" AFF. OUT TO ITEM 15C
15B	6" PVC SLEEVE STUB-UP 12" AFF. OUT TO ITEM 15D
15C	6" PVC SLEEVE STUB-UP 8" AFF. FROM ITEM 15A
15D	6" PVC SLEEVE STUB-UP 8" AFF. FROM ITEM 15B
15E	6" PVC SLEEVE STUB-UP 8" AFF. OUT TO ITEM 15F ROUGH-IN AND CAP FOR FUTURE USE
15F	6" PVC SLEEVE STUB-UP 8" AFF. FROM ITEM 15E ROUGH-IN AND CAP FOR FUTURE USE
19.1	1/2" HW 20" AFF. (TWO LOCATIONS)
19.2	1 1/2" DW 18" AFF. (TWO LOCATIONS)
19.3	1/2" CW 20" AFF. (TWO LOCATIONS)
20.1	3/4" HW 14" AFF. CONNECTS TO FAUCET AND SANITIZER SYSTEM
20.2A	2" DW 10" AFF. CONNECTS TO GREASE TRAP
20.2B	2" DW 10" AFF.
20.3	3/4" CW 14" AFF. CONNECTS TO FAUCET
22.1	3/4" HW 14" AFF.
22.3	3/4" CW 14" AFF.
23.1	1/2" HW 14" AFF.
23.3	3/4" CW 14" AFF. CONNECTS TO ITEMS 23 AND 24
24.2	1 1/2" DW 10" AFF.
24.3	CW FROM ITEM 23.3 ROUGH-IN
25.2	4" HUB DRAIN STUB-UP 3" AFF.
26.1	3/4" HW 14" AFF. BRANCH THRU BOOSTER TO DISHWASHER
32	MOP SINK AND H/C WATER FAUCET BY PC. VERIFY REQUIREMENTS
33	H/C WATER BY PC. VERIFY REQUIREMENTS WITH CHEMICAL SUPPLIER.

ITEM	PLUMBING CONNECTION SCHEDULE
51	3/4" N. GAS 24" AFF.
60	1 1/4" N. GAS 18" AFF. (TWO LOCATIONS)
63.2	3" HUB DRAIN STUB-UP 3" AFF.
66.2	3" HUB DRAIN STUB-UP 3" AFF.
66.3	3/4" CW 66" AFF. BRANCH THRU FILTERS TO ICE MAKER
67.1	1/2" CW 14" AFF.
67.2	3" HUB DRAIN STUB-UP 3" AFF.
67.3	1/2" HW 14" AFF.
75.2	DRAINS TO HUB DRAIN LISTED FOR ITEM 63.2
76.3	1/2" CW 18" AFF.
80.3	1/2" CW 18" AFF.
80A.2	3" HUB DRAIN STUB-UP 8" AFF. REQUIRED IF THE 5/5 COUNTERS ARE USED
80B.2	3" HUB DRAIN STUB-UP 8" AFF. REQUIRED IF THE 5/5 COUNTERS ARE USED
84.3	1/2" CW 14" AFF. CONNECTS TO ITEMS 84 AND 85 THRU MAIN FILTER
85.3	CW FROM ITEM 84.3 ROUGH-IN
93.2	3" HUB DRAIN STUB-UP 8" AFF. (OPTIONAL, NOT REQUIRED IF ITEM 74 IS USED)
96.2	3" HUB DRAIN STUB-UP 8" AFF.
96.2A	3" HUB DRAIN STUB-UP 8" AFF. ROUGH-IN AND CAP FOR FUTURE USE
96.3	CW FROM ITEM 97.3
96.3A	1/2" CW 14" AFF. THRU FILTER (ROUGH-IN AND COVER FOR FUTURE USE)
97.3	1/2" CW 14" AFF. BRANCH THRU FILTER
100.1	1/2" HW 14" AFF.
100.2	1 1/2" DW 16" AFF.
100.3	1/2" CW 14" AFF.
103.2	3" HUB DRAIN STUB-UP 8" AFF.
103.3	CW FROM ITEM 104.3
104.3	3/4" CW 14" AFF. BRANCH THRU FILTER TO ITEMS 103 AND 104
106.2	DRAINS TO HUB DRAIN LISTED FOR ITEM 103.2
106.3	1/2" CW 14" AFF.



FOODSERVICE PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

STELLING & ASSOCIATES ARCHITECTS, LTD.
 181 W. CHESTNUT STREET, BURLINGTON, WI 53105
 PHONE: (262) 793-8226 FAX: (262) 785-1971
 EMAIL: catherine@stellings.com

PROJECT DESCRIPTION:
 NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, WI 53158

PROJECT FOR:
 OMA, L.L.C.

DRAWING DESCRIPTION:
 FOOD SERVICE PLUMBING PLAN

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

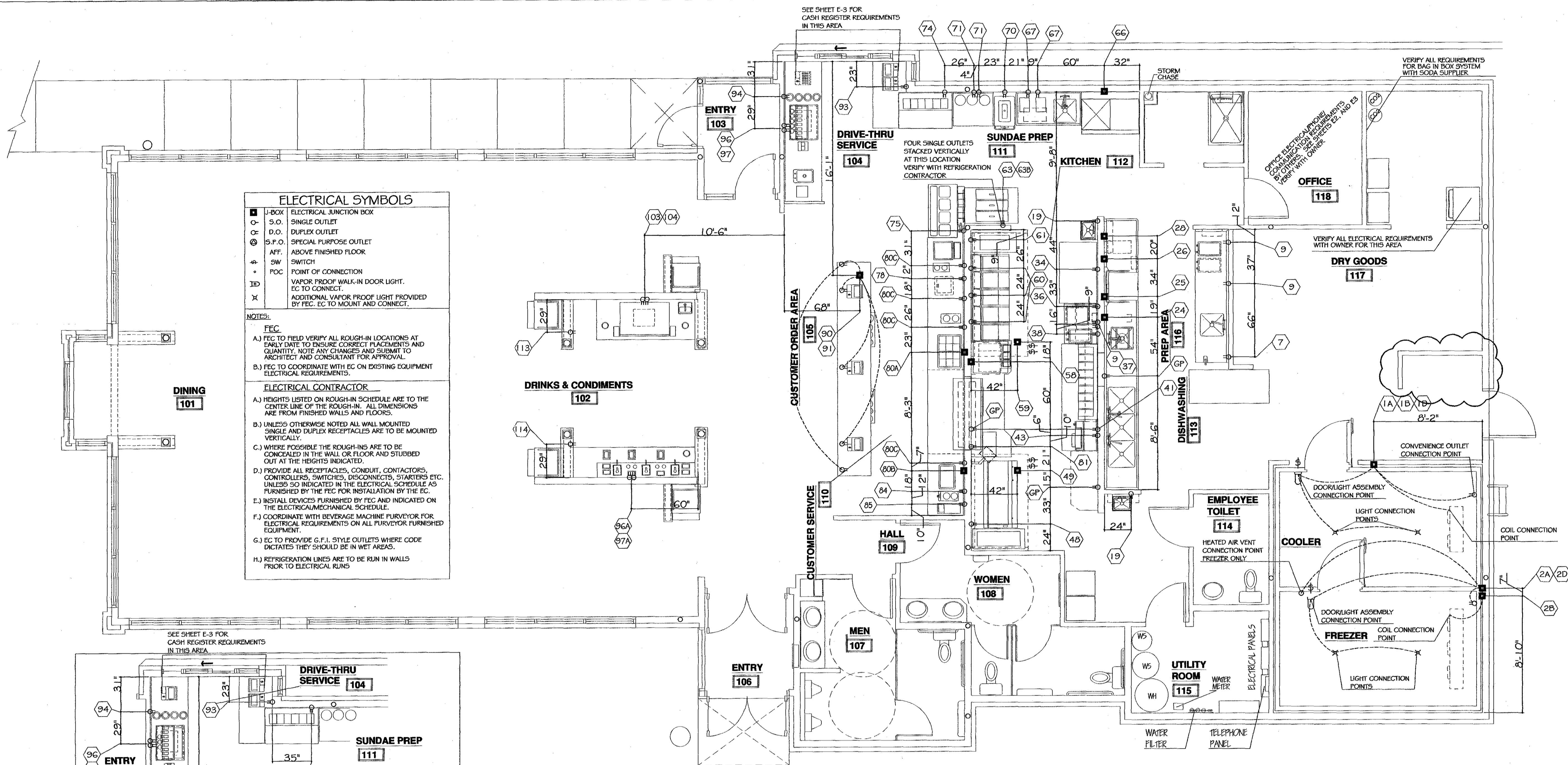
APPROVED:

DRAWN BY:
 ACN

DATE:
 12-4-00

PROJECT NUMBER:
 0039

SHEET NUMBER:
 FS-2



ELECTRICAL SYMBOLS

- J-BOX ELECTRICAL JUNCTION BOX
- S.O. SINGLE OUTLET
- D.O. DUPLEX OUTLET
- S.P.O. SPECIAL PURPOSE OUTLET
- ▲ AFF. ABOVE FINISHED FLOOR
- SW SWITCH
- POC POINT OF CONNECTION
- VAPOR PROOF WALK-IN DOOR LIGHT, EC TO CONNECT.
- X ADDITIONAL VAPOR PROOF LIGHT PROVIDED BY FEC. EC TO MOUNT AND CONNECT.

NOTES:

FEC

A) FEC TO FIELD VERIFY ALL ROUGH-IN LOCATIONS AT EARLY DATE TO ENSURE CORRECT PLACEMENTS AND QUANTITY. NOTE ANY CHANGES AND SUBMIT TO ARCHITECT AND CONSULTANT FOR APPROVAL.

B) FEC TO COORDINATE WITH EC ON EXISTING EQUIPMENT ELECTRICAL REQUIREMENTS.

ELECTRICAL CONTRACTOR

A) HEIGHTS LISTED ON ROUGH-IN SCHEDULE ARE TO THE CENTER LINE OF THE ROUGH-IN. ALL DIMENSIONS ARE FROM FINISHED WALLS AND FLOORS.

B) UNLESS OTHERWISE NOTED ALL WALL MOUNTED SINGLE AND DUPLEX RECEPTACLES ARE TO BE MOUNTED VERTICALLY.

C) WHERE POSSIBLE THE ROUGH-INS ARE TO BE CONCEALED IN THE WALL OR FLOOR AND STUBBED OUT AT THE HEIGHTS INDICATED.

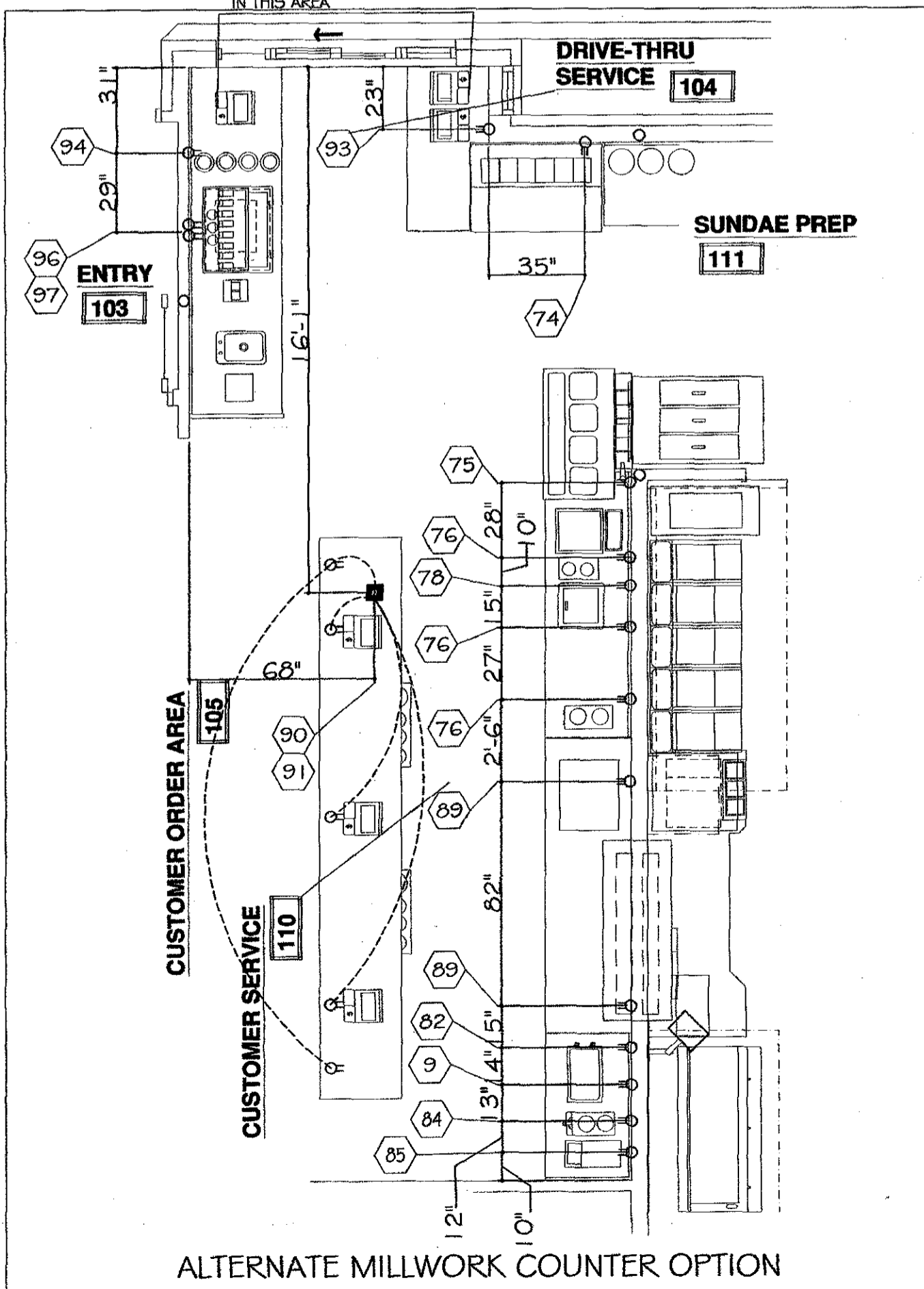
D) PROVIDE ALL RECEPTACLES, CONDUIT, CONTACTORS, CONTROLLERS, SWITCHES, DISCONNECTS, STARTERS ETC. UNLESS SO INDICATED IN THE ELECTRICAL SCHEDULE AS FURNISHED BY THE FEC FOR INSTALLATION BY THE EC.

E) INSTALL DEVICES FURNISHED BY FEC AND INDICATED ON THE ELECTRICAL MECHANICAL SCHEDULE.

F) COORDINATE WITH BEVERAGE MACHINE PURVEYOR FOR ELECTRICAL REQUIREMENTS ON ALL PURVEYOR FURNISHED EQUIPMENT.

G) EC TO PROVIDE G.F.I. STYLE OUTLETS WHERE CODE DICTATES THEY SHOULD BE IN WET AREAS.

H) REFRIGERATION LINES ARE TO BE RUN IN WALLS PRIOR TO ELECTRICAL RUNS



ITEM	ELECTRICAL CONNECTION SCHEDULE
1A	115/1 J-BOX 100" AFF.
1B	115/1 J-BOX 100" AFF.
1C	208/3 J-BOX 42" AFF. ON BUILDING ROOF. VERIFY LOCATION WITH G.C.
1D	115/1 J-BOX 100" AFF.
2A	115/1 J-BOX 100" AFF.
2B	208/1 J-BOX 100" AFF.
2C	208/3 J-BOX 42" AFF. ON BUILDING ROOF. VERIFY LOCATION WITH G.C.
2D	115/1 J-BOX 100" AFF.
7	115/1 DCO 48" AFF.
9	115/1 D.O. 48" AFF. VARIOUS LOCATIONS
13	VERIFY WITH OWNER ON WASHER/DRYER REQUIREMENTS
15	VERIFY WITH SODA SUPPLIER ON BAG IN THE BOX REQUIREMENTS
19	115/1 GFCI D.O. 24" AFF. TWO LOCATIONS
24	208/3 J-BOX 16" AFF.
25	115/1 J-BOX 70" AFF.
26	208/3 J-BOX 16" AFF.
28	115/1 DEDICATED, ISOLATED 24 HOUR CIRCUIT AT CEILING. VERIFY WITH INSTALLER
34	115/1 D.O. 90" AFF.
36	115/1 D.O. 56" AFF.
37	115/1 D.O. 48" AFF.
38	115/1 D.O. 16" AFF.
41	115/1 D.O. 16" AFF.
43	115/1 D.O. 48" AFF.
48	115/1 D.O. 24" AFF.
49	115/1 J-BOX 110" AFF. PROVIDE DISCONNECT SWITCHES FOR FAN AND LIGHTS ARE FACTORY MOUNTED ON FACE OF HOOD

ITEM	ELECTRICAL CONNECTION SCHEDULE
58	115/1 J-BOX 30" AFF.
115/1	J-BOX 110" AFF. PROVIDE DISCONNECT SWITCHES FOR FAN AND LIGHTS ARE FACTORY MOUNTED ON FACE OF HOOD
60	115/1 D.O. 24" AFF. THREE LOCATIONS
61	115/1 D.O. 24" AFF.
63	208/3 S.O. THREE LOCATIONS (COORDINATE INSTALLATION WITH REFRIGERATION SYSTEM INSTALLER)
63A	208/3 J-BOXES 42" AFF. ON BUILDING ROOF VERIFY LOCATION WITH G.C.
63B	115/1 S.O. (COORDINATE INSTALLATION WITH REFRIGERATION SYSTEM INSTALLER)
66	208/1 J-BOX 90" AFF.
67	115/1 D.O. 48" AFF. TWO LOCATIONS
70	208/3 S.O. 24" AFF.
71	115/1 D.O. 48" AFF. TWO LOCATIONS
74	115/1 D.O. 24" AFF.
75	115/1 D.O. 24" AFF.
76	115/1 DCO 48" AFF. (THREE LOCATIONS IF THE MILLWORK OPTION IS SELECTED)
78	115/1 D.O. 24" AFF.
80A	115/1 J-BOX 24" AFF.
80B	208/1 J-BOX 24" AFF.
80C	115/1 D.O. 48" AFF. FOUR LOCATIONS
81	115/208/1 S.O. 24" AFF.
82	115/1 D.O. 48" AFF.
84	115/208/1 S.O. 48" AFF.
85	115/1 D.O. 48" AFF.
89	115/1 S.O. 24" AFF. (TWO LOCATIONS IF THE MILLWORK OPTION IS SELECTED)
90	115/1 STUB-UP 8" AFF. BRANCH TO OUTLETS MOUNTED IN COUNTER AS SHOWN
91	115/1 DEDICATED, ISOLATED STUB-UP 8" AFF. BRANCH TO OUTLETS MOUNTED IN COUNTER AS SHOWN

ITEM	ELECTRICAL CONNECTION SCHEDULE
93	115/1 D.O. 24" AFF.
94	115/1 D.O. 48" AFF.
96	115/1 D.O. 16" AFF.
96A	115/1 D.O. 24" AFF. ROUGH-IN AND COVER FOR FUTURE USE
97	115/1 D.O. 16" AFF.
97A	115/1 D.O. 24" AFF. ROUGH-IN AND COVER FOR FUTURE USE
103	115/1 D.O. 24" AFF.
104	115/1 D.O. 24" AFF.
113	115/1 D.O. 24" AFF.
114	115/1 D.O. 24" AFF.
G.P.	115/1 DCO 24" AFF. (20.0) AMP

SEE SHEETS E1, E2 AND E3 FOR OTHER POWER, PHONE AND COMMUNICATION REQUIREMENTS

FOODSERVICE ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI, 53158

PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FOOD SERVICE ELECTRICAL PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

APPROVED:

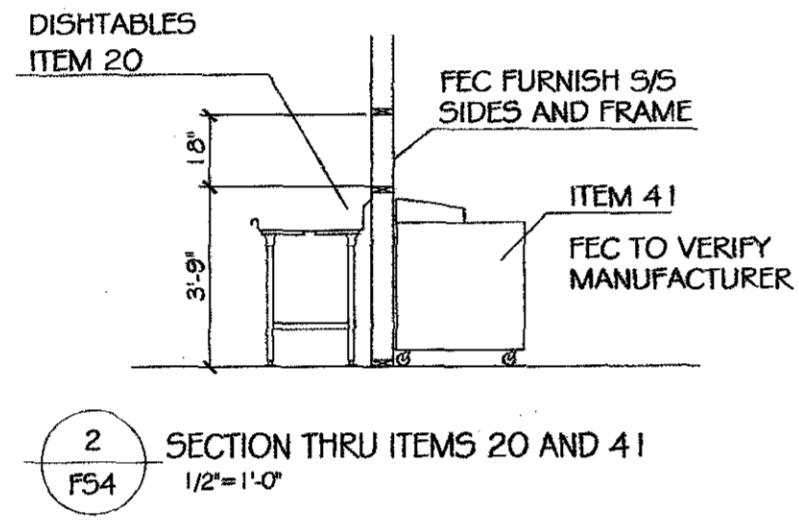
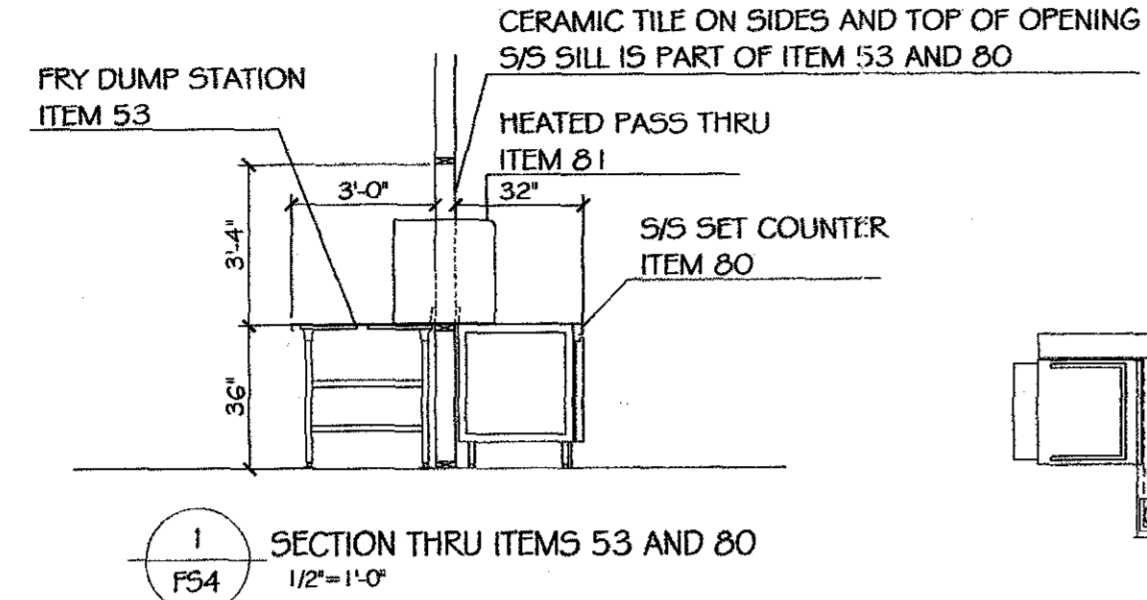
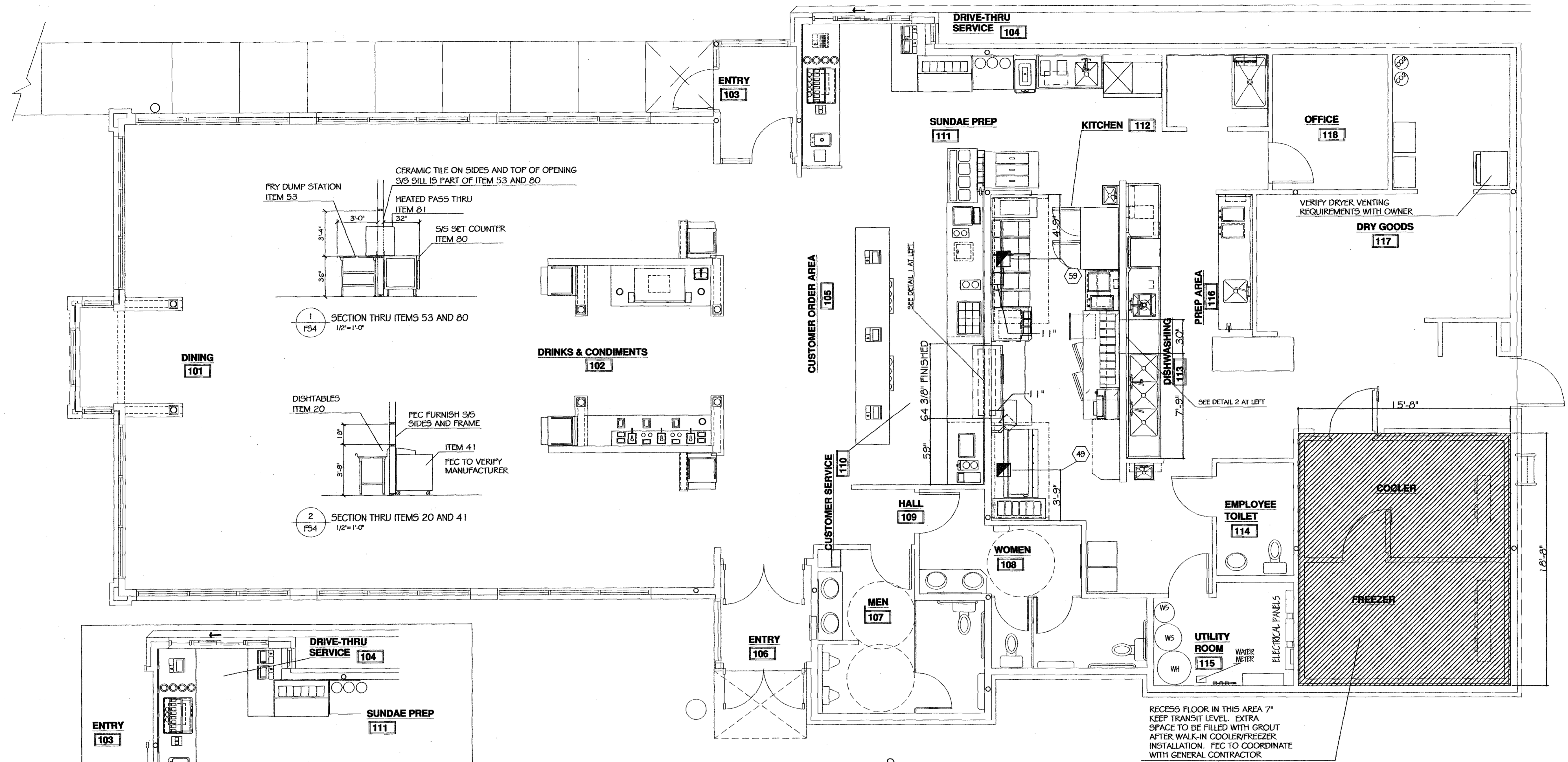
DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

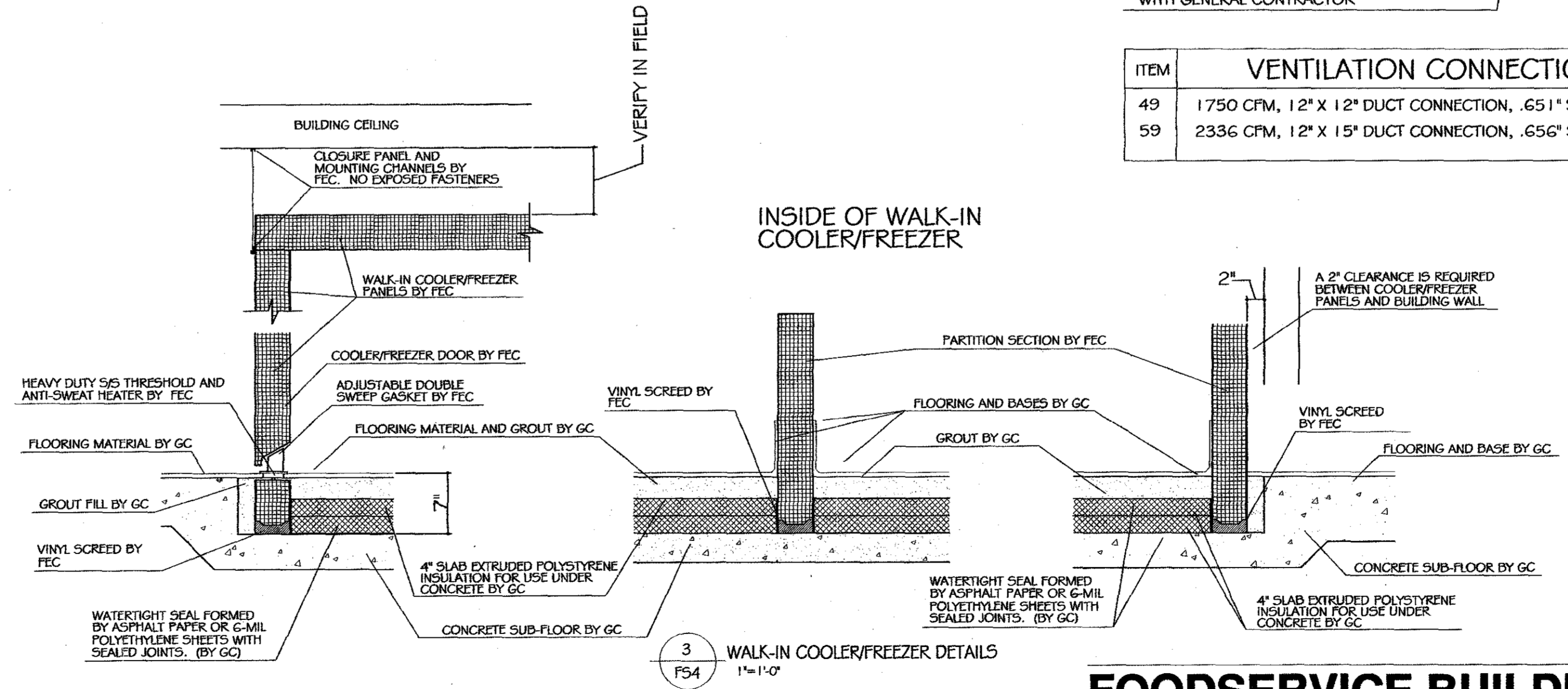
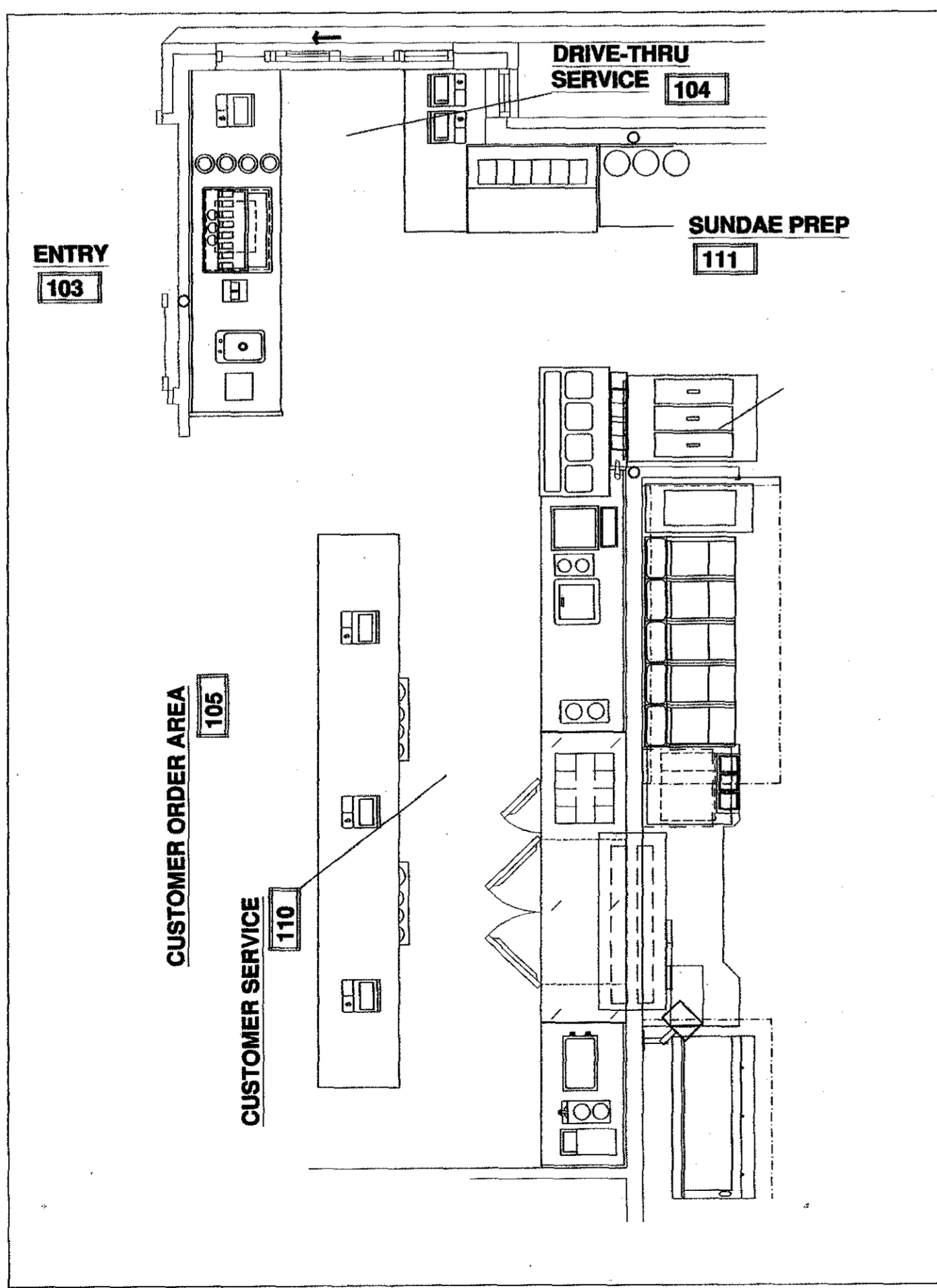
SHEET NUMBER:
FS-3

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TEL: (262) 782-1811 FAX: (262) 782-1811
E-MAIL: stelling@stalling.com



RECESS FLOOR IN THIS AREA 7\"/>

ITEM	VENTILATION CONNECTION SCHEDULE
49	1750 CFM, 12" X 12" DUCT CONNECTION, .65" S.P. AT DUCT COLLAR
59	2336 CFM, 12" X 15" DUCT CONNECTION, .65" S.P. AT DUCT COLLAR



FOODSERVICE BUILDING WORKS PLAN
SCALE: 1/4" = 1'-0"

STELLING & ASSOCIATES, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TEL: (262) 765-1725 FAX: (262) 765-1671
E-MAIL: stelling@aol.com

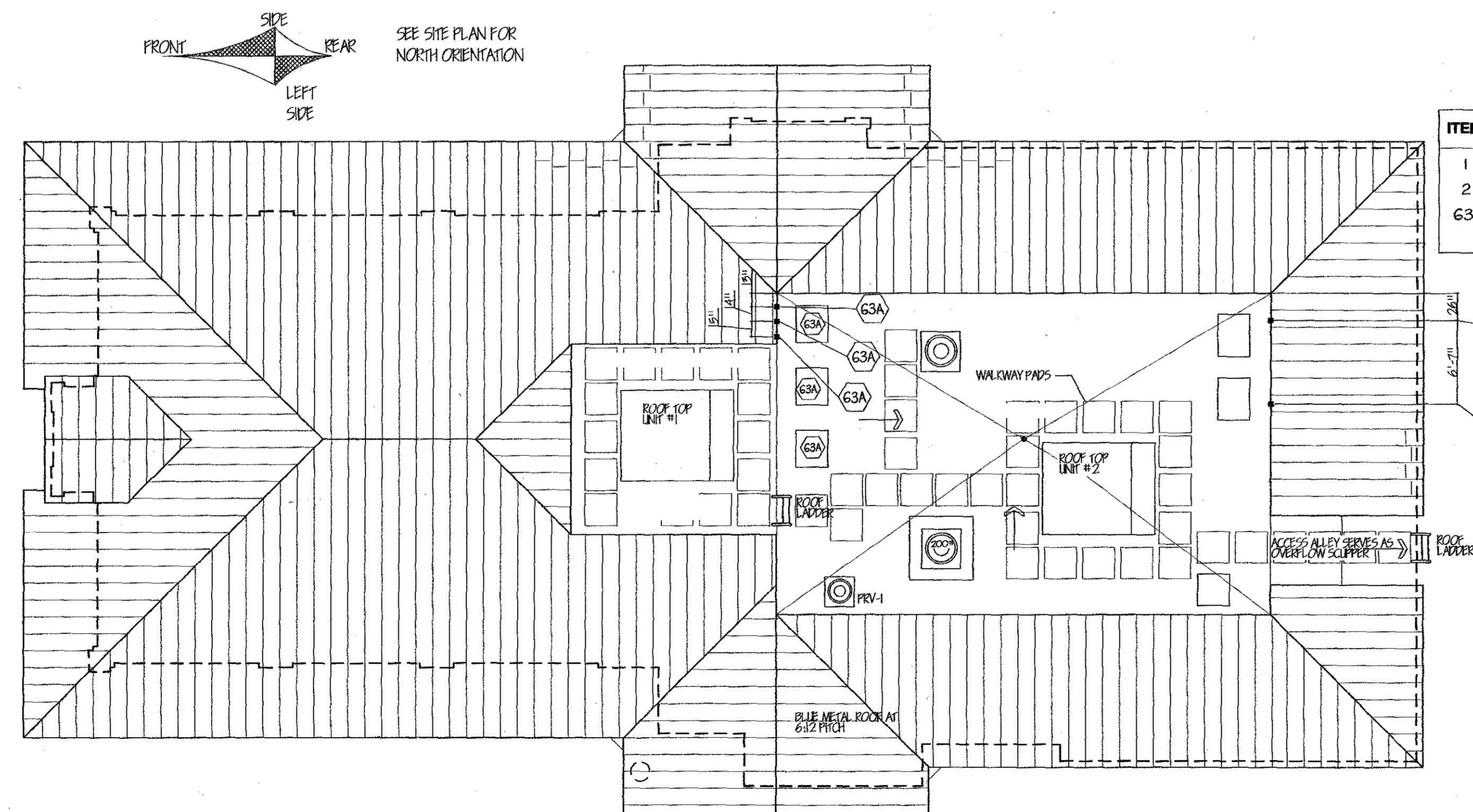
PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FOOD SERVICE PLUMBING WORKS PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
APPROVED:
DRAWN BY: **ACN**
DATE: **12-4-00**
PROJECT NUMBER: **0039**
SHEET NUMBER: **FS-4**

EQUIPMENT SCHEDULE				ELECTRICAL SCHEDULE								PLUMBING SCHEDULE												
ITEM	DESCRIPTION	QUAN	NEW (N) EXIST (X) FUTURE (F)	VOLT	PHASE	KW	AMP	HP	CONN TYPE	NEMA NUMBER	COMMENTS	ITEM	CW	120°F HW	140°F HW	HW GPH MAX.	WASTE DIR.	INDR.	GAS MBTU	SIZE	COMMENTS			
77	CHOCOLATE WARMER	1	NEW	115	1		4.1		CORD															
78	DROP-IN FREEZER	1	OPTIONAL	115	1		1.5	1/12	CORD															
80	REFRIGERATED 5/5 BACKCOUNTER	1	NEW									80	1/2"									CW IS FOR THE DIFFERWELL FAUCET ON END OF COUNTER.		
	A.) COLD PAN/REFRIGERATOR	1	NEW	115	1			1/2	DIR.		COMPRESSOR IS FOR THE COLD PAN AND THE THREE DOOR UNDERCOUNTER. FABRICATOR TO PRE-WIRE CONTROLS TO A SINGLE CONNECTION POINT.	80A										1"		
	B.) SOUP WELL	1	NEW	208	1	1.24	6.0		DIR.		FABRICATOR TO PRE-WIRE SOUP WELL THRU CONTROLS MOUNTED INSIDE CABINET TO A SINGLE CONNECTION POINT.	80B										1"		
	C.) CONVENIENCE OUTLETS	4	NEW	115	1				DIR.		EC TO FURNISH AND INSTALL (4) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
81	HEATED PASS THRU	1	NEW	115/208	1	2.88	15.5		CORD		THIS IS A 4 WIRE PLUS GROUND SYSTEM. FABRICATOR TO PRE-WIRE HEAT LAMP/SLIGHTS THRU CONTROLS MOUNTED AT THE BOTTOM REAR OF THE PASS THRU TO A SINGLE CONNECTION POINT.													
82	SERVICE COUNTER	1	OPTIONAL	115	1				DIR.		THIS ITEM IS USED IF THE MILLWORK OPTION IS CHOSEN. EC TO FURNISH AND INSTALL (2) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
83	COFFEE WARMER	1	NEW	115	1		1.7		CORD		BY COFFEE SUPPLIER. VERIFY ALL REQUIREMENTS.													
84	COFFEE MAKER	1	NEW	115/208	1		18.3		CORD		BY COFFEE SUPPLIER. VERIFY ALL REQUIREMENTS.	84	1/4"											
85	HOT CHOCOLATE MACHINE	1	NEW	115	1		15.2		CORD		BY SUPPLIER. VERIFY ALL REQUIREMENTS.	85	1/4"											
86	MENU BOARD	1	NEW	115	1		16.0		DIR.		BY OWNER. VERIFY ALL REQUIREMENTS.													
89	WORKTOP REFRIGERATOR	1	OPTIONAL	115	1			1/4 1/5	CORDS		THIS ITEM IS USED IF THE MILLWORK OPTION IS CHOSEN.													
90	FRONT SERVICE COUNTER	1	NEW	115	1		2 @ 16.0		DIR.		EC TO WIRE FROM ROUGH-IN TO (2) DCO MOUNTED INSIDE OF CABINET BY FABRICATOR.													
91	CASH REGISTERS	5	NEW	115	1		5 @ 16.0		CORDS		EACH REGISTER REQUIRES A DEDICATED ISOLATED CIRCUIT. BY CASH REGISTER SYSTEM SUPPLIER. VERIFY ALL ELECTRICAL AND COMMUNICATION REQUIREMENTS WITH SUPPLIER.													
93	DRIVE UP COUNTER	1	NEW	115	1		16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
93	DRIVE-UP COUNTER	1	ALTERNATE	115	1			1/4	DIR.		THIS ITEM IS USED IF THE ALTERNATE "L" SHAPED COUNTER IS CHOSEN.	93										1"		
	A.) UTILITY OUTLET	1	ALTERNATE	115	1		16.0		DIR.		THIS ITEM IS USED IF THE ALTERNATE "L" SHAPED COUNTER IS CHOSEN. EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
94	DRIVE UP COUNTER	1	NEW	115	1		16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
96	ICE AND SODA DISPENSER	1	NEW	115	1		1.5		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	96	3/8"										2 @ 3/4"	
97	CARBONATOR	1	NEW	115	1		10.0		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	97	1/2"											
100	DROP-IN SINK	1	NEW									100	1/2"	1/2"									1 1/2"	
103	ICE AND SODA DISPENSER	1	NEW	115	1		5.2		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	103	3/8"											2 @ 3/4"
104	CARBONATOR	1	NEW	115	1		10.0		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	104	1/2"											
106	GLASS FILLER	1	NEW									106	1/2"											1 1/2"
113	BEVERAGE COUNTER	1	NEW	115	1		16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
114	CONDIMENT COUNTER	1	NEW	115	1		16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
115	REFRIGERATION SYSTEMS	1	NEW								SEE ITEMS 1, 2 AND 63 FOR INDIVIDUAL REQUIREMENTS.													



FOODSERVICE ELECTRICAL ROUGH-IN ROOF PLAN
SCALE: 1/8" = 1'-0"

ITEM	ELECTRICAL ROUGH-IN SCHEDULE
1	208/3 FUSED WEATHERPROOF DISCONNECT 48" AFF.
2	208/3 FUSED WEATHERPROOF DISCONNECT 48" AFF.
63A	208/3 FUSED WEATHERPROOF DISCONNECT 48" AFF. (THREE LOCATIONS)

ELECTRICAL SYMBOLS	
■	ELECTRICAL JUNCTION BOX
○	S.O. SINGLE OUTLET
○	D.O. DUPLEX OUTLET
⊙	S.P.O. SPECIAL PURPOSE OUTLET
AF.	ABOVE FINISHED FLOOR
SW	SWITCH
PC	POINT OF CONNECTION
VP	VAPOR PROOF WALK-IN DOOR LIGHT PROVIDED EC TO CONNECT.
X	ADDITIONAL VAPOR PROOF LIGHT PROVIDED BY FEC. EC TO MOUNT AND CONNECT.

NOTES:

FEC:

A.) FEC TO FIELD VERIFY ALL ROUGH-IN LOCATIONS AT EARLY DATE TO ENSURE CORRECT PLACEMENTS AND QUANTITY. NOTE ANY CHANGES AND SUBMIT TO ARCHITECT AND CONSULTANT FOR APPROVAL.

B.) FEC TO COORDINATE WITH EC ON EXISTING EQUIPMENT ELECTRICAL REQUIREMENTS.

ELECTRICAL CONTRACTOR:

A.) HEIGHTS LISTED ON ROUGH-IN SCHEDULE ARE TO THE CENTER LINE OF THE ROUGH-IN. ALL DIMENSIONS ARE FROM FINISHED WALLS AND FLOORS.

B.) UNLESS OTHERWISE NOTED ALL WALL MOUNTED SINGLE AND DUPLEX RECEPTACLES ARE TO BE MOUNTED HORIZONTALLY.

C.) WHERE POSSIBLE THE ROUGH-INS ARE TO BE CONCEALED IN THE WALL OR FLOOR AND STUBBED OUT AT THE HEIGHTS INDICATED.

D.) PROVIDE ALL RECEPTACLES, CONDUIT, CONTACTORS, CONTROLLERS, SWITCHES, DISCONNECTS, STARTERS ETC. UNLESS SO INDICATED IN THE ELECTRICAL SCHEDULE AS FURNISHED BY THE FEC FOR INSTALLATION BY THE EC.

E.) INSTALL DEVICES FURNISHED BY FEC AND INDICATED ON THE ELECTRICAL/MECHANICAL SCHEDULE.

F.) COORDINATE WITH BEVERAGE MACHINE PURVEYOR FOR ELECTRICAL REQUIREMENTS ON ALL PURVEYOR FURNISHED EQUIPMENT.

G.) EC TO PROVIDE G.F.I. STYLE OUTLETS WHERE CODE DICTATES THEY SHOULD BE IN WET AREAS.

H.) REFRIGERATION LINES ARE TO BE RUN IN WALLS PRIOR TO ELECTRICAL RUNS.

I.) ALL 120V TIMERS TO BE USED FOR LIGHTS AND SIGNS WILL BE AS MANUFACTURED BY INTERMATIC.

STELLING & ASSOCIATES ARCHITECTS, LTD.

161 W. CHESTNUT STREET BURLINGTON, WI 53105
TELEPHONE: (262) 783-8726 FAX: (262) 783-1971
E-MAIL: stelling@ao.com

NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158

PROJECT FOR:
OMA, L.L.C.

FOOD SERVICE ELECTRICAL ROUGH-IN ROOF PLAN

OWNERSHIP OF DOCUMENTS: THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

1-29-01

APPROVED:

DRAWN BY:

ACN

DATE:

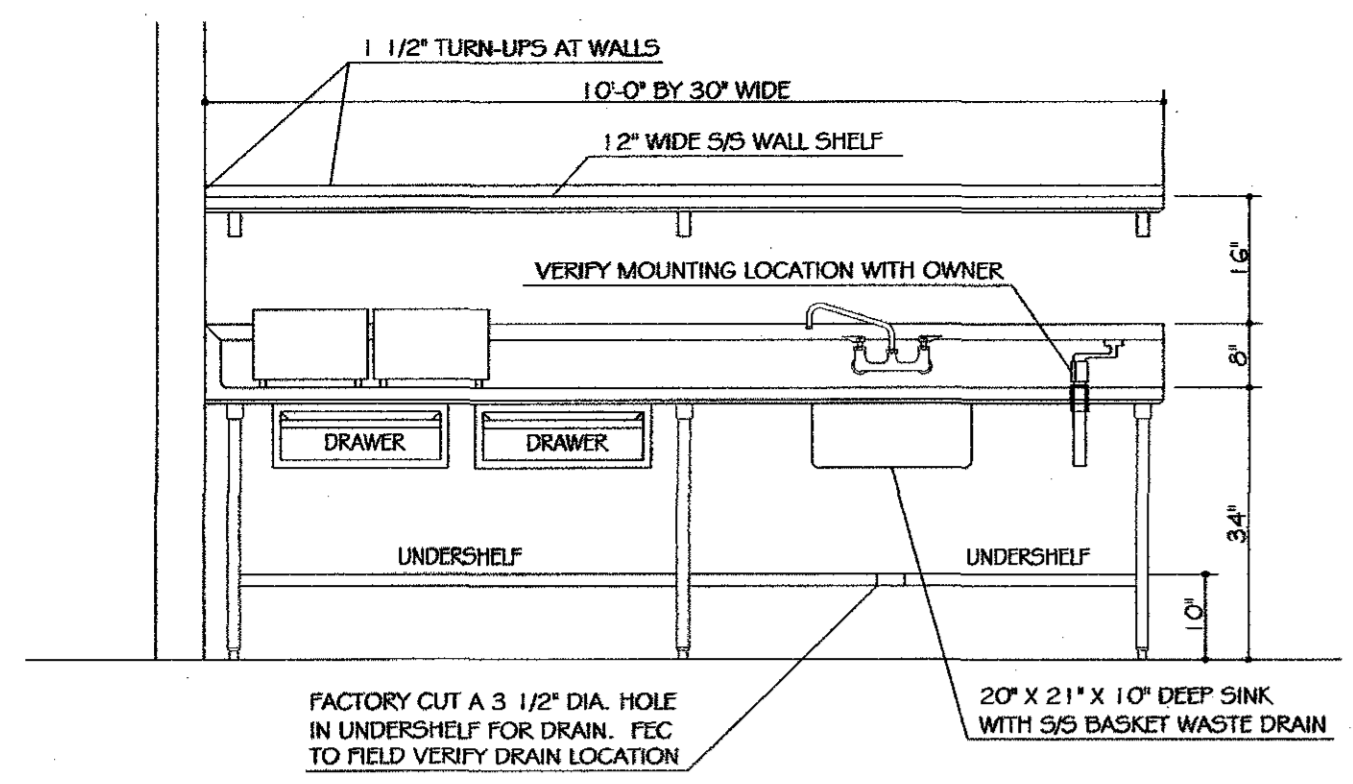
12-4-00

PROJECT NUMBER:

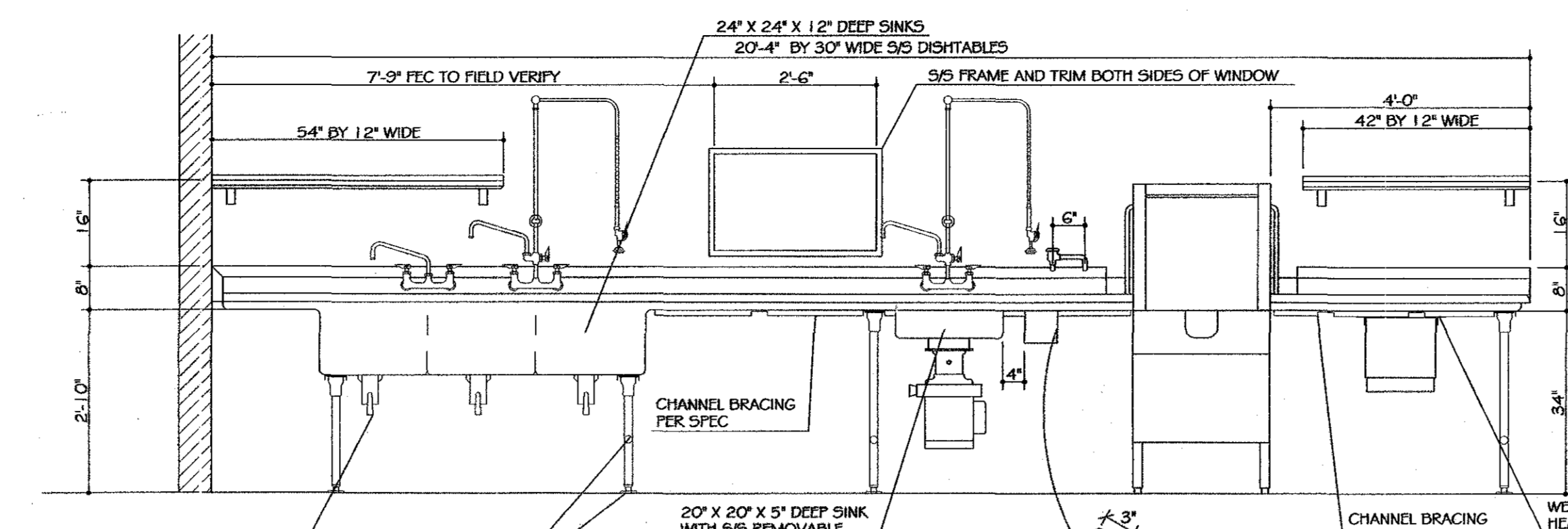
0039

SHEET NUMBER:

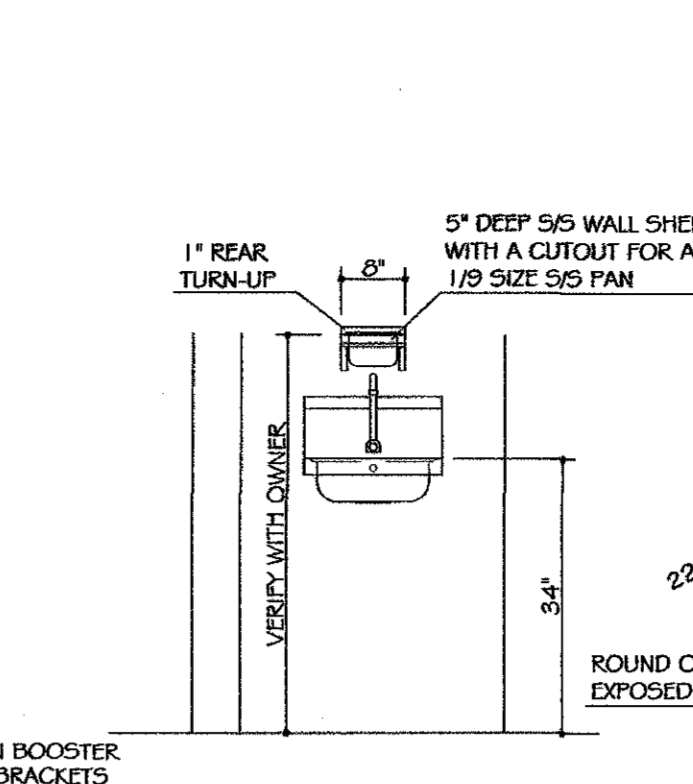
FS-6



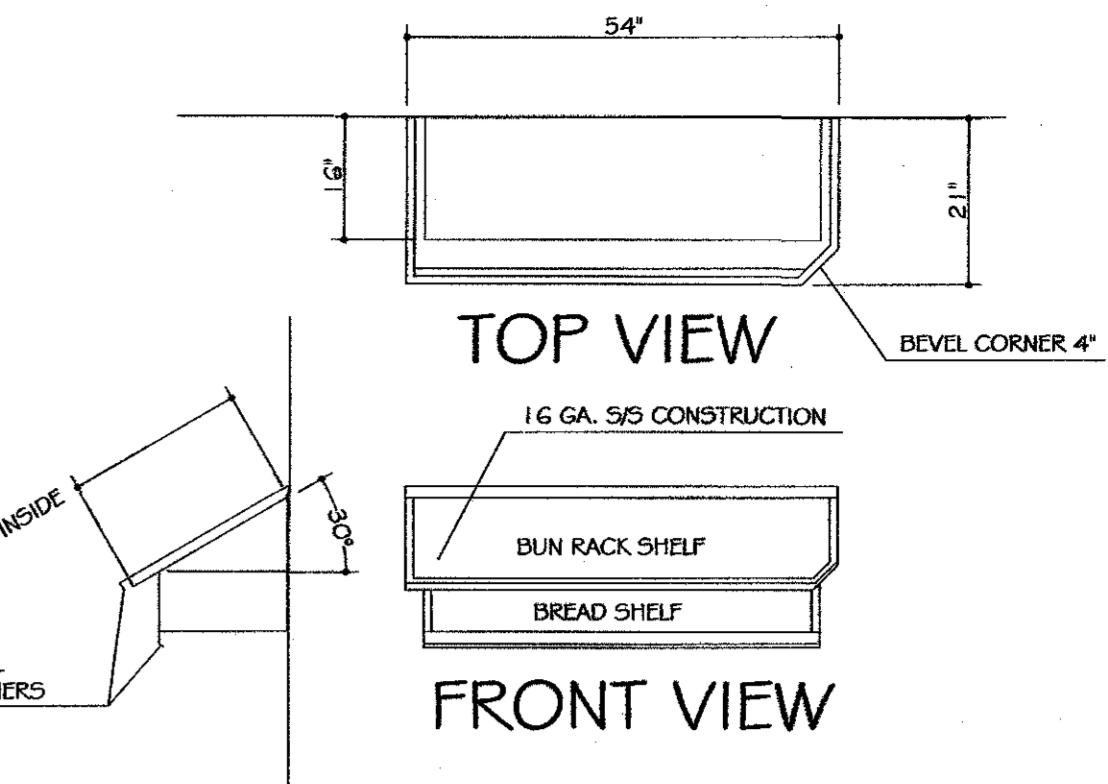
1 ELEVATION FOR ITEMS 7 AND 8
1/2"=1'-0"



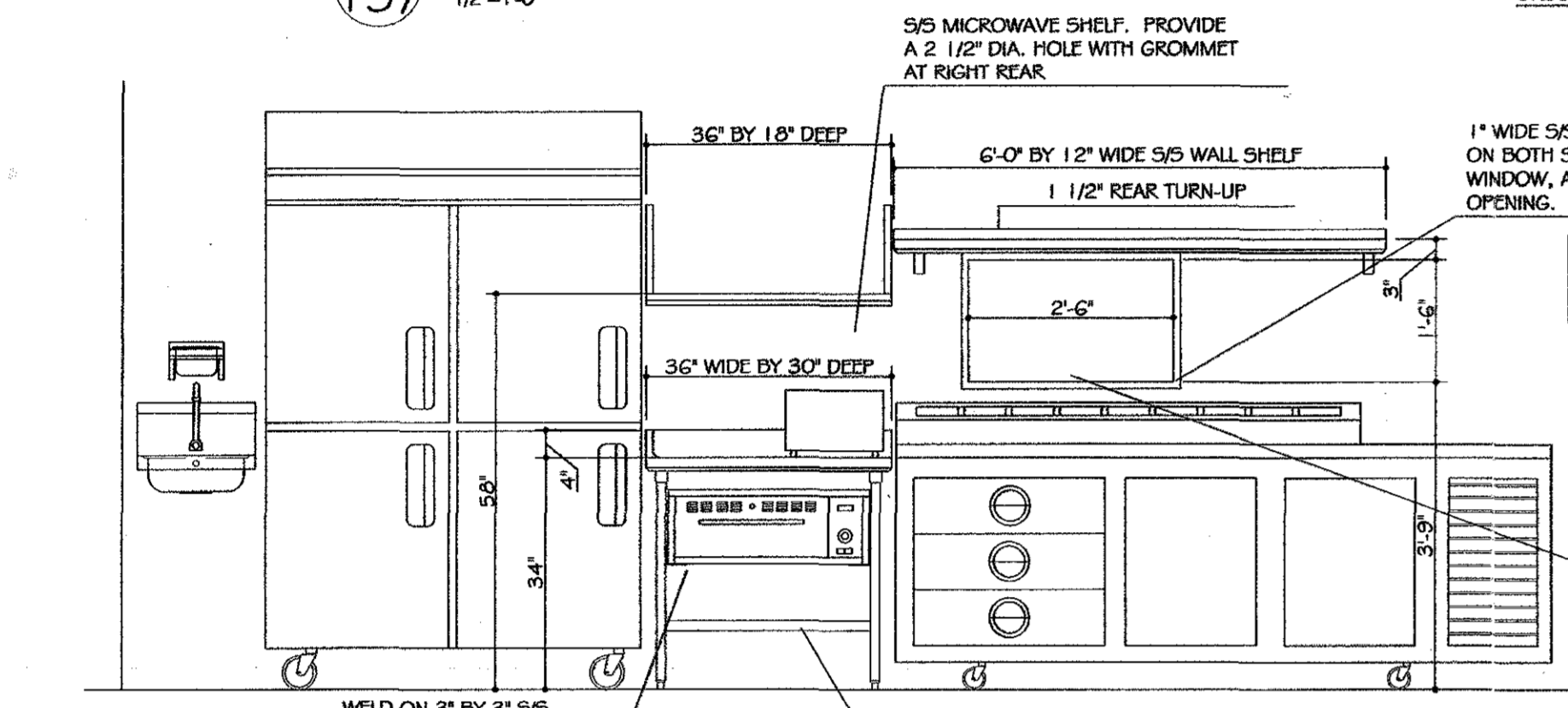
2 ELEVATION FOR ITEMS 20 THRU 27
1/2"=1'-0"



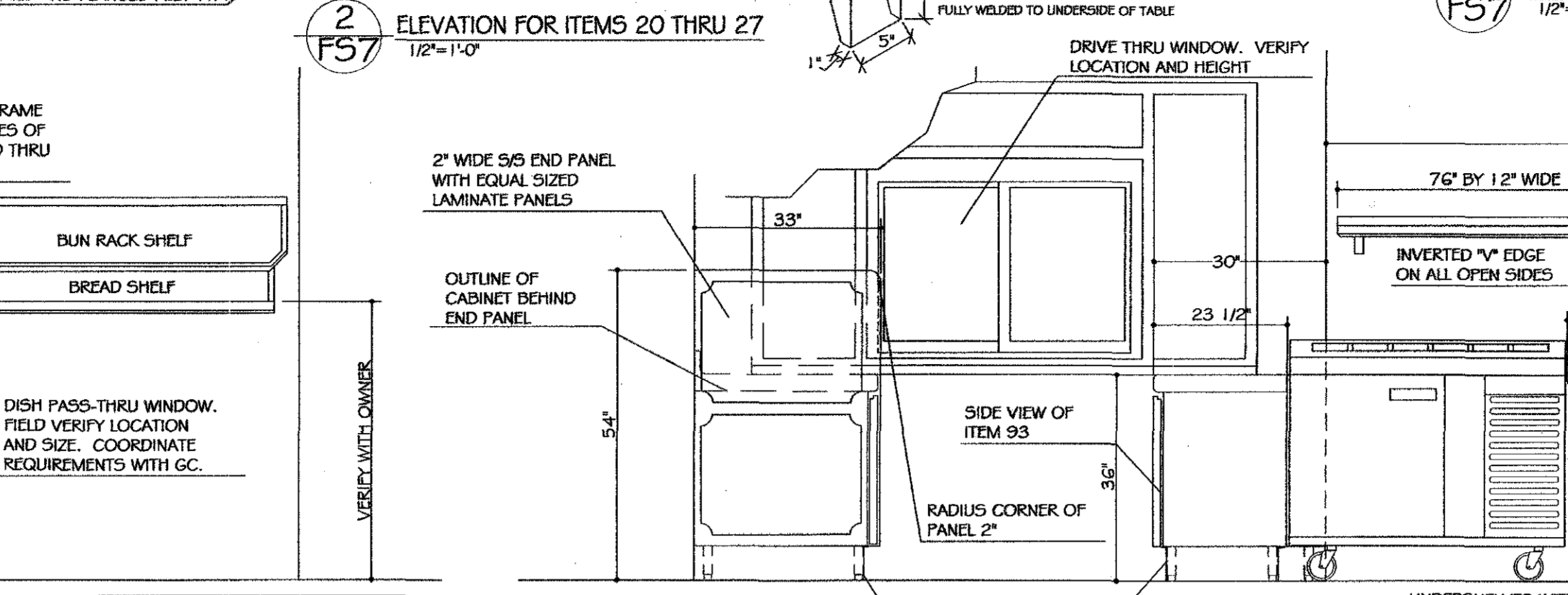
3 ELEVATION FOR ITEMS 19 AND 30
1/2"=1'-0"



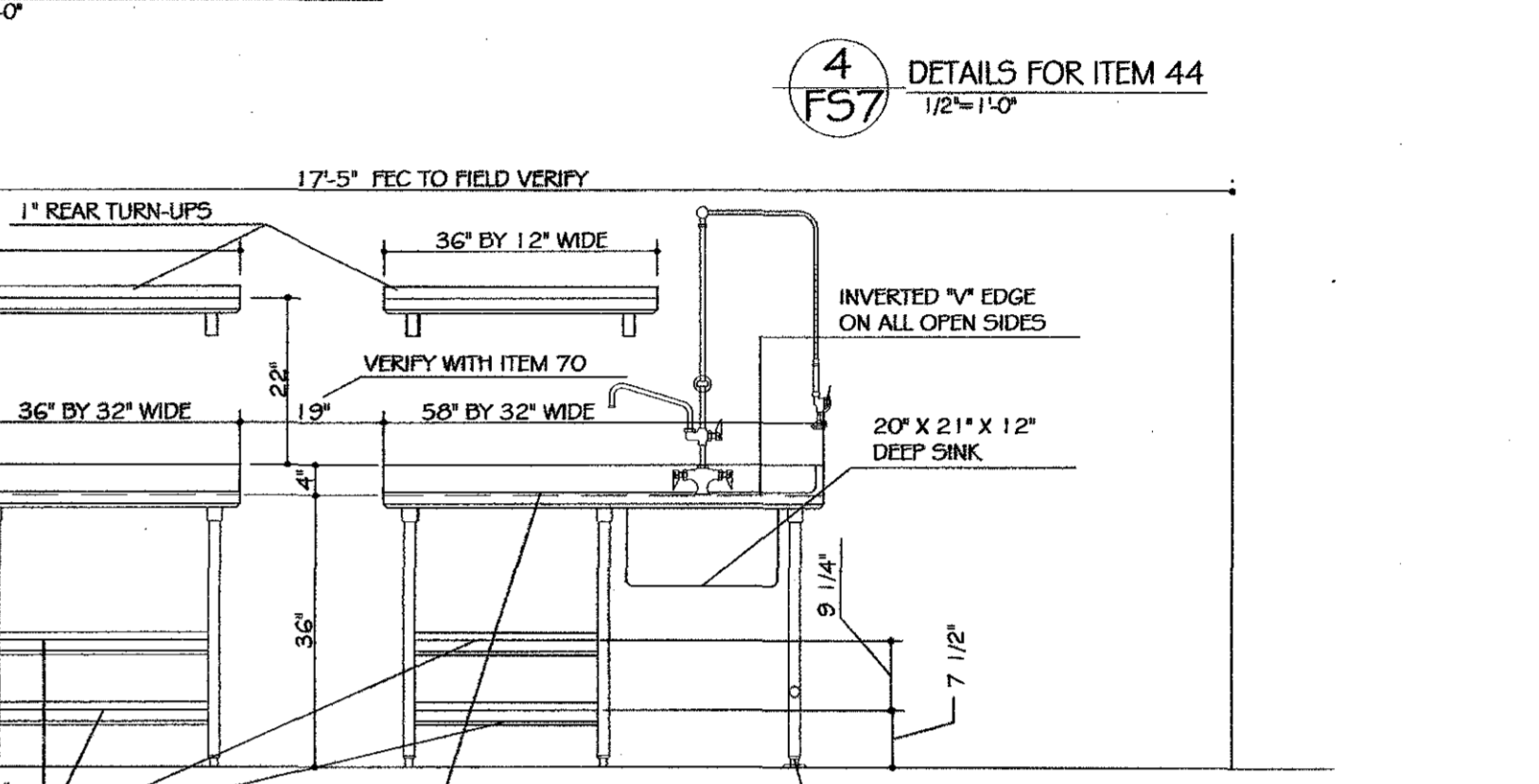
4 DETAILS FOR ITEM 44
1/2"=1'-0"



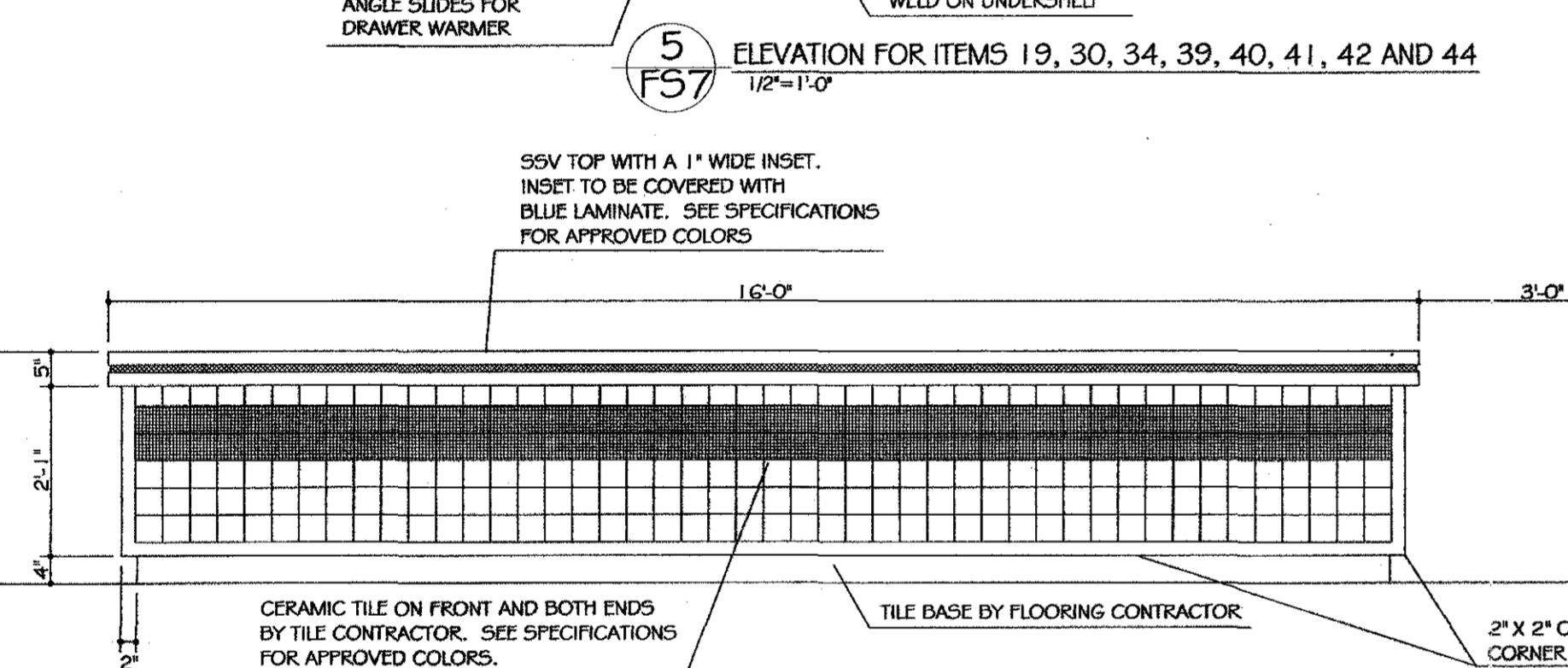
5 ELEVATION FOR ITEMS 19, 30, 34, 39, 40, 41, 42 AND 44
1/2"=1'-0"



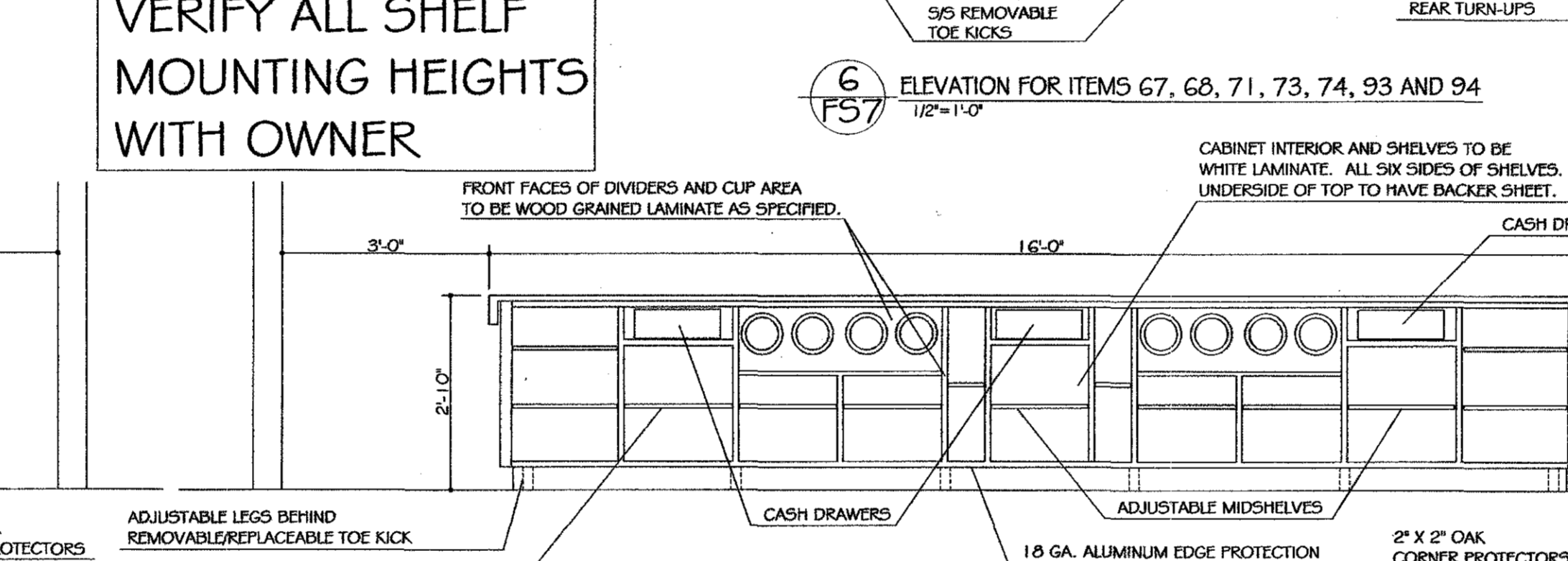
6 ELEVATION FOR ITEMS 67, 68, 71, 73, 74, 93 AND 94
1/2"=1'-0"



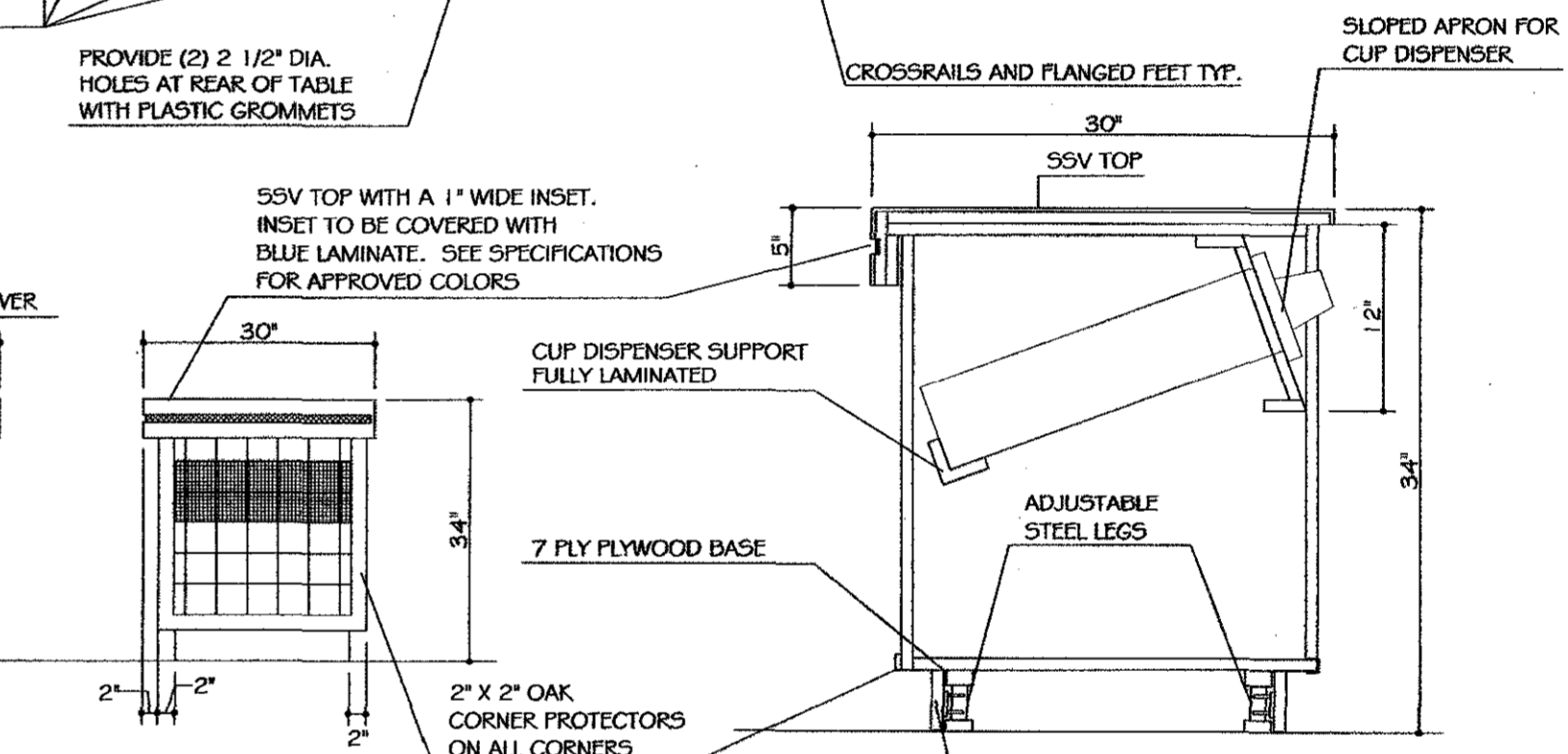
9 END VIEW ITEM 90
1/2"=1'-0"



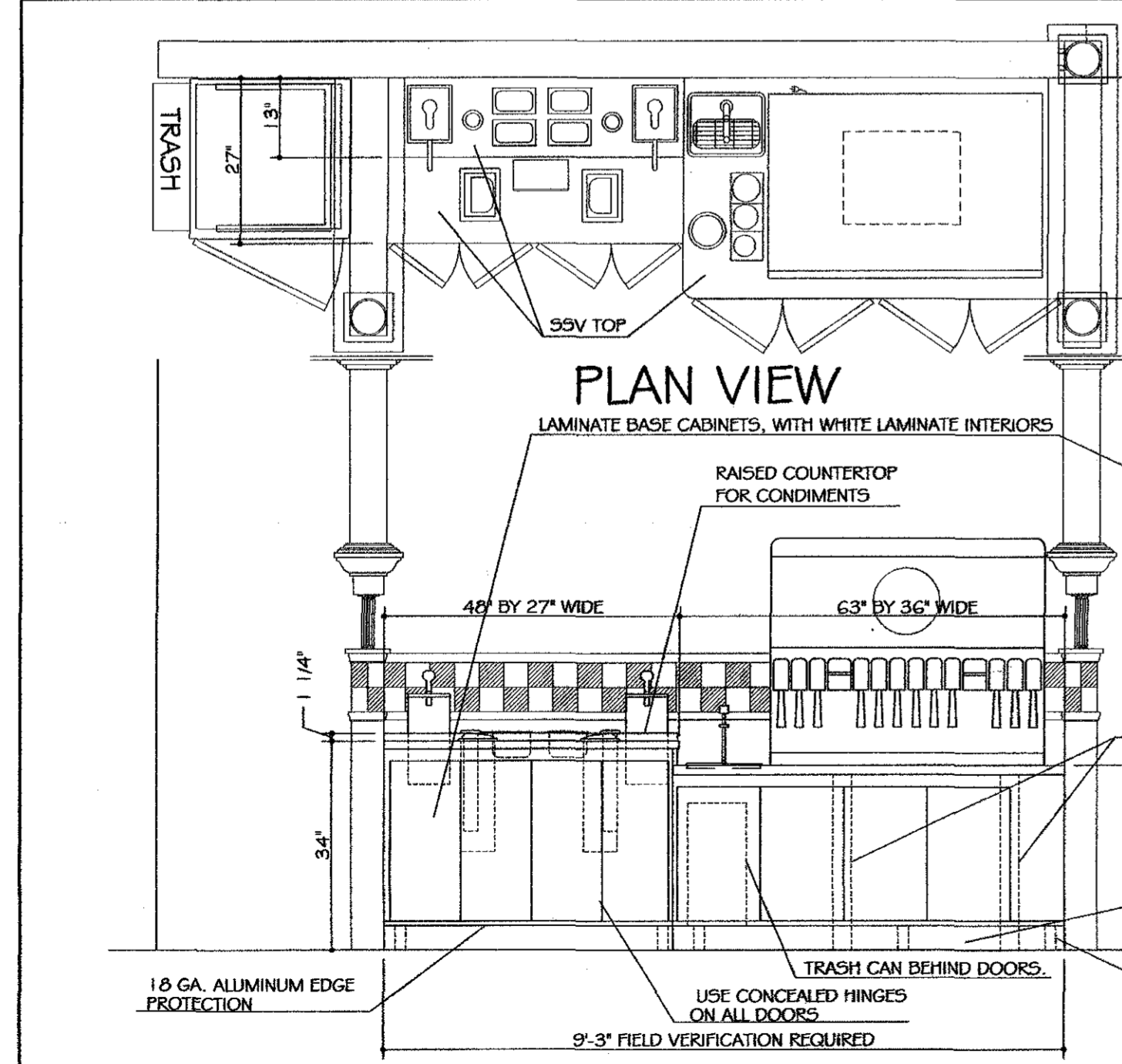
7 FRONT ELEVATION FOR ITEM 90
1/2"=1'-0"



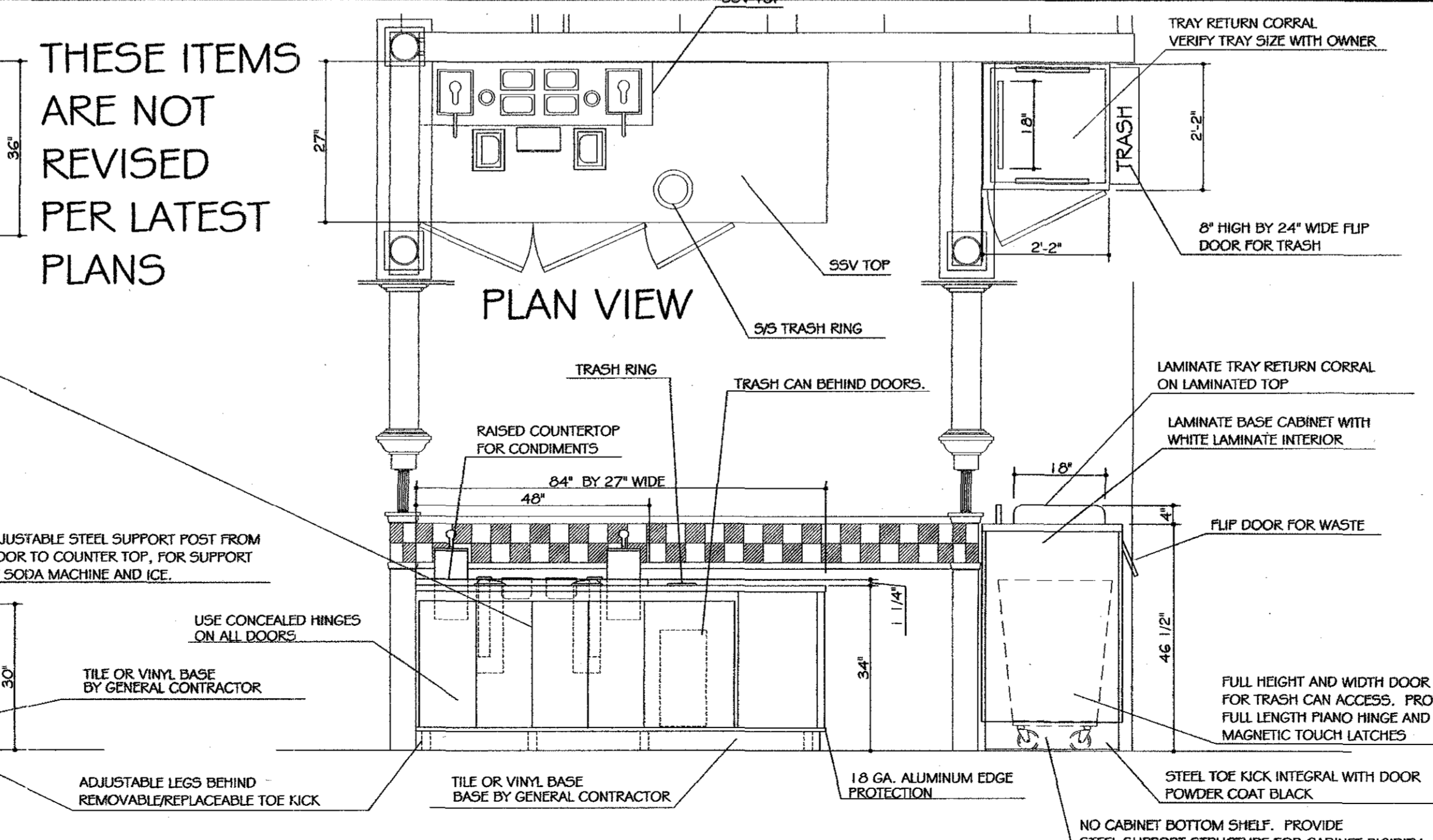
8 REAR ELEVATION FOR ITEM 90
1/2"=1'-0"



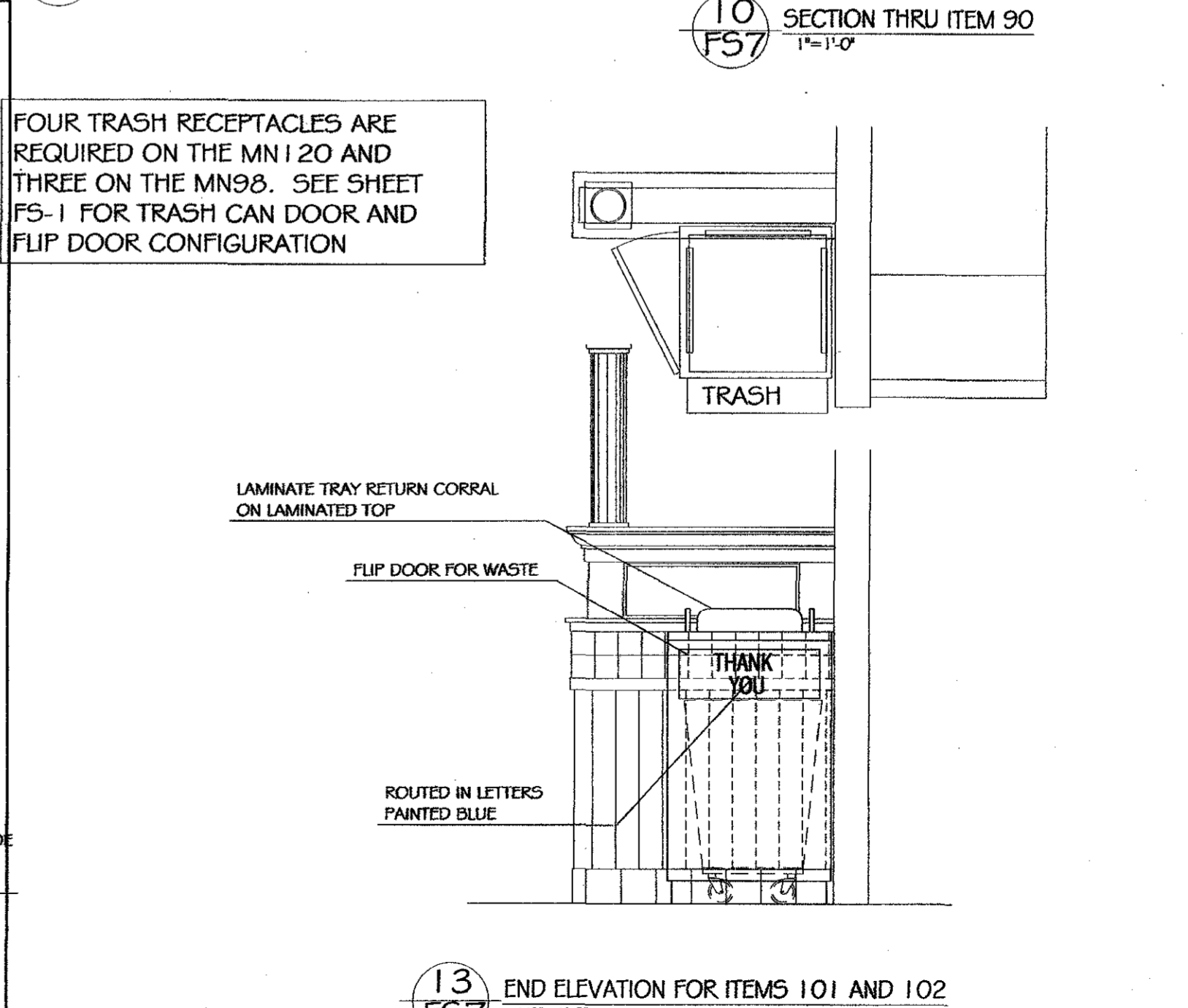
10 SECTION THRU ITEM 90
1"=1'-0"



11 FRONT ELEVATION AND PLAN VIEW FOR ITEM 113
1/2"=1'-0"



12 FRONT ELEVATION AND PLAN VIEW FOR ITEMS 101 AND 114
1/2"=1'-0"



13 END ELEVATION FOR ITEMS 101 AND 102
1/2"=1'-0"

VERIFY ALL SHELF MOUNTING HEIGHTS WITH OWNER

THESE ITEMS ARE NOT REVISED PER LATEST PLANS

FOUR TRASH RECEPTACLES ARE REQUIRED ON THE MN120 AND THREE ON THE MN98. SEE SHEET FS-1 FOR TRASH CAN DOOR AND FLIP DOOR CONFIGURATION

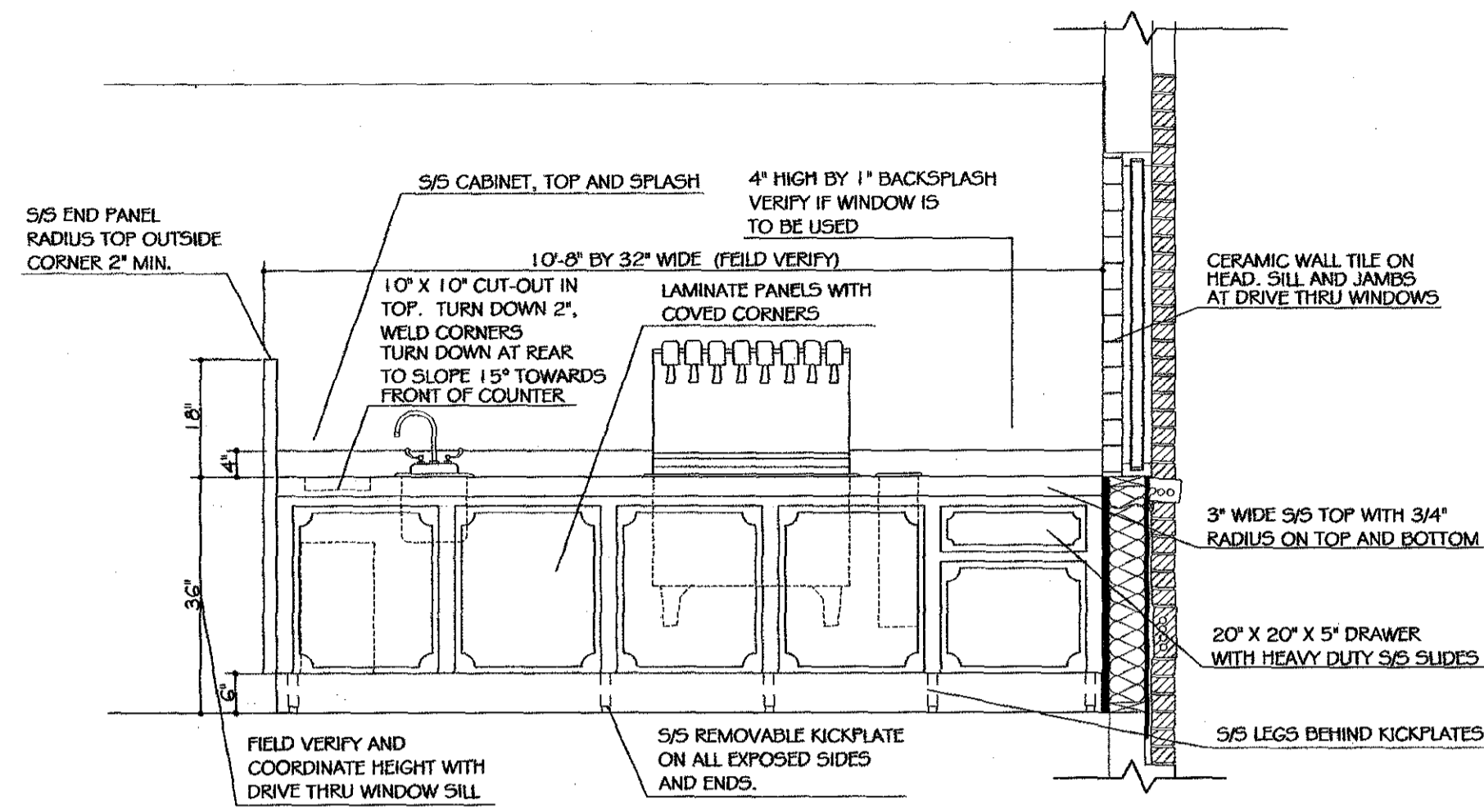
STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, SUITE 2025, BURLINGTON, WI 53105
TEL: (262) 783-1971 FAX: (262) 783-1971
EMAIL: stelling@stelling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

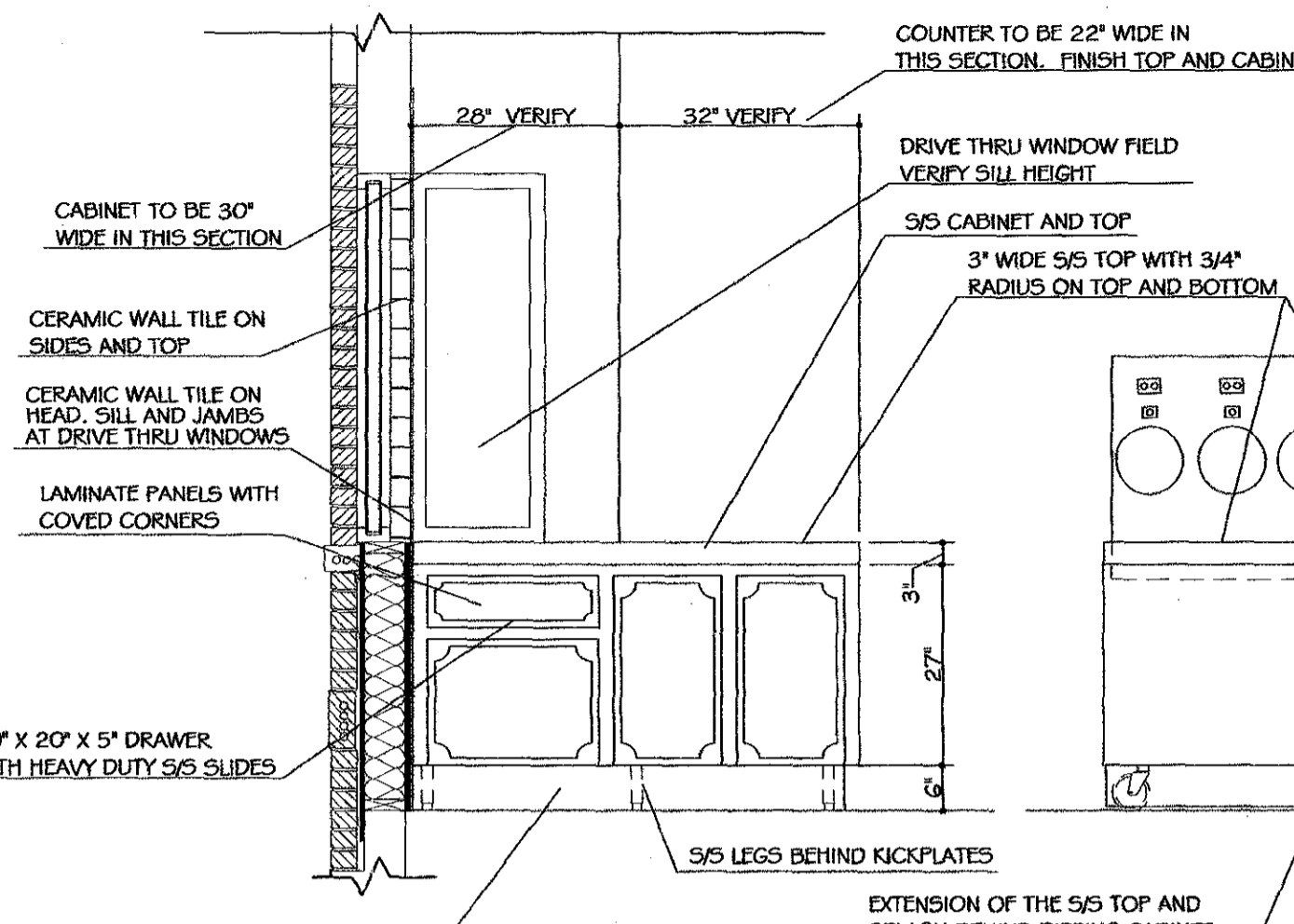
DRAWING DESCRIPTION:
FOOD SERVICE ELEVATIONS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

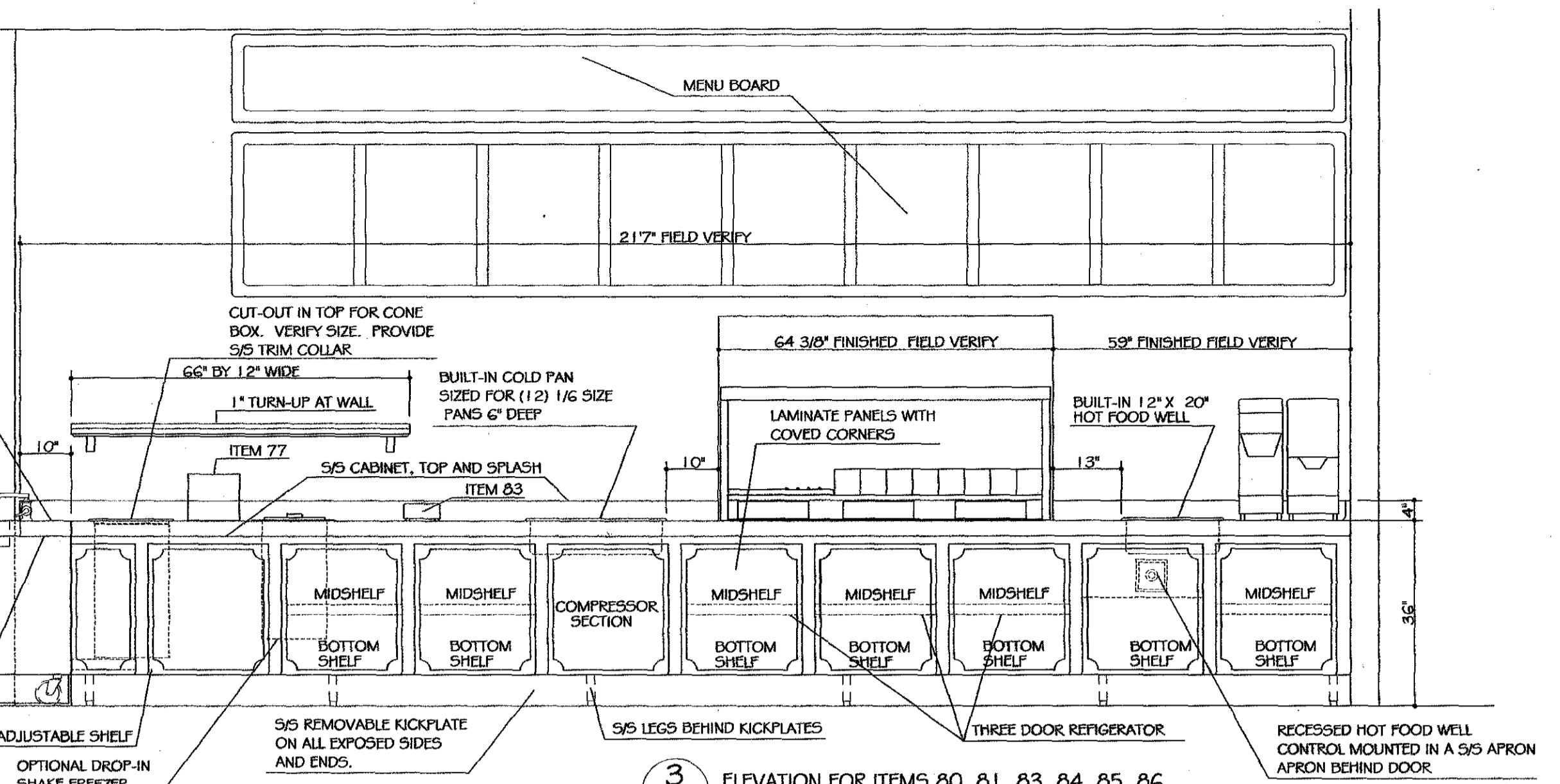
REVISIONS:
APPROVED:
DRAWN BY: ACN
DATE: 12-4-00
PROJECT NUMBER: 0039
SHEET NUMBER: FS-7



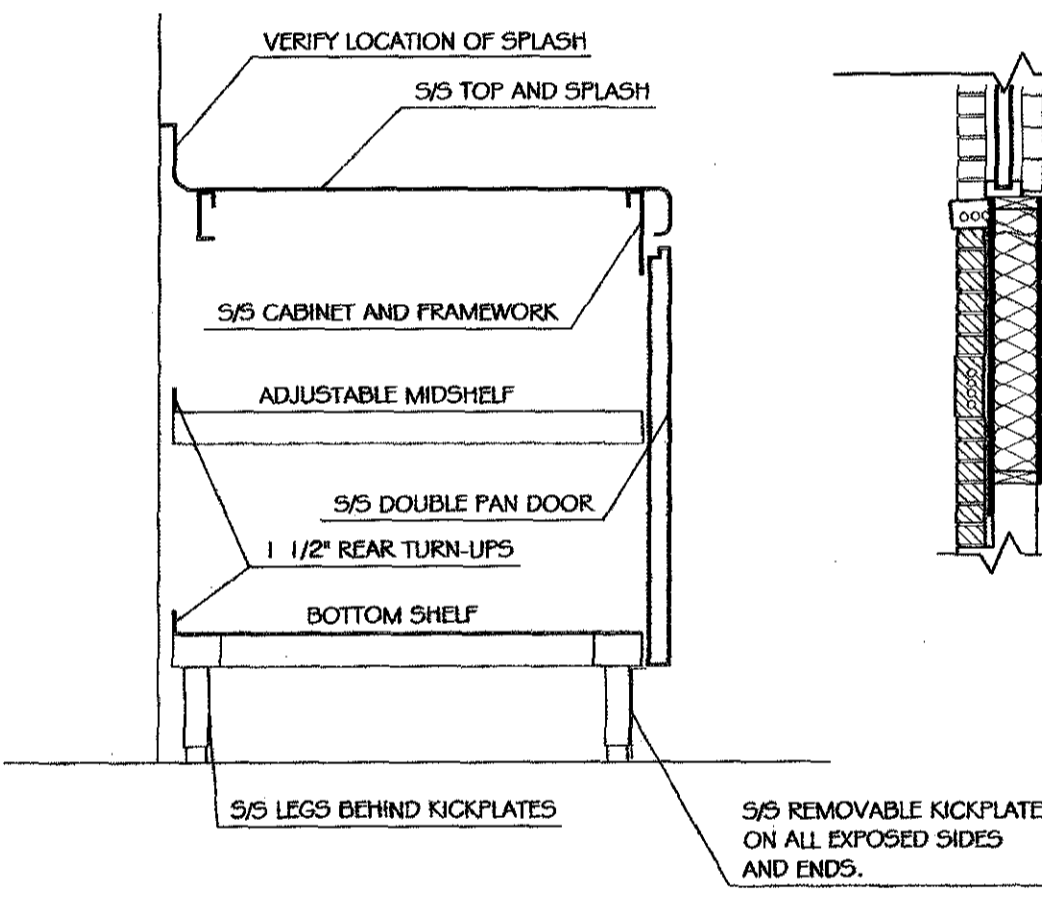
1 ELEVATION FOR ITEMS 94, 95, 96, 100
1/2" = 1'-0"



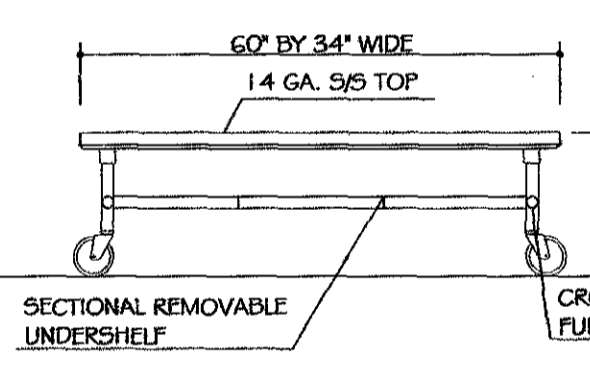
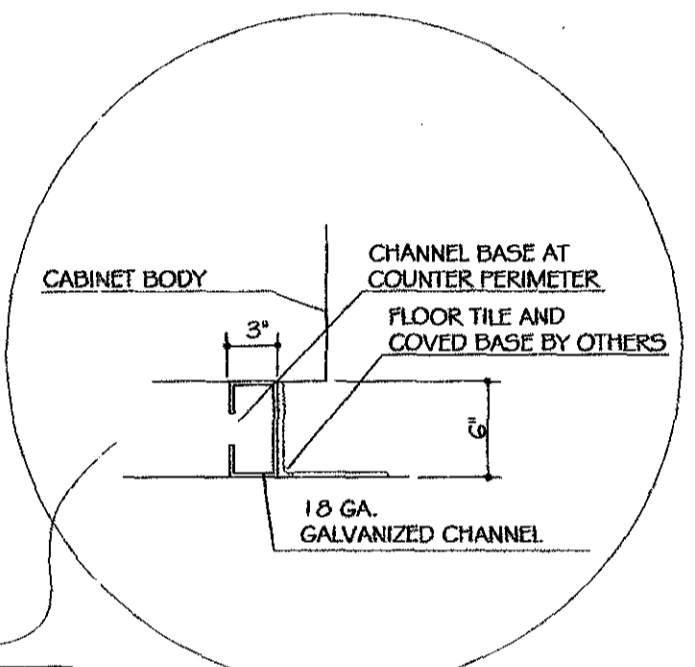
2 ELEVATION FOR ITEMS 93
1/2" = 1'-0"



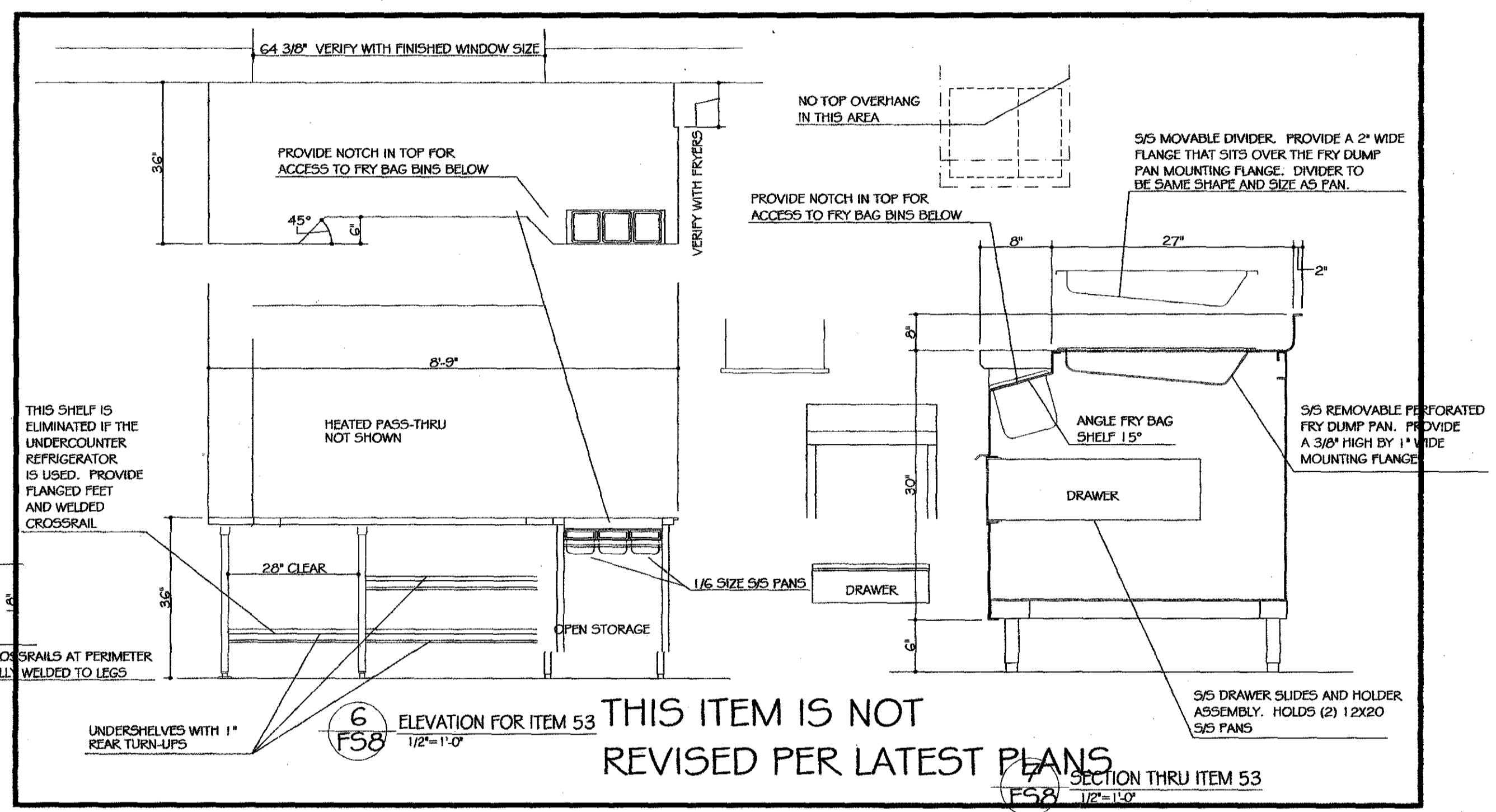
3 ELEVATION FOR ITEMS 80, 81, 83, 84, 85, 86
1/2" = 1'-0"



4 SECTION THRU ITEMS 80, 93 AND 94
1/2" = 1'-0"

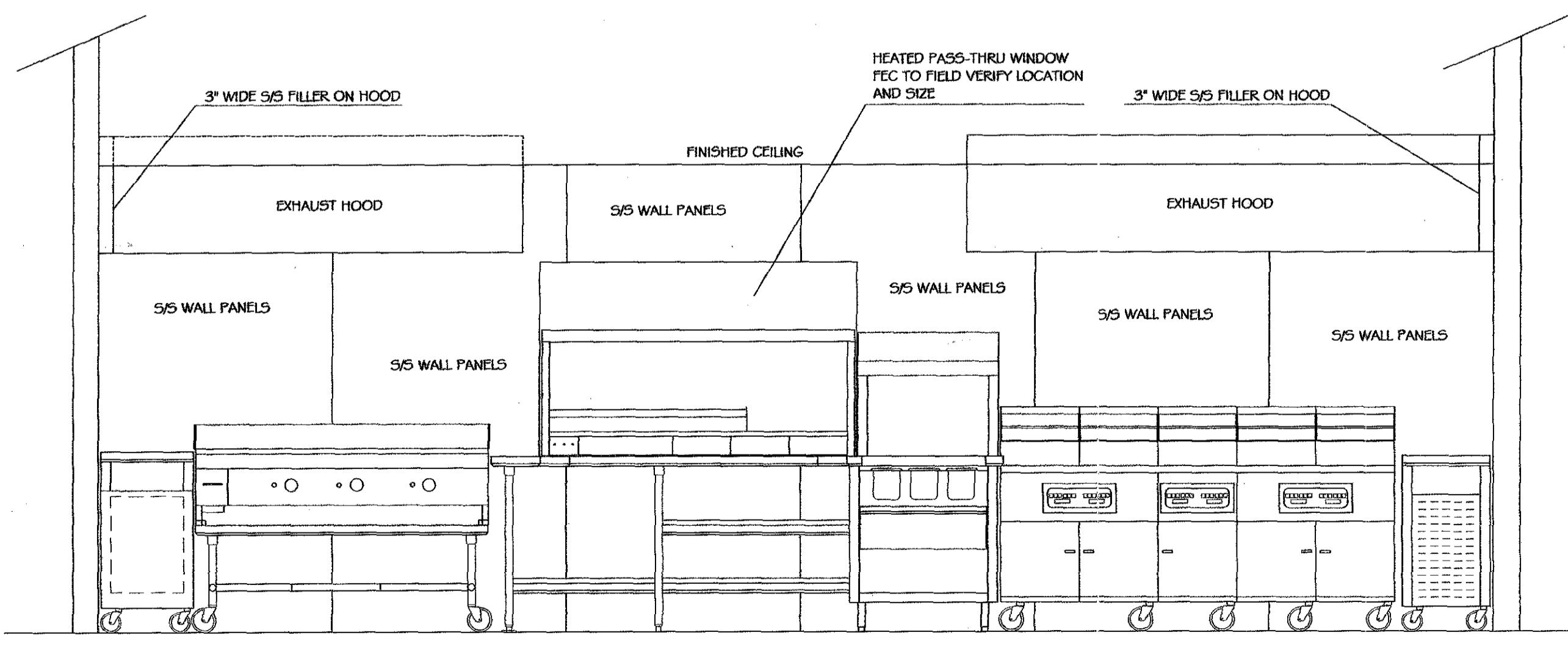


5 ELEVATION FOR ITEM 50
1/2" = 1'-0"

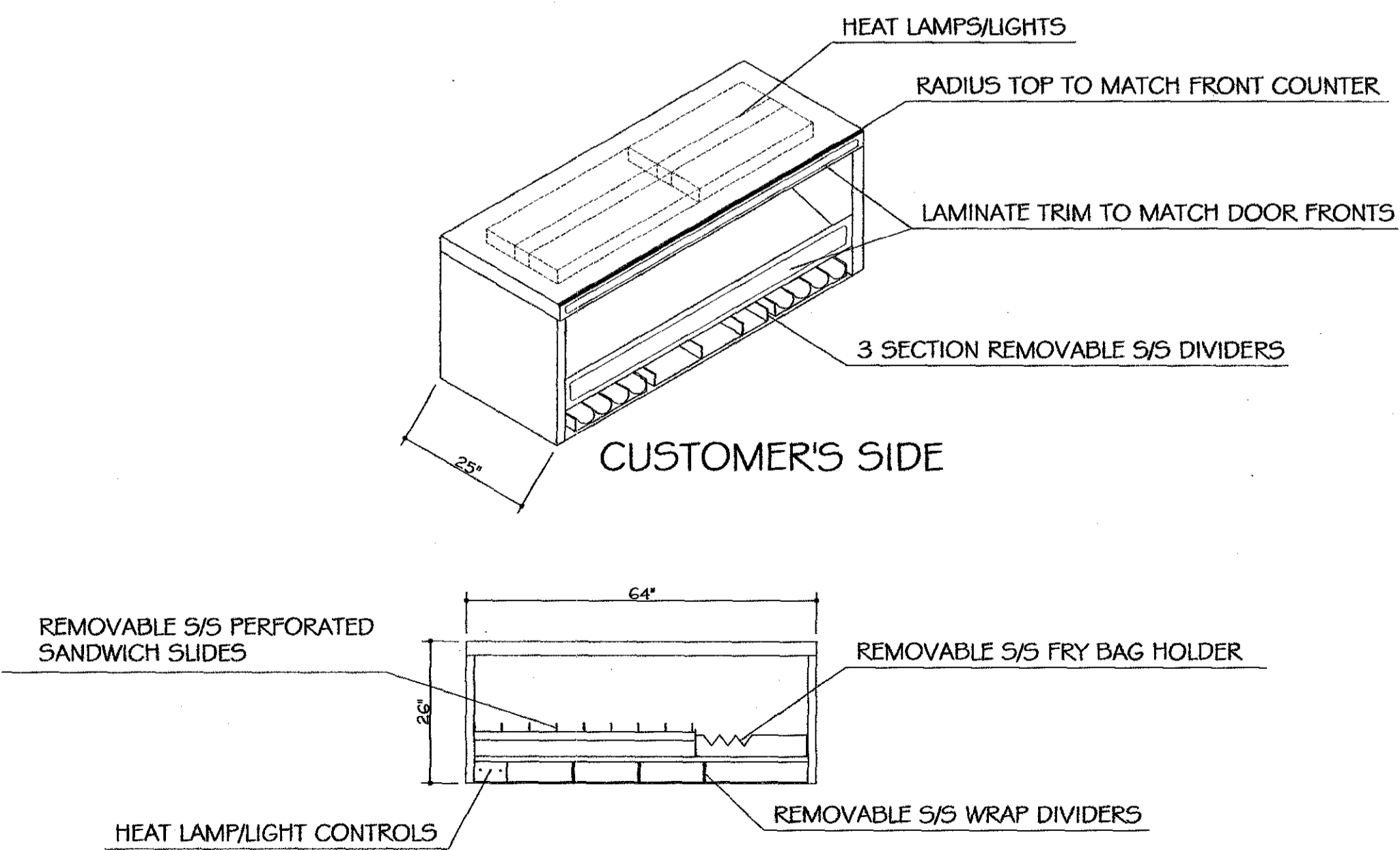


6 ELEVATION FOR ITEM 53
1/2" = 1'-0"

THIS ITEM IS NOT REVISED PER LATEST PLANS



8 ELEVATION OF COOK LINE
1/2" = 1'-0"



9 DETAILS FOR ITEM 81
1/2" = 1'-0"

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON, WI 53118
TEL: (262) 785-5725 FAX: (262) 785-1971
EMAIL: STELLING@STELLINGARCH.COM

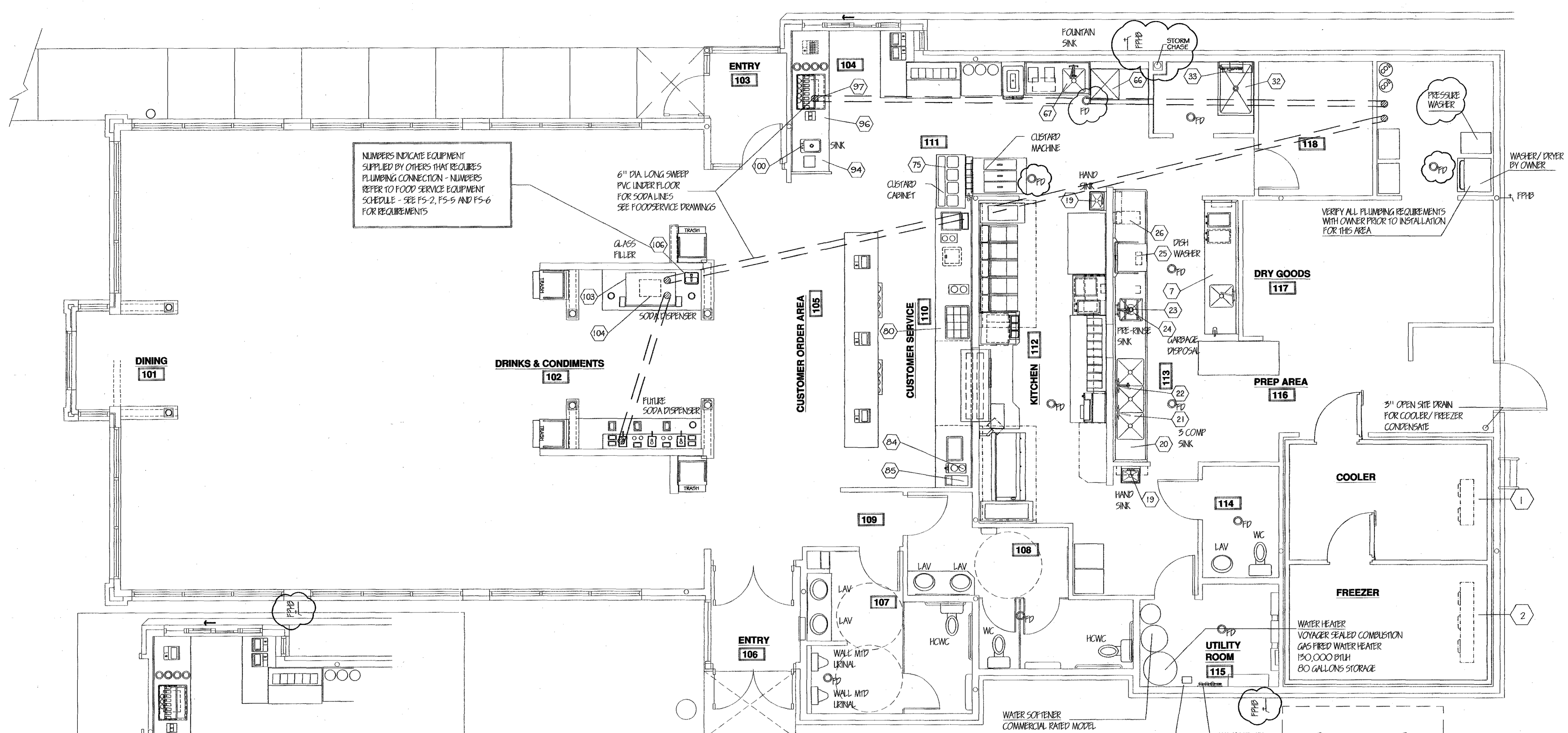
PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FOOD SERVICE
INTERIOR ELEVATIONS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
APPROVED:
DRAWN BY: ACN
DATE: 12-4-00
PROJECT NUMBER: 0039
SHEET NUMBER:

FS-8

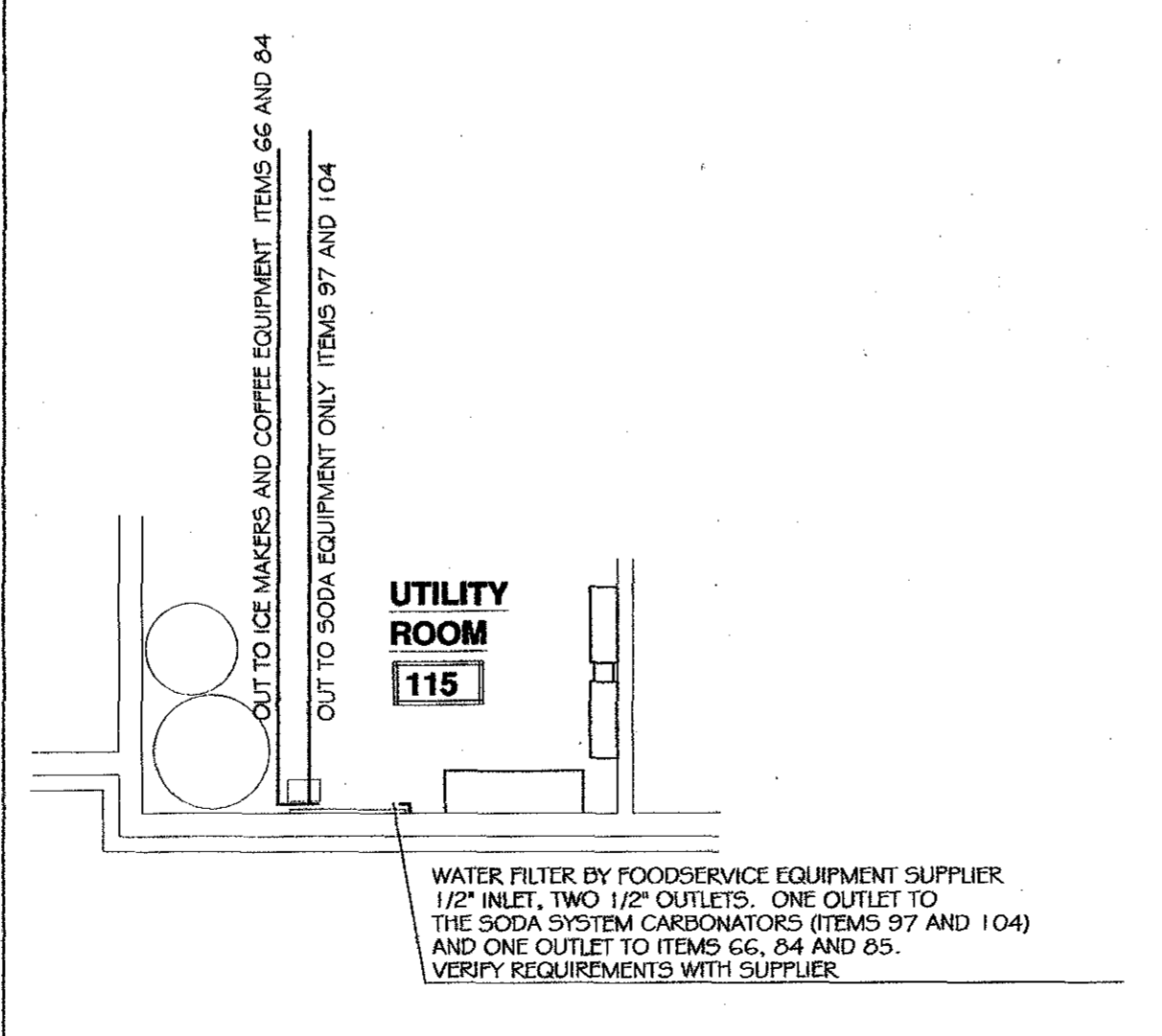


NUMBERS INDICATE EQUIPMENT SUPPLIED BY OTHERS THAT REQUIRES PLUMBING CONNECTION - NUMBERS REFER TO FOOD SERVICE EQUIPMENT SCHEDULE - SEE FS-2, FS-5 AND FS-6 FOR REQUIREMENTS

6" DIA LONG SWEEP PVC UNDER FLOOR FOR SODALINES SEE FOODSERVICE DRAWINGS

VERIFY ALL PLUMBING REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION FOR THIS AREA

WATER FILTER SCHEMATIC



WATER SOFTENER COMMERCIAL RATED MODEL WITH MIN. 1" DIA INLET & OUTLET. SOFTEN ALL HOT WATER

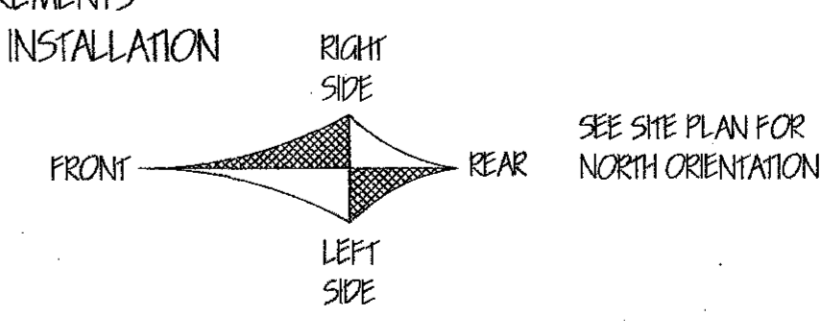
WATER METER PER LOCAL SPECS TYPICAL SERVICE IS 1-1/2" K-COPPER ADJUST AS REQ'D FOR LOCAL CODES AND AVAILABLE WATER PRESSURE

WATER FILTER SEE SCHEMATIC AT LEFT

1500 GALLON UNDERGROUND GREASE INTERCEPTOR

*NOTE:
VERIFY HEIGHT, BACKING AND MOUNTING REQUIREMENTS OF PRESSURE WASHERS WITH OWNER PRIOR TO INSTALLATION

PLUMBING PLAN
SCALE: 1/4" = 1'-0"



STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON, WI 53105
TELEPHONE: (262) 768-8725 FAX: (262) 768-1871
E-MAIL: stellarch@aol.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
PLUMBING PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

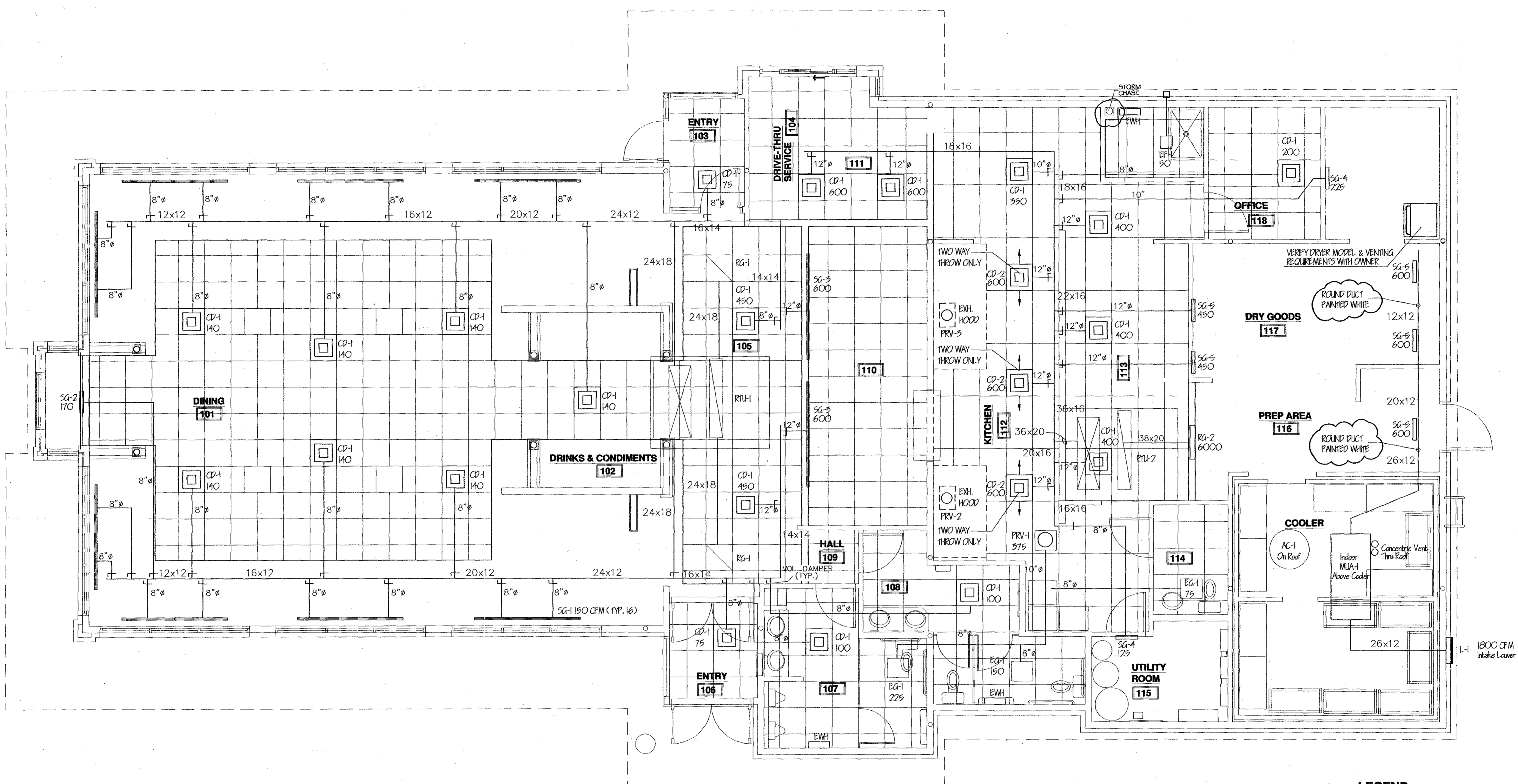
APPROVED:

DRAWN BY:
ACN

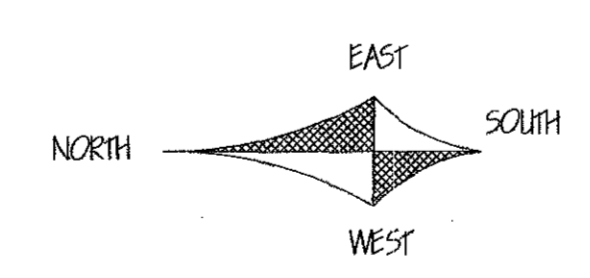
DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
P-1



HVAC PLAN
SCALE: 1/4" = 1'-0"



LEGEND

- LINEAR DIFFUSER
- CEILING DIFFUSER
- EXHAUST GRILL
- ELECTRIC WALL HEATER
- KITCHEN HOOD EXHAUST FAN
- LINEAR SUPPLY GRILL
- RETURN GRILL

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TEL: (262) 782-1971
FAX: (262) 782-1971
E-MAIL: stelling@saaj.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI, 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
HVAC PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:	1-29-01
APPROVED:	
DRAWN BY:	ACN
DATE:	12-4-00
PROJECT NUMBER:	0039
SHEET NUMBER:	M-1

GENERAL NOTES

ALL WORK TO BE PERFORMED TO STATE CODE & SMACNA GUIDELINES. DUCT DIMENSIONS LISTED ARE NET FREE - CLEAR INSIDE DIMENSION. INSTALL UNITS ACCORDING TO MANUFACTURERS GUIDELINES. INSTALLER RESPONSIBLE FOR FINAL TEST & BALANCING AS OUTLINED IN ILHR 64.43 & 64.53.

PROVIDE OWNER WITH OPERATION & MAINTENANCE MANUALS AND SYSTEM SCHEMATICS. VERIFY DUCT LOCATIONS PRIOR TO FABRICATION. (VERIFY LIMITED AREA FOR DUCTWORK AND OTHER APPARATUSES)

HVAC CONTRACTOR TO INSTALL GAS PIPING PER STATE CODE AND AGA GUIDELINES (LABEL AS REQUIRED)

EXHAUST FANS TO RUN CONTINUOUSLY DURING OCCUPIED MODE. VERIFY WITH OWNER EXACT HEATER LOCATION TO AVOID BUILDING FUNCTION INTERFERENCE. NIGHT SET BACK THERMOSTATS TO BE INSTALLED ON ALL HVAC EQUIPMENT. INSULATE DUCT WORK TO SMACNA GUIDELINES AND STATE CODE ILHR 63.29. INSTALL VOLUME CONTROL DAMPERS AS INDICATED ON PLANS. MAINTAIN AT LEAST 10 FEET CLEARANCE FROM INTAKES OR WINDOWS ON ALL EXHAUST VENTS ILHR 64.19.

VENT EXHAUST FANS TO EXTERIOR OF BUILDING. FURNACE FANS TO RUN CONTINUOUSLY DURING OCCUPIED MODE. FLEXIBLE ROUND DUCT WORK NOT TO EXCEED 8 FEET IN LENGTH. AVOID UNNECESSARY TURNS & SLACK.

CONTRACTOR TO CONFIRM VOLTAGES AND PHASE OF EQUIPMENT PRIOR TO INSTALLATION.

RETURN AIR DUCT WORK TO BE LINED FOR SOUND ATTENUATION. DUCT WORK TO BE STANDARD GAUGE SHEET METAL (FIBROUS DUCT NOT ALLOWED). DUCT WORK TO BE STANDARD GAUGE WELDED S/S OR DUCTILE IRON, AT KITCHEN HOODS.

COORDINATE WORK WITH GENERAL CONTRACTOR AND OWNER TO MAXIMIZE CEILING HEIGHT AND AVOID CONFLICTS

HANG AND SUPPORT MATERIALS SHALL BE INSTALLED THE LATEST EDITION OF THE ASHREA HANDBOOK OF FUNDAMENTALS

TEST, ADJUST AND CALIBRATE CONTROL SYSTEMS AS REQUIRED ILHR 64.43 & 64.53.

DEVIATIONS FROM THE HVAC PLANS ARE THE RESPONSIBILITY OF THE HVAC CONTRACTOR AND WILL NOT RESULT IN ADDITIONAL COSTS TO THE OWNER UNLESS WRITTEN CHANGE ORDERS ARE APPROVED BY THE OWNER.

CONTRACTOR TO VERIFY GAS METER CAPACITY WITH LOCAL GAS SUPPLIER. HVAC CONTRACTOR RESPONSIBLE FOR GAS PIPING FROM THE GAS METER TO HVAC & KITCHEN EQUIPMENT

HVAC CONTRACTOR RESPONSIBLE FOR A COMPLETE AND FULLY WORKING SYSTEM PROVIDE SHOP DRAWINGS TO THE ARCHITECT/DESIGNER FOR EQUIPMENT, FANS, REGISTERS ETC. PRIOR TO PROCUREMENT

PROVIDE OWNER WITH COLOR CHOICES FOR SWITCHES AND OTHER APPARATUSES WHERE APPLICABLE

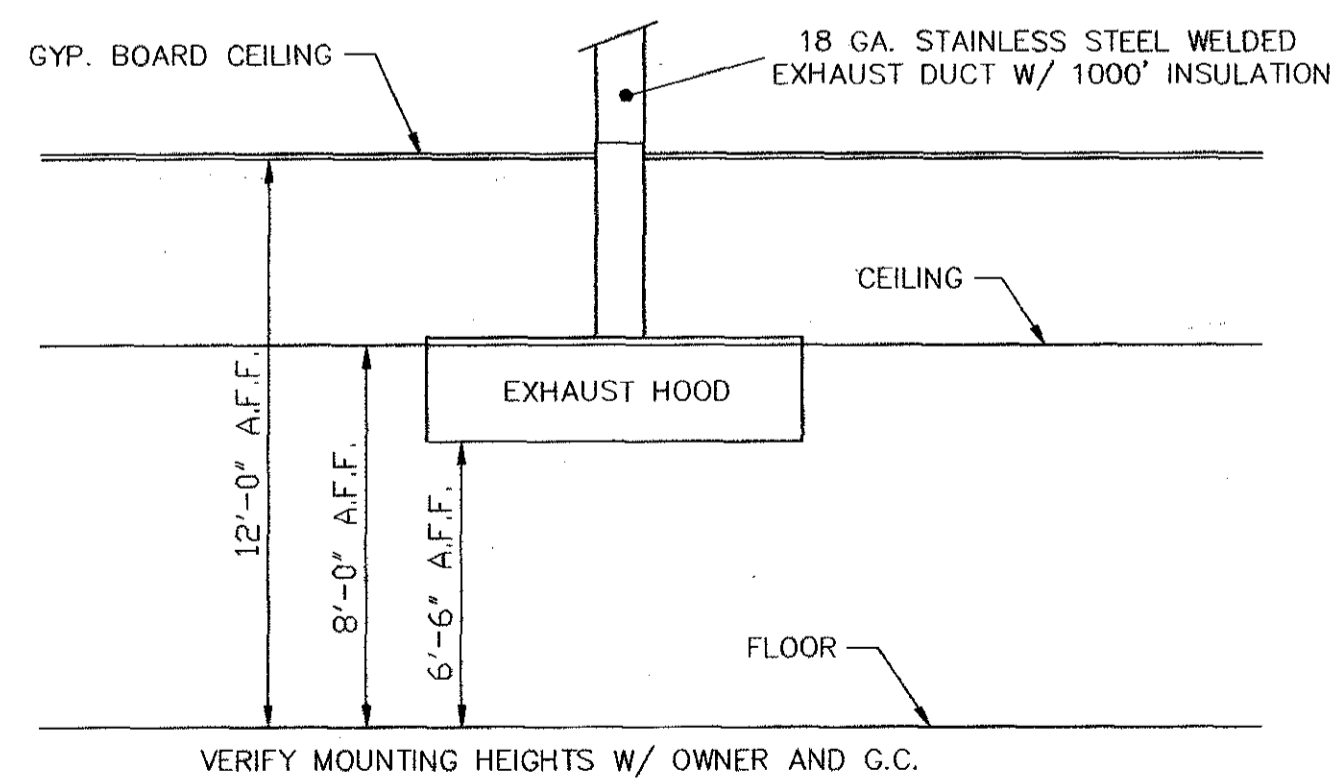
INSULATE EXHAUST DUCT FOR EXHAUST FAN TO EXTERIOR TERMINATION. VERIFY ALL EXISTING CONDITIONS PRIOR TO INSTALLATION (DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT REFLECT EXACT LOCATIONS OF EQUIPMENT OR OTHER APPARATUSES.)

RUN DUCT WORK IN JOIST SPACE WHEN APPLICABLE TO MAXIMIZE FREE AREA IN CEILING.

KITCHEN EXHAUST AND SUPPLY DUCT TO BE INSULATED AND INSTALLED PER ILHR 64.67

REPLACE ALL AIR FILTERS PRIOR TO TURNING SYSTEM OPERATIONS OVER TO OWNER. VENT OWNERS WATER HEATERS AS REQUIRED. MAINTAIN CLEARANCES FROM INTAKES AS NOTED ABOVE.

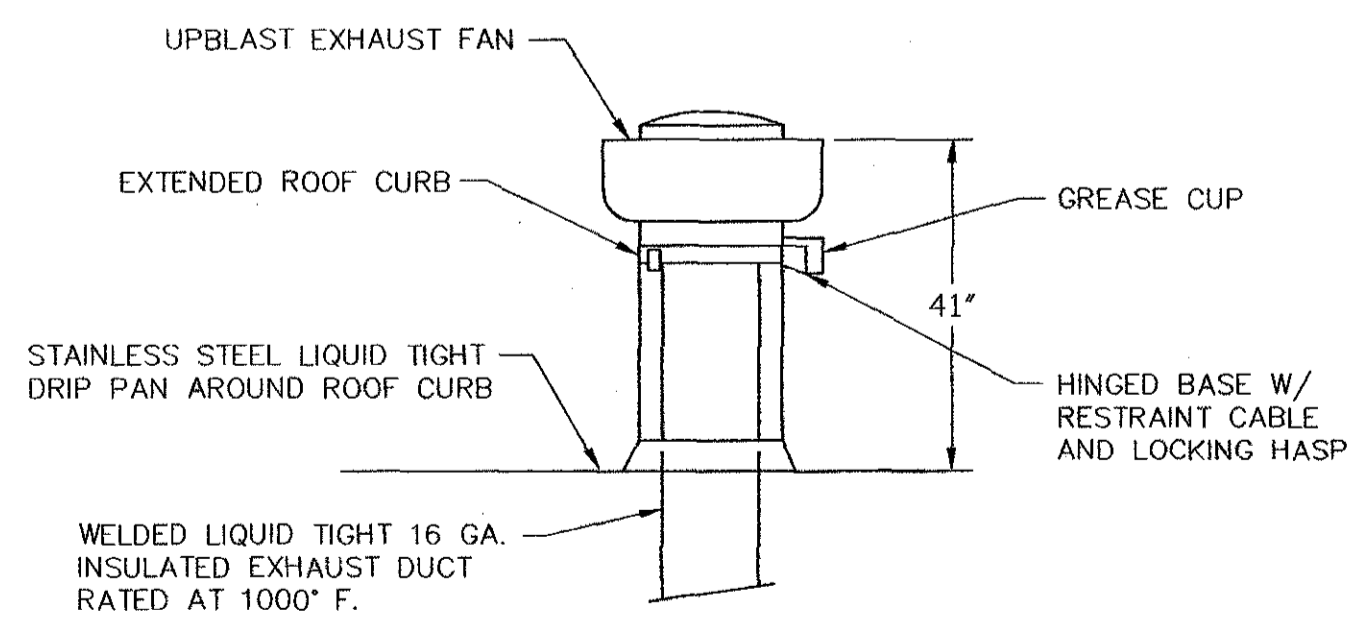
NOTE: CHANGES IN CEILING HEIGHTS AND FINISHES, LIMITED ACCESS TO SOME AREAS. CONTROL SEQUENCING IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. PROVIDE SCHEMATICS / DESCRIPTIONS TO THE OWNER PRIOR TO INSTALLATION.



KITCHEN HOOD EXHAUST ELEVATION
SCALE: 1/4"=1'-0"

MECHANICAL EQUIPMENT SPECIFICATIONS

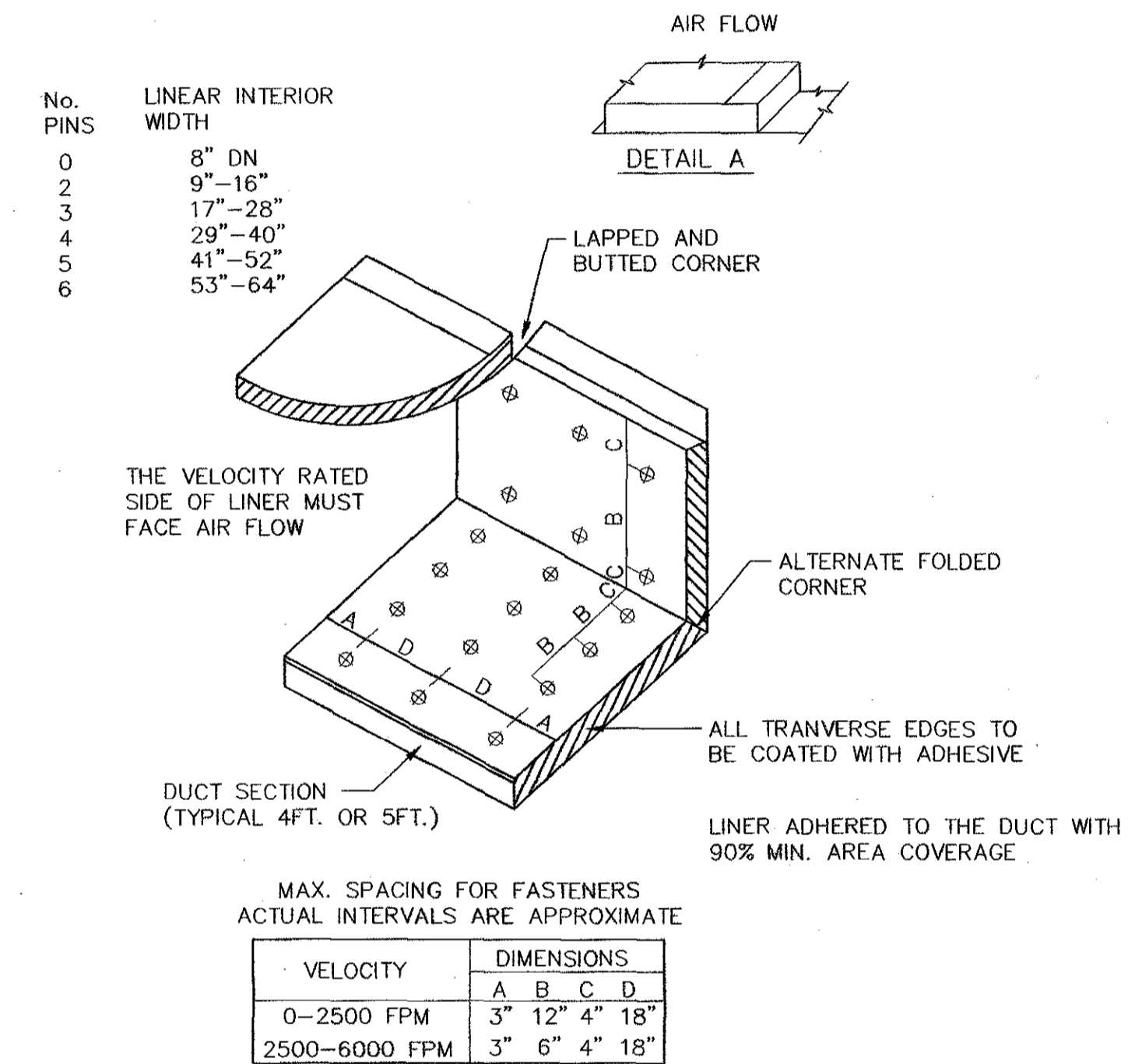
- RTU-1 Carrier Or Equal 48TJD-016 Combination Gas Heating Electric Cooling Rooftop Unit. 185,000 BTU Output Heating Capacity, 80.0% Eff. 178,000 Net Cooling Capacity, 8.6 EER. 208 / 230 Volt, 3 Phase, 96.0 Amps. Blower Motor Set For Nominal 6,000 CFM And Fresh Air Intake Damper Set For Minimum 1,125 CFM Provide Full Economizer, Roof Curb, Two Stage Control, Duct Discharge Control And Honeywell Or Equal T7300 Night Set Back Thermostat.
- RTU-2 Carrier Or Equal 48TJD-016 Combination Gas Heating Electric Cooling Rooftop Unit. 185,000 BTU Output Heating Capacity, 80.0% Eff. 178,000 Net Cooling Capacity, 8.6 EER. 208 / 230 Volt, 3 Phase, 96.0 Amps. Blower Motor Set For Nominal 6,000 CFM And Fresh Air Intake Damper Set For Minimum 1,125 CFM Provide Full Economizer, Roof Curb, Two Stage Control, Duct Discharge Control And Honeywell Or Equal T7300 Night Set Back Thermostat.
- MUA-1 Reznor Or Equal SCE 200 Separated Combustion Make Up Air Unit 160,000 BTU Output Heating Capacity, 80% Eff. Include Stainless Steel Heat Exchanger And Burners. 1" TA Filters, Concentric Vent Kit, Nominal 5 Ton DX Horizontal Cooling Coil And Motorized 100% Outdoor Air Intake Damper Set To 1800 CFM Control System With Duct Discharge Thermostat And Room Override Night Set Back Thermostat. Interlock With Kitchen Exhaust Fan Operations.
- AC-1 Carrier Or Equal 38CKC-060 Condensing Unit. 54,500 BTU Net Cooling Capacity 10.0 SEER. 208/230 Volt Single Phase. 37.5 MCA. Refrigeration Piping As Per Manufacture's Recommendations.
- PRV-1 Carnes Or Equal VEDK-08-J2 Power Roof Exhaust Fan With Gravity Backdraft Damper And Roof Curb. 375 CFM At .5 ESP 115 Volt, Single Phase, 3.6 Amps. Fan To Run Continuously During Occupied Mode.
- PRV-2 Greenheck Or Equal CUBE 140-7 Kitchen Hood Exhaust Fan With Roof Curb. 1750 CFM At .651 ESP, 208 Volt, Single Phase, 6.0 Amps. Fan To Run Continuously During Occupied Mode.
- PRV-3 Greenheck Or Equal CUBE 140-7 Kitchen Hood Exhaust Fan With Roof Curb. 2336 CFM At .656 ESP. 208 Volt, Single Phase, 6.0 Amps. Fan To Run Continuously During Occupied Mode.
- EF-1 Broan Or Equal 360 Ceiling Exhaust Fan With Speed Control And # 431 Eve Elbow Kit. CFM As Indicated On Plans. Fan To Run Continuously During Occupied Mode.
- EWH Q-Mark Or Equal CWH-3204 Electric Wall Heater With Integral Thermostat. 208 / 240 Volt Single Phase, 8.5 Amps. 2000 Watt.
- CD-1 Carnes Or Equal SJTB Ceiling Diffuser. Neck Size And CFM As Indicated.
- CD-2 Carnes Or Equal SJTB Ceiling Diffuser W/ KXBA Baffle For 2 Way Throw Neck Size And CFM As Indicated On Plans
- SG-1 Carnes Or Equal CHBB 48" Linear Diffuser. 2 Slot 2 Way W/ Surface Mount End Caps And Hem Duct Brackets. Neck Size And CFM As Indicated On Plans.
- SG-2 Carnes Or Equal CCRBG 24x3 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.
- SG-3 Carnes Or Equal CCRBG 72x3 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.
- SG-4 Carnes Or Equal CCRBG 12x6 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.



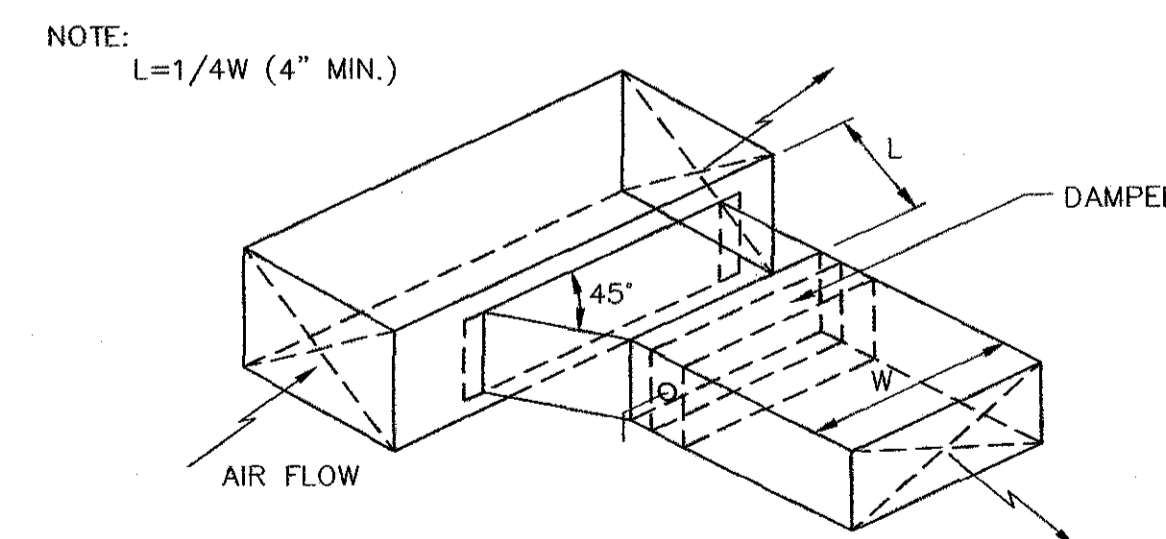
KITCHEN HOOD EXHAUST FAN DETAIL
NO SCALE

MECHANICAL EQUIPMENT SPECIFICATIONS CONTINUED

- SG-5 Carnes Or Equal CCRBG 24x6 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.
 - RG-1 Carnes Or Equal RAPA 24x24 Aluminum Egg Crate Return Grill.
 - RG-2 Carnes Or Equal RSAAH 48x36 Return Grill.
 - L-1 Vent Products Or Equal 2760 Intake Louver 28x28
 - EG Carnes Or Equal RAPA 24x24 Aluminum Egg Crate Exhaust Grill.
- Note : Kitchen Hoods Supplied By Owner And Installed By HVAC Contractor



DUCT LINER INSTALLATION DETAIL
NO SCALE



BRANCH DUCT TAKEOFF DETAIL
NO SCALE

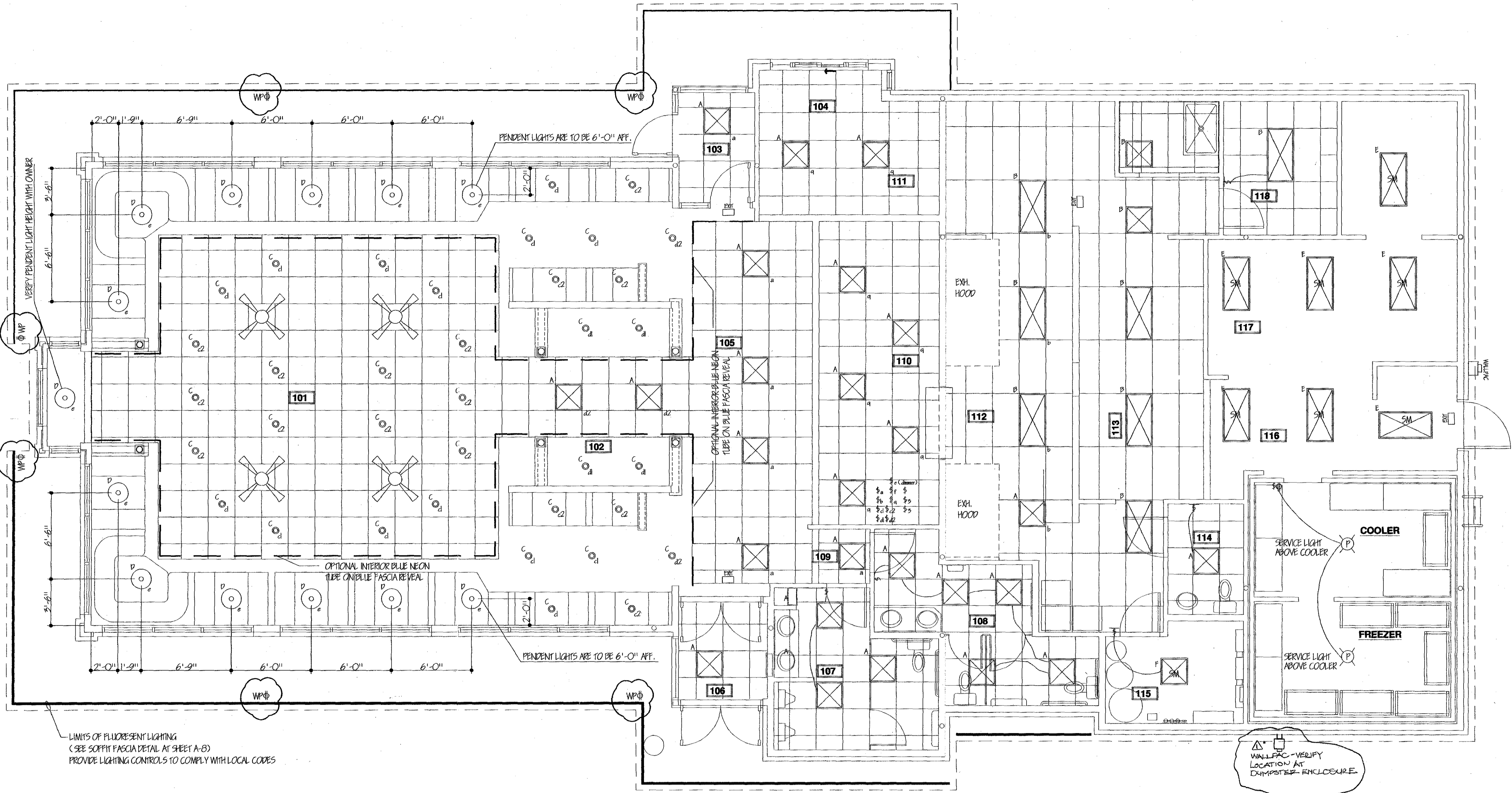
STELLING & ASSOCIATES ARCHITECTS, LTD.
 181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TELEPHONE: (262) 793-5725 FAX: (262) 783-1971
 EMAIL: sba@stg.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE WI 53156
 PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
MECHANICAL EQUIPMENT SPECIFICATIONS AND GEN. NOTES

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
 APPROVED:
 DRAWN BY:
ACN
 DATE:
12-4-00
 PROJECT NUMBER:
0039
 SHEET NUMBER:
M-2



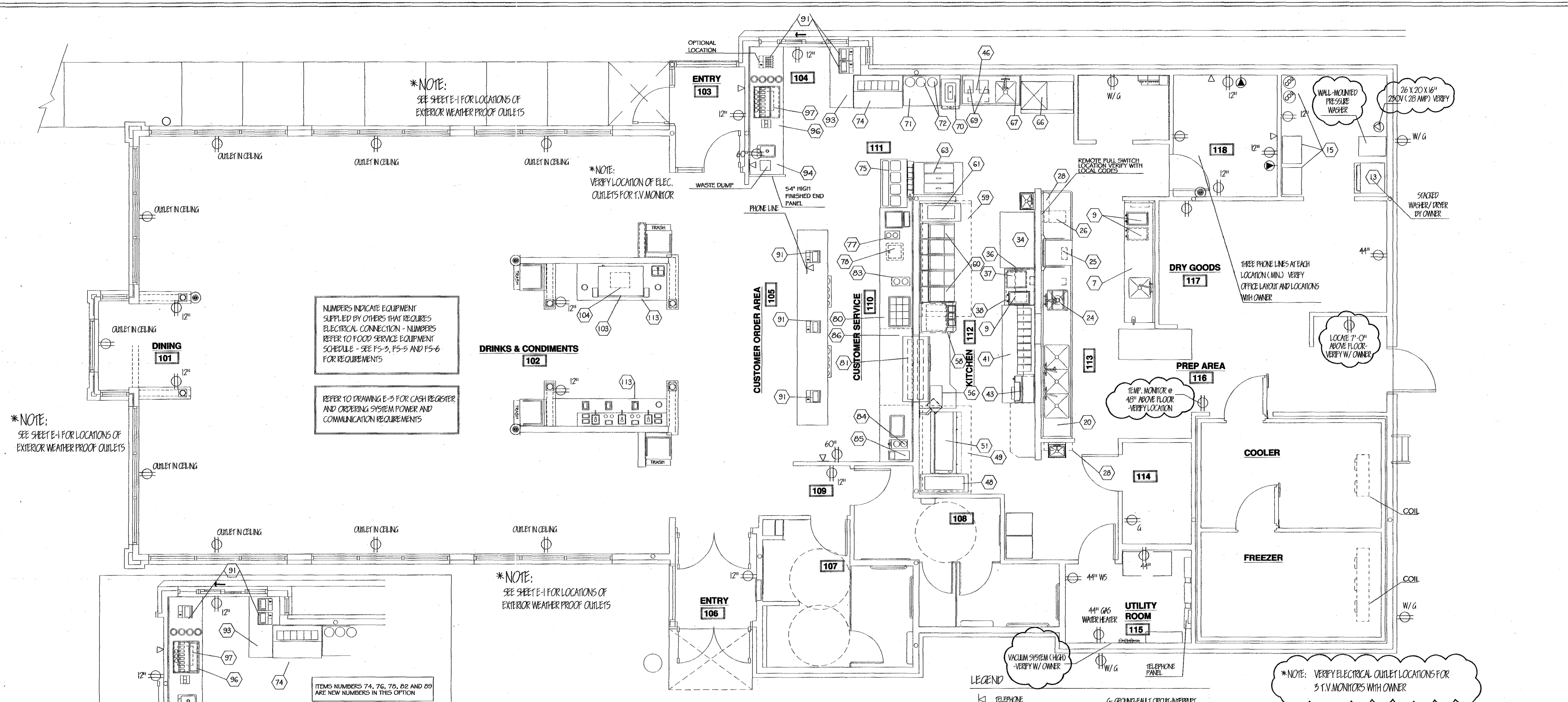
LIGHTING PLAN
SCALE: 1/4" = 1' - 0"

* NOTE: ELECTRICAL CONTRACTOR TO VERIFY BULB TYPES WITH OWNER PRIOR TO PURCHASE.
* NOTE: STAINLESS STEEL MINI CLAMPS FOR ALL EXPOSED CONDUIT INSIDE OF THE BUILDING.

* NOTE: REVIEW LOCATIONS OF EXTERIOR WEATHER PROOF OUTLETS IN SOFFIT WITH OWNER PRIOR TO INSTALLATION

LEGEND

	2 x 2 LAY-IN FIXTURE LITHONIA 20T 2 UVA 50P (ELECTRONIC BALLAST)		PENDANT LIGHT FIXTURE AS SELECTED BY OWNER CONTROL WITH DIMMER SWITCH		EXHAUST FAN BY HVAC - WIRED BY ELECTRICIAN		DEDICATED COMPUTER OUTLET W/ ISOLATED GROUND
	2 x 4 LAY-IN FIXTURE LITHONIA 20T 4 52 N2 50P (ELECTRONIC BALLAST) "SM" INDICATES SIMILAR FIXTURE FOR SURFACE MOUNTED CONDITION		NICHE PITCH - 520R CEILING FAN W/ PFC SW SPEED CONTROL		GROUND FAULT INTERRUPTIBLE PROTECTED OUTLET		SINGLE POLE SWITCH
	RECESSED CAN FIXTURE HALO HAI 7691-96-40 BA W/ 2 9W BULBS		LITHONIA ES9R OR ES9C EXIT LIGHT VERIFY MOUNTING		WEATHER-PROOF OUTLET		JUNCTION BOX
	LITHONIA TWP 705 W/ PHOTOCELL		DRYER OUTLET		REFER TO ITEM NUMBER ON GIVEN SCHEDULE		



NUMBERS INDICATE EQUIPMENT SUPPLIED BY OTHERS THAT REQUIRES ELECTRICAL CONNECTION - NUMBERS REFER TO FOOD SERVICE EQUIPMENT SCHEDULE - SEE FS-3, FS-5 AND FS-6 FOR REQUIREMENTS

REFER TO DRAWING E-3 FOR CASH REGISTER AND ORDERING SYSTEM POWER AND COMMUNICATION REQUIREMENTS

*NOTE: SEE SHEET E-1 FOR LOCATIONS OF EXTERIOR WEATHER PROOF OUTLETS

*NOTE: SEE SHEET E-1 FOR LOCATIONS OF EXTERIOR WEATHER PROOF OUTLETS

*NOTE: VERIFY LOCATION OF ELEC. OUTLETS FOR T.V. MONITOR

*NOTE: SEE SHEET E-1 FOR LOCATIONS OF EXTERIOR WEATHER PROOF OUTLETS

*NOTE: VERIFY ELECTRICAL OUTLET LOCATIONS FOR 5 T.V. MONITORS WITH OWNER

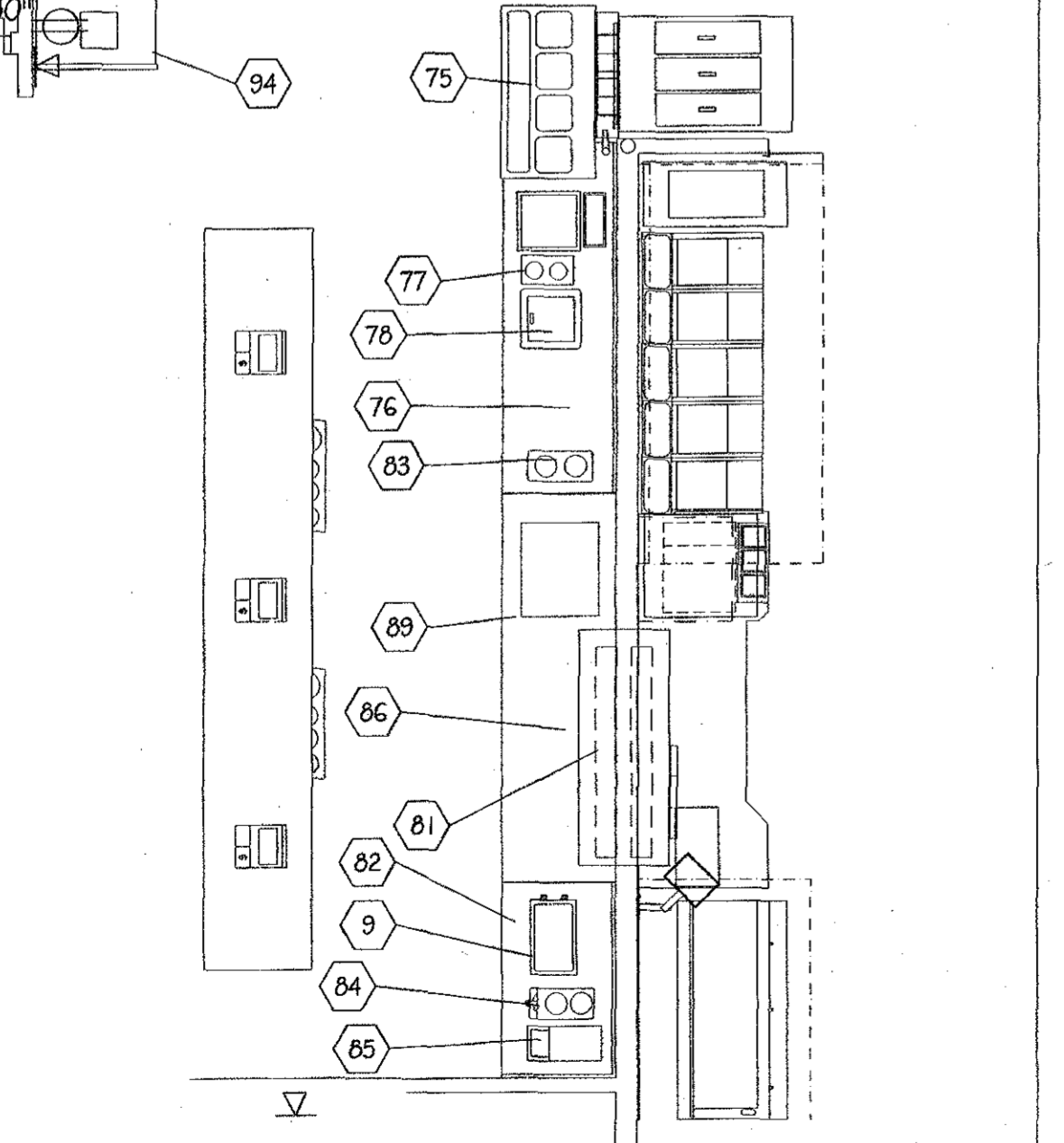
*NOTE: PROVIDE 120V ELECTRICAL POWER TO SAMPLING MANHOLE IN WEST PARKING LOT - SEE SITE SHEETS.

POWER & COMMUNICATION PLAN

SCALE: 1/4" = 1' - 0"

- LEGEND**
- ☐ TELEPHONE
 - ⊕ SWITCH
 - ⊕ DUPLEX RECEPTACLE
 - ⊕ CENTRAL VACUUM INLET (OPTIONAL SYSTEM)
 - ⊕ GROUND-FALLT CIRCUIT INTERRUPTER
 - ⊕ WATERPROOF
 - ⊕ DEDICATED COMPUTER OUTLET W/ ISOLATED GROUND

ITEMS NUMBERS 74, 76, 78, 82 AND 89 ARE NEW NUMBERS IN THIS OPTION



ALTERNATE MILLWORK COUNTER OPTION

ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	WALK IN COOLER	24	DISPOSER	47	MOBILE WORKTABLE (OPTIONAL)	70	MILKSHAKE MACHINE (BY OWNER)	93	DRIVE-UP COUNTER
2	WALK IN FREEZER	25	DISHWASHER (BY CHEMICAL COMPANY)	48	CUSTOM MEAT REFRIGERATOR	71	WORKTABLE	94	DRIVE-UP COUNTER
3	COOLER SHELVING	26	BOOSTER HEATER	49	EXHAUST HOOD	72	HEATED SYRUP DISPENSERS	95	CUP DISPENSERS
4	COOLER DUNNAGE RACK	27	WALL SHELF	50	GRIDDLE STAND	73	WALL SHELF	96	ICE AND SODA DISPENSER (BY PURVEYOR)
5	FREEZER SHELVING	28	FIRE SUPPRESSION SYSTEMS	51	GRIDDLE	74	REFRIGERATED TOPPING TABLE	97	CARBONATOR (BY PURVEYOR)
6	FREEZER DUNNAGE	29	SHELVING	52	DOUBLE PRINTER SHELF	75	CUSTARD DIPPING CABINET	98	NON-CARB DRINK TOWER (BY PURVEYOR)
7	WORKTABLE/SINK	30	WALL SHELVES	53	SANDWICH WRAP STATION	76	OPEN NUMBER (BASE) SERVICE COUNTER (ALTERNATE)	99	LID DISPENSER
8	WALL SHELF	31	JANITOR'S SHELVING	54	ORDER BARS	77	CHOCOLATE WARMER	100	DROP-IN SINK
9	COOKER/WARMERS	32	MOP SINK (BY PLUMBER)	55	WRAP PAPER HOLDERS	78	DROP-IN FREEZER (OPTIONAL)	101	TRAY/TRASH COUNTERS
10	KETCHUP DISPENSER (BY PURVEYOR)	33	CHEMICAL DISPENSING SYSTEM (BY PURVEYOR)	56	BUN WARMER (OPTIONAL)	79	WALL SHELVES	102	TRAY/TRASH COUNTERS
11	LOCKERS	34	REACH-IN FREEZER	57	OPEN NUMBER	80	REFRIGERATED 5/5 BACKCOUNTER	103	SODA DISPENSER (BY PURVEYOR)
12	GREASE GUZZLER (ALTERNATE BY OWNER)	35	CHICKEN TIMER (BY OWNER)	58	FRY STATION HEAT LAMP	81	HEATED PASS-THRU UNIT	104	CARBONATOR (BY PURVEYOR)
13	WASHER/DRYER BY OWNER	36	MICROWAVE OVEN	59	EXHAUST HOOD	82	OPEN NUMBER (BASE) SERVICE COUNTER (ALTERNATE)	105	LID DISPENSERS
14	CORNER GUARDS	37	ROLLER GRILL	60	FRYERS	83	COFFEE WARMER (BY PURVEYOR)	106	GLASS FILLER
15	BAG-IN-BOX SYSTEM (BY PURVEYOR)	38	WARMER DRAWER	61	CUSTOM FISH REFRIGERATOR	84	COFFEE MAKER (BY PURVEYOR)	107	CONDIMENT CUP DISPENSERS
16	STORAGE SHELVING	39	WORKTABLE	62	5/5 WALL PANELS	85	HOT CHOCOLATE MACHINE (BY PURVEYOR)	108	TABLES/CHAIRS/BOOTH
17	TRASH CANS/CART (BY OWNER)	40	MICROWAVE SHELF	63	TRIPLE CUSTARD MACHINE (BY OWNER)	86	MENU BOARD (BY OWNER)	109	CONDIMENT DISPENSERS
18	BUN RACKS (BY PURVEYOR)	41	REFRIGERATED WORKTABLE	64	OPEN NUMBER	87	WAFFLE CONE DISPENSER	110	NAPKIN DISPENSERS
19	HAND SINKS	42	WALL SHELF	65	SYRUP PUMP AND JAR	88	DROP-IN CONE BIN	111	STRAW DISPENSERS
20	DISH/TABLES AND UTENSIL SINKS	43	BUN TOASTER	66	ICE MACHINE WITH BIN	89	WORKTOP REFRIGERATOR (ALTERNATE)	112	CONDIMENT PANS
21	WALL SHELF	44	BUN RACK SHELF	67	WORKTABLE WITH SINK	90	FRONT SERVICE COUNTER	113	BEVERAGE COUNTER
22	PRE-RINSE SPRAY ASSEMBLY	45	5/5 WINDOW TRIM	68	WALL SHELF	91	CASH REGISTERS AND SYSTEM (BY OWNER)	114	CONDIMENT COUNTER
23	PRE-RINSE SPRAY ASSEMBLY	46	MICROWAVE OVEN	69	ASTRO BLENDERS (BY OWNER)	92	CUP DISPENSERS	115	REFRIGERATION SYSTEMS (ON ROOF)

PROJECT DESCRIPTION: **NEW CULVER'S RESTAURANT**
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE WI, 53158
 PROJECT FOR: **OMA, L.L.C.**

DRAWING DESCRIPTION: **POWER AND COMMUNICATION PLAN**

OWNERSHIP OF DOCUMENTS: THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
 1-29-01

APPROVED: **ACN**

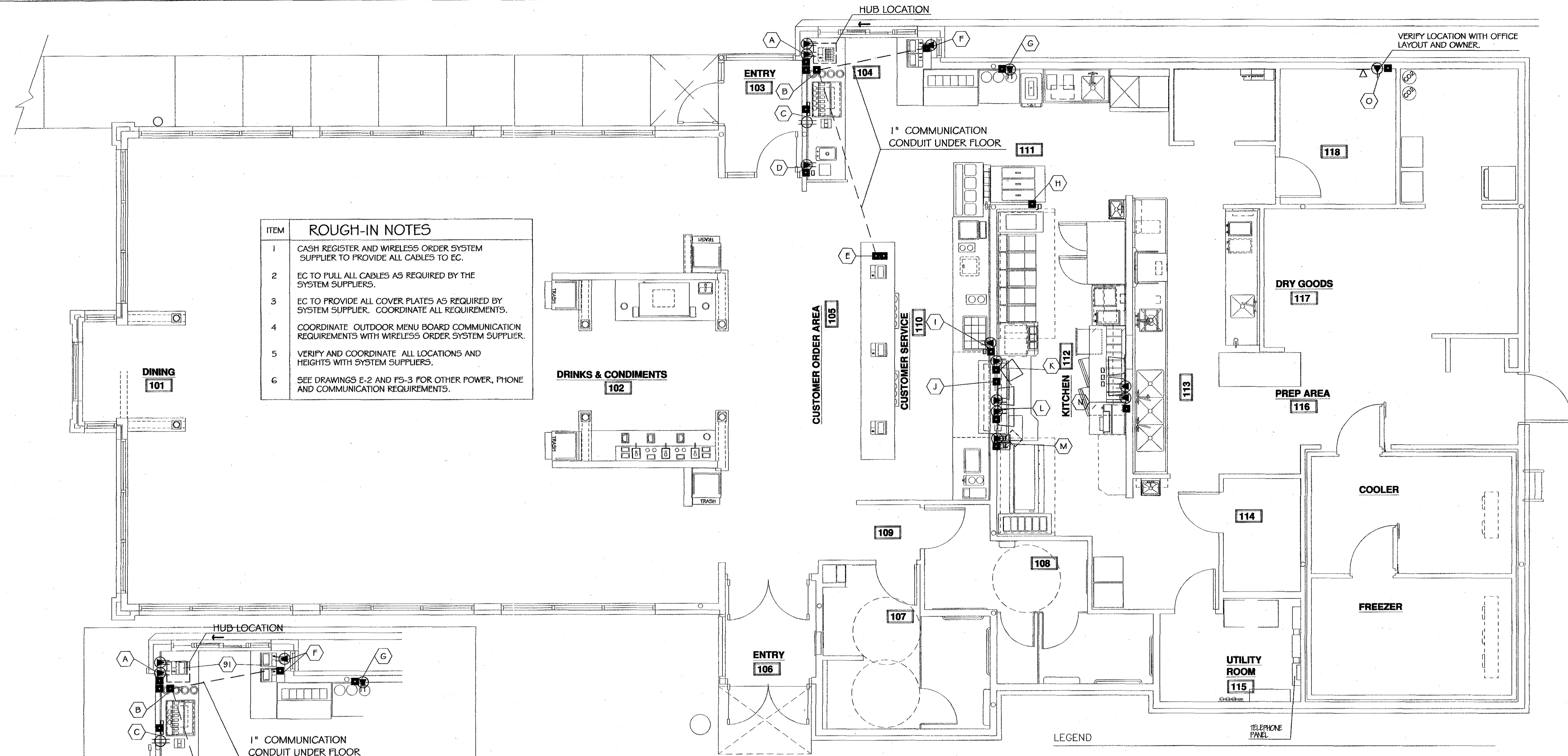
DRAWN BY: **ACN**

DATE: **12-4-00**

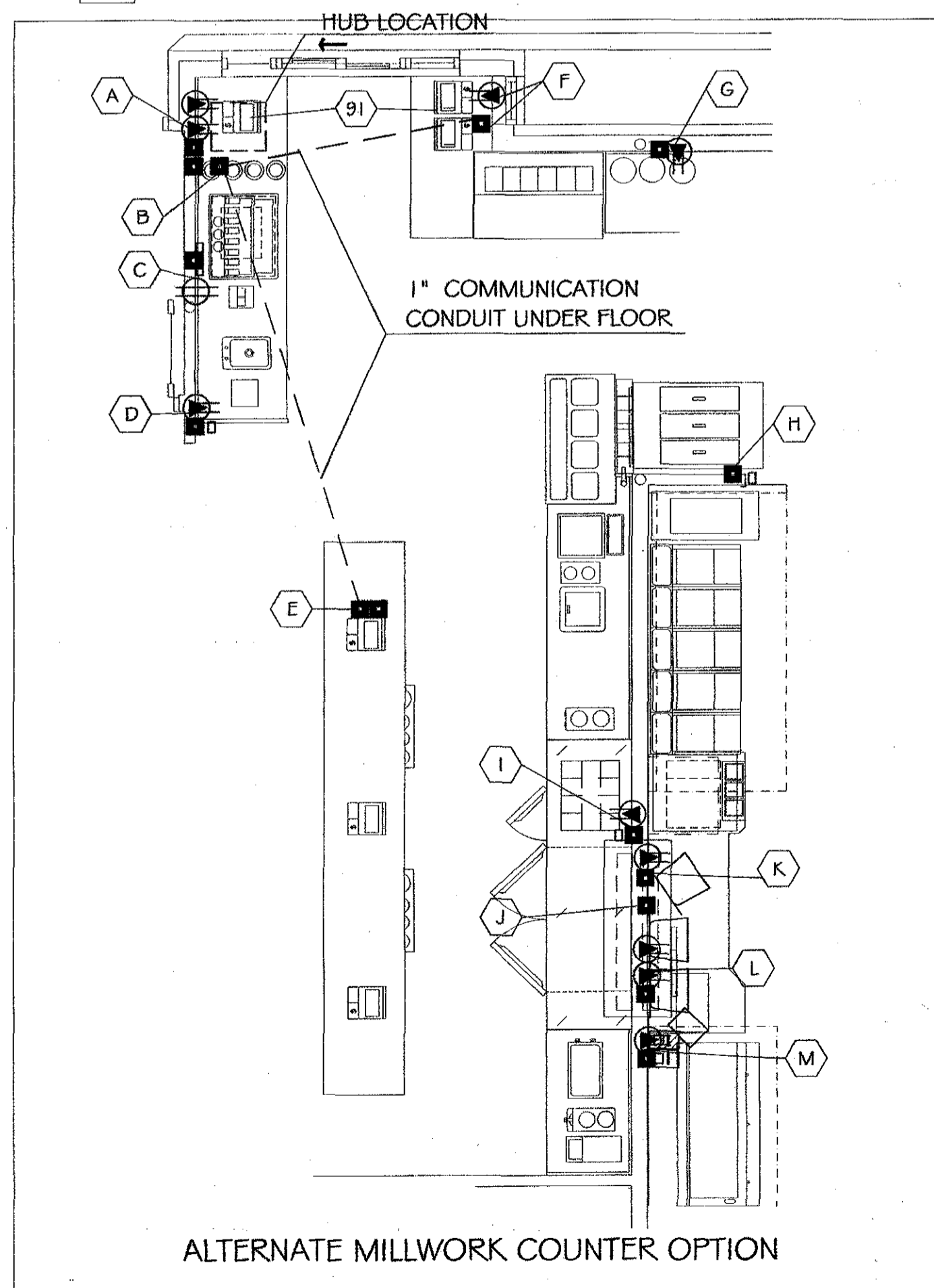
PROJECT NUMBER: **0039**

SHEET NUMBER: **E-2**

STELLING & ASSOCIATES ARCHITECTS, LTD.
 181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TEL: (262) 783-1000 FAX: (262) 783-1971
 EMAIL: sbahr@stalling.com



ITEM	ROUGH-IN NOTES
1	CASH REGISTER AND WIRELESS ORDER SYSTEM SUPPLIER TO PROVIDE ALL CABLES TO EC.
2	EC TO PULL ALL CABLES AS REQUIRED BY THE SYSTEM SUPPLIERS.
3	EC TO PROVIDE ALL COVER PLATES AS REQUIRED BY SYSTEM SUPPLIER. COORDINATE ALL REQUIREMENTS.
4	COORDINATE OUTDOOR MENU BOARD COMMUNICATION REQUIREMENTS WITH WIRELESS ORDER SYSTEM SUPPLIER.
5	VERIFY AND COORDINATE ALL LOCATIONS AND HEIGHTS WITH SYSTEM SUPPLIERS.
6	SEE DRAWINGS E-2 AND F5-3 FOR OTHER POWER, PHONE AND COMMUNICATION REQUIREMENTS.



ITEM	CASH REGISTER SYSTEM ROUGH-IN SCHEDULE
A	(2) 4" COMMUNICATION J-BOXES AND (2) 2" CONDUITS EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOXES TO BE AT 18" AFF. ALSO PROVIDE (2) DEDICATED, ISOLATED, GROUNDED D.O. AT 18" AFF.
B	1" COMMUNICATION CONDUIT IN FLOOR STUB-UP 10" AFF. OUT TO STUB-UPS (E) AND (F).
C	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 90" AFF. PULL THREE SPEAKER WIRES TO SPEAKER POST AT ORDER BOARD AT THE DRIVE THRU. ALSO PROVIDE (1) DUPLEX OUTLET AT 90" AFF.
D	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 90" AFF. PULL ONE COAX CABLE TO J-BOX (I) LOCATED TO THE LEFT OF THE PASS THRU. LEAVE 6'-0" END. ALSO PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 90" AFF.
E	1" COMMUNICATION CONDUIT IN FLOOR STUB-UP 10" AFF. PULL THREE ARCNET CABLES FROM HUB IN DRIVE THRU (STUB-UP B) TO REGISTERS, LEAVE 6'-0", 12'-0" AND 18'-0" ENDS. ALSO PROVIDE ELECTRICAL CONDUIT STUB-UP 10" AFF. SEE DRAWING F5-3 FOR ELECTRICAL DETAILS.
F	1" COMMUNICATION CONDUIT IN FLOOR STUB-UP 10" AFF. PULL ONE ARCNET CABLE FROM HUB IN DRIVE THRU (STUB-UP B) TO REGISTER, LEAVE 6'-0" END. ALSO PROVIDE (1) DEDICATED ISOLATED GROUNDED D.O. AT 18" AFF.
G	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 90" AFF. PULL ONE COAX CABLE AND ONE BUMP-BAR CABLE TO HUB IN DRIVE-THRU. LEAVE 6'-0" ENDS. ALSO PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 90" AFF.
H	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 60" AFF. PULL ONE BUMP-BAR CABLE TO HUB IN DRIVE-THRU. LEAVE 6'-0" END.
I	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 60" AFF. PULL ONE COAX CABLE AND ONE BUMP-BAR CABLE TO HUB IN DRIVE-THRU. LEAVE 6'-0" ENDS. ALSO PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 60" AFF.
J	PROVIDE BLANK J-BOX FOR SPEAKER AT 90" AFF. VERIFY WITH OWNER AND INSTALLER ON ALL REQUIREMENTS AND LOCATION.

ITEM	CASH REGISTER SYSTEM ROUGH-IN SCHEDULE
K	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 90" AFF. PULL ONE COAX CABLE TO HUB IN DRIVE-THRU. LEAVE 6'-0" END. PROVIDE (1) DEDICATED, ISOLATED GROUNDED D.O. AT 90" AFF.
L	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 90" AFF. PULL TWO COAX CABLES OVER CEILING TO J-BOX (N) ON BACK WALL OF KITCHEN. LEAVE 9'-0" ENDS. PROVIDE (1) DEDICATED, ISOLATED GROUNDED D.O. AT 90" AFF.
M	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 60" AFF. PULL TWO ARCNET CABLES TO HUB LOCATED IN DRIVE-THRU. LEAVE 6'-0" ENDS. PROVIDE (1) DUPLEX OUTLET AT 90" AFF.
N	4" COMMUNICATION J-BOX WITH (2) 1" CONDUITS EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 90" AFF. PULL TWO COAX CABLES AND THREE BUMP-BAR CABLES TO HUB LOCATED IN DRIVE-THRU. LEAVE 6'-0" ENDS. PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 90" AFF.
O	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE. BOX TO BE AT 12" AFF. PULL ONE ARCNET CABLE TO HUB LOCATED IN DRIVE-THRU. LEAVE 6'-0" ENDS. PROVIDE (1) DEDICATED ISOLATED COMPUTER D.O. AT 18" AFF.

P.O.S. SYSTEM PLAN
 SCALE: 1/4" = 1'-0"

February 12, 2001
CUST ID No.259438

ATTN: Buildings & Structures Inspector

THOMAS STELLING
181 W CHESTNUT ST
PO BOX 506
BURLINGTON WI 53105-0506

MUNICIPAL CLERK
VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVE
PLEASANT PRAIRIE WI 53158-6501

PLANS CONDITIONALLY APPROVED
FEB 28
MAD

RE: **CONDITIONAL APPROVAL**
PLAN APPROVAL EXPIRES: 02/12/2003

Identification Numbers
Transaction ID No. 612965
Site ID No. 625946
Please refer to both identification numbers, above, in all correspondence with the agency.

SITE:
SITE ID: 625946, CULVERS
KENOSHA COUNTY, VILLAGE OF PLEASANT PRAIRIE; 10484 CORPORATE DR, PLEASANT PRAIRIE 53158

FOR:
OBJECT TYPE: BUILDING REGULATED OBJECT ID NO.: 779052
7 WOOD FRAME-PROTECTED, NEW PLAN, 4,538 PROJECT SQ FT, OCCUPANCY (ASSEMBLY)

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. The following conditions shall be met during construction or installation and prior to occupancy or use:

- COMM 50.12 Prior to installation, one copy of the wood truss plans ,calculations, a completed SBD-118 application form and a \$100 submittal fee shall be submitted to this office. Also one copy of the plan shall be provided at the job site. When the total building volume exceeds 50,000 cubic feet, each set of plans shall bear an indication of review which has been signed or initialed by the building designer of record.
- COMM 50.12 This review does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, a completed SBD-118 application form and appropriate fees are required to be submitted for review and approval prior to installation.
- COMM 50.12 This review does not include lighting. COMM 63.01 Prior to installation, lighting plans and calculations shall be prepared in compliance with the code and properly signed and sealed. The plans shall be available at the job site as requested by the Department representative or local official.

A copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation.

In granting this approval the Division of Safety & Buildings reserves the right to require changes or additions should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,



(NIZAM) S. NIZAMUDDIN
BUILDING CONSULTANT , INTEGRATED SERVICES
(608)267-0768 , MON-THUR 7:00 -4:30, FRI 7:00 -11 :00
NNIZAMUDDIN@COMMERCE.STATE.WI.US

cc: LAWRENCE WEEDE , BUILDING INSPECTOR, (262) 248-4922, MON--THURS, 6:45 A.M. - 5:30 P.M.
EDWARD RICH OMA LLC

DATE RECEIVED 01/31/2001	
FEE REQUIRED \$	430.00
FEE RECEIVED \$	430.00
BALANCE DUE \$	0.00
WISMArt code: 7648	

Conditionally
APPROVED
COMMERCE

PROJECT:
NEW BUILDING

PROJECT FOR:
CULVER'S PLEASANT PRAIRIE

PROJECT ADDRESS:
**10484 CORPORATE DRIVE
PLEASANT PRAIRIE, WI 53158**

ARCHITECT:
STELLING & ASSOCIATES ARCHITECTS, LTD.
181 WEST CHESTNUT STREET
BURLINGTON, WI 53105

NOTE: WHEN QUESTIONS ARISE, CONTACT ARCHITECT OR OWNER BEFORE DECISIONS ARE MADE.

STELLING & ASSOCIATES ARCHITECTS, LTD.
81 W. CHESTNUT STREET, BURLINGTON, WI 53105
TELEPHONE: (262) 783-8725 FAX: (262) 783-1971
E-MAIL: stelling@soa.com

PROJECT FOR:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
OMA, L.L.C.

TITLE SHEET Building Inspector Copy
STATE APPROVED

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES, ARCHITECTS, LTD.

REVISIONS:
JAN 29-2001

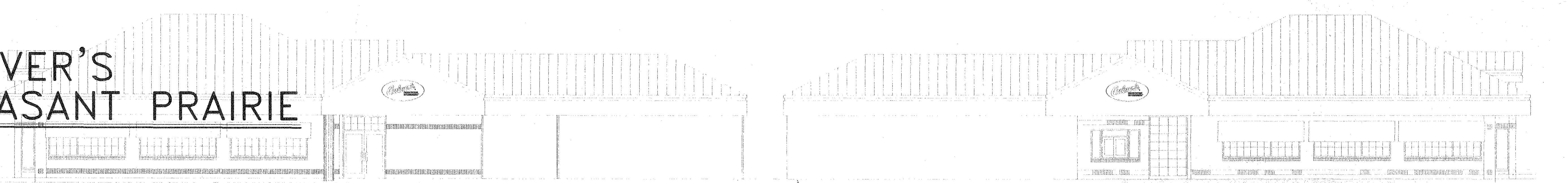
APPROVED:
ACN

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

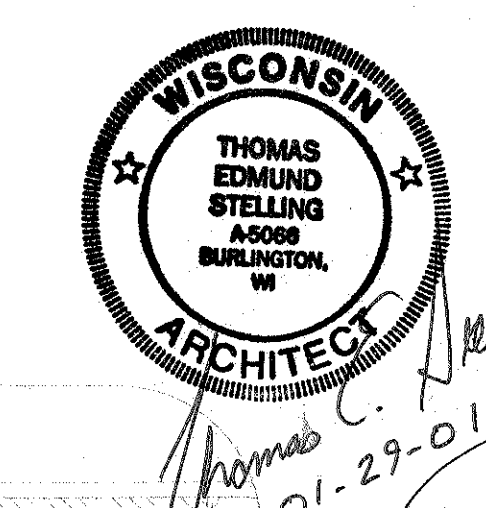
SHEET NUMBER:
T-1



GENERAL PLAN NOTE:
These Architectural Plans, along with the supportive Food Service and Mechanical Plans, are being presented by Stelling & Associates based on prototype drawings prepared by Culver's Franchising Systems, Inc. of Sauk City, Wisconsin. Stelling & Associates has reviewed and modified these drawings to accommodate the specific site location, site conditions and ongoing changes to the fit and finish specified by Culver's Franchising. As such, we have formatted these plans for use on this specific project per the approval of the Owner and Culver's Franchising Systems, Inc. These plans and specifications are meant for specific use by OMA, LLC, Edward Rich, Member, for Culver's - Pleasant Prairie. If there are questions regarding these documents, please contact the office of Stelling & Associates for interpretation.

Stelling & Associates has been working with Culver's Franchising Systems, Inc. for the past two years on facets of their prototype plans. These plans are based on the latest revisions to the Culver's Prototype Model #120 dated October, 2000.

Thomas E. Stelling
Thomas E. Stelling, Architect
AIA/WSA



GENERAL NOTES:

- All work shall be done in accordance with all applicable State, and Local Codes, and zoning ordinances and subject to field inspection.
- Temporary utilities shall be provided by the General Contractor and all utility fees shall be paid by the Owner.
- All sub-contractors must visit the construction site to familiarize themselves with existing conditions. If any questions regarding existing conditions affecting sub-contractor exists, advise Owner immediately.
- If discrepancies in the plans or questions arise notify the Architect immediately. DO NOT SCALE dimensions from blueprints; conform to all dimensions indicated.
- Design Assumptions:
SOIL: Bearing capacity assumed to be 2000 P.S.F. verify conditions; if old foundations, rubble, topsoil or peat are found at or above bearing elevation, contact Architect to verify conditions and adjust footing size and depth.

- For 12-inch depth. For others, multiply by (12/d)0.111
 - Fcl shall not be increased for duration of load.
 - 750 psi for all Eastern Species Parallam PSL and 1-3/4" thick Western Species Parallam PSL.
- Must be installed in accordance with manufacturers printed requirements.
Review load table with local building inspector.

MICRO - LAM:
DESIGN STRESSES:
Modulus of Elasticity E = 1.9 x 10⁶ p.s.i.
Flexural stress (fb)* = 2600 p.s.i.
Shear Modulus of Elasticity G = 118,750 p.s.i.
Compression perpendicular to grain (fc) = 750 p.s.i.
Compression perpendicular to grain parallel to glue line (fc) = 2310 p.s.i.
Horizontal shear perpendicular to glue line (fv) = 285 p.s.i.
TJ: Code Evaluation FHA 689, NER 119. Must be installed in accordance with manufacturers printed requirements.
Review load table with local building inspector.

GLUED LAMINATED TIMBER:
DESIGN STRESSES:
Modulus of Elasticity E = 1,700,000 p.s.i.
Bending stress Fb = 2400 p.s.i. *
Shear stress Fv = 200 p.s.i. **
Tabulated values are for southern pine. Max - Fv values for Douglas fir - larch and Hem-fir are 165 p.s.i. and 155 p.s.i. respectively.

Must be installed in accordance with manufacturer's printed requirements.
* Review load tables with local building inspector.

COLUMNS/POSTS:
Douglas Fir #2 or better; size as indicated on plans
E = 1,300,000

STUDS:
S.P.F. - 2 x 4 and 2 x 6
(fb) > 525 p.s.i.
E = 1,000,000

JOIST AND RAFTERS:
Grade Spruce Pine Fir No. 2
Design value in bending "Fb" = 1275 p.s.i.
Modulus of Elasticity (E) = 1,400,000 p.s.i.

PRE-ENGINEERED WOOD TRUSSES:
Truss engineering and its associated state approval must be submitted to the Architect by the truss manufacturer for submission to the State prior to installation.

6. All contractors shall be responsible for protecting the surrounding sites and returning them to their original condition. All waste, trash and rubbish shall be removed from the site by the contractors and at the contractors expense and the site shall be raked and swept clean at the completion of the project.

7. Provide ground fault circuit protection for all toilet rooms, exterior electrical outlets, and as required.

8. By Code: Truss drawings and calculations by others, anchor each end with Simpson uplift anchors as required by truss designer and provide strongback as indicated and as required by truss designer.

PROJECT DATA

NEW FACILITY: CULVERS PLEASANT PRAIRIE, WISCONSIN
CONSTRUCTION TYPE: TYPE 7 WOOD FRAME PROTECTED
OCCUPANCY: 55 - RESTAURANT
CONSTRUCTION AREA LIMITS BASED ON STREET EXPOSURE:
A: CHAPTER 55 - RESTAURANT TYPE 7 - WOOD FRAME PROTECTED
NEW FLOOR AREA: 4,538 SQ. FT.
STREET EXPOSURE FOUR (4) SIDES
ONE STORY AREA LIMIT 54.01-1 - 88,000 SQ. FT. PER FLR AS SHOWN - LARGEST FLOOR 4,538 SQ. FT. ~ 88,000 SQ. FT. - O.K.
BUILDING CAPACITY: A: RESTAURANT - CAPACITY PER COMM. 55.06 (SEE SEATING LAYOUT A-4) POSTED MAXIMUM SEATING CAPACITY 120 SEATS TOTAL CAPACITY 120 SEATS TOTAL
EXIT REQUIREMENTS: @ 40" PER 100 PEOPLE FIRST FLOOR: PROVIDED IN NEW 150"
ALLOWABLE CAPACITY BASED ON EXITING: 150/40=3.75 UNITS X 100 PERSONS = 375 PERSONS

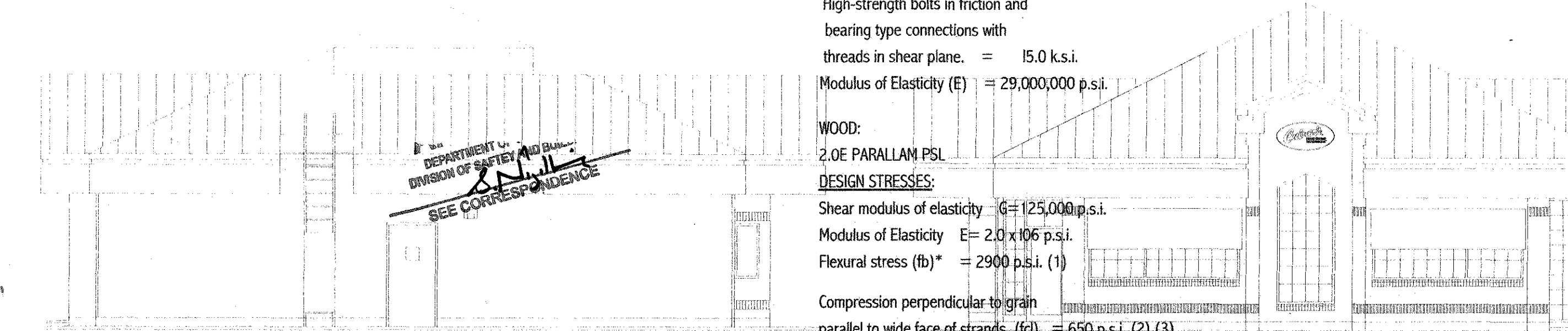
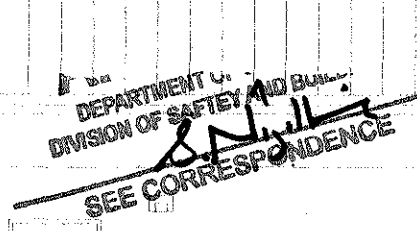
SANITARY REQUIREMENTS: ESTIMATED # EMPLOYEES:
FIRST FLOOR - INCLUDING ADDITION/REMODELING CAPACITY: 120 employees (3 Men) (4 Women)
FROM TABLE 55.33
TOTAL 120 PERSONS - 60 Men, 60 Women
TOTAL REQUIRED SANITARY FIXTURES
MEN: 1 TOILET 1 LAVATORY
WOMEN: 1 TOILET 1 LAVATORY
EMPLOYEE TOILET: 1 TOILET 1 LAVATORY
SHOWN ON FIRST FLOOR:
MEN: 1 TOILETS 2 URINALS 2 LAVATORIES
WOMEN: 2 TOILETS 2 LAVATORIES
UNISEX (EMPLOYEE): 1 TOILET 1 LAVATORY

CONCRETE BLOCK: See Specification for all requirements
Ultimate Compressive Strength (fc) = 1000 p.s.i.
Allowable Compressive Strength on gross cross-section
Type "M" Mortar 90 p.s.i.
Type "S" Mortar 80 p.s.i.
CONCRETE: See Specification for all requirements
Ultimate Compressive Strength (fc) = as specified. Modulus of Elasticity Ratio = (n) 9
Flexure-extreme fiber in compression (fc) = 1,350 p.s.i.
Stabs and footing shear (v) = 110 p.s.i.
Bearing (fc) on full area = 750 p.s.i.

STEEL:
Grade = A36
Yield Stress = 36,000 p.s.i.
Shear on Gross Section (fc) = 14,000 p.s.i.
Bending-Compact Sections (fb) = 24,000 p.s.i.
Non-compact Sections (fb) = 22,000 p.s.i.
Tension and compression for Rec. Brg. PL = 27,000 p.s.i.

Reinforcing steel-deformed rod
Grade 60 ASTM A615-68
Bolts
Grade ASTM A325
Allowable tensile stress (ft) = 40,000 p.s.i.
High-strength bolts in friction and bearing type connections with threads in shear plane. = 15.0 k.s.i.
Modulus of Elasticity (E) = 29,000,000 p.s.i.

WOOD:
2.0E PARALLAM PSL
DESIGN STRESSES:
Shear modulus of elasticity G = 125,000 p.s.i.
Modulus of Elasticity E = 2.0 x 10⁶ p.s.i.
Flexural stress (fb)* = 2900 p.s.i. (1)
Compression perpendicular to grain parallel to wide face of strands (fc) = 650 p.s.i. (2) (3)
Compression parallel to glue line (fc) = 2900 p.s.i.
Horizontal shear perpendicular to wide face of strands (fv) = 290 p.s.i.



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION	
T-1	TITLE, GENERAL NOTES, & SHEET INDEX	▲
SITE-1	SITE PLAN	▲
SITE-2	SITE LANDSCAPING PLAN	▲
SITE-3	SITE UTILITY, GRADING PLAN AND DETAILS	▲
SITE-4	SITE SIGNAGE PLAN	▲
SITE-5	SITE DETAILS PLAN	▲
SITE-6	SITE SURVEY	▲
L-1	LIGHTING PLAN	▲
A-1	FOUNDATION PLAN & DETAILS	▲
A-2	FLOOR PLAN	▲
A-3	INTERIOR & EXTERIOR ELEVATIONS	▲
A-4	ROOF PLAN, ROOF FRAMING PLAN, & TRUSS PROFILES	▲
A-5	REFLECTED CEILING PLAN	▲
A-6	FINISH PLAN	▲
A-7	LOGITUDINAL SECTION & DETAILS	▲
A-8	BUILDING CROSS SECTIONS, WALL SECTION, & DETAILS	▲
A-9	DOORS & WINDOWS	▲
FS-1	FOOD SERVICE LAYOUT	▲
FS-2	PLUMBING ROUGH-INS	▲
FS-3	ELECTRIC ROUGH-INS	▲
FS-4	BUILDING WORKS PLAN	▲
FS-5	MECHANICAL, ELECTRICAL, & PLUMBING SCHEDULE	▲
FS-6	SCHEDULES & ROOF TOP ELECTRICAL ROUGH-INS	▲
FS-7	EQUIPMENT ELEVATIONS	▲
FS-8	EQUIPMENT ELEVATIONS	▲
P-1	PLUMBING PLAN	▲
M-1	HVAC PLAN	▲
M-2	HVAC NOTES & SPECIFICATIONS	▲
E-1	ARCHITECTURAL LIGHTING PLAN	▲
E-2	POWER & COMMUNICATIONS PLAN	▲
E-3	P.O.S SYSTEM PLAN	▲

CORPORATE DRIVE

HIGHWAY 165

*NO CONSTRUCTION ACCESS FROM HIGHWAY 165 OR CORPORATE DRIVE

*DURING CONSTRUCTION, NO GARBAGE DUMPSTERS SHALL BE PLACED WITHIN VILLAGE OR STATE RIGHTS OF WAY.

PARCEL FIFTEEN (15) OF CERTIFIED SURVEY MAP NO. 1489 ON FILE AND OF RECORD IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN IN VOLUME 1488 OF RECORDS, PAGES 153-57, AS DOCUMENT NO. 872368; BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1382 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST, THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO.: 92-4-122-302-0132.

PARCEL SIXTEEN OF CERTIFIED SURVEY MAP NO. 1701 RECORDED IN THE KENOSHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 1609 OF RECORDS, PAGE 137, AS DOCUMENT NO. 234976; BEING A DIVISION OF PARCELS 16 AND 17 OF CERTIFIED SURVEY MAP NO. 1489 IN THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO.: 92-4-122-302-0138.

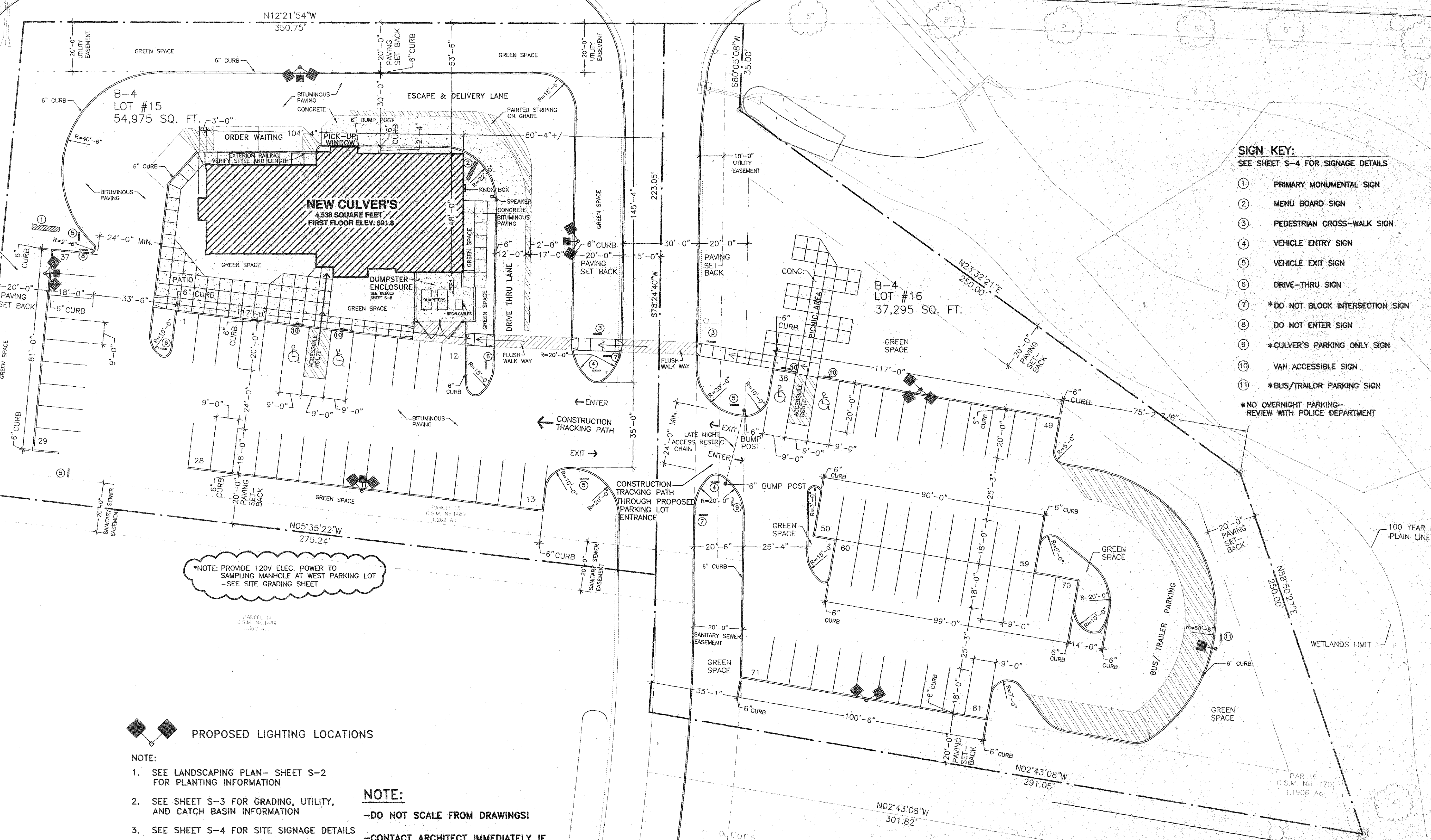
STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON WI 53105
TELEPHONE: (262) 763-8728 FAX: (262) 763-1871
E-MAIL: stelling@aol.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI 53156
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
PROPOSED SITE PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:	1-29-01
APPROVED:	
DRAWN BY:	ACN
DATE:	12-4-00
PROJECT NUMBER:	0039
SHEET NUMBER:	S-1



- SIGN KEY:**
SEE SHEET S-4 FOR SIGNAGE DETAILS
- ① PRIMARY MONUMENTAL SIGN
 - ② MENU BOARD SIGN
 - ③ PEDESTRIAN CROSS-WALK SIGN
 - ④ VEHICLE ENTRY SIGN
 - ⑤ VEHICLE EXIT SIGN
 - ⑥ DRIVE-THRU SIGN
 - ⑦ *DO NOT BLOCK INTERSECTION SIGN
 - ⑧ DO NOT ENTER SIGN
 - ⑨ *CULVER'S PARKING ONLY SIGN
 - ⑩ VAN ACCESSIBLE SIGN
 - ⑪ *BUS/TRAILER PARKING SIGN
- *NO OVERNIGHT PARKING—REVIEW WITH POLICE DEPARTMENT

- ◆◆ PROPOSED LIGHTING LOCATIONS
- NOTE:
- SEE LANDSCAPING PLAN— SHEET S-2 FOR PLANTING INFORMATION
 - SEE SHEET S-3 FOR GRADING, UTILITY, AND CATCH BASIN INFORMATION
 - SEE SHEET S-4 FOR SITE SIGNAGE DETAILS
 - SEE SHEET S-5 FOR SITE DETAILS
 - SEE SHEET S-6 FOR SITE SURVEY

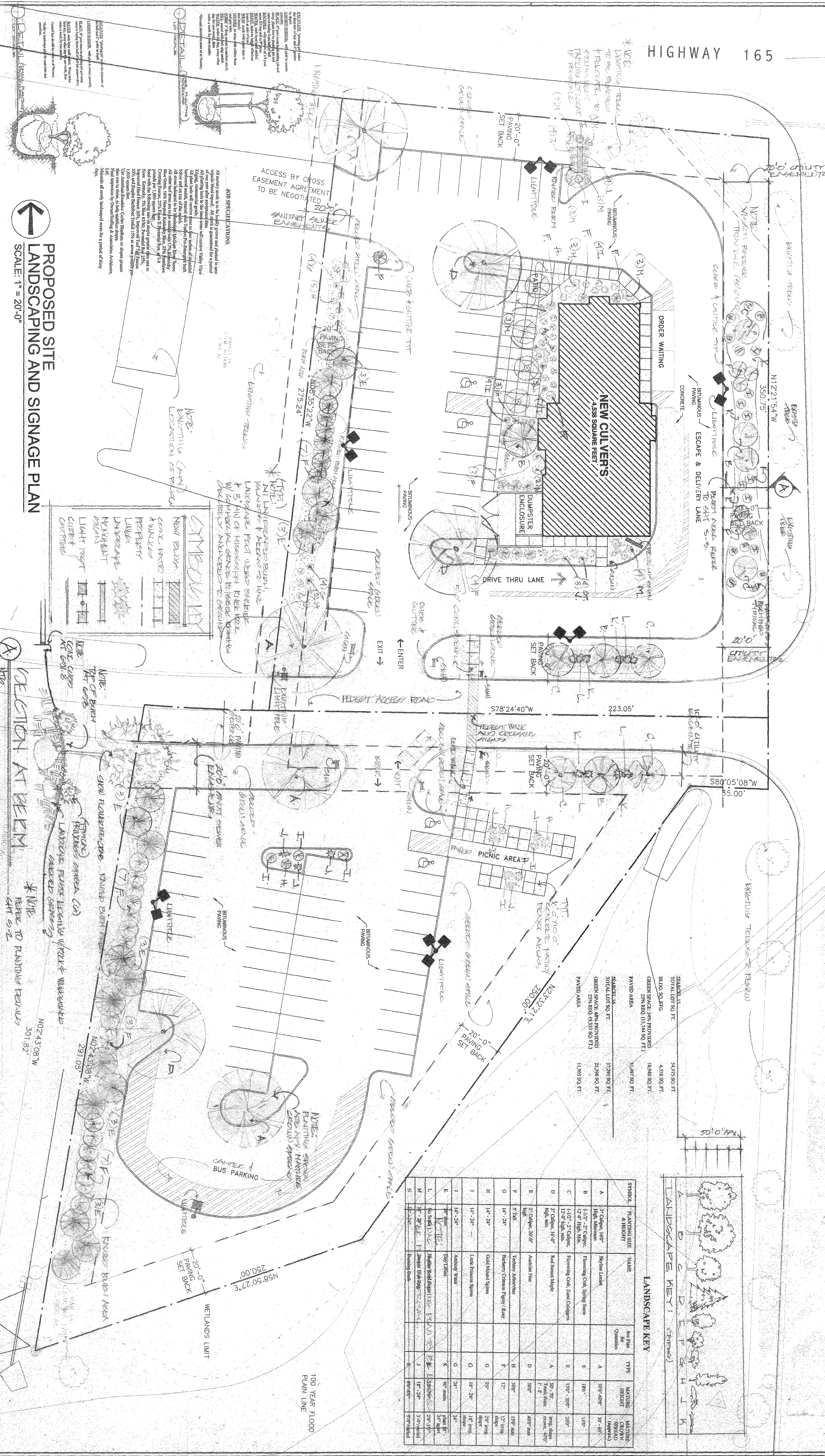
NOTE:
-DO NOT SCALE FROM DRAWINGS!
-CONTACT ARCHITECT IMMEDIATELY IF QUESTIONS ARISE!

← PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

HIGHWAY 165

CORPORATE DRIVE

NO STRUCTURES SHALL BE PLACED WITHIN THE SANITARY SEWER EASEMENT. BURNING AND LANDSCAPING IS ALLOWED, HOWEVER, ALL LAND PLANTINGS SHALL BE PLANTED WITHIN THE EASEMENT. SANITARY SEWER WITHIN THE EASEMENT, THE VILLAGE WILL NOT BE RESPONSIBLE FOR REPAIR, MAINTENANCE, REPLACEMENT OR REMOVAL OF THIS UTILITY. THIS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

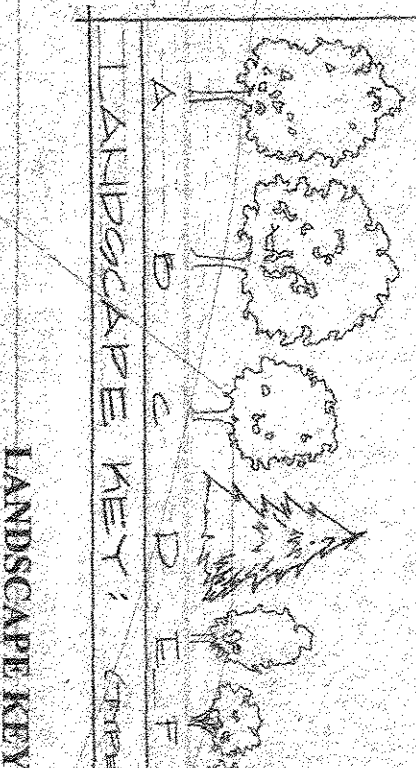


PROPOSED SITE LANDSCAPING AND SIGNAGE PLAN

SCALE: 1" = 20'-0"

SECTION AT BEERM

SYMBOL	PLANTING SIZE & HEIGHT	NAME	See File for Quantities	TYPE	MATURE HEIGHT	MATURE CANOPY (FEET)
A	3" Caliper, 10'	Shimo Laurel		A	30'-60'	30'-40'
B	1 1/2" - 2" Caliper	Flowering Crab, Spring Snow		B	18'	18'
C	1 1/2" - 2" Caliper	Burney's Orange Puff / Snow		F	12'	18'
D	12" High, 10"	Flowering Crab, Small Caliper		E	15'-30'	20'
E	5' Caliper, 10'	Red Spirea Mopple		A	40'-70'	30'-40'
F	5' Tall	American Elm		D	30'	40'
G	1 1/2" - 2" Caliper	Yucca / Agave		H	10'	15'
H	1 1/2" - 2" Caliper	Burney's Orange Puff / Snow		F	12'	18'
I	1 1/2" - 2" Caliper	Gold Mopple Spire		G	20'	20'
J	1 1/2" - 2" Caliper	Line Flower Spire		G	18'-24'	18'
K	1 1/2" - 2" Caliper	Amelanchier		G	30'	24'
L	1 1/2" - 2" Caliper	Yucca		F	12'	18'
M	1 1/2" - 2" Caliper	Yucca		F	12'	18'
N	1 1/2" - 2" Caliper	Yucca		F	12'	18'



PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE WI, 53158

PROJECT FOR:
 CMA LLC
 1048A CORPORATE PARK LOT 15 & 16
 PLEASANT PRAIRIE WI, 53158

STELLING & ASSOCIATES ARCHITECTS, LTD.

181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TELEPHONE: (262) 763-8725 FAX: (262) 763-1871
 E-MAIL: stelling@aol.com

DRAWING DESCRIPTION:
PROPOSED SITE LANDSCAPING AND SIGNAGE PLAN

DESIGNER:
 JAN 20, 2001
 BRINER SHEET

DATE: 10-20-00
PROJECT NUMBER: 0039

SHEET NUMBER: S-2
 2 OF 3

HIGHWAY 165

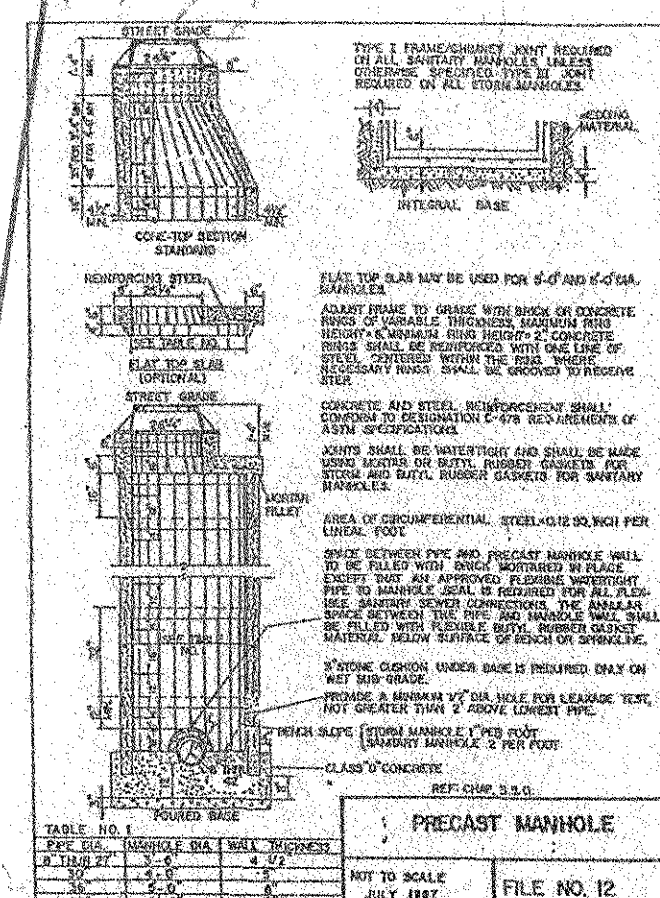
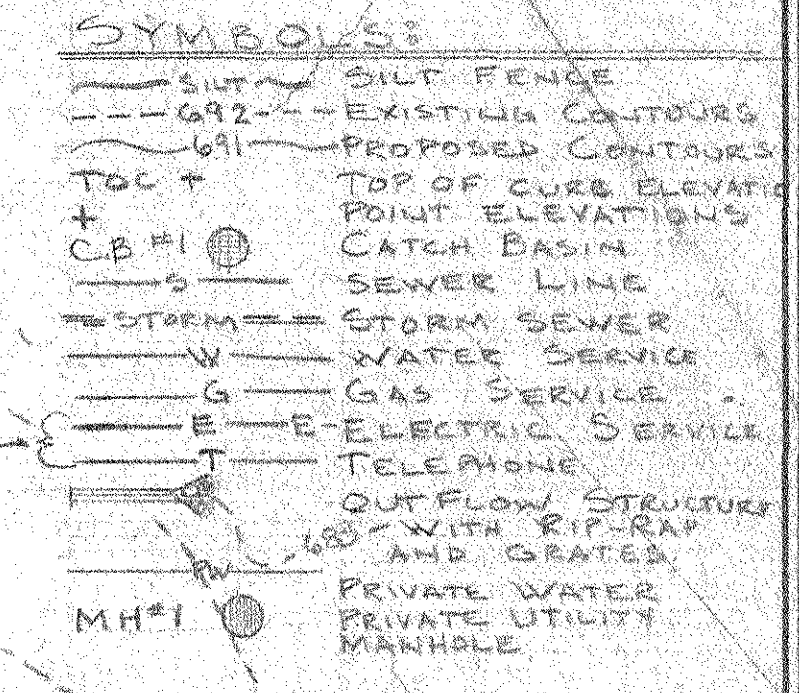
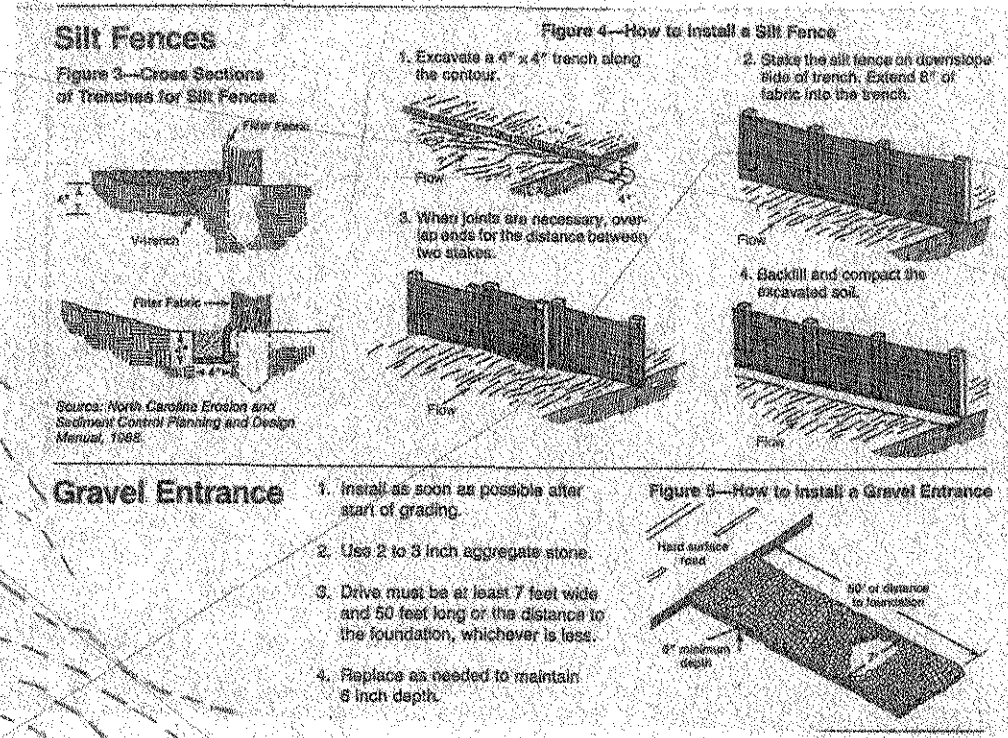
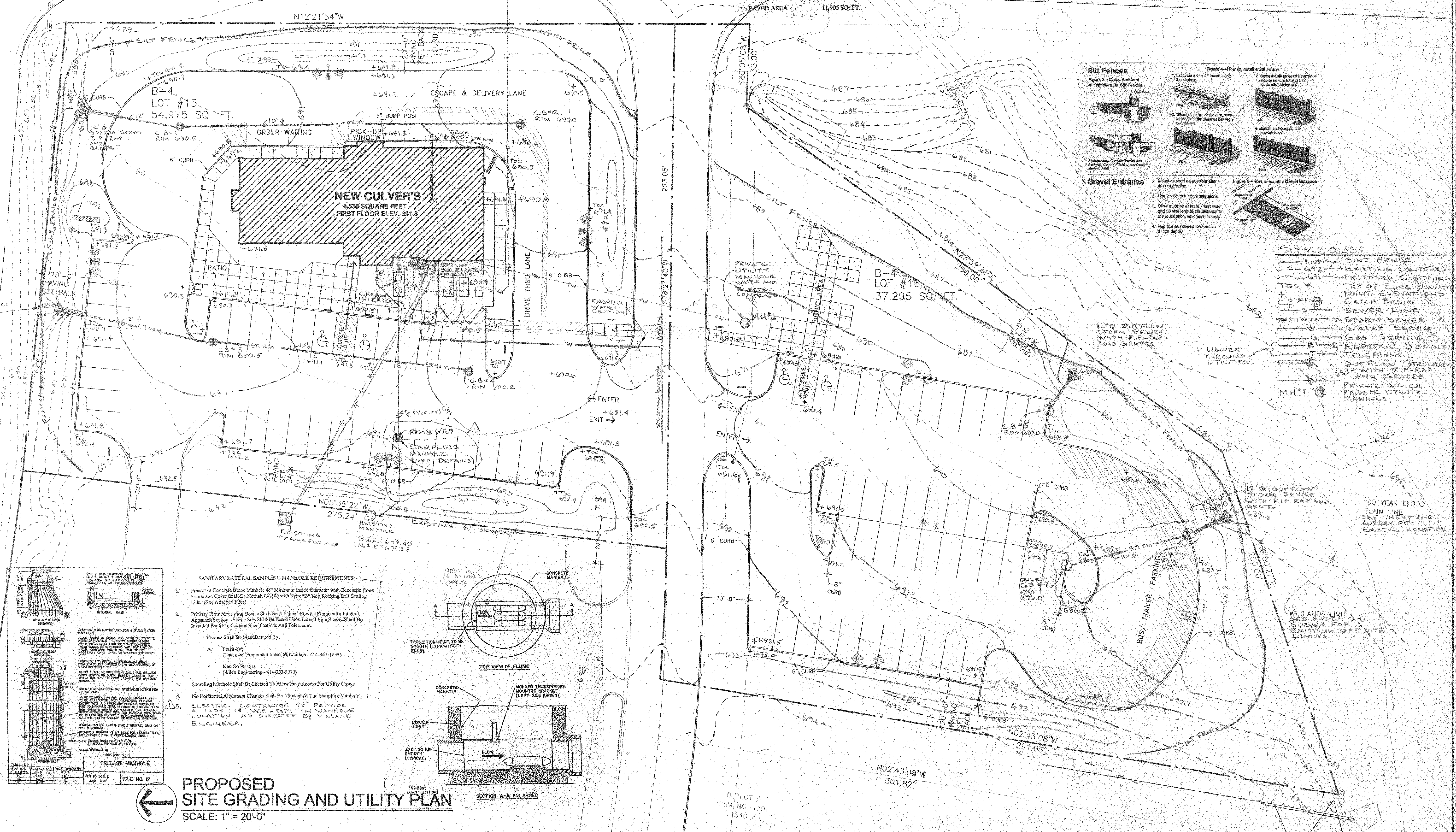
*NO CONSTRUCTION ACCESS FROM HIGHWAY 165 OR CORPORATE DRIVE

CORPORATE DRIVE

***PARCEL 15**
 TOTAL LOT SQ. FT. 54,975 SQ. FT.
 BLDG. SQ. FTG. 4,538 SQ. FT.
 GREEN SPACE 18,940 SQ. FT.
 25% Req. (13,744 sq. ft.)
 PAVED AREA 31,497 SQ. FT.
***PARCEL 16**
 TOTAL LOT SQ. FT. 37,295 SQ. FT.
 GREEN SPACE 25,390 SQ. FT.
 25% Req. (9,323 sq. ft.)
 PAVED AREA 11,905 SQ. FT.

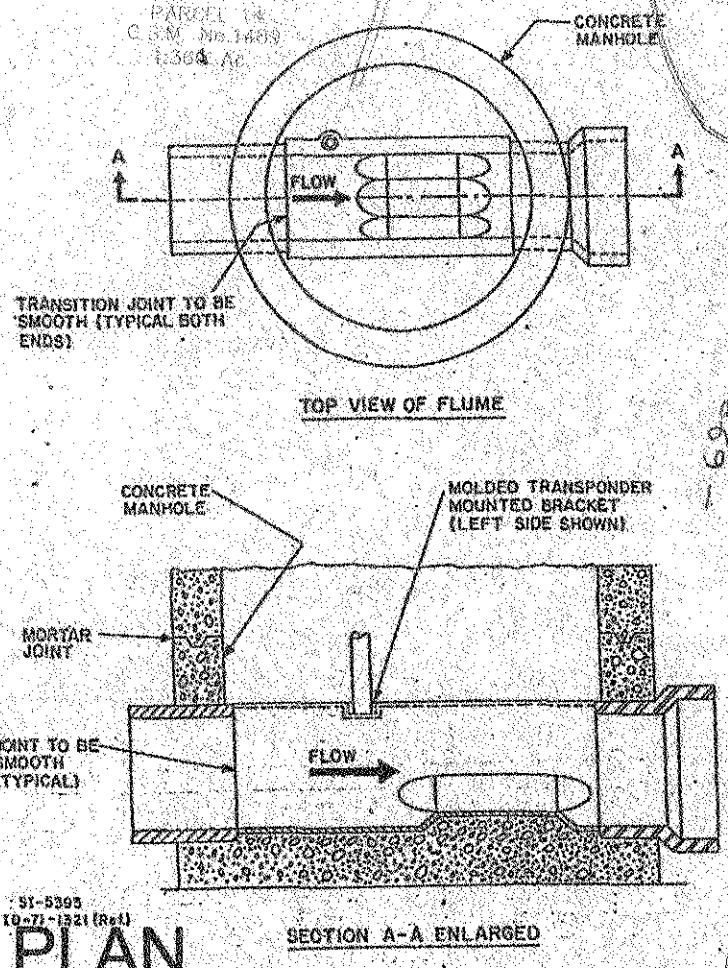
PARCEL FIFTEEN (15) OF CERTIFIED SURVEY MAP NO. 1489 ON FILE AND OF RECORD IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN IN VOLUME 1456 OF RECORDS, PAGES 153-57, AS DOCUMENT NO. 872385; BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1382 IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST, THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.
 TAX KEY NO.: 92-4-122-302-0132

PARCEL SIXTEEN (16) OF CERTIFIED SURVEY MAP NO. 1701 RECORDED IN THE KENOSHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 1609 OF RECORDS, PAGE 157, AS DOCUMENT NO. 934876; BEING A DIVISION OF PARCELS 16 AND 17 OF CERTIFIED SURVEY MAP NO. 1489 IN THE NORTHWEST QUARTER AND NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.
 TAX KEY NO.: 92-4-122-302-0138



SANITARY LATERAL SAMPLING MANHOLE REQUIREMENTS

- Precast or Concrete Block Manhole 48" Minimum Inside Diameter with Eccentric Cone Frame and Cover Shall Be Necess. R-1580 with Type "D" Non Racking Self Sealing Lids. (See Attached Files).
- Primary Flow Measuring Device Shall Be A Palmer-Bowling Flume with Integral Approach Section. Flume Size Shall Be Based Upon Lateral Pipe Size & Shall Be Installed Per Manufacturer's Specifications And Tolerances.
 Flumes Shall Be Manufactured By:
 A. Plast-Fab (Technical Equipment Sales, Milwaukee - 414-963-1633)
 B. Ken Co Plastics (Allen Engineering - 414-353-0079)
- Sampling Manhole Shall Be Located To Allow Easy Access For Utility Crews.
- No Horizontal Alignments Changes Shall Be Allowed At The Sampling Manhole.
- ELECTRIC OUTLETAGE TO PROVIDE A 120V 15 AMP GFI IN MANHOLE LOCATION AS DIRECTED BY VILLAGE ENGINEER.



PROPOSED SITE GRADING AND UTILITY PLAN
 SCALE: 1" = 20'-0"

STELLING & ASSOCIATES, LTD.
 ARCHITECTS, LTD.

181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TELEPHONE: (262) 763-9725 FAX: (262) 763-9771
 E-MAIL: stelling@stg.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, WI 53188

PROJECT FOR:
OMA L.L.C.
 10484 CORPORATE DRIVE
 PLEASANT PRAIRIE, WI

DRAWING DESCRIPTION:
PROPOSED SITE GRADING AND UTILITY PLAN

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
 Δ JAN 29, 2001

APPROVED:

DRAWN BY:
 ACN

DATE:
 12-4-00

PROJECT NUMBER:
 0039

SHEET NUMBER:
S-3

ADDENRUM # 1

This is an addendum to the project documents prepared by Stelling and Associates
Architects and Dated 12/4/01

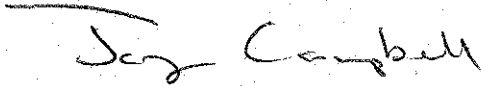
Scope Change: This addendum changes the size of the Ground Monument Sign
and the drive thru lane menu sign to comply with the size requirements set forth by the
Village of Pleasant Prairie.

Please add to all submitted project documents.

Thank you,

Burkhart Construction Corp.

Jay Campbell / Project Manager



id Enter, Exit, & Drive

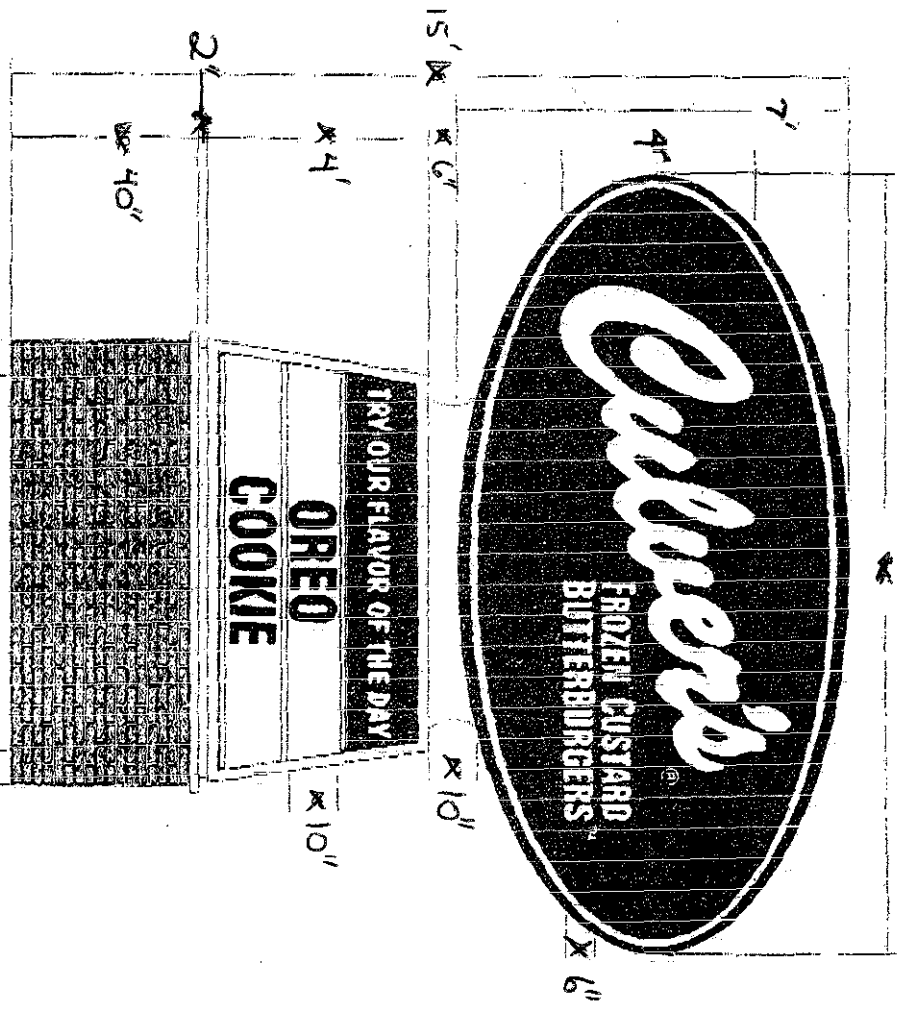
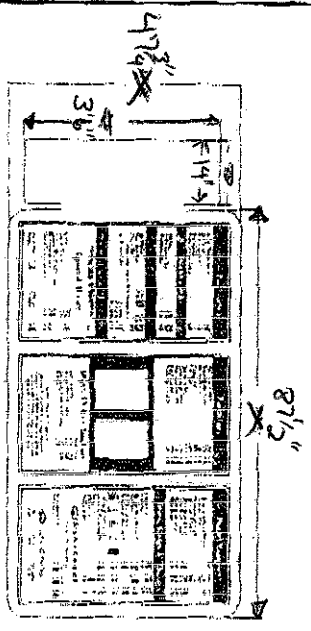
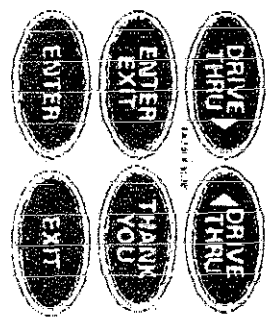
INSTRUCTION

must be run to the and
actridant)



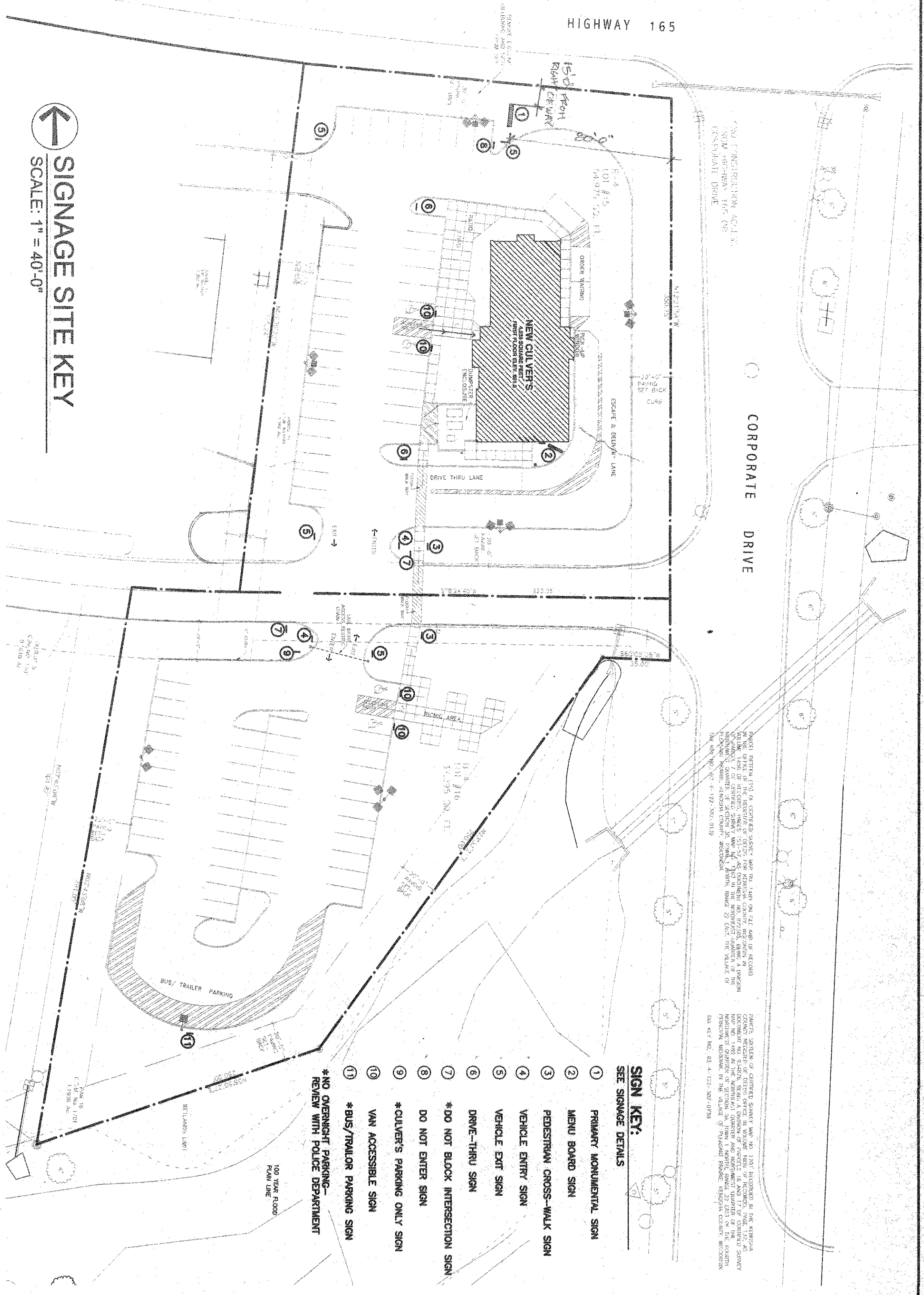
DESIGNER
14645 W. 50th St.
17 Fax: (319) 266-0799
2001

needed for you
with a perfect being
est. It is not to be
outside of
the (reproduced)
show. IF NOT
DAYS FROM
exchange for the
development.



Note: 1' x 3' Address Block Centered
in masonry Base

(Note: Colors shown on print are not exact to paint or vinyl colors)

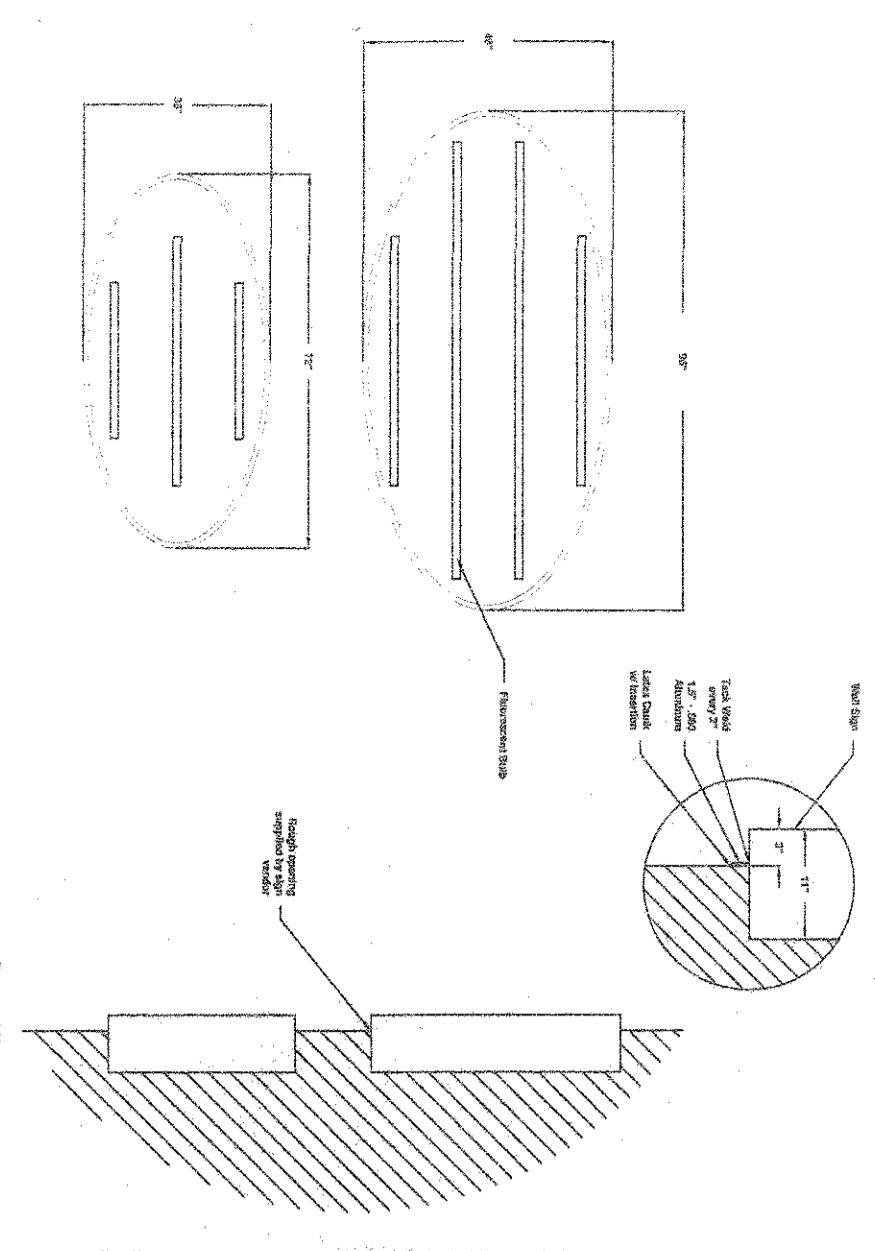


← SIGNAGE SITE KEY
SCALE: 1" = 40'-0"

SIGN KEY:

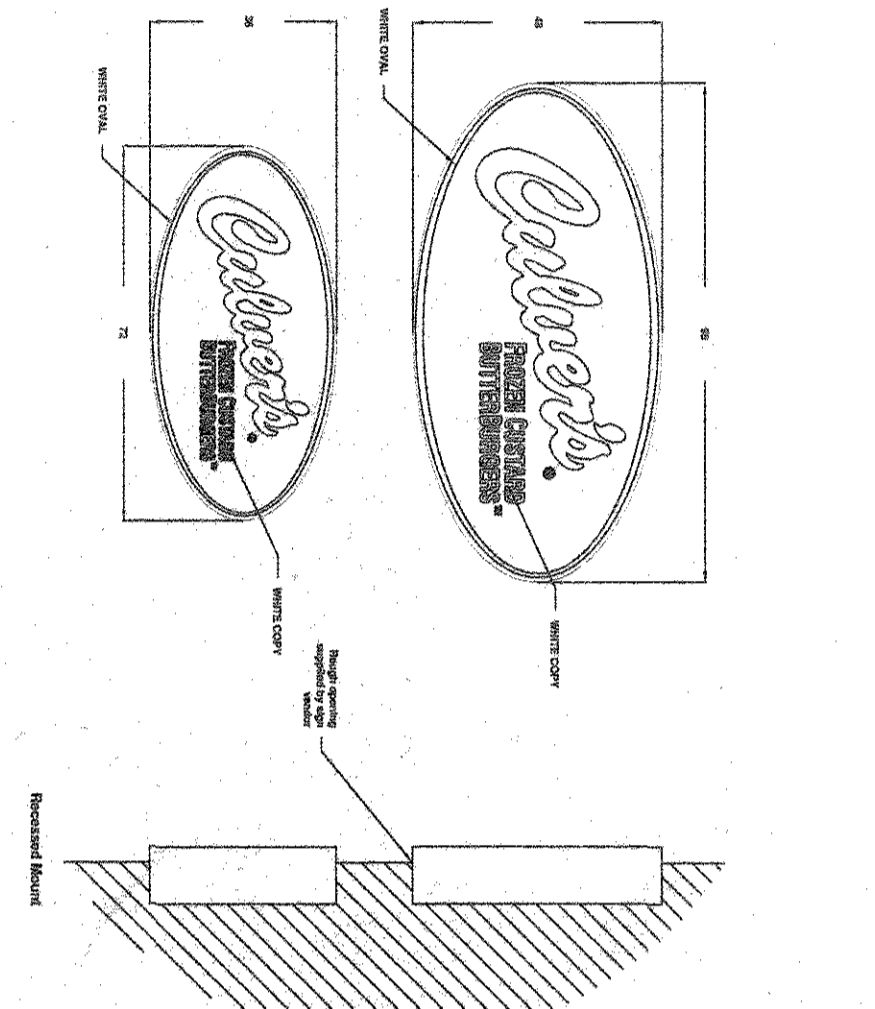
- 1 PRIMARY MONUMENTAL SIGN
 - 2 MENU BOARD SIGN
 - 3 PEDESTRIAN CROSS-WALK SIGN
 - 4 VEHICLE ENTRY SIGN
 - 5 VEHICLE EXIT SIGN
 - 6 DRIVE-THRU SIGN
 - 7 DO NOT BLOCK INTERSECTION SIGN
 - 8 DO NOT ENTER SIGN
 - 9 CULVER'S PARKING ONLY SIGN
 - 10 VAN ACCESSIBLE SIGN
 - 11 BUS/TRAILOR PARKING SIGN
- *NO OVERNIGHT PARKING - REVIEW WITH POLICE DEPARTMENT

THIS DRAWING IS THE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF STELLING & ASSOCIATES ARCHITECTS, LTD. IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



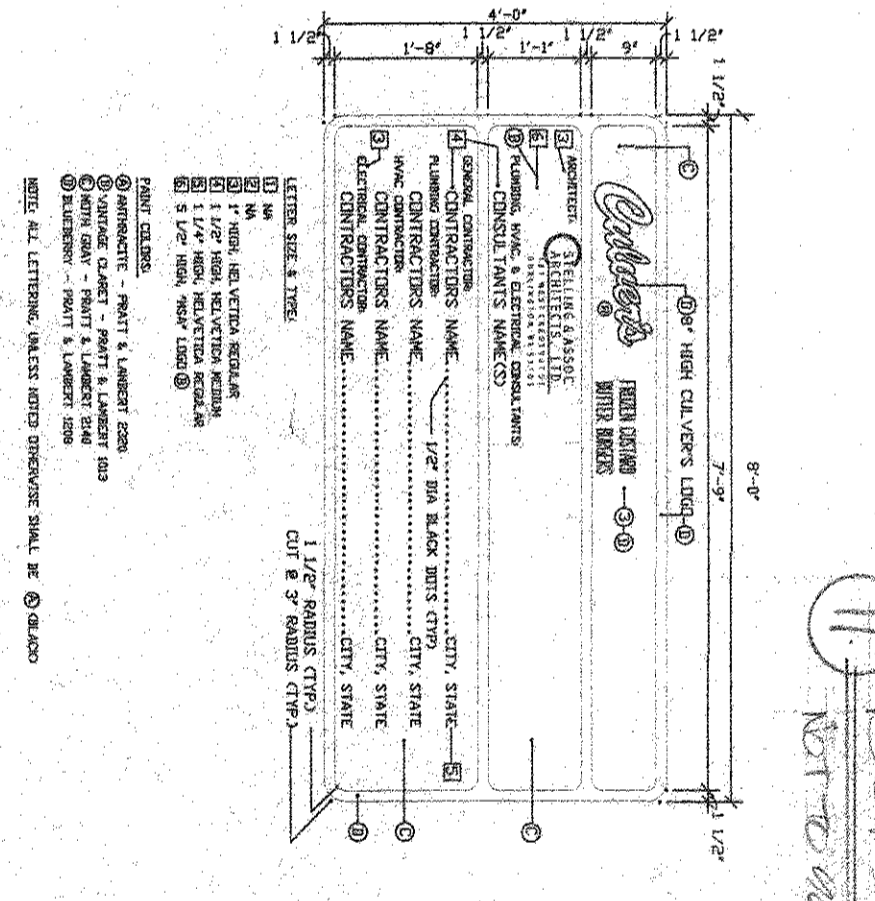
OVAL WALL SIGN
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.



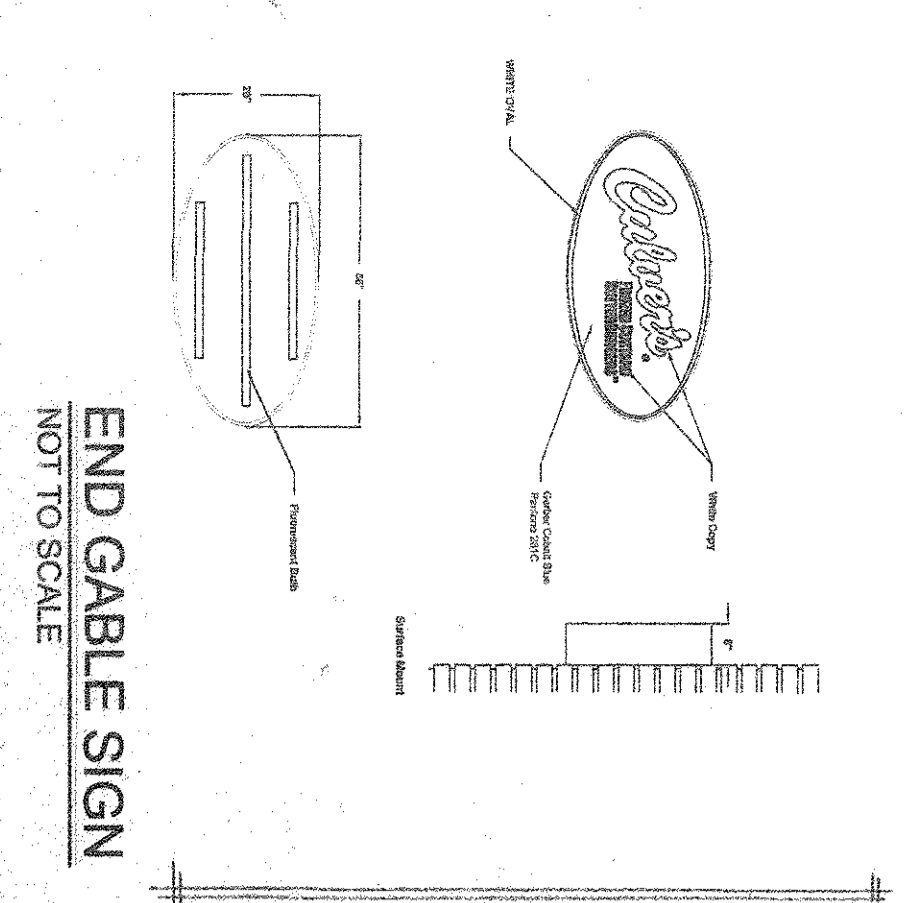
OVAL WALL SIGN
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.



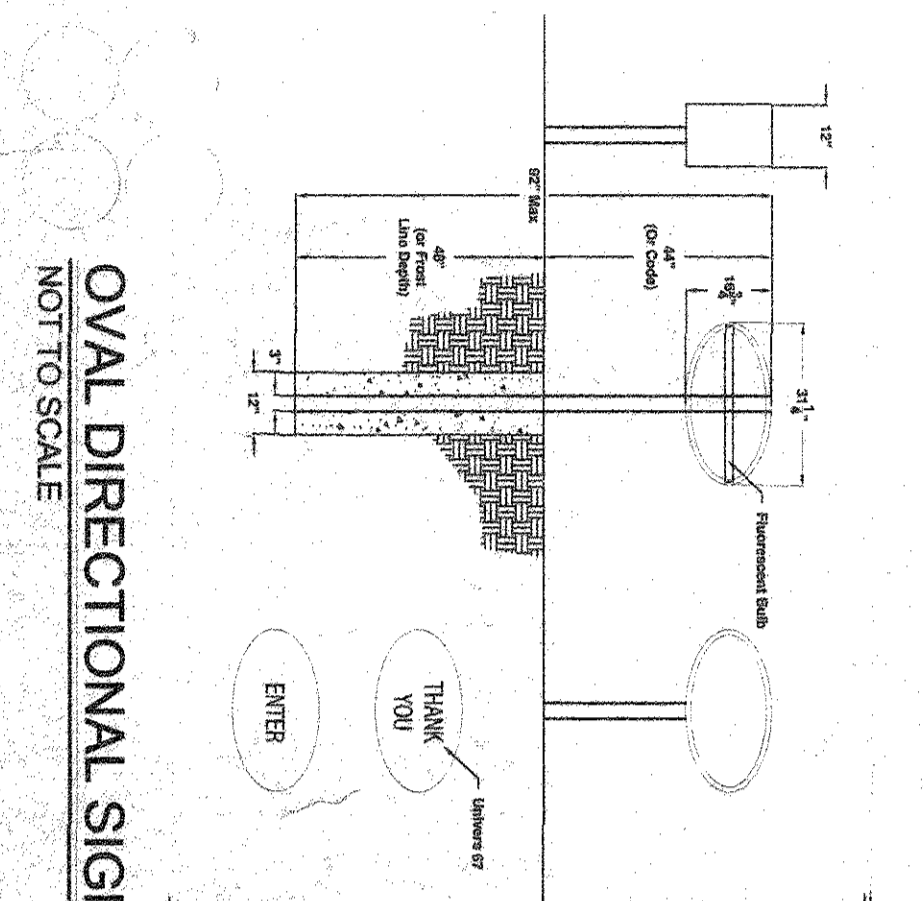
JOB SITE SIGN
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.



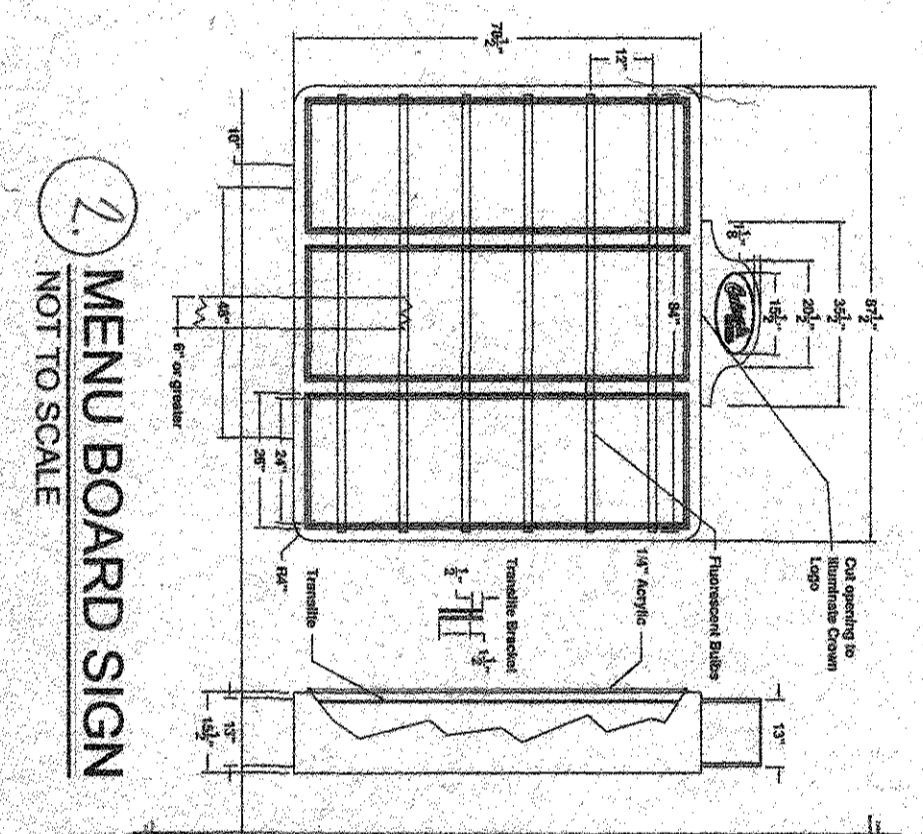
END GABLE SIGN
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.



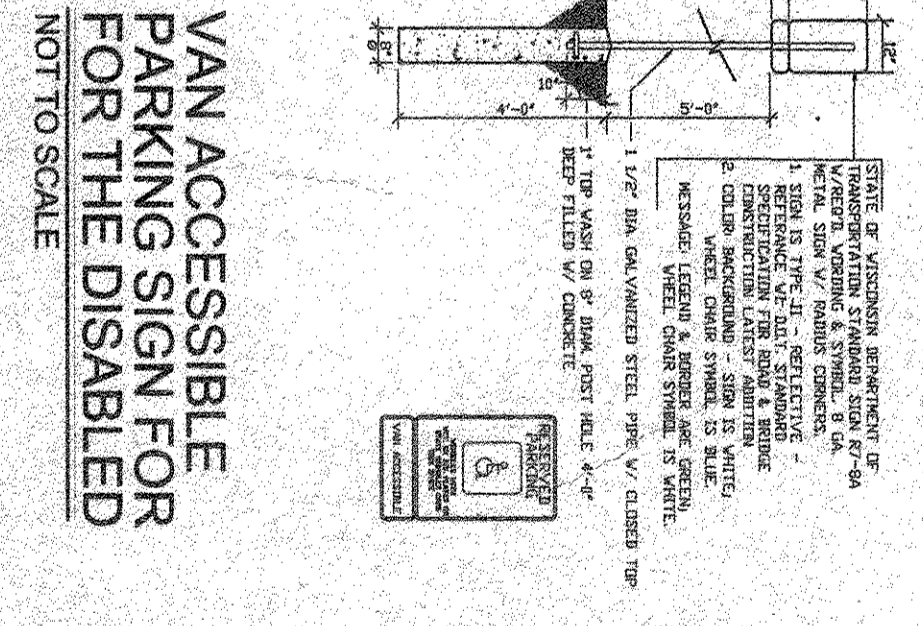
OVAL DIRECTIONAL SIGN
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.



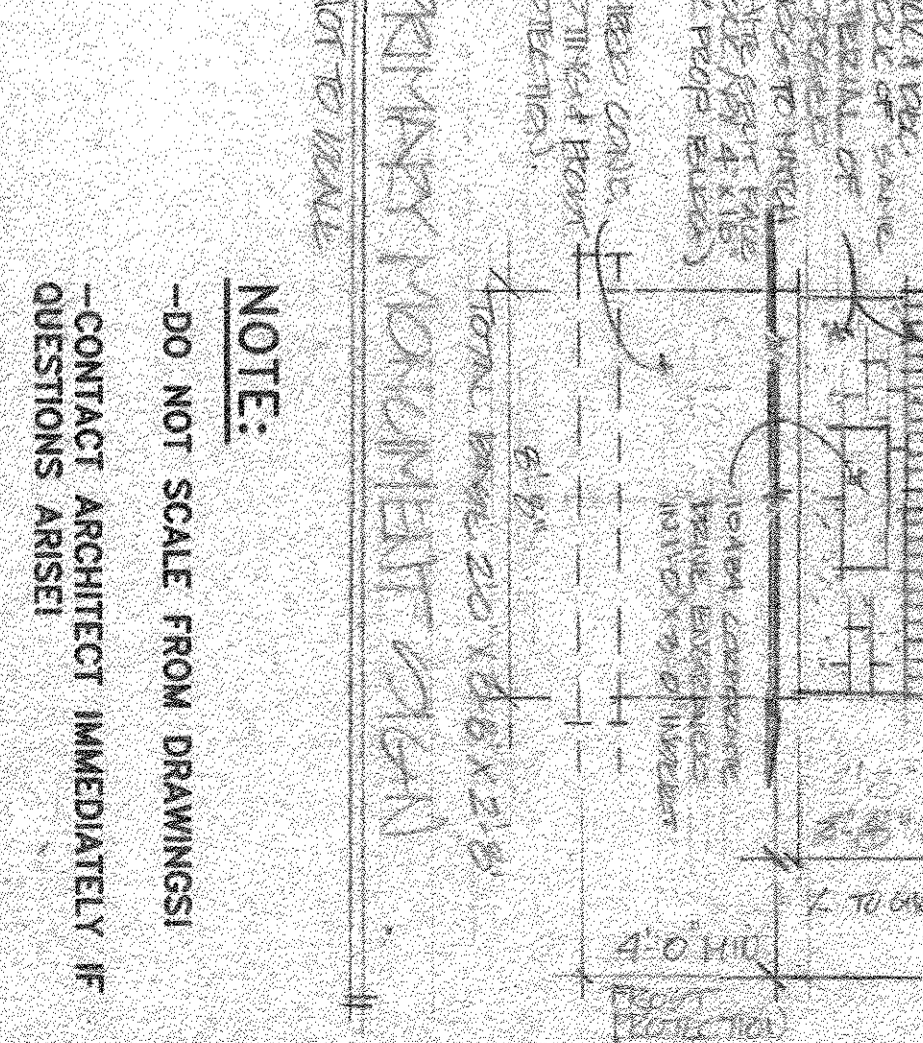
2. MENU BOARD SIGN
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.



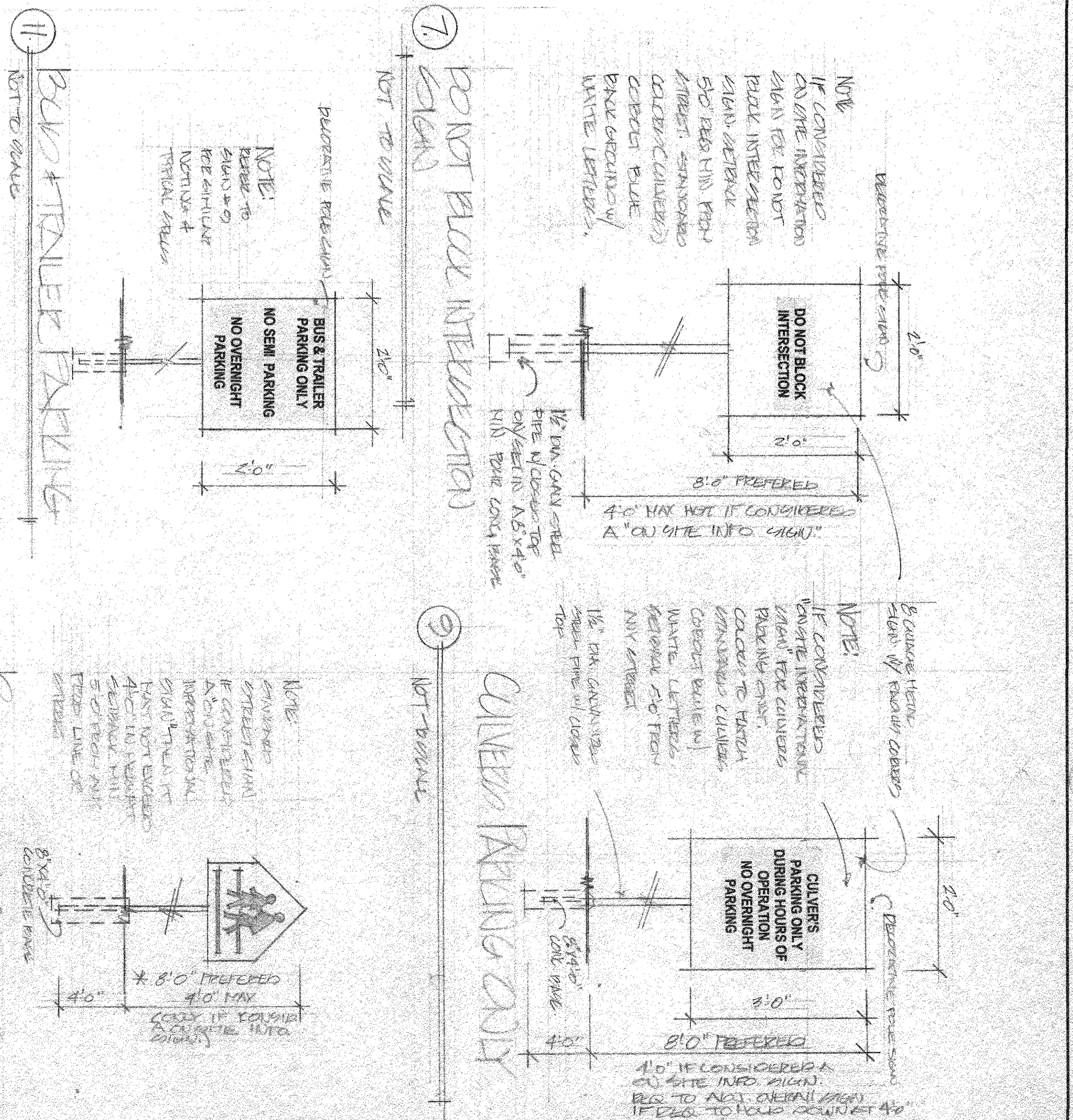
10. VAN ACCESSIBLE PARKING SIGN FOR THE DISABLED
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.



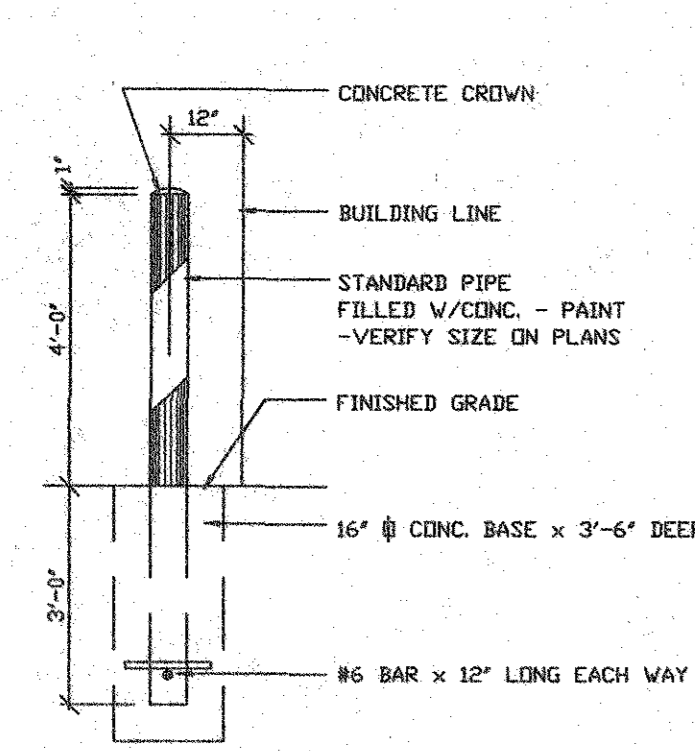
1. PRIMARY MONUMENTAL SIGN
NOT TO SCALE

Notes:
1. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
2. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
3. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
4. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
5. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
6. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
7. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
8. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
9. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
10. SIGN SHALL BE MOUNTED TO CONCRETE WALL.
11. SIGN SHALL BE MOUNTED TO CONCRETE WALL.

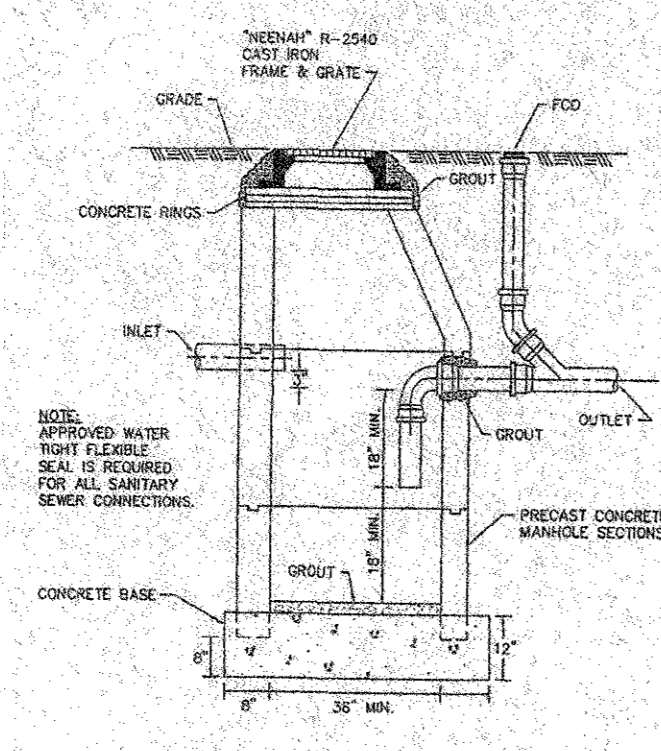


NOTE:
ALL SIGNS TO BE CONSIDERED TO INTERFERE WITH VISIBILITY OF NOT LESS THAN 40 FEET PER LOCAL CODES AND ORDINANCES.

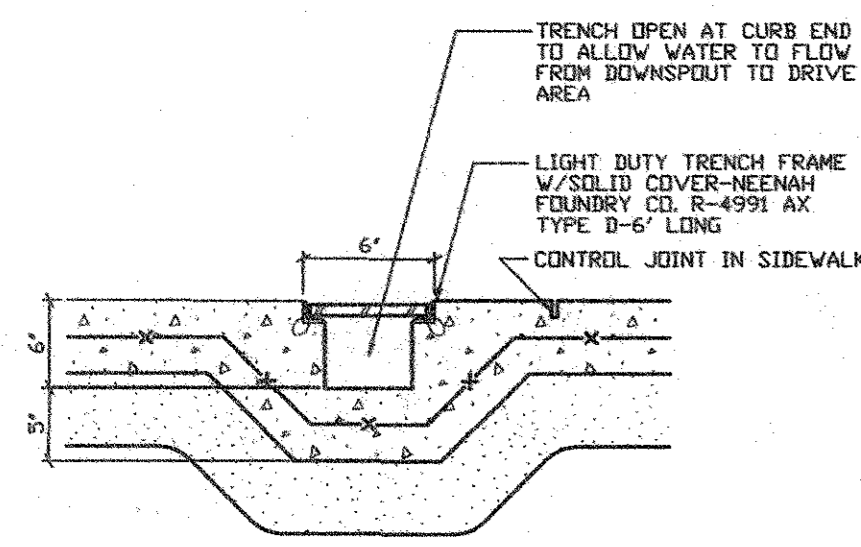
NOTE:
IF CONSIDERED A DO NOT BLOCK INTERSECTION SIGN, IT MUST BE PLACED AT LEAST 40 FEET FROM THE INTERSECTION.



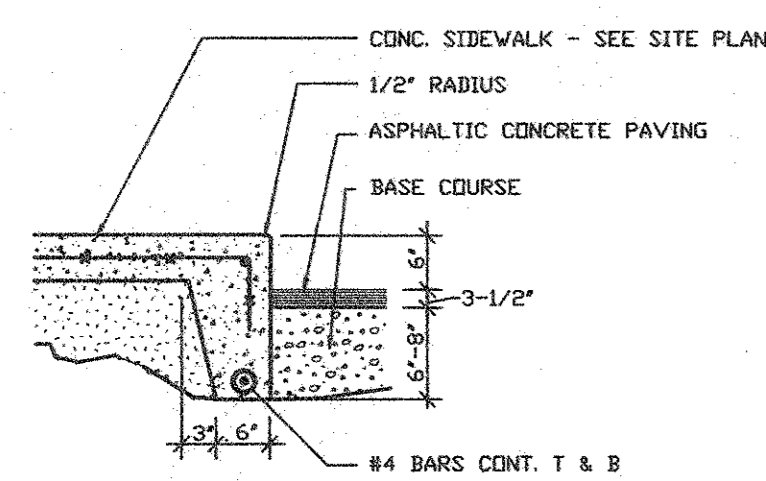
TYPICAL GUARD POST DETAIL
N.T.S.



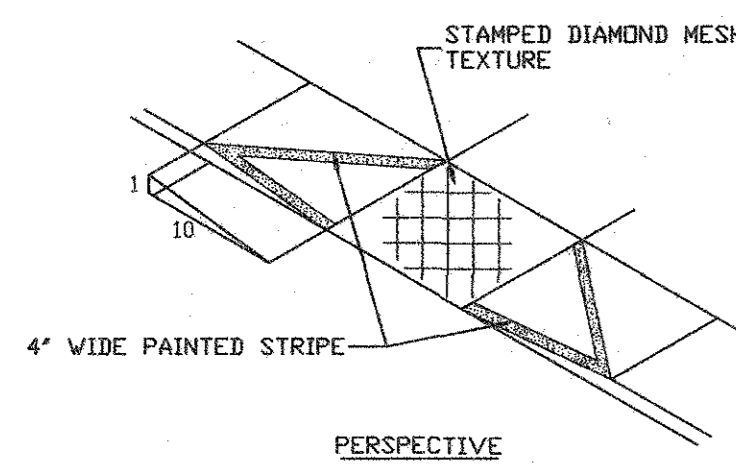
CATCH BASIN DETAIL
N.T.S.



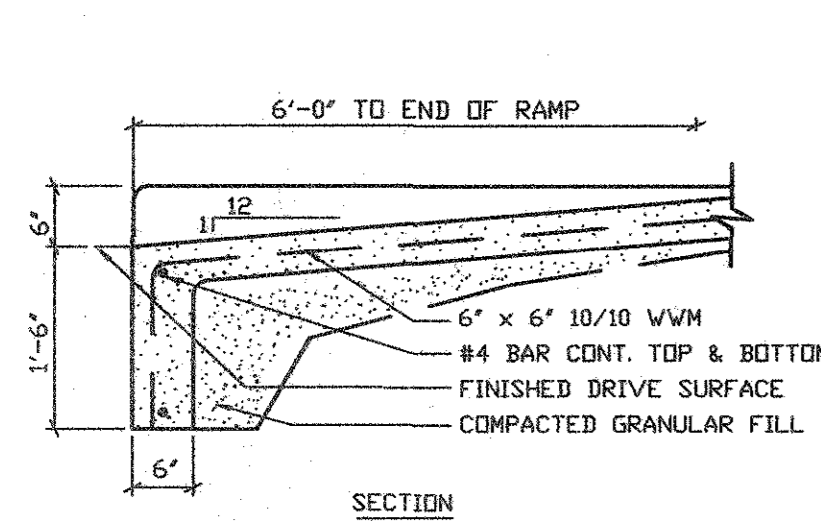
SIDEWALK TRENCH DETAIL
N.T.S.



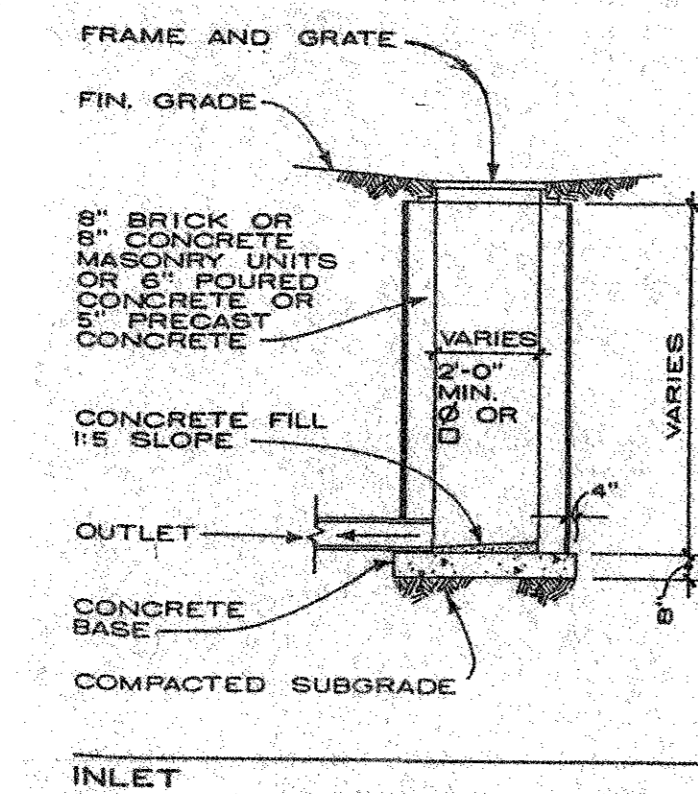
CURB/SIDEWALK SECTION
N.T.S.



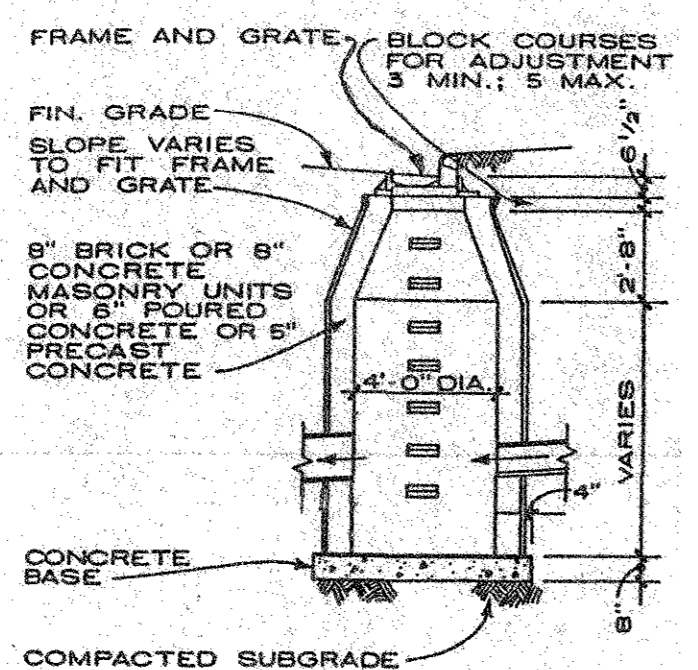
PERSPECTIVE



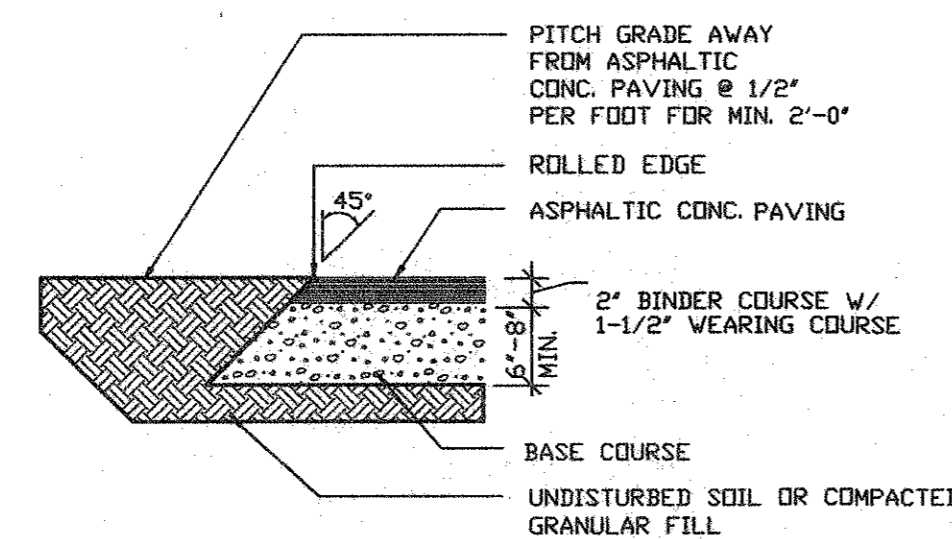
CURB - CUT DETAIL
N.T.S.



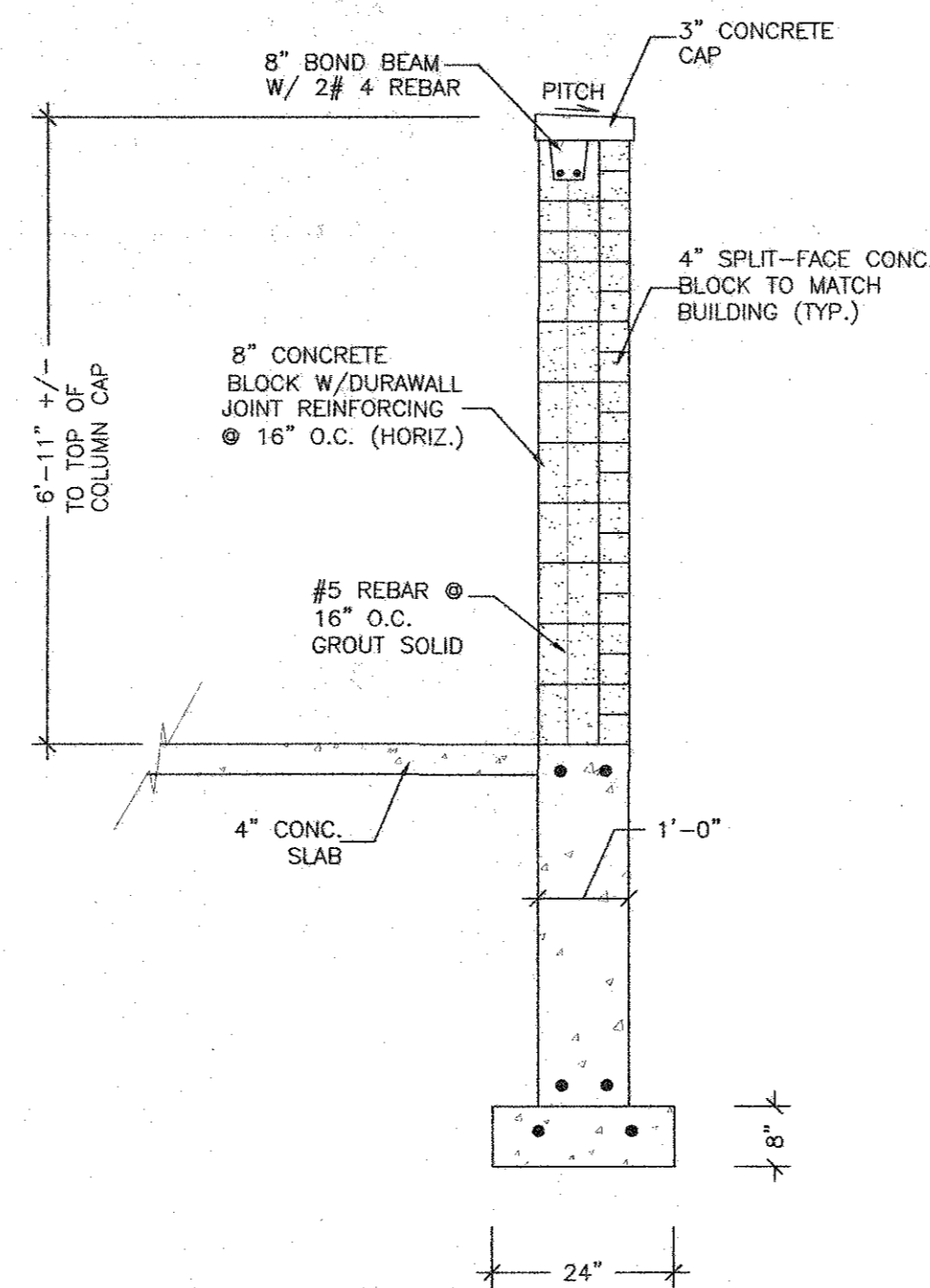
INLET



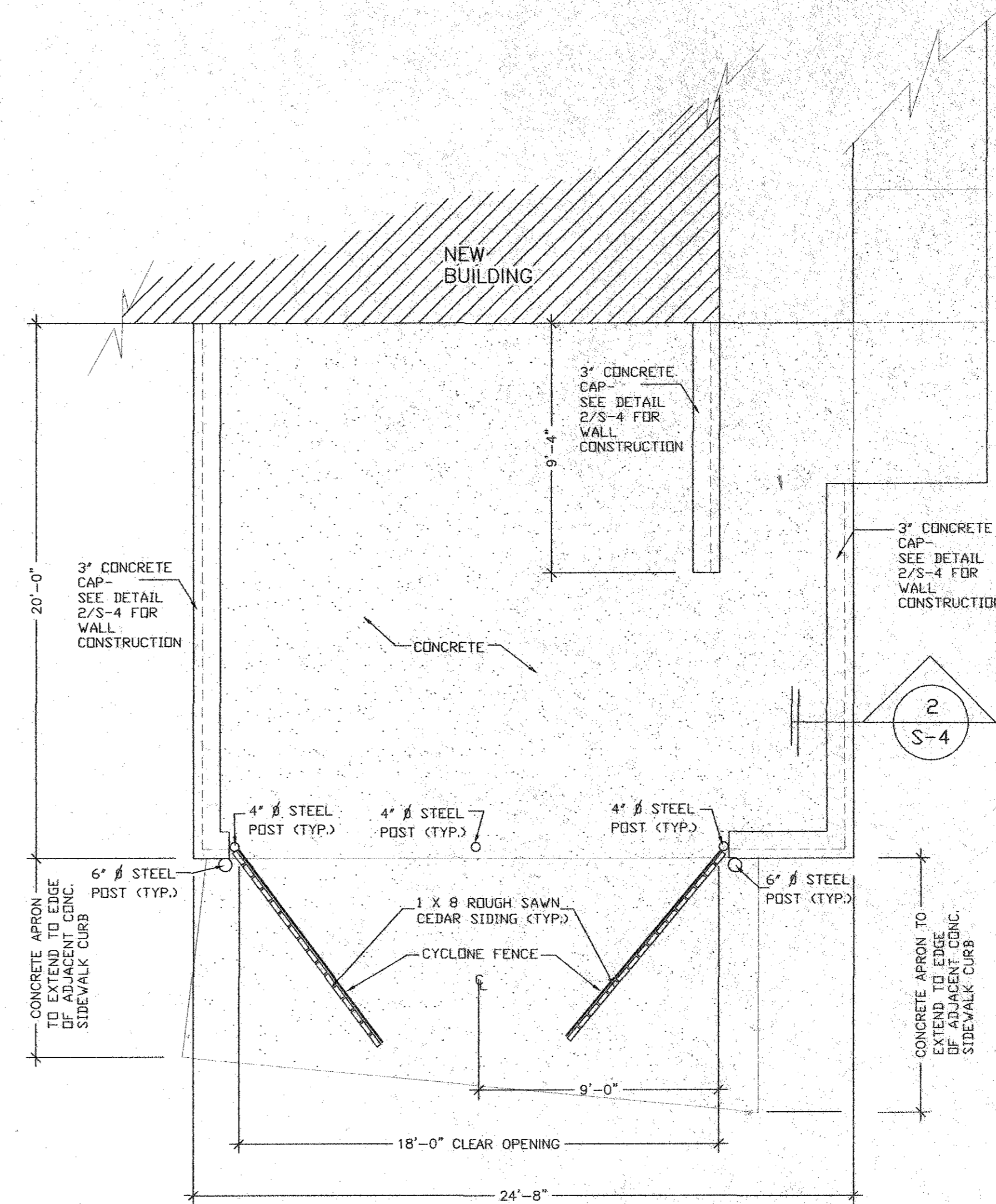
CATCH BASIN



EDGE OF PAVING DETAIL
N.T.S.

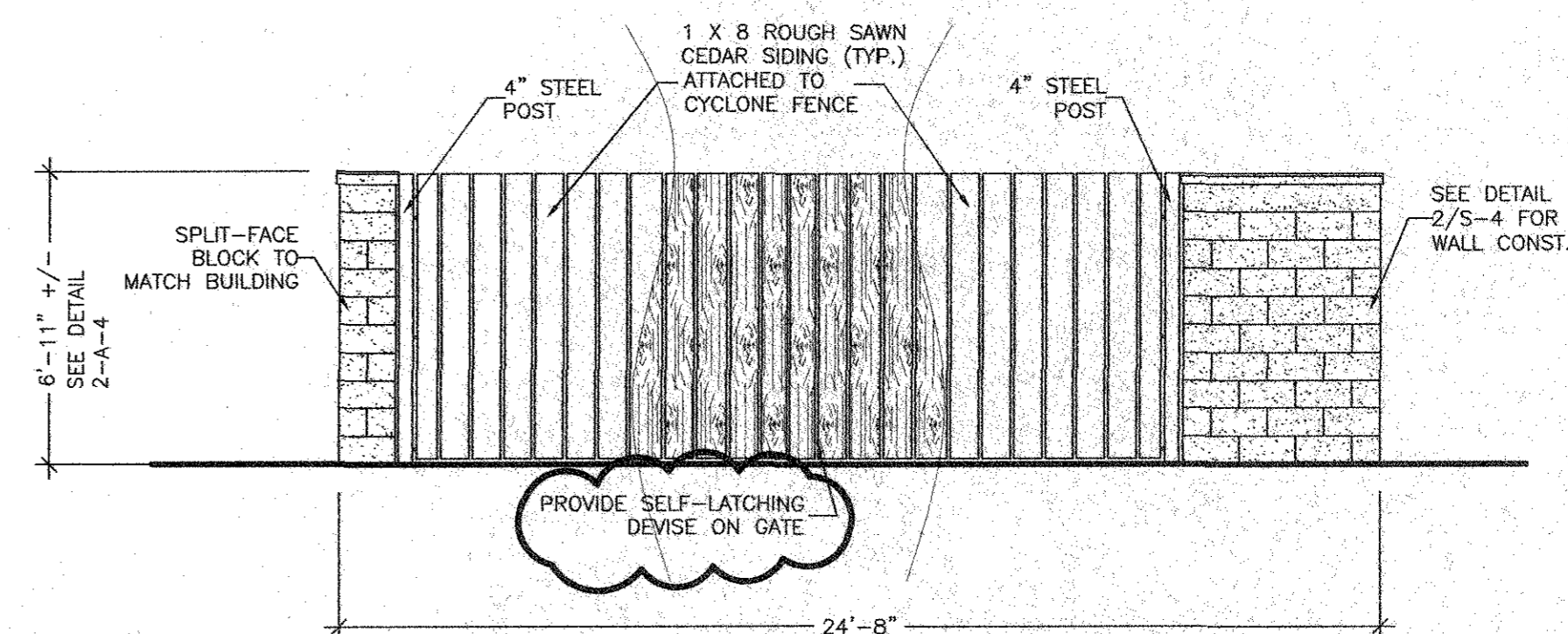


2 DUMPSTER ENCLOSURE WALL SECTION
SCALE: 1/2" = 1'-0"



NOTE: PROVIDE SELF-LATCHING CLOSURE AT GATE

1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

STELLING & ASSOCIATES
ARCHITECTS, LTD.

NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158

OMA, L.L.C.

SITE DETAILS AND
DUMPSTER ENCLOSURE

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE
IDEAS AND DESIGN
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE SOLE PROPERTY OF
STELLING & ASSOCIATES
ARCHITECTS, LTD. AND IS
NOT TO BE USED IN WHOLE
OR IN PART FOR ANY
OTHER PROJECT OR
PURPOSE WITHOUT THE
EXPRESSED WRITTEN
AUTHORIZATION OF STELLING
& ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
S-5

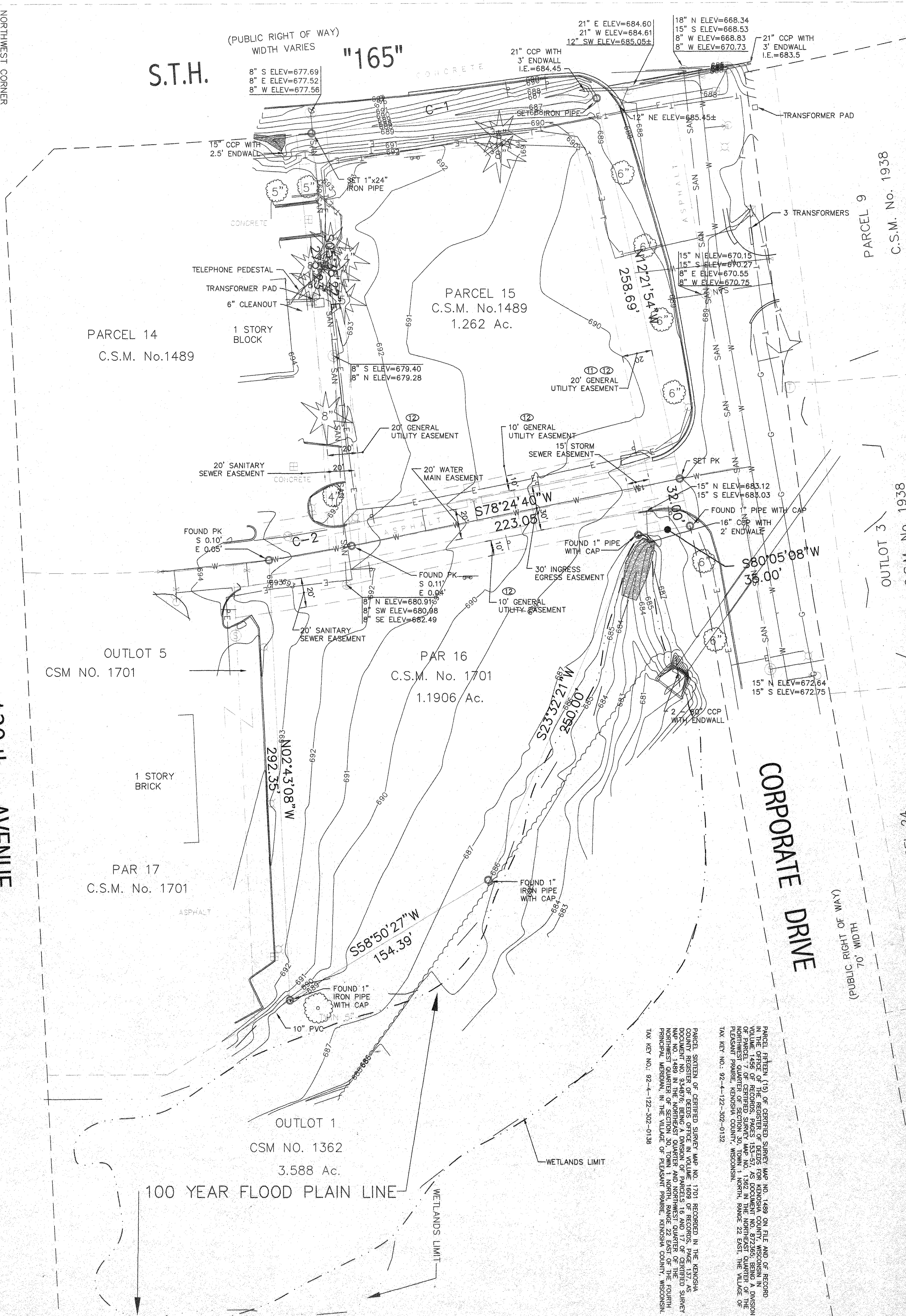
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1	15.00	1.57	1.57	1.57	90.00	90.00
2	15.00	1.57	1.57	1.57	90.00	90.00
3	15.00	1.57	1.57	1.57	90.00	90.00
4	15.00	1.57	1.57	1.57	90.00	90.00
5	15.00	1.57	1.57	1.57	90.00	90.00
6	15.00	1.57	1.57	1.57	90.00	90.00
7	15.00	1.57	1.57	1.57	90.00	90.00
8	15.00	1.57	1.57	1.57	90.00	90.00
9	15.00	1.57	1.57	1.57	90.00	90.00
10	15.00	1.57	1.57	1.57	90.00	90.00
11	15.00	1.57	1.57	1.57	90.00	90.00
12	15.00	1.57	1.57	1.57	90.00	90.00
13	15.00	1.57	1.57	1.57	90.00	90.00
14	15.00	1.57	1.57	1.57	90.00	90.00
15	15.00	1.57	1.57	1.57	90.00	90.00
16	15.00	1.57	1.57	1.57	90.00	90.00
17	15.00	1.57	1.57	1.57	90.00	90.00
18	15.00	1.57	1.57	1.57	90.00	90.00
19	15.00	1.57	1.57	1.57	90.00	90.00
20	15.00	1.57	1.57	1.57	90.00	90.00
21	15.00	1.57	1.57	1.57	90.00	90.00
22	15.00	1.57	1.57	1.57	90.00	90.00
23	15.00	1.57	1.57	1.57	90.00	90.00
24	15.00	1.57	1.57	1.57	90.00	90.00
25	15.00	1.57	1.57	1.57	90.00	90.00
26	15.00	1.57	1.57	1.57	90.00	90.00
27	15.00	1.57	1.57	1.57	90.00	90.00
28	15.00	1.57	1.57	1.57	90.00	90.00
29	15.00	1.57	1.57	1.57	90.00	90.00
30	15.00	1.57	1.57	1.57	90.00	90.00
31	15.00	1.57	1.57	1.57	90.00	90.00
32	15.00	1.57	1.57	1.57	90.00	90.00
33	15.00	1.57	1.57	1.57	90.00	90.00
34	15.00	1.57	1.57	1.57	90.00	90.00
35	15.00	1.57	1.57	1.57	90.00	90.00
36	15.00	1.57	1.57	1.57	90.00	90.00
37	15.00	1.57	1.57	1.57	90.00	90.00
38	15.00	1.57	1.57	1.57	90.00	90.00
39	15.00	1.57	1.57	1.57	90.00	90.00
40	15.00	1.57	1.57	1.57	90.00	90.00
41	15.00	1.57	1.57	1.57	90.00	90.00
42	15.00	1.57	1.57	1.57	90.00	90.00
43	15.00	1.57	1.57	1.57	90.00	90.00
44	15.00	1.57	1.57	1.57	90.00	90.00
45	15.00	1.57	1.57	1.57	90.00	90.00
46	15.00	1.57	1.57	1.57	90.00	90.00
47	15.00	1.57	1.57	1.57	90.00	90.00
48	15.00	1.57	1.57	1.57	90.00	90.00
49	15.00	1.57	1.57	1.57	90.00	90.00
50	15.00	1.57	1.57	1.57	90.00	90.00
51	15.00	1.57	1.57	1.57	90.00	90.00
52	15.00	1.57	1.57	1.57	90.00	90.00
53	15.00	1.57	1.57	1.57	90.00	90.00
54	15.00	1.57	1.57	1.57	90.00	90.00
55	15.00	1.57	1.57	1.57	90.00	90.00
56	15.00	1.57	1.57	1.57	90.00	90.00
57	15.00	1.57	1.57	1.57	90.00	90.00
58	15.00	1.57	1.57	1.57	90.00	90.00
59	15.00	1.57	1.57	1.57	90.00	90.00
60	15.00	1.57	1.57	1.57	90.00	90.00
61	15.00	1.57	1.57	1.57	90.00	90.00
62	15.00	1.57	1.57	1.57	90.00	90.00
63	15.00	1.57	1.57	1.57	90.00	90.00
64	15.00	1.57	1.57	1.57	90.00	90.00
65	15.00	1.57	1.57	1.57	90.00	90.00
66	15.00	1.57	1.57	1.57	90.00	90.00
67	15.00	1.57	1.57	1.57	90.00	90.00
68	15.00	1.57	1.57	1.57	90.00	90.00
69	15.00	1.57	1.57	1.57	90.00	90.00
70	15.00	1.57	1.57	1.57	90.00	90.00
71	15.00	1.57	1.57	1.57	90.00	90.00
72	15.00	1.57	1.57	1.57	90.00	90.00
73	15.00	1.57	1.57	1.57	90.00	90.00
74	15.00	1.57	1.57	1.57	90.00	90.00
75	15.00	1.57	1.57	1.57	90.00	90.00
76	15.00	1.57	1.57	1.57	90.00	90.00
77	15.00	1.57	1.57	1.57	90.00	90.00
78	15.00	1.57	1.57	1.57	90.00	90.00
79	15.00	1.57	1.57	1.57	90.00	90.00
80	15.00	1.57	1.57	1.57	90.00	90.00
81	15.00	1.57	1.57	1.57	90.00	90.00
82	15.00	1.57	1.57	1.57	90.00	90.00
83	15.00	1.57	1.57	1.57	90.00	90.00
84	15.00	1.57	1.57	1.57	90.00	90.00
85	15.00	1.57	1.57	1.57	90.00	90.00
86	15.00	1.57	1.57	1.57	90.00	90.00
87	15.00	1.57	1.57	1.57	90.00	90.00
88	15.00	1.57	1.57	1.57	90.00	90.00
89	15.00	1.57	1.57	1.57	90.00	90.00
90	15.00	1.57	1.57	1.57	90.00	90.00
91	15.00	1.57	1.57	1.57	90.00	90.00
92	15.00	1.57	1.57	1.57	90.00	90.00
93	15.00	1.57	1.57	1.57	90.00	90.00
94	15.00	1.57	1.57	1.57	90.00	90.00
95	15.00	1.57	1.57	1.57	90.00	90.00
96	15.00	1.57	1.57	1.57	90.00	90.00
97	15.00	1.57	1.57	1.57	90.00	90.00
98	15.00	1.57	1.57	1.57	90.00	90.00
99	15.00	1.57	1.57	1.57	90.00	90.00
100	15.00	1.57	1.57	1.57	90.00	90.00

SURVEY BY: KRD RM
DATE: 11-14-00

N 89°44'44" E NORTH LINE OF NORTHWEST 1/4 OF SECTION 30-1-22

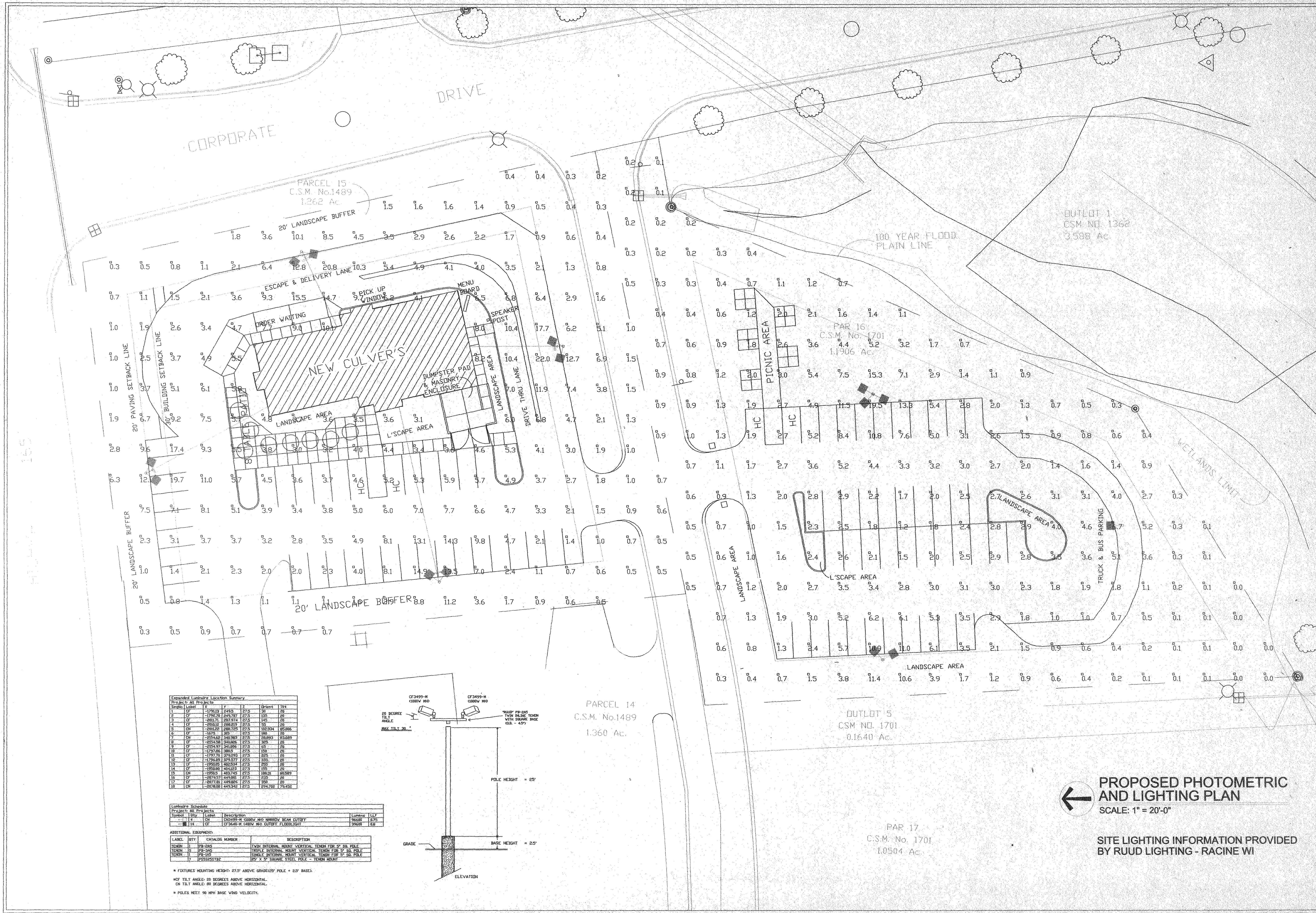
NORTHWEST CORNER
SEC. 30-1-22
BRASS CAP IN BRIDGE
197692.03
2552226.13
WISCONSIN STATE
PLANE COORDINATE
SYSTEM, SOUTH ZONE.

↑
SITE SURVEY
SCALE: 1" = 30'-0"



PARCEL 15 (19) OF CERTIFIED SURVEY MAP NO. 1489 ON FILE AND OF RECORD IN THE KENOSHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 1699 OF RECORDS OF CERTIFIED SURVEY MAPS AND RECORDS FOR KENOSHA COUNTY, WISCONSIN, PAGE 137, AS AMENDED BY SURVEY MAP NO. 1489-1, NORTHWEST QUARTER OF SECTION 30, TOWN 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN. TAX KEY NO.: 92-4-122-302-0132

SHEET NUMBER S-6	PROJECT NUMBER 0039	DATE 12-4-00	DRAWN BY ACN	APPROVED	OWNER'S OF DOCUMENTS THIS DOCUMENT AND THE INFORMATION HEREIN, AS PREPARED BY THE SURVEYOR, IS THE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF STELLING & ASSOCIATES, ARCHITECTS, LTD. IS PROHIBITED.	DRAWING DESCRIPTION SITE SURVEY	PROJECT DESCRIPTION NEW CULVER'S RESTAURANT LAKEVIEW CORPORATE PARK LOTS 15 & 16 PLEASANT PRAIRIE WI, 53158	PROJECT FOR OMA, L.L.C.	 STELLING & ASSOCIATES ARCHITECTS, LTD. 181 W. CHESTNUT STREET BURLINGTON, WI 53105 TELEPHONE: (262) 763-3725 FAX: (262) 763-1971 E-MAIL: estarc@aol.com



Expanded Luminaire Location Summary

Symbol	Qty	Label	Description	Lumens	LLF
1	1	CF3499-H	1200V MO	17319	0.85
2	1	CF3499-H	1200V MO	17319	0.85
3	1	CF3499-H	1200V MO	17319	0.85
4	1	CF3499-H	1200V MO	17319	0.85
5	1	CF3499-H	1200V MO	17319	0.85
6	1	CF3499-H	1200V MO	17319	0.85
7	1	CF3499-H	1200V MO	17319	0.85
8	1	CF3499-H	1200V MO	17319	0.85
9	1	CF3499-H	1200V MO	17319	0.85
10	1	CF3499-H	1200V MO	17319	0.85
11	1	CF3499-H	1200V MO	17319	0.85
12	1	CF3499-H	1200V MO	17319	0.85
13	1	CF3499-H	1200V MO	17319	0.85
14	1	CF3499-H	1200V MO	17319	0.85
15	1	CF3499-H	1200V MO	17319	0.85
16	1	CF3499-H	1200V MO	17319	0.85
17	1	CF3499-H	1200V MO	17319	0.85
18	1	CF3499-H	1200V MO	17319	0.85

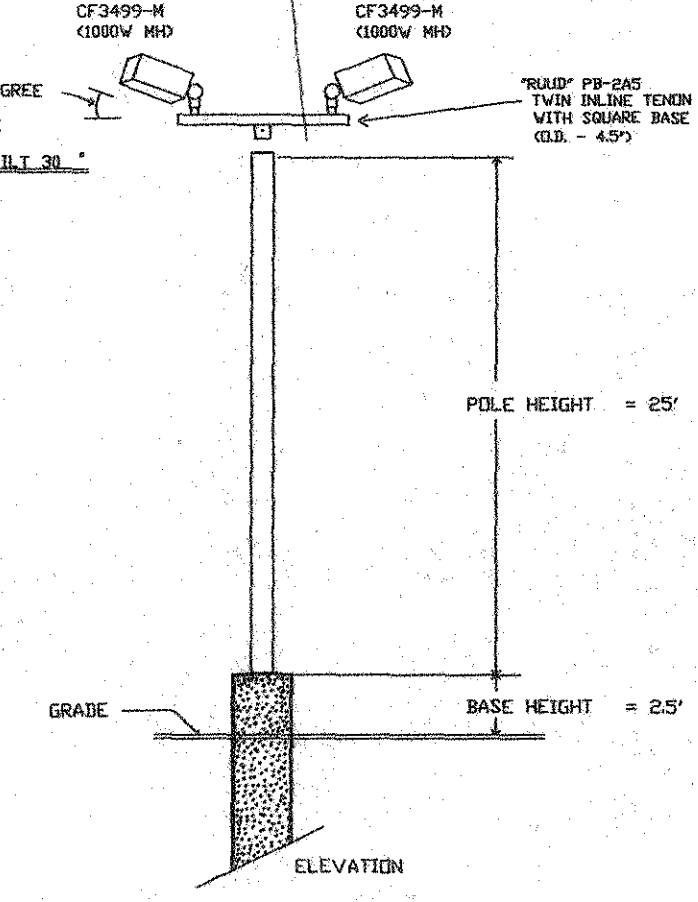
Luminaire Schedule

Symbol	Qty	Label	Description	Lumens	LLF
1	1	CF3499-H	1200V MO	17319	0.85
2	1	CF3499-H	1200V MO	17319	0.85
3	1	CF3499-H	1200V MO	17319	0.85
4	1	CF3499-H	1200V MO	17319	0.85
5	1	CF3499-H	1200V MO	17319	0.85
6	1	CF3499-H	1200V MO	17319	0.85
7	1	CF3499-H	1200V MO	17319	0.85
8	1	CF3499-H	1200V MO	17319	0.85
9	1	CF3499-H	1200V MO	17319	0.85
10	1	CF3499-H	1200V MO	17319	0.85
11	1	CF3499-H	1200V MO	17319	0.85
12	1	CF3499-H	1200V MO	17319	0.85
13	1	CF3499-H	1200V MO	17319	0.85
14	1	CF3499-H	1200V MO	17319	0.85
15	1	CF3499-H	1200V MO	17319	0.85
16	1	CF3499-H	1200V MO	17319	0.85
17	1	CF3499-H	1200V MO	17319	0.85
18	1	CF3499-H	1200V MO	17319	0.85

ADDITIONAL EQUIPMENT

Label	Qty	Catalog Number	Description
TEN-1	1	100-100	TWIN INTERNAL MOUNT VERTICAL TENON FOR 3" SQ. POLE
TEN-2	1	100-100	TRIPLE INTERNAL MOUNT VERTICAL TENON FOR 3" SQ. POLE
TEN-3	1	100-100	SINGLE INTERNAL MOUNT VERTICAL TENON FOR 3" SQ. POLE
TEN-4	1	100-100	12" X 5" SQUARE STEEL POLE - TENON MOUNT

* FIXTURES MOUNTING HEIGHT 27.5' ABOVE GRADE @ POLE + 2.5' BASE.
 ** TILT ANGLE: 20 DEGREES ABOVE HORIZONTAL.
 *** TILT ANGLE: 80 DEGREES ABOVE HORIZONTAL.
 **** POLES MEET 90 MPH BASE WIND VELOCITY.



← PROPOSED PHOTOMETRIC AND LIGHTING PLAN
 SCALE: 1" = 20'-0"

SITE LIGHTING INFORMATION PROVIDED BY RUUD LIGHTING - RACINE WI

STELLING & ASSOCIATES ARCHITECTS, LTD.
 181 W. CHESTNUT STREET, BURLINGTON, WI 53105
 TELEPHONE: (262) 783-8725 FAX: (262) 785-1971
 E-MAIL: stellarch@aol.com

PROJECT DESCRIPTION:
 NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, WI 53158
 PROJECT FOR: OMA, L.L.C.

DRAWING DESCRIPTION:
 PROPOSED SITE GRADING, UTILITY AND LIGHTING PLAN

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

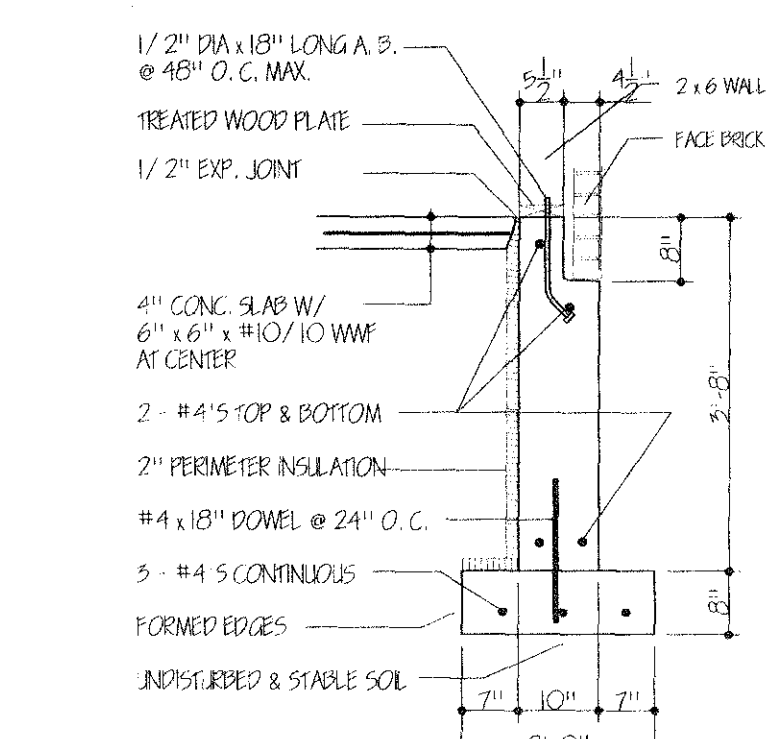
APPROVED:

DRAWN BY: ACN

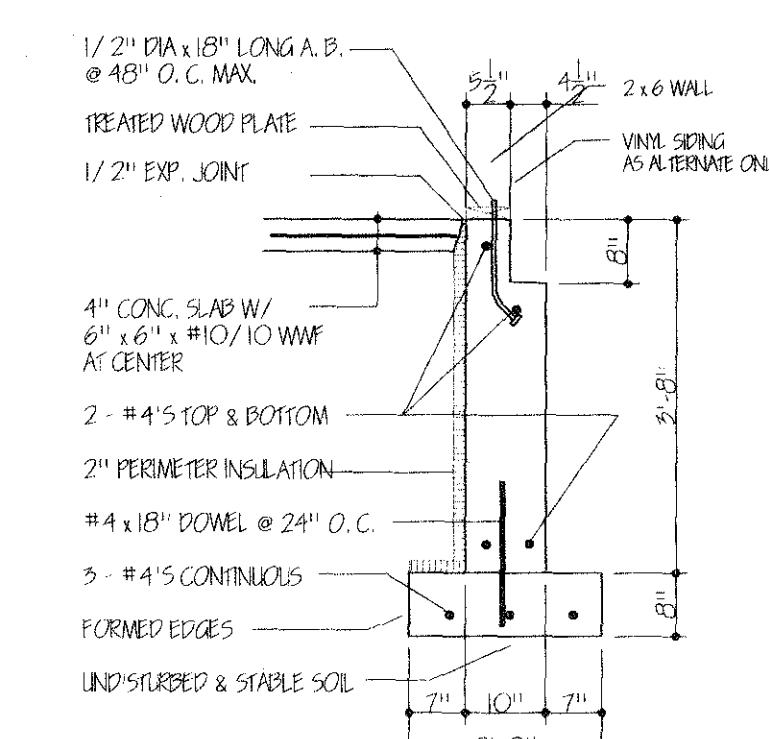
DATE: 12-4-00

PROJECT NUMBER: 0039

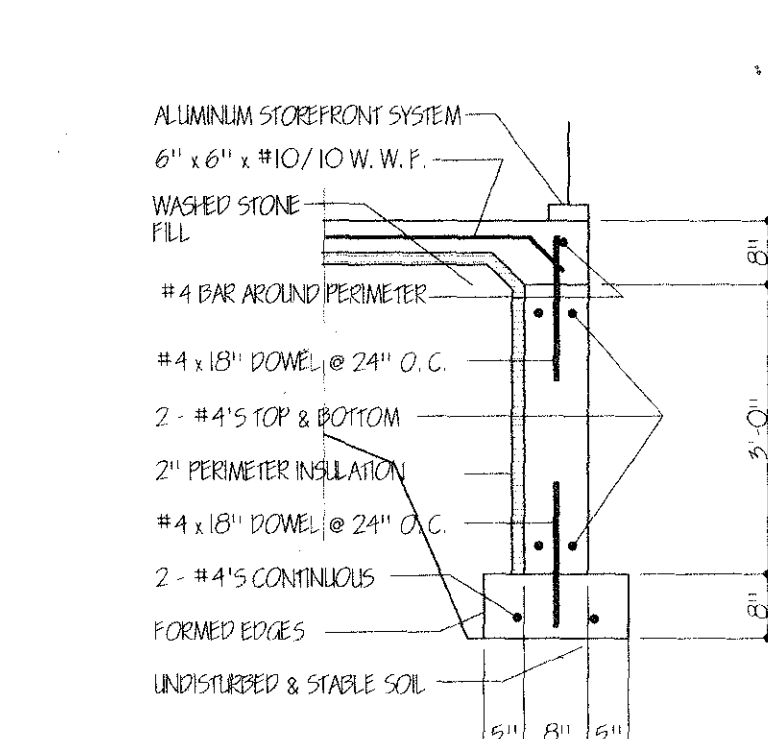
SHEET NUMBER: L-1



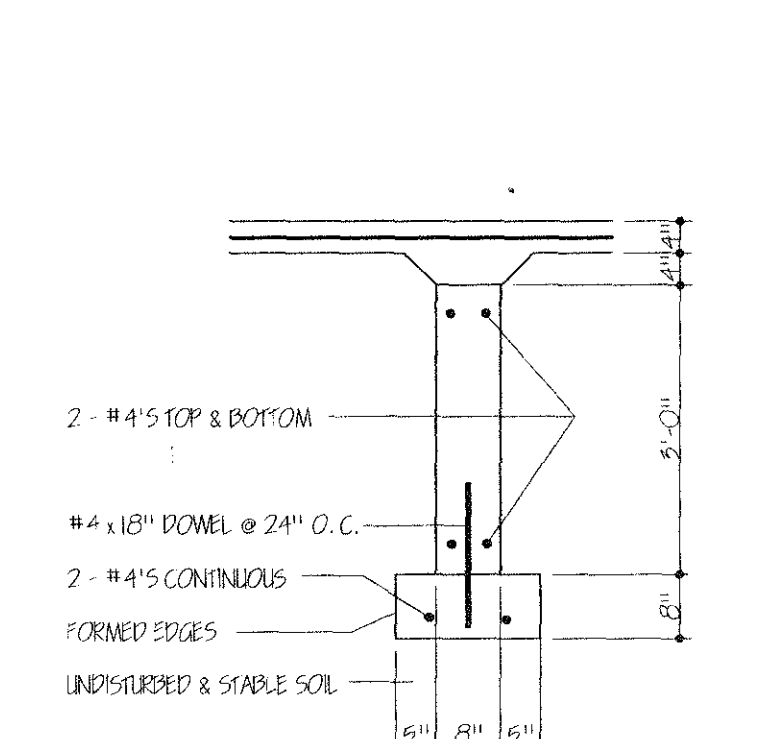
1 FND'N TYPE "A"
A-1 SCALE: 1/2" = 1'-0"



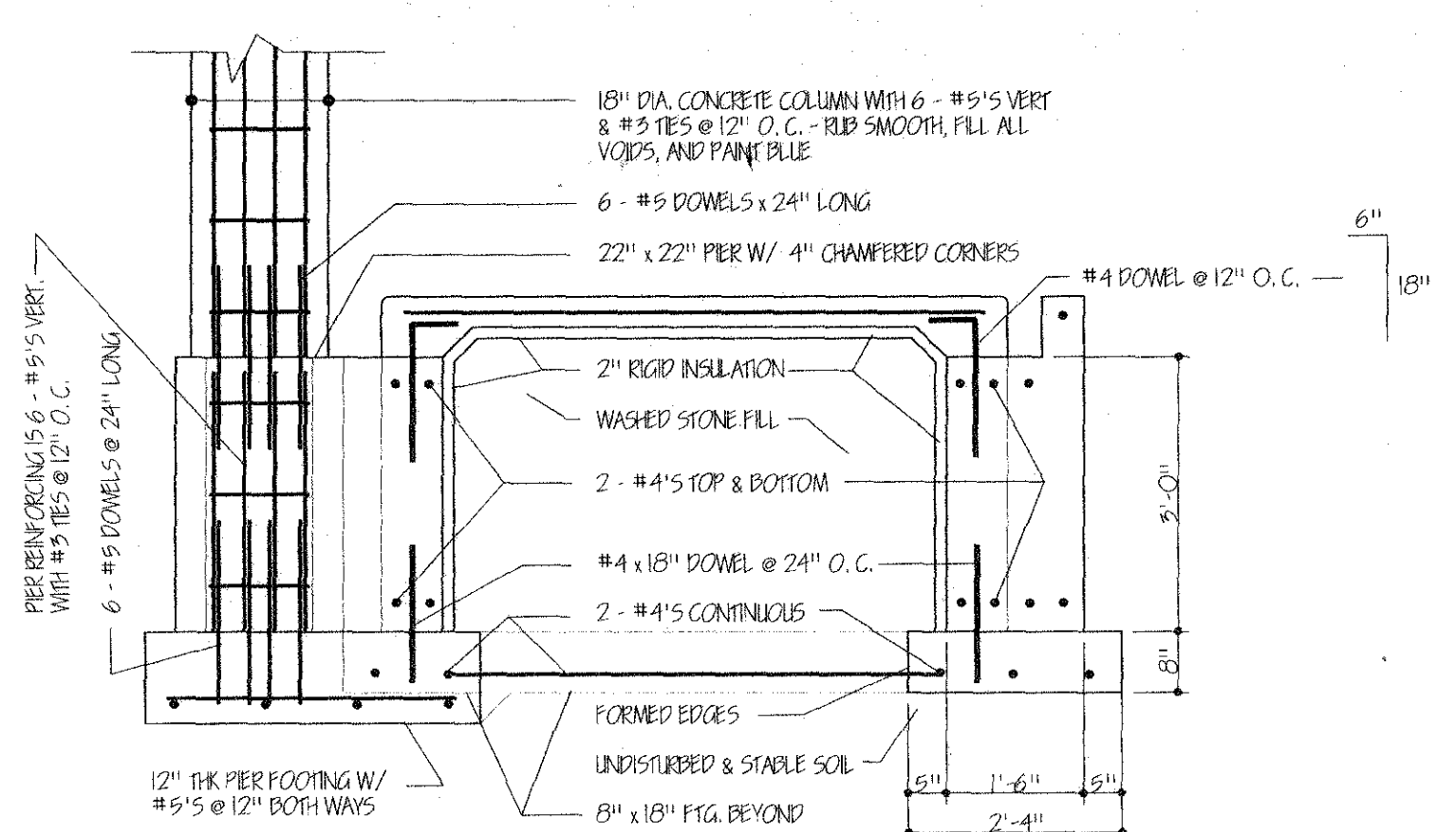
2 FND'N TYPE "B"
A-1 SCALE: 1/2" = 1'-0"
(VINYL SIDING ALTERNATE ONLY)



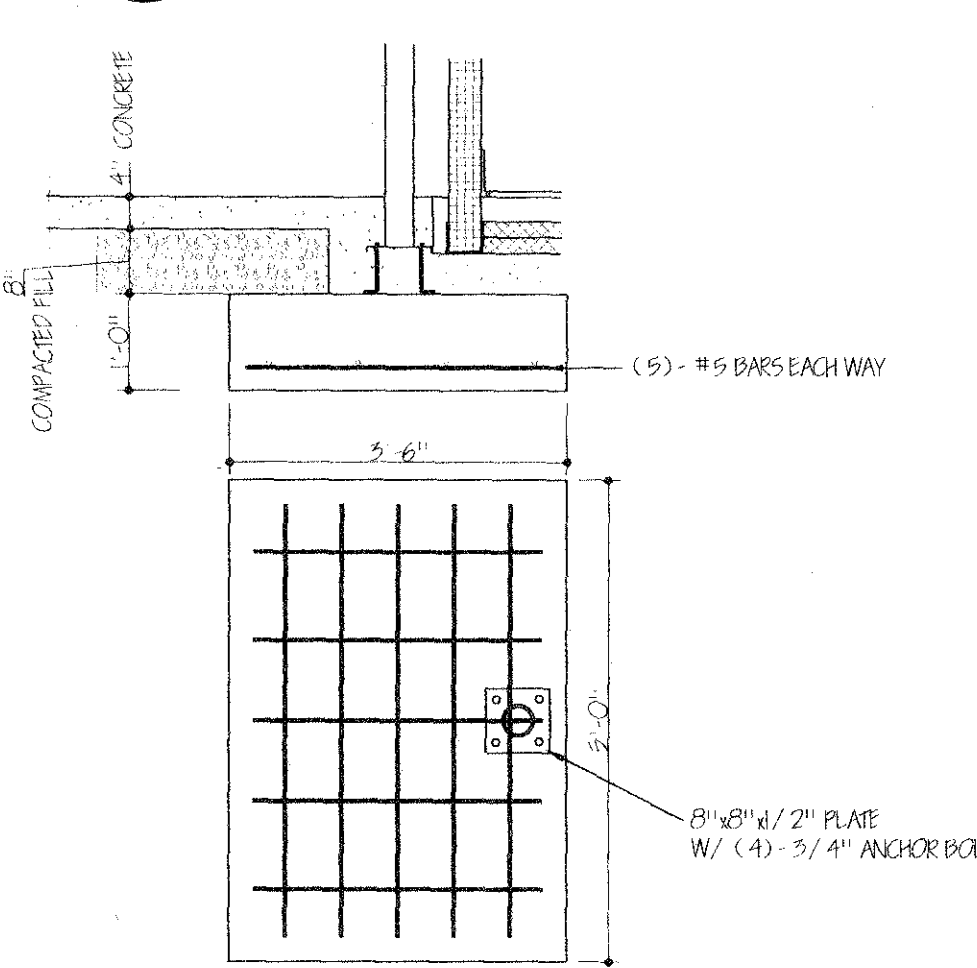
3 FND'N TYPE "C"
A-1 SCALE: 1/2" = 1'-0"



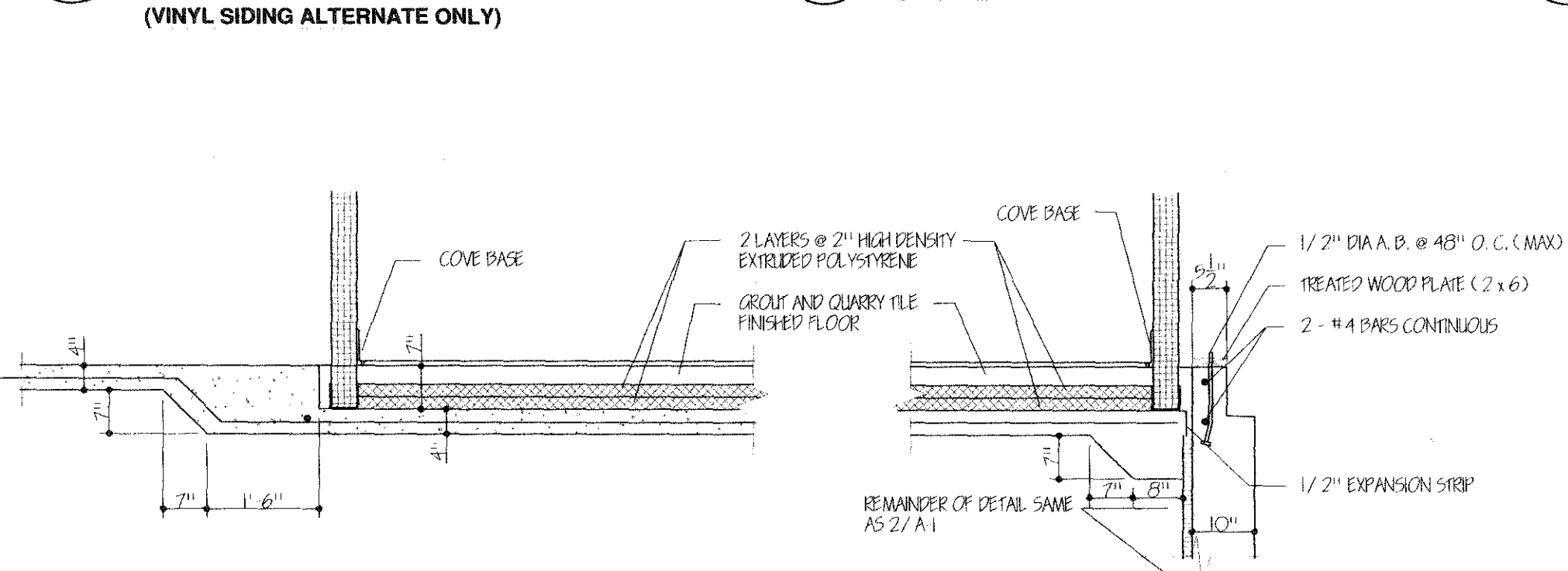
4 FND'N TYPE "D"
A-1 SCALE: 1/2" = 1'-0"



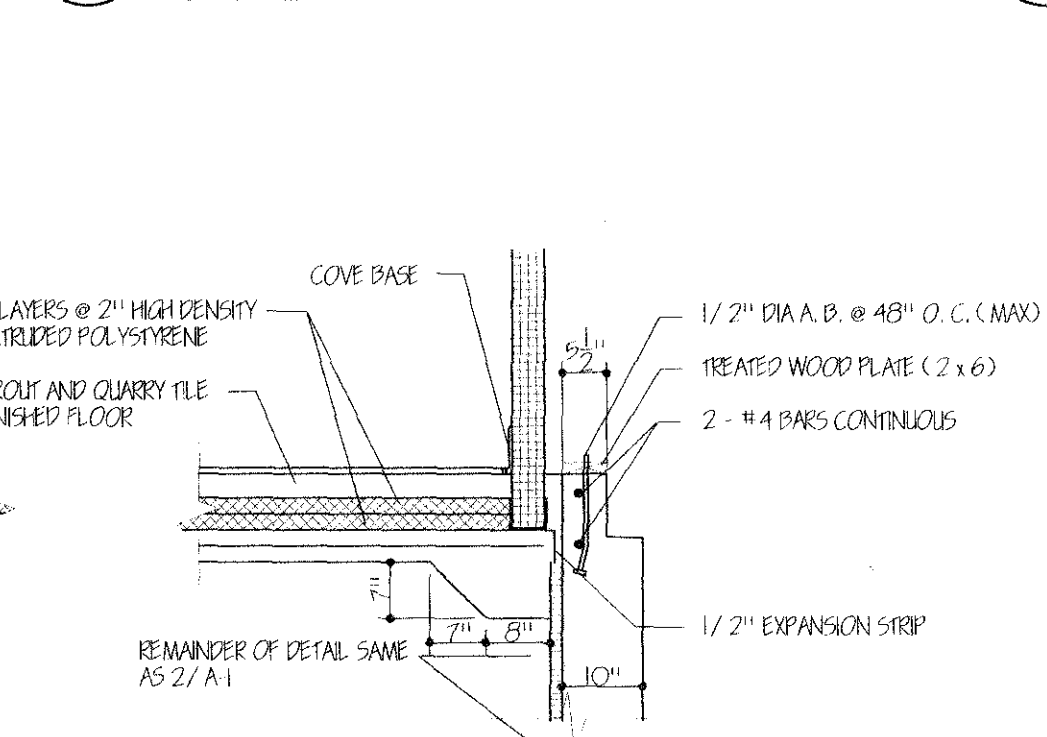
5 FND'N TYPE "E" - COLUMN & PIER
A-1 SCALE: 1/2" = 1'-0"



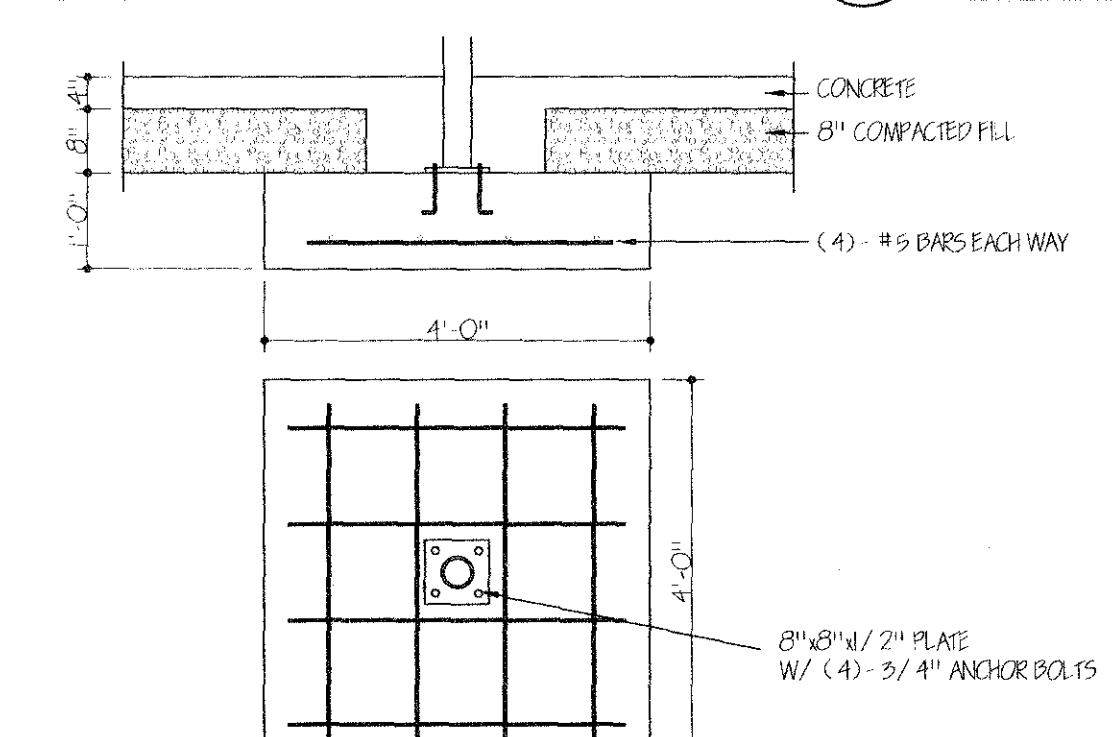
6 PAD AT COOLER
A-1 SCALE: 1/2" = 1'-0"



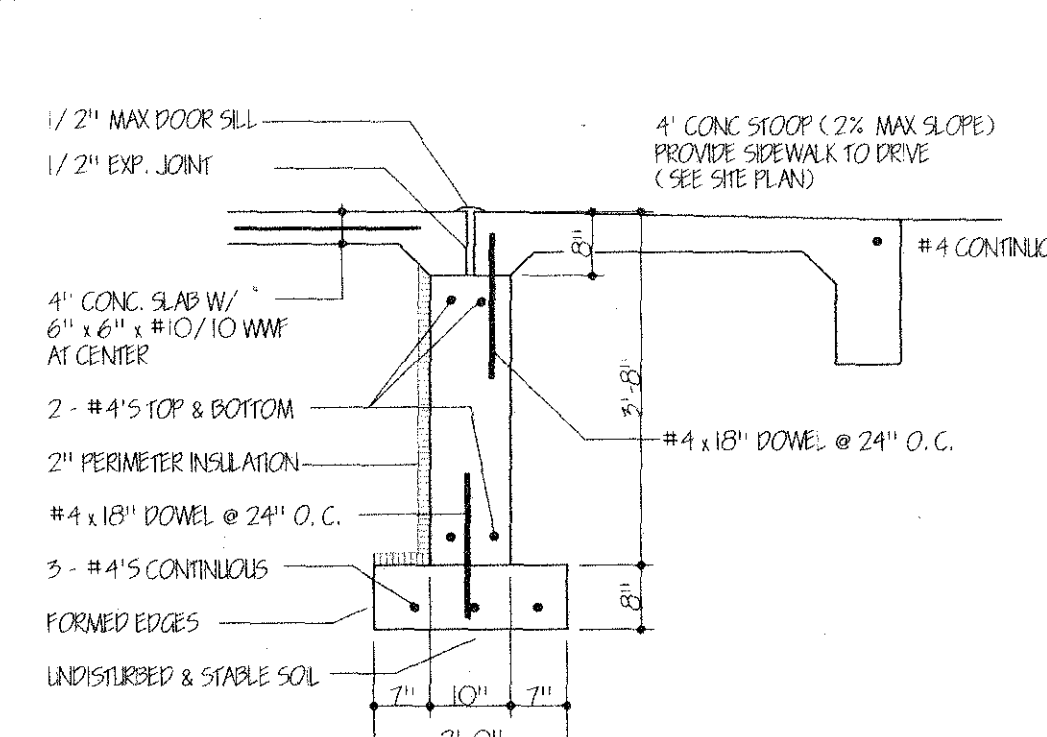
7 DET. - COOLER SLAB
A-1 SCALE: 1/2" = 1'-0"



8 DET. - FDN. WALL @ COOLER
A-1 SCALE: 1/2" = 1'-0"

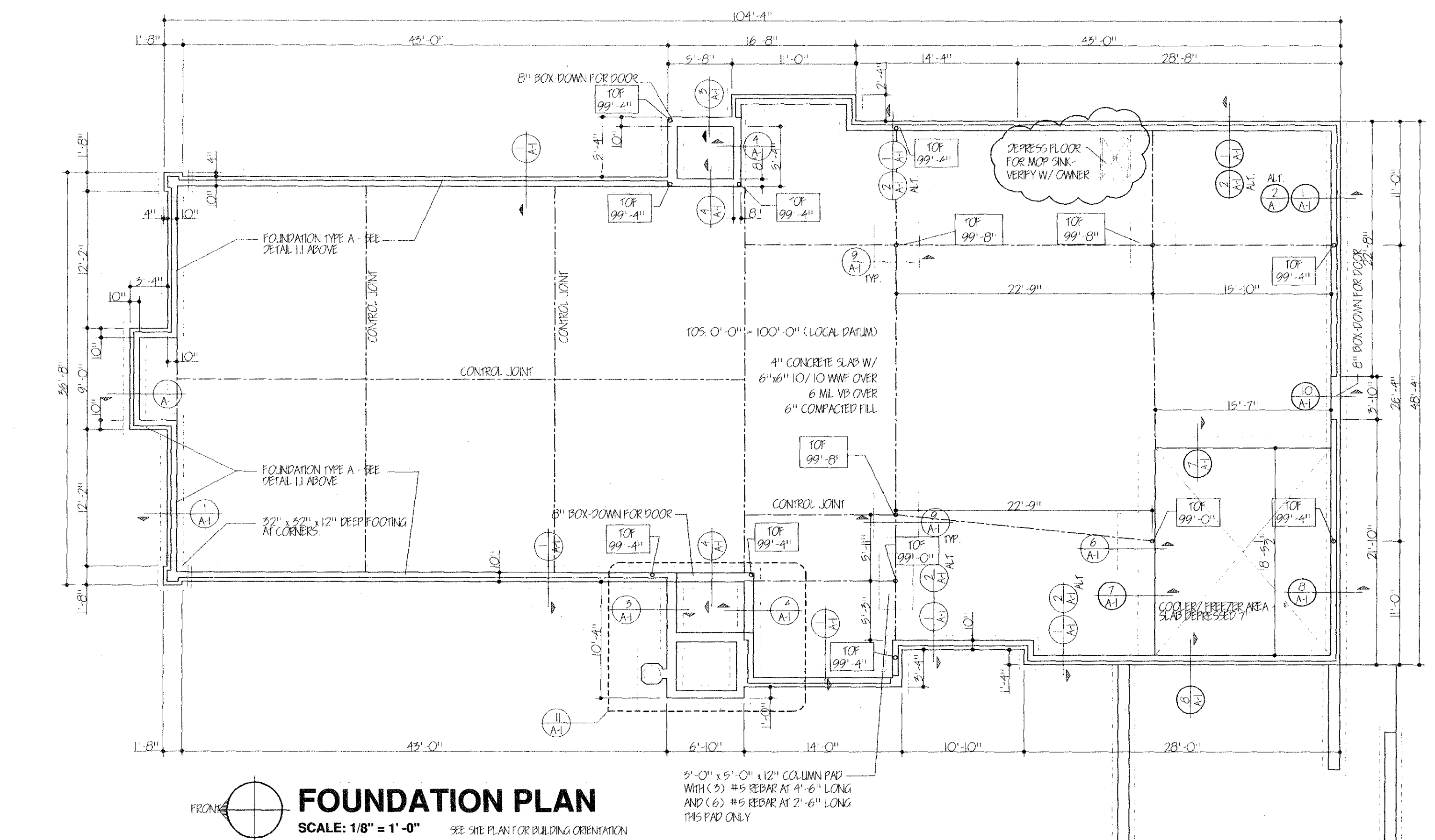


9 DET. - PAD FOOTING
A-1 SCALE: 1/2" = 1'-0"

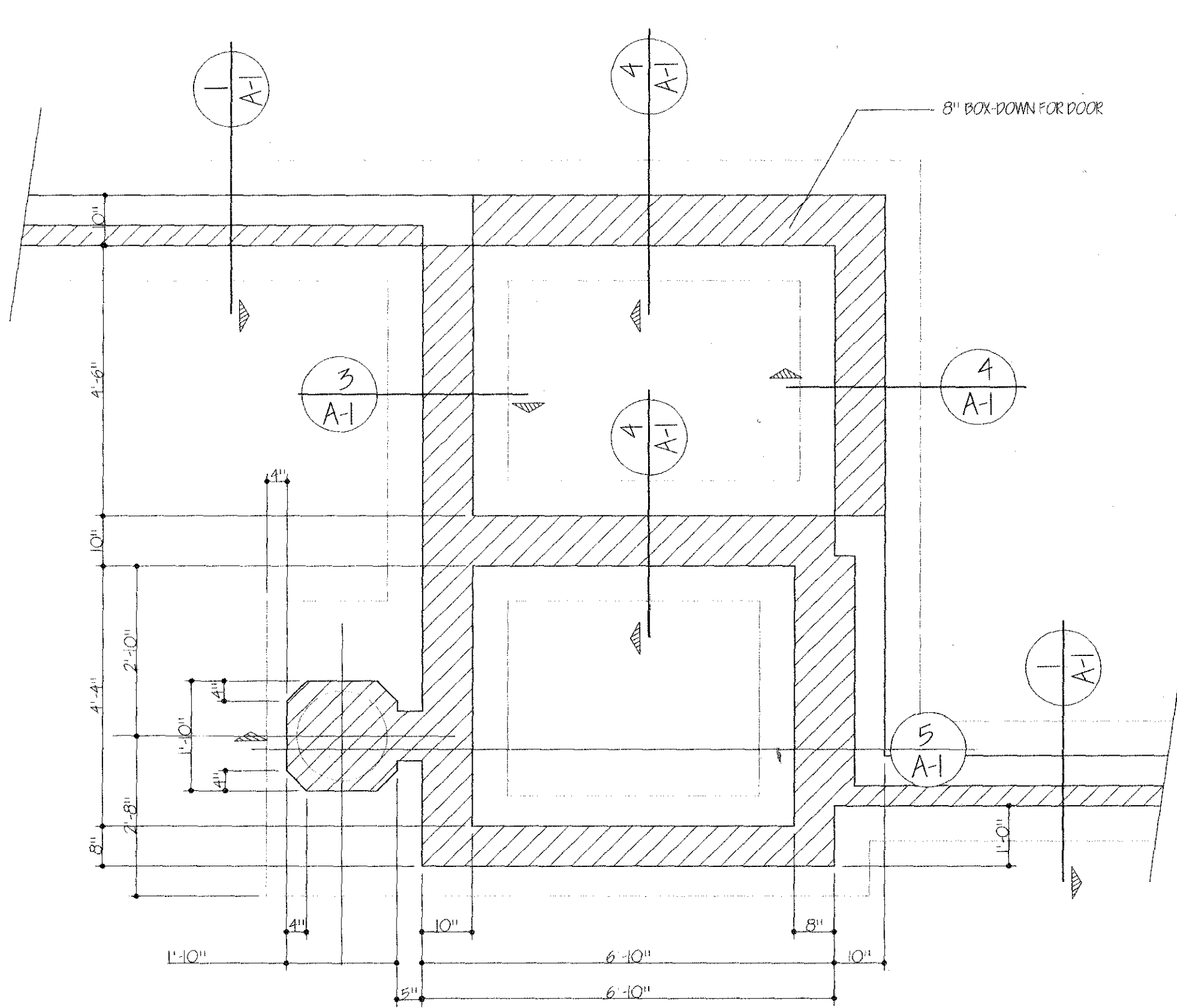


10 DOOR #5 SILL
A-1 SCALE: 1/2" = 1'-0"

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.



FOUNDATION PLAN
SCALE: 1/8" = 1'-0" SEE SITE PLAN FOR BUILDING ORIENTATION



11 DET. - FOUNDATION AT ENTRY
A-1 SCALE: 1/2" = 1'-0"

STELLING & ASSOCIATES
ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53005
TELEPHONE: (262) 783-5725 FAX: (262) 783-1971
E-MAIL: stelling@aol.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FOUNDATION PLAN AND DETAILS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

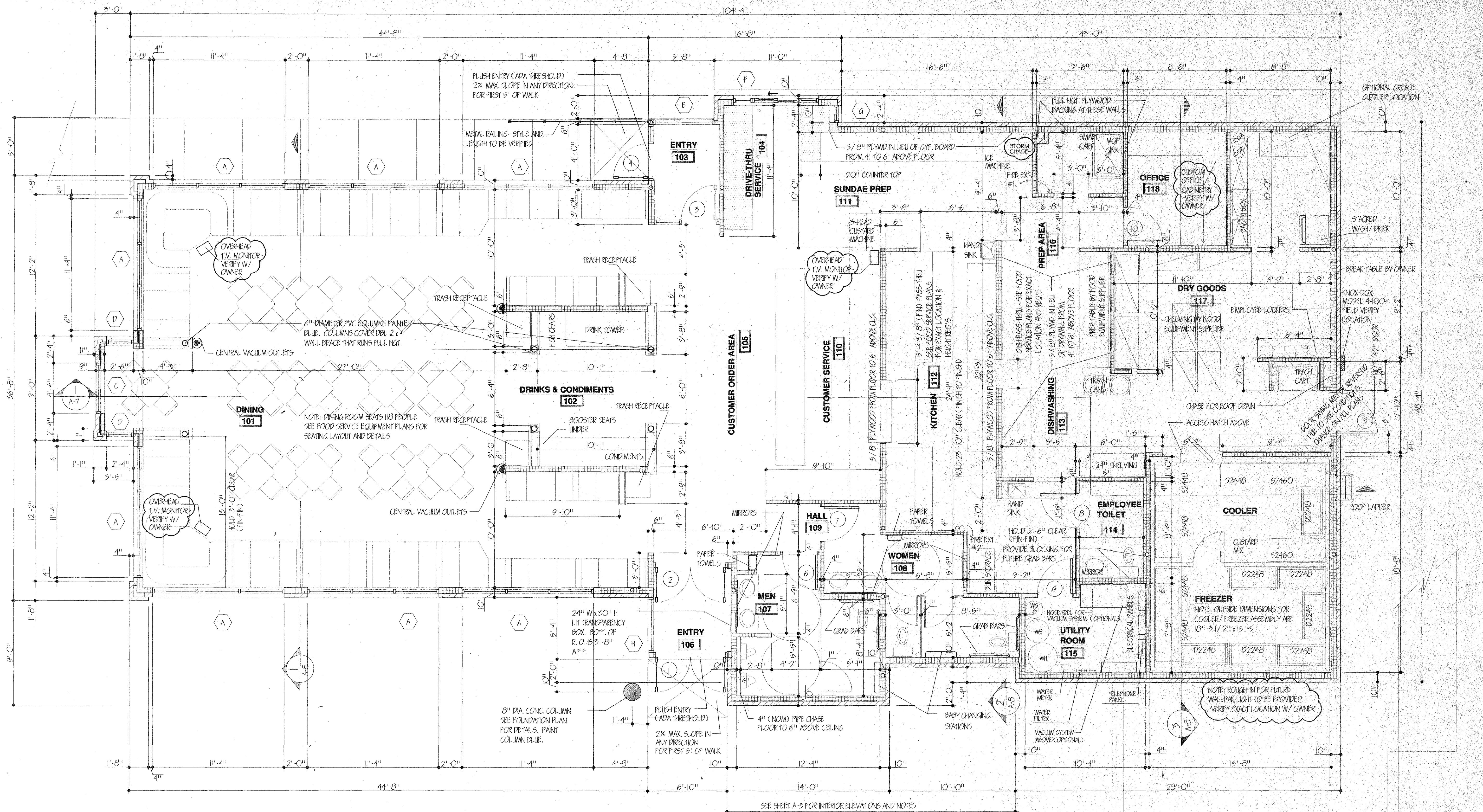
REVISIONS:
DETAIL SECTIONS 6 AND 9, FOUNDATION FOOTING HEIGHTS
1-29-01

APPROVED:
DRAWN BY: **ACN**

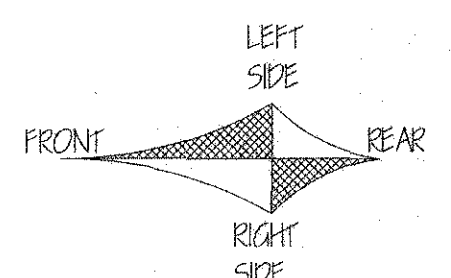
DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
A-1



FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 4,538 Square Feet



NOTE:
 Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

STELLING & ASSOCIATES
 ARCHITECTS, LTD.
 181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TEL: (262) 781-1515 FAX: (262) 781-1971
 EMAIL: stelling@stalling.com

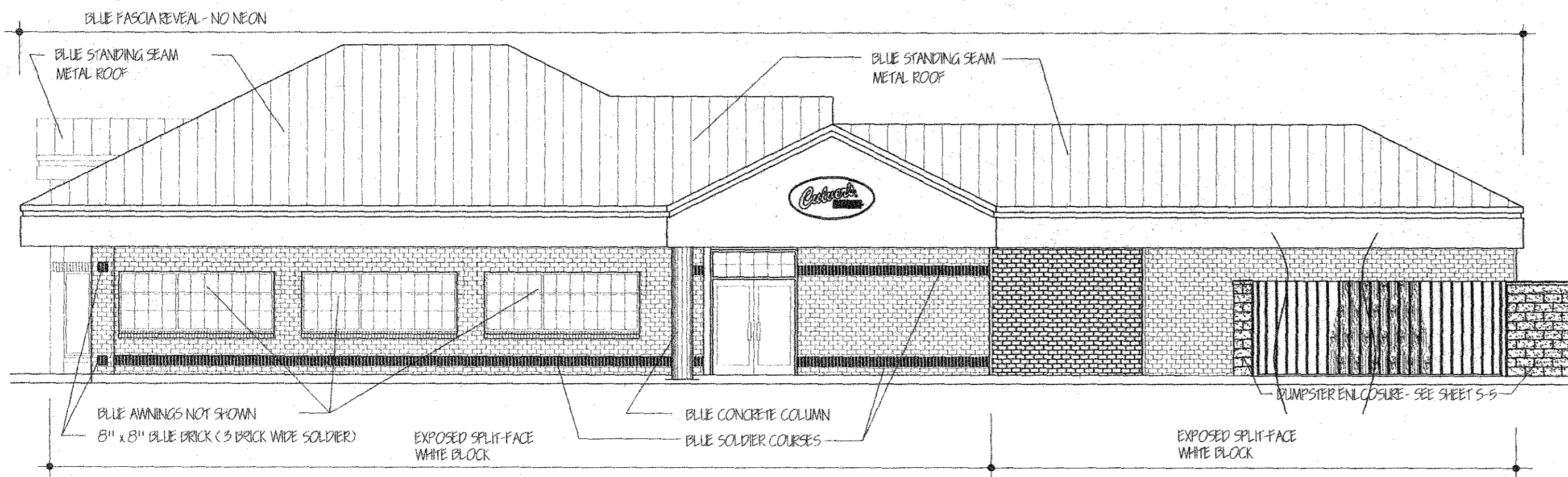
PROJECT DESCRIPTION:
 NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, WI 53156
 PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FLOOR PLAN

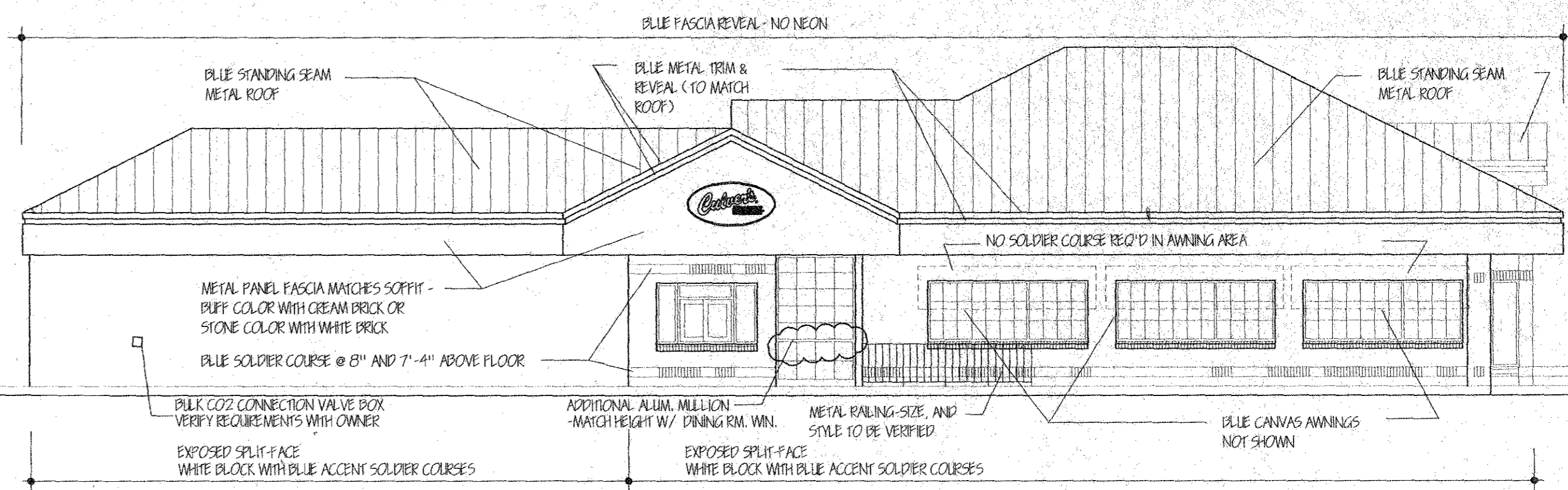
OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES, ARCHITECTS, LTD.

REVISIONS:

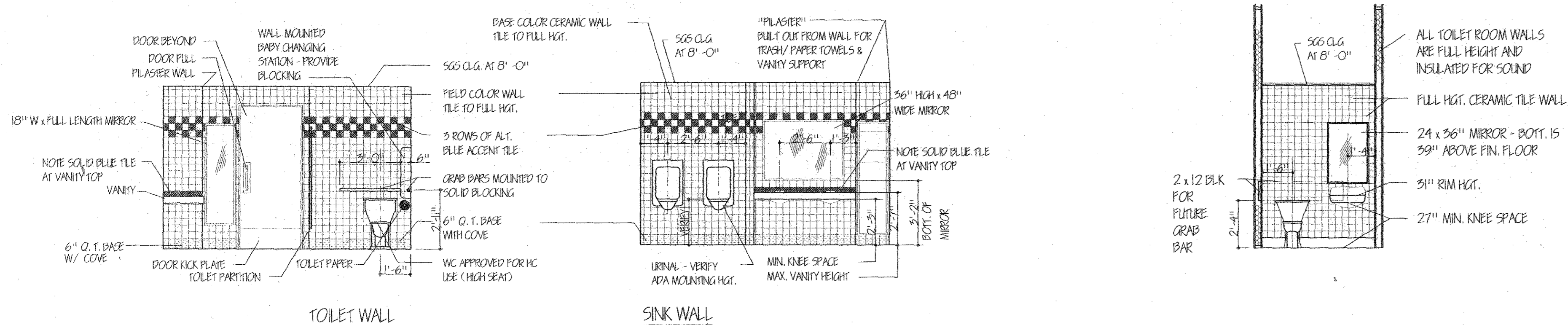
1-29-01
APPROVED:
DRAWN BY: ACN
DATE: 12-4-00
PROJECT NUMBER: 0039
SHEET NUMBER: A-2



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

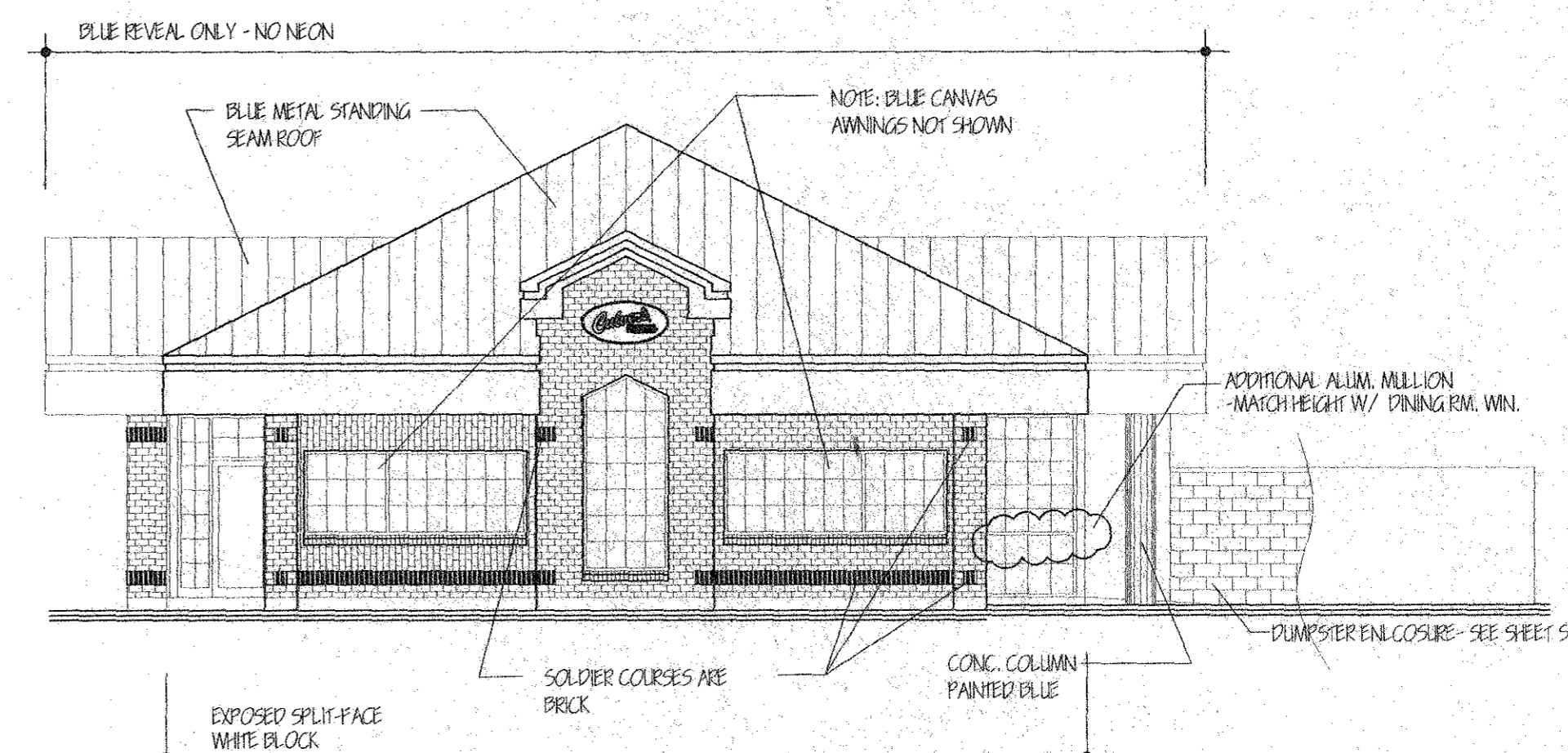


LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



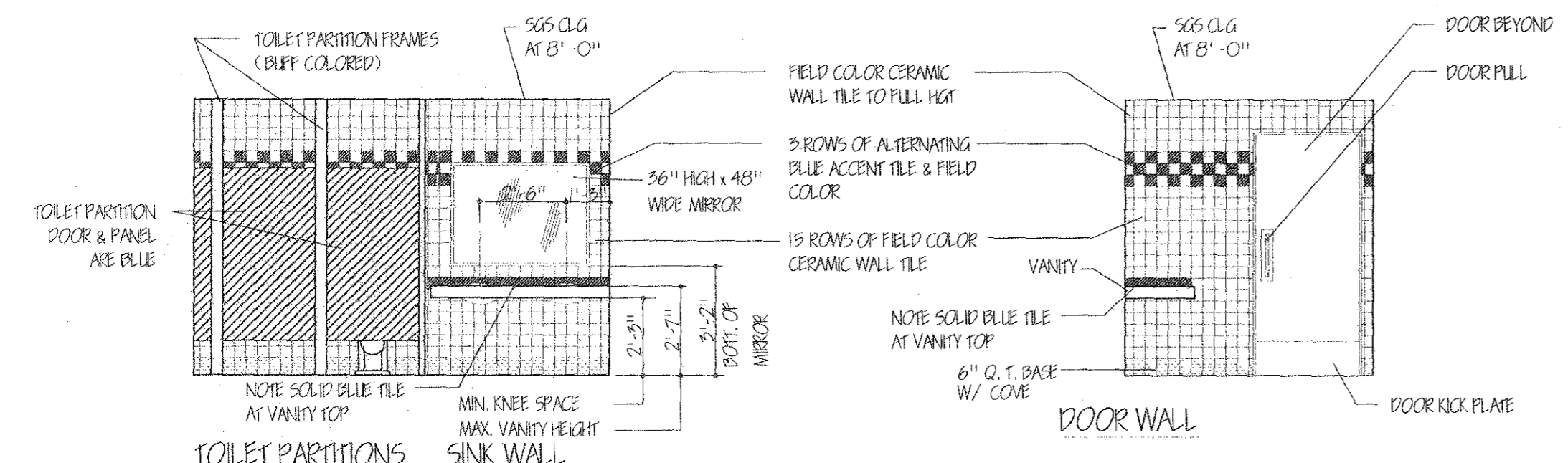
INT EL'S - MEN 107
SCALE: 1/4" = 1'-0"

EMPLOYEE TOILET 114
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

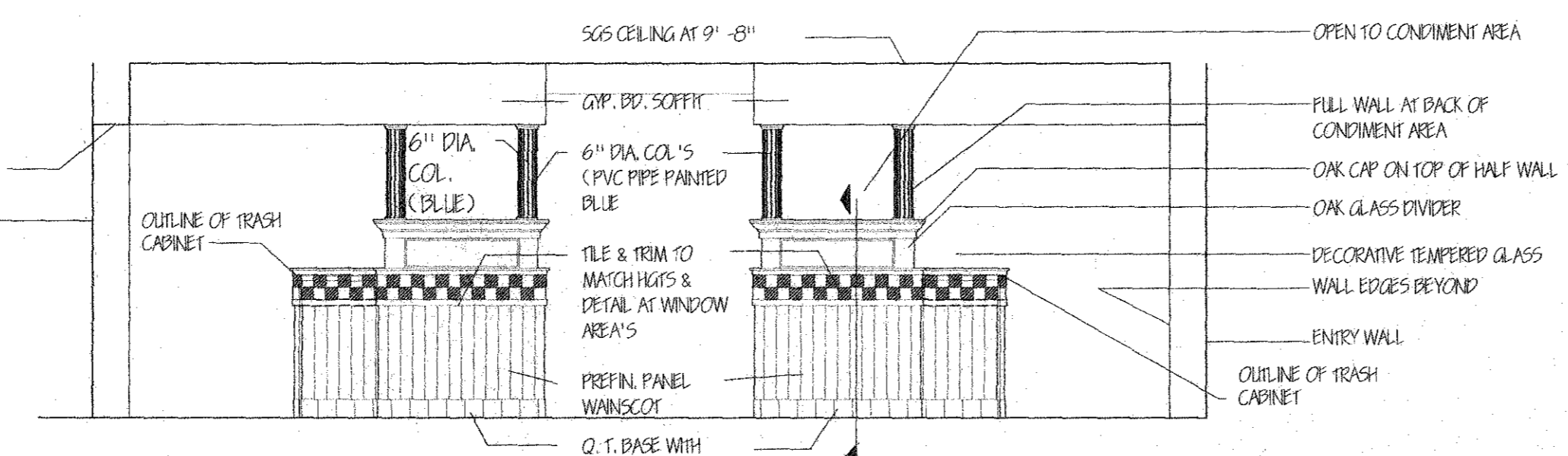
NOTE: "BRICK" MAY BE MODULAR BRICK SIMILAR TO SUMMIT "ALASKAN" 256 OR ACME PL 50 GLAZER WHITE MODULAR VELOUR OR BRICK WITH SIMILAR COLOR & TEXTURE (SUBMIT ALTERNATES FOR APPROVAL) OR 4" x 4" x 16" WHITE SPLIT-FACE CONCRETE BLOCK WITH WATERPROOFING ADMIXTURE MAY BE USED IN PLACE OF BRICK. BLUE SOLDIER COURSE & ACCENT PANELS ARE GLAZED MODULAR BRICK SIMILAR TO ELGIN-BULLER "CORAL" 2200A



INT EL'S - WOMEN 108
SCALE: 1/4" = 1'-0"

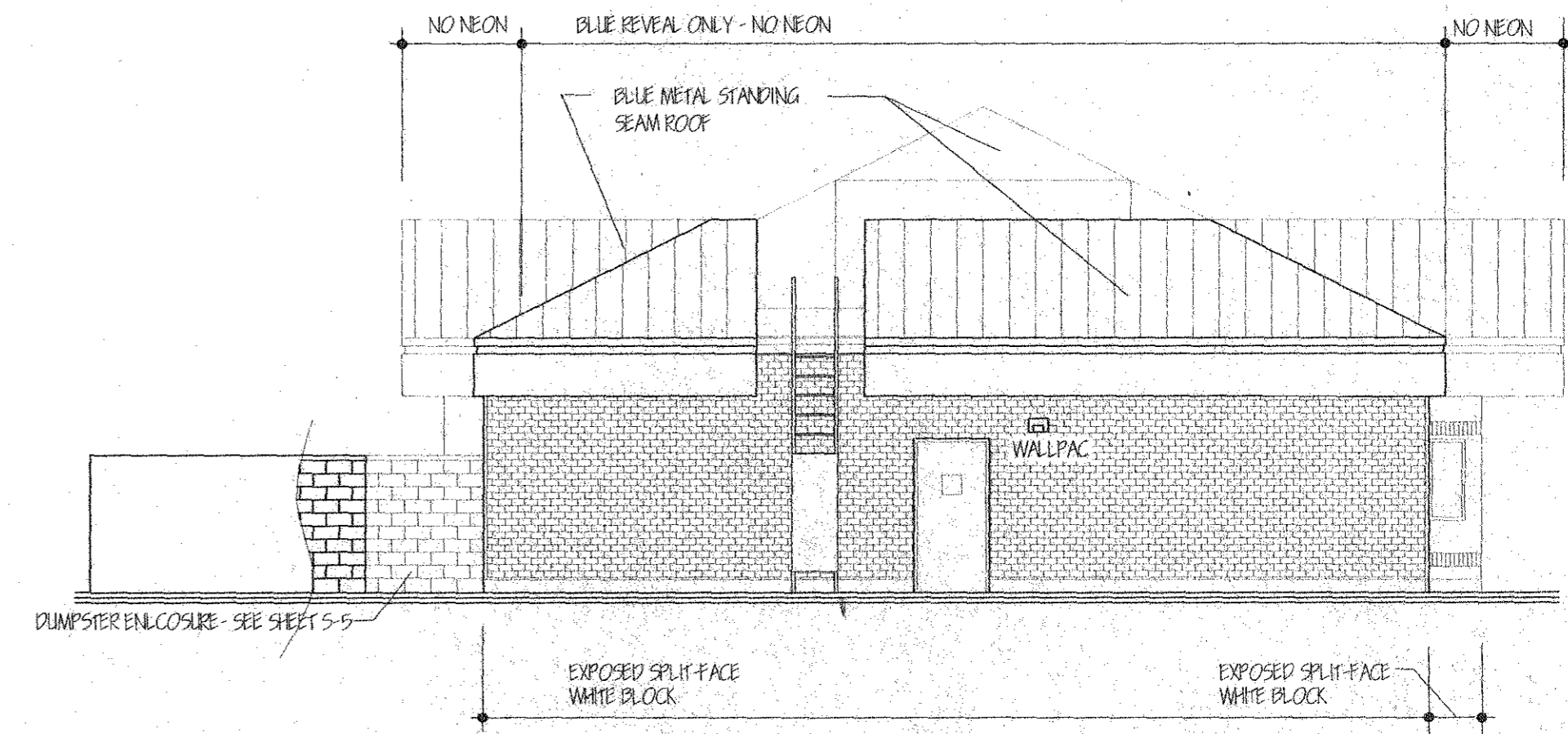
RESTROOM ACCESSORIES

WOMEN'S RESTROOM	MEN'S RESTROOM	EMPLOYEE RESTROOM
Grab Bar Bédrick Washroom Equipment 1 1/2" DIA. S/5 B-6106	Grab Bar Bédrick Washroom Equipment 1 1/2" DIA. S/5 B-6106	Grab Bar Bédrick Washroom Equipment 1 1/2" DIA. S/5 B-6106
Waste/Paper Towel Bédrick Washroom Equipment Recessed S/5 paper towel dispenser and waste receptacle B-5944	Waste/Paper Towel Bédrick Washroom Equipment Recessed S/5 paper towel dispenser and waste receptacle B-5944	Paper Towel Dispenser Bédrick Washroom Equipment Surface mount S/5 paper towel dispenser B-262
Sanitary Napkin Disposal Bédrick Washroom Equipment Surface mount S/5 Contara Series sanitary napkin disposal B-270	MISCELLANEOUS ACCESSORIES The OWNER will provide paper towel dispensers (kitchen area only), soap and sanitizer dispensers, toilet paper dispensers and baby changing stations to the GENERAL CONTRACTOR FOR INSTALLATION.	



INT EL - DINING ENTRY
SCALE: 1/4" = 1'-0"

NOTE: Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.



REAR ELEVATION
SCALE: 1/8" = 1'-0"

STELLING & ASSOCIATES
ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TEL: (262) 785-1971
FAX: (262) 785-1972
EMAIL: sstalling@saad.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
EXTERIOR ELEVATIONS AND INTERIOR TOILET ELEVATIONS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

1-29-01

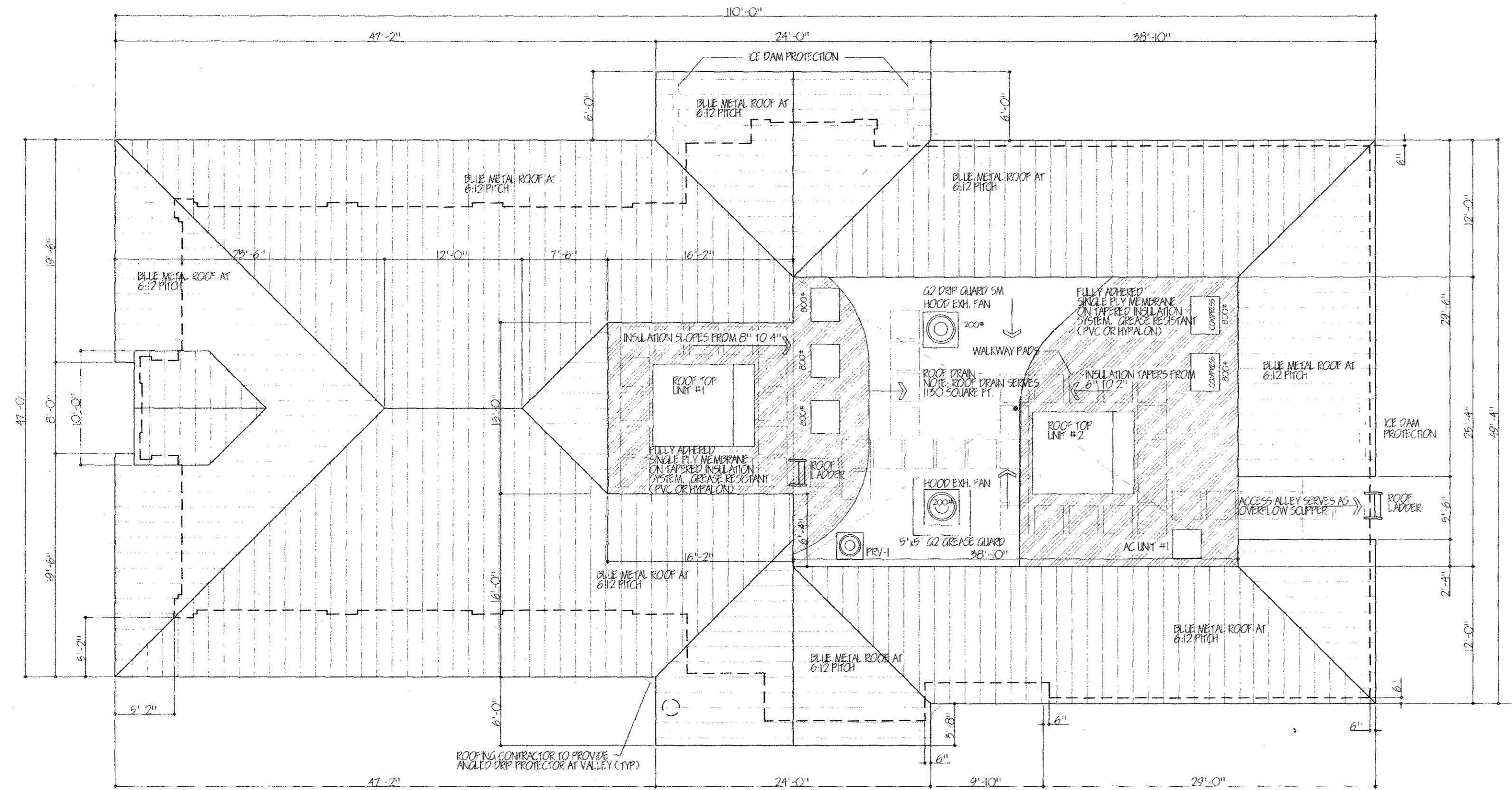
APPROVED:

DRAWN BY: ACN

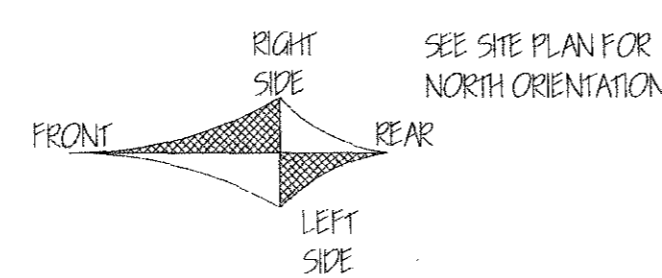
DATE: 12-4-00

PROJECT NUMBER: 0039

SHEET NUMBER: A-3

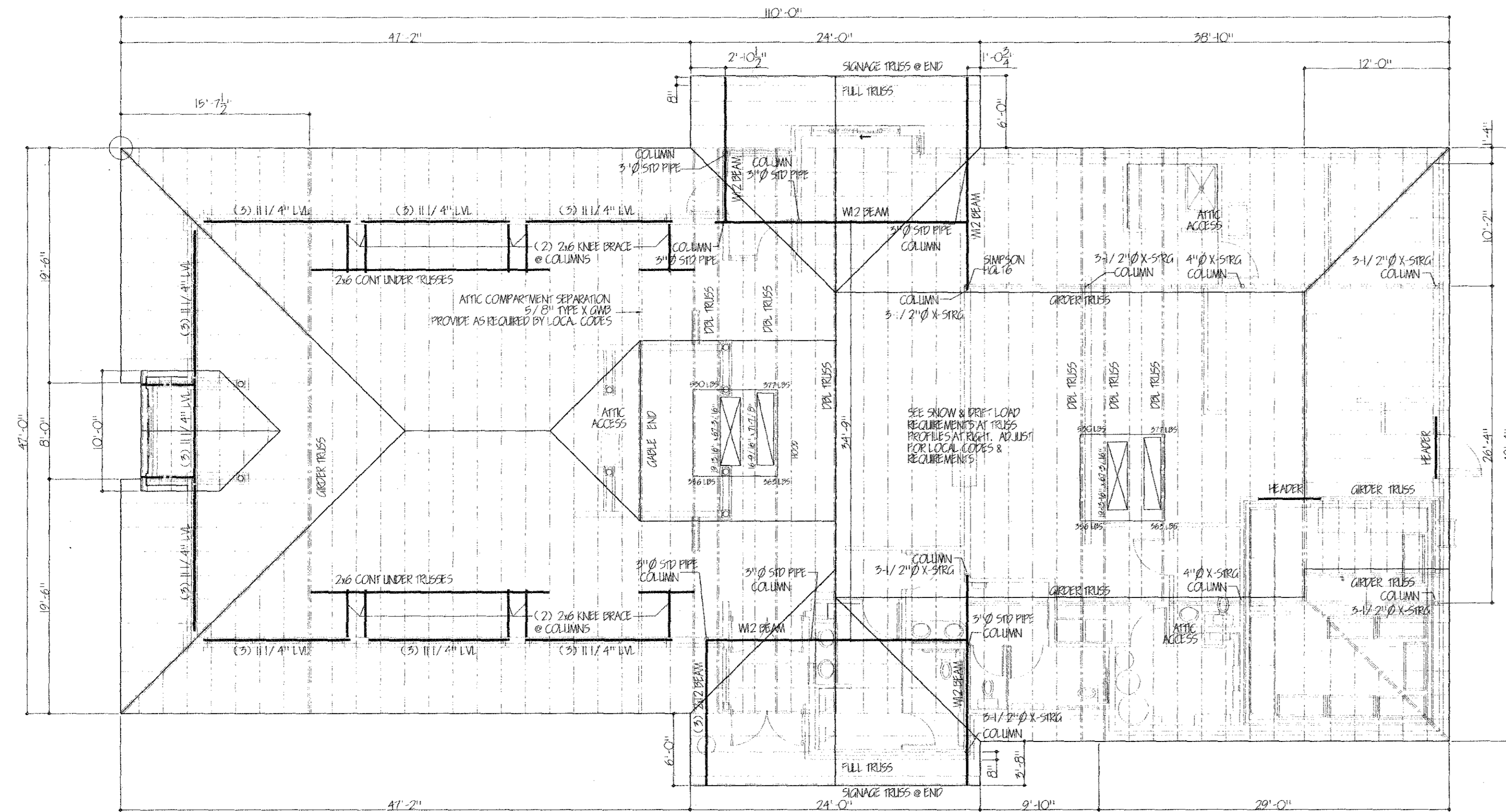


ROOF PLAN - MN120 MODEL
SCALE: 1/8" = 1'-0"

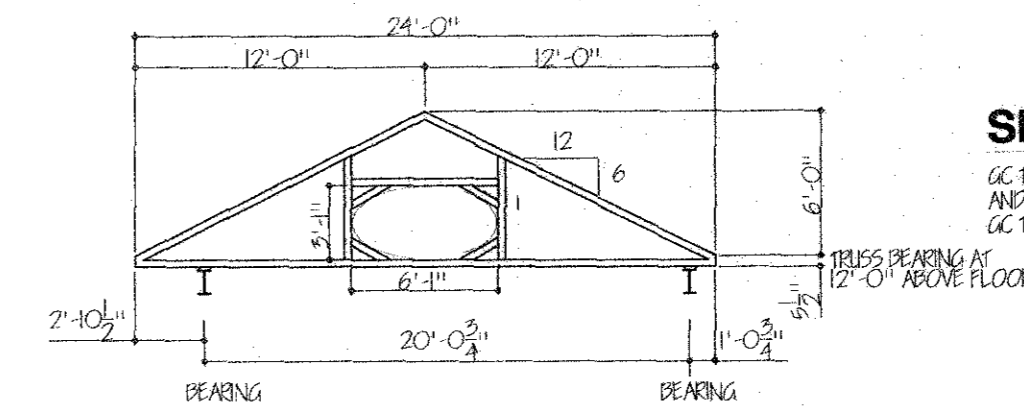
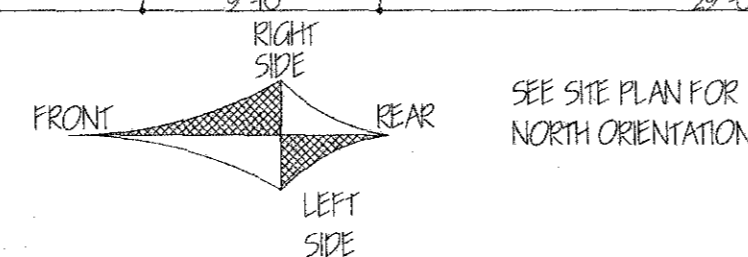


DROP GUARD AND GREASE GUARD BY:
BY FACILEC,
180 CORPORATE DRIVE
ELGIN, IL 60123
1-800-284-8275 (Chris Stewart)

HATCHED AREAS ON ROOF INDICATE AREAS WHERE EXHAUST FANS AND PLUMBING VENTS ARE PROHIBITED

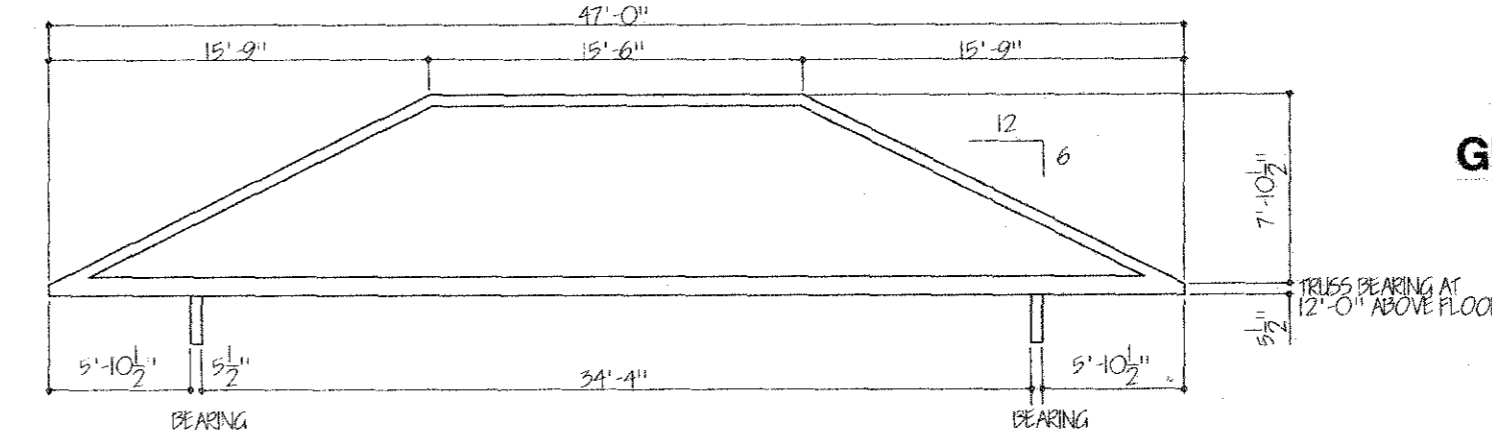


ROOF PLAN - MN120 MODEL
SCALE: 1/8" = 1'-0"

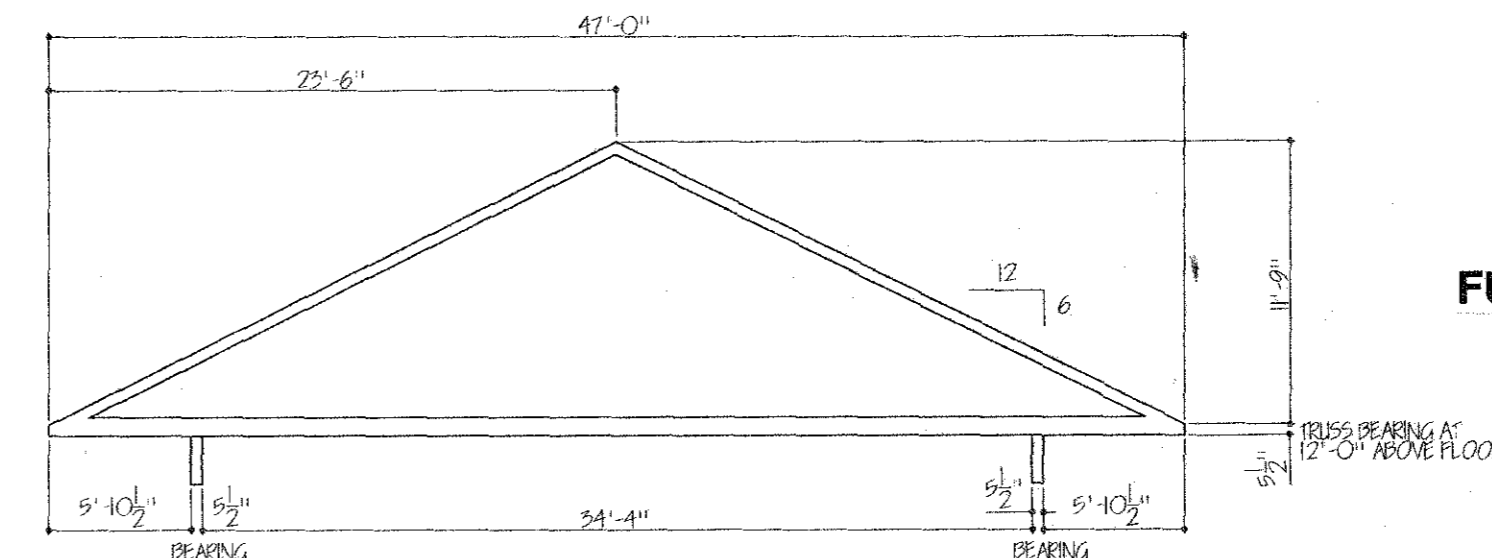


SIGNAGE TRUSS

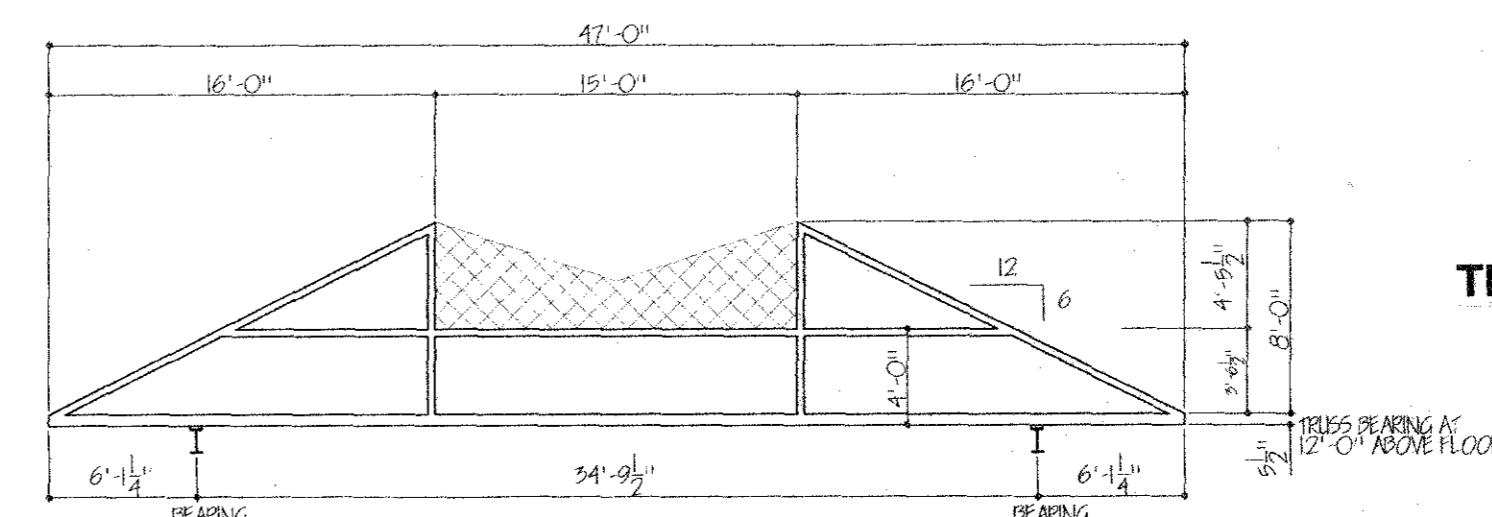
GC TO PROVIDE PLYWOOD SHEATHING AND OVAL GROUT GC TO INSTALL 6" x 5" OVAL SIGN



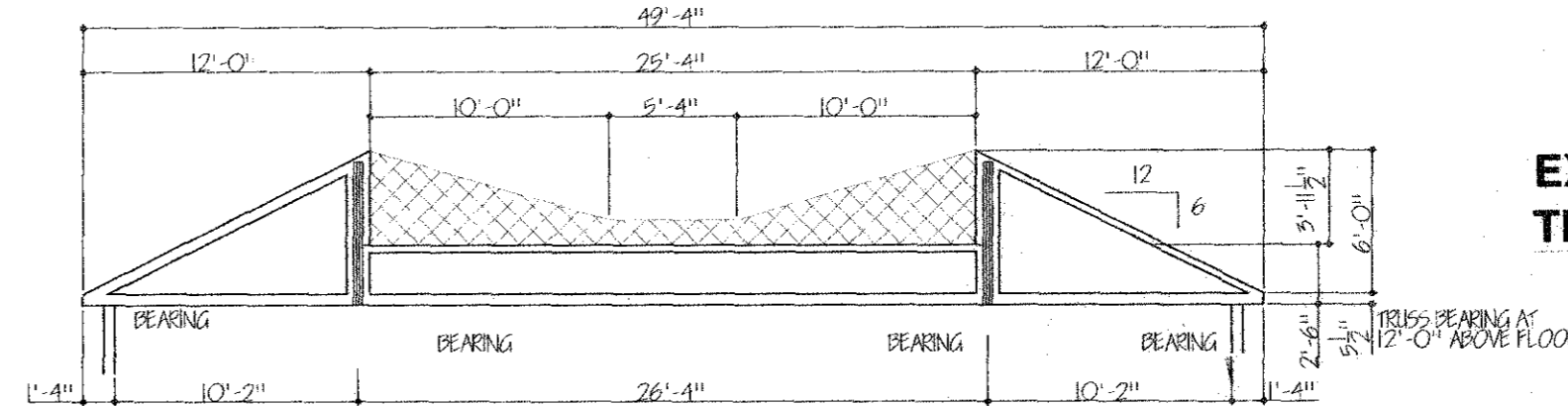
GIRDER TRUSS @ DINING



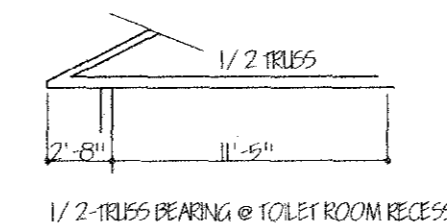
FULL TRUSS @ DINING



TRUSS @ HIGH EQUIP. WELL



EXTENDED TRUSS @ LOW EQUIP. WELL



TRUSS TYPES
SCALE: 1/8" = 1'-0"

ROOF LOADS
LOCAL ARCHITECT TO PROVIDE TRUSS MANUFACTURER WITH ALL ROOF LOADS TO MEET LOCAL DESIGN CONDITIONS AND CODES. ROOFTOP EQUIPMENT LOADS WILL NEED TO BE CONFIRMED AND COORDINATE WITH THE HVAC ENGINEER/ CONTRACTOR

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

STELLING & ASSOCIATES ARCHITECTS, LTD.

181 W. CHESTNUT STREET BURLINGTON, WI 53105
TEL: (262) 765-1971 FAX: (262) 765-1971
EMAIL: stelling@stgarch.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53156
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
ROOF PLANS AND TRUSS TYPES

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

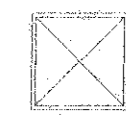
APPROVED:

DRAWN BY: ACN

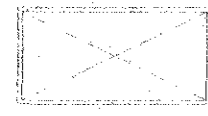
DATE: 12-4-00

PROJECT NUMBER: 0039

SHEET NUMBER: **A-4**



= 2' x 2' FLUORESCENT LIGHT FIXTURE
LAY-IN AS SHOWN, SURFACE MOUNT IF
SHOWN WITH "SM"



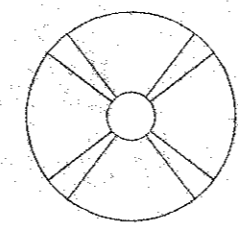
= 2' x 4' FLUORESCENT LIGHT FIXTURE
LAY-IN AS SHOWN, SURFACE MOUNT IF
SHOWN WITH "SM"



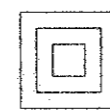
= PENDANT FIXTURE W/ INCANDESCENT
LAMP



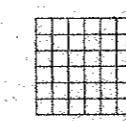
= RECESSED CAN FIXTURE W/ COMPACT
FLUORESCENT LAMPS



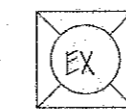
= 32" CEILING FAN



= 2' x 2' LAY-IN DIFFUSER

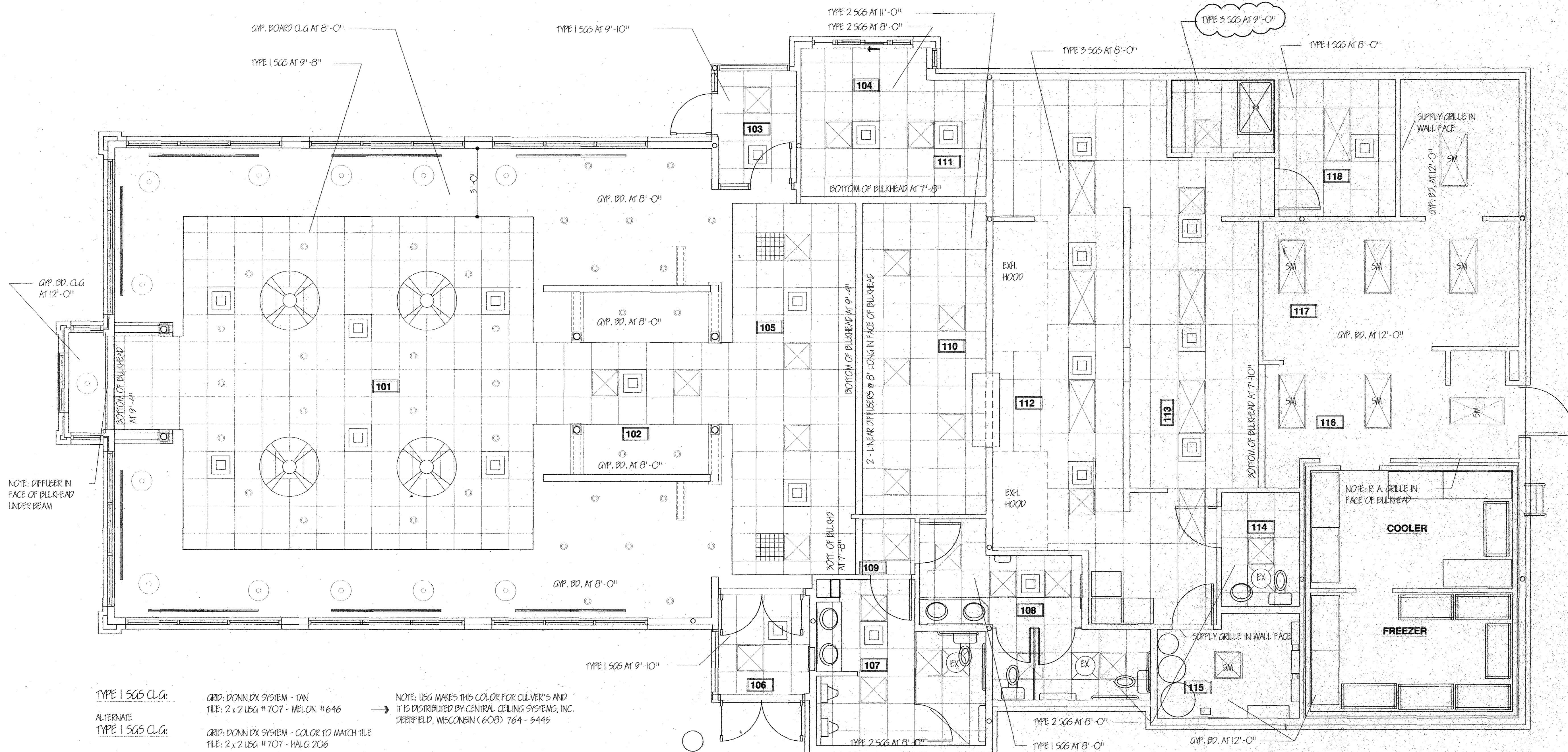


= 24 x 24 LAY-IN RETURN AIR GRILLE

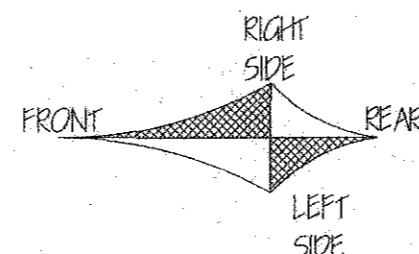


= 24 x 24 EXHAUST GRILLE

= LINEAR DIFFUSER



- TYPE 1 SCS CLG: GRID: DONN DX SYSTEM - TAN
TILE: 2 x 2 USG #707 - MELON #646
ALTERNATE TYPE 1 SCS CLG: GRID: DONN DX SYSTEM - COLOR TO MATCH TILE
TILE: 2 x 2 USG #707 - HALO 206
- TYPE 2 SCS CLG: GRID: CHICAGO METALIC WHITE ALUMINUM
TILE: 2 x 2 USG WHITE MILAR FACED GYPSUM - #5260 STIPPLE WHITE
- TYPE 3 SCS CLG: GRID: CHICAGO METALIC WHITE ALUMINUM
TILE: 2 x 4 USG MILAR FACED GYPSUM - #5270 STIPPLE WHITE
- NOTE: USG MAKES THIS COLOR FOR CULVER'S AND IT IS DISTRIBUTED BY CENTRAL CEILING SYSTEMS, INC. DEERFIELD, WISCONSIN (608) 764-5445



SEE SITE PLAN FOR NORTH ORIENTATION

REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

STELLING & ASSOCIATES
ARCHITECTS, LTD.

181 W. CHESTNUT STREET, BURLINGTON, WI 53005
TELEPHONE: (262) 783-8725 FAX: (262) 785-1871
E-MAIL: stelling@aol.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRairie WI, 53158

PRODUCT FOR:
OMA, L.L.C.

REFLECTED CEILING PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

1-29-01	▲
---------	---

APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
A-5

FINISH PLAN

SCALE: 1/4" = 1'-0"

FINISH MATERIALS

CARPET:

- Base Pad: Akulon "Tradition" Sea Port Navy (Car 915)
 - Option 1: Philadelphia "Ocean Visions" Side #90263 in Isla (Car 68400)
 - Option 2: Market Street "Laredo Falls" Side #90267 in Watercolor Blue (Car 67460)
- NOTE: Booth bases may be required to be wrapped with carpet - verify with Owner.
- VINYL BASE: Johnsonite 4" vinyl cover base (OBO quoted) in CP-92 "Blue Lagoon"

FLOOR TILE:

- The 1. double "Pondok" in Caltex 3/16 color in 6" x 6" x 1/2" and 12" x 12" sizes
 - The 2. double "Santitas" 6" x 6" (OZ76) (Car)
- NOTE: All tile 2 floors set readings 6" square tile base with core.
- The 1 floors set 6" base and trim in double frame Blue (ZSO9)

ALTERNATE FLOOR TILE:

- ALTERNATE FLOOR TILE #2: double "Pondok" in FCO Blanco 12" x 12" size double base is 5-7689T in (OZ) base of 6" to special from

WALL TILE:

- Preferred: PAU-TLE (4-1/4 x 4-1/4)
 - Fidd Color P-195 "Amoral"
 - Acacia: D-1469 "Valiant"
- Acceptable: Macramac (4-1/4 x 4-1/4)
- Fidd Color D30E "Dove"
- Acacia: D991A04 "Colonial Blue"

WAINSCOT:

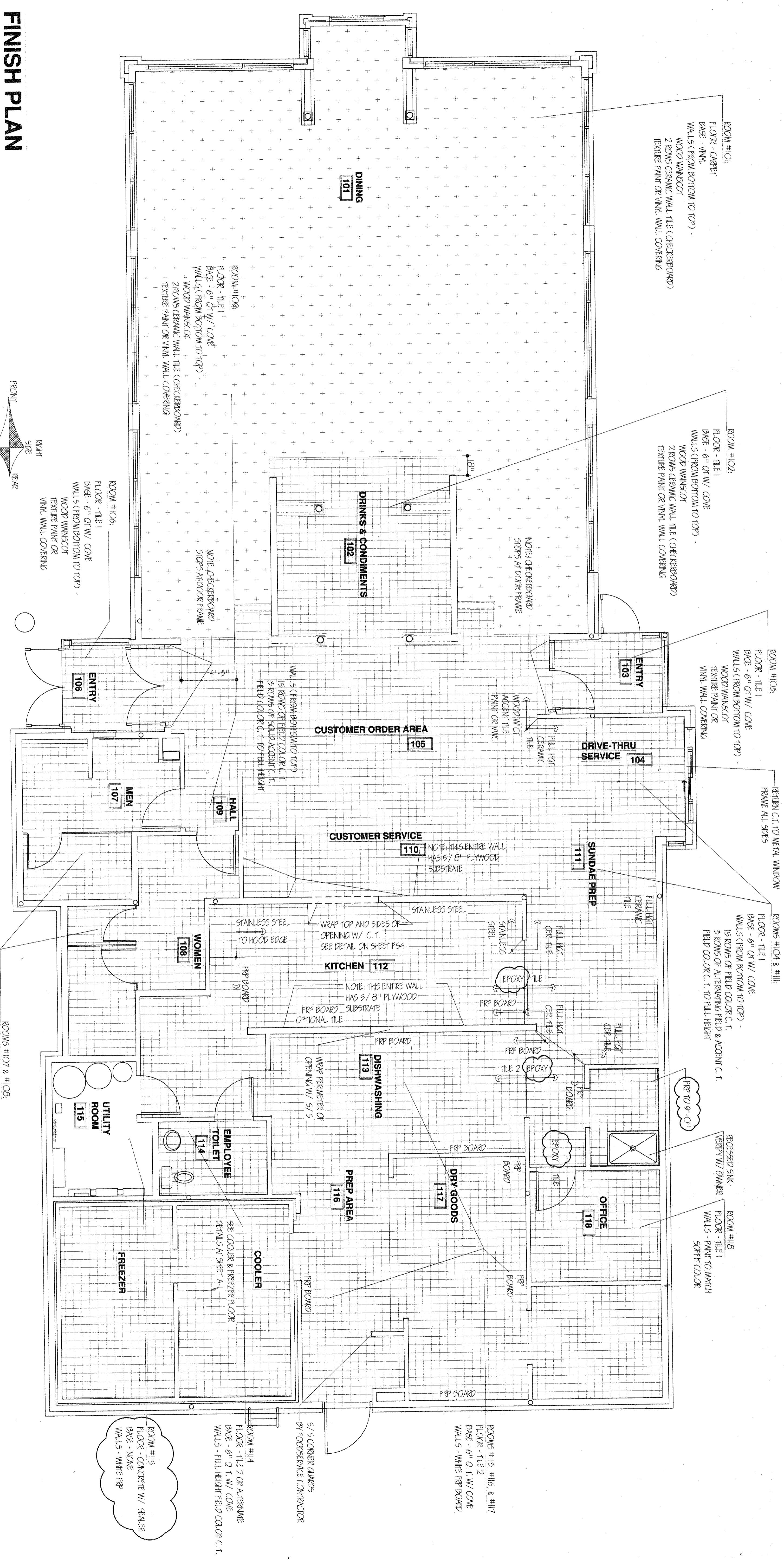
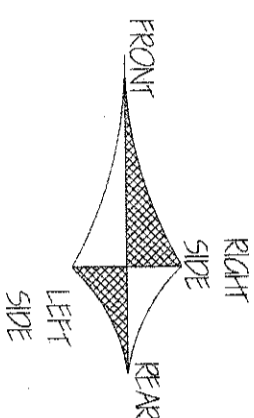
- Wood Paneling - Georgia Pacific "Island of Hawaii" in "Hawai Oak Red"
- Alternative: Marlin 321-52 Natural Oak Peak

WALL COVERING ABOVE WAINSCOT:

- Option 1: Panel - Muller Spec 88 in Arctic Blue (Available through Sherwin Williams)
- Option 2: Fabric backed wall covering as selected by Owner and approved by CSI. Light color, adhesive pattern, no folds, no blocking to studs, no recesses.
- Use MFC "Cape" in #14889 or #141886 Layer II wall for bidders.

TRIM / SINK:

- Oak trim stained with Old Masters #41904 "Faded" - Use same stain for Oak doors



ATTENTION!

SEE ADDITIONAL WALL FINISH INFORMATION AT SHEETS A-5, A-7, & A-8

SEE CEILING INFORMATION AT SHEET A-5

SEE NOTES AT A-7 & A-8 REGARDING 5/8" R/W WOOD SUBSTRATE BELOW SILL LEVEL IN ROOM AREAS

FINISH PLAN

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE WI, 53158

PROJECT FOR:
OMA, L.L.C.

STELLING & ASSOCIATES
 ARCHITECTS, LTD.

181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TELEPHONE: (262) 783-9725 FAX: (262) 783-1971
 E-MAIL: stelling@aol.com

A-6

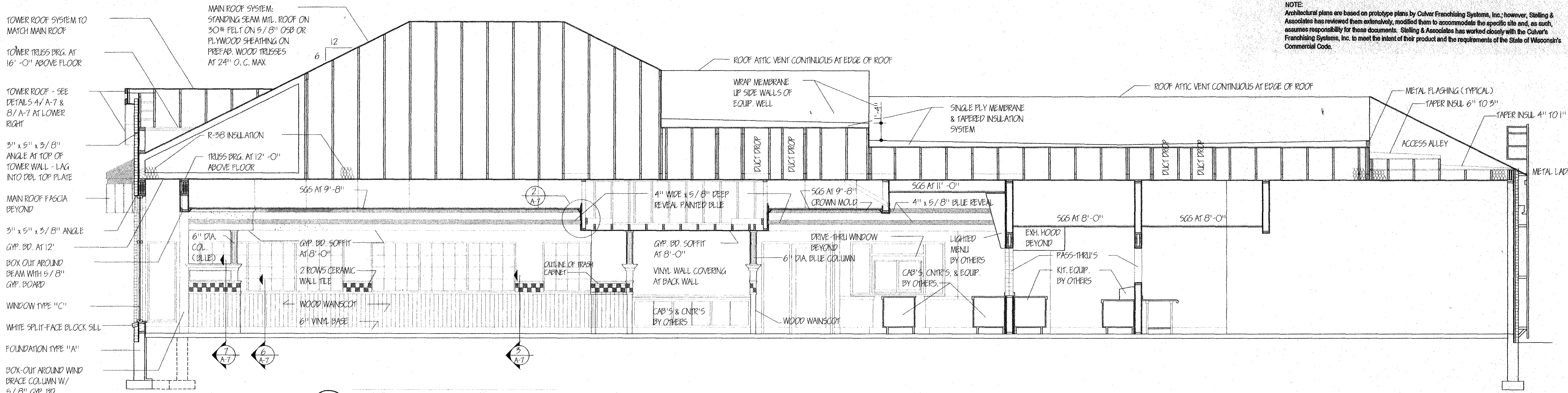
OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE INFORMATION HEREIN, AS WELL AS THE DESIGN AND CONSTRUCTION OF THE PROJECT, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, LTD. AND NO PART OF THIS DOCUMENT OR DESIGN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STELLING & ASSOCIATES, LTD.

DATE: 12-4-00

PROJECT NUMBER: 0039

DESIGNER: ACN

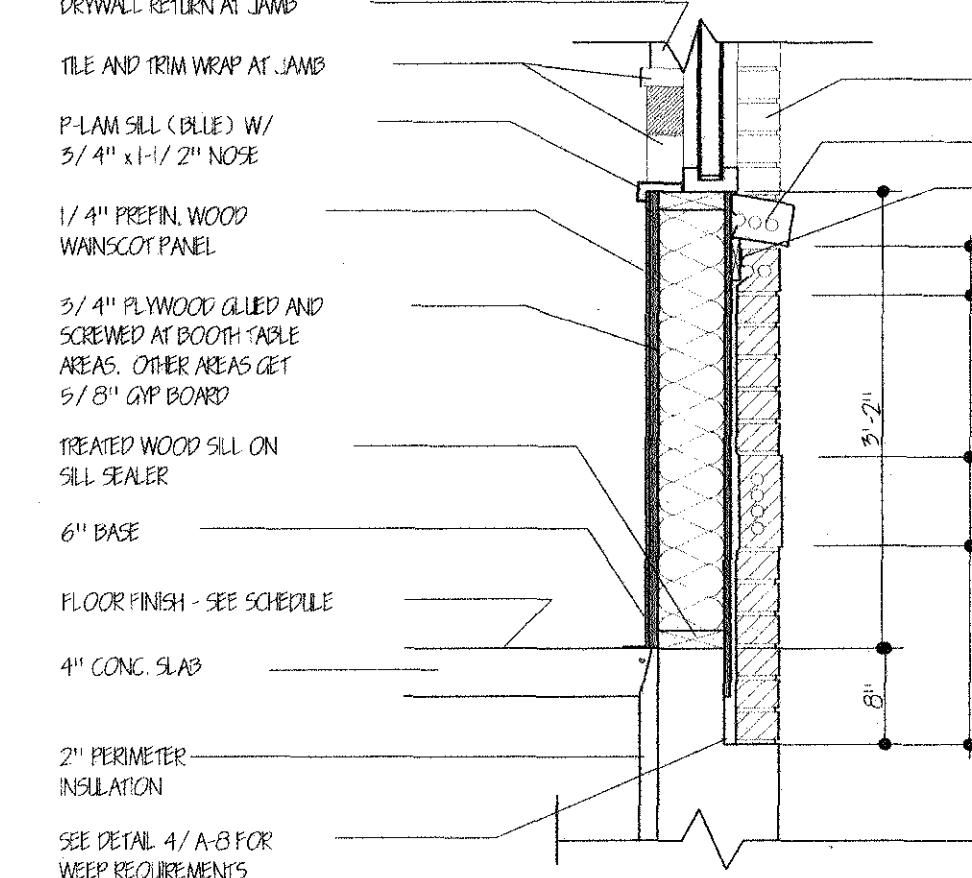
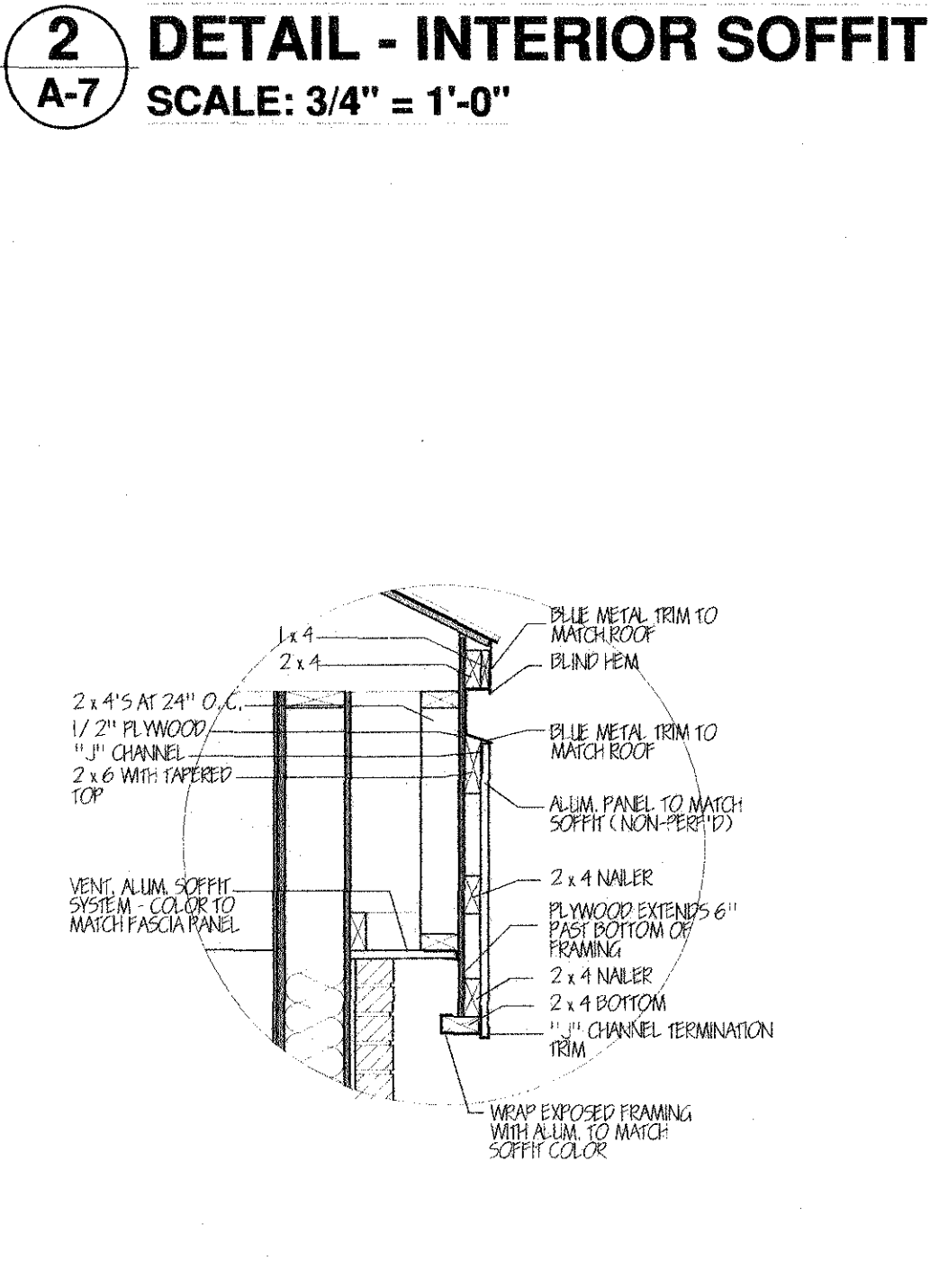
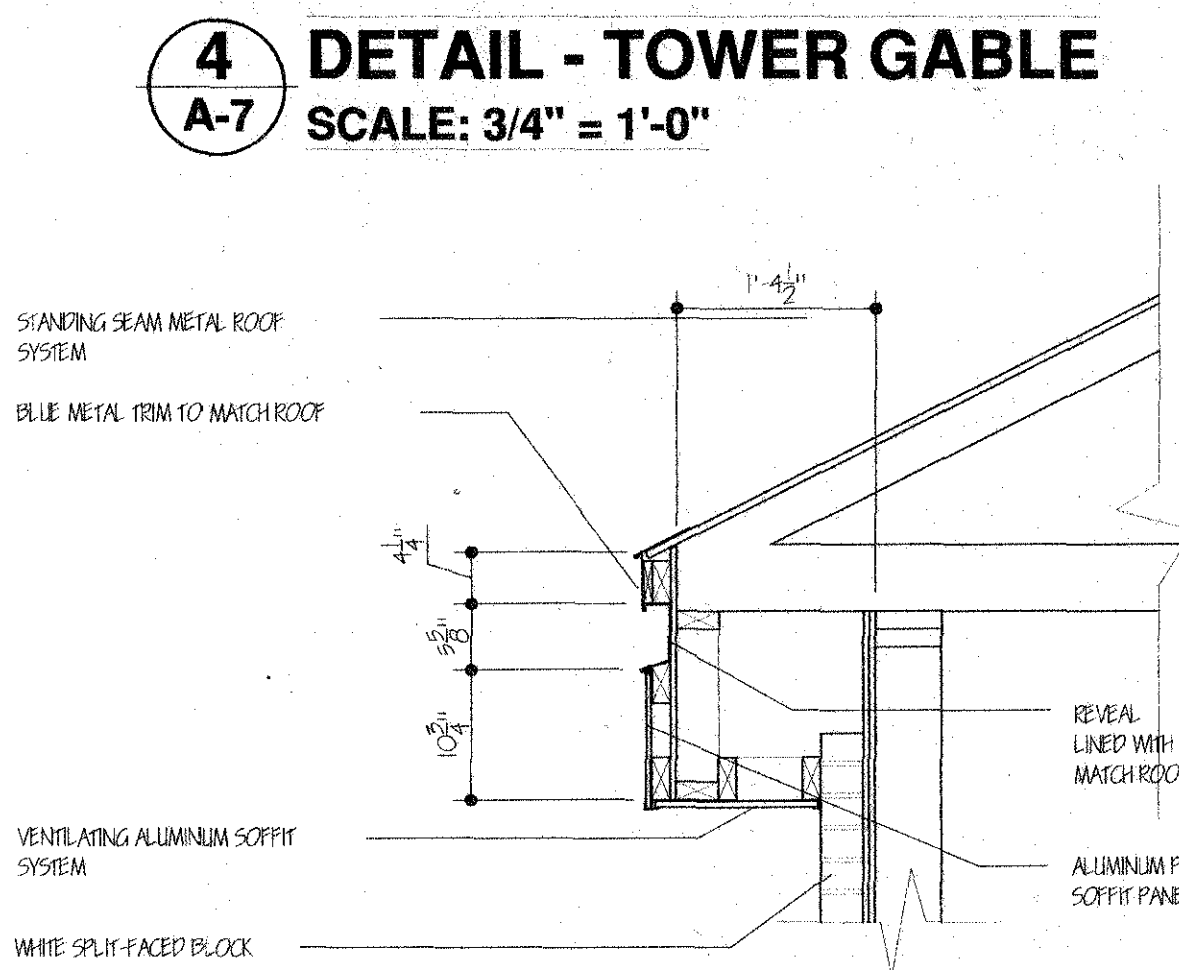
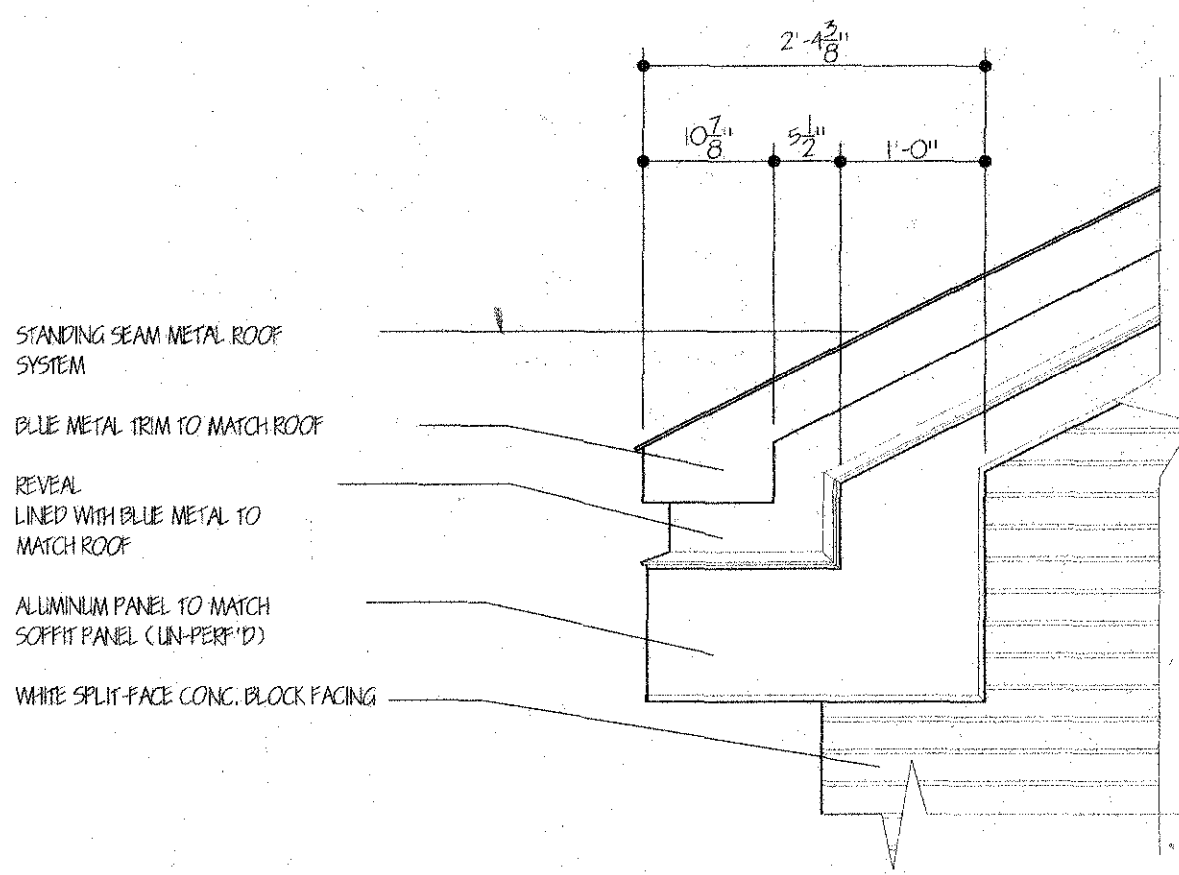
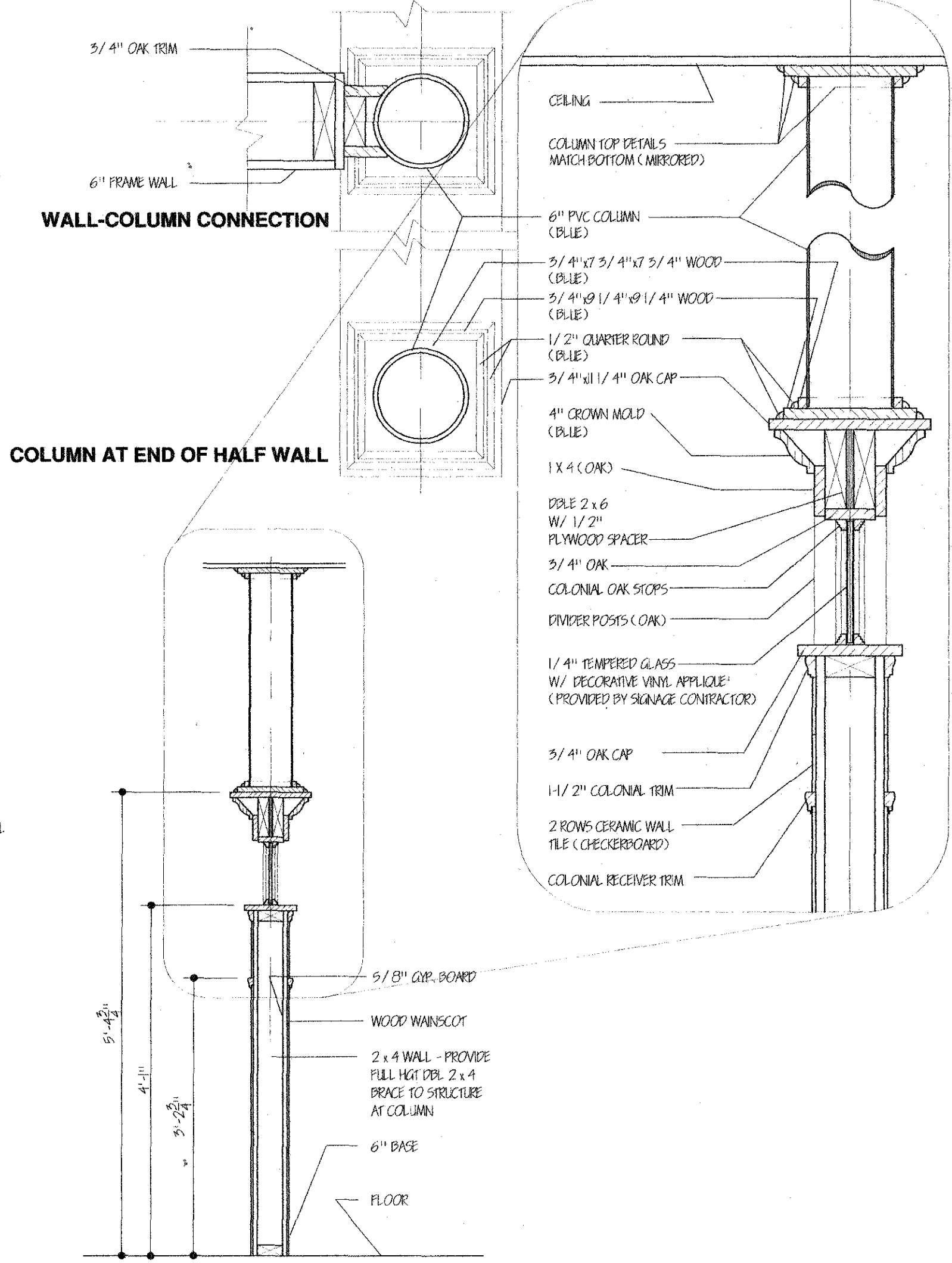
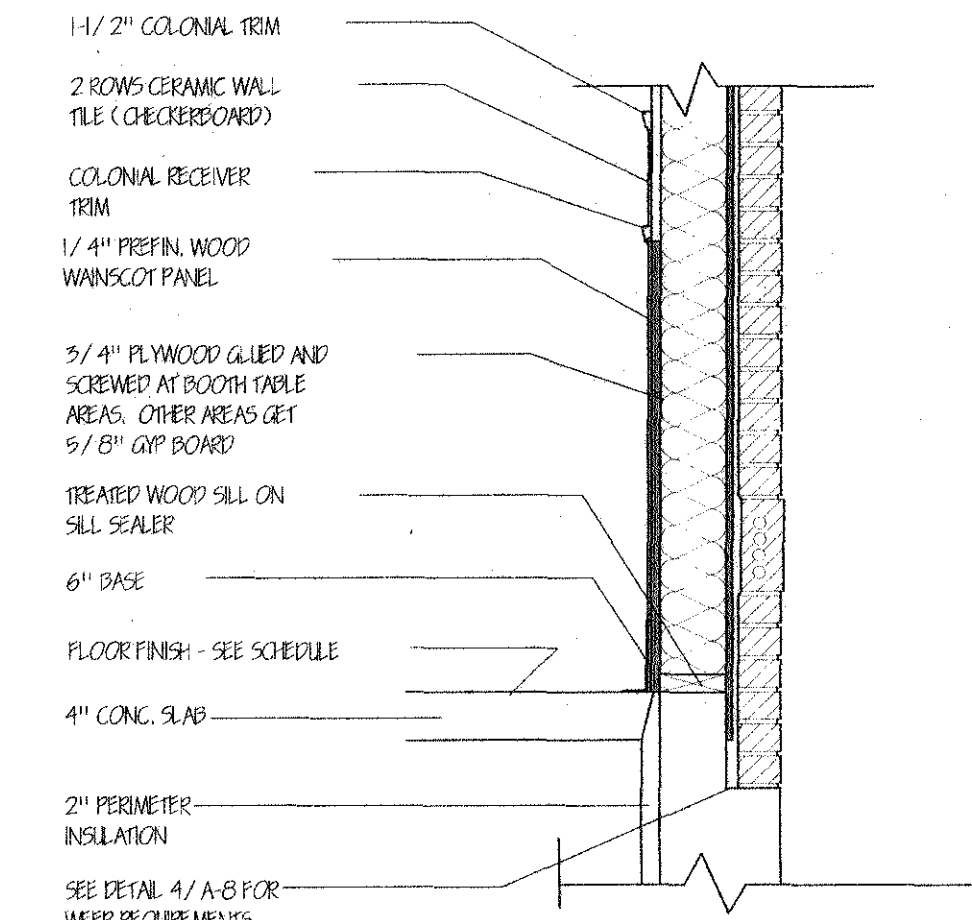
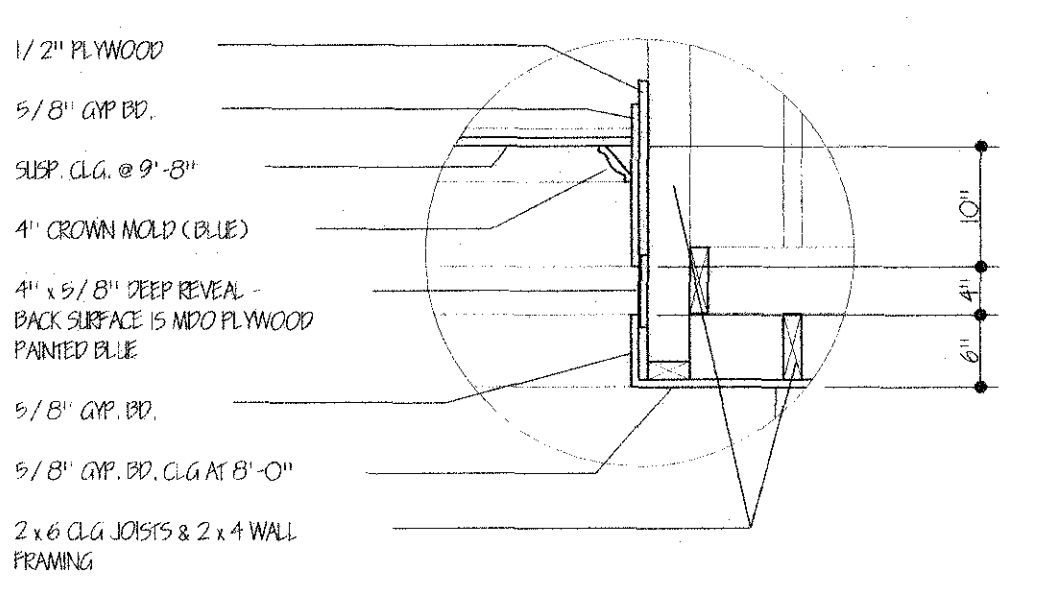
DATE: 1-29-01



NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

STELLING & ASSOCIATES
ARCHITECTS, LTD.

NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI 53158
PROJECT NO.: OMA, L.L.C.



LOGITUDINAL SECTION, AND DETAILS

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

APPROVED:

DRAWN BY: ACN

DATE: 12-4-00

PROJECT NUMBER: 0039

SHEET NUMBER: A-7

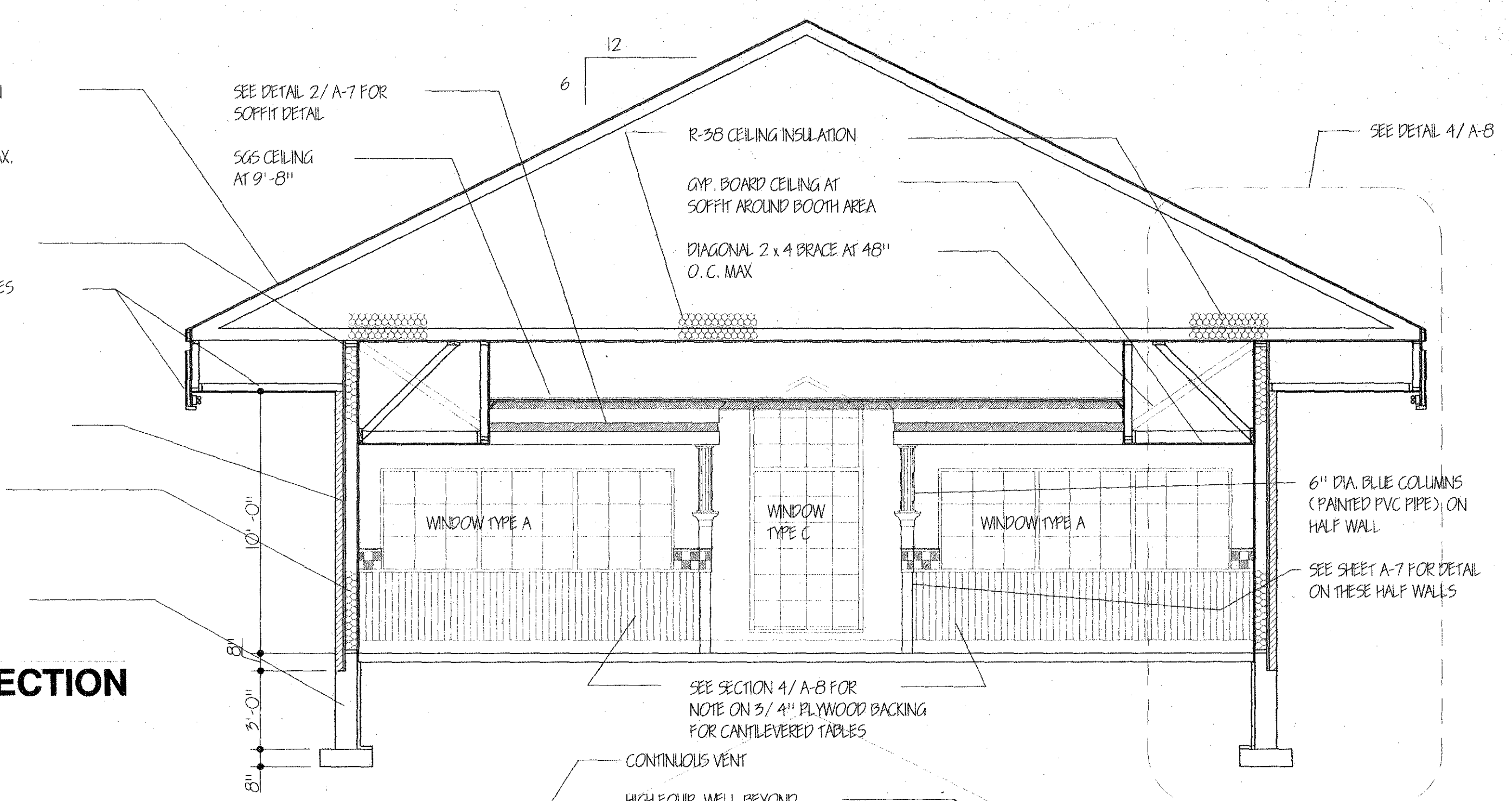
BLUE GALV. METAL STANDING SEAM ROOF ON 30 # FELT ON 5/8" CDX PLYWOOD SHEATHING W/ CLIPS ON PREFAB. WOOD TRUSSES AT 24" O.C. MAX.

TRUSS BEARING AT 12'-0" ABOVE SLAB
SEE DETAIL 4/ A-B FOR SOFFIT/ FASCIA NOTES AND DETAIL

FACE BRICK + AIR SPACE + 1/2" PLYWOOD SHEATHING + 2x6 STUDS AT 16" O.C.
R-19 FIBERGLASS WALL INSULATION

TYPE "A" FOUNDATION - SEE SHEET A-1

1 BLDG. CROSS SECTION
A-8 SCALE: 1/4" = 1'-0"
LOOKING TOWARD FRONT



STANDING SEAM METAL ROOF AT ENTRY BEYOND

STANDING SEAM METAL ROOF ON 30 # FELT ON 5/8" CDX PLYWOOD SHEATHING ON PREFAB WOOD TRUSSES AT 24" O.C. MAX.

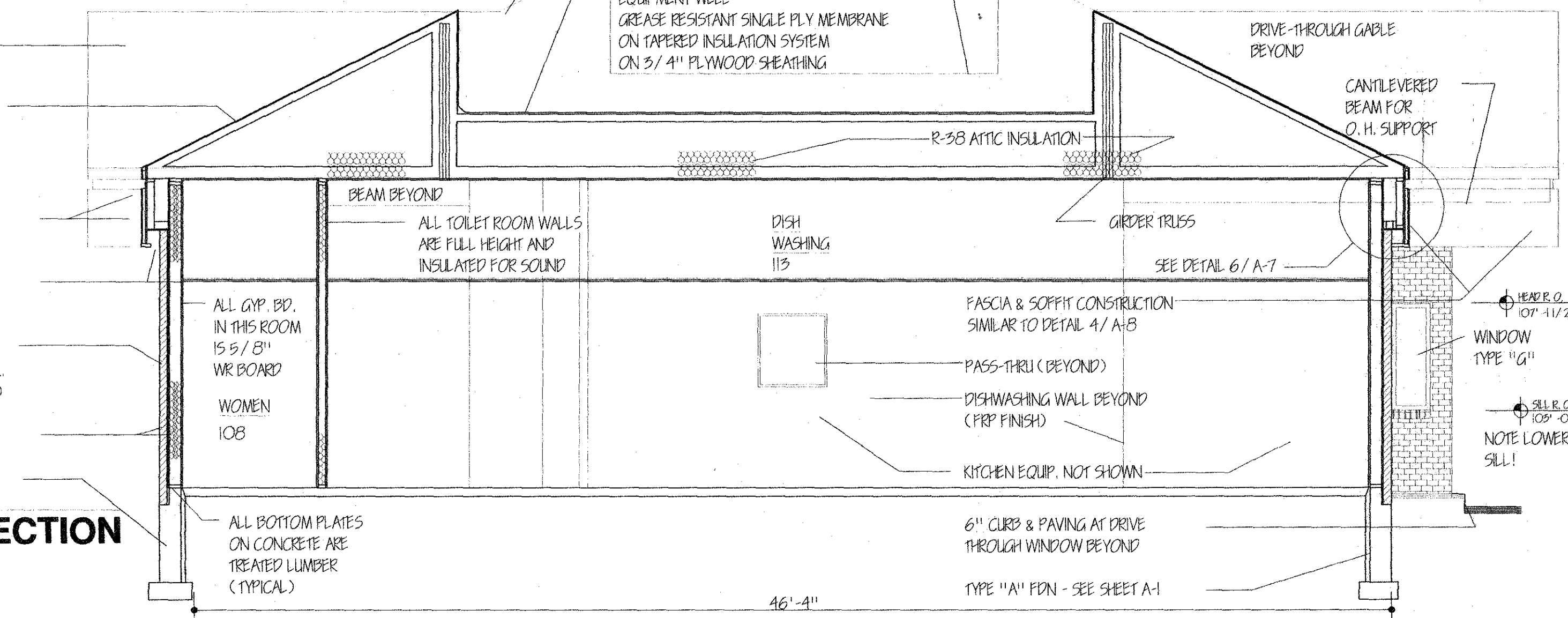
FACE PROFILE MATCHES THAT SHOWN AT DETAIL 4/ A-B

SOFFIT AT THIS AREA (WATER ROOM) IS UNVENTED

HORIZ. VINYL SIDING ON 1/2" PLYWD SHEATHING ON 2x4 STUDS AT 12" O.C. MAX. (2x4'S AT WATER ROOM ONLY - SEE PLAN)

R-11 FIBERGLASS INSULATION IN 2x4 WALL
TYPE "A" FOUNDATION - SEE SHEET A-1

2 BLDG. CROSS SECTION
A-8 SCALE: 1/4" = 1'-0"
LOOKING TOWARD FRONT



BLUE STANDING SEAM METAL ROOF SYSTEM

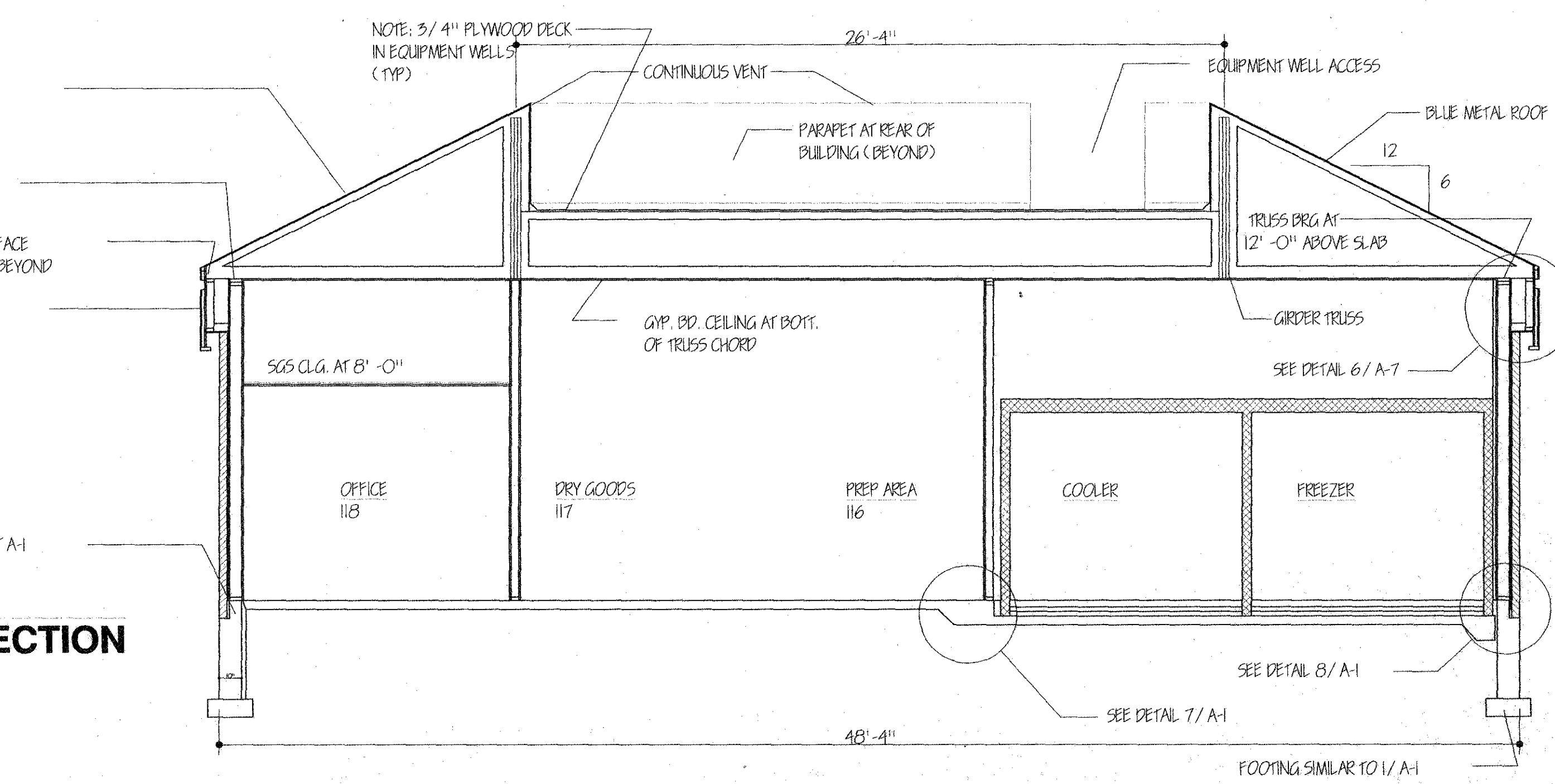
TRUSS BEARING AT 12' ABOVE SLAB

NOTE: TRUSS O.H. SHOWN ARE TO FACE OF TRUSS - FASCIA DETAIL EXTENDS BEYOND

FASCIA & SOFFIT CONSTRUCTION SIMILAR TO DETAIL 4/ A-B

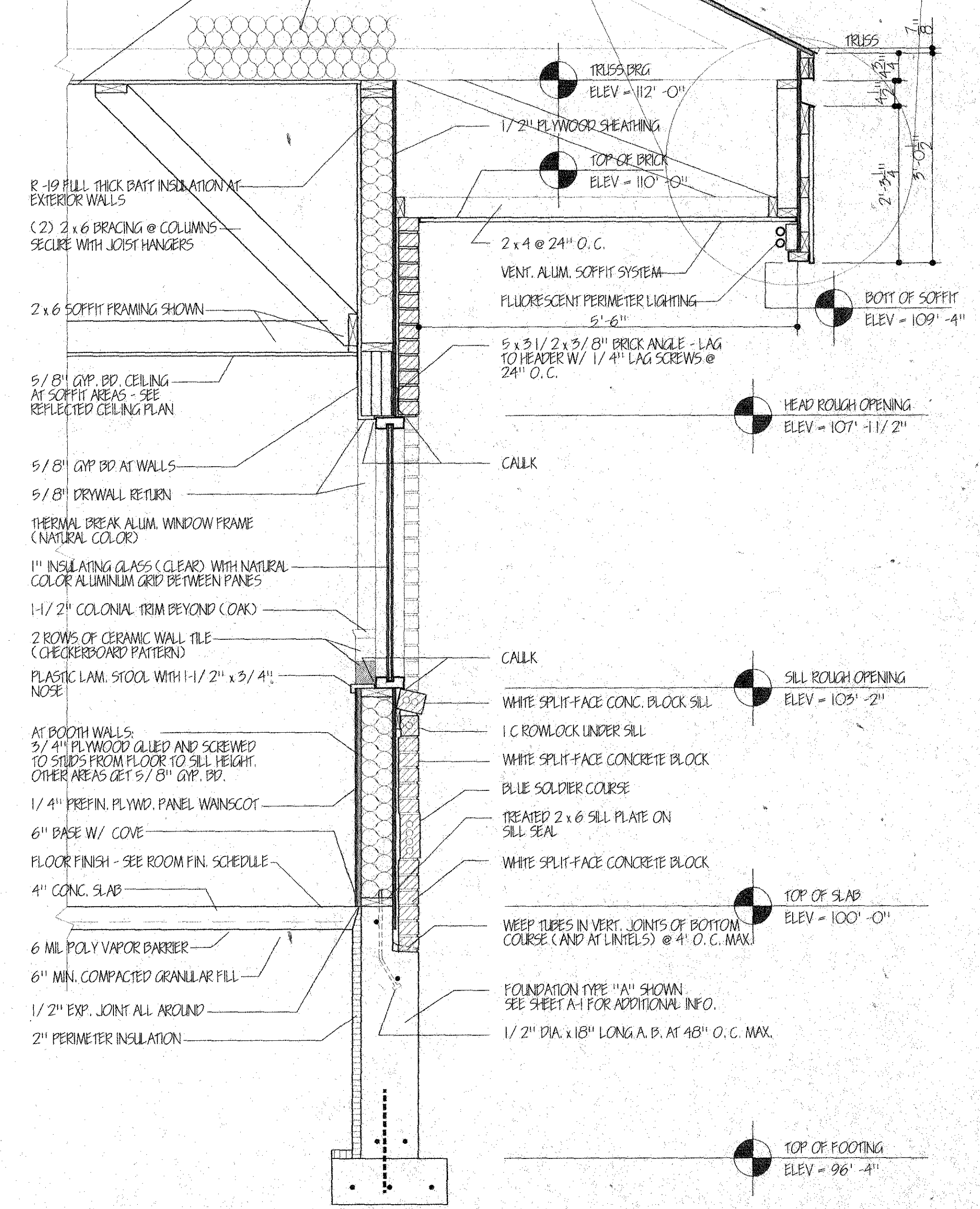
TYPE "A" FOUNDATION - SEE SHEET A-1

3 BLDG. CROSS SECTION
A-8 SCALE: 1/4" = 1'-0"
LOOKING TOWARD REAR



ROOF SYSTEM:
GALV. STEEL STANDING SEAM METAL ROOF SYSTEM (BLUE) ON 30# FELT ON 5/8" CDX PLYWOOD SHEATHING W/ CLIPS ON PREFAB. WOOD TRUSSES @ 24" O.C. MAX.
NOTE: TRUSS MANUFACTURER TO SUBMIT TRUSS DESIGN DRAWINGS AND CALCULATIONS TO PROJECT ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND DELIVERY.
NOTE: PROVIDE ICE & WATER BARRIERS AT ALL EAVES AND VALLEYS.

R-38 CEILING INSULATION PACKAGE - PROVIDE INSULATION STOPS AT WALL LINE IF CEILING INSULATION IS BLOWN. DO NOT FILL OVERHANGS
5/8" GYP BD ON 6 MIL POLY VAPOR BARRIER ON BOTTOM OF TRUSS - TYPICAL THROUGHOUT BLDG. FIRE TAPE ONLY IN CONCEALED AREAS



4 TYP. DINING ROOM WALL SECTION
A-8 SCALE: 3/4" = 1'-0"

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for those documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin's Commercial Code.

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON, WI 53105
TELEPHONE: (262) 765-8725 FAX: (262) 765-1971
E-MAIL: stelling@stalling.com

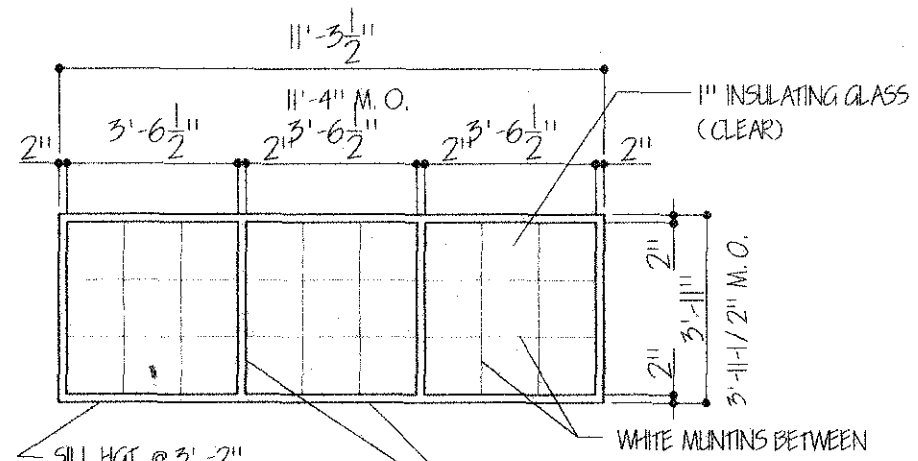
PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI. 53156
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
BUILDING CROSS SECTION
TYPICAL WALL SECTION

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

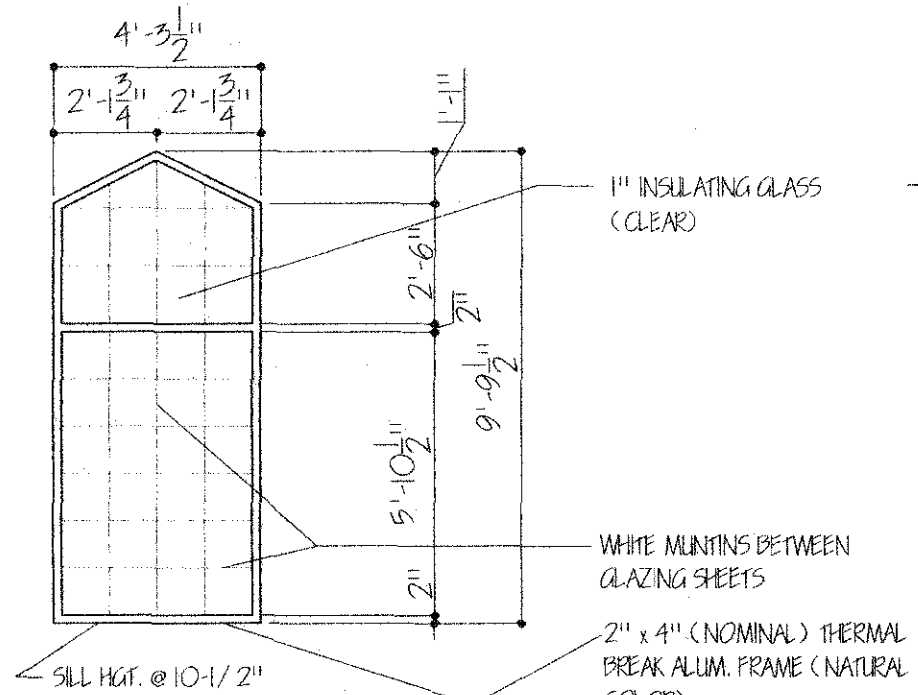
REVISIONS:
APPROVED:
DRAWN BY:
ACN
DATE:
12-4-00
PROJECT NUMBER:
0039
SHEET NUMBER:
A-8

WINDOW TYPES:



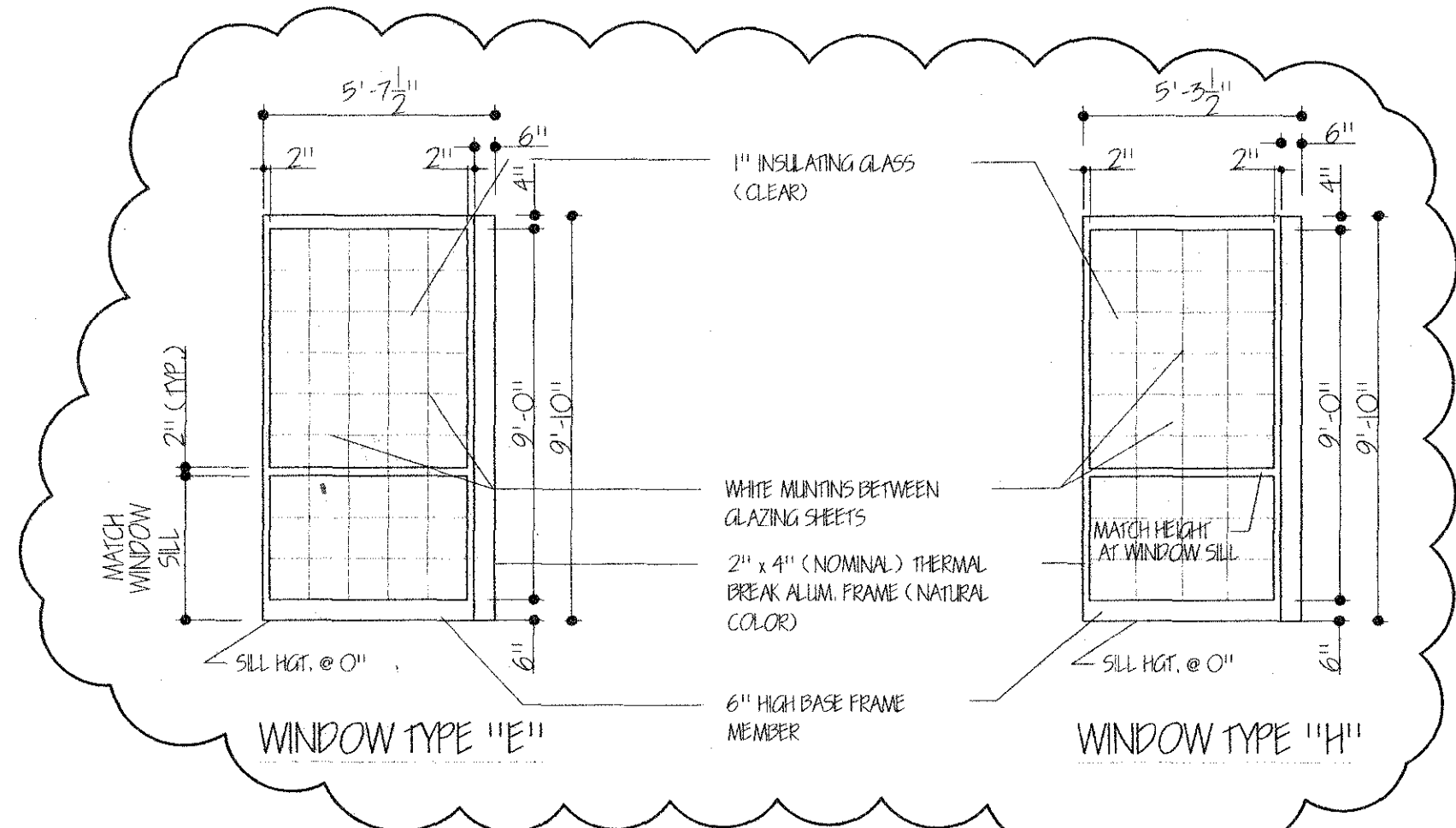
WINDOW TYPE "A"

UNUSED WINDOW TYPE "B"



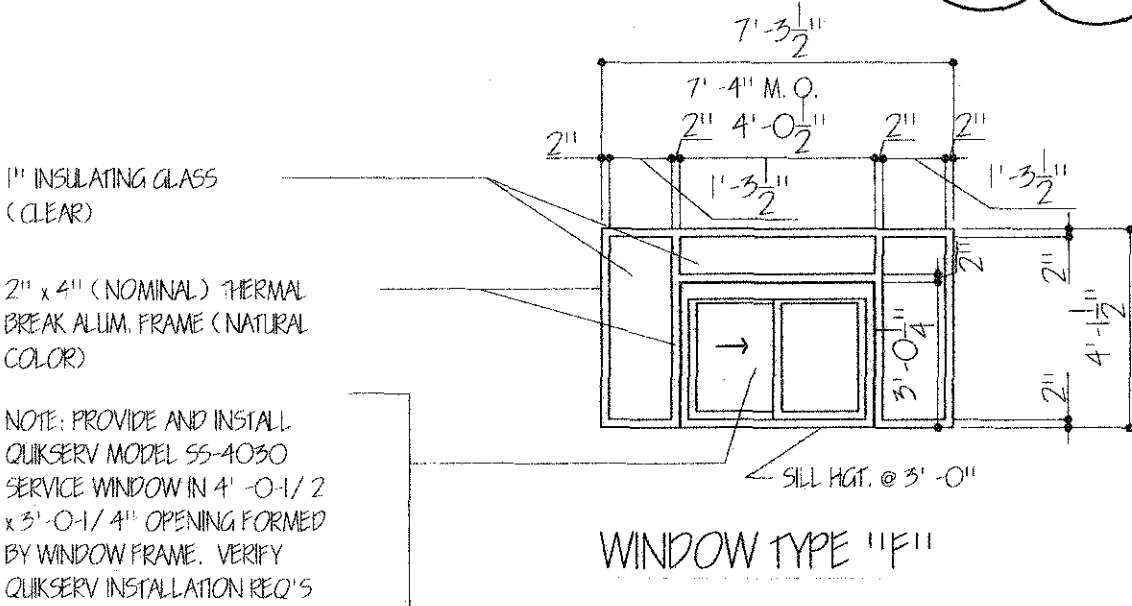
WINDOW TYPE "C"

WINDOW TYPE "D"

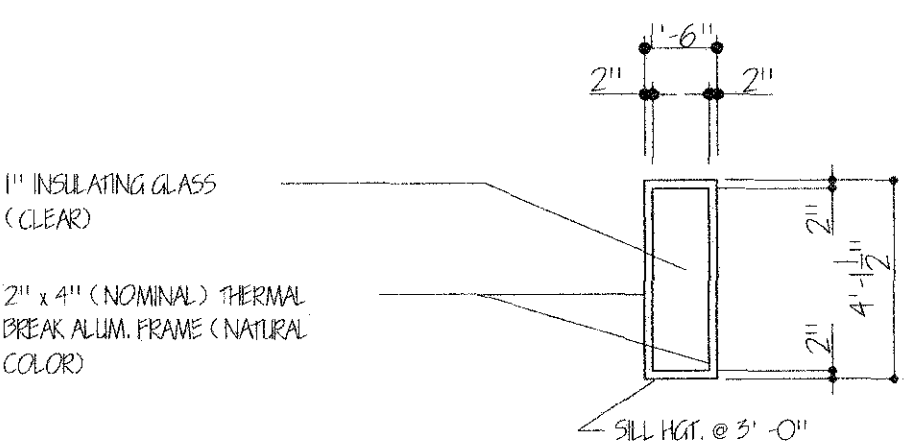


WINDOW TYPE "E"

WINDOW TYPE "H"



WINDOW TYPE "F"



WINDOW TYPE "G"

DOOR SCHEDULE

NO.	WIDTH	HGT.	DOOR:		FRAME:		HARDWARE GROUP	NOTES
			MAT'L	TYPE	MATERIAL	TYPE		
1	2 @ 36"	84"	ALUM	A	ALUM	A	1	5/8" INSULATING GLASS, THERMAL BREAK FRAME
2	2 @ 36"	84"	ALUM	A	ALUM	B	2	SINGLE GLASS
3	36"	84"	ALUM	B	ALUM	B	2	SINGLE GLASS
4	36"	84"	ALUM	B	ALUM	C	1	5/8" INSULATING GLASS, THERMAL BREAK FRAME
5	42"	84"	HM	C	HM	D	3	INSULATED HOLLOW METAL DOOR WITH 5/8" INSULATING GLASS
6	36"	84"	WD	D	WD	--	4	SOLID CORE, OAK VENEER - ALT. BID: MARLITE PRE-FINISHED DOOR
7	36"	84"	WD	D	WD	--	4	SOLID CORE, OAK VENEER - ALT. BID: MARLITE PRE-FINISHED DOOR
8	36"	84"	WD	D	WD	--	6	SOLID CORE, OAK VENEER - ALT. BID: MARLITE PRE-FINISHED DOOR
9	36"	84"	WD	D	WD	--	5	SOLID CORE, OAK VENEER - ALT. BID: MARLITE PRE-FINISHED DOOR
10	36"	84"	WD	E	WD	--	5	SOLID CORE, OAK VENEER - ALT. BID: MARLITE PRE-FINISHED DOOR

HARDWARE GROUPS:

HARDWARE GROUP 1: (Doors 1 & 4)
This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality option.

- Hinges: Ronon continuous hinges with heavy duty hardware
- Lock: Touchbar exit device (Von Dorn Series 903 or approved equal)
- Butts: Manufacturer's standard flush butts
- Closers: LCN 4000 series with heavy duty hardware
- Threshold: Aluminum - Meets ADA requirements
- Sweep: Milor's standard sweep
- Weatherstripping: Milor's premium package

HARDWARE GROUP 2: (Doors 2 & 3)
This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality option.

- Hinges: Ronon continuous hinges with heavy duty hardware
- Lock: None
- Butts: None
- Closers: LCN 4000 Series with heavy duty hardware
- Threshold: None
- Sweep: None
- Weatherstripping: None

HARDWARE GROUP 3: (Doors 5)

- Hinges: 1-1/2 pair butts Soss 55 4B 450 TB3 NRP (or Stanley or Hager equal)
- Lock: Schlage D series "Rhodes" in 626 finish
- Lock Protector: Glyn-Johnson US227 - Coord. w/ lock
- Closers: LCN 4000H Cash w/ Integral stop
- Threshold: Fenix 254 Series
- Weatherstripping: Full - Flank or equal
- Kick Plate: 12" high x door width @ both sides of door. 626 finish - Rockwood or equal.

HARDWARE GROUP 4: (Doors 6 & 7)

- Hinges: 1-1/2 pair butts - Soss 450 X NRP (or Stanley or Hager equal)
- Push/Pull: Brookline 50C x 626 and Brookline 50 x 626
- Stop: Ives 456 or Ives 407 - 1/2 x 626
- Closers: LCN 4000 series with heavy duty hardware
- Kick Plate: 8" high x door width @ both sides 626 finish - Brookline or equal

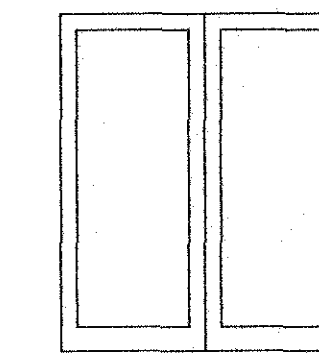
HARDWARE GROUP 5: (Doors 9 & 10)

- Hinges: 1-1/2 pair butts - Soss 450 TB3 (or Stanley or Hager equal)
- Lock: Schlage A Series "Saturm" in 626 finish
- Stop: Ives 456 or Ives 407 - 1/2 x 626
- Closers: LCN 4000 Series with heavy duty hardware
- Kick Plate: 8" high x door width @ kitchen side 626 finish - Brookline or equal

HARDWARE GROUP 6: (Door 8)

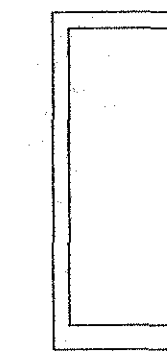
- Hinges: 1-1/2 pair butts - Soss 450 TB3 (or Stanley or Hager equal)
- Lock: Schlage A Series "Saturm" in 626 finish
- Stop: Ives 456 or Ives 407 - 1/2 x 626
- Closers: LCN 4000 Series with heavy duty hardware
- Kick Plate: 8" high x door width @ kitchen side 626 finish - Brookline or equal

DOOR TYPES



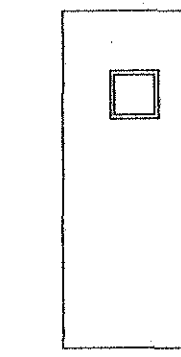
TYPE "A"

Pair @ 36" x 84" Aluminum
Aluminum color is natural
Glass is clear
5/8" insulating glass at exterior doors



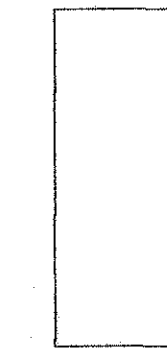
TYPE "B"

36" x 84" Aluminum
Aluminum color is natural
Glass is clear
5/8" insulating glass at exterior doors



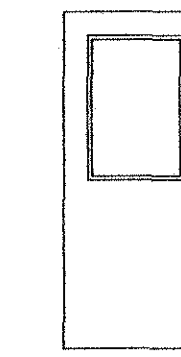
TYPE "C"

42" x 84" insulated HM door w/
12" x 2" lite
glass w/ 5/8" insulating glass



TYPE "D"

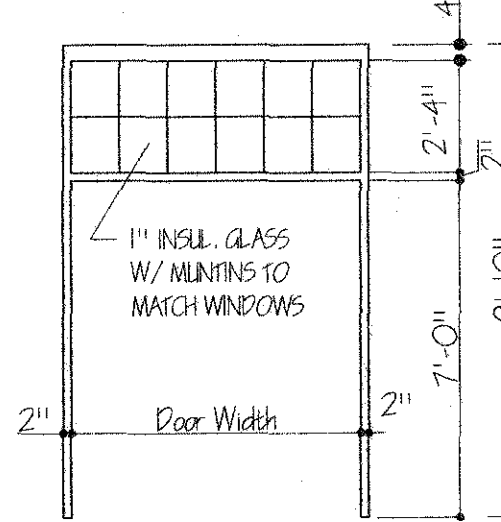
36" x 84" x 1-5/8" flush panel
solid core wood door w/ oak veneer
finish
Alternate: Marlite pre-finished door



TYPE "E"

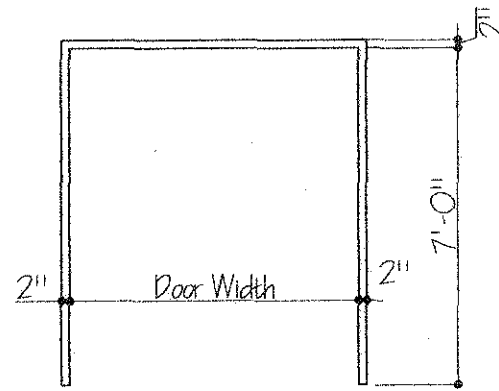
Same as Type "D" except
with single pane 1/2 lite

FRAME TYPES



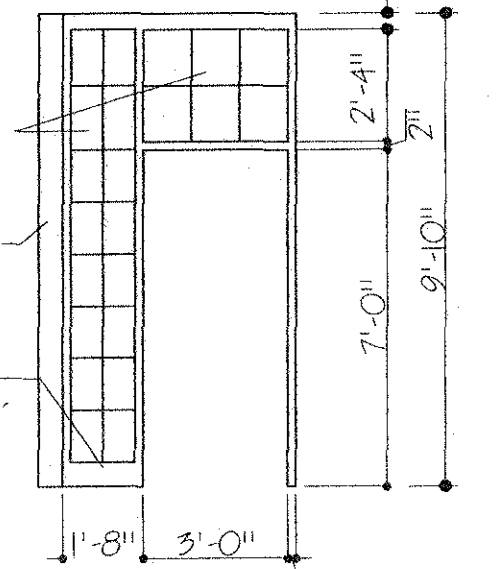
FRAME "A"

2" nominal thermal-break frame
Natural color aluminum



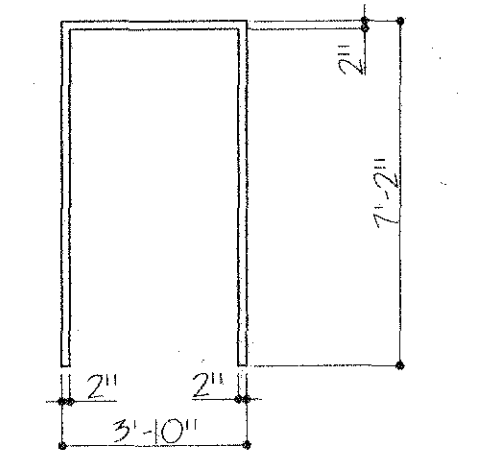
FRAME "B"

2" nominal aluminum frame
Natural color



FRAME "C"

2" nominal thermal-break frame
Natural color aluminum



FRAME "D"

2" Hollow Metal Frame
Factory primed finish

NOTE:
Architectural plans are based on prototype plans by Culver Franchising Systems, Inc.; however, Stelling & Associates has reviewed them extensively, modified them to accommodate the specific site and, as such, assumes responsibility for these documents. Stelling & Associates has worked closely with the Culver's Franchising Systems, Inc. to meet the intent of their product and the requirements of the State of Wisconsin Commercial Code.

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI, 53158
PROJECT FOR:
OMA, L.L.C.

STELLING & ASSOCIATES ARCHITECTS, L.T.D.
181 W. CHESTNUT STREET BURLINGTON WI 53105
TELEPHONE: (262) 765-8725 FAX: (262) 765-1871
EMAIL: stelling@saai.com

WINDOW TYPES, DOOR SCHEDULE,
DOOR TYPES, HARDWARE GROUPS,
AND FRAME TYPES

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE SOLE PROPERTY OF
STELLING & ASSOCIATES,
ARCHITECTS, LTD. AND IS
NOT TO BE USED IN WHOLE
OR IN PART FOR ANY
OTHER PROJECT OR
PURPOSE WITHOUT THE
EXPRESSED WRITTEN
AUTHORIZATION OF STELLING
& ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

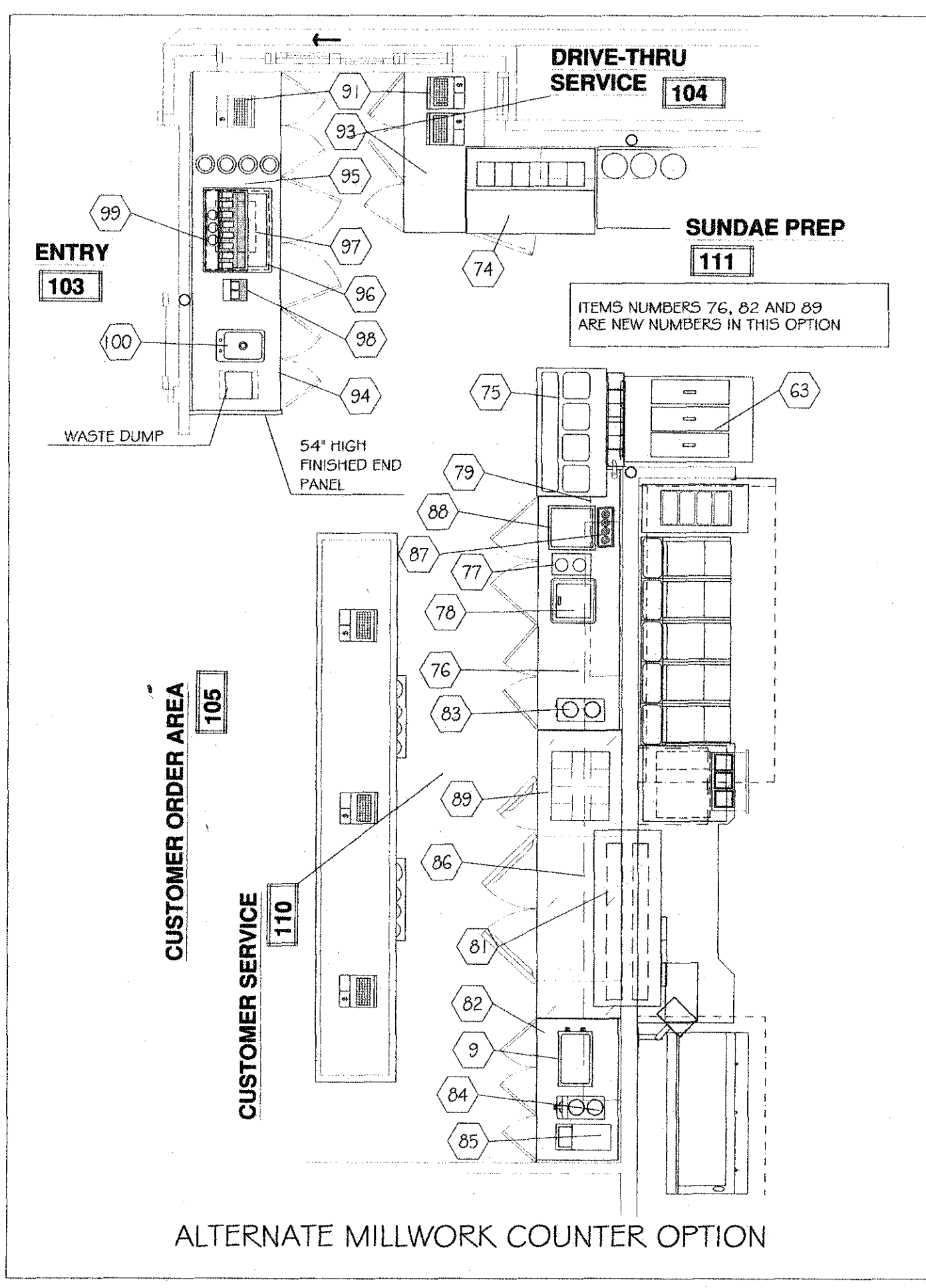
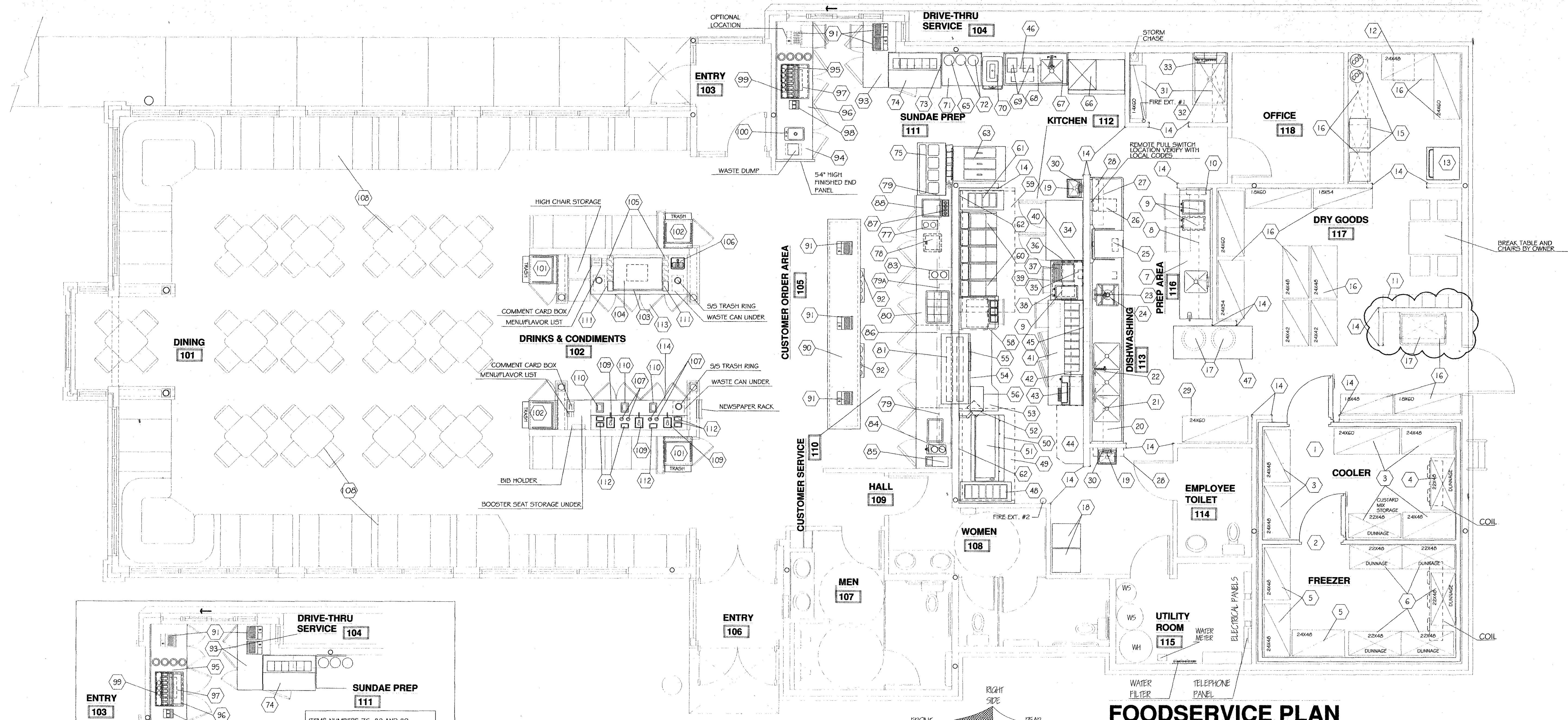
APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
A-9



FOODSERVICE PLAN
SCALE: 1/4" = 1'-0"

ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	WALK IN COOLER	24	DISPOSER	47	MOBILE WORKTABLE (OPTIONAL)	70	MILKSHAKE MACHINE (BY OWNER)
2	WALK IN FREEZER	25	DISHWASHER (BY CHEMICAL COMPANY)	48	CUSTOM MEAT REFRIGERATOR	71	WORKTABLE
3	COOLER SHELVING	26	BOOSTER HEATER	49	EXHAUST HOOD (PROVIDE DISCONNECT)	72	HEATED SYRUP DISPENSERS
4	COOLER DUNNAGE RACK	27	WALL SHELF	50	GRIDDLE STAND	73	WALL SHELF
5	FREEZER SHELVING	28	FIRE SUPPRESSION SYSTEMS	51	GRIDDLE	74	REFRIGERATED TOPPING TABLE
6	FREEZER DUNNAGE	29	SHELVING	52	DOUBLE PRINTER SHELF	75	CUSTARD DIPPING CABINET
7	WORKTABLE/SINK	30	WALL SHELVES	53	SANDWICH WRAP STATION	76	OPEN NUMBER (BASE) SERVICE COUNTER (ALTERNATE)
8	WALL SHELF	31	JANITOR'S SHELVING	54	ORDER BARS	77	CHOCOLATE WARMER
9	COOKERWARMERS	32	MOP SINK (BY PLUMBER)	55	WRAP PAPER HOLDERS	78	DROP-IN FREEZER (OPTIONAL)
10	KETCHUP DISPENSER (BY PURVEYOR)	33	CHEMICAL DISPENSING SYSTEM (BY PURVEYOR)	56	BUN WARMER (OPTIONAL)	79	WALL SHELVES
11	LOCKERS	34	REACH-IN FREEZER	57	OPEN NUMBER	80	REFRIGERATED S/S BACKCOUNTER
12	GREASE GUZZLER (ALTERNATE BY OWNER)	35	CHICKEN TIMER (BY OWNER)	58	FRY STATION HEAT LAMP	81	HEATED PASS-THRU UNIT
13	WASHER/DRYER BY OWNER	36	MICROWAVE OVEN	59	EXHAUST HOOD (PROVIDE DISCONNECT)	82	OPEN NUMBER (BASE) SERVICE COUNTER (ALTERNATE)
14	CORNER GUARDS	37	FRYERS	60	FRYERS	83	COFFEE WARMER (BY PURVEYOR)
15	BAG-IN-BOX SYSTEM (BY PURVEYOR)	38	WARMER DRAWER	61	CUSTOM FISH REFRIGERATOR	84	COFFEE MAKER (BY PURVEYOR)
16	STORAGE SHELVING	39	WORKTABLE	62	S/S WALL PANELS	85	HOT CHOCOLATE MACHINE (BY PURVEYOR)
17	TRASH CANS/CART (BY OWNER)	40	MICROWAVE SHELF	63	TRIPLE CUSTARD MACHINE (BY OWNER)	86	MENU BOARD (BY OWNER)
18	BUN RACKS (BY PURVEYOR)	41	REFRIGERATED WORKTABLE	64	OPEN NUMBER	87	WAFFLE CONE DISPENSER
19	HAND SINKS	42	WALL SHELF	65	SYRUP PUMP AND JAR	88	DROP-IN CONE BIN
20	DISHTABLES AND UTENSIL SINKS	43	BUN TOASTER	66	ICE MACHINE WITH BIN	89	OPEN NUMBER (BASE) WORKTOP REFRIGERATOR (ALTERNATE)
21	WALL SHELF	44	BUN RACK SHELF	67	WORKTABLE WITH SINK	90	FRONT SERVICE COUNTER
22	PRE-RINSE SPRAY ASSEMBLY	45	S/S WINDOW TRIM	68	WALL SHELF	91	CASH REGISTERS AND SYSTEM (BY OWNER)
23	PRE-RINSE SPRAY ASSEMBLY	46	MICROWAVE OVEN	69	ASTRO BLENDERS (BY OWNER)	92	CUP DISPENSERS
						93	DRIVE-UP COUNTER
						94	DRIVE-UP COUNTER
						95	CUP DISPENSERS
						96	ICE AND SODA DISPENSER (BY PURVEYOR)
						97	CARBONATOR (BY PURVEYOR)
						98	NON-CARB DRINK TOWER (BY PURVEYOR)
						99	LID DISPENSER
						100	DROP-IN SINK
						101	TRAY/TRASH COUNTERS
						102	TRAY/TRASH COUNTERS
						103	SODA DISPENSER (BY PURVEYOR)
						104	CARBONATOR (BY PURVEYOR)
						105	LID DISPENSERS
						106	GLASS FILLER
						107	CONDIMENT CUP DISPENSERS
						108	TABLES/CHAIRS/BOOTH
						109	CONDIMENT DISPENSERS
						110	NAPKIN DISPENSERS
						111	STRAW DISPENSERS
						112	CONDIMENT PANS
						113	BEVERAGE COUNTER
						114	CONDIMENT COUNTER
						115	REFRIGERATION SYSTEMS (ON ROOF)

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. GERRITSON STREET, BURLINGTON, WI 53106
TELEPHONE: (262) 733-8725 FAX: (262) 733-1971
E-MAIL: stelling@stalling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158
PROJECT FOR **OMA, L.L.C.**

DRAWING DESCRIPTION:
FOOD SERVICE FLOOR PLAN

REVISIONS:
1-29-01

APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
FS-1

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

PLUMBING SYMBOLS	
●	HW HOT WATER
○	CW COLD WATER
○	DW DIRECT WASTE
○	H.D. HUB DRAIN
○	F.D. FLOOR DRAIN
○	G GAS
○	AFI ABOVE FINISHED FLOOR
○	PC POINT OF CONNECTION

NOTES:

FEC:

A) FEC TO FIELD VERIFY ALL ROUGH-IN LOCATIONS AT EARLY DATE TO ENSURE CORRECT PLACEMENTS AND QUANTITIES. NOTE ANY CHANGES AND SUBMIT TO THE ARCHITECT AND CONSULTANT FOR APPROVAL.

B) FEC TO COORDINATE WITH FC ON EXISTING EQUIPMENT PLUMBING REQUIREMENTS.

PLUMBING CONTRACTOR:

A) HEIGHTS LISTED ON ROUGH-IN SCHEDULE ARE TO THE CENTER LINE OF THE ROUGH-IN. ALL DIMENSIONS ARE FROM FINISHED WALLS AND FLOORS.

B) WHERE POSSIBLE THE ROUGH-INS ARE TO BE CONCEALED IN THE WALL AND STUBBED OUT AT THE HEIGHT INDICATED.

C) WHERE AN OPEN SITE (HUB DRAIN) IS SPECIFIED THE CONTRACTOR IS TO TERMINATE THE DRAIN PIPING OVER CENTER OF THE DRAIN PER STATE AND LOCAL CODES.

D) PROVIDE ALL WATER SUPPLY AND DRAIN LINES, DRAIN FITTINGS, FLOOR DRAINS, VALVES, TRAPS, UNIONS, TAILPIECES, PRESSURE REDUCING VALVES, CHECK VALVES, SHOCK ABSORBERS, PVC CONDUIT FOR BEVERAGE AND REFRIGERATION LINES AS REQUIRED. PROVIDE GREASE TRAPS OR INTERCEPTORS SIZED PER CODE TO HANDLE LISTED VOLUMES AS INDICATED ON PLUMBING/MECHANICAL SCHEDULE SHEET. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING ENGINEER TO SPECIFY AND DETAIL THE REQUIREMENTS FOR CODE-COMPLYING BACKFLOW-REDUCED PRESSURE DEVICES AS REQUIRED BY STATE AND LOCAL CODES. THE PLUMBING ENGINEER IS RESPONSIBLE FOR COORDINATION AND FEES REQUIRED FOR APPROVAL OF DEVICES.

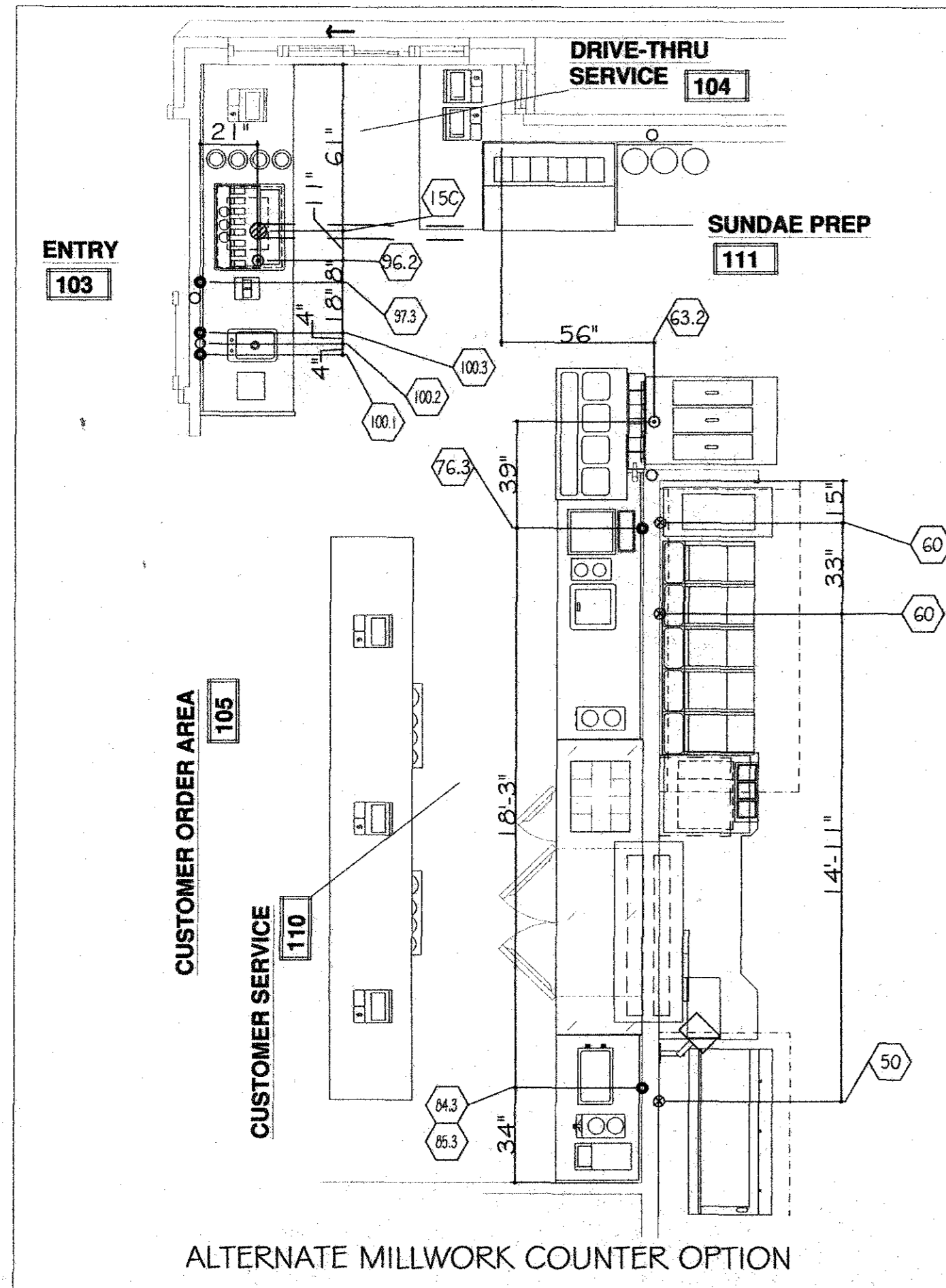
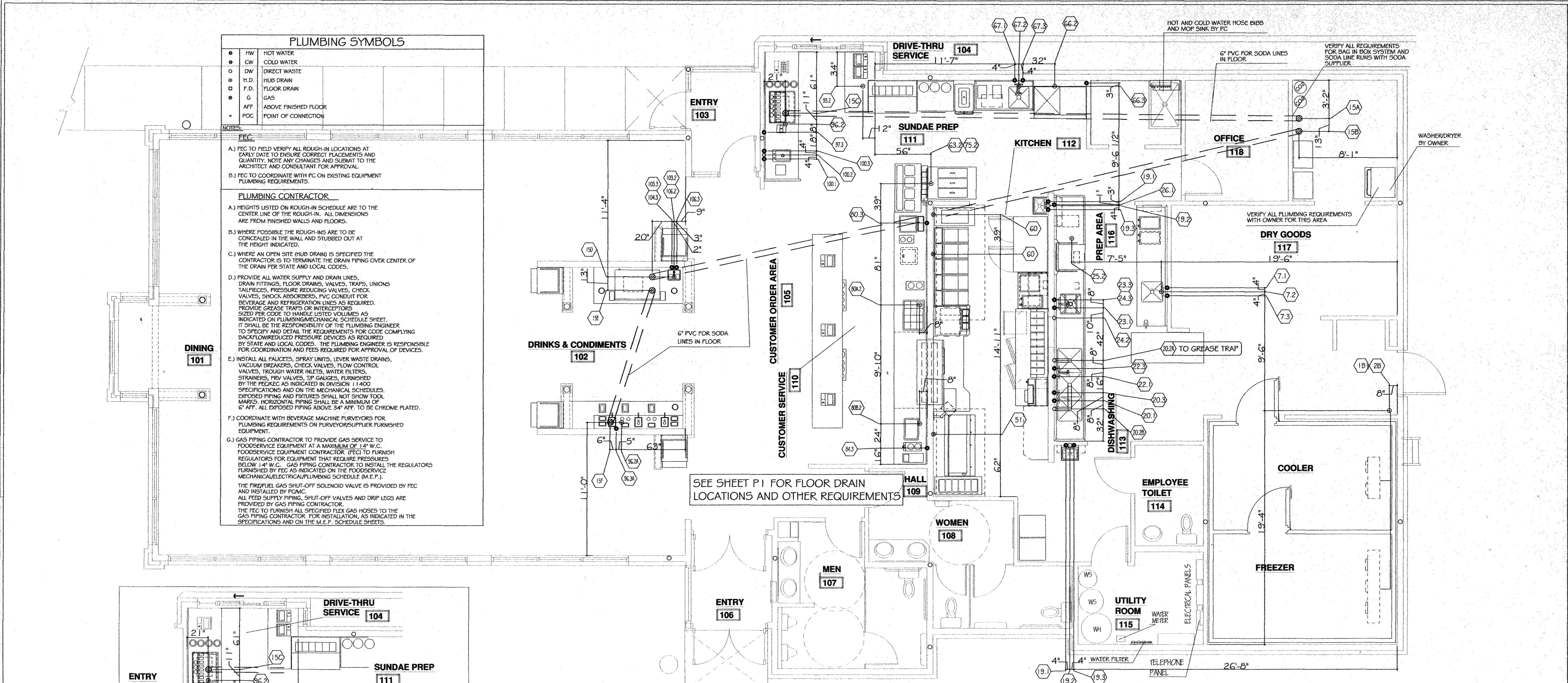
E) INSTALL ALL FAUCETS, SPRAY UNITS, LEVER WASTE DRAINS, VACUUM BREAKERS, CHECK VALVES, FLOW CONTROL VALVES, TROUGH WATER INLETS, WATER FILTERS, STRAINERS, PIV VALVES, TIP GAUGES, FURNISHED BY THE PECO AS INDICATED IN DIVISION 11400 SPECIFICATIONS AND ON THE MECHANICAL SCHEDULES. EXPOSED PIPING AND FITTINGS SHALL NOT SHOW TOOL MARKS. HORIZONTAL PIPING SHALL BE A MINIMUM OF 6" AFF. ALL EXPOSED PIPING ABOVE 34" AFF. TO BE CHROME PLATED.

F) COORDINATE WITH BEVERAGE MACHINE PURVEYORS FOR PLUMBING REQUIREMENTS ON PURVEYOR SUPPLIER FURNISHED EQUIPMENT.

G) GAS PIPING CONTRACTOR TO PROVIDE GAS SERVICE TO FOODSERVICE EQUIPMENT AT A MAXIMUM OF 14" W.C. FOODSERVICE EQUIPMENT CONTRACTOR (FEC) TO FURNISH REGULATORS FOR EQUIPMENT THAT REQUIRE PRESSURES BELOW 14" W.C. GAS PIPING CONTRACTOR TO INSTALL THE REGULATORS FURNISHED BY FEC AS INDICATED ON THE FOODSERVICE MECHANICAL/ELECTRICAL/PLUMBING SCHEDULE (M.E.P.). THE FIRE/PURGE GAS SHUT-OFF SOLENOID VALVE IS PROVIDED BY FEC AND INSTALLED BY PC/MC.

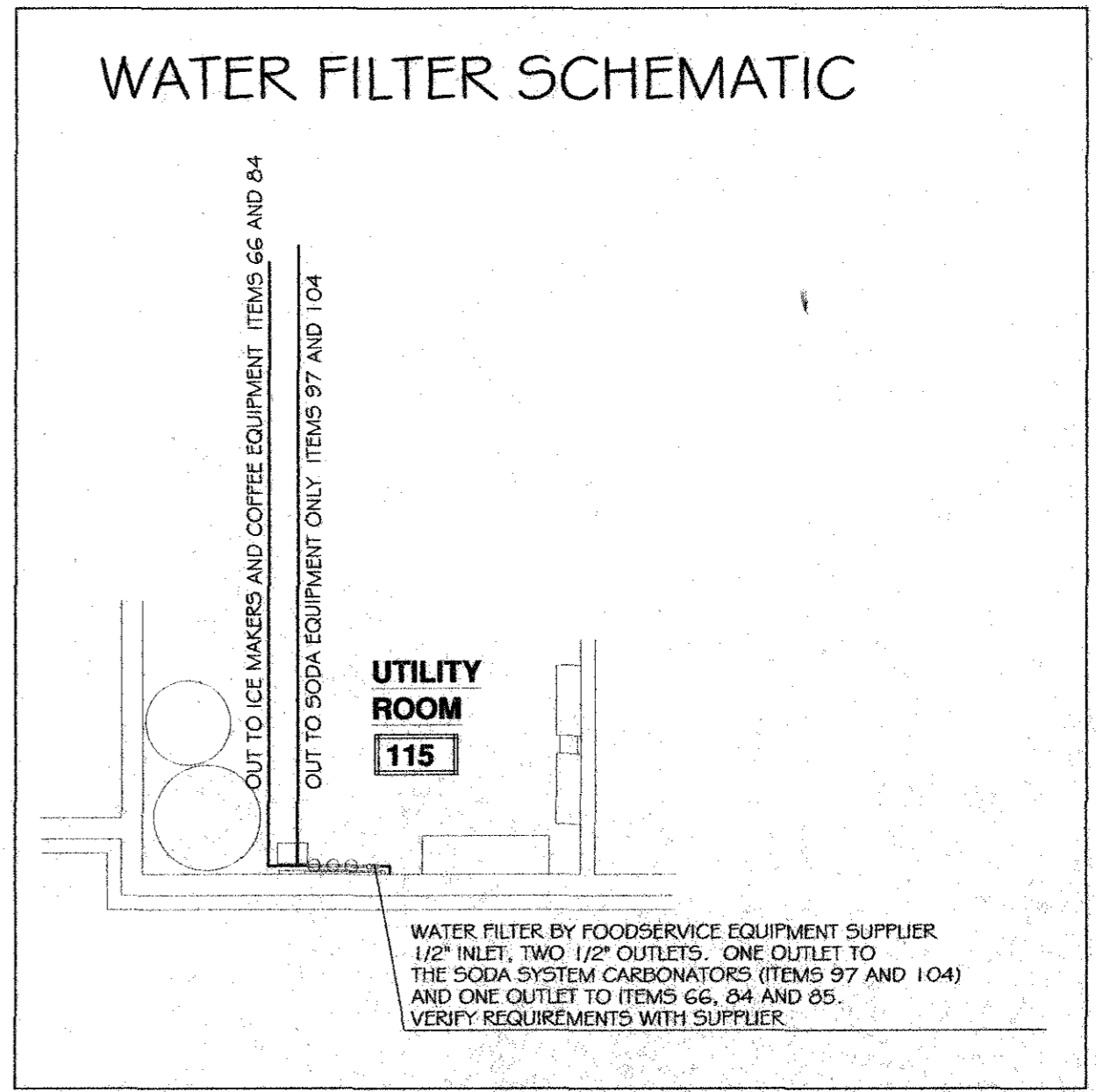
ALL FEED SUPPLY PIPING, SHUT-OFF VALVES AND DRIP LEGS ARE PROVIDED BY GAS PIPING CONTRACTOR.

THE FEC TO FURNISH ALL SPECIFIED FLEX GAS HOSES TO THE GAS PIPING CONTRACTOR FOR INSTALLATION, AS INDICATED IN THE SPECIFICATIONS AND ON THE M.E.P. SCHEDULE SHEETS.



PLUMBING CONNECTION SCHEDULE	
1B	3" HUB DRAIN (CLEARWATER WASTE) STUB UP 3" AFF.
2B	DRAINS TO HUB DRAIN LISTED FOR ITEM 1B
7.1	1/2" HW 14" AFF.
7.2	3" HUB DRAIN STUB-UP 6" AFF.
7.3	1/2" CW 14" AFF.
13	WASHER AND DRYER BY OTHERS. VERIFY REQUIREMENTS
15A	6" PVC SLEEVE STUB-UP 12" AFF. OUT TO ITEM 15C
15B	6" PVC SLEEVE STUB-UP 12" AFF. OUT TO ITEM 15D
15C	6" PVC SLEEVE STUB-UP 8" AFF. FROM ITEM 15A
15D	6" PVC SLEEVE STUB-UP 8" AFF. FROM ITEM 15B
15E	6" PVC SLEEVE STUB-UP 8" AFF. OUT TO ITEM 15F ROUGH-IN AND CAP FOR FUTURE USE
15F	6" PVC SLEEVE STUB-UP 8" AFF. FROM ITEM 15E ROUGH-IN AND CAP FOR FUTURE USE
19.1	1/2" HW 20" AFF. (TWO LOCATIONS)
19.2	1 1/2" DW 18" AFF. (TWO LOCATIONS)
19.3	1/2" CW 20" AFF. (TWO LOCATIONS)
20.1	3/4" HW 14" AFF. CONNECTS TO FAUCET AND SANITIZER SYSTEM
20.2A	2" DW 10" AFF. CONNECTS TO GREASE TRAP
20.2B	2" DW 10" AFF.
20.3	3/4" CW 14" AFF. CONNECTS TO FAUCET
22.1	3/4" HW 14" AFF.
22.3	3/4" CW 14" AFF.
23.1	1/2" HW 14" AFF.
23.3	3/4" CW 14" AFF. CONNECTS TO ITEMS 23 AND 24
24.2	1 1/2" DW 10" AFF.
24.3	CW FROM ITEM 23.3 ROUGH-IN
25.2	4" HUB DRAIN STUB-UP 3" AFF.
26.1	3/4" HW 14" AFF. BRANCH THRU BOOSTER TO DISHWASHER
32	MOP SINK AND H/C WATER FAUCET BY PC. VERIFY REQUIREMENTS
33	H/C WATER BY PC. VERIFY REQUIREMENTS WITH CHEMICAL SUPPLIER.

PLUMBING CONNECTION SCHEDULE	
51	3/4" N. GAS 24" AFF.
60	1 1/4" N. GAS 18" AFF. (TWO LOCATIONS)
63.2	3" HUB DRAIN STUB-UP 3" AFF.
66.2	3" HUB DRAIN STUB-UP 3" AFF.
66.3	3/4" CW 66" AFF. BRANCH THRU FILTERS TO ICE MAKER
67.1	1/2" CW 14" AFF.
67.2	3" HUB DRAIN STUB-UP 3" AFF.
67.3	1/2" HW 14" AFF.
75.2	DRAINS TO HUB DRAIN LISTED FOR ITEM 63.2
76.3	1/2" CW 18" AFF.
80.3	1/2" CW 18" AFF.
80A.2	3" HUB DRAIN STUB-UP 8" AFF. REQUIRED IF THE 5/5 COUNTERS ARE USED
80B.2	3" HUB DRAIN STUB-UP 8" AFF. REQUIRED IF THE 5/5 COUNTERS ARE USED
84.3	1/2" CW 14" AFF. CONNECTS TO ITEMS 84 AND 85 THRU MAIN FILTER
85.3	CW FROM ITEM 84.3 ROUGH-IN
93.2	3" HUB DRAIN STUB-UP 8" AFF. (OPTIONAL, NOT REQUIRED IF ITEM 74 IS USED)
96.2	3" HUB DRAIN STUB-UP 8" AFF.
96.2A	3" HUB DRAIN STUB-UP 8" AFF. ROUGH-IN AND CAP FOR FUTURE USE
96.3	CW FROM ITEM 97.3
96.3A	1/2" CW 14" AFF. THRU FILTER (ROUGH-IN AND COVER FOR FUTURE USE)
97.3	1/2" CW 14" AFF. BRANCH THRU FILTER
100.1	1/2" HW 14" AFF.
100.2	1 1/2" DW 16" AFF.
100.3	1/2" CW 14" AFF.
103.2	3" HUB DRAIN STUB-UP 8" AFF.
103.3	CW FROM ITEM 104.3
104.3	3/4" CW 14" AFF. BRANCH THRU FILTER TO ITEMS 103 AND 104
106.2	DRAINS TO HUB DRAIN LISTED FOR ITEM 103.2
106.3	1/2" CW 14" AFF.



FOODSERVICE PLUMBING PLAN
SCALE: 1/4" = 1'-0"

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TELEPHONE: (262) 763-9725 FAX: (262) 763-1971
E-MAIL: stelling@stelling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53158

PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FOOD SERVICE PLUMBING PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
FS-2

ELECTRICAL SYMBOLS	
□	ELECTRICAL JUNCTION BOX
○	S.O. SINGLE OUTLET
○	D.O. DUPLEX OUTLET
○	S.P.O. SPECIAL PURPOSE OUTLET
▲	AFF. ABOVE FINISHED FLOOR
SW	SWITCH
•	POC POINT OF CONNECTION
▽	VAPOR PROOF WALK-IN DOOR LIGHT. EC TO CONNECT.
X	ADDITIONAL VAPOR PROOF LIGHT PROVIDED BY FEC. EC TO MOUNT AND CONNECT.

NOTES:

FEC

A.) FEC TO FIELD VERIFY ALL ROUGH-IN LOCATIONS AT EARLY DATE TO ENSURE CORRECT PLACEMENTS AND QUANTITY. NOTE ANY CHANGES AND SUBMIT TO ARCHITECT AND CONSULTANT FOR APPROVAL.

B.) FEC TO COORDINATE WITH EC ON EXISTING EQUIPMENT ELECTRICAL REQUIREMENTS.

ELECTRICAL CONTRACTOR

A.) HEIGHTS LISTED ON ROUGH-IN SCHEDULE ARE TO THE CENTER LINE OF THE ROUGH-IN. ALL DIMENSIONS ARE FROM FINISHED WALLS AND FLOORS.

B.) UNLESS OTHERWISE NOTED ALL WALL MOUNTED SINGLE AND DUPLEX RECEPTACLES ARE TO BE MOUNTED VERTICALLY.

C.) WHERE POSSIBLE THE ROUGH-INS ARE TO BE CONCEALED IN THE WALL OR FLOOR AND STUBBED OUT AT THE HEIGHTS INDICATED.

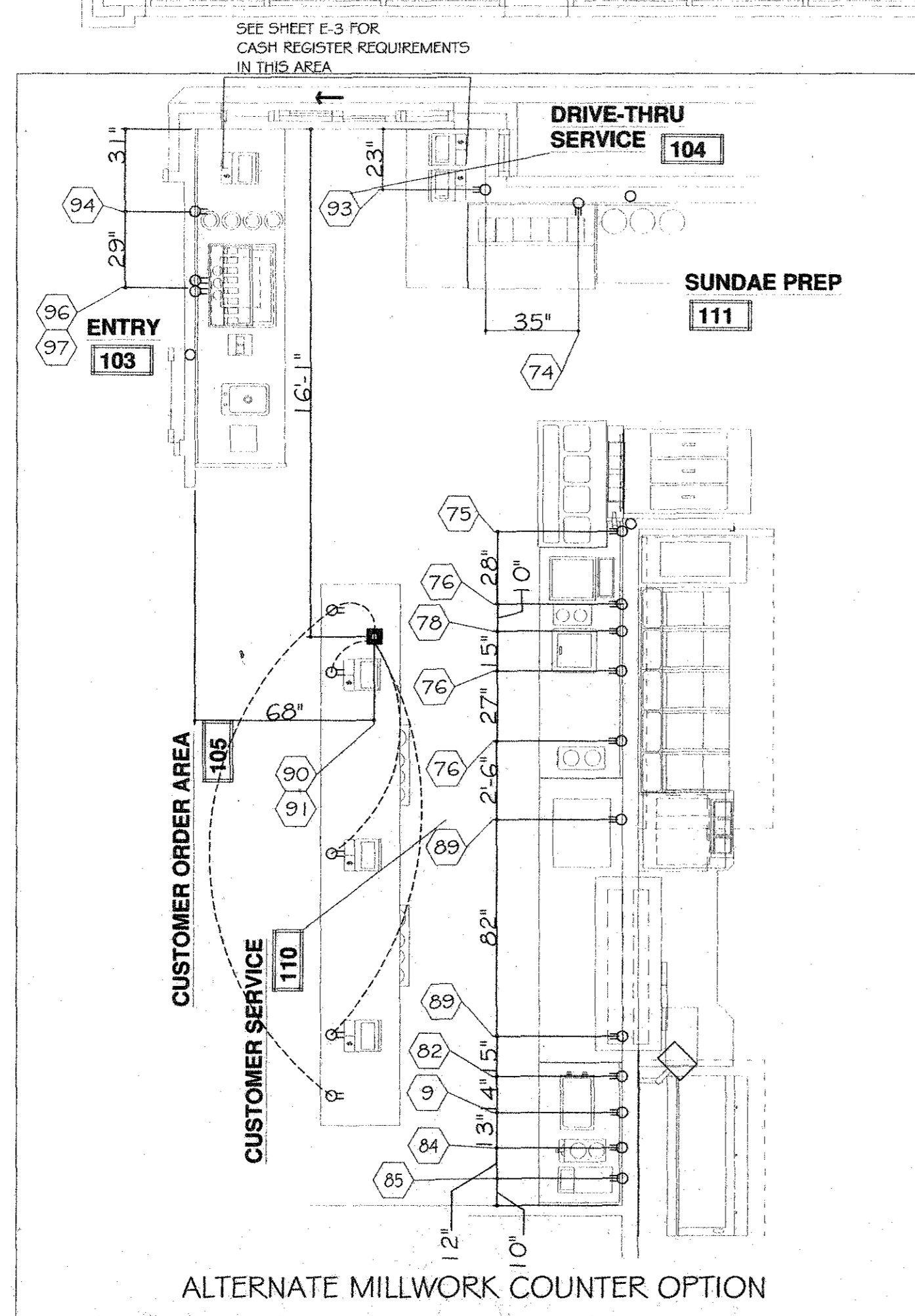
D.) PROVIDE ALL RECEPTACLES, CONDUIT, CONTACTORS, CONTROLLERS, SWITCHES, DISCONNECTS, STARTERS ETC. UNLESS SO INDICATED IN THE ELECTRICAL SCHEDULE AS FURNISHED BY THE FEC FOR INSTALLATION BY THE EC.

E.) INSTALL DEVICES FURNISHED BY FEC AND INDICATED ON THE ELECTRICAL MECHANICAL SCHEDULE.

F.) COORDINATE WITH BEVERAGE MACHINE PURVEYOR FOR ELECTRICAL REQUIREMENTS ON ALL PURVEYOR FURNISHED EQUIPMENT.

G.) EC TO PROVIDE G.F.I. STYLE OUTLETS WHERE CODE DICTATES THEY SHOULD BE IN WET AREAS.

H.) REFRIGERATION LINES ARE TO BE RUN IN WALLS PRIOR TO ELECTRICAL RUNS



ITEM	ELECTRICAL CONNECTION SCHEDULE
1A	115/1 J-BOX 100" AFF.
1B	115/1 J-BOX 100" AFF.
1C	208/3 J-BOX 42" AFF. ON BUILDING ROOF. VERIFY LOCATION WITH G.C.
1D	115/1 J-BOX 100" AFF.
2A	115/1 J-BOX 100" AFF.
2B	208/1 J-BOX 100" AFF.
2C	208/3 J-BOX 42" AFF. ON BUILDING ROOF. VERIFY LOCATION WITH G.C.
2D	115/1 J-BOX 100" AFF.
7	115/1 DCO 48" AFF.
9	115/1 D.O. 48" AFF. VARIOUS LOCATIONS
13	VERIFY WITH OWNER ON WASHER/DRYER REQUIREMENTS
15	VERIFY WITH SODA SUPPLIER ON BAG IN THE BOX REQUIREMENTS
19	115/1 GFCI D.O. 24" AFF. TWO LOCATIONS
24	208/3 J-BOX 16" AFF.
25	115/1 J-BOX 70" AFF.
26	208/3 J-BOX 16" AFF.
28	115/1 DEDICATED, ISOLATED 24 HOUR CIRCUIT AT CEILING. VERIFY WITH INSTALLER
34	115/1 D.O. 90" AFF.
36	115/1 D.O. 56" AFF.
37	115/1 D.O. 48" AFF.
38	115/1 D.O. 16" AFF.
41	115/1 D.O. 16" AFF.
43	115/1 D.O. 48" AFF.
48	115/1 D.O. 24" AFF.
49	115/1 J-BOX 110" AFF. PROVIDE DISCONNECT SWITCHES FOR FAN AND LIGHTS ARE FACTORY MOUNTED ON FACE OF HOOD

ITEM	ELECTRICAL CONNECTION SCHEDULE
58	115/1 J-BOX 30" AFF.
59	115/1 J-BOX 110" AFF. PROVIDE DISCONNECT SWITCHES FOR FAN AND LIGHTS ARE FACTORY MOUNTED ON FACE OF HOOD
60	115/1 D.O. 24" AFF. THREE LOCATIONS
61	115/1 D.O. 24" AFF.
63	208/3 S.O. THREE LOCATIONS (COORDINATE INSTALLATION WITH REFRIGERATION SYSTEM INSTALLER)
63A	208/3 J-BOXES 42" AFF. ON BUILDING ROOF VERIFY LOCATION WITH G.C.
63B	115/1 S.O. (COORDINATE INSTALLATION WITH REFRIGERATION SYSTEM INSTALLER)
66	208/1 J-BOX 90" AFF.
67	115/1 D.O. 48" AFF. TWO LOCATIONS
70	208/3 S.O. 24" AFF.
71	115/1 D.O. 48" AFF. TWO LOCATIONS
74	115/1 D.O. 24" AFF.
75	115/1 D.O. 24" AFF.
76	115/1 DCO 48" AFF. (THREE LOCATIONS IF THE MILLWORK OPTION IS SELECTED)
78	115/1 D.O. 24" AFF.
80A	115/1 J-BOX 24" AFF.
80B	208/1 J-BOX 24" AFF.
80C	115/1 D.O. 48" AFF. FOUR LOCATIONS
81	115/208/1 S.O. 24" AFF.
82	115/1 D.O. 48" AFF.
84	115/208/1 S.O. 48" AFF.
85	115/1 D.O. 48" AFF.
89	115/1 S.O. 24" AFF. (TWO LOCATIONS IF THE MILLWORK OPTION IS SELECTED)
90	115/1 STUB-UP 8" AFF. BRANCH TO OUTLETS MOUNTED IN COUNTER AS SHOWN
91	115/1 DEDICATED, ISOLATED STUB-UP 8" AFF. BRANCH TO OUTLETS MOUNTED IN COUNTER AS SHOWN

ITEM	ELECTRICAL CONNECTION SCHEDULE
93	115/1 D.O. 24" AFF.
94	115/1 D.O. 48" AFF.
96	115/1 D.O. 16" AFF.
96A	115/1 D.O. 24" AFF. ROUGH-IN AND COVER FOR FUTURE USE
97	115/1 D.O. 16" AFF.
97A	115/1 D.O. 24" AFF. ROUGH-IN AND COVER FOR FUTURE USE
103	115/1 D.O. 24" AFF.
104	115/1 D.O. 24" AFF.
113	115/1 D.O. 24" AFF.
114	115/1 D.O. 24" AFF.
G.P.	115/1 DCO 24" AFF. (20.0) AMP

SEE SHEETS E1, E2 AND E3 FOR OTHER POWER, PHONE AND COMMUNICATION REQUIREMENTS

FOODSERVICE ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

STELLING & ASSOCIATES ARCHITECTS, LTD.

141 W. CHESTER ST. BURLINGTON, VT 05401
 TEL: (802) 253-7225 FAX: (802) 253-1971
 E-MAIL: stelling@sal.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, VT, 05158

PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
FOOD SERVICE ELECTRICAL PLAN

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
 1-29-01

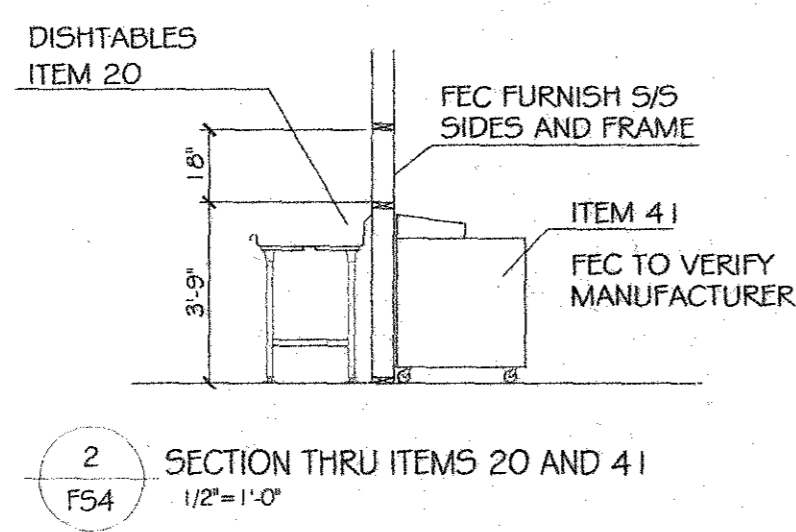
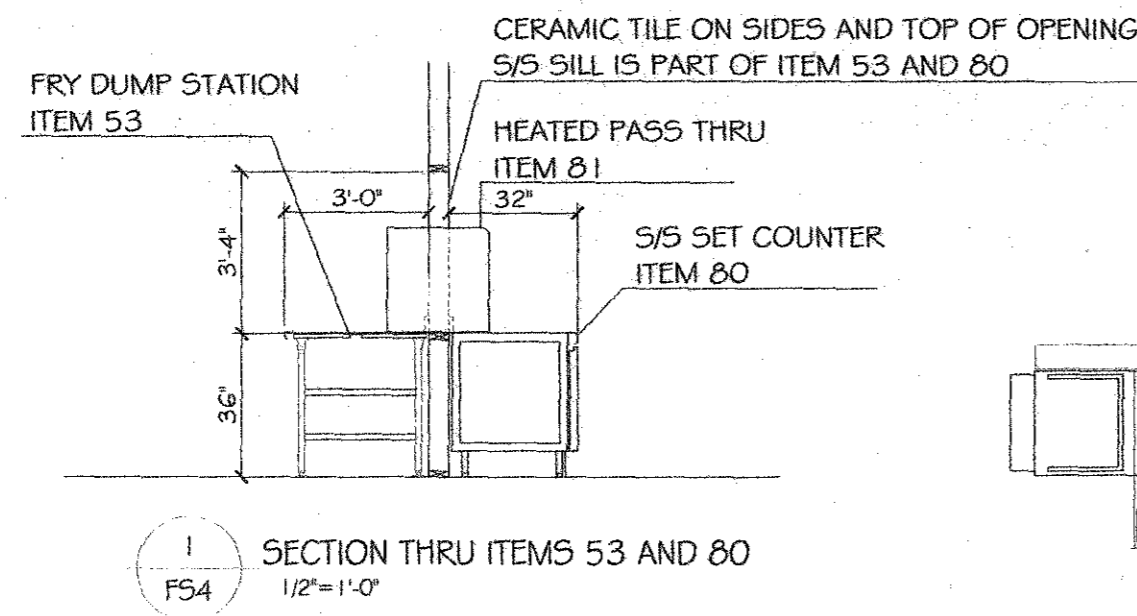
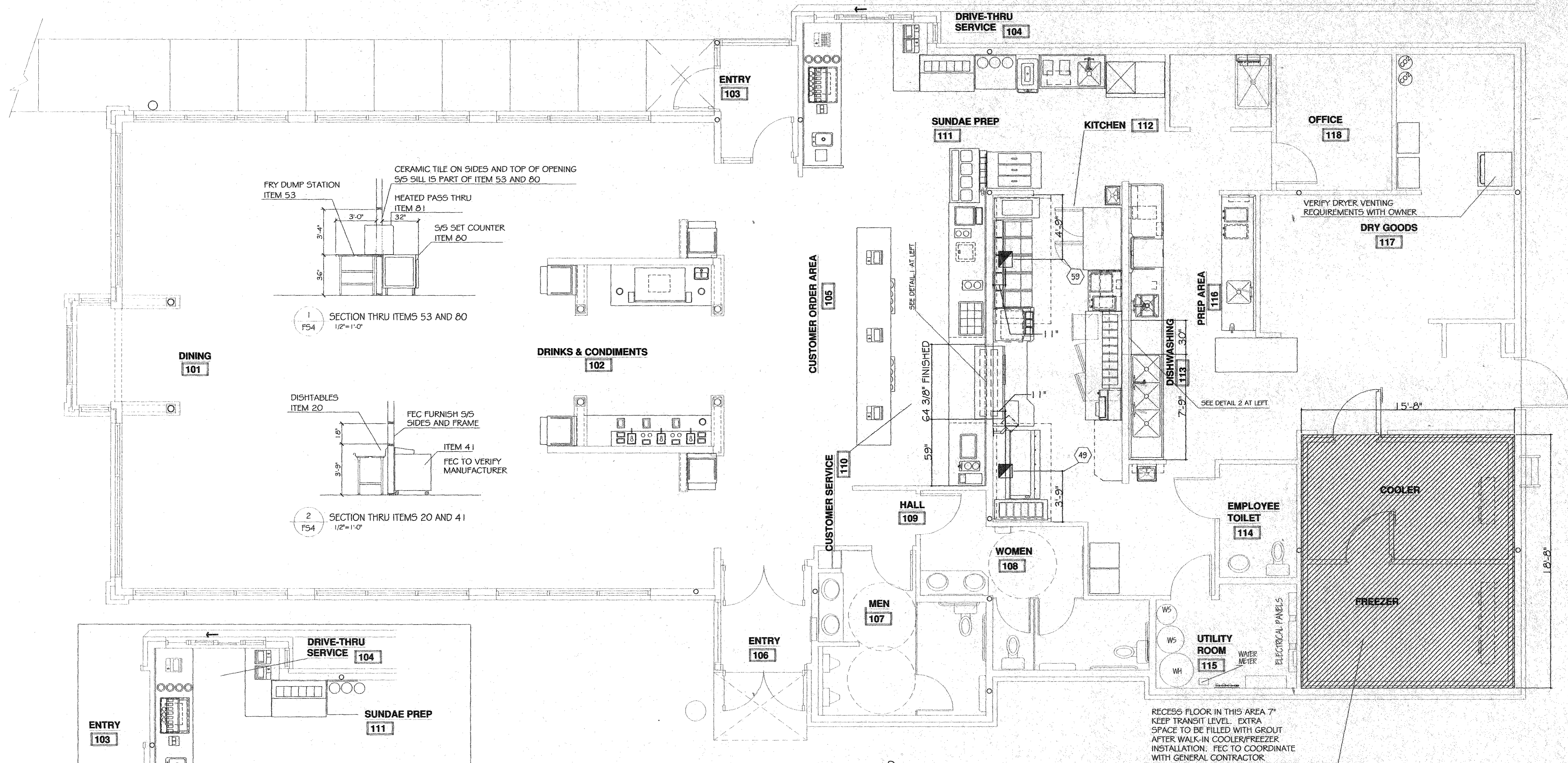
APPROVED:

DRAWN BY:
 ACN

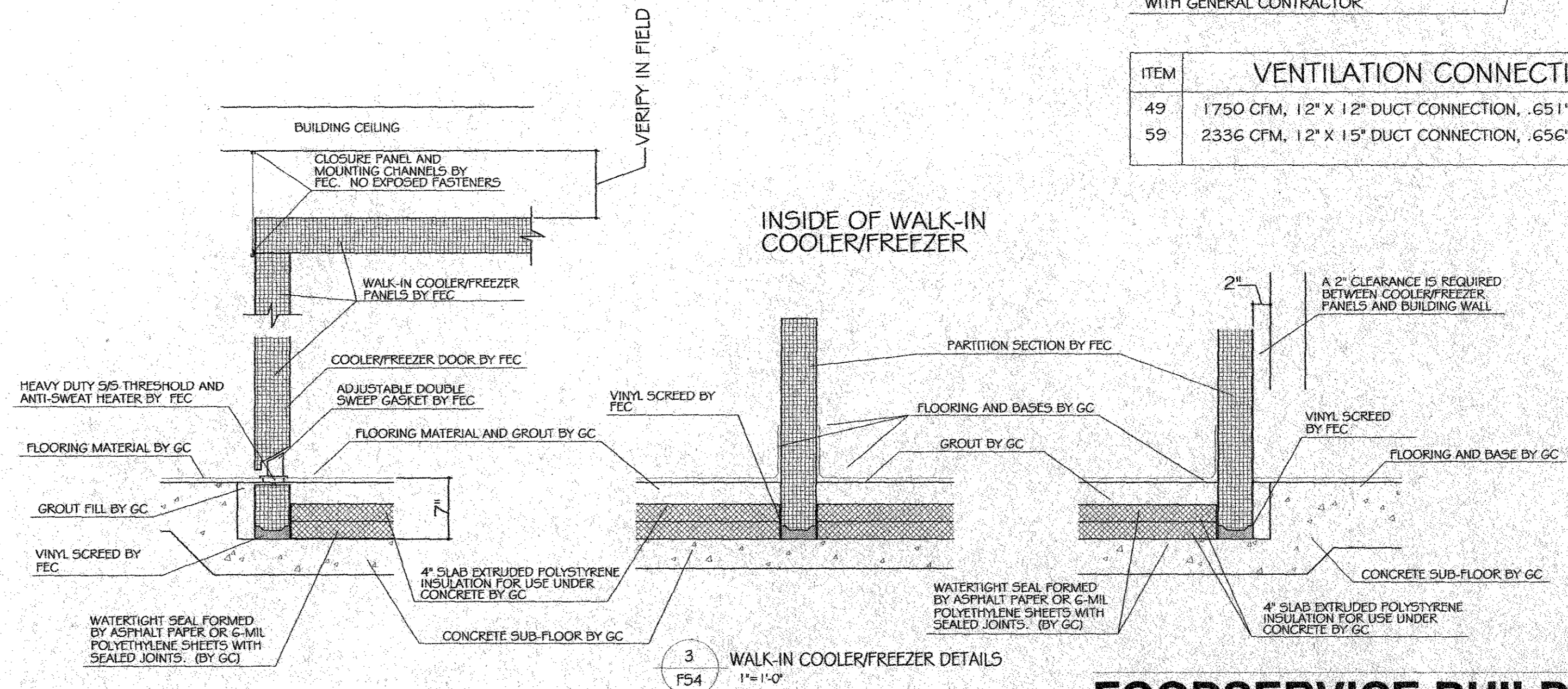
DATE:
 12-4-00

PROJECT NUMBER:
 0039

SHEET NUMBER:
FS-3



ITEM	VENTILATION CONNECTION SCHEDULE
49	1750 CFM, 12" X 12" DUCT CONNECTION, .651" S.P. AT DUCT COLLAR
59	2336 CFM, 12" X 15" DUCT CONNECTION, .656" S.P. AT DUCT COLLAR



FOODSERVICE BUILDING WORKS PLAN
SCALE: 1/4" = 1'-0"

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 13 & 16
 PLEASANT PRAIRIE WI. 53156
 PROJECT FOR:
OMA, L.L.C.

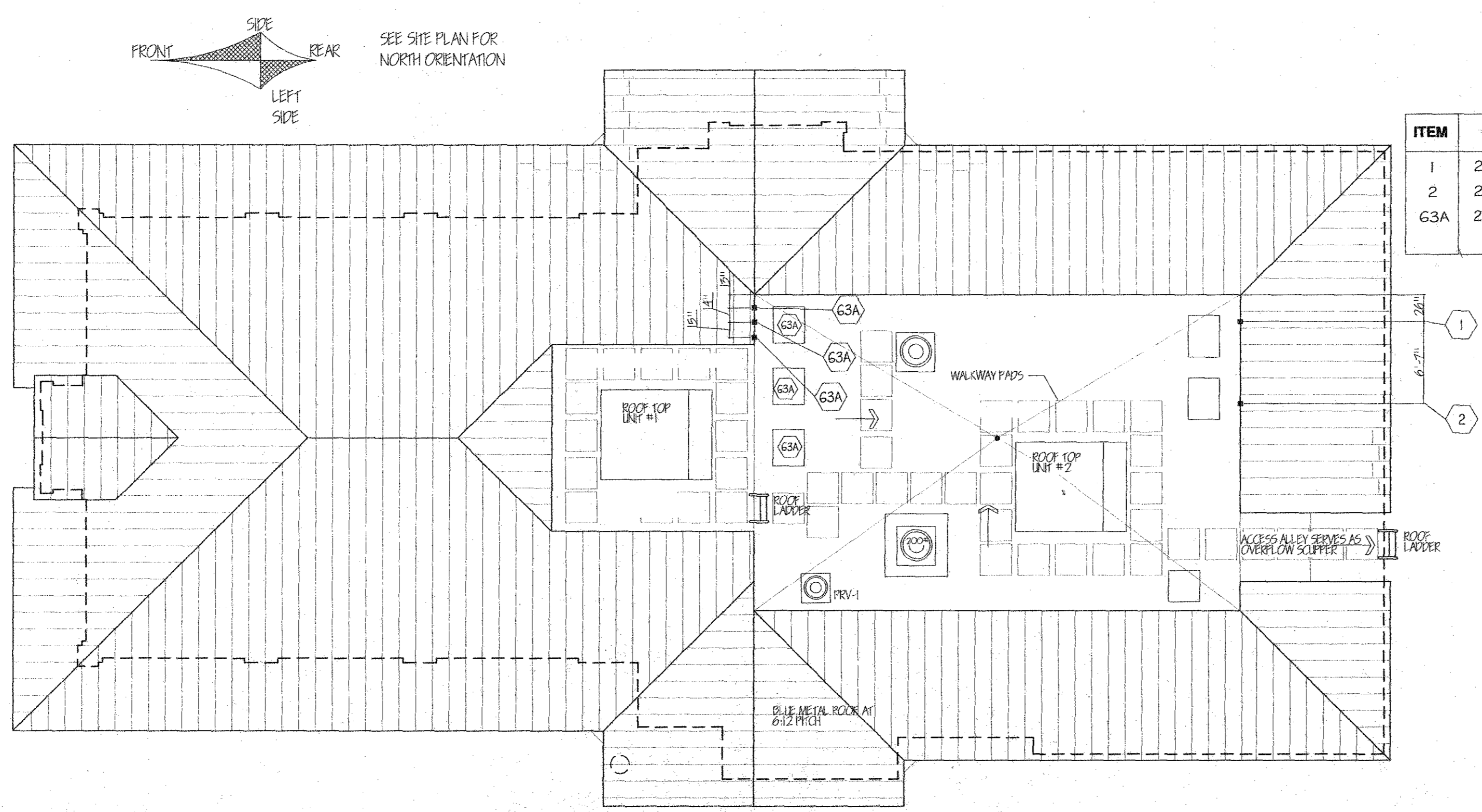
DRAWING DESCRIPTION:
FOOD SERVICE PLUMBING WORKS PLAN

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES, ARCHITECTS, LTD.

REVISIONS:
 APPROVED:
 DRAWN BY:
ACN
 DATE:
12-4-00
 PROJECT NUMBER:
0039
 SHEET NUMBER:
FS-4

STELLING & ASSOCIATES, LTD.
 ARCHITECTS
 181 W. CHESTNUT STREET, BURLINGTON, WI. 53105
 TELEPHONE: (262) 765-9725 FAX: (262) 768-1971
 E-MAIL: stell@scad.com

EQUIPMENT SCHEDULE				ELECTRICAL SCHEDULE										PLUMBING SCHEDULE										
ITEM	DESCRIPTION	QUAN	NEW (N) EXIST (X) FUTURE (F)	VOLT	PHASE	KW	AMP	HP	CONN. TYPE	NEMA NUMBER	COMMENTS	ITEM	CW	120°F HW	140°F HW	HW GPH MAX.	WASTE DIR.	INDR.	GAS MBTU	SIZE	COMMENTS			
77	CHOCOLATE WARMER	1	NEW	115			4.1		CORD															
78	DROP-IN FREEZER	1	OPTIONAL	115			1.5	1/12	CORD															
80	REFRIGERATED 5/5 BACKCOUNTER	1	NEW									80	1/2"									CW IS FOR THE DIPPERWELL FAUCET ON END OF COUNTER.		
	A.) COLD PAN/REFRIGERATOR	1	NEW	115				1/2	DIR.		COMPRESSOR IS FOR THE COLD PAN AND THE THREE DOOR UNDERCOUNTER FABRICATOR TO PRE WIRE CONTROLS TO A SINGLE CONNECTION POINT.	80A										1"		
	B.) SOUP WELL	1	NEW	208		1.24	6.0		DIR.		FABRICATOR TO PRE WIRE SOUP WELL THRU CONTROLS MOUNTED INSIDE CABINET TO A SINGLE CONNECTION POINT.	80B											1"	
	C.) CONVENIENCE OUTLETS	4	NEW	115			4 @ 16.0		DIR.		EC TO FURNISH AND INSTALL (4) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
81	HEATED PASS THRU	1	NEW	115/ 208		2.88	15.5		CORD		THIS IS A 4 WIRE PLUS GROUND SYSTEM. FABRICATOR TO PRE WIRE HEAT LAMP/LIGHTS THRU CONTROLS MOUNTED AT THE BOTTOM REAR OF THE PASS THRU TO A SINGLE CONNECTION POINT.													
82	SERVICE COUNTER	1	OPTIONAL	115			2 @ 16.0		DIR.		THIS ITEM IS USED IF THE MILLWORK OPTION IS CHOSEN.													
83	COFFEE WARMER	1	NEW	115			1.7		CORD		BY COFFEE SUPPLIER. VERIFY ALL REQUIREMENTS.													
84	COFFEE MAKER	1	NEW	115/ 208			18.3		CORD		BY COFFEE SUPPLIER. VERIFY ALL REQUIREMENTS.	84	1/4"											
85	HOT CHOCOLATE MACHINE	1	NEW	115			15.2		CORD		BY SUPPLIER. VERIFY ALL REQUIREMENTS.	85	1/4"											
86	MENU BOARD	1	NEW	115			16.0		DIR.		BY OWNER. VERIFY ALL REQUIREMENTS.													
89	WORKTOP REFRIGERATOR	1	OPTIONAL	115				1/4 1/5	CORDS		THIS ITEM IS USED IF THE MILLWORK OPTION IS CHOSEN.													
90	FRONT SERVICE COUNTER	1	NEW	115			2 @ 16.0		DIR.		EC TO WIRE FROM ROUGH-IN TO (2) DCO MOUNTED INSIDE OF CABINET BY FABRICATOR.													
91	CASH REGISTERS	5	NEW	115			5 @ 16.0		CORDS		EACH REGISTER REQUIRES A DEDICATED ISOLATED CIRCUIT. BY CASH REGISTER SYSTEM SUPPLIER. VERIFY ALL ELECTRICAL AND COMMUNICATION REQUIREMENTS WITH SUPPLIER.													
93	DRIVE UP COUNTER	1	NEW	115			16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
93	DRIVE-UP COUNTER	1	ALTERNATE	115				1/4	DIR.		THIS ITEM IS USED IF THE ALTERNATE "L" SHAPED COUNTER IS CHOSEN.	93											1"	
	A.) UTILITY OUTLET	1	ALTERNATE	115			16.0		DIR.		THIS ITEM IS USED IF THE ALTERNATE "L" SHAPED COUNTER IS CHOSEN.													
94	DRIVE UP COUNTER	1	NEW	115			16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
96	ICE AND SODA DISPENSER	1	NEW	115			1.5		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	96	3/8"											2 @ 3/4"
97	CARBONATOR	1	NEW	115			10.0		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	97	1/2"											
100	DROP-IN SINK	1	NEW									100	1/2"	1/2"			1 1/2"							
103	ICE AND SODA DISPENSER	1	NEW	115			5.2		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	103	3/8"											2 @ 3/4"
104	CARBONATOR	1	NEW	115			10.0		CORD		BY SODA SUPPLIER. VERIFY ALL REQUIREMENTS.	104	1/2"											
106	GLASS FILLER	1	NEW									106	1/2"											1 1/2"
113	BEVERAGE COUNTER	1	NEW	115			16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
114	CONDIMENT COUNTER	1	NEW	115			16.0		DIR.		EC TO FURNISH AND INSTALL (1) DCO ON WALL AS SHOWN ON ROUGH-IN PLAN.													
115	REFRIGERATION SYSTEMS	1	NEW								SEE ITEMS 1, 2 AND 63 FOR INDIVIDUAL REQUIREMENTS.													



FOODSERVICE ELECTRICAL ROUGH-IN ROOF PLAN
SCALE: 1/8" = 1'-0"

ITEM	ELECTRICAL ROUGH-IN SCHEDULE
1	208/3 FUSED WEATHERPROOF DISCONNECT 48" AFF.
2	208/3 FUSED WEATHERPROOF DISCONNECT 48" AFF.
63A	208/3 FUSED WEATHERPROOF DISCONNECT 48" AFF. (THREE LOCATIONS)

ELECTRICAL SYMBOLS

■	J-BOX	ELECTRICAL JUNCTION BOX
○	S.O.	SINGLE OUTLET
○	D.O.	DUPLEX OUTLET
⊙	S.P.O.	SPECIAL PURPOSE OUTLET
+	AFT.	ABOVE FINISHED FLOOR
+	SW	SWITCH
+	POC	POINT OF CONNECTION
⊓	POC	VAPOR PROOF WALK-IN DOOR LIGHT PROVIDED EC TO CONNECT.
⊓	POC	ADDITIONAL VAPOR PROOF LIGHT PROVIDED BY PEC. EC TO MOUNT AND CONNECT.

NOTES:

FEC:

A.) FEC TO FIELD VERIFY ALL ROUGH-IN LOCATIONS AT EARLY DATE TO ENSURE CORRECT PLACEMENTS AND QUANTITY. NOTE ANY CHANGES AND SUBMIT TO ARCHITECT AND CONSULTANT FOR APPROVAL.

B.) FEC TO COORDINATE WITH EC ON EXISTING EQUIPMENT ELECTRICAL REQUIREMENTS.

ELECTRICAL CONTRACTOR:

A.) HEIGHTS LISTED ON ROUGH-IN SCHEDULE ARE TO THE CENTER LINE OF THE ROUGH-IN. ALL DIMENSIONS ARE FROM FINISHED WALLS AND FLOORS.

B.) UNLESS OTHERWISE NOTED ALL WALL MOUNTED SINGLE AND DUPLEX RECEPTACLES ARE TO BE MOUNTED HORIZONTALLY.

C.) WHERE POSSIBLE THE ROUGH-INS ARE TO BE CONCEALED IN THE WALL OR FLOOR AND STUBBED OUT AT THE HEIGHTS INDICATED.

D.) PROVIDE ALL RECEPTACLES, CONDUIT, CONTRACTORS, CONTROLLERS, SWITCHES, DISCONNECTS, STARTERS ETC. UNLESS SO INDICATED IN THE ELECTRICAL SCHEDULE AS FURNISHED BY THE PEC FOR INSTALLATION BY THE EC.

E.) INSTALL DEVICES FURNISHED BY PEC AND INDICATED ON THE ELECTRICAL/MECHANICAL SCHEDULE.

F.) COORDINATE WITH BEVERAGE MACHINE PURVEYOR FOR ELECTRICAL REQUIREMENTS ON ALL PURVEYOR FURNISHED EQUIPMENT.

G.) EC TO PROVIDE G.F.I. STYLE OUTLETS WHERE CODE DICTATES THEY SHOULD BE IN WET AREAS.

H.) REFRIGERATION LINES ARE TO BE RUN IN WALLS PRIOR TO ELECTRICAL RUNS.

I.) ALL 120V TIMERS TO BE USED FOR LIGHTS AND SIGNS WILL BE AS MANUFACTURED BY INTERMATIC.

PROJECT DESCRIPTION: **NEW CULVER'S RESTAURANT**
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE WI, 53158
 PROJECT FOR: **OMA, L.L.C.**

DRAWING DESCRIPTION: **FOOD SERVICE ELECTRICAL ROUGH-IN ROOF PLAN**

OWNERSHIP OF DOCUMENTS: THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES, ARCHITECTS, LTD.

REVISIONS: **1-29-01**

APPROVED: **ACN**

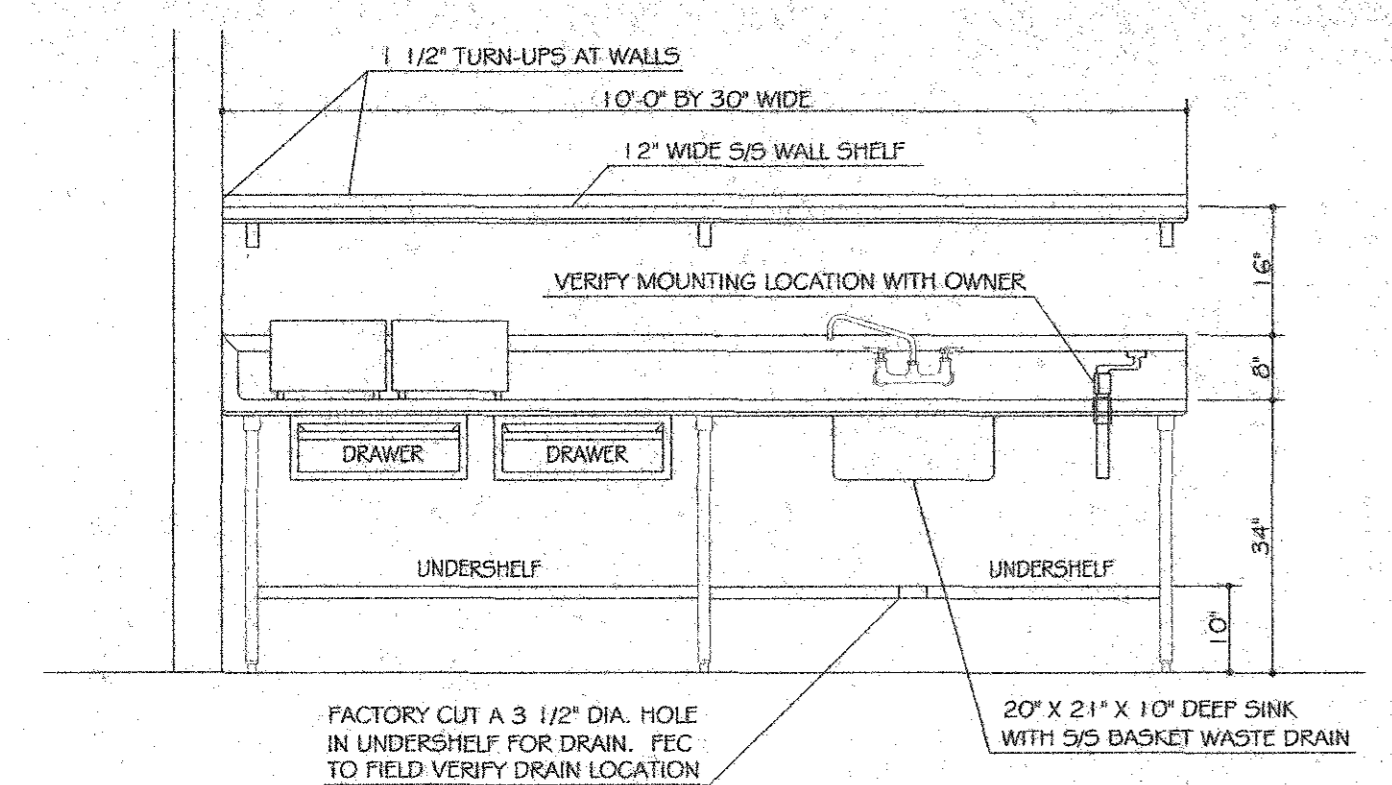
DRAWN BY: **ACN**

DATE: **12-4-00**

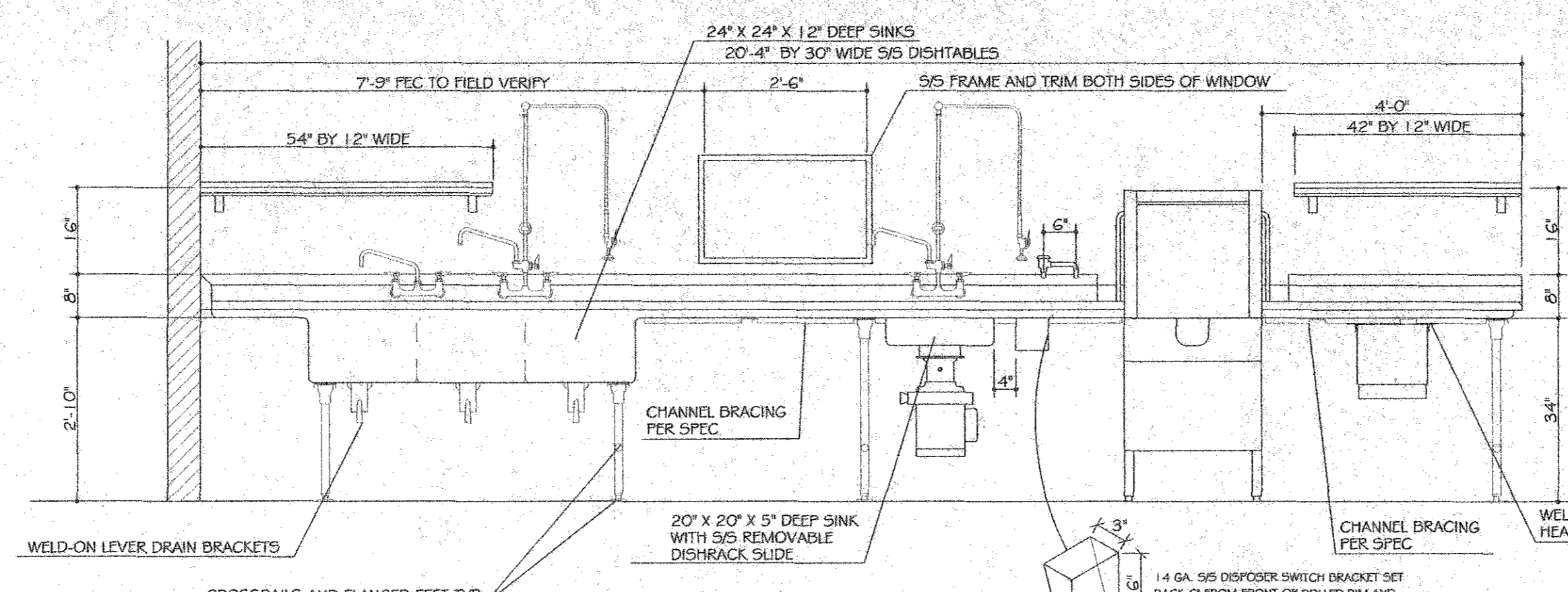
PROJECT NUMBER: **0039**

SHEET NUMBER: **FS-6**

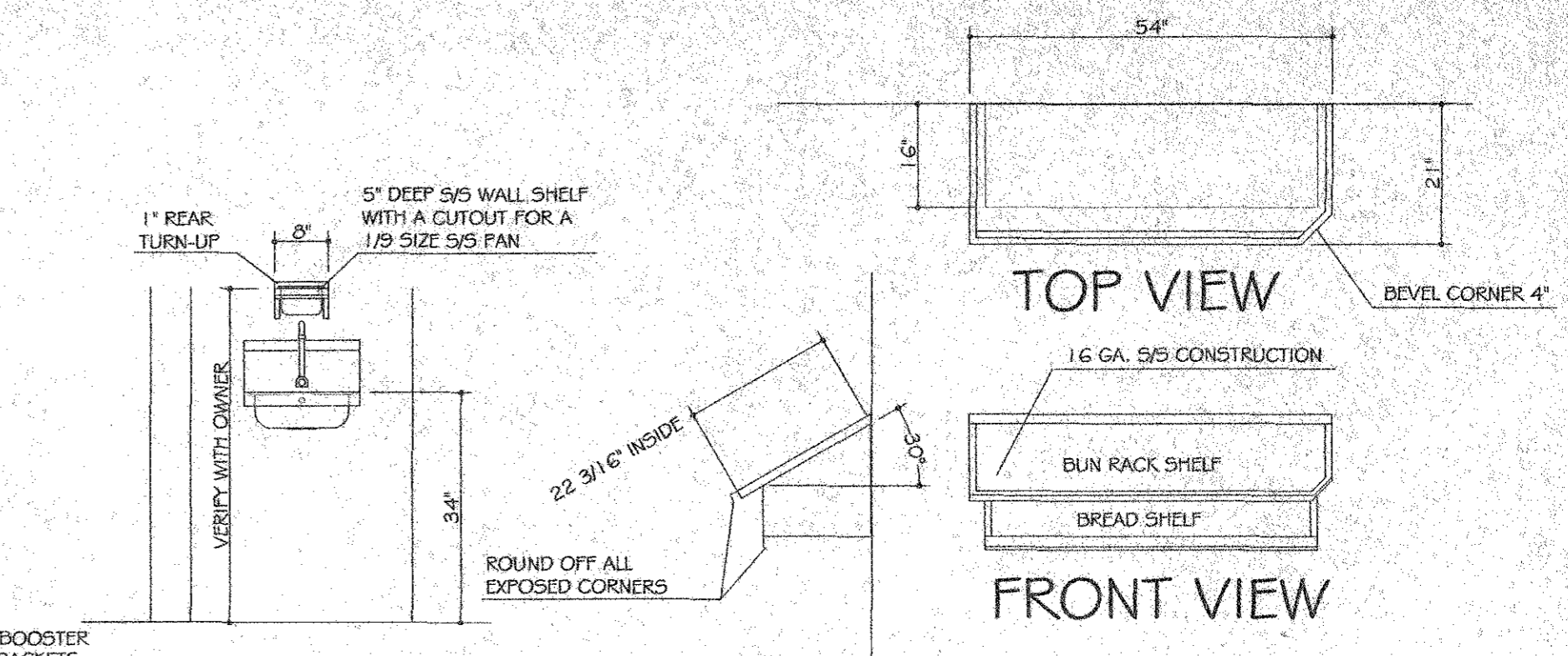
STELLING & ASSOCIATES, LTD. ARCHITECTS, LTD.
 181 W. CHESTNUT STREET BURLINGTON, WI 53105
 TELEPHONE: (262) 783-8725 FAX: (262) 783-1971
 E-MAIL: stebling@sa.com



1 F57
1/2"=1'-0"

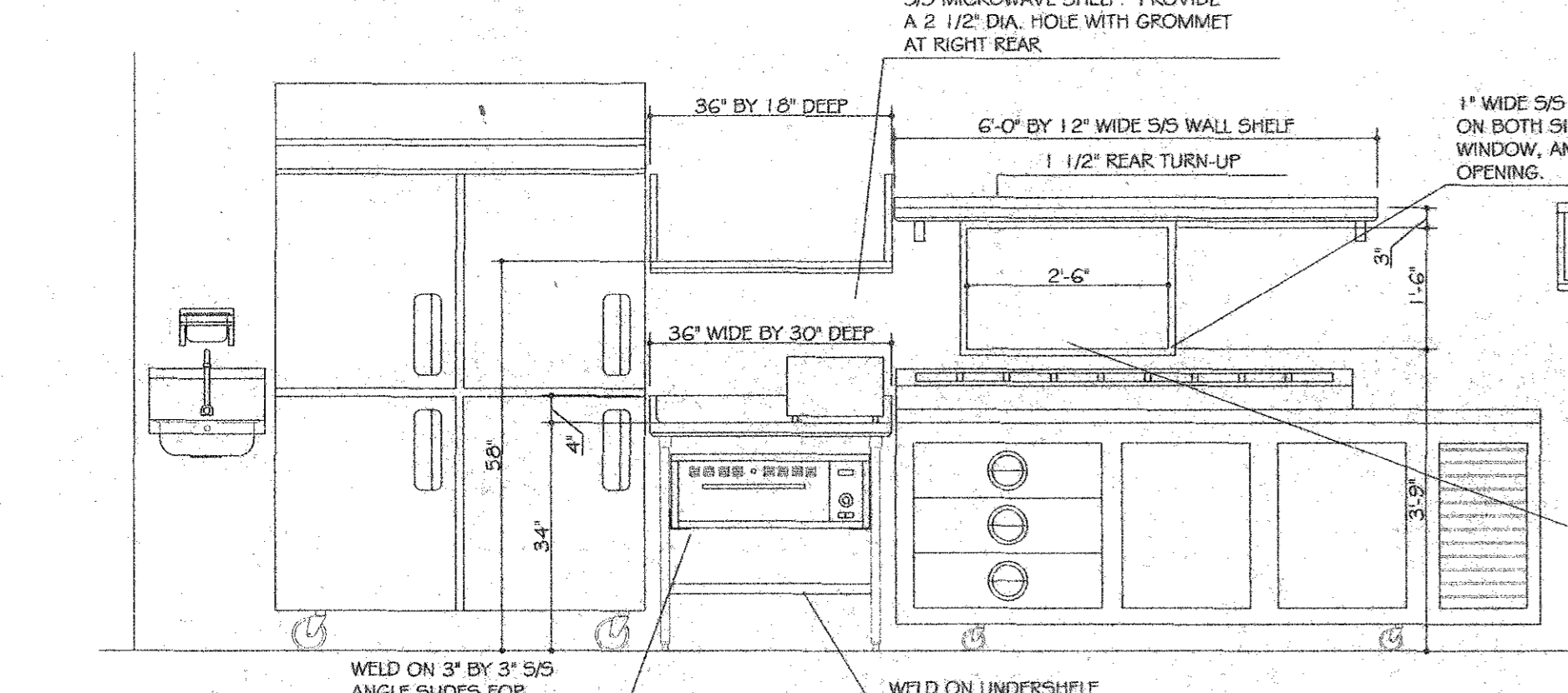


2 F57
1/2"=1'-0"



3 F57
1/2"=1'-0"

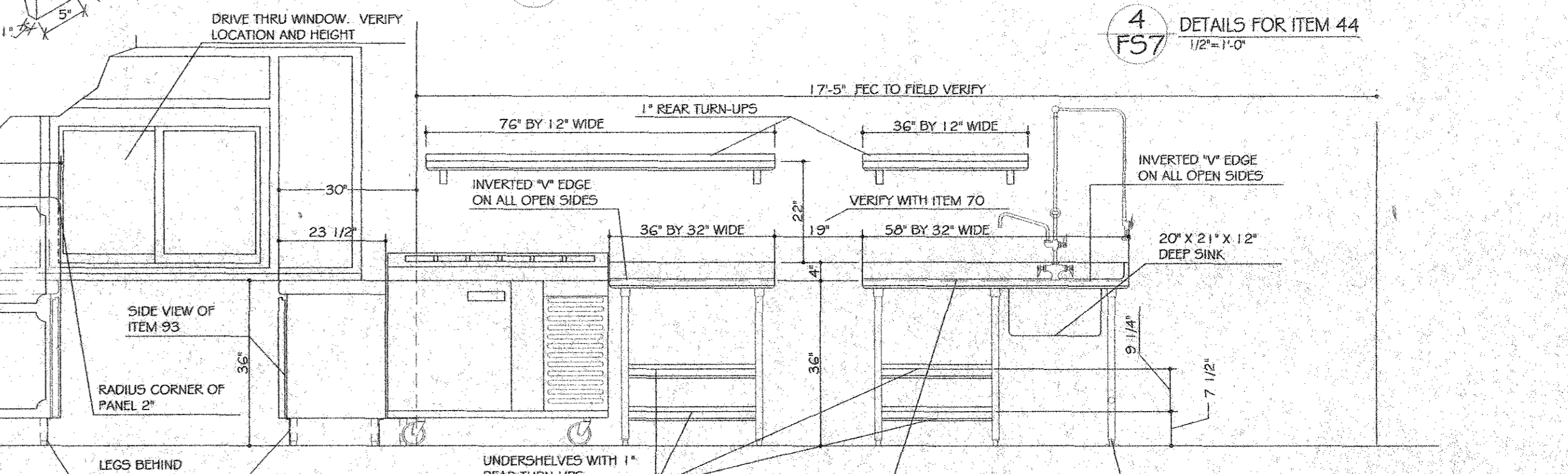
4 F57
1/2"=1'-0"



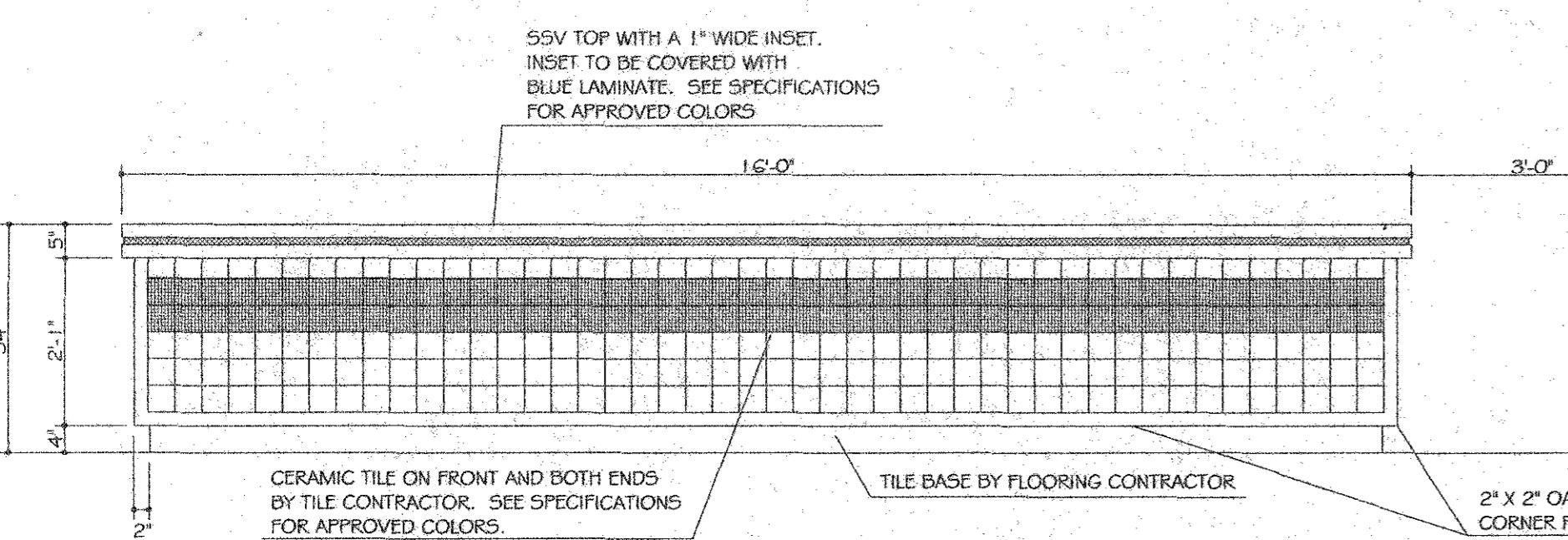
5 F57
1/2"=1'-0"

VERIFY ALL SHELF
MOUNTING HEIGHTS
WITH OWNER

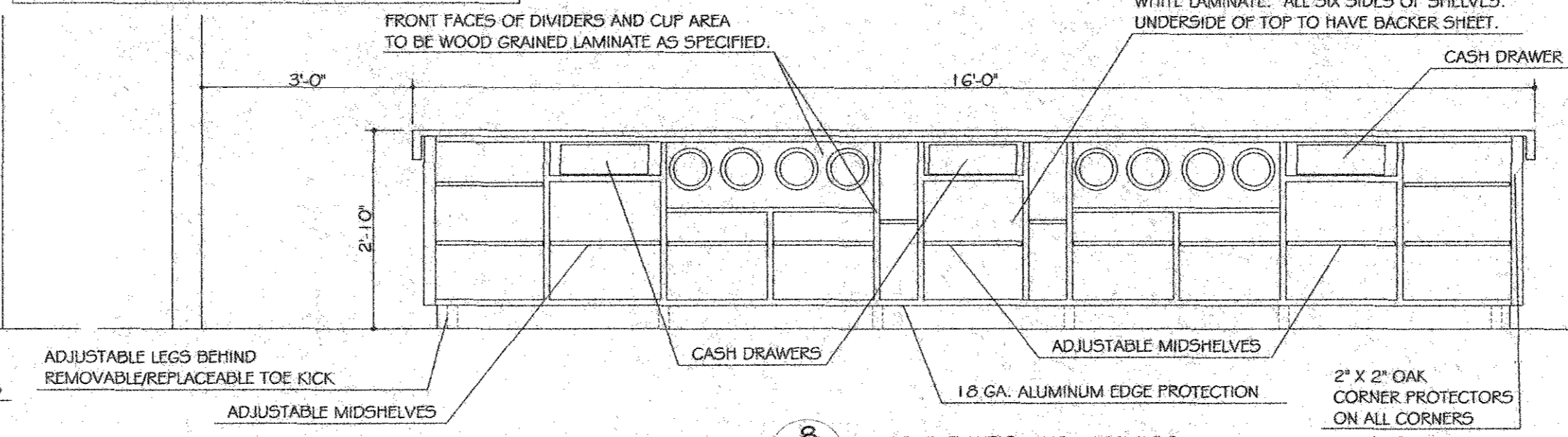
6 F57
1/2"=1'-0"



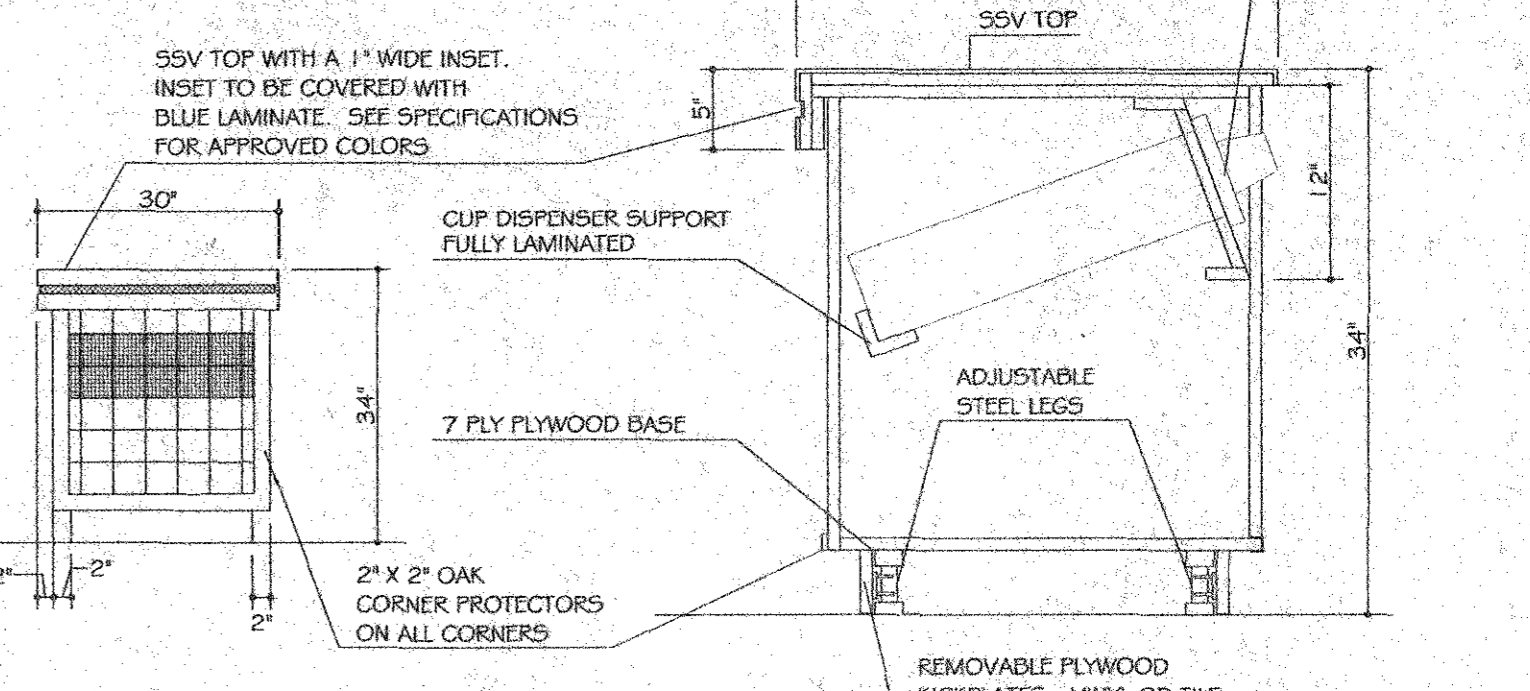
6 F57
1/2"=1'-0"



7 F57
1/2"=1'-0"

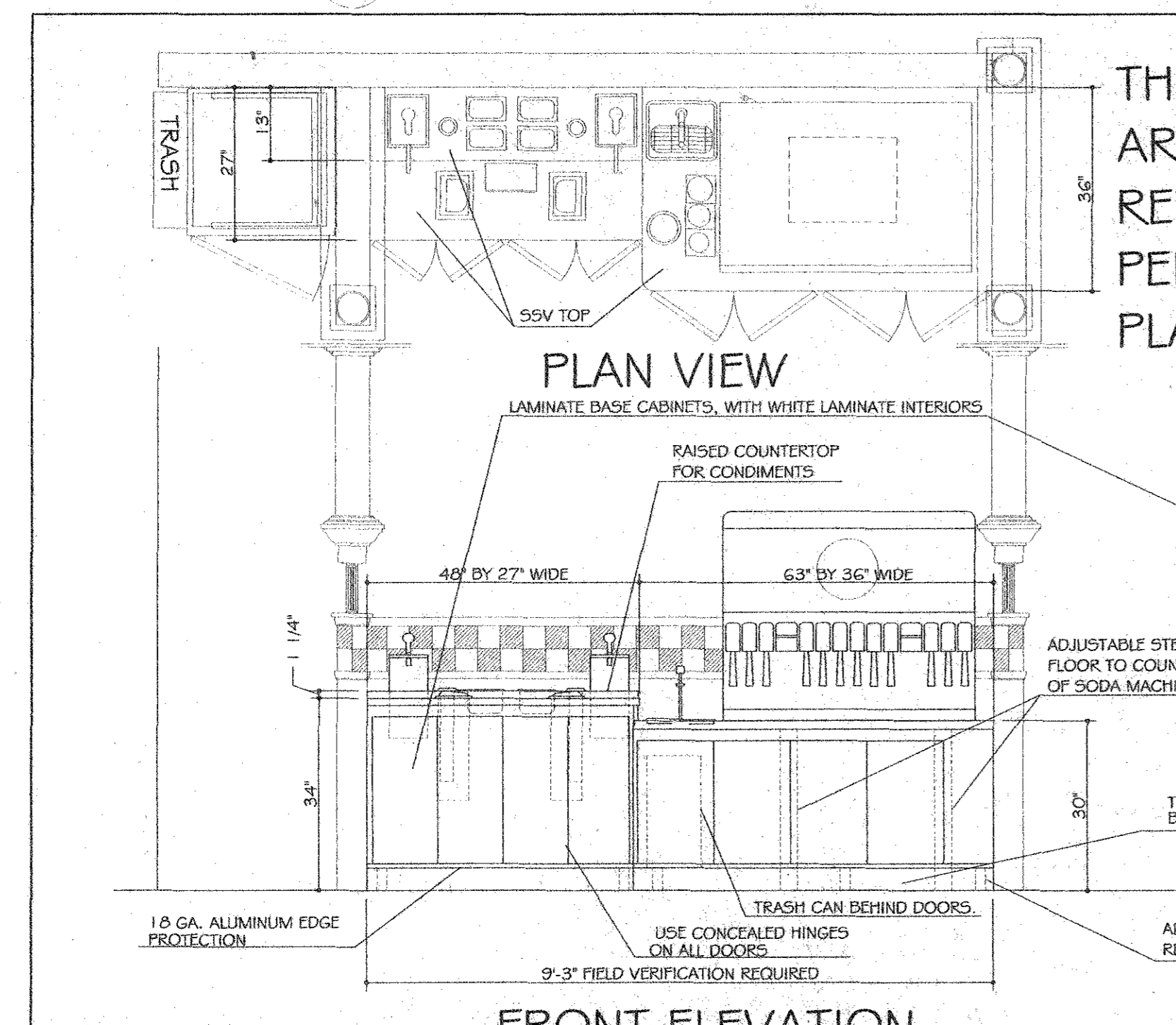


8 F57
1/2"=1'-0"

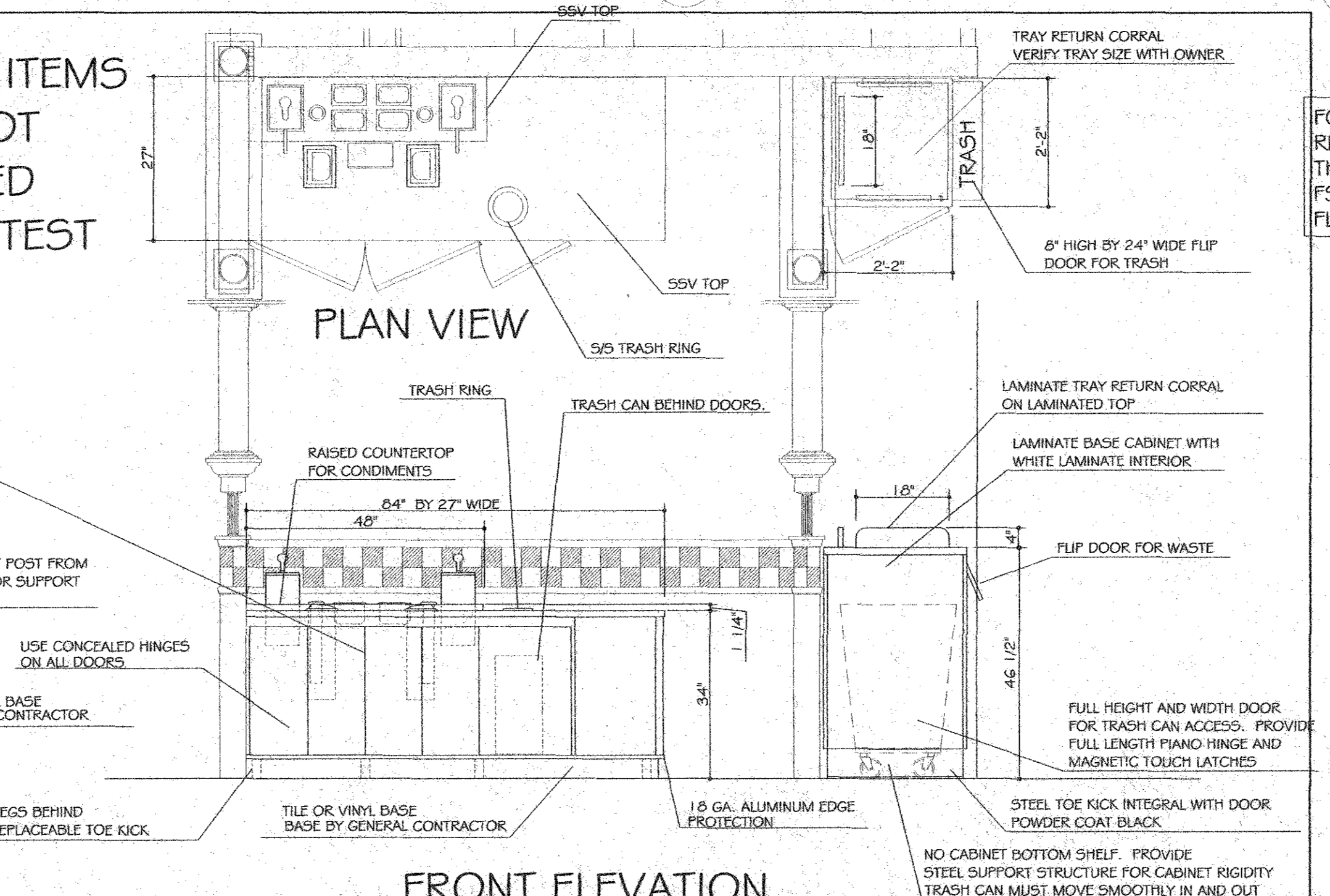


9 F57
1/2"=1'-0"

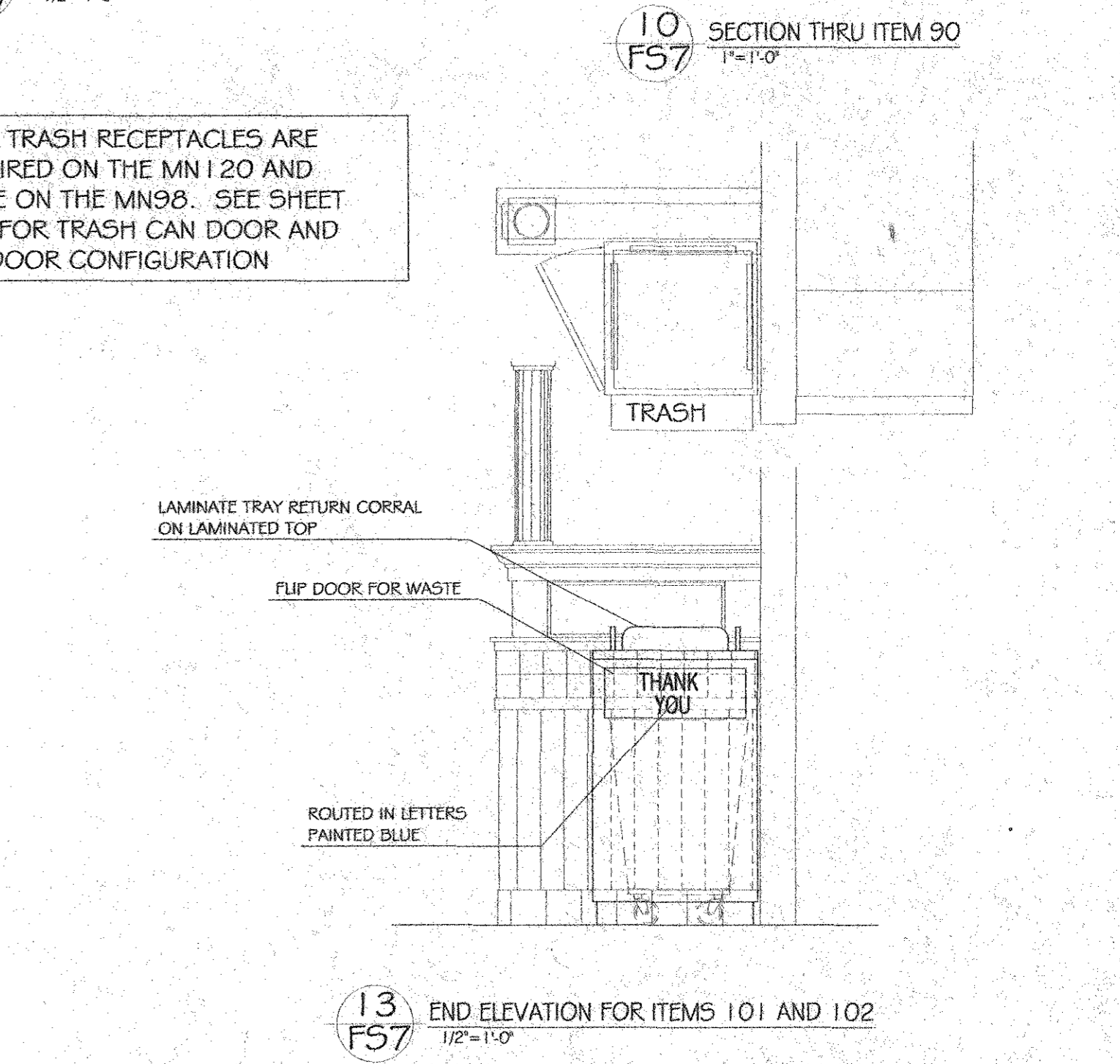
10 F57
1"=1'-0"



11 F57
1/2"=1'-0"



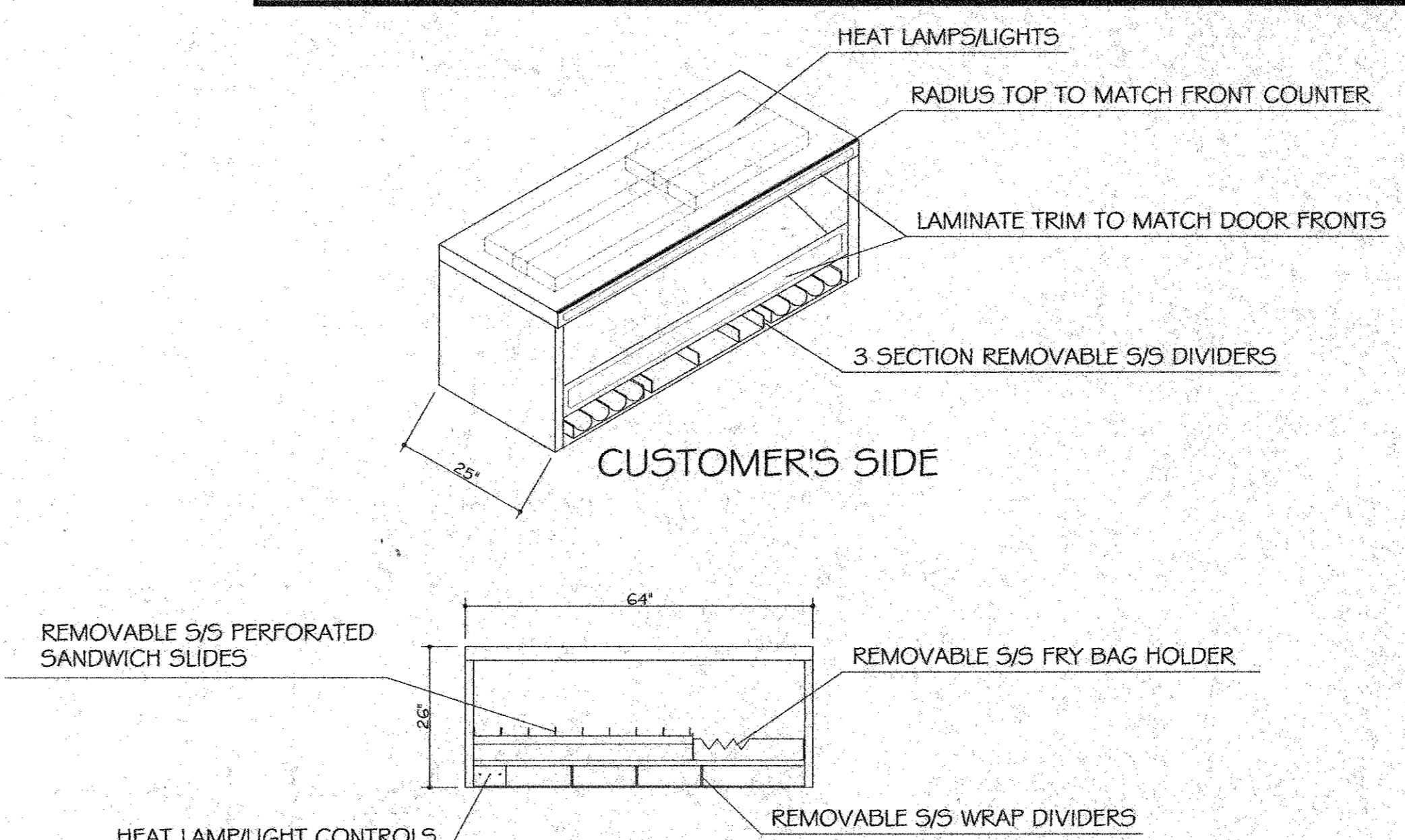
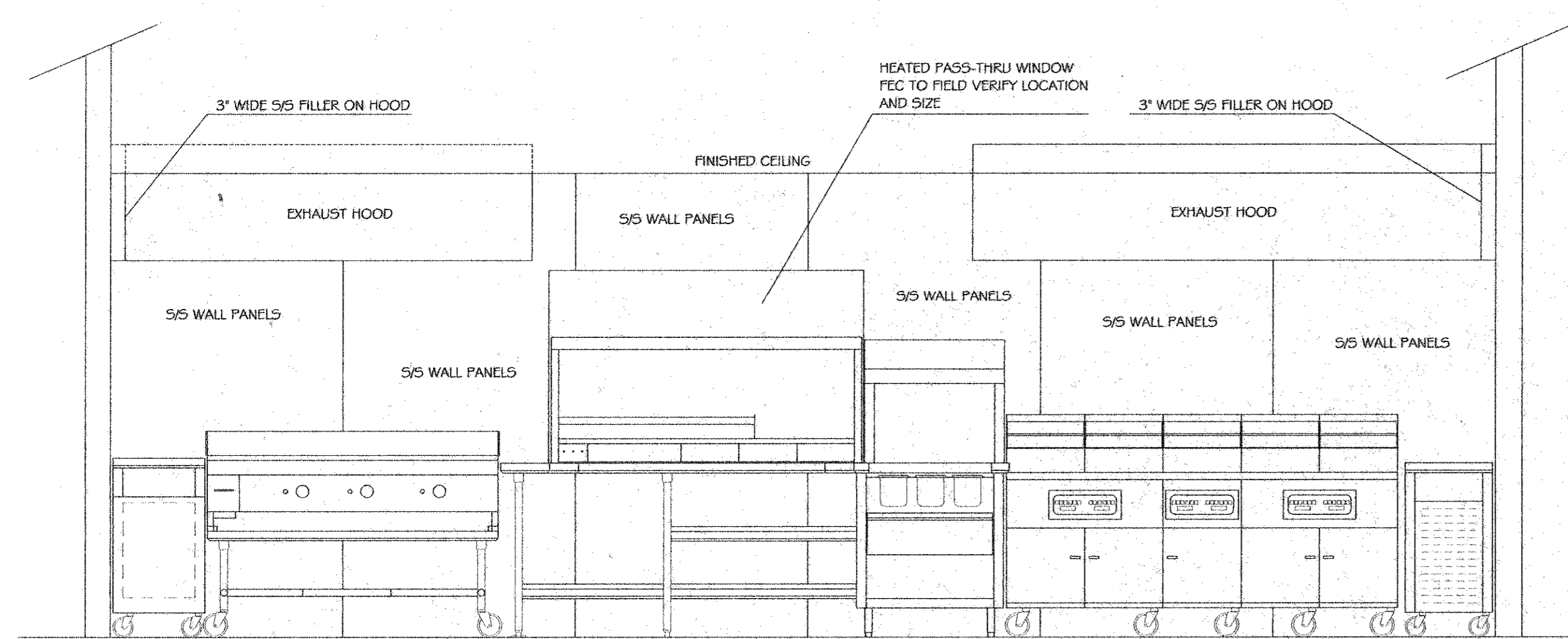
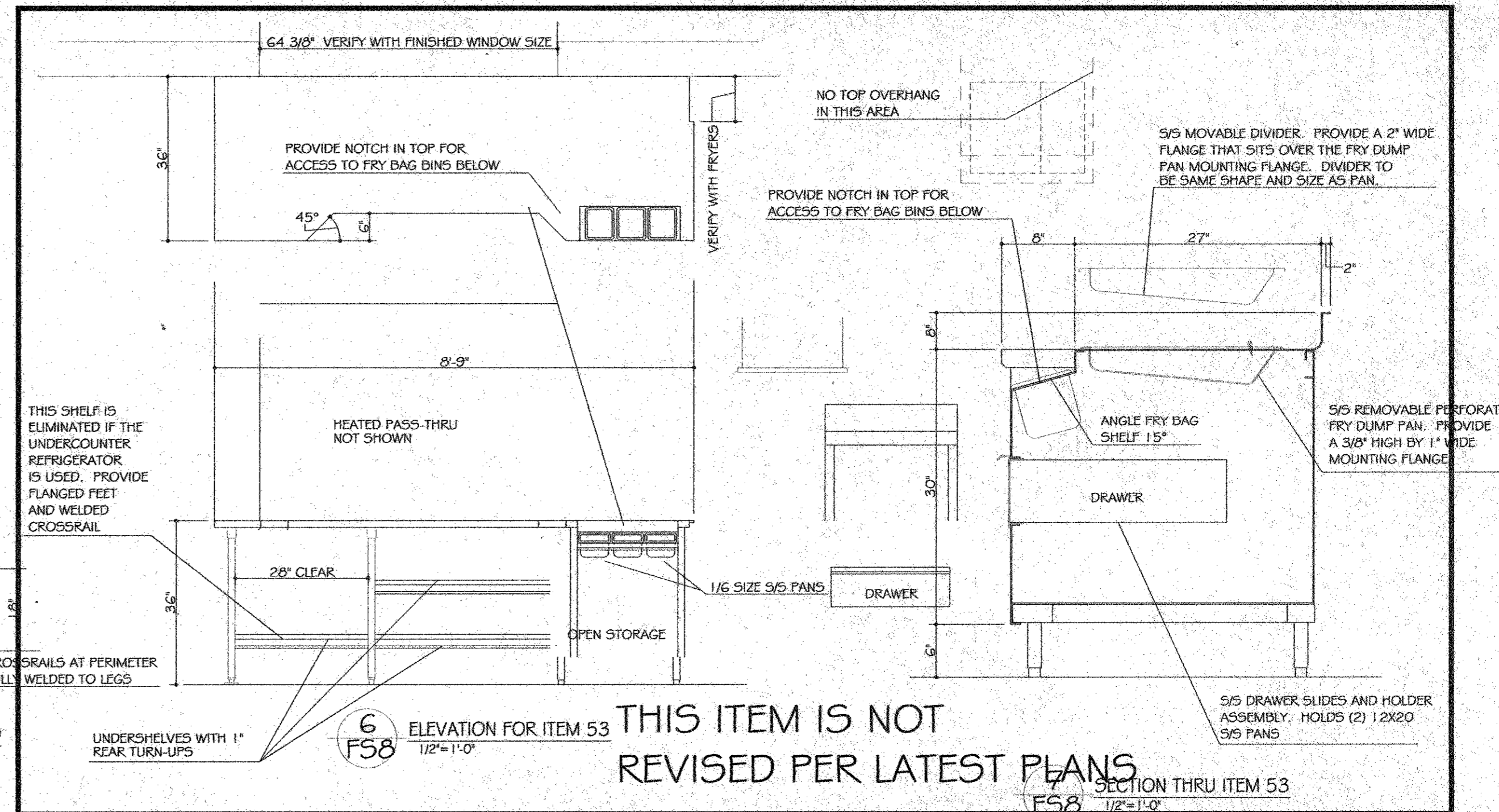
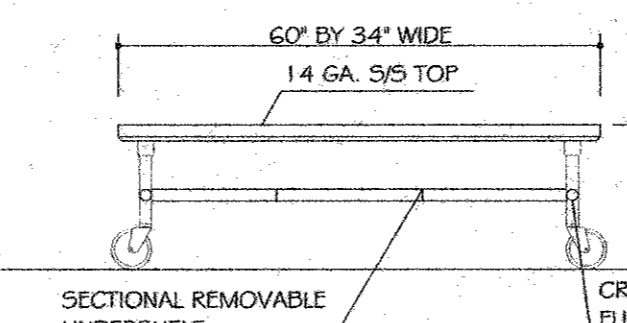
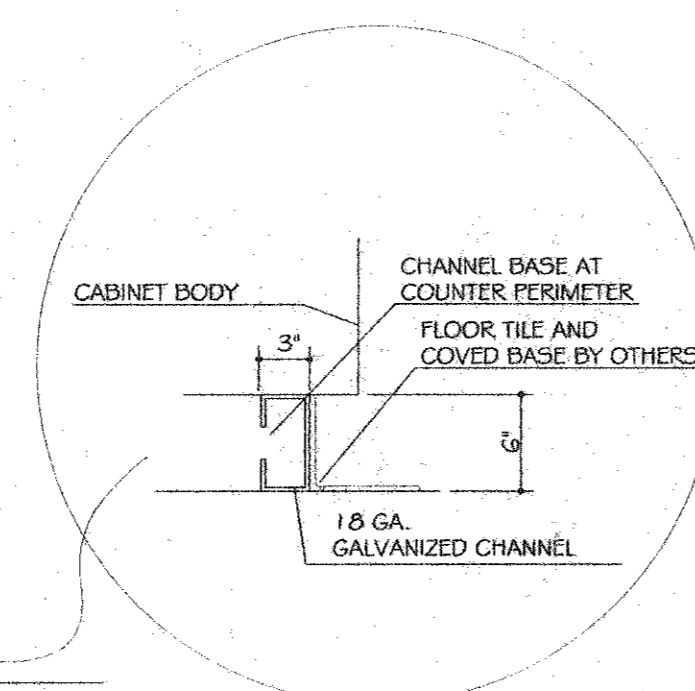
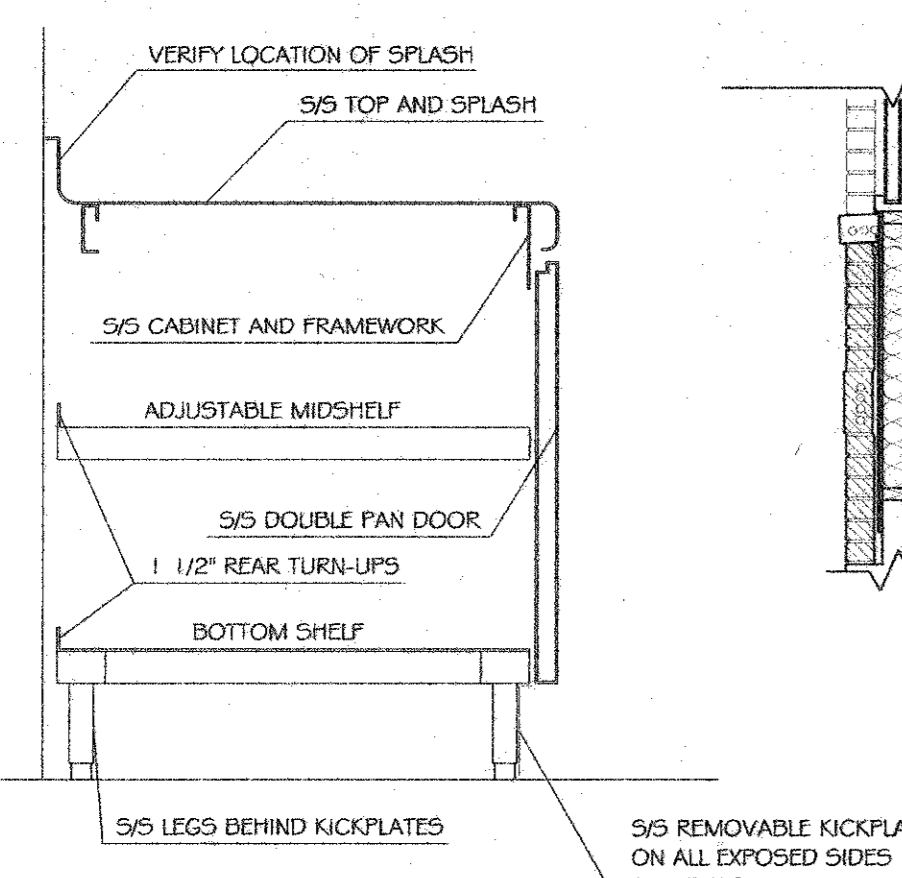
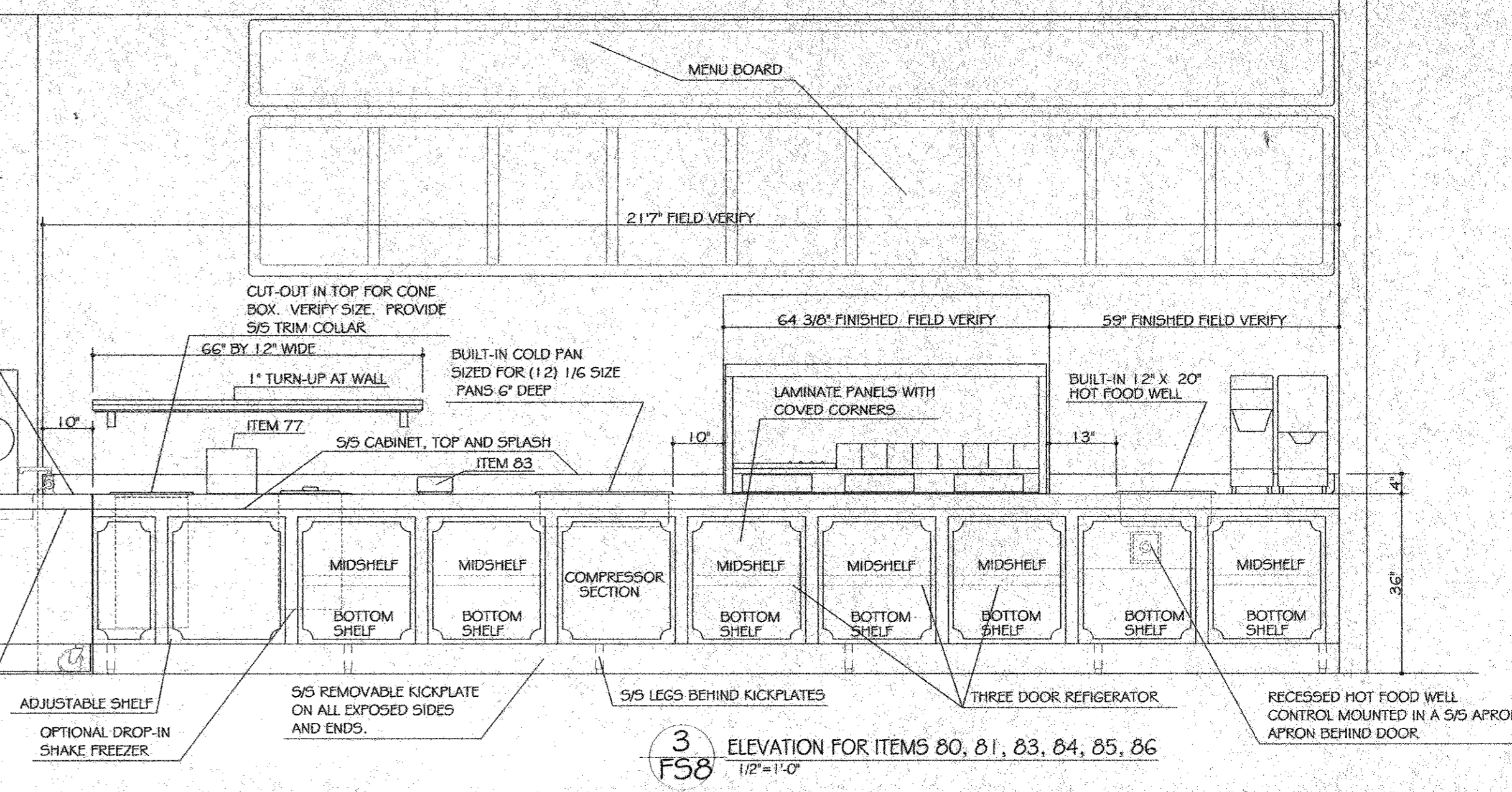
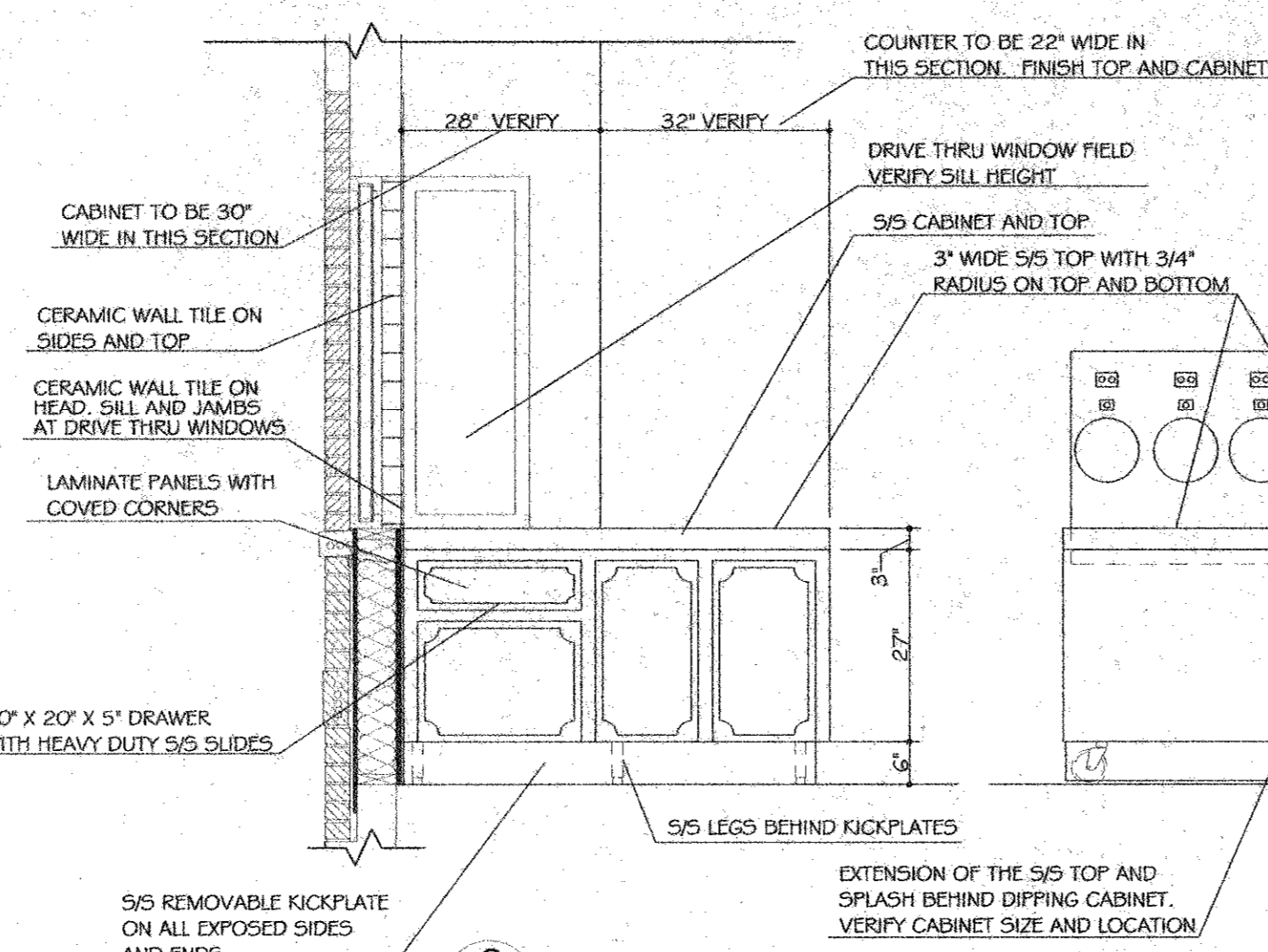
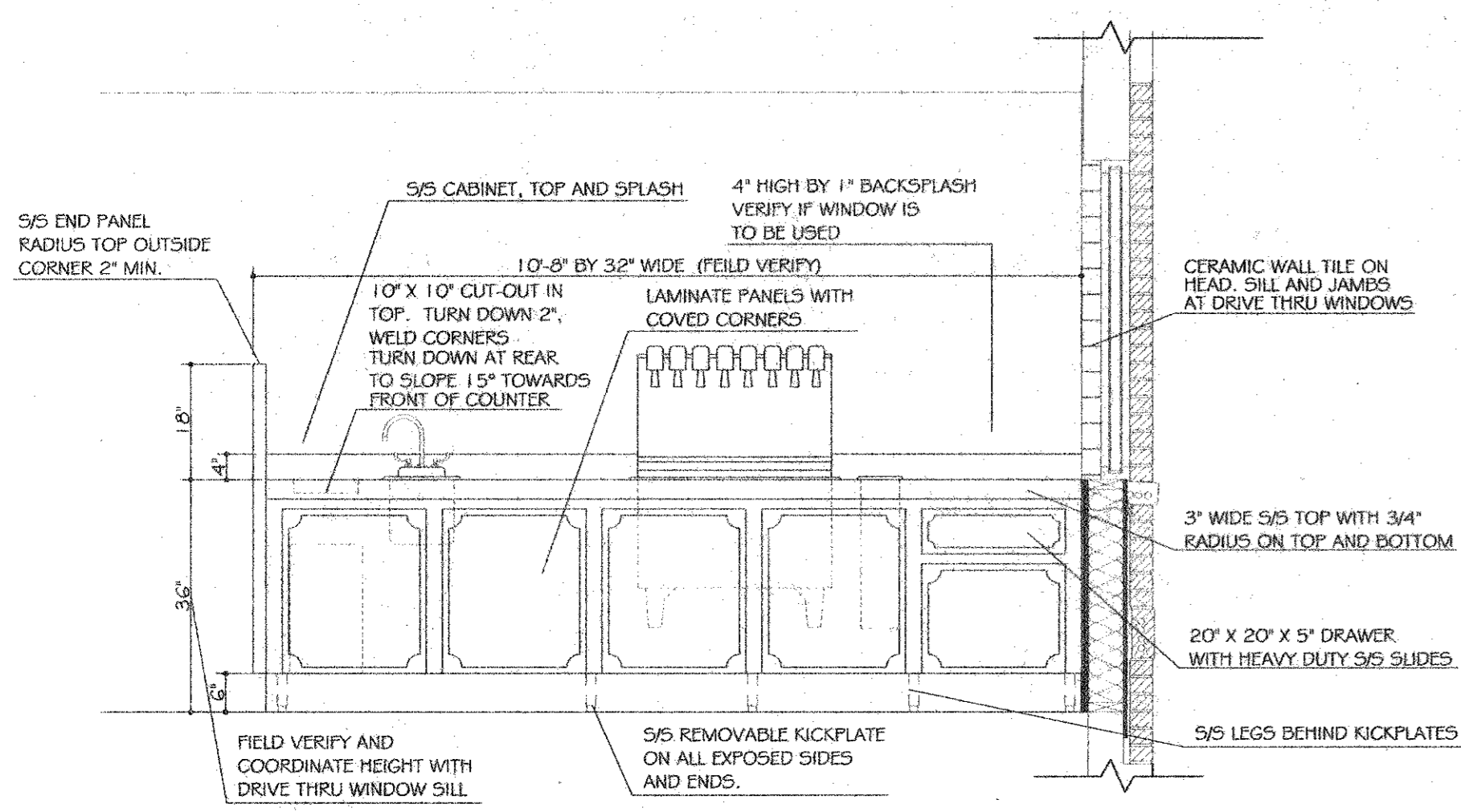
12 F57
1/2"=1'-0"



13 F57
1/2"=1'-0"

THESE ITEMS
ARE NOT
REVISED
PER LATEST
PLANS

FOUR TRASH RECEPTACLES ARE
REQUIRED ON THE MN120 AND
THREE ON THE MN98. SEE SHEET
FS-1 FOR TRASH CAN DOOR AND
FLIP DOOR CONFIGURATION



STELLING & ASSOCIATES ARCHITECTS, LTD.
 181 W. CHESTNUT STREET, BURLINGTON, WI 53105
 TELEPHONE: (262) 763-9725 FAX: (262) 763-1971
 E-MAIL: aenarch@att.net

PROJECT DESCRIPTION:
 NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 LAKEVIEW PRAIRIE, WI 53158
 PROJECT FOR:
 OMA, L.L.C.

DRAWING DESCRIPTION:
 FOOD SERVICE INTERIOR ELEVATIONS

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

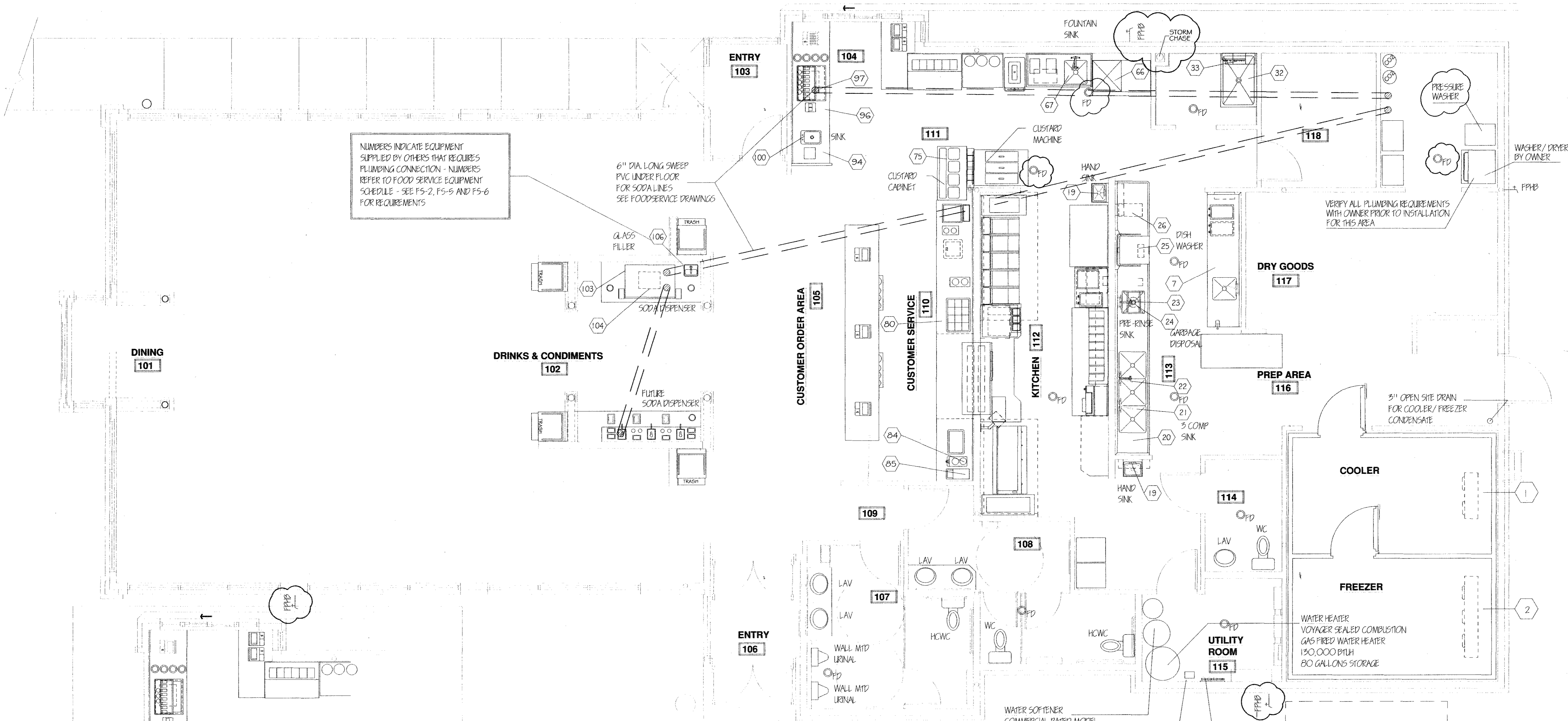
APPROVED:

DRAWN BY:
 ACN

DATE:
 12-4-00

PROJECT NUMBER:
 0039

SHEET NUMBER:
 FS-8



DINING
101

DRINKS & CONDIMENTS
102

ENTRY
103

CUSTOMER ORDER AREA
105

CUSTOMER SERVICE
110

KITCHEN
112

DRY GOODS
117

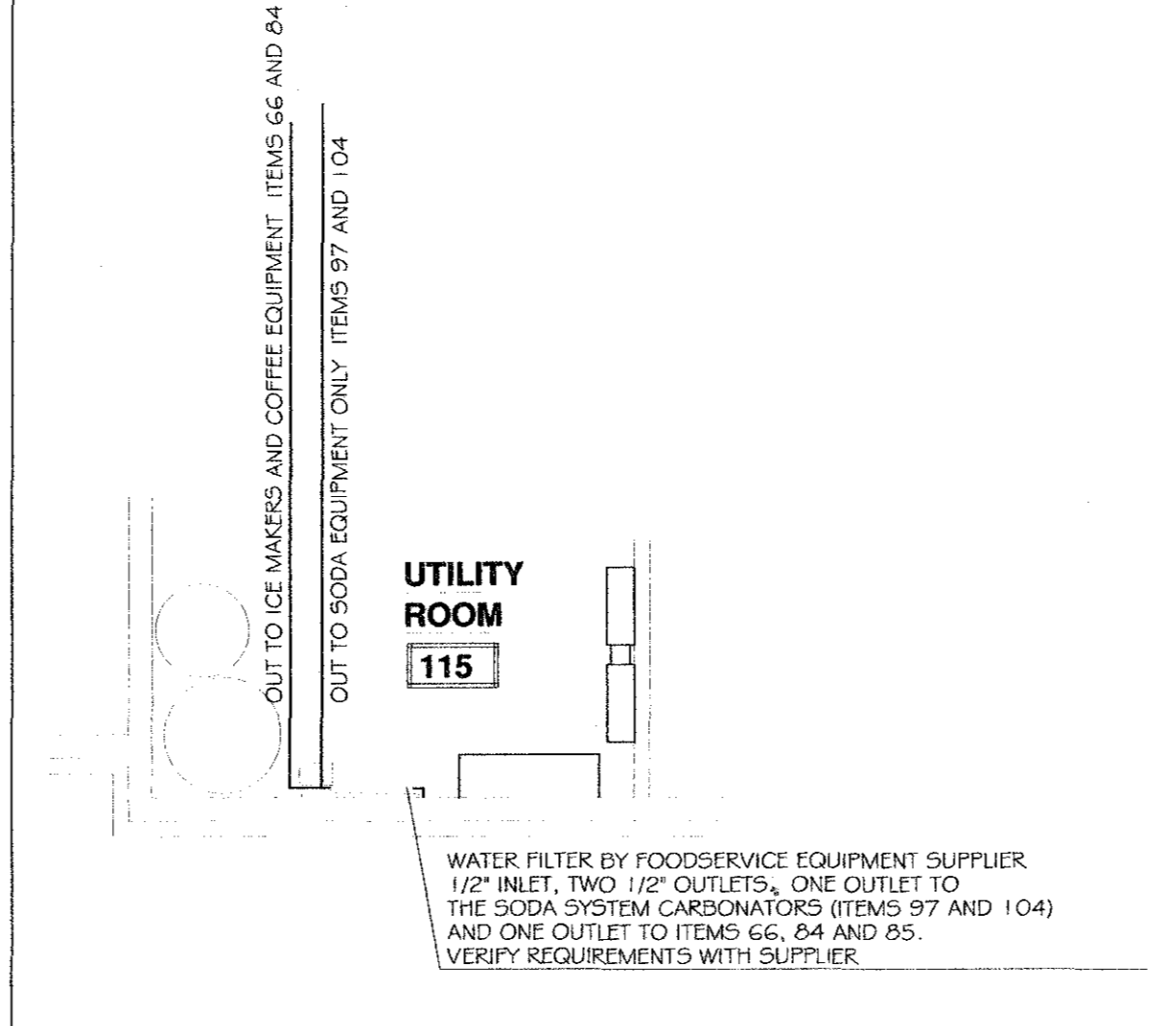
PREP AREA
116

COOLER

FREEZER

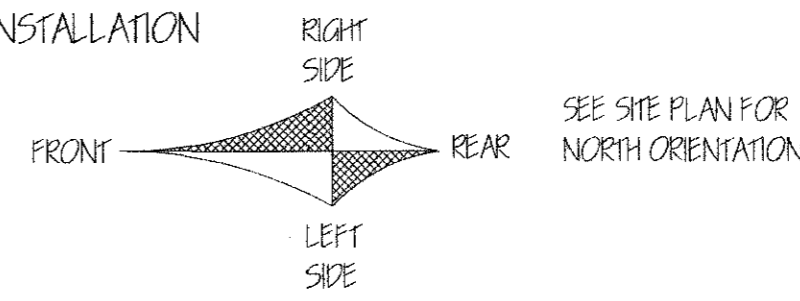
UTILITY ROOM
115

WATER FILTER SCHEMATIC



*NOTE:
VERIFY HEIGHT, BACKING AND MOUNTING REQUIREMENTS OF PRESSURE WASHERS WITH OWNER PRIOR TO INSTALLATION

PLUMBING PLAN
SCALE: 1/4" = 1'-0"



STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET BURLINGTON, WI 53105
TELEPHONE: (262) 783-8725 FAX: (262) 783-1971
E-MAIL: stelling@stelling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI 53156
PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
PLUMBING PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

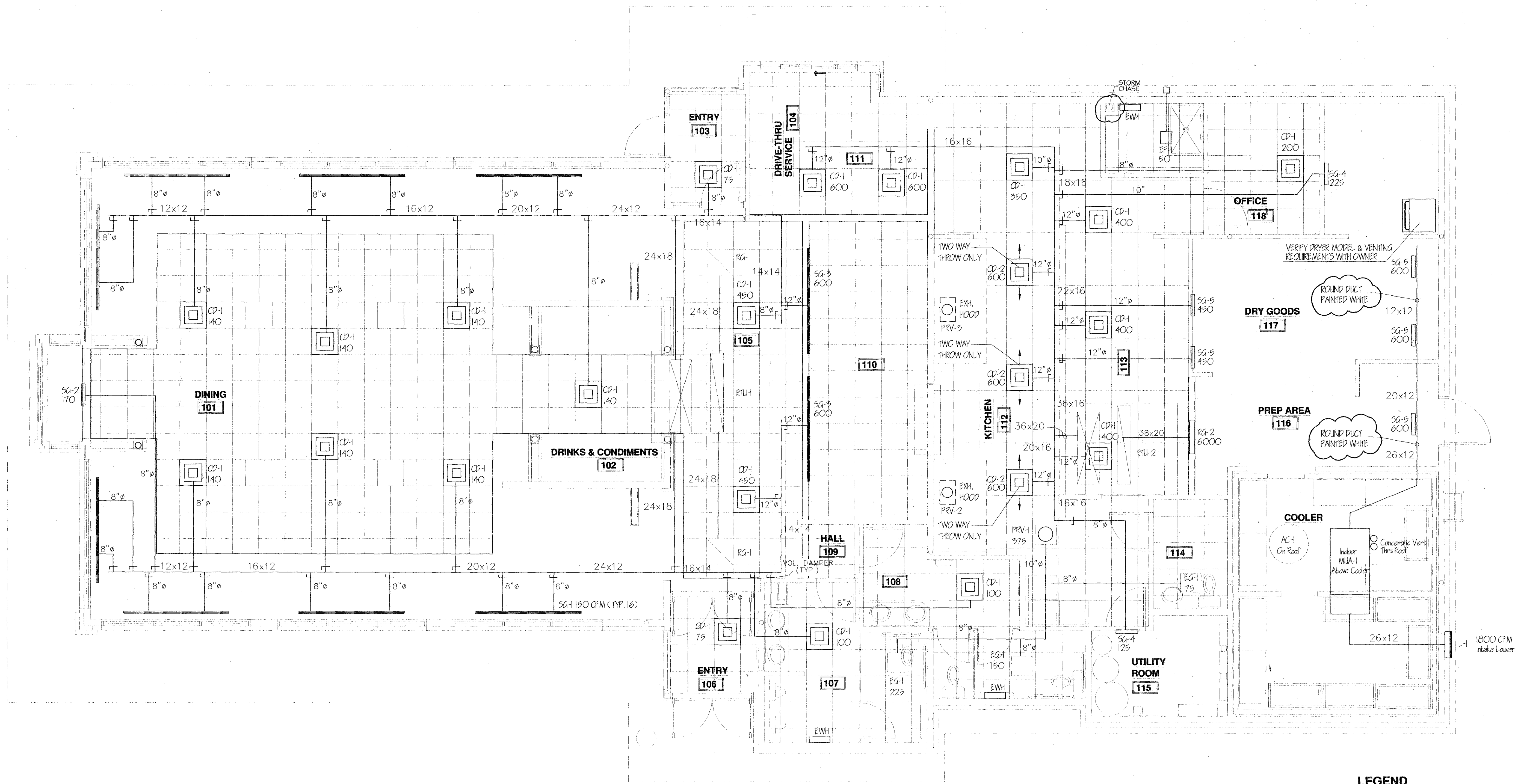
APPROVED:
ACN

DRAWN BY:
ACN

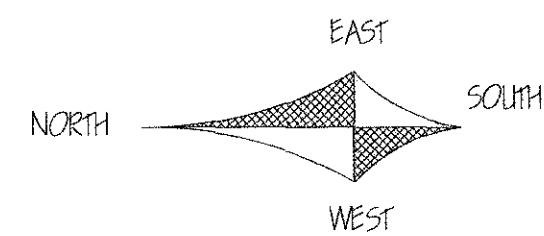
DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
P-1



HVAC PLAN
SCALE: 1/4" = 1'-0"



LEGEND

- LINEAR DIFFUSER
- CEILING DIFFUSER
- EXHAUST GRILL
- ELECTRIC WALL HEATER
- KITCHEN HOOD EXHAUST FAN
- LINEAR SUPPLY GRILL
- RETURN GRILL

HVAC PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE SOLE PROPERTY OF
STELLING & ASSOCIATES
ARCHITECTS, LTD. AND IS
NOT TO BE USED IN WHOLE
OR IN PART FOR ANY
OTHER PROJECT OR
PURPOSE WITHOUT THE
EXPRESSED WRITTEN
AUTHORIZATION OF STELLING
& ASSOCIATES ARCHITECTS, LTD.

REVISIONS:

1-29-01

APPROVED:

DRAWN BY:
ACN

DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
M-1

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE, WI, 53158

PROJECT FOR:
OMA, L.L.C.

STELLING & ASSOCIATES
ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TELEPHONE: (262) 783-8785 FAX: (262) 783-1971
E-MAIL: stelling@aol.com

GENERAL NOTES

ALL WORK TO BE PERFORMED TO STATE CODE & SMACNA GUIDELINES. DUCT DIMENSIONS LISTED ARE NET FREE - CLEAR INSIDE DIMENSION. INSTALL UNITS ACCORDING TO MANUFACTURERS GUIDELINES. INSTALLER RESPONSIBLE FOR FINAL TEST & BALANCING AS OUTLINED IN ILHR 64.43 & 64.53.

PROVIDE OWNER WITH OPERATION & MAINTENANCE MANUALS AND SYSTEM SCHEMATICS. VERIFY DUCT LOCATIONS PRIOR TO FABRICATION. (VERIFY LIMITED AREA FOR DUCTWORK AND OTHER APPARATUSES)

HVAC CONTRACTOR TO INSTALL GAS PIPING PER STATE CODE AND AGA GUIDELINES (LABEL AS REQUIRED)

EXHAUST FANS TO RUN CONTINUOUSLY DURING OCCUPIED MODE. VERIFY WITH OWNER EXACT HEATER LOCATION TO AVOID BUILDING FUNCTION INTERFERENCE. NIGHT SET BACK THERMOSTATS TO BE INSTALLED ON ALL HVAC EQUIPMENT. INSULATE DUCT WORK TO SMACNA GUIDELINES AND STATE CODE ILHR 63.29. INSTALL VOLUME CONTROL DAMPERS AS INDICATED ON PLANS. MAINTAIN AT LEAST 10 FEET CLEARANCE FROM INTAKES OR WINDOWS ON ALL EXHAUST VENTS ILHR 64.19.

VENT EXHAUST FANS TO EXTERIOR OF BUILDING. FURNACE FANS TO RUN CONTINUOUSLY DURING OCCUPIED MODE. FLEXIBLE ROUND DUCT WORK NOT TO EXCEED 8 FEET IN LENGTH. AVOID UNNECESSARY TURNS & SLACK.

CONTRACTOR TO CONFIRM VOLTAGES AND PHASE OF EQUIPMENT PRIOR TO INSTALLATION

RETURN AIR DUCT WORK TO BE LINED FOR SOUND ATTENUATION. DUCT WORK TO BE STANDARD GAUGE SHEET METAL (FIBROUS DUCT NOT ALLOWED). DUCT WORK TO BE STANDARD GAUGE WELDED S/S OR DUCTILE IRON, AT KITCHEN HOODS.

COORDINATE WORK WITH GENERAL CONTRACTOR AND OWNER TO MAXIMIZE CEILING HEIGHT AND AVOID CONFLICTS

HANG AND SUPPORT MATERIALS SHALL BE INSTALLED THE LATEST EDITION OF THE ASHREA HANDBOOK OF FUNDAMENTALS

TEST, ADJUST AND CALIBRATE CONTROL SYSTEMS AS REQUIRED ILHR 64.43 & 64.53.

DEVIATIONS FROM THE HVAC PLANS ARE THE RESPONSIBILITY OF THE HVAC CONTRACTOR AND WILL NOT RESULT IN ADDITIONAL COSTS TO THE OWNER UNLESS WRITTEN CHANGE ORDERS ARE APPROVED BY THE OWNER. CONTRACTOR TO VERIFY GAS METER CAPACITY WITH LOCAL GAS SUPPLIER. HVAC CONTRACTOR RESPONSIBLE FOR GAS PIPING FROM THE GAS METER TO HVAC & KITCHEN EQUIPMENT

HVAC CONTRACTOR RESPONSIBLE FOR A COMPLETE AND FULLY WORKING SYSTEM. PROVIDE SHOP DRAWINGS TO THE ARCHITECT/DESIGNER FOR EQUIPMENT, FANS, REGISTERS ETC. PRIOR TO PROCUREMENT

PROVIDE OWNER WITH COLOR CHOICES FOR SWITCHES AND OTHER APPARATUSES WHERE APPLICABLE

INSULATE EXHAUST DUCT FOR EXHAUST FAN TO EXTERIOR TERMINATION. VERIFY ALL EXISTING CONDITIONS PRIOR TO INSTALLATION (DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT REFLECT EXACT LOCATIONS OF EQUIPMENT OR OTHER APPARATUSES.)

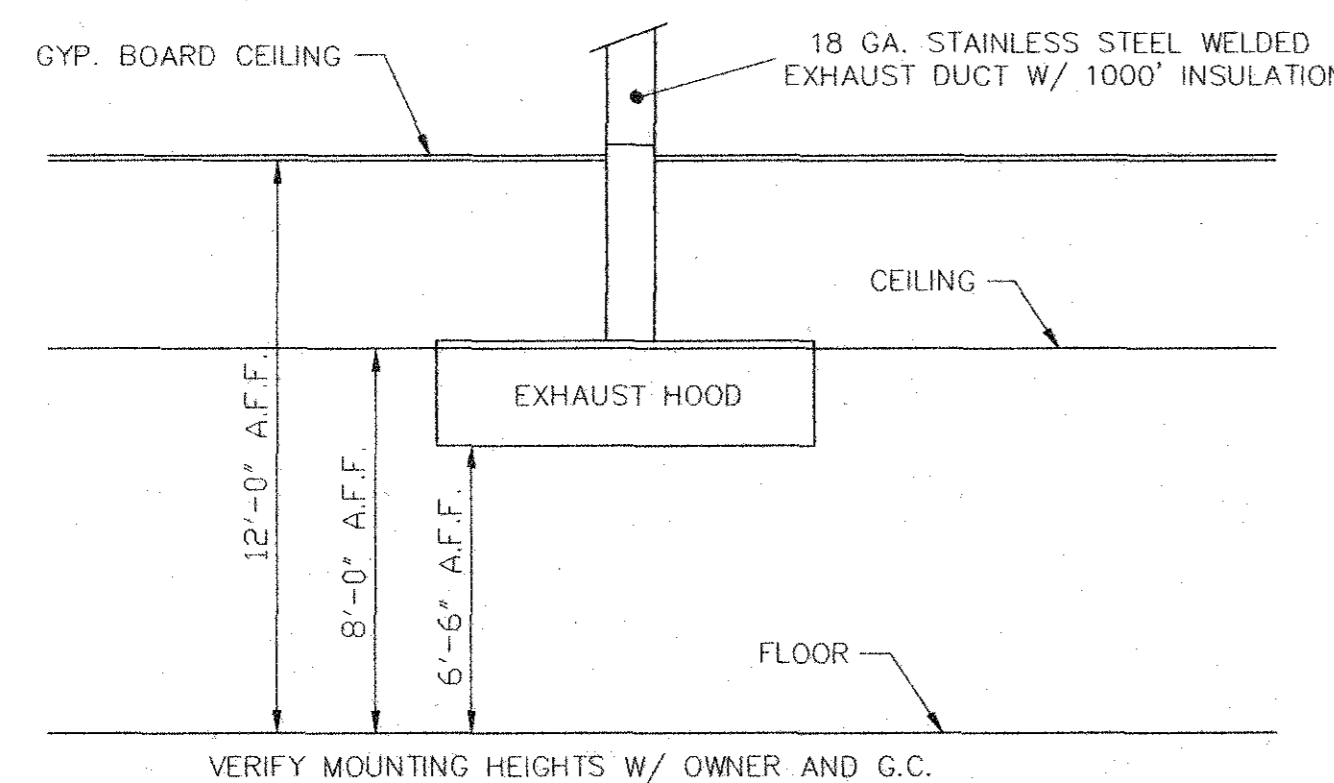
RUN DUCT WORK IN JOIST SPACE WHEN APPLICABLE TO MAXIMIZE FREE AREA IN CEILING.

KITCHEN EXHAUST AND SUPPLY DUCT TO BE INSULATED AND INSTALLED PER ILHR 64.67

REPLACE ALL AIR FILTERS PRIOR TO TURNING SYSTEM OPERATIONS OVER TO OWNER. VENT OWNERS WATER HEATERS AS REQUIRED

VENT DRYER TO EXTERIOR AS REQUIRED. MAINTAIN CLEARANCES FROM INTAKES AS NOTED ABOVE.

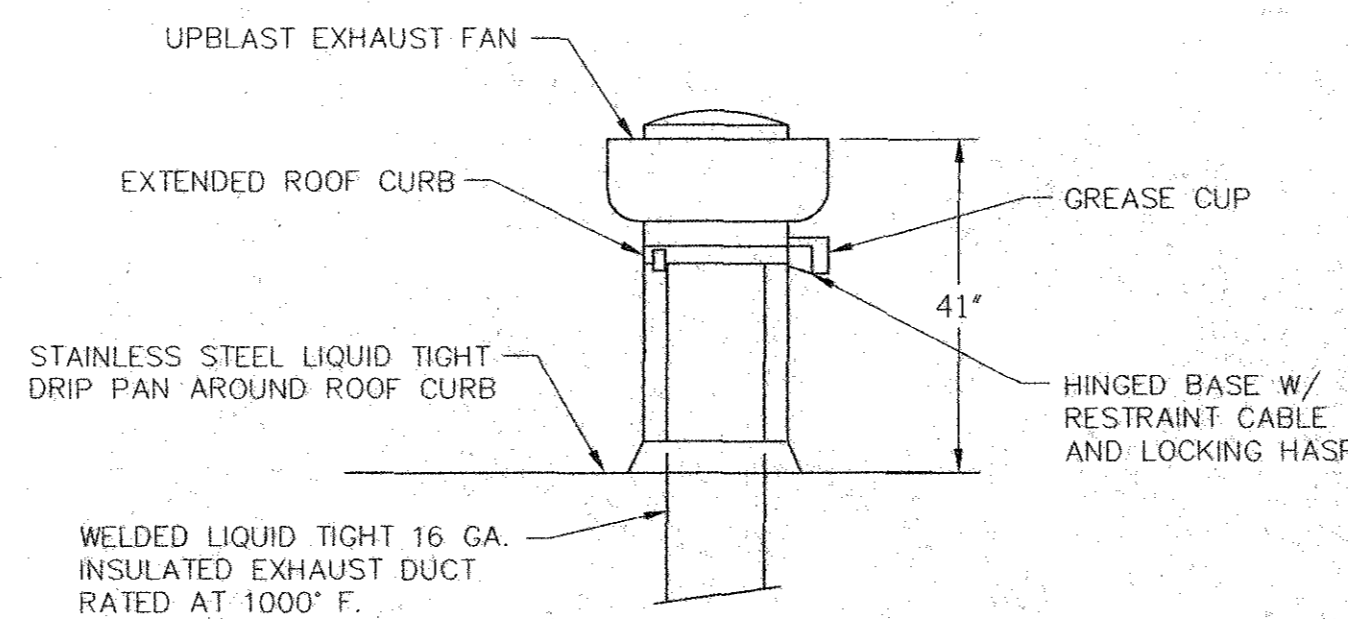
NOTE CHANGES IN CEILING HEIGHTS AND FINISHES. LIMITED ACCESS TO SOME AREAS. CONTROL SEQUENCING IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. PROVIDE SCHEMATICS / DESCRIPTIONS TO THE OWNER PRIOR TO INSTALLATION.



KITCHEN HOOD EXHAUST ELEVATION
SCALE: 1/4"=1'-0"

MECHANICAL EQUIPMENT SPECIFICATIONS

- RTU-1 Carrier Or Equal 48TJD-016 Combination Gas Heating Electric Cooling Rooftop Unit. 185,000 BTU Output Heating Capacity, 80.0% Eff. 178,000 Net Cooling Capacity, 8.6 EER. 208 / 230 Volt, 3 Phase, 96.0 Amps. Blower Motor Set For Nominal 6,000 CFM And Fresh Air Intake Damper Set For Minimum 1,125 CFM Provide Full Economizer, Roof Curb, Two Stage Control, Duct Discharge Control And Honeywell Or Equal T7300 Night Set Back Thermostat.
- RTU-2 Carrier Or Equal 48TJD-016 Combination Gas Heating Electric Cooling Rooftop Unit. 185,000 BTU Output Heating Capacity, 80.0% Eff. 178,000 Net Cooling Capacity, 8.6 EER. 208 / 230 Volt, 3 Phase, 96.0 Amps. Blower Motor Set For Nominal 6,000 CFM And Fresh Air Intake Damper Set For Minimum 1,275 CFM Provide Full Economizer, Roof Curb, Two Stage Control, Duct Discharge Control And Honeywell Or Equal T7300 Night Set Back Thermostat.
- MUA-1 Reznor Or Equal SCE 200 Separated Combustion Make Up Air Unit 160,000 BTU Output Heating Capacity, 80% Eff. Include Stainless Steel Heat Exchanger And Burners. 1" TA Filters, Concentric Vent Kit, Nominal 5 Ton DX Horizontal Cooling Coil And Motorized 100% Outdoor Air Intake Damper Set To 1800 CFM Control System With Duct Discharge Thermostat And Room Override Night Set Back Thermostat. Interlock With Kitchen Exhaust Fan Operations.
- AC-1 Carrier Or Equal 38CKC-060 Condensing Unit. 54,500 BTU Net Cooling Capacity 10.0 SEER. 208/230 Volt Single Phase. 37.5 MCA. Refrigeration Piping As Per Manufacture's Recommendations.
- PRV-1 Carnes Or Equal VEDK-08-J2 Power Roof Exhaust Fan With Gravity Backdraft Damper And Roof Curb. 375 CFM At .5 ESP 115 Volt, Single Phase, 3.6 Amps. Fan To Run Continuously During Occupied Mode.
- PRV-2 Greenheck Or Equal CUBE 140-7 Kitchen Hood Exhaust Fan With Roof Curb. 1750 CFM At .651 ESP, 208 Volt, Single Phase, 6.0 Amps. Fan To Run Continuously During Occupied Mode.
- PRV-3 Greenheck Or Equal CUBE 140-7 Kitchen Hood Exhaust Fan With Roof Curb. 2336 CFM At .656 ESP. 208 Volt, Single Phase. 6.0 Amps. Fan To Run Continuously During Occupied Mode.
- EF-1 Broan Or Equal 360 Ceiling Exhaust Fan With Speed Control And # 431 Eye Elbow Kit. CFM As Indicated On Plans. Fan To Run Continuously During Occupied Mode.
- EWH Q-Mark Or Equal CWH-3204 Electric Wall Heater With Integral Thermostat. 208 / 240 Volt Single Phase, 8.5 Amps. 2000 Watt.
- CD-1 Carnes Or Equal SJTB Ceiling Diffuser. Neck Size And CFM As Indicated.
- CD-2 Carnes Or Equal SJTB Ceiling Diffuser W/ KXBA Baffle For 2 Way Throw Neck Size And CFM As Indicated On Plans
- SG-1 Carnes Or Equal CHBB 48" Linear Diffuser. 2 Slot 2 Way W/ Surface Mount End Caps And Hem Duct Brackets. Neck Size And CFM As Indicated On Plans.
- SG-2 Carnes Or Equal CCRBG 24x3 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.
- SG-3 Carnes Or Equal CCRBG 72x3 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.
- SG-4 Carnes Or Equal CCRBG 12x6 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.

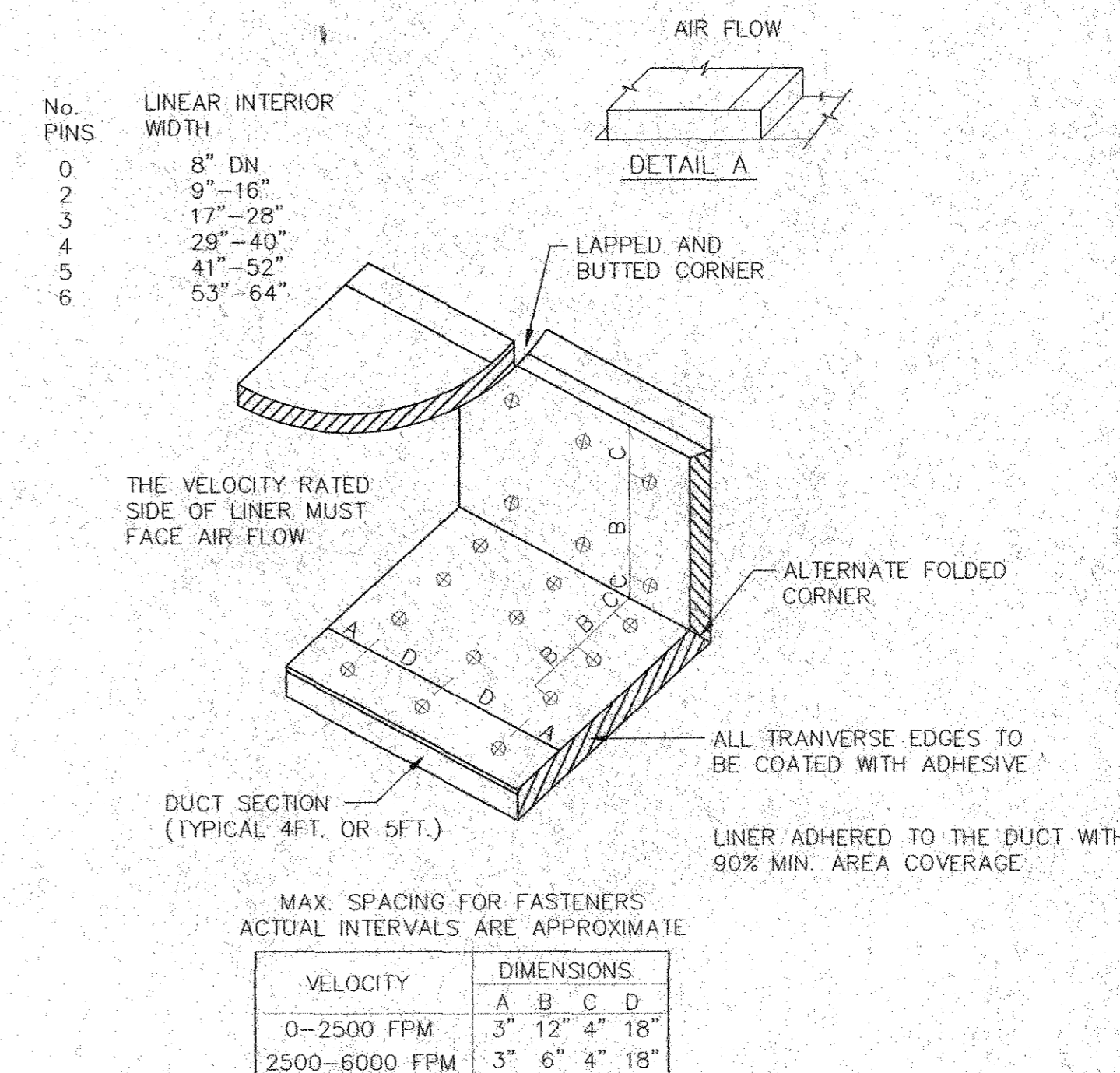


KITCHEN HOOD EXHAUST FAN DETAIL
NO SCALE

MECHANICAL EQUIPMENT SPECIFICATIONS CONTINUED

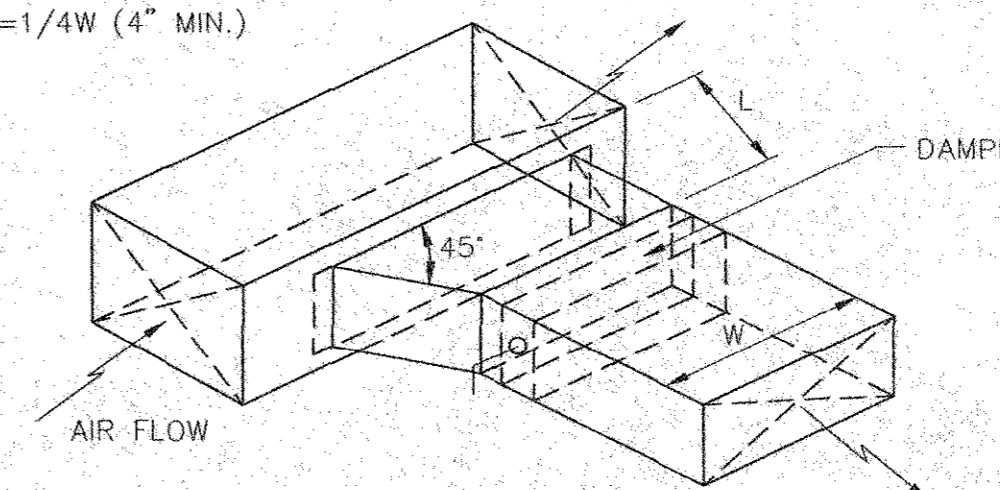
- SG-5 Carnes Or Equal CCRBG 24x6 Linear Supply Grill W/ Hanger Brackets. Field Fabricated Transition To Round Duct. CFM As Indicated On Plans.
- RG-1 Carnes Or Equal RAPA 24x24 Aluminum Egg Crate Return Grill.
- RG-2 Carnes Or Equal RSAAH 48x36 Return Grill.
- L-1 Vent Products Or Equal 2760 Intake Louver 28x28
- EG Carnes Or Equal RAPA 24x24 Aluminum Egg Crate Exhaust Grill.

Note : Kitchen Hoods Supplied By Owner And Installed By HVAC Contractor



DUCT LINER INSTALLATION DETAIL
NO SCALE

NOTE:
L=1/4W (4" MIN.)



BRANCH DUCT TAKEOFF DETAIL
NO SCALE

STELLING & ASSOCIATES ARCHITECTS, LTD.
 181 W. CHESTNUT STREET, BURLINGTON, WI 53009
 TEL: (262) 781-1100 FAX: (262) 781-1101
 E-MAIL: stelling@stalling.com

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
 LAKEVIEW CORPORATE PARK LOTS 15 & 16
 PLEASANT PRAIRIE, WI 53158
 PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
MECHANICAL EQUIPMENT SPECIFICATIONS AND GEN. NOTES

OWNERSHIP OF DOCUMENTS:
 THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES, ARCHITECTS, LTD.

REVISIONS:

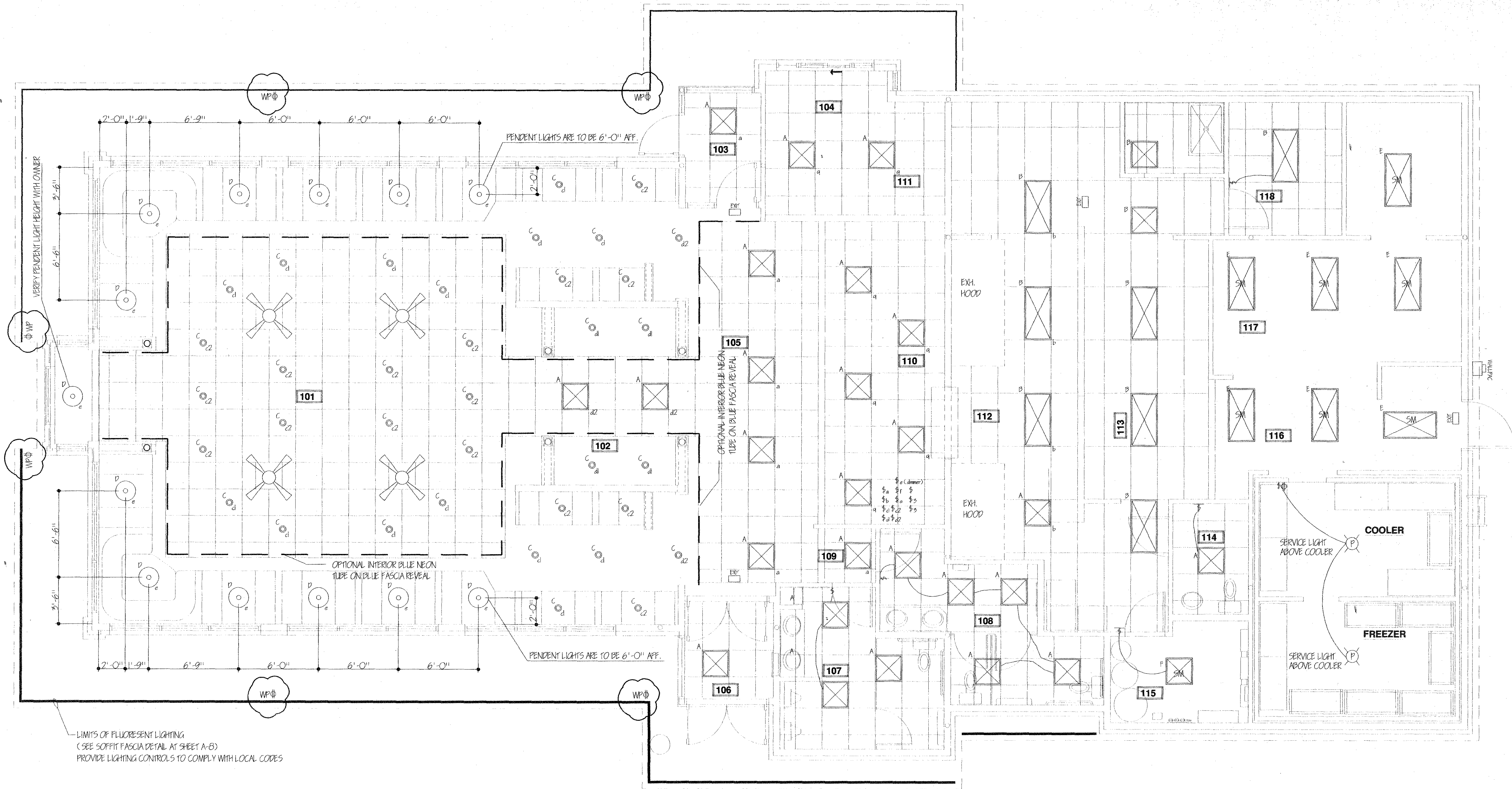
 APPROVED:

 DRAWN BY:
ACN

 DATE:
12-4-00

 PROJECT NUMBER:
0039

 SHEET NUMBER:
M-2



LIGHTING PLAN
SCALE: 1/4" = 1' - 0"

* NOTE: ELECTRICAL CONTRACTOR TO VERIFY BULB TYPES WITH OWNER PRIOR TO PURCHASE.
* NOTE: STAINLESS STEEL MINI CLAMPS FOR ALL EXPOSED CONDUIT INSIDE OF THE BUILDING.

* NOTE: REVIEW LOCATIONS OF EXTERIOR WEATHER PROOF OUTLETS IN SOFFIT WITH OWNER PRIOR TO INSTALLATION

LEGEND

- | | | | | | | | |
|--|---|--|---|--|---|--|--|
| | 2 x 2 L IN FIXTURE LITHONIA 250 2 L21 550 ELECTRONIC BALLAST | | PENDENT LIGHT FIXTURE AS SELECTED BY OWNER CONTROL WITH DIMMER SWITCH | | EXHAUST FAN BY HVAC - W/RED BY ELECTRICIAN | | DEDICATED COMPUTER OUTLET W/ ISOLATED GROUND |
| | 2 x 4 L IN FIXTURE LITHONIA 261 4 L2 550 ELECTRONIC BALLAST
1" SM" INDICATES SIMILAR FIXTURE FOR SURFACE MOUNTED CONDITION | | NURON PITCH - 520R CEILING FAN W/ PFC 5W SPEED CONTROL | | DUPLEX OUTLET | | SINGLE POLE SWITCH |
| | RECESSED CAN FIXTURE HALO HAI 169-06-40 BA W/ 2 9W BULBS | | LITHONIA ESR OR ESROR EXIT LIGHT VERIFY MOUNTING | | GROUND FAULT INTERRUPTIBLE PROTECTED OUTLET | | 5-POLE SWITCH |
| | | | LITHONIA RMP 705 W/ PHOTOCELL | | WEATHER-PROOF OUTLET | | JUNCTION BOX |
| | | | | | DRYER OUTLET | | TELEPHONE |
| | | | | | 6' OF RUID SINGLE CIRCUIT LINE VOLTAGE LIGHT TRACK (WHITE) AND 6 BULB RECESSED FIXTURES (WHITE) W/ 75 WATT PAR30 LAMPS. PROVIDE ALL TRACK CONNECTORS, FEEDS, END CAPS, ETC. | | REFER TO ITEM NUMBER ON TROUBLE SCHEDULE |

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI, 53158

DRAWING DESCRIPTION:
LIGHTING PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE SOLE PROPERTY OF STELLING & ASSOCIATES, ARCHITECTS, LTD. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION OF STELLING & ASSOCIATES, ARCHITECTS, LTD.

REVISIONS:
1-29-01

APPROVED:
ACN

DRAWN BY:
ACN

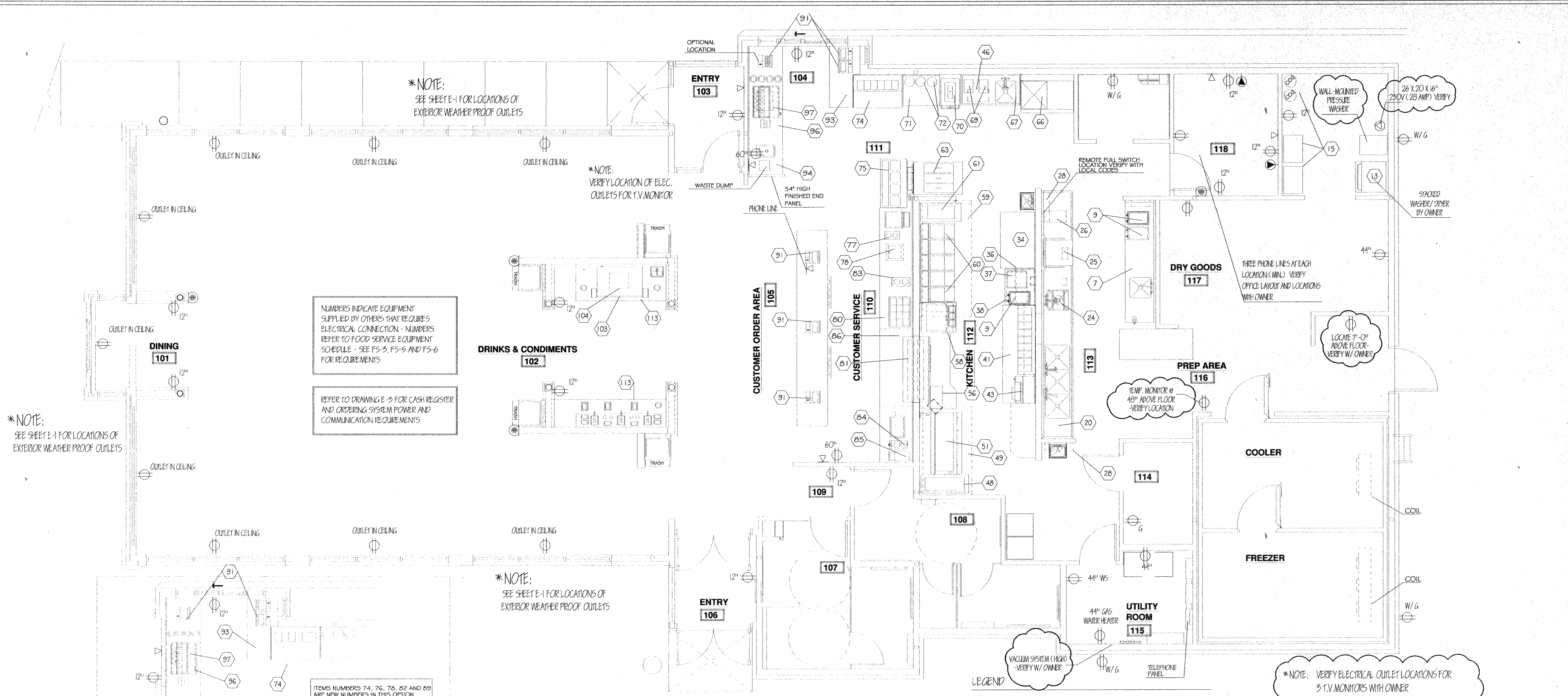
DATE:
12-4-00

PROJECT NUMBER:
0039

SHEET NUMBER:
E-1

STELLING & ASSOCIATES ARCHITECTS, LTD.
181 W. CHESTNUT STREET, BURLINGTON, WI 53105
TELEPHONE: (262) 783-8725 FAX: (262) 783-1971
EMAIL: stelling@stg.com

PROJECT FOR:
OMA, L.L.C.



*NOTE:
SEE SHEET E-1 FOR LOCATIONS OF
EXTERIOR WEATHER PROOF OUTLETS

*NOTE:
VERIFY LOCATION OF ELEC.
OUTLETS FOR T.V. MONITOR

NUMBERS INDICATE EQUIPMENT
SUPPLIED BY OTHERS THAT REQUIRES
ELECTRICAL CONNECTION - NUMBERS
REFER TO FOOD SERVICE EQUIPMENT
SCHEDULE - SEE FS-3, FS-5 AND FS-6
FOR REQUIREMENTS

REFER TO DRAWING E-3 FOR CASH REGISTER
AND ORDERING SYSTEM POWER AND
COMMUNICATION REQUIREMENTS

*NOTE:
SEE SHEET E-1 FOR LOCATIONS OF
EXTERIOR WEATHER PROOF OUTLETS

*NOTE:
SEE SHEET E-1 FOR LOCATIONS OF
EXTERIOR WEATHER PROOF OUTLETS

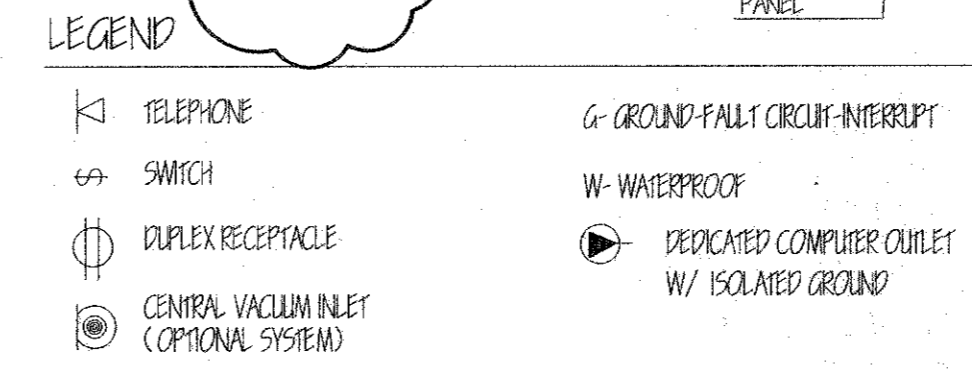
ITEMS NUMBERS 74, 76, 78, 82 AND 89
ARE NEW NUMBERS IN THIS OPTION

*NOTE: VERIFY ELECTRICAL OUTLET LOCATIONS FOR
3 T.V. MONITORS WITH OWNER

*NOTE: PROVIDE 120V ELECTRICAL POWER TO SAMPLING
MANHOLE IN WEST PARKING LOT - SEE SITE SHEETS

POWER & COMMUNICATION PLAN

SCALE: 1/4" = 1' - 0"



ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	WALK IN COOLER	24	DISPOSER	47	MOBILE WORKTABLE (OPTIONAL)	70	MILKSHAKE MACHINE (BY OWNER)
2	WALK IN FREEZER	25	DISHWASHER (BY CHEMICAL COMPANY)	48	CUSTOM MEAT REFRIGERATOR	71	WORKTABLE
3	COOLER SHELVING	26	BOOSTER HEATER	49	EXHAUST HOOD	72	HEATED SYRUP DISPENSERS
4	COOLER DUNNAGE RACK	27	WALL SHELF	50	GRIDDLE STAND	73	WALL SHELF
5	FREEZER SHELVING	28	FIRE SUPPRESSION SYSTEMS	51	GRIDDLE	74	REFRIGERATED TOPPING TABLE
6	FREEZER DUNNAGE	29	SHELVING	52	DOUBLE PRINTER SHELF	75	CUSTARD DIPPING CABINET
7	WORKTABLE/SINK	30	WALL SHELVES	53	SANDWICH WRAP STATION	76	OPEN NUMBER (BASE)
8	WALL SHELF	31	JANITORS SHELVING	54	ORDER BARS	77	SERVICE COUNTER (ALTERNATE)
9	COOKERWARMERS	32	MOP SINK (BY PLUMBER)	55	WRAP PAPER HOLDERS	78	CHOCOLATE WARMER
10	KETCHUP DISPENSER (BY PURVEYOR)	33	CHEMICAL DISPENSING SYSTEM (BY PURVEYOR)	56	BUN WARMER (OPTIONAL)	79	WALL SHELVES
11	LOCKERS	34	REACH-IN FREEZER	57	OPEN NUMBER	80	REFRIGERATED S/S BACKCOUNTER
12	GREASE GUZZLER (ALTERNATE BY OWNER)	35	CHICKEN TIMER (BY OWNER)	58	FRY STATION HEAT LAMP	81	HEATED PASS-THRU UNIT
13	WASHER/DRYER BY OWNER	36	MICROWAVE OVEN	59	EXHAUST HOOD	82	OPEN NUMBER (BASE)
14	CORNER GUARDS	37	ROLLER GRILL	60	FRYERS	83	SERVICE COUNTER (ALTERNATE)
15	BAG-IN-BOX SYSTEM (BY PURVEYOR)	38	WARMER DRAWER	61	CUSTOM FISH REFRIGERATOR	84	COFFEE WARMER (BY PURVEYOR)
16	STORAGE SHELVING	39	WORKTABLE	62	S/S WALL PANELS	85	COFFEE MAKER (BY PURVEYOR)
17	TRASH CANS/CART (BY OWNER)	40	WORKTABLE	63	TRIPLE CUSTARD MACHINE (BY OWNER)	86	HOT CHOCOLATE MACHINE (BY PURVEYOR)
18	BUN RACKS (BY PURVEYOR)	41	MICROWAVE SHELF	64	OPEN NUMBER	87	MENU BOARD (BY OWNER)
19	HAND SINKS	42	REFRIGERATED WORKTABLE	65	SYRUP PUMP AND JAR	88	WAFFLE CONE DISPENSER
20	DISHTABLES AND UTENSIL SINKS	43	WALL SHELF	66	ICE MACHINE WITH BIN	89	DROP-IN CONE BIN
21	WALL SHELF	44	BUN TOASTER	67	WORKTABLE WITH SINK	90	OPEN NUMBER (BASE)
22	PRE-RINSE SPRAY ASSEMBLY	45	BUN RACK SHELF	68	WORKTOP REFRIGERATOR (ALTERNATE)	91	FRONT SERVICE COUNTER
23	PRE-RINSE SPRAY ASSEMBLY	46	WALL SHELF	69	ASTRO BLENDERS (BY OWNER)	92	CONDIMENT DISPENSERS
						93	BEVERAGE COUNTER
						94	CONDIMENT COUNTER
						95	REFRIGERATION SYSTEMS (ON ROOF)
						96	
						97	
						98	
						99	
						100	
						101	
						102	
						103	
						104	
						105	
						106	
						107	
						108	
						109	
						110	
						111	
						112	
						113	
						114	
						115	

ALTERNATE MILLWORK COUNTER OPTION

STELLING & ASSOCIATES ARCHITECTS, LTD.

PROJECT DESCRIPTION:
NEW CULVER'S RESTAURANT
LAKEVIEW CORPORATE PARK LOTS 15 & 16
PLEASANT PRAIRIE WI. 53156

PROJECT FOR:
OMA, L.L.C.

DRAWING DESCRIPTION:
POWER AND COMMUNICATION PLAN

OWNERSHIP OF DOCUMENTS:
THIS DOCUMENT AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE SOLE PROPERTY OF
STELLING & ASSOCIATES,
ARCHITECTS, LTD. AND IS
NOT TO BE USED IN WHOLE
OR IN PART FOR ANY
OTHER PROJECT OR
PURPOSE WITHOUT THE
EXPRESSED WRITTEN
AUTHORIZATION OF STELLING
& ASSOCIATES ARCHITECTS, LTD.

REVISIONS:
1-29-01

APPROVED:
ACN

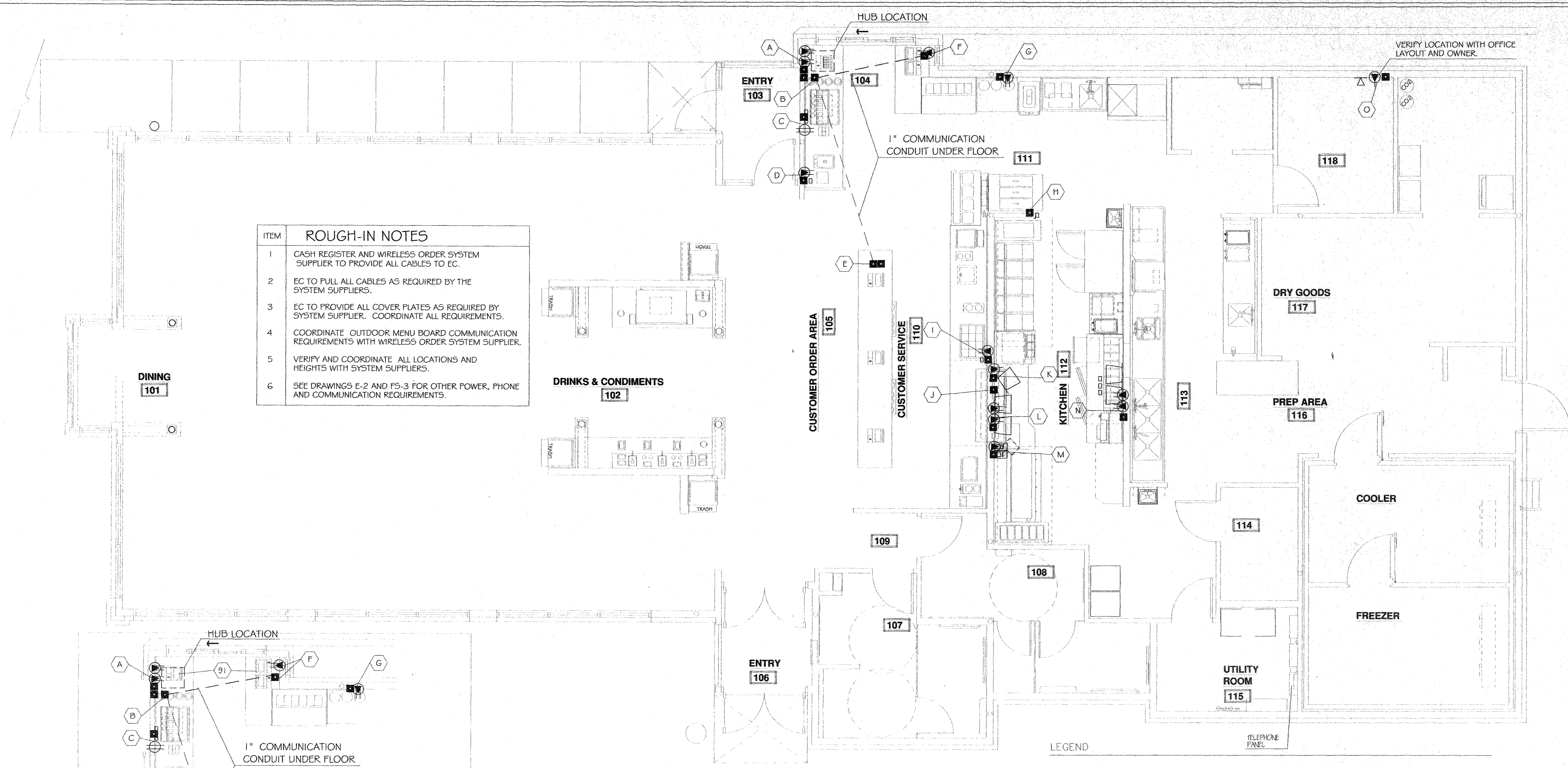
DRAWN BY:
ACN

DATE:
12-4-00

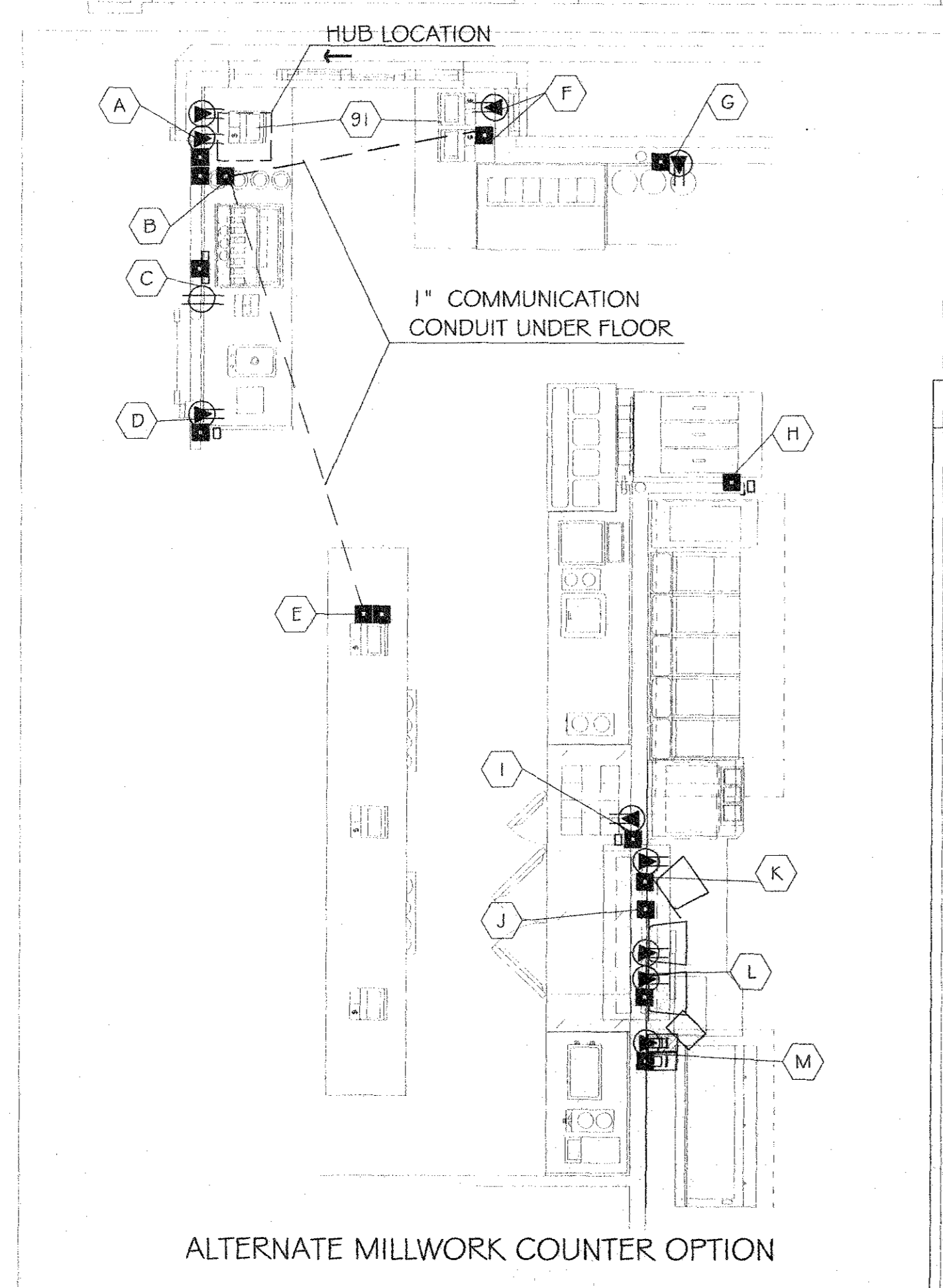
PROJECT NUMBER:
0039

SHEET NUMBER:
E-2

181 W. CHESTNUT STREET BURLINGTON, WI. 53105
TELEPHONE: (262) 793-8725 FAX: (262) 793-1971
E-MAIL: stelling@stg.com

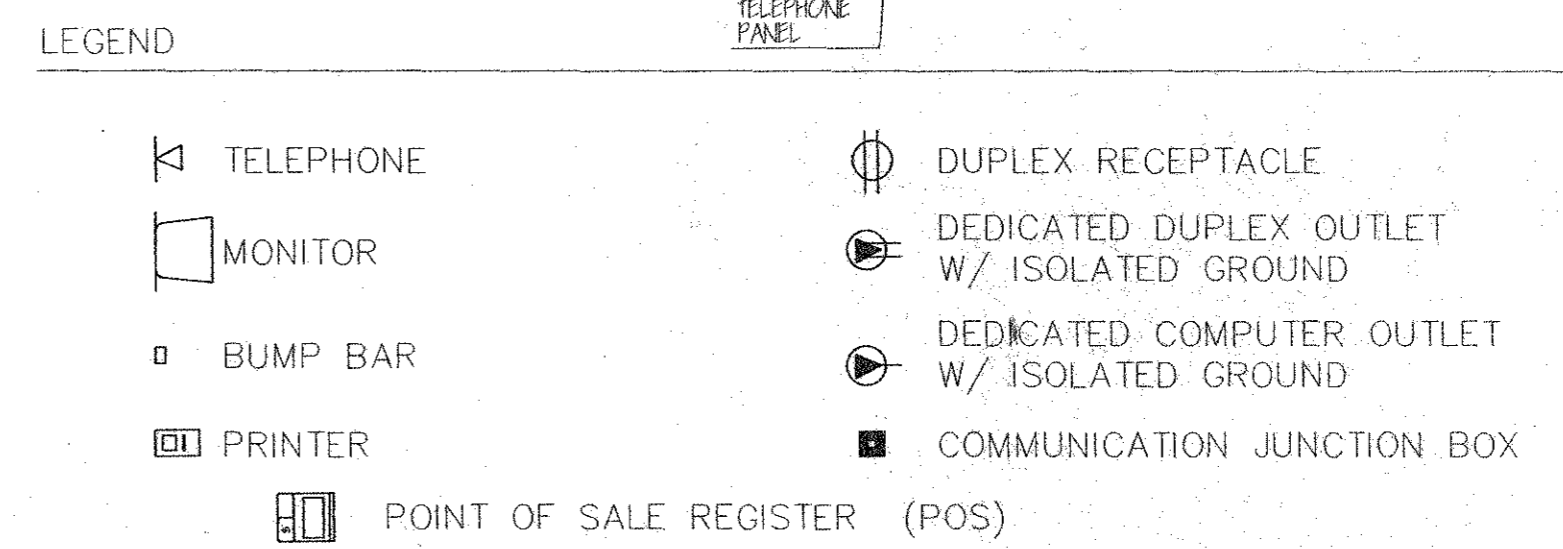


ITEM	ROUGH-IN NOTES
1	CASH REGISTER AND WIRELESS ORDER SYSTEM SUPPLIER TO PROVIDE ALL CABLES TO EC.
2	EC TO PULL ALL CABLES AS REQUIRED BY THE SYSTEM SUPPLIERS.
3	EC TO PROVIDE ALL COVER PLATES AS REQUIRED BY SYSTEM SUPPLIER. COORDINATE ALL REQUIREMENTS.
4	COORDINATE OUTDOOR MENU BOARD COMMUNICATION REQUIREMENTS WITH WIRELESS ORDER SYSTEM SUPPLIER.
5	VERIFY AND COORDINATE ALL LOCATIONS AND HEIGHTS WITH SYSTEM SUPPLIERS.
6	SEE DRAWINGS E-2 AND F5-3 FOR OTHER POWER, PHONE AND COMMUNICATION REQUIREMENTS.



ITEM	CASH REGISTER SYSTEM ROUGH-IN SCHEDULE
A	(2) 4" COMMUNICATION J-BOXES AND (2) 2" CONDUITS EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOXES TO BE AT 18" AFF. ALSO PROVIDE (2) DEDICATED, ISOLATED, GROUNDED D.O. AT 18" AFF.
B	1" COMMUNICATION CONDUIT IN FLOOR STUB-UP 10" AFF. OUT TO STUB-UPS (E) AND (F).
C	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 90" AFF. PULL THREE SPEAKER WIRES TO SPEAKER POST AT ORDER BOARD AT THE DRIVE THRU. ALSO PROVIDE (1) DUPLEX OUTLET AT 90" AFF.
D	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 90" AFF. PULL ONE COAX CABLE TO J-BOX (I) LOCATED TO THE LEFT OF THE PASS THRU, LEAVE 6'-0" END. ALSO PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 90" AFF.
E	1" COMMUNICATION CONDUIT IN FLOOR STUB-UP 10" AFF. PULL THREE ARCNET CABLES FROM HUB IN DRIVE THRU (STUB-UP B) TO REGISTERS, LEAVE 6'-0", 12'-0" AND 18'-0" ENDS. ALSO PROVIDE ELECTRICAL CONDUIT STUB-UP 10" AFF. SEE DRAWING F5-3 FOR ELECTRICAL DETAILS.
F	1" COMMUNICATION CONDUIT IN FLOOR STUB-UP 10" AFF. PULL ONE ARCNET CABLE FROM HUB IN DRIVE THRU (STUB-UP B) TO REGISTER, LEAVE 6'-0" END. ALSO PROVIDE (1) DEDICATED ISOLATED GROUNDED D.O. AT 18" AFF.
G	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 90" AFF. PULL ONE COAX CABLE AND ONE BUMP-BAR CABLE TO HUB IN DRIVE-THRU, LEAVE 6'-0" ENDS. ALSO PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 90" AFF.
H	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 60" AFF. PULL ONE BUMP-BAR CABLE TO HUB IN DRIVE-THRU, LEAVE 6'-0" END.
I	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 60" AFF. PULL ONE COAX CABLE AND ONE BUMP-BAR CABLE TO HUB IN DRIVE-THRU, LEAVE 6'-0" ENDS. ALSO PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 60" AFF.
J	PROVIDE BLANK J-BOX FOR SPEAKER AT 90" AFF. VERIFY WITH OWNER AND INSTALLER ON ALL REQUIREMENTS AND LOCATION.

ITEM	CASH REGISTER SYSTEM ROUGH-IN SCHEDULE
K	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 90" AFF. PULL ONE COAX CABLE TO HUB IN DRIVE-THRU, LEAVE 6'-0" END. PROVIDE (1) DEDICATED, ISOLATED GROUNDED D.O. AT 90" AFF.
L	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 90" AFF. PULL TWO COAX CABLES OVER CEILING TO J-BOX (N) ON BACK WALL OF KITCHEN, LEAVE 9'-0" ENDS. PROVIDE (1) DEDICATED, ISOLATED GROUNDED D.O. AT 90" AFF.
M	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 60" AFF. PULL TWO COAX CABLES TO HUB LOCATED IN DRIVE-THRU, LEAVE 6'-0" ENDS. PROVIDE (1) DUPLEX OUTLET AT 90" AFF.
N	4" COMMUNICATION J-BOX WITH (2) 1" CONDUITS EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 90" AFF. PULL TWO COAX CABLES AND THREE BUMP-BAR CABLES TO HUB LOCATED IN DRIVE-THRU. LEAVE 6'-0" ENDS. PROVIDE (1) DEDICATED, ISOLATED, GROUNDED D.O. AT 90" AFF.
O	4" COMMUNICATION J-BOX WITH 1" CONDUIT EXTENDING UPWARD IN WALL TO A POINT 3" ABOVE TOP PLATE, BOX TO BE AT 12" AFF. PULL ONE ARCNET CABLE TO HUB LOCATED IN DRIVE-THRU. LEAVE 6'-0" ENDS. PROVIDE (1) DEDICATED ISOLATED COMPUTER D.O. AT 18" AFF.



P.O.S. SYSTEM PLAN
 SCALE: 1/4" = 1'-0"

ORDINANCE # 22-29

**ORDINANCE TO CREATE
CULVERS OF PLEASANT PRAIRIE PLANNED UNIT DEVELOPMENT
PURSUANT TO CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, to create the Culver's of Pleasant Prairie Planned Unit Development (PUD) Ordinance pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

Culver's of Pleasant Prairie Planned Unit Development

- a. It is the intent for the owners of the Culver's of Pleasant Prairie to continue operating the existing restaurant with outdoor seating, a drive-through facility and parking on the sites as legally described below. On August 5, 1991 the Village Board approved CSM #1489 that created four parcels south of STH 165 (104th Street) for a Planned Business Development including approval of plans for the construction of 105th Street, a private street, to provide access to the four properties, with the intention of properties being developed with a gasoline facility and restaurants sites. In 1991, the Village Board also rezoned the properties associated with CSM #1489 into the B-4 (PUD), Planned Business District with a Planned Unit Development Overlay District. In 1991, when the properties were created and rezoned into the B-4 (PUD) Districts, the Village did not require a specific PUD text in the Ordinance.

On December 11, 2000 the Plan Commission conditionally approved the Site and Operational Plans for the construction of the Culver's at Pleasant Prairie restaurant with a drive-through, outdoor seating and parking on Parcels 15 and 16 of CSM #1498. At that time the B-4, Planned Business District allowed a restaurant with a drive-through and outdoor seating as a permitted use.

In 2002, the Village amended the Business Zoning Districts and created a new B-4 District with new regulations. The new B-4, Freeway Service Business District regulations allowed a restaurant as a permitted use but a drive-through and outdoor seating are only allowed with approval of a Conditional Use Permit; therefore, the drive-through and outdoor seating uses associated with the permitted restaurant use became classified as legal, non-conforming uses.

In 2022, the owner requested approval of a Conditional Use Permit and this Planned Unit Development Ordinance so that the uses, building and sites can be classified as legal conforming.

The uses on the properties conform with the Village of Pleasant Prairie adopted Comprehensive Plan and to the underlying B-4, Community Business Zoning District with approval of a Conditional Use Permit. It is the intent that the development will continue to be compatible with the general health, safety, economic prosperity, and welfare of the Village. The maintenance of the buildings, landscaping, dumpster enclosure, parking areas, lighting, signage will promote an attractive and harmonious development of sustained desirability and economic stability that will not adversely affect the property values of the surrounding neighborhood.

- b. Legal Description: The properties are known as Parcels 15 and 16 of CSM 1489 located in U.S. Public Land Survey Section 30, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County,

Wisconsin and further identified as Tax Parcel Numbers 92-4-122-302-0132 and 92-4-122-302-0138 and are hereinafter referred to as the "DEVELOPMENT".

c. Requirements within the DEVELOPMENT:

- (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations except as expressly modified in subsection (d) below.
- (ii) The DEVELOPMENT, including but not limited to, the primary building, signs, dumpster enclosure, landscaping, parking lot, exterior site lighting, fencing, outdoor seating etc., and the DEVELOPMENT as a whole, shall be maintained both inside and outside in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. Maintenance shall be conducted on a regular basis both inside and outside of the building/structures and within the DEVELOPMENT.
- (iii) Building and site modifications (including general building construction modifications and site maintenance) within the DEVELOPMENT shall be made in accordance with the applicable Village Ordinance and Codes at the time the modification is proposed.
- (iv) The building and all exterior additions, remodeling or alterations to the building within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified development, as approved by the Village.
- (v) The DEVELOPMENT shall comply with the Village Site and Operational Plans and Conditional Use Permit #22-05 on file with the Village.
- (vi) The DEVELOPMENT shall comply with the installation and operation of Village approved Digital Security Imaging System (DSIS) system in accordance with the DSIS Agreement and DSIS Access Easement on file with the Village.
- (vii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
- (viii) The DEVELOPMENT shall be operated and maintained in a uniform manner, and shall continue to comply with this PUD, which may be amended from time to time regardless of property ownership. If the DEVELOPMENT, or any portion of the DEVELOPMENT, is sold to another entity(s), the DEVELOPMENT shall continue to operate and be maintained as a unified commercial development. All of the building exteriors shall be maintained. There shall be no painting of the stone or brick on the building, fencing or dumpster enclosure unless expressly approved by the Village.
- (ix) No land divisions shall be allowed within the DEVELOPMENT, unless approved by the Village.

d. Specific Modifications to the Village Ordinance and Regulations and Specific Requirements for the DEVELOPMENT:

- (i) Section 420-121 H, I and J related to the dimensional, design and operational standard in the B-4 District is amended to read as follows:

- H. Dimensional standards. Except as otherwise specifically provided in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, buildings and structures in this DEVELOPMENT shall comply with the following dimensional standards to the extent applicable:
- (1) Lot size: 1.0 acre minimum.
 - (2) Lot frontage on a public or private street: 150 feet minimum.
 - (3) Open space: 25% minimum total for the DEVELOPMENT.
 - (4) Principal building standards:
 - (a) Gross floor area: 4,000 square feet minimum.
 - (b) Height: 35 feet maximum.
 - (c) Setbacks:
 - [1] Street setback: minimum of 50 feet from STH 165 (104th Street); minimum of 30 feet from Corporate Drive; a minimum of 40 feet from the back of curb of 105th Street a private street.
 - [2] Side and rear setbacks: 45 feet minimum.
 - [3] Shore setback: 35 feet minimum.
 - [4] Wetland setback: 25 feet minimum.
- I. Design standards. Except as otherwise specifically provided in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, buildings and structures in the DEVELOPMENT shall comply with the following design standards to the extent applicable:
- (1) Number of principal structures per lot: one maximum.
 - (2) Number of detached accessory buildings and/or detached trash enclosures: none (trash enclosure shall be attached to the principal building).
 - (3) All accessory uses or structures shall be located within the DEVELOPMENT.
 - (4) Site and operational plan requirements pursuant to Article IX of Chapter 420 of the Village Municipal Code.
 - (5) Parking, access and traffic requirements pursuant to Article VIII of Chapter 420 of the Village Municipal Code unless specifically modified by this Ordinance.
 - (6) Sign requirements pursuant to Article X of this chapter of Chapter 420 of the Village Municipal Code. However, at such time as any on-site directional signs or the parking lot is resurfaced or repaved, all freestanding on site information signs shall be replaced. The sign shall not be attached to a "u" channel or similar pole. The post, that is a color complementary to the building, shall be metal post with a top cap that is

- securely mounted to the ground in a permanent manner (not on a movable concrete base).
- (7) Fence requirements pursuant to Article XI Chapter 420 of the Village Municipal Code.
 - (8) Each use, site, building or structure with the DEVELOPMENT shall be designed, laid out, constructed and maintained in full compliance with the approved site and operational plan, any required conditional use permit, required security camera system, any required license and all other applicable provisions of this chapter and of all other Village ordinances and codes.
- J. Operational standards. Except as otherwise specifically provided in in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, building and structures within this DEVELOPMENT shall comply with the following operational standards to the extent applicable:
- (1) Hours of operation (when the public is allowed to enter or remain on site for business purposes): 5:00 a.m. to 12:00 midnight maximum unless extended hours are specifically approved by the Zoning Administrator for special events with approval of a Temporary Use Permit.
 - (2) Except as otherwise specifically permitted by Chapter 420 of the Village Municipal Code, all business activities shall be conducted within the building excluding the drive-through facility and the outdoor seating pursuant to an approved Conditional Use Permit.
 - (3) No outside storage or display of merchandise is allowed.
 - (4) No on-site residential uses are allowed.
 - (5) Each use, site, building and structure shall comply with all applicable performance standards set forth in Section 420-38 of the Village Municipal Code.
 - (6) Each building, structure and site shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
 - (7) Each use, site, building and structure shall be operated in full compliance with the approved site and operational plan, any required conditional use permit, any required license and all other applicable provisions of Chapter 420 of the Village Municipal Code and of all other Village ordinances and codes.
 - (8) The private roadway, 105th Street, shall be maintained and snow plowed/salted as needed to accommodate the access to the parcels in the DEVELOPMENT and the adjacent properties-Parcels 14 and 17 of CSM 1489. Costs associated with 105th

Street is shared by all four (4) properties (Parcels 14, 15, 16 and 17 of CSM 1489.

- (ii) Section 420-48 L related to the setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes) is amended to read as follows:
 - L. Setback for parking areas (which includes parking spaces, maneuvering lanes and fire lanes): a minimum setback of 15 feet to the property line adjacent to STH 165 (104th Street); a minimum setback of five feet from the property line adjacent to Corporate Drive; a minimum setback of five feet to the back of curb of 105th Street (a private street); and a minimum setback of 15 feet from all other property lines.

e. Amendments

- i. The PUD regulations for said DEVELOPMENT may be amended pursuant to Section 420-13 of the Village Zoning Ordinance.
- ii. The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this 24th day of October 2022.

VILLAGE OF PLEASANT PRAIRIE

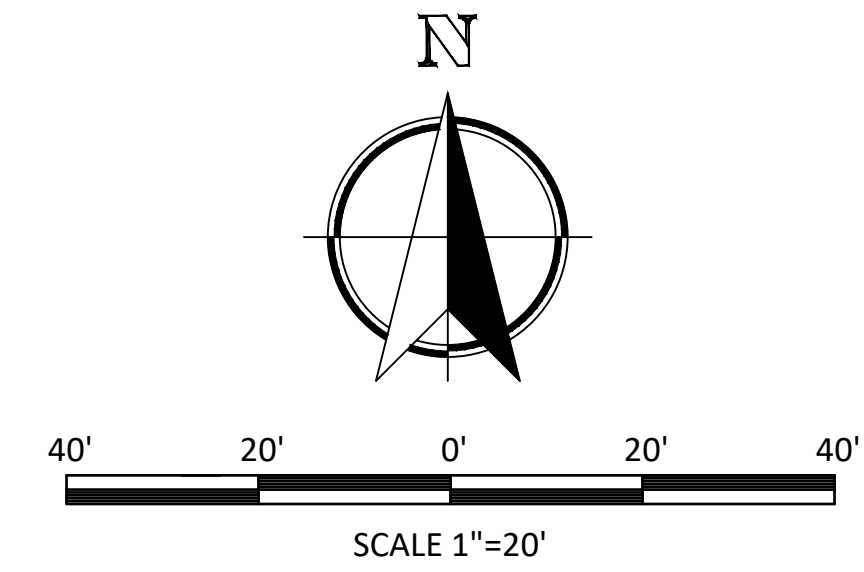
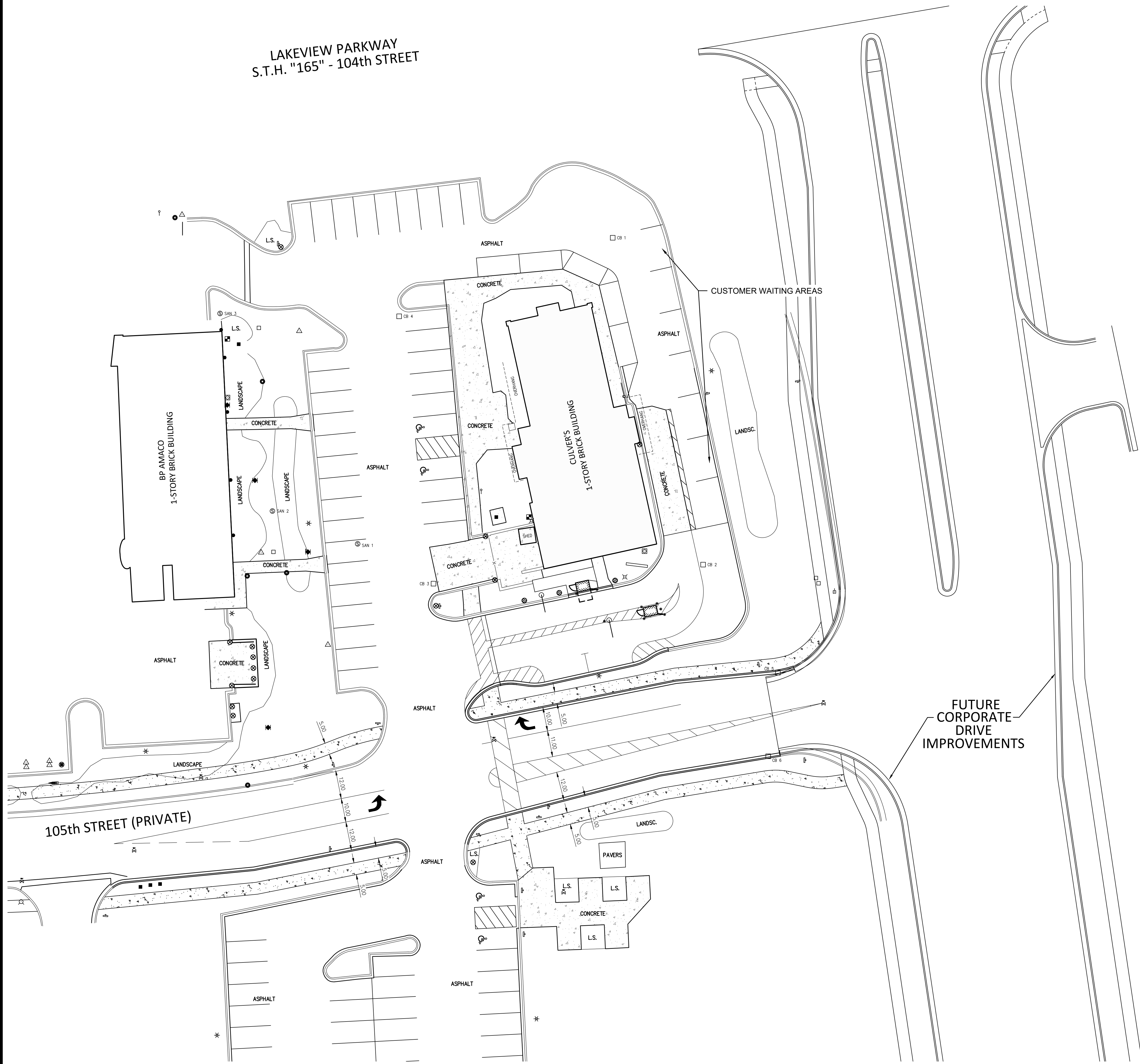
ATTEST:

John P. Steinbrink
Village President

Jane C. Snell
Village Clerk

Posted: _____
29-Culvers PUD
CODE2206-001

LAKEVIEW PARKWAY
S.T.H. "165" - 104th STREET



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

CULVER'S OF PLEASANT PRAIRIE
MASTER SITE PLAN
10484 CORPORATE DRIVE, PLEASANT PRAIRIE, WISCONSIN



UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
DRAFTED: JEG
DATE: 4-14-2022
CHECKED: MDE
DATE: 4-14-2022

2022.0007.01
SHEET
1 OF **1**

ISSUE FOR REVIEW (4-14-2022)

**AGREEMENT REGARDING DIGITAL SECURITY IMAGING SYSTEM
("DSIS")
BETWEEN THE VILLAGE OF PLEASANT PRAIRIE, OMA LLC, AND
CULVER'S OF PLEASANT PRAIRIE**

THIS AGREEMENT regarding the Digital Security Imaging System (DSIS) (hereinafter referred to as the "Agreement"), is entered into this ____ day of _____, 2022, by and between the VILLAGE OF PLEASANT PRAIRIE, WISCONSIN, a Wisconsin municipal corporation with offices located at 9915 39th Avenue, Pleasant Prairie, Wisconsin 53158 (referred to as the "Village"), OMA LLC, an Oak Creek Corporation with an address of 3270 E Carrollton Drive, Oak Creek, WI 53154 (referred to as "Landowners"). In this Agreement, the Landowners of the property are also referred to as the "Owners". The DSIS is for Culver's of Pleasant Prairie, located at 10484 Corporate Drive, Pleasant Prairie, WI 53158 (referred to as "Tenant").

WITNESSETH:

WHEREAS, the real estate commonly known as Culver's, located at 10484 Corporate Drive in the Village, referenced in this Agreement, is also legally described in **Exhibit A** and is recorded in the Office of the Register of Deeds for Kenosha County, Wisconsin. The real estate is identified as Parcels 15 and 16 of CSM#1489 located in U.S. Public Land Survey Section 30, Township One (1) North, Range Twenty-two (22) East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, identified as Village Tax Parcel Numbers 92-4-122-302-0132 and 92-4-122-302-0138 and is known as the "Owner's Property" in this Agreement; and

WHEREAS, the Owners are using the property to operate a Culver's restaurant with an outdoor seating area, a drive-through and parking on the 2.45-acre site; and

WHEREAS, The Owner's Property is presently zoned B-4, Freeway Service Business District with a Planned Unit Development Overlay District (PUD). The **PUD Ordinance #22-28 (Exhibit B)** allows for the site to operate as a restaurant with outdoor seating, a drive-through and parking. The PUD was adopted by the Village Board of Trustees (the "Village Board") on October 24, 2022; and

WHEREAS, the Village Plan Commission approved the Site and Operational Plans for the construction of the Culver's restaurant with outdoor seating, a drive-through and on-site and off-site parking on December 11, 2000. In 2000, when the Site and Operational Plans were approved, the B-4 Zoning District allowed for a restaurant with outdoor seating and a drive-through as a permitted use. In 2002, the Village Board adopted Ordinance #02-25 that amended the B-4 District regulations. This amendment required that restaurants with outdoor seating and a drive-through permitted only with approval of a Conditional Use Permit (CUP); therefore, this use was classified as a legal non-conforming use; and

WHEREAS, approval of the CUP#22-05 (**Exhibit C**) will classify the uses as a legal conforming uses which will include the execution of this Agreement and the installation and operation of a Digital Security Imaging System (DSIS) for the Property; and

WHEREAS, the Village has asserted, and the Owners agreed, that the Owner's property will require additional security provisions pursuant to Village regulations in order to maintain a safe and enjoyable experience for customers and employees and for the protection of the Owners and their personal property, equipment and inventory; and

WHEREAS, the Owners further agree to be compliant with Village Municipal Code Chapter 410 entitled, "Security Ordinance" through the implementation and use of a DSIS which is described in **Exhibit D** attached hereto, that monitors the exterior public access areas and driveways of the Owner's Property located in the Village; and

WHEREAS, the DSIS affords the opportunity for public safety departments (e.g. the Village Police Department and Village Fire & Rescue Department) to visually examine the exterior entrances/exits to the restaurant, drive-through, outdoor seating space and parking areas, on the Owner's site, and will provide emergency response personnel with a live visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers; and

WHEREAS, the implementation and usage of the DSIS will greatly aid law enforcement agencies in criminal investigations and prosecutions because of the advanced visual assessment of the Property as it may pertain to a person or persons (personal identification), a location (scene identification) and/or a situation (action identification) in emergency situations; and

WHEREAS, Section 410-7 of the referenced Security Ordinance Chapter of the General Code of the Village provides the authority to the Community Development Department to have the discretion, on a case by case basis, to determine the adequacy, ownership and easement requirements of the DSIS. Further, the Community Development Department reserves the right to waive certain requirements of Chapter 410 pertaining to the details of the security system, at the Community Development Department's discretion, based upon this Agreement being executed between the parties; and

WHEREAS, the Owners and the Village Community Development Department have reached an agreement under Section 410-7 that the Owners shall install, inspect and maintain the DSIS per the Village's Security Ordinance requirements, except as modified by this Agreement. Further, the Owners shall grant an **Access Easement** to the Village allowing access and maintenance rights to the DSIS system and areas associated with the DSIS insofar as the Village has the right, but not the obligation, to maintain the DSIS system at the Owner's cost, if the Owners fails to do so; and

WHEREAS, the Owners recognize that the Village may incur some inspection or maintenance costs with respect to the inspection or maintenance of the DSIS system on the Owner's Property and said costs shall be invoiced to the Owners and the Owners have agreed to reimburse the Village for certain referenced costs related to the DSIS program.

NOW, THEREFORE, in consideration of the promises and covenants contained herein, the sufficiency of which is hereby acknowledged, the Owners and the Village agree as follows:

1. Video Surveillance and Easement Requirements. As a pre-condition to the Village granting any future verbal or written building occupancy permits or approvals required by the Owners for the restaurant to be occupied. The Owners have installed, made operable and usable to the satisfaction of the Village, the on-site DSIS for security surveillance purposes. The DSIS shall be the system described in **Exhibit D** which was created pursuant to the proposal prepared by C&S Electronics, by Chuck St. Augustine, 414-531-9923 for the Owners with the plans and video surveillance hardware specifications, which is incorporated herein by reference. The Owners hired a qualified contractor who obtained the required low voltage electrical permit and installed the DSIS. During the installation of the DSIS as provided herein, the Village IT Communications and Systems Administrator inspected the DSIS at the Owners expense. After the Village inspections and system testing is complete, and if it meets with the approval of the Village, the Village shall notify the Owners of the Village's acceptance of the DSIS. The Owners agreed to sign and deliver to the Village copies of any and all documents (e.g. DSIS installation and warranty information, copies of paid invoices for the work performed, copies of contractor lien waivers and an as-built drawing of the DSIS) that are reasonably requested by the Village to confirm such installation and operation of the DSIS to the Village. The DSIS shall be installed with at least a one (1) year warranty from the manufacturer and installer. The Owners shall be solely responsible for the costs for the purchase and installation and the subsequent ongoing updating of the camera system and related equipment and the maintenance of the DSIS.

In the event that the Owner alters the building, adds on to the building or otherwise changes or increases the development on their Property, such Owner shall be responsible for installing, at the Owner's sole expense, such additional cameras and other exterior DSIS as the Village determines are necessary and appropriate to carry out the purposes of this Agreement. Should the Village deem that trees or other landscaping completely or partially interfere with the camera views, then the Owners shall remedy at the Owner's expense, the concern by either relocating the camera(s) to a new Village approved location or by pruning/altering the landscaping. The initial DSIS system installed in accordance with **Exhibit D** and any future additions to such system as exterior building alterations or changes within the development or new or additional development takes place on the Owners' Property, shall all be referred to as the "DSIS" for purposes of this Agreement.

a. Digital Security Imaging, Storage Devices, Related Equipment and Easements Required.

(i) The DSIS shall provide for surveillance of the exterior building perimeters including front, rear and side entrance areas, walkways, other common areas and parking lots, driveway entrances, patio seating areas and drive-through areas within the development. The DSIS as described in **Exhibit D** shall adequately cover the Owner's Property as the Village deems reasonably necessary. If any changes or expansions are made to any portion of the Owner's Property, the determination as to the number and type of cameras which are reasonably necessary for the Village's surveillance needs shall rest within the reasonable discretion of the Village. All parties acknowledge it is the intent of the parties that the DSIS camera equipment will be located on the Owner's Property attached via non-penetrating building mounts, or upon parking lot light poles and light standards, as shown on **Exhibit D**. Any DSIS equipment added after any change to the Landowner's site shall be in the sole discretion of the Village. Landowners will utilize its best efforts to ensure that the DSIS is as aesthetically tasteful and architecturally harmonious as reasonably possible. Without limiting the discretion of the Village under this Paragraph, the parties agree that any cameras and systems which are consistent with those contained in **Exhibit D** are aesthetically tasteful, architecturally harmonious and satisfactory to all parties.

(ii) The DSIS will function as set forth in **Exhibit D** and as deemed necessary by the Village, which shall function continuously, whether the business is open or closed and shall provide visible surveillance to the above described areas during hours of daylight and darkness. As such, sufficient light, as determined by the Village, shall be provided during the evening or night-time hours to guarantee the function, operation and non-pixelated, clear viewing by the camera system.

(iii) The Owners agree to provide the DSIS in a secured and locked location within the main building on the Owner's property that will be accessible for inspection and electronically accessed via a VPN internet connection with the assistance of the Owners. The Owners shall provide access as provided herein upon reasonable verbal or written advance notice to Owner. Notice given twenty-four (24) or more hours in advance shall conclusively be deemed reasonable and notice given less than twenty-four (24) hours in advance may also be reasonable depending upon the circumstances.

(iv) The Owners agree to be responsible for all financial costs associated with the monthly billings for the utilities, electricity and high-speed internet business connection for the DSIS equipment by making payments directly to the utility and communication companies. The Owners shall also be responsible for the heat, electricity and routine maintenance of the locked security area which houses the DSIS equipment.

(v) All digital video recorded by such system shall be archived locally on the D/NVR in a management secured area on the property for a period of not less than 30 days. The Village shall have the right to be able

to immediately download the digital video from the site for public safety purposes directly through the Internet Protocol (IP) transmission via the Village's area-wide data network and shall also be provided a "real time", "live look" surveillance capability via that same network. The Village Police and IT Departments shall have log-in and download capabilities to the DSIS "live-look" system on the property, independent of the Owner's personnel. Verified software security keys and logins shall be provided to the Village Police and IT Departments to provide immediate access to both "real time" access as well as historical video as required. The DSIS shall also be capable of exporting exact duplicates of the recordings to removable media in a standard commercial format, the native video file format and the database file with proper player/codec. All output formats must maintain accurate aspect ratios consistent with the original recording. All output formats shall contain accurate time and date stamps.

(vi) The Owners shall grant a permanent Access Easement to the Village allowing access and maintenance rights, if the Owners fails to maintain the DSIS, to all such systems, equipment, devices and areas associated with the DSIS. The Village shall have the right, but not the obligation, to maintain the DSIS system at the financial cost of the Owner. All expenses incurred by the Village for the maintenance of the DSIS shall be paid to the Village by the Owners within thirty (30) business days following written demand by the Village. At the time of the execution of this Agreement by the Owners, the Owners shall also execute the recordable Access Easement document attached hereto as **Exhibit E** and incorporated herein by reference.

b. Costs for the Video Surveillance System.

(i) The Owners shall have exclusive ownership and sole responsibility for the installation, operation, monitoring and maintenance of the DSIS. The Owners further covenant to operate and maintain the DSIS in good condition and repair. The Owners shall be responsible for the: (a) costs of installation, (b) internet connection for the DSIS with a static IP address assigned to the DSIS connection (c) inspection, equipment maintenance, repairs, insurance, and replacement and upgrading of the DSIS as necessary with such upgrading as needed being only for a reasonably comparable replacement of any equipment then being used in the DSIS, and (d) notifying the Village's Police Department and IT Department within seven (7) days whenever an Owner, or agents, have changed, modified, or updated the connection, configuration, password or other facet that would prohibit the Village from being able to access the DSIS.

(ii) As referenced above, the Owners have agreed to provide utilities to serve both the DSIS equipment and the secured area housing the DSIS. The Owners, at their sole cost and expense, shall also provide a conduit running to the security cameras for low voltage as well as a separate conduit running to the cameras for high voltage. The Owners shall provide a business broadband internet connection to serve the DSIS. This broadband business internet connection shall represent a clear, non-pixelated

video image transmission to the Village Police Department and shall be acceptable to the Village IT Department.

c. Termination. The Owners may not terminate the DSIS at any time without prior written approval and notice from the Village. The Owners shall notify the Village Police Department Dispatch Center via the telephone and by U.S. mail to the persons as noted below in Section 2.g. of this document, whenever the DSIS is inoperable or the DSIS is unusable due to maintenance or testing. The Owners shall notify the Village IT Department immediately when there is a change in internet providers, access codes, or other issue that would impact the Village ability to access the system. Further, if the DSIS is deemed by the Village as being inoperable or unusable for a time period in excess of 30 days without notification to the Village, the Owners shall be deemed to be in violation of Section 410 of the Village Code.

2. Miscellaneous.

a. Governing Law; Venue. This Agreement shall be governed by and construed in accordance with the laws of the State of Wisconsin. The parties agree that any dispute under this Agreement shall be venued only in the Circuit Court for Kenosha County.

b. Attorney Fees and Interest. If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Agreement and the complaining party places the enforcement of all or any part of this Agreement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs incurred thereby, whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall, in addition to all other amounts owed under this Agreement or applicable law, accrue interest from the due date as a penalty. The penalty is 1.5% per month on the unpaid balance with an additional 10% penalty if placed on the tax roll.

c. CCTV Video Release Statement. The Village agrees not to release any digital video recorded by the DSIS, nor any portions thereof, to the news media without providing prior notice to one of the Owner contacts listed below, including the date, time, and information regarding the incident which the video pertains to.

The Village agrees that neither digital video recorded by the DSIS, nor any portions thereof, will be released to the news media or any third-party, except as a part of the criminal justice system, to the Police Department employees of the Village as part of an investigation, and as otherwise required by applicable law, without prior investigation and proper due diligence conducted by the Village or its employees or contractors. The Owner and Tenant shall cooperate with the Village in conducting any investigation involving such digital video or of the matter which constitutes the substance of the criminal investigation. The terms of this paragraph shall apply to all digital video

recorded by the DSIS and obtained or used by any employee or agent of the Village.

d. Entire Agreement. This Agreement contains the entire understanding among the parties and supersedes any prior understanding and agreements between them respecting the within subject matter. There are no representations, agreements, arrangements or understandings, oral or written, between or among the parties hereto relating to the subject matter of this Agreement which are not fully expressed herein.

e. Severability. This Agreement is intended to be performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules and regulations. If any provision of this Agreement, or the application thereof to any party or circumstance, shall, for any reason and to any extent, be invalid or unenforceable, the remainder of this Agreement and the application of such provision to the other party or circumstances shall not be affected thereby, but rather shall be enforced to the greatest extent permitted by law.

f. Binding Agreement. This Agreement shall be binding on the parties and their successors and assigns and shall continue as a covenant and servitude running in perpetuity with the Owner's Property. This Agreement may be recorded with the Kenosha County Register of Deed's Office against the Owner's Property.

g. Notices. Any notice which a party is required or may desire to give the other party shall be in writing and may be delivered: (1) personally by United States registered or certified mail, postage prepaid, or (2) by Federal Express or other reputable courier service regularly providing evidence of delivery (with charges paid by the party sending the notice). Any such notice shall be addressed as follows (subject to the right of a party to designate a different address for itself by notice similarly given):

If to the Owners:

OMA LLC
Attn: Edward Rich
3270 E Carrollton Drive
Oak Creek, WI 53154
Rfamily85@gmail.com
(414) 690-7424

If to the Tenant:

DCBR, INC D/B/A/ Culver's of Pleasant Prairie
Attn: Edward Rich
10484 Corporate Drive
Pleasant Prairie, WI 53158
Rfamily85@gmail.com
(414) 690-7424

If to the Village:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158
Attn: Village Administrator
VillageAdmin@pleasantprairiewi.gov
Phone: (262) 925-6721

And to the Village:

Village of Pleasant Prairie
Community Development Department
9915 39th Avenue
Pleasant Prairie, WI 53158
Attn: Jean M. Werbie-Harris
Community Development Director
Jwerbie-harris@pleasantprairiewi.gov
Phone: (262) 925-6717

And to the Village:

Village of Pleasant Prairie
Police Department
8600 Green Bay Road
Pleasant Prairie, WI 53158
Attn: David Smetana, Police Chief
dsmetana@pleasantprairiewi.gov
Phone: (262) 694-7353

And to the Village:

Village of Pleasant Prairie
Information Technology Department
8600 Green Bay Road
Pleasant Prairie, WI 53158
Attn: Ryan Marquart
Communications & Systems Administrator
rmarquart@pleasantprairiewi.gov
Phone: (262) 948-8915

h. Amendment. This Agreement may not be amended, altered or modified except by an instrument in writing and signed by the parties hereto.

i. Ordinance. The DSIS program under this Agreement shall be deemed to be sufficient to meet the current requirements set forth in Chapter 420-145, Village Zoning Ordinance Conditional Use Permit provisions and Chapter 410, Village Security Ordinance provisions of the Village Municipal Code.

j. Village's Contractors and Work. Any contractor that may come onto the Owner's Property on behalf of the Village shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (\$1,000,000) per occurrence combined single limit/One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Village shall carry similar amounts and types of insurance when it enters onto any Owner's Property, provided, such insurance may be provided through the municipal insurance plan of the Village.

k. Liens. Notwithstanding the provisions of this Agreement, the Owners shall pay promptly all persons furnishing labor or materials with respect to any work performed by the Owners or its contractors on or about any Owner's Property. If any mechanic's or other liens shall at any time be filed against any Owner's Property by reason of work, labor, services or materials performed or furnished, or alleged to have been performed or furnished, the Owners shall forthwith cause the same to be discharged of record or bonded.

l. Signing of Documents. Each party shall sign and deliver any documents which this Agreement requires such party to sign, no later than ten (10) days following written request by another party.

(signatures begin on next page)

IN WITNESS WHEREOF, Tenant, has executed this Access Easement this _____ day of _____, 2022.

Tenant: DCBR, INC D/B/A/ Culver's of Pleasant Prairie

By: _____
Name: Edward Rich
Title: President

STATE OF _____)
) SS
COUNTY OF _____)

This instrument was acknowledged before me in _____(city), _____(state), on _____, 2022, by Edward Rich, as the President of DCBR, Inc.

Signature of Notary Public

Typed or Printed Name of Notary
Notary Public, _____County,
State of _____.
My Commission (expires): _____
(is permanent): _____

Village of Pleasant Prairie, Wisconsin:

By: _____
Name: John P. Steinbrink
Title: Village President

ATTEST:

Name: Jane C. Snell
Title: Village Clerk

STATE OF WISCONSIN)
) SS:
KENOSHA COUNTY)

This Agreement was acknowledged before me in Pleasant Prairie, WI on _____, 2022 by John P. Steinbrink and Jane C. Snell as the duly authorized President and Clerk, respectfully, of the Village of Pleasant Prairie, a Wisconsin municipal corporation.

Signature of Notary Public

Typed or Printed Name of Notary Public

Notary Public, Kenosha County, State of Wisconsin
My Commission expires: _____
(is permanent): _____

This instrument drafted by:
Jean M. Werbie-Harris
Community Development Director
9915 39th Avenue
Pleasant Prairie, WI 53158
262-925-6717

EXHIBIT A

LEGAL DESCRIPTION

Parcels 15 and 16 of CSM#1489 located in U.S. Public Land Survey Section 30, Township One (1) North, Range Twenty-two (22) East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin

Tax Parcel Numbers: 92-4-122-302-0132 and 92-4-122-302-0138

EXHIBIT B

**VILLAGE PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE #22-28
(Attached hereto)**

EXHIBIT C

**VILLAGE CONDITIONAL USE PERMIT#22-05
(attached hereto)**

EXHIBIT D

**DSIS PLAN, HARDWARE DETAILS AND NARRATIVE
[Attached hereto]**

EXHIBIT E

**ACCESS EASEMENT
[Attached hereto]**

**DIGITAL SECURITY INFORMATION SYSTEM
ACCESS EASEMENT**

This ACCESS EASEMENT is entered into this _____ day of _____, 2022 by and between the Grantor, OMA LLC, (the "Landowners") and the Grantee, the VILLAGE OF PLEASANT PRAIRIE (the "Easement Holder") and CULVER'S of Pleasant Prairie (the "Tenant").

RECITALS

A. The Landowners are the owners of certain real estate in the Village of Pleasant Prairie, Kenosha County, Wisconsin, which is legally described in **Exhibit A** and incorporated herein by reference (collectively the "Landowners' Property").

B. The Easement Holder has entered into a Security Agreement with the Landowners for the right but not the obligation for the installation and maintenance of an exterior Digital Security Imaging System ("DSIS") upon Landowners' Property for security surveillance purposes (the "Agreement").

C. In connection with the above-referenced Agreement, the Landowners have agreed to convey to the Easement Holder access and maintenance rights to all such systems, devices and areas associated with the DSIS.

D. The Easement Holder acknowledges and agrees that the Landowners will utilize the Landowners' Property for a restaurant with outdoor seating and a drive-through and the Easement Holder shall not unreasonably interfere with said Landowners' or Tenant's use and operation of the Landowners' Property.

GRANT OF ACCESS EASEMENT

In consideration of the facts recited above, the Landowners and Easement Holder hereby agree as follows:

1. Grant of Easement. The Landowners hereby grant and convey to the Easement Holder, its contractors and agents, a perpetual, non-exclusive, rent-free, access and maintenance easement (the "Access Easement") over and through the exterior of the improvements located on that portion of the Landowners' Property required for the

Recording Area	
Name and Return Address	Jean M. Werbie-Harris Community Development Dept. Village Municipal Building 9915 39 th Avenue Pleasant Prairie, WI 53158
Parcel Identification Number:	92-4-122-302-0132 90-4-122-302-0138

installation, maintenance and use of said DSIS, related electrical work and internet access, and if applicable to a secured area generally located as described in the DSIS Security Agreement, which location may be relocated by mutual agreement of the parties (the "Easement Property"). All utility lines shall be underground to the extent possible. The Landowners shall supply electricity and internet connection services for the DSIS as provided in the Agreement.

2. Use of Access Easement. The purpose of the Access Easement is to provide for the installation, operation and maintenance of a DSIS in accordance with a Security Agreement between the parties dated on or about _____, 2022 (the "Agreement"), the terms and conditions of which are hereby incorporated in this Access Easement. Nothing in this Access Easement is intended to prohibit use of the Access Easement area by the Landowners provided such use does not materially interfere with the use of the Access Easement by the Easement Holder. The Easement Holder agrees that it will not materially interfere with the normal operation and use of the Landowners' Property by the Landowners and that its equipment shall not impair the visibility of the site, buildings or signage.

3. Improvements. The Easement Holder shall have the right, but not the obligation, to construct and install reasonable improvements upon the Easement Property in accordance with the terms in the Agreement, to make the Easement Property suitable for the installation of a DSIS with as little damage to the Landowners' Property as possible. Subject to the terms of the Agreement, if the Easement Holder undertakes the installation or maintenance of the DSIS, the Easement Holder agrees to use its best efforts to make the DSIS as aesthetically tasteful and architecturally harmonious as reasonably possible while still allowing the DSIS to cover as much of the site as the Easement Holder deems reasonably necessary.

4. Maintenance. The Easement Holder shall have access at all times as it deems necessary for maintaining its DSIS and related equipment on the Easement Property to the extent necessary for the uses described in the Agreement. The Landowners shall pay the Easement Holder a maintenance fee and other fees as described in the Agreement if the Easement Holder undertakes inspections or takes over the responsibilities of the DSIS maintenance.

5. Damage to Easement Property. The Easement Holder shall be responsible for any damage that it may cause to the Easement Property. The Easement Holder shall promptly make all needed repairs, promptly after such damage, restoring the Easement Property to its condition prior to the damage. The Landowners shall promptly make any needed repairs to the Landowners' Property and the DSIS equipment that the Landowners may damage.

6. Obstructions to Use of the Easement Property. The Easement Holder may not utilize the Easement Property in a way that materially interferes with its use by any other person permitted to use it. The Easement Holder acknowledges and agrees that the Landowner's, future owners use of the Landowners' Property may include if permitted by the Village, a restaurant, outdoor seating, a drive-through, customer pick-up, and other activities that may occur on the Landowners' Property, which such uses may be allowed, and shall not be considered an obstruction or impediment to the Access Easement. Furthermore, the Easement Holder acknowledges and agrees that the

Landowners have the right to modify and construct new improvements on the Landowners' Property, albeit with the necessary permits, and if said improvements interfere with use of the Access Easement by the Easement Holder, then the Landowners shall bear all costs and responsibility to relocate the DSIS equipment or modify its use of the Easement Property.

7. Indemnity/Insurance/Liens. All costs of installation, operation, and maintenance of the Easement Property and any improvements the Landowners installs thereon will be the responsibility of the Landowners as described in the Agreement.

Any contractor coming onto the Easement Property and/or the Landowners' Property on behalf of the Easement Holder shall carry a non-deductible commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (1,000,000) per occurrence combined single limit/ One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Easement Holder shall carry similar amounts and types of insurance when it enters onto the Easement Property and/or the Landowners' Property, provided, such insurance may be provided through the municipal insurance plan of Easement Holder. In connection with any installation, operation, maintenance or inspection of the Easement Property by the Easement Holder or its agents, employees or contractors, the Easement Holder shall indemnify, defend and hold harmless the Landowners from and against any lien, suit, loss, cost, expense (including reasonable attorneys' fees), personal injury, bodily injury or property damage arising from or relating to such activities of the Easement Holder, its agents, contractors or engineers on the Landowners' Property.

Nothing contained herein shall alter or eliminate any obligations of the Landowners to reimburse the Easement Holder for costs and expenses, as provided in the DSIS.

8. Enforcement of Agreement. The Landowners and Easement Holder shall have the right to legally enforce this Access Easement and the covenants, conditions and restrictions set forth herein, by whatever action or actions are legally available, including, without limitation, enjoining any violation or threatened violation hereof.

9. Amendments. This Access Easement may not be modified, amended or terminated except by execution and recording of a written instrument signed by both the Landowners and Easement Holder.

10. Successors. All of the terms, covenants, conditions, and obligations set forth in this Access Easement and the Agreement shall inure to the benefit of and bind the Landowners and Easement Holder, and their respective personal representatives, heirs, successors, transferees, assigns, and all future owners of the Landowners' property this Access Easement and the Agreement shall continue as a servitude running in perpetuity with the Landowners' Property.

11. Severability. If any provision or specific application of this Access Easement is found to be invalid by a court of competent jurisdiction, the remaining provisions or specific applications of this Access Easement shall remain valid and binding.

12. Governing Law. This Access Easement shall be governed by and construed under the laws of the State of Wisconsin. The parties agree that any dispute hereunder shall be venued only in the Circuit Court for Kenosha County.

13. Attorneys Fees and Interest. If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Access Easement and the complaining party places the enforcement of all or any part of this Access Easement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall, in addition to all other amounts owed under this Agreement or applicable law, accrue interest from the due date as a penalty. The penalty is 1.5% per month on the unpaid balance with an additional 10% penalty if placed on the tax roll.

(Signatures are on the Next Pages)

CONSENT OF MORTGAGEE

The undersigned, being the holder of a mortgage against the Property, consents to the Access Easement set forth above and agrees that its interest in the Property shall be subject to this Access Easement.

Dated: _____, 2022.

By: _____

Name: _____

Title: _____

ACKNOWLEDGMENT

STATE OF _____)
) SS:
_____ COUNTY)

This instrument was acknowledged before me on _____, 2022 by _____, (Name) the _____ (Title) of the _____ (Bank).

Signature of Notary Public

Type or Print Name of Notary Public

Notary Public, State of _____

My commission expires: _____

This instrument drafted by:

Jean M. Werbie-Harris
Community Development Director
9915 39th Avenue
Pleasant Prairie, WI 53158
262-925-6717

EXHIBIT A

Legal Description of Landowners' Property

Parcels 15 and 16 of CSM#1489 located in U.S. Public Land Survey Section 30, Township One (1) North, Range Twenty-two (22) East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin

Tax Parcel Number: 92-4-122-302-0132 and 92-4-122-302-0138