

**VILLAGE OF FRANKFORT BOARD AGENDA
PUBLIC HEARING**

**Monday, September 20, 2021
6:45 P.M.**

**Village Board Room
Village Administration Building
432 W. Nebraska Street, Frankfort, IL**

Public Hearing: Proposed Annexation of the 0.667-acre parcel, located at 21060 S. 84th Avenue
(PIN: 19-09-23-100-008-0000)

**VILLAGE OF FRANKFORT BOARD AGENDA
REGULAR MEETING**

**Monday, September 20, 2021
7:00 P.M.**

**Village Board Room
Village Administration Building
432 W. Nebraska Street, Frankfort, IL**

1. Call to Order & Roll Call
2. Pledge of Allegiance
3. Swearing-In Ceremony of Police Sergeant Kevin Lanz

4. Unanimous Consent Agenda

All items on the Consent Agenda are considered to be routine in nature and will be enacted in one motion. There will be no separate discussion of these items unless a board member so requests, in which event, the item will be removed from the Consent Agenda and will be considered separately.

Motion: Motion to approve the Consent Agenda as presented.

A. Approval of Minutes

1. Regular Meeting (September 7, 2021)

B. Approval of Bills/Payroll

C. Committee of the Whole Report

1. Village of Frankfort Code of Ordinances Amendment: Chapter 123, Vacation Rentals (Waive 1st and 2nd Readings)
2. Annexation Ordinance: 21060 S. 84th Avenue (Waive 1st and 2nd Readings)
3. Roof Replacement Wells 11/12 Jackson Creek Park: Bid Approval – Resolution
4. Disposal of Surplus Vehicles - Ordinance (Waive 1st and 2nd Readings)
5. Water Main Improvements Project: Bid Approval - Resolution
6. Holiday Lighting Program: Bid Approval – Resolution and Expenditure Approval

D. Plan Commission Report Summary

1. Village of Frankfort Zoning Ordinance Amendment to Articles 5, 7 and 12 – Vacation Rentals (Waive 1st and 2nd Readings)
2. JFZ Fitness Special Use Permits: 9975 W. Lincoln Highway, Suite 2 - Ordinance (Waive 1st and 2nd Readings)
3. Final Plat of Homestead Center: SW Corner of Wolf and Laraway Roads - Approval

5. Plan Commission Report Summary
 - A. Tracy's Beautique Special Use Permits: 21116 Washington Parkway – Ordinance (Waive 1st and 2nd Readings)
6. Mayor's Report
7. Board Comments
8. Village Administrator's Report
9. Police Department Report
10. Attorney's Report
11. Other Business
12. Public Comments
13. Adjournment

MAYOR'S REPORT SEPTEMBER 20, 2021

Swearing-In of Kevin Lanz as Police Sergeant

It is my honor to swear in Kevin Lanz to the office of Police Sergeant for the Village of Frankfort. Kevin was recently promoted to the position of Sergeant by the Frankfort Police Commission. Sgt. Lanz grew up in Homewood, Illinois and graduated from Homewood Flossmoor High School. As a young child he always knew he wanted to become a Police Officer. Kevin received his bachelor's degree from Winona State University in Criminal Justice and Business Administration. He started his police career in Crestwood, Illinois as a part time officer. In November of 2000 he was hired as a full-time police officer with the Village of Frankfort actively serving for the past 21 years. Kevin has been recognized for his leadership and performance in the line of duty. He has received life-saving awards and a meritorious service medal. Kevin has held many appointed positions as a patrolman with the Frankfort Police department, including Field Training officer, Officer in Charge, Defensive Tactics Instructor, Taser instructor, and as the Village of Frankfort's first K-9 Unit. Kevin resides in the Lincoln Way area with his wife Kelly of 19 years and their two beautiful daughters. Kevin is honored and humbled for this opportunity to continue to serve the Village of Frankfort for years to come with professionalism and integrity.

Mayor Ogle administers the Oath of Office.

**I, Kevin Lanz
do solemnly swear
that I will support the Constitution of the United States,
and the Constitution of the State of Illinois,
and that I will faithfully discharge the duties
of the office of Sergeant for the Village of Frankfort
to the best of my ability.**

VILLAGE OF
FRANKFORT
EST. 1855

**MINUTES OF THE REGULAR FRANKFORT VILLAGE BOARD MEETING
SEPTEMBER 7, 2021**

Mayor Keith Ogle called the regular meeting of the Frankfort Village Board to order on Tuesday, September 7, 2021, at 7:01 P.M.

Village Clerk Katie Schubert called the roll. In attendance were Mayor Keith Ogle, Clerk Katie Schubert, Trustees Adam Borrelli, Margaret Farina, Michael Leddin, Jessica Petrow, and Daniel Rossi. Also in attendance were Attorney George Mahoney, Attorney Hannah Lamore, Village Administrator Rob Piscia, and Police Chief Leanne Chelepis. Trustee Gene Savaria was absent.

APPROVAL OF SPECIAL ORDERS – UNANIMOUS CONSENT AGENDA

All items on the Omnibus Agenda are considered to be routine in nature and are enacted in one motion. There is no separate discussion of these items unless a board member makes a request, in which event, the item will be removed from the Consent Agenda and will be considered separately.

A. Approval of Minutes

1. Regular Meeting (August 16, 2021)

B. Approval of Bills/Payroll (311.400/409,886.55 (8/20/2021)/\$405,145.67 (9/3/2021))

C. Committee of the Whole Report

1. Verizon Wireless Lease Agreement Amendments

- a. First Amendment to Facilities Space Lease: 21814 S. Elsner Road – Resolution
Accept the Committee of the Whole recommendation and adopt A RESOLUTION (NO. 21-32) AUTHORIZING THE EXECUTION OF A FIRST AMENDMENT TO THE FACILITIES SPACE LEASE AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT AND CHICAGO SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS, for the use of the 21814 S. Elsner Road Water Tower for communications facilities and equipment.
- b. Third Amendment to Facilities Space Lease: 1015 Lambrecht Road – Resolution
Accept the Committee of the Whole recommendation and adopt A RESOLUTION (NO. 21-33) AUTHORIZING THE EXECUTION OF A THIRD AMENDMENT TO THE FACILITIES SPACE LEASE AGREEMENT BETWEEN THE VILLAGE OF FRANKFORT AND CHICAGO SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS, for the use of the 1015 Lambrecht Road Water Tower for communications facilities and equipment.

D. Plan Commission Report Summary

1. Cheer City Special Use Permit: 10315 Vans Drive, Units B, C, D, and E – Ordinance

Accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3313) GRANTING A SPECIAL USE PERMIT FOR INDOOR RECREATION AND ENTERTAINMENT TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, to permit a cheerleader training facility, Cheer City, LLC, at 10315 Vans Drive, Units B, C, D, and E, in accordance with the reviewed plans, public testimony, Findings of Fact, and with the following one (1) condition: tournaments or similar type events shall be prohibited.

2. Animal Clinic Special Use Permit: 20815 S. LaGrange Road – Ordinance

Accept the Plan Commission recommendation, waive the First and Second Readings, and pass AN ORDINANCE (NO. 3314) GRANTING A SPECIAL USE PERMIT FOR AN ANIMAL CLINIC TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, to permit the operation of Balanced Body Veterinary Clinic at 20815 S. LaGrange Road, in accordance with the reviewed plans, public testimony, Findings of Fact, and conditioned upon that there be no overnight boarding of animals and that all operations of the business shall be conducted indoors.

Trustee Farina made a motion (#1), seconded by Trustee Petrow, to approve the Unanimous Consent Agenda.

Trustees Borrelli, Farina, Petrow, and Rossi presented a brief overview of the consent agenda docket items under consideration for approval.

Mayor Ogle invited trustee and audience comment on the consent agenda docket items prior to a vote being taken. No comments were forthcoming.

Clerk Schubert called the roll. Aye: Trustees Borrelli, Farina, Leddin, Petrow, and Rossi. Nays: None. Absent: Trustee Savaria. The motion carried.

MAYOR'S REPORT

- Mayor Ogle administered the oath of office to Police Officers Giovanni Conte and Rafal Krupa.
- Mayor Ogle entertained a motion from the floor to support Rail Safety Week with a proclamation.

Trustee Borrelli made a motion (#2), seconded by Trustee Farina, declaring September 20 through September 26, 2021, as “Rail Safety Week” in the Village of Frankfort. A voice vote was taken. All were in favor. The motion carried.

- Mayor Ogle announced that Phillips Chevrolet has been certified in the J.D. Power 2021 Dealer of Excellence Program for the third year in a row. This program recognizes a select number of vehicle dealerships throughout the United States that provide exceptional customer service. He noted Phillips Chevrolet is the first and only Chevrolet dealership in Illinois to earn this distinction.
- Mayor Ogle reported on this year's Fall Festival, recognizing the Chamber of Commerce, Village staff, and all volunteers for their efforts in making it a tremendous event. He recognized former Frankfort Mayor Jim Holland who was named the Grand Marshal for Sunday's Fall Festival Parade.
- Mayor Ogle announced the Frankfort Arts Association will host the Art on the Green event in downtown Frankfort on Sunday, September 12, from 9:00 A.M. to 3:00 P.M.
- Mayor Ogle reported the Will County Health Department will host a vaccination pop-up event at the Frankfort Country Market on Sunday, September 13, in downtown Frankfort, from 9:00 A.M. to 1:00 P.M.
- Mayor Ogle announced the Senior Breakfast is scheduled for Wednesday, September 22, at 8:00 A.M. at the Village Administration Building. He invited residents 62 and older to attend the event and enjoy a complimentary breakfast.
- Mayor Ogle reported the annual Old Frank Road Trail Run/Walk is scheduled for Saturday, October 2, at Breidert Green.
- Mayor Ogle announced Cruisin' Frankfort continues every Monday, from 5:00 P.M. to 8:00 P.M. through September 27. He noted Navarro Farm will set up its Carter's Corner Farm Stand in the Breidert Green parking lot to sell their produce and share their mission with the community on September 27th.
- Mayor Ogle announced the Frankfort Country Market continues every Sunday, from 9:00 A.M. to 1:00 P.M. through October 24.

BOARD COMMENTS

The Village Board offered their congratulations to Officers Conte and Krupa and thanked them for their service to the community, wishing them a long and safe career with the Frankfort Police Department. They commended Fall Fest co-chairs Steve Langdon and Leslie Walton, the Chamber of Commerce, Frankfort Fire District, Village staff, and all volunteers for working together to make the festival a well-executed and memorable event. Members encouraged residents to attend the Art on the Green event on Sunday, September 12, noting in addition to the fine art exhibition, the Lincoln-Way Youth Strings will provide entertainment during the event from 1:00 P.M. to 3:00 P.M. The community was encouraged to make safety a priority around railroad tracks during Rail Safety Week and throughout the year.

VILLAGE ADMINISTRATOR REPORT

Administrator Piscia extended his congratulations to Officers Krupa and Conte and wished them a long career with the Frankfort Police Department. He commented on Fall Fest 2021 and commended the Village Board, Village staff, Chamber of Commerce, and all volunteers for rallying behind one another to bring this event together in such a short period of time. Administrator Piscia advised residents that hydrant flushing begins on Monday, September 13 and residents may experience temporary discoloration of water when hydrant flushing occurs in their neighborhood. He noted residents should avoid washing laundry during scheduled flushing times, as the flushed sediment could discolor white or light-colored clothing.

POLICE DEPARTMENT REPORT

Chief Chelepis congratulated Officers Krupa and Conte and welcomed them to the Frankfort Police Department. She echoed the previous sentiments relating to Fall Fest, voicing her appreciation of the Frankfort community coming together to provide an enjoyable and safe experience for everyone. She invited residents to the "Country Market with a Pop" event on Sunday, September 26, from 10:00 A.M. to 11:30 A.M. Chief Chelepis encouraged residents to stay informed by subscribing to the Frankfort Police NIXLE website at www.nixle.com or text "FRANKFORT" to 888-777. She reported the Frankfort Police Department notified residents of relevant safety tips and urgent community alerts through this free website.

VILLAGE ATTORNEY'S REPORT

Village Attorney Lamore had no report.

OTHER BUSINESS

There were no other items for discussion.

PUBLIC COMMENT

No public comments were addressed to the Village Board.

ADJOURNMENT TO EXECUTIVE SESSION

Trustee Farina made a motion (#3), seconded by Trustee Petrow, to adjourn to Executive Session for the purpose of discussing litigation matters pursuant to 5 ILCS 120/2(c)(11).

Clerk Schubert called the roll. Ayes: Trustees Borrelli, Farina, Leddin, Petrow, and Rossi. Nays: None. Absent: Trustee Savaria. The motion carried.

The Village Board adjourned to Executive Session at 7:32 P.M.

The Village Board came out of Executive Session at 8:35 P.M. and resumed the regular board meeting.

No action was taken as a result of Executive Session.

ADJOURNMENT

Hearing no further business, Trustee Borrelli made a motion (#4), seconded by Trustee Petrow, to adjourn the regular board meeting of Tuesday, September 7, 2021. A voice vote was taken. All were in favor. The motion carried. The meeting adjourned at 8:36 P.M.

Katie Schubert
Village Clerk

As Presented As Amended

_____ Keith Ogle, Village President

_____ Katie Schubert, Village Clerk

Draft

FRANKFORT FINANCIAL SYSTEM
09/16/2021 15:46:34

Schedule of Bills

VILLAGE OF FRANKFORT
GL060S-V08.15 RECAPPAGE
GL540R

FUND RECAP:

FUND	DESCRIPTION	SEPTEMBER 20, 2021 DISBURSEMENTS
01	GENERAL CORPORATE FUND	197,297.65
62	SEWER & WATER OPER. & MAINT.	105,438.31
68	SEWER & WATER EXTENSION FUND	41,688.60
69	WASTE WATER TREATMENT PLANT	402,552.20
TOTAL ALL FUNDS		746,976.76

Draft

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
AFFORDABLE CONCRETE RAIS	SDWLK RPR-10879 PEMBROOK	450.00	R&M - SIDEWALKS	01.441.4220		96499062		880 00024
AIRGAS USA LLC	CYLINDER RENTAL	230.80	LEASE RENTAL	62.492.4661		9982090457		880 00016
AIS								
	USER MANAGEMENT-OCT	27.00	SOFTWARE SUPPORT	01.413.4753		72993		880 00020
	USER MANAGEMENT-OCT	63.00	SOFTWARE SUPPORT	01.442.4753		72993		880 00020
	USER MANAGEMENT-OCT	27.00	SOFTWARE SUPPORT	01.413.4753		72993		880 00020
	USER MANAGEMENT-OCT	54.00	SOFTWARE SUPPORT	01.413.4753		72993		880 00020
	USER MANAGEMENT-OCT	85.50	SOFTWARE SUPPORT	62.491.4753		72993		880 00020
	USER MANAGEMENT-OCT	72.00	SOFTWARE SUPPORT	62.492.4753		72993		880 00020
	USER MANAGEMENT-OCT	121.50	SOFTWARE SUPPORT	01.412.4753		72993		880 00020
	DATA SERVER MGMT-OCT	70.73	SOFTWARE SUPPORT	01.413.4753		72993		880 00021
	DATA SERVER MGMT-OCT	70.73	SOFTWARE SUPPORT	01.413.4753		72993		880 00021
	DATA SERVER MGMT-OCT	70.73	SOFTWARE SUPPORT	01.461.4753		72993		880 00021
	DATA SERVER MGMT-OCT	70.73	SOFTWARE SUPPORT	01.461.4753		72993		880 00021
	DATA SERVER MGMT-OCT	70.68	SOFTWARE SUPPORT	62.491.4753		72993		880 00021
	DATA SERVER MGMT-OCT	70.68	SOFTWARE SUPPORT	62.492.4753		72993		880 00021
	DATA SERVER MGMT-OCT	70.72	SOFTWARE SUPPORT	01.412.4753		72993		880 00021
	DATA BACKUP-OCTOBER	143.61	SOFTWARE SUPPORT	01.413.4753		72994		880 00022
	DATA BACKUP-OCTOBER	143.61	SOFTWARE SUPPORT	01.441.4753		72994		880 00022
	DATA BACKUP-OCTOBER	143.61	SOFTWARE SUPPORT	01.442.4753		72994		880 00022
	DATA BACKUP-OCTOBER	143.61	SOFTWARE SUPPORT	01.461.4753		72994		880 00022
	DATA BACKUP-OCTOBER	143.51	SOFTWARE SUPPORT	62.491.4753		72994		880 00022
	DATA BACKUP-OCTOBER	143.51	SOFTWARE SUPPORT	62.492.4753		72994		880 00022
	DATA BACKUP-OCTOBER	143.51	SOFTWARE SUPPORT	01.412.4753		72994		880 00022
	MANAGED SERV/ENDPT-OCT	378.00	SOFTWARE SUPPORT	01.421.4753		72995		880 00017
	REMOTE SUPPORT	1,401.22	R&M - OFFICE EQUIPMENT	01.421.4242		73116		880 00018
	REMOTE SUPPORT	27.07	SOFTWARE SUPPORT	01.413.4753		73139		880 00019
	REMOTE SUPPORT	63.17	SOFTWARE SUPPORT	01.442.4753		73139		880 00019
	REMOTE SUPPORT	27.07	SOFTWARE SUPPORT	01.461.4753		73139		880 00019
	REMOTE SUPPORT	54.15	SOFTWARE SUPPORT	01.441.4753		73139		880 00019
	REMOTE SUPPORT	85.73	SOFTWARE SUPPORT	62.491.4753		73139		880 00019
	REMOTE SUPPORT	72.20	SOFTWARE SUPPORT	62.492.4753		73139		880 00019
	REMOTE SUPPORT	121.86	SOFTWARE SUPPORT	01.412.4753		73139		880 00019
		4,180.50	*VENDOR TOTAL					
AKERMAN LLP	EMPLOYEE MATTER	3,082.00	ATTORNEY FEES	01.421.4321		9706967		880 00025
ALEXANDER EQUIPMENT CO I	CHIPPER KNIFE KIT	300.00	R&M - VEHICLES	01.441.4243		181101		880 00026
ALLASIA/LUCAS B	FALL FEST ESDA 10HRS	150.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00014
AMBER MECHANICAL CONTRAC	A/C MNTNC-VH	2,377.50	R&M - BLDG/SITE IMPROVEM	01.441.4211		C010779		880 00027

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
ARCADIAN INC	ANTENNAS/MOUNTS-SQUADS	85.16	EQUIPMENT & ACCESSORIES	01.421.4791		69399		880 00028
ARTISTIC ENGRAVING	RETIREMENT PLAQUE-JB	195.55	EMPLOYEE RELATIONS	01.421.4532		17232		880 00029
AT&T	432 W NEBRASKA ST-ALARM	208.35	R&M - BLDG/SITE IMPROVEM	01.441.4211		81546459144146		880 00023
BILL'S LAWN MAINTENANCE	MNCPL MOWING 8/16	667.50	R&M - SITE IMPROVEMEN	62.491.4211		172002		880 00041
	MNCPL MOWING 8/16	667.50	R&M - BUILDINGS	62.491.4211		172002		880 00041
	MNCPL MOWING 8/16	4,305.00	R&M - LAWN MOWING	01.441.4215		172003		880 00042
	MNCPL MOWING 8/23	667.50	R&M - SITE IMPROVEMENTS	62.491.4211		172004		880 00033
	MNCPL MOWING 8/23	667.50	R&M - BUILDINGS	62.492.4211		172004		880 00033
	MNCPL MOWING 8/23	4,305.00	R&M - LAWN MOWING	01.441.4215		172005		880 00030
	MNCPL MOWING 8/30	667.50	R&M - SITE IMPROV	62.491.4211		172006		880 00032
	MNCPL MOWING 8/30	667.50	R&M - BUILDINGS	62.492.4211		172006		880 00032
	MNCPL MOWING 8/30	4,365.00	R&M - LAWN MOWING	01.441.4215		172007		880 00031
	OLD FF WAY-BEHIND MCDNLD	150.00	R&M - WEEDS	01.442.4235		178712		880 00040
	7758 COVENTRY	76.00	R&M - WEEDS	01.442.4235		178713		880 00038
	20570 LENNON	76.00	R&M - WEEDS	01.442.4235		178714		880 00039
	116 KANSAS-BEHIND	150.00	R&M - WEEDS	01.442.4235		178715		880 00037
	BED MNTNC/MULCH-MUSEUM	3,500.00	R&M - LAWN MOWING	01.441.4215		178742		880 00034
	9090 BIG SABLE	100.00	R&M - WEEDS	01.442.4235		178832		880 00036
	LANDSCAPE MNTNC-PD	3,325.00	R&M - LAWN MOWING	01.441.4215		178842		880 00035
		24,357.00	*VENDOR TOTAL					
BURRIS EQUIPMENT CO	LIGHT TOWER RENTAL-FF	370.50	EQUIPMENT LEASE RENTAL	01.441.4661		RC3000578-1		880 00044
	UTILITY LOADER RENTAL	249.00	EQUIPMENT LEASE RENTAL	01.441.4661		RC3001469-1		880 00043
		619.50	*VENDOR TOTAL					
CARROLL CONSTRUCTION SUP	SAFETY GLASSES	35.00	SALARY SUPPLIES	62.492.4762		FR089866		880 00045
CHICAGO BACKFLOW INC	BCKFLOW RPLC-20538 LAGNG	2,500.00	R&M - TREATMENT PLANT	62.491.4229		364101		880 00046
CHICAGO TRIBUNE	10315 VANS DR-SU	34.50	PUBLISHING	01.461.4431		CTC41498735		880 00252
	300 S MAPLE-REZONING	37.50	PUBLISHING	01.461.4431		CTC41498735		880 00253
	ZONING AMENDMENT	48.00	PUBLISHING	01.461.4431		CTC41498735		880 00254
	20815 S LAGRANGE-SU	25.50	PUBLISHING	01.461.4431		CTC41498735		880 00255
	LANDSCAPE LIGHTING	54.00	PUBLISHING	01.441.4431		CTC41498735		880 00256
	CHRISTMAS LIGHTING	54.00	PUBLISHING	01.441.4431		CTC41498735		880 00257
	21116 WASHINGTON PKWY-SU	31.50	PUBLISHING	01.461.4431		CTC41498735		880 00258
	9975 W LINCOLN HWY-SU	30.00	PUBLISHING	01.461.4431		CTC41498735		880 00259
		315.00	*VENDOR TOTAL					

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
CINTAS CORPORATION #344								
	MATS-PD 8/23	104.79	R&M - BLDG/SITE IMPROVEM	01.441.4211		4093653211		880 00050
	MATS-VH 8/31	112.16	R&M - BLDG/SITE IMPROVEM	01.441.4211		4094497450		880 00047
	MATS-PD 9/7	111.93	R&M - BLDG/SITE IMPROVEM	01.441.4211		4095019093		880 00048
	MATS-VH 9/8	125.80	R&M - BLDG/SITE IMPROVEM	01.441.4211		4095217908		880 00049
		454.68	*VENDOR TOTAL					
CLARKE AQUATIC SERVICES								
	PHOSLOCK POND TREATMENT	1,900.00	R&M - PUBLIC GROUNDS	01.441.4216		10448		880 00051
CLARKE ENVIRONMENTAL MOS								
	MOSQUITO CONTROL-8/23	7,630.00	PEST CONTROL	01.441.4672		1018045		880 00052
COLONY HARDWARE CORPORAT								
	UV BLACK TIES-FF	53.01	OPERATING SUPPLIES	01.441.4761		425277		880 00053
COMCAST CABLE								
	8847 LINCOLN HWY-INTERNET	153.35	TELEPHONE	62.492.441		87712014903490		880 00054
	524 CENTER RD-INTERNET	46.92	TELEPHONE	62.491.4441		87712014903658		880 00055
	524 CENTER RD-INTERNET	46.92	TELEPHONE	62.492.4441		87712014903658		880 00055
	524 CENTER RD-INTERNET	93.85	TELEPHONE	01.441.4441		87712014903658		880 00055
		341.04	*VENDOR TOTAL					
COMMONWEALTH EDISON CO								
	STREETLIGHTS	3,783.47	ELECTRICITY	01.441.4632		0273016112		880 00063
	1 S WHITE ST	28.87	ELECTRICITY	01.441.4611		1539157073		880 00062
	1025 LAMBRECHT DR-WELL 5	52.00	ELECTRICITY	62.492.4611		1553034022		880 00057
	11 S WHITE ST	145.00	ELECTRICITY	01.441.4611		2892084063		880 00060
	460 OHIO RD-WPS	1,563.00	ELECTRICITY	62.491.4611		4359088050		880 00059
	23031 S 80TH-WELL 13/14	3,940.20	ELECTRICITY	62.492.4611		5043020207		880 00058
	1 N WHITE ST-PRKG LOT	158.14	ELECTRICITY	01.441.4611		8043142005		880 00061
	2 SMITH ST	161.34	ELECTRICITY	01.441.4611		9097745017		880 00056
	11 N WHITE ST	15.52	R&M - BLDG/SITE IMPROVEM	01.441.4211		9097788012		880 00064
		9,848.51	*VENDOR TOTAL					
CONSTELLATION NEWENERGY								
	20538 LAGRANGE-RGNL	16,100.69	ELECTRICITY	62.491.4611		707605-1		880 00065
	20248 GRACELAND-W 15/16	4,806.79	ELECTRICITY	62.492.4611		707605-10		880 00073
	22656 LAGRANGE-LIFT STAT	1,027.12	ELECTRICITY	62.491.4611		707605-11		880 00074
	422 SPRUCE DR-NPS	1,153.68	ELECTRICITY	62.491.4611		707605-12		880 00075
	9209 GULFSTREAM-LIFT ST	57.27	ELECTRICITY	62.491.4611		707605-14		880 00076
	850 OVERLOOK DR-LIFT ST	2.42	ELECTRICITY	62.491.4611		707605-16		880 00077
	21841 S ELSNER-TOWER	29.25	ELECTRICITY	62.492.4611		707605-17		880 00078
	IRNWD/CHARMAINE-LIFT ST	93.92	ELECTRICITY	62.491.4611		707605-18		880 00079
	730 TANGLEWOOD-WELL 4	3,158.72	ELECTRICITY	62.492.4611		707605-2		880 00066
	524 CENTER RD	312.86	ELECTRICITY	62.491.4611		707605-22		880 00080
	524 CENTER RD	312.86	ELECTRICITY	62.492.4611		707605-22		880 00080
	524 CENTER RD	625.74	ELECTRICITY	01.441.4611		707605-22		880 00080
	STNBRIDGE/BASSWOOD-LIFT	15.30	ELECTRICITY	62.491.4611		707605-24		880 00081

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
CONSTELLATION NEWENERGY								
	234 BLACKTHORN-WELL 6	32.87	ELECTRICITY	62.492.4611		707605-25		880 00082
	21501 HARLEM-LIFT STAT	312.23	ELECTRICITY	62.491.4611		707605-26		880 00083
	20327 LAGRANGE-H/CK	2,574.62	ELECTRICITY	62.491.4611		707605-3		880 00067
	601 PRESTWICK-WELL 17	1,452.77	ELECTRICITY	62.492.4611		707605-4		880 00068
	1015 LAMBRECHT-WELL 5	517.13	ELECTRICITY	62.492.4611		707605-5		880 00069
	22801 WOLF RD-WELL 11/12	5,588.87	ELECTRICITY	62.492.4611		707605-6		880 00070
	1040 S BUTTERNUT-LIFT ST	46.71	ELECTRICITY	62.491.4611		707605-8		880 00071
	8847 LINCOLN HWY-WELL 10	4,832.60	ELECTRICITY	62.492.4611		707605-9		880 00072
		43,054.42	*VENDOR TOTAL					
CORE & MAIN LP								
	METER TRNSCVR/COUPLINGS	2,125.80	WATER METERS	01.492.4261		P373721		880 00085
	CLAMPS	1,056.58	R&M - WATER LINES	01.492.4261		P475407		880 00087
	HYDRANT PARTS-535 BTRNT	5,090.51	R&M - WATER LINES	01.492.4261		P515213		880 00086
	VALVE BOX ASSEMBLY PARTS	3,721.30	R&M - WATER LINES	01.492.4261		P534435		880 00084
		11,994.19	*VENDOR TOTAL					
COUNTY OF WILL								
	DISPATCH SERV-AUGUST	34,851.45	POLICE COMM. CENTER	01.421.4411		AUGUST2021-001		880 00088
	BLDG REPAY-AUGUST	188.16	POLICE COMM. CENTER	01.421.4411		BLDG REPAY-AUG		880 00089
		35,039.61	*VENDOR TOTAL					
CURRENT TECHNOLOGIES COR								
	CAMERA ADJUSTMENTS	1,287.90	OFFICE EQUIPMENT	01.421.4242		727457		880 00090
CURRIE MOTORS								
	MOTOR ASSEMBLY-SQ1	543.60	R&M - VEHICLES	01.421.4243		125670		880 00091
	TURN SIGNAL-SQ21	479.60	R&M - VEHICLES	01.421.4243		128540		880 00092
		533.60	*VENDOR TOTAL					
DAHLMAN SHEET METAL CO								
	GARBAGE CAN LINERS-FF	492.00	UNITED SUPPLIES	01.441.4741		15639		880 00093
DALALY/BRIAN								
	FALL FEST ESDA 47.5HRS	712.50	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00013
DEMARCO/JOSEPH								
	RPR INV FNC-973 WLNT RDG	130.92	WATER LINES - TRANSMISSI	68.492.5163		973 WALNUT RDG		880 00094
DIXON ENGINEERING INC								
	GRCLND VERIZON ANNTENNA	1,750.00	CONSULTANT PLAN REVIEW F	01.442.4391		21-8446		880 00095
DOG WASTE DEPOT								
	4CS DOG WASTE BAGS	500.00	R&M - PUBLIC GROUNDS	01.441.4216		433688		880 00097
DONALD E MORRIS ARCHITEC								
	PLAN REVIEWS-AUG 2021	716.95	CONSULTANT PLAN REVIEW F	01.442.4391		08-21		880 00096

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID LINE
DUNHAM JR/JOHN E	26 PLUMBING INSPECTIONS	1,300.00	INSPECTION FEES	01.442.4343		21/9-1			880 00098
E Z DUZ IT PRODUCTS INC	SOAP/DISINFECT SPRAY-PD	171.00	JANITORIAL SUPPLIES	01.441.4741		8498			880 00102
	10CS GARBAGE BAGS	400.00	JANITORIAL SUPPLIES	01.441.4741		8499			880 00101
	DUST BAGS-VH	18.00	JANITORIAL SUPPLIES	01.441.4741		8521			880 00100
		589.00	*VENDOR TOTAL						
ED FOGARTY CONCRETE CONST	SDWLK RPLC-119 S MAPLE	5,000.00	R&M - SIDEWALKS	01.441.4220		48902			880 00099
EXCEL ELECTRIC INC	RPCL GFCI RECPT-MARKET	340.00	R&M - PUBLIC GROUNDS	01.441.4236		125692			880 00107
	CK STLGHTS DWNTOWN-FF	2,232.89	R&M - STREET LIGHTS	01.441.4236		125693			880 00108
	RPR STLGHT-21923 EMILY	164.80	R&M - STREET LIGHTS	01.441.4236		125694			880 00103
	RPLC STLGHT-HARLEM/ABERD	4,280.00	R&M - STREET LIGHTS	01.441.4236		125695			880 00106
	RPR STLGHT-20608 MICH IS	663.00	R&M - STREET LIGHTS	01.441.4236		125696			880 00104
	RPR STLGHT-RT30/RT45	553.44	R&M - STREET LIGHTS	01.441.4236		125697			880 00105
		8,234.13	*VENDOR TOTAL						
FLOWER COTTAGE/THE	FUNERAL FLOWERS-R SMITH	158.95	COMMUNITY RELATION	01.411.4531		4544			880 00109
FULLER'S CAR WASH OF MOK	CAR WASHES-AUGUST	146.00	R&M - VEHICLES	01.421.4243		210			880 00110
GALLS LLC	QTR MASTER UNIFORMS	892.00	UNIFORMS	01.421.4781		019194448			880 00111
GAS N WASH LAGRANGE	CAR WASH-RP	4.00	R&M - VEHICLES	01.441.4243		2721			880 00113
	CAR WASHES-PD	520.00	R&M - VEHICLES	01.421.4243		2722			880 00112
		524.00	*VENDOR TOTAL						
GASIK/JACOB	FALL FEST ESDA 10HRS	150.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021			880 00008
GORDON ELECTRIC SUPPLY I	BULBS-PD	138.27	R&M - BLDG/SITE IMPROVEM	01.441.4211		S2177607.001			880 00114
GOVERNMENT FINANCE OFCRS	GFOA CAFR RVW FEES-FY21	530.00	AUDITOR FEES	01.413.4331		21/9-14			880 00118
GRAINGER	PRESSURE GAUGE-WELLS	93.42	OPERATING SUPPLIES	62.492.4761		9040041460			880 00117
GRANITE TELECOMMUNICATIO	TELEPHONE CHGS	99.18	TELEPHONE	01.413.4441		532103396			880 00250
	TELEPHONE CHGS	128.93	TELEPHONE	01.442.4441		532103396			880 00250
	TELEPHONE CHGS	138.85	TELEPHONE	01.461.4441		532103396			880 00250

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
GRANITE TELECOMMUNICATIO								
	TELEPHONE CHGS	99.18	TELEPHONE	62.491.4441		532103396		880 00250
	TELEPHONE CHGS	99.18	TELEPHONE	62.492.4441		532103396		880 00250
	TELEPHONE CHGS	109.10	TELEPHONE	01.441.4441		532103396		880 00250
	TELEPHONE CHGS	317.40	TELEPHONE	01.412.4441		532103396		880 00250
	TELEPHONE CHGS-POLICE	183.01	TELEPHONE	01.421.4441		532103396		880 00251
		1,174.83	*VENDOR TOTAL					
GREEN GLEN NURSERY INC								
	1-SPRUCE TREE	250.00	R&M - TREES & WEEDS	01.441.4235		39063		880 00116
	BUSHES-VH	75.00	R&M - BLDG/SITE IMPROV	01.441.4211		39348		880 00115
		325.00	*VENDOR TOTAL					
GUAJARDO/FRANK								
	22370 PINE RIDGE DR L241	1,000.00	POOL DEPOSIT	01.441.2321		B207325		880 00001
HACH COMPANY								
	SAMPLE BOTTLES	136.49	LABORATORY SUPPLIES	62.492.712		12622825		880 00119
HAWKINS INC								
	CHLORINE-WELLS	644.50	CHEMICALS	62.492.4711		6004950		880 00121
	CHLORINE CYLINDERS-WELLS	1,770.00	CHEMICALS	62.492.4711		6011952		880 00120
		2,414.50	*VENDOR TOTAL					
HERITAGE FS INC.								
	DIESEL FUEL	408.49	GASOLINE/OIL	62.492.4731		35008408		880 00122
	DIESEL FUEL	385.71	GASOLINE/OIL	62.491.4731		35008408		880 00122
	DIESEL FUEL	1,475.81	GASOLINE/OIL	01.441.4731		35008408		880 00122
		2,269.01	*VENDOR TOTAL					
HOME DEPOT #6919								
	SALES TAX REFUND	2.11	OPERATING SUPPLIES	01.441.4761		0470102		880 00128
	MOISTURE ABSORB	28.46	OPERATING SUPPLIES	01.441.4761		0970970		880 00127
	TAPE/ROPE/HAMMER/WATER	72.44	OPERATING SUPPLIES	62.492.4243		3971476		880 00132
	METAL CUT OFF DISCS	43.94	OPERATING SUPPLIES	62.492.4761		4342887		880 00129
	WATER SOFTENER PELLETS	227.24	OPERATING SUPPLIES	01.441.4761		4971444		880 00133
	DUSTER/FLOOR CLN PADS	119.11	JANITORIAL SUPPLIES	01.441.4741		6971712		880 00130
	TEES/DRAIN/NIPPLES	22.90	R&M - VEHICLES	01.441.4243		7971309		880 00126
	.5 CLEANING SUPPLIES	23.79	R&M - SITE IMPROVEMENTS	62.491.4211		7971657		880 00123
	.5 CLEANING SUPPLIES	23.80	R&M - BUILDINGS	62.492.4211		7971657		880 00124
	HOSE/WASP KILLER/REMOVER	120.75	JANITORIAL SUPPLIES	01.441.4741		9342920		880 00131
	SAFETY GLOVES	17.96	SAFETY SUPPLIES	01.441.4762		9970984		880 00125
		698.28	*VENDOR TOTAL					
HOMER TREE CARE INC								
	TREE RMVL-203 S MAPLE	1,600.00	R&M - TREES & WEEDS	01.441.4235		46093		880 00136
	TREE INJECT-127 OREGON	260.00	R&M - TREES & WEEDS	01.441.4235		46187		880 00135
	TREE RMVL-131 PACIFIC	2,650.00	R&M - TREES & WEEDS	01.441.4235		46234		880 00134
		4,510.00	*VENDOR TOTAL					

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
INTERSTATE BATTERY SYSTE	BATTERY-DS3	149.95	R&M - VEHICLES	01.461.4243		303963		880 00137
	BATTERY-E3	144.95	R&M - VEHICLES	01.441.4243		304015		880 00139
	QUICK DISCONNECT-E3	20.00	R&M - VEHICLES	01.441.4243		304030		880 00138
	BATTERY-LIGHT TOWER	139.95	R&M - VEHICLES	01.441.4243		304185		880 00140
		454.85	*VENDOR TOTAL					
J C M UNIFORMS INC	UNIFORM-CSO	21.00	UNIFORMS	01.421.4781		778697		880 00143
	UNIFORM-308	24.00	UNIFORMS	01.421.4781		778825		880 00144
		45.00	*VENDOR TOTAL					
JEWEL FOOD STORES #3052	WATER-PARADE FF	11.98	COMMUNITY RELATIONS	01.411.4553		00662210		880 00142
JEWEL FOOD STORES #3052	CADETS FOOD-FF	14.42	FALL FESTIVAL/CADET SUPP	01.421.4553		00802808		880 00141
JOHN DEERE FINANCIAL	MOWER BLADES	144.36	R&M - VEHICLES	01.441.4243		10476447		880 00145
JOLIET SUSPENSION INC	.5 BALL JNT INSTALL-U14	442.27	R&M - VEHICLES	62.491.4243		128454		880 00146
	.5 BALL JNT INSTALL-U14	442.27	R&M - VEHICLES	62.492.4243		128454		880 00147
		884.54	*VENDOR TOTAL					
JOSEPH J HENDERSON & SON	NSTP/WSTP ABANDONMENT	402,552.00	N&W ABANDONMENT, WORTH PON	69.491.5917		15905		880 00148
KIRSCHER/JONATHAN	FALL FEST ESDA 7.5HRS	112.50	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00007
KIWANIS CLUB	DUES-M MISEK	112.00		01.421.4511		2021-2022		880 00149
KNIGHT SECURITY ALARMS,	RADIO MONITORING	119.85	R&M - BLDG/SITE IMPROVEM	01.441.4211		241877		880 00150
LANDSCAPE SUPPLY INC	CURB REMOVAL-FF MEADOWS	8,909.00	R&M - CURBS	01.441.4231		2021-131		880 00151
LAWSON PRODUCTS INC	SWITCH-LEAF MACHINE	30.89	R&M - VEHICLES	01.441.4243		9308728092		880 00152
LEE JENSEN SALES CO INC	HOSE/CHOKER	222.30	OPERATING SUPPLIES	62.492.4761		12391-00		880 00154
LEXISNEXIS RISK DATA MNG	MONTHLY SUPPORT-AUGUST	86.00	SOFTWARE SUPPORT	01.421.4753		20210831		880 00153

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
LOCAL PRINTING & DESIGN	BUSINESS CARDS-JBURICA	30.00	PRINTING & DUPLICATING	01.412.4432		11790		880 00155
M.E. SIMPSON CO INC	LEAK DETECT SURVEY	21,160.00	WATER LINES - TRANSMISSI	68.492.5163		37347		880 00156
MAHONEY, SILVERMAN & CRO	TRAFFIC	4,842.10	ATTORNEY FEES	01.421.4321		56494/182		880 00260
	GENERAL	1,591.25	ATTORNEY FEES	01.411.4321		56494/264		880 00261
	MEETINGS	487.50	ATTORNEY FEES	01.411.4321		56494/265		880 00262
	SOUTHERN CHARM	146.25	ATTORNEY FEES	01.411.4321		56494/600		880 00263
	JOHNNY MAGYK-BEY	585.00	ATTORNEY FEES	01.421.4321		56494/609		880 00264
	897 ST ANDREW WAY	438.75	ATTORNEY FEES	01.441.4243		56494/610		880 00265
	BORG WARNER	3,900.00	ATTORNEY FEES	01.411.4321		56494/617		880 00266
	ABRI CREDIT UNION	487.50	ATTORNEY FEES	01.461.4321		56494/618		880 00267
	111 LINDEN LN	1,664.46	ATTORNEY FEES	01.411.4321		56494/619		880 00268
	709 TANGLEWOOD	243.75	ATTORNEY FEES	01.411.4321		56494/620		880 00269
		14,386.56	*VENDOR TOTAL					
MARTIN WHALEN OFFICE SOL	XER/XWC533 COPIER SUPRT	92.64	R&M - OFFICE EQUIPMENT	01.421.4242		2930140		880 00157
MASTER AUTOMOTIVE SUPPLY	MUFFLER CLAMP-ST16	5.93	R&M - VEHICLES	01.441.4243		15030-107176		880 00161
	.5 FILTERS-U30	109.17	R&M - VEHICLES	62.492.4243		15030-107288		880 00162
	.5 FILTERS-U30	109.17	R&M - VEHICLES	62.491.4243		15030-107288		880 00163
	QUICK CONNECT-E22	6.88	R&M - VEHICLES	01.441.4243		15030-107424		880 00158
	BRAKES-E2	231.55	R&M - VEHICLES	01.441.4243		15030-107482		880 00159
	FILTERS/BRAKE PADS-PD	458.75	R&M - VEHICLES	01.421.4243		15030-107571		880 00164
	FILTER-PW	4.75	R&M - VEHICLES	01.441.4243		15030-107571		880 00165
	BLOWER RESISTOR-DS2	21.99	R&M - VEHICLES	01.461.4243		15030-107643		880 00160
		947.29	*VENDOR TOTAL					
MAURER/JACOB	FALL FEST ESDA 10HRS	150.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00006
MCELYEA/GREGORY K	FALL FEST ESDA 49.5HRS	841.50	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00003
MEADE ELECTRIC COMPANY,	TRAF SGNL MNTNC-LARAWAY	700.00	R&M - TRAFFIC LIGHTS	01.441.4234		697370		880 00166
MINUTEMAN PRESS OF FRANK	1000 PROP SUPPLY FORMS	194.36	OPERATING SUPPLIES	01.421.4761		7789		880 00270
	LABELS-ART ON THE GREEN	49.38	EVENTS	01.412.4534		7809		880 00167
	500 PROMO PENS	247.61	COMMUNITY RELATIONS	01.412.4531		7852		880 00168
		491.35	*VENDOR TOTAL					
MONROE TRUCK EQUIPMENT I	HOSE REEL	491.95	OPERATING SUPPLIES	62.492.4761		333762		880 00169

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
MUNICIPAL WELL & PUMP	DRILLING-TEST WELL 18	20,137.68	WELLS/IRON REMOVAL	68.492.5164		18429		880 00170
NATIONAL CONSTRUCTION	BARRICADES-FF	3,106.39	EQUIPMENT/LEASE RENTAL	01.441.4661		6261153		880 00209
NEWLINE PAVING SERVICES	PAVEMENT MARKINGS	687.00	R&M - STREETS/SIGNS	01.441.4233		1429		880 00210
NORMOYLE/ROBERT J	PLUMBING INSP-8/31	1,700.00	INSPECTION FEES	01.441.4343		21/8-31		880 00171
NORWALK TANK CO.	CULVERT PIPE RPLCMNT	2,446.08	R&M - STORM SYSTEM	01.441.4243		177571		880 00172
NU-WAY DISPOSAL SERVICE,	DUMPSTER EXCHANGE	403.00	GARBAGE DISPOSAL	01.441.4621		7488075		880 00173
	DUMPSTER EXCHANGE	479.00	GARBAGE DISPOSAL	01.441.4621		7505241		880 00174
		882.00	*VENDOR TOTAL					
OFFICE DEPOT	FALL FEST PARADE CANDY	201.24	COMMUNITY RELATION	01.411.4531		192409155001		880 00176
	FALL FEST PARADE CANDY	264.98	COMMUNITY RELATION	01.411.4531		193090630001		880 00178
	FALL FEST PARADE CANDY	264.98	COMMUNITY RELATIONS	01.411.4531		193100615001		880 00177
		731.20	*VENDOR TOTAL					
OXBO MUFFLER & BRAKE SHO	MUFFLER/TAILOPIPE-A4	857.00	R&M - VEHICLES	01.441.4243		1424		880 00175
PARK HARDWARE #16759	FASTENERS/VELCRO/SCREWS	81.94	OPERATING SUPPLIES	01.441.4761		5855		880 00182
	EPOXY/SHARPIE	30.93	OPERATING SUPPLIES	01.441.4761		5860		880 00181
	ADHESIVE	12.99	JANITORIAL SUPPLIES	01.441.4741		5950		880 00186
	MURATIC ACID-CLEAN FOUNT	49.96	OPERATING SUPPLIES	01.441.4761		5957		880 00190
	ELECTRICAL WIRES	13.57	R&M - WELLS	62.492.4262		5966		880 00191
	12 ROLLS DUCT TAPE	97.08	OPERATING SUPPLIES	01.441.4761		5968		880 00188
	SPRAY PAINT	42.05	OPERATING SUPPLIES	01.441.4761		5969		880 00189
	FASTENERS	21.95	OPERATING SUPPLIES	01.441.4761		5970		880 00187
	BOLTS/NO TRESPASS SIGN	29.94	OPERATING SUPPLIES	01.441.4761		5973		880 00185
	SURFACE CLEANER/KEY	18.17	JANITORIAL SUPPLIES	01.441.4741		5987		880 00184
	PLUG	1.99	R&M - VEHICLES	01.441.4243		5995		880 00183
	MARKERS	9.98	OPERATING SUPPLIES	62.492.4761		5997		880 00179
	SPONGES/LIME AWAY	11.98	JANITORIAL SUPPLIES	01.441.4741		6000		880 00180
		422.53	*VENDOR TOTAL					
PASULKA/BENJAMIN	RPR DRVW LITE-979 WLNTRG	260.00	WATER LINES - TRANSMISSI	68.492.5163		979 WALNUT RDG		880 00192
PHILLIP'S CHEVROLET INC	CAP VALVE-SQ14	69.22	R&M - VEHICLES	01.421.4243		405318CVW		880 00193

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
PILCH/JOSEPH J	FALL FEST ESDA 19.5HRS	292.50	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00005
POLICE CHIEFS ASC-WILL C	PCA WC APPLICATION-LC	50.00	DUES	01.421.4511		21/9 MEMBRSHIP		880 00194
PUBLIC SAFETY DIRECT INC	RADIO INSTALL-CHIEF	12.00	R&M - EQUIPMENT	01.421.4241		98431		880 00196
	RADIO MNTNC OCT-DEC 2021	750.00	R&M - EQUIPMENT	01.421.4241		98444		880 00195
		762.00	*VENDOR TOTAL					
RAMIREZ/RANDALL J	FALL FEST ESDA 37HRS	555.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00011
RAMIRO GUZMAN LANDSCAPIN	MOWING/WEED/HERB-HARLEM	2,300.00	R&M - LAWN MOWING	01.441.4215		7847		880 00198
	RT30 MOWING-AUGUST	7,394.20	R&M - LAWN MOWING	01.441.4215		7857		880 00200
	RT30 BED MNTNC-AUGUST	1,841.70	R&M - LAWN MOWING	01.441.4215		7858		880 00199
		11,535.90	*VENDOR TOTAL					
RED WING BUSINESS ADVANT	WORKBOOTS-DV	174.24	R&M - UNIFORMS	01.441.4251		20210904007865		880 00197
ROADSAFE TRAFFIC SYSTEMS	BARRICADES	2,775.00	STREET SIGNS	01.441.4233		138629		880 00201
RODRIGUEZ III/ROBERT A	FALL FEST ESDA 8HRS	120.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00015
RUSSO'S POWER EQUIPMENT	FUEL-BLOWERS	223.91	R&M - VEHICLES	01.441.4243		SPI10825839		880 00202
	FILLER CAP	10.98	R&M - VEHICLES	01.441.4243		SPI10828892		880 00205
	AIR FILTER/FUEL LINE	145.97	R&M - VEHICLES	01.441.4243		SPI10830813		880 00206
	.5 GUARD/WHEEL	49.83	R&M - VEHICLES	62.492.4243		SPI10830813		880 00207
	.5 GUARD/WHEEL	49.83	R&M - VEHICLES	62.491.4243		SPI10830813		880 00208
	CHOKE KNOB/BRACE GUARD	122.01	R&M - VEHICLES	01.441.4243		SPI10834443		880 00203
	HEDGE TRIMMER	509.99	R&M - EQUIPMENT	01.441.4241		SPI10834449		880 00204
		1,112.52	*VENDOR TOTAL					
SAMHAN/JIMMY	10813 NEBRASKA ST	1,000.00	POOL DEPOSIT	01.000.2322		B217504		880 00002
SAUNORIS' NURSERY	8YD DIRT-FF	296.00	R&M - PUBLIC GROUNDS	01.441.4216		670539		880 00212
SCHAEFFER'S	OIL	1,416.14	GASOLINE/OIL	01.421.4731		4527102441		880 00213
	OIL	531.05	GASOLINE/OIL	62.492.4731		4527102441		880 00213
	OIL	531.05	GASOLINE/OIL	62.491.4731		4527102441		880 00213
	OIL	354.03	GASOLINE/OIL	01.442.4731		4527102441		880 00213
	OIL	708.08	GASOLINE/OIL	01.441.4731		4527102441		880 00213

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
SCHAEFFER'S	3,540.35	*VENDOR TOTAL					
SCHINDLER ELEVATOR CORP ELEVATOR MNTNC-VH	1,055.79	R&M - BLDG/SITE IMPROVEM	01.441.4211		8105722460		880 00214
ELEVATOR MNTNC-PD	1,055.79	R&M - BLDG/SITE IMPROVEM	01.441.4211		8105722461		880 00215
	2,111.58	*VENDOR TOTAL					
SCHULZ/JOHN FALL FEST ESDA 15HRS	225.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00009
SHERWIN-WILLIAMS FIRE HYDRANT PAINT	254.44	R&M - WATER LINES	62.492.4261		5968-2		880 00219
FIRE HYDRANT PAINT	276.87	R&M - WATER LINES	62.492.4261		6252-0		880 00218
	531.31	*VENDOR TOTAL					
SOUTHLAND BLACK CHAMBER MEMBERSHIP 2021	500.00	DUES	01.411.0511		82		880 00272
SOUTHSIDE COLLISION REPAIRS-SQ12	6,078.90	R&M - VEHICLES	62.421.4243		2018 FORD EXPL		880 00271
SPEAR/STEVEN P FALL FEST ESDA 5HRS	75.00	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00010
SSACOP MBSHIP APPLICATION-LC	75.00	DUES	01.421.4511		2021 MEMBERSHP		880 00211
STANDARD EQUIPMENT COMPA POWER SWITCH-VACTOR	53.90	R&M - VEHICLES	62.492.4243		P31359		880 00216
STEVE SPIESS CONSTRUCTIO LARAWAY-EXC/GRD SWALE	5,016.30	R&M - FORM SYSTEM	01.441.4232		5101		880 00217
STORM TREE SERVICES INC TREE RMVL-535 BUTTERNUT	700.00	R&M - WATER LINES	62.492.4261		968		880 00220
TREE RMVL-40 KANSAS	1,775.00	R&M - TREES & WEEDS	01.441.4235		969		880 00221
	2,475.00	*VENDOR TOTAL					
STYRCZULA/ASHLEY FALL FEST ESDA 42.5HRS	637.50	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00012
SUBURBAN LABORATORIES IN SAMPLE TESTING	1,142.02	SAMPLE TESTING	62.492.4641		193647		880 00224
SAMPLE TESTING-RGNL	100.00	SAMPLE TESTING	62.491.4641		193721		880 00222
SAMPLE TESTING-RGNL	712.18	SAMPLE TESTING	62.491.4641		193919		880 00223
	1,954.20	*VENDOR TOTAL					
SYNAGRO SLUDGE REMOVAL-RGNL	2,475.00	SLUDGE REMOVAL	62.491.4642		24224		880 00225

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID LINE
T-MOBILE	SGT PHONES	66.68	TELEPHONE	01.421.4441		971115558			880 00226
TATE/HERB	SPRKLR RPR-452 JOHNSON	246.75	R&M - SIDEWALKS	01.441.4220		452 JOHNSON			880 00227
TESTAMERICA LABORATORIES	SAMPLE TESTING-RGNL	25.90	SAMPLE TESTING	62.491.4641		5000045345			880 00228
THE COP FIRE SHOP	VEST COVER-322	135.00	UNIFORMS	01.421.4781		204242			880 00229
	VEST COVER-RIFF	135.00	UNIFORMS	01.421.4781		204617			880 00230
		270.00	*VENDOR TOTAL						
THE WINNING COLORS	GARBAGE CANS	160.00	R&M - PUBLIC GROUNDS	01.441.4216		21/9-1			880 00233
THOMPSON/MARK W	FOOD-CADETS FF	26.13	FALL FESTIVAL/CADET SUPPLIES	01.421.4553		21/9-5			880 00231
	FOOD-CADETS FF	33.44	FALL FESTIVAL/CADET SUPPLIES	01.421.4553		9-5/21			880 00232
		59.57	*VENDOR TOTAL						
TOM'S TRUCK REPAIR SOUTH	SAFETY TEST-U4	28.00	R&M - VEHICLES	62.492.4243		SL11706			880 00234
TRI-STATE BRICK COMPANY	SAND-GREEN	90.90	R&M - PUBLIC GROUNDS	01.441.4216		SI0042880			880 00235
TRUGREEN	LAWN FERTILIZER 8/27	2,156.90	R&M - PUBLIC GROUNDS	01.441.4216		145420948			880 00236
USA BLUE BOOK	POWER INVERTER-U11	474.85	R&M - VEHICLES	62.492.4243		698747			880 00239
	REAGENTS/BRUSHES-LAB	681.80	LABORATORY SUPPLIES	62.492.4712		712004			880 00238
	PH ELECTRODE-RGNL LAB	327.76	LABORATORY SUPPLIES	62.491.4712		716696			880 00237
		1,484.41	*VENDOR TOTAL						
VANDER VEER CONCRETE LLC	SIDEWLK-10451 YANKEE RDG	1,500.00	R&M - SIDEWALKS	01.441.4220		934622			880 00273
VISU-SEWER OF ILLINOIS L	12' STORM PIPE	1,520.00	R&M - STORM SYSTEM	01.441.4232		9184			880 00240
VISUALGOV SOLUTIONS LLC	.5 ONLINE ECHECK/CC FEES	5,928.95	ADMIN/BANKING FEES	62.491.4371		JS-4634			880 00241
	.5 ONLINE ECHECK/CC FEES	5,928.94	ADMIN/BANKING FEES	62.492.4371		JS-4634			880 00242
		11,857.89	*VENDOR TOTAL						
WATER SOLUTIONS UNLIMITE	PHOSPHATES/CHLORINE/FSA	11,575.00	CHEMICALS	62.492.4711		45069			880 00243

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
WHITE/DAVID	FALL FEST ESDA 19.5HRS	292.50	FALL FESTIVAL/CADET SUPP	01.421.4553		FF 2021		880 00004
WILLE BROTHERS COMPANY	CONCRETE-SDWLK RPRS	678.50	R&M - SIDEWALKS	01.441.4220		648134		880 00244
1ST AYD CORPORATION	WAX	102.72	R&M - VEHICLES	01.441.4243		PSI469351		880 00245
	WAX	102.72	R&M - VEHICLES	01.421.4243		PSI469351		880 00246
	WAX	25.96	R&M - VEHICLES	01.441.4243		PSI469351		880 00247
	.5 WAX/TOWELS	104.34	R&M - VEHICLES	62.441.4243		PSI469351		880 00248
	.5 WAX/TOWELS	104.34	R&M - VEHICLES	61.492.4243		PSI469351		880 00249
		440.08	*VENDOR TOTAL					

Draft

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
REPORT TOTALS:		746,976.76								

RECORDS PRINTED - 000316

Draft

Payroll Expense Approval

9/17/2021 Payroll

	2020 Gross Wage Avg	Gross Wages	Pension	457	Medicare	SS
General Fund	48,165.28	61,287.95	6,394.82	665.00	859.14	3,673.50
Police Fund	140,972.34	162,996.62	47,462.12	1,850.00	2,283.11	9,762.22
Utility Fund	57,457.12	66,722.43	7,218.84	800.00	937.43	4,008.33
Streets	46,687.51	60,607.68	6,618.30	700.00	846.25	3,618.48
Total	293,282.24	351,614.68	67,694.13	4,015.00	4,925.93	21,062.53
Grand Total						

449,312.27

This weeks payroll is significantly higher due to expense related to Fall Fest.

Draft

September 20, 2021

Unanimous Consent Agenda

C. COMMITTEE OF THE WHOLE REPORT

1. VILLAGE OF FRANKFORT CODE OF ORDINANCES AMENDMENT: CHAPTER 123, VACATION RENTALS

At its July 19, 2021 Committee of the Whole meeting, the Board of Trustees discussed regulating vacation rentals in the Village of Frankfort to address certain specific concerns that can cause a negative impact on surrounding properties and the Village as a whole, such as life-safety, quality of neighborhood, security, fire-safety, and tax revenue concerns. The proposed Municipal Code Amendment incorporates a new Chapter to the Village of Frankfort Code of Ordinances and establishes local regulations and licensing of vacation rentals.

Motion: Waive the First and Second Readings and pass an Ordinance amending the Village of Frankfort Code of Ordinances, Title XI: Business Regulations, by the addition of Chapter 123, Vacation Rentals.

2. ANNEXATION ORDINANCE: 21060 SOUTH 84TH AVENUE

At its August 16, 2021 meeting, the Committee of the Whole reviewed the application and supporting documents for the annexation of the 0.667-acre parcel located at 21060 South 84th Avenue to the Village of Frankfort. The parcel borders the Village to the north, west, and south. The applicant, America Infrastructure Finance, LLC, has not submitted any development plans and no request has been made to rezone the property. Per the Village Zoning Ordinance, all property annexed into the Village, unless otherwise requested, shall be automatically assigned a zone designation of E-R (Estate Residential).

It was the consensus of the Committee (Farina/Borrelli) to forward a recommendation to the Village Board authorizing the annexation of the parcel to the Village of Frankfort.

Motion: Accept the recommendation of the Committee of the Whole, waive the First and Second Readings, and pass an Ordinance annexing the 0.667-acre parcel located at 21060 South 84th Avenue (PIN 19-09-23-100-008-0000) to the Village of Frankfort, Will and Cook Counties, Illinois.

3. ROOF REPLACEMENT WELLS 11/12 JACKSON CREEK PARK: BID APPROVAL – RESOLUTION

At its August 16, 2021 meeting, the Committee of the Whole reviewed six bid proposals submitted for the replacement of the roof at the facility within Jackson Creek Park. The facility houses Wells 11/12 and the associated water treatment plant, as well as the bathrooms for the Frankfort Park District. The roof was recently inspected by a local contractor who recommended a full roof replacement. Per the Intergovernmental Agreement with the Park District, the Village has the sole responsibility for maintenance of the building. All American

Exterior Solutions of Lake Zurich, Illinois, submitted the low bid for the project in the amount of \$28,250.00.

It was the consensus of the Committee (Savaria/Borrelli) to forward a recommendation to the Village Board to accept the low bid and award the contract to All American Exterior Solutions, subject to review by insurance adjustor. Staff submitted the claim to the insurance company for reimbursement and the Village has received payment minus the deductible.

Motion: *Accept the recommendation of the Committee of the Whole and adopt a Resolution authorizing the execution of a contract with All American Exterior Solutions for the replacement of the roof of the well facilities (Wells 11/12) on the Jackson Creek Park site property, in an amount not to exceed \$28,250.00.*

4. DISPOSAL OF SURPLUS VEHICLES – ORDINANCE

At its September 7, 2021 meeting, the Committee of the Whole reviewed a request from the Frankfort Police Department to dispose of two surplus vehicles no longer of use by the Village of Frankfort. The 2014 Chevy Caprice and 2015 Ford Explorer were previously assigned to the patrol division but were taken out of service to be replaced. Both vehicles have been stripped of police markings and equipment. In addition, some mechanical parts were taken from these vehicles to repair other squad vehicles.

It was the consensus of the Committee (Borrelli/Petrov) to forward a recommendation to the Village Board to declare the vehicles surplus and sent to Martin Auto Auction.

Motion: *Accept the recommendation of the Committee of the Whole, waive the First and Second Readings and pass an ordinance authorizing the sale of certain surplus property owned by the Village of Frankfort, Will and Cook Counties, Illinois.*

5. WATER MAIN IMPROVEMENTS PROJECT: BID APPROVAL – RESOLUTION

The Committee of the Whole reviewed six bid proposals submitted for various water main improvements. The lowest responsible bid was submitted by Austin Tyler Construction, Inc., in the amount of \$1,488,488.73. Each year the Utilities Department undertakes a Water Main Replacement Program in an effort to improve reliability and water quality in the Village's water distribution system. This year's Program includes improvements on Nebraska Street, South Butternut Circle, Hornbeam Court, Catalpa Court, and Leslie Lane.

It was the consensus of the Committee (Leddin/Borrelli) to forward a recommendation to the Village Board to accept the low bid and award the contract to Austin Tyler Construction for the project.

Motion: *Accept the recommendation of the Committee of the Whole and adopt a Resolution authorizing the execution of a contract with Austin Tyler Construction, Inc. for various water main improvements on Nebraska Street, South Butternut Circle, Hornbeam Court, Catalpa Court, and Leslie Lane, in the amount of \$1,488,488.73.*

6. VILLAGE'S HOLIDAY LIGHTING PROGRAM: BID APPROVAL – RESOLUTION

The Committee of the Whole also reviewed the Village's Holiday Lighting Program costs for holiday lighting and decorations in the Village at five locations. The locations include the Village Hall, Police Station, Breidert Green, White Street parkway, and the Route 30/45 monument entrance sign. Members also discussed purchasing new LED holiday lights and enhancing holiday decorations and lighting in the downtown district. Staff developed specifications and received two qualified bids for the Program. The lowest bid was submitted by Wingren Landscape, Inc.

It was the consensus of the committee (Borrelli/Petrow) to forward a recommendation to the Village Board to enter into a three-year agreement with Wingren Landscape for the Holiday Lighting Program, in the amount of \$80,802.00. Members further authorized staff to purchase new LED lights to replace the Village's existing lights and the purchase of additional lighting and decorations not to exceed \$50,000.

Motion: Accept the recommendation of the Committee of the Whole and adopt a Resolution authorizing the execution of a contract with Wingren Landscape, Inc. for the 2021-2023 Holiday Lighting Program, in the amount of \$26,150.00 for the 2021 holiday season; \$26,926.00 for the 2022 holiday season, and \$27,726.00 for the 2023 holiday season, for a three-year base bid total of \$80,802.00, for holiday lighting and decoration services at various Village-owned properties.

Motion: Accept the recommendation of the Committee of the Whole and authorize an expenditure to Wingren Landscape, Inc. for the purchase of new LED light sets in the amount of \$13,200.00 and up to \$50,000.00, (which includes the base bid for each holiday season) for the purchase of additional lighting and decoration options in the downtown business district.

ORDINANCE NO. 33XX

AN ORDINANCE AMENDING VILLAGE OF FRANKFORT CODE OF ORDINANCES – TITLE XI: BUSINESS REGULATIONS BY ADDING CHAPTER 123, VACATION RENTALS

WHEREAS, the Village of Frankfort is an Illinois non-home rule municipal corporation, Will and Cook Counties, Illinois, organized and operating under the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq*; and

WHEREAS, the Village has the authority to adopt ordinances and to promulgate rules and regulations that pertain to its government and affairs and that protect the public health, safety, and welfare of its citizens; and

WHEREAS, vacation rentals possess certain specific concerns that can cause a negative impact on surrounding properties and the Village as a whole such as life-safety concerns, quality of neighborhood concerns, security concerns, fire-safety concerns, and tax revenue concerns; and

WHEREAS, the Village desires to promote the public health, safety, and welfare by licensing and regulating the operation of vacation rentals within the Village of Frankfort; and

WHEREAS, the President and Board of Trustees have determined that establishing local regulations and licensing of vacation rentals is in the best interest of the Village of Frankfort and it is further believed to be necessary and appropriate to incorporate a new Chapter entitled *Vacation Rentals* to the Village of Frankfort Code of Ordinances under Title XI.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. ADDITION OF CHAPTER 123, VACATION RENTALS

That Title XI: Business Regulations of the Village of Frankfort Code of Ordinances is hereby amended by the addition of Chapter 123, Vacation Rentals, as follows:

CHAPTER 123: VACATION RENTALS

- § 123.01: Definitions
- § 123.02: License
- § 123.03: Application; Information Required
- § 123.04: Departmental Duties; License Requirements And Standards
- § 123.05: License Issuance And Renewal; Prohibitions
- § 123.06: Legal Duties
- § 123.07: Prohibited Acts
- § 123.08: Regulations

- § 123.09: License Revocation; Three-Year Wait For New License
- § 123.10: Penalty

123.01 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

GUEST. A person or persons renting or occupying a vacation rental guestroom overnight and having a permanent residence at an address other than the address of the vacation rental being temporarily rented or occupied. A vacation rental guest may not stay overnight in any portion of the vacation rental not designated as a guestroom.

GUESTROOM. A room within a dwelling unit, forming a separate area, used, or intended to be used for sleeping. A guestroom does not include kitchens, bathrooms, hallways, closets or common areas such as living rooms, family rooms and dining rooms not defined as a bedroom under the International Property Maintenance Code, or the applicable code adopted by the Village.

MANAGER. An authorized agent of the owner of a vacation rental who is located within a thirty (30) mile radius of the vacation rental and is available to promptly respond to complaints at all times during the rental period.

OWNER. An individual with at least a one percent (1%) ownership interest in the property on which the vacation rental is located.

VACATION RENTAL. A dwelling unit or portion thereof located in a Historic H-1 Zoning District and offered for overnight lodging on a temporary basis to paying guests, no more than ten (10) guests maximum, for a period not to exceed fourteen (14) consecutive days to any person other than a member of the owner's family. Vacation rental owners may, but are not required to, live in the vacation rental during the periods when the property is rented. The term "vacation rental" shall not include hotels or motels or bed and breakfast establishments, nor shall it include "house swapping" where a homeowner switches or trades homes with another homeowner in a different town for a short period of time for a vacation and no money is exchanged.

123.02 LICENSE.

A Village license is required to operate a vacation rental, as defined in this chapter, within the Village. The license year for the Village shall commence on May 1 of each year and shall terminate on April 30 of the following year, where no provision to the contrary is made. The application fee shall be \$200.00 and as subsequently amended from time to time by the President and Board of Trustees. The annual license fee shall be \$100.00 and as subsequently amended from time to time by the President and Board of Trustees with the initial fee being pro-rated for the initial term of licensure. A vacation rental license will not be issued unless a special use in the

Historic H-1 Zoning District following a public hearing, consistent with the requirements of the Village's Zoning Ordinance, has been issued for the property in which the vacation rental is to operate. No license shall be transferable to another person or location or to other vacation rental establishments.

123.03 APPLICATION; INFORMATION REQUIRED.

An application for, and, if requested, renewal of, a business license to engage in the business of vacation rental shall be accompanied by the following information:

- (A) A certificate of insurance, as required under section 123.06 of this chapter;
- (B) A statement as to whether the applicant or any other person with an ownership interest in the property on which the vacation rental is located, including co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation, has ever been convicted in any jurisdiction of any felony or crime that is rationally related to the individual's fitness to operate a vacation rental. Applicant authorizes the Village to conduct a background check on the applicant, owners and managers;
- (C) Proof that the applicant is an owner of the property on which the vacation rental is located, and names, addresses, ownership interests and current contact information, including phone and e-mail address, for owner and all co-owners, partners, members, managers, and officers;
- (D) If the vacation rental property is subject to regulations or restrictions by a homeowners' association, condominium association or neighborhood association, applicant must provide documentary evidence that the applicable association or board has approved the use of the property as a vacation rental; and
- (E) For renewals only, a summary of the number of nights the vacation rental was rented and the number of guests who stayed at the vacation rental during the previous 12-month period.

123.04 DEPARTMENTAL DUTIES; LICENSE REQUIREMENTS AND STANDARDS.

- (A) The Building Department shall inspect each vacation rental before any initial vacation rental license is issued for compliance with all applicable Village Code requirements and Village and State regulations, as time to time amended. Thereafter, the Building Department shall inspect the vacation rental at least once every two (2) years. Vacation rentals shall be subject to compliance inspections by staff members of the Village's Police and Building Departments at any time upon reasonable notice. An inspection fee of \$50.00 will be charged for the initial inspection and an inspection fee of \$50.00 for each subsequent and bi-annual inspection. In order for a license to issue, a vacation rental must comply with all Village Code requirements and Village and State regulations, as time to time amended.

(B) No vacation rental licensee shall:

1. Rent any vacation rental for any period of time shorter than twenty-four (24) consecutive hours;
2. Rent any vacation rental more than once within any consecutive twenty-four (24) hour period measured from the commencement of one rental to the commencement of the next;
3. Rent successively to any guest;
4. Rent the property as a vacation rental for more than sixty (60) days in a license year;
5. Serve or otherwise provide to any guest any food or beverage other than food or beverages that are pre-packaged and sealed by the manufacturer for individual serving; or
6. Cause or permit, by action or failure to act, the vacation rental or its use to suffer from and/or create any violation of this Code.

(C) Every vacation rental licensee shall post, in a conspicuous place within the vacation rental, the name, and telephone number of the licensee or his or her authorized agent, an emergency exit floor plan, and location of fire and safety equipment.

(D) Every vacation rental licensee or their manager must be located within a thirty (30) mile radius of the vacation rental and must be available to promptly respond to complaints at all times during the rental period. The name, address, phone number and e-mail address of the licensee and their manager must be submitted to the Village and Police Department.

(E) The kitchen shall be cleaned and sanitized between guests and all opened or perishable food and beverages shall be discarded. All dishes, utensils, pots, pans, and other cooking utensils shall be cleaned and sanitized between guests. The bathrooms shall be cleaned and sanitized between guests.

(F) Vacation rental licensees shall change supplied bed linens and towels therein at least once each week, and prior to the renting of any guestroom to any new guest. The licensee shall be responsible for the maintenance of all supplied bedding in a clean and sanitary manner.

(G) Any overnight parking for vacation rentals must be accommodated on the site or in another approved location, and parking, including overnight parking, shall be in conformance with this Code and Zoning Ordinance requirements.

(H) Applicant shall compile a list of guests and their associated vehicle license plate numbers upon check-in and make such information available to the Police Department at any time upon request.

123.05 LICENSE ISSUANCE AND RENEWAL; PROHIBITIONS.

No business license to engage in vacation rental shall be issued to:

- (A) Any applicant, if such applicant or any other person with an ownership interest in the property on which the vacation rental is located, including co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation, has ever been convicted in any jurisdiction of any felony that is rationally related to the individual's fitness or capacity to operate a vacation rental.
- (B) Any applicant whose license to operate a vacation rental or similar establishment at any location within or outside the Village has been revoked for cause within the last three (3) years.
- (C) Any applicant where the applicant or any other person with an ownership interest in the property on which the vacation rental is located, including co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation, is in default to the Village regarding payment of water and sewer charges, special taxes or assessments, parking and other fees, or where there are delinquent property taxes owed to Will or Cook Counties on the property on which the vacation rental is located or any other property owned within the Village by the applicant or co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation.
- (D) Any applicant who is applying to operate a vacation rental on a property which has not been issued a special use permit in the Historic H-1 Zoning District following a public hearing, consistent with the requirements of the Village's Zoning Ordinance.

123.06 LEGAL DUTIES.

Each vacation rental licensee shall be required to:

- (A) Provide with the application an insurance certificate indicating that the applicant and subject property is covered by liability insurance with limits of not less than one million dollars (\$1,000,000.00) per occurrence, for bodily injury and property damage arising in any way from the issuance of the license. Each policy of insurance required under this subsection shall:
 - 1. Be issued by an insurer authorized to insure in the State of Illinois;
 - 2. Include a provision requiring thirty (30) days' advance notice to the Village prior to cancellation or lapse of the policy. The licensee shall maintain the insurance required under this section in full force and effect for the duration of the license period for each vacation rental location. A single violation of this subsection shall result in suspension or revocation of the license;

- (B) Maintain current guest registration records which contain the following information about each guest: the guest's name, address, signature, room assignment, dates of accommodation and names of all occupants. The registration records shall be kept on file for three (3) years and, upon request by any authorized Village official, shall be made available for inspection by such Village official during regular business hours or in case of an emergency;
- (C) Comply with all applicable Village Code requirements and Village and State regulations, as time to time amended;
- (D) Conspicuously display a current Village vacation rental license within the vacation rental with the name and telephone number of the licensee or his or her manager, an emergency exit floor plan and location of fire and safety equipment. The license should be available for inspection by any authorized Village official upon request; and
- (E) Fulfill all requirements of the Illinois Department of Revenue for operation of a vacation rental, including the payment of any applicable taxes.

123.07 PROHIBITED ACTS.

It shall be unlawful for any vacation rental licensee to:

- (A) Exceed the scope of the license;
- (B) Allow occupancy of the property where the vacation rental or any part thereof is situated to exceed the following occupancy limits:
 1. Guests may only stay overnight in a guestroom as defined in this chapter and as provided for in the Village's Zoning Ordinance.
 2. Authorized persons occupying vacation rental property while a vacation rental is taking place are a maximum of ten (10) guests total and their children age twelve (12) and under plus the owner/licensee, co-owners, manager, and owner's family members.
 3. No pets other than service animals shall be allowed on the property other than those belonging to the owner/licensee.
- (C) Rent any vacation rental for more than fourteen (14) consecutive days to any guest. A guest may not successively rent or occupy the vacation rental to exceed fourteen (14) consecutive days;
- (D) Rent any portions of the vacation rental concurrently to separate guests;

- (E) Hold out or utilize a vacation rental property as a venue for weddings, conferences, parties, or other events, regardless of the number of attendees;
- (F) Erect any external signage regarding the vacation rental;
- (G) Allow any disruptive activity which would disturb the tranquility of the neighborhood;
- (H) Permit any criminal activity or public nuisance, including excessive noise, to take place on the property. If a licensee knows or suspects that any criminal activity or public nuisance is taking place on or immediately adjacent to the property, the licensee shall immediately notify the Police Department of such fact and cooperate with the Police Department in any investigation that may ensue;
- (I) Knowingly make any false or incomplete or misleading statement about the licensee's criminal background, or the criminal background of any other person with an ownership interest, in connection with any license application submitted pursuant to this chapter; or
- (J) Be in violation of any other requirement of this chapter, the Code or Zoning Ordinance, or any rules or regulations promulgated under any of the foregoing.

123.08 REGULATIONS.

The Village Administrator shall have the authority to promulgate rules and regulations necessary to implement the requirements of this chapter.

123.09 LICENSE REVOCATION, THREE-YEAR WAIT FOR NEW LICENSE.

If a vacation rental license is revoked for any cause, no license shall be granted to any person for the operation of a vacation rental at the property described in the revoked license, or to the revoked licensee, and his or her co-owner, or the partners, members, managers, or officers of any owning partnership, limited liability company or corporation, for a period of three (3) years from the date of revocation.

123.10 PENALTY.

Any one violation of this chapter, or any rules or regulations promulgated under this chapter may result in fines, suspension, or revocation. A violation of any section of this chapter is subject to a fine of not less than fifty dollars (\$50.00) nor more than seven hundred fifty dollars (\$750.00) for each offense. Each day that a violation continues shall constitute a separate and distinct offense. In addition to any other fines or penalties, the Village Administrator shall have the authority to suspend or revoke a vacation rental license for violation of this chapter after notice and opportunity to be heard with a right to appeal to the President whose decision is final.

SECTION 2. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or

applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 3. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage and approval and publication as provided by law.

PASSED this __ day of ____, 2021; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA L. BROW	___
DANIEL ROSSI	___	EUGENE S. ARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of __ 2021

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

ORDINANCE NO. 33XX

**AN ORDINANCE ANNEXING CERTAIN LAND TO
THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS
(0.667 ACRE PARCEL – 21060 S. 84TH AVENUE - PIN: 19-09-23-100-008-0000)**

WHEREAS, American Infrastructure Finance LLC, a North Dakota Limited Liability Company, 7251 S. 42nd Street, P.O. Box 5926, Grand Forks, North Dakota 58206, the record fee title owner of the land described herein, has filed a petition to voluntarily annex such land to the Village of Frankfort, Will and Cook Counties, Illinois; and

WHEREAS, no electors reside on such land; and

WHEREAS, such land is contiguous with the corporate limits of the Village of Frankfort, Will and Cook Counties, Illinois; and

WHEREAS, such land is currently zoned AG-1 under Will County Zoning Ordinance, and the Village of Frankfort shall, immediately after the annexation of the land, classify and zone the land under the E-R Estate Residential District of the Village of Frankfort Zoning Ordinance as amended from time to time; and

WHEREAS, all notices and all other requirements imposed by statute including those imposed by Division 1, Article 7 of the Municipal Code of 1961 (65 ILCS 5/7-1-1 et seq. [2012]) have been met; and

WHEREAS, the Board of Trustees of the Village of Frankfort has determined such annexation is in the best interest of the Village of Frankfort.

THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

Hereby the following described land is annexed to the Village of Frankfort, Illinois, to wit:

PIN: 19-09-23-100-008-0000

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 23, IN TOWNSHIP 35 NORTH AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, 2049 FEET SOUTH OF THE NORTHEAST CORNER THEREOF; THENCE WEST 200 FEET AT RIGHT ANGLES TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23; THENCE SOUTH 247.95 FEET PARALLEL TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23 TO THE CENTER OF LINCOLN HIGHWAY; THENCE NORTHEAST ALONG THE CENTER OF LINCOLN HIGHWAY, 203.8 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 209 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS. EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER CONDEMNATION CASE NO. 10 ED 65.

SECTION 2. RECORDING OF ORDINANCE OF ANNEXATION

The Clerk of the Village of Frankfort shall record a certified copy of this Ordinance together with a Plat of Annexation with the Office of the Recorder of Deeds of Will County, Illinois, and file a certified copy of this Ordinance with Plat of Annexation with the Office of the County Clerk of Will County, Illinois.

SECTION 3. NOTICES TO GOVERNMENTAL ENTITIES

That the Clerk of the Village of Frankfort shall notify all other governmental entities of this Annexation as is required by law.

SECTION 4. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 5. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 6. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2021; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI _____

MARGARET M. FARINA _____

MICHAEL LEDDIN _____

JESSICA PETROW _____

DANIEL ROSSI _____

EUGENE SAVARIA _____

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this ___ day of _____, 2021.

KEITH COLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Draft

MAIL TO & PREPARED BY:
VILLAGE CLERK
VILLAGE OF FRANKFORT
432 W. NEBRASKA ST
FRANKFORT, IL 60423
(815) 469-2177

VILLAGE OF
FRANKFORT
EST • 1855

Memo

To: Committee of the Whole
From: Christopher Gruba, Senior Planner
Date: August 16, 2021
Re: Annexation – 21060 S. 84th Ave

Village staff has received an application for annexation of the property located at 21060 S. 84th Ave, at the intersection with Route 30. The parcel is 0.667 acres and borders the Village to the north, west and south. A single-family home appears on aerial imagery between 1961 and 2013 but has since been demolished and the property is now vacant.

Currently, no development plans have been submitted and no request has been made to rezone the property. Per the Zoning Ordinance, all property annexed into the Village, unless otherwise requested, shall be automatically assigned a zone designation of E-R (Attached Residential). The adjacent 2.52-acre property bordering the subject property is zoned E-R. The applicant intends to eventually combine the subject 0.667-acre property with the adjacent 2.52-acre property and develop the resulting 3.187-acres for either a commercial retail use or for attached townhomes/condo units. Either of these options would require a future submittal for rezoning and site plan review and therefore review by the Planning Commission and final action by the Village Board.

The Comprehensive Plan classifies the subject property (and the adjacent 2.52-acre property) as single-family residential. However, it should be noted that the property, if combined with the adjacent 2.52-acre property, would be bordered by a 215' wide ComEd right-of-way to the west and by a public utility building to the north (Ameritech). The property is also located at an intersection along Route 30, which is listed as a "regional arterial" road in the Frankfort Transportation Master Plan. For these reasons, the property may be better suited for commercial or attached residential development. Again, the request before the Committee at this time is only to annex the 0.667-acre property.

Annexation of property to the Village would only require the creation of an ordinance "annexing certain land into the Village". As the applicant is not proposing a rezoning or site plan, ordinances for rezoning or an annexation agreement are not needed at this time. The ordinance to annex land into the Village will require review by the Committee of the Whole and final action by the Village Board.

Please see the attached documentation:

- Cover letter from Assurity Finance & Development, LLC, dated July 21, 2021
- Petition for Annexation
- Plat of Annexation
- Plat of Survey
- Quit Claim Deed and proof of ownership
- Copy of Title Insurance

Affirmative Motion

Recommend to the Village Board annex certain land into the Village of Frankfort, as presented, for the property located at 21060 S. 84th Ave.

STATE OF ILLINOIS)
) SS
COUNTY OF WILL)

**BEFORE THE CORPORATE AUTHORITIES OF
THE VILLAGE OF FRANKFORT, ILLINOIS**

IN THE MATTER OF:)

THE ANNEATION OF CERTAIN)
TERRITORY TO THE VILLAGE OF)
FRANKFORT, WILL COUNTY,)
ILLINOIS.)

PETITION FOR ANNEXATION

TO THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF
FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS.

NOW COME the Petitioner(s) who request(s) the annexation of the Territory
hereinafter described to the Village of Frankfort, Will and Cook Counties, Illinois, and states:

1. That the Territory requested to be annexed to the Village of Frankfort is described in
Exhibit A which is attached hereto and by reference, specifically made a part hereof.
2. That the Petitioner(s) are all of the owners of record of all land within the Territory to
be annexed.
- ~~3. That the Petitioner(s) are at least fifty one (51%) percent of the electors residing on
the Territory.~~

or

That no electors reside on the Territory.

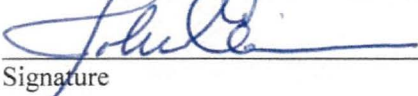
(Strike One)

4. That the Territory is not within the corporate limits of any municipality nor is the Territory or any part thereof the subject of any petition or court proceeding for annexation to any other municipality.

WHEREFORE, the Petitioner(s) request(s) the Village of Frankfort to annex the Territory. DATED at Frankfort, Will County, Illinois, this 15th day of JULY, 2021.

Petitioner(s)
(Property Owners)
(Not in Land Trust)

America Infrastructure Finance, LLC



Signature

John D. Erickson, Managing Member

Printed Name

1697 S. 42nd Street, P.O. Box 5926

Grand Forks, ND 58206-5926

Printed Address

Petitioner(s)
(Electors residing on property)

Signature

Printed Name

Printed Address

Signature

Printed Name

Printed Address

Signature

Printed Name

Printed Address

Signature

Printed Name

Printed Address

Signature

Printed Name

Printed Address

Signature

Printed Name

Printed Address

Signature

Printed Name

Printed Address

Petitioner
(If Property Owner a Land Trust)

(Complete Name of Trustee and Trust
Identification)

By: _____
(Signature of Trust Officer and Title)

Draft

STATE OF NORTH DAKOTA)
) SS
COUNTY OF GRAND FORKS)

VERIFICATION
(Owners – Non – Trustee/Electors)

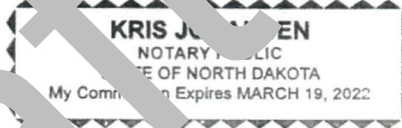
The undersigned being first duly sworn upon oath, deposes and says they have read the foregoing Petition to which they have in their above-named capacity subscribed, know the contents thereof and that the same is true to the best of their knowledge and belief.

America Infrastructure Finance, LLC

by: [Signature]
John D. Erickson, Managing Member

Subscribed and sworn to before me this 26th
day of August, 2021.

[Signature]
Notary Public



STATE OF ILLINOIS)
) SS
COUNTY OF WILL)

VERIFICATION
(Trustees)

The undersigned being first duly sworn upon oath, deposes and says ___he signed the foregoing Petition, not individually but solely on behalf of and as the representative of the afore described Trustee, which is the record title owner of the Territory sought to be annexed, knows the contents thereof, and that the same is true to the best of the Trustee’s information and belief.

Subscribed and sworn to before me this _____
day of _____, 20____.

Notary Public

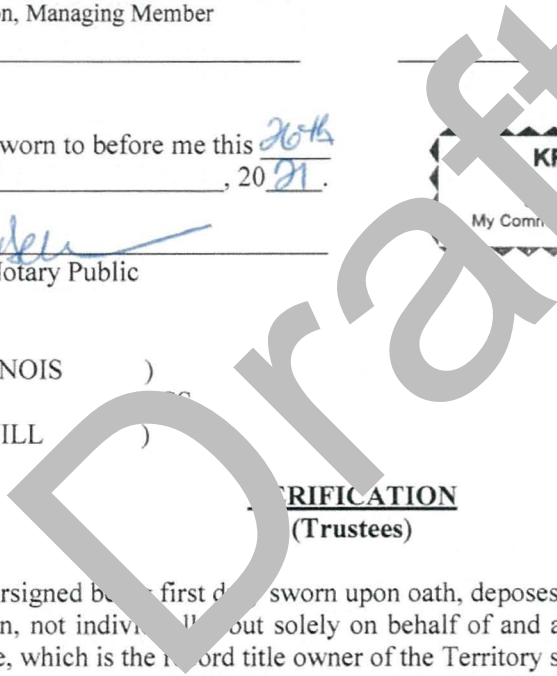


EXHIBIT A

Legal Description

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 23, IN TOWNSHIP 35 NORTH AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, 2049 FEET SOUTH OF THE NORTHEAST CORNER THEREOF; THENCE WEST 200 FEET AT RIGHT ANGLES TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23; THENCE SOUTH 247.95 FEET PARALLEL TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23 TO THE CENTER OF LINCOLN HIGHWAY; THENCE NORTHEAST ALONG THE CENTER OF LINCOLN HIGHWAY, 13.8 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 209 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER CONDEMNATION CASE NO. 10 ED 65.

PID: 19-09-23-100-008-0000

Property Address: 21060 S 84th Ave, Yorkfort, Illinois 62423

PLAT OF ANNEXATION

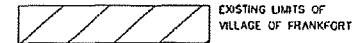
LEGAL DESCRIPTION

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 23, IN TOWNSHIP 35 NORTH AND IN RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, 2049 FEET SOUTH OF THE NORTHEAST CORNER THEREOF; THENCE WEST 200 FEET AT RIGHT ANGLES TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23; THENCE SOUTH 247.95 FEET PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23 TO THE CENTER OF LINCOLN HIGHWAY; THENCE NORTHEAST ALONG THE CENTER OF LINCOLN HIGHWAY, 203.8 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 209 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER CONDEMNATION CASE NO. 10 ED 65.

LEGEND



EXISTING LIMITS OF VILLAGE OF FRANKFORT

STATE OF ILLINOIS)
COUNTY OF WILL)SS

KENNETH J. RYAN
PROFESSIONAL LAND SURVEYOR
SHOREWOOD, ILLINOIS

I, KENNETH J. RYAN, SURVEYOR, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN NO. 184-001251, HEREBY CERTIFIES THAT THIS PLAT WAS PREPARED UNDER MY DIRECTION, AND BASED ON EXISTING SURVEY INFORMATION, THAT THE PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE ANNEXED LEGAL DESCRIPTION.

GIVEN UNDER MY HAND AND SEAL THIS 22nd DAY OF July, 2021.

ILLINOIS PROFESSIONAL LAND SURVEYOR (MY LICENSE EXPIRES 11-30-2022)
TO ENSURE AUTHENTICITY OF THIS DRAWING, IT MUST BEAR THE EMBOSSED SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO PREPARED THIS DRAWING

REVISIONS

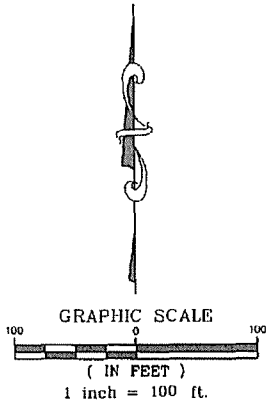
No.	DATE	DESCRIPTION	BY



Ruettinger, Tonelli & Associates, Inc.

Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants
129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404
PH. (815) 744-6600 FAX (815) 744-0101
website: www.ruettingertonelli.com

DATE: 07/21/2021	SCALE: 1" = 100'	DRAWN BY: TW	CHECKED BY: KP
PREPARED FOR: AMERICA INFRASTRUCTURE FINANCE, LLC c/o ASSURITY FINANCE & DEVELOPMENT, LLC 7251 S. 42nd STREET / P.O. BOX 5926 GRAND FORKS, ND 58206-5926		FIELD BOOK: PAGE: DRAWING No.:	
DRAWING TITLE: PLAT OF ANNEXATON			121-0428-AX



E. line, NW 1/4, Sec. 23-35-12

Point of Beginning

S89°41'15"W
167.00'

200'

P.I.N. 09-23-100-008

HEREBY ANNEXED
TO THE VILLAGE
OF FRANKFORT
0.667 ACRES
(more or less)

N08°45'W
193.98'

247.95'

141.81'

N07°48'W
209'

2049.00'
S007°45'E

SECTION CORNER
14 14
23 23
35 35

EXCEPTED CONDEMNATION
CASE NO. 10 ED 65

75.78'
N81°05'22"E

100'

N65°05'26"E

LINCOLN (U.S. RTE. 30)

S. line, NW 1/4, Sec. 23-35-12-0

SECTION CORNER
23 23
35 35

ANY DISCREPANCY IN MEASUREMENT DISCOVERED UPON THE GROUND SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT, DEED, CONTRACTS AND ZONING ORDINANCES

RESOLUTION NO. 21-XX

A RESOLUTION AUTHORIZING THE EXECUTION OF A CONTRACT WITH ALL AMERICAN EXTERIOR SOLUTIONS FOR THE REPLACEMENT OF THE ROOF OF THE WELL FACILITIES ON THE JACKSON CREEK PARK SITE PROPERTY

WHEREAS, the Village of Frankfort and the Frankfort Park District entered into an Intergovernmental Agreement for the location of two Village well facilities on the Jackson Creek Park site property through Ordinance No. 2222; and

WHEREAS, the roof of the facilities requires replacement, and the Village has the sole responsibility for the maintenance of the building per the Intergovernmental Agreement and Grant of Permanent Exclusive Easement; and

WHEREAS, the Village developed specifications for the replacement of the roof and solicited competitive bids from qualified contractors; and

WHEREAS, the Village of Frankfort received six (6) bid proposals for the roof replacement project and the low qualified bid of \$28,250.00 was submitted by All American of Lake Zurich, Illinois; and

WHEREAS, at its August 16, 2021 meeting, the Committee of the Whole of the Village of Frankfort reviewed the bid proposals submitted for the project and forwarded a recommendation to the Village Board to accept the low bid and award the contract to All American, in the amount of \$28,250.00; and

WHEREAS, the President and Board of Trustees of the Village of Frankfort have considered the contract and determined that it is in the best interests of the Village and its residents to enter into the contract.

NOW, THEREFORE BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

That the Village President hereby is authorized and directed to execute, on behalf of the Village of Frankfort, a contract with All American Exterior Solutions for the replacement of the roof of the well facilities (Wells 11/12) on the Jackson Creek Park site property, in an amount not to exceed \$28,250.00, and that the Village Clerk is authorized and directed to attest to the President's signature.

PASSED AND APPROVED this 20th day of September, 2021.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK



August 5, 2021

Village of Frankfort
432 W. Nebraska Street
Frankfort, IL 60423

**Project: Roof Replacement 22831 Wolf Rd Frankfort
Jackson Creek Park**

Attn: Zach Brown

Enclosed is the break down of the specs to our base bid, any questions please take a minute to call me and I will be more than happy to address them.

ROOF REPLACEMENT SCOPE OF WORK

1. Provide certified payroll with Bar & Davis wages.
2. OSHA 100% fall protection safety requirements will be followed.
3. Provide plywood and tarp to protect buildings and grounds.
4. Provide safety flags around all dumpsters, loaders and work areas.
5. Remove 1 layer of existing shingle roofing, gutters system to remain.
(Shingles adhered to any existing ice and water shield will remain or the decking replaced)
6. Replace damaged decking at the rate of (\$ 5.00 per square foot)
7. Provide and install **GAF Weather Watch** ice & water shield per the following:
2 - 36" course along eaves (24" inside warm wall per code)
8. Provide and install 1 layer of synthetic roofing underlayment on remaining roof deck.
9. Provide and install aluminum drip edge along gable ends.
10. Provide and install **GAF ProStart** seal tab starter course on eaves.
11. Provide and install **GAF Timberline HDZ** 40 year warranted laminated shingles.
12. Provide and install **GAF Seal-A- ridge** cap shingle.
13. Reflash 4 exhaust vent hoods.
14. Provide and install new lead plumbing vent flashings.
15. Provide and install new pre-finished **GAF IR65** slant back colored roof vents at existing locations.
16. Magnetically sweep work area for loose nails.
17. Clean up and haul away all roofing debris.
18. Provide 5-year workmanship warranty.



Cost for this work will be: ----- \$ 28,250.00

Exclusions

1. Sales Tax
2. Payment & Performance Bonds
3. Gutters
4. Wood decking
5. Items not Specifically Listed Above

This Bid is good for fourteen (14) days because of potential price increases by material suppliers, labor and other factors. All American will only hold prices in this bid for more than thirty (30) days, only if, as an express condition precedent, a signed purchase order or contract is tendered to All American, in writing within thirty (30) days of the date of this bid. At All American's sole option, All American can re-configure this Bid and/or withdraw this Bid, if not accepted in writing within thirty (30) days.**

Dale Pole
Vice president
All American Exterior Solutions

VILLAGE OF
FRANKFORT
EST • 1855

Memo

To: Committee of the Whole
From: John E. Craven - Utilities Foreman
Date: August 16, 2021
Re: Roof Replacement - Wells 11/12

In 2007 the Village of Frankfort constructed well 11/12 and the associated water treatment plant located at 22801 S. Wolf Road within Jackson Creek Park. The facility, although owned by the Village also houses bathrooms for the Frankfort Park District. As per an intergovernmental agreement with the Park District the Village has the sole responsibility for maintenance of the building while the Park District is responsible for maintenance of the surrounding land. The building stands alone at this location exposed to all the elements. Over the last several years Village staff have occasionally noticed shingles laying in the surround park. The facility was recently inspected by a local roofing contractor who noted missing shingles along with wind and hail damage and ultimately recommended the roof be replaced entirely.

On August 6th, staff received bids from six (6) contractors for the replacement of the roof at Well 11/12. A summary of the bids is provided below. The cost for this project is included in the FY2021/ 2022 budget.

Contractor	Bid Amount
All American, Lake Zurich, IL	\$28,250
Filotto Roofing, Inc., Crest Hill, IL	\$28,780
J & F Chiattello Construction, Inc., Dyer, IN	\$28,875
Red Feather Group Co., Glenview, IL	\$29,770
SealTight Exteriors Inc., Steger, IL	\$30,600
Tori Construction, Alsip, IL	\$123,960

Motion

Staff respectfully requests Committee recommendation to enter into an agreement with All American for the replacement of the roof at Well 11/12 in the amount of \$28,250.00.



Draft

S WOLF RD

S DUBLIN CT

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus, DigitalGlobe, GeoEye, IGN, AerGRID, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Wells 11 / 12

ORDINANCE NO. 33XX

AN ORDINANCE AUTHORIZING THE SALE OF CERTAIN SURPLUS PROPERTY OWNED BY THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS

WHEREAS, the Village of Frankfort is authorized by Section 11-76-4 of the Illinois Municipal Code to sell and/or scrap surplus property no longer necessary or useful to the Village; and

WHEREAS, at its September 7, 2021 meeting, the Committee of the Whole of the Village of Frankfort recommended to the President and Board of Trustees the disposal of two surplus vehicles under Village jurisdiction; and

WHEREAS, the President and Board of Trustees of the Village of Frankfort accepted said recommendations of the Committee and determined that the surplus vehicles were no longer useful in the daily operations of the Village of Frankfort.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS AS FOLLOWS:

SECTION 1. SALE OF THE VILLAGE OF FRANKFORT'S SURPLUS PROPERTY

That the Village Administrator Board is hereby authorized to take all reasonable and necessary steps to effect the sale and/or scrapping of the surplus property described below.

Year	Make	Model	VIN	Mileage
2014	Chevrolet	Caprice	6G3NS5R3XEL926439	123,569
2015	Ford	Explorer	1FM5K8AR5FGB61368	141,769

SECTION 2. AUTHORIZATION TO ADVERTISE

The Village Administrator is hereby authorized to publicly advertise for the sale, scrapping, or donation of the aforementioned surplus property owned by the Village of Frankfort.

SECTION 3. TERMS OF SALE

All surplus property is sold "as is" without express, written or implied warranties or representations. Terms of sale are cash with transfer charges, if any, to be paid by the successful bidder.

SECTION 4. AUTHORIZATION TO TRANSFER DOCUMENT

If necessary, the Village President hereby authorizes and directs the Village Administrator or Designee to sign any documents to transfer ownership of the aforesaid personal property to the successful bidder.

SECTION 5. REPEALER

That all other ordinances or parts or provisions of ordinances of the Village of Frankfort in conflict with any of the provisions of this Ordinance shall be, and the same are hereby repealed.

SECTION 6. SEVERABILITY

In the event any word, phrase, clause, sentence, paragraph, provision, or section of this Ordinance or any portion thereof shall be held to be unconstitutional, unenforceable, or void, the same shall not affect the validity or enforceability of any remaining words, phrases, clauses, sentences, paragraphs, provisions, or sections thereof.

SECTION 7. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2021; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. MARINA	___
MICHAEL LEDDIN	___	JENNIFER PERROW	___
DANIEL ROSSI	___	LUIGI SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2021.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

VILLAGE OF
FRANKFORT
INC • 1879

Memo

To: Committee of the Whole
From: D.C. Keegan 
Thru: Chief Chelepis 
Date: September 7, 2021
Re: Squad Disposal

I am requesting the disposal of two squad cars. The vehicles were previously assigned to the patrol division but were taken out of service once replaced. Both vehicles have been stripped of police markings and equipment. Some mechanical parts were taken from these vehicles to repair other squads. I would recommend the vehicles be sent to Martin Auto Auction in Clinton, IL.

Year	Make	Model	VIN	Mileage
2014	Chevy	Caprice	6G3NS13XEL9261	123,569
2015	Ford	Explorer	1M5K8A1EFG61368	141,769

Motion: Staff is respectfully requesting a motion to dispose of two squad cars previously assigned to the patrol division. The disposal would be via the Martin Auto Auction..

RESOLUTION NO. 21-XX

A RESOLUTION AUTHORIZING THE EXECUTION OF A CONTRACT WITH AUSTIN TYLER CONSTRUCTION FOR VARIOUS WATER MAIN IMPROVEMENTS

WHEREAS, each year the Utilities Department undertakes a Water Main Replacement Program (“Program”) in an effort to improve reliability and water quality in the Village’s water distribution system; and

WHEREAS, the Village’s Annual Budget for FY 2021/2022 includes funding in the Sewer & Water Capital Fund for the Program; and

WHEREAS, this year’s Program includes various water main improvements (“Project”) on Nebraska Street, South Butternut Circle, Hornbeam Court, Catalpa Court, and Leslie Lane; and

WHEREAS, Robinson Engineering reviewed the six bid proposals submitted for the above referenced Project and recommended the contract be awarded to the low bidder, Austin Tyler Construction, Inc., in the amount of 1,488,488.73 and

WHEREAS, at its September 7, 2021 meeting, the Committee of the Whole of the Village of Frankfort reviewed the bid proposals for the Project and forwarded a recommendation to the President and Board of Trustees to accept the low bid and award the contract to Austin Tyler Construction, Inc.; and

WHEREAS, the President and Board of Trustees of the Village of Frankfort have considered the contract and determined that it is in the best interests of the Village and its residents to enter the contract.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

That the Village President and is hereby authorized and directed to execute, on behalf of the Village of Frankfort, a contract with Austin Tyler Construction, Inc., for various water main improvements on Nebraska Street, South Butternut Circle, Hornbeam Court, Catalpa Court, and Leslie Lane, in the amount of \$1,488,488.73, and that the Village Clerk is authorized and directed to attest to the President’s signature.

PASSED AND APPROVED this 20th day of September, 2021.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

VILLAGE OF
FRANKFORT
EST • 1855

Memo

To: Committee of the Whole
From: Zachary Brown, Utilities Director
Date: September 7, 2021
Re: 2021 Water Main Replacement Program

Each year the Utilities Department undertakes a watermain replacement program in an effort to improve reliability and water quality in the Village's water distribution system. The FY 2021 / 2022 program includes projects in three separate locations including South Butternut Trail (*Butternut Creek Woods*) Leslie Lane (*Tanglewood*), and Nebraska Street (*see attached location maps*).

On September 2, 2021, staff received bids from six (6) contractors for the watermain replacement work. The Engineer's opinion of probable construction cost for the project was \$1,533,144.70. A summary of the bids is provided below:

Contractor	Bid Amount
Austin Tyler Construction, Inc., Elwood, IL	\$1,488,488.73
Peter Ferro Construction Co., Joliet, IL	\$1,555,152.11
Lennick & Sons Excavating, Crest Hill, IL	\$1,620,917.00
Swallow Construction Co., West Chicago, IL	\$1,675,887.09
Robinson's Inc., Joliet, IL	\$1,741,301.34
Steve Spiess Construction, Inc., Frankfort, IL	\$1,743,091.79

Robinson Engineering has reviewed each of the bids and recommends award of the contract to Austin Tyler Construction in the amount of \$1,488,488.73. Robinson's recommendation of award letter is attached for reference. The cost for this work is included in the FY2021 / 2022 budget under 68.492.5163 Water Lines – Transmission.

Motion

Recommend the Village Board award the contract for the FY 2021 / 2022 watermain replacement projects to Austin- Tyler Construction in the amount of **\$1,488,488.73.**



September 2, 2021

To: Village of Frankfort
432 West Nebraska Street
Frankfort, IL 60423

Attn: Mr. Zachary Brown, AICP, CFM – Director of Utilities

RE: **Various Water Main Improvements (FY 2022)**
Contract Award Recommendation
(REL Project #21-R0607)

Dear Mr. Brown:

We have reviewed the bids received on September 2, 2021 for the referenced project and find them to be as follows:

Contractor	Total Bid	Proposal Guarantee
Austin Tyler Construction Inc., Elwood, IL	\$1,488,488.73	Bid Bond
P.T. Ferro Construction Co, Joliet, IL	\$1,535,144.70	Bid Bond
Len Cox & Sons Excavating, Crest Hill, IL	\$1,620,917.00	Bid Bond
Swallow Construction Corp., West Chicago, IL	\$1,738,887.09	Bid Bond
Airy's Inc., Joliet, IL	\$1,741,800.34	Bid Bond
Steve Spiess Construction Inc., Frankfort, IL	\$1,743,011.79	Bid Bond
<i>Engineer's Estimate</i>	\$1,533,144.70	

As seen on the enclosed itemized bid tabulation, the low bid is approximately 2.9% below the estimated cost of \$1,533,144.70. We therefore recommend that the Village of Frankfort award the contract for the Various Water Main Improvements (FY 2022) to Austin Tyler Construction Inc. in the amount of One Million Four Hundred Eighty-Eight Thousand Four Hundred Eighty-Eight Dollars and Seventy-Three Cents (\$1,488,488.73).

If you have any questions, or need additional information, please contact me at your convenience.

Very truly yours,

Van Calombaris, PE
Vice President
(815) 412-2014
vcalombaris@reltd.com

R:\2020-2024\2021\21-R0607.FF\Bid and Contract Documents\21-R0607 Award Recommendation Letter.docx

Encl.

Local Public Agency: Village of Frankfort Date: 9/2/2021
 County: _____ Time: 10:01 AM
 Section: _____ Appropriation: _____
 Estimate: \$1,533,144.70

Attended By: Van Calombaris

				Name of Bidder: Austin Tyler Construction Inc.		P.T. Ferro Construction Co.		Len Cox & Sons Excavating			
				Address of Bidder: 23343 S. Ridge Road		700 S. Rowell Ave		1203 Theodore Street, Unit 2A			
				Elwood, IL 60121		Joliet, IL 60434		Crest Hill, IL 60403			
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total		
R1002077	6" PVC WATER MAIN	FOOT	10	\$80.00	\$800.00	\$93.00	\$930.00	\$110.00	\$1,100.00	\$65.00	\$650.00
R1002079	8" PVC WATER MAIN	FOOT	4,300	\$80.00	\$344,000.00	\$110.00	\$473,000.00	\$116.00	\$498,800.00	\$73.00	\$313,900.00
20800150	TRENCH BACKFILL	CU YD	3,200	\$35.00	\$112,000.00	\$32.00	\$102,400.00	\$0.01	\$32.00	\$46.00	\$147,200.00
R1001086	6" X 6" TAPPING SLEEVE AND VALVE IN VALVE VAULT, TYPE A, 5' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	1	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$8,750.00	\$8,750.00	\$5,500.00	\$5,500.00
R1001100	8" X 8" TAPPING SLEEVE AND VALVE IN VALVE VAULT, TYPE A, 5' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	2	\$8,500.00	\$17,000.00	\$8,000.00	\$16,000.00	\$9,500.00	\$19,000.00	\$6,500.00	\$13,000.00
R1001115	10" X 8" TAPPING SLEEVE AND VALVE IN VALVE VAULT, TYPE A, 5' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	2	\$10,200.00	\$20,400.00	\$8,300.00	\$16,600.00	\$11,500.00	\$23,000.00	\$7,000.00	\$14,000.00
R1001019	8" VALVE IN VALVE BOX	EACH	1	\$2,300.00	\$2,300.00	\$2,250.00	\$2,250.00	\$2,400.00	\$2,400.00	\$2,200.00	\$2,200.00
R1001015	8" VALVE AND VALVE VAULT, TYPE A, 4' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	8	\$4,800.00	\$38,400.00	\$7,000.00	\$56,000.00	\$5,000.00	\$40,000.00	\$3,500.00	\$28,000.00
R1001485	6" LINE STOP	EACH	4	\$5,700.00	\$22,800.00	\$6,600.00	\$26,400.00	\$4,000.00	\$16,000.00	\$6,000.00	\$24,000.00
R1001490	8" LINE STOP	EACH	4	\$6,560.00	\$26,240.00	\$7,070.00	\$28,280.00	\$4,000.00	\$16,000.00	\$7,000.00	\$28,000.00
R1001495	10" LINE STOP	EACH	2	\$8,000.00	\$16,000.00	\$8,430.00	\$16,860.00	\$6,400.00	\$12,800.00	\$9,500.00	\$19,000.00
R1003005	FIRE HYDRANT WITH AUXILIARY VALVE, VALVE BOX AND TEE	EACH	12	\$6,300.00	\$75,600.00	\$9,000.00	\$108,000.00	\$8,000.00	\$96,000.00	\$6,680.00	\$80,160.00
R1004005	1" WATER SERVICE (SHORT)	EACH	21	\$2,200.00	\$46,200.00	\$2,535.00	\$53,235.00	\$3,450.00	\$72,450.00	\$2,735.00	\$57,435.00

Local Public Agency: Village of Frankfort Date: 9/2/2021
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 Estimate: \$1,533,144.70

Attended By: Van Calombaris

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				Address of Bidder: 23343 S. Ridge Road		700 S. Rowell Ave		1203 Th Theodore Street, Unit 2A			
				Elwood, IL 60121		Joliet, IL 60434		Crest Hill, IL 60403			
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total		
R1004035	1" WATER SERVICE, AUGERED (LONG)	EACH	1	\$3,200.00	\$3,200.00	\$3,350.00	\$3,350.00	\$3,050.00	\$3,050.00	\$4,450.00	\$4,450.00
RX502357	1" WATER SERVICE, SPECIAL	EACH	27	\$2,000.00	\$54,000.00	\$1,800.00	\$48,600.00	\$1,950.00	\$52,650.00	\$2,775.00	\$74,925.00
R1004010	1.5" WATER SERVICE (SHORT)	EACH	1	\$2,700.00	\$2,700.00	\$2,940.00	\$2,940.00	\$4,450.00	\$4,450.00	\$3,150.00	\$3,150.00
R1004040	1.5" WATER SERVICE, AUGERED (LONG)	EACH	1	\$3,400.00	\$3,400.00	\$3,790.00	\$3,790.00	\$4,370.00	\$4,370.00	\$4,400.00	\$4,400.00
R1004015	2" WATER SERVICE (SHORT)	EACH	1	\$3,500.00	\$3,500.00	\$3,890.00	\$3,890.00	\$5,295.00	\$5,295.00	\$3,875.00	\$3,875.00
R1004045	2" WATER SERVICE, AUGERED (LONG)	EACH	1	\$4,440.00	\$4,440.00	\$5,278.00	\$5,278.00	\$4,975.00	\$4,975.00	\$5,650.00	\$5,650.00
R1004075	SANITARY SEWER SERVICE ADJUSTMENT	EACH	17	\$1,230.00	\$20,910.00	\$500.00	\$8,500.00	\$2,000.00	\$34,000.00	\$1,850.00	\$31,450.00
R5001012	EXPLORATORY EXCAVATION	EACH	20	\$250.00	\$5,000.00	\$250.00	\$5,000.00	\$100.00	\$2,000.00	\$775.00	\$15,500.00
R1002220	4" CUT AND CAP	EACH	4	\$1,950.00	\$7,800.00	\$2,140.00	\$8,560.00	\$1,900.00	\$7,600.00	\$2,000.00	\$8,000.00
R1002225	6" CUT AND CAP	EACH	3	\$1,850.00	\$5,550.00	\$2,170.00	\$6,510.00	\$2,285.00	\$6,855.00	\$2,000.00	\$6,000.00
R1002230	8" CUT AND CAP	EACH	5	\$2,040.00	\$10,200.00	\$2,225.00	\$11,125.00	\$2,100.00	\$10,500.00	\$2,100.00	\$10,500.00
R1003010	REMOVE FIRE HYDRANT	EACH	13	\$750.00	\$9,750.00	\$500.00	\$6,500.00	\$1,000.00	\$13,000.00	\$975.00	\$12,675.00
R1001470	VALVE VAULTS TO BE REMOVED	EACH	4	\$690.00	\$2,760.00	\$500.00	\$2,000.00	\$200.00	\$800.00	\$575.00	\$2,300.00
R1001475	REMOVE AND ABANDON VALVE BOX	EACH	10	\$320.00	\$3,200.00	\$330.00	\$3,300.00	\$200.00	\$2,000.00	\$250.00	\$2,500.00
R1002290	WATER MAIN INSULATION	FOOT	210	\$100.00	\$21,000.00	\$90.00	\$18,900.00	\$50.00	\$10,500.00	\$15.00	\$3,150.00
R4001010	20" DIAMETER STEEL SLEEVE, 0.344" WALL THICKNESS, OPEN CUT INSTALLATION	FOOT	73	\$200.00	\$14,600.00	\$230.00	\$16,790.00	\$125.00	\$9,125.00	\$175.00	\$12,775.00

Local Public Agency: Village of Frankfort Date: 9/2/2021
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 Estimate: \$1,533,144.70

Attended By: Van Calombaris

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				Address of Bidder: 23343 S. Ridge Road		700 S. Rowell Ave		1203 Thedore Street, Unit 2A			
				Elwood, IL 60121		Joliet, IL 60434		Crest Hill, IL 60403			
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total		
R1002306	REMOVE AND REPLACE 10" STORM SEWER WITH WATER MAIN QUALITY PIPE	FOOT	22	\$85.00	\$1,870.00	\$90.00	\$1,980.00	\$140.00	\$3,080.00	\$73.00	\$1,606.00
R1002310	REMOVE AND REPLACE 12" STORM SEWER WITH WATER MAIN QUALITY PIPE	FOOT	221	\$100.00	\$22,100.00	\$130.00	\$28,730.00	\$140.00	\$30,940.00	\$84.00	\$18,564.00
R1002315	REMOVE AND REPLACE 15" STORM SEWER WITH WATER MAIN QUALITY PIPE	FOOT	22	\$135.00	\$2,970.00	\$190.00	\$4,180.00	\$180.00	\$3,960.00	\$125.00	\$2,750.00
Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	1	\$1,400.00	\$1,400.00	\$1,300.00	\$1,300.00	\$1,000.00	\$1,000.00	\$985.00	\$985.00
Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	25	\$430.00	\$10,750.00	\$400.00	\$10,000.00	\$250.00	\$6,250.00	\$985.00	\$24,625.00
60266600	VALVE BOXES TO BE ADJUSTED	EACH	3	\$480.00	\$1,440.00	\$380.00	\$1,140.00	\$150.00	\$450.00	\$500.00	\$1,500.00
60236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	1	\$1,700.00	\$1,700.00	\$1,450.00	\$1,450.00	\$1,500.00	\$1,500.00	\$1,300.00	\$1,300.00
60108100	PIPE UNDERDRAINS 4" (SPECIAL)	FOOT	200	\$35.00	\$7,000.00	\$29.00	\$5,800.00	\$34.00	\$6,800.00	\$36.00	\$7,200.00
R6005010	COMBINATION CURB AND GUTTER REMOVAL AND REPLACEMENT	FOOT	1,800	\$40.00	\$72,000.00	\$40.00	\$72,000.00	\$50.00	\$90,000.00	\$55.00	\$99,000.00
44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	446	\$17.00	\$7,582.00	\$15.00	\$6,690.00	\$0.01	\$4.46	\$8.00	\$3,568.00
42300300	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 7 INCH	SQ YD	92	\$79.00	\$7,268.00	\$95.00	\$8,740.00	\$170.00	\$15,640.00	\$90.00	\$8,280.00
Z0004510	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 3"	SQ YD	354	\$45.00	\$15,930.00	\$48.00	\$16,992.00	\$80.00	\$28,320.00	\$36.00	\$12,744.00
RX502614	HMA PATH REMOVAL AND REPLACEMENT 3 INCH	SQ YD	56	\$45.00	\$2,520.00	\$65.00	\$3,640.00	\$80.00	\$4,480.00	\$50.00	\$2,800.00

Local Public Agency: Village of Frankfort Date: 9/2/2021
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				Elwood, IL 60121		Joliet, IL 60434		Crest Hill, IL 60403			
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total		
44000600	SIDEWALK REMOVAL	SQ FT	2,500	\$3.00	\$7,500.00	\$2.50	\$6,250.00	\$3.00	\$7,500.00	\$3.25	\$8,125.00
42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	2,500	\$12.50	\$31,250.00	\$10.00	\$25,000.00	\$12.00	\$30,000.00	\$12.00	\$30,000.00
42400800	DETECTABLE WARNINGS	SQ FT	144	\$30.00	\$4,320.00	\$15.00	\$2,160.00	\$40.00	\$5,760.00	\$40.00	\$5,760.00
44201723	CLASS D PATCHES, TYPE IV, 6 INCH	SQ YD	1,780	\$45.00	\$80,100.00	\$45.00	\$80,100.00	\$43.00	\$76,540.00	\$43.00	\$76,540.00
44201747	CLASS D PATCHES, TYPE IV, 8 INCH	SQ YD	470	\$78.00	\$36,660.00	\$57.00	\$26,790.00	\$72.50	\$34,075.00	\$57.00	\$26,790.00
44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	85	\$81.00	\$68,850.00	\$70.00	\$59,570.00	\$75.00	\$63,825.00	\$66.00	\$56,166.00
40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	482	\$22.00	\$10,604.00	\$0.01	\$4.82	\$0.01	\$4.82	\$30.00	\$14,460.00
44000159	HOT-MIX ASPHALT SURFACE REMOVAL, 2 1/2"	SQ YD	5,171	\$3.50	\$18,100.00	\$3.50	\$18,098.50	\$4.00	\$20,684.00	\$6.25	\$32,318.75
44000165	HOT-MIX ASPHALT SURFACE REMOVAL, 4"	SQ YD	1,250	\$8.00	\$10,000.00	\$8.00	\$10,000.00	\$7.25	\$9,062.50	\$7.75	\$9,687.50
20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	25	\$45.00	\$1,125.00	\$32.00	\$800.00	\$40.00	\$1,000.00	\$25.00	\$625.00
35101600	AGGREGATE BASE COURSE, TYPE B 4"	SQ YD	271	\$10.00	\$2,710.00	\$12.00	\$3,252.00	\$7.00	\$1,897.00	\$12.00	\$3,252.00
35800200	AGGREGATE BASE REPAIR	TON	43	\$25.00	\$1,075.00	\$18.00	\$774.00	\$15.00	\$645.00	\$27.00	\$1,161.00
30300001	AGGREGATE SUBGRADE IMPROVEMENT	CU YD	25	\$47.00	\$1,175.00	\$64.00	\$1,600.00	\$40.00	\$1,000.00	\$90.00	\$2,250.00
35800100	PREPARATION OF BASE	SQ YD	1,250	\$2.80	\$3,500.00	\$2.00	\$2,500.00	\$1.00	\$1,250.00	\$4.00	\$5,000.00
40600837	POLYMERIZED LEVELING BINDER (MACHINE METHOD), N70	TON	224	\$92.00	\$20,608.00	\$84.00	\$18,816.00	\$90.00	\$20,160.00	\$167.00	\$37,408.00

Tabulation of Bids
21-R0607

Local Public Agency: Village of Frankfort Date: 9/2/2021
 County: _____ Time: 10:01 AM
 Section: _____ Appropriation: _____
 Estimate: \$1,533,144.70

Attended By: Van Calombaris

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				Elwood, IL 60121		Joliet, IL 60434		Crest Hill, IL 60403			
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total		
40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	198	\$88.00	\$17,424.00	\$83.00	\$16,414.00	\$75.00	\$14,850.00	\$90.00	\$17,820.00
40603335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	108	\$86.00	\$9,288.00	\$80.00	\$8,640.00	\$80.00	\$8,640.00	\$126.00	\$13,608.00
40603340	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N70	TON	447	\$77.00	\$34,419.00	\$9.00	\$35,313.00	\$85.00	\$37,995.00	\$90.00	\$40,230.00
40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	9,795	\$9.95	\$97,950.00	\$97.95	\$97.95	\$0.01	\$97.95	\$1.25	\$12,243.75
40600290	BITUMINOUS MATERIALS (TACK COAT)	POUND	3,104	\$0.30	\$931.20	\$0.01	\$31.04	\$0.01	\$31.04	\$1.25	\$3,880.00
78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	3,800	\$1.80	\$6,840.00	\$0.89	\$3,382.00	\$0.89	\$3,382.00	\$1.25	\$4,750.00
78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	620	\$4.30	\$2,666.00	\$1.86	\$1,153.20	\$1.65	\$1,023.00	\$2.25	\$1,395.00
78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 12"	FOOT	320	\$5.50	\$1,760.00	\$3.30	\$1,056.00	\$3.30	\$1,056.00	\$4.15	\$1,328.00
78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	70	\$20.50	\$1,400.00	\$5.50	\$385.00	\$5.50	\$385.00	\$6.25	\$437.50
70300220	TEMPORARY PAVEMENT MARKING - LINE 4"	FOOT	2,165	\$0.50	\$1,082.50	\$0.89	\$1,926.85	\$0.35	\$757.75	\$0.75	\$1,623.75
78300100	PAVEMENT MARKING REMOVAL	SQ FT	2,037	\$4.50	\$9,166.50	\$0.01	\$20.37	\$0.01	\$20.37	\$3.25	\$6,620.25
X7030005	TEMPORARY PAVEMENT MARKING REMOVAL	SQ FT	722	\$1.50	\$1,083.00	\$2.00	\$1,444.00	\$0.01	\$7.22	\$3.25	\$2,346.50
21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	2,006	\$8.50	\$17,051.00	\$7.00	\$14,042.00	\$7.50	\$15,045.00	\$7.00	\$14,042.00
25200100	SODDING	SQ YD	2,006	\$14.00	\$28,084.00	\$10.00	\$20,060.00	\$12.00	\$24,072.00	\$22.00	\$44,132.00
R5001010	RESTORATION, SPECIAL	EACH	12	\$1,300.00	\$15,600.00	\$500.00	\$6,000.00	\$750.00	\$9,000.00	\$2,250.00	\$27,000.00
20101350	TREE PRUNING (OVER 10 INCH DIAMETER)	EACH	1	\$210.00	\$210.00	\$824.00	\$824.00	\$500.00	\$500.00	\$650.00	\$650.00
TOTAL:				\$1,533,144.70		\$1,488,488.73		\$1,555,152.11		\$1,620,917.00	

Tabulation of Bids
21-R0607

Local Public Agency: Village of Frankfort
 County: _____
 Section: _____
 Estimate: \$1,533,144.70

Date: 9/2/2021
 Time: 10:01 AM
 Appropriation: _____

Attended By: Van Calombaris

Item No.	Item Description	Unit	QTY	Name of Bidder:		Address of Bidder:		Approved Engineer's Estimate		Unit Cost		Total	
				Swallow Construction Corporation	Airy's Inc.	Steve Spiess Construction Inc.	Unit Cost	Total	Unit Cost	Total			
R1002077	6" PVC WATER MAIN	FOOT	10	\$80.00	\$800.00	\$65.00	\$650.00	\$81.00	\$810.00	\$160.00	\$1,600.00		
R1002079	8" PVC WATER MAIN	FOOT	4,300	\$80.00	\$344,000.00	\$70.00	\$301,000.00	\$85.00	\$365,500.00	\$126.00	\$541,800.00		
20800150	TRENCH BACKFILL	CU YD	3,200	\$35.00	\$112,000.00	\$57.00	\$179,200.00	\$79.00	\$252,800.00	\$0.01	\$32.00		
R1001086	6" X 6" TAPPING SLEEVE AND VALVE IN VALVE VAULT, TYPE A, 5' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	1	\$7,500.00	\$7,500.00	\$10,750.00	\$10,750.00	\$9,948.00	\$9,948.00	\$8,714.00	\$8,714.00		
R1001100	8" X 8" TAPPING SLEEVE AND VALVE IN VALVE VAULT, TYPE A, 5' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	2	\$8,500.00	\$17,000.00	\$11,550.00	\$23,100.00	\$10,927.00	\$21,854.00	\$9,479.00	\$18,958.00		
R1001115	10" X 8" TAPPING SLEEVE AND VALVE IN VALVE VAULT, TYPE A, 5' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	2	\$10,200.00	\$20,400.00	\$11,750.00	\$23,500.00	\$11,050.00	\$22,100.00	\$10,859.00	\$21,718.00		
R1001019	8" VALVE IN VALVE BOX	EACH	1	\$2,300.00	\$2,300.00	\$2,050.00	\$2,050.00	\$2,366.00	\$2,366.00	\$2,481.00	\$2,481.00		
R1001015	8" VALVE AND VALVE VAULT, TYPE A, 4' DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	8	\$4,800.00	\$38,400.00	\$9,500.00	\$76,000.00	\$5,238.00	\$41,904.00	\$4,293.00	\$34,344.00		
R1001485	6" LINE STOP	EACH	4	\$5,700.00	\$22,800.00	\$2,500.00	\$10,000.00	\$5,359.00	\$21,436.00	\$6,139.00	\$24,556.00		
R1001490	8" LINE STOP	EACH	4	\$6,560.00	\$26,240.00	\$2,500.00	\$10,000.00	\$5,809.00	\$23,236.00	\$6,329.00	\$25,316.00		
R1001495	10" LINE STOP	EACH	2	\$8,000.00	\$16,000.00	\$2,500.00	\$5,000.00	\$7,047.00	\$14,094.00	\$8,860.00	\$17,720.00		
R1003005	FIRE HYDRANT WITH AUXILIARY VALVE, VALVE BOX AND TEE	EACH	12	\$6,300.00	\$75,600.00	\$7,500.00	\$90,000.00	\$8,048.00	\$96,576.00	\$8,330.00	\$99,960.00		
R1004005	1" WATER SERVICE (SHORT)	EACH	21	\$2,200.00	\$46,200.00	\$5,000.00	\$105,000.00	\$2,119.00	\$44,499.00	\$2,388.00	\$50,148.00		

Local Public Agency: Village of Frankfort
 County: _____
 Section: _____
 Estimate: \$1,533,144.70

Date: 9/2/2021
 Time: 10:01 AM
 Appropriation: _____

Attended By: Van Calombaris

				Name of Bidder:		Address of Bidder:		Approved Engineer's Estimate			
				Swallow Construction Corporation		490 Topsoil Drive				Steve Spiess Construction Inc.	
				Airy's Inc.		21825 Cherry Hill Rd.				10284 Vans Drive	
				West Chicago, IL 60185		Joliet, IL 60433				Frankfort, IL 60423	
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
R1004035	1" WATER SERVICE, AUGERED (LONG)	EACH	1	\$3,200.00	\$3,200.00	\$1,000.00	\$1,000.00	\$6,093.00	\$6,093.00	\$4,400.00	\$4,400.00
RX502357	1" WATER SERVICE, SPECIAL	EACH	27	\$2,000.00	\$54,000.00	\$4,650.00	\$125,550.00	\$2,344.00	\$63,288.00	\$1,590.00	\$42,930.00
R1004010	1.5" WATER SERVICE (SHORT)	EACH	1	\$2,700.00	\$2,700.00	\$1,000.00	\$1,000.00	\$2,573.00	\$2,573.00	\$3,390.00	\$3,390.00
R1004040	1.5" WATER SERVICE, AUGERED (LONG)	EACH	1	\$3,400.00	\$3,400.00	\$1,000.00	\$1,000.00	\$6,551.00	\$6,551.00	\$5,230.00	\$5,230.00
R1004015	2" WATER SERVICE (SHORT)	EACH	1	\$3,500.00	\$3,500.00	\$1,000.00	\$1,000.00	\$3,248.00	\$3,248.00	\$4,260.00	\$4,260.00
R1004045	2" WATER SERVICE, AUGERED (LONG)	EACH	1	\$4,440.00	\$4,440.00	\$1,000.00	\$1,000.00	\$7,650.00	\$7,650.00	\$6,280.00	\$6,280.00
R1004075	SANITARY SEWER SERVICE ADJUSTMENT	EACH	17	\$1,230.00	\$20,910.00	\$3,000.00	\$51,000.00	\$1,358.00	\$23,086.00	\$2,500.00	\$42,500.00
R5001012	EXPLORATORY EXCAVATION	EACH	20	\$50.00	\$1,000.00	\$25.00	\$500.00	\$334.00	\$6,680.00	\$450.00	\$9,000.00
R1002220	4" CUT AND CAP	EACH	4	\$1,950.00	\$7,800.00	\$200.00	\$800.00	\$1,528.00	\$6,112.00	\$1,150.00	\$4,600.00
R1002225	6" CUT AND CAP	EACH	3	\$1,850.00	\$5,550.00	\$200.00	\$600.00	\$1,574.00	\$4,722.00	\$1,300.00	\$3,900.00
R1002230	8" CUT AND CAP	EACH	5	\$2,040.00	\$10,200.00	\$200.00	\$1,000.00	\$1,643.00	\$8,215.00	\$1,440.00	\$7,200.00
R1003010	REMOVE FIRE HYDRANT	EACH	13	\$750.00	\$9,750.00	\$200.00	\$2,600.00	\$813.00	\$10,569.00	\$800.00	\$10,400.00
R1001470	VALVE VAULTS TO BE REMOVED	EACH	4	\$690.00	\$2,760.00	\$200.00	\$800.00	\$939.00	\$3,756.00	\$700.00	\$2,800.00
R1001475	REMOVE AND ABANDON VALVE BOX	EACH	10	\$320.00	\$3,200.00	\$200.00	\$2,000.00	\$343.00	\$3,430.00	\$200.00	\$2,000.00
R1002290	WATER MAIN INSULATION	FOOT	210	\$100.00	\$21,000.00	\$100.00	\$21,000.00	\$188.00	\$39,480.00	\$92.00	\$19,320.00
R4001010	20" DIAMETER STEEL SLEEVE, 0.344" WALL THICKNESS, OPEN CUT INSTALLATION	FOOT	73	\$200.00	\$14,600.00	\$165.00	\$12,045.00	\$199.00	\$14,527.00	\$225.00	\$16,425.00

Local Public Agency: Village of Frankfort Date: 9/2/2021
 County: _____ Time: 10:01 AM
 Section: _____ Appropriation: _____
 Estimate: \$1,533,144.70

Attended By: Van Calombaris

				Name of Bidder:		Swallow Construction Corporation		Airy's Inc.		Steve Spless Construction Inc.	
				Address of Bidder:		490 Topsoil Drive		21825 Cherry Hill Rd.		10284 Vans Drive	
						West Chicago, IL 60185		Joliet, IL 60433		Frankfort, IL 60423	
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
R1002306	REMOVE AND REPLACE 10" STORM SEWER WITH WATER MAIN QUALITY PIPE	FOOT	22	\$85.00	\$1,870.00	\$150.00	\$3,300.00	\$96.00	\$2,112.00	\$124.00	\$2,728.00
R1002310	REMOVE AND REPLACE 12" STORM SEWER WITH WATER MAIN QUALITY PIPE	FOOT	221	\$100.00	\$22,100.00	\$150.00	\$34,255.00	\$106.00	\$23,426.00	\$136.00	\$30,056.00
R1002315	REMOVE AND REPLACE 15" STORM SEWER WITH WATER MAIN QUALITY PIPE	FOOT	22	\$125.00	\$2,750.00	\$210.00	\$4,620.00	\$218.00	\$4,796.00	\$236.00	\$5,192.00
Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	1	\$1,400.00	\$1,400.00	\$750.00	\$750.00	\$1,719.00	\$1,719.00	\$1,950.00	\$1,950.00
Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	25	\$430.00	\$10,750.00	\$825.00	\$20,625.00	\$624.00	\$15,600.00	\$540.00	\$13,500.00
60266600	VALVE BOXES TO BE ADJUSTED	EACH	3	\$400.00	\$1,200.00	\$250.00	\$750.00	\$432.00	\$1,296.00	\$400.00	\$1,200.00
60236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	1	\$1,700.00	\$1,700.00	\$1,425.00	\$1,425.00	\$1,263.00	\$1,263.00	\$1,500.00	\$1,500.00
60108100	PIPE UNDERDRAINS 4" (SPECIAL)	FOOT	200	\$35.00	\$7,000.00	\$45.50	\$9,100.00	\$23.00	\$4,600.00	\$60.00	\$12,000.00
R6005010	COMBINATION CURB AND GUTTER REMOVAL AND REPLACEMENT	FOOT	1,800	\$40.00	\$72,000.00	\$53.50	\$96,300.00	\$52.00	\$93,600.00	\$55.00	\$99,000.00
44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	446	\$17.00	\$7,582.00	\$6.00	\$2,676.00	\$10.00	\$4,460.00	\$21.00	\$9,366.00
42300300	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 7 INCH	SQ YD	92	\$79.00	\$7,268.00	\$100.00	\$9,200.00	\$83.00	\$7,636.00	\$93.00	\$8,556.00
Z0004510	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 3"	SQ YD	354	\$45.00	\$15,930.00	\$41.50	\$14,691.00	\$36.00	\$12,744.00	\$44.00	\$15,576.00
RX502614	HMA PATH REMOVAL AND REPLACEMENT 3 INCH	SQ YD	56	\$45.00	\$2,520.00	\$63.00	\$3,528.00	\$57.00	\$3,192.00	\$79.00	\$4,424.00

Local Public Agency: Village of Frankfort Date: 9/2/2021
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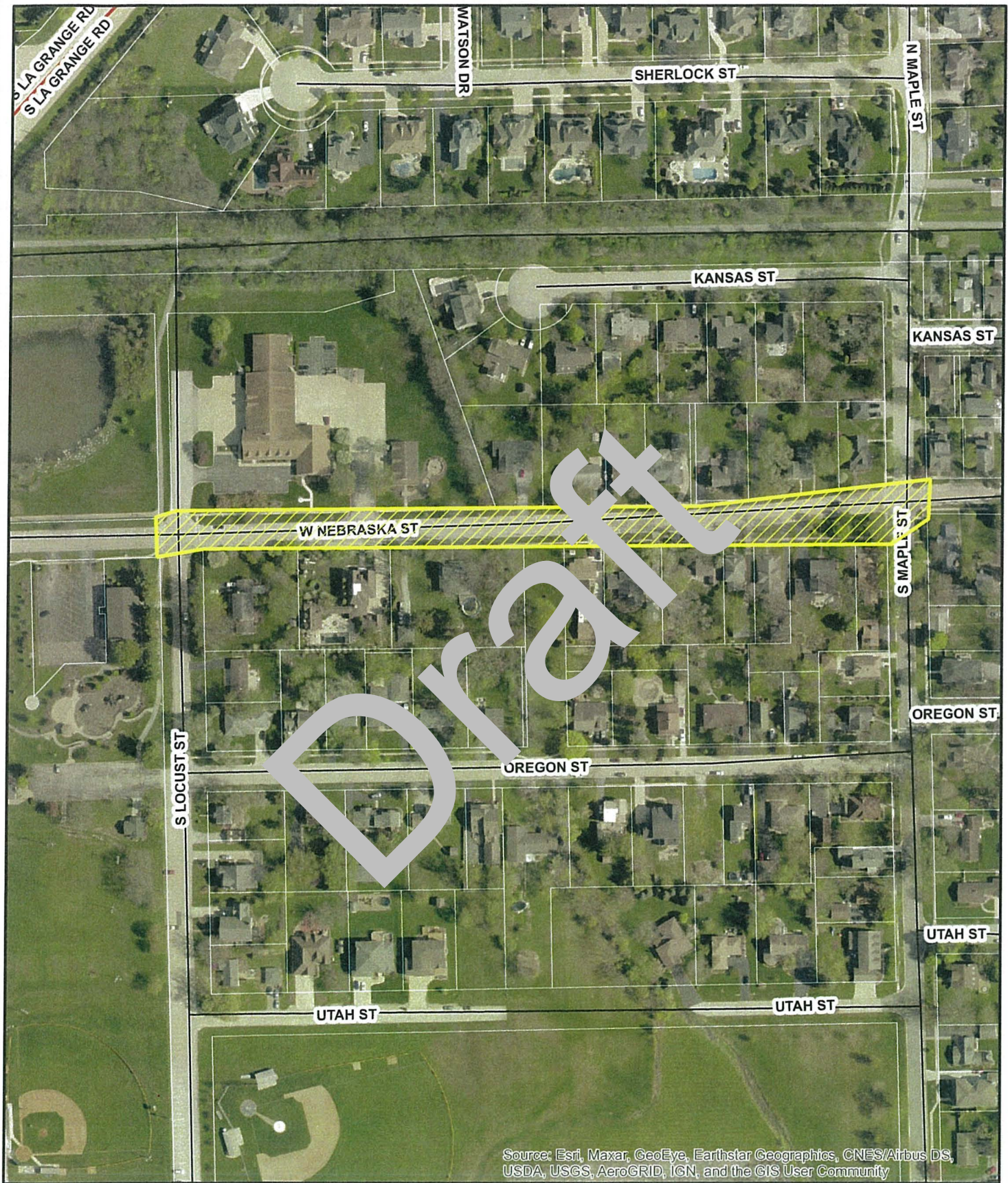
Attended By: Van Calombaris

				Name of Bidder: Swallow Construction Corporation		Airy's Inc.		Steve Spiess Construction Inc.			
				Address of Bidder: 490 Topsoil Drive		21825 Cherry Hill Rd.		10284 Vans Drive			
				West Chicago, IL 60155		Joliet, IL 60433		Frankfort, IL 60423			
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
44000600	SIDEWALK REMOVAL	SQ FT	2,500	\$3.00	\$7,500.00	\$1.10	\$2,750.00	\$2.00	\$5,000.00	\$2.50	\$6,250.00
42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	2,500	\$12.50	\$31,250.00	\$11.00	\$27,500.00	\$11.00	\$27,500.00	\$12.00	\$30,000.00
42400800	DETECTABLE WARNINGS	SQ FT	144	\$30.00	\$4,320.00	\$5.00	\$5,040.00	\$34.00	\$4,896.00	\$37.00	\$5,328.00
44201723	CLASS D PATCHES, TYPE IV, 6 INCH	SQ YD	1,780	\$60.00	\$106,800.00	\$43.00	\$77,875.00	\$44.00	\$78,320.00	\$57.00	\$101,460.00
44201747	CLASS D PATCHES, TYPE IV, 8 INCH	SQ YD	470	\$78.00	\$36,660.00	\$59.25	\$27,847.50	\$60.00	\$28,200.00	\$76.00	\$35,720.00
44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	81	\$81.00	\$6,561.00	\$67.75	\$5,487.75	\$68.00	\$5,496.00	\$92.00	\$7,440.00
40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	482	\$22.00	\$10,604.00	\$37.25	\$17,954.50	\$30.00	\$14,460.00	\$30.00	\$14,460.00
44000159	HOT-MIX ASPHALT SURFACE REMOVAL, 2 1/2"	SQ YD	5,171	\$4.50	\$23,269.50	\$4.50	\$23,269.50	\$5.00	\$25,855.00	\$5.30	\$27,406.30
44000165	HOT-MIX ASPHALT SURFACE REMOVAL, 4"	SQ YD	1,250	\$5.20	\$6,500.00	\$7.00	\$8,750.00	\$8.00	\$10,000.00	\$8.40	\$10,500.00
20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	25	\$45.00	\$1,125.00	\$48.50	\$1,212.50	\$79.00	\$1,975.00	\$60.00	\$1,500.00
35101600	AGGREGATE BASE COURSE, TYPE B 4"	SQ YD	271	\$10.00	\$2,710.00	\$10.00	\$2,710.00	\$11.00	\$2,981.00	\$6.00	\$1,626.00
35800200	AGGREGATE BASE REPAIR	TON	43	\$25.00	\$1,075.00	\$47.00	\$2,021.00	\$31.00	\$1,333.00	\$23.00	\$989.00
30300001	AGGREGATE SUBGRADE IMPROVEMENT	CU YD	25	\$47.00	\$1,175.00	\$70.25	\$1,756.25	\$96.00	\$2,400.00	\$104.00	\$2,600.00
35800100	PREPARATION OF BASE	SQ YD	1,250	\$2.80	\$3,500.00	\$2.35	\$2,937.50	\$3.00	\$3,750.00	\$2.50	\$3,125.00
40600837	POLYMERIZED LEVELING BINDER (MACHINE METHOD), N70	TON	224	\$92.00	\$20,608.00	\$111.00	\$24,864.00	\$124.00	\$27,776.00	\$134.00	\$30,016.00

Local Public Agency: Village of Frankfort Date: 9/2/2021
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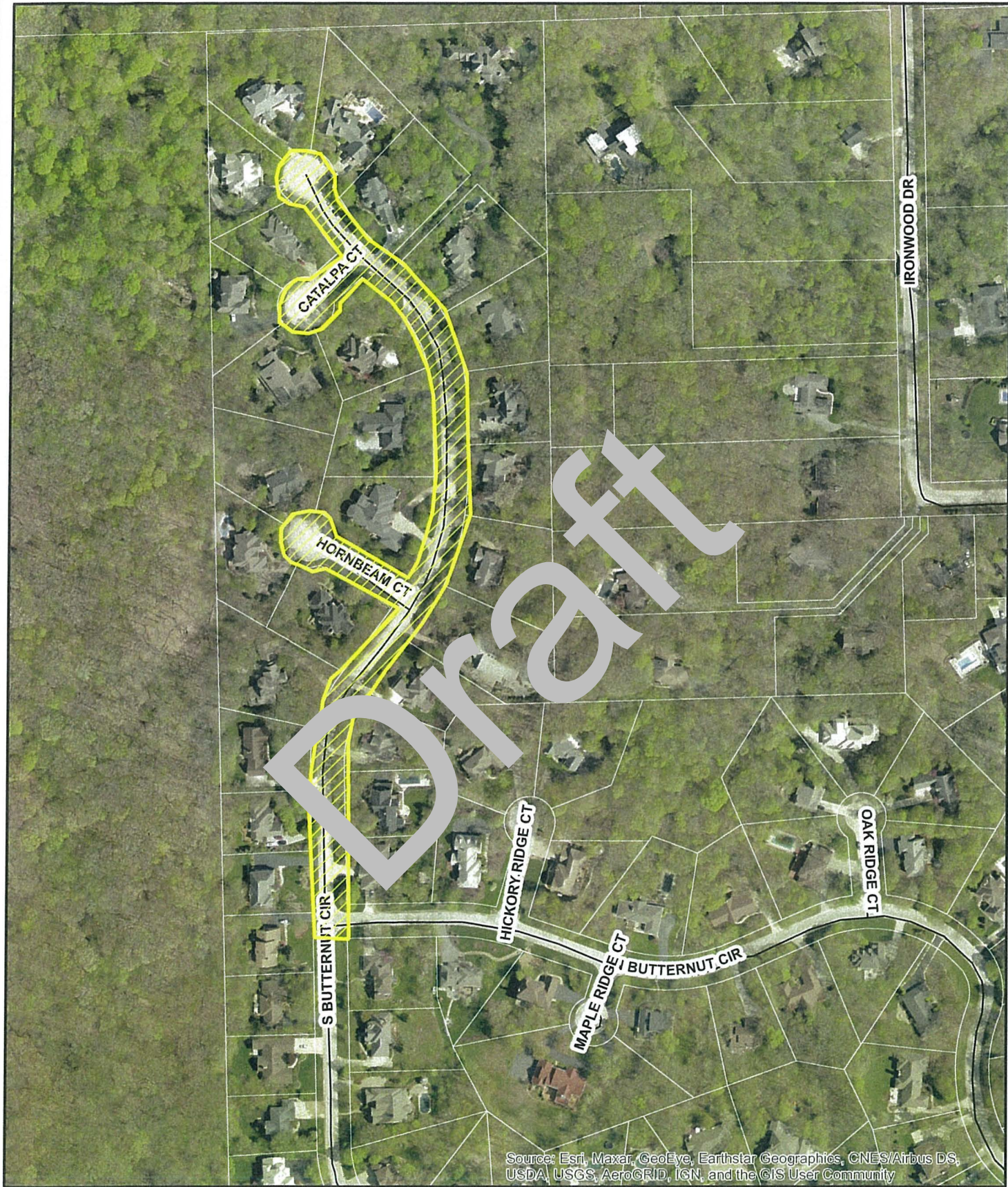
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						West Chicago, IL 60185		Joliet, IL 60433		Frankfort, IL 60423	
				Approved Engineer's Estimate							
Item No.	Item Description	Unit	QTY	Unit Price	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	198	\$88.00	\$17,424.00	\$81.25	\$16,087.50	\$91.00	\$18,018.00	\$99.00	\$19,602.00
40603335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	108	\$86.00	\$9,288.00	\$110.50	\$11,907.00	\$124.00	\$13,392.00	\$134.00	\$14,472.00
40603340	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N70	TON	447	\$77.00	\$34,419.00	\$83.75	\$37,436.25	\$94.00	\$42,018.00	\$102.00	\$45,594.00
40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	9,795	\$0.01	\$97.95	\$0.01	\$97.95	\$0.01	\$97.95	\$0.01	\$97.95
40600290	BITUMINOUS MATERIALS (TACK COAT)	POUND	3,104	\$0.01	\$31.04	\$0.01	\$31.04	\$0.01	\$31.04	\$0.01	\$31.04
78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	3,800	\$1.80	\$6,840.00	\$0.90	\$3,420.00	\$2.00	\$7,600.00	\$1.00	\$3,800.00
78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	620	\$4.30	\$2,666.00	\$1.70	\$1,054.00	\$7.00	\$4,340.00	\$2.00	\$1,240.00
78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 12"	FOOT	320	\$5.50	\$1,760.00	\$3.35	\$1,072.00	\$9.00	\$2,880.00	\$3.50	\$1,120.00
78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	70	\$20.00	\$1,400.00	\$5.55	\$388.50	\$14.00	\$980.00	\$6.50	\$455.00
70300220	TEMPORARY PAVEMENT MARKING - LINE 4"	FOOT	2,165	\$0.50	\$1,082.50	\$1.09	\$2,359.85	\$0.39	\$844.35	\$2.00	\$4,330.00
78300100	PAVEMENT MARKING REMOVAL	SQ FT	2,037	\$4.50	\$9,166.50	\$2.00	\$4,074.00	\$2.00	\$4,074.00	\$2.50	\$5,092.50
X7030005	TEMPORARY PAVEMENT MARKING REMOVAL	SQ FT	722	\$1.50	\$1,083.00	\$2.00	\$1,444.00	\$2.00	\$1,444.00	\$2.50	\$1,805.00
21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	2,006	\$8.50	\$17,051.00	\$6.00	\$12,036.00	\$8.00	\$16,048.00	\$5.00	\$10,030.00
25200100	SODDING	SQ YD	2,006	\$14.00	\$28,084.00	\$16.00	\$32,096.00	\$10.00	\$20,060.00	\$20.00	\$40,120.00
R5001010	RESTORATION, SPECIAL	EACH	12	\$1,300.00	\$15,600.00	\$625.00	\$7,500.00	\$1,125.00	\$13,500.00	\$500.00	\$6,000.00
20101350	TREE PRUNING (OVER 10 INCH DIAMETER)	EACH	1	\$210.00	\$210.00	\$375.00	\$375.00	\$113.00	\$113.00	\$3,000.00	\$3,000.00
				TOTAL:	\$1,533,144.70		\$1,675,887.09		\$1,741,301.34		\$1,743,091.79



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Nebraska Street FY 2021 / 2022 Watermain Replacement Area



Butternut Creek Woods FY 2021 / 2022 Watermain Replacement Area

Print Date: 8/23/2021



Tanglewood

FY 2021 / 2022 Watermain Replacement Area

Print Date: 8/23/2021

RESOLUTION NO. 21-XX

A RESOLUTION AUTHORIZING EXECUTION OF A CONTRACT WITH WINGREN LANDSCAPE, INC. FOR THE VILLAGE'S 2021-2023 HOLIDAY LIGHTING PROGRAM

WHEREAS, the Village of Frankfort wishes to decorate the Village Hall, Route 30/45 Monument Entrance Sign, Frankfort Police Station, Breidert Green, and White Street for the holiday season; and

WHEREAS, the Village of Frankfort developed specifications and solicited competitive bids from qualified contractors for the Village 2021-2023 Holiday Lighting Program; and

WHEREAS, at its September 7, 2021 meeting, the Committee of the Whole reviewed the bids submitted for the project and forwarded a recommendation to the Village Board to accept the low bid and award the contract to Wingren Landscape, Inc.; and

WHEREAS, Wingren Landscape, Inc. submitted a bid for purchasing, installing, removal, and storage of holiday lighting and decorations at various Village owned locations, in the amount of \$26,142.00 for the 2021 holiday season; \$26,926.00 for the 2022 holiday season, and \$27,734.00 for the 2023 holiday season.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

That the Village President, on behalf of the Village of Frankfort, is hereby authorized and directed to award a contract to Wingren Landscape, Inc. for the 2021-2023 Holiday Lighting Program, in the amount of \$26,142.00 for the 2021 holiday season; \$26,926.00 for the 2022 holiday season, and \$27,734.00 for the 2023 holiday season, for a three-year base bid total of \$80,802.00, for holiday lighting and decoration services at various Village-owned properties, and the Village Clerk hereby is authorized and directed to attest to the President's signature.

PASSED AND APPROVED this 20th day of September, 2021.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

VILLAGE OF
FRANKFORT
EST • 1855

Memo

To: Committee of the Whole

From: Terry Kestel

Date: 9/1/2021

Re: 2021-2023 Holiday Lighting – Bid Consideration

Per Village Board direction, the Public Works Department requested bids for the installation of holiday lighting and decorations at five Village owned locations. The locations include Village Hall, Police Station, Forest Green, White Street parkway, and the Route 30/45 Entrance Sign.

The total authorized budget, excluding the cost of replacement lights was set at \$50,000.

As part of the bid process, staff requested a base amount covering installation, repairs, and storage of the lights and decorations as has been done in the past. Bidders were asked to provide a three-year quote. The Village received two legitimate bid responses. Wingren Landscaping provided the low bid and is the same contractor the Village contracted with previously. Bid results from the two qualified contractors are listed below.

Contractor	2021 Season	2022 Season	2023 Season	Three Year Base Bid Total
Wingren Landscaping	26,142.00	26,926.00	27,734.00	80,802.00
Principle Lighting	29,510.00	29,510.00	29,510.00	88,530.00

Both bidders provided a cost of \$13,200 to replace our existing lights which are not included in the authorized budget amount.

Each contractor was also asked to provide options and costs to enhance the lighting in the downtown area. A summary is below.

Option A – Decorate a large evergreen tree at Briedert Green

Option B – Enhanced lighting effects on the stage at Briedert Green

Option C or D – Adding Spritzers to tree/trees at Briedert Green. Option C is decorating 6 large trees. Option D is decorating on large tree.

Option E or F – Decorating the 20 light poles in the downtown. Option E – includes lights and 2 large bows on each pole. Option F – includes lights and 2 small bows.

Contractor	Option A Village Tree RGB	Option B Frankfort Station	Option C Spritzers	Option D Spritzers	Option E Light Poles	Option F Light Poles
Wingren Landscaping	\$ 1,440	\$ 6,210	\$ 7,000	\$ 650	\$ 4,200	\$ 2,120
Principle Lighting	\$ 4,000	\$ 5,020	\$ 10,700	\$ 5,600	\$ 4,450	\$ 4,300

The maximum total cost of the options A, B, C or D, and E or F is:

Wingren Landscaping - \$16,470; Total with base - \$42,502 for 2021

Principle Lighting - \$24,170; Total with base - \$3,680 for 2021

Once the contract is awarded, staff will work with the contractor to see which options enhance the area before making the final decisions.

Affirmative Motion

Accept Wingren Landscaping's base bid of \$80,802.00 for the 2021 to 2023 Holiday Lighting and Decoration bid and forward to Village Board for approval.

1. COMPLETE TABLE AS INDICATED

AREA ONE - VILLAGE HALL

ITEM	PRICE
Board Room - Install 9' Noble 9' Fir Tree - Provided by Village	
Board Room - Install Red and Silver Ornaments on above Tree, Shape, Maintain, Remove and Store - Tree by Village	
Lobby - Install 12' Noble Fire Tree - Provided by Village	
Lobby - Install 7.5' Pine Tree - Provided by Village	
Lobby - Install Red & Silver Ornaments to both trees above. Shape, maintain, remove & store.	
Lobby - Shape, add Decorations, Remove and Store Two Wreaths	
Building Exterior - Install 30 sets of 5mm 50 ct LED's, provided by Village, on the Five Pear Trees near the Building, Trunk Included. Maintain, Remove and Store - Lights, Cords & Timers	
Stone Sign - Install 20 sets of M8 Classic White 100 ct LED's on the Six Spruces, Maintain, Remove and Store, Lights, Cords & Timers	
Village Entrance Sign - Install Two 36" Mixed Noble Wreaths provided by Village	
Village Entrance Sign - Install Two (2) New 18" Red Velvet Bows	
Village Entrance Sign - Shape, Maintain, Remove and Store - Décor, Cords & time	
Building Entrance - Install 4 pieces of LED Mixed Noble Garland 9' x 14', provided by Village. Shape, Maintain, Remove & Store	
Building Entrance - Install 75' of C9 Classic White LED's for the front entrance and High Gable, Provide new Gutter Clips	
Building Entrance - Maintain, Remove and Store Lights	
AREA ONE TOTAL:	3,500

AREA TWO - MONUMENT ROUTE 30/ROUTE 45

ITEM	PRICE
Install in Wrap fashion T5, 5mm Warm White Commercial Grade LED's, provided by Village, on the Canopies of 5 Ornamental Trees located around the Water Feature, Maintain, Remove and Store for future reuse	
Install 5mm Cool White Lite Sets provided by Village in Three Locations of Boxwoods, Maintain, Store, and Save for future reuse (24 sets - provided by Village)	
Install in Wrap Fashion, 5mm Cool white Commercial Grade LED's, provided by Village for the three (3) Blue Spruces. (45 sets owned by Village)	
Install Two (2) 5' Snowflakes provided by Village in the Center of the Water Features	
Install 108' of PreLit LED Mixed Noble Garland (Provided by village) on the Front of the Monument, Shape, Maintain, Remove and Store	
Install and Shape Two (2) 5' PreLit Wreaths provided by Village on the Front of the Monument	
Provide and Install Two (2) New 24" Red & Silver Commercial Bows to the Front of the Monument	
Provide and Install Two (2) New 24" Red & Silver Commercial Bows to the 5' PreLit Wreaths	
AREA TWO TOTAL:	3097

AREA THREE - FRANKFORT POLICE STATION

ITEM	PRICE
Install C7 LED Perimeter Lighting provided by Village for the Dormers and Front of the Police Station. New clips included (339 ft)	

Install 4 pieces of Mixed Noble Prelit Garland provided by Village, for the Two Entrance Pillars, Shape, Maintain, Remove and Store	
Install Two (2) New 24" Red Bows to be used for the top of Pillars	
Install One 60" Prelit Wreath provided by Village, for the Wall at the Entrance, Shape, Maintain, Remove & Store	
Install One (1) New 24" red Bow to be Used for the Wreath, provided by Village	
Install Prelit Garland, provided by Village at the Entrance Sign, Shape, Maintain, Remove and Store	
Install Two (2) New 18" Red Bows provided by village to be used for the Entrance Sign	
AREA THREE TOTAL:	2109

AREA FOUR - BREIDERT GREEN

ITEM	PRICE
Install new Classic Warm White LED's, provided by Village, on the Metal Part of the Two Arches. Closely Wrapped, 5mm 4" spacing commercial grade (24)	
Install 1.5 pieces of Mixed Noble Garland, provided by Village to each Stone Cap of the Arches. Subcontractor bow provide and install new 5 mm lights for the garland. Shape, Maintain, Remove and Store	
Provide and Install 5mm 50 Ct. Warm White commercial LED sets for Nine (9) Trees on the North side of the Parking Lot. Canopies to be in wrapped fashion, Trunks included (81 sets)	
Provide and Install 5mm 50 Ct. Warm White Commercial LED sets for One Canopies and Trunks for five (5) Trees on the south Side of the Parking Lots (149)	
Provide and Install 5MM 50 Ct. for the Large Tree near parking lot, trunk only. Lights out 12'- 15' on the Limbs (28 sets)	
Install M8 100 Ct, provided by Village for the Large Spruce. Light Sets to be 12" Space Wrapping Trunk Included (25 sets)	
Parking Lot building Outlined with C7 Retrofit LED's, Perimeter, Ridge and Sides Included. Lights need to be secured to the Ridge and the sides (89 sets)	
Provide and Install 5mm Warm light on the Fence horizontally. Both East and West Fences need to be decorated into Four (4) Parts; Top, Middle, Bottom, (37 Sets)	
Eight (8) Sets of Stone Caps of Fence Pillars to be decorated with Mixed Noble Garland and 5mm Light Sets provided by Owner. Each 9' x 14" piece of garland needs to be shaped, maintained, removed and stored (16 sets)	
Two (2) Locust Trees wrapped with 5mm 50 Ct. Warm White LEDs, Trunks, Only. Trunks to be wrapped to 18' Limbs wrapped out 10" (40 sets)	
Provide and Install 5 MM Lights in wrapped Fashion for Three (3) Service Berries (12 sets)	
Provide and Install M5 70ct lights in wrapped fashion for five (5) 15' Maple Trees, Trunk Included (64 sets)	
Provide and Install M5 70 CT LED Lights in wrapped fashion for 20' Maple Tree, Trunk included - 22 sets)	
Install C6 LED Multi Color Lights provided by village in swagged fashion for the Large Spruce (Village Christmas Tree) Trunk Included - (35 sets)	
Small Directory outlined with C7 Warm White Retrofit LED's, provided by Village. Perimeter, Ridge and Sides, 72'	
Provide and Install M5 70CT LED lights in wrapped fashion for 10 Trees on the North and South side of the Green. Trunks to be wrapped up to the canopy and 10' out on the Limbs. Maintain, Remove and store	
T1 - Locust (16 sets)	
T2 - Maple (36 Sets)	

T3 - Maple (20 Sets)	
T4 - Linden (37 Sets)	
T5 - Gingko (7 Sets)	
T6 - Maple (30 sets)	
T7 - Maple (27 Sets)	
T8 - Linden (17 Sets)	
T9 - Pin Oak (24 Sets)	
T10 - Pear 9 (4 Sets)	
Provide and Install 5mm 50 CT LED lights in wrapped fashion for one (1) Blue Spruce on the East Side of the Green (24 Sets)	
Install C7 LED Warm White Retrofit lights, provided by Village for the perimeter and the ridges of the Bathroom Roof. All in One Gutter Clips and Gable Clips need to be supplied (180')	
Install C7 LED Warm White Retrofit lights, provided by Village for the Perimeter of the Train Station (3 sides), Gutter Clips to be provided 90'	
Install 48" Prelit Mixed Noble Wreath provided by Village for Train Station, Maintain, Remove & Store	
Install eight (8) pieces of 9' x 14" Mixed Noble Garland provided by Village on the four Pillars of the Train Station.	
Install 16 of M5 70CT LED Warm White lights to the Garland.	
Provide and install 3 selected trees on White Street, canopies and trunk 5mm 50 CT 6 inch spacing (60 sets)	
AREA FOUR TOTAL:	16,336

AREA 5 - WHITE STREET

Decorate the Canopies and Trunks of 3 selected Trees on White Street	
AREA FIVE TOTAL:	900

ADDITIONAL INSTALLATIONS - NEW LED LIGHT SETS

1100-5mm classic white LED sets with end to end plug and 4 inch spacing	
NEW LED LIGHT SET TOTAL:	13,200

OPTION A - VILLAGE TREE RGB

Install 50L 5mm 6inch spacing dynamic RGB light sets on the Village Christmas tree at Breidert Green	
RGB cables, splitters and controllers	
OPTION A TOTAL:	1,440

OPTION B - FRANKFORT STATION

2-RGB spritzers shaped and installed for the front of station	
1-LED 36" 3D five point star, or 48" RGB wreath for the gable in front	
RGB lighting for the perimeter roofline of the station	
6 RGB spritzers shaped and installed on the garland, and bushes in front of station	
26 sets of RGB lights to be installed on the garland and bushes in front of station	
RGB cables, splitters, jumpers and controllers	
Gutter clips	
Labor	
OPTION B TOTAL:	6,210

OPTION C - SPRITZERS

24" spritzers shaped and installed in the canopies of 6 large trees in Breidert Green (125-24")	
Spritzer will be LED and have a soft twinkle. Color TBD	
OPTION C TOTAL:	7,500

OPTION D - SPRITZERS

24" spritzers shaped and installed in the large tree by the directory	
15 classic white, 15 pure white. 30 "S" hooks to be used to hang	
OPTION D TOTAL:	1,650

OPTION E - LIGHT POLES

20 light poles decorated with 40- 5mm grapevine foil wrapped climbers	
2 large red bows installed to these poles	
OPTION E TOTAL:	4,200

OPTION F - LIGHT POLES

20 light poles decorated with 60- 5mm classic LED lights and 40 red bows	
OPTION F TOTAL:	2,120

ADDITIONAL INSTRUCTIONS

All cords in the Green area need to be secured down with Staples or Buried, due to High Traffic	
All Lighting will go through a test run the day before the Lighting Ceremony	
The Lighting company will provide installers to be on site and help with the Lighting Ceremony and Service the Lights for the Midnight Madness	
24 Timers will be used to turn on all lighting on the Green and the Parking Lot	
Pricing needs to include the Maintenance, Removal and Storage	
Maintain the Lights on the Green from November 2021 to March 2022	
All lights for the decorated areas will be maintained and replaced under the Total Bid Price for the Holiday Season	
All Services provided are inclusive in the Total bid	
2021/2022 COST:	26,142
3%	2022/2023 COST: 26,926
3%	2023/2024 COST: 27,734
TOTAL FOR 3 YEAR PROJECT:	80,802

September 20, 2021

Unanimous Consent Agenda

D. PLAN COMMISSION REPORT SUMMARY

1. VILLAGE OF FRANKFORT ZONING ORDINANCE AMENDMENT TO ARTICLES 5, 7, AND 12 – VACATION RENTALS

The Plan Commission reviewed several text amendments to the Village of Frankfort Zoning Ordinance to provide regulations for vacation rentals. The proposed text amendments create a new use category for vacation rentals and provides regulations, use standards, and definitions in relation to vacation rentals.

At its September 9, 2021 Public Hearing, the Plan Commission forwarded a unanimous (7-0) recommendation to the Village Board to approve the text amendments to the Village of Frankfort Zoning Ordinance, Articles 5, 7, and 12.

Motion: Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance amending the Village of Frankfort Zoning Ordinance to create a new use category, vacation rentals, in accordance with public testimony and the Findings of Fact: Article 5, Section B, Table of Permitted and Special Uses; Article 5, Section C, Use Standards as amended; Article 7, Section B, Part 2, a, Off-Street Parking & Loading; and Article 12, Section A, Part 2, Definition.

2. JFZ FITNESS SPECIAL USE PERMITS: 9975 W. LINCOLN HIGHWAY, SUITE 2 - ORDINANCE

Applicant, Jennifer Geiger, proposes to open JFZ Fitness, a fitness facility that offers treadmill and strength training classes at 9975 W. Lincoln Highway, Suite 2. The applicant requests the granting of Special Use Permits for indoor recreation and entertainment and extended hours of operation with a 5:00 A.M. opening to accommodate the operation of JFZ Fitness.

At its September 9, 2021 Public Hearing on the project, the Plan Commission forwarded two unanimous (7-0) recommendations to the Village Board to approve the special use requests.

Motion: Accept the Plan Commission recommendation, waive the First and Second Readings, and pass an Ordinance granting Special Use Permits for indoor recreation and entertainment and extended hours of operation of 5:00 A.M. opening to permit the operation of JFZ Fitness, located at 9975 W. Lincoln Highway, Suite 2, in accordance with the reviewed plans and public testimony.

3. FINAL PLAT OF HOMESTEAD CENTER: SOUTHWEST CORNER OF WOLF AND LARAWAY ROADS – APPROVAL

Applicant, Brianne Development, Inc. proposes to subdivide the 4.2-acre parcel located at the southwest corner of Wolf and Laraway Roads. The subject property was originally platted and zoned commercial as part of the development of the Homestead Subdivision in 1997. The

Presenter: Trustees Borrelli/Leddin/Savaria

proposed final plat divides the existing parcel into two commercial lots. The Village Board previously approved a PUD for a 9,600 square-foot shopping center and a Special Use Permit for outdoor seating; however, a final plat was never recorded for the project. There are no proposed changes to the previously approved site plan, landscape plan, or building architecture. The formerly approved building would be located on Lot 1 and Lot 2 is intended to remain undeveloped at this time.

At the September 9, 2021 Plan Commission meeting, the Commissioners forwarded a unanimous (7-0) recommendation to the Village Board to approve the final plat for Homestead Center.

Motion: *Accept the Plan Commission recommendation and approve the Final Plat of Homestead Center, located at the southwest corner of Wolf and Laraway Roads, prepared by DesignTek Engineering, Inc., dated 04.06.2021, in accordance with the reviewed plans.*

Draft

ORDINANCE NO. 33XX

AN ORDINANCE AMENDING THE VILLAGE OF FRANKFORT'S ZONING ORDINANCE 2001, ARTICLES 5, 7 AND 12

WHEREAS, vacation rentals possess certain specific concerns that can cause a negative impact on surrounding properties and the Village as a whole, such as life-safety concerns, quality of neighborhood concerns, security concerns, fire-safety concerns, and tax revenue concerns; and

WHEREAS, the Village desires to promote the public health, safety, and welfare by licensing and regulating the operation of vacation rentals within the Village of Frankfort; and

WHEREAS, a timely Notice of Public Hearings before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on amendments to the 2001 Zoning Ordinance; and

WHEREAS, on August 26, 2021, and continuing to and including on September 9, 2021, a Public Hearing was held before the Plan Commission/Zoning Board of Appeals where recommendations were forwarded to the Board of Trustees of the Village of Frankfort to consider proposed revisions to the Village of Frankfort Zoning Ordinance, Articles 5, 7, and 12 in relation to vacation rentals; and

WHEREAS, the Board of Trustees of the Village of Frankfort have determined it is in the best interest of the health, safety, and welfare of the residents of the Village of Frankfort to make the following modifications to the 2001 Zoning Ordinance

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. ARTICLE 5: USE REGULATIONS

That Article 5: Use Regulations, Section B: Table of Permitted and Special Uses, be amended to add Vacation Rental to the Special Use Table as follows:

Residential Uses																
	E-R	R-1	R-2	R-3	R-4	AG	H-R	B-1	B-2	B-3	B-4	OR	I-1	I-2	H-1	Use Standards
Vacation Rental															S	5.C.38

SECTION 2. ARTICLE 5: USE REGULATIONS

That Article 5: Use Regulations, Section C: Use Standards, be amended to include Part 38: Vacation Rentals as follows:

Part 38: Vacation Rental

A Vacation Rental shall be operated in accordance with the following:

- a. Maximum occupancy shall be reviewed on a case by case basis but in no instance shall exceed ten (10) guests per Vacation Rental.
- b. There must be at least 100 square feet of gross interior floor area for each guestroom. Kitchens, bathrooms, hallways, closets, and other areas not defined as a bedroom under the International Property Maintenance Code, or other applicable code adopted by the Village, are not considered habitable rooms for sleeping purposes.
- c. No Vacation Rental shall be located on a lot closer than 250 feet from any other lot containing a Vacation Rental.
- d. New construction, additions, or remodeling must be in keeping with a residential character and is subject to review by the Village of Frankfort Historic Preservation Commission.
- e. In addition to any other requirements posed by the Village of Frankfort Fire Department, or other applicable code adopted by the Village, each guestroom must contain at least one hard wire smoke detector and carbon monoxide detector.
- f. A Vacation Rental may only be operated with a properly issued vacation rental license as provided for in the Code.

SECTION 3. ARTICLE 7: SITE DEVELOPMENT REGULATIONS

That Article 7: Site Development Regulations, Section B: Off-Street Parking & Loading, Part 2: Off Street Parking Specific Regulations, paragraph a. Residential Uses be amended to include Vacation Rental as follows:

- a. Residential Uses:
 - 1. Single- and Two-Family Dwellings. Two (2) spaces per dwelling unit.
 - 2. Attached-Family Dwellings. Two (2) spaces per dwelling unit; plus 0.05 guest spaces for each 1,200 square feet of the dwelling unit.
 - 3. Housing for the Elderly:
 - a) Independent Living. One (1) space per bedroom.
 - b) Assisted Living. One-half (0.5) space per dwelling unit; plus one (1) space per employee for the work shift with the largest number of employees.
 - c) Nursing Home. One (1) space per six (6) dwelling units or beds; plus one-quarter (0.25) space per dwelling unit or bed for guest parking; plus one (1) space per employee for the work shift with the largest number of employees.

4. Vacation Rental. One (1) parking space shall be provided for each guest room, plus the spaces required for a single-family home. Parking spaces may be stacked in a driveway to prevent the over-parking of the area.

SECTION 4. ARTICLE 12: RULES AND DEFINITIONS

That Article 12: Rules and Definitions, Section A, Part 2: Definitions, be amended to add the following definitions as follows:

Part 2: Definitions

The following words and terms shall have meaning set forth, except where otherwise specifically indicated. Words and terms not defined shall have the meaning indicated by common dictionary definition.

Guestroom. A room within a dwelling unit, forming a separate area, used, or intended to be used for sleeping. A guestroom does not include kitchens, bathrooms, hallways, closets, or common areas such as living rooms, family rooms and dining rooms not offered as a bedroom under the International Property Maintenance Code, or other applicable code adopted by the Village.

Vacation Rental: A dwelling unit or portion thereof located in a Historic H-1 Zoning District and offered for overnight lodging on a temporary basis to paying guests, for more than ten (10) guests maximum, for a period not to exceed fourteen (14) consecutive days to any person other than a member of the owner's family. Vacation rental owners may, but are not required to live in the vacation rental during the periods when the property is rented. The term "vacation rental" shall not include hotels or motels or bed and breakfast establishments, nor shall it include "home swapping" where a homeowner switches or trades homes with another homeowner in a different town for a short period of time for a vacation and no money is exchanged.

SECTION 5. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 6. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 7. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2021; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA PETROW	___
DANIEL ROSSI	___	EUCEN S. VARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2021.

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Public Hearing: Village of Frankfort Zoning Ordinance Text Amendments *(tabled from August 26, 2021)*

Chair Rigoni introduced the request to amend several sections of the Zoning Ordinance to provide regulation for vacation rentals. She asked for all members of the public wishing to speak on this item or all subsequent items to be sworn-in.

Senior Planner, Janine Farrell, reviewed the request:

- The Zoning Ordinance text amendment was first heard at the August 26th meeting and was tabled with requests for additional information.
- The number of detached homes, townhome dwelling units and dwelling units within mixed use buildings located within the H-1 zone district was provided to the Commission:
 - 9 detached single family homes
 - 13 townhomes or attached single family homes
 - 45 apartments/condos as part of mixed use structures
- The draft language for changes to Chapter 123 of the Code of Ordinances was explained, which would be reviewed separately by the Village Board.
- Since the last Plan Commission meeting, the draft language remained largely unchanged, pending discussion and direction from the Commission.
- At the previous Plan Commission meeting, a member of the public suggested reexamining the proposed 10-guest maximum limit. They noted that the renting of an entire house could plausibly accommodate 10 people. However, if the owner only chose to rent out 1 bedroom, the maximum number of guests permitted would remain at 10, which could be problematic. To address this concern, text could be added to allow for the Plan Commission to review maximum occupancies on a case-by-case basis, but in no instance allow the maximum occupancy to exceed 10 persons.
- Farrell discussed new information provided to the Commission since 8/26:
 - Homeowners' Condo/Neighborhood Association approval: Chapter 123.03(D) already includes this.
 - Hours of operation: There are no regulations for the hours of operation in the Zoning Ordinance for residential uses, only commercial uses. Regulating operating hours for vacation rentals could be difficult to enforce.
 - Age and background checks: The minimum renter age and requiring background checks are not necessarily land use issues, but the Commission could make recommendations to the Board regarding these to include in Chapter 123.
 - Noise: There are existing noise regulations in both the Zoning Ordinance and in Chapter 123 of the Code of Ordinances.
 - Maximum days: Chapter 123.04(B)(4) limits the number of days that a dwelling could be rented per year to 60.
 - Minimum night: Chapter 123.04(B)(1) requires a minimum rental time of 24 hours, but this could be increased if desired and a recommendation made to the Board.
 - Insurance: Insurance is not necessarily a land use issue and is already included in Chapter 123.03(A) and 123.06(A).

- Deposit/Bond: There are no regulations to require a bond or damage deposit. This is not necessarily a land use issue and the Commission may recommend it be included in Chapter 123.

During the Plan Commission Discussion:

Commissioner Lisa Hogan noted that the minimum age requirement makes sense but questioned whether the Village should be tasked with enforcing background checks and security deposits. She noted that property owners would probably perform background checks of renters on their own to ensure the safety of their property and that the Village should not be involved in regulating this aspect.

Commissioner Knieriem stated that he didn't think that the background check regulation should be included in the Zoning Ordinance, as this might cause the Village to assume liability.

Chair Rigoni reaffirmed that the background checks and security deposit requirements should be listed in Chapter 123 and not in the Zoning Ordinance. Farrell responded in the affirmative.

Commissioner Knieriem stated that per Section 123.04, he would like to see the minimum rental stay extended from 1 day to 2 days. He also stated that per Section 123.10, he would like to see the penalty for violations increased from \$50 to perhaps \$200 to better discourage breaking the rules.

Commissioner David Hogan suggested that dwellings located within mixed-use buildings should not be permitted to rent their property as a vacation rental.

Chair Rigoni opened the discussion for public comment.

Resident Deborah Hardeck spoke before the Commission. She noted that most of the proposed vacation rental language was aimed at the property owner but did not address things that might affect neighboring properties. Chair Rigoni responded that vacation rentals would be permitted only as special use and that the Village had the ability to revoke the special use permit and could also revoke the business license. She also stated that the Plan Commission should remain more focused on regulations proposed for the Zoning Ordinance, not Chapter 123 of the Code of Ordinances.

There were no other public comments.

Commissioner Lisa Hogan stated that a property owner offering only 1 or 2 bedrooms should not have the ability to rent to 10 people and that the number of guests should be based on either square footage available or the number of bedrooms.

Commissioner Markunas asked staff for their recommendation regarding the number of guests permitted. Farrell responded that the number of guests should be made on a case-by-

case basis by the Plan Commission during each special use permit request, but that in no instance shall this amount exceed 10.

Commissioner Schaeffer mentioned that she would prefer not to duplicate regulations by repeating the same vacation rental requirement in both the Zoning Ordinance and Chapter 123 of the Code of Ordinances.

Chair Rigoni reiterated that the Commission would not be recommending a regulation regarding background checks, but would be recommending that a minimum stay should be 48 hours and that the penalty fees should be similar to other violation fees that the Village charges.

Resident Deborah Hardwick spoke again. She asked whether the minimum age to rent would be 18 years old; if so, that age 18 is too young. Chair Rigoni replied that the age requirement would be part of Chapter 123 and would be acted upon by the Village Board, but that the Plan Commission could convey a preference to have the age limit raised. Conversation ensued regarding the terminologies of “vacation rental” and “guestroom”. Farrell stated that a guestroom is a space within a vacation rental. As an example, a vacation rental could have four guestrooms within the house. A property owner could rent out one room of the house or rent the entire house. Commissioner Lisa Hogan stated that the owner may or may not be living in the house during the time that the guestroom(s) are rented.

Ms. Hardwick asked the Commission who would be enforcing the ordinance, such as if a guestroom were rented over the maximum consecutive 14 days. Ms. Hardwick felt that enforcement seemed to become the responsibility of the neighbors. Commissioner Schaeffer stated that the owner or operator of the property would still have to be within 30 miles of the property, per the proposed changes to Chapter 123. Ms. Hardwick asked if the Police Department would have a record of which property owners had vacation rentals in the Village. Chair Rigoni responded that the Village would have this information.

Motion (#2): Recommend the Village Board approve text amendments to the following Zoning Ordinance sections in order to create a new use category, vacation rentals, in accordance with public testimony and the Findings of Fact: Article 5, Section B, Table of Permitted and Special Uses; Article 5, Section C, Use Standards as amended; Article 7, Section B, Part 2, a, Off-Street Parking & Loading; and Article 12, Section A, Part 2, Definitions. The amendment to Article 5, Section C, Part 38 ‘a’ shall read “maximum occupancy shall be reviewed on a case by case basis but in no instance shall exceed ten (10) guests per Vacation Rental.”

Motion by: Lisa Hogan

Seconded by: Markunas

Approved: (7 to 0)

The Commission also made two recommendations to the Village Board regarding Chapter 123:

- 123.04(B)(1) = increase the minimum period of time to forty-eight (48) consecutive

DRAFT

hours instead of twenty-four (24) hours

- 123.10 = ensure that the penalties or fines are similar to other penalties or fines in the Village

Draft

Memo

To: Plan Commission/Zoning Board of Appeals
From: Janine Farrell, AICP
Date: September 2, 2021
Re: Vacation Rental

At the August 26, 2021 Plan Commission/Zoning Board of Appeals meeting, a public hearing was held on the proposed text amendment to include the use “Vacation Rental” as a special use in the H-1 zoning district. At the public hearing, one resident spoke in opposition to the proposed amendment. The Commission tabled the item until the September 9th meeting and made a request for the following additional information to be provided:

- Zoning map of the H-1 district (full zoning map and H-1 map included as attachments)
- Information on the number of dwellings in the H-1 district (included as an attachment)
- Proposed Chapter 123 which codifies the licensing regulations for Vacation Rentals (included as an attachment) – staff has highlighted certain sections which may be of interest to the Commission

At the August 26th meeting, the Commission discussed several items which would add additional protection for neighbors of vacation rentals. Staff has listed these below with responses of where the regulations can currently be found or recommendations for where they might be included. The Commission may wish to include a regulation in the Zoning Ordinance that is already in Chapter 123 or make recommendations for changes to Chapter 123 which will then be provided to the Board for consideration.

- Homeowners/Condo Neighborhood Association approval
 - Required under Section 123.03(D) and may also be added to the proposed language in Zoning Ordinance Article 5, Section C, Part 38.
- Hours of operation
 - No regulations in the Zoning Ordinance or Chapter 123 specifically related to hours of operation for Vacation Rentals.
 - Zoning Ordinance Article 6, Section C, Part 2, ‘q’ limits the hours of operations for non-residential uses only. “Hours of Operation. Non-residential uses may be open for business between the hours of 7 am and 11 pm. Establishments with operating hours outside of these normal operating hours must be approved as a special use according to the regulations of Article 3, Section E.” While the H-1 zoning district is categorized in Article 6, Section C as a “non-residential district,” the vacation rental use is proposed to be listed as a “residential use” in the Use Table (Article 5).
 - Restricting hours of operation for a residential use may be difficult to codify. There are nuisance provisions in 123.07(G-H) and noise ordinance regulations in Article 6 which may satisfy the Commission’s concerns.
- Minimum renter age
 - No regulations in the Zoning Ordinance or Chapter 123 related to a minimum renter age for Vacation Rentals.

- From staff's research, there is no law in Illinois requiring a minimum age to rent a hotel. Most hotels establish a policy of 18 or 21 and over (i.e. no minors) since a person is entering into a contractual agreement by renting a room.
- It is against the terms of service for vacation rental sites Airbnb and VRBO for anyone under the age of 18 to create an account, rent a room, or host a rental.
- The Commission may wish to recommend to the Village Board that it include a minimum renter age (18 or 21) within section 123.01 under the definition of "guest," and a new section in 123.04.
- Noise
 - See Chapter 123.07(G-H).
 - See Zoning Ordinance Article 6, Section D, Part 2 (attached). Under Article 6, Section C (also attached), the H-1 zoning district is included under the "non-residential" districts and is subject to Level A Performance Standards. Article 6, Section D, Part 1, 'b' states that all uses in all other districts must comply with Level A standards. If there is no distinction between Level A and Level B, then the standard provided applies to all uses.
- Background checks for renters
 - A background check will be performed by the Village on the owner(s) and manager(s) as stipulated in 123.06(D).
 - There is currently no background check required to be performed by the owner/manager on the potential renter of the vacation rental within Chapter 123 or the Zoning Ordinance.
 - Since a background check is not technically a land use issue, the Commission may wish to recommend that a new section be included in section 123.04 that background checks be performed on each renter in section 123.06(B) to maintain the background check report with the registration record, and under section 123.03(E) that there is an annual report provided with the background check information when the license is renewed. Note this is not explicitly stating that someone with a criminal history is barred from renting the dwelling.
- Maximum days per year
 - Currently there is a maximum of 60 days per license year (May 1 through April 30) as stipulated in 123.04(C)(4).
 - The Commission may wish to add to include this in the proposed Article 5, Section C, Part 38 (or reduce/increase the number as well).
- Minimum night rental
 - Currently there is a minimum 24-hour rental required in section 123.04(B)(1).
 - The Commission may wish to increase that minimum requirement in 123.04(B)(1) and/or add a new section in proposed Article 5, Section C, Part 38 of the Zoning Ordinance.
- Insurance
 - See section 123.03(A) and 123.06(A).
 - There is nothing codified within the Zoning Ordinance. If added, it should be included under Article 5, Section C, Part 38 and mirror the requirements in 123.06(A). As with background checks, this may not necessarily be a land use issue and required to be codified in the Zoning Ordinance.
- Deposit/bond
 - There are no requirements for the owners or renters to provide a deposit or bond in Chapter 123 or the Zoning Ordinance.
 - Vacation rental sites Airbnb and VRBO may require a security or damage deposit, but it is not mandatory.
 - If the Commission wishes to add a security deposit requirement, it may recommend to the Village Board that it be included in 123.06 and annual proof of deposit provided in section 123.03(E). As with background checks and insurance,

this may not necessarily be a land use issue and required to be codified in the Zoning Ordinance.

The revised draft language for the vacation rental text amendment is included as an attachment. The only change from the August 26th meeting is Article 5, Section C, Part 39 has been updated to Part 38 since the outdoor beer garden amendments have been tabled indefinitely. The new Part 38 is reflected in the use table and in Article 5, Section C. Staff did not want to unnecessarily add additional language from the list above if the Commission believed Chapter 123 or other existing language satisfied their concerns.

Based upon the information above, the Commission may wish to include the following regulations to proposed Zoning Ordinance Article 5, Section C, Part 38:

- HOA/Condo/Neighborhood Association approval (already in Chapter 123)
- Maximum days per year (already in Chapter 123)
- Minimum night rental (already in Chapter 123)

Based upon the information above, the Commission may wish to make a recommendation to the Board for changes to Chapter 123:

- Include a minimum renter age
- Include background checks for renters
- Require a deposit/bond

The Commission may provide staff direction on the changes to be made which can then proceed to the Village Board or staff can return with a final draft of the changes to the September 23rd meeting. For the Commission's consideration, staff is providing the following Findings of Fact and proposed affirmative motion language for the Zoning Ordinance text amendments.

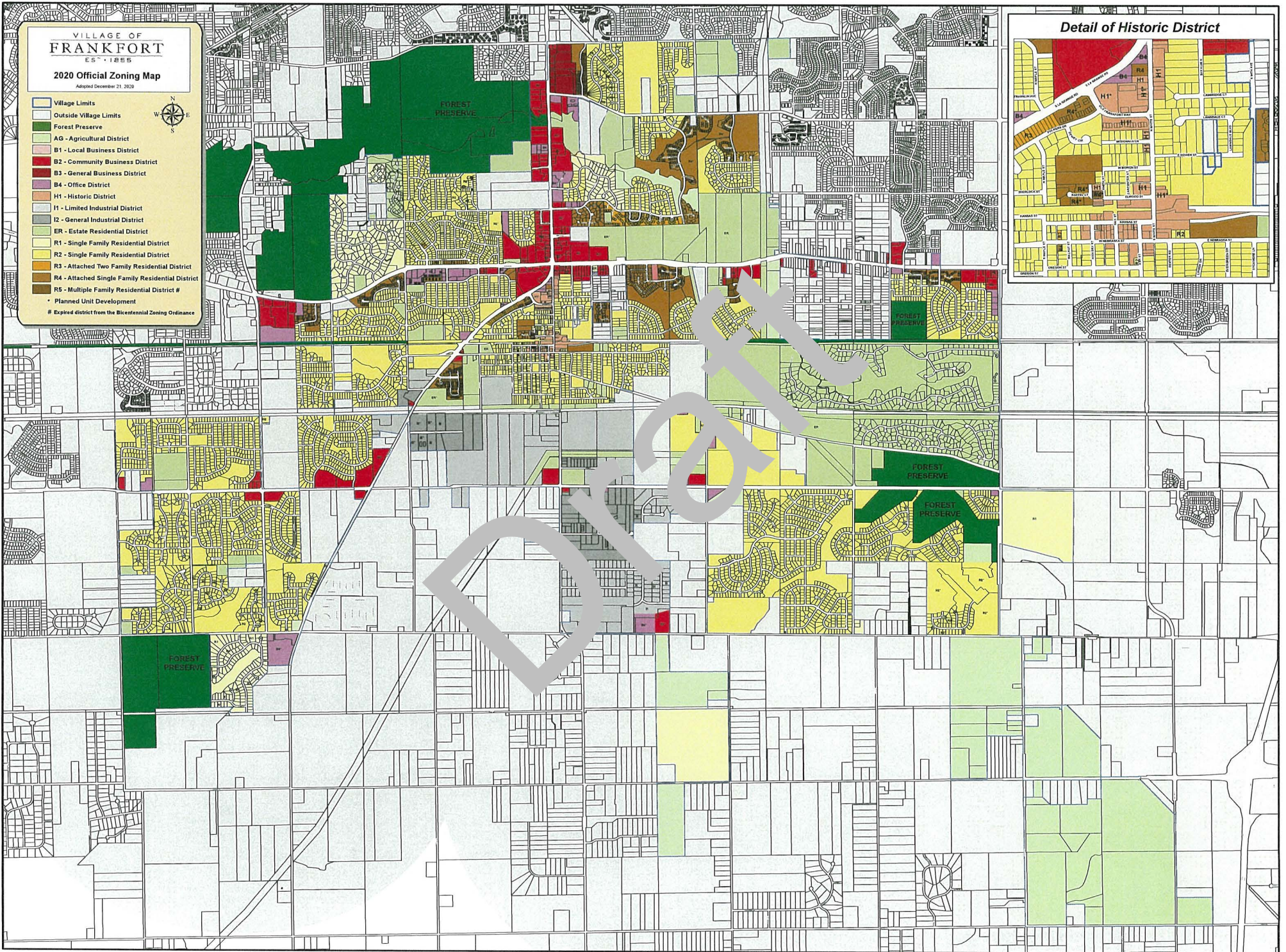
- **Findings of Fact:** Article 3, Section D, Part 1 states "for the purpose of promoting the public health, safety and general welfare, conserving the value of property throughout the community and lessening and avoiding congestion in the on public streets and highways, the Village Board may amend the regulations imposed in the districts created by this Ordinance (text amendment), provided that in all amendatory ordinances adopted under the authority of this section due allowance shall be made for existing conditions, the conservation of property values, the direction of building development to the best advantage of the entire community and the uses to which property is devoted at the time of the adoption of such amendatory ordinance."
- **Motion:** Recommend the Village Board approve text amendments to the following Zoning Ordinance sections in order to create a new use category, vacation rentals, in accordance with public testimony and the Finds of Fact: Article 5, Section B, Table of Permitted and Special Uses; Article 5, Section C, Use Standards; Article 7, Section B, Part 2, a, Off-Street Parking & Loading; and Article 12, Section A, Part 2, Definitions.

VILLAGE OF
FRANKFORT
EST. 1865

2020 Official Zoning Map

Adopted December 21, 2020

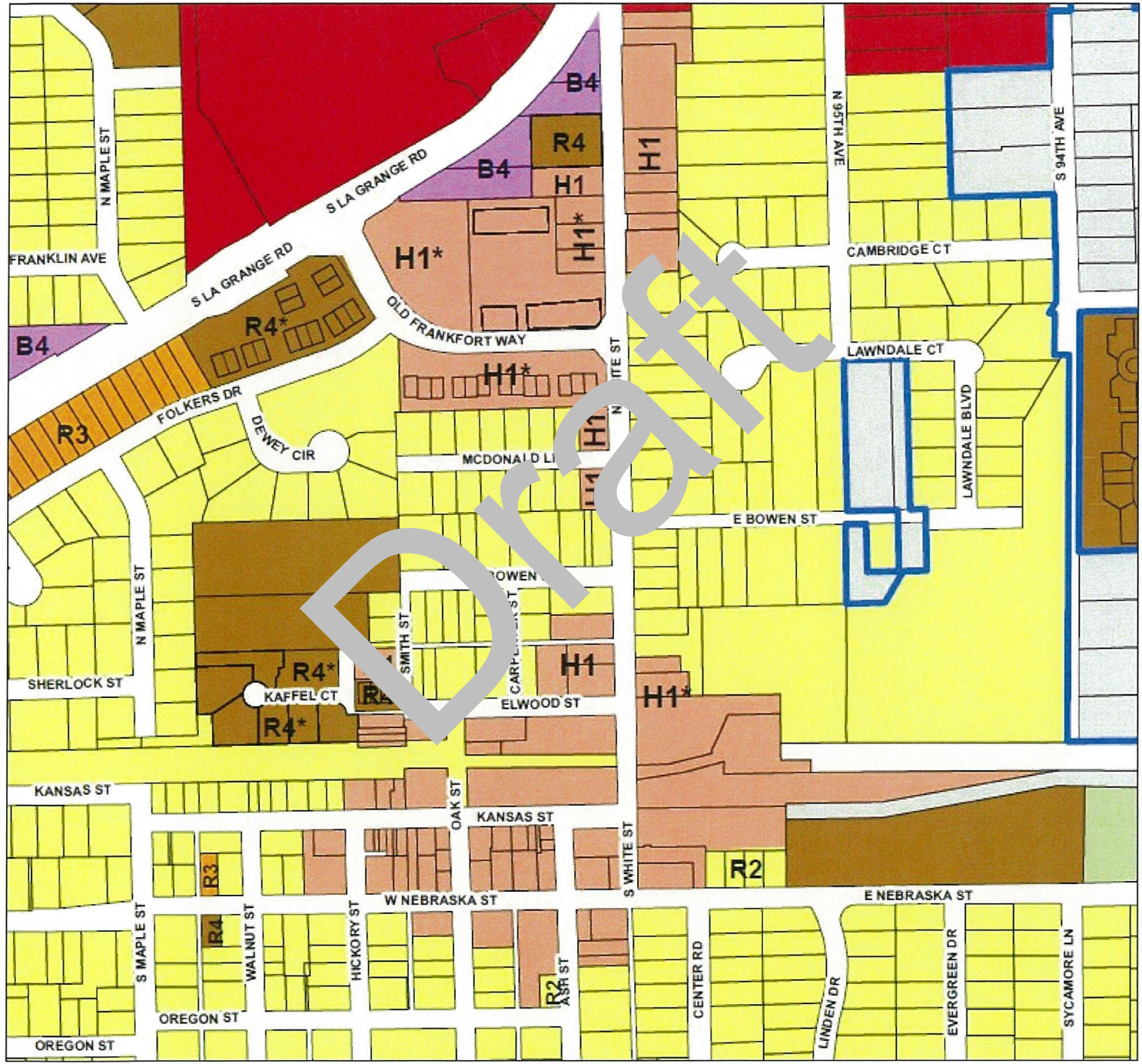
-  Village Limits
-  Outside Village Limits
-  Forest Preserve
-  AG - Agricultural District
-  B1 - Local Business District
-  B2 - Community Business District
-  B3 - General Business District
-  B4 - Office District
-  H1 - Historic District
-  I1 - Limited Industrial District
-  I2 - General Industrial District
-  ER - Estate Residential District
-  R1 - Single Family Residential District
-  R2 - Single Family Residential District
-  R3 - Attached Two Family Residential District
-  R4 - Attached Single Family Residential District
-  R5 - Multiple Family Residential District #
-  * Planned Unit Development
-  # Expired district from the Bicentennial Zoning Ordinance



Detail of Historic District



Detail of Historic District



DWELLINGS IN H-1

Staff created the following list of residential properties (single-family, multi-family, mixed-use, etc.) in the H-1 zoning district. Please note that this list was created using Township Assessor information, Will County GIS, and other information available in the Village's records. **As such, this list is not meant to be comprehensive or 100% accurate.** This document is only meant to provide an estimate of residential properties in the H-1 zoning district. After reviewing this information, the Commission may wish to restrict the Vacation Rental use to a certain type of residential property, like "dwelling unit(s) above first floor commercial use," for example. Within the H-1 district, there is estimated to be about ten detached single-family residences. Townhomes, apartments/condos, or mixed-use buildings with commercial and residential make up the remainder of the housing stock or around sixty-two dwelling units.

PIN	Address	Direction	Street	Description	Use	Number of Dwellings
1909282210020000	109		Ash	Single-family Residence	Residential	1
1909282030030000	113-115		Kansas	Old Plank Trail Tavern	Mixed-use	2
1909282030020000	119		Kansas	Former general store	Mixed-use	2
1909282060060000	110		Kansas	Commercial and residential	Mixed-use	1
1909282060140000	112		Kansas	Commercial and residential	Mixed-use	1
1909282060170000	116		Kansas	Former commercial	Mixed use	1
1909282060160000	118		Kansas	Former commercial	Mixed use	0
1909282060010000	122		Kansas	Commercial and residential	Mixed-use	2
1909282060080000	100-106		Kansas	Commercial and residential	Mixed-use	2
1909282060100000	119	W	Nebraska	Single-family residence	Residential	1
1909282060100000	115	W	Nebraska	Single-family residence	Residential	1
1909282070070000	39	W	Nebraska	Commercial and residential	Mixed-use	1
1909282080090000	3	W	Nebraska	Two-story commercial building	Mixed use	1
1909282210140000	4	W	Nebraska	Commercial and residential	Mixed-use	1
1909282060130000	26		Oak	Single-family residence	Residential	1
Multiple	1-61		Old Frankfort Way	Commercial and residential	Mixed-use	32
1909214120090000	2-50		Old Frankfort Way	Townhomes	Residential	13
1909214100120000	20		Smith	Single-family residence	Residential	1
1909223000350000	317		White	Single-family residence	Residential	1
1909223000300000	245	N	White	Single-family residence	Residential	1
1909214110070000	24	N	White	Single-family residence	Residential	1
1909223000160000	22	N	White	Single-family residence	Residential	1
Multiple	219	N	White	Office and residential	Mixed-use	3
1909223050220000	11		White	Single-family residence	Residential	1

For reference, the following are the residential uses permitted by right or through a special use in the H-1 zoning district:

- Bed and Breakfast Inn = special use
- Dwelling unit(s) above first floor commercial use = permitted
- Hotel/Motel = special use
- Long-term care facility, assisted living facility or independent living facility = special use
- Residence of the proprietor of a commercial use = permitted

Note:

- The existing single-family detached dwellings are nonconforming uses, constructed before the implementation of the H-1 zoning district in 1976.
- Modern developments which include housing types not permitted in H-1 (like those along Old Frankfort Way) were developed through a PUD which can allow for a mix of uses not necessarily permitted in the underlying zoning district.

ORDINANCE NO. **33XX**

AN ORDINANCE AMENDING VILLAGE OF FRANKFORT CODE OF ORDINANCES – TITLE XI: BUSINESS REGULATIONS BY ADDING CHAPTER 123, VACATION RENTALS

WHEREAS, the Village of Frankfort is an Illinois non-home rule municipal corporation, Will and Cook Counties, Illinois, organized and operating under the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq*; and

WHEREAS, the Village has the authority to adopt ordinances and to promulgate rules and regulations that pertain to its government and affairs and that protect the public health, safety, and welfare of its citizens; and

WHEREAS, the President and Board of Trustees have determined that establishing local regulations and licensing of vacation rentals is in the best interest of the Village of Frankfort.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. ADDITION OF CHAPTER 123 VACATION RENTALS

That Title XI: Business Regulations of the Village of Frankfort Code of Ordinances is hereby amended by the addition of Chapter 123, Vacation Rentals, as follows:

CHAPTER 123 VACATION RENTALS

- § 123.01: Definitions
- § 123.02: License
- § 123.03: Application; Information Required
- § 123.04: Departmental Duties; License Requirements And Standards
- § 123.05: License Issuance And Renewal; Prohibitions
- § 123.06: Legal Duties
- § 123.07: Prohibited Acts
- § 123.08: Regulations
- § 123.09: License Revocation; Three-Year Wait For New License
- § 123.10: Penalty

123.01 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

GUEST. A person or persons renting or occupying a vacation rental guestroom overnight and having a permanent residence at an address other than the address of the vacation rental being temporarily rented or occupied. A vacation rental guest may not stay overnight in any portion of the vacation rental not designated as a guestroom.

GUESTROOM. A room within a dwelling unit, forming a separate area, used, or intended to be used for sleeping. A guestroom does not include kitchens, bathrooms, hallways, closets or common areas such as living rooms, family rooms and dining rooms not defined as a bedroom under the International Property Maintenance Code, or other applicable code adopted by the Village.

MANAGER. An authorized agent of the owner of the vacation rental who is located within a thirty (30) mile radius of the vacation rental and is available to promptly respond to complaints at all times during the rental period.

OWNER. An individual with at least a fifty one percent (51%) ownership interest in the property on which the vacation rental is situated.

VACATION RENTAL. A dwelling unit or portion thereof located in a Historic H-1 Zoning District and offered for overnight lodging on a temporary basis to paying guests, no more than ten (10) guests maximum, for a period not to exceed fourteen (14) consecutive days to any person other than a member of the owner's family. Vacation rental owners may, but are not required to, live in the vacation rental during the periods when the property is rented. The term "vacation rental" shall not include hotels or motels or bed and breakfast establishments, nor shall it include "house swapping" where a homeowner switches or trades homes with another homeowner in a different town for a short period of time for a vacation and no money is exchanged.

123.02 LICENSE.

A Village license is required to operate a vacation rental, as defined in this chapter, within the Village. The license year for the Village shall commence on May 1 of each year and shall terminate on April 30 of the following year, where no provision to the contrary is made. The application fee shall be \$200.00 and as subsequently amended from time to time by the President and Board of Trustees. The annual license fee shall be \$100.00 and as subsequently amended from time to time by the President and Board of Trustees with the initial fee being pro-rated for the initial term of licensure. A vacation rental license will not be issued unless a special use in the Historic H-1 Zoning District following a public hearing, consistent with the requirements of the Village's Zoning Ordinance, has been issued for the property in which the vacation rental is to operate. No license shall be transferable to another person or location or to other vacation rental establishments.

123.03 APPLICATION; INFORMATION REQUIRED.

An application for, and, if requested, renewal of, a business license to engage in the business of vacation rental shall be accompanied by the following information:

- (A) A certificate of insurance, as required under section 123.06 of this chapter;
- (B) A statement as to whether the applicant or any other person with an ownership interest in the property on which the vacation rental is located, including co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation, has ever been convicted in any jurisdiction of any felony or crime that is rationally related to the individual's fitness or capacity to operate a vacation rental. Applicant authorizes the Village to conduct a background check on the applicant, owners and managers;
- (C) Proof that the applicant is an owner of the property on which the vacation rental is located, and names, addresses, ownership interest and current contact information, including phone and e-mail address, for owner and any co-owners, partners, members, managers, and officers;
- (D) If the vacation rental property is subject to regulations or restrictions by a homeowners' association, condominium association or neighborhood association, applicant must provide documentary evidence that the applicable association or board has approved the use of the property as a vacation rental; and
- (E) For renewals only, a copy of the number of nights the vacation rental was rented and the number of guests who stayed at the vacation rental during the previous 12-month period.

123.04 DEPARTMENTAL DUTIES; LICENSE REQUIREMENTS AND STANDARDS.

- (A) The Building Department shall inspect each vacation rental before any initial vacation rental license is issued for compliance with all applicable Village Code requirements and Village and State regulations, as time to time amended. Thereafter, the Building Department shall inspect the vacation rental at least once every two (2) years. Vacation rentals shall be subject to compliance inspections by staff members of the Village's Police and Building Departments at any time upon reasonable notice. An inspection fee of \$50.00 will be charged for the initial inspection and an inspection fee of \$50.00 for each subsequent and bi-annual inspection. In order for a license to issue, a vacation rental must comply with all Village Code requirements and Village and State regulations, as time to time amended.
- (B) No vacation rental licensee shall:
 - 1. Rent any vacation rental for any period of time shorter than twenty-four (24) consecutive hours;

2. Rent any vacation rental more than once within any consecutive twenty-four (24) hour period measured from the commencement of one rental to the commencement of the next;
 3. Rent successively to any guest;
 4. Rent the property as a vacation rental for more than sixty (60) days in a license year;
 5. Serve or otherwise provide to any guest any food or beverage other than food or beverages that are pre-packaged and sealed by the manufacturer for individual serving; or
 6. Cause or permit, by action or failure to act, the vacation rental or its use to suffer from and/or create any violation of this Code.
- (C) Every vacation rental licensee shall post, in a conspicuous place within the vacation rental, the name, and telephone number of the licensee or his or her authorized agent, an emergency exit floor plan, and location of fire and safety equipment.
- (D) Every vacation rental licensee or their manager must be located within a thirty (30) mile radius of the vacation rental and must be available to promptly respond to complaints at all times during the rental period. The name, address, phone number and e-mail address of the licensee and their manager must be submitted to the Village and Police Department.
- (E) The kitchen shall be cleaned and sanitized between guests and all opened or perishable food and beverages shall be discarded. All dishes, utensils, pots, pans, and other cooking utensils shall be cleaned and sanitized between guests. The bathrooms shall be cleaned and sanitized between guests.
- (F) Vacation rental licensee shall change supplied bed linens and towels therein at least once each week, and prior to the renting of any guestroom to any new guest. The licensee shall be responsible for the maintenance of all supplied bedding in a clean and sanitary manner.
- (G) Any overnight parking for vacation rentals must be accommodated on the site or in another approved location, and parking, including overnight parking, shall be in conformance with this Code and Zoning Ordinance requirements.
- (H) Applicant shall compile a list of guests and their associated vehicle license plate numbers upon check-in and make such information available to the Police Department at any time upon request.

123.05 LICENSE ISSUANCE AND RENEWAL; PROHIBITIONS.

No business license to engage in vacation rental shall be issued to:

- (A) Any applicant, if such applicant or any other person with an ownership interest in the property on which the vacation rental is located, including co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation, has ever been convicted in any jurisdiction of any felony that is rationally related to the individual's fitness or capacity to operate a vacation rental.
- (B) Any applicant whose license to operate a vacation rental or similar establishment at any location within or outside the Village has been revoked for cause within the last three (3) years.
- (C) Any applicant where the applicant or any other person with an ownership interest in the property on which the vacation rental is located, including co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation, is in default to the Village regarding payment of water and sewer charges, special taxes or assessments, parking and other Village violation citations or judgments, motor vehicle tax, or any other taxes or fees that are due and unpaid by such person to the Village, or where there are delinquent property taxes due to Will or Cook Counties on the property on which the vacation rental is located or any other property owned within the Village by the applicant or co-owners, partners, members, managers, or officers of any owning partnership, limited liability company or corporation.
- (D) Any applicant who intends to operate a vacation rental on a property which has not been issued a special use in the Historic Hill zoning District following a public hearing, consistent with the requirements of the Village's Zoning Ordinance.

123.06 LEGAL DUTIES

Each vacation rental licensee shall be required to:

- (A) Provide with the application an insurance certificate indicating that the applicant and subject property is covered by liability insurance with limits of not less than one million dollars (\$1,000,000.00) per occurrence, for bodily injury and property damage arising in any way from the issuance of the license. Each policy of insurance required under this subsection shall:
 1. Be issued by an insurer authorized to insure in the State of Illinois;
 2. Include a provision requiring thirty (30) days' advance notice to the Village prior to cancellation or lapse of the policy. The licensee shall maintain the insurance required under this section in full force and effect for the duration of the license period for each vacation rental location. A single violation of this subsection shall result in suspension or revocation of the license;
- (B) Maintain current guest registration records which contain the following information about each guest: the guest's name, address, signature, room assignment, dates of accommodation and names of all occupants. The registration records shall be kept on file

for three (3) years and, upon request by any authorized Village official, shall be made available for inspection by such Village official during regular business hours or in case of an emergency;

- (C) Comply with all applicable Village Code requirements and Village and State regulations, as time to time amended;
- (D) Conspicuously display a current Village vacation rental license within the vacation rental with the name and telephone number of the licensee or his or her manager, an emergency exit floor plan and location of fire and safety equipment. The license should be available for inspection by any authorized Village official upon request; and
- (E) Fulfill all requirements of the Illinois Department of Revenue for operation of a vacation rental, including the payment of any applicable hotel taxes.

123.07 PROHIBITED ACTS.

It shall be unlawful for any vacation rental licensee to:

- (A) Exceed the scope of the license;
- (B) Allow occupancy of the property where the vacation rental or any part thereof is situated to exceed the following occupancy limits:
 - 1. Guests may only stay overnight in a guest room as defined in this chapter and as provided for in the Village's Zoning Ordinance.
 - 2. Authorized persons on a vacation rental property while a vacation rental is taking place are a maximum of ten (10) guests total and their children age twelve (12) and under plus the owner, licensee, co-owners, manager, and owner's family members.
 - 3. No pets other than service animals shall be allowed on the property other than those belonging to the owner/licensee.
- (C) Rent any vacation rental for more than fourteen (14) consecutive days to any guest. A guest may not successively rent or occupy the vacation rental to exceed fourteen (14) consecutive days;
- (D) Rent any portions of the vacation rental concurrently to separate guests;
- (E) Hold out or utilize a vacation rental property as a venue for weddings, conferences, parties, or other events, regardless of the number of attendees;
- (F) Erect any external signage regarding the vacation rental;

(G) Allow any disruptive activity which would disturb the tranquility of the neighborhood;

(H) Permit any criminal activity or public nuisance, including excessive noise, to take place on the property. If a licensee knows or suspects that any criminal activity or public nuisance is taking place on or immediately adjacent to the property, the licensee shall immediately notify the Police Department of such fact and cooperate with the Police Department in any investigation that may ensue;

(I) Knowingly make any false or incomplete or misleading statement about the licensee's criminal background, or the criminal background of any other person with an ownership interest, in connection with any license application submitted pursuant to this chapter; or

(J) Be in violation of any other requirement of this chapter, this Code or Zoning Ordinance, or any rules or regulations promulgated under any of the foregoing.

123.08 REGULATIONS.

The Village Administrator shall have the authority to promulgate rules and regulations necessary to implement the requirements of this chapter.

123.09 LICENSE REVOCATION; THREE-YEAR WAIT FOR NEW LICENSE.

If a vacation rental license is revoked for any cause, no license shall be granted to any person for the operation of a vacation rental at the property described in the revoked license, or to the revoked licensee, and his or her co-owner or the partner, members, managers, or officers of any owning partnership, limited liability company or corporation, for a period of three (3) years from the date of revocation.

123.10 PENALTY.

Any one violation of this chapter, or any rules or regulations promulgated under this chapter may result in fines, suspension or revocation. A violation of any section of this chapter is subject to a fine of not less than fifty dollars (\$50.00) nor more than seven hundred fifty dollars (\$750.00) for each offense. Each day that a violation continues shall constitute a separate and distinct offense. In addition to any other fines or penalties, the Village Administrator shall have the authority to suspend or revoke a vacation rental license for violation of this chapter after notice and opportunity to be heard with a right to appeal to the President whose decision is final.

SECTION 2. SEVERABILITY

If any section, paragraph, clause or provision of this ordinance is held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any of the other provisions of this ordinance.

SECTION 3. REPEALER

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 4. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage and approval and publication as required by law.

PASSED this __ day of ____, 2021; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET MORRIS	___
MICHAEL LEDDIN	___	JESSICA KILGORE	___
DANIEL ROSSI	___	EUGENE SAVARESE	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this ____ day of ____, 2021

KEITH OGLE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Article 5, Section B, Table of Permitted and Special Uses

Revise Table of Permitted and Special Uses

Under the “Residential Uses” use category on page 63, addition of “Vacation Rental” as “S” or a special use in the H-1 district. In the “Use Standards” column, “5.C.38” would also be added.

Article 5: Use Regulations

Section C: Use Standards

***New* Part 38 Vacation Rental**

The following new language, Part 38, to be added on page 99.

A Vacation Rental shall be operated in accordance with the following:

- a. Maximum occupancy shall be reviewed on a case by case basis but in no instance shall exceed ten (10) guests per Vacation Rental.
- b. There must be at least 100 square feet of gross interior floor area for each guestroom. Kitchens, bathrooms, hallways, closets and other areas not defined as a bedroom under the International Property Maintenance Code, or other applicable code adopted by the Village, are not considered habitable rooms for sleeping purposes.
- c. No Vacation Rental shall be located on a lot closer than 250 feet from any other lot containing a Vacation Rental.
- d. New construction, additions, or remodeling must be in keeping with a residential character, and is subject to review by the Village of Frankfort Historic Preservation Commission.
- e. In addition to any other requirements posed by the Village of Frankfort Fire Department, or other applicable code adopted by the Village, each guestroom must contain at least one hard wire smoke detector and carbon monoxide detector.
- f. A Vacation Rental may only be operated with a properly issued vacation rental license as provided for in the Code.

Article 7: Site Development Regulation

Section B: Off-Street Parking & Loading

Part 2: Off-Street Parking Specific Regulations

a. Residential Uses

***New* 4. Vacation Rental**

To codify how many spaces are required for the Vacation Rental use, an additional entry under the “Residential Uses” could be added on page 156. This mirrors the “Table of Permitted and Special Uses” organization.

4. Vacation Rental. One (1) parking space shall be provided for each guest room, plus the spaces required for a single family home. Parking spaces may be stacked in a driveway to prevent the over-parking of the area.

Article 12: Rules and Definitions

Section A: Rules and Definitions

Part 2: Definitions

Addition of the following definition for “Guestroom” after “Guest House” on page 193.

Guestroom. A room within a dwelling unit, forming a separate area, used or intended to be used for sleeping. A guestroom does not include kitchens, bathrooms, hallways, closets or common areas such as living rooms, family rooms and dining rooms not defined as a bedroom under the International Property Maintenance Code, or other applicable code adopted by the Village.

Addition of the following definition for “Vacation Rental” after “Utility Facilities” on page 209.

Vacation Rental. A dwelling unit or portion thereof located in a Historic H-1 Zoning District and offered for overnight lodging on a temporary basis to paying guests, no more than ten (10) guests maximum, for a period not to exceed fourteen (14) consecutive days to any person other than a member of the owner's family. Vacation rental owners may, but are not required to, live in the vacation rental during the periods when the property is rented. The term "vacation rental" shall not include hotels or motels or bed and breakfast establishments, nor shall it include "house swapping" where a homeowner switches or trades homes with another homeowner in a different town for a short period of time for a vacation and no money is exchanged.

Draft

	E-R	R-1	R-2	R-3	R-4	AG	H-R	B-1	B-2	B-3	B-4	OR	I-1	I-2	H-1	Use Standards
Manufactured homes, factory-built homes or any other similar homes					S											5.C.11
Small group home	S	S	S	S	S		S									5.C.7
Large group home					S											5.C.7
Bed and breakfast inn															S	5.C.4
Dwelling unit(s) above first floor commercial use (Am. Ord. 2495, passed 08.04.08)								S							P	
Hotel and/or motel										S	S	S			S	
Long-term care facility, assisted living facility or independent living facility (Am. Ord. 2247, passed 12.05.05)					S				S	P					S	
Residence of the proprietor of a commercial use								S			S				P	5.C.15
Vacation Rental															S	5.C.38
Public, Cultural, Recreation, and Other Institutional Uses																
Ambulance service (Am. Ord. 2495, passed 08.04.08)													S	P		5.C.20
Cemetery	S	S	S	S	S	P	S									
College or university									S	S	S	S	S			

- j. A safe must be provided on site that is of sufficient size to accommodate all firearms on site at any given time. All firearms must be kept in the safe during non-business hours.
- k. The sale, distribution, or discharge of firearms or ammunition within a controlled indoor environment is prohibited within 1,000 feet of the property line of any existing school, preschool or daycare center, park, church, or property zoned or utilized for residential purposes.

Part 38: Vacation Rental

A Vacation Rental shall be operated in accordance with the following:

- a. Maximum occupancy shall be reviewed on a case by case basis but in no instance shall exceed ten (10) guests per Vacation Rental.
- b. There must be at least 100 square feet of gross interior floor area for each guestroom. Kitchens, bathrooms, hallways, closets and other areas not designed as a bedroom under the International Property Maintenance Code, or other applicable code adopted by the Village, are not considered habitable rooms for sleeping purposes.
- c. No Vacation Rental shall be located on a lot closer than 250 feet from any other lot containing a Vacation Rental.
- d. New construction, additions, or remodeling must be in keeping with a residential character, and is subject to review by the Village of Frankfort Historic Preservation Commission.
- e. In addition to any other requirements imposed by the Village of Frankfort Fire Department, or other applicable code adopted by the Village, each guestroom must contain at least one hard wire smoke detector and carbon monoxide detector.
- f. A Vacation Rental may only be operated with a properly issued vacation rental license as provided for in the Code.

Part 2: Off Street Parking Specific Regulations

All uses shall provide off-street parking in accordance with the following:

- a. Residential Uses:
 1. Single- and Two-Family Dwellings. Two (2) spaces per dwelling unit.
 2. Attached-Family Dwellings. Two (2) spaces per dwelling unit; plus 0.05 guest spaces for each 1,200 square feet of the dwelling unit.
 3. Housing for the Elderly:
 - a) Independent Living. One (1) space per bedroom.
 - b) Assisted Living. One-half (0.5) space per dwelling unit; plus one (1) space per employee for the work shift with the largest number of employees.
 - c) Nursing Home. One (1) space per six (6) dwelling units or beds; plus one-quarter (0.25) space per dwelling unit or bed for guest parking; plus one (1) space per employee for the work shift with the largest number of employees.
 4. **Vacation Rental. One (1) parking space shall be provided for each guest room, plus the spaces required for a single family home. Parking spaces may be stacked in a driveway to prevent the over-parking of the area.**
- b. Hotels and Motels. One (1) space per room plus two (2) spaces per each three employees, plus one (1) space per three persons of maximum capacity of each meeting or banquet room, plus parking as required for bars, restaurants, and gift shops as applicable.
- c. Civic and Cultural Facilities. Three (3) spaces per 1,000 square feet of gross floor area plus three (3) spaces per 1,000 square feet of gross land area.
- d. Schools, Institutions, and Related Uses:
 1. Elementary Schools and High Schools. One (1) space per employee; plus one-half (0.5) space per classroom, plus one (1) space per five (5) students aged sixteen years or older.
 2. Colleges and Universities. One-half (0.5) space per classroom seat or the maximum number of students that can be accommodated in accordance with design capacity, whichever is greater.
 3. Trade Schools. One (1) space per student based upon the maximum number of students that can be accommodated in accordance with design capacity.
 4. Day Care Center or Preschool. One (1) space per employee plus one (1) space per ten (10) client children or adults.

Floor Area Ratio (FAR): The ratio determined by dividing the floor area of a building or structure by the area of the lot on which the building or structure is located. When more than one building or structure is located on a lot, then the floor area ratio is determined by dividing the total floor area of all buildings or structures by the area of the lot, or, in the case of planned development, by the net acreage. The floor area ratio requirements, as set forth under each zoning district, shall determine the maximum floor area allowable for a building or other structure (including both principal and accessory buildings) in direct ratio to the gross area of the lot.

Foot-Candle: A unit of illumination. Technically, the illumination at all points one foot distance from a uniform point source of one candle power.

Frontage: The length of a front lot line or lines.

Frontage, Zoning Lot: All the property of such zoning lot frontage on a street, and measured between side lot lines.

Garage, Private: A building for the private use of the owner or occupant of a principal building situated on the same lot of the principal building for the storage of motor vehicles with no facilities for mechanical service or repair of a commercial or public nature.

Grade: The average level of the finished surface of the ground adjacent to the exterior walls of the building or structure.

Grocery Store: A retail establishment with a floor area of more than 5,000 square feet offering for sale a full line of groceries and household items.

Gross Acreage: The total acreage of a site less land within the platted rights-of-way of existing roads, utilities, and easements of access.

Group Home: A dwelling used to provide a socially dependent family environment for developmentally or mentally disabled persons, as specified in the 1988 Fair Housing Act Amendments of the Civil Rights Act of 1968. For purposes of this Ordinance, this definition shall not include "halfway houses," uses for the recovering chemically dependent, prison work release programs or any use that does not house solely the developmentally or mentally disabled.

Group Home, Large: A group home of nine (9) to fifteen (15) residents, including live-in staff.

Group Home, Small: A group home of eight (8) or fewer residents, including live-in staff.

Guest House: Living quarters within a detached accessory building on the same premises with the principal building for use by temporary guests of the occupants of the premises.

***Guestroom:* A room within a dwelling unit, forming a separate area, used or intended to be used for sleeping. A guestroom does not include kitchens, bathrooms, hallways, closets or common areas such as living rooms, family rooms and dining rooms not defined as a bedroom under the International Property Maintenance Code, or other applicable code adopted by the Village.**

(Am. Ord. 2247, passed 12.05.05)

Use: Any purpose for which a structure or a tract of land may be designed, arranged, intended, maintained, or occupied; also, any activity, occupation, business or operation carried on, or intended to be carried on, in a structure or on a tract of land.

Use Regulations: The provisions of this Ordinance which identify permitted uses, impose use limitations, require adherence to performance standards, and regulate home occupations and accessory and temporary uses.

Utility Facilities: All lines and facilities related to the provision, distribution, collection, transmission, or disposal of water, storm and sanitary sewage, oil, gas, power, information, telecommunication and telephone cable, and includes facilities for the generation of electricity. These services may be provided by a public or a private agency. Telecommunications towers and accessory buildings are explicitly excluded from this definition.

Vacation Rental: A dwelling unit or portion thereof located in the Historic Homecoming District and offered for overnight lodging on a temporary basis to paying guests, no more than ten (10) guests maximum, for a period not to exceed fourteen (14) consecutive days to any person other than a member of the owner's family. Vacation rental owners may, but are not required to, live in the vacation rental during the periods when the property is rented. The term "vacation rental" shall not include hotels or motels or bed and breakfast establishments nor shall it include "house swapping" where a homeowner switches or trades homes with another homeowner in a different town for a short period of time for no money is exchanged.

Variation: A dispensation permitted on individual parcels of property as a method of alleviating unnecessary hardship by allowing a reasonable use of the building, structure or property, which, because of unusual or unique circumstances, is denied by the terms of this Ordinance.

Vehicle Repair: General repair, overhauling, painting, engine repairing or rebuilding, reconditioning of motor vehicles or trailers (such as body or frame work) and fender straightening.

Vibration: The periodic displacement or oscillation of the earth.

Warehouse: A use engaged in storage, wholesale, and distribution of manufactured products, supplies, and equipment.

Wetland: An area that is inundated or saturated by surface water or groundwater at a frequency and duration sufficient to support, and that, under normal circumstances, does support, a prevalence of vegetation typically adapted for life in saturated soil conditions, commonly known as hydrophytic vegetation.

Wholesale Establishment: The sale of goods, merchandise and commodities for resale, without the collection of retail sales taxes.

Table of Density, Dimensions, and Other Standards for Non-Residential Districts

	B-1	B-2	B-3	B-4	OR	I-1	I-2	H-1
Minimum Lot Dimensions								
Lot Size (square feet) (Am. Ord. 1887, passed 04.15.02)	20,000	20,000	10 acres	20,000	3 acres	1 acre	1 acre	5,000
Lot Width (feet)	100	100	100	100	250	100	100	50
Minimum Required Yards (feet)								
Front Yard	50	50	50	50	50	50	50	-
Landscaped Front Yard (see 6.C.2.d) (Am. Ord. 3230 Passed 10.07.19)	25	25	25	25	50	20	20	-
Front Yard Setback from ROW Centerline of major highway or major industrial roadway, except Route 30 and Laraway Road (Am. Ord. 1887, passed 04.15.02)	125	125	125	125	125	125	125	-
Front Yard Setback from ROW Centerline of Route 30 and Laraway Road (Am. Ord. 1887, passed 04.15.02)	150	150	150	150	150	150	150	-
Corner Side Yard	5	50	50	50	50	50	50	10
Interior Side Yard	15	15	15	15	25	20	20	5
Side Yard Adjacent to Residential Use	30	50	50	30	50	75	100	10
Rear Yard	30	30	30	30	30	30	30	10
Rear Yard Adjacent to Residential Use	50	50	50	50	100	100	100	20
Bulk Dimensions								
Maximum Height (feet)	35	35	35	35	60	35	35	35
Maximum Impervious Lot Coverage	80%	75%	70%	70%	70%	80%	85%	-
Other Development Requirements	6.C.3.a	6.C.3.b	6.C.3.c	-	6.C.3.d	6.C.3.e	6.C.3.f	6.C.3.g
Performance Standards (Article 6, Section D)	Level A	Level A	Level A	Level A	Level A	Level A	Level B	Level A

Section D: Environmental Performance Standards

Part 1: General Regulations

- a. **Procedures & Purpose.** The purpose of the performance standards procedure is to ensure that an objective, unbiased determination is made in those cases where there may be substantial doubt as to whether an individual land use or group of land uses comply with the performance standards of this Part, and to formulate practical ways for the alleviation of such non-compliance.
- b. **Performance Standards.** All permitted non-residential uses shall comply with the Performance Standards set forth in Part 2 below. All uses in the I-2 General Industrial District shall comply with Level B standards, where provided. All uses in all other districts shall comply with the Level A standards. Where there is no distinction between Level A and Level B standards, the standards as provided shall apply equally to all uses in all districts.
- c. **Compliance.** Should the Code Official determine that the proposed use may violate the performance standards set forth here, the Code Official shall require information from the owner or operator and initiate an investigation. Should such additional data be required, the Code Official shall request information including, but not limited to, the following:
 1. Plans of the existing or proposed construction and development.
 2. A description of the existing or proposed machinery, processes and products.
 3. Specifications for the mechanisms and techniques used or proposed to be used in restricting the possible emission of any dangerous and objectionable elements as set forth in this Part.
 4. Measurements of the amount or rate of emission of said dangerous and objectionable elements.Failure to submit data requested by a Code Official shall constitute grounds for denying a permit of compliance.
- d. **Report By Expert Consultants.** A Code Official may require any person, firm or corporation to retain an expert consultant or consultants to study and report as to compliance or non-compliance with performance standards, and to advise how a proposed use can be brought into compliance with performance standards. Such consultants shall be persons or firms mutually agreeable to the Code Official and to the owner or operator of the use in question. In the event of inability to select a mutually agreeable consultant, the Zoning Board of Appeals shall select the consultant. The cost of the consultant's services shall be borne by the owner or operator of said use.

- e. Action By the Code Official. Within sixty (60) days following the receipt of the acquired evidence, or receipt of the reports of appointed consultants, the Code Official shall make a determination as to compliance or non-compliance with the performance standards. The Code Official may require modification or alterations in the existing or proposed construction or the operational procedures to ensure that compliance with the performance standards will be maintained. The operator shall be given a reasonable length of time to enact any changes prescribed by the Code Official for the purpose of securing compliance with the performance standards.
- f. Enforcement. The Code Official shall investigate any purported violation of performance standards and, if there are reasonable grounds for the same, shall investigate the alleged violation. For such investigation, the Code Official may employ qualified experts. If, after public hearing on due notice, the Village finds that a violation occurred or exists, a copy of said findings shall be forwarded to the owner or operator with instructions to correct the violation. The services of any qualified experts employed by the Village of Frankfort to advise in establishing a violation shall be borne by the Village of Frankfort.
- g. Cancellation of Permits. If, after the conclusion of the time granted for compliance with the performance standards, the Code Official finds the violation is still in existence, any compliance permits previously issued shall be void and the operator shall be required to cease operation until the violation is remedied.

Part 2: Performance Standards

- a. Noise
 - 1. No land use or other activity within the Village shall be conducted in such a manner that it generates a level of sound on another property greater than that allowed under the Noise Regulations of the State of Illinois, adopted by the State Pollution Control Board pursuant to the Environmental Protection Act, 415 ILCS 5/1 et seq., as amended, and appearing in Title 35, Subtitle H, of the Illinois Administrative Code, as amended.
 - 2. In addition to the standards set forth above, no land use or other activity within the Village, other than those specified in paragraph 4 below, shall be conducted in such a manner that it generates a level of sound on another property which is greater than the sound level set forth in the table of A-Weighted Sound Level Limits below.
 - 3. Sound levels shall be measured with a sound level meter manufactured according to the standards prescribed by the American National Standards Institute or its successor body.

4. The limits set forth in the table of A-Weighted Sound Level Limits below shall not apply to the following: noises not directly under the control of the owner or occupant of the property; noises emanating from construction, repair, and maintenance activities conducted between the hours of 7:00 a.m. and 7:00 p.m. and such other times as may be specifically authorized by the Code Administrator; noises emanating from safety signals, warning devices, and emergency pressure relief valves; and transient noises emanating from moving sources, such as trucks, automobiles, airplanes, and railroads.

A-Weighted Sound Level Limits		
District Classification of "Receiving" Property	Time of Day	Maximum "A-Weighted" Sound Level
Residential Districts	7:00 a.m. to 7:00 p.m.	50 dB(A)
	7:00 p.m. to 7:00 a.m.	45 dB(A)
All Others	7:00 a.m. to 7:00 p.m.	55 dB(A)
	7:00 p.m. to 7:00 a.m.	55 dB(A)

Exceptions: The following use and activities shall be exempt from the noise level regulations in the I-1 District:

- Noises not directly under control of the proper user.
- Noises emanating from construction and maintenance activities between 7:00 a.m. and 10:00 p.m. Such activities are those which are non-routine operations accessory to the primary activities and which are temporary in nature, or conducted infrequently.
- The noises of safety signals, warning devices and emergency pressure relief valves.
- Transient noises at moving sources such as automobiles, trucks, airplanes and railroads.

Impact noises shall not exceed the following peak intensities:

	Along Residence District Boundaries	Along Adjacent Lot Boundaries
Overall Peak (decibels)	80	86

ORDINANCE NO. 33XX

AN ORDINANCE GRANTING SPECIAL USE PERMITS FOR INDOOR RECREATION AND ENTERTAINMENT AND EXTENDED HOURS OF OPERATION TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL AND COOK COUNTIES, ILLINOIS (JFZ FITNESS – 9975 W. LINCOLN HIGHWAY, SUITE 2)

WHEREAS, an application for two Special Use Permits for certain property within the Village of Frankfort, legally described below, was filed by Jennifer Zeiger, Applicant; and Raymond and Elizabeth Whittingham, 9975 W. Lincoln Highway, Suite 1, Frankfort, Illinois 60423, Property Owners; and

WHEREAS, the Subject Property, commonly known as 9975 W. Lincoln Highway, Suite 2, is zoned B-2 Community Business District; and

WHEREAS, the Applicant requests the granting of two Special Use Permits for indoor recreation and entertainment and extended hours of operation of 5:00 A.M. opening to permit the operation of JFZ Fitness, a fitness facility that offers treadmill and strength-training classes, on the Subject Property; and

WHEREAS, a timely Notice of Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the Owners' application for the Special Use Permits for the Subject Property; and

WHEREAS, at the time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the Owners' application for the Special Use Permits for the Subject Property; and

WHEREAS, the Frankfort Plan Commission/Zoning Board of Appeals made special written Findings-of-Fact as required by the Village of Frankfort Zoning Ordinance 2001; and

WHEREAS, the Frankfort Plan Commission forwarded two unanimous recommendations to the Board of Trustees of the Village of Frankfort to grant the Subject Property Special Use Permits for indoor recreation and entertainment and extended hours of operation to permit the 5:00 A.M. opening of JFZ Fitness.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1. SPECIAL USE PERMITS

That the following described real property to wit:

PIN: 19-09-21-416-002-0000

LOT 2 IN ARTHUR T. MCINTOSH & COMPANY'S RE-SUBDIVISION OF BLOCK TWO IN ARTHUR T. MCINTOSH & COMPANY'S LINCOLN MEADOWS, A SUBDIVISION IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 15, 1974 AS DOCUMENT NO. R74-5870 IN WILL COUNTY, ILLINOIS, commonly known as 9975 W. Lincoln Highway, Suite 2, Frankfort, Will County, Illinois, which is the property subject to the previously described application for Special Use Permits, is hereby granted said Special Use Permits for indoor recreation and entertainment and extended hours of operation to permit the 5:00 A.M. opening of JFZ Fitness, in accordance with the reviewed plans, public testimony, and the condition prohibiting the rear door to be propped open from 5:00 A.M. to 7:00 A.M.

SECTION 2. ZONING MAP AMENDMENT

That the Zoning Map of the Village of Frankfort is amended to reflect the Subject Property, currently zoned B-2 Community Business District, hereby granted Special Use Permits for indoor recreation and entertainment and extended hours of operation as provided under this Ordinance and the Village of Frankfort Zoning Ordinance, as from time to time amended.

SECTION 3. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 4. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

SECTION 5. EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this __ day of ____, 2021; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI _____

MARGARET M. FARINA _____

MICHAEL LEDDIN _____

JESSICA PETROW _____

DANIEL ROSSI _____

EUGENE SAVARIA _____

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2021.

KEITH GEE
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Draft

Public Hearing Request: 9975 W. Lincoln Highway (Unit 2) – Special Use Permit (Indoor recreation and entertainment use)

Chair Rigoni introduced the case. The applicant, Jennifer Zeiger, is requesting two special uses for indoor recreation and entertainment and extended hours of operation at 9975 W. Lincoln Highway, Suite #2.

Gruba presented the case. The special use request is for indoor recreation and entertainment to operate treadmill and strength training classes. The business would be open from 5:00am-11:00p and there are two motions for two special use requests including the extended business hours. Each class would have one employee, with class sizes not exceeding 13 people. Gruba showed the aerial on the screen. There are 26 spaces on the site which includes a dentist and investment firm. The use only requires five parking spaces per the Zoning Ordinance. With the other two uses and the proposed use, 22 spaces will be used out of the 26 spaces available. There is a cross-access agreement with Aurelio's to the east, but staff did not find a shared parking agreement. The use complies with the Findings of Fact as detailed in the report. Gruba presented pictures of the site on the screen.

Chair Rigoni asked if the applicant was present. Jennifer Zeiger approached the podium. Ms. Zeiger explained her business is called Treadfit, which is treadmill interval fitness training with strength training. There is no receptionist, only one instructor, and 13 people in the class maximum. The classes have a 10 to 20 minute space in-between so there is no overlap. Commissioner Knieriem asked if this was similar to Orange Theory. Ms. Zeiger confirmed.

Chair Rigoni asked if there were any initial questions of the Commissioners.

Commissioner Knieriem confirmed with the petitioner that there is no overlap in the class times and that there is a separate waiting area. Commissioner Knieriem asked about shared parking to the west. Ms. Zeiger stated that it is not shared parking and there is only one space which straddles the properties. Commissioner Knieriem and Ms. Zeiger discussed hours of operation. The 6:00am class is the most popular and when Treadfit is busiest. The last class is at 8:00pm but the special use is required since the hours extend earlier than 7:00am. Aurelio's does not open until 11:00am so there should not be conflict of peak business hours.

Commissioner Markunas asked if the main entrance was the rear of the building. Ms. Zeiger stated they prefer people to enter through the rear, not the front.

Chair Rigoni asked if there was a shared parking agreement with Aurelio's. Betsy Whittingham, the owner of the property, approached the podium. Ms. Whittingham stated that shared parking is implied on the cross-access agreement. There is a stipulation that the other businesses' customers cannot park in front of the building, but the remainder of the lot is open.

Chair Rigoni stated that previous indoor recreation special use requests were conditioned so

the back door cannot be left open before 7:00am. Gruba confirmed this was for Method Athletics. Ms. Zeiger stated that they are sensitive to neighbors and will be putting in soundproofing as well.

Commissioner Lisa Hogan confirmed with the petitioner that there is only one employee per class.

Commissioner Guevara confirmed with the petitioner that the hours of operation are by appointment only, there are no walk-ins, and no intent to stay open until 11:00pm.

Commissioners David Hogan and Schaeffer had no questions.

Chair Rigoni asked if anyone from the public wished to comment. There were no public comments.

Chair Rigoni asked if the Commissioners agreed to add a condition prohibiting the rear door to be propped open from 5:00am-7:00am. The Commissioners agreed.

Motion (#6): Recommend the Village Board approve a special use for indoor recreation and entertainment to permit the operation of JFZ Fitness proposed at 9975 Lincoln Highway, Unit 2, in accordance with the reviewed plans, public testimony, and the condition prohibiting the rear door to be propped open from 5:00am-7:00am.

Motion by: Knieriem Seconded by: Schaeffer

Approved: (7 to 0)

Motion (#7): Recommend the Village Board approve a special use for extended hours of operation to permit the 10:00 a.m. opening of JFZ Fitness proposed at 9975 Lincoln Highway, Unit 2, in accordance with the reviewed plans, public testimony, and the condition prohibiting the rear door to be propped open from 5:00am-7:00am.

Motion by: Lisa Hogan Seconded by: Guevara

Approved: (7 to 0)

Project: JFZ Fitness
Meeting Type: Public Hearing
Request: Special Use Permit – Indoor Recreation and Entertainment
Location: 9975 W. Lincoln Highway, Suite #2
Subdivision: Arthur T McIntosh & Co.
Applicant: Jennifer Zeiger
Prop. Owner: Elizabeth Whittingham
Representative: Applicant

Site Details

Lot Size: 21,460 square feet (0.5 ac.)
PIN(s): 19-09-21-416-002-0000
Existing Zoning: B-2
Prop. Zoning: N/A
Buildings: 1

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Commercial	Commercial	B-2
North	Single-Family	Single-Family Detached	
South	Single-Family	Single-Family Detached	R-2
East	Commercial	General Commercial	B-2
West	Commercial	General Commercial	B-2

Project Summary

The applicant is proposing a fitness facility that offers treadmill and strength-training classes, which is classified as an indoor recreation and entertainment use, requiring a special use permit. The use would occupy Unit #2, the middle of three units within the existing building. The applicant is also proposing business hours of 5 a.m. – 11 p.m. A special use permit would also allow for the business to open before 7 a.m. (normal business hours).

Attachments

- Aerial Photographs, prepared by staff
- Survey of property, received by staff 8.11.21
- Interior Floor Plan of unit 702 Center Road, prepared by Jennifer Zeiger
- Business Description, prepared by Jennifer Zeiger, received by staff 8.13.21
- Photographs of site, taken by staff 8.13.21
- Special Use Permit Findings of Fact form for use by the Plan Commission to evaluate the request

Analysis

In consideration of the request, staff offers the following points of discussion:

- JFZ Fitness provides treadmill and strength-training classes. A business description was provided by the applicant (attached).
- The facility would be open 7 days per week. The applicant intends to be open for business 5 a.m. but not be open later than 11 p.m. Normal business hours in the Village are from 7 a.m. – 11 p.m. Extended hours may be granted for this project as part of the special use request. Extended hours of operation are common with gym-related businesses.
- The applicant intends to hold up to 8 classes per day on weekdays and up to 4 classes on weekends, with each class not exceeding 13 patrons and 1 employee. The applicant anticipates a maximum of 104 customers throughout the day on weekdays and 52 customers on weekends. Peak times are expected to be from 5 a.m. – 6 a.m. and 6 p.m. – 7 p.m.
- Village ordinance does not contain specific standards of special use for indoor recreational facilities given the wide variety of uses that fall into this category (*see definition below*):

“Indoor Recreation and Entertainment: The indoor recreation and entertainment use classification applies to all uses which provide recreation or entertainment services entirely within an enclosed building. Examples may include: skating rink, arcades, billiards, bowling alley, dance hall/club, dance/music school or studio, gymnastic facility, martial arts facility, sports training facility, health/fitness club, country club indoor facilities, and similar land uses.”

- Traffic generation and parking demands are a frequent point of discussion associated with indoor recreational uses. Village ordinance requires indoor recreation uses provide parking at a ratio of 1 parking space for every 4 patrons plus 1 space for each employee during the largest working shift. The applicant estimates a peak capacity of 104 patrons plus 1 employee, yielding a requirement of 5 parking spaces.
- Provided parking is consistent with ordinance requirements. A detailed parking analysis for the entire development is provided below:

Unit	Use	Ordinance Requirement	Gross Floor Area	Spaces Required
1	Dentist	3 spaces/room + 1 space/ea. employee during largest shift	1,400	13
2	JFZ Fitness	1 space/4 patrons + 1 space/ea. employee during largest shift	2,100	5
3	Edward Jones Investments	1 space/200 GFA	700	4
Total Required				22
Total Provided				26
Difference				+4

- The subject property provides for 26 parking spaces, including 1 ADA-accessible space. There is also an existing cross-access agreement with the Aurelio’s restaurant property to the east.
- Aurelio’s restaurant to the east provides 110 parking spaces.

Staff’s Review

Staff offers the following comments regarding the findings of fact used to determine the merits of the special use permit request, per the Zoning Ordinance. Staff’s responses are in italics.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

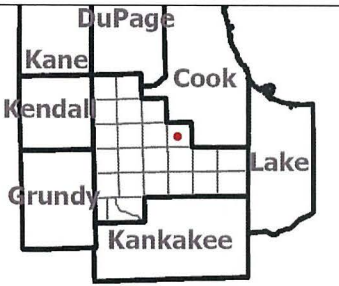
- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare. *It is Staff's professional opinion that the use of the tenant space as a small-scale fitness center will not be detrimental to or endanger the public.*
- b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *It is Staff's professional opinion that the intended use of a small-scale fitness center will not be injurious to the use and enjoyment of other property in the immediate vicinity nor will it impair property values. The site does not share a property line with any residential uses and the small scale of the site and tenant space it not expected to negatively affect the surrounding area.*
- c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. *The site exists as a commercial building on a built-out site and will not impede the orderly development of the surrounding properties, which are also already developed.*
- d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood. *There are no exterior changes or alterations proposed.*
- e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided. *The site is currently served by existing utilities.*
- f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. *The site is already developed with one point of access directly onto the subject property from Route 30. Off-site, access is available from a second access along Route 30 to the north, 2 points of access along N. Lowell Street to the west and 1 point of access along Elm Street to the east*
- g. That the special use shall, in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may, in any instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission. *There are no variations requested as part of the special use.*

Affirmative Motion

- 1. Recommend the Village Board approve a special use for indoor recreation and entertainment to permit the operation of JFZ Fitness proposed at 9975 Lincoln Highway, Unit 2, in accordance with the reviewed plans and public testimony.
- 2. Recommend the Village Board approve a special use for extended hours of operation to permit the 5:00 a.m. opening of JFZ Fitness proposed at 9975 Lincoln Highway, Unit 2, in accordance with the reviewed plans and public testimony.



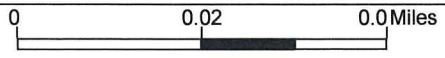
Map Title



Legend

- Roadways
 - Federal
 - State
 - County
 - Local and Private
- Parcels LY
- Townships

WGS_1984_Web_Mercator_Auxiliary_Sphere



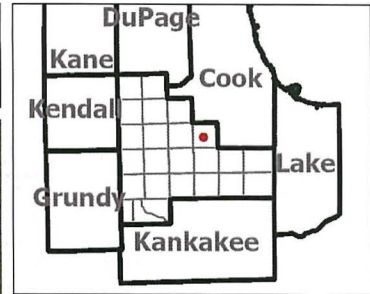
1: 1,128

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Notes



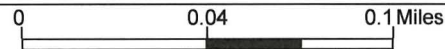
Map Title



Legend

- Roadways**
- Federal
 - State
 - County
 - Local and Private
- Parcels LY**
- Townships

WGS_1984_Web_Mercator_Auxiliary_Sphere



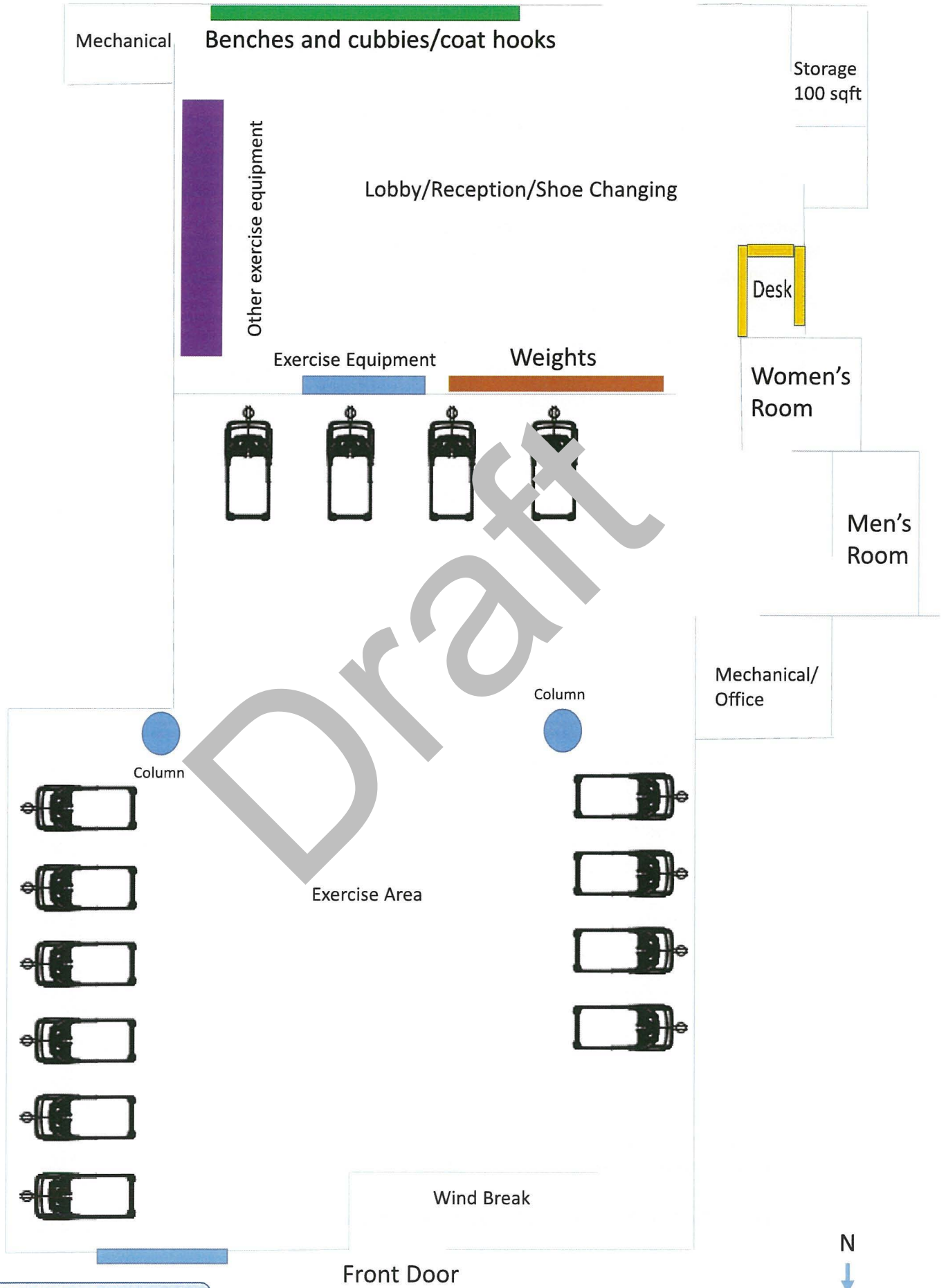
1:2,257



Notes

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Back Door – Main Entrance



RECEIVED

By Christopher Gruba at 12:19 pm, Aug 12, 2021

From: [Jennifer Zeiger](#)
To: [Chris Gruba](#)
Subject: Re: Treadfit Frankfort Floor Plan - 9975 W Lincoln Highway Unit 2.pdf
Date: Friday, August 13, 2021 11:55:11 AM

Hi Chris.

So, there would be a maximum of 13 people per class. Ideally, we hope to have 8 classes per day Monday-Friday and around 4 on Saturdays and Sundays. So that would bring us to a max of 104 people per day if all classes were at 100% capacity M-F and 52 per day on the weekends.

Peak times would depend on the community demand, but based on the other locations, the early morning (5-6 am) and evening (6-7pm) tend to be the peak times M-F.

Hope this helps!

Jennifer

Sent from my iPhone

On Aug 13, 2021, at 9:56 AM, Chris Gruba <cgruba@frankfortil.org> wrote:

Hi, Jennifer –

I've copied Adam Madsen, the Building Department Director, on this email. I'm not sure when you should apply for a building permit, if any permits are in fact needed. I would think after the special use permit is approved.

While we're talking, how many customers do you expect per day, and what will be the largest number of customers on-site at the peak hour?

Thanks

Christopher Gruba

Senior Planner

[VILLAGE OF FRANKFORT](#)

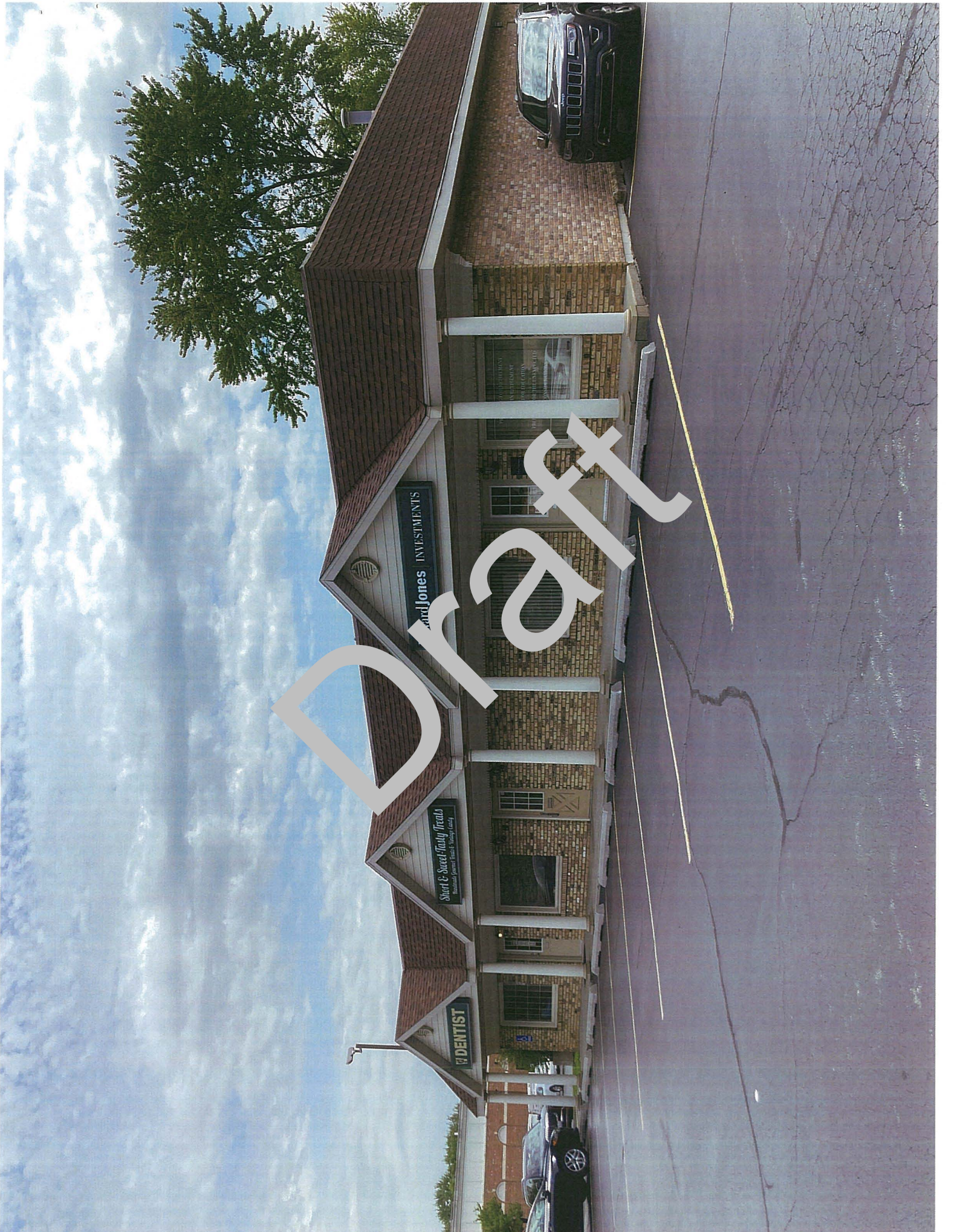
432 W. Nebraska St. | Frankfort, IL 60423 | Ph: (815) 469-2177 | Fx: (815) 469-7999

From: Jennifer Zeiger <jennjlr@gmail.com>

Sent: Thursday, August 12, 2021 4:55 PM

To: Chris Gruba <cgruba@frankfortil.org>

Subject: Re: Treadfit Frankfort Floor Plan - 9975 W Lincoln Highway Unit 2.pdf



DENTIST

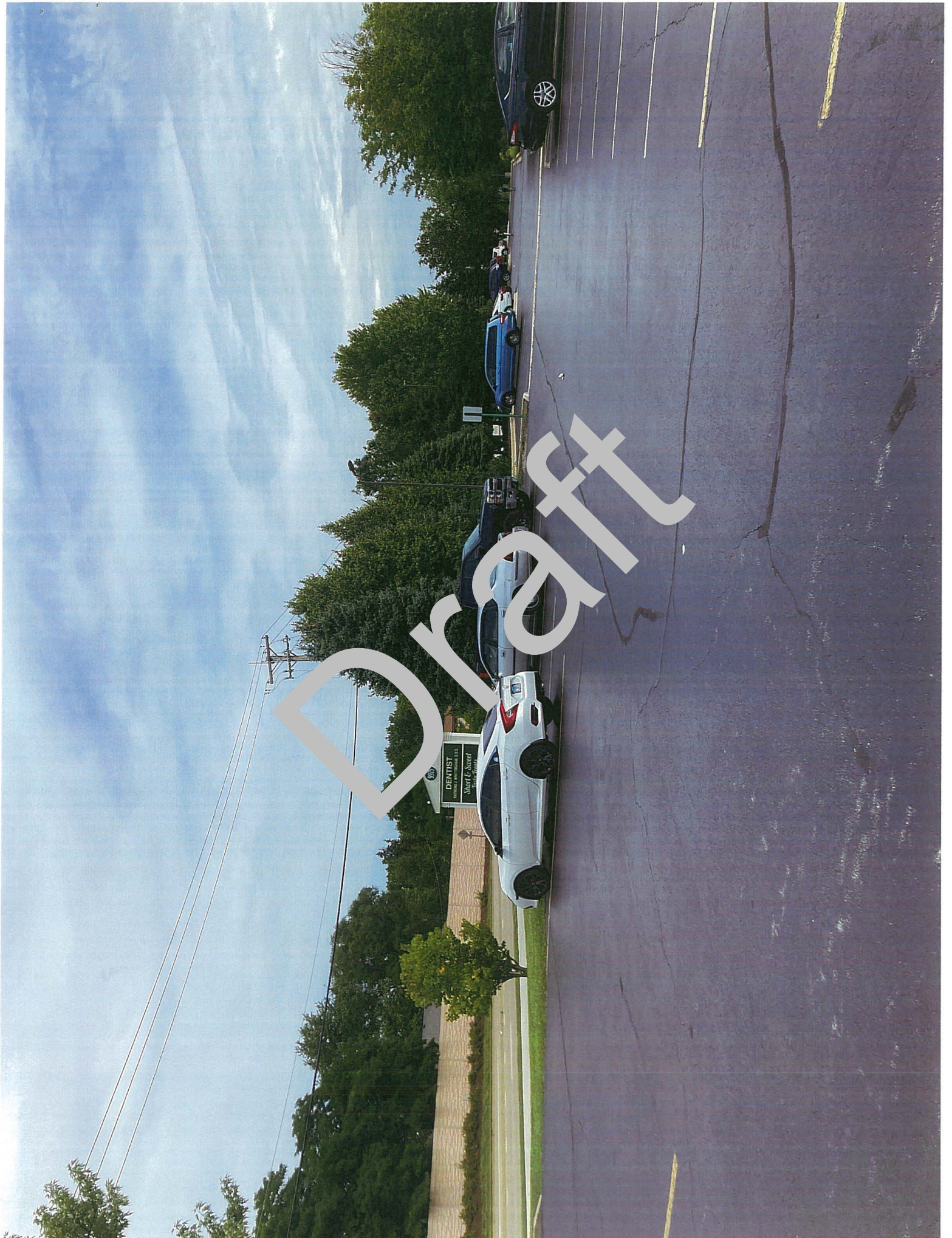
Short & Sweet Healthy Treats
Bakery • Coffee • Smoothies • Desserts

Jones INVESTMENTS

Draft



Draft



Draft







Draft



VILLAGE OF
FRANKFORT
 INC • 1879

Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NO	MEETS	
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES	NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES	NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property uses permitted in the district.		YES	NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES	NO

e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO

Draft

Final Plat: Homestead Center

Chair Rigoni introduced the request for final plat approval for Homestead Center.

Gruba presented the case. The site plan and building have already been approved, but the final plat for the two-lot subdivision was not approved at that time. There are no changes to the site plan. Staff and Robinson Engineering reviewed the cross-access, public utility, and drainage easements and verified there were no issues. Gruba showed the approved site plan on the screen. Lot 2 is shown as unimproved and undeveloped. Lot 1 is intended to have a retail building.

Chair Rigoni asked the petitioners if they wished to speak. The petitioner stated she had nothing to add.

Chair Rigoni asked if there were any initial comments by the Commissioners. There were none.

Motion (#8): Recommend the Village Board approve the final plat for Homestead Center in accordance with the reviewed plans and public testimony.

Motion by: Lisa Hogan

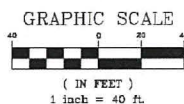
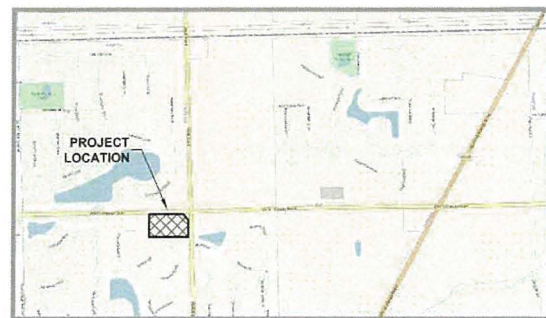
Seconded by: Schaefer

Approved: (7 to 0)

FINAL PLAT OF HOMESTEAD CENTER

BEING A RE-SUBDIVISION OF LOT 110 (EXCEPTING THEREFROM THAT PART DEDICATED TO THE HIGHWAY DEPARTMENT OF WILL COUNTY, ILLINOIS FOR PUBLIC RIGHT OF WAY) IN HOMESTEAD SUBDIVISION, UNIT 1, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

RESERVED FOR THE RECORDER OF WILL COUNTY



BASIS OF BEARING
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

PARCEL IDENTIFICATION NUMBER
19-09-31-202-030-0000

PROJECT DATA

GROSS AREA (TOTAL SITE): 181,754 SQ. FT. / 4.17 AC.
LOT 1: 88,591 SQ. FT. / 2.03 AC.
LOT 2: 93,163 SQ. FT. / 2.14 AC.

LEGEND

- FIP FOUND IRON PIPE
- FIP FOUND IRON ROD
- SIP SET 5/8" x 24" IRON PIPE
- SMN SET MAG NAIL
- SCM CONCRETE MONUMENT
- BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED INGRESS-EGRESS & CROSS ACCESS EASEMENT
- PROPOSED PUBLIC UTILITY & DRAINAGE EASEMENT
- PROPOSED LANDSCAPE AND PUBLIC & UTILITY DRAINAGE EASEMENT

ABBREVIATIONS

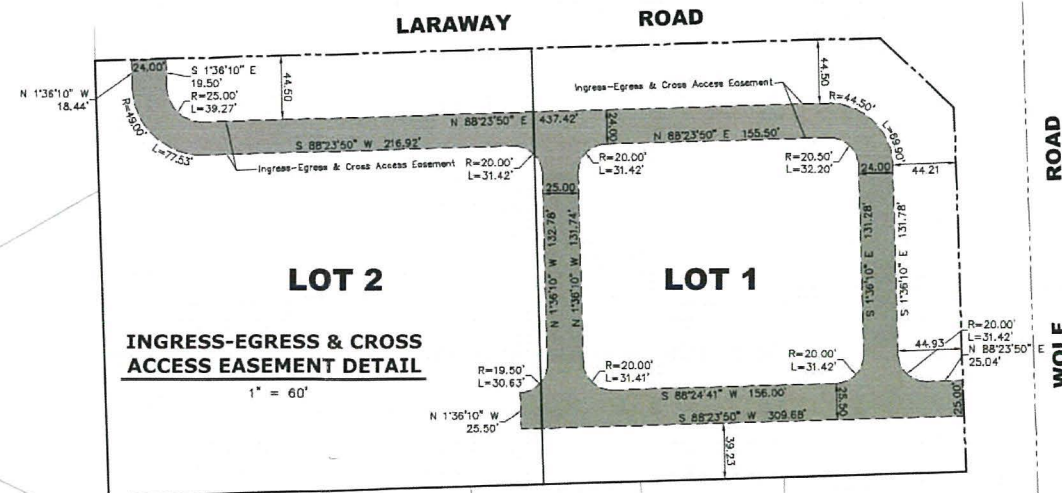
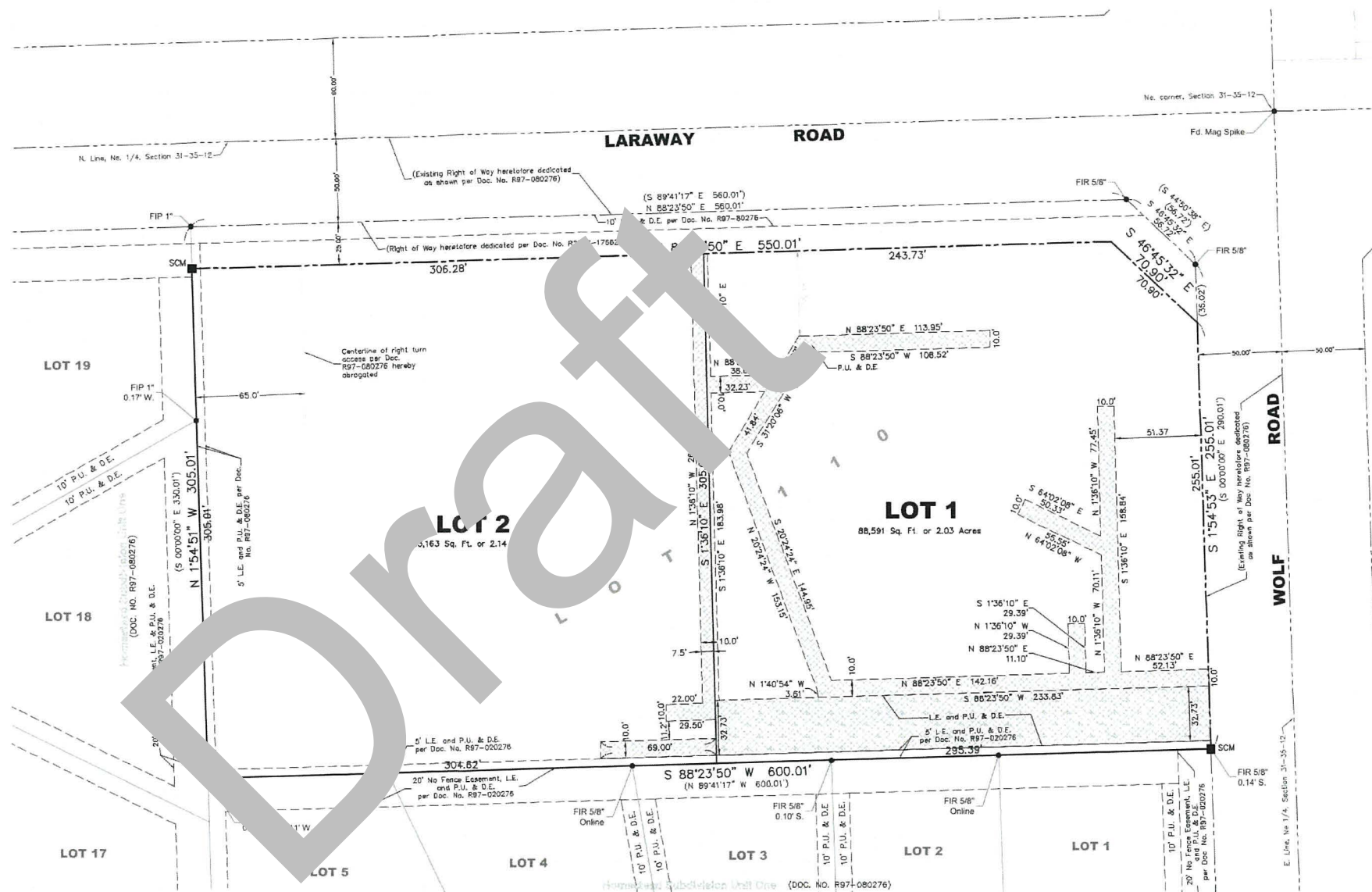
- FD. FOUND
- (###) RECORD DIMENSION
- ### MEASURED DIMENSION
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD OR PIN
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- B.S.L. BUILDING SETBACK LINE
- L.E. LANDSCAPE EASEMENT
- SQ. FT. SQUARE FEET
- L ARC DIMENSION
- R RADIUS DIMENSION
- N NORTH
- S SOUTH
- E EAST
- W WEST

NOTES

- VEHICULAR ACCESS FOR LOTS 1 & 2 TO WOLF AND LARAWAY ROADS SHALL BE VIA THE INGRESS-EGRESS & CROSS ACCESS EASEMENTS SHOWN HEREON.
- THE LANDSCAPE EASEMENT SHOWN HEREON SHALL BE MAINTAINED BY THE CURRENT OR SUBSEQUENT OWNERS.
- THE INGRESS-EGRESS & CROSS ACCESS EASEMENTS SHALL BE MAINTAINED BY THE CURRENT & SUBSEQUENT OWNERS.

RECEIVED

By Christopher Gruba at 4:22 pm, Sep 01, 2021



NO.	DATE	DESCRIPTION
1	08/17/21	PER VILLAGE COMMENTS - 2021-04-06
2	08/23/21	PER VILLAGE COMMENTS - 2021-08-24

BRIANNE DEVELOPMENT, INC.
18811 S. 90TH AVENUE - SUITE L
MOKENA, ILLINOIS 60448

FINAL PLAT
FOR
HOMESTEAD CENTER
FRANKFORD, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL, ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4692



PROJECT INFORMATION

Project No.: 19-0020
Scale: 1" = 40'
Date: 04/06/2021
Field Date: 12/23/2019
Drawn By: SJL
Checked By: MJF

1
OF
2

FINAL PLAT

L:\Projects\19-0020\Submittals\Submittals\19-0020-030-0000-01-01.dwg (19-0020-030-0000-01-01.dwg) 19-0020-030-0000-01-01.dwg

PARCEL IDENTIFICATION NUMBER
19-09-31-202-030-0000

FINAL PLAT OF HOMESTEAD CENTER

RESERVED FOR THE RECORDER OF WILL COUNTY

OWNER'S CERTIFICATE

State of Illinois)
) SS
County of Will)

This is to certify that _____ the owner of the land described in the annexed plat and has caused the same to be surveyed and subdivided as indicated thereon, for the purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.

This is to additionally certify that as owner of the property hereon described in the surveyor's certificate and known as Homestead Center.

I further certify that as owner of the property hereon described in the surveyor's certificate and known as Homestead Center, to the best of my knowledge, is located within the boundary of
Frankfort Community Consolidated School District 175-C
Lincolnway Community High School District 210
Joliet Junior College District 525

Dated at _____ this _____ day of _____ A.D. 20____
By: _____ Attest: _____
Address _____

OWNER'S NOTARY PUBLIC CERTIFICATE

State of Illinois)
) SS
County of Will)

I, _____ a Notary Public in and for the said county and state aforesaid, do hereby certify that _____ and _____ who is (are) personally known to me to be the same person(s) whose name(s) are subscribed to the foregoing instrument as such owner(s), appeared before me this day in person and acknowledged that he (she) (they) signed and delivered the said instrument as his (her) (their) own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this _____ day of _____ A.D., 20____

Notary Public _____

PLAN COMMISSION CERTIFICATE

State of Illinois)
) SS
County of Will)

I, _____ Chairman of the Village of Frankfort Plan Commission, do certify that on this _____ of _____ A.D. 20____ this plot of re-subdivision was duly approved by the Plan Commission of the Village of Frankfort.

Chairman _____

VILLAGE MAYOR'S CERTIFICATE

State of Illinois)
) SS
County of Will)

I, _____ Mayor of the Village of Frankfort, IL certify that this plot of subdivision was approved by the Board of Trustees of the Village of Frankfort, IL at a meeting held on the _____ day of _____ A.D., 20____

By: _____ Village Mayor

VILLAGE CLERK

State of Illinois)
) SS
County of Will)

I, _____ Village Clerk of the Village of Frankfort, Illinois, hereby certify that this plot was presented to and by resolution duly approved by the Board of Trustees of said Village at its meeting held on _____ A.D., 20____ and the required bond or other guarantee has been posted for the completion of the improvements required by the regulations of said Village.

In witness whereof I have hereto set my hand and seal of the Village of Frankfort, Illinois, this _____ day of _____ A.D., 20____

Village Clerk _____

BEING A RE-SUBDIVISION OF LOT 110 (EXCEPTING THEREFROM THAT PART DEDICATED TO THE HIGHWAY DEPARTMENT OF WILL COUNTY, ILLINOIS FOR PUBLIC RIGHT OF WAY) IN HOMESTEAD SUBDIVISION, UNIT 1, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

CERTIFICATE AS TO SPECIAL ASSESSMENTS

State of Illinois)
) SS
County of Will)

I, _____ Village Treasurer of the Village of Frankfort, IL do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land included in the plat.

Dated at Village of Frankfort, Will County, Illinois, this _____ day of _____ 20____

Village Treasurer _____

WILL COUNTY CLERK

State of Illinois)
) SS
County of Will)

This is to certify that I find no delinquent or unpaid current taxes against any of the real estate described in the foregoing certificate.

Dated at Frankfort, Will County, Illinois, this _____ day of _____ A.D., 20____

Will County Clerk _____

TAX MAPPING CERTIFICATE

State of Illinois)
) SS
County of Will)

I, _____ do hereby certify that I have checked the legal description of the final plat and find that said plat to be a true and correct representation of the re-subdivision as made by the surveyor.

The property hereon described is located on Tax Map _____ and identified permanent real estate tax number(s) 19-09-31-202-030-0000

Dated this _____ day of _____ A.D. _____

Director _____

WILL COUNTY ENGINEER

State of Illinois)
) SS
County of Will)

Approved this _____ day of _____ A.D. as to roadway access from Lot 1 to said Laraway Road _____

Will County Engineer _____

SURFACE WATER STATEMENT

To the best of our knowledge and belief, the _____ of surface waters will not be changed by the construction of this subdivision or any part thereof, or, if such surface water drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains which the owner has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of this subdivision.

Owner _____ Professional Engineer
Name _____ Name _____

EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to
Commonwealth Edison Company
and
SBC - Ameritech Illinois a.k.a. Illinois Bell Telephone Company, Grantees,
their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement"; "Utility Easement"; "Public Utility Easement"; "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements"; and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement"; "Utility Easement"; "Public Utility Easement"; "P.U.E." (or similar designation) without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "walkways", "common elements", "open space", "open area", "common ground", "parking" and "common area". The term "common area or areas" and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, service business district or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by Grantee at cost of the Grantor/Lot Owner, upon written request.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

Easements are hereby reserved for and granted to the Village of Frankfort, Illinois and to those public utility companies operating under franchise from the Village of Frankfort, including, but not limited to, Comed, Ameritech, Nicor, Comcast and their respective successors and assigns, over all of the areas marked "Public Utilities & Drainage Easements" or (P.U. & D.E.) on the plat for the perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain and operate various utility transmission and distribution systems, community antenna television systems and including storm and/or sanitary sewers, together with any and all necessary manholes, catch basins, connections, appurtenances and other structures and appurtenances as may be deemed necessary by said village, over, upon, along, under and through said indicated easements, together with right of access across the property for necessary personnel and equipment to do any of the above work.

The right is also granted to cut down, trim or remove any trees, shrubs or other plants on the easements that interfere with the operation of the sewers or other utilities.

No permanent buildings or obstructions shall be placed on said easements without prior written consent of grantees, but some may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid uses or rights, after installations of such facilities, the grade of said easement shall not be altered in a manner as to interfere with the proper operation and maintenance thereof.

Where an easement is used both for sewers and other utilities, the other utility installation shall be subject to the ordinances of the Village of Frankfort.

Easements are hereby reserved for and granted to the Village of Frankfort and other governmental authorities having jurisdiction of the land subdivided hereby, over the entire easement area for ingress, egress and the performance of municipal and other governmental services, including water, storm and sanitary sewer service and maintenance.

NI-COR EASEMENT PROVISIONS

An easement is hereby reserved for and granted to NICOR GAS COMPANY OF ILLINOIS, its successors and assigns, in all platted "easement" areas, streets, alleys, other public ways and places shown on this plat, sold easement to be for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances for the purpose of ingress and egress including the perpetual right, privilege and authority to traverse said areas as pedestrians and as operators of motorized vehicles, all access driveways shall not be closed for any reason except emergency repairs. The owners lots created by this re-subdivision shall be responsible for the snow removal, maintenance and repair of the pavement, sidewalks, street lights and appurtenances thereto within their respective lots.

INGRESS-EGRESS & CROSS ACCESS EASEMENT PROVISIONS

An easement is hereby reserved for and granted to all of the owners of the lots created by the plat hereon drawn, their respective invitees, and to all persons requiring access to the buildings and parking areas constructed hereon, over, upon and across all of the paved areas as outlined, dimensioned, labeled and hatched hereon for the purpose of ingress and egress including the perpetual right, privilege and authority to traverse said areas as pedestrians and as operators of motorized vehicles, all access driveways shall not be closed for any reason except emergency repairs. The owners lots created by this re-subdivision shall be responsible for the snow removal, maintenance and repair of the pavement, sidewalks, street lights and appurtenances thereto within their respective lots.

Submitted by: _____ Return the original Mylar to: _____ Send all future tax bills to: _____
DesignTek Surveying, LLC Brianne Development, Inc.
9930 W. 190th Street, Ste. L 18811 S. 90th Avenue - Suite L
Mokena, Illinois Mokena, Illinois 60448

RECORDER'S CERTIFICATE

State of Illinois)
) SS
County of Will)

This instrument, No. _____, was filed for record in the Recorder's Office of Will County, Illinois on the _____ day of _____ A.D. 20____ at _____ o'clock _____ m and was recorded in Book _____ of Plats on Page _____

Will County Recorder _____

SURVEYOR'S CERTIFICATE

State of Illinois)
) SS
County of Will)

This is to certify that I, Steven J. Laub, an Illinois Professional Land Surveyor, No. 035-003160, have surveyed and re-subdivided the following described property:

Lot 110 in Homestead Subdivision, Unit 1, being a Subdivision of part of the East 1/2 of the Northeast 1/4 of Section 31, Township 35 North, Range 12 East of the Third Principal Meridian, according to the plat thereof recorded September 16, 1997 as Document No. R97-80276, excepting therefrom that part dedicated to the Highway Department of Will County, Illinois for public right of way by instrument recorded December 12, 2007 as Document R2007-176628, in Will County, Illinois.

as shown by the annexed plat which is a correct representation of said survey and subdivision.

I further certify that this subdivision lies within the Village limits or within 1.5 miles of the corporate limits of the Village of Frankfort, Illinois, which has adopted a municipal plan and is exercising special powers authorized by Article 11, Division 12 of the Illinois municipal code, as now and hereafter amended and that all regulations enacted by the Village of Frankfort relative to plats and subdivisions have been complied with in the preparation of this plat.

I further certify that iron pipes 1" (o.d.) x 24" will be set at all lot corners except where concrete monuments are indicated upon the completion of the final grading, and that the plat hereon drawn correctly represents said survey and subdivision.

I further certify that the subject property lies within Zone "X" (unshaded area being outside the 500-year floodplain) as defined by the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM) of Will County and incorporated areas, Map Number 17197C0310G, Effective Date of February 15, 2019.

Dimensions are given in feet and decimal parts thereof and all curve lengths shown are arc dimensions.

Given under my hand and seal at Mokena, Illinois, this 6th day of April A.D., 2021

Steven J. Laub
Illinois Professional Land Surveyor No. #035-003160
License expires on November, 30, 2022



This professional service conforms to the current Illinois minimum standards for a boundary survey.

REV. NO.	DATE	DESCRIPTION
1	08/17/21	PER VILLAGE COMMENTS - 2021-04-06
2	08/24/21	NONE THIS SHEET

BRIANNE DEVELOPMENT, INC.
18811 S. 90TH AVENUE - SUITE L
MOKENA, ILLINOIS 60448
708-305-0288

FINAL PLAT
FOR
HOMESTEAD CENTER
FRANKFORT, ILLINOIS

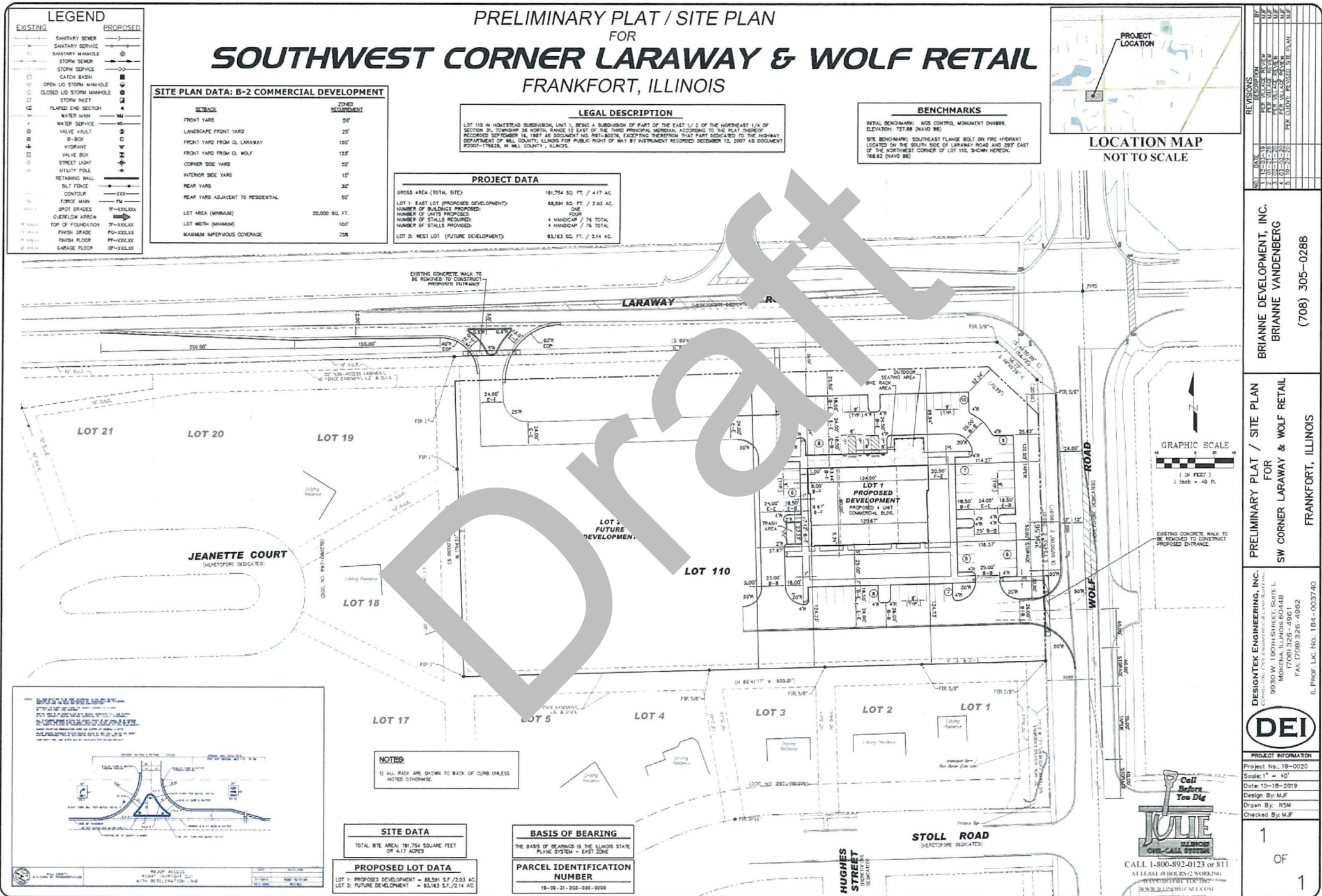
DESIGNTEK ENGINEERING, INC.
CONSULTING CIVIL ENGINEERS & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4692
ILL. PROF. LIC. NO.: 184-003740



PROJECT INFORMATION
Project No.: 19-0020
Scale: 1" = 40'
Date: 04/06/2021
Field Date: 12/23/2019
Drawn By: SJL
Checked By: MJF

2 OF 2

FINAL PLAT



LEGEND

EXISTING	PROPOSED
Sanitary Sewer	Sanitary Sewer
Sanitary Manhole	Sanitary Manhole
Storm Sewer	Storm Sewer
Storm Manhole	Storm Manhole
Catch Basin	Catch Basin
Open Lid Storm Manhole	Closed Lid Storm Manhole
Storm Inlet	Flared End Section
Water Main	Water Main
Water Service	Water Service
Valve Vault	B-Box
Hydrant	Valve Box
Street Light	Utility Pole
Retaining Wall	Self-Fence
Contour	Force Main
Spot Grades	Spot Grades
Overlook Areas	Overlook Areas
Top of Foundation	Top of Foundation
Finish Grade	Finish Grade
Finish Floor	Finish Floor
Sarage Floor	Sarage Floor

PRELIMINARY PLAT / SITE PLAN
FOR
SOUTHWEST CORNER LARAWAY & WOLF RETAIL
FRANKFORT, ILLINOIS

SITE PLAN DATA: B-2 COMMERCIAL DEVELOPMENT

SETBACK	ZONED REQUIREMENT
FRONT YARD	50'
LANDSCAPE FRONT YARD	25'
FRONT YARD FROM CL LARAWAY	100'
FRONT YARD FROM CL WOLF	125'
CORNER SIDE YARD	10'
INTERIOR SIDE YARD	15'
REAR YARD	30'
REAR YARD ADJACENT TO RESIDENTIAL	10'
LOT AREA (MINIMUM)	20,000 SQ. FT.
LOT WIDTH (MINIMUM)	100'
MAXIMUM IMPERVIOUS COVERAGE	75%

LEGAL DESCRIPTION
LOT 110 IN HOMESTEAD SUBDIVISION, UNIT 1, BEING A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 26, TOWNSHIP 26 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 16, 1997 AS DOCUMENT NO. 887-8076, EXCEPTING THEREFROM THAT PART DEDICATED TO THE HIGHWAY DEPARTMENT OF ILLINOIS COUNTY, ILLINOIS FOR PUBLIC RIGHT OF WAY BY INSTRUMENT RECORDED DECEMBER 13, 2007 AS DOCUMENT #2302-17828, IN ILLINOIS COUNTY, ILLINOIS.

PROJECT DATA

GROSS AREA (TOTAL SITE)	181,754 SQ. FT. / 4.17 AC.
LOT 1: EAST LOT (PROPOSED DEVELOPMENT)	88,581 SQ. FT. / 2.03 AC.
NUMBER OF BUILDINGS PROPOSED	ONE
NUMBER OF UNITS PROPOSED	FOUR
NUMBER OF STALLS REQUIRED	4 HANDICAP / 78 TOTAL
NUMBER OF STALLS PROVIDED	4 HANDICAP / 78 TOTAL
LOT 2: WEST LOT (FUTURE DEVELOPMENT)	93,173 SQ. FT. / 2.14 AC.

BENCHMARKS
METAL BENCHMARK: WIS CONTROL MONUMENT 04899, ELEVATION: 727.88 (NAVD 88)
SITE BENCHMARK: SOUTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF LARAWAY ROAD AND 287' EAST OF THE NORTHWEST CORNER OF LOT 110, SHOWN HEREON, 728.62 (NAVD 88)



REVISIONS

NO.	DATE	DESCRIPTION
1	10/15/19	ISSUE FOR PERMIT
2	10/15/19	REV. WOLF ROAD
3	10/15/19	REV. WOLF ROAD
4	10/15/19	REV. WOLF ROAD
5	10/15/19	REV. WOLF ROAD
6	10/15/19	REV. WOLF ROAD
7	10/15/19	REV. WOLF ROAD
8	10/15/19	REV. WOLF ROAD
9	10/15/19	REV. WOLF ROAD
10	10/15/19	REV. WOLF ROAD

BRIANNE DEVELOPMENT, INC.
BRIANNE VANDENBERG
(708) 305-0288

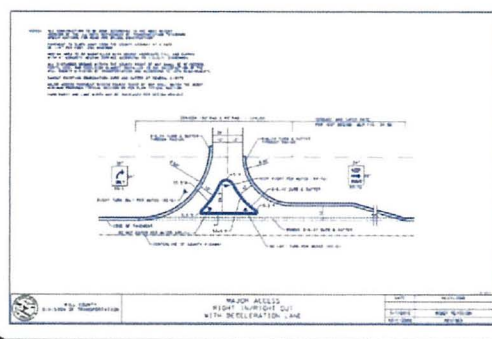
PRELIMINARY PLAT / SITE PLAN
FOR
SW CORNER LARAWAY & WOLF RETAIL
FRANKFORT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
9930 W. 130TH STREET, SUITE 111
MOKENA, ILLINOIS 60448
TEL: (708) 226-8900
FAX: (708) 226-8902
IL Prof. Lic. No. 1B4-003740



PROJECT INFORMATION
Project No. 19-0020
Scale: 1" = 40'
Date: 10-18-2019
Design By: M.J.F.
Drawn By: NSM
Checked By: M.J.F.

1 OF 1
PRELIMINARY PLAT / SITE PLAN



Project: Homestead Commercial
Meeting Type: Plat Approval
Request: Plat approval of a two-lot commercial subdivision
Location: Southwest Corner of Wolf and Laraway Roads
Applicant: Brianne Development, Inc.
Prop. Owner: Brianne Development, Inc.
Representative: Applicant

Site Details

Lot Size: ±4.52 Acres
PIN(s): 19-09-31-202-030-0000
Existing Zoning: B-2
Prop. Zoning: N/A
Lots: 2 lots (proposed)

Figure 1: Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Vacant	General Comm.	B-2
North	Commercial	General Comm.	B-2/R
South	Residential	Single Fam. Res.	R-2
East	Undeveloped	General Comm.	B-2
West	Residential	Single Family Res.	R-2

Project Summary

The applicant, Brianne Development, Inc. proposes to subdivide the 4.2-acre parcel located at the southwest corner of Wolf and Laraway Roads. The subject property was originally platted and zoned commercial as part of the development of the Homestead subdivision in 1997. The proposed final plat would divide the existing parcel into two commercial lots. On November 2, 2020, the Village Board passed two ordinances approving a PUD for a 9,600 square-foot shopping center and a Special Use Permit for outdoor seating (ordinances 3270 & 3271); however, a final plat was never recorded for the project. There are no proposed changes to the previously approved site plan, landscape plan or building architecture. The formerly approved building would be located on Lot 1 and Lot 2 is intended to remain undeveloped at this time, apart from installing a driveway with access to Laraway Road. As the project for this parcel was approved as a PUD, any proposed building for Lot 2 would have to return to the Plan Commission for review under a Major PUD change.

Attachments

- Aerial Photograph, prepared by Staff, dated 1.2.20
- Final Plat, received by staff 9.1.21
- Formerly approved site plan, floorplan, landscape plan and building elevations approved on 11.2.20 (for reference only)

Analysis

In consideration of the requests, staff offers the following points of discussion:

- The B-2 zone district requires a minimum lot size of 20,000 square feet (0.46 acres). Lot 1 measures 2.03 acres and Lot 2 measures 2.14 acres, meeting this requirement.
- The final plat illustrates cross-access, public utility & drainage easements, with dimensions noted on the plat.
- The final plat has been reviewed by the Village's engineering consultant for accuracy of public utility and drainage easements, the cross-access easements and other housekeeping items.

Affirmative Motions

1. Recommend the Village Board approve the final plat for Homestead Center in accordance with the reviewed plans and public testimony;

Draft



Homestead Commercial

Draft

September 20, 2021

PLAN COMMISSION REPORT SUMMARY

TRACY'S BEAUTIQUE SPECIAL USE PERMITS: 21116 WASHINGTON PARKWAY – ORDINANCE

Applicant Tracey Powers requests the granting of special use permits to offer spa and salon services at 21116 Washington Parkway within the Brookside Office Condominium. The applicant is looking to relocate her existing salon, Tracy's Beautique, to the site. Tracy's Beautique is currently located at 21195 S. LaGrange Road.

Staff reported there are three buildings within the Brookside Office Condominium, each located on a separate parcel. These three buildings share one point of ingress/egress and parking facilities. According to staff's parking calculations, based upon the Village's Zoning Ordinance requirements, there is not adequate parking to accommodate the special uses. With the addition of the proposed uses which require 20 parking spaces, there will be a deficit of 19 parking spaces.

At the September 9, 2021 public hearing on the project, parking concerns were expressed by residential neighbors and tenants of the Brookside Office Condominium. The Plan Commission forwarded a split (6-1) recommendation to deny the special use request for a massage establishment and a unanimous (7-0) recommendation to deny the special use request for personal service.

Motion: Waive the First and Second Readings and adopt an Ordinance granting a special use permit for a massage establishment on the property located at 21116 Washington Parkway to permit the operation of Tracy's Beautique, in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion: Waive the First and Second Readings and adopt an Ordinance granting a special use permit for personal service to the property located at 21116 Washington Parkway to permit the operation of Tracy's Beautique, in accordance with the reviewed plans, public testimony, and Findings of Fact.

ORDINANCE NO. 33XX

AN ORDINANCE GRANTING TWO SPECIAL USE PERMITS TO CERTAIN PROPERTY LOCATED WITHIN THE LIMITS OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS (TRACY'S BEAUTIQUE – 21116 WASHINGTON PARKWAY)

WHEREAS, an application for two Special Use Permits for certain property within the Village of Frankfort, legally described below, was filed by Tracey Powers, Applicant/Contract Purchaser; and International Council of Community Churches, P.O. Box 846, Longmont, Colorado 80502, Property Owner/Seller; and

WHEREAS, the Subject Property, located at 21116 Washington Parkway, is currently zoned B-4 Office District; and

WHEREAS, the Applicant/Contract Purchaser requests the granting of Special Use Permits for a massage establishment and personal service to permit the operation of Tracy's Boutique, a salon/spa, on the Subject Property; and

WHEREAS, a timely Notice of Public Hearing before the Plan Commission/Zoning Board of Appeals of the Village of Frankfort was published in the *Daily Southtown* newspaper announcing a Public Hearing on the application for Special Use Permits for the Subject Property; and

WHEREAS, at a time and place designated in such published notice, a Public Hearing was held before the Village of Frankfort Plan Commission/Zoning Board of Appeals on the application for the Special Use Permits for the Subject Property; and

WHEREAS, the Frankfort Plan Commission/Zoning Board of Appeals has made special written Findings-of-Fact as required by the Village of Frankfort Zoning Ordinance 2001; and

WHEREAS, said Plan Commission forwarded a split (6-1) recommendation to deny the special use request for a massage establishment and a unanimous (7-0) recommendation to deny the special use request for personal service to the President and Board of Trustees of the Village of Frankfort.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FRANKFORT, WILL & COOK COUNTIES, ILLINOIS AS FOLLOWS:

SECTION 1. SPECIAL USE PERMIT

That the following described real property to wit:

PIN: 19-09-21-304-015-1001
UNIT 6 IN BROOKSIDE OFFICE CONDOMINIUM AS DELINEATED ON A SURVEY OF THE FOLLOWING DESCRIBED REAL ESTATE: OUTLOT A, IN BROOKSIDE II SUBDIVISION,

PHASE 2, BEING A SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 23, 1989, AS DOCUMENT NO. R89-8403, AND CERTIFICATE OF CORRECTION RECORDED MARCH 28, 1989, AS DOCUMENT NO. R89-013747, IN WILL COUNTY, ILLINOIS, AND ALSO OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF LINCOLN HIGHWAY, NORTH OF SAID OUTLOT A AND WEST OF WASHINGTON PARKWAY NOW KNOWN AS LOTS 1 AND 2 IN BRUTI'S 1ST ADDITION TO BROOKSIDE II SUBDIVISION RECORDED AS DOCUMENT R94-82948, WHICH SURVEY IS ATTACHED AS EXHIBIT "A" TO THE DECLARATION OF CONDOMINIUM RECORDED APRIL 29, 1994, AS DOCUMENT NO. R94-45159 AND CERTIFICATE OF CORRECTION RECORDED MARCH 15, 1995 AS DOCUMENT R95-16276, TOGETHER WITH ITS UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS, AS AMENDED FROM TIME TO TIME, commonly known as 21116 Washington Parkway, Frankfort, Will County, Illinois 60423, the property subject to the previously described application for Special Use Permits is hereby granted said Special Use Permits for a massage establishment and personal service to accommodate the operation of Tracy's Beautique, in accordance with the reviewed plans, public testimony and Findings of Fact.

SECTION 2. REPEAL OF CONFLICTING PROVISIONS

All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of the conflict, hereby repealed on the effective date of this Ordinance.

SECTION 3. ZONING MAP AMENDMENT

That the Zoning Map of the Village of Frankfort is amended to reflect the Subject Property, currently zoned B-4 Office District, hereby is granted Special Use Permits for a massage establishment and personal service, as provided under this Ordinance and the Village of Frankfort Zoning Ordinance, as amended from time to time.

SECTION 4. SEVERABILITY

If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

SECTION 5. EFFECTIVE DATE

The Ordinance shall take effect after its passage, approval, and publication in pamphlet form, as regulated by law.

PASSED this __ day of ____, 2021; with __ members voting AYE; __ members voting NAY; and __ members absent; the Village President not voting; with __ members abstaining and said vote being:

ADAM BORRELLI	___	MARGARET M. FARINA	___
MICHAEL LEDDIN	___	JESSICA PETROW	___
DANIEL ROSSI	___	EUGENE SAVARIA	___

KATIE SCHUBERT
VILLAGE CLERK

APPROVED this __ day of ____, 2021.

MATH O'NEILL
VILLAGE PRESIDENT

ATTEST:

KATIE SCHUBERT
VILLAGE CLERK

Public Hearing Request: 21116 Washington Parkway – Two Special Use Permits (Massage establishment and personal service to operate a salon and spa)

Chair Rigoni introduced the case. The applicant, Tracy Powers, is requesting two special uses for a massage establishment and personal services to operate a salon and spa at 21116 Washington Parkway.

Senior Planner, Janine Farrell, reviewed the request:

- There are two special use requests for massage establishment and personal service to operate a salon/spa.
- The property is located at 21116 Washington Parkway and is one unit within the Brookside Office Condominium. There are three buildings within that office condominium; this is the middle or center building.
- Farrell showed the unit dimensions on the screen. The subject unit is labeled Unit 1 on this plan, later renumbered Unit 6. It is about 1,100 square feet which includes both levels, a first floor and a basement level.
- Farrell showed the applicant's concept plan of the interior build-out of the space which includes spa treatment rooms, shampoo and nail stations, bathrooms, reception, and waiting areas.
- The applicant is proposing spa and salon or beauty services such as massage, facials, waxing, makeup, microblading, spray tanning, nails, lash extensions, and hair services.
- The business hours are M-F 9:00a.m.-9:00p.m. Sat & Sun 8:00a.m.-4:00p.m.
- There will be seven employees although currently there are five. The applicant plans to hire two additional employees for this position to the new location.
- Parking is a concern for this proposal. The minimum Zoning Ordinance parking requirement of twenty parking spaces is not met. Farrell displayed the parking evaluation chart on the screen. The unit sizes on the chart include the basement levels. This chart reflects the bare minimum space requirements since staff does not have specific information on how many exam rooms exist in each unit.
- Zoning Ordinance Article 7, Section B, Part 5, outlines procedures for reduction of the requirements of off-street parking but staff does not believe that the applicant has provided sufficient evidence for the Commission to amend or reduce the required parking at this time.
- Farrell reviewed the Findings of Fact as detailed in the report:
 - A – The uses should not be detrimental to the public's health, safety, morals, comfort, or general welfare.
 - B – The uses should not substantially diminish property values, but may impact neighboring units and the ability to sell if there is no parking available.
 - C – Without addressing the parking deficiency, the lack of parking may deter new tenants.
 - D – There are no exterior changes and the interior build-out will be flexible with treatment rooms which are not so different than exam rooms which could be found in other units.

- E – The interior contains adequate facilities, but there is not adequate parking for the uses.
- F – There is only one point of ingress/egress which appears to be adequate to not create congestion on Washington Parkway.
- G – The uses do not conform to the Zoning Ordinance parking requirements for the personal services use.
- Staff received three objections to this request. One was through a voicemail from a doctor within the Brookside Office Condominiums, one was a phone call with a neighbor in the Brookside II Subdivision, and one was a letter received from the Brookside Office Court Condo Owners Association President Dr. Ronald Harrison. Farrell read the objection letter into the record and provided copies to the Commissioners.
 - Letter from Dr. Ronald Harrison, President of the Brookside Office Court Owners Association. “To Whom It May Concern: This letter is in regard to Public Hearing request Ref #105. I, as president of the Brookside Office Court Condo Owners Association will recommend to the board and other owners my opposition to the proposed spa and massage salon. My opposition is focused on two issues. First, our parking lot has never been able to support current employees and clients. As it is, Dr. Powers and his staff park on the street, encroaching on our neighbors in Brookside II. The applicant states that seven parking spots may be needed for staff and an additional seven for clients, totaling fourteen spots, far exceeding the number used by the former tenant. The increased demand could potentially result in ten or more additional cars onto the streets of Brookside II. Secondly, Brookside Office Court was intended for, and has always been occupied by professional groups, primarily medical. A salon does not fit the image we wish to project for the complex. For these reasons, your request for special use should be denied.”
- Staff recommends that the special uses be conditioned upon the reduced parking information provided in Article 7, Section B, Part 5.

The applicant, Traci Powers, was present before the Commission. She noted that as the letter from Dr. Harrison noted that the site is currently deficient in parking and that any future user of the space would require some amount of parking. She also noted that she does not yet have seven employees but would hope to with growth of the business. She also stated that the proposed use would be busiest on weekends, when most of the other businesses in the development would be closed. She did not think that she would need 14 parking spaces.

Chair Rigoni asked the applicant to further define the nature of her proposed business. Ms. Powers responded that it would be more of a spa than a salon and that she would only have two hair stylists. The business is more focused on skin care and that most customers live in Frankfort.

Chair Rigoni asked for questions from the commissioners.

Commissioner David Hogan asked how many of the current tenants are owners. Farrell

responded that she did not have that information. Hogan asked if the applicant was proposing to purchase the space. Farrell responded in the affirmative.

Commissioner Knieriem asked whether any options existed that would provide parking for the employees (not patrons). Ms. Powers responded that there would be seven employees and they could park in the street or in the development east of Washington Parkway. She also stated that as it currently exists per code, there is only one parking space available for the vacant tenant space and that any future user of this space is sure to exceed this amount.

Commissioner Markunas asked the applicant if she would be willing to have approval based on the condition that employees must park off-site. Ms. Powers responded in the affirmative. Commissioner Knieriem noted that the Brookside Subdivision residents were opposed to cars parked on the street.

Commissioner Lisa Hogan did not think that the parking table made practical sense. As an example, the parking requirements seemed inaccurate regarding the existing dentist use. Commissioner Lisa Hogan believed that if this commercial plaza was only intended for medical users, this should have been included as a condition of the covenants and restrictions. Farrell responded that the parking table was a best estimate for the parking requirements, as she did not have the number of exam rooms and employees for each existing user.

Chair Rigoni opened the public comment portion of the meeting.

Don Bettenhausen, an owner within the Brookside Office Condo, approached the podium. Summarized, he stated the following.

- He has eight signatures from eight other units in the development and all are opposed to the special use permit for the salon/spa. Mr. Bettenhausen distributed a letter and the petition to the Commission.
- There are a total of 53 parking spaces on site, 4 of which are handicap accessible.
- Most of the existing tenants operate on the ground level and that the basements are used only for storage.
- All the tenant spaces except for one are owner-occupied.
- Presidents Row east of Washington Parkway is under a different association and they do not want overflow parking.
- The residents of Brookside do not want parking on the street.
- It is dangerous to have cars park on the street.

Commissioner Lisa Hogan asked how many exam rooms Mr. Bettenhausen had. He replied that he didn't have any and was an attorney office. Commissioner Knieriem asked where his office was located. Mr. Bettenhausen responded that his office is located at the end of the building.

Jim Water, association vice president, approached the podium. Summarized, he stated the following:

- Their property is “landlocked” and restricted with respect to parking.
- The other tenants have employees, but also clients that come and go. As an example, he stated that the accounting office has a high volume of clients, especially during tax season.
- The traffic on Washington Parkway moves fast, as Route 30 has a higher speed of traffic and motorists carry this mentality onto Washington Parkway.
- The ingress/egress to the site aligns with Presidents Row across the street. This causes dangerous traffic turning movements. This could be made safer by eliminating the landscaped median and installing turn lanes.

Commissioner Lisa Hogan asked how many employees Mr. Water had. He responded that he has no more than three at any given time. She asked the applicant what currently exists in the tenant space. Ms. Powers responded that it is currently the “International Council of Community Churches”, which she believed is an office use.

A resident who lives at 592 Johnson Avenue (possibly [redacted] Barre, signature difficult to read), approached the podium. Summarized, he stated the following:

- There is an issue with insufficient parking. People already park on Johnson.
- Washington Parkway narrows at the intersection with Johnson Avenue, so that the streets don’t align properly. The streets are already confusing, and drivers get lost with regularity.

Commissioner Knieriem asked the resident whether parking could be restricted to only one side of Johnson Avenue and whether this would be a workable compromise. The resident responded that Johnson Avenue is already filled with cars on the north side and that patrons for Presidents Row are parking on surrounding streets as well.

Commissioner Soffer asked whether the flow of traffic could be changed on the nearby streets, such as creating one-way streets. Chair Rigoni responded that traffic circulation falls under the purview of the Traffic Advisory Committee.

Commissioner Guevara stated that parking on the street is not a good solution and that the proposed use would add to an existing problem.

Commissioner Lisa Hogan stated that any new user of the subject tenant space would exacerbate the current parking situation.

Chair Rigoni stated that parking on the street was not a viable solution. She noted that when the buildings were originally approved, it was not anticipated that businesses would use the basements for anything other than storage.

Commissioner Markunas expressed an openness to allow parking on the streets.

Commissioner Knieriem asked whether the units were approximately of equal size. If so, each tenant space should share the parking spaces equally. He asked whether the current tenants park on the street. Mr. Bettenhausen responded that if there are spaces available, he

will park in the lot, otherwise, he will park in the street. He also stated that he believes that the basements of the other tenants are used only for storage.

Commissioner David Hogan asked staff if the required parking space chart was the best guess. Farrell responded in the affirmative. He stated that the property is already operating with parking at over capacity, but also suggested that if a dentist moved into the suite, that it would attract more customers than a salon/spa.

Commissioner Knieriem asked the other tenants in the plaza what their solution would be to fix the parking situation. There did not appear to be a direct answer.

Todd Dawson, a resident at 297 Mulberry, approached the podium. He stated that the parking situation is so bad that occasionally people will park in his driveway and sit on the bench in front of his house. He stated that the proposed salon/spa use would negatively affect nearby residents.

Chair Rigoni suggested that the businesses within the development should not be allowed to use their basements for anything other than storage, which would reduce usable floor area and help alleviate the demand for parking.

Motion (#4): Recommend the Village Board approve a special use for a massage establishment at 21116 Washington Parkway in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Lisa Hogan Seconded by: Knieriem

Denied: (6 to 1, Lisa Hogan on "aye" vote)

Motion (#5): Recommend the Village Board approve a special use for personal service at 21116 Washington Parkway in accordance with the reviewed plans, public testimony, and Findings of Fact.

Motion by: Markunas Seconded by: Knieriem

Denied: (7 to 0)

Project: 21116 Washington Parkway – Tracy’s Beautique
Meeting Type: Public Hearing
Request: Special Uses (2) for massage establishment and personal service.
Location: 21116 Washington Parkway
Subdivision: Brookside Office Condominium
Applicant: Tracey Powers
Prop. Owner: International Council of Community Churches
Representative: Tracey Powers
Report By: Janine Farrell, AICP

Site Details

Lot Size: ±19,591 square feet
PIN: 19-09-21-304-015-1001
Existing Zoning: B-4/Office District
Proposed Zoning: N/A
Buildings / Lots: 1 building / 1 lot
Total Sq. Ft.: ±2,497 square feet (Unit 21116 only)

Figure 1. Location Map



Adjacent Land Use Summary:

	Land Use	Comp. Plan	Zoning
Subject Property	Office Building	General Commercial	B-4
North	Office Building	General Commercial	B-4
South	Office Building	General Commercial	B-4
East	Office Building Complex	General Commercial	B-4
West	Office Building Complex	General Commercial	B-4

Project Summary

The applicant, Tracey Powers, is the contract purchaser for 21116 Washington Parkway and looking to relocate her existing salon, Tracy’s Beautique, to the site. Tracy’s Beautique is currently located at 21195 S. LaGrange Rd.

The new location will have a main level and basement level. The main level will include the waiting area, reception, hair styling stations, shampoo bowls, nail station, two spa or treatment rooms, and two bathrooms. There are stairs which lead down into the basement level which will have a wheelchair lift to ensure compliance with accessibility requirements. The basement level includes a waiting area, two treatment or spa rooms, an office, storage, breakroom, a utility room including a washer/dryer, and a bathroom. In total, there are two hair stations, one nail station, and four treatment or spa rooms proposed. A conceptual site plan was prepared by the applicant and is included as an attachment.

The applicant will perform spa and salon or beauty services such as massage, facials, waxing, makeup, microblading, spray tanning, nails, lash extensions, and hair services. Salon and spa services such as facials, waxing,

makeup, microblading, spray tanning, nails, lash extensions, and hair services are categorized as the “personal service” use category which requires a special use in the B-4 zoning district. Massage services require a separate special use for “massage establishment” in the B-4 zoning district. The applicant’s existing business received special use approval for a massage establishment on November 19, 2018 through Ordinance 3181; there were no conditions of approval for that special use. The Use Regulations pertaining to Massage Establishments have been provided as an attachment.

Attachments

- Interior site concept plan prepared by applicant, revised 8.25.2021
- Condominium Survey, document R95-011642, dated 2.14.1995
- Individual unit plats, document R95-016276, dated 3.14.1995
- Zoning Ordinance Article 5, Section C, Part 11.1, Use Regulations for Massage Establishments
- Zoning Ordinance Article 7, Section B, Part 5, Adjustments to Required Parking
- Photographs of the site taken by staff on 8.24.2021
- Special Use Permit Findings of Fact responses prepared by Tracey Powers, received by staff 8.23.2021
- Special Use Permit Findings of Fact form for use by the Plan Commission to evaluate the request

Analysis

In consideration of the request, staff offers the following points for discussion:

- The applicant is proposing a maximum of seven employees to be present at one time. Currently the business only has five employees, but the applicant intends to hire two hair stylists for this new location.
- The hours of operation will be Monday through Friday 9:00a.m.-9:00p.m., Saturdays and Sundays 8:00a.m.-4:00p.m.
- Zoning Ordinance Article 5, Section C, Part 11.1 details regulations for Massage Establishments. This excerpt has been included as an attachment. The majority of these requirements will be inspected for compliance under ‘c’, once the interior of the space has been built-out and prior to business license issuance. From viewing interior photos available from the real estate listing, it appears that the establishment will comply with regulation ‘a5’, that the space has been provided with artificial light and a mechanical operating system.
- There are three buildings within the Brookside Office Condominium, each located on a separate parcel. These three buildings share one point of ingress, egress and parking facilities. According to the Declaration of Condominium Ownership and of Easements, Restrictions, Covenants and By-Laws (documents R94-045159, R95-011642 and R95-016276) there are no easements recorded on the Plat but each unit has a right to use the parking, ingress/egress and other “common areas.” Each unit owns a percentage interest in these common areas, with Unit 2016 having 10.45% interest.
- Since the parking lot is part of the common area, there are no assigned parking spaces for each unit. As such, staff completed a basic parking assessment of all the businesses located in the Brookside Office Condominium, provided below. Staff’s calculation shows that with the addition of the proposed use, there will be a deficit of 19 parking spaces.
- Zoning Ordinance Article 7, Section B, Part 5, outlines procedures for reduction of the requirements of off-street parking. The Plan Commission may make these parking adjustments on a case by case basis, if the petitioner submits written documentation demonstrating that parking demands are excessive or are being met in an alternative manner, such as an off-site parking agreement. Staff has requested information from the applicant in order for the Commission to make the determination that parking requirements have been met. The applicant’s response and the provisions from the Zoning Ordinance have been provided as attachments.
- On September 2, 2021, staff spoke with Ronald Harrison, President of the Brookside Office Condominium Association, regarding the proposed business. Dr. Harrison stated that the Association is preparing a letter of objection to the proposed business due to the limited parking available and that the salon/spa/massage use does not fit with the professional profile of the development. Staff will provide a copy of this letter to Commission when received.

PARCEL/ BUILDING	ADDRESS	USE	UNIT SIZE*	REQUIRED SPACES
South	21146	Attorney <i>(Office and Professional Service)</i>	2,512 sq. ft.	13 (One space per 200 sq. ft.)
South	21142	CPA <i>(Office and Professional Service)</i>	2,270 sq. ft.	12 (One space per 200 sq. ft.)
South	21136	Dentist <i>(Health clinic/office)</i>	2,328 sq. ft.	At least 4 (Three patron parking spaces per exam room; plus one space per employee)
Center	21128	Orthodontist <i>(Health clinic/office)</i>	2,517 sq. ft.	At least 4 (Three patron parking spaces per exam room; plus one space per employee)
Center	21124	Audiologist <i>(Health clinic/office)</i>	2,223 sq. ft.	At least 4 (Three patron parking spaces per exam room; plus one space per employee)
Center	21120	Anesthesia <i>(Health clinic/office)</i>	2,231 sq. ft.	At least 4 (Three patron parking spaces per exam room; plus one space per employee)
Center	21116	Proposed salon <i>(Personal Service/ Massage Establishment)**</i>	2,497 sq. ft.	20 (One space per 200 sq. ft.; plus one space per employee)
North	21104	Chiropractor <i>(Health clinic/office)</i>	3,651 sq. ft.	At least 4 (Three patron parking spaces per exam room; plus one space per employee)
North	21100	Optometrist <i>(Health clinic/office)</i>	2,361 sq. ft.	At least 4 (Three patron parking spaces per exam room; plus one space per employee)
TOTAL REQUIRED SPACES (MINIMUM)			69	
TOTAL SPACES AVAILABLE			50 plus 3 ADA	
				Deficit of 19 spaces

*Recorded documents R9-0115159, R95-01164 and R95-016276 were used to determine the unit size. The unit size includes the first and basement levels.

**Since there is not a separate parking calculation for a massage establishment and the massage services are part of this salon/spa use, staff is using only the "personal services" use to determine parking calculations.

This chart provides only an estimate of the base amount of required parking. It is unknown how many exam rooms and employees work at the six health clinic/office uses described above.

Staff's Review

Staff offers the following comments regarding the findings of fact used to determine the merits of the special use request, per the Zoning Ordinance. Staff's responses are in italics. The applicant also provided responses to the findings of fact which are included as an attachment. The Commission may wish to adopt these findings or amend them before making a motion.

Findings of Fact:

No special use shall be recommended by the Plan Commission, unless such Commission shall find:

- a. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.

It is staff's professional opinion that the proposed use will not be detrimental to or endanger the public's health, safety, comfort or general welfare. The salon, spa, and massage use will be fully contained indoors and operating regular business hours, closing at 9:00p.m. on the latest day.

b. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

It is staff's professional opinion that the proposed use will not substantially diminish or impair property values within the neighborhood. Due to the limited parking available, the special uses may impact the use of the other units in the Brookside Office Condominium.

c. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The immediate surrounding area is fully developed for office uses, but there are residential uses located roughly 340 ft. to the south (Brookside and Brookside II Subdivisions, and Brookside Country Villas Condos). The establishment of the special uses, without addressing the parking concerns, may deter new users from occupying existing tenant spaces or making improvements to the properties due to a lack of parking available.

For the Commission's reference, Gen and Joe's Salon (now called Gen and Joe's Color) is located directly behind or to the west of the subject site in the Brookside Commons PUD. This property is also zoned B-4. Ordinance 3202 approved the "personal services" special use on April 1, 2019. With the 1,400 sq. ft. space and 10 employees, a minimum of eleven parking spaces was required. The PUD allowed for flexibility in the use with a shared parking arrangement, where some uses, like a restaurant, did not have peak capacity at the same time as other uses in the development. A condition was also added which "limited salon services to only four first floor suites only and no future consideration of additional salon suites in the basement."

d. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property value within the neighborhood.

There are no exterior changes or alterations proposed. The interior build-out includes construction of spa or treatment rooms, but otherwise has an open floor plan with hair and nail stations. The interior build-out will not be at variance with the build-outs of the other units in the Brookside Office Condominium for the health clinic/office exam room uses.

e. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

The interior of the building contains adequate utilities and other necessary facilities to accommodate the proposed special uses. The site is already developed with one point of shared ingress/egress, internal driveways, parking, and drainage facilities. According to staff's parking calculations based upon the Zoning Ordinance requirements, there is not adequate parking to accommodate the use. There is a procedure detailed under Zoning Ordinance Article 7, Section B, Part 5, where the Plan Commission may adjust the minimum parking requirement for the proposed use. Staff does not believe that adequate information has been provided by the applicant in order for the Commission to reduce or adjust the required parking.

f. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The site is improved with one point of shared ingress/egress for the three structures in the Brookside Office Condominium. This ingress/egress is located between Route 30 and Johnson Ave., which can accommodate a flow of traffic into and out of the site and does not create congestion. Washington Parkway at Route 30 is not signalized, and turning left from Washington Parkway can be challenging depending on the time of day. When staff

performed site visits, it was noticed that due to the limited parking on site, there were vehicles parked on the residential street, Johnson Ave., alongside the southern-most office building.

g. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

According to staff's parking calculations for the Brookside Office Condominium, the special uses will not conform to the applicable parking regulations as detailed in Zoning Ordinance Article 7, Section B, Part 2, 'f', 10, "Personal Services. One (1) space per 200 square feet of gross floor area; plus one (1) space per employee for the work shift with the largest number of employees." With the gross floor area and seven employees, a minimum of twenty parking spaces are required for the proposed use. Since there is not a separate parking calculation for a massage establishment and the massage services are part of this salon/spa use, staff is using only the "personal services" use to determine parking calculations.

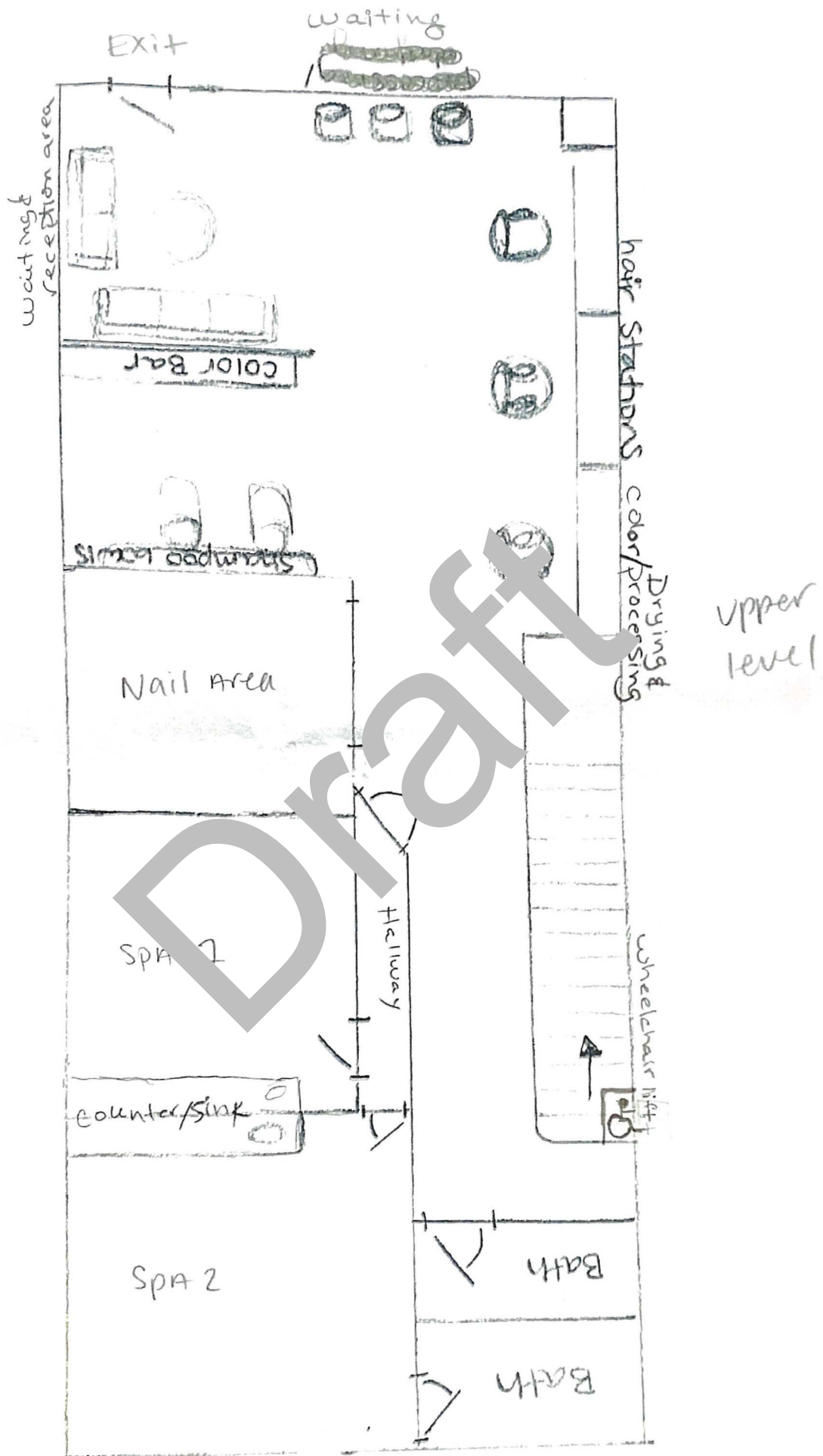
Affirmative Motion

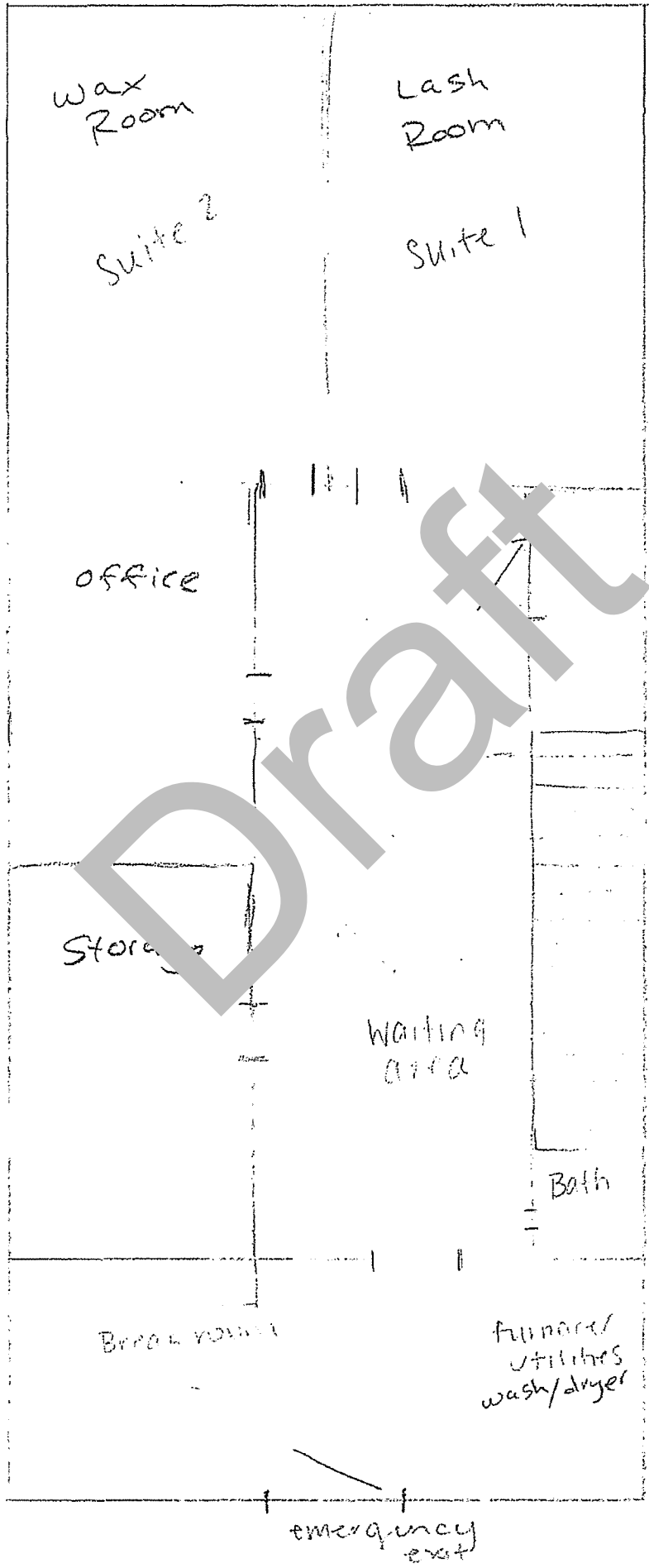
For the Commission's consideration, staff is providing the following proposed affirmative motion language for the special use requests. Staff would recommend that conditions be added to each of the special uses should the applicant provide the required information in order to adjust the parking requirements in accordance with Zoning Ordinance Article 7, Section B, Part 5.

1. Recommend the Village Board approve a special use for a massage establishment at 21116 Washington Parkway in accordance with the reviewed plans, public testimony, and Findings of Fact.
2. Recommend the Village Board approve a special use for personal service at 21116 Washington Parkway in accordance with the reviewed plans, public testimony, and Findings of Fact.

REVISED

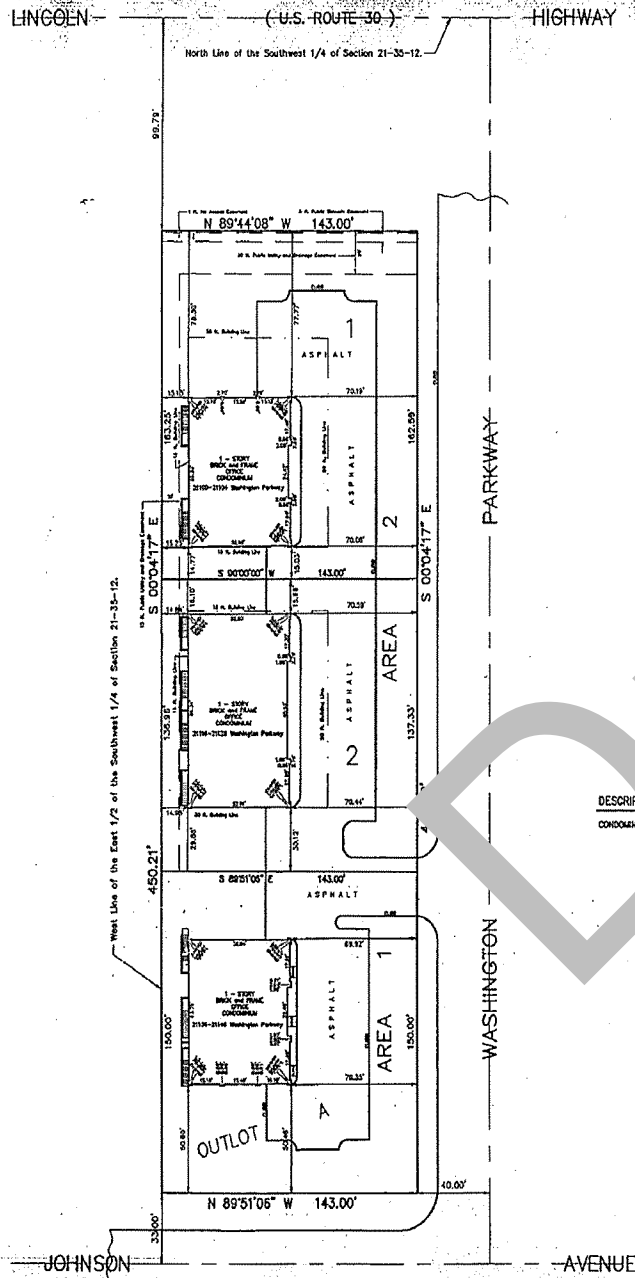
9:44 am, Aug 25, 2021





lower level

R95-011642



CONDOMINIUM SURVEY

AREA 1: OUTLOT A IN BROOKSIDE II SUBDIVISION PHASE 2, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 23, 1989 AS DOCUMENT NO. R89-08403, IN WILL COUNTY, ILLINOIS.

AND ALSO

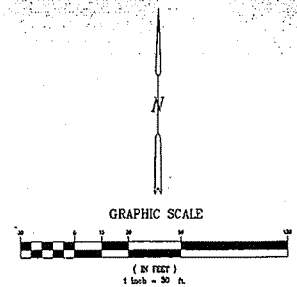
AREA 2: THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS LYING SOUTH OF LINCOLN HIGHWAY, NORTH OF OUTLOT A AND WEST OF WASHINGTON PARKWAY, IN BROOKSIDE II SUBDIVISION PHASE 2, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 23, 1989 AS DOCUMENT NO. R89-08403, IN WILL COUNTY, ILLINOIS.

ALSO KNOWN AS

LOT 1 OF BROOKSIDE II SUBDIVISION, BEING THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS LYING SOUTH OF LINCOLN HIGHWAY, NORTH OF OUTLOT A AND WEST OF WASHINGTON PARKWAY, IN BROOKSIDE II SUBDIVISION PHASE 2, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 23, 1989 AS DOCUMENT NO. R89-08403, IN WILL COUNTY, ILLINOIS.

EXHIBIT

DESCRIPTION	AREA NO.	RECORDING DATE/DOCUMENT NO.
CONDOMINIUM DECLARATION	AREA NO. 1	APRIL 20, 1994 DOCUMENT NO. R94-45159



PIN 9-21-309-009
9-21-300-016

GENERAL NOTES

- Horizontal Boundaries Of Units Are Formed By The Interior Surfaces Of The Unfinished Floors And Ceilings.
- Vertical Boundaries Of Units Are The Planes Formed By The Interior Surfaces Of Perimeter Walls And Lateral Extensions Thereof.
- All Elevations Are Referenced To U.S.G.S. Datum As Measured From A Benchmark As Shown On This Sheet.

BENCHMARK

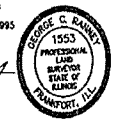
Southeast Flange Bolt On First Hydrant West Of Washington Parkway On South Side Of Johnson Avenue.
ELEVATION: 738.65

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

This is to certify that George C. Ranney, an Illinois Professional Land Surveyor, has surveyed the property described in the above caption and located the building thereon and divided both vertically and horizontally said building as a condominium as shown in the attached plat and numbered sheets 1, 2 and 3 hereof, which are a correct and true representation of said survey. All distances and dimensions are shown in feet and decimal parts thereof.

Given under my Hand and Seal at Frankfort, Illinois, this 15th day of February A.D. 1995

By: *George C. Ranney*
Illinois Professional Land Surveyor No. 1553



sent to Pugh, Gary Ranney
 FRANKFORT
 19350 S. HARLEM AVENUE, FRANKFORT, IL. 60142
 PHONE: 1-708-720-1000 FAX: 1-708-720-3065
 LAND SURVEYING ARCHITECTURE LAND PLANNING

CIVIL ENGINEERING
 REVISIONS:

CONDOMINIUM SURVEY
 BROOKSIDE OFFICE CONDOMINIUM
 Frankfort, Illinois

Date:	FEB. 14, 1995
Scale:	1" = 30'
Disk No.:	
Drawn:	L.C.
Checked:	G.C.R.
Sheet:	1 of 3
Job No.:	87-164-230

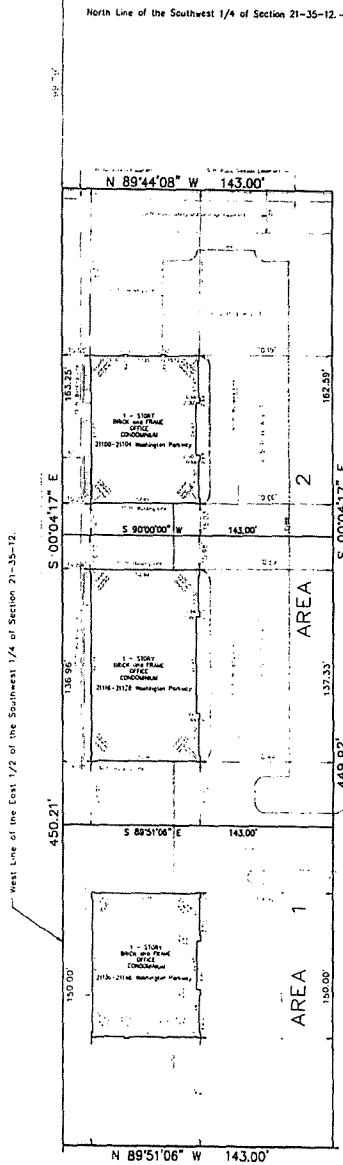
EXHIBIT "A"

R95-011642

LINCOLN

(U.S. ROUTE 30)

HIGHWAY



West Line of the East 1/2 of the Southwest 1/4 of Section 21-35-12.

JOHNSON

WASHINGTON

PARKWAY

CONDOMINIUM SURVEY

AREA 1: OUTLOT A IN BROOKSIDE II SUBDIVISION PHASE 2, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 23, 1989 AS DOCUMENT NO. R89-08403, IN WILL COUNTY, ILLINOIS.

AND ALSO

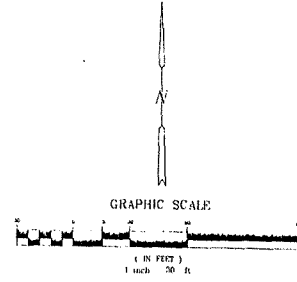
AREA 2: THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS LYING SOUTH OF LINCOLN HIGHWAY, NORTH OF OUTLOT A AND WEST OF WASHINGTON PARKWAY, IN BROOKSIDE II SUBDIVISION PHASE 2, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 23, 1989 AS DOCUMENT NO. R89-08403, IN WILL COUNTY, ILLINOIS.

KNOWN AS

LOTS 1 AND 2, BRUTON ADDITION, BROOKSIDE II SUBDIVISION, BEING THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS LYING SOUTH OF LINCOLN HIGHWAY, NORTH OF OUTLOT A AND WEST OF WASHINGTON PARKWAY, IN BROOKSIDE II SUBDIVISION PHASE 2, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 23, 1989 AS DOCUMENT NO. R89-08403, IN WILL COUNTY, ILLINOIS.

EXHIBIT

DESCRIPTION	DATE	RECORDING DATE/DOCUMENT NO.
CONDOMINIUM AMENDMENT	APRIL 29, 1994	DOCUMENT NO. R94-45159



1" = 20' 9-21-309-009
9-21-300-016

GENERAL NOTES

- Horizontal Boundaries Of Units Are Formed By The Interior Surfaces Of The Unfinished Floors And Ceilings.
- Vertical Boundaries Of Units Are The Planes Formed By The Interior Surfaces Of Perimeter Walls And Lateral Extensions Thereof.
- All Elevations Are Referenced To U.S.C.S. Datum As Measured From A Benchmark As Shown On This Sheet.

BENCHMARK

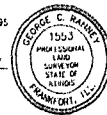
Southeast Flange Bolt On First Hydrant
West Of Washington Parkway On South
Side Of Johnson Avenue.
ELEVATION: 738.65

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

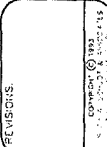
This is to certify that George C. Ranney, an Illinois Professional Land Surveyor, has surveyed the property described in the above caption and located the building thereon and divided both vertically and horizontally said building as a condominium as shown in the attached plat and numbered sheets 1, 2 and 3 inclusive, which are a correct and true representation of said survey. All distances and dimensions are shown in feet and decimal parts thereof.

Given under my Hand and Seal at Frankfort, Illinois, this
15th day of February A.D. 1995

By George C. Ranney
Illinois Professional Land Surveyor No. 1553



George C. Ranney
Prepared by Philip To Frankfort
19350 S. HARLEM AVENUE, FRANKFORT, IL., 60423
PHONE: 1-708-720-1000 FAX: 1-708-720-1065
LAND SURVEYING ARCHITECTURE LAND PLANNING

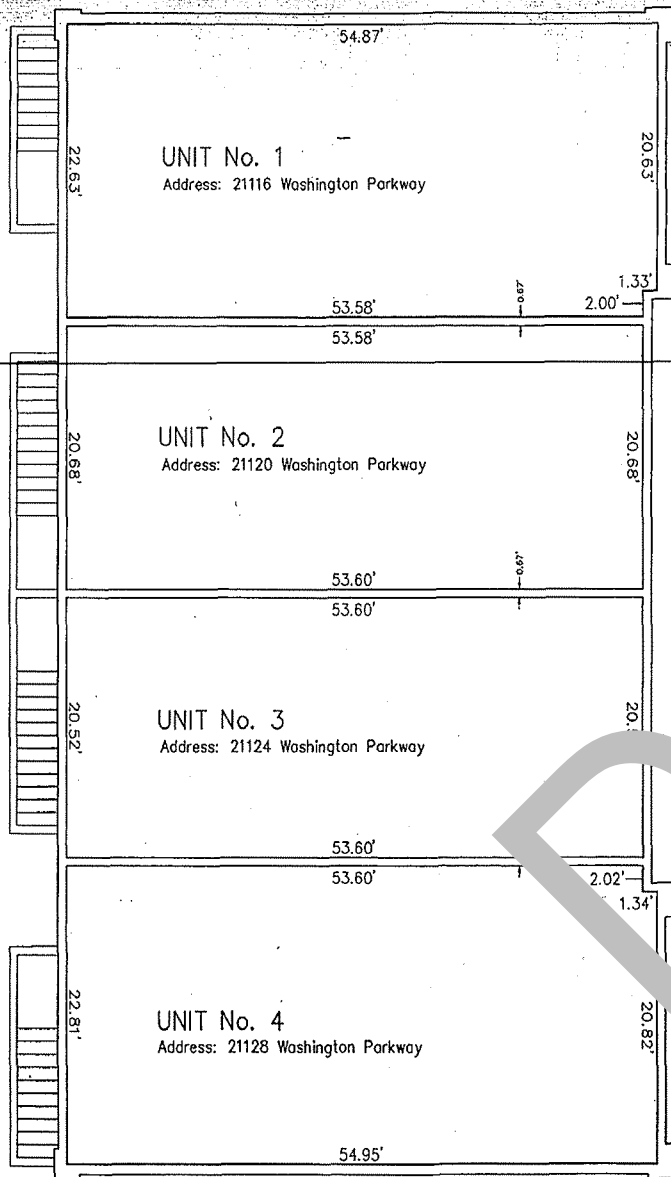


CONDOMINIUM SURVEY
BROOKSIDE OFFICE CONDOMINIUM
Frankfort, Illinois

FEB. 14, 1995
1 3
87-104-232

EXHIBIT " A "

R95-01642



BASEMENT PLAN

Floor Elevation: 728.89
Ceiling Elevation: 737.27

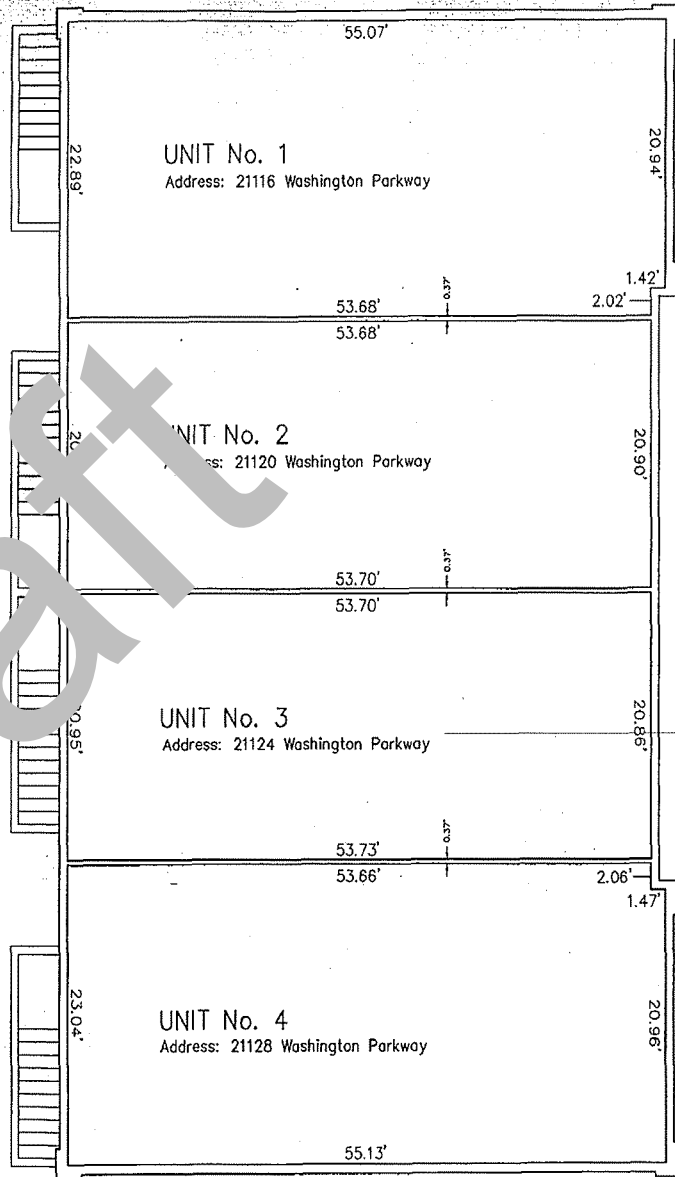
NOTE:
All Walls: 4" (103mm) Thick, Unless Otherwise Specified

GRAPHIC SCALE



(1" = 1'-0")

Scale: Feet



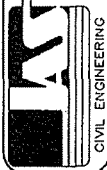
FIRST FLOOR

Floor Elevation: 738.69
Ceiling Elevation: 748.67

NOTE:
All Walls: 4" (103mm) Thick, Unless Otherwise Specified

Mary Ann Stukei
02/22/95
Illinois County Recorder
Fee: \$152
PC2
R 95011642
Pass

FRANKFORT, ILL. 60422
19350 S. HARLEM AVENUE, FRANKFORT, ILL. 60422
PHONE: 1-708-720-1000 FAX: 1-708-720-1010
LAND SURVEYING ARCHITECTURE LAND PLANNING



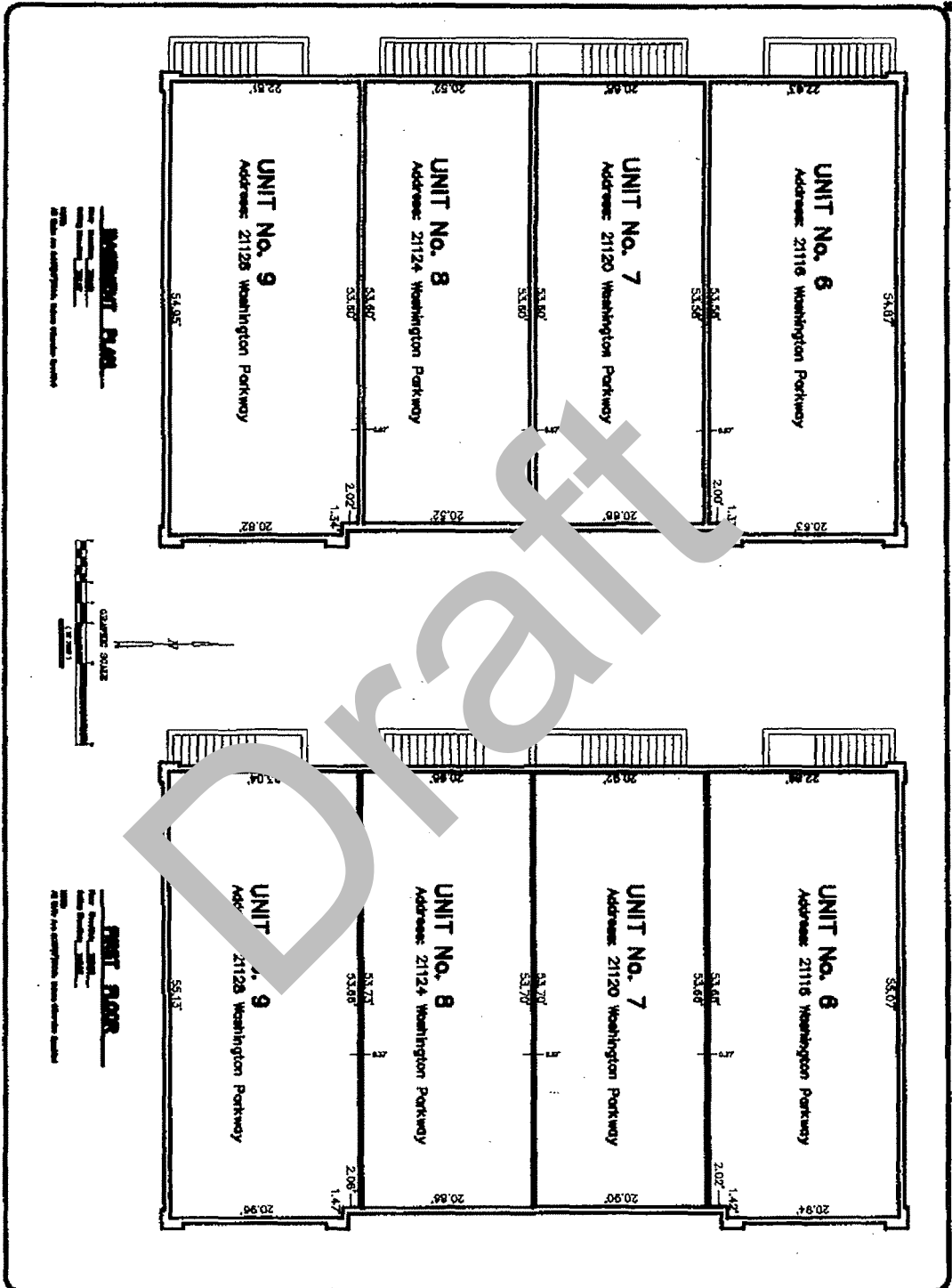
NO.	DATE	DESCRIPTION
1	02/22/95	CONDOMINIUM SURVEY

CONDOMINIUM SURVEY
BROOKSIDE OFFICE CONDOMINIUM
21116-21128 Washington Parkway

Date: FEB. 14, 1995
Scale: 1" = 5'
Disk No.:
Drawn: LC
Checked: GCK
Sheet:
3 of 3

R95-01642

R95-016276



CONDOMINIUM SURVEY
BROOKSIDE OFFICE CONDOMINIUM
 21116-21128 Washington Parkway

FRANKFORT
 10350 S. HARLEM AVENUE, FRANKFORT, IL., 60423
 PHONE: 1-708-720-1000 FAX: 1-708-720-1066

CIVIL ENGINEERING
 LAND SURVEYING ARCHITECTURE LAND PLANNING

Sheet 4 of 4

4

3. There will be no private streets.
 4. All residential parking will be off-street. No on-street parking is allowed.
 5. Off-street parking shall be provided in front and side yards only. Two (2) off-street parking spaces shall be provided per dwelling unit. The off-street parking surface shall be covered with a concrete surface. Each space shall be no less than ten (10) feet wide and twenty (20) feet deep. Enclosed garage space shall not count toward the required off-street parking requirements.
 6. All sidewalks and driveways shall be concrete and meet Village standards.
- o. **Manufactured Home Sales:** Manufactured home sales are permitted on a limited basis. One home may be used for a model, and one model is allowed for each park. This model must follow all structural and aesthetic guidelines as outlined for a manufactured residence.
 - p. **Landscaping:** Landscaping shall be provided as part of site and subdivision design. It shall be provided comprehensively throughout the site; integrating the various elements of site design, preserving and enhancing the particular identity of the site, and creating a pleasing site character. Landscaping shall include plant materials such as trees, shrubs, ground covers, perennials, and annuals, and other materials such as rocks, water, sculpture, art, wall fences, paving materials, and street furniture. All landscaping shall meet all standards and guidelines established in the Village of Frankfort Landscape Regulations.
 - q. **Landscape Plan:** A landscape plan prepared by a certified landscape architect shall be submitted with each subdivision development request. The plan shall identify existing and proposed trees, shrubs, and ground covers; natural features such as rock outcroppings; and other landscaping elements. The plan shall show where they are or will be located and planting and/or construction details. Special attention shall be paid so as to substantially screen the development from all adjoining zoning districts and land uses. The landscaping plan must meet all standards and guidelines established in the Village of Frankfort Landscape Regulations, and sections 150.75 and 150.76 of the Village Code.

Part 11.1: Massage Establishments

(Am. Ord. 2174, passed 07.05.05)

- a. **Facilities**
 1. **Cabinets.** Closed cabinets shall be provided and used for the storage of clean linens, towels, and other materials used in connection with administering massages. All soiled linens, towels, and other materials shall be kept in properly covered containers or cabinets, which containers or cabinets shall be kept separate from the clean storage areas.

2. Dressing rooms. Provision of a separate dressing room for each sex must be available on the premises. Doors to such dressing rooms shall open inward and shall be self-closing.
3. Electrical equipment. All electrical equipment shall be installed in accordance with the building codes adopted by the Village of Frankfort.
4. Lavatories or wash basins. Lavatories or wash basins provided with both hot and cold running water shall be installed in either the toilet room or the vestibule. Lavatories or wash basins shall be provided with soap in a dispenser and with sanitary towels.
5. Light and ventilation. All portions of massage establishments shall be provided with adequate light and ventilation by means of windows or skylights with an area of not less than one-eighth (1/8) of the total floor area. They shall be provided with approved artificial light and a mechanical opening ventilating system. When windows or skylights are used for ventilation, at least one-half (1/2) of the total required window area shall be operable. To allow for adequate ventilation, cubicles, rooms, and areas provided for patrons' use not served directly by a required window, skylight, or mechanical system of ventilation shall be constructed so that the height of partitions does not exceed seventy five percent (75%) of the floor-to-ceiling height of the area in which they are located.
6. Locks. No massage service may be carried on within any cubicle, room, booth, or any area within a massage establishment that is fitted with a door capable of being locked.
7. Plumbing. All plumbing fixtures shall be installed in accordance with the building codes adopted by the Village of Frankfort.
8. Service sink. The premises shall be equipped with a service sink for a custodial services.
9. Toilet facilities. Toilet facilities shall be provided in convenient locations. When five (5) or more employees and patrons of different sexes are on the premises at the same time, separate toilet facilities shall be provided. A single water closet per sex shall be provided for each twenty (20) or more employees or patrons of that sex on the premises at any one time. Urinals may be substituted for water closets after one water closet has been provided. All toilet rooms shall be equipped with self-closing doors opening in the direction of ingress to the toilet rooms. Toilets shall be designated as to the sex accommodated therein.
10. Waterproofing. Construction of rooms used for toilets, tubs, steam baths, and showers shall be made waterproof with approved waterproofed materials and shall be installed in accordance with the building codes adopted by the Village of Frankfort. For toilet rooms, toilet room vestibules, and rooms containing bathtubs, there shall be a waterproof floor covering, which will be carried up all walls to a height of at least six inches (6"), and floors shall be covered up on base with at least

three-fourths inch (3/4") cover. The walls of all toilet rooms and rooms containing bathtubs shall be finished to a height of six feet (6') with a smooth, nonabsorbent finish surface of Keene cement, tile, or similar material. Steam rooms and shower compartments shall have waterproof ceilings, floors, and walls approved by the Building and Zoning Department.

11. Wet and dry heat rooms. Floors of wet and dry heat rooms shall be adequately pitched to one or more floor drains properly connected to the sewer. (Exception: dry heat rooms with wooden floors need not be provided with pitched floors and floor drains.) A source of hot water must be available within the immediate vicinity of dry and wet heat rooms to facilitate cleaning.

b. Operating conditions

1. Cleanliness. Every portion of a massage establishment, including appliances, apparatus, and personnel shall be kept clean and operated in a sanitary condition. The premises shall have adequate equipment for disinfecting and sterilizing nondisposable instruments and materials used in administering massages, and such nondisposable instruments and materials shall be disinfected after use on each patron. Oils, creams, lotions, or other preparations used in administering massages shall be kept in clean, closed containers or containers. Wet and dry heat rooms, shower compartments, and toilet rooms shall be thoroughly cleaned each day the business is in operation. Bathtubs shall be thoroughly cleaned after each use. Eating in the massage work areas shall not be permitted. Animals, except service animals for persons with disabilities, shall not be permitted in the massage work areas.
2. Employees. All employees and operators shall be clean and shall wear suitable clean, nontransparent outer garments, covering the sexual and genital areas, whose use is restricted to the massage establishment. It shall be unlawful for any person, knowingly or recklessly, in a massage establishment, to touch with any part of the body, to handle in any manner, or to massage the genitals, pubic area, anus, or perineum of any person, or the vulva or breasts of a female. No employee or operator shall perform, offer, or agree to perform any act that would require the touching of these areas. Patrons must cover these areas with towels, cloths, or undergarments when in the presence of an employee or operator.
3. Licenses. Persons administering massage for compensation must be licensed by the Illinois Department of Professional Regulation as massage therapists. A massage establishment must maintain a register of all persons employed as massage therapists and their license numbers. Such register shall be available for inspection at all times during regular business hours.
4. Price rates. Price rates for all services shall be prominently posted in the reception area in a location available to all prospective customers.

- c. Inspections
 1. Following application. The Village Clerk, upon receiving an application from a massage establishment seeking a general business license, shall refer the application to a Code Official, who shall inspect the proposed premises and shall make written recommendations to the Village Clerk. A general business license application for a massage establishment may be rejected if the operation as proposed by the applicant will not comply with all building codes adopted by the Village of Frankfort or regulations adopted by the Village Clerk or the Director of Building and Zoning.
 2. On-going. A Code Official shall from time to time and at least twice a year, make an inspection of the public areas of each massage establishment in the Village of Frankfort for the purposes of determining that the provisions of this Part are complied with.

Part 12: Mining

Mining, and/or the extraction of minerals, sand, gravel, topsoil or other aggregates, including equipment, buildings or structures for screening, crushing, sorting, washing or storage shall be subject to the following:

- a. No open pit or shaft shall be less than 100 feet from any public road or less than 500 feet from any adjacent residential district.
- b. All buildings or structures shall be located not less than 200 feet from any property line. All grinding, or processing machinery shall be located at the farthest point on the property from residential use as feasible.
- c. The border of the property adjacent to or across the street from any district other than an industrial district shall be fenced with a solid fence, wall, or landscape material at least six (6) feet in height.

Part 13: Office and Professional Service

A permitted business office may not display or sell chattels or goods, wares or merchandise on the premises without special use approval, with the exception of limited sales of product in connection with professional services rendered on site. (Am. Ord. 2495, passed 08.04.08)

Part 14: Outdoor Seating Associated with a Permitted Restaurant

Outdoor seating, when associated with a permitted restaurant, shall only be permitted in accordance with the following:

- a. All seating areas must be enclosed by a fence or wall of at least 3 feet in height.
- b. Where seating is permitted adjacent to a public sidewalk, at least 5 feet in width of said sidewalk must remain unobstructed.

- b) Cleaning, repairing, servicing and testing establishments.
 - c) Heavy or light industry.
 - d) Laundries and dry cleaning facilities.
 - e) Mail-order houses.
 - f) Printing and publishing.
 - g) Research facilities.
 - h) Warehousing, storage and wholesale establishments.
4. For all other uses, including, but not limited to those listed hereunder, loading berths shall be provided in accordance with the following schedule:

Schedule of Loading Berths	
Square Feet of Floor Area	Minimum Number
5,000 to 20,000	1
20,000 to 60,000	2
60,000 to 100,000	3
For each additional 100,000 square feet of floor area or fraction thereof	one additional

- a) Convenience stores
- b) Furniture and appliance stores;
- c) Grocery stores;
- d) Retail stores; or
- e) Restaurants and other establishments handling the sale or consumption of food or beverage on the premises.

Part 5: Adjustments to Required Parking

- a. Purpose. The purpose of this section is to allow adjustments to the minimum number of parking spaces required to avoid construction of unnecessary and excessive off-street parking facilities. Reducing the requirements for off-street parking facilities is intended

to provide for more cost-efficient site development, to minimize impervious surface, to minimize storm water runoff, to avoid construction of unnecessarily large storm water management facilities, and to provide more landscape areas and open space on business and industrial sites. To achieve these purposes, the Plan Commission may reduce the minimum number of required off-street parking spaces in specific cases as described in this Part 5.

- b. **Adjustments.** In all business and industrial districts, the minimum number of required parking spaces may be adjusted by the Plan Commission on a case-by-case basis. The petitioner for such an adjustment shall show to the satisfaction of the Plan Commission that adequate parking will be provided for customers, clients, visitors, and employees. The following provisions and factors shall be used as a basis to adjust parking requirements:

1. **Evidence That Actual Parking Demand Will be Less Than Ordinance Requirements.** The petitioner shall submit written documentation and data to the satisfaction of the Plan Commission that the operation will require less parking than the Ordinance requires.
2. **Availability of Joint, Shared or Off-site Parking.** The petitioner shall submit written documentation to the satisfaction of the Plan Commission that joint, shared or off-site parking spaces are available to satisfy the parking demand.
 - a) **Agreements shall be provided which demonstrate evidence that either parking lots are large enough to accommodate multiple users (joint parking) or that parking spaces will be shared at specific times of the day (shared parking, where one activity uses the space during daytime hours and another activity uses the spaces during evening hours.)**
 - b) **Off-site parking lots may account for not more than 50-percent of the required parking and shall be located not more than three-hundred (300) feet from the principal use that it is intended to serve.**

When a reduction of parking spaces attributable to shared parking or off-site parking is requested, the petitioner shall submit written verification that such parking is available and shall include copies of any contracts, joint lease agreements, purchase agreements, and other such documentation to show that shared parking can be accomplished. Off-site shared parking spaces shall be clearly posted for the joint use of employees, and/or tenants, or customers of each respective use sharing those spaces.

3. **Use of Alternative Transportation.** Upon demonstration to the Plan Commission that effective alternative transportation to the automobile will occur, the Plan Commission may reduce parking requirements. Alternative transportation may include, but is not limited to, bus transit, van pool operations, car pool/ride sharing, and bicycles. Proposals for adjustments of parking under this section shall show how the alternative transportation modes will be implemented, the permanency of

such modes, extent of the program, the number of vehicles the mode will replace, and other pertinent information.

- c. **Banked Parking Spaces.** As a condition of a reduction in parking requirements, the Plan Commission may require banked parking spaces. In such cases, the site plan for the business or industrial use shall provide sufficient open space on the subject site to accommodate the additional parking space otherwise required by this Ordinance. Such open space shall be in addition to required yards, setbacks, driveways, private streets, loading and service areas. Sufficient open space shall be provided which, if converted to parking spaces, would:
 - 1. provide off-street parking to meet the full requirements of this Ordinance at the time of application, and
 - 2. ensure that the site shall not exceed the maximum impervious lot coverage as set forth in Article 6.
- d. **Change in Occupancy or Use.** When the use of a building, structure, or land is changed to another use or occupant that required more parking spaces than required for the use existing prior to such change, additional parking spaces shall be constructed for the new use or occupant in the amount necessary to conform to this Ordinance.
- e. **Changes in Intensity of Use.** When the intensity or use of a building, structure, or land is increased by an addition of employees, gross floor area, seating capacity, or other unit of measurement, additional parking spaces shall be constructed for the new use or occupant in the amount necessary to conform to this Ordinance.

Part 6: Americans with Disabilities Act Requirements

- a. In any self-storage facility, a certain number of spaces must be set aside for wheel chair access as summarized in the following table:

Total Number of Parking Spaces	Minimum Accessible Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7

From: [Tracy Powers](#)
To: [Janine Farrell](#)
Subject: Re: Parking - 21116 Washington Pkwy
Date: Monday, August 30, 2021 2:28:16 PM

I don't really know how to reply other than just letting you know that there will never be 20 spaces used. At the very very very most it would be 14 and that's only if we are all working at the same time which never happens either. Also the bulk of our business is when your other businesses are already closed. I also am OK asking my employees to park in the parking lot behind, across the street, or on the side street, but I really don't think it would be necessary. I'm really not sure how any other business would be able to go in this spot if you're saying there's no more spaces, period. So I guess what I'm saying is if it's not going to be me using this location, its going to be somebody else that'll apparently have this same problem. I'm hoping you guys will allow me to do this, if not I understand but I need to move on quickly since my lease is almost up where I'm currently at. Thanks so much.

Sent from my iPhone

On Aug 30, 2021, at 12:01 PM, Janine Farrell <jfarrell@frankfortil.org> wrote:

The Zoning Ordinance requirement is below – this requires 13 spaces plus 7 for the employees.

<image002.jpg>

Janine Farrell *CP*
Senior Planner

From: Tracy Powers <tpowers1@tchiroo.com>
Sent: Monday, August 30, 2021 11:57 AM
To: Janine Farrell <jfarrell@frankfortil.org>
Subject: Re: Parking - 21116 Washington Pkwy

Why do I require 20 spaces?

Sent from my iPhone

On Aug 30, 2021, at 10:53 AM, Janine Farrell <jfarrell@frankfortil.org> wrote:

Hello Tracy,



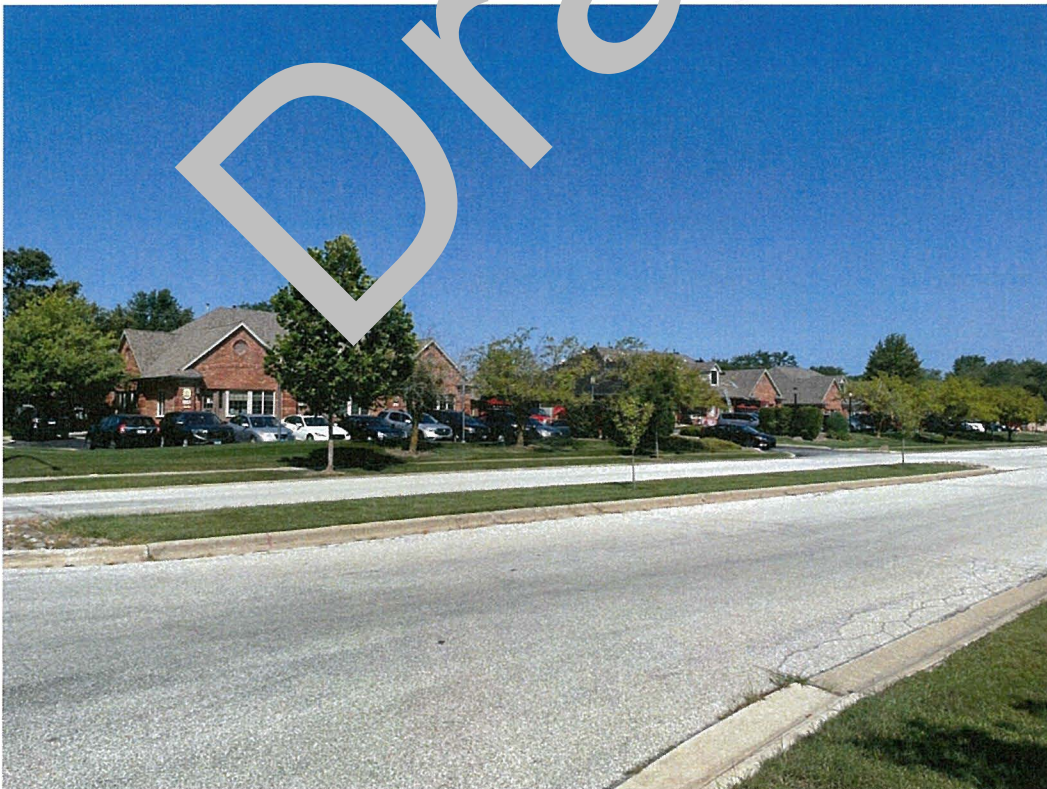
View looking west at the Unit.



View looking west at the Unit.



View looking south west of the building.



View of the Brookside Office Condominium looking northwest.



View of ingress/egress site looking northwest.



View of Washington Parkway looking north.



View of Washington Parkway looking south.



View looking east towards President's Row.



View of parking lot looking south east.



View of entrance sign.

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Application for Plan Commission / Zoning Board of Appeals Review
 Special Use Permit Findings of Fact

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists "findings" or "standards" that the Plan Commission must use to evaluate every special use permit request. The Plan Commission must make the following seven findings based upon the evidence provided. To assist the Plan Commission in their review of the special use permit request(s), please provide responses to the following "Findings of Fact." Please attach additional pages as necessary.

1. That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.
 we follow protocol for cleanliness and want to make sure our clients are provided with professional clean, healthy, safe services from licensed professionals. of course not.
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
 The safety of our guests are top priority. We have nice buildings, ethetics so we would definately keep the feel of that professional, clean look. Our clients (mostly from Frankfort) will appreciate the new feel of the atmosphere, I'm sure. It'll also be nice to refer our clients to the other businesses in brooside.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
 We support other businesses and just want to see everyone succeed.
4. That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

N/A

5. That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

N/A

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

N/A

7. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in such instances be modified by the Village Board, pursuant to the recommendations of the Plan Commission.

we will abide by all regulations.

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FRANKFORT
 INC • 1879

Findings of Fact Commissioner Evaluation Form - Special Use Permit

Article 3, Section E, Part 6 of the Village of Frankfort Zoning Ordinance lists “findings” or “standards” that the Plan Commission must use to evaluate every special use permit request. No special use shall be recommended by the Plan Commission unless all the following findings are made.

	STANDARD	NO	MEETS
a.	That the establishment, maintenance or operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort or general welfare.		YES NO
b.	That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.		YES NO
c.	That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.		YES NO
d.	That the exterior architectural appeal and functional plan of any proposed structure will not be so at variance with either the exterior architectural appeal and functional plan of the structures already constructed, or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.		YES NO

e.	That the adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.		YES	NO
f.	That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.		YES	NO
g.	That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Village Board, pursuant to the recommendations of the Plan Commission.		YES	NO

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MAYOR'S REPORT SEPTEMBER 20, 2021

1. **Cruisin' Frankfort Ends Season on September 27**

Cruisin' Frankfort will end its 2021 season on Monday, September 27, from 4:00 P.M. to 7:00 P.M. in downtown Frankfort.

2. **"Flights of Fancy" Art Exhibit at Frankfort Village Hall**

The Frankfort Arts Association will showcase artwork by local artists in its next exhibit "Flights of Fancy," which will run from October 1 through January 13, 2022, at the Frankfort Village Hall. Join the Frankfort Arts Association for an opening reception on Friday, October 1, 2021, from 6:00 P.M. to 8:00 P.M. Visit www.frankfortartsassociation.org for more information.

3. **Register Online for the Old Plank Road Trail 5K Run/Walk**

The annual Old Plank Road Trail 5K Run/Walk is scheduled for Saturday, October 2, at Breidert Green. Details and on-line registration are available on the Village website, www.frankfortil.org.

4. **Country Market Continues Through October 3**

The Frankfort Country Market continues every Sunday in downtown Frankfort, from 9:00 A.M. to 1:00 P.M. through October 3. Join the Frankfort Police Department for "Country Market with a Cop" on Sunday, September 26, from 10:00 A.M. to 11:30 A.M. This event is a family-friendly opportunity to meet members of the Police Department.

5. **Hydrant Flushing Continues Through November 2**

Fire hydrants throughout the Village are flushed each spring and fall. The 2021 fall hydrant flushing schedule is available online at www.frankfortil.org under Resident Services/Hydrant Flushing. Signs will be posted in the neighborhoods in advance.