

Preliminary Subdivision Application

Site Review

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)				
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development	<input type="checkbox"/> Conservation Development		
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag lot	<input type="checkbox"/> Frequent Transit Development Option		
<i>NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.</i>				
GENERAL INFORMATION				
Scoping/sketch plan case number(s):				
Development name (subject to approval):				
Property Address(es): 5317 FORESTVILLE RD, 5323 FORESTVILLE RD (RESIDENTIAL: 5321 FORESTVILLE RD), 5401 FORESTVILLE RD, 5417 FORESTVILLE RD, 5425 FORESTVILLE RD RALEIGH, NC 27604				
Recorded Deed PIN(s):				
Building type(s):	<input type="checkbox"/> Detached House	<input type="checkbox"/> Attached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building	<input type="checkbox"/> Civic Building	<input type="checkbox"/> Open Lot	<input type="checkbox"/> Tiny House

CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address:
Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names:	
Company:	Title:
Address:	
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE – ZONING INFORMATION			
Gross site acreage:			
Zoning districts (if more than one, provide acreage of each):			
Overlay district(s):	Inside City Limits?	Yes	No
Conditional Use District (CUD) Case # Z-	Board of Adjustment Case # BOA-	Historic District/Landmark: N/A	
		Design Alternate Case # DA-	

STORMWATER INFORMATION			
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____		Impervious Area for Compliance (includes right-of-way): Existing (sf) _____ Proposed total (sf) _____	
NUMBER OF LOTS AND DENSITY			
# of Detached House Lots:	# of Attached House Lots:	# of Townhouse Lots:	
# of Tiny House Lots:	# of Open Lots:	# of Other Lots (Apartment, General, Mixed Use, Civic):	
Total # of Lots:	Total # Dwelling Units:		
Proposed density for each zoning district (UDO 1.5.2.F):			

SIGNATURE BLOCK	
<p>Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.</p> <p>By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).</p> <p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.</p>	
Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

MAGNOLIA FOREST

PRELIMINARY SUBDIVISION PLAN

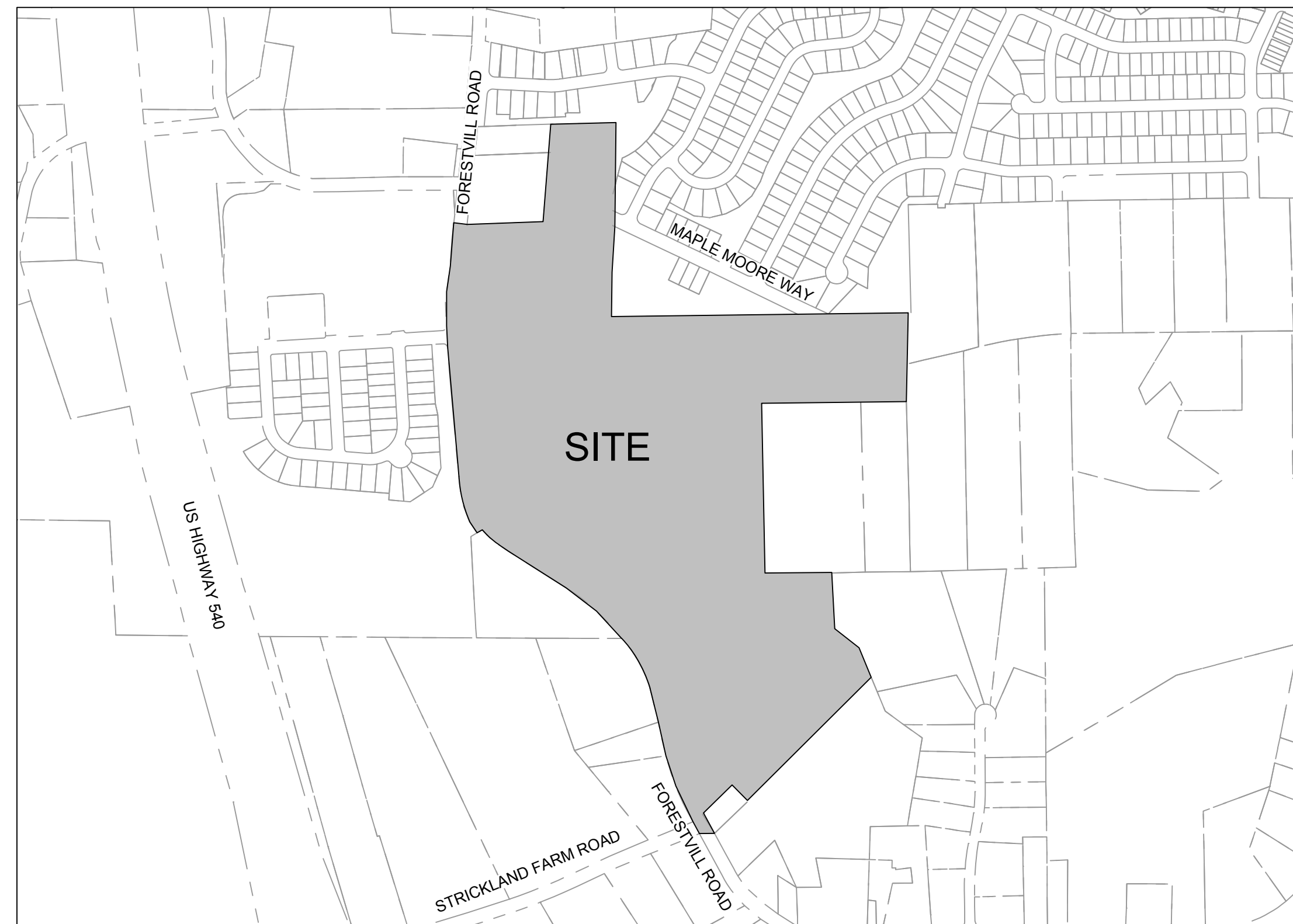
SKETCH PLAN CASE: SCOPE-0155-2021

SUBMITTAL DATE: MAY 23, 2023

CASE NUMBER: SUB-0092-2021

SITE DATA

PROJECT:	MAGNOLIA FOREST
ENGINEER:	TIMMONS GROUP 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: 919-624-4927 MIKE ZACCARDO, PE EMAIL: MIKE.ZACCARDO@TIMMONS.COM
DEVELOPER:	KB HOMES CAROLINAS DIVISION 4506 S. MIAMI BLVD. SUITE #100 DURHAM, NC 27703 THURM BOWEN PHONE: 919-768-7972
PROPERTY ADDRESS(ES):	5317 FORESTVILLE, RALEIGH, NC, 27604 5323 FORESTVILLE, RALEIGH, NC, 27604 5401 FORESTVILLE, RALEIGH, NC, 27604 5417 FORESTVILLE, RALEIGH, NC, 27604 5425 FORESTVILLE, RALEIGH, NC, 27604
PINS:	1745-39-6863, 1745-39-6763, 1745-38-8601, 1745-49-5347, 1745-48-3769
PROPOSED ZONING:	R-4, R-6-CU, CM
TOWNSHIP:	RALEIGH
PROPOSED USE:	RESIDENTIAL
TOTAL TRACT AREA:	68.96 ACRES



VICINITY MAP

SCALE 1"=500'
0 500' 1000'

SHEET LIST TABLE

Sheet Number	Sheet Title
C0.0	COVER
C1.0	OVERALL EXISTING CONDITIONS
C1.1	DETAILED EXISTING CONDITIONS
C1.2	DETAILED EXISTING CONDITIONS
C1.3	DETAILED EXISTING CONDITIONS
C2.0	OVERALL SITE PLAN
C2.01	SITE NOTES AND DETAILS
C2.1	DETAILED SITE PLAN
C2.2	DETAILED SITE PLAN
C2.3	DETAILED SITE PLAN
C2.10	OPEN SPACE PLAN
C2.11	TREE CONSERVATION AREA PLAN
C2.12	BLOCK PERIMETER PLAN
C2.13	EASEMENT PLAN
C2.14	PHASING AND ZONING PLAN
C2.15	SIGHT DISTANCE TRIANGLE PLAN
C3.0	OVERALL UTILITY PLAN
C3.1	DETAILED UTILITY PLAN
C3.2	DETAILED UTILITY PLAN
C3.3	DETAILED UTILITY PLAN
C4.0	OVERALL GRADING PLAN
C4.1	DETAILED GRADING PLAN
C4.2	DETAILED GRADING PLAN
C4.3	PIPE SPECIFICATION
C4.4	DETAILED GRADING PLAN - RETAINING WALLS
C4.5	DETAILED GRADING PLAN - RETAINING WALLS
C4.6	DETAILED GRADING PLAN - RETAINING WALLS
C8.0	OFFSITE ROADWAY IMPROVEMENT - FORESTVILLE ROAD (1 OF 3)
C8.1	OFFSITE ROADWAY IMPROVEMENT - FORESTVILLE ROAD (2 OF 3)
C8.2	OFFSITE ROADWAY IMPROVEMENT - FORESTVILLE ROAD (3 OF 3)
C8.10	FORESTVILLE ROAD CROSS SECTIONS (1 OF 5)
C8.11	FORESTVILLE ROAD CROSS SECTIONS (2 OF 5)
C8.12	FORESTVILLE ROAD CROSS SECTIONS (3 OF 5)
C8.13	FORESTVILLE ROAD CROSS SECTIONS (4 OF 5)
C8.14	FORESTVILLE ROAD CROSS SECTIONS (5 OF 5)
C9.0	OVERALL LANDSCAPING PLAN
C9.01	LANDSCAPING SCHEDULE AND DETAILS
C9.02	LANDSCAPING SCHEDULE AND DETAILS
C9.1	DETAILED LANDSCAPING PLAN
C9.2	DETAILED LANDSCAPING PLAN
C9.3	DETAILED LANDSCAPING PLAN
C9.10	LANDSCAPING BUFFER SCHEDULE
C9.11	LANDSCAPING BUFFER SCHEDULE
C9.12	LANDSCAPING BUFFER SCHEDULE
C9.13	LANDSCAPING BUFFER SCHEDULE
C9.14	LANDSCAPING BUFFER SCHEDULE
C10.0	PRELIMINARY LIGHTING PLAN

RETAINING WALL NOTES:

- ALL RETAINING WALLS TO BE DESIGNED AND PERMITTED WITH RAILING AND DRAINAGE REQUIREMENTS ASSESSED BY OTHERS.
- CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM THE TOWN.
- PRIOR TO CONSTRUCTION CONTRACTOR TO FIELD VERIFY BOTTOM OF WALL AND ALL OTHER ASSOCIATED ELEVATIONS.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE ENGINEER OF RECORD FOR COORDINATION PURPOSED WITH FIELD CONDITIONS. UNSEEN CONFLICTS AND ASSOCIATED DRAINAGE AS NEEDED.
- ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPARTMENT.
- TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

PROPERTY OWNERS: LAMONT M. & DOLORES W. INGE
2504 OLD MILBURNIE ROAD
RALEIGH, NC 27604

PINS: 1745-39-6863, 1745-39-6763, 1745-38-8601
1745-49-5347, 1745-48-3769
DB 002572, PG 00716
AREA: 65.8 AC

CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MATERIALS ORDERED PRIOR TO FINAL, APPROVED PLANS THAT ARE RELEASED FOR CONSTRUCTION, AND IS RESPONSIBLE FOR MAKING ALL ADJUSTMENTS TO THOSE MATERIALS TO MEET THE FINAL, APPROVED DESIGN, SUCH AS STRUCTURE HEIGHTS, ANGLES, PIPE MATERIALS, ETC., WITHOUT ADDITIONAL COST TO DEVELOPER OR ENGINEER.

GENERAL NOTES:

- FIELD TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP ON MARCH 24, 2022.
- THE CONTRACTOR SHALL CONTACT NC ONE CALL CENTER PRIOR TO ANY DIGGING.
- ALL PUBLIC WATER IMPROVEMENTS SHALL CONFORM TO ALL CITY OF RALEIGH, WAKE COUNTY PUBLIC UTILITIES DEPT. AND NCDEQ PWS STANDARDS AND SPECIFICATION. ALL SANITARY SEWER IMPROVEMENTS SHALL CONFORM TO ALL CITY OF RALEIGH, WAKE COUNTY PUBLIC UTILITIES DEPT. AND NCDEQ DWQ STANDARDS AND SPECIFICATION.
- THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICT BEFORE PERFORMING WORK IN THE AFFECTED AREA.
- THE CONTRACTOR IS RESPONSIBILITY FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE AND BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATION AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING, OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENT AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
- WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED IN THE AREA BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
- PIPE SPECIFICATION
 - WATER MAINS:
 - DUCTILE IRON
 - WATER SERVICE: SOFT COPPER TYPE 'K' 1" x 3/4" x 3/8", DIRECT TAPS 3/4" AND 1" DUCTILE IRON ALLOWED
 - SANITARY SEWER MAINS:
 - BURY DEPTHS 0'-10": SDR 35 PVC, C-900 DR 18 CLASS 235 PVC
 - BURY DEPTHS 12": DUCTILE IRON
 - SANITARY SEWER SERVICE:
 - WHEN TAPPING MAIN IS PVC: C900 OR SDR 35 PVC, SCH. 40. MIN 1/4" PER FOOT SLOPE.
 - WHEN TAPPING MAIN IS DUCTILE IRON: DUCTILE IRON WITH MIN. 1/4" PER FOOT SLOPE.
 - SERVICE RISERS PVC DOWN TO 15' THEN DUCTILE IRON
 - SANITARY SEWER MANHOLES:
 - DEPTHS 0' - 15': 4' DIAMETER
 - DEPTHS 15' - 20': 5' DIAMETER

Z-14-14 ZONING CONDITIONS:

- BUILDINGS CONSTRUCTED UPON THE PROPERTY SHALL NOT EXCEED 40' IN HEIGHT AND THREE STORIES. **COMPLIANCE RESPONSE: A NOTE REFERENCING THIS REQUIREMENT IS SHOWN UNDER "BUILDING NOTES" ON SHEET C2.0.**
- IN THE EVENT THE PROPERTY OR ANY PORTION THEREOF IS DEVELOPED PURSUANT TO ARTICLE 2.4 (CONSERVATION DEVELOPMENT OPTION), NO MORE THAN 300 RESIDENTIAL DWELLING UNITS SHALL BE PERMITTED ON THE PROPERTY. IN THE EVENT THAT THE PROPERTY OR ANY PORTION THEREOF IS DEVELOPED PURSUANT TO CONSERVATION DEVELOPMENT OPTION, APPLICANT SHALL SUBMIT A TRAFFIC IMPACT ANALYSIS, TRAFFIC STUDY, OR TRAFFIC LETTER REPORT SATISFACTORY IN FORM TO THE PUBLIC WORKS DIRECTOR, OR HIS OR HER DESIGNEE. **COMPLIANCE RESPONSE: A TIA HAS BEEN PROVIDED.**
- WITHIN (30) DAYS FOLLOWING THE APPROVAL OF THE FORM AND SUBSTANCE OF THE RESTRICTIVE COVENANT HERINAFTER MENTIONED BY THE CITY ATTORNEY OR HIS OR HER DEPUTY, THE OWNER OF THE PROPERTY SHALL CAUSE TO BE RECORDED IN THE WAKE COUNTY REGISTRY A RESTRICTIVE COVENANT THAT SHALL ALLOCATE THE ALLOWABLE DEVELOPMENT UPON THE PROPERTY AS PROVIDED IN FOREGOING ZONING CONDITION 2 AMONG ALL EXISTING LOTS COMPRISING THE PROPERTY. SUCH RESTRICTIVE COVENANT SHALL BE SUBMITTED TO THE CITY ATTORNEY WITHIN THIRTY (30) DAYS FOLLOWING APPROVAL OF THIS REZONING CASE BY THE CITY COUNCIL AND SHALL BE APPROVED BY THE CITY ATTORNEY OR HIS OR HER DEPUTY PRIOR TO RECDATION. THE RESTRICTIVE COVENANT AND THE ALLOCATION OF DEVELOPMENT SET FORTH THEREIN MAY BE AMENDED FROM TIME TO TIME FOLLOWING RECDATION. ANY SUCH AMENDMENT SHALL REQUIRE THE WRITTEN CONCURRENCE OF THE CITY ATTORNEY OR HIS OR HER DEPUTY AND THE OWNERS OF ALL PORTIONS OF THE PROPERTY AFFECTED BY THE AMENDMENT AND SHALL BE AT THE SOLE DISCRETION OF SUCH OWNER(S). FOLLOWING RECDATION, A COPY OF EACH AMENDMENT SHALL BE MAILED TO THE PLANNING DIRECTOR AT P.O. BOX 590, RALEIGH, NC 27602 WITH A REFERENCE TO ZONING CASE Z-14-14. **COMPLIANCE RESPONSE: ACKNOWLEDGED.**
- THE ONLY BUILDING TYPES PERMITTED SOUTH OF THE CONSERVATION MANAGEMENT ZONED PORTION OF THE PROPERTY SHALL BE DETACHED HOUSES, CIVIC BUILDINGS AND OPEN LOT. **COMPLIANCE RESPONSE: A NOTE REFERENCING THIS REQUIREMENT IS SHOWN UNDER "BUILDING NOTES" ON SHEET C2.0.**
- UNLESS A MORE STRINGENT BUFFER IS REQUIRED BY THE UDO, A NATURAL PROTECTIVE YARD FORTY (40) FEET IN WIDTH SHALL BE ESTABLISHED, RUNNING PARALLEL TO ADJOINING PROPERTY LINE WITH THE PROPERTY HAVING WAKE COUNTY PIN: 1745583136, NOW OR FORMERLY THE "COX PROPERTY" DESCRIBED IN DEED BOOK 8944, PAGE 1932, WAKE COUNTY REGISTRY. THIS NATURAL PROTECTIVE YARD SHALL BE RECORDED ON APPROVED SUBDIVISION PLAT PRIOR TO THE APPROVAL OF ANY SITE REVIEW. **COMPLIANCE RESPONSE: THE 40' NATURAL PROTECTIVE YARD IS SHOWN AND LABELED ON SHEET C2.0 NEAR LOT #29.**
- A MINIMUM SIX AND ONE-HALF FOOT (6 1/2) HIGH CLOSED WOODEN FENCE SHALL BE INSTALLED AND MAINTAINED ALONG THE WESTERN SIDE OF THE NATURAL PROTECTIVE YARD ESTABLISHED IN ZONING CONDITION 5 ABOVE. HOWEVER, NOTHING IN THIS ZONING CONDITION 5 SHALL REQUIRE INSTALLATION AND MAINTENANCE OF A FENCE WITHIN ANY REQUIRED RIPARIAN BUFFER, NATURAL PROTECTIVE YARD, TREE CONSERVATION AREA, OR OTHER ARE PROHIBITED BY THE UDO. THE FENCE DESCRIBED HEREIN SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT ON THE PROPERTY. **COMPLIANCE RESPONSE: THE 6.5' FENCE IS SHOWN AND LABELED ON SHEET C2.0 NEAR LOT #29. A DETAIL FOR THE FENCE IS LOCATED ON SHEET C2.0.**

Preliminary Subdivision Application

Site Review
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-986-2500



INSTRUCTIONS: This form is used when submitting a Preliminary Subdivision (UDO Section 10.2.5). Please check the appropriate review type and include the plan checklist document. Please email all documents and your preliminary subdivision plans to SiteReview@raleighnc.gov.

DEVELOPMENT OPTIONS (UDO Chapter 2)	
<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development <input checked="" type="checkbox"/> Conservation Development
<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Flag Lot <input type="checkbox"/> Frequent Transit Development Option
NOTE: Subdivisions may require City Council approval if located in a Historic Overlay District.	
GENERAL INFORMATION	
Scoping/sketch plan case number(s): SCOPE-0155-2021	
Development name (subject to approval): MAGNOLIA FOREST	
Property Address(es): 5317 FORESTVILLE RD, 5323 FORESTVILLE RD (RESIDENTIAL: 5321 FORESTVILLE RD), 5401 FORESTVILLE RD, 5417 FORESTVILLE RD, 5425 FORESTVILLE RD RALEIGH, NC 27604	
Recorded Deed PIN(s): 1745-39-6863, 1745-39-6763, 1745-38-8601, 1745-49-5347, 1745-48-3769	
Building type(s):	
<input checked="" type="checkbox"/> Detached House	<input type="checkbox"/> Attached House <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment
<input type="checkbox"/> General Building	<input type="checkbox"/> Mixed Use Building <input type="checkbox"/> Civic Building <input type="checkbox"/> Open Lot <input type="checkbox"/> Tiny House
CURRENT PROPERTY OWNER/APPLICANT/DEVELOPER INFORMATION	
Current Property Owner(s) Names: LAMONT M. & DOLORES W. INGE	
Company:	Title:
Address: 2504 Old Milburnie Rd, Raleigh, NC 27604	
Phone #:	Email:
Applicant Name (if different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: KB HOMES RALEIGH	Address: 4506 S. MIAMI BLVD. SUITE #100, DURHAM, NC 27704
Phone #: 919-422-8606	Email: RS.JOHNSON@KBHOMES.COM
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact Names: R. SCOTT JOHNSON	
Company: KB HOMES RALEIGH	Title: SR. DIRECTOR OF DEVELOPMENT
Address: 4506 S. MIAMI BLVD. SUITE #100, DURHAM, NC 27703	
Phone #: 919-422-8606	Email: RS.JOHNSON@KBHOMES.COM

Page 1 of 2

REVISION 04.17.23
raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE - ZONING INFORMATION	
Gross site acreage: 65.8 AC	
Zoning districts (if more than one, provide acreage of each): R-4: 23.67 ac R-6-CU: 37.21 ac CM: 4.92 ac	
Overlay district(s):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Historic District/Landmark: N/A
Conditional Use District (CUD) Board of Adjustment Case #	Design Alternate Case #
Case # Z- 014-14-ORD	BOA- DA-

STORMWATER INFORMATION		
Imperious Area on Parcel(s): Existing (sf) 6,000 Proposed total (sf) 481,774	Imperious Area for Compliance (Includes right-of-way): Existing (sf) 0 Proposed total (sf) 474,826	
NUMBER OF LOTS AND DENSITY		
# of Detached House Lots: 152	# of Attached House Lots:	# of Townhouse Lots:
# of Tiny House Lots:	# of Open Lots: 10	# of Other Lots (Apartment, General, Mixed Use, Civic):
Total # of Lots: 162	Total # Dwelling Units: 152	
Proposed density for each zoning district (UDO 1.5.2.F): R-4: 3.22 DU/A & R-6-CU: 1.35 DU/A		

SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.	
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application fails to hold on at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature:	Date: 07/12/2023
Printed Name: R. Scott Johnson, Sr. Director of Development - kb Home	
Signature:	Date:
Printed Name:	

Page 2 of 2

REVISION 04.17.23
raleighnc.gov

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919-686-4951 FAX 919-933-8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023	
	DRAWN BY 331
	DESIGNED BY 331
	CHECKED BY M. ZACCARDO
	SCALE N/A

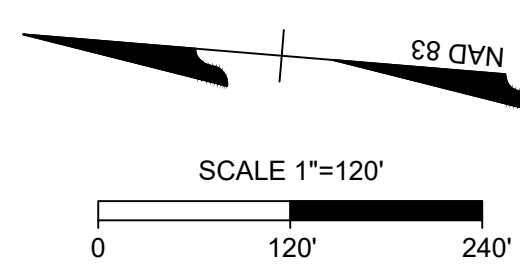
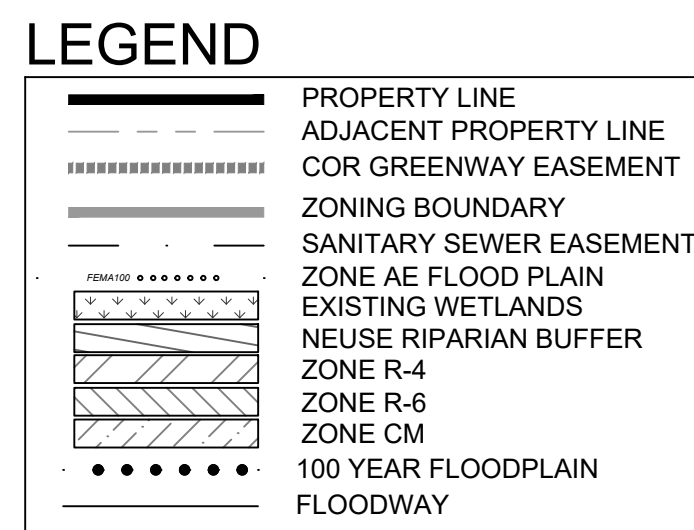
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
COVER

JOB NO.
48212
SHEET NO.
C0.0



LINE TABLE

LINE	BEARING	LENGTH
L1	N18°18'49"W	97.09
L2	N14°18'49"W	98.60
L3	N16°46'49"W	103.67
L4	N28°58'49"W	105.17
L5	N38°29'49"W	103.61
L6	N40°44'49"W	101.97
L7	N44°00'49"W	102.85
L8	N51°37'49"W	103.46
L9	N57°11'49"W	101.52
L10	N56°10'49"W	97.75
L11	N48°52'49"W	99.06
L12	N42°03'15"W	19.65
L13	N29°53'25"W	49.04
L14	N23°23'04"W	46.73
L15	N11°29'56"W	59.09
L16	N06°11'41"W	59.17
L17	N04°55'11"W	54.57
L18	N01°28'38"W	57.58
L19	N00°59'46"E	20.58
L20	N00°07'48"E	105.05
L21	N03°48'58"E	120.60
L22	N05°06'48"E	60.42
L23	N88°17'55"E	133.36
L25	N64°48'47"W	157.88



GENERAL CONTRACTOR

PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD SURVEY SHALL VERIFY LOCATION, DEPTH, SIZE, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES. IN CASE OF CONFLICT OR IF DIFFERENT THAN PLAN, NOTIFY ENGINEER.

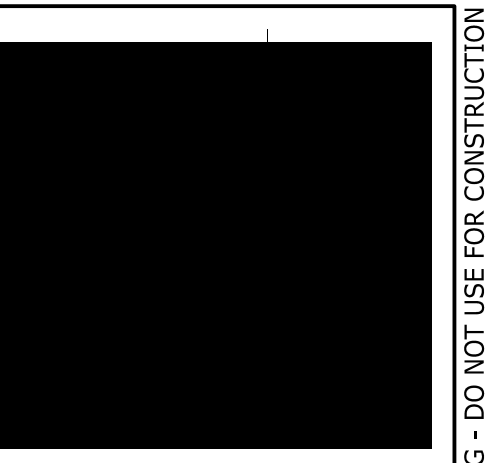
DEMOLITION KEYNOTES

NUMBER	DESCRIPTION
1	EXISTING FEATURE TO REMAIN.
2	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
3	RELOCATE AND MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
4	EXISTING WETLAND TO BE REMOVED ONLY AFTER IMPACT IS FULLY PERMITTED



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 120'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

OVERALL EXISTING CONDITIONS

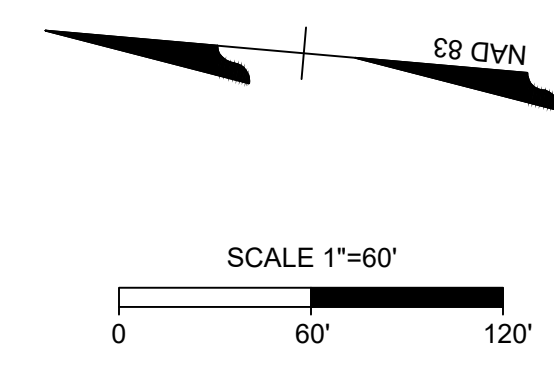
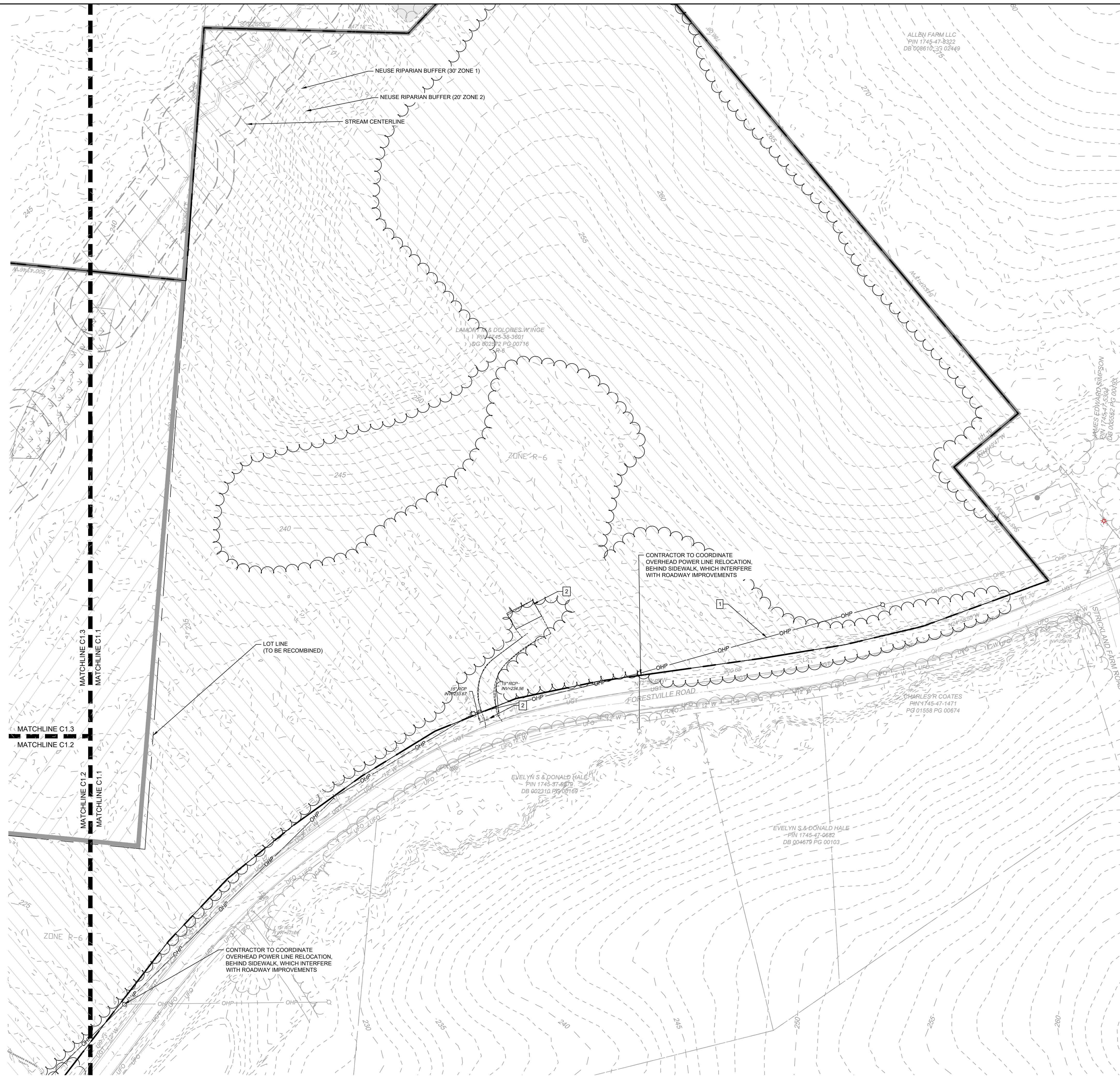
JOB NO.
48212

SHEET NO.
C1.0

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

S:\331\48212\img_Timed\DWG\Sheet\FSP\48212-C1.0-EXIS.dwg | Plotted on 5/23/2023 10:02 AM | By Gibson Blierette



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- COR GREENWAY EASEMENT
- ZONING BOUNDARY
- SANITARY SEWER EASEMENT
- ZONE AE FLOOD PLAIN
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ZONE R-4
- ZONE R-6
- ZONE CM
- 100 YEAR FLOODPLAIN
- FLOODWAY

DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
1	EXISTING FEATURE TO REMAIN.
2	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
3	RELOCATE AND MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
4	EXISTING WETLAND TO BE REMOVED ONLY AFTER IMPACT IS FULLY PERMITTED



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

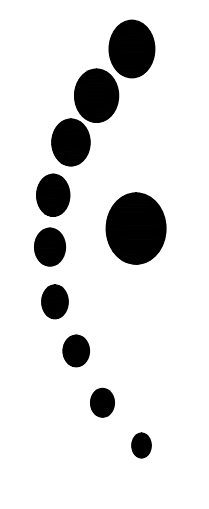
DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 60'

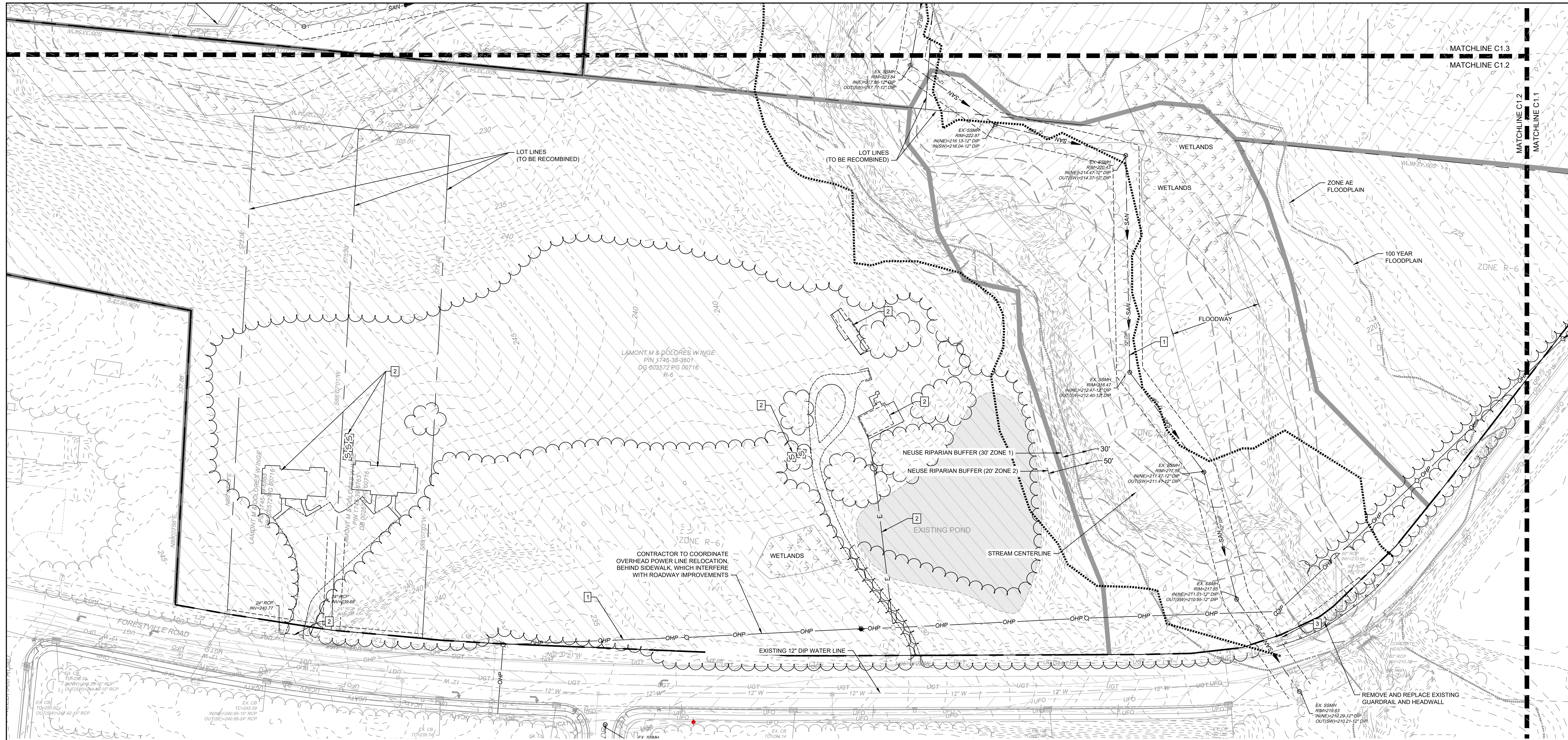


TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED EXISTING CONDITIONS

JOB NO.
48212

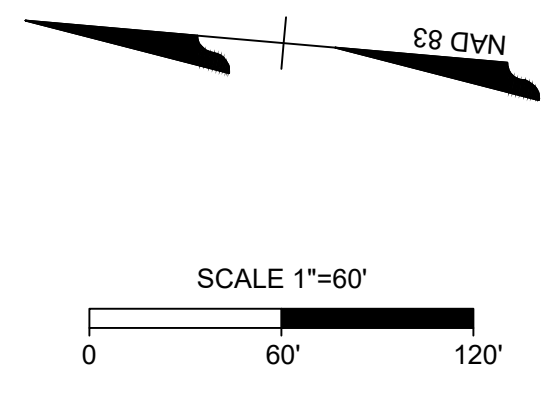
SHEET NO.
C1.1



CONTRACTOR TO COORDINATE OVERHEAD POWER LINE RELOCATION, BEHIND SIDEWALK, WHICH INTERFERE WITH ROADWAY IMPROVEMENTS

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- - - COR GREENWAY EASEMENT
- ZONING BOUNDARY
- SANITARY SEWER EASEMENT
- ZONE AE FLOOD PLAIN
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- ZONE R-4
- ZONE R-6
- ZONE CM
- 100 YEAR FLOODPLAIN
- FLOODWAY



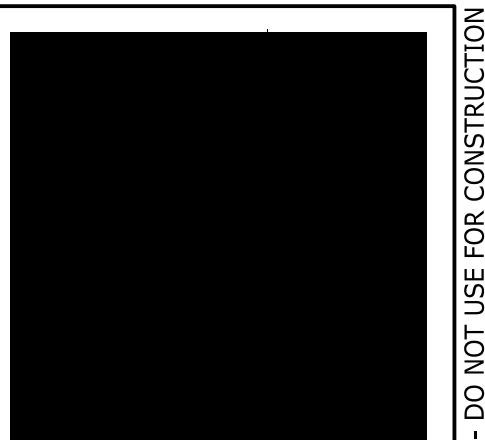
DEMOLITION KEYNOTES

NUMBER	DESCRIPTION
1	EXISTING FEATURE TO REMAIN
2	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
3	RELOCATE AND MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
4	EXISTING WETLAND TO BE REMOVED ONLY AFTER IMPACT IS FULLY PERMITTED



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023 <td></td>	

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 60'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

DETAILED EXISTING CONDITIONS

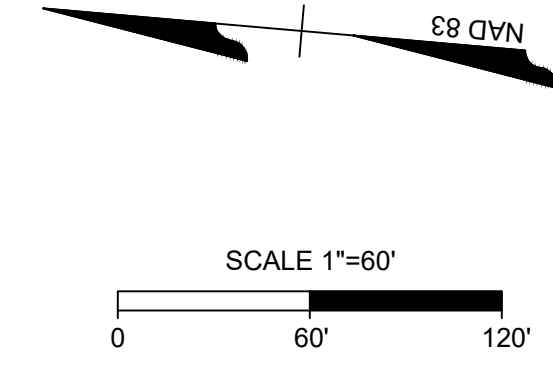
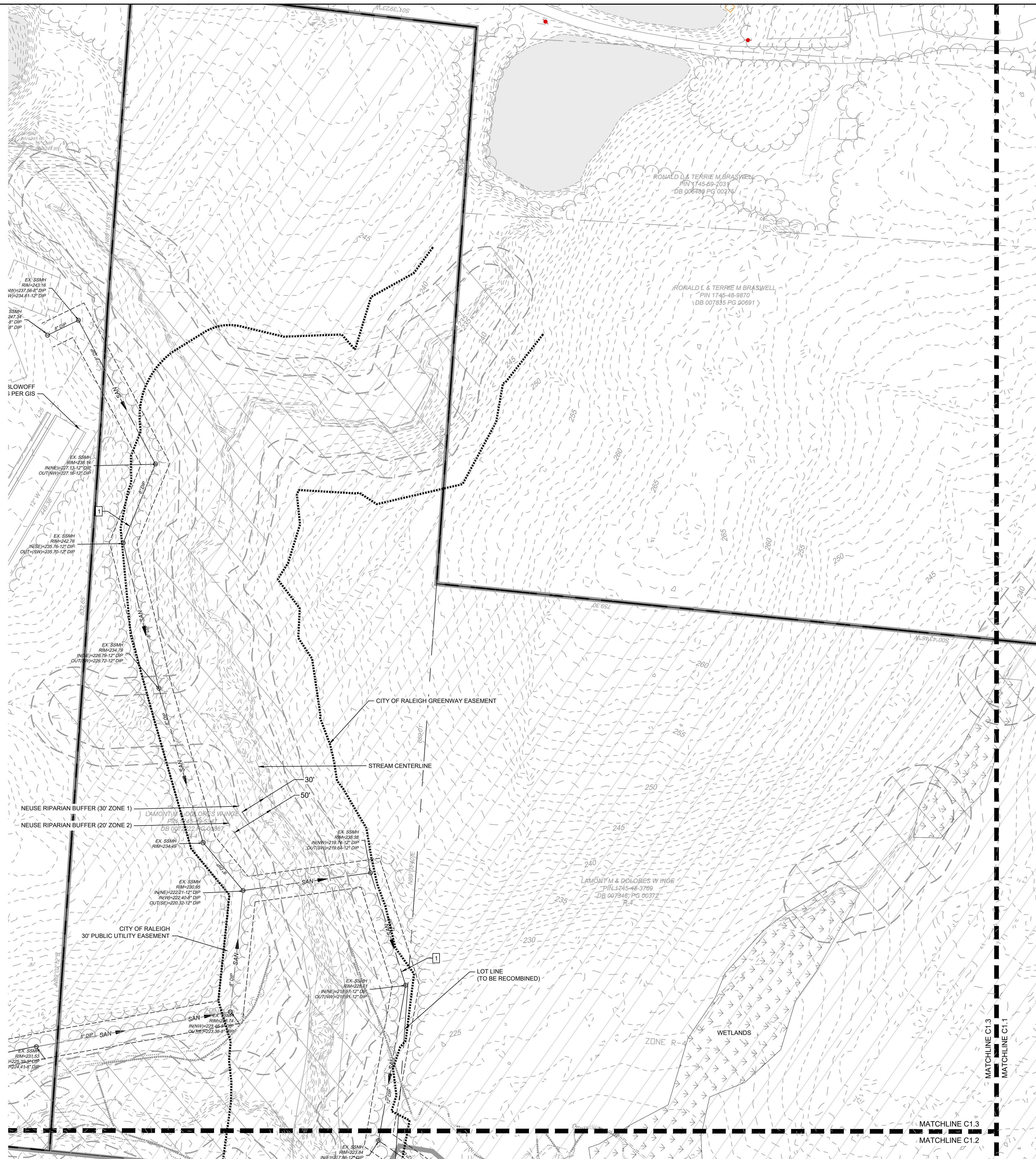
JOB NO.	48212
SHEET NO.	C1.2

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

S:\331\48212\12\img_Timed\DWG\Sheet\FSP\48212-C1.2-EXIS.dwg | Plotted on 5/23/2023 10:02 AM | by Gibson Blakenie

S:\31148212\img_Timed\DWG\Sheet\SP48212-C1.1-D-EXIS.dwg [Plotted on 5/23/2023 10:02 AM] by Gibson, Blakelee



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	COR GREENWAY EASEMENT
	ZONING BOUNDARY
	SANITARY SEWER EASEMENT
	ZONE AE FLOOD PLAIN
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	ZONE R-4
	ZONE R-6
	ZONE CM
	100 YEAR FLOODPLAIN
	FLOODWAY

DEMOLITION KEYNOTES

NUMBER	DESCRIPTION
1	EXISTING FEATURE TO REMAIN.
2	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
3	RELOCATE AND MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
4	EXISTING WETLAND TO BE REMOVED ONLY AFTER IMPACT IS FULLY PERMITTED



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023
DRAWN BY
331
DESIGNED BY
331
CHECKED BY
M. ZACCARDO
SCALE
1" = 60'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED EXISTING CONDITIONS

JOB NO.
48212
SHEET NO.
C1.3

REVISION DESCRIPTION

DATE

DRAWN BY

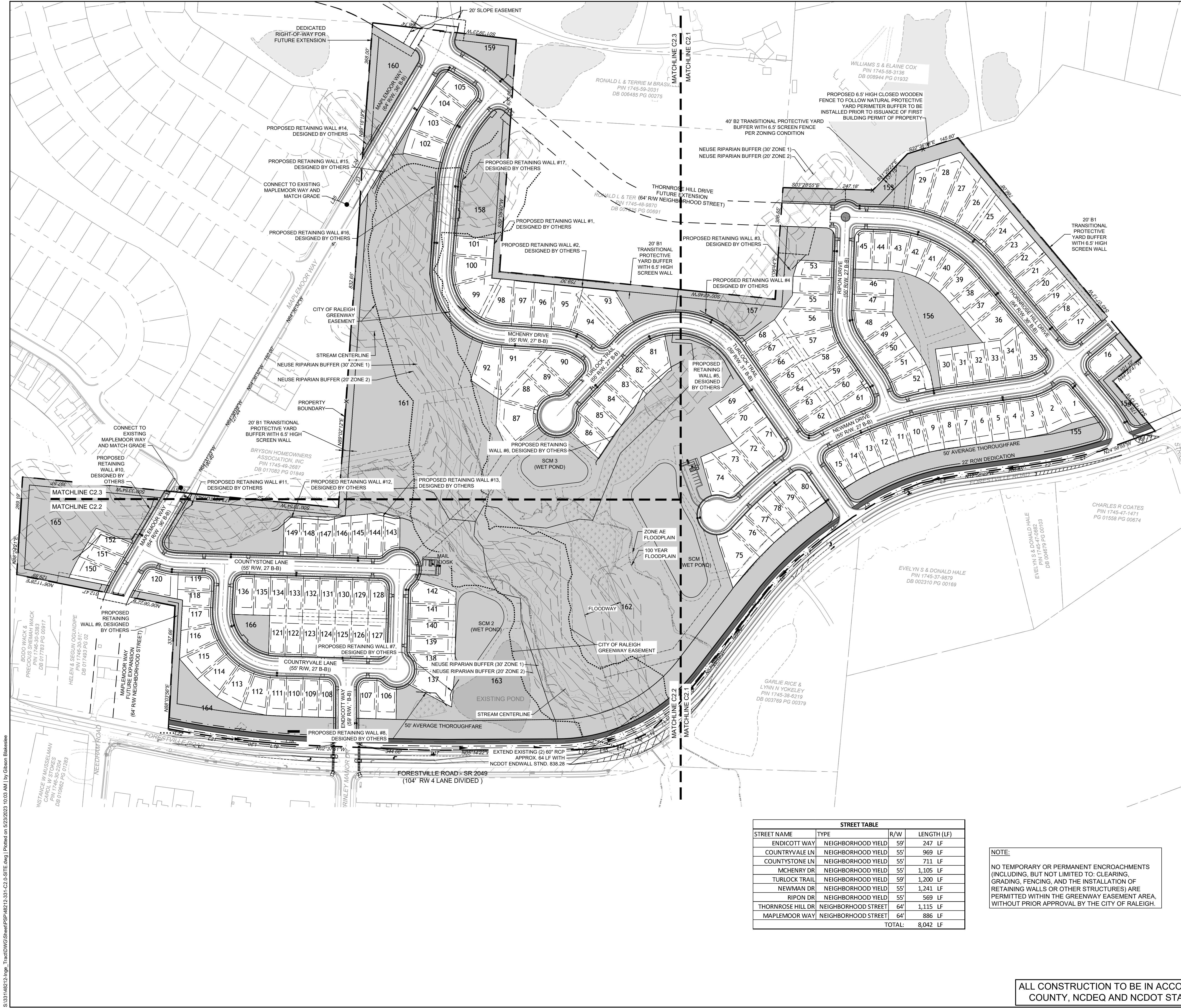
DESIGNED BY

CHECKED BY

SCALE

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



SITE DATA TABLE	
PROJECT NAME:	MAGNOLIA FOREST
PROPERTY ADDRESS(ES):	5317 FORESTVILLE ROAD, RALEIGH, NC 27604 5323 FORESTVILLE ROAD, RALEIGH, NC 27604 5401 FORESTVILLE ROAD, RALEIGH, NC 27604 5417 FORESTVILLE ROAD, RALEIGH, NC 27604 5425 FORESTVILLE ROAD, RALEIGH, NC 27604
PROPERTY OWNER:	INGE, LAMONT M INGE, DOLORES W 2504 OLD MILBURNIE RD RALEIGH NC 27604-9539
APPLICANT:	K.B. HOME CAROLINAS MIKE ZACCARDO, PE SUITE #100 DURHAM, NC 27703
ENGINEER:	TIMMONS GROUP MIKE ZACCARDO, PE 5410 TRINITY ROAD, SUITE 102 RALEIGH, NC 27607 PHONE: (919) 532-3281
PIN(S):	1745-38-8601, 1745-49-5347, 1745-48-3769, 1745-39-6863, 1745-39-6763
REID(S):	0002825, 0044781, 0037092, 0252745, 0252746
DEED REFERENCE:	DB, 2572 PG. 716
TOWNSHIP:	ST. MATTHEW'S
FIRM MAP:	#3720174500J EFFECTIVE 05/02/2006
EXISTING ZONING:	R-4, R-6-CU & CM
TOTAL PROPOSED LOTS:	152 SINGLE FAMILY
R-4 SETBACKS:	FRONT: 10' REAR: 20' SIDE: 5' SUM OF SIDE: 15' CORNER: 10'
R-6 SETBACKS:	FRONT: 10' REAR: 20' SIDE: 5' SUM OF SIDE: 10' CORNER: 10'

- BUILDING NOTES:**
- BUILDINGS CONSTRUCTED UPON THE PROPERTY SHALL NOT EXCEED 40' IN HEIGHT AND THREE STORIES.
 - THE ONLY BUILDING TYPES PERMITTED SOUTH OF THE CONSERVATION MANAGEMENT ZONED PORTION OF THE PROPERTY SHALL BE DETACHED HOUSES, CIVIC BUILDINGS AND OPEN LOT.

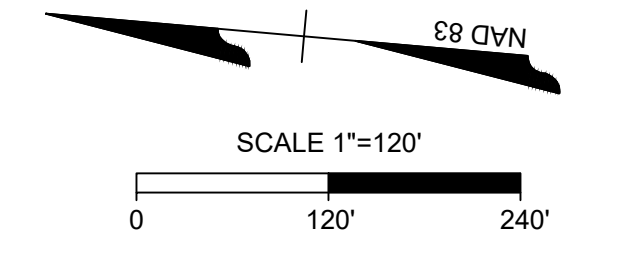
LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	OPEN COMMUNITY/HOA AREA

STREET TABLE

STREET NAME	TYPE	R/W	LENGTH (LF)
ENDICOTT WAY	NEIGHBORHOOD YIELD	59'	247 LF
COUNTRYVALE LN	NEIGHBORHOOD YIELD	55'	969 LF
COUNTYSTONE LN	NEIGHBORHOOD YIELD	55'	711 LF
MCHENRY DR	NEIGHBORHOOD YIELD	55'	1,105 LF
TURLOCK TRAIL	NEIGHBORHOOD YIELD	59'	1,200 LF
NEWMAN DR	NEIGHBORHOOD YIELD	55'	1,241 LF
RIPON DR	NEIGHBORHOOD YIELD	55'	569 LF
THORNROSE HILL DR	NEIGHBORHOOD STREET	64'	1,115 LF
MAPLEMOOR WAY	NEIGHBORHOOD STREET	64'	886 LF
TOTAL:			8,042 LF

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NC DEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

PRELIMINARY
NOT FOR
CONSTRUCTION

YOUR VISION ACHIEVED THROUGH OURS.	DATE	05/23/2023
	DRAWN BY	331
REVISION DESCRIPTION	DESIGNED BY	331
	CHECKED BY	M. ZACCARDO
DATE	SCALE	1" = 120'
	DATE	05/23/2023

TIMMONS GROUP

MAGNOLIA FOREST
NORTH CAROLINA LICENSE NO. C-1652
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
OVERALL SITE PLAN

JOB NO.	48212
SHEET NO.	C2.0

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.893.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE	DESCRIPTION

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACCARDO

SCALE

AS SHOWN

JOB NO.

48212

SHEET NO.

C2.01

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

TIMMONS GROUP

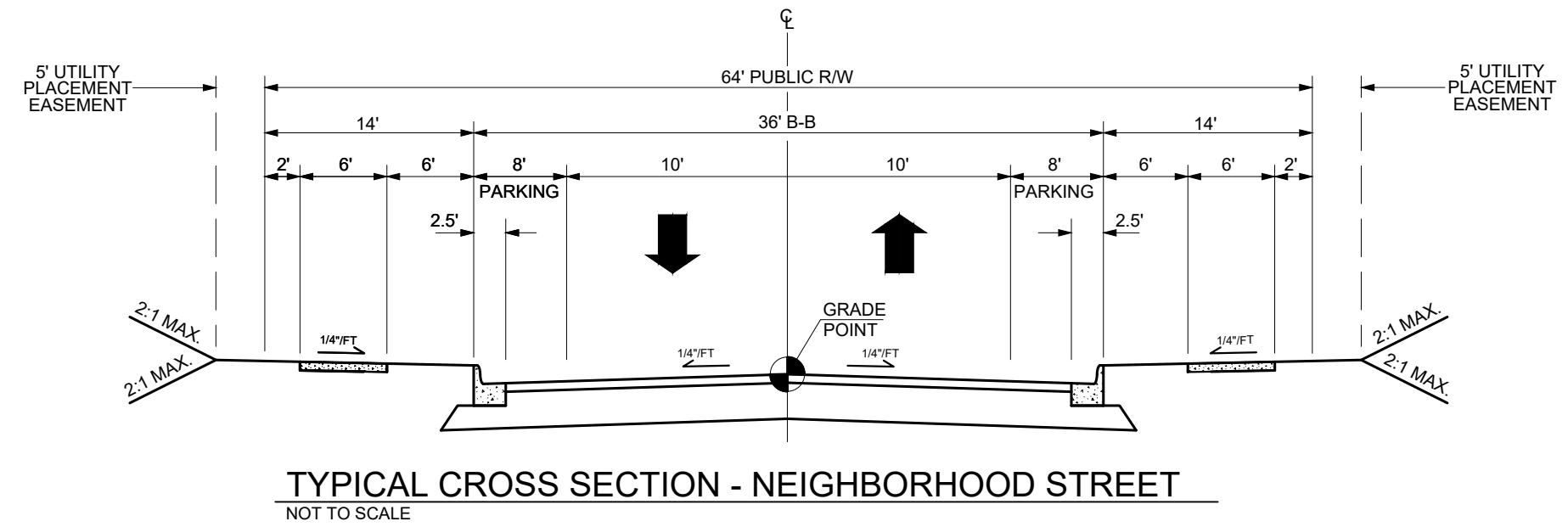
NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST

5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

SITE NOTES AND DETAILS

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

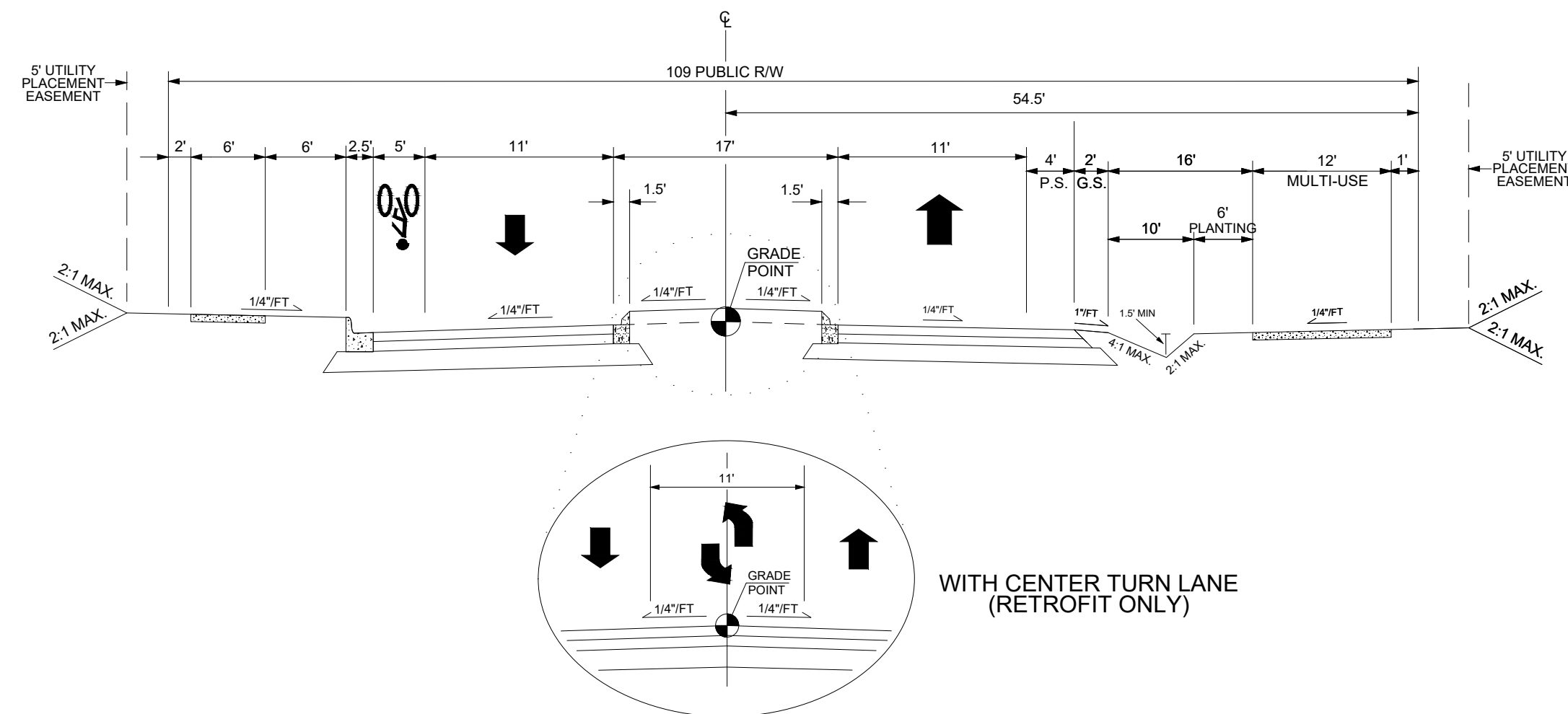


TYPICAL CROSS SECTION - NEIGHBORHOOD STREET

NOT TO SCALE

GENERAL	
WALKWAY TYPE	SIDEWALK BOTH SIDES
PLANTING TYPE	TREE/LAWN
TREE SPACING	40' O.C. AVG
PARKING TYPE	PARALLEL ON 2 SIDES

PAVEMENT DESIGN	
3"	SF9.5A
8"	ABC



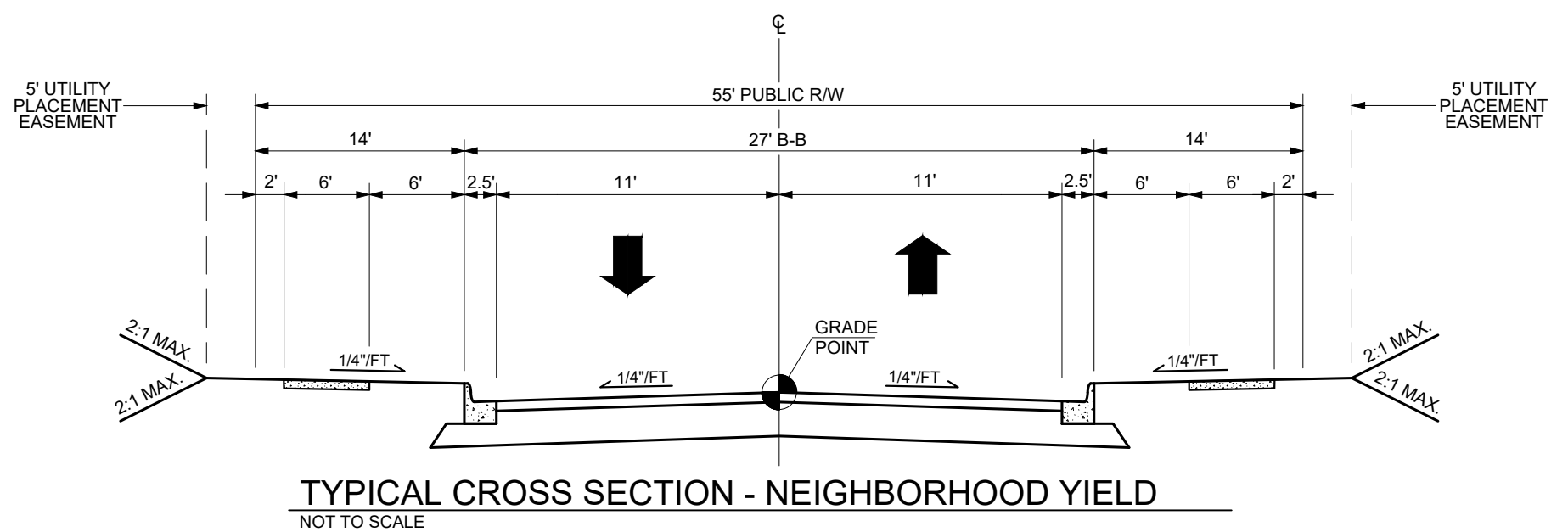
TYPICAL CROSS SECTION - AVENUE 4 - LANE DIVIDED - DEVELOPMENT ALTERNATIVE

NOT TO SCALE
PER CITY OF RALEIGH UDO SEC. 8.5.6.B

GENERAL	
WALKWAY TYPE	SIDEWALK
PLANTING TYPE	TREE/LAWN
* TREE SPACING	40' O.C. AVG
PARKING TYPE	NONE

PAVEMENT DESIGN	
3"	S9.5B
3"	I19.0B
8"	ABC

* STREETScape TREE PLANTING TO MEET PER CITY OF RALEIGH UDO SECTION 8.4.D



TYPICAL CROSS SECTION - NEIGHBORHOOD YIELD

NOT TO SCALE

GENERAL	
WALKWAY TYPE	SIDEWALK
PLANTING TYPE	TREE/LAWN
TREE SPACING	40' O.C. AVG
PARKING TYPE	PARALLEL STAGGERED

PAVEMENT DESIGN	
3"	SF9.5A
8"	ABC



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.933.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACKARDO

SCALE

1" = 60'

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACKARDO

SCALE

1" = 60'

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACKARDO

SCALE

1" = 60'

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACKARDO

SCALE

1" = 60'

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACKARDO

SCALE

1" = 60'

DATE

05/23/2023

TIMMONS GROUP

MAGNOLIA FOREST
NORTH CAROLINA LICENSE NO. C-1652

5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

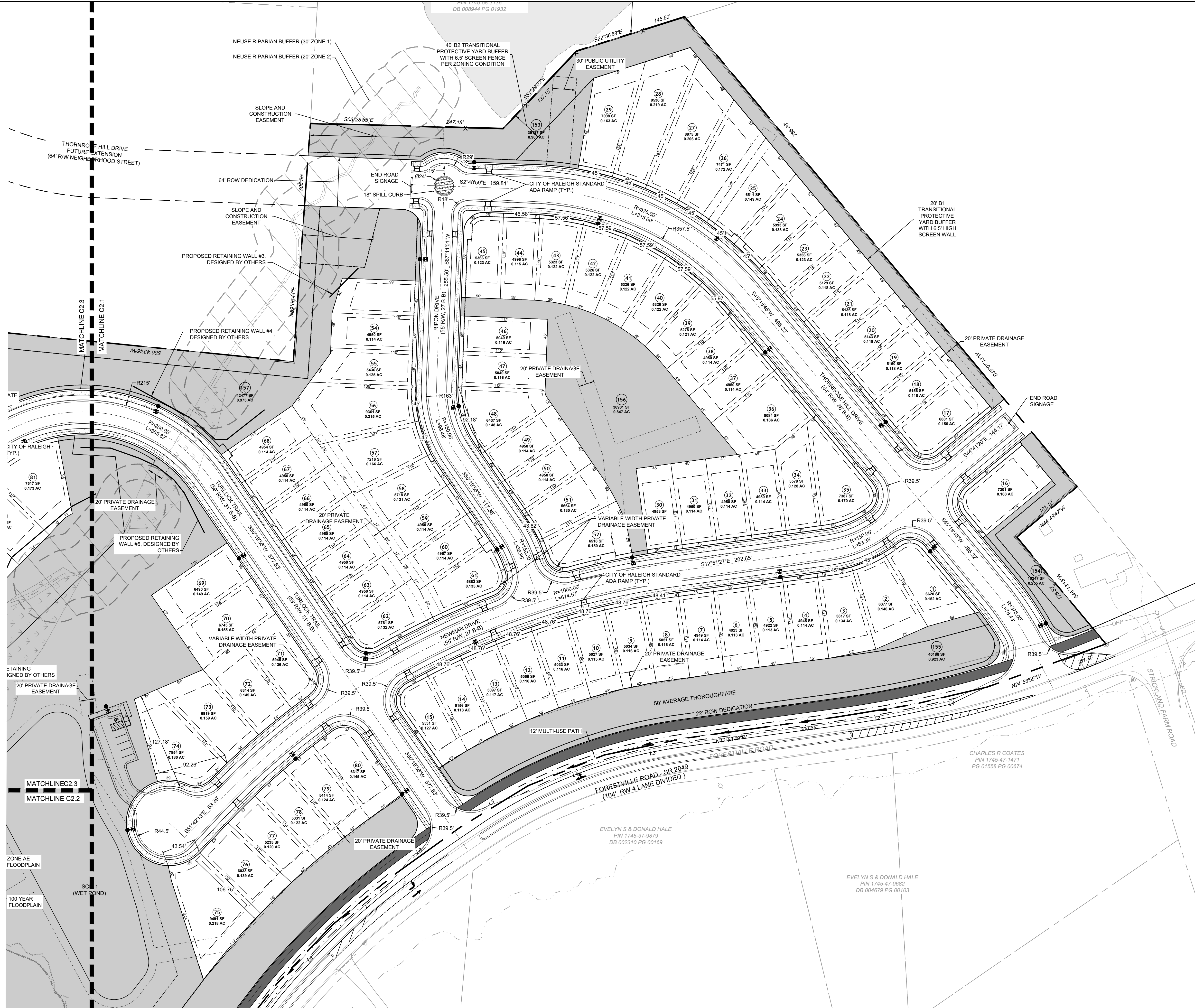
DETAILED SITE PLAN

JOB NO.
48212

SHEET NO.
C2.1

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

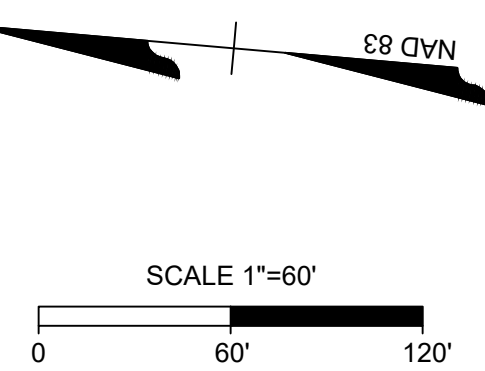
PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	EXISTING WETLANDS
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	OPEN COMMUNITY/HOA AREA

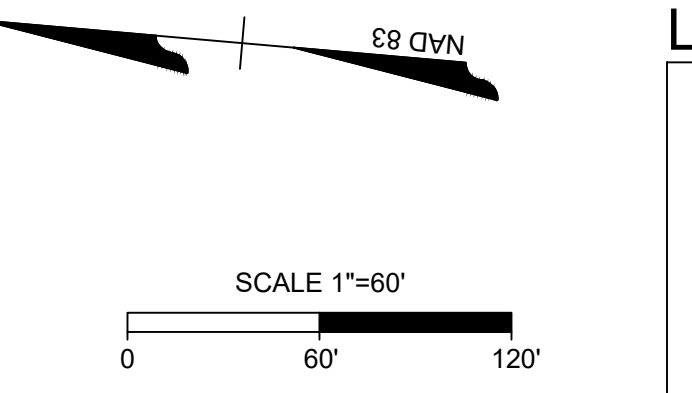
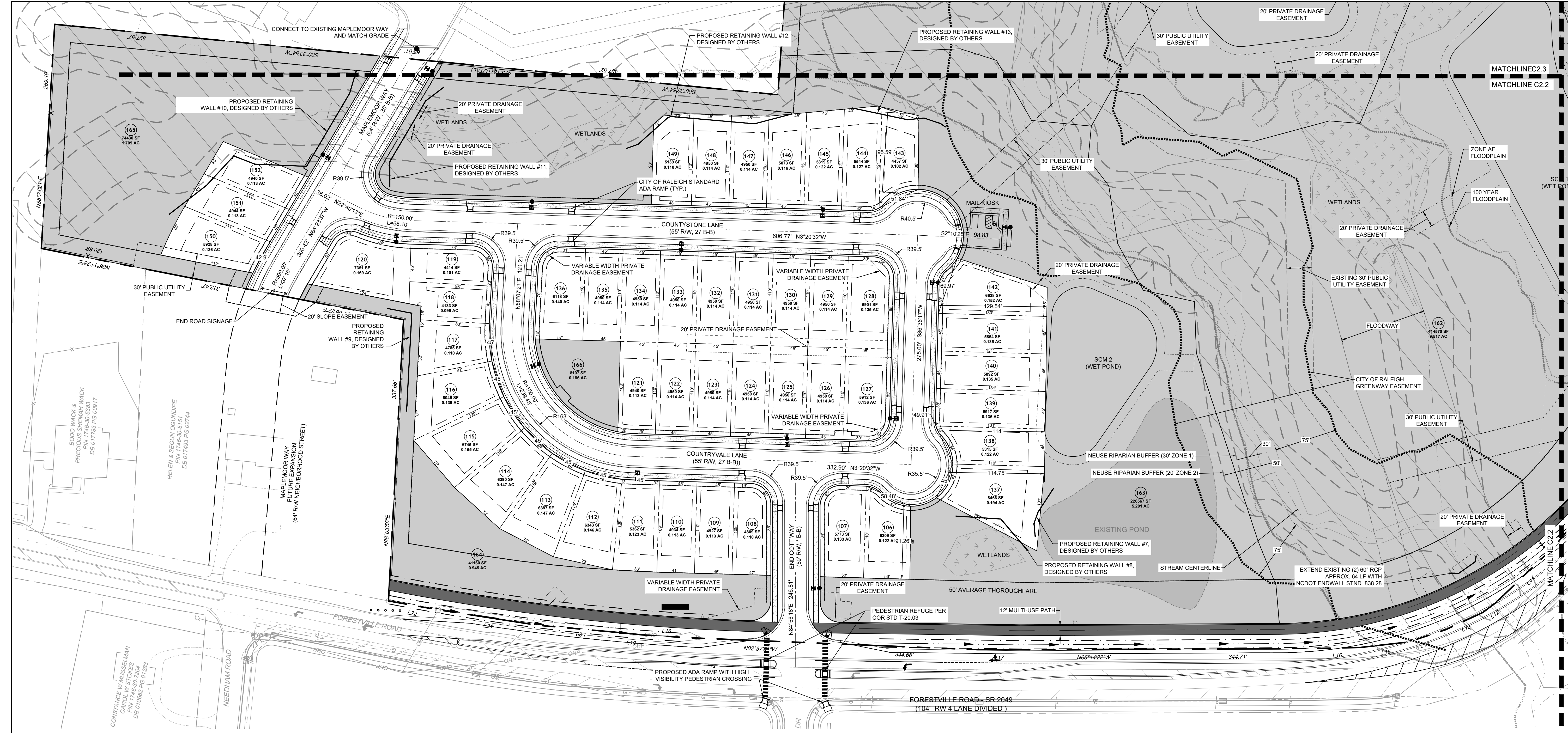


KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

S:\331\48212\12.dwg - Title\DWG\Sheet\SP48212-C2.1-D-SITE.dwg | Printed on: 5/23/2023 10:03 AM | by Gibson, Blakelee

**PRELIMINARY
NOT FOR
CONSTRUCTION**



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- COR GREENWAY EASEMENT
- DRAINAGE EASEMENT
- FENCE LINE
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- 100 YEAR FLOODPLAIN
- ZONE AE FLOODPLAIN
- FLOODWAY
- OPEN COMMUNITY/HOA AREA

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED SITE PLAN

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	05/23/2023

DATE: 05/23/2023
DRAWN BY: 331
DESIGNED BY: 331
CHECKED BY: M. ZACCARDO
SCALE: 1" = 60'

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

JOB NO.
48212
SHEET NO.
C2.2

**PRELIMINARY
NOT FOR
CONSTRUCTION**

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102, Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION	DATE

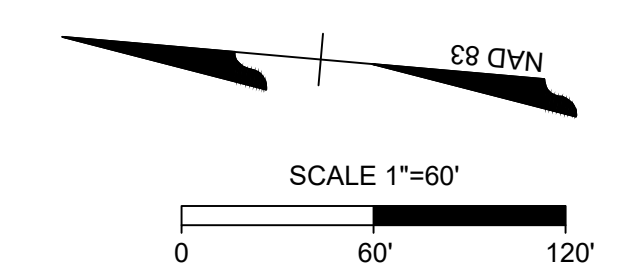
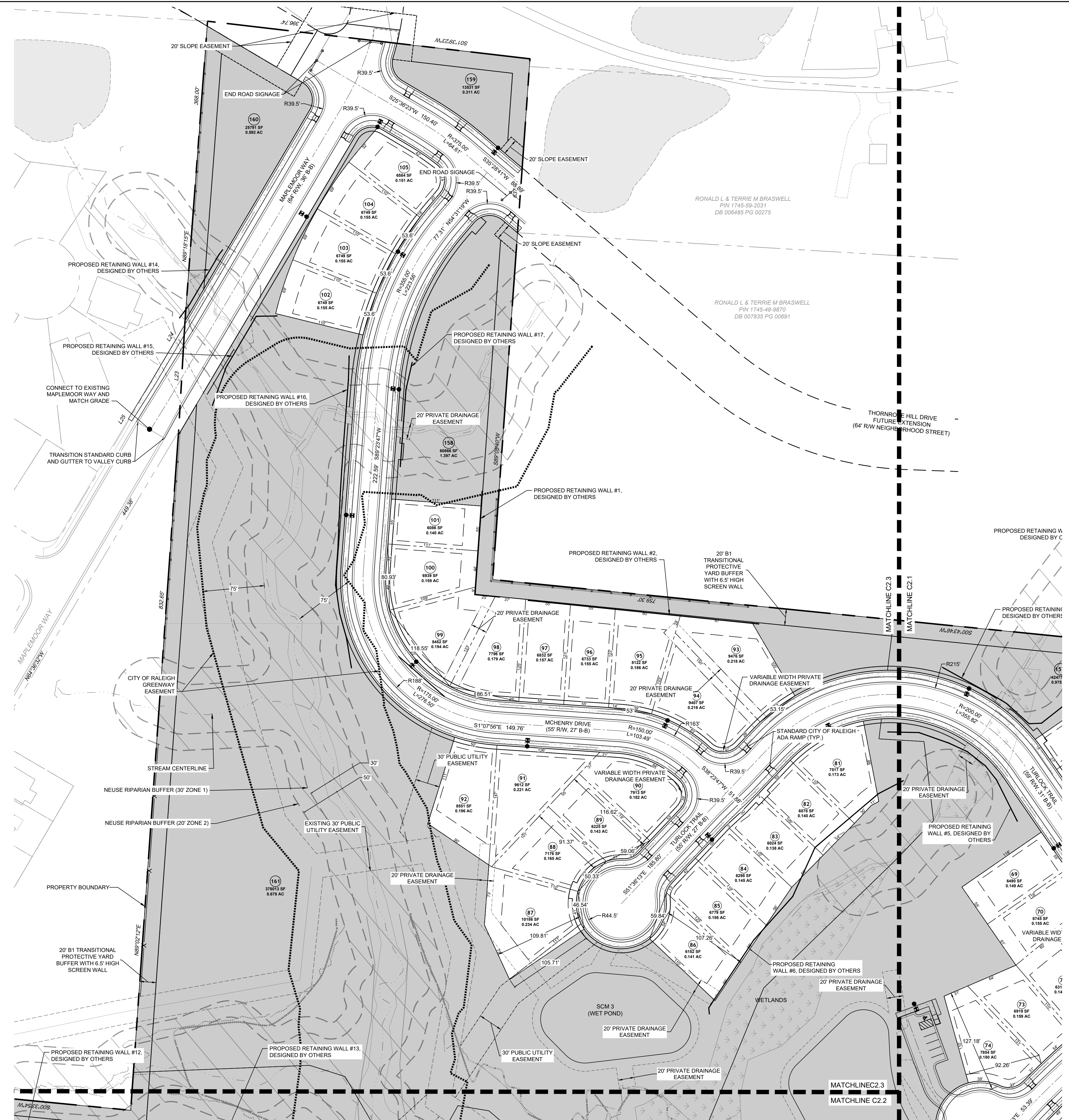
YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023
DRAWN BY
331
DESIGNED BY
331
CHECKED BY
M. ZACCARDO
SCALE
1" = 60'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED SITE PLAN

JOB NO.
48212
SHEET NO.
C2.3

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- COB GREENWAY EASEMENT
- DRAINAGE EASEMENT
- FENCE LINE
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- 100 YEAR FLOODPLAIN
- ZONE AE FLOODPLAIN
- FLOODWAY
- OPEN COMMUNITY/HOA AREA

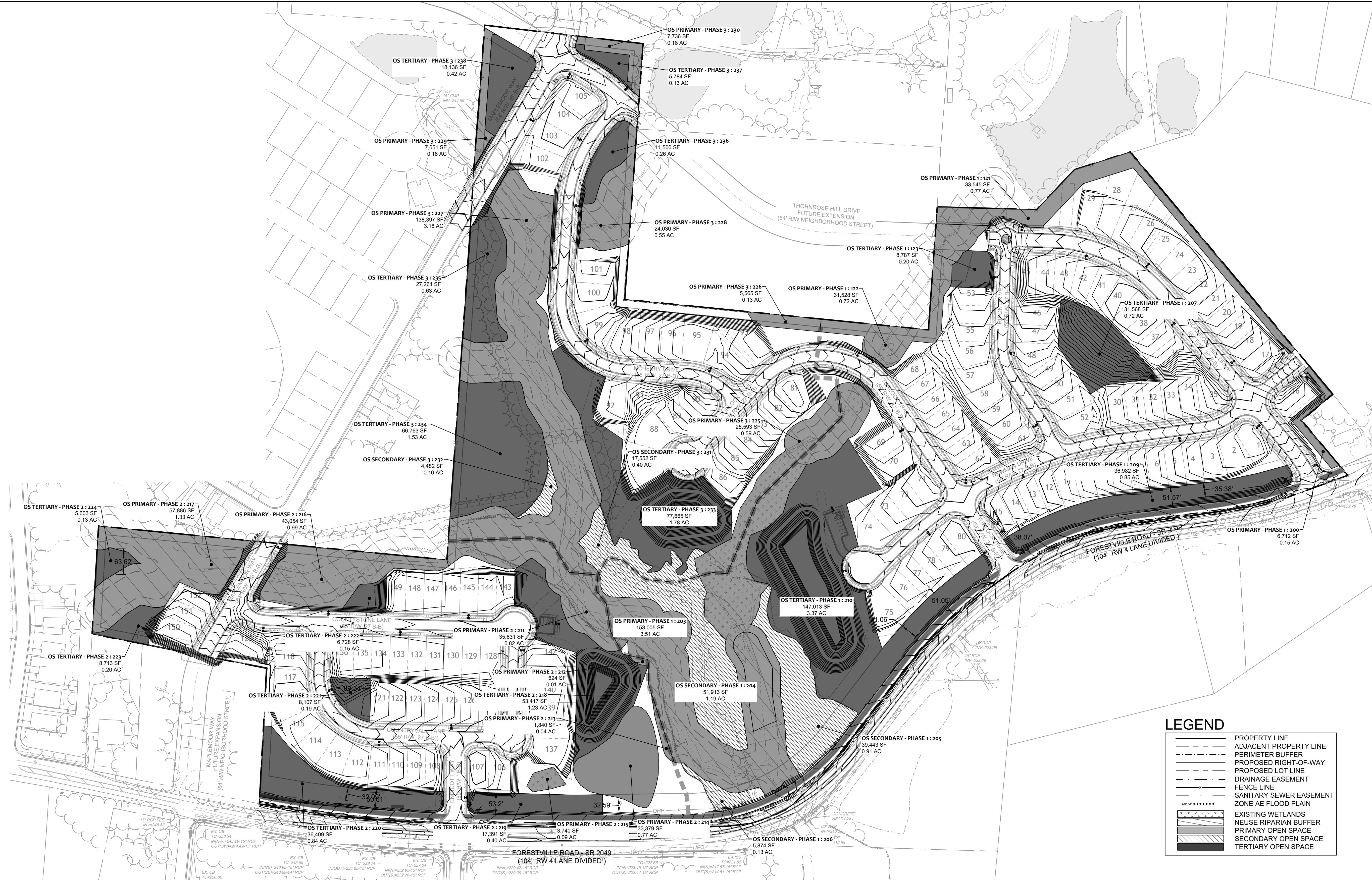
NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



**KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

S:\331\48212\12\img_Timed\DWG\Sheet\PS\48212-331-C2-3-SITE.dwg [Printed on 5/23/2023 10:04 AM] by Gibson.Blanckley

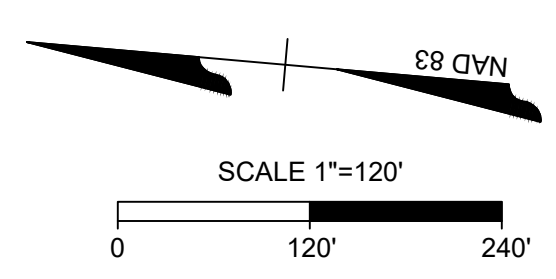


Minimum Open Space Required	40%
Minimum Contiguous Area Required	60% of Total OS
Minimum % of lots Abutting OS	40%
Maximum % SCM Area Contributing	25%

Phase 1			Phase 2			Phase 3		
Primary OS	222,770 SF	5.11 AC	Primary OS	176,153 SF	4.04 AC	Primary OS	208,973 SF	4.80 AC
Secondary OS	97,229 SF	2.23 AC	Secondary OS	- SF	0.00 AC	Secondary OS	22,033 SF	0.51 AC
Tertiary OS	220,841 SF	5.07 AC	Tertiary OS	136,367 SF	3.13 AC	Tertiary OS	207,110 SF	4.75 AC
Total Required	379,950 SF	8.72 AC	Total Required	257,006 SF	5.90 AC	Total Required	280,827 SF	6.45 AC
Total Phase OS	540,840 SF	12.42 AC	Total Phase OS	312,520 SF	7.17 AC	Total Phase OS	438,117 SF	10.06 AC
Net Phase Area	949,874 SF	21.81 AC	Net Phase Area	642,515 SF	14.75 AC	Net Phase Area	702,068 SF	16.12 AC
OS Percentage 57%			OS Percentage 49%			OS Percentage 62%		
Contiguous Area	397,248 SF	9.12 AC	Contiguous Area	190,235 SF	4.37 AC	Contiguous Area	357,715 SF	8.21 AC
% Total 73%			% Total 61%			% Total 82%		
Lots Abutting	Percentage	70%	Lots Abutting	Percentage	61%	Lots Abutting	Percentage	45%
	Proposed	55		Proposed	28		Proposed	10
	Required	32		Required	18		Required	9
Total		79	Total		46	Total		22
SCM Size	36,776 SF	0.84 AC	SCM Size	16,924 SF	0.39 AC	SCM Size	14,895 SF	0.34 AC
% Total Area 7%			% Total Area 5%			% Total Area 3%		

- OPEN SPACE REQUIREMENTS:**
- PRIMARY OPEN SPACE
 - FLOODWAY AREAS
 - NATURAL RESOURCE BUFFERS REQUIRED ALONG PRIMARY AND SECONDARY WATERCOURSES
 - SLOPES ABOVE 25% AT LEAST 5,000 CONTIGUOUS AREA
 - JURISDICTIONAL WETLANDS UNDER FEDERAL LAW THAT MEET THE DEFINITION APPLIED BY THE ARMY CORPS OF ENGINEERS
 - TRANSITIONAL PROTECTIVE YARDS
 - SECONDARY OPEN SPACE
 - FLOOD FRINGE AREAS
 - TERTIARY OPEN SPACE
 - HISTORIC, ARCHEOLOGICAL AND CULTURAL SITES, CEMETERIES AND BURIAL GROUNDS
 - SIGNIFICANT NATURAL FEATURES AND SCENIC VIEWSHEDS SUCH AS RIDGE LINES, FIELD BORDERS, MEADOWS, FIELDS, RIVER VIEWS, NATURAL WOODLANDS THAT CAN BE SEEN FROM ROADWAYS AND SERVE TO BLOCK THE VIEW OF THE PROJECT IN WHOLE OR IN PART
 - HABITAT FOR FEDERALLY-LISTED ENDANGERED OR THREATENED SPECIES
 - INDIVIDUAL EXISTING HEALTHY TREES GREATER THAN 10 INCHES DBH AND THEIR CRITICAL ROOT ZONES
 - AREAS THAT CONNECT TO NEIGHBORING OPEN SPACE, TRAILS OR GREENWAYS
 - SOILS WITH SEVERE LIMITATIONS DUE TO DRAINAGE PROBLEMS
 - TREE CONSERVATION AREAS

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 120'

TIMMONS GROUP

MAGNOLIA FOREST
NORTH CAROLINA LICENSE NO. C-1652
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

OPEN SPACE PLAN

JOB NO.
48212

SHEET NO.
C2.10

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

CHECKED BY
M. ZACCARDO

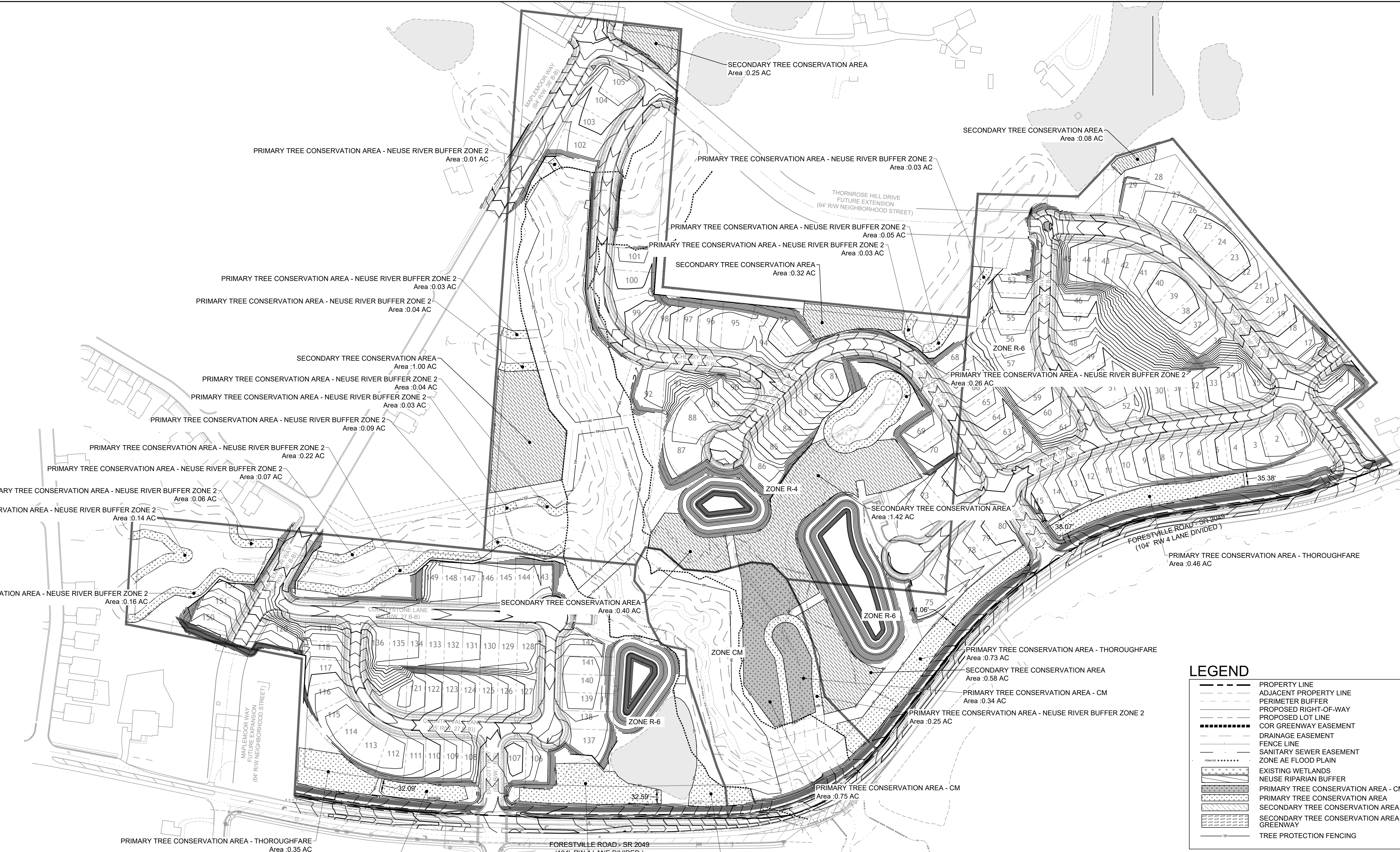
SCALE
1" = 120'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
TREE CONSERVATION AREA PLAN

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- - - PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- COR GREENWAY EASEMENT
- DRAINAGE EASEMENT
- FENCE LINE
- SANITARY SEWER EASEMENT
- ZONE AE FLOOD PLAIN
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER
- PRIMARY TREE CONSERVATION AREA - CM
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA - GREENWAY
- TREE PROTECTION FENCING

Tree Conservation Area Table

Primary Tree Conservation Area - Thoroughfare	106,736 SF	2.45 AC
Primary Tree Conservation Area - CM	47,533 SF	1.09 AC
Primary Tree Conservation Area - Neuse River Buffer Zone 2	65,673 SF	1.51 AC
Secondary Tree Conservation Area	176,700 SF	4.06 AC
Greenway TCA		
Tree Conservation Area - Greenway	292,389 SF	6.71 AC
Watercourse Length	61,628 SF	1.41 AC
Greenway TCA Reduction (Watercourse Length x 25)	1,540,700 SF	35.12 AC
Tree Conservation Area - Greenway With Reduction	230,761 SF	5.30 AC
Total Tree Conservation Area	627,403 SF	14.40 AC
Total Net Site Acreage	56.03 AC	
Total TCA Percentage	26%	

NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

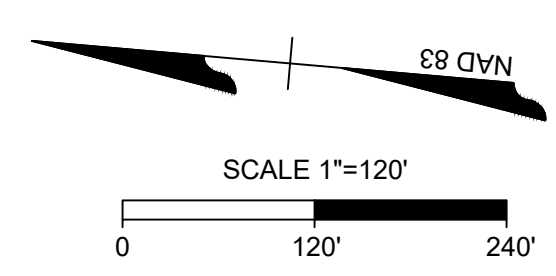
Tree Conservation Area - Thoroughfare Calculations

Total Thoroughfare Length	3,031 LF
Thoroughfare Reductions	
5' R/W	59 LF
Existing Pond	124 LF
Greenway Easement	292 LF
5' R/W	59 LF
No Existing Tree Cover	397 LF
Adjusted Thoroughfare Length	2,100 LF
Total Required TCA Thoroughfare (Adjusted length x 50)	105,000 SF
Total Proposed TCA Thoroughfare	106,736 SF

Tree Conservation Area - CM Table

Total CM Area	213,168 SF	4.89 AC
Primary Tree Conservation Area - CM	47,533 SF	1.09 AC
Tree Conservation Area - Greenway	96,083 SF	2.21 AC
Primary Tree Conservation Area - Thoroughfare	6,155 SF	0.14 AC
Primary Tree Conservation Area - Neuse River Buffer Zone 2	10,351 SF	0.24 AC
Total TCA CM	160,122 SF	3.68 AC
Primary Tree Conservation Area - CM Required		30%
Primary Tree Conservation Area - CM Provided		75%

Greenway TCA Reduction defined by UDO Sec 91.4.D
 2.A: City of Raleigh greenways may be included as tree conservation areas, provided that an area of 25 feet multiplied by the length of the greenway is excluded as tree conservation for trail construction.

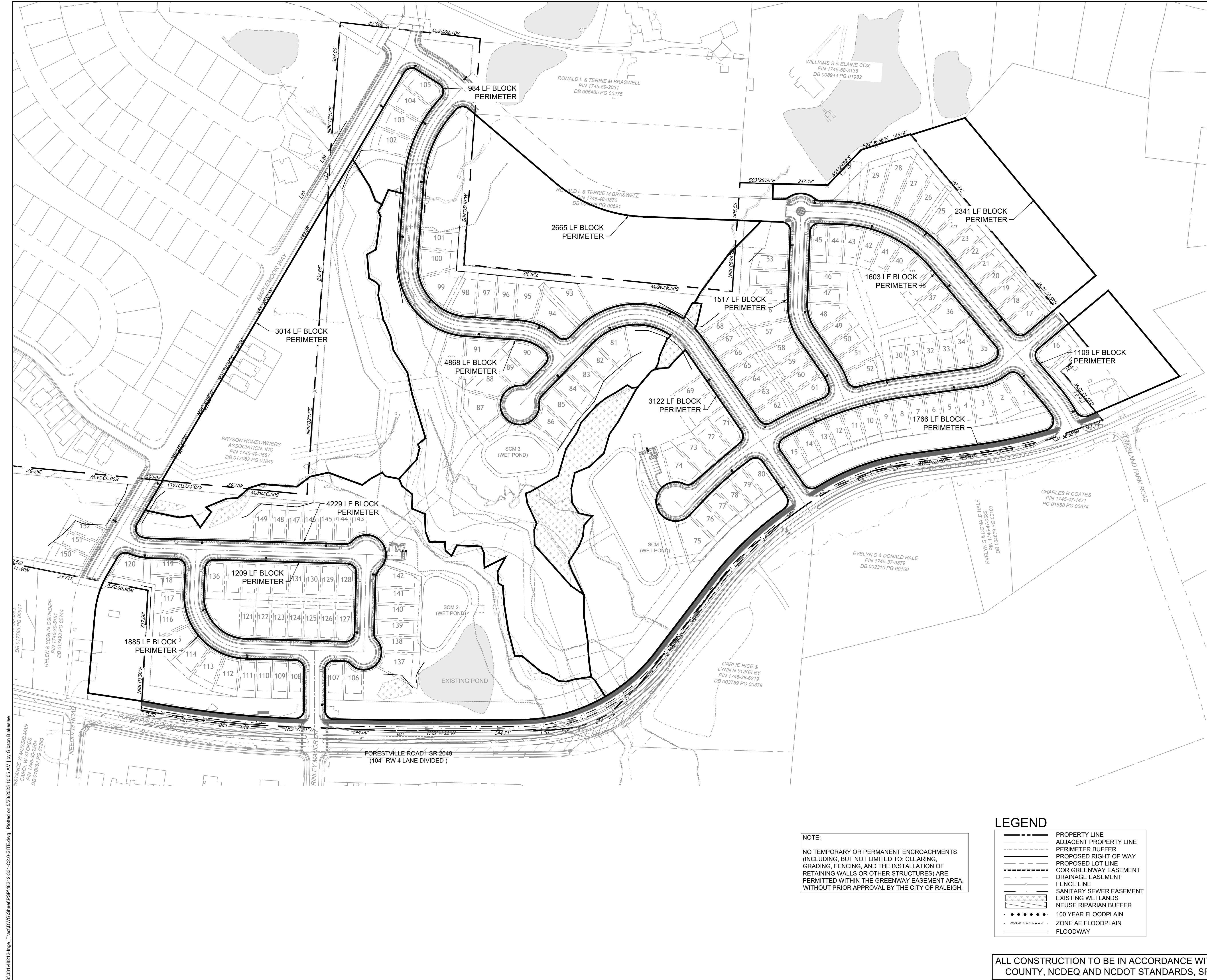


**KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

S:\31148212\img_Timed\DWG\Sheet\SP48212-331-C21-X-COPEL.dwg | Printed on 6/23/2023 10:04 AM | by Gibson Blake/ale

JOB NO.
48212
 SHEET NO.
C2.11



S:\331\48212\12\img_TimedDWG\Sheet\FSP48212-331-C2-10 SITE.dwg | Printed on 5/23/2023 10:05 AM | by Gibson Bikesetter

INSTANCE: WALKER, LAMANN
PIN: 1745-38-204
DB: 011882 PG: 01283

HELENA S. BEGUN OGRUNDIE
PIN: 1745-49-2687
DB: 011883 PG: 02714

BRYSON HOMEOWNERS ASSOCIATION, INC.
PIN: 1745-49-2687
DB: 0117082 PG: 01849

RONALD L. & TERRIE M. BRASWELL
PIN: 1745-59-2031
DB: 008483 PG: 00275

WILLIAMS S. & ELAINE COX
PIN: 1745-58-3136
DB: 008944 PG: 01932

RONALD L. & TERRIE M. BRASWELL
PIN: 1745-48-9870
DB: 008483 PG: 00891

CHARLES R. COATES
PIN: 1745-47-1471
PG: 01558 PG: 00874

EVELYN S. & DONALD HALE
PIN: 1745-37-9879
DB: 002310 PG: 00169

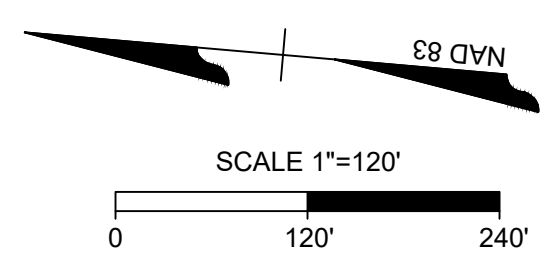
EVELYN S. & DONALD HALE
PIN: 1745-47-0882
DB: 004879 PG: 00103

GARLIE RICE & LYNN N. YOKEY
PIN: 1745-38-6219
DB: 003769 PG: 00379

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.	REVISION DESCRIPTION

DATE	05/23/2023
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	M. ZACCARDO
SCALE	1" = 120'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

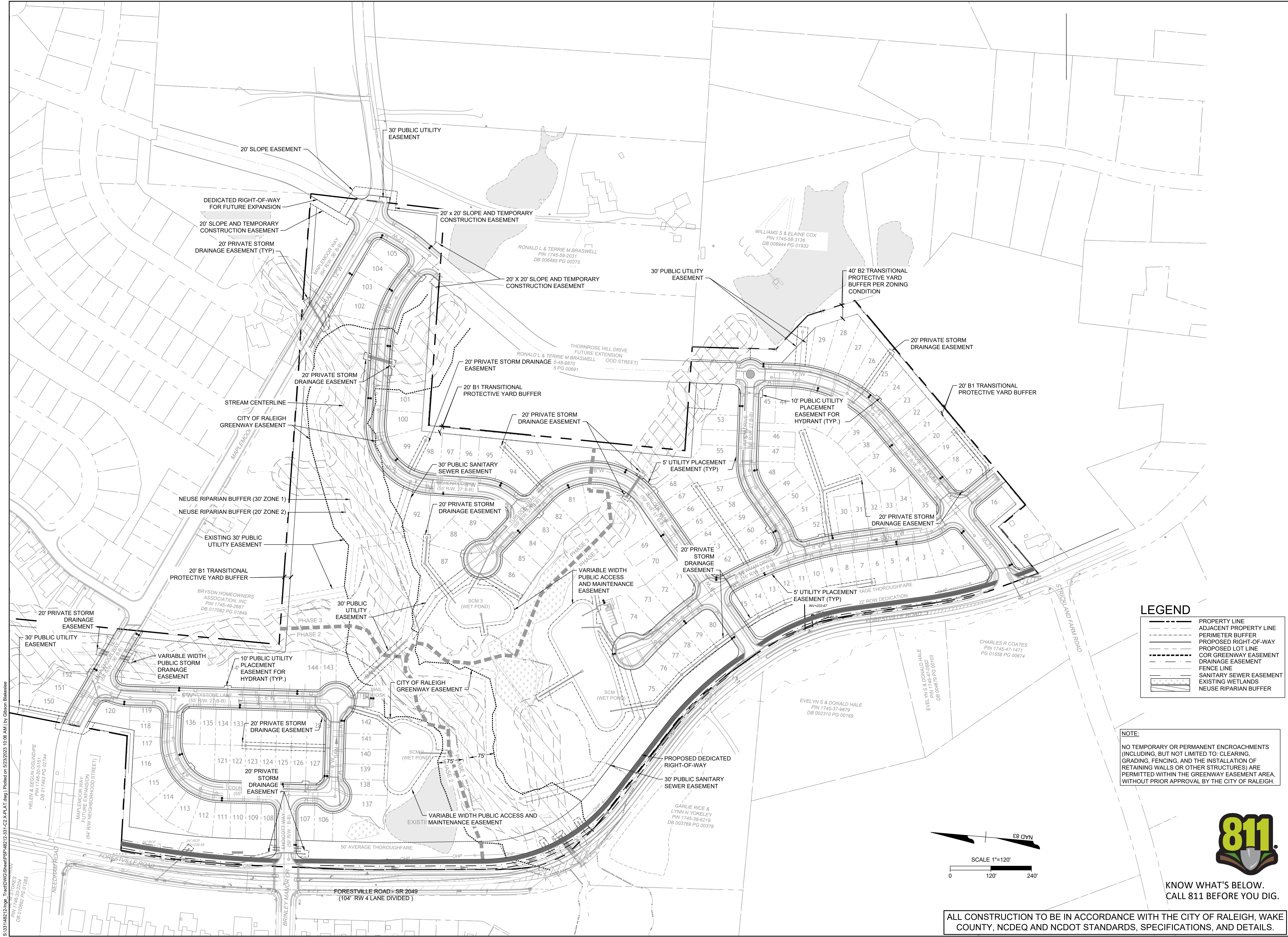
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

BLOCK PERIMETER PLAN

JOB NO.	48212
SHEET NO.	C2.12

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

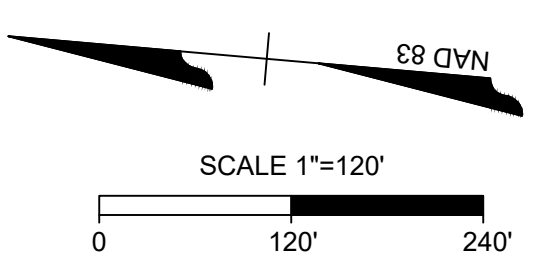
PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER

NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



**KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

S:\33148212\mgp..._Title\DWG\Sheet\SP48212-331-C2-X-PLAT.dwg | Printed on 02/23/2023 10:06 AM | by Gibson Blakelee
 STONES
 PIN 1746-30-1234
 DB 010082 PG 0123

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
 05/23/2023

DRAWN BY
 331

DESIGNED BY
 331

CHECKED BY
 M. ZACCARDO

SCALE
 1" = 120'

REVISION DESCRIPTION

TIMMONS GROUP

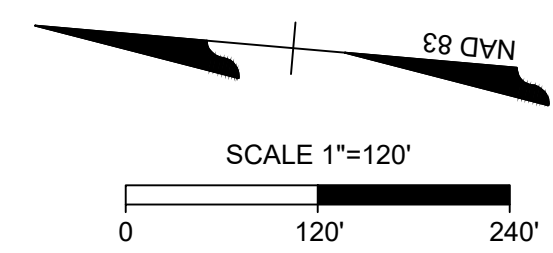
MAGNOLIA FOREST
 NORTH CAROLINA LICENSE NO. C-1652
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
EASEMENT PLAN

JOB NO.
48212

SHEET NO.
C2.13

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

S:\31148212\img_TimedDWG\SheetPSP48212-331-C2-X-PLAT.dwg | Printed on 5/23/2023 10:06 AM | Dr. Gibson Blakelee



NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP

MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
PHASING AND ZONING PLAN

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023	

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 120'

JOB NO.
48212

SHEET NO.
C2.14

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

PROGRESS DRAWING



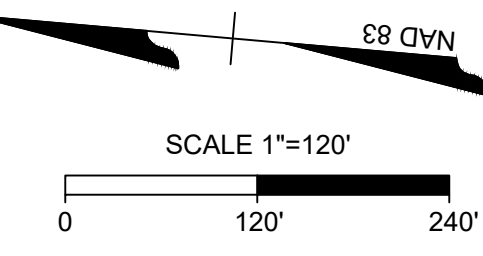
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- COR GREENWAY EASEMENT
- DRAINAGE EASEMENT
- FENCE LINE
- SANITARY SEWER EASEMENT
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER

NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023 <td></td>	

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 120'

TIMMONS GROUP

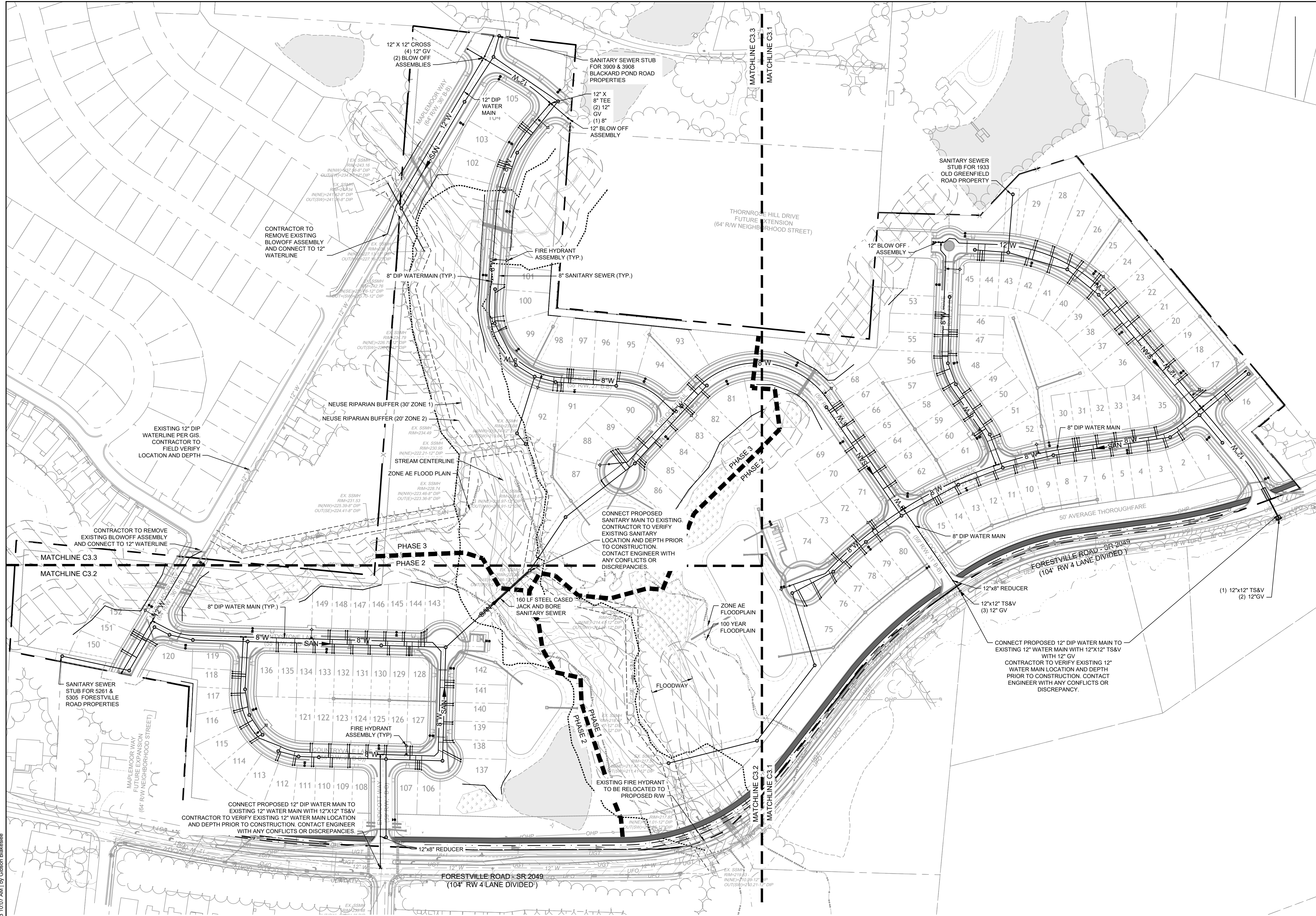
NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

SIGHT DISTANCE TRIANGLE PLAN

JOB NO.	48212
SHEET NO.	C2.15

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



- STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
 - CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE CROSSINGS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER. APPROVAL MUST BE OBTAINED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 8" MIN. CLEARANCE FROM THE WATER MAIN & 4" FROM THE SEWER.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS. CONTRACTOR SHALL ENSURE THAT ALL OVERHEAD UTILITY LINES ARE ADJUSTED BY APPROPRIATE UTILITY COMPANY TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.
 - 30" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 2" TYPE "K" COPPER WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
 - INSTALL 8" SCHEDULE 40 PVC SEWER SERVICES @ 10% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEPT 80 PSI BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE AND/OR FEMA FOR RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE ROW PRIOR TO CONSTRUCTION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CONTRACTORS WORKING (EXCAVATION, BORING, OR OTHER SUBSURFACE BRACAGE) ARISING OR IN THE VICINITY OF EXISTING WATER LINES 12 INCHES IN DIAMETER OR LARGER SHALL BE REQUIRED TO PHYSICALLY SPOT THE EXISTING LINE TO BE VERIFIED BY P.U.D. DISTRIBUTION STAFF OR INSPECTION STAFF. IF OTHER EXISTING LINES SIZES ARE IN QUESTION OF CONFLICT THE CONTRACTOR SHALL BE DIRECTED BY P.U.D. STAFF OF THE LEVEL OF SUBSURFACE INVESTIGATION NEEDED TO LOCATE THE EXISTING LINE.

NOTES:

INFRASTRUCTURE CONSTRUCTION PLANS (CONCURRENT SUBMITTAL) MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS.

ALL WATER, SANITARY SEWER AND REUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE.

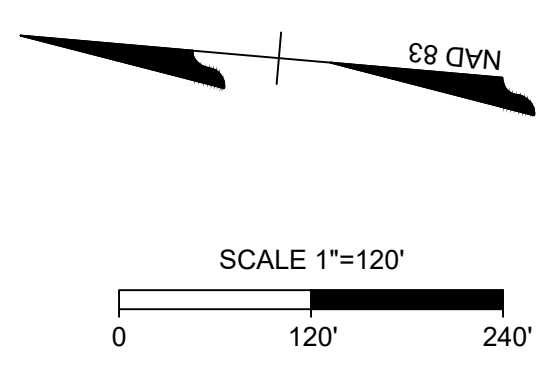
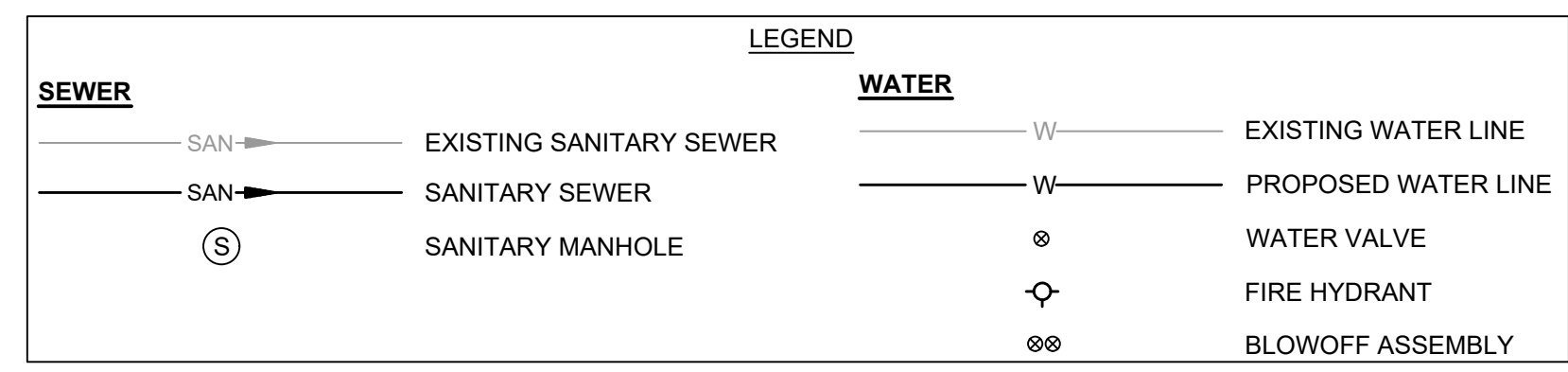
A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH THE CITY OF RALEIGH UTILITIES DEPARTMENT HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL.

GENERAL CONTRACTOR

PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD SURVEY SHALL VERIFY LOCATION, DEPTH, SIZE, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES. IN CASE OF CONFLICT OR IF DIFFERENT THAN PLAN, NOTIFY ENGINEER.

NOTE:

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
OVERALL UTILITY PLAN

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102, Raleigh, NC 27607
 TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

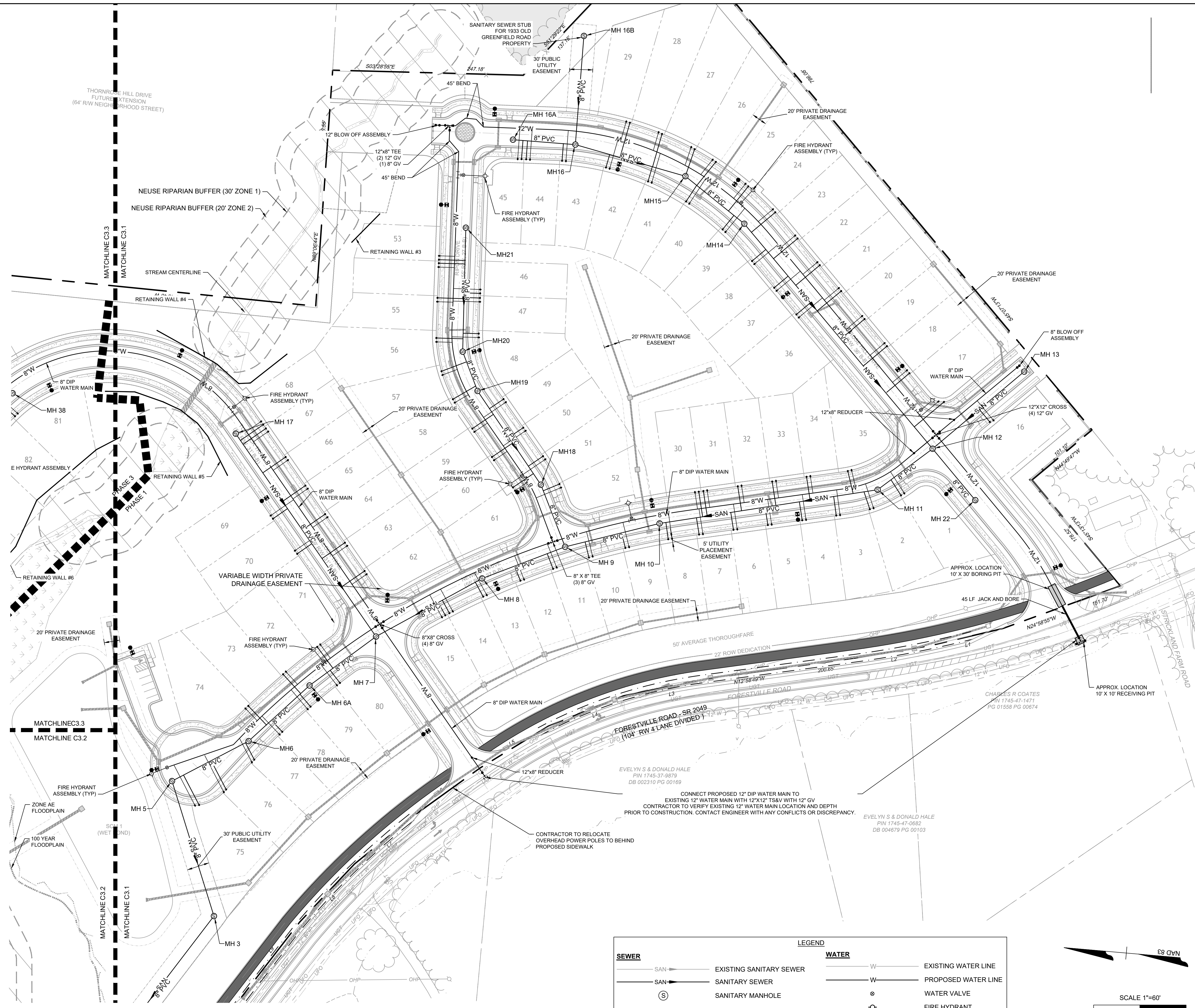
REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	05/23/2023

DRAWN BY: 331
 DESIGNED BY: 331
 CHECKED BY: M. ZACKARDO
 SCALE: 1" = 120'
 JOB NO. 48212
 SHEET NO. C3.0

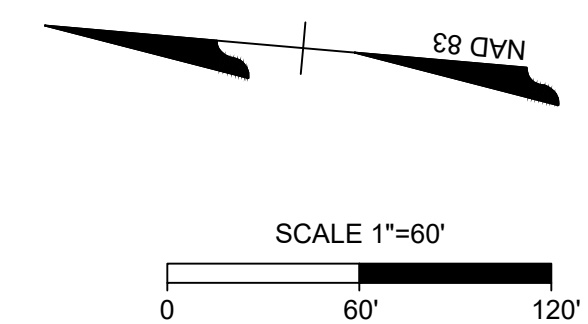
These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

PROGRESS DRAWING

S:\31148212\dwg_Timed\DWG\Sheet\SP48212-331-C3-D-UTIL.dwg | Printed on 5/23/2023 10:07 AM | by Gilean Binkette



SEWER		WATER	
— SAN —	EXISTING SANITARY SEWER	— W —	EXISTING WATER LINE
— SAN —	SANITARY SEWER	— W —	PROPOSED WATER LINE
(S)	SANITARY MANHOLE	⊗	WATER VALVE
		⊕	FIRE HYDRANT
		⊗	BLOWOFF ASSEMBLY



NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



**KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

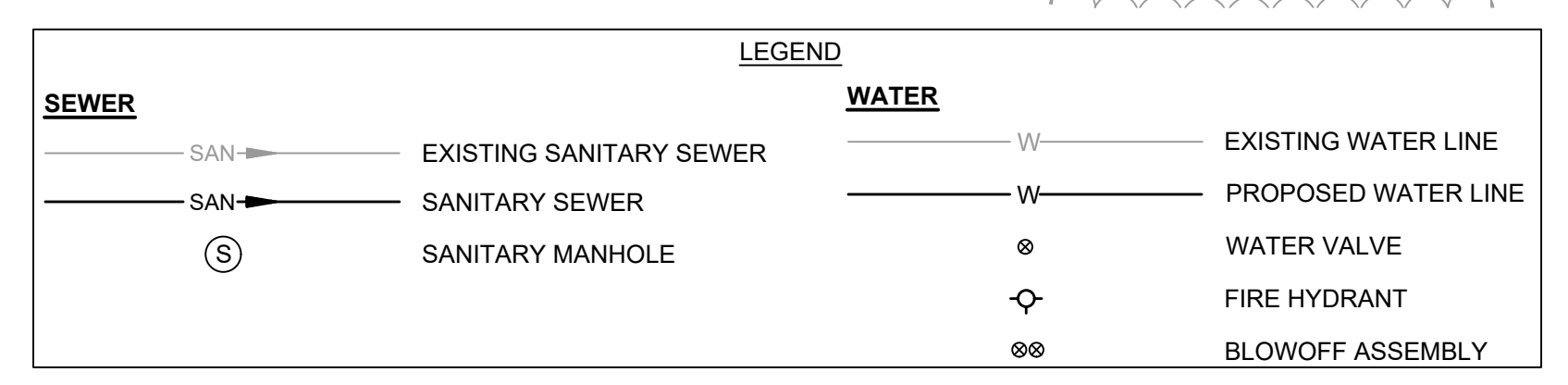
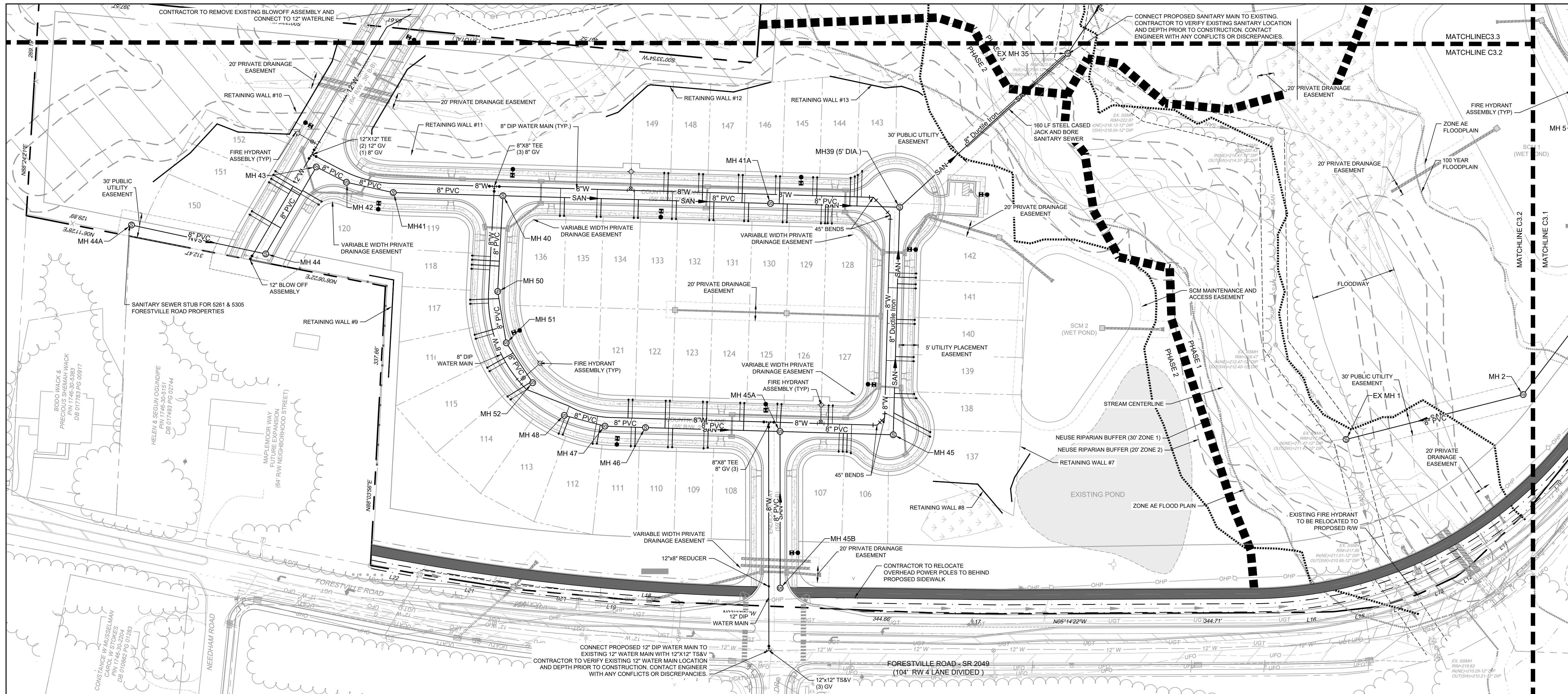
SCALE
1" = 60'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED UTILITY PLAN

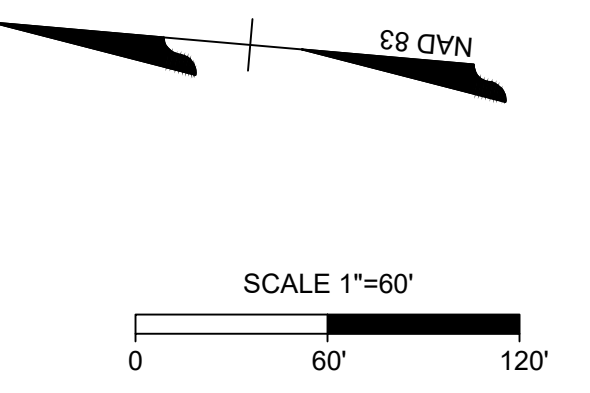
JOB NO.
48212

SHEET NO.
C3.1

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023 <td></td>	

DATE: 05/23/2023
 DRAWN BY: 331
 DESIGNED BY: 331
 CHECKED BY: M. ZACCARDO
 SCALE: 1" = 60'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST

5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

DETAILED UTILITY PLAN

JOB NO.	48212
SHEET NO.	C3.2



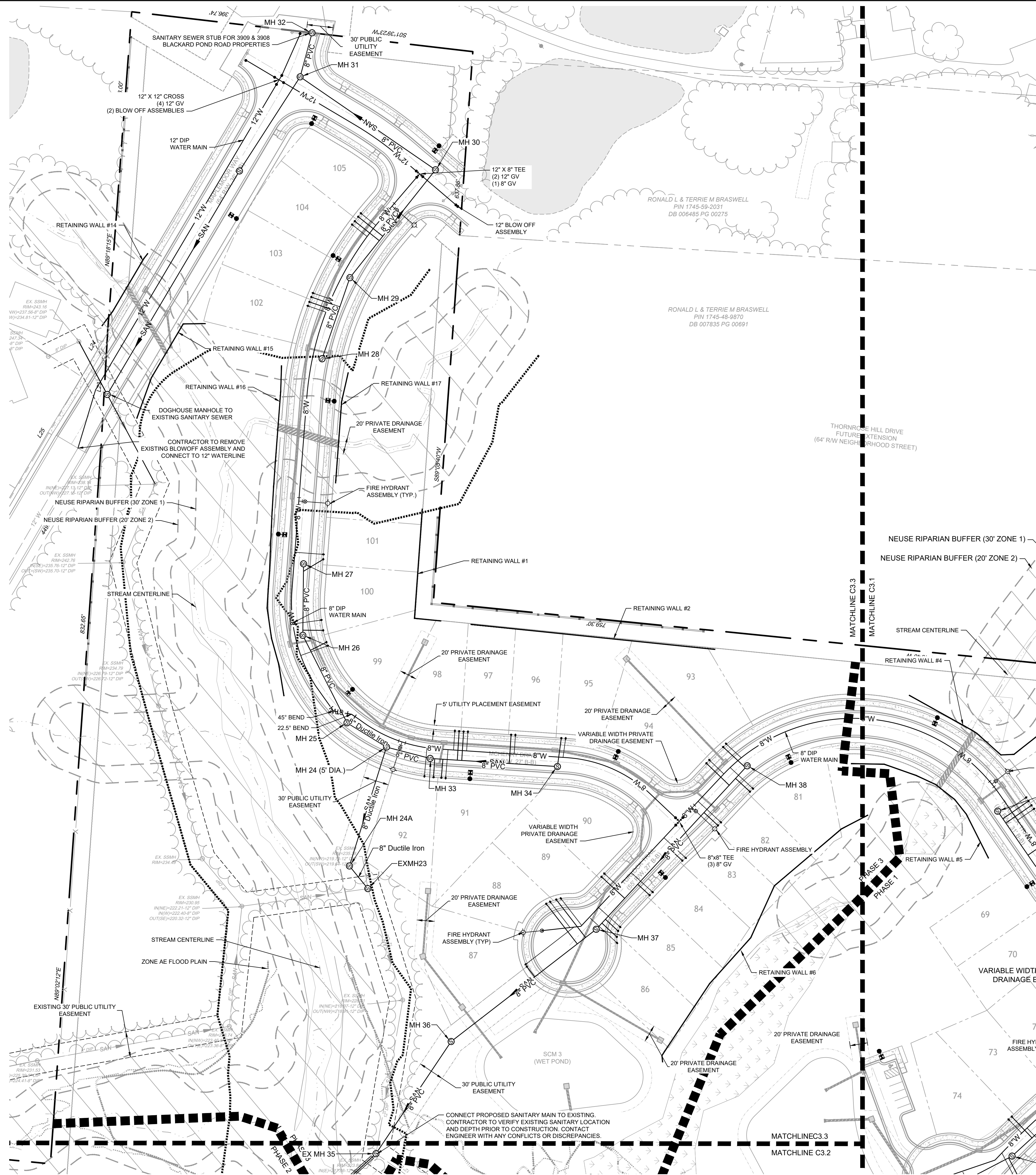
KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

S:\33148212\dwg_Timed\DWG\Sheet\FSP\48212-331-C3-D-UTIL.dwg | Printed on 5/23/2023 10:07 AM | by Gibson Blakelee

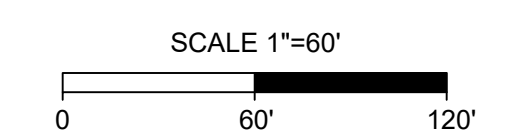
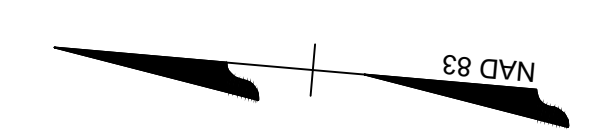
PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

S:\33148212.dwg - Timmons\DWG\Sheet\SP48212-331-C3-D-UTIL.dwg | Printed on 5/23/2023 10:07 AM | by Gibson Blakelee



NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SEWER		WATER	
— SAN —	EXISTING SANITARY SEWER	— W —	EXISTING WATER LINE
— SAN —	SANITARY SEWER	— W —	PROPOSED WATER LINE
(S)	SANITARY MANHOLE	⊙	WATER VALVE
		⊕	FIRE HYDRANT
		⊗	BLOWOFF ASSEMBLY



**KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023	

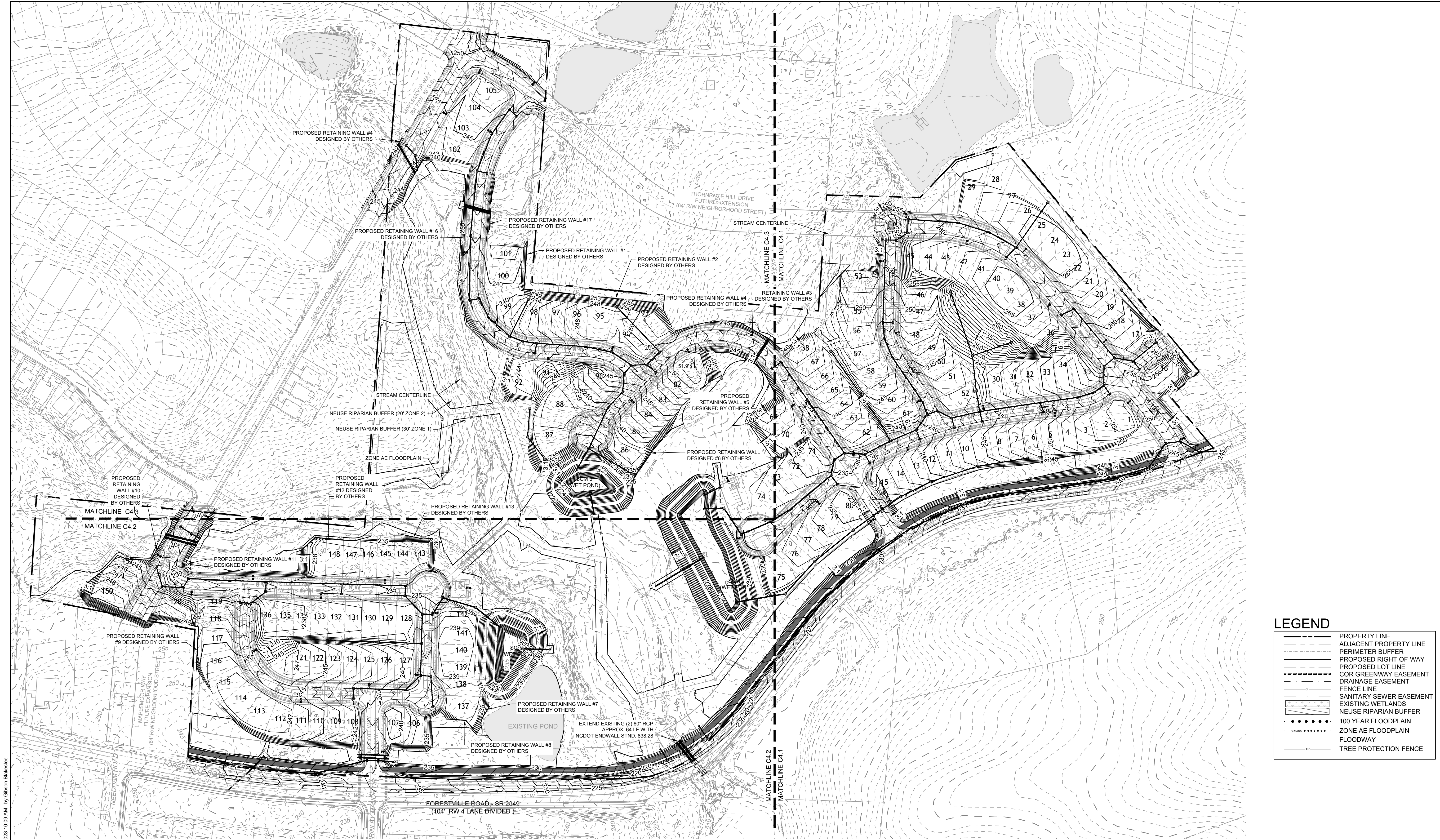
DATE
 05/23/2023
 DRAWN BY
 331
 DESIGNED BY
 331
 CHECKED BY
 M. ZACCARDO
 SCALE
 1" = 60'

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED UTILITY PLAN

JOB NO.
48212
 SHEET NO.
C3.3

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

S:\331\48212\12\img_Timed\DWG\Sheet\SP48212-331-C4-D-GRAD.DWG | Plotted on 5/23/2023 10:09 AM | by Gibson Bilvestre



NOTES:

- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ALL DIRECTIONS.
- ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 SLOPE FOR THE WIDTH OF THE SIDEWALK.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
- RETAINING WALL AND ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN FOR REVIEW AND APPROVAL BY THE TOWN INSPECTIONS DEPARTMENT.

GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720174500J PANEL 2708, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "AE"

RETAINING WALL NOTES:

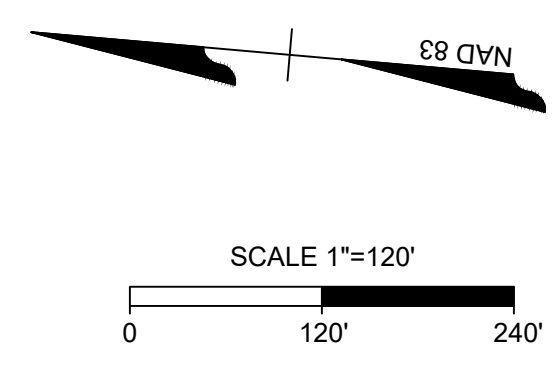
- ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
- RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDED ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
- CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
- ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
- TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

NOTE:

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

GENERAL CONTRACTOR

PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD SURVEY SHALL VERIFY LOCATION, DEPTH, SIZE, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES. IN CASE OF CONFLICT OR IF DIFFERENT THAN PLAN, NOTIFY ENGINEER.



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	TREE PROTECTION FENCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP

MAGNOLIA FOREST
 NORTH CAROLINA LICENSE NO. C-1652
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
OVERALL GRADING PLAN

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	05/23/2023

DATE: 05/23/2023
 DRAWN BY: 331
 DESIGNED BY: 331
 CHECKED BY: M. ZACCARDO
 SCALE: 1" = 120'

JOB NO. 48212
 SHEET NO. C4.0

KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.



PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

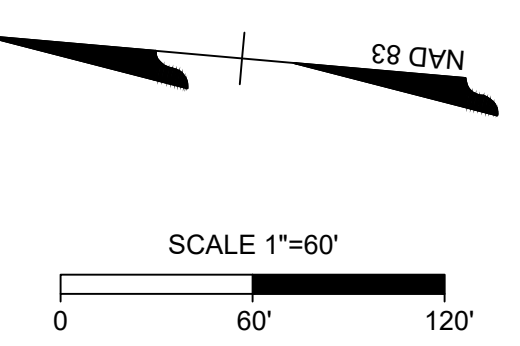


NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- RETAINING WALL NOTES:**
1. ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
 2. RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDED ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES. WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
 4. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
 5. ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
 6. TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

- GRADING NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 3. ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720174500J PANEL 2708, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "AE"

- NOTES:**
1. ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ALL DIRECTIONS.
 2. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 SLOPE FOR THE WIDTH OF THE SIDEWALK.
 3. IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
 4. RETAINING WALL AND ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN FOR REVIEW AND APPROVAL BY THE TOWN INSPECTIONS DEPARTMENT.



LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	TREE PROTECTION FENCE



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED GRADING PLAN

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

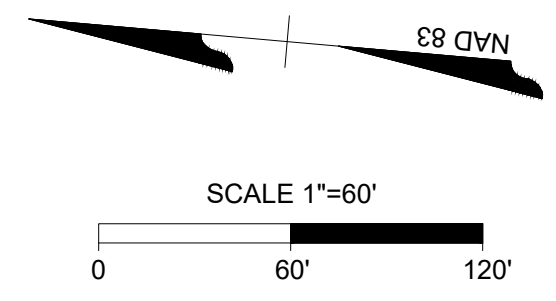
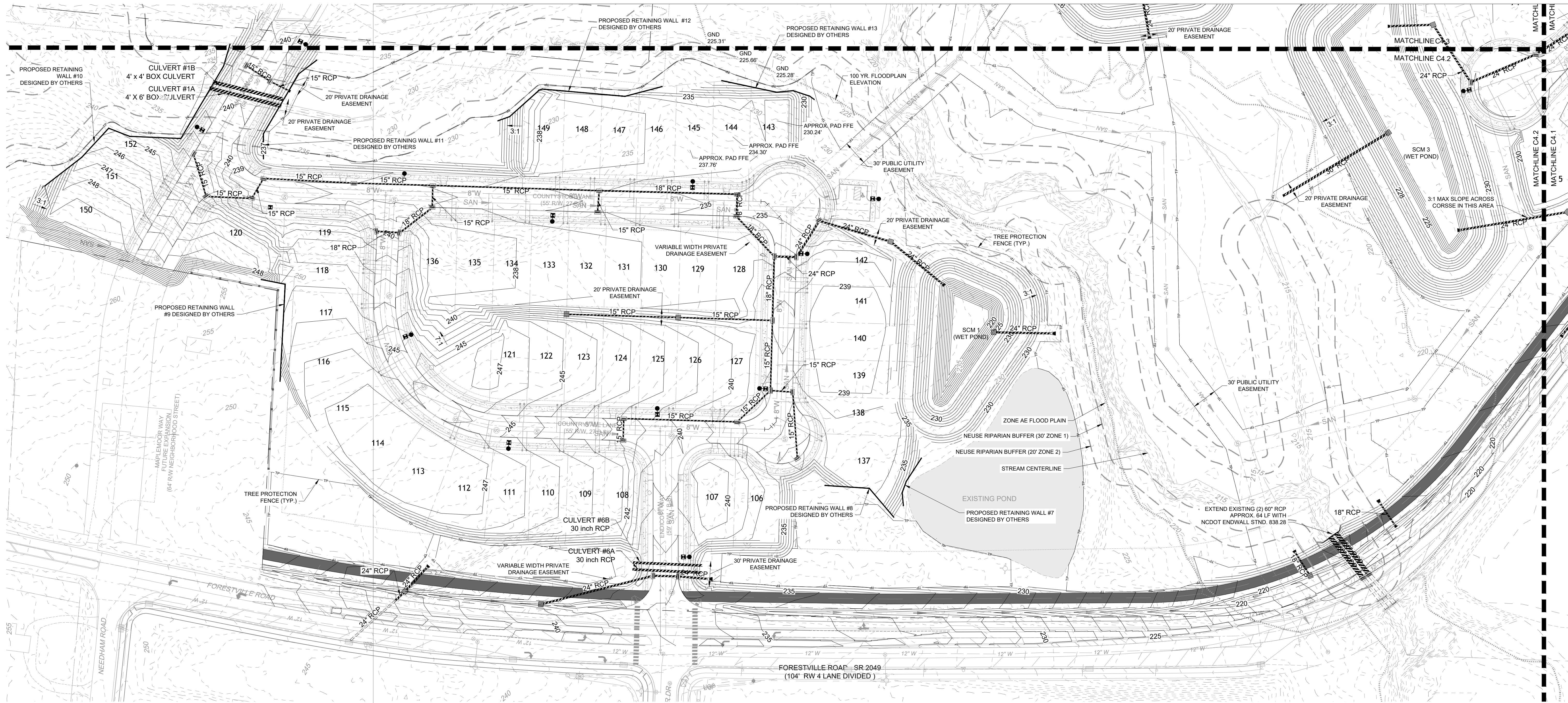
REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	05/23/2023
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	M. ZACCARDO
SCALE	1" = 60'

JOB NO.
48212
 SHEET NO.
C4.1

THESE PLANS AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF TIMMONS GROUP AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART AND SHALL NOT BE USED FOR ANY PURPOSE WHATSOEVER, INCLUDING, BUT NOT LIMITED TO CONSTRUCTION, BIDDING, AND/OR CONSTRUCTION STAKING WITHOUT THE EXPRESS WRITTEN CONSENT OF TIMMONS GROUP.

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

S:\331\48212\12.dwg - Title\DWG\Sheet\FSP\48212-C4.1-D-GRAD.DWG | Printed on 5/23/2023 10:09 AM | by Gibson Bilwesie



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	TREE PROTECTION FENCE

NOTES:

- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ALL DIRECTIONS.
- ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 SLOPE FOR THE WIDTH OF THE SIDEWALK.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
- RETAINING WALL AND ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN FOR REVIEW AND APPROVAL BY THE TOWN INSPECTIONS DEPARTMENT.

GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720174500J PANEL 2708, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "AE"

NOTE:

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

RETAINING WALL NOTES:

- ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
- RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDED ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
- CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLANS FOR REVIEW AND APPROVAL FROM TOWN.
- ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
- TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST

5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

DETAILED GRADING PLAN

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

YOUR VISION ACHIEVED THROUGH OURS.	REVISION DESCRIPTION
DATE	DATE
DRAWN BY	DATE
DESIGNED BY	DRAWN BY
CHECKED BY	DESIGNED BY
SCALE	CHECKED BY
1" = 60'	SCALE
1" = 60'	1" = 60'
JOB NO.	JOB NO.
48212	48212
SHEET NO.	SHEET NO.
C4.2	C4.2

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.933.8124 www.timmons.com

PROGRESS DRAWING

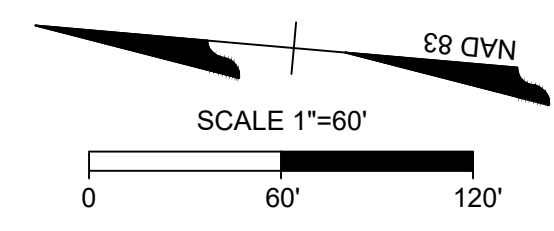


- NOTES:**
- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ALL DIRECTIONS.
 - ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 SLOPE FOR THE WIDTH OF THE SIDEWALK.
 - IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
 - RETAINING WALL AND ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN FOR REVIEW AND APPROVAL BY THE TOWN INSPECTIONS DEPARTMENT.

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STORMWATER STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 3720174500J PANEL 2708, WITH AN EFFECTIVE DATE OF MAY 02, 2006 THIS PROPERTY LIES IN ZONE "AE"

- RETAINING WALL NOTES:**
- ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
 - RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDED ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
 - CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
 - ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
 - TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	TREE PROTECTION FENCE



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023	

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 60'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST

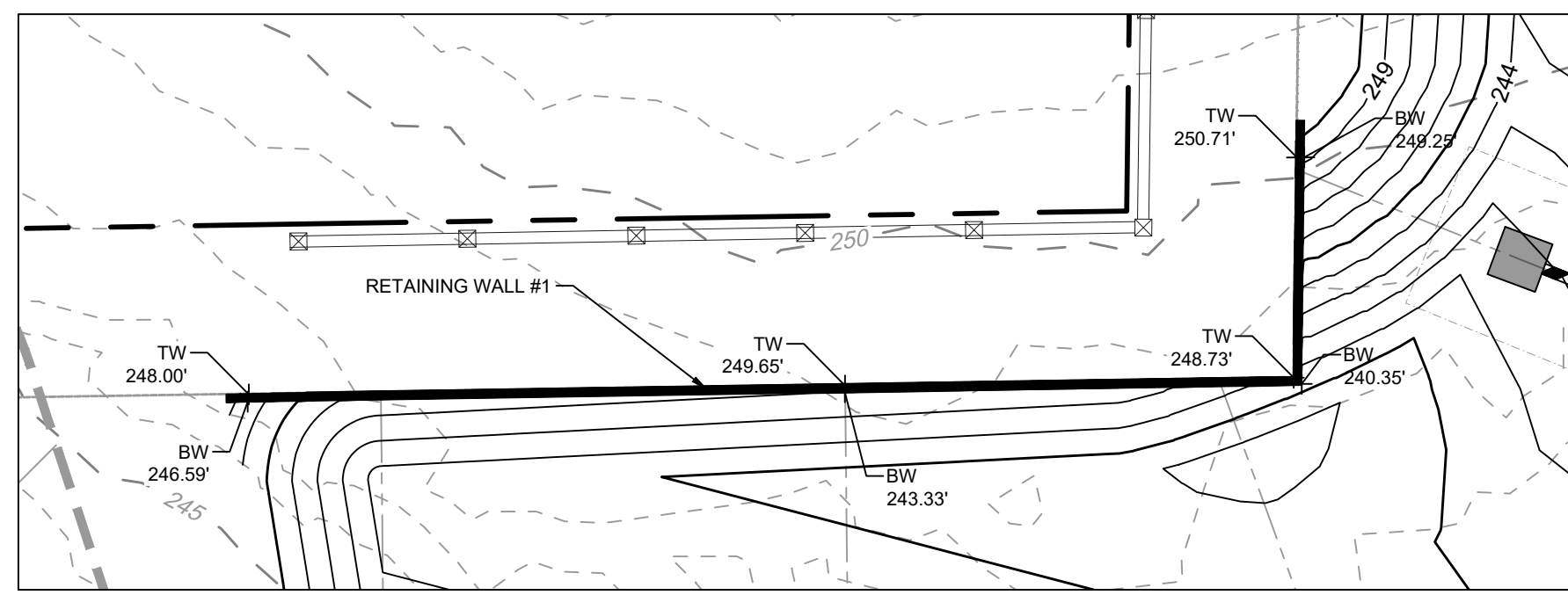
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

DETAILED GRADING PLAN

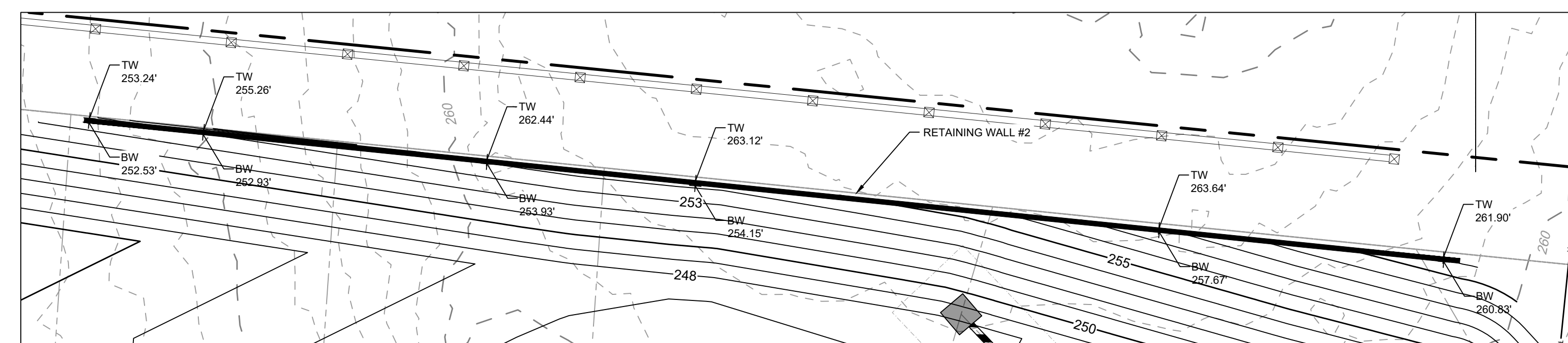
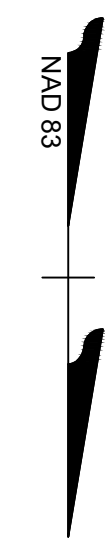
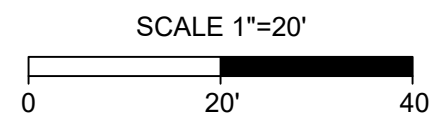
JOB NO.	48212
SHEET NO.	C4.3

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

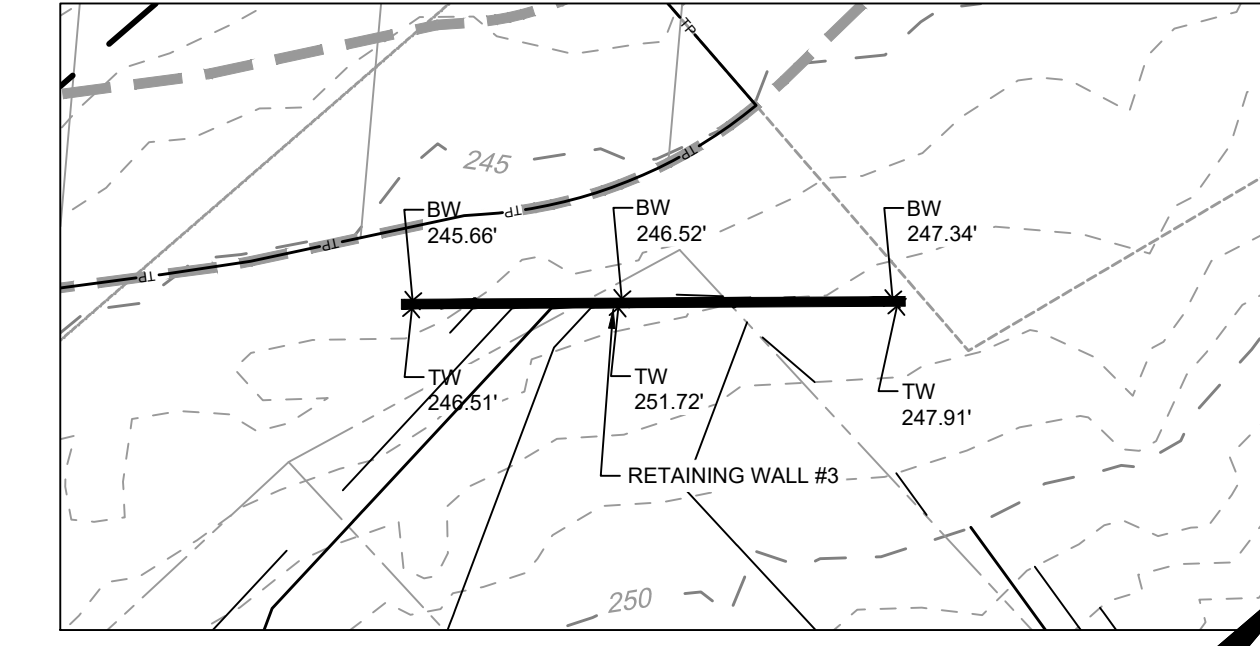
S:\331\MB212\img_Timed\DWG\Sheet\SP48212\C4-D-GRAD.DWG | Plotted on 5/23/2023 10:09 AM | by Gibson Bilvestre



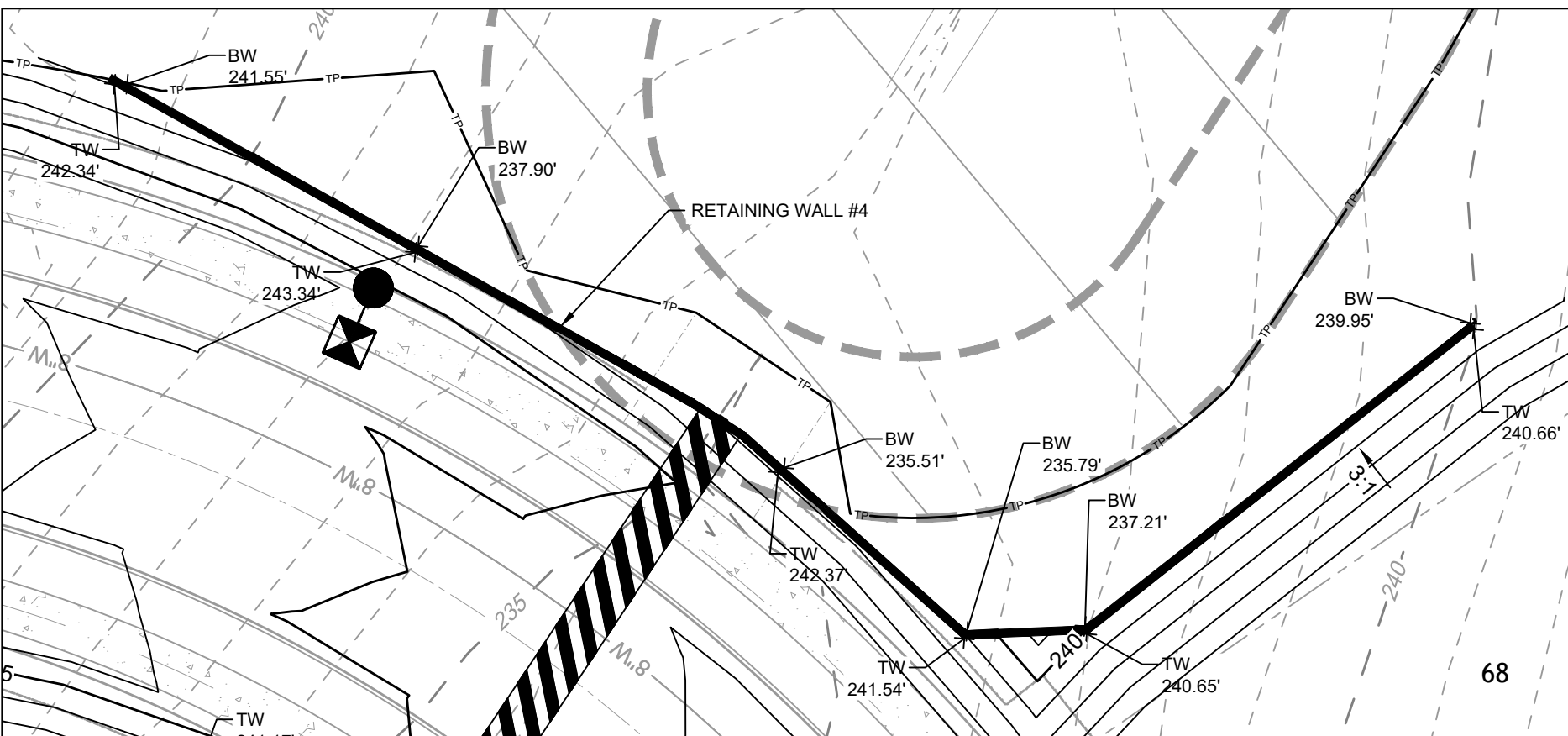
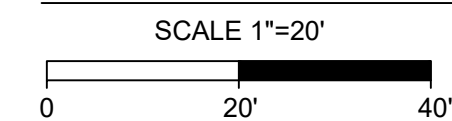
RETAINING WALL #1 PLAN VIEW



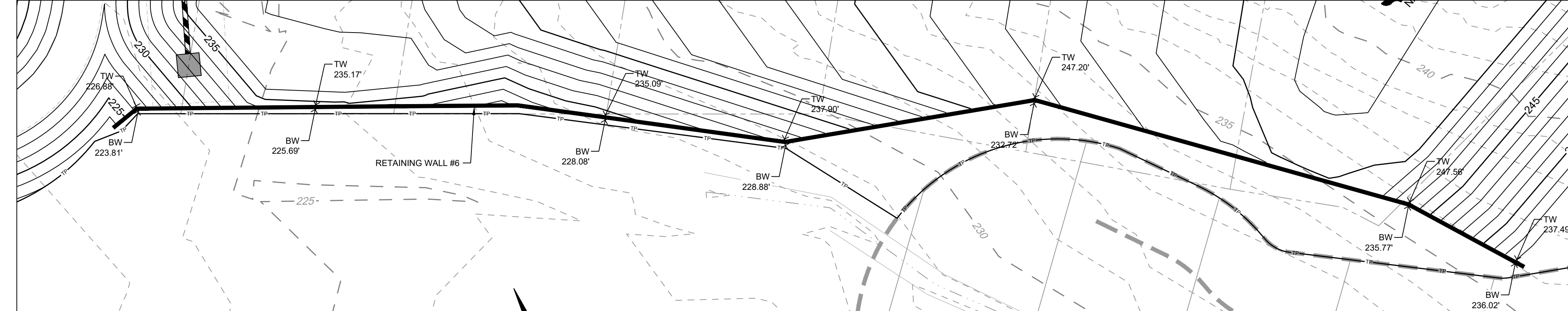
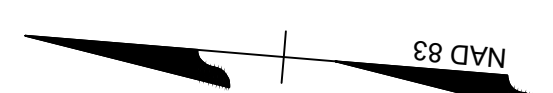
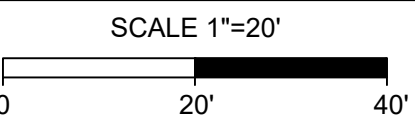
RETAINING WALL #2 PLAN VIEW



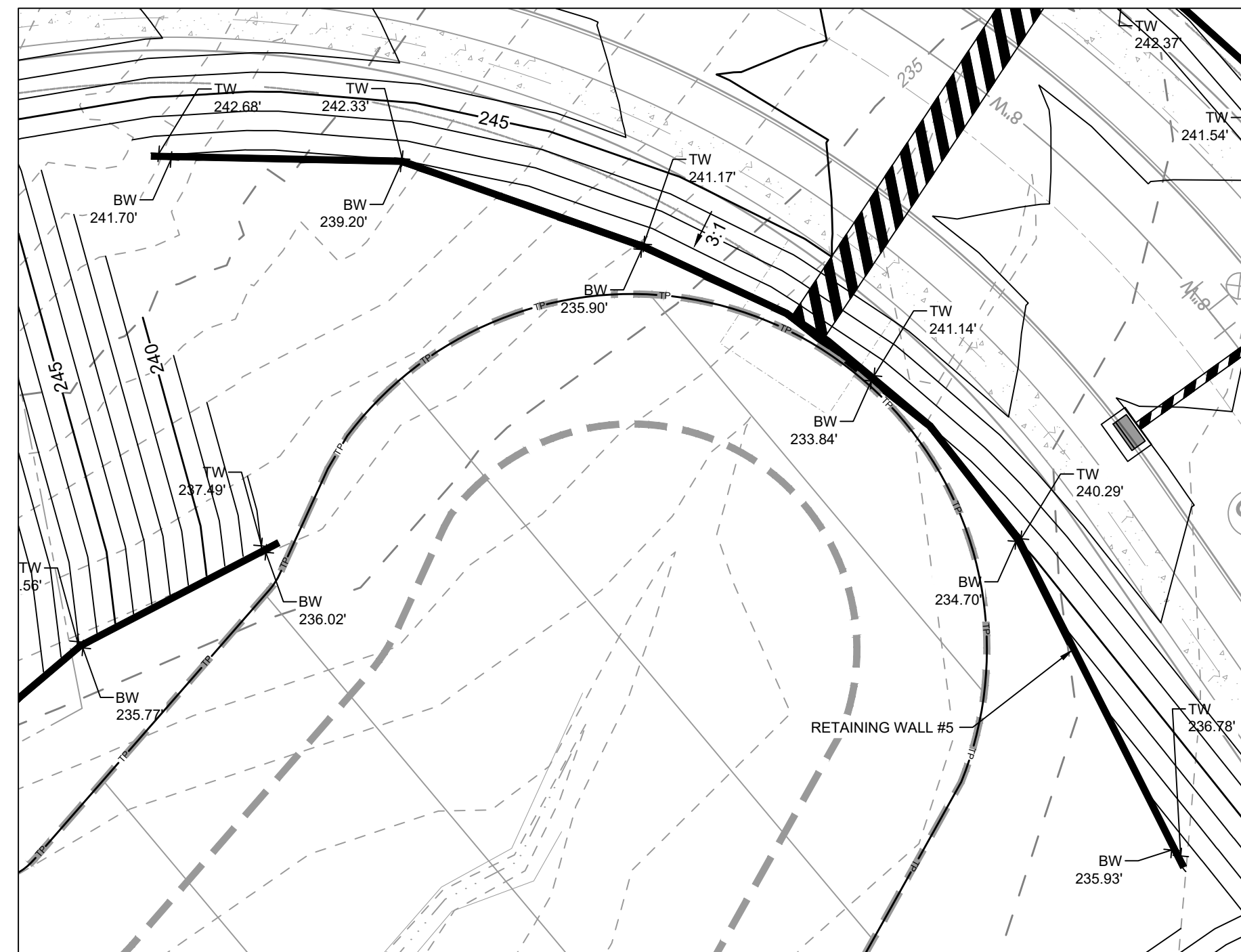
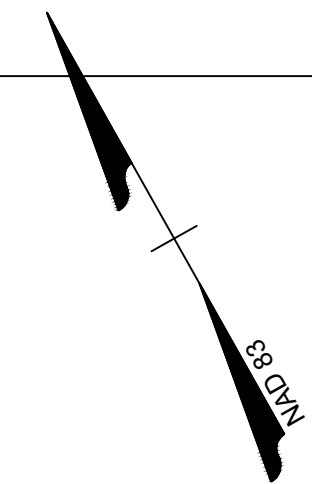
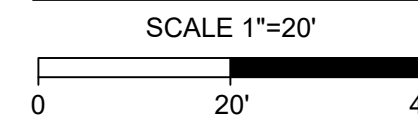
RETAINING WALL #3 PLAN VIEW



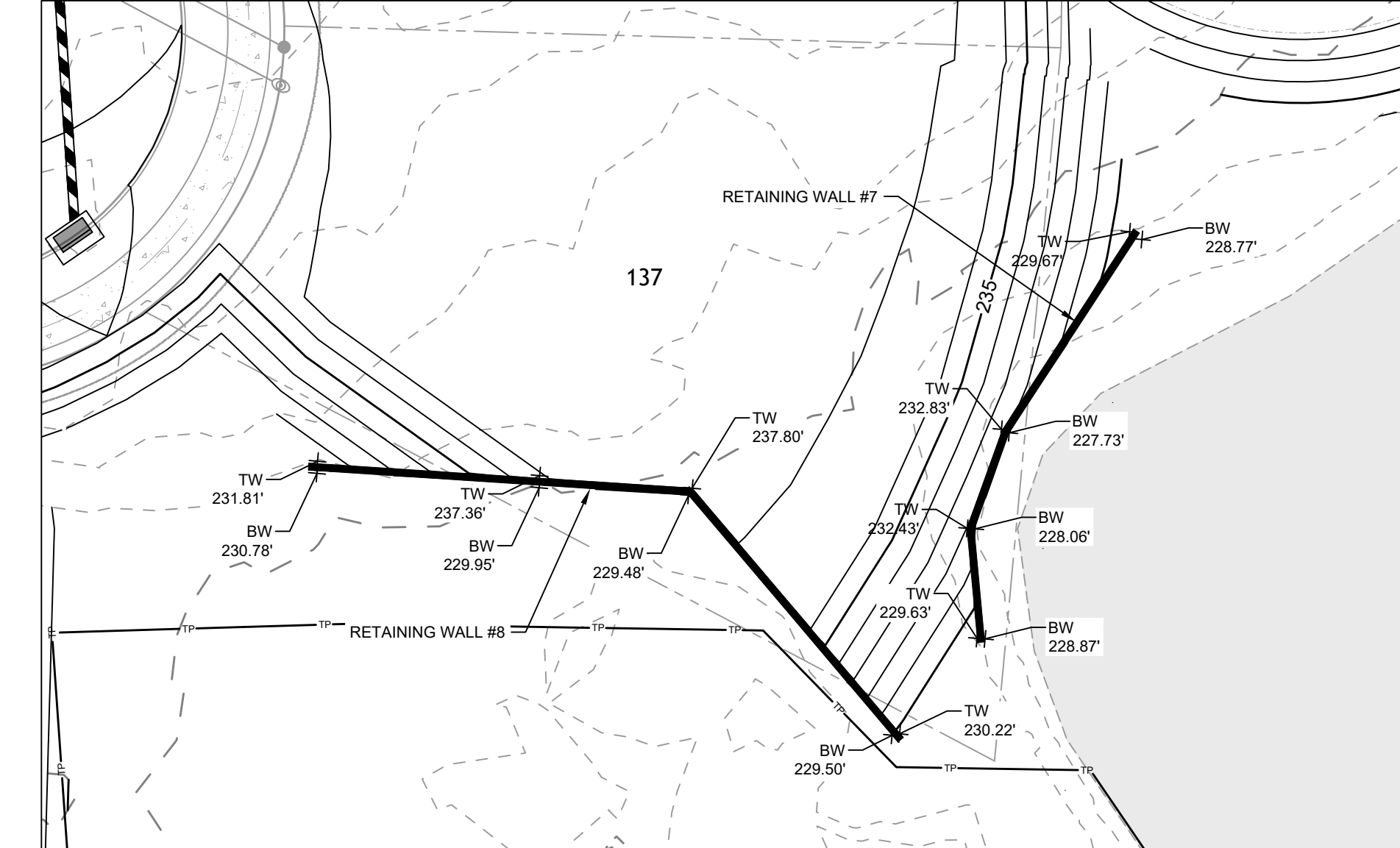
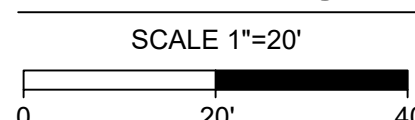
RETAINING WALL #4 PLAN VIEW



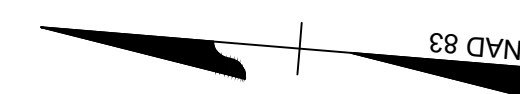
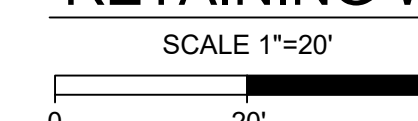
RETAINING WALL #6 PLAN VIEW



RETAINING WALL #5 PLAN VIEW



RETAINING WALL #7 & #8 PLAN VIEW



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	TREE PROTECTION FENCE

CONTRACTOR TO CALL ENGINEER WHEN CULVERTS ARE STAKED AND AGAIN IMMEDIATELY AFTER INSTALLATION PRIOR TO CONSTRUCTION OF HEADWALLS ETC.

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- RETAINING WALL NOTES:**
- ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
 - RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDE ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
 - CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
 - ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
 - TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
05/23/2023 <td></td>	

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 20'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

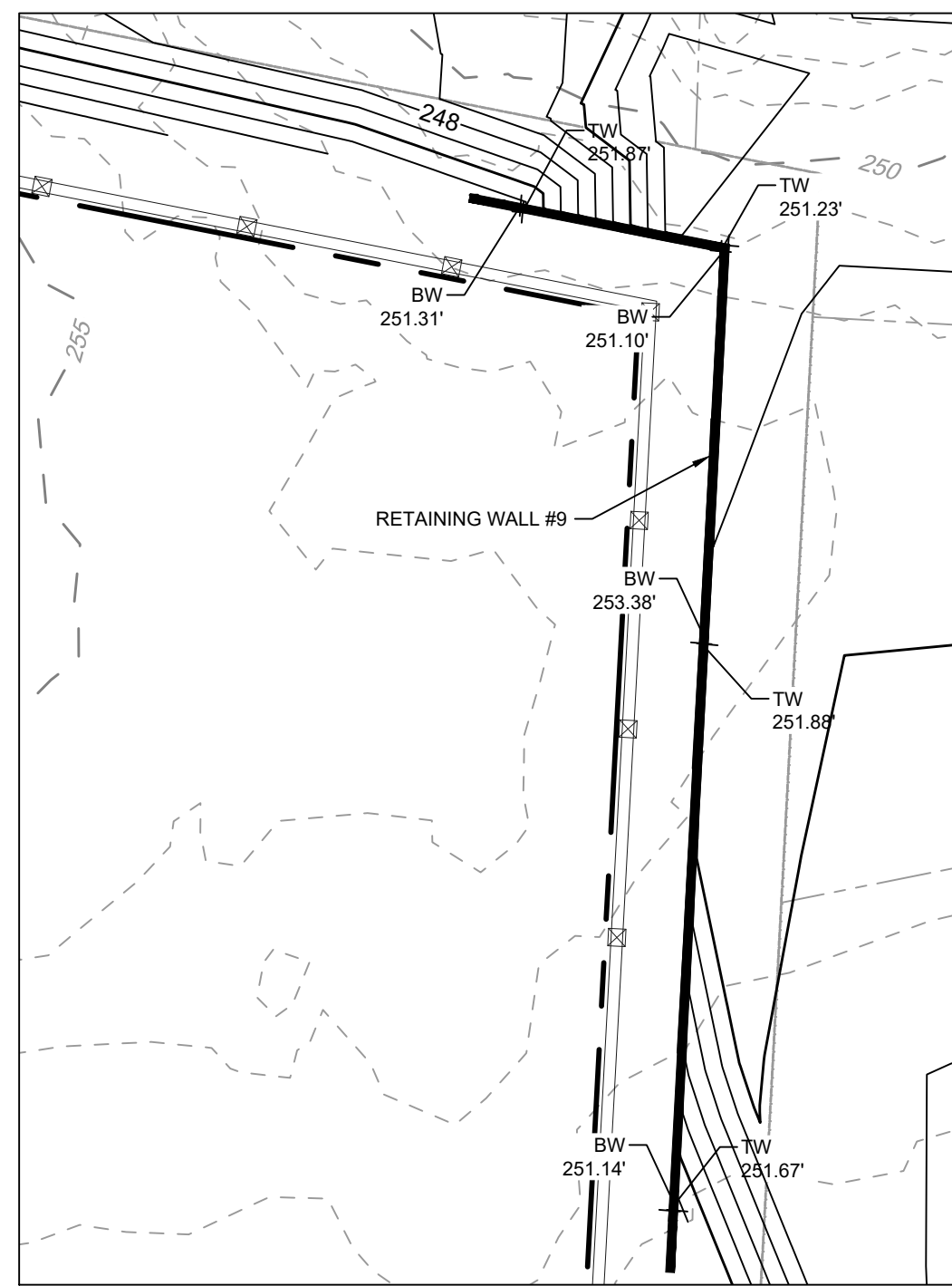
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

DETAILED GRADING PLAN - RETAINING WALLS

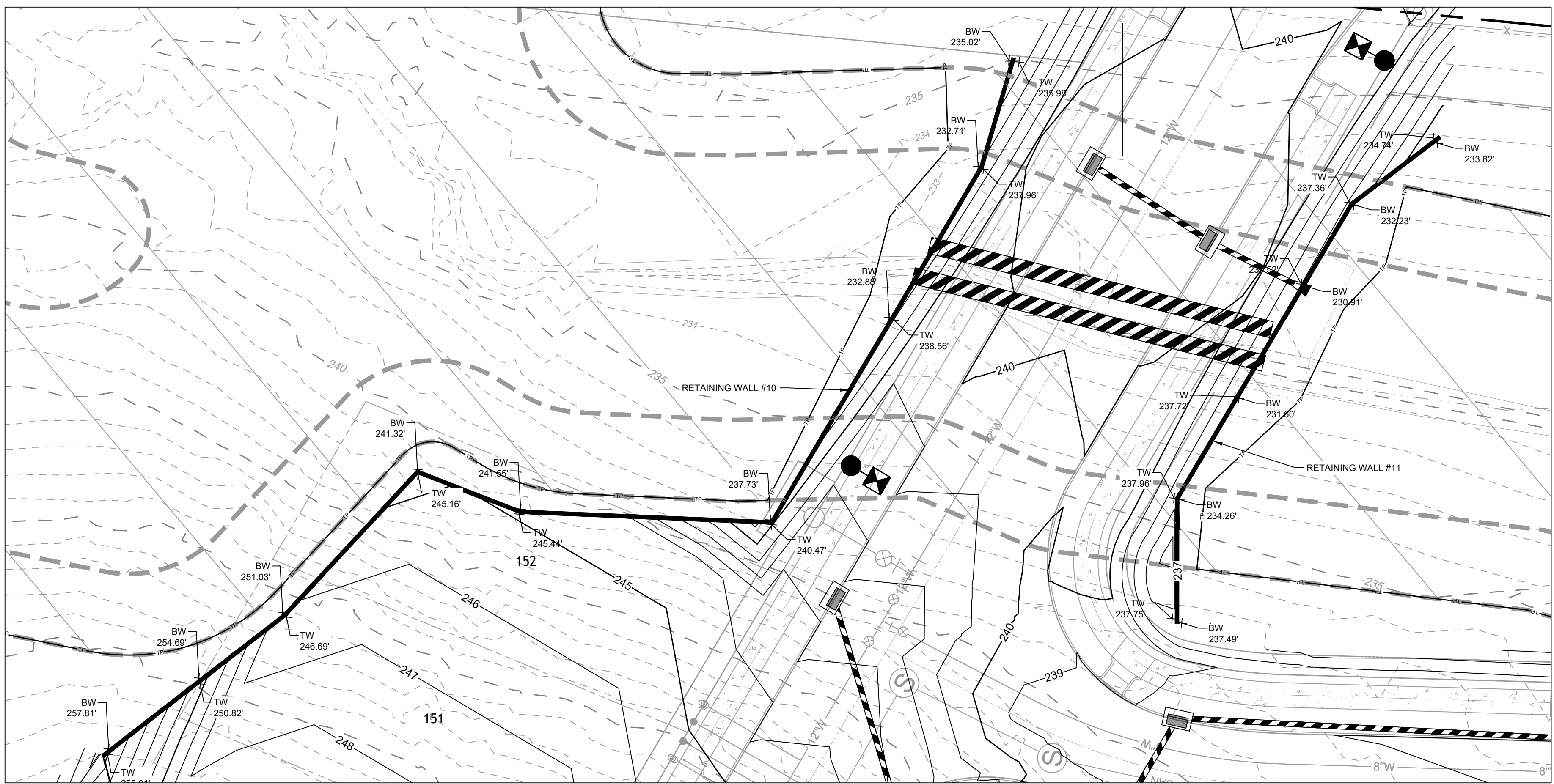
JOB NO.
48212

SHEET NO.
C4.4

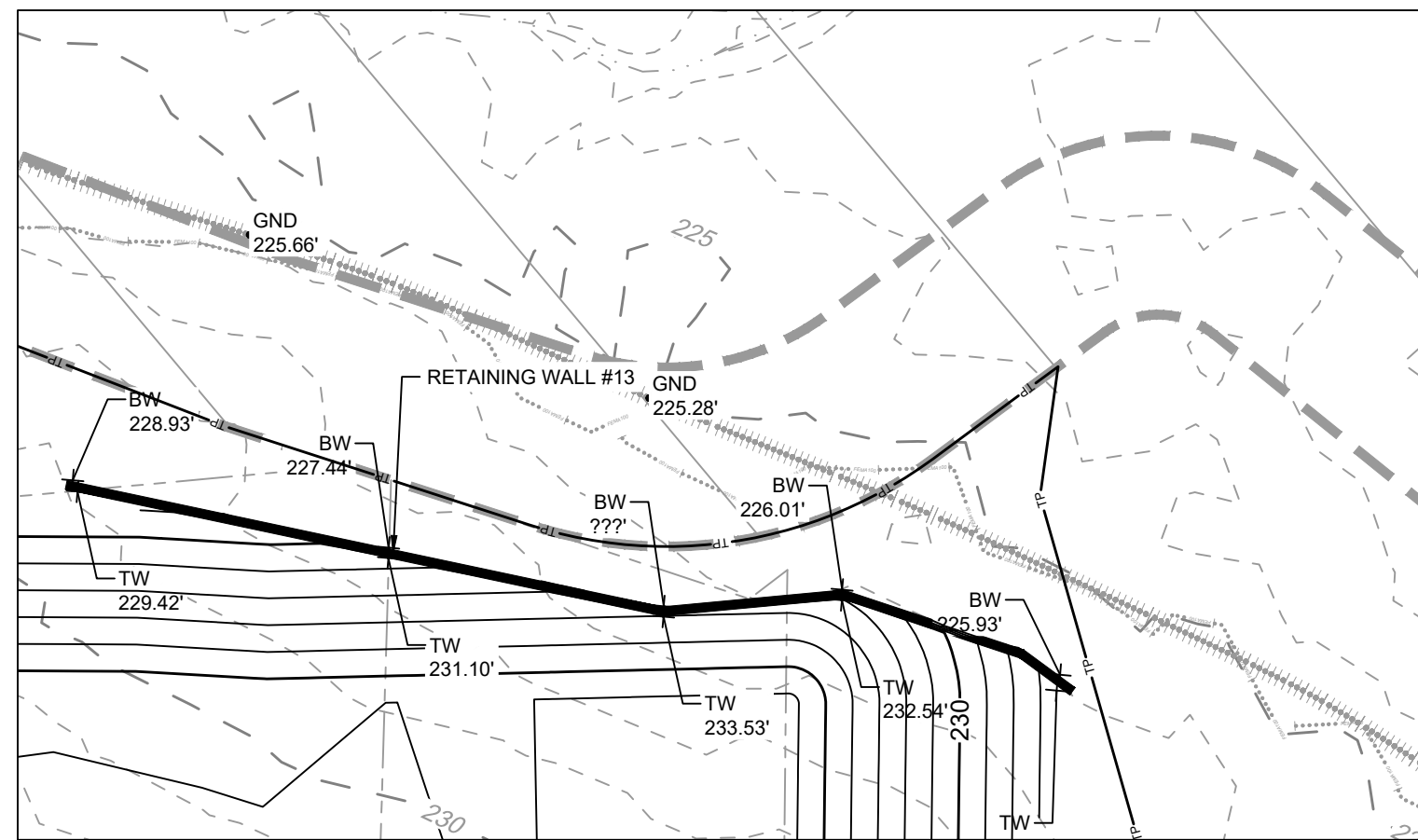
PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



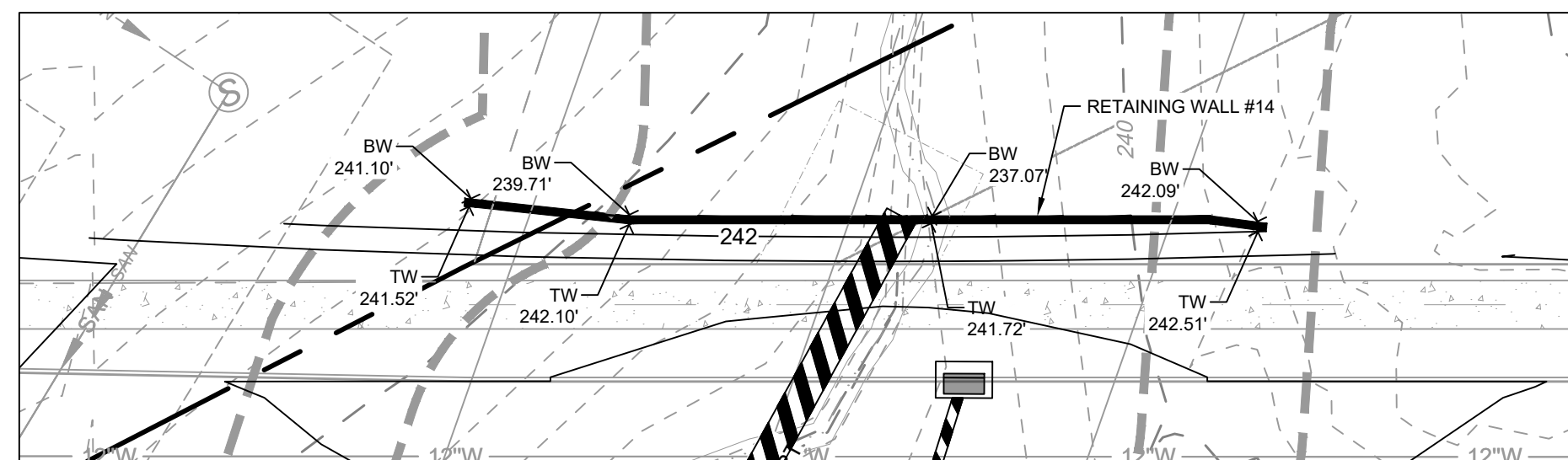
RETAINING WALL #9 PLAN VIEW



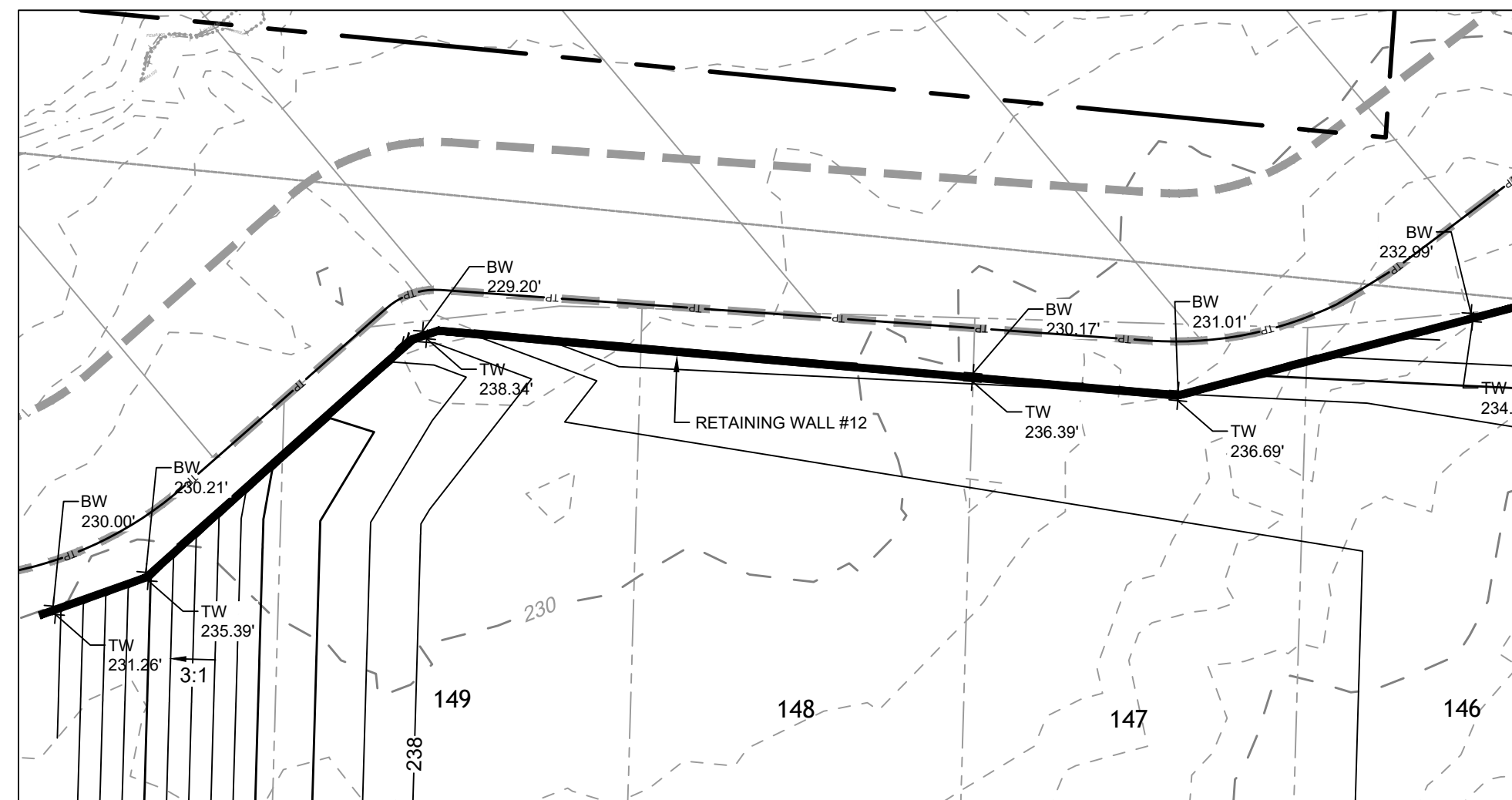
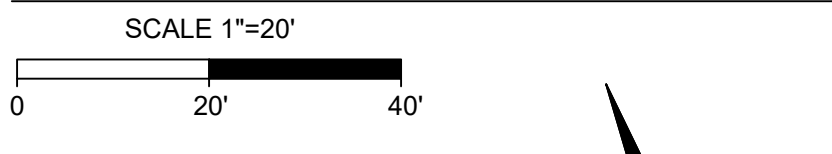
RETAINING WALL #10 & #11 PLAN VIEW



RETAINING WALL #13 PLAN VIEW



RETAINING WALL #14 PLAN VIEW



RETAINING WALL #12 PLAN VIEW



CONTRACTOR TO CALL ENGINEER WHEN CULVERTS ARE STAKED AND AGAIN IMMEDIATELY AFTER INSTALLATION PRIOR TO CONSTRUCTION OF HEADWALLS ETC.

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- RETAINING WALL NOTES:**
- ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
 - RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDE ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
 - CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
 - ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
 - TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COR GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	ZONE AE FLOODPLAIN
	FLOODWAY
	TREE PROTECTION FENCE



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 20'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

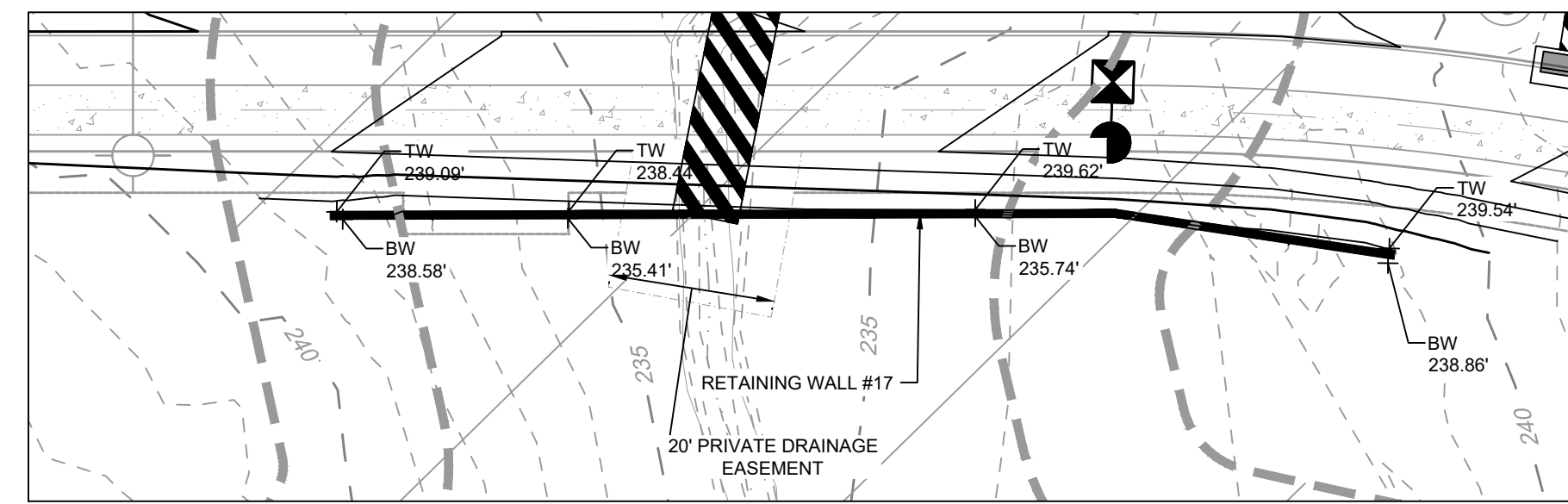
DETAILED GRADING PLAN - RETAINING WALLS

JOB NO.
48212

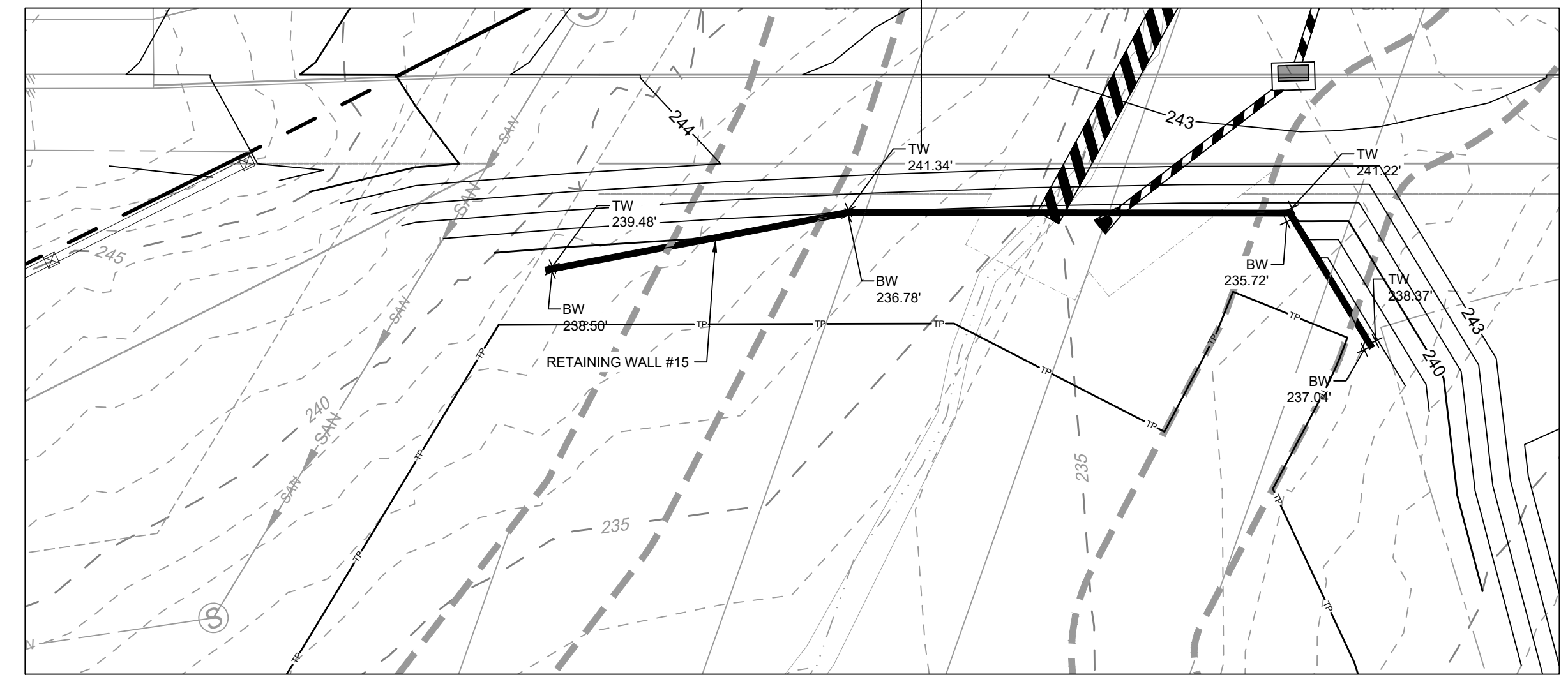
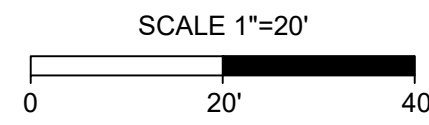
SHEET NO.
C4.5

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

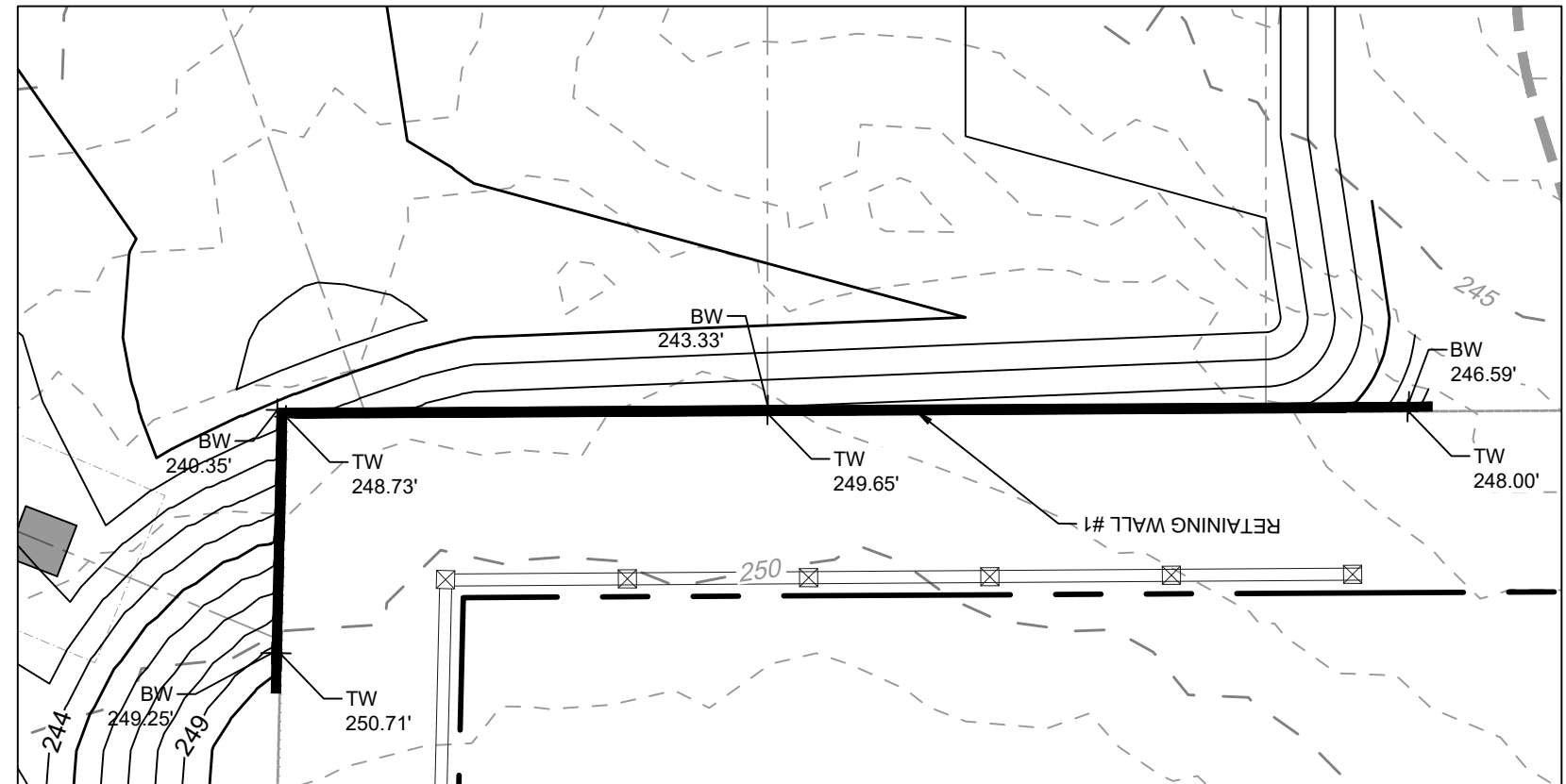
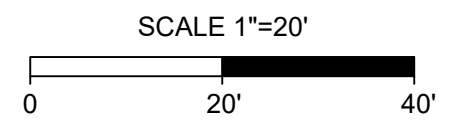
S:\331\48212\img_Timed\DWG\Sheet\SP48212-331-C4-D-GRAD.DWG | Plotted on 5/23/2023 10:10 AM | by Gibson Bilawaste



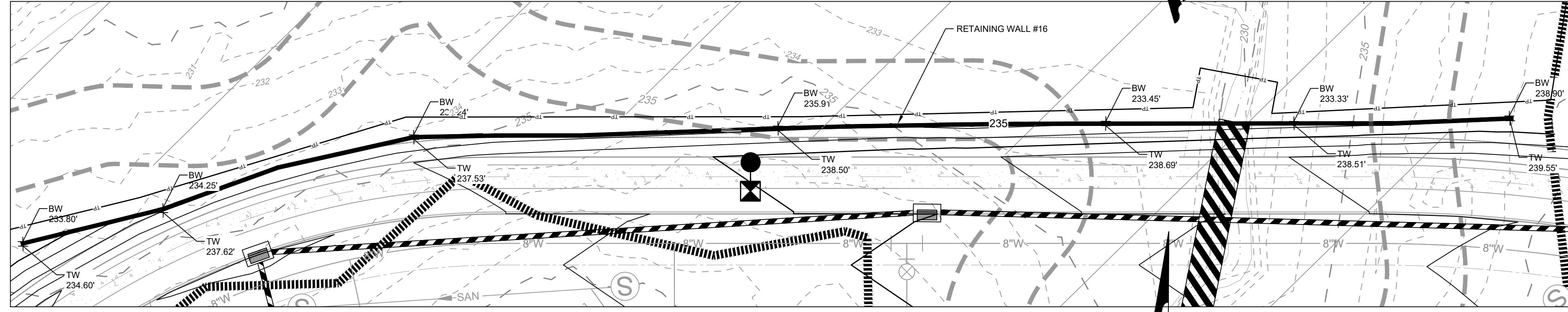
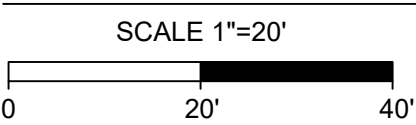
RETAINING WALL #17 PLAN VIEW



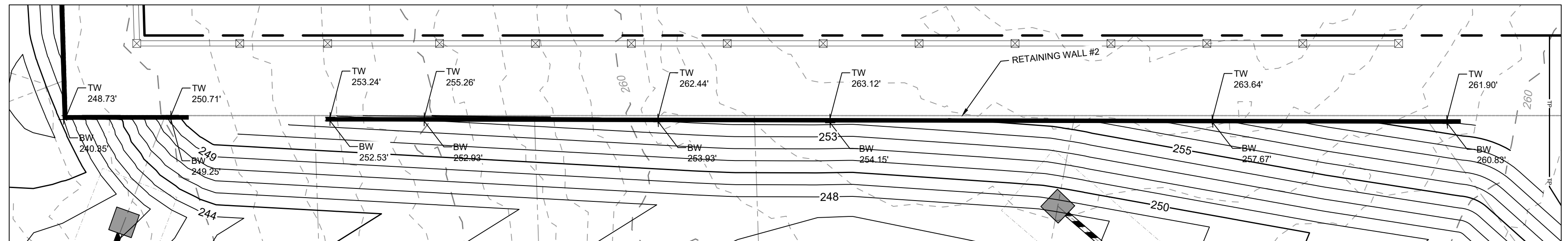
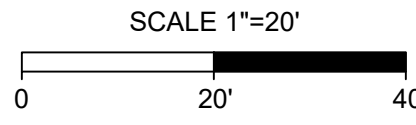
RETAINING WALL #15 PLAN VIEW



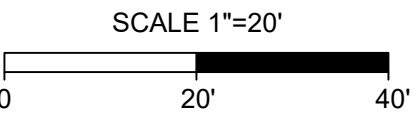
RETAINING WALL #18 PLAN VIEW



RETAINING WALL #16 PLAN VIEW



RETAINING WALL #19 PLAN VIEW



LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	COJ GREENWAY EASEMENT
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	NEUSE RIPARIAN BUFFER
	100 YEAR FLOODPLAIN
	PERMITS
	ZONE AE FLOODPLAIN
	FLOODWAY
	TREE PROTECTION FENCE

- RETAINING WALL NOTES:**
1. ALL RETAINING WALLS TO BE DESIGNED, PERMITTED, & RAILING REQUIREMENT ASSESSMENT BY OTHERS. ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS.
 2. RETAINING WALL DESIGNERS TO PROVIDE FINAL BYPASS SWALES ALONG WALL PERIMETER. GRADES PROVIDE ON THESE DRAWINGS PROVIDED FOR DESIGN INTENT AND REFERENCE.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER OF RECORD FOR COORDINATION PURPOSES, WITH FIELD CONDITIONS, UNSEEN CONFLICTS AND ASSOCIATE DRAINAGE, AS NEEDED.
 4. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN(S) FOR REVIEW AND APPROVAL FROM TOWN.
 5. ALL RETAINING WALLS WILL REQUIRE A BUILDING PERMIT FROM THE JURISDICTIONS INSPECTIONS DEPT.
 6. TOP OF WALL SPOT GRADES PROVIDE 6" ELEVATION DIFFERENCE ABOVE GRADE SHOWN.

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

CONTRACTOR TO CALL ENGINEER WHEN CULVERTS ARE STAKED AND AGAIN IMMEDIATELY AFTER INSTALLATION PRIOR TO CONSTRUCTION OF HEADWALLS ETC.



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

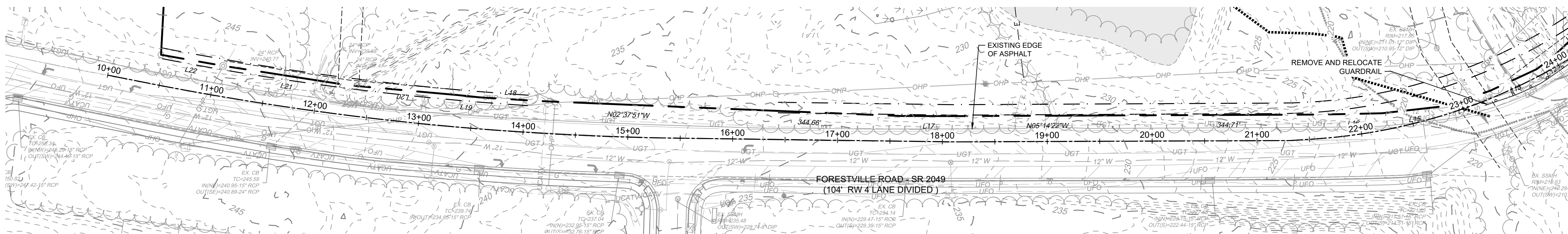
SCALE
1" = 20'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

DETAILED GRADING PLAN - RETAINING WALLS
JOB NO.
48212
SHEET NO.
C4.6

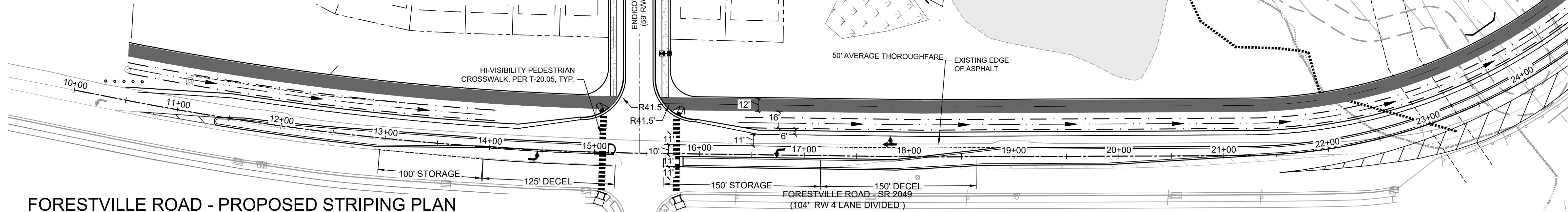
PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

S:\331\MB212\img_Timed\DWG\Sheet\SP48212\C4.6-GRAD.DWG | Plotted on 5/23/2023 10:11 AM | by Gibson Bilvestre



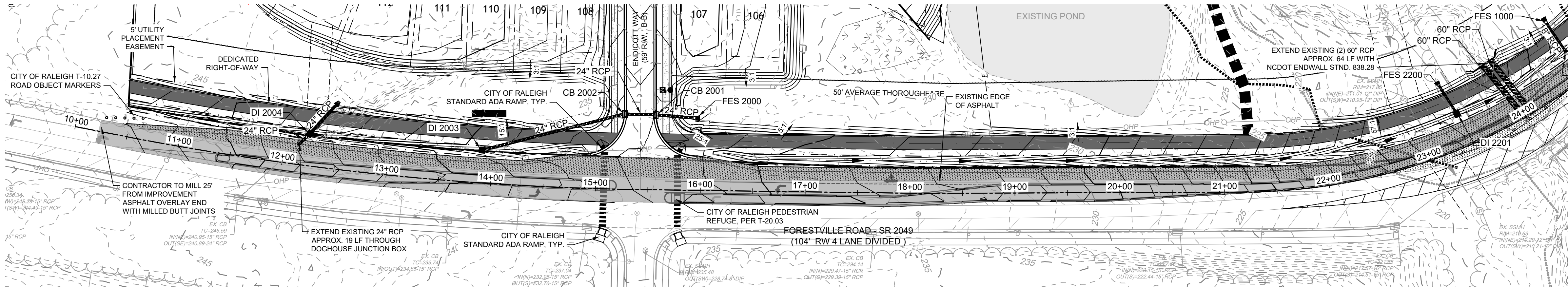
FORESTVILLE ROAD - EXISTING CONDITIONS PLAN

SCALE: 1" = 60'



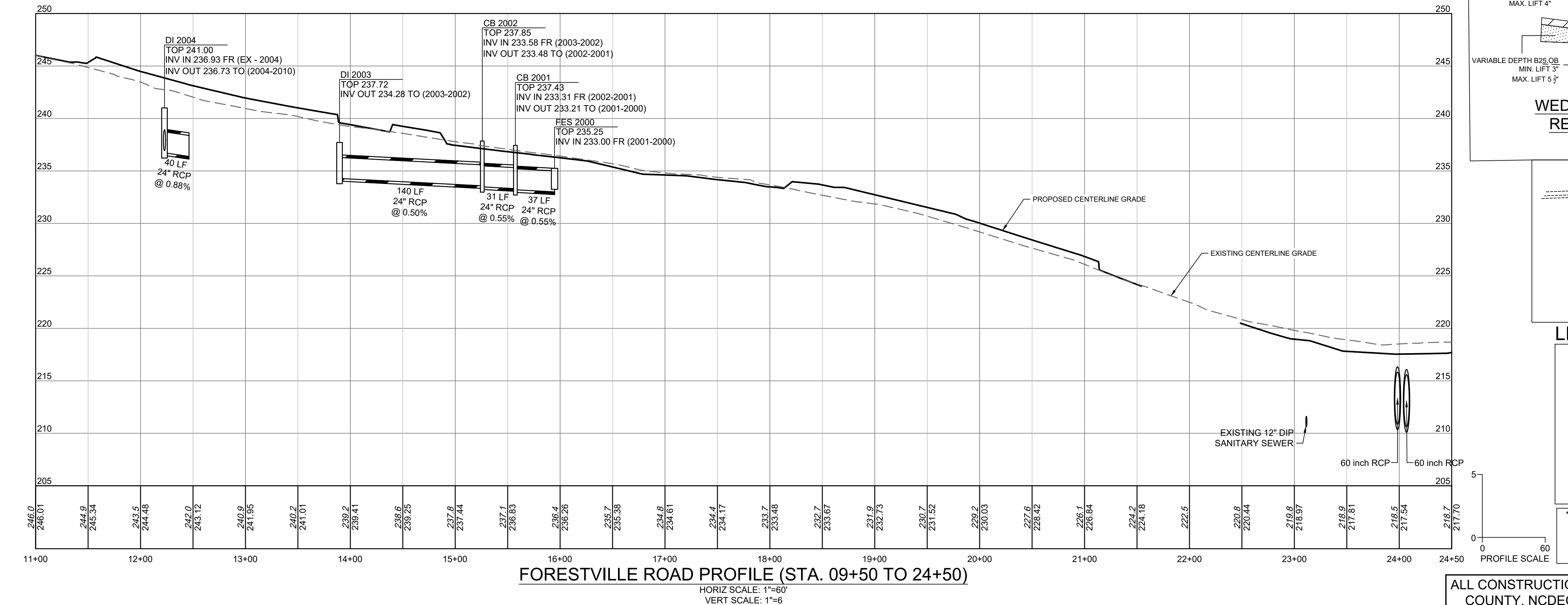
FORESTVILLE ROAD - PROPOSED STRIPING PLAN

SCALE: 1" = 60'



FORESTVILLE ROAD - PROPOSED IMPROVEMENTS PLAN

SCALE: 1" = 60'

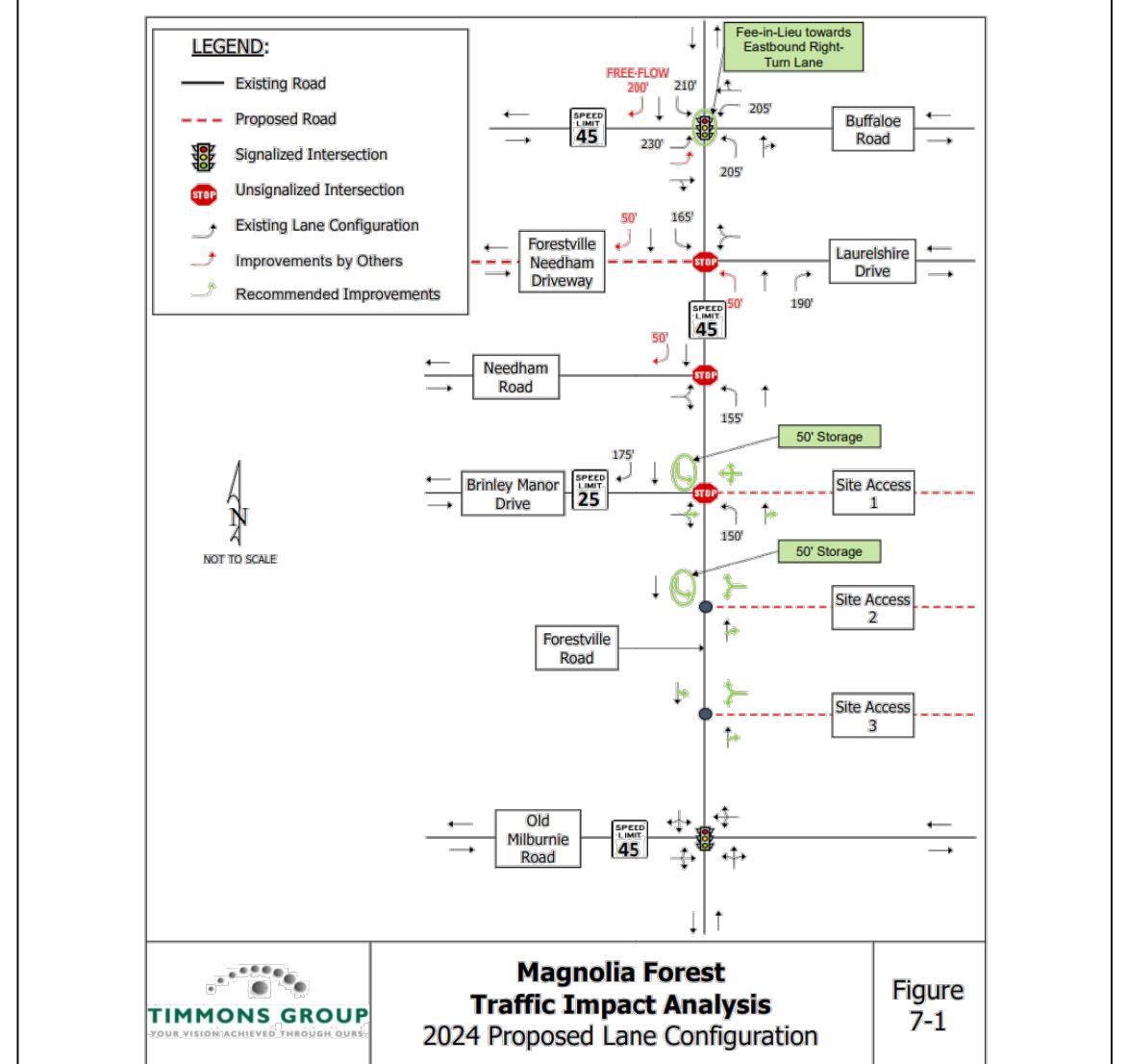


FORESTVILLE ROAD PROFILE (STA. 09+50 TO 24+50)

HORIZ SCALE: 1"=60'
VERT SCALE: 1"=6'

The analysis performed by Timmons indicates that the proposed development will have impacts to the surrounding roadway network and intersections but can be mitigated with the study's recommended improvements listed below.

- **Buffalo Road at Forestville Road**
 - Fee-in-lieu (proportionate to the development's impact) towards the construction of an eastbound right-turn lane
- **Brimley Manor Drive at Forestville Road / Site Access 1**
 - 50-foot southbound left-turn lane (with appropriate taper)
- **Site Access 2 at Forestville Road**
 - 50-foot southbound left-turn lane (with appropriate taper)

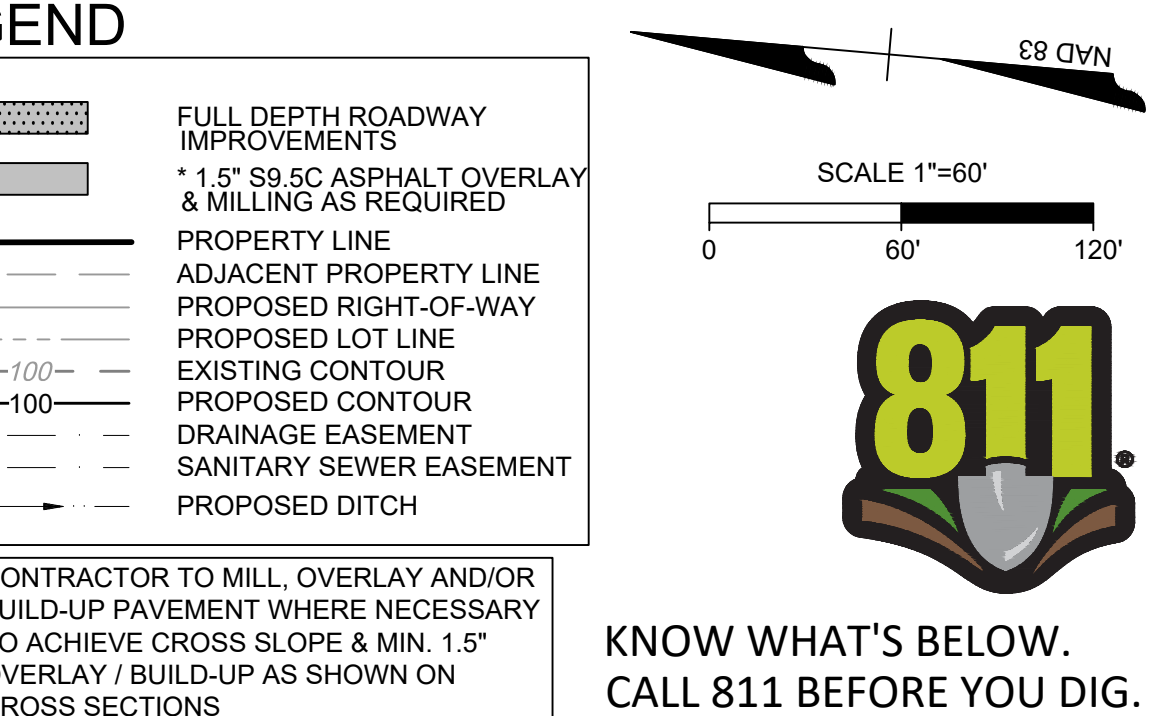
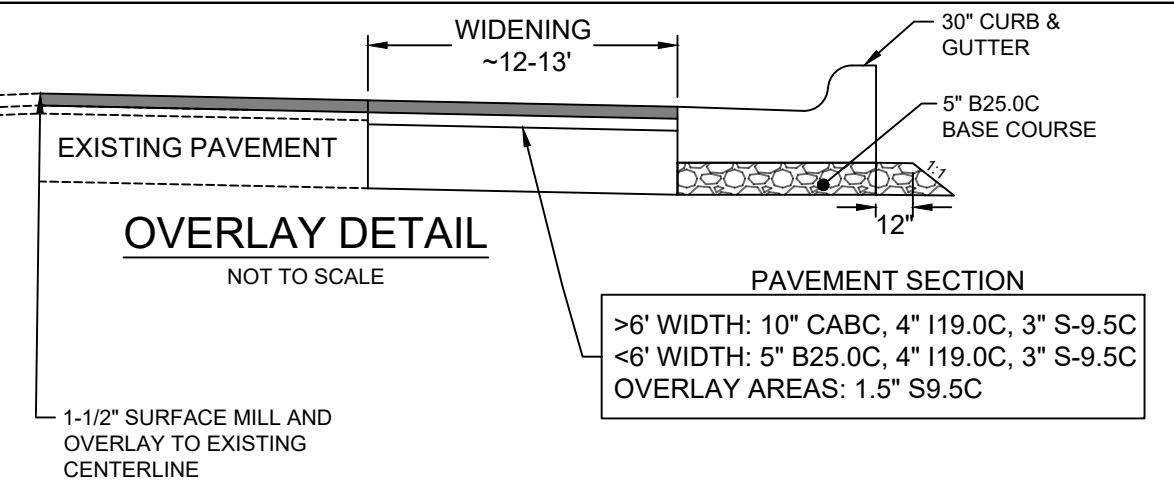
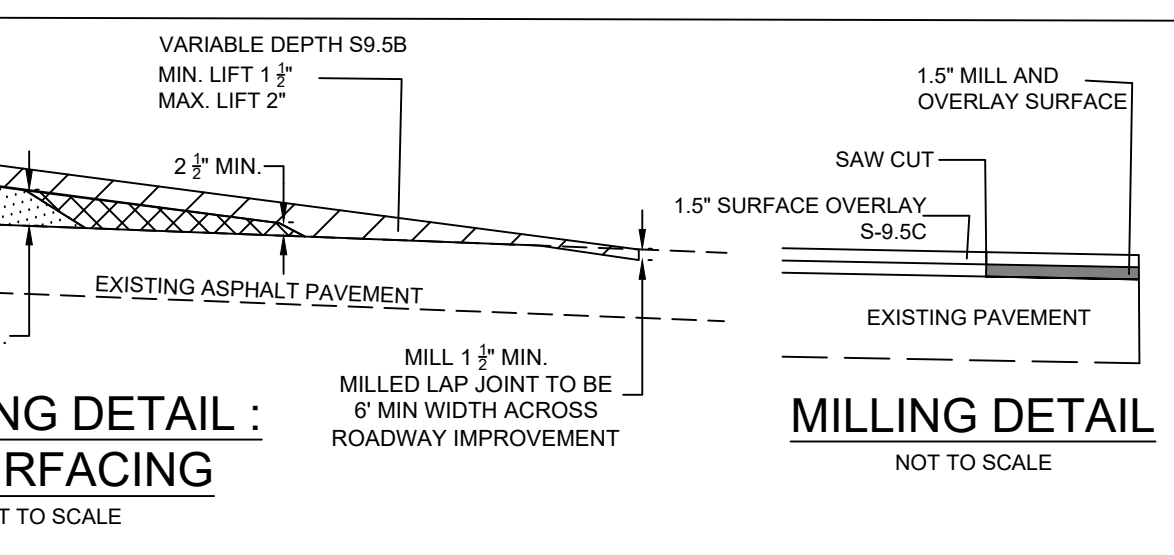


Magnolia Forest Traffic Impact Analysis 2024 Proposed Lane Configuration

Figure 7-1

GENERAL CONTRACTOR
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- TRAFFIC CONTROL NOTES**
1. ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 2. ALL SIGNS SHALL BE MOUNTED WITH 5-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB. GALV. STEEL U-CHEMEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS AND SPECIFICATIONS.
 4. ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY NCDOT INSPECTOR PRIOR TO SIGN INSTALLATION.
 5. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY NCDOT.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	05/23/2023

DATE	05/23/2023
DRAWN BY	331
DESIGNED BY	331
CHECKED BY	M. ZACCARDO
SCALE	H: 1" = 60' V: 1" = 6'

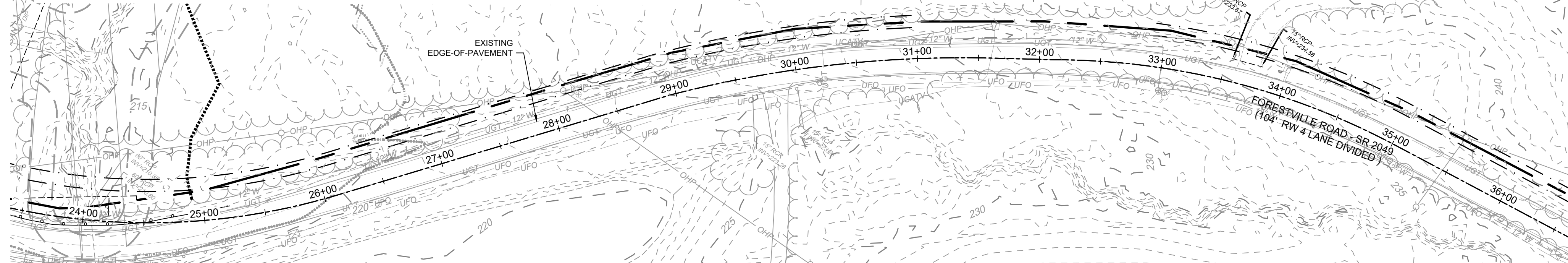
TIMMONS GROUP

MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
 NORTH CAROLINA LICENSE NO. C-1652
OFFSITE ROADWAY IMPROVEMENT - FORESTVILLE ROAD (1 OF 3)

JOB NO. 48212
 SHEET NO. C8.0

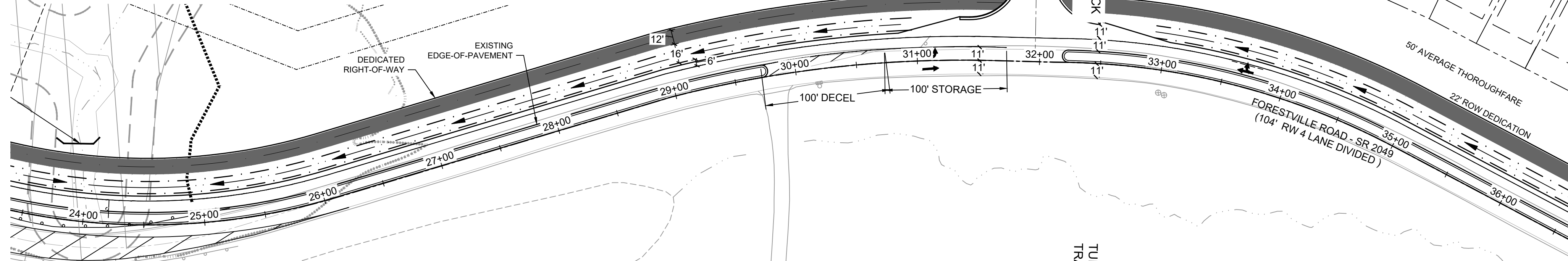
FORESTVILLE ROAD - EXISTING CONDITIONS PLAN

SCALE: 1" = 60'



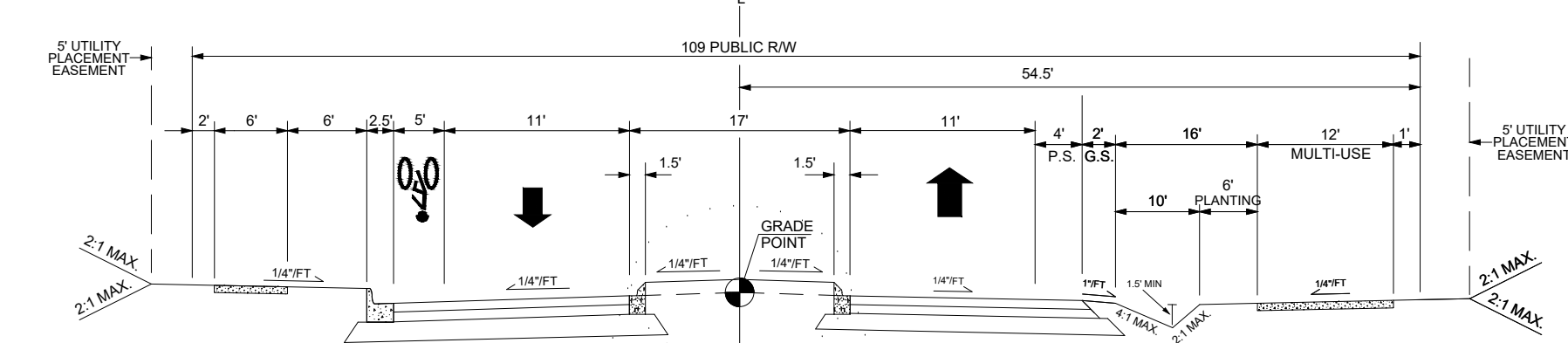
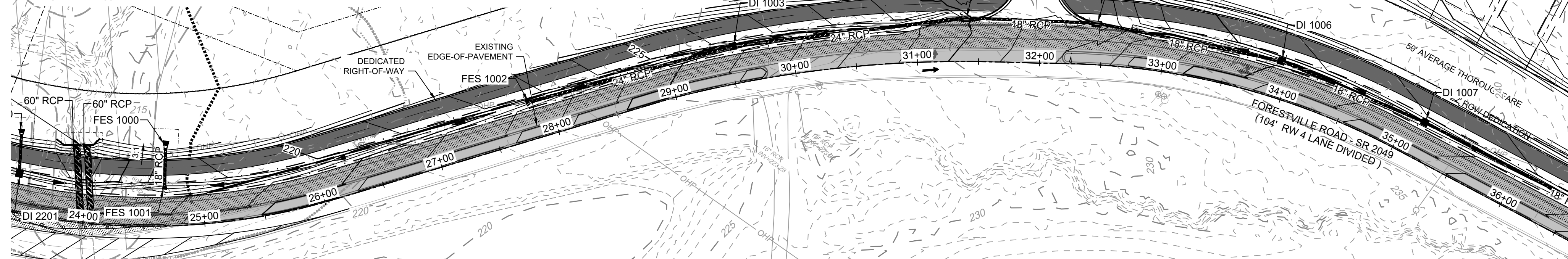
FORESTVILLE ROAD - PROPOSED STRIPING PLAN

SCALE: 1" = 60'



FORESTVILLE ROAD - PROPOSED IMPROVEMENTS PLAN

SCALE: 1" = 60'

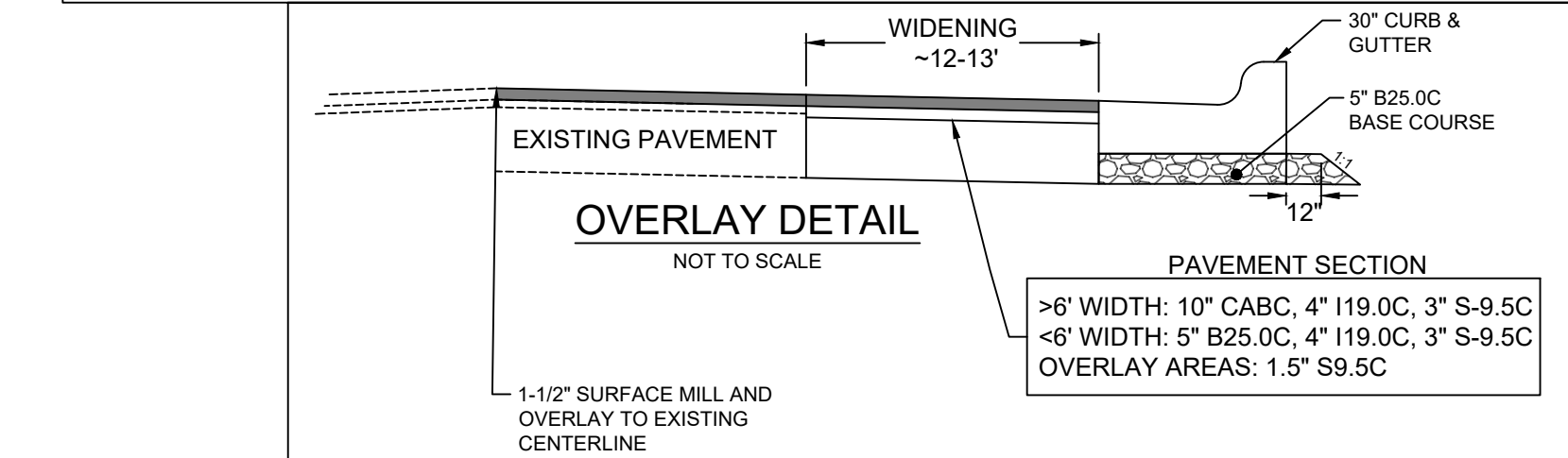
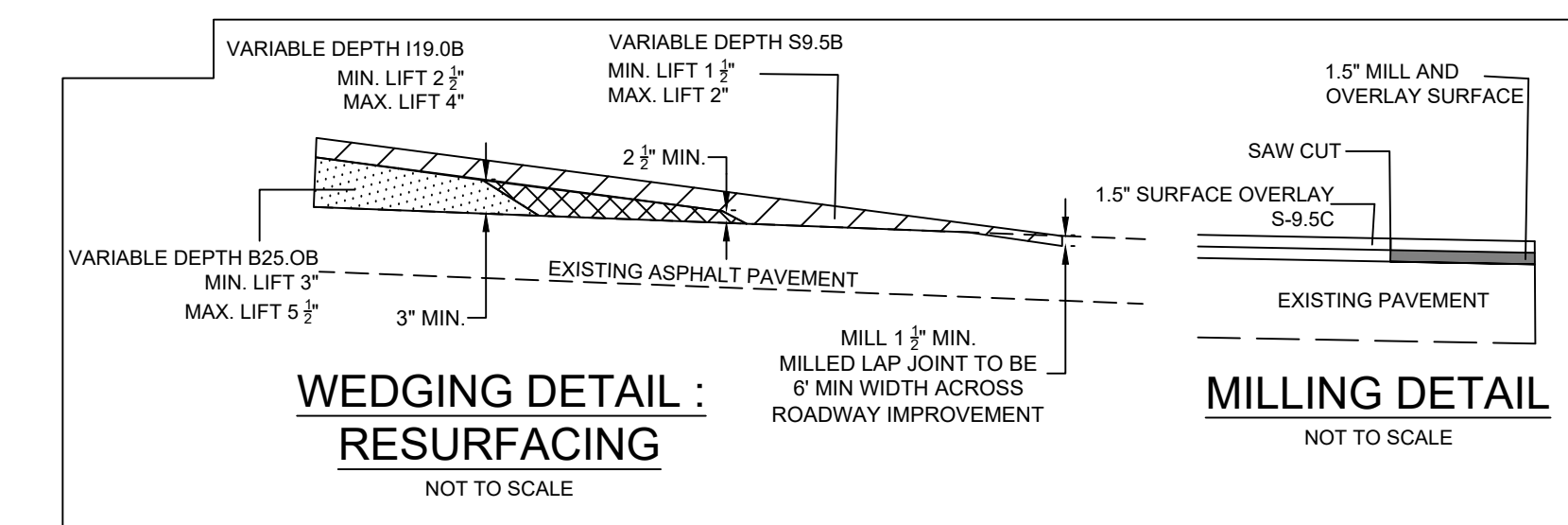


TYPICAL CROSS SECTION - AVENUE 4-LANE DIVIDED - DEVELOPMENT ALTERNATIVE
FORESTVILLE ROAD

GENERAL		PAVEMENT DESIGN
WALKWAY TYPE	SIDEWALK	3" S9.5B
PLANTING TYPE	TREELANES	3" I19.0B
TREE SPACING	40' O.C. AVG	8" ABC
PARKING TYPE	NONE	

TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- ALL SIGNS SHALL BE MOUNTED WITH 5-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS AND SPECIFICATIONS.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY NCDOT INSPECTOR PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY NCDOT.



GENERAL CONTRACTOR

PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD SURVEY SHALL VERIFY LOCATION, DEPTH, SIZE, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES. IN CASE OF CONFLICT OR IF DIFFERENT THAN PLAN, NOTIFY ENGINEER.

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

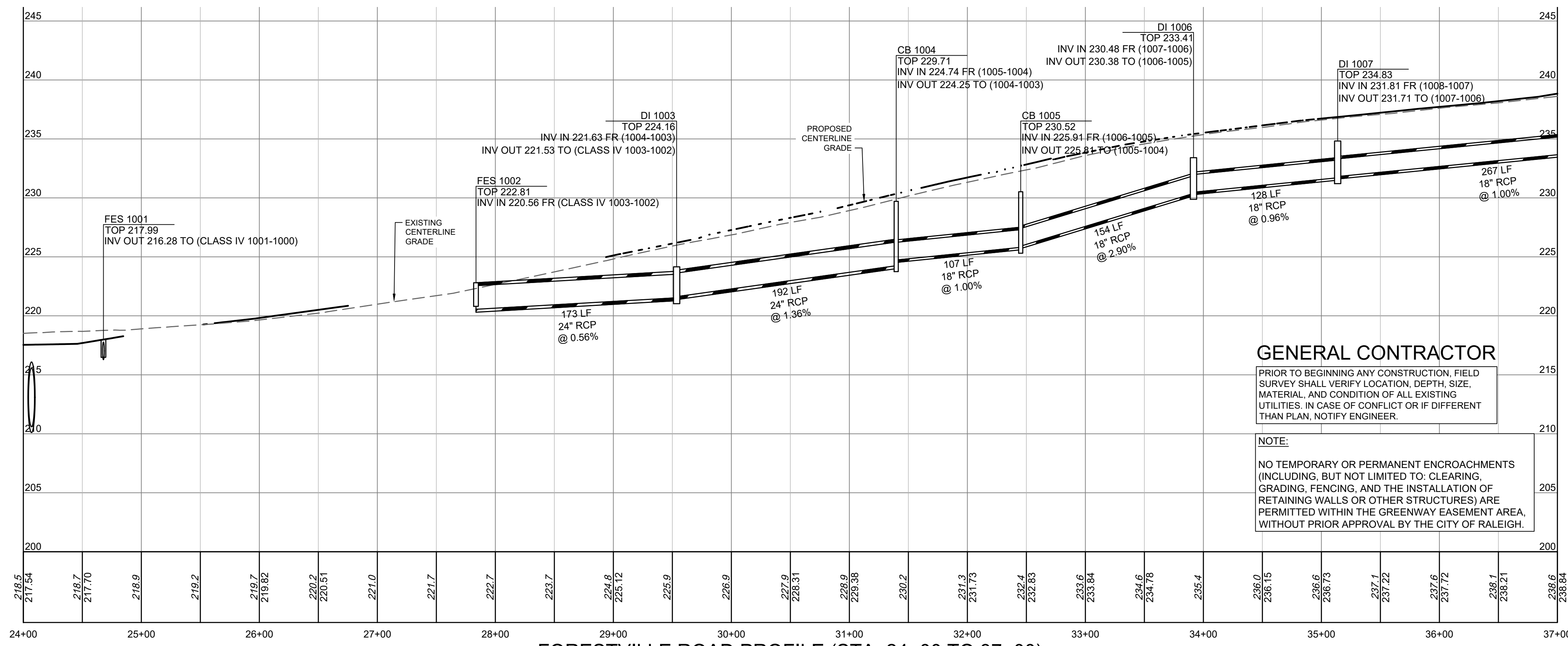
LEGEND

- FULL DEPTH ROADWAY IMPROVEMENTS
- 1.5" S9.5C ASPHALT OVERLAY & MILLING AS REQUIRED
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- PROPOSED DITCH

CONTRACTOR TO MILL, OVERLAY AND/OR BUILD-UP PAVEMENT WHERE NECESSARY TO ACHIEVE CROSS SLOPE & MIN. 1.5" OVERLAY / BUILD-UP AS SHOWN ON CROSS SECTIONS

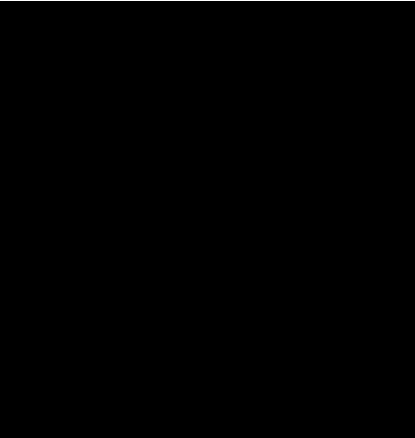
KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



FORESTVILLE ROAD PROFILE (STA. 24+00 TO 37+00)

HORIZ SCALE: 1"=60'
VERT SCALE: 1"=6'



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

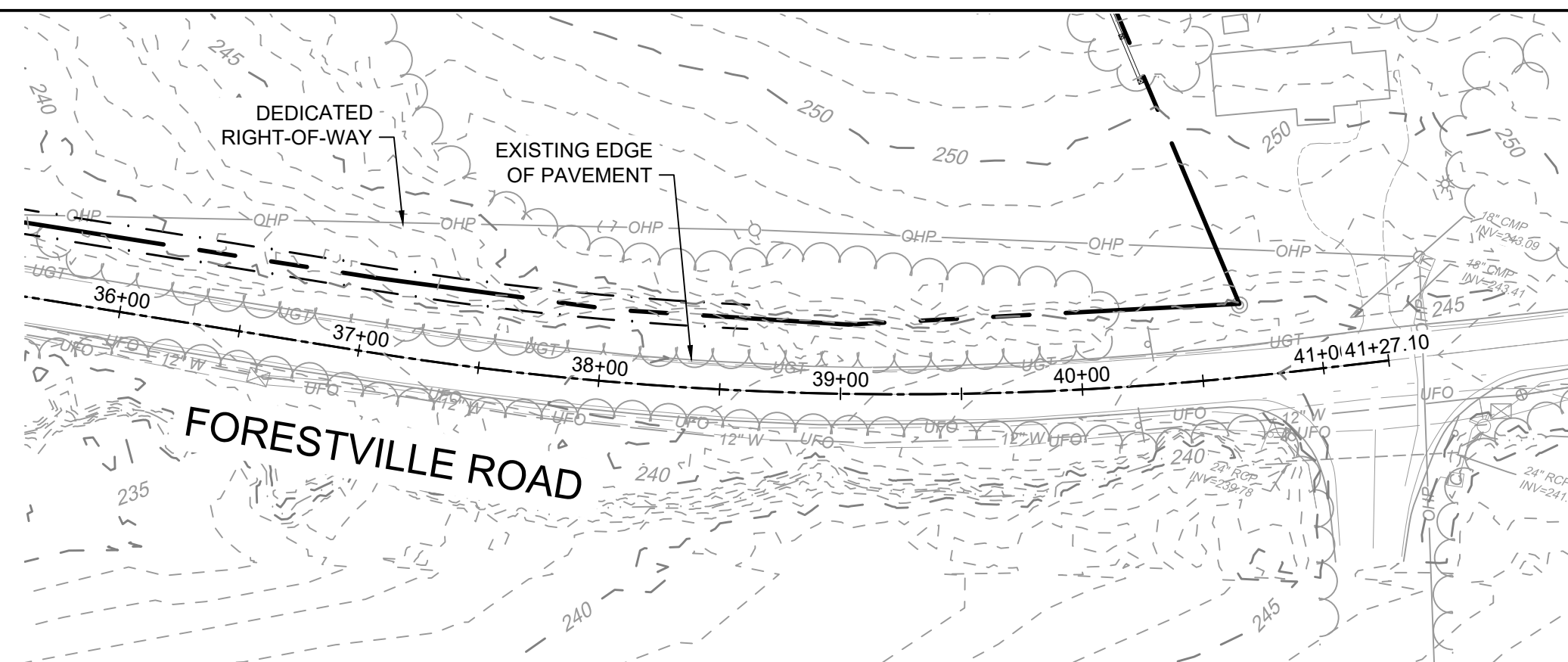
YOUR VISION ACHIEVED THROUGH OURS.

DATE: 05/23/2023
DRAWN BY: 331
DESIGNED BY: 331
CHECKED BY: M. ZACCARDO
SCALE: H: 1" = 60'
V: 1" = 6'

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
NORTH CAROLINA LICENSE NO. C-1652

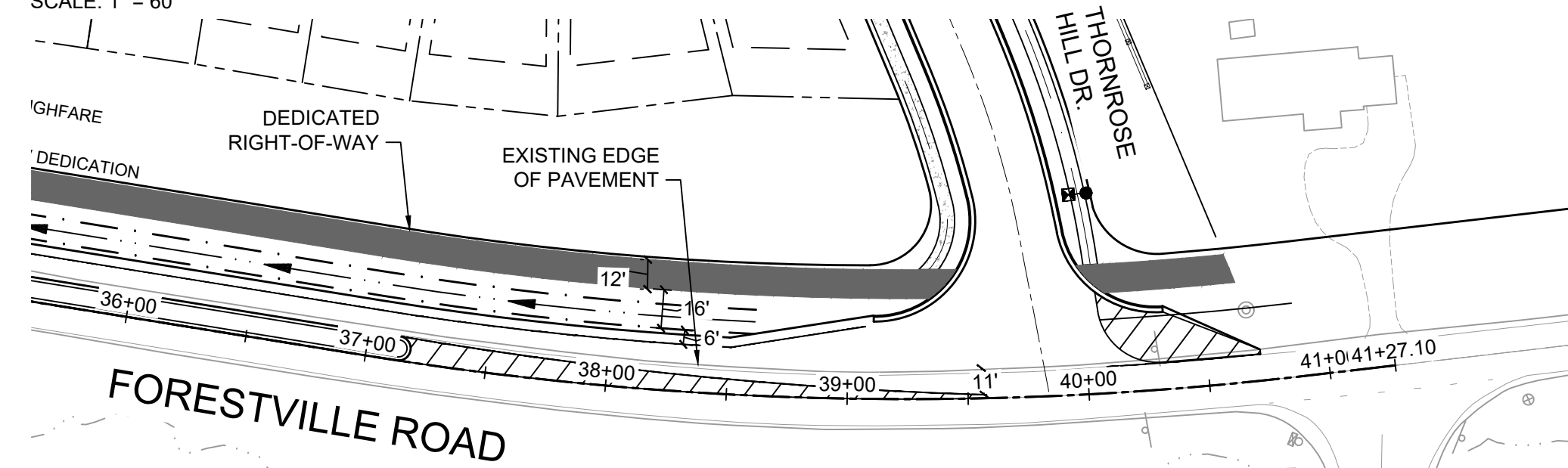
OFFSITE ROADWAY IMPROVEMENT - FORESTVILLE ROAD (2 OF 3)

JOB NO. 48212
SHEET NO. C8.1



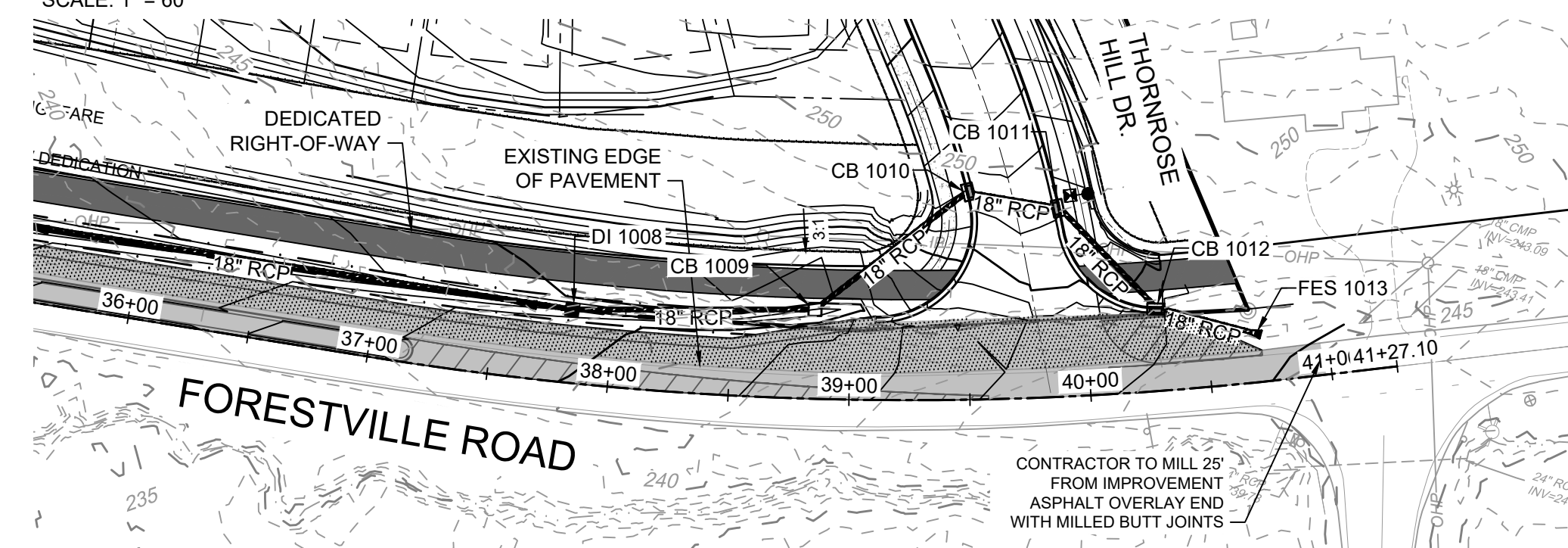
FORESTVILLE ROAD - EXISTING CONDITIONS PLAN

SCALE: 1" = 60'



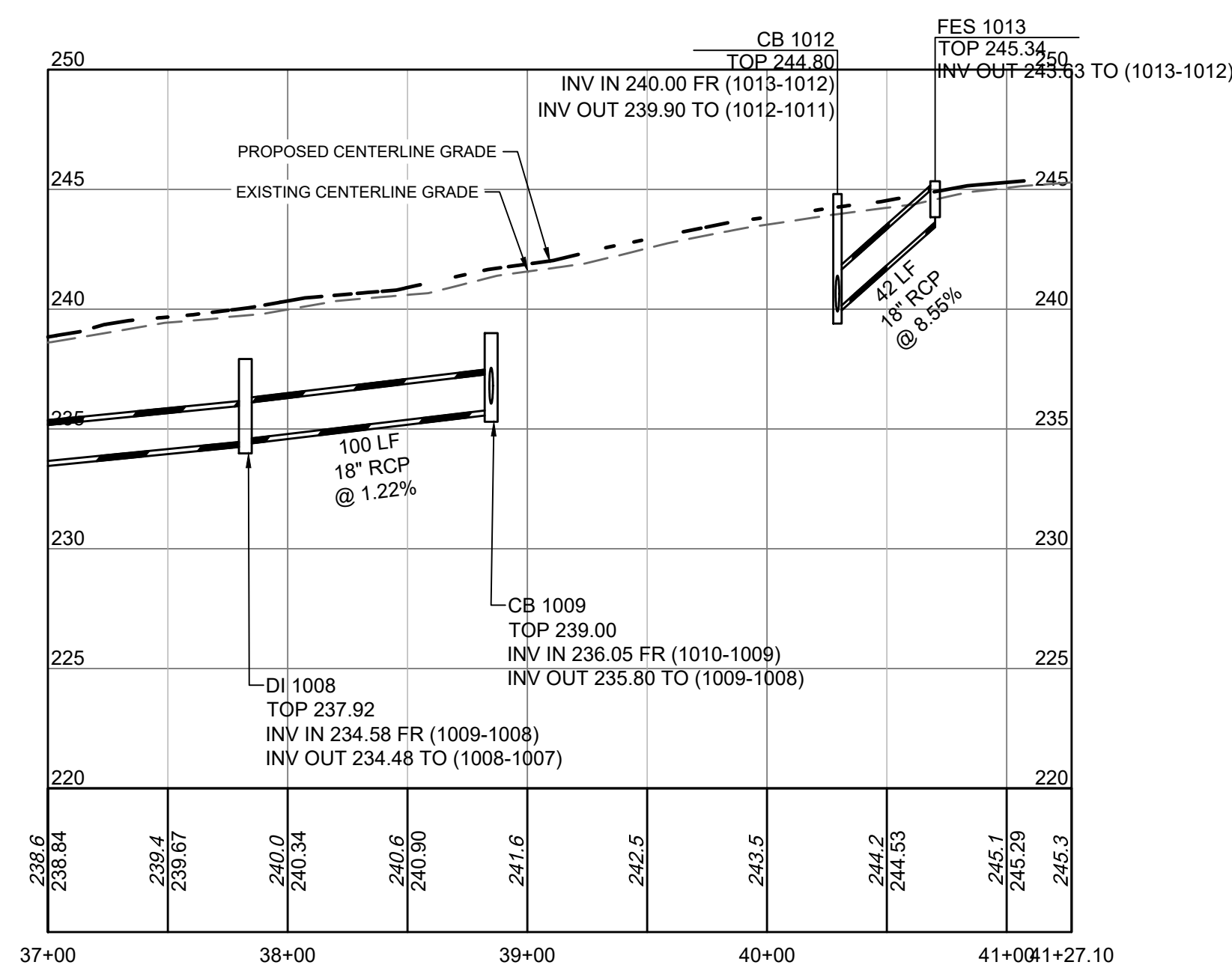
FORESTVILLE ROAD - PROPOSED STRIPING PLAN

SCALE: 1" = 60'



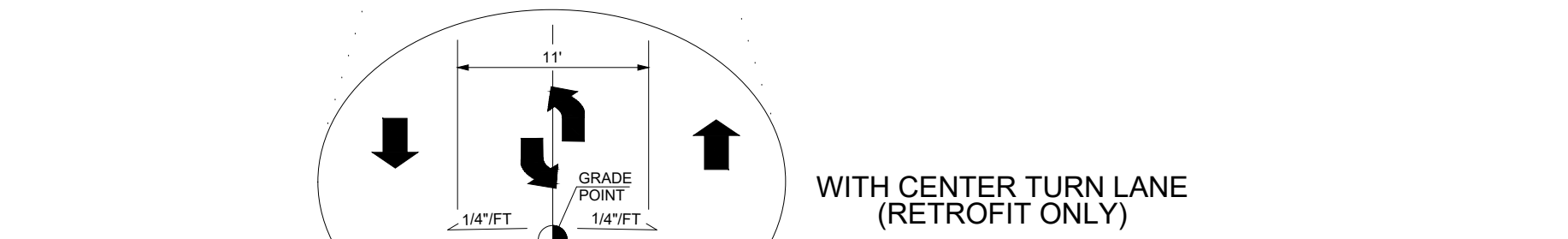
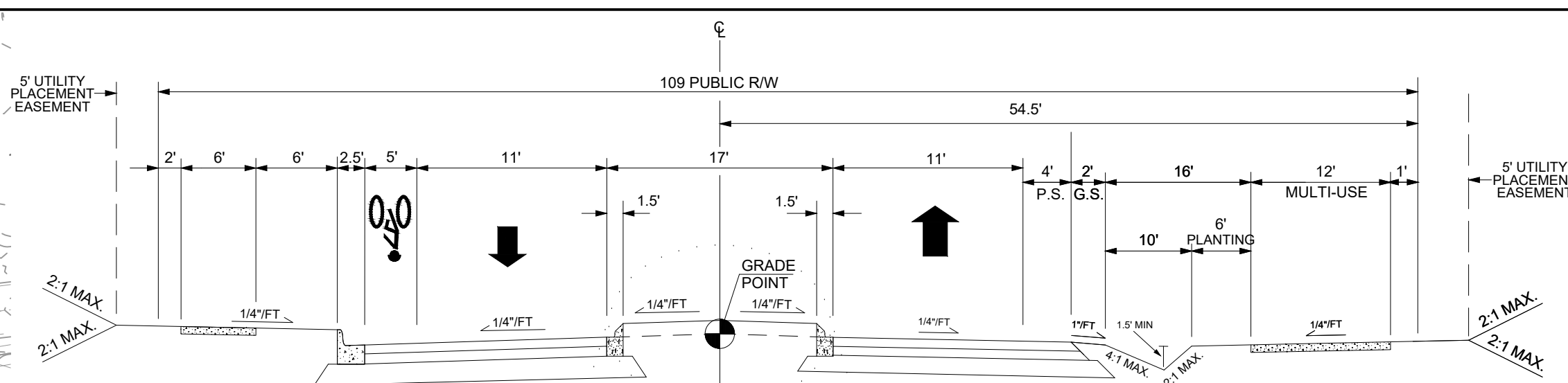
FORESTVILLE ROAD - PROPOSED IMPROVEMENTS PLAN

SCALE: 1" = 60'



FORESTVILLE ROAD PROFILE (STA. 37+00 TO 41+00)

HORIZ SCALE: 1"=60'
VERT SCALE: 1"=6'



TYPICAL CROSS SECTION - AVENUE 4-LANE DIVIDED - DEVELOPMENT ALTERNATIVE FORESTVILLE ROAD

NOT TO SCALE

GENERAL		PAVEMENT DESIGN
WALKWAY TYPE	SIDEWALK	3" S9.5B
PLANTING TYPE	TREE/LAWN	3" I19.0B
TREE SPACING	40' O.C. AVG	8" ABC
PARKING TYPE	NONE	

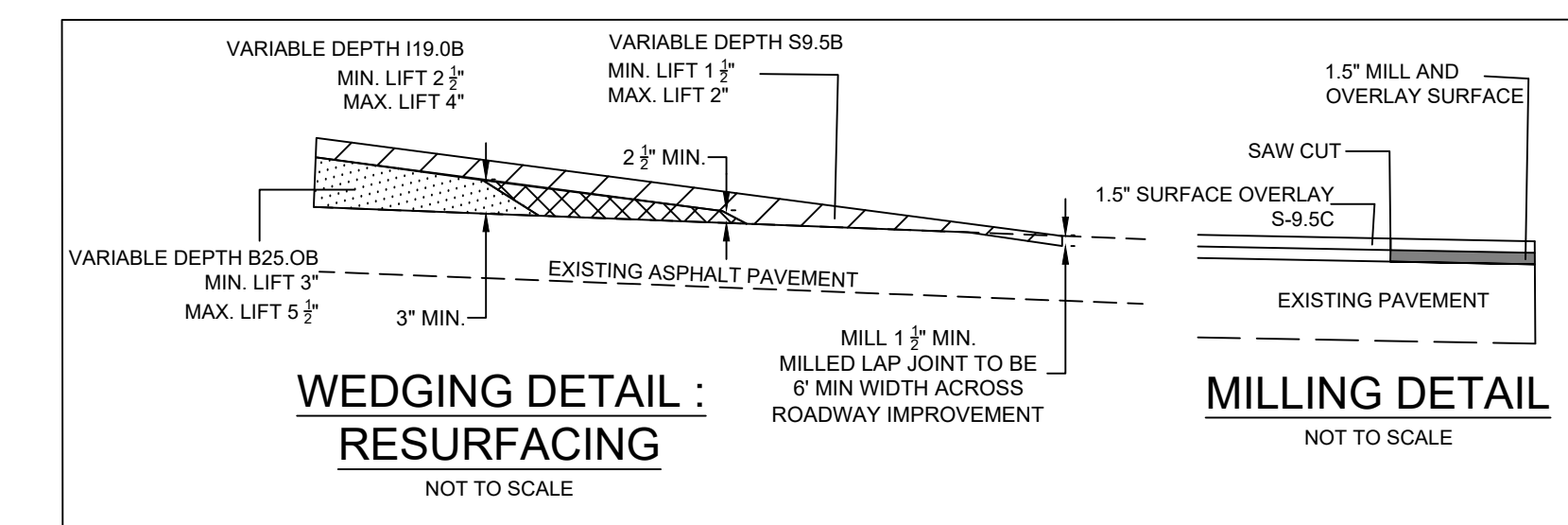
GENERAL CONTRACTOR

PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD SURVEY SHALL VERIFY LOCATION, DEPTH, SIZE, MATERIAL, AND CONDITION OF ALL EXISTING UTILITIES. IN CASE OF CONFLICT OR IF DIFFERENT THAN PLAN, NOTIFY ENGINEER.

TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- ALL SIGNS SHALL BE MOUNTED WITH 5-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB. GALV. STEEL U-CHEMEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTING.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS AND SPECIFICATIONS.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY NCDOT INSPECTOR PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY NCDOT.

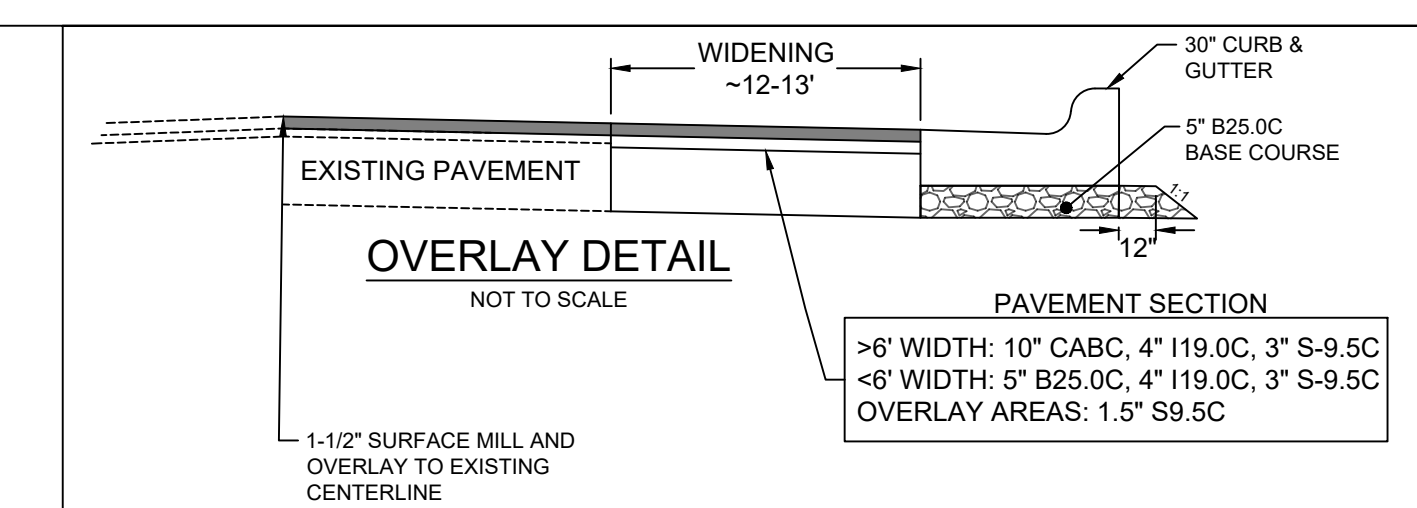
NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



WEDGING DETAIL: RESURFACING

MILLING DETAIL

NOT TO SCALE



OVERLAY DETAIL

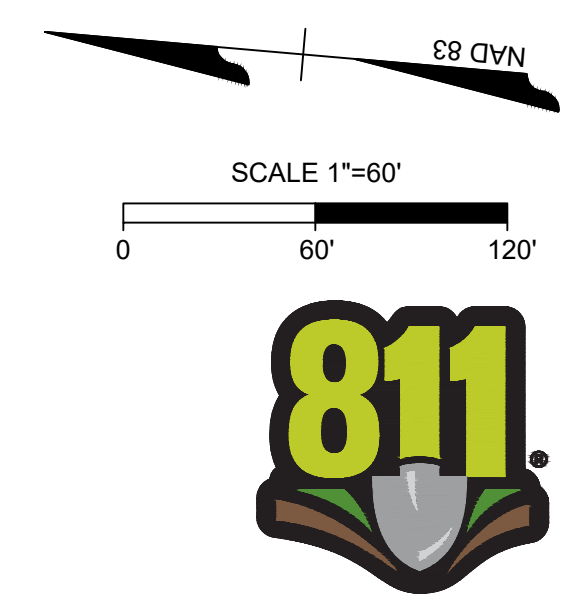
PAVEMENT SECTION

NOT TO SCALE

LEGEND

- FULL DEPTH ROADWAY IMPROVEMENTS
- 5" S9.5C ASPHALT OVERLAY & MILLING AS REQUIRED
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- PROPOSED DITCH

* CONTRACTOR TO MILL, OVERLAY AND/OR BUILD-UP PAVEMENT WHERE NECESSARY TO ACHIEVE CROSS SLOPE & MIN. 1.5" OVERLAY / BUILD-UP AS SHOWN ON CROSS SECTIONS



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP

MAGNOLIA FOREST

5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

NORTH CAROLINA LICENSE NO. C-1652

OFFSITE ROADWAY IMPROVEMENT - FORESTVILLE ROAD (3 OF 3)

JOB NO. 48212

SHEET NO. C8.2

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.866.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE	REVISION DESCRIPTION
05/23/2023	

DATE

DESIGNED BY

CHECKED BY

SCALE

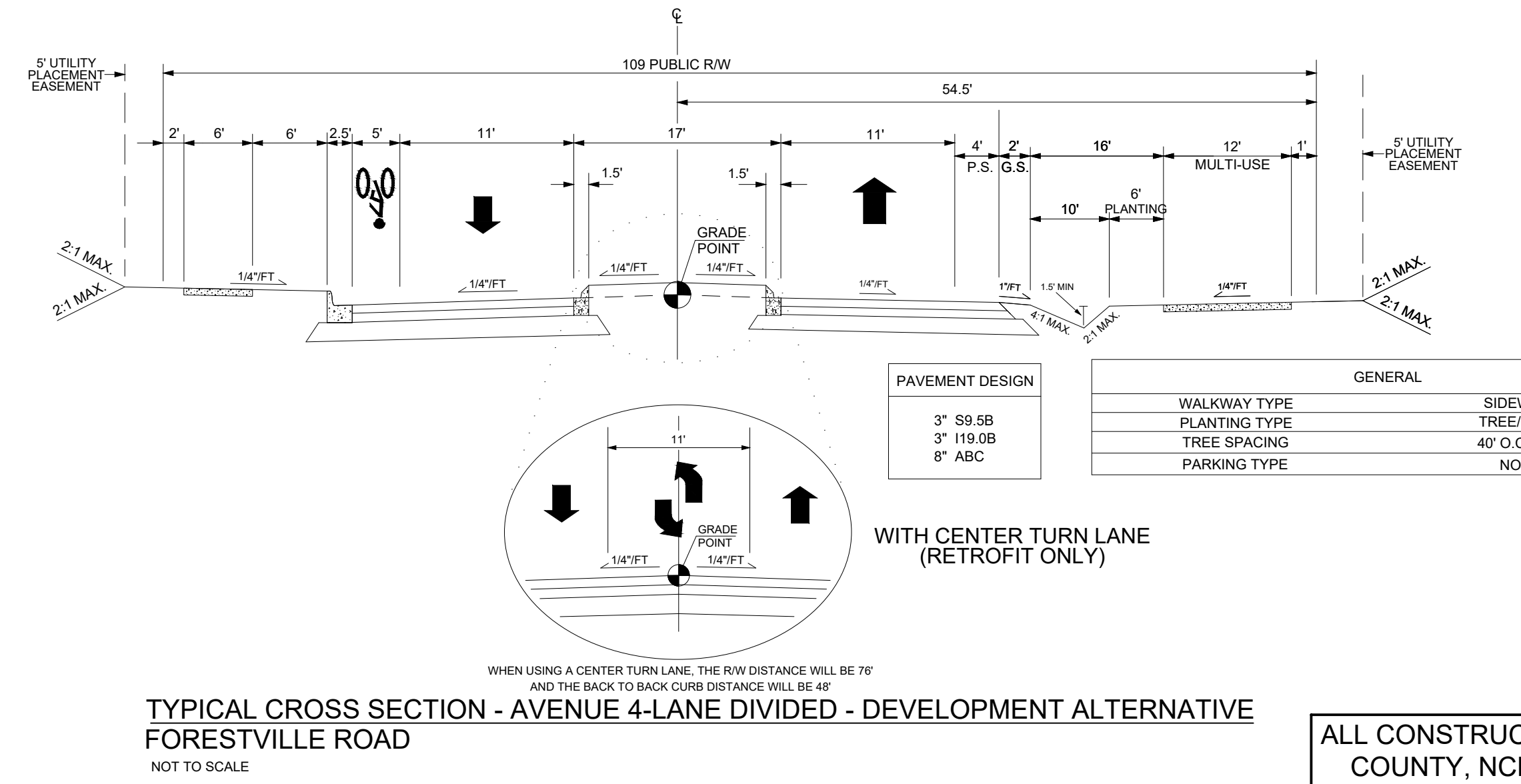
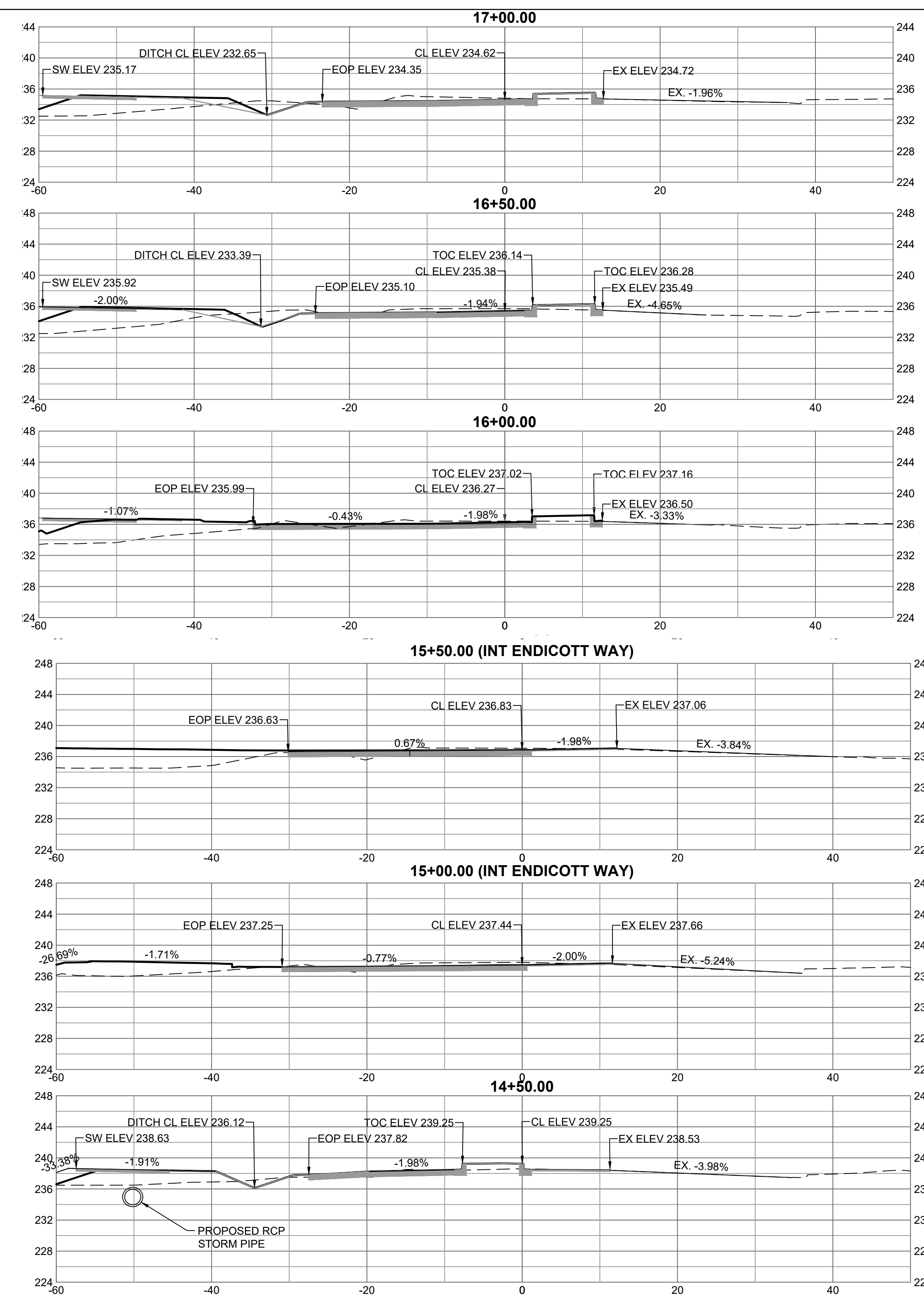
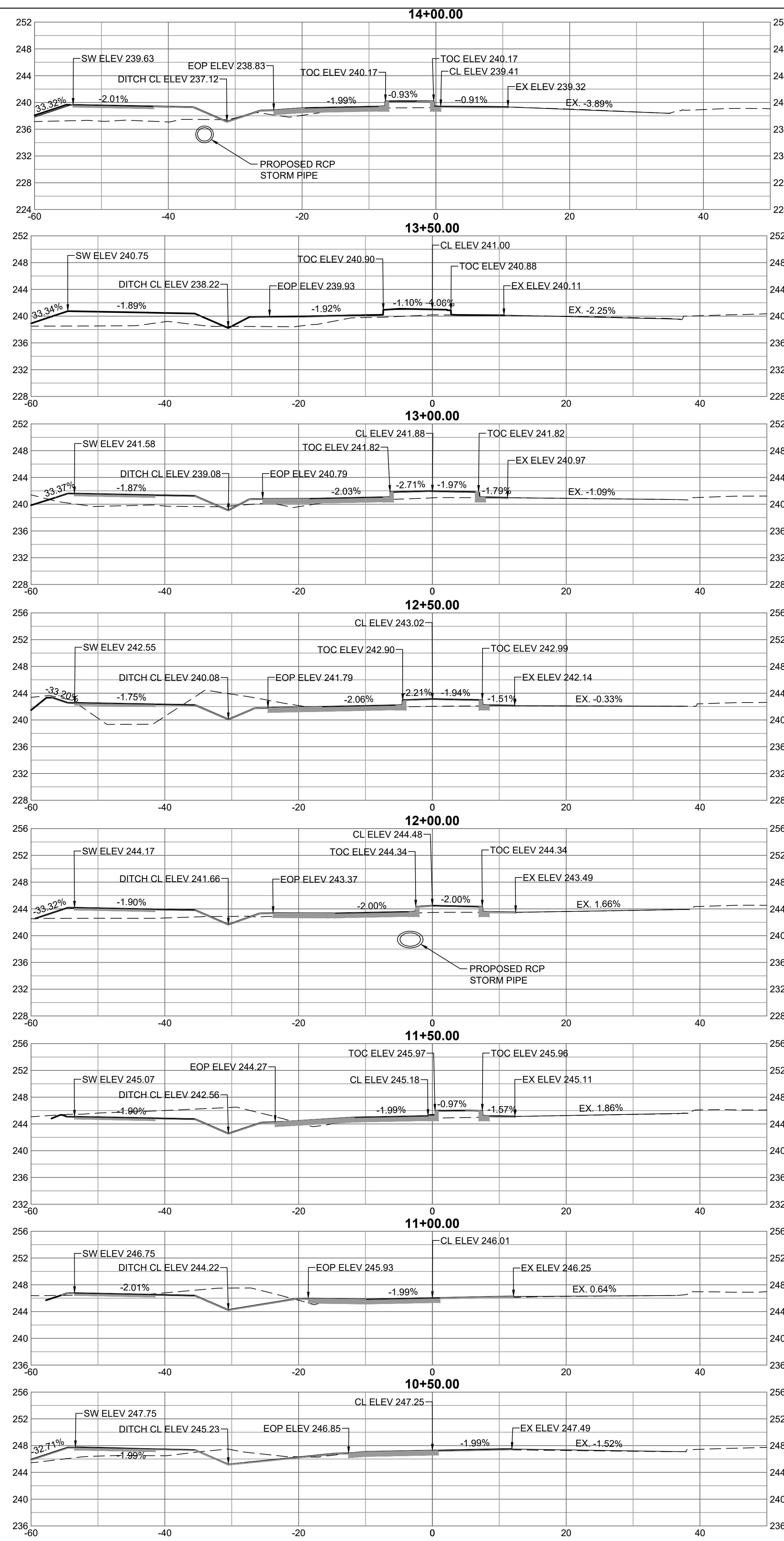
DATE

DESIGNED BY

CHECKED BY

SCALE

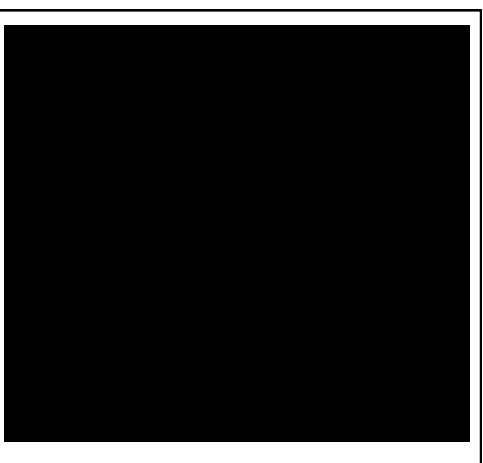
S:\33148212\hgs_trac\DWG\SheetPSP48212-331-C8-10-RD WIDEN X SECTIONS.dwg | Printed on 5/23/2023 10:13 AM | by Gibson Blakestein



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Raleigh, NC 27607
 TEL: 919.866.4951 FAX: 919.833.8124 www.timmons.com

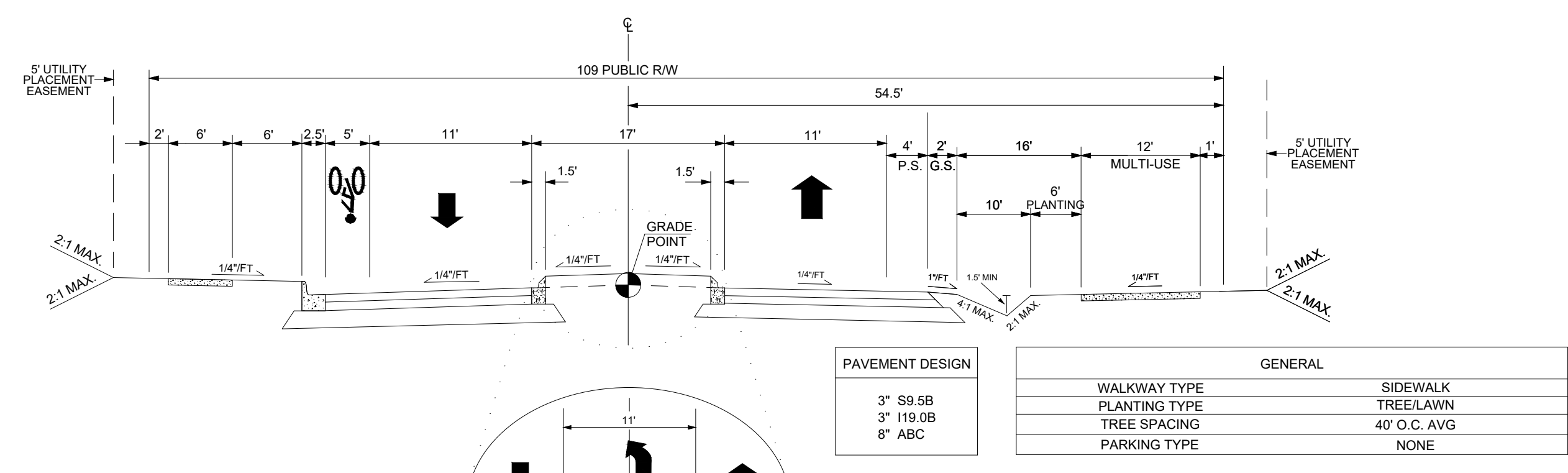
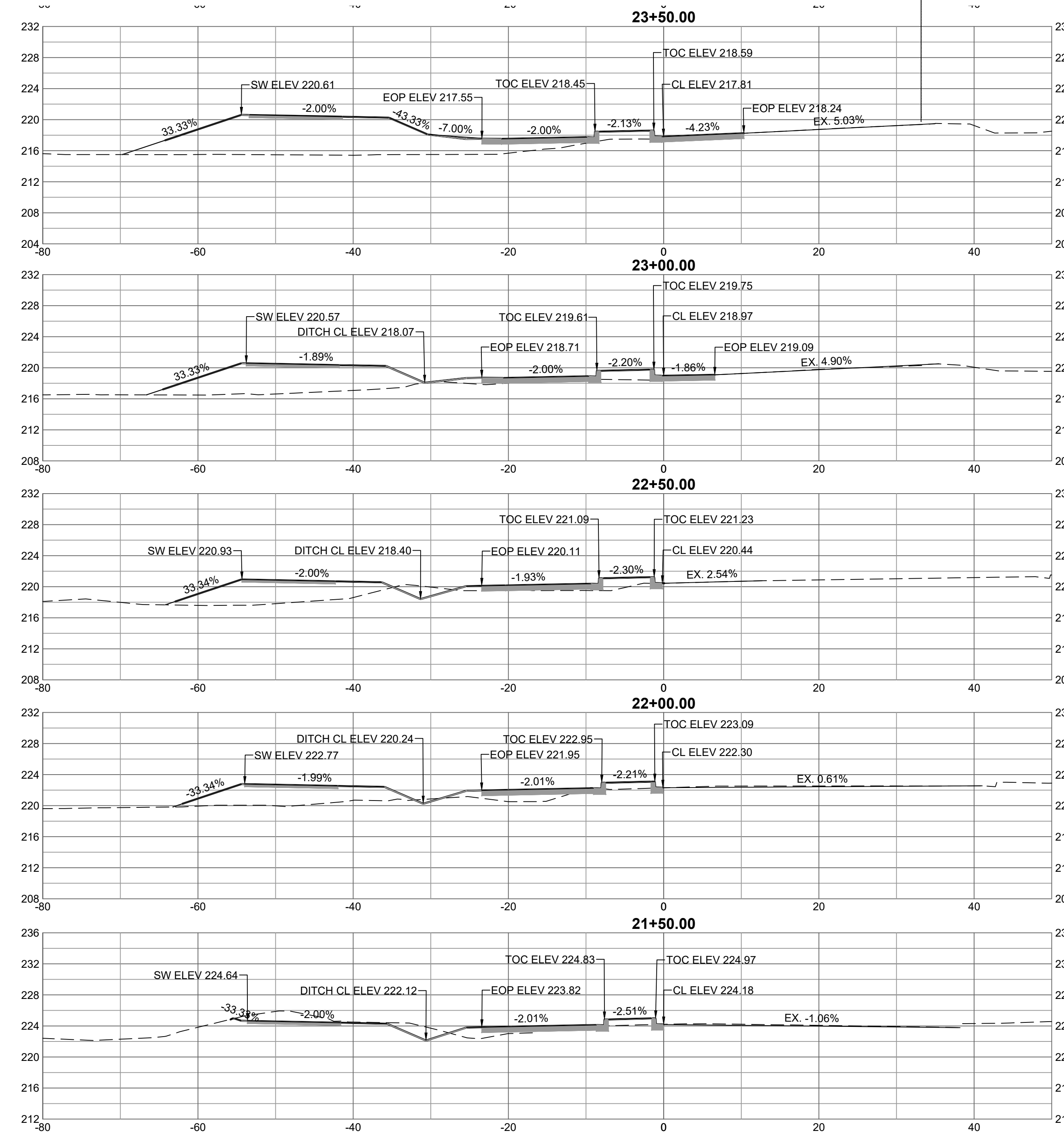
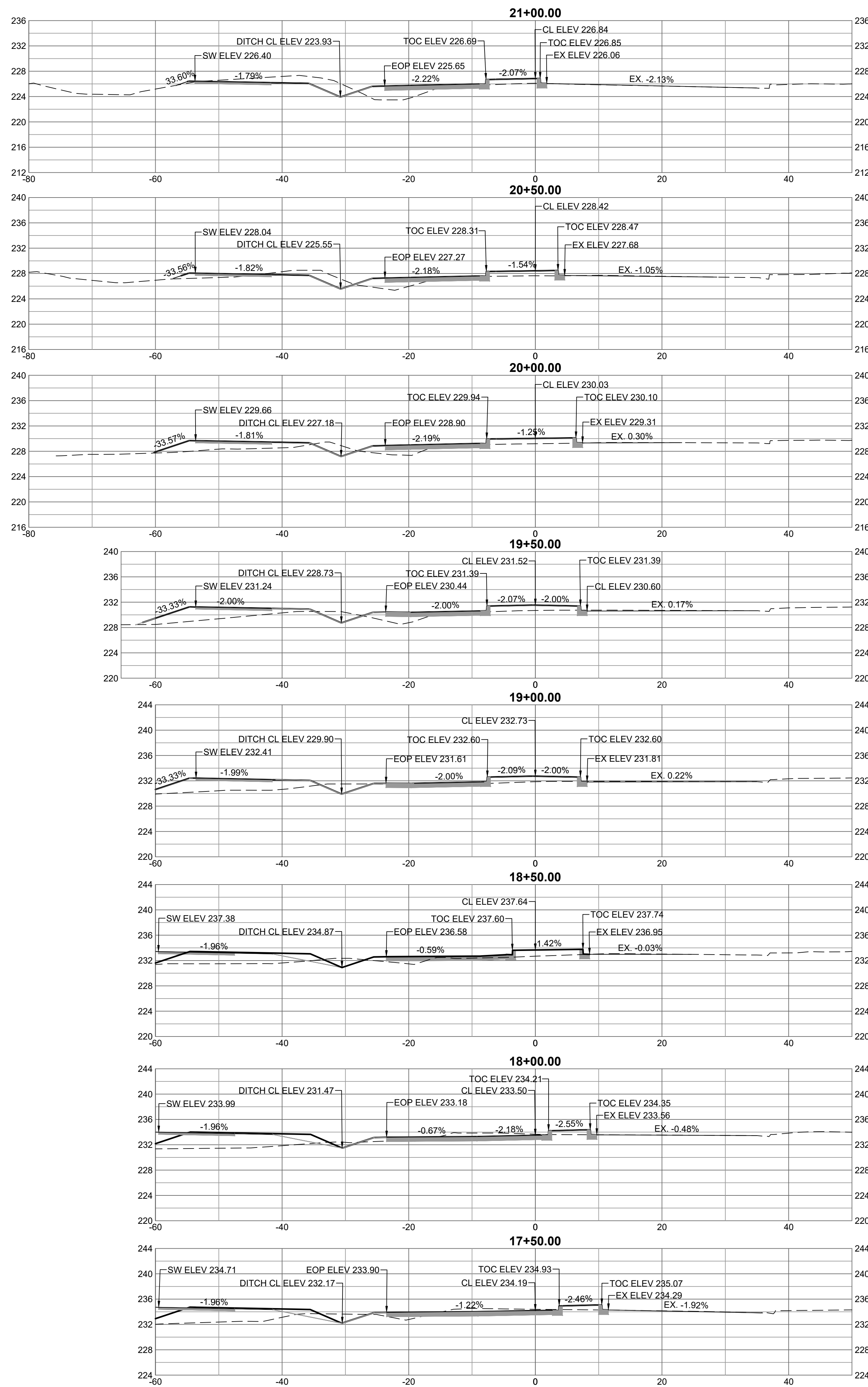
YOUR VISION ACHIEVED THROUGH OURS.

DATE: 05/23/2023
 DRAWN BY: 331
 DESIGNED BY: 331
 CHECKED BY: M. ZACCARDO
 SCALE: H: 1" = 10', V: 1" = 1'

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
FORESTVILLE ROAD CROSS SECTIONS (1 OF 5)

JOB NO. 48212
 SHEET NO. C8.10

S:\33148212\hgs_trac\DWG\Sheet\SP48212-31-C8-10-RD WIDEN X SECTIONS.dwg | Printed on 5/23/2023 10:13 AM | by Gibson Blakekise



TYPICAL CROSS SECTION - AVENUE 4-LANE DIVIDED - DEVELOPMENT ALTERNATIVE
 FORESTVILLE ROAD
 NOT TO SCALE



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Raleigh, NC 27607
 TEL: 919.866.4951 FAX: 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE

REVISION DESCRIPTION

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACCARDO

SCALE

H: 1" = 10'
 V: 1" = 1'

JOB NO.

48212

SHEET NO.

C8.11

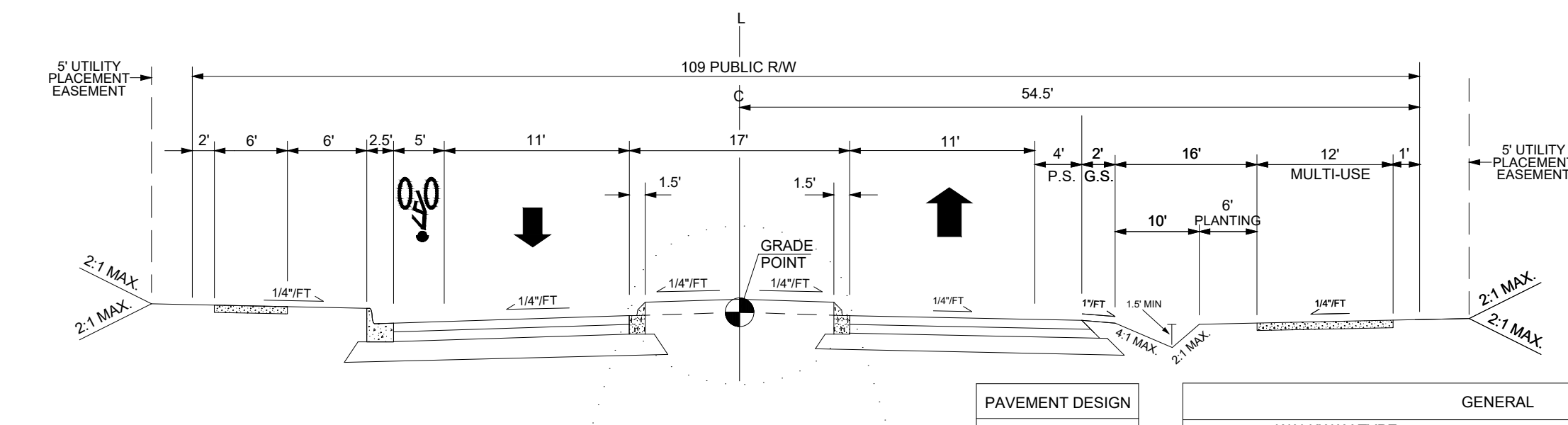
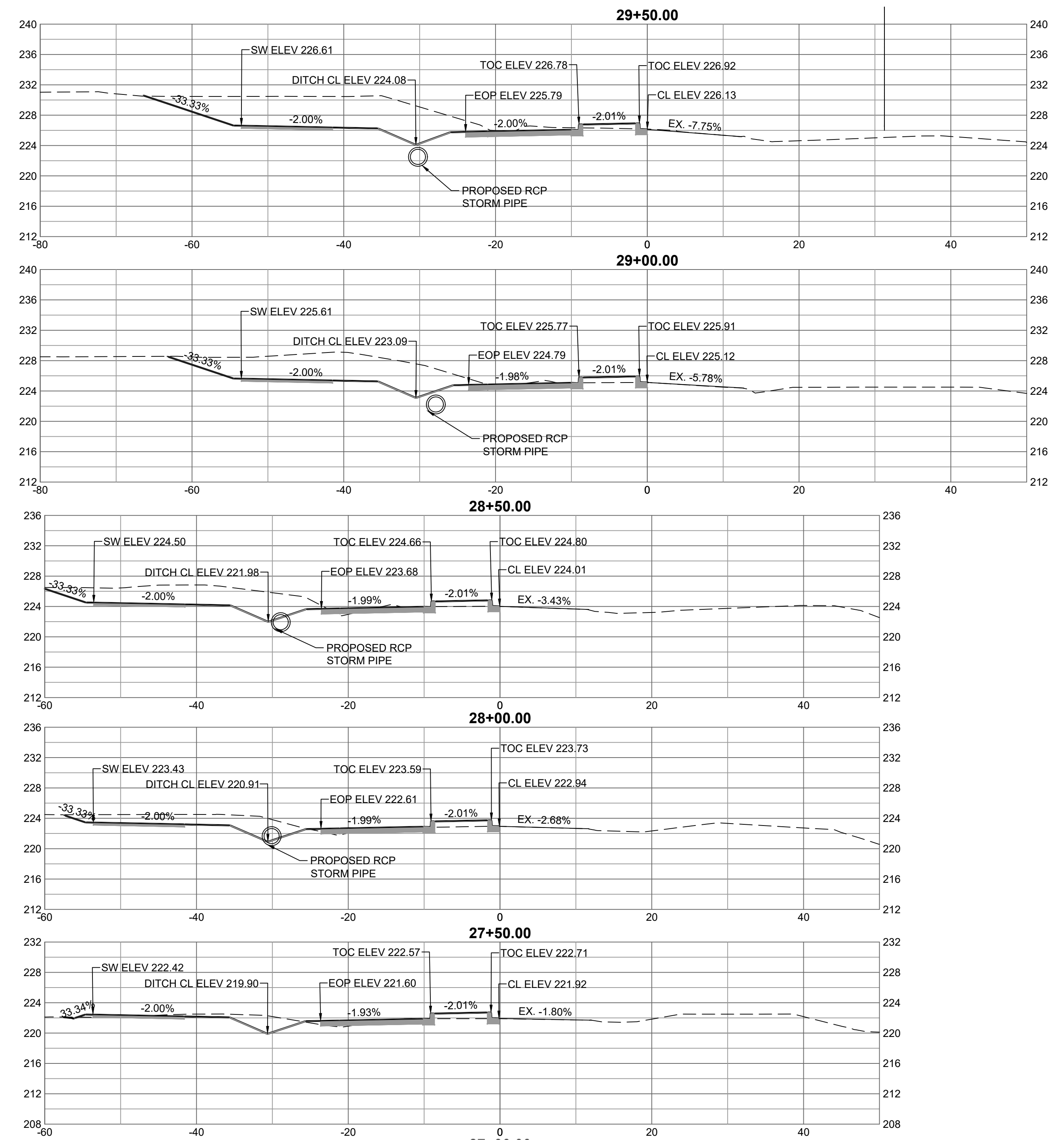
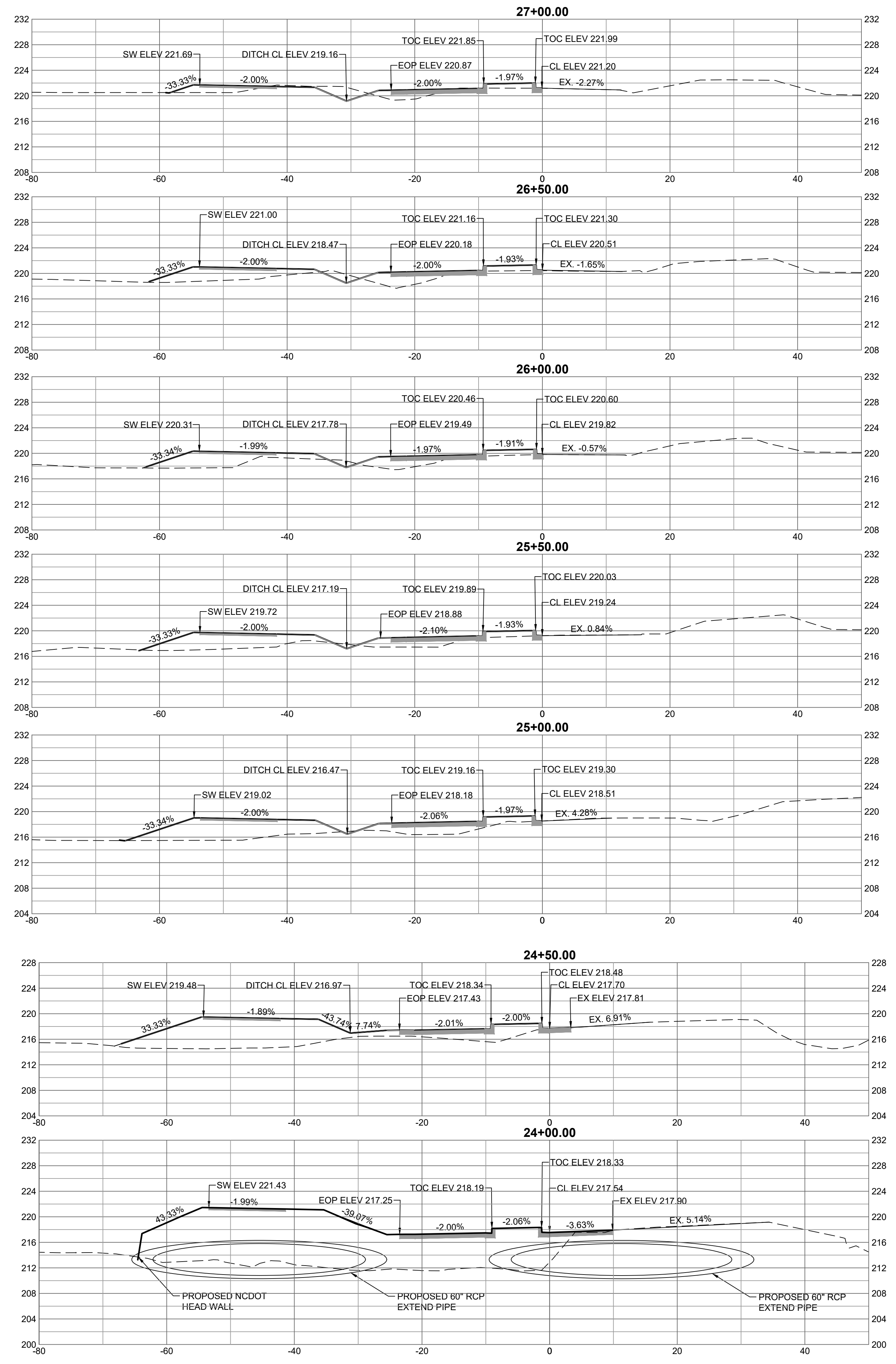
NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

FORESTVILLE ROAD CROSS SECTIONS (2 OF 5)

TIMMONS GROUP

S:\31148212\img_Timed\DWG\Sheet\SP48212-331-C&I-0-RD-WIDEN-X-SECTIONS.dwg | Printed on 5/23/2023 10:14 AM | by Gibson Bakkelee



TYPICAL CROSS SECTION - AVENUE 4-LANE DIVIDED - DEVELOPMENT ALTERNATIVE
FORESTVILLE ROAD
NOT TO SCALE

PAVEMENT DESIGN		GENERAL	
3" S.S.B		WALKWAY TYPE	SIDEWALK
3" H.S.O.B		PLANTING TYPE	TREELAWN
8" ABC		TREE SPACING	40' O.C. AVG
		PARKING TYPE	NONE



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NC DEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE

DATE

331

05/23/2023

DESIGNED BY

331

CHECKED BY

M. ZACCARDO

SCALE

H: 1" = 10'
V: 1" = 1'

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

FORESTVILLE ROAD CROSS SECTIONS (3 OF 5)

JOB NO.

48212

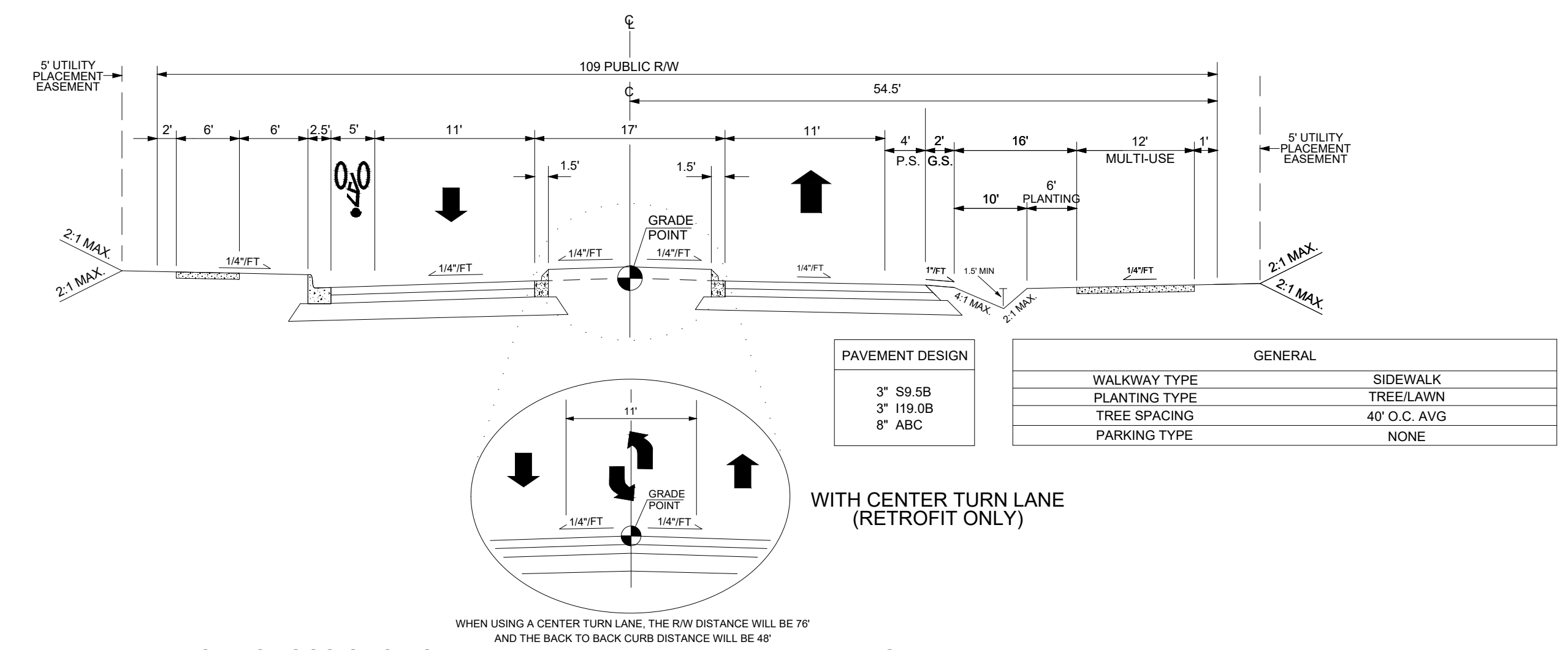
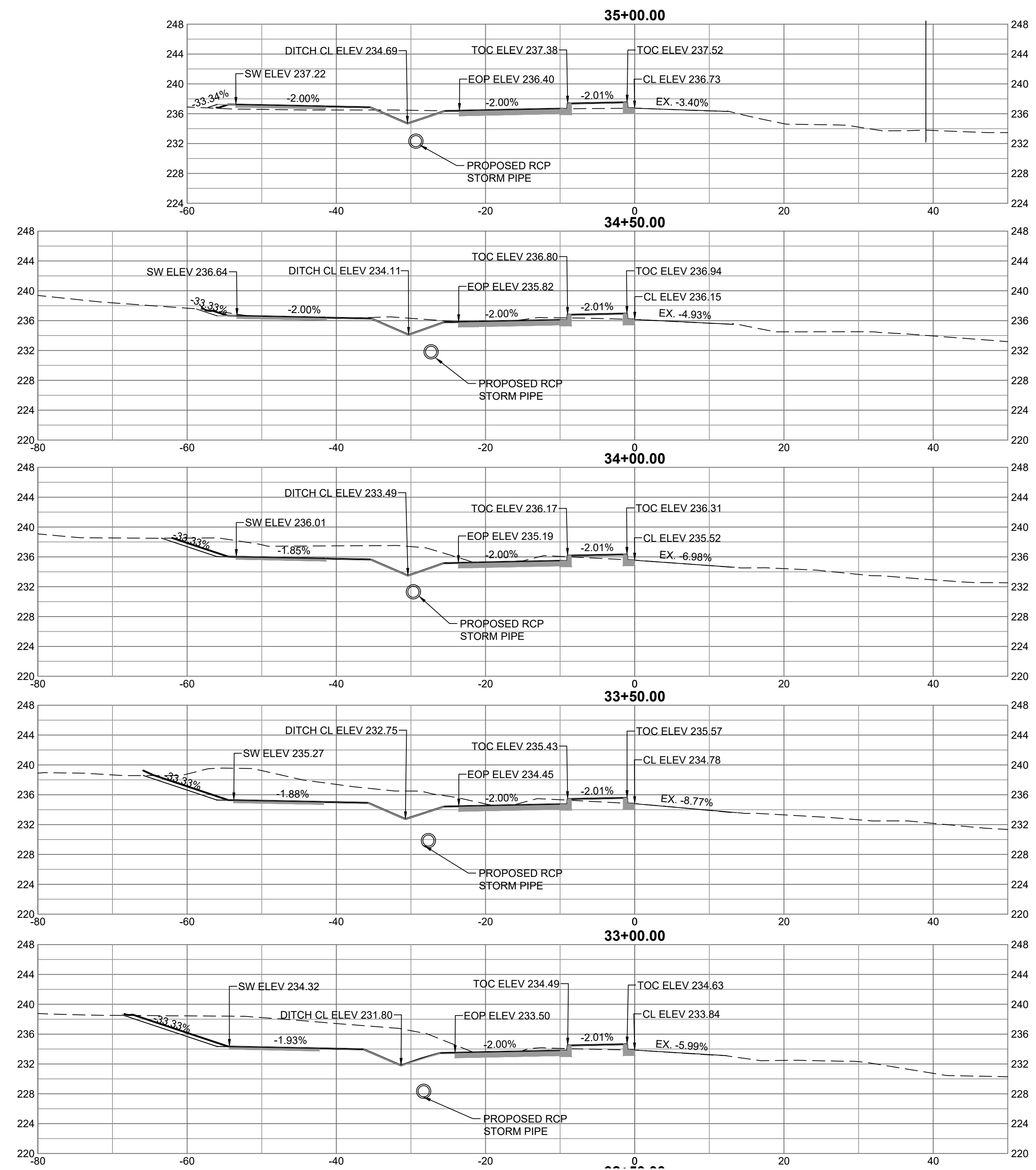
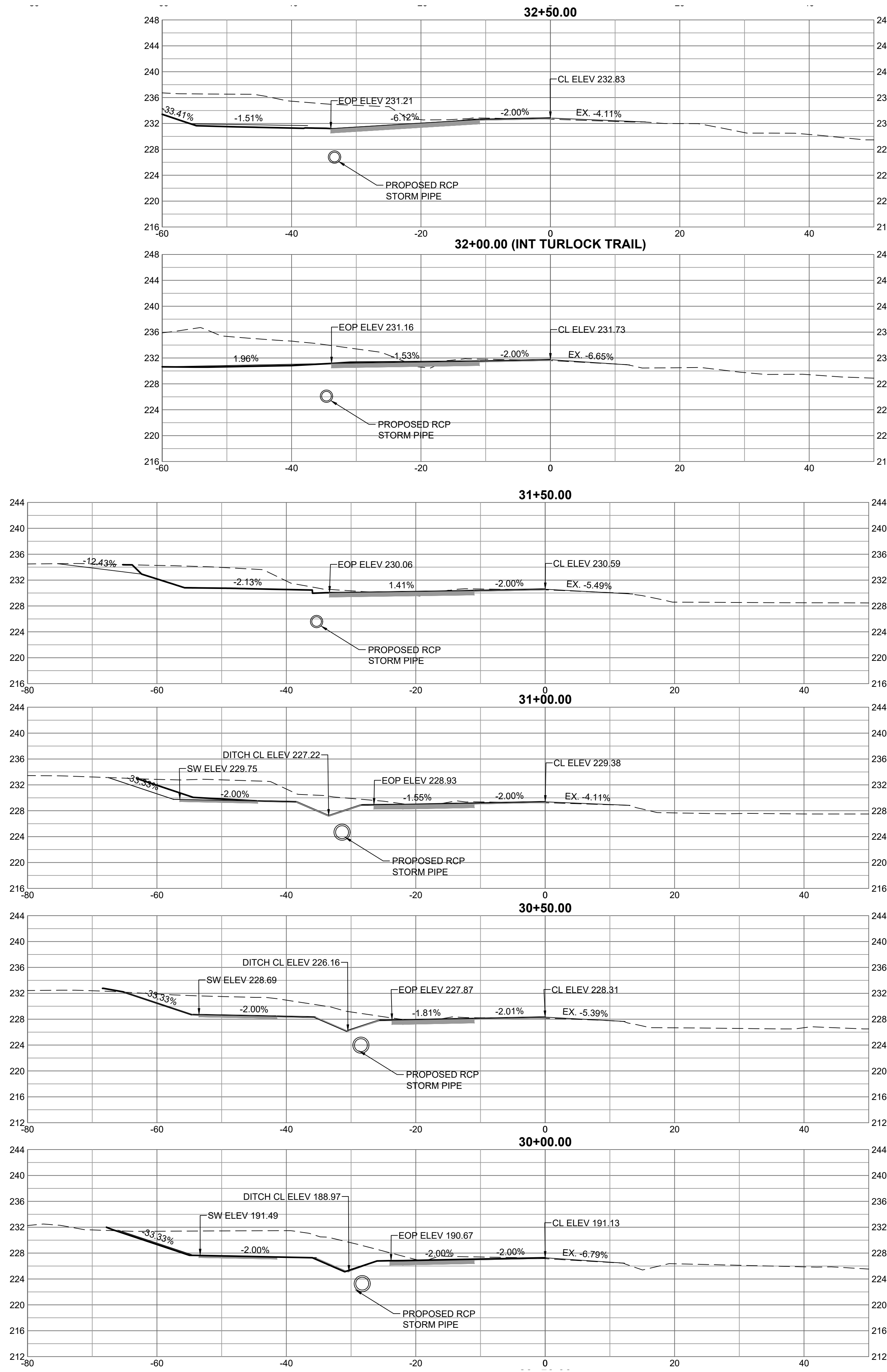
SHEET NO.

C8.12

TIMMONS GROUP

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

S:\33148212\hgs_trac\DWG\SheetPSP48212-31-C8-10-RD WIDEN X SECTIONS.dwg | Printed on 5/23/2023 10:14 AM | by Gibson Blakeslee



TYPICAL CROSS SECTION - AVENUE 4-LANE DIVIDED - DEVELOPMENT ALTERNATIVE
FORESTVILLE ROAD
NOT TO SCALE



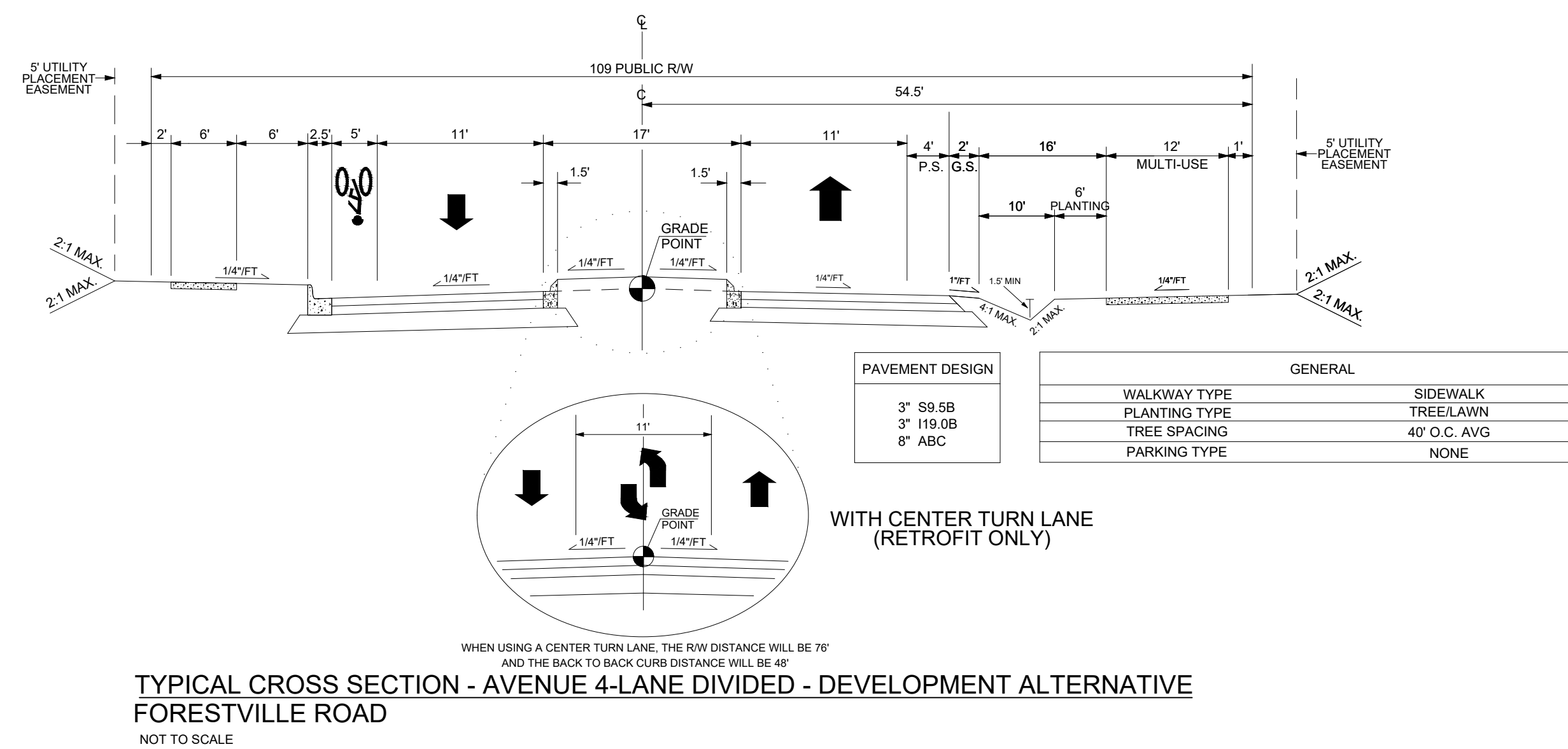
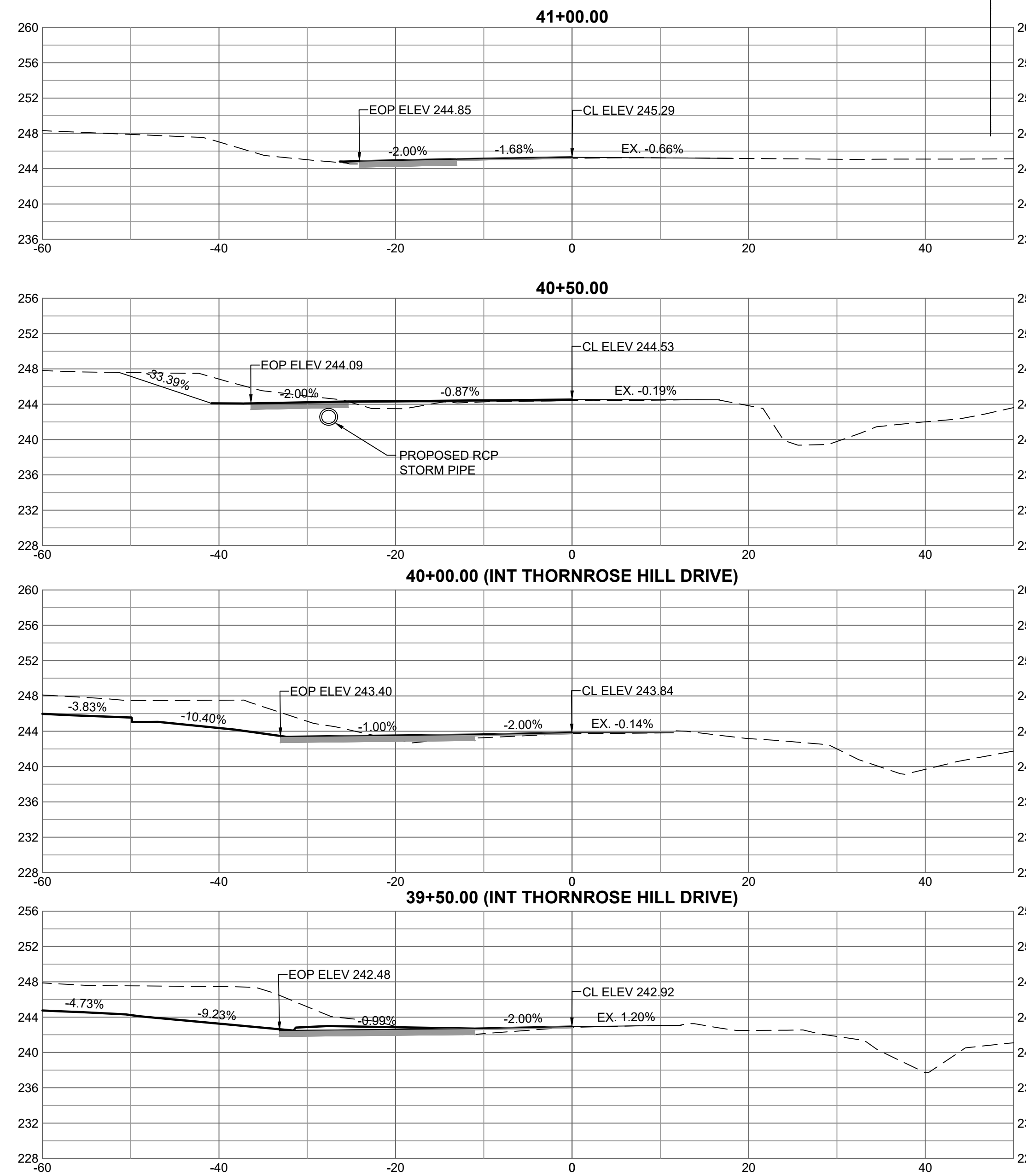
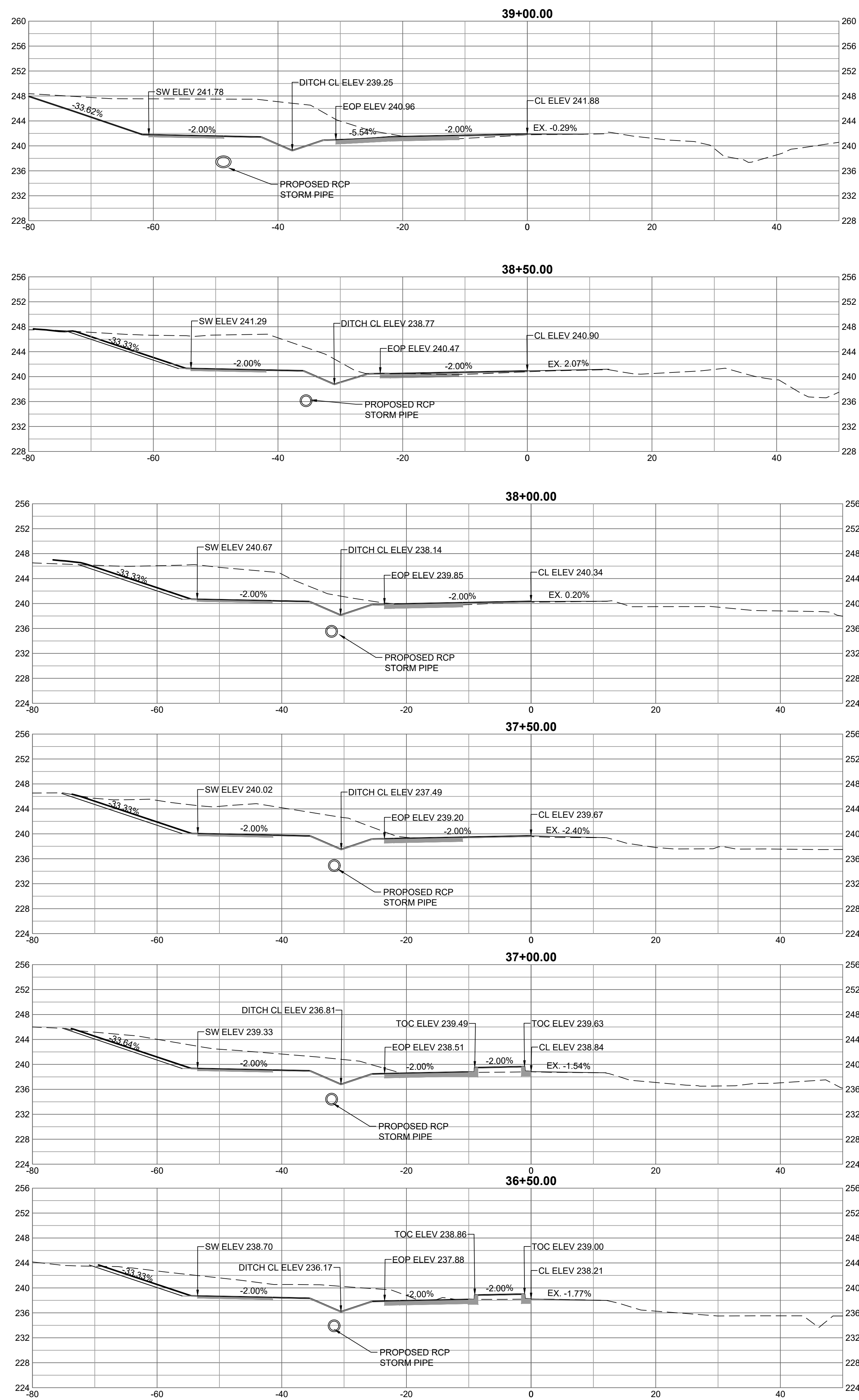
KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
FORESTVILLE ROAD CROSS SECTIONS (4 OF 5)

YOUR VISION ACHIEVED THROUGH OURS.	REVISION DESCRIPTION DATE DATE 05/23/2023
DRAWN BY 331	CHECKED BY M. ZACCARDO
DESIGNED BY 331	SCALE H: 1" = 10' V: 1" = 1'
THE DRAWING PREPARED AT THE RALEIGH OFFICE 5410 Trinity Road, Raleigh, NC 27607 TEL: 919.866.4951 FAX: 919.833.8124 www.timmons.com	
JOB NO. 48212	SHEET NO. C8.13

S:\33148212\hgs_trac\DWG\SheetPSP48212-31-C8-10-RD WIDEN X SECTIONS.dwg | Printed on 5/23/2023 10:14 AM | by Gibson Blakestein



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
 MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
 FORESTVILLE ROAD CROSS SECTIONS (5 OF 5)

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Raleigh, NC 27607
 TEL: 919.866.4951 FAX: 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE	DESCRIPTION

DATE
05/23/2023

DRAWN BY
331

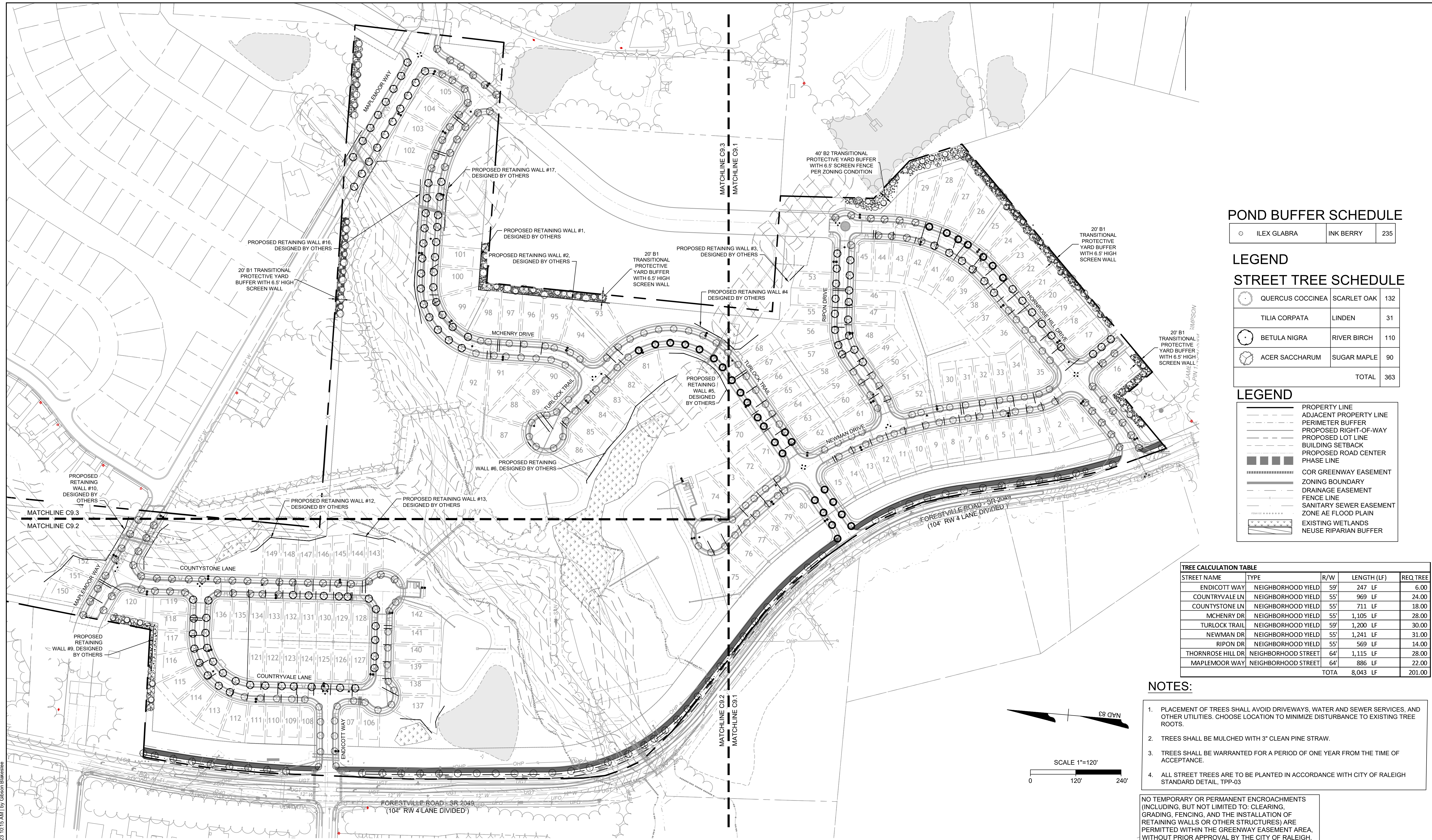
DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
H: 1" = 10'
V: 1" = 1'

JOB NO.
48212

SHEET NO.
C8.14



POND BUFFER SCHEDULE

○ ILEX GLABRA	INK BERRY	235
---------------	-----------	-----

LEGEND

STREET TREE SCHEDULE

○ QUERCUS COCCINEA	SCARLET OAK	132
○ TILIA CORPATA	LINDEN	31
○ BETULA NIGRA	RIVER BIRCH	110
○ ACER SACCHARUM	SUGAR MAPLE	90
TOTAL		363

LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PERIMETER BUFFER
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED LOT LINE
---	BUILDING SETBACK
---	PROPOSED ROAD CENTER PHASE LINE
---	COR GREENWAY EASEMENT
---	ZONING BOUNDARY
---	DRAINAGE EASEMENT
---	FENCE LINE
---	SANITARY SEWER EASEMENT
---	ZONE AE FLOOD PLAIN
---	EXISTING WETLANDS
---	NEUSE RIPARIAN BUFFER

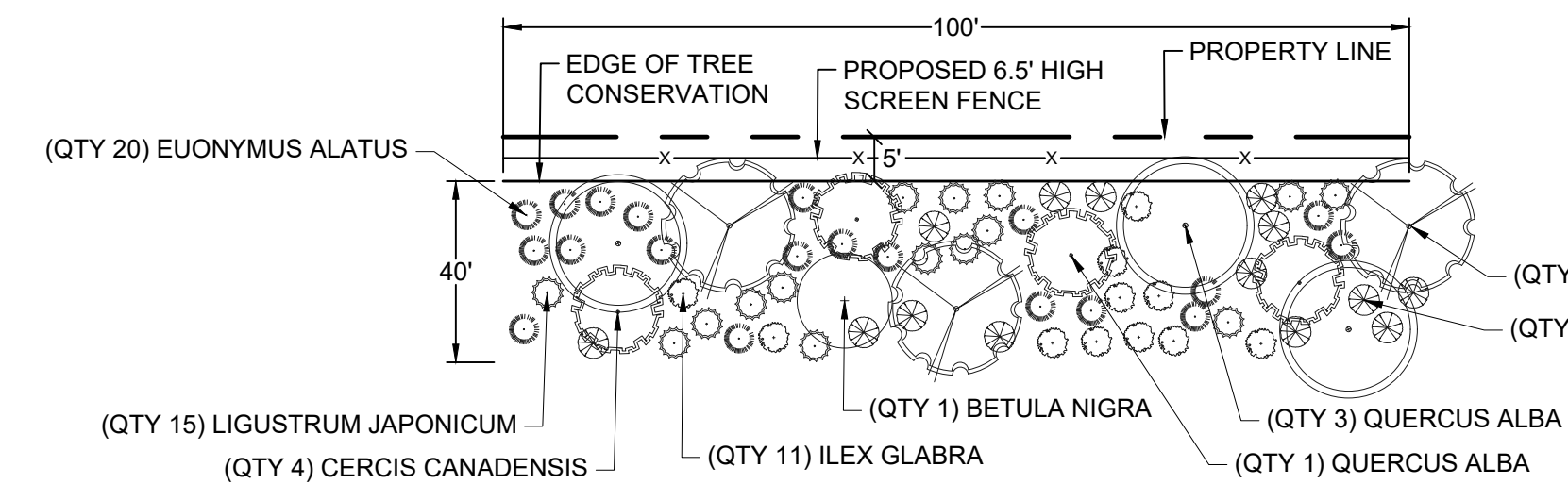
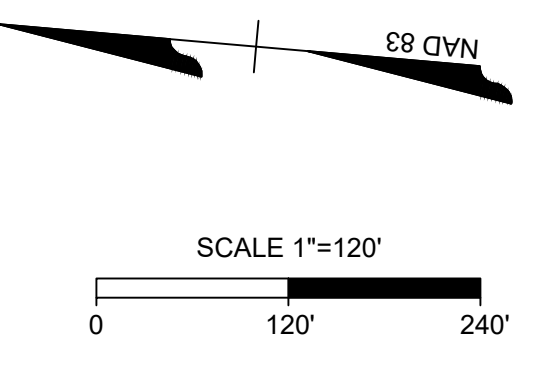
TREE CALCULATION TABLE

STREET NAME	TYPE	R/W	LENGTH (LF)	REQ TREE
ENDICOTT WAY	NEIGHBORHOOD YIELD	59'	247 LF	6.00
COUNTRYVALE LN	NEIGHBORHOOD YIELD	55'	969 LF	24.00
COUNTRYSTONE LN	NEIGHBORHOOD YIELD	55'	711 LF	18.00
MCHENRY DR	NEIGHBORHOOD YIELD	55'	1,105 LF	28.00
TURLOCK TRAIL	NEIGHBORHOOD YIELD	59'	1,200 LF	30.00
NEWMAN DR	NEIGHBORHOOD YIELD	55'	1,241 LF	31.00
RIPON DR	NEIGHBORHOOD YIELD	55'	569 LF	14.00
THORNROSE HILL DR	NEIGHBORHOOD STREET	64'	1,115 LF	28.00
MAPLEMOOR WAY	NEIGHBORHOOD STREET	64'	886 LF	22.00
TOTAL				8,043 LF

NOTES:

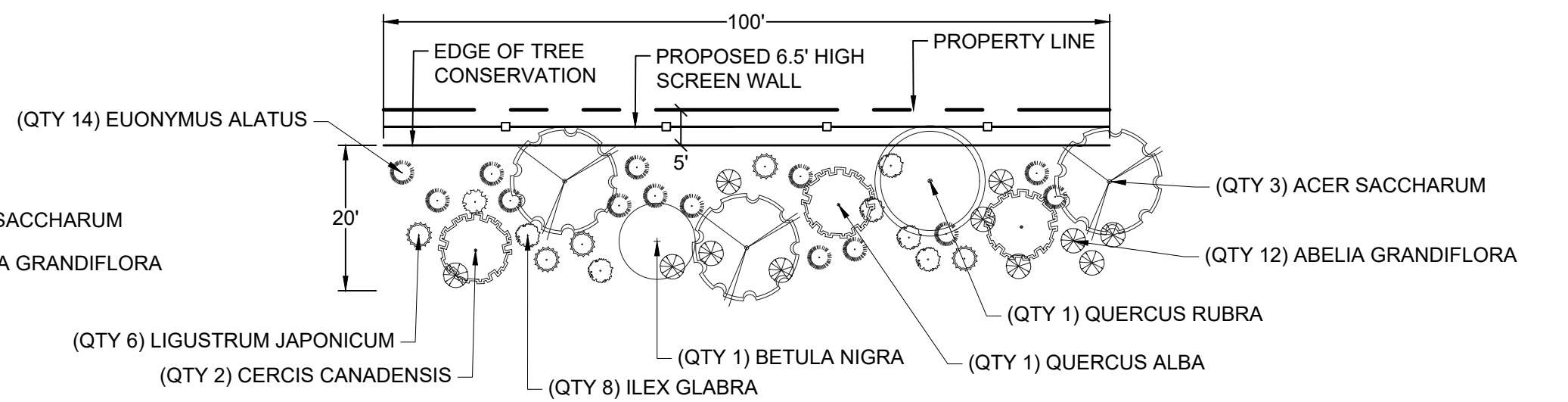
1. PLACEMENT OF TREES SHALL AVOID DRIVEWAYS, WATER AND SEWER SERVICES, AND OTHER UTILITIES. CHOOSE LOCATION TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS.
2. TREES SHALL BE MULCHED WITH 3" CLEAN PINE STRAW.
3. TREES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE TIME OF ACCEPTANCE.
4. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



TYPE B2 : VEGETATIVE PLANTING STRIP

ALL TYPE B1 PROTECTIVE YARD BUFFERS TO FOLLOW REQUIREMENTS AS OUTLINED IN COR SECTION 7.2.4.B1



TYPE B1 : VEGETATIVE PLANTING STRIP

ALL TYPE B1 PROTECTIVE YARD BUFFERS TO FOLLOW REQUIREMENTS AS OUTLINED IN COR SECTION 7.2.4.B1



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

S:\331148212\Ings_Timed\DWG\Sheet\FSP48212-331-C71-0-PLANT.dwg | Plotted on 6/23/2023 10:15:AM | by Gharon Blakestein

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9951 FAX 919.833.6124 www.timmons.com

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

DATE

05/23/2023

DRAWN BY

331

DESIGNED BY

331

CHECKED BY

M. ZACCARDO

SCALE

1" = 120'

JOB NO.

48212

SHEET NO.

C9.0

811

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

TIMMONS GROUP

OVERALL LANDSCAPING PLAN

Possible Street Trees



Large Maturing Trees

Not appropriate under power lines
Mature in excess of 60' in height

**American elm, <i>Ulmus americana</i>
Bald cypress, <i>Taxodium distichum</i>
Linden, <i>Tilia spp.</i>
Black gum, <i>Nyssa sylvatica</i>
Dawn redwood, <i>Metasequoia glyptostroboides</i>
*Ginkgo, <i>Ginkgo biloba</i>
Oaks, <i>Quercus spp.</i>
River birch, <i>Betula nigra</i>
Southern sugar maple, <i>Acer floridanum</i>
Tulip poplar, <i>Liriodendron tulipifera</i>

*Male/Fruitless only
**Cultivars or hybrids must be selected for form and/or disease resistance

Minimum spacing requirements
Medium and large maturing 25' +
Small maturing 15' +

Medium Maturing Trees

For planting strips 3.5' to 5' in width
Not appropriate under power lines
Mature between 40' and 50' in height

American holly, <i>Ilex opaca</i>
**Chinese elm, <i>Ulmus parvifolia</i>
Eastern red cedar, <i>Juniperus virginiana</i>
European hornbeam, <i>Carpinus betulus</i>
**Hackberry, <i>Celtis occidentalis</i>
Musclewood, <i>Carpinus caroliniana</i>
**Sweetbay magnolia, <i>Magnolia virginiana</i>
Trident maple, <i>Acer buergerianum</i>
**Zelkova, <i>Zelkova serrata</i>

Small Maturing Trees

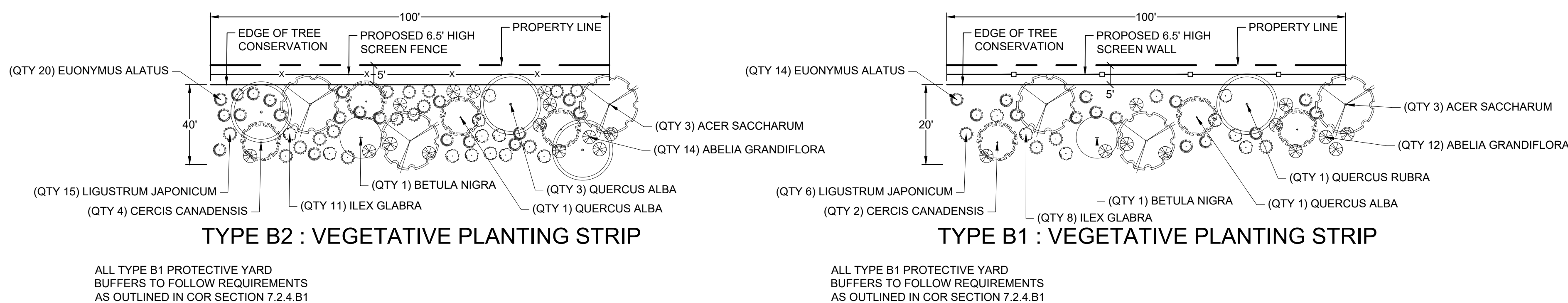
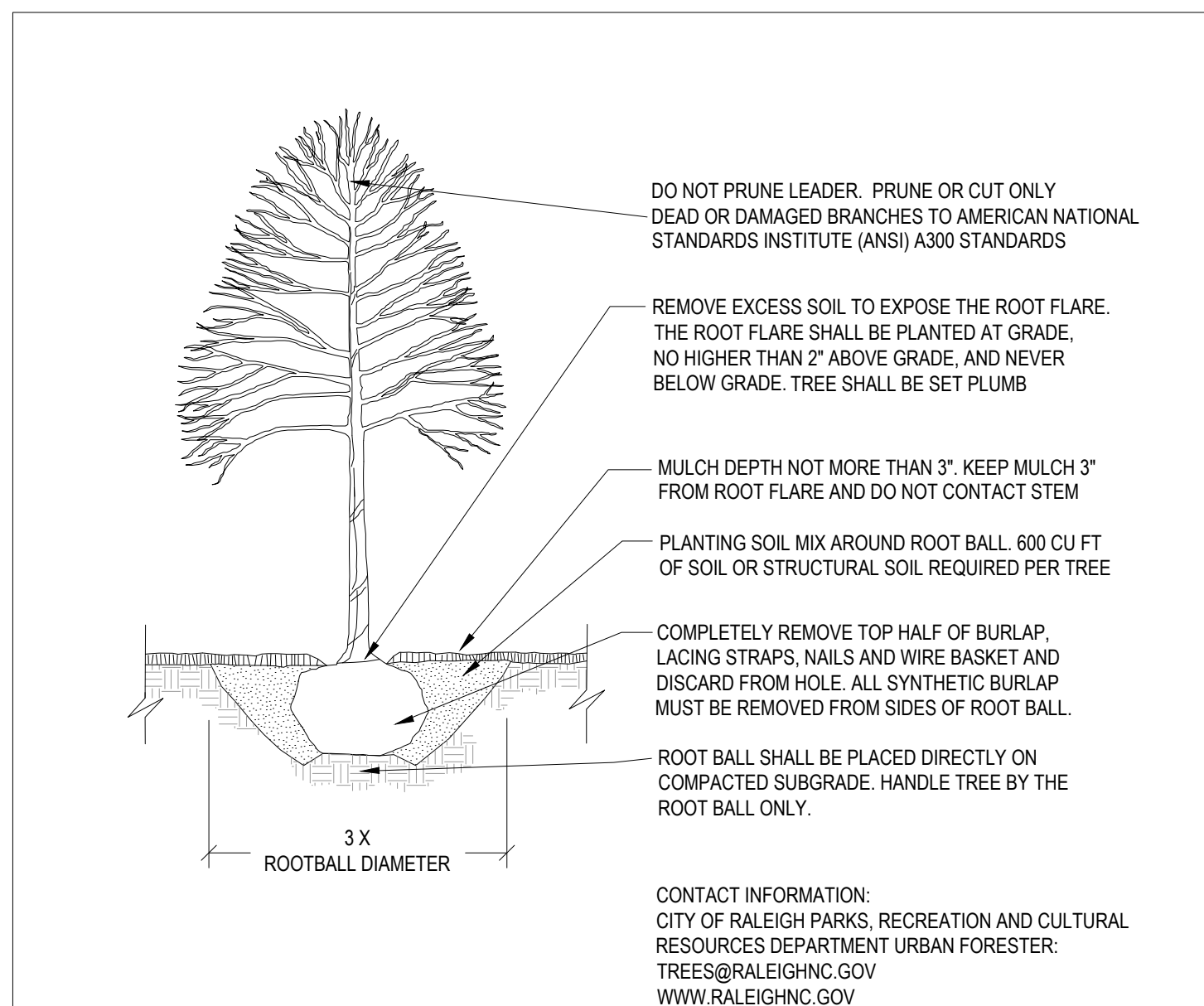
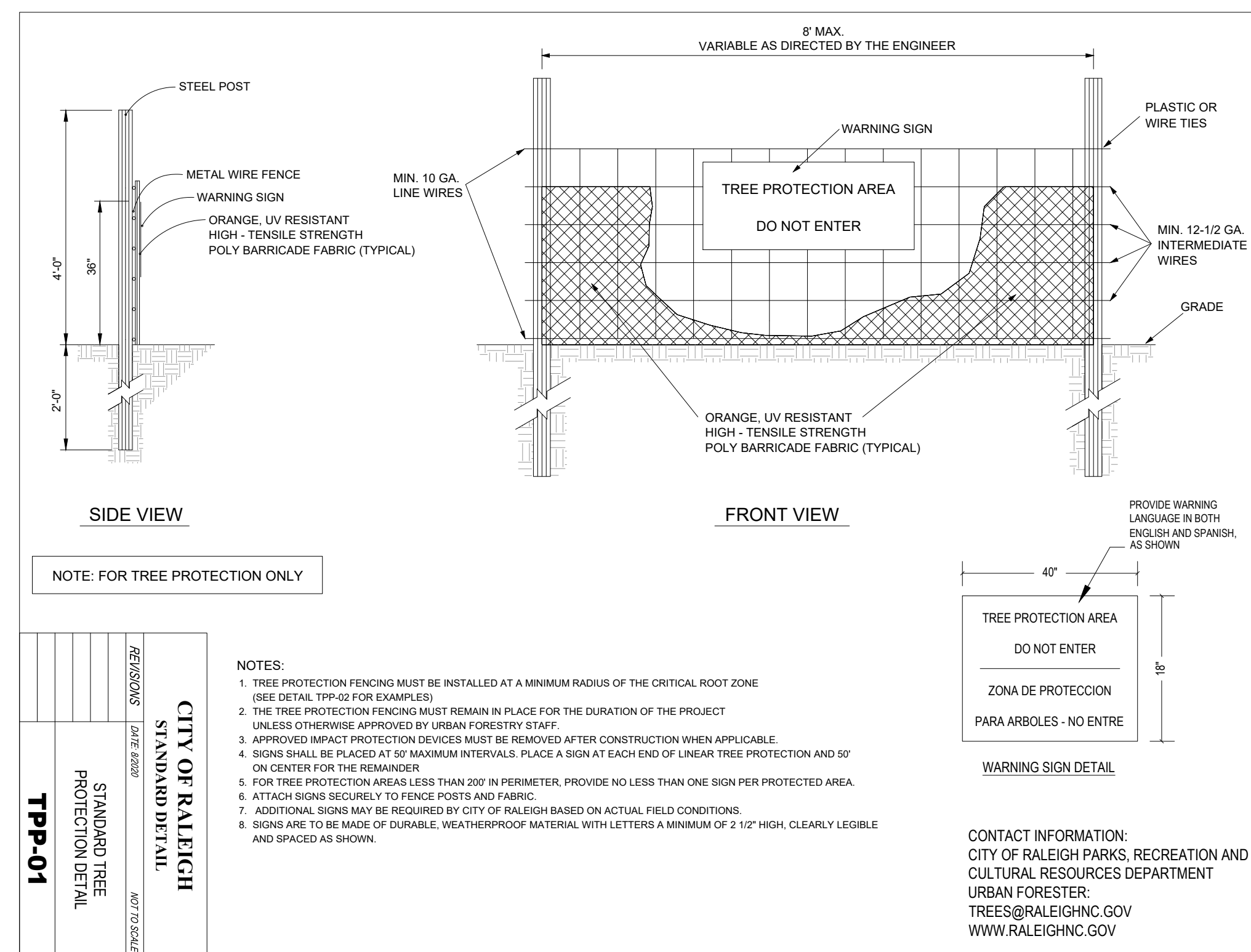
"Understory Trees"
Appropriate under power lines
Mature between 15' and 35' in height

Carolina silverbell, <i>Halesia tetraptera, H. carolina</i>
Chinese pistache, <i>Pistachia chinensis</i>
Crapemyrtle, <i>Lagerstroemia spp., L. hybrids</i>
**Dogwood, <i>Cornus spp.</i>
**Eastern redbud, <i>Cercis canadensis</i>
**Flowering cherry, <i>Prunus serrulata, Prunus x yedoensis</i>
Japanese maple, <i>Acer palmatum</i>
**Japanese snowbell, <i>Styrax japonica</i>
**Oklahoma redbud, <i>Cercis reniformis</i>
Shangtung maple, <i>Acer truncatum</i>
Serviceberry, <i>Amelanchier grandiflora</i>
Chinese fringetree, <i>Chionanthus retusus</i>

Notes:
All street trees must be single stem
Fastigiate trees are encouraged in tight spaces

Visit parks.raleighnc.gov and keyword search "Tree Impact"

SHADE TREES							
SYB	SCIENTIFIC NAME	COMMON NAME	CAL	HT & SP	AVE. SPACING	REMARKS	QTYs
ACER SACCHARUM	SUGAR MAPLE	3"	10'-12' HT 6'-8' SP	25' OC	FULL - SINGLE LEADER	186	
QUERCUS ALBA	WHITE OAK	3"	10'-12' HT 6'-8' SP	25' OC	FULL - SINGLE LEADER	28	
QUERCUS COCCINEA	SCARLET OAK	3"	10'-12' HT 6'-8' SP	25' OC	FULL - SINGLE LEADER	96	
TILIA CORPATA	LINDEN	3"	10'-12' HT 6'-8' SP	25' OC	FULL - SINGLE LEADER	92	
BETULA NIGRA	RIVER BIRCH	3"	10'-12' HT 6'-8' SP	25' OC	FULL - SINGLE LEADER	107	
TOTAL						511	
UNDERTORY TREES							
SYB	SCIENTIFIC NAME	COMMON NAME	CAL	HT & SP	AVE. SPACING	REMARKS	QTYs
BETULA NIGRA	RIVER BIRCH	1.5"-2"	6'-8' HT 3'-5' SP	25' OC	FULL	33	
CERCIS CANADENSIS	EASTERN REDBUD	1.5"-2"	10'-12' HT 6'-8' SP	25' OC	FULL	89	
TOTAL						122	
SHRUBS							
SYB	SCIENTIFIC NAME	COMMON NAME	CAL	HT & SP	AVE. SPACING	REMARKS	QTYs
ABELIA GRANDIFLORA	ABELIA	3'-4' HT 1.5'-2' SP	2.5' OC	VARIETY BASED ON LOCATION WITHIN BUFFER	323		
BUDDLEIA DAVIDII	BUTTERFLY BUSH	3'-4' HT 1.5'-2' SP	2.5' OC	FULL - CONT. OR B&B	176		
EUONYMUS ALATUS	BURNING BUSH	3'-4' HT 1.5'-2' SP	2.5' OC	VARIETY BASED ON LOCATION WITHIN DEPTH OF BUFFER	457		
ILEX GLABRA	INKBERRY	3'-4' HT 1.5'-2' SP	2.5' OC	VARIETY BASED ON LOCATION WITHIN DEPTH OF BUFFER	183		
LIGUSTRUM JAPONICUM	PRIVET	3'-4' HT 1.5'-2' SP	2.5' OC	VARIETY BASED ON LOCATION WITHIN DEPTH OF BUFFER	160		
TOTAL						1299	



- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
10/2019	08/08/20	
TREE PLANTING DETAIL		
TPP-03		



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 | FAX 919.833.8124 | www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 05/23/2023

DRAWN BY: 331

DESIGNED BY: 331

CHECKED BY: M. ZACCARDO

SCALE: AS SHOWN

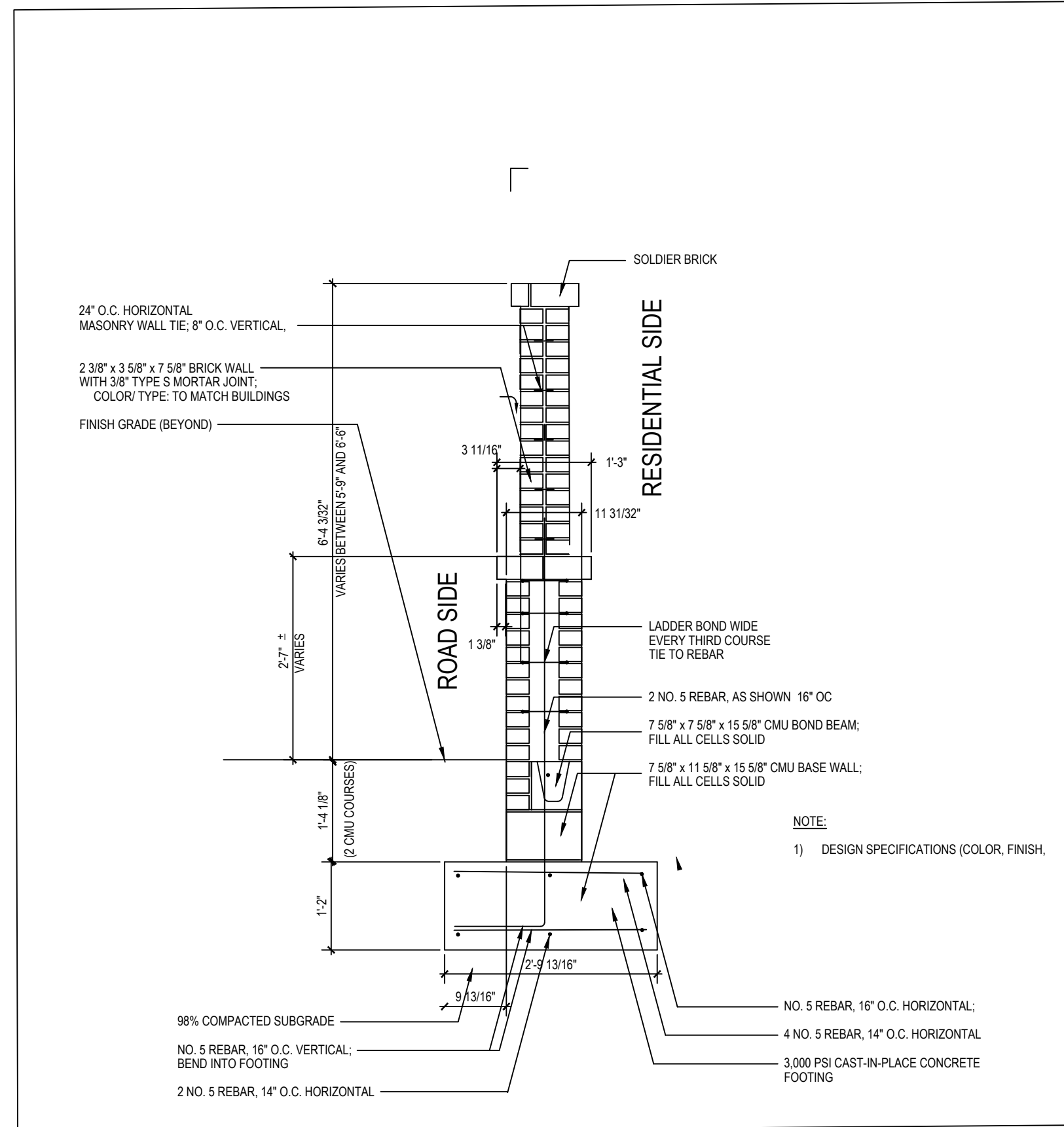
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

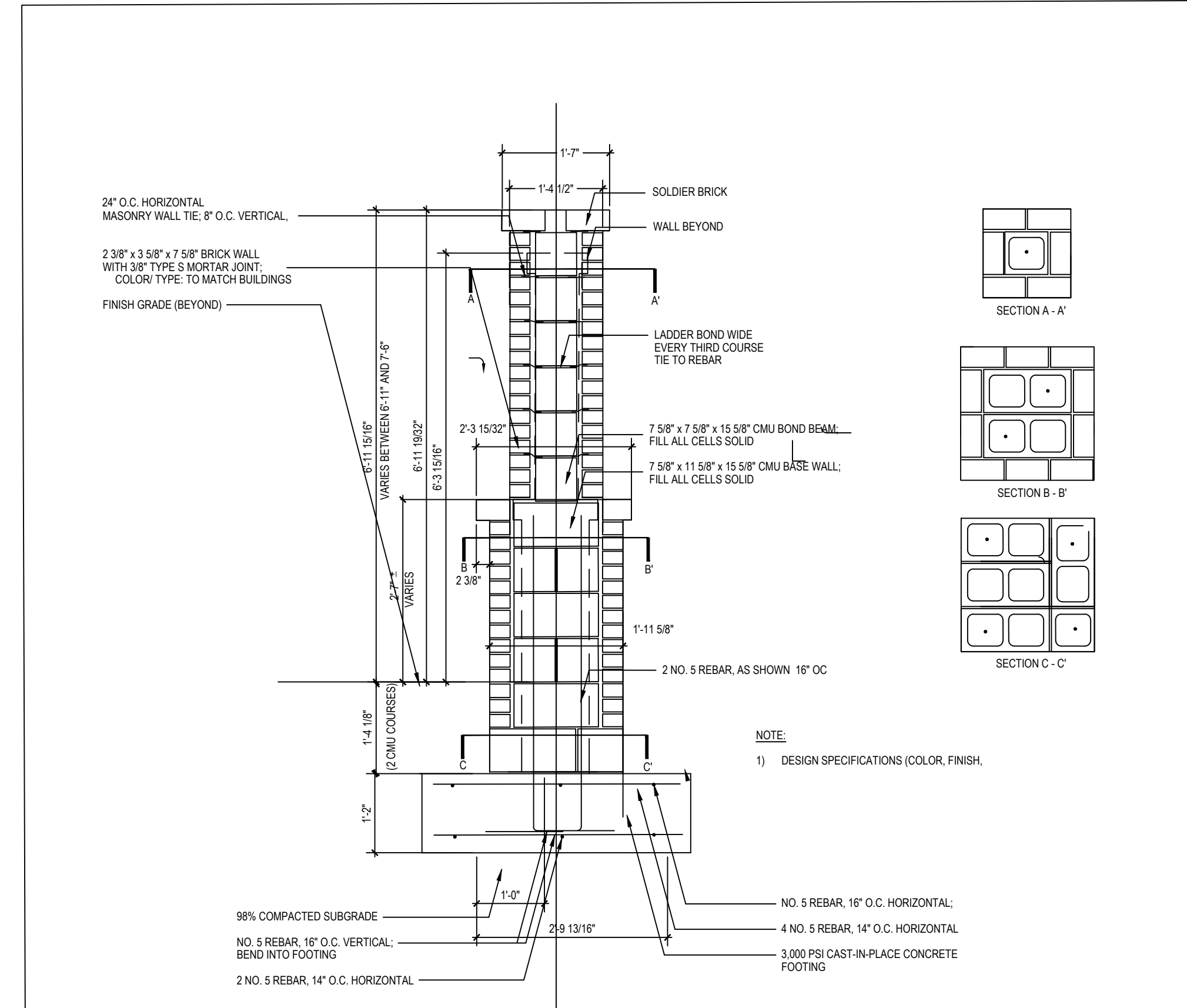
LANDSCAPING SCHEDULE AND DETAILS

JOB NO. 48212
SHEET NO. C9.01

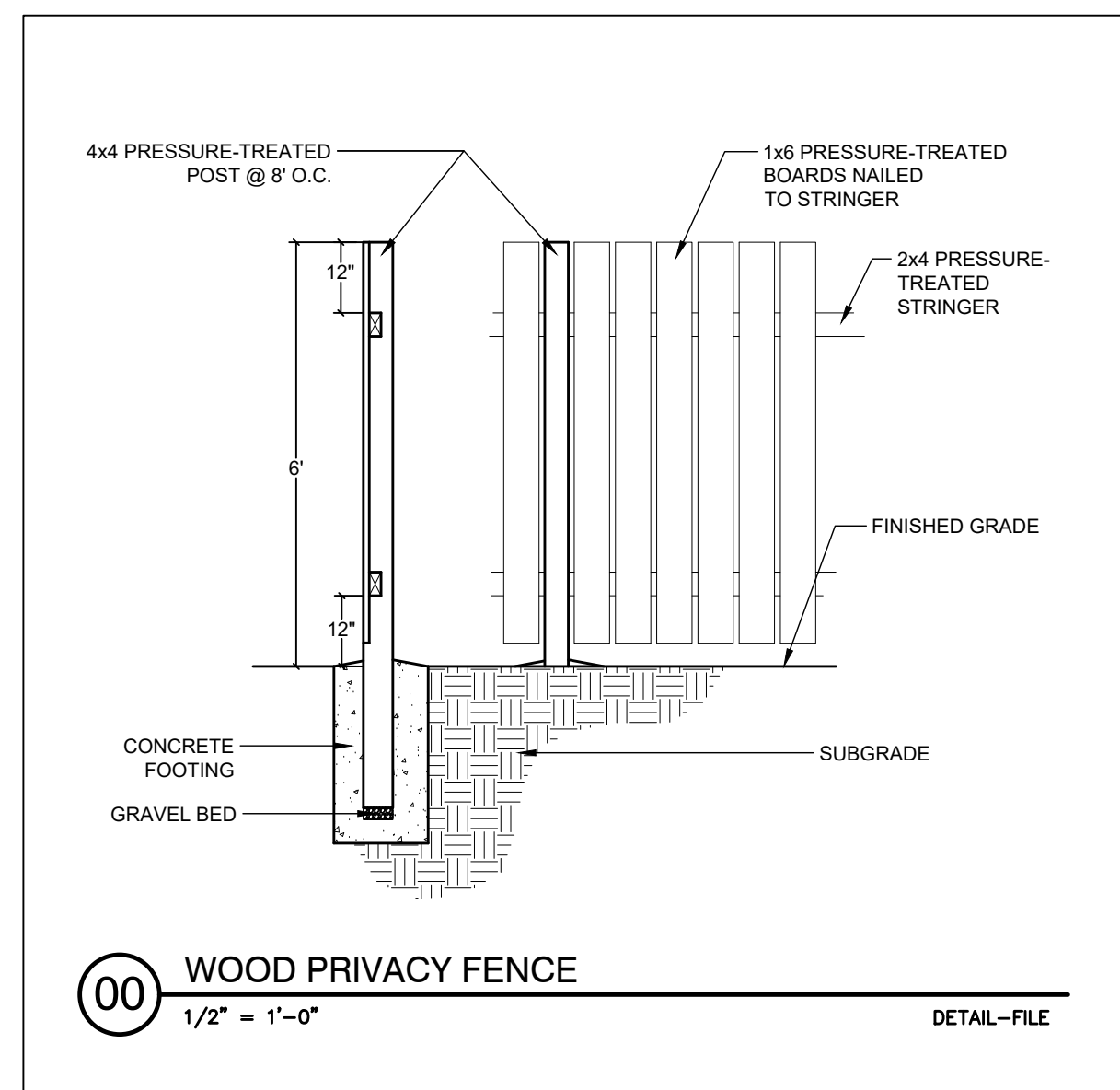
PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



WALL DETAIL

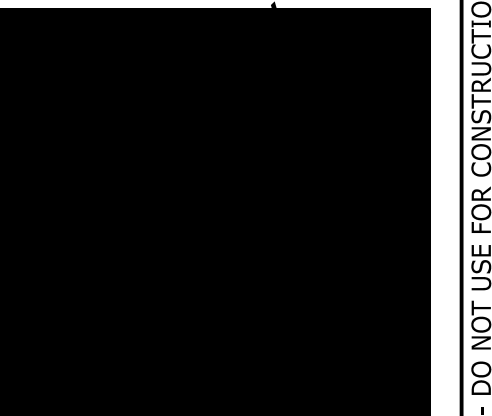


PILLAR DETAIL



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866-4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
AS SHOWN

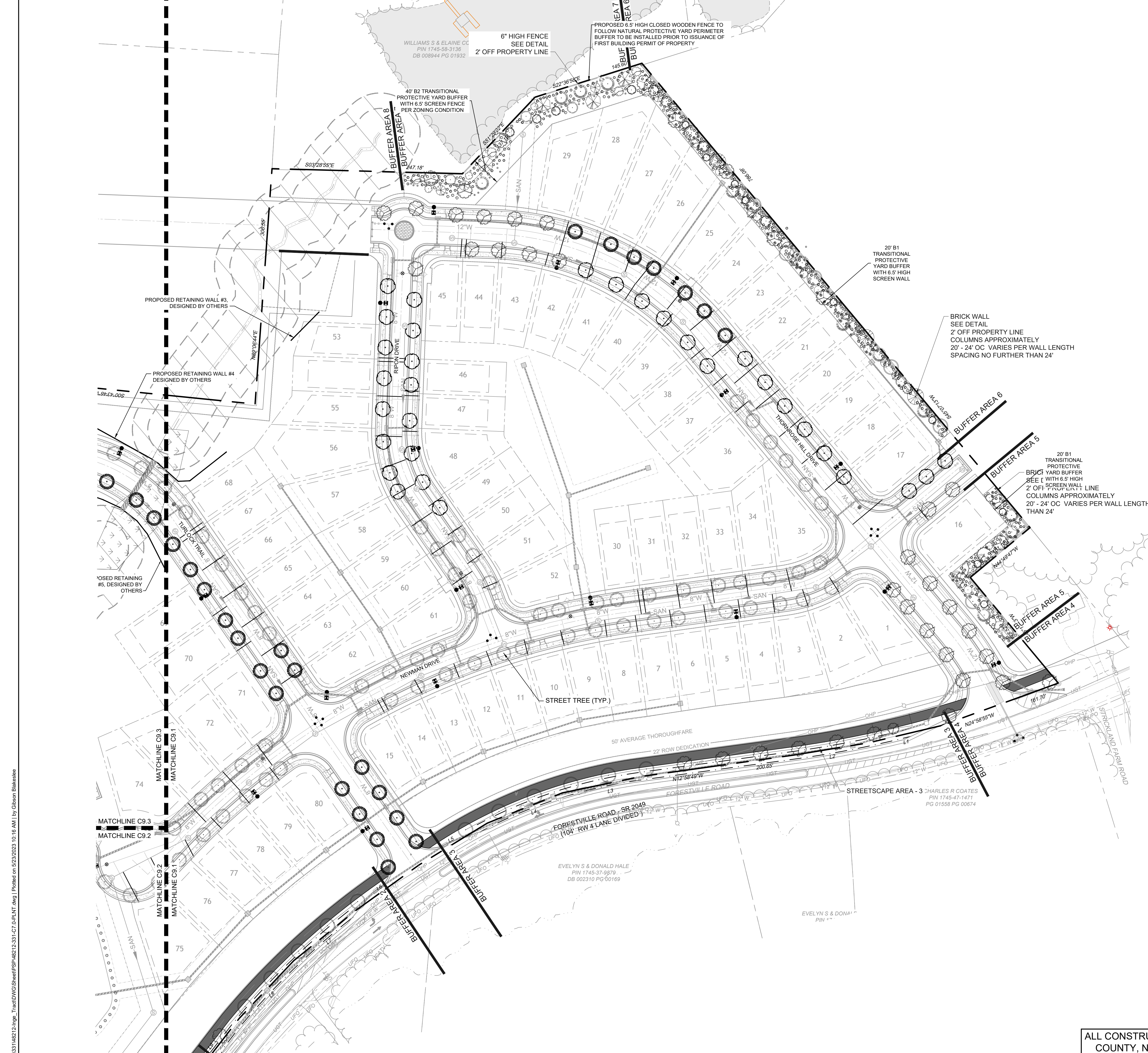
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
LANDSCAPING SCHEDULE AND DETAILS

JOB NO.
48212

SHEET NO.
C9.02

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



NOTES:

1. PLACEMENT OF TREES SHALL AVOID DRIVEWAYS, WATER AND SEWER SERVICES, AND OTHER UTILITIES. CHOOSE LOCATION TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS.
2. TREES SHALL BE MULCHED WITH 3" CLEAN PINE STRAW.
3. TREES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE TIME OF ACCEPTANCE.
4. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



TREE CALCULATION TABLE

STREET NAME	TYPE	R/W	LENGTH (LF)	REQ TREE	
ENDICOTT WAY	NEIGHBORHOOD YIELD	59'	247 LF	6.00	
COUNTRYVALE LN	NEIGHBORHOOD YIELD	55'	969 LF	24.00	
COUNTYSTONE LN	NEIGHBORHOOD YIELD	55'	711 LF	18.00	
MCHENRY DR	NEIGHBORHOOD YIELD	55'	1,105 LF	28.00	
TURLOCK TRAIL	NEIGHBORHOOD YIELD	59'	1,200 LF	30.00	
NEWMAN DR	NEIGHBORHOOD YIELD	55'	1,241 LF	31.00	
RIPON DR	NEIGHBORHOOD YIELD	55'	569 LF	14.00	
THORNROSE HILL DR	NEIGHBORHOOD STREET	64'	1,115 LF	28.00	
MAPLEMOOR WAY	NEIGHBORHOOD STREET	64'	886 LF	22.00	
TOTAL				8,043 LF	201.00

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PERIMETER BUFFER
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	BUILDING SETBACK
	PROPOSED ROAD CENTER
	PHASE LINE
	COR GREENWAY EASEMENT
	ZONING BOUNDARY
	DRAINAGE EASEMENT
	FENCE LINE
	SANITARY SEWER EASEMENT
	ZONE AE FLOOD PLAIN
	EXISTING WETLANDS
	NEUSE RIPARIAN BUFFER



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
DETAILED LANDSCAPING PLAN

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 05/23/2023

DRAWN BY: 331

DESIGNED BY: 331

CHECKED BY: M. ZACCARDO

SCALE: 1" = 60'

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION

REVISION DESCRIPTION

DATE

YOUR VISION ACHIEVED THROUGH OURS.

DATE

YOUR VISION ACHIEVED THROUGH OURS.

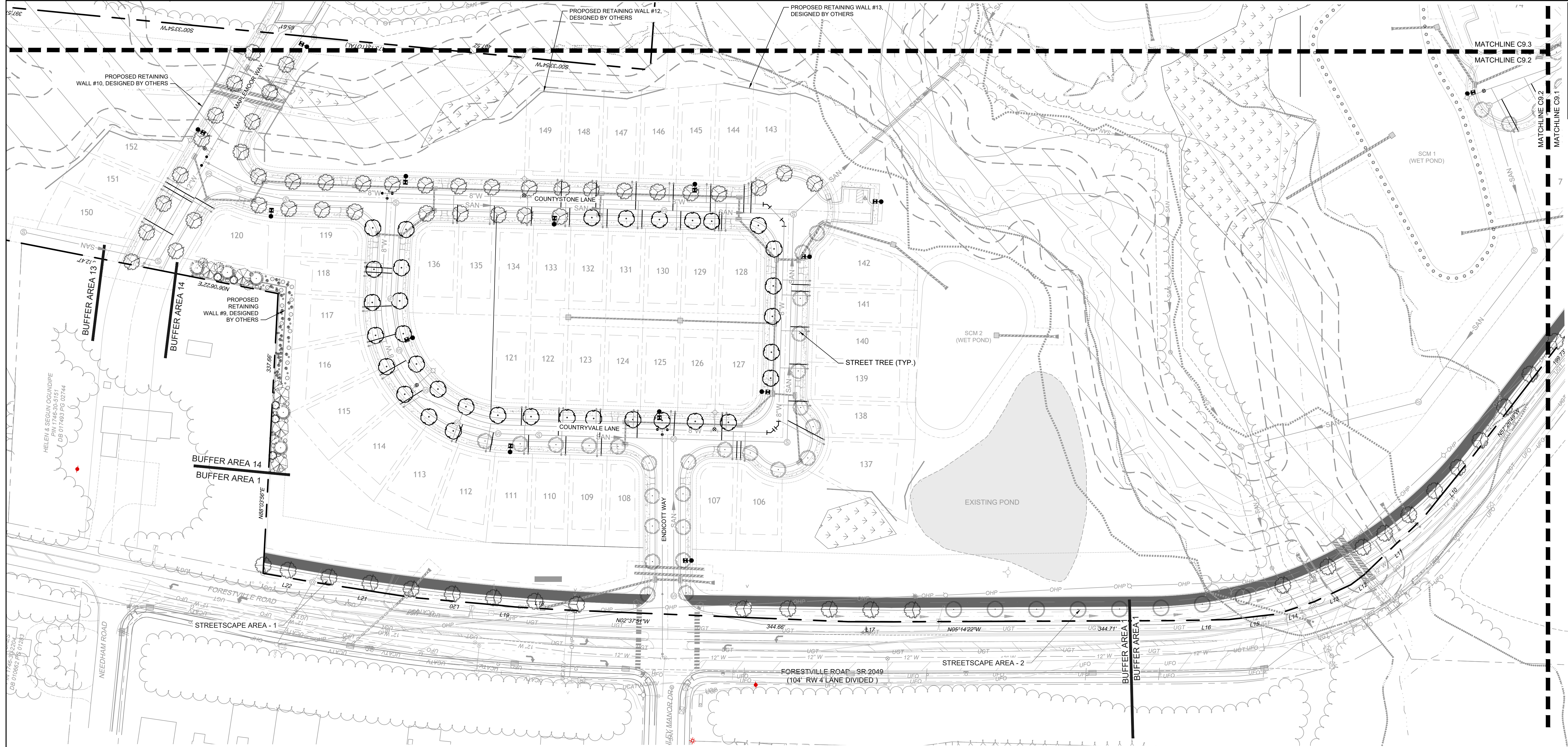
DATE

YOUR VISION ACHIEVED THROUGH OURS.

DATE

S:\31\148212.dwg - Timmons\DWG\Sheet\SP48212-331-C7-D-PLANT.dwg [Printed on 5/23/2023 10:16 AM] by Ghoran Blakelee

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION



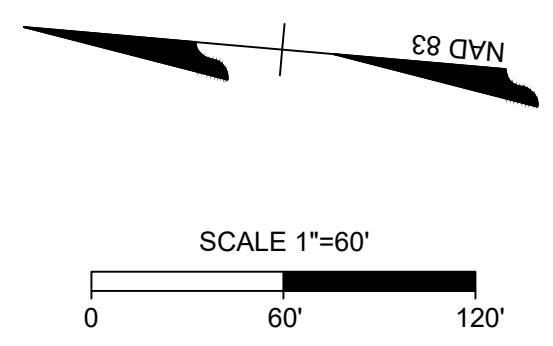
NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

TREE CALCULATION TABLE				
STREET NAME	TYPE	R/W	LENGTH (LF)	REQ. TREE
ENDICOTT WAY	NEIGHBORHOOD YIELD	59'	247 LF	6.00
COUNTRYVALE LN	NEIGHBORHOOD YIELD	55'	969 LF	24.00
COUNTYSTONE LN	NEIGHBORHOOD YIELD	55'	711 LF	18.00
MCHENRY DR	NEIGHBORHOOD YIELD	55'	1,105 LF	28.00
TURLOCK TRAIL	NEIGHBORHOOD YIELD	59'	1,200 LF	30.00
NEWMAN DR	NEIGHBORHOOD YIELD	55'	1,241 LF	31.00
RIPON DR	NEIGHBORHOOD YIELD	55'	569 LF	14.00
THORNROSE HILL DR	NEIGHBORHOOD STREET	64'	1,115 LF	28.00
MAPLEMOOR WAY	NEIGHBORHOOD STREET	64'	886 LF	22.00
TOTAL			8,043 LF	201.00

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BUILDING SETBACK
- PROPOSED ROAD CENTER
- PHASE LINE
- COR GREENWAY EASEMENT
- ZONING BOUNDARY
- DRAINAGE EASEMENT
- FENCE LINE
- SANITARY SEWER EASEMENT
- ZONE AE FLOOD PLAIN
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER

- NOTES:**
1. PLACEMENT OF TREES SHALL AVOID DRIVEWAYS, WATER AND SEWER SERVICES, AND OTHER UTILITIES. CHOOSE LOCATION TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS.
 2. TREES SHALL BE MULCHED WITH 3" CLEAN PINE STRAW.
 3. TREES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE TIME OF ACCEPTANCE.
 4. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
1" = 60'

JOB NO.
48212

SHEET NO.
C9.2

PROGRESS DRAWING

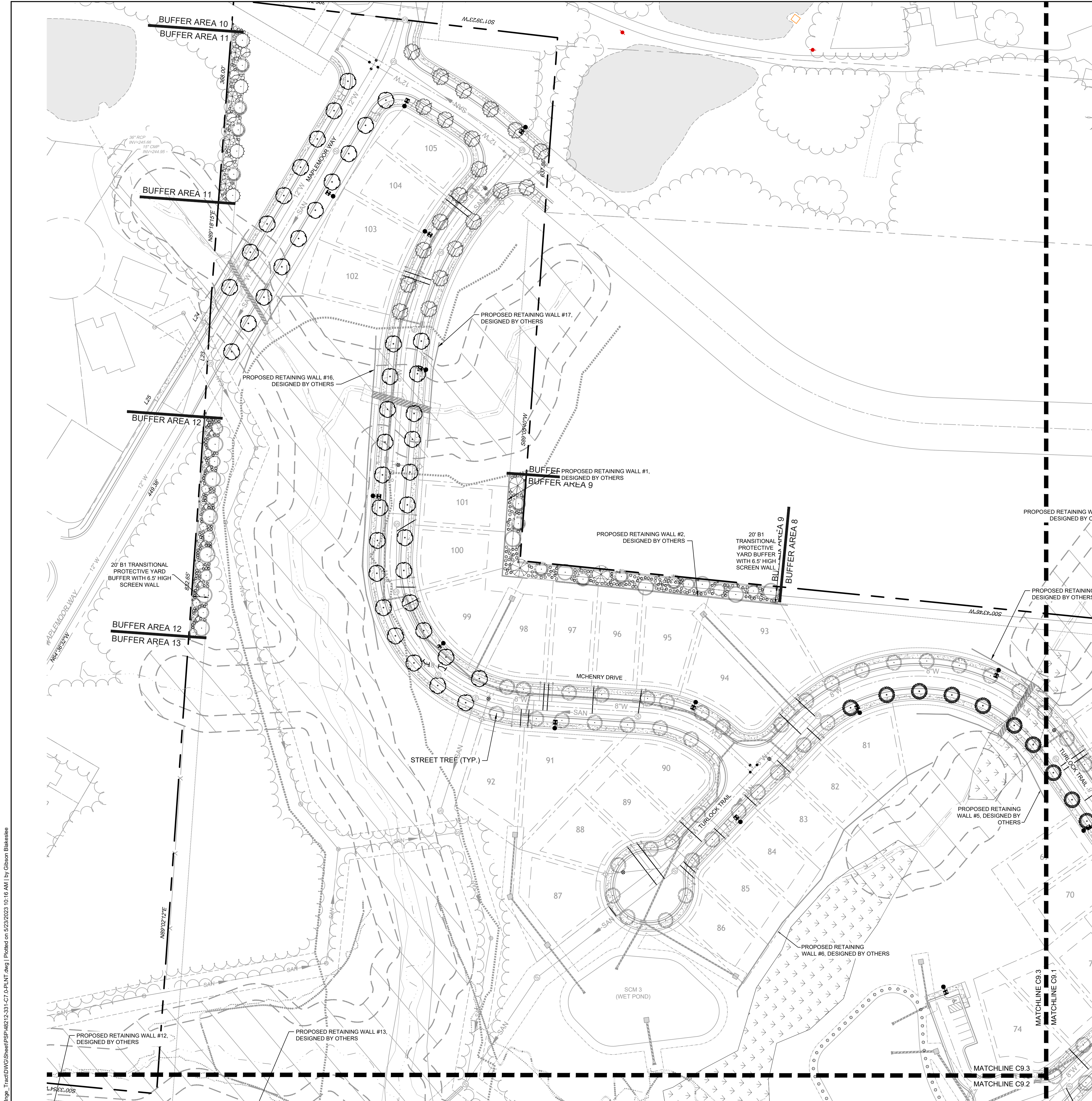
TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST

5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

DETAILED LANDSCAPING PLAN



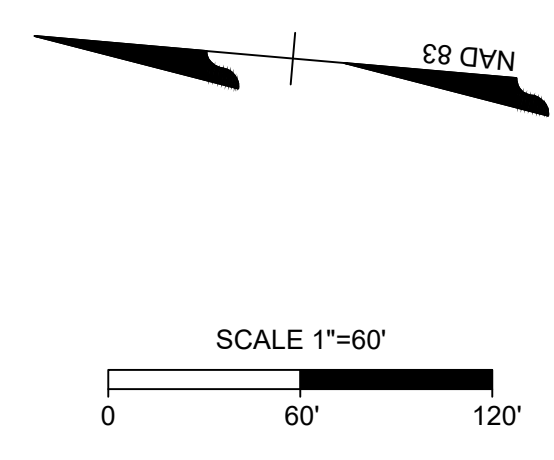
NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- NOTES:**
1. PLACEMENT OF TREES SHALL AVOID DRIVEWAYS, WATER AND SEWER SERVICES, AND OTHER UTILITIES. CHOOSE LOCATION TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS.
 2. TREES SHALL BE MULCHED WITH 3" CLEAN PINE STRAW.
 3. TREES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE TIME OF ACCEPTANCE.
 4. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03

TREE CALCULATION TABLE				
STREET NAME	TYPE	R/W	LENGTH (LF)	REQ. TREE
ENDICOTT WAY	NEIGHBORHOOD YIELD	59'	247 LF	6.00
COUNTRYVALE LN	NEIGHBORHOOD YIELD	55'	969 LF	24.00
COUNTYSTONE LN	NEIGHBORHOOD YIELD	55'	711 LF	18.00
MCHENRY DR	NEIGHBORHOOD YIELD	55'	1,105 LF	28.00
TURLOCK TRAIL	NEIGHBORHOOD YIELD	59'	1,200 LF	30.00
NEWMAN DR	NEIGHBORHOOD YIELD	55'	1,241 LF	31.00
RIPON DR	NEIGHBORHOOD YIELD	55'	569 LF	14.00
THORNROSE HILL DR	NEIGHBORHOOD STREET	64'	1,115 LF	28.00
MAPLEMOOR WAY	NEIGHBORHOOD STREET	64'	886 LF	22.00
TOTAL			8,043 LF	201.00

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PERIMETER BUFFER
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BUILDING SETBACK
- PROPOSED ROAD CENTER
- PHASE LINE
- COR GREENWAY EASEMENT
- ZONING BOUNDARY
- DRAINAGE EASEMENT
- FENCE LINE
- SANITARY SEWER EASEMENT
- ZONE AE FLOOD PLAIN
- EXISTING WETLANDS
- NEUSE RIPARIAN BUFFER



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 05/23/2023
 DRAWN BY: 331
 DESIGNED BY: 331
 CHECKED BY: M. ZACCARDO
 SCALE: 1" = 60'

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
 DETAILED LANDSCAPING PLAN

JOB NO. 48212
 SHEET NO. C9.3

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

BUFFER AREA -1
625' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS SECONDARY OPEN SPACE
- THIS ARE IS 50' WIDE AND UNDISTURBED EXCEPT FOR EXCEPT FOR ROAD SIDE GRADING, UTILITY LINE RELOCATION, AND MINOR ROAD IMPROVEMENT DRAINAGE

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
- EXISTING VEGETATED MEETS REQUIREMENTS

FORESTVILLE STREET TREE PLANTING AREA 1
380' LENGTH

EXISTING AND DESIGN CONDITIONS

- ROAD CROSS SECTION IS TO BE A DITCH SECTION WITH A 6' PLANTING ARE BETWEEN THE TOP OF BANK AND 10' MULTI USE PATH.
- OVERHEAD LINES TO BE MOVED ON OUTSIDE OF MULTI-USE PATH

REQUIRED STREET TREE PLANTING

- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 50 FEET ON CENTER
- PROVISIONS MADE FOR SITE TRIANGLES
- TREE TO BE 3" CAL 10-12" HT MINIMUM
- 380' / 50' OC = 8 TREES

PROVIDED BUFFER PLANTING

- TREES PLANTED A 50' OC
- 9 TREES PROVIDED

STREETSCAPE AREA 1

TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	9	ACER SACCARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL

BUFFER AREA -2
340' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS ARE IS 50' WIDE AND UNDISTURBED EXCEPT FOR EXCEPT FOR ROAD SIDE GRADING AND UTILITY LINE RELOCATION

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
- EXISTING VEGETATED MEETS REQUIREMENTS

FORESTVILLE STREET TREE PLANTING AREA 2
1452' LENGTH

EXISTING AND DESIGN CONDITIONS

- ROAD CROSS SECTION IS TO BE A DITCH SECTION WITH A 6' PLANTING ARE BETWEEN THE TOP OF BANK AND 10' MULTI USE PATH.
- OVERHEAD LINES TO BE MOVED OUTSIDE OF MUTI-USE PATH

REQUIRED STREET TREE PLANTING

- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 50 FEET ON CENTER
- PROVISIONS MADE FOR SITE TRIANGLES
- TREE TO BE 3" CAL 10-12" HT MINIMUM
- 1450' / 50' OC =29 TREES

PROVIDED BUFFER PLANTING

- TREES PLANTED A 50' OC
- 31 TREES PROVIDED

STREETSCAPE AREA - 2

TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	18	ACER SACCARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL
	13	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL

BUFFER AREA - 3
705' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS ARE IS 50' WIDE AND UNDISTURBED EXCEPT FOR EXCEPT FOR ROAD SIDE GRADING AND UTILITY LINE RELOCATION

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
- EXISTING VEGETATED MEETS REQUIREMENTS

FORESTVILLE STREET TREE PLANTING AREA 3
600' LENGTH

EXISTING AND DESIGN CONDITIONS

- ROAD CROSS SECTION IS TO BE A DITCH SECTION WITH A 6' PLANTING ARE BETWEEN THE TOP OF BANK AND 10' MULTI USE PATH.
- OVERHEAD LINES TO BE MOVED ON OUTSIDE OF MULTI-USE PATH

REQUIRED STREET TREE PLANTING

- ONE UPPER STORY (SHADE) TREE TO BE PLANTED 50 FEET ON CENTER
- PROVISIONS MADE FOR SITE TRIANGLES
- TREE TO BE 3" CAL 10-12" HT MINIMUM
- 600' / 50' OC = 12 TREES

PROVIDED BUFFER PLANTING

- TREES PLANTED A 50' OC
- 14 TREES PROVIDED
- ONE TREE ADDED ON SOUTH SIDE OF ENTRANCE

STREETSCAPE AREA - 3

TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	8	ACER SACCARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL
	6	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
AS SHOWN

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
 5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

LANDSCAPING BUFFER SCHEDULE

JOB NO.
48212

SHEET NO.
C9.10

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

BUFFER AREA - 4
50' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS ARE IS 50' WIDE AND UNDISTURBED EXCEPT FOR EXCEPT FOR ROAD SIDE GRADING AND UTILITY LINE RELOCATION

REQUIRED BUFFER PLANTING

- NO BUFFER REQUIRED IN THAT THE EXISTING CONDITIONS WILL PRESERVE A 40' MINIMUM BUFFER ALONG THE ROAD FRONTAGE

PROVIDED BUFFER PLANTING

- THIS OPEN SPACE PER OPEN SPACE, GRADING AND TREE CONSERVATION PLANS THIS AREA IS TO BE UNDISTURBED EXCEPT FOR MINOR ROAD SIDE GRADING THE AREA AND BUFFER REMAIN UNDISTURBED.
- NO BUFFER PLANTING IS TO BE INSTALLED
 - EXISTING VEGETATED MEETS REQUIREMENTS

BUFFER AREA - 5
233' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS ARE IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 233 LF

- TOTAL SHADE TREES 233' = (2.33) X 2 = 5 SHADE TREES
- TOTAL EVERGREEN TREES = (2.33) X 2 = 5 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.33) X 2 = 5 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.33) X 2 = 5 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS (2.33) X 40 = 94 SHRUBS

PROVIDED BUFFER PLANTING

233 LF

- TOTAL SHADE TREES - 10 SHADE TREES
- TOTAL EVERGREEN TREES - 10 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 10 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES -10 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 98 SHRUBS

BUFFER AREA - 6
620' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS ARE IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 620 LF

- TOTAL SHADE TREES 620' = (6.2) X 2 = 13 SHADE TREES
- TOTAL EVERGREEN TREES = (6.2) X 2 = 13 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (6.2) X 2 = 13 UNDESTORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (6.2) X 2 = 13 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS (6.2) X 40 = 248 SHRUBS

PROVIDED BUFFER PLANTING

620 LF

- TOTAL SHADE TREES - 14 SHADE TREES
- TOTAL EVERGREEN TREES - 13 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 14 UNDESTORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 13 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 248 SHRUBS

BUFFER AREA 5

SHADE TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	4	ACER SACCARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	1	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	4	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR
	1	MAGNOLIA GRAND.	SOUTHERN MAG	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR

UNDER STORY TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	3	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8'	4'-6'	3 STEM - FULL	DEC
	2	BETULA NIGRA	RIVER BIRCH	1.5"	6'-8'	4'-6'	3 STEM - FULL	DEC
	2	PRUNUS CAROLINIANA	CHERRY LAUREL	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR
	3	THUGA CANADENSIS	HEMLOCK	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR

SHRUBS

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	35	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL	EVGR
	17	AZALEA ENCORE	AZALEA - AUTUMN		18"-24"	18"-24"	FULL- COLOR VARIETIES	EVGR
	10	CHAMAECYPARIS OBTUSA	CHAMAECYPARIS		18"-24"	18"-24"	FULL	EVGR
	8	EUONYMUS FORTUNEI	EUONYMUS		18"-24"	18"-24"	FULL - LARGE VARIETY	EVGR
	8	LOROPETALUM CHINENSE	CHINESE FRINGE		18" -24"	18"-24" "	FULL LARGE VARIETY	EVGR
	20	VIBURNUM OBVATUM	VIBURNUM		18" -24"	18"-24" "	FULL LARGE VARIETY	EVGR

BUFFER AREA 6

SHADE TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	5	ACER SACCARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	3	PLATANUS OCCIDENTALIS	SYCAMORE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	6	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	5	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR
	5	MAGNOLIA GRAND.	SOUTHERN MAG	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR

UNDER STORY TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	6	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8'	4'-6'	3 STEM - FULL	DEC
	5	BETULA NIGRA	RIVER BIRCH	1.5"	6'-8'	4'-6'	3 STEM - FULL	DEC
	2	CERCIS CANADENSIS	REDBUD	1.5"	6'-8'	4'-6'	SINGLE LEADER - FULL	DEC
	2	CORNUS FLORIDA	DOGWOOD	1.5"	6'-8'	4'-6'	SINGLE LEADER - FULL	DEC
	7	ILEX X FOSTER	FOSTER HOLLY	1.5"	6'-8'	4'-6'	SINGLE LEADER - FULL	EVGR
	3	MAGNOLIA GRANDIFLORA	LITTLE GEM	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR
	3	THUGA CANADENSIS	HEMLOCK	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR

SHRUBS

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	80	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL	EVGR
	27	AZALEA ENCORE	AZALEA - AUTUMN		18"-24"	18"-24"	FULL- COLOR VARIETIES	EVGR
	0	CHAMAECYPARIS OBTUSA	CHAMAECYPARIS		18"-24"	18"-24"	FULL	EVGR
	20	EUONYMUS FORTUNEI	EUONYMUS		18"-24"	18"-24"	FULL - LARGE VARIETY	EVGR
	0	ILEX CORNUTA - BURFO	BURFORD HOLLY		18"-24"	18"-24"	FULL	EVGR
	11	LIGUSTRUM JAPONICUM	LIGUSTRUM		18" -24"	18"-24" "	FULL LARGE VARIETY	EVGR
	29	LOROPETALUM CHINENSE	CHINESE FRINGE		18" -24"	18"-24" "	FULL LARGE VARIETY	EVGR
	52	MYRICA CERIFERA	WAX MYRTLE		18" -24"	18"-24" "	FULL LARGE VARIETY	EVGR
	30	VIBURNUM OBVATUM	VIBURNUM		18" -24"	18"-24" "	FULL LARGE VARIETY	EVGR



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
AS SHOWN

REVISION DESCRIPTION

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
LANDSCAPING BUFFER SCHEDULE

JOB NO.
48212

SHEET NO.
C9.11

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

BUFFER AREA - 7
340' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS ARE IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 340 LF

- TOTAL SHADE TREES 340' = (3.4) X 2 = 7 SHADE TREES
- TOTAL EVERGREEN TREES = (3.4) X 2 = 7 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (3.4) X 2 = 7 UNDESTORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (3.4) X 2 = 7 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS (3.4) X 40 = 136 SHRUBS

PROVIDED BUFFER PLANTING

620 LF

- TOTAL SHADE TREES - 7 SHADE TREES
- TOTAL EVERGREEN TREES - 7 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 7 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 7 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 140 SHRUBS

BUFFER AREA -8
755' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY, TERTIARY OPEN SPACE
- THIS AREA UNDISTURBED EXCEPT THE CONSTRUCTION OF A RETAINING WALL TO PROTECT THE WETLAND BUFFER

REQUIRED BUFFER PLANTING

- NO BUFFER IS REQUIRED BECAUSE OF THE TREE CONSERVATION AREA.

PROVIDED BUFFER PLANTING

- NO PLANTING IS PROVIDED

BUFFER AREA - 9
430' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA AN IS AND UN-DESIGNATED
- THIS ARE IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 430 LF

- TOTAL SHADE TREES 430' = (4.3) X 2 = 9 SHADE TREES
- TOTAL EVERGREEN TREES = (4.3) X 2 = 9 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (4.3) X 2 = 9 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (4.3) X 2 = 7 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (4.3) X 40 = 172 SHRUBS

PROVIDED BUFFER PLANTING

430 LF

- TOTAL SHADE TREES - 9 SHADE TREES
- TOTAL EVERGREEN TREES - 9 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 9 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 9 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 172 SHRUBS

BUFFER AREA - 7

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	3	ACER SACCARUM	SUGAR MAPLE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL DEC
	4	QUERCUS ALBA	WHITE OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL DEC
	3	ILEX x NELLIE STEVENS	NEL. STEV. HOLLY	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
	4	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR

UNDER STORY TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	4	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8'	4'-6'	3 STEM - FULL DEC
	3	CORNUS FLORIDA	DOGWOOD	1.5"	6'-8'	4'-6'	SINGLE LEADER - FULL DEC
	4	ILEX X FOSTER	FOSTER HOLLY	1.5"	6'-8'	4'-6'	SINGLE LEADER - FULL EVGR
	3	PRUNUS CAROLINIANA	CHERRY LAUREL	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR

SHRUBS

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	27	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL EVGR
	21	EUONYMUS FORTUNEI	EUONYMUS		18"-24"	18"-24"	FULL - LARGE VARIETY EVGR
	32	LOROPETALUM CHINENSE	CHINESE FRINGE		18" -24"	18"-24" "	FULL LARGE VARIETY EVGR
	35	MYRICA CERIFERA	WAX MYRTLE		18" -24"	18"-24" "	FULL LARGE VARIETY EVGR

BUFFER AREA 9

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	3	PLATANUS OCCIDENTALIS	SYCAMORE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL DEC
	6	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL DEC
	3	ILEX x NELLIE STEVENS	NEL. STEV. HOLLY	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
	6	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
	55	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL EVGR
	57	AZALEA ENCORE	AZALEA - AUTUMN		18"-24"	18"-24"	FULL - COLOR VARIETIES EVGR
	60	CHAMAECYPARIS OBTUSA	CHAMAECYPARIS		18"-24"	18"-24"	FULL EVGR



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE	DESCRIPTION
05/23/2023	

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
LANDSCAPING BUFFER SCHEDULE

JOB NO.
48212

SHEET NO.
C9.12

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

BUFFER AREA - 10
919' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY OPEN SPACE
- THIS AREA UNDISTURBED EXCEPT THE CONSTRUCTION OF A RETAINING WALL TO PROTECT THE WETLAND BUFFER

REQUIRED BUFFER PLANTING

- NO BUFFER IS REQUIRED BECAUSE OF THE TREE CONSERVATION AREA AND STREAM BUFFER.

PROVIDED BUFFER PLANTING

- NO PLANTING IS PROVIDED

BUFFER AREA - 11
208' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS ARE IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 208 LF

- TOTAL SHADE TREES = (2.08) X 2 = 4 SHADE TREES
- TOTAL EVERGREEN TREES = (2.08) X 2 = 4 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.08) X 2 = 4 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.08) X 2 = 4 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (2.08) X 40 = 83 SHRUBS

PROVIDED BUFFER PLANTING

208 LF

- TOTAL SHADE TREES - 4 SHADE TREES
- TOTAL EVERGREEN TREES - 4 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 4 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 4 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 83 SHRUBS

BUFFER AREA - 12
275' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA AN IS AND UN-DESIGNATED
- THIS ARE IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS

TOTAL BUFFER LENGTH = 275 LF

- TOTAL SHADE TREES = (2.75) X 2 = 6 SHADE TREES
- TOTAL EVERGREEN TREES = (2.75) X 2 = 6 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.75) X 2 = 6 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.75) X 2 = 6 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (2.75) X 40 = 110 SHRUBS

PROVIDED BUFFER PLANTING

430 LF

- TOTAL SHADE TREES - 6 SHADE TREES
- TOTAL EVERGREEN TREES - 6 EVERGREEN TREES
- TOTAL UNDER STORY TREES - 6 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES - 6 UN/ST EV.GR. TREES
- TOTAL EVERGREEN SHRUBS - 110 SHRUBS

BUFFER AREA - 13
1901' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS PRIMARY, TERTIARY OPEN SPACE, AND PRIMARY, SECONDARY TCA
- THIS AREA UNDISTURBED EXCEPT THE CONSTRUCTION OF A RETAINING WALL TO PROTECT THE WETLAND BUFFER

REQUIRED BUFFER PLANTING

- NO BUFFER IS REQUIRED BECAUSE OF THE TREE CONSERVATION AREA AND STREAM BUFFERS.

PROVIDED BUFFER PLANTING

- NO PLANTING IS PROVIDED

BUFFER AREA 11

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	4	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
	4	MAGNOLIA GRAND.	SOUTHERN MAG	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
UNDER STORY TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	4	CORNUS FLORIDA	DOGWOOD	1.5"	6'-8'	4'-6'	SINGLE LEADER - FULL DEC
	4	ILEX X FOSTER	FOSTER HOLLY	1.5"	6'-8'	4'-6'	SINGLE LEADER - FULL EVGR
SHRUBS							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	25	ILEX CORNUTA - BURFO	BURFORD HOLLY		18"-24"	18"-24"	FULL EVGR
	25	LIGUSTRUM JAPONICUM	LIGUSTRUM		18"-24"	18"-24"	FULL LARGE VARIETY EVGR
	14	LOROPETALUM CHINENSE	CHINESE FRINGE		18"-24"	18"-24"	FULL LARGE VARIETY EVGR
	19	MYRICA CERIFERA	WAX MYRTLE		18"-24"	18"-24"	FULL LARGE VARIETY EVGR

BUFFER AREA 12

SHADE TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	6	QUERCUS RUBRA	RED OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL DEC
	6	ILEX x NELLIE STEVENS	NEL. STEV. HOLLY	3"	10'-12'	6'-8'	SINGLE LEADER - FULL EVGR
UNDER STORY TREES							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	6	PRUNUS CAROLINIANA	CHERRY LAUREL	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR
	6	THUGA CANADENSIS	HEMLOCK	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL EVGR
SHRUBS							
SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES
	45	ABELIA GRANDIFLORA	GLOSSY ABELIA		18"-24"	18"-24"	FULL EVGR
	37	AZALEA ENCORE	AZALEA - AUTUMN		18"-24"	18"-24"	FULL - COLOR VARIETIES EVGR
	28	EUONYMUS FORTUNEI	EUONYMUS		18"-24"	18"-24"	FULL - LARGE VARIETY EVGR



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023
DRAWN BY
331
DESIGNED BY
331
CHECKED BY
M. ZACCARDO
SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY
LANDSCAPING BUFFER SCHEDULE

JOB NO.
48212
SHEET NO.
C9.13

PROGRESS DRAWING - DO NOT USE FOR CONSTRUCTION

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

S:\33148212\img_TimedDWG\Sheet\FSP48212-331-C7-D-PLANT.dwg | Plotted on 5/23/2023 10:19 AM | by Gibson Blakelee

BUFFER AREA - 14
225' LENGTH

PER SHEET 2.10 OPEN SPACE PLAN
PER SHEET 2.11 TREE CONSERVATION AREA PLAN
PER SHEET 4.0 AND 4.2 GRADING PLANS

EXISTING AND DESIGN CONDITIONS

- THIS AREA IS TERTIARY OPEN SPACE
- THIS ARE IS 20' WIDE AND WILL DISTURBED DUE TO GRADING AND UTILITY INSTALLATION.

REQUIRED BUFFER PLANTING

- TYPE B1 BUFFER REQUIRED
- PER 100'
 - 2 DECIDUOUS SHADE TREES AND 2 LARGE EVER GREEN TREES
 - 2 DECIDUOUS UNDER STORY TREES AND 2 EVERGREEN UNDER STORY TREES
 - 40 EVERGREEN SHRUBS
- TOTAL BUFFER LENGTH = 225 LF
- TOTAL SHADE TREES = (2.25) X 2 = 5 SHADE TREES
- TOTAL EVERGREEN TREES = (2.25) X 2 = 5 EVERGREEN TREES
- TOTAL UNDER STORY TREES = (2.25) X 2 = 5 UNDER STORY TREES
- TOTAL UNDER STORY EVERGREEN TREES (2.25) X 2 = 5 UN/ST EV.GR. TREE
- TOTAL UNDER STORY EVERGREEN (2.25) X 40 = 90 SHRUBS

PROVIDED BUFFER PLANTING

- 225 LF
- TOTAL SHADE TREES - 5 SHADE TREES
 - TOTAL EVERGREEN TREES - 5 EVERGREEN TREES
 - TOTAL UNDER STORY TREES - 5 UNDER STORY TREES
 - TOTAL UNDER STORY EVERGREEN TREES - 5 UN/ST EV.GR. TREES
 - TOTAL EVERGREEN SHRUBS - 90 SHRUBS

BUFFER AREA 14

SHADE TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	5	QUERCUS ALBA	WHITE OAK	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	DEC
	5	PINUS TAEDA	LOBLOLLY PINE	3"	10'-12'	6'-8'	SINGLE LEADER - FULL	EVGR

UNDER STORY TREES

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	5	LAGERSTOEMIA INDICA	CREPE MYRTLE	1.5"	6'-8"	4'-6"	3 STEM - FULL	DEC
	5	MAGNOLIA GRANDIFLORA	LITTLE GEM	1.5"	6'-8"	4'-6"	SINGLE LEADER - FULL	EVGR

SHRUBS

SYMB	QUANT	SCIENTIFIC NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	NOTES	
	30	ILEX CORNUTA - BURFO	BURFORD HOLLY		18"-24"	18"-24"	FULL	EVGR
	30	LIGUSTRUM JAPONICUM	LIGUSTRUM		18"-24"	18"-24"	FULL LARGE VARIETY	EVGR
	30	VIBURNUM OBVATUM	VIBURNUM		18"-24"	18"-24"	FULL LARGE VARIETY	EVGR



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
05/23/2023

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
M. ZACCARDO

SCALE
AS SHOWN

NORTH CAROLINA LICENSE NO. C-1652

MAGNOLIA FOREST
5401 FORESTVILLE ROAD, RALEIGH, WAKE COUNTY

LANDSCAPING BUFFER SCHEDULE

JOB NO.
48212

SHEET NO.
C9.14



Outdoor Lighting
Roadway LED



The Roadway LED is a green solution and great fit for streets, roads, long, narrow areas and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose low to medium light output on wood or fiberglass poles (or mount on an existing pole). Available with one to four fixtures per pole, depending on the fixture/pole combination selected.

LED	50 75 105 150 215 280 watts <i>(Light Emitting Diode)</i>
Mounting heights	25', 30', 35'
Color	Gray, Black
Poles	Fiberglass Metal (special conditions) Wood

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417.



Outdoor Lighting
Roadway LED

Light source: LED (white)
Lumens: 4,807 - 25,050 (fixture dependent)

Wattage	Light Pattern	IESNA Backlight-Uplight - Glare (BUG) Rating
LED 50	IESNA Type III (medium oval)	B1-UO-G1
LED 75	IESNA Type II (long oval)	B1-UO-G2
LED 105	IESNA Type II (long oval)	B2-UO-G3
LED 150	IESNA Type III (medium oval)	B2-UO-G2
LED 215	IESNA Type III (medium oval)	B3-UO-G3
LED 280	IESNA Type III (medium oval)	B3-UO-G4



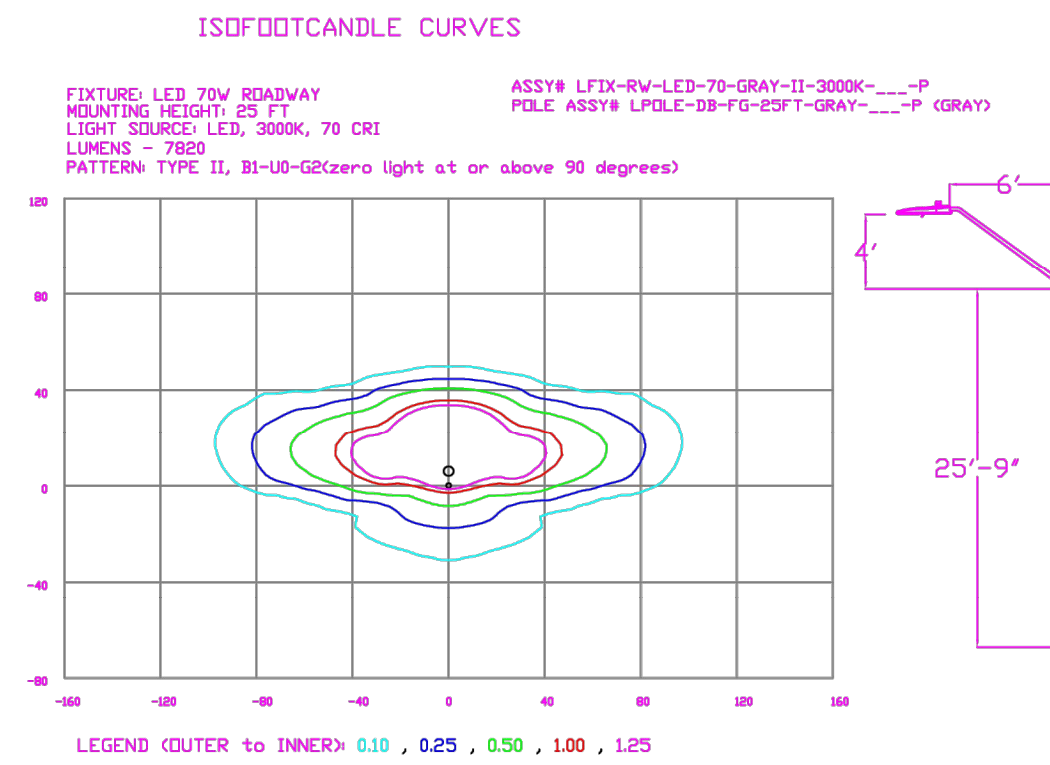
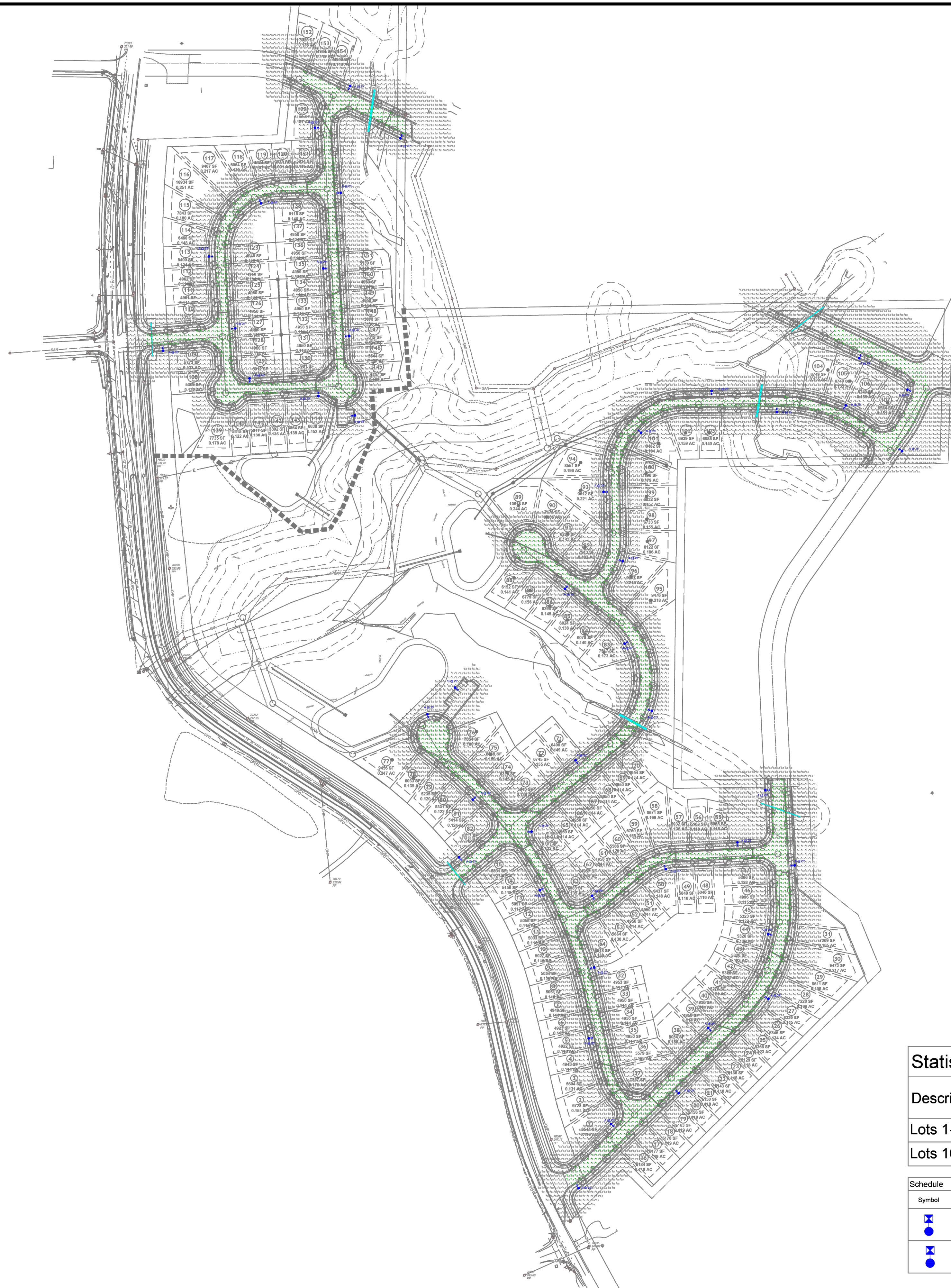
Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)

Name	Mounting height	Color
Fiberglass	25', 30', 35'	Gray
Fiberglass	25', 30', 35'	Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)**	25', 30', 35'	Gray

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

**2' raised foundation available when required.

©2015 Duke Energy Corporation 151307 7/15



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lots 1-107	✕	0.6 fc	2.1 fc	0.0 fc	N/A	N/A
Lots 108-154	✕	0.6 fc	2.1 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
✕	A	43	LED 70w Roadway - Type II - 3000K - Public	1	7776	0.85
✕	B	2	LED 70w Roadway - Type II - 3000K - Private	1	7776	0.85

REV#	DATE	REVISION	BY
Rev A	04/06/22	LED 70w Roadway	NJ

Customer approval _____
Date _____

DISTANCE CALIBRATION (INCHES)
0 0.5 1.0 2.0 3.0 4.0

LIGHTING DESIGN TOLERANCE
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



PROPRIETARY & CONFIDENTIAL
This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

MAGNOLIA FOREST
Raleigh, NC
SITE LIGHTING PLAN
Designed by DEP LIGHTING SOLUTIONS
Reviewed by T. Ferguson Scale 1" = 150'
Date 04/06/2022 Size Arch D
Description 70w Roadway
Drawing No. 22-0144A Sht. 1 OF 1