

PROJECT CONSULTANTS

STRUCTURAL ENGINEERING: GARY FROLENKO
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 23 HITCHCOCK WAY, #104
 SANTA BARBARA, CA
 93105

TITLE 24 ENERGY: INGER ASSOCIATES
 DAVID INGER, 969-1881
 620 CHELHAM WAY,
 SANTA BARBARA, CA 93108

SPECIAL INSPECTIONS

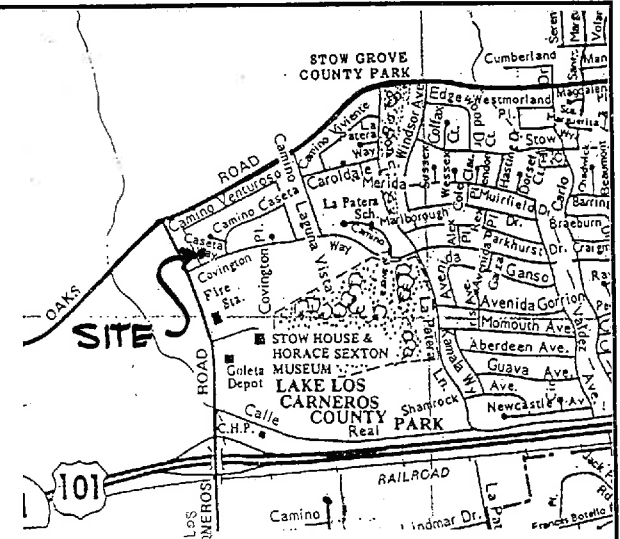
IMBEDDED RE-BAR & RETRO-FIT ANCHORS: GSI SOILS INC.
 PH. 349-0140
 524 CHAPEL STREET
 SANTA MARIA, CA
 93454

SCOPE OF WORK

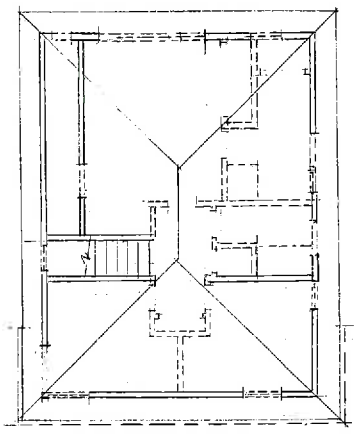
2141 S.F. INTERIOR REMODEL/ALTERATION, NEW FIRE CHIMNEY
 146 S.F. NEW COVERED PORCH 72 S.F. UPPER FLOOR DECK W/ STAIRWAY (E)

PROJECT DATA

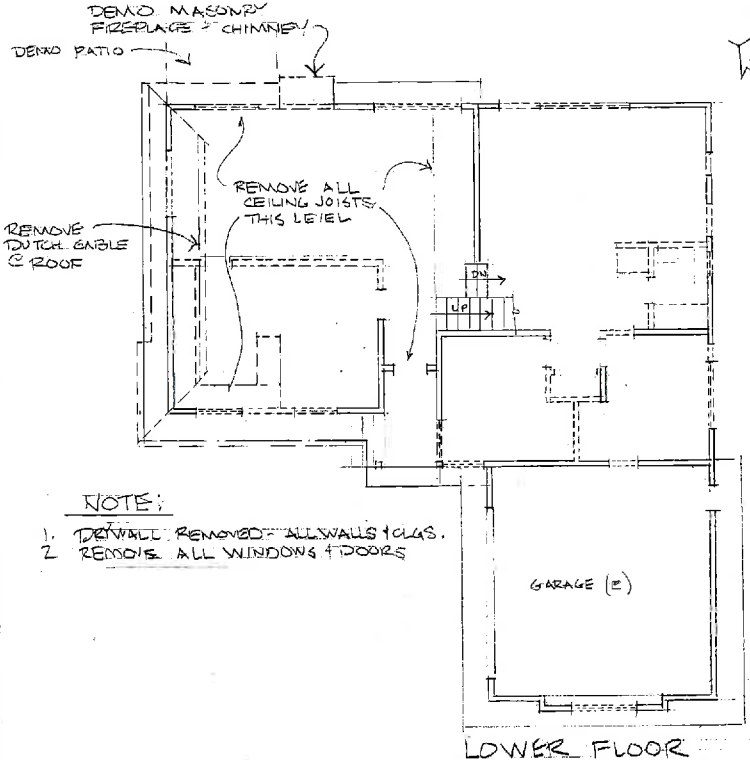
APN: 071-412-002 PROPERTY AREA: 8250 S.F. ZONE: RS-8
 SLOPE: PROPERTY 5.5%, BUILDING SITE: 0%, SOLAR ACCESS: N/A
 OCCUPANCY: R-3/U BUILDING TYPE: V/B
 GRADING: NONE
 RESIDENCE (EXISTING) - 2141 S.F. (NET) 2,296 S.F. (GROSS)
 GARAGE (EXISTING) - 414 S.F. (NET) 446 S.F. (GROSS)
 INTERIOR REMODEL - 2141 S.F.
 NEW COVERED PORCH - 146 S.F. NEW DECK 72 S.F.



VICINITY MAP - NO SCALE



UPPER FLOOR



LOWER FLOOR

DEMOLITION PLAN - 1/8" = 1'-0"

PLUMBING FIXTURE RETROFIT NOTE

ALL REMAINING, EXISTING PLUMBING FIXTURES OF THIS RESIDENCE THAT ARE NOT AFFECTED BY THE ADDITION OR REMODEL SHALL BE RETROFITTED TO CURRENT CPC REQUIREMENTS, AS FOLLOWS:

- WATER CLOSETS/ TOILETS SHALL CONSUME AN AVERAGE OF NOT MORE THAN 1.25 GALLONS OF WATER PER FLUSH.
- LAVATORY FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM AT 60 PSI.
- KITCHEN FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.8 GPM AT 60 PSI.
- SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM AT 80 PSI. MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF ALL SHOWERHEADS OF 2.0 GPM AT 80 PSI.

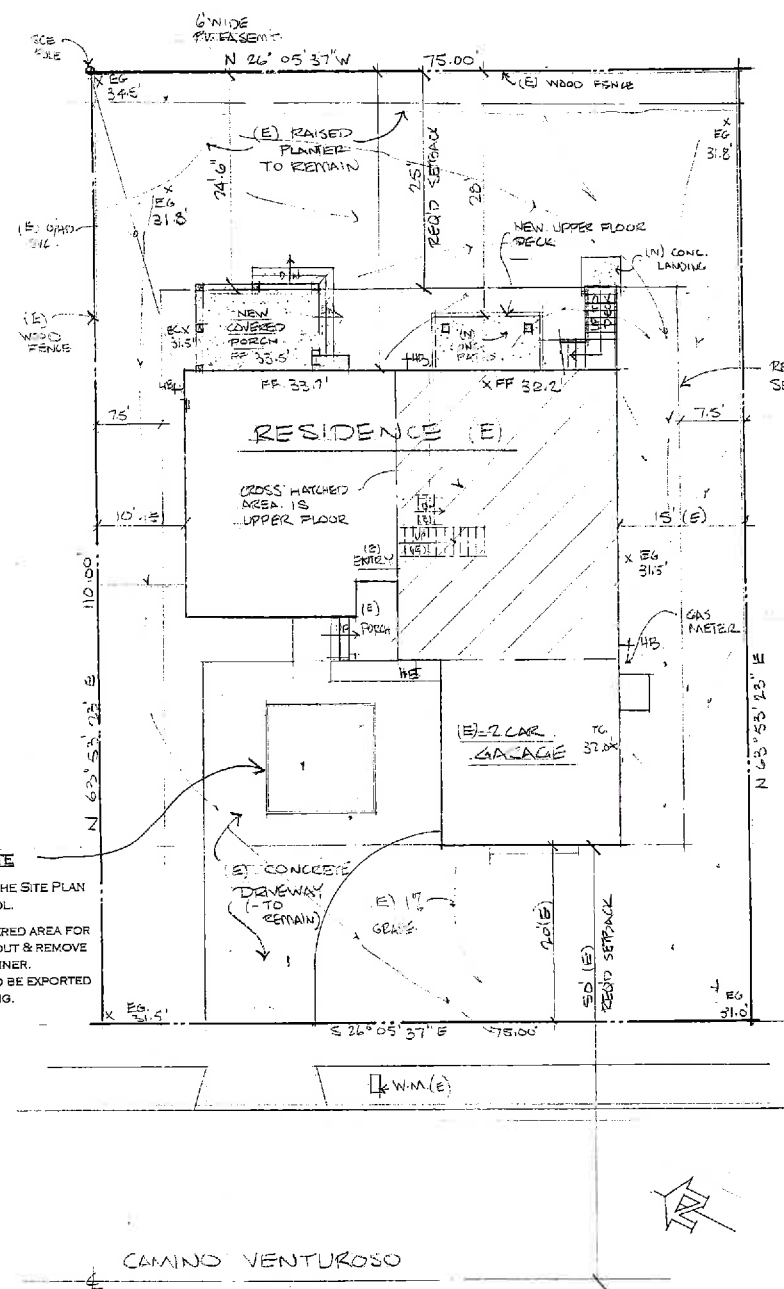
CALIFORNIA GREEN BUILDING CODE REQUIREMENTS

- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CGBC CHAPTER 4, DIVISION 4.4.
- PER CRC R390.1, FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS, AEROSOL PAINTS AND COATINGS, CARPET SYSTEMS, CARPET CUSHION, CARPET ADHESIVE, RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5.

EROSION & SEDIMENTATION NOTE

AN AREA OF THE EXISTING DRIVEWAY AS SHOWN ON THE SITE PLAN SHALL BE USED FOR EROSION AND SEDIMENT CONTROL.

- PROVIDE A PLASTIC/VISQUEEN LINED, BARRIERED AREA FOR CONCRETE, PAINT AND CONSTRUCTION WASHOUT & REMOVE FROM THE BUILDING SITE IN AN EXPEDIENT MANNER.
- ALL EXCAVATED SOIL IN THE ADDITION AREA TO BE EXPORTED FROM THE BUILDING SITE WITHOUT STOCKPILING.



SITE PLAN - 1" = 10'

CODE COMPLIANCE NOTE

2013 CALIFORNIA RESIDENTIAL CODE, (CRC);
 2013 CALIFORNIA BUILDING CODE, (CBC) - STRUCTURAL
 2013 CALIFORNIA PLUMBING CODE, (CPC);
 2013 CALIFORNIA MECHANICAL CODE, (CMC);
 2013 CALIFORNIA ELECTRICAL CODE, (CEC);
 2013 CALIFORNIA ENERGY CODE, (CENC);
 AND LATEST APPROVED SUPPLEMENTAL ORDINANCES

RECEIVED
 AUG 02 2016
 City of Goleta
 Planning & Environmental Services

SHEET INDEX

SHEET NO.	DESCRIPTION
1.	SITE PLAN, VICINITY MAP, SCOPE OF WORK, NOTES, DEMOLITION PLAN
2.	FLOOR PLANS, GENERAL NOTES, LEGEND, RESIDENTIAL LIGHTING STANDARDS,
3.	ROOF PLAN, EXTERIOR ELEVATIONS, DETAILS, BUILDING SECTIONS.
4.	FRAMING PLANS, NOTES, DETAILS.
5.	FOUNDATION PLAN, NOTES, DETAILS.
6.	DETAILS.
7.	TITLE 24, CF-1R REPORT

REVISIONS	BY

PLAN PREPARED BY:
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 E-MAIL SWANIN@COCX.NET

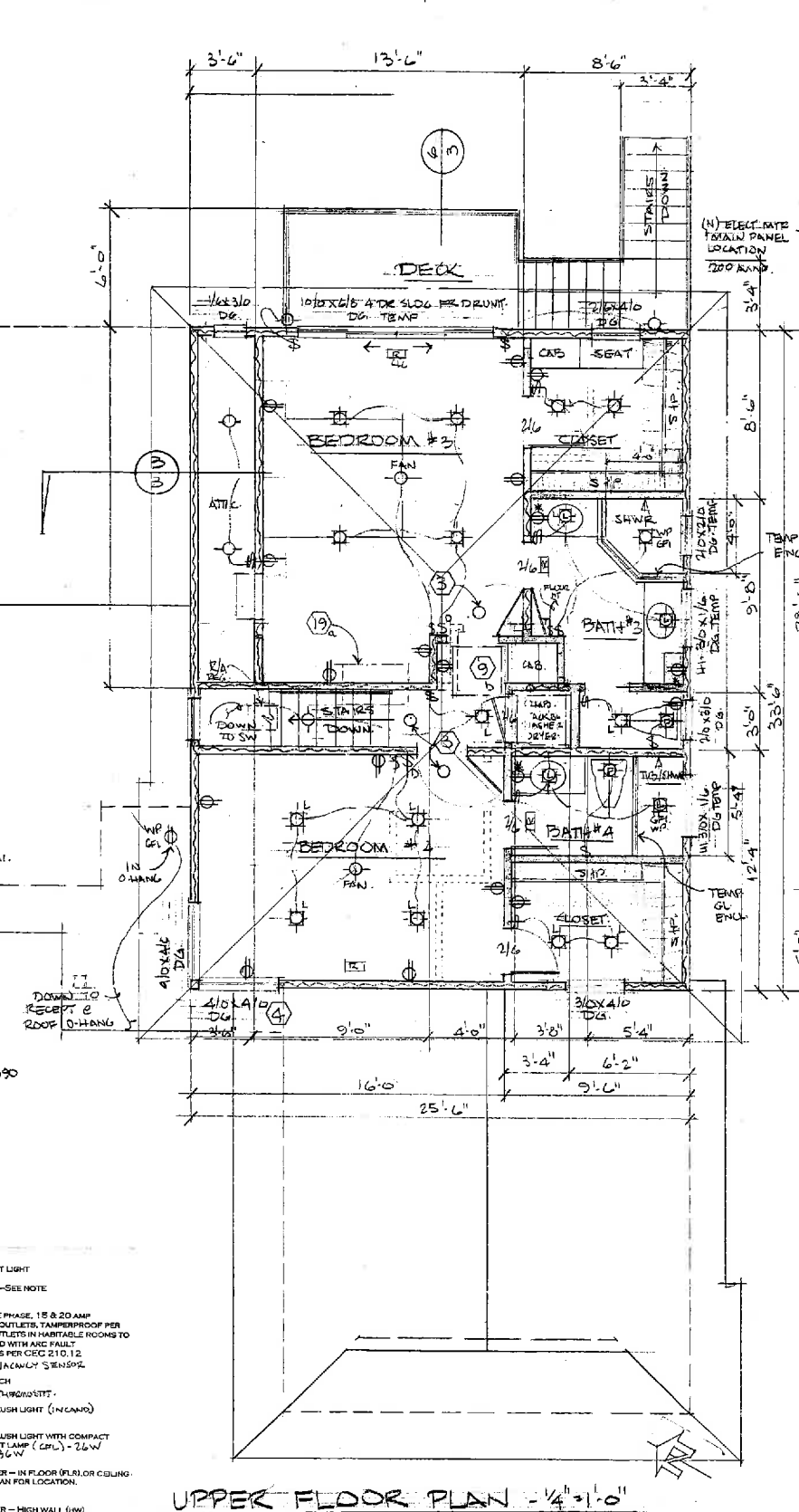
RESIDENTIAL ADDITION / ALTERATION FOR:
SAM AND KERRI MAXWELL
 6897 CAMINO VENTUROSO, CITY OF GOLETA, CA
 PHONE: 317-294-3546
 APN: 077-412-002

Date	7-27-16
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Of	7

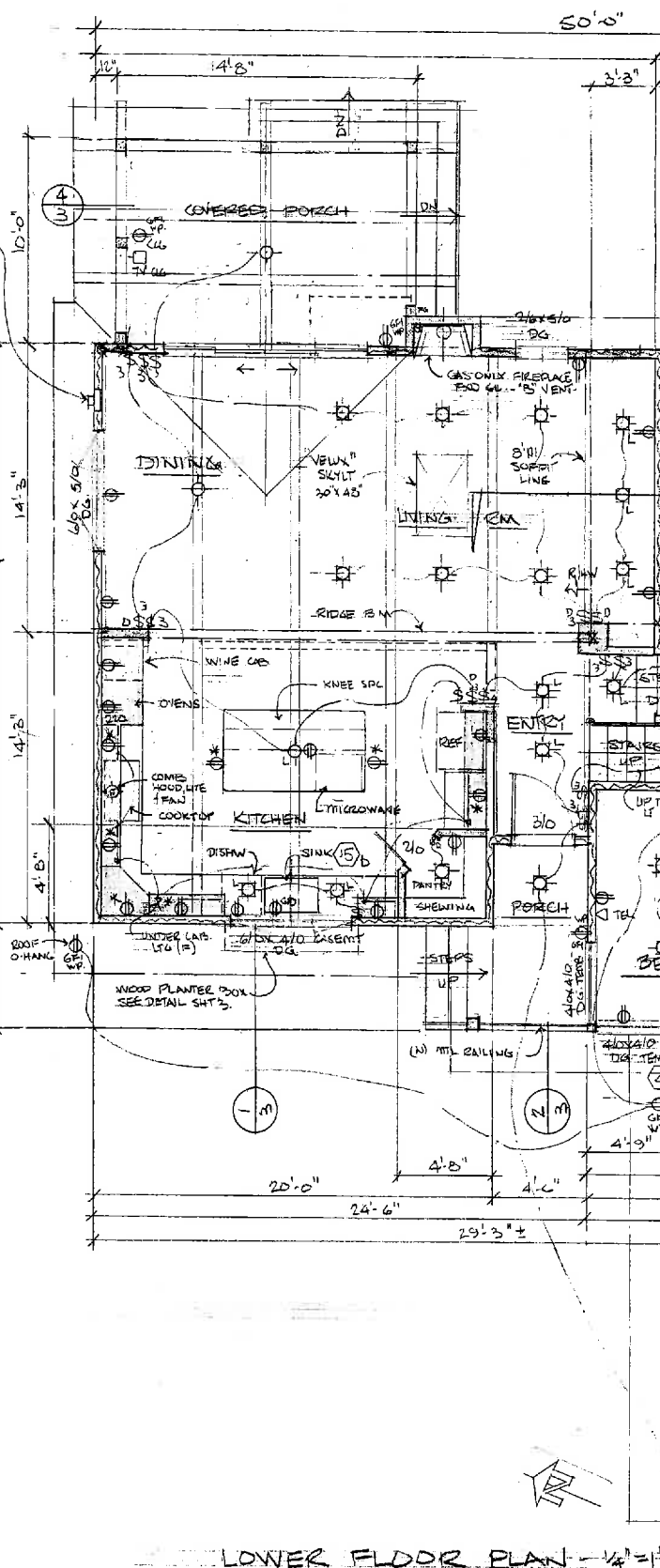
GENERAL NOTES

- 1. WORK SHALL CONFORM WITH THE LATEST EDITION OF THE CALIFORNIA RESIDENTIAL BUILDING, PLUMBING, AND ELECTRICAL CODES, TITLE 24 ENERGY AND APPLICABLE LOCAL ORDINANCES. ALL CODES SHALL SUPERSEDE ANY DISCREPANCY ON THE PLANS.
2. DIMENSIONS SHALL SUPERSEDE SCALE OF DRAWINGS. VERIFY ANY ERRORS, OMISSIONS, OR DISCREPANCIES PRIOR TO CONSTRUCTION.
3. SMOKE ALARM AND CARBON MONOXIDE ALARM DEVICES:
1.1 LOW POWERED UNITS - SMOKE ALARMS PER CRC R314.1, 1.3 THROUGH R314.6.3 AND CARBON MONOXIDE ALARMS PER CRC R315.1, 1.3 THROUGH R315.2.2 WITH BATTERY BACKUP. MULTIPLE UNITS TO BE INTERCONNECTED.
NOTE: SD & CO UNITS, PER CODE, MAY BE SOLIDLY BATTERY OPERATED WHERE NO NEW CONSTRUCTION IS TAKING PLACE.
4. SLEEPING ROOM EGRESS WINDOWS, PER CRC R310.1.
A. WINDOW SILL HEIGHT TO BE 44" MAX. ABOVE FINISH FLOOR.
B. CLEAR OPENING AREA - 5.7 SF MIN. AREA & 20" MIN. WIDE OR 24" MIN. HIGH. CLEAR OPENING AREA AT GRADE FLOOR LEVEL SHALL BE 9" MIN.
5. ELECTRICAL
A. ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS SUPPLYING HABITABLE ROOMS SHALL BE TAMPERPROOF AND PROTECTED WITH LISTED AFCI FAULT CIRCUIT INTERRUPTERS, PER CEC 210.12.
B. KITCHEN APPLIANCE OUTLET - SEPARATE CIRCUIT WITH GFI PROTECTION.
C. BATH APPLIANCE OUTLET - SEPARATE CIRCUIT WITH GFI PROTECTION.
D. GARAGE OUTLET - SEPARATE CIRCUIT WITH GFI PROTECTION.
E. EXTERIOR OUTLET - SEPARATE CIRCUIT, WATERPROOF WITH GFI PROTECTION.
6. CRAWL SPACE VENTILATION:
A. VENTILATION AREA TO BE 1 SF PER 150 SQ. FT. PER 150 SQ. FT. PER VENTILATION REQUIRED.
B. SEE FOUNDATION PLAN FOR CALCULATION NOTE, SHT 1.
C. LOUVERED SCREENED VENTS SHALL BE PER CRC R403.2.
D. MECHANICAL EXHAUST VENTILATION - LEAK OF NATURAL VENTILATION PER CRC R403.5. PROVIDE 1 CFM PER 50 SQ. FT. OF UNDER FLOOR AREA.
E. WHEN THE CRAWLSPACE IS COVERED WITH A CLASS 1 VAPOR BARRIER MATL, THE MINIMUM NET AREA OF VENTILATED OPENINGS SHALL NOT BE LESS THAN 1 SF FOR EACH 1,000 SQ. FT. OF CRAWLSPACE AREA. ONE VENTILATOR SHALL BE WITHIN 3 FT. OF EACH CORNER OF THE STRUCTURE - SECTION R403.1.
7. CRAWL SPACE ACCESS: 18" X 24" MIN. THRU FLOOR AND 18" X 24" THRU AN EXTERIOR WALL PER CRC R403.4 BUT NOT LESS THAN THE DIMENSIONS OF A PROPOSED UNDER FLOOR FURNACE UNIT. PROVIDE LIGHT, SWITCH, PLUG & GAS FOR FURNACE.
8. ATTIC VENTILATION:
A. ATTIC VENTILATION AREA SHALL BE 1 SF PER 150 SQ. FT. OF ATTIC AREA PER CRC R906.2.
C. SHT 2 - 2 SF / 150 SQ. FT. (SEE FOUNDATION PLAN FOR CALCULATION NOTE.
AND/OR ROOF PLAN SHT 3 - FOR CALCULATION NOTE.
D. AT ENCLOSED RAFTER CEILING, VENTILATION PROCEDURE SHALL BE PER CRC R906.5.
E. UNVENTED, ENCLOSED RAFTER ASSEMBLIES TO BE COMPLETELY ENCASED WITH "GYNENE" FOAMED INSULATION, NO VOIDS.
9. ATTIC ACCESS:
A. 22" X 30" MINIMUM PER CRC R907.1.1 & CMC904.1.1.
B. 2" X 30" MIN. AIR SPACE IS LOCATED IN ATTIC, BUT NOT MORE THAN NECESSARY FOR THE SIZE OF THE UNIT TO BE REPLACED.
PROVIDE A SWITCH, LIGHT, PLUG, GAS AND 24" WIDE PLYWOOD CATWALK AND 30" PLYWOOD SPACE IN FRONT OF FURNACE ENCLOSURE - 20" LONG CATWALK MAX.
10. GARAGE:
A. GARAGE AND THE REAR PORCH AND THE REAR PORCH SHALL BE 20 MINUTE RATED FIRE DOOR, SELF CLOSING AND SELF LATCHING PER CRC R302.5.1.
B. DWELLING SEPARATION WALL - 1/2" GYPSUM BOARD TO ROOF PER CRC, TABLE R302.6.
11. STAIRS AND DECK:
A. 4" MIN. AND 10" MAX. STAIR RISERS, PER CRC R311.7.2.1 AND 10" MIN. WIDE TREADS PER CRC, R311.7.2.2 STAIRWAY WIDTH, 36" MIN. PER CRC R311.7.1.
B. STAIR RAILING TO BE 34" MIN. TO 38" MAX. ABOVE NOSE OF TREAD, PER CRC R311.7.1.1. HANDRAIL OR RAILING TO BE 1 1/4" AT MAX. TO 2" MAX. MIN. SHALL RETURN TO WALL WITH 1 1/2" CLEAR SPACE TO WALL PER CRC R311.7.1.2.
IF HANDRAILS ARE GREATER THAN 6' 4", A CHANGIBLE RIBBON IS REQUIRED PER CRC R311.7.1.3. RAIL/PICKETS AT STAIRS TO BE SPACED NOT TO ALLOW A 4 1/8" SPACING PER CRC R312.1.3.2. EXCEPTION #1.
C. 42" HIGH GUARDRAIL PER CRC, R312.1.2. INTERMEDIATE RAILS/PICKETS SHALL BE SPACED NOT TO ALLOW A 4" SPACING TO PASS THROUGH PER CRC, R312.1.3.
D. CLOSED VISIBLE SPACE BETWEEN STAIRS SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD AT WALLS AND CEILING PER CRC, R302.7.
12. 14" X 14" MINIMUM TUB ACCESS PER CFC 404.2.
13. STUCCO:
A. WATER RESISTANT BARRIER PER CRC R703.6.3. (2) LAYERS OF GRADE "D" PAPER IS REQUIRED BETWEEN PLYWOOD SHEAR PANELING AND EXTERIOR LATH.
THE INDIVIDUAL LAYERS OF PAPER SHALL BE INSTALLED INDEPENDENTLY AND ANY METAL FLASHING, PER SECTION R703.6.1 INSTALLED SHALL ALLOW DRAINAGE BETWEEN LAYERS.
B. KEEP SCREENS AND REINFORCING AT FOUNDATION PLATES OF EXTERIOR WALLS, PER CRC R703.6.2.1.
C. EXTERIOR LATH PER CRC R703.6.1.
D. COAT STUCCO SYSTEM PER CRC, R703.6.2.
14. INSULATION:
A. EXTERIOR WALLS - R13 BATTS
B. CEILING - R13 BATTS
C. INTERIOR PARTY WALLS - 3/4" SOUND BATTS.
D. EXTERIOR FLOORS - R19 BATTS
E. BETWEEN FLOORS - R19 BATTS
F. CEILING WITHOUT ATTIC - "GYNENE" FOAM INSULATION (NO VOIDS) - R30 MIN. RATED
15. PLUMBING FIXTURES:
A. TOILETS SHALL HAVE A MINIMUM OF 1.28 GALLONS PER FLUSH, AND TO BE LOCATED IN A 30" WIDE CLEAN FLOOR AND HAVE 24" CLEAR SPACE PER CFC 407.5.
B. KITCHEN AND LAUNDRY FAUCETS SHALL NOT EXCEED 1.8 GALLONS/MINUTE AT 60 PSI.
C. LAUNDRY FAUCETS SHALL NOT EXCEED 1.5 GALLONS/MINUTE AT 60 PSI.
D. SHOWER HEAD FLOW SHALL NOT EXCEED 2.0 GALLONS/MINUTE AT 60 PSI. SHOWER VALVES TO HAVE PRESSURE BALANCING OR THERMOSTATIC MIX FEATURES.
E. WATER HEATER TO HAVE A TAP RELIEF VALVE AND DRAIN TO OUTSIDE PER CFC603.0.7. PROVIDE BEAM C STRAPPING - (1) 1/3 FROM TOP & (1) 1/3 FROM BOTTOM PROVIDE AN 18" TO 12" REGISTRATION SEAM FOR WATER HEATER.
F. WEN POLYETHYLENE TUBING FOR LIGHT-GILD WATER SYSTEM, PER CFC SECTION 604.1.
G. WATER HEATER IS REQUIRED TO BE INSTALLED WITH EXCESS 50 PSI INSULATE FIRST 5 FT. OF WATER PIPING AT THE WATER HEATER.
H. HOSE BIBES AND IRRIGATION VALVES TO BE EQUIPPED WITH ANTI-SIPHON DEVICES.
16. LAUNDRY:
A. DRYER VENTED TO OUTSIDE AND EQUIPPED WITH A BACKDRAFT DAMPER, PER CMC 504.3.
B. WASHER AND DRYER TO HAVE SEPARATE 20 AMP CIRCUITS, PER CEC 210.11(C)(2).
17. EXHAUST FANS AT BATHROOMS SHALL BE CONTROLLED BY A HUMIDITY CONTROL, CRC 303.3.1 AND CGDC 4.506.1.
18. WATERPROOFING AND FLASHING:
A. ALL OPENINGS TO BE FLASHED IN A MANNER TO MAKE THE STRUCTURE WEATHERPROOF PER CRC R703.2 & R703.6.
B. 26 GA GALVANIZED METAL FLASHING AND COUNTER FLASHING PER CRC R703.9.
SIDEWALL TO ROOF FLASHING PER CRC R903.2.3.
C. 26 GA GALVANIZED VALLEY FLASHING AND UNDERLAINMENT PER CRC R903.2.3.2. WINDOWS AND DOORS SHALL BE INSTALLED AND WATERPROOFED PER THE MANUFACTURER'S SPECIFICATIONS AND CRC. DOORS AT DECK SHALL HAVE GALVANIZED DOOR PANEL. ALL JOINTS TO BE SOLDED, INCLUDING DECK FLASHING.
19. FURNACE:
A. FORCED AIR GAS FIRED, 110,000 BTU/HOUR UNIT "PAYNE" OR EQUAL, MODEL # PAB110-48030.
BTU INPUT - 110,000 BTU OUTPUT - 110,000 BTU.
UNIT DIMS - 24" X 24" X 36"
B. HEATING SUPPLY REGISTER W/ R-0 INSULATED DUCTS FROM FURNACE PLENUM.
C. THERMOSTAT TO HAVE AUTOMATIC NIGHT-SETBACK FEATURE.
20. GLAZING - CRC SECTION R308
A. ALL UNIT SHALL BE DUAL GLAZED (DGL) TEMPERED AS SHOWN ON THE PLAN.
B. "U" FACTOR - OPERABLE WINDOWS - .32
FIXED WINDOWS - .32
GLASS DOORS - TEMPERED - .32
BUTYL GUT (TEMPERED SAFETY GLASS) - .32
(PER CEC 2406)
C. IN HIGH FINE DISTRICT ONE PANE OF GLASS IN ANY WINDOW OR GLASS DOOR MUST BE TEMPERED.
LEGEND
NEW WALL
EXISTING WALL
REMOVE WALL
EXISTING BEARING WALL
SHEAR PANEL DESIGNATION - SEE SHEAR PANEL SCHEDULE
EXISTING
NEW
GFI RECEPTACLES AT KITCHEN, BATHS AND LAUNDRY - SEPARATE CIRCUITS - WALL UNITS 48" ABOVE FINISH FLOOR - VERIFY
GROUND FAULT INTERRUPTER
DUAL GLAZING
EXISTING GRADE
FINISH GRADE
HOSE REEL
FLUORESCENT LIGHT
EXHAUST FAN - SEE NOTE
120V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS, TAMPERPROOF PER CODE. ALL OUTLETS IN HABITABLE ROOMS TO BE PROTECTED WITH AFCI FAULT CIRCUIT INTERRUPTERS PER CEC 210.12. SWITCH W/ HANDED SENDS. DIMMER SWITCH. SWITCH W/ THROUGH LIT. RECESSED FLUSH LIGHT (IN CANN) RECESSED FLUSH LIGHT WITH COMPACT FLUORESCENT LAMP (CFL) - 26W L80 (L) - 3.6W. HEAT REGISTER - IN FLOOR (FR) OR CEILING (CG). SEE PLAN FOR LOCATION. HEAT REGISTER - HIGH WALL (HW)

MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) MF-1R
15100(A) Lighting installed in attached and detached garages, laundry rooms, and utility rooms shall be high efficacy luminaires and controlled by vacancy sensors.
15100(A)(1) Lighting installed in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy, or shall be controlled by other sensors or vacancy sensors. EXCEPTION 1: Luminaires in closets less than 70 square feet. EXCEPTION 2: Lighting in detached storage buildings less than 1000 square feet located on a residential site.
15100(A)(2) Luminaires recessed into insulated ceilings shall be listed for zero clearance insulation contact (ZC) by Underwriters Laboratories, or other nationally recognized testing laboratory, and have a label that verifies the luminaire is airtight with air (the luminaire housing and ceiling).
15100(A)(3) For single-family residential buildings, outdoor lighting permanently mounted to a residential building or other buildings on the same lot shall be high efficacy, or may be low efficacy if it meets all of the following requirements: 1. Controlled by a motion sensor and having an override or bypass switch that disables the motion sensor, or controlled by a motion sensor having a temporary override switch which temporarily bypasses the motion sensing function and automatically readjusts the motion sensor within 6 hours. 2. Controlled by one of the following methods: a. Photoelectric eye having an override or bypass switch that disables the photoelectric eye, or b. Astronomical time clock having an override or bypass switch that disables the astronomical time clock, and which is programmed to automatically turn the outdoor lighting OFF during daylight hours, or c. Energy management control system which meets all of the following requirements: A. A minimum provides the functionality of an astronomical time clock in accordance with Section 110.9; meets the Installation Certification requirements in Section 120.4; meets the requirements for an EMC3 in Section 130.5; does not have an override or bypass switch that allows the luminaire to be always ON; and, is programmed to automatically turn the outdoor lighting OFF during daylight hours. 1510.0(A)(4)A.



Residential Lighting Measures:
15100(A) Lighting installed in attached and detached garages, laundry rooms, and utility rooms shall be high efficacy luminaires and controlled by vacancy sensors.
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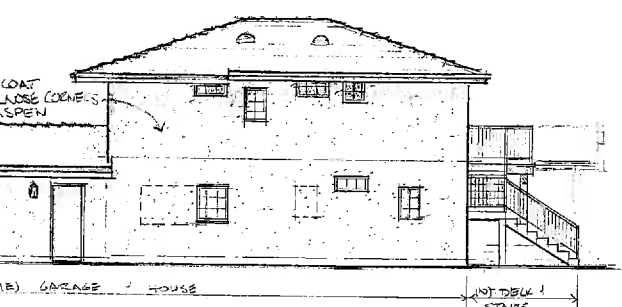
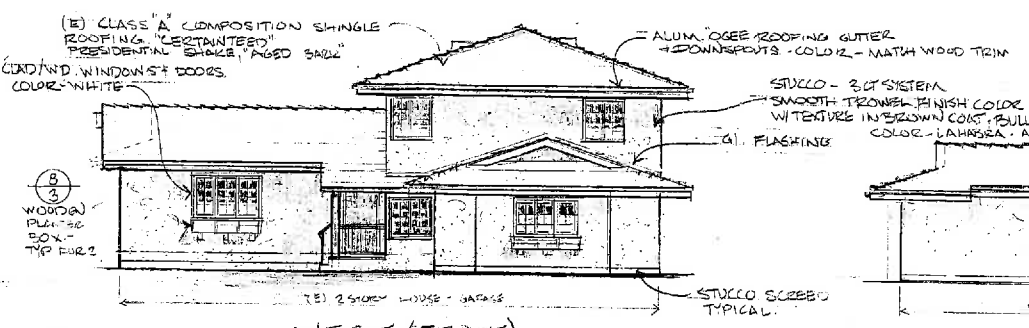
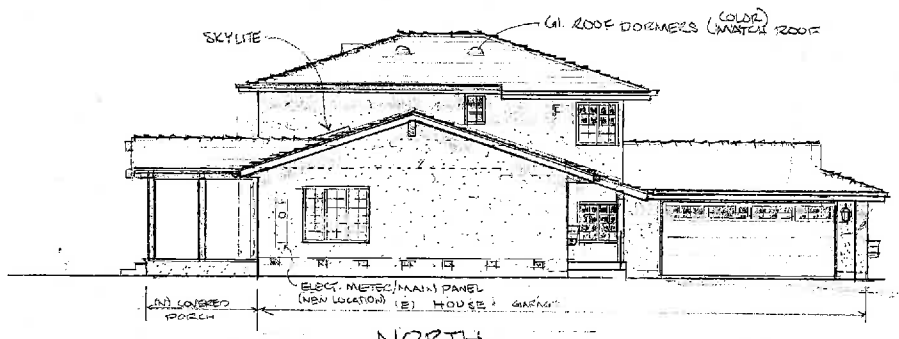
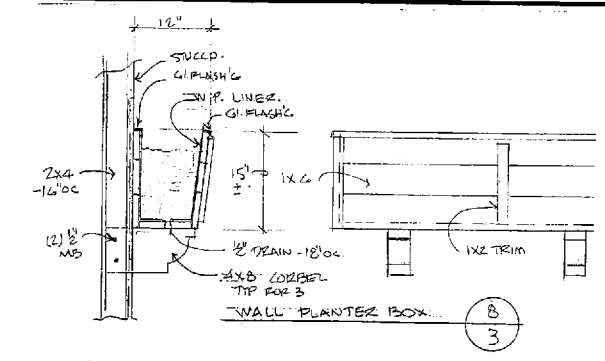
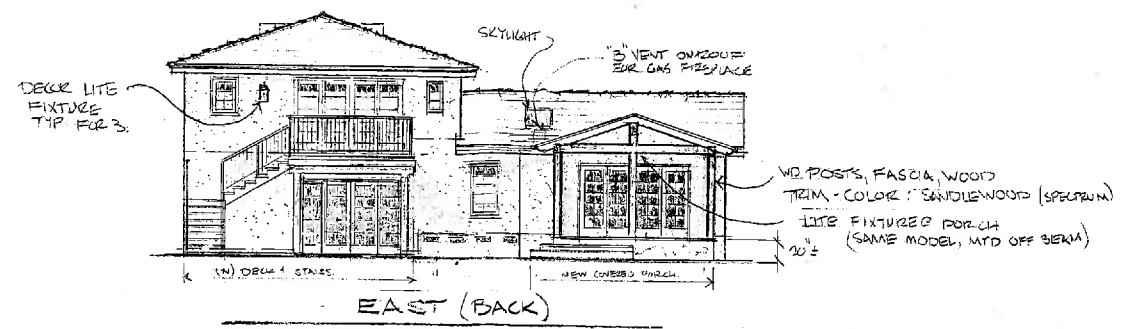


15100(A)(4) Lighting installed in attached and detached garages, laundry rooms, and utility rooms shall be high efficacy luminaires and controlled by vacancy sensors.
15100(A)(1) Lighting installed in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy, or shall be controlled by other sensors or vacancy sensors. EXCEPTION 1: Luminaires in closets less than 70 square feet. EXCEPTION 2: Lighting in detached storage buildings less than 1000 square feet located on a residential site.
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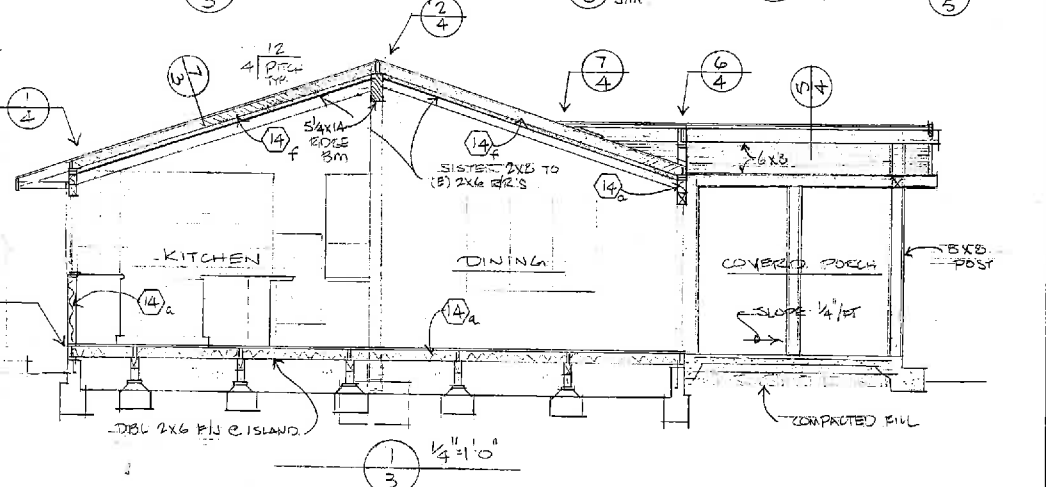
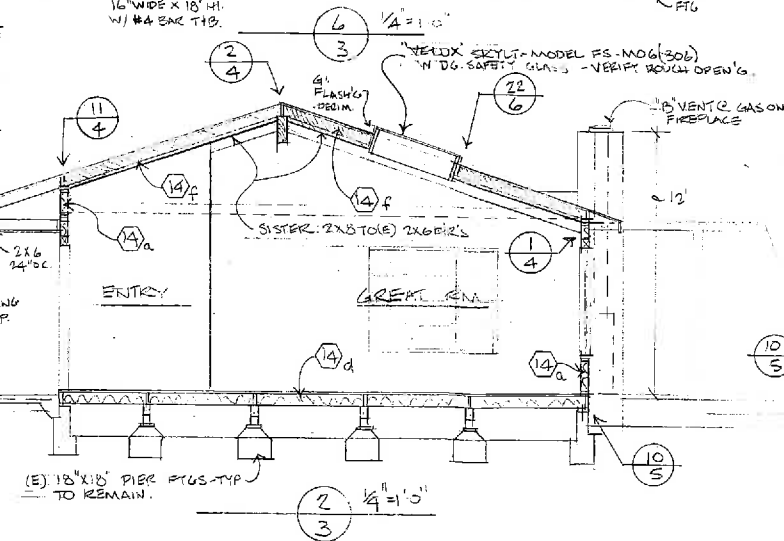
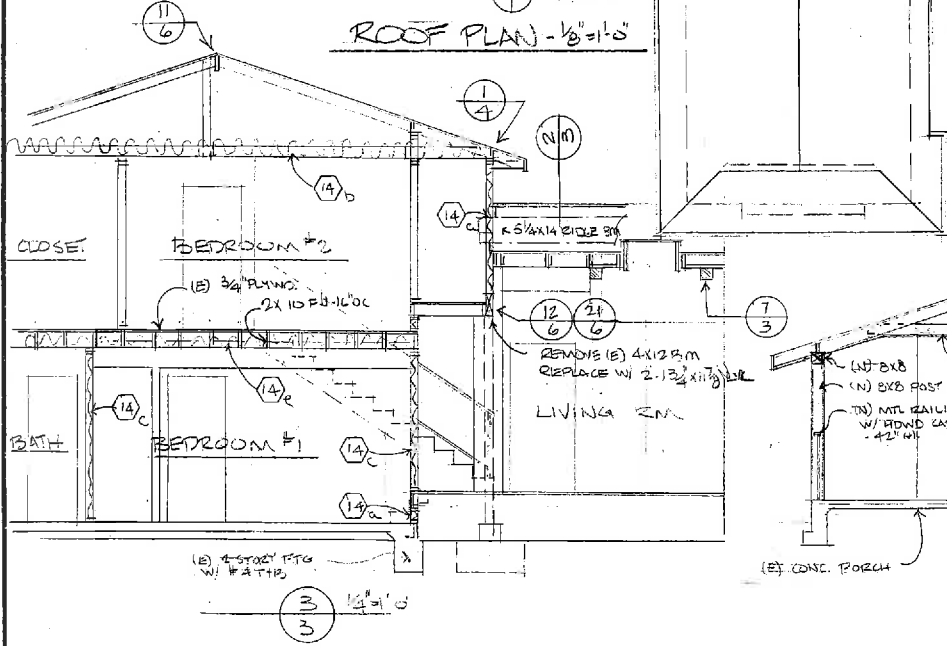
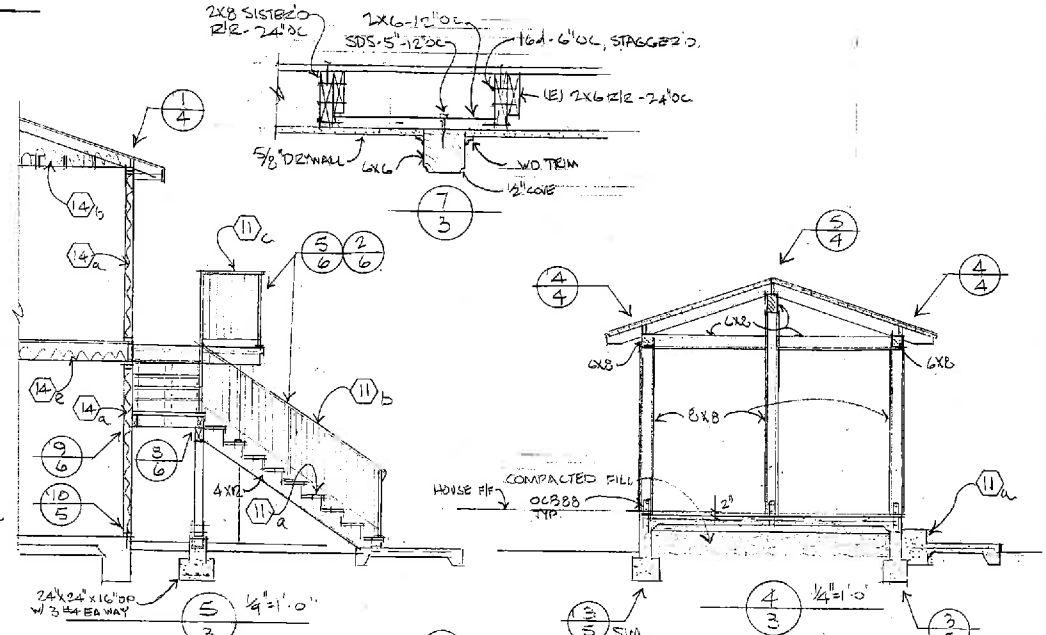
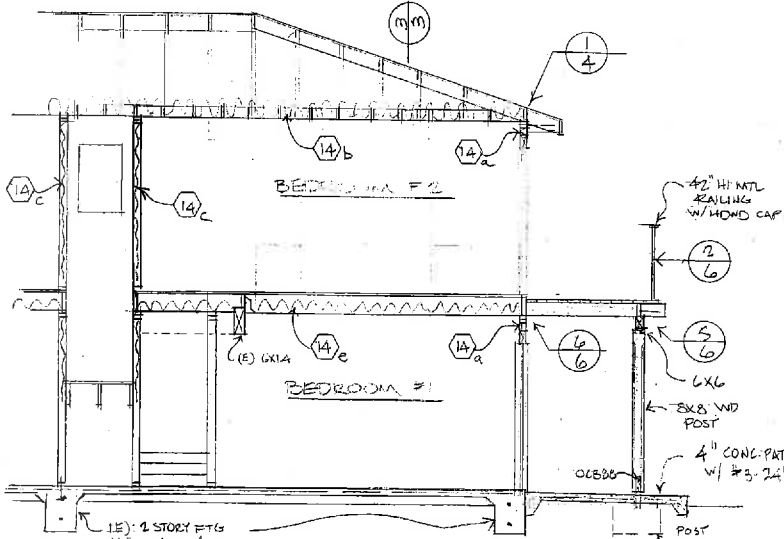
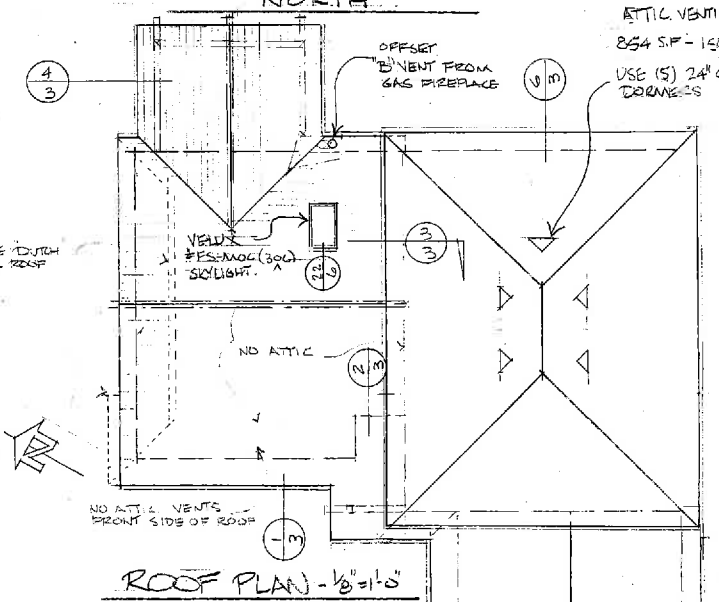
REVISIONS BY
PLAN PREPARED BY: DON SWANN
RESIDENTIAL ADDITION / ALTERATION FOR: SAM AND KERRI MAXWELL
6597 CAMINO VENTUROSO, CITY OF GOLETA, CA
APN: 077-412-002
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E-MAIL: SWANNCASTLE@COX.NET
Date 7-27-16
Scale AS NOTED
Drawn DS
Job
Sheet 2 of 7



Progress Lighting P5649-31
Ashmore 2-light Wall Lantern



EXTERIOR ELEVATIONS - 1/8" = 1'-0"



REVISIONS	BY

PLAN PREPARED BY:
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6597 CAMINO VENTUROSSO, CITY OF GOLETA, CA
APN: 077-412-002 PHONE: 317-294-3546

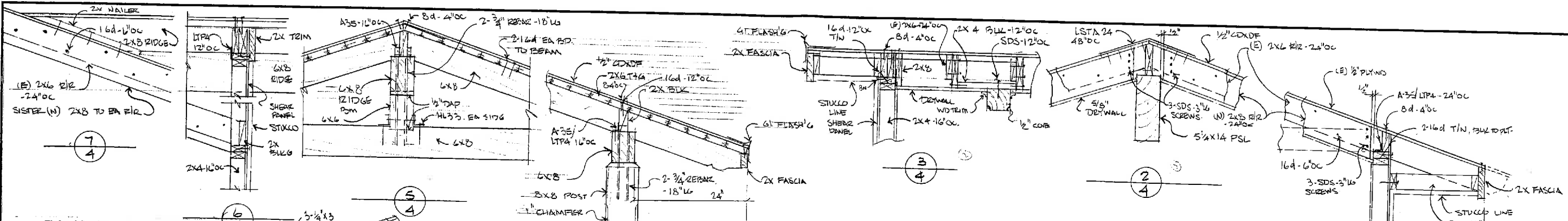
Date: 7-27-16
Scale: AS NOTED
Drawn: DL
Job:
Sheet: **3**
Of 7 Sheets

REVISIONS	BY

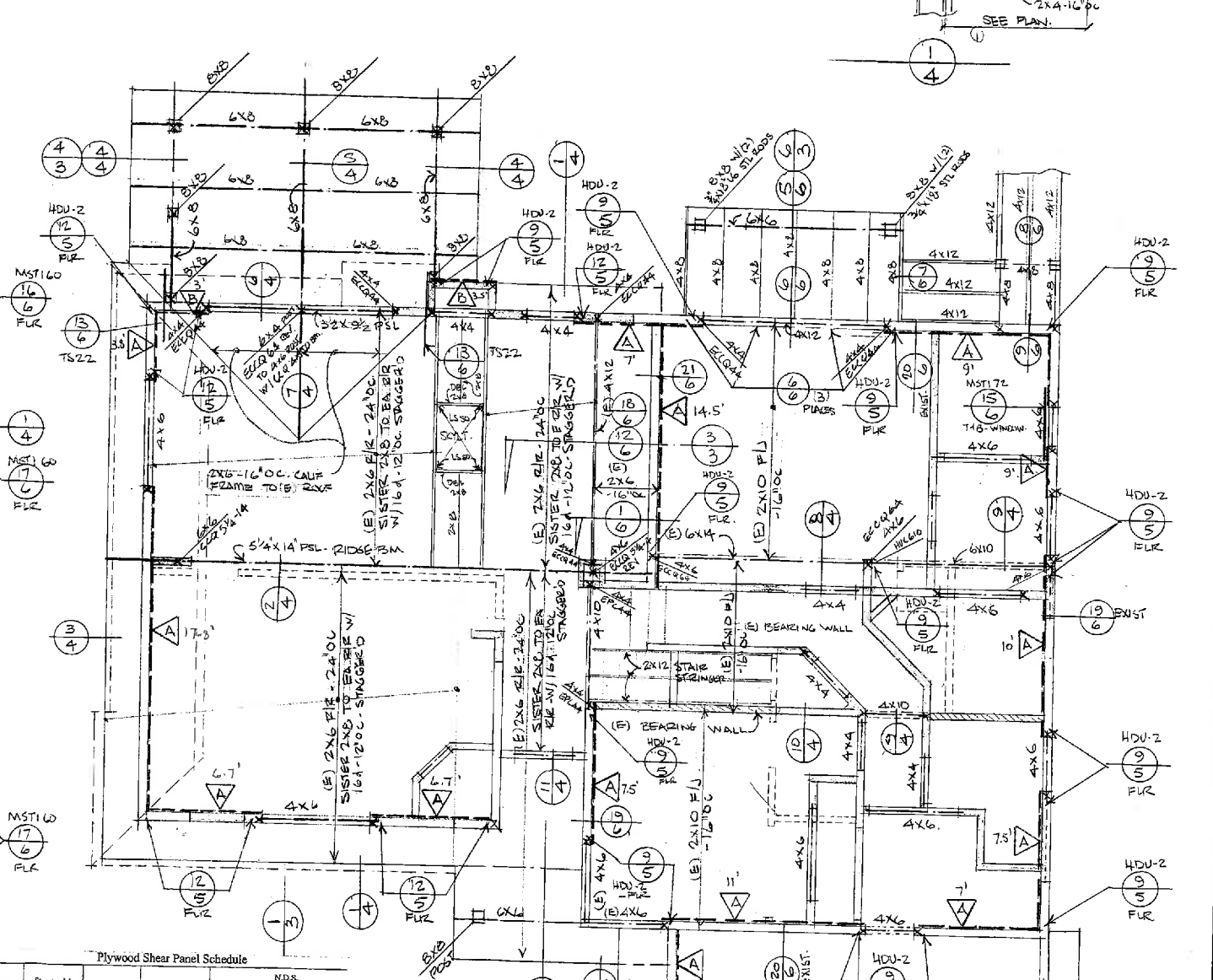
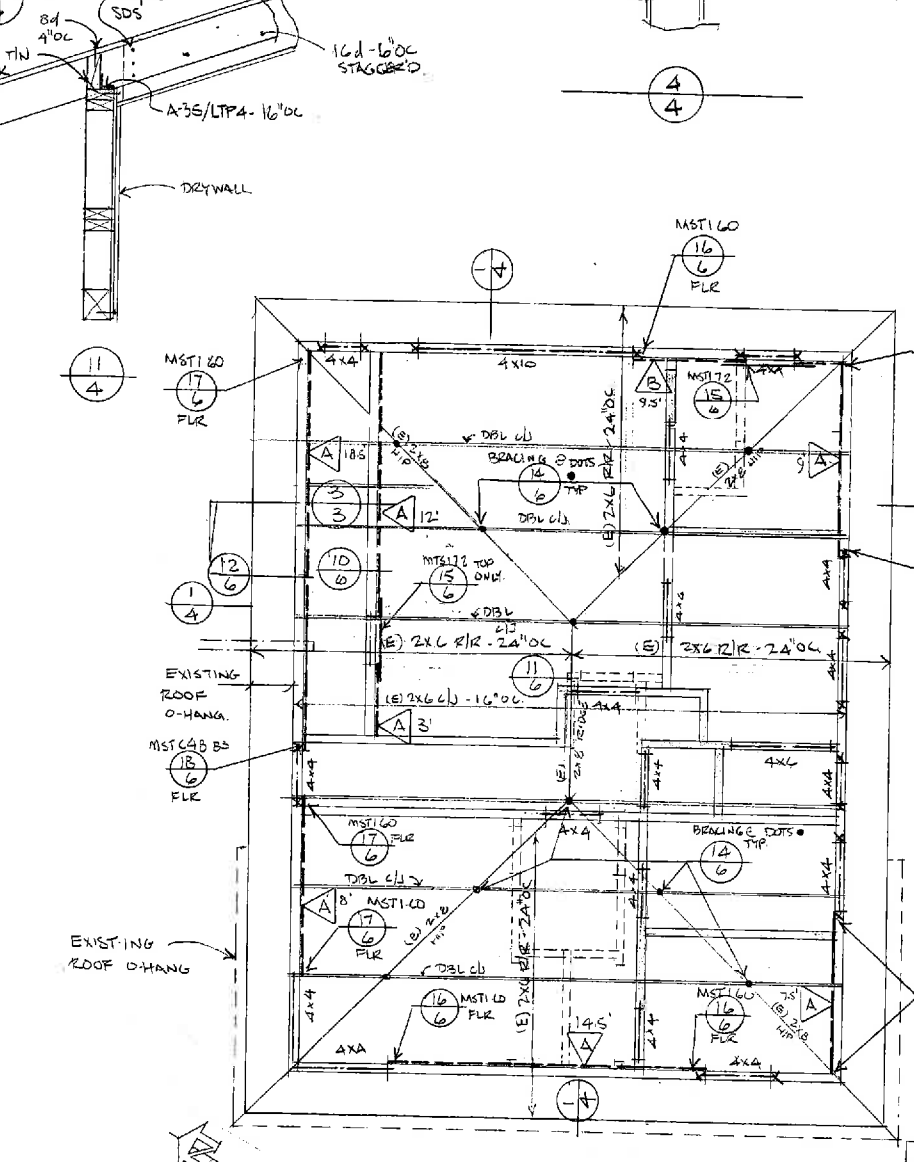
PLAN PREPARED BY:
DON SWANN
 216 NORTHRIDGE ROAD, SANTA BARBARA, CA. 93105
 PHONE (805) 687-2086 FAX (805) 687-2086
 E-MAIL SWANNCASTLE@COMcast.net

RESIDENTIAL ADDITION / ALTERATION FOR:
SAM AND KERRI MAXWELL
 6597 CAMINO VENTUROSO, CITY OF GOLETA, CA
 APN: 077-412-002
 PHONE: 317-294-3546

Date 7-27-16
 Scale AS NOTED
 Drawn DS.
 Job
 Sheet **4**
 of 7 Sheets



- Timber & Lumber**
- Material Specifications: (Use UNO-Table Below Or visit) Doc. # 20
 Dimension Lumber - Douglas Fir-Larch, No. 1 S4S
 (Studs, Joists, Rafters & Ledgers)
 Timbers - Douglas Fir-Larch, No. 1 S4S
 (Beams, Headers & Posts)
 Other Dimension Lumber - Douglas Fir-Larch, No. 2 S4S
 (2 x 4 Studs, Striping, Blocking & Etc.)
 Plywood - Douglas Fir Structural 1 - 5/8\"/>
 - Sill Plates on Concrete: 2\"/>
 - Where Stud Walls Frame to Concrete or Concrete Block Walls, Anchor the End Stud to the Wall 12\"/>
 - Do Not Cut Structural Framing, (Joists, Beams, Studs, Sills or Etc.) For Pipes, Vents, Ducts, Conduits or Other Items Unless Specifically Indicated on the Construction Documents. Install Horizontal Framing Crown Up.
 - Place 2 x Solid Blocking Between All Joists and Rafters at All Points of Support and Under All Supported Transverse Members. 2 x Solid Blocking, Full Depth, Shall Be Placed Between All Joists and Rafters Greater than 6\"/>
 - Lap Splice All Double Top Plates at the Top of All Walls With a 4\"/>
 - Provide Doubled Framing Members, Same Size as Adjacent Members, Under All Partitions Parallel to Joists or Rafters.
 - All Holes For Bolts Shall Be 1/16\"/>
 - Anchor Non-Structural Walls With 1/2\"/>
 - For Minimum Nailing, Refer to the Nailing Schedule in The Typical Details.
 - Machine Applied Nailing is Acceptable, But Satisfactory Performance Shall Be Demonstrated During Installation. Acceptance is Subject to Continued Satisfactory Performance.
 - 2 x 6 T&G Decking May Be Used. Decking is 4 Span Minimum in Length and is Nailed to the Supports with (6) 16d Nails. But Splice the Decking at the Supports.
 - Sheet Metal Connectors Are As Manufactured by the Simpson Company or Approved Equivalent. Nails Shall Be Those Furnished by the Manufacturer For the Specific Use Shown. The Connector Type is Furnished, the Contractor Insures the Hanger Dimensions Fit the Appropriate Application.
 - Shear Wall Lengths are Within 10% of Constructed Length UNO.
 - Connector Plates & Hardware May Be Dropped, Rotated & Straps Rounded to Fit Final Constructed Condition.
 - The Contractor Shall Be Responsible For Installing Wood Building Products That are Free of Excessives of Humidity or Excessive Moisture as a Result of Chemical, Moisture or Thermal Processes Associated With Those Building Products.
 Plywood Shear Panels Shall Be 3216 For Roof
 4824 For Floors UNO.
 Roof Diaphragms To Be Min. 1/2\"/>
 - All 2 x 4 Members That are Part of the Floor Framing System Shall Be Kiln Dried, #2 Grade or Better, Douglas Fir, 50% of Material Shall Have a Moisture Content of 15% Or Less. Maximum Moisture Shall Be 19%. Each Piece Shall Be Clearly Marked Indicating Kiln Dried With a Stamp Mark "S-Dry".
 - Non-Bearing 2 x 4 Stud Walls, Striping, Blocking, Batching & Other Non-Structural Lumber Shall Be No. 2 Grade or Better Douglas Fir, or Standard or Better Douglas Fir, S4S.
 - All Nails Shall Be Common Size.
 - Holes in Wood for Bolts Shall Be Drilled 1/16\"/>
 - All Bolts Shall Have Allowable Iron or Zinc Washers Under Head & Nut. See Washer Schedule For Size.
 - All Joints Shall Be Solid Blocked at Points of Bearing. Wood Crossbracing, Not Less Than 2 Inches by 3 Inches (2\"/>
 - Minimum Dimension of Any Plywood Sheet Shall Be 24\"/>
 - Use Double Floor Joists Under Parallel Walls Above.
 - Machine Applied Nailing: Satisfactory Installation Shall Be Demonstrated On the Job and the Acceptance of the Field Representative of the GSA and the Architect and/or Structural Engineer; Shall be Obtained Before the Use of Machine-Applied Nails Can Be Approved. Approval is Subject to Continued Satisfactory Performance.
 - All Nails and Timber Connectors Shall Be Galvanized.
 - Steel Joist Hangers, Framers and Other Such Connection Devices Shall Be of Standard Manufacture, Having a Current (CSO) Approval, of the Type Required by the Drawings. Nails Shall Be Those Furnished by the Manufacturer For This Specific Use. Drawings Shall Be Galvanized. Simpson Part Numbers are Shown on Drawings; Equivalent Unless Stamped, KC Are Acceptable.
 - All Plywood Flooring Shall Be Glued to the Floor Joists. Glue Shall Be PL400 Heavy Duty Subfloor Adhesive as Manufactured by CUREK Co.



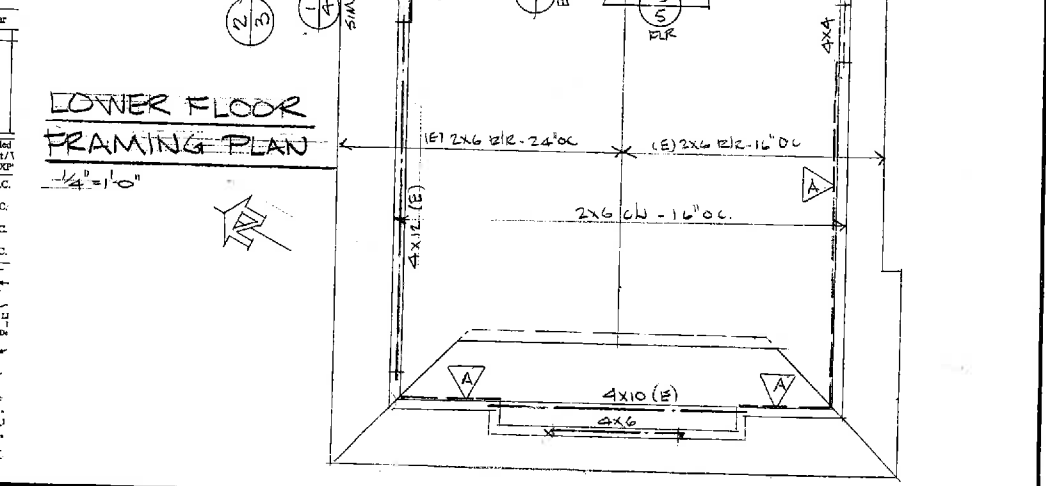
Plywood Shear Panel Schedule

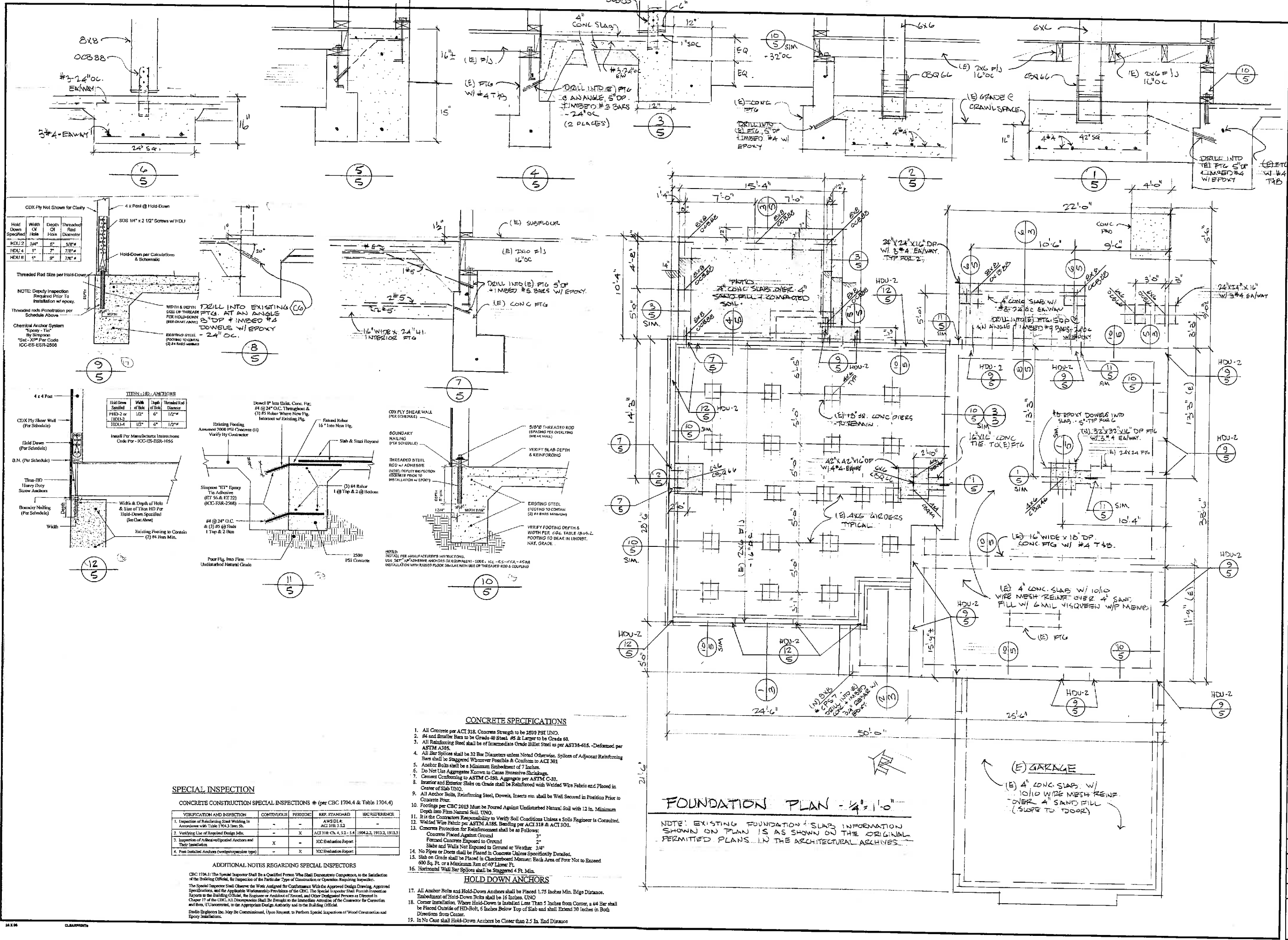
Sym	Structural I	Wall Framing	Application	N.D.S.	
				Maximum Allowable Shear	Wind
▲	1/2"	2x4	Apply One Side	346#/PL	475#/PL
▲	1/2"	2x4	Apply Two Sides	510#/PL	715#/PL
▲	1/2"	2x4	Apply One Side	659#/PL	930#/PL
▲	1/2"	2x4	Apply Two Sides	870#/PL	1217#/PL

Nailing Schedule

Max. Shear Load	Shear Panel B.N. Edge	Interior Field	Sill Plate Nailing	Anchor Bolt	Roof-Fin. / Shear Wall
140#/PL	10d @ 6" O.C.	12" O.C.	16d @ 4" O.C.	5/8" @ 32" O.C.	1 1/2" @ 16" O.C.
510#/PL	10d @ 6" O.C.	12" O.C.	16d @ 4" O.C.	5/8" @ 32" O.C.	1 1/2" @ 16" O.C.
659#/PL	10d @ 6" O.C.	12" O.C.	16d @ 4" O.C.	5/8" @ 32" O.C.	1 1/2" @ 16" O.C.
870#/PL	10d @ 6" O.C.	12" O.C.	16d @ 4" O.C.	5/8" @ 32" O.C.	1 1/2" @ 16" O.C.

Notes:
 May Use 3/4" Stud in Lieu of 2nd Stud
 ** 3/4" Stud 16" x 4" 6d/8d/10d/12d/14d/16d/18d/20d/22d/24d/26d/28d/30d/32d/34d/36d/38d/40d/42d/44d/46d/48d/50d/52d/54d/56d/58d/60d/62d/64d/66d/68d/70d/72d/74d/76d/78d/80d/82d/84d/86d/88d/90d/92d/94d/96d/98d/100d/102d/104d/106d/108d/110d/112d/114d/116d/118d/120d/122d/124d/126d/128d/130d/132d/134d/136d/138d/140d/142d/144d/146d/148d/150d/152d/154d/156d/158d/160d/162d/164d/166d/168d/170d/172d/174d/176d/178d/180d/182d/184d/186d/188d/190d/192d/194d/196d/198d/200d/202d/204d/206d/208d/210d/212d/214d/216d/218d/220d/222d/224d/226d/228d/230d/232d/234d/236d/238d/240d/242d/244d/246d/248d/250d/252d/254d/256d/258d/260d/262d/264d/266d/268d/270d/272d/274d/276d/278d/280d/282d/284d/286d/288d/290d/292d/294d/296d/298d/300d/302d/304d/306d/308d/310d/312d/314d/316d/318d/320d/322d/324d/326d/328d/330d/332d/334d/336d/338d/340d/342d/344d/346d/348d/350d/352d/354d/356d/358d/360d/362d/364d/366d/368d/370d/372d/374d/376d/378d/380d/382d/384d/386d/388d/390d/392d/394d/396d/398d/400d/402d/404d/406d/408d/410d/412d/414d/416d/418d/420d/422d/424d/426d/428d/430d/432d/434d/436d/438d/440d/442d/444d/446d/448d/450d/452d/454d/456d/458d/460d/462d/464d/466d/468d/470d/472d/474d/476d/478d/480d/482d/484d/486d/488d/490d/492d/494d/496d/498d/500d/502d/504d/506d/508d/510d/512d/514d/516d/518d/520d/522d/524d/526d/528d/530d/532d/534d/536d/538d/540d/542d/544d/546d/548d/550d/552d/554d/556d/558d/560d/562d/564d/566d/568d/570d/572d/574d/576d/578d/580d/582d/584d/586d/588d/590d/592d/594d/596d/598d/600d/602d/604d/606d/608d/610d/612d/614d/616d/618d/620d/622d/624d/626d/628d/630d/632d/634d/636d/638d/640d/642d/644d/646d/648d/650d/652d/654d/656d/658d/660d/662d/664d/666d/668d/670d/672d/674d/676d/678d/680d/682d/684d/686d/688d/690d/692d/694d/696d/698d/700d/702d/704d/706d/708d/710d/712d/714d/716d/718d/720d/722d/724d/726d/728d/730d/732d/734d/736d/738d/740d/742d/744d/746d/748d/750d/752d/754d/756d/758d/760d/762d/764d/766d/768d/770d/772d/774d/776d/778d/780d/782d/784d/786d/788d/790d/792d/794d/796d/798d/800d/802d/804d/806d/808d/810d/812d/814d/816d/818d/820d/822d/824d/826d/828d/830d/832d/834d/836d/838d/840d/842d/844d/846d/848d/850d/852d/854d/856d/858d/860d/862d/864d/866d/868d/870d/872d/874d/876d/878d/880d/882d/884d/886d/888d/890d/892d/894d/896d/898d/900d/902d/904d/906d/908d/910d/912d/914d/916d/918d/920d/922d/924d/926d/928d/930d/932d/934d/936d/938d/940d/942d/944d/946d/948d/950d/952d/954d/956d/958d/960d/962d/964d/966d/968d/970d/972d/974d/976d/978d/980d/982d/984d/986d/988d/990d/992d/994d/996d/998d/1000d





CDX Ply Not Shown for Clarity

Hold Down Specified	Width of Hole	Depth of Hole	Threaded Rod Diameter
HDU-2	3/4"	5"	5/8"
HDU-4	1"	7"	7/8"
HDU-8	1 1/2"	9"	1"

Threaded Rod Size per Hold-Down

NOTE: Depth Inspection Required Prior to Installation of epoxy.

Chemical Anchor System
 Epoxy - Tite
 By Simpson
 Steel - 307 Per Code
 ICC-ES ESR-2508

TITLE: HD-ANCHORS

Hold Down Specified	Width of Hole	Depth of Hole	Threaded Rod Diameter
HDU-2 or HDU-4	1/2"	6"	1/2"
HDU-4	1/2"	6"	1/2"

Install Per Manufacturer Instructions Code For - ICC-ES ESR-1056

CDX Ply Shear Wall (Per Schedule)

Hold-Down (Per Schedule)

D.N. (Per Schedule)

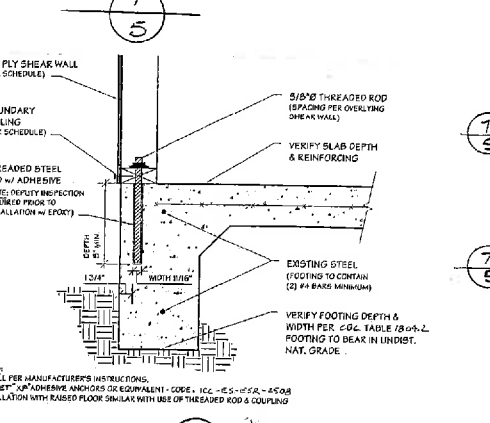
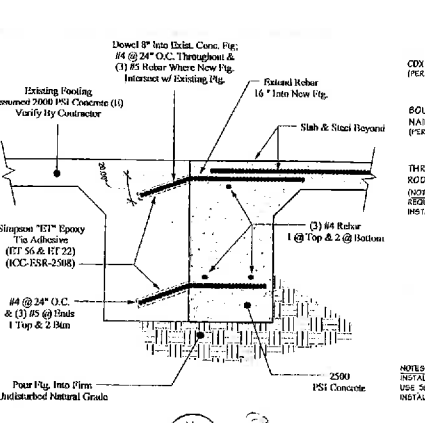
Tite-Bond Heavy Duty Screw Anchors

Backsaw Nailing (Per Schedule)

Width

Width & Depth of Hole & Size of Tite-Bond For Hold-Down Specified (See Chart Above)

Existing Footing to Contain (2) #4 Min.



CONCRETE SPECIFICATIONS

- All Concrete per ACI 318. Concrete Strength to be 2500 PSI UNO.
- #4 and Smaller Bars to be Grade 40 Steel. #5 & Larger to be Grade 60.
- All Reinforcing Steel shall be of Intermediate Grade Billet Steel as per ASTM-A615. -Deformed per ASTM A305.
- All Bar Splices shall be 32 Bar Diameters unless Noted Otherwise. Splices of Adjacent Reinforcing Bars shall be Staggered Wherever Possible & Conform to ACI 301.
- Anchor Bolts shall be a Minimum Embedment of 7 Inches.
- Do Not Use Aggregates Known to Cause Excessive Shrinkage.
- Cement Concreting to ASTM C-150. Aggregate per ASTM C-33.
- Interior and Exterior Slabs on Grade shall be Reinforced with Welded Wire Fabric and Flood in Center of Slab UNO.
- All Anchor Bolts, Reinforcing Steel, Dowels, Inserts etc. shall be Well Secured in Position Prior to Concrete Pour.
- Footings per CBC 1013 Must be Poured Against Undisturbed Natural Soil with 12 in. Minimum Depth into Firm Natural Soil. UNO.
- It is the Contractor Responsibility to Verify Soil Conditions Unless a Soils Engineer is Consulted.
- Welded Wire Fabric per ASTM A188. Bending per ACI 318 & ACT 301.
- Concrete Protection for Reinforcement shall be as Follows:
 3" Formed Concrete Exposed to Ground
 Slabs and Walls Not Exposed to Ground or Weather 2"
 14. No Pipes or Ducts shall be Placed in Concrete Unless Specifically Detailed.
 15. Slab on Grade shall be Placed in Checkerboard Manner. Each Area of Pour Not to Exceed 600 Sq. Ft. or a Maximum Run of 40 Linear Ft.
 16. Horizontal Wall Bar Splices shall be Staggered 4 Ft. Min.

HOLD DOWN ANCHORS

- All Anchor Bolts and Hold-Down Anchors shall be Placed 1.75 Inches Min. Edge Distance. Embedment of Hold-Down Bolts shall be 16 Inches. UNO
- Corner Installation. Where Hold-Down is Installed Less Than 5 Inches from Corner, a #4 Bar shall be Placed Outside of HD-Bolt, 6 Inches Below Top of Slab and shall Extend 30 Inches in Both Directions from Center.
- In No Case shall Hold-Downs be Closer Than 2.5 In. End Distance

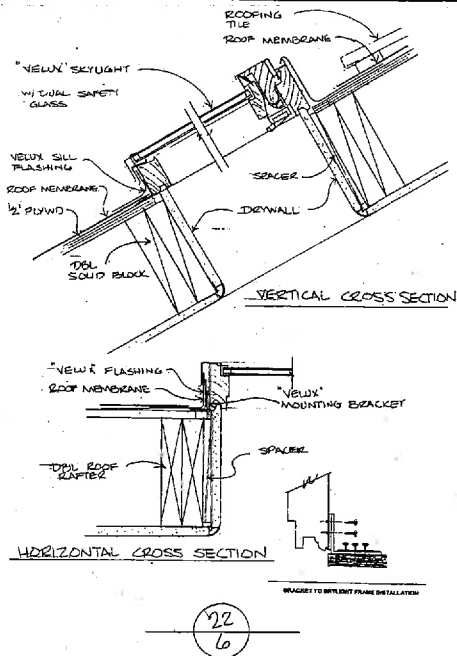
SPECIAL INSPECTION

CONCRETE CONSTRUCTION SPECIAL INSPECTIONS * (per CBC 1704.4 & Table 1704.4)

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REF. STANDARD	IBC REFERENCE
1. Inspection of Reinforcing Steel Welding in Accordance with Table 1704.3 Item 5b.	-	-	AWS D1.6 ACI 318: 5.5.2	-
2. Verifying Use of Required Design Mix.	-	X	ACI 318: Ch. 4, 22-24	1904.2.3, 1912.2, 1913.3
3. Inspection of All Vertical/Horizontal Anchors and Their Installation.	X	-	ICC Evaluation Report	-
4. Post-Installed Anchors (over/under/through type)	-	X	ICC Evaluation Report	-

ADDITIONAL NOTES REGARDING SPECIAL INSPECTORS

IBC 1704.1: The Special Inspector Shall Be a Qualified Person Who Shall Demonstrate Competency, to the Satisfaction of the Building Official, the Inspection of the Particular Type of Construction or Operation. Required Inspections:
 The Special Inspector Shall Observe the Work Assigned the Confirmation With the Approved Design Drawing, Approved Specifications, and the Applicable Workmanship Provisions of the CBC, The Special Inspector Shall Forward Inspection Reports to the Building Official, the Engineer or Architect of Record, and Other Designated Persons as Directed in Chapter 17 of the CBC. All Observations Shall Be Reported to the Immediate Attention of the Contractor for Correction and then, if Uncorrected, to the Appropriate Design Authority and to the Building Official.
 Special Inspections Inc. May Be Commissioned, Upon Request, to Perform Special Inspections of Wood Construction and Epoxy Installations.



Code compliance

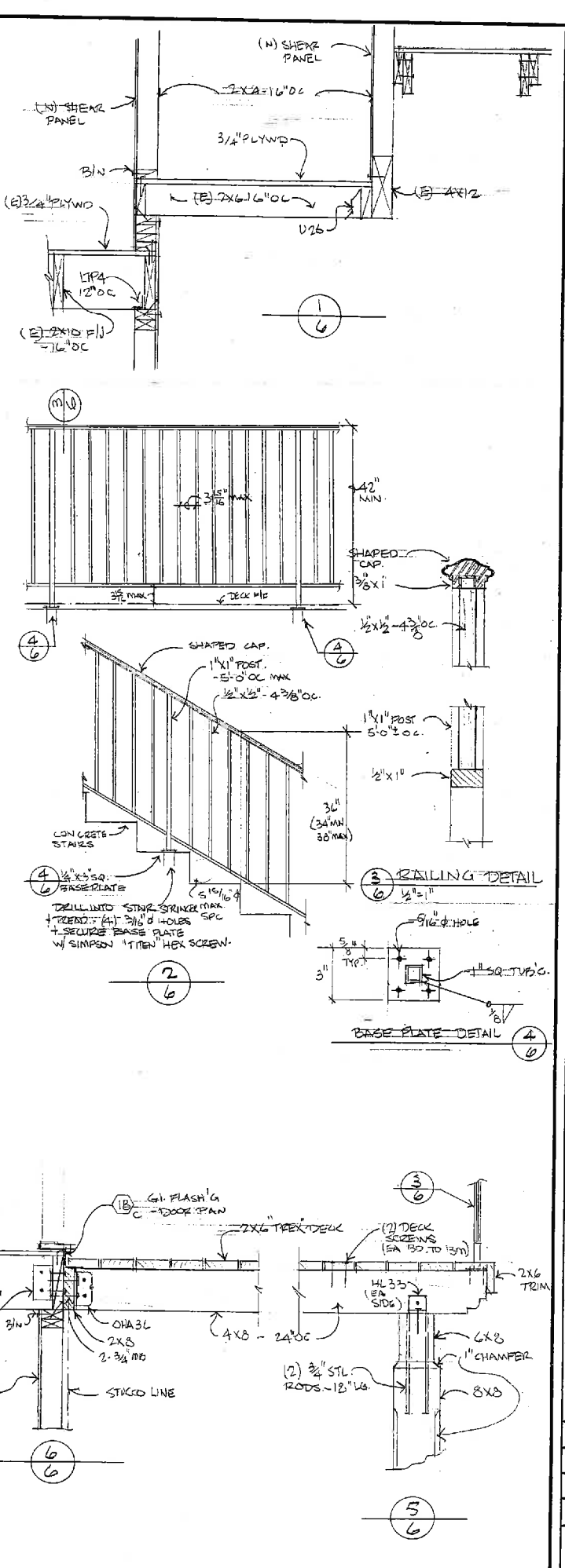
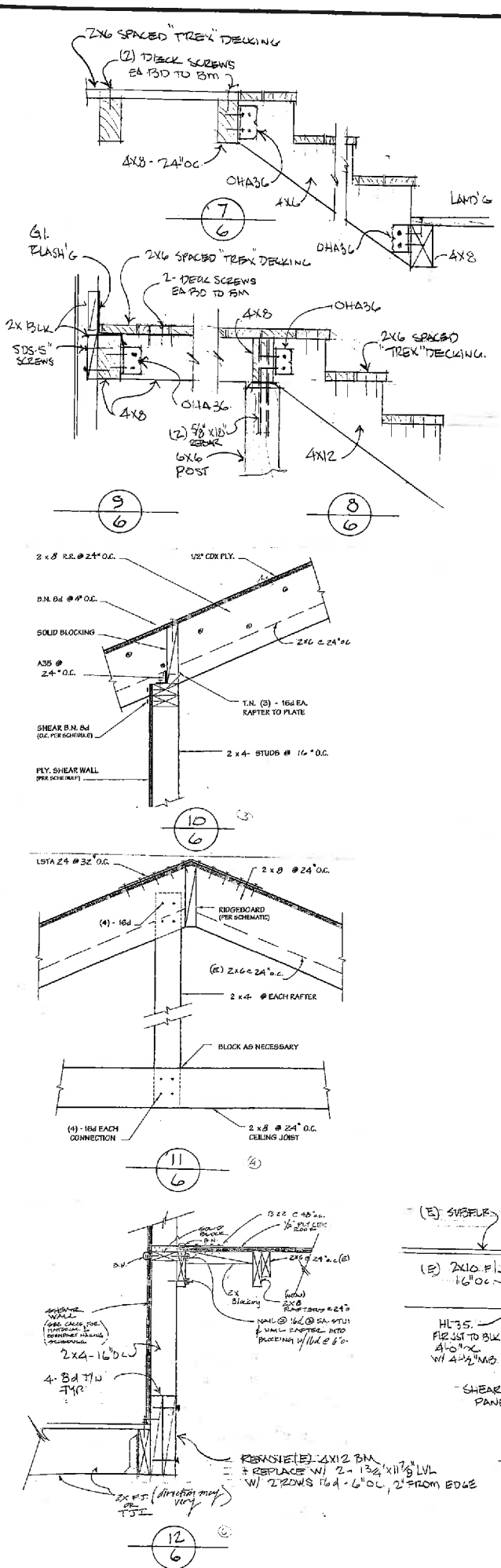
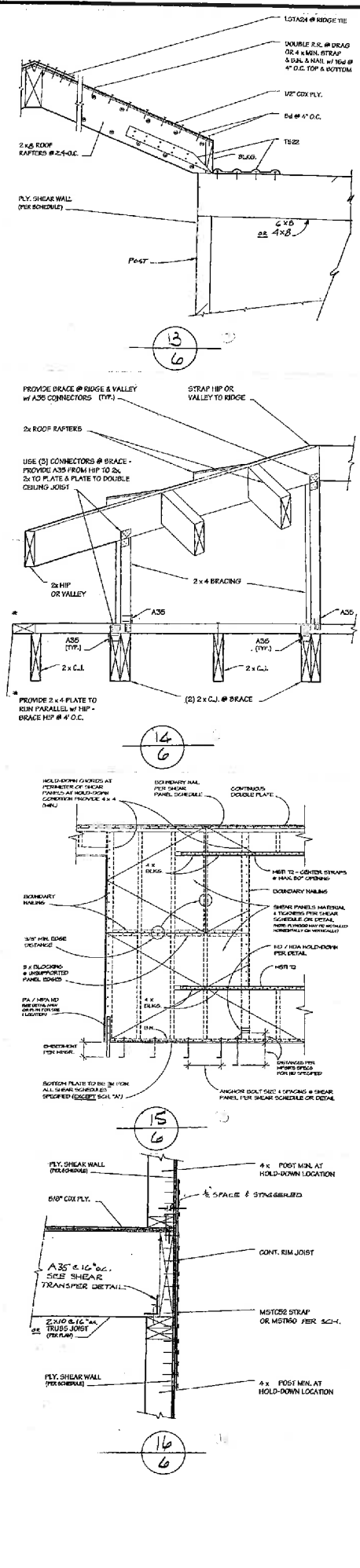
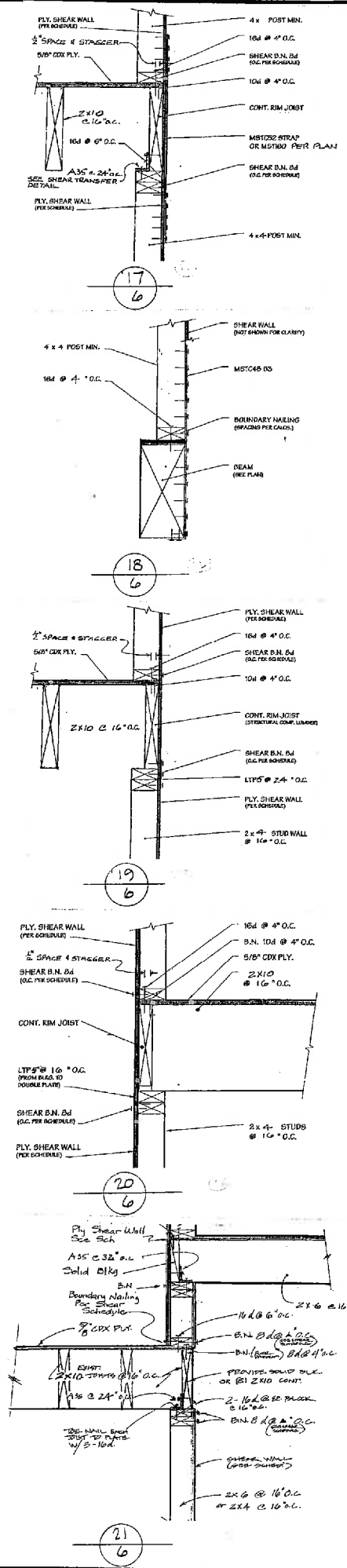
Standard VELUX skylights* meet the applicable requirements of the:
 IBC (International Building Code)
 IRC (International Residential Code)
 IECC (International Energy Conservation Code)

In addition, VELUX electrical components are UL listed. VELUX skylights* also meet or exceed the applicable requirements of Powersmart and the North American Fenestration Standards 101/1.5.2/NAFS-02 AAMA/WDMA/CSA 101/1.5.2/A440-05, and AAMA/WDMA/CSA 101/1.5.2/A440-08 for windows, doors and skylights.

In addition, VELUX skylights* are ENERGY STAR® qualified in every region of the country.

Qualified products are extensively labeled for site verification of compliance with requirements. Copper-clad products excluded.

* FS, VSE, VS, VCE, VCM, FCM, QPF skylights, and VELUX SUN TUNNEL™ skylights



REVISIONS	BY

PLAN PREPARED BY:
DON SWANN
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RESIDENTIAL ADDITION / ALTERATION FOR:
SAM AND KERRI MAXWELL
 6597 CAMINO VENTUROSO, CITY OF GOLETA, CA
 PHONE: 317-294-3546

Date 7-27-16
 Scale AS NOTED
 Drawn DS
 Job
 Sheet **6**
 Of 7 Sheets

RESIDENTIAL ENERGY COMPLIANCE SUMMARY (ENERGYPRO VERSION 6 PERFORMANCE METHOD)

MAXWELL REMODEL 6597 CAMINO VENTUROS GOLETA, CALIFORNIA

NOTE: HERS TESTING & VERIFICATION REQUIRED - SEE BELOW

The following features were used to demonstrate compliance with California Energy Regulations. This information is included in the plans and specifications submitted for building permit approval. Compliance must be consistent with the information across any changes that have been approved from the building inspection agency.

AREA OF BUILDING SUBJECT TO COMPLIANCE (EXISTING PLUS ALTERATION): 2,296 S.F. GROSS CONDITIONED FLOOR AREA.

CLIMATE ZONE: CLIMATE ZONE 6

PER CENT IMPROVEMENT ABOVE TITLE 24 (COMPLIANCE MARION / STANDARD DESIGN): 10.1% IMPROVEMENT (SEE CERTIFICATE OF COMPLIANCE, CR-18-PF-01, PAGE 1).

MINIMUM BUILDING ENVELOPE INSULATION LEVELS:

- 1. ALL EXISTING WALLS TO BE INSULATED WITH R-13 (3.5") BATT INSULATION.
2. EXISTING CEILINGS WITH ATTIC ABOVE TO BE INSULATED WITH R-30 (9.5") BATT INSULATION.
3. ALTITUDE VOLUME CEILINGS TO BE INSULATED WITH MINIMUM R-38 POLYURETHANE SPRAY FOAM INSULATION.

GLAZING:

REPLACEMENT & NEW WINDOWS & GLAZED DOORS, NON-METAL FLASH/FRAME: 406.7 S.F.; U-FACTOR = 0.31 OR LOWER, SHGC = 0.25 OR LOWER.

OVERHANDS & SHADING DEVICES:

- 1. 25 FT. TYPICAL EAVE OVERHANGS.
2. 10 FT. DEEP PATIO COVER TO SHADE ONE 10X68 SLIDING DOOR AT EAST ELEVATION, LOWER FLOOR.
3. 4 FT. DEEP DECK OVERHANG TO SHADE ONE 10X68 SLIDING DOOR AT EAST ELEVATION, LOWER FLOOR.

THERMAL MASS CREDIT:

N/A

HVAC SYSTEM(S):

NEW FAN: BAYNE PQA4A040809, GAS, 71,800 BTUH OUTPUT, 80% AFUE, OR ANY UNIT RATED AT 80% OR HIGHER AFUE.

HERS TESTING REQUIREMENTS:

DOCS TO BE TESTED FOR COMPLIANCE WITH MAXIMUM ALLOWED LEAKAGE.

DOMESTIC WATER SYSTEM(S):

- 1. ANY STORAGE GAS-FIRED WATER HEATER, WITH A MAXIMUM INPUT OF 75,000 BTUH OR LESS, AND AN ENERGY FACTOR OF 62% OR HIGHER, OR
2. ANY TANKLESS GAS-FIRED WATER HEATER, WITH A MAXIMUM INPUT OF 200,000 BTUH OR LESS, AND AN ENERGY FACTOR OF 82% OR HIGHER.

ALL MANDATORY MINIMUM FEATURES PER FORMS CF-2R (SUBMITTED BY CONTRACTOR/INSTALLER)

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: MAXWELL REMODEL
Calculation Date/Time: 10/23, Thu, Jul 21, 2016
Calculation Description: Title 24 Analysis
Input File Name: MAXWELL_REMODEL_01.rpt

Table with 2 columns: Item, Description. Includes Project Name, Calculation Description, Project Location, City, ZIP Code, Climate Zone, Building Type, Project Based Addition/Alteration, Total Cond. Floor Area, Sub Area, Addition Cond. Floor Area, Addition Sub Area.

Table with 2 columns: Item, Description. Includes Building Compliance with Computer Performance, This building incorporates features that require field testing and/or verification by a certified HERS Rater, This building incorporates one or more Special Features shown below.

Table with 5 columns: Item, Standard Design, Proposed Design, Compliance Margin, Percent Improvement. Includes Space Heating, Space Cooling, Hot Water, Water Heating, Prohibited Offset, Compliance Energy Total.

REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

MINIMUM FEATURES SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

Table with 2 columns: Item, Description. Includes Total Energy (kBtu/yr), Reference Energy Use, Energy Design Rating, Margin, Percent Improvement.

Table with 2 columns: Item, Description. Includes Project Name, Conditioned Floor Area (SF), Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems.

Table with 2 columns: Item, Description. Includes Zone Name, Zone Type, HVAC System Name, Zone Floor Area (SF), Avg. Ceiling Height, Water Heating System 1, Water Heating System 2.

Table with 13 columns: Item, Name, Zone, Construction, Finish, Orientation, Gross Area (SF), Volume (cu ft), U-Value, SHGC, Status, Verified Building Condition.

Table with 13 columns: Item, Name, Zone, Type, Orientation, Area (SF), Skirt Area (SF), Roof Area (SF), Roof Thickness, Roof U-Value, R-Value, Status, Verified Building Condition.

Table with 10 columns: Item, Name, Construction, Type, Roof Area, Roof U-Value, Total Surface Area, U-Value, SHGC, Status, Verified Building Condition.

Table with 7 columns: Item, Construction Name, Surface Type, Construction Type, Assembly Layers, Total Cavity R-value, Water Design U-value, Assembly Layers.

Table with 8 columns: Item, Name, Zone, Area (SF), Part/Door, Edge Insul. R-value, Carped Fraction, Heated, Status, Verified Building Condition.

Table with 4 columns: Item, Quality Installation of Insulation (QI), Quality Installation of Storm Door Inspection, Building Envelope Air Leakage, Comments.

Table with 8 columns: Item, Name, System Type, Distribution Type, Water Heater, Number of Heaters, Total Fraction, Status, Verified Building Condition.

Table with 8 columns: Item, Name, Heater Element Type, Tank Type, Tank Volume (gal), Energy Factor or Efficiency, Input Rating, Tank Collector Installation Status, Standby Loss (Fraction).

Table with 7 columns: Item, Name, Pipe Insulation, Parallel Piping, Connect Distribution, Point of Use, Recirculation with Manual Control, Interaction with Sensor Control.

Table with 9 columns: Item, Name, System Type, Name, Ducted, Name, Ducted, Distribution System, Fan System, Floor Area Served, Status, Verified Building Condition.

Table with 3 columns: Item, Name, Type, Efficiency. Includes Heating Component 1, Cooling Component 1.

Table with 7 columns: Item, Name, System Type, Efficiency, SEER, Zone(s) Controlled, Built-up Speed Compressor, HERS Verification.

Table with 10 columns: Item, Name, Type, Duct Leakage, Insulation R-value, Supply Duct Location, Return Duct Location, Supply Duct Status, Return Duct Status, Verified Building Condition.

Table with 6 columns: Item, Name, Duct Leakage, Duct Leakage, Verified Duct Location, Return, Supply.

Table with 4 columns: Item, Name, Type, Fan Power (Watts/CFM), HERS Verification.

Table with 5 columns: Item, Name, MGD CFM, MGD Fan Type, MGD Room(s), HERS Verification.

Documentation Authority Declaration Statement. Includes fields for Name, Company, Address, City/State/Zip, Phone, Signature, Date.

Responsible Parties Declaration Statement. Includes fields for Name, Company, Address, City/State/Zip, Phone, Signature, Date.

Registration Number: 216-07-22-08203-0066
CA Building Energy Efficiency Standards - Title 24 Residential Compliance
Registration Date/Time: 2016-07-22 09:26:02
Report Version: CF-18-1X122016-0-03
HERS Provision:
Report Generated on: 2016-07-21 16:27:26

Table with 14 columns: Item, Name, Depth, Start Up, Left End, Right End, Play Ht., Depth, Top Up, Ditch, Set Up, Depth, Top Up, Clear R., Rec'd.

Table with 8 columns: Item, Name, Zone, Area (SF), Part/Door, Edge Insul. R-value, Carped Fraction, Heated, Status, Verified Building Condition.

Table with 4 columns: Item, Quality Installation of Insulation (QI), Quality Installation of Storm Door Inspection, Building Envelope Air Leakage, Comments.

Table with 8 columns: Item, Name, System Type, Distribution Type, Water Heater, Number of Heaters, Total Fraction, Status, Verified Building Condition.

Table with 8 columns: Item, Name, Heater Element Type, Tank Type, Tank Volume (gal), Energy Factor or Efficiency, Input Rating, Tank Collector Installation Status, Standby Loss (Fraction).

Table with 7 columns: Item, Name, Pipe Insulation, Parallel Piping, Connect Distribution, Point of Use, Recirculation with Manual Control, Interaction with Sensor Control.

Table with 9 columns: Item, Name, System Type, Name, Ducted, Name, Ducted, Distribution System, Fan System, Floor Area Served, Status, Verified Building Condition.

Table with 3 columns: Item, Name, Type, Efficiency. Includes Heating Component 1, Cooling Component 1.

Table with 7 columns: Item, Name, System Type, Efficiency, SEER, Zone(s) Controlled, Built-up Speed Compressor, HERS Verification.

Table with 10 columns: Item, Name, Type, Duct Leakage, Insulation R-value, Supply Duct Location, Return Duct Location, Supply Duct Status, Return Duct Status, Verified Building Condition.

Table with 6 columns: Item, Name, Duct Leakage, Duct Leakage, Verified Duct Location, Return, Supply.

Table with 4 columns: Item, Name, Type, Fan Power (Watts/CFM), HERS Verification.

Table with 5 columns: Item, Name, MGD CFM, MGD Fan Type, MGD Room(s), HERS Verification.

Vertical sidebar containing 'REVISIONS', 'PLAN PREPARED BY: D O N S W A N N', 'RESIDENTIAL ADDITION / ALTERATION FOR: SAM AND KERRI MAXWELL', '6597 CAMINO VENTUROS, CITY OF GOLETA, CA', 'PHONE: 805-967-2086', 'APN: 077-412-002', 'Date: 7-27-16', 'Scale: NONE', 'Drawn: DS', 'Job: ', 'Sheet: 7 of 7 Sheets'.